



Agenda

**AMENDED AGENDA Regular
Meeting of the Historic Districts
Review Board
February 25, 2025 at 5:30 PM
Council Chambers, City Hall
200 Lincoln Avenue**

Procedures for Historic Districts Review Board Meeting

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at www.youtube.com/@cityofsantafe. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/84476284603>

By Phone: 301 715 8592

Webinar ID: 844 7628 4603

The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes
 - a. January 14, 2025
 - b. February 11, 2025
5. Approval of Findings/Conclusions
 - a. 2024-008990-HDRB. 1160 Camino de Cruz Blanca (September 10, 2024)
 - b. 2024-009127-HDRB. 330 Otero St. (October 8, 2024)
 - c. 2024-009370-HDRB. 1030 1/2 W. Houghton St. (November 26, 2024)
6. Matters from the Public
7. Staff Communications

- a. 2025 Santa Fe Heritage Preservation Awards
- b. Update - HPD Grants
- c. Sheridan Streetscape Study

8. Old Business

9. New Business

- a. 2025-009784-HDRB, 512 Abeyta St., Downtown & Eastside Historic District, Significant. Lightfoot Inc., agent for Steven and Barbara Birgfeld, owners, propose to repair and replace windows. An exception is requested to 14-5.2(D)(5)(a)(i) for replacing historic windows. (Lani McCulley, ljmcculley@santafenm.gov)
- b. 2025-009916-HDRB, 1010 Camino San Acacio, Downtown and Eastside Historic District, Contributing. Daniel Strongwater, agent for Jeremy and Caroline Rohrich, owners, proposes to construct a 278 sq. ft. casita and covered portal above an existing carport, construct a 175 sq. ft. closet addition on the east elevation, enclose a portal on the south elevation and requests exceptions to 14-5.2(D)(4) to enclose an existing portal and 14-5.2(D)(2)(c) for an addition to the west primary façade. (Paul Duran, paduran@santafenm.gov)
- c. 2024-008628-HDRB, 216 Old Santa Fe Trail, Downtown & Eastside Historic District, Non-contributing. John Padilla, agent for Lewis West, owner, proposes to replace windows and doors. An exception is requested to 14-5.2(E)(1)(c) for installing windowpanes larger than thirty inches. (Lani McCulley)

10. Discussion Items

11. Matters from the Board

12. Next Meeting:

- a. March 25, 2025

13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



**Regular Meeting of the Historic
Districts Review Board
January 14, 2025 at 5:30 PM
Council Chambers, City Hall
200 Lincoln Avenue**

Meeting Minutes

1. Call to Order – 5:30 PM

2. Roll Call

Chair Rios - Present

Vice Chair Guida – Absent - Excused

Member Biedscheid - Present

Member Bienvenu - Present

Member Aguilar- Medrano – Present

Member Degnan – Present

Member Mather - Present

3. Approval of Agenda

Staff amended the agenda to postpone New Business Item b. 2024-009650-HDRB, 202 Irvine St. to February 11, 2025, and item g. 2024-009613, 1182 Cerro Gordo Road, to January 28, 2025.

Member Aguilar Medrano moved to approve the agenda as amended, Member Biedscheid seconded, approved unanimously under a roll call vote.

4. Approval of Minutes

No minutes were approved.

5. Approval of Findings/Conclusions

a-h. Member Degnan moved to approved items a-h, FOF/COL dated August 13, 2024, Member Biedscheid seconded, approve unanimously under a roll call vote.

i-k. Member Biedscheid moved to approved items i-k FOF/COL dated September 10, 2024, Member Mather seconded, items approved unanimously under a roll call vote.

I. Member Aguilar-Medrano moved to approved item I, FOF/COL dated November 26, 2024, member Biedscheid seconded, item approved unanimously under a roll call vote.

6. Matters from the Public

Members of the public provided comments.

7. Staff Communications

Land Use Director Lamboy provided a quick update on the Land Development Code Update and General Plan Update project.

Assistant City Attorney Ruybalid stated the appeal on the status review decision made by the HDRB on March 12, 2024, for 718 Old Santa Fe Trail will be heard by the Governing Body on January 16, 2025.

8. Old Business

No old business was discussed.

9. New Business

- a. 2024-009653-HDRB, 1010 Camino San Acacio, Downtown and Eastside Historic District, Non-contributing, Daniel Strongwater, agent for Jeremy and Caroline Rohrllich, owner, requests status review with primary façade designation if applicable. (Paul Duran, paduran@santafenm.gov)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to adopt staff's recommendation that the house be designated as contributing for the reasons set forth in the staff report, the HCPI, and the presentation tonight; and that the rock wall along the street also be designated as contributing, and that facades 1 and 9 be designated as primary. Member Bievenue added an additional finding that while façade 2 may not be primary it does have distinctive characteristics that are important to be maintained most specifically the roof line and corbel pattern and that under the Historic ordinance even on non-primary facades, historic characteristics shall be preserved. On the primary facades the windows themselves are excluded from the designation due to being non-historic while the fenestrations are historic and should be maintained, with the exception of the stained-glass window which is included and is recognized as important to the character of the house.

Member Biedscheid seconded the motion with a friendly amendment that the rubble rock wall foundation be added as a characteristic that is worthy of preservation in this designation.

The friendly amendment was accepted.
The motion was adopted unanimously on a roll call vote.

- b. 2024-009650-HDRB, 202 Irvine St., Westside-Guadalupe Historic District, Non-contributing, Michael Bodelson, agent for Charles Rennick, owner, proposes to construct two closet additions on the east façade for a total of 125 sq. ft., relocate one window on the south façade, raise height of the chimney to 11'-1" where the maximum allowable building height is 13'-1", and approval of a pre-existing non-conforming shed at the southwest corner of the lot. (Paul Duran, paduran@santafenm.gov)

Postponed to February 11, 2025

- c. 2024-009611-HDRB, 1226 Cerro Gordo Rd, Downtown & Eastside Historic District, non-contributing, Margery and Emily Howe, agent/owners, proposes to raise the parapet to 12'-0", construct a 114 sq. ft. portal to a height of 10'-0" where the maximum allowable height is 14'-1", relocate a door and install a window. (Lani McCulley, ljmcculley@santafenm.gov)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to adopt staff's recommendation and approve the application as submitted. Member Degnan seconded and the motion was approved unanimously on a roll call vote.

- d. 2024-009323-HDRB, 312 Pino Rd., Downtown and Eastside Historic District, Contributing, Martinez Architecture Studio, agent for Bonny and Byron Goldstein, owners, proposes to replace windows and doors, install door grille, relocate the cellar entrance and requests exceptions to 14-5.2(D)(5)(a)(i) for primary facades of contributing structures, historic windows shall be repaired or restored wherever possible, 14-5.2(D)(1)(a) the removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited, and 14-5.2(D)(5)(b) new material on a primary façade. (Paul Duran)

Staff presented their findings and recommendation, the applicant presented their proposal and the Board heard public comment from members of the public.

After discussion by the Board, Member Biedscheid moved to approve the application as submitted and consistent with staff's recommendation, noting that the exception criteria have been met, and with the condition that the drawings be updated to reflect the new door detail on the south façade prior to seeking a building permit.

Member Mather seconded, and the motion passed unanimously on a roll call vote.

- e. 2024-009651-HDRB, 423 Camino Don Miguel, Downtown and Eastside Historic District, Non-contributing, Tim Curry, agent for Gerry and Kris Ronningen Fenrich, owners, proposes to remove 1,570 sq. ft. of non-historic elements and return the building to the original 860 sq. ft. adobe footprint, construct 240 sq. ft. of portals on the south and east elevations, install new divided lite wood clad windows and doors, raise roof to 13'-10" where the maximum building height is 13'-11", and raise yard wall height from 4' to 5'-7" where the maximum yard wall height is 5'-7". (Paul Duran)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Aguilar Medrano moved to approve the application as submitted. Member Biedscheid seconded, and the motion passed unanimously on a roll call vote.

- f. 2024-009612-HDRB, 1126 Camino Delora, Downtown & Eastside Historic District, vacant lot, Marc Naktin, agent for Gary Shockley, owner, proposes to construct a 3,800 sq. ft. residence to a height of 19'-10" where the maximum allowable is 16'-2". The additional 3'-8" in height is requested per section 14-5.2(D)(9)(c)(ii)(f) the Board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Biedscheid moved to approve the application as submitted, granting the additional 3' 8" in height per section 14-5.2(D)(9)(c)(ii)(f), based on the 20' slope in the sight, Member Aguilar Medrano seconded with a friendly amendment that the corners be bullnosed and the windows be recessed by 4" as stated by the applicant. The friendly amendment was accepted by Member Biedscheid and the motion passed unanimously on a roll call vote.

- g. 2024-009613-HDRB, 1182 Cerro Gordo Road, Downtown & Eastside Historic District, Contributing, High Desert Contractors LLC, agent for Lanalee Lewis Rev. Trust, owner, proposes to remove the roof of a contributing structure, construct a new roof deck, exterior staircase, and install deck railing and fencing. Exceptions are requested to 14-5.2 (D)(6) for replacing a roof not in-kind and 14-5.2(D)(2)(5)(b) for constructing an architectural feature on a primary facade. (Lani McCulley)

Postponed to January 28, 2025.

- h. 2024-008779-HDRB, 428 San Antonio St., Downtown and Eastside Historic District, Significant, Daniel Lujan, agent for Andrew and Mary Harris, owners, proposes to construct a 300 sq. ft. garage to a height of 12'-6" with a 131 sq. ft. portal on the west elevation to a height of 9'-6" where the maximum allowable building height is 12'-6" in the Territorial design style, and a 5' tall CMU stuccoed yard wall from the southern property boundary to the main residential structure offset by 6". (Paul Duran)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Aguilar Medrano moved to approve the application as submitted with the condition that the colors and finishes will match that of the existing structure, including the stucco color, trim color, the structures corners and the doors. Member Biedscheid seconded and made a friendly amendment that the new stucco wall between the new garage and the house include the brick coping, consistent with other structures on the property, to a height of 5' maximum. The friendly amendment was accepted. The motion was approved unanimously by a roll call vote.

- i. 2024-009652-HDRB, 829 A W. Manhattan Ave, Downtown and Eastside Historic District, Contributing, Ju Tan, agent for Brenda Baletti, owner, proposes to construct a 160 sq. ft. entry portal to a height of 10'-2" where the maximum allowable height is 12'-8" and two exceptions are requested to 14-5.2(D)(2)(c) additions are not permitted to primary facades and 14-5.2(D)(2)(d) additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. (Paul Duran)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Aguilar Medrano moved to approve the application with the condition that the depth of the portal be reduced to 6',

finding that the exception criteria has been met, and also noting that the applicant has stated that the west end of the portal will be inset 6” from the facade of the existing structure and that revised drawings be submitted prior to building permit. Member Degnan seconded and the motion passed unanimously on a roll call vote.

- j. 2024-009615-HDRB, 715 Gregory Lane, Don Gaspar Area Historic District, non-contributing, Christopher Purvis, agent for Karen Teutsch, owner, proposes to construct a 215 sq. ft. addition at a height of 12’-0”, and a 475 sq. ft. freestanding casita to a height of 12’-8” where the maximum allowable is 16’-1”. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to approve the application as submitted with the condition that the casita is built to a maximum height of 11’-8”.

Member Degnan seconded, and the motion was approved unanimously on a roll call vote.

- k. 2024-009616-HDRB, 1302 Canyon Road, Downtown & Eastside Historic District, non-contributing, Christopher Purvis, agent for Walter Richard Schmeal, owner, proposes to construct a 170 sq. ft. addition to a height of 12’-0” on the casita, and a 600 sq. ft. freestanding garage to a height of 12’-8” where the maximum allowable height is 14’-11”. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Degnan moved to approve the application as submitted. Member Mather seconded and the motion was approved unanimously on a roll call vote.

10. Discussion Items

11. Matters from the Board

12. Next Meeting:

- a. January 28, 2025

13. Adjourn

Member Mather moved to adjourn, member Degnan seconded and the motion was approved unanimously on a roll call vote.

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



**Regular Meeting of the Historic
Districts Review Board
February 11, 2025 at 5:30 PM
Council Chambers, City Hall
200 Lincoln Avenue**

Meeting Minutes

1. Call to Order – 5:30 PM

2. Roll Call

Chair Rios - Present

Vice Chair Guida – Absent - Present

Member Biedscheid - Present

Member Bienvenu - Present

Member Aguilar- Medrano – Present

Member Degnan – Present

Member Mather - Present

3. Approval of Agenda

HPD Planner Manager, Moquino stated that under New Business Items a, b, and c are from the HDRB hearing that was postponed on January 28, 2025,

Member Biedscheid moved to approve the agenda, Member Guida seconded, approved unanimously under a roll call vote.

4. Approval of Minutes

December 10, 2024 Minutes

Member Bienvenu stated minutes need some minor changes. Member Degnan moved to approve the minutes with changes, Member Bienvenu seconded, approved under a roll call vote, Member Guida abstained.

5. Approval of Findings/Conclusions

a-b. Member Guida moved to approved items a-b, FOF/COL dated September 10, 2024, Member Mather seconded, approve under a roll call vote, Member Aguilar-Medrano abstained.

c. Member Biedscheid moved to approved item c, FOF/COL dated December 10, 2024, Member Mather seconded, items approved under a roll call vote, Member Aguilar- Medrano and Member Guida abstained.

6. Matters from the Public

Members of the public provided comments.

7. Staff Communications

Assistant City Attorney Ruybalid stated the appeal on the status review decision made by the HDRB on March 12, 2024, for 718 Old Santa Fe Trail was heard by the Governing Body on January 16, 2025. The Governing Body upheld the decision of the HDRB for the Appartment as a Significant structure with a vote of 8-1 and the two casitas were downgraded to Non – Contributing from Contributing status with a vote of 9-0.

Land Use Director Lamboy, informed the HDRB of the next educational opportunities conference, “Getting Down to Business” will be held on March 19, 2025 which will include the Business Licensing, Short Term Rentals and Code Enforcement.

Jenifer Jenkins presented the design of the State Executive Office Building and requesting the HDRB to appoint a subcommittee to collaborate the design, noted as information only. No subcommittee was created.

8. Old Business

No old business was discussed.

9. New Business

- a. 2025-009719-HDRB, 878 E. Palace. Downtown and Eastside Historic District, Micheal Herrera, agent for Marilyn Halla, property owner, request a status review and primary façade designation. (Amanda Romero, alromero@santafenm.gov)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to adopt staff's recommendation that the historic status and structure be maintained as Contributing, the east and south yard walls designated as Non-Contributing

and the east and north facades, numbers 1 & 2 on the diagram designated as primary with the exclusion of any non-historic materials.

Member Aguilar- Medrano seconded the motion

The motion was adopted with a 4-2 on a roll call vote. with Members Mather, Bienvenu, Aguilar Medrano, and Degnan voting for and Member Guida and Biedscheid voting against.

- b. 2025-009690-HDRB, 1525 Canyon Rd, Downtown & Eastside Historic District, Contributing, Rachel Heydemann, agent/owner, proposes to replace windows and doors and stucco. An exception is requested to 14-5.2(D)(5)(a) to replace historic windows and doors. (LJMcculley@santafenm.gov ,Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Biedscheid moved that in case number 2025-009690-HDRB at 1525 Canyon Road to accept staff recommendations finding that all exception criteria have been met for the replacement of the historic windows A and B on the primary façades with in-kind windows that are wood and painted and that the replacement of all other windows as proposed by the applicant.

Member Degnan seconded.

The motion was approved unanimously 5-0 on a roll call vote with Members Mather, Biedscheid, Guida, Aguilar Medrano, and Degnan voting for.

Member Bienvenu recused himself from hearing the case.

- c. 2025-009689-HDRB, 1 Camino Pequeno Unit A, Downtown & Eastside Historic District, non-contributing, Courtenay Mathey, agent for Ann and Kevin Cooney, owners, proposes to construct 475 sq. ft. of additions to a height of 14'4", raise parapets to 12'5", install exterior insulation, replace windows and doors, and construct a 645 sq. ft. freestanding garage and studio to a height of 14'-4" where the maximum allowable is 14'-5", 5'8" high yard walls, fences and gates where the maximum allowable height is 5'-8", stucco, roof, install exterior lighting, solar panels and hardscaping. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Aguilar Medrano moved to approve the application with the condition that the stucco wall along Camino Pequeno be changed to a coyote fence with the horizontal supports be on the private side and the top of the coyote fence be staggered within a couple of inches of each other to not create a uniform horizontal line along the top.

Member Biedscheid seconded and offered a friendly amendment that the garage door be constructed out of wood rather than metal. The amendment was accepted.

The motion was approved unanimously 6-0 on a roll call vote.

- d. 2025-009773-HDRB, 127 Duran St., Westside-Guadalupe Historic District, Non-contributing. Gayla Bechtol, agent for Jennifer Allen and Karen Kalat, owners, request a status review with primary façade designation, if applicable, for a residence and an accessory structure. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal and the Board heard public comment from members of the public.

Member Aguilar Medrano moved that in case number 2025-009773-HDRB for 127 Duran to maintain the residential and the accessory structure as non-contributing and to designate the walls of the historic acequia as contributing.

Member Mather seconded.

The motion was approved 4-3 on a roll call vote, Members Aguilar Medrano, Mather, Degnan, and voting for and Members Guida and Bienvenu and Biedscheid voting against. Recognizing that the Board does not necessarily have jurisdiction over the acequia and recognizing what Member Aguilar Medrano indicated that this is a wall that perhaps needs to be protected, Chair Rios voted in favor therefore breaking the tie vote.

- e. 2024-009202-HDRB, 925 Acequia Madre, Downtown & Eastside Historic District, Contributing. Gregory Waits, agent for Jason Flanagan, owner, requests a status review with primary façade designation(s) if applicable. (Paul Duran, paduran@santafenm.gov)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Guida moved to approve the application as submitted, the status of the structure be maintained as contributing with the south façade, excluding non-historic materials, be designated as primary.

Member Biedscheid seconded.

The motion was approved unanimously 6-0 on a roll call vote.

- f. 2025-009748-HDRB, 502 Cerrillos Rd., Historic Transition Historic District, Non-contributing. Kevin Skelly, agent for Debra Olinger, owner, proposes to enclose existing northeast portal and requests an exception to 14-5.2(D)(4) to enclose an existing portal (hllambo@sanrafaelcity.gov, Heather Lamboy)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to adopt staffs findings that the exception criteria to enclose the existing northeast portal have been met for the reasons given by staff. The application be granted to enclose the portal with the condition that the design to be modified to include two double hung windows similar in design to the windows on the existing north elevation and appropriately setback the corners of the façade that is required under the ordinance and all to be submitted to staff.

Member Degnan seconded.

Member Biedscheid proposed a friendly amendment, and that the drawings be revised and submitted to staff before seeking a permit.

The motion was approved 5-1 on a roll call vote, with Members Mather, Biedscheid, Bienvenu, Aguilar Medrano, and Degnan voting for and Member Guida voting against.

- g. 2024-009613-HDRB, 1182 Cerro Gordo Rd., Downtown & Eastside Historic District, Contributing. High Desert Contractors LLC, agent for Lanalee Lewis Rev. Trust, owner, proposes to remove the roof of a contributing structure, construct a new roof deck, exterior staircase, and install deck railing and fencing. Exceptions are requested to 14-5.2(D)(6) for replacing a roof not in-kind and to 14-5.2(D)(2)(5)(b) for constructing an architectural feature on a primary facade. (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Bienvenu moved to adopt staff's recommendations and find that the exceptions have been established for all the reasons set forth in the staff report and that the application be approved.

Member Guida seconded.

The motion was approved unanimously 6-0 on a roll call vote.

- h. 2024-009650-HDRB, 202 Irvine St., Westside-Guadalupe Historic District, Non-contributing. Michael Bodelson, agent for Charles Rennick, owner, proposes to construct two closet additions on the east façade for a total of 125 sq. ft., relocate one window on the south façade, raise the chimney height to 11'-1" where the maximum allowable height is 12'-7", and requests an exception to 14-5.2(l)(a) to allow wood as an exterior wall material for an existing shed. (Paul Duran)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Guida moved to approve the project inline with staff's recommendation finding that the exception criteria have been met and noting that the applicant acknowledge that the shed would remain the existing blue color.

Member Degnan seconded.

The motion was approved unanimously 6-0 on a roll call vote.

- i. 2025-009774-HDRB, 1184 Cerro Gordo, Downtown & Eastside Historic District, Non-contributing. Trey Jordan Architecture, agent for Sage Haven, LLC, owner, proposes to construct a 146 sq. ft. addition to a height of 9'-6" where the maximum allowable is 16'-5" and a 6'-0" high yard wall and fencing where the maximum allowable height is 6'-0". (Lani McCulley)

Staff presented their findings and recommendation, the applicant presented their proposal, and the Board heard public comment from members of the public.

After discussion by the Board, Member Biedscheid moved to approve the application as submitted and recommended by staff.

Member-Aguilar Merano seconded.

The motion was approved 5-1 on a roll call vote, with Members Mather, Biedscheid, Guida, Aguilar Medrano, and Degnan voting for and Member Bienvenu voting against.

10. Discussion Items

Land Use Director Lamboy, recognized and extended gratitude to Vice-Chair Anthony Guida for serving on the HDRB for six years. It was his last HDRB meeting.

11. Matters from the Board


12. Next Meeting:

- a. February 25, 2025

13. Adjourn

Member Degnan moved to adjourn, Member Guida seconded, and the motion was approved unanimously on a roll call vote.

Submitted by:



Gary Moquino,
Historic Preservation Division Manager

Approved by:

Cecilia Rios, Chair

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8990-HDRB

Address – 1160 Camino de Cruz Blanca

Agent’s Name – Surroundings Studio LLC

Owner/Applicant’s Name – St. John’s College

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 10, 2024.

BACKGROUND

St. John’s College is located at 1160 Camino de Cruz Blanca within the Historic Review District. The HDRB assigned historic status to the buildings within the campus in 2017, with a combination of significant, contributing, and non-contributing designations. Tennis courts and a soccer field for students’ use lay on the south side of Camino de Cruz Blanca between Calle Romolo and Camino Cabra. The location of these facilities was approved by the Planning Commission as part of the 2008 Development Plan for the college. The Planning Commission approved chain-link fences around the perimeter of the soccer field and tennis courts were approved as part of this Development Plan, but it was also necessary to obtain the approval of the Historic Districts Review Board.

The chain-link fences, 4’8” high at the athletic fields and 8 feet high at the tennis courts, were approved by the HDRB under Case # H-13-041 in 2013, with the Board granting an exception to Santa Fe City Code (“SFCC”) Section 14-5.2(F)(2)(g), to install a wire fence where wire fences are prohibited. The Land Use Staff later gave administrative approval for replacement of the existing tennis courts with new tennis courts and a pickleball court. See Case # 2023-6684-ADMIN.

The Applicant proposes the following exterior alterations: Install a mesh windscreen at the publicly visible tennis and pickleball courts with an opacity of 80 percent in a green color. The screen will be installed on green rubber-coated chain-link fence, at 2 feet from the ground to a height of 8 feet, which places the top of the screen at 10 feet off the ground. The windscreen is constructed of vinyl-coated mesh. An exception to SFCC Section 14-5.2(F)(2)(g) is requested to install a fence constructed of prohibited materials. The Staff’s position is that a wind screen is appropriate for these courts, but that a more transparent option would be less intrusive to the Historic District.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the application appears to meet the underlying zoning standards set forth in the Santa Fe City Code.
2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: Staff did not recommend a finding that all the exception criteria had been met and suggested that a less opaque option would be more appropriate. Staff recommended denial of the application as it did not comply with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(F), Historic Review Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Historic Review District and is subject to the district design standards set forth in SFCC Section 14-5.2(F).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(F)(2)(g), walls and fences visible from the street shall be built of brick, adobe, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street.
8. The Applicant proposes to install a vinyl wind screen on an existing chain-link fence which is visible from the street (Camino de Cruz Blanca). The Staff determined that an exception to SFCC Section 14-5.2(F)(2)(g) would be required for approval of the application, and the Applicant requested an exception.
9. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
10. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that, with specific additional conditions, the Applicant has conclusively demonstrated that all exception criteria have been met:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because that area has many institutional structures (schools, museums) and fenced athletic facilities are common; the natural green color of the mesh, with a reduced height and reduced opacity (68 percent), is harmonious with surrounding turf, trees and other vegetation;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare, because the mesh will wrap and conceal athletic courts that have a brightly colored paving inharmonious with the streetscape; and

- c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts, because the mesh will facilitate the use of the tennis and pickleball courts by shielding them from wind and the sun.
- 11. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
- 12. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
- 13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
- 14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

- 1. The Board has the authority to review and approve the application.
- 2. The Board approves the application, with the following additional conditions:
 - a. The opacity of the mesh material shall be no greater than 68 percent; and
 - b. The material shall be placed so that it does not exceed 6 feet in height.
- 3. The Board grants the exception requested in the application.

IT IS SO ORDERED ON THIS 25th DAY of FEBRUARY, 2025, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Andréa Salazar
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-9127-HDRB

Address – 330 Otero St.

Agent’s Name – Fritz and Lynn Denny

Owner/Applicant’s Name – Fritz and Lynn Denny

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 8, 2024.

BACKGROUND

The principal residential structure at 330 Otero St. is designated as contributing to the Downtown and Eastside Historic District. Constructed in the 1950s by builder Alan Stamm, it retains its original footprint, doors and windows. Like many of the mid-century Stamm homes, design details are subdued. The east façade includes the garage door opening, a small front portal and entry door, steel casement windows, a solid wood entry door, and picture windows on the southeast and southwest corners. All windows on the structure are steel casement except those at the corners.

The east elevation including the portal, doors and windows, and the southeast corner window are designated as primary, per a status review by the Board January 14, 2020. See Case # 2019-1516-HDRB. The Board excluded the non-historic, east-façade garage door from the contributing status, and designated the accessory structure non-contributing.

The Applicant proposes the following exterior alterations:

- 1) Replace all windows. The windows will have to be cut out of the opening and the wood sills repaired. However, the overall opening size and 4-inch inset will not be altered, and the windows will have an appearance identical to the existing windows. Windows will be painted dark brown.
- 2) Repair the wood buck underneath the sills to water seal the new windows.
- 3) Stucco repairs around the windows to match the existing cement stucco in “Adobe”.

Three historic windows to be replaced, windows A, B and C, are on the primary, east façade. An exception to Santa Fe City Code Section 14-5.2(D)(5)(a) is requested to replace historic windows on a primary façade.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and

determined that the application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: Staff recommended a finding that all the exception criteria had been met and recommended approval of the application, as it complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(5)(a), historic windows on the primary façades of contributing structures shall be repaired or restored wherever possible.
9. The Applicant proposes to replace windows on all façades, including three on the east-facing primary façade. One of the windows, B, is restorable, while two, A and C, are not restorable, according to a professional window assessment.
10. Staff determined that an exception to SFCC Section 14-5.2(D)(5)(a) would be required for replacement of window B on the east, primary façade, and the Applicant requested an exception.
11. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff’s finding that the Applicant has conclusively demonstrated that all exception criteria have been met.
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because the new window style will closely match the old in appearance and inset, and no window opening on any façade will be enlarged, reduced or closed;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare the existing windows A and C-K are not restorable, their condition is causing damage to the structure by seepage into the sills and walls, and an inharmonious appearance would be created by keeping the historic window B and replacing all others; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to

reside within the historic districts because the window replacement will safeguard the structure from further damage, and new windows will closely match the existing and are a balanced approach to preserving the building.

13. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
14. The Board finds, based on a professional window assessment, that windows A and C are non-restorable. The Board finds that windows D-K (all non-restorable) are on non-primary façades, and their replacement is not restricted by SFCC Section 14-5.2(D)(5)(a).
15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
16. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves Items # 1-3 as set forth in the application, as recommended by Staff.
3. The Board grants the exception requested in the application.

IT IS SO ORDERED ON THIS 25th DAY of FEBRUARY, 2025, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Andréa Salazar
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-9370-HDRB

Address – 1030½ W. Houghton St.

Agent’s Name – Jeffrey J. Seres AIA, Seres Architecture LLC

Owner/Applicant’s Name – Francesca Banci

THIS MATTER came before the Historic Districts Review Board (“Board”) for status review hearing on November 26, 2024.

BACKGROUND

The single-family residence at 1030½ W. Houghton St. is listed as non-contributing to the Don Gaspar Area Historic District. The roughly 18’ x 43’ structure holds a living room, bedroom, kitchen, and bathroom, and is adjacent to an accessory structure on its north end. Both are set behind 1030 W. Houghton St. and have no street frontage. The vernacular residence is constructed of adobe with cementitious stucco painted pink, and most likely was built in the late 1940s by Willie Romero, who served in World War II. The house fronting the street was the home of Willie’s parents Alberto and Anastacia Romero, who acquired the property around 1917 from the heirs of Encarnación Lujan. It was historically part of the Mesita de Juana Lopez grant.

