



Agenda

Meeting of the Board of
Adjustment
March 4, 2025 at 6:00 PM
Council Chambers, City Hall
200 Lincoln Avenue

Procedures for Board of Adjustment Meeting AMENDED

Written Public Comment: Members of the public may submit public comments by 5 p.m. on the Monday before the meeting via <https://santafenm.gov/land-use/current-planning/public-comment>.

Comments will then be published after this deadline.

Live Public Comment: Members of the public may provide public comment in person during the public comment portion of the public hearing

The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Roll Call
3. Pledge of Allegiance
4. Approval of Agenda
5. Approval of Minutes
 - a. [January 7, 2025 Site Visit](#)
 - b. January 7, 2025
6. Approval of Findings/Conclusions
 - a. **Case 2022-6149. Six-month Review and Approval of 513A Camino de Los Marquez Special Use Permit.**
7. Old Business
8. New Business
 - a. **Case #2024-9316. 2247 Camino Carlos Rey, Grace Community Church,**

Special Use Permit. Plan A. Architecture, LLC, Agent, for Grace Community Church, Owner, requests Special Use Permit approval to construct a New Religious Assembly Building. The property, located at 2247 Camino Carlos Rey, is zoned R-5 low-density residential) and has an existing church building on the lot of 1.5 acres. (Claudia Kath, Case Manager, cmkath@santafenm.gov.)

9. Staff Communications

10. Matters from the Board

11. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



City of Santa Fe

MINUTES

SITE VISIT OF THE BOARD OF
ADJUSTMENT MARCH 04,
2025, AT 4:00 PM

A. ROLL CALL

Members Present:

Chair Gary Friedman
Secretary Colleen Dearing
Member Teague Douglas
Member Grant Alexander
Member Daniel Painter

Recused:

Member Denise Ip

C. APPROVAL OF AGENDA

MOTION:	Member Dearing moved to approve the agenda Seconded by Douglas.
VOTE:	The motion was unanimously approved
Against:	None.
Abstain:	None.

D. APPROVAL OF MINUTES:

1. None

Against: None.

Not present: Member Denise Ip



City of Santa Fe

MINUTES

SITE VISIT OF THE BOARD OF
ADJUSTMENT MARCH 04,
2025, AT 4:00 PM

6. OLD BUSINESS

None

G. NEW BUSINESS

Sit Visit: 513 Camino de Los Marquez

Not present: Member Denise Ip

There was no discussion about Case 2022-6149. Six-month Review and Approval of 513A Camino de Los Marquez Special Use Permit.

H. STAFF COMMUNICATIONS

I. MATTERS FROM THE COMMISSION

J. ADJOURNMENT



City of Santa Fe

MINUTES

SITE VISIT OF THE BOARD OF
ADJUSTMENT MARCH 04,
2025, AT 4:00 PM

Liaison

Chair



MINUTES

REGULAR MEETING OF
THE BOARD OF ADJUSTMENT
MARCH 04, 2025, AT 6:00 PM

A. ROLL CALL

Members Present:

Chair Gary Friedman
Secretary Colleen Dearing
Member Teague Douglas
Member Grant Alexander
Member Daniel Painter

Recused:

Member Denise Ip

B. PLEDGE OF ALLEGIANCE

C. APPROVAL OF AGENDA

MOTION: Member Painter moved to amend the agenda and remove Case #2022-5066. 1605 Old Pecos Trail Private School Special Use Permit, seconded by Member Dearing, to approve the agenda as amended.

VOTE: The motion was approved on the following Roll Call vote: 5-0

For: Member Dearing, Member Douglas, Member Alexander and, Member Painter.

Against: None.

Abstain: None.

D. APPROVAL OF MINUTES:



MINUTES

REGULAR MEETING OF
THE BOARD OF ADJUSTMENT
MARCH 04, 2025, AT 6:00 PM

1. September 10, 2024

MOTION: Member Dearing moved to Approve the minutes, seconded by Member Douglas.

VOTE: The motion was approved on the following Roll Call vote:

For: Member Dearing, Member Douglas, Member Alexander and, Member Painter.

Against: None.

Not present: None.

E. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case #2024-8667. 121 Siringo Rd Private School Special Use Permit.

VOTE: The motion was approved on the following Roll Call vote:

For: Member Dearing, Member Douglas, Member Alexander and, Member Painter.

6. OLD BUSINESS

None

G. NEW BUSINESS

- a. **Case 2022-6149. Six-month Review and Approval of 513A Camino de Los Marquez Special Use Permit. Applicant Zoomies Dog Care, requests annual review and approval for a Special Use Permit to continue to locate a pet day care within 200 feet of a residential zone, in district zoned C-2 (General Commercial) and is within**



City of Santa Fe

MINUTES

REGULAR MEETING OF
THE BOARD OF ADJUSTMENT
MARCH 04, 2025, AT 6:00 PM

the Suburban Archaeological Review District. (Carly Venditti, Case Manager, cavenditti@santafenm.gov)

MOTION: Member Dearing moved to return in 6 months with the understanding the there will be no more extensions approve, seconded by Member Douglas.

For: Member Dearing, Member Douglas, Member Alexander and, Member Painter.

Not present: Member Denise Ip

H. STAFF COMMUNICATIONS

I. MATTERS FROM THE COMMISSION

J. ADJOURNMENT



City of Santa Fe

MINUTES

REGULAR MEETING OF
THE BOARD OF ADJUSTMENT
MARCH 04, 2025, AT 6:00 PM

Liaison _____

Chair _____



CITY OF SANTA FE

Land Use Department Board of Adjustment Staff Report

Case No: 2024-9316
Hearing Date: March 4, 2025
Agent: Greg Reid / Plan A Architecture
Applicant: Grace Community Church
Request: Special Use Permit
Location: 2247 Camino Carlos Rey
Case Mgr: Claudia Kath
Zoning: R-5 (Religious Assembly – 1.5 Acre)
Overlay: None
Pre-app Mtg: October 26, 2023
ENN Mtg: August 21, 2024
App. Rec'd: October 4, 2024
Proposal: Special Use Permit request for a New Assembly Area Building adjacent to an existing church building located on a lot totaling approximately 1.5 acres.



Case #2024-9316. 2247 Camino Carlos Rey, Grace Community Church, Special Use Permit. Plan A. Architecture, LLC, Agent, for Grace Community Church, Owner, requests Special Use Permit approval to construct a New Religious Assembly Building. The property, located at 2247 Camino Carlos Rey, is zoned R-5 (low-density residential) and has an existing church building on the lot of 1.5 acres. (Claudia Kath, Case Manager, cmkath@santafenm.gov.)

I. RECOMMENDATION:

The Land Use Department recommends **APPROVAL** of the Special Use Permit with the conditions of approval as outlined in this report and in Attachment A.

One motion will be required in this case:

- *Approve or deny the Special Use Permit subject to the conditions of approval and technical corrections recommended by staff listed in Attachments A and B.*

II. EXECUTIVE SUMMARY:

A. Purpose and Intent

14-3.6(A) "Special use permits are intended to allow flexibility in providing for, regulating or preventing specified uses within various districts as provided in Table 14-6.1-1 so they are compatible with existing or desired land use patterns. Special use permit approval is required for certain uses so that potential detrimental effects may be reduced or avoided and conflicts in land use may be prevented. Special use permits are necessary because of the wide variety of uses that are allowed within zone districts and because of the variety of existing sites and uses found in the community."

The Grace Community Church (Applicant) is seeking to build a new 5,800 sq. ft., single-story, 24' high structure, for religious assembly, adjacent to the existing 5,540 sq. ft. church edifice, to hold special functions such as meetings, weddings, memorial services, and baby showers. The new building would be located to the east of the existing structure and include a landscaped courtyard between the buildings. The new building will be a religious assembly area to be used by the church and community primarily on weekends. See Figure 1.

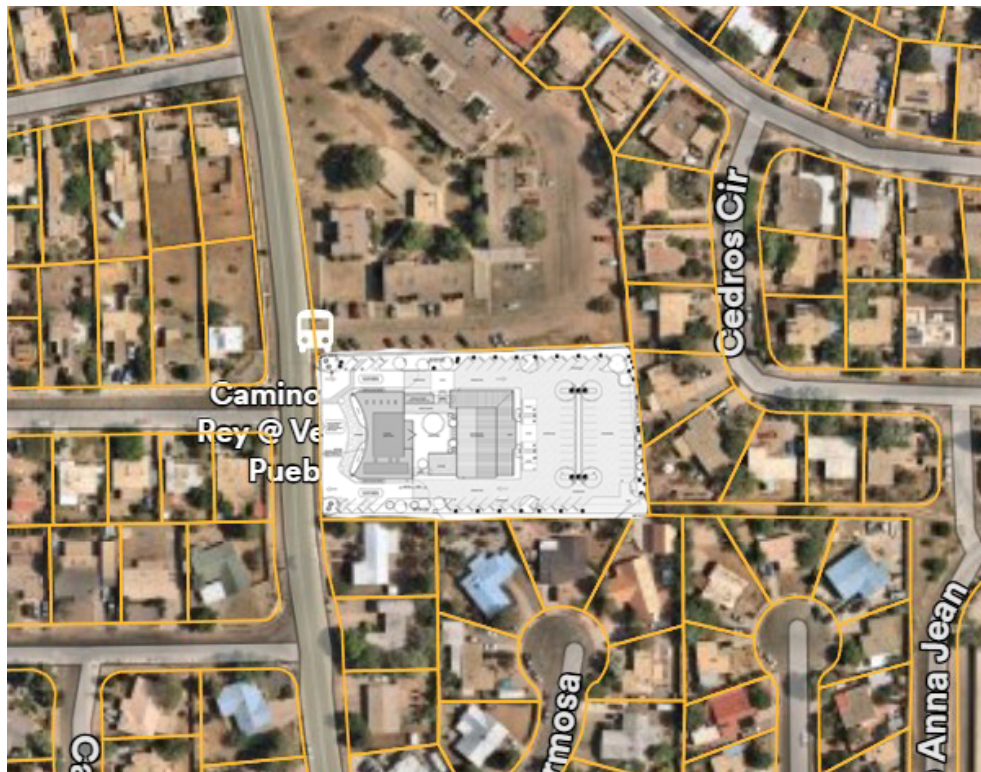


Figure 1 Aerial and Proposed Site Plan

The Applicant has complied with all applicable subsections of Chapter 14 Section 14-3.1 General Provisions, including 14-3.1(E) "Pre-Application Conferences", 14-3.1(F) "Early Neighborhood Notification Procedures" and 14-3.1(H) "Notice Requirements". The City's Development Review Team (DRT) reviewed the Application for compliance with applicable City Code sections.

Staff's analysis identifies the Application has satisfied Special Use Permit Approval Criteria in accordance with Subsection 14-3.6(D)(1), subject to "conditions of approval" and "technical corrections" listed in Attachments A and B and use specific standards 14-6.2(C)8.

III. SITE ANALYSIS:

Grace Community Church was originally built in 1970 at the 2247 Camino Carlos Rey location, with various additions constructed in 1980. The Property is located on a Legal Lot of Record, zoned R-5 and within the Suburban Archaeological Review District.

The 1.5-acre site is bordered by walls on the north and east and a fence to the south. There is an unimproved access route in the southeast corner of the site that connects to Cedros Lane.

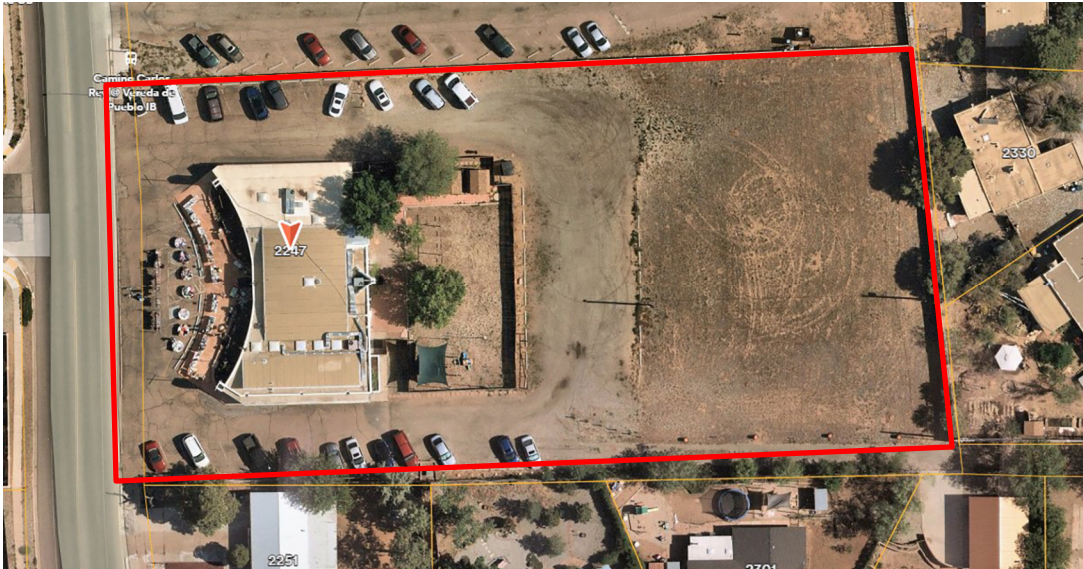


Figure 2 Existing Site / Lot Image

The existing church building is bounded by asphalt parking to the north, east and south. Enhanced landscaping occurs at the front of the church which faces Camino Carlos Rey. A fenced playground is located behind the existing church to the east and a gravel lot surrounds this area. See Figure 2.

Staff finds the Applicant complies with required easements for the R-5 zoning district as set forth in Chapter 14-7.2. Existing easements along the south and west property lines are for utility purposes.

A. Adjacent Properties

The site is Lot #7 of the Los Cedros Subdivision and is located approximately one quarter of a mile south of Siringo Road. It is bounded by the La Villa Condominiums to the north and single-family homes to the east, west and south. Camino Carlos Rey is the primary source of ingress and egress along the eastern edge of the property. As per City Code 14-3.7(C)(3), a Special Use Permit is required for Religious Use.



Figure 3 - Adjacent Zoning

The existing church is in the Santa Fe-style as will be the proposed community building. The new building will align well with the surrounding residential neighborhood, featuring a single-story structure that complies with the 24-foot height limit.

The Applicant’s design positions the taller main space centrally, with lower massing around the perimeter to match the scale of nearby homes rather than the condominium complex. Natural stone cladding will enhance the lower massing, while the new building creates an enclosed courtyard with the existing church, incorporating the playground area.

B. Overlay Districts

The project is situated within the Suburban Archaeological Review District and does not meet the threshold for archaeological clearance permits. However, if cultural resources or human burials are discovered on the site, all

work must stop and Historic Preservation Division (HPD) staff must be notified immediately. DRT has commented on Archeology for the project which can be found in Attachments A and B.

C. Parking

There are 24 existing angled standard parking and 4 accessible spaces on the site. The Applicant is proposing a total of 73 new parking spaces, where 72 are required. This will include 6 accessible spaces, 1 of which will be for a van. As specified in Exhibit A - Table 14-8.6-1 Parking and Loading Requirements, there is 1 space / 4 seats required for the existing church. There is 1 space / 4 seats required for the proposed assembly building.

Table 1 Required Vehicular Parking

EXISTING CHURCH						
BUILDING SQ. FT. AREA	OCCUPANCY LOAD	TYPE OF PARKING	PARKING REQUIREMENT	PROVIDED	REVIEW	
5,000	95	Standard Cars	1 Parking Space / 4 Seats = 24 Parking Spaces	24	Complies	
PROPOSED ASSEMBLY STRUCTURE						
BUILDING SQ. FT. AREA	OCCUPANCY LOAD	TYPE OF PARKING	PARKING REQUIREMENT	PROVIDED	REVIEW	
5,485	193	Standard Cars	1 Parking Space / 4 Seats = 48 Parking Spaces	49	Complies	

The applicant is providing 90° parking for “Standard Car” parking and 45° for “Angled” parking: Table 2 Parking Type

TYPE	MINIMUM WIDTH	VEHICLE PROJECTION	AISLE	TYPICAL MODULE	OVERHANG
Standard Car	8'-6"	19'-0"	23'-0"	56'-0"	2'-8"
Angled Car	12'-0"	33'-0"	30'-0"	55'-0"	2'-8"

The Development Plan shows one location for Bicycle Parking for the site. As noted in Table 14-8.6-3 General Off-Street Bicycle Parking, for 51 – 100 Automobile Parking Spaces Required, 10 Bicycle Spaces are Required. The Applicant is proposing 2 Ribbon Bicycle Racks that each hold 7 bicycles for a total of 14 proposed bicycle parking spaces. The proposed racks are RB05 by “Ribbon Rack” which complies with Chapter 14 Appendix Exhibit D.

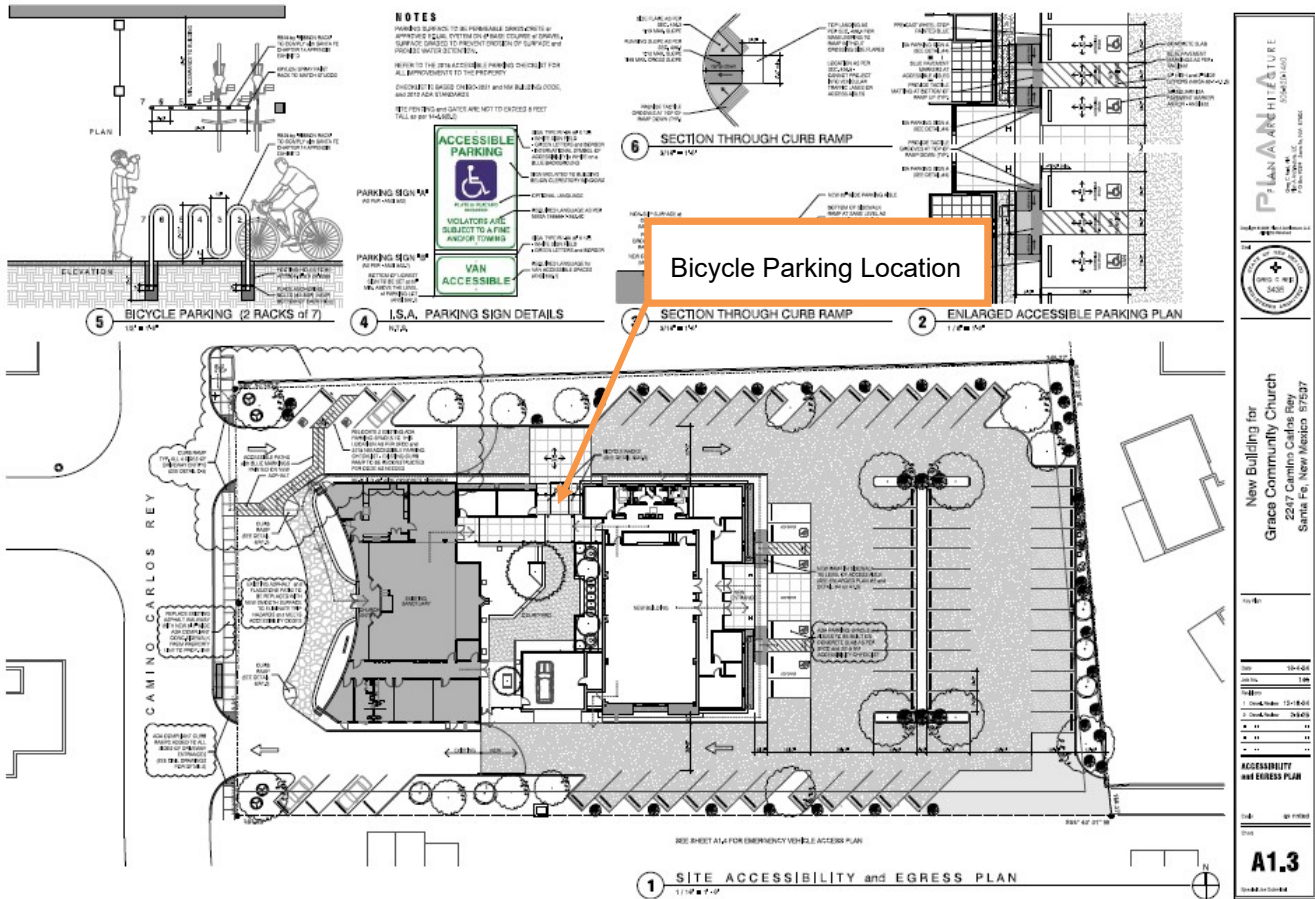


Figure 4 Bicycle Parking Location

The Land Use Technical Review Division has reviewed the development plan parking scheme for compliance with the ADA. Comments and conditions of approval can be found in Attachments A and B.

D. Access and Traffic

The project proposes two driveways into the property off of Camino Carlos Rey. The northern most curb ramp on Camino Carlos Rey will be constructed per NMDOT Standard detail 608-001-3 and is designated for traffic to enter the site at that location. The southern most curb cut is intended for traffic exiting the site. A new code compliant concrete sidewalk will be added by the Applicant to continue the existing public right-of-way along Camino Carlos Rey particularly to the nearby bus stop to the north of this project.

The City Traffic Division has reviewed this case and DRT comments are included for reference Attachments A and B for Conditions and Technical Corrections).

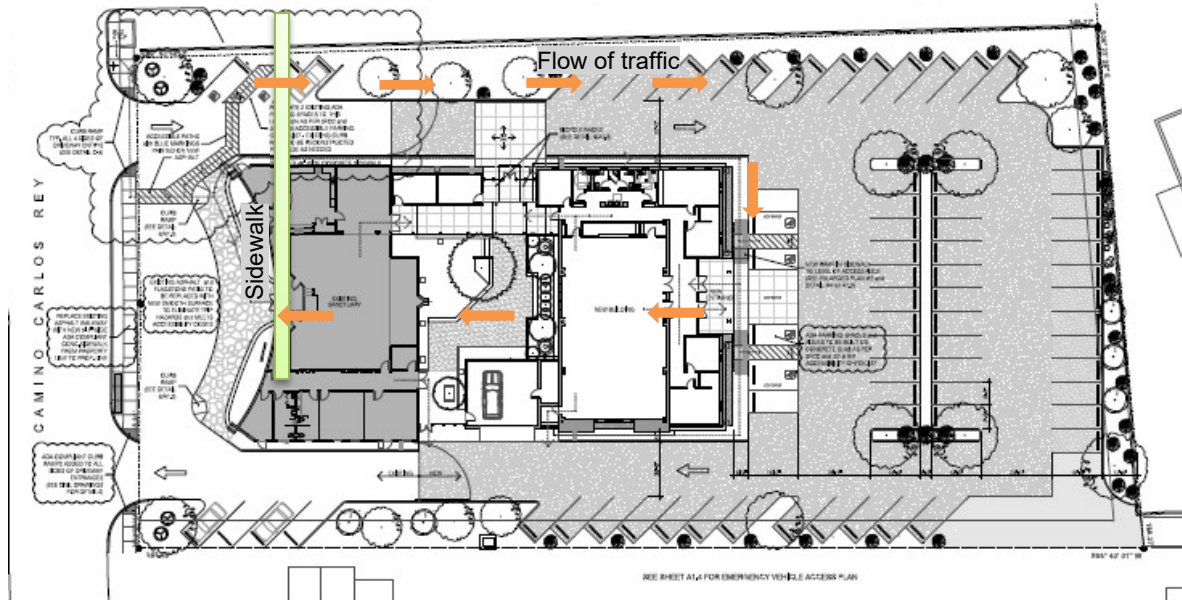


Figure 5 Traffic Plan

E. Utilities

The proposed utility plan for the development is to extend the existing City services for water and sewer to the new building.

1. Water

The City Water Division has approved the applicant’s water budget for the new building. The new building will tie into the existing 8” water line in Camino Carlos Rey. A separate water meter will be added for irrigation.



Figure 6 – Front of Existing Grace Community Church

2. Wastewater

The Applicant is proposing a 4” sewer line to provide sewer service to the new building. Conditions of Approval and Technical Corrections have been met by the Applicant as noted in Attachments A and B.

3. Fire

The new building will comply with 2021 IFC and IBC regulations. The existing church is a Level 1 and does not have sprinklers. The Applicant will submit permit drawings and calculations with the permit submittal.

The closest fire hydrant is across from Camino Carlos Rey and is within 400 feet of the existing church. The hydrant is 439 feet from the furthest corner of the fully sprinklered new building. These conditions in Attachment A have been approved by the City Fire Marshall.

The proposed gates on the drive aisle at the north and south sides of the building will include a keypad, Knox box and an Opticom device.

4. Lighting

The Applicant has submitted a lighting plan with a photometric analysis. The Technical Review Division found the lighting plan non-compliant to SFCC §14-8.9 "Outdoor Lighting." A Condition of approval has been included in Attachment A of this report to address compliance prior to submitting for a building permit.

5. Terrain Management

Staff finds the proposed site design for the project provides for a regionally appropriate and sustainable landscape solution. The landscape occupies 20% of the site and as per Section 14-8.4 water harvesting designs are incorporated as alternate sources of landscape irrigation water. Two water retention ponds are located on the north and south perimeters of the site and a permeable paving system will be used to pave the parking lot. Engineering calculations have been submitted as part of the terrain management regulations and show the percentage of water expected to be saved on the site.

The Applicant has designed trees and shrubs to be planted at the perimeter of the site, the water retention ponds, and in the parking lot islands to reduce heat, dust, glare, and mitigate views of cars on the site which complies with Section 14-6.4(I)(2). The Applicant complies with the quantity of 10 square feet of landscape to be provided per parking space. The traffic island to the east of site is at least six (6)' feet wide and has over ninety (90) square feet of permeable surface without a curb and there are less than 20 vehicles parked in a row.

Staff's review found the Landscape Plan to be incomplete requiring many several technical corrections including an Irrigation Plan (see Attachment B "Technical Corrections"). The technical corrections must be addressed prior to submitting the Building Permit.

6. Solid Waste Management

The applicant intends to store standard solid waste and recycling containers in the proposed garage structure. The receptacles will be taken to the curb on a weekly basis to be collected with the adjacent residential pick-up times.

7. Architecture

The Applicant has provided a points analysis for the proposed new building in conjunction with the Development Plan. A total of 180 points are required, and 215 points are proposed, which Staff finds to be in compliance with Chapter 14-8.7. The submitted Plans and Elevations show a one-story building designed in the Santa Fe style, similar to the existing church. This architectural style is defined by stucco walls and a low stone base. The building's height gradually steps up toward the existing church, emphasizing the church as the focal structure. This stepped design aligns with the existing neighborhood character and is consistent with the surrounding building heights. The new building's hours of operation will primarily be on weekends, from approximately 8 a.m. to 10 p.m. The Applicant must comply with Municipal Code 10-2.5 "Zone District Noise Levels; maximum; correction."

“It is a violation of this section for any person to operate or permit to be operated any stationary source of sound in such a manner as to create a ninetieth percentile sound pressure level (L90) for a measurement period of ten (10) minutes or more unless otherwise provided in this section, which exceeds the limits set forth for the following receiving zones. The location for measuring exterior sound levels shall be at least one foot (1') inside the property line of the affected property and three to six feet (3' to 6') above ground level and at least four feet (4') from walls and other reflective surfaces.”

IV. SPECIAL USE PERMIT APPROVAL CRITERIA SECTION 14-3-6(D)

SFCC §4-3.6(D) details the approval criteria for a special use permit:

<p>Criterion 1: Necessary Finding §14-3.6(D)(1)(a) that the land use board has the authority under the section of Chapter 14 described in the application to grant a special use permit;</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>Applicant Response: <i>As it relates to the proposed new structure for Grace Community Church, the Land Use board has the authority under Section 14-6 and Table 14.6.1-1 of Chapter 14 to grant a special use permit for Religious Assembly use in an R-5 district.</i></p> <p>Staff Response: Staff agrees with the Applicant. Per Santa Fe City Code (SFCC) §14-3.3.4(C)(2): “...The Board of Adjustment has the authority to hear and decide applications for special use permits as authorized by Chapter 14; to decide questions that are involved in determining whether special use permits should be granted; and to grant special use permits with such conditions and safeguards as appropriate under Chapter 14 or to deny special use permits when not in harmony with the intent and purpose of Chapter 14”.</p>	
<p>Criterion 2: Necessary Finding §14-3.6(D)(1)(b) that granting the special use permit does not adversely affect the public interest;</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>Applicant Response: <i>Granting the special use permit does not adversely affect the public interest or the surrounding homeowners. Grace Community Church has been a part of this neighborhood, on this property, for fifty-five years. The new building proposed is behind the existing church so will not impact the streetscape from Camino Carlos Rey.</i></p> <p>Staff Response: The term “Public Interest” is not specifically defined in Chapter 14; however, as stated in SFCC Subsection 14-1.3 General Purposes, the purpose of Chapter 14 is to implement the general plan, “including guiding and accomplishing a coordinated, adjusted and harmonious development of Santa Fe that will best promote the health, safety, order, convenience, prosperity and the general welfare as well as efficiency and economy in the process of development”.</p> <p>Staff, together with the Development Review Team, reviewed the Applicant’s submittals for compliance to minimum standards for health, safety and welfare as it relates to traffic, grading and drainage, fire prevention, water use, and sewer needs. Nothing in the comments as shown in Attachments A and B will adversely affect the public interest.</p>	

<p>Criterion 3: Necessary Finding §14-3.6(D)(1)(c) that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No/conditional/N/A) YES</p>
<p>Applicant Response: <i>The community church use is compatible with, and adaptable to the houses and apartment complex adjacent to their property. Both the existing church and proposed structure are single story buildings and are within the maximum allowed height of 24 feet for residential zones. The massing of both existing and proposed buildings positions the taller main space in the center with lower scaled masses wrapping the perimeter. This lowered massing brings the scale down in keeping with that of the surrounding houses rather than that of the apartment buildings. The base of the lower massing will have natural stone cladding at the base of the stucco walls.</i></p> <p>Staff Response: The Project will comply with applicable City code requirements with regard to height, setbacks, mass and scale, architectural style, landscaping, lighting and open space. Staff agrees with the Applicant that building massing will be compatible and adaptable to surrounding properties in the vicinity. The use of the property is adaptable to the neighboring properties since it will be used primarily on weekends and not have long evening hours. Parking will be provided on site and the property will be locked with limited access during overnight hours.</p>	

V. EARLY NEIGHBORHOOD NOTIFICATION

The applicant properly noticed for the Early Neighborhood Notification (ENN) meeting in accordance with 14-3.1(H) with a notification sign fifteen days prior to the meeting and letters of notice to neighbors within 300 feet of the proposed site. An Early Neighborhood Notification (ENN) meeting was held on August 21st, 2024. The Applicant, their agent, staff and approximately twelve community members attended. The Agent, Plan A Architecture, presented photos and a proposed site plan of the new religious assembly building. Neighbors raised concerns regarding operating hours of the facility. Several residents expressed concern about maintaining access through the unimproved route in the southeast corner of the site that connects to Cedros Lane. Neighbors have utilized this route to access their properties from the backyard garage area.

VI. APPROVAL LIMITED AND EXPIRATION

Special Use Permits are granted for specific use and intensity. A Special Use Permit is required for any significant expansion or intensification of special use. A Special Use Permit that has not been exercised within three (3) years from the date of final action by the Board of Adjustment expires as provided in SFCC §14-3.19(B)(5). Approval of the special use permit may be extended as provided in SFCC §14-3.19(C). If the use approved by the special use permit ceases for any reason for a period of more than three hundred sixty-five days, the special use permit shall expire.

VII. ATTACHMENTS:

Attachment A: Conditions of Approval

Attachment B: Development Review Team (DRT) Comments

1. Terrain Management
2. Traffic Engineering
3. Water Engineering

4. Waste Water Engineering
5. Fire Prevention Review
6. Landscaping
7. Stormwater Engineering
8. ADA
9. Solid Waste
10. Archeological

Attachment C: Maps and Photos

1. Future Land Use Map
2. Current Zoning Map
3. Aerial Photo
4. Street View Photo
5. Site Photos

Attachment D: Applicant Materials

1. Application Submittals
2. Legal Lot of Record
3. Applicant Drawings

APPROVED BY:

Title	Name	Initials
Land Use Department Director	Heather Lamboy	<i>HLL</i>
Assistant Department Director	Maggie Moore	<i>MM</i>
Planning Manager	Daniel Esquibel	<i>DE</i>
Land Use Department Case Manager	Claudia Kath	<i>CK</i>

City of Santa Fe, New Mexico

**Board of Adjustment
Attachment A**

**Development Review Team
Conditions of Approval
and
Technical Corrections**

Conditions of Approval and Technical Corrections

Attachment A

CONDITIONS OF APPROVAL		Department	To be completed by:
1	An approved Water Plan will be required for all new public water infrastructure and fire services. Water Plan shall be submitted to the City Water Division for review.	Water Division	Prior to Building Permit
2	An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.	Water Division	Prior to Building Permit Approval
3	A separate irrigation meter will be required if the total landscape area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	Water Division	At the time of development
4	Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	Water Division	At the time of development
5	The placement of cleanouts has been properly established, and the inverts of the private manholes have been surveyed accurately.	Waste Water Division	
6	The use of Schedule 40 lines is also note, which is a positive aspect	Waste Water Division	
7	The sewer line extension will remain private.	Waste Water Division	
8	Shall verify additions comply with IFC/IBC/EBC 2021. (See additional notes below for Sheet A1.4 on revised plans submitted).	Fire Prevention Bureau	Prior to Building Permit Approval
9	Shall verify 20' gates will be electric or manually operated. (If electric they will need to have an opticom for life safety emergency response).	Fire Prevention Bureau	Prior to Building Permit Approval
10	Shall verify fire hydrant spacing is met as per IFC 2-21 Section 507.5 fire hydrant system. (400 feet as per IFC 2021, unless the building would be fully sprinklered existing and proposed).	Fire Prevention Bureau	Prior to Building Permit Approval
11	All outstanding Landscape, Irrigation and Outdoor Lighting Technical Corrections shall be completed, reviewed and approved prior to signature	Landscape	Prior to Building Permit
12	All outstanding ADA Technical Corrections shall be completed, reviewed and approved by the DRT prior to signature.	Land Use Dept / ADA	Prior to Building Permit
13	Correct DRT redline comments provided by Staff	Land Use Dept	Prior to Building Permit

Conditions of Approval and Technical Corrections

TECHNICAL CORRECTIONS		Department	To be completed by:
14	Specific technical comments on the water plans will be provided by the Water Division to the design engineer	Water Division	Prior to Water Plan Approval
15	Shall verify that the addition complies with IFC/IBC/EBC 2021 & level of alternation verified (architect shall verify level of alteration as per the International Existing Building Code on plans for proper commercial plan & fire review).	Fire Prevention Bureau	Prior to Permit Review
6	Shall verify fire code 2021 occupancy type and whether additional fire hydrants are needed to meet minimum requirement of fire hydrants locations	Fire Prevention Bureau	Prior to Building Permit Approval
17	Ensure Street trees mature heights are five (5) below the lowest overhead utility line per COSF code 14-8.4(G)(3)(f) <i>street trees</i> located under utility lines shall be a species that maintains a minimum of five (5) feet of clearance from overhead utility lines at maturity.	Land Use / Landscape	Prior to Permit Review
18	Staff has concerns with the placement of Blue Atlas Cedar trees in the parking lots. Damage to vehicles and the trees themselves is likely. Ice buildup in the winter is another problem for evergreen trees planted on the southside of parking lots. Staff suggest the use of a city approved deciduous trees for these locations.	Land Use / Landscape	Prior to Permit Review
19	Blue Spruce and Village Green Zelkova trees are in a space too small for each other. Staff suggest selecting one tree for this location.	Land Use / Landscape	Prior to Permit Review
20	Provide a detailed drawing for the cisterns and additional information regarding the connection to the irrigation system or the use of the stormwater collected.	Land Use / Landscape	Prior to Permit Review
21	Provide a complete set of installation details, notes and specifications for the irrigation system. Show in the detailed drawings the installation of all assemblies without any questions for size or type of materials to use for said irrigation system.	Land Use / Landscape	Prior to Permit Review
22	Provide a dedicated irrigation meter.	Land Use / Landscape	Prior to Permit Review
3	A. 4.2.1. Automatic Control Valves; B. Include in all valve manifolds schedule 80 PVC unions downstream of each control valve for easy removal and repair, per COSF Irrigation Design Standards.	Land Use / Landscape	Prior to Permit Review
24	Irrigation water lines shall not cross city water mains.	Land Use / Landscape	Prior to Permit Review
25	4.2.2. Isolation Valves: A. Where systems have master valve assemblies, provide an isolation valve in the valve manifold upstream of the master valve , the recommendation is a ball valve. B. If the irrigation system dose not have a master valve or the master valve is more than 10 feet from the point of connection (POC) then include an isolation valve at the POC, the recommendation is a ball	Land Use / Landscape	Prior to Permit Review

Conditions of Approval and Technical Corrections

	<p>valve per COSF Irrigation Design Standards.</p> <p>C. Were systems have a single automatic control valve in the manifold assemble in a single valve box, provide an isolation valve for each valve per COSF Irrigation Design Standards.</p> <p>Where systems have multiple automatic control valves in the manifold assemble in a single valve box, provide a minimum of one isolation valve in the manifold upstream of the control valves per COSF Irrigation Design Standards.</p>		
26	Install insulated backflow preventer enclosure on a 4" concrete pad with GFI receptacle at proper height with heat tape per COSF Irrigation Standards.	Land Use / Landscape	Prior to Permit Review
27	<i>4-8.4(E)(4)(h) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plants with similar water</i>	Land Use / Landscape	Prior to Permit Review
28	<p>4.17.5 Manifold Installation Order:</p> <p>A. Assemble drip components in the order: (1) Electric Valve, (2) Filter, and (3) Regulator.</p> <p>B. Show the exact location of all drip components or assemblies.</p>	Land Use / Landscape	Prior to Permit Review
29	<p>4.17.6 Flush Valves:</p> <p>A. Design systems with sufficient pressure to flush the tubing in each run; as a rule, the system should have at least 10 psi to 15 psi of water pressure for flushing.</p> <p>B. Design all systems with the capability of flushing out accumulated particulate matter.</p> <p>C. Design system to provide a means for servicing such flushing requirements with a minimum of erosion or disruption to the surrounding landscape.</p> <p>D. Provide manual flush valves (e.g., ball valves, manual drain valves, or flushable end caps) at the ends of all irrigation laterals.</p>	Land Use / Landscape	Prior to Permit Review
30	Provide a professional landscape irrigation design per COSF code Chapter 14-8.4(E) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.	Land Use / Landscape	Prior to Permit Review

City of Santa Fe, New Mexico

Board of Adjustment Attachment B

Development Review Team Technical Corrections

- 1. Terrain Management**
- 2. Traffic Engineering**
- 3. Water Engineering**
- 4. Wastewater Engineering**
- 5. Fire Department Memorandum**
- 6. Landscaping**
- 7. Stormwater Management**
- 8. ADA**
- 9. Solid Waste Management**
- 10. Archeological**

KATH, CLAUDIA M.

From: BEINGESSNER, DEE
Sent: Monday, January 6, 2025 3:31 PM
To: KATH, CLAUDIA M.
Subject: RE: Case 2024-9316 - 2247 Camino Carlos Rey Grace Community Church Special Use Permit

Claudia,
They have satisfied all of my comments and I have no further comments.

Dee

Development Review Team (DRT) Comment Form

Date: November 18, 2024

DRT Member: Leroy N. Pacheco, PE and Philip Gallegos, PE (Wilson & Company)

Dept/Div: Public Works/Traffic

Case No.: 2024-9316 - 2247 Camino Carlos Rey Grace Community Church Special Use Permit

Case Planner: Claudia Kath, Senior Planner

Conditions of Approval and Technical Corrections

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant Response**:
1. None		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1. None: See attached email from Wilson & Co dated 11/14/24		
2.		
3.		
4.		

***The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.*

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is **mandatory** for the owner to obtain approval from the public works department for any driveway curb cut or sidewalk crossing. This approval must be issued **before** a building permit for such new construction is approved.
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Case 2024-9316 - 2247 Camino Carlos Rey Grace Community Church Special Use Permit

From Gallegos, Phil <Philip.Gallegos@wilsonco.com>
To engineer@leroykacheco.com<Engineer@leroykacheco.com>
CC Luna, Robert<Robert.Luna@wilsonco.com>
Date Thursday, November 14th, 2024 at 8:33 AM

Leroy sorry for the delay I thought I had sent you my response. I have reviewed the STH submitted by Civil Design Group, LLC and concur that no additional traffic analysis will be required. Please let me know if you have any questions or need more information. Thanks, Phil

Phil Gallegos, PE

Civil Engineer

Wilson & Company, Inc., Engineers & Architects

4401 Masthead Street NE, Suite 150 | Albuquerque, NM 87109

505-348-4126 (direct)

wilsonco.com

We bring people together to practice their craft, to create value, and to accomplish great things.

Confidential/Proprietary Note: The information in this email is confidential and may be legally privileged. Access to this email by anyone other than the intended addressee is unauthorized. If you are not the intended recipient of this message, any review, disclosure, copying, distribution, retention, or any action taken or omitted to be taken in reliance on it is prohibited and may be unlawful. If you are not the intended recipient, please reply to or forward a copy of this message to the sender and delete the message, any attachments, and any copies thereof from your system. Thank you.

Development Review Team (DRT) Comment Form

Date: November 13, 2024

DRT Member: Taylor Jurgens

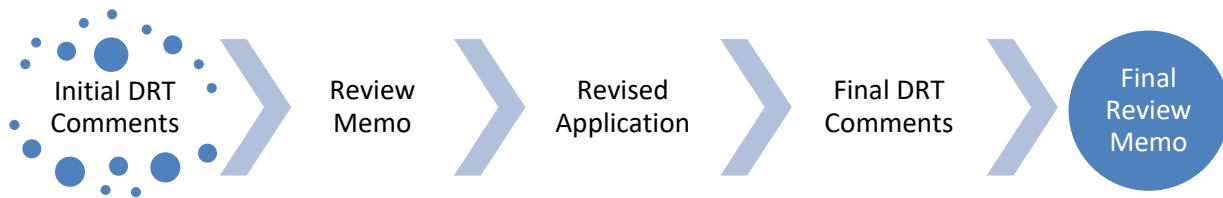
Dept/Div: Public Utilities/Water Division

Case No.: Case 2024-9316 – 2247 Camino Carlos Rey Grace Community Church Special Use Permit

Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response:
1. An approved Water Plan will be required for all new public water infrastructure and fire services. Water Plan shall be submitted to the City Water Division for review.	Prior to Building Permit	
2. An approved Agreement to Construct and Dedicate (ACD) will be required with the Water Division for all new public water infrastructure and fire services.	Prior to Building Permit Approval	
3. A separate irrigation meter will be required if the total landscaped area is 1,000 square feet or greater. An approved backflow prevention device shall be installed beyond the meter on any new irrigation service.	At the time of development	
4. Any re-grading of site over existing water mains shall maintain a minimum of 4 feet of cover and not exceed 5 feet of cover. Depth of existing main to be adjusted to maintain a minimum of 4 feet of cover and not exceed 5 feet of cover if site grading impacts these depth requirements.	At the time of development	
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response:
1. Specific technical comments on the water plans will be provided by the Water Division to the design engineer.	Prior to Water Plan Approval	
2.		
3.		
4.		

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: 01/24/25

DRT Member: Sergio Sandoval/ Engineer Associate

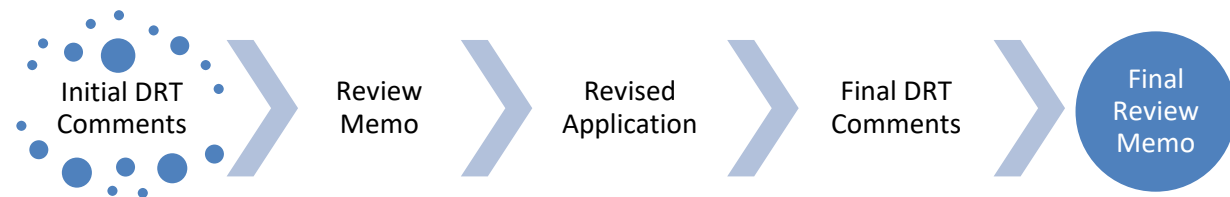
Dept/Div: Public Utilities/ Wastewater Management Division

Case No.: 2024-9316-2247 Camino Carlos Rey Grace Community Church

Case Planner: Claudia Kath

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

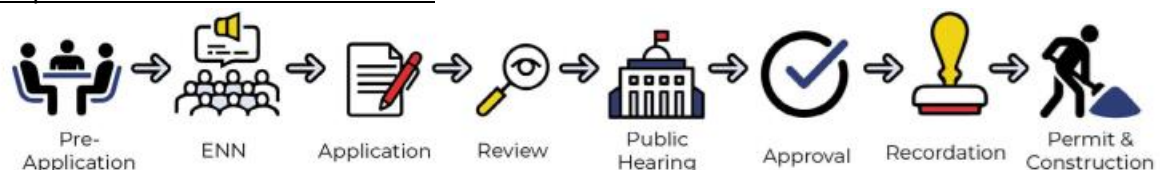


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Form Updated: September 2023

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2024-9316-2247 Camino Carlos Rey Grace Community Church

Conditions of Approval:	Must be completed by:	Applicant response**:
1. The placement of cleanouts has been properly established, and the inverts of the private manholes have been surveyed accurately.		
2. The use of Schedule 40 lines is also noted, which is a positive aspect.		
3. This sewer line extension will remain private.		
4.		
5.		
6.		
7.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. (list any additional items)

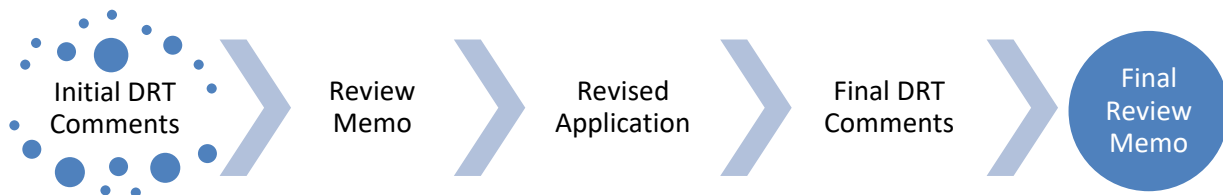
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

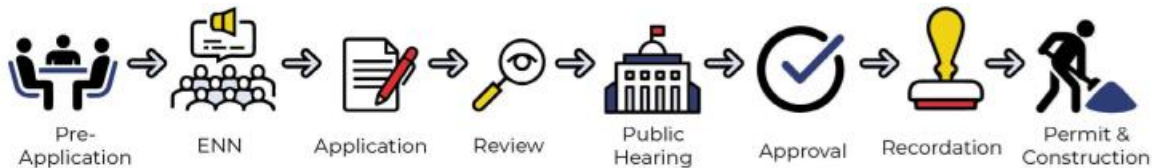


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 12/26/2024

DRT Member: Geronimo Griego

Dept/Div: Fire Prevention Bureau

Case No.: 2024-9316 - 2247 Camino Carlos Rey Grace Community Church Special Use Permit

Case Planner: Claudia Kath, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall verify additions comply with IFC/IBC/IEBC 2021. (see additional notes below for Sheet A1.4 on revised plans submitted)	Prior to Building Permit Approval.	
2. Shall verify if 20' gates will be electric or manually operated. (If electric they will need to have an opticom for life safety emergency response.)	Prior to Building Permit Approval.	
3. Shall verify fire hydrant spacing is met as per IFC 2021 Section 507.5 fire hydrant system. (400 feet as per IFC 2021, unless the building would be fully sprinklered existing and proposed)	Prior to Building Permit Approval.	

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following provisions or other requirements will apply to future phases of development of this project:

1. Shall verify that the addition complies with IFC 2021, IBC 2021, IEBC, 2021 & level of alteration verified (architect shall verify level of alteration as per the International Existing Building Code on plans for proper commercial plan & fire review)
2. Shall verify fire code 2021 occupancy type and whether additional fire hydrants are needed to meet minimum requirement of fire hydrant locations.

