



**Agenda Regular Meeting of the Planning
Commission
April 17, 2025 at 6:00 PM
Council Chambers, City Hall
200 Lincoln Avenue**

**Procedures for Planning Commission Meeting
AMENDED**

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/user/cityofsantafe> . The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Live Public Comment: Members of the public may provide public comment in person during the public comment portion of the public hearing.

Virtual Public Comment: Members of the public may provide public comment virtually during the public comment portion of the public hearing by joining the Zoom meeting by internet or phone using the following link: <https://santafenm-gov.zoom.us/j/85844179403>

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Webinar ID: 858 4417 9403

Written Comment: Members of the public may submit public comments by 5 p.m. on the Monday before the meeting via <https://santafenm.gov/land-use/current-planning/public-comment>. Comments will then be published after this deadline.

The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Agenda
5. Approval of Consent Agenda

6. Approval of Minutes
7. Approval of Findings/Conclusions
8. Consent
9. Old Business
10. New Business
 - a. 2025-010094. 5211 Las Soleras Dr., Development Plan. David Archuleta, Agent, for the Education Retirement Board, Applicant, requests Development Plan approval of a one-story office building, approximately 20,000sq.ft. on 2.999 acres of land for office use. The property is zoned C-2 (General Commercial) and is located at 5211 Las Soleras Drive. (Claudia Kath Case Manager, cmkath@santafenm.gov). **(POSTPONED FROM APRIL 3, 2025)**
11. Staff Communications
 - a. Chapter 14 discussion and status – Daniel Alvarado, Case Manager
12. Matters from the Commission
13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



City of Santa Fe

MINUTES

REGULAR MEETING OF THE
PLANNING COMMISSION
APRIL 3, 2025, AT 6:00 PM

Start time: 6:08pm / End time: 6:47pm

A. ROLL CALL

Commissioners Present:

- Chair Janet Clow
- Vice Chair Peter Smith (Via Zoom)
- Commissioner Gurushabad Mirando
- Commissioner Sasha McGhee
- Commissioner Piper Kapin

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to approve the agenda as presented.

VOTE: The motion was approved on the following Roll Call vote:

For:

- Vice Chair Peter Smith (Via Zoom) Yes
- Commissioner Gurushabad Mirando Yes
- Commissioner Sasha McGhee Yes
- Commissioner Piper Kapin Yes

Against: None

Abstain: None



City of Santa Fe

MINUTES

REGULAR MEETING OF THE
PLANNING COMMISSION
APRIL 3, 2025, AT 6:00 PM

D. APPROVAL OF POSTPONEMENT OF CASE# 2025-010094-PLBD

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to postpone agenda case #: 2025-010094-PLBD Education Retirement to April 17, 2025.

VOTE: The motion was approved on the following Roll Call vote:

For:
Vice Chair Peter Smith (Via Zoom) Yes
Commissioner Gurushabad Mirando Yes
Commissioner Sasha McGhee Yes
Commissioner Piper Kapin Yes

Against: None

Abstain: None

E. APPROVAL OF MINUTES:

1. March 20, 2025 Minutes

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to approve the minutes from Planning Commission meeting on March 20, 2025

VOTE: The motion was approved on the following Roll Call vote:

For:
Vice Chair Peter Smith (Via Zoom) Yes
Commissioner Gurushabad Mirando Yes
Commissioner Sasha McGhee Yes
Commissioner Piper Kapin Yes

Against: None

Not present: Member Thomas (TJ) Rieland



MINUTES

F. APPROVAL OF FINDINGS/CONCLUSIONS

1. **Case 2024-9585.** 4000 and 4200 Beckner Road Final Serial Subdivision Plat. Orion West LLC, Agent, for Santa Fe Las Soleras Medical Development LLC, Las Soleras Center LLC, and Las Soleras Village LLC, Owners, requests approval of a final plat to subdivide Lots 18A (29.82 acres) and 18B (18.01 acres) of the Las Soleras Master Plan to create a total of six lots. The parcels are zoned C-2 (General Commercial) and are located within the Suburban Archaeological Review District. (Janice Biletnikoff, Case Manager, jibiletnikoff@santafenm.gov)

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to e, to approve Findings for Case #2024-9585 without changes or corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Vice Chair Peter Smith (Via Zoom) Yes
 Commissioner Gurushabad Mirando Yes
 Commissioner Sasha McGhee Yes
 Commissioner Piper Kapin Yes

Against: None

Abstain: None



MINUTES

2. Case #2022-6013. Caja del Oro Subdivision Final Subdivision Plat. Victoria Dalton, of James W. Siebert and Associates, Inc., Agent, for the Pulte Group of New Mexico, Applicant, requests approval of a Final Development Plan for the Phase 2 portion which includes forty-four (44) single-family homes of the total 80 proposed for Phases 1 & 2 combined. The property is approximately +/- 9.07 acres of land of the +/-16.2 acres for both phases. It is located North of Caja del Oro Grant Road and East of the NM599 Frontage Road. (Claudia Kath, Case Manager, cmkath@santafenm.gov).

MOTION: Commissioner McGhee Moved, seconded by Commissioner Kapin, to approve Findings for Case #2022-6013 without changes or corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Vice Chair Peter Smith (Via Zoom) Yes
Commissioner Gurushabad Mirando Yes
Commissioner Sasha McGhee Yes
Commissioner Piper Kapin Yes

Abstain: None



City of Santa Fe

MINUTES

REGULAR MEETING OF THE
PLANNING COMMISSION
APRIL 3, 2025, AT 6:00 PM

G. OLD BUSINESS

H. NEW BUSINESS

- Case #2025-9707.** Country Club Development Plan. JenkinsGavin, Agent, for Santa Fe Civic Housing Authority, Owner, requests approval of a development plan to establish development standards for an 84,396 sq.ft., 84-unit multifamily development located at 5999 Airport Road on a property totaling approximately 5.89 acres. The property is zoned R-29 (Residential -29 unit per acre) and is within the Airport Road Overlay District (Daniel Alvarado, Case Manager, djalvarado@santafenm.gov). (505) 946-7072).

MOTION: Commissioner McGhee moved, seconded Commissioner Kaypin, to approve 2025-9707, Country Club Development Plan, subject to the conditions of approval technical corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Vice Chair Peter Smith (Via Zoom) Yes
 Commissioner Gurushabad Mirando Yes
 Commissioner Sasha McGhee Yes
 Commissioner Piper Kapin Yes

Against: None

Abstain: None



City of Santa Fe

MINUTES

REGULAR MEETING OF THE
PLANNING COMMISSION
APRIL 3, 2025, AT 6:00 PM

I. STAFF COMMUNICATIONS

J. MATTERS FROM THE COMMISSION

K. ADJOURNMENT 6:47pm

L.

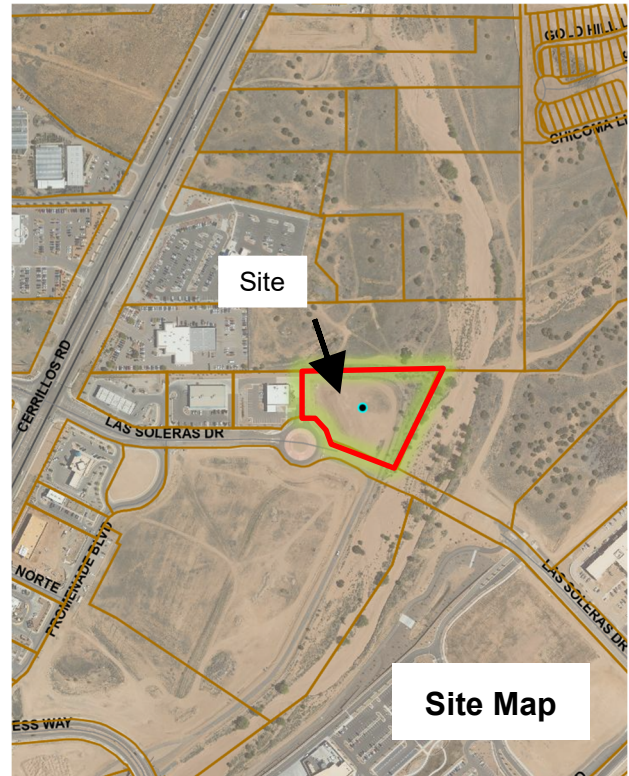
Liaison

Chair



Planning and Land Use Department Development Plan Staff Report

Case No:	2025-010094
Hearing Date:	April 17, 2025
Agent:	David Archuleta
Applicant:	Education Retirement Board (ERB)
Request:	Development Plan Approval
Location:	5211 Las Soleras Drive
Case Mgr.:	Claudia Kath
Zoning:	C-2 (General Commercial)
Overlay:	-Suburban Archeological Review Dist.
Pre-app Mtg:	July 25, 2024
ENN Mtg:	March 3, 2025
Proposal:	Applicant requests City of approval of a one-story office building, approximately 20,000 sq.ft on 2.99 acres of land. The property is zoned C-2 (General Commercial) and is located at 5211 Las Soleras Drive.



Case #2025-010094-PLBD. 5211 Las Soleras Drive. Development Plan. David Archuleta, Agent, for the Education Retirement Board, Applicant, requests Development Plan approval of a one-story office building, approximately 20,000 sq.ft. on 2.99 acres of land for office use. The property is zoned C-2 (General Commercial) and is located at 5211 Las Soleras Drive. (Claudia Kath Case Manager, cmkath@santafenm.gov).

I. RECOMMENDATION

The Planning and Land Use Department recommends development plan (“Development Plan”) **APPROVAL** of **Case #2025-010094, 5211 Las Soleras Drive, Education Retirement Board**, subject to conditions of approval and technical corrections listed in Attachments A & B of this report.

One motion will be required, for this case:

- **Approve or deny** the Development Plan (Case #2025-010094), subject to the conditions of approval and technical corrections recommended by staff. (See Attachments A & B).

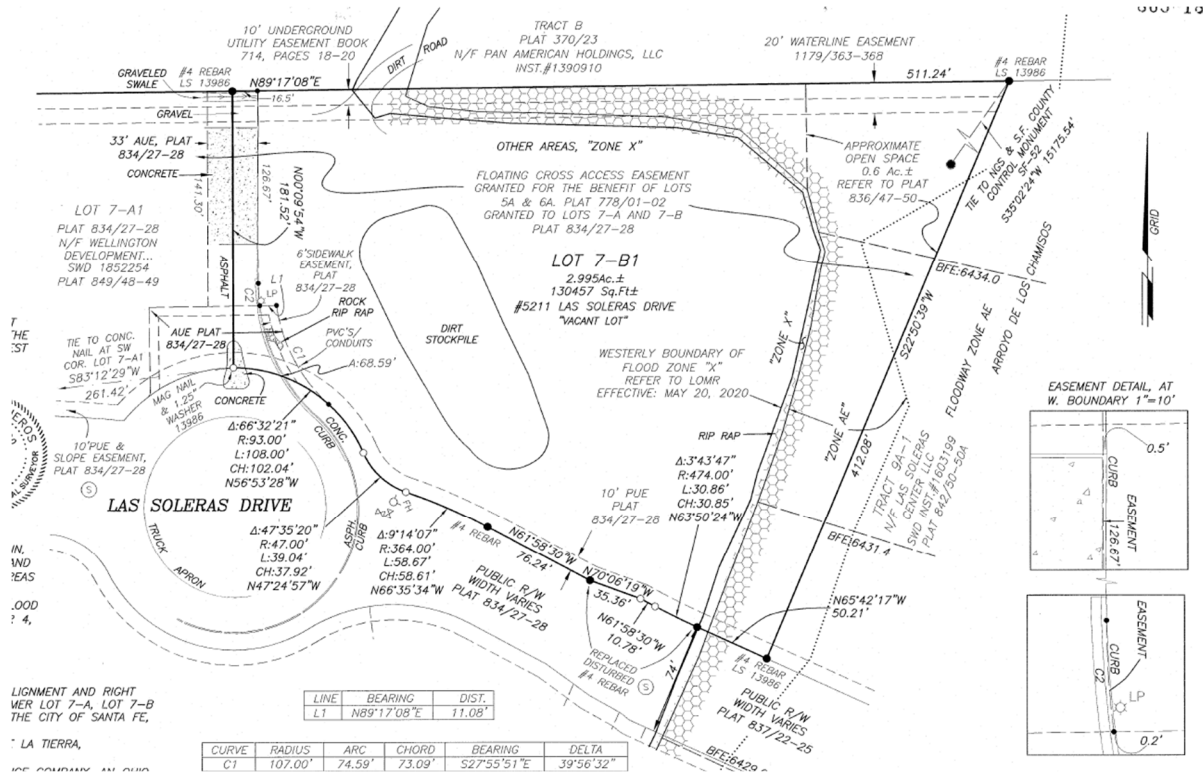


Figure 1 Existing Site Survey

II. EXECUTIVE SUMMARY

Background and Project Description

The subject property is located at 5211 Las Soleras Drive, southeast of Cerrillos Road at the northern portion of the traffic circle on Las Soleras Drive (the "Property"). The Property is a state owned, +/-2.99-acre parcel and identified on the City's Official Zoning Map as C-2 (General Commercial). Prior to their application to the City for a Development Plan, the Applicant received a building permit from the New Mexico State Construction Industries (CID), and the building is currently under construction. The Property is located adjacent to the Arroyo de Los Chamisos, and adjacent to the bridge that will provide for a future extension of Las Soleras Drive to Beckner Road.

Table 1 Development Plan Requirements

C-2 (General Commercial) Design Standards	Code Requirement	Applicant Submittal	Review
Height of Structures	45'	23'	Complies
Setback:			
- Front	- 15'	- 75'	Complies
- Rear	- 10'	- 40'	
- Side	- 0'	- 95' - 148'	
Lot Coverage	60%	45%	Complies

The Applicant requests approval of a Development Plan for a 20,000 square foot office building, with associated parking, landscaping, open space and drainage facilities. The Applicant purchased the parcel from Amigos de la Tierra, Ltd, Co, in January 2021. The development includes a single-story office building fronting the Las Soleras Drive traffic circle. The development has one access point from the shared drive with the Fresenius Kidney Care on the north side of Las Soleras Drive. In addition to the office building, the project features a parking lot with solar panel covered car ports, landscaping, outdoor break area and drainage ponds.



Figure 2 Aerial Photo

Development Plan Criteria

The purpose and intent of the Development Plan is to provide the plans to be followed in construction operations, including phasing, ensure compliance with Chapter 14 (which includes standards that address public safety and safe traffic circulation), and document compliance with final actions to approve or conditionally approve development applications.

To apply for development plan approval, applicants submit plans and documentation demonstrating compliance with the Santa Fe City Code, as outlined in Section 14-3.1(C). This includes showing existing conditions on the site and within 200 feet, proposed modifications such as new structures, grading, landscaping, and infrastructure changes, as well as the types and intensity of land uses. The submission must also document compliance with development standards, such as lot coverage, height, and open space. Additional requirements include a water budget, and detailed plans for meeting applicable development standards.

The Applicant has complied with all applicable subsections of SFCC §14-3.1 General Provisions, including 14-3.1(E) "Pre-Application Conferences", 14-3.1(F) "Early Neighborhood Notification Procedures" and 14-3.1(H) "Notice Requirements".

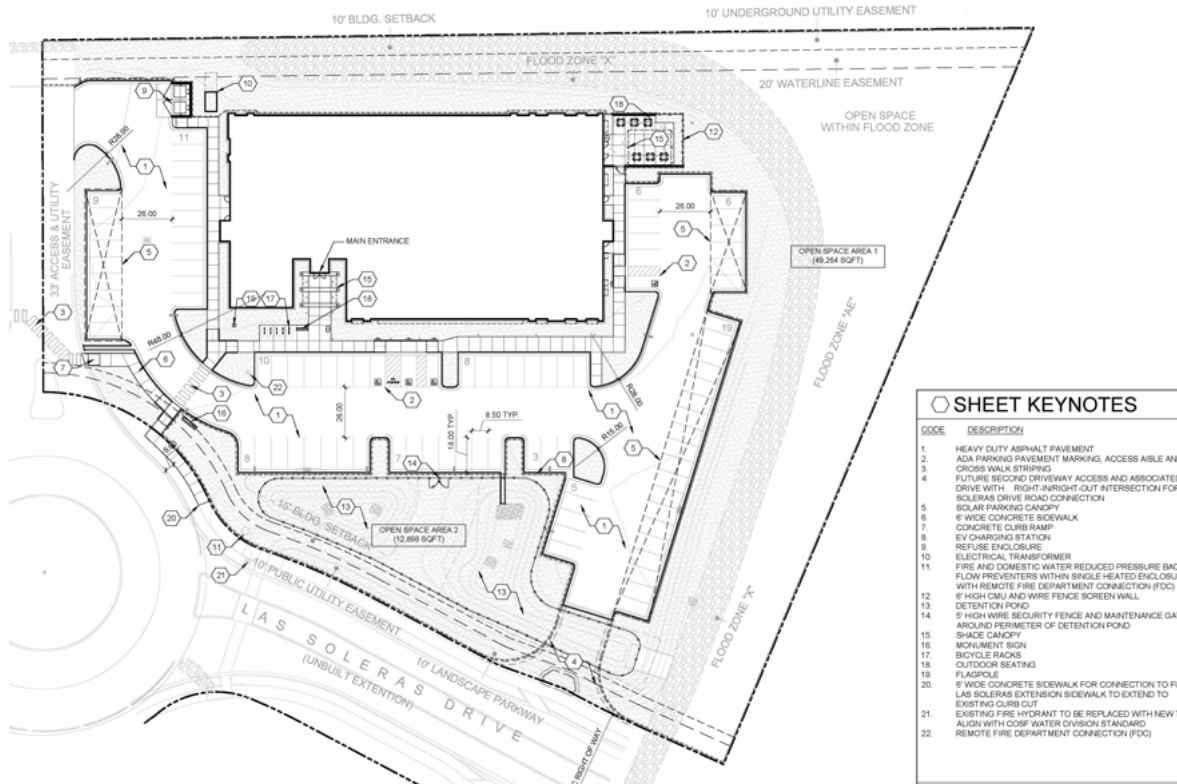


Figure 3 Development Site Plan

In order to facilitate the City review process, Staff provided the Applicant with a letter on March 5, 2025, detailing guidance and referencing specific code sections to assist in producing documents that meet the City's standards for submission and review, which are different from the standards for construction permitting at the State's Construction Industries Division. To facilitate the review process and provide clear direction to the Applicant, at Staff's request, several members of the City's Development Review Team (DRT) visited the site in person on March 12th, 13th, 18th, and again on April 1, 2025, for analysis, since construction is underway and complete drawings had not yet been received at that time.

Additionally, Staff conducted virtual meetings with the Applicant on April 2nd and 3rd, 2025 to provide feedback and further clarify initial DRT comments. Once Staff received the Development Plan and infrastructure submittal documents from the Applicant on 4/3/2025, the DRT team reviewed the Application for compliance with applicable City Code sections (See Attachments A & B).

Staff's analysis identifies the Application minimally satisfies Development Plan Approval Criteria in accordance with SFCC §14-3.8(D), subject to conditions of approval and technical corrections in Attachments A & B. The Applicant has verbally agreed to staff recommended conditions of approval and technical corrections but has yet to address all comments in their Development Plan set. If the Planning Commission approves the application, Staff will continue to work with the applicant to meet all applicable conditions prior to recordation of their Development Plan. The Applicant has provided the following statement via email on April 8, 2025:

"We do acknowledge that there are different drawings being provided for this process and that is partly due to the permitted construction drawings that the GC is working from and then there are the drawings that were created for this site development review process. The intent is that items addressed during this DRT process that need to get incorporated into the project have been captured in the site development plan, then have been verbally summarized and provided to the

GC so that they can put a cost figure to them, and then once that cost has been received, it will be reviewed by the owner (ERB) and their design team and upon approval, we would then modify the permitted construction drawings to capture these changes. So, until that process is done, the drawings that were submitted to CID for permitting will remain unchanged. We hope that the CoSF is understanding and respecting of this approach as we all work through this process together.”

III. PROJECT ANALYSIS – DEVELOPMENT AND DESIGN STANDARDS

a. Adjacent Zoning and Land Use

The Property is near Cerrillos Road, adjacent to Las Soleras Drive, and immediately west of the Arroyo de Los Chamisos, as well as high density residential uses, and non-residential uses as shown in Table 2 “Adjacent Uses and Zoning” and Figure 4 “Adjacent Zoning Map” below.

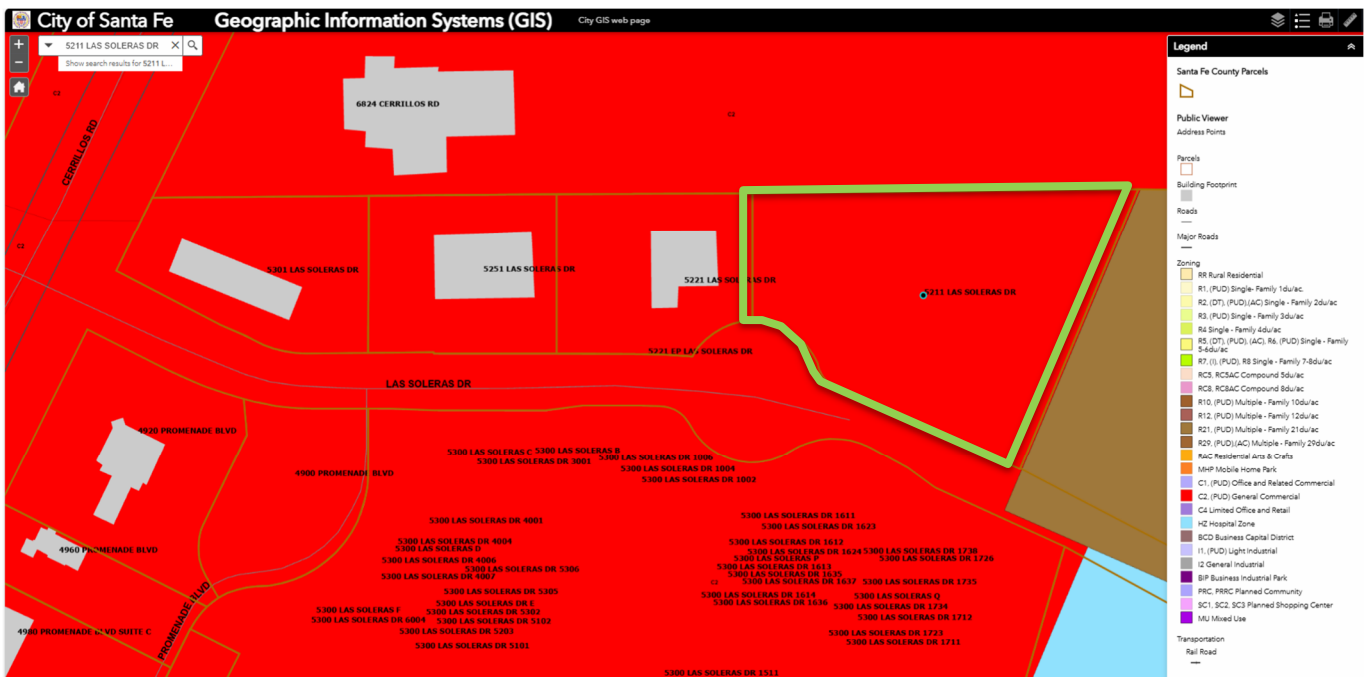


Figure 4 Adjacent Zoning Map

Table 2 Adjacent Uses and Zoning

Direction	Use	Property Address	Zoning
North	Auto Dealership	6824 Cerrillos Road	C-2 (General Commercial)
East	Vacant	Las Soleras Masterplan	R-21 (Residential-twenty-one dwelling units per acre)
South	Apartments	5300 Las Soleras	C-2 (General Commercial)
West	Medical Ctr	5211 Las Soleras Drive	C-2 (General Commercial)

b. Overlay Districts – SFCC §14-5.1

The Property has a legal lot of record, is zoned C-2 (General Commercial), and is in the Suburban Archaeological Review District and the Las Soleras Master Plan.

c. Access and Traffic – SFCC §12-2.1

The Applicant provided an Initial Traffic Assessment (ITA) which indicated that a more detailed Traffic Impact Analysis (TIA) is not required at this time. (See Attachments A & B). The City Traffic Engineer noted in the DRT comments; *“Nothing in subsections 23-3.12 and 23-3.15 SFCC 1987 prevents the city from ordering construction of curbs, gutters and sidewalks and assessing the cost thereof against the property benefited in any manner provided by the laws of the state.”*

23-3.12 - Property owners to construct and maintain.

Each owner of property shall construct and maintain curbs, gutters and sidewalks in front of the property so owned as required in subsection 14-93.7 SFCC 1987.

23-3.15 - Compliance with city engineer's specifications.

All construction of curbs, gutters and sidewalks shall be under the supervision of the city engineer or other authorized representative and in accordance with the approved city specifications and plans and any rules and regulations promulgated by the governing body.

d. Terrain and Stormwater Management – SFCC §14-8.2

The Applicant has provided Drainage Calculations for the Property. The City Engineer has reviewed the drawings and calculations and has no comments at this time. A detention pond is located on site and has capacity to serve the drainage needs of the development (See Attachments A & B).

e. Off-Street Parking and Loading – SFCC §14-8.6

In the C-2 District 14-8.6(C)(2)(ii) – *“One parking space for each five hundred (500) square feet of net leasable floor area for office uses”*.

Table 3 Parking Requirement

5211 Las Soleras Drive				
Area Sq. Ft.	Type of Parking	Parking Requirement	Provided	Review
19,443	Standard Cars	1 Parking Space per 500 Sq. Ft. = 39 Parking Spaces	92	Complies
	ADA Car Spaces		4	
	ADA Van Spaces		3	
	Bicycle Parking Spaces	6	10	Complies

The Land Use Technical Review Division has reviewed the development plan parking scheme for compliance with the ADA. Comments and conditions of approval can be found in Attachments A and B.

Table 4 Parking Type

Type 90°	Minimum Width	Vehicle Projection	Aisle	Typical Module	Overhang
Required for Standard Cars	8'-6"	19'-0"	23'-0"	61'-0"	3'-0"
Provided for Standard Cars	8'-6"	18'-0"	26'-0"	59'-6" – 161'-6"	3'-0"

SFCC § 14-8.6(B)(c) "All off-street parking spaces and lots shall meet the standards set forth in this Subsection 14-8.6(B) and any additional standards shown on an approved site plan: they shall have barriers that prevent vehicles from extending over the public sidewalks, abutting lots or the minimum required landscaped area, and that prevent vehicles from obstructing building entries and ADA accessible routes;"

The Development Plan shows one location for bicycle parking within 40' of the front entrance of the building. The total number of bicycle parking spaces proposed is 10. The number of bicycle parking spaces required is 6. While the already installed bicycle parking racks' design does not comply with Exhibit C – "Off-Street Bicycle Parking Table 14-8.6(E)(3)", the overall intent of providing sufficient bicycle parking is met and the Land Use Director finds that the racks comply through an alternate means of compliance. (See Attachments A & B).

form+
Augmented
Configurator

SPECIFICATION SHEET

Twist Bike Rack

SKTWS

Quantity: 5
Weight: 34.00 lbs.
Dimension: 19.5" L X 5" D X 34" H
Body Material: Cast Aluminum
Cover Plate Material: Cast Aluminum
Body & Cover Plate Finish: Powdercoat, Dark Corten
Texture
Mounting: Surface Mounted With Embedded Anchors
Mounting Hardware Kit: 3/8" Std & Epoxy Anchor Kit 1 - Qty 5



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Project ID: 101151041075421211010094
Smart Code: SKTWS-AU-AL-PC-DCCT-SFM
Page 2 of 6 | Rev: 01-24-24

Figure 5 Installed Bike Rack

b. Water Budget – SFCC §14-8.13

The Applicant has an approved and signed water plan from 2023. Staff recommends that the Planning Commission adopt a condition regarding a current water budget which is updated to existing conditions. (See Attachments A & B).



**CITY OF SANTA FE WATER DIVISION
WATER ASSESSMENT AND WATER BUDGET DESIGNATION CERTIFICATE**

For City Use Only

Name of Applicant	David Archuleta	Service Address	5211 Las Soleras	USA Number:	ACDCOM20250004
Contact Phone	505-827-8030	Lot	LOT 7-B1	Confirm	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Contact Email	David.Archuleta@erb.nm.gov	Project Name	NM ERB Office	Alternative Water Budget	<input checked="" type="checkbox"/>
Contact Address	701 Camino De Los Marquez	Project Company	NM ERB Office	Water Rights Required for Offset	<input checked="" type="checkbox"/>
Assessed By	Danny Valenzuela	Project Description	NM ERB Office	Affordable Housing Units	<input checked="" type="checkbox"/>
Date	2/26/2025	Project Phase (if any)	Single Phase	Paying Water Budget in Full	<input checked="" type="checkbox"/>

DEDICATION OF WATER TO MEET WATER OFFSET REQUIREMENT

1. Pre-Certified Retrofit Credits					
Pre-Verification Certificate #	Available Retrofit Credits	Retrofit Credits Dedicated to this Permit		Retrofit Credit Balance	
NA	NA	NA		NA	
NA	NA	NA		NA	
2. Water Bank Sales					
Total Water Budget			Water Budget Calculation		
Type of Use	OfNonM	Domestic Demand	OfNonM	Irrigation 3yr Avg	0.631
Budget Offset Sum Dom + Irr (af)	1.9920	Unit of Measurement	Per 10,000 sqft	Unit of Measurement	1
Budget Vol Less Credits (af)	1.9920	Range sqft (if required)	Dom/IM	Range sqft (if required)	Dom/IM
9.8% Line Contingency Vol (af)	0.1952	Volume Per Unit (afu)	1.3610	Volume Per Unit (afu)	0.631
Threshold	Below	Number of Units	1	Number of Units	1
Final Budget Volume (af)	2.1870	Volume x Units	1.3610	Volume x Units	0.631
Final Budget Fee	\$36,304.20	Offset Volume I (af)	1.3610	Offset Vol III (af)	0.631
3. Water Rights Credit from City Water Bank					
Water Bank Account No.	Water Bank Account Owner	Water Bank Admin Authorization No.	Water Credit Allocated to this Permit (AFY)		
NA	NA	NA	NA		
NA	NA	NA	NA		

*** PAYMENT REQUIRES SIGNATURE ***

Required Offset Fee if Purchasing from City Water Bank: \$36,304.20 **General Ledger:** 51353.439335

By my signature, I affirm that the information contained on this form is true and correct and may be subject to verification by the City of Santa Fe

Applicant Signature:  **Date:** February 27, 2025

For Water Division Only		For Cashiers Office Only	
Approved: Danny Valenzuela	Date: 2/26/2025	Amount Paid	Date: Custmr. Receipt #

Figure 10 Previously Approved Water Budget

c. Sewer - SFCC §22-3.2

The Wastewater Division has reviewed the Applicant's construction drawings and observed the site conditions via a site visit. The Applicant's construction drawings comply with City standards. (See Attachments A & B).

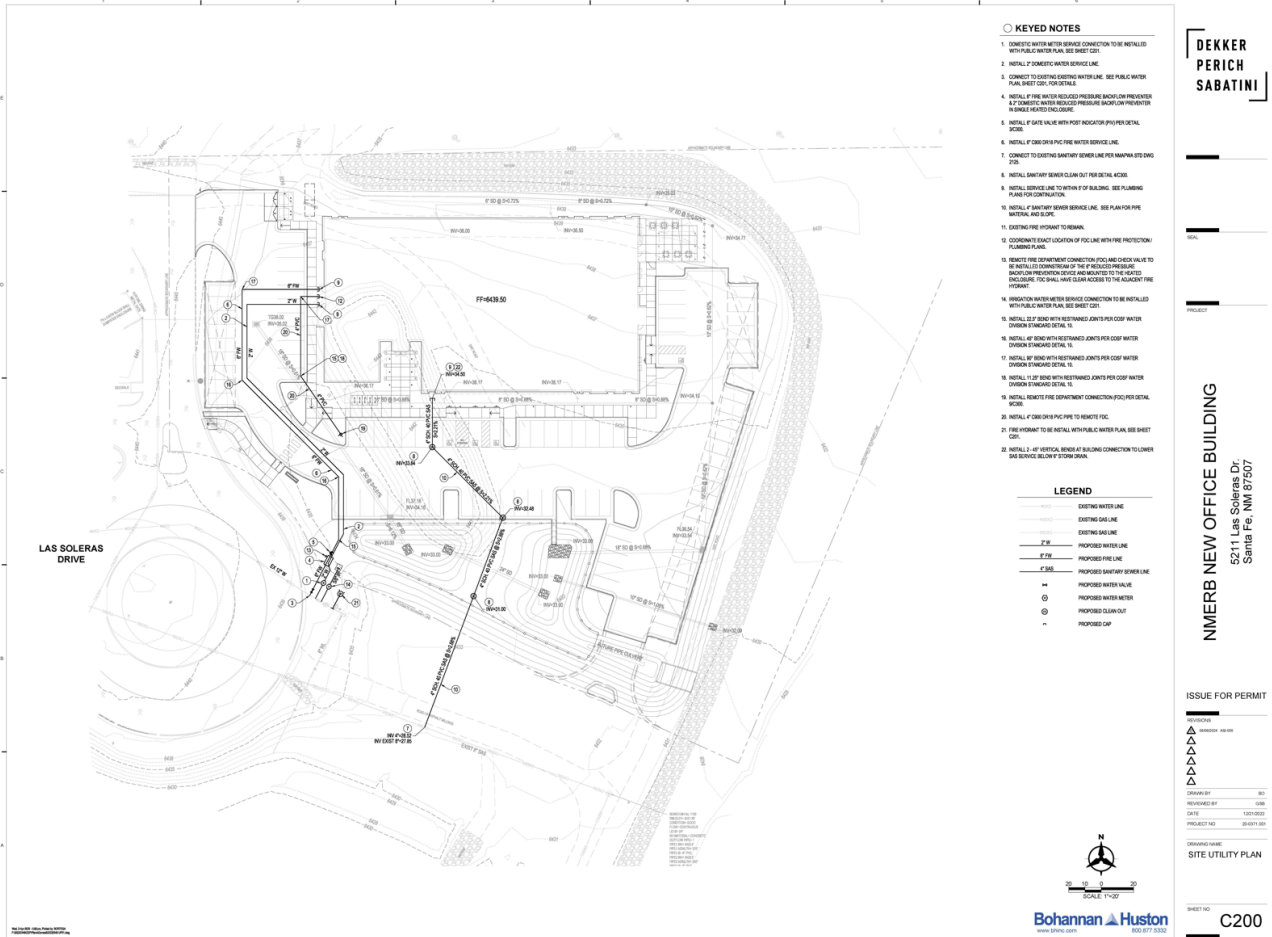


Figure 11 Utility Plan



Figure 12 Water Supply



Figure 13 Water Connection



Figure 13 Sewer Connection

i. Fire and Emergency Access - SFCC §12.14

The Fire Marshall met with the Applicant and Staff on site on 3/13/2025 and 4/1/2025 and informed the Applicant the existing carports on site encroach into the fire lane. A fire truck was brought to the site to demonstrate this conflict with the carports on 3/13/2025. The carports were installed in the wrong location and not according to the construction plans. The Applicant has represented that the contractor will move the carports so that they are not in conflict with the fire lane. Staff recommends that the Planning Commission adopt a condition of approval regarding moving the carports in order to bring the development into compliance with Code. (See Attachments A & B).



Figure 14 Fire Apparatus / Carport Structure, once panels are added fire truck circulation will be obstructed

j. Archaeology SFCC §14-3.13

The Property is in the Suburban Archeological Overlay District. The area has been surveyed by Lone Mountain Archaeology in 2006 and cleared by the Archaeological Review Committee. (See Attachments A & B).

k. Environmental Services SFCC §21-4.6

There are dumpsters on site at the northwest corner of the building at the parking lot entry. They are enclosed and there is a double gate for access. There are no concerns from the Environmental Services department. (See Attachments A & B).

IV. DEVELOPMENT PLAN APPROVAL CRITERIA SFCC §14-3.8(D)(1)

SFCC Section 14-3.8 governs the authority, procedures, and restrictions for development plans. The Criteria for approval of Development Plans are detailed below:

<p>Criterion 1: That the Planning Commission has the authority and is empowered to approve the development plan under the section of Chapter 14 described in the application;</p>	<p>Criterion Met: (Yes/No) NO</p>
<p>Applicant Response: <i>No response from Applicant</i></p>	
<p>Staff Response: Santa Fe City Code (SFCC) Subsection 14-2.3(C)(1) authorizes the Planning Commission to review and approve or disapprove development plans.</p>	
<p>Criterion 2: That approving the development plan will not adversely affect the public interest; and</p>	<p>Criterion Met: (Yes/No) NO</p>
<p>Applicant Response: <i>This development will have typical business traffic during regular business hours for approximately 85 full-time employees, which should have minimal impact on traffic patterns in the area. Vehicular access to the property is currently restricted to the termination of Las Soleras Drive at the roundabout; however, emergency only access is being planned on the southern end of the property. Pedestrian access is also being modified to accommodate pedestrian needs on the property.</i></p>	
<p>Staff Response: The term “Public Interest” is not defined in Chapter 14; however, the Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and development. Staff has reviewed the proposed development plan application in accordance with Chapter 14. Subject to staff recommended conditions of approval, the proposed development plan complies with minimum standards of Chapter 14 SFCC and would not adversely affect the public interest.</p>	
<p>Criterion 3: that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No) NO</p>
<p>Applicant Response: <i>This development meets or exceeds energy code minimums, creating a building that minimizes the demand on public utility infrastructure. The site is designed to detain storm water that can then be discharged into the existing arroyo, maintaining historical volumes without the need for storm sewer infrastructure. The addition of a photovoltaic system, on the roof and on parking canopies, is estimated to offset the annual electrical demand by 150%. Excess energy will be sold back to the electrical utility provider, helping to meet their needs and providing additional revenue that will pay back the investment.</i></p>	
<p>Staff Response: The use of the building is compatible and comparable with the commercial and multifamily development located in the area. There is a variety of mixed use residential and commercial structures in the district and adjacent to the property. The site accommodates commuter traffic to the building by car, bicycle, and public transportation.</p>	

V. EARLY NEIGHBORHOOD NOTIFICATION

The applicant properly noticed for the Early Neighborhood Notification meeting in accordance with SFCC §14-3.1(H). An ENN meeting was held on March 3, 2025. The applicant was not able to present the project as no members of the public were present.

VI. EXPIRATION

Per SFCC Section 14-3.19(B)(4) "Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6)."

ATTACHMENTS

ATTACHMENT A: Conditions of Approval and Technical Corrections

- 1. Conditions of Approval
- 2. Compiled Technical Corrections

ATTACHMENT B: Development Review Team Comments

- 1. Fire Department
- 2. Planning
- 3. Terrain Management
- 4. ADA
- 5. Landscape
- 6. Traffic Engineering
- 7. Water Resources
- 8. Water Division
- 9. Wastewater Division
- 10. Archeological Clearance
- 11. Environmental Services
- 12. Archeological Survey Log
- 13. Prairie Dog Certification

ATTACHMENT C: Report Drawings and Photos

- | | |
|------------------------------|--|
| 1. Site Survey | 9. Previously Approved Water Plan |
| 2. Aerial Photo | 10. Previously Approved Water Budget |
| 3. Site Development Plan | 11. Utility Plan |
| 4. Adjacent Zoning Map | 12. Water Supply |
| 5. Installed Bike Rack | 13. Water Connection |
| 6. Landscape Plan | 14. Sewer Connection |
| 7. Photometric Analysis Plan | 15. Fire Apparatus / Carport Structure |
| 8. Installed Light Fixture | |

ATTACHMENT D: ENN Documents

1. ENN Packet

ATTACHMENT E: Applicant Documents

1. Applicant Letter
2. Legal Lot of Record
3. Development Plan Drawing Set
4. Infrastructure Drawing Set

APPROVED AS TO FORM BY THE PLANNING AND LAND USE DEPARTMENT:

Title	Name	Initials
Department Director	Heather Lamboy	HLL
Assistant Department Director	Maggie Moore	
Planning Manager	Daniel Esquibel	DAE
Planner Senior	Claudia Kath	CK

City of Santa Fe, New Mexico

**Education Retirement
Board
Planning Commission**

Attachment A

**Conditions of Approval and
Technical Corrections**

Attachment A			
CONDITIONS OF APPROVAL		Department	To be completed by:
1	<p>All conditions of approval. Staff’s analysis concludes that this Application only complies with Chapter 14 if all conditions of approval listed below are met. Chapter 14 applies to State agencies only as a matter of contract when agencies are seeking to use municipal water. City Code Section 25-1.3(B) provides that “[all] applicants for city water service requiring a water service agreement or written contract as set forth elsewhere in this chapter shall agree, as a matter of contract, that future development of the property shall require compliance with all provisions of Chapter XIV SFCC 1987 (Land Development). This provision shall apply to all agreements or contracts entered into after December 21, 2009.” Pursuant to Section 14-3.1, “General Provisions”, applications may be approved with conditions of approval to ensure compliance with the purpose and intent of Chapter 14 or any section of this chapter and any applicable city land use policy. Staff has determined that the Application will comply with Chapter 14 only when all conditions of approval listed below have been met.</p>	Land Use	Prior to recording and filing the Development Plan
2	Obstructions into fire lanes (parking structures)	Fire Dept	During Construction
3	An approved Water Plan will be required for all new public water infrastructure and fire services	Water Division	Prior to recording and filing the Development Plan
4	An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services	Water Division	Prior to Building Permit Approval
5	A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	Water Division	At the time of Development
6	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water Division	At the time of Development
7	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to be submitted to the City Water Division for review.	Water Resources	Prior to recording and filing the Development Plan
8	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water Resources	Prior to Recordation

9	Each lot shall be served by a separate water service at the time of development.	Water Resources	Prior to Construction
10	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water Resources	Prior to Construction
11	City sewer service for this project may be obtained by connection to an 8-inch public PVC sewer line located in front of the proposed building site. The connection of a 4-inch service line may be connected directly to the sewer line. A 6-inch service line shall require connection directly to a sewer manhole.	Wastewater	At the time of Development

TECHNICAL CORRECTIONS		Department	To be completed by:
1	Shall verify with Fire Marshall / Fire Code Official of site conditions for parking structures and marked fire lanes to be clear of obstructions prior to certificate of occupancy issuance	Fire Dept.	During Construction
2	Concrete, curb and gutter must front the property along the roadway from the property line to the north end cross walk.	ADA	Prior to Recordation
3	Concrete sidewalk must front the property along the roadway from the property line to the north end of crosswalk	ADA	Prior to Recordation
4	Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% and staff recommends 1% to 1.5% as a target cross slope. Walkways provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.	ADA	Prior to Recordation
5	At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and	ADA	Prior to Recordation
6	An ADA curb ramp must be placed at the south end of the sidewalk to continue the Accessible Route	ADA	Prior to Recordation
7	All sidewalks and Curb ramps must be ADA compliant	ADA	Prior to Recordation
8	Wheel stops must be provided at each parking space	ADA	Prior to Recordation
9	Bike racks must be provided be the inverted 'U' type bicycle rack See Exhibit 'D' : <i>Bicycle Rack Standards and Dimensions:</i>	ADA	Prior to Recordation

10	Landscape: BETULA FONTINALIS, WESTERN RIVER BIRCH, is not on the city approved plant list. Please replace the Western River Birch trees with an approved tree variety from the City of Santa Fe plant list.	Landscape	Prior to Recordation
11	City Staff respectfully request the replacement of Pinon Pine with another evergreen tree variety from the city approved plant list. Due to the black scale and bark beetle infestations plaguing Pinon in many areas of Santa Fe.	Landscape	Prior to Recordation
12	POPULUS DELTOIDES VAR. WISLIZENI RIO GRANDE COTTONWOOD, are shown on the landscape design as within thirty feet from the parking lot and sidewalks. Due to the growth habits of these trees, city staff are concerned with the planting locations and the risk of life and property damage due to falling branches. Staff respectfully request the replacement of this variety with another tree from the city approved plant list.	Landscape	Prior to Recordation
13	Weed fabric is required in the detention/retention pond.	Landscape	Prior to Recordation
14	Provide the southern 5-foot sidewalk along Las Soleras Drive.	Landscape	Prior to Recordation
15	All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.	Landscape	Prior to Recordation
16	Irrigation: <i>14-8.4(E)(4)(h) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plant with similar water use requirements shall be grouped together.</i> Trees and shrubs shall have separate zones. Drought tolerant and very low water-use tree shall have a separate zone. Native shrubs and very low water-use shrubs shall be irrigated on a separate zone. Separate zones are required for permanent and temporary irrigation lines.	Landscape	Prior to Recordation
17	Provide a water budget: Irrigation system operation information including recommended monthly and seasonal irrigation schedules and water budgets based on gallons used for landscape plantings for year one and year three shall be included on the irrigation plan. Per 3.18. Design Regulations of Landscape Irrigation Design Standards City of Santa Fe, New Mexico.	Landscape	Prior to Recordation
18	Provide a complete set of installation details, notes, and specifications for the irrigation system. Show on the detail drawings the installation of all assemblies without any questions for size or type of materials to use for said irrigation system.		

19	Backflow preventer detail B4 on sheet LI501 does not meet city code. Please provide a GFI and heat tape within the hotbox enclosure. GFI must be 6-inches above the drainage vent of the RP devise.	Landscape	Prior to Recordation
20	Six drip emitters are required per tree 3-emitters shall be placed outside of the temporary water well for future tree growth.	Landscape	Prior to Recordation
21	Grading and Drainage: Provide grading and drainage calculations for the lot.	Landscape	Prior to Recordation
22	A water level measuring device with zero set at finish grade located at the center of each pond is required.	Landscape	Prior to Recordation
23	Retention ponds deeper than three feet require a security fence and maintenance gate. Fence shall be five in height. The following shall also apply 14-8.4(J) Screening and Buffering, 14-8.5 Walls and Fences.	Landscape	Prior to Recordation
24	Storm water storage ponds are not to exceed 1 foot in depth without verification that storm water will drain within 24 hrs. A percolation test is required for each pond.	Landscape	Prior to Recordation
25	Fill slopes shall be no steeper than 3:1, unless a structural alternative such as a retaining wall or some other measure acceptable to the city engineer is provided;	Landscape	Prior to Recordation
26	<p>Site Restoration:</p> <p>(a) Soil stabilization and erosion control measures for all land disturbed by construction shall be completed within twenty-one days after completion of construction or other activities on site that interfere with soil stabilization measures. If the time of year is not conducive to planting, it may be delayed until the next appropriate planting season if all appropriate temporary erosion control measures are maintained until permanent erosion control measures are implemented.</p> <p>(b) One or more of the following stabilization and erosion control measures shall be used.</p> <p>(i) Revegetation with appropriate drought-tolerant plant materials, including grasses or other ground cover.</p> <p>(ii) Restoration with bioengineering techniques such as live staking , brush layering , brush mattress and live crib walls.</p> <p>(iii) Stabilization with stones, terracing or similar techniques.</p> <p>(c) All trees and shrubs shall be mulched and irrigated until established. Grass seed should either be hydroseeded or covered with biodegradable material or synthetic soil erosion control blankets or matting and irrigated until established. Irrigation shall be pursuant to the irrigation requirements in Section 14-8.4 (Landscape and Site Design).</p>	Landscape	Prior to Recordation

27	<p>Photometrics do not meet Code requirements. See Article 14-8.9 and revise for compliance. Average Maintained Horizontal Foot-candles at Grade, Area Commercial:</p> <ul style="list-style-type: none"> - Sidewalks 1.0 - Pedestrian Area 2.0 - Parking Lots 1.0 - Building Entrances 5.0 - Building Grounds 1.0 - Public Spaces 3.0 <p>The maximum illumination at any point shall not exceed the allowed average by more than 1.5 Foot-candles.</p>	Landscape	Prior to Recordation
28	No Comments	Environmental Services	NA
29	No Comments	Terrain Management	NA
30	See attached email from Wilson & Company dated 4/3/2025	Traffic	NA
31	Any and all <u>future</u> proposed improvements of this site that affect public infrastructure will be subject to Chapter 23 and additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. may be required at that time.	Traffic	NA

City of Santa Fe, New Mexico

Education Retirement Board Planning Commission Attachment B

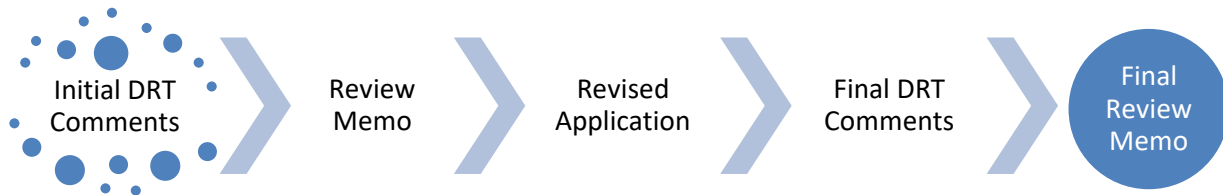
Development Review Team Technical Corrections

- 1. Fire Department**
- 2. Planning**
- 3. Terrain Management**
- 4. ADA**
- 5. Landscape**
- 6. Traffic Engineering**
- 7. Water Resources**
- 8. Water Division**
- 9. Waste Water Division**
- 10. Archeological Clearance**
- 11. Environmental Services**
- 12. Archeological Survey**
- 13. Prairie Dog Certification**

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

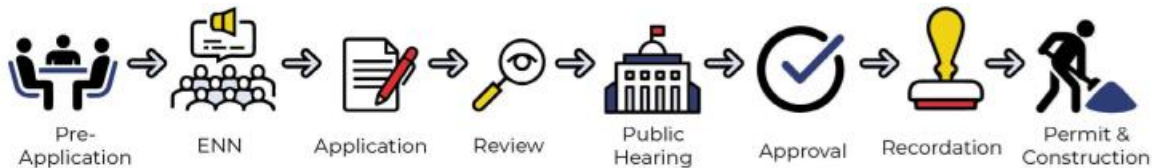


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: April 5, 2025
 DRT Member: Geronimo Griego, Fire Marshal
 Dept/Div: Fire Marshal's Office
 Case No.: 2025-010094-PLBD - ERB - 2nd DRT Submittal
 Case Planner: Claudia Kath, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Obstructions into fire lanes (parking structures)	During Construction	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

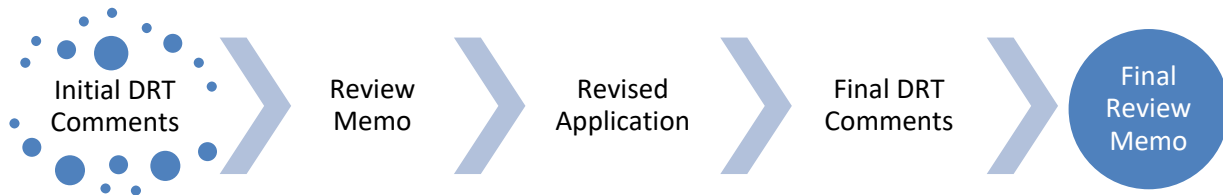
Explanation of Conditions or Corrections (if needed):

1. Shall verify with Fire Marshal/ Fire Code Official of site conditions for parking structures and marked fire lanes to be clear of obstructions prior to certificate of occupancy issuance.