On the east side of Willie’s residence, panels of wrought-iron balustrade hold the 66-square-foot porch. The perma-stone treatment of the building wall has been stuccoed over. The east elevation houses three steel window sets, one sliding vinyl window and the main entry to the house. The windows are deep set with angled reveals. Each steel window is topped with a wood-block lintel. The north wall has an opening near the center holding a half-lite wood-panel door, which appears to be original, according to a 2024 Historic Cultural Properties Inventory. A three-angle piece of galvanized metal protrudes from the upper sill and shelters the opening. The west elevation contains one steel combination window, and the roof drains over this side through three galvanized gutters. The south elevation holds one steel combination window topped with a wood-block lintel.

The unstatused accessory structure is built of stuccoed concrete block. The west half shows on a 1958 aerial photo in the 2024 HCPI. The structure appears to be made of three sections and totals about 360 square feet. The eastern end of the building encroaches onto the adjacent property and, according to aerials, was built after 1969. The western end is the older section and has steel-casement windows bracketing a wood door. The center area steps down and holds a single five-panel wood door, and at the eastern end the structure steps up for another rectangular room with a five-panel door. The east elevation has a six-lite barn sash window and a single canale.

The Applicant requests:

- 1) Status Review with primary façade designation, if applicable, for the residential structure.
- 2) Status Review with primary façade designation, if applicable, for the accessory structure.

Though the residence has maintained its overall footprint since 1958 and retains most of its original windows, the Staff recommends a finding that the residence is non-contributing due to the misleading alterations on the eastern elevation, and that the residence does not contribute to the primary home's setting or the West Houghton streetscape. The accessory structure appears to be two buildings of different construction with an addition to merge them into a single building. The conflicting styles and construction types create a rough appearance that is not cohesive to the neighborhood and the streetscape. Therefore, the Staff recommends a finding that this is a non-contributing structure.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code ("SFCC") requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: The Staff recommended the historic status of the residence be maintained as non-contributing and the accessory structure be designated non-contributing to the Don Gaspar Area Historic District, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
6. Under SFCC Section 14-12.1, the definition of a "contributing structure" is "a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains."
7. Under SFCC Section 14-12.1, the definition of a "primary façade" is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a "non-contributing structure" is a "structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District."
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve "significant," "contributing," or "non-contributing" status designations.
10. Based on the information set forth in the Staff Report, and the exhibits, testimony and evidence presented at the hearing, the Board finds that the main residential structure meets the definition of a "contributing structure," due to the structure being built of

adobe, it is in its original footprint, and the historic look of the building has been maintained. The Board finds its contributing status is supported by its association with the original family, the metal work on the portal, and by the way the structure fits into the neighborhood as an accessory structure behind the main residence owned by the parents.

11. The Board finds that the east elevation, including the portal, is the primary façade of the residential structure, with the features that define the character of the structure’s architecture.
12. Based on the information set forth in the Staff Report and exhibits, and the testimony and evidence presented at the hearing, the Board finds that the accessory structure meets the definition of “contributing,” being associated with the original family, having a vernacular development, with a brick front and varied roof line, and fitting into a minimal space in a densely developed neighborhood.
13. The Board finds that the south facade is the primary façade of the accessory structure, with the features that define the character of the structure’s architecture.
14. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board upgrades the status of the main residence to contributing.
4. The Board designates the following elevation of the main residence as the primary façade: east elevation including the portal.
5. The Board designates the accessory structure as a contributing structure.
6. The Board designates the following elevation of the accessory structure as the primary façade: south elevation.

IT IS SO ORDERED ON THIS 25th DAY of FEBRUARY, 2025, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Andréa Salazar, City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid, Assistant City Attorney

Date

2025 Santa Fe Heritage Preservation Awards

Open solicitation to nominate recipients for the Annual Santa Fe Heritage Preservation Awards and to attend the Awards Ceremony. The date, time, location, and format will be provided nearer the time of the awards.

Nominated projects must have been completed between 2022-2024. If the project was nominated prior but did not receive an award, a new nomination is welcomed.

The award categories are as follows:

Architectural Preservation Award (Residential or Non-Residential):

Outstanding examples of restoration or rehabilitation of a designated historic property.

Compatible Remodel Award (Residential or Non-Residential):

Outstanding examples of remodeling that harmonizes with historic structures in the historic districts.

Compatible New Construction Award (Residential or Non-Residential):

Outstanding examples of new construction that harmonizes with historic structures in the historic districts.

Archaeology Award:

Outstanding examples of archaeological preservation or contributions to the pre-history or history of Santa Fe through archaeology.

Cultural Preservation Award:

Outstanding examples of work toward the preservation and/or understanding of Santa Fe's unique cultural heritage.

Mayor's Award for Exceptional Contribution to the Preservation and/or Understanding of the City's Prehistory or History:

Exceptional contribution of an individual, group, or project to the preservation and/or understanding of the prehistory or history of the City of Santa Fe.

Nomination submittals should be emailed to Historic Preservation at hpdsubmittal@santafenm.gov on or before **March 31, 2025**.

If you have questions or need more information, please contact Historic Preservation at hpdsubmittal@santafenm.gov . Please mention the Awards Nomination and the property address in your email subject line.

Award winners will be notified at least one week in advance of the Awards Ceremony.

City of Santa Fe, New Mexico

memo

DATE: February 25, 2025

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director #LL
Gary Moquino, Historic Preservation Division Manager *GM*
Maggie Moore, Assistant Land Use Director GM for MM

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LM*

2025-009784-HDRB, 512 Abeyta, Downtown & Eastside Historic District, Significant. Lightfoot Inc., agent for Steven and Barbara Birgfeld, owners, propose to repair and replace windows. An exception is requested to 14-5.2(D)(5)(b) for replacing historic windows.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: previous case files

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: window assessment

STAFF RECOMMENDATION:

Staff finds that the exception criteria have been met. Moreover, staff recommends following the recommendations of the window assessment to replace unit W4 and repair unit W2; otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Sample motions:

- a. Approve or deny the exception to 14-5.2(D)(5)(b) to replace historic windows.
- b. Approve or deny Case #2024-009784 to allow those alterations to 512 Abeyta that do not require an exception.

Should the Board deny the exception request, the applicant shall return with an alternative proposal for review and approval prior to proceeding to building permit.

BACKGROUND & SUMMARY:

The residential building 512 Abeyta street is an adobe 1,225 sq. ft. single-family residence that was constructed before 1912 in a vernacular style. The building is listed as significant to the Downtown & Eastside Historic District. The significant status was assigned in 1992 during the yearly updates to the status map.

A 1,490 sq. ft. residential structure approved under case H-06-067 was constructed in 2006-2007 at the rear of the property. This structure is designed in the Spanish-Pueblo Revival Style. It is considered non-contributing due to age.

A stuccoed 6'-0" high yard wall was constructed on the north side of the existing building with stained wooden pedestrian gates as part of the 2006-2007 construction on the property.

Under case 2020-002251-HDRB replaced the non-historic doors on the south elevation and the courtyard east elevation (noted as D1 and D3 on the current case). Construct fencing, install gates and other minor remodel items. As well as some remodeling on the non-historic structure.

APPLICANT'S REQUEST:

The applicant proposes the following exterior alterations:

- 1) Replace windows W2 (aluminum slider), W5 (steel casement), W6 (steel casement), and W7 (steel casement) with Sierra Pacific aluminum clad wood windows with simulated divided lites in white. An exception is requested to 14-5.2(D)(5)(b) to replace historic windows.
- 2) Restore windows W1 (wood casement), W3 (wood single hung), W4 (wood single hung), W8 (wood casement) and repaint white.
- 3) Add storm and screen sashes to windows W1, W3, W4, and W8.
- 4) Stucco in cementitious "buckskin" to match the existing color.

The window assessment recommends restoring W1, W2, W3, and W8 to include repairing the wood, adding balances, and weatherstripping. The applicant is requesting the replacement of W2, which is contrary to the assessment recommendation.

The assessment also recommends replacing W4, W5, W6, and W7 while restoring D2 and weatherizing. The applicant is requesting repair of W4 contrary to the assessment recommendation while replacing W5, W6, and W7 in alignment with the window assessment.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(b): The applicant requests an exception to replace historic windows on a significant structure.

(i) *Do not damage the character of the district*

Applicant Response: All proposed window and door alterations would not damage the character of the district. They are sized and configured to replicate, and mimic the existing units to be replaced, in kind, and were specifically designed to fit within, and not disturb the existing historic trim and lintels, in the most minimal way, preserving the character of the district. The design and finish of the windows and doors have been selected to match, replicate and follow the existing design of the original construction and thus provide the least negative impact.

Staff Response: Staff finds that this criterion has been met. The windows will appear and be sized to match the existing windows and therefore will not have an impact on the District. However, the replacement of window W2 is not necessary, and this window should be repaired rather than replaced.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The proposed windows and door alterations are requested to prevent the hardship of unsafe and difficult operation to the applicant excessive thermal bypass, unintended air leakage and excessive maintenance. Restoring the current, proposed to be replaced windows, would leave the windows with an inadequate operational system that would not allow accessible operation of the windows for the elderly, as repair parts no longer exist for this type of window, that could be repaired for correct operation. The existing windows exhibit excessive thermal bypass and unintended air leakage and though, could be mitigated somewhat by restoration could not be eliminated. The existing windows and doors could not be modified with thermal pane glass without altering their character, as their profile is too thin to accommodate the change. In accordance with the window assessment these units have been recommended to be replaced as an option due to a variety of factors including degradation level, and the substandard nature of construction including not having an operator. If the windows were repaired, significant portions of the historic material would need to be removed and replaced with material that would no longer be historic thus making replacement the best option to mitigate these hardships.

Staff Response: Staff finds that this criterion has been met. Most of the windows being replaced, the exception being W2, are beyond repair and should be replaced per the window assessment.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Replacing the windows with more durable, long lasting, units in the design configuration of the existing windows that are easier to maintain and operate will strengthen the unique heterogeneous character. This replacement option ensures the longevity of the overall building character for a prolonged time and thus strengthens the overall building perseverance. The proposed replacement windows are designed to fit within the existing, character defining trim, with the least negative impact. The premise here is maintaining the look of the building and operation of the openings so residents can continue to reside within the district, over the longest period of time.

Staff Response: Staff finds that this criterion has been met. Per the window assessment replacement is the recommendation for the windows except for window W2 which should be repaired.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(E) **Downtown and Eastside Design Standards**

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;

- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
 - (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
 - (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
 - (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
 - (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.
- (2) Recent Santa Fe Style


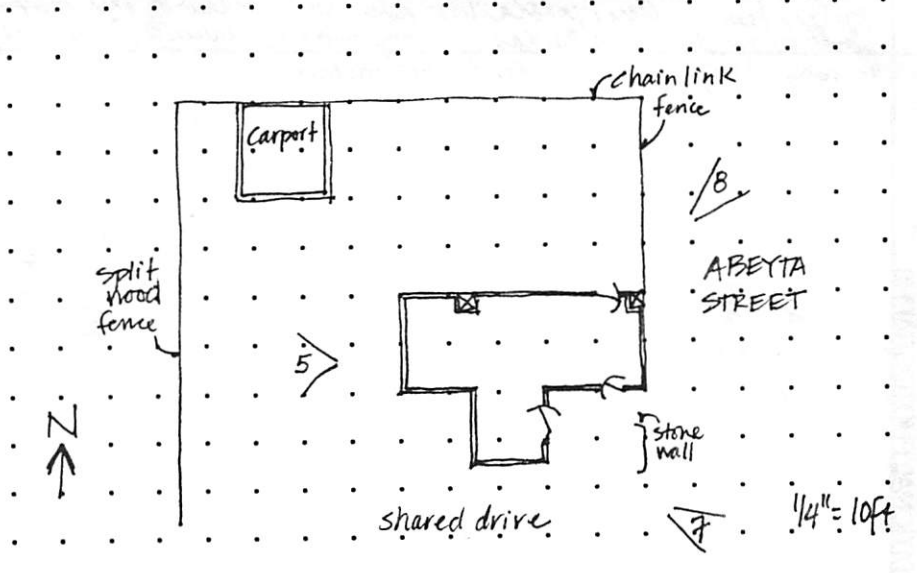
Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of

one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and

- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 #13

| | | |
|---|--|---|
| IDENTIFICATION | ADDRESS: <u>512 Abeyta Street</u> <u>Corrino del Monte S&L National Register Historic District</u> | ID NUMBER: <u>051600186</u> |
| | BUILDING NAME: | |
| | UTM REFERENCE EASTING NORTHING | LEGAL DESCRIPTION: |
| | ZONE <u>12 13</u> | TNSP <u>17</u> N <u>4</u> RANGE <u>10</u> E <u>4</u> SEC <u>30</u> NW1/4 SW 1/4 |
| | FIELD MAP <u>Santa Fe Historic Structures Survey No. 2, 1983-85</u> |  |
| | DATE OF CONSTRUCTION: ESTIMATE <u>pre-1912</u> ACTUAL _____ | |
| SOURCE(S) <u>King's Map, see comments</u> | | |
| ARCHITECTURAL STYLE: <u>Spanish Pueblo</u> | | |
| | USE: |  |
| | HISTORIC: residential | |
| OTHER _____ | | |
| PRESENT: residential | | |
| OTHER _____ | | |
| | SURROUNDINGS: <u>Residential</u> | <p>#7 S&E Elevations</p> |
| | RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR | |
| BUILDING DATA | ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | <p>1983 FOOT PRINT INACCURATE</p> |
| | WHAT TYPE? <u>Carport</u> | |
| | IF INVENTORIED, LIST ID NUMBER(S) | |
| | DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE | <p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> |
| | <input type="checkbox"/> MAJOR | |
| | EXPLAIN: <u>shed pants over windows, screen door</u> | <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <u>Contributing</u></p> |
| OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD | | |
| | <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED | <p>LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> |
| BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | |
| | | <p>LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO</p> |

SURVEYED 8-6-91 BY mg

NEGATIVES WITH NMHPD ROLL # 5 NEG # 5, 7 TO 8

| FEATURE | MATERIALS/TYPE | CONDITION AND ALTERATIONS |
|----------------|--|---|
| BUILDING WALLS | stucco over adobe | bdy is very well cared for |
| FOUNDATIONS | not visible | |
| DOORS | solid one w/ alum. screen door | |
| WINDOWS | 6 lite wood casements; 3 lite metal casements | recessed w/ exterior screens, brown paint |
| PORTALES | NA | |
| CANALES | 1 metal to W (rear) | |
| PORCHES | NA | |
| BALCONIES | NA | |
| ROOFS | not visible behind rounded parapet | gutter (on eaves) system on W (rear) |
| COURTYARDS | NA / large grassy lawn to N; shared drive w/ 516 to S. | |
| FENCES/WALLS | stone wall to E; chain link to N, E; split wood to West. | |
| ARCH. DETAILS | buttressed base, 2 chimneys. | |
| OTHER | | |

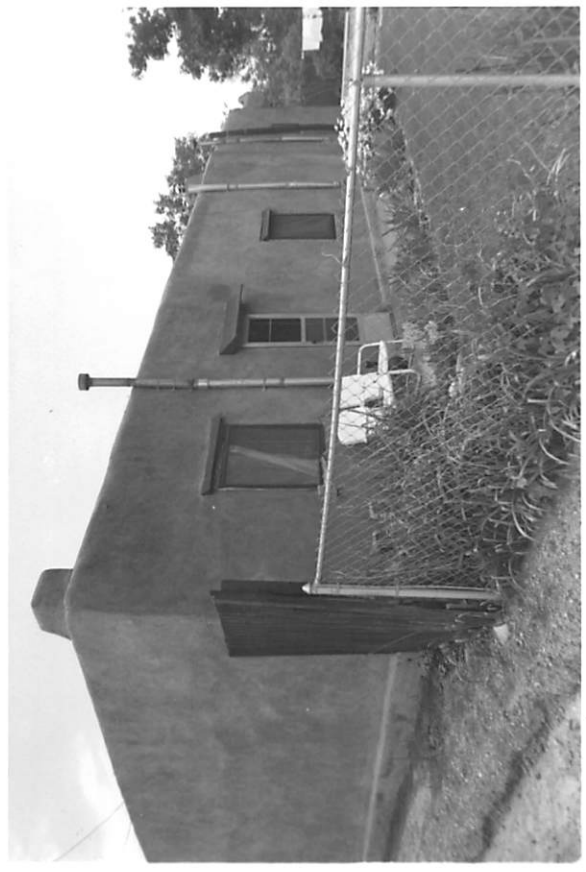
ARCHITECTURAL AND LANDSCAPE FEATURES

COMMENTS Bldg shown on King's Map probably this one, according to Mrs. Apodaca (428 # Bayta); property still in Apodaca family - Clara Apodaca lives here (sister in law of Mrs. Apodaca); 1st appears in City Directry in 1932-33 under owner of Simon Apodaca; appears to retain much of historic integrity w/ minimal alterations; steel windows probably not original but w/in period of significance.

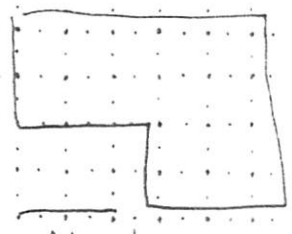
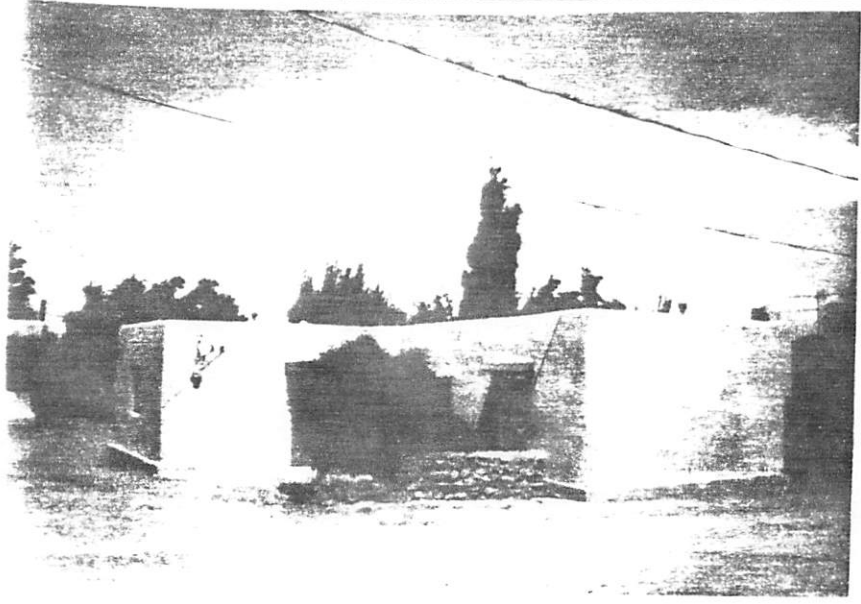
ADDITIONAL PHOTOGRAPHS



#5 W. Elevation



#8 N. Elevation

| | | | |
|---|--|---|--|
| building threatened? yes | surveyed date 5-6-83 hv mb | county Santa Fe | ID no. 051600186 |
| field map Santa Fe, New Mexico | number 1 | UTM reference easting zone 12 13 | northing |
| location description 512 Abeyta | | city/town Santa Fe | land name reservation |
| building name | legal description Tnspl 7 N 4 range 10 E sec 30 NW SW | | |
| film roll by mb no. 11 | relative obs. 5, 6 5, 6 | loc. of neg. HP3 | plan shape →  |
|  | | date of construction Re 1932 estimate Pre-1912 actual source 1932 directory King's map use present residential other historic residential other | |
| style Sp. Pueblo Vernacular | foundation material Not vis | condition ___ excellent ___ good ___ fair ___ deteriorating | |
| architectural features Window - 6 lite w casement - metal awning / Alum screen doors 1 masonry fireplace | wall material/surface Stucco | degree of remodeling ___ minor ___ moderate ___ major describe: Window & door & awnings | |
| surroundings Residential | | relationship to surroundings ___ similar ___ not similar | |
| district potential ___ yes ___ no | | significance ___ eligible ___ of ___ none if eligible, interest | |
| comments wall - stone Shows on 1912 King's map under ownership of Simon Apodaca hedge wire fence wood fence - latk + wire landscape street trees stone curb O set back acquila | | why? | |
| associated buildings? ___ yes what type? | | if inventoried, list ID nos. | |
| see back? ___ yes | | | |

Streetscape

Clara Apodaca - 982-4279 - fence

continuation 1.

Ms. Roach invited everyone to join them. She will provide a link on the Friends of Architecture Santa Fe website (www.architecturesantafe.org) *Revisioning* history page. The first two sessions were video recorded and can be watched as well.

Ms. Paez noted that the rock wall appeal for 868 Alameda will be heard by the Governing Body on August 12, 2020 due to City Council's large agendas.

G. ACTION ITEMS

Chair Rios noted there were four action items before the Board. She reminded applicants if they disagreed with the decision of the Board, they have the option to appeal to City Council for 15 days after the Findings of Fact and Conclusions of Law are adopted.

1. **Case #2020-002251-HDRB. 512 Abeyta Street.** Downtown & Eastside Historic District. Ryan Allen, agent for Steve and Barb Birgfield, owners, proposes door replacements, yard wall and fence alterations, trellis addition, and removal and replacement of coyote fencing, install skylights, HVAC, roof, stucco, hardscape, and construct a pergola at a non-contributing residential structure. (POSTPONED FROM 7/14/2020) (Angela Schackel Bordegaray, 955-6127, asbordegaray@santafenm.gov)

Ms. Bordegaray presented the staff report as follows:

STAFF REPORT

512 Abeyta is a northern New Mexico vernacular house built in the 1880s and designated historically significant.

The house fronts Abeyta Street with a courtyard and low rock wall. Its main entrance is on the north façade, and a driveway sits to the north. A second house (512½) was constructed in 2008 behind and west of the historically-significant house (case H-06-067).

The main house has undergone minor alterations. The front (north) and courtyard (east) entry doors are not historic. Coyote fencing was added atop the low rock wall, with a gap of shorter fence near the courtyard gate.

The applicant proposes interior and maintenance alterations to both the main and rear house that were recently approved administratively by staff.

This case comes to the board revised based on input from the board at its July 14, 2020 meeting.

The applicant proposes to replace a non-historic entry door on the south facade with a Territorial style door constructed of solid wood and glass. The applicant also proposes to replace the non-historic door in the entry courtyard on the east façade also with a Territorial style door. Pictures of the existing and proposed replacements are in the packet. The applicant proposes to repair and paint existing window and door trim to match existing. No changes in window or door openings are proposed.

Based on staff and board suggestion, the applicant has agreed to lower the existing 5 feet 9 inches tall coyote fencing along Abeyta Street installed by a previous owner to the maximum allowable height for this streetscape, 4 feet, 6 inches. The effect will be to level out the coyote fencing that currently ranges in height along the front and side (south) facades. Included in this scheme is lowering the 5 feet 9 inches coyote fencing that wraps around the front southeast corner to the south side to the maximum allowable height of 4 feet 6 inches. The applicant proposes to replace the existing non-historic gate with coyote fencing of the same height as the leveled out coyote fence. Exhibits C and D photographs are in the packet.

With respect to the south elevation coyote fencing, the applicant revised the proposal to add a 6 feet tall coyote fence that starts 36 feet from the front southeast corner of the significant house that extends west to the rear of the property. The applicant proposes to remove a section of coyote fence that bisects an interior courtyard between the houses 512 and 512 1/2 and construct a 6 feet coyote fence connecting the rear fencing across the southern property line south to the rear non-contributing at the southwest corner.

The applicant proposes to replace the existing non-historic courtyard gate in the coyote fence to the north of the house east facing the street with a stained wood plank style door.

The applicant also proposes to construct a free-standing open trellis at the rear (west) of the property behind the non-contributing house. The trellis will be stained timbers with wooden viga columns and metal galvanized flashing. The trellis will be out of public view.

No carport is proposed at this time.

The proposal includes repair and patch of stucco in El Rey's "adobe" color on the significant structure. A color sample is in the packet.

STAFF RECOMMENDATION

Staff recommended approval of the application in compliance with Section 14-5.2(D), the General Design Standards for all Historic Districts; 14-5.2(D)(9) Yard Wall Height, Height, Pitch, Scale, Massing and Floor Stepbacks; 14-5.2(D)(5) Windows & Doors; and Section 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Member Biedscheid noted the report stated there were no changes proposed in the window openings. She asked to confirm what she assumed was an error. The south and east façades of the proposed drawing each show a window.

Ms. Bordegaray said it was an error. The applicant should be asked to resubmit the drawings.

Member Biedscheid asked if the proposed stucco color would be the same as the current stucco color.

Ms. Bordegaray said she understood it would match, but the applicant could confirm that.

Member Biedscheid asked to confirm that the coyote fence in Exhibit H would be removed and pulled forward, and a long coyote fence would be in the same plane in front of the house.

Ms. Bordegaray said that was correct. Staff believed moving the fence would not change the façade of the significant house and its relationship to the noncontributing house behind it. That was based on the applicant's agreement to lower the fence in that area which is 36 feet from the street.

APPLICANT'S PRESENTATION

Ryan Layton Allen, 2395 Camino Pintores, was sworn.

Chair Rios thanked the applicant for his drawings. She said the drawings reflect his proposal more accurately, except for the window on the south elevation.

Mr. Allen explained that was a mistake. He agreed to resubmit the drawing.

Chair Rios thanked him for not including the carport as part of the application. She asked if he had anything further he wanted to add to the report.

Mr. Allen said he agreed with the findings of staff.

QUESTIONS FOR APPLICANT

Member Biedscheid asked for clarification on the color of the stucco.

Mr. Allen replied it is close to the existing color in the adobe color submitted. He noted some of the color is peeling and has been stuccoed numerous times, some with cementitious. He will get as close to the color as possible.

Chair Rios said Mr. Allen commented that some stucco was cementitious. She noted that this is a significant house and the stucco should be cementitious.

Mr. Allen explained the stucco is peeling and they want to replicate the color that is there, which is adobe.

Ms. Roach asked to clarify that the window noted by Member Biedscheid on the south elevation was omitted, and no change to the light pattern on the north elevation.

Mr. Allen said that was correct. There are no window changes, only to the two doors on the exhibits he added.

PUBLIC HEARING

John Eddy, 227 E. Palace Avenue, Suite D, was sworn. He asked on the new door replacement on the north elevation that was said to be Territorial Style. The sample was a painted white, Territorial pedimented door. He asked clarification that the door jamb would be consistent with Pueblo Revival style and would not be pedimented. He asked also if the arched windows would be placed in the door.

Chair Rios asked that the applicant respond.

Mr. Allen replied the door would not have pediments. He explained that the client likes the arched doors he submitted but agree that the doors do not have to be arched.

Stefanie Beninato, PO Box 1601, was sworn. She appreciated the changes to the fencing height and moving the fence more to the middle of the property. She said the fencing was straight across with no height variation. She would ask there be some variation of height on the coyote fencing.

She added the marker on the Plaza Obelisk was placed by the City in 1999 to say that the reference to the word "rebel" was a historical reference.

BOARD DISCUSSION

Member Biedscheid asked to clarify whether the arched glass panels of the doors would be in keeping with the Pueblo Revival style.

Ms. Roach explained the structure is not a Pueblo Revival it is Territorial structure built in the 1880s prior to the invention of Pueblo Revival.

Chair Rios asked if the structure has brick coping. She asked Ms. Roach what made her feel that it is Pueblo Revival.

Ms. Roach replied this was constructed during the Territorial period. The style described by Ms. Bordegaray is the most accurate; a northern New Mexico vernacular architectural style, or variant of that.

Chair Rios said she would say it is probably vernacular style. She asked if Board members had opinions regarding the arches on the windows of the door.

Member Guida stated for the reasons Ms. Roach mentioned, he thought this was period appropriate.

MOTION: In Case #2020-002251-HDRB, 512 Abeyta Street, Member Biedscheid moved to approve the application with the following conditions: The drawing errors regarding the windows, including that the light patterns, would not be changed, and would be corrected and resubmitted before seeking a permit; and the coyote fencing in all locations be constructed with latillas irregular in height with the horizontal support structures on the interior of the property. Member Guida seconded the motion with a friendly amendment that the applicant use cementitious stucco and resubmit the color selection to staff.

Member Biedscheid accepted the friendly amendment and added to the motion that the posts around the door jamb on both doors remain the same and not include a pediment.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida and Katz voting in favor and none voting against.

2. **Case #2020-002255-HDRB. 141 Camino Escondido.** Downtown & Eastside Historic District. David Schutz, agent for John Josephakis, owner, requests a historic status review with primary façade designation, if applicable, for a non-statused residential, casita, and accessory structures. (Angela Schackel Bordegaray)

Ms. Bordegaray presented the staff report as follows:

STAFF REPORT:

The applicant is before the board for a historic status determination of 141 Camino Escondido.

