



Agenda

Regular Meeting

of the Planning Commission
April 3, 2025 at 6:00 PM
Council Chambers, City Hall
200 Lincoln Avenue

Procedures for Planning Commission Meeting

AMENDED

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/user/cityofsantafe>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Live Public Comment: Members of the public may provide public comment in person during the public comment portion of the public hearing.

Virtual Public Comment: Members of the public may provide public comment virtually during the public comment portion of the public hearing by joining the Zoom meeting by internet or phone using the following link: <https://santafenm-gov.zoom.us/j/89816322528>

By phone: +1 669 444 9171 US +1 669 900 6833 US (San Jose) +1 719 359 4580 US +1 253 205 0468 US +1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 646 931 3860 US +1 689 278 1000 US +1 929 205 6099 US (New York) +1 301 715 8592 US (Washington DC) +1 305 224 1968 US +1 309 205 3325 US +1 312 626 6799 US (Chicago) +1 360 209 5623 US +1 386 347 5053 US +1 507 473 4847 US +1 564 217 2000 US

Webinar ID: 898 1632 2528

Written Comment: Members of the public may submit public comments by 5 p.m. on the Monday before the meeting via <https://santafenm.gov/land-use/current-planning/public-comment>. Comments will then be published after this deadline.

The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Agenda
5. Approval of Consent Agenda
6. Approval of Minutes
 - a. March 20, 2025
7. Approval of Findings/Conclusions
 - a. Case #2022-6013. Caja del Oro Subdivision Final Subdivision

- b. Case # 2024-9585. 4000 and 4200 Beckner Road Final Serial Subdivision
8. Consent
 9. Old Business
 10. New Business
 - a. 2025-010094. 5211 Las Soleras Dr., Development Plan. David Archuleta, Agent, for the Education Retirement Board, Applicant, requests Development Plan approval of a one-story office building, approximately 20,000sq.ft. on 2.999 acres of land for office use. The property is zoned C-2 (General Commercial) and is located at 5211 Las Soleras Drive. (Claudia Kath Case Manager, cmkath@santafenm.gov). **(TO BE POSTPONED TO APRIL 17, 2025)**
 - b. 2025-9707. Country Club Apartments Development Plan. JenkinsGavin, Agent, for Santa Fe Civic Housing Authority, Owner, requests approval of a development plan to establish development standards for an 84,396 sq. ft., 84-unit multifamily development located at 5999 Airport Road on a property totaling approximately 5.89 acres. The property is zoned R-29(Residential – 29 unit per acre) and is within the Airport Road Overlay District (Daniel Alvarado, Case Manager, djalvarado@santafenm.gov, (505) 946-7072).
 11. Staff Communications
 12. Matters from the Commission
 13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



MINUTES

A. ROLL CALL

Commissioners Present:

Vice Chair Peter Smith (Acting Chair)
Commissioner Gurushabad Mirando
Commissioner Thomas (TJ) Rieland
Commissioner Sasha McGhee
Commissioner Piper Kapin

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

MOTION: Commissioner Mirando moved, seconded by Commissioner McGhee, to approve the agenda as presented.

VOTE: The motion was approved on the following Roll Call vote:

For:
Commissioner Gurushabad Mirando Yes
Commissioner Sasha McGhee Yes
Commissioner Thomas (TJ) Rieland Yes
Commissioner Piper Kapin Yes

Against: None

Abstain: None



MINUTES

C. Consent of Agenda

D. APPROVAL OF MINUTES:

1. February 6, 2025

MOTION: Commissioner Mirando moved, seconded by Commissioner McGhee, to approve the minutes from Planning Commission meeting on February 6, 2025

VOTE: The motion was approved on the following Roll Call vote:

For: Commissioner Piper Kapin Yes
Commissioner Sasha McGhee Yes
Commissioner Gurushabad Mirando Yes
Commissioner Thomas (TJ) Rieland Yes

Against: None

Not present: None



MINUTES

E. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case #2024-7998. Los Prados Preliminary Subdivision Plat. JenkinsGavin, Inc., Agent, for HomeWise, Inc., owner and applicant (“Applicant”), was approved of a Preliminary Subdivision Plat for a 97-unit residential development consisting of 42 townhomes and 55 single-family detached homes, as well as the development of a 5.12-acre public park. The subject 14.41-acre parcel is located at 3730 South Meadows Road and is zoned R-6 (six residential units per acre). (Janice Biletnikoff, AICP, Case Manager, jibiletnikoff@santafenm.gov).

MOTION: Commissioner Rieland moved, seconded by Commissioner McGhee, to approve Findings for Case #2024-7988 without changes or corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Commissioner Piper Kap
 Commissioner Sasha McGhee Yes
 Commissioner Gurushabad Mirando Yes
 Commissioner Thomas (TJ) Rieland Yes

Against: None

Abstain: None



MINUTES

2. Case #2024 –7909. RKSS- Cerrillos Multifamily Development Plan. JenkinsGavin, Agent, for RKSS Santa Fe 1, LLC, Owner, was approved for a development plan to establish development standards for a 192,570 SF, 194-unit multifamily development located at 3471, 3431, 3435, 3439 and 3443 Cerrillos Road and 3420 + 3450 Rufina Street over five lots totaling approximately 7.5 acres. The property is zoned C-2 and R-3 (General Commercial and Residential – 3 unit per acre) and is within the Cerrillos Road Highway Corridor (Daniel Alvarado, Case Manager, djalvarado@santafenm.gov, 955-6670)

MOTION: Commissioner McGhee Moved, seconded by Commissioner Kapin, to approve Findings for Case #2024-7909 without changes or corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Commissioner Piper Kapin Yes
Commissioner Sasha McGhee Yes
Commissioner Gurushabad Mirando Yes
Commissioner Thomas (TJ) Rieland Yes

Abstain: None



MINUTES

F. OLD BUSINESS

G. NEW BUSINESS

1. **Case #2022-6013. Caja del Oro Subdivision Final Subdivision Plat. Victoria Dalton, of James W. Siebert and Associates, Inc., Agent, for the Pulte Group of New Mexico, Applicant, requests approval of a Final Development Plan for the Phase 2 portion which includes forty-four (44) single-family homes of the total 80 proposed for Phases 1 & 2 combined. The property is approximately +/- 9.07 acres of land of the +/-16.2 acres for both phases. It is located North of Caja del Oro Grant Road and East of the NM599 Frontage Road. (Claudia Kath, Case Manager, cmkath@santafenm.gov).**

MOTION: Commissioner Mirando moved, seconded by Vice Chair Smith, to approve 2022-6013, Caja del Oro final subdivision, subject to the conditions of approval technical corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Commissioner Piper Kapin Yes
 Commissioner Sasha McGhee Yes
 Commissioner Gurushabad Mirando Yes
 Commissioner Thomas (TJ) Rieland Yes

Against: None

Abstain: None



MINUTES

- 2. **Case 2024-9585. 4000 and 4200 Beckner Road Final Serial Subdivision Plat. Orion West LLC, Agent, for Santa Fe Las Soleras Medical Development LLC, Las Soleras Center LLC, and Las Soleras Village LLC, Owners, requests approval of a final plat to subdivide Lots 18A (29.82 acres) and 18B (18.01 acres) of the Las Soleras Master Plan to create a total of six lots. The parcels are zoned C-2 (General Commercial) and are located within the Suburban Archaeological Review District. (Janice Biletnikoff, Case Manager, jibiletnikoff@santafenm.gov)**

MOTION: Commissioner Mirando moved, seconded by Commissioner McGhee, to approve, 2025-9585, 4000 and 4200 Beckner Road Final serial subdivision, subject to conditions of approval and technical corrections.

VOTE: The motion was approved on the following Roll Call vote:

For: Commissioner Piper Kapin Yes
 Commissioner Sasha McGhee Yes
 Commissioner Gurushabad Mirando Yes
 Commissioner (TJ) Rieland Yes

Against: None

Abstain: None

I. STAFF COMMUNICATIONS

J. MATTERS FROM THE COMMISSION

J. ADJOURNMENT 6:59 P.M.

Liaison

Chair



City of Santa Fe

MINUTES

REGULAR MEETING OF THE
PLANNING COMMISSION
March 20, 2025, AT 6:00 PM

**PCity of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2022-6013

1950 Caja del Oro Road; Prado Caja del Oro Phase 2 Final Subdivision Plat

Owner's/Applicant's Name- The Pulte Group of New Mexico.

Agent's Name- Victoria Dalton of NM Land Solutions LLC

THIS MATTER came before the Planning Commission (“Commission”) for public hearing on March 20, 2025 (Hearing) upon the application (“Application”) of Victoria Dalton of NM Land Solutions LLC, as agent for The Pulte Group of New Mexico. (“Applicant”).

The Application pertains to a property located at 1950 Caja del Oro Grant Road totaling approximately 9.07 acres (“Property”). The Applicant requested final subdivision plat approval for a 44-lot single-family residential subdivision (“Project”). The properties are zoned R-10 (Residential -10 dwelling units per acre).

After conducting a public hearing and having heard from City of Santa Fe Planning Staff (“Staff”) and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Pursuant to SFCC Sections 14-2.3(C)(1) and 14-3.7(B)(3)(d), the Commission has the authority to review and approve or disapprove final subdivision plats.
2. The Santa Fe City Code (SFCC) 1987 Section 14-3.1 sets out the following procedures for a final plat application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 § 14-3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
3. The Applicant attended a pre-application conference on April 8, 2021.
4. The Applicant properly noticed the ENN meeting by completing an application, prominently displaying a public notice poster on the site, mailing public notice of the meeting to neighbors within a 200 foot radius, and conducting virtual meetings..
5. The Applicant held a virtual ENN meetings on May 11, 2021 and on August 10, 2021. The Project team, members of City staff, and several members of the public attended both meetings.
6. SFCC Section 14-3.7(B)(4) establishes certain procedures for final subdivision plat approval which include, without limitation, 1) that the Commission hold a public hearing, 2) that the Commission review the final plat, and 3) that the Commission render a decision based on the criteria set out in SFCC Section 14-3.7(C).
7. After a preliminary subdivision plat has been approved, SFCC Section 14-3.7(B)(4)(b) requires the Applicant to submit a final plat prepared by a professional land surveyor, together with maps, drawings, and other specified supplementary material as specified by the land use director (Submittal Requirements).
8. Staff reviewed the Application, related materials, and other information that the Applicant submitted for conformity with applicable SFCC requirements. Staff also provided the Planning Commission a written report of Staff’s findings (“Staff Report”) that evaluated the factors relevant to the Application.

9. At the Hearing, the Commission considered the Application in this case, received reports from Staff, heard testimony and evidence from the Applicant, and opened the floor for testimony from any interested members of the public prior to making a decision. No members of the public offered testimony at the Hearing.
10. Staff recommended that the Commission approve the final subdivision plat, subject to the conditions and technical corrections imposed at the time of preliminary subdivision plat approval and the technical corrections set out in the exhibits to the Staff Report.
11. SFCC Section 14-3.7(B)(4)(a) requires that the “final plat shall conform substantially to the preliminary plat as approved.”
12. SFCC Section 14-3.7(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a final subdivision.
13. The Commission finds that the Project shows due regard for all natural features, as there is minimal vegetation on the site, and there are no significant natural features, water courses, historical sites or structures, or other similar community assets. Archaeological clearance for this project was obtained. There are no historical sites.
14. The Commission finds that the land is suitable for platting and development purposes of the kind proposed. The land is suitable for residential development of similar density to surrounding neighborhoods with a major road adjoining the property and utilities either adjacent to the property or in close proximity to the property.
15. The Commission finds that the Project complies with the infrastructure design, improvement, and dedication standards including those required by the Water Division, Wastewater Division, Environmental Services, and Terrain Management.
16. The Commission finds that no existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any variances with this proposal.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. Pursuant to SFCC Sections 14-2.3(C)(1) and 14-3.7(B)(4)(e), the Commission has the authority to review and approve the Project subject to the technical correction listed in the exhibits to the staff report and the conditions and technical corrections imposed at the preliminary subdivision stage.
2. Pursuant to SFCC Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.
3. The Applicant attended a pre-application conference on April 8, 2021 in accordance with SFCC 1987 Section 14-3.1(E)(1).
4. Pursuant to SFCC 1987 Section 14-3.1(H), the Applicant properly noticed the ENN meeting.
5. Pursuant to SFCC 1987 Section 14-3.1 (F), the Applicant held virtual ENN meetings on May 11, 2021 and on August 10, 2021. The Project team, members of City staff, and several members of the public attended both meetings.
6. The final plat substantially conforms with the preliminary plat SFCC 1987 Section 14-3.7 (B)(4)(a)..
7. The Applicant met the applicable Submittal Requirements SFCC 1987 Section 14-3.1(G).
8. The final subdivision plat should be approved because all applicable code requirements and criteria for final subdivision plat approval have been met.

9. Pursuant to SFCC Section 14-3.7(C)(1), the Commission finds that the Project shows due regard for all natural features, as there is minimal vegetation on the site, and there are no significant natural features, water courses, historical sites or structures, or other similar community assets. Archaeological clearance for this project was obtained. There are no historical sites.
10. Pursuant to SFCC Section 14-3.7(C)(2), the Commission finds that the land is suitable for platting and development purposes of the kind proposed. The land is suitable for residential development of similar density to surrounding neighborhoods with a major road adjoining the property and utilities either adjacent to the property or in close proximity to the property.
11. Pursuant to SFCC Section 14-3.7(C)(3), the Commission finds that the Project complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9.
12. Pursuant to SFCC Section 14-3.7(C)(4)-(5), the Commission finds that no existing nonconformities are increased, nor are any nonconformities created by the approval of this subdivision. The Applicant is not requesting any variances with this proposal.

WHEREFORE, IT IS ORDERED ON THE 4th DAY OF APRIL 2025 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the final subdivision plat for the Project, subject to the Conditions and the technical corrections set forth in the Staff Report and exhibits. The final subdivision plat shall expire three years after issuance of this final action unless the plat is filed for record with the county clerk or an extension is granted under SFCC Section 14-3.19.

Dr. Peter Smith
Vice-Chairperson

Date

FILED:

Andrea Salazar
City Clerk

Date

APPROVED AS TO FORM:

Rebecca Mnuk-Herrmann
Assistant City Attorney

Date

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2024-9585

4000 and 4200 Beckner Road

Owner/Applicant's Name - Santa Fe Las Soleras Medical Development LLC, Las Soleras Center LLC, and Las Soleras Village LLC

Agent's Name - Orion West LLC

THIS MATTER came before the Planning Commission (Commission) for hearing on March 20, 2025 (Hearing), upon the application (Application) of Orion West LLC, agent for Santa Fe Las Soleras Medical Development LLC, Las Soleras Center LLC, and Las Soleras Village LLC (Applicant).

The Applicant sought the Commission's approval of a final serial subdivision plat for six (6) non-residential lots on approximately 47.83 acres (Project). The property is located at 4000 and 4200 Beckner Road (Property) and is zoned C-2 (General Commercial).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. At the Hearing, the Commission received reports from staff and testimony and evidence from the Applicant. No interested members of the public offered testimony.
2. The Santa Fe City Code (SFCC) 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 § 14-3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
3. The Applicant attended a pre-application conference on June 22, 2023.
4. The Applicant conducted one ENN on November 27, 2023, virtually via Zoom. A representative of the Applicant and City staff attended the ENN meeting. There were no members of the public in attendance.
5. On November 21, 2024, the Commission voted to approve the preliminary subdivision plat for the Property and on February 6, 2025 adopted written Findings of Fact and Conclusions of Law that approved the preliminary subdivision plat, subject to certain conditions of approval and technical corrections recommended by City staff (Case #2023-7752).

6. Planning and Land Use Department staff (Staff) reviewed the Application, related materials, and information submitted by the Applicant for conformity with applicable SFCC requirements. Staff provided the Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
7. Staff recommended that the Commission approve the final serial subdivision plat, subject to certain conditions and technical corrections set out in the Staff Report and attachments.
8. SFCC Section 14-3.7(B)(4) establishes certain procedures for final serial subdivision plat approval including, without limitation, a public hearing by the Commission, review of the final plat, and a decision based on the criteria set out in SFCC Section 14-3.7(C).
9. After a preliminary subdivision plat has been approved, SFCC Section 14-3.7(B)(3)(b) requires the Applicant to submit a final plat prepared by a professional land surveyor, together with improvement plans and other specified supplementary material that demonstrates conformance with the standards of SFCC Section 14-9 (Submittal Requirements).
10. SFCC Section 14-3.7(B)(4)(a) requires that the “final plat shall conform substantially to the preliminary plat as approved.”
11. SFCC Section 14-3.7(C) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a final subdivision.
12. Pursuant to SFCC Section 14-3.7(C)(1), the Commission finds that due regard has been shown for all natural features such as vegetation, water courses, historical sites and structures, and similar community assets. The City approved Archaeological Clearance for the property on November 26, 2008.
13. The land is suitable for platting and development purposes of the kind proposed. No portion of the proposed subdivision falls within the 100-year flood zone.
14. The Project, including the design of streets, utility and access easements, drainage, sidewalks and crosswalks complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9, subject to conditions and technical corrections identified within the staff report and the additional condition imposed at the public hearing.
15. The Project does not create any nonconformities or increase any existing nonconformities.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. Pursuant to SFCC Section 14-3.1, all procedures regarding the pre-application conference, ENN meeting, notice, and public hearing requirements have been followed.

2. Pursuant to SFCC 1987 Section 14-3.1(H)(1), notice of the ENN meeting was properly given. The Applicant effected notice by: mailing out notice via first-class mail to property owners within 300 feet of the subject property on October 23, 2024; e-mailing neighborhood associations within 300 feet; and posting the required City sign on the property from October 23, 2024 to March 20, 2025.
3. Pursuant to SFCC 1987 Section 14-3.1(F), the Applicant conducted an ENN meeting. The Applicant conducted one ENN on November 27, 2023. The ENN meeting was conducted virtually via Zoom. The ENN meeting was attended by a representative of the Applicant and City staff. There were no members of the public in attendance.
4. The Applicant attended the pre-application conference in accordance with SFCC 1987 Section 14-3.1(E).
5. The final plat substantially conforms with the preliminary plat.
6. Pursuant to SFCC Sections 14-2.3(C)(1) and 14-3.7(B)(4)(e), the Commission has the authority to review and approve or disapprove final subdivision plats, subject to the conditions of approval and technical corrections imposed at the preliminary plat stage.
7. Pursuant to SFCC Section 14-3.7(C)(2), the Commission finds that the land is suitable for platting and development purposes of the kind proposed.
8. Pursuant to SFCC Section 14-3.7(C)(3), the Commission finds that the final plat complies with the infrastructure design, improvement, and dedication standards set forth in SFCC Section 14-9, subject to conditions and technical corrections identified within the staff report.
9. Pursuant to SFCC Section 14-3.7(C)(4)-(5), the Commission finds that the final plat does not create any nonconformities or increase any existing nonconformities.
10. The Applicant met the applicable Submittal Requirements.
11. The Project meets all applicable criteria.
12. The final serial subdivision plat should be approved because all applicable code requirements and criteria for final serial subdivision plat approval have been met.

WHEREFORE, IT IS ORDERED ON THE 3RD DAY OF APRIL 2025 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the final subdivision plat for the Project, subject to the conditions of approval and technical corrections set forth in the Staff Report and attachments. Final decision was rendered on March 20, 2025. Approval of the final serial subdivision plat will expire three years after this date unless the plat is filed for record with the county clerk, or an extension is granted under SFCC Section 14-3.19.

Janet Clow
Chairperson

Date:

FILED:

Andrea X. Salazar
City Clerk

Date:

APPROVED AS TO FORM:

Rebecca Mnuk-Herrmann
Assistant City Attorney

Date:



Planning and Land Use Department Planning Commission Staff Report

<p>Case No: 2025-9707 Hearing Date: April 3rd, 2025 Agent: JenkinsGavin Inc. Owner: Santa Fe Civic Housing Authority Request: Development Plan Location: 5999 Airport Road Case Mgr.: Daniel Alvarado Zoning: R-29 Future Land Use: Residential High Density Overlay: Airport Road Overlay District Master Plan: None Pre-app Mtg: September 26th, 2024 ENN Mtg: December 17th, 2024 Proposal: The applicant requests approval of a Development Plan for the redevelopment of an existing multifamily complex with 62 units. The redevelopment result in a multifamily complex with 84 units totaling 84,396 SF.</p>	
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Case #2025-9707. Country Club Apartments Development Plan. JenkinsGavin, Agent, for Santa Fe Civic Housing Authority, Owner, requests approval of a development plan to establish development standards for an 84,396 SF, 84-unit multifamily development located at 5999 Airport Road on a property totaling approximately 5.89 acres. The property is zoned R-29(Residential – 29 unit per acre) and is within the Airport Road Overlay District (Daniel Alvarado, Case Manager, djalvarado@santafenm.gov, (505) 946-7072).

I. RECOMMENDATION:

Staff recommends **APPROVAL** of the Development Plan for Case #2025-9707.

One motion will be required for this case:

1. Approve or deny the Development Plan (Case #2025-9707), subject to the conditions of approval and technical corrections recommended by staff.

II. CONDITIONS OF APPROVAL AND TECHNICAL CORRECTIONS

Should the Commission vote to approve the development plan as proposed, staff recommends the conditions and technical corrections listed in Attachment A. Following standard practice, redline comments will be provided to the applicant who shall make all necessary changes to comply with conditions of approval and technical corrections, and submit the development plan in Mylar for signature.

III. EXECUTIVE SUMMARY:

The 5.89 acre subject property is located at 5999 Airport Rd, just west of the South Meadows and Airport intersection. The proposed development plan is comprised of 11 multifamily buildings totaling 84,396 SF with 84 units on a property totaling 5.89 acres. Of the 11 buildings, 9 are existing structures that are slated to be renovated, 1 is an existing building that will not be renovated, and 1 is a newly constructed building that will replace two existing buildings which currently are comprised of four dwelling units and resident amenities. The project will bring the total dwelling unit count from 62 to 84 units and add new amenities such as landscaping and outdoor recreation areas. The development would provide 112 parking spaces including 8 ADA accessible spaces.

Staff recommends approval of the Development Plan. The proposed development meets the Development Plan Approval Criteria, as outlined below in the staff report.

Figure 1: Development Area (boundary for illustrative purposes only)



IV. BACKGROUND

The Country Club Apartment Complex is an existing 62-unit apartment complex that is currently owned by the Santa Fe Civic Housing Authority (SFCHA). SFCHA received financing for the project through Low Income Housing Tax Credits (LIHTC) from the New Mexico Mortgage Finance Authority to renovate the complex and add 22 units. The renovations will be phased to prevent any tenants from being relocated to another complex or evicted.

V. PROJECT ANALYSIS: DEVELOPMENT PLAN

A. Project Description

The proposed development plan is comprised of 11 multifamily buildings totaling 84,396 SF square feet with 84 units on a property totaling 5.89 acres. The buildings are categorized into 3 “design types” – A, B, and C. Building 1 will replace an existing building and pool which are slated to be demolished. The distinctions between the design types are further described in Section D below.

Table 1. Building Details

Building	Design Type	Gross Floor Area	Units	Height
1	A (New)	29,528 SF	26	35' 11" (3 stories)
2	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
3	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
4	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
5	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
6	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
7	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
8	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
9	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
10	B (Renovation)	3,456 SF	4	23' 6" (2 stories)
11	C (No Work)	15,851 SF	22	23' 6" (2 stories)

Buildings 2-10 are arranged in a horseshoe pattern around a central area where Building 1 will be constructed. Building 11 is located in the southeast corner of the site adjacent to the eastern entrance. The buildings will be connected via access driveways and ADA accessible pedestrian paths.

In addition to the residential buildings, the proposed redevelopment features a “Plazuela” multi-use space, a children’s play area, and a dog park. Building 1 will also include an office for property management.

B. Surrounding Zoning and Land Use

The property is surrounded by diverse zoning districts, including industrial, residential, mixed use and shopping center, reflecting the mix of uses along Airport Rd at the time of its annexation. The surrounding land uses include single-family residential units to the north and northwest, vacant parcels to the west, manufactured homes to the southwest, restaurants and retail to the south, and a vacant commercial building to the east. The parcel to the project’s northeast is currently vacant, but will soon be the location of the Los Prados subdivision and park.

C. Project Zoning

The Property is zoned R-29, or Residential, 29 units per acre. “Dwelling, Multiple-Family” is allowed under this zoning category. As per SFCC 14-7.2(E)(1) and 14-7.2(F)(1), the project requests an increase in the maximum height and maximum density as part of this development plan. The applicant responded to the evaluation criteria for both maximum density and maximum height in their Development Plan Report, which is included in Exhibit C. Staff finds that the applicant has met the evaluation criteria and recommends approval for both maximum height and maximum density.

The property is also within the Airport Road Overlay District. This overlay district includes additional requirements for site design, architecture, landscaping, signage, site furnishings and outdoor lighting. The proposal meets these additional overlay requirements.

The proposal meets all dimensional standards as shown in Table 2 below.

Table 2. Zoning and Overlay Requirements

Requirement	R-29	Airport Road Overlay	Proposed
Height	Max. 24 ft, or 36 ft with Development Plan	N/A	35.1 ft
Building Setbacks	Street: 10 feet Rear: 0 feet Side: 0 feet	Street: 20 feet	30 feet +
Open Space	250 SF/unit = 21,000 SF	N/A	23,000 SF
Lot Coverage	40% maximum	N/A	8%
Density	Max. 10 units/acre, or 29 units/acre with Development Plan	N/A	14.26/acre

D. Architecture

The proposed development is subject to the architectural standards for a R-29 district, which requires designs to reach 180 points using Table 14-8.7-1: Point Requirements by Zoning District. The applicant has submitted a design which reaches 205 points for Building Type A (new building) and 190 points for building type B (renovated buildings). The applicant did not submit a design for Building Type C (existing, no renovation planned). Staff reviewed photos of Building Type C and determine it reaches 190 points.

The only new building proposed, Building 1/Building Type A, is by far the largest at 29,528 SF and 26 units. The I-shaped building is located in the center of the site and includes the property management office. The overall design reflects a contemporary Santa Fe style with flat roofs, monolithic walls, accented by balconies. The building is split into two sections connected by open-air, covered walkways. The façade is primarily grey and rust colored stucco, articulated by sections of White Hardipanel accents. Most of the residential units are accessed via a central stairwell and stairwells at both ends of the building. Some ground floor units are directly accessible via ground floor entrances.

Buildings 2-10 all share the Building Type B design. Each Type B building is 3,456 SF, split between 4 units. These buildings reflect a garden-apartment, neo-colonial style including pitched metal roofs,

exterior stairways and accessways framed by an unadorned colonnade and a central, protruding pediment. The façade material is primarily red brick with wood siding on the second floor. The buildings are slated for renovations, however most of the renovations are planned for the interiors.

Building 3 (Building Type C) is moderately sized at 15,851 SF and 22 units. It is very similar in design to Building Type B, including pitched roofs, exterior access stairwells, brick construction and white wood siding. However, the building configured into a U shape creating an interior courtyard. This building is not slated for renovation.

In addition to the standard Architectural Design requirements, the Airport Road Overlay also includes several architectural regulations. However, because most of the development is existing and is not directly adjacent to Airport Road, few of these regulations apply. The applicant has addressed the Airport Road Overlay Architecture regulations in their Development Plan Report, which is included in Exhibit C.

E. Access and Traffic

Vehicular ingress and egress to the property is via two existing driveways off Airport Road. The west driveway is 32' wide and accommodates right-in, right-out access. The east driveway is 25' wide and accommodates right-in, right-out and left-in access. Vehicles will circulate the development via an existing, two-way, horseshoe-shaped driveway.

Pedestrian, transit and cycling access is also via Airport Road. Pedestrians will access the site via the sidewalk on Airport Road, which will enter the site via new sidewalks extending from the property. Cyclists can access the property via a bicycle lane on Airport Road and enter through the main vehicular driveways. Transit riders are served by a westbound transit stop just outside the east driveway, as well as an eastbound stop directly across Airport Road, although riders must travel approximately 800 ft to the nearest crosswalk to access the northbound stops.

Bohannon Huston, a private engineering firm, conducted an Initial Transportation Assessment (ITA) The ITA found that the small increase in traffic from the additional 22 units is below the City's threshold for additional traffic analysis. The Public Works Department concurred with this finding.

F. Fire Prevention and Emergency Access

Primary fire access to all buildings is provided via the entrances off Airport Rd. All internal access roads are 26' wide in accordance with the IFC. All buildings will be equipped with automatic fire suppression. Additionally, the site will be protected via two existing fire hydrants and one new hydrant proposed as part of this development plan.

G. Vehicular Parking

The Parking requirements in Chapter 14 Appendix, Exhibit A, Table 14-8.6-1 is 1.25 spaces per dwelling unit for attached dwelling units less than 800 SF, and 1.5 spaces per dwelling units for attached dwelling units between 800 and 1,200 SF. The parking is calculated per unit but can be distributed throughout the site as needed so long as the total parking required count is achieved. Due to a rounding error, the project's proposed parking count is 1 unit short of the requirement, therefore correction of the project's parking count is being required as a condition of approval.

Table 3. Parking

Requirement	Unit Count	Parking Requirement	Parking Proposed
1.25 parking spaces per ≤ 800 SF unit	57	72	71
1.5 spaces per 800 SF - 1,200 SF unit	27	41	41
ADA Accessible	N/A	8	8
Total		113	112

H. Bicycle Parking

A development with a requirement of more than 100 vehicular parking spaces is required to provide at least 12 bicycle parking spaces. The applicant has proposed 31 uncovered, short-term bicycle parking spaces.

I. Grading and Drainage/Terrain Management

The site gently slopes from the east to west. There are no arroyos, floodplains or other major terrain features on the site. The development's lot coverage will increase by 6,500 SF as part of this development, however that lot coverage is offset by an increase in landscape/drainage facilities.

J. Landscaping, Signage and Lighting

The proposed landscape plan depicts significant landscaping throughout the site, including several types of deciduous and evergreen trees and shrubbery ornamental grasses and a small area of turf grass in the recreational areas. Landscaping is particularly concentrated along Airport Rd, along pedestrian paths, recreational areas and stormwater features to maximize shade, screening and infiltration. The Landscape and Irrigation review staff have provided significant technical corrections to the landscape plan requesting additional details and corrections.

In addition to the standard landscaping requirements, the Airport Road Overlay also includes several additional landscape regulations, including additional street trees along the Airport Rd. frontage. The applicant has addressed the Airport Road Overlay landscape regulations in their Development Plan Report and Landscape Plan, which is included in Exhibit C.

The development plan does not include a sign or striping plan, which has been requested as a condition of approval.

A lighting plan is provided which meets code requirements. The lighting is focused on the driveways and pedestrian areas, and there is no light spill at the edge of the property line.

K. Water and Sewer

The lot is served by an existing 14-inch water main in Airport Road. The lot is connected to the main via an existing 3" domestic water line and an existing 8" fire line.

The lot is currently served by a private sewer line that connects to a trunk line along the old Rufina St R.O.W. As part of this project, the lot will disconnect from this line and construct a new connection to the public sewer main in the Morning Drive cul-de-sac north of the property via an existing 20-foot public utility easement. This new connection includes the construction of a private lift station near the northeast

corner of the property.

L. Water Budget

The water budget was calculated using an estimation of the average water use per unit and landscaping. However, because the development is comprised 100% of Low Priced Dwelling Units (LPDU), no water demand offsets are required from this development as per SFCC 14-8.13(B)(5). A detailed Water Budget can be found in Exhibit C.

Table 4. Water Budget Details

Use per unit annually	41,843.9 gallons	.128-acre feet
Total domestic use for 26 new units	1,087,940.5 gallons	3.34-acre feet
First 3 Years of Landscaping	103,936 gallons	.32-acre feet
9.8% CONTINGENCY per SFCC §14-8.13(E)(1)	N/A for LPDUs	N/A for LPDUs
Total annual water consumption	1,191,876.5 gallons	3.66 A/F/Y

M. Impact on Schools

A School Impact Form has been submitted as part of this application and is included in Exhibit C. The schools impacted include Sweeny Elementary, Ortiz Middle School and Capital High School.

N. Santa Fe Homes Program

100% of the units in the project will be affordable, financed by Low Income Housing Tax Credits (LIHTC) issued by the New Mexico Mortgage Finance Authority. Under SFCC 26-1.31, projects financed by LIHTC are deemed in compliance with the Santa Fe Homes Program Ordinance. The project will have the following income limits:

- 4 units at 30% of Area Median Income (AMI)
- 23 units at 50% AMI
- 57 units at 60% AMI

O. Archaeology

The proposed development is within the Suburban Archaeological Review Overlay District; however the development area is less than 10 acres and therefore does not trigger the requirement for an archaeological clearance permit. Utility trenching will be monitored by an archaeologist during construction.

VI. DEVELOPMENT PLAN APPROVAL CRITERIA SECTION 14-3.8(D)(1)

SFCC Section 14-3.8 governs the purpose, applicability, procedures, and approval criteria for development plans. To approve a development plan, the Planning Commission must make the following findings:

Criterion 1: that the Planning Commission has the authority and is empowered to approve the development plan under the section of Chapter 14 described in the application;	Criterion Met: (Yes/No) YES
Applicant Response:	

SFCC §14-2.3 (C)(1) states, “ the planning commission shall review and approve or disapprove various specific development plans, requests and subdivision plats. When specifically authorized by Chapter 14, the decision of the planning commission is final, subject to any appeal right provided in this chapter.”

Staff Response:

Santa Fe City Code (SFCC) Subsection 14-2.3(C)(1) authorizes the Planning Commission to review and approve or disapprove development plans.

Criterion 2: that approving the development plan will not adversely affect the public interest; and

Criterion Met:
(Yes/No)
YES

Applicant Response:

The Project does not adversely affect public interest, and it serves the public interest through the construction of much-needed affordable housing for Santa Fe residents in a desired location. The location is within walking distance of public transportation and several amenities such as retail services, pharmacies, restaurants, and places of employment. The public interest is further served through investment in redevelopment of the 60-year old project, providing much needed upgrades and beautification.

Staff Response:

The Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. Multifamily residential developments are a permissible land use under both the zoning district, R-29, and the Future Land Use designations, Residential High Density. Therefore, the proposed development meets the goals of the General Plan is not adverse to the public interest.

Criterion 3: that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.

Criterion Met:
(Yes/No)
YES

Applicant Response:

The subject property is located on the Airport Road Overlay District, which is a diverse mixed-use area comprising a variety of residential, commercial, and institutional uses, including multi-family and single-family development, a public school, restaurants, and retail. The proposed residential use and scale of the Project are compatible with land uses in the vicinity and the addition of quality multi-family housing aligns with the General Plan’s policies regarding in fill development, mixed-use, and a mix housing types in all neighborhoods.

Staff Response:

The proposed use is compatible with the neighboring uses, buildings and structures. There are several other high density residential developments in the immediate vicinity, and the property has strong access to transportation options and amenities via Airport Rd. The development has taken

into account the possible impact to the existing tenants and have made plans to ensure no existing residents are displaced under the proposal.

VII. EARLY NEIGHBORHOOD NOTIFICATION

The applicant conducted an Early Neighborhood Notification (ENN) meeting for this project on December 17th, 2024.

At the ENN meeting, members of the applicant team, city staff, and approximately 16 members of the public were in attendance. The applicant team presented an overview of the proposed development and received questions from the public and City staff. Questions included addressing issues of pedestrian access to the forthcoming Los Prados Park, the type of the housing in the development, plans for the existing buildings and facilities, the timeline of the project, tenant relocation during construction, utilities, and ADA accessibility.

VIII. EXPIRATION

Per SFCC Section 14-3.19(B)(4) “Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6).”

IX. EXHIBITS

EXHIBIT A: Development Review Team

- 1. Landscape and Irrigation
- 2. Traffic
- 3. City Engineer
- 4. Fire Prevention
- 5. Wastewater
- 6. Water

EXHIBIT B: Maps and Photos

- 1. Future Land Use
- 2. Current Zoning
- 3. Aerial Photos
- 4. Street View
- 5. Birdseye View

EXHIBIT C: Applicant Materials

- 1. Application Report and Development Plan Criteria Response
- 2. Development Plan Application and Authorization
- 3. Warranty Deeds
- 4. ENN Notes
- 5. Utility Service Application
- 6. Water and Sewer Budgets
- 7. Initial Transportation Assessment
- 8. School Impact Form

EXHIBIT D: Development Plan Sheets

APPROVED AS TO FORM BY THE PLANNING AND LAND USE DEPARTMENT:

Title	Name	Initials
Department Director	Heather Lamboy, AICP	HL
Assistant Director	Maggie Moore	MM
Planning Division Manager	Dan Esquibel	DE
Planner Senior	Daniel Alvarado, AICP	DA

City of Santa Fe, New Mexico

**Cases #2025-9707
5999 Airport Road
Development Plan
Planning Commission
April 3rd, 2025**

Exhibit A

Development Review Team

- 1. Compiled list of Conditions of Approval and Technical Corrections**
- 2. Landscape and Irrigation**
- 3. Traffic**
- 4. City Engineer**
- 5. Fire Prevention**
- 6. Wastewater**
- 7. Water**

Table 1. Conditions of Approval and Technical Corrections

#	Condition of Approval	Dept. or Division	To be completed:
1	The parking count in the project report and development plan are conflicting. The project report proposes 104 surface spaces and 8 ADA spaces, but the total says only 87. Sheet DP_01 proposes 212 spaces, but I counted 131 including the spaces for building 11. Clarify and Revise the Parking counts.	Land Use	Prior to Recordation
2	Correct AA_202 and AB_201 to show that R-29 requires 180 architectural design points.	Land Use	Prior to Recordation
3	Provide a detail for the drip control valves as shown on Figure 8-6: Drip valve assembly. Page VIII-11 Landscape Irrigation Design Standards City of Santa Fe, New Mexico. (LIDS)	Landscape and Irrigation	Prior to Recordation
4	Provide a detail for the emitter placement as shown on Figure 5-5 Emitter Layout and wetted pattern. Page V-13 LIDS.	Landscape and Irrigation	Prior to Recordation
5	Provide a Detail for the drip emitter assembly.	Landscape and Irrigation	Prior to Recordation
6	Ammend plans to ensure that irrigation water lines do not cross city water mains.	Landscape and Irrigation	Prior to Recordation
7	Note heat tape required wrapped around the RP within the insulated enclosure.	Landscape and Irrigation	Prior to Recordation
8	Backflow Preventer yearly testing required per IAPMO 603.4.2	Landscape and Irrigation	Prior to Recordation
9	On the Plant Schedule please add plant quantities, plant size, and water requirements as shown on the city approved plant list.	Landscape and Irrigation	Prior to Recordation
10	All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. The seed rate shall be 2 lbs. per 1,000 sf.	Landscape and Irrigation	Prior to Recordation
11	Clarify in the Initial Transportation Assessment (ITA) why school and student populations are relevant to this project's traffic impact.	Traffic Engineer	Prior to Recordation
12	Remove reference in the Trip Generation Section to the COSF TIA Guidelines that "no further analysis is required since the increase in am and pm traffic is less than 10%." There is no such criteria in the City's ITA.	Traffic Engineer	Prior to Recordation
13	In the initial ITA Form Table A-1 the subtotals for the am and pm peaks should be totaled and not	Traffic	Prior to Recordation

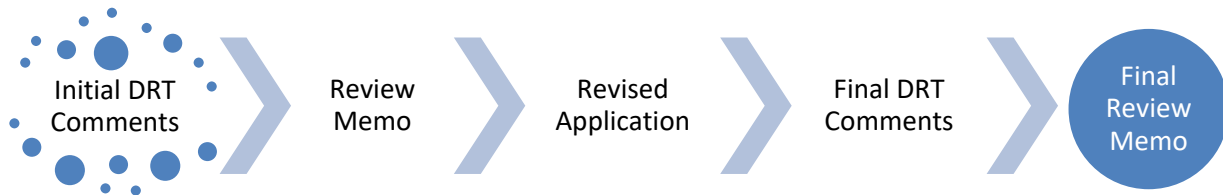
	broken down as in the previous two columns. Also the pm peak subtotal is showing in incorrect pm peak for the increase in dwelling units.	Engineer	
14	Provide discussion in the drainage narrative of how the stormwater will be directed from the new impervious surfaces into ponding areas.	City Engineer	Prior to Recordation
15	Grading and Drainage plan must clearly show existing versus new impervious surfaces. It's hard to find which sidewalks are existing, which will be replaced, and which are new. Provide flow directional areas on grading and drainage plan especially showing flow from new impervious surface areas to ponding areas. Provide additional topo elevation labels. Ponding areas are shown as 3" depressed areas however there is no way to verify this in the future. We would prefer some ponding areas to be at least one foot deep to verify pond dimensions for volumes. Ponding area volumes must be established for each ponding area showing dimensions. Label each pond with a pond number and the volume. Depressed areas are still encouraged, but the official ponding areas for the required storage must be verifiable in the future. The conveyance of water to those areas must be shown on the plans and verifiable in the future.	City Engineer	Prior to Recordation
16	Include parking signing and striping plan.	Land Use/City Engineer	Prior to Recordation
17	Change hatching for any surfaces that are new, such as new sidewalk versus existing sidewalk. Include the same for asphalt. The Civil site plan shows there are only 3 areas of new asphalt. Clarify if the entire asphalt drive to be replaced or only those areas labelled.	City Engineer	Prior to Recordation
18	Include pond sections and show how ponds will overflow.	City Engineer	
19	A financial guarantee will be required for all public and quasi-public infrastructure. The guarantee must be in place prior to recordation of development plan.	City Engineer	Prior to Recordation
20	Shall provide location of FDCs and fire riser location.	Fire Prevention	Prior to Recordation
21	No concrete encasement of public sewer lines. A pipe sleeve as approved by the Water and Wastewater Divisions shall be used.	Wastewater	Prior to Recordation
22	Connection to existing sewer manholes shall be core drilled.	Wastewater	Prior to Recordation
23	The sewer pipe from the lift station to the connection with the public manhole shall be private.	Wastewater	Prior to Recordation

24	Any existing utilities located in the existing 20-foot easement are to be shown in the plans.	Wastewater	Prior to Recordation
25	The existing sewer manhole the sewer line from the proposed lift station connects to shall be epoxy coated.	Wastewater	Prior to Recordation
26	An approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Water	Prior to Recordation
27	An approved Water Plan will be required for all new public water infrastructure and fire services.	Water	Prior to Recordation
28	A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall also be installed beyond the meter on any new irrigation service.	Water	Prior to Recordation
29	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water	Prior to Recordation
30	Developer shall work with CoSFW Engineering to appropriately size and locate master meters/fire service line.	Water	Prior to Recordation

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

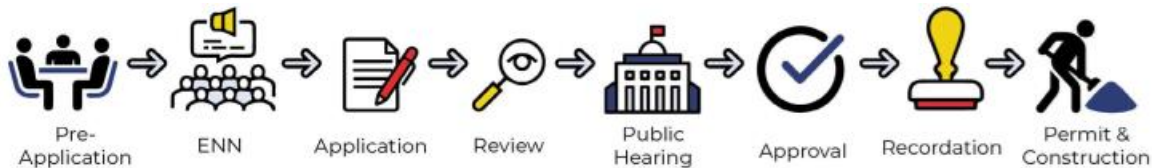


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: August 4, 2024

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, and Outdoor Lighting

Case No.: 2025-9707 Country Club Apartments Development Plan.

Case Planner: Daniel Alvarado, Case Manager, djalvarado@santafenm.gov

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Provide a detail for the drip control valves as shown on Figure 8-6: Drip valve assembly. Page VIII-11 Landscape Irrigation Design Standards City of Santa Fe, New Mexico. (LIDS)	Prior to recordation	
2. Provide a detail for the emitter placement as shown on Figure 5-5 Emitter Layout and wetted pattern. Page V-13 LIDS.	Prior to recordation	
3. Provide a Detail for the drip emitter assembly.	Prior to recordation	
4. Irrigation water lines shall not cross city water mains.	Prior to recordation	
5. Note heat tape required wrapped around the RP within the insulated enclosure.	Prior to recordation	
6. Backflow Preventer yearly testing required per IAPMO 603.4.2	Prior to recordation	
7. On the Plant Schedule please add plant quantities, plant size, and water requirements as shown on the city approved plant list.	Prior to recordation	
8. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. The seed rate shall be 2 lbs. per 1,000 sf.	Prior to recordation	
STAFF RESERVES THE RIGHT TO REQUIRE ADDITIONAL SUBMITTALS UPON RECEIVING REVISIONS.		

****The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.**

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):
(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: 2/12/2025

DRT Member: Teddy Padilla

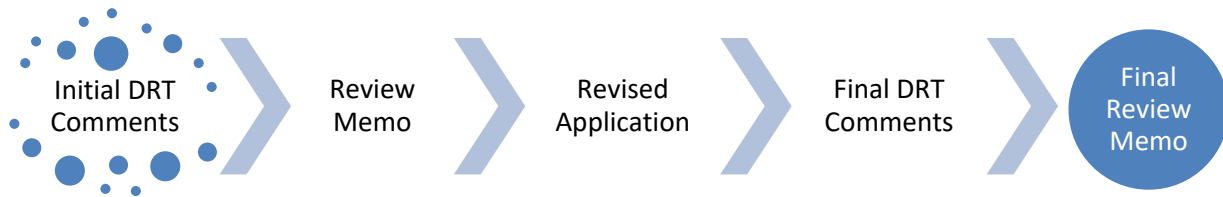
Dept/Div: Land Use Dept. Technical Review

Case No.: 2025-9707

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of receipt of the application. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

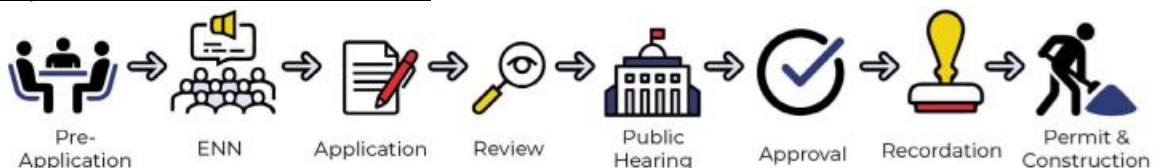


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of Construction* – these conditions/technical corrections can be addressed during the construction and inspection processes.

Development Review Process Flow Chart



Form Updated: January 2025

*See the 2025 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. At time of construction, the Contractor shall ensure ADA compliance for construction of ADA accessible features and appurtenances, as detailed in, and in addition to, the approved construction permit documents as required. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, 2015 New Mexico Accessible Parking Checklist, MUTCD, NMDOT Pedestrian Access Standards and PROWAG, NM State Statute and Administrative Code and DOJ regulations as applicable.		
2. Remove the #4 Accessible Parking sign, it is wrong and replace it with the 2015 NM Accessible Parking Checklist criteria for Accessible Parking Signs.		
3. Remove the #2 Accessible Parking Layout Plan it is wrong and replace it with the 2015 NM Accessible Parking Checklist criteria for Accessible Parking.		
4. ADA parking Ailes and Stalls will be placed in concrete.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. **Inspector reserves the right to request repair to any
2. sidewalk adjacent to lot if he deems the sidewalk unsafe,
3. loose or broken. Pursuant to Ch 23-3.6 in accordance

Form Updated: January 2025

4. with ADA standards, as provided in subsection
5. 23-1.7 SFCC 1987.**

6. 23-1.6, 23-1.7

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form for Planning Commission

Date: January 30, 2025

DRT Member: Fire Marshal Geronimo Griego

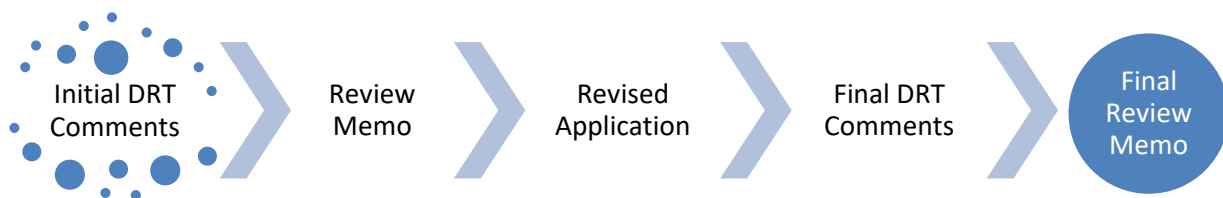
Dept/Div: Fire Prevention Division

Case No.: 2025-9707 Country Club Apartments Development Plan

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

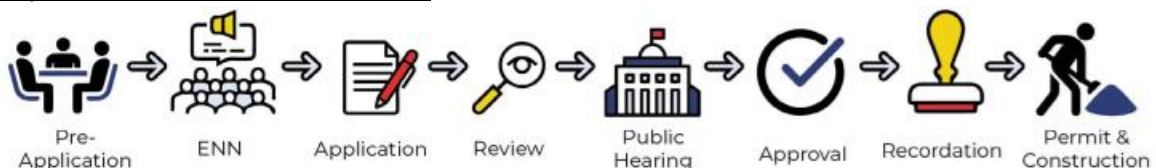


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
	Prior to Building Permit Approval	
1. Shall provide location of FDCs and fire riser location.		
2.		
3.		
4.		
5.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1.		
2.		
3.		
4.		
5.		
6.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

- 1.

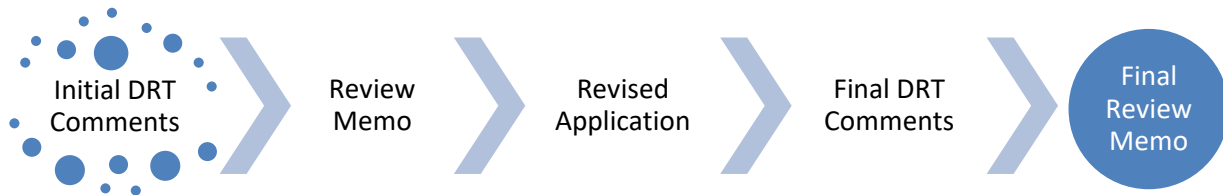
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

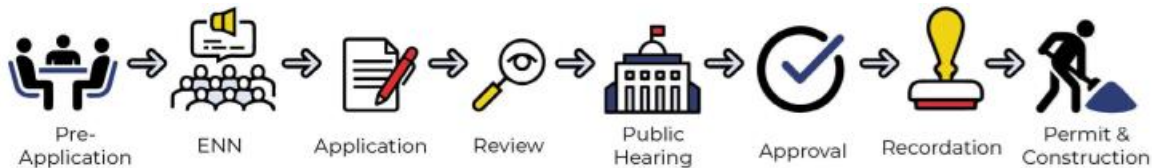


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 3-3-2025

DRT Member: Stan Holland P.E.

Dept/Div: Engineering/Wastewater

Case No.: 2025-9707 Country Club Apt. Development Plan

Case Planner: Daniel J. Alvarado

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-9707

Conditions of Approval:	Must be completed by:	Applicant response**:
1. No concrete encasement of public sewer lines. A pipe sleeve as approved by the Water and Wastewater Divisions shall be used	Prior to Recordation	
2. Connection to existing sewer manholes shall be core drilled	Prior to Recordation	
3. The sewer pipe from the lift station to the connection with the public manhole shall be private	Prior to Recordation	
4. Any existing utilities located in the existing 20-foot easement are to be shown in the plans	Prior to Recordation	
5. The existing sewer manhole the sewer line from the proposed lift station connects to shall be epoxy coated	Prior to Recordation	
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: 1-30-25

DRT Member: Clinton Peterson

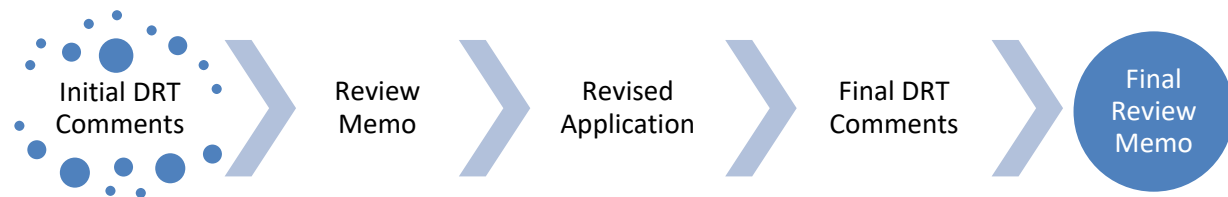
Dept/Div: Public Utilities/Water Division

Case No.: **Case #2025-9707. Country Club Development Plan**

Case Planner: Daniel Alvarado

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of receipt of the application. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of Construction* – these conditions/technical corrections can be addressed during the construction and inspection processes.