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

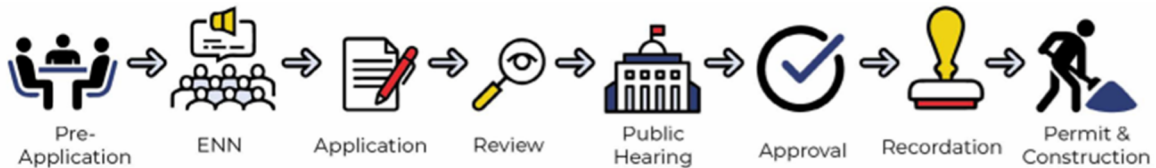


Timing of Conditions of Approval + Technical Corrections

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Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: April 9, 2025

DRT Member: Claudia Kath

Dept/Div: Land Use / Planning

Case No.: 2025-010094-PLBD

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Approval of this application is conditionally approved and City Water shall not be issued to the Applicant until the financial guarantee has been approved and accepted by the City Land Use Engineer and filed, the Development Plan is recorded in the office of the Santa Fe County Clerk and both the Development Plan and Civil Drawings are filed in the City Map Room.	Prior to recording and filing the Development Plan	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

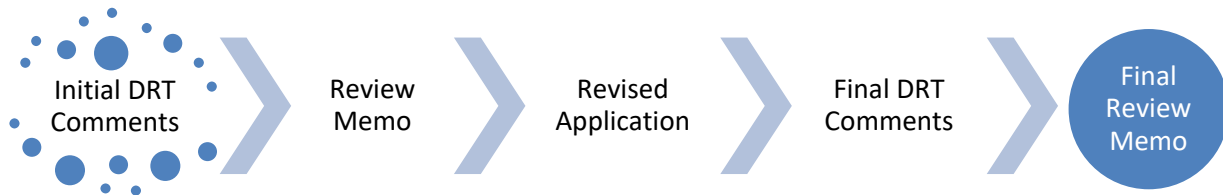
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

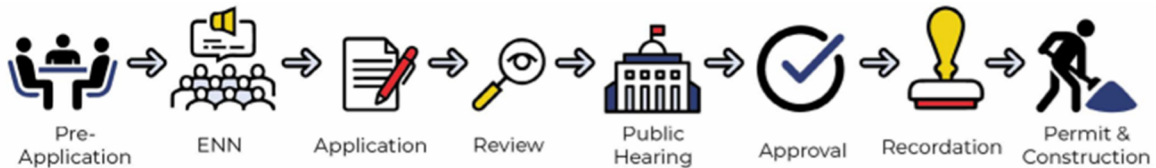


Timing of Conditions of Approval + Technical Corrections

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- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: April 9, 2025

DRT Member: Dee Beingessner

Dept/Div: Land Use Dept. Terrain Management

Case No.: 2025-010094

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. No Comments		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

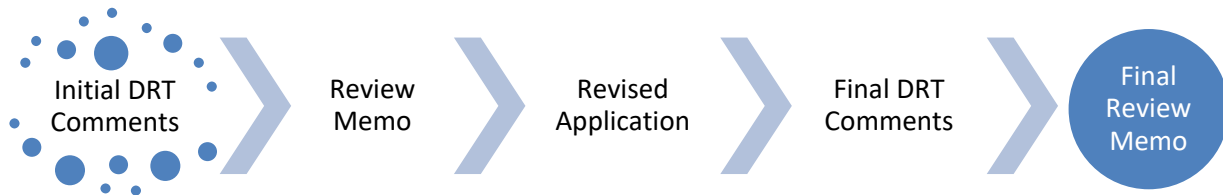
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

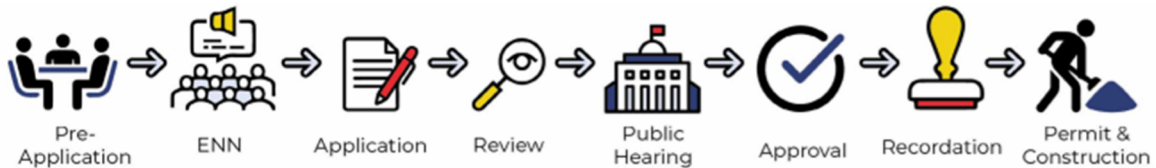


Timing of Conditions of Approval + Technical Corrections

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- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: 4/9/2025

DRT Member: Teddy Padilla

Dept/Div: Land Use Dept. Technical Review

Case No.: 2025-010094-PLBD

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Concrete, Curb and Gutter must front the property along the roadway from the property line to the north end cross walk.	Prior to Recordation	
2. Concrete sidewalks must front the property along the roadway from the property line to the north end crosswalk.	Prior to Recordation	
3. Striping must be placed at north crosswalk crossing the road to the west end curb ramp.	Prior to Recordation	
4. Sidewalks and Walkways along the accessible path of travel shall not exceed 1:20 (5%) running slopes without handrail(s) in accordance with current ANSI 117.1 standards 505 & 2015 IBC 1014. Cross slopes shall not exceed 2% and staff recommends 1% to 1.5% as a target cross slope. Walkways provide 5' diameter turning space every 200 linear feet of run. It is preferred to have marked crossings where the accessible route crosses vehicular traffic lanes.	Prior to Recordation	
5. At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute	Prior to Recordation	

6. An ADA curb ramp must be placed at the south end of the sidewalk to continue the Accessible Route.	Prior to Recordation	
7. All sidewalks and Curb ramps must be ADA compliant.	Prior to Recordation	
8. Wheel stops but be provided at each parking space	Prior to Recordation	
9. Bike racks must be provided be the inverted 'U' type bicycle rack See Exhibit 'D' : <i>Bicycle Rack Standards and Dimensions:</i>	Prior to Recordation	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: April 8, 2025

DRT Member: Lawrence Rivera

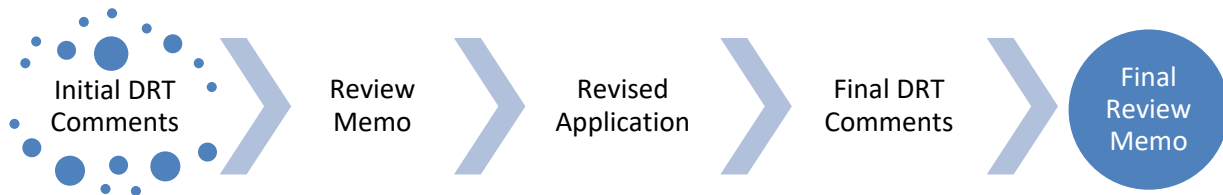
Dept/Div: Landscape, Irrigation, Outdoor Lighting, and Grading and Drainage **3rd Review**

Case No.: Education Retirement Board Building at 5211 Las Soleras Dr. **Revision #1**

Case Planner: KATH, CLAUDIA M. <cmkath@santafenm.gov>

DRT Review Schedule – 9-12+ weeks*

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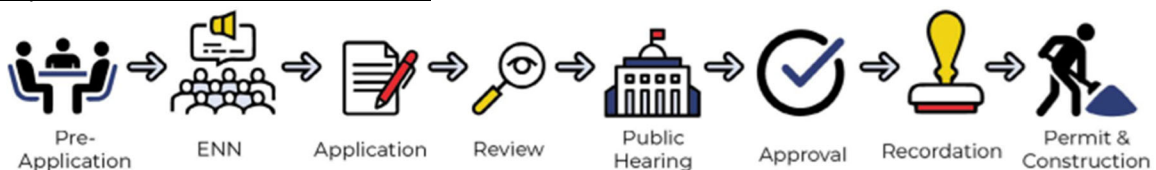


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- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of Construction* – these conditions/technical corrections can be addressed during the construction and inspection processes.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. Landscape: BETULA FONTINALIS, WESTERN RIVER BIRCH, is not on the city approved plant list. Please replace the Western River Birch trees with an approved tree variety from the City of Santa Fe plant list.		
2. City Staff respectfully request the replacement of Pinon Pine with another evergreen tree variety from the city approved plant list. Due to the black scale and bark beetle infestations plaguing Pinon in many areas of Santa Fe.		
3. POPULUS DELTOIDES VAR. WISLIZENI RIO GRANDE COTTONWOOD, are shown on the landscape design as within thirty feet from the parking lot and sidewalks. Due to the growth habits of these trees, city staff are concerned with the planting locations and the risk of life and property damage due to falling branches. Staff respectfully request the replacement of this variety with another tree from the city approved plant list.		
4. Weed fabric is required in the detention/retention pond.		
5. Provide the southern 5-foot sidewalk along Las Soleras Drive.		
6. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.		
7. Irrigation: 14-8.4(E)(4)(h) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plant with similar water use requirements shall be grouped together. Trees and shrubs shall have separate zones. Drought tolerant and very low water-use tree shall have a separate zone. Native shrubs and very low water-use shrubs shall be irrigated on a separate zone. Separate		

zones are required for permanent and temporary irrigation lines.		
8. Provide a water budget: Irrigation system operation information including recommended monthly and seasonal irrigation schedules and water budgets based on gallons used for landscape plantings for year one and year three shall be included on the irrigation plan. Per 3.18. Design Regulations of Landscape Irrigation Design Standards City of Santa Fe, New Mexico. 9. Provide a complete set of installation details, notes, and specifications for the irrigation system. Show on the detail drawings the installation of all assemblies without any questions for size or type of materials to use for said irrigation system.		
10. Backflow preventer detail B4 on sheet LI501 does not meet city code. Please provide a GFI and heat tape within the hotbox enclosure. GFI must be 6-inches above the drainage vent of the RP devise.		
11. Six drip emitters are required per tree 3-emitters shall be placed outside of the temporary water well for future tree growth.		
12. Grading and Drainage: Provide grading and drainage calculations for the lot.		
13. A water level measuring device with zero set at finish grade located at the center of each pond is required.		
14. Retention ponds deeper than three feet require a security fence and maintenance gate. Fence shall be five in height. The following shall also apply 14-8.4(J) Screening and Buffering, 14-8.5 Walls and Fences.		
15. Storm water storage ponds are not to exceed 1 foot in depth without verification that storm water will drain within 24 hrs. A percolation test is required for each pond.		
16. <i>Fill slopes</i> shall be no steeper than 3:1, unless a structural alternative such as a retaining <i>wall</i> or some other measure acceptable to the <i>city engineer</i> is provided;		
17. Site Restoration: (a) Soil stabilization and <i>erosion</i> control measures for all land disturbed by construction shall be completed within twenty-one days after completion of construction or other activities on site that interfere with soil stabilization measures. If the time of year is not conducive to planting, it may be delayed until the next appropriate planting season if all appropriate temporary <i>erosion</i> control measures are maintained until permanent <i>erosion</i> control measures are implemented.		

<p>(b) One or more of the following stabilization and <i>erosion</i> control measures shall be used.</p> <p>(i) Revegetation with appropriate drought-tolerant plant materials, including grasses or other ground cover.</p> <p>(ii) Restoration with bioengineering techniques such as <i>live staking</i> , <i>brush layering</i> , <i>brush mattress</i> and <i>live crib walls</i>.</p> <p>(iii) Stabilization with stones, terracing or similar techniques.</p> <p>(c) All trees and shrubs shall be <i>mulched</i> and irrigated until established. Grass seed should either be hydroseeded or covered with biodegradable material or synthetic soil <i>erosion</i> control blankets or matting and irrigated until established. Irrigation shall be pursuant to the irrigation requirements in Section 14-8.4 (Landscape and Site Design).</p>		
<p>18. Photometrics do not meet Code requirements. See Article 14-8.9 and revise for compliance.</p> <p>Average Maintained Horizontal Foot-candles at Grade, Area Commercial:</p> <p>Sidewalks 1.0</p> <p>Pedestrian Area 2.0</p> <p>Parking Lots 1.0</p> <p>Building Entrances 5.0</p> <p>Building Grounds 1.0</p> <p>Public Spaces 3.0</p> <p>The maximum illumination at any point shall not exceed the allowed average by more than 1.5 Foot-candles.</p>		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: April 3, 2025

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson&Company)

Dept/Div: Public Works Department – Traffic Engineering

Case No.: 2025-010094. 5211 Las Soleras Dr., Development Plan NM Education Retirement Board

Case Planner: Land Use Department - Claudia Kath, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1. None		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response:
1. None		
2.		
3.		
4.		


The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. See attached email from Wilson & Company dated 4/3/25.
2. Any and all future proposed improvements of this site that affect public infrastructure will be subject to Chapter 23 and additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. may be required at that time.

23-3.18 City construction and assessment.

Nothing in subsections 23-3.12 and 23-3.15 SFCC 1987 prevents the city from ordering construction of curbs, gutters and sidewalks and assessing the cost thereof against the property benefited in any manner provided by the laws of the state.

(Code 1953, § 24-28; Code 1973, § 30-29; SFCC 1981, § 4-13-18; Ord. #38-1987, § 8)

From: Gallegos, Phil Philip.Gallegos@wilsonco.com 
Subject: RE: [EXTERNAL] FW: NMERB - CoSF Development Review
Date: April 3, 2025 at 12:15 PM
To: Leroy Nicholas Pacheco, PE Engineer@leroypacheco.com



Leroy, I have reviewed the ITA submitted by Bohannan Huston for the NMERB Development and as discussed in our phone conversation I concur with the findings of as per the City of Santa Fe Guidelines that the no further analysis is required. Please let me know if you have any questions or need more information. Thanks, Phil

Phil Gallegos, PE

Civil Engineer | Wilson & Company, Inc., Engineers & Architects | 505-348-4126 (direct)

From: Leroy Nicholas Pacheco, PE <Engineer@leroypacheco.com>
Sent: Thursday, April 3, 2025 8:50 AM
To: Gallegos, Phil <Philip.Gallegos@wilsonco.com>
Subject: FW: [EXTERNAL] FW: NMERB - CoSF Development Review

WARNING!: This email originated from outside of the organization. DO NOT click links, open attachments, or respond unless you are absolutely certain the content is safe. Recognition of the sender's name does NOT guarantee safety as account compromise must be considered.

Phil

This is the ITA and current site plan for the state's Educational Retirement Board building (which is already constructed and waiting for approvals to get city water). There is a pending lawsuit and I would like to get the traffic review checklist out as one of the constraints.

Can you please prioritize review of this ITA so that we know right away if there are issues with this. This was going to Planning Commission tonight, but because it's not ready, it will have its own PC meeting in mid-April.

Call me if you have questions.

THANK YOU. Leroy

----- Forwarded message -----

From: KATH, CLAUDIA M. <cmkath@santafenm.gov>
Date: On Thu, Apr 3, 2025 at 8:45 AM
Subject: FW: [EXTERNAL] FW: NMERB - CoSF Development Review
To: Leroy Pacheco <engineer@leroypacheco.com>
Cc:
Please see attached

From: Archuleta. David. ERB <David.Archuleta@erb.nm.gov>

Sent: Thursday, April 3, 2025 8:41 AM
To: KATH, CLAUDIA M. <cmkath@santafenm.gov>
Subject: FW: [EXTERNAL] FW: NMERB - CoSF Development Review

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Please see attached.



David Archuleta

Executive Director

- Office: 505-531-6706
- david.archuleta@erb.nm.gov
- erb.nm.gov
- 701 Camino De Los Marquez, Santa Fe, NM 87505

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From: Kyle Trepagnier <kylet@dekkerdesign.org>
Sent: Wednesday, April 2, 2025 4:50 PM
To: Archuleta, David, ERB <David.Archuleta@erb.nm.gov>
Cc: David P. Mishler <davidm@dekkerdesign.org>
Subject: [EXTERNAL] FW: NMERB - CoSF Development Review

CAUTION: This email originated outside of our organization. Exercise caution prior to clicking on links or opening attachments.

David,

Attached is that initial traffic analysis for you to forward to Claudia. Hopefully we can all discuss this tomorrow and move forward from this item.

Thanks,

Kyle Trepagnier, AIA, NCARB, PMP
Senior Architect | Dekker

From: Carl Vermillion <cvermillion@bhinc.com>
Sent: Wednesday, April 2, 2025 4:41 PM
To: David P. Mishler <davidm@dekkerdesign.org>
Cc: Glenn Broughton <GBroughton@bhinc.com>; Kyle Trepagnier <kylet@dekkerdesign.org>
Subject: RE: NMERB - CoSF Development Review

Hello David,

We have completed the traffic analysis memo for the site and have it attached.

Let me know if I can help in any other way.

Thanks!

Carl Vermillion PE, PTOE, RSP1
Senior Project Manager Traffic & Transportation
Bohannon Huston

p. 505.823.1000 | d. 505.923.3318 | c. 505.608.0900

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Mr. David Mishler
 Dekker/Perich/Sabatini
 7601 Jefferson NE, Suite 100
 Albuquerque, NM 87109

RE: Initial Transportation Assessment for the NMERB Office Building

Dear Mr. Mishler,

Bohannon Huston has prepared an initial transportation assessment for a proposed development of an office building that will be utilized by the New Mexico Educational Retirement Board (NMERB). This office building will be located at 5211 Las Soleras Drive in Santa Fe, New Mexico. This summary will include a project description with information on expected site traffic due to this development.

Project Description

The new NMERB office building is planned to be 19,443 gross square feet. It’s primary use will be office space for employees that serve on the New Mexico Educational Retirement Board.

Trip Generation

A trip generation was completed to determine the number of trips that will be associated with an office space with a gross square footage of 19,443. This trip generation utilized ITE trip generation manual, 11th Edition to estimate trips. The Land Use Code for General Office space (710) was used. The trip generation yielded 41 trips entering and exiting the site during the AM peak hour and 43 trips entering and exiting the site during the PM peak hour. The trips generated by the site are summarized below:

Trip Generation				
Land Use	Size	Total daily Trips	AM Peak trips	PM Peak trips
General Office (710)	19,443 GSF	473	41	43

Based on the trip generation as shown in the table, the site is anticipated to see less than 50 trips during either peak hour. According to the Transportation Impact Analysis Guidelines for the City of Santa Fe this development will be below the threshold for a Level 1 TIA. A completed Initial transportation Assessment form is attached, which indicates further traffic impact study is not required for this development based on trip generation.

Site Access

The attached site plan contains one access to the site located on the north leg of the roundabout on Las Soleras Drive. A meeting with the Santa Fe Fire Marshall provided concurrence based on the height and area of the proposed building that one access is sufficient for fire access at this time. Based on the low trip generation for the proposed building, one site access will provide sufficient access to serve the flow of traffic to and from the site on a typical day.

Access to the development site by multi-modal means such as public transportation, bicycle, and walking are all achievable as well.

Several public transit stops, serviced by the Santa Fe Trails bus system, are located near the proposed development. Route 22 runs along Cerrillos Road with the nearest stops to the development at the intersection of Cerrillos Road and Ocate Road. Additionally, route 24 and 26 also runs near the development with the nearest stop at the Presbyterian Santa Fe Medical Center.

The Arroyo de Los Chamiso Trail runs along the arroyo just to the east of the development site which includes a direct access to the roundabout on Las Soleras. This trail will allow access for both pedestrians and bicycles. Beckner, Wellness Way, Las Soleras, and Cerrillos all include bike lanes in this area according to the Santa Fe Bikeways and Trails map.

Sidewalks are located on both sides of Las Soleras Drive. Typically, these sidewalks include a buffer area between the roadway and the sidewalk. The proposed site include connections from public sidewalks to sidewalks internal to the site as shown in the attached site plan.

Assessment

Based on our traffic evaluation and completed initial transportation assessment form which is attached, Bohannan Huston has determined that traffic to the site will be less than the threshold the City of Santa Fe has established for further traffic evaluation and additional traffic impact studies are not warranted at this time.

Sincerely,

Bohannan Huston Inc

Carl D Vermillion, PE, PTOE
Project Manager
7500 Jefferson St NE
Albuquerque, NM 87109

Enclosures: Initial Transportation Assessment form
Site location map

INITIAL TRANSPORTATION ASSESSMENT

This initial transportation assessment is required for all developments proposed in the City of Santa Fe. The purpose of a Transportation Impact Analysis (TIA) is to provide preliminary vehicular trip generation information for the proposed development to determine the category of TIA required. Based on the proposed development, **Table A-1** should be completed to provide preliminary vehicular trip generation estimates. The City Traffic Engineer, or designee, will review the preliminary trip generation estimate provided by the developer and determine the category of TIA required. Other factors in addition to vehicular trip generation can affect the impact of a development; and based on these guidelines, the City of Santa Fe Traffic Engineer, or designee, will determine the final scope for the TIA.

Location of proposed development (location map must be attached).

TABLE A-1: PRELIMINARY VEHICULAR TRIP GENERATION ESTIMATE

Types of land uses (Multi Family, Single Family residential, specific retail, etc.)	Size (thousands of sq. ft., acres, number of units, etc.)	AM peak hour trips per size/unit*	PM peak hour trips per size/unit*	Subtotal of trips AM/PM	ITE Code Used for Analysis
GRAND TOTAL					

*The trip generation rates can be obtained from the Institute of Transportation Engineers, Trip Generation, current edition. Use of other rates must be justified and accepted by the City Traffic Engineer, or designee.

Transportation Impact Analysis Needed Yes No

Level of Transportation Impact Analysis Needed _____

Developer/Developer's Agent _____ Date _____

City of Santa Fe _____ Date _____

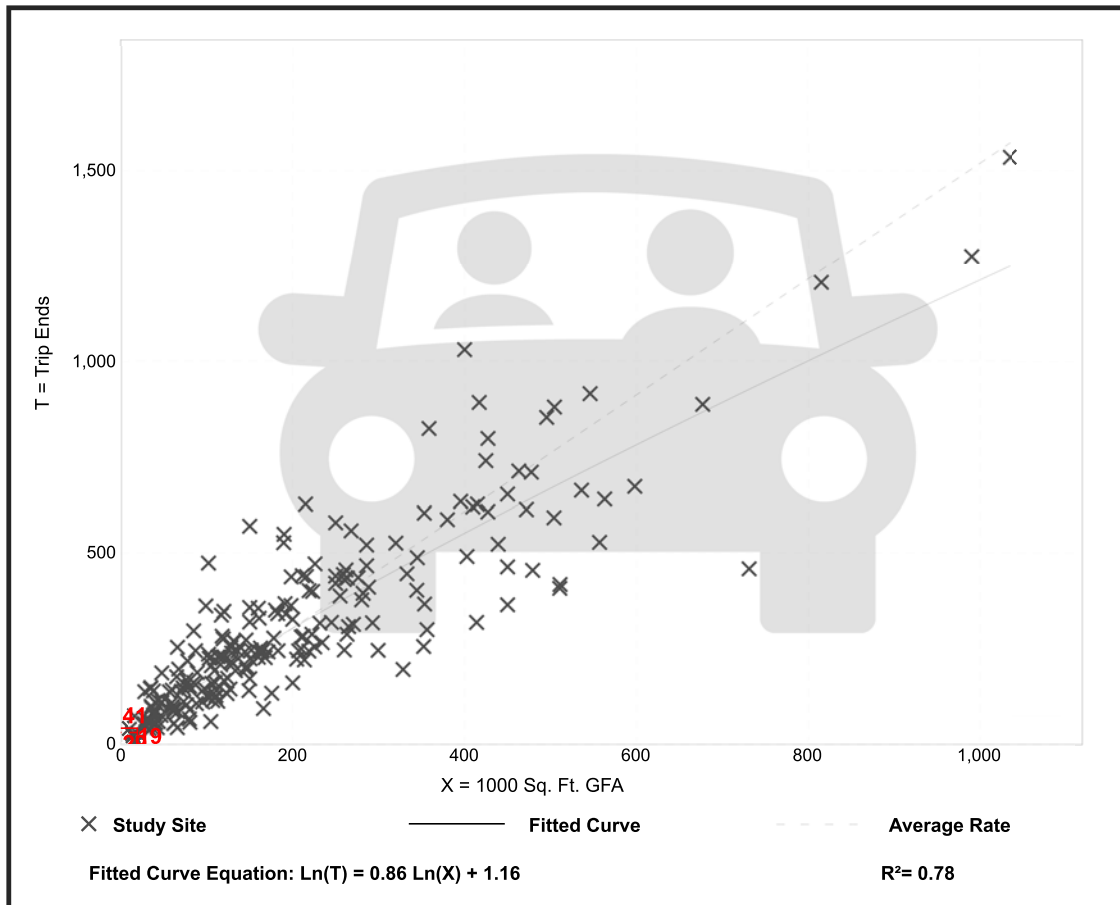
General Office Building (710)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 221
 Avg. 1000 Sq. Ft. GFA: 201
 Directional Distribution: 88% entering, 12% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.52	0.32 - 4.93	0.58

Data Plot and Equation



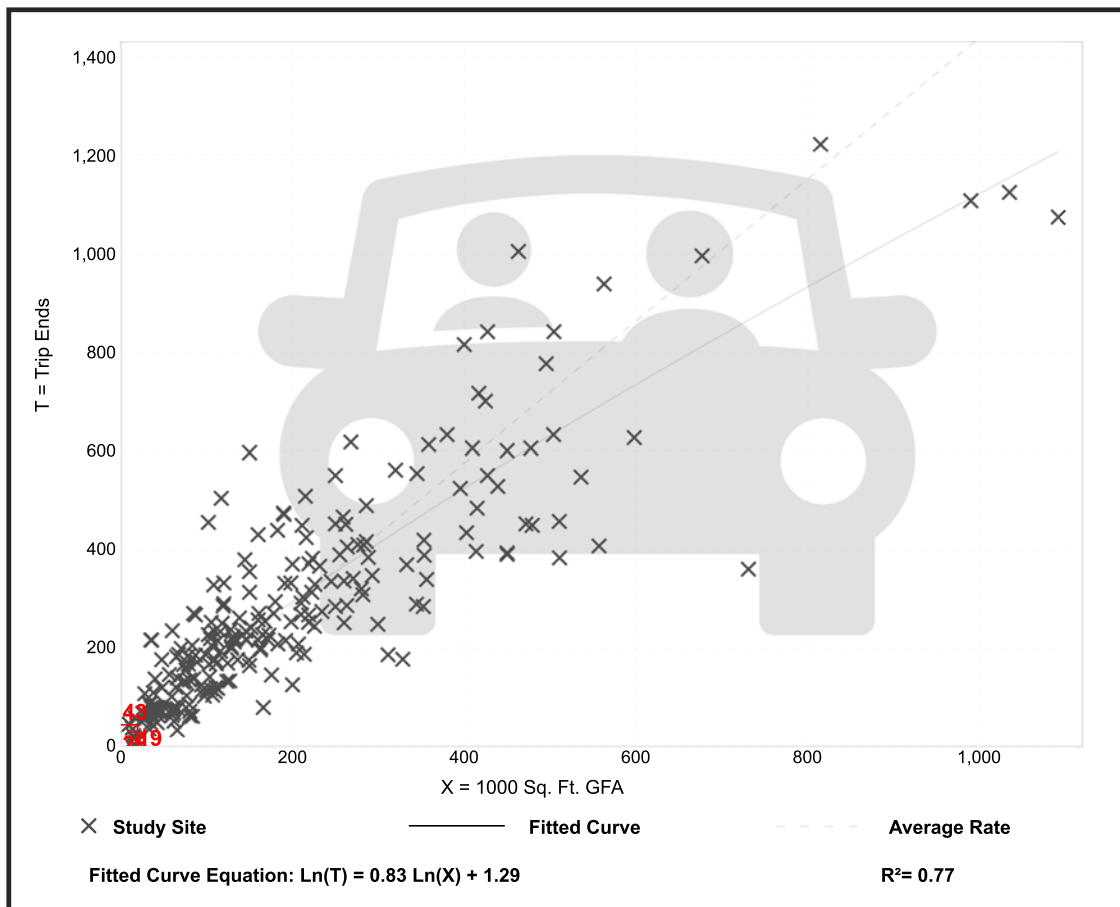
General Office Building (710)

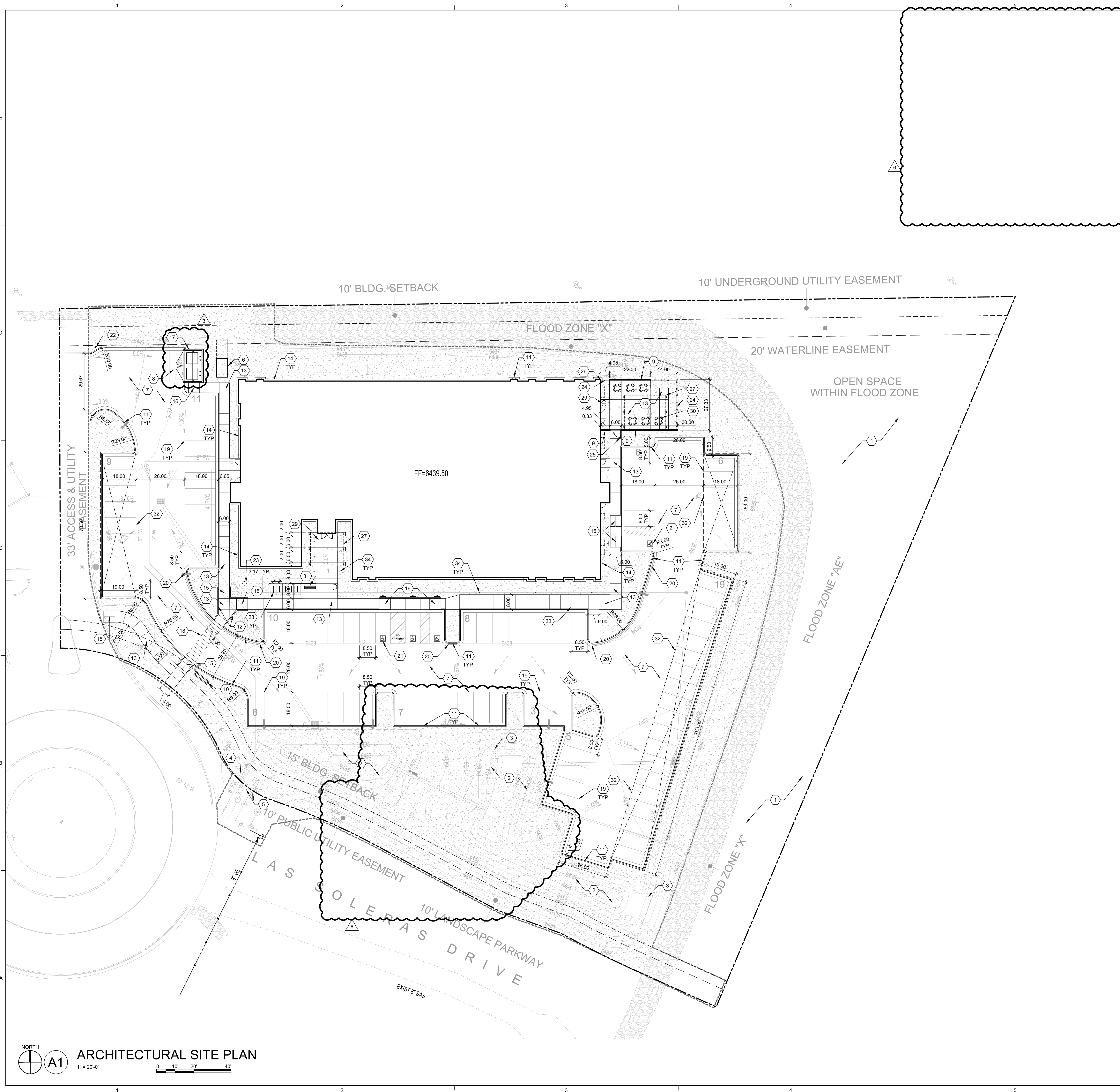
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 232
 Avg. 1000 Sq. Ft. GFA: 199
 Directional Distribution: 17% entering, 83% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.44	0.26 - 6.20	0.60

Data Plot and Equation





GENERAL SHEET NOTES

- A. VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- B. COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- C. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- D. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- E. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- F. RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- G. ALTERNATE 1 LINE WORK IS DIAGRAMMATIC AND PENDING DESIGN. COORDINATION WITH FUTURE LAYOUT OF LAS SOLERAS DRIVE. SEE SPECIFICATIONS.

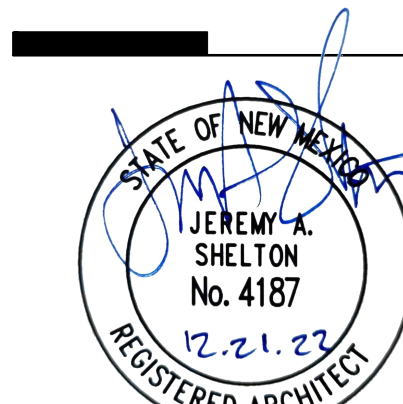
SHEET KEYNOTES

CODE	DESCRIPTION
1	AREA TO REMAIN UNDISTURBED
2	DRAINAGE BASIN, SEE CIVIL
3	CONCRETE RIBBON CHANNEL, SEE CIVIL
4	HOTBOX, SEE CIVIL
5	WATER METER, SEE CIVIL
6	TRANSFORMER, SEE ELECTRICAL
7	ASPHALT PAVEMENT, SEE CIVIL
8	HEAVY DUTY CONCRETE PAVEMENT, SEE CIVIL
9	CMU SCREEN WALL, SEE A4/AS502
10	MONUMENT SIGN, SEE B6/AS502
11	CONCRETE CURB AND GUTTER, SEE A3/AS501
12	CONCRETE HEADER CURB, SEE B2/AS501
13	CONCRETE SIDEWALK, SEE A2/AS501
14	CONCRETE BUILDING APRON, SEE A1/AS501
15	CONCRETE CURB RAMP TYPE A, SEE B4/AS501
16	CONCRETE CURB RAMP TYPE B, SEE B5/AS501
17	DUMPSTER ENCLOSURE, SEE A1/AS502
18	PAINTED CROSSWALK, SEE D4/AS501
19	4" PAVEMENT STRIPING, COLOR: WHITE
20	FIRELANE STRIPING, SEE D3/AS501
21	ACCESSIBLE PARKING, SEE C1/AS501
22	SITE SIGNAGE, STOP SIGN, SEE D1/AS501
23	FLAGPOLE, SEE D5/AS501
24	WIRE FENCE, SEE C5/AS502
25	WIRE FENCE GATE, SEE D5/AS502
26	FENCE AT BUILDING FACE, SEE C3/AS502
27	SHADE CANOPY, SEE ARCHITECTURAL
28	FORMS+SURFACES TWIST SURFACE MOUNT BIKE RACK, SEE SPECIFICATIONS
29	FORMS+SURFACES TONYO LITTER AND RECYCLING RECEPTACLE, SEE SPECIFICATIONS
30	FORMS+SURFACES 30" COLUMN TABLE AND AVIVO CHAIR WITH ARMS, SEE SPECIFICATIONS
31	FORMS+SURFACES APEX BACKLESS BENCH, SEE SPECIFICATIONS
32	PARKING CANOPY BY OTHERS
33	FUTURE DUAL EV CHARGER
34	LIGHT BOLLARD, SEE D6/AS501 AND ELECTRICAL

LEGEND

	EXISTING DRAINAGE SWALE TO REMAIN
	CONCRETE WITH SALT FINISH, SEE A2/AS501 AND SPECIFICATIONS
	LANDSCAPE AREA, SEE LANDSCAPE PLAN
	LIGHT POLE, SEE ELECTRICAL
	LIMIT OF WORK
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT

**DEKKER
PERICH
SABATINI**



SEAL

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

	3/6/2024	ASI-002
	8/16/2024	ASI-005

DRAWN BY: BG
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
**ARCHITECTURAL
SITE PLAN**

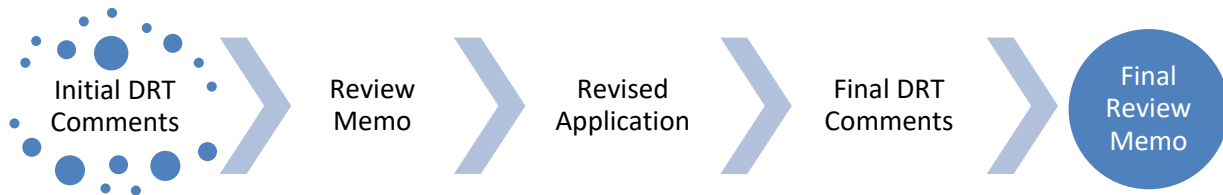
SHEET NO
AS101

ARCHITECTURAL SITE PLAN
1" = 20'-0"
0 10' 20' 40'

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

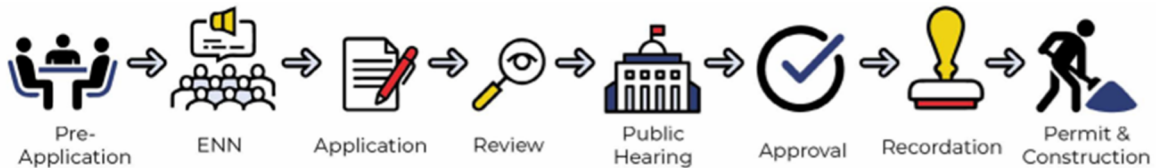


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: April 9, 2025

DRT Member: Alan Hook

Dept/Div: Public Utilities/Water Div/Water Resources

Case No.: 2025-010094, Education Retirement Board Building at 5211 Las Soleras Dr

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Prior to Planning Commission packet submittal.	
2. An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Prior to Recordation of Development Plan or Plat.	
3. Each lot shall be served by a separate water service at the time of development.	Prior to construction permit approval.	
4. An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Prior to construction permit approval.	

Technical Corrections:	Must be completed by:	Applicant response**:
1. None		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. None

Explanation of Conditions or Corrections (if needed):

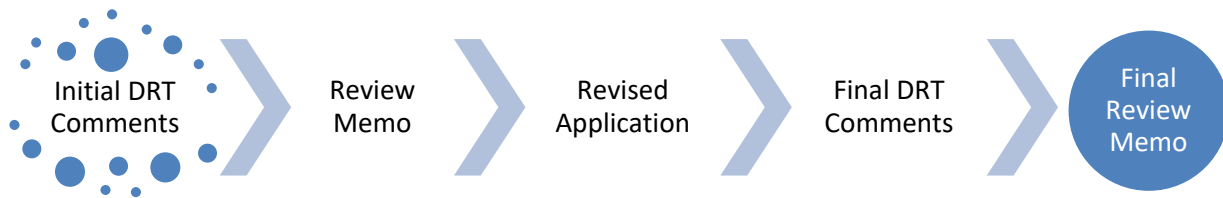
(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: March 19, 2025
 DRT Member: Taylor Jurgens
 Dept/Div: Public Utilities/Water Division/Engineering
 Case No.: 5211 Las Soleras Dr. – NM Education Retirement Board Development Plan
 Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1. An approved Water Plan will be required for all new public water infrastructure and fire services.	Prior to Public Hearing	
2. An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.	Prior to Building Permit Approval	
3. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	At the time of development	
4. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	At the time of development	
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response:
1.		
2.		
3.		
4.		

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: March 24, 2025

DRT Member: Stan Holland, Engineer

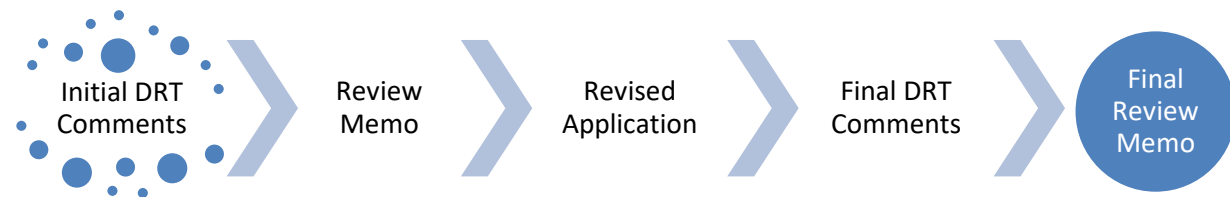
Dept/Div: Public Utilities\Wastewater

Case No.: 2025-010094-PLBD (Education Retirement Board-5211 Las Soleras Dr)

Case Planner: Claudia M. Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

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- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Form Updated: September 2023

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1. City sewer service for this project may be obtained by connection to an 8-inch public PVC sewer line located in front of the proposed building site. The connection of a 4-inch service line may be connected directly to the sewer line. A 6-inch service line shall require connection directly to a sewer manhole.	<i>At the time of development -</i>	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

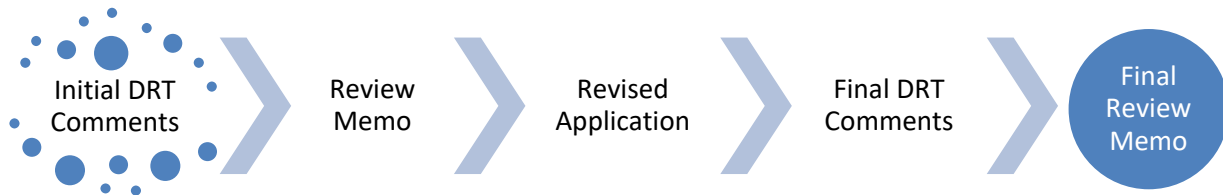
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

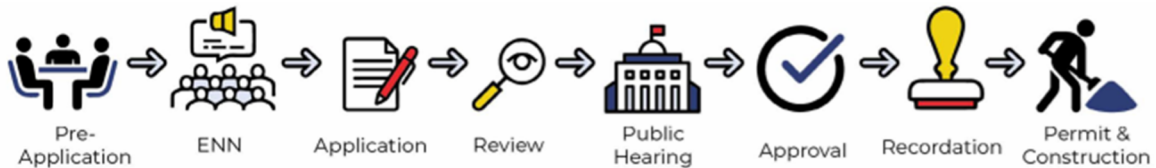


Timing of Conditions of Approval + Technical Corrections

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- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: 4/4/2025

DRT Member: Paul A. Duran

Dept/Div: Land Use/HPD

Case No.: 2025-010094-PLBD

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Received Approval by NM SHPO no further actions needed for archaeology.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

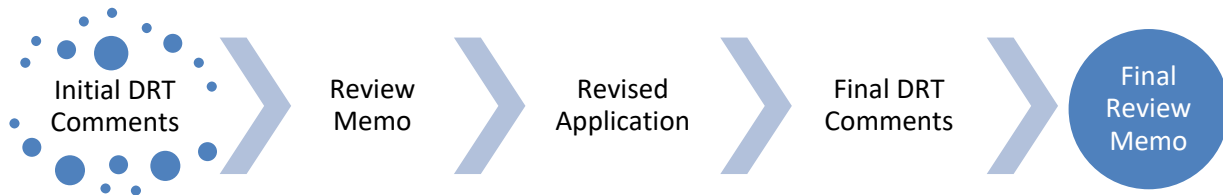
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

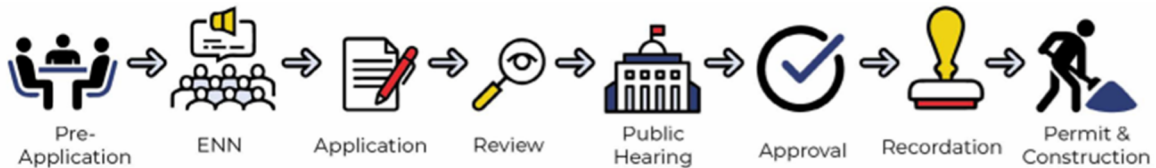


Timing of Conditions of Approval + Technical Corrections

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- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT 2 nd Application Intake	DRT Second Review Comments Due
March 13, 2025	April 3, 2025	April 9, 2025

Date: April 9, 2025

DRT Member: Leroy Griego

Dept/Div: Environmental Services

Case No.: 2025-010094-PLBD

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. No exceptions taken – no comments		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)



Michelle Lujan
Grisham, Governor

STATE OF NEW MEXICO
DEPARTMENT OF CULTURAL AFFAIRS
HISTORIC PRESERVATION DIVISION

BATAAN MEMORIAL BUILDING
407 GALISTEO STREET, SUITE 236
SANTA FE, NEW MEXICO 87501
PHONE (505) 827-6320 FAX (505) 827-6338

February 17, 2022

Lawrence Esquibel
Deputy Director
New Mexico Educational Retirement Board
Lawrence.esquibel@state.nm.us

Re: New Construction at 5211 Las Soleras Drive, Santa Fe

Dear Mr. Esquibel:

I am writing in response to your request for information regarding the need to conduct archaeological survey at 5211 Las Soleras Drive, Santa Fe, New Mexico for a proposed new building. In 2006, Lone Mountain Archaeological Services conducted an archaeological survey of 520 acres for Las Soleras (NMCRIS # 101132).

Three archaeological sites were documented as being within the area but were either presumed destroyed or not eligible (not significant) for listing in the National Register of Historic Places. Based on this information, the proposed building at 5211 Las Soleras Drive will have no effect on historic properties and no additional archaeological survey is necessary.

Please do not hesitate to contact me if you have any questions. I can be reached by telephone at (505) 827-4064 or by email at michelle.ensey@state.nm.us.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michelle M. Ensey".

Michelle M. Ensey
Deputy State Historic Preservation Officer
& State Archaeologist

Log: 116686



Eco Solutions

Wildlife - Restoration - Permitting

Trent Botkin - owner

Eco Solutions

PO Box 521

Glorieta, NM 87535

Phone 575-644-2210

Trent.ecosolutions@gmail.com

Date: February 16, 2022

City of Santa Fe Land Use and Planning Personnel,

I was contacted by Lawrence Esquibel of the Educational Retirement Board to inspect a property for prairie dog inhabitation at 5211 Las Soleras Drive off South Cerillos Road. I inspected the site in February 2022 and observed no burrows or any other evidence that this property is or has been inhabited by prairie dogs.

This project does not pose a threat to the Santa Fe prairie dog population and the conditions of the Prairie Dog Protection Ordinance have been satisfied.

Sincerely,

A handwritten signature in blue ink that reads "Trent Botkin".