House

Constructed in 1938-39 by a local builder, the former Ralph A. and Adela O. Rodriguez house is an approximately 1,800 square foot single-family residence designed in the



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Ryan Allen, agent for Steve and Barb Birgfeld, owners, proposes to replace and repair windows and doors, repair and construct fencing, replace gates, re-roof, install skylights and HVAC, stucco, and hardscape at a significant residential structure; replace fencing, install skylights, HVAC, roof, stucco, hardscape, and construct a pergola at a non-contributing residential structure.

Case number: **2020-002251-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 512 Abeyta Street

OW – Steve and Barb Birgfeld 512 Abeyta Street Santa Fe, NM 87506 [Birgfelds@gmail.com](mailto:birgfelds@gmail.com)

AP – Ryan Allen 2395 Camino Pintores Santa Fe, NM 87505 ryanleightonallen@yahoo.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

YEAR OF CONSTRUCTION

0516 00186
1880s

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

City of Santa Fe, New Mexico

memo

DATE: July 14, 2020
TO: Historic Districts Review Board Members
FROM: Angela S. Bordegaray, Historic Preservation Senior Planner

ATB

Case # 2020-002251-HDRB

Address: 512 Abeyta
Historic Status: Significant
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Previous cases H-06-067

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: stucco swatch; door photograph

STAFF RECOMMENDATION:

Staff recommends approval of the application in compliance with Section 14-5.2(D), the General Design Standards for all Historic Districts; 14-5.2(D)(9) Yard Wall Height, Height, Pitch, Scale, Massing and Floor Stepbacks; 14-5.2(D)(5) Windows & Doors; and Section 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

512 Abeyta is a northern New Mexico vernacular house built in the 1880s and designated historically significant.

The house fronts Abeyta Street with a courtyard and low rock wall. Its main entrance is on the north façade, and a driveway sits to the north. A second house (512 ½) was constructed in 2008 behind and west of the historically-significant house (case H-06-067).

The main house has undergone minor alterations. The front (north) and courtyard (east) entry doors are not historic. Coyote fencing was added atop the low rock wall, with a gap of shorter fence near the courtyard gate.

The applicant proposes interior and maintenance alterations to both the main and rear house that were recently approved administratively by staff.

This case comes to the board revised based on input from the board at its July 14, 2020 meeting.

The applicant proposes to replace a non-historic entry door on the south facade with a Territorial style door constructed of solid wood and glass. The applicant also proposes to replace the non-historic door in the entry courtyard on the east façade also with a Territorial style door. Pictures of the existing and proposed replacements are in the packet. The applicant proposes to repair and paint existing window and door trim to match existing. No changes in window or door openings are proposed.

Based on staff and board suggestion, the applicant has agreed to lower the existing 5 feet 9 inches tall coyote fencing along Abetya Street installed by a previous owner to the maximum allowable height for this streetscape, 4 feet, 6 inches. The effect will be to level out the coyote fencing that currently ranges in height along the front and side (south) facades. Included in this scheme is lowering the 5 feet 9 inches coyote fencing that wraps around the front southeast corner to the south side to the maximum allowable height of 4 feet 6 inches. The applicant proposes to replace the existing non-historic gate with coyote fencing of the same height as the leveled out coyote fence. See Exhibits C and D photographs.

With respect to the south elevation coyote fencing, the applicant revised the proposal to add a 6 feet tall coyote fence that starts 36 feet from the front southeast corner of the significant house that extends west to the rear of the property. The applicant proposes to remove the section of coyote fence that bisects an interior courtyard between the houses 512 and 512 and construct a 6 feet coyote fence connecting the rear fencing across the southern property line south to the rear non-contributing at the southwest corner.

The applicant proposes to replace the existing non-historic courtyard gate in the coyote fence to the north of the house east facing the street with a stained wood plank style door.

The applicant also proposes to construct a free-standing open trellis at the rear (west) of the property behind the non-contributing house. The trellis will be stained timbers with wooden viga columns and metal galvanized flashing. The trellis will be out of public view.

No carport is proposed at this time.

The proposal includes repair and patch of stucco in El Rey's "adobe" color on the significant structure. A color sample is in your packet.

RELEVANT CODE CITATIONS

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Yard Wall Height:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
- (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
- (iii) No existing opening shall be closed.

- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style


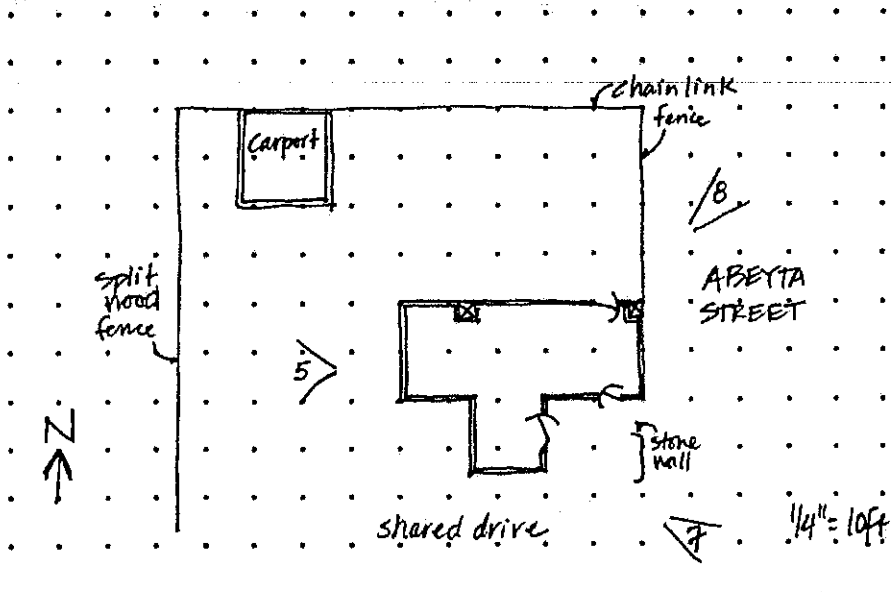
Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to

the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

| | | | |
|--|---|--|--|
| ADDRESS: <u>512 Abeyta Street</u> <u>Cornio del Monte S&E National Register Historic District</u> | | ID NUMBER: <u>051600186</u> | |
| | | BUILDING NAME: | |
| IDENTIFICATION | UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u> | LEGAL DESCRIPTION: TNSP <u>17</u> N <u>47</u> RANGE <u>10</u> E <u>47</u> SEC <u>30</u> NW <u>14</u> SW <u>14</u> | |
| | FIELD MAP <u>Santa Fe Historic Structures Survey No. 2, 1983-85</u> |  | |
| | DATE OF CONSTRUCTION: ESTIMATE <u>pre-1912</u> ACTUAL _____ SOURCE(S) <u>King's Map, see comments</u> | | |
| BUILDING DATA | ARCHITECTURAL STYLE: <u>Spanish Pueblo</u> | PHOTO | |
| | USE: HISTORIC: residential OTHER _____ PRESENT: residential OTHER _____ | | |
| | SURROUNDINGS: <u>Residential</u> | | |
| | RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR | | |
| | ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT TYPE? <u>carport</u> IF INVENTORIED, LIST ID NUMBER(S) _____ | | |
| SIGNIFICANCE | DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR EXPLAIN: <u>shed pants over windows, screen door</u> | SITE PLAN  | |
| | OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED | | |
| | BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | |
| | | LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING | |
| | | LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <u>contributing</u> | |
| | | LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT <input checked="" type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING | |
| | | LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO | |

SURVEYED 8-6-91 BY mg

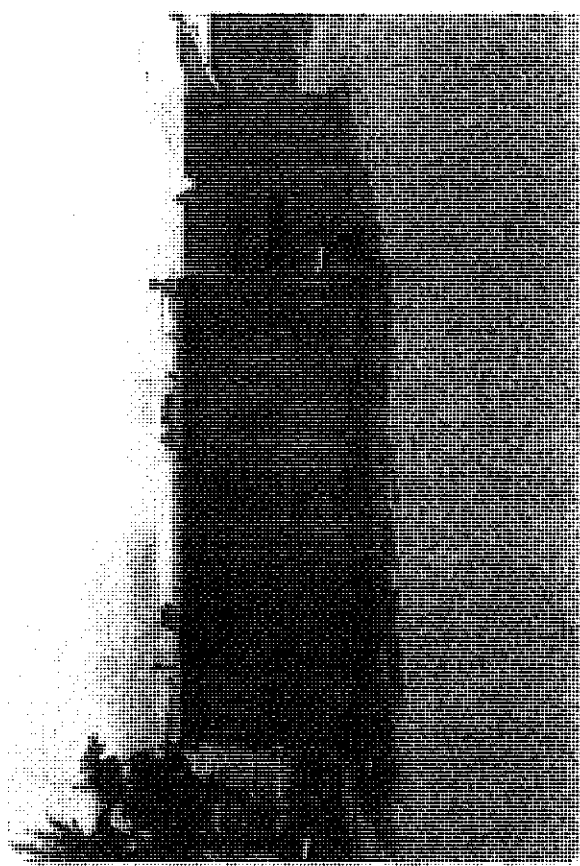
NEGATIVES WITH NMHPD ROLL # 5 NEG # 5, 7 TO 8

| FEATURE | MATERIALS/TYPE | CONDITION AND ALTERATIONS |
|----------------|--|---|
| BUILDING WALLS | stucco over adobe | bdy is very well cared for |
| FOUNDATIONS | not visible | |
| DOORS | solid core w/ alum. screen door | |
| WINDOWS | 6 lite wood casements; 3 lite metal casements | recessed w/ exterior screens, brown paint |
| PORTALES | NA | |
| CANALES | 1 metal to W (rear) | |
| PORCHES | NA | |
| BALCONIES | NA | |
| ROOFS | not visible behind rounded parapet | gutter (on eaves) system on W (rear) |
| COURTYARDS | NA / large grassy lawn to N; shared drive w/ 516 to S. | |
| FENCES/WALLS | stone wall to E; chain link to N, E; split wood to West. | |
| ARCH. DETAILS | buttressed base, 2 chimneys. | |
| OTHER | | |

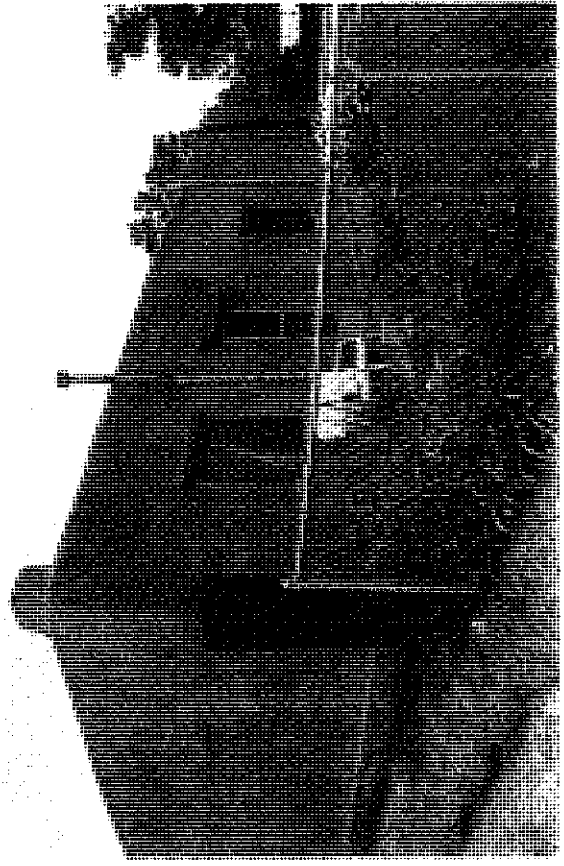
ARCHITECTURAL AND LANDSCAPE FEATURES

COMMENTS Bldg shown on King's Map probably this one, according to Mrs. Apodaca (428 Abeyta); property still in Apodaca family - Clara Apodaca lives here (sister in law of Mrs. Apodaca); 1st appears in City Directories in 1932-33 under name of Simon Apodaca; attempt to retain much of historic integrity w/ minimal alterations; Steel windows probably not original but w/in period of significance.

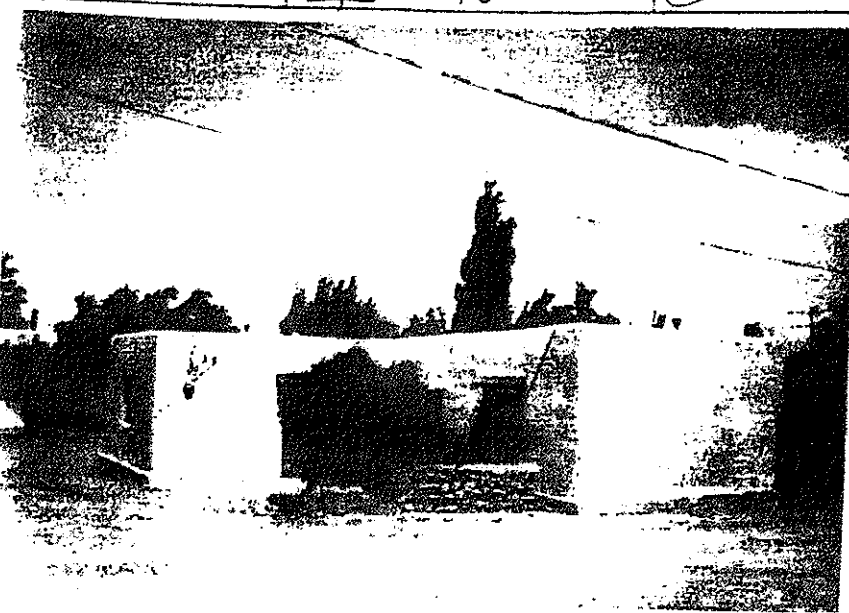
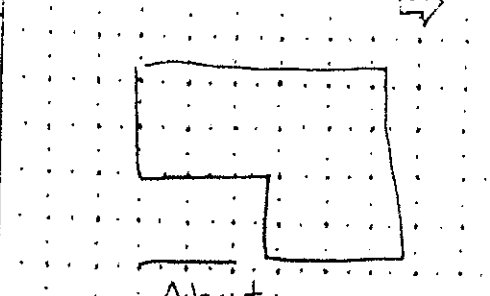
ADDITIONAL PHOTOGRAPHS



#5 N. Elevation



#8 N. Elevation

| | | | |
|---|-----------------------------------|---|---------------------|
| building threatened no vis | surveyed date 5-6-83 hv mb | county Santa Fe | CD no. 051600186 |
| field map Santa Fe, New Mexico | number 1 | UTM reference zone 12 13 | easting northing |
| location description 512 Abeyta | | city town Santa Fe | |
| building name | | legal description Twp 17 N R range 10 E sec 30 NW SW | |
| film roll by M. W. II | relative no. 3 5, 6 | top. of neg. (43) | plan shape → |
|  | |  | |
| style Sp. Pueblo Vernacular | | date of construction ca 1932 estimate Pre-1912 actual | |
| wall material/surface Stucco | | source 1932 directory King's map | |
| architectural features Window - 6 lite w casement - metal awning Alum screen doors 1 masonry fireplace | | use present <u>residential</u> historic <u>residential</u> | |
| comments Shows on 1912 King's map under ownership of Simon Apodaca | | condition excellent <input type="checkbox"/> good <input checked="" type="checkbox"/> fair <input type="checkbox"/> deterioration <input type="checkbox"/> | |
| wood fence - 1st & 2nd | | degree of remodeling <input checked="" type="checkbox"/> minor <input checked="" type="checkbox"/> moderate <input type="checkbox"/> major | |
| street trees | | describe: Windows & doors & awnings | |
| stone curb | | surroundings Residential! | |
| D setback | | relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar | |
| acquila | | district potential <input type="checkbox"/> yes <input type="checkbox"/> no | |
| see back? | | significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none | |
| Chari Apodaca - 982-4279 - fence | | if eligible, interest | |
| associated buildings? what type? | | if inventoried, list ID nos. | |
| see back? <input type="checkbox"/> yes | | 10 | |

Streetscape

continuation 1.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | |
|---|---|
| <p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>6/4/20</u></p> <p>Property Owner of Record: <u>STEVE + BARR BIRGFELD</u></p> <p>Applicant/Agent Name: <u>RYAN AULIN</u></p> <p>Contact Person Phone Number: <u>(505) 424-470-1322</u></p> | <p>Site Address: <u>512 + 512A ABEYTA ST.</u></p> <p>Proposed Construction Description: <u>ROOF/STUCCO REPAIR / INTERIOR REMODEL</u> <u>NEW ACCESSORY PORTAL + CARPORT - 600 SQ FT</u></p> <p>TOTAL ROOF AREA: <u>R.A.</u></p> |
| <p>Zoning District: <u>PC8</u></p> <p>Overlay: <input type="checkbox"/> Escarpment <u>NA</u> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Other: <u>NA</u></p> <p>Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit <u>NA</u></p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector <input checked="" type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes <u>NA</u></p> | <p>Lot Coverage: <u>45</u> % <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: <u>EXIST</u> Proposed Front: <u>0</u> Minimum: <u>7'-0"</u> 2nd Front? <u>NO</u> Proposed Rear: <u>5'-0"</u> Minimum: <u>5'-0"</u> Proposed Sides: <u>L 5' R 5'</u> Minimum: <u>5'-0"</u></p> <p>Height: Proposed <u>12'-8"</u> Maximum Height: <u>14'-0"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed <u>NON</u> Accessible <u>NA</u> Minimum: <u>4</u> EXISTING</p> <p>Bicycle Parking^{**}: Proposed: <u>NA</u> Minimum: <u>NA</u> ^{**} Commercial Requirement</p> |

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

STEVEN + BARR BIRGFELD
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
SIGNATURE

5.14.20

DATE

| | |
|---|--|
| <p>To Be Completed by City Staff:</p> <p>Additional Agency Review if Applicable:</p> <p><input type="checkbox"/> Escarpment Approval by _____ Date: <u>1/1</u></p> <p><input type="checkbox"/> Flood Plain Approval by _____ Date: <u>1/1</u></p> <p><input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u>1/1</u></p> <p>Notes: _____</p> | <p>Zoning Approval:</p> <p><input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: <u>fee</u></p> |
| <p>REVIEWER: <i>[Signature]</i></p> | <p>DATE: <u>7/1/20</u></p> |

Proposal Letter for HDRB

Case number: 2020 -001572--PAR

512 & 512A Abeyta St.

Date: 7-17-20

HDRB Board Members,

Proposed work for 512 Abeyta (Significant)

- REPLACE A NON HISTORIC ENTRY DOOR w/ NEW DOOR CONSTRUCTED OF SOLID WOOD AND GLASS (SEE EXISTING AND PROPOSED STYLE DOOR PHOTO EXHIBIT A & B)
- REPLACE NON HISTORIC COURTYARD DOOR FROM KITCHEN TO COURTYARD W/ A NEW DOOR CONSTRUCTED OF SOLID WOOD AND GLASS (SEE EXISTING AND PROPOSED STYLE DOOR PHOTO EXHIBIT A, B, & E)
- REPLACE NON HISTORIC ENTRY COURTYARD GATE W/ 4'-6" TALL COYOTE GATE (SEE PHOTO EXHIBIT C)

OWNER HAS AGREED TO LOWER THE EXISTING 5'-9" TALL COYOTE FENCE ALONG ABEYTA STREET THAT WAS INSTALLED PRIOR TO OWNERSHIP (SEE SHEET A4.2 DRAWING 1 & 2 ABEYTA STREET ELEVATIONS, SOUTH ELEVATIONS AND EXISTING PHOTO EXHIBIT C & D)

- REPAIR & PAINT EXISTING WINDOW AND DOOR TRIM /FLASHING EAVES (Color To Match Existing SEE PHOTO EXHIBIT E, C, & L)
- STUCCO PATCH REPAIR / COLOR "EL REY" COLOR: ADOBE (SEE EXHIBIT F)

Proposed work:512A Abeyta (Non Contributing)

- STUCCO REPAIR / COLOR "EL REY" COLOR: ADOBE (SEE EXHIBIT F)
- NEW OPEN DETACHED TRELIS TO BE CONSTRUCTED OF STAINED HEAVY TIMBER AND 10" DIA. VIGA POST W/ METAL GALVINIZED FLASHING OVER STRUCTURAL ELEMENTS. (SEE SHEET A4.3 DRAWING 1 & PHOTO EXHIBIT G)
- REMOVAL OF A SECTION OF COYOTE FENCE THAT BISECTS INTERIOR COURTYARD BETWEEN 512 AND 512A COURTYARD. (SEE SHEET A1.0 & PHOTO EXHIBIT H & M)
- THE ADDITION OF 2 NEW MINISPLIT HVAC GROUND MOUNTED UNIT THAT WILL BE OUT

OF THE PUBLIC VIEW BETWEEN 512 AND 512A. (SEE SHEET A1.1 AND PHOTO EXHIBIT H)

- REPLACE EXISTING GATE TO COURTYARD WITH STAINED WOOD PLANK STYLE . (SEE SHEET A4.1 DRAWING 1 SEE PHOTO EXHIBIT J)
- ADDITION OF A 6FT TALL COYOTE FENCE STARTING 36 FT BACK FROM THE FRONT PROPERTYLINE CONTINUING EAST TO ENCLOSE THE CORNER OF 512 & 512A ABETYA TO THE SOUTH EAST CORNER OF THE LOT. (SEE SHEET A4.1 DRAWING 3 SOUTH ELEVATION SEE PHOTO EXHIBIT K)

NOTE: ALL NEW COYOTE FENCING TO HAVE ALTERNATING TOPS AS SHOWN ON ELEVATIONS

Thank you for your consideration.

Owner Rep. :

Ryan Allen

NCARB

2395 Camino Pintores

Santa Fe NM

87505

Owner:

Steve. and Barb. Birgfeld

512 and 512A Abeyta St.

Santa Fe, NM

87505

DIRECTORY

OWNER

STEVE AND BARBARA
512 ABEYTA ST
SANTA FE,
NEW MEXICO
87501

PHONE: 505-629-3997

DRAWING INDEX

- A-1.0 EXISTING SITE PLAN
- A-1.1 PROPOSED SITE PLAN
- A-1.2 EXISTING AND PROPOSED FLOOR PLANS
- A-1.3 EXISTING FLOOR PLANS
- A-4.1 ELEVATIONS
- A-4.2 ELEVATIONS
- A-4.3 ELEVATIONS

**512 and 512A ABEYTA ST
SANTA FE, NEW MEXICO
87505
HDRB
JULY 28, 2020**

LOT INFORMATION

512 & 512A ZONING RC8
EXISTING LOT SIZE: (6957.00± SQ.FT.)

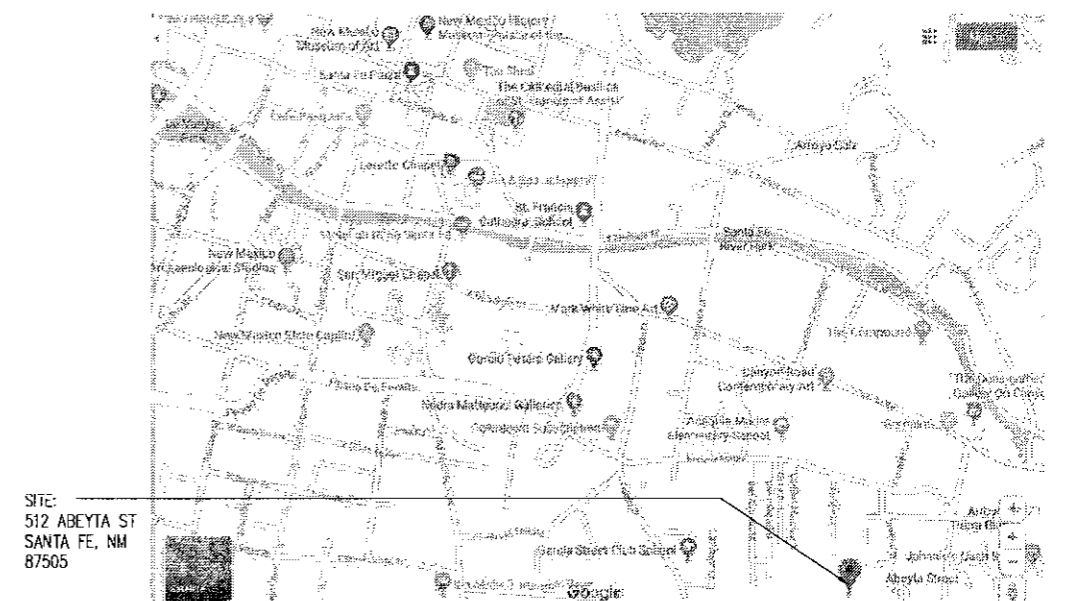
EXISTING ROOFED AREA (SINGLE STORY)
(EXISTING HOUSE 512) 1,252 SQFT ±
(EXISTING HOUSE 512A) 1,540 SQFT ±

EXISTING COVERAGE 2,792 SQFT ±

2,792 (TOTAL ROOFED SQFT) / 6,957 (SQFT LOT)
40% (LOT COVERAGE)

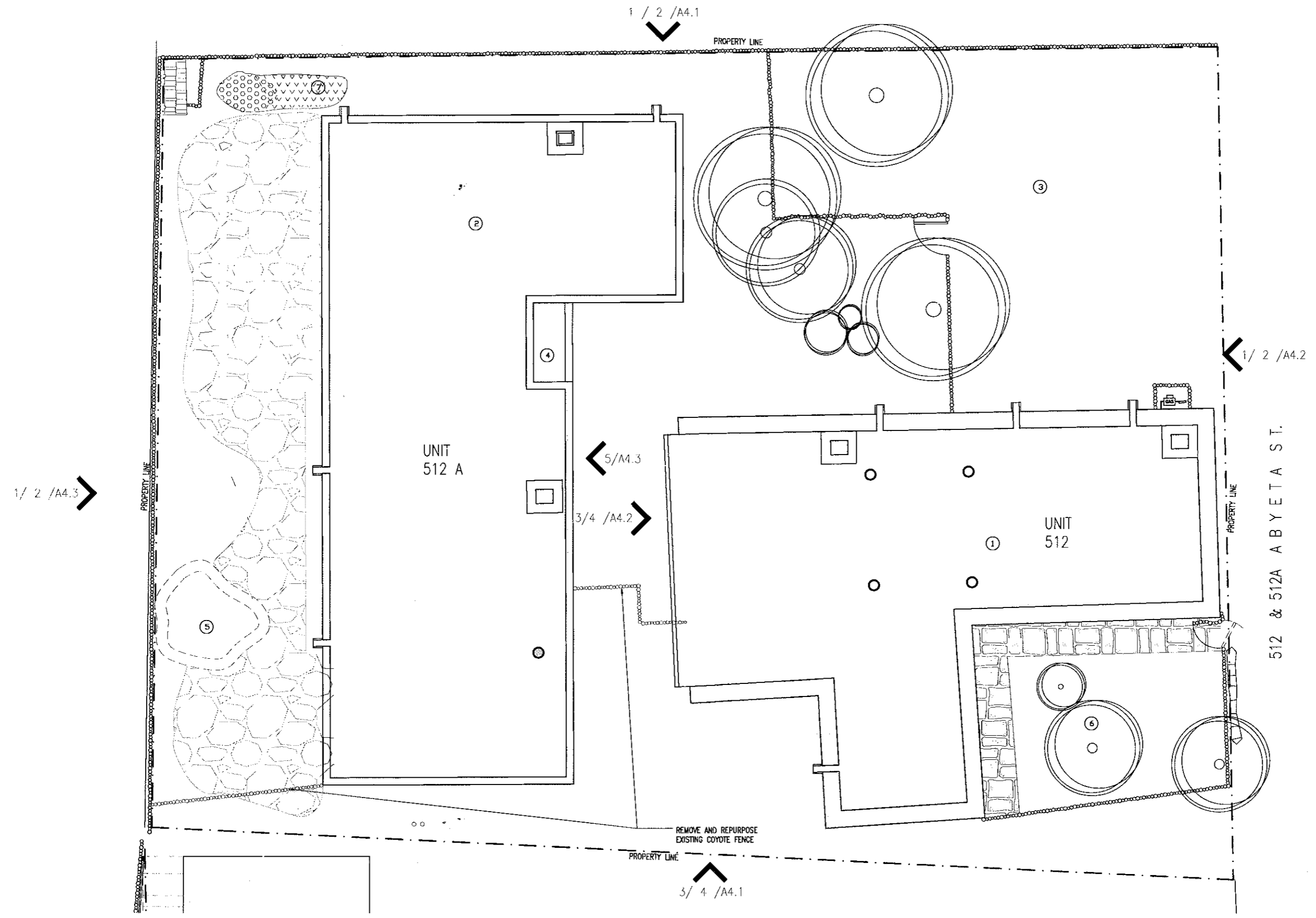
NEW LOT COVERAGE:

(0: Change)



NOTES

- ① EXISTING HOUSE (512)
- ② EXISTING HOUSE (512 A)
- ③ EXISTING PARKING AREA
- ④ EXISTING PORTAL
- ⑤ EXISTING KOI POND
- ⑥ EXISTING COURTYARD
- ⑦ EXISTING DRAINAGE POND



REMODEL
512 ABEYTA ST
SANTA FE, NEW MEXICO
87505

| No. | Date | Description |
|-----|---------|-------------|
| 1 | 7/17/20 | HDRB |
| | | |
| | | |
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EXISTING
SITE PLAN

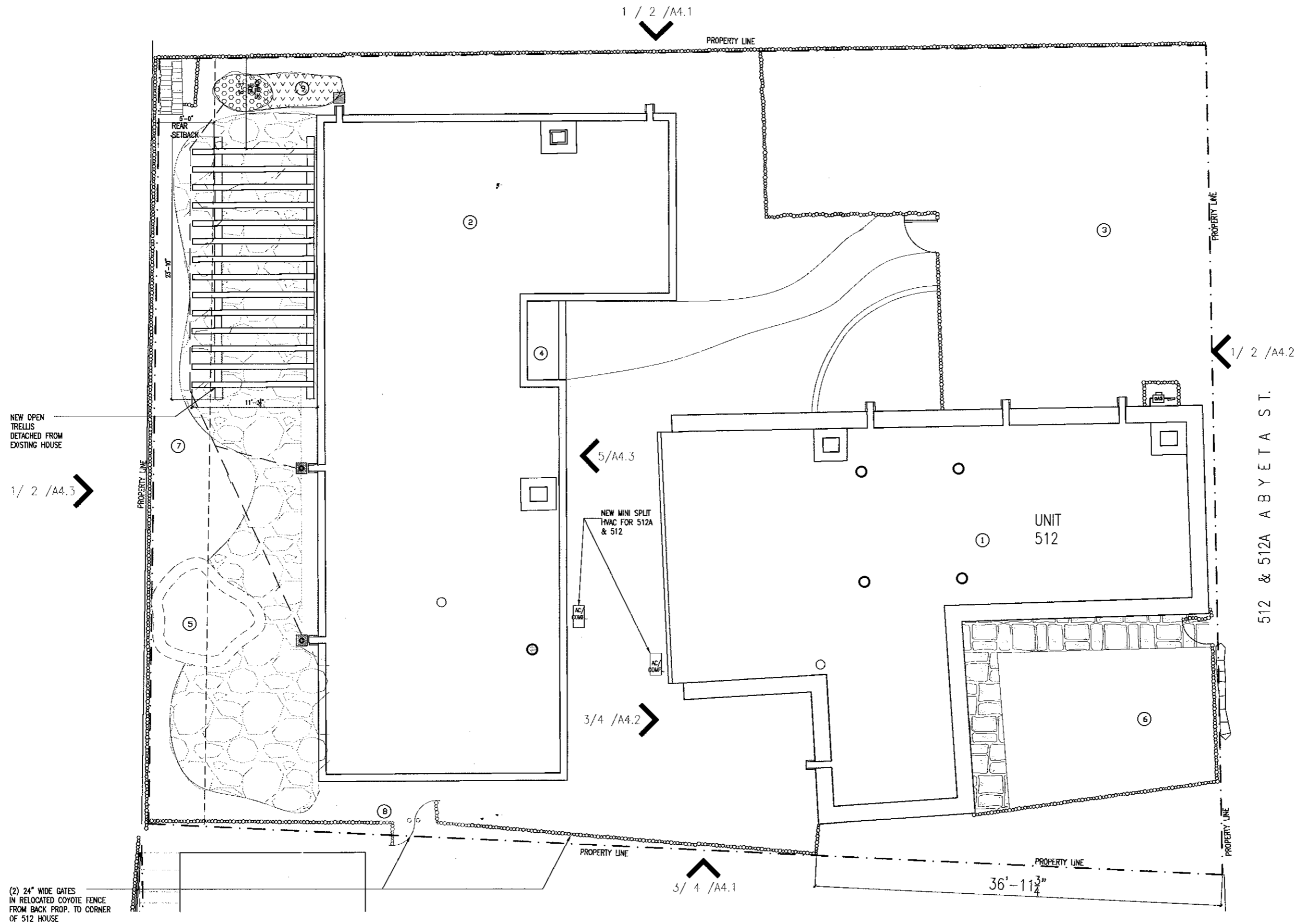
Scale AS NOTED Sheet
15
05-20 A1.0

① EXISTING SITE PLAN

1/4" = 1'-0"

NOTES

- ① EXISTING HOUSE (512)
- ② EXISTING HOUSE (512 A)
- ③ EXISTING DRIVEWAY AND PARKING AREA
- ④ EXISTING PORTAL
- ⑤ EXISTING KOI POND
- ⑥ EXISTING COURTYARD
- ⑦ NEW OPEN TRELLIS (ACCESSORY)
- ⑧ NEW COYOTE FENCE ALONG PROPERTY LINE



NEW OPEN TRELLIS DETACHED FROM EXISTING HOUSE

1/2 /A4.3


(2) 24" WIDE GATES IN RELOCATED COYOTE FENCE FROM BACK PROP. TO CORNER OF 512 HOUSE

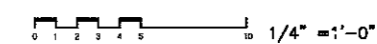
512 & 512A ABEYTA ST.

REMODEL
512 ABEYTA ST
SANTA FE, NEW MEXICO
87505

| Issue No. | Date | Description |
|-----------|---------|-------------|
| 1 | 7/17/20 | HDRB |
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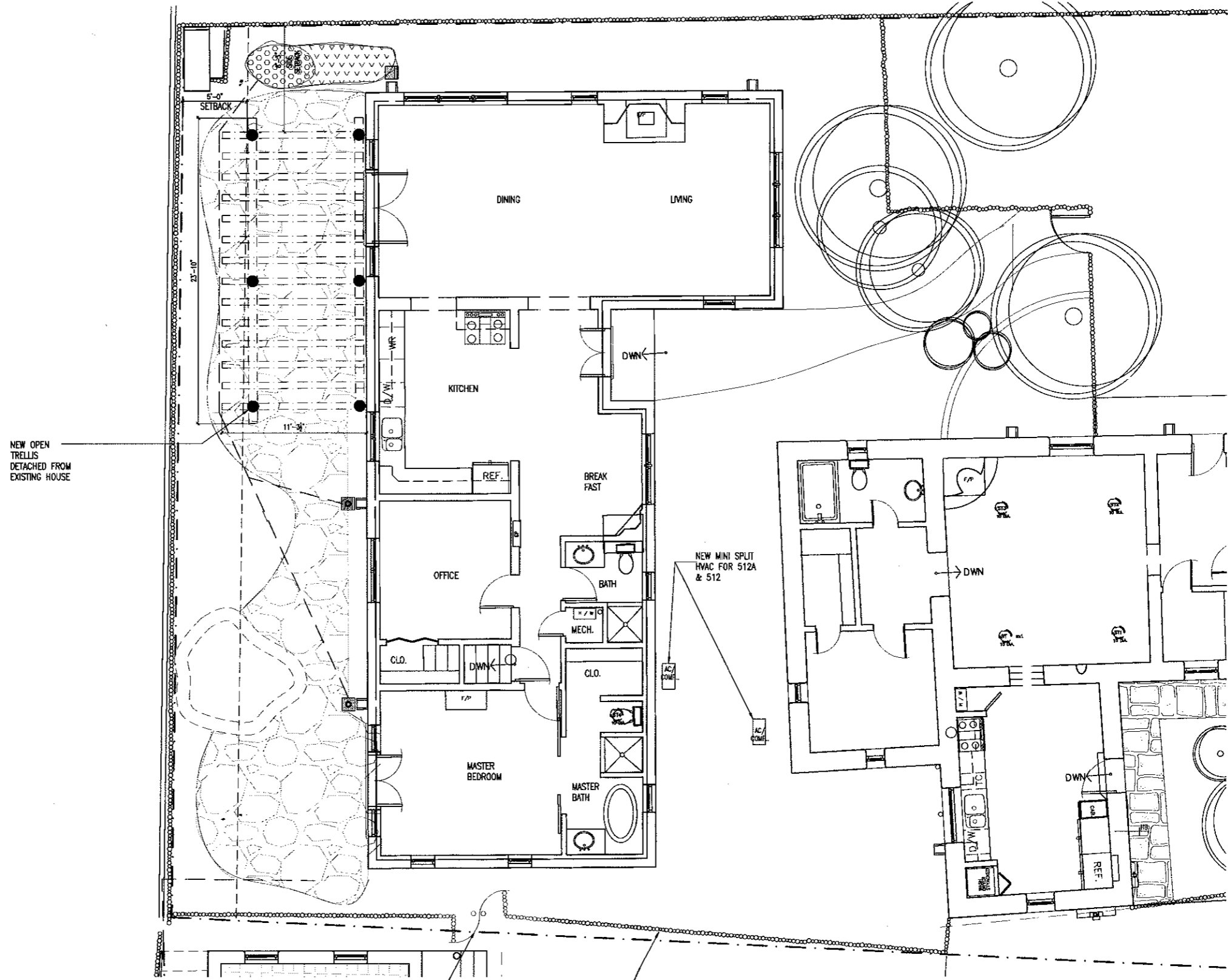
PROPOSED SITE PLAN

Scale: AS NOTED

 05-20
 A1.1



1 PROPOSED SITE PLAN

1/2 / A1.1



NEW OPEN TRELLIS DETACHED FROM EXISTING HOUSE

NEW MINI SPLIT HVAC FOR 512A & 512

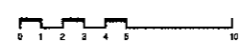
REMODEL
 512 ABEYTA ST
 SANTA FE, NEW MEXICO
 87505

| Revisi | Date | Description |
|--------|---------|-------------|
| 1 | 7/17/20 | HDRB |
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EXISTING AND PROPOSED SITE PLAN

(2) 24" WIDE GATES IN RELOCATED COYOTE FENCE FROM BACK PROP. TO CORNER OF 512 HOUSE

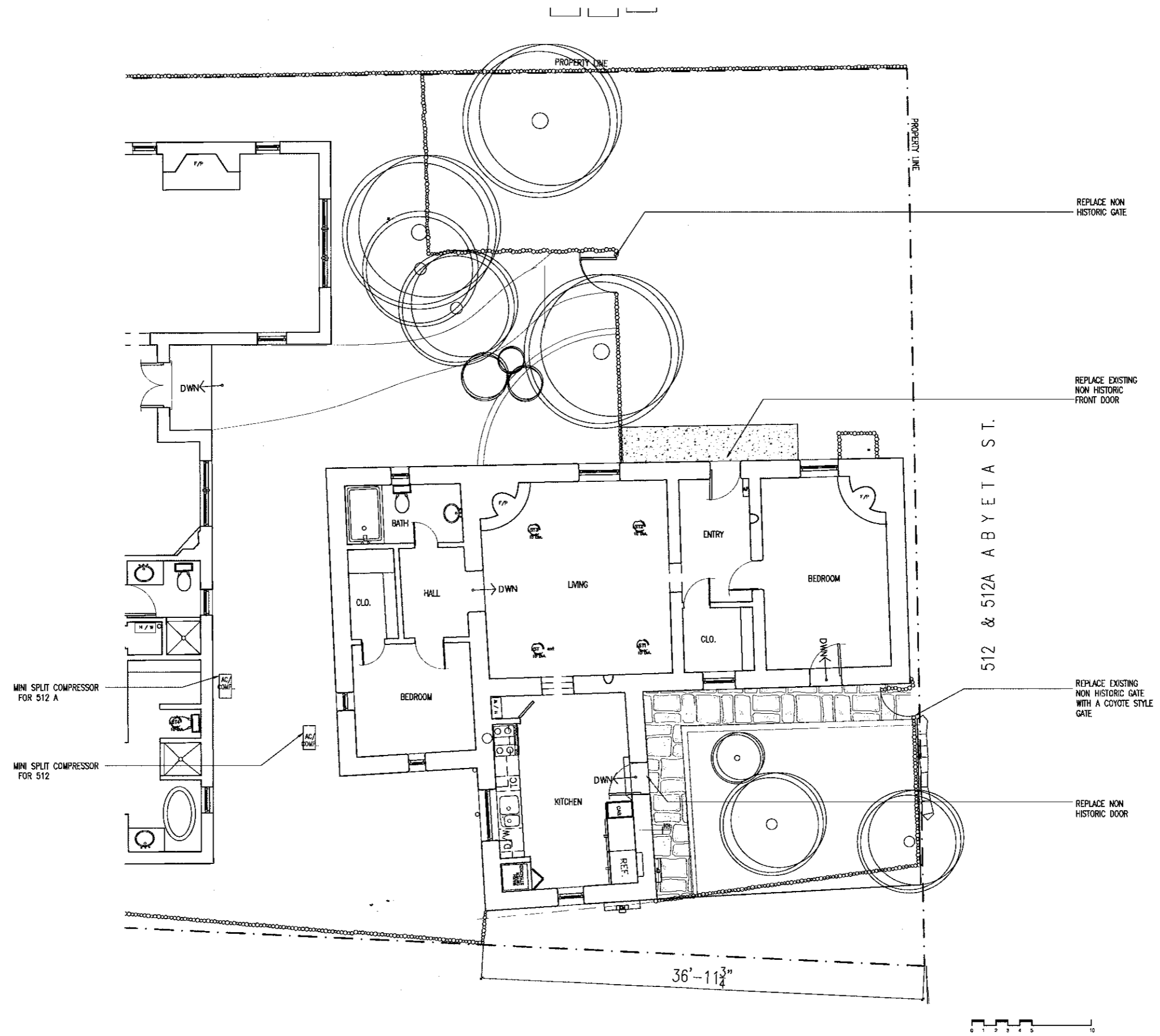
1 512A PLAN



1/4" = 1'-0"

Scale AS NOTED Sheet

Job 05-20 A1.2



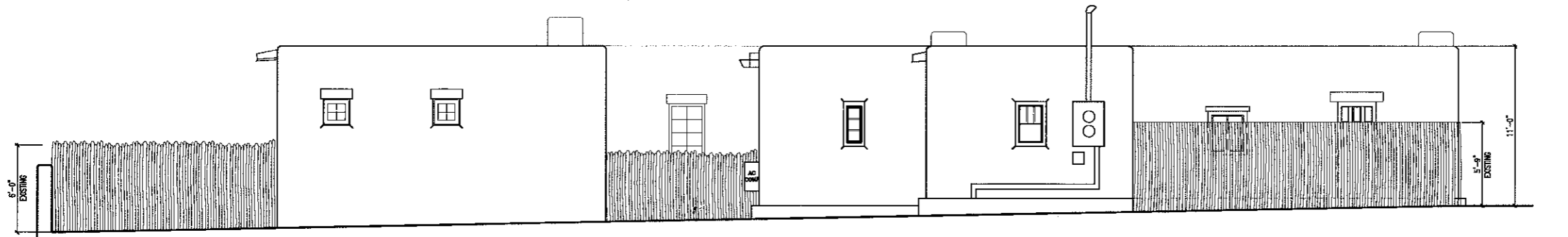
1 512 GROUND PLAN

REMODEL
512 ABEYTA ST
SANTA FE, NEW MEXICO
87505

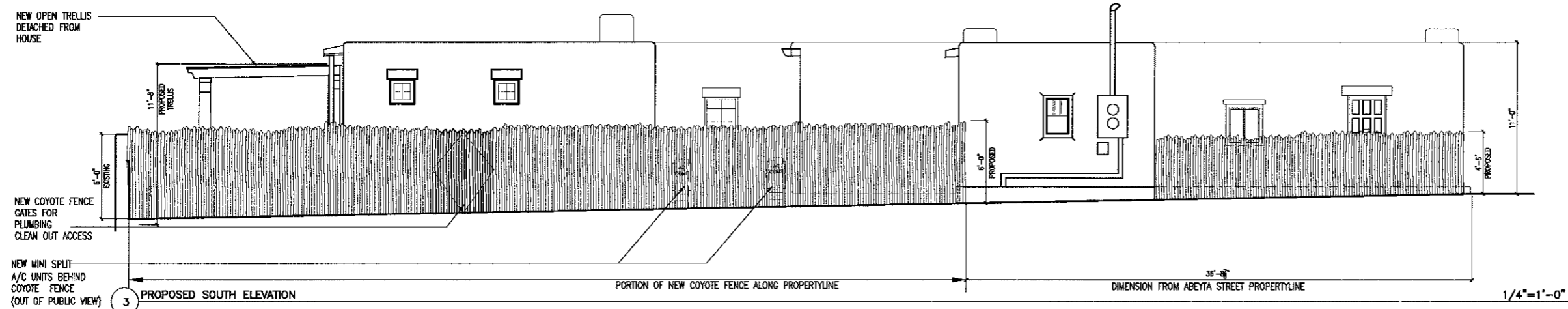
| Issue No. | Date | Description |
|-----------|---------|-------------|
| 1 | 7/17/20 | HDRB |
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EXISTING FLOOR PLAN
SITE PLAN

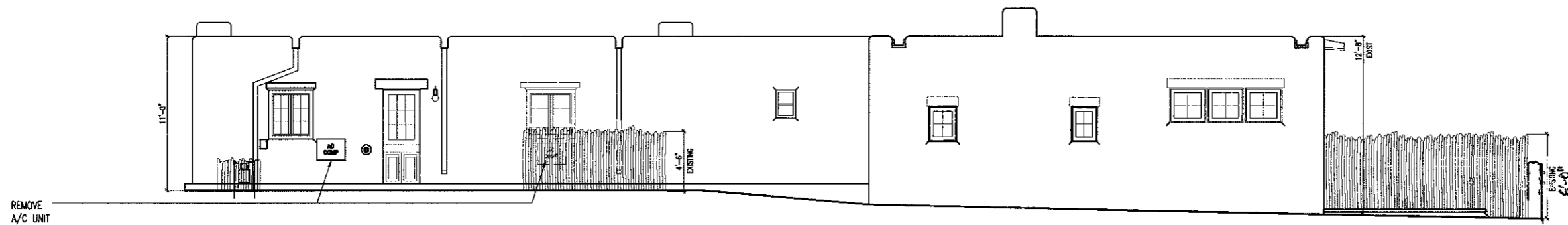
Scale AS NOTED Sheet
Job 05-20 A1.3



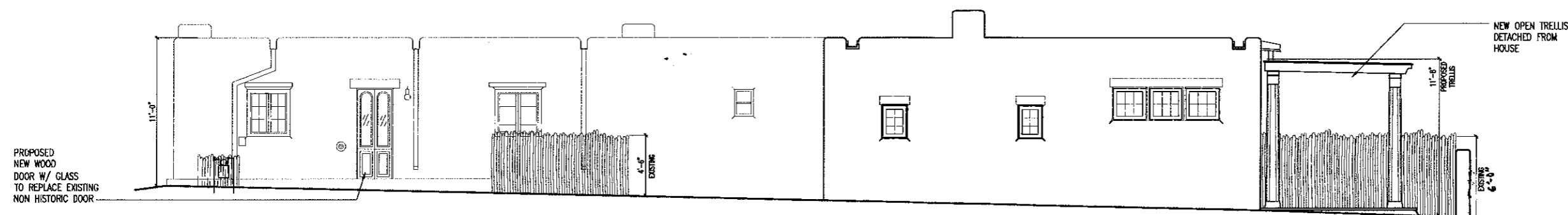
4 EXISTING SOUTH ELEVATION 1/4"=1'-0"



3 PROPOSED SOUTH ELEVATION 1/4"=1'-0"



2 EXISTING NORTH ELEVATION 1/4"=1'-0"



1 PROPOSED NORTH ELEVATION 1/4"=1'-0"

NOTE:
 REPAIR / COLOR COAT
 STUCCO WITH "EL REY"
 COLOR: ADOBE

 REPAIR METAL FLASHING EAVES
 OVER DOORS AND WINDOWS
 TO MATCH EXISTING TRIM

REMODEL
 512 ABEYTA ST
 SANTA FE, NEW MEXICO
 87505

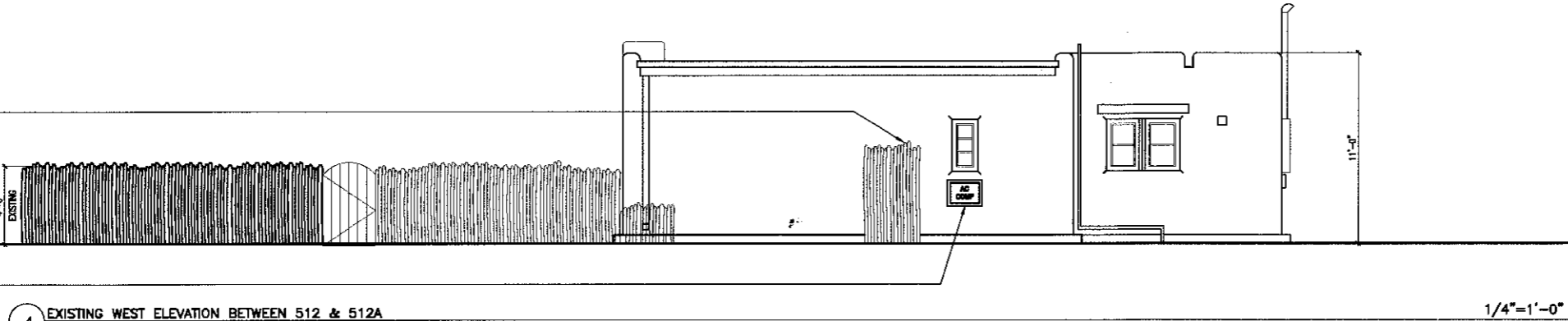
| Revisions | No. | Date | Description |
|-----------|-----|---------|-------------|
| | 1 | 7/17/20 | HDRB |

ELEVATIONS

Scale AS NOTED
 Date 05-19
 Sheet A4.1

REMOVE
EXISTING COYOTE
FENCE DIVIDING
512 & 512A

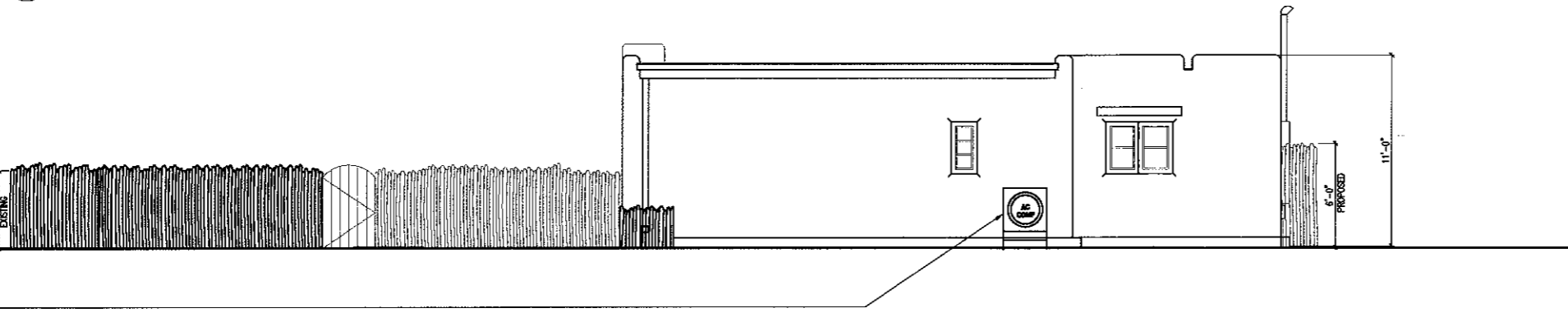
REMOVE
A/C UNIT
REPAIR STUCCO WALL



4 EXISTING WEST ELEVATION BETWEEN 512 & 512A

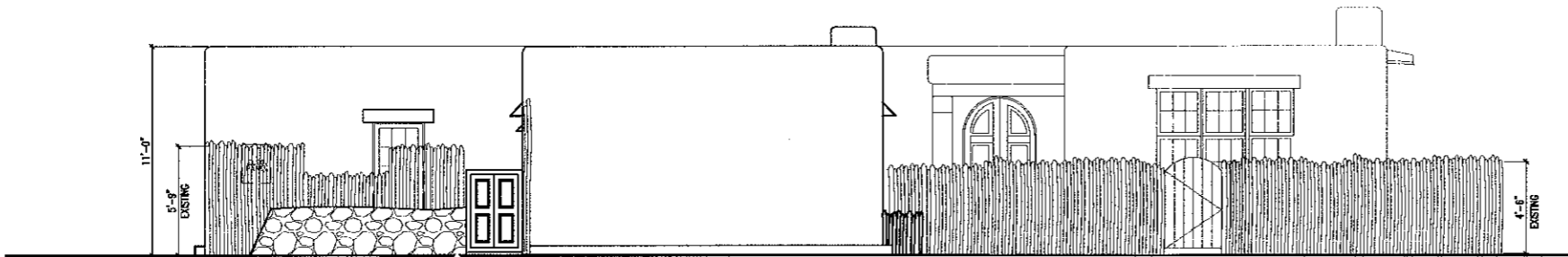
1/4"=1'-0"

NEW MINI SPLIT
A/C UNITS BEHIND
COYOTE FENCE
(OUT OF PUBLIC VIEW)



3 PROPOSED WEST ELEVATION BETWEEN 512 & 512A

1/4"=1'-0"

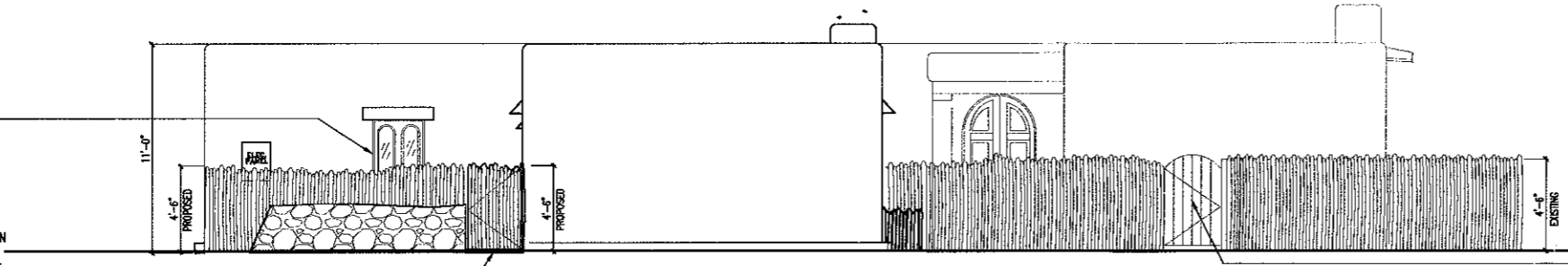


2 EXISTING EAST ELEVATION ABEYTA STREET VIEW

1/4"=1'-0"

NEW HARDWOOD
DOOR W/ GLASS
TO REPLACE EXISTING
NON HISTORIC DOOR

REPLACE EXISTING NON
HISTORIC GATE AND
REPLACE WITH COYOTE
FENCE GATE



1 PROPOSED EAST ELEVATION ABEYTA STREET VIEW

1/4"=1'-0"

NOTE:

REPAIR / COLOR COAT
STUCCO WITH "EL REY"
COLOR: ADOBE.