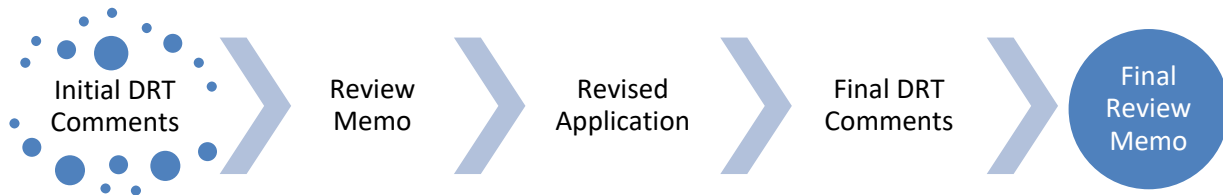
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

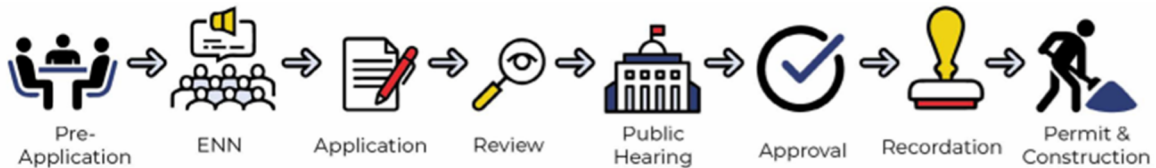


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 01/08/2025

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, Outdoor Lighting

Case No.: Case #2024-9316 - 2247 Camino Carlos Rey Grace Community Church Special Use Permit. Second Review

Case Planner: Claudia Kath, Senior Planner, cmkath@santafenm.gov

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Ensure Street trees mature heights are five (5) below the lowest overhead utility line per COSF code 14-8.4(G)(3)(f) <i>street trees</i> located under utility lines shall be a species that maintains a minimum of five (5) feet of clearance from overhead utility lines at maturity.	Prior to permit review	
2. Staff has concerns with the placement of Blue Atlas Cedar trees in the parking lots. Damage to vehicles and the trees themselves is likely. Ice buildup in the winter is another problem for evergreen trees planted on the southside of parking lots. Staff suggest the use of a city approved deciduous trees for these locations.	Prior to permit review	
3. Blue Spruce and Village Green Zelkova trees are in a space too small for each other. Staff suggest selecting one tree for this location.	Prior to permit review	
4. Provide a detailed drawing for the cisterns and additional information regarding the connection to the irrigation system or the use of the stormwater collected.	Prior to permit review	
5. Provide a complete set of installation details, notes and specifications for the irrigation	Prior to permit review	

system. Show in the detailed drawings the installation of all assemblies without any questions for size or type of materials to use for said irrigation system.		
6. Provide a dedicated irrigation meter.	Prior to permit review	
7. 4.2.1. Automatic Control Valves B. Include in all valve manifolds schedule 80 PVC unions downstream of each control valve for easy removal and repair, per COSF Irrigation Design Standards.	Prior to permit review	
8. Irrigation water lines shall not cross city water mains.	Prior to permit review	
9. 4.2.2. Isolation Valves: A. Where systems have master valve assemblies, provide an isolation valve in the valve manifold upstream of the master valve , the recommendation is a ball valve. B. If the irrigation system dose not have a master valve or the master valve is more than 10 feet from the point of connection (POC) then include an isolation valve at the POC, the recommendation is a ball valve per COSF Irrigation Design Standards. C. Were systems have a single automatic control valve in the manifold assemble in a single valve box, provide an isolation valve for each valve per COSF Irrigation Design Standards. D. Where systems have multiple automatic control valves in the manifold assemble in a single valve box, provide a minimum of one isolation valve in the manifold upstream of the control valves per COSF Irrigation Design Standards.	Prior to permit review	
10. Install insulated backflow preventer enclosure on a 4" concrete pad with GFI receptacle at proper height with heat tape per COSF Irrigation Standards.	Prior to permit review	
11. <i>14-8.4(E)(4)(h) irrigation systems shall be zoned by levels of water use. For the most efficient water use, plants with similar water</i>	Prior to permit review	

<p><i>use requirements shall be grouped together.</i> Trees and shrubs shall have separate zones. Drought tolerant and very low water-use trees shall have a separate zone. Native shrubs and very Low water-use shrubs shall be irrigated on a separate zone. Separate zones are required for permanent and temporary irrigation lines.</p>		
<p>12. 4.17.5 Manifold Installation Order: A. Assemble drip components in the order: (1) Electric Valve, (2) Filter, and (3) Regulator. B. Show the exact location of all drip components or assemblies.</p>	<p>Prior to permit review</p>	
<p>13. 4.17.6 Flush Valves: A. Design systems with sufficient pressure to flush the tubing in each run; as a rule, the system should have at least 10 psi to 15 psi of water pressure for flushing. B. Design all systems with the capability of flushing out accumulated particulate matter. C. Design system to provide a means for servicing such flushing requirements with a minimum of erosion or disruption to the surrounding landscape. D. Provide manual flush valves (e.g., ball valves, manual drain valves, or flushable end caps) at the ends of all irrigation laterals.</p>	<p>Prior to permit review</p>	
<p>14. Provide a professional landscape irrigation design per COSF code Chapter 14-8.4(E) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.</p>	<p>Prior to permit review</p>	
<p>15. STAFF RESERVES THE RIGHT TO REQUIRE ADDITIONAL SUBMITTALS UPON RECEIVING REVISIONS.</p>		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Form Updated: April 2024

Date: 11/08/2024

DRT Member: Zoe Issacson

Dept/Div: River and Watershed Management

Case No.: 2024-9316

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. No comments at this time		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

Date: 11/5/24

DRT Member: Teddy Padilla

Dept/Div: Land Use/Technical Review

Case No.: 2024-9316

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Must have an Accessible Route from the Public Right of Way to the building entrance.	See sheet A1.3 for accessible routes from Bus Stop and Public Right-of-Way to entrances to both the existing church and the new building. Crosswalks will be painted on new asphalt surface.	Route from PROW through the parking area must be visible and comply with floor surfaces
2. Accessible path(s) of travel route shall be provided from the Public Right-of-Way and accessible parking aisle(s) to accessible building entrance(s) and shall comply with Section 302, floor surface, 303.4 Ramps, 401 Accessible routes, 403 Walking surfaces, 405 ramps. Ensure accessible route(s) from the Public Right-of-Way and accessible parking space aisle(s) to building entrance(s) are provided and maintained. Provide detectable warning surfaces at curb ramps and transitions to driveway crossings along the accessible paths of travel as applicable.	See sheets C-5, A1.3 for accessible routes from ADA parking aisles and Public Right-of-Way to entrances to both the existing church and the new building. All ramps and walking surfaces to comply with sections 302, 303, 401, 403, and 405. Detectable warning surfaces to be provided as required. Refer to details on sheets C-5, A1.3.	
3. ADA compliant concrete sidewalks must be added along Camino Carlos Rey fronting the property from property line to property line. 4. ADA compliant curb ramps must be added to all sides of the driveway entrances.	The existing asphalt sidewalk will be replaced with a proper concrete sidewalk with curb ramps at both driveway crossings along the entire frontage of this property. Refer to sheets C-5, A1.2, and A1.3.	Route from ADA Parking Stalls through the parking area must be visible and comply with floor surfaces.

<ol style="list-style-type: none"> 5. ADA Parking stalls and Aisles must be built in concrete per SFCC and comply with the 2015 NM Accessible Parking Checklist. 6. Must eliminate all trip hazards in the asphalt parking lot. Remove and replace asphalt. 7. Show concrete sidewalks around the building from the ADA Parking Aisle to a main entrance of the building. 	<p>New ADA parking area will be on concrete slab.</p> <ul style="list-style-type: none"> - Existing asphalt will be repaired or replaced with new smooth surface. - Concrete walks connect both new and existing church for accessibility. Both new and existing buildings will have ADA parking space close to their entrances. 	
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**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

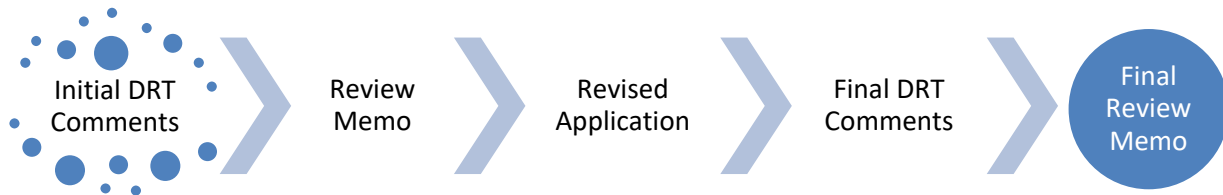
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.

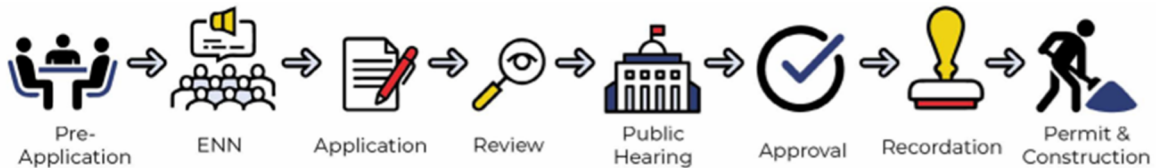


Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: January 5, 2025

DRT Member: Leroy Griego

Dept/Div: Solid Waste

Case No.: 2024-9316

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. No corrections required. Storing trash receptacles in the garage is adequate for the property use.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

Development Review Team (DRT) Comment Form

Date: 11/5/2024

DRT Member: Paul A. Duran

Dept/Div: Land Use Dept./HPD

Case No.: 2024-9316-2247 Camino Carlos Rey Grace Community Church

Case Planner: Claudia Kath

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Applicant does not need archaeological review		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant Response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

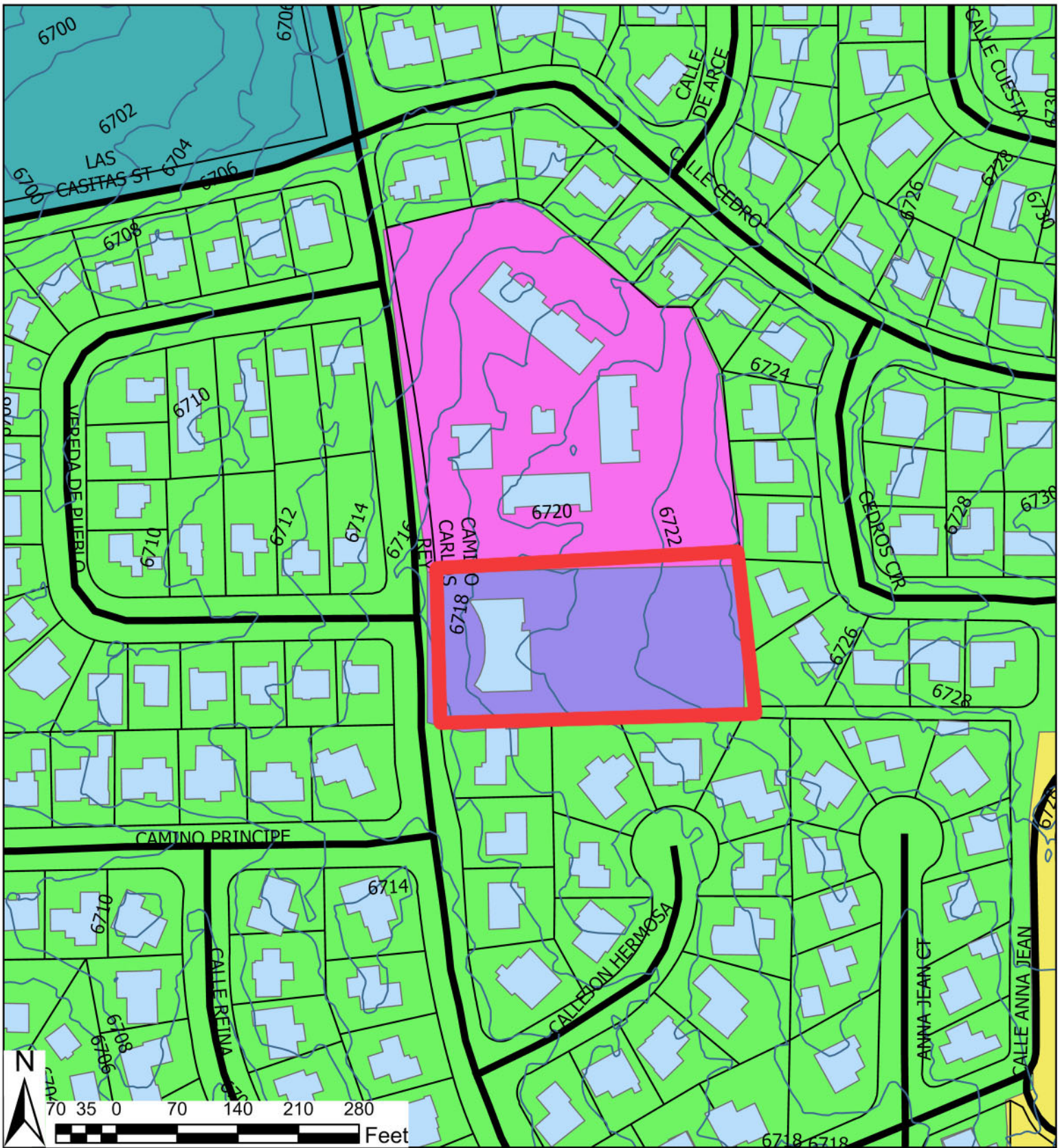
1. The applicant is located in the Suburban Archaeological Review District and does not meet the threshold for archaeological clearance permits, however, if they come across cultural resources or human burials all work must stop and HPD staff notified immediately.

City of Santa Fe, New Mexico

Board of Adjustment Attachment C

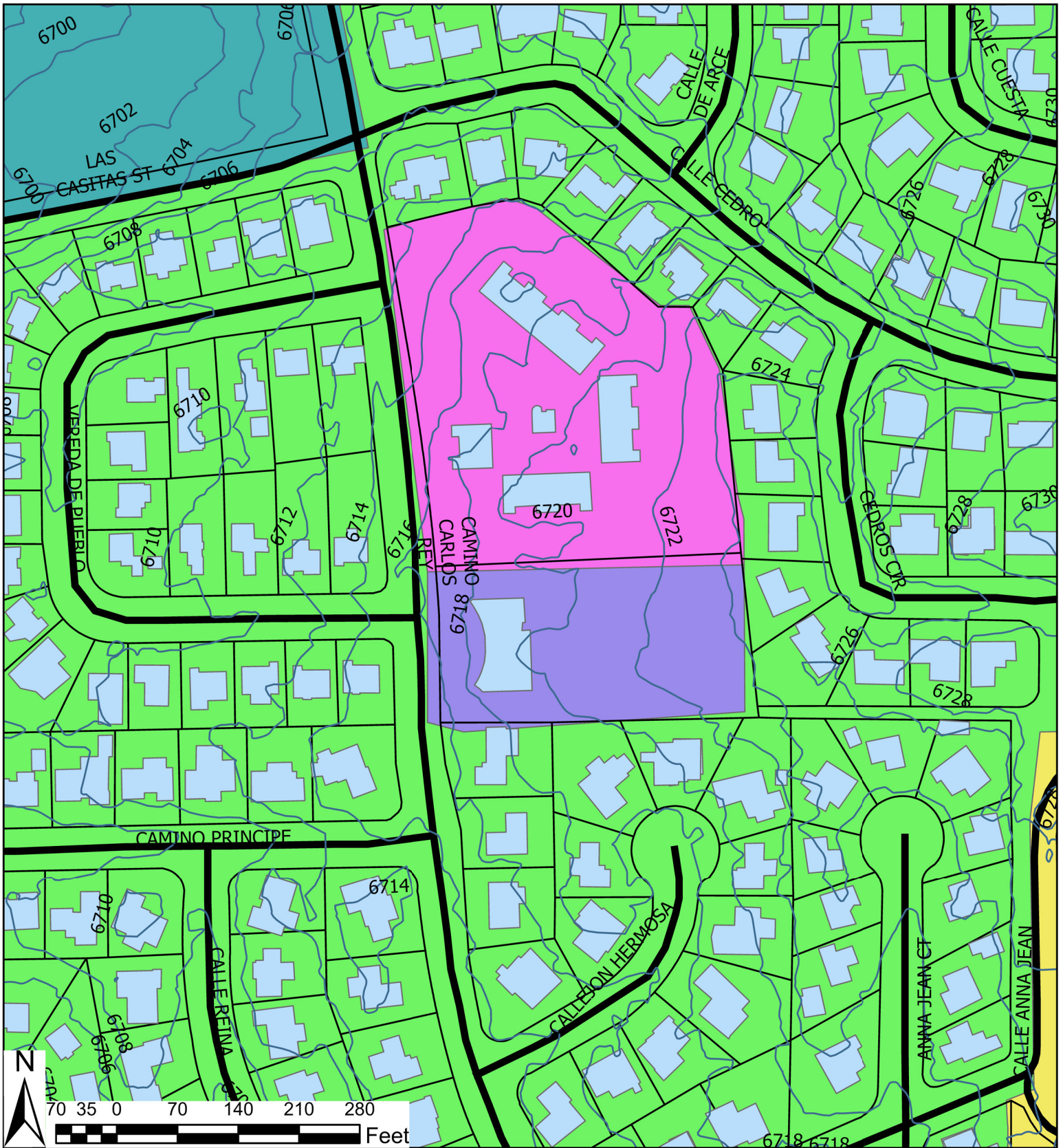
Maps and Photos

- 1. Future Land Use Zoning**
- 2. Current Zoning**
- 3. Aerial View**
- 4. Street View Property Entrance**



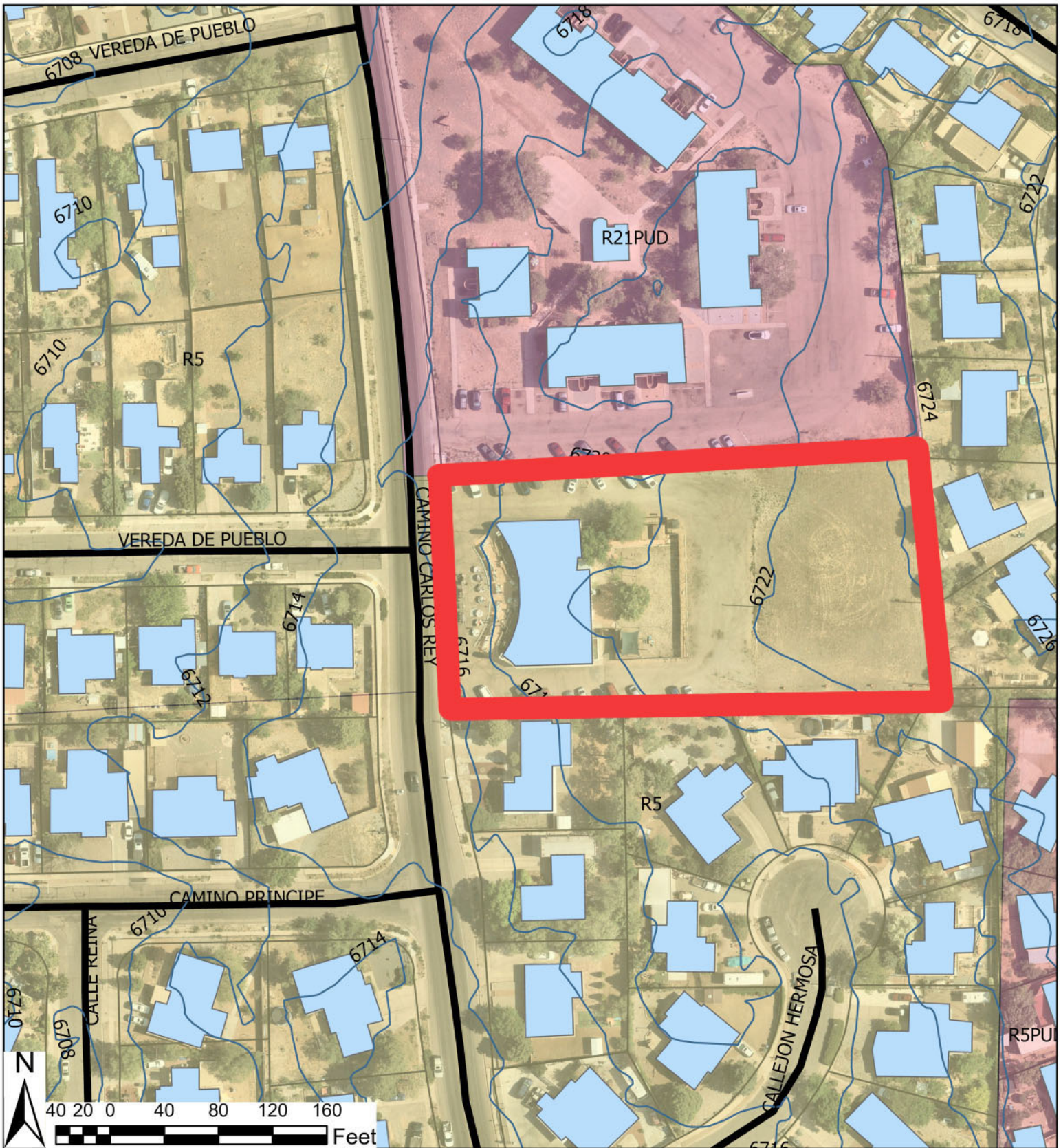
Future Land Use Legend

- | | | |
|---------------------|-------------------------------|-------------------------|
| 2ftContours | ResidentialBuildingFootp | 7-12 dwellings per acre |
| RoadsCenterlineCity | 12-29 dwellings per acre | Park |
| RoadsCityMajor | 3-7 dwellings per acre | Public/Institutional |
| ParcelsCity | Site - 2247 Camino Carlos Rey | |



Future Land Use Legend

- 2ftContours
- RoadsCenterlineCity
- RoadsCityMajor
- ParcelsCity
- ResidentialBuildingFootp
- 12-29 dwellings per acre
- 3-7 dwellings per acre
- 7-12 dwellings per acre
- Park
- Public/Institutional



Current Zoning Map Legend

- | | | |
|---------------------|-------------------------------|--------|
| 2ftContours | ResidentialBuilding | R21PUD |
| RoadsCenterlineCity | Site - 2247 Camino Carlos Rey | R5 |
| RoadsCityMajor | | R5PUD |
| ParcelsCity | | |



Current Aerial Photo Legend

- 2ftContours
- RoadsCenterlineCity
- RoadsCityMajor
- ParcelsCity
- ResidentialBuilding



City of Santa Fe, New Mexico

Board of Adjustment Attachment D

Applicant Materials

- 1. Application Submittals**
- 2. Legal Lot of Record**
- 3. Applicant Drawings**

LETTER of APPLICATION for SPECIAL USE PERMIT

October 4, 2024

City of Santa Fe
Board of Adjustments and
Land Use Department
200 Lincoln Avenue
Santa Fe, New Mexico 87501

Dear Land Use Department:

On behalf of the Grace Community Church, we are respectfully requesting a Special Use Permit for a new building to be located behind their existing church at 2247 Camino Carlos Rey. In accordance with the requirements of the City of Santa Fe, we submit the attached documentation of existing and proposed site development for review and approval.

As a local community church, the members of Grace Community Church have been inundated with requests for meeting space for weddings, receptions, memorial services, baby showers, AA meetings and other rehabilitation programs, etc. They have tried to accommodate these requests, but their current facility has limitations. Therefore, the church is proposing to build to a 6,000 square foot building on their property in order to serve their growing needs.

The size of their property is an acre and a half. It is located on a main roadway adjacent to a large apartment complex in an R-5 residential zone. The church was originally built in 1970, with additions to the north and south built ten years later.

As per Table 14.6.1-1, Religious Assembly is a permitted use within R-5 zoning. The legal non-conformity can continue, and the new structure will require a Special Use Permit as per section 14-10.2.

Attached, please find an index of the submittal documents and a statement addressing the Special Use Criteria from section 14-3.6(d) of the Santa Fe Code. If you have any questions or comments, please contact me at 505-820-1460, or greg@planaarch.com

Sincerely,



Greg C Reid, AIA
Plan A Architecture, LLC

**INDEX of DOCUMENTS SUBMITTED for
SPECIAL USE PERMIT for GRACE COMMUNITY CHURCH**

ATTACHED DOCUMENTS

Special Use Application
Owner Authorization for Agent
Statement addressing Special Use Criteria

Traffic Impact Analysis
Archaeological Clearance
Water Budget
Plat – Legal Lot of Record
Warranty Deed
Site Topo Survey

Terrain Management and Civil Engineering Drawings
Grading Plan
Drainage Plan
Site Utility Plan
Site Details

Architectural Drawings
Existing Site Plan
Proposed Site Plan
Proposed Egress and Accessibility Plan
Existing Church Plan
Proposed Floor Plan
Reflected Ceiling and Lighting Plan
Proposed Roof Plan
Exterior Elevations
Building Sections
Interior Accessibility Plan and Elevations

Landscape Design Drawings
Site Landscape Plan
Planting Specifications

Electrical Drawings
Exterior Lighting Photometric Plan
Exterior Lighting Calculations

Fire Suppression Drawings
Sprinkler Design and Specs



(date stamp)

**SPECIAL USE PERMIT
APPLICATION
14-3.6**

Parcel Information

Address: 2247 Camino Carlos Rey, Santa Fe, NM 87507 Property Size: 1.496 acres
Proposed Use: Religious Assembly (new events building behind the existing Grace Community Church)
Zoning: R-5 Preapplication Conference Date: 10/26/23
ENN Meeting Date: 08/21/24 UPC Code Number: 1-051-096-502-286

Property Owner Information

Name: Grace Community Church
First Last
Address: 2247 Camino Carlos Rey
Street Address Suite/Unit #
Santa Fe NM 87507
City State ZIP Code
Phone: 505-577-4596 E-mail Address: jinxandbruce@gmail.com

Applicant/Agent Information (if different from owner)

Company Name: Plan A Architecture, LLC
Name: Greg Reid
First Last
Address: P.O. Box 9289
Street Address Suite/Unit #
Santa Fe NM 87504
City State ZIP Code
Phone: 505-820-1460 E-mail Address: greg@planaarch.com

Correspondence Directed to: Owner Applicant Both

Agent Authorization (if applicable)

I am/We are the owner(s) and record title holder(s) of the property located at: 2247 Camino Carlos Rey (Grace Church)

I/We authorize Plan A Architecture, LLC / Greg C Reid, AIA to act as my/our agent to execute this application.

Signed:  Date: 09/17/2024

Signed: _____ Date: _____

Submittal Checklist

A minimum of 2 copies, 24"x36" or 11"x17" (scalable) and 1 CD with PDF. Please include the following and check box to indicate submittal:

<input checked="" type="checkbox"/> Letter of Application (intent, location, acreage)	<input checked="" type="checkbox"/> Statement addressing approval criteria (see below)	<input checked="" type="checkbox"/> Legal Lot of Record, Legal Description	<input checked="" type="checkbox"/> Site Plan (see below)	<input checked="" type="checkbox"/> Landscape, Parking and Lighting Plan, Signage Specifications (as required)
<input checked="" type="checkbox"/> Terrain Management Plans (as required by Section 14-8.2 SFCC 1987)	<input checked="" type="checkbox"/> Traffic Impact Analysis (if required)	<input checked="" type="checkbox"/> Archaeological Clearance (if required)	<input checked="" type="checkbox"/> Sewer and Water Plan (if required)	<input type="checkbox"/> Phasing Plan (if applicable) na.

Site Plan

Special use permits shall include approval of a site plan and other site development drawings necessary to document that the type and extent of development proposed can be accomplished in conformance with applicable development standards. (Section 14-3.6(C)(1) SFCC 1987)

The site plan shall be a scaled drawing showing all site improvements, existing and proposed, including but not limited to the following:

1. Buildings and other structures such as fences and walls, existing and proposed;
2. Landscape, existing and proposed; and
3. Parking, vehicular and pedestrian circulation including off-site access.

The Land Use Department may require additional information, including but not limited to:

1. Slope and topographic analysis;
2. Utility connections or availability statements;
3. Fire protection; and,
4. Traffic impact analysis.

Please check with the Case Manager to determine what additional requirements there are, if any.

Special Use Permit Approval Criteria (Section 14-3.6(D) SFCC 1987)

Attach a separate letter stating:

1. That granting the special use permit does not adversely affect the public interest; and,
2. That the use and any associated buildings are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the premises under consideration.

Signature

I hereby certify that the documents submitted for review and consideration by the City of Santa Fe have been prepared to meet the minimum standards outlined in the Land Development Code, Chapter 14 SFCC 2001. Failure to meet these standards may result in the rejection of my application. I also certify that I have met with the City's Current Planning staff in a preapplication meeting to verify that the attached proposal is in compliance with the City's zoning requirements.

Signature: _____

Date: **10.4.24**

To be completed by LUD staff:

Board of Adjustment

Planning Commission

Staff Initial _____

A case manager will be assigned to your project and will notify you within 10 business days if any additional information is needed. After your application has been reviewed by City staff, we will contact you regarding public notice requirements. A packet of information and instructions will be provided regarding the required mailing and sign posting. Please contact the Land Use Department staff at (505) 955-6585 with any questions.

City of Santa Fe Land Use Department

AGENT AUTHORIZATION

I, Pastor Jimmy R. Sandoval, am Record Title Holder for the Grace Community Church, owners of the property located at:

2247 Camino Carlos Rey
Santa Fe, New Mexico 87507

Grace Community Church is making an application for a Special Use Permit, within the parameters of the City of Santa Fe Land Development Code, section 14-3.6

I, and the church, authorize Plan A Architecture, LLC and its owner, Greg C. Reid, AIA to act as our agent to execute this application.

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

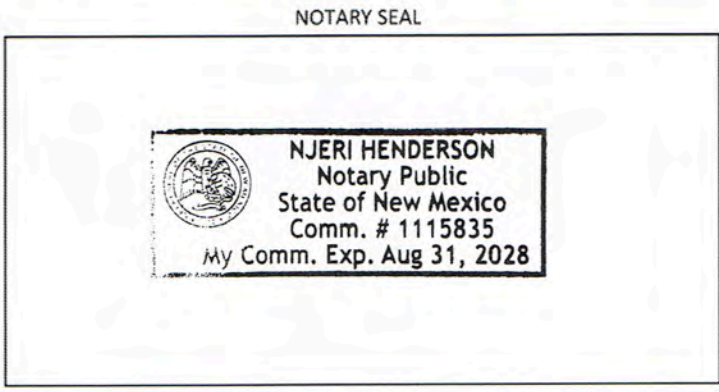
[Signature] 10/5/24
Property Owner's Signature Date

Property Owner's Signature Date

Subscribed and sworn to before me this 5th day of October, 2024.

[Signature]
Notary Public

My commission expires: 08/31/2028



October 4, 2024

Special Use Permit for Grace Community Church STATEMENT ADDRESSING APPROVAL CRITERIA

As it relates to the proposed new structure for Grace Community Church, the Land Use board has the authority under Section 14-6 and Table 14.6.1-1 of Chapter 14 to grant a special use permit for Religious Assembly use in an R-5 district.

Granting the special use permit does not adversely effect the public interest or the surrounding homeowners. Grace Community Church has been a part of this neighborhood, on this property, for fifty-five years. The new building proposed is behind the existing church so will not impact the streetscape from Camino Carlos Rey.

The community church use is compatible with, and adaptable to the houses and apartment complex adjacent to their property. Both the existing church and proposed structure are single story buildings, and are within the maximum allowed height of 24 feet for residential zones. The massing of both existing and proposed buildings positions the taller main space in the center with lower scaled masses wrapping the perimeter. This lowered massing brings the scale down in keeping with that of the surrounding houses rather than that of the apartment buildings. The base of the lower massing will have natural stone cladding at the base of the stucco walls.

CONDITIONS

The new structure will be located in a manner which creates an enclosed courtyard with the existing church. The current playground area will be included in this new courtyard. It is also positioned in the center of the property in an effort to maintain the side yard setbacks from adjoining properties, and a significant back yard setback to set it as far as possible from all four property lines.

The north side and back yard concrete block walls, and the south side wood fencing will remain in order to maintain privacy for the adjacent residents. The inner wood fence, dumpster, and four existing storage sheds will be removed as part of the project.

The parking lot will be expanded towards the back yard to accommodate additional visitors. The lot will meet all accessibility requirements while designed to minimize stormwater run-off. The public right-of-way along Camino Carlos Rey and nearby bus stop will not be effected by this project.

The existing stone and concrete sidewalks around the church will be repaired and improved to ensure accessibility to the church, as well as extending on both sides to the new building.

The church is very respectful of neighbors concerns about noise generation in the new building. They agree that receptions or celebrations held there will end by 10 pm. Also, the dumpster pick-up service currently used by the church will be abandoned in favor of standard trash pick-up offered to the rest of the neighborhood, which will reduce on-site truck noise.

In addition to the right-of-way along Camino Carlos Rey, this property has ten foot utility easements along its east and south property lines. There is no need to alter these as part of this project. The vehicular alley to the southeast of the property provides PNM access to their power poles from Cedros Lane. This utility access from Cedros Lane will remain.

Slope planting is not required since this property is relatively flat. Landscaping is incorporated into the parking lot design as per City requirements. The proposed lot extension will use 100 percent permeable paving blocks rather than asphalt. This will reduce heat build-up and stormwater run-off. The pave-block will reduce erosion and create less noise than the existing gravel parking lot.

Two above-ground cisterns located in the courtyard will be used to irrigate the courtyard planting beds. Two landscaped retention ponds are to be added to the north and south of the new building to collect roof and site rainwater.

Access to the parking areas behind the church will be controlled by gates. These will be locked when the facility is not in use in order to reduce unchecked activity behind the church. This request was from neighbors with backyards adjacent to the church parking areas to prevent transient activity.

The existing and proposed buildings are configured so that eighty percent of the property remains as open space.

The number of occupants permitted by code in the new building is 193. All events held within this building will be for, or agreed to by Grace Community Church.

Hours of operation is another issue of concern for neighbors. Weddings usually are held on weekend days. Memorial services are typically held mid-morning on week days. Weekly church services are held Sunday mornings. This scheduling will not increase school or work day traffic along Camino Carlos Rey or the surrounding streets. A traffic study was prepared as part of this submittal.

This building will be designed to meet current energy efficiency and accessibility standards. The church will take part in the City waste management and recycling programs offered in this neighborhood.

Attached, please find the documents required for the Special Use Criteria from section 14-3.6(d) of the Santa Fe Code. If you have any questions or comments, please feel free to contact me.

Sincerely,



Greg C Reid, AIA
Plan A Architecture, LLC

505-820-1460
greg@planaarch.com

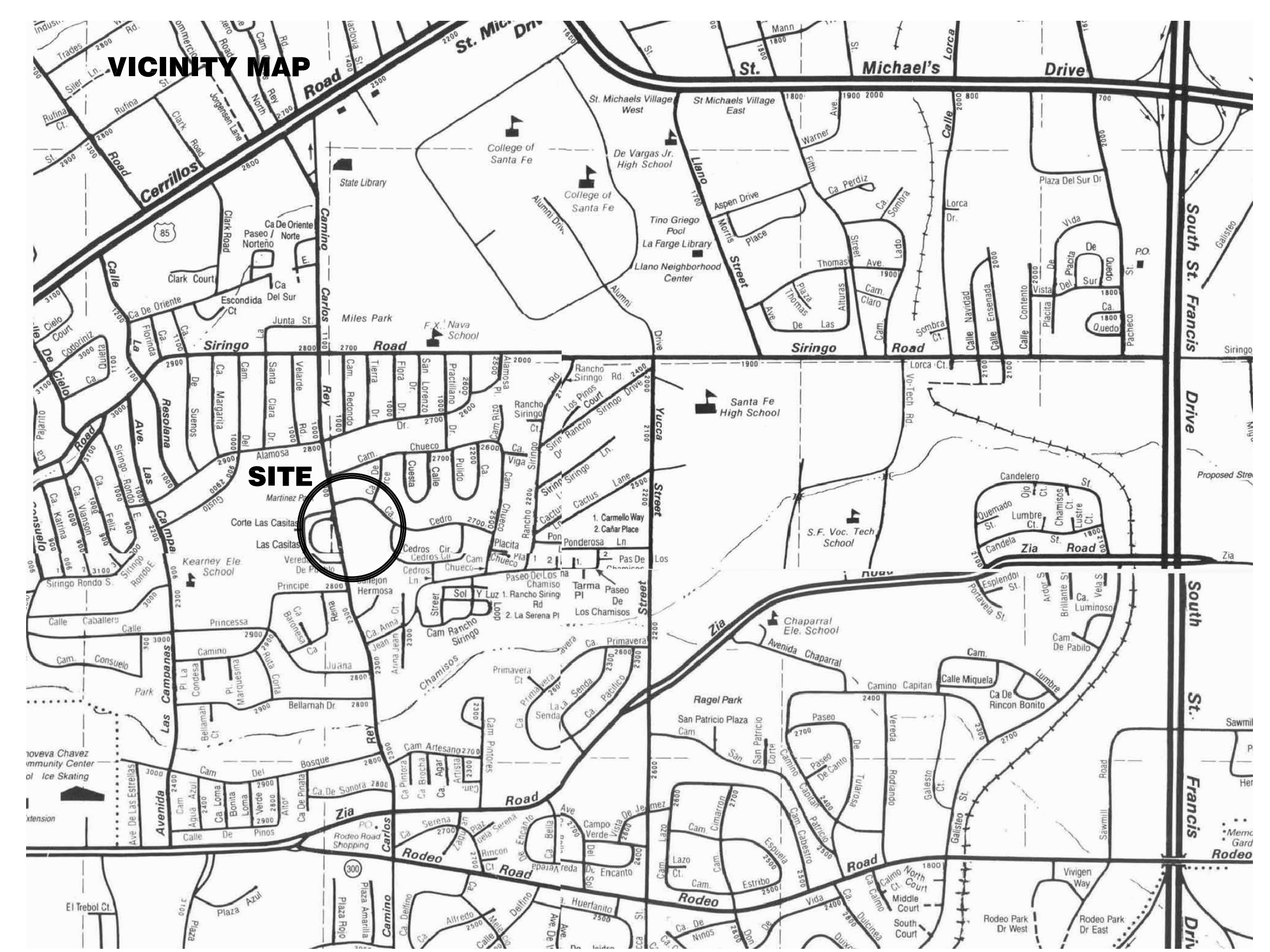
New Building for Grace Community Church

2247 Camino Carlos Rey

Santa Fe, New Mexico 87507

Special Use Review

February 25, 2025



DRIVING DIRECTIONS: South on Cerrillos Road, turn left onto Camino Carlos Rey. The church is on the left side of street at # 2247.

APPLICABLE BUILDING CODES
 2021 NM Commercial Building Code (2021 International Building Code)
 2021 NM Existing Building Code (2021 International Existing Building Code)
 2021 NM Plumbing Code (2021 Uniform Plumbing Code)
 2021 International Energy Code and New Mexico State Amendments
 2015 International Fire Code and Santa Fe IFC amendments
 2017 ICC A117.1 Accessible and Usable Buildings and Facilities

OCCUPANCY CALCULATIONS

Occupancy Class	A-3 ASSEMBLY - Religious Functions	
Existing Church	A-3 Religious Facility	1,200 sq.ft.
	at 15 net	80 occupants
	Bible Study Room	230 sq.ft.
	at 20 net	12 occupants
	Office space	420 sq.ft.
	at 150 gross	3 occupants
	Additional spaces for: Storage rooms, Bathrooms, Kitchen, Circulation, A/V, Baptism pool, Nursery, Mechanical room	
Proposed Occupant Load	A-3 Religious Facilities	2,495 sq.ft.
5,485 sq.ft. Sprinklered	at 15 net	166 occupants
	Bible Study Rooms	460 sq.ft.
	at 20 net	23 occupants
	Office space	560 sq.ft.
	at 150 gross	4 occupants
	Bathrooms and Circulation	1,825 sq.ft.

A-3 Classification = 193 Total Occupants

MEANS OF EGRESS

Travel distance shall not exceed 250 feet (See sheet A1.3 for EGRESS PLAN)

EXISTING BUILDING CODE

Existing Church structure to remain - No Work Proposed

LEVEL 1 ALTERATION (section 701 IEBC)

Modifications to surrounding sitework to improve site accessibility, and replacing 5 exterior storage rooms (520 sf) with 2 new exterior storage rooms (320 sf) only. Net reduction in existing square footage.

PLUMBING FIXTURE REQUIREMENTS

Group A-3		Men		Women	
193 Occupants	Men	97	Women	97	
WC Required	Men	1 (1 per 150)	Women	2 (1 per 75)	
WC Provided	Men	2 + 1 urinal	Women	2	
Lavs Required	Men	1 (1 per 200)	Women	1 (1 per 200)	
Lavs Provided	Men	2	Women	2	
Service Sinks		1			
Drinking fountains		1 (1 per 1,000)			

CODE ANALYSIS

CITY ZONING

R-5 1.496 acres (65,165 square feet)

CONSTRUCTION TYPE

Type II-A Protected Non-combustible

FIRE SUPPRESSION SYSTEM

New fire suppression system is proposed throughout the new construction. Existing church building will remain un-sprinklered. Permit drawings and calcs will be attached with Permit Submittal.

ALLOWABLE FLOOR AREA 14.7.1(B)

Occupancy type A-3 - Single-story, Type II-A with Automatic Sprinkler system

Existing	62,000 sq.ft. - Allowed
Proposed	5,920 sq.ft. - Existing Roofed
Proposed	7,500 sq.ft. - Proposed Roofed
Total Roofed Area	13,420 sq.ft. - Total Roofed for Property

BUILDING HEIGHT 14.7.1(C)

35 foot maximum - Allowed 24 feet - Proposed

SETBACKS 14.7.3-1

Street	30 feet required	33.7 feet - Existing
Side	5 feet required	35' and 39' - Existing
Rear	10 feet required	137 feet - Proposed

LOT COVERAGE 14.7.3-1

60% Maximum Lot Coverage - Allowed

Existing	10% - Existing
Proposed	21% - Proposed

OPEN SPACE 14.7.5(C)

Lot Area = 65,165 sf	Total Roofed Area = 13,420 sf
25% Open Space Required = 16,291 sf	51,745 sf Open Space Provided
Existing Parking Area = 10,885 sf	33,392 sf Proposed Parking Area

COMMON OPEN SPACE 14.7.5(C)

500 sf/acre = 130 sf - Required 3,704 sq.ft. Proposed

ARCHITECTURAL DESIGN REVIEW 14-8.7.1

R-5 Zone 180 Points - Required 215 Points Provided

PARKING COUNT Exhibit A - Table 14-8.6-1 Parking Requirements

Existing Church Building	95 occupants existing
New Community Church Building	193 occupants proposed
Occupant Load	288 occupants combined

Religious Assembly: 1 space / 4 seats	72 spaces Required
Total Parking Count	73 spaces Provided

6 Accessible spaces (1 van space) - Provided

Bicycle Parking Requirements - Exhibit C- table 14-8.6-3

10 spaces - Required 14 Bicycle spaces - Provided

See **CIVIL** drawings for TERRAIN and STORMWATER MANAGEMENT (14-8.2)
 See **LANDSCAPE** drawings LANDSCAPE and SITE DESIGN (14-8.4)

DIRECTORY

APPLICANT

Grace Community Church
 2247 Camino Carlos Rey
 Santa Fe, New Mexico 87507

ARCHITECT

Plan A Architecture, LLC
 P.O. Box 9289
 Santa Fe, New Mexico 87504
 505-820-1460

CONTRACTOR

T.B.D.

CIVIL ENGINEERING

Civil Design Group, LLC
 617 West Alameda Street
 Santa Fe, New Mexico 97501
 575-571-5164

MECH. and ELECT. ENGINEERING

Tipton Engineering, LLC
 1596 Pacheco Street Suite 204
 Santa Fe, New Mexico 87505
 505-954-1660

STRUCURAL ENGINEERING

High Desert Structural Engineering, LLC
 1911 Fifth Street suite 205
 Santa Fe, New Mexico 87505
 505-780-8897

FIRE PROTECTION ENGINEERING

Accent Fire Safety
 P.O. Box 16175
 Santa Fe, NM 87592
 505-474-3923

LANDSCAPE DESIGN

Alana Markle
 117 Valencia Road
 Santa Fe, NM 87505
 541-647-8935

DRAWING SHEET INDEX

LEGAL LOT OF RECORD and WARRANTY DEED
 SITE SURVEY

CIVIL

C-1	GRADING PLAN
C-2	DRAINAGE PLAN
C-3	SITE UTILITY PLAN
C-4	WATER SERVICE and FIRE LINE PLAN
C-5	SITE CONSTRUCTION DETAILS
C-6	SANITARY SEWER NOTES

ARCHITECTURAL

A0.1	GENERAL NOTES
A1.1	EXISTING SITE PLAN
A1.2	PROPOSED SITE PLAN
A1.3	SITE ACCESSIBILITY PLAN
A2.1	EXISTING CHURCH PLAN
A2.2	PROPOSED FLOOR PLAN
A2.3	REFLECTED CEILING PLAN
A2.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	BUILDING SECTIONS
A5.1	INTERIOR ELEVATIONS - RESTROOM ACCESSIBILITY

ELECTRICAL

SE102	SITE LIGHTING and PHOTOMETRIC PLAN
SE103	SITE LIGHTING FIXTURE SPECIFICATIONS

FIRE PROTECTION

FP.01	SPRINKLER PLAN and SPECIFICATIONS
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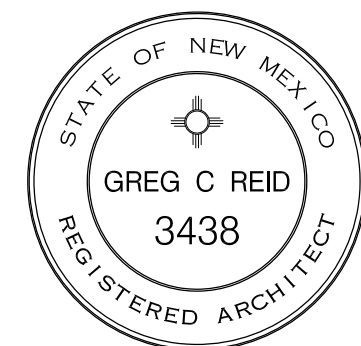
LANDSCAPING

L1.1	LANDSCAPE SITE PLAN and WATER BUDGET
L1.2	ENLARGED LANDSCAPE PLANS and PLANT LIST
L1.3	IRRIGATION PLAN
L1.4	IRRIGATION DETAILS

PLAN A ARCHITECTURE

505-820-1460

Greg C Reid, AIA
 Plan A Architecture, LLC
 P O Box 9289 Santa Fe, NM 87504



QUITCLAIM DEED

Ella P. Scullaw, widow of James J. Scullaw, and Shifene A. Westerhold, their daughter, and Karen Kay Lohman, their daughter, (their two and only children) for consideration paid, quitclaim to Grace Community Church, Inc., a New Mexico Corporation

the following described real estate in Santa Fe County, New Mexico:

Lot Seven (7) in Block Eight (8) of the Plat entitled "Los Cedros Subdivision, Lots 6 & 7 Block 8, Ward No. 2, Santa Fe, New Mexico," a copy of which was filed for record in the office of the County Clerk of Santa Fe County on June 4th, 1969 as Instrument No. 317,322.



CITY OF SANTA FE, N.M. I hereby certify that the instrument was filed on the 17th day of July, 1980, at 10:16 AM, and is duly recorded in book 156 of the records of Santa Fe County. Witness my Hand and Seal of Office CAROLINA B. GONZALES, County Clerk, Santa Fe County, N.M. Theresa Parada, Deputy

WITNESS OUR hand and seal this 7th day of July, 1980. Ella P. Scullaw (Seal) Shifene A. Westerhold (Seal) Karen Kay Lohman (Seal)

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO COUNTY OF SANTA FE The foregoing instrument was acknowledged before me this 17th day of July, 1980, by Ella P. Scullaw, Shifene A. Westerhold, and Karen Kay Lohman, (Name or Names of Persons or Persons Acknowledging) Notary Public

FOR RECORDER'S USE ONLY Grace Community Church received this property in 1980 - G.C.C. has been a local Community Church since 1969 -

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO COUNTY OF LOS ALAMOS The foregoing instrument was acknowledged before me this 17th day of July, 1980, by Shifene A. Westerhold, Notary Public



ACKNOWLEDGMENT FOR NATURAL PERSONS

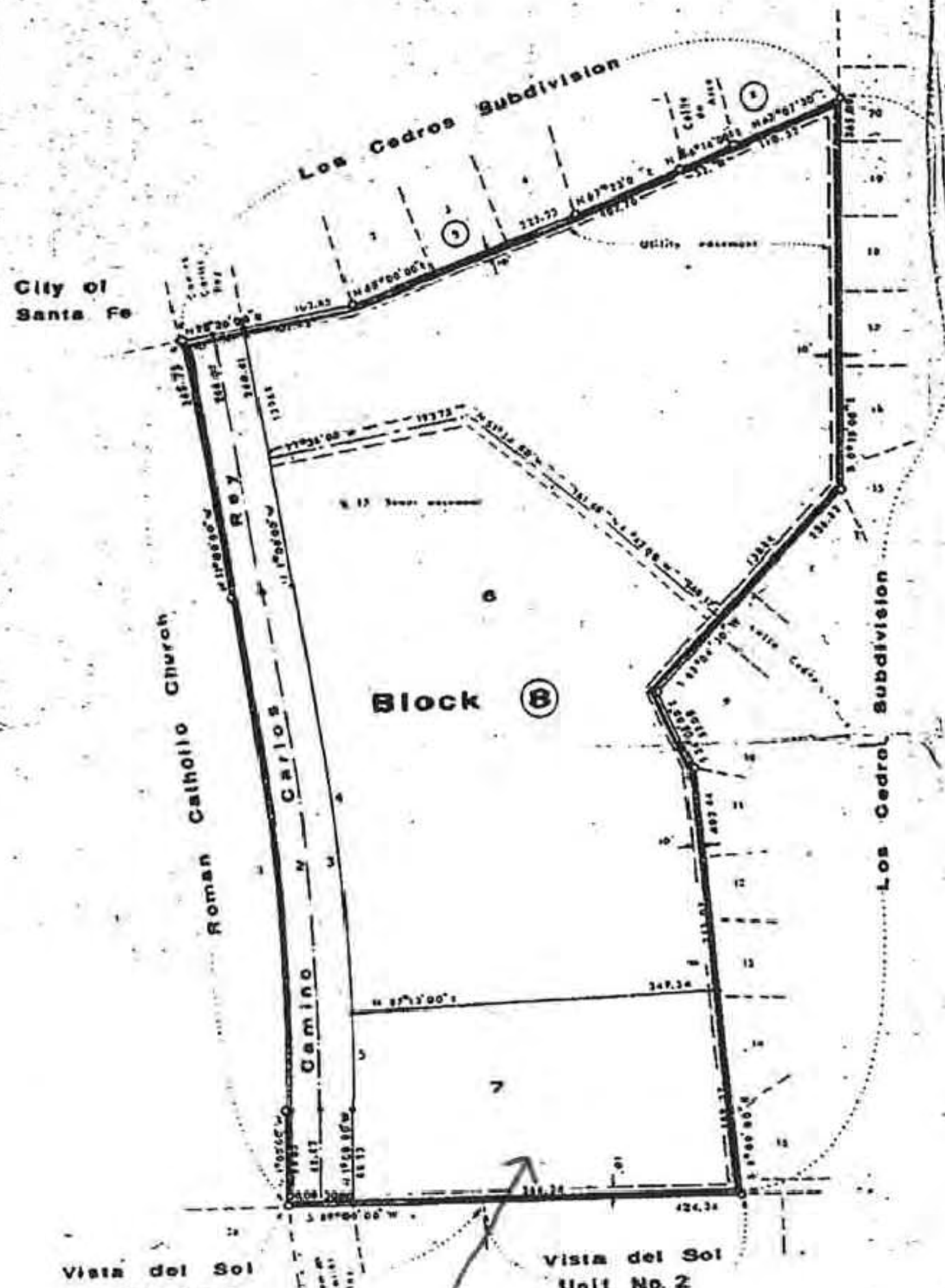
STATE OF COLORADO COUNTY OF JEFFERSON The foregoing instrument was acknowledged before me this 17th day of July, 1980, by Karen Kay Lohman, Notary Public



Los Cedros Subdivision

Lots 6 & 7, Block 8 Ward No 2, Santa Fe, New Mexico

Table with columns Ch. and L. containing survey data.



AREAS: Lot 6 : 7.363 Ac Lot 7 : 1.500 Ac Street : 1.141 Ac Total : 10.002 Ac

Surveyors Certificate: I hereby certify that this plat is an accurate delineation of a block survey conducted by me at Santa Fe, N.M., on 7/17/80. Roy Vabal, State Surveyor, N.M.P.S. and L.S. 07-3707

Dedication:

KNOW ALL MEN BY THESE PRESENTS: That Steam Development Company and the Roman Catholic Church have agreed to be authorized the lands shown on this plat, being situated and being within Ward No. 2 of the City of Santa Fe, New Mexico...