Development Review Process Flow Chart



*See the 2025 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1. An approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Prior to Building Permit Approval	
2. An approved Water Plan will be required for all new public water infrastructure and fire services.	Prior to Public Hearing	
3. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall also be installed beyond the meter on any new irrigation service.	At the time of development	
4. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	At the time of development	
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. Developer shall work with CoSFW Engineering to appropriately size and locate master meters/fire service line.	Prior to Water Plan Approval	
2.		
3.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

City of Santa Fe, New Mexico

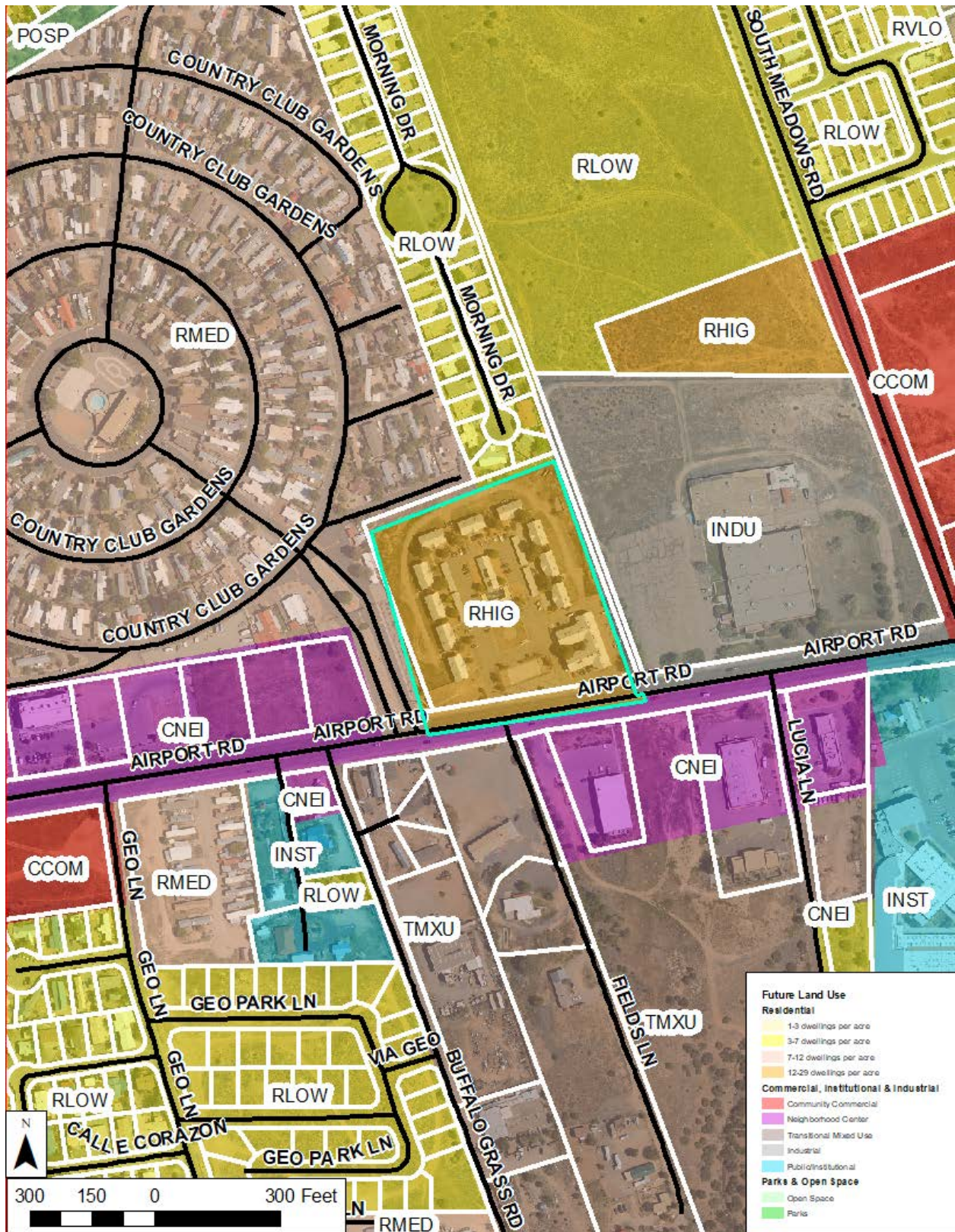
**Case #2025-9707
5999 Airport Rd
Development Plan
Planning Commission
April 3rd, 2025**

Exhibit B

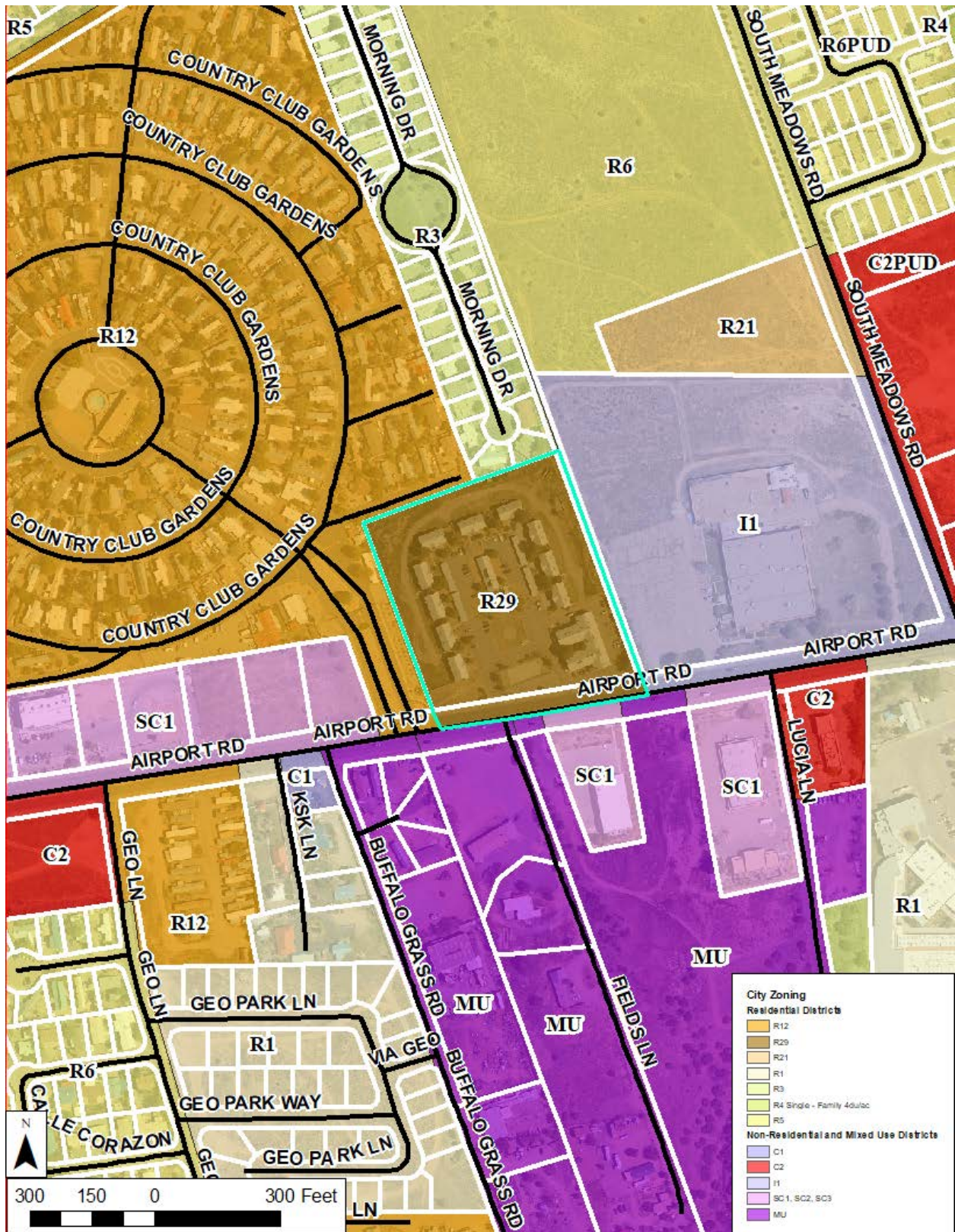
Maps and Photos

- 1. Future Land Use**
- 2. Current Zoning**
- 3. Aerial Photo**
- 4. Street View**
- 5. Birdseye View**

FUTURE LAND USE



CURRENT ZONING



AERIAL PHOTO



STREET VIEW



STREET VIEW



BIRDSEYE (North)



City of Santa Fe, New Mexico

Cases #2025-9707 5999

Airport Road

Development Plan

Planning Commission

April 3rd, 2025

Exhibit C

Application materials

1. Application Report and Development Plan Criteria Response
2. Development Plan Application and Authorization
3. Warranty Deeds
4. ENN Notes
5. Utility Service Application
6. Water and Sewer Budgets
7. Initial Transportation Assessment
8. School Impact Form



January 6, 2024

Claudia Kath, Senior Planner
Current Planning Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Country Club Apartments Development Plan
5999 Airport Rd.**

Dear Claudia:

This letter is respectfully submitted on behalf of Santa Fe Civic Housing Authority in application for Development Plan approval for the redevelopment of the current 62-unit Country Club Apartments (the “Project”). The 5.89-acre subject property is located at 5999 Airport Road, is zoned R-29 (Residential, 29 dwelling units/acre), and located in the Airport Road Overlay District.

Project Description

The redevelopment project involves the demolition of two existing buildings, one comprising four dwelling units and the other housing resident amenities (leasing office, laundry, storage, etc.). A new three-story building comprising 26 units and resident amenities will be constructed, for a total of 84 dwelling units. New landscaping improvements are proposed, and new outdoor recreational amenities will be constructed, such as Plazuela, a children’s play area, and a dog park. In addition, the Project includes the renovation of existing Buildings 1 - 10. The architectural style of the new building and the renovated buildings will align with respect to materiality and color scheme. No work is proposed for Building 11 at the southeast corner of the site, which comprises 22 units.

The new building construction and the renovations, totaling 62 units, are being financed through Low Income Housing Tax Credits (LIHTC) issued by the New Mexico Mortgage Finance Authority.

The proposed unit mix is an assortment of 3 BR/2 Bath, 2 BR/2 Bath, 2BR/1 Bath, and 1 BR/1 Bath units, as follows:

Unit Mix			
Unit Type	Description	Size	Quantity
A1	One bedroom, One bath	730 sf	2
A1 ACC (Physical)	One bedroom, One bath	730 sf	1

A2	Two bedroom, Two bath	857 sf	12
A2 ACC (Physical)	Two bedroom, Two bath	857 sf	2
A3	Three bedroom, Two bath	1152 sf	8
A3 ACC (Physical)	Three bedroom, Two bath	1152 sf	1
B2	Two bedroom, One bath	747 sf	35
B2 ACC (Sensory)	Two bedroom, One bath	747 sf	1
C1	One bedroom, One bath	586 sf	13
C2	Two bedroom, One bath	826 sf	8
C2.1	Two bedroom, One bath	867	1
Total			84

The proposed gross floor area is as follows:

Building Type A (New Construction)	37,153 GFA
Building Type B (Renovation)	31,104 GFA
Building Type C (No Work)	16,139 GFA
	84,396 GFA

Zoning Compliance

Compliance with relevant R-29 zoning standards is outlined below:

- Use: The proposed multifamily uses are permitted in the R-29 zoning district.
- Lot Coverage: Maximum permissible is 40.0% (102,627 SF); proposed lot coverage is 8% (20,525 SF)
- Open Space: R-29 districts require 250 SF of open space per dwelling unit, resulting in 21,000 SF of open space being required. The Project is providing 23,000 SF of open space.
- Parking: 111.75 spaces are required for the Project and 112 spaces are provided.
- Building Setbacks: The permissible setbacks for the project are as follows: along Airport Road (20'), side (10') and rear (10').
- Height: The maximum permissible building height is 36 feet with a development plan; the proposed height at its highest point is 35.10 feet. The evaluation criteria for the proposed height are below per SFCC §14-7.2(E).
- Density: Maximum 29 dwelling units per acre. The proposed density of 84 units is 14.26 dwellings per acre. Evaluation criteria for the proposed density are below per SFCC §14-7.2(F).

Parking

Parking will be provided as required per SFCC Table 14-8.6, and bicycle spaces will be provided in accordance with the provisions of SFCC Table 14-8.6-3. Please see the chart below:

57 Units less than 800 sq. ft. (1.25 per du)	71.25 Spaces
27 Units 800- 1,200 sq. ft. (1.5 per du)	40.5 Spaces
Required:	111.75 Spaces
Surface Parking Spaces	104 Spaces

Surface ADA Spaces

8 Spaces

Provided:

87 Spaces

Bicycle Parking (per SFCC 14-8.6-3)

Required: 12 Stalls

Provided: 31 Stalls

ADA Parking (per NMBC 1106.1)

Required: 8 Van Accessible Spaces

Provided: 8 Van Accessible Spaces

Access & Traffic

The Project is accessed from Airport Road via two existing driveways. The east driveway accommodates right-in, right-out, and left-in turning movements. Existing median improvements in Airport Road adjacent to the property include a dedicated left-turn lane permitting eastbound left turn access at the east driveway. The west driveway is limited to right-in/right-out turning movements only. No changes to the access are proposed.

An Initial Transportation Assessment was conducted by Bohannon Huston. The assessment considered the existing and proposed units, for a net addition of 22 units. It was found that “the increase is less than 10% compared to existing conditions in both AM and PM peak hours and therefore does not require additional analysis according to the *Transportation Impact Analysis Guidelines for the City of Santa Fe*.” The Public Works Department confirmed that a traffic study is not required. With respect to multi-modal opportunities, the property is served by Santa Fe Trails bus route 24 and a bus stop is located directly adjacent to the site. It is a 15-minute bus ride to the Santa Fe Place Mall, which serves as a transport hub to routes 1, 2, 4, 5, 6, 21, 22, and 26.

Terrain Management

The site’s terrain slopes gently from east to west, with no arroyos or flood plains on the property. Roof runoff will drain from canales into adjacent landscape areas. The developed runoff honors the pre-developed historical drainage patterns and will be directed to various shallow ponding areas that will also be utilized as landscape areas. The site’s lot coverage/impervious area will only increase by approximately 6,500 SF, offset by an increase in landscape area. Please refer to the Grading and Drainage Plans for further details.

Water & Sewer

Water. The property is currently served by a 3-inch private domestic waterline and a public 8-inch fire line, connected to the 14-inch main in Airport Road with a 3-inch master meter. The private waterline extends along the west side of the property and currently terminates near the north boundary. This line will be extended along the east side of the site and terminate at Building #11. The fire line will also be extended to loop through the drive aisle at the request of the Fire Marshal. The projected annual water budget for the additional 26 units to be constructed is 3.66 AFY. Since the units qualify as Low-Priced Dwelling units as defined in SFCC 26-2, no water demand offset is required in accordance with SFCC 14-8.13(B)(5). Please refer to the attached Water Budget for further details.

Sewer. The property is currently served by a private sewer line that extends north along the east boundary of Country Club Gardens to the trunk line in the old Rufina right-of-way. The Project will be disconnected from this line and a new connection will be constructed to the public sewer main in the Morning Drive cul-de-sac north of the property via an existing 20-foot public utility easement. This new connection includes the construction of a private lift station near the northeast corner of the property. Please refer to the Utility Plans for more information.

Fire Protection and Emergency Access

All buildings will be equipped with automatic fire suppression and the drive aisle is 26 feet wide in accordance with IFC requirements. In addition, there are two existing fire hydrants and one new proposed hydrant as reflected in the Utility Plans.

Landscaping

Landscaping is provided in accordance with SFCC 14-8.4 and SFCC §14-5.5(C)(7), Airport Road Overlay. Vegetation will include a combination of deciduous and evergreen trees, shrubs, and ornamental and native grasses. Street trees will be planted along Airport Road and all efforts will be made to preserve the existing trees. Street trees shall be planted at a minimum of twenty (20) feet on-center adjacent to the Airport Road property line. Stormwater collection swales are a key feature in the landscaped open space and will serve to maximize passive water harvesting and infiltration. Plant selections focus on drought-tolerant, native species that are viable in urban/semi-urban settings. A diverse combination of native and introduced plant species will provide biodiversity and resilience to climate shifts. Please refer to the attached Landscape Plans for further details.

The Project landscape approach is tailored to provide a range of enjoyable outdoor areas for community use including a Plazuela, children's play area, and dog park.

Open Space

In accordance with SFCC §14-7.5, the requisite open space in the R-29 district is 250 square feet per unit.

Required:

Common Open Space and/or Private Open Space: $250 \text{ SF} * 84 \text{ Units} = 21,000 \text{ SF}$

Provided:

Common Open Space and/or Private Open Space: 23,000 SF

Lighting & Signage

Full cut-off, downlit LED pole lights and wall-packs are proposed to provide adequate lighting in the parking areas and Plazuela. Please refer to the attached Site Lighting and Photometric Plans for further details.

A project identification monument sign is proposed to the left of the property's west entrance in accordance with SFCC §14-8.10 and SFCC §14-5.5(C)(8) as depicted on the Development Plan and Sheet A-091.

Development Plan Approval Criteria

In accordance with §14-3.8(D)(1), the Development Plan approval criteria are addressed below:

(a) that it is empowered to approve the plan under the section of Chapter 14 described in the application

SFCC §14-2.3 (C)(1) states, “ *the planning commission shall review and approve or disapprove various specific development plans, requests and subdivision plats. When specifically authorized by Chapter 14, the decision of the planning commission is final, subject to any appeal right provided in this chapter.*”

(b) that approving the development plan will not adversely affect the public interest

The Project does not adversely affect public interest, and it serves the public interest through the construction of much-needed affordable housing for Santa Fe residents in a desired location. The location is within walking distance of public transportation and several amenities such as retail services, pharmacies, restaurants, and places of employment. The public interest is further served through investment in redevelopment of the 60-year old project, providing much needed upgrades and beautification.

(c) that the use and any associated buildings are compatible with and adaptable to buildings , structures and uses of the abutting property and other properties in the vicinity of the premises under consideration

The subject property is located on the Airport Road Overlay District, which is a diverse mixed-use area comprising a variety of residential, commercial, and institutional uses, including multi-family and single-family development, a public school, restaurants, and retail. The proposed residential use and scale of the Project are compatible with land uses in the vicinity and the addition of quality multi-family housing aligns with the General Plan's policies regarding infill development, mixed-use, and a mix housing types in all neighborhoods.

Increase in Maximum Height

SFCC 14-7.2(E)(1) states, “ *A height up to thirty-six (36) feet in R-21 and R-29 districts may be approved provided that the request is part of a development plan or special use permit requiring approval by a land use board or the governing body .*” The evaluation criteria are addressed below:

(a) if the future land use designation shown on the general plan is high density residential;

The site is designated High Density Residential (12-29 dwelling units per acre) on the Future Land Use Map. In addition, in the General Plan, the site is designated as an Infill Area.

(b) the need for the increased height; however, financial gain or loss shall not be the sole determining factor;

The height increase allows for more affordable housing with a varied unit mix.

(c) if the height is needed to make the proposed development more affordable, what level of affordability will be provided and how that affordability will be guaranteed long term;

The Project is currently bound by a Land Use Restrictive Agreement (LURA) until 2034. Upon project completion, the LURA, which will be extended for an additional 35 years with respect to the 62 units being constructed/renovated.

A Land Use Restrictive Agreement (LURA) is an agreement between an owner/developer and a government entity that documents the restrictions placed upon a property in order to receive tax credits in the future. The LURA typically helps guarantee that the project receives a specific number of Low-Income Housing Tax Credits (LIHTC) credits over a specific time period.

(d) heights of existing buildings in the vicinity; and

Across the street from the Property at the intersection of South Meadows and Airport Road, a three-story multi-family project, Casa Siena, is nearing completion. Just south of Casa Siena, the Talavera Apartment Homes comprise two-story buildings. Opposite these apartment buildings is Sweeney Elementary School, which includes two-story structures. A short distance east on Airport Road, the Zia Center shopping area is a two-story development.

(e) impacts of the increased height upon the neighborhood and the community so that the increased height does not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of Chapter 14 and in the general public's interest.

Country Club Apartments comprises eleven existing two-story residential buildings. The proposed three-story building will be centrally located on the property and surrounded by the aforementioned existing buildings, thereby minimizing its visual impact by creating a buffer between the new structure and the surrounding properties. The three-story building will be set back approximately 127 feet from Airport Road, 192 feet from the west property line, 190 feet from the north property line, and 210 feet from the east boundary.

Additionally, the landscaping improvements include street trees along Airport Road to enhance the visual buffer and aesthetic appeal of the site.

Increase in Maximum Density

SFCC 14-7.2(F)(1) states, “Residential density up to twelve dwelling units per acre in an R-12 district; up to twenty-one dwelling units per acre in an R-21 district; and up to twenty-nine dwelling units per acre in an R-29 district may be approved provided that the proposed density is part of a development plan or special use permit requiring approval by a land use board or the governing body.” The evaluation criteria are addressed below:

(a) if the future land use designation shown on the general plan is high density residential;

The site is designated High Density Residential (12-29 dwelling units per acre) on the Future Land Use Map. In addition, in the General Plan, the site is designated as an Infill Area.

(b) the need for the increased height; however, financial gain or loss shall not be the sole determining factor;

The increase in density allows for the development of more affordable housing. At 10 dwellings per acre plus the SFHP density bonus, the maximum density would be 68 dwellings, only permitting an additional 6 units, which is inadequate in the face of the affordable housing crisis in our community.

(b) if the density is needed to make the proposed development more affordable, what level of affordability will be provided and how that affordability will be guaranteed long term;

The Project is currently bound by a Land Use Restrictive Agreement (LURA) until 2034. Upon project completion, the LURA, which will be extended for an additional 35 years with respect to the 62 units being constructed and renovated.

A Land Use Restrictive Agreement (LURA) is an agreement between an owner/developer and a government entity that documents the restrictions placed upon a property in order to receive tax credits in the future. The LURA typically helps guarantee that the project receives a specific number of Low-Income Housing Tax Credits (LIHTC) credits over a specific time period.

(c) densities of existing developments in the vicinity; and

The proposed density of 14.26 dwellings per acre is compatible with the surrounding area, which includes a variety of residential densities, ranging from single family (R-3, R-5, and R-6) to multi-family (R-12, R-21, R-29, and

commercial districts). For example, the County Club Gardens mobile home community is developed at 12 units per acre, Casa Siena is 49 units per acre totaling 171 units, and the Talavera community comprises 298 units or 16.5 per acre.

- (d) *impacts of the increased density on the neighborhood and the community so that the increased density does not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of Chapter 14 and in the general public's interest.*

The Project's current density is 10.53 units per acre, and the proposed density is 14.26 units per acre, resulting in a modest increase of 3.73 units per acre. This increase in density is limited to the new proposed building to be situated centrally within the property surrounded by the existing buildings and landscaping, helping to minimize the impacts associated with the higher density.

Airport Road Overlay District

The Project complies with the provisions of the Airport Road Overlay District relative to site design, architecture, landscaping, setbacks, signage, etc. Compliance with the applicable design standards in SFCC 14-5.5(C) is addressed below. Please refer to the attached Development Plans for further information.

(5) Site Design, Circulation and Parking

- (a) *New buildings or additions to existing buildings shall be oriented so that their primary façades face Airport Road or to integral courtyards that shall face Airport Road.*

The new building includes several entrances, one of which is on the south elevation. In addition, the building is set back 127 feet from Airport Road behind a landscaped courtyard.

- (b) *No more than one single-loaded row of parking is permitted adjacent to Airport Road.*

Done.

- (c) *Perimeter screening of parking lots shall be in accordance with Section 14-8.4(I)(2) except that screening walls, hedges or berms shall not exceed four (4) feet at maturity and shall be provided with openings adjacent to the Airport Road right-of-way to allow multiple points of pedestrian access to Airport Road.*

Two sidewalk connections to Airport Road are included and parking lot screening is provided as depicted in the Landscape Plans.

(d) Sidewalks adjacent to Airport Road shall be provided in accordance with Section 14-9.2.

The is an existing sidewalk adjacent to Airport Road.

(e) Direct vehicular access to Airport Road shall be prohibited where feasible as determined by the land use director in consultation with the public works director.

The site has two existing access points to Airport Road and no changes are proposed.

(f) New buildings shall have accessible pedestrian connections to Airport Road.

Done.

(g) Loading docks shall be located at the side or rear of buildings and shall be fully screened so that the loading dock is not visible from Airport Road. The screening shall be integrated with the building architecture, materials and construction.

N/A

(h) Vehicular access between and among adjacent lots shall be provided where feasible as determined by the land use director.

N/A

(i) Electrical transformers and water system backflow preventer cabinets shall be screened from view of public roadways and sidewalks by walled enclosures or landscape screening. Water system backflow preventer cabinets and wall-mounted utility boxes shall be painted the same color as the closest building on site.

N/A

(6) Architecture

In addition to requirements found in §14-8.7 SFCC 1987, Architectural Design Review, the following provisions shall apply:

(a) The primary entrance to any new building shall be visible from Airport Road.

The new building includes several entrances, one of which is on the south elevation. In addition, the building is set back 127 feet from Airport Road behind a landscaped courtyard.

(b) The finished floor elevation of the primary entrance to any new building shall not be three (3) feet higher or lower than the elevation of the adjacent sidewalk within the Airport Road right-of-way.

Done.

(c) Lot configuration permitting, the longest façade of all new buildings shall be aligned with Airport Road.

The existing buildings prevent the longest façade from facing Airport Road.

(e) No garage doors shall face Airport Road.

N/A

(e) The square footage of retail building façades that face Airport Road or any abutting street shall be comprised of between thirty percent and sixty percent double pane windows. Storefront glazing systems may be used to meet this requirement and shall not exceed fifty percent of the façade.

N/A

(f) A façade exceeding one hundred (100) feet, measured horizontally, shall incorporate wall plane projections or recesses of at least twenty-four (24) inches in depth encompassing at least fifty percent of the façade length.

Done.

(g) A façade exceeding one hundred (100) feet, measured horizontally, shall be of at least two different colors or materials with each color or material applied to an entire projection or recess.

Done.

(h) Except when covered by a portal or other permanent shade structure, windows shall be recessed a minimum of eight (8) inches.

Done.

(i) With the exception of buildings constructed for industrial uses in I-1 and I-2 zoning districts, no portion of any building wall facing Airport Road or any street shall extend more than twenty (20) feet, measured horizontally, without openings. Doors, windows or display windows shall be considered openings.

Openings are provided as required.

(j) Rooftop equipment shall be fully screened so that the equipment is not visible from the public right-of-way. The screening shall be integrated with the building architecture, materials and construction. Rooftop solar equipment shall be screened to the extent that the screening does not impair the performance of the solar equipment.

Rooftop equipment is screened as required.

(k) Drive-through and drive-in facilities shall be located to the rear of buildings.

(l) Enclosures required for trash receptacles and compactors shall be: (Ord. No. 2013-17 § 1)

(i) located to the rear of buildings; and

(ii) sized to include commercial recycling space sufficient to accommodate the commercial recycling generated by a development.

Done.

(7) Landscaping Standards

In addition to requirements found in Section 14-8.4 SFCC 1987, Landscape and Site Design, the following provisions shall apply:

(a) On-site storm water detention or retention facilities:

(i) shall be integrated with the required landscaping on the site;

(ii) when located adjacent to the Airport Road right-of-way, shall not be wider than ten (10) feet measured perpendicular to the Airport Road right-of-way; and

(iii) shall not create a physical barrier to pedestrian access from the Airport Road right-of-way to the site.

Done. Please refer to the Grading and Drainage Plans.

(b) Street trees shall be planted at a minimum of twenty (20) feet on-center adjacent to the Airport Road property line. Street trees shall be two and one half (2½) inches minimum caliper at time of planting and a minimum mature height of thirty (30) feet. The location and minimum mature height of street trees may be adjusted where conflicts with overhead utility lines exist.

Done. Please refer to the Landscape Plans.

(c) A minimum of thirty percent of required plant material shall be evergreen.

Done. Please refer to the Landscape Plans.

(d) The area between the Airport Road curb and the Airport Road sidewalk adjacent to the development site shall be landscaped as part of the required landscaping of the development site.

Landscaping along Airport Road is provided on-site adjacent to the right-of-way, because the area between the sidewalk and back-of-curb is insufficient and partially paved.

(e) The following provisions shall apply to new development of single-family dwellings and detached multiple-family dwellings on lots adjacent to the Airport Road right-of-way :

- (i) The twenty (20) foot setback area between buildings and the Airport Road right-of-way shall be planted with trees in accordance with Subsection 14-5.5(C)(7)(b). Trees shall be maintained and replaced when necessary by the property owner.
(Ord. #2018-21, § 3)*

Done. Please refer to the Landscape Plans.

(8) Signage

In addition to the requirements found in Section 14-8.10 SFCC 1987, Signs, the following provisions shall apply:

- (a) Pole-mounted signs are prohibited.*
- (b) Monument signs shall not exceed eight (8) feet in height.*
- (c) Signs shall be setback a minimum of ten (10) feet from any public right-of-way.*
- (d) Wall or building-mounted signs shall not extend above the roofline or parapet.*
- (e) Roof-mounted signs are prohibited.*

Done.

(9) Site Furnishings

- (a) A minimum of one bench per five thousand (5000) gross square feet of building is required on the site and shall be located adjacent to the Airport Road sidewalk, or to the primary building entrance, or to a public or private amenity provided by the development.*
- (b) At least one bench per development shall be shaded by a tree or a shade structure.*
- (c) Where multiple benches are required, a trash receptacle shall be provided adjacent to one of the benches.*
- (d) All site furnishings on a development site, including bicycle racks, benches, trash receptacles and light fixtures shall be of a coordinated design style and color.*

Done. Please refer to the Landscape Plans.

(10) Outdoor Lighting

In addition to compliance with Section 14-8.9 SFCC 1987, Outdoor Lighting, the following provisions apply:

- (a) Pole-mounted lights shall not exceed twenty feet in height.*
- (b) Lamps of building-mounted light fixtures shall not be placed more than twelve (12) feet above the exterior grade at the perimeter of the building .*

Done. Please refer to the Lighting Plans.

Santa Fe Homes Program

The Project will provide 100% Low Priced Dwelling Units in compliance with § 26-1.31.

“...if rental units in a SFHP development have been awarded tax credits under the federal low-income housing tax credit program, or have received substantial subsidy under another local, state or federal funding program that enables the Project to serve renters or meets other emerging needs as identified in the city's annual action plan and approved by HUD, such units shall be deemed to comply with all tenant certification and rental requirements of the SFHP program...”

The Project will have the following income limits:

- 4 units at 30% of Area Median Income (AMI)
- 23 units at 50% AMI
- 57 units at 60% AMI

Archaeology

The property is located in the Suburban Archaeological Review District. The property is less than 10 acres, so no archaeological clearance is required. However, an archaeological survey will be conducted since utility trenching will exceed 550 linear feet.

Early Neighborhood Notification

An Early Neighborhood Notification Meeting was held on December 17, 2024. City staff, consultants and members of the public were in attendance. The applicant presented a slide show that featured conceptual project plans and other relevant information. The question and answer session covered various topics that are summarized in the attached meeting notes.

In support of this request, the following documentation is submitted herewith for your reference:

1. Development Plan Application
2. Letters of Agent Authorization
3. Warranty Deed
4. Legal Lot of Record Deed
5. Early Neighborhood Notification Meeting Notes
6. Water Utility Service Application
7. Sewer Utility Service Application
8. Water Budget
9. Sewer Water Budget
10. Architectural Points Checklist
11. Traffic Impact Analysis

12. Development Plans

The Development Review Fees are calculated as follows:

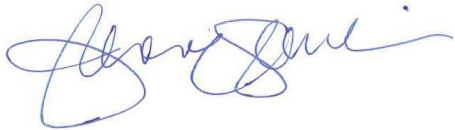
- Development Plan – \$20,000.00
- 1 Notice Poster – \$30.00

Please contact me should you have any questions or require additional information.

Thank you for your consideration.

Sincerely,

JENKINS GAVIN, INC.

A handwritten signature in blue ink, appearing to read "Jennifer Jenkins", written in a cursive style.

Jennifer Jenkins, Principal



APPLICATION RESOURCES

PLANNING AND LAND USE DEPARTMENT RESOURCES

MISSION: The mission of the Planning Division is to review development applications for compliance with the City's [land development code](#) and department policies while providing information, guidance, and the highest possible level of customer service to applicants, neighborhoods, and the City's quasi-judicial decision-making bodies.

OFFICE: Santa Fe City Hall 200 Lincoln Avenue Santa Fe, NM 87501

WEBSITE: <https://santafenm.gov/land-use/current-planning>

CURRENT AND UPCOMING PUBLIC MEETINGS: <https://santafe.primegov.com/public/portal>

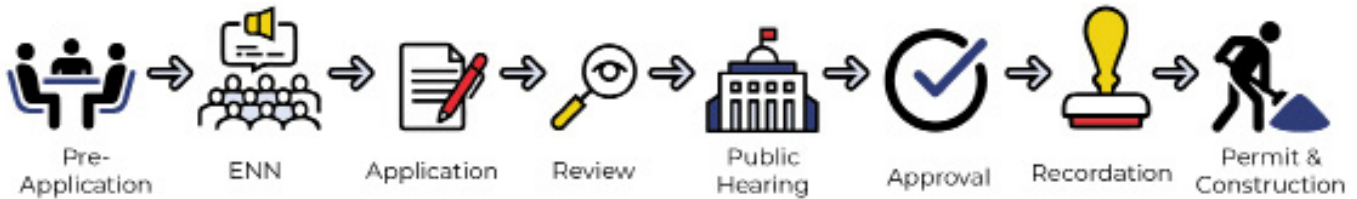
INTERACTIVE GIS MAPS: <https://santafenm.gov/information-technology-telecommunications/gis>

SANTA FE CITY CODE (SFCC): https://library.municode.com/nm/santa_fe/codes/code_of_ordinances

APPLICATION SUBMISSION AND FEES: All applications shall be submitted electronically as PDF files to planning@santafenm.gov. Incomplete applications, including those missing required submittals will be returned without processing. Application fees will be assessed and invoiced upon acceptance of the application for initial review. Fee tables may be viewed [online](#).

GENERAL QUESTIONS: zoningcounter@santafenm.gov

DEVELOPMENT REVIEW PROCESS



PRE-APPLICATION PHASE

For many applications, the development review process begins with a pre-application conference, where the applicant presents their proposal to the City's Development Review Team (DRT) for initial review and feedback. If the applicant wishes to proceed, a city planner is assigned to assist the applicant through the remaining steps of the process. For administratively reviewed applications, a pre-application conference is usually not required.

For all applications requiring a hearing before a land use board, the applicant shall schedule, notice and host an early neighborhood notification (ENN) meeting in coordination with the city planner. The intent of the ENN is to provide for an exchange of information among the applicant, residents, and property owners, prior to application submittal. ENN notification requirements are set forth in [SFCC §14-3.1\(H\)](#). Applications that qualify for administrative review and some variances are not required to conduct an ENN meeting.

DEVELOPMENT REVIEW PHASE

Once an application and all required submittals are prepared by the applicant, they or their agent submits the Application to the City via planning@santafenm.gov. The applicant will receive an email confirming receipt of the application, and an invoice for applicable development fees which can be paid online or at the cashier's office at City Hall. The city planner and the DRT review the application for completeness and compliance with all applicable codes, ordinances, plans and regulations. During the review process, the city planner or members of the DRT may request additional information or amendments from the applicant to complete the review process. The review timeline can range for 9-12 weeks or more depending on the complexity of the application and the total number of cases under review.

PUBLIC HEARING PHASE

When the City determines that the application is complete, the case is scheduled for a public hearing before the applicable Land Use Board. Notification requirements for public hearings are set forth in [SFCC §14-3.1\(H\)](#). If the application is approved at the public hearing, the city planner will prepare the findings of fact and conclusions of law (FOFCOL) documenting the approval findings, any conditions of approval and an expiration date for the approval, as required.

POST APPROVAL PHASE

When the applicant has met all necessary conditions of approval and technical corrections, the plan or plat is recorded at the County Clerk's office and filed with the City's plat room. The case planner prepares an action letter detailing the approval record. The applicant may then proceed to building permitting and construction.

If you have questions about the requirements please contact your assigned case planner or planning@santafenm.gov.



DEVELOPMENT PLAN (SECTION 14-3.8(C) SFCC)

Purpose and Intent: The intent of the development plan is to provide the plans to be followed in construction, including phasing; to ensure compliance with Chapter 14; document compliance with final actions to approve or conditionally approve development applications. Applicants shall submit plans and other documentation as required by the land use director that show compliance with the applicable provisions of the SFCC as provided in Section 14-3.1(C), including:

- a. existing conditions on the site and within two hundred (200) feet of the site;
b. proposed modifications to the site, including the locations of existing and new structures, grading, landscaping, lighting, pedestrian and vehicular circulation, parking and loading facilities;
c. the types, extent and intensity of land uses that are proposed;
d. proposed modifications to the infrastructure serving the site, including public and private streets, driveways and traffic control measures and utilities;
e. documentation of compliance with development standards such as required yards, lot coverage, height of structures and open space;
f. the phases of development, if applicable;
g. for residential development, a proposal for provision of affordable housing as required by Section 14-8.11 (Santa Fe Homes Program);
h. a development water budget as required by Section 14-8.13;
i. for a development plan or final development plan, sufficient detail to clearly show how each applicable development standard is to be met and identify any variance or waiver required;
j. for a preliminary development plan, sufficient detail to demonstrate the feasibility of meeting all applicable development standards, including an analysis of the type and extent of variances or waivers required, specific requests for which may be included.

DEVELOPMENT PLAN SUBMITTAL CHECKLIST

Submittal requirements may vary based on the individual application. The City reserves the right to request additional information during the review process. Please submit each of the following items as separate PDF files saved with unique and descriptive file names:

Table with 2 columns listing submittal requirements: Application letter, Statement addressing approval criteria, Legal lot of record, Development Plan, ENN meeting notes, Existing Site Conditions, Sewer plan, Water plan, Water Budget, Water Utility Service Application, Signage Specifications, Dimensioned color elevations, Architectural Points Analysis, Fire and emergency access plan per IFC, Terrain management plans, Landscape plan, Photometric plan, Pedestrian, Bicycle, and Vehicular plan, Site Section, Traffic impact analysis, Archaeological clearance, Affordable Housing Proposal.

DEVELOPMENT PLAN AMENDMENT SUBMITTAL CHECKLIST

Table with 2 columns listing amendment submittal requirements: Prior Approval Record, Amended Development Plan Set, Purpose of Amendment.



Is this an amendment to a previously approved Development Plan? Yes No

PARCEL INFORMATION

Form with fields: Project Name, Address, Property Size, Zoning, Current Use of Land, Proposed Use of Land, Does a rezoning application accompany this application?, Are any variances required?, Pre-application Conference Date, Early Neighborhood Notice (ENN) Meeting Date, Estimated Total Cost of Development.

PROPERTY OWNER INFORMATION

Form with fields: Name (First, Last), Address (Street Address, Suite/Unit #, City, State, ZIP Code), Phone, E-mail Address.

APPLICANT/AGENT INFORMATION (IF DIFFERENT FROM OWNER)

Form with fields: Company Name, Name (First, Last), Address (Street Address, Suite/Unit #, City, State, ZIP Code), Phone, E-mail Address, Correspondence Directed To (Owner, Applicant, Both).

AGENT AUTHORIZATION (IF APPLICABLE)

Form with fields: I am/We are the owner(s) and record title holder(s) of the property located at: I/we authorize to act as my/our agent to execute this application. Signed: Date: (two rows).

SIGNATURE

Form with text: I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 1987. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a pre-application meeting to verify that the attached proposal is in compliance with the City's zoning and development plan requirements. Signature: [Handwritten Signature] Date:

WARRANTY DEED

Country Club Apartments Limited Partnership, a New Mexico limited partnership, for consideration paid, grants to Santa Fe Civic Housing Authority, Inc., whose address is 664 Alta Vista, Santa Fe, New Mexico 87505, the real property in Santa Fe County, New Mexico more particularly described as:

TRACT A

BEGINNING AT THE NORTHEASTERLY CORNER OF THE PROPERTY HEREIN DESCRIBED FROM WHENCE A TIC TO AN IRON PIPE MARKING THE NORTHEAST CORNER OF SECTION 12, T. 16N., R. 8E., N.M.P.M. BEARS THE FOLLOWING COURSES AND DISTANCES: N 20° 16' 00" W, 363.81 FEET TO A POINT; THENCE, N 76° 39' 35" E, 769.25 FEET; THENCE FROM SAID POINT AND PLACE OF BEGINNING:

S 20° 16' 00" E, 206.86 FEET TO A POINT; THENCE,
S 80° 06' 44" W, 119.26 FEET TO A POINT; THENCE,
S 80° 29' 35" W, 200.68 FEET TO A POINT; THENCE,
N 20° 15' 05" W, 86.96 FEET TO A POINT; THENCE,
N 69° 46' 00" E, 124.45 FEET TO A POINT; THENCE,
N 00° 28' 25" E, 65.36 FEET TO A POINT; THENCE,
N 69° 46' 00" E, 166.84 FEET TO THE POINT AND PLACE OF BEGINNING.

TRACT B

A CERTAIN TRACT OF LAND LYING AND BEING SITUATE WITHIN SECTION 12, T. 16 N, R. 8E., N.M.P.M., SANTA FE COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF THE PROPERTY HEREIN DESCRIBED FROM WHENCE A TIE TO AN IRON PIPE MARKING THE NORTHEAST CORNER OF SECTION 12, T. 16N., R. 8E, N.M.P.M., BEARS THE FOLLOWING COURSES AND DISTANCES, N 76° 39' 35" E, 769.25 FEET; THENCE FROM SAID POINT AND PLACE OF BEGINNING:

S 20° 16' 00" E, 363.81 FEET TO A POINT; THENCE,
S 69° 46' 00" W, 166.84 FEET TO A POINT; THENCE,
S 00° 28' 25" W, 65.36 FEET TO A POINT; THENCE,
S 69° 46' 00" W, 124.45 FEET TO A POINT; THENCE,
S 20° 15' 05" E, 86.96 FEET TO A POINT; THENCE,
S 80° 29' 35" W, 177.51 FEET TO A POINT; THENCE,
N 20° 14' 31" W, 478.79 FEET TO A POINT; THENCE,
N 69° 45' 28" E, 488.64 FEET TO THE POINT AND PLACE OF BEGINNING.

ALL AS SHOWN ON PLAT OF SURVEY ENTITLED "ALTA SURVEY OF THE COUNTRY CLUB APARTMENTS TRACTS A & B, F.H.A. PROJECT #116-35132 1002 AIRPORT ROAD, SANTA FE COUNTY, NEW MEXICO.

A.P.N. 54163328

Subject to easements, restrictions, reservations and encumbrances of record, and taxes for current and subsequent years.

with warranty covenants.

Warranty Deed

SFC CLERK RECORDED 08/01/2022

Witness my hand and seal this 27th day of July, 2022.

COUNTRY CLUB APARTMENTS LIMITED PARTNERSHIP,
a New Mexico Limited Partnership

By: SF COUNTRY CLUB APARTMENTS, LLC,
a New Mexico Limited Liability Company,
Its General Partner

By: SANTA FE CIVIC HOUSING AUTHORITY, INC.,
a New Mexico Nonprofit Corporation,
Its Sole Member

By: Ed Romero
Ed Romero,
its Executive Director

Date:

SFC CLERK RECORDED 08/01/2022

ACKNOWLEDGMENT

State of New Mexico)
) ss
County of Santa Fe)

This instrument was acknowledged before me on July 27 2022 by Ed Romero, in his capacity as Executive Director of Santa Fe Civic Housing Authority, Inc.

My commission expires: 8/30/2025

Nellie Olivas
Notary

STATE OF NEW MEXICO
NOTARY PUBLIC
NELLIE OLIVAS
COMMISSION # 1135368
COMMISSION EXPIRES 08/30/2025

COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss
I Hereby Certify That This Instrument Was Filed for
Record On The 1ST Day Of August, 2022 at 03:35:46 PM
And Was Duly Recorded as Instrument # 1994157
Of The Records Of Santa Fe County

WARRANTY DEED
PAGES: 2

Witness My Hand And Seal Of Office
Katharine E. Clark
Deputy _____ County Clerk, Santa Fe, NM

Warranty Deed



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Return to: Weagley Agency, Inc.
111 Wyoming N. E.
Albuquerque, New Mexico 87110

SP - 7 SHORT FORM WARRANTY DEED (Joint Tenants) - Rev. 11-29-66 - New Mexico Statutory Form

WARRANTY DEED (Joint Tenants)

CLARENCE JACKSON and ROSE M. JACKSON, his wife

262496

for consideration paid, grant

to MAURICE R. McDONALD

and SANREN E. McDONALD, his wife

as joint tenants the following described real estate in Santa Fe County, New Mexico:

A certain tract of land situate within the Northeast one quarter (NE 1/4) of Section 12, Township 16 North, Range 8 East, New Mexico Principal Meridian, Santa Fe County, New Mexico; being more particularly described by a metes and bounds survey as follows:

BEGINNING at the Southeast corner of the parcel herein described, being a point on the Northerly right of way line of Airport Road (State Road No. 284), whence the one-quarter corner common to Sections 1 and 12, T. 16 N., R. 8 E., N.M.P.M. (U.S.G.L.O. stone corner in place) bears N. 71 deg. 01' 40" W., 2228.48 feet distance; thence

S. 80 deg. 31' W., 497.73 feet distance along the Northerly right of way line of said Airport Road to the Southwest corner of the parcel herein described, thence

N. 20 deg. 14' W., 488.13 feet distance to the Northwest corner of the parcel herein described; thence

N. 69 deg. 46' E., 489.00 feet distance to the Northeast corner of the parcel herein described; thence

S. 20 deg. 14' E., 580.97 feet distance to the Southeast corner and place of beginning, and containing 6.00 acres, more or less.

SUBJECT TO reservations, restrictions and easements of record, to taxes for the last half of 1968 and subsequent years, and to the following mortgages which the Grantees herein assume and agree to pay:

First Mortgage from Clarence Jackson and Rose M. Jackson, his wife, to Southwest Savings and Loan Association, dated June 28, 1968, recorded in Mtg. Book 201, page 501, records of Santa Fe County, New Mexico; and

Second Mortgage from Clarence Jackson and Rose M. Jackson, his wife, to New Mexico Earth Moving Contractors, Incorporated, dated July 7, 1965, recorded in Mtg. Book 182, page 490, which mortgage was assigned to Builders Services, Inc. in Mtg. Book 182, page 492, and by it assigned to First National Bank in Albuquerque as shown in Mtg. Book 193, page 512, which mortgage was subordinated to the above described First Mortgage by subordination agreement dated June 28, 1968, recorded in Mtg. Book 201, page 499, records of Santa Fe County, New Mexico.

262497

with warranty covenants.
 WITNESS OUR hands and seals this 2 day of January, 1969
 (Seal) Clarence Jackson (Seal)
 (Seal) Rose M. Jackson (Seal)

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO
 COUNTY OF Bernalillo ss.
 The foregoing instrument was acknowledged before me this 2 day of January, 1969,
 by Clarence Jackson and Rose M. Jackson, his wife
 (Name or Names of Person or Persons Acknowledging)
 My commission expires: 9-12-70
 (Seal) Jeanne W. Bels Notary Public

FOR RECORDER'S USE ONLY
 STATE OF NEW MEXICO)
 COUNTY OF SANTA FE) 314/102
 I hereby certify that this instrument was filed for
 record on the 14 day of January, A.D.,
 1969 at 8:03 o'clock AM
 was indexed in book 232 page 496
 of the records of Santa Fe Co. 1197
 Witness my hand and seal this 11 day of January, 1969.
 PITA I. GONZALEZ
 County Clerk, Santa Fe County, N.M.
Rose M. Glass
 Deputy

ACKNOWLEDGMENT FOR CORPORATION
 STATE OF NEW MEXICO)
 COUNTY OF _____) ss.
 The foregoing instrument was acknowledged before me this _____ day of _____, 19____, by _____ (Name of Officer) _____ (Title of Officer) _____ (Name of Corporation Acknowledging) _____ (State of Incorporation) corporation, on behalf of said corporation.
 My commission expires _____
 Notary Public

THE VALLIANT CO. ALBUQUERQUE, N. M. 80001

102



**COUNTRY CLUB APARTMENTS
EARLY NEIGHBORHOOD NOTIFICATION MEETING NOTES**

Date: December 17, 2024
 Time: 5:30 – 7:00
 Location: Virtual Meeting held via Zoom
 Attendees: City and Land Use Department Representative (Claudia Kath, Carly Venditti, and Joel Cruz-Haber)
 JenkinsGavin, Inc (Jennifer Jenkins, Lauren McAllister)
 Santa Fe Civic Housing Authority (Dave Martinez)
 Architect (Tomas Gifford)
 ±16 Attendees

This ENN meeting addressed the Development Plan and lot split application for the Country Club Apartments. A presentation was given by Jennifer Jenkins of JenkinsGavin, Inc. regarding the upcoming application to the City of Santa Fe for the property located at 5999 Airport Rd. Santa Fe, New Mexico 87507. Following the presentation, a question and answer session was held. The following notes capture the questions raised and the responses by the Project Team.

Questions/Comments	Responses
Does the site currently have bike parking?	The existing site does not have bike parking. However, the redevelopment plan includes 50% bike parking throughout the site.
What is the project timeline for construction and renovation?	The project is estimated to take 15 to 18 months. Construction of the new building is scheduled to begin in late spring or early summer, with renovation activities happening concurrently in phases. Completion is expected by the end of 2026.
What is the plan for trash removal and landscaping improvements?	The current dirt track used for trash pick-up will be replaced with designated dumpster locations. Landscaping improvements will include stormwater collection areas, restoration of disturbed areas, and the addition of new vegetation to enhance the site and encourage outdoor gatherings.
Will the existing carport areas be removed?	Yes, the existing carports are proposed to be removed due to their age and condition.
What is the plan for tree preservation, and planting?	The project includes significant tree planting along Airport Road.

What are the plans for signage?	A new monument sign will be installed as part of the redevelopment.
How will parking be addressed within the two tracts?	Parking within both tracts will each be in compliance with the City code.
What is the current fencing, and what are the fencing plans for the project?	Existing fencing includes cedar wood planks, chain-link fencing along the east property line, and a low wall with wrought iron pickets. The project will maintain these features and introduce new fencing around the proposed play area.
Are precautions being taken for digging or drilling near the Eberline property, which is not yet decommissioned?	Minimal ground disturbance is planned, ensuring safety near the Eberline property.
Will there be access to the proposed park on South Meadows through surrounding neighborhoods?	The park will be accessible via the sidewalk network. However, the project does not include easements for direct park access.
What type of residences will be part of the project?	The residences will be deeply affordable, with all residents required to meet income qualifications at 60% of AMI or less.
What are the accessibility features for the new project?	Accessible units are being added in the new building, and accessible parking spaces and crosswalks will be included to improve site access.
How will tenant relocation be handled during renovations?	Tenants will be relocated to other sites through attrition. There will be no evictions, and the process will be managed to ensure a seamless transition.
How will the sewer connection be addressed?	The project will be connected to Morning Drive. Any sewer connection issues identified during the city's review process will be addressed.
How many stories will the project consist of?	Existing two-story buildings will be renovated, and a new three-story building will be constructed in the center of the complex.
What is planned for the backspace of the property?	No activities are planned for the backspace of the property. Minimal lighting will be installed throughout the site for safety purposes.