REPAINT METAL FLASHING EAVES
OVER DOORS AND WINDOWS
TO MATCH EXISTING TRIM

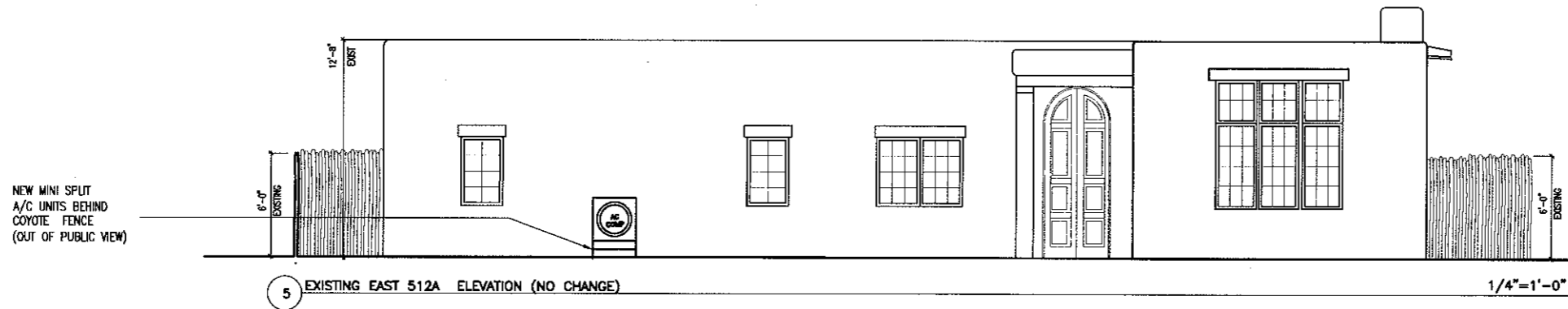
REMODEL
512 ABEYTA ST
SANTA FE, NEW MEXICO
87505

| Issues | No. | Date | Description |
|--------|-----|---------|-------------|
| | 1 | 7/17/20 | HORR |

ELEVATIONS

Scale AS NOTED
Job 05-19
Sheet A4.2

EXISTING NON HISTORIC
GATE TO BE REPAIRED /
REPLACED WITH SIMILAR
WOODED PLANK STYLE



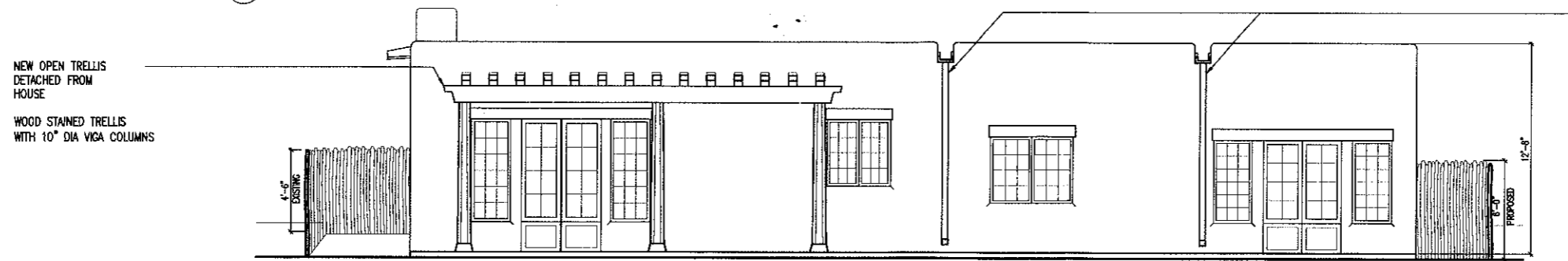
5 EXISTING EAST 512A ELEVATION (NO CHANGE)

1/4"=1'-0"



2 EXISTING WEST 512A ELEVATION

1/4"=1'-0"



1 PROPOSED WEST ELEVATION 512A

1/4"=1'-0"

NEW OPEN TRELLIS
DETACHED FROM
HOUSE
WOOD STAINED TRELLIS
WITH 10" DIA VIGA COLUMNS

NEW DOWN SPOUTS

NOTE:
REPAIR / COLOR COAT
STUCCO WITH "EL REY"
COLOR: ADOBE

REPAINT METAL FLASHING EAVES
OVER DOORS AND WINDOWS
TO MATCH EXISTING TRIM

REMODEL
512 ABEYTA ST
SANTA FE, NEW MEXICO
87505

| Issues No. | Date | Description |
|------------|---------|-------------|
| 1 | 7/17/20 | HORB |
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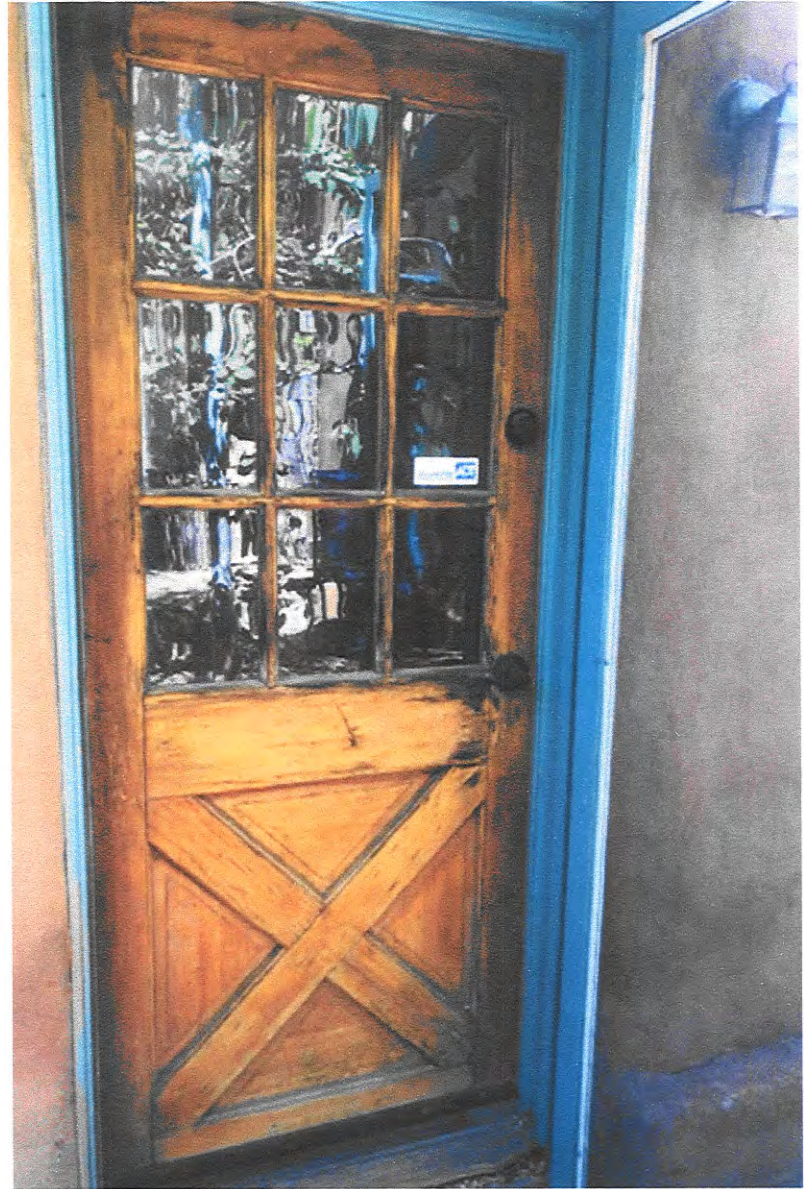
Title
ELEVATIONS

Scale AS NOTED
Job 05-19
Sheet A4.3





EXISTING ENTRY DOOR 512
NON HISTORICAL



EXISTING DOOR COURTYARD
NON HISTORICAL



STYLE OF DOOR TO REPLACE
NON HISTORICAL DOORS @ 512

REPAIR / REPAINT
WINDOW / DOOR EAVES + TRIM
(COLOR TO MATCH EXISTING)



EXISTING 5'-9" COYOTE FENCE
LOWER EXISTING COYOTE FENCE
TO 4'-6" TALL

CHANGE NON HISTORIC
GATE TO COYOTE STYLE FENCE
4'-6" TALL

EAST ELEVATION 512 ABEYTA STREET.



LOWER EXISTING
COYOTE FENCE
TO 4'-6" TALL

512
STREET

ABEYTA

EXISTING 5'-0" COYOTE FENCE
SOUTH ELEVATION

REPAIR + REPAINT EXISTING WINDOW
+ DOOR TRIM / LEAVES (GOLD TO MATCH EXISTING)



512 ABEYTA ST.

REPLACE NOW HISTORIC DOOR
W/ NEW DOOR SEE EXHIBIT A+B
26
PAGE 20 OF 37

NORTH EAST 512 ABEYTA ST.

NOTE:

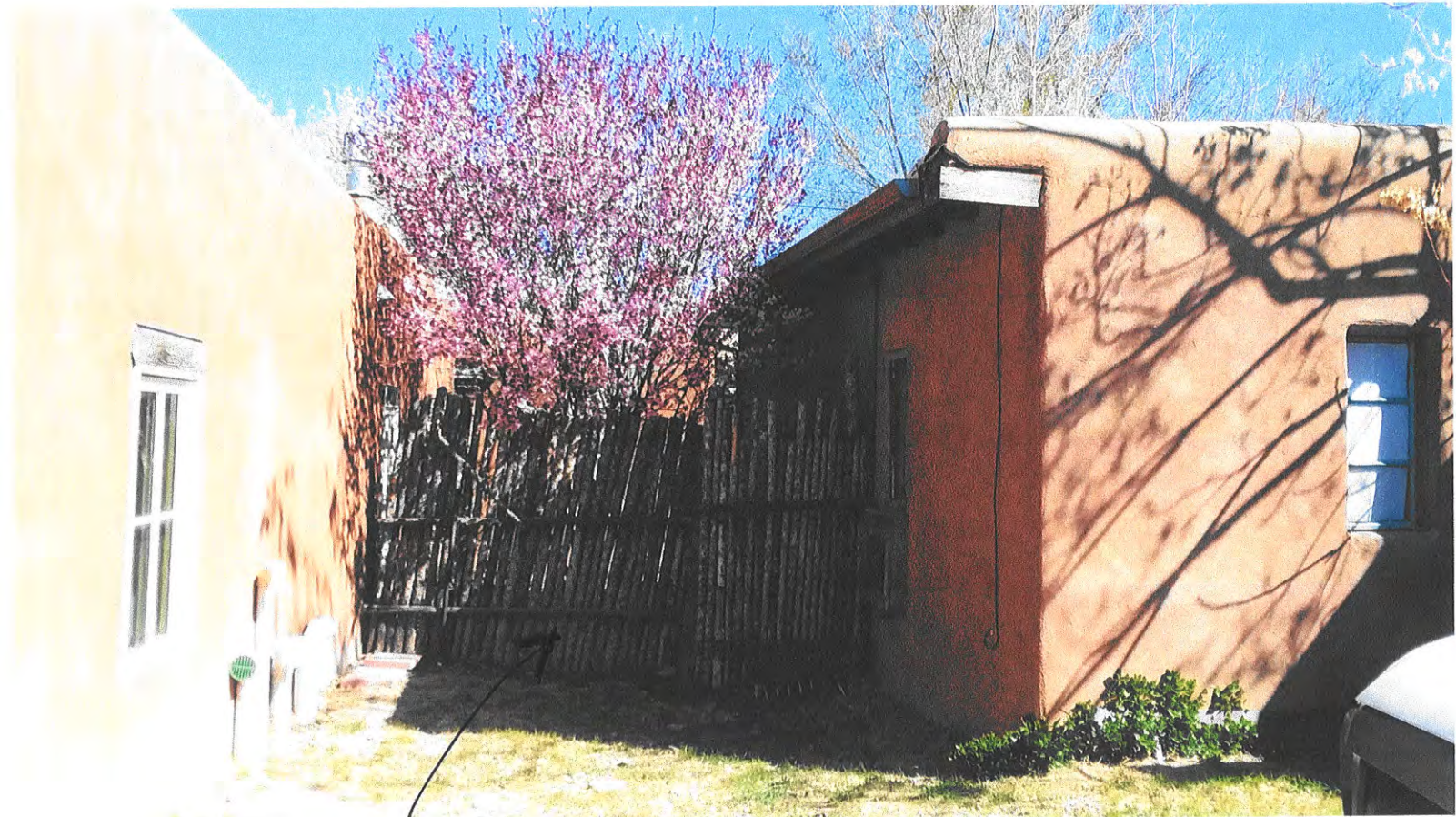
NO EXHIBITS

F or I

AREA PROPOSED FOR NEW
OPEN TRELLIS



BACK YARD OF NON CONTRIBUTING S12A
WEST ELEVATION



↑
512A

! REAR COURTYARD
OUT OF PUBLIC VISIBILITY!

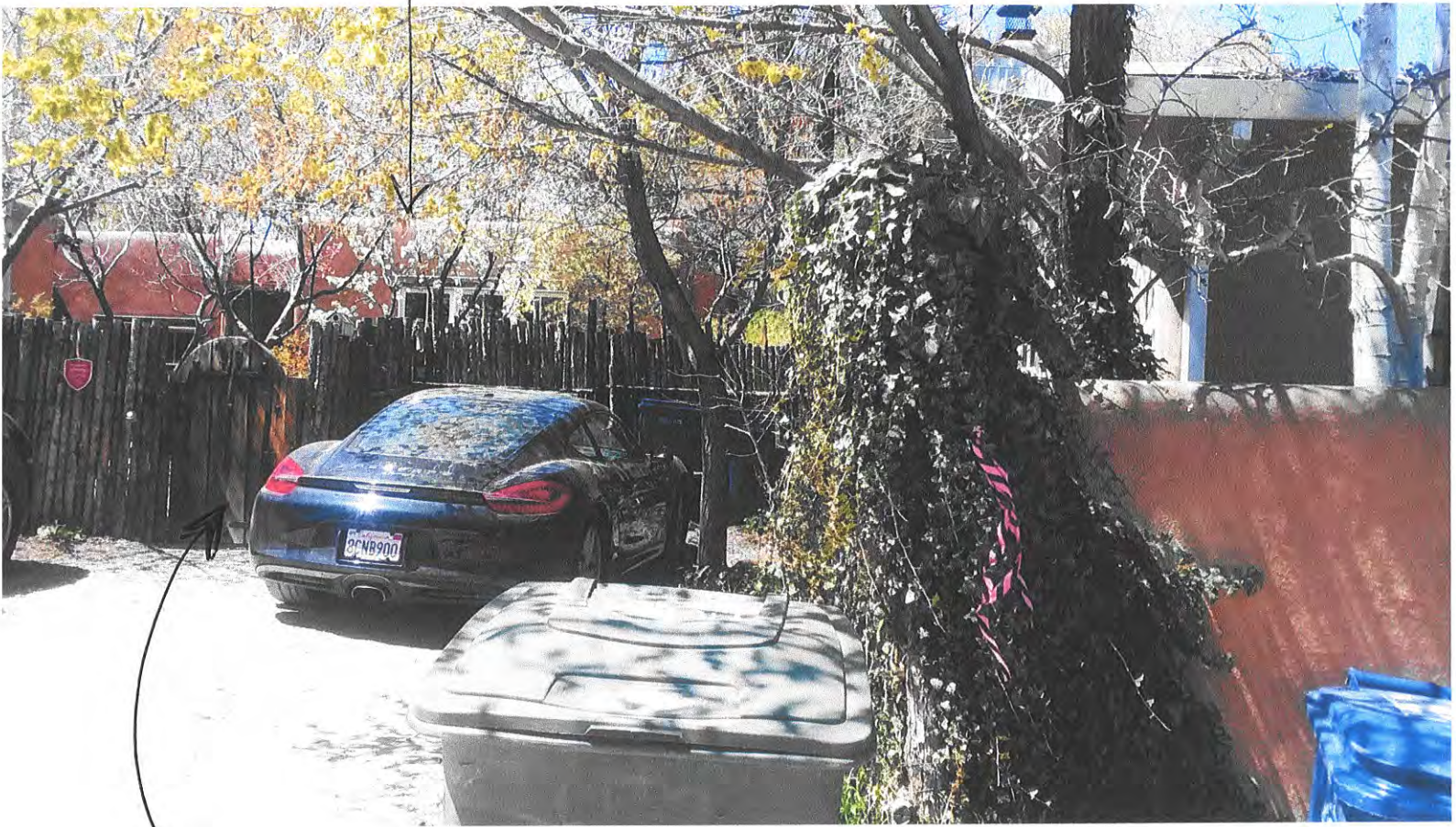
↑
512 (CONTRIBUTING)

REMOVE + REUSE COYOTE
FENCE

PROPOSED LOCATIONS FOR NEW HVAC MINISPLITS
FOR BOTH 512 + 512A

SOUTH ELEVATION

512A ABEYTA ST.



REPLACE EXISTING NON HISTORIC GATE w/
SIMILAR STYLE WOOD FRANK.

EAST ELEVATION

512A

NEW 7 FT TALL
COYOTE FENCE
TO START
FROM 512 ABEYTA



SOUTH ELEVATION

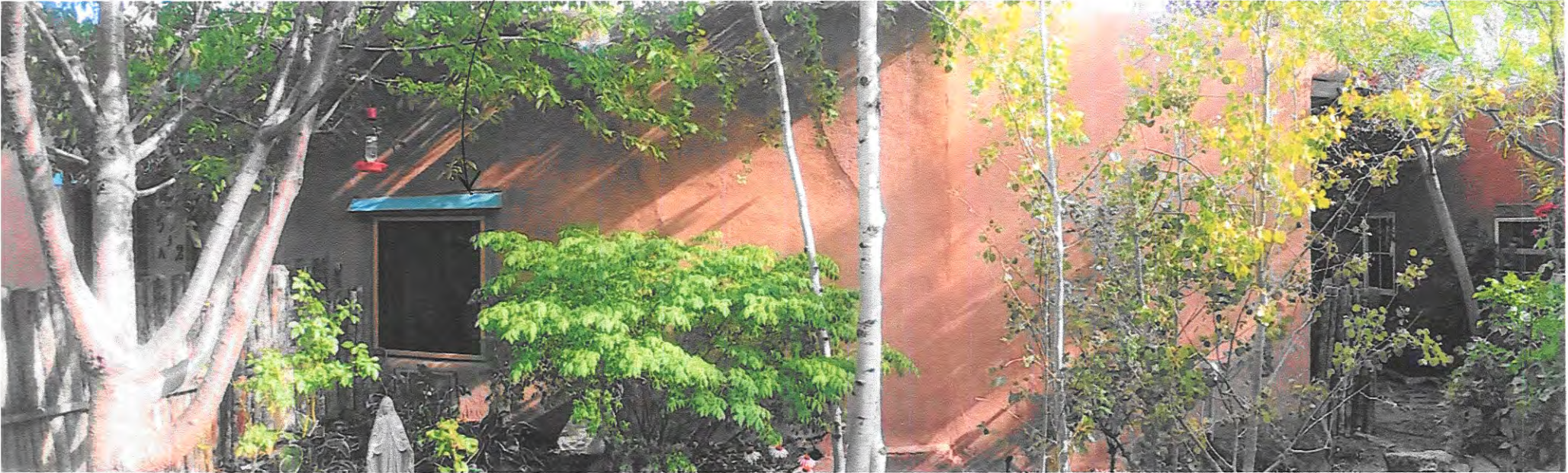
ADDITION OF 6 FT TALL COYOTE FENCE TO
START 36 FT FROM FRONT PROPERTY LINE
(ABEYTA STREET.)

SEE ELEVATION AA.1 DRAWING 3
SEE PLAN A1.1

512
ABEYTA

31
Page 78 of 133

REPAIR + REPAINT EXISTING WINDOW
TRIM / EAVES (COLOR TO MATCH EXISTING)



512 ABEYTA INTERIOR COURTYARD. (SIGNIFICANT NORTH PARTIAL: NO CHANGE)
NORTH ELEVATION

512 SIGNIFICANT (NO CHANGE)



EXISTING
COYOTE FENCE TO BE REMOVED.
BETWEEN 512 + 512A



512A No.

NORTH WEST 512 ABEYTA INTERIOR COURTYARD



Timeless Beauty and Diversity

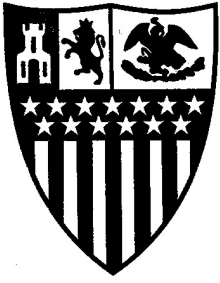
Premium colors are available for the following El Rey exterior finish and coating products:

- Premium Stucco
- Perma-Flex
- Perma-Flex Lastic
- Fog Kote
- Allegro II

Note: The color on the textured chips are intended to show the approximate color of exterior color coat float finish stucco. Due to variations in finishes, it is strongly recommended that a physical sample be obtained in the color and texture desired for appraisal prior to ordering material. Apply a sample of the finish to the substrate being used before proceeding with the application. El Rey is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.

EXHIBIT F

| | | | | | |
|------------------|--------------------|-------------------|-----------------------|---------------------|-----------------|
| | | | | | |
| 30 SOAPSTONE 73 | 80 SOFT ROSE 60 | 90 CANDLELIGHT 76 | 100 COLONIAL WHITE 79 | 101 NAVAJO WHITE 71 | 102 CAMEO 67 |
| | | | | | |
| 103 SAND 52 | 105 BAMBOO 47 | 106 BUCKSKIN 35 | 107 DENIM 47 | 108 KOKANEE 54 | 110 ASH 60 |
| | | | | | |
| 113 DOVE GRAY 60 | 114 DESERT ROSE 89 | 115 COTTONWOOD 32 | 116 ADOBE 24 | 117 FAWN 45 | 118 SUEDE 38 |
| | | | | | |
| 119 PALOMINO 55 | 121 SANDALWOOD 56 | 122 STRAW 42 | 124 CORAL 35 | 125 LA LUZ 20 | 127 HACIENDA 59 |
| | | | | | |
| 128 CREAM 61 | 129 IVORY 74 | 130 PUEBLO 53 | 135 SAHARA 35 | 197 LA MORENA 19 | 212 MADEBA 24 |



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*
Asenath Kepler, *City Manager*

Councilors:

- Miguel M. Chavez, Mayor Pro Tem, Dist. 3
- Patti J. Bushee, Dist. 1
- Chris Calvert, Dist. 1
- Karen Heldmeyer, Dist. 2
- Rebecca Wurzbarger, Dist. 2
- Carmichael A. Dominguez, Dist. 3
- Matthew E. Ortiz, Dist. 4
- Ronald S. Trujillo, Dist. 4

Project description: Construct a 1,490 sq. ft. residence to a height of 12' 8", where the maximum allowable height is 14' behind a Significant residence.

Project number: 06-10100067

Case number: H-06-067

Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 512 Abeyta

PROJECT NAMES:

OW - Olivier & Shawn Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-992-1166

AP - Olivier Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-992-1166

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on, December 12, 2006, acted on the above referenced case. The decision of the board was to approve your request with the condition that the proposed wall on the south side of the lot is not approved and the design be re-submitted to the Board.

For further information please call 955-6605.

Sincerely,

David A. Rasch
Historic Preservation Planner

NOTE: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). YOUR PERMIT WILL BE DENIED IF THERE ARE ANY CHANGES ON PLANS THAT WERE APPROVED BY THE HDRB OR IF CONDITIONS OF THE APPROVAL ARE NOT MET. PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.

PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted 4/25/06
Property Owner of Record Olivier & Shawn Roccamo
Applicant Name Olivier Roccamo Phone 992-1166
Site Address 512 Abeyta Street
Proposed Construction New house

TO BE COMPLETED BY STAFF:

Zoning District/Overlay RC8 Subdivision _____ Lot _____ Block _____

Permitted Use: Section # 14-6
Accessory Use: Section # _____
Special Exception: Case # _____
Variance: Case # _____
Prohibited Use: Section # _____

Setbacks:
(Front) Provided 7' Required 7' (2nd Front) Provided _____ Required _____
(Left Side) Provided 5' Required 5' (Right Side) Provided 5' Required 5'
(Rear) Provided 15' Required _____ (Special Yard) Provided _____ Required _____

Zero lot line affidavit (yes/no) side _____ rear _____

Density: 1.28 Open Space: _____

Lot Size: 7051 Total Roof Area: 2715 Lot Coverage (%): 38.25

Height of new construction: 14' Wall Requirement: 6' Visibility triangle: 3' @ Driveway

Parking: #Spaces Required 4 #Spaces Provided 4 HC spaces: Van _____ Regular _____ Bike rack _____

Other District Requirements: A-Band

Preliminary Approval:

Preliminary Approval w/Conditions: Applicant shall prove legal lot of record, Applicant shall submit Guesthouse Affidavit

Comments: _____

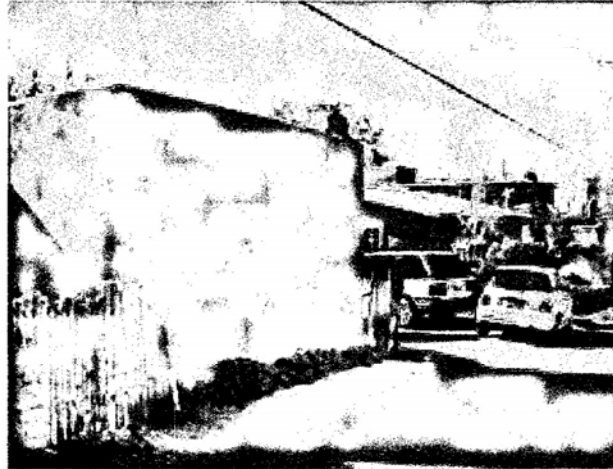
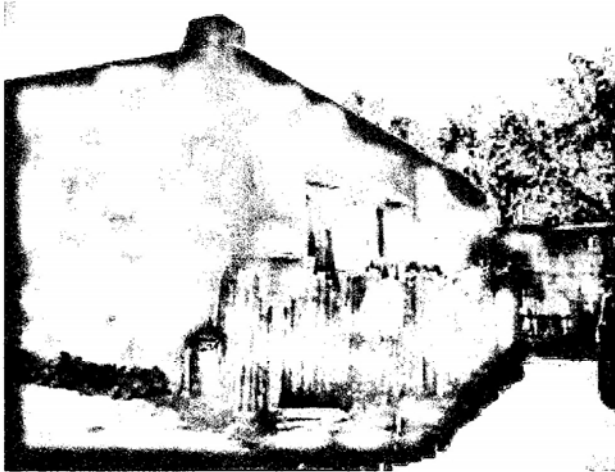
Reviewer [Signature] Date 5-1-06

NOTE: Preliminary zoning reviews are provided as a courtesy and are intended to address general zoning compliance issues. Applicants are advised to do an independent search of applicable zoning ordinances and research documents related to property history which may affect permitting. Additionally, applicants are advised to contact appropriate City staff with questions related to terrain management, building, fire, water budget, Sangre de Cristo, wastewater, and other development codes which may affect permitting.

[Signature]
Applicant

4/25/06
Date

**512 Abeyta Street
Existing Residence**



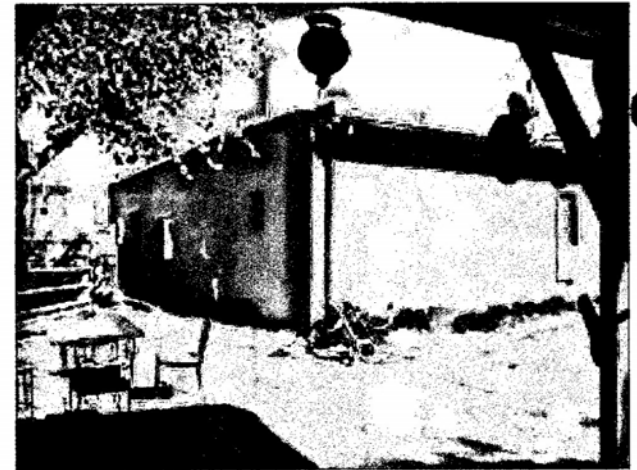
Views from Abeyta Street



View from South East



View from South West



View From North East

City of Santa Fe, New Mexico

memo

DATE: December 12, 2006
TO: Historic Design Review Board Members
VIA: Reed Liming, Long-Range Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-06-67

ADDRESS: 512 Abeyta Street
Historic Status: NA / Significant
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: building height calculation
wall height calculation
previous action letter

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: guest/primary affidavit
carport affidavit

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design guidelines and current zoning regarding accessory structures.

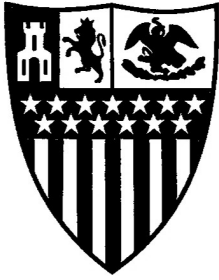
BACKGROUND & SUMMARY:

512 Abeyta Street is an adobe 1,225 square foot single-family residence that was constructed before 1912 in a vernacular style. The building is listed as significant to the Downtown & Eastside Historic District. A free-standing carport was constructed behind the building sometime after 1983 and before 1991. The carport was denied by the HDRB and was probably constructed without a permit.

The applicant requests permission to remove the illegal carport and to construct an adobe 1,490 square foot residential building with a 940 square foot basement. The building has been reduced in height from 13' 6" to 12' 8" high where the maximum allowable height is 14' 5". The significant building, which is approximately 13' high, will be a guest house and no work is proposed for this structure, except that the applicant agrees to remove the illegal coyote fence on the southeast side of the residence..

The building is designed in the Spanish-Pueblo Revival Style. It features exposed wooden elements including headers and an inset entry portal. Windows will be divided light with casement, double-hung, and awning operation. Trim and stucco color has been changed to not match the existing residence but to recede: tan trim with "La Luz" stucco. A light well to the basement on the east elevation will not be publicly visible.

A stuccoed yardwall is proposed on the north side of the existing building with stained wooden pedestrian gates. The section that runs parallel to the building will be 3' 6" high and will standoff from the significant building by 4". Beyond the parking area, at 21' back from the street, the yardwall will be 6' high.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

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Asenath Kepler, *City Manager*

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Patti J. Bushee, Dist. 1
Chris Calvert, Dist. 1
Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Carmichael A. Dominguez, Dist. 3
Matthew E. Ortiz, Dist. 4
Ronald S. Trujillo, Dist. 4

Project description: Construct a 1,490 sq. ft. residence to a height of 13' 6", where the maximum allowable height is 14' behind a Significant residence.