Trent Botkin

Owner, Eco Solutions LLC

Client Information:

Lawrence Esquibel, Deputy Director

New Mexico Educational Retirement Board

701 Camino de los Marquez

PO Box 26129

Santa Fe, NM 87502-0129

505-476-6114 W

505-795-2508 C

City of Santa Fe, New Mexico

Education Retirement Board Planning Commission Attachment C

Drawings and Photos

1. **Figure 1 – Site Survey**
2. **Figure 2 – Aerial Photo**
3. **Figure 3 – Site Development Plan**
4. **Figure 4 – Adjacent Zoning Map**
5. **Figure 5 – Installed Bike Rack**
6. **Figure 6 – Landscape Plan**
7. **Figure 7 – Photometric Analysis Plan**
8. **Figure 8 – Installed Light Fixture**
9. **Figure 9 – Previously Approved Water Plan**
10. **Figure 10 – Previously Approved Water Budget**
11. **Figure 11 - Utility Plan**
12. **Figure 12 – Water Supply**
13. **Figure 13 – Water Connection**
14. **Figure 14 – Sewer Connection**
15. **Figure 15 – Fire Apparatus / Carport Structure**

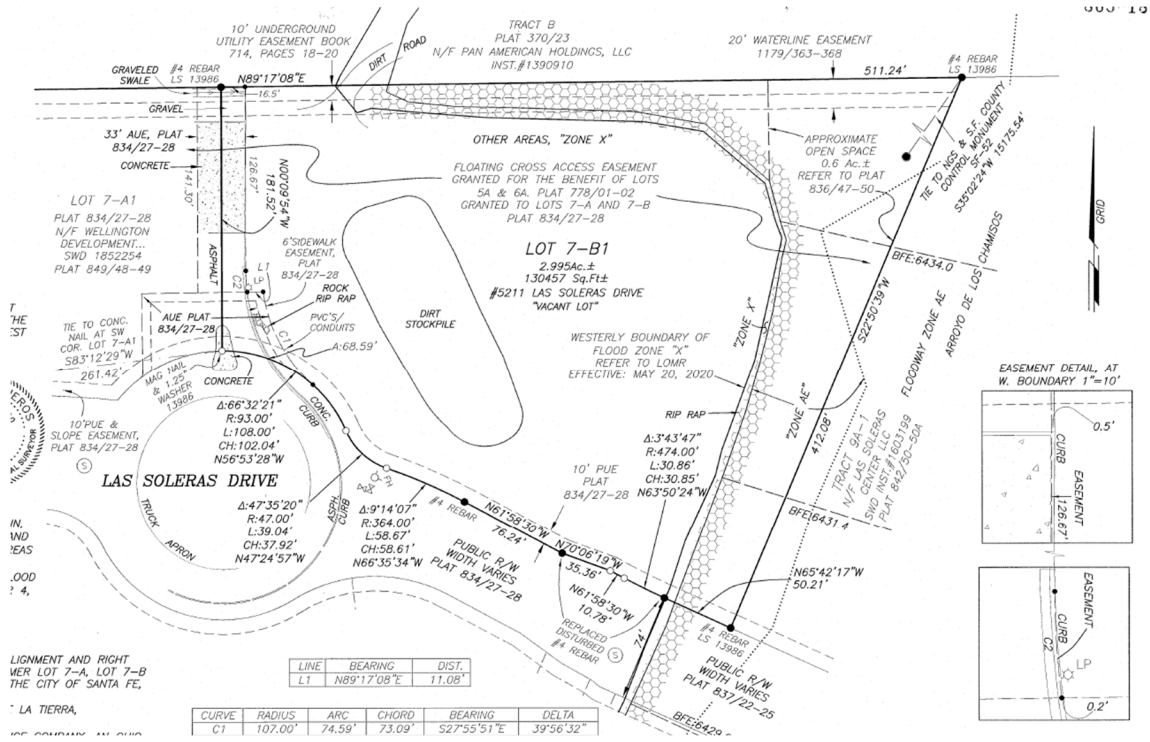


Figure 1 Site Survey



Figure 2 Aerial Photo

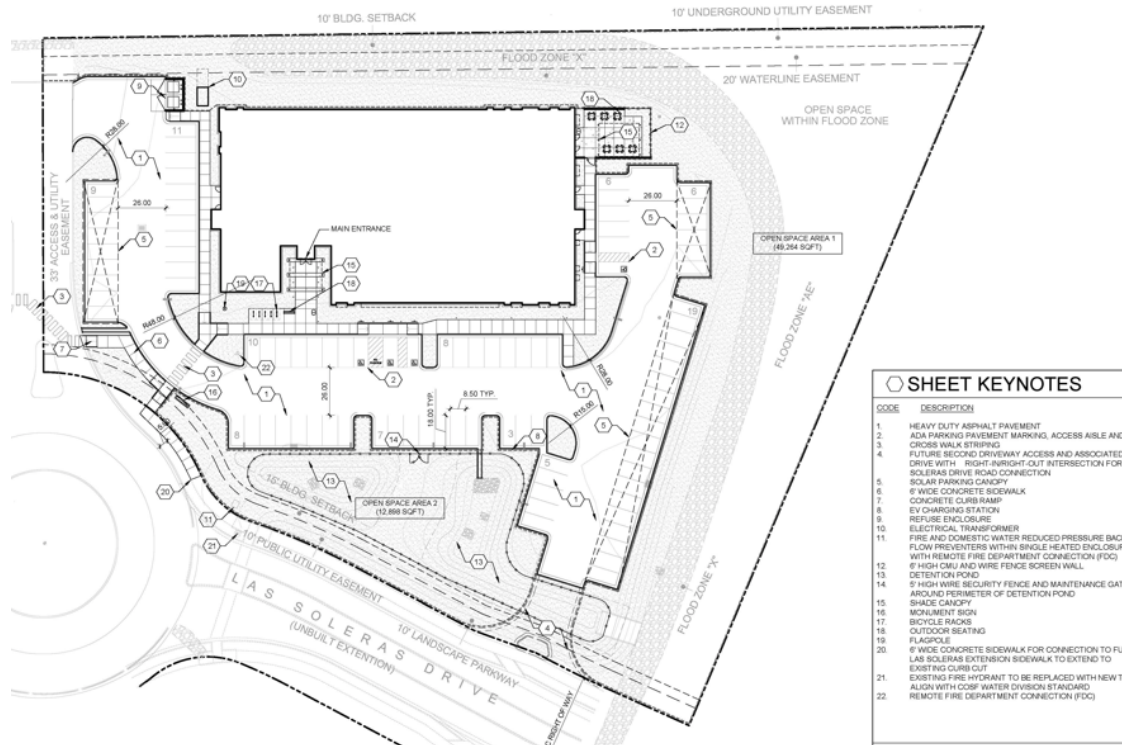


Figure 3 Development Site Plan

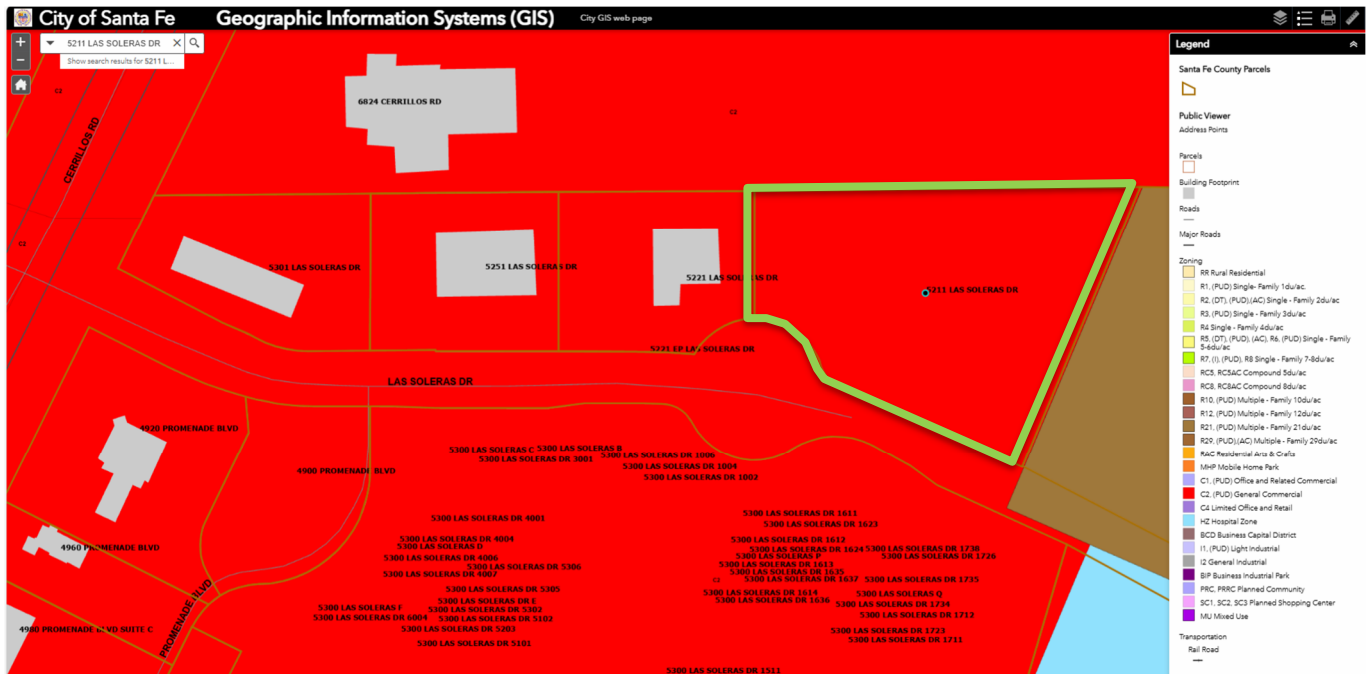


Figure 4 Adjacent Zoning Map

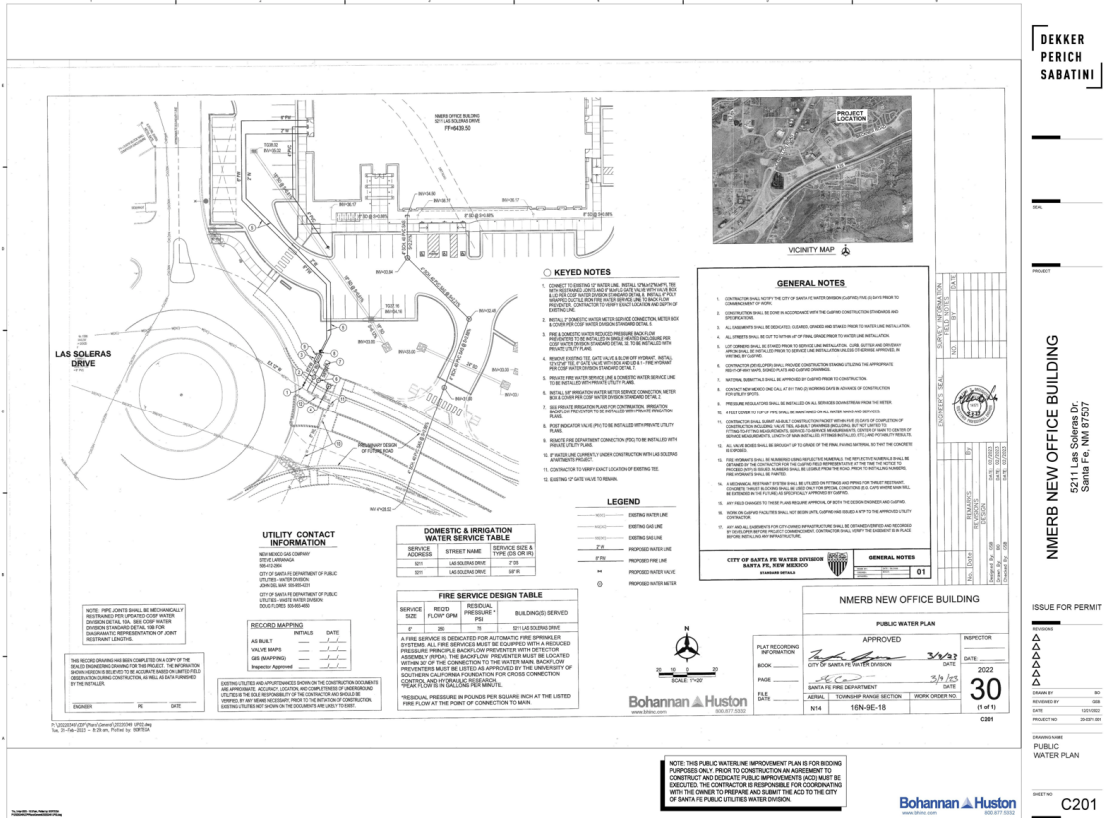


Figure 9 Previously Approved Water Plan

**CITY OF SANTA FE WATER DIVISION
WATER ASSESSMENT AND WATER BUDGET DESIGNATION CERTIFICATE**

For City Use Only

Name of Applicant		David Archuleta	Service Address	5211 Las Soleras	USA Number:	ACDCOM20250004
Contact Phone		505-827-8030	Lot	LOT 7-B1	Confirm	Yes No
Contact Email		David.Archuleta@erb.nm.gov	Project Name	NM ERB Office	Alternative Water Budget	
Contact Address		701 Camino De Los Marquez	Project Company	NM ERB Office	Water Rights Required for Offset	
Assessed By		Danny Valenzuela	Project Description	NM ERB Office	Affordable Housing Units	
Date		2/26/2025	Project Phase (if any)	Single Phase	Paying Water Budget in Full	

DEDICATION OF WATER TO MEET WATER OFFSET REQUIREMENT

Pre-Certified Retrofit Credits	Available Retrofit Credits	Retrofit Credits Dedicated to this Permit	Retrofit Credit Balance
Pre-Verification Certificate #	NA	NA	NA
NA	NA	NA	NA

2. Water Bank Sales		Water Budget Calculation			
Total Water Budget		Domestic Demand	NonM	Irrigation 3yr Avg	
Type of Use	O/NonM	Unit of Measurement	Per 10,000 sqft	Unit of Measurement	1
Budget Offset Sum Dom + Irr (af)	1.9920	Range sqft (if required)	Dom/IM	Range sqft (if required)	Dom/IM
Budget Vol Less Credits (af)	1.9920	Volume Per Unit (afu)	1.3610	Volume Per Unit (afu)	0.631
9.8% Line Contingency Vol (af)	0.1952	Number of Units	1	Number of Units	1
Threshold	Below	Volume x Units	1.3610	Volume x Units	0.631
Final Budget Volume (af)	2.1870	Offset Volume I (af)	1.3610	Offset Vol III (af)	0.631
Final Budget Fee	\$36,304.20				

3. Water Rights Credit from City Water Bank			
Water Bank Account No.	Water Bank Account Owner	Water Bank Admin Authorization No.	Water Credit Allocated to this Permit (AFY)
NA	NA	NA	NA
NA	NA	NA	NA

*** PAYMENT REQUIRES SIGNATURE ***

Required Offset Fee if Purchasing from City Water Bank: **\$36,304.20** General Ledger: 51353.439335

By my signature, I affirm that the information contained on this form is true and correct and may be subject to verification by the City of Santa Fe

Applicant Signature: *[Signature]* Date: February 27, 2025

For Water Division Only		For Cashiers Office Only	
Approved: Danny Valenzuela	Date: 2/26/2025	Amount Paid	Date: <u> </u> Custmr. Receipt # <u> </u>

Figure 10 Previously Approved Water Budget

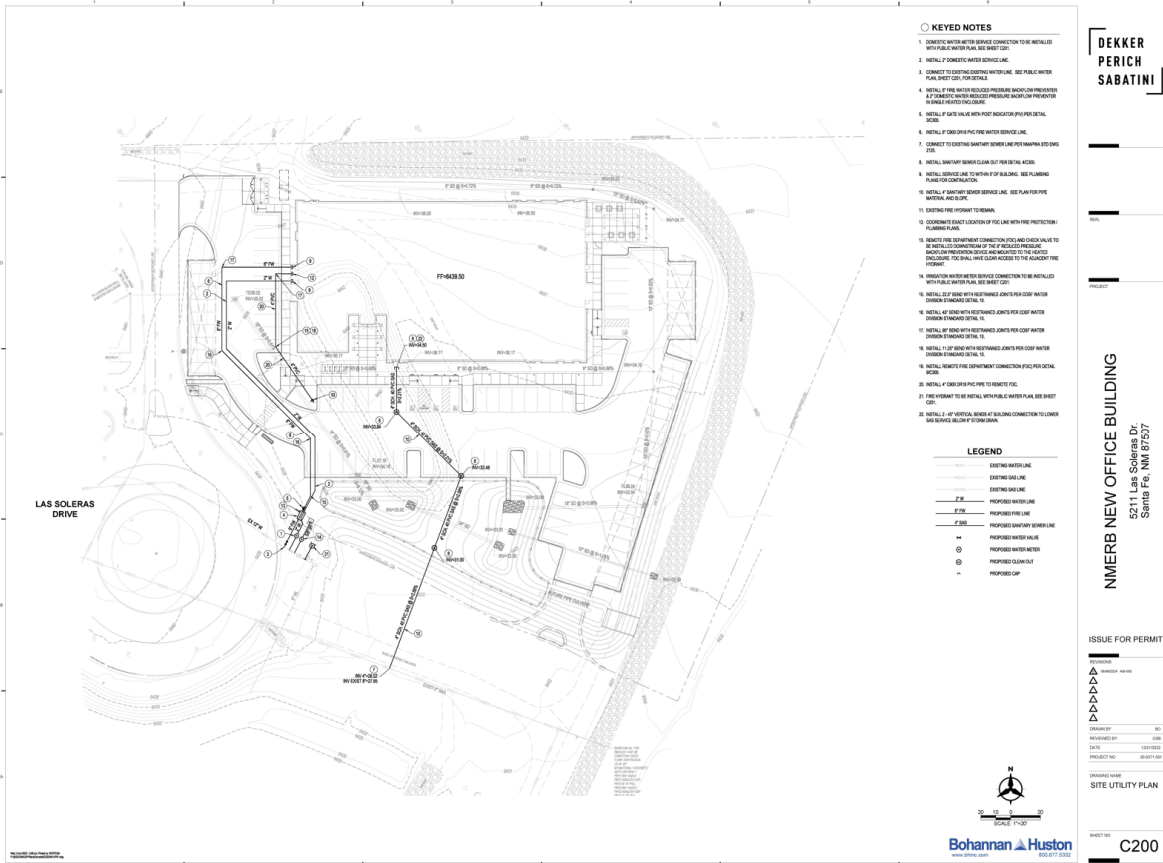


Figure 11 Utility Plan



Figure 12 Water Supply



Figure 13 Water Connection



Figure 14 Sewer Connection



Figure 15 Fire Apparatus / Carport Structure

City of Santa Fe, New Mexico

Education Retirement Board Planning Commission Attachment D

Early Neighborhood Notification Materials

1. ENN Packet



ENN MEETING GUIDELINES

The applicant and neighborhood shall use the guidelines below to assist them in discussing the project at the ENN. The guidelines are based on the requirements of Chapter 14 and the general plan and other formally adopted city plans. Responses from all participants shall be provided to the land use board prior to hearing the application.

Please address each of the discussion items below. Each discussion item is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in [Section 14-3.1\(F\)\(5\)](#) SFCC 2001. A short narrative should address each item (if applicable) in order to facilitate discussion of the project at the ENN meeting. Responses should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail consult the Land Development Code.

A. EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS For example: number of stories, average setbacks, mass and scale, landscaping, lighting, access to public places, open spaces and trails.

B. EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.

C. IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.

D. RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.



E. EFFECTS ON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES For example: increased access to public transportation, alternate transportation modes, traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.

F. IMPACT ON THE ECONOMIC BASE OF SANTA FE For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.

G. EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS For example: creation, retention, or improvement of affordable housing; how the project contributes to serving different ages, incomes, and family sizes; the creation or retention of affordable business space.

H. EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.

I. IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.



J. EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.

K. EFFECT ON SANTA FE'S URBAN FORM For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? Discuss the project's effect on intra-city travel and between employment and residential centers.

L. ADDITIONAL COMMENTS (Optional)

City of Santa Fe, New Mexico

Education Retirement Board Planning Commission Attachment E

Applicant Submittals

- 1. Applicant Letter**
- 2. Legal Lot of Record**
- 3. Development Plan Set**
- 4. Infrastructure Drawing Set**



NEW MEXICO
EDUCATIONAL RETIREMENT BOARD

701 Camino de los Marquez
Santa Fe, NM 87505
1-800-663-1919
www.erb.nm.gov



March 14, 2025

Heather L. Lamboy, AICP
City of Santa Fe
Director, Planning & Land Use Department
200 Lincoln Avenue, Box 909
Santa Fe, NM 87501

Dear Ms. Lamboy,

On behalf of the New Mexico Educational Retirement Board (NMERB), I am pleased to submit NMERB's development plan for the construction of a new office headquarters. The 2.999-acre property is located at 5211 Las Soleras Dr. The subject property is zoned C-2 General Commercial District.

The proposed development is a single story and fits the mass and scale of the existing neighborhood, except for the neighboring multi-family housing project. Setbacks and easements meet or exceed the required minimums. Landscaping will comply with the City of Santa Fe's requirements and are designed to be low water use. Lighting meets code requirements and will provide safe access to the property and surrounding area.

This development will have typical business traffic during regular business hours for approximately 85 full-time employees, which should have minimal impact on traffic patterns in the area. Vehicular access to the property is currently restricted to the termination of Las Soleras Drive at the roundabout; however, emergency only access is being planned on the southern end of the property. Pedestrian access is also being modified to accommodate pedestrian needs on the property.

This development meets or exceeds energy code minimums, creating a building that minimizes the demand on public utility infrastructure. The site is designed to detain storm water that can then be discharged into the existing arroyo, maintaining historical volumes without the need for storm sewer infrastructure. The addition of a photovoltaic system, on the roof and on parking canopies, is estimated to offset the annual electrical demand by

150%. Excess energy will be sold back to the electrical utility provider, helping to meet their needs and providing additional revenue that will pay back the investment.

Construction for this state-owned project began in January 2024 and is expected to be completed by April 1, 2025.

If you have any questions or concerns, please contact me at your convenience.

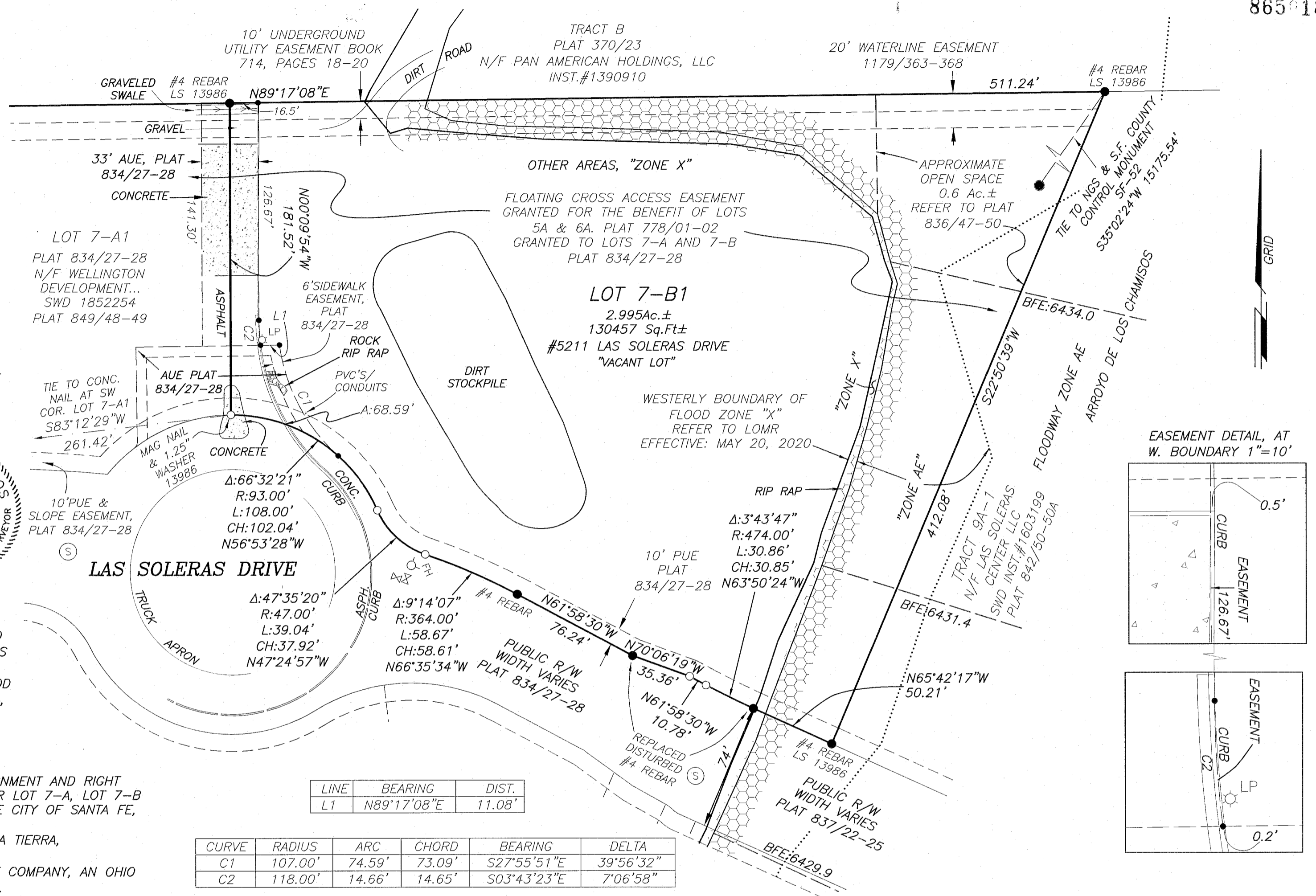
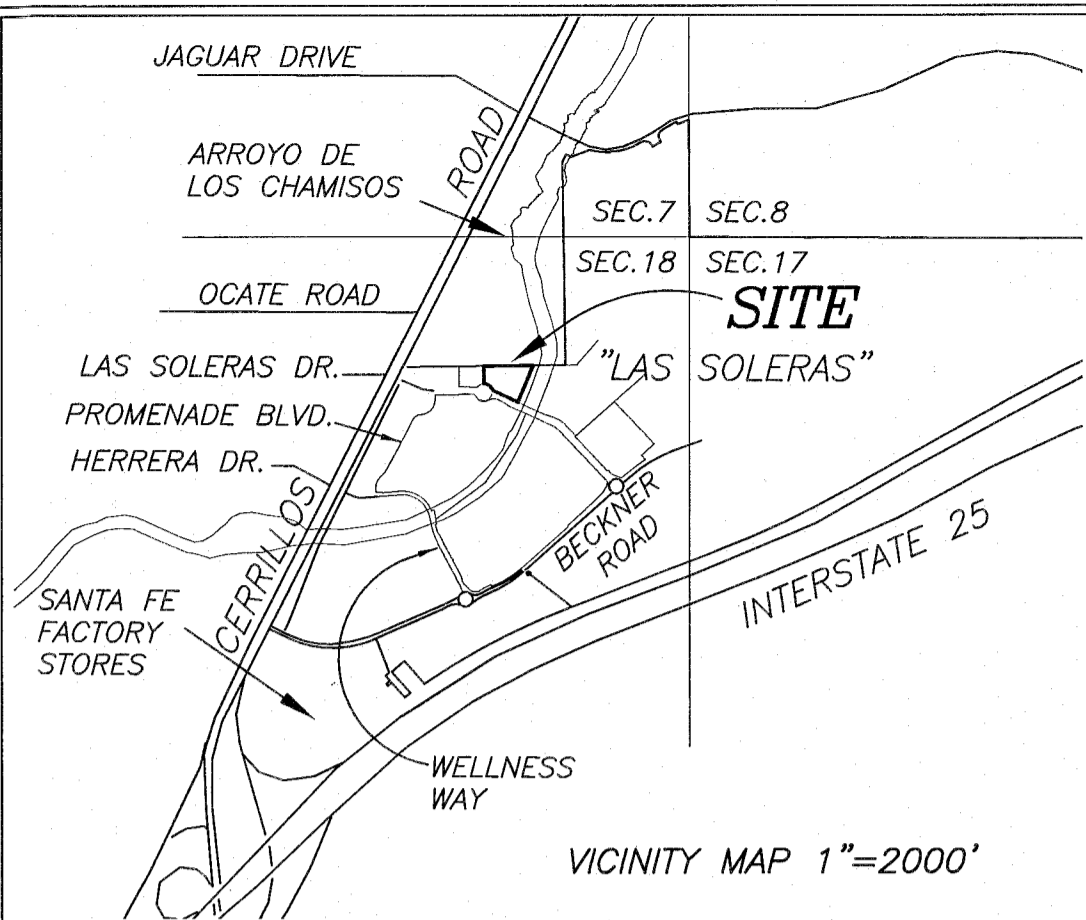
Sincerely,

A handwritten signature in black ink, appearing to read "D. Archuleta". The signature is fluid and cursive, with a long horizontal stroke at the end.

David Archuleta
Executive Director
New Mexico Educational Retirement Board

PUBLIC NOTICE
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

NOTES:
THIS TRACT/LOT IS SUBJECT TO VALID COVENANTS, RESTRICTIONS CONDITIONS AND EASEMENTS OF RECORD. ALSO REFER TO THE DESIGN STANDARDS AS SHOWN ON PLAT REFERENCE #5.



SURVEYORS CERTIFICATE:

I AM A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR AND HEREBY CERTIFY THAT THE SURVEY WAS CONDUCTED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM RESPONSIBLE FOR THIS SURVEY COMPLETED ON THE 12TH DAY OF MAY, 2020 THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO. FURTHER THAT THIS IS A BOUNDARY SURVEY OF AN EXISTING TRACT, IT IS NOT A SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT.

Diego J. Sisneros
DIEGO J. SISNEROS NMPLS #13986 7/30/2020



FLOOD ZONE:

THE SUBJECT PROPERTY LIES PARTIALLY WITHIN "OTHER AREAS ZONE X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, "OTHER FLOOD AREAS ZONE X" AREAS OF 0.2% ANNUAL CHANCE FLOOD AND WITHIN "ZONE AE", THE 1% ANNUAL CHANCE FLOOD(100 YEAR FLOOD). AREAS AS DEPICTED ON LOMR, CASE #19-06-2643P, EFFECTIVE MAY 20, 2020, REVISION TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAPS (F.I.R.M.) #35049C0507E, MAP REVISED DECEMBER 4, 2012.

REFERENCE DOCUMENTS:

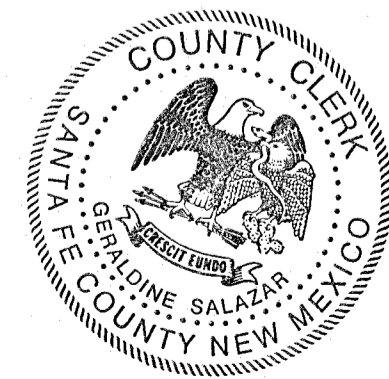
1. LOT LINE ADJUSTMENT AND ROAD DEDICATION PLAT SHOWING THE REALIGNMENT AND RIGHT OF WAY DEDICATION OF PORTIONS OF LAS SOLERAS DRIVE FROM FORMER LOT 7-A, LOT 7-B AND LOT 4B-1 PREPARED FOR LAS SOLERAS OESTE, LTD., CO. AND THE CITY OF SANTA FE, RECORDED AS INST.#1857823 IN BOOK 834 PAGE 27-28.
2. SPECIAL WARRANTY DEED, BECKNER RD. EQUITIES, INC. TO AMIGOS DE LA TIERRA, INST.#1835415
3. ALTA/NSPS SURVEY PREPARED FOR THE OHIO NATIONAL LIFE INSURANCE COMPANY, AN OHIO CORPORATION, RECORDED AS INST.#1887483 IN BOOK 849 PAGE 48-49.
4. SUBDIVISION PLAT TRACT 9-A-1A, LAS SOLERAS PREPARED FOR LAS SOLERAS CENTER, LLC, RECORDED AS INST.#1874720 IN BOOK 842 PAGES 50-50A
5. LOT SPLIT AND ROAD DEDICATION PLAT SHOWING TRACT 7 AND A PORTION OF LAS SOLERAS DRIVE... RECORDED AS INST.#1832842 IN BOOK 822 PAGES 44-45.
6. COMMITMENT FOR TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, FILE NO.. 19-0248 DATED APR. 8, 2019, 8:00 am., PROVIDED BY PRIMA TITLE, LLC.

ALL OTHER REFERENCE DOCUMENTS AS SHOWN ON THIS OR SUBSEQUENT SHEETS.

COUNTY OF SANTA FE
STATE OF NEW MEXICO }SS 1923554
I hereby certify that this instrument was filed for record on the 31 day of July, 2020 A.D. at 10:53 o'clock AM, and was duly recorded in book 865, page(s) 018 of the records of Santa Fe County.

Witness my Hand and Seal of office
Geraldine Salazar
County Clerk, Santa Fe County, N.M.

Geraldine Salazar
Deputy



LINE	BEARING	DIST.
L1	N89°17'08"E	11.08'

CURVE	RADIUS	ARC	CHORD	BEARING	DELTA
C1	107.00'	74.59'	73.09'	S27°55'51"E	39°56'32"
C2	118.00'	14.66'	14.65'	S03°43'23"E	7°06'58"

CONTROL SUMMARY:

-BEARINGS ARE GRID, REFERRED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM NAD83(1992), CENTRAL ZONE.
-DISTANCES ARE REFERRED TO 6800 AMSL.
-DATUM DERIVED FROM DAWSON2 GPS BASE STATION N=1,687,626.870 E=1,708,833.475 ELE=6572.376', ESTABLISHED FROM SANTA FE COUNTY CONTROL STATIONS USING DATA FROM THE 1992 BLUEBOOK REPORT FOR NGS AND S.F. CO..

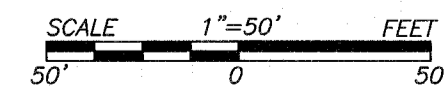
LEGEND

- SET #4 REBAR LS 13986 OR AS NOTED
- CALCULATED POINT, NOT SET
- FOUND #4 REBAR LS 13986 OR AS SHOWN
- SWD SPECIAL WARRANTY DEED
- PUE PUBLIC UTILITY EASEMENT
- AUE ACCESS & UTILITY EASEMENT
- FH FIRE HYDRANT
- W WATER VALVE
- LP LIGHT POLE
- SANITARY SEWER MANHOLE
- BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

BOUNDARY SURVEY
PREPARED FOR
NEW MEXICO EDUCATIONAL RETIREMENT BOARD
SHOWING
LOT 7-B1 LAS SOLERAS
RECORDED AS PLAT BOOK 834 PAGES 27-28

CURRENT OWNER OF RECORD: AMIGOS DE LA TIERRA LTD. CO
LOT 7-B1 UPC#: 1-049-094-348-384.
PLSS DESIGNATION: SECTION 18, T16N, R9E, NMPM,
CITY & COUNTY: SANTA FE
STATE: NEW MEXICO



DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2502 A CAMINO ENTRADA
SANTA FE, N.M., 87507
FILE#10486BDY DATE:7/30/2020

WARRANTY DEED

Prima Title, LLC
file# 20-0463

Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company, for consideration paid, grants to New Mexico Educational Retirement Board whose address is 701 Camino de los Marquez, P.O. Box 26129, Santa Fe, NM 87502, the following described real estate in Santa Fe County, New Mexico:

Lot 7-B1, Las Soleras, as shown and delineated on plat of survey entitled "Boundary Survey prepared for New Mexico Educational Retirement Board showing Lot 7-B1 Las Soleras... Section 18, T16N, R9E, NMPM, City & County: Santa Fe State: New Mexico", recorded July 31, 2020, in Plat Book 865, Page 018, as # 1923554, records of Santa Fe County, New Mexico.

SUBJECT TO: See Exhibit "A" attached hereto and made a part thereof
with warranty covenants.

Witness my hand and seal this January 6, 2021.

Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company



(Seal)

By: Kurt A. Sommer, Manager

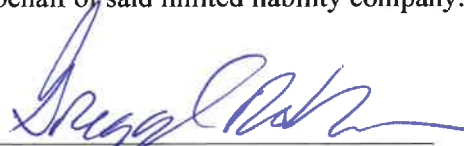
RECEIVED
JAN 15 2021
NM Educational Retirement Board
Santa Fe Office

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

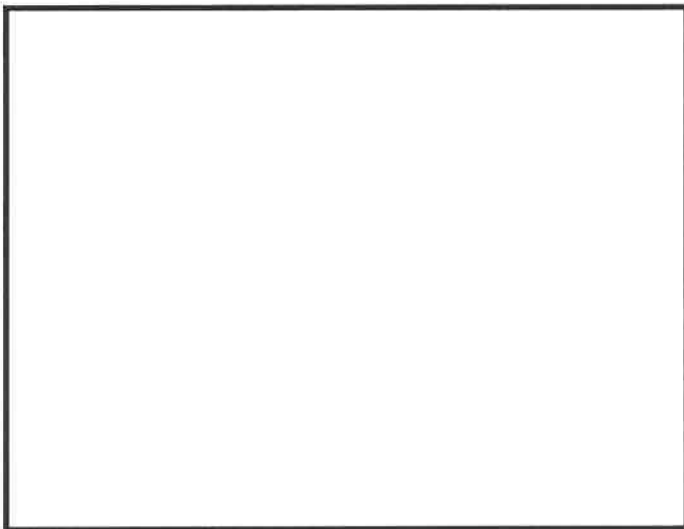
COUNTY OF SANTA FE

This Instrument was Acknowledged before me on January 6, 2021 by Kurt A. Sommer, Manager of Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company on behalf of said limited liability company.



Notary Public

My Commission Expires: _____



Recorded Electronically
ID 1939816
County Santa Fe
Date 1-8-21 Time 9:18:16am
CSC eRecording 855-200-1150



OFFICIAL SEAL
GREGG S. ROBINSON
NOTARY PUBLIC - STATE OF NEW MEXICO

My commission expires: 07-02-24

EXHIBIT "A"

Taxes and assessments for the year 2021 and thereafter, not yet due and payable.

Sewer maintenance and garbage disposal assessments not yet due and payable.

Reservations and exceptions contained in Patent from the United States of America to Amos W. Beckner, recorded February 17, 1941 in Patent Book C, Page 14, records of Santa Fe County, New Mexico.

Terms and conditions contained in Annexation Agreement, recorded March 4, 2010 as Instrument #1592456, records of Santa Fe County, New Mexico.

Terms and conditions contained in City of Santa Fe Ordinance, recorded March 19, 2010 as Instrument #1593744, records of Santa Fe County, New Mexico

Terms and conditions contained in City of Santa Fe Ordinance, recorded March 19, 2010 as Instrument #1593745, records of Santa Fe County, New Mexico

Terms and conditions contained in Declaration of Cross Access Easements, Maintenance Covenants and Restrictions (Lots 5A, 6 and 7), recorded December 22, 2011 as Instrument # 1655234, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, notes, conditions and restrictions, as shown and delineated on this plat of survey entitled "Las Soleras Annexation, General Plan Amendment, Rezoning to Multiple Zoning Districts", recorded March 4, 2010 in Plat Book 714, Pages 014-026, # 1592455, records of Santa Fe County, New Mexico.

Notes, conditions and restrictions, as shown and delineated on plat of survey entitled "Lot Line Adjustment and Road Realignment Plat Showing Tracts 4A, 4B, 5A, 6, 7, a Portion of Las Soleras Drive...", recorded August 5, 2011 in Plat Book 735, Pages 009-010, # 1642009, records of Santa Fe County, New Mexico.

Notes, restrictions and conditions, as shown and delineated on plat of survey entitled "Las Soleras Amended Master Plan Township 16N, Range 9E, Sections 7, 8, 17 & 18.", recorded January 4, 2017 in Plat Book 812, Pages 037-046, # 1814047 and recorded July 17, 2018 in Plat Book 836, Pages 047-050D, # 1862707, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, notes, conditions, dedication and restrictions, as shown and delineated on plat of survey entitled "Lot Split and Road Dedication Plat showing Tract 7 and a portion of Las Soleras Drive...prepared for Las Soleras Oeste Ltd. Co. within Section 18, T.16N., R.9E., N.M.P.M. City & County of Santa Fe, N.M.", recorded August 3, 2017 in Plat Book 822, Page 044, # 1832842, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, dedication, notes, conditions and restrictions, as shown and delineated on plat of survey entitled "Lot Line Adjustment and Road Dedication Plat Showing the Realignment and Right of Way Dedication of Portions of Las Soleras Drive from Former Lot 7-A, Lot 7-B and Lot 4B-1, Prepared for Las Soleras Oeste, Ltd, Co. and the City Of Santa Fe", recorded May 17, 2018 in Plat Book 834, Pages 027-028, Inst # 1857823 as amended by Ratification and Acceptance of Plat, executed by Amigos de la Tierra, Ltd. Co., a New Mexico limited liability company, recorded May 14, 2020, as Instrument # 1916292, records of Santa Fe County, New Mexico.

Easements, encroachment of rip rap onto easements, rights of others in and to all aforementioned and notes, as shown and delineated on plat of survey entitled "Boundary Survey prepared for New Mexico Educational Retirement Board showing Lot 7-B1 Las Soleras... Section 18, T16N, R9E, NMPM, City & County: Santa Fe State: New Mexico", recorded July 31, 2020, in Plat Book 865, Page 018, as # 1923554, records of Santa Fe County, New Mexico.

SITE DEVELOPMENT PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting of _____, 20____, as Case No. _____.

Planning Commission Chairperson _____
Date _____

Planning Commission Secretary _____
Date _____

Approved by the City of Santa Fe Land Use Department:

City Planner _____
Date _____

City Engineer of Land Use _____
Date _____

Owner:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Applicant:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Project Name:
Educational Retirement Board

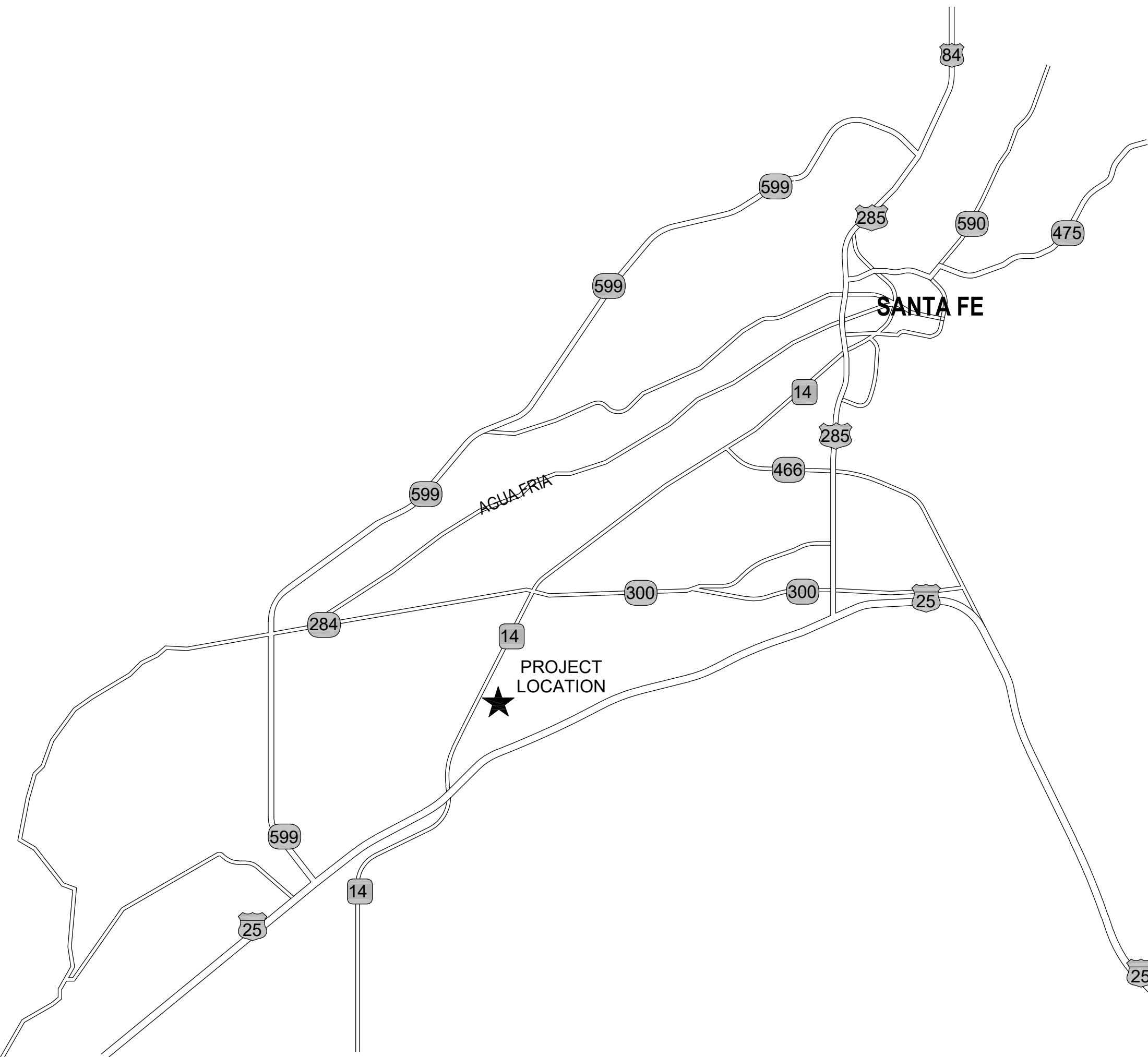
Project Address:
5211 Las Soleras Drive

Case #:
2025-010094-PLBD

Sheet Name:
COVER SHEET

Sheet #:

SP-0

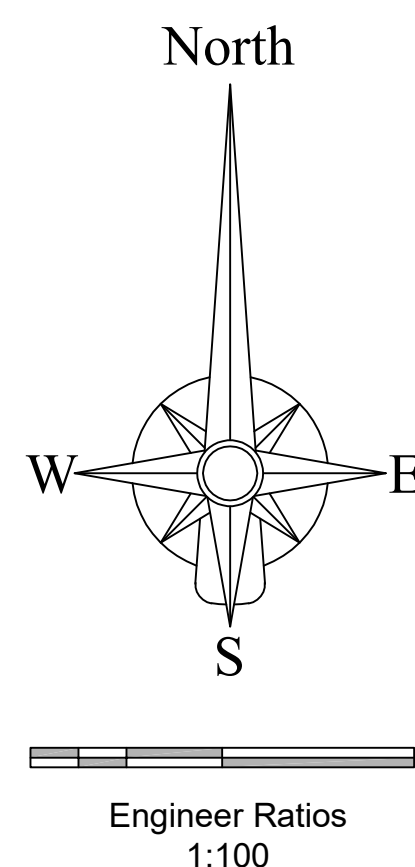


CONDITIONS OF APPROVALS

- The First Condition of Approval is to provide Development Plan as described in City of Santa Fe Municipal Code Chapter 14-3.8 and as provided to applicant in detailed letter on March 5, 2025.
- The Second Condition of Approval is to provide Photometric Analysis Plan.
- The Third Condition of Approval is the area has been previously cleared by archaeology from Lone Mountain in 2006.
- The Fourth Condition of Approval is it shall comply with IFC 2021.
- The Fifth Condition of Approval is it shall provide solution for encroachment of parking structure into fire lane. Shall verify location of FDC in relation to hot box and building.
- The Sixth Condition of Approval is the connection of access road at property to Las Soleras shall be completed the time of "At the time of development" of Las Soleras.
- The Seventh Condition of Approval is the City sewer service for this project may be obtained by connection to an 8-inch public PVC sewer line located in front of the proposed building site. The connection of a 4-inch service line may be connected directly to the sewer line. A 6-inch service line shall require connection directly to a sewer manhole.
- The Eighth Condition of Approval is an approved Water Plan will be required for all new public water infrastructure and fire services.
- The Ninth Condition of Approval is an approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.
- The Tenth Condition of Approval is a separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.
- The Eleventh Condition of Approval is any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.
- The Twelfth Condition of Approval is an approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.
- The Thirteenth Condition of Approval is an Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.
- The Fourteenth Condition of Approval is each lot shall be served by separate water service at the time of development.
- The Fifteenth Condition of Approval is an agreement for metered service (AMS) will be required to install new services, including water offset fees.

NOTES

- Development Construction Plan drawings (such as Elevations, Lighting, Civil, Engineering Plans, etc...) are filed in the map room with the City of Santa Fe Case #: _____.
- City of Santa Fe Drainage:
 - Subject to the approval of City of Santa Fe Permit and Development Review Division staff, storm drainage and erosion sediment control improvements shall be executed in conjunction with the construction of each segment of roads and utilities. These improvements shall be completed and inspected prior to the issuance of building permits.
 - Maintenance of private drainage easements and drainage facilities is the responsibility of the owner. The City of Santa Fe is hereby granted the right to access and inspect these easements and drainage facilities at the discretion of the City. The owner agrees to indemnify and to hold harmless from all damage to persons of property resulting from the City's reasonable exercise to their access and inspection right.