City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION

***Fill in all highlighted fields on this application. Applicant must sign and date application.**

- Check all that apply:** Water Service Technical Evaluation Request
 Sewer Service Technical Evaluation Request
 Agreement for Metered Service (AMS)
 Agreement to Construct and Dedicate Public Improvements (ACD)
 Annexation Application Water Budget
 Water Offset Program/Water Rights Compliance Evaluation Request for a Development Water Budget

WORK ORDER # _____

Applicant Name: Jennifer Jenkins
Project Address: 5999 Airport Rd. Santa Fe, New Mexico 87507

***Required - Attach a Plat of the Property (legal lot of record and proposed development)**

Plat Filing Information: Year 2009 Book 557 Page 20 Township, Range, Section: T16N, R8E, S12
Location: (check one only) Inside Corporate City Limits Outside Corporate City Limits
Property Uniform Property Code: _____ **Existing Well:** Yes No
Legal Description including lot size: TR A, 5.1 AC, COUNTRY CLUB APTS, NW4-NE4-NE4, S12 T16N R8E

Short Description of Project: New three-story building, renovation of nine existing buildings, and demolition of two buildings. The housing capacity will increase to 84 units (22 unit increase).
Construction Start Date: Late spring or early summer.

***RESIDENTIAL PROJECT - Complete the following**

- | | |
|---|-------------------|
| 1. Type of project: (i.e. Single Family Residence, Subdivision, Lot split, Apartments) | <u>Apartments</u> |
| 2. Total number of lots approved on final plat/development plan: | <u>84</u> |
| 3. Total number of homes existing or under construction: | <u>62</u> |
| 4. Size of service requested: (5/8", 3/4", 1" or 2") | <u>TBD</u> |

***Please fill in all categories below that apply for which water service is requested:**

--- COMPLETED BY APPLICANT ---

- Number of Lots or Units**
- _____ Single Family Dwelling Unit, lot size less than 6,000 sq. ft.
 - _____ Single Family Dwelling Unit, lot size 6,000-10,890 sq. ft.
 - _____ Single Family Dwelling Unit, lot size greater than 10,890 sq. ft.
 - _____ Mobile Home (in Mobile home park)
 - _____ Guest house (detached)
 - 26 Apartment/Condominium
 - _____ Senior Complex

26* **Total** *26 Increased Units

--- COMPLETED BY STAFF ---	
Water Use Factors	Annual Water Demand
.15 afy per d.u.	_____
.17 afy per d.u.	_____
.25 afy per d.u.	_____
.17 afy per d.u.	_____
.09 afy per d.u.	_____
.16 afy per d.u.	_____
.12 afy per d.u.	_____

Total Residential Water Demand _____ **AFY**

City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION

***COMMERCIAL PROJECT - Complete the following**

Type of Project: (i.e. Office, Retail, Mixed, etc.) _____
 Total gross floor area of building: _____ square feet
 Total area of lot, tract or parcel: _____ acres
 Automatic Fire Sprinkler System: _____ Yes _____ No
 Building Construction Type: _____
 Building Square Footage: _____
 Site Plan Attached: _____ Yes _____ No

*Please check all use categories below that are planned for the building and the gross floor areas of each use within the proposed building.

---- COMPLETED BY APPLICANT ----

<u>Check Type of Use</u>	<u>Gross Floor Area</u>
____ Office (non-medical)	_____
____ Office (medical/analytical lab)	_____
____ Office (City/State)	_____
____ Large Retail Store	_____
____ Grocery Store	_____
____ Restaurant (full service)	_____
____ Restaurant (limited service)	_____
____ Gasoline Station w/ Car Wash	_____
____ Gasoline Station w/o Car Wash	_____
____ Car Wash (full service/conveyor)	_____
____ Car Wash (self-service/manual)	_____
____ Wholesale, Warehousing	_____
____ Industrial, Manufacturing	_____
____ Church w/ day care or school)	_____
____ Church w/o day care or school)	_____
____ Lodging (Hotel/full service) No. of rooms _____	_____
____ Lodging (Motel/limited service) No. of rooms _____	_____
____ School, Elementary	_____
____ School, Middle or Junior High	_____
____ School, Senior High	_____
____ Other (not listed above) Please attach water demand calculations and assumptions used (i.e. – landscaping)	_____

---- COMPLETED BY STAFF ----

<u>Water Use Factors</u>	<u>Annual Water Demand</u>
(0.70 afy per 10,000 s.f.)	_____
(0.72 afy per 10,000 s.f.)	_____
(0.58 afy per 10,000 s.f.)	_____
(0.45 afy per 10,000 s.f.)	_____
(1.27afy per 10,000 s.f.)	_____
(.02 afy per Seat)	_____
(1.63 afy per Site)	_____
(6.56afy per Site)	_____
(0.88 afy per Site)	_____
(5.66 afy per Site)	_____
(0.94 afy per Wash Bay)	_____
(0.4 afy per 10,000 s.f.)	_____
(applicant estimate of water use)	_____
(1.3 afy per Site)	_____
(0.6 afy per Site)	_____
(.13 afy per room)	_____
(.09 afy per room)	_____
(0.8 afy per 100 students)	_____
(3.2 afy per 100 students)	_____
(2.7 afy per 100 students)	_____
(with attachment)	_____


Total Floor Area _____

Total Commercial Water Demand _____ **AFY**
Total Residential Water Demand 3.66* **AFY**
TOTAL PROJECT WATER DEMAND 0.00* **AFY**
9.8% Contingency Fee 0.00* **AFY**

*See attached water budget

City of Santa Fe, New Mexico

OWNER: Santa Fe Civic Housing Authority Mailing Address: 664 Alta Vista Street Santa Fe, NM 87505 Phone Number: 505-988-2859 Mobile Number:	*Only If Applicable AGENT: Jennifer Jenkins Title: Principal Mailing Address: 130 Grant Ave Suite 101, Santa Fe, NM 87501 Phone Number: 505-820-7444 Mobile Number: 505-930-6149
--	---

Information Provided By: Check one: Owner Agent
Signature:  **Date:** 01/06/2025

Technical Evaluation to be Sent to: Check one: Owner Agent

UTILITY SERVICE APPLICATION

COMMENTS: _____

APPLICANTS, PLEASE NOTE:

- **Ordinance 2008-53, prohibits new connections outside the Presumptive City limits unless specific conditions are met. Applications for service outside the Presumptive City limits must include documentation showing these conditions are met or the application will be rejected.**

For applications from outside the presumptive city limits, please provide the following:

- **Cover letter stating which Section of Ordinance 2008-53 is applicable.**
- **Provide supporting documentation for request.**
- **Applicant is responsible for complying with all the provisions and requirements of City of Santa Fe Ordinance No. 2002-29, "Annual Water Budget Ordinance".**
- **Applicant must obtain a water allocation prior to extension of a water main or metered service connection.**

City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION

***Fill in all highlighted fields on this application. Applicant must sign and date application.**

- Check all that apply:**
- Water Service Technical Evaluation Request
 - Sewer Service Technical Evaluation Request
 - Agreement for Metered Service (AMS)
 - Agreement to Construct and Dedicate Public Improvements (ACD)
 - Annexation Application Water Budget
 - Water Offset Program/Water Rights Compliance Evaluation Request for a Development Water Budget**

WORK ORDER # _____

Applicant Name: Jennifer Jenkins
Project Address: 5999 Airport Rd. Santa Fe, New Mexico 87507

***Required - Attach a Plat of the Property (legal lot of record and proposed development)**

Plat Filing Information: Year 2009 Book 557 Page 20 Township, Range, Section: T16N, R8E, S12
Location: (check one only) Inside Corporate City Limits Outside Corporate City Limits
Property Uniform Property Code: _____ **Existing Well:** Yes No
Legal Description including lot size: TR A, 5.1 AC, COUNTRY CLUB APTS, NW4-NE4-NE4, S12 T16N R8E

Short Description of Project: New three-story building, renovation of nine existing buildings, and demolition of two buildings. The housing capacity will increase to 84 units (22 unit increase).
Construction Start Date: Late spring or early summer.

***RESIDENTIAL PROJECT - Complete the following**

- | | |
|--|-------------------|
| 1. Type of project: (i.e. Single Family Residence, Subdivision, Lot split, Apartments) | <u>Apartments</u> |
| 2. Total number of lots approved on final plat/development plan: | <u>84</u> |
| 3. Total number of homes existing or under construction: | <u>62</u> |
| 4. Size of service requested: (5/8", 3/4", 1" or 2") | <u>TBD</u> |

***Please fill in all categories below that apply for which water service is requested:**

--- COMPLETED BY APPLICANT ---	--- COMPLETED BY STAFF ---	
Number of Lots or Units	Water Use Factors	Annual Water Demand
<input type="checkbox"/> Single Family Dwelling Unit, lot size less than 6,000 sq. ft.	.15 afy per d.u.	_____
<input type="checkbox"/> Single Family Dwelling Unit, lot size 6,000-10,890 sq. ft.	.17 afy per d.u.	_____
<input type="checkbox"/> Single Family Dwelling Unit, lot size greater than 10,890 sq. ft.	.25 afy per d.u.	_____
<input type="checkbox"/> Mobile Home (in Mobile home park)	.17 afy per d.u.	_____
<input type="checkbox"/> Guest house (detached)	.09 afy per d.u.	_____
<input checked="" type="checkbox"/> Apartment/Condominium	.16 afy per d.u.	_____
<input type="checkbox"/> Senior Complex	.12 afy per d.u.	_____

84* **Total** *22 New Units **Total Residential Water Demand** _____ **AFY**

City of Santa Fe, New Mexico
UTILITY SERVICE APPLICATION

***COMMERCIAL PROJECT - Complete the following**

Type of Project: (i.e. Office, Retail, Mixed, etc.) _____
 Total gross floor area of building: _____ square feet
 Total area of lot, tract or parcel: _____ acres
 Automatic Fire Sprinkler System: _____ Yes _____ No
 Building Construction Type: _____
 Building Square Footage: _____
 Site Plan Attached: _____ Yes _____ No

*Please check all use categories below that are planned for the building and the gross floor areas of each use within the proposed building.

---- COMPLETED BY APPLICANT ----

<u>Check Type of Use</u>	<u>Gross Floor Area</u>
____ Office (non-medical)	_____
____ Office (medical/analytical lab)	_____
____ Office (City/State)	_____
____ Large Retail Store	_____
____ Grocery Store	_____
____ Restaurant (full service)	_____
____ Restaurant (limited service)	_____
____ Gasoline Station w/ Car Wash	_____
____ Gasoline Station w/o Car Wash	_____
____ Car Wash (full service/conveyor)	_____
____ Car Wash (self-service/manual)	_____
____ Wholesale, Warehousing	_____
____ Industrial, Manufacturing	_____
____ Church w/ day care or school)	_____
____ Church w/o day care or school)	_____
____ Lodging (Hotel/full service) No. of rooms _____	
____ Lodging (Motel/limited service) No. of rooms _____	
____ School, Elementary	
____ School, Middle or Junior High	
____ School, Senior High	
____ Other (not listed above) Please attach water demand calculations and assumptions used (i.e. – landscaping)	

---- COMPLETED BY STAFF ----


<u>Water Use Factors</u>	<u>Annual Water Demand</u>
(0.70 afy per 10,000 s.f.)	_____
(0.72 afy per 10,000 s.f.)	_____
(0.58 afy per 10,000 s.f.)	_____
(0.45 afy per 10,000 s.f.)	_____
(1.27afy per 10,000 s.f.)	_____
(.02 afy per Seat)	_____
(1.63 afy per Site)	_____
(6.56afy per Site)	_____
(0.88 afy per Site)	_____
(5.66 afy per Site)	_____
(0.94 afy per Wash Bay)	_____
(0.4 afy per 10,000 s.f.)	_____
(applicant estimate of water use)	_____
(1.3 afy per Site)	_____
(0.6 afy per Site)	_____
(.13 afy per room)	_____
(.09 afy per room)	_____
(0.8 afy per 100 students)	_____
(3.2 afy per 100 students)	_____
(2.7 afy per 100 students)	_____
(with attachment)	_____

Total Floor Area _____

Total Commercial Water Demand _____ **AFY**
Total Residential Water Demand 11.11* **AFY**
TOTAL PROJECT WATER DEMAND 11.11* **AFY**
9.8% Contingency Fee _____ **AFY**

City of Santa Fe, New Mexico

OWNER: Santa Fe Civic Housing Authority Mailing Address: 664 Alta Vista Street Santa Fe, NM 87505 Phone Number: 505-988-2859 Mobile Number:	*Only If Applicable AGENT: Jennifer Jenkins Title: Principal Mailing Address: 130 Grant Ave Suite 101, Santa Fe, NM 87501 Phone Number: 505-820-7444 Mobile Number: 505-930-6149
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UTILITY SERVICE APPLICATION

COMMENTS: _____

APPLICANTS, PLEASE NOTE:

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- Applicant must obtain a water allocation prior to extension of a water main or metered service connection.

WATER BUDGET

Country Club Apartments

26 New Low Priced Dwelling Units (LPDU's)
2.0 residents per dwelling unit

Usage Per Unit

4 FLUSHES/DAY @ 1.26 GAL EACH	3,679.2	GPY		
SHOWER - 10 MINUTES/DAY @ 1.5 GPM	10,950.0	GPY		
BATHROOM SINK - 5 MIN/DAY @ 2.5 GPM	9,125.0	GPY		
LAUNDRY - 0.3 LOADS/DAY @ 20 GAL/LOAD	4,866.7	GPY		
DISHWASHER - 0.3 LOADS/DAY @ 13 GAL/LOAD	2,847.0	GPY		
KITCHEN SINK - 7 MIN/DAY @ 2.0 GPM	10,220.0	GPY		
CLEANING - 3.0 GAL/WEEK	156.0	GPY		
SUBTOTAL PER UNIT	41,843.9	GPY	0.128	AFY
DOMESTIC USAGE FOR 26 UNITS	1,087,940.5	GPY	3.34	AFY
LANDSCAPE IRRIGATION	103,936.0	GPY	0.32	AFY
TOTAL	1,191,876.5	GPY	3.66	AFY
LESS LOW PRICED DWELLING UNITS*			(3.66)	AFY
DEVELOPMENT WATER BUDGET			(0.00)	AFY
9.8% Contingency per SFCC §14-8.13(E)(1)			(0.00)	AFY
TOTAL WATER DEMAND OFFSET			(0.00)	AFY

*Per SFCC 14-8.13(B)(5), no offset is required for LPDU's.

WATER BUDGET FOR SEWER SERVICE

Country Club Apartments

84 Low Priced Dwelling Units (LPDU's)
2.0 residents per dwelling unit

Usage Per Unit

4 FLUSHES/DAY @ 1.26 GAL EACH	3,679.2	GPY		
SHOWER - 10 MINUTES/DAY @ 1.5 GPM	10,950.0	GPY		
BATHROOM SINK - 5 MIN/DAY @ 2.5 GPM	9,125.0	GPY		
LAUNDRY - 0.3 LOADS/DAY @ 20 GAL/LOAD	4,866.7	GPY		
DISHWASHER - 0.3 LOADS/DAY @ 13 GAL/LOAD	2,847.0	GPY		
KITCHEN SINK - 7 MIN/DAY @ 2.0 GPM	10,220.0	GPY		
CLEANING - 3.0 GAL/WEEK	156.0	GPY		
<i>SUBTOTAL PER UNIT</i>	41,843.9	GPY	0.128	AFY
 DOMESTIC USAGE FOR 84 UNITS	 3,514,884.8	 GPY	 10.79	 AFY
 LANDSCAPE IRRIGATION	 103,936.0	 GPY	 0.32	 AFY
TOTAL	3,618,820.8	GPY	11.11	AFY

Ms. Jennifer Jenkins
 JenkinsGavin, Inc.
 130 Grant Avenue, Suite 101
 Santa Fe, NM 87501

RE: Initial Transportation Assessment for the Country Club Apartments

Dear Ms. Jenkins,

Bohannon Huston has prepared an initial transportation assessment for a proposed redevelopment of the Country Club Apartments located at 5999 Airport Road in Santa Fe, New Mexico. The apartment complex is currently looking into a partial redevelopment of the site that will demolish two buildings and construct a new building. This summary will include a project description with information on expected site traffic changes.

Project Description

The current County Club apartments is an existing 62-unit multi-family community on 5.9 acres. The project is being redeveloped, which will include demolition of two buildings and construction of a new building, for a net addition of 22 units, resulting in a total of 84 units upon completion.

Due to the proposed increase in the number of dwelling units at the apartment complex, a The current student population is 370, and the school has indicated a maximum student population of 380 students. Additionally, the school employs 7 busses but not all routes are at capacity. This expansion project will not be substantially changing the student population; thus it will have a minimal impact to the traffic to the site as shown in the trip generation.

Trip Generation

Due to the proposed increase in the number of dwelling units at the apartment complex, an updated trip generation was completed. The attached initial transportation assessment form is attached and includes a trip generation of the existing 62 unit site, a trip generation of the additional 22 units, and an overall trip generation for 84 dwelling units. These trip generations utilized ITE trip generation manual, 11th Edition to estimate trips using code 220 – Multifamily Housing (Low Rise). Both AM and PM peaks were assessed based on the fitted curve equation as shown in the attached sheets from the ITE manual. The fitted curve provided a conservative approach since it was a higher generation than the average rate. The trips generated in each scenario are summarized below:

Trip Generation			
	Total daily Trips	AM Peak trips	PM Peak trips
Existing Apartments – 62 DU's	473	42	47
Proposed Apartments – 84 DU's	614	49	57
Change from Existing	141	7	10

Based on the increase in trips as shown in the table, the increase is less than 10% compared to existing conditions in both AM and PM peak hours and therefore does not require additional analysis according to the Transportation Impact Analysis Guidelines for the City of Santa Fe.

Multi-modal Access

Access to the Country Club apartments by multi-modal means such as public transportation, bicycle, and walking are all achievable.

Several public transit stops, serviced by the Santa Fe Trails bus system, are located near the Country Club Apartments. Route 24 runs along Airport Road from Paseo Del Sol West to Cerrillos Road with a stop at the Santa Fe Place transit center. This route has a bus stop that is located directly in front of the Country Club Apartments that serves the outbound travel (west) and a bus stop direction across Airport that serves the inbound travel (east).

Bicycle facilities around the development are present. Airport Road is classified as having on-street bike lanes – Higher Traffic/Speed, according to the Santa Fe Bikeways & Trails Map. South Meadows also includes on street bike lanes as shown in the Santa Fe MPO Bikeways & Trails Map.

Sidewalks allow for pedestrian foot traffic along roadways, and can be found on both sides of Airport Road and the west side of South Meadows road. All these sidewalks include a buffer between the roadway and the sidewalk. The site is also located near the Tierra Contenta Trail system which could be connected to via the sidewalks mentioned. A trail map of the area is also included as an attachment.

The proposed updates to the Country Club Apartments includes an improvement to the sidewalks internal to the site. New sidewalks will connect all the buildings on the site with the existing sidewalk on the north side of Airport Road as shown in the attached site plan.

Assessment

Based on our traffic evaluation and completed initial transportation assessment form which is attached, Bohannon Huston has determined that traffic to the site will be minimally impacted by the redevelopment project and additional traffic impact studies are not warranted at this time.

Sincerely,

Bohannon Huston Inc

Carl D Vermillion, PE, PTOE
Project Manager
7500 Jefferson St NE
Albuquerque, NM 87109

Enclosures: Initial Transportation Assessment form
Site location map
City Trail Map

INITIAL TRANSPORTATION ASSESSMENT

This initial transportation assessment is required for all developments proposed in the City of Santa Fe. The purpose of a Transportation Impact Analysis (TIA) is to provide preliminary vehicular trip generation information for the proposed development to determine the category of TIA required. Based on the proposed development, **Table A-1** should be completed to provide preliminary vehicular trip generation estimates. The City Traffic Engineer, or designee, will review the preliminary trip generation estimate provided by the developer and determine the category of TIA required. Other factors in addition to vehicular trip generation can affect the impact of a development; and based on these guidelines, the City of Santa Fe Traffic Engineer, or designee, will determine the final scope for the TIA.

Location of proposed development (location map must be attached).

TABLE A-1: PRELIMINARY VEHICULAR TRIP GENERATION ESTIMATE

Types of land uses (Multi Family, Single Family residential, specific retail, etc.)	Size (thousands of sq. ft., acres, number of units, etc.)	AM peak hour trips per size/unit*	PM peak hour trips per size/unit*	Subtotal of trips AM/PM	ITE Code Used for Analysis
GRAND TOTAL					

*The trip generation rates can be obtained from the Institute of Transportation Engineers, Trip Generation, current edition. Use of other rates must be justified and accepted by the City Traffic Engineer, or designee.

Transportation Impact Analysis Needed Yes No

Level of Transportation Impact Analysis Needed _____

Developer/Developer's Agent _____ Date _____

City of Santa Fe _____ Date _____

Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

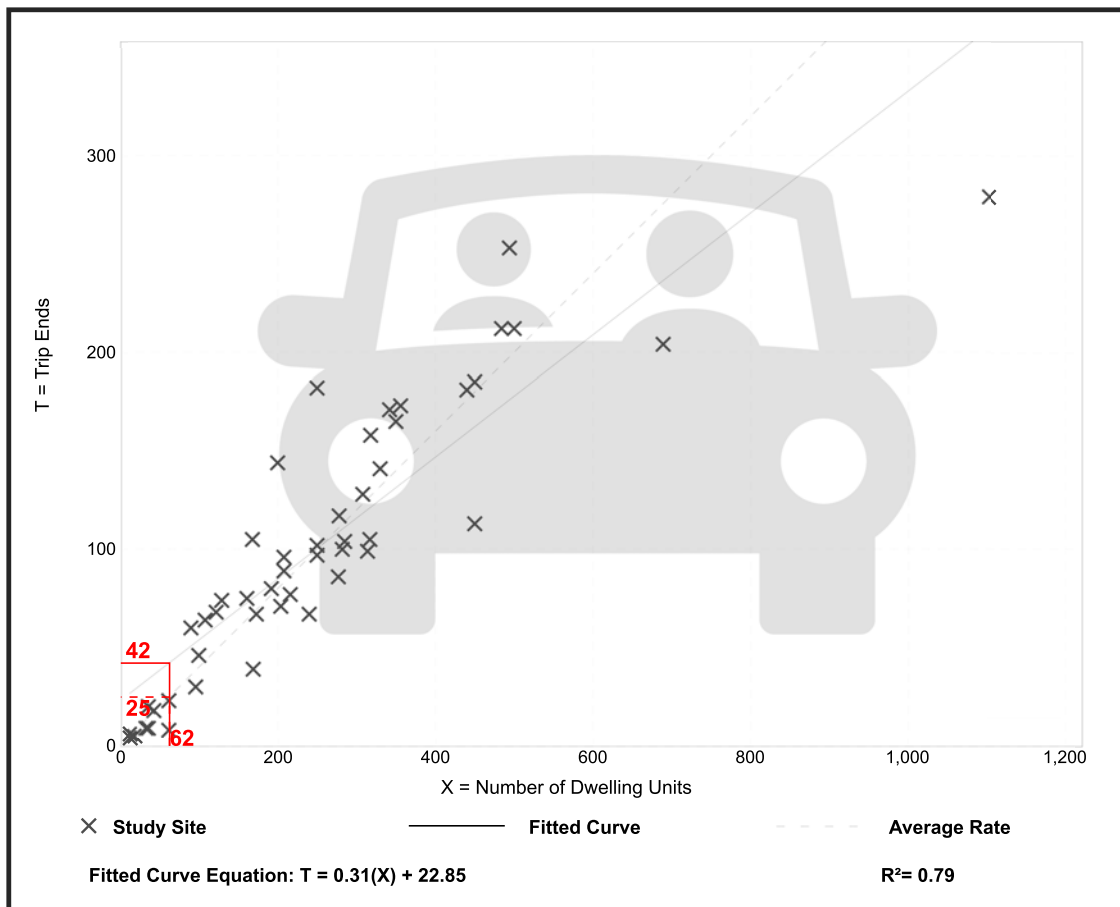
Vehicle Trip Ends vs: Dwelling Units
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban
 Number of Studies: 49
 Avg. Num. of Dwelling Units: 249
 Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

Data Plot and Equation



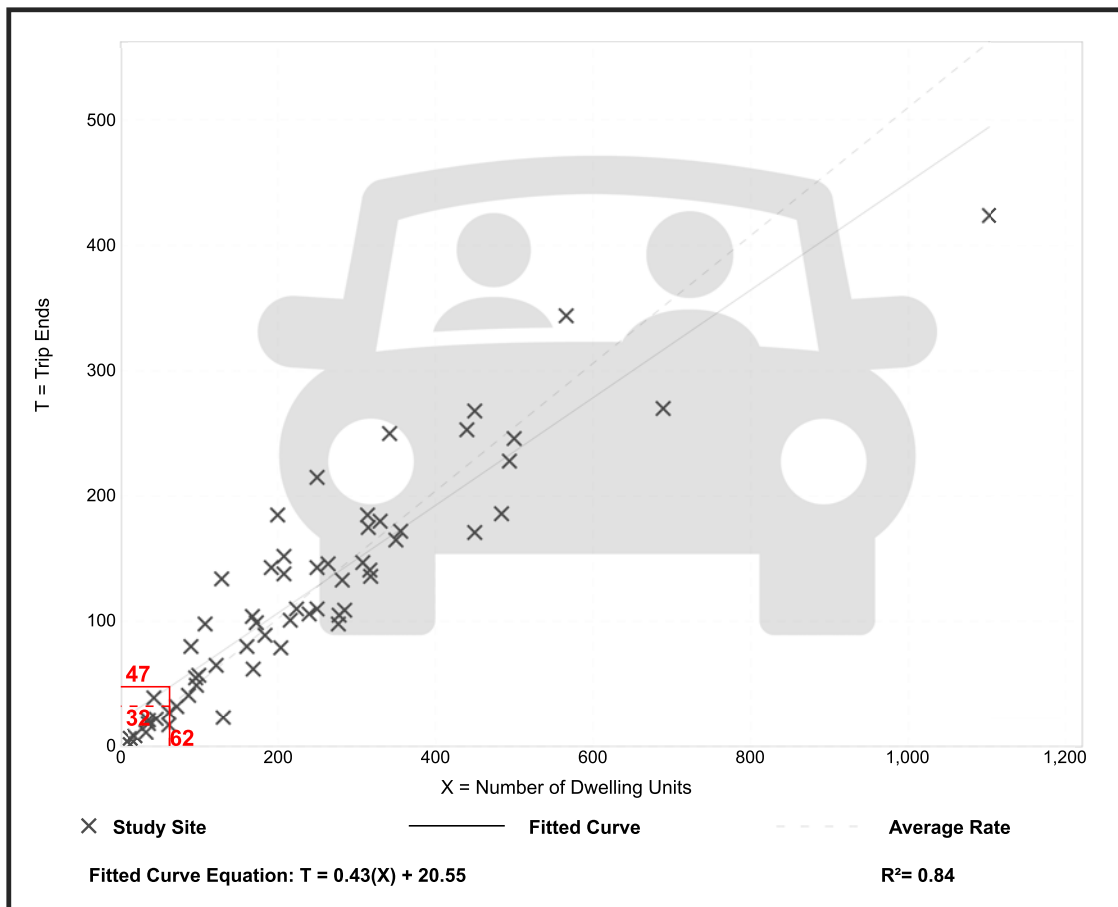
Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 59
 Avg. Num. of Dwelling Units: 241
 Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

Data Plot and Equation



Trip Gen Manual, 11th Edition

• Institute of Transportation Engineers

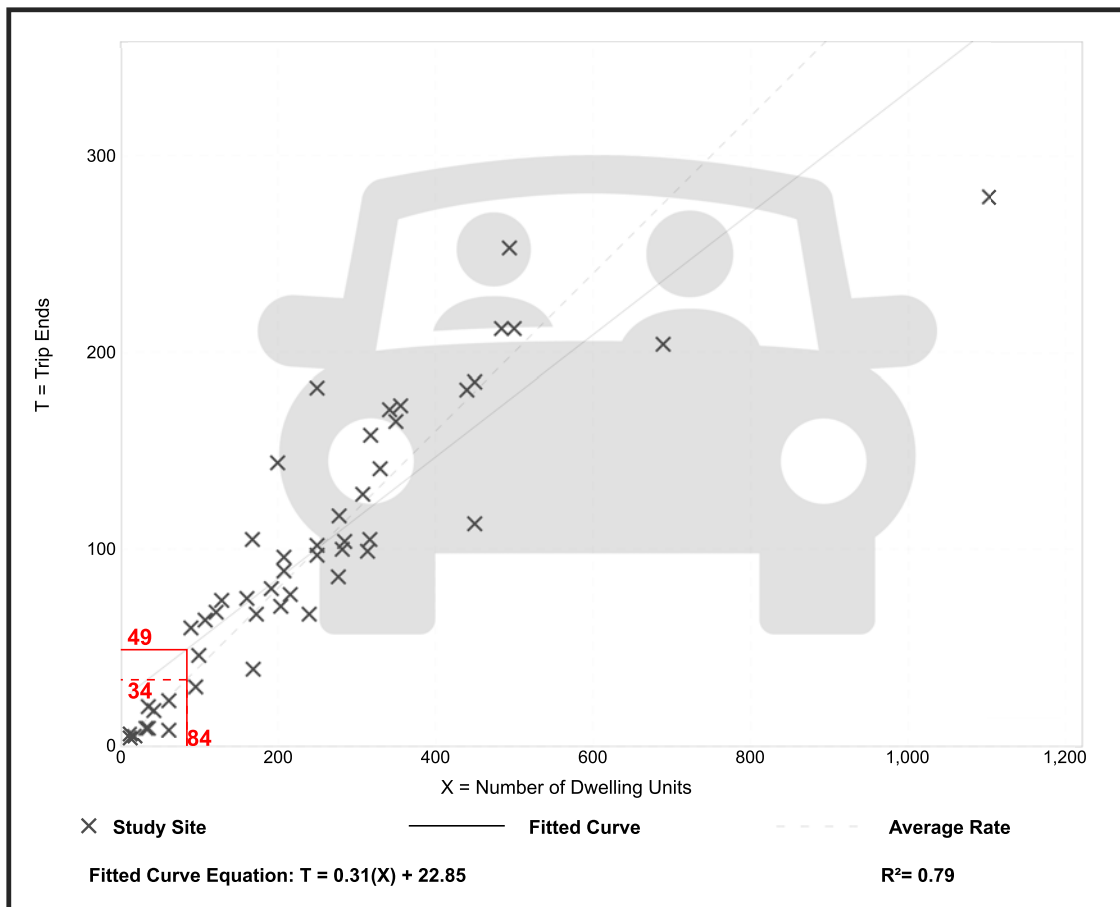
Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 49
 Avg. Num. of Dwelling Units: 249
 Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

Data Plot and Equation



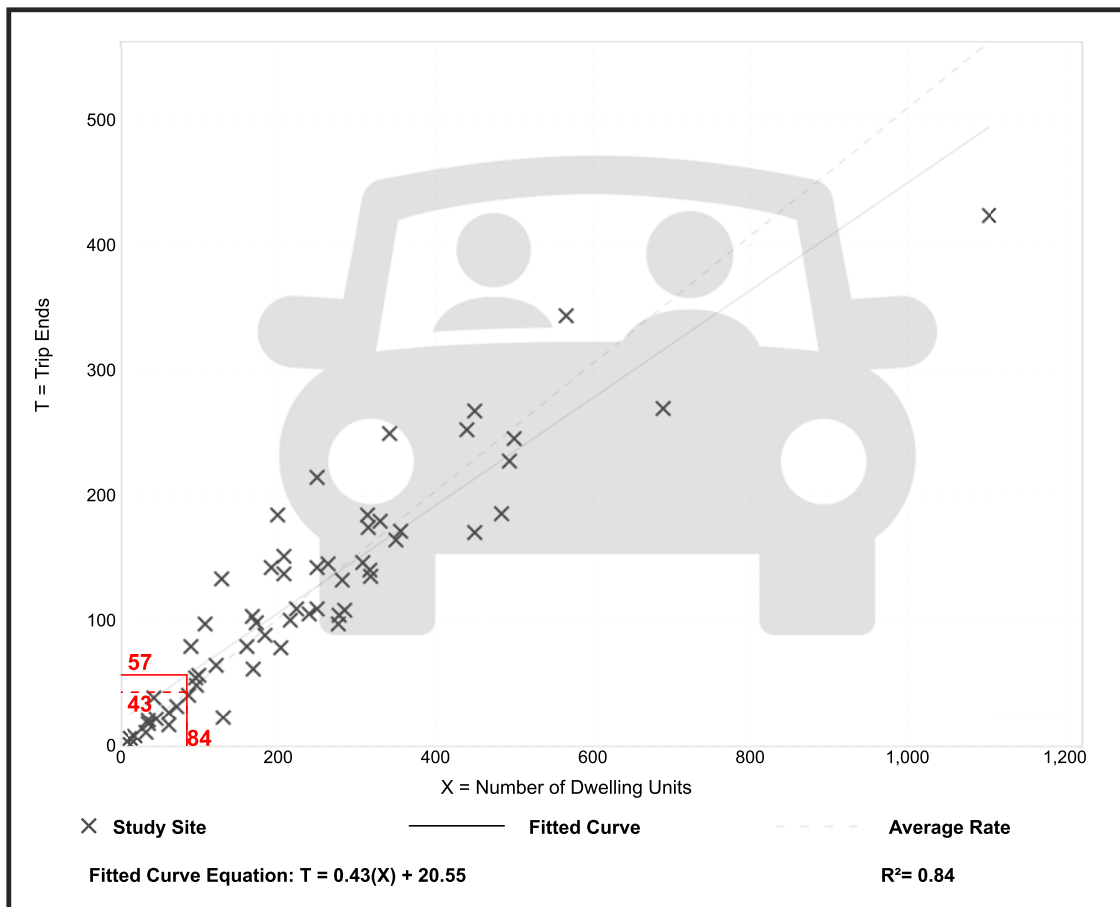
Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 4 and 6 p.m.
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 Number of Studies: 59
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Data Plot and Equation

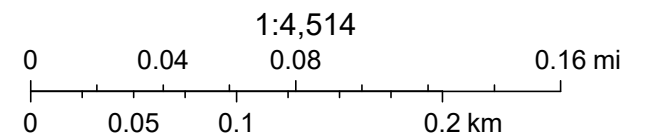


Country Club Apartments Site



9/24/2024, 9:45:36 AM

-  Santa Fe County Parcels
-  Major Roads
-  Roads







Santa Fe Public Schools

Property & Asset Management

Residential Development Impact Information Form

School Notification as required by City Ordinance 14-8.18 AFCC 1987

1. Project Name: Country Club Apartments
2. Location of Property: 5999 Airport Rd. Santa Fe, New Mexico 87507
3. Owner/Agent Name: Santa Fe Housing Authority/JenkinsGavin, Inc.
 Mailing Address: 130 Grant Ave Suite 101 Santa Fe, New Mexico 87505
 Phone & Fax: 505-820-7444

4. Unit Matrix

PROJECT EFFECT ON STUDENT POPULATION		
Unit Type	Unit Quantity	Average Price
Single Family (detached)	84 units (62 existing)	TBD
Single Family (attached)		
Townhome/ Apartment		
Multi-Family		
Commercial		

5. Elementary School Zone for Proposed Development: Sweeney Elementary
6. Middle School Zone for Proposed Development: Ortiz Middle School
7. High School Zone for Proposed Development: Capital High
8. Build out Rates (Year/s; #/yr): Fall 2027 84 Units

Educational Services Center
 610 Alta Vista
 Santa Fe, NM 87505
 Telephone (505) 467-2000
 www.sfps.info

For questions & submittal, contact:
 Santa Fe Public Schools, Property & Asset Management,
 2195 Zia Road, Santa Fe NM 87505
 505 467 3400

City of Santa Fe, New Mexico

**Case #2025-9707
5999 Airport Rd
Development Plan
Planning Commission
April 3rd, 2025**

Exhibit D

Development Plan Sheets

1. Development Plan Sheets

EXISTING CONDITIONS
ZORRO BLANCO DEVELOPMENT PLAN, LUD CASE NUMBER
 City of Santa Fe Section 12, Township 116N, Range R8E



PROPERTY INFORMATION

ZONING: R-29
 OVERLAYS: AIRPORT ROAD
 HISTORIC STATUS: NONE
 NATIONAL REGISTRY: NONE
 LOT(S) SIZE: 5.89 ACRES
 EXISTING STRUCTURE: YES
 EXISTING UTILITIES: ADJACENT TO SITE, PHM ELECTRICAL, AND WATER AND NEW MEXICO GAS COMPANY NATURAL GAS, CITY OF SANTA FE WASTE WATER OFF-SITE TO NORTH
 FLOOD ZONE: X

LEGAL LOT INFORMATION

1. REFERENCE A WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK AS INSTRUMENT NO. 1934157
2. REFERENCE A PLAT OF SURVEY TITLED, "COUNTRY CLUB APARTMENTS, TRACT A&B, PHA PROJECT 3116 - 35132, 10002 AIRPORT ROAD, SANTA FE COUNTY, NEW MEXICO, DATED 4/20/04 BY JOE HOFFERSON, NMLS 139161 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 557 PAGE 20 AS DOCUMENTED IN NO. 1323369

SITE KEY:

- NEW BUILDING
- EX. BUILDING, RENOVATION
- EXISTING BUILDINGS

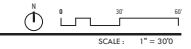
KEY NOTES:

- PROPERTY LINE
- ADJOINING PROPERTY
- EXISTING UTILITY EASEMENT
- EXISTING STREET
- EXISTING ADJOINING RESIDENCES
- EXISTING ADJOINING BUSINESS
- NEW BUILDING
- EX. BUILDING, RENOVATION
- 200'0 OFFSET



DATE: 5 JAN 2025
 IN: ARIZON
 SHEET TITLE: EXISTING CONDITIONS

1 | COUNTRY CLUB EXISTING CONDITIONS
 DP_000



JURISDICTION: CITY OF SANTA FE
 PROJECT NAME: COUNTRY CLUB
 DRAWING TYPE: EXISTING CONDITIONS
 DRAWING DATE: 5 JANUARY 2025
 SHEET NUMBER: DP_000

COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
 5347 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE, INTERIOR DESIGN
 1700 S. 20TH ST. SUITE 100
 SANTA FE, NM 87505
 WWW.TGAD.COM

FILENAME: d:\projects\2011_ofha_at\3_CAD\04_architecture\001_sheets\2011_DP000.dwg

COUNTRY CLUB DEVELOPMENT PLAN, LUD CASE NUMBER



PROJECT SITE DATA

LOCATION: 5585 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 ZONING: R-2B
 TOTAL SITE AREA: 5.89 AC ± 256,558.4 SF
 ALLOWABLE DENSITY: 142 DWELLING UNITS
 ACTUAL: 84 DWELLING UNITS
 ALLOWABLE HEIGHT: 30' 0"
 ACTUAL: 29' 10"
 LOT COVERAGE: 40%
 ACTUAL: 20,454.57 / 256,558.4 SF
 PARKING CALCULATION: 84.50
 DWELLING UNITS: 84.50
 27'-00" (400) SF X 1.25 SPACES / UNIT = 84.50 SPACE
 27'-00" (400) X 1.5 SPACES / UNIT = 40.5 SPACE
 TOTAL REQUIRED: 115.75 OR 112 SPACES
 # MIN ACCESSIBLE: 8
 ACCESSIBLE PARKING REQUIRED, NM STATUTE: 112 ± 104 REGULAR + 8 ACCESSIBLE
 PARKING PROVIDED: 112 ± 104 REGULAR + 8 ACCESSIBLE
 EV PROVIDED: 0
 OFF-STREET BICYCLE PARKING: 12
 100 MORE PARKING SPACES - BICYCLE PARKING PROVIDED: 31

DWELLING UNIT SUMMARY

UNIT TYPE	DESCRIPTION	SIZE	QUANTITY
A1	ONE BEDROOM, ONE BATH	739 sf	2
A1 ACC (PHYSICAL)	ONE BEDROOM, ONE BATH	739 sf	1
A2	TWO BEDROOM, TWO BATH	857 sf	12
A2 ACC (PHYSICAL)	TWO BEDROOM, TWO BATH	857 sf	2
A3	JAMPE BEDROOM, TWO BATH	1152 sf	8
A3 ACC (PHYSICAL)	JAMPE BEDROOM, TWO BATH	1152 sf	1
R2	TWO BEDROOM, ONE BATH	747 sf	1
C2	ONE BEDROOM, ONE BATH (NO WORK)	828 sf	0
C2	TWO BEDROOM, ONE BATH (NO WORK)	857 sf	1

BUILDING/UNIT INFORMATION

BLDG	NEW	CONV.	REMAIN	NO WORK	HEIGHT	SIZE			
A1	A2	A3	B1	C1	C2				
1	3	14	9	0	35'11"	29,528 sf			
2	0	0	0	0	23'6"	3,456 sf			
3	0	0	0	4	23'6"	3,456 sf			
4	0	0	0	4	23'6"	3,456 sf			
5	0	0	0	4	23'6"	3,456 sf			
6	0	0	0	4	23'6"	3,456 sf			
7	0	0	0	4	23'6"	3,456 sf			
8	0	0	0	4	23'6"	3,456 sf			
9	0	0	0	4	23'6"	3,456 sf			
10	0	0	0	4	23'6"	3,456 sf			
11	0	0	0	13	8	1	23'6"	15,851 sf	
TOTAL	3	14	9	36	13	8	1	84 UNITS	76,483 sf
BLDG #1 COMMON SPACE							7,623 sf		
BLDG #11 COMMON SPACE							288 sf		
PROJECT TOTAL							84,396 sf		

LUD CASE NUMBER #

PURPOSE OF THE DEVELOPMENT PLAN:

THE PURPOSE OF THE DEVELOPMENT PLAN IS FOR THE APPROVAL OF 84 RESIDENTIAL UNITS (NO. 36 RENOVATED, AND 48 NO WORK) RESIDENTIAL UNITS, COMMON SPACES, AND ALL ASSOCIATED SITE WORK.

GENERAL NOTES

- THIS PROJECT WILL BE ONE PHASE PROJECT.
- THIS PROJECT WILL COMPLY WITH 2015 AMERICAN DISABILITIES ACT (ADA) AND ANCI 111.1
- MEETS AND BOUNDS DESCRIPTIONS OF LOTS, ROADWAYS, DRAINAGE, UTILITY, AND ACCESS RIGHT OF WAY AND / OR EASEMENTS WILL BE DESCRIBED ON THE SUBDIVISION PLAN AS ARE NOT ARIAS, ALL AS INCLUDED HEREIN.
- ALL BUILDINGS SHALL CONFORM TO THE INTENT OF THE DEVELOPMENT PLAN WITH ACTUAL SIZE AND SHAPE OF EACH STRUCTURE CONTAINED WITHIN THE HEREIN DEFINED BUILDING FOOTPRINTS, INCLUDING WALLS AND FENCES, SUBJECT TO APPLICABLE BUILDING PERMIT REQUIREMENTS.
- BUILDING SETBACK SHALL APPLY TO ALL PERMANENT STRUCTURES, INCLUDING ACCESSORY STRUCTURES.
- ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE'S PLANNING AND LAND USE DEPARTMENT BEFORE CONSTRUCTION.
- THIS DEVELOPMENT LIES OUTSIDE OF THE HISTORIC DISTRICT.
- THIS DEVELOPMENT LIES OUTSIDE OF THE ARCHAEOLOGICAL REVIEW DISTRICT.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SPEC. SECT. 1987 AND SUBSEQUENT AMENDMENTS.
- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO FINAL PLAT AND / OR DEVELOPMENT PLAN REVISIONS WITH THE COUNTY CLERK OR SUBMITTAL, WITH A BUILDING PERMIT APPLICATION THAT ADDRESSES ANY PROVISION OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND USE DEVELOPMENT CODE, SPEC. SECT. 1987 AND SUBSEQUENT AMENDMENTS.
- UTILITY EXPANSION CHARGES SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION.
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC 1403.1
- AN APPROVED WATER SUPPLY FOR THE FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SHOWN AS COMPRISE TABLE MINIMUM ABOVE ON THE SITE AS PER IFC 1412.1
- AN ADA INSPECTION SHALL BE CONDUCTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL CONTACT CITY STAFF TO SCHEDULE THIS INSPECTION.
- THERE ARE NO LOCATIONS OF 30% OR GREATER SLOPE DISTURBANCE.

ADA NOTES

- ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ANSI A117.1-2009 AND 2010 ADA REQUIREMENTS.
- SLOPES ALONG SIDEWALKS SHALL NOT EXCEED 1/20 OR 5% SLOPE FOR SIDEWALKS AND ACCESSIBLE CURBS. CROSS SLOPES SHALL NOT EXCEED 1/48 OR 2% SLOPE FOR ANY ELEMENT INCLUDING SIDEWALKS, PATHS, RAMPS, ASILES, OR LANINGNS.
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ANSI A117.1-2009 REQUIREMENTS AND SHALL INCLUDE HANDRAILS, EDGE PROTECTION, AND LANDINGS AS REQUIRED BY THAT STANDARD.
- ACCESSIBLE PATHS IN EXCESS OF 5% ARE CONSIDERED RAMPS AND SHALL MEET ALL REQUIREMENTS FOR RAMPS. IN NO CASE SHALL THE SLOPE OF A RAMP EXCEED 1/12 OR 8% SLOPE. BEST PRACTICE, NOT CODE, WOULD BE TO USE 1/5% FOR CROSS SLOPE AND 6.67% FWD RAMPS.
- PARKING SPACES AND ACCESS ASILES ADJACENT TO PARKING SPACES SHALL BE LEVEL WITH A CROSS SLOPE NOT IN EXCESS OF 1/48 OR 2% SLOPE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ESTABLISHED GRADE POINTS AND FOR DESIGNING AND CONSTRUCTING PAVEMENT SECTIONS TO MEET SLOPE REQUIREMENTS AS ESTABLISHED ABOVE.
- DETAILS OF RAMPS AND RINGS ARE APPROXIMATE AND ARE BASED ON OBSERVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND COMPARING ACTUAL GRADES TO THE PROPOSED SCHEMATIC DESIGN. CONTRACTOR'S TEAM SHALL INFORM THE ARCHITECT OF DEVIATIONS AND SHALL COORDINATE REVISED RAMP AND ACCESS LAYOUTS AND ELEVATIONS WITH THE ARCHITECT.

SITE KEY

- BUILDINGS
- SITE
- EXISTING BUILDINGS, ADJOINING PROPERTIES
- CONCRETE SIDEWALKS ADA PARKING AND/OR PATHS, 2% MAX. CROSS SLOPE ASPHALT, SEE CIVIL
- COMMON RESIDENTIAL OPEN SPACE, SEE SHEET DP02
- CURB/WALL, SEE DETAIL
- PHYSICALLY ACCESSIBLE DWELLING UNIT
- HEARING/VISION ACCESSIBLE DWELLING UNIT
- ADA ACCESSIBLE PARKING SPACE
- NEW FIRE HYDRANT
- ELECTRICAL VEHICLE CHARGER
- NEW SITE LIGHT POLE
- NEW PAD MOUND ELEC. TRANSFORMER

KEY NOTES

- EXISTING PROPERTY LINE
- EXISTING FENCE OR YARDWALL
- EXISTING UTILITY EASEMENT
- EXISTING ACCESS AND UTILITY EASEMENT
- EXISTING ASPHALT DRIVE AND PARKING
- NEW APARTMENT BUILDING, 2 STORY
- NEW APARTMENT BUILDING, 3 STORY
- CONCRETE SIDEWALK, 4" ± SLOPE 5% MAX. DIRECTION OF TRAVEL AND 2% CROSS SLOPE
- ADA SIDEWALK RAMP, CONCRETE, W/ DETECTABLE WARNING, SEE DETAILS
- VEHICLE ACCESS SIDEWALK, ASPHALT, WITH VARIAB. SEE DIMENSIONS
- PARKING AREA, ASPHALT, PAINTED LINES, SEE CIVIL
- USPS MAIL AND PARCEL BOX
- MONUMENT SIGN, "COUNTRY CLUB APARTMENTS" HUD SYMBOL, SEE DETAIL 10/A_091 PLATE 1A
- YARDWALL, 6" Ø H. MASONRY, STUCCO, SEE DETAIL 9/A_091
- FENCE, 3" Ø H. METAL, SEE DETAIL 9/A_092 LIGHT POLE
- TRUCK AND RECYCLING ENCLOSURE, 3" Ø H. MASONRY, STUCCO, SEE 1/A_091
- BIKE RACK, SEE DETAIL 7/A_091
- CONCRETE WHEEL STOP, SPIKE TO PAVING
- EV CHARGER, PARKING W/ BOLLARD, STRIPPING, AND SIGNAGE, SEE DET. 12/A_092 & 9/A_092 OPEN SPACE, SEE DET. DP02 FOR ALL REQUIREMENTS
- PONDING AREA, SEE CIVIL FOR ALL REQUIREMENTS
- ADA PARKING SIGNAGE, SEE DETAIL 11/A_092
- BENCH, ADA ACCESSIBLE SEE DETAIL 10/A_092
- FIRE RISER ROOM W/ FIRE DEPARTMENT CONNECTION
- REPAIR WOOD FENCE, LANDSCAPE @ NEW OFF-SITE UTILITY WORK
- STOP SIGN
- SIDEWALK CURB/CUT, CONCRETE, WITH METAL TURN-PLATE COVER
- CHILDREN'S PLAY EQUIPMENT, SEE LANDSCAPE PLAN FOR DETAILS. CONFORM SAFETY CLEARANCE DISTANCES PRIOR TO INSTALL
- REPAIR CONCRETE CURB AND STREET AT NEW OFF-SITE UTILITY
- PLAY AREA SIGN WARNING - "USING PLAY AREA IS AT ONE'S OWN RISK" - SEE DETAIL 9/A_092
- CONCRETE CROSS WALK TO MEET ALL ACCESSIBILITY REQUIREMENTS
- FIRE HYDRANT
- CONCRETE RAMP 1:12
- ACCESSIBLE PARKING, CONCRETE, 2% MAX. SLOPE ANY FORCE ACROSS SYMBOL, "NO PARKING", AND NATIONAL BARRIER CODE
- WATER SERVICE HOT BOX
- PET WASTE STATION, SEE DETAIL 5/A_092
- LIGHT POLE
- STORMWATER PONDING, SEE CIVIL
- PEDESTRIAN ROAD CROSSING, STRIPPING, THERMO PLASTIC
- FIRE DEPARTMENT, BUILDING AND UNIT IDENTIFICATION SIGNAGE
- PROPOSED EASEMENT
- LEASE LINE
- LEASE LINE

JURISDICTION: PROJECT NAME: CITY OF SANTA FE
 COUNTRY CLUB
 DRAWING TYPE: DEVELOPMENT PLAN
 DRAWING DATE: 5 JANUARY 2025
 SHEET NUMBER: DP_01



DATE: 5 JANUARY 2025
 DRAWN BY: JG
 SHEET TITLE: DEVELOPMENT PLAN

LEGEND/PLAT REFERENCE

- 1) REFERENCE A WARRANTY DEED FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK AS INSTRUMENT No.1994157
- 2) REFERENCE A PLAT OF SURVEY ENTITLED, "COUNTRY CLUB APARTMENTS, TRACTS A & B, F.H.A. PROJECT #116-35132, 1002 AIRPORT ROAD, SANTA FE COUNTY, NEW MEXICO," DATED 04/20/04 BY JOE KOELFSEN, N.M.L.S. 13610 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 557 PAGE 20 AS DOCUMENT No.1323369
- 3) REFERENCE A PLAT OF SURVEY ENTITLED, "LANDS SURVEYED FOR MAURICE R. AND PAULA E. McDONALD, COUNTRY CLUB APARTMENTS-1022 AIRPORT ROAD, SANTA FE COUNTY, NEW MEXICO," DATED 04-05-94 BY GUY D. HAYDEN, N.M.L.S.4070 AND FILED FOR RECORD IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 274 PAGE 12 AS INSTRUMENT No.862566

- MONUMENT FOUND AND USED, AS NOTED
- COMPUTED POINT
- △ CONTROL MONUMENT, H & V
- UTILITY POLE, OVERHEAD UTILITY LINES, (OHUL) AND POLE GUY ANCHOR WHERE APPLICABLE
- TELEPHONE PEDESTAL
- ⊙ WATER METER
- ▲ UTILITY PANEL, 4 ELEC METERS
- △ 4 GAS CONNECTS
- ⊙ WATER VALVE
- ⊙ SEWER MANHOLE COVER
- ⊙ UTILITY PANEL OR BOX
- ⊙ WATER SPIGOT
- ⊙ CLEAN OUT
- ⊙ EVERGREEN - EIGHT FEET OR GREATER IN HEIGHT
- ⊙ DECIDUOUS TREE - 6IN CALIFER OR GREATER
- SONG STANDARD CURB AND GUTTER
- RCNG ROLL DOWN CURB AND GUTTER
- 5050 SPOT ELEVATION
- AE ACCESS EASEMENT
- UE UTILITY EASEMENT

SURVEYORS NOTES:

BASIS OF BEARING IS GEODETIC AZIMUTH BASED ON GPS OBSERVATIONS. ANY UNMENTIONED LINE NOTED HEREON MAY BE UTILIZED AS A LOCAL BASIS OF BEARINGS.