Project number: 06-10100067

Case number: H-06-067

Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 512 Abeyta

PROJECT NAMES:

OW - Olivier & Shawn Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-992-1166

AP - Olivier Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-577-6475

BOARD ACTION

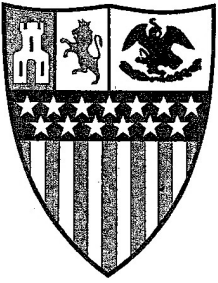
This is to certify that the Historic Design Review Board (HDRB) at their meeting on, August 8, 2006, acted on the above referenced case. The decision of the board was to postpone action on this application pending a zoning/legal review of the primary residence/guest house issues discussed and that story poles be installed at all building corners to display the proposed construction height.

For further information please call 955-6605.

Sincerely,

David A. Rasch
Historic Preservation Planner

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City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

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Patti J. Bushee, Dist. 1
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Karen Heldmeyer, Dist. 2
Rebecca Wurzbarger, Dist. 2
Carmichael A. Dominguez, Dist. 3
Matthew E. Ortiz, Dist. 4
Ronald S. Trujillo, Dist. 4

Project description: Construct a 1,490 sq. ft. residence to a height of 12' 8", where the maximum allowable height is 14' behind a Significant residence.
Project number: 06-10100067
Case number: H-06-067
Project type: HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S): 512 Abeyta

PROJECT NAMES:

OW - Olivier & Shawn Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-992-1166

AP - Olivier Roccamo
Santa Fe, NM 87501

223 N. Guadalupe #414
505-992-1166

BOARD ACTION

This is to certify that the Historic Design Review Board (HDRB) at their meeting on, September 12, 2006, acted on the above referenced case. The decision of the board was to postpone action on your application pending a written code interpretation from the Planning & Land Use zoning staff and a legal opinion from the City Attorney on the guesthouse – main house residence issue.

For further information please call 955-6605.

Sincerely,

David A. Rasch
Historic Preservation Planner

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Olivier Roccamo & Shawn Bluejacket-Roccamo

223 N. Guadalupe #414 Santa Fe, NM 87501 (505) 992-1166 Cell: (505) 577-6475

Stucco and Window Colours for New Primary Residence
512 Abeyta Street

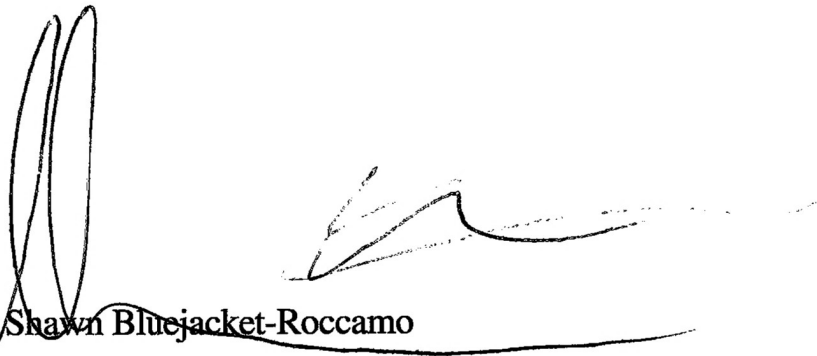
To whom it may concern:

We are proposing to change the stucco & window colours of our new primary residence to be built behind the historical guest house we own at 512 Abeyta Street.

We have chosen a darker shade of stucco (El Rey "La Luz") so that the new house will recede behind the historic one. We have also chosen a different colour for the windows so that the historic house remains salient from the street. The new house windows will be by Jeld Wen (colour "Heirloom") the exposed wood above the windows will be natural. We also are proposing to plant large fast growing trees in front of our new primary residence so that it diminishes its appearance from the street.

Please feel free to contact us should you have any further questions.

Sincerely,

A handwritten signature in black ink, consisting of two distinct parts. The first part is a tall, narrow, looped scribble. The second part is a more horizontal, sweeping line with a small peak and a tail that tapers off to the right.

Olivier Roccamo and Shawn Bluejacket-Roccamo

Olivier & Shawn Roccamo
223 N Guadalupe #414
Santa Fe, NM 87501
Tele: 992-1166, 577-6475

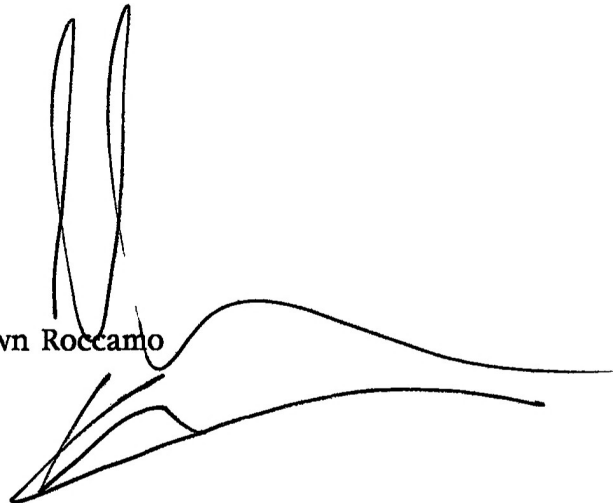
May 4, 2006

To whom it may concern:

We have read and understand the ordinance/s governing guesthouses in Santa Fe. We will be residing in the current house at 512 Abeyta St only until our new residence(behind existing home) is completed, at which time the existing historic house will become a guesthouse and the new house will be our primary residence. The guesthouse will become a home for my mother who plans on retiring upon our new home's completion. Please feel free to contact us should you have any questions regarding this matter.

Sincerely,

Olivier and Shawn Roccamo

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

AFFIDAVIT

FOR CONSTRUCTION OF GUESTHOUSE

STATE OF NEW MEXICO)

) ss.

COUNTY OF SANTA FE

I/We, Olivier Roecamo, and Shaun Bluejacket Roecamo
Type or print name Type or print name

property located at 512 Abejta Street, Santa Fe, New Mexico and am/are making application for construction of an accessory guesthouse pursuant to Section 14-6.3; Accessory Uses or Structures, and 14-6.3 C) Accessory Dwelling Units, SFCC 2002.

I/We, hereby state under oath that I/We have read and understand the criteria of Section 14-6.3, including subsection C)(h) which states re. accessory dwelling units:

“May be rented provided that the rental period is no less than one month and the owner of the property occupies the principal dwelling unit. As an alternative, the owner of the property may occupy the accessory dwelling unit and rent the principal dwelling unit provided that the rental period is no less than one month....”

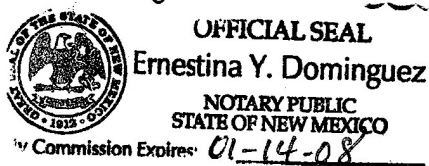
I/We further state under oath that I/We understand the provisions of 14-6.3 SFCC 2002 stay with the subject lot in perpetuity. It is the responsibility of the property owner to inform future landowners of the limitations on use of the guesthouse.

[Signature] 5/5/06 [Signature] 5.5.06
PROPERTY OWNER'S SIGNATURE DATE PROPERTY OWNER'S SIGNATURE DATE

Subscribed and sworn to before me this 5th day of May, 2006.

Ernestina Y. Dominguez
NOTARY PUBLIC

My commission expires: 01-14-08



Attachments: Section 14-6.3, SFCC 2002

(iii) Outdoor storage lots and yards, provided that areas for outdoor storage, trash collection, and loading shall be fully screened and constructed of materials of comparable quality and appearance to the primary use structure; and provided that materials stored in outdoor storage lots and yards shall not exceed the height of the enclosure; and

(iv) Parking structures.

(8) SC Permitted Accessory Uses and Structures

(a) The uses and structures permitted in SC districts are those which are customarily accessory and clearly incidental and subordinate to permitted principal uses and structures as stated and restricted above and which do not involve operations or structures not in keeping with the character of the district; provided that the waste products shall be kept in closed containers and that the containers shall not be visible from residential areas; from portions of the premises customarily open to customer parking, customer-pedestrian or automotive traffic, from automotive traffic or from public ways.

(b) This section does not apply to telecommunication facilities that shall be regulated as set forth in § 14-6.2(E).

(B) Mobile Homes and Recreational Vehicles Prohibited as Accessory Uses

Mobile homes and recreational vehicles shall not be permitted as accessory structures in any district.

(C) Standards for Specific Accessory Uses

(1) Accessory Dwelling Units

Accessory dwelling units are intended to provide additional dwelling space for the residents of the principal dwelling unit or their guests or employees. In addition, accessory dwelling units are intended to provide dwelling space for non-transient tenants. The rental of accessory dwelling units may increase the supply of affordable housing and will disperse rental units throughout the community. Accessory dwelling units:

- (a) Are required to meet parking standards as set forth in § 14-8.6; *1 parking space per unit*
- (b) Shall be regulated as per City regulations and policies regarding City utilities;
- (c) Are exempt from the density restrictions set forth in this chapter; however, only one accessory dwelling unit shall be permitted per lot of record;

- (d) Shall be built only when permission to construct is granted to the owner-occupant of the principal dwelling unit;
- (e) Shall have a footprint not exceeding the square footage of the footprint of the principal dwelling unit, or not more than 1500 square feet whichever is less;
- (f) Shall be limited to one story and shall not exceed 15 feet to the top of the parapet or to the highest point of the roof if there is no parapet;
- (g) Shall be of the same architectural style as the principal dwelling unit;
- (h) May be rented provided that the rental period is no less than one month and the owner of the property occupies the principal dwelling unit. As an alternative, the owner of the property may occupy the accessory dwelling unit and rent the principal dwelling unit provided that the rental period is no less than one month; and
- (i) An affidavit shall be recorded prior to issuance of any construction permit for an accessory dwelling unit stating that the property owner agrees to comply with these provisions.

(2) Home Occupations

(a) Purposes

The purposes of the Home Occupations Ordinance are to increase the economic vitality of the City; provide increased worker independence, self-sufficiency and motivation; decrease traffic congestion in the City through the enhancement of community; increase the safety of the neighborhoods by promoting neighborhood activity; integrate the ideas of working and residing in the same environment; protect the stability and character of the neighborhood; and encourage neighborhood participation in the determination of a successful balance between neighborhood residents and home-based businesses.

(b) Standards

Home occupations are permitted on all property, including residential or mixed-use residential/commercial, provided that the following standards are met:

(i) General Standards

A. The home occupation shall involve the primary sale of goods or services in connection with such home occupation, including:

1. Goods which are prepared, produced or grown on the premises; or

OLIVIER ROCCAMO & SHAWN BLUEJACKET-ROCCAMO

N ORTH GUADALUPE #414 SANTA FE, NM 87501 (505) 992-1166 CELL: (505) 577-6475

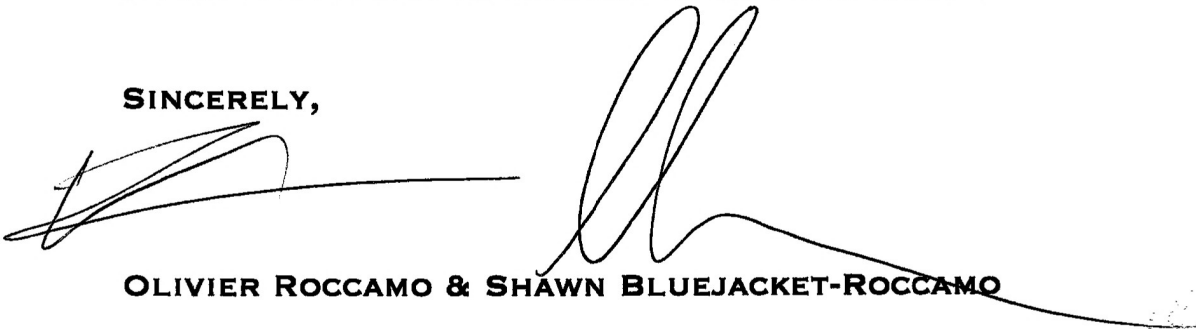
AUGUST 9, 2006

GUEST & PRIMARY RESIDENCE 512 ABEYTA ST AFFIDAVIT

TO WHOM IT MAY CONCERN:

WE ARE PROPOSING TO BUILD A NEW PRIMARY HOUSE BEHIND THE SIGNIFICANTLY HISTORICAL HOUSE THAT WE OWN AT 512 ABEYTA ST, WHICH IN TURN WOULD MAKE THE EXISTING HISTORICAL HOUSE A GUESTHOUSE WHICH WILL BE THE RESIDENCE OF MY PARENTS WHO WANT TO BE CLOSE TO THEIR ONLY GRANDCHILD, TWO YEAR OLD SIDONIE. WE ARE BUILDING A NEW HOUSE TO MEET THE NEEDS OF OUR GROWING FAMILY AND SINCE THE INTEGRITY OF THE HISTORICAL HOUSE IS OF THE UTMOST CONCERN WE HAVE OPTED TO BUILD A NEW HOUSE IN ORDER TO NOT ALTER OR ADD ONTO THE HISTORICAL HOUSE TO MEET THOSE NEEDS. IF YOU HAVE ANY CONCERNS OR QUESTIONS REGARDING THIS MATTER, PLEASE FEEL FREE TO CONTACT US AT YOUR EARLIEST CONVENIENCE.

SINCERELY,



OLIVIER ROCCAMO & SHAWN BLUEJACKET-ROCCAMO

NOTARY: Jennie Salazar



Expires: 6-14-09



Olivier & Shawn Bluejacket-Roccamo
223 N Guadalupe #414
Santa Fe, NM 87501
992-1166 cell: 577-6475
Residence: 512 Abeyta Street

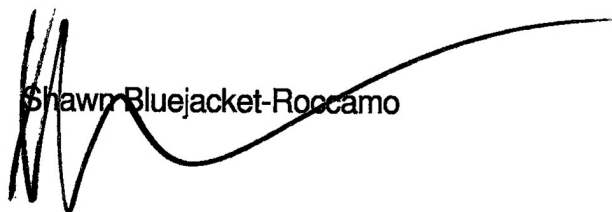
August 1, 2006

Carport Affidavit

The carport in the rear of our property at 512 Abeyta Street was illegally built by the original owner Clara Apodaca in 1990 or 1991. This information was given to us by her niece, Patricia Kehler who informed us that her aunt was quite a feisty character who "didn't feel she needed permission from anyone to build on the property her father built."

The building is in poor condition and to quote my next door neighbor, is an eyesore.

Sincerely,




Shawn Bluejacket-Roccamo

City of Santa Fe, New Mexico

memo

DATE: October 2, 2006

TO: File, 512 Abeyta Street
Case No. H-06-067

FROM: Greg Smith, Current Planning Division Director 

SUBJECT: Preliminary Zoning Review
512 Abeyta Street
Case No. H-06-067

Staff has reviewed the Preliminary Zoning Review Worksheet dated 5/1/2006 for this project. After consulting with the City Attorney, we have determined that Section 14-6.3(C)(1) SFCC 2001 "Accessory Dwelling Units" prohibits conversion of the existing dwelling unit on this property to an accessory dwelling unit.

Accordingly, the case should be postponed until the plans are modified for the proposed new dwelling unit to meet the requirements for an accessory dwelling unit.

This determination by staff may be appealed to the Board of Adjustment pursuant to Section 14-3.17(B) SFCC 2001 "Appeals to the Board of Adjustment". The applicant may contact me or Planning and Land Use Director Diane Quarles to discuss specific procedures for appeal.

GTSC: MEMO

City of Santa Fe, New Mexico

memo

DATE: September 12, 2006
TO: Historic Design Review Board Members
VIA: Reed Liming, Long-Range Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-06-67

ADDRESS: 512 Abeyta Street
Historic Status: NA / Significant
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: building height calculation
wall height calculation
previous action letter

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: guest/primary affidavit
carport affidavit

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design guidelines.

BACKGROUND & SUMMARY:

512 Abeyta Street is an adobe 1,225 square foot single-family residence that was constructed before 1912 in a vernacular style. The building is listed as significant to the Downtown & Eastside Historic District. A free-standing carport was constructed behind the building sometime after 1983 and before 1991. The carport was denied by the HDRB and was probably constructed without a permit.

The applicant requests permission to remove the illegal carport and to construct an adobe 1,490 square foot residential building with a 940 square foot basement. The building has been reduced in height from 13' 6" to 12' 8" high where the maximum allowable height is 14' 5". The significant building, which is approximately 13' high, will be a guest house and no work is proposed for this structure.

The building is designed in the Spanish-Pueblo Revival Style. It features exposed wooden elements including headers and an inset entry portal. Windows will be divided light with casement, double-hung, and awning operation. Trim and stucco color has been changed to not match the existing residence but to recede: tan trim with "La Luz" stucco. A light well to the basement on the east elevation will not be publicly visible.

A stuccoed yardwall is proposed on the north side of the existing building with stained wooden pedestrian gates. The section that runs parallel to the building will be 3' 6" high and will stand off from the significant building by 4". Beyond the parking area, at 21' back from the street, the yardwall will be 6' high.

City of Santa Fe, New Mexico

memo

DATE: August 8, 2006
TO: Historic Design Review Board Members
VIA: Reed Liming, Long-Range Planning Division Director *RL*
FROM: David Rasch, Supervising Planner in Historic Preservation *DR*

CASE # H-06-67

ADDRESS: 512 Abeyta Street
Historic Status: NA / Significant
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall
& fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other: building height calculation
wall height calculation

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design guidelines.

BACKGROUND & SUMMARY:

512 Abeyta Street is an adobe 1,225 square foot single-family residence that was constructed before 1912 in a vernacular style. The building is listed as significant to the Downtown & Eastside Historic District. A free-standing carport was constructed behind the building sometime after 1983 and before 1991. The carport was denied by the HDRB and was probably constructed without a permit.

The applicant requests permission to remove the illegal carport and to construct an adobe 1,490 square foot residential building with a 940 square foot basement. The building will be 13' 6" high where the maximum allowable height is 14' 5". The significant building, which is approximately 13' high, will be a guest house and no work is proposed for this structure.

The building is designed in the Spanish-Pueblo Revival Style. It features exposed wooden elements including headers and an inset entry portal. Windows will be divided light with casement, double-hung, and awning operation. Trim and stucco color will match the existing residence: teal blue trim with "Adobe" stucco. A light well to the basement on the east elevation will not be publicly visible.

A stuccoed yardwall is proposed on the north side of the existing building with stained wooden pedestrian gates. The section that runs parallel to the building will be 3' 6" high and will stand off from the significant building by 4". Beyond the parking area, at 21' back from the street, the yardwall will be 6' high.

Olivier & Shawn Roccamo
223 N Guadalupe #414
Santa Fe, NM 87501
Tele: 992-1166, 577-6475

April 25, 2006

To whom it may concern:

We are proposing a new single family home behind the significantly historical adobe house (circa 1888) that we own at 512 Abeyta St. The design of the new home is pueblo style, will have casement double hung and awning windows, the trim will be coordinated with the original colours of the historical house which is a teal blue shade.

The stucco on the new house will be "Adobe" which matches the colour of the historical house.

Please feel free to contact us at the above address and phone numbers, should you have any further questions.

Sincerely,


Olivier and Shawn Roccamo

★ the windows will be fenweld/
wood ★ ~~the~~ trim will match original
trim of historic house ★
sample enclosed

Documento Garantizado

Maria Rita Rendón

Simón Abadaca

Territorio De Nuevo Mexico

CONDADO DE SANTA FE

Protocolado en mi oficina para su registro, hoy día de A. D. 190 de las M. y el mismo fué fielmente registrado en el libro Registro de Escrituras de dicho Condado de Santa Fe, en páginas

En fé de lo cual, pongo mi mano y sello oficial hoy día de 190

Escritura de la Corte de Pruebas y Es-Oficio Registrador

Esta Escritura, hecha y contenida hoy día de A. D. mil

por y entre Maria Rita Rendón residente de la ciudad de Santa Fe

del Condado de Santa Fe Territorio de Nuevo México,

parte de la primera parte, y Simón Abadaca del Condado de Santa Fe

Territorio de Nuevo México, parte de la segunda parte:

Da Fé, que la dicha parte de la primera parte, por y en consideración de la suma de

dinero legal de los Estados Unidos en mano pagada por la dicha parte de la segunda parte, el recibo de la cual es por esta acusada, la dicha parte de la primera parte ha

concedido, contratado, vendido, traspasado y confirmado, y por estas presentes concede, contrata, vende, traspasa, y confirma a la dicha parte de la

segunda parte y a sus herederos y asignados para siempre todo el siguiente descrito pedazo o porción de tierra, situado y estando en

en el Condado de y Territorio de Nuevo México, á saber: Pedazo de tierra de la...

Juntamente con todo y singular las tenencias, herencias y pertenencias de las mismas correspondientes y también el estado, derecho, título ó interés, cualquiera que sea, tanto en la ley como en la equidad de la dicha parte de la primera parte de, en y á la misma y en toda parte y porción de la misma, con sus pertenencias a tener y poseer las premisas arriba concedidas, contratadas, vendidas y descritas como sus pertenencias al dicho...

y á sus herederos y asignados para siempre, la dicha parte de la primera parte por sí misma sus herederos, ejecutores y administradores, garantiza y conviene en y con la dicha parte de la segunda parte, sus herederos y asignados, que el la parte de la primera parte, sus herederos, y toda y cada persona ó personas cualesquiera que sean, legal ó equitativamente derivando cualquier estado, derecho, título ó interés de, en ó á las premisas en otras antes concedidas por ó bajo fideicomiso por el ó cualesquiera en cualquiera tiempo ó tiempos en adelante sobre la razonable suplica y ó su propia costa y cargo en la ley de la dicha parte de la segunda parte, sus herederos y asignados, hará y ejecutará todos y tales otros actos razonables y legales traspasos, y seguridades en la ley para mejor y más efectivamente apoderar y confirmar las premisas por estas concedidas ó intentadas á concederse en y á la dicha parte de la segunda parte, sus herederos y asignados para siempre, ó su apoderado instruido en la ley según sea razonablemente aconsejado ó requerido, y la dicha parte de la primera parte por sí misma sus herederos y ejecutores y administradores, por esta garantía y conviene en y con la dicha parte de la segunda parte, sus herederos y asignados que el la parte de la primera parte y sus herederos, aseguran las arriba concedidas, mencionadas y descritas premisas con sus pertenencias á la dicha parte de la segunda parte ó á sus herederos y asignados, contra la dicha parte de la primera parte y sus herederos y contra todas y cualquiera otra persona, ó personas quienquiera que sean, legalmente reclamado ó para reclamar las mismas, por estas presentes garantizará para siempre.

EN TESTIMONIO de lo cual la dicha parte de la primera parte ha puesto á esta su mano y sello el día y año primeramente arriba escritos.

Firmado, Sellado y Entregado en Presencia de G. Martínez

Maria Rita Rendón [SELLO] [SELLO] [SELLO]

Territorio De Nuevo Mexico CONDADO DE SANTA FE

Este día de 190 comparecí personalmente ante mí al abajo firmante María Rita Rendón conocida por mí de ser la persona designada en, y que ejecutó el antecedente documento, y reconoció que había ejecutado el mismo como su acto libre y voluntario. En fé de lo cual he puesto aquí mi nombre y estampado mi sello oficial el día y año arriba escritos en este certificado. Juez de Paz...

919

280268

QUITCLAIM DEED

MRS. SIMON APODACA

for consideration paid, quitclaim to

CLARA APODACA

the following described real estate in Santa Fe County, New Mexico:

A certain piece or parcel of land situate in Precinct No. 3 and Ward No. 1 of the City and County of Santa Fe, New Mexico at a place commonly called "El Ranchito" measuring from east to west 25 yards, and from north to south 52 yards, bounded on the west by lands of Domingo Sena, and on the north, south and east by property of Maria Rita Rendon, being the same property conveyed to the party of the second part hereto by deed dated April 17th, 1891, and recorded in Book "K-1", page 22 of the records of Santa Fe County.

Also another piece or parcel of land which the said party of the second part hereto inherited from Maria Rita Rendon, being five feet near the house situate in said precinct, city and county, aforesaid and leaving a part on the south side as free entrances to the heirs.

WITNESS my hand and seal this 30th day of March, 1971.

Elizabeth G. Martinez (Seal) *Mrs. Simon Apodaca* (Seal)

John A. Martinez (Seal)

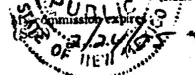
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF SANTA FE

I, Notary Public, do hereby certify that the foregoing instrument was acknowledged before me this 16th day of April, 1971.

by MRS. SIMON APODACA (Name or Names of Person or Persons Acknowledging)



ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO

COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 19____.

by _____ (Name of Officer)

of _____ (Name of Corporation Acknowledging)

_____ corporation, on behalf of said

_____ (Name of Corporation)

My commission expires: _____

Notary Public

FOR RECORDER'S USE ONLY

BY OF SANTA FE 155 331,987

OF NEW MEXICO

I hereby certify that this instrument was filed and on the 16th day of April A.D. 71 at 11:14 o'clock A.M.

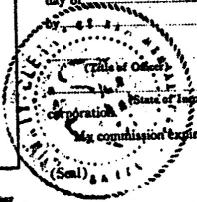
It was duly recorded in book 280 _____ of the records of Santa Fe County.

Witness my Hand and Seal of Office

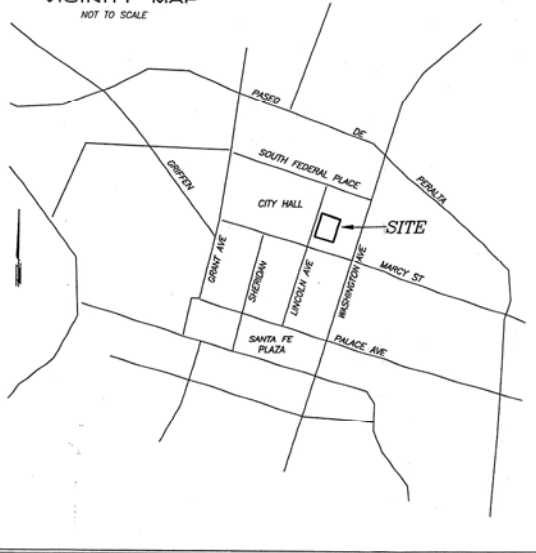
CAROLINA E. GONZALES

County Clerk, Santa Fe County, N.M.

E. G. Martinez



VICINITY MAP
NOT TO SCALE



FLOOD ZONE:
THIS PROPERTY LIES WITHIN ZONE C AREAS OF MINIMAL FLOODING AS SHOWN ON F.L.R.M. PANEL 350070-0005G, DATED 04/02/1993.

608 020

REFERENCE DOCUMENTS:

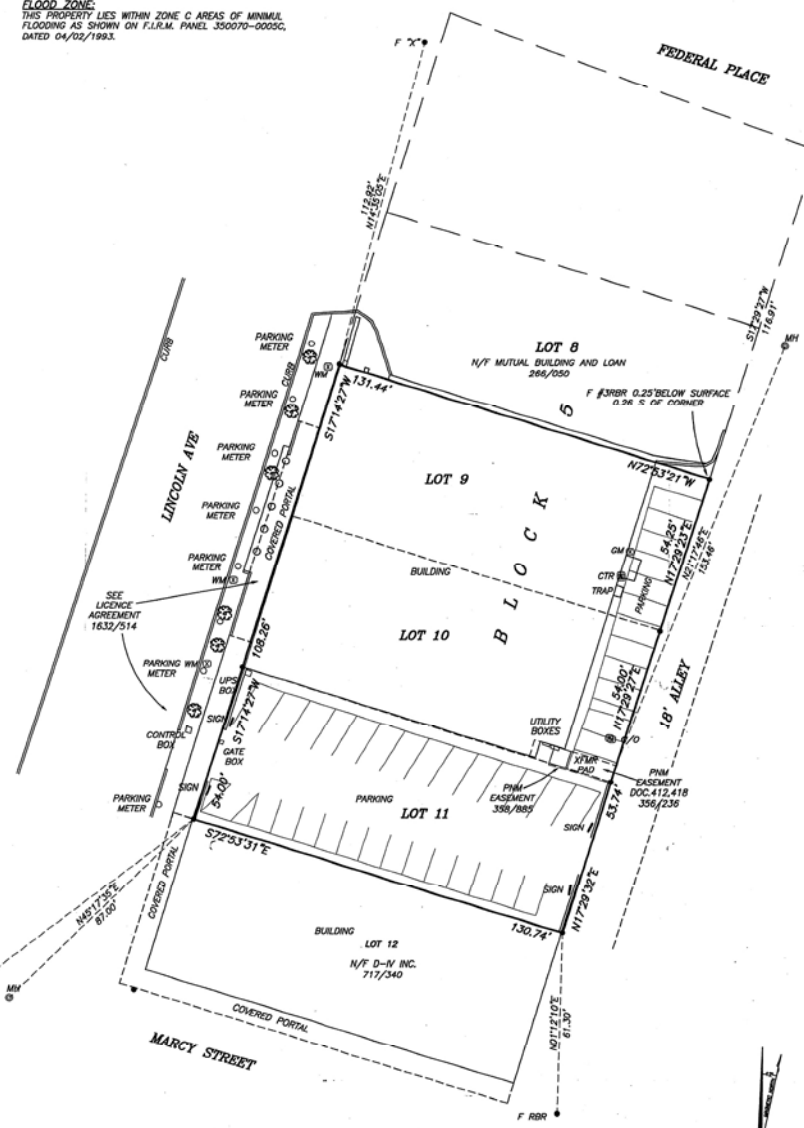
1. PLAT PREPARED FOR CARMON POMONIS, BY WALTER TURLEY, FILED AS DOCUMENT #113,983
2. PLAT OF IMPROVEMENT SURVEY, LOT 11, BLOCK V, BY J.F. SCANLON, RECORDED IN BOOK B, PAGE 212A
3. EASEMENT AGREEMENT FILED AS DOCUMENT # 412,418.
4. WARRANTY DEED, BOOK 434, PAGE 012.
5. DEEDS 8138/481, 281/409, 278/535, 2722/260, 570/613

LEGEND:

BEARINGS ARE NEW MEXICO STATE PLANE CENTRAL ZONE. DISTANCES ARE GROUND AT 6800' AMSL. GROUND TO GRID SCALE FACTOR EQUALS 0.999563.