<p>ENGINEER'S STORMWATER INFRASTRUCTURE CERTIFICATION</p> <p>I, THE UNDERSIGNED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE RECORD INFORMATION SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND VISUAL INSPECTIONS PERFORMED BY MYSELF OR UNDER MY DIRECTION SUPERVISION. I FURTHER CERTIFY THAT THE RECORD CONDITION AS OF _____ IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN PREPARED BY _____, DATED _____.</p> <p>SIGNATURE _____ NMPE# _____ DATE _____</p>	<p>COUNTY OF SANTA FE } SS STATE OF NEW MEXICO }</p> <p>I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED AND RECORDED ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M, AND WAS DULY RECORDED IN BOOK _____ PAGE _____ OF THE RECORDS OF SANTA FE COUNTY.</p> <p>WITNESS MY HAND AND SEAL OF OFFICE KATHARINE E. CLARK COUNTY CLERK, SANTA FE COUNTY</p> <p>_____ DEPUTY</p>	<p>AFFIDAVIT</p> <p>KNOWW ALL PERSONS BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.</p> <p>[OWNER] THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY _____ THIS _____ DAY OF _____, 20____.</p> <p>_____ NOTARY PUBLIC</p> <p>MY COMMISSION EXPIRES _____</p>
--	---	--

EXISTING CONDITIONS PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

PROPERTY INFORMATION

ZONING: C-2 (General Commercial; Las Soleras Subdivision)

OVERLAYS: Suburban Archaeological Review District

HISTORIC STATUS: NONE

NATIONAL REGISTRY: N/A

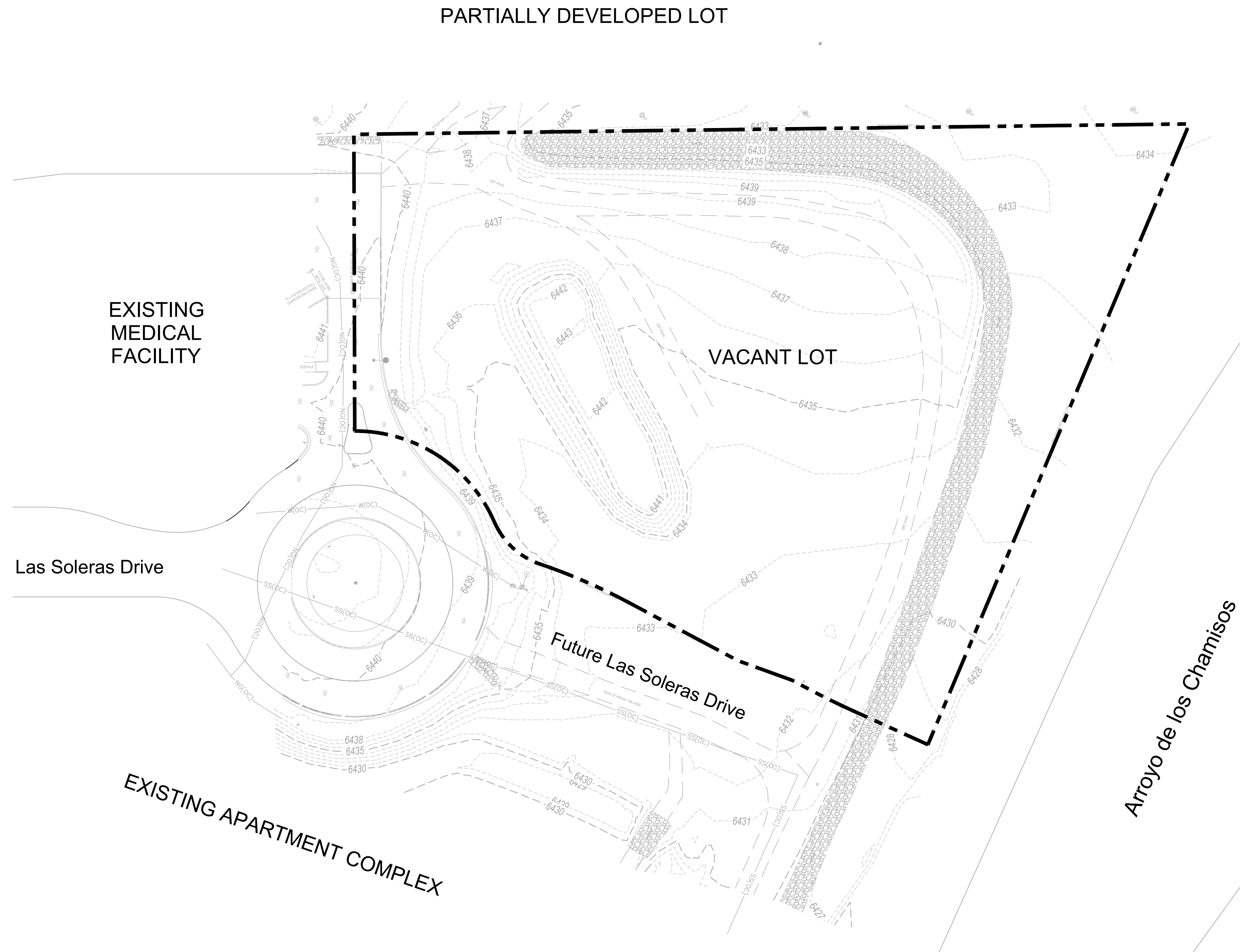
EXISTING STRUCTURE SQ. FT.: N/A

EXISTING UTILITIES: CONNECTIONS TO EXISTING PUBLIC WATER AND SANITARY SEWER LINES IN LAS SOLERAS DRIVE

FLOOD ZONE: "Zone AE" Square Feet: 22,788 sf
"Zone X" Square Feet: 12,053 sf

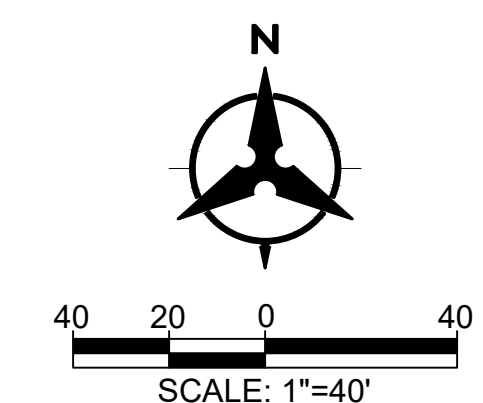
LEGAL LOT INFORMATION

LOT 7-B1 LAS SOLERAS, S18 T16N R9E
UPC#1-049-094-348-384



LEGEND

--- PROPERTY LINE



Owner:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Applicant:
New Mexico Educational Retirement Board
701 Camino de los Marquez
Santa Fe, NM 87502
TEL: (505) 827-8030

Project Name:
Education Retirement Board

Project Address:
5211 Las Soleras Drive

Case #:
2025-010094-PLBD

Sheet Name:
EXISTING CONDITIONS PLAN

Sheet #:

EC-1

SITE DEVELOPMENT PLAN

NMERB New Office Building

Santa Fe, NM | Section 18, Township 16 North & Range 9 East

PROJECT DATA

PROJECT SITE:

Acerage: 2.995 acres (130,457 sqft.)
 Flood Plain: Regulatory Floodway - Arroyo de los Chamisos
 Flood Way "Zone AE" Square Feet: 22,788 sf
 Flood Way "Zone X" Square Feet: 12,053 sf
 Net Acreage: 2.195 acres (95,616 sqft.)
 Zoning: C-2 (General Commercial; Las Soleras Subdivision)

OVERLAY ZONING:

Suburban Archaeological Review District

BUILDINGS:

Building Area: 19,443 Sq.Ft.

HEIGHT:

Non-Residential District C-2 Maximum Height: 45'
 Building Height Actual: 23'

LOT COVERAGE:

Non-Residential District C-2 Maximum Lot Coverage: 60%
 Lot Coverage Actual: 44%

BUILDING PLACEMENT:

Front required yard equal to the average depth of existing front yards on the block.

SETBACK:

Non-Residential District C-2
 Street: 15' Required
 Side: 0' (No Requirement)
 Rear: 10' Required

OPEN SPACE:

Non-Residential District: No less than 25% of the lot area
 Required: 32,614 sf (25%)
 Provided: +/- 62,162 sf

LANDSCAPE:

Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

HEIGHT OF WALLS AND FENCES:

Non-Residential District: Maximum 8'

PLACEMENT OF OFF STREET AUTOMOBILE PARKING:

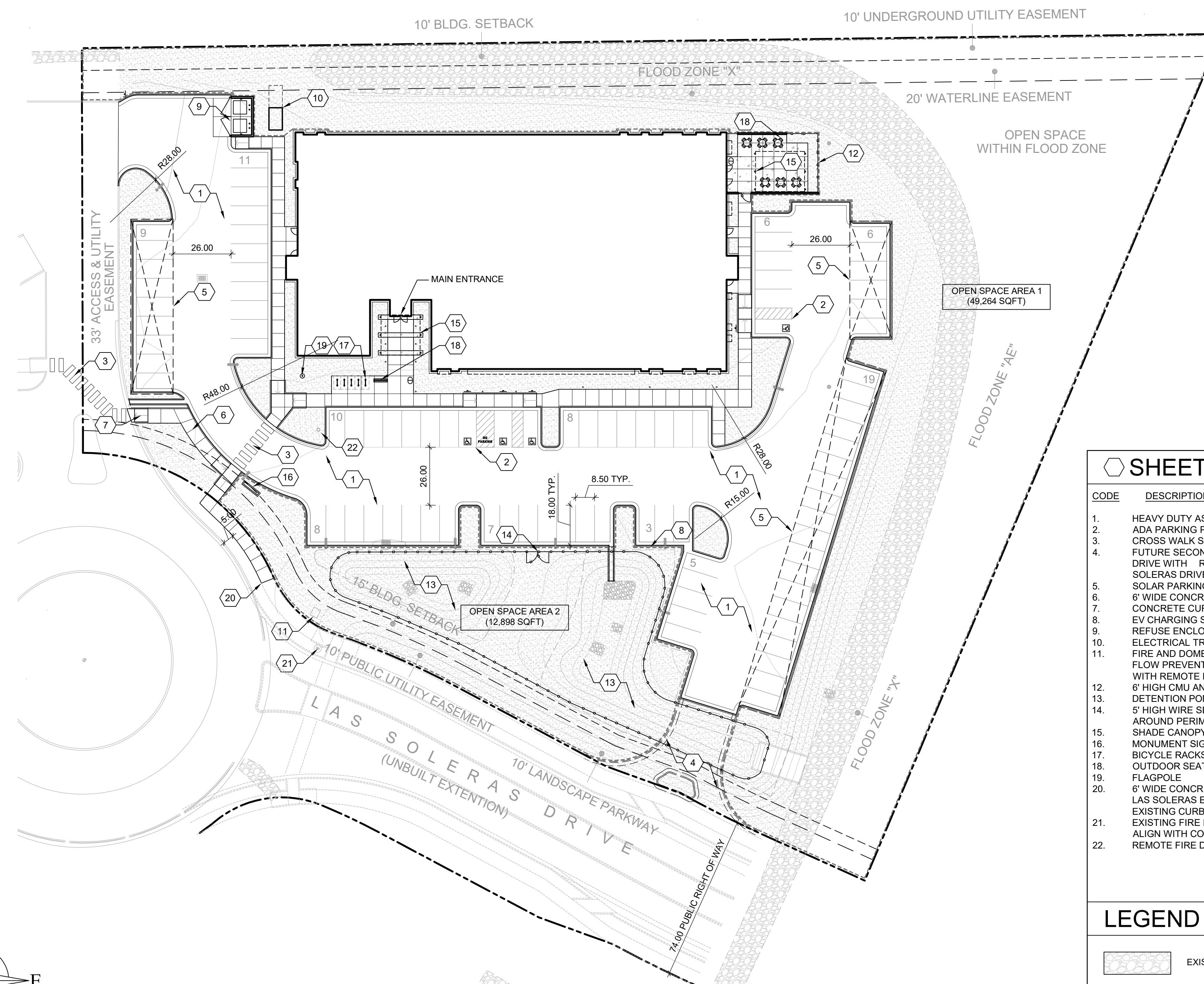
Parking set to the front and sides of the property
 Required parking for Commercial Use (Office): 500:1
 19,443 gross square feet
 Required Parking = 39 Parking Spaces
 Provided Parking = 92 Parking Spaces
 ADA Parking Spaces = 4 ADA Parking Spaces
 ADA Van Accessible = 3 Parking Spaces

PLACEMENT OF OFF STREET BICYCLE PARKING:

Bicycle parking set within fifty (50) feet of the main entrance
 Automobile Parking Spaces Required: 39
 Required Bicycle Parking = 8 Parking Spaces
 Provided Bicycle Parking = 10 Parking Spaces

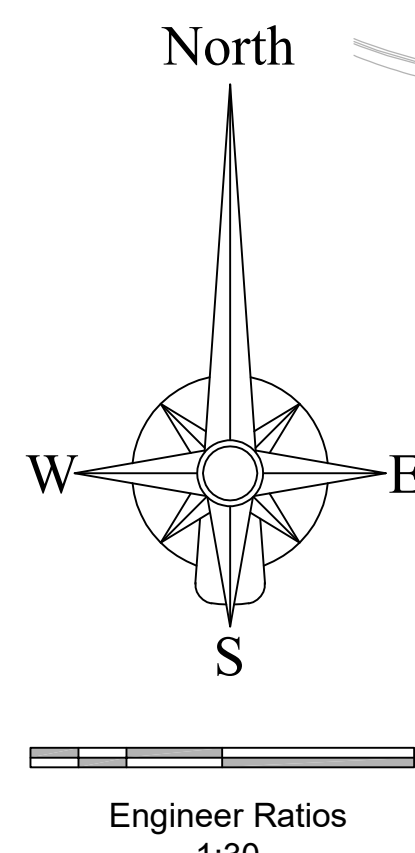
PORTALS IN THE ROW:

None



SHEET KEYNOTES	
CODE	DESCRIPTION
1.	HEAVY DUTY ASPHALT PAVEMENT
2.	ADA PARKING PAVEMENT MARKING, ACCESS AISLE AND SIGN
3.	CROSS WALK STRIPING
4.	FUTURE SECOND DRIVEWAY ACCESS AND ASSOCIATED DRIVE WITH RIGHT-IN/RIGHT-OUT INTERSECTION FOR LAS SOLERAS DRIVE ROAD CONNECTION
5.	SOLAR PARKING CANOPY
6.	6' WIDE CONCRETE SIDEWALK
7.	CONCRETE CURB RAMP
8.	EV CHARGING STATION
9.	REFUSE ENCLOSURE
10.	ELECTRICAL TRANSFORMER
11.	FIRE AND DOMESTIC WATER REDUCED PRESSURE BACK FLOW PREVENTERS WITH SINGLE HEATED ENCLOSURE WITH REMOTE FIRE DEPARTMENT CONNECTION (FDC)
12.	6' HIGH CMU AND WIRE FENCE SCREEN WALL
13.	DETENTION POND
14.	5' HIGH WIRE SECURITY FENCE AND MAINTENANCE GATE AROUND PERIMETER OF DETENTION POND
15.	SHADE CANOPY
16.	MONUMENT SIGN
17.	BICYCLE RACKS
18.	OUTDOOR SEATING
19.	FLAGPOLE
20.	6' WIDE CONCRETE SIDEWALK FOR CONNECTION TO FUTURE LAS SOLERAS EXTENSION SIDEWALK TO EXTEND TO EXISTING CURB CUT
21.	EXISTING FIRE HYDRANT TO BE REPLACED WITH NEW TO ALIGN WITH COSF WATER DIVISION STANDARD
22.	REMOTE FIRE DEPARTMENT CONNECTION (FDC)

LEGEND	
	EXISTING DRAINAGE SWALE TO REMAIN
	LANDSCAPE AREA
	LIGHT POLE. SEE ELECTRICAL
	OPEN SPACE BOUNDARY
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT



Owner:
 New Mexico Educational Retirement Board
 701 Camino de los Marquez
 Santa Fe, NM 87502
 TEL: (505) 827-8030

Applicant:
 New Mexico Educational Retirement Board
 701 Camino de los Marquez
 Santa Fe, NM 87502
 TEL: (505) 827-8030

Project Name:
Educational Retirement Board

Project Address:
5211 Las Soleras Drive

Case #:
2025-010094-PLBD

Sheet Name:
PROPOSED SITE PLAN

Sheet #:

SP-1

SITE INFRASTRUCTURE PLANS

NMERB New Office Building

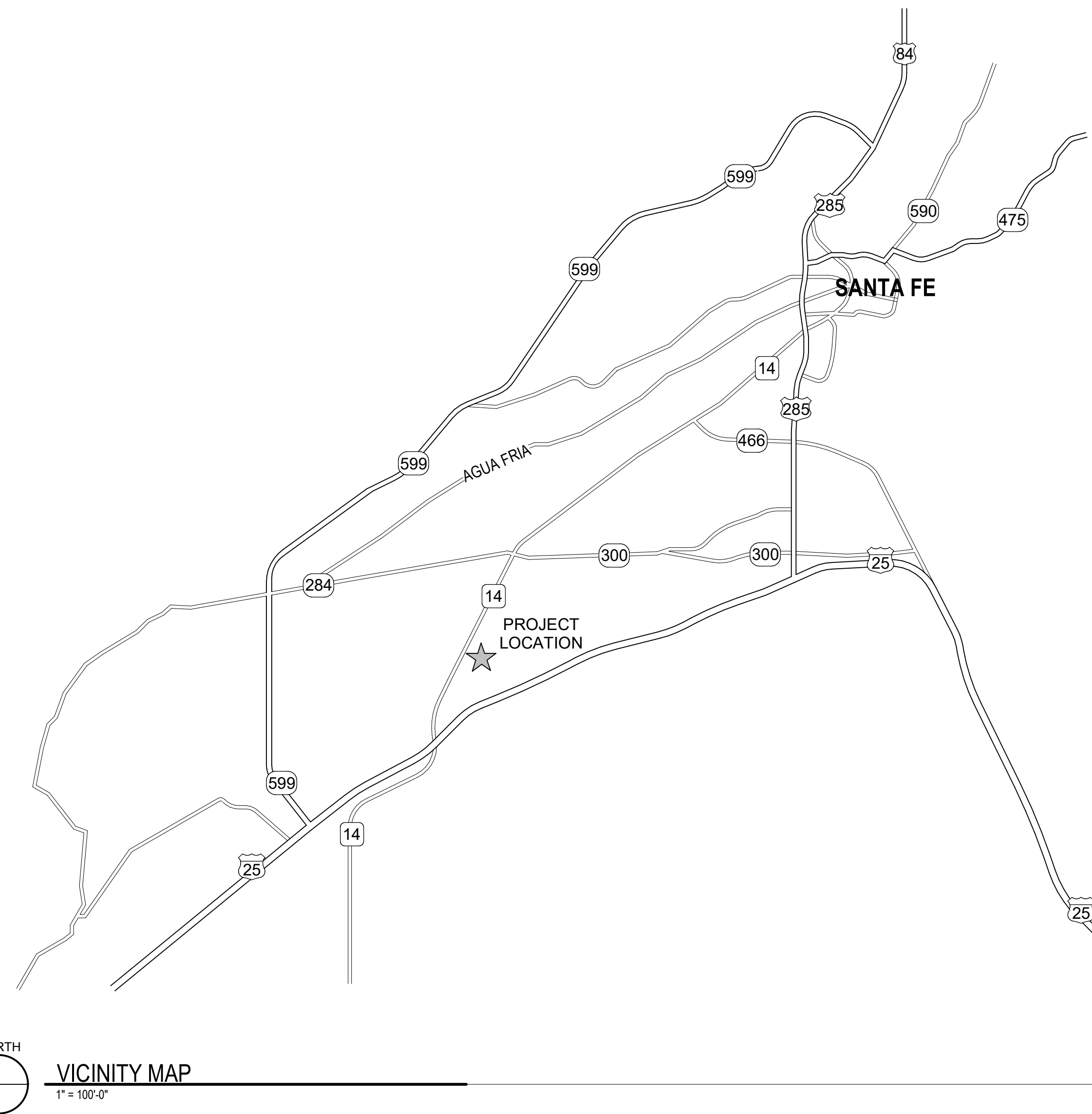
Santa Fe, NM | Section 18, Township 16 North & Range 9 East

DEKKER
PERICH
SABATINI

APPROVED BY THE CITY OF SANTA FE LAND USE DEPARTMENT
CITY ENGINEER FOR LAND USE _____
DATE _____

ARCHITECT

PROJECT



INDEX OF SHEETS

COVER	COVER SHEET
CIVIL	
C001	CIVIL GENERAL NOTES
C100	GRADING PLAN
C200	SITE UTILITY PLAN
C201	PUBLIC WATER PLAN
C300	CIVIL DETAILS
SITE & LANDSCAPE	
AS101	ARCHITECTURAL SITE PLAN
AS501	SITE DETAILS
AS502	SITE DETAILS
LP101	LANDSCAPE PLANS
LP501	LANDSCAPE DETAILS
LI101	IRRIGATION PLAN
LI501	IRRIGATION DETAILS
ARCHITECTURAL	
AE201	EXTERIOR ELEVATIONS
ELECTRICAL / LIGHTING	
ES101	ELECTRICAL SITE PLAN
ES102	SITE LIGHTING CALCULATIONS

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

NMERB NEW OFFICE BUILDING

PROJECT TEAM

OWNER

NEW MEXICO EDUCATIONAL
RETIREMENT BOARD
701 CAMINO DE LOS MARQUEZ
SANTA FE, NM 87502
TEL: 505.827.8030

ARCHITECT

DEKKER/PERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL: 505.761.9700

LANDSCAPE ARCHITECT

DEKKER/PERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL: 505.761.9700

STRUCTURAL ENGINEER

DEKKER/PERICH/SABATINI
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
TEL: 505.761.9700

CIVIL ENGINEER

BOHANNAN HUSTON, INC.
7500 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
TEL: 505.823.1000

MECHANICAL ENGINEER

BRIDGERS & PAXTON
4600-C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL: 505.883.4111

ELECTRICAL ENGINEER

BRIDGERS & PAXTON
4600-C MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87109
TEL: 505.883.4111

DATE 12/21/2022

PROJECT NO: 20-0371.001

ISSUE PURPOSE

COVER

SEAL

PROJECT

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUE FOR PERMIT

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY	BO
REVIEWED BY	GSB
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
**CIVIL
GENERAL NOTES**

SHEET NO

C001

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, NEW MEXICO PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.







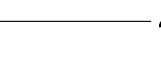








UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 48" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER NMAPWA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.

KEYED NOTES

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 12" WIDE CONCRETE RUNDOWN FOR POND OVERFLOW PER 7/C300.
3. INSTALL NYLOPLAST DRAIN BASIN WITH SOLID COVER.
4. INSTALL 6" STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
5. CONSTRUCT 24" WIDE CONCRETE RIBBON CHANNEL PER 5/C300.
6. INSTALL LIGHT DUTY ASPHALT PAVEMENT PER 1/C300.
7. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET.
8. CONSTRUCT TYPE 'C' SINGLE GRATE STORM DRAIN INLET.
9. INSTALL RIP-RAP PAD PER 6/C300. SEE PLAN FOR SIZE.
10. INSTALL CMP END SECTION.
11. INSTALL HEAVY DUTY CONCRETE PAVEMENT SECTION PER 8/C300.
12. INSTALL TRAFFIC RATED NYLOPLAST DRAIN BASIN WITH SOLID COVER AND CONCRETE COLLAR.
13. INSTALL SEDIMENT MEASUREMENT POST PER 10/C300.






LEGEND

-  HEAVY DUTY ASPHALT PAVEMENT PER DETAIL 2/C300
-  PROPOSED SPOT ELEVATION
-  TA=TOP OF ASPHALT
-  TC=TOP OF CURB
-  FL=FLOW LINE
-  TOC=TOP OF CONCRETE
-  TS=TOP OF SIDEWALK
-  TG=TOP OF GRATE
-  FG=FINISHED GRADE
-  4960 EXISTING INDEX CONTOUR
-  4959 EXISTING INTERMEDIATE CONTOUR
-  4960 PROPOSED INDEX CONTOUR
-  4959 PROPOSED INTERMEDIATE CONTOUR
-  DIRECTION OF FLOW
-  WATER BLOCK / GRADE BREAK

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

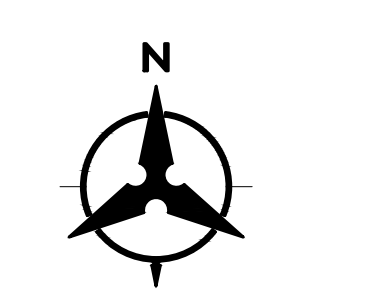
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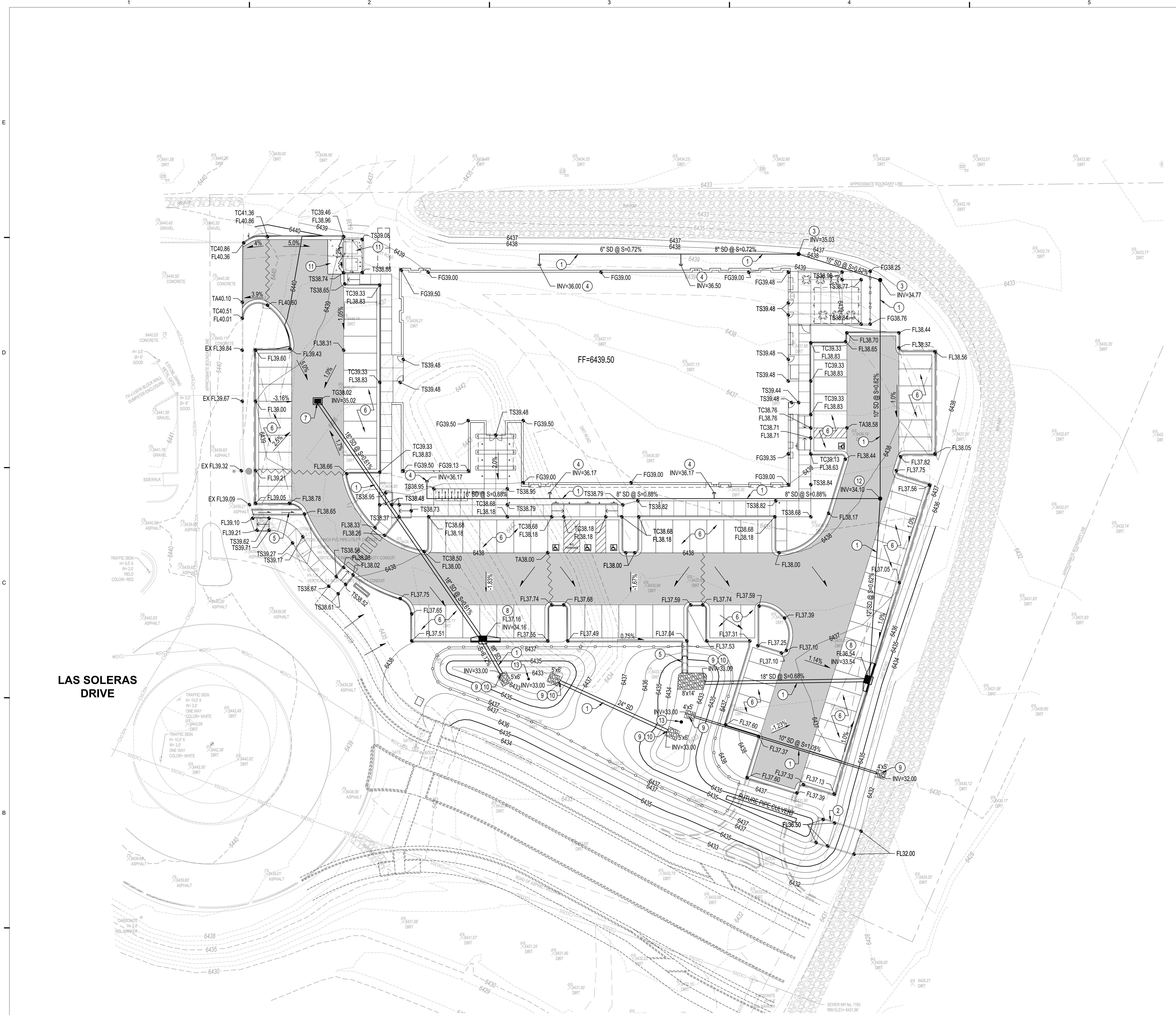
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REVIEWED BY	GSB
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
GRADING PLAN

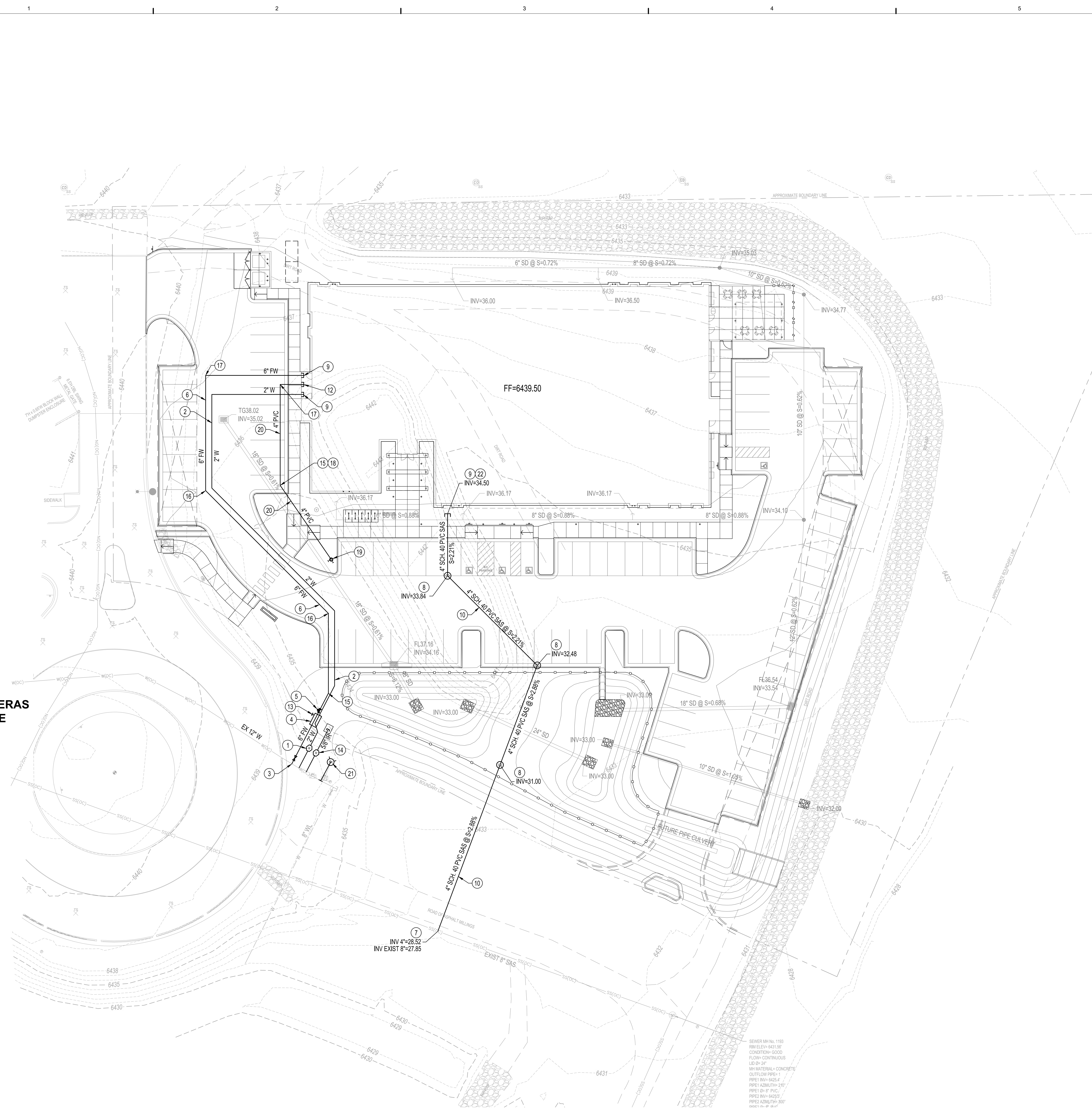
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SCALE: 1"=20'



LAS SOLERAS DRIVE



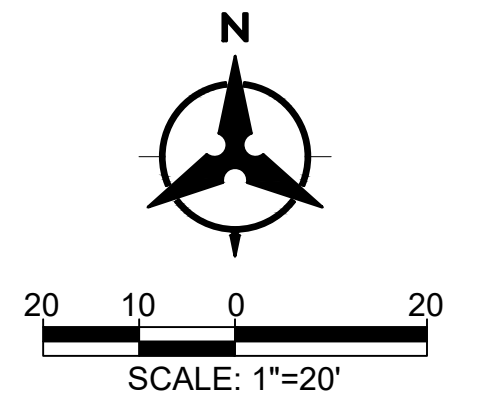
LAS SOLERAS DRIVE

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- KEYED NOTES**
- DOMESTIC WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 2" DOMESTIC WATER SERVICE LINE.
 - CONNECT TO EXISTING EXISTING WATER LINE. SEE PUBLIC WATER PLAN, SHEET C201, FOR DETAILS.
 - INSTALL 6" FIRE WATER REDUCED PRESSURE BACKFLOW PREVENTER & 2" DOMESTIC WATER REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
 - INSTALL 6" GATE VALVE WITH POST INDICATOR (PIV) PER DETAIL 3/C300.
 - INSTALL 6" C900 DR18 PVC FIRE WATER SERVICE LINE.
 - CONNECT TO EXISTING SANITARY SEWER LINE PER NMAPWA STD DWG 2125.
 - INSTALL SANITARY SEWER CLEAN OUT PER DETAIL 4/C300.
 - INSTALL SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - INSTALL 4" SANITARY SEWER SERVICE LINE. SEE PLAN FOR PIPE MATERIAL AND SLOPE.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - COORDINATE EXACT LOCATION OF FDC LINE WITH FIRE PROTECTION / PLUMBING EXACT.
 - REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF THE 6" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE AND MOUNTED TO THE HEATED ENCLOSURE. FDC SHALL HAVE CLEAR ACCESS TO THE ADJACENT FIRE HYDRANT.
 - IRRIGATION WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 22.5" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 45" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 90" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 11.25" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC) PER DETAIL 9/C300.
 - INSTALL 4" C900 DR18 PVC PIPE TO REMOTE FDC.
 - FIRE HYDRANT TO BE INSTALL WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 2'-45" VERTICAL BENDS AT BUILDING CONNECTION TO LOWER SAS SERVICE BELOW 6" STORM DRAIN.

LEGEND

— W(OC)	EXISTING WATER LINE
— NG(OC)	EXISTING GAS LINE
— SS(OC)	EXISTING SAS LINE
— 2" W	PROPOSED WATER LINE
— 6" FW	PROPOSED FIRE LINE
— 4" SAS	PROPOSED SANITARY SEWER LINE
⊞	PROPOSED WATER VALVE
⊙	PROPOSED WATER METER
⊕	PROPOSED CLEAN OUT
⊞	PROPOSED CAP



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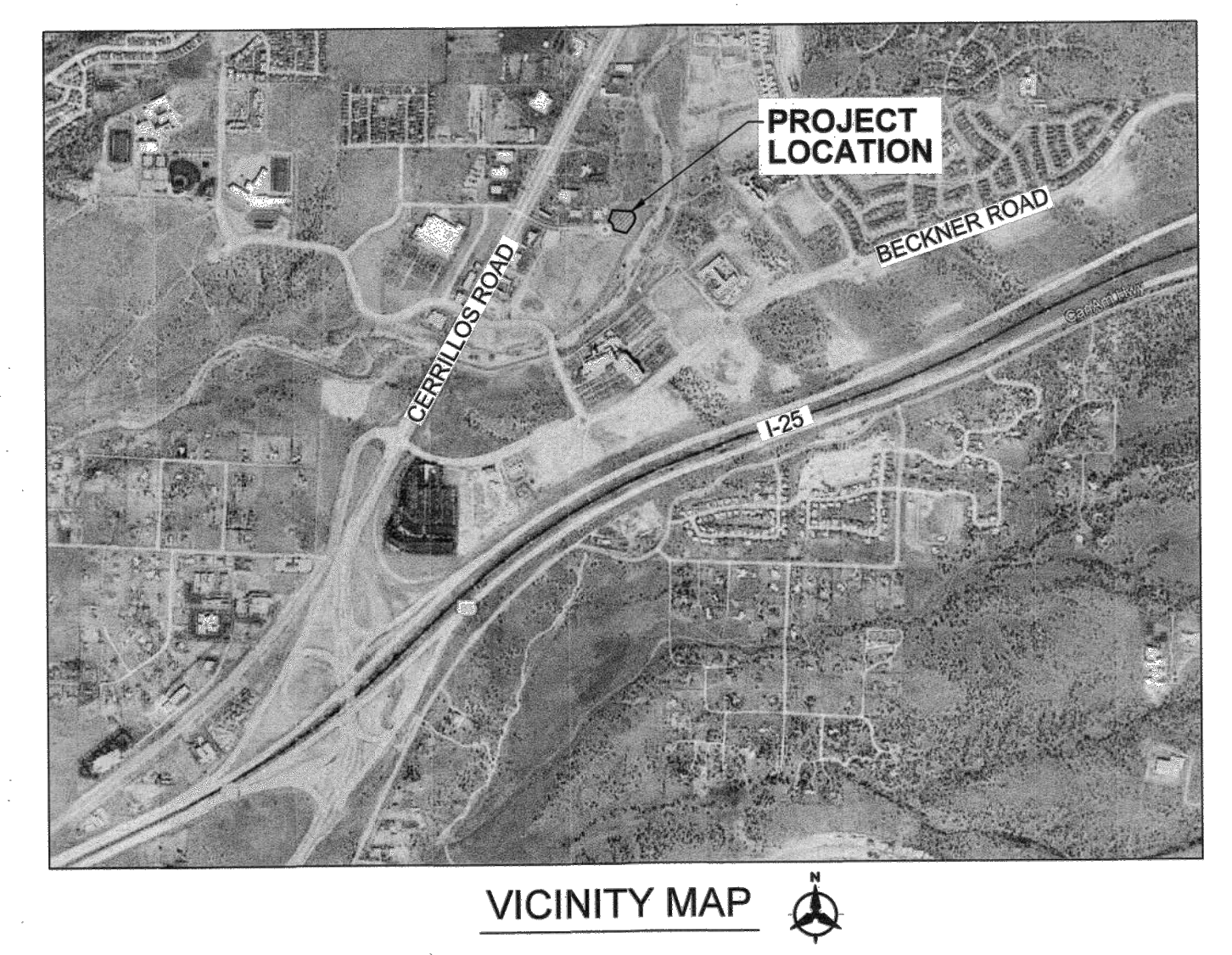
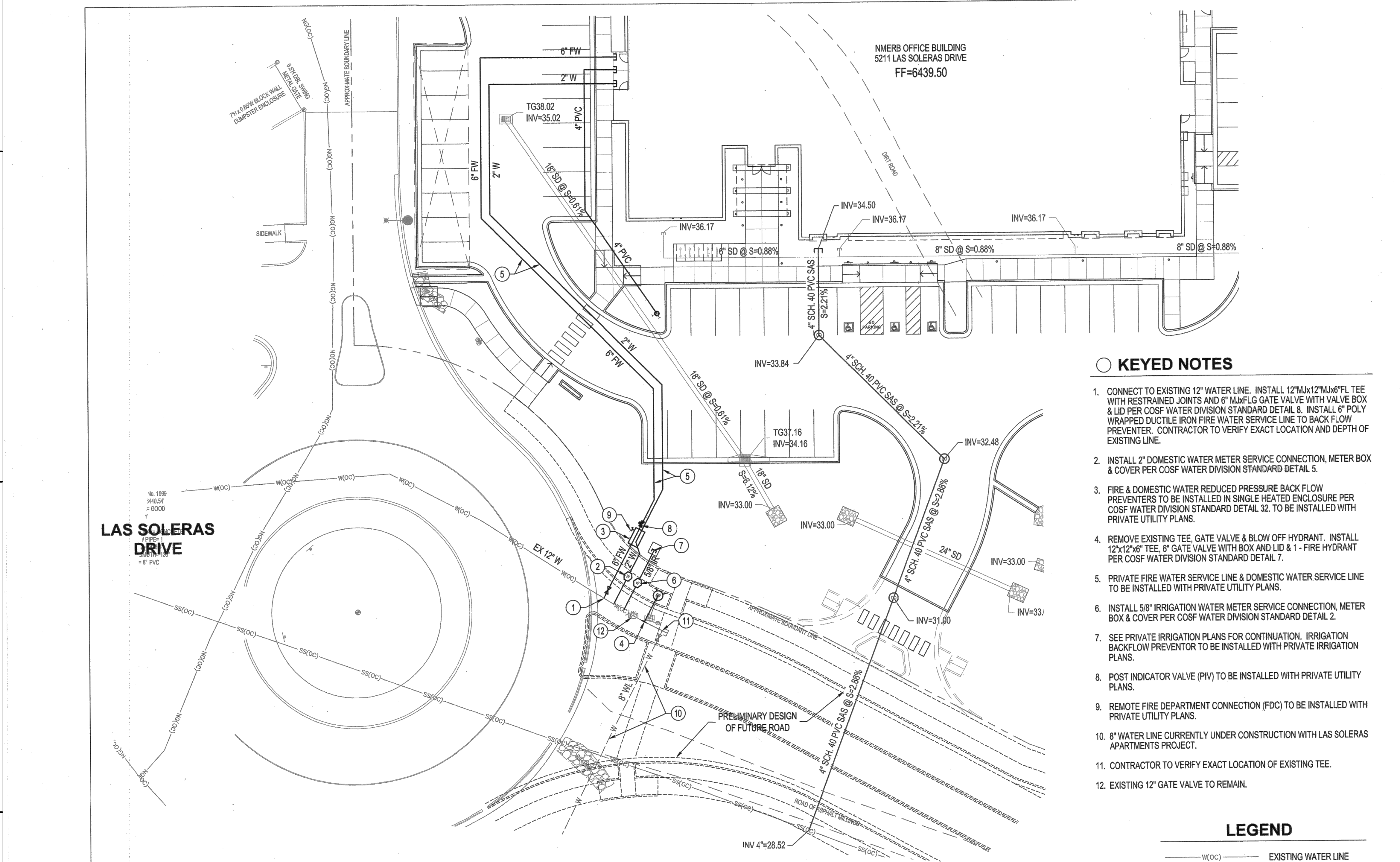
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DRAWN BY: BO
REVIEWED BY: GSB
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
SITE UTILITY PLAN

SHEET NO
C200



KEYED NOTES

- CONNECT TO EXISTING 12" WATER LINE. INSTALL 12" M&M 12" M&M 90° FL TEE WITH RESTRAINED JOINTS AND 8" M&M 90° FL GATE VALVE WITH VALVE BOX & LID PER COSFW DIVISION STANDARD DETAIL 8. INSTALL 8" POLY WRAPPED DUCTILE IRON FIRE WATER SERVICE LINE TO BACK FLOW PREVENTER. CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING LINE.
- INSTALL 2" DOMESTIC WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 5.
- FIRE & DOMESTIC WATER REDUCED PRESSURE BACK FLOW PREVENTERS TO BE INSTALLED IN SINGLE HEATED ENCLOSURE PER COSFW WATER DIVISION STANDARD DETAIL 32. TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOVE EXISTING TEE. GATE VALVE & BLOW OFF HYDRANT. INSTALL 12"x12"x6" TEE, 6" GATE VALVE WITH BOX AND LID & 1" FIRE HYDRANT PER COSFW WATER DIVISION STANDARD DETAIL 7.
- PRIVATE FIRE WATER SERVICE LINE & DOMESTIC WATER SERVICE LINE TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- INSTALL 5/8" IRRIGATION WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 2.
- SEE PRIVATE IRRIGATION PLANS FOR CONTINUATION. IRRIGATION BACKFLOW PREVENTOR TO BE INSTALLED WITH PRIVATE IRRIGATION PLANS.
- POST INDICATOR VALVE (PIV) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOTE FIRE DEPARTMENT CONNECTION (FDC) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- 8" WATER LINE CURRENTLY UNDER CONSTRUCTION WITH LAS SOLERAS APARTMENTS PROJECT.
- CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING TEE.
- EXISTING 12" GATE VALVE TO REMAIN.

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (CoSFWD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CoSFWD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
- ALL STREETS SHALL BE CUT TO WITHIN ±6" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
- LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY CoSFWD.
- CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND CoSFWD DRAWINGS.
- MATERIAL SUBMITTALS SHALL BE APPROVED BY CoSFWD PRIOR TO CONSTRUCTION.
- CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
- PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
- 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO: FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS. FIRE HYDRANTS SHALL BE PAINTED.
- FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE CoSFWD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
- A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY CoSFWD.
- ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND CoSFWD.
- WORK ON CoSFWD FACILITIES SHALL NOT BEGIN UNTIL CoSFWD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
- ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.

LEGEND

—(OC)—	EXISTING WATER LINE
—(GC)—	EXISTING GAS LINE
—(SC)—	EXISTING SAS LINE
2" W	PROPOSED WATER LINE
6" FW	PROPOSED FIRE LINE
⊕	PROPOSED WATER VALVE
⊙	PROPOSED WATER METER

DOMESTIC & IRRIGATION WATER SERVICE TABLE

SERVICE ADDRESS	STREET NAME	SERVICE SIZE & TYPE (DS OR IR)
5211	LAS SOLERAS DRIVE	2" DS
5211	LAS SOLERAS DRIVE	5/8" IR

FIRE SERVICE DESIGN TABLE

SERVICE SIZE	REQD FLOW* GPM	RESIDUAL PRESSURE* PSI	BUILDING(S) SERVED
6"	250	75	5211 LAS SOLERAS DRIVE

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH. *PEAK FLOW IS IN GALLONS PER MINUTE.

*RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH AT THE LISTED FIRE FLOW AT THE POINT OF CONNECTION TO MAIN.

UTILITY CONTACT INFORMATION

NEW MEXICO GAS COMPANY
STEVE LARRANAGA
505-412-2904

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WATER DIVISION
JOHN DEL MAR 505-955-4231

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WASTE WATER DIVISION
DOUG FLORES 505-955-4650

RECORD MAPPING

	INITIALS	DATE
AS BUILT		
VALVE MAPS		
GIS (MAPPING)		
Inspector Approved		

EXISTING UTILITIES AND APPURTENANCES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE APPROXIMATE. ACCURACY, LOCATION, AND COMPLETENESS OF UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE VERIFIED, BY ANY MEANS NECESSARY, PRIOR TO THE INITIATION OF CONSTRUCTION. EXISTING UTILITIES NOT SHOWN ON THE DOCUMENTS ARE LIKELY TO EXIST.

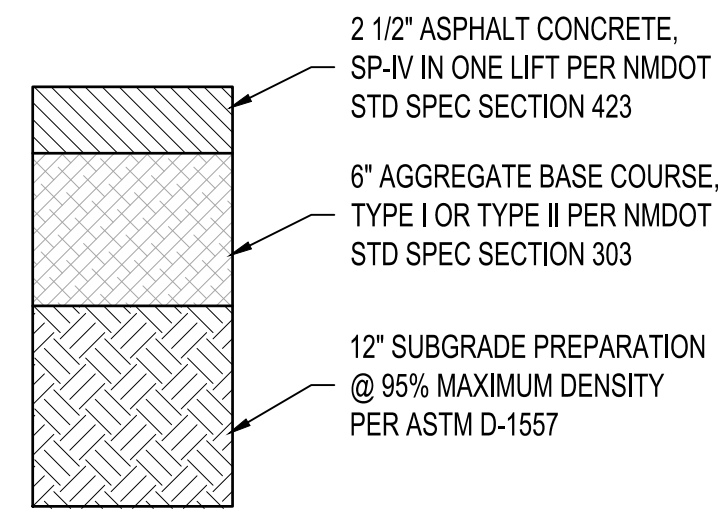
NOTE: PIPE JOINTS SHALL BE MECHANICALLY RESTRAINED PER UPDATED COSFW WATER DIVISION DETAIL 10A. SEE COSFW WATER DIVISION STANDARD DETAIL 10B FOR DIAGRAMATIC REPRESENTATION OF JOINT RESTRAINT LENGTHS.

THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER.

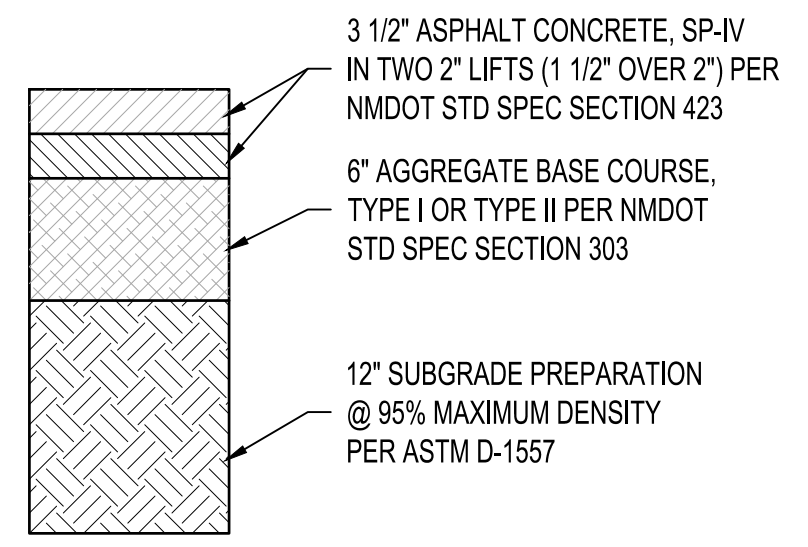
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Tue, 21-Feb-2023 - 8:29 am, Plotted by: BORTEGA

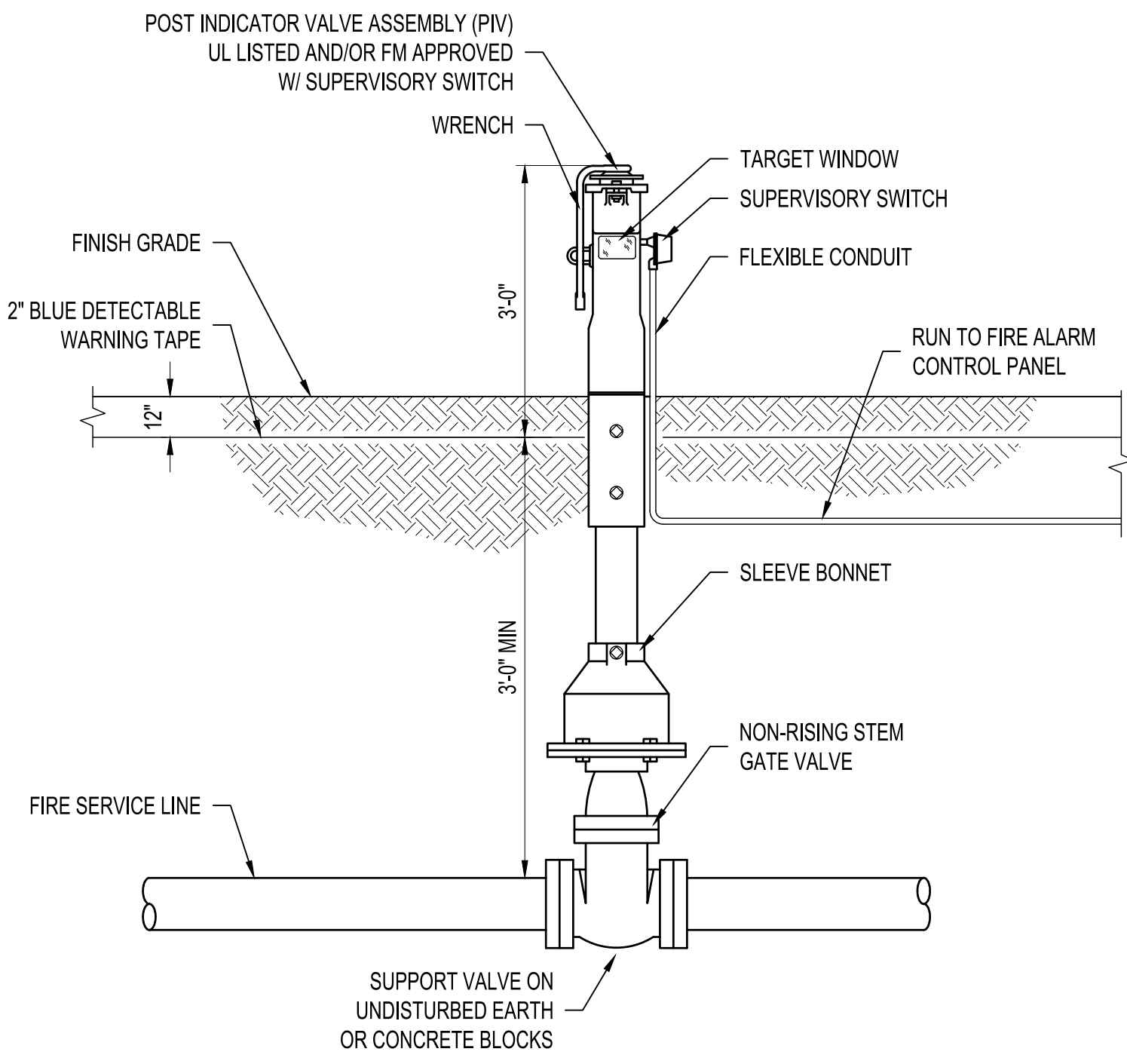
NOTE: THIS PUBLIC WATERLINE IMPROVEMENT PLAN IS FOR BIDDING PURPOSES ONLY. PRIOR TO CONSTRUCTION AN AGREEMENT TO CONSTRUCT AND DEDICATE PUBLIC IMPROVEMENTS (ACD) MUST BE EXECUTED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER TO PREPARE AND SUBMIT THE ACD TO THE CITY OF SANTA FE PUBLIC UTILITIES WATER DIVISION.