Attest: Myself, Notary Public, State of New Mexico, Santa Fe, N.M. Date: 5-23-69, June 17, 1971

Planning Affidavit:

This subdivision was within the planning and platting jurisdiction of the City of Santa Fe, New Mexico.

Attest: Myself, Notary Public, State of New Mexico, Santa Fe, N.M. Date: 5-23-69, June 17, 1971

City of Santa Fe, New Mexico:

APPROVED: 3/26/67 by [Signature] City Engineer APPROVED: 6/13/69 by [Signature] City Planner

APPROVED BY THE CITY PLANNING COMMISSION AT ITS MEETING OF: 5/15/69 Mayor: Rudy Kenneth Bellack

ACCEPTED BY THE CITY COUNCIL OF THE CITY OF SANTA FE, NEW MEXICO AT ITS MEETING OF: 6/2/69 Mayor: Rudy Kenneth Bellack

Utility Companies:

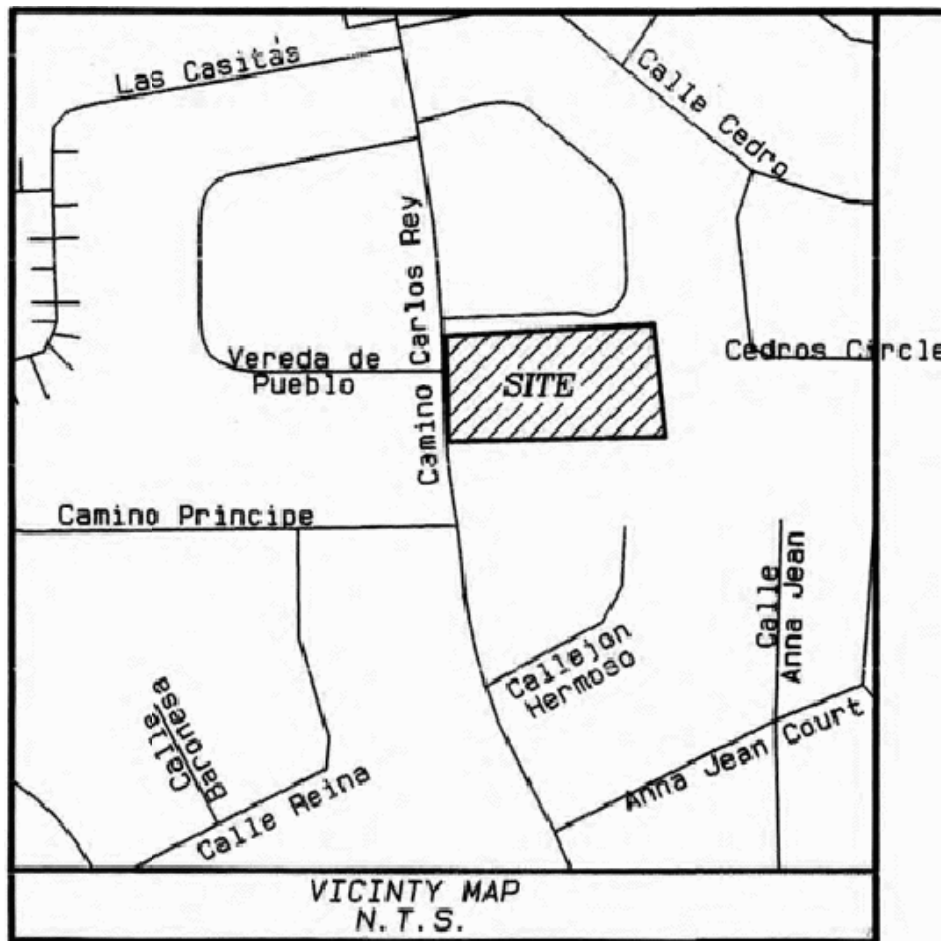
PUBLIC SERVICE CO OF NEW MEXICO Southern Union Gas Co Mountain States Telephone Co

Lot 7 Grace Community Church 22417 Cam Carlos Rey

BOUNDARY & TOPOGRAPHIC SURVEY OF LOT 7, BLOCK 8, LOS CEDROS SUBDIVISION

880038

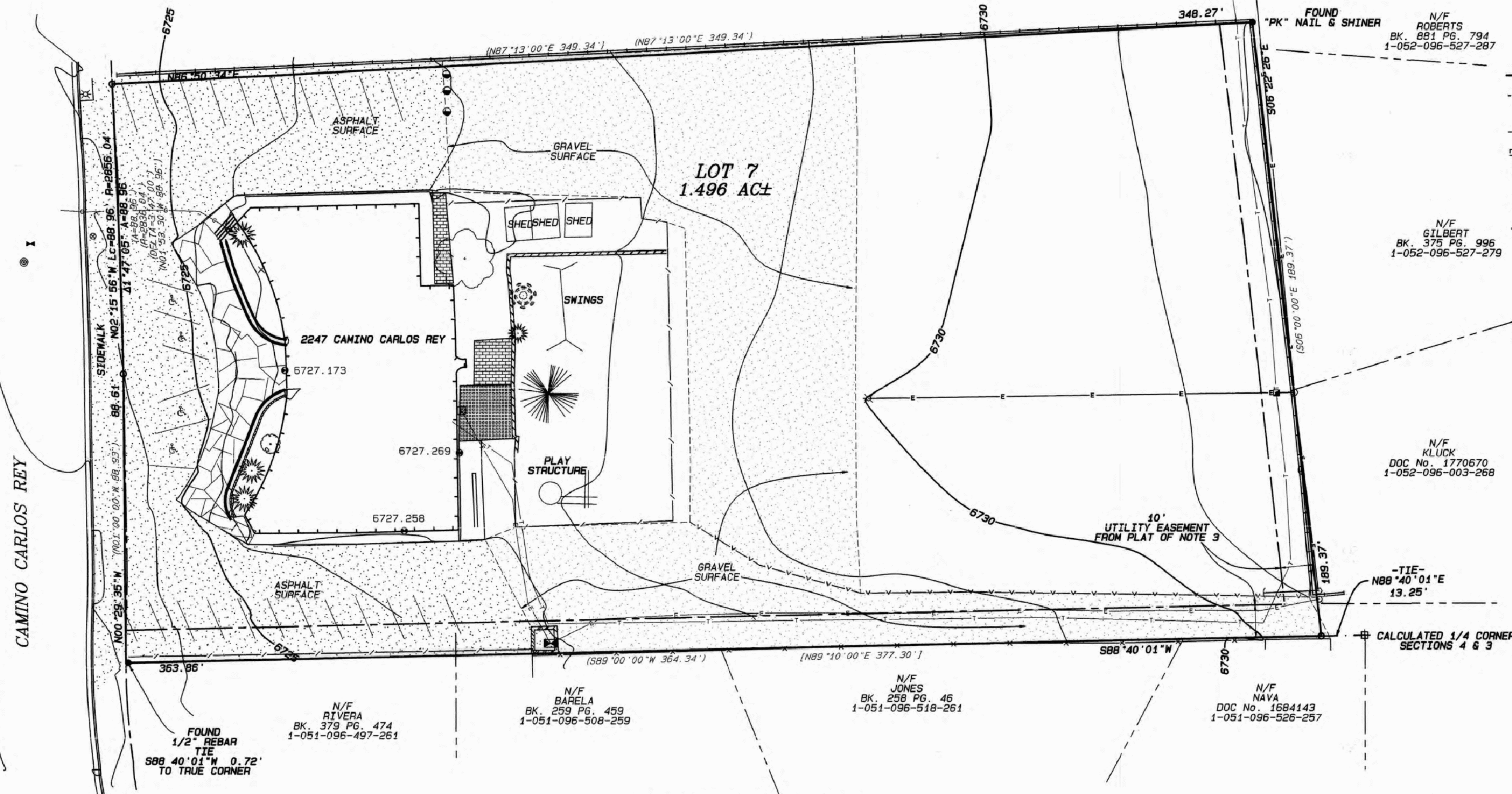
LYING AND BEING SITUATE WITHIN SECTION 3, T. 16 N., R. 9 E., N.M.P.M.,
WITHIN THE CITY OF SANTA FE, COUNTY OF SANTA FE, NEW MEXICO



N/F
CAMINO CARLOS REY LLC
DOC No. 1790159
1-051-096-500-302

LEGEND:

- FOUND SURVEY MONUMENT AS INDICATED
- △ SANTA FE CONTROL MONUMENT
- SET "MAG" NAIL OR REBAR No. 6998
- CALCULATED POINT
- BOUNDARY LINE
- - - EASEMENT LINE
- - - ADJOINER BOUNDARY LINE
- UTILITY POLE & OVERHEAD LINE
- ▬ C.M.U./ADOBE YARD/GARDEN WALL
- CURB & GUTTER
- CHAINLINK FENCE
- WOODEN FENCE
- STONE WALL
- CABLE FENCE
- BOLLARD
- △ GAS METER
- △ ELECTRIC METER
- WATER METER
- CLEAN OUT
- WATER VALVE
- LIGHT STANDARD
- ▣ TELEPHONE JUNCTION BOX
- MANHOLE
- FIRE HYDRANT
- × SPIGOT
- HANDICAP PARKING
- UNDERGROUND GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRICAL LINE



SURVEYOR'S NOTES

- 1) BASIS OF BEARING: POST PROCESSED RTK GNSS OBSERVATION FROM STATE PLANE COORDINATE SYSTEM
ZONE: NM CENTRAL
HORIZONTAL DATUM: NAD83
VERTICAL DATUM: GRS 1980
ELEVATION: 6727.12
GROUND TO GRID FACTOR: 0.99990716
- 2) REFER TO WARRANTY DEED, STAMM DEVELOPMENT COMPANY TO GRACE COMMUNITY CHURCH INC. AND IS RECORDED AT THE OFFICE OF THE SANTA FE COUNTY CLERK, IN BOOK 267, PAGE 84.
- 3) REFER TO A PLAT OF SURVEY ENTITLED "LOS CEDROS SUBDIVISION LOTS 6 & 7" BY GEORGE VEDLER, NMLS No. 3707, AND IS RECORDED AT THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 19, PAGE 21. RECORD DATA IN PARENTHESES ().
- 4) REFER TO A PLAT OF SURVEY ENTITLED "LOS CEDROS SUBDIVISION BLOCKS II & PORT." BY GUY D HAYDEN, NMLS No. 4070, AND IS RECORDED AT THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 15, PAGE 20.
- 5) REFER TO A PLAT OF SURVEY ENTITLED "UNIT NO. 2 VISTA DEL SOL" BY RALPH K HICKS, NMLS No. 3307, AND IS RECORDED AT THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 14, PAGE 31. RECORD DATA IN BRACKETS [].
- 6) REFER TO A PLAT OF SURVEY ENTITLED "BOUNDARY SURVEY PLAT FOR RUSSELL GARNER AND VANCE COLLINS" BY DAVID E. COOPER, NMLS No. 9052, AND IS RECORDED AT THE OFFICE OF THE SANTA FE COUNTY CLERK IN BOOK 618, PAGE 46. RECORD DATA IN BRACES { }.
- 7) THIS PROPERTY LIES WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE OF THE 0.02% CHANCE OF ANNUAL FLOODING AS PER FLOOD MAP 35049C0413E, DATED 12/04/2012.

PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

**REVISIONS
BY DATE**

SURVEYOR'S CERTIFICATE

I MITCHEL K. NOONAN, N.M.P.L.S. No. 6998 DO HEREBY CERTIFY TO GRACE COMMUNITY CHURCH THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT, 12/18/2018

Mitchel K. Noonan 07/30/21
MITCHEL K. NOONAN N.M.P.L.S. No. 6998

COUNTY OF SANTA FE }
STATE OF NEW MEXICO } SS
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THE 20th DAY OF JULY, A.D. 2021 AT 9:42 O'CLOCK P.M. AND WAS DULY RECORDED IN PLAT BOOK 280 PAGE 23 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
KATHERINE E. CLARK
COUNTY CLERK, SANTA FE COUNTY, N.M.
Katherine E. Clark
DEPUTY

INDEXING INFORMATION FOR COUNTY CLERK

- A) NAME: GRACE COMMUNITY CHURCH INC.
FILED: BK. 267, PG. 84
B) SUBD:
C) SECTIONS: S 4, T 16 N, R 9 E
D) UPC : 1-051-096-502-286

SOUTHWEST MOUNTAIN SURVEYS

1114 HICKOX ST., SANTA FE, N.M. 87501
(505) 982-9429 FAX (505) 986-3413
DATE (S): 12/18/2018 PROJECT No. C-2919

SHEET INDEX:

SHEET NO.	SHEET TITLE
C-1	GRADING PLAN
C-2	DRAINAGE PLAN
C-3	UTILITY PLAN
C-4	WATER PLAN
C-5	CONSTRUCTION DETAILS
C-6	SANITARY SEWER CONSTRUCTION GENERAL NOTES

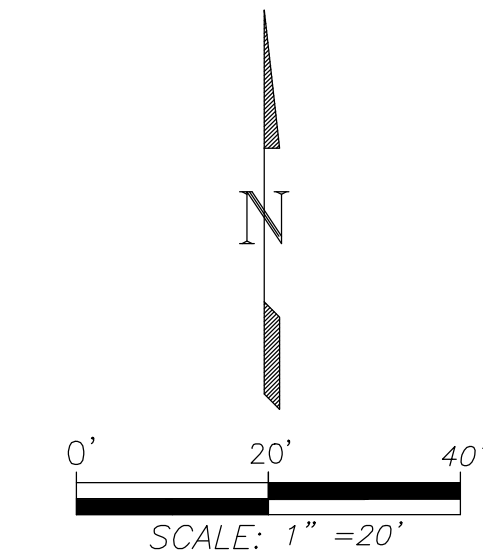
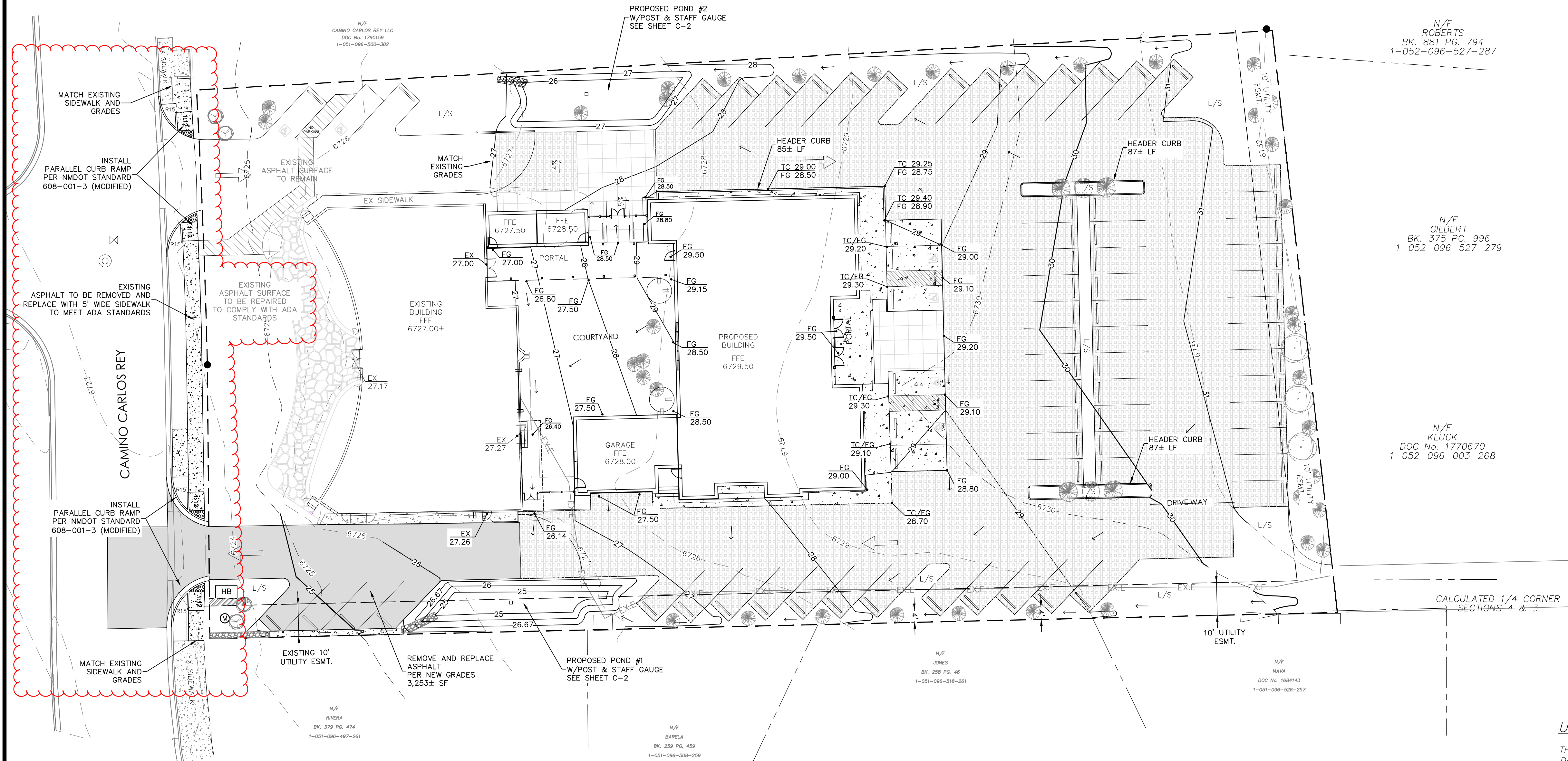
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EARTHWORK NOTE

CUT: 562 CY
 FILL: 181 CY
 NET: 381 CY (EXPORT)

*COMPACTION FACTOR NOT INCLUDED



LEGEND	
---	PROPERTY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
[Pattern]	PROPOSED CONCRETE (SCOURED)
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED PERMEABLE PAVERS
[Pattern]	ASPHALT TO BE REMOVED AND REPLACED
[Symbol]	PROPOSED SPOT ELEVATION FG: FINISHED GRADE TC: TOP OF CURB/ TOP OF CONCRETE TS: TOP OF SIDEWALK
[Arrow]	FLOW DIRECTION
[Symbol]	FFE FINISHED FLOOR ELEVATION

UTILITY NOTE

THE DESIGNER AND ENGINEER HAVE NOT FIELD VERIFIED THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING ABOVE AND UNDERGROUND UTILITIES, OR EXISTING PIPELINES. THE DESIGNER AND ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

TOPOGRAPHY NOTE

THE EXISTING TOPOGRAPHY SURVEY WAS PROVIDED BY AND CERTIFIED BY SOUTHWEST MOUNTAIN SURVEYS.

THE DESIGNER AND ENGINEER HAVE NOT FIELD VERIFIED THE PROVIDED TOPOGRAPHY INFORMATION, AND ASSUME NO RESPONSIBILITY OR LIABILITY OF THE PROVIDED TOPOGRAPHY. THE DESIGNER AND ENGINEER'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING WITHIN THE PROVIDED TOPOGRAPHY SURVEY.

SURVEYOR'S NOTES

- 1) BASIS OF BEARING: POST PROCESSED RTK GNSS OBSERVATION FROM STATE PLANE COORDINATE SYSTEM
 ZONE: NM CENTRAL
 HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: GRS 1980
 ELEVATION: 6727.12
 GROUND TO GRID FACTOR: 0.99990716
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SOUTHWEST MOUNTAIN SURVEYS

1114 HICKOX ST., SANTA FE, N.M. 87501
 (505) 982-9429 FAX (505) 986-3413
 DATE(S): PROJECT No. C-2919

Civil Design Group
 P.O. Box 24154, Santa Fe, NM 87502
 E-Mail: pearl@cdg-nm.com
 Phone: 575-571-5164

ATENCIO ENGINEERING, INC.
 CONSULTING CIVIL ENGINEERS
 4434 VALVERDE COURT
 P.O. BOX 20364
 COLORADO CITY, CO 81019
 57 VENTERO RD
 P.O. BOX 143
 AMALIA, NM 87512
 OFFICE: (719) 678-2551

REVISIONS	
DATE	DESCRIPTION



DESIGN:	PLB	DATE
DRAFTED:	PLB	02/07/25
APPROVAL:	AMA	02/07/25
SCALE:	AS SHOWN	
SHEET SIZE:	24 x 36	
FILE:	205-24-01_Grace Community Church_REV3.dwg	
PROJECT NUMBER:	205-24-01	

CLIENT CONTACT INFO:
GRACE COMMUNITY CHURCH
 2247 CAMINO CARLOS REY
 SANTA FE, NM 87507

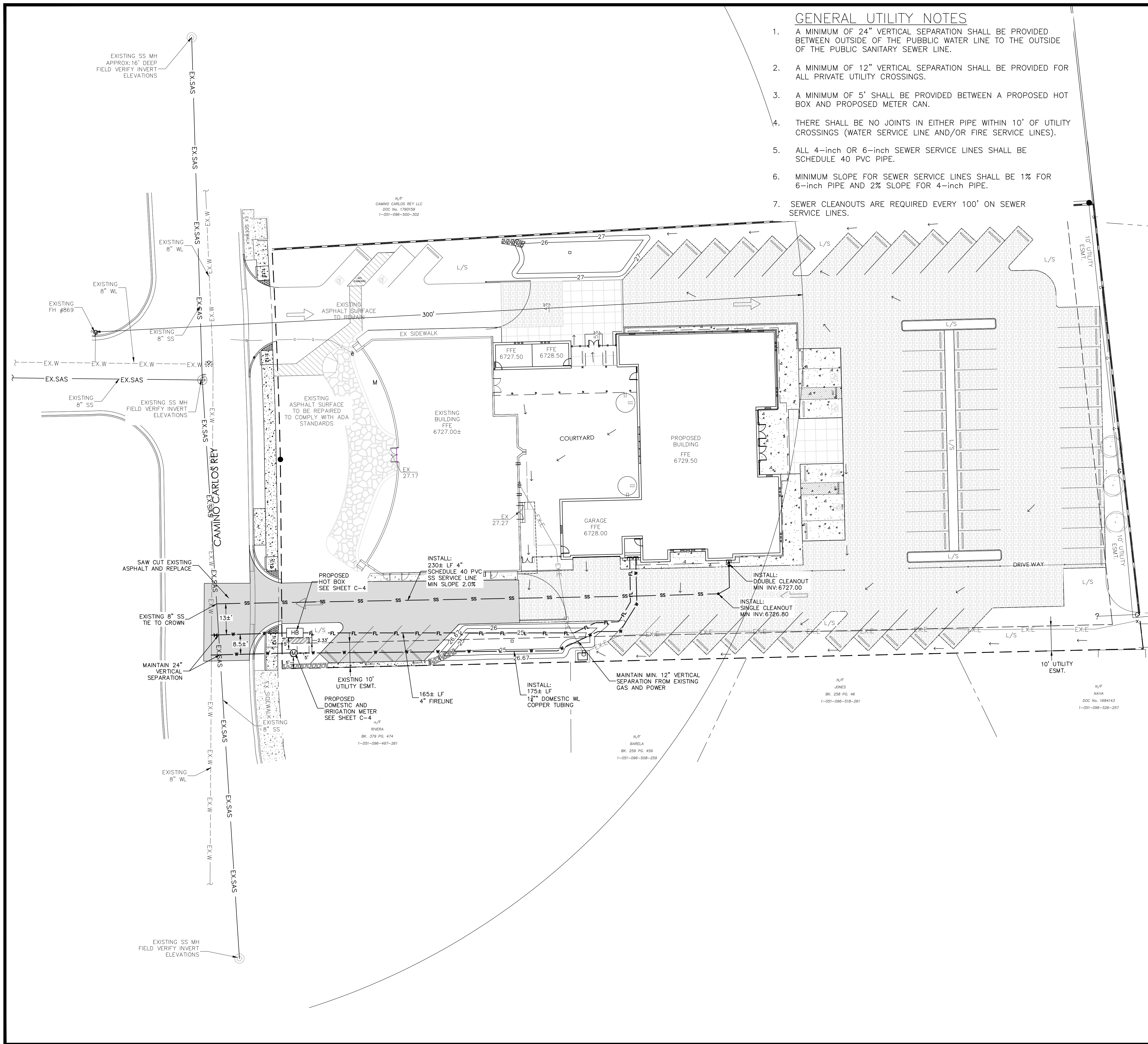
OWNER CONTACT INFO:
GRACE COMMUNITY CHURCH
 SANTA FE, NM 87507

SITE LOCATION:
2247 CAMINO CARLOS REY
SANTA FE, NM 87507

PROJECT NAME:
NEW BUILDING FOR GRACE COMMUNITY CHURCH

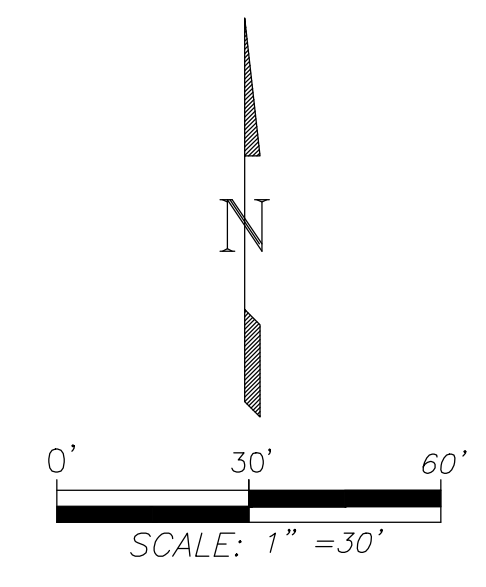
SHEET TITLE:
GRADING PLAN

SHEET NO:
C - 1



GENERAL UTILITY NOTES

1. A MINIMUM OF 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN OUTSIDE OF THE PUBLIC WATER LINE TO THE OUTSIDE OF THE PUBLIC SANITARY SEWER LINE.
2. A MINIMUM OF 12" VERTICAL SEPARATION SHALL BE PROVIDED FOR ALL PRIVATE UTILITY CROSSINGS.
3. A MINIMUM OF 5' SHALL BE PROVIDED BETWEEN A PROPOSED HOT BOX AND PROPOSED METER CAN.
4. THERE SHALL BE NO JOINTS IN EITHER PIPE WITHIN 10' OF UTILITY CROSSINGS (WATER SERVICE LINE AND/OR FIRE SERVICE LINES).
5. ALL 4-INCH OR 6-INCH SEWER SERVICE LINES SHALL BE SCHEDULE 40 PVC PIPE.
6. MINIMUM SLOPE FOR SEWER SERVICE LINES SHALL BE 1% FOR 6-INCH PIPE AND 2% SLOPE FOR 4-INCH PIPE.
7. SEWER CLEANOUTS ARE REQUIRED EVERY 100' ON SEWER SERVICE LINES.



LEGEND	
---	PROPERTY LINE
---	ROW LINE
---	EXISTING WATERLINE
⊕	EXISTING FIRE HYDRANT (FH)
---	EXISTING SANITARY SEWER (SS)
⊙	EXISTING SS MANHOLE
---	EXISTING GAS
---	EXISTING POWER
---	PROPOSED SANITARY SEWER
---	PROPOSED WATERLINE
HB	PROPOSED HOT BOX
⊙	PROPOSED METER
⊙	PROPOSED GATE VALVE AND BOX

UTILITY NOTE

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SANITARY SEWER NOTE

CONTRACTOR SHALL FIELD FIT SEWER LINE WITH 11.25, 22.5, AND 45 DEGREE FITTINGS. NO FITTINGS SHALL EXCEED 45 DEGREES UNLESS LONG SWEEPING ELBOWS ARE USED.

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 Phone: 575-571-5164



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REVISIONS	
DATE	DESCRIPTION



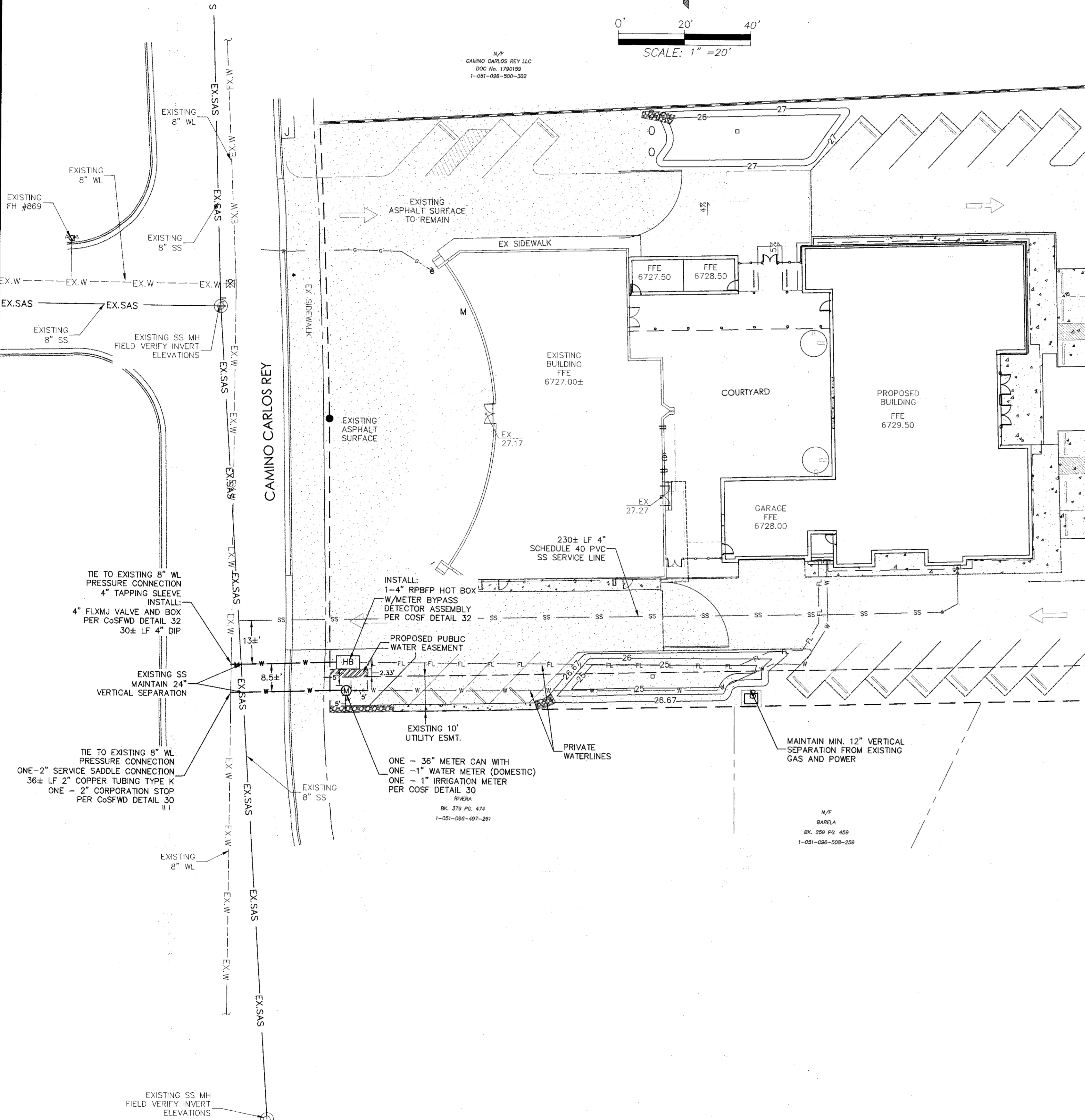
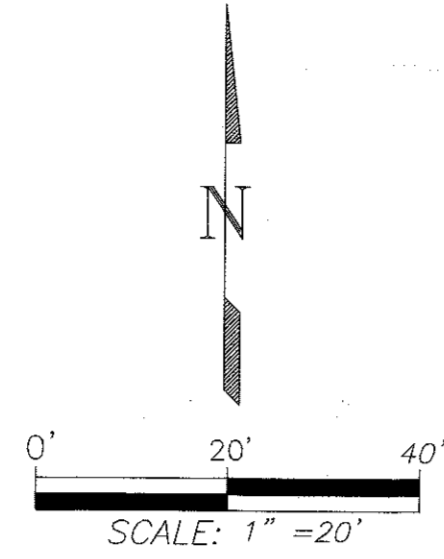
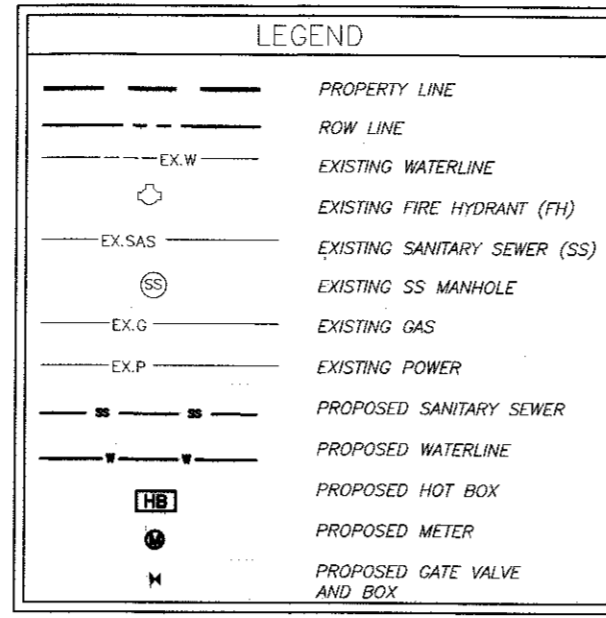
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DRAFTED:	PLB	02/07/25	
APPROVAL:	AMA	02/07/25	
SCALE:	AS SHOWN		
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FILE:	205-24-01_Grace Community Church_REV3.dwg		
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OWNER CONTACT INFO:			
GRACE COMMUNITY CHURCH SANTA FE, NM 87507			
SITE LOCATION:			
2247 CAMINO CARLOS REY SANTA FE, NM 87507			
PROJECT NAME:			
NEW BUILDING FOR GRACE COMMUNITY CHURCH			
SHEET TITLE:			
OVERALL UTILITY PLAN			
SHEET NO:			
C - 3			

GENERAL UTILITY NOTES

1. A MINIMUM OF 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN OUTSIDE OF THE PUBLIC WATER LINE TO THE OUTSIDE OF THE PUBLIC SANITARY SEWER LINE.
2. A MINIMUM OF 12" VERTICAL SEPARATION SHALL BE PROVIDED FOR ALL PRIVATE UTILITY CROSSINGS.
3. A MINIMUM OF 5' SHALL BE PROVIDED BETWEEN A PROPOSED HOT BOX AND PROPOSED METER CAN.
4. THERE SHALL BE NO JOINTS IN EITHER PIPE WITHIN 10' OF UTILITY CROSSINGS (WATER SERVICE LINE AND/OR FIRE SERVICE LINES).
5. METER CAN(S) AND HOT BOX SHALL HAVE A MINIMUM OF 5' OF UNOBSTRUCTED CLEARANCE ON ALL SIDES.
6. BACKFLOW PREVENTERS ARE REQUIRED ON COMMERCIAL AND IRRIGATION SERVICES.

BACKFLOW PREVENTER NOTES

1. SEE LANDSCAPE SHEET L1.3 FOR IRRIGATION BACKFLOW PREVENTER LOCATION.
2. SEE PLUMBING SHEETS FOR DOMESTIC BACKLOW PREVENTER LOCATED INSIDE THE BUILDING.

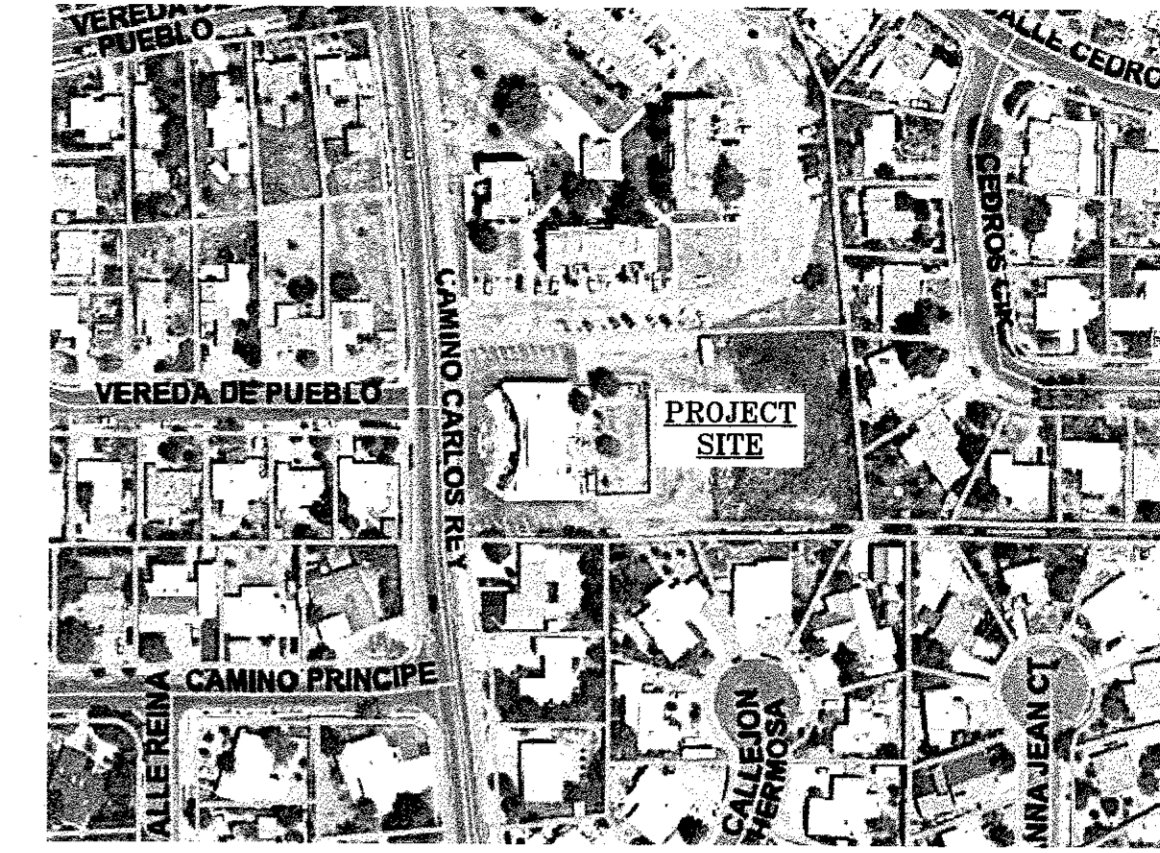


GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (CoSFWD) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
2. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CoSFWD CONSTRUCTION STANDARDS AND SPECIFICATIONS.
3. ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
4. ALL STREETS SHALL BE CUT TO WITHIN ±6" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
5. LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY CoSFWD.
6. CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND CoSFWD DRAWINGS.
7. MATERIAL SUBMITTALS SHALL BE APPROVED BY CoSFWD PRIOR TO CONSTRUCTION.
8. CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
9. PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
10. 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
11. CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO: FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
12. ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
13. FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE CoSFWD FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
14. A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY CoSFWD.
15. ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND CoSFWD.
16. WORK ON CoSFWD FACILITIES SHALL NOT BEGIN UNTIL CoSFWD HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
17. ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.
18. METER CAN(S) AND HOT BOX SHALL HAVE A MINIMUM OF 5' OF UNOBSTRUCTED CLEARANCE ON ALL SIDES.

FIRE SERVICE LINE BACKFLOW PREVENTION

- THE FOLLOWING GUIDELINES SHALL BE FOLLOWED FOR BACKFLOW PREVENTION ON FIRE SERVICE LINES.
1. THE OWNER OR THEIR PLUMBING/FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING BACKFLOW PREVENTION ON THE FIRE SERVICE LINE. CURRENTLY, THE CITY OF SANTA FE REQUIRES REDUCE PRESSURE BACKFLOW PREVENTORS (RPBP) WITH DETECTOR CHECK ON FIRE SERVICE LINES.
 2. RBPB'S MUST BE LOCATED IN AN ABOVE GROUND HOUSING OR IN A MECHANICAL ROOM WHERE ADEQUATE DRAINAGE AND FREEZE PROTECTION IS AVAILABLE. THE RBPB SHALL BE LOCATED AS TO MINIMIZE THE UNPROTECTED LENGTH OF THE FIRE SERVICE LINE. THE TPBP WILL BE LOCATED WITHIN 30 FEET OF THE FIRE SERVICE TAP TO THE MAIN
 3. THE RPP SHALL INCLUDE AN INTEGRAL METERED BYPASS DETECTOR ASSEMBLY. THE BACKFLOW PREVENTOR AND THE METERED BYPASS SHALL BE DESIGNED AND FURNISHED AS A UNIT AND APPROVED BY THE FCCCHR-USC AS A UNIT AND MEET CITY OF SANTA FE STANDARDS.
 4. THE OWNER SHALL PROVIDE CITY OF SANTA FE WATER CO WITH THE PROPOSED LOCATION OF THE RBPB AND THE MAKE AND MODEL NUMBER OF THE PROPOSED RPB ALONG WITH THE MANUFACTURERS' DRAWINGS AND DATA FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. THE RBPB SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS (HORIZONTAL POSITION UNLESS ALTERNATE POSITIONS ARE ALLOWED BY THE MANUFACTURER AND HAVE BEEN APPROVED BY FCCCHR-USC).
 5. A REMOTE METER INSTALLATION SHALL BE FURNISHED BY THE OWNER IN ACCORDANCE WITH CITY OF SANTA FE WATER CO STANDARD DETAIL "REMOTE READING UNIT" AND THE "REMOTE METER INSTALLATION CUSTOMER AGREEMENT" TERMS AND CONDITIONS.



VICINITY MAP
NTS

WATER SERVICE TABLE

(1) SERVICE SIZE	(2) METER SIZE & TYPE DS,FS,IR	BUILDING SERVED
2"	1" DS	2247 CAMINO CARLOS REY
-	1" IR	2247 CAMINO CARLOS REY

FIRE SERVICE DESIGN TABLE

(1) SERVICE SIZE & TYPE DS,FS,IR	(2) REQUIRED FLOW GPM	(3) FS RESIDUAL PRESSURE (PSI)	(4) BUILDING SERVED
4" FS	250	75	2247 CAMINO CARLOS REY

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

* PEAK FLOW IS IN GALLONS PER MINUTE (GPM)
* RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH (PSI) AT THE LISTED FIRE FLOW AT POINT OF CONNECTION TO THE WATER MAIN.

*DS = DOMESTIC SERVICE
*FS = FIRE SERVICE
*IR = IRRIGATION

RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION

AMANDA ATENCIO P.E. 19213 DATE

RECORD MAPPING	_____ / _____ / _____
AS BUILT	_____ / _____ / _____
VALVE MAPS	_____ / _____ / _____
GIS (MAPPING)	_____ / _____ / _____
* Inspector approved	_____ / _____ / _____

PLAT RECORDING INFORMATION

BOOK: _____
PAGE: _____
FILE DATE: _____

APPROVED <i>[Signature]</i> 1-29-25 CITY OF SANTA FE WATER DIVISION DATE		
SANTA FE FIRE DEPARTMENT DATE		
AERIAL	TOWNSHIP RANGE SECTION	WORK ORDER NO.
L-16	T16N R9E S4	

INSPECTOR: _____
DATE: _____

PROJECT NAME:
NEW BUILDING FOR GRACE COMMUNITY CHURCH

SHEET TITLE: **2024**

SHEET NO:
21

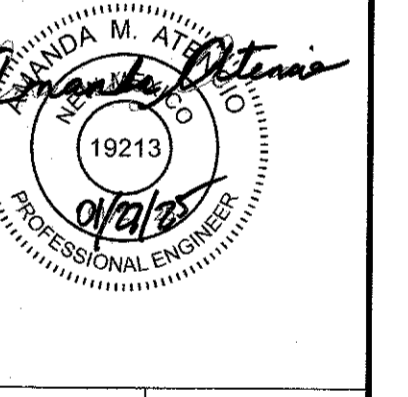
SHEET 1 OF 1 (C4)

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PO Box 24154, Santa Fe, NM 87502
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P.O. BOX 143
AMALIA, NM 87512
OFFICE: (719) 676-2551

REVISIONS

DATE	DESCRIPTION



DESIGN: PLB 01/27/25
DRAFTED: PLB 01/27/25
APPROVAL: AMA 01/27/25
SCALE: AS SHOWN
SHEET SIZE: 24 x 36
FILE: 205-24-01_Grace Community Church_Revs.dwg
PROJECT NUMBER: 205-24-01
CLIENT CONTACT INFO:

GRACE COMMUNITY CHURCH
2247 CAMINO CARLOS REY
SANTA FE, NM 87507

OWNER CONTACT INFO:
GRACE COMMUNITY CHURCH
SANTA FE, NM 87507

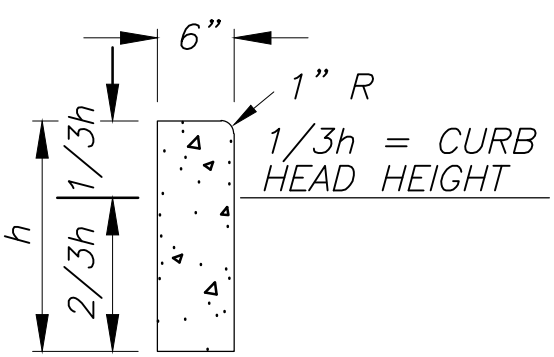
SITE LOCATION:
2247 CAMINO CARLOS REY
SANTA FE, NM 87507

PROJECT NAME:
NEW BUILDING FOR GRACE COMMUNITY CHURCH

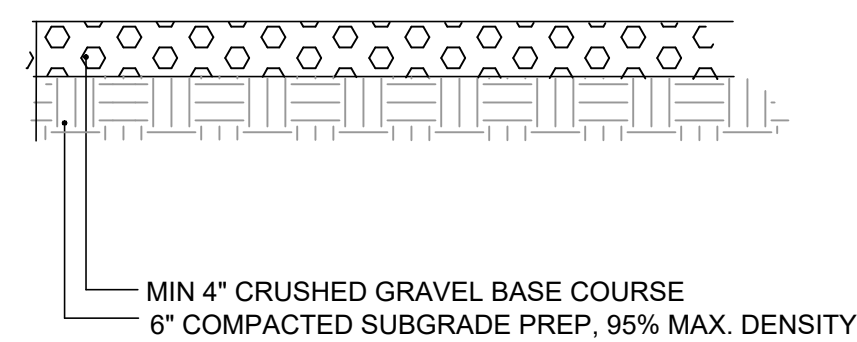
SHEET TITLE: **2024**

SHEET NO:
21

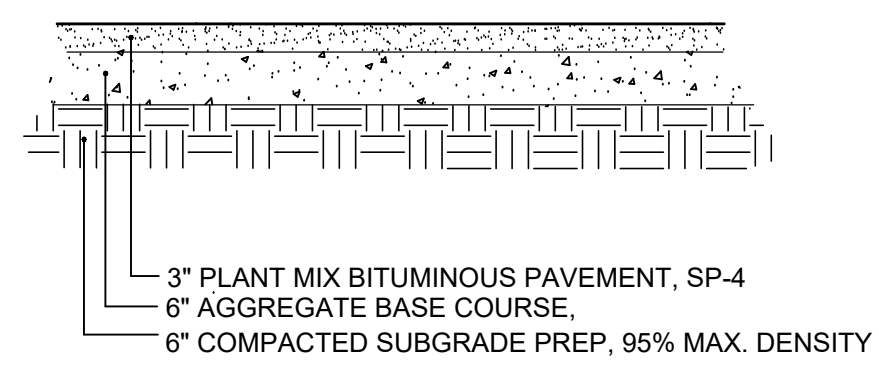
SHEET 1 OF 1 (C4)



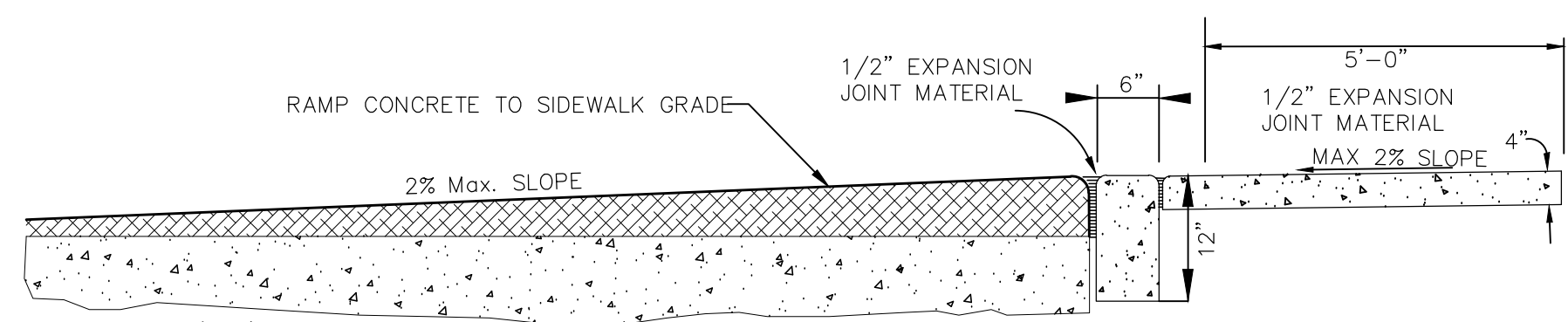
6" CURB HEAD
SCALE: 1" = 2'-0"