- F DENOTES FOUND POINT AS SHOWN
- DENOTES POINT SET THIS SURVEY
- DENOTES CALCULATED POINT NOT SET
- ⊕ DENOTES UTILITY AS SHOWN
- ⊙ DENOTES WATER METER
- GM DENOTES GAS METER
- C/O DENOTES CLEAN OUT
- XFMR DENOTES TRANSFORMER

— DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IN BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.



CERTIFICATION

TO: 215 LINCOLN AVE, LLC, AND OTHERS

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE ON THE DATE SHOWN BELOW OF THE PREMISES DESCRIBED IN FIRST AMERICAN TITLE INSURANCE CO. POLICY No. 683601-SFD/PLM, DATED 6/18/2005 AT 8:00 AM, IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND ACSM IN 1995, AS DEFINED THEREIN AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 9, 10, 11 AND 13 OF TABLE A THEREOF AND MEETS THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY, AS DEFINED THEREIN.

THE SURVEY CORRECTLY SHOWS THE ZONE DESIGNATION OF ANY AREA SHOWN AS BEING WITHIN AREAS OF MINIMAL FLOODING ACCORDING TO CURRENT FEDERAL EMERGENCY AGENCY MAPS WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY PANEL No. 350070 0005G, DATED 2 APRIL, 1993.

THE SUBJECT PROPERTY HAS INGRESS AND EGRESS TO AND FROM LINCOLN AVE WHICH IS A PAVED, PUBLIC RIGHT-OF-WAY.

GARY E. DAWSON, NMS #7014 DATE: 7 OCTOBER, 2005
DATE OF SURVEY: 23 SEPTEMBER, 2005.

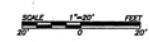


PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

ALTA/ACSM SURVEY PLAT PREPARED FOR
215 LINCOLN AVE., LLC.
LOTS 9, 10 AND 11, BLOCK 5, FORT MARCY ADDITION
#215 LINCOLN AVE
SANTA FE, NM



DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2502 B CAMINO ENTRADA
SANTA FE, N.M. 87507
PHONE: (505)471-6660
FAX: 7402 DATE: 10-06-05

1409391

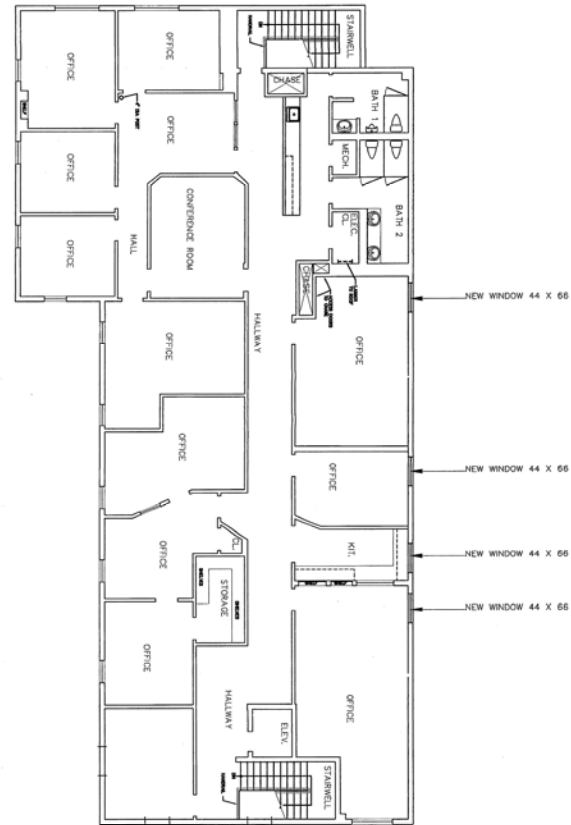
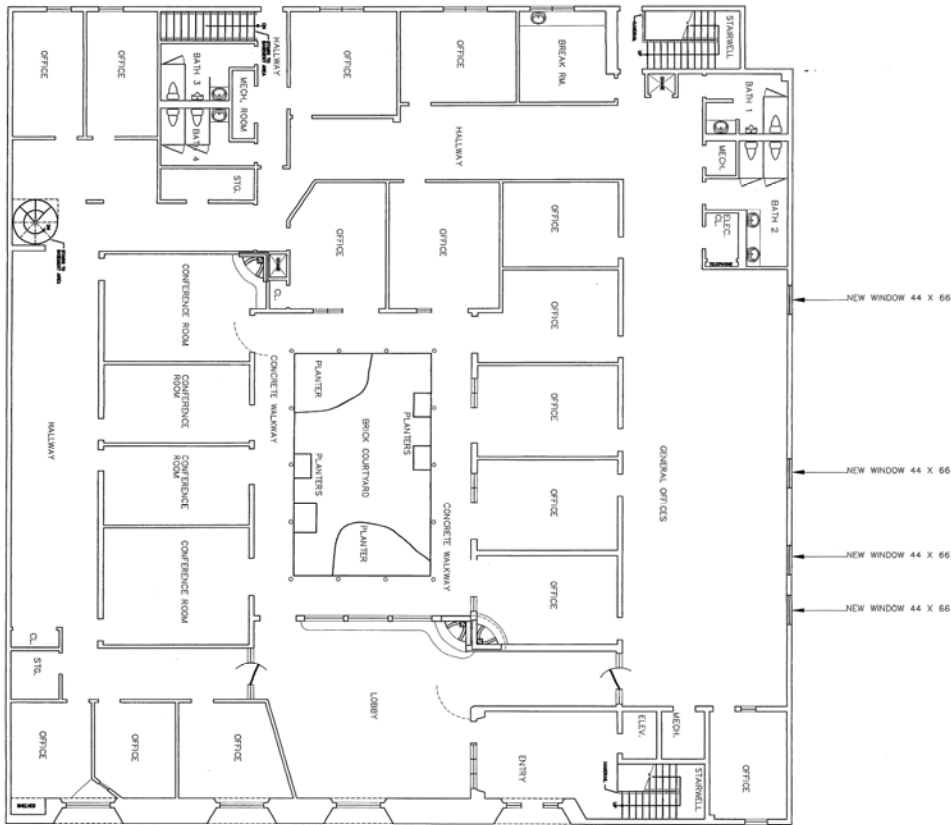
COUNTY OF SANTA FE
STATE OF NEW MEXICO

NOTARY PUBLIC

My Comm. Expires 12/31/2008

Notary Seal

CONTROL STATION
"DAWSON 2"
NMC COORDINATES
1667026.67M
1708833.47E



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR DATE
ROOM
FILE NAME

OFFICE BUILDING

218 LINCOLN AVENUE
SANTA FE, NEW MEXICO

REVISIONS:

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DATE:
00-00-04
DRAWN BY:
XX
CHECKED BY:
XX

DUTY &
GERMANAS
ARCHITECTS

1925 PASO DE PERALTA
SANTA FE, NM 87505
PH: (505) 424-4000
FAX: (505) 424-4000

SHEET

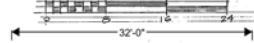
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WEST ELEVATION (UNCHANGED BY PROPOSED WORK)

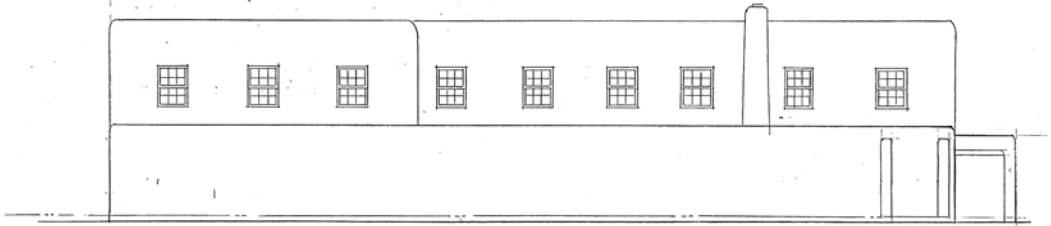
1/8" = 1'-0"

GRAPHIC SCALE 1/8" = 1'-0"



EAST ELEVATION (UNCHANGED)

1/8" = 1'-0"



NORTH ELEVATION (UNCHANGED)

1/8" = 1'-0"

PLOT DATE
USGS
FILE NAME

OFFICE BUILDING

218 LINCOLN AVENUE
SANTA FE, NM 87503

REVISIONS:

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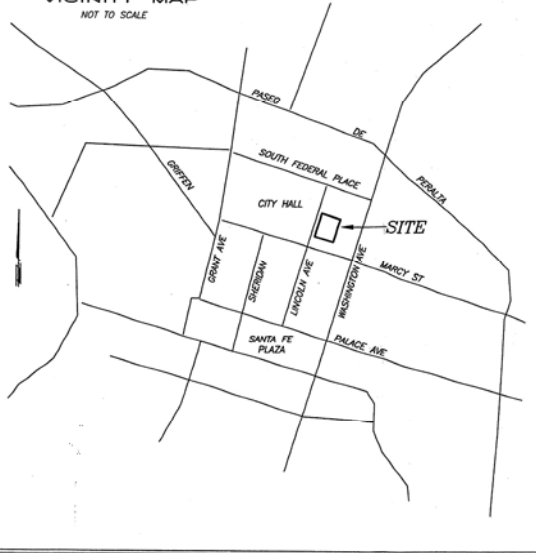
DATE:
00-00-04
DRAWN BY:
XX
CHECKED BY:
XX

DUTY &
GERMANAS
ARCHITECTS

123 PASO DE PERALTA
SANTA FE, NM 87501
PH. (505) 424-2222
FAX (505) 424-1000

SHEET
A4 OF 4

VICINITY MAP
NOT TO SCALE



FLOOD ZONE:
THIS PROPERTY LIES WITHIN ZONE C AREAS OF MINIMAL FLOODING AS SHOWN ON F.L.R.M. PANEL 350070-0005G, DATED 04/02/1993.

608 020

REFERENCE DOCUMENTS:

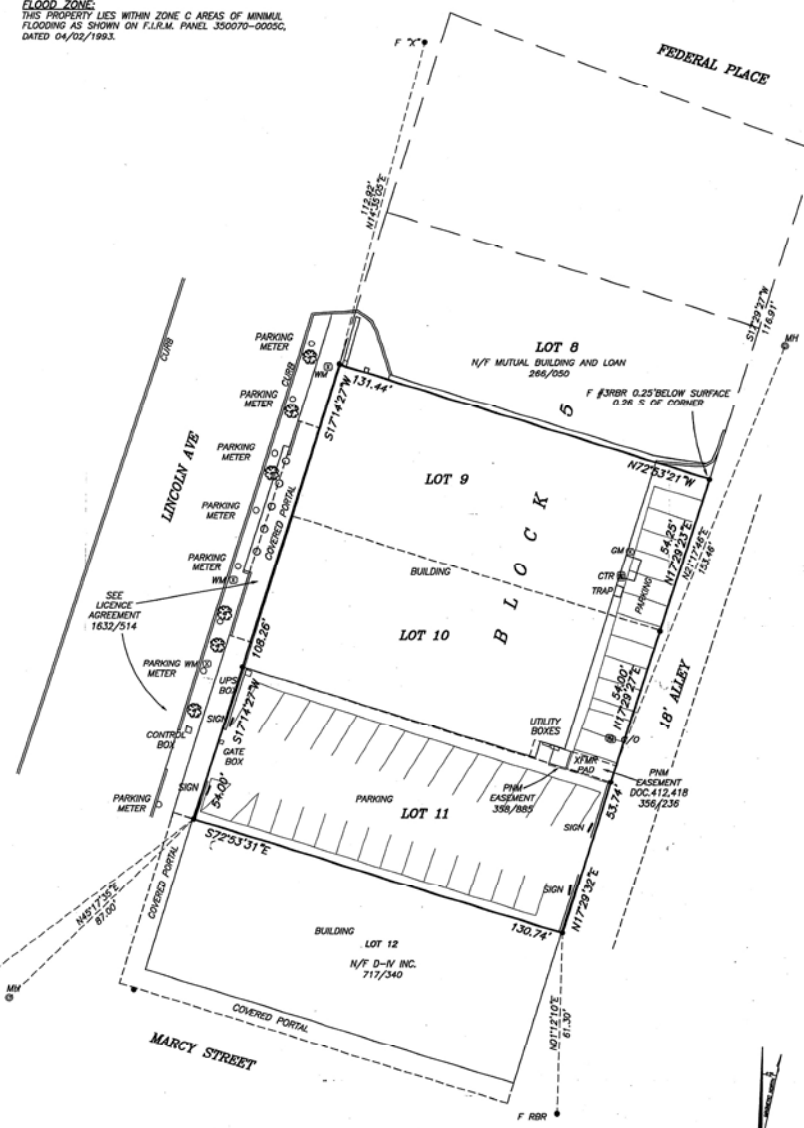
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4. WARRANTY DEED, BOOK 434, PAGE 012.
5. DEEDS 8138/481, 281/409, 278/535, 2722/260, 570/613

LEGEND:

BEARINGS ARE NEW MEXICO STATE PLANE CENTRAL ZONE. DISTANCES ARE GROUND AT 6800' AMSL. GROUND TO GRID SCALE FACTOR EQUALS 0.999563.

- F DENOTES FOUND POINT AS SHOWN
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- GM DENOTES GAS METER
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— DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT. INFORMATION OUTSIDE THIS BOUNDARY IN BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.



CERTIFICATION

TO: 215 LINCOLN AVE, LLC, AND OTHERS

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GARY E. DAWSON, NMS #7014 DATE: 7 OCTOBER, 2005
DATE OF SURVEY: 23 SEPTEMBER, 2005.

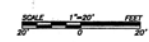


PUBLIC NOTICE

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"TITLE AND INDEXING INFORMATION FOR COUNTY CLERK"

ALTA/ACSM SURVEY PLAT PREPARED FOR
215 LINCOLN AVE., LLC.
LOTS 9, 10 AND 11, BLOCK 5, FORT MARCY ADDITION
#215 LINCOLN AVE
SANTA FE, NM



DAWSON SURVEYS INC.
PROFESSIONAL LAND SURVEYORS
2502 B CAMINO ENTRADA
SANTA FE, N.M. 87507
PHONE: (505)471-6660
FAX: 7402 DATE: 10-06-05

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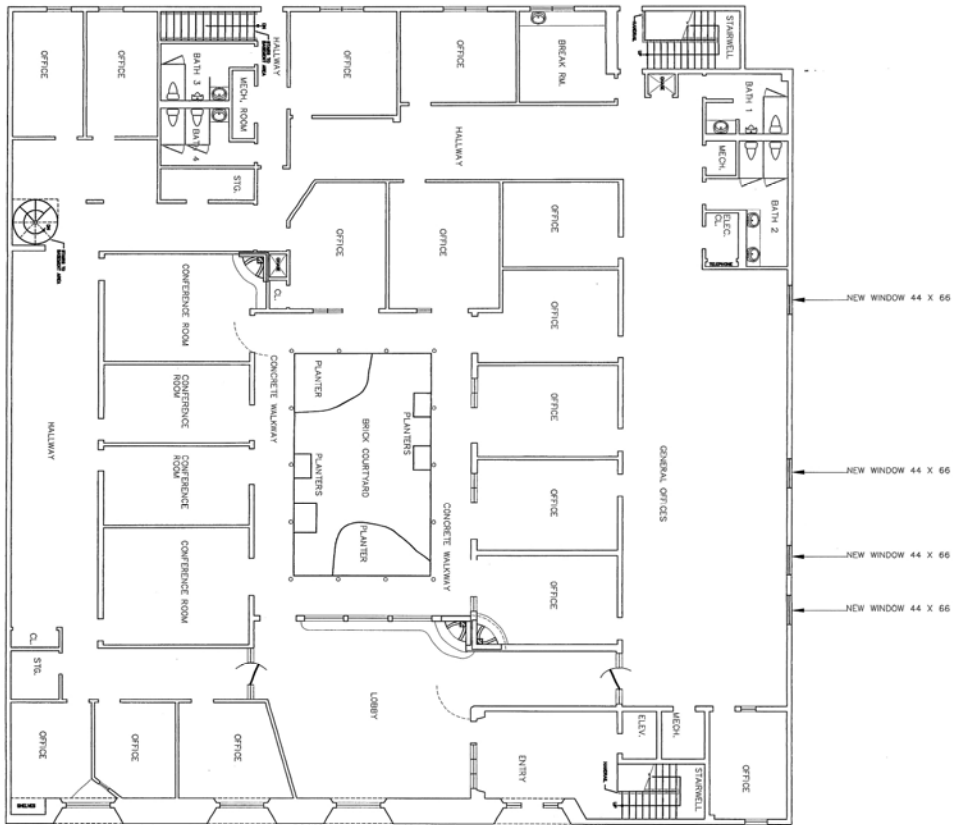
COUNTY OF SANTA FE
STATE OF NEW MEXICO

NOTARY PUBLIC

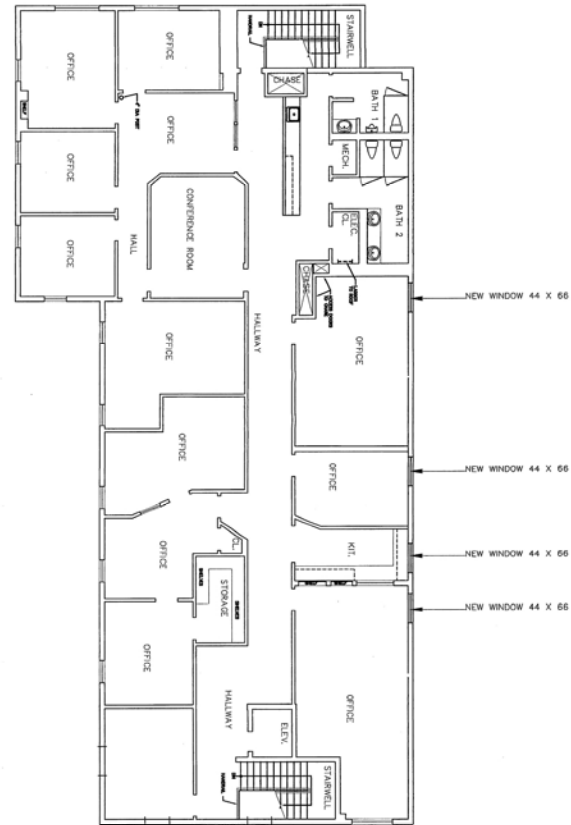
My Comm. Expires 12/31/2008

Notary Seal

CONTROL STATION
"DAWSON 2"
NMC COORDINATES
1667026.67M
1708833.47E



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR DATE
ROOM
FILE NAME

OFFICE BUILDING
218 LINCOLN AVENUE
SANTA FE, NEW MEXICO

REVISIONS:

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DUTY &
GERMANAS
ARCHITECTS

1925 PASO DE PERALTA
SANTA FE, NM 87505
PH: (505) 424-4800
FAX: (505) 424-4800

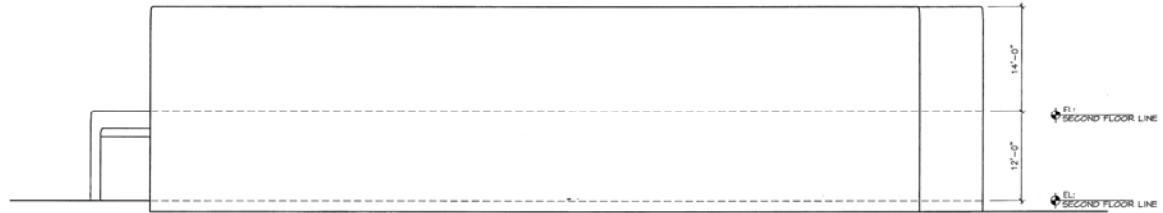
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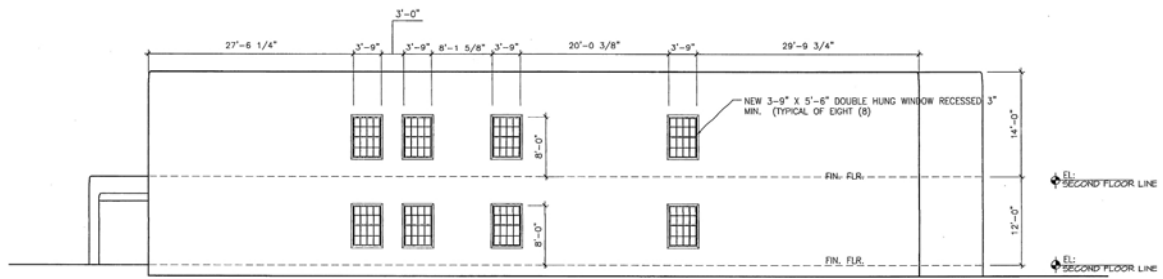


OFFICE BUILDING

215 LINCOLN AVENUE
 SANTA FE, NEW MEXICO



1 SOUTH ELEVATION [EXISTING]
 SCALE 1/8" = 1'-0"



2 SOUTH ELEVATION [PROPOSED]
 SCALE 1/8" = 1'-0"



REVISIONS:

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| | | |
| | | |

DATE:
 00-00-04
 DRAWN BY:
 XX
 CHECKED BY:
 XX

DUTY &
 GERMANAS
 ARCHITECTS

1825 PASO DE REALITA
 SANTA FE, NM 87501
 PH: (505) 424-0002
 FAX: (505) 424-1000

SHEET




A3.0


City of Santa Fe, New Mexico

memo

DATE: September 20, 2006

TO: Historic design Review Board
David Rasch, Historic Preservation Section Head

VIA: Diane T. Quarles, Planning and Land Use Department Director 
Greg Smith, Planning and Land Use Division Director 
Anne L. Lovely, Assistant City Attorney 

FROM: Daniel A. Esquibel, Land Use Planner Senior 

RE: Guest House designation

At the September 12, 2006 H-Board meeting, an issue was brought up by the members concerning the designation of an accessory dwelling unit i.e. guest house. The question raised is: Where there is an existing residence and a proposed residence, does the owner of the property in question have the ability to construct a second dwelling on the property and designate the new structure as the principal residence, and the existing structure the accessory dwelling?

It is not uncommon for new land owners who purchase property with an existing dwelling to construct a new structure and designate the new dwelling as the primary and the existing structure as the accessory.

14-6.3(C) (1) & 14-6.3 of Chapter 14 does not preclude the development of property in this manner provided all of the standards are met (reference Exhibit A & B). The end result of this scenario is that eventually one structure will be limited to the accessory structure standards. A residence and accessory structure designation is decided by the property owner, the use is permitted and regulated by the Chapter 14, review and authorization of use is not subject to committee review or action.

EXHIBIT A

14-6.3(C) (1) Accessory Dwelling Units (Ord. No. 2002-38 § 3)

Accessory dwelling units are intended to provide additional dwelling space for the residents of the principal dwelling unit or their guests or employees. In addition, accessory dwelling units are intended to provide dwelling space for non-transient tenants. The rental of accessory dwelling units may increase the supply of affordable housing and will disperse rental units throughout the community.

C) Standards for Specific Accessory Uses

(1) Accessory Dwelling Units

- (a) Are required to meet parking standards as set forth in §14-8.6;
- (b) Shall be regulated as per City regulations and policies regarding City utilities;
- (c) Are exempt from the density restrictions set forth in this chapter; however, only one accessory dwelling unit shall be permitted per lot of record;
- (d) Shall be built only when permission to construct is granted to the owner-occupant of the principal dwelling unit;
- (e) Shall have a footprint not exceeding the square footage of the footprint of the principal dwelling unit, or not more than 1500 square feet whichever is less;
- (f) Shall be limited to one story and shall not exceed 15 feet to the top of the parapet or to the highest point of the roof if there is no parapet;
- (g) Shall be of the same architectural style as the principal dwelling unit;
- (h) May be rented provided that the rental period is no less than one month and the owner of the property occupies the principal dwelling unit. As an alternative, the owner of the property may occupy the accessory dwelling unit and rent the principal dwelling unit provided that the rental period is no less than one month; and
- (i) An affidavit shall be recorded prior to issuance of any construction permit for an accessory dwelling unit stating that the property owner agrees to comply with these provisions.

EXHIBIT B

14-6.3 ACCESSORY USES OR STRUCTURES

- (A) Permitted Accessory Uses and Structures
 - (1) R1-R-6, R-7, R-7(I), R-8, R-9, RC-5, RC-8, RM, RAC, C-1, C-4, and HZ Districts (Ord. No. 2002-38 § 2; Ord. No. 2002-39 § 8)
 - (a) The following accessory uses and structures are permitted in these districts:
 - (i) Home occupations, as provided for in §14-6.3(C)(2);
 - (ii) Noncommercial greenhouses and plant nurseries;
 - (iii) Private garages;
 - (iv) Utility sheds, located within the rear yard only;
 - (v) Children's play areas and play equipment;
 - (vi) Private barbeque pits, private swimming pools;
 - (vii) Private day-care nurseries, kindergartens as set out in §14-6.2(B)(5);
 - (viii) Accessory dwelling units as regulated in §14-6.3(C)(1);
 - (ix) Other uses and structures customarily accessory and clearly incidental and subordinate to permitted or permissible uses and structures; and
 - (x) Accessory structures of a permanent, temporary, or portable nature such as coverings not constructed of solid building materials including but not limited to inflatable covers over swimming pools and tennis courts and such other accessory structures which exceed 30 inches in height from the average ground elevation.
 - (b) All accessory uses and structures allowed under the preceding paragraph of this section shall:
 - (i) Not involve the conduct of business on the premises, except home occupations;
 - (ii) Be located on the same lot as the permitted principal use or structure or on a contiguous lot in the same ownership;
 - (iii) Not be likely to attract visitors in larger numbers than would normally be expected in a single-family residential neighborhood;
 - (iv) Total lot coverage by all structures does not exceed the provisions set forth in Article 14-7;
 - (v) Not be less than five feet from a side or rear lot line for an accessory structure of a single story or less, except as otherwise allowed in Article 14-7;
 - (vi) Not be less than ten feet from another building. This provision does not apply to accessory uses and structures which are not buildings; and
 - (vii) Not be less than 20 feet from the front lot line, except accessory dwelling units that shall meet the provisions set forth in Article 14-7.

11-05-12Y

GRANT OF EASEMENT

This Grant of Easement is made by and between Patricia A. Kehler, a married woman dealing in her sole and separate property, joined pro forma by her husband, Randall C. Kehler, and Donald R. Kwasek, a married man dealing in his sole and separate property, joined pro forma by his wife, Jamie McReynolds (hereinafter referred to as Kehler/Kwasek) and Christine A. Thraikill, a single woman, (hereinafter referred to as Thraikill).

Recitals:

WHEREAS, Kehler/Kwasek own as tenants in common that certain real property located in Santa Fe, Santa Fe County, New Mexico, with a street address of 512 Abeyta Street, and more particularly described on Exhibit A attached hereto and incorporated herein by this reference.

WHEREAS, Thraikill owns that certain real property located in Santa Fe, Santa Fe County, New Mexico, with a street address of 516 Abeyta Street.

WHEREAS, the parties hereto share a driveway along their common boundary line.

WHEREAS, the parties hereto have utilities which encroach on each other property.

WHEREAS, the parties desire to formally grant mutual easements for ingress, egress and utilities over portions of their respective properties pursuant to this Agreement, which easements shall run with the land.

NOW, THEREFORE, in consideration of the mutual covenants and promises hereinmade, the parties hereto agree as follows:

- 1. Kehler/Kwasek Easement.** Kehler/Kwasek hereby grant to Thraikill and her heirs, successors and assigns forever a non-exclusive ingress and egress easement over their property at

SFC CLERK 05/11/2005

512 Abeyta Street, Santa Fe, New Mexico which easement is more particularly described on Exhibit B attached hereto and incorporated herein by this reference. In addition, Kehler/Kwasek hereby grant to Thraikill and her heirs successors and assigns forever a non-exclusive utility easement over the same area for purposes of maintaining sewer, water and other utilities for the benefit of the Thraikill property. Thraikill is hereby granted the right to maintain the utilities in the described on Exhibit B. These easements shall run with the land.