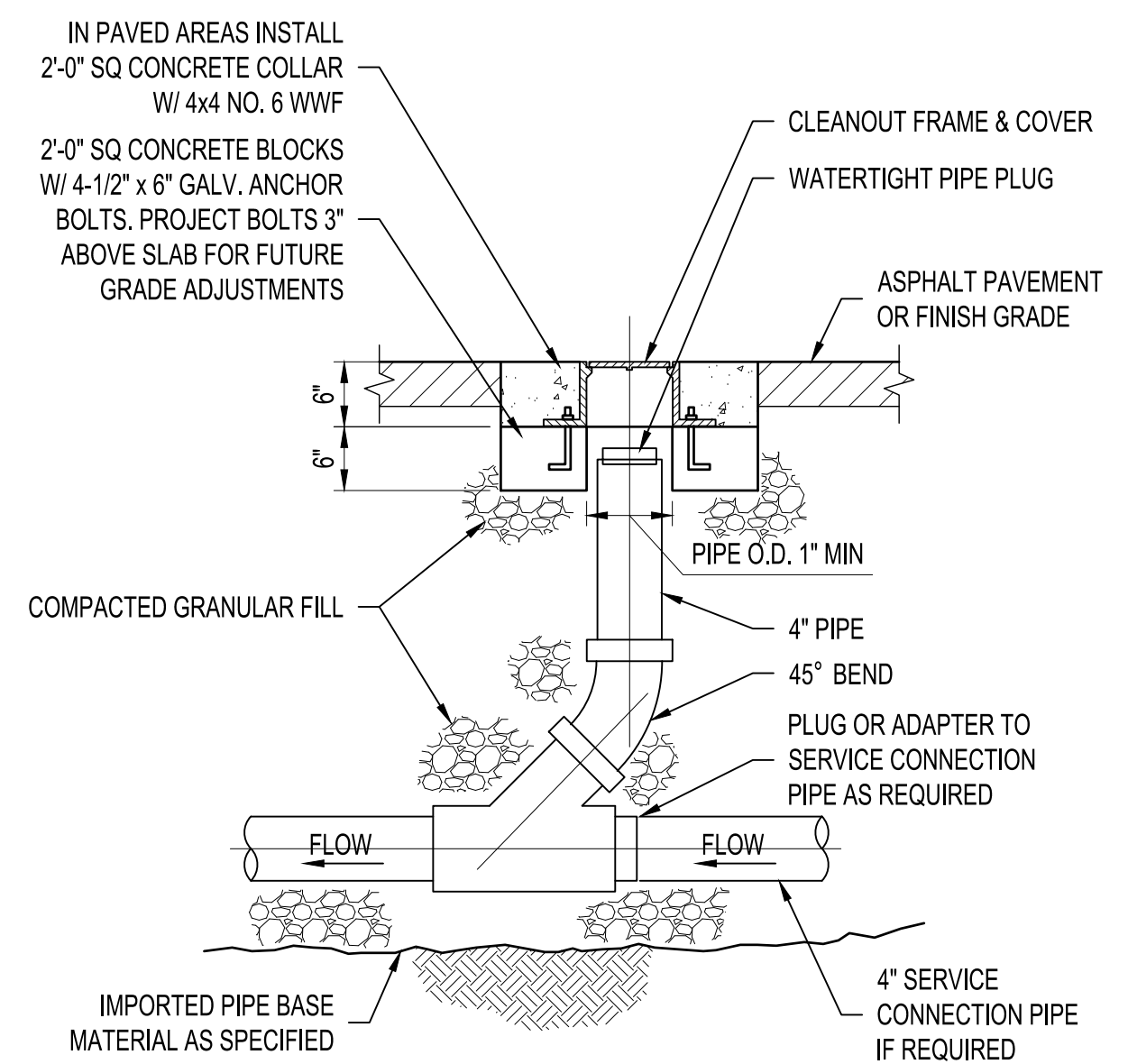
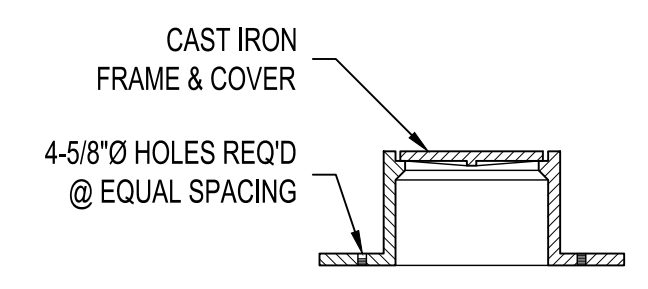
1 LIGHT DUTY ASPHALT PAVEMENT SECTION
NTS



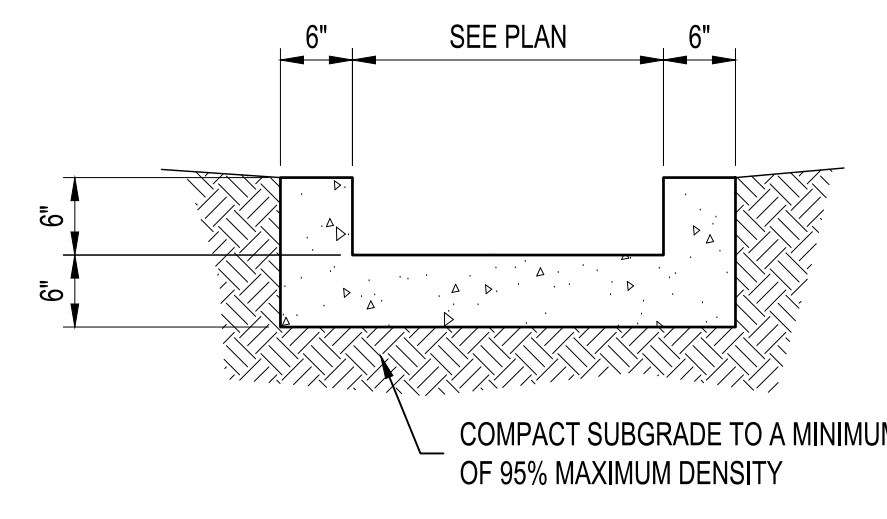
2 HEAVY DUTY ASPHALT PAVEMENT SECTION
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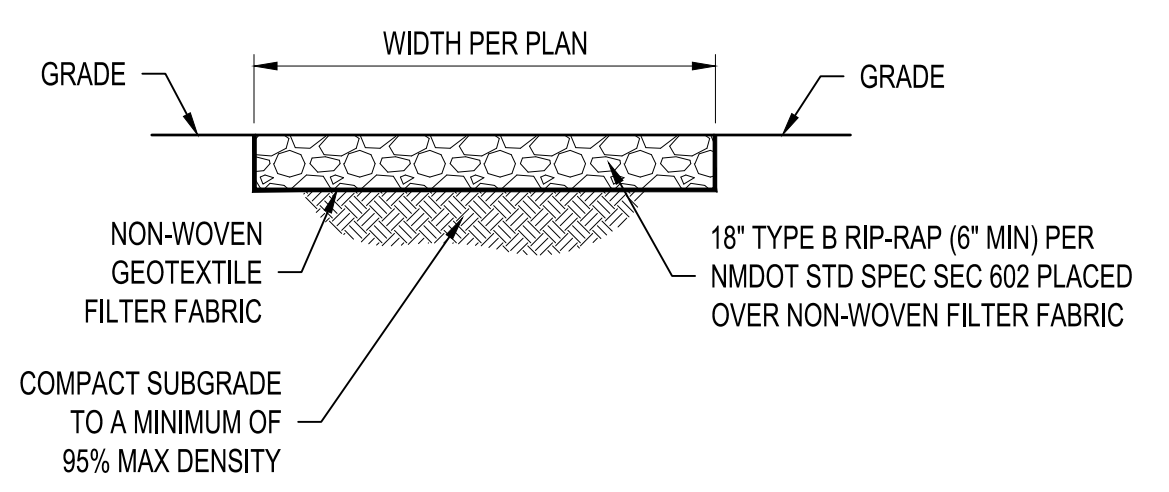
3 POST INDICATOR VALVE
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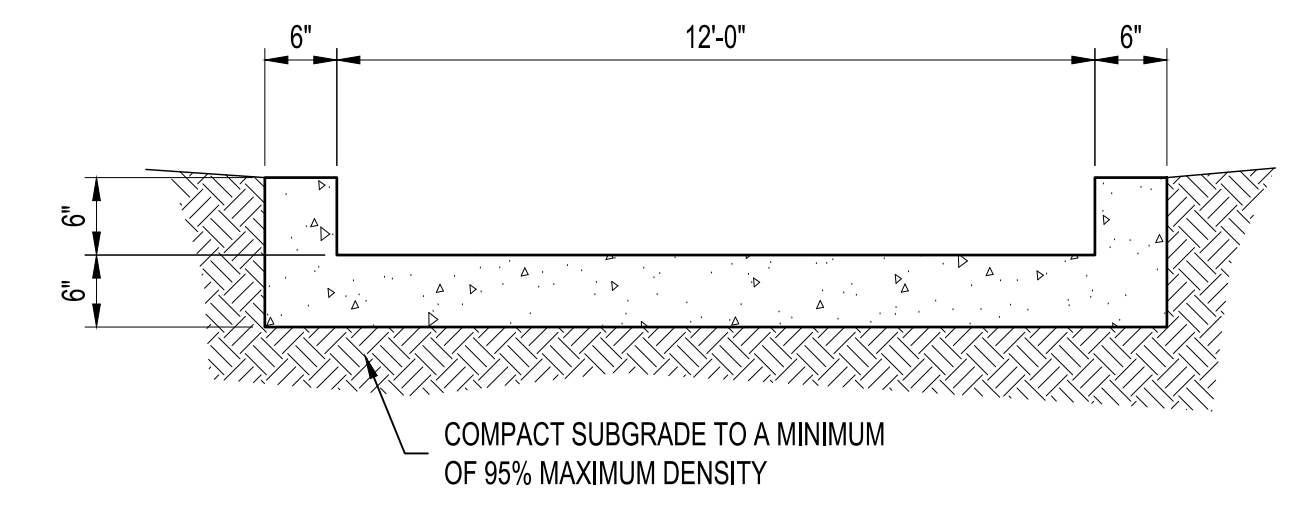
4 CLEANOUT
NTS



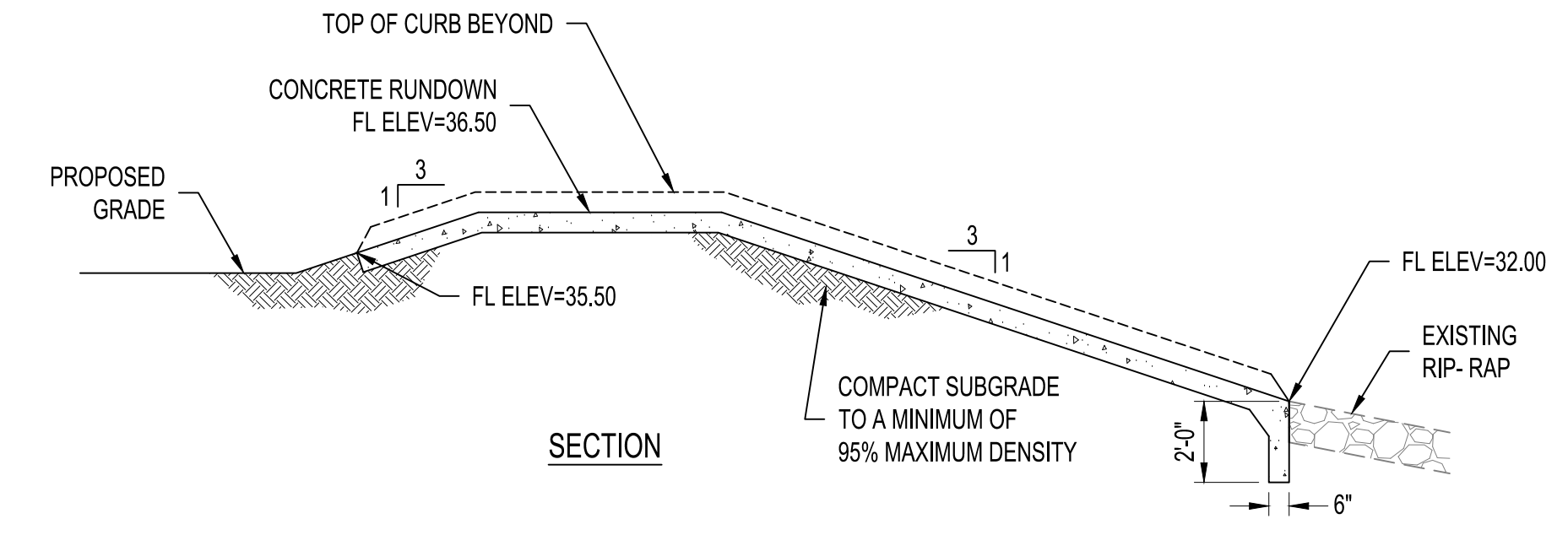
5 CONCRETE RIBBON CHANNEL
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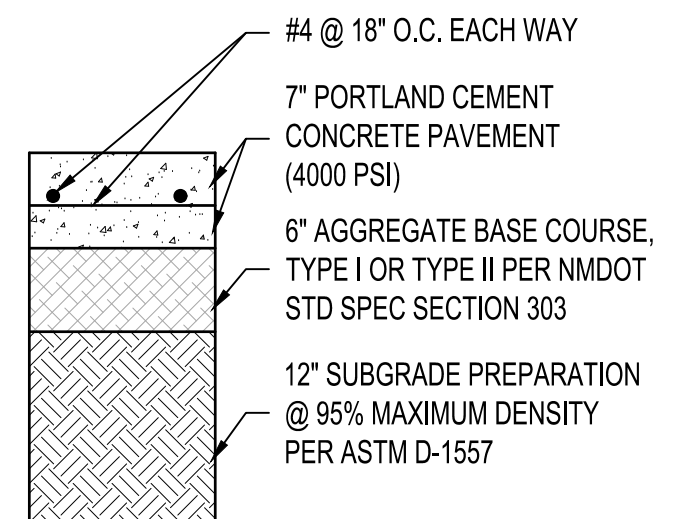
6 RIP-RAP BLANKET
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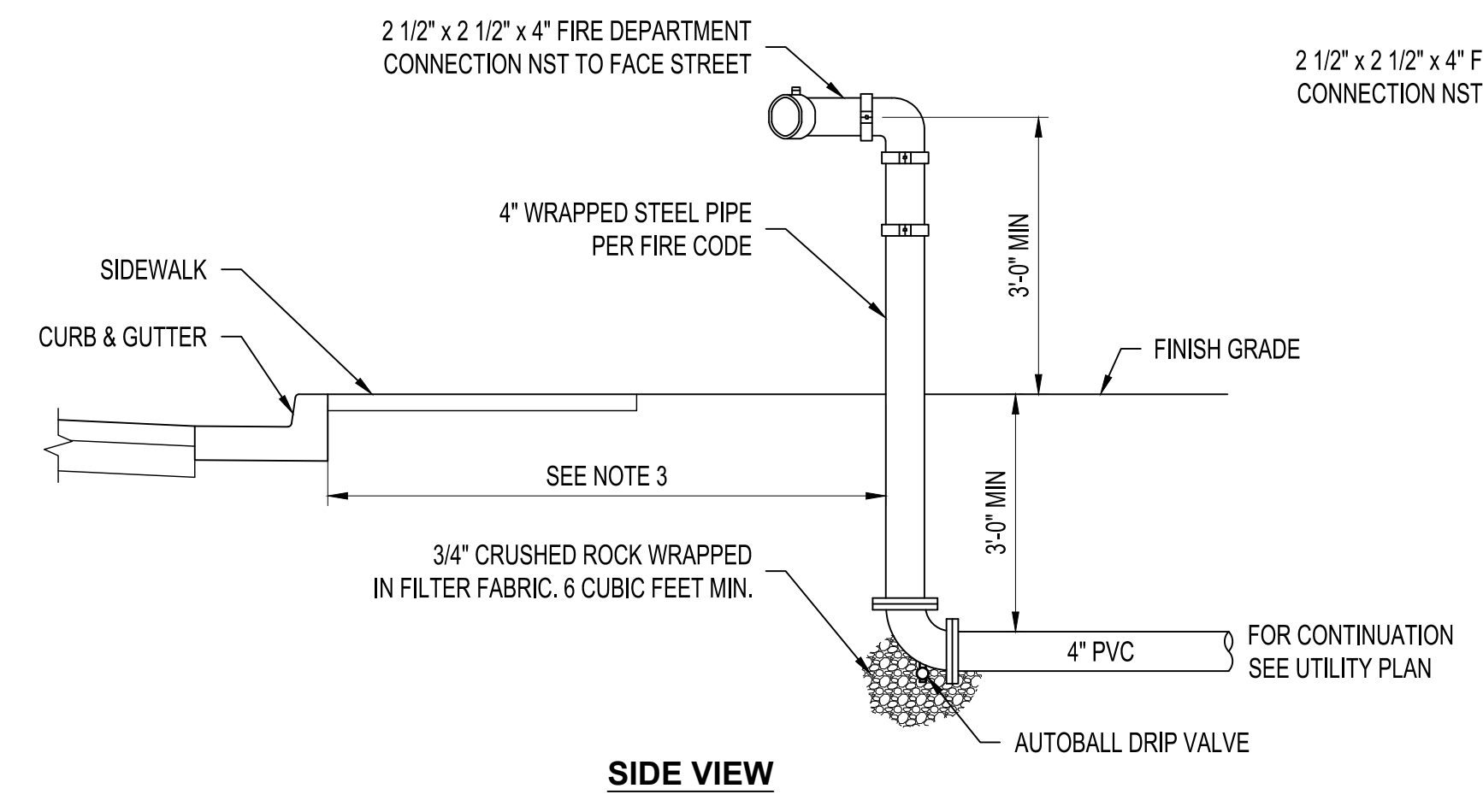
7 POND OVERFLOW - CONCRETE RUNDOWN
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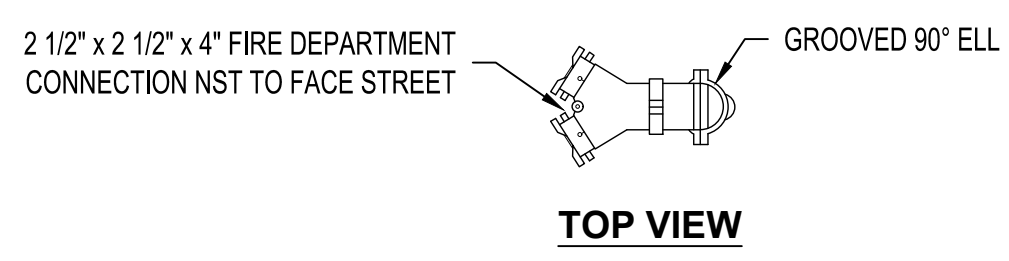
SECTION
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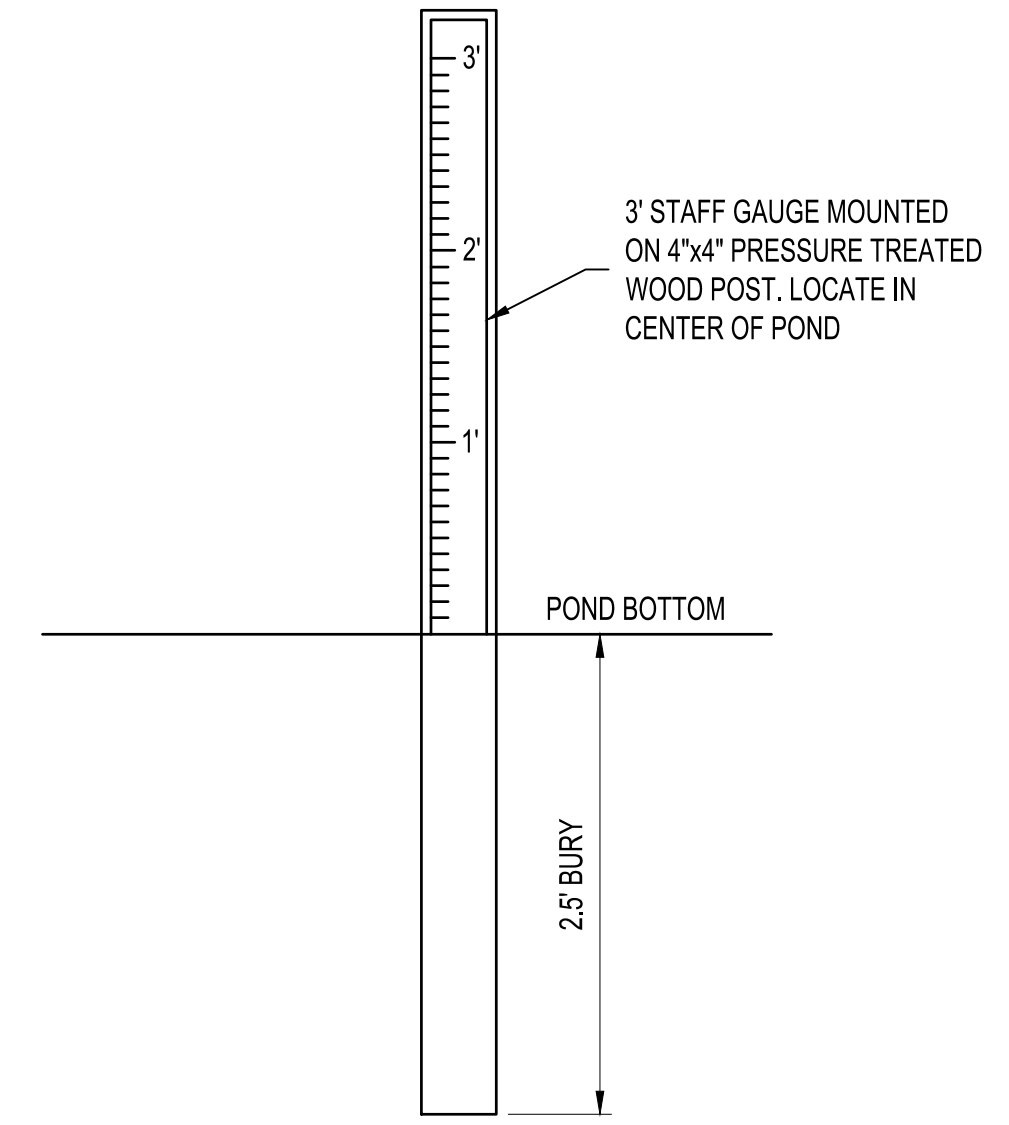
8 HEAVY DUTY CONCRETE PAVEMENT SECTION
NTS



9 REMOTE FIRE DEPARTMENT CONNECTION
NTS



- NOTES:**
1. PROVIDE BUILDING I.D. ON REMOTE FIRE DEPARTMENT CONNECTION.
 2. NO TREES, BUSHES OR WALLS WITHIN 5' RADIUS OF FIRE DEPARTMENT CONNECTION.
 3. 4' MIN TO BACK OF CURB, OR 2' MIN TO BACK OF SIDEWALK, OR WHEN NO CURB, 4' MAX OUTSIDE THE CLEAR ZONE.
 4. ALL JOINTS SHALL BE MECHANICALLY RESTRAINED.



10 SEDIMENT MEASUREMENT POST
NTS

SEAL
PROJECT

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

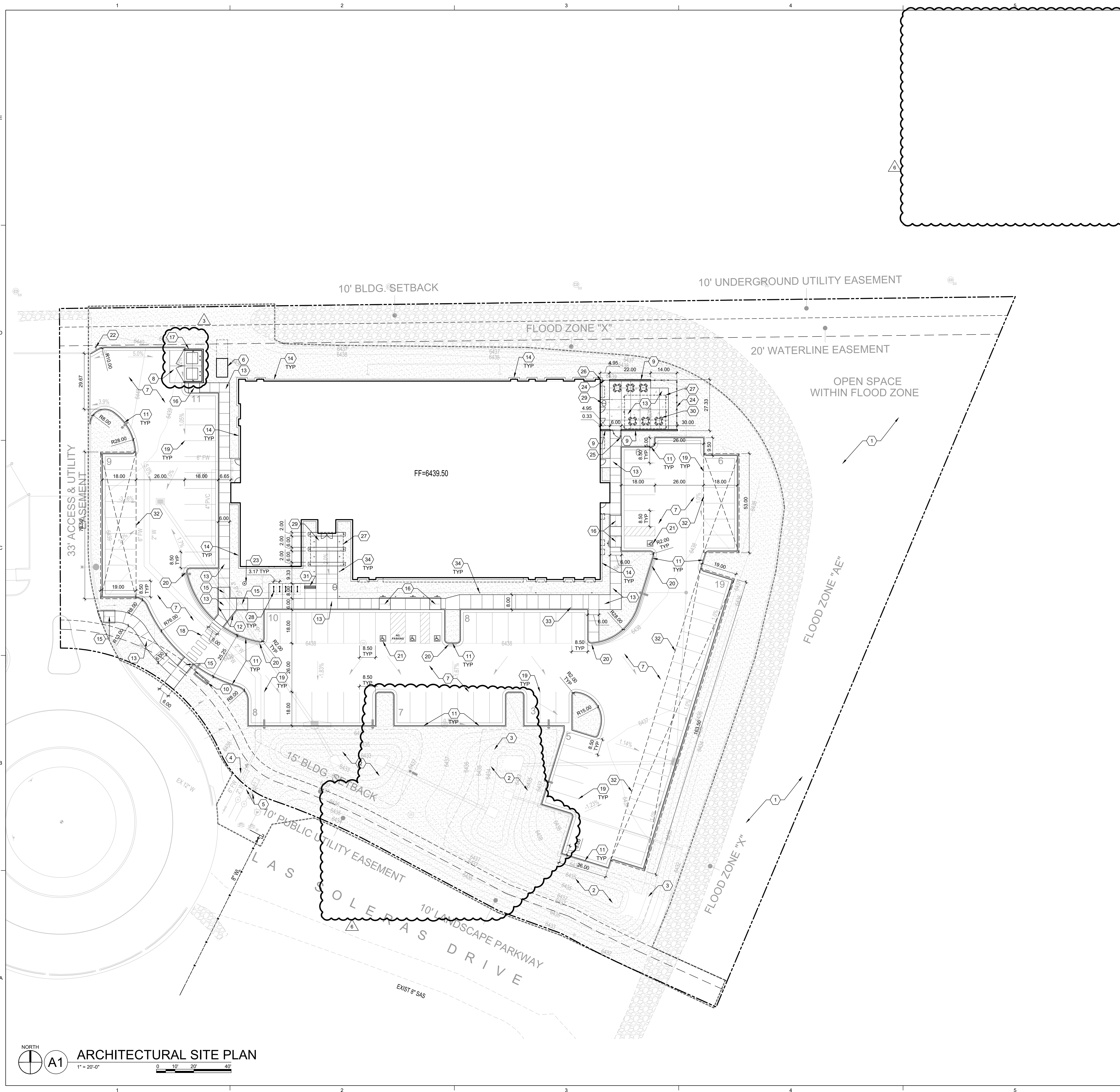
ISSUE FOR PERMIT

REVISIONS	DATE	BY
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DRAWN BY: BO
REVIEWED BY: GSB
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
CIVIL DETAILS

SHEET NO
C300



GENERAL SHEET NOTES

- A. VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- B. COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- C. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- D. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- E. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- F. RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- G. ALTERNATE 1 LINE WORK IS DIAGRAMMATIC AND PENDING DESIGN. COORDINATION WITH FUTURE LAYOUT OF LAS SOLERAS DRIVE. SEE SPECIFICATIONS.

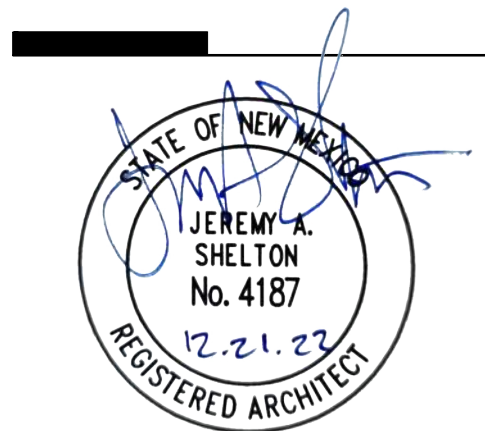
SHEET KEYNOTES

CODE	DESCRIPTION
1	AREA TO REMAIN UNDISTURBED
2	DRAINAGE BASIN, SEE CIVIL
3	CONCRETE RIBBON CHANNEL, SEE CIVIL
4	HOTBOX, SEE CIVIL
5	WATER METER, SEE CIVIL
6	TRANSFORMER, SEE ELECTRICAL
7	ASPHALT PAVEMENT, SEE CIVIL
8	HEAVY DUTY CONCRETE PAVEMENT, SEE CIVIL
9	CMU SCREEN WALL, SEE A4/AS502
10	MONUMENT SIGN, SEE B6/AS502
11	CONCRETE CURB AND GUTTER, SEE A3/AS501
12	CONCRETE HEADER CURB, SEE B2/AS501
13	CONCRETE SIDEWALK, SEE A2/AS501
14	CONCRETE BUILDING APRON, SEE A1/AS501
15	CONCRETE CURB RAMP TYPE A, SEE B4/AS501
16	CONCRETE CURB RAMP TYPE B, SEE B5/AS501
17	DUMPSTER ENCLOSURE, SEE A1/AS502
18	PAINTED CROSSWALK, SEE D4/AS501
19	4" PAVEMENT STRIPING, COLOR: WHITE
20	FIRELANE STRIPING, SEE D3/AS501
21	ACCESSIBLE PARKING, SEE C1/AS501
22	SITE SIGNAGE, STOP SIGN, SEE D1/AS501
23	FLAGPOLE, SEE D5/AS501
24	WIRE FENCE, SEE C5/AS502
25	WIRE FENCE GATE, SEE D5/AS502
26	FENCE AT BUILDING FACE, SEE C3/AS502
27	SHADE CANOPY, SEE ARCHITECTURAL
28	FORMS+SURFACES TWIST SURFACE MOUNT BIKE RACK, SEE SPECIFICATIONS
29	FORMS+SURFACES TONYO LITTER AND RECYCLING RECEPTACLE, SEE SPECIFICATIONS
30	FORMS+SURFACES 30" COLUMN TABLE AND AVIVO CHAIR WITH ARMS, SEE SPECIFICATIONS
31	FORMS+SURFACES APEX BACKLESS BENCH, SEE SPECIFICATIONS
32	PARKING CANOPY BY OTHERS
33	FUTURE DUAL EV CHARGER
34	LIGHT BOLLARD, SEE D6/AS501 AND ELECTRICAL

LEGEND

- EXISTING DRAINAGE SWALE TO REMAIN
- CONCRETE WITH SALT FINISH, SEE A2/AS501 AND SPECIFICATIONS
- LANDSCAPE AREA, SEE LANDSCAPE PLAN
- LIGHT POLE, SEE ELECTRICAL
- LIMIT OF WORK
- PROPERTY LINE
- 15' BUILDING SETBACK
- 10' PUBLIC UTILITY EASEMENT

**DEKKER
PERICH
SABATINI**



SEAL

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

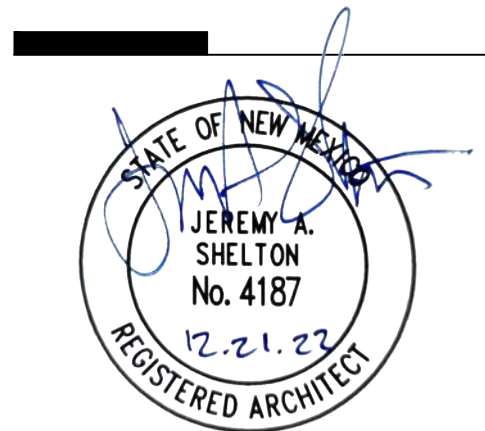
3/6/2024	ASI-002
8/16/2024	ASI-005

DRAWN BY: BG
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
**ARCHITECTURAL
SITE PLAN**

SHEET NO
AS101

ARCHITECTURAL SITE PLAN
1" = 20'-0"
0 10' 20' 40'



SEAL
PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

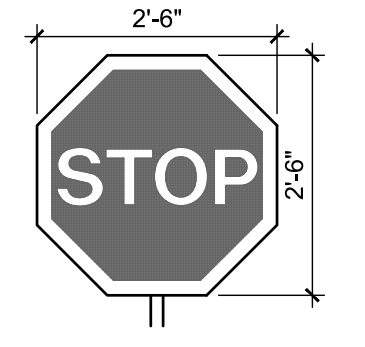
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DRAWN BY TC
REVIEWED BY DPS
DATE 12/21/2022
PROJECT NO 20-0371.001

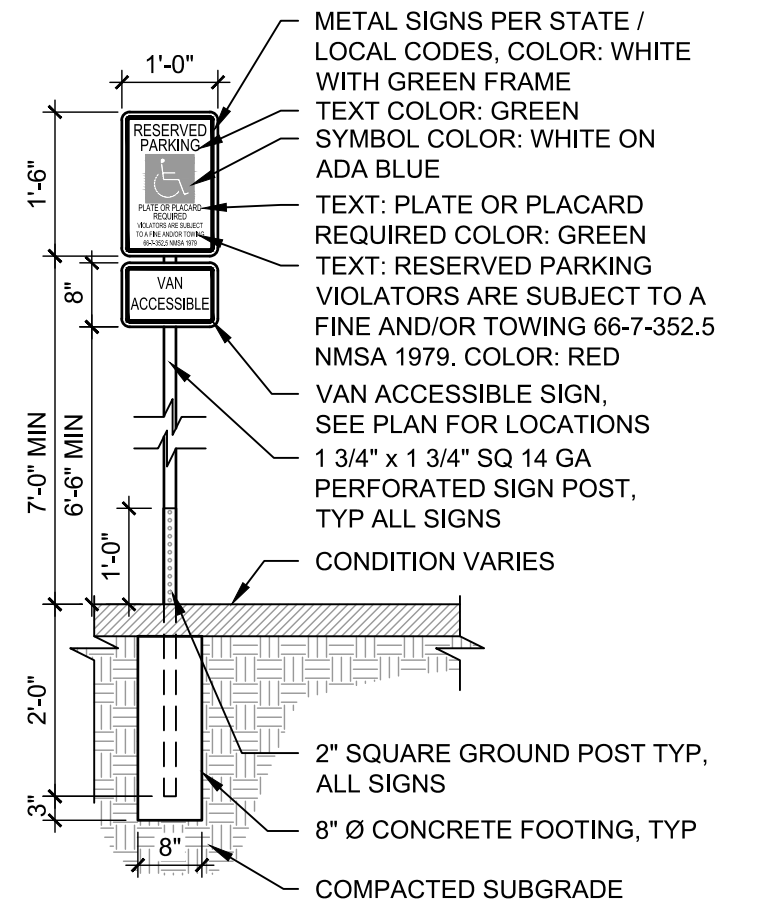
DRAWING NAME
SITE DETAILS

SHEET NO
AS501

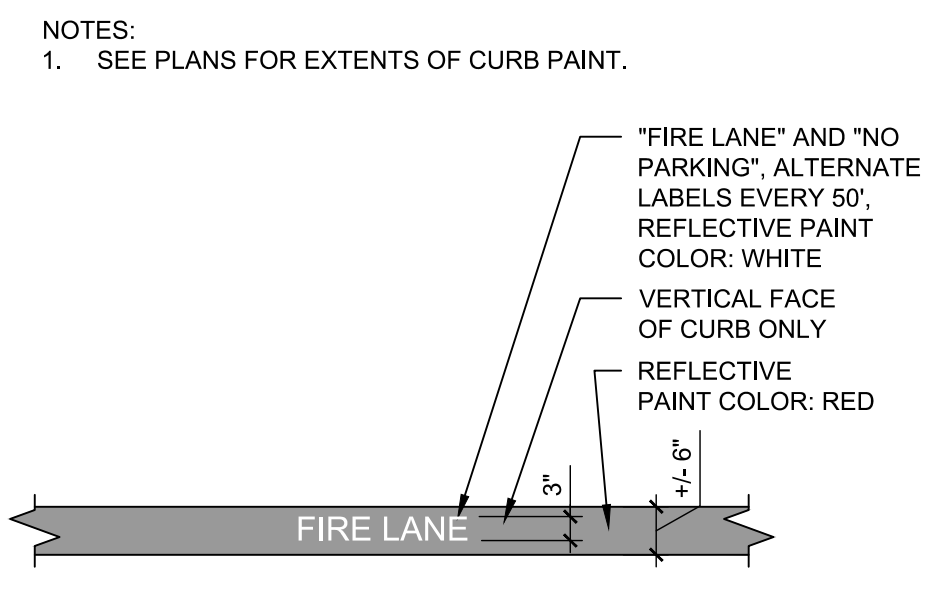
NOTES:
1. ALL SIGNS WILL HAVE THE SAME POLE AND FOOTING AS THE ACCESSIBLE PARKING SIGN SHOWN HERE.
2. HEIGHT TO BOTTOM OF SIGN PER ANSI 502.7 AND MUTCD IS 84" ABOVE FINISH GRADE.



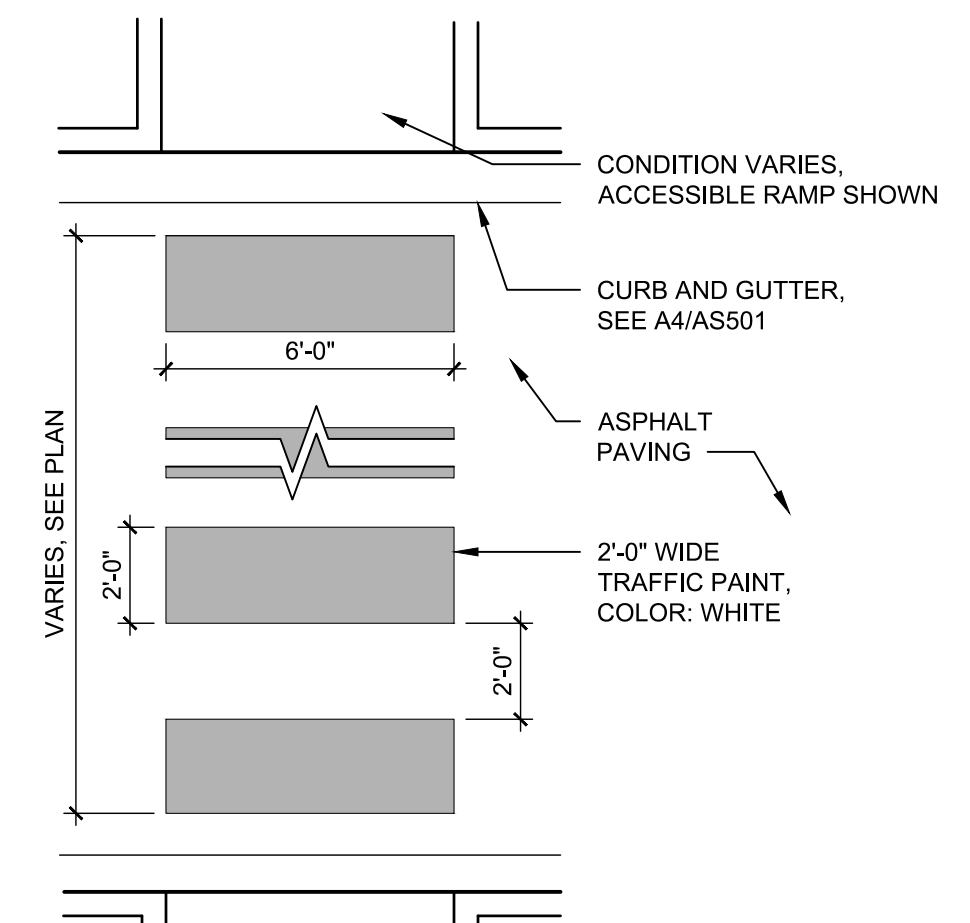
D1 SITE SIGNAGE
1/2" = 1'-0"



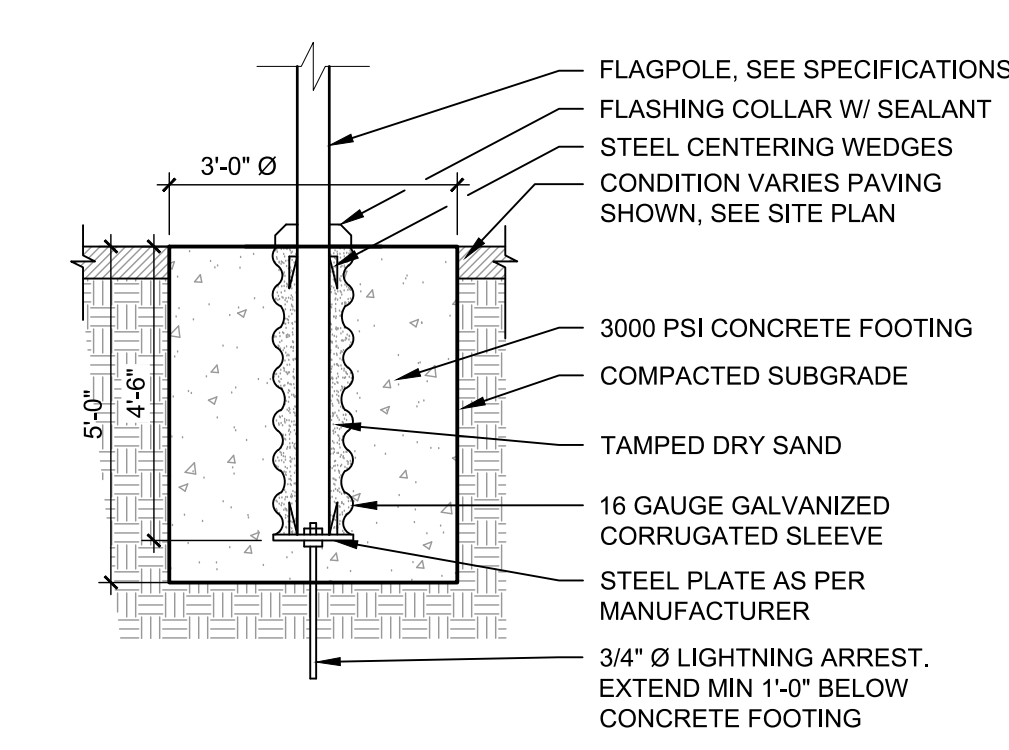
D3 FIRELANE STRIPING
1/2" = 1'-0"



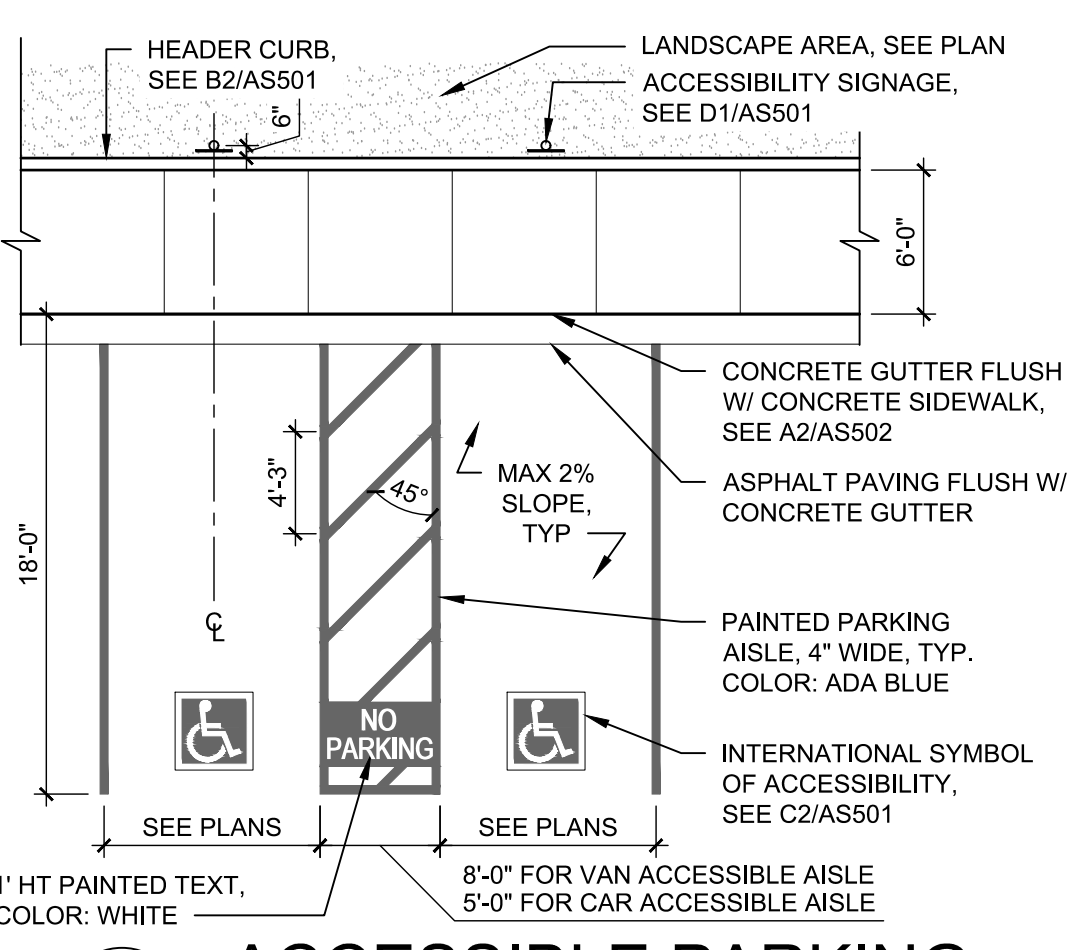
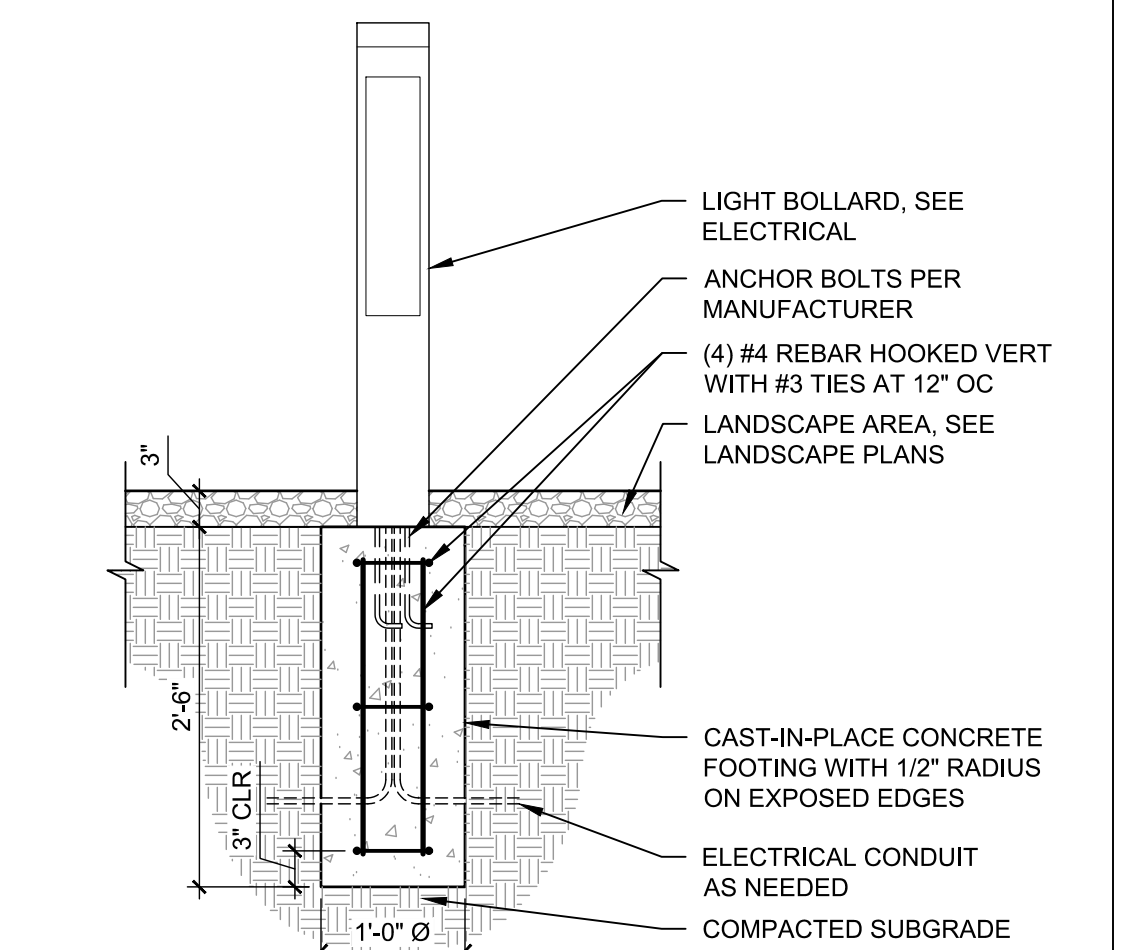
D4 PAINTED CROSSWALK
1/4" = 1'-0"