BEARINGS ARE NM STATE PLANE CENTRAL ZONE - NAD83 DISTANCES ARE GROUND, ELEVATIONS BASED ON NAVD83 DATUM

BENCHMARK FOR THE SITE IS THE TOP OF A ALUMINUM CAPPED REBAR "13054" HAVING A ELEVATION OF 6492.70, BASED ON NAVD83 DATUM

SEE SHEET 1 OF 2 FOR BOUNDARY DATA

SEE SHEET 2 OF 2 FOR TOPOGRAPHIC MAPPING, TREE LOCATIONS, UNDERGROUND UTILITY LOCATES, PARKING

SURVEYOR'S CERTIFICATE

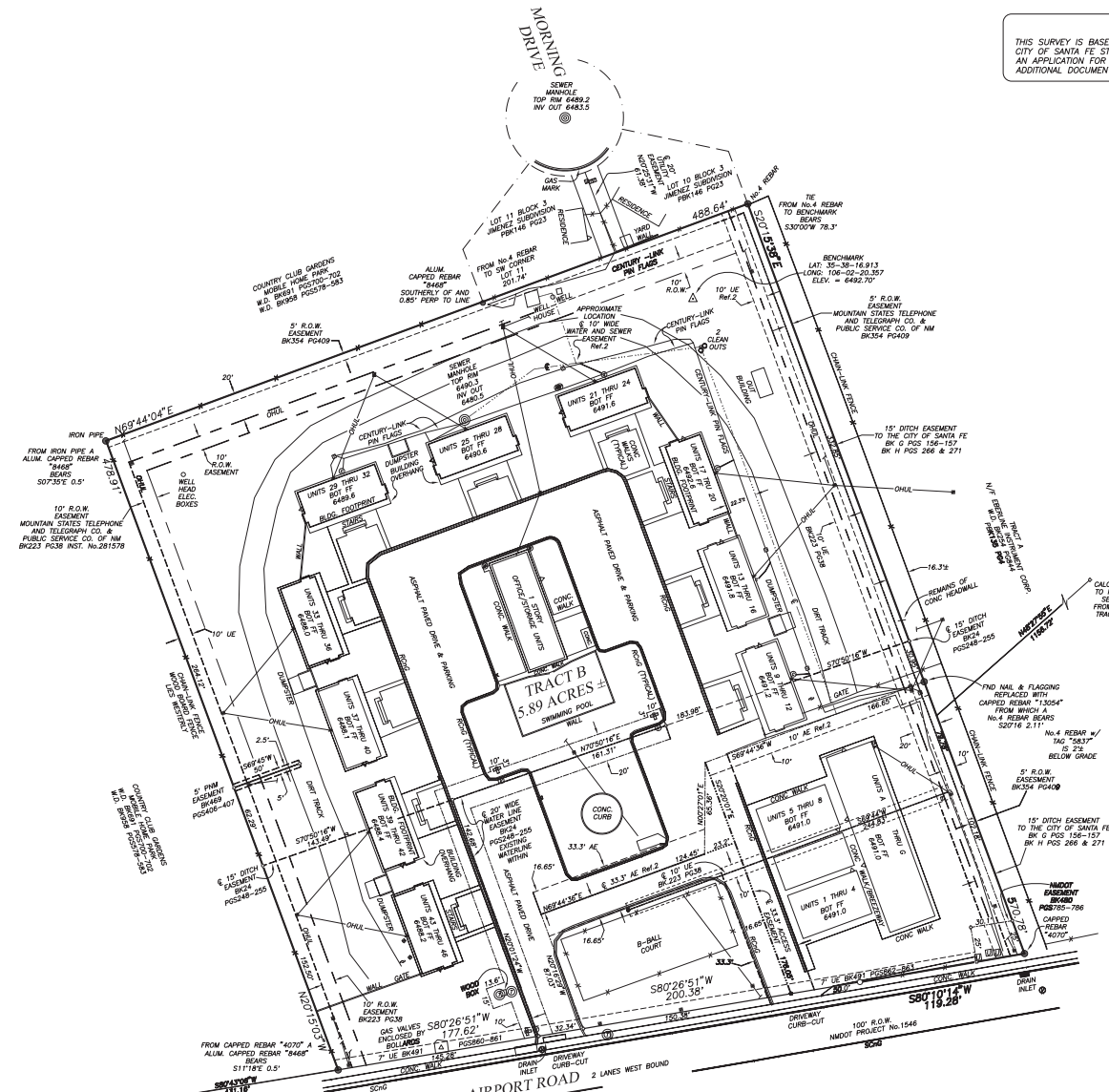
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE FIELD SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS, EFFECTIVE 07/24/16. IMPROVEMENTS CURRENT AS OF THE DATE OF THIS SURVEY.

THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OF LAND AND IS NOT A LAND DIVISION, OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT.

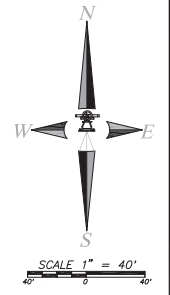
PRELIMINARY - FOR REVIEW ONLY

11-13-2024
09-16-2024

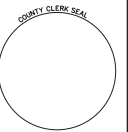
JEFFERY L. LUDWIG N.M.L.S. 13054 DATE



PUBLIC NOTICE
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.



Instrument Number: _____
COUNTY OF SANTA FE, N.M. COUNTY CLERK
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on the _____ day of _____ A.D. 20____ at _____ o'clock _____ m. and was duly recorded in book _____ of the records of Santa Fe County.
Witness my hand and Seal of Office
Katharine E. Clark
County Clerk, Santa Fe County, N.M.



UPIC CODE 1-048-095-427-482 INDEXING INFORMATION FOR COUNTY CLERK

V_001

 CORNERSTONE LAND SURVEYING JEFFERY L. LUDWIG N.M.L.S. No.13054 nmls@cnspl.net 505-690-7010 CELL 505-471-5477 OFFICE P.O. BOX 8348 SANTA FE, NEW MEXICO 87504	SECTION(6)	12	BOUNDARY SURVEY PLAT PREPARED FOR SANTA FE CIVIC HOUSING AUTHORITY OF TRACT B COUNTRY CLUB APARTMENTS 5909 AIRPORT ROAD CITY AND COUNTY OF SANTA FE, NEW MEXICO	SHEET 1 OF 2	
	TOWNSHIP	T-16-N		SCALE	1" = 40'
	RANGE	R-B-E		DATE	01/02/25
	GRANT	N/A		DRAWN-BY	LUDY
	N.M.P.M.			CHECKED-BY	LUDY
			PROJECT No.	CCAPTS BT	

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- MONUMENT FOUND AND USED, AS NOTED
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BENCHMARK FOR THE SITE IS THE TOP OF A ALUMINUM CAPPED REBAR "13054" HAVING A ELEVATION OF 6492.70, BASED ON NAVD83 DATUM

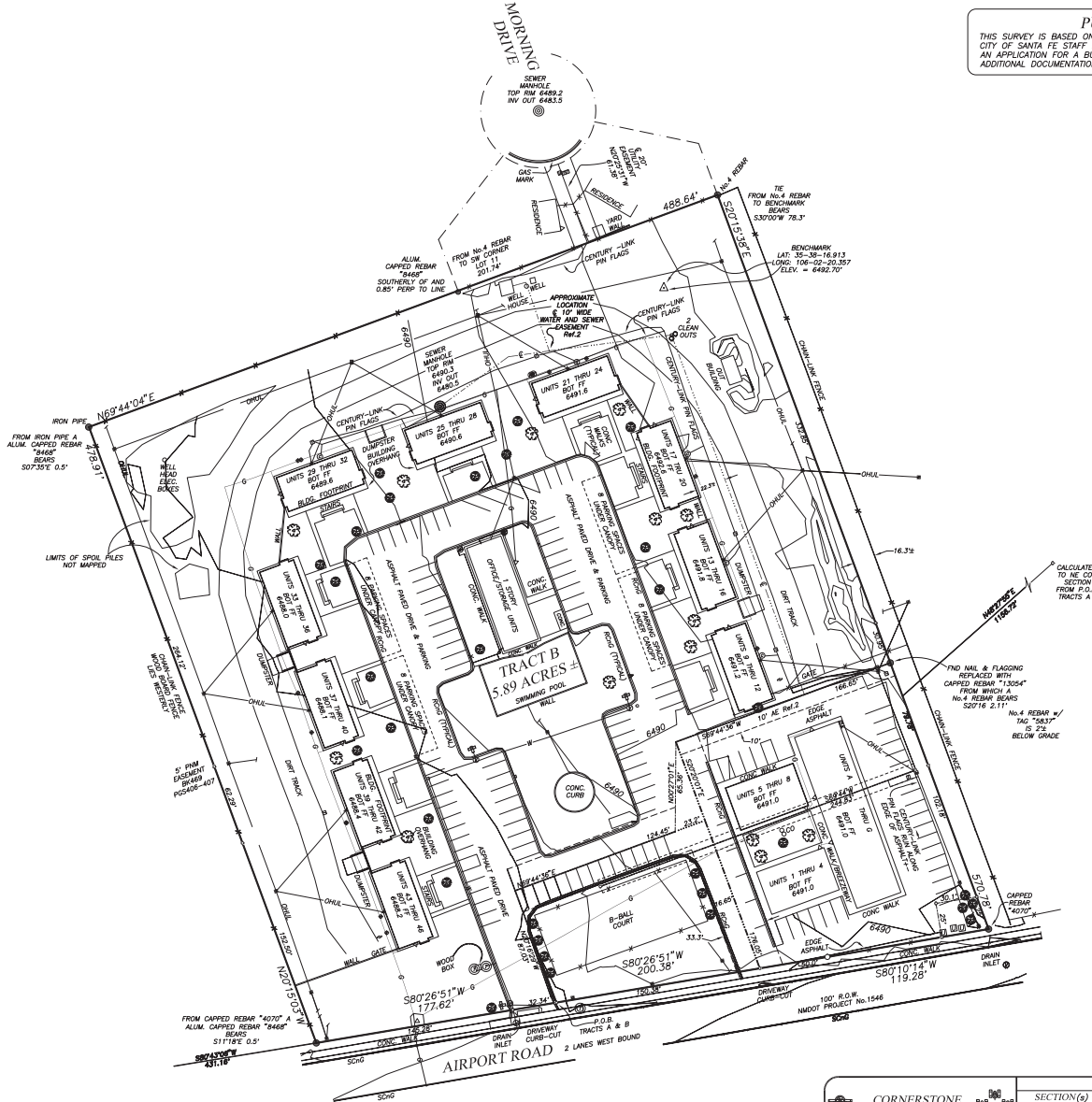
SEE SHEET 1 OF 2 FOR BOUNDARY/SITE DATA

TOPOGRAPHIC CERTIFICATE

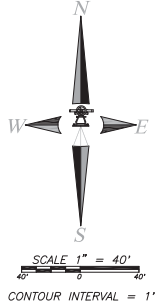
AI HEREBY CERTIFY THAT THE TOPOGRAPHIC MAPPING AS SHOWN HEREON DOES REPRESENT A TOPOGRAPHIC SURVEY COMPLETED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS, EFFECTIVE 07/24/2016. FIELD WORK COMPLETED IN 11-2024

PRELIMINARY - FOR REVIEW ONLY
01/06/2025

JEFFERY L. LUDWIG N.M.L.S. 13054 DATE

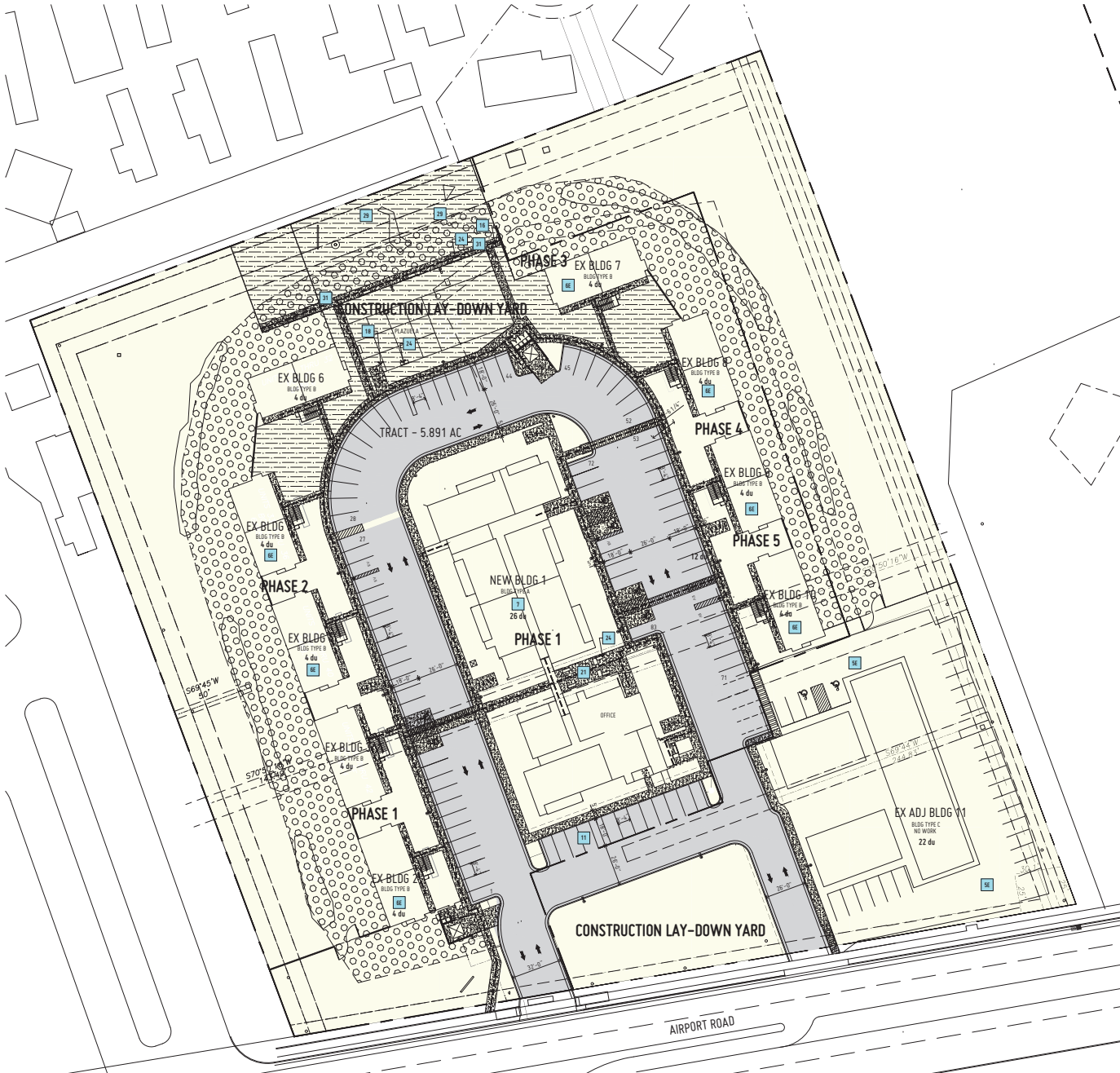


PUBLIC NOTICE
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V_002

<p>CORNERSTONE LAND SURVEYING JEFFERY L. LUDWIG N.M.L.S. No.13054 nmls@cnsps.net 505-690-7010 CELL 505-471-5477 OFFICE P.O. BOX 8348 SANTA FE, NEW MEXICO 87504</p>	SECTION(6)	12	<p>INDEXING INFORMATION FOR COUNTY CLERK TOPOGRAPHIC SURVEY PLAT PREPARED FOR</p> <p>SANTA FE CIVIC HOUSING AUTHORITY</p> <p>OF</p> <p>TRACT B COUNTRY CLUB APARTMENTS</p> <p>5999 AIRPORT ROAD CITY AND COUNTY OF SANTA FE, NEW MEXICO</p>	SHEET 2 OF 2
	TOWNSHIP	T-16-N		SCALE
	RANGE	R-8-E	DATE	01/06/25
	GRANT	N/A	DRAWN-BY	LUDY
	N.M.P.M.		CHECKED-BY	LUDY
			PROJECT No.	CCAPTS BT



CONSTRUCTION PHASING KEY

- FOR DEVELOPMENT PLAN PURPOSES THIS IS A SINGLE PHASE DEVELOPMENT PLAN PROJECT BUT FOR CONSTRUCTION PURPOSES IT WILL HAVE 6 PHASES
- BUILDINGS
 - RESIDENTIAL COMMON OPEN SPACE
 - EXTENT OF PREVIOUSLY DISTURBED AREA. THIS AREA TO BE USED FOR CONSTRUCTION STORAGE, TEMPORARY PARKING, AND CONSTRUCTION ACCESS



CONSTRUCTION PHASING PLAN

1. SITE WORK- ALL ROADS TO BE ALL WEATHER AND RATED TO 75,000 LBS., WATER UTILITIES AND STORM SYSTEM/WATER DETENTION
2. BUILDING CONSTRUCTION PHASING
 - PHASE ONE- 4 RENOVATION UNITS - NEW BUILDING, 24 NEW UNITS COMPLETE PARKING AND PARKING
 - PHASE TWO- 8 RENOVATION UNITS
 - PHASE THREE- 8 RENOVATION UNITS
 - PHASE FOUR- 8 RENOVATION UNITS
 - PHASE FIVE- 8 RENOVATION UNITS

DATE: 5 JAN 2025
 DRAWN: [Symbol]
 SHEET TITLE: OPEN SPACE AND CONSTRUCTION PHASING PLAN

OPEN SPACE

- RESIDENTIAL COMMON OPEN SPACE
- CITY OF SANTA FE RESIDENTIAL OPEN SPACE
 REQUIRED: 84.00 X 250 SF =
 PROVIDED: 0.48 AC OR 11,000 SF TOTAL
 23,000 SF

KEY NOTES

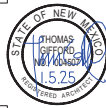
- | | | | |
|----|---|----|---|
| 18 | EXISTING PROPERTY LINE | 26 | BENCH, ADA ACCESSIBLE SEE DETAIL X/A_091 |
| 19 | EXISTING FENCE OR YARDWALL | 27 | FIRE RISER ROOM W/ FIRE DEPARTMENT CONNECTION |
| 20 | EXISTING UTILITY EASEMENT | 28 | REPAIR FENCE, LANDSCAPE @ NEW OFF-SITE UTILITY WORK |
| 21 | EXISTING ASPHALT DRIVE AND PARKING | 29 | STOP SIGN |
| 22 | EXISTING APARTMENT BUILDING, 2 STORY | 30 | SIDEWALK CURB, CONCRETE, WITH METAL TURN-PLATE COVER |
| 23 | NEW APARTMENT BUILDING, 3 STORY | 31 | CHILDREN'S PLAY EQUIPMENT, SEE LANDSCAPE PLAN FOR DETAILS |
| 24 | CONCRETE SIDEWALK, 4" T, 3000 PSI, MAX. SLOPE 5% MAX. SLOPE | 32 | CONFORM SAFETY EQUIPMENT, SEE LANDSCAPE PLAN FOR DETAILS |
| 25 | ADA SIDEWALK RAMP, CONCRETE, W/ DETECTABLE WARNING, SEE DETAILS | 33 | REPAIR CONCRETE CURB AND STREET AT NEW OFF-SITE UTILITY |
| 26 | VEHICLE ACCESS DRIVEWAY, ASPHALT, WITH VEHICLE SEE ENGINEERING | 34 | PLAY AREA SIGN WARNING, "NO PLAY AREA IS AT ONE'S OWN RISK", SEE X/A093 |
| 27 | PARKING AREA, ASPHALT, PAINTED LINES, SEE CIVIL | 35 | CONCRETE CROSS WALK |
| 28 | USPS MAIL AND PARCEL BOX, SEE DETAILS | 36 | FIRE HYDRANT |
| 29 | MONUMENT SIGN, "COUNTRY CLUB APARTMENTS" W/O SYMBOL, SEE DETAIL X/A_091 PLATE/SLA | 37 | CONCRETE RAMP 1:12 |
| 30 | TRASH WALL, 6'0" H. MASONRY, STUCCO, SEE DETAILS | 38 | ADA PARKING, CONCRETE, 2% MAX. SLOPE ANY DIRECTION, ADA SYMBOL, "NO PARKING", AND DIAGONAL STRIPING |
| 31 | FENCE, 3'6" H. METAL, SEE DETAIL 13/0900A | 39 | WATER SERVICE HIT BOX |
| 32 | TRASH AND RECYCLING ENCLOSURE, 6'0" H. MASONRY, STUCCO | 40 | PET WASTE STATION |
| 33 | BIKE RACK, SEE DETAIL 17/AD091 | 41 | STORMWATER PONDING, SEE CIVIL |
| 34 | CONCRETE WHEEL STOP, SPIKE TO PAVING | 42 | PEDESTRIAN ROAD CROSSING, STRIPPING, THERMO PLASTIC |
| 35 | EV CHARGER, PARKING W/ BOLLARD, STRIPPING, AND SIGNAGE | 43 | FIRE DEPARTMENT, BUILDING AND UNIT IDENTIFICATION SIGNAGE |
| 36 | OPEN SPACE, SEE SHOT 0902 FOR ALL REQUIREMENTS | 44 | PROPOSED EASEMENT |
| 37 | PONDING AREA, SEE CIVIL FOR ALL REQUIREMENTS | 45 | PROPOSED PROPERTY LINE |
| 38 | ADA PARKING SIGNAGE, SEE DETAIL 13/AD091 | 46 | |

JURISDICTION:
 PROJECT NAME:
 DRAWING TYPE:
 DRAWING DATE:
 SHEET NUMBER:

CITY OF SANTA FE
 COUNTRY CLUB
 OPEN SPACE / CONST. PHASING
 5 JANUARY 2025
 DP_02

COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
 5797 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE URBAN DESIGN
 1700 S. 20TH AVENUE, SUITE 100
 SANTA FE, NEW MEXICO 87505
 WWW.TGADARCHITECT.COM
 © Thomas Gifford Architect, LLC 2025

FILENAME: d:\projects\2011_ofca.ct\3_CAD\04_architecture\001_sheets\2011_DP02.dwg



DATE: 5 JAN 2025

BY: ANTHON

SHEET TITLE:

VEHICLE, BIKE AND PEDESTRIAN

P, B & R KEY:

- NEW BUILDINGS
- EXISTING BUILDINGS
- NEW CONCRETE SIDEWALKS ADA PARKING AND/OR PATIOS, 2% MAX CROSS SLOPE
- NEW ASPHALT, SEE CIVIL
- CITY OF SANTA FE BIKE LANE OR SHOULDER
- ADA ACCESSIBLE ROUTE
- NEW ADA ACCESSIBLE PARKING SPACE
- NEW SITE LIGHTING
- TWO WAY VEHICULAR

P, B & R KEY NOTES:

- 1E** EXISTING PROPERTY LINE
- 2E** EXISTING FENCE OR YARDWALL
- 3E** EXISTING ASPHALT DRIVE AND PARKING
- 4E** EXISTING APARTMENT BUILDING, 2 STORY
- 5E** NEW APARTMENT BUILDING, 3 STORY
- 6E** CONCRETE SIDEWALK, 4" T, SLOPE 5% MAX DIRECTION OF TRAVEL AND 2% CROSS SLOPE
- 7E** ADA SIDEWALK RAMP, CONCRETE, W/ DETECTABLE WARNING, SEE DETAILS
- 8E** VEHICLE ACCESS DRIVEWAY, ASPHALT, WITH VARIES, SEE COMPENSING
- 9E** PARKING AREA, ASPHALT, PAINTED LINES, SEE CIVIL
- 10E** PLAZUELA
- 11E** FENCE, 3'6" H, METAL, SEE DETAIL 13/DP004
- 12E** BIKE BACK, SEE DETAIL 17/AD091
- 13E** CONCRETE WHEEL STOP, SPIKE TO PAVING
- 14E** TV CHARGER, PARKING W/ BOLLARD, STRIPPING, AND SIGNAGE
- 15E** OPEN SPACE, SEE SHP DP02 FOR ALL REQUIREMENTS
- 16E** ADA PARKING SIGNAGE, SEE DETAIL 13/AD091
- 24E** BENCH, ADA ACCESSIBLE SEE DETAIL X/A_091
- 27E** STOP SIGN
- 28E** CHILDREN'S PLAY EQUIPMENT, SEE LANDSCAPE PLAN FOR DETAILS
- 29E** CONFORM SHEET CLEARANCE DISTANCES PRIOR TO INSTALL
- 31E** PLAY AREA SIGN WARNINGS - USING PLAY AREA IS AT ONE'S OWN RISK, SEE X/A095
- 32E** CONCRETE CROSS WALK
- 34E** CONCRETE RAMP 1:12
- 35E** ADA PARKING, CONCRETE, 2% MAX. SLOPE, ONE DIRECTION, ADA SYMBOL, "NO PARKING" AND DIAGONAL STRIPING
- 36E** PET WASTE STATION
- 38E** LIGHT POLE
- 41E** PEDESTRIAN ROAD CROSSING, STRIPPING, THERMO PLASTIC

ADA NOTES:

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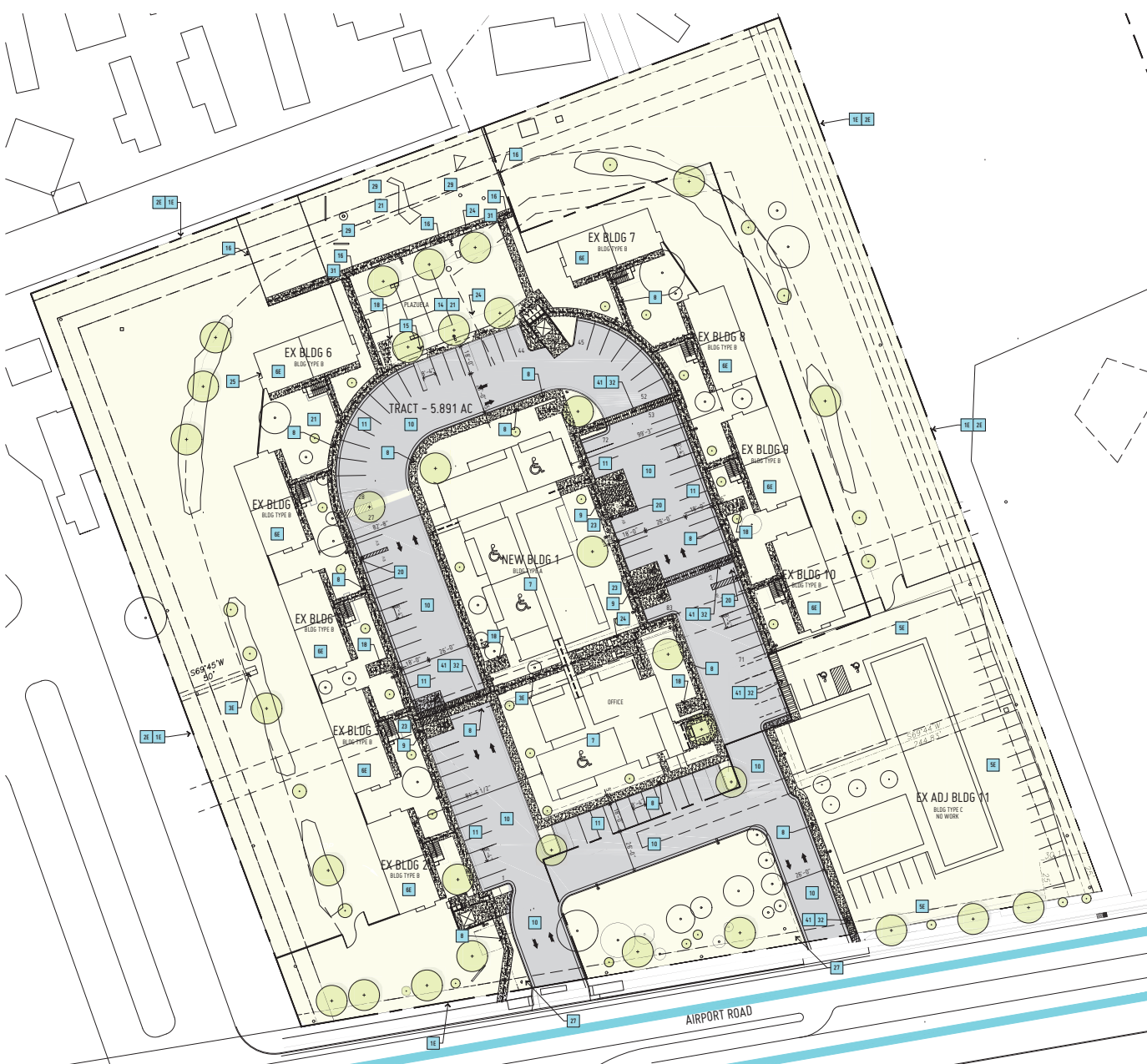
RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ANS A117.1-2009 REQUIREMENTS AND SHALL INCLUDE HANDRAILS, EDGE PROTECTION, AND LANDINGS AS REQUIRED BY THE STANDARDS.

ACCESSIBLE PATIOS IN EXCESS OF 5% ARE CONSIDERED RAMPS AND SHALL MEET ALL REQUIREMENTS FOR RAMPS. IN NO CASE SHALL THE SLOPE OF A RAMP EXCEED 1/12 OR 8% SLOPE (BEST PRACTICE, NOT CODE, WOULD BE TO USE 1.5% FOR CROSS SLOPES AND 6.67% FOR RAMPS).

PARKING SPACES AND ACCESS ASILES ADJACENT TO PARKING SPACES SHALL BE LEVEL WITH A CROSS SLOPE NOT IN EXCESS OF 1/48 OR 2% SLOPE.

CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING GRADE POINTS AND FOR DESIGNING AND CONSTRUCTING PAVEMENT SECTIONS TO MEET SLOPE REQUIREMENTS AS ESTABLISHED ABOVE.

DETAILS OF RAMPS AND RIMS ARE APPROXIMATE AND ARE BASED ON OBSERVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND CORRECTING ACTUAL GRADES TO THE PROPOSED SCHEMATIC DESIGN. CONTRACTOR'S TEAM SHALL NOTIFY THE ARCHITECT OF EXISTING AND SHALL COORDINATE REVISED RAMP AND ACCESS LAYOUTS AND BE IN SYNC WITH THE ARCHITECT.



1 | COUNTRY CLUB VEHICULAR, BICYCLE AND PEDESTRIAN



SCALE: 1" = 30'

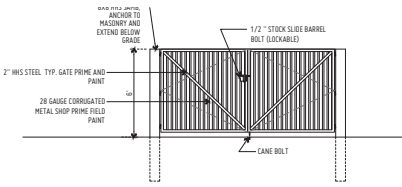
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PROJECT NAME:
DRAWING TYPE:
DRAWING DATE:
SHEET NUMBER:

CITY OF SANTA FE
COUNTRY CLUB
VEHICULAR, BIKE AND PED PLAN
1 JANUARY 2025
DP_03

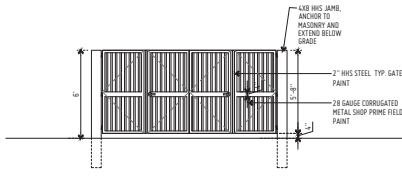
COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
THOMAS GIFFORD ARCHITECT
ARCHITECTURE URBAN DESIGN
1700 S. GARDEN AVENUE, SUITE 100
SANTA FE, NM 87505
www.tgafford.com

DP_03

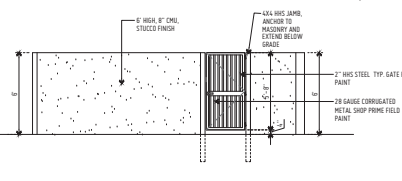
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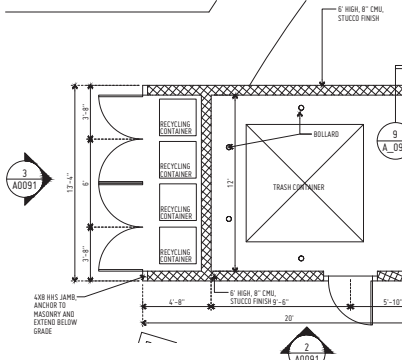
4 | TRASH ENCLOSURE ELEVATION
 A091 SCALE: 1/4" = 1'-0"



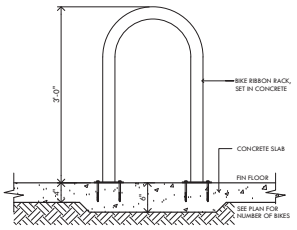
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 A091 SCALE: 1/4" = 1'-0"



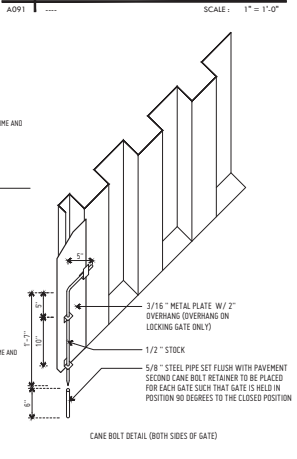
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 A091 SCALE: 1/4" = 1'-0"



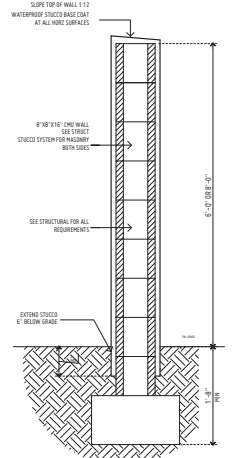
1 | TRASH ENCLOSURE PLAN
 A091 SCALE: 1/4" = 1'-0"



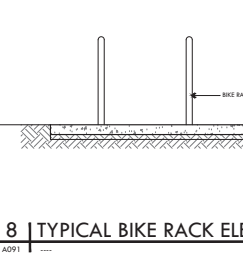
6 | BIKE RACK DETAIL
 A091 SCALE: 1" = 1'-0"



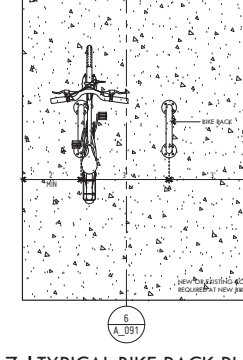
5 | CANE BOLT DETAIL
 A091 SCALE: 1" = 1'-0"



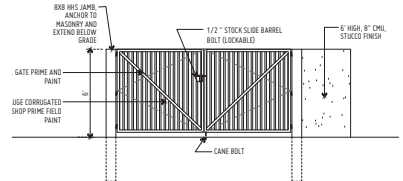
9 | NEW CMU YARDWALL
 A091 SCALE: 1" = 1'-0"



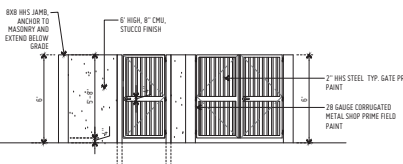
8 | TYPICAL BIKE RACK ELEVATION
 A091 SCALE: 1/2" = 1'-0"



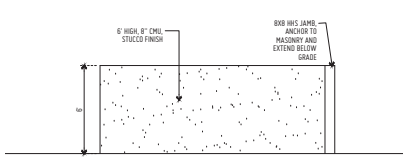
7 | TYPICAL BIKE RACK PLAN
 A091 SCALE: 1/2" = 1'-0"



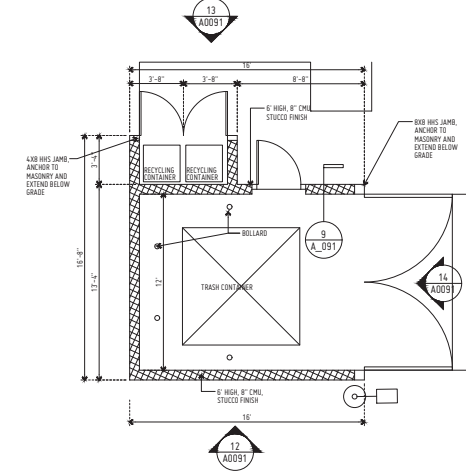
14 | TRASH ENCLOSURE ELEVATION
 A091 SCALE: 1/4" = 1'-0"



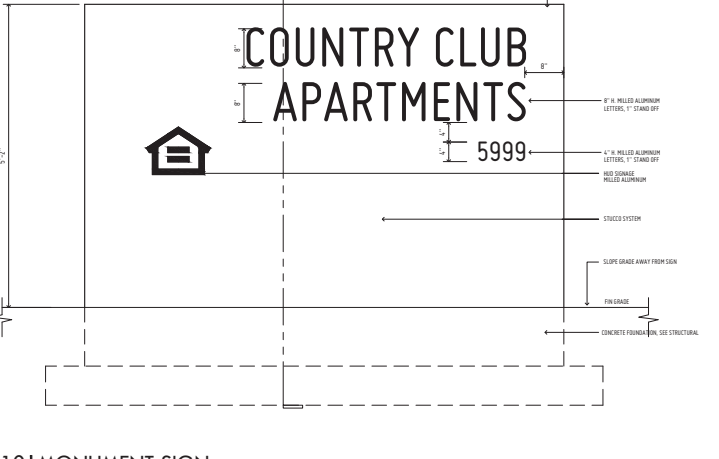
13 | TRASH ENCLOSURE ELEVATION
 A091 SCALE: 1/4" = 1'-0"



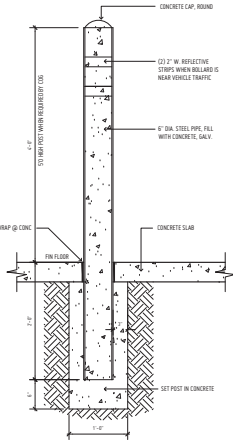
12 | TRASH ENCLOSURE ELEVATION
 A091 SCALE: 1/4" = 1'-0"



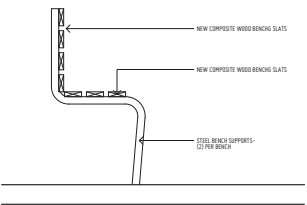
11 | TRASH ENCLOSURE PLAN
 A091 SCALE: 1/4" = 1'-0"



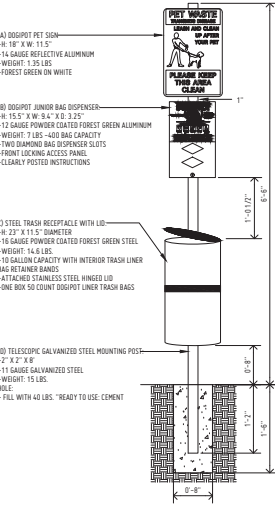
10 | MONUMENT SIGN
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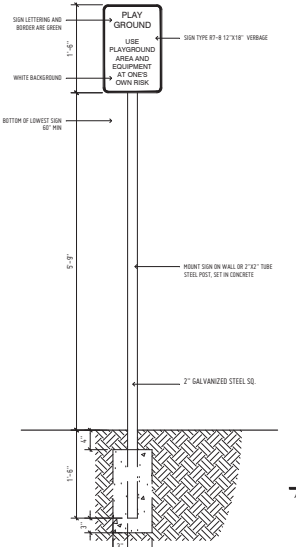
9 BOLLARD
SCALE: 1" = 1'0"



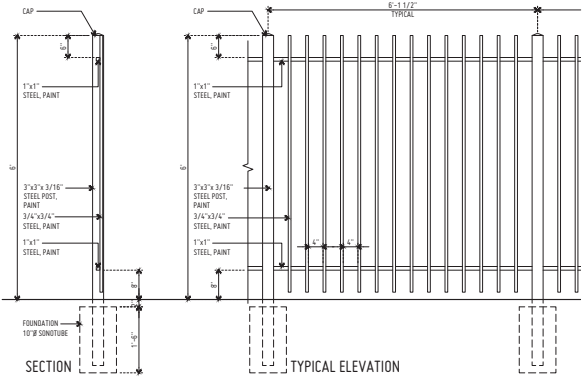
10 BENCH
SCALE: 1" = 1'0"



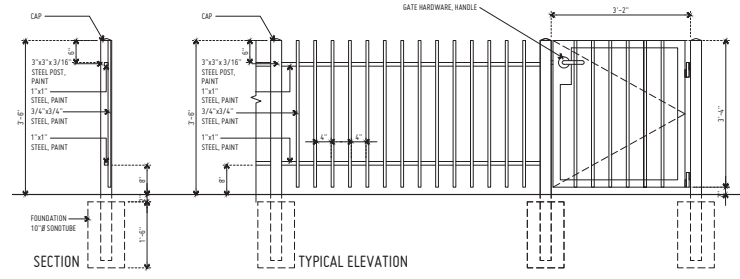
5 PET WASTE DETAIL
SCALE: 1" = 1'0"



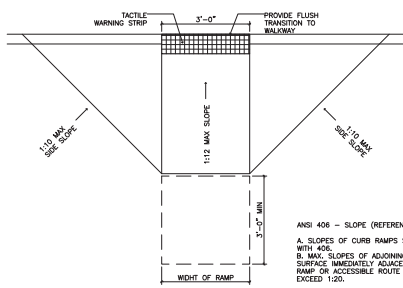
6 PLAYGROUND SIGNAGE
SCALE: 1" = 1'0"



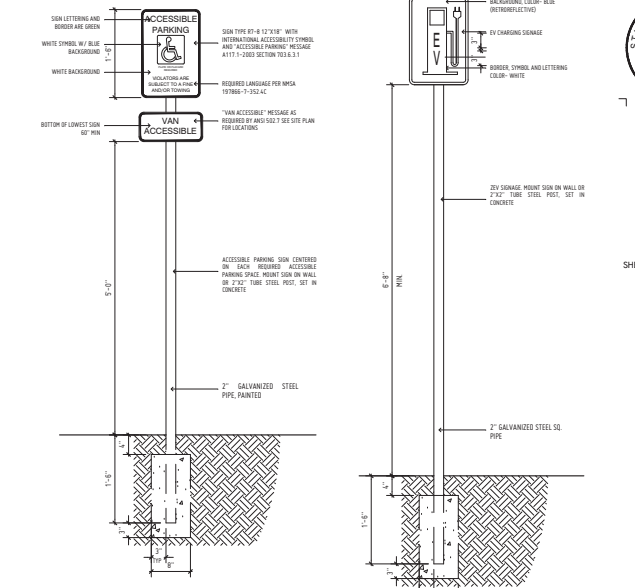
7 6'0 H. METAL FENCE
SCALE: 3/4" = 1'0"



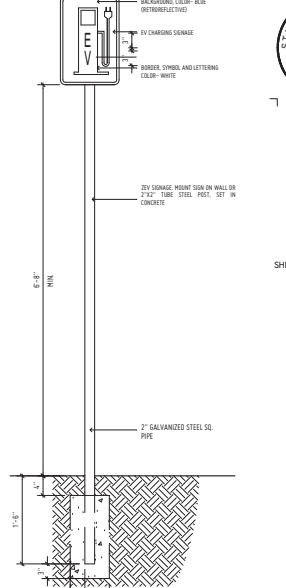
8 3'6 H. METAL FENCE
SCALE: 3/4" = 1'0"



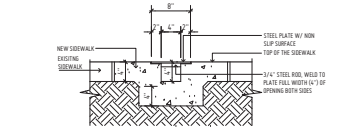
3 ADA SIDEWALK CURB
SCALE: 1/2" = 1'0"



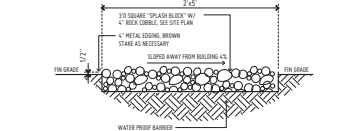
11 ACCESSIBLE PARKING SIGNAGE
SCALE: 1" = 1'0"



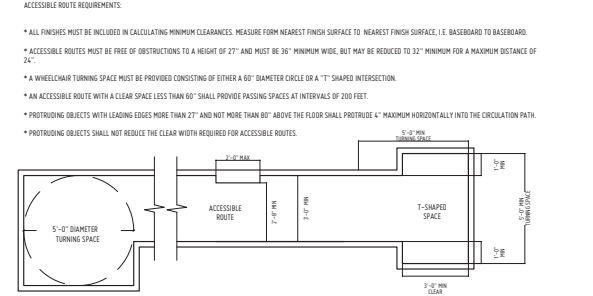
12 EV PARKING SIGNAGE
SCALE: 1" = 1'0"



1 SIDEWALK CULVERT SECTION
SCALE: 1" = 1'0"



2 DOWNSPOUT SPLASH BLOCK
SCALE: 1" = 1'0"



4 ACCESSIBLE ROUTE PLAN
SCALE: 3/8" = 1'0"



DATE: 5 JAN 2025
BY: JG
SHEET TITLE: DETAILS



FIRE 1 KEY:

- NEW RESIDENTIAL BUILDING
- EX. BUILDING, RENOVATION
- ADDING BUILDING, OFF-SITE
- MASONRY YARDWALL, CMU AND STUCCO
- EW: EX. FIRE WATER SERVICE LINE, SIZE AS NOTED
- W: NEW FIRE WATER SERVICE LINE, SIZE AS NOTED

FIRE 1 NOTES:

- 1E EX. PROPERTY LINE
- 2 NEW RESIDENTIAL BUILDING
- 3E EX. RESIDENTIAL BUILDING, RENOVATION
- 4E EX. RESIDENTIAL BUILDING, NO WORK
- 5 PARKING SPACES
- 6 CONCRETE SIDEWALK AND PAVED AREAS
- 7 FIRE ACCESS DRIVEWAY
- 8 EXISTING FIRE HYDRANT, RELOCATE
- 9E EXISTING FIRE HYDRANT
- 10 NEW FIRE HYDRANT
- 11 F/W
- 12E EX. FIRE WATER LINE
- 13E NEW FIRE WATER LINE
- 14 FIRE LANE, SIGNAGE "NO PARKING FIRE LANE", PAINTED CURB COLOR-RED
- 15 BUILDING FIRE RISER ROOM W/FDC

FIRE 1 GENERAL NOTES

- A. REFER TO ALL SHEET FOR ALL REQUIREMENTS
- B. BUILDINGS TO MEET ALL 2021 IRC AND IFC REQUIREMENTS
- C. ALL RESIDENTIAL BLDG SPRINKLERED TYPE 13R
- D. ALL RESIDENTIAL BUILDINGS HAVE FIRE ALARM SYSTEM
- E. FIRE APPARATUS ACCESS ROAD IS CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS
- F. 62 MULTIPLY (UNITS-1) EXIT REQUIRED

FIRE FLOW REQUIREMENTS

BUILDING	CONSTRUCTION TYPE	SQUARE FOOTAGE	FIRE FLOW
BLDG TYPE A	VA	37,153 SF	3,500 GPM @ 20 PSI - 3 HR DURATION
BLDG TYPE B	VB	3,456 SF	1,500 GPM @ 20 PSI - 2 HR DURATION

FIRE HYDRANT LOCATION + DISTRIBUTION

BUILDING	FIRE FLOW	MIN. NUMBER OF HYDRANTS	AVG. SPACING	MAX. DISTANCE
BLDG TYPE A	3,500 GPM	4	950' @	2100'
BLDG TYPE B	1,500 GPM	1	500' @	200'

COUNTRY CLUB CODE REVIEW

ADDRESS: 5999 AIRPORT ROAD 87505
 REFERENCE CODES: 2021 NEW MEXICO COMMERCIAL BUILDING CODE
 2020 NEW MEXICO ELECTRICAL CODE
 2021 NEW MEXICO ENERGY CONSERVATION CODE
 2021 NEW MEXICO MECHANICAL CODE
 2021 NEW MEXICO PLUMBING CODE
 2021 INTERNATIONAL FIRE CODE AND CITY OF SANTA FE AMENDMENTS

PROJECT INFORMATION

AGE	NEW CONSTRUCTION	HEIGHT	STORES	TYPE OF CONSTRUCTION
TOTAL				
BLDG #	TOTAL AREA (HSF)	34.11	3	VA
BLDG TYPE A	37,153 SF	23'6"	2	VB
BLDG TYPE B	3,456 SF			

AUTO SPRINKLER SYSTEM: SPRINKLERED, 13R
 MANUAL FIRE ALARM: YES

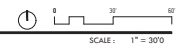
PRIMARY OCCUPANCY CLASSIFICATION: R-2
 SECONDARY OCCUPANCY CLASSIFICATION: B

PARKING: 112 REQUIRED, 112 PROVIDED

JURISDICTION: CITY OF SANTA FE
 PROJECT NAME: COUNTRY CLUB
 DRAWING TYPE: FIRE_1
 DRAWING DATE: 5 JANUARY 2025
 SHEET NUMBER: FIRE_1

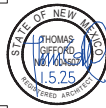
1 | COUNTRY CLUB FIRE 1 PLAN

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DATE: 5 JAN 2025
 DRAWN BY: [Signature]
 SHEET TITLE: FIRE_1

COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE ORGANIZATION
 1700 S. GARDEN AVENUE, SUITE 100
 SANTA FE, NEW MEXICO 87505
 TEL: 505.825.8888 FAX: 505.825.8889 WWW: WWW.TGACFIRM.COM



DATE: 5 JAN 2025
 REGION: ALBION
 SHEET TITLE: BLDG TYPE A - EXTERIOR ELEVATIONS

ELEVATION GENERAL NOTES

- A. REFER TO ALL SHEET FOR ALL REQUIREMENTS
- B. REFER TO CIVIL PLANS FOR TOP OF SLAB ELEVATIONS
- C. ALL OPENINGS ARE TO THE CENTERLINE BETWEEN UNITS OR TO THE OUTSIDE FACE OF FRAMING OR CONCRETE
- D. NEW STUCCO SYSTEM- TWO COAT STUCCO SYSTEM USING AN ELASTOMERIC COLOR COAT, FORMER BASE STUCCO COAT WITH FORECAST WIRE "CRACK MASTER" CONTINUOUS, SELF-PURRING WIRE LATH, TYVEK-STUCCO WRAP WATER BARRIER, PROVIDE WATERPROOF BASE COAT (2 TO 10 GAL OR EQUAL) AT ALL HORIZONTAL STUCCO SURFACES- PARAPETS, ELEC. METER COVERS, ETC.
- E. STUCCO COLORS - "SC1" MAIN COLOR, "SC2" ACCENT, STUCCO COLOR "SC1" - ROOM ROSE, STUCCO COLOR "SC2" - RUST