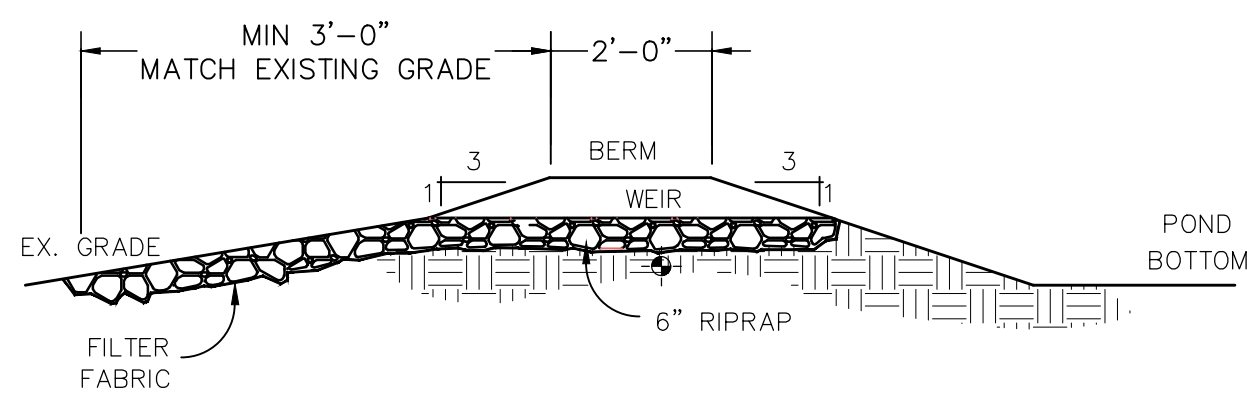
GRAVEL SECTION
NTS



ASPHALT SECTION
NTS

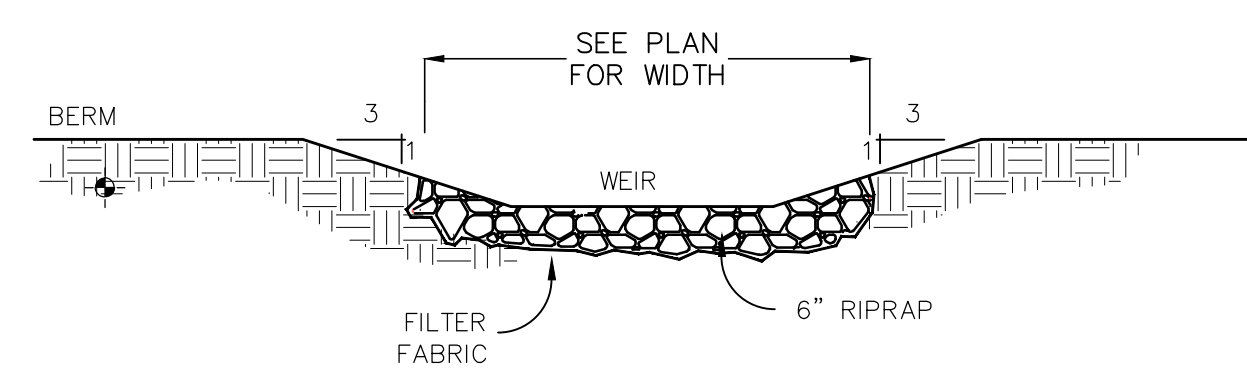


ADA ACCESS WITH SIDEWALK SECTION
NTS

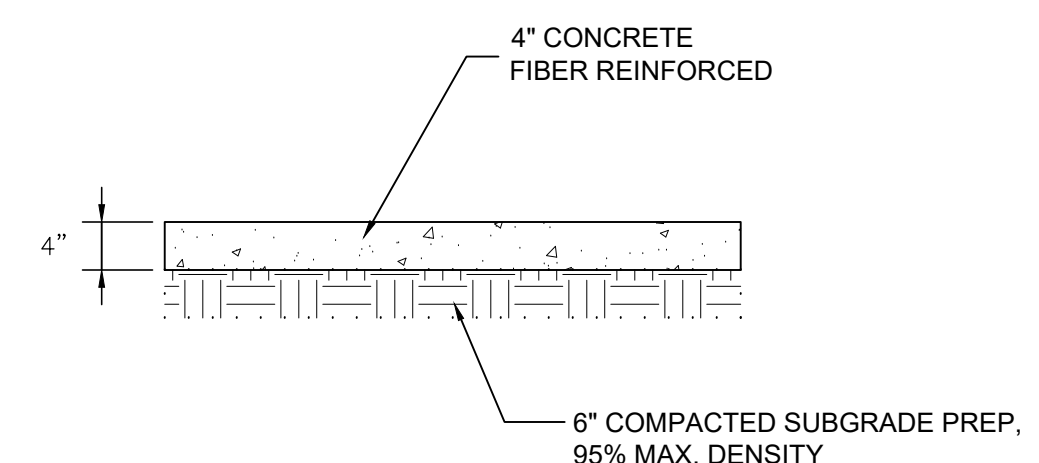


POND BERM DETAIL
NTS

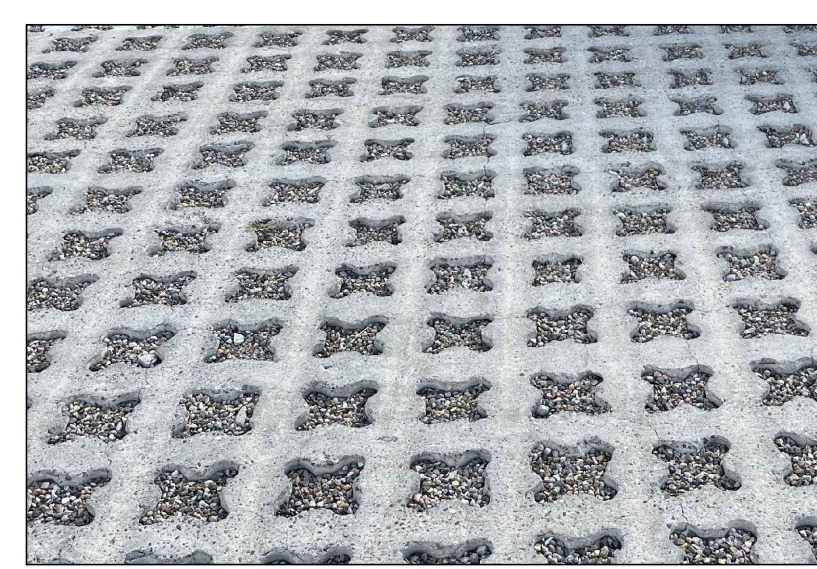
SEE DRAINAGE CALCULATIONS FOR POND ELEVATIONS



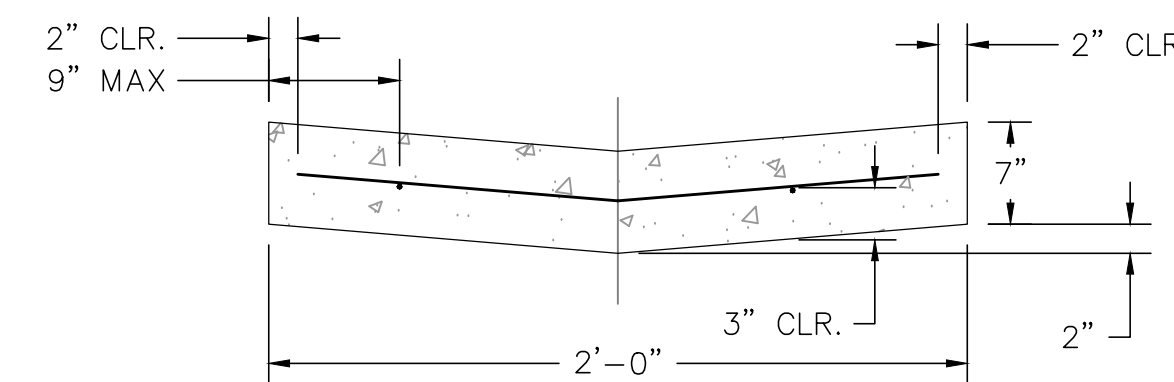
POND WEIR DETAIL
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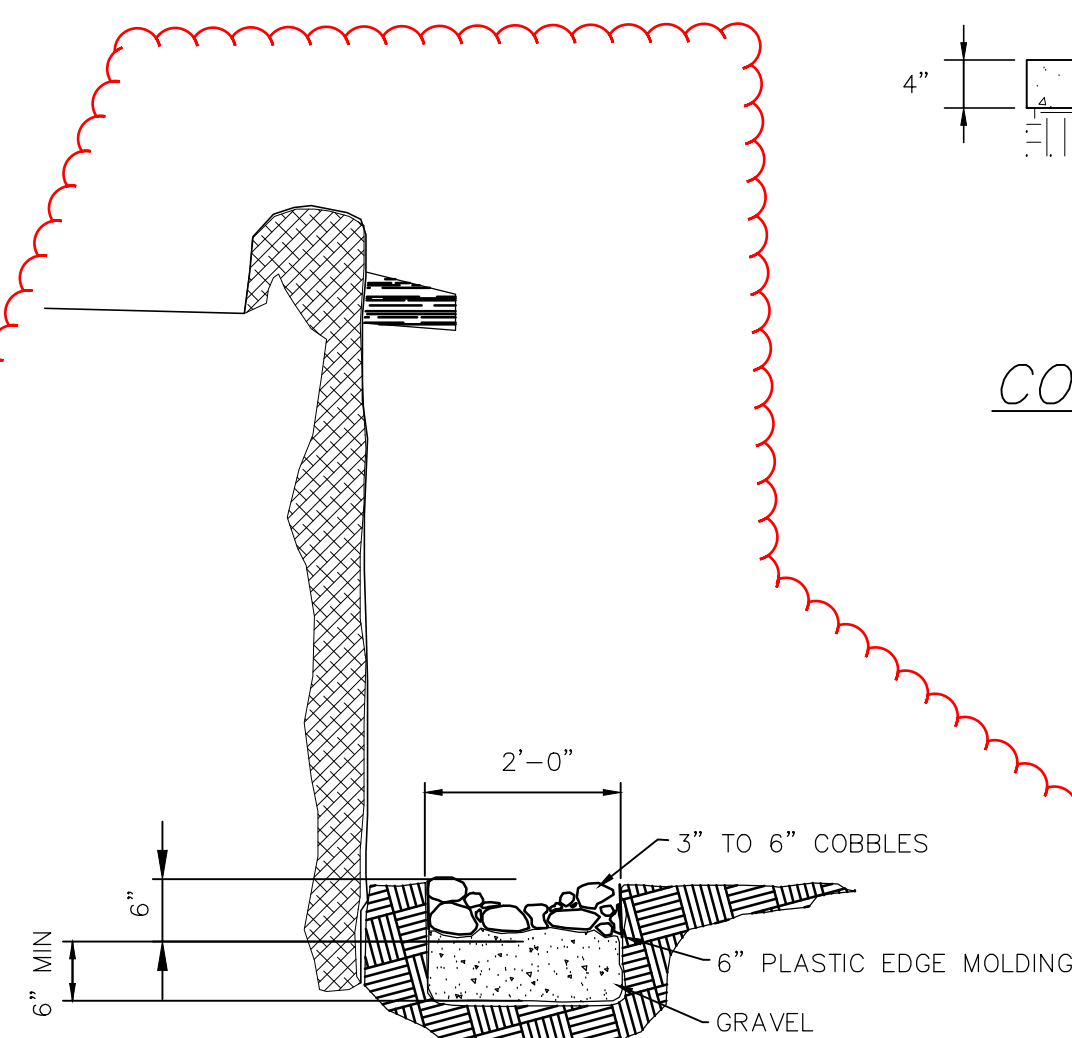
CONCRETE SECTION
SIDEWALK
NTS



PERMEABLE PAVERS
NTS

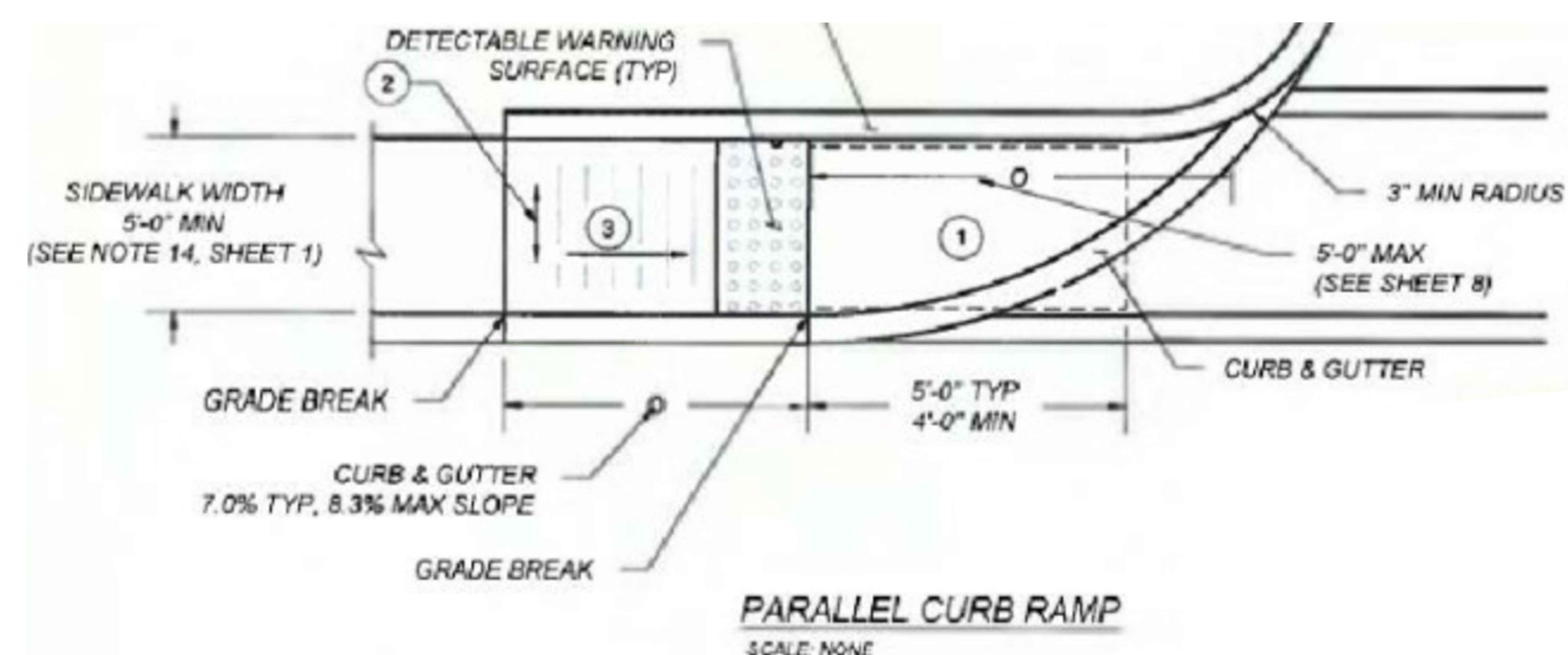


VALLEY GUTTER
NOT TO SCALE

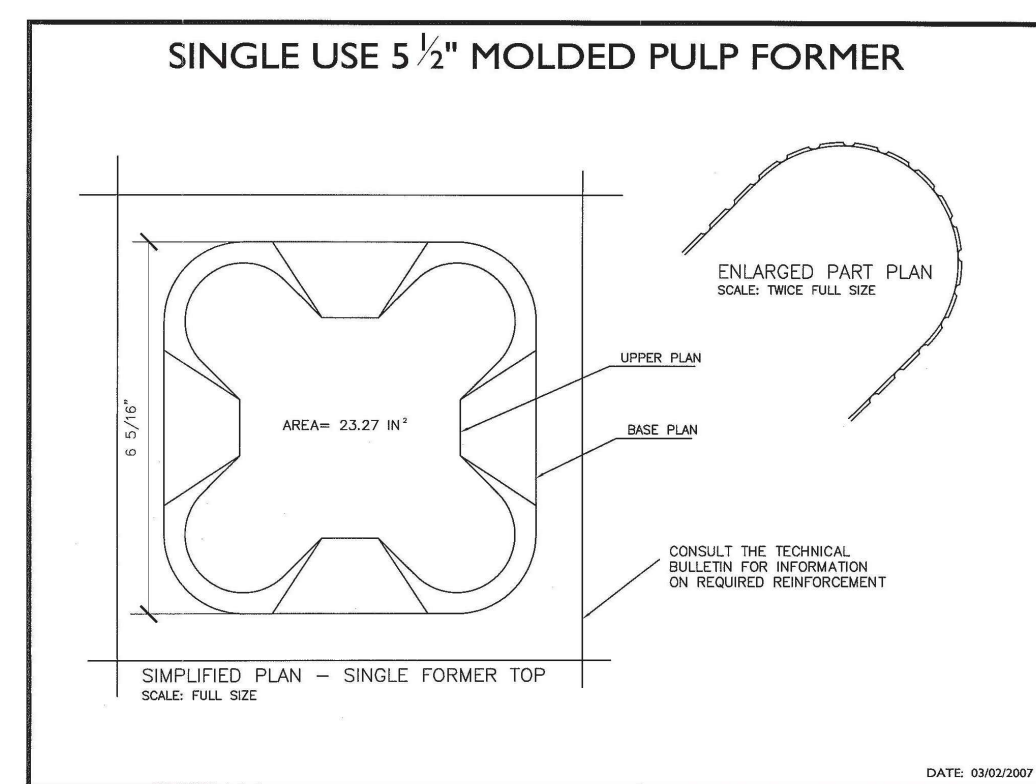


CANALE SPLASH PAD
NTS

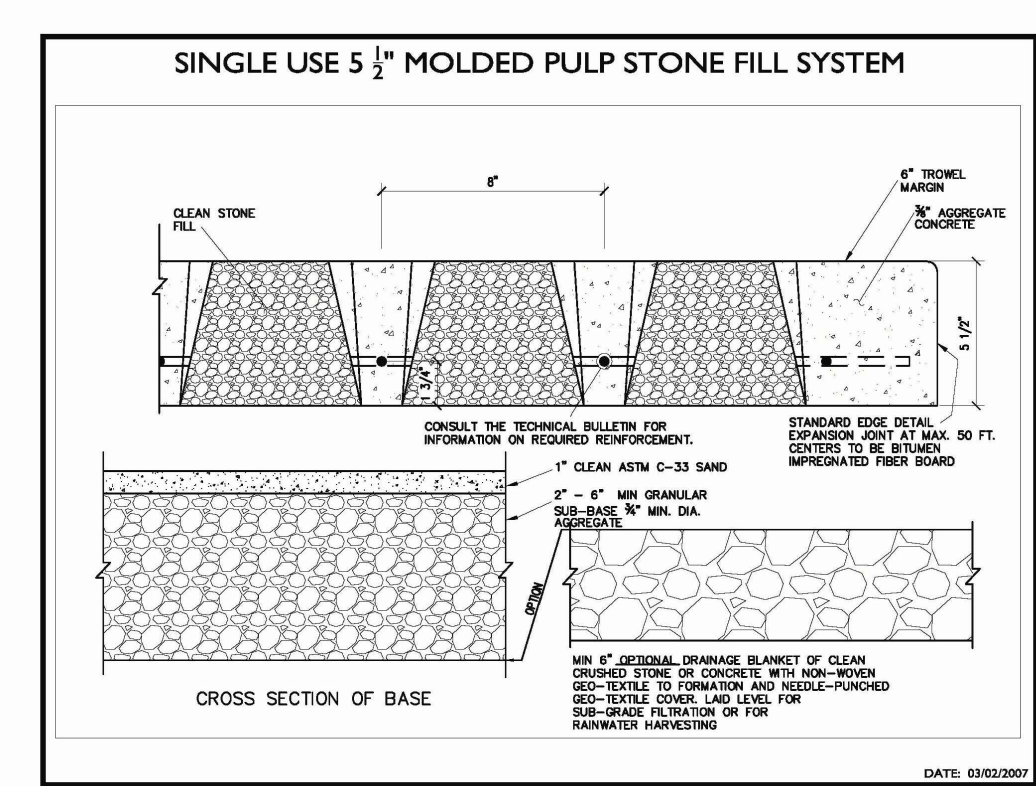
- KEYED NOTES**
- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
 - CROSS SLOPE SHALL BE 3.0% MAX (RECOMMEND 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT YIELD OR STOP CONTROL, TRAFFIC SIGNALS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
 - RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMEND 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHAIRING THE SLOPE UNDESIRABLY. WHEN CONNECTING TO STEEP GRADES, WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
 - GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 - COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
 - FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 9%). MEASURED PARALLEL TO THE BACK OF THE CURB, UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES**
- DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
 - DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THE CONSTRUCTION PLANS AND SHEET 608-001-812 OF THE STANDARD DRAWINGS.
 - IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
 - CONCRETE HEADER CURBS CONSTRUCTED AS PART OF THE CURB RAMP SHALL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608004 AND NO SEPARATE PAYMENT WILL BE MADE.



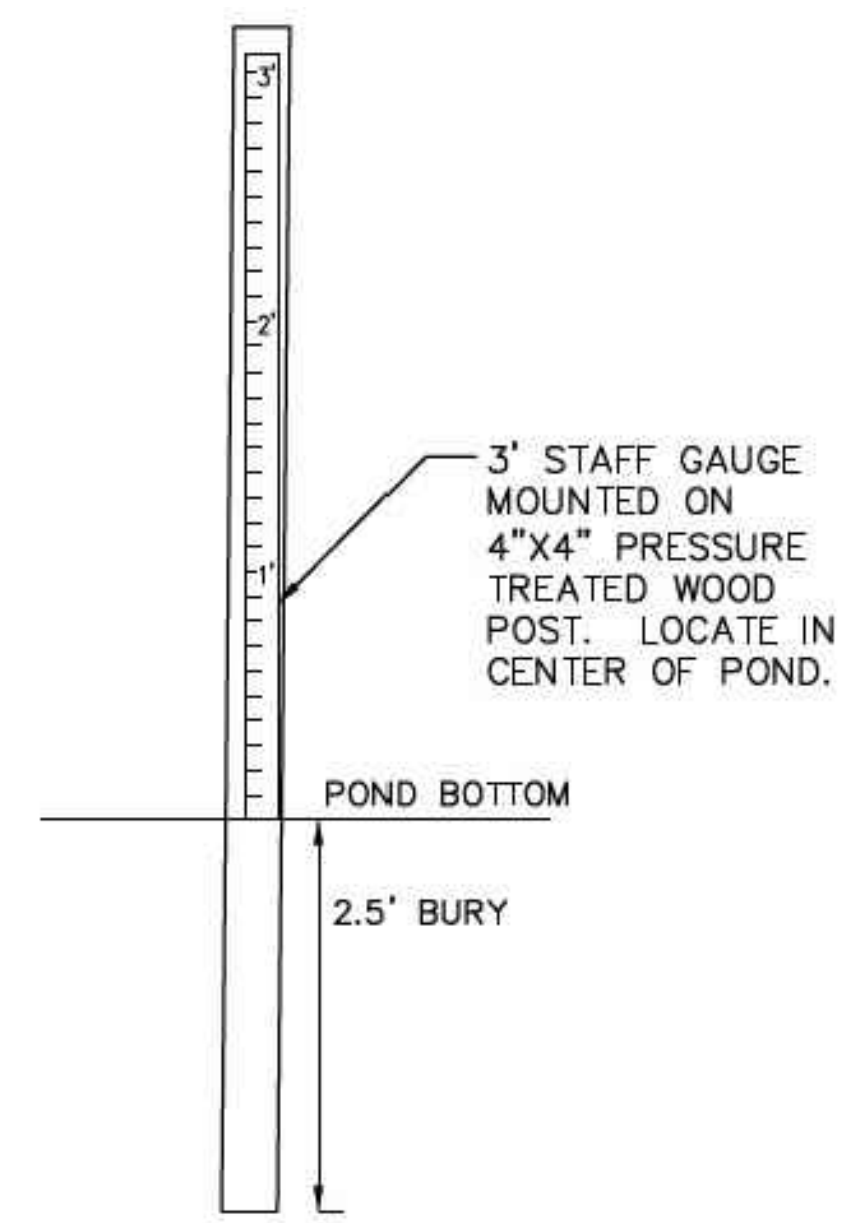
PARALLEL CURB RAMP
SCALE: NONE



SINGLE USE 5 1/2" MOLDED PULP FORMER



SINGLE USE 5 1/2" MOLDED PULP STONE FILL SYSTEM



POST & STAFF GAUGE
NTS

PERMEABLE PAVERS DETAIL
NTS

NO.	DATE	REV. BY	DESCRIPTION

NEW MEXICO
DEPARTMENT OF TRANSPORTATION
STANDARD DRAWING

Civil Design Group
P.O. Box 24154, Santa Fe, NM 87502
E-Mail: pearl@cdg-nm.com
Phone: 575-571-5164



ATENCIO ENGINEERING, INC.
CONSULTING CIVIL ENGINEERS
4434 VALVERDE COURT
P.O. BOX 20364
COLORADO CITY, CO 81019
57 VENTERO RD
P.O. BOX 143
AMALIA, NM 87512
OFFICE: (719) 676-2551

REVISIONS	
DATE	DESCRIPTION



	DATE
DESIGN: PLB	02/07/25
DRAFTED: PLB	02/07/25
APPROVAL: AMA	02/07/25
SCALE: AS SHOWN	
SHEET SIZE: 24 x 36	
FILE: 205-24-01_Grace Community Church_REV3.dwg	
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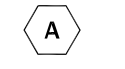
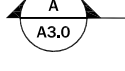
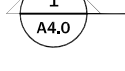
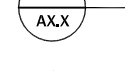
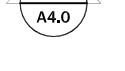






SITE LOCATION:
**2247 CAMINO CARLOS REY
SANTA FE, NM 87507**

PROJECT NAME:
NEW BUILDING FOR GRACE COMMUNITY CHURCH

SHEET TITLE:
CONSTRUCTION DETAILS

SHEET NO:
C - 5

LEGEND

	Wall Type (see wall type schedule)
	Door Type (see door schedule)
	Window Type (see window schedule)
	Building Section
	Wall Section
	Detail Number
	Elevation (without line)
	Interior Elevation Mark
	Elevation Mark
	Room Name / Number
	Column Line
	Centerline
	Revision Tag

A.C.I.	AMERICAN CONCRETE INSTITUTE
BLDG.	BUILDING
CONC.	CONCRETE
C.J.	CONTROL JOINT
COL.	COLUMN
DET.	DETAIL
DIA.	DIAMETER
DN.	DOWN
EL/ELEV.	ELEVATION
ELEC.	ELECTRICAL
EQ.	EQUAL
FIN.	FINISH
FLR.	FLOOR
GALV.	GALVANIZED
GYP.	GYP SUM
I.D.	INSIDE DIAMETER
JT.	JOINT
MECH.	MECHANICAL
MIN.	MINIMUM
N.T.S.	NOT TO SCALE
NO.	NUMBER
O.C.	ON CENTER
OPG.	OPENING
O.D.	OUTSIDE DIAMETER
U.N.O.	UNLESS NOTED OTHERWISE
REF.	REFERENCE
R.	RISER
R.O.	ROUGH OPENING
RM.	ROOM
S/STL.	STAINLESS STEEL
STRUCT.	STRUCTURAL
SPEC.	SPECIFICATIONS
T.O.	TOP OF (...)
T.O.CONC.	TOP OF CONCRETE
T.O.F.	TOP OF FRAMING
T.O.STL.	TOP OF STEEL
T.O.W.	TOP OF WALL
T.	TREAD
TYP.	TYPICAL
@	AT
+	AND
BD.	BOARD
A.F.F.	ABOVE FINISHED FLOOR
U.N.O.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD

ENERGY CODE

2021 IECC CODE REQUIRED MINIMUMS
as amended by the State of New Mexico

COMMERCIAL - METAL BUILDING

SYSTEM	for CLIMATE ZONE:	SANTA FE = 5B
Windows:	U-value:	0.30
Skylights:	U-value:	0.55
Ceiling:	R: 19 + R: 11 LS	
Walls:	R: 13 + R: 14 ci	
Floor:	R: 30	
Crawlspace:	R: 10 ci	
Slab:	R: 20	24" depth

SITE NOTES

REFER TO ELECTRICAL DRAWINGS
AS PER SANTA FE LAND DEVELOPMENT CODE - SECTION 14.8.9

AVERAGE MAINTAINED HORIZONTAL FOOT CANDLES AT GRADE
C-2 ZONE

AREA	LIGHT LEVEL
SIDEWALKS	1 fc
PEDESTRIAN AREA	2 fc
PARKING LOTS	1 fc
BUILDING ENTRIES	5 fc
BUILDING GROUNDS	1 fc
PUBLIC SPACES	3 fc

THE MAXIMUM ILLUMINATION AT ANY POINT SHALL NOT EXCEED THE ALLOWED
AVERAGE BY MORE THAN 1.5 FOOTCANDLES

NEW ROADWAYS, SIDEWALKS, BIKE PATHS, LANDSCAPE BUFFERS TO BE
CONSTRUCTED BY CITY OF SANTA FE AS PART OF THE
MIDTOWN COMMUNITY DEVELOPMENT PLAN

ARCHITECTURAL DESIGN REVIEW 14-8.7-1
C-2 ZONE 205 POINTS REQUIRED
224 POINTS PROVIDED

DRAINAGE FACILITIES MAINTENANCE NOTES

ALL DRAINAGE FACILITIES SHALL BE MAINTAINED BY ALL PROPERTY OWNERS. THE PROPERTY OWNERS SHALL ALSO HAVE THE RESPONSIBILITY FOR MAINTENANCE OF THE PUBLIC DRAINAGE EASEMENT.

INSPECTIONS SHALL BE CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO OR OTHER QUALIFIED PERSON. INSPECTIONS SHALL BE CONDUCTED ON THE DRAINAGE FACILITIES IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

ON OR ABOUT MARCH 15, ON OR ABOUT SEPTEMBER 15, AND AFTER EACH STORM EVENT OF 1-INCH OR GREATER. MAINTENANCE OF THE DRAINAGE FACILITIES SHALL BE CONDUCTED AND DOCUMENTED BY THE ENGINEER OR QUALIFIED PERSON AND THE OWNER. THE OWNER SHALL MAINTAIN A FILE OF THE INSPECTIONS AND REMEDIAL ACTION CONDUCTED ON THE DRAINAGE FACILITIES.

WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS, AND SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

- FLUSH ALL CULVERTS, DROP INLETS AND DRAINAGE PIPES TO REMOVE SEDIMENT AND VEGETATION THAT PREVENTS OR HINDERS THE FLOW OF STORM WATER IN THE DRAINAGE STRUCTURE(S).
- REMOVE SEDIMENT IN PONDS THAT IS GREATER THAN 6-INCHES IN DEPTH, AND IF NECESSARY, RESEED WITH NATIVE GRASSES AND INSTALL FILTER FABRIC AND 3 TO 4 INCH COBBLE AS DIRECTED BY THE ENGINEER.
- INSPECT FOR SEDIMENTATION IN ALL SWALES, DITCHES, DRAINAGE PONDS AND REMOVE AND STABILIZE AS NECESSARY.
- INSPECT FOR SOIL EROSION AT ALL DRAINAGE PONDS, CUT AND FILL SLOPES, AND REPAIR OR STABILIZE ACCORDINGLY.
- INSPECT THE STRUCTURAL INTEGRITY OF DRAINAGE PONDS, SLOPES, RIP-RAP, GABIONS, DROP INLETS, CULVERTS, ENERGY DISSIPATORS, AND RETAINING WALLS, ROCK PLATING, EROSION CONTROL MATS OR BLANKETS, AND REPAIR OR STABILIZE ACCORDINGLY.

GUNNISON'S PRAIRIE DOG NOTES

THE PROJECT SHALL COMPLY WITH THE PROVISIONS OF THE GUNNISON'S PRAIRIE DOG ORDINANCE (ARTICLE 14-8.12).

DUST CONTROL NOTES

ALL ON-SITE SOIL DISTURBING CONSTRUCTION ACTIVITIES SHALL BE ADDRESSED AND PROVIDE MEASURES TO MITIGATE OR CONTROL DUST FROM BEING TRANSPORTED OFFSITE AND POLLUTING NEIGHBORING PROPERTIES.

ANY PERSON, OWNER, CONTRACTOR OR OPERATOR WHO CONDUCTS EARTH-MOVING AND/OR DUST GENERATING ACTIVITIES IS RESPONSIBLE FOR IMPLEMENTING BEST MANAGEMENT PRACTICES (BMPS) IN ORDER TO MITIGATE OFF-PROPERTY TRANSPORT OF FUGITIVE DUST EMISSIONS.

A PLAN, OR STORM WATER PREVENTION PLAN (SWPPP) WHEN APPLICABLE, LISTING THE BEST MANAGEMENT PRACTICES (BMPS), SHALL BE PROVIDED TO THE CITY ENGINEER, OR THEIR DESIGNEE FOR REVIEW AND APPROVAL. THE APPROVED BMPS SHALL BE APPLIED TO THE GRADED AND/OR DISTURBED SOIL IN ORDER TO STABILIZE THE SITE.

THE INITIAL BMP SHALL ADDRESS HOW THE CONTRACTOR WILL MINIMIZE THE AMOUNT OF DISTURBED SOIL AND HOW THE CONTRACTOR WILL STABILIZE THE DISTURBED SURFACE AREA EXPOSED TO WIND OR VEHICLE TRAFFIC DURING CONSTRUCTION.

SOME BMPS SHALL INCLUDE:

- THE REDUCTION OF VEHICLE SPEEDS: ESTABLISH A MAXIMUM SPEED LIMIT OR INSTALL TRAFFIC CALMING DEVICES TO REDUCE SPEEDS TO A RATE TO MITIGATE OFF-PROPERTY TRANSPORT OF DUST ENTRAINED BY VEHICLES.
- THE MINIMIZATION OF DROP HEIGHT: DRIVERS AND OPERATORS SHALL UNLOAD TRUCK BEDS AND LOADER OR EXCAVATOR BUCKETS SLOWLY, AND MINIMIZE DROP HEIGHT OF MATERIALS TO THE LOWEST HEIGHT POSSIBLE.
- HIGH WINDS RESTRICTION: TEMPORARILY HALT WORK ACTIVITIES DURING HIGH WIND EVENTS GREATER THAN 30 MPH IF OPERATIONS WOULD RESULT IN OFF-PROPERTY TRANSPORT.
- RESTRICT ACCESS: RESTRICT ACCESS TO THE WORK AREA TO ONLY AUTHORIZED VEHICLES AND PERSONNEL.

IN THE EVENT THE ABOVE PRACTICES ARE INEFFECTIVE TO PREVENT OFF PROPERTY TRANSPORT, THE OWNER OR OPERATOR SHALL USE AT ONE OR MORE OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPS):

- WET SUPPRESSION: APPLY WATER TO DISTURBED SOIL SURFACES, BACKFILL MATERIALS, SCREENINGS, AND OTHER DUST GENERATING OPERATIONS AS NECESSARY AND APPROPRIATE CONSIDERING CURRENT WEATHER CONDITIONS, AND PREVENT WATER USED FOR DUST CONTROL FROM ENTERING ANY PUBLIC RIGHT-OF-WAY, STORM WATER DRAINAGE FACILITY, OR WATERCOURSE.
- WIND BARRIER: CONSTRUCT A FENCE OR OTHER TYPE OF WIND BARRIER TO PREVENT WIND EROSION OF THE GRADED OR DISTURBED SURFACE.
- VEGETATION: PLANT VEGETATION APPROPRIATE FOR RETAINING SOILS OR CREATING A WIND BREAK.
- SURFACE ROUGHENING: STABILIZE AN ACTIVE CONSTRUCTION AREA DURING PERIODS OF INACTIVITY OR WHEN VEGETATION CANNOT BE IMMEDIATELY ESTABLISHED.
- COVER: INSTALL COVER MATERIALS SUCH AS TACKIFIERS, EROSION CONTROL BLANKETS, GRAVEL, VEGETATION (WHEN APPROPRIATE), COLD-MILLINGS, ETC., DURING PERIODS OF INACTIVITY AND PROPERLY ANCHOR THE COVER.
- SOIL RETENTION: STABILIZE DISTURBED OR EXPOSED SOIL SURFACE AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS OR WHILE VEGETATION IS BEING ESTABLISHED.

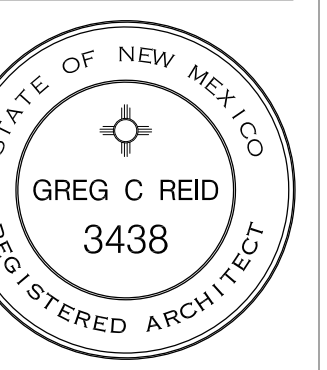
GENERAL NOTES

- GENERAL CONDITIONS OF THE CONTRACT (AIA DOCUMENT A-201) APPLY TO THIS PROJECT.
- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES OR AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- ALL BUILDING FACILITIES AND CONDITIONS, BOTH INTERIOR AND EXTERIOR, SHALL BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (A.D.A) AND ALL FEDERAL, STATE, AND LOCAL CODES TO ENSURE ACCESSIBILITY FOR ALL.
- ESTABLISH AND MAINTAIN PROJECT SAFETY DURING CONSTRUCTION TO PROTECT PERSONNEL, TENANTS, AND BUILDING OCCUPANTS. REQUIREMENTS INCLUDE, BUT SHALL NOT BE LIMITED TO OSHA PART 1926 LATEST EDITION.
- THE GENERAL CONTRACTOR SHALL ARRANGE ALL INSPECTIONS AND TESTS AS SPECIFIED OR REQUIRED BY THE BUILDING DEPARTMENT AND SHALL PAY ALL COSTS AND FEES FOR SAME. THE CONTRACTOR SHALL SECURE ALL BUILDING PERMITS AND UPON COMPLETION OF THE PROJECT (PRIOR TO FINAL PAYMENT) DELIVER TO THE OWNER A CERTIFICATE OF OCCUPANCY OR USE FROM THE BUILDING DEPARTMENT.
- ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY STATE LICENSED CONTRACTORS. CONTRACTORS SHALL SUBMIT ALL REQUIRED PERMITS, CERTIFICATES, AND SIGN-OFFS TO OWNER AND ARCHITECT FOR THEIR RECORDS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, BE FAMILIAR WITH THE EXISTING CONDITIONS, AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMISSION OF CONSTRUCTION PROPOSAL AND BEFORE COMMENCEMENT OF THE WORK. THE DRAWINGS REFLECT CONDITIONS REASONABLY INFERRED FROM THE EXISTING VISIBLE CONDITIONS BUT CANNOT GUARANTEED BY THE ARCHITECT. DRAWINGS MAY BE SCALED FOR ESTIMATING PURPOSES AND FOR GENERAL REFERENCE ONLY. FOR ALL OTHER DIMENSIONS OR LOCATIONS CONSULT THE ARCHITECT OR REFER TO DIMENSIONS ON DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD.
- CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS, LOCATIONS, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT (WHETHER SUPPLIED BY THE OWNER OR OTHERS) WITH THE SUPPLIER OR MANUFACTURER PRIOR TO THE START OF RELATED WORK.
- THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS FOR TRADES SUCH AS ELECTRICAL, PLUMBING, ETC.
- THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL PROVIDE AND MAINTAIN ACCESS TO THE PREMISES AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND KEEP OUT ALL UNAUTHORIZED PERSONS. UPON COMPLETION OF WORK, THE ENTIRE CONSTRUCTION AREA IS TO BE THOROUGHLY CLEANED AND PREPARED FOR OCCUPANCY BY OWNER. ALL MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. CARE SHALL BE TAKEN DURING CONSTRUCTION THAT NO DEBRIS OR MATERIALS ARE DEPOSITED IN ANY RIGHT OF WAY AREA.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING AND NEW CONDITIONS AND MATERIALS ON THE SITE. ANY DAMAGE CAUSED BY OR DURING THE EXECUTION OF THE WORK IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- ANY VARIATIONS FROM INDICATED DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE ARCHITECT.
- NO CUTTING OR DAMAGE TO BUILDING STRUCTURAL COMPONENTS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- PROVIDE BRACING, BLOCKING, AND/OR STRUCTURE AS REQUIRED TO FACILITATE INSTALLATION OF ALL WALL AND MILLWORK MOUNTED EQUIPMENT, IN NEW AND EXISTING WALLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE SUPPORT REQUIRED TO MAINTAIN THE INTEGRITY OF THE WALLS AND THE SECURITY OF THE EQUIPMENT.
- ALL WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS. WOOD BLOCKING SHALL BE MOISTURE TREATED IF LOCATED IN DAMP LOCATIONS OR ADJACENT TO CONCRETE OR MASONRY CONSTRUCTION. IF WOOD BLOCKING IS NOT PERMITTED BY CODE, THEN METAL STRIPS SHALL BE USED.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD DIMENSIONS OF ALL MILLWORK, GLASS, DOOR OPENINGS, AND OTHER STRUCTURES PRIOR TO COMMENCEMENT OF FABRICATION.
- ALL WORK SHALL CONFORM IN QUALITY TO ACCEPTED INDUSTRY STANDARDS. ALL MILLWORK SHALL CONFORM TO A.W.I. PREMIUM GRADE STANDARDS, UNLESS OTHERWISE NOTED.
- THE MATERIALS USED FOR CONSTRUCTION OF SPACE SHALL NOT CONTAIN ASBESTOS, P.C.B. OR ANY OTHER HAZARDOUS MATERIALS OF ANY TYPE. MANUFACTURERS' NAMES AND TRADEMARKS SHALL NOT BE PROMINENTLY VISIBLE TO THE PUBLIC.
- ALL WALLS TO BE LAID OUT AT 90-DEGREE ANGLES UNLESS OTHERWISE NOTED.
- THE SCOPE OF WORK OF ALL TRADES IS TO INCLUDE ALL MATERIALS AND LABOR REQUIRED TO TOTALLY COMPLETE THE PROJECT AND BE FUNCTIONALLY CONSISTENT WITH THE DESIGN INTENT AS EXPRESSED IN THE CONSTRUCTION DOCUMENTS.
- ALL UTILITIES SHALL BE CONNECTED TO PROVIDE GAS, ELECTRIC, AND WATER TO ALL EQUIPMENT WHETHER SAID EQUIPMENT IS IN CONTRACT OR NOT. EQUIPMENT SHALL BE GUARANTEED TO FUNCTION PROPERLY UPON COMPLETION.
- MANUFACTURERS STANDARD SPECIFICATIONS AND MATERIALS APPROVED FOR PROJECT USE ARE HEREBY MADE PART OF THESE NOTES WITH SAME FORCE AND EFFECT AS IF WRITTEN OUT IN FULL HEREIN. ALL APPLIANCES, FIXTURES, EQUIPMENT, HARDWARE, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND PROCEDURES.
- THERMOSTATS SHALL NOT BE LOCATED IN THE CENTER OF A WALL, ON AN ACCENT/SPECIALTY WALL, OR IN A LOCATION WHICH CONFLICTS WITH FURNISHINGS WITHOUT THE ARCHITECT'S APPROVAL.
- WRITTEN WORDS TAKE PRECEDENCE OVER DRAWN LINES. LARGE-SCALE DETAILS AND PLANS TAKE PRECEDENCE OVER SMALLER DETAILS AND PLANS. SHOULD A CONFLICT ARRIVE BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE REQUIREMENTS DEEMED MOST STRINGENT SHALL BE USED.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS.
- ALL ARCHITECTURAL DRAWINGS AND CONSTRUCTION NOTES ARE COMPLIMENTARY. WHAT IS INDICATED AND CALLED FOR BY ONE SHALL BE BINDING AS THOUGH CALLED FOR BY ALL. NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS OR INTENT OF SAME SHALL BE MADE WITHOUT THE ARCHITECT'S WRITTEN AUTHORIZATION.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL APPROVAL. THE GENERAL CONTRACTOR SHALL SIGN THE WRITTEN GUARANTEE AS PROVIDED BY THE OWNER. THE GUARANTEE SHALL COVER ALL GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THIS PERIOD SHALL BE REPAIRED TO THE OWNERS SATISFACTION AT THE CONTRACTORS EXPENSE.
- ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF STRUCTURE UNLESS OTHERWISE NOTED.
- DOOR AND WINDOW DETAILS ARE INDICATED ON THE DOOR AND WINDOW SCHEDULES. DOOR AND WINDOW DIMENSIONS ARE TO CENTERLINES OF UNITS UNLESS OTHERWISE NOTED.