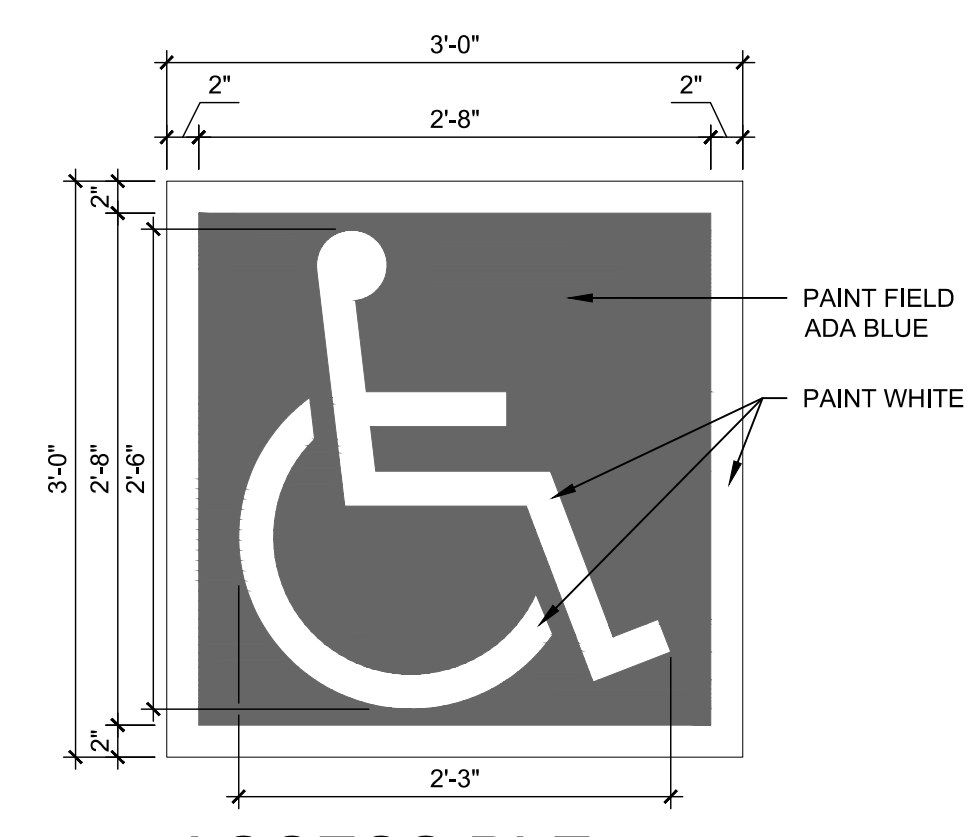
D5 FLAGPOLE BASE
1/2" = 1'-0"



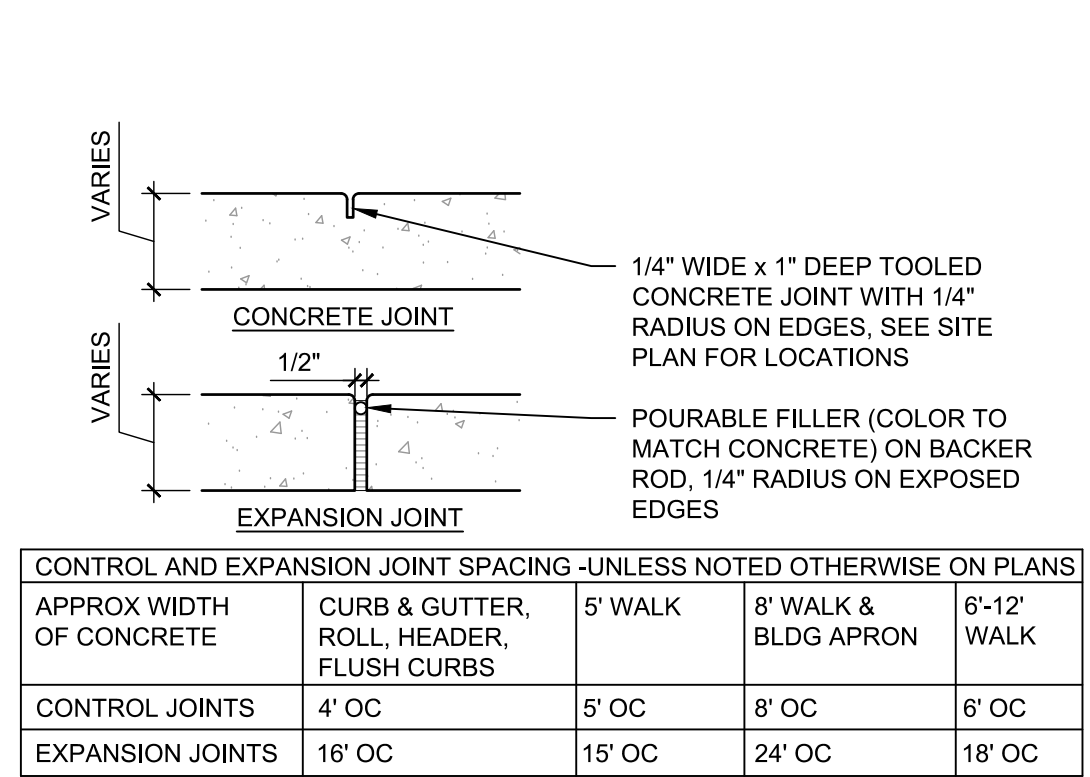
D6 LIGHT BOLLARD FOOTING
3/4" = 1'-0"



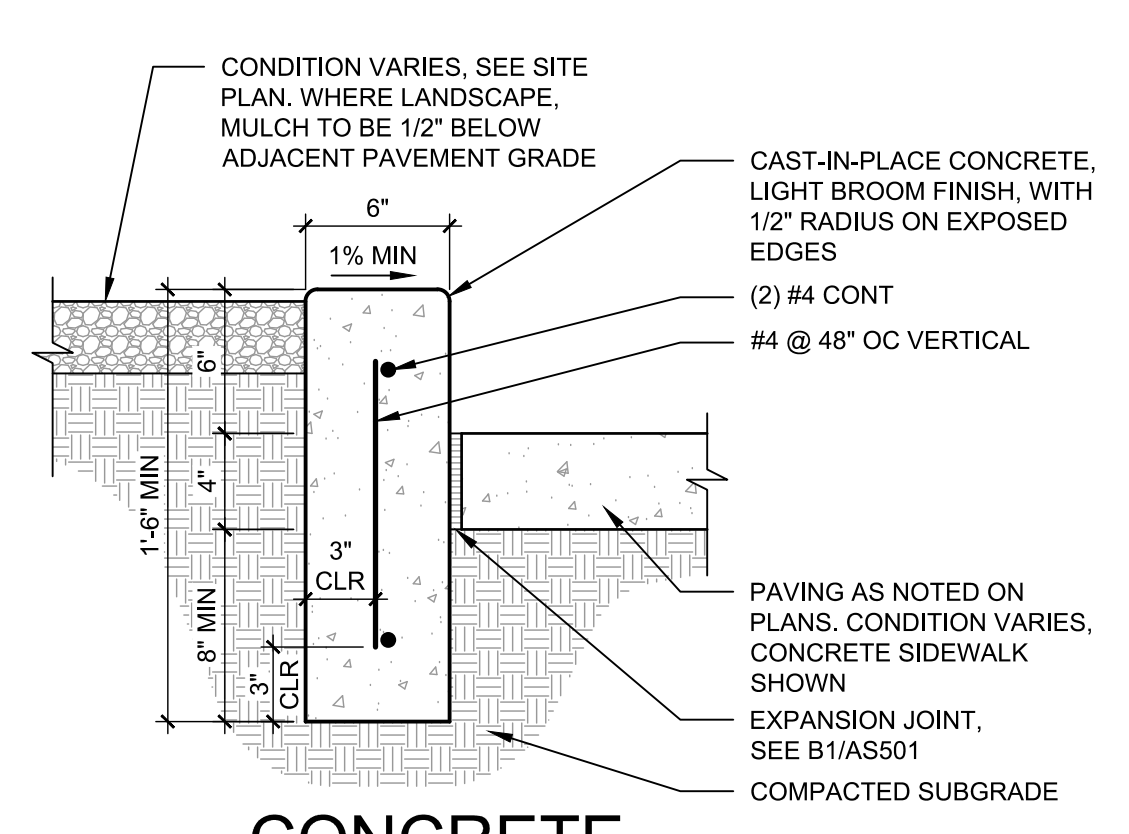
C1 ACCESSIBLE PARKING
1/8" = 1'-0"



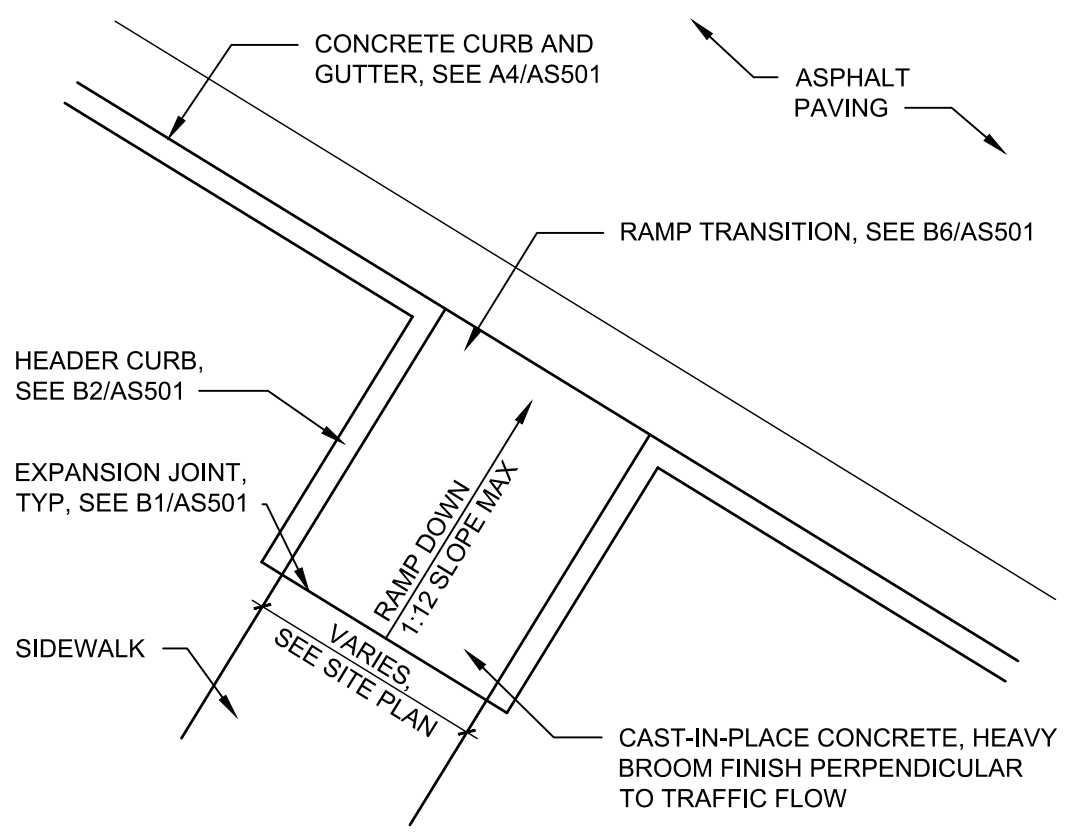
C2 ACCESSIBLE PAVEMENT MARKING
1" = 1'-0"



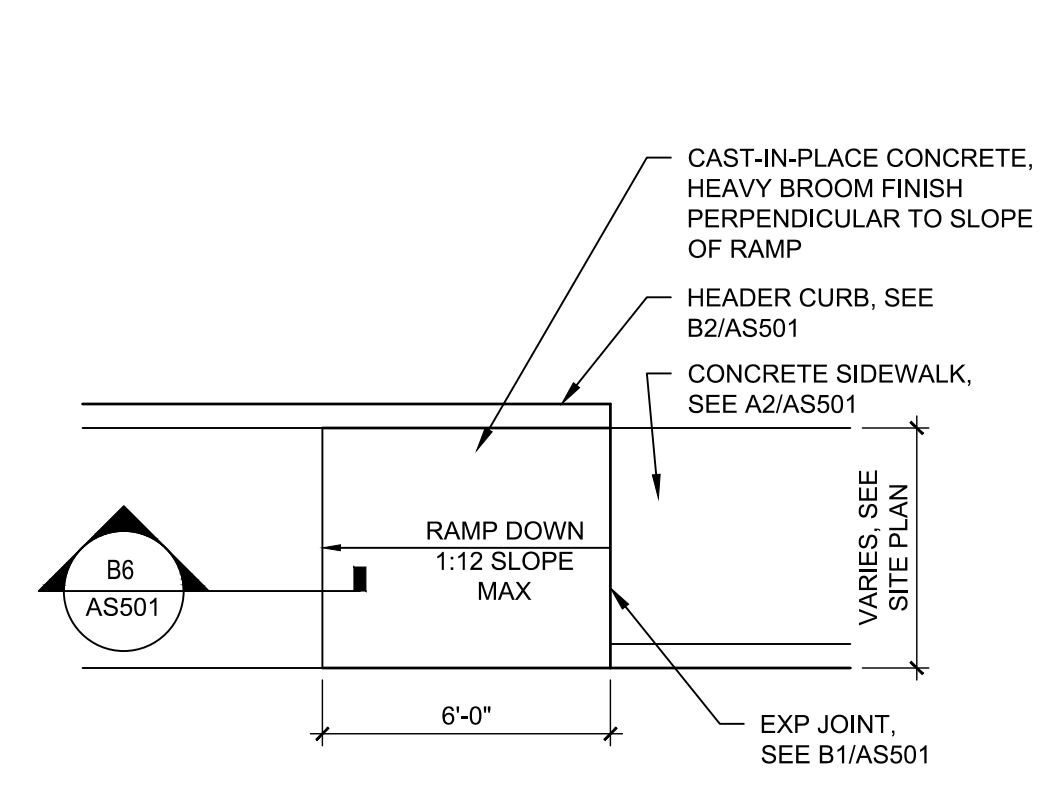
B1 CONCRETE JOINTS & JOINT SPACING
1 1/2" = 1'-0"



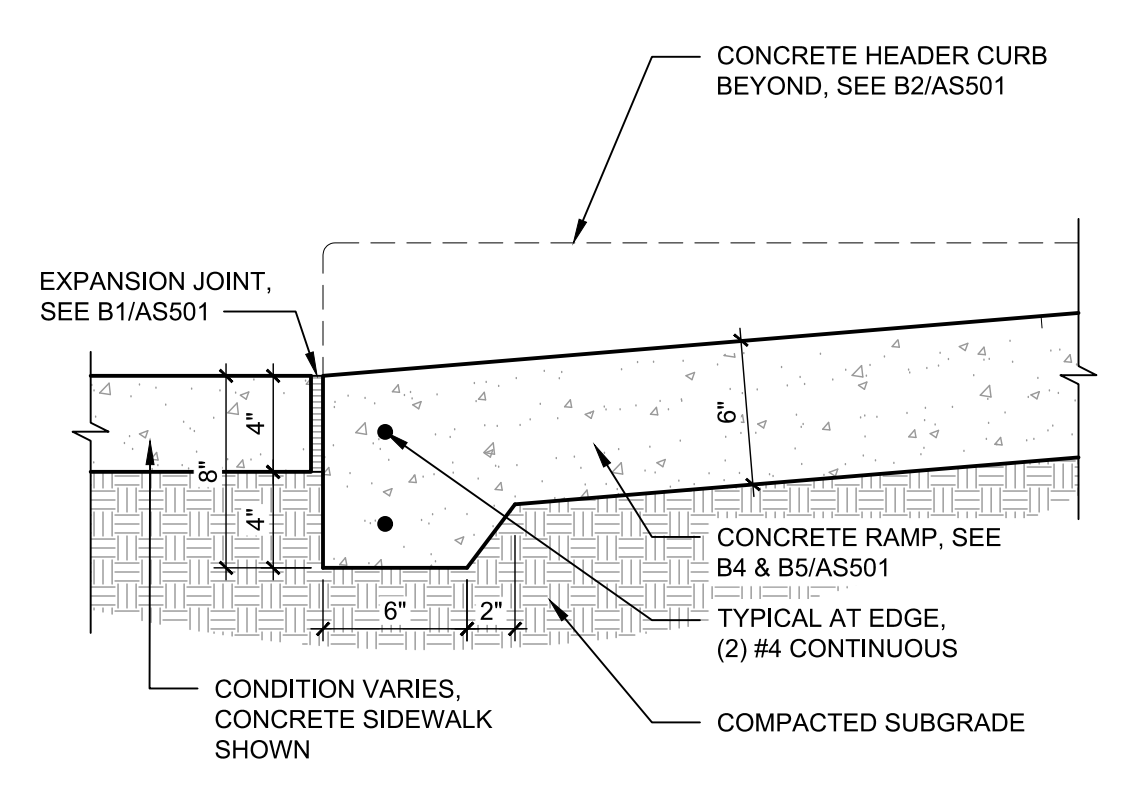
B2 CONCRETE HEADER CURB
1 1/2" = 1'-0"



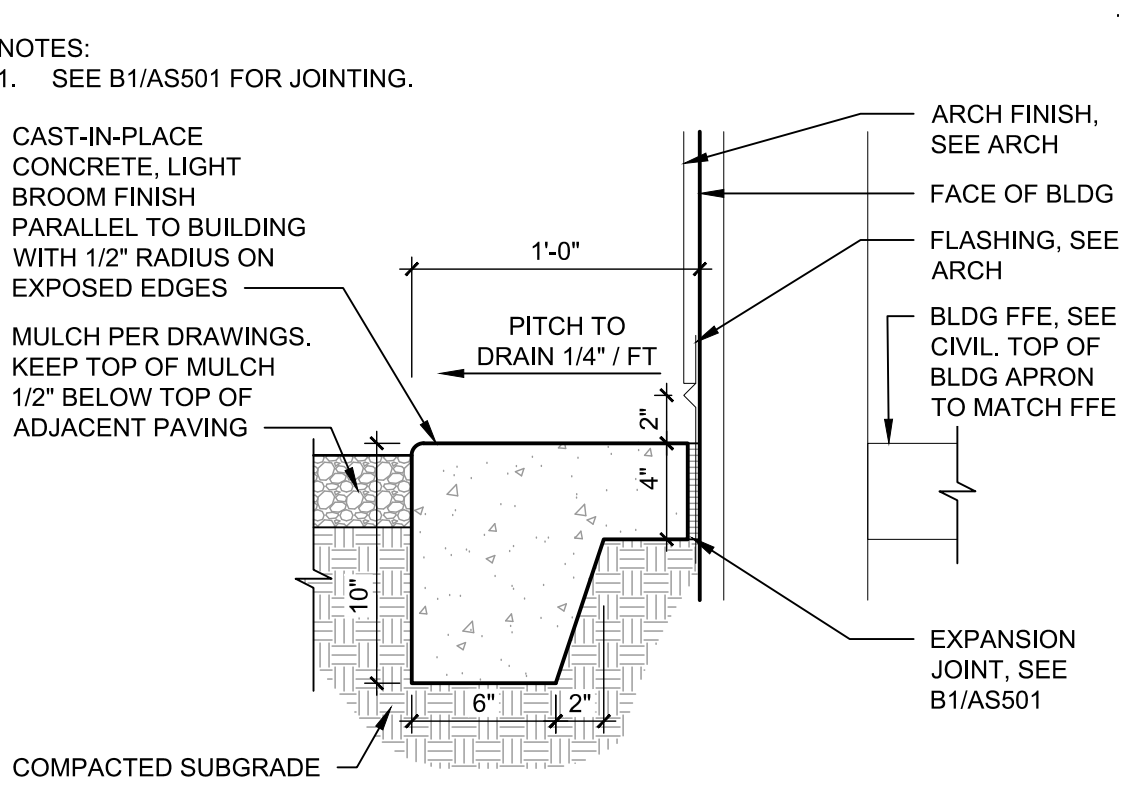
B4 CONCRETE CURB RAMP - TYPE A
1/4" = 1'-0"



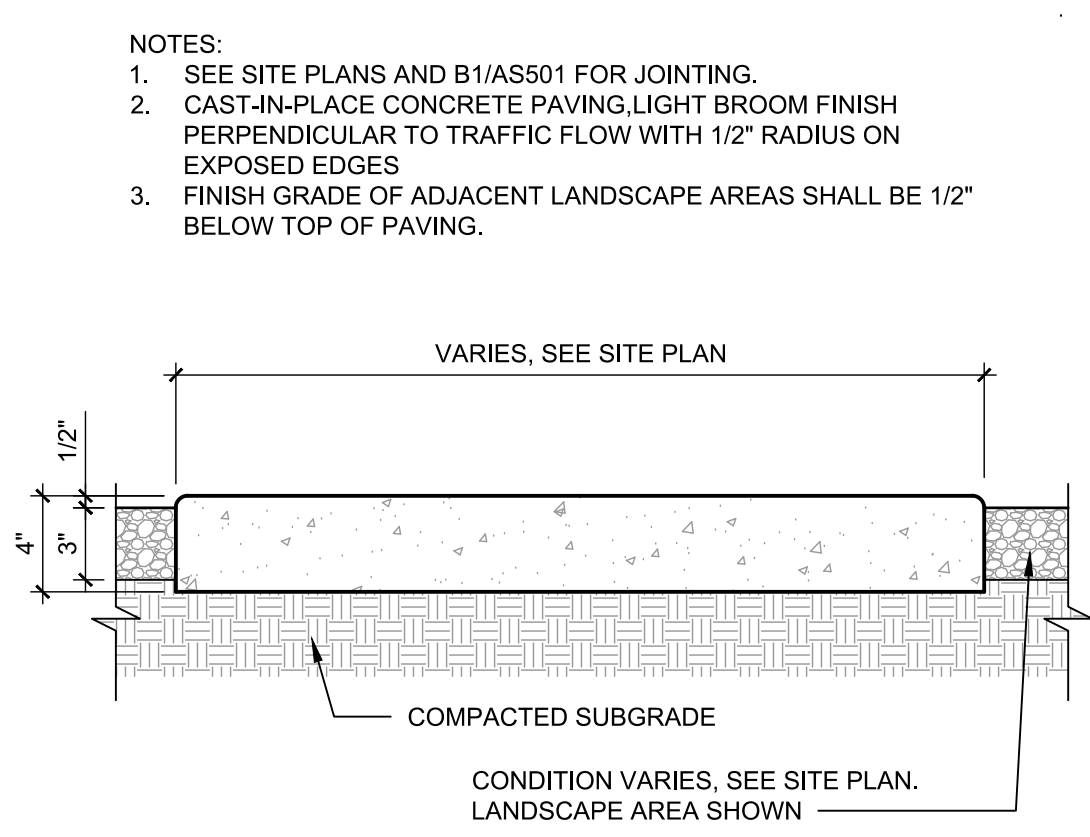
B5 CONCRETE CURB RAMP - TYPE B
1/4" = 1'-0"



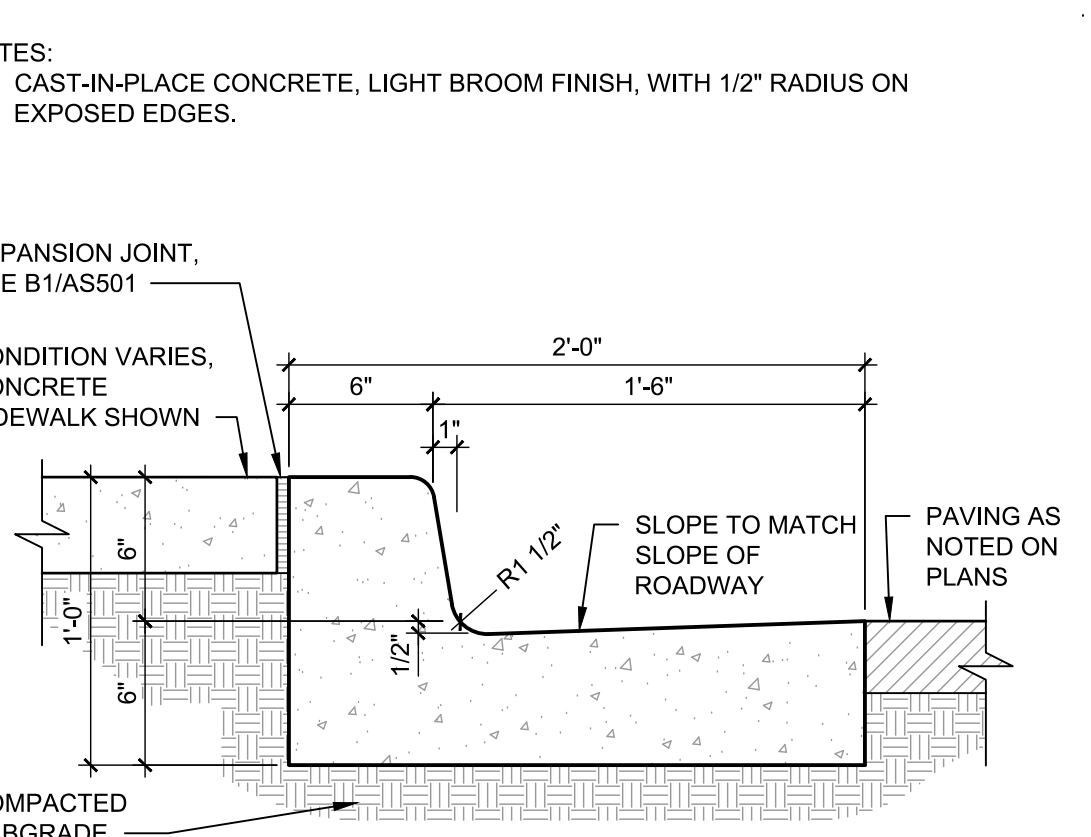
B6 RAMP TRANSITION
1 1/2" = 1'-0"



A1 CONCRETE BUILDING APRON
1 1/2" = 1'-0"

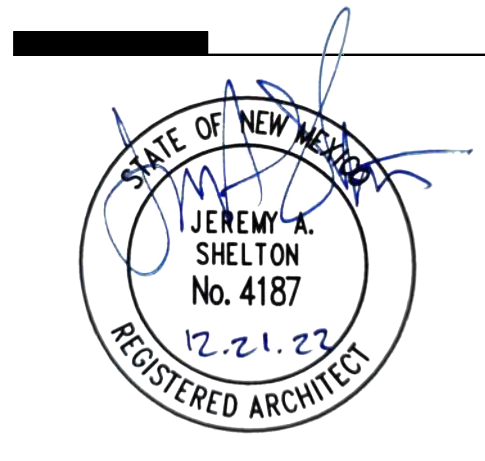


A2 CONCRETE SIDEWALK
1 1/2" = 1'-0"



A3 CONCRETE CURB & GUTTER
1 1/2" = 1'-0"

NOTES:
1. SEE PLANS FOR EXTENTS OF CURB PAVING.



SEAL
PROJECT

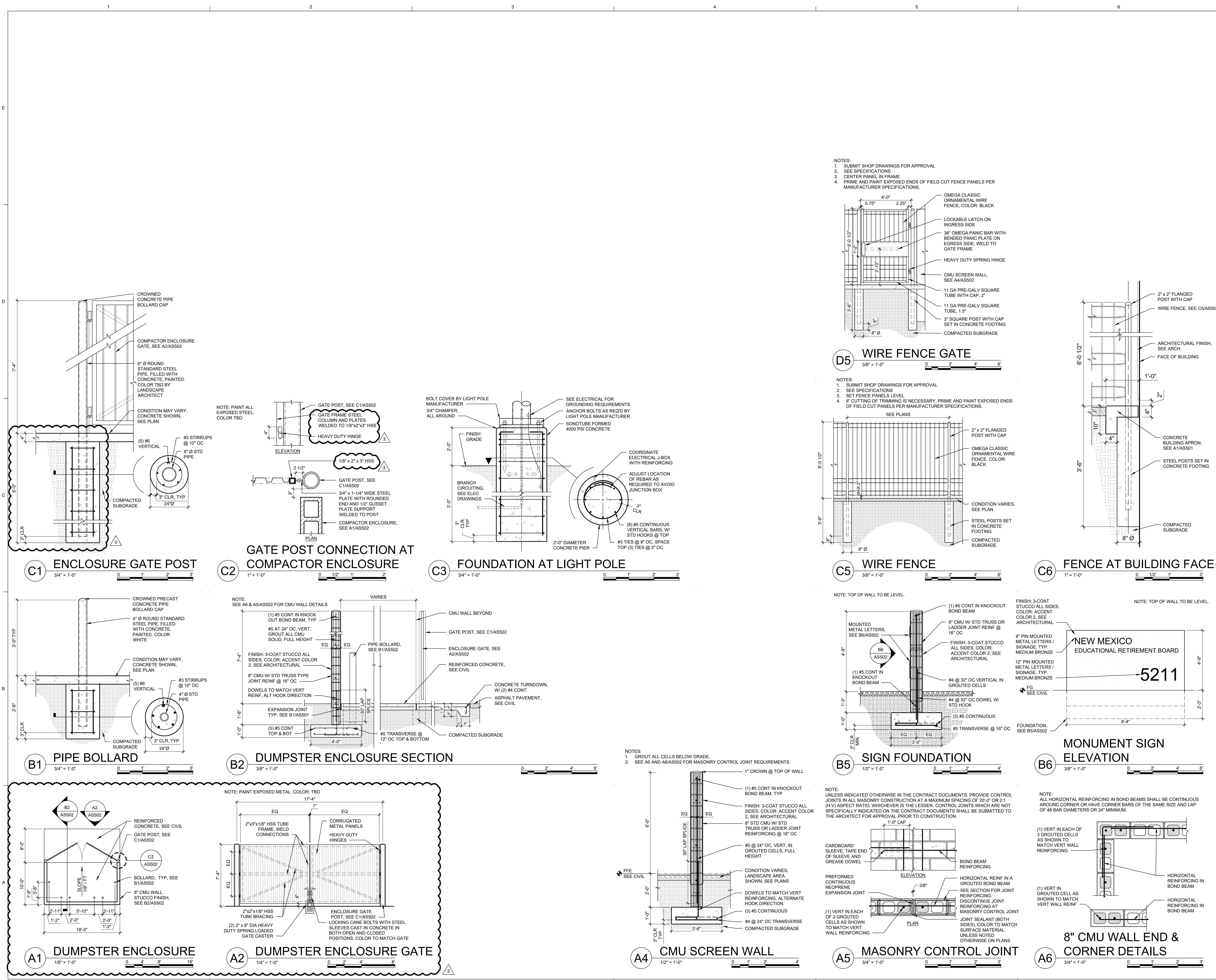
NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

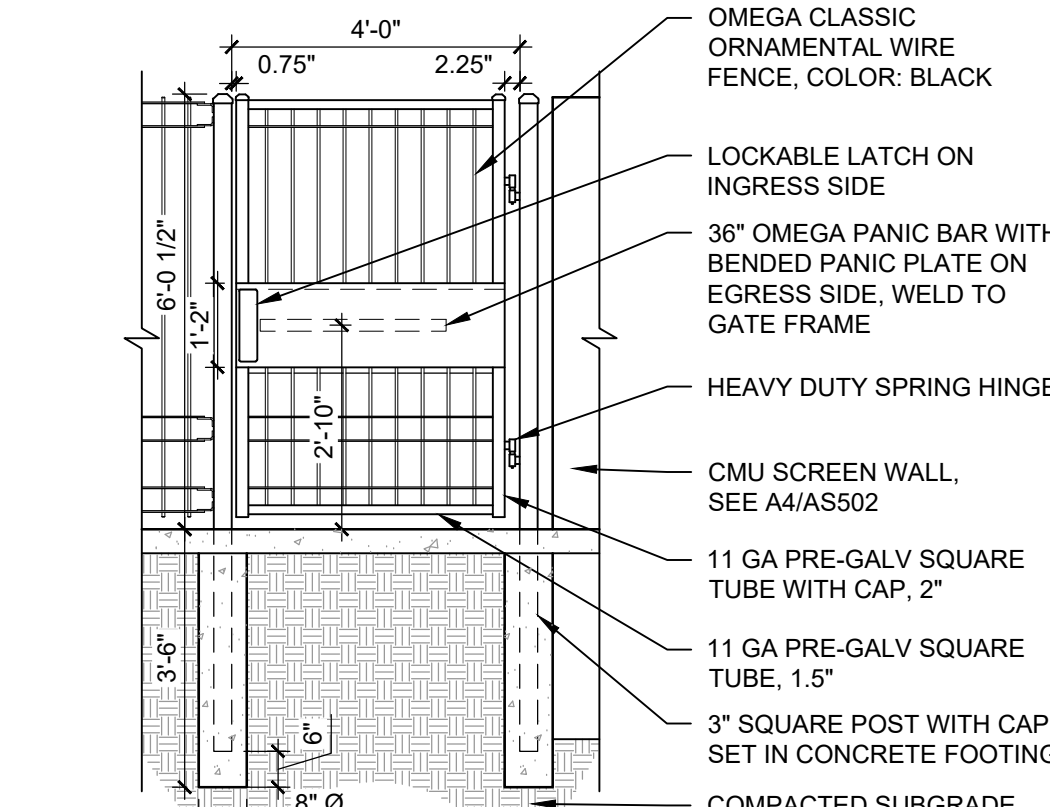
REVISIONS	DATE	BY
1	3/6/2024	ASB-002
2		
3		
4		
5		

DRAWN BY TC, BG
REVIEWED BY DPS
DATE 12/21/2022
PROJECT NO 20-0371-001

DRAWING NAME
SITE DETAILS
SHEET NO
AS502

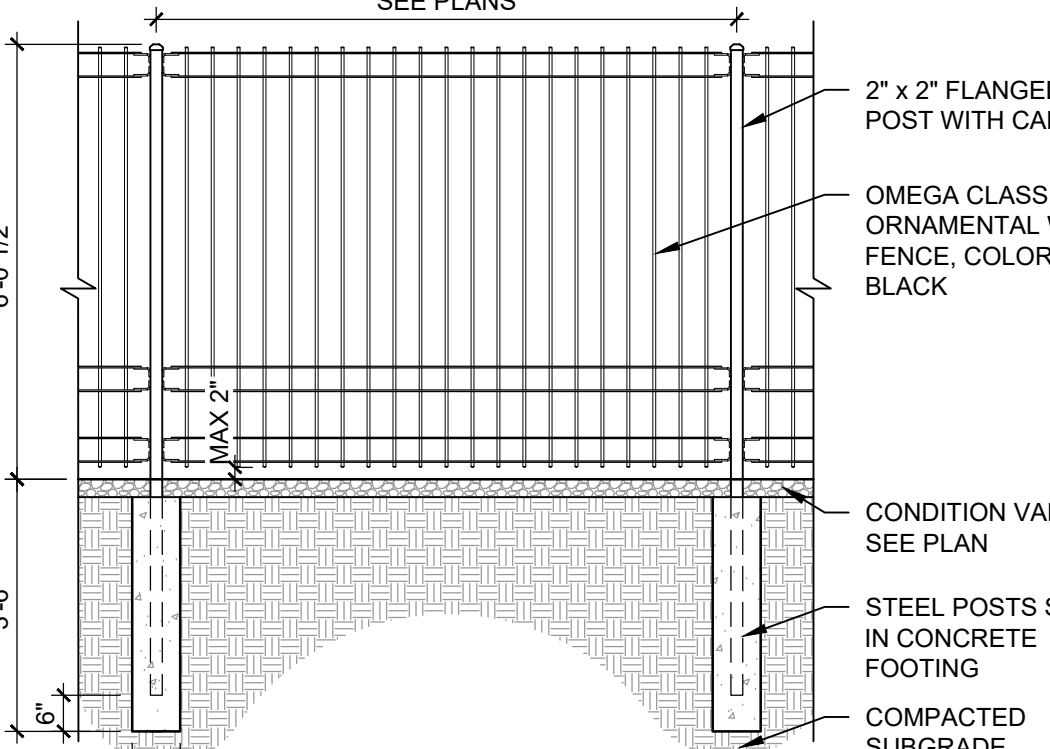


- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. CENTER PANEL IN FRAME
4. PRIME AND PAINT EXPOSED ENDS OF FIELD CUT FENCE PANELS PER MANUFACTURER SPECIFICATIONS.

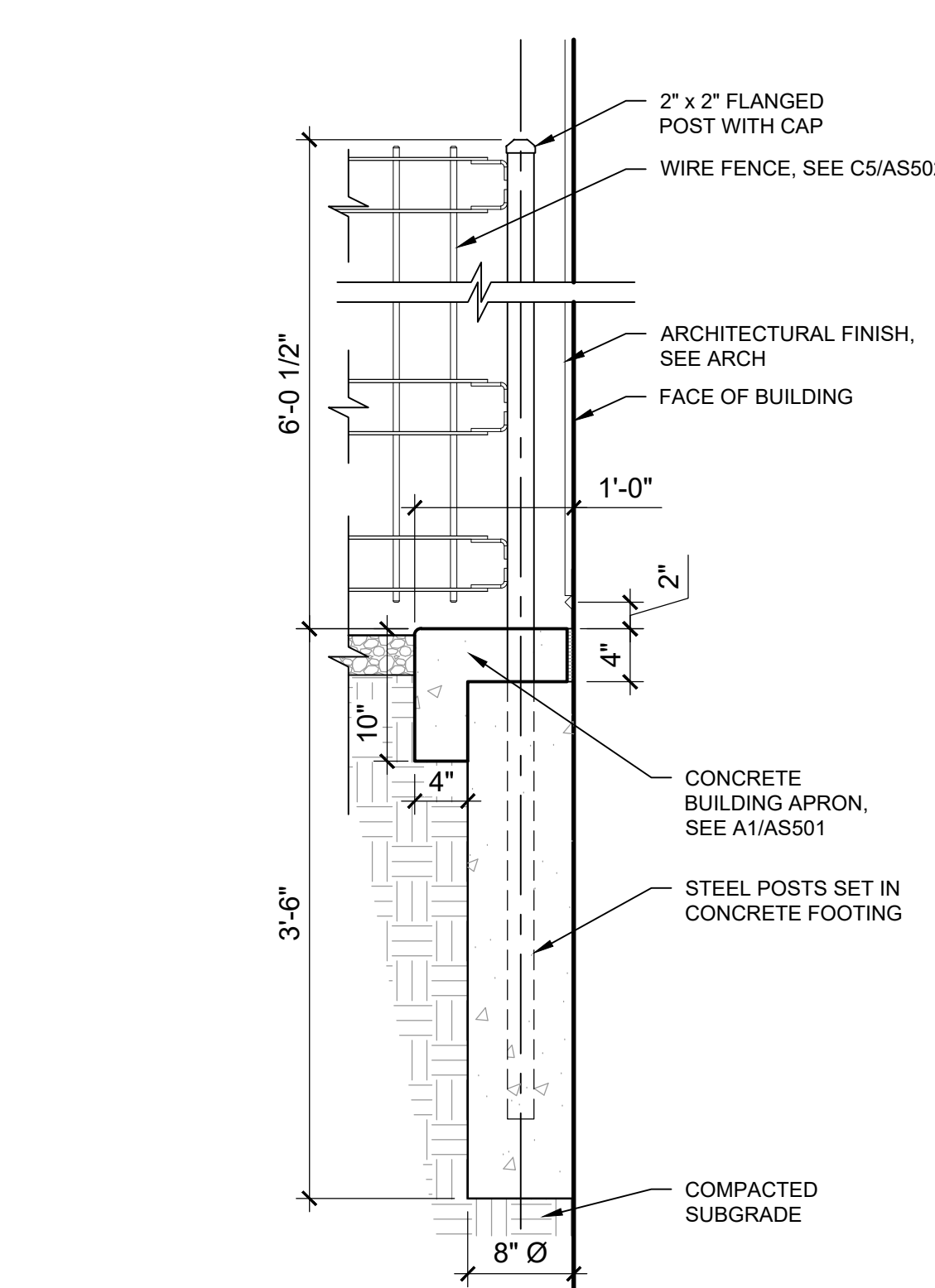


D5 WIRE FENCE GATE
3/8" = 1'-0"

- NOTES:
1. SUBMIT SHOP DRAWINGS FOR APPROVAL
2. SEE SPECIFICATIONS
3. SET FENCE PANELS LEVEL
4. IF CUTTING OF TRIMMING IS NECESSARY, PRIME AND PAINT EXPOSED ENDS OF FIELD CUT PANELS PER MANUFACTURER SPECIFICATIONS.

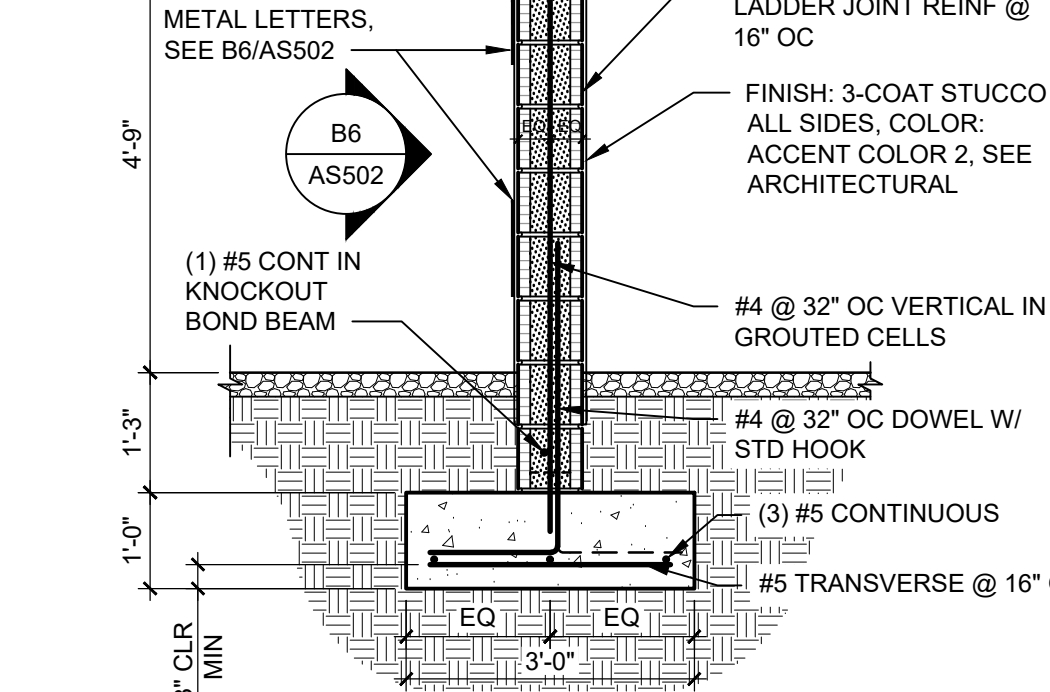


C5 WIRE FENCE
3/8" = 1'-0"



C6 FENCE AT BUILDING FACE
1" = 1'-0"

- NOTE: TOP OF WALL TO BE LEVEL.



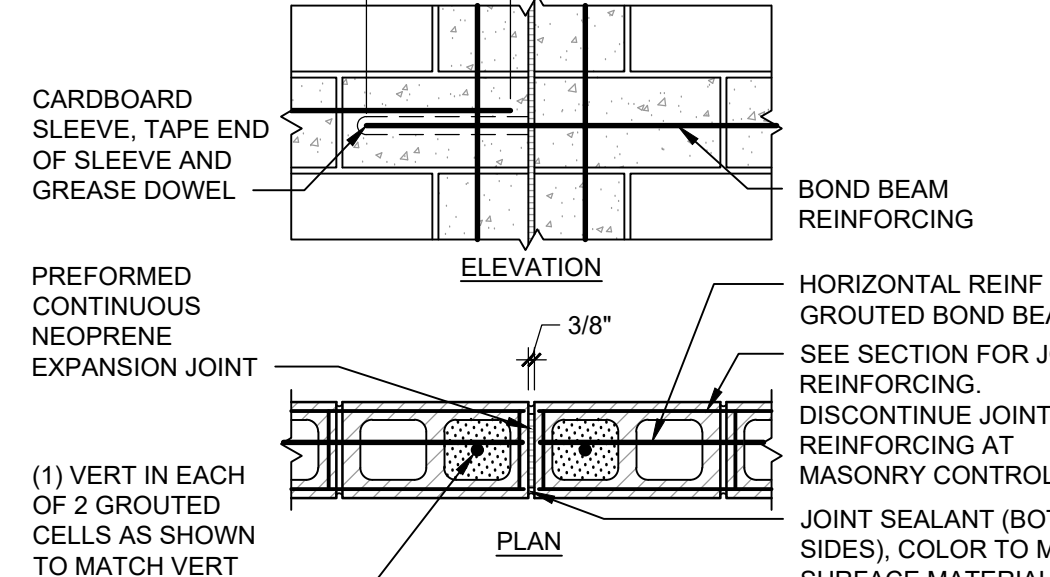
B5 SIGN FOUNDATION
1/2" = 1'-0"

- NOTE: TOP OF WALL TO BE LEVEL.



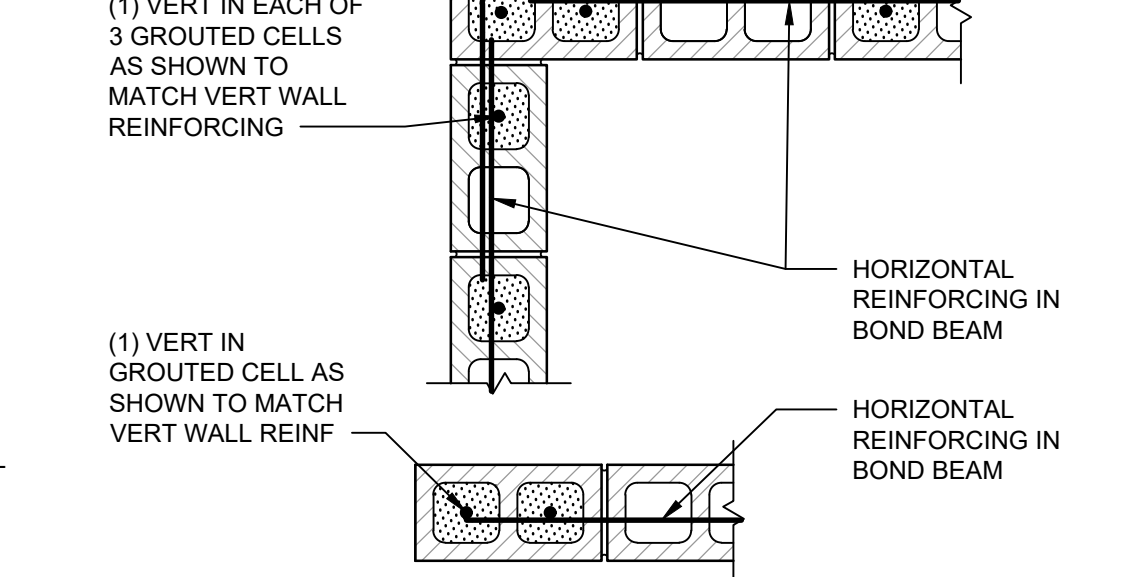
B6 MONUMENT SIGN ELEVATION
3/8" = 1'-0"

- NOTE: UNLESS INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS, PROVIDE CONTROL JOINTS IN ALL MASONRY CONSTRUCTION AT A MAXIMUM SPACING OF 20' OR 2:1 (H:V) ASPECT RATIO, WHICHEVER IS THE LESSER. CONTROL JOINTS WHICH ARE NOT SPECIFICALLY INDICATED ON THE CONTRACT DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

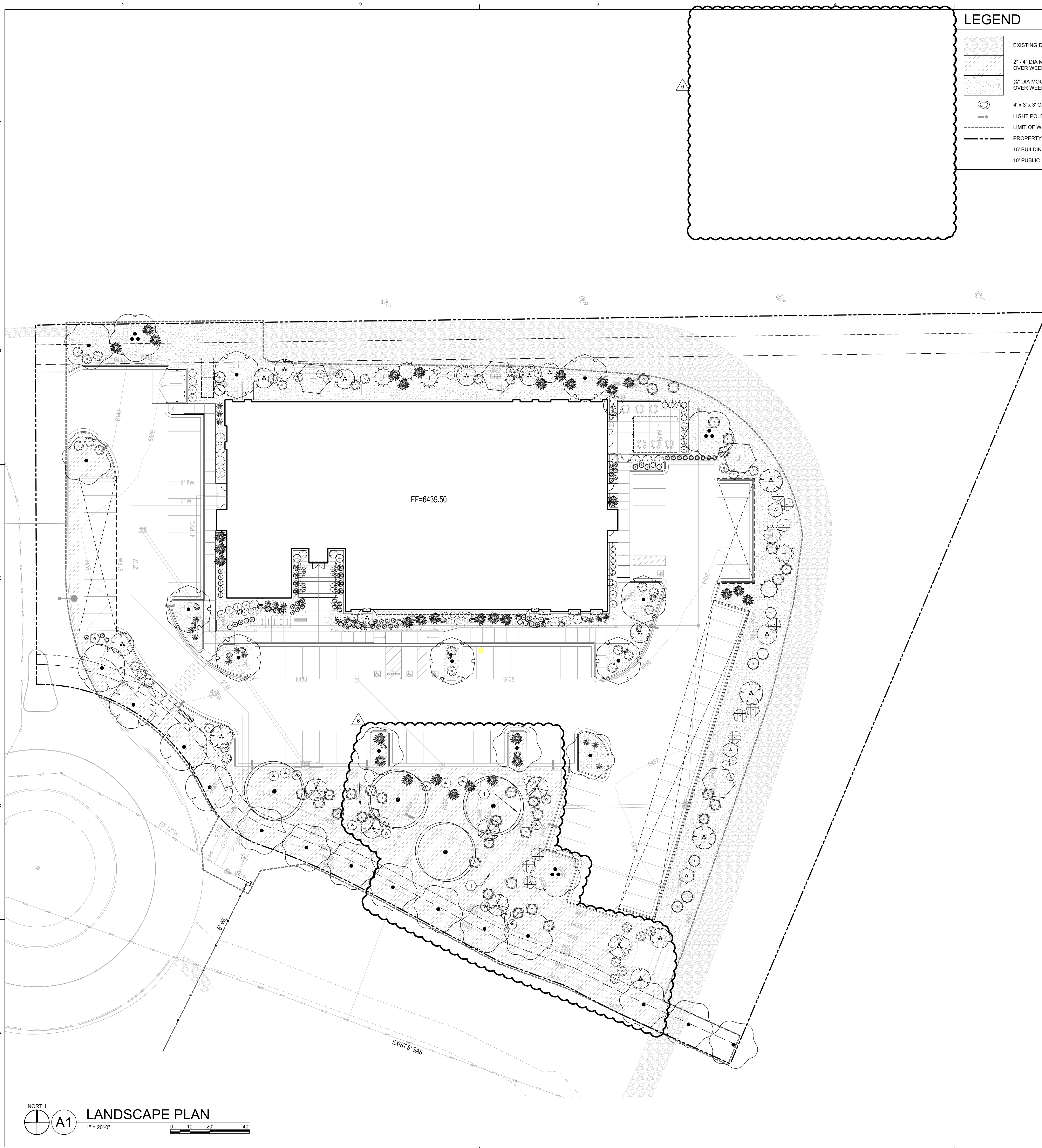


A5 MASONRY CONTROL JOINT
3/4" = 1'-0"

- NOTE: ALL HORIZONTAL REINFORCING IN BOND BEAMS SHALL BE CONTINUOUS AROUND CORNER OR HAVE CORNER BARS OF THE SAME SIZE AND LAP OF 48 BAR DIAMETERS OR 24" MINIMUM.