ELEVATION KEY NOTES

- 1 STUCCO SYSTEM, COLOR 1 - REFER TO DETAILS AND SPECIFICATIONS
- 2 STUCCO SYSTEM, COLOR 2 - REFER TO DETAILS AND SPECIFICATIONS
- 3 STUCCO CONTROL JOINT
- 4 STUCCO / CORTEX WEEP SCREED
- 5 CORTEX FASCIA, REFER TO DETAILS
- 6 HARDIPANEL
- 7 42" H. GUARD RAIL AT UNIT BALCONY, SEE DETAIL
- 8 GALVANIZED SHEET METAL CONDUCTOR AND DOWNSPUT, REFER TO DETAILS 6.7.8.9/AS04
- 9 M55 3"x 3" POST, PRIME AND PAINT, SEE STRUCTURAL
- 10 ELECTRICAL SERVICE AND METER LOCATION, VERIFY WIDTH OF ELEC. METER BANK/SHOP PRIOR TO CONCRETE WORK OR FRAMING
- 11 12" H. METAL SIGNAGE LETTER, MILLED ALUM, 1" STAND OFF ON STUCCO OR WINDOW OR DOOR AS SCHEDULED
- 12 METAL PARAPET CAP
- 13 STUCCO PARAPET CAP, SLOPE 1: 6, USE STO-FLEX-ALL BASE COATTT
- 14 MAIL AND PARCEL BOXES

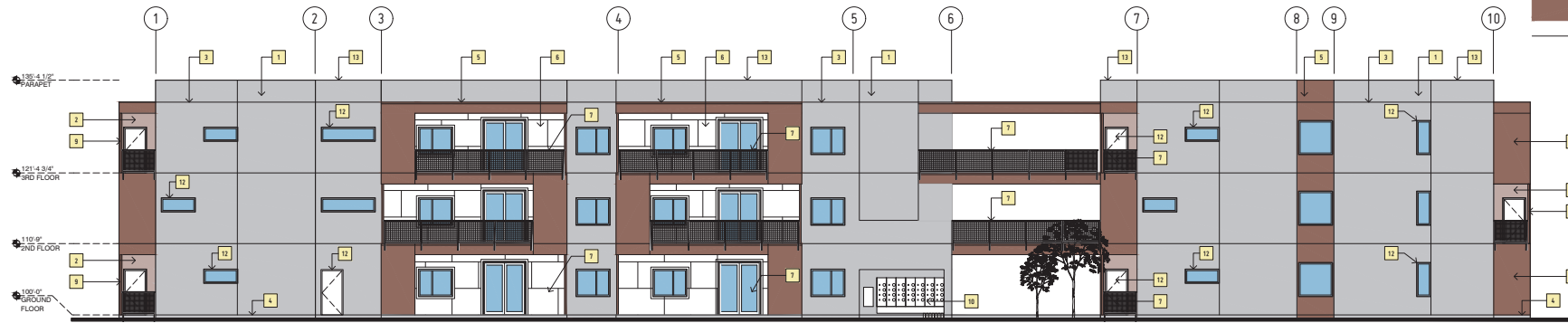
ELEVATION COLORS

	STUCCO, COLOR GREY
	STUCCO, COLOR RUST
	HARDIPANEL PAINT, COLOR WHITE



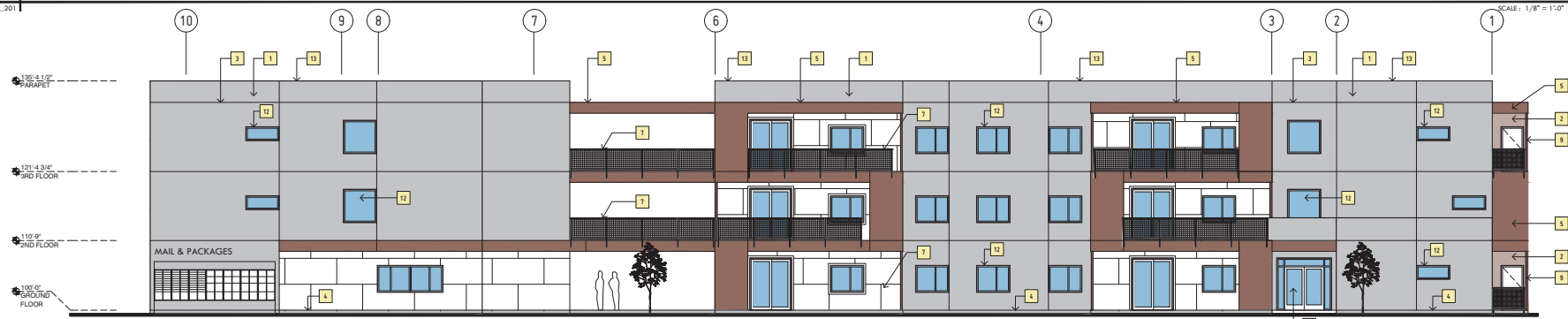
3 | BLDG. TYPE A - NORTH ELEVATION

AA_201 SCALE: 1/8" = 1'-0"



2 | BLDG. TYPE A - WEST ELEVATION

AA_201 SCALE: 1/8" = 1'-0"



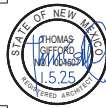
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AA_201

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COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 1700 S. WHITE CLIFF DRIVE, ALBION, NEW MEXICO 87002
 TEL: 505.261.8888 FAX: 505.261.8888 WWW.TGAD.COM

AA_201



DATE: 5 JAN 2025
 REGION:
 SHEET TITLE: BLDG TYPE A - EXTERIOR ELEVATIONS

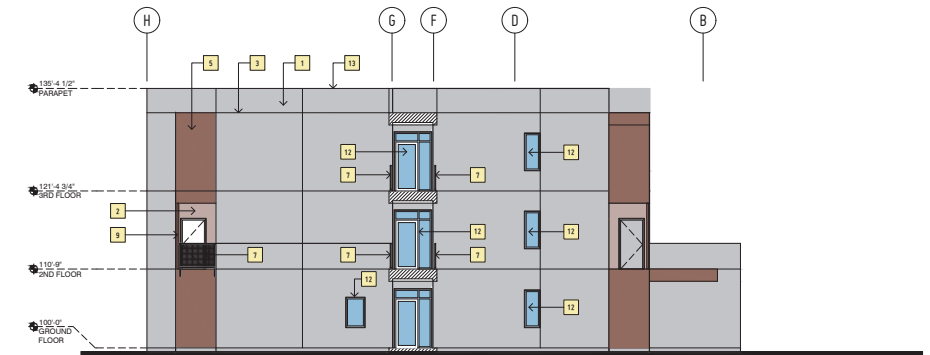
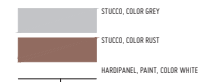
ELEVATION GENERAL NOTES

- A. REFER TO ALL SHEET FOR ALL REQUIREMENTS
- B. REFER TO CIVIL PLANS FOR TOP OF SLAB ELEVATIONS
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- E. STUCCO COLORS - "SC1" MAIN COLOR, "SC2" ACCENT, STUCCO COLOR "SC1" - ROOF RISER STUCCO COLOR "SC2" - RUST

ELEVATION KEY NOTES

- 1 STUCCO SYSTEM, COLOR 1 - REFER TO DETAILS AND SPECIFICATIONS
- 2 STUCCO SYSTEM, COLOR 2 - REFER TO DETAILS AND SPECIFICATIONS
- 3 STUCCO CONTROL JOINT
- 4 STUCCO / CORNER WEEP SCREEN
- 5 CORTEX FASCIA, REFER TO DETAILS
- 6 HARDIPANEL
- 7 42" H. GUARD RAIL AT UNIT BALCONY, SEE DETAIL
- 8 GALVANIZED SHEET METAL CONDUCTOR AND DOWNSPOUT, REFER TO DETAILS 6.7.8.9/404
- 9 KES 3" x 3" POST, PRIME AND PAINT, SEE STRUCTURAL
- 10 ELECTRICAL SERVICE AND METER LOCATION, VERIFY WIDTH OF ELEC. METER BANK/HOP FROM TO CONCRETE W/IRON OR FRAMING
- 11 12" H. METAL SIGNAGE LETTER, MILLED ALUM, 1" STAND OFF ON STUCCO OR WINDOW OR DOOR AS SCHEDULED
- 12 METAL PARAPET CAP STUCCO PARAPET CAP, SLOPE 1/6, USE STO-FLEX-ALL BASE COAT/TT MAIL AND PAREL BLOKS
- 13
- 14

ELEVATION COLORS



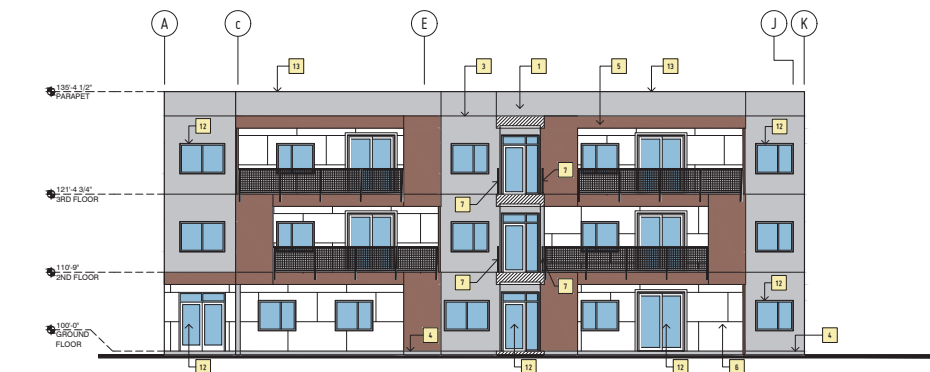
3 | BLDNG. TYPE A - SOUTH ELEVATION AT BRIDGE

AA_202 SCALE: 1/8" = 1'-0"



2 | BLDNG. TYPE A - SOUTH ELEVATION

AA_202 SCALE: 1/8" = 1'-0"

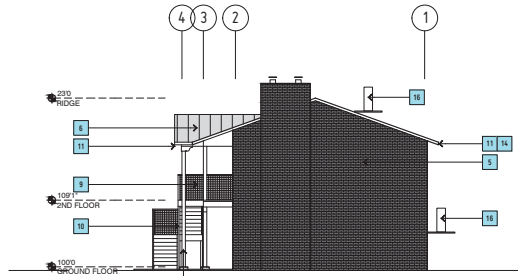


1 | BLDNG. TYPE A - NORTH ELEVATION AT BRIDGE

AA_202 SCALE: 1/8" = 1'-0"

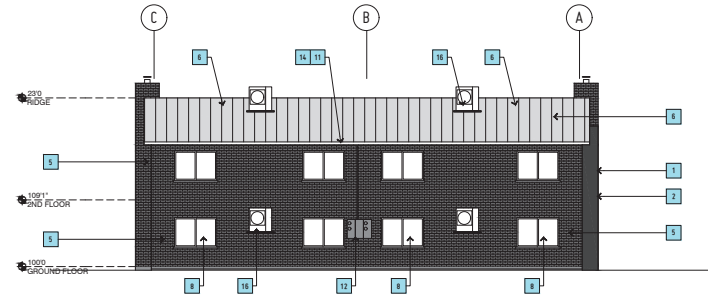
TABLE 14-8.7-2: Architectural Design Standards and Point Allocations

Architectural Design Standards	SFCC Point Allowances	Points Assigned	Discussion
WALLS			
Stucco, adobe	30		
Brick, natural stone, and integrally colored unit masonry	25	✓ 30	Stucco is the predominant exterior surface material on the building.
Concrete and non-integrally colored unit masonry	20		
Aluminum siding, glass curtainwall systems, glass block, wood siding, and simulated materials	10		
Mirrored glass curtainwall systems	-10		
Color of Predominant Exterior Surface Material			
Earthen tones, creams, and pastels of earthen hues including but not necessarily limited to rose, peach, and terra cotta colors	30	✓ 15	
Pastel colors of non-earthen hues, whites, grays, and grayish greens	15		
High-intensity colors, metallic colors, glass and black	-10		
Exterior Surface Treatment			
(A) Wall surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a paneled or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of any facade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations. CANOPY defined as an overhanging shelter or shade.	10	✓ 10	
(B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	-10		
ROOFS			
(A) Flat roof surfaces entirely concealed from public view by parapets	20		
(B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or a combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	15	✓ 20	
(C) Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	10		
(D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls, non-uniformly sloping roofs, or any combination of flat and non-uniformly sloping roofs	-10		
Form			
(A) All surfaces are concealed from public view	20		
(B) Standing, flat, or batten seen metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	15	✓ 20	
(C) Flat tiles of clay, concrete or slate	10		
(D) Barred tiles of clay, concrete, or slate; and asphalt shingles	5		
(E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	-10		
Predominant Material			
(A) All surfaces are concealed from public view	15		
(B) Dark reds, browns, and earthen tones, and natural metals including aluminum, zinc, tin, and lead	5	✓ 15	
(C) Low-intensity colors other than those stated above	0		
(D) White	0		
(E) Bright, non-fading, high-intensity colors and any use of multiple colors	-15		
Predominant Color			
BUILDING FORM			
(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible facade having a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade	30	✓ 30	
(B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, on at least one publicly visible facade	30		
(C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	0		
Massing			
DOORS AND WINDOWS			
(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lites	20	✓ 20	Recessed 2"
(B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	0		
Treatment			
(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20	✓ 20	
(B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	0		
Area			
(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners	20	✓ 20	
(B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20		
Location			
(A) All glazing is clear or tinted neutral gray	10	✓ 10	All glazing to be clear
(B) Any use of colored glazing	0		
(C) Any use of mirrored glazing	-10		
Glazing			
EQUIPMENT			
(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or other means	10	✓ 5	
(B) All building mounted equipment set forth in paragraph (A) above is either screened, and/or painted to match visually adjacent surfaces	5		
(C) All building mounted equipment set forth in paragraph (A) above is not screened and/or painted to match visually adjacent surfaces	-10		
Screening			
TOTAL POINTS ACHIEVED		205	
TOTAL POINTS Required by Zoning District R-20		185	



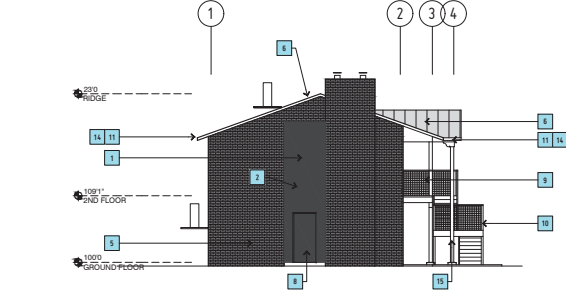
4 | BUILDING TYPE B SIDE EXTERIOR ELEVATION

AB_201 | SCALE: 1/8" = 1'0"



3 | BUILDING TYPE B REAR EXTERIOR ELEVATION

AB_201 | SCALE: 1/8" = 1'0"



2 | BUILDING B TYPE SIDE EXTERIOR ELEVATION

AB_201 | SCALE: 1/8" = 1'0"



1 | BUILDING TYPE B FRONT EXTERIOR ELEVATION

AB_201 | SCALE: 1/8" = 1'0"

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TABLE 14-8.7-2: Architectural Design Standards and Point Allocations

Architectural Design Standards	SFCC Point Allowances	Points Assigned	Discussion
WALLS			
Predominant Exterior Surface Material	Stucco, adobe Brick, natural stone, and integrally colored unit masonry Concrete and non-integrally colored unit masonry	30.0000000 25 20	Existing brick
	Mirrored glass curtainwall systems, glass block, wood siding, and simulated materials	10	
	Earthen tones, creams, and pastels of earthen hues including but not necessarily limited to rose, peach, and terra cotta colors	30	15
	Pastel colors of non-earthen hues, whites, grays, and grayish greens	15	
	High-intensity colors, metallic colors, glass and black	-10	
Exterior Surface Treatment	(A) Wall surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a paneled or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of any facade. Fenestration and/or accent colors on wall surfaces under portales or canopies having a horizontal depth of at least six feet shall be exempt from area calculations. CANOPY defined as an overhanging shelter or shade. (B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	10 -10	10
ROOFS			
Form	(A) Flat roof surfaces entirely concealed from public view by parapets (B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run (C) Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run (D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls, non-uniformly sloping roofs, or any combination of flat and non-uniformly sloping roofs	20 15 10 -10	10.0000000
Predominant Material	(A) All surfaces are concealed from public view (B) Standing, flat, or battled seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view (C) Flat tiles of clay, concrete or slate (D) Barrel tiles of clay, concrete, or slate; and asphalt shingles (E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	20 15 10 5 5	15.0000000
Predominant Color	(A) All surfaces are concealed from public view (B) Dark reds, browns, and earthen tones, and natural metals including aluminum, zinc, tin, and lead (C) Low-intensity colors other than those stated above (D) White (E) Bright, non-fading, high-intensity colors and any use of multiple colors	15 10 5 0 -15	10.0000000
BUILDING FORM			
Massing	(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible facade having a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade (B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, on at least one publicly visible facade (C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	30 30 0	30
DOORS AND WINDOWS			
Treatment	(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lites (B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	20 0	20 Recessed 2"
Area	(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations (B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	20 0	20
Location	(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners (B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20 20	20
Glazing	(A) All glazing is clear or tinted neutral gray (B) Any use of colored glazing (C) Any use of mirrored glazing	10 -10 -10	10 All glazing to be clear
EQUIPMENT			
Screening	(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means (B) All building mounted equipment set forth in paragraph (A) above is either screened, and/or painted to match visually adjacent surfaces (C) All building mounted equipment set forth in paragraph (A) above is not screened and/or painted to match visually adjacent surfaces	10 5 -10	5
TOTAL POINTS ACHIEVED		190	
TOTAL POINTS Required by Zoning District R-29		185	

ELEVATION GENERAL NOTES

- REFER TO ALL SHEET FOR ALL REQUIREMENTS
- ALL DIMENSIONS ARE TO THE CENTERLINE BETWEEN UNITS OR TO THE OUTSIDE FACE OF FRAMING OR CONCRETE
- NEW HARBOR PANEL - PRE-PRIMED AND PAINT, METAL TRIM
- EX BRICK, PAINT - "PT" MAIN COLOR - GREY
- HARBORBARND - "T2" COLOR - WHITE
- NEW STUCCO SYSTEM - TWO COAT STUCCO SYSTEM USING AN ELASTOMERIC COLOR COAT, PRIMER, BASE STUCCO COAT WITH FIBERGLASS MESH "CRACK MASTER" CONTINUOUS, SELF-FINISHING WIRE LATH, THREE-STUCCO WEAR WATER BARRIER, PROTECTIVE WATERPROOF BASE COAT (10 MIL FLEX OR EQUAL) AT ALL HORIZONTAL STUCCO SURFACES - PARAPETS, ELEC. METER COVERS, ETC.
- STUCCO COLORS - "SC" MAIN COLOR - DARK GREY



DATE: 5 JAN 2025
REGION:
SHEET TITLE: EXISTING BUILDING TYPE B EXTERIOR ELEVATIONS

ELEVATION KEY NOTES

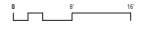
- STUCCO SYSTEM, COLOR 1 - REFER TO DETAILS AND SPECIFICATIONS
- STUCCO CONTROL JOINT
- STUCCO WEEP SLED
- HARBID PANEL, PRE-PRIMED AND PAINTED - REFER TO DETAILS AND SPECIFICATIONS
- EXISTING BRICK, CLEAN, RE-POINT AS NECESSARY AND PAINT, COLOR 1 - REFER TO DETAILS AND SPECIFICATIONS
- EXISTING METAL ROOF
- 12" H. METAL SIGNAL LETTER, MILLED ALUM, 1" STAND OFF ON STUCCO OR WINDOW OR DOOR AS SCHEDULED
- 42" H. W/ 2X2 MESH, GUARD RAIL AT BALCONY, PRIME AND PAINT, SEE DETAIL
- 12" C CHANNEL STAIRS, 3X3 W/6 POSTS, OPEN GRATE TREADS, 42" H. GUARDRAIL AND HANDRAIL
- GALVANIZED SHEET METAL GUTTER AND DOWNSPOUT, REFER TO DETAILS 6.7, 8.5/ASDA
- ELECTRICAL SERVICE AND METER LOCATION
- 6x6 WOOD POST, PRIME AND PAINT, SEE STRUCTURAL ALLOWANCE (1) PER BUILDING
- WOOD FASCIA ALLOWANCE REPLACE 20% PER BUILDING, PRIME AND PAINT, SEE STRUCTURAL ALLOWANCE (1) PER BUILDING
- CLEAN AND PAINT ALL EXISTING WOOD
- CONDENSING UNIT ON EXISTING PLATFORM

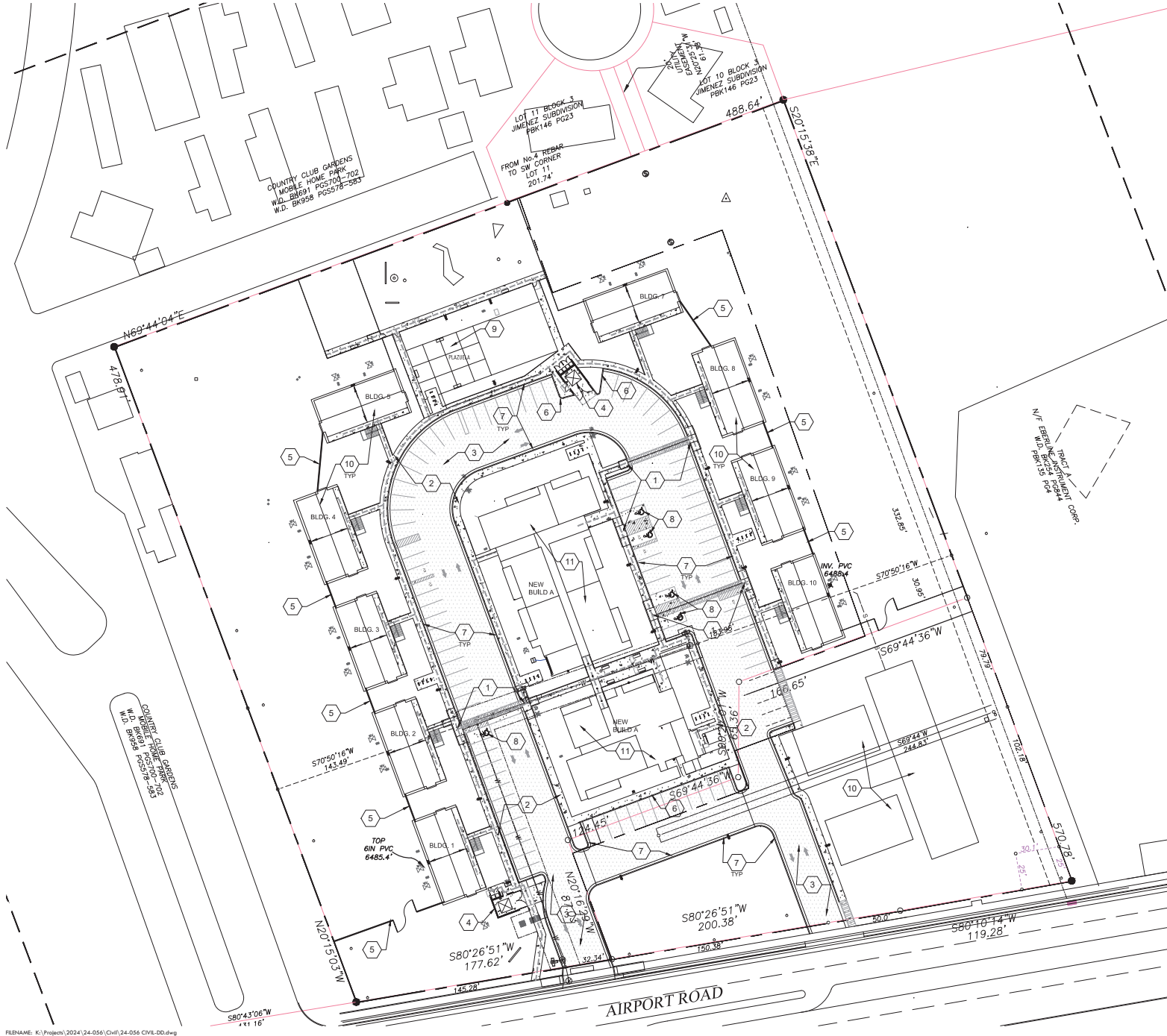
ELEVATION COLORS

- EXISTING BRICK, PAINT COLOR - MEDIUM GREY
- NEW STUCCO, COLOR - GREY
- NEW HARBOR PANEL, PAINT, COLOR - WHITE
- EXISTING METAL ROOF, COLOR - SILVER

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THOMAS GIFFORD ARCHITECT
THOMAS GIFFORD ARCHITECT
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- KEYED NOTES**
1. NEW ACCESSIBLE RAMP. SEE DETAILS 445C-502.
 2. NEW CONCRETE SIDEWALK. SEE DETAIL 7C-501.
 3. NEW ASPHALT DRIVE LANE/PARKING AREA. SEE DETAIL 6C-501.
 4. NEW DUMPSTER/COMPACTOR ENCLOSURE. SEE DETAIL 8C-501 FOR WALLS AND BOLLARDS.
 5. EXISTING SITE YARD WALL.
 6. NEW STANDING CURB. SEE DETAIL 9C-501.
 7. NEW CURB AND GUTTER. SEE DETAIL 10S01.
 8. NEW ACCESSIBLE PARKING SPACES. SEE DETAILS 2, 3, & 4C-501.
 9. NEW PATIO AREA CONCRETE SLAB ON GRADE PER SIDEWALK DETAIL 7C-501.
 10. EXISTING BUILDINGS
 11. NEW BUILDINGS

NOT FOR CONSTRUCTION

DATE: 09 JANUARY 2025

REVISION:

SHEET TITLE: **Civil Site Plan**

1 CIVIL SITE PLAN

Scale: 1" = 30'

ABQ Engineering

Civil • Structural • Mechanical • Plumbing • Electrical

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THOMAS GIFFORD ARCHITECT
 ARCHITECTURE URBAN DESIGN
 15558 8TH SW, SUITE 100, BLDG 200, DENVER, CO 80202

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DATE: 09 JANUARY 2025
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 CHECKED BY: TGG
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DRAINAGE NARRATIVE

THE SITE FOR THIS DEVELOPMENT IS TRACT B (4.89 ACRES) AND IS LOCATED TO THE NORTH ADJACENT TO THE RIGHT OF WAY OF AIRPORT ROAD IN SANTA FE, NEW MEXICO. THE SITE IS CURRENTLY OCCUPIED WITH EXISTING STRUCTURES, PARKING AREAS AND LANDSCAPE AREAS. THIS PROPOSED DEVELOPMENT WILL HAVE NEW MULTIFAMILY APARTMENTS, REVISED PARKING AREAS AND VARIOUS REVISED LANDSCAPE AREAS.

THIS PARCEL DOES NOT ACCEPT OFFSITE FLOWS FROM THE SURROUNDING PROPERTIES THE RUNOFF FROM THE SITE HISTORICALLY FLOWS ACROSS THE SITE FROM SOUTH WEST TO NORTH EAST. THE DIRECT RUNOFF FROM THE PROPERTIES TO THE WEST DOES NOT IMPACT THIS PROJECT SITE.

THE PARCEL DOES NOT HAVE ANY PORTIONS OF THE PROPERTY THAT LIE WITHIN THE FLOOD AREAS AS SHOWN ON F.I.R.M. PANEL #350490502E, EFFECTIVE DATE: 12-14-2012.

THE BUILDING ROOF DRAINAGE WILL DRAIN FROM ROOF CANALES INTO ADJACENT LANDSCAPE/PARKING AREAS. THE DEVELOPED RUNOFF HONORS THE PREDEVELOPED HISTORICAL DRAINAGE PATTERNS. THE DEVELOPED RUNOFF WILL BE DIRECTED TOWARDS VARIOUS SHALLOW PONDING AREAS THAT WILL ALSO BE UTILIZED AS A LANDSCAPE AREAS. THESE AREAS ARE LOCATED IN THE FRONT AND REAR VARIOUS ADJACENT TO THE PROPOSED BUILDINGS. THE PRE-DEVELOPED SURFACE COVERAGE AREAS (LANDSCAPE, IMPERVIOUS, UNDISTURBED) DOES NOT SIGNIFICANTLY CHANGE DUE TO THE PROPOSED DEVELOPMENT. THE MAJORITY OF THE PRE-DEVELOPED IMPERVIOUS AREA IS REPLACED WITH A SMALL INCREASE OF NEW IMPERVIOUS AREA, AND THE EXISTING LANDSCAPE AREAS ARE INCREASED SLIGHTLY. THE DEVELOPED SITE WILL HAVE INCREASED RUNOFF (SEE CALCULATIONS BELOW). THE PROPOSED DEVELOPMENT WILL REQUIRE NEW PONDING AREAS IN ADDITION TO THE EXISTING PRE-DEVELOPED PONDING AREAS.

THE DEVELOPED PONDING WILL CONSIST OF DEPRESSED LANDSCAPE AREA AROUND THE BUILDINGS AND DRESSED LANDSCAPED PONDS IN THE OPEN AREAS BEHIND THE BUILDINGS.

COUNTRY CLUB APARTMENTS (AIRPORT RD.) BASN A Runoff Calculations - 100 year, 24 hour Storm Event

UNDEVELOPED RUNOFF

Drainage Area	Runoff Curve Number	Time of Concentration	Channel Loss Factor	Soil and Hydrology	Use Description	CN	Area	Product	
(A)	(C)	(T)	(L)	(S)	(U)	(1)	(A)	(Q)	
4.8 ac	88	10.00 hr	0.00	(S) 2-1	Agua Fria - Pampa Complex	85	2,300	48.95	
16 in	10	30 in	0.00	(S) 2-3	IMPERVIOUS AREA	86	1,870	34.83	
35 in	10	30 in	0.00	(S) 2-4	NATURAL DESERT LB.	77	3,860	16.76	
Totals								4,800	423.31
CN (weighted) =								423.31	88.19
SMAF =								4,800	
USE								88	

DEVELOPED RUNOFF

Drainage Area	Runoff Curve Number	Time of Concentration	Channel Loss Factor	Soil and Hydrology	Use Description	CN	Area	Product	
(A)	(C)	(T)	(L)	(S)	(U)	(1)	(A)	(Q)	
4.8 ac	88	10.00 hr	0.00	(S) 2-1	Agua Fria - Pampa Complex	85	2,150	44.81	
16 in	10	30 in	0.00	(S) 2-3	IMPERVIOUS AREA	86	1,960	42.91	
35 in	10	30 in	0.00	(S) 2-4	NATURAL DESERT LB.	77	2,890	14.61	
Totals								4,800	427.36
CN (weighted) =								427.36	88.19
SMAF =								4,800	
USE								89	

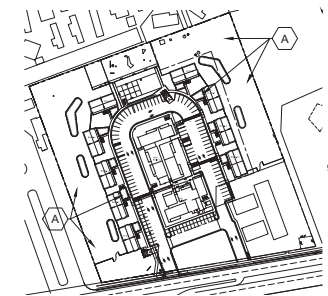
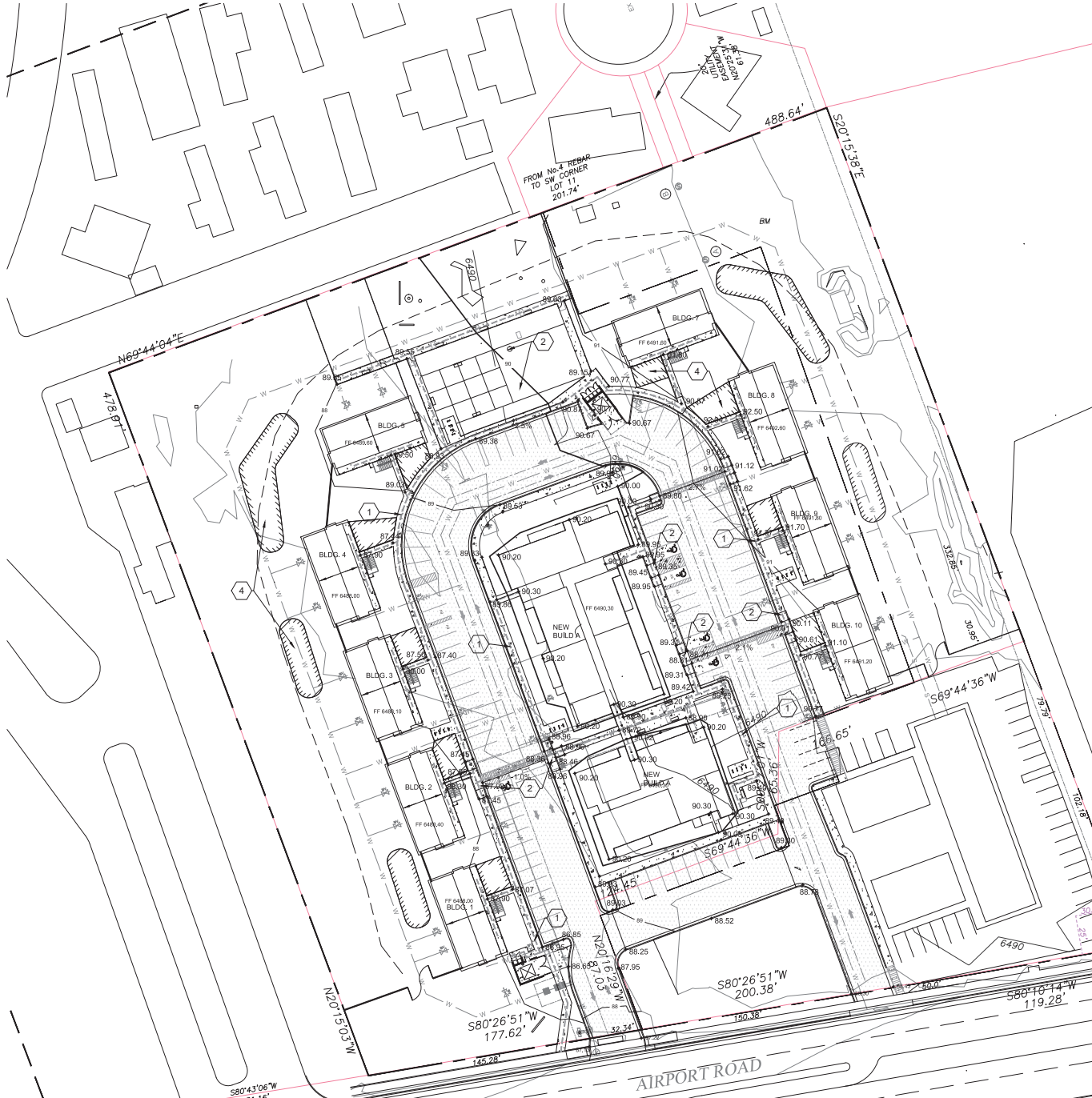
GENERAL NOTES

- SPOT ELEVATIONS ARE TOP OF CURB OR TOP OF SIDE WALK UNLESS NOTED WITH 'FL' FOR FLOOR LINE OF CURB.
- ALL CURBS AT PARKING AREAS AND ACCESS DRIVEWAYS ARE STANDING CURBS PER DETAIL 91C-201. UNLESS NOTED OTHERWISE (U.N.C.)

KEYED NOTES

- ADA PATHWAY PER COSF SPECIFICATIONS FOR RAMP SLOPES AND WALKWAY/LANDINGS SLOPES.
- NEW ACCESSIBLE RAMP: IF APPLICABLE, REPAIR/REPLACE EXISTING SIDEWALKS REQUIRED FOR NEW CONSTRUCTION. SEE DETAILS 485/C-502.
- NEW CONCRETE SLAB ON GRADE PER SIDEWALK DETAIL 7/C-501.
- POUNDING AREAS - 3" DEEP DEPRESSION FROM SURROUNDING GRADES.

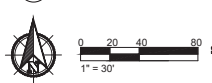
NOT FOR CONSTRUCTION
DATE: 01 JANUARY 2025
REVISION:
SHEET TITLE: **Site Grading and Drainage Plan**



PONDING NOTES
A. PONDING AREAS ARE REGIONS AS SHOWN WHICH WILL BE DEPRESSED 2" BELOW SURROUNDING GRADES. (TOTAL 6500 SF MIN.) SEE CALCS ABOVE (6500X3/12 = 1625 CU. FT. > 1520 REQ.)

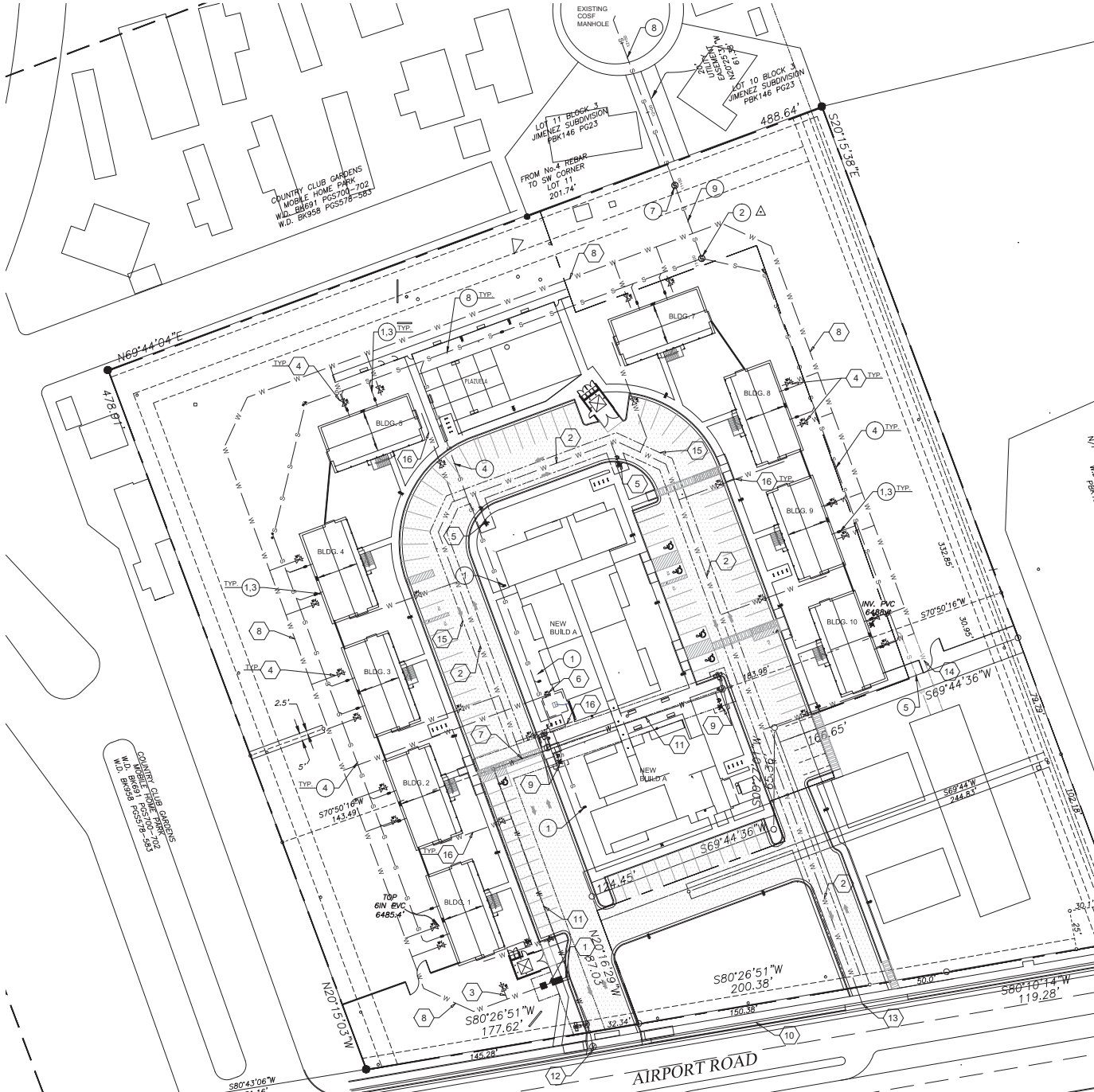
2 PONDING AREAS MAP

1 SITE GRADING & DRAINAGE PLAN



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THOMAS GIFFORD ARCHITECT
ARCHITECTURE URBAN DESIGN
1425 8TH ST SW, SUITE 100, ALBUQUERQUE, NM 87102
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GENERAL NOTES

- THE LOCATIONS OF EXISTING UTILITIES WERE TAKEN FROM AVAILABLE RECORDS. THE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- TELEPHONE AND CABLE SERVICE TO BE COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY PROVIDERS.
- SEE LANDSCAPE PLAN FOR DETAILS OF IRRIGATION SYSTEM.

WATER KEYED NOTES

- NEW (PUBLIC) 3" DIA. PVC (SDR 26) WATER LINE, NEW 3" METER SERVICE (COSF STD-19), AND COSF APPROVED RBFP.
- NEW (PUBLIC) 8" DIA. PVC (SDR 26) MAIN WATER LINE.
- INSTALL (PRIVATE) 1" DIA. IRRIGATION WATER SERVICE LINE, (BASED ON IRRIGATION DEMAND OF X GPM MAX. & ONLY ONE ZONE OF X RUNNING AT A TIME).
- INSTALL (PRIVATE) 3/4" DIA. DOMESTIC SERVICE LINE TO BUILDING WITH GATE VALVE.
- NEW (PUBLIC) FIRE HYDRANT. INSTALL 6"x4" TAPPING SLEEVE (FULL CIRCLE STAINLESS STEEL), 6" DIA. TAPPING GATE VALVE AND RESTRAIN.
- INSTALL (PRIVATE) 1-1/2" DIA. DOMESTIC SERVICE LINE TO BUILDING WITH GATE VALVE.
- NEW CONNECTION TO EXISTING 8" PVC WATER LINE. INSTALL 8" MJ X 8" FLG. TEE RESTRAIN AT EXISTING 8" FIRE LINE.
- NEW (PRIVATE) 3" DIA. PVC DOMESTIC WATER LINE.
- RELOCATE EXISTING FIRE HYDRANT TO LOCATION SHOWN, REUSE EXISTING TEE, SUPPLY LINE AND HYDRANT.
- EXISTING 14" DIA. CI MAIN WATER LINE.
- EXISTING 6" DIA. DI MAIN WATER LINE (AFTER HYDRANT).
- EXISTING TAP TO EXISTING 14" LINE. SHUTOFF VALVES, TEE TO FIRE HYDRANT, AND FIRE HYDRANT TO REMAIN.
- NEW CONNECTION TO EXISTING 14" PVC WATER LINE. INSTALL 14"x8" TAPPING SLEEVE, 8" GATE VALVE (COSFFV DETAIL 08) BOX AND RESTRAIN. SEE KEYNOTE 14
- FIELD VERIFY LOCATION OF EXISTING DOMESTIC WATER LINE FROM EXISTING BUILDING TO THE SOUTH. MATCH DIAMETER OF NEW LINE TO EXISTING PIPE SIZE. NEW SAS LINE WILL CONNECT TO EXISTING BUILDINGS' CLEANOUTS LOCATIONS.
- NEW 10' WIDE MAIN WATER LINE EASEMENT.
- NEW (PRIVATE) 4" DIA. FIRE SERVICE LINE TO BUILDING FIRE RISER ROOM (RBFP), WITH 8" MJ X 4" FLG. TEE AT MAIN, 4" DIA.

KEYED NOTES (SANITARY SEWER)

- (NEW) SAS DOUBLE CLEANOUT / ACCESSIBLE BACKWATER VALVE. AT EACH UNIT TYPICAL. EXISTING SAS LINE OUT OF BUILDING AND CLEANOUTS WILL REMAIN IN SERVICE UNTIL CONNECTION OF NEW LINE AND NEW CLEANOUTS FOR EACH EXISTING UNIT.
- (NEW) SAS SEWER LINE AND TYPE 'E' MANHOLES SHOWN ON PLAN IS A PRIVATE SYSTEM. SEWER CONSTRUCTION WILL BE PER STANDARD COSF SAS STANDARD DETAILS WITH THE EXCEPTION OF THE USE OF A STANDARD MANHOLE LID WITH NO CITY OF SANTA FE COVER LETTERING.
- (NEW) 4" PVC SANITARY SEWER LATERAL WITH 4'-0" MIN. COVER AND 1/4" / FT MIN. SLOPE. SEE SHEET C-100 FOR CONTINUATION.
- (NEW) 6" PVC SANITARY SEWER LINE WITH 4'-0" MIN. COVER AND 1/4" / FT MIN. SLOPE. SEE SHEET C-100 FOR CONTINUATION.
- FIELD VERIFY LOCATION OF EXISTING SAS LINE FROM EXISTING BUILDING TO THE SOUTH. MATCH DIAMETER OF NEW LINE TO EXISTING PIPE SIZE. NEW SAS LINE WILL CONNECT TO EXISTING BUILDINGS' CLEANOUTS LOCATIONS.
- NEW (PRIVATE) SAS LIFT STATION SEE DESIGN CRITERIA THIS SHEET. SEE SHEET C-502 FOR PLAN AND PROFILE OF SAS LINES.
- NEW (PUBLIC) 8" DIA. PVC SAS SEWER LINE FROM PRIVATE LIFT STATION 120.00 LF 8" SAS @ 0.5%.
- NEW (PRIVATE) 6" DIA. PVC SAS SEWER LINE, 50.00 LF @ 0.5%.

LIFT STATION DESIGN CRITERIA

INLET:
GRAVITY FLOW
INLET = 6" PVC
VELOCITY = 2.5 ft/sec min.
TOTAL EFFLUENT FLOW (min) Qin = 350 GPM

OUTLET:
GRAVITY FLOW - (AS SHOWN)
OUTLET = 8" PVC
VELOCITY = 2.5 ft/sec min.
LINE MIN. SLOPE 1/4" / FT

PUMP AND DRY WELL:
-MIN. STATIC HEAD = 3' + DEPTH OF DRY WELL
-DUPLEX PUMPING SYSTEM (IN CASE OF SINGLE PUMP FAILURE)
-THE WET WELL SHALL BE SIZED SO THAT THE CYCLE TIME FOR EACH PUMP WILL NOT BE LESS THAN 5 MINUTES OR THAT THE AVERAGE CYCLE TIME WILL NOT BE MORE THAN 30 MINUTES

NOTE:
SUBMITTAL DRAWINGS FOR LIFT STATION SHALL BE SUBMITTED TO AND REVIEWED BY ENGINEER OF RECORD BEFORE WORK IS TO PROCEED.

UTILITY NOTES

INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE ENGINEER MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM HIMSELF OF THE LOCATION OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

SCOPE OF WORK FOR NEW SAS SYSTEM WILL BE SUBSTANTIALLY COMPLETED AND INSTALLED BEFORE BEING CONNECTED TO THE EXISTING BUILDINGS. EXISTING SAS SYSTEM WILL BE COMPLETELY ABANDONED IN GROUND AFTER NEW SAS SYSTEM IS CONNECTED AND OPERATING.

CONTRACTOR TO FIELD VERIFY SEWER PIPE INVERT ELEVATIONS AND LOCATIONS AT EACH BUILDING EXTERIOR. CONTRACTOR TO LAYOUT NEW 4" AND 6" SEWER SERVICE LINES AT DEPTHS AND SLOPES TO MATCH 4'-0" MIN. COVER AND 1/4" / FT SLOPE MIN. CONTRACTOR TO PROVIDE PROPOSED LAYOUT PLAN DRAWINGS FOR REVIEW BY EOR.

SITE WET UTILITY PLAN
Scale: 1" = 30'



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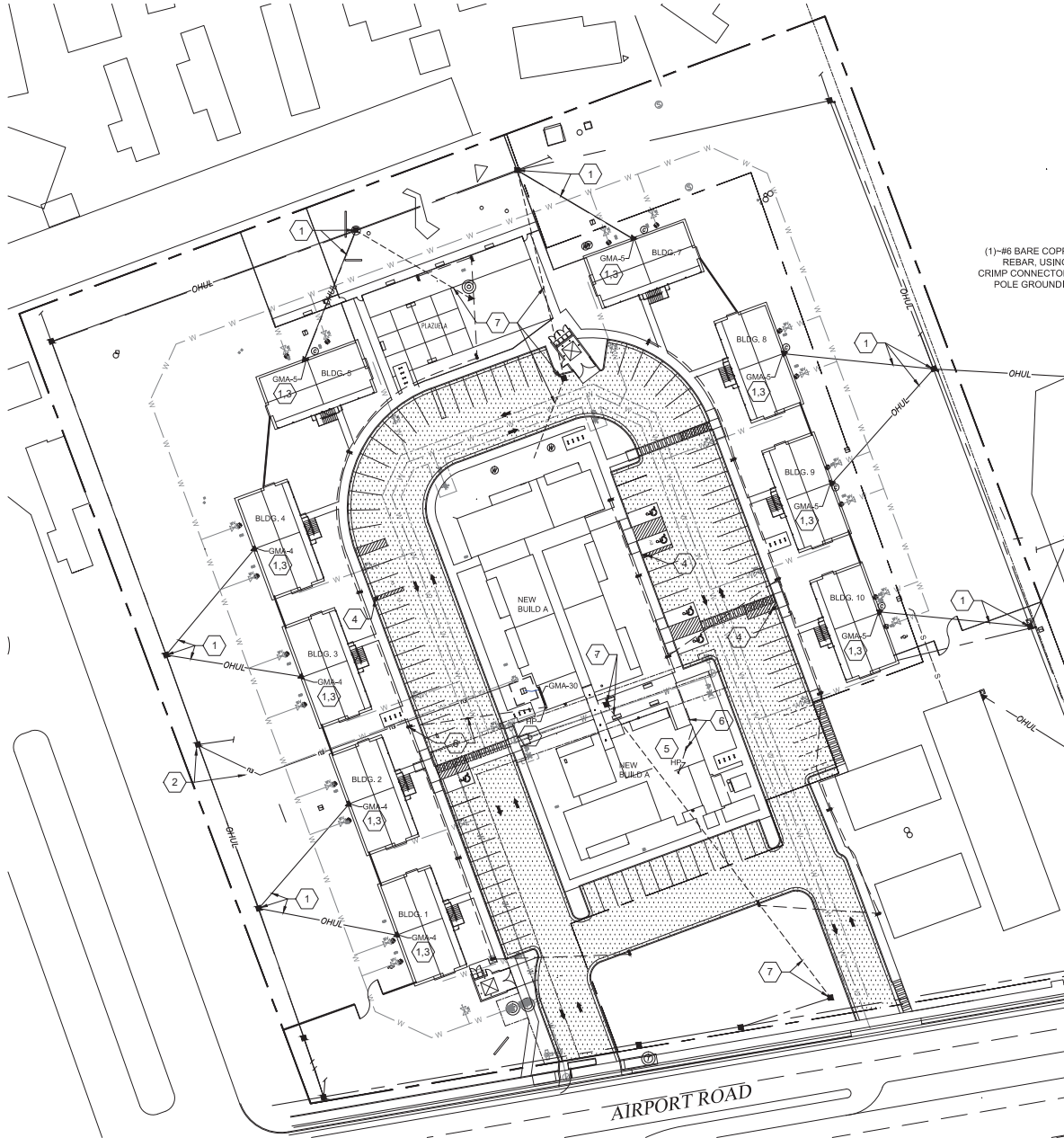
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DATE: 09 JANUARY 2025
REVISION:
SHEET TITLE: **Site Wet Utility Plan**

LAST MODIFIED: Jan 06, 2025 10:20am
DRAWN BY: T. GIFFORD
CHECKED BY: T. GIFFORD
DATE: 12-23-2024 10:59am
BY USER: Overight

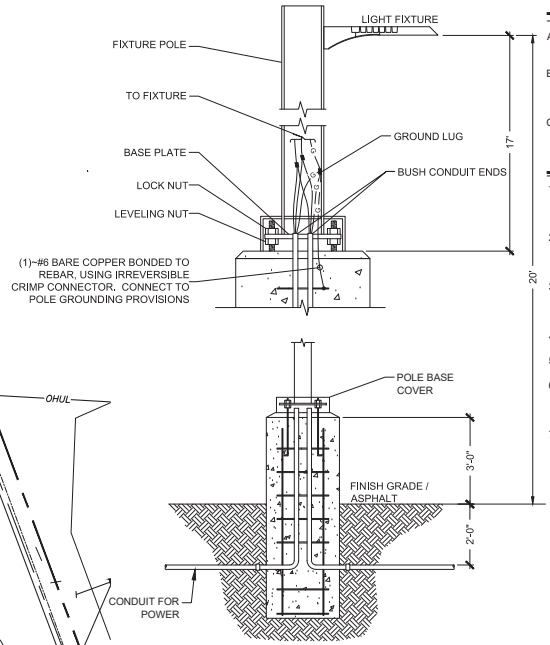
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C-102



1 SITE POWER AND LIGHTING PLAN
Scale: 1" = 30'



2 FOR POLE BASE CONSTRUCTION, REFER TO SITE / ARCHITECT / CIVIL / STRUCTURAL
SITE LIGHT - TYPE S, S1
Scale: NTS

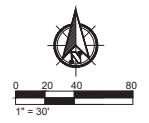
GENERAL NOTES

- A. ALL WORK SHALL BE PER P.N.M. STANDARDS AND COORDINATED W/ ENGINEER.
- B. PROVIDE ARC FLASH LABEL CLEARLY VISIBLE ON EQUIPMENT PER LATEST EDITION OF N.E.C., ARTICLE 110.16.
- C. CONTRACTOR SHALL VERIFY WIRE SIZES SHOWN PROVIDE MAXIMUM VOLTAGE DROP PER N.E.C.