New Building for
Grace Community Church
2247 Camino Carlos Rey
Santa Fe, New Mexico 87507

PLAN A ARCHITECTURE
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Key Plan

Date **10-4-24**
Job No. **149**

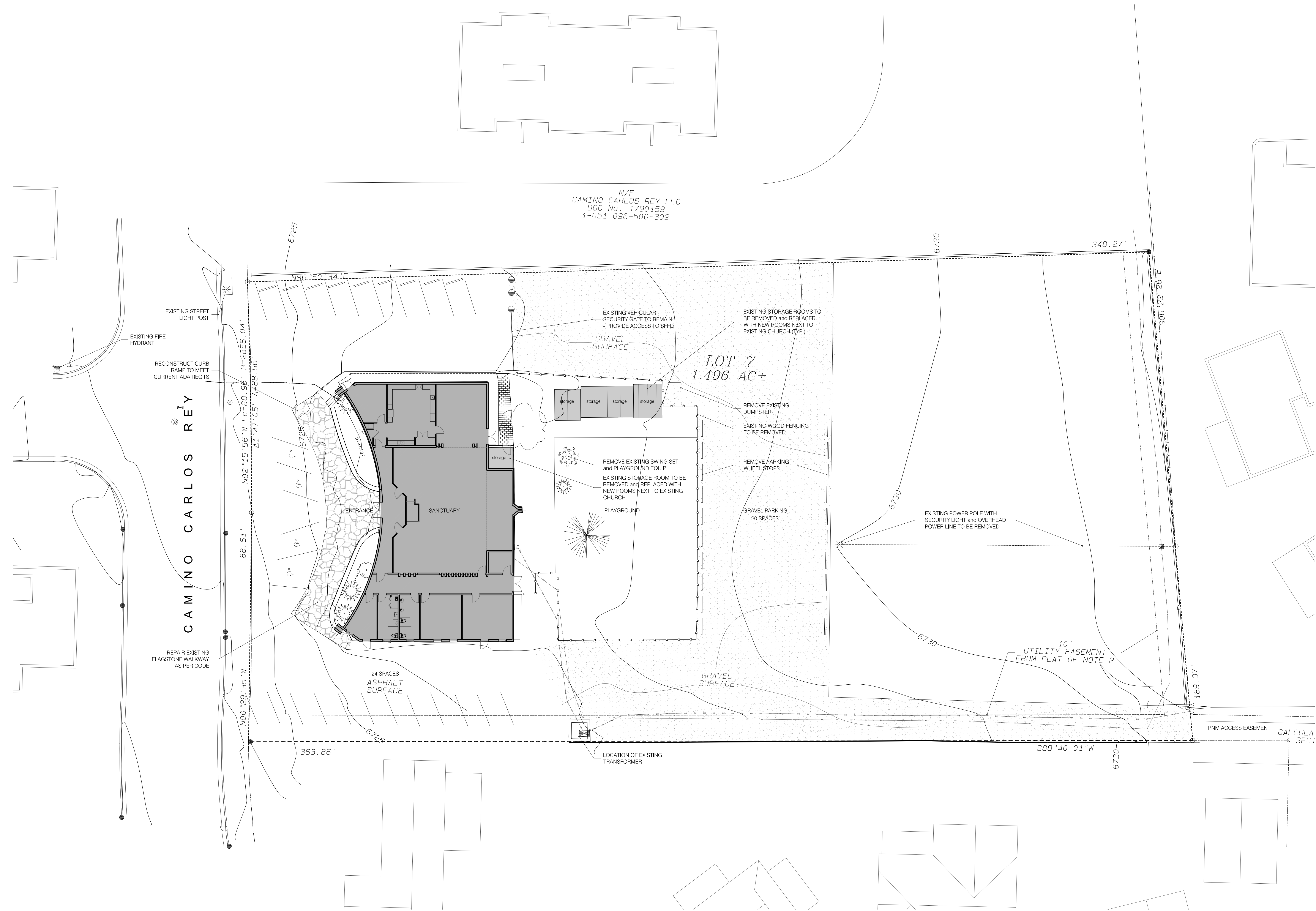
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1	Devel. Review	12-18-24
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GENERAL NOTES

Scale --
Sheet

A0.1

Special Use Submittal

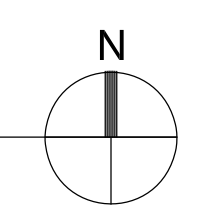


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 CAMINO CARLOS REY LLC
 DOC No. 1790159
 1-051-096-500-302

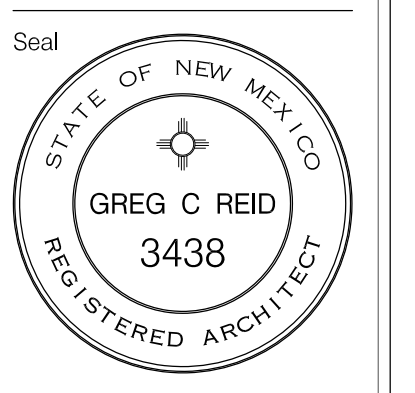
LOT 7
 1.496 AC±

CAMINO CARLOS REY

1 EXISTING SITE PLAN
 1/16" = 1'-0"



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**New Building for
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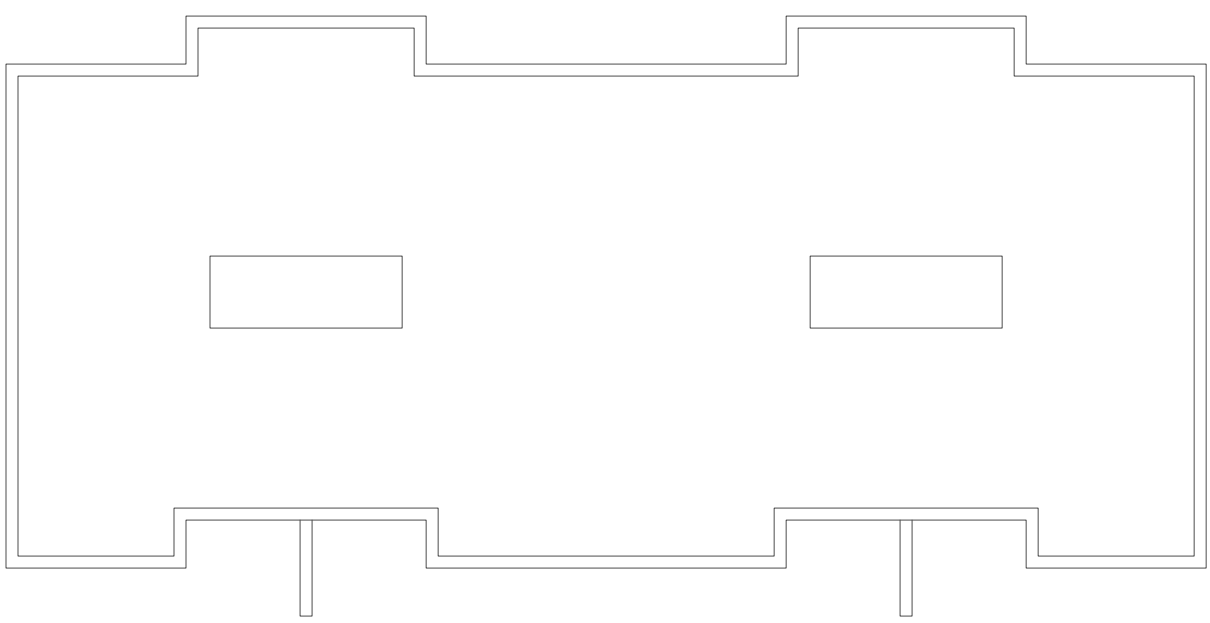
Key Plan

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Revisions	
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**EXISTING
 SITE PLAN**

Scale 1/16" = 1'-0"

Sheet

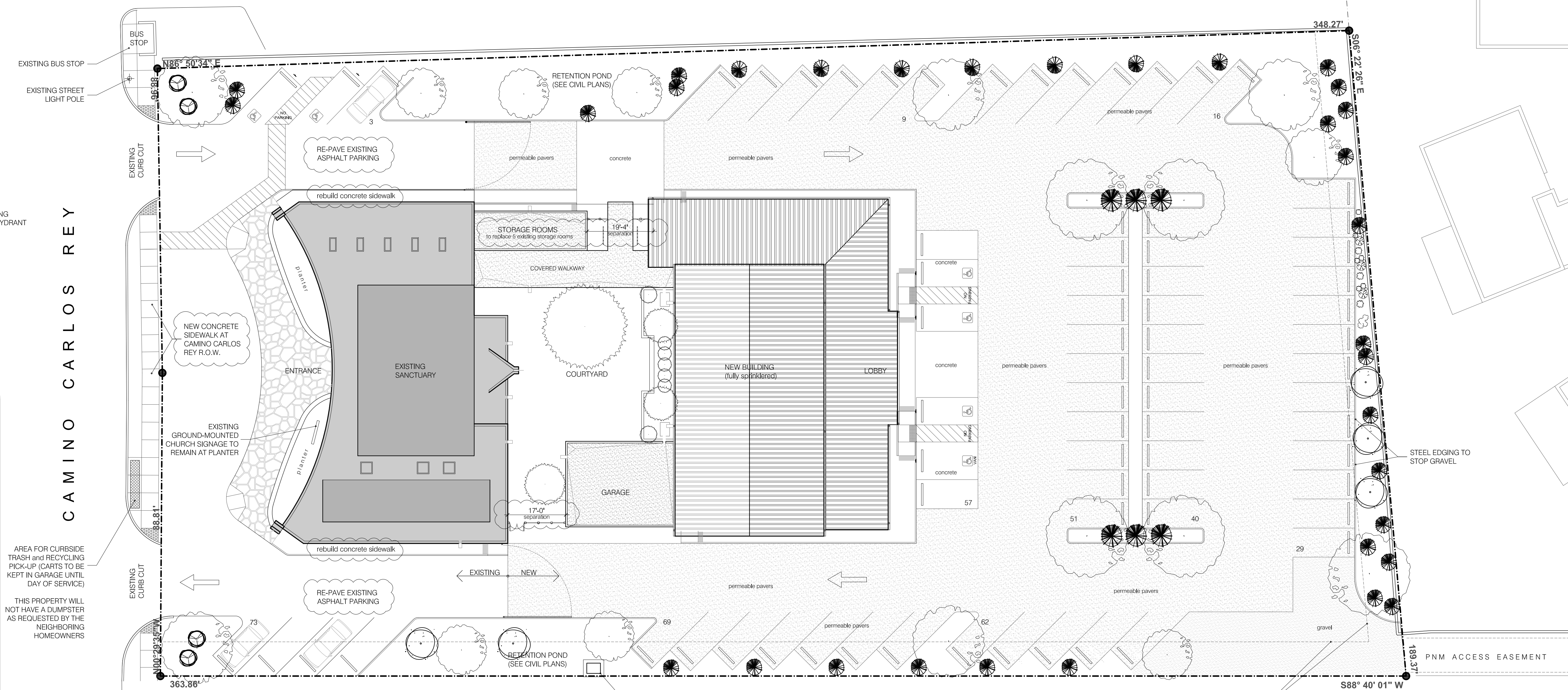


SQUARE FOOTAGES

EXISTING CHURCH ROOFED AREA	5,540 sq ft
EXISTING STORAGE ROOMS TO BE REPLACED	580 sq ft
PROPOSED NEW BUILDING	5,800 sq ft
PROPOSED GARAGE / MECH	720 sq ft
NEW STORAGE ROOMS at EXISTING CHURCH	380 sq ft
TOTAL PROPOSED ROOFED	7,500 sq ft
TOTAL NEW + EXISTING ROOFED	13,420 sq ft

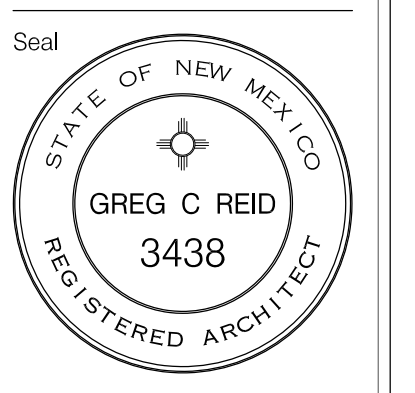
NOTES

ADDRESS	2247 Camino Carlos Rey
ZONING	R-5
LOT AREA	1.5 acres (64,410 sq ft)
TOTAL LOT COVERAGE	21 % coverage
PARKING PROPOSED	73 spaces



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**New Building for
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Key Plan

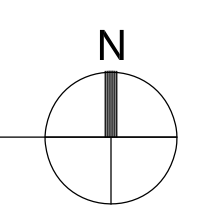
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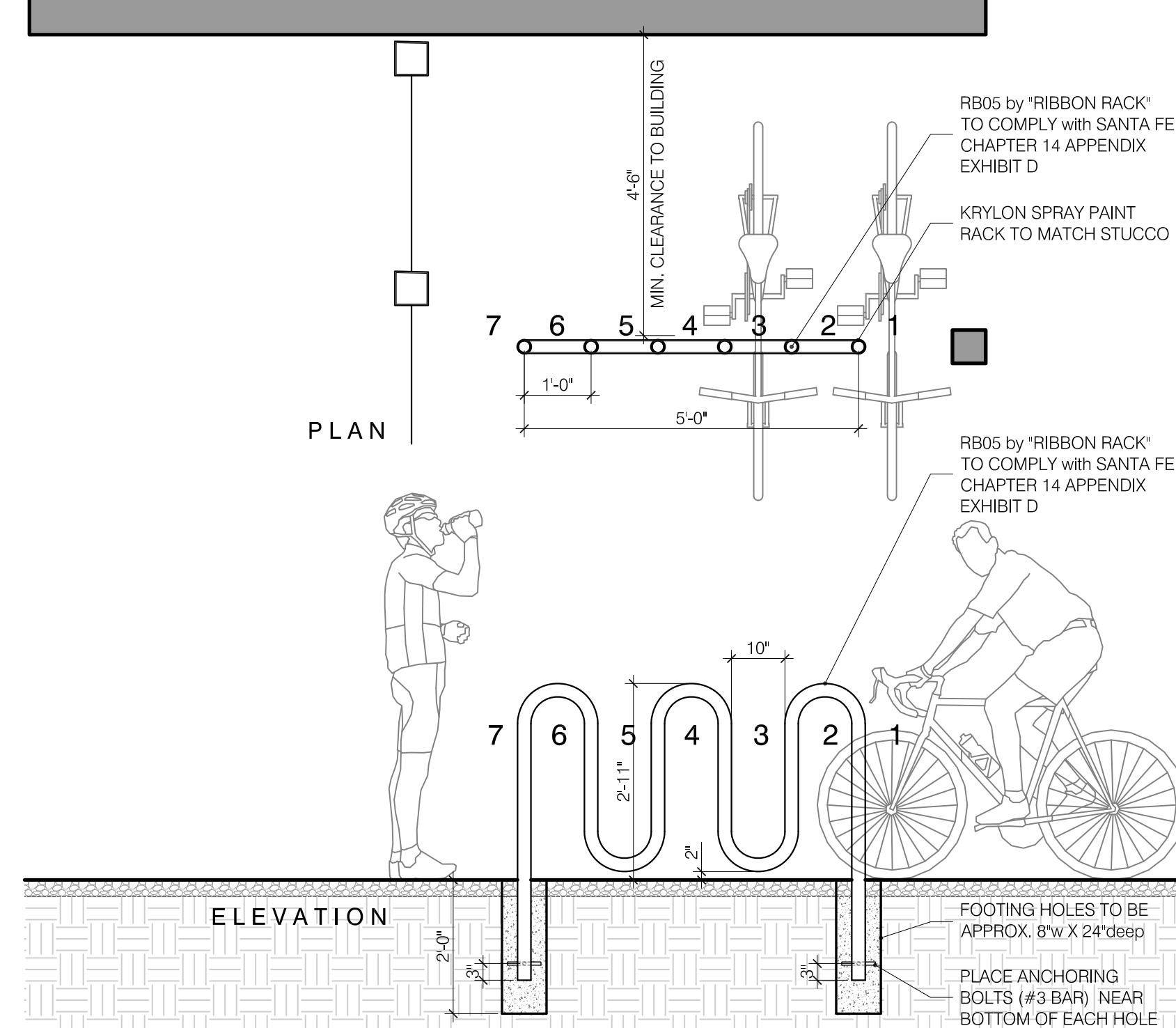
PROPOSED SITE PLAN

Scale 1/16" = 1'-0"
 Sheet

A1.2
 Special Use Submittal

1 PROPOSED SITE PLAN
 1/16" = 1'-0"



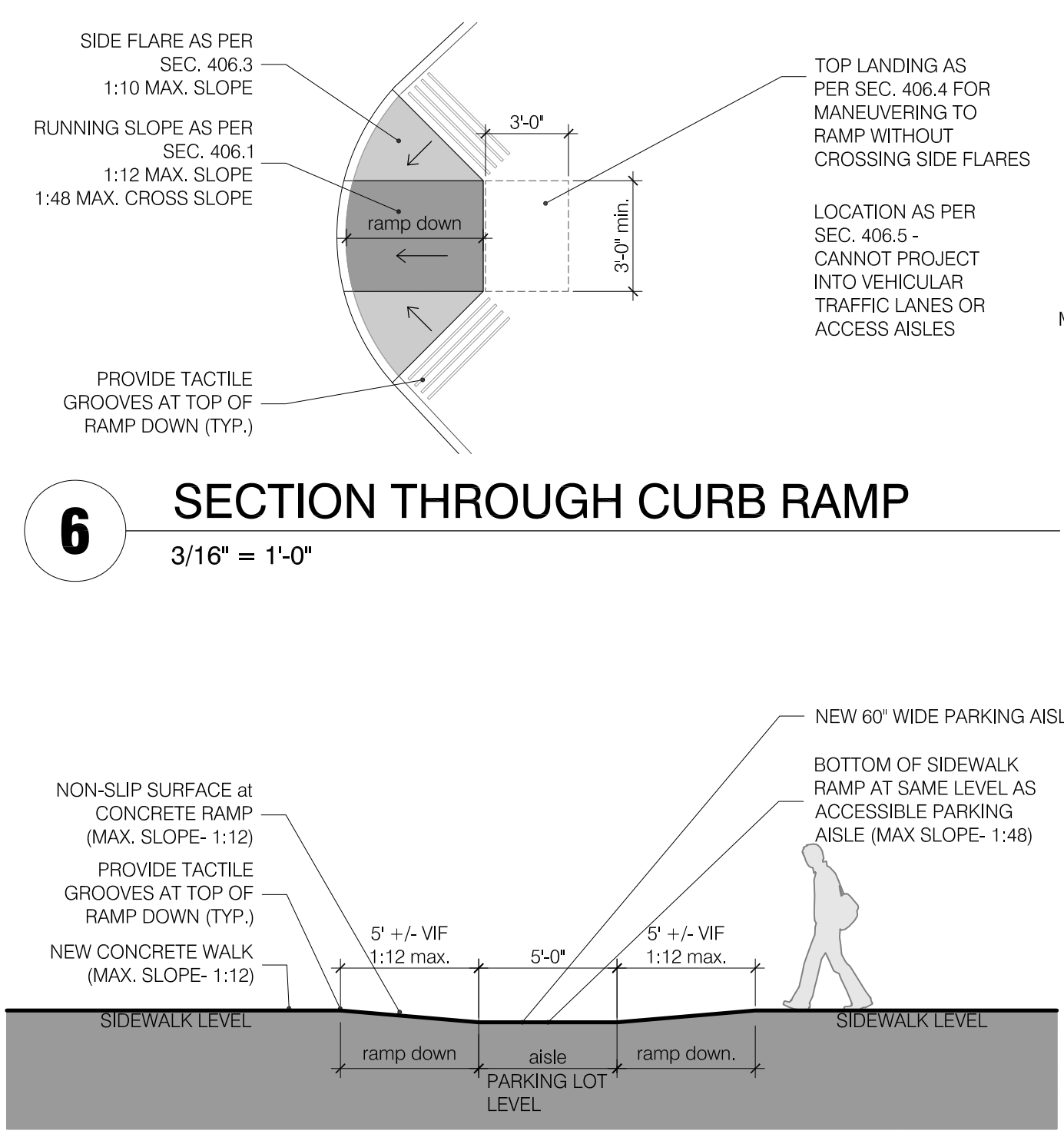


5 BICYCLE PARKING (2 RACKS of 7)
1/2" = 1'-0"

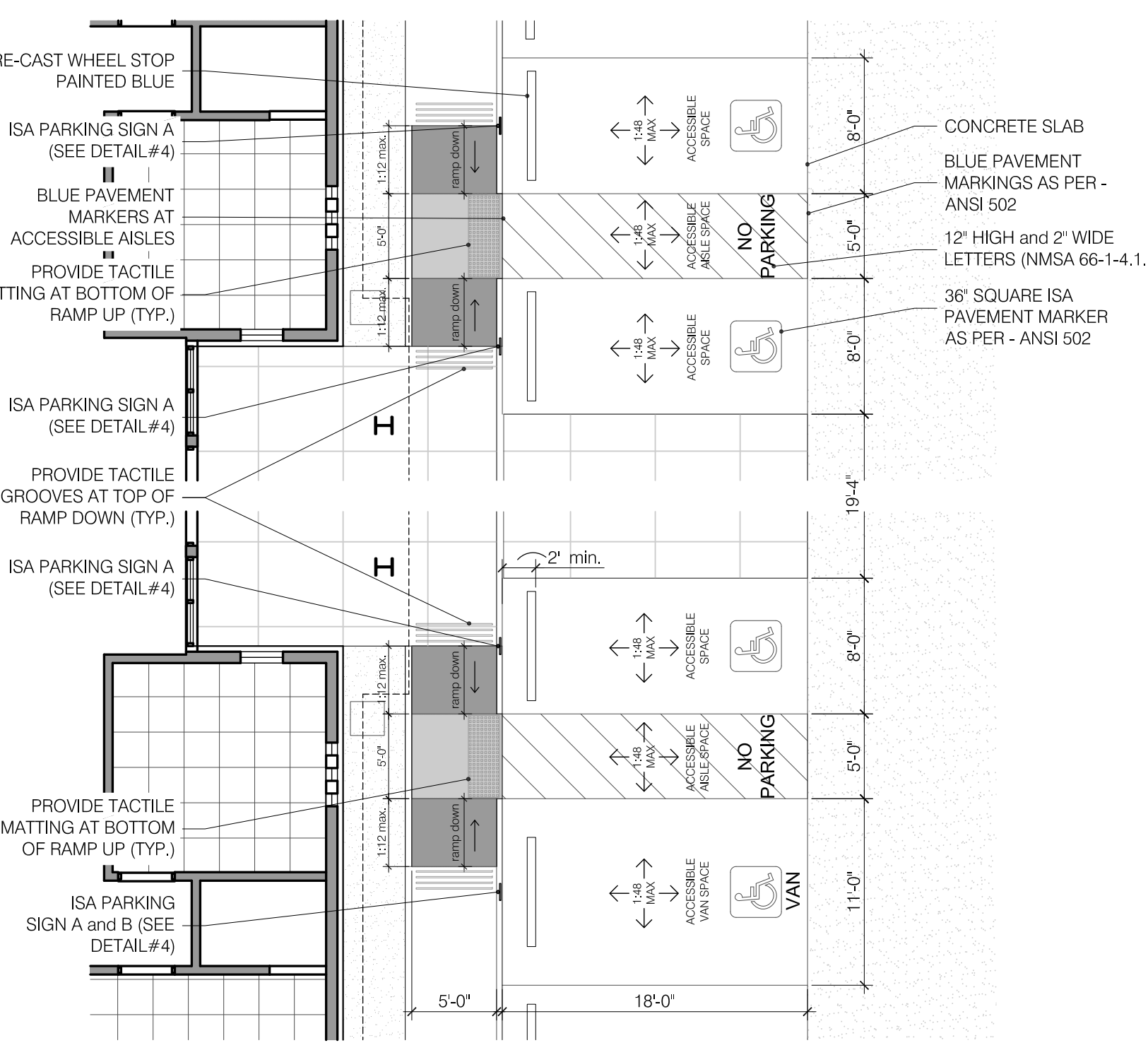
NOTES
 PARKING SURFACE TO BE PERMEABLE GRASS-CRETE or APPROVED EQUAL SYSTEM ON 6" BASE COURSE OF GRAVEL. SURFACE GRADED TO PREVENT EROSION OF SURFACE AND PROVIDE WATER DETENTION.
 REFER TO THE 2015 ACCESSIBLE PARKING CHECKLIST FOR ALL IMPROVEMENTS TO THE PROPERTY
 CHECKLIST IS BASED ON IBC-2021 and NM BUILDING CODE, and 2010 ADA STANDARDS
 SITE FENCING and GATES ARE NOT TO EXCEED 8 FEET TALL as per 14-8.5(B.2)



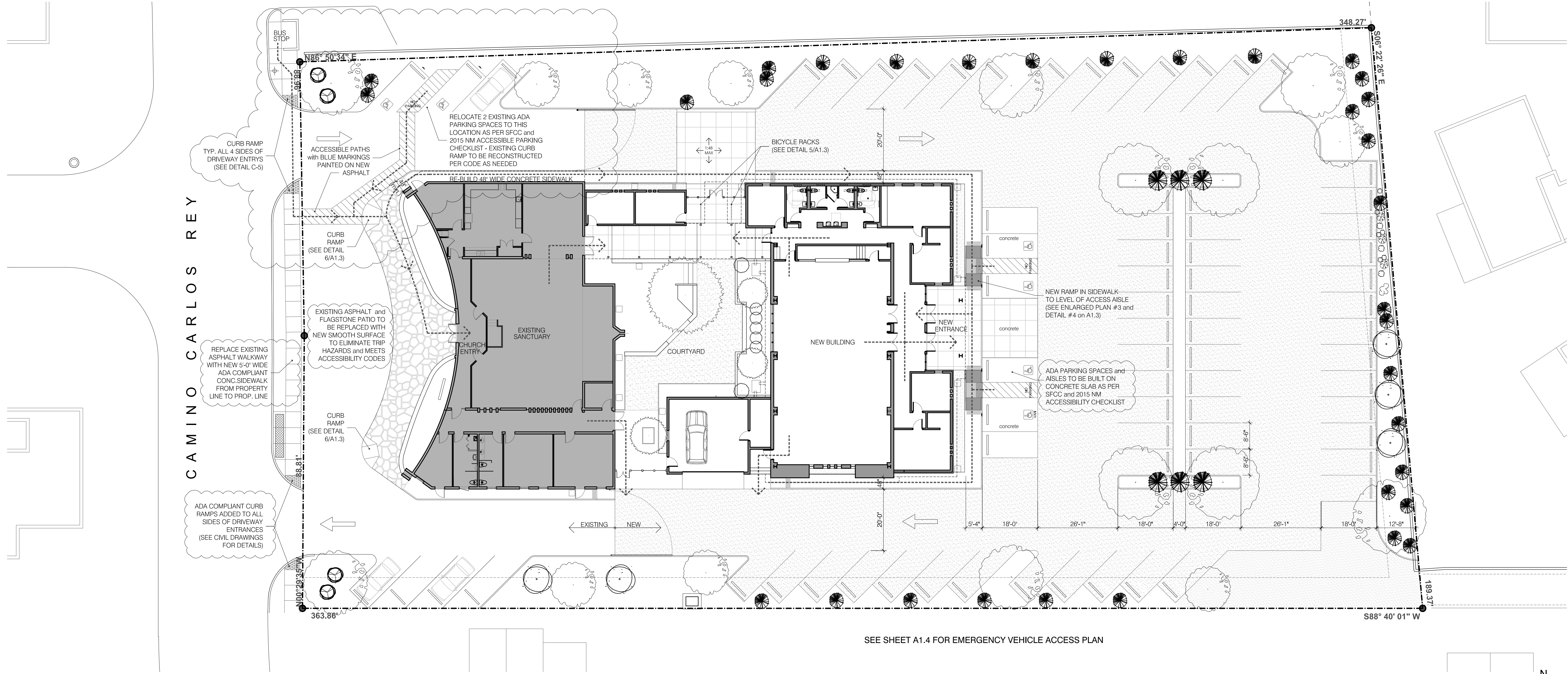
4 I.S.A. PARKING SIGN DETAILS
N.T.S.



3 SECTION THROUGH CURB RAMP
3/16" = 1'-0"



2 ENLARGED ACCESSIBLE PARKING PLAN
1/8" = 1'-0"



1 SITE ACCESSIBILITY and EGRESS PLAN
1/16" = 1'-0"

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Seal
 STATE OF NEW MEXICO
 GREG C REID
 3438
 REGISTERED ARCHITECT

**New Building for
 Grace Community Church**
 2247 Camino Carlos Rey
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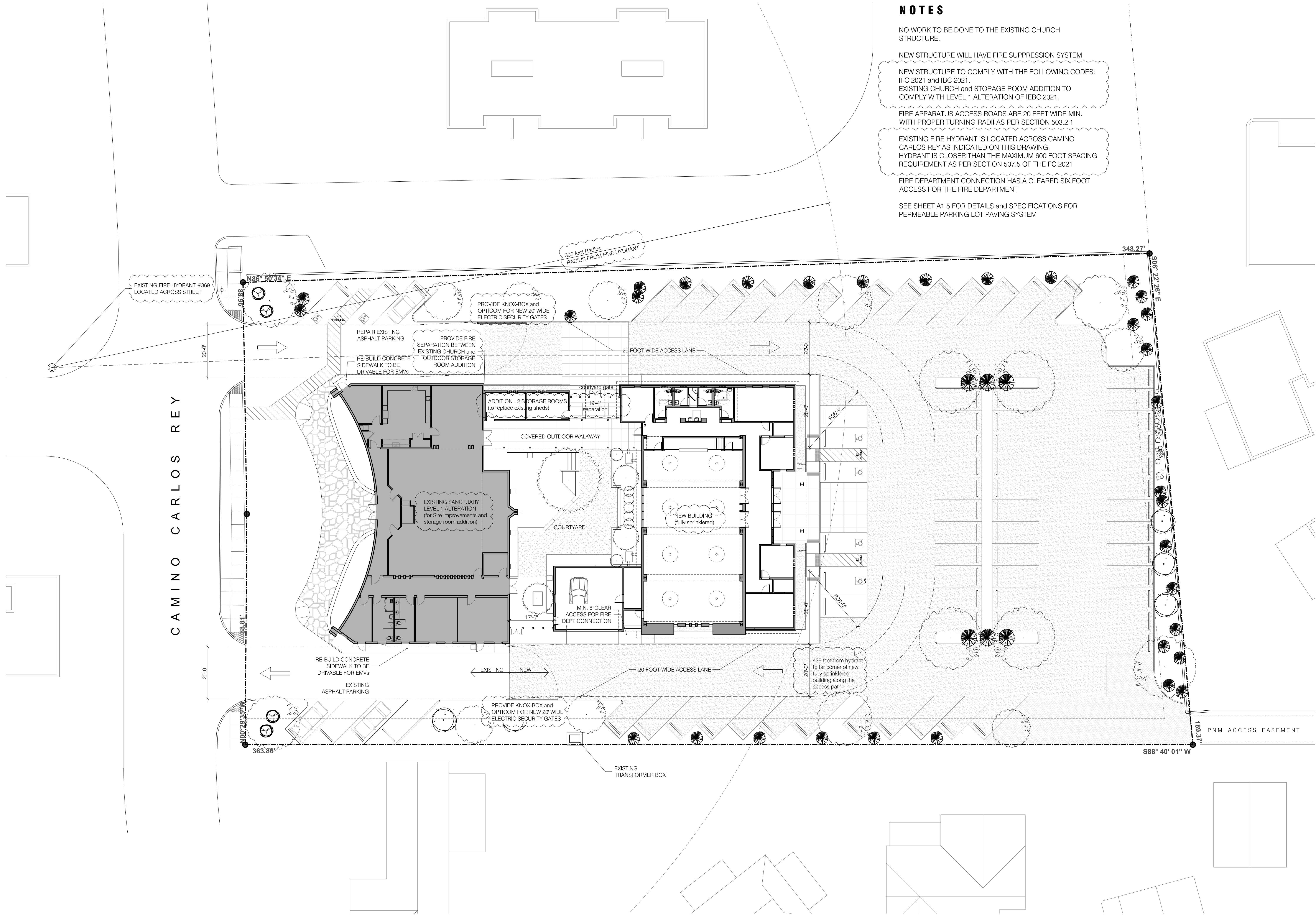
Key Plan

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Scale as noted

Sheet

A1.3
 Special Use Submittal



NOTES

NO WORK TO BE DONE TO THE EXISTING CHURCH STRUCTURE.

NEW STRUCTURE WILL HAVE FIRE SUPPRESSION SYSTEM

NEW STRUCTURE TO COMPLY WITH THE FOLLOWING CODES: IFC 2021 and IBC 2021. EXISTING CHURCH and STORAGE ROOM ADDITION TO COMPLY WITH LEVEL 1 ALTERATION OF IEBC 2021.

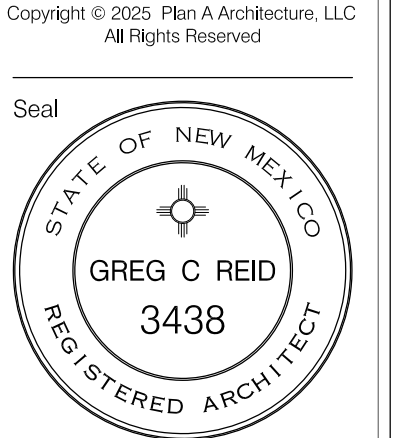
FIRE APPARATUS ACCESS ROADS ARE 20 FEET WIDE MIN. WITH PROPER TURNING RADII AS PER SECTION 503.2.1

EXISTING FIRE HYDRANT IS LOCATED ACROSS CAMINO CARLOS REY AS INDICATED ON THIS DRAWING. HYDRANT IS CLOSER THAN THE MAXIMUM 600 FOOT SPACING REQUIREMENT AS PER SECTION 507.5 OF THE FC 2021

FIRE DEPARTMENT CONNECTION HAS A CLEARED SIX FOOT ACCESS FOR THE FIRE DEPARTMENT

SEE SHEET A1.5 FOR DETAILS and SPECIFICATIONS FOR PERMEABLE PARKING LOT PAVING SYSTEM

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**SITE PLAN -
 EMERGENCY
 VEHICLE ACCESS**

Scale 1/16" = 1'-0"

Sheet

1 EMV SITE ACCESS PLAN
 1/16" = 1'-0"

A1.4
 Special Use Submittal

CAMINO CARLOS REY

88.61' N02°15'56"W LC=88.96' R=2856.04' Δ1°47'05" A=88.96' 6725' 24 SPACES ASPHALT SURFACE

N85°50'34"E

RECONSTRUCT CURB RAMP TO MEET CURRENT ADA REQTS

CREATE PASSENGER DROP-OFF AREA BY RELOCATING EXISTING ADA PARKING SPACES

REPAIR EXISTING FLAGSTONE WALKWAY AS PER CODE

EXISTING VEHICULAR SECURITY GATE TO REMAIN - PROVIDE ACCESS TO SFFD

GRAVEL SURFACE

LOT 7 1.496 AC±

REMOVE EXISTING DUMPSTER

EXISTING WOOD FENCING TO BE REMOVED

REMOVE PARKING WHEEL STOPS (TYP.)

EXISTING SHEDS TO BE REMOVED (TYP.)

REMOVE EXISTING SWING SET and PLAYGROUND EQUIP.

EXISTING SHED TO BE REMOVED

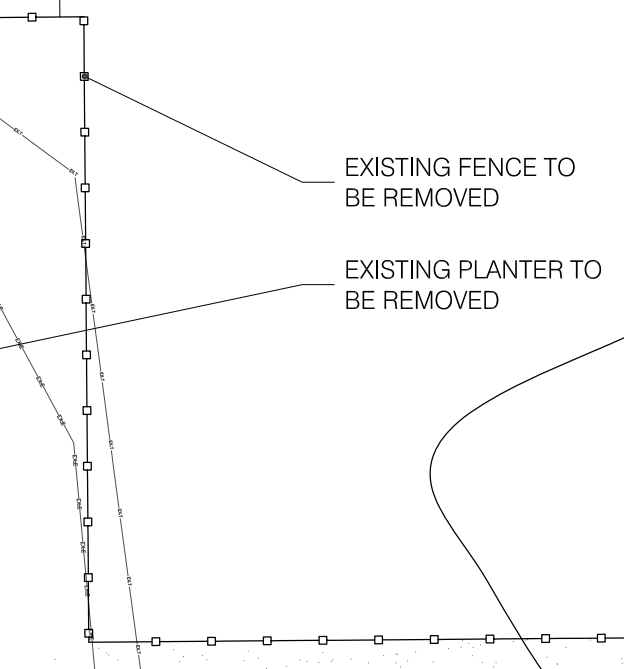
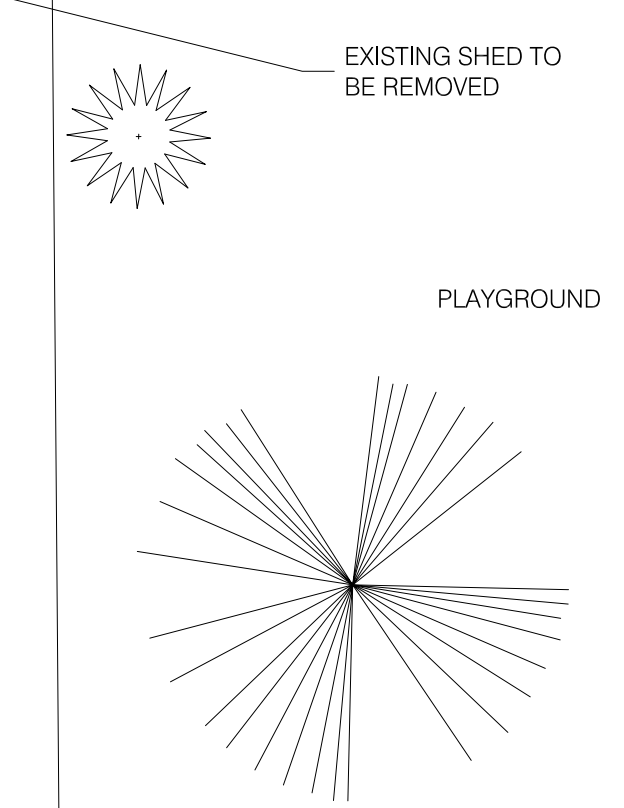
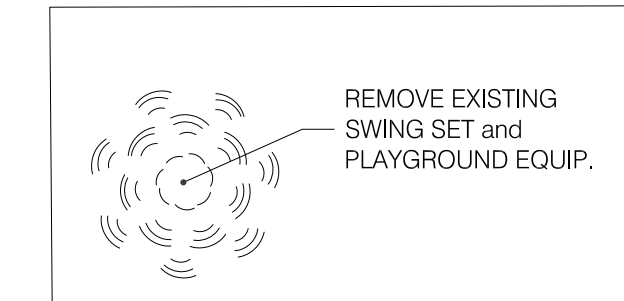
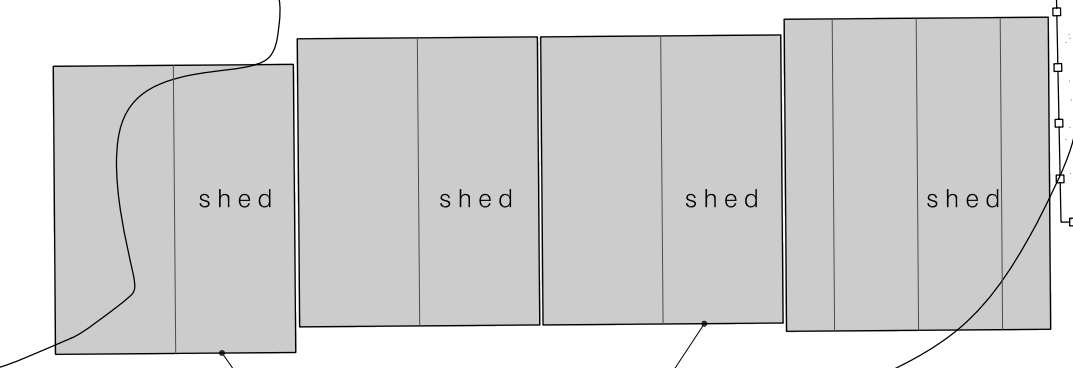
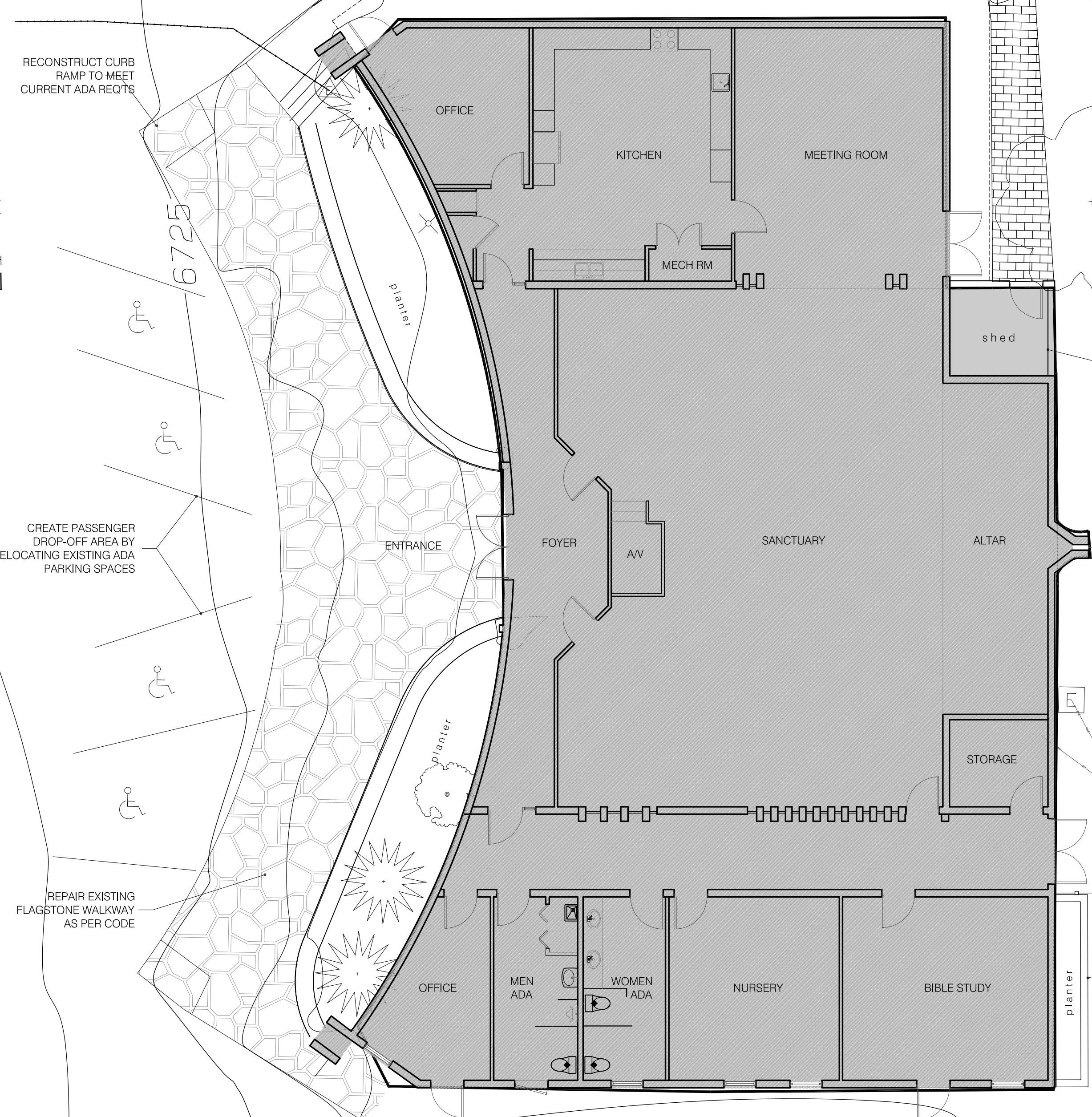
GRAVEL PARKING 20 SPACES

EXISTING POWER POLE WITH SECURITY LIGHT and OVERHEAD POWER LINE TO BE REMOVED

EXISTING FENCE TO BE REMOVED

EXISTING PLANTER TO BE REMOVED

GRAVEL SURFACE



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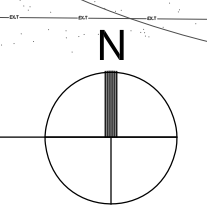
Date	10-4-24
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EXISTING CHURCH PLAN

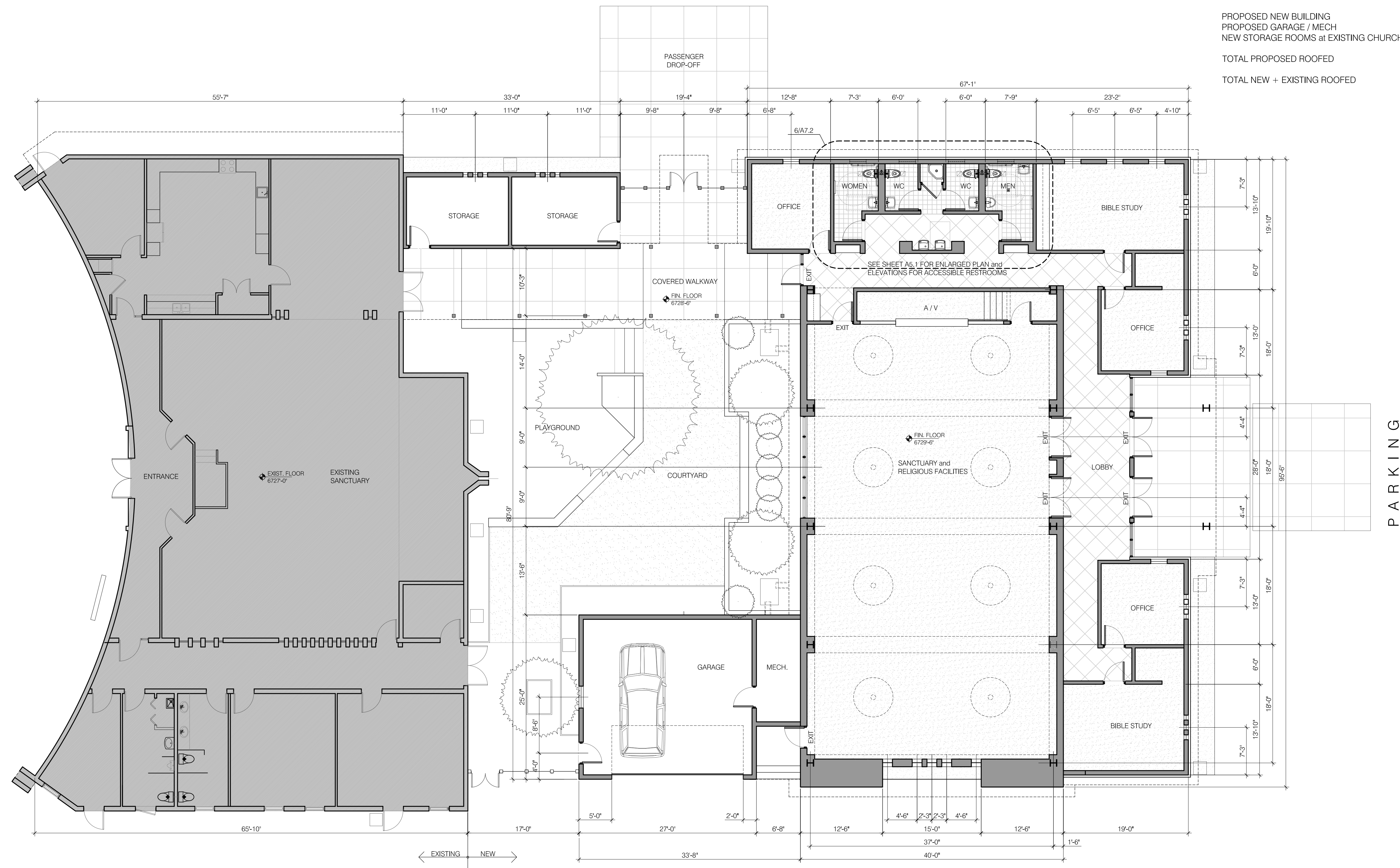
Scale 1/8" = 1'-0"
 Sheet

A2.1
 Special Use Submittal

1 EXISTING CHURCH PLAN
 1/8" = 1'-0"



CAMINO CARLOS REY



NOTES

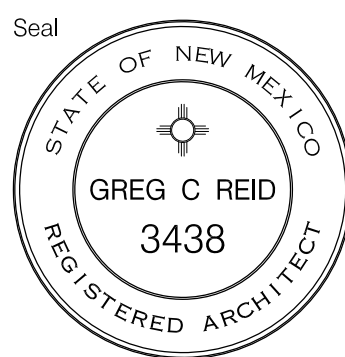
ADDRESS 2247 Camino Carlos Rey
 ZONING R-5
 LOT AREA 1.5 acres (64,410 sq ft)
 TOTAL LOT COVERAGE 21 % coverage
 PARKING PROPOSED 73 spaces

SQUARE FOOTAGES

EXISTING CHURCH ROOFED AREA 5,540 sq ft
 EXISTING STORAGE ROOMS TO BE REPLACED 580 sq ft
 PROPOSED NEW BUILDING 5,800 sq ft
 PROPOSED GARAGE / MECH 720 sq ft
 NEW STORAGE ROOMS at EXISTING CHURCH 380 sq ft
 TOTAL PROPOSED ROOFED 7,500 sq ft
 TOTAL NEW + EXISTING ROOFED 13,420 sq ft

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PROPOSED FLOOR PLAN

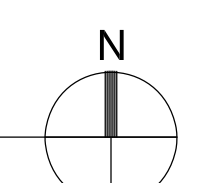
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A2.2

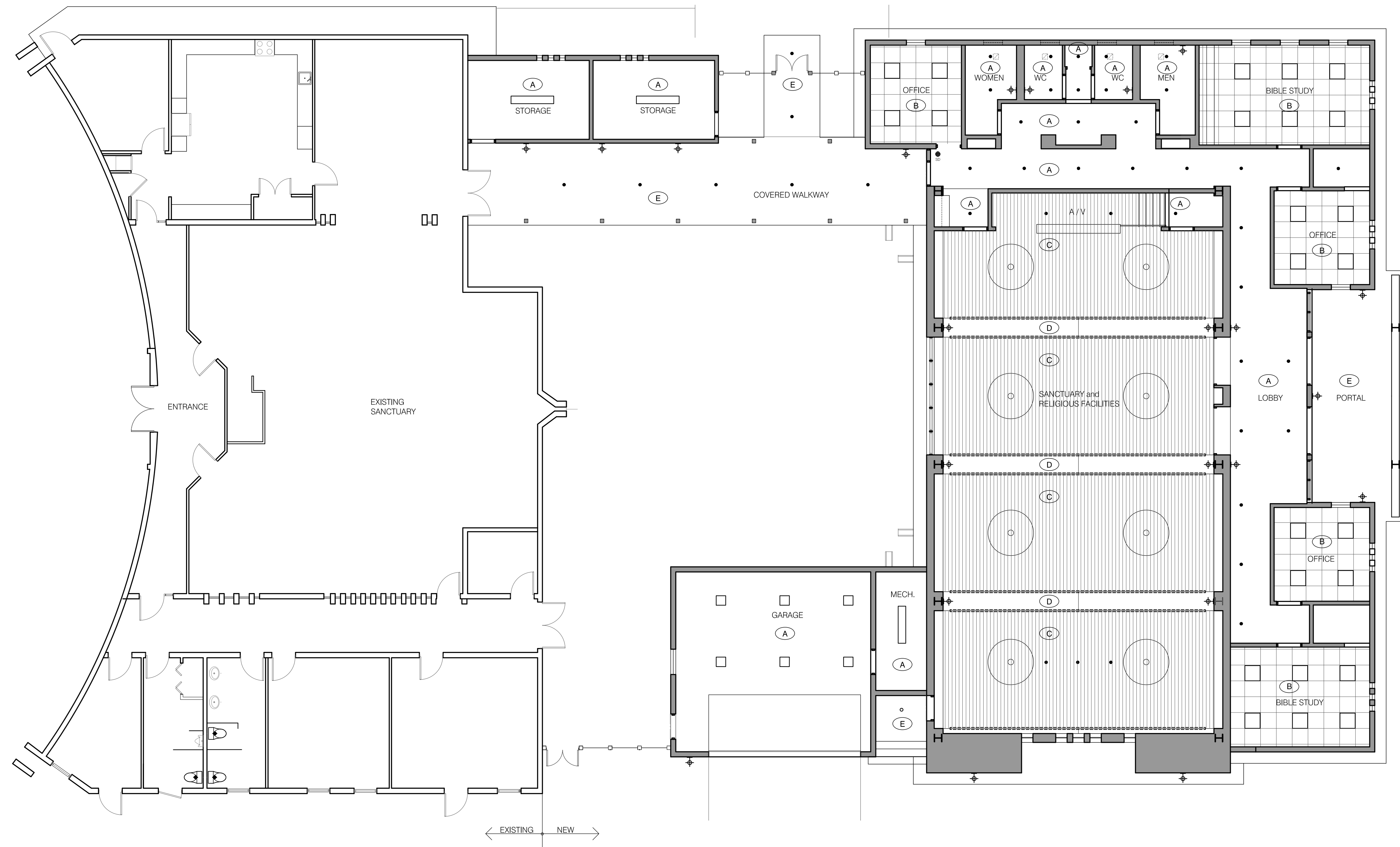
Special Use Submittal

1 PROPOSED FLOOR PLAN
 1 / 8" = 1' - 0"



KEYED NOTES

- (A) 5/8" TYPE "X" GYPSUM WALL BOARD
- (B) 24 X 24 ACOUSTIC LAY-IN CEILING TILES
- (C) WOOD SLAT ACOUSTIC CEILING PANELS
- (D) 5/8" GYPSUM BOARD BEAM ENCLOSURE
- (E) EXTERIOR PLASTER CEILING



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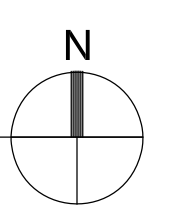
REFLECTED CEILING PLAN

Scale 1/8" = 1'-0"
 Sheet

A2.3

Special Use Submittal

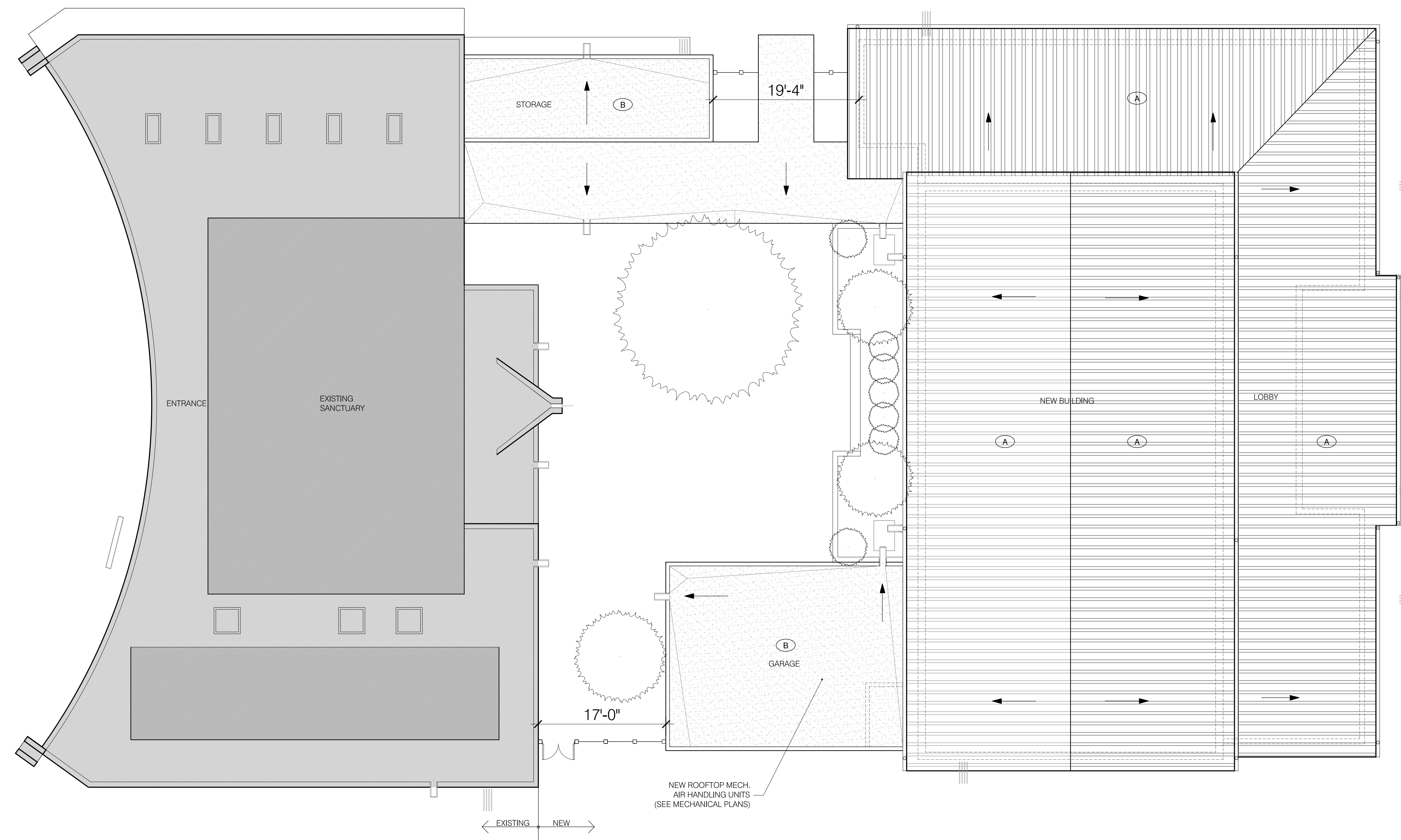
1 REFLECTED CEILING PLAN
 1/8" = 1'-0"