A6 8" CMU WALL END & CORNER DETAILS
3/4" = 1'-0"



LEGEND

	EXISTING DRAINAGE SWALE TO REMAIN
	2" - 4" DIA MOUNTAINAIR BROWN AGGREGATE, 4" DEPTH OVER WEED FABRIC
	3/4" DIA MOUNTAINAIR BROWN GRAVEL, 3" DEPTH OVER WEED FABRIC
	4' x 3' x 3' OAKWOOD BOULDER, SEE C2/LP501
	LIGHT POLE, SEE ELECTRICAL
	LIMIT OF WORK
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF THE WORK.
- THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DEEMED UNACCEPTABLE.
- PLANT MATERIAL MUST BE NURSERY GROWN, AND PLANTS SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES. PLANT QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- SOIL TESTING AND SOIL AMENDMENTS ARE REQUIRED FOR PLANTING AREAS. SEE SPECIFICATIONS.
- NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH AMENDMENTS AND/OR COMPOST. SEE SPECIFICATIONS.
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL BE 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PROJECT NOT REQUIRED NOR DESIGNED TO COMPLY WITH CITY OF SANTA FE LANDSCAPE REQUIREMENTS.

SHEET KEYNOTES

- NO WEED FABRIC UNDER AGGREGATE ON LEVEL BOTTOM OF BASIN

PLANT LEGEND

TREES	BOTANICAL NAME	COMMON NAME
	BETULA FONTINALIS	WESTERN RIVER BIRCH
	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD
	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY
	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER
	PINUS EDULIS	PINON PINE
	PINUS HELDREICHII	BOSNIAN PINE
	PISTACIA CHINENSIS	CHINESE PISTACHE
	POPULUS DELTOIDES VAR. WISLIZENI	RIO GRANDE COTTONWOOD
	QUERCUS BUCKLEYI	TEXAS RED OAK
	ULMUS X 'MORTON GLOSSY' TM	TRIUMPH ELM
SHRUBS	BOTANICAL NAME	COMMON NAME
	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY
	BUXUS MICROPHYLLA V. JAP. 'WINTER GEM'	WINTER GEM BOXWOOD
	CERCOCARPUS INTRICATUS	LITTLELEAF MOUNTAIN MAHOGANY
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	AGUIRRE TURPENTINE BUSH
	FALLUGIA PARADOXA	APACHE PLUME
	KRASCHENNIKOVIA LANATA	WINTERFAT
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER
	MAHONIA REPENS	CREEPING MAHONIA
	PRUNUS BESSEYI 'P011S'	PAWNEE BUTTES® SAND CHERRY
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
	RHUS TRILOBATA	THREELEAF SUMAC
DESERT ACCENTS	BOTANICAL NAME	COMMON NAME
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	NOLINA MICROCARPA	BEARGRASS
GRASSES	BOTANICAL NAME	COMMON NAME
	BOULETELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA
	MUHLENBERGIA LINDHEIMERI 'LEN'	AUTUMN GLOW™ LINDHEIMER'S MUHLY
	SPOROBOLUS WRIGHTII	GIANT SACATON
PERENNIALS	BOTANICAL NAME	COMMON NAME
	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT
	SALVIA PACHYPHYLLA	MOJAVE SAGE

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SABATINI**



SEAL
PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

	08/16/2024	ASH-005

DRAWN BY: BG
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001
DRAWING NAME: LANDSCAPE PLAN
SHEET NO: LP101

NORTH
A1 LANDSCAPE PLAN
1" = 20'-0"
0 10' 20' 40'

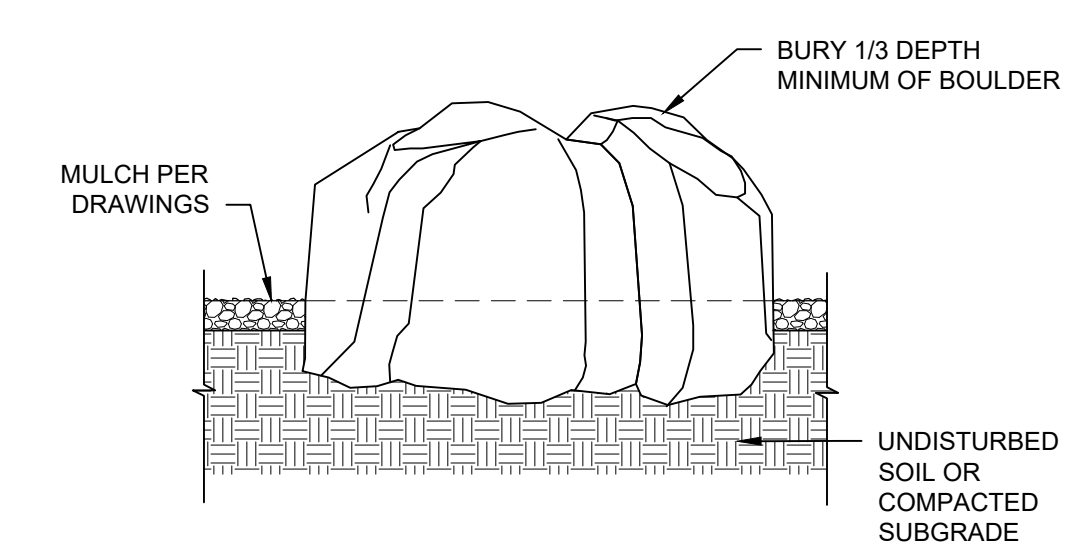
E
D
C
B
A

Per RFI 035, #10 Western River Birch is acceptable in lieu of @25s due to availability

PLANT SCHEDULE

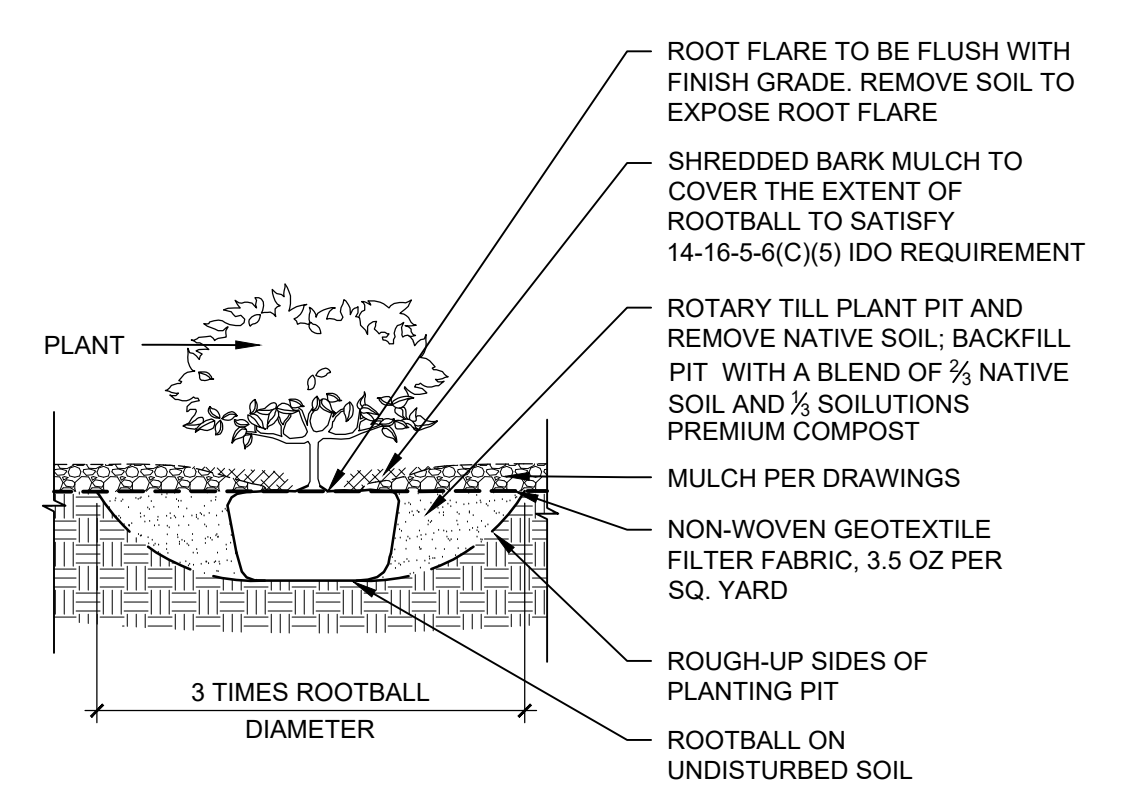
TREES	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
SEE A1 AND A2/LP501	BETULA FONTINALIS	WESTERN RIVER BIRCH	24" BOX, MULTI-TRUNK	20.00	15.00	MED	6
	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	24" BOX, MULTI-TRUNK	15.00	15.00	MED	5
	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY	15 GAL B&B	15.00	10.00	LOW	3
	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	24" BOX, MULTI-TRUNK	30.00	30.00	LOW	3
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET	24" BOX, MULTI-TRUNK	15.00	12.00	MED	13
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	6' HT, B&B	15.00	8.00	LOW	8
	PINUS EDULIS	PINON PINE	6' HT, B&B	25.00	20.00	LOW	4
	PINUS HELDREICHII	BOSNIAN PINE	6' HT, B&B	20.00	12.00	MED	6
	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL, B&B	30.00	30.00	LOW	4
	POPULUS DELTOIDES VAR. WISLIZENI	RIO GRANDE COTTONWOOD	2" CAL, B&B	40.00	40.00	MED	4
	QUERCUS BUCKLEYI	TEXAS RED OAK	3" CAL B&B	40.00	30.00	MED	7
	ULMUS X 'MORTON GLOSSY' TM	TRIUMPH ELM	2" CAL, B&B	40.00	30.00	MED	15
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
SEE B1 AND B3/LP501	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY	15 GAL	12.00	8.00	LOW	1
	BUXUS MICROPHYLLA V. JAP. 'WINTER GEM'	WINTER GEM BOXWOOD	5 GAL	3.00	4.00	MED	8
	CERCOCARPUS INTRICATUS	LITTLELEAF MOUNTAIN MAHOGONY	5 GAL	6.00	4.00	LOW	4
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	6.00	6.00	LOW	3
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	AGUIRRE TURPENTINE BUSH	5 GAL	3.00	3.00	LOW	10
	FALLUGIA PARADOXA	APACHE PLUME	5 GAL	6.00	6.00	LOW	7
	KRASCHENINNIKOVIA LANATA	WINTERFAT	5 GAL	3.00	3.00	LOW	10
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	5 GAL	2.00	3.50	LOW	6
	MAHONIA REPENS	CREEPING MAHONIA	5 GAL	2.00	4.00	LOW	4
	PRUNUS BESSEYI 'P0115'	PAWNEE BUTTES® SAND CHERRY	5 GAL	2.00	6.00	MED	16
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	5 GAL	2.00	6.00	LOW	37
	RHUS TRILOBATA	THREELEAF SUMAC	5 GAL	5.00	8.00	LOW	10
DESERT ACCENTS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
SEE B2/LP501	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	4.00	4.00	LOW	21
	NOLINA MICROCARPA	BEARGRASS	5 GAL	5.00	8.00	LOW	34
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
SEE B1 AND B3/LP501	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	1 GAL	3.00	3.00	LOW	37
	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA	5 GAL	2.00	2.00	LOW	24
	MUHLBERGIA LINDHEIMERI 'LENI'	AUTUMN GLOW™ LINDHEIMER'S MUHLY	5 GAL	5.00	5.00	LOW	24
	SPOROBOLUS WRIGHTII	GIANT SACATON	5 GAL	6.00	8.00	LOW	33
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE/COND.	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
SEE B1/LP501	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT	1 GAL	1.50	1.50	LOW	24
	SALVIA PACHYPHYLLA	MOJAVE SAGE	1 GAL	2.00	3.00	LOW	18

NOTES:
1. BOULDER SELECTION AND PLACEMENT SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
2. FOR BOULDER SIZES, SEE HATCH LEGEND.



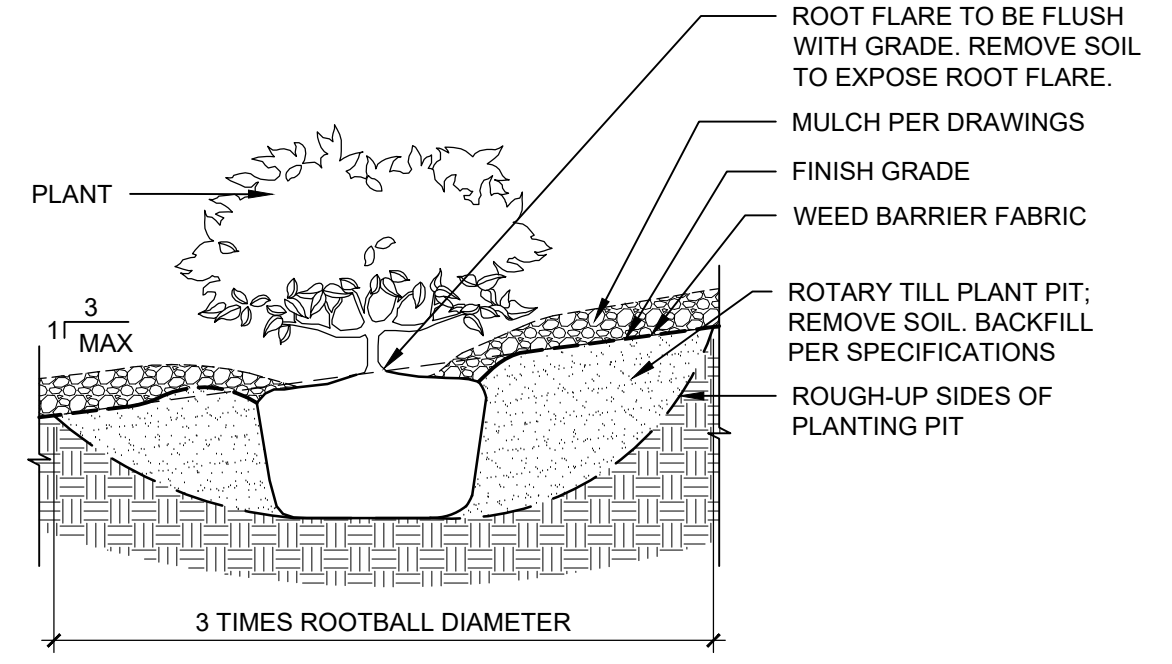
C2 BOULDER
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



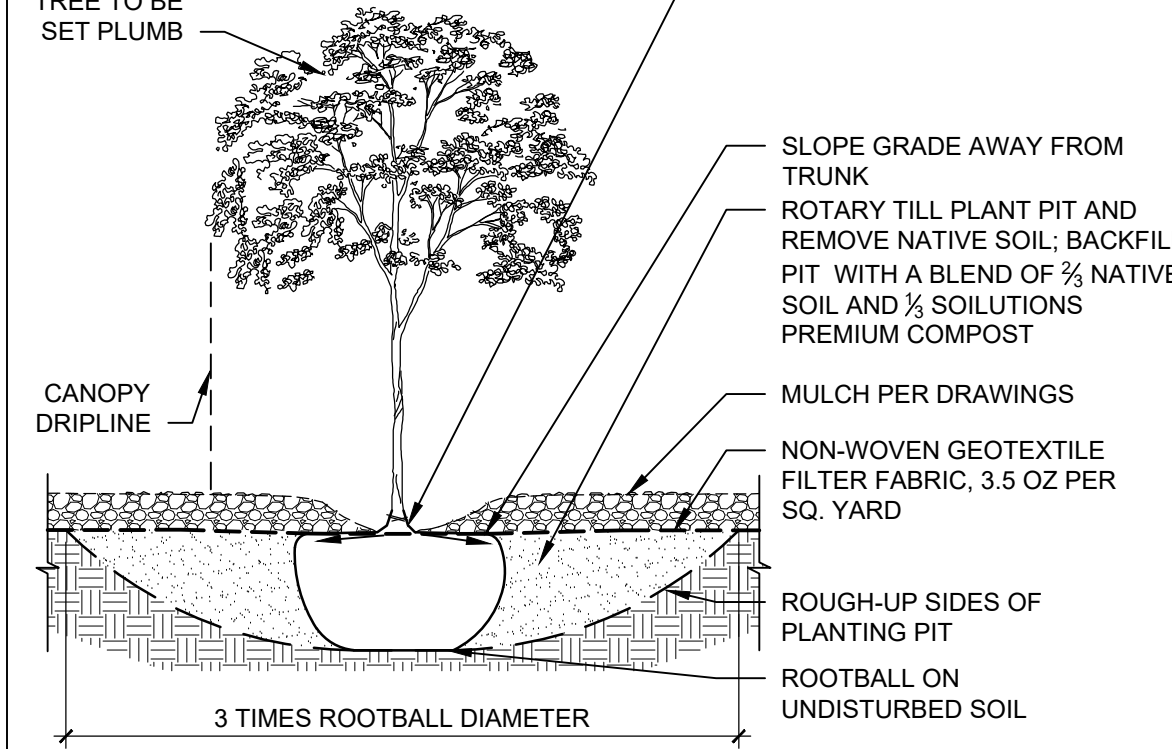
B1 SHRUB PLANTING
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE SOIL.
3. CENTER BERM ON DOWNHILL SIDE OF ROOTBALL FOR 240°.



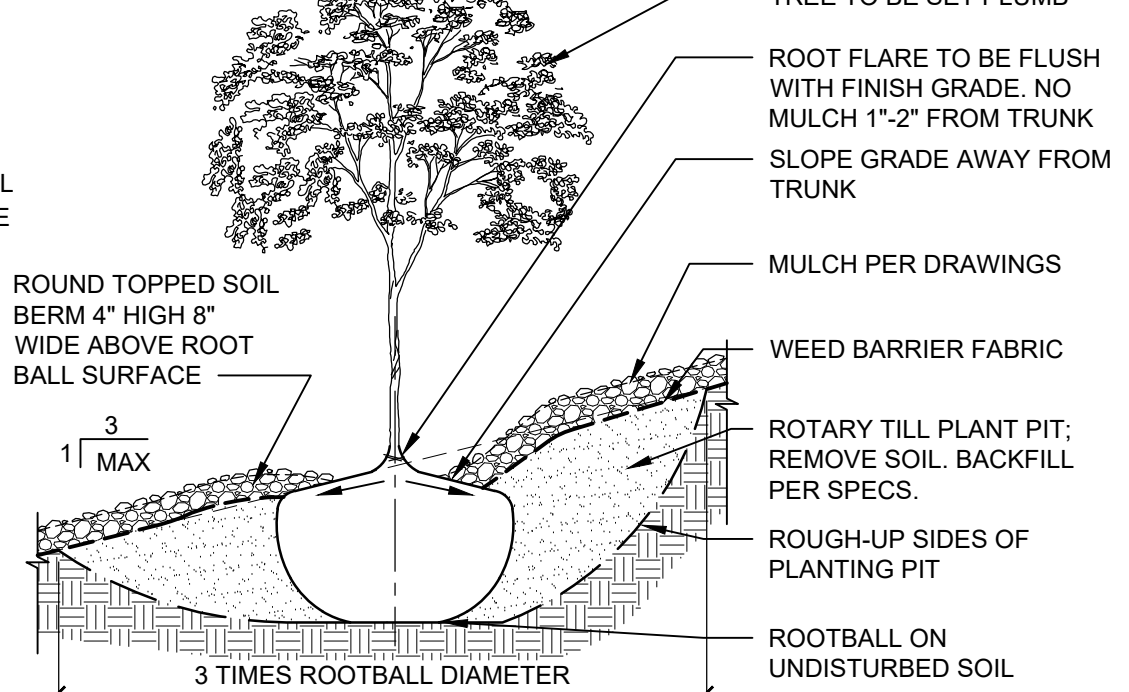
B3 SHRUB ON SLOPE
3/4" = 1'-0"

NOTE:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.



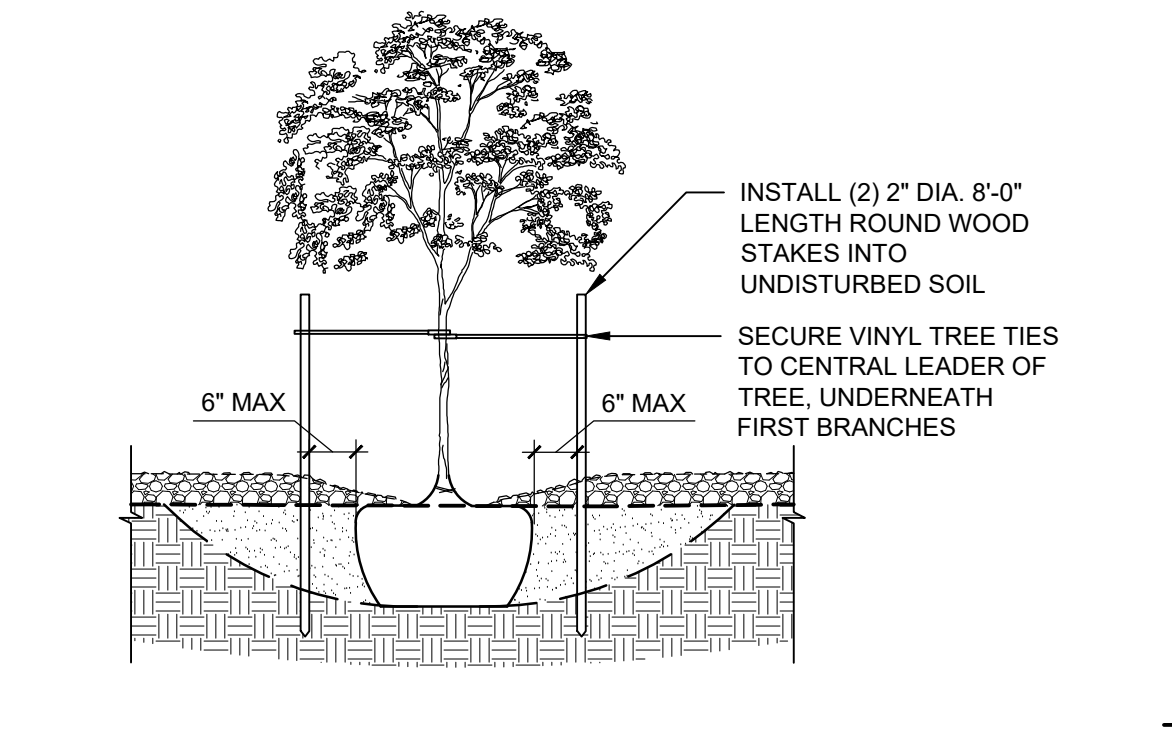
A1 TREE PLANTING
3/4" = 1'-0"

NOTES:
1. PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
2. SLOPE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE SOIL.
3. CENTER BERM ON THE DOWNHILL SIDE OF ROOTBALL FOR 240°.



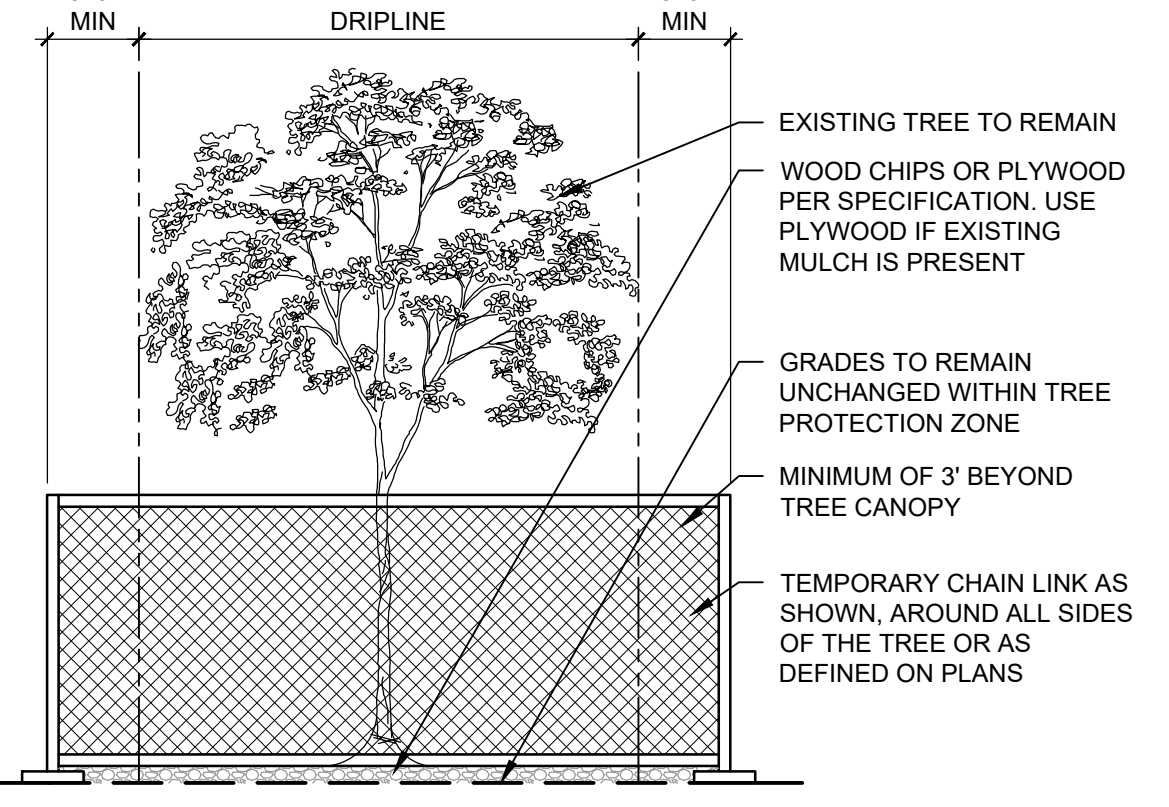
A2 TREE ON SLOPE
3/4" = 1'-0"

NOTES:
1. VINYL TREE TIES TO BE CINCH-TIE 3/2" OR APPROVED EQUAL, AVAILABLE FROM V.I.T. PRODUCTS - 800-729-1314.
2. STAKING TO BE REMOVED AT THE END OF WARRANTY PERIOD.
3. STAKING IS NOT REQUIRED BUT IF USED, CONTRACTOR SHALL FOLLOW DETAILS.



A2 TREE STAKING
3/4" = 1'-0"

NOTES:
1. SEE SPECIFICATIONS



A4 TREE PROTECTION
N.T.S.

MATERIALS SCHEDULE

ITEM	DESCRIPTION	EST QTY
17	2" - 4" DIA MOUNTAINAIR BROWN AGGREGATE, 4" DEPTH OVER WEED FABRIC	17,639 SF
18	3/4" DIA MOUNTAINAIR BROWN GRAVEL, 3" DEPTH OVER WEED FABRIC	16,555 SF
27	4' x 3' x 3' OAKWOOD BOULDER, SEE C2/LP501, AVAILABLE FROM ROCKY MOUNTAIN STONE (RMSTONE.COM)	

DEKKER PERICH SABATINI



SEAL

PROJECT

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS
08/16/2024 ASI-005

DRAWN BY TC
REVIEWED BY CM
DATE 12/21/2022
PROJECT NO 20-0371.001

DRAWING NAME
LANDSCAPE DETAILS

SHEET NO
LP501

GENERAL SHEET NOTES

- A. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING AND IRRIGATION IN A NEAT AND HEALTHY CONDITION. THE PROPERTY OWNER ACKNOWLEDGES THAT APPROVED IRRIGATION FOR LANDSCAPING AND TREES IN THE RIGHT-OF-WAY MAY BE REMOVED BY THE CITY OR MMOT WITHOUT COMPENSATION.
- B. THIS IRRIGATION SYSTEM DESIGN IS DIAGRAMMATIC AND MAY REQUIRE FIELD ADJUSTMENTS.
- C. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- D. THE CONTRACTOR SHALL REFERENCE THE PROJECT'S GEOTECHNICAL REPORT TO ASSURE CONSTRUCTION ADHERES TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- E. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE.
- F. THE WATER PRESSURE HAS BEEN DESIGNED TO BE OPERATIONAL FOR AN ASSUMED PRESSURE OF XX PSI AT THE WATER METER PRIOR TO INSTALLING ANY IRRIGATION SYSTEM COMPONENTS.
- G. THE CONTRACTOR SHALL INITIATE A FLOW (DISCHARGE TO ACCEPTABLE DRAINAGE AREA) AND RECORD THE DYNAMIC WATER PRESSURE AT THIS FLOW. THE CONTRACTOR SHALL PERFORM A DYNAMIC WATER PRESSURE TEST BY INSTALLING A PROPERLY SIZED TEST METER WITH AN ACCURATE WATER PRESSURE GAUGE ATTACHED TO THE UPSTREAM SIDE OF THE TEST METER. THE CONTRACTOR SHALL REPORT HIS FINDINGS IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL ISSUE A WRITTEN NOTICE TO PROCEED UPON ACCEPTABLE CONDITIONS OR ISSUE CORRECTIVE MEASURES AND INSTRUCTIONS IF THE TEST YIELDS UNEXPECTED RESULTS.
- H. IRRIGATION CONTROL VALVE WIRING SHALL BE INCIDENTAL TO IRRIGATION WORK.
- I. SEE XX11501 FOR IRRIGATION TRENCHING. ALTERNATIVE LOCATIONS TO BE APPROVED IN FIELD BY OWNER'S AUTHORIZED REPRESENTATIVE.
- J. THE CONTRACTOR SHALL INSTALL SLEEVE PIPES ONLY FOR 24V WIRES WHEN NECESSARY AND FOR PIPING AND POLY DRIP TUBING AS INDICATED ON PLANS.
- K. THE CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVE PIPING WITH PAVING CONTRACTORS. IRRIGATION SLEEVE PIPING SHALL BE INSTALLED DURING SITE CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL IRRIGATION SLEEVES BE INSTALLED AFTER PAVING IS COMPLETE.
- L. SLEEVES SHALL BE EXTENDED 24" BEYOND EDGE OF HARD SURFACES, WRAP ENDS WITH FOUR MIL PLASTIC AND TAPE WITH GOOD QUALITY PLASTIC TAPE, GRAY DUCT TAPE IS NOT ACCEPTABLE.
- M. VALVE LID COLORS SHALL BE TAN.

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SEAL

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. SEE A1/L1501
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX. SEE A6/L1501
	NETAFIM TLFV-1 AUTOMATIC FLUSH VALVE, WITH INSERT INLET. SEE D6/L1501
	AREA TO RECEIVE DRIP EMITTERS TORO T-DBK SINGLE-OUTLET FLAG STYLE EMITTER WITH BARBED INLET AND TAKE-APART FEATURE. COLOR-CODED FOR 1.0 GPH+BLACK; 2.0 GPH+RED; 4.0 GPH+MAROON. SEE C1/L1501 FOR LAYOUT Emitter Notes: DBK004 emitters (2 assigned to each 1 gal plant) DBK004 emitters (6 assigned to each 2" CAL. B&B plant) DBK004 emitters (6 assigned to each 3" CAL B&B plant) DBK004 emitters (2 assigned to each 5 gal plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 15 gal plant) DBK004 emitters (6 assigned to each 24" BOX plant)
	POLY DISTRIBUTION HOSE 3/4" POLY DISTRIBUTION HOSE FOR DRIP IRRIGATION SYSTEM
	SHUT OFF VALVE. SEE B6/L1501
	RAIN BIRD EFB-CP 1" 1" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. SEE A3/L1501
	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, LOCATED IN HOTBOX, COORDINATE WITH ELECTRICAL. SEE B4/L1501
	HUNTER PHC-1200I WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 12-STATION FIXED CONTROLLER, 120 VAC, INDOOR MODEL. LOCATED IN MECHANICAL ROOM, COORDINATE WITH ELECTRICAL. SEE B1/L1501
	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. INSTALL IN VALVE BOX. SEE A5/L1501
	WATER METER 5/8"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40

VALVE CALLOUT

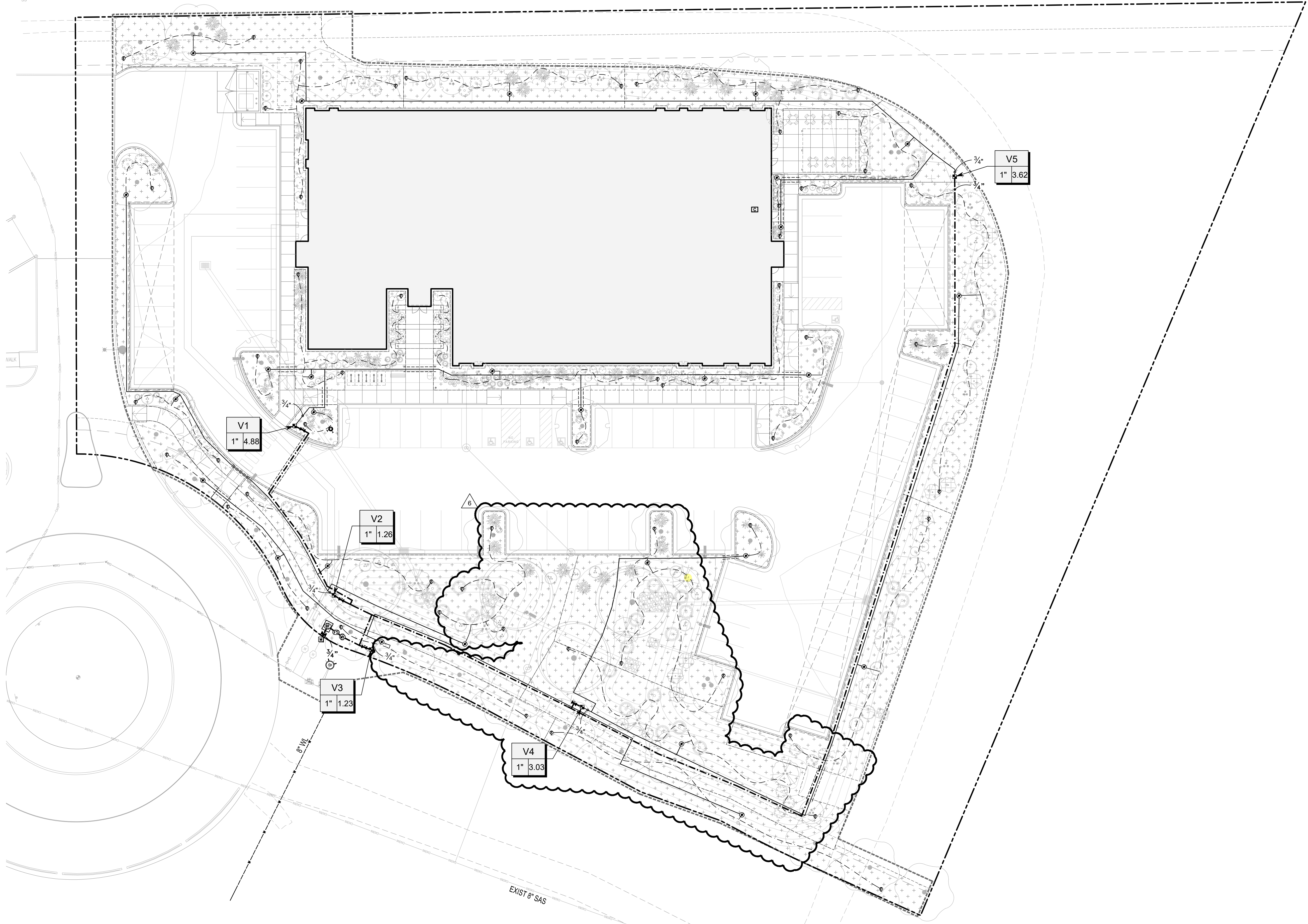
	VALVE NUMBER
	VALVE FLOW
	VALVE SIZE

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI
V1	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	4.88	15.0
V2	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.26	12.9
V3	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.23	13.0
V4	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.03	13.4
V5	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.62	14.0

LEGEND

- LIGHT POLE. SEE ELECTRICAL
- LIMIT OF WORK
- PROPERTY LINE
- 15' BUILDING SETBACK
- 10' PUBLIC UTILITY EASEMENT



IRRIGATION PLAN
1" = 20'-0"
0 10' 20' 40'

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

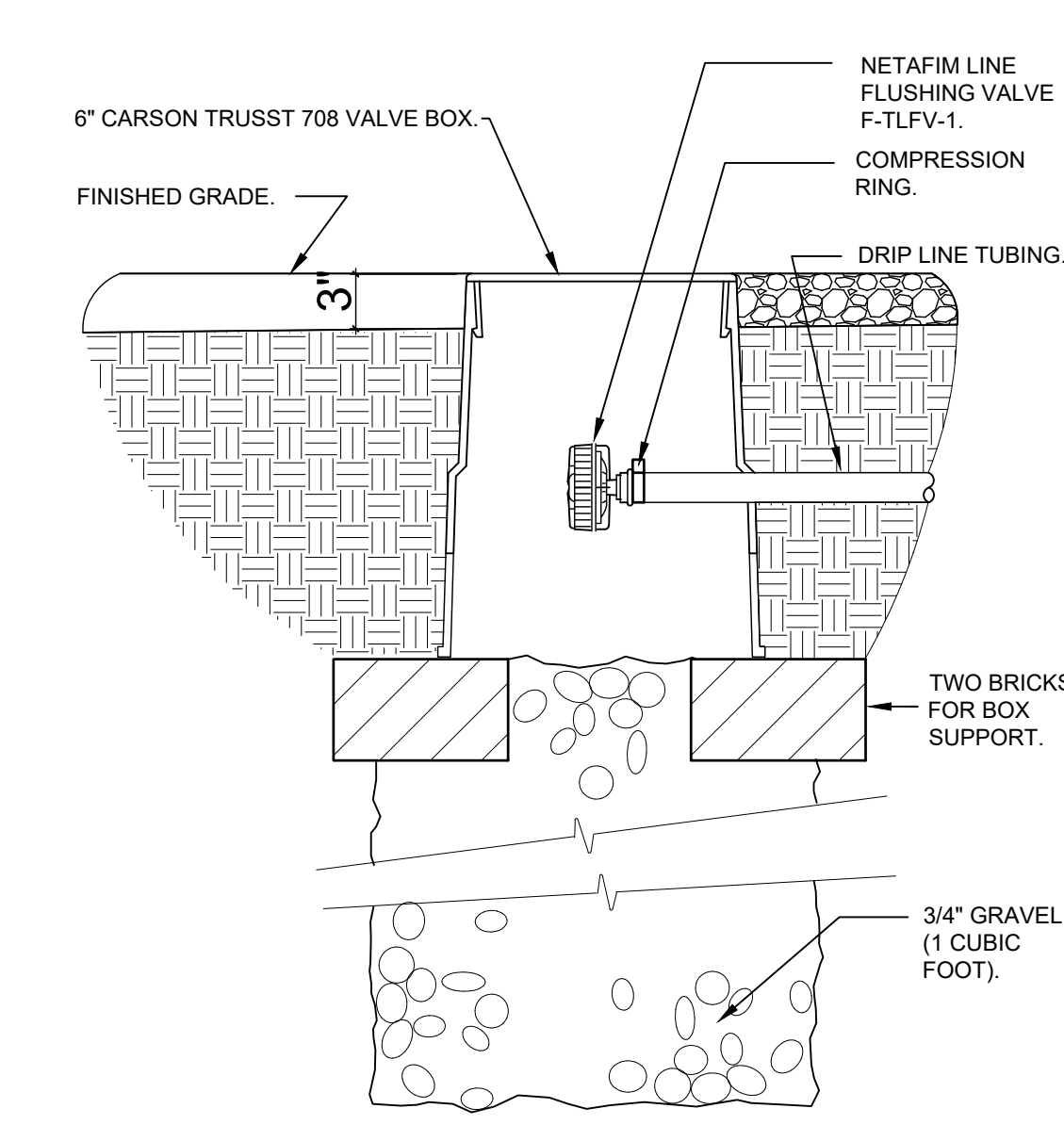
REVISIONS

	8/16/2024	ASH-005

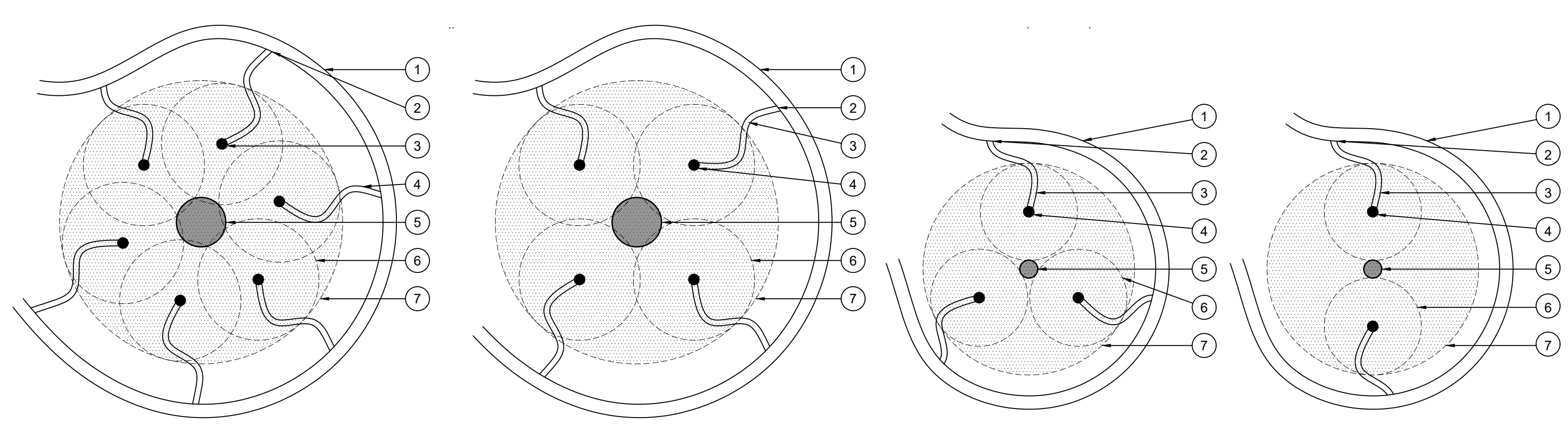
DRAWN BY: TC
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
IRRIGATION PLAN

SHEET NO
LI101

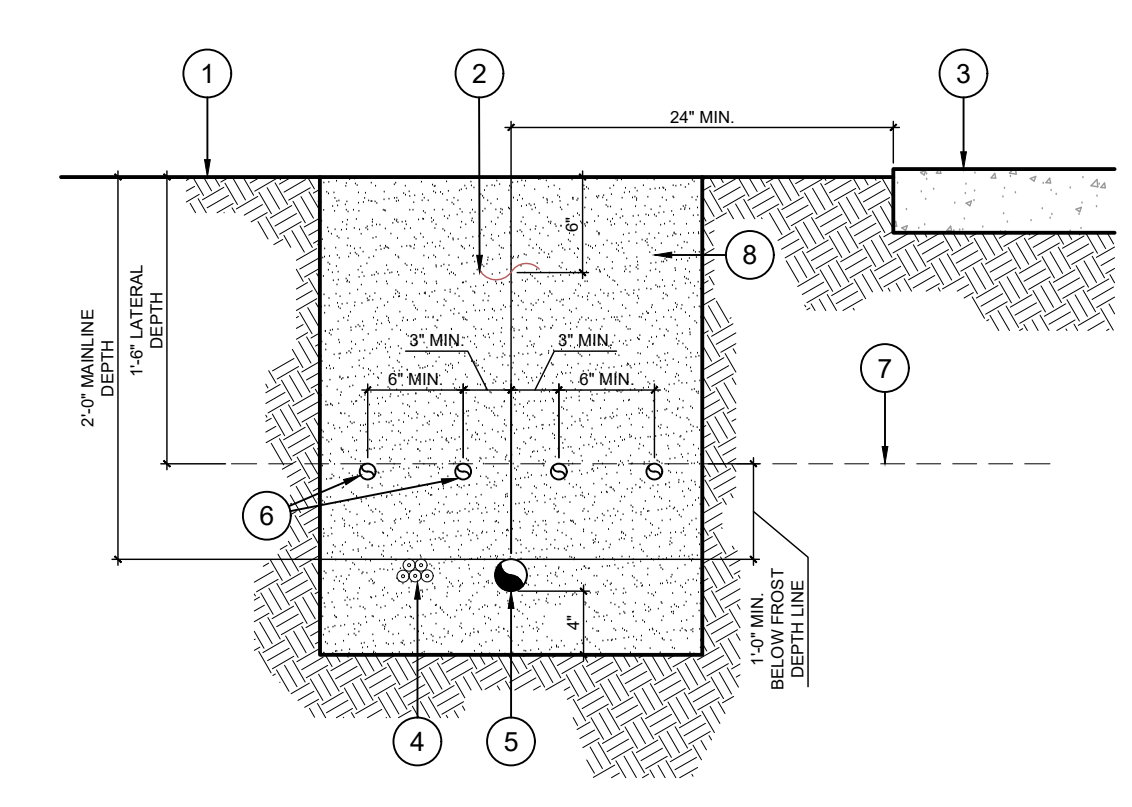


D6 FLUSH VALVE
3" = 1'-0"



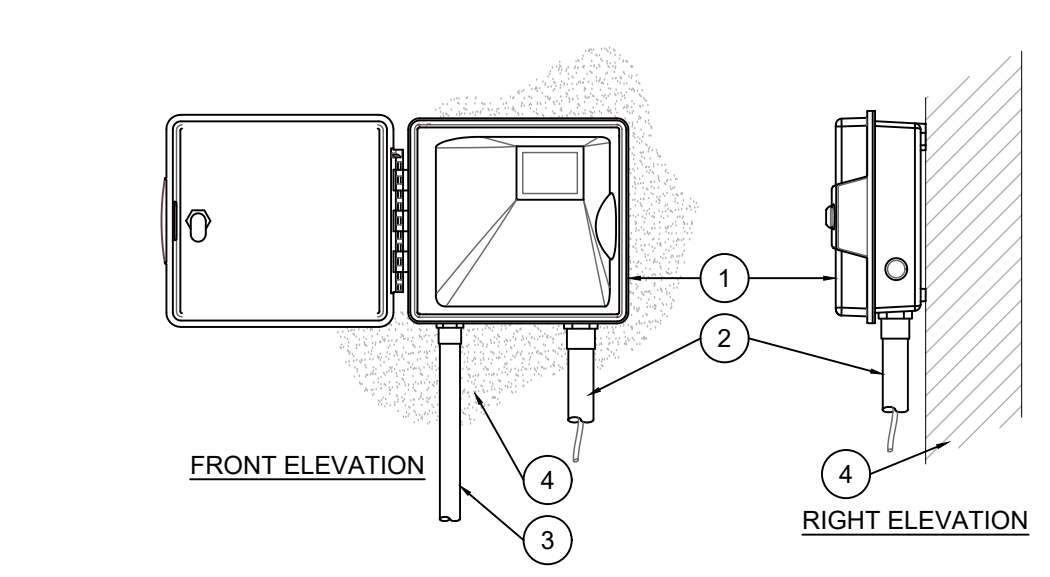
C1 DRIP EMITTER LAYOUT
NOT TO SCALE

- NOTES:**
- PLACE EMITTERS ON SLOPES BY ADJUSTING THE SPACING OF THE EMITTERS TOWARDS THE HIGH SIDE OF THE SLOPE.
 - 1/4" POLY TUBING CAN NOT BE LONGER THAN 10' FOR EXISTING PLANT MATERIAL IRRIGATION.
 - THE CONTRACTOR SHALL ENSURE THAT ONLY THE DRIP EMITTER IS VISIBLE ABOVE THE MULCH MATERIAL.
 - THE CONTRACTOR SHALL SEE SPECS FOR ADDITIONAL PRODUCT AND INSTALLATION INFORMATION.
 - INSTALL ON-SURFACE DRIPLINE FLUSH POINT AT ENDS, SEE D6/LI501.
- 3/4" POLY DRIP TUBING (TYPICAL). KEEP TUBING'S LENGTH OF RUN TO APPROXIMATELY 100' OR LESS.
 - 1/4" BARBED CONNECTOR AT EACH CONNECTION (TYPICAL)
 - 1/4" POLY DISTRIBUTION TUBING (TYPICAL). NOTES: USE ONLY ONE EMITTER PER RUN OF TUBING. KEEP POLY TUBING LENGTH OF RUN TO APPROXIMATELY 10' OR LESS.
 - DRIP EMITTER (TYPICAL). SPACE EQUALLY WITHIN WETTED PATTERN COVERAGE/ROOT ZONE.
 - TRUNK/STEM
 - EMITTER DRIP COVERAGE
 - WETTED PATTERN COVERAGE/ ROOT ZONE



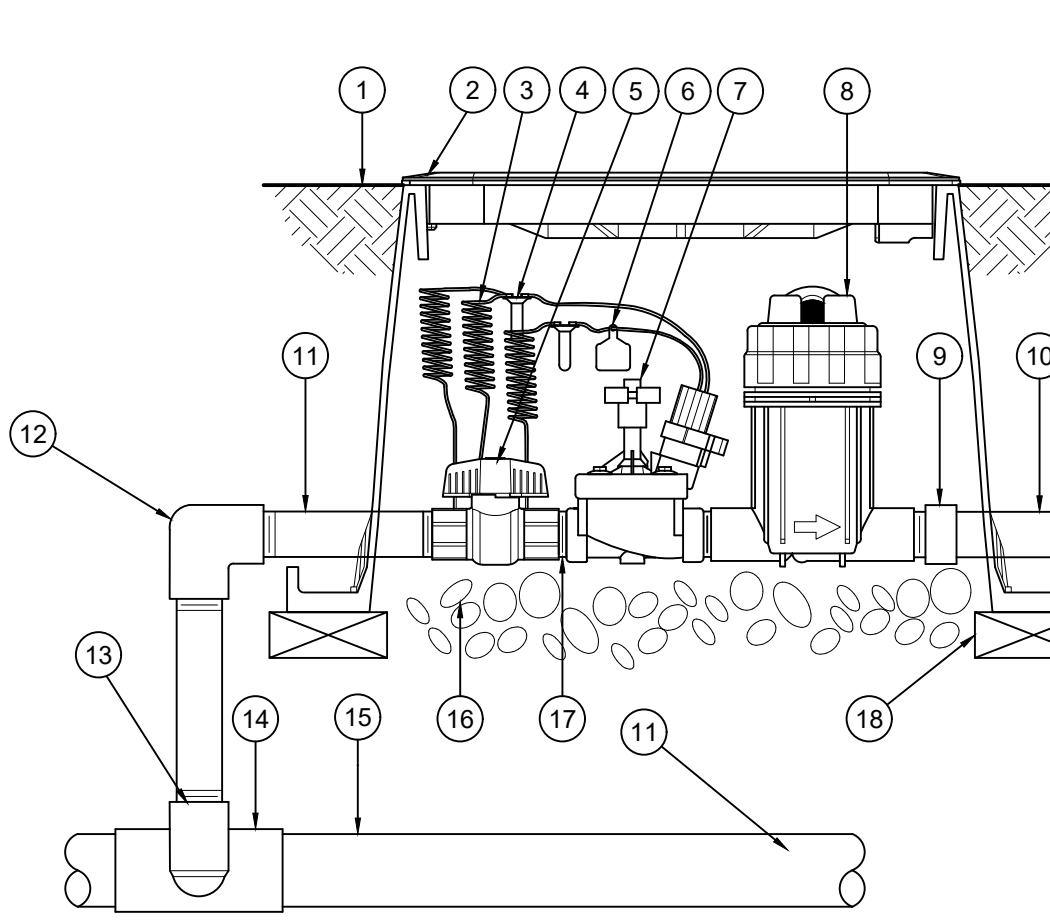
C5 IRRIGATION TRENCHING
N.T.S.