KEYED NOTES

1. EXISTING POWER POLE, NEW POLE-MTD XFMR AND NEW OVERHEAD SECONDARY FEEDERS TO NEW (4)-UNIT GANGABLE METER ASSEMBLY.
2. EXISTING POWER POLE, NEW RISER(S) AND NEW UNDERGROUND PRIMARY FEEDERS TO NEW PAD-MTD XFMR.
3. GANGABLE / MODULAR ASSEMBLY WITH QUANTITY OF METERS / MAINS REQUIRED PER BUILDING, INCLUDING HOUSE PANEL.
4. ELECTRIC VEHICLE CHARGING STATION.
5. BUILDING HOUSE PANEL 'HP'.
6. EXTEND SITE LIGHTING BRANCH CIRCUITS THRU EXTERIOR LIGHTING CONTROL AT RESPECTIVE BUILDING WITH DUSK-ON / DAWN-OFF CONTROL.
7. REMOVE OVERHEAD CONDUCTORS, POLES AS REQUIRED AND ALL ASSOCIATED APPURTENANCES FROM UTILITY POLES TO END-OF-LINE DEVICES, EQUIPMENT, OTHER POLES, ETC.

SERVICE CALCULATION XFMR - XXX				
Service Voltage: 120/208V 1-Phase				
CALCULATIONS FOR FEEDER TO GMA				
Single-Phase Loads:				
	Total UNITS	VA per PANEL	VA (ext)	Amps (ext)
Residential:				
Building 1 with 11 LC Panels (10u+1h)	11	27,918	307,098	1,476
Building 2 with 17 LC Panels (16u+1h)	17	27,818	474,606	2,282
TOTAL	28		781,704	3,758
Demand Factor per NEC 220.84 (28-30 Multifamily Residential)	33%		257,962	1,240
TOTAL DEMAND AT XFMR			257,962	1,240
Single-Phase Loads:				258 KVA



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Site Power And Lighting Plan

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FIXTURE SCHEDULE								
TYPE	QTY.	MANUFACTURER	CATALOG #	DESCRIPTION	LAMP	MOUNTING	LOCATION	WATTAGE
EXTERIOR								
U	4	JUNO	JSF-7N-10LMN-SWWS-80CR/M/VOLT-Z1-XXX	BRIDGE	LED	SURFACE	UNDER BRIDGE	12
S	17	LITHONIA	DSX0 LED-P2-40K-70CR-BLCH-MVOLT-XXX-XXX	PARKING	LED	POLE @ 18' AFG	PARKING AREAS	45
S1	1	LITHONIA	DSX0 LED-P2-40K-70CR-T9W-MVOLT-XXX-XXX	PARKING	LED	POLE @ 18' AFG	PARKING AREAS	45
WP	4	LITHONIA	WDGE1 LED-P1-40K-80CR-VF-MVOLT-SRM-XXX	WALLPACK	LED	WALL @ 10'	BUILDING	15

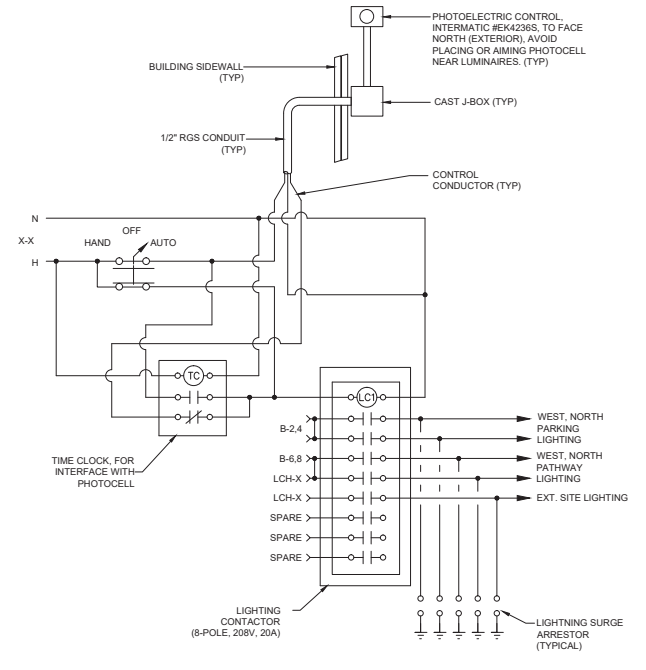
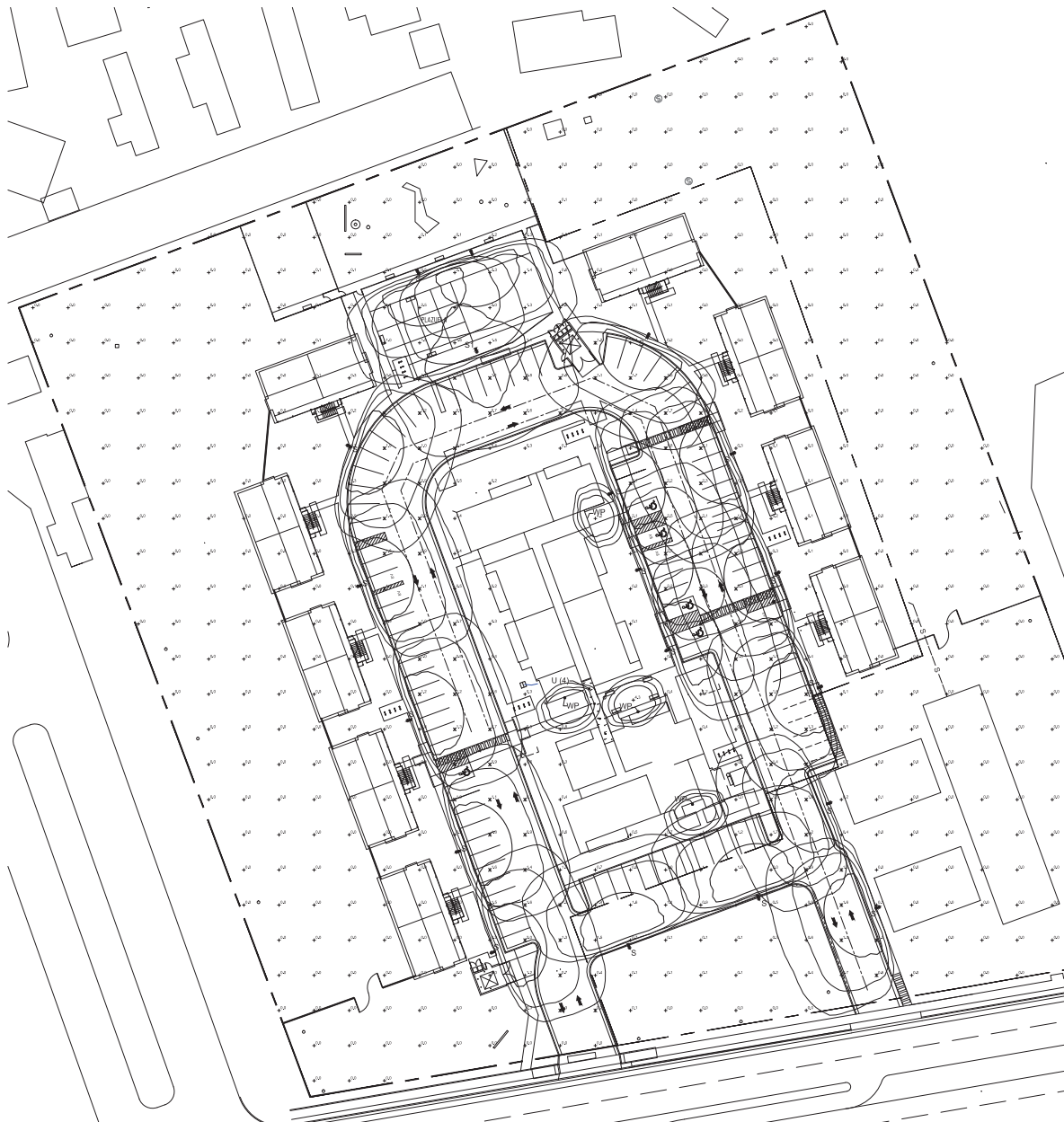
LEGEND	
	NEW BUILDING
	NEW SITE LIGHT - SEE SCHEDULE



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 06 JANUARY 2025
 DATE: 06/01/2025
 DIVISION:

STATISTICS					
Description	Symbol	Avg	Max	Min	Max/Min
Grade level, Ped	+	1.3 fc	2.6 fc	0.2 fc	6.5:1
Bldg entrance	+	4.9 fc	5.9 fc	3.9 fc	1.4:1

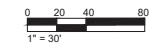
- NOTES:
1. ALL CALCULATION POINTS SET AT GRADE LEVEL, 0'.
 2. ALL 'S' AND 'S1' FIXTURES MOUNTED AT 18' AFG OVERALL.
 3. ALL 'WP' FIXTURES MOUNTED AT 10' AFG OVERALL.
 4. UNDERBRIDGE FIXTURES MOUNTED AT 9'-1" AFG OVERALL.



NOTE: MOUNT CONTROLS IN NEMA 3R, LOCKABLE ENCLOSURE, LOCATE ADJACENT TO BUILDING HOUSE PANEL, TYPICAL.

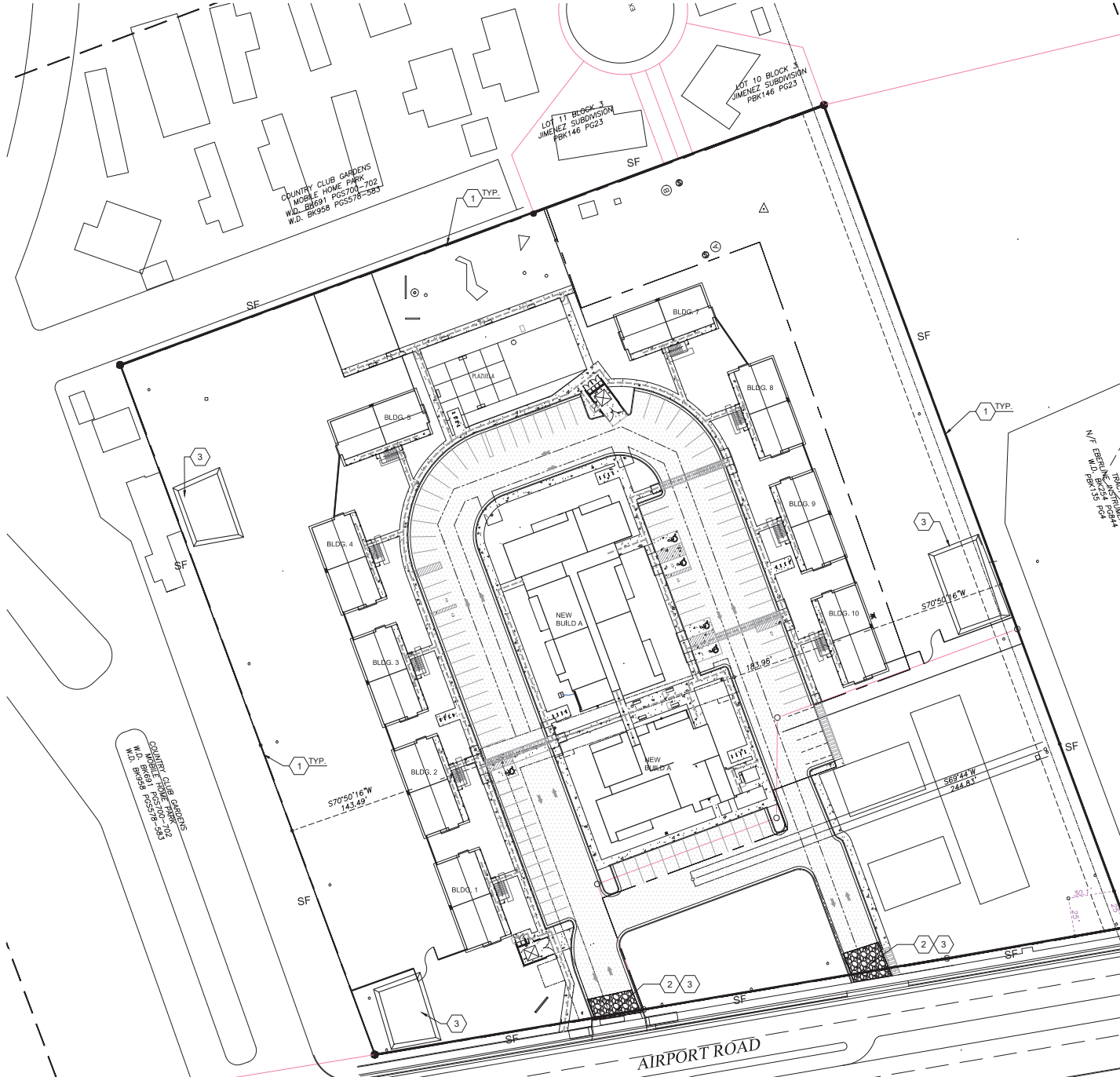
2 LIGHTING CONTROL DIAGRAM

1 SITE LIGHTING PHOTOMETRIC PLAN
 Scale: 1" = 30'



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MAINTENANCE RESPONSIBILITIES AND INSPECTIONS

1. DISTURBED AREAS, STABILIZATION AND CONTROL MEASURES SHALL BE INSPECTED AS REQUIRED AND AT LEAST ONCE EVERY TWO WEEKS, AND WITHIN 24 HOURS OR THE NEXT WORKING OF THE END OF A STORM EVENT. IF A PORTION OF THE SITE HAS BEEN FINALLY OR TEMPORARILY STABILIZED, AND RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS, OR DURING SEASONAL AIR PERIODS, INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. THE CITY OR ITS AUTHORIZED AGENT MAY ENTER UPON THE PROPERTY, AT REASONABLE TIMES. ALL STORM WATER FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR.
3. THE STORM WATER MANAGEMENT SYSTEM SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED.
4. TO ENSURE THAT THE SYSTEM IS MAINTAINED IN PROPER WORKING CONDITION.
5. IF AFTER NOTICE BY THE CITY TO CORRECT A VIOLATION REQUIRING MAINTENANCE WORK, SATISFACTORY CORRECTIONS ARE NOT MADE WITHIN A REASONABLE PERIOD OF TIME, THE CITY MAY PERFORM ALL NECESSARY WORK TO PLACE THE FACILITY IN PROPER WORKING CONDITION. THE OWNER(S) OR RESPONSIBLE PARTY OF THE FACILITY SHALL BE ASSESSED THE ASSOCIATED COSTS OF THE WORK.

BEST MANAGEMENT PRACTICES - NOTES

1. DISTURBED AREAS SHALL BE PROTECTED FROM EROSION DURING CONSTRUCTION BY MEANS ADEQUATE TO RETAIN SOIL ON SITE.
2. EXCEPT AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES, LAND SHALL NOT BE GRADED OR CLEARED UNTIL ALL SUCH TEMPORARY DEVICES HAVE BEEN PROPERLY INSTALLED AND INSPECTED. CONTROL DEVICES SHALL BE KEPT IN PLACE AND USED UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED.
3. SIGNIFICANT TREES, AREAS WITH SUBSTANTIAL GRASS COVERAGE AND DRAINAGE WAYS THAT ARE TO REMAIN UNDISTURBED SHALL BE FENCED OFF PRIOR TO THE USE OF ANY HEAVY MACHINERY ON-SITE AND DURING THE ENTIRE CONSTRUCTION PROCESS. THERE ARE NO SIGNIFICANT TREES ON THIS PROJECT.
4. SOIL STOCKPILES SHALL BE PROTECTED FROM EROSION THROUGHOUT CONSTRUCTION BY USING APPROPRIATE EROSION CONTROL TECHNIQUES. STAGING AND SOIL STOCKPILE AREAS SHALL BE CLEARLY DESIGN ON THE SITE. ALL TOPSOIL SHALL BE KEPT ON SITE, WITHIN THE DISTURBANCE ZONE OF CONSTRUCTION, AND REINTRODUCED INTO PLANTING AREAS TO THE EXTENT POSSIBLE. THERE ARE NO SOIL STOCKPILES ASSOCIATED WITH THIS PROJECT.
5. WATERING DOWN EXPOSED AREAS IS REQUIRED TO PREVENT THE BLOWING OF DUST OR SEDIMENT.
6. PROTECTION FOR STORM DRAIN INLETS SHALL BE PROVIDED TO PREVENT THE ENTRY OF SEDIMENT WHILE STILL ALLOWING THE ENTRY OF STORM WATER.
7. EROSION AND SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY WATERING AND/OR FIBER MULCH WITH TACKIFIER.
8. ALL CONSTRUCTION TRAFFIC SHALL USE TIRE WASHES.

KEYED NOTES

1. TEMPORARY SILT FENCE. SEE DETAILS SHEET C-504 & C-505.
2. TEMPORARY CONSTRUCTION ENTRANCE WITH WASH RACK. SEE DETAILS SHEET C-504 & C-505.
3. TEMPORARY SEDIMENT TRAP AS REQUIRED. SEE DETAIL SHEET C-504 & C-505.

TEMPORARY EROSION CONTROL PLAN

Scale: 1" = 30'



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DATE: 01/09/2025 09:25:25 AM
 PROJECT: 24-056 CIVIL DD.dwg
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 PLOT: 24-056 CIVIL DD.dwg

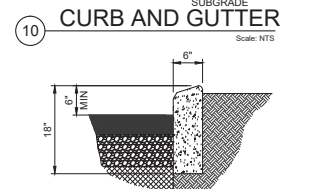
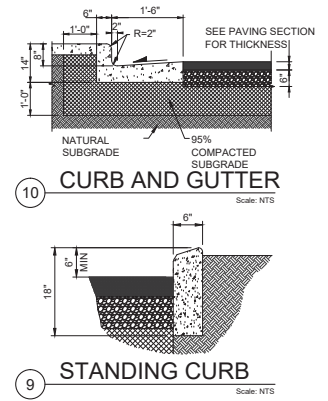
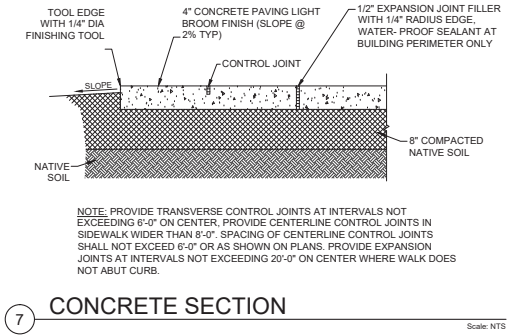
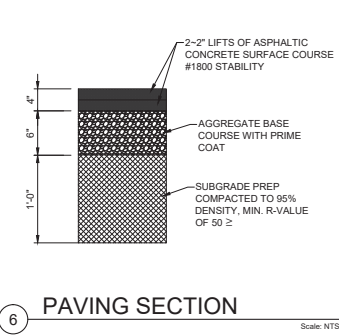
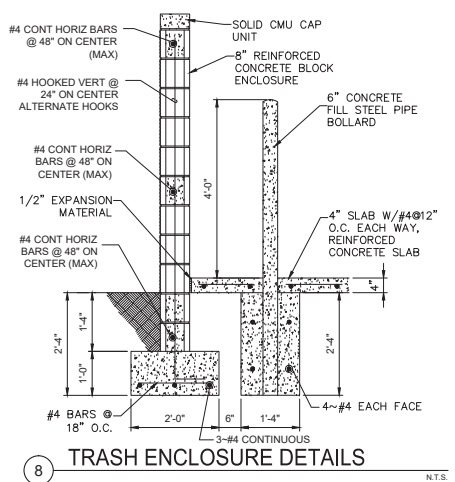
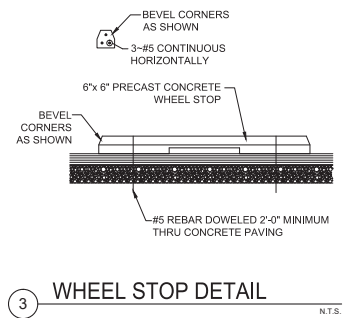
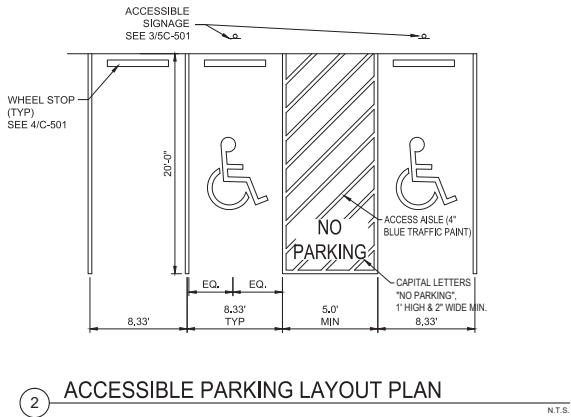
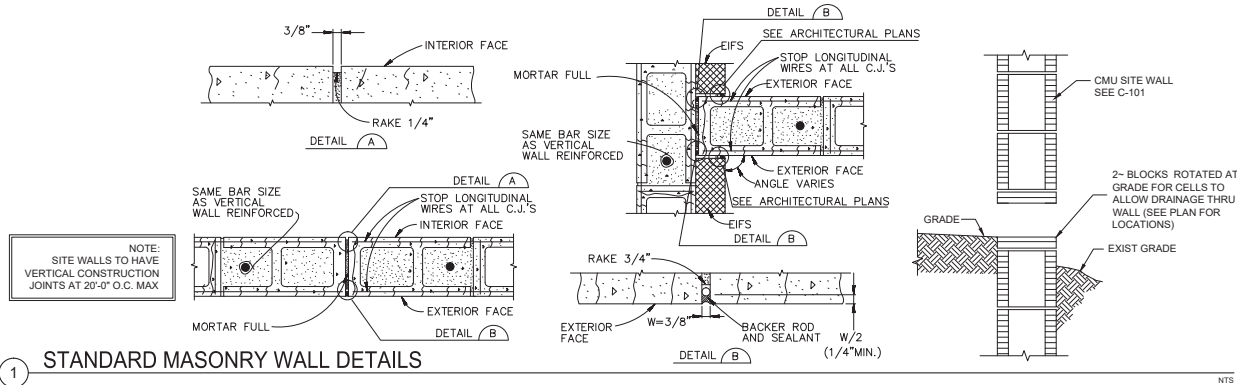
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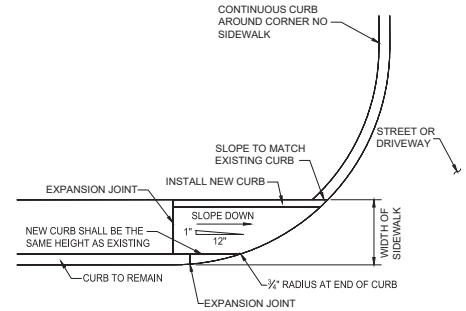
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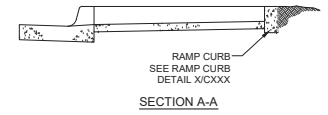
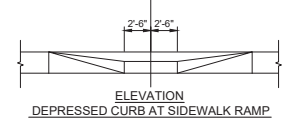
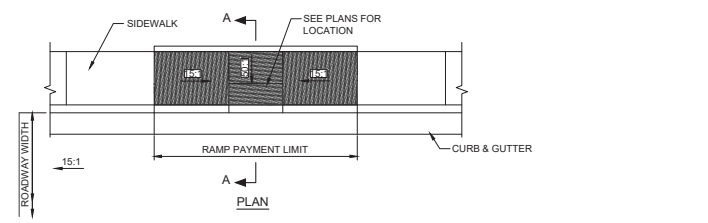
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KEYED NOTES (SANITARY SEWER)

- (NEW) SAS SEWER LINE AND TYPE "E" MANHOLES SHOWN ON PLAN IS A PRIVATE SYSTEM. SEWER CONSTRUCTION WILL BE PER STANDARD COSF SAS STANDARD DETAILS WITH THE EXCEPTION OF THE USE OF A STANDARD MANHOLE LID WITH NO CITY OF SANTA FE COVER LETTERING.
- NEW (PRIVATE) SAS LIFT STATION SEE DESIGN CRITERIA C-102.
- NEW (PUBLIC) 8" DIA. PVC SAS SEWER LINE FROM PRIVATE LIFT STATION 120.00 LF 8" SAS @ 0.5%.
- NEW (PRIVATE) 8" DIA. PVC SAS SEWER LINE, 50.00 LF @ 0.5%.
- 45° BEND INTO EXISTING (PUBLIC) COSF SAS MANHOLE.
- G.C. TO COORDINATE WITH PUBLIC UTILITY COMPANIES TO AVOID EXISTING ELECTRICAL AND PHONE EQUIPMENT.



4 HANDICAP ACCESSIBLE SIDEWALK RAMP
 Scale: NTS

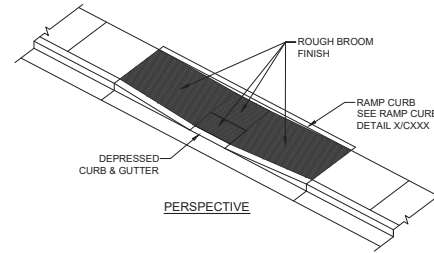


GENERAL NOTES

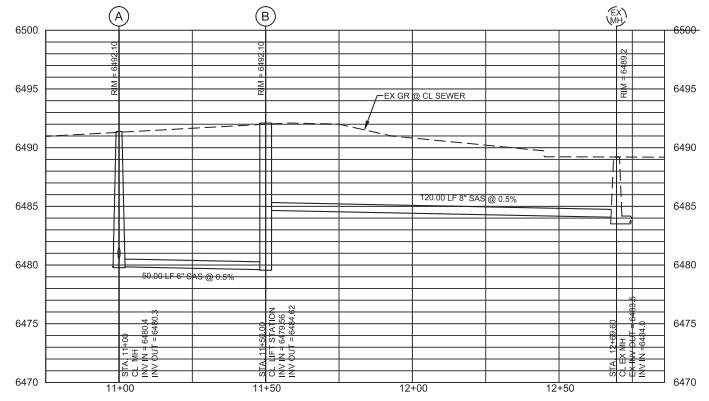
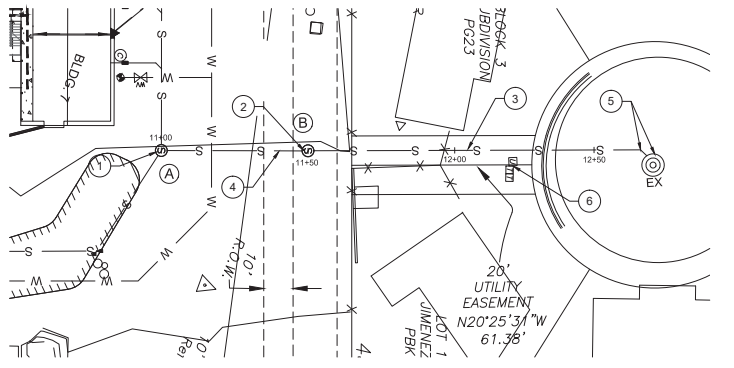
- FOR USE AT MID-BLOCK LOCATIONS.
- RAMP CENTERLINE SHALL BE PERPENDICULAR TO THE FACE OF THE CURB AT THE SIDEWALK RAMP CONTROL POINT.
- FOR RAMPS 15 FT. LONG OR LESS, THE 15:1 SLOPE GOVERNS; IF A 15:1 SLOPE RESULTS IN A RAMP LENGTH LONGER THAN 15 FT., THE 15:1 SLOPE MAY BE WAIVED AND THE RAMP LENGTH HELD AT 15 FT. REGARDLESS OF THE SLOPE.
- FOR SIDEWALK WIDTHS GREATER THAN 5 FT., THE OVERALL SIDEWALK RAMP DEPTH SHALL MATCH THE SIDEWALK WIDTH.
- RAMP CURB HEIGHT TO MATCH ELEVATION AT BACK OF ADJACENT SIDEWALK.
- DRAINAGE INLETS SHOULD NOT BE LOCATED WITHIN THE MARKED CROSSWALKS, OR IF CROSSWALKS AREN'T MARKED, WITHIN THE AREA A STANDARD MARKED CROSSWALK WOULD ENCLOSE.
- CONCRETE SHALL RECEIVE A ROUGH BROOM FINISH AS SHOWN.

LEGEND

	MINIMUM SLOPE = 100:1 (0.01 0/8)
	MAXIMUM SLOPE = 50:1 (0.02 0/8)



5 ACCESSIBLE SIDEWALK RAMP DETAIL
 Scale: NTS



2 (PUBLIC) SAS LINES - PLAN AND PROFILE

HORIZ: 1" = 20'
 VERT: 1" = 20'

L&E: JIMENEZ, JIM, BS, 178675 - 1/26/2024 - 1/26/2024 - 01/26/2024 - 01/26/2024
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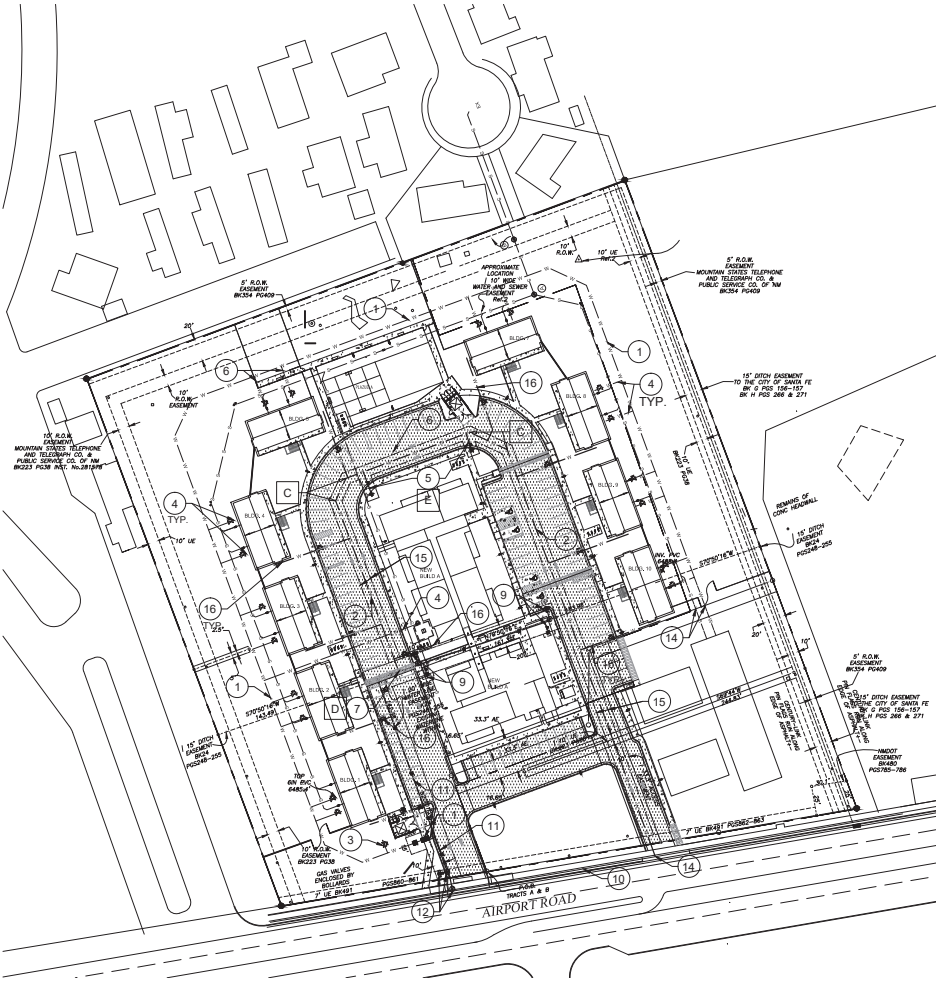
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COSF GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (COSFWD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE COSFWD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
- ALL STREETS SHALL BE CUT TO WITHIN 48" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
- LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY COSFWD.
- CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MARKS, SIGNED PLATS AND COSFWD DRAWINGS.
- MATERIAL SUBMITTALS SHALL BE APPROVED BY COSFWD PRIOR TO CONSTRUCTION.
- CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
- PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
- 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
- ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
- FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE COSFWD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE PRIOR TO INSTALLING NUMBERS. FIRE HYDRANTS SHALL BE PAINTED.
- A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUSTRES TRANT. CONCRETE THRUST BLOKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY COSFWD.
- ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND COSFWD.
- WORK ON COSFWD FACILITIES SHALL NOT BEGIN UNTIL COSFWD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
- ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.

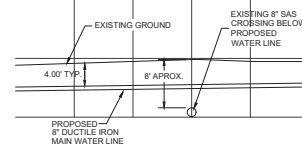


VICINITY MAP
SCALE: NONE

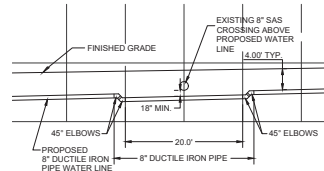


1 SITE WATER PLAN

Scale: 1" = 50'



TYP. PIPE CROSSING DETAIL NO. 1
SCALE: HORIZ. 1"=10' VERT. 1"=10'



TYP. PIPE CROSSING DETAIL NO. 2
SCALE: HORIZ. 1"=10' VERT. 1"=10'

DOMESTIC & IRRIGATION WATER SERVICE TABLE		
SERVICE ADDRESS	STREET NAME	TOTAL SERVICES-SERVICE SIZE & TYPE (DS OR IR)
5999	AIRPORT RD	1-(3") LINE & 3" METER / DS

FIRE SERVICE DESIGN TABLE			
SERVICE SIZE	REQ'D FLOW* GPM	RESIDUAL PRESSURE* PSI	BUILDING(S) SERVED
8"	2250	20	ALL ON SITE

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.
*PEAK FLOW IS IN GALLONS PER MINUTE.
*RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH AT THE LISTED FIRE FLOW AT POINT OF CONNECTION TO MAIN.

RECORD MAPPING	
INITIALS	DATE
AS BUILT	/ /
VALVE MAPS	/ /
GIS (MAPPING)	/ /
Inspector approved	/ /
THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER.	
ENGINEER	PE DATE



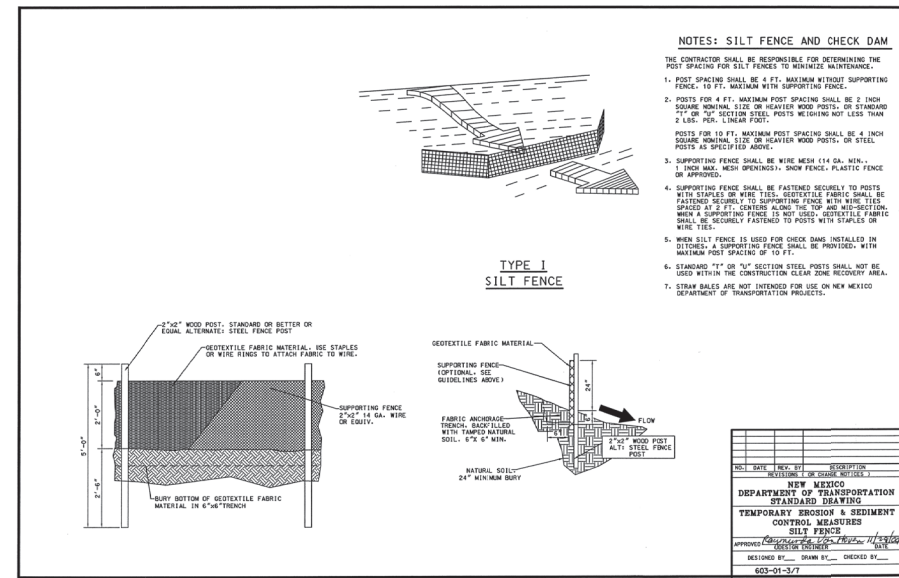
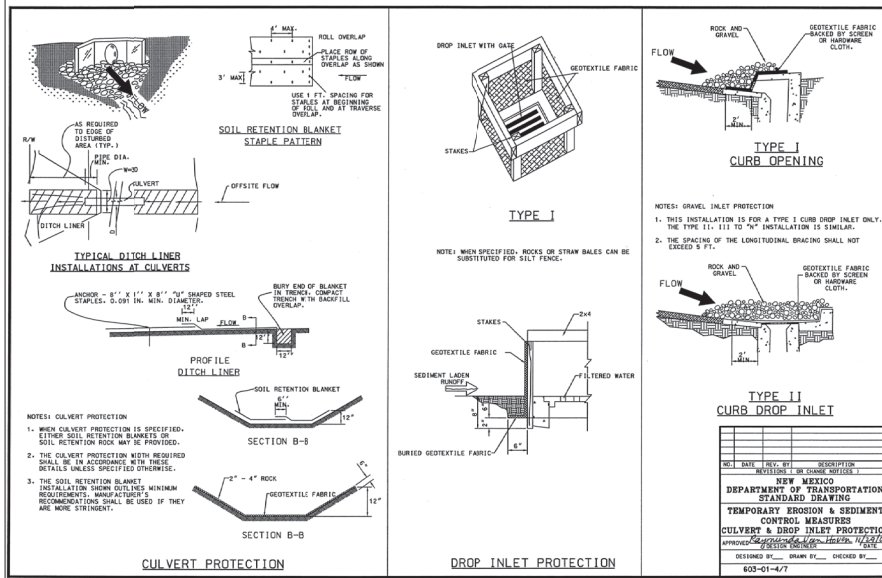
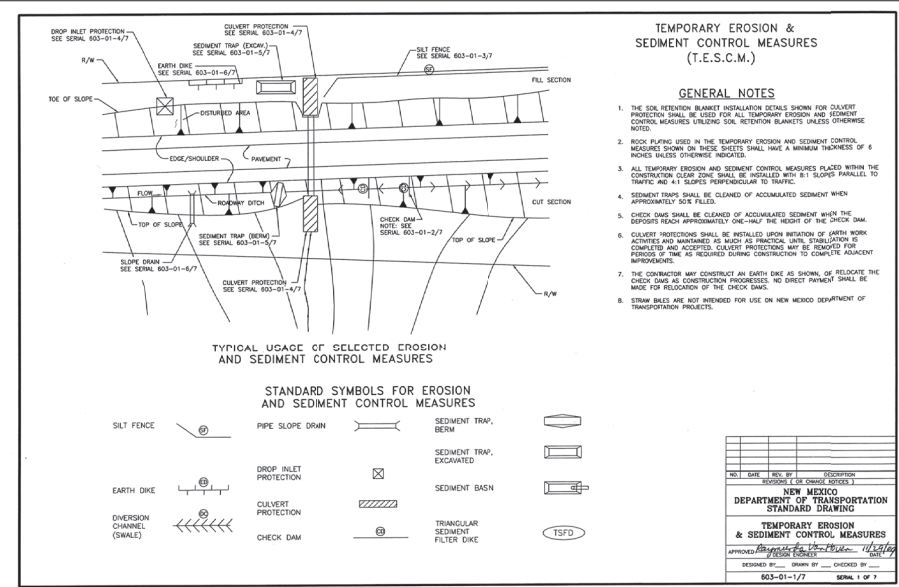
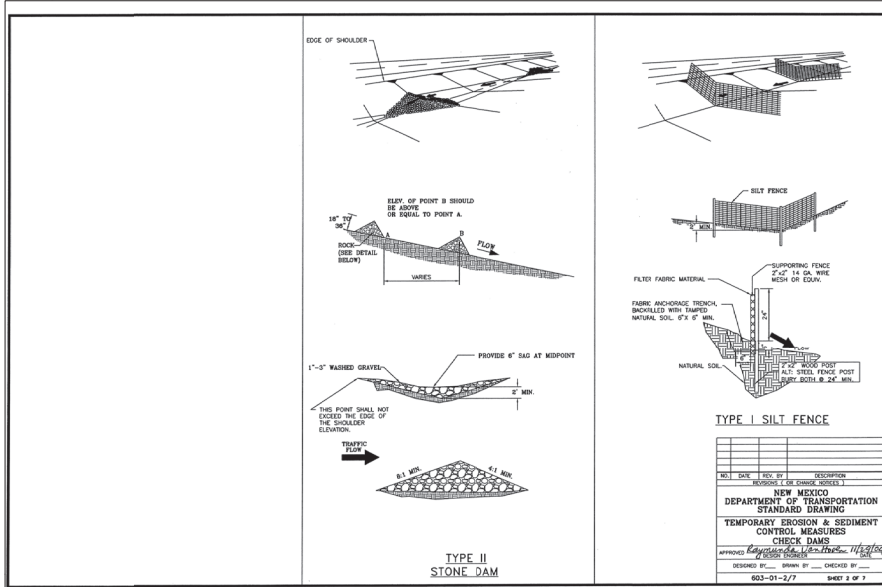
GENERAL NOTES

- THE LOCATIONS OF EXISTING UTILITIES WERE TAKEN FROM AVAILABLE RECORDS. THE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- WATER SYSTEM CONSTRUCTION WILL CONFORM TO PUBLIC UTILITIES DEPARTMENT WATER DIVISION, GENERAL NOTES & DETAIL SHEET, CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- INSTALL: 45' MJ ELL. RESTRAIN
- INSTALL: 1-8" MJ X 8" FLG. TEE RESTRAIN
- INSTALL NEW FIRE HYDRANT 1-8"X8" MJ FLG. TEE 1-6" FLG. X MJ VALVE & BOX 6" PVC WATERLINE RESTRAIN ALL JOINTS

WATER KEYED NOTES

- NEW (PUBLIC) 3" DIA. PVC (SDR 26) WATER LINE, NEW 3" METER SERVICE (COSF STD-18), AND COSF APPROVED RBFP.
- NEW (PUBLIC) 8" DIA. PVC (SDR 26) MAIN WATER LINE.
- INSTALL (PRIVATE) 1" DIA. IRRIGATION WATER SERVICE LINE, (BASED ON IRRIGATION DEMAND OF X GPM MAX. & ONLY ONE ZONE OF X RUNNING AT A TIME).
- INSTALL (PRIVATE) 3/4" DIA. DOMESTIC SERVICE LINE TO BUILDING WITH GATE VALVE.
- NEW (PUBLIC) FIRE HYDRANT. INSTALL 8"x4" TAPPING SLEEVE (FULL CIRCLE STAINLESS STEEL), 6" DIA. TAPPING GATE VALV AND RESTRAIN.
- INSTALL (PRIVATE) 1-1/2" DIA. DOMESTIC SERVICE LINE TO BUILDING WITH GATE VALVE.
- NEW CONNECTION TO EXISTING 8" PVC WATER LINE. INSTALL 8" MJ X 8" FLG. TEE RESTRAIN AT EXISTING 8" FIRE LINE.
- NEW (PRIVATE) 3" DIA. PVC DOMESTIC WATER LINE.
- RELOCATE EXISTING FIRE HYDRANT TO LOCATION SHOWN. REUSE EXISTING TEE, SUPPLY LINE AND HYDRANT.
- EXISTING 14" DIA. DI MAIN WATER LINE.
- EXISTING 8" DIA. DI MAIN WATER LINE (AFTER HYDRANT).
- EXISTING TAP TO EXISTING 14" LINE. SHUTOFF VALVES, TEE TO FIRE HYDRANT, AND FIRE HYDRANT TO REMAIN.
- NEW CONNECTION TO EXISTING 14" PVC WATER LINE. INSTALL 14"x8" TAPPING SLEEVE, 8" GATE VALVE (COSFWD DETAIL C BOX AND RESTRAIN, SEE KEYNOTE 14
- FIELD VERIFY LOCATION OF EXISTING DOMESTIC WATER LINE FROM EXISTING BUILDING TO THE SOUTH. MATCH DIAMETER OF NEW LINE TO EXISTING PIPE SIZE. NEW SAS LINE WILL CONNECT TO EXISTING BUILDINGS' CLEANOUTS LOCATIONS.
- NEW 10" WIDE MAIN WATER LINE EASEMENT.
- NEW (PRIVATE) 4" DIA. FIRE SERVICE LINE TO BUILDING FIRE RISER ROOM (RBFP), WITH 8" MJ X 4" FLG. TEE AT MAIN, 4" VAL

SANTA FE CIVIC HOUSING AUTHORITY COUNTRY CLUB APARTMENTS 5999 AIRPORT ROAD, SANTA FE, NM			
PLAT RECORDING INFORMATION		APPROVED	
BOOK	CITY OF SANTA FE WATER DIVISION	DATE	INSPECTOR
PAGE	SANTA FE FIRE DEPARTMENT	DATE	DATE
FILE DATE	AERIAL TOWNSHIP RANGE SECTION	DATE	DATE
	T16N.R08E.S12	WORK ORDER NO.	01
			(1 OF 1)





NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: TUCSON
 USER: JG
 ZONE: 1000
 SHEET TITLE:

TREE PRESERVATION PLAN

TREE PROTECTION NOTES

- CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EACH EXISTING TREE TO REMAIN. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FEET FOR EACH INCH DIAMETER OF THE TREE. TREE DIAMETER SHALL BE MEASURED AT BREAST HEIGHT (4.5' ABOVE FINISH GRADE). EXAMPLES: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- CONTRACTOR SHALL INSTALL FENCING AT THE PERIMETER OF ROOT PROTECTION ZONES. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING SHALL BE A MINIMUM OF 4' HEIGHT.
- CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE ROOT PROTECTION ZONE.
- CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE ROOT PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR SHALL NOT ALLOW CONCRETE TRUCKS TO CLEAN CHUTES OR DUMP EXCESS CONCRETE OR ANY OTHER CEMENTITIOUS PRODUCTS IN ANY PORTION OF THE SITE. CONTRACTOR SHALL CLEAN THE WASTE OF OTHER CEMENTITIOUS MATERIALS FROM THE SURFACE AND THEY SHALL NOT BE TURNED UNDER DURING FINAL GRADING.
- CONTRACTOR SHALL NOT TRENCH WITHIN THE DRIPLINE OF EXISTING TREES. AT LOCATIONS WHERE IS IT NECESSARY TO INSTALL LINES OR WIRE WITHIN THE DRIPLINE OF EXISTING TREES, THE UTILITY SHALL BE INSTALLED BY BORING UNDER TREE ROOTS.