KEYED NOTES

- WALLS
 STO: SYNTHETIC STUCCO
 COLOR: T.B.D.
- (A) PITCHED ROOFING (2.5:12 SLOPE)
 STANDING SEAM METAL ROOF
 COLOR: DARK GRAY
- (B) FLAT ROOFING
 CARLISLE: T.P.O. MEMBRANE
 COLOR: GRAY

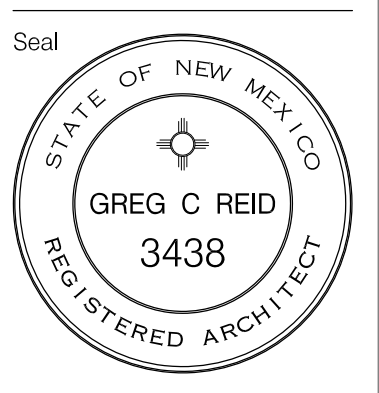
CAMINO CARLOS REY



PARKING

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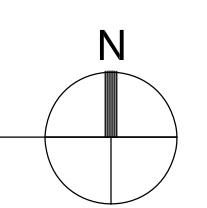
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**PROPOSED
 ROOF PLAN**

Scale 1/8" = 1'-0"
 Sheet

A2.4
 Special Use Submittal

1 PROPOSED ROOF PLAN
 1/8" = 1'-0"

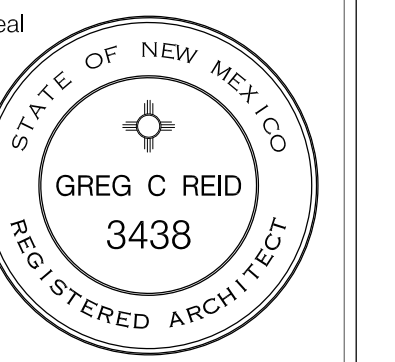




2 COURTYARD ELEVATION - WEST
1 / 8" = 1' - 0"



1 ENTRY ELEVATION - EAST
1 / 8" = 1' - 0"



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EXTERIOR ELEVATIONS

Scale 1/8" = 1'-0"

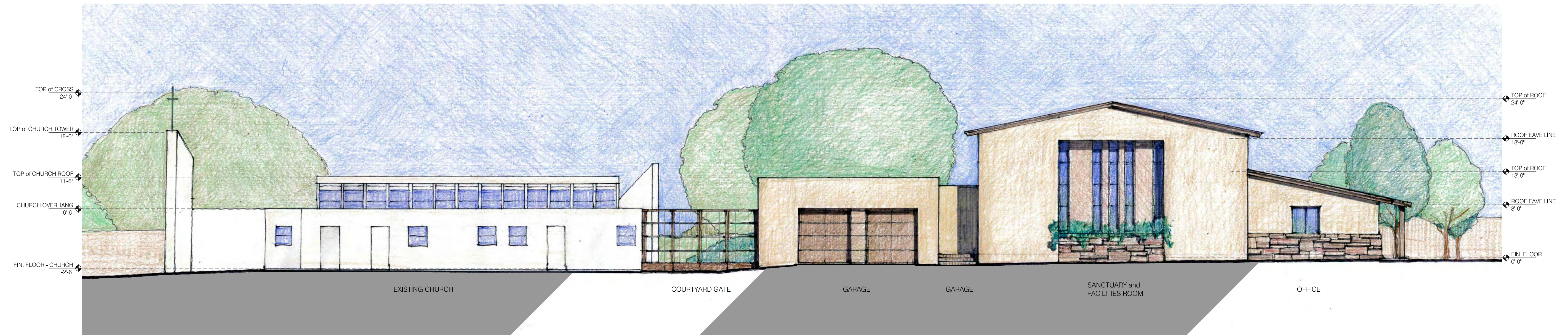
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A3.1

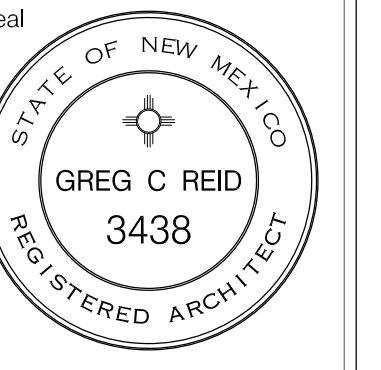
Special Use Submittal



4 NORTH ELEVATION
1 / 8" = 1' - 0"



3 SOUTH ELEVATION
1 / 8" = 1' - 0"



**New Building for
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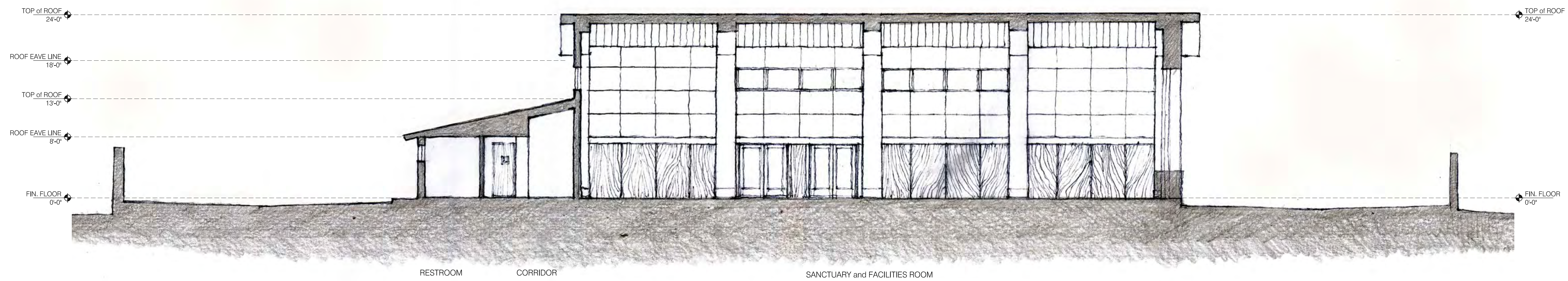
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EXTERIOR ELEVATIONS

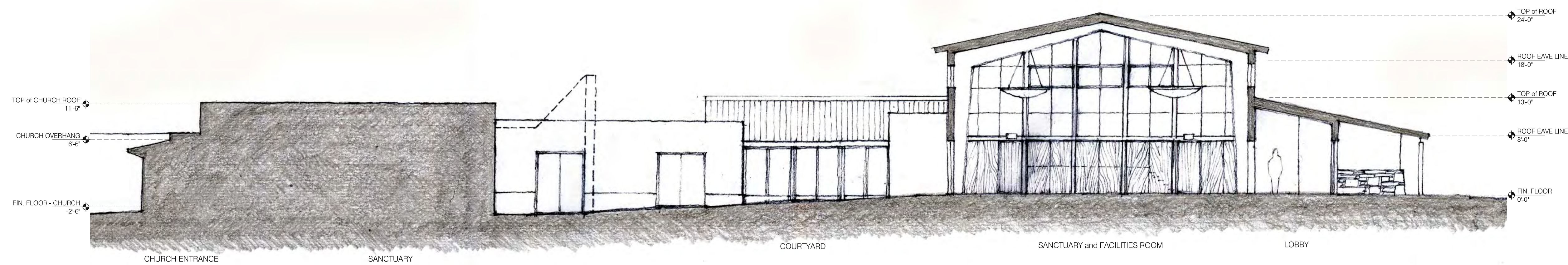
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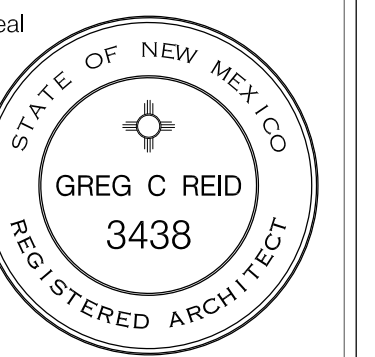
Special Use Submittal



6 BUILDING SECTION thru EVENTS ROOM LOOKING EAST
1 / 8" = 1' - 0"



5 BUILDING SECTION thru COURTYARD LOOKING NORTH
1 / 8" = 1' - 0"



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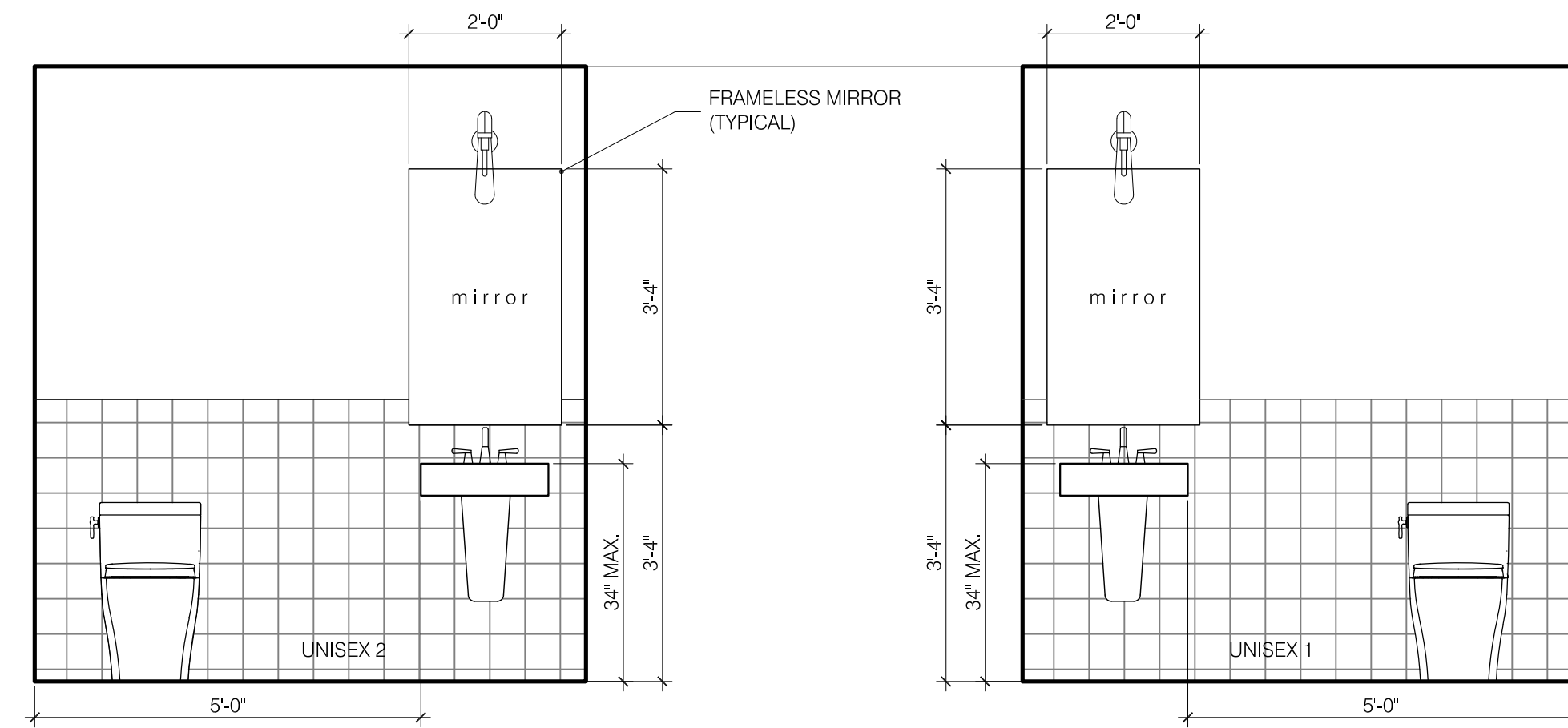
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BUILDING SECTIONS

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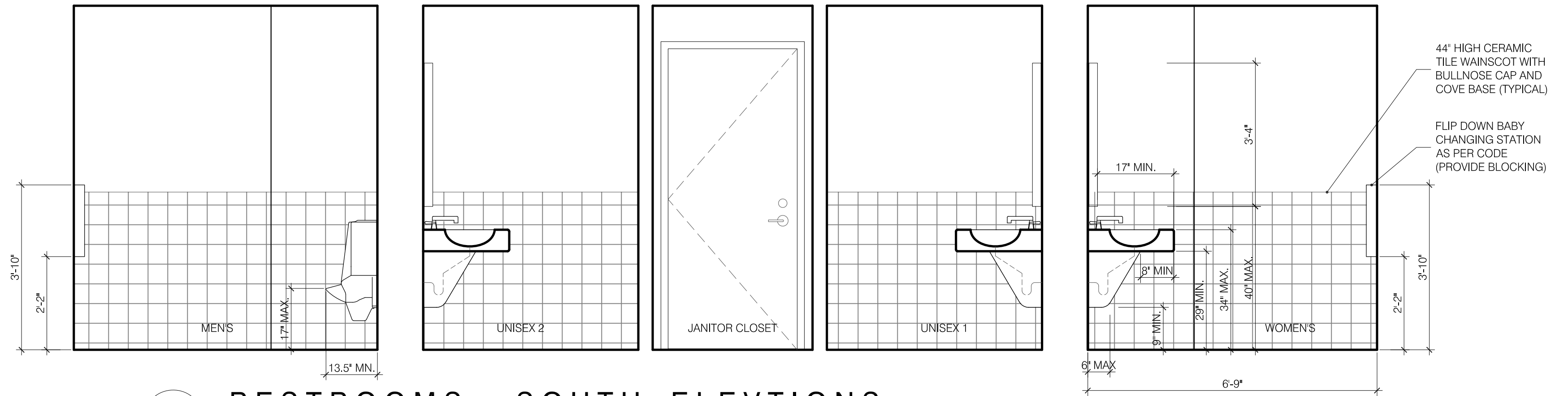
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Special Use Submittal

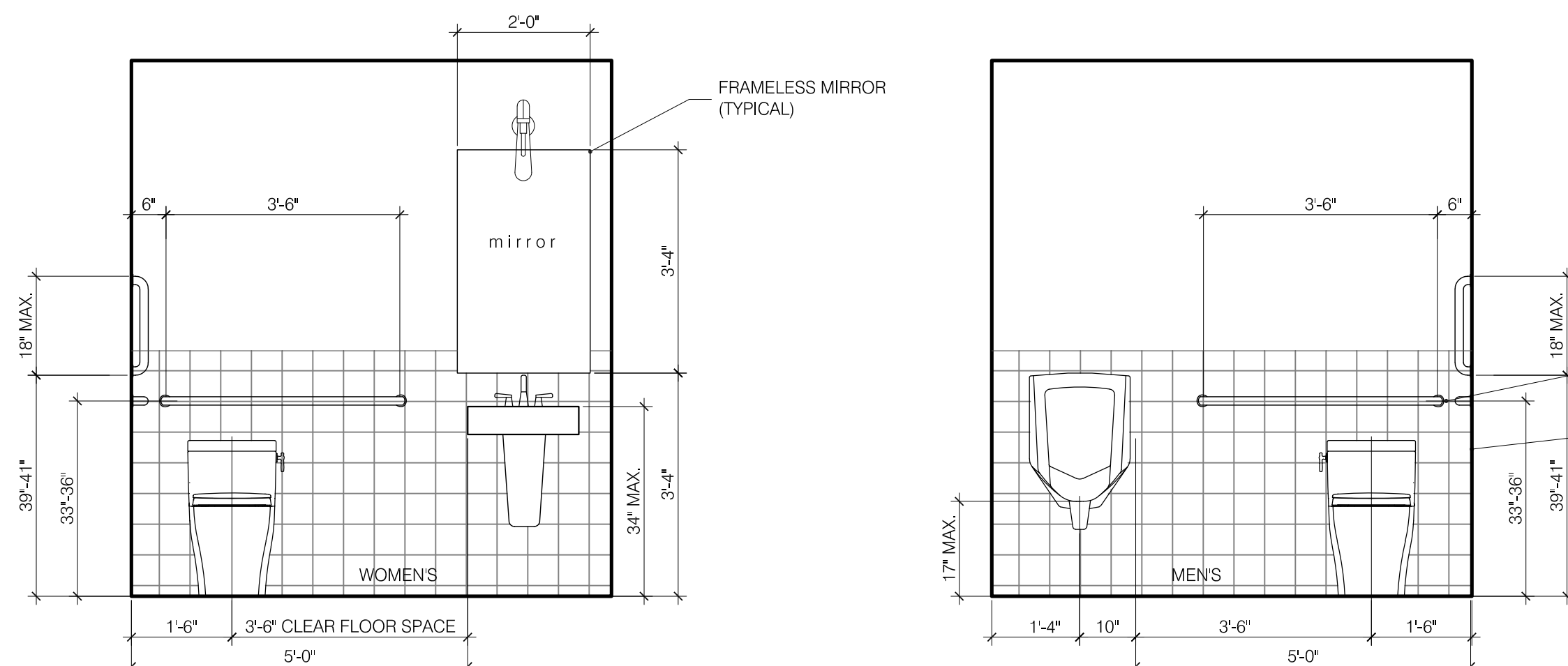


7 UNISEX 2 ELEVATION
1/2" = 1'-0"

8 UNISEX 1 ELEVATION
1/2" = 1'-0"

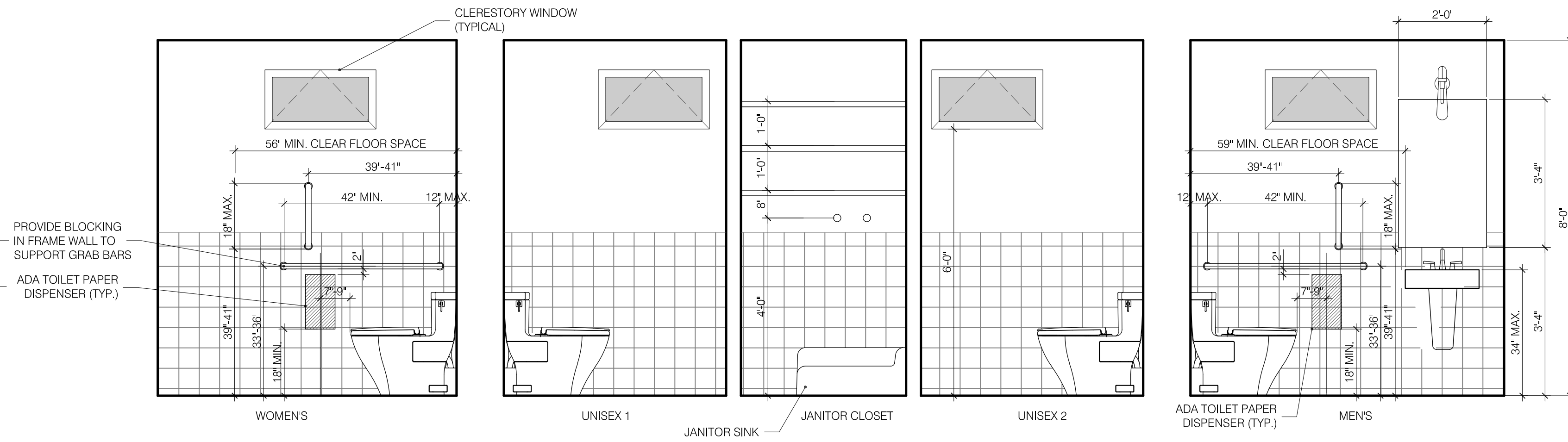


3 RESTROOMS - SOUTH ELEVATIONS
1/2" = 1'-0"

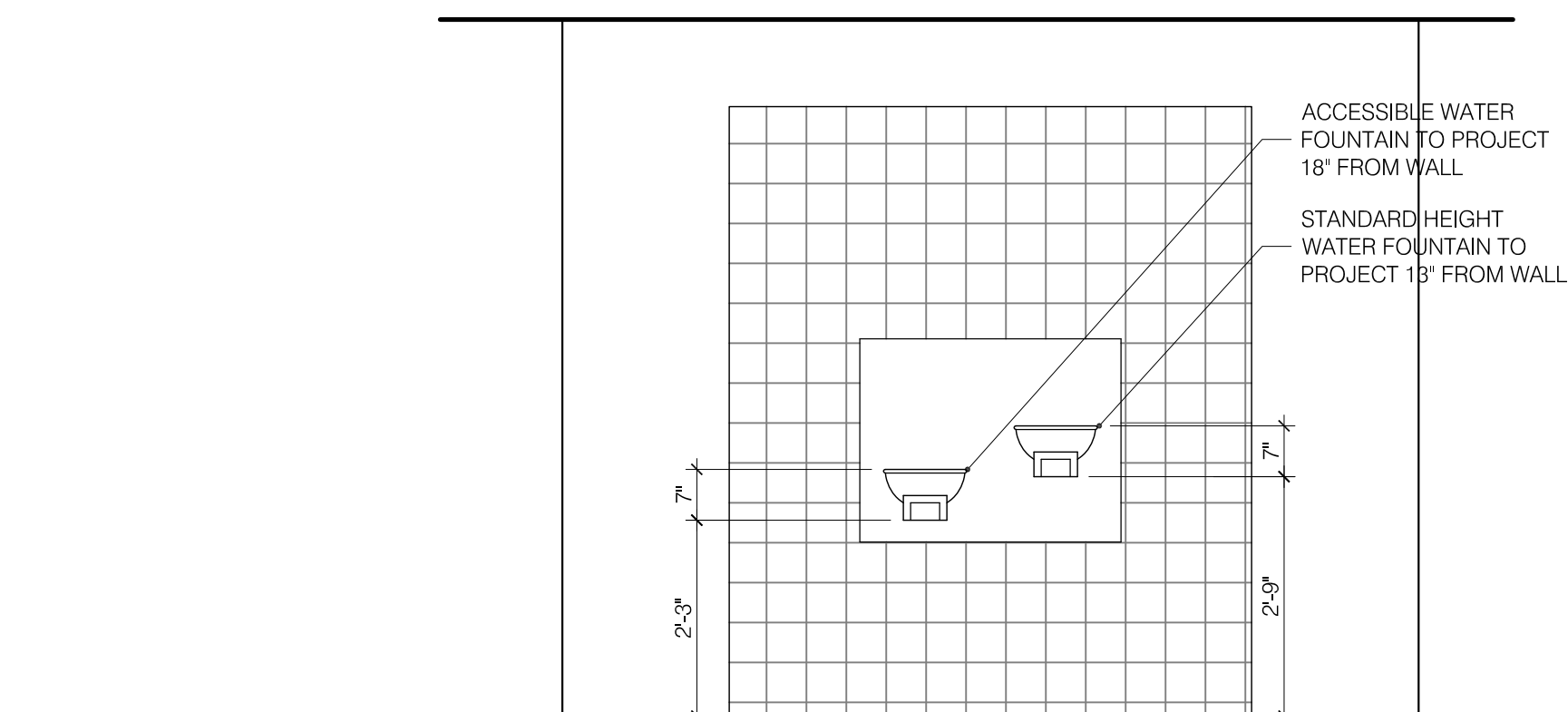


7 WOMEN'S ROOM ELEVATION
1/2" = 1'-0"

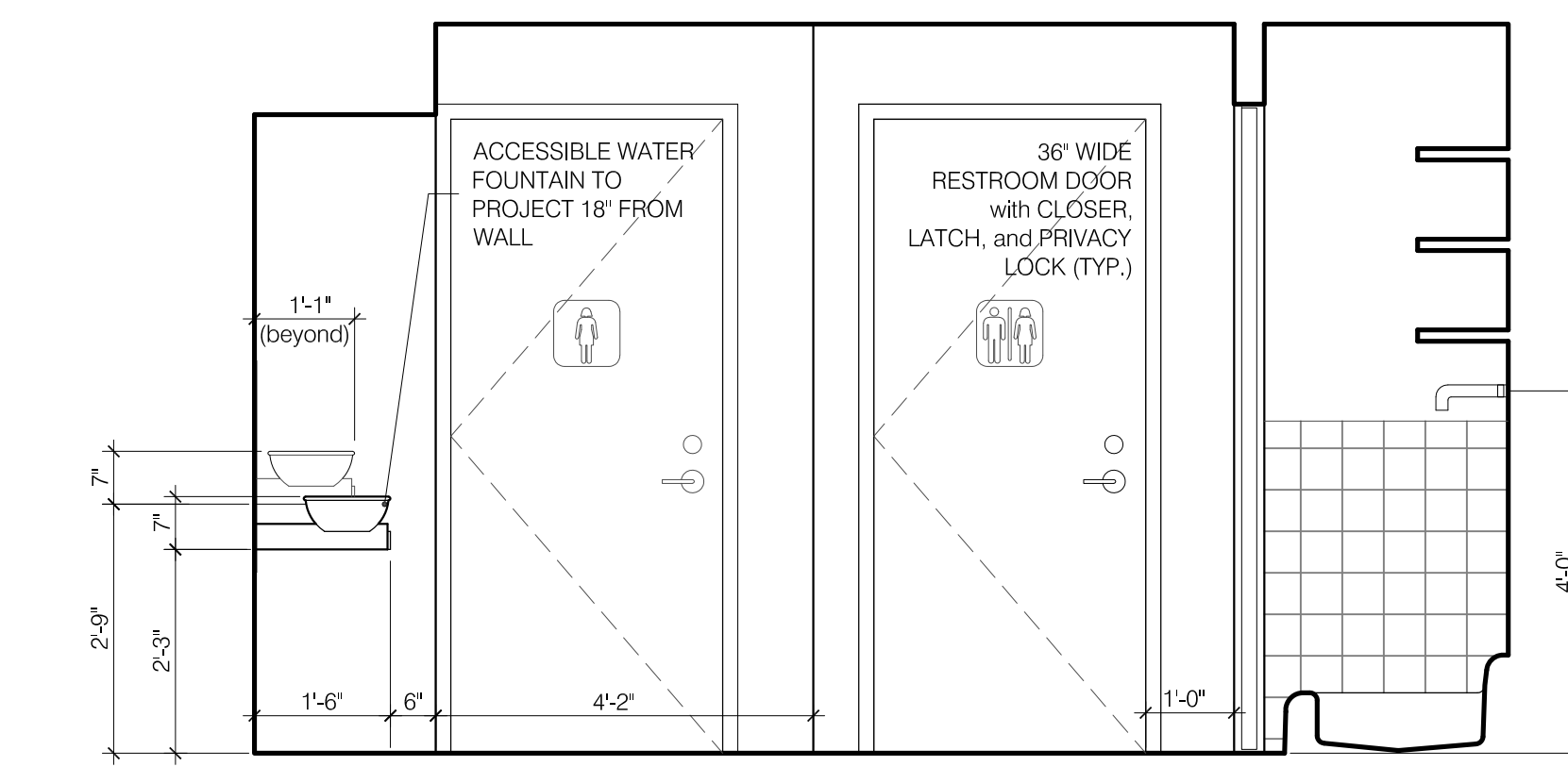
6 MEN'S ROOM ELEVATION
1/2" = 1'-0"



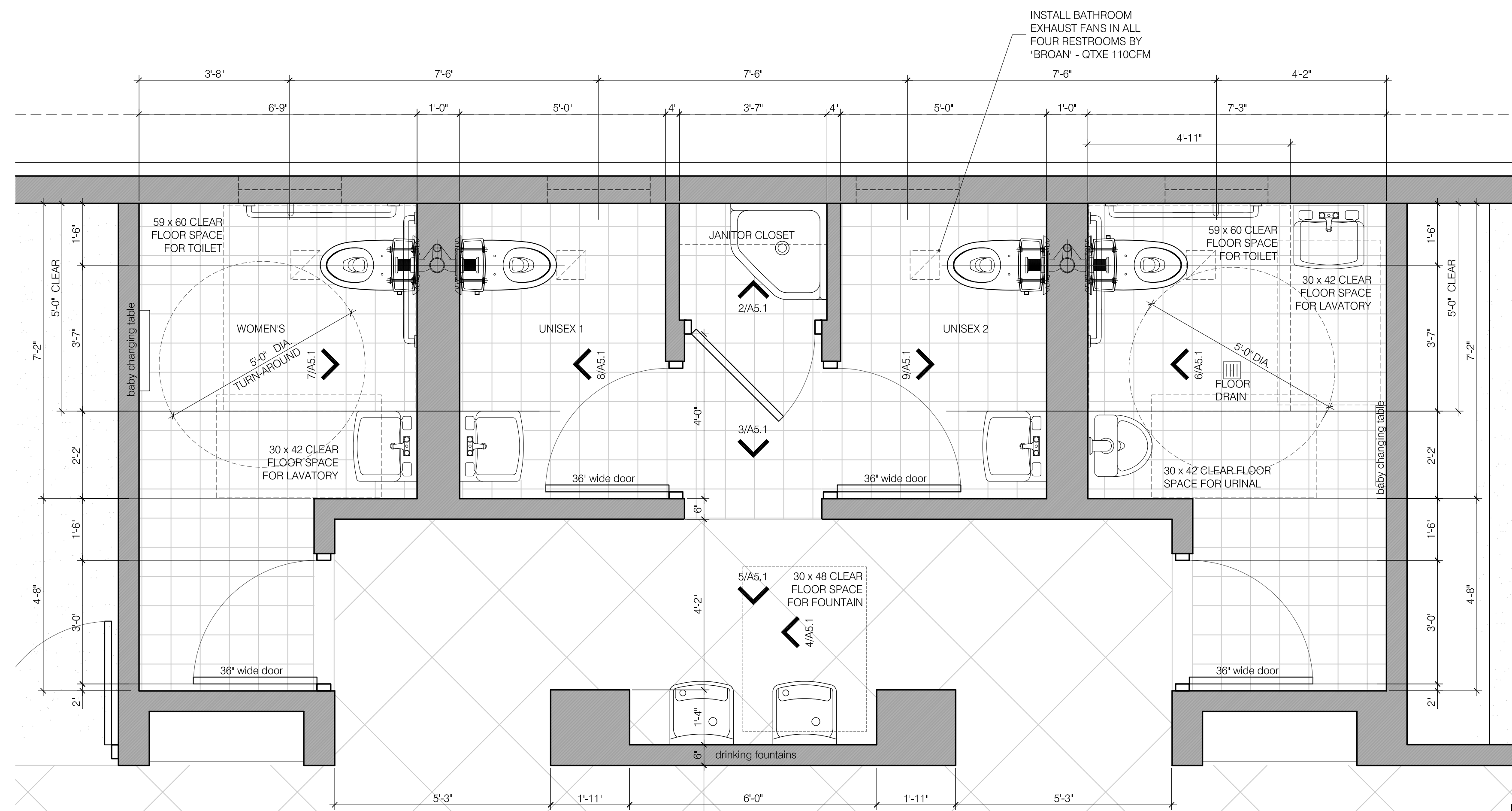
2 RESTROOMS - NORTH ELEVATIONS
1/2" = 1'-0"



5 FRONT ELEVATION of DRINKING FOUNTAINS
1/2" = 1'-0"



4 SIDE ELEVATION of DRINKING FOUNTAINS
1/2" = 1'-0"



1 ENLARGED RESTROOM PLAN
1/2" = 1'-0"

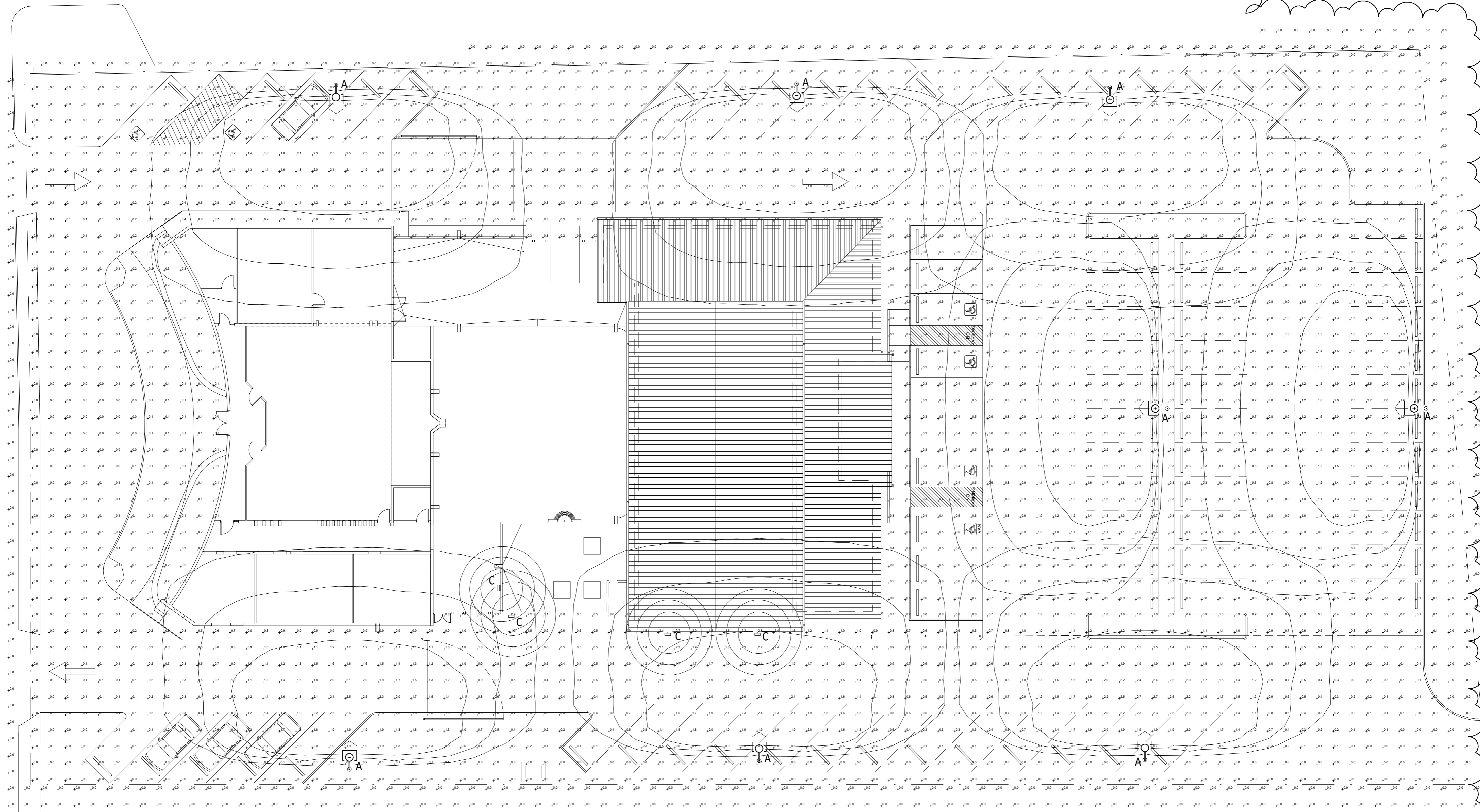
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	0.7 fc	2.9 fc	0.0 fc	N/A	N/A
PROPERTY BOUNDARY	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

Note
 1. ALL CALCULATION POINTS SET AT GRADE LEVEL.
 2. ALL SITE LIGHTING HEADS MOUNTED AT 16' OVERALL.
 3. ALL SCONCES MOUNTED AT 8' ABOVE GRADE.

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		8	Lithonia Lighting	DSX0 LED P2 40K 70CRI BLC4	D-Series Size 0 Area Luminaire P2 Performance Package 4000K CCT 70 CRI Type 4 Extreme Backlight Control	1	4643	1	45.14	
	C		4	WAC Lighting	WS-W15708	LED Outdoor Light-201801	1	330	1	9.18868	

GENERAL SHEET NOTES:

- A. FIXTURES SHOWN ARE NEW FIXTURES. EXISTING EXTERIOR FIXTURES THAT MAY BE PRESENT ON EXISTING STRUCTURE ARE NOT INCLUDED.
- B. SITE AND EXTERIOR BUILDING FIXTURES CONTROLLED BY TIMECLOCK.



SITE LIGHTING AND PHOTOMETRIC PLAN
 1/16" = 1'-0"

CONSULTANT

PROFESSIONAL STAMP

GRACE COMMUNITY CHURCH

2247 CAMINO CARLOS REY
 SANTA FE, NM 87507

DEVELOPMENT PLAN REVIEW

MARK	DATE	DESCRIPTION
2	02-26-25	DEV. PLAN COMMENTS 2
1	12-13-24	DEV. PLAN COMMENTS 1

PROJECT NO: 24034
 DATE: 10-07-2024
 DRAWN BY: SC
 CH'D BY: KT

SHEET TITLE
SITE LIGHTING AND PHOTOMETRIC PLAN

SE102

SHEET OF

WAC LIGHTING

Sodor

Outdoor Wall Sconce 3000K

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W15708 8"	3000K	Black Bronze	9W	750	330
ws-w15708		xxx			

Example: **WS-W15708-BZ**
For custom requests please contact customs@wacighting.com

FEATURES

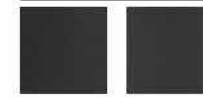
- Weather resistant powder coated finishes
- Light engine is factory sealed for maximum protection from the elements
- Heavy aluminum shade provides great glare cutoff
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

Color Temp: 3000K
Input: 120 VAC, 50/60Hz
CR: 90
Dimming: ELV: 100-10%
Rated Life: 54000 Hours
Standards: ETL, cETL, P65, Dark Sky Friendly
Wet Location Listed
Construction: Aluminum hardware with glass diffuser

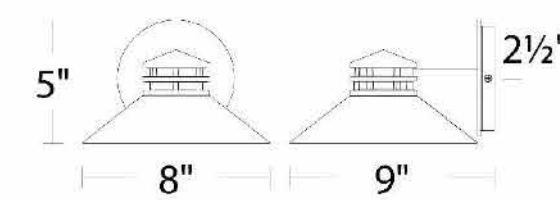


FINISHES:



Black Bronze

LINE DRAWING:



WS-W15708

wacighting.com | Phone (800) 526-2588 | Fax (800) 526-2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. September 2024

Fixture Type:	C
Catalog Number:	ws-w15708-xxx
Project:	2447 Camino Carlos Rey
Location:	



D-Series Size 0 LED Area Luminaire



Color Number	DSX0 LED P2 40K 70CRI BL C4 MVOLT XXX XXX
Name	2447 CAMINO DE REY SITE LIGHTING
Size	A

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

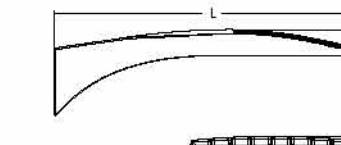
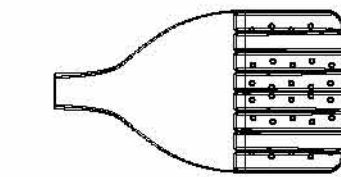
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

Specifications

EPA: 0.44 ft² (0.04 m²)
Length: 26.18" (66.5 cm)
Width: 14.06" (35.7 cm)
Height H1: 2.25" (5.7 cm)
Height H2: 7.46" (18.9 cm)
Weight: 2.3 lbs (1.0 kg)



Design Select options indicated by this color background.

Ordering Information

DSX0 LED	P2	40K	70CRI	BL4	MVOLT	XXX	
Series	LEDs	Color temperature ¹	Color rendering index ²	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	(this section 70CRI only)	70CRI	AFR Automotive front row	TSM Type V medium	MVOLT (120V-277V) ³	Shipped included
	P1 P5	30K 3000K	70CRI	T1S Type I short	TSLG Type V low glare	HVOLT (147V-480V) ^{3,4}	SPA Square pole mounting (8" drilling, 3.5" min. SD pole)
	P2 P6	40K 4000K	70CRI	T2M Type II medium	T3W Type V wide	XVOLT (277V-480V) ^{3,5}	RPA Round pole mounting (8" drilling, 3" min. SPD pole)
	P3 P7	50K 5000K	70CRI	T3M Type III medium	BC3 Type III backlight control ⁶	120 N.A.	SPAS Square pole mounting (8" drilling, 3" min. SD pole) ⁷
	RET (this section 80CRI only, extended lead times apply)			T4M Type III low glare ⁷	BC4 Type IV backlight control ⁶	240 N.A.	RPS Round pole mounting (8.5" drilling, 3" min. SD pole) ⁷
	P10 ⁸ P12 ⁸	27K 2700K	80CRI	T4G Type IV low glare ⁷	CCO Left corner cutoff ⁹	277 N.A.	SPAN Square narrow pole mounting (8" drilling, 3" min. SD pole) ⁷
	P11 ⁸ P13 ⁸	30K 3000K	80CRI	T5TM Forward throw medium	RCCO Right corner cutoff ⁹	347 N.A.	MA Max arm adapter (mounts on 2.38" OD horizontal brace)
		40K 4000K	80CRI			480 N.A.	WBA Wall bracket ¹⁰
		50K 5000K	80CRI				

Control options	Other options	Finish (optional)
Shipped installed	Shipped installed	DSX0D Dark Bronze
NLTAIR2 PIRHN Night All gen. 2 enabled with 16-level motion / ambient sensor. 8-1/2" mounting height, ambient sensor enabled at 2K, 10, 15, 20, 30%.	PER7 Seven-pin receptacle only (controls ordered separately) ^{11,12}	DSX0D Black
PER8 High flow, metal ambient sensor. 8-1/2" mounting height, ambient sensor enabled at 2K, 10, 15, 20, 30%.	PER8 Field adjustable output ^{13,14}	DSX0D Natural Aluminum
PER9 NEMA three lead receptacle only (controls ordered separately) ¹¹	PER9 Right rotated optics ¹	DSX0D White
PER5 Five-pin receptacle only (controls ordered separately) ¹¹	PER9 Control Construction ¹⁵	DSX0D Textured dark bronze
	PER10 0-10v dimming wires pulled outside fixture. For use with an external control, ordered separately. ¹¹	DSX0D Textured black
		DSX0D Textured natural aluminum
		DSX0D Textured white



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX0LED Rev. 03/24/24 Page 1 of 9



TIPTON ENGINEERING
PO BOX 23479
SANTA FE, NM 87502
KARLT@TIPTONENGINEERING.CO
WWW.TIPTONENGINEERING.CO

CONSULTANT

PROFESSIONAL STAMP

GRACE COMMUNITY CHURCH

2247 CAMINO CARLOS REY
SANTA FE, NM 87507

DEVELOPMENT PLAN REVIEW

12-13-24 DEV. PLAN COMMENTS

MARK DATE DESCRIPTION

PROJECT NO: 24034

DATE: 10-07-2024

DRAWN BY: SC

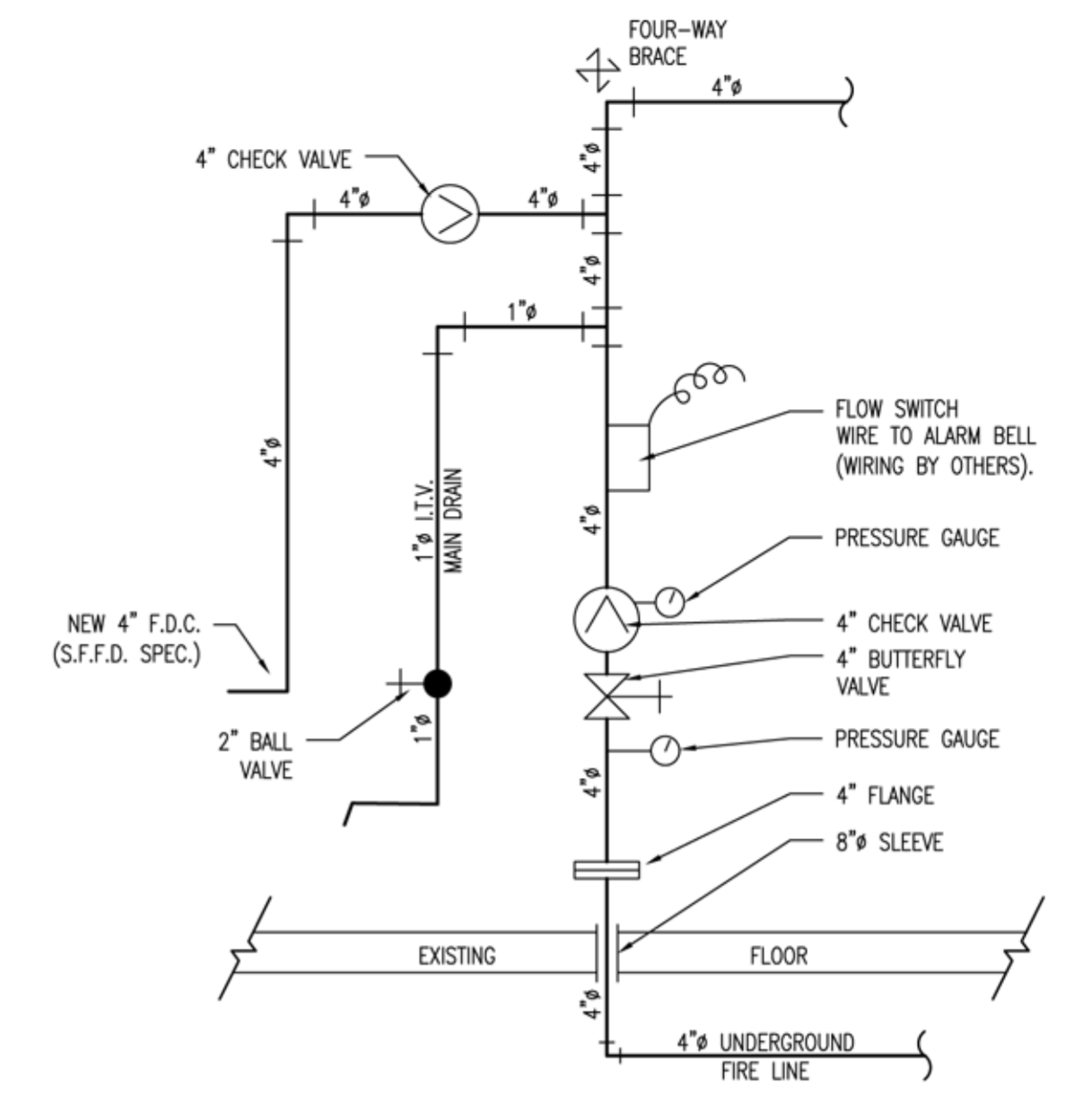
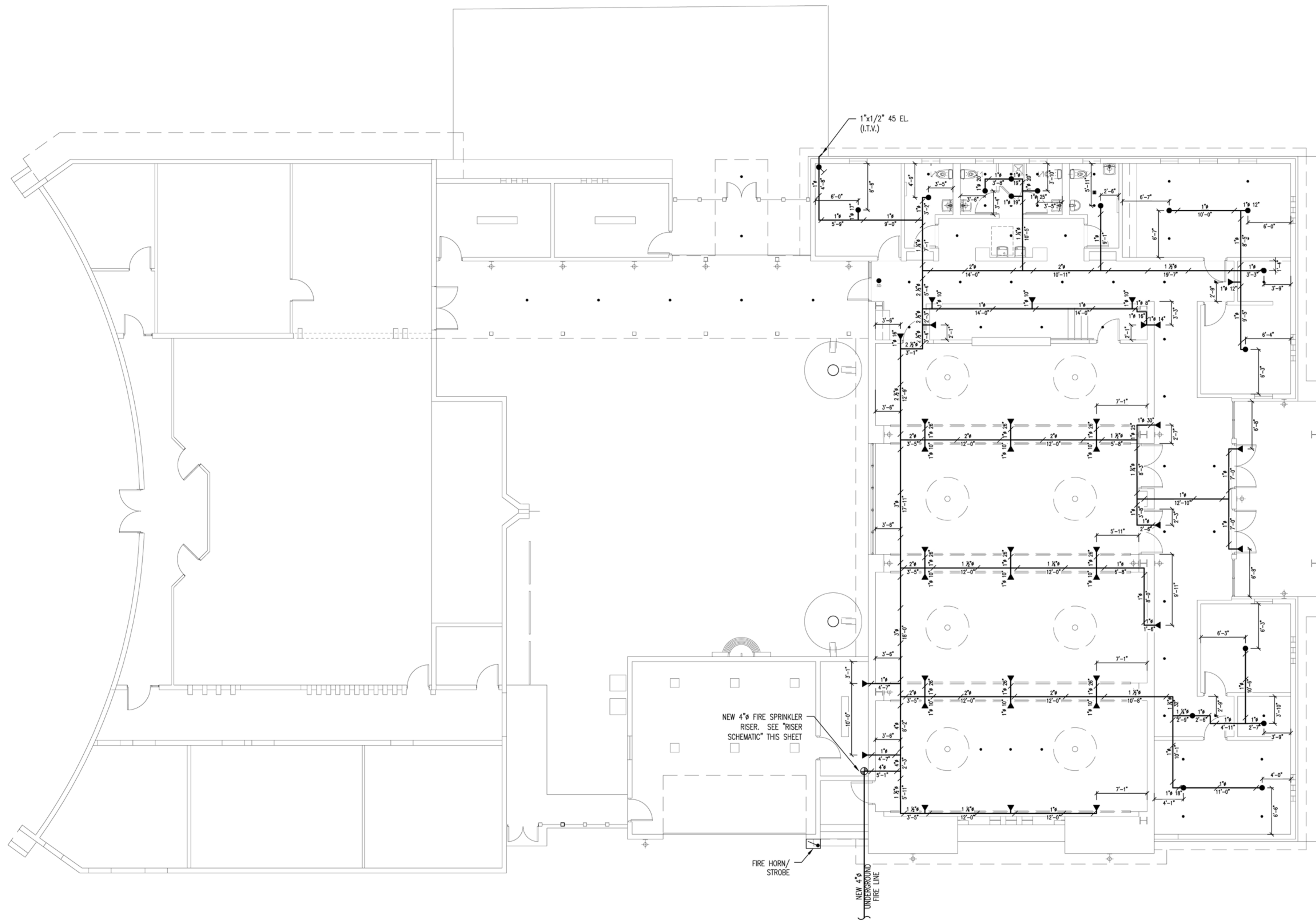
CHK'D BY: KT

SHEET TITLE

SITE LIGHTING CUTSHEETS

SE103

SHEET OF



RISER SCHEMATIC
N.T.S.