- FINISH GRADE
- DETECTABLE LOCATOR TAPE
- PAVEMENT, SEE PLANS
- DIRECT BURIAL LOW VOLTAGE CONTROL WIRES
- PVC MAIN LINE
- LATERAL LINE
- FROST DEPTH LINE
- EXCAVATED MATERIAL SHALL BE FINELY SCREENED WITH NO ROCKS LARGER THAN 1/2"



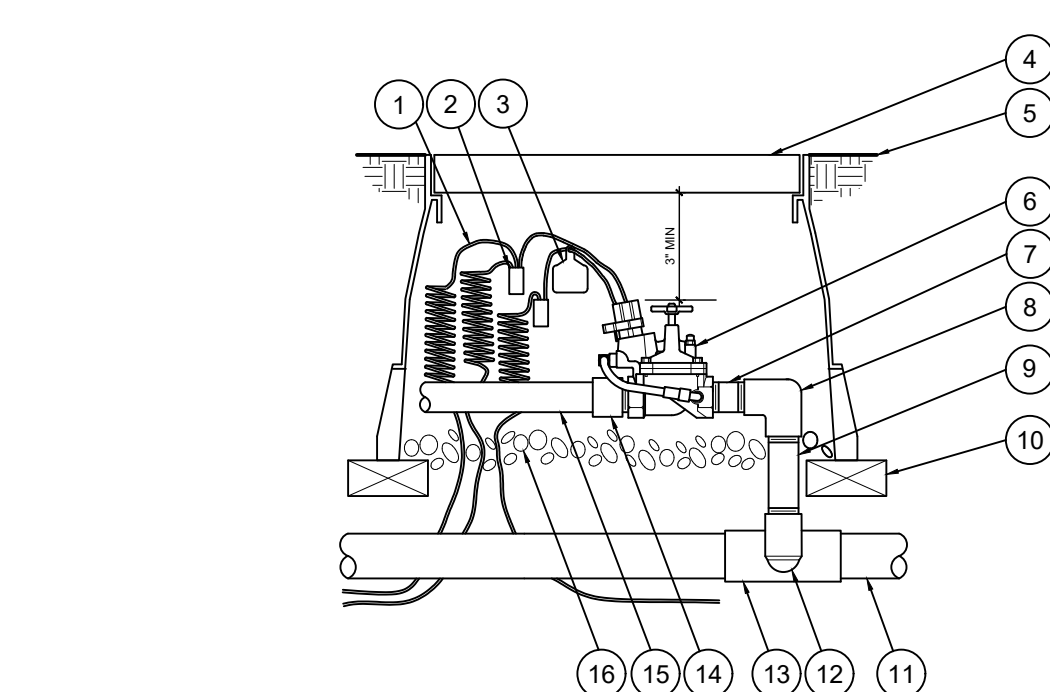
B1 CONTROLLER
N.T.S.

- IRRIGATION CONTROLLER. SEE LI101
 - IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE. J-BOX INSIDE CONTROLLER
 - MOUNT CONTROLLER PER MANUFACTURER
- NOTE:**
MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 110 VAC POWER SOURCE



A1 DRIP CONTROL VALVE KIT
1" = 1'-0"

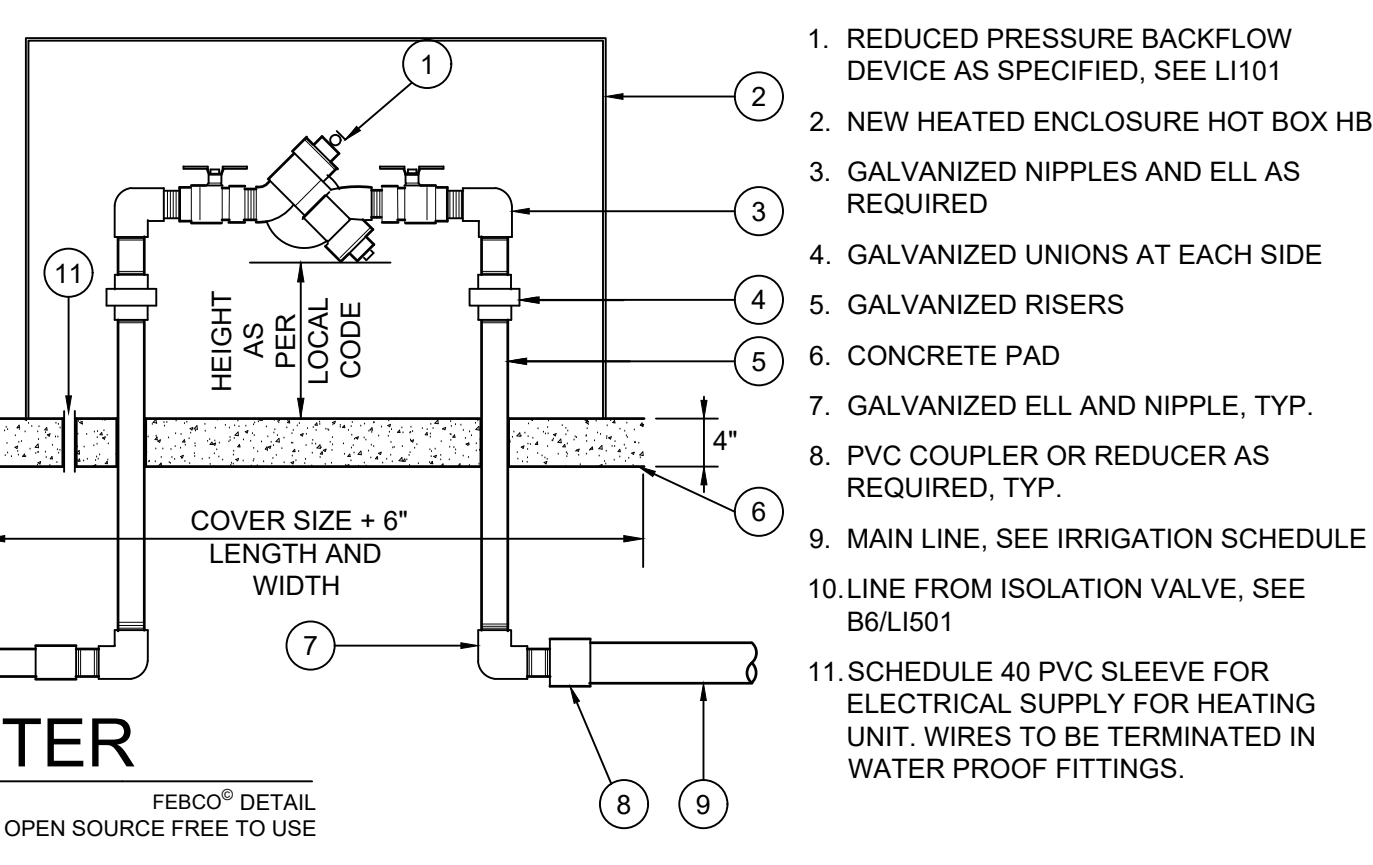
- FINISH GRADE/TOP OF MULCH
- VALVE BOX WITH COVER, CARSON TRUST 1015
- 30-INCH LINEAR LENGTH OF WIRE. COILED
- WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- ID TAG
- REMOTE CONTROL VALVE: RAIN BIRD PEB (INCLUDED IN XCZ-PRB-100-COM KIT)
- RAIN BIRD PRB-0K0KH-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- PVC SCH 40 FEMALE ADAPTOR
- LATERAL PIPE
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- MANLINE PIPE
- 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)
- BRICK (1 OF 4)



A3 MASTER VALVE
N.T.S.

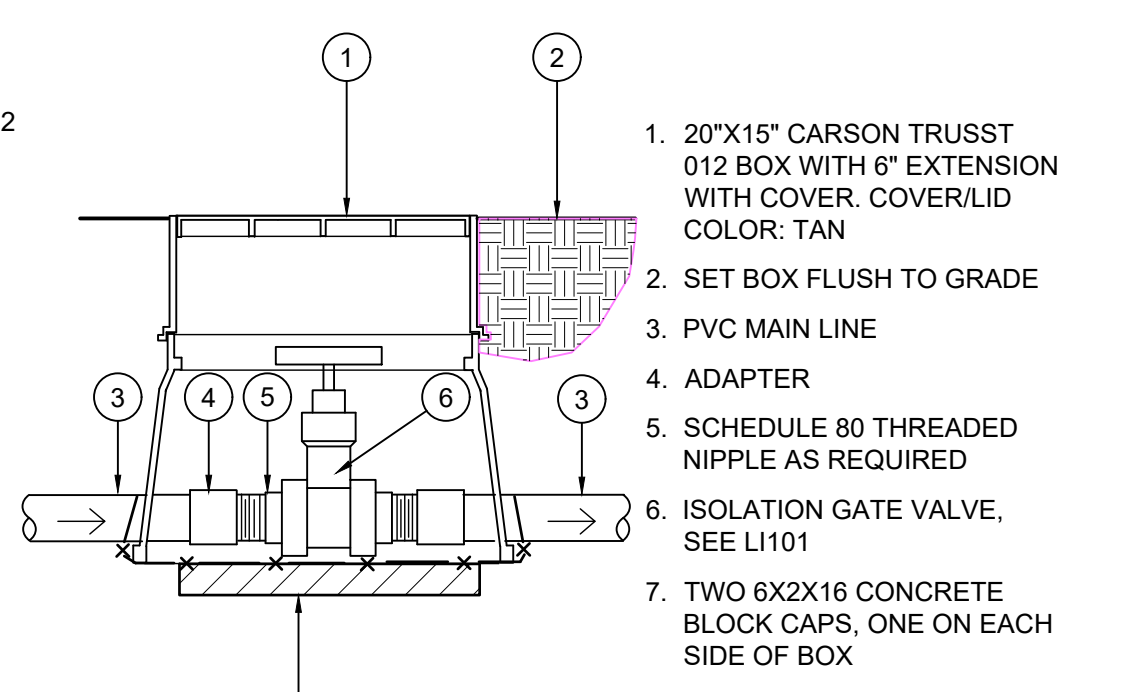
- NOTE:**
- BACKFLOW PREVENTER ASSEMBLY AND ENCLOSURE SHALL BE LOCATED OUTSIDE OF EASEMENT LIMITS.
 - CONCRETE SLAB MAY REQUIRE ADDITIONAL HEADER CURBS TO ADJUST GRADING CHANGES. CONTRACTOR SHALL PROVIDE A CONCRETE SLAB RECOMMENDATION TO ARCHITECT FOR APPROVAL.
 - CONTRACTOR SHALL INSTALL SLEEVES IN CONCRETE SLAB FOR POWER CONDUIT AND INPUT AND OUTPUT GALVANIZED PIPING. SLEEVE SIZING TO BE ONE SIZE LARGER THEN INSTALLED PIPE

B4 BACKFLOW PREVENTER
NOT TO SCALE

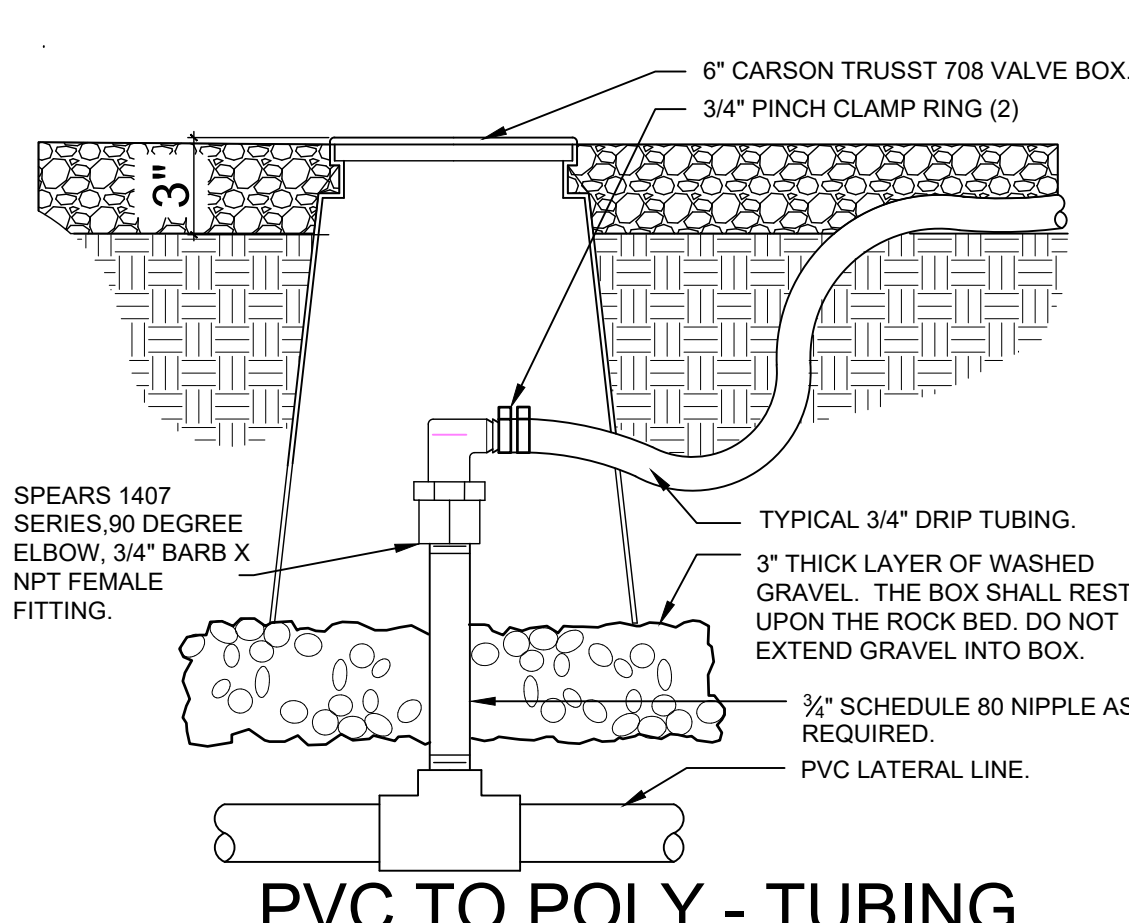


- 30-INCH LINEAR LENGTH OF WIRE COILED
- WATERPROOF CONNECTION RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- VALVE BOX WITH COVER: CARSON TRUST 012
- FINISH GRADE/TOP OF MULCH
- REMOTE CONTROL VALVE: RAIN BIRD EFB-CP
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MASTER MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC MAINLINE PIPE
- 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

A5 FLOW SENSOR ASSEMBLY
N.T.S.



B6 ISOLATION VALVE
1" = 1'-0"



A6 PVC TO POLY - TUBING CONNECTION
3" = 1'-0"

GENERAL SHEET NOTES

- A. PAINT WALL AND ROOF MOUNTED EQUIPMENT/ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
- B. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
- C. MAKE CHANGES IN FINISH COLOR AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
- D. REFER TO SHEETS AE681 FOR OPENING TYPES.
- E. ALL EXPOSED STEEL TO BE PAINTED.

SHEET KEYNOTES

- 0-11 EXTERIOR BUILDING SIGNAGE; HALO ILLUMINATED LED ALUMINUM CHANNEL LETTER FABRICATION WITH 3" RETURN; PAINTED TWO COLORS AS SELECTED BY ARCHITECT WITH ADDITIONAL SATIN CLEAR PROTECTIVE COAT FINISH / LOGO FILE TO BE PROVIDED BY OWNER / PROVIDE WOOD BACKING AS REQUIRED AND COORDINATE MOUNTING WITH METAL PANEL INSTALLER / PROVIDE AN ELECTRICAL J-BOX, REFER TO ELECTRICAL SHEETS
- 0-12 10" BUILDING ADDRESS IDENTIFICATION NUMBERS AS REQUIRED BY FIRE CODE OFFICIAL / ALUMINUM CHANNEL LETTER FABRICATION WITH 1.5" RETURN; PAINTED ONE COLOR AS SELECTED BY ARCHITECT WITH ADDITIONAL SATIN CLEAR PROTECTIVE COAT FINISH / PROVIDE WOOD BACKING / COORDINATE MOUNTING WITH METAL PANEL INSTALLER

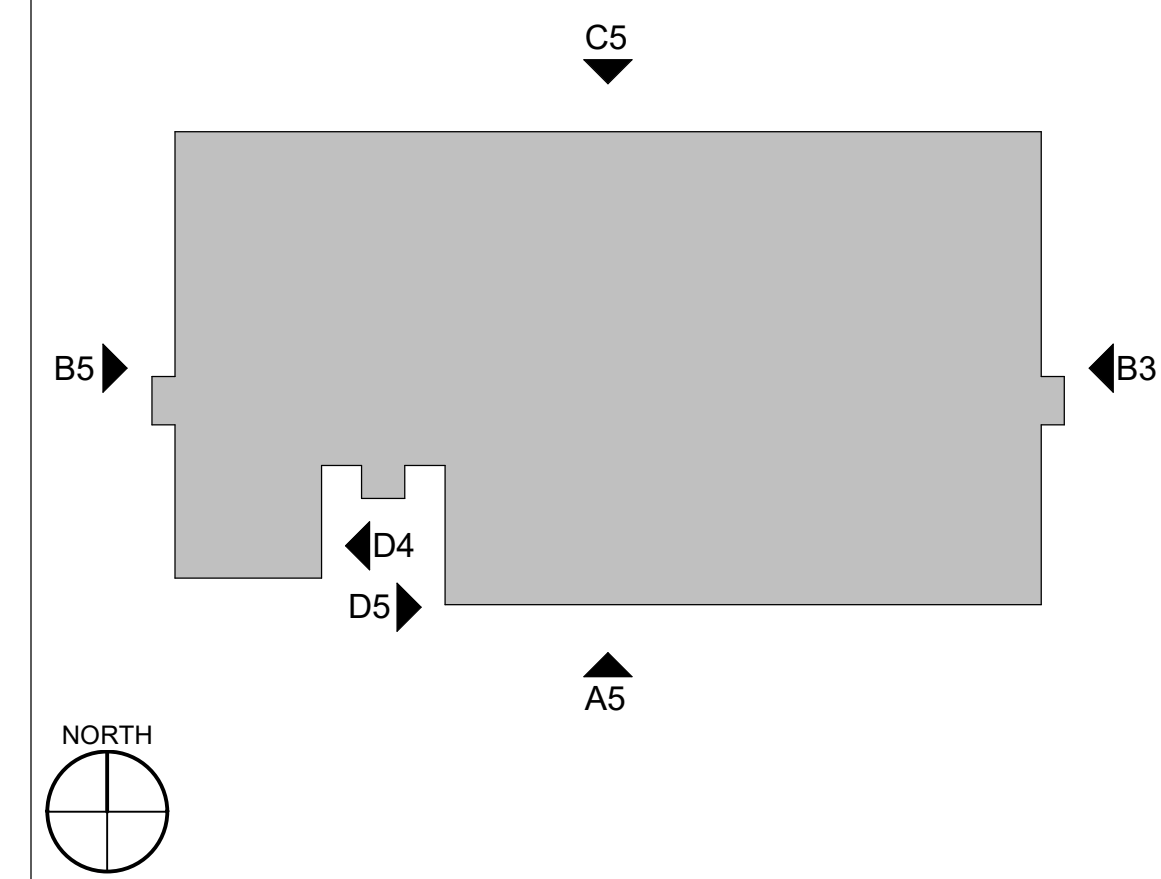
REFERENCE KEYNOTES

- 04 2000-D REINFORCED CMU SCREEN WALL, REFER TO ARCHITECTURAL SITE DETAILS SHEET
- 05 5000-A01 SHOP-FABRICATED TRELLIS FRAME, SEE STRUCTURE / PAINT AESTHETIC REVEAL JOINT
- 07 2400-E PREFINISHED METAL WALL PANEL, FLAT LOCK SEAM MANUFACTURED COPING
- 07 7100-A HOLLOW METAL DOOR AND FRAME
- 10 4400-C RECESS MOUNT ELECTRONIC RAPID ENTRY BOX, KNOX 3200 SERIES OR EQUAL / UNIT TO CONTAIN ACCESS KEYS TO THE BUILDING ENTRANCES AND ALL COMMON-USE AREAS AS REQUIRED BY FIRE CODE OFFICIAL / MOUNT BOTTOM AT 6" AFF
- 10 7113-A EXTERIOR SUN CONTROL DEVICE
- 22 0000-A04 OVERFLOW ROOF DRAIN DOWNSPOUT NOZZLE, REFER TO PLUMBING
- 23 0000-A MECHANICAL EQUIPMENT
- 26 0000-A02 EXTERIOR WALL MOUNTED LIGHT FIXTURE / MOUNT AT 12'-0" AFF
- 28 2300-A VIDEO SURVEILLANCE CAMERA / COORDINATE WITH TECHNOLOGY

LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: FIELD COLOR; STO COLOR AMARILLA (OR EQUAL) FINISH: FINE
- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: ACCENT COLOR 1; STO COLOR MARBLE WHITE (OR EQUAL) FINISH: STONE
- EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) MANUFACTURER: STO CORPORATION (OR EQUAL) COLOR: ACCENT COLOR 2; STO COLOR ADOBE BROWN (OR EQUAL) FINISH: FINE
- PREFINISHED METAL PANEL MANUFACTURER: ATAS INTERNATIONAL (OR EQUAL) COLOR: COPPER BROWN STYLE: VERSA-LOK FLAT SHINGLE STYLE
- ALUMINUM STOREFRONT MANUFACTURER: TUBELITE (OR EQUAL) STOREFRONT: T14000 I/O SERIES STOREFRONT FRAMING (OR EQUAL) FRAMING MEMBER SIZE: 2" X 4-1/2" FINISH: STANDARD PAINTED, 70% PVDF, TO BE SELECTED BY ARCHITECT GLASS: 1" INSULATED GLASS UNIT / SOLARBAN 90 (OR EQUAL)

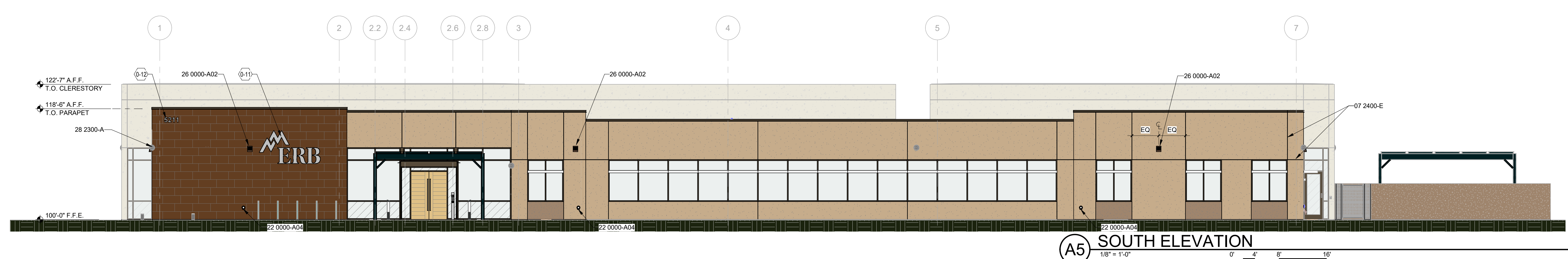
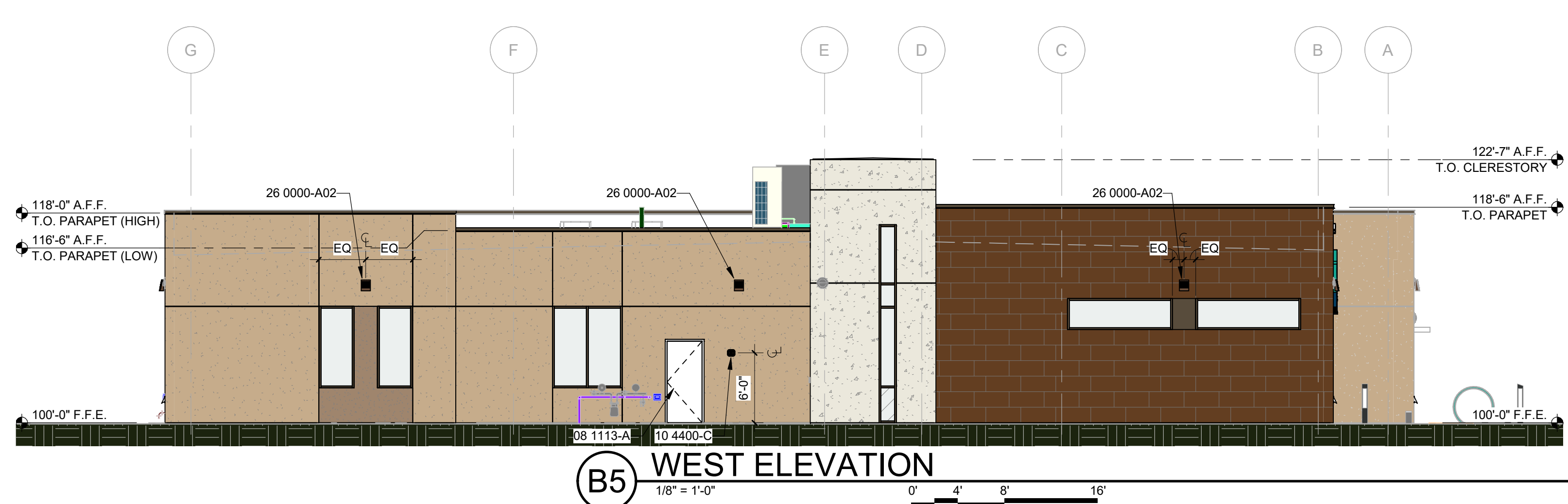
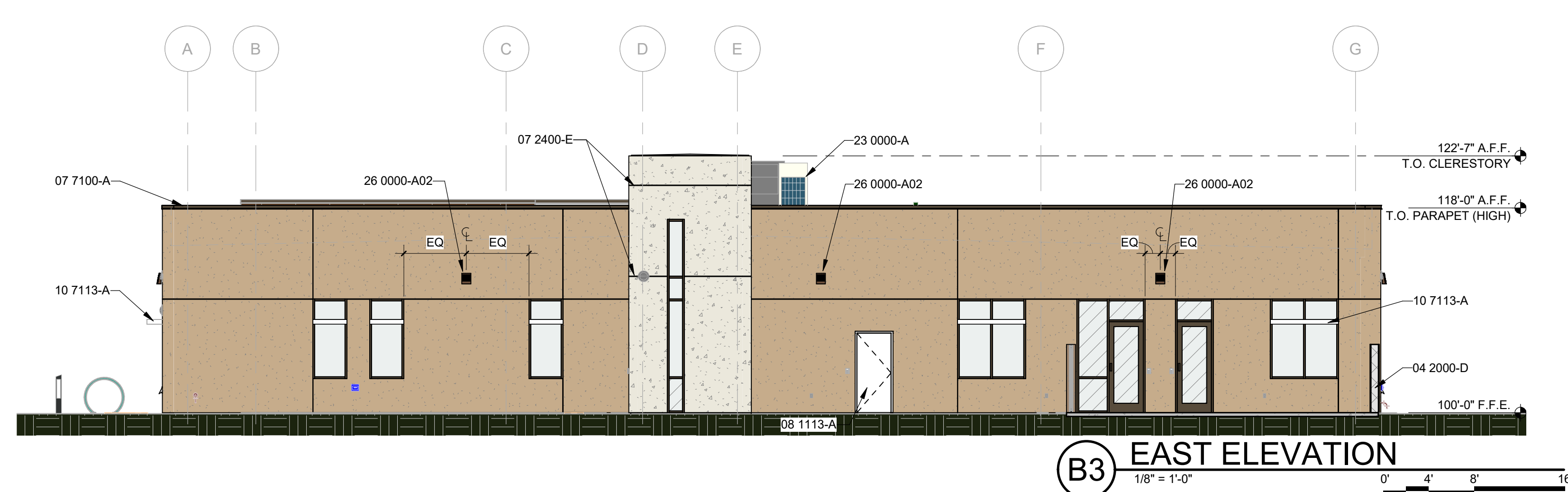
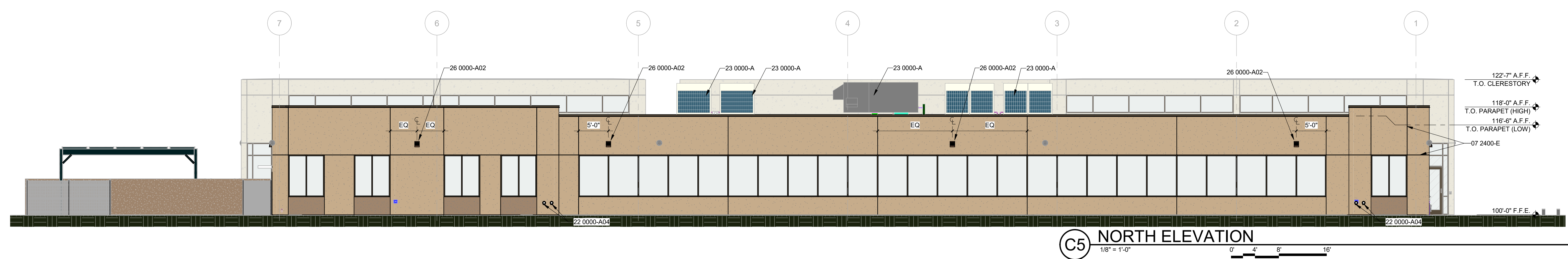
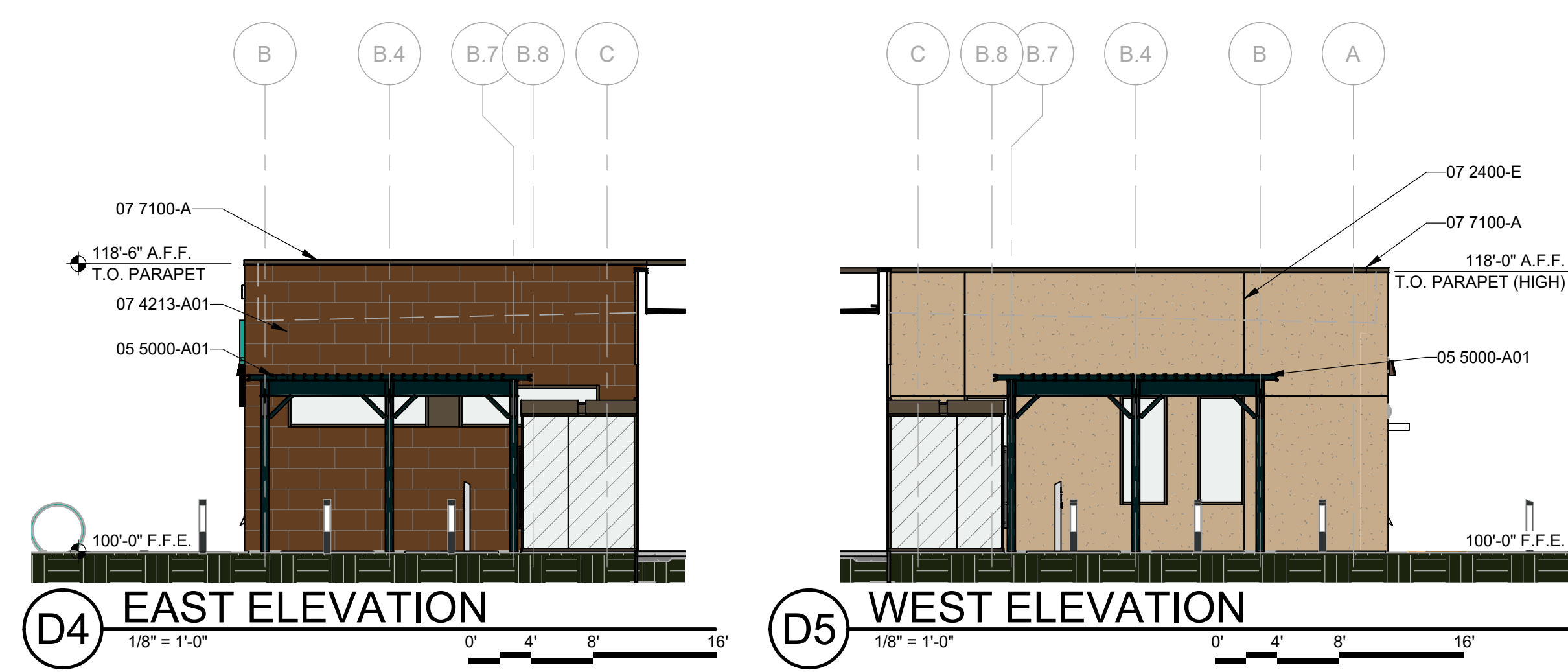
KEY PLAN



DEKKER PERICH SABATINI



SEAL
PROJECT



NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

6/29/2023	ADDENDUM #001
▲	
▲	
▲	
▲	
▲	

DRAWN BY: KT
REVIEWED BY: DM
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
EXTERIOR ELEVATIONS

SHEET NO
AE201

GENERAL SHEET NOTES

A. THE WORK INDICATED ON THE ELECTRICAL SITE PLAN AND THE POWER RISER DIAGRAM IS THE RESULT OF INITIAL CONTACT BY THE DESIGN ENGINEER WITH THE LOCAL ELECTRICAL UTILITY COMPANY. ADDITIONAL WORK MAY BE REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL REQUIREMENTS OF THE ELECTRICAL SERVICE WITH THE LOCAL ELECTRICAL UTILITY COMPANY AND PROVIDE PRIMARY AND SECONDARY TRENCHING, CONDUITS, PRIMARY CONDUCTORS, CONCRETE ENCASUREMENT (WHERE APPLICABLE), PULL BOXES, BACKFILL AND PATCHING. ALL ASSOCIATED WORK REQUIRED FOR INSTALLATION OF THE ELECTRICAL SERVICE AND PRIMARY SYSTEMS BY THE CONTRACTOR, INCLUDING FIELD COORDINATION AND ROUTING WITH PNM IS THAT OF THE ELECTRICAL CONTRACTOR AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID WITHOUT EXCEPTION.

KEYNOTES

1. PARKING CANOPY BY SOLAR CONTRACTOR. PROVIDE ELECTRICAL CONNECTION TO CANOPY MOUNTED LIGHTING SUPPLIED BY SOLAR CONTRACTOR. CONNECT TO EXTERIOR PARKING LOT LIGHTING CIRCUIT.
2. PAD MOUNT PNM SERVICE TRANSFORMER WITH METER CAN. COORDINATE REQUIREMENTS WITH PNM.
3. SOLAR METER AND DISCONNECT. COORDINATE WITH SOLAR CONTRACTOR FOR ALL REQUIRED WORK. REFER TO PV SHEETS.
4. UNDERGROUND SECONDARY. REFER TO ONE LINE DIAGRAM. COORDINATE ROUTING IN FIELD WITH EXISTING CONDITIONS AND BURIED UTILITIES.
5. 120V CIRCUIT FOR CAMERAS. REFER TO IT DETAILS FOR POLE BASE REQUIREMENTS.
6. 120V CIRCUIT FOR PIV HOT BOX. COORDINATE EXACT LOCATION WITH CIVIL PRIOR TO ROUGH-IN.
7. FIRE ALARM TAMPER SWITCH FOR PIV HOT BOX. MAKE CONNECTIONS TO FIRE ALARM AS REQUIRED.
8. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH EXTERIOR RELAY LIGHTING CONTROL PANEL. REFER TO LIGHTING SEQUENCE OF OPERATION.
9. STUB OUT FOR FUTURE EV CHARGING TANDUM STATION. EXTEND 1.5" CONDUIT BACK TO PANEL INDICATED. CAP AND MARK FOR FUTURE USE.
10. FLAG POLE LIGHTING, IN GRADE. ROUTE CIRCUIT THROUGH LIGHTING CONTROL RELAY PANEL FOR DUSK TILL DAWN OPERATION. COORDINATE MOUNTING DETAILS WITH MANUFACTURER. FIXTURES TO BE LSI #XIG-LED-19-350-CW-JE-22 WATTS.
11. PROVIDE 120V CONNECTION TO IRRIGATION CONTROLLER AND HOT BOX. EXTEND AN ADDITIONAL 1.5" CONDUIT BACK TO DATAIT BACKBOARD FOR DATA CONNECTION TO IRRIGATION CONTROLLER. COORDINATE WITH LANDSCAPE.
12. RUN CONDUIT TO APPROXIMATE LOCATION. STUB AND CAP AS REQUIRED FOR FUTURE POLE LIGHT AT APPROXIMATE LOCATION. COORDINATE WITH ARCHITECTURAL.

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PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

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PERMIT

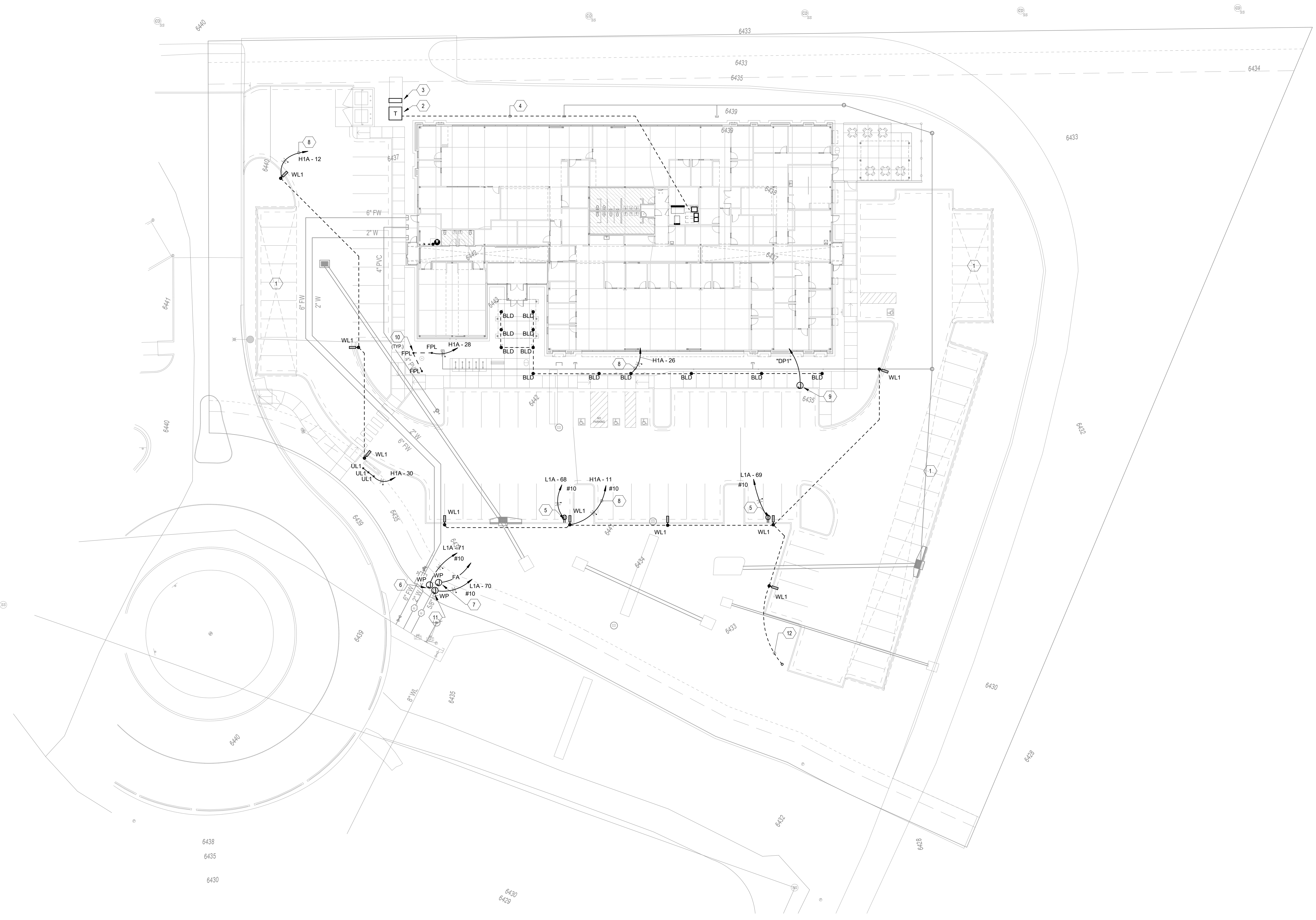
REVISIONS

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DRAWN BY Author
REVIEWED BY Approver
DATE 12/21/2022
PROJECT NO 20-0371.001

DRAWING NAME
ELECTRICAL SITE PLAN

SHEET NO
ES101



NORTH
A2 ELECTRICAL SITE PLAN
1" = 20'-0"
0' 10' 20' 40'

NMERB NEW OFFICE BUILDING

5211 Las Soleras Dr.
Santa Fe, NM 87507

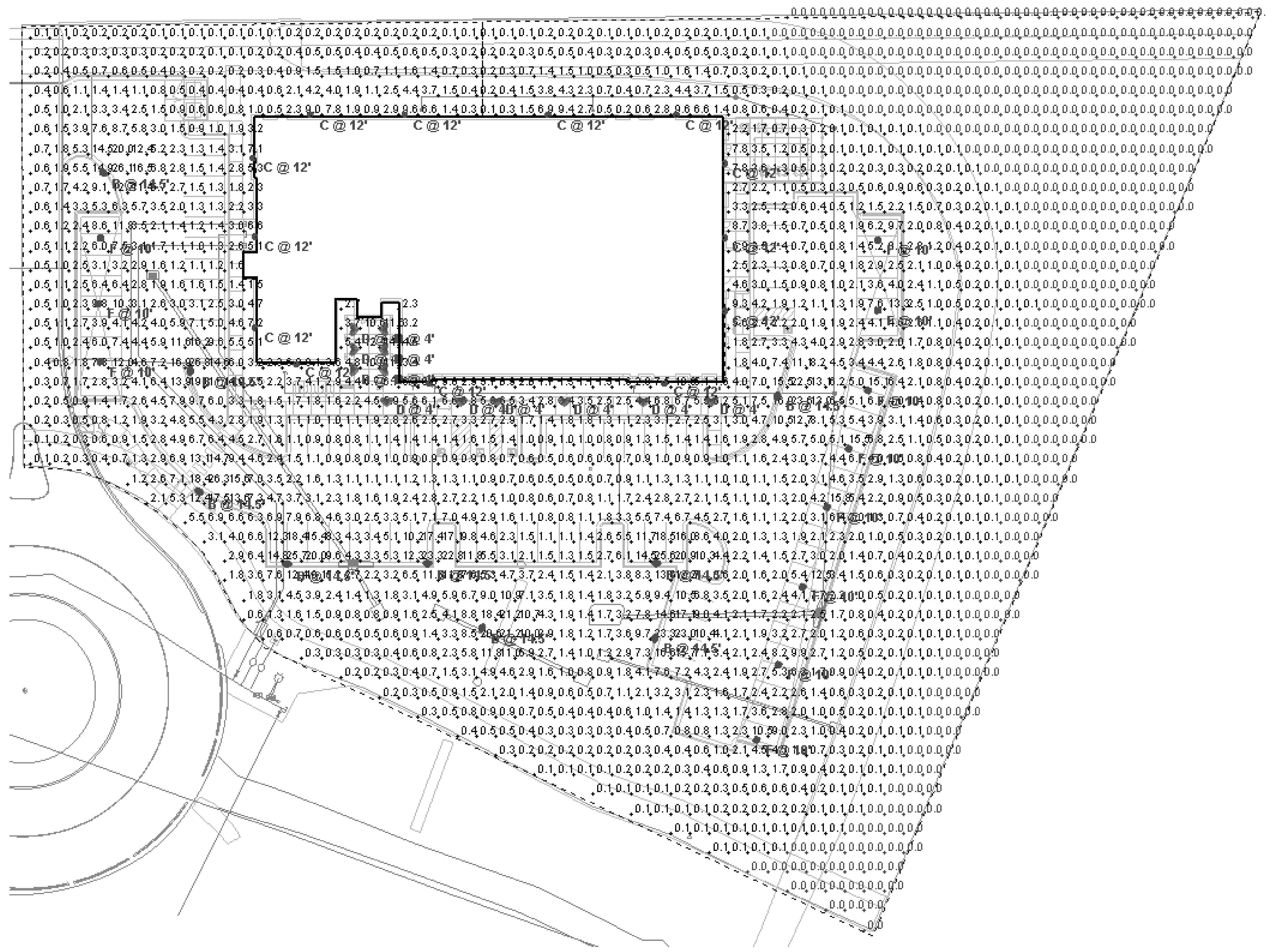
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REVIEWED BY	Approver
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
SITE LIGHTING
CALCULATIONS



Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Number Lamps	Li
B	9	KIM LIGHTING	ALT2-100L-200-4K7-3HDL	ALTITUDE 2.0	C-70-CRI WITH DIFFUSE LENS DATA SHOWN IS ABSOLUTE Educational, Government, Healthcare, Hospitality, Hotel, Industrial, Institutional,	2-100L-200-4K7-3HDL	1	
C	13	WHITEWAY LIGHTING	SG1-30-4K7-FT	Sling Series		SG1-30-4K7-FT.ies	1	
D	12	ARCHITECTURAL AREA LIGHTING	KB6-Y5-C-2040	KICK BOLLARD, ALUMINUM HOUSING, LED ARRAY CONSIST OF HEATSINK, LEDS	12 LED 4000K	KB6-Y5-C-2040.ies	1	
F	11	RAB Lighting Inc.	VAN17-30 @ 30W/4000K			_30w_4000k_dff23121	1	

CalcZone

Average	2.4	fc
Maximum	26.8	fc
Minimum	0.0	fc

NOTE: PER THE IESNA, LIGHTING LEVELS AT ALL PEDESTRIAN AREAS WHERE TRAFFIC IS PREVALENT SHALL BE 5 FC'S MINIMUM. IT IS NOT POSSIBLE TO HAVE ZERO FOOTCANDLES IN THESE AREAS WITHOUT POTENTIAL LIABILITY.