PLANT LEGEND

- (X) DECIDUOUS TREE TO BE REMOVED
- (O) JUNIPER TREE TO BE REMOVED
- (*) PINE TREE TO BE REMOVED
- (*) DECIDUOUS TREE TO REMAIN
- (O) JUNIPER TREE TO REMAIN
- (*) PINE TREE TO REMAIN
- PROPERTY LINE

SIGNIFICANT TREE SURVEY

CODE	DESCRIPTION
TP-01	15' HT JUNIPER
TP-02	18' HT JUNIPER
TP-03	20' HT JUNIPER
TP-04	10' HT PINE
TP-05	15' HT PINE
TP-06	20' HT PINE
TP-07	30' HT PINE
TP-08	35' HT PINE
TP-09	40' HT PINE
TP-10	6" DBH DECIDUOUS
TP-11	10" DBH DECIDUOUS
TP-12	12" DBH DECIDUOUS
TP-13	16" DBH DECIDUOUS
TP-14	18" DBH DECIDUOUS
TP-15	22" DBH DECIDUOUS

COMPLIANCE WITH EXISTING VEGETATION ORDINANCES

SIGNIFICANT TREES TO BE RETAINED	QTY	SIZE
JUNIPER	4	8' HT. OR GREATER
PINE	18	8' HT. OR GREATER
DECIDUOUS	13	6" CAL. OR GREATER
TOTAL	35	

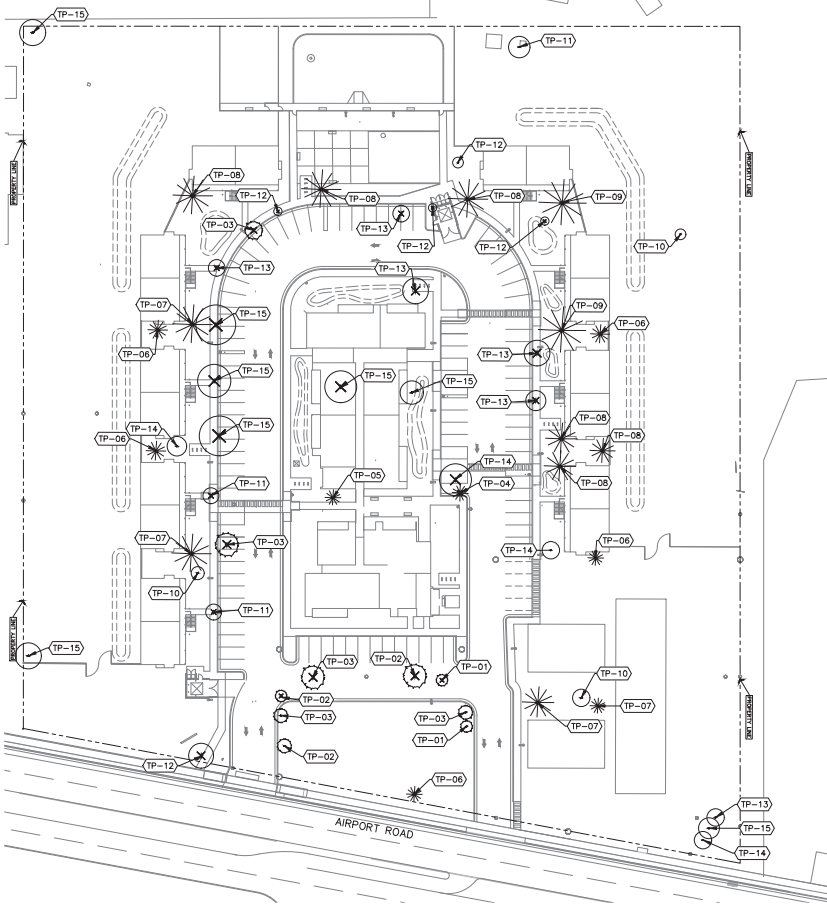
SIGNIFICANT TREES TO BE REMOVED	QTY	SIZE
JUNIPER	6	8' HT. OR GREATER
PINE	1	8' HT. OR GREATER
DECIDUOUS	15	6" CAL. OR GREATER
TOTAL	22	

REQUIRED REPLACEMENT TREES	QTY
TOTAL REQUIRED REPLACEMENT TREES	22
TOTAL TREES PROVIDED	103

(REFER TO PLANTING PLANS FOR SPECIES AND LOCATIONS)

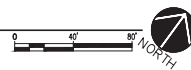
GENERAL NOTES

- SIGNIFICANT TREE SPECIES AND LOCATIONS AS REPRESENTED ON PLAN WERE OBTAINED FROM A COMBINATION OF FIELD WORK, AERIAL PHOTOGRAPHY, AND NUMERIC SURVEY TECHNIQUES.
- SIGNIFICANT TREES TO BE REMOVED FOR CONSTRUCTION OF COUNTRY CLUB APARTMENTS SHALL BE:
 - FLAGGED IN THE FIELD
 - REVIEWED BY CITY OF SANTA FE LAND USE COMPLIANCE OFFICER
 - REPLACED AT A RATIO OF 1:1 EITHER ON SITE OR PER AGREEMENT AND WITH CITY STAFF.
- SIGNIFICANT TREES SHALL BE ANY DECIDUOUS TREE 6" DBH OR GREATER AND ANY EVERGREEN TREE 8' HT. OR TALLER.
- REPLACEMENT TREES SHALL BE 2" CALIBER OR GREATER IF DECIDUOUS AND 6' HT. OR TALLER IF EVERGREEN.
- TRANSITION LINE BETWEEN EXCAVATION AND NATIVE SOIL SHALL BE SMOOTHLY BAKED, CREATING A CLEAN CONSISTENT GRADE.
- EXISTING GRADE BELOW NATIVE TREES AND SHRUBS SHALL REMAIN UNDISTURBED THROUGHOUT THE DRIPLINE OF THE PLANT MATERIAL. NO MOUNDING OF SOIL, FILL DIRT, ORGANIC OR INORGANIC DEBRIS SHALL BE ABANDONED UNDER NATIVE PLANT MATERIAL CANOPIES.
- ALL DISTURBED AREAS DUE TO CONSTRUCTION AND NOT PART OF THE LANDSCAPE PLAN SHALL BE RESTORED TO THE NATURAL STATE THAT EXISTED PRIOR TO CONSTRUCTION. GRADE OUT ANY DAMAGE TO THE NATURAL TERRAIN PRIOR TO THE RE-APPLICATION OF NATIVE STONE MATERIAL.
- AREAS OF NATURAL GRAVEL, COBBLE, FRACTURED STONE, AND/OR BOULDER FIELDS SHALL BE RESTORED TO THE NATURAL STATE THAT EXISTED PRIOR TO CONSTRUCTION. GRADE OUT ANY DAMAGE TO THE NATURAL TERRAIN PRIOR TO THE RE-APPLICATION OF NATIVE STONE MATERIAL.
- SIGNIFICANT TREES THAT ARE TO BE PRESERVED OR RELOCATED SHALL BE HEALTHY AND FREE FROM SERIOUS INSECT OR PARASITE INFESTATION. PROVIDE FLAGGING OF PRESERVED TREES FOR A CITY STAFF INSPECTION.
- DURING CONSTRUCTION, EXISTING PLANT MATERIAL TO BE PRESERVED SHALL BE ENCLOSED BY A TEMPORARY FENCE AT LEAST FIVE (5) FEET OUTSIDE THE DRIPLINE. IN NO CASE SHALL VEHICLES BY PARKED, OR MATERIALS OR EQUIPMENT BY STORED OR STOCKPILED WITHIN THE ENCLOSED AREA.
- ALL AREAS WITH EXPOSED SOIL SURFACES DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED TO MINIMIZE EROSION AND STORMWATER RUNOFF AND TO IMPROVE THE INFILTRATION OF PRECIPITATION.
- DESTROYED VEGETATION SHALL BE REMOVED PROMPTLY TO PREVENT INSECT INFESTATION OF HEALTHY VEGETATION.



A1 OVERALL TREE PRESERVATION PLAN

SCALE: 1"=40'-0"



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NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: TUCSON
 TUCSON
 2020CONTR
 2020CONTR
 SHEET TITLE:

OVERALL IRRIGATION PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
⊕	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/LI501	⊕	IRRIGATION CONTROLLER, ESP-1XM2 PRO CONTROLLER. INSTALL IN STRONGBOX PEDESTAL ENCLOSURE. ADD FLOW SMART MODULE. PROVIDE GROUNDING TO CONTROLLER PER CONTROLLER'S SPECIFICATIONS AND DETAIL A1/LI501.	C1/LI501
✕	MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE.	C5/LI501	—	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC. SIZE AS SHOWN ON PLAN. DEPTH OF BURY 24". LATERAL PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".	
⊕	MASTER VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 4-VOLT AUTOMATIC VALVE. SIZE: 2".	A5/LI501	=====	PIPE SLEEVE: PVC CLASS 200 SDR 21 LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL END, SOLVENT WELD PVC, TWO SIZES LARGER THAN PIPE BEING SLEEVED.	
▶	BACKFLOW PREVENTER, FEBCO 825Y, OR EQUAL, 2" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL HB2, OR EQUAL.	C4/LI501	=====	24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SIZE 1 1/2".	
⊕	QUICK COUPLING VALVE ASSEMBLY, RAIN BIRD 33LRC, OR EQUAL.	A4/LI501	=====	IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE: 2". DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 24" FOR NON-CONTINUOUS PRESSURE MAIN.	
●	RAIN BIRD 1400 SERIES BUBBLER: 1401 PRESSURE COMPENSATING BUBBLER ASSEMBLY, FIXED FLOW RATE (0.25 GPM).	C3/LI501	=====	IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE: 2". DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 24" FOR NON-CONTINUOUS PRESSURE MAIN.	
▲	RAIN BIRD 1400 SERIES BUBBLER: 1402 PRESSURE COMPENSATING BUBBLER ASSEMBLY, FIXED FLOW RATE, 2 PER TREE, (1.0 GPM TOTAL).	C3/LI501	⊕	SOLVENT WELD END CAP.	
●	POP-UP SPRINKLER ASSEMBLIES, RAIN BIRD 1800-PRS SERIES, 4" POP-UP WITH MPR NOZZLES AS FOLLOWS.	A3/LI501			
	MODEL NO. RADIUS GPM PSI PR				
	MP-2000-90 13'-21" 0.4 40 .39				
	MP-2000-180 13'-21" 0.74 40 .39				
	MP-2000-360 13'-21" 1.47 40 .39				
⊕	FLOW SENSING ASSEMBLY, RAINBIRD UFS100, ULTRASONIC SERIES PVC, SIZE 2", OR EQUAL.	C2/LI501			

GENERAL IRRIGATION NOTES

CODE	DESCRIPTION	CODE	DESCRIPTION
QI-01	THE CONTRACTOR SHALL COORDINATE SLEEVE INSTALLATION WITH PARTIES INVOLVED TO ENSURE THAT PIPE AND SLEEVES ARE INSTALLED AT PROPER DEPTHS AND BEFORE INSTALLATION OF CURB AND GUTTER, ASPHALT PAVEMENT, SIDEWALKS, CONCRETE PADS, ETC.	QI-05	THE LOCATION OF THE IRRIGATION MAIN AND LATERAL LINES ON THE PLAN IS SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. UNLESS OTHERWISE NOTED ON THE PLAN, ANY IRRIGATION LINES SHOWN IN HARDSCAPE AREAS ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION LINES SHALL BE LOCATED IN IMMEDIATELY ADJACENT LANDSCAPE AREAS.
QI-02	THE CONTRACTOR SHALL FURNISH LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO CONSTRUCT THE PROPOSED IRRIGATION SYSTEM PER THE DRAWINGS AND SPECIFICATIONS.	QI-06	THE IRRIGATION SYSTEM WAS DESIGNED AT A MINIMUM STATIC PRESSURE OF 60 PSI AT THE POINT OF CONNECTION. CONTRACTOR SHALL VERIFY ACTUAL PSI AND DELIVER RESULTS TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION. IN THE EVENT THE ACTUAL PSI IS LESS THAN 60 PSI, THE CONTRACTOR SHALL RECEIVE DIRECTION FROM THE LANDSCAPE ARCHITECT REGARDING DESIGN MODIFICATIONS IF NECESSARY.
QI-03	FOR PVC IRRIGATION PIPING AND EQUIPMENT REFERENCE SPECIFICATION SECTION 328400 - LANDSCAPE IRRIGATION SYSTEM.	QI-07	CONTRACTOR SHALL PROVIDE ONE (1) 120-VOLT, 20 AMP CIRCUIT FROM THE ELECTRICAL PANEL TO THE IRRIGATION CONTROLLER AND THE BACKFLOW PREVENTER ENCLOSURE (ONE TO EACH). ALL WORK AND MATERIALS SHALL MEET LOCAL CODES AND THE NATIONAL ELECTRIC CODE (NEC), REFERENCE ELECTRICAL PLANS.
QI-04	THE LOCATION AND SIZE OF IRRIGATION EQUIPMENT ON THE PLAN ARE SHOWN DIAGRAMMATICALLY FOR GRAPHIC CLARITY. THE LOCATION OF CONTROLLERS, PUMPERS, BACKFLOW PREVENTERS, VALVES, ETC. SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.		

LATERAL PIPE SIZE

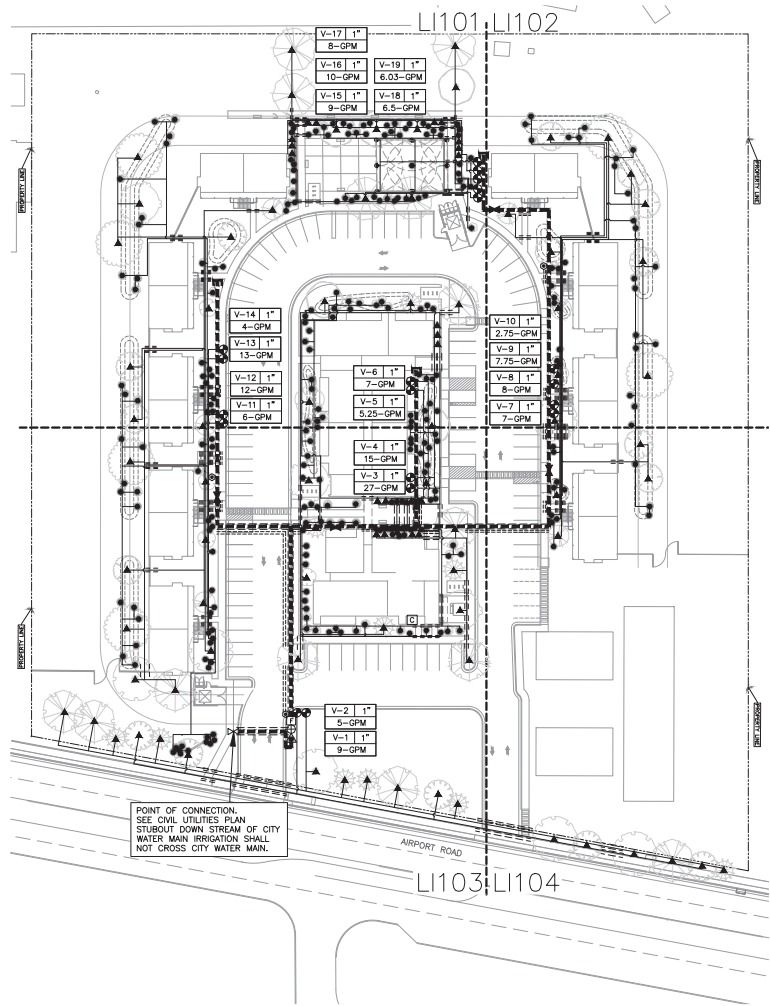
FLOW RATE - GPM	SIZE
0-5	3/4"
5-10	1"
10-18	1 1/4"
18-30	1 1/2"
30-50	2"

Country Club Santa Fe Civic Housing Authority - Landscape Water Budget Years 1-2

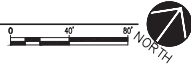
ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 01/03/2025													
	GALLONS PER MINUTE - BUBBLER IRRIGATION				GALLONS PER WATERING CYCLE - BUBBLERS (6 MIN RUN TIME)				GALLONS PER MINUTE - ROTARY IRRIGATION		GALLONS PER WATERING CYCLE - ROTARY IRRIGATION (30 MIN RUN TIME)		TOTAL GALLONS PER WATERING CYCLE - BUBBLERS AND ROTARY IRRIGATION
TOTAL VOLUME FOR ALL TREES, SHRUBS, AND TURF GRASS	172.28				1,378.24				6.03		180.9		1,560
MONTHLY WATERING SCHEDULE	1,913												
WATERING CYCLES PER MONTH	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	
GALLONS PER WATERING CYCLE	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560	1,560
TOTAL GALLONS/MONTH	0	1,560	3,120	6,240	12,480	18,720	18,720	18,720	12,480	6,240	1,560	0	
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	99,840 GALLONS PER YEAR*												
1 ACRE FOOT OF WATER = 325,851 GALLONS	0.306397 ACRE FEET PER YEAR*												
TOTAL ACRE FEET OF WATER PER YEAR:	0.306397 ACRE FEET PER YEAR*												
* RUN TIME AND TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE BY UP TO 50%.													

Country Club Santa Fe Civic Housing Authority - Landscape Water Budget Year 3

ESTIMATED WATER USE FOR LANDSCAPE IMPROVEMENTS - 01/03/2025													
	GALLONS PER MINUTE - BUBBLER IRRIGATION				GALLONS PER WATERING CYCLE - BUBBLERS (6 MIN RUN TIME)				GALLONS PER MINUTE - ROTARY IRRIGATION		GALLONS PER WATERING CYCLE - ROTARY IRRIGATION (20 MIN RUN TIME)		TOTAL GALLONS PER WATERING CYCLE - BUBBLERS AND ROTARY IRRIGATION
TOTAL VOLUME FOR ALL TREES, SHRUBS, AND TURF GRASS	172.28				1,033.68				6.03		120.6		1,155
MONTHLY WATERING SCHEDULE	1,155												
WATERING CYCLES PER MONTH	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec	
GALLONS PER WATERING CYCLE	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155	1,155
TOTAL GALLONS/MONTH	0	1,155	2,310	4,620	9,240	13,860	13,860	13,860	9,240	4,620	1,155	0	
TOTAL ESTIMATED ANNUAL IRRIGATION WATER CONSUMPTION:	73,920 GALLONS PER YEAR*												
1 ACRE FOOT OF WATER = 325,851 GALLONS	0.22852 ACRE FEET PER YEAR*												
TOTAL ACRE FEET OF WATER PER YEAR:	0.22852 ACRE FEET PER YEAR*												
* RUN TIME AND TOTAL WATER USE ARE CALCULATED FOR ESTABLISHMENT PERIOD. AFTER ESTABLISHMENT, THE ANTICIPATED WATER USE MAY DECREASE BY UP TO 50%.													



A1 OVERALL IRRIGATION PLAN
 SCALE: 1"=40'-0"



COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
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 WWW.TGCAD.COM



LI100



NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: TUCSON
 TUEDESCRIPTION: IRRIGATION
 ZONEDESCRIPTION: IRRIGATION

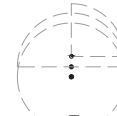
SHEET TITLE:

IRRIGATION PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
⊕	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 4-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/LI501
⊗	MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE.	C5/LI501
⊕	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 4-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/LI501
⊖	BACKFLOW PREVENTER, FERCO 825Y, OR QUAL. 2" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL HB2, OR EQUAL.	C4/LI501 A1/LI501
⊕	QUICK COUPLING VALVE ASSEMBLY, RAIN BIRD 33LR, OR EQUAL.	A4/LI501
●	RAIN BIRD 1400 SERIES BUBBLER: 1401 PRESSURE COMPENSATING BUBBLER ASSEMBLY. FIXED FLOW RATE (0.25 GPM).	C3/LI501
▲	RAIN BIRD 1400 SERIES BUBBLER: 1402 PRESSURE COMPENSATING BUBBLER ASSEMBLY. FIXED FLOW RATE, 2 PER TREE. (1.0 GPM TOTAL).	C3/LI501
⊕	POP-UP SPRINKLER ASSEMBLIES, RAIN BIRD 1800-PRS SERIES, 4" POP-UP WITH MPR NOZZLES AS FOLLOWS.	A3/LI501

MODEL NO.	RADIUS	GPM	PSI	PR
MP-2000-90	13'-21"	0.4	40	.39
MP-2000-180	13'-21"	0.74	40	.39
MP-2000-360	13'-21"	1.47	40	.39



□ FLOW SENSING ASSEMBLY, RAINBIRD UFS100, ULTRASONIC SERIES PVC, SIZE 2", OR EQUAL.

□ IRRIGATION CONTROLLER, ESP-LXMEZ PRO CONTROLLER. INSTALL IN STRONGBOX PEDESTAL ENCLOSURE. ADD FLOW SMART MODULE. PROVIDE GROUNDING TO CONTROLLER PER CONTROLLER'S SPECIFICATIONS AND DETAIL A1/LI501.

— IRRIGATION LATERAL LINE, PVC SCHEDULE 40 LATERAL PIPING, SCH. 40, BELL END, SOLVENT WELD PVC, SIZE AS SHOWN ON PLAN, DEPTH OF BURY 24". LATERAL PIPE CONVEYING LESS THAN 5 GPM SHALL BE 3/4".

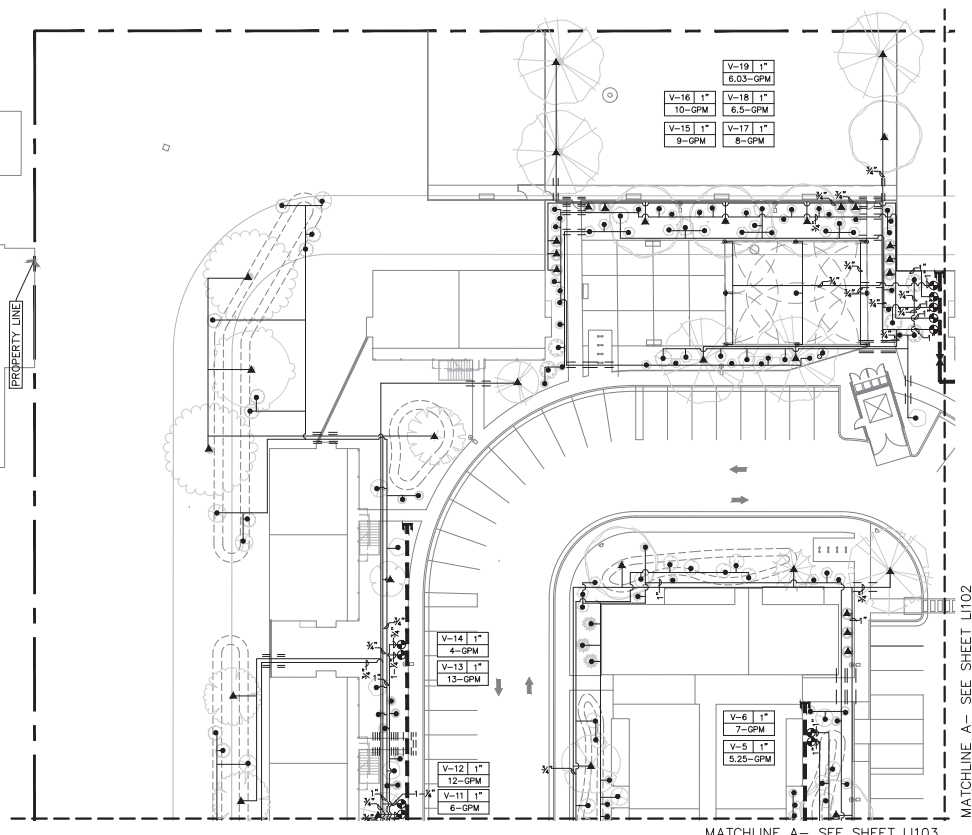
==== PIPE SLEEVE: PVC CLASS 200 SDR 21 LATERAL SLEEVE PIPING, CLASS 200, SDR-21, BELL END, SOLVENT WELD PVC, TWO SIZES LARGER THAN PIPE BEING SLEAVED.

==== 24-VOLT IRRIGATION WIRE SLEEVE PIPING, CLASS 200, SDR-21, BELL-END, SOLVENT WELD PVC, SIZE 1 1/2".

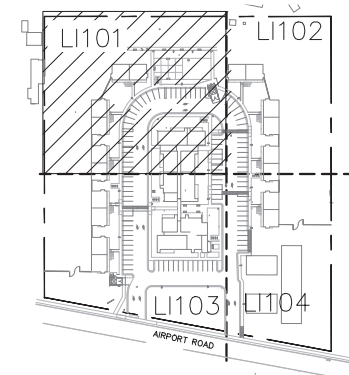
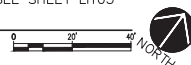
— IRRIGATION MAIN LINE, SCHEDULE 40, BELL END, SOLVENT WELD PVC, SIZE: 2" DEPTH OF BURY 28" FOR CONTINUOUS PRESSURE MAIN, 24" FOR NON-CONTINUOUS PRESSURE MAIN.

┌ SOLVENT WELD END CAP.

VALVE CALLOUT
 # VALVE NUMBER
 1" ## VALVE FLOW
 VALVE SIZE



A1 IRRIGATION PLAN
 SCALE: 1"=20'-0"



KEY MAP



COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE OF RURAL DESIGN
 1700 S. 20TH ST. SUITE 100
 TUCSON, AZ 85710
 TEL: 520.693.8888 FAX: 520.693.8889
 www.tgaw.com thgaw@tgaw.com

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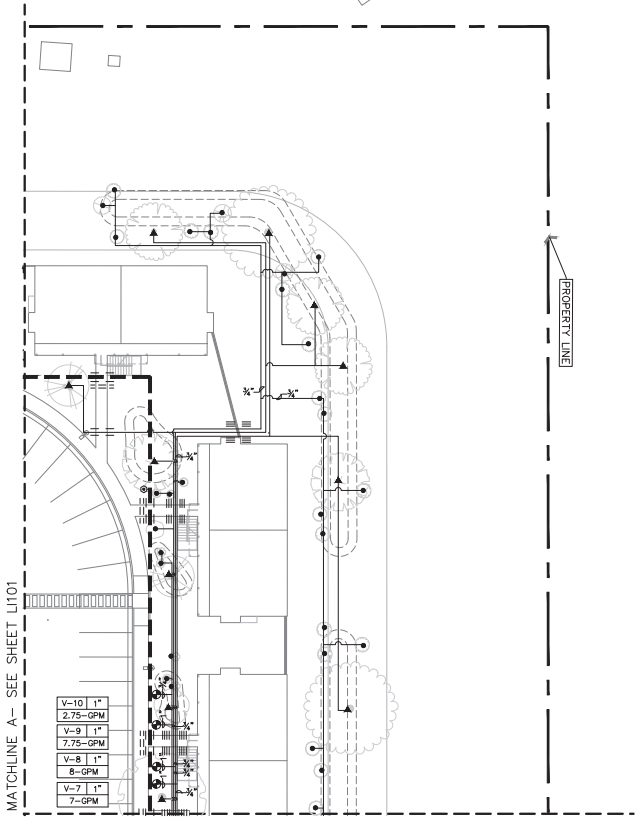
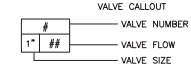
NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: IRRIGATION
 USER: TGC
 ZONE: IRRIGATION
 SHEET TITLE: IRRIGATION PLAN

IRRIGATION PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL																				
⊙	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/L1501																				
⊗	MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH-80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE.	C5/L1501																				
⊕	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 4-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/L1501																				
▶	BACKFLOW PREVENTER, FEBCO 823V, OR QUAL, 2" REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED AND INSULATED BACKFLOW ENCLOSURE, HOT BOX MODEL HB2, OR EQUAL.	C4/L1501 A1/L1501																				
⊙	QUICK COUPLING VALVE ASSEMBLY, RAIN BIRD 33LRC, OR EQUAL.	A4/L1501																				
•	RAIN BIRD 1400 SERIES BUBBLER: 1401 PRESSURE COMPENSATING BUBBLER ASSEMBLY. FIXED FLOW RATE (0.25 GPM).	C3/L1501																				
▲	RAIN BIRD 1400 SERIES BUBBLER: 1402 PRESSURE COMPENSATING BUBBLER ASSEMBLY. FIXED FLOW RATE, 2 PER TREE. (1.0 GPM TOTAL).	C3/L1501																				
●	POP-UP SPRINKLER ASSEMBLIES, RAIN BIRD 1800-PRS SERIES, 4" POP-UP WITH MPR NOZZLES AS FOLLOWS.	A3/L1501																				
	<table border="1"> <thead> <tr> <th>MODEL NO.</th> <th>RADIUS</th> <th>GPM</th> <th>PSI</th> <th>FR</th> </tr> </thead> <tbody> <tr> <td>MP-2000-90</td> <td>13'-21"</td> <td>0.4</td> <td>40</td> <td>.39</td> </tr> <tr> <td>MP-2000-180</td> <td>13'-21"</td> <td>0.74</td> <td>40</td> <td>.39</td> </tr> <tr> <td>MP-2000-360</td> <td>13'-21"</td> <td>1.47</td> <td>40</td> <td>.39</td> </tr> </tbody> </table>	MODEL NO.	RADIUS	GPM	PSI	FR	MP-2000-90	13'-21"	0.4	40	.39	MP-2000-180	13'-21"	0.74	40	.39	MP-2000-360	13'-21"	1.47	40	.39	
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⊖	FLOW SENSING ASSEMBLY, RAINBIRD UFS100, ULTRASONIC SERIES PVC, SIZE 2", OR EQUAL.	C2/L1501																				
⊞	IRRIGATION CONTROLLER, ESP-LXME2 PRO CONTROLLER. INSTALL IN STRONGBOX PEDESTAL ENCLOSURE. ADD FLOW SMART MODULE. PROVIDE GROUNDING TO CONTROLLER PER CONTROLLER'S SPECIFICATIONS AND DETAIL A1/L1501.	C1/L1501																				
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⊔	SOLVENT WELD END CAP.																					

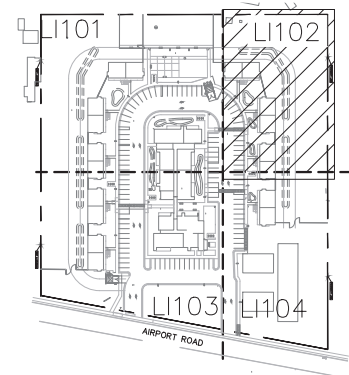
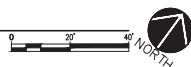


MATCHLINE A- SEE SHEET L1101

V-10	1"	2.75-GPM
V-9	1"	7.75-GPM
V-8	1"	8-GPM
V-7	1"	7-GPM

MATCHLINE B- SEE SHEET L1104

A1 IRRIGATION PLAN
 SCALE: 1"=20'-0"



KEY MAP



COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE OR PLANNING DESIGN
 1700 S. GARDEN AVENUE, SUITE 100
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 TEL: 505.263.8888 FAX: 505.263.8889
 www.tgafford.com email: TGC@TGAFORDARCH.COM

L1102



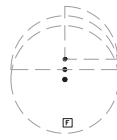
NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 DESIGN: TUEBSCHE
 20% DESCRIPTION
 30% DESCRIPTION
 SHEET TITLE:

IRRIGATION PLAN

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL																				
⊙	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/L501																				
✂	MANUAL ISOLATION VALVE ASSEMBLY, SPEARS SCH. 80 PVC BALL VALVE WITH UNIONS, SAME SIZE AS LINE.	C5/L501																				
⊕	REMOTE CONTROL VALVE ASSEMBLY, RAIN BIRD PEB SERIES, OR EQUAL, PLASTIC BODY 4-VOLT AUTOMATIC VALVE. SIZE AS SHOWN ON PLANS.	A5/L501																				
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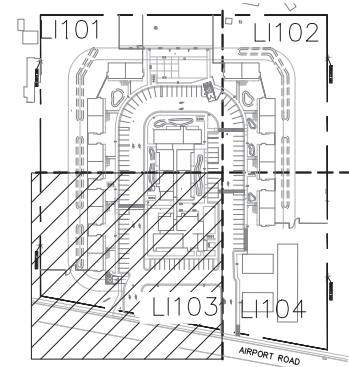
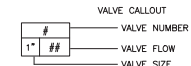
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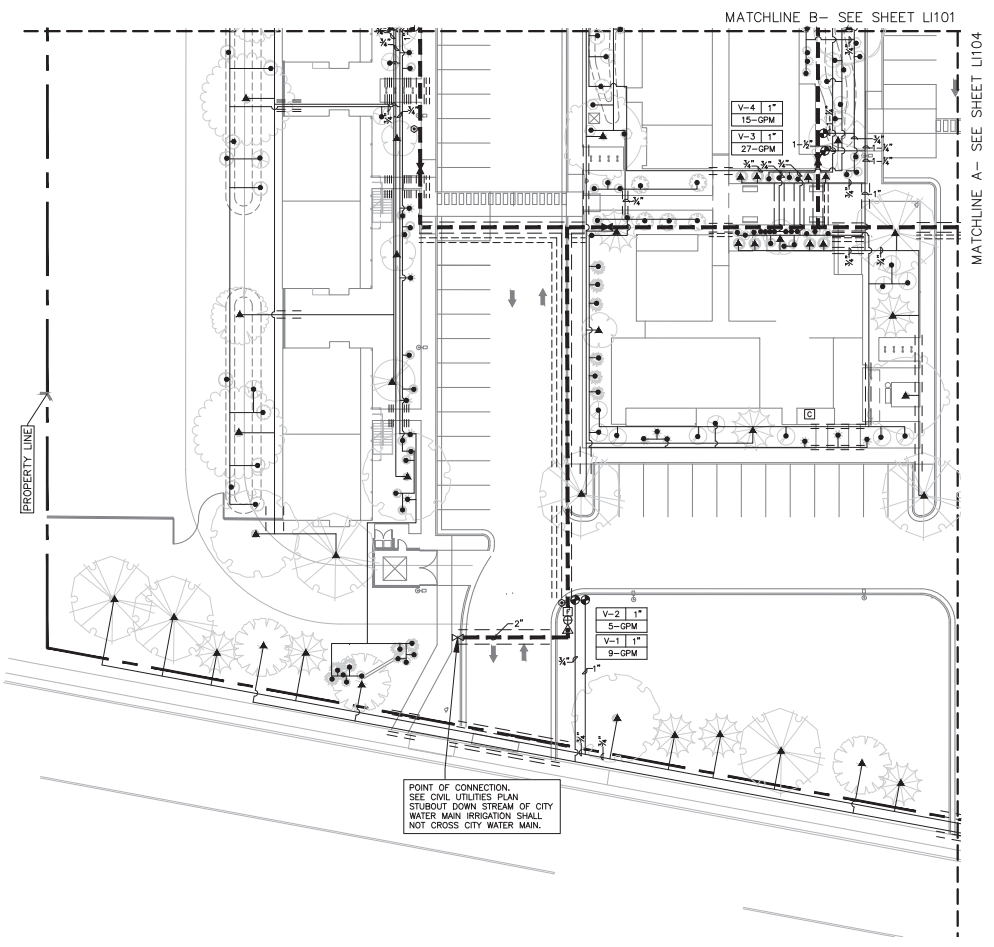
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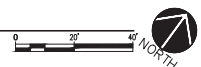
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KEY MAP



A1 IRRIGATION PLAN
 SCALE: 1"=20'-0"



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 1700 S. 6TH ST. STE 200
 ALBUQUERQUE, NM 87102
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L103



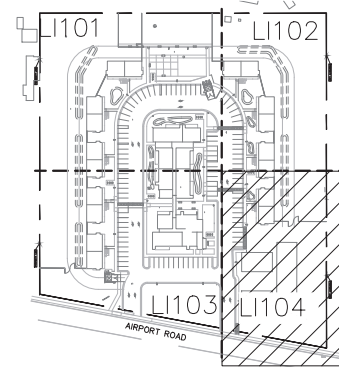
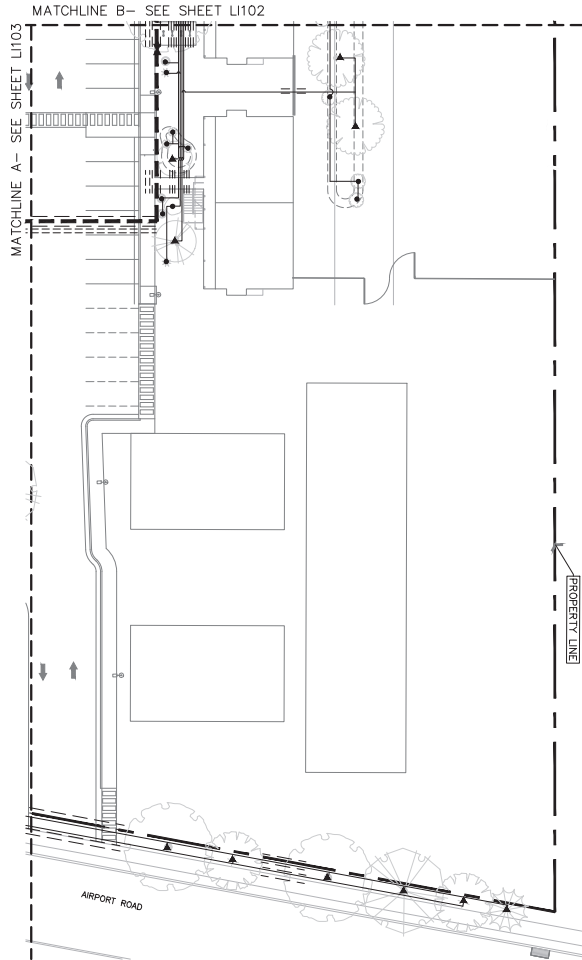
NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: 108
 T1: 108 DESCRIPTION
 T2: 208 DESCRIPTION
 T3: 308 DESCRIPTION
 SHEET TITLE:

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL																				
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	VALVE NUMBER																					
	VALVE FLOW																					
	VALVE SIZE																					

IRRIGATION PLAN



KEY MAP

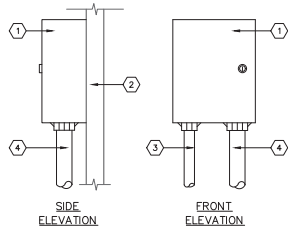
A1 IRRIGATION PLAN

SCALE: 1"=20'-0"



COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
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 WWW.TGADARCHITECT.COM

L1104



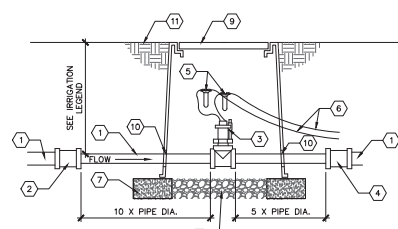
KEYED NOTES

1. AUTOMATIC CONTROLLER - SEE IRRIGATION LEGEND
2. WALL - SEE PLAN
3. 120-VOLT WIRE CONDUIT
4. 24-VOLT WIRE CONDUIT

GENERAL NOTES

- CONTROLLER SHALL BE MOUNTED SECURELY TO WALL USING APPROPRIATE FASTENERS FOR WALL TYPE.
- ALL EXPOSED CONDUIT SHALL BE E.M.T. OR EQUAL AND APPROVED BY LOCAL CODES.
- ALL CONDUIT CONNECTIONS SHALL BE MADE USING WATERTIGHT CONNECTORS.
- MOUNT TOP OF CONTROLLER 52" TO 58" ABOVE FINISH GRADE.

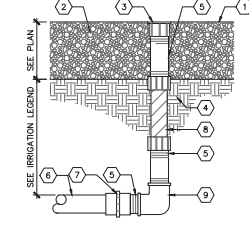
C1 WALL-MOUNT CONTROLLER
 NOT TO SCALE



KEYED NOTES

1. MAINLINE
2. SIZE OR DIRECTION CHANGE AT DISTANCE EQUAL TO 10X PIPE DIAMETER FROM FLOW SENSOR, OR PER SENSOR MANUFACTURER
3. FLOW SENSOR - SEE IRRIGATION LEGEND
4. SIZE OR DIRECTION CHANGE AT DISTANCE EQUAL TO 5X PIPE DIAMETER FROM FLOW SENSOR, OR PER SENSOR MANUFACTURER
5. WATERPROOF WIRE CONNECTOR
6. SHIELDED CABLE TO IRRIGATION CONTROLLER
7. SOLID CMU BLOCK, FOUR PER BOX
8. 6" DEPTH OF 1" DIAMETER WASHED GRAVEL WITH MIN. 2" CLEARANCE FROM BOTTOM OF EQUIPMENT AND PIPING
9. 17" X 30" HEAVY-DUTY VALVE BOX WITH T-STYLE BOLT-DOWN COVER AND EXTENSIONS AS REQUIRED
10. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER.
11. FINISH GRADE

C2 FLOW SENSOR
 NOT TO SCALE



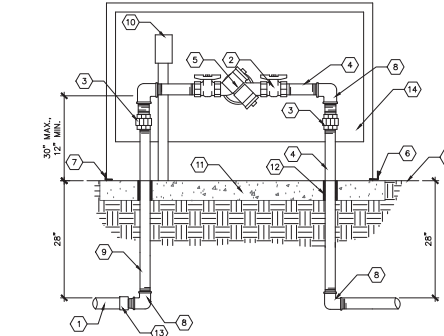
KEYED NOTES

1. FINISH GRADE - SEE PLAN
2. MULCH - SEE PLANTING PLAN
3. PRESSURE COMPENSATING BUBBLER - SEE IRRIGATION SCHEDULE
4. SUBGRADE COMPACTED TO 95% REQUIRED
5. 1/2" SCH. 80 PVC THREADED NIPPLE, LENGTH AS REQUIRED
6. 3/4" LATERAL PIPING
7. 3/4" X 1/2" SCH. 40 PVC FEMALE ADAPTER
8. 1/2" X 6" FLEX NIPPLE
9. 1/2" SCH. 40 PVC THREADED ELBOW

GENERAL NOTES

- TOP OF BUBBLER TO BE FLUSH WITH TOP OF MULCH.

C3 BUBBLER ASSEMBLY
 NOT TO SCALE

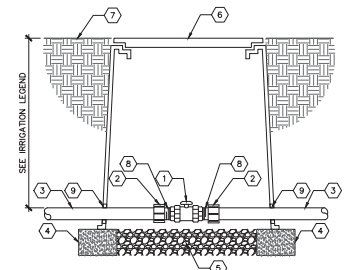


KEYED NOTES

1. SERVICE LINE TO WATER METER
2. TRUE UNION SCHEDULE 80 PVC BALL VALVE
3. GALVANIZED UNION (MIN. 4" ABOVE GRADE)
4. GALVANIZED NIPPLE
5. REDUCED PRESSURE BACKFLOW PREVENTER, SEE IRRIGATION LEGEND.
6. SWIVEL HASP (LOOK BY OWNER)
7. FLANG HINGE, SECURED TO CONCRETE SLAB WITH 1/4" DIA. X 2 3/4" TAPPER HEX HEAD SCREWS.
8. GALVANIZED ELL
9. GALVANIZED RISER
10. 110V ELECTRICAL OUTLET FOR HEATED PROTECTIVE ENCLOSURE. PLACE AWAY FROM RELIEF VALVE. ELECTRICAL OUTLET SHALL BE A GFI OUTLET.
11. MIN. 4" 3000 PSI CONCRETE SLAB.
12. PVC SLEEVING & INSULATION (MIN. 1" THICK)
13. PVC X MP ADAPTER
14. PROTECTIVE ENCLOSURE, SEE IRRIGATION LEGEND.
15. FINISH GRADE.

C4 BACKFLOW PREVENTER (RPBP)
 SCALE: N.T.S.

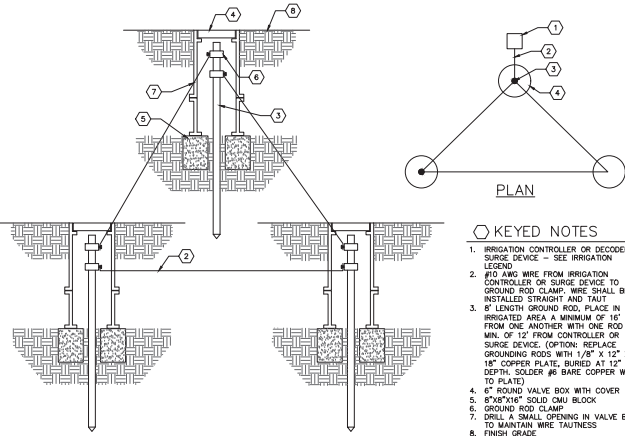
P-024-PCH-28



KEYED NOTES

1. SCH. 80 BALL VALVE WITH UNIONS
2. SCH. 40 PVC MALE ADAPTER
3. IRRIGATION MAINLINE
4. SOLID CMU BLOCK, FOUR PER BOX
5. 6" DEPTH OF 1" DIAMETER WASHED GRAVEL WITH MIN. 2" CLEARANCE FROM BOTTOM OF EQUIPMENT AND PIPING
6. 10" X 15" HEAVY-DUTY VALVE BOX WITH T-STYLE BOLT-DOWN COVER AND EXTENSIONS AS REQUIRED
7. FINISH GRADE
8. SCHEDULE 80 PVC NIPPLE, 3" LENGTH
9. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER

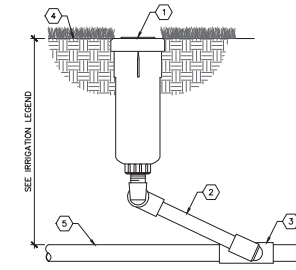
C5 MANUAL ISOLATION VALVE
 NOT TO SCALE



KEYED NOTES

1. IRRIGATION CONTROLLER OR DECODER SURGE DEVICE - SEE IRRIGATION LEGEND
2. #10 AND WIRE FROM IRRIGATION CONTROLLER OR SURGE DEVICE TO GROUND ROD CLAMP. WIRE SHALL BE INSTALLED STRAIGHT AND TAUT
3. 8' LENGTH GROUND ROD, PLACE IN IRRIGATED AREA, A MINIMUM OF 10' FROM ONE ANOTHER WITH ONE ROD A MIN. OF 12" FROM CONTROLLER OR SURGE DEVICE. (OPTION: REPLACE GROUNDING RODS WITH 1/8" X 12" X 18" COPPER PLATE, BURIED AT 12" DEPTH. SOLDER #8 BARE COPPER WIRE TO PLATE)
4. 6" ROUND VALVE BOX WITH COVER
5. #8X1/4" SOLID CMU BLOCK
6. GROUND ROD CLAMP
7. DRILL A SMALL OPENING IN VALVE BOX TO MAINTAIN WIRE TAUTNESS
8. FINISH GRADE

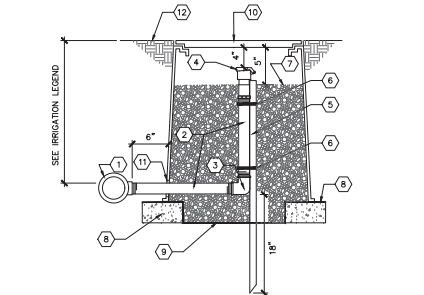
A1 GROUNDING SECTION
 NOT TO SCALE



KEYED NOTES

1. SPRINKLER BODY - SEE IRRIGATION LEGEND
2. UNITIZED SWING JOINT, SAME SIZE AS HEAD'S INLET SIZE
3. PVC LATERAL PIPE FITTING
4. FINISH GRADE
5. LATERAL PIPING

A3 SPRINKLER ASSEMBLY
 NOT TO SCALE



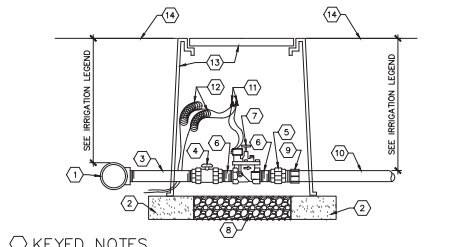
KEYED NOTES

1. SERVICE TEE AT MAINLINE
2. 1" SCH. 80 PVC NIPPLE, LENGTH AS REQUIRED
3. 1" SCH. 80 PVC THREADED ELBOW
4. QUICK COUPLER VALVE - SEE IRRIGATION LEGEND
5. 2" STEEL ANGLE IRON SUPPORT STAKE
6. STAINLESS STEEL PIPE CLAMP
7. 1" DIAMETER WASHED GRAVEL
8. SOLID CMU BLOCK, TWO PER BOX
9. FILTER FABRIC
10. 10" ROUND HEAVY-DUTY VALVE BOX WITH BOLT DOWN DROP-IN COVER AND EXTENSIONS AS REQUIRED
11. NOTCH OR CORE DRILL VALVE BOX WALL, 1/2" LARGER THAN PIPE DIAMETER
12. FINISH GRADE

GENERAL NOTES

- PROVIDE 4" MINIMUM CLEARANCE BETWEEN VALVE BOX LID AND HIGHEST OBJECT IN BOX.
- PROVIDE ONE (1) VALVE KEY AND ONE (1) LOCKING COVER KEY TO THE OWNER, PER QUICK COUPLER.

A4 QUICK COUPLER VALVE
 NOT TO SCALE



KEYED NOTES

1. HDPE MAINLINE
2. SOLID CMU BLOCK, FOUR PER BOX
3. SCH. 80 PVC NIPPLE, LENGTH AS REQUIRED
4. SPEARS TRUE UNION SCH. 80 PVC BALL VALVE WITH UNIONS
5. SPEARS SCH. 80 PVC UNION
6. SCH. 80 PVC NIPPLE - 3" LENGTH
7. REMOTE CONTROL VALVE, SEE IRRIGATION LEGEND.
8. 6" DEPTH 1" WASHED GRAVEL WITH 2" CLEARANCE TO BOTTOM OF VALVE ASSEMBLY
9. SCH. 40 PVC MALE ADAPTER
10. LATERAL PIPING (SEE LEGEND)
11. WATERPROOF WIRE CONNECTOR
12. 36" WIRE EXPANSION LOOPS
13. 17" X 30" VALVE BOX W/ BOLT DOWN FLUSH COVER AND 6" EXTENSIONS (1730-XG) AS REQUIRED.
14. FINISH GRADE.

GENERAL NOTES

- CONTRACTOR SHALL INSTALL ONE AUTOMATIC VALVE ASSEMBLY PER VALVE BOX.

A5 REMOTE CONTROL VALVE
 NOT TO SCALE

GENERAL PLANTING NOTES

- GP-01 TREES INSTALLED WITHIN TURF AND NATIVE SEED AREAS SHALL HAVE A 4" DEPTH OF SHREDDED WOOD MULCH WITHIN A 6" DIAMETER AREA AT THE BASE OF EACH TREE.
- GP-02 FOR THE FULL PLANT SCHEDULE SEE SHEET LP501
- GP-03 FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT). OVERLAP ENDS 3" AND TURN DOWN EDGES 6".
- GP-04 THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
- GP-05 THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
- GP-06 IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
- GP-07 THE CONTRACTOR SHALL INSTALL TREES PER DETAIL A5/LP501.
- GP-08 THE CONTRACTOR SHALL INSTALL SHRUBS PER DETAIL B5/LP501.
- GP-09 IN CASE OF DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "SIZE". EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
- GP-10 NO GRADING SHALL OCCUR WITHIN THE DRILLPIE OF TREES TO BE PRESERVED IN PLACE.
- GP-11 ALL EXISTING BOULDERS SHALL TO REMAIN.
- GP-12 ALL PLANTING BEDS SHALL BE SWALED, SLOPED, OR RECESSED BELOW GRADE TO PREVENT FLOTTING WATER. REFERENCE CIVIL GRADING PLAN. WHERE CONTOURS ON CIVIL GRADING PLAN ARE NOT DETAILED ENOUGH DUE TO PLAN SCALE, PLANTING BEDS SHALL BE RECESSED 2" BELOW ADJACENT PAVEMENT TO TOP OF MULCH MATERIAL.