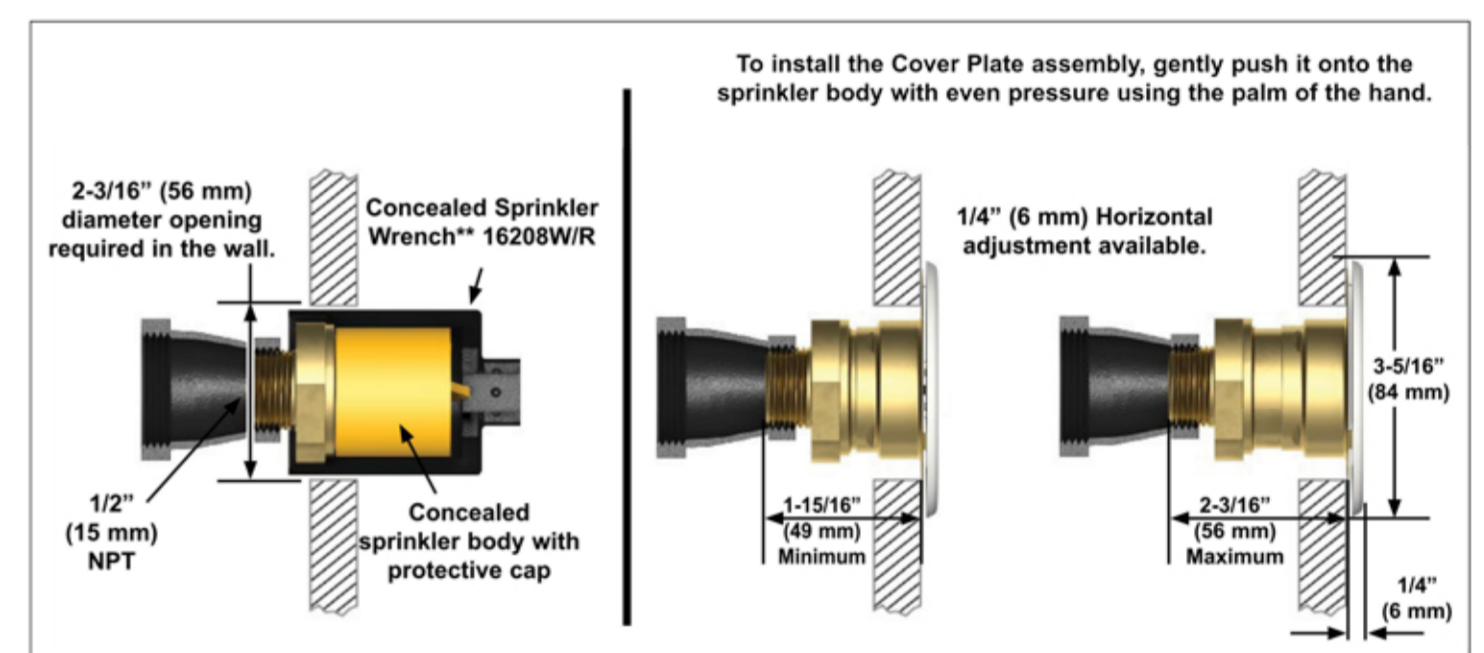


Figure 4: Sprinkler VK480 Dimensions and Cover Installation
** A 1/2" ratchet is required (not available from Viking).

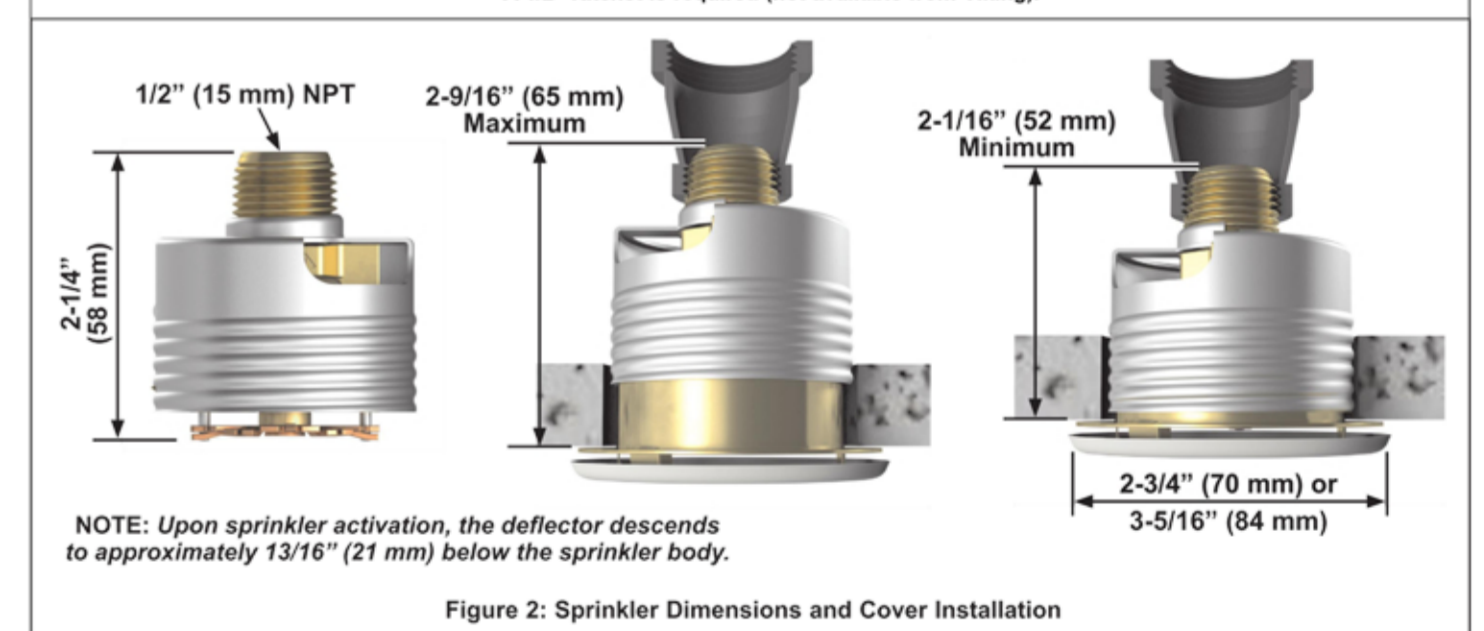
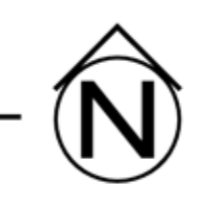


Figure 2: Sprinkler Dimensions and Cover Installation

FIRE SPRINKLER PLAN
SCALE: 1/8" = 1'-0"



~ GENERAL NOTES ~

- OWNER/OCCUPANT SHALL MAINTAIN MINIMUM OF +40°F TO PREVENT FREEZING OF FIRE SPRINKLER SYSTEM.
- C.P.V.C. INSTALLATION PERSONNEL SHALL BE CERTIFIED FOR C.P.V.C. PRODUCTS.
- THE FIRE PROTECTION SYSTEM SHOWN ON THIS PLAN HAS BEEN DESIGNED & IS TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STANDARDS OF THE NATIONAL FIRE CODES, PUBLISHED BY THE NFPA, LATEST EDITION, EXCEPT WHERE PROJECT SPECIFICATIONS DICTATE OTHERWISE.
- ALL HANGERS AND LOCATIONS TO BE IN ACCORDANCE WITH NFPA NO. 13 (2019).
- HIGH DEGREE TEMPERATURE SPRINKLERS TO BE INSTALLED IN ACCORDANCE WITH NFPA NO. 13 (2019).
- THIS DRAWING IS INTENDED TO SHOW THE GENERAL ARRANGEMENT & EXTENT OF WORK TO BE DONE. THE LOCATIONS GIVEN ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATIONS AS MAY BE FOUND NECESSARY TO MEET ANY STRUCTURAL OR JOB CONDITIONS. THE CONTRACTOR IS TO VISIT THE JOB SITE TO VERIFY ALL DIMENSIONS AND JOB CONDITIONS.

~ SPRINKLER LEGEND ~

QTY.	SYMBOL	MANFR.	MODEL	TYPE	TEMP	FINISH	THREAD	K-FACTOR	PART NO.	S.I.N.
16	●	VIKING	MIRAGE	QUICK RESPONSE CONCEALED PENDANT	175°F	WHITE	1/2" NPT	5.6	13503	VK462
36	◀	VIKING	MIRAGE	QUICK RESPONSE CONCEALED SIDEWALL	165°F	WHITE	1/2" NPT	5.6	17555A	VK481
52				TOTAL PROJECT						

~ DESIGN CRITERIA ~

A.H.J.:	CITY OF SANTA FE FIRE DEPT./FIRE MARSHAL	SYSTEM DEMAND:	250 GPM @ 58.0 PSI
OCCUPANCY CLASS:	LIGHT HAZARD	DURATION:	10.0 MINUTES
TYPE OF SYSTEM:	WET-PIPE (NO ANTI-FREEZE)	WATER SUPPLY DATA:	
DESIGN STD.:	N.F.P.A. 13 (2019)	STATIC:	77.0 PSI
PIPE SIZING:	PIPE SCHEDULE	RESIDUAL:	75.0 PSI @ 350 GPM
DESIGN DENSITY:	0.10 GPM / 1,500 SQFT	SOURCE:	SANTA FE CITY WATER DIVISION
MAX. SPRINK. COV.:	196 SQFT (14'X14')	DATE:	SEPTEMBER 30, 2024
PIPE AND FITTINGS:	C.P.V.C. OR SCHEDULE #10 BLACK STEEL		
HANGER/STRAPS:	TOLCO		

DESIGNED BY: JERRY D. WATTS, MSFPE / LLC

SANTA FE, NM USA	STATE FIRE MARSHAL CERT. #23-0176	(800) 503-1961 NATION WIDE	E-mail: accentfire@aol.com
DATE:	OCTOBER 11, 2024	ACCENT FIRE SAFETY	JOB # 24-70019
CONTRACTOR	JOB # N/A		



DRAWINGS
CHECKED BY: N. ARANDA, F.P.E.
DATE:

GRACE COMMUNITY CHURCH ADDITION

2247 CAMINO CARLOS REY
SANTA FE, NEW MEXICO 87507

NOTES

Address	2247 Camino Carlos Rey
Zoning	R-5
Lot Area	1.5 Acres (64,410 sq. ft.)
Existing Church - Roofed Area	5,540 sq. ft.
Proposed New Building	5,800 sq. ft.
Proposed Garage and Storage	1,100 sq. ft.
Total Building Square Footage	12,440 sq. ft.
Total Open Space	51,970 sq. ft. 79% coverage
Parking Areas	40,970 sq. ft. (9,040 sq. ft.) Asphalt Proposed Permeable Pavers
Parking Spaces	73 Spaces
Landscaped Areas - Total	11,000 sq. ft.
Planting Areas in Parking Lot	(8,010 sq. ft.)
Central Courtyard	(2,490 sq. ft.)
Front Raised Planters	(500 sq. ft.)

SIGNIFICANT STREET TREE SURVEY

- There are no existing street trees on this property along Camino Carlos Rey. There are (2) street trees proposed for corner plantings.

SIGNIFICANT (Existing) TREE - SURVEY for SITE

- R-1 Existing Sycamore 9" caliper Proposed Removal
-Existing tree located in New Building construction area
* PROPOSED REPLACEMENT with Redbud (T3) in courtyard
- R-2 Existing Ash 7" caliper Proposed Removal
-Existing tree located in New Building construction area
* PROPOSED REPLACEMENT with Chinese Pistach (T4)

PLANT LIST - PARKING LOT AREAS

PLANT SPECIES	QUANTITY	SIZE	WATER REQ.
DECIDUOUS TREES:			
T1 Texas Red Oak	4	2" cal.	L-M
T2 Village Green Japanese Zelkova	2	2" cal.	L-M
T3 Chanticleer Pear	4	2" cal.	L-M
T9 'Accolade' Elm	1	2" cal.	L-M
T10 New Mexico Privet	2	2" cal.	L-M
EVERGREEN TREES:			
T6 Blue Atlas Cedar	3	6'-8'	L-M
T5 Colorado Blue Spruce	1	6'-8'	L-M
T7 Columnar Blue Spruce	1	6'-8'	L-M
SHRUBS:			
S1 Tam Juniper	14	5 gal	L-M
S2 Silverberry	3	5 gal	L-M
S3 Rubber Rabbitbrush	6	5 gal	VL-L
S4 Mountain Mahogany	3	5 gal	VL-L
S5 Apache Plume	12	5 gal	VL-L
S6 'Gold Star' Juniper	10	5 gal	L-M
S7 'Spanish Gold' Broom	3	5 gal	L-M
S8 'Emerald Galety' Wintercreeper	32	5 gal	L-M
S9 'Little Missy' Boxwood	7	5 gal	L-M
S10 Dwarf Japanese Juniper	6	5 gal	L-M
S11 Red Flowering Yucca	7	5 gal	L-M
VINES:			
V1 English Ivy	7	5 gal	L-M
ORNAMENTAL GRASSES:			
G1 Karl Forester Feather Reed Grass	4	5 gal	L-M
G2 Common Maiden Grass	2	5 gal	L-M
G3 Mexican Feather Grass	19	1 gal	VL-L

PLANT LIST - FRONT ENTRY PLANTERS

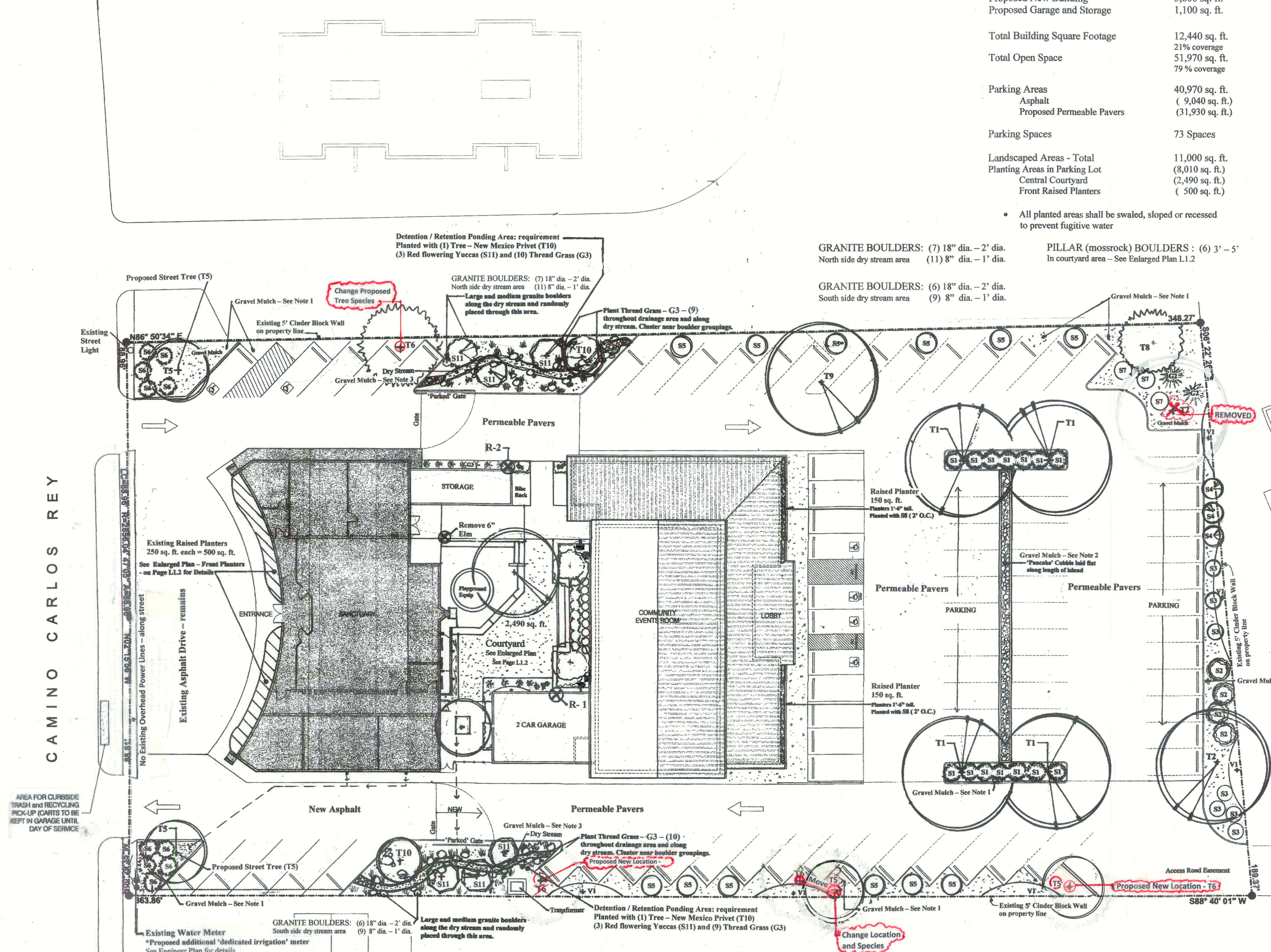
See Enlarged Plans for Center Courtyard and Front Planters L1.2

SHRUBS:	QUANTITY	SIZE	WATER REQ.
S7 'Spanish Gold' Broom	4	5 gal	L-M
S5 Apache Plume	4	5 gal	VL-L
S12 'Royal Red' Butterfly Bush	3	5 gal	L-M
S13 'Miss Ruby' Butterfly Bush	6	5 gal	L-M
S14 'First Choice' Blumist Spirea	5	5 gal	L-M
S15 Fernbush	2	5 gal	VL-L
S16 'Grosso' Lavender	6	5 gal	L-M
ORNAMENTAL GRASSES AND PERENNIALS:			
G4 'Prairie Blues' Little Bluestem	10	5 gal	VL-L
P4 'Max Frei' Saponaria	21	1 gal	L-M
P5 Turkish Veronica	30	1 gal	L-M
P6 Tall Bearded Iris - variety	10	1 gal	L-M

PLANT LIST - CENTER COURTYARD

See Enlarged Plans for Center Courtyard and Front Planters L1.2

DECIDUOUS TREES:	QUANTITY	SIZE	WATER REQ.
T3 'Merlot' Redbud	1	2" cal.	L-M
T4 Chinese Pistache Tree	1	2" cal.	L-M
T7 'Ivory Silk' Lilac Tree	2	2" cal.	L-M
SHRUBS:			
S9 'Little Missy' Boxwood	7	5 gal	L-M
S10 Dwarf Japanese Juniper	6	5 gal	L-M
VINES:			
V1 English Ivy	16	5 gal	L-M
ORNAMENTAL GRASSES:			
G1 Karl Forester Feather Reed Grass	4	5 gal	L-M
PERENNIALS:			
P1 'Bowles' Periwinkle	19	1 gal	L-M
P2 Pineleaf Penstemon	4	1 gal	VL-L
P3 'Patriot' Hosta	3	1 gal	L-M



NOTE 1: 7/16" Gravel Mulch Areas 8,300 sq. ft.
Tons / Cubic Yards 95 tons/76 cubic yards

- Install 7/16" Santa Fe Brown crushed gravel 3" deep over commercial grade filter fabric. Level existing grade 4" below top of curb or abutting pavement surface, before installing gravel to insure gravel remains approximately 1" below top of curb or pavement, after installation. The City of Santa Fe requests all gravel be screened and washed before installation.
- All planting beds shall be swaled, sloped or recessed (see above gravel installation instructions) to prevent fugitive water.
- See engineer drainage plan for grading details.

NOTE 2: 6" - 8" Grey Pancake Cobblestone 380 sq. ft.
Tons / Cubic Yards 15 tons/10 cubic yards

- Install flat, mixed color 'pancake cobble' over commercial grade filter fabric. Level existing grade 4" below top of curb or abutting pavement surface, before installing cobble. Lay on flat side. The City of Santa Fe requests all gravel be screened and washed before installation.
- All planting beds shall be swaled, sloped or recessed (see above gravel installation instructions) to prevent fugitive water.
- See engineer drainage plan for grading details.

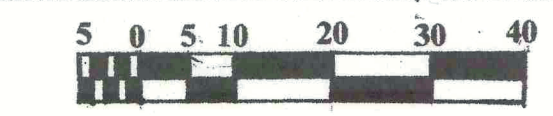
NOTE 3: 4" - 8" Grey Cobblestone (dry streams) 320 sq. ft.
Tons / Cubic Yards 10 tons/9 cubic yards

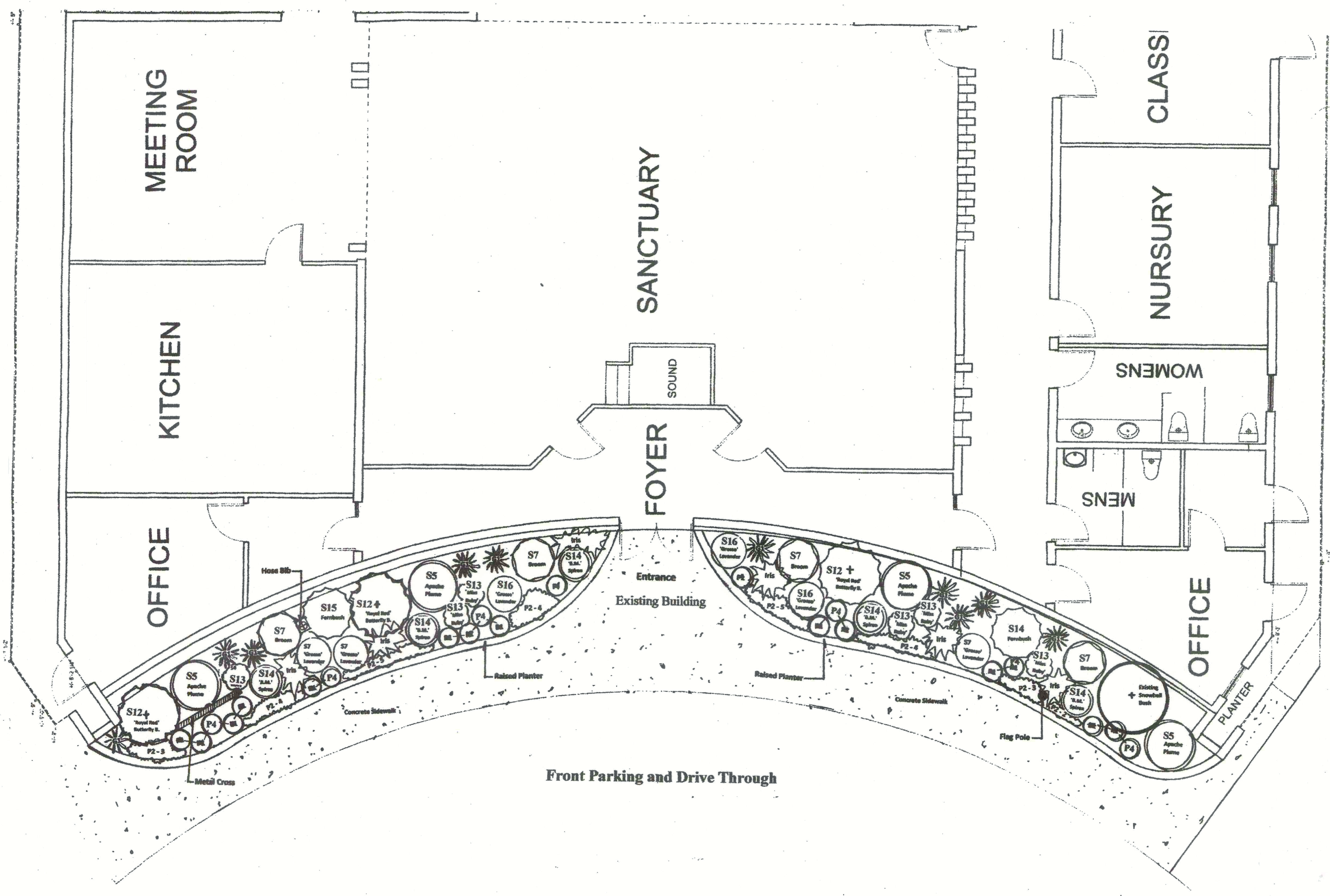
- Install grey cobblestone in swale of dry stream, approximately 1" deep over commercial grade filter fabric. Follow contour of stream bed to create naturalized swale approximately 2' below surrounding grade. Dry stream intent to hold water in planting area. The City of Santa Fe requests all gravel be screened and washed before installation.
- All planting beds shall be swaled, sloped or recessed (see above gravel installation instructions) to prevent fugitive water.
- See engineer drainage plan for grading details.

1 PROPOSED LANDSCAPE PLAN

Scale: 1" = 20' - 0"

See L1.3 for Irrigation and Water Harvesting Plan



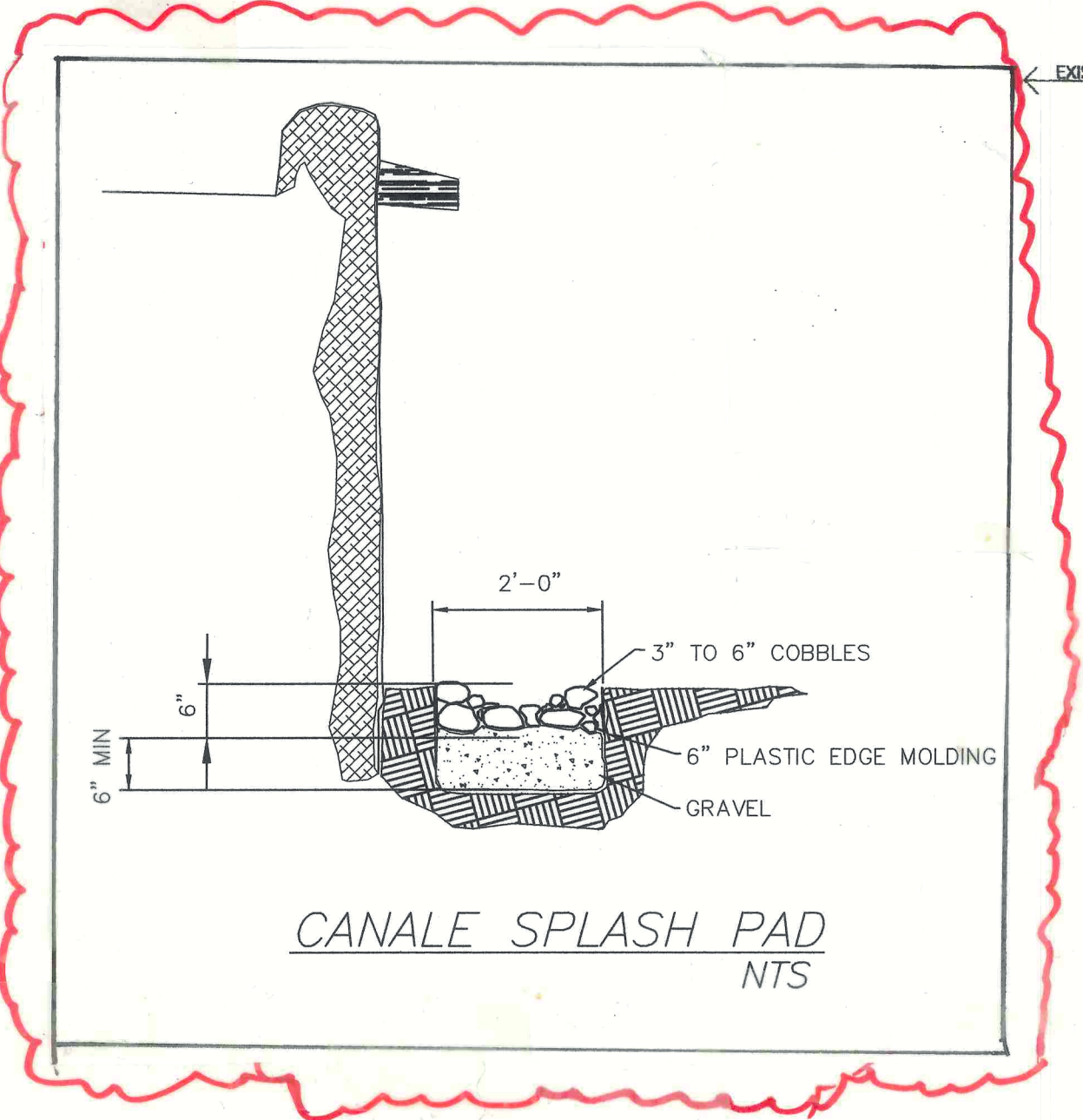
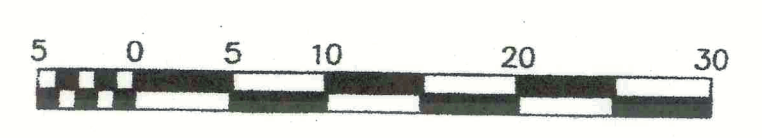


PLANT LIST - FRONT ENTRY PLANTERS
See complete plant list for whole site on L1.1

SHRUBS:	QTY	SIZE	Water REQ.
S7 'Spanish Gold' Broom	4	5 gal	L-M
S8 Apache Plume	4	5 gal	VL-L
S12 'Royal Red' Butterfly Bush	3	5 gal	L-M
S13 'Miss Ruby' Butterfly Bush	6	5 gal	L-M
S14 'First Choice' Bluemist Spirea	5	5 gal	L-M
S15 Fernbush	2	5 gal	VL-L
S16 'Grosso' Lavender	6	1 gal	L-M

ORNAMENTAL GRASSES and PERENNIALS	QTY	SIZE	Water REQ.
G4 'Prairie Blues' Little Bluestem	10	1 gal	VL-L
P4 'Max Frei' Saponaria	21	1 gal	L-M
P5 Turkish Veronica	30	1 gal	L-M
P6 Tall Bearded Iris - variety	10	1 gal	L-M

Grace Community Church
Front Entry - Planter
Scale: 1" = 10' - 0"

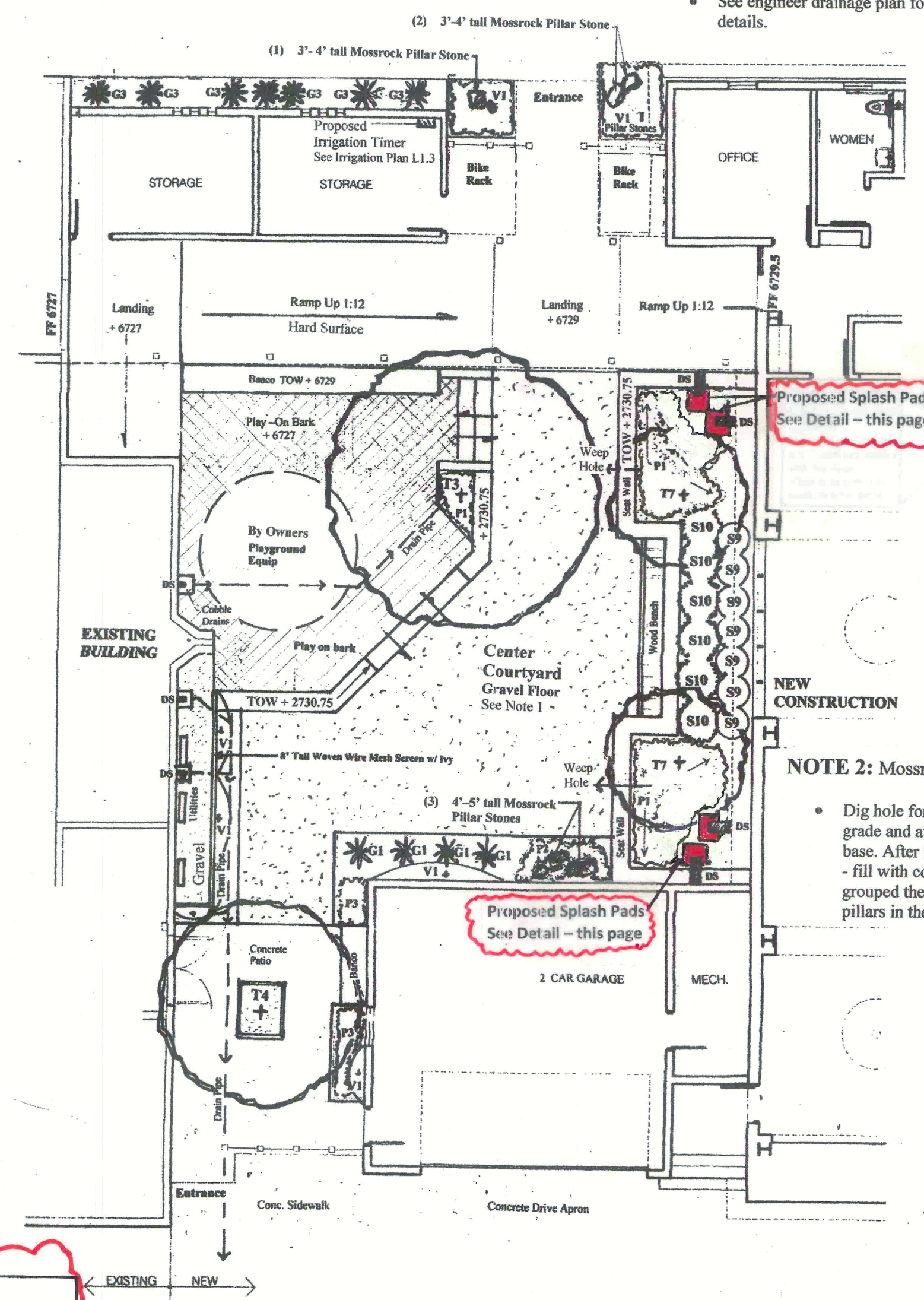


NOTES

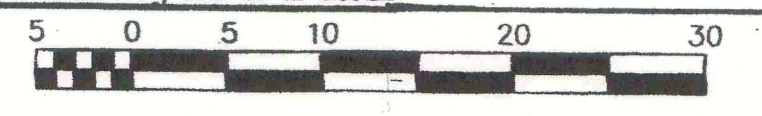
Courtyard - Landscape Areas	2,490 sq. ft.
Hard Surfaces	270 sq. ft.
Gravel Surfaces	880 sq. ft.
Walk - on Bark Surfaces	500 sq. ft.
Planted Areas - with bark mulch	840 sq. ft.

NOTE 1: 7/16" Gravel Mulch Areas
1,009 sq. ft.
11.5 tons
9 cubic yards

- Install 7/16" Santa Fe Brown crushed gravel 3" deep over commercial grade filter fabric. Level existing grade before installing gravel to insure uniform coverage. The City of Santa Fe requests all gravel be screened and washed before installation.
- All planting beds shall be swaled, sloped or recessed (see above gravel installation instructions) to prevent fugitive water.
- See engineer drainage plan for grading details.



Enlarged Center Courtyard Plan
Scale: 1" = 10' - 0"



PLANT LIST - CENTER COURTYARD
See complete plant list for whole site on L1.1

DECIDUOUS TREES:	QTY	SIZE	Water REQ.
T3 'Merlot' Redbud	1	2" cal.	L-M
T4 Chinese Pistache Tree	1	2" cal.	L-M
T7 'Ivory Silk' Lilac Tree	2	2" cal.	L-M

SHRUBS:	QTY	SIZE	Water REQ.
S9 'Little Missy' Boxwood	7	5 gal	L-M
S10 Dwarf Japanese Juniper	6	5 gal	L-M

VINES:	QTY	SIZE	Water REQ.
V1 English Ivy	16	5 gal	L-M

ORNAMENTAL GRASSES:	QTY	SIZE	Water REQ.
G1 Karl Forester Feather Reed Grass	4	5 gal	L-M

PERENNIALS:	QTY	SIZE	Water REQ.
P1 'Bowles' Periwinkle	19	1 gal	L-M
P2 Pineleaf Penstemon	4	1 gal	VL-L
P3 'Patriot' Hosta	3	1 gal	L-M

Alana Markle - Landscape Architect
115 Valencia Road
Santa Fe, N.M. 87505
541 647 835

Addition to Grace Community Church
2247 Camino Carlos Rey
Santa Fe, New Mexico 87507

DRAWING REVISED: 2 - 24 - 25

Date 2 - 24 - 25

Job No. 144

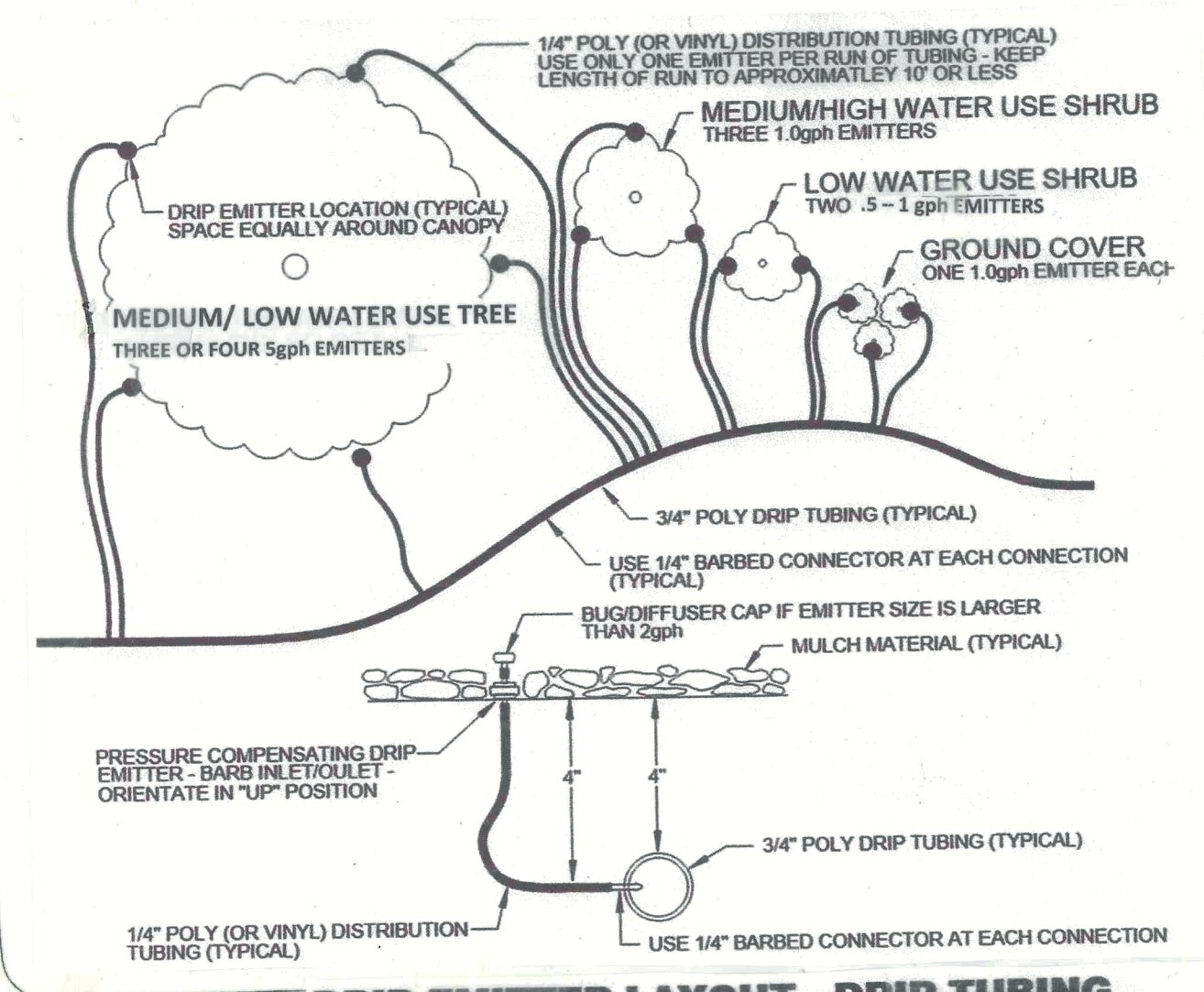
PROPOSED LANDSCAPE PLAN

Scale 1" = 10' - 0"

Sheet

L1.2

***NOTE: See complete plant list for entire project on L1.1



NOTES: for Drip Emmitter Layout

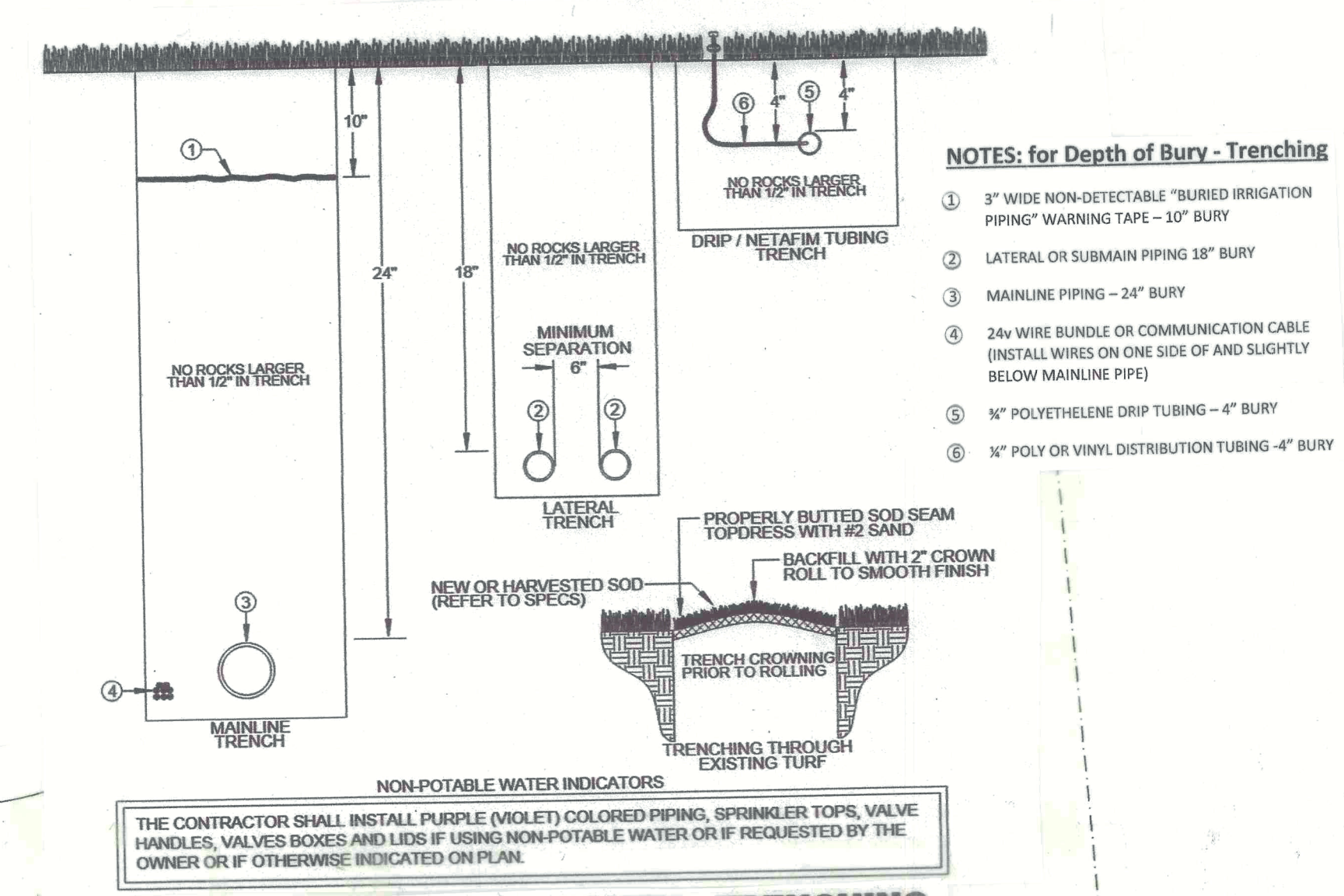
A. DRIP EMITTERS MUST BE PRESSURE COMPENSATING - OTHER EMITTER TYPES ARE NOT ALLOWED

B. FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSERTING DRIP EMITTERS

C. SECURE ALL TUBING IN PLACE WITH LANDSCAPE STAPLES AT 3' INTERVALS.

D. NEVER STRETCH ANY TUBING TIGHT - ALLOW ADEQUATE SLACK FOR EXPANSION WITH TEMPERATURE VARIATIONS.

E. EACH DRIP EMITTER SHALL USE A SEPARATE 1/8\"/>



NOTES: for Depth of Bury - Trenching

1. 3\"/>

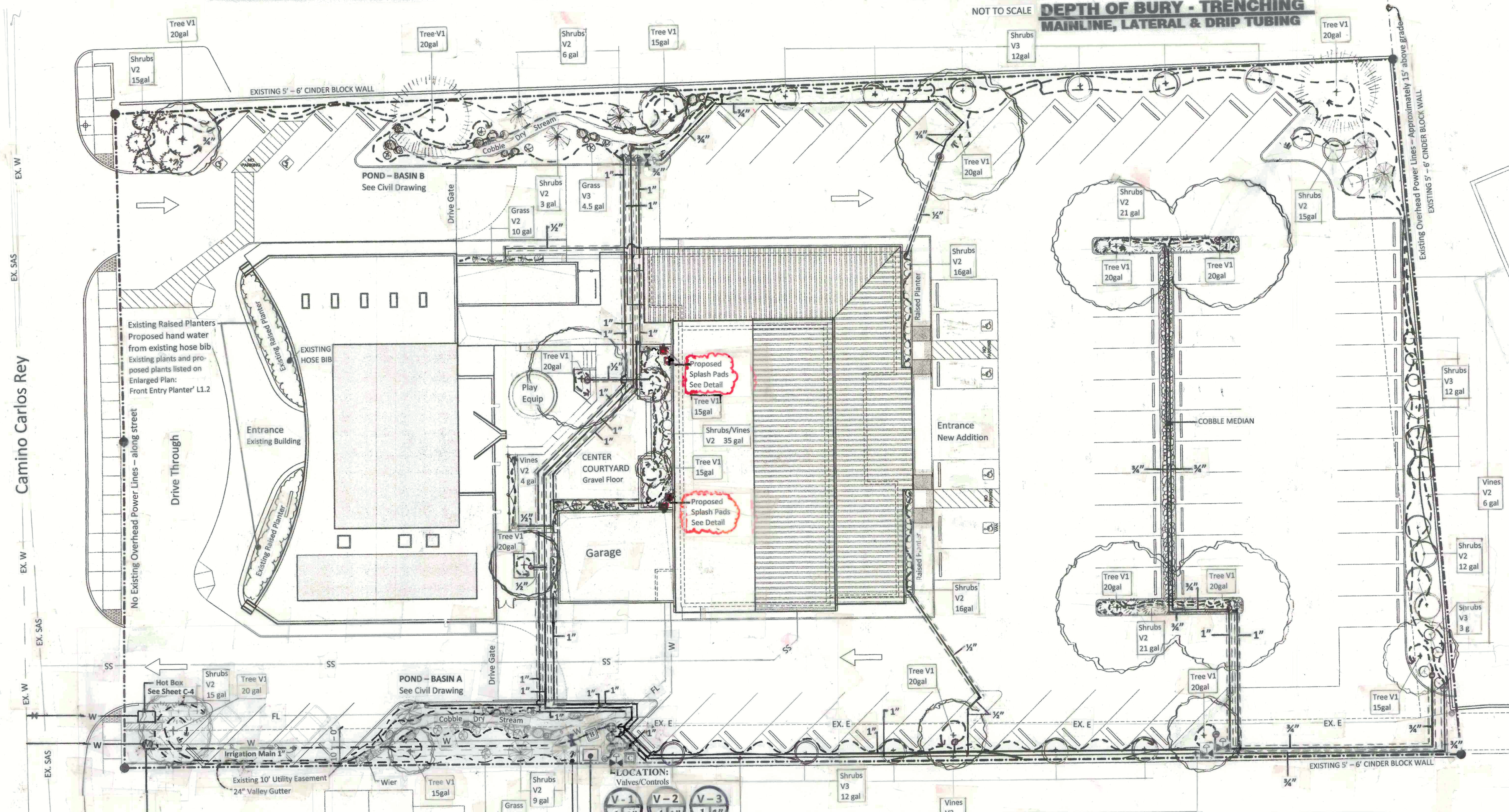
2. LATERAL OR SUBMAIN PIPING 18\"/>

3. MAINLINE PIPING - 24\"/>

4. 24V WIRE BUNDLE OR COMMUNICATION CABLE (INSTALL WIRES ON ONE SIDE OF AND SLIGHTLY BELOW MAINLINE PIPE)

5. 1/2\"/>

6. 1/2\"/>



PROPOSED DOMESTIC and IRRIGATION METER

ONE - 3/4\"/>

ONE - WATER METER (Domestic)

ONE - 1\"/>

PER COSF DETAIL 30 SEE CIVIL DWG - C4

WATER METER FOR LANDSCAPE USE

1\"/>

TEST UTILITY PRESSURE AND CONFIRM 75psi DYNAMIC WATER PRESSURE AT 40gpm FLOW PRIOR TO INSTALLING ANY IRRIGATION COMPONENTS.

TRANSFORMER

Maintain min. vertical separation from existing gas and power

INDICATES VALVE ID

X-XX INDICATES ELECTRIC VALVE SIZE

XX XX INDICATES APPROX. VALVE FLOW

IRRIGATION WATER WINDOW					
Valve ID	Pro ID	Spk Type	Flow	Precip Rate	Run Time
V1	A	Trees/Drip	5.69 gpm	.75gph	60 min (6.00 Max Flow)
V2	A	Shrubs/Drip (Med to Low water)	3.75 gpm	1/2/3 gph	60 Min (4.00 Max Flow)
V3	A	Shrubs/Drip (very Low Water)	.8 gpm	5/1/2 gph	60 Min (1.0 Max Flow)
Hose Bib	Hand Water	Shrubs/Grasses	.33gpm	1/2 gph	30 Min (1.5 Max Flow)
					Total Run Time 3.30 Hrs
					Gallons Per Cycle 624

BASE STATION RUN TIMES ARE CALCULATED TO APPLY 15 TO 20 GALLONS OF WATER PER TREE AND 1 TO 4 GALLONS OF WATER PER SHRUB PER IRRIGATION CYCLE. THIS IS ESTIMATED TO BE THE TYPICAL MAXIMUM DAILY REQUIREMENT. ADJUST STATION RUNTIMES AS NECESSARY TO ACCOMMODATE ACTUAL PLANT WATER REQUIREMENTS.