COMPLIANCE WITH CITY LANDSCAPE ORDINANCES

INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS	
PARKING SPACES:	87
REQUIRED LANDSCAPE AREA PER SPACE:	10 SF
PERMEABLE LANDSCAPE AREA REQUIRED:	870 SF
PERMEABLE LANDSCAPE AREA PROVIDED:	137,413 SF
REQUIRED NUMBER OF TREES @ 1 PER 90 REQD SF:	10
NUMBER OF PARKING LOT TREES PROVIDED:	21
REQUIRED NUMBER OF SHRUBS @ 2 PER 90 REQD SF:	20
NUMBER OF PARKING LOT SHRUBS PROVIDED:	46
OPEN SPACE REQUIREMENTS	
TOTAL LOT AREA:	219,199 SF
REQUIRED OPEN SPACE 84 DU X 2505F:	21,000 SF
OPEN SPACE PROVIDED:	23,000 SF
REQUIRED NUMBER OF TREES @ 1 PER 500 SF:	42
TOTAL NUMBER OF TREES PROVIDED (NOT INCLUDING BASINS):	42
NUMBER OF EVERGREEN TREES REQUIRED:	11
NUMBER OF EVERGREEN TREES PROVIDED:	25
REQUIRED NUMBER OF SHRUBS @ 2 PER 500 SF:	84
TOTAL NUMBER OF SHRUBS PROVIDED (NOT INCLUDING BASINS):	184
NUMBER OF EVERGREEN SHRUBS REQUIRED:	21
NUMBER OF EVERGREEN SHRUBS PROVIDED:	79
TURFGRASS AREA PROVIDED:	1,695 SF
	7%

DESIGNATED STORMWATER BASIN REQUIREMENTS

REQUIRED NUMBER OF TREES EACH BASIN @ 1 PER 500 SF	
NUMBER OF TREES REQUIRED/PROVIDED	
BASIN A	3/3
BASIN B	3/3
BASIN C	2/2
BASIN D	4/4
BASIN E	3/4
BASIN F	1/1
BASIN G	1/1
BASIN H	5/2
REQUIRED NUMBER OF SHRUBS EACH BASIN @ 3 PER 500 SF	
NUMBER OF SHRUBS REQUIRED/PROVIDED	
BASIN A	9/10
BASIN B	9/9
BASIN C	9/10
BASIN D	12/15
BASIN E	9/9
BASIN F	3/6
BASIN G	3/6
BASIN H	3/8

STREET TREE REQUIREMENTS

SEE COMPLIANCE WITH AIRPORT OVERLAY

COMPLIANCE WITH AIRPORT OVERLAY

LANDSCAPE REQUIREMENTS	
REQUIRED NUMBER OF STREET TREES @ A MINIMUM OF 20' ON CENTER ADJACENT TO AIRPORT ROAD	7
TOTAL NUMBER OF TREES PROVIDED:	7
NUMBER OF EVERGREEN TREES REQUIRED:	2
NUMBER OF EVERGREEN TREES PROVIDED:	2
LANDSCAPE REQUIREMENTS TRACT A	
REQUIRED NUMBER OF STREET TREES @ A MINIMUM OF 20' ON CENTER ADJACENT TO AIRPORT ROAD	5
TOTAL NUMBER OF TREES PROVIDED:	14*
NUMBER OF EVERGREEN TREES REQUIRED:	15
NUMBER OF EVERGREEN TREES PROVIDED:	5
* UNDER REQUIRED DO TO EXISTING BUS STOP	

SITE FURNISHING REQUIREMENTS

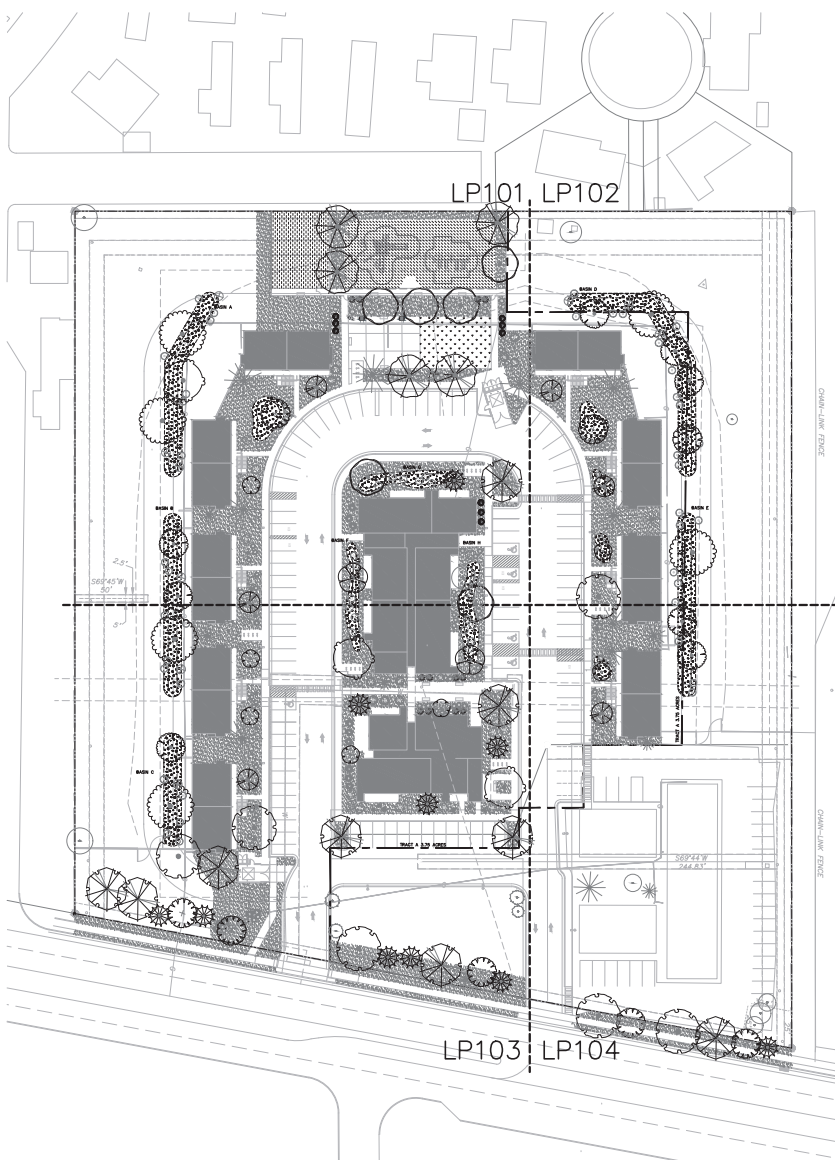
REQUIRED NUMBER OF BENCHES @ 1 PER 5000 SF OF GROSS BUILDING	12
NUMBER OF BENCHES PROVIDED	12
REQUIRED NUMBER OF TRASH RECEPTACLES	2
PROVIDED NUMBER OF TRASH RECEPTACLES	2

PLANT SCHEDULE FOR FULL PLANT SCHEDULE, SEE SHEET LP501

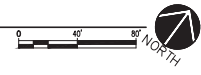
SYMBOL	COMMON NAME	BOTANICAL NAME
TREES		
	BOX ELDER	ACER NEGUNDO
	COMMON HACKBERRY	CELTIS OCCIDENTALIS
	DESERT WILLOW	CHLOPSIS LINEARIS
	LACEBARK ELM	ULMUS PARVIFOLIA
	MESA GLOW/BIGTOOTH MAPLE	ACER GRANDIDENTATUM 'JFS-NUMEX 3'
	RED PUSH PISTACHE	PISTACIA X 'RED PUSH'
	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'
	SKYROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'
	TEXAS RED OAK	QUERCUS BUCKLEYI
SMALL TREE/LARGE SHRUB		
	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'
	EASTERN REDBUD	CERCIS CANADENSIS
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
	PINON PINE	PINUS EDULIS
	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'
SHRUBS		
	APACHE PLUME	FALLUGIA PARADOXA
	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA
	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS
	CREeping THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'
	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
	FERNBUSH	CHAMAEBATARIA MILLEFOLIUM
	GOLDEN CURRANT	RIBES AUREUM
	GROSSO FRENCH LAVENDER	LAVANDULA X INTERMEDIA 'GROSSO'
	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'
	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	THREE LEAF SUMAC	RHUS TRILOBATA
	WESTERN SAND CHERRY	PRUNUS BESSEYI PAWNEE BUTTES
EVERGREEN SHRUBS		
	PAUL'S DWARF MUGO PINE	PINUS MUGO 'PAUL'S DWARF'
PERENNIALS		
	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES
GRASSES & DESERT ACCENTS		
	BEAR GRASS	NOLINA MICROCARPA
	BLONDE AMBITION BLUE GRAMA	BOUETOLOJA GRACILIS 'BLONDE AMBITION'
	DEER GRASS	MULLENBERGIA RIGENS
	RED YUCCA	HESPERALOE PARVIFLORA
	SOAPWEED	YUCCA GLAUCA

TREE PROTECTION NOTES

- CONTRACTOR SHALL ESTABLISH A ROOT PROTECTION ZONE AROUND EACH EXISTING TREE TO REMAIN. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY A RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE LINEAR FEET FOR EACH INCH DIAMETER OF THE TREE. THE TREE DIAMETER SHALL BE MEASURED AT BREAST HEIGHT (4.5' ABOVE FINISH GRADE). EXAMPLE: A 10 INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- CONTRACTOR SHALL INSTALL FENCING AT THE PERIMETER OF ROOT PROTECTION ZONES. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING SHALL BE A MINIMUM OF 4' HEIGHT.
- CONTRACTOR SHALL NOT STORE OR DRIVE EQUIPMENT, VEHICLES OR MATERIALS WITHIN THE ROOT PROTECTION ZONE.
- CONTRACTOR SHALL PROTECT EXISTING ROOTS FROM DAMAGE WHEN WORKING WITHIN THE ROOT PROTECTION ZONE. THE CONTRACTOR SHALL LIMIT DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES WITHIN THE ROOT PROTECTION ZONE TO THE MINIMUM DISTURBANCE REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR SHALL NOT ALLOW CONCRETE TRUCKS TO CLEAN CHUTES OR PUMP EXCESS CONCRETE OR ANY OTHER CEMENTITIOUS PRODUCTS IN ANY PORTION OF THE SITE. CONTRACTOR SHALL CLEAN THE WASTE OF OTHER CEMENTITIOUS MATERIALS FROM THE SURFACE AND THEY SHALL NOT BE TURNED UNDER DURING FINAL GRADING.
- CONTRACTOR SHALL NOT TRENCH WITHIN THE DRILLPIE OF EXISTING TREES. AT LOCATIONS WHERE IT IS NECESSARY TO INSTALL LINES OR WIRE WITHIN THE DRILLPIE OF EXISTING TREES, THE UTILITY SHALL BE INSTALLED BY BORING UNDER TREE ROOTS.



(A1) OVERALL PLANTING PLAN
SCALE: 1"=40'-0"

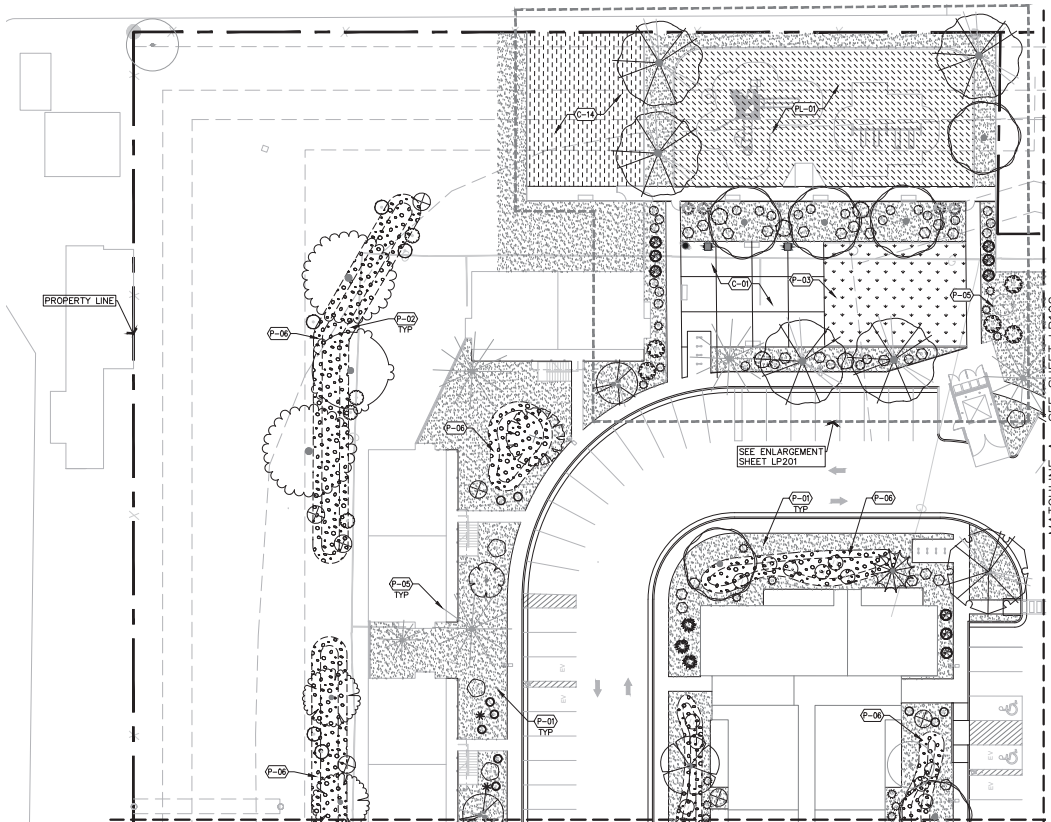


NOT FOR CONSTRUCTION
DATE: 6 JAN 2024
DESIGN: THOMAS GIFFORD ARCHITECT
CHECKED: THOMAS GIFFORD ARCHITECT
DESCRIPTION: OVERALL PLANTING PLAN
JOB DESCRIPTION: OVERALL PLANTING PLAN

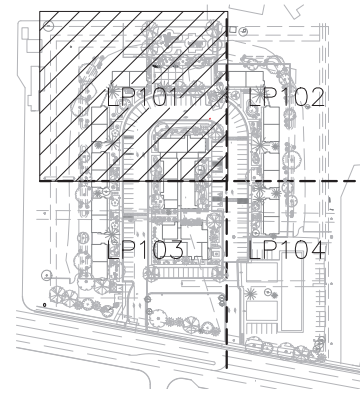
OVERALL PLANTING PLAN

COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
5595 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
THOMAS GIFFORD ARCHITECT
1100 S. WASHINGTON AVENUE, SUITE 100
SANTA FE, NEW MEXICO 87505
TEL: 505.825.2838 FAX: 505.825.2839
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B1 PLANTING PLAN
SCALE: 1"=20'-0"



KEY MAP

REFERENCE NOTES SCHEDULE LP101

SYMBOL	CODE	DESCRIPTION	DETAIL
CONSTRUCTION			
	C-14	FURNISH AND INSTALL ENGINEERED WOOD FIBER ACCESSIBLE PLAYGROUND MULCH. DEPTH SHALL BE A MINIMUM OF 6".	
PLANTING			
	P-01	FURNISH AND INSTALL 7/16" SANTA FE BROWN ROCK MULCH, AS AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.	
	P-02	FURNISH AND INSTALL 2"-4" SANTA FE BROWN GRAVEL MULCH, AT 6" DEPTH. AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL.	
	P-03	TURFGRASS SOD SHALL BE 'SEMPRE VERDE TALL FESCUE' AS AVAILABLE FROM EVERGREEN TURF, 505-384-5241, OR APPROVED EQUAL. TOP OF SOD SHALL BE INSTALLED 1" BELOW TOP OF ADJACENT HARD SURFACES.	
	P-05	EXISTING TREE TO REMAIN.	
	P-06	CONSTRUCT WATER HARVESTING BASIN	C1/LP501
PLAYGROUND			
	PL-01	FURNISH AND INSTALL ENGINEERED WOOD FIBER ACCESSIBLE PLAYGROUND MULCH. DEPTH SHALL BE A MINIMUM OF 12" AFTER COMPACTION. TOP OF MULCH SHALL BE 4" BELOW TOP OF ADJACENT CURB OR PAVED SURFACES. MULCH MUST BE IPEMA CERTIFIED AND SHALL COMPLY WITH THE FOLLOWING ASTM STANDARDS (CURRENT EDITIONS): F1292, F2075, AND F1951.	A4/L501

PLANT SCHEDULE LP101 FOR FULL PLANT SCHEDULE, SEE SHEET LP501

SYMBOL	COMMON NAME	BOTANICAL NAME
TREES		
	BOX ELDER	ACER NEGUNDO
	COMMON HACKBERRY	CELTIS OCCIDENTALIS
	DESERT WILLOW	CHILOPSIS LINEARIS
	MESA GLOW/BIGTOOTH MAPLE	ACER GRANDIDENTATUM 'JFS-NUMEX 3'
	RED PUSH PISTACHE	PISTACHIA X 'RED PUSH'
	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'
	SKYROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'
	TEXAS RED OAK	QUERCUS BUCKLEYI
SMALL TREE/LARGE SHRUB		
	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'
	EASTERN REDBUD	CERCIS CANADENSIS
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
	PINON PINE	PINUS EDULIS
SHRUBS		
	APACHE PLUME	FALLUGIA PARADOXA
	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA
	CREEPING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'
	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	THREE LEAF SUMAC	RHUS TRILOBATA
EVERGREEN SHRUBS		
	PAUL'S DWARF MUGO PINE	PINUS MUGO 'PAUL'S DWARF'
GRASSES & DESERT ACCENTS		
	BEAR GRASS	NOLINA MICROCARPA
	DEER GRASS	MUHLENBERGIA RIGENS
	RED YUCCA	HESPERALOE PARVIFLORA
	SOAPWEED	YUCCA GLAUCA



NOT FOR CONSTRUCTION

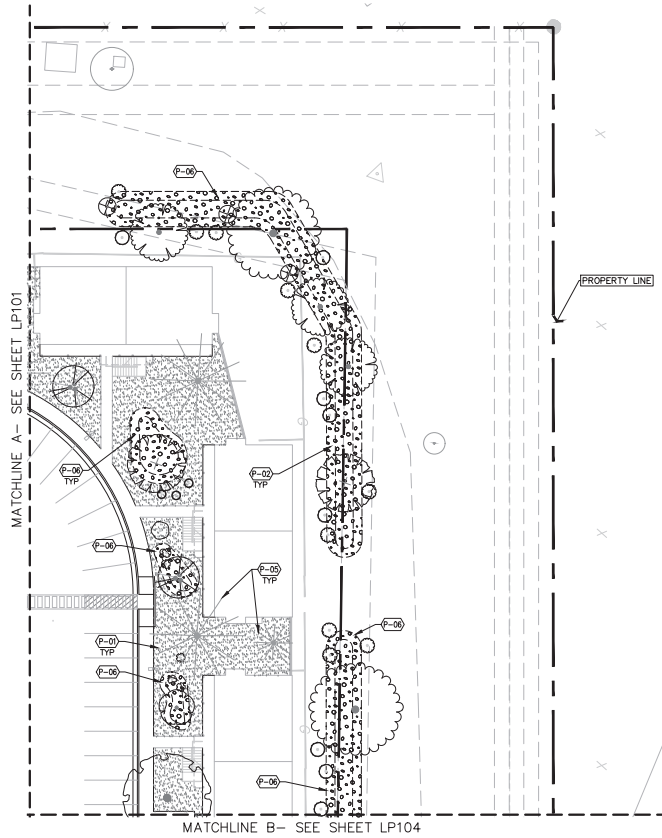
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 REGION: UNDETERMINED
 USER: UNDETERMINED
 SHEET TITLE: UNDETERMINED

PLANTING PLAN

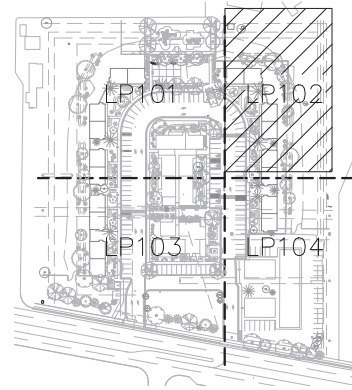
COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5797 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE, INTERIORS, DESIGN
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 ALBUQUERQUE, NM 87104
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LP101



B2 PLANTING PLAN
SCALE: 1"=20'-0"



KEY MAP

REFERENCE NOTES SCHEDULE LP102

SYMBOL	CODE	DESCRIPTION
PLANTING		
	P-01	FURNISH AND INSTALL 7/16" SANTA FE BROWN ROCK MULCH, AS AVAILABLE FROM BUILDLOGY, INC. (505-344-8628), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.
	P-02	FURNISH AND INSTALL 2"-4" SANTA FE BROWN GRAVEL MULCH, AT 6" DEPTH, AVAILABLE FROM BUILDLOGY, INC. (505-344-8628), OR APPROVED EQUAL.
	P-05	EXISTING TREE TO REMAIN.
	P-06	CONSTRUCT WATER HARVESTING BASIN

FOR FULL PLANT SCHEDULE, SEE SHEET LP501

SYMBOL	COMMON NAME	BOTANICAL NAME
TREES		
	COMMON HACKBERRY	CELTIS OCCIDENTALIS
	DESERT WILLOW	CHILOPSIS LINEARIS
	LACEBARK ELM	ULMUS PARVIFOLIA
	MESA GLOW BIGTOOTH MAPLE	ACER GRANDIDENTATUM 'JFS-NUMEX 3'
SMALL TREE/LARGE SHRUB		
	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
SHRUBS		
	APACHE PLUME	FALLUGIA PARADOXA
	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA
	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	THREE LEAF SUMAC	RHUS TRILOBATA
GRASSES & DESERT ACCENTS		
	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'



NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 DESIGN: TUEBSCHE
 CHECK: TUEBSCHE
 SCALE: 1"=20'-0"
 SHEET TITLE:

PLANTING PLAN

COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5797 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE & INTERIOR DESIGN
 1700 S. 20TH STREET, SUITE 100
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 WWW: WWW.TGACFIRM.COM
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LP102

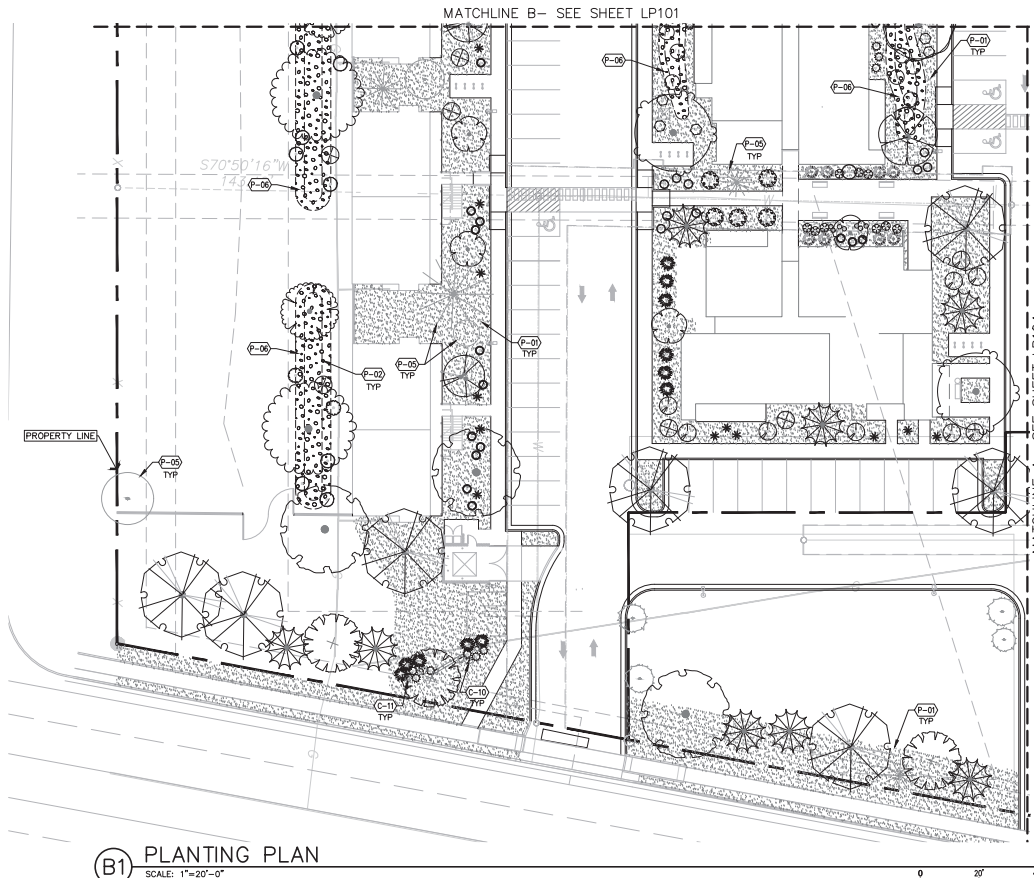


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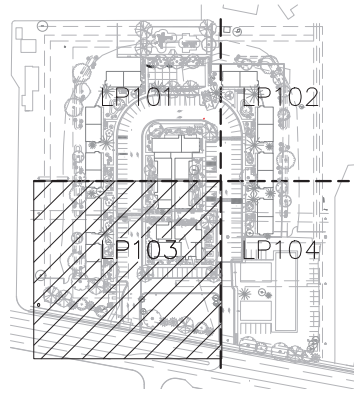
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 70% DESCRIPTION: [Symbol]
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SHEET TITLE:

PLANTING PLAN



B1 PLANTING PLAN
 SCALE: 1"=20'-0"



KEY MAP

REFERENCE NOTES SCHEDULE LP 103

SYMBOL	CODE	DESCRIPTION	DETAIL
CONSTRUCTION			
[Symbol]	C-10	FURNISH AND INSTALL BOULDER, 3' X 3' MINIMUM 'MOSS ROCK', OR APPROVED EQUAL.	A1/LP501
[Symbol]	C-11	FURNISH AND INSTALL BOULDER, 2' X 2' MINIMUM 'MOSS ROCK', OR APPROVED EQUAL.	A1/LP501
PLANTING			
[Symbol]	P-01	FURNISH AND INSTALL 7/16" SANTA FE BROWN' ROCK MULCH, AS AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.	
[Symbol]	P-02	FURNISH AND INSTALL 2"-4" 'SANTA FE BROWN' GRAVEL MULCH, AT 6" DEPTH, AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL.	
[Symbol]	P-05	EXISTING TREE TO REMAIN.	
[Symbol]	P-06	CONSTRUCT WATER HARVESTING BASIN	C1/LP501

PLANT SCHEDULE LP103 FOR FULL PLANT SCHEDULE, SEE SHEET LP501

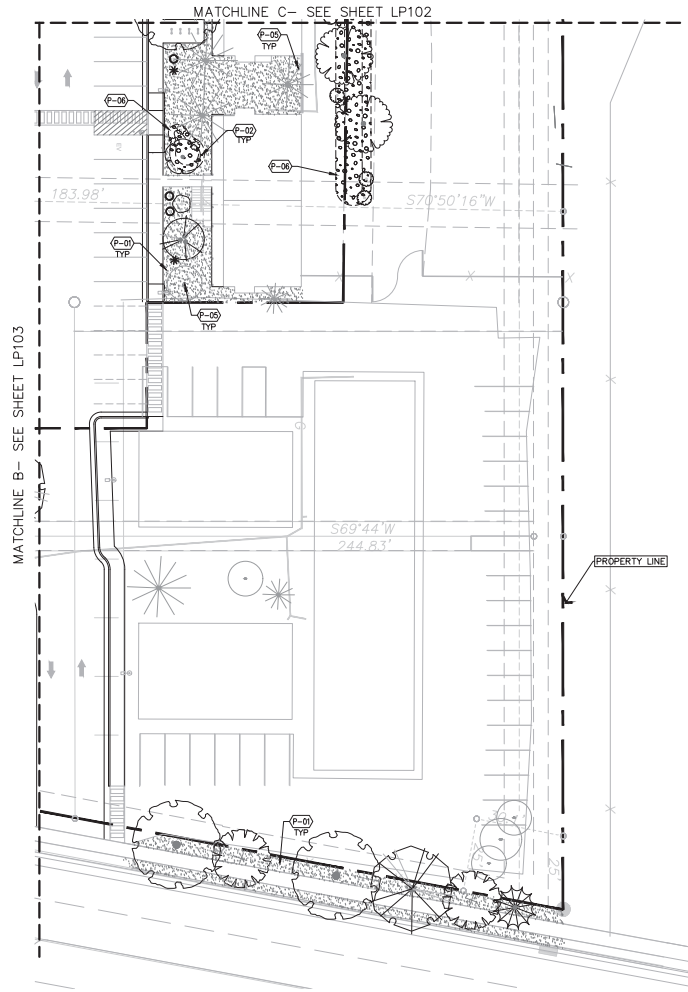
SYMBOL	COMMON NAME	BOTANICAL NAME
TREES		
[Symbol]	BOX ELDER	ACER NEGUNDO
[Symbol]	COMMON HACKBERRY	CELTIS OCCIDENTALIS
[Symbol]	DESERT WILLOW	CHILOPSIS LINEARIS
[Symbol]	LACEBARK ELM	ULMUS PARVIFOLIA
[Symbol]	MESA GLOWWORM MAPLE	ACER GRANDIDENTATUM 'JFS-NUMEX 3'
[Symbol]	TEXAS RED OAK	QUERCUS BUCKLEYI
SMALL TREE/LARGE SHRUB		
[Symbol]	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'
[Symbol]	EASTERN REDBUD	CERCIS CANADENSIS
[Symbol]	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
[Symbol]	PINON PINE	PINUS EDULIS
[Symbol]	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'
SHRUBS		
[Symbol]	APACHE PLUME	FALLUGIA PARADOXA
[Symbol]	BIG SAGEBRUSH	ARTEMISIA TRIDENTATA
[Symbol]	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS
[Symbol]	CREEZING THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'
[Symbol]	DWARF RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS
[Symbol]	FERNBUSH	CHAMAEBATIARIA MILLEFOLIUM
[Symbol]	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'
[Symbol]	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
[Symbol]	WESTERN SAND CHERRY	PRUNUS BESSEYI PANNEE BUTTES
EVERGREEN SHRUBS		
[Symbol]	PAUL'S DWARF MUGO PINE	PINUS MUGO 'PAUL'S DWARF'
PERENNIALS		
[Symbol]	DWARF PLUMBAGO	CERATOSTIGMA PLUMBAGINOIDES
GRASSES & DESERT ACCENTS		
[Symbol]	BEAR GRASS	NOLINA MICROCARPA
[Symbol]	DEER GRASS	MUHLENBERGIA RIgens
[Symbol]	RED YUCCA	HESPERALOE PARVIFLORA
[Symbol]	SOAPWEED	YUCCA GLAUCA

COUNTRY CLUB SANTA FE CIVIC HOUSING AUTHORITY
 5797 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE & PLANNING DESIGN
 1700 S. 20TH STREET, SUITE 100
 ALBUQUERQUE, NM 87104
 TEL: 505.263.3838 FAX: 505.263.3839
 WWW: TGA@THOMASGIFFORD.COM

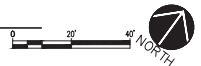


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LP103



B2 PLANTING PLAN
SCALE: 1"=20'-0"

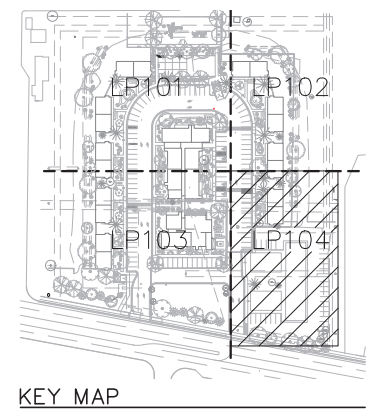


REFERENCE NOTES SCHEDULE LP104

SYMBOL	CODE	DESCRIPTION	DETAIL
PLANTING			
	P-01	FURNISH AND INSTALL 7/16" SANTA FE BROWN' ROCK MULCH, AS AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.	
	P-02	FURNISH AND INSTALL 2"-4" 'SANTA FE BROWN' GRAVEL MULCH, AT 6" DEPTH, AVAILABLE FROM BUILDLOGY, INC. (505-344-6626), OR APPROVED EQUAL.	
	P-05	EXISTING TREE TO REMAIN.	
	P-06	CONSTRUCT WATER HARVESTING BASIN	C1/LP501

PLANT SCHEDULE LP104 FOR FULL PLANT SCHEDULE, SEE SHEET LP501

SYMBOL	COMMON NAME	BOTANICAL NAME
TREES		
	DESERT WILLOW	CHLOPSIS LINEARIS
	LACEBARK ELM	ULMUS PARVIFOLIA
	MESA GLOW® BIGTOOTH MAPLE	ACER GRANDIDENTATIUM 'JFS-NUMEX 3'
	TEXAS RED OAK	QUERCUS BUCKLEYI
SMALL TREE/LARGE SHRUB		
	CANADA RED CHOKECHERRY	PRUNUS VIRGINIANA 'CANADA RED'
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS
	PINON PINE	PINUS EDULIS
SHRUBS		
	RUBBER RABBITBRUSH	CHRYSOTHAMNUS NAUSEOSUS
	THREE LEAF SUMAC	RHUS TRILOBATA
EVERGREEN SHRUBS		
	PAUL'S DWARF MUGO PINE	PINUS MUGO 'PAUL'S DWARF'
GRASSES & DESERT ACCENTS		
	BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRAELIS 'BLONDE AMBITION'
	SOAPWEED	YUCCA GLAUCA



KEY MAP



NOT FOR CONSTRUCTION
DATE: 6 JAN 2024
DESIGN: TUEBSCHE
DRAWN: TUEBSCHE
CHECKED: TUEBSCHE
DESCRIPTION: 3A
3B

PLANTING PLAN

COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
5797 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
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ARCHITECTURE & PLANNING
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LP104

CONSTRUCTION PLAZA AND PLAYGROUND ENLARGEMENT

CODE	DESCRIPTION	DETAIL
C-01	CONSTRUCT CONCRETE PAVING.	C1/LSS01
C-02	CONSTRUCT CONCRETE SIDEWALK WITH TURNDOWN EDGE.	C2/LSS01
C-03	CONSTRUCT 6" CONCRETE HEADER CURB.	C6/LSS01
C-04	CONSTRUCT CONCRETE ADA PLAY AREA ACCESS RAMP.	C3/LSS01
C-05	FURNISH AND INSTALL BENCH WITH BACK PER MANUFACTURERS INSTRUCTIONS.	
C-06	FURNISH AND INSTALL OUTDOOR GRILL PER MANUFACTURERS INSTRUCTIONS.	
C-07	FURNISH AND INSTALL BIKE RACKS	
C-08	FURNISH AND INSTALL 6" HIGH DESIGN MASTER FENCE	A1/LSS01
C-09	FURNISH AND INSTALL 6" HIGH X 4" WIDE DESIGN MASTER GATE	A2/LSS01
C-13	CONSTRUCT CONCRETE MOWCURB.	B5/LSS01
C-14	FURNISH AND INSTALL ENGINEERED WOOD FIBER ACCESSIBLE PLAYGROUND MULCH. DEPTH SHALL BE A MINIMUM OF 6".	
C-15	FURNISH AND INSTALL TRASH RECEPTACLE PER MANUFACTURERS INSTRUCTIONS.	

PLANTING SCHEDULE PLAZA AND PLAYGROUND ENLARGEMENT

SYMBOL	CODE	DESCRIPTION
	P-01	FURNISH AND INSTALL 7/16" SANTA FE BROWN ROCK MULCH, AS AVAILABLE FROM BULLDOGGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 3" DEPTH OVER FILTER FABRIC.
	P-03	TURFGRASS SOD SHALL BE 'SIEMPRE VERDE TALL FESCUE' AS AVAILABLE FROM EVERGREEN TURF, 505-384-5247, OR APPROVED EQUAL. TOP OF SOD SHALL BE INSTALLED 1" BELOW TOP OF ADJACENT HARD SURFACES.
	P-05	EXISTING TREE TO REMAIN.

GENERAL PLAY EQUIPMENT NOTES SCHEDULE

CODE	DESCRIPTION
GY-01	CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO FURNISH, INSTALL, AND CONSTRUCT ALL PLAY EQUIPMENT SPECIFIED AND DESCRIBED ON THIS PLAN.
GY-02	BEFORE FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL PROVIDE AN "AS-BUILT" DRAWING THAT DOCUMENTS THAT EACH PIECE OF PLAY EQUIPMENT IS CONSTRUCTED WITH THE REQUIRED USE ZONE AND THAT NO USE ZONES OVERLAP.
GY-03	BEFORE FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR MUST PROVIDE WRITTEN CERTIFICATION THAT EACH PIECE OF PLAY EQUIPMENT HAS BEEN INSPECTED BY AN INDEPENDENT NATIONAL RECREATION AND PARKS ASSOCIATION CERTIFIED PLAYGROUND SAFETY INSPECTOR (CPSI); AND THAT THE CONSTRUCTION AND INSTALLATION OF EACH PIECE OF EQUIPMENT FULLY COMPLY WITH ASTM F-1487-11 AND THE U.S. CONSUMER PRODUCT SAFETY COMMISSION (CPSC) PUBLIC PLAYGROUND SAFETY HANDBOOK.
GY-04	CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR FOOTINGS. FOOTING DESIGN SHALL BE COMPLETED BY A NEW MEXICO LICENSED PROFESSIONAL ENGINEER.
GY-05	EQUIPMENT SHALL BE CERTIFIED TO INSTALL THE SPECIFIED EQUIPMENT BY THE PLAY EQUIPMENT MANUFACTURER.
GY-06	CONTRACTOR'S ON-SITE SUPERINTENDENT OVERSEEING ALL PLAY EQUIPMENT INSTALLATION SHALL BE A NATIONAL RECREATION AND PARKS ASSOCIATION CERTIFIED PLAYGROUND SAFETY INSPECTOR (CPSI).
GY-07	FINAL PLAY EQUIPMENT SPECIFICATION PENDING

PLAYGROUND SCHEDULE

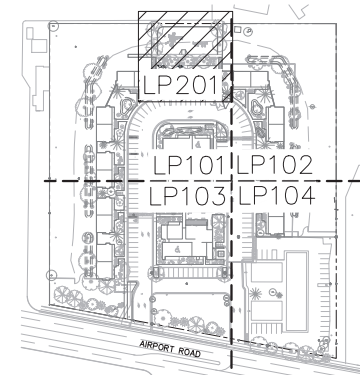
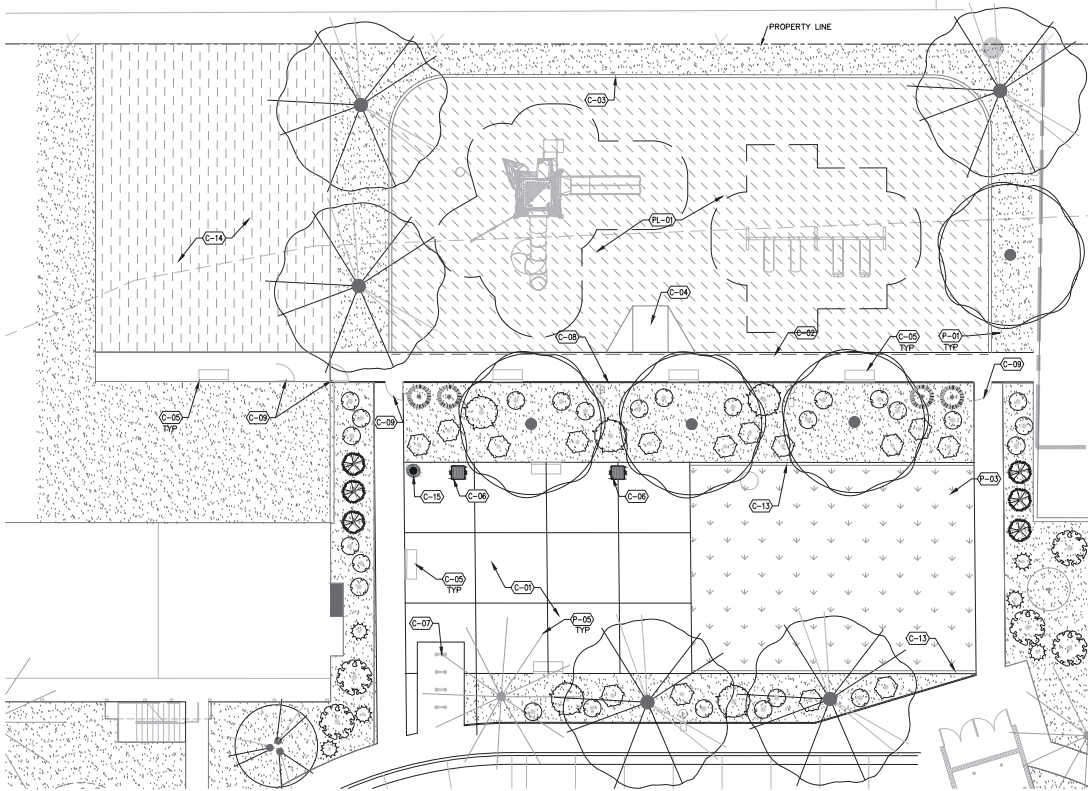
SYMBOL	CODE	DESCRIPTION
	PL-01	FURNISH AND INSTALL ENGINEERED WOOD FIBER ACCESSIBLE PLAYGROUND MULCH. DEPTH SHALL BE A MINIMUM OF 12" AFTER COMPACTION. TOP OF MULCH SHALL BE 4" BELOW TOP OF ADJACENT CURB OR PAVED SURFACES. MULCH MUST BE IPMA CERTIFIED AND SHALL COMPLY WITH THE FOLLOWING ASTM STANDARDS (CURRENT EDITIONS): F1292, F2075, AND F1951.

GENERAL PLANTING NOTES

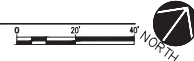
CODE	DESCRIPTION
GP-01	TREES INSTALLED WITHIN TURF AND NATIVE SEED AREAS SHALL HAVE A 4" DEPTH OF SHREDED WOOD MULCH WITHIN A 6' DIAMETER AREA AT THE BASE OF EACH TREE.
GP-02	FOR THE FULL PLANT SCHEDULE SEE SHEET LP501
GP-03	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT), OVERLAP ENDS 3" AND TURN DOWN EDGES 6".
GP-04	THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-05	THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-06	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-07	THE CONTRACTOR SHALL INSTALL TREES PER DETAIL A5/LP501.
GP-08	THE CONTRACTOR SHALL INSTALL SHRUBS PER DETAIL B5/LP501.
GP-09	IN CASE OF DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "SIZE", EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-10	NO GRADING SHALL OCCUR WITHIN THE DRIPLINE OF TREES TO BE PRESERVED IN PLACE.
GP-11	ALL EXISTING BOULDERS SHALL TO REMAIN.
GP-12	ALL PLANTING BEDS SHALL BE SWALED, SLOPED, OR RECESSED BELOW GRADE TO PREVENT FUGITIVE WATER. REFERENCE CIVIL GRADING PLAN. WHERE CONTOURS ON CIVIL GRADING PLAN ARE NOT DETAILED ENOUGH DUE TO PLAN SCALE, PLANTING BEDS SHALL BE RECESSED 2" BELOW ADJACENT PAVEMENT TO TOP OF MULCH MATERIAL.

PLANT SCHEDULE PLAZA AND PLAYGROUND ENLARGEMENT

SYMBOL	COMMON NAME	BOTANICAL NAME	REMARKS	CONTAINER	HT.	SPD.	INSTALLED SIZE	WATER USE
TREES								
	RED PUSH PISTACHE	PISTACIA X 'RED PUSH'	DECIDUOUS	B&B	30'	30'	2" CAL.	MEDIUM
	SENSATION BOX ELDER	ACER NEGUNDO 'SENSATION'	DECIDUOUS	B&B	30'	25'	2" CAL.	MEDIUM
	SKYROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'	EVERGREEN	24" BOX	20'	4'	2" CAL.	LOW - MEDIUM
SMALL TREE/LARGE SHRUB								
	NEW MEXICO OLIVE	FORESTIERA PUBESCENS	DECIDUOUS	24" BOX	15'	15'	2" CAL.	VERY LOW - LOW
	SPARTAN JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	EVERGREEN	24" BOX	15'	4'	2" CAL.	LOW - MEDIUM
SHRUBS								
	CREeping THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	NATIVE	5 GAL.	1'	6'	MIN. 18" HT.	VERY LOW - LOW
	FERNBUSH	CHAMAEBATARIA MILLEFOLIUM	NATIVE	5 GAL.	6'	6'	MIN. 18" SPD.	VERY LOW - LOW
	GOLDEN CURRANT	RIBES AUREUM	NATIVE	5 GAL.	6'	6'	MIN. 18" HT.	VERY LOW - LOW
	GROSSO FRENCH LAVENDER	LAVANDULA X INTERMEDIA 'GROSSO'	EVERGREEN	3 GAL.	2'-6"	3'	MIN. 12" SPD.	LOW
GRASSES & DESERT ACCENTS								
	RED YUCCA	HESPERALOE PARVIFLORA	EVERGREEN	3 GAL.	4'	4'	MIN. 12" HT.	VERY LOW



A1 PLAZA AND PLAYGROUND ENLARGEMENT
SCALE: 1"=10'-0"



KEY MAP



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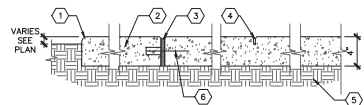
NOT FOR CONSTRUCTION

DATE: 6 JAN 2024
 REGION: TUCSON
 TUCSON
 TUCSON
 TUCSON
 SHEET TITLE:

ENLARGEMENT

COUNTRY CLUB, SANTA FE CIVIC HOUSING AUTHORITY
 5999 AIRPORT ROAD, SANTA FE, NEW MEXICO 87505
 THOMAS GIFFORD ARCHITECT
 ARCHITECTURE, PLANNING, DESIGN
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LP201



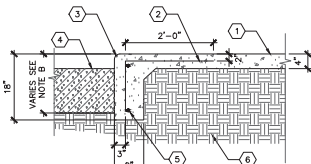
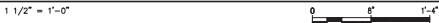
KEYED NOTES

1. TOOLED EDGE, 3/4" RADIUS
2. 4500 PSI CONCRETE
3. 1/2" WIDE EXPANSION JOINT WITH FELT EXPANSION MATERIAL
4. 1/8" x 1" CONTROL JOINT
5. SUBGRADE COMPACTED TO 95%
6. SMOOTH DOWEL AT LOCATIONS BETWEEN COLOR CHANGES, INSTALL SLEEVE ON ONE SIDE.

GENERAL NOTES

- A. CONTROL JOINTS SHALL BE AT MAXIMUM EVERY 10' OR AS SHOWN ON PLAN.
- B. EXPANSION JOINTS SHALL BE AT MAXIMUM EVERY 30' AND WHERE PAVING ABUTS EXISTING BUILDINGS, CURBS, SEATING WALLS, WALKS AND OTHER HARD CONSTRUCTION.
- C. FELT EXPANSION MATERIAL SHALL BE RECESSED 1/2" OPPOSING CONCRETE EDGES OF JOINT SHALL HAVE 1/4" RADIUS TOOLED EDGE.
- D. CONTROL JOINTS SHALL BE TOOLED OR SAW CUT TO 1/2" DEPTH.
- E. PROVIDE MEDIUM BROOM FINISH UNLESS OTHERWISE NOTED ON THE PLANS.

C1 4" THICK CONCRETE PAVING IN COURTYARD



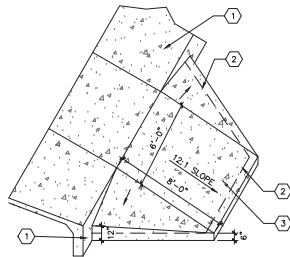
KEYED NOTES

1. CONCRETE PAVING, SEE PLAN.
2. #4 REBAR AT 12" O.C.
3. TOOLED EDGE.
4. ADJACENT MATERIAL VARIES.
5. #4 REBAR, HORIZONTAL AND CONTINUOUS.
6. SUBGRADE COMPACTED TO 95%.

GENERAL NOTES

- A. PLACE EXPANSION JOINTS AT 20'-0" O.C. WITH CONTROL JOINTS AT 5'-0" O.C. FOR CONCRETE WALK.
- B. PROVIDE 4" FREEBOARD TO TOP OF ENGINEERED WOOD FIBER. ALL OTHER MATERIALS SHALL BE FLUSH WITH TOP OF TURNDOWN.

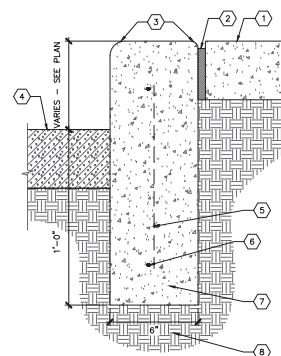
C2 CONCRETE TURNDOWN EDGE



KEYED NOTES

1. CONCRETE PAVING WITH TURNDOWN EDGE - SEE PLAN.
2. TURNDOWN EDGE ON PLAYGROUND ACCESS RAMP.
3. 3000 PSI CONCRETE.

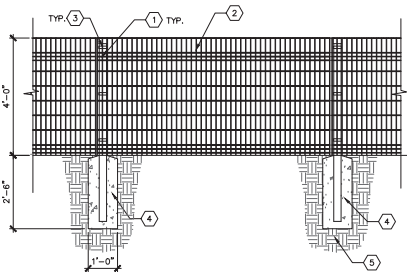
C3 ACCESS RAMP AT PLAYGROUND



KEYED NOTES

1. MATERIAL VARIES - INSTALL EXPANSION JOINT WHEN CONCRETE IS ADJACENT TO CURB. TYP. - RECESS 1/2".
2. 1/2" FELT EXPANSION JOINT.
3. 1/2" OR 1" RADIUS TOOLED EDGE. WHERE CONCRETE WALK IS ADJACENT TO CURB RADIUS SHALL BE 1/2". ALL OTHER LOCATIONS SHALL BE 1" RADIUS.
4. MATERIAL VARIES - SEE PLAN.
5. #4 REBAR AT 48" O.C.
6. #4 REBAR, HORIZ. AND CONT. AT 12" O.C.
7. 3000 PSI CONCRETE.
8. SUBGRADE COMPACTED TO 95%.

C6 6" CONCRETE HEADER CURB



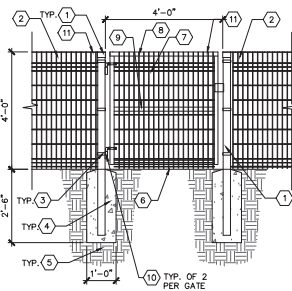
KEYED NOTES

1. 3" x 3" x 11 GAUGE STEEL POST, SPACED AT 8'-0" O.C. TOPS OF POSTS SHALL HAVE POST CAPS.
2. 4" HIGH VERTICAL DESIGNMASTER CLASSIC FENCE PANEL AS AVAILABLE FROM VALLEY FENCE (505-877-1155) OR APPROVED EQUAL.
3. STANDARD BRACKET, FENCE PANELS SHALL BE ATTACHED TO POSTS WITH STANDARD BRACKETS.
4. 3000 PSI CONCRETE FOOTING.
5. SUBGRADE COMPACTED TO 95%.
6. FINISH GRADE, MATERIAL VARIES - SEE CONSTRUCTION PLAN.

GENERAL NOTES

- A. THE DESIGNMASTER FENCE SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- B. POSTS AT GATES SHALL BE 3" x 3" x 11 GAUGE STEEL POSTS.
- C. POSTS, RAILS, AND FENCE PANEL POWDER COATING COLOR SHALL BE TBD.

A1 4' HT. DESIGNMASTER CLASSIC FENCE



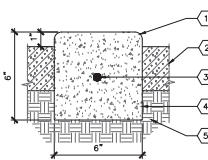
KEYED NOTES

1. 3" x 3" x 11 GAUGE STEEL GATE POST. TOPS OF POSTS SHALL HAVE POST CAPS.
2. 4" HIGH DESIGNMASTER CLASSIC FENCE - SEE DETAIL B1/L5502
3. STANDARD 3" x 3" BRACKET FOR 3" GATE POST. FENCE PANELS SHALL BE ATTACHED TO GATE POSTS WITH STANDARD 3" BRACKETS.
4. 3000 PSI CONCRETE FOOTING.
5. SUBGRADE COMPACTED TO 95%.
6. FINISH GRADE - SEE PLAN.
7. 4" HT. x 4" WIDE DESIGNMASTER CLASSIC PANEL. THE PANEL SHALL BE WELDED TO GATE FRAME.
8. 2" x 2" x 3 GAUGE (1/4" WALL) SQUARE STEEL TUBE, FOR GATE FRAME. WELD CAPS SEE PLATE CAP ON OPEN ENDS. SEE GENERAL NOTES.
9. 2" x 2" x 3 GAUGE (1/4" WALL) SQUARE STEEL TUBE CENTER RAIL FOR GATE. SEE GENERAL NOTES.
10. 3/4" STEEL J-BOLT ADJUSTABLE BARREL HINGE. THE J-BOLT ADJUSTABLE BARREL HINGE WILL ALLOW THE GATE TO OPEN IN BOTH DIRECTIONS.
11. 3" x 3" x 11 GAUGE STEEL TOP RAIL.

GENERAL NOTES

- A. TOUCH UP PAINT ON PANEL PER THE MANUFACTURER'S SPECIFICATIONS.
- B. POSTS AT GATES SHALL BE 3" x 3" x 11 GAUGE STEEL POSTS.
- C. POSTS, GATE, & FENCE PANELS POWDER COATING COLOR SHALL BE TBD.
- D. ALL WELDS SHALL BE GROUND SMOOTH.
- E. GATE SHALL BE CONSTRUCTED WITH ALL JOINTS WELDED. THE GATE SHALL ALSO BE CONSTRUCTED TO OPEN 180 DEGREES IN BOTH DIRECTIONS AND LATCH TO ADJACENT FENCE.

A2 4' HT. X 4' WIDE SINGLE GATE



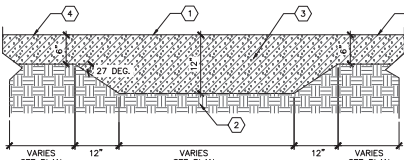
KEYED NOTES

1. 1/2" RADIUS TOOLED EDGE.
2. ADJACENT CONDITION VARIES - SEE PLAN.
3. #4 REBAR, HORIZ. AND CONT.
4. 3000 PSI CONCRETE.
5. SUBGRADE COMPACTED TO 95%.

GENERAL NOTES

- A. PLACE EXPANSION JOINTS A 20'-0" O.C. WITH CONTROL JOINTS AT 5'-0" O.C.
- B. TOP SURFACE OF EDGER SHALL HAVE A MEDIUM BROOM FINISH.

B5 6" CONCRETE MOW CURB



KEYED NOTES

1. ENGINEERED WOOD FIBER (EWF) PLAY SURFACING
2. 95% COMPACTED SUBGRADE - TYP.
3. COMPACTED
4. NOT COMPACTED

A4 ENGINEERED WOOD FIBER SECTION



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