Year 1: Estimated Annual Use 3x Week/ 7 months = 55,000 gal/season

Year 3: Estimated Annual Use 2x Week - Zones 1 and 2/ 1x week Zone 3 = 33,000 gal/season

IRRIGATION LEGEND

DETAIL No. 1 PVC TO DRIP CONNECTION ASSEMBLY

SENNINGER # PSR - 30 PRESSURE REGULATOR (3/4\"/>

ASSOCIATED DRIP CONNECTION FITTINGS - INSTALLED IN TAN 10\"/>

ROUND VALVE BOX

DETAIL No. 2 DRIP END FLUSH CAP ASSEMBLY

COMPRESSION END CAP - SIZED FOR 1/2\"/>

POLYETHYLENE DRIP TUBING WITH ELBOW - INSTALLED IN TAN 10\"/>

ROUND VALVE BOX

DETAIL No. 3 ISOLATION GATE VALVE ASSEMBLY

WATT # W01 SERIES GATE VALVE WITH CROSS HANDLE (MAINLINE SIZE) - INSTALL ONE, UPSTREAM OF THE CONTROL VALVES. INSTALL IN TAN 10\"/>

ROUND VALVE BOX

DETAIL No. 4 ELECTRIC VALVE ASSEMBLY FOR DRIP SYSTEMS

RAINBIRD # PEB SERIES PLASTIC ELECTRIC VALVE WITH FLOW CONTROL AND 3/8\"/>

200 MESH STAINLESS STEEL SCREEN ELEMENT. INCLUDE IN ALL VALVE MANIFOLDS SCH 80 PVC UNIONS DOWNSTREAM OF EACH CONTROL VALVE FOR EASY REMOVAL AND REPAIR, PER COSF IRRIGATION DESIGN STANDARDS 7.4.2.1 'AUTOMATIC CONTROL VALVES

DETAIL No. 5 AIR RELEASE VALVE ASSEMBLY

BERMAD #C-30-1, 1\"/>

PLASTIC AIR RELEASE VALVE INSTALL IN TAN VALVE BOX

DETAIL No. 6 BACKFLOW PREVENTER ASSEMBLY

PERCO # 825Y - 1.5 - 1.5\"/>

REDUCED PRESSURE BACKFLOW PREVENTER. INSTALL IN HOTBOX #H013039028 (H82) INSULATED BACKFLOW DEVICE ENCLOSURE, ON A 4\"/>

CONCRETE PAD WITH 90 watt HEAT TAPE - CONTRACTOR TO PROVIDE GFI RECEPTACLE AT PROPER HEIGHT FOR 120 VAC ELECTRICAL POWER FOR HEAT TAPE PER COSF IRRIGATION STANDARDS.

DETAIL No. 7 IRRIGATION CONTROLLER ASSEMBLY

MOTOROLA # IRRNET M-AC - 4 STATION IRRIGATION CONTROLLER WITH SURGE PROTECTION. INSTALL IN INTERSPEC STAINLESS STEEL POWDER COATED ENCLOSURE (SIZE ENCLOSURE TO ACCOMMODATE NUMBER OF STATIONS (3). CONTRACTOR TO PROVIDE AND INSTALL 120 VAC ELECTRICAL POWER TO IRRIGATION CONTROLLER.

MAINLINE PIPE WITH 24V WIRE AND WARNING TAPE

SCH 40 PVC SOLVENT WELD PVC WITH SCH 80 PVC FITTINGS - ALSO INSTALL #14awg YELLOW TRACE WIRE AND #14awg ULUF STATION WIRES AND #12awg ULUF COMMON WIRE - INSTALL IRRIGATION WARNING TAPE AT 6\"/>

BURY

LATERAL PIPING

SCH 40 PVC WITH SCH 40 PVC FITTINGS - LATERAL PIPE SIZE INDICATED ON PLAN - UNSIZED LATERAL PIPE FOR DRIP SYSTEM IS 1\"/>

DRIP TUBING TO TREES / SHRUBS / GRASSES

1/2\"/>

POLYETHYLENE DRIP TUBING WITH 1/2\"/>

POLY DISTRIBUTION TUBING - INSTALL RAINBIRD PRESSURE COMPENSATING DRIP EMITTERS (REFER TO IRRIGATION NOTES AND DETAIL DRAWING FOR TUBE ROUTING AND DRIP EMITTER INSTALLATION)

WATER METER FOR LANDSCAPE USE (REFER TO CIVIL DWGS)

1\"/>

CITY METER FOR LANDSCAPE - TEST UTILITY PRESSURE AND CONFIRM 75psi DYNAMIC WATER PRESSURE AT 40 gpm FLOW PRIOR TO INSTALLING ANY IRRIGATION COMPONENTS - REFER TO IRRIGATION NOTES FOR ADDITIONAL INSTRUCTIONS

MANIFOLD INSTALLATION ORDER:

ASSEMBLE DRIP COMPONENTS IN THE ORDER (1) ELECTRIC VALVES (2) FILTER (3) REGULATOR. SEE DETAIL

SLEEVE PIPE

CONTRACTOR TO INSTALL PIPING IN CLASS 200 PVC SLEEVE PIPE WHEN CROSSING ANY HARDSCAPE SURFACE - SLEEVE SIZE IS TWO SIZES LARGER THAN PIPE TO BE SLEEVED - INSTALL 24 VAC STATION WIRES IN SEPARATE 2\"/>

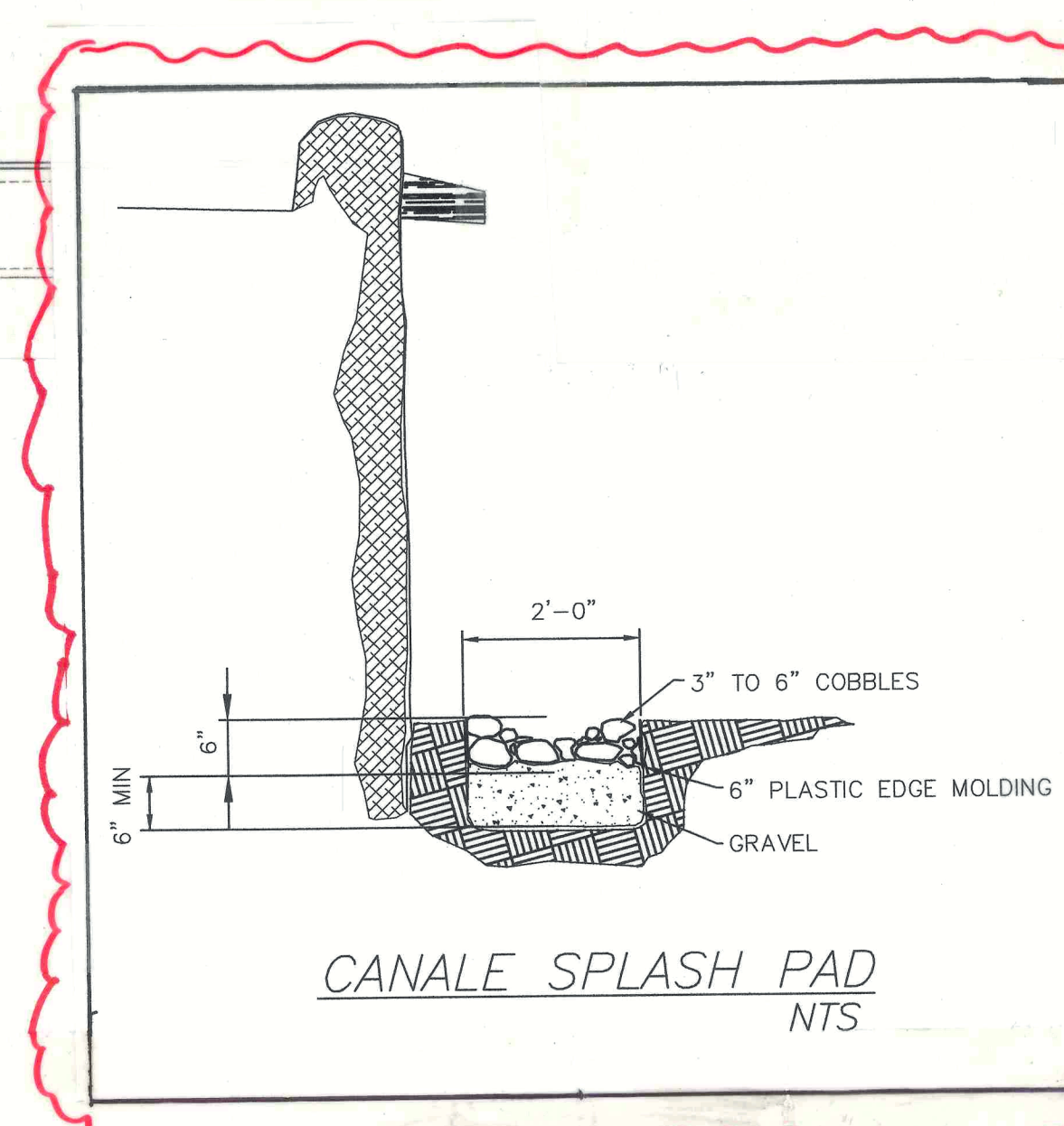
CLASS 200 PVC SLEEVE - INSTALL DRIP TUBING IN 2\"/>

CLASS 200 PVC SLEEVE - MAINTAIN PROPER DEPTH OF BURY ON ALL SLEEVE PIPE - NOT ALL SLEEVING MAY BE INDICATED ON PLAN - PROVIDE SLEEVING ACROSS HARDSCAPE AS NECESSARY.

SHEET REFERENCE

REFER TO SHEET L1.4 FOR IRRIGATION DETAIL DRAWINGS

SEE ADDITIONAL IRRIGATION NOTES WITH DETAILS L1.4



NOTES

Address 2247 Camino Carlos Rey

Zoning R-5

Lot Area 1.5 Acres (64,410 sq. ft.)

Existing Church - Roofed Area 5,540 sq. ft.

Proposed New Building 5,800 sq. ft.

Proposed Garage and Storage 1,100 sq. ft.

Total Building Square Footage 12,440 sq. ft.

Total Open Space 51,970 sq. ft.

79% coverage

Parking Areas 39,511 sq. ft.

Existing Asphalt - remains (5,886 sq. ft.)

Proposed New Asphalt (3,154 sq. ft.)

Proposed Permeable Pavers (30,471 sq. ft.)

Parking Spaces 73 Spaces

Landscaped Areas - Total 12,459 sq. ft.

Planting Areas in Parking Lot (9,151 sq. ft.)

Central Courtyard (2,920 sq. ft.)

Front Raised Planters (588 sq. ft.)

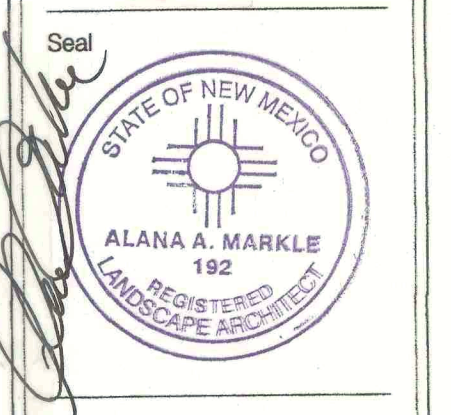
All planted areas shall be swaled, sloped or recessed to prevent fugitive water

Irrigation Plan - Landscaping

Scale 1\"/>

See Sheets L1.1 and L1.2 for specific plant identification

Alana Markle - Landscape Architect
115 Valencia Road
Santa Fe, N.M. 87505
541 647 835



New Building for
Grace Community Church
2247 Camino Carlos Rey
Santa Fe, New Mexico 87507

Key Plan

Date **2-24-25**

Job No. 149

Revisions

IRRIGATION PLAN

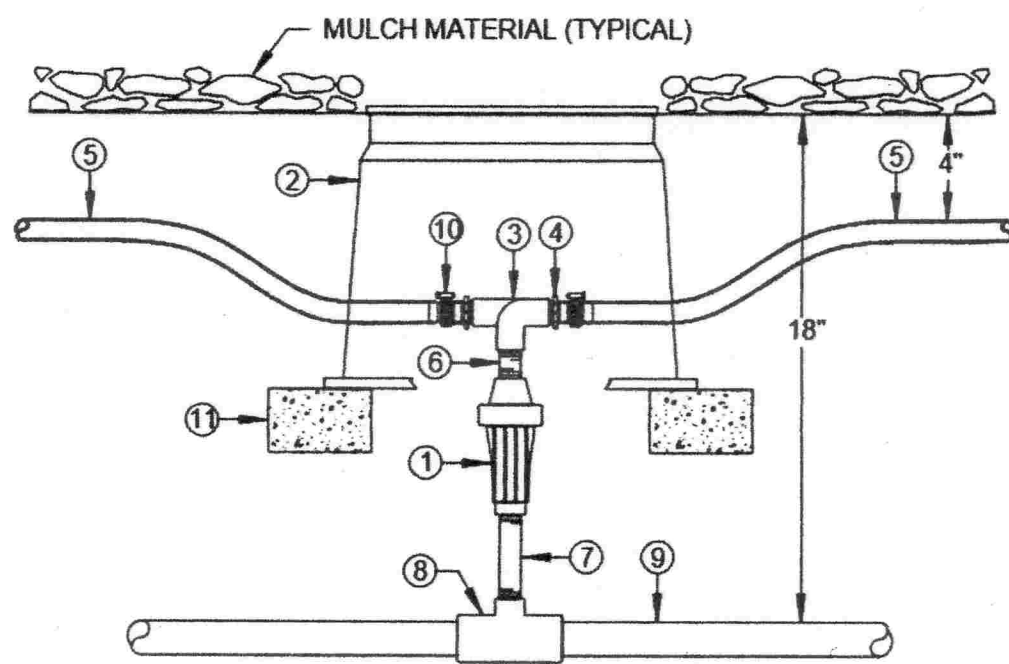
REVISIONS: 2-24-25

Scale 1:20

Sheet

L1.3

Special Use Submittal



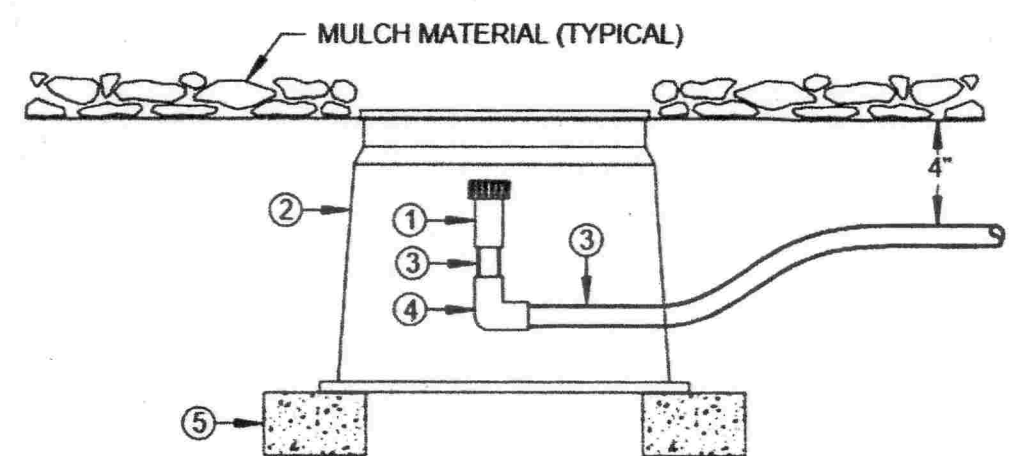
NON-POTABLE WATER INDICATORS

THE CONTRACTOR SHALL INSTALL PURPLE (VIOLET) COLORED PIPING, SPRINKLER TOPS, VALVE HANDLES, VALVE BOXES AND LIDS IF USING NON-POTABLE WATER OR IF REQUESTED BY THE OWNER OR IF OTHERWISE INDICATED ON PLAN.

- 1 SENNINGER #PSR-30 30psi PRESSURE REGULATOR (3/4" FIPT INLET AND OUTLET)
- 2 CARSON (OLDCASTLE) #910-10 WITH "T"-STYLE COVER OF APPROPRIATE COLOR
- 3 SCH 40 PVC THREADED TEE OR THREADED ELL (REFER TO PLAN) - 3/4"
- 4 BARBED DRIP INSERT FITTING (TYPICAL) (3/4" MIPT x 3/4" BARB)
- 5 3/4" POLY DRIP TUBING - MAXIMUM RUN OF 150' IN EACH DIRECTION
- 6 SCH 80 PVC NIPPLE - 3/4" x CLOSE
- 7 SCH 80 PVC NIPPLE - 3/4" x 6" (OR LENGTH AS REQUIRED)
- 8 SCH 40 PVC LATERAL FITTING WITH 3/4" THREADED OUTLET (SEE PLAN FOR SIZE)
- 9 LATERAL PIPING (SEE PLAN FOR SIZE AND TYPE)
- 10 1" STAINLESS STEEL HOSE CLAMP (TYPICAL) - SECURE TUBING TO INSERT FITTING
- 11 SOLID BRICK (2 BRICKS REQUIRED)

1 PVC TO DRIP TUBING CONNECTION
18" BURY (8.0gpm MAX FLOW)

NOT TO SCALE



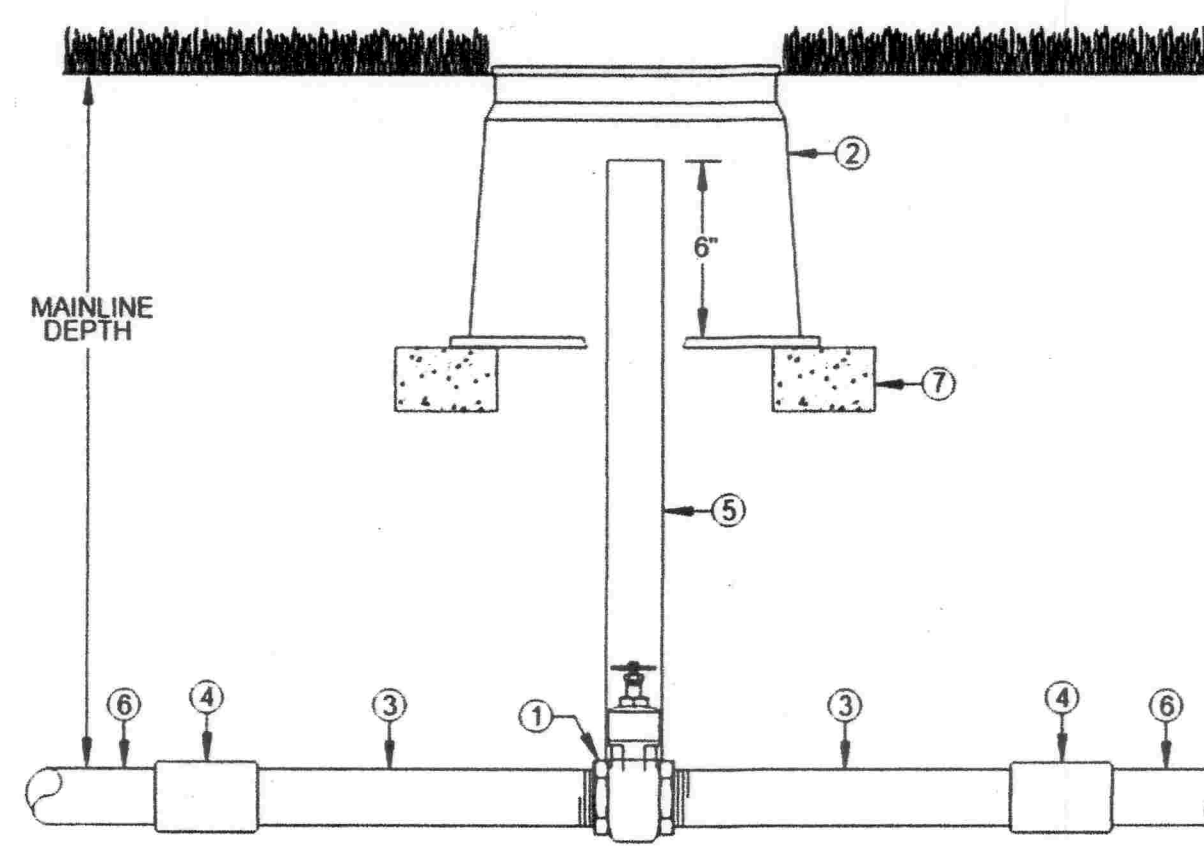
NON-POTABLE WATER INDICATORS

THE CONTRACTOR SHALL INSTALL PURPLE (VIOLET) COLORED PIPING, SPRINKLER TOPS, VALVE HANDLES, VALVE BOXES AND LIDS IF USING NON-POTABLE WATER OR IF REQUESTED BY THE OWNER OR IF OTHERWISE INDICATED ON PLAN.

- 1 COMPRESSION FLUSH CAP FOR 3/4" POLYETHYLENE DRIP TUBING
- 2 CARSON (OLDCASTLE) #910-10 WITH "T"-STYLE COVER OF APPROPRIATE COLOR
- 3 3/4" POLYETHYLENE DRIP TUBING
- 4 COMPRESSION ELBOW FOR 3/4" POLYETHYLENE DRIP TUBING
- 5 SOLID BRICK (2 BRICKS REQUIRED)

2 DRIP TUBING FLUSH CAP

NOT TO SCALE



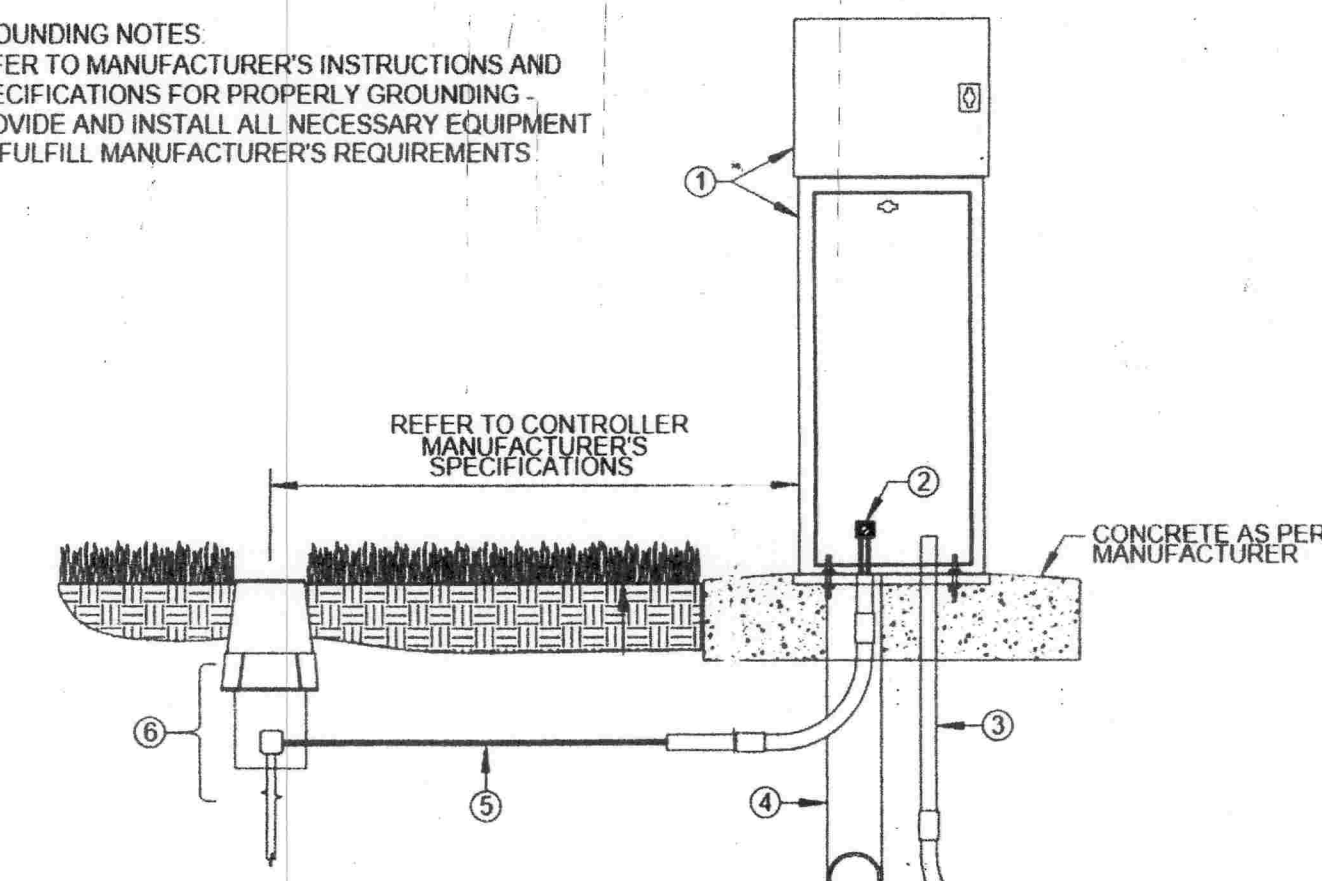
NON-POTABLE WATER INDICATORS

THE CONTRACTOR SHALL INSTALL PURPLE (VIOLET) COLORED PIPING, SPRINKLER TOPS, VALVE HANDLES, VALVE BOXES AND LIDS IF USING NON-POTABLE WATER OR IF REQUESTED BY THE OWNER OR IF OTHERWISE INDICATED ON PLAN.

- 1 WATTS #WGV-X SERIES GATE VALVE (PIPE SIZE)
- 2 CARSON (OLDCASTLE) #910-10 WITH "T"-STYLE COVER OF APPROPRIATE COLOR
- 3 SCH 80 PVC TOE NIPPLE (12" LENGTH)
- 4 SCH 80 PVC COUPLING (SOCKET ENDS)
- 5 SCH 40 PVC SLEEVE PIPE (2" LENGTH AS REQUIRED)
- 6 PVC SYSTEM PIPING (REFER TO PLAN FOR SIZE AND TYPE)
- 7 SOLID BRICK (2 BRICKS REQUIRED)

3 ISOLATION GATE VALVE (1" - 3")
3" OR SMALLER PIPE

NOT TO SCALE



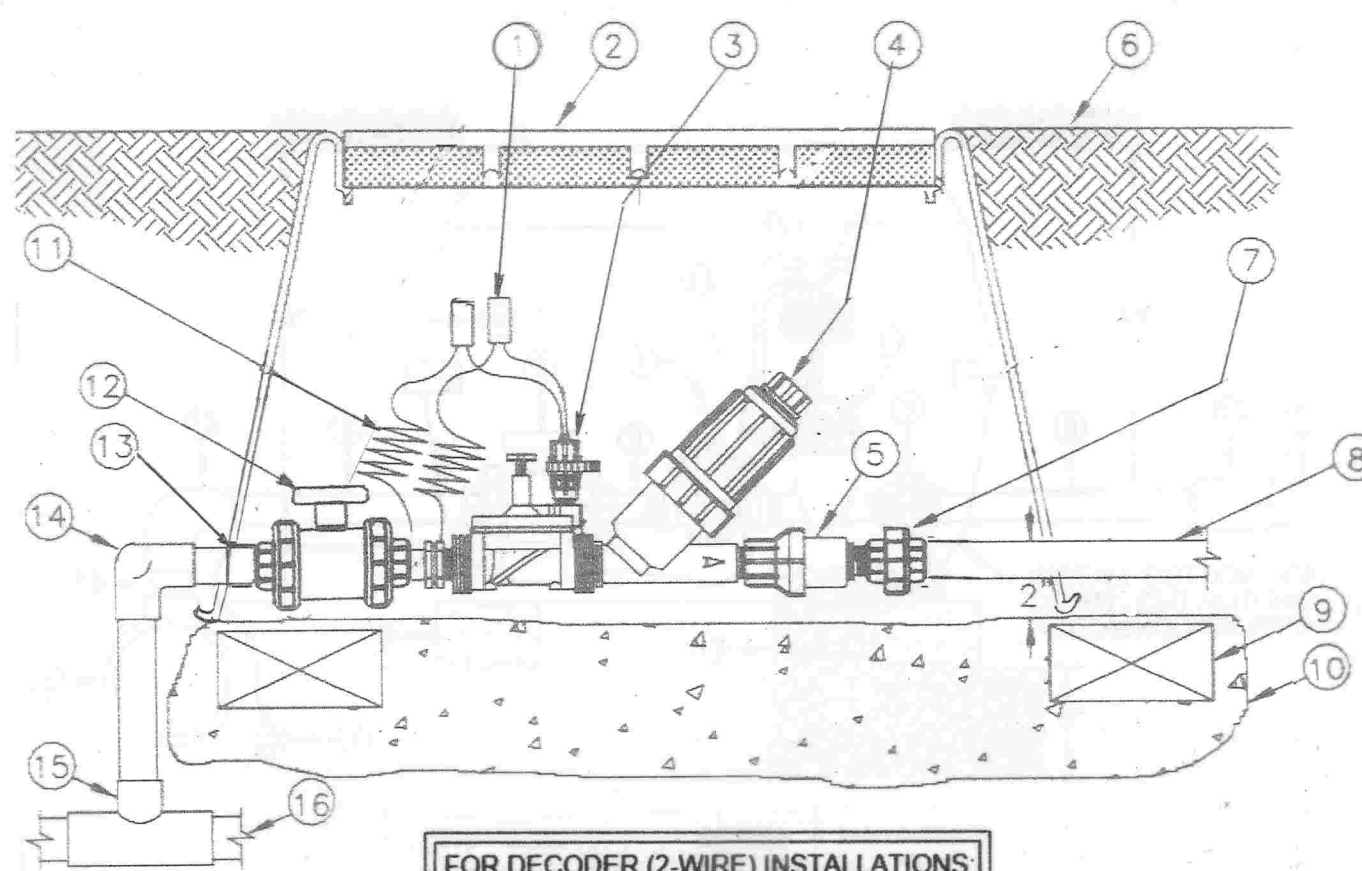
GROUNDING NOTES
REFER TO MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS FOR PROPERLY GROUNDING. PROVIDE AND INSTALL ALL NECESSARY EQUIPMENT TO FULFILL MANUFACTURER'S REQUIREMENTS.

REFER TO CONTROLLER MANUFACTURER'S SPECIFICATIONS
CONCRETE AS PER MANUFACTURER

- 1 IRRIGATION CONTROLLER AND PEDESTAL (REFER TO IRRIGATION LEGEND)
- 2 GROUND LUG ON SATELLITE CONTROLLER
- 3 ELECTRICAL CONDUIT FOR 120V ELECTRICAL CIRCUIT (SIZE AS REQUIRED)
- 4 PVC SLEEVE PROPERLY SIZED FOR ALL STATION WIRES. ALSO PROVIDE CONDUIT FOR WEATHER SENSOR CABLE IF A WIRED SENSOR IS USED ON PROJECT
- 5 #6 BARE COPPER WIRE (LENGTH AS REQUIRED - REFER TO MANUFACTURER INSTRUCTIONS)
- 6 GROUNDING AS PER MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. PROVIDE CARSON #910-10 ROUND VALVE BOXES FOR ACCESS TO ALL GROUND RODS

7 TYPICAL PEDESTAL MOUNT CONTROLLER

NOT TO SCALE



FOR DECODER (2-WIRE) INSTALLATIONS, REFER TO LEGEND FOR DECODER MODULE REQUIRED - INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.

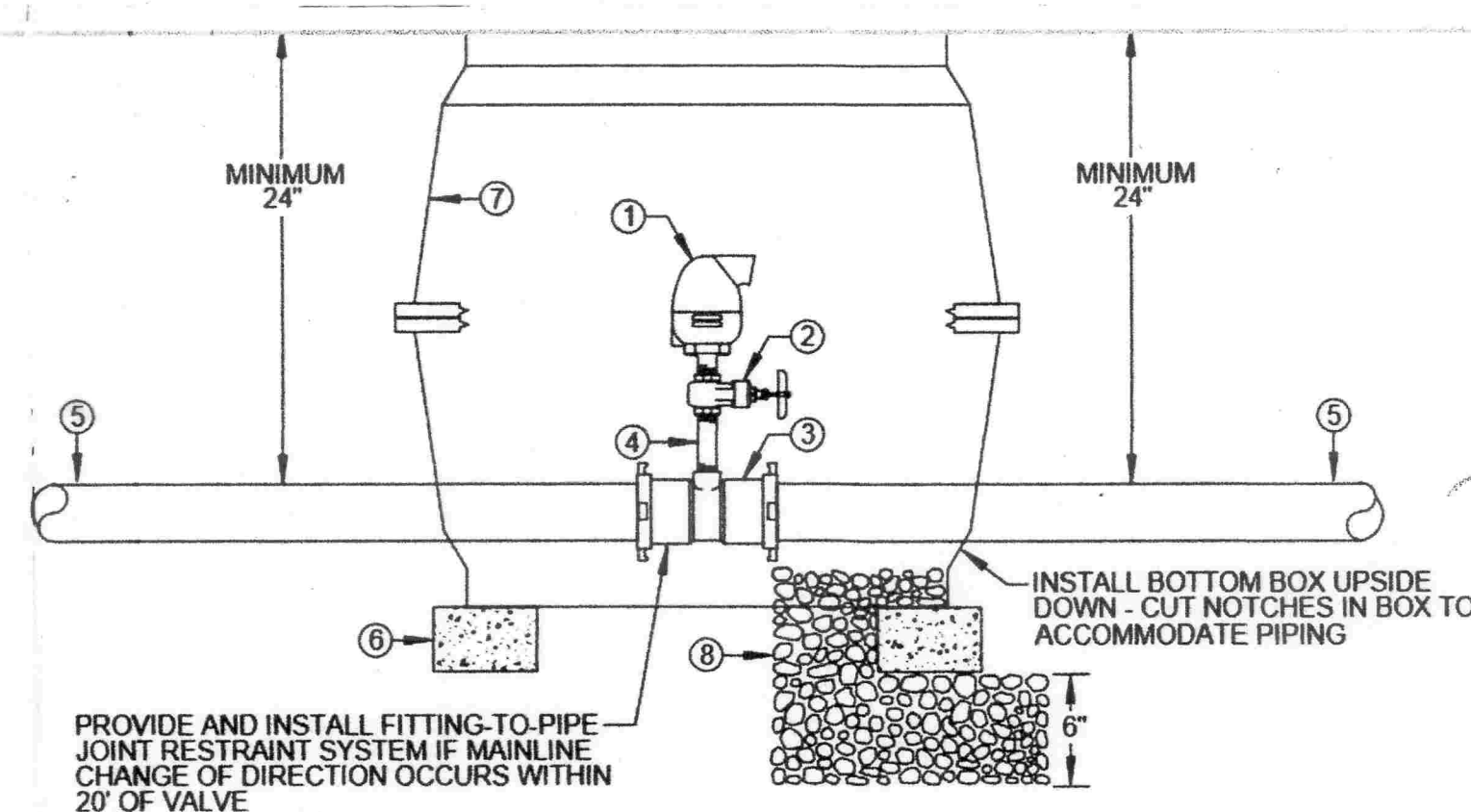
NON-POTABLE WATER INDICATORS

THE CONTRACTOR SHALL INSTALL PURPLE (VIOLET) COLORED PIPING, SPRINKLER TOPS, VALVE HANDLES, VALVE BOXES AND LIDS IF USING NON-POTABLE WATER OR IF REQUESTED BY THE OWNER OR IF OTHERWISE INDICATED ON PLAN.

- 1 WATERPROOF DRY SPLICE CONNECTORS
- 2 VALVE BOX WITH COVERS, 12" RAINBIRD CVPBMB JUMBO BOX
- 3 DIG 34" (6-9 DC) REMOTE CONTROL VALVE ASSEMBLY MODEL P53-075
- 4 155 MESH SCREEN FILTER WITH FLUSH CAP DIG MODEL P10 - 155 PLASTIC FILTER
- 5 30 PSI PRESET PRESSURE REGULATOR - SENNINGER PRL LOW FLOW
- 6 FINISH GRADE TOP
- 7 80 PVC TRU - UNION BALL VALVE (REGULAR STYLE, SOCKET ENDS)
- 8 PVC MAIN LATERAL
- 9 BRICK SUPPORT AT EACH CORNER
- 10 PEA GRAVEL SLUMP MIN. 3"
- 11 CONTROL WIRE TO LEFT - 2
- 12 SCH 80 PVC UNION (THREAD x SOCKET ENDS)
- 13 PVC SCH 40 MALE ADAPTER
- 14 PVC SCH 40 90 DEGREE ELL
- 15 SCH 40 TEE
- 16 MAIN SUPPLY LINE

4 ELECTRIC ZONE VALVE - DRIP (1")
24"x18" BURY (1324-12 BOXES)

NOT TO SCALE



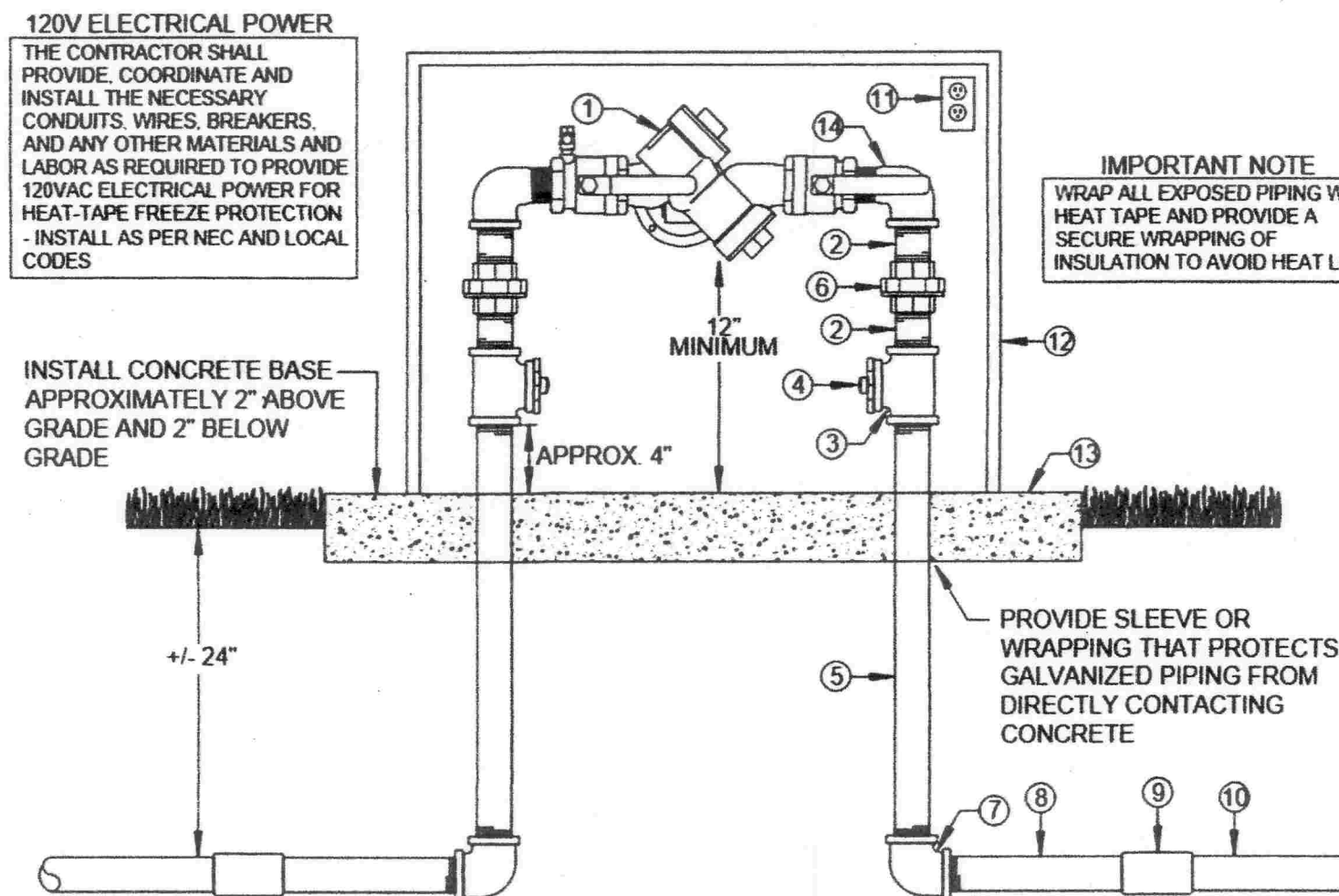
NON-POTABLE WATER INDICATORS

THE CONTRACTOR SHALL INSTALL PURPLE (VIOLET) COLORED PIPING, SPRINKLER TOPS, VALVE HANDLES, VALVE BOXES AND LIDS IF USING NON-POTABLE WATER OR IF REQUESTED BY THE OWNER OR IF OTHERWISE INDICATED ON PLAN.

- 1 BERMAD #C30 1" PLASTIC AIR RELEASE / VACUUM VALVE (1" MIPT)
- 2 WATTS #WGV SERIES 1" BRASS GATE VALVE WITH WHEEL HANDLE - FIPT
- 3 FOR 4" AND LARGER MAINLINE USE LEMCOHARCO DUCTILE IRON SERVICE TEE WITH 1" THREADED OUTLET FOR 3" AND SMALLER MAINLINE USE SCH 80 PVC SERVICE TEE WITH 1" SLIP OUTLET
- 4 SCH 80 PVC NIPPLE OR TOE NIPPLE DEPENDING ON SERVICE TEE (1" x 4")
- 5 MAINLINE PIPING (REFER TO LEGEND FOR TYPE AND SIZE)
- 6 SOLID BRICK (SUPPORT ALL FOUR CORNERS OF BOX)
- 7 CARSON #1324-15 VALVE BOX (2 REQUIRED) - PROVIDE (1) "T"-STYLE LID OF APPROPRIATE COLOR
- 8 3/4" CRUSHED GRAVEL (TAMP AND LEVEL) PROVIDE 6" BASE AND PARTIALLY FILL BOX INTERIOR

5 BERMAD AIR RELEASE VALVE (1")
24" BURY (1324-15 BOXES)

NOT TO SCALE



120V ELECTRICAL POWER
THE CONTRACTOR SHALL PROVIDE, COORDINATE AND INSTALL THE NECESSARY CONDUITS, WIRES, BREAKERS AND ANY OTHER MATERIALS AND LABOR AS REQUIRED TO PROVIDE 120VAC ELECTRICAL POWER FOR HEAT-TAPE FREEZE PROTECTION - INSTALL AS PER NEC AND LOCAL CODES

INSTALL CONCRETE BASE APPROXIMATELY 2" ABOVE GRADE AND 2" BELOW GRADE

IMPORTANT NOTE
WRAP ALL EXPOSED PIPING WITH HEAT TAPE AND PROVIDE A SECURE WRAPPING OF INSULATION TO AVOID HEAT LOSS

PROVIDE SLEEVE OR WRAPPING THAT PROTECTS GALVANIZED PIPING FROM DIRECTLY CONTACTING CONCRETE

- 1 REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER (SIZE AND MODEL AS INDICATED IN LEGEND)
- 2 GALVANIZED NIPPLE (CLOSE LENGTH OR LENGTH AS REQUIRED)
- 3 GALVANIZED TEE (PROVIDE GALVANIZED REDUCER BUSHING IF NECESSARY TO ACCOMMODATE DRAIN)
- 4 BUCKNER #BDV 1/2" BRASS AUTOMATIC DRAIN
- 5 GALVANIZED NIPPLE (30" LENGTH OR LENGTH AS REQUIRED)
- 6 GALVANIZED UNION
- 7 GALVANIZED ELL
- 8 SCH 80 PVC TOE NIPPLE (8" LENGTH)
- 9 SCH 40 PVC COUPLING
- 10 SCH 40 PVC MAINLINE PIPING
- 11 120VAC ELECTRICAL OUTLET FOR FREEZE PROTECTION HEAT TAPE - INSTALL PER ELECTRICAL CODES
- 12 INSULATED ENCLOSURE (SIZE AND MODEL AS INDICATED IN LEGEND)
- 13 4" THICK (3000psi) CONCRETE BASE - SIZE PER ENCLOSURE MANUFACTURER'S RECOMMENDATIONS
- 14 GALVANIZED STREET ELL

6 RP BACKFLOW PREVENTER (1" - 2")
24" BURY

NOT TO SCALE

IRRIGATION NOTES

IRRIGATION POINT OF CONNECTION
THE POINT OF CONNECTION REPRESENTED ON THESE PLANS IS A 1" CITY WATER METER FOR LANDSCAPE USE. REFER TO CIVIL DRAWINGS FOR WATER METER INSTALLATION INSTRUCTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER METER AND WATER SERVICE, INCLUDING UTILITY EXPANSION CHARGES. CONTRACTOR TO TEST FLOW/PRESSURE PERFORMANCE PRIOR TO INSTALLING ANY IRRIGATION RELATED COMPONENTS. THIS IRRIGATION SYSTEM REQUIRES 75psi DYNAMIC WATER PRESSURE AT 40gpm FLOW. CONTRACTOR TO REQUEST A NOTICE TO PROCEED FROM OWNER ONLY AFTER VERIFYING THAT PERFORMANCE MEETS THE ABOVE CONDITIONS. CONTRACTOR SHALL FULLY DOCUMENT WATER METER PERFORMANCE TEST.

ELECTRIC POWER
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL ELECTRIC POWER REQUIREMENTS OF THE IRRIGATION SYSTEM. PROVIDE ONE 120 VAC, 15amp CIRCUIT TO IRRIGATION CONTROLLER AND ONE 120 VAC, 15amp CIRCUIT TO BACKFLOW FREEZE PROTECTION. DO NOT COMBINE CONTROLLER AND HEATER ON A SINGLE CIRCUIT. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

LOCATION OF MAJOR IRRIGATION EQUIPMENT
PROPOSED LOCATIONS ARE INDICATED ON PLAN AND ARE DIAGRAMMATIC. CONTRACTOR SHALL ARRANGE EQUIPMENT TO FIT WITHIN THE DESIGNATED AREA. CONSULT WITH LANDSCAPE ARCHITECT FOR ARRANGEMENT OF PLANTS.

SCHEMATIC PIPE ROUTING
THIS IRRIGATION SYSTEM IS DESIGNED TO BE WINTERIZED VIA LOW PRESSURE HIGH VOLUME COMPRESSED AIR. THERE IS A SPECIFIC GUIDE AND INSTRUCTIONS FOR SAFELY EVACUATING WATER FROM IRRIGATION SYSTEMS UTILIZING COMPRESSED AIR. REFER TO TORO SERVICE INSTRUCTIONS: "IRRIGATION SYSTEM START-UP AND WINTERIZATION PROCEDURES" #2009-01. OBTAIN FREE GUIDE FROM LOCAL TORO EQUIPMENT DISTRIBUTOR.

WINTERIZATION
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SETUP PROGRAMMING AND ADJUSTMENTS OF THE IRRIGATION CONTROLLER FOR 6-MONTHS OF PLANT ESTABLISHMENT UNLESS OBLIGATED LONGER BY THE MASTER CONTRACT. THE SYSTEM IS DESIGNED TO OPERATE UP TO A 40gpm MAXIMUM FLOW. IN SOME CASES THE IRRIGATION CONTROLLER CAN OPERATE THREE LOW VOLUME ZONES SIMULTANEOUSLY IF REQUIRED. NOTE THE DRIP EMITTER SIZE AND QUANTITY FOR EACH PLANT TYPE FOUND IN THE "WATER WINDOW TABLE". DETERMINE PROPER RUN TIME AND FREQUENCY FROM OBSERVATIONS MADE IN THE FIELD TO PROPERLY ESTABLISH PLANTINGS. PROVIDE 12-MONTH IRRIGATION SCHEDULE MOUNTED TO IRRIGATION CONTROLLER AND INCLUDE A COPY OF SCHEDULE TO OWNER IN PROJECT TURNOVER. 12-MONTH SCHEDULE SHOULD INDICATE EACH STATION RUN TIME AND FREQUENCY PER WEEK ADJUSTED MONTHLY.

CONTROLLER PROGRAMMING
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SETUP PROGRAMMING AND ADJUSTMENTS OF THE IRRIGATION CONTROLLER FOR 6-MONTHS OF PLANT ESTABLISHMENT UNLESS OBLIGATED LONGER BY THE MASTER CONTRACT. THE SYSTEM IS DESIGNED TO OPERATE UP TO A 40gpm MAXIMUM FLOW. IN SOME CASES THE IRRIGATION CONTROLLER CAN OPERATE THREE LOW VOLUME ZONES SIMULTANEOUSLY IF REQUIRED. NOTE THE DRIP EMITTER SIZE AND QUANTITY FOR EACH PLANT TYPE FOUND IN THE "WATER WINDOW TABLE". DETERMINE PROPER RUN TIME AND FREQUENCY FROM OBSERVATIONS MADE IN THE FIELD TO PROPERLY ESTABLISH PLANTINGS. PROVIDE 12-MONTH IRRIGATION SCHEDULE MOUNTED TO IRRIGATION CONTROLLER AND INCLUDE A COPY OF SCHEDULE TO OWNER IN PROJECT TURNOVER. 12-MONTH SCHEDULE SHOULD INDICATE EACH STATION RUN TIME AND FREQUENCY PER WEEK ADJUSTED MONTHLY.

SPECIFICATIONS AND DETAIL DRAWINGS
THE CONTRACTOR SHALL REFER TO THE DETAIL DRAWINGS AND SPECIFICATIONS PROVIDED IN THIS PLAN SET AND TO THE CITY OF SANTA FE IRRIGATION CONSTRUCTION STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN STANDARDS, SPECIFICATIONS, IRRIGATION DESIGN OR DETAIL DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING. THE CONTRACTOR SHALL NOT PROCEED WITH INSTALLATION OF CONFLICTING IRRIGATION COMPONENTS UNTIL RECEIVING CLARIFICATION IN WRITING FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.

DRIP EMITTERS
REFER TO DETAIL DRAWING "DRIP EMITTER LAYOUT" PROVIDED IN PLAN SET. USE ONLY PRESSURE COMPENSATING DRIP EMITTERS. KEEP DRIP EMITTER VISIBLE (+/- 1" ABOVE FINISH GRADE) FOR FIELD VERIFICATION. ONLY INSTALL EMITTER ON DAYLIGHT SIDE OF X" WEED BARRIER FABRIC. STAPLE TUBING IN PLACE. USE SPECIFIED DRIP EMITTER SIZE FOR EACH PLANT'S WATER USE (REFER TO IRRIGATION PLAN FOR PLANT SPECIFIC EMITTERS QUANTITY). INSTALL EMITTERS EQUALLY SPACED FOR PLANT SIZE AND CANOPY.



Key Plan

Date 2/14/25

Job No. 149

Revisions

IRRIGATION

DETAILS

REVISIONS: 2/14/25

Scale

Sheet

L1.4