2. **Thraikill Easement.** Thraikill hereby grants to Kehler/Kwasek and their heirs, successors and assigns forever a non-exclusive ingress and egress easement over their property at 516 Abeyta Street, Santa Fe, New Mexico which easement is more particularly described on Exhibit C attached hereto and incorporated herein by this reference. In addition, Thraikill hereby grants to Kehler/Kwasek and their heirs successors and assigns forever a non-exclusive utility easement over the same area for purposes of maintaining sewer, water and other utilities for the benefit of the Kehler/Kwasek property. Kehler/Kwasek are hereby granted the right to maintain the utilities in the described on Exhibit C. These easements shall run with the land.

3. **General Use.** The parties agree that neither party shall have exclusive use of the easements granted herein, and each party agrees to cooperate with the other to allow maintain the utilities within the easements, and each party agrees to cooperate with the other to allow ingress and egress through the easements to the other's property.

4. **Enforcement.** Each party shall have a right of specific performance of this Agreement.

5. **Governing Law.** The laws of the state of New Mexico shall govern this Agreement.

SFC CLERK 05/11/2005

In witness whereof, the parties hereto have executed this Grant of Easement the day and year
note below.

Patricia A. Kehler
Patricia A. Kehler

Randall C. Kehler
Randall C. Kehler, joining pro forma

D.R. Kwasek
Donald R. Kwasek

Jamie McReynolds
Jamie McReynolds, joining pro forma

Christine A. Thrailkill
Christine A. Thrailkill

SFC CLERK 05/11/2005

ACKNOWLEDGEMENTS

STATE OF NEW MEXICO)
)ss.
COUNTY OF SANTA FE)

On April 17th, 2005, before me personally appeared Patricia A. Kehler and Randall C. Kehler, [] personally known to me OR proved to me on the basis of satisfactory evidence to be the person whose names are subscribed to the foregoing instrument and acknowledged to me that he executed the same in their authorized capacity, and that by their signatures on the instrument the person or the entity upon behalf of which the person acted executed the instrument.

Witness my hand and official seal.

Maria T. Vega
Signature of Notary Public

MARIA T. VEGA
Printed Name of Notary Public

my commission expires 3/14/2009



SFC CLERK 05/17/2005

California

STATE OF ARIZONA)
 Los Angeles)ss.
COUNTY OF ~~MARICOPA~~)

On April 29th, 2005, before me personally appeared Donald R. Kwasek and Jamie McReynolds, [] personally known to me [] OR proved to me on the basis of satisfactory evidence to be the person whose names are subscribed to the foregoing instrument and acknowledged to me that he executed the same in their authorized capacity, and that by their signatures on the instrument the person or the entity upon behalf of which the person acted executed the instrument.

Witness my hand and official seal.

Cathy Baum
Signature of Notary Public

Cathy Baum
Printed Name of Notary Public



STATE OF CALIFORNIA)
)ss.
COUNTY OF SAN BERNARDINO

On April 28, 2004, before me personally appeared Christina ^{ET} A. Thrailkill, [] personally known to me [] OR proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person or the entity upon behalf of which the person acted executed the instrument.

Witness my hand and official seal.



George N. Mable
Signature of Notary Public

GEORGE N. MABLE
Printed Name of Notary Public

E:\cdp\PD\Files\Apodaca, Clara\docs\Easement Agreement.wpd

SFC CLERK 05/11/2005

LEGAL DESCRIPTION

A tract of land located on 512 Abeyta Street, City of Santa Fe, Santa Fe County, New Mexico and being more particularly described as follows, to wit:

Beginning at the southeast corner of the above mentioned tract, whence Santa Fe Control Monument No. 1036, bears S 26°13'48" W, 389.05'; thence, from said point of beginning, N 87°18'38" W, 98.02'; thence, N 00°09'28" E, 34.36'; thence, N 02°44'39" W, 35.85'; thence, N 89°58'42" W, 95.58'; thence, S 00°24'01" E, 74.81'; to the point and place of beginning. Containing 7,051 square feet more or less. All as shown on a plat of survey for Oliver Eric Roccamo and Shawn B. Roccamo, by Philip B. Wiegel, PS 9758, dated 23 March, 2005, bearing project No. 05030196.

SFC CLERK 05/11/2005



Philip B. Wiegel
Philip B. Wiegel, NMPS No. 9758

EXHIBIT "A"

EASEMENT ON 512 ABEYTA STREET

A tract of land located on 512 Abeyta Street, City of Santa Fe, Santa Fe County, New Mexico and being more particularly described as follows, to wit:

Beginning at the southeast corner of the above mentioned tract, whence Santa Fe Control Monument No. 1036, bears S 26°13'48" W, 389.05'; thence from said point of beginning, N 87°18'38" W, 98.02'; thence, N 00°09'28" E, 5.00'; thence S 87°18'38" E, 24.49'; thence, S 83°42'07" E, 37.02'; thence, N 86°29'48" E, 14.01'; thence, N 84°07'32" E, 22.72'; thence, S 00°24'01" E, 7.58' to the point and place of beginning. All as shown on a plat of survey for Oliver Eric Roccamo and Shawn B. Roccamo, by Philip B. Wiegel, PS 9758, dated 23 March, 2005, bearing project No. 05030196.

SFC Clerk 05/11/2005



Philip B. Wiegel
Philip B. Wiegel, NMPS No. 9758

EXHIBIT "B"

THRAILKILL EASEMENT

A tract of land located on 512 Abeyta Street, City of Santa Fe, Santa Fe County, New Mexico and being more particularly described as follows, to wit:

Beginning at the northeast corner of the above mentioned tract, whence Santa Fe Control Monument No. 1036, bears S 26°13'48" W, 389.05'; thence, from said point of beginning, S 02°32'09" E, 7.30'; thence, N 86°33'27" W, 24.76'; thence, N 88°10'03" E, 47.64'; thence, N 00°43'34" E, 7.67'; thence, S 87°18'38" E, 71.99'. All as shown on a plat of survey for Oliver Eric Roccamo and Shawn B. Roccamo, by Philip B. Wiegel, PS 9758, dated 23 March, 2005, bearing project No. 05030196.

SFC Clerk 05/11/2005



Philip B. Wiegel
Philip B. Wiegel, NMPS No. 9758

COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss
I Hereby Certify That This Instrument Was Filed for
Record On The 11TH Day Of May, A.D., 2005 at 10:13
And Was Duly Recorded as Instrument # **1379291**
Of The Records Of Santa Fe County

EASEMENT
PAGES: 8

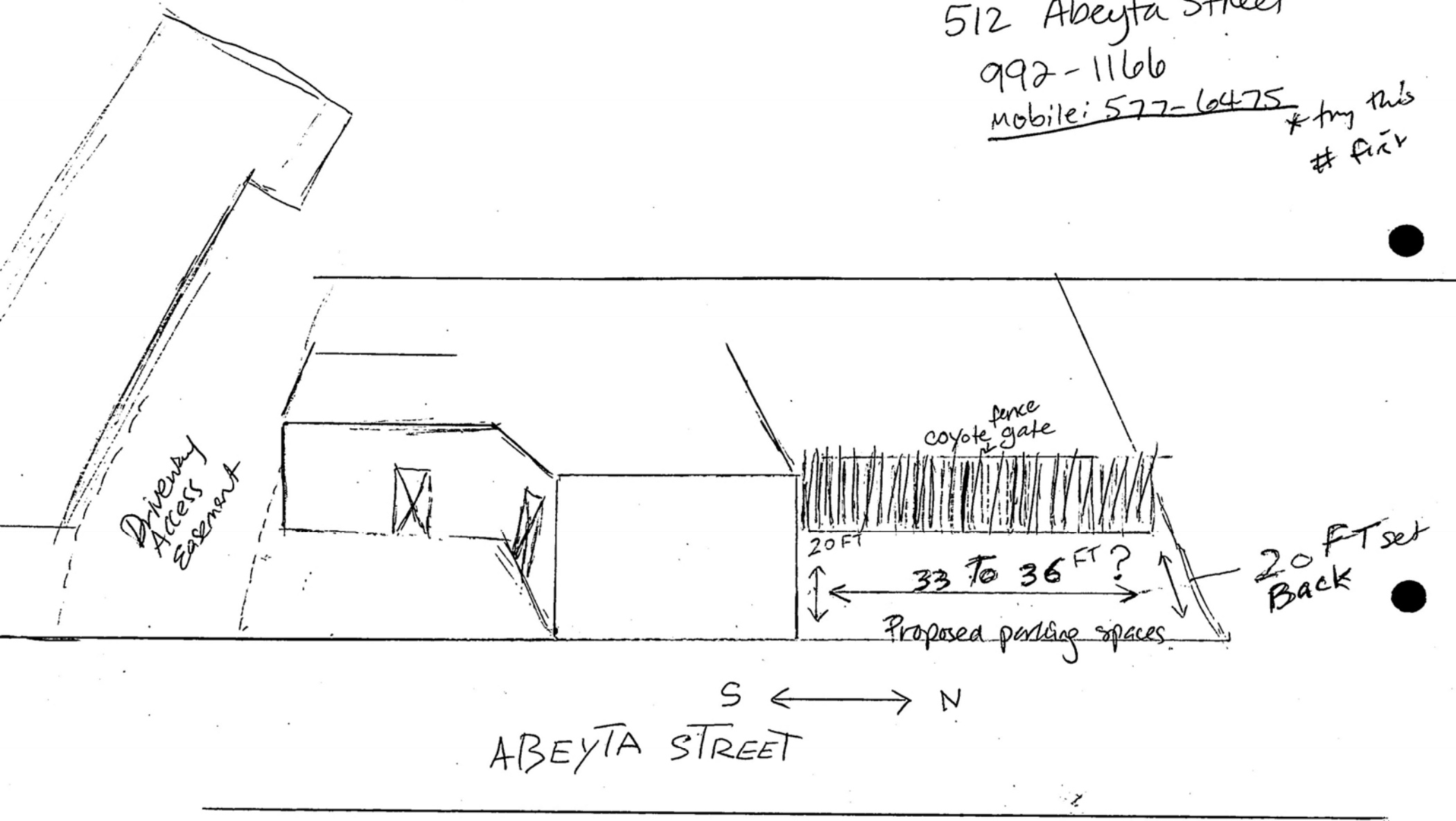


Deputy *[Signature]* *[Signature]* Witness My Hand And Seal Of Office
Valerie Espinoza
County Clerk, Santa Fe, NM

1: "C"

Olivier Roccamo
512 Abeyta Street
992-1166
mobile: 577-6475

*try this
first

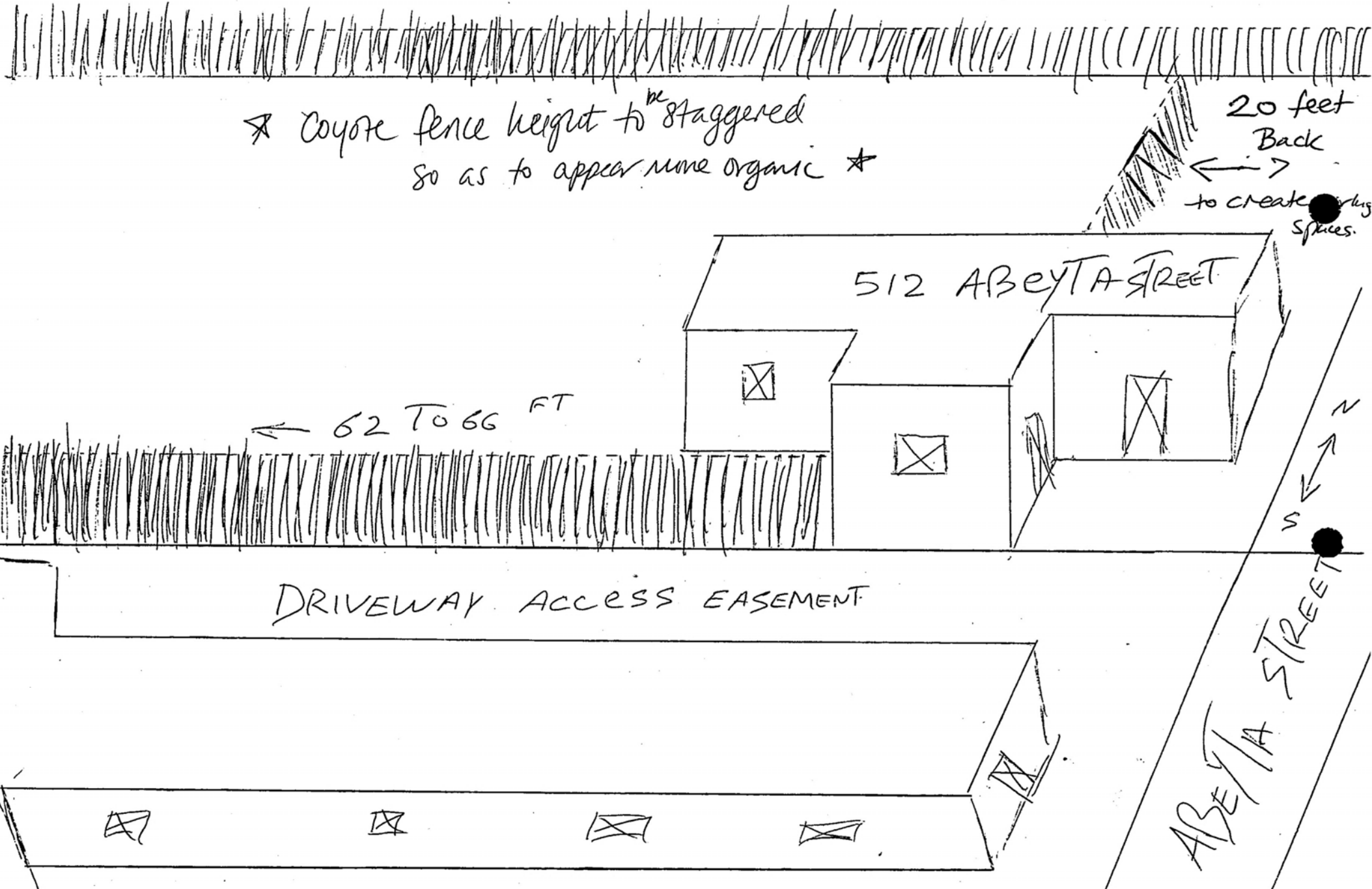


Olivier Roccamo 992-1166 mobile: 577-6475
512 Abeyta St.

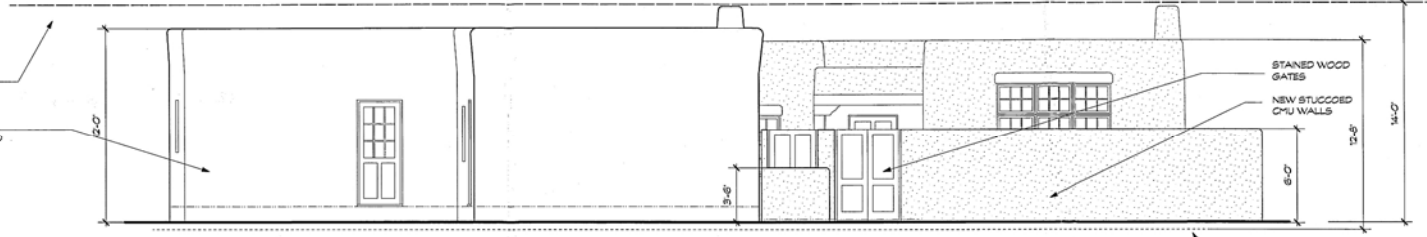
Please call this
number first

* Coyote fence height to be staggered
so as to appear more organic *

20 feet
Back
← →
to create
spaces.



ALLOWABLE HEIGHT PER SANTA FE CITY PLANNING
 EXISTING RESIDENCE - NO NEW WORK PROPOSED



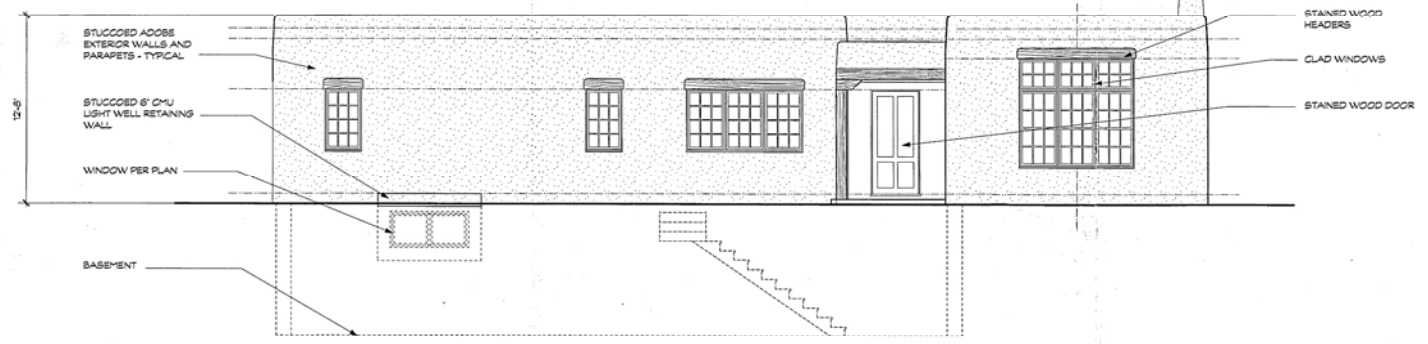
1 EAST ELEVATION - STREET VIEW - EXISTING AND NEW
 Scale: 1/4" = 1'-0"
 0 1 4 8

APPROX GRADE @ PROPOSED NEW RESIDENCE

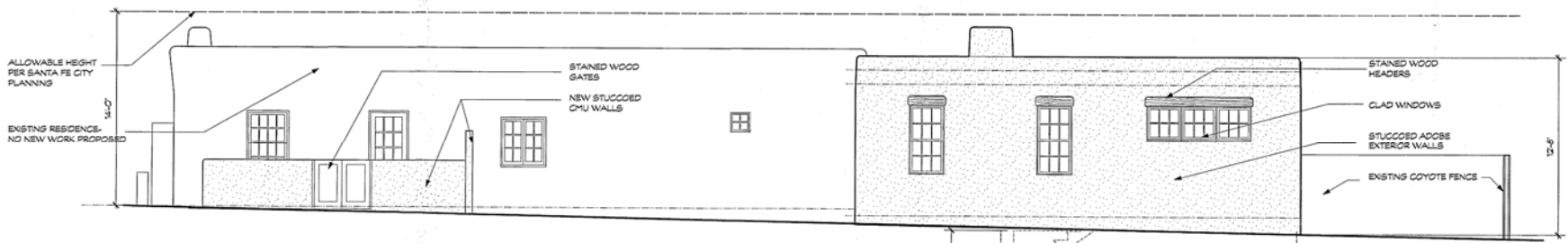
| - PLANS & LOTS USE - | |
|-------------------------------------|------------------------------|
| <input checked="" type="checkbox"/> | Historic Design Review |
| <input type="checkbox"/> | Landmarks Review |
| <input type="checkbox"/> | Historic Preservation Review |
| <input type="checkbox"/> | Approval |
| <input type="checkbox"/> | Commercial Approval |
| <input type="checkbox"/> | PLACET |

Name: *Facula Nis* Date: *9/2/06*

MATERIAL COLOR LIST:
 WINDOWS AND DOORS:
 JEN-WELD P-104 HEIRLOOM WHITE
 STUCCO:
 EXISTING HOUSE:
 EL REY ADOBE
 PROPOSED NEW RESIDENCE:
 EL REY LA LUZ
 PINE COLUMNS AND EXPOSED HEADERS:
 CLEAR NATURAL FINISH



1 EAST ELEVATION
 Scale: 1/4" = 1'-0"
 0 1 4 8



3 NORTH ELEVATION EXISTING AND NEW
 Scale: 1/4" = 1'-0"
 0 1 4 8

PaysonDenney Architects
 388 E Palace Ave. Santa Fe, NM 87501
 505.820.1126 / 505.820.1235 fx. CA 50404
 310.422.2833 / 310.420.9422 fx. 800.927.8551

BLUEJACKET/ROCCAMO RESIDENCE
 517 ABEYTA STREET
 SANTA FE, NM 87505

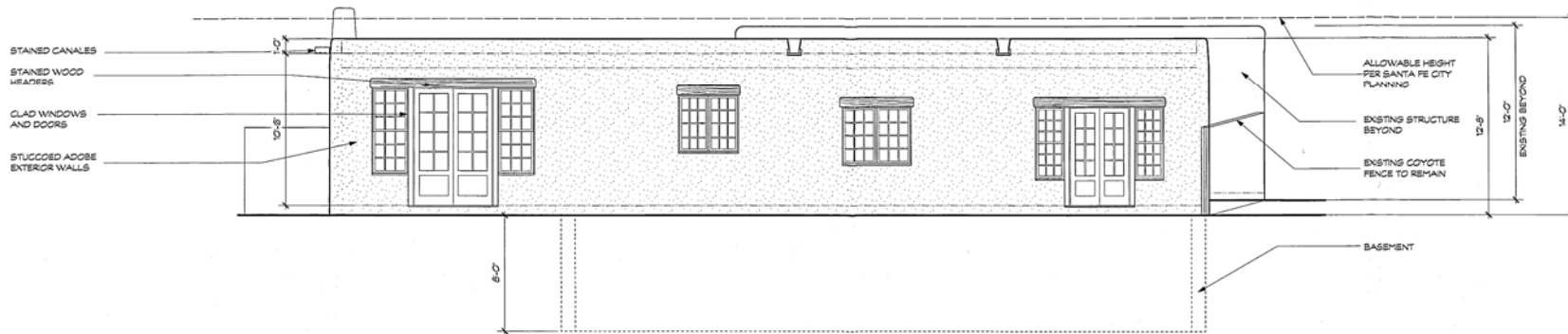
REVISIONS PER HISTORIC DISTRICT REVIEW BOARD MEETING AUGUST 8, 2006

ELEVATIONS 1

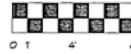
Revision 0 / 22 / 06
 Sheet

A4

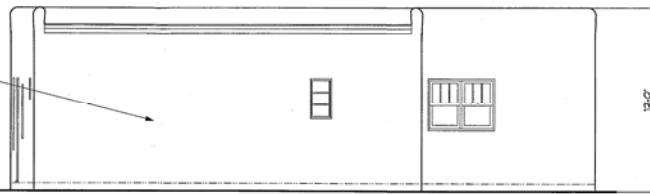
Date APRIL 22, 2006



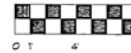
2 WEST ELEVATION
Scale: 1/4" = 1'-0"



EXISTING RESIDENCE -
NO NEW WORK PROPOSED



2 WEST ELEVATION - EXISTING
Scale: 1/4" = 1'-0"



MATERIAL COLOR LIST:

WINDOWS AND DOORS:
JEN-WELD P-104 HEIRLOOM WHITE

STUCCO:
EXISTING HOUSE :
EL REY ADOBE
PROPOSED NEW RESIDENCE:
EL REY LA LUZ

PINE COLUMNS AND EXPOSED HEADERS:
CLEAR NATURAL FINISH

ALLOWABLE HEIGHT
PER SANTA FE CITY
PLANNING

STAINED CANALES
STAINED WOOD
HEADERS
CLAD WINDOWS
AND DOORS
STUCCOED ADOBE
EXTERIOR WALLS

EXISTING COYOTE
FENCE

BASEMENT

EXISTING RESIDENCE -
NO NEW WORK PROPOSED








COYOTE FENCE

4 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



Drawing Symbols

Dimensions are 'Clear Finish' or $\frac{1}{2}$ " of stud unless noted otherwise

-  Existing wall to be removed
-  New Wall (u.n.o.)
-  Interior Elevations per A-
-  Section per A-
-  Door per schedule A-
-  Window per schedule A-
-  Fixture/Appliance per schedule A-

Abbreviations:

| | |
|---------------------------|----------------------------------|
| A.B. Anchor Bolt | (N) New |
| A.F.F. Above Finish Floor | N.I.C. Not in contract |
| B.N. Border nail | Opg. Opening |
| B.O. Bottom of | O.H. Overhang |
| C.B. Carriage bolt | O.C. On center |
| C.L. Centerline | P.L. Property line |
| Clr Clear | Pwd. Plywood |
| D.S. Downspout | R+S Rod and Shelf |
| (E) Existing | R.O. Rough opening |
| E.N. Edge nail | R.R. Roof rafter |
| F.J. Floor joist | T.B.A. To be approved by arch't. |
| G Gas | T.O. Top of |
| G.I. Galvanized iron | T.O.P. Top of plate |
| H.B. Hose bibb | Typ Typical |
| M.B. Machine bolt | U.N.O. Unless noted otherwise |
| M.C. Medicine cabinet | W.P. Waterproof |
| V.I.F. Verify In Field | |

Proposed New Construction :
512 Abeyta Street, Santa Fe, NM

Owner: Shawn Bluejacket
Olivier Roccamo

Project Data

Project Address: 512 Abeyta Street
 Legal Description:
 Owner: Shawn Bluejacket and Olivier Roccamo
 Architect: PaysonDenneyArchitects
 755 Acequia Madre
 Santa Fe, NM 87505
 505-820-1126

Vicinity map



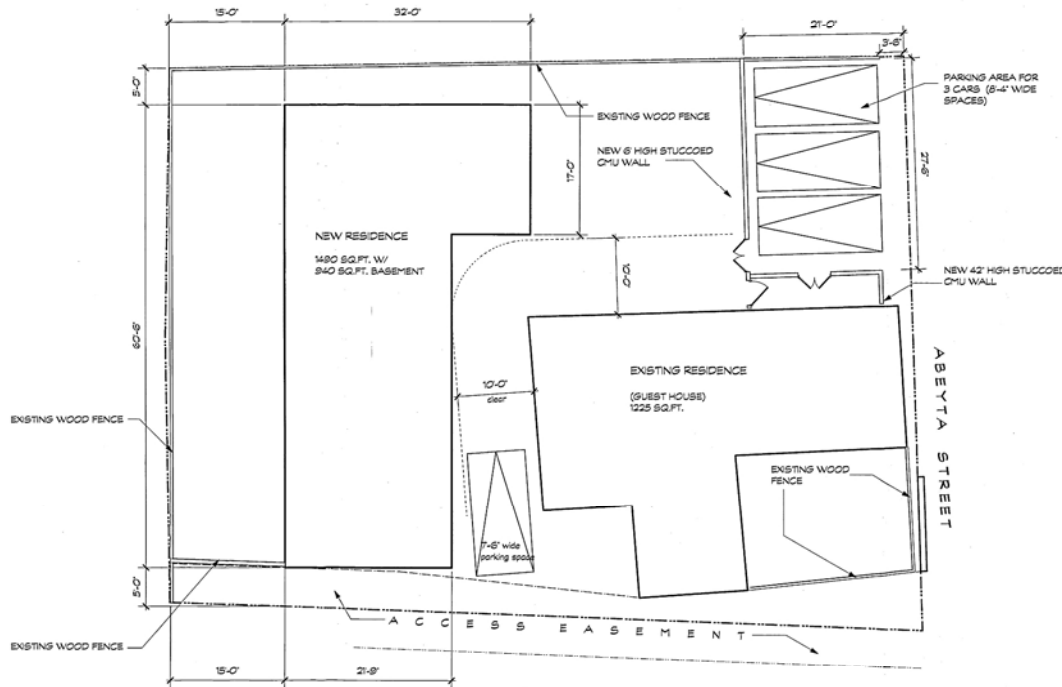
Legal Description:

Drawing Index:

- A1 Cover Sheet : Plot Plan, Abbreviations, Map, Symbols, Index
- A2 First Floor Plan
- A3 Basement Plan
- A4 Roof Plan
- A5 Exterior Elevations, Cross Section

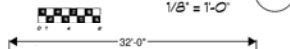
Area Calculations

| | |
|--|-------------------|
| Lot Size 95.58' x 75.00' x 98.02' x 70.21' | 7051 S.F. |
| Existing One Story House to Remain | |
| - convert to Guest House | 1,225 S.F. |
| Proposed 1 - Story residence with Basement | |
| First Floor | 1,490 S.F. |
| Basement | 940 S.F. |
| Total Heated Floor Area | 3,655 s.f. |
| Total Area Under Roof | 2,715 s.f. |
| Lot Coverage (7,051 / 2,715) | 38.5% |
| Parking Provided | 4 Spaces |



Site Plan

Site Information has been taken from a Survey by Del Rio Surveys, Inc. Project # 05030198 dated 3 / 23 / 05



PaysonDenney Architects
 355 E Palace Ave. Santa Fe, NM 87501
 505.820.1276 / 505.820.1235 fx
 1330 Olympic Bl. Santa Monica, CA 90404
 310.455.5533 / 310.450.0742 fx
 800.927.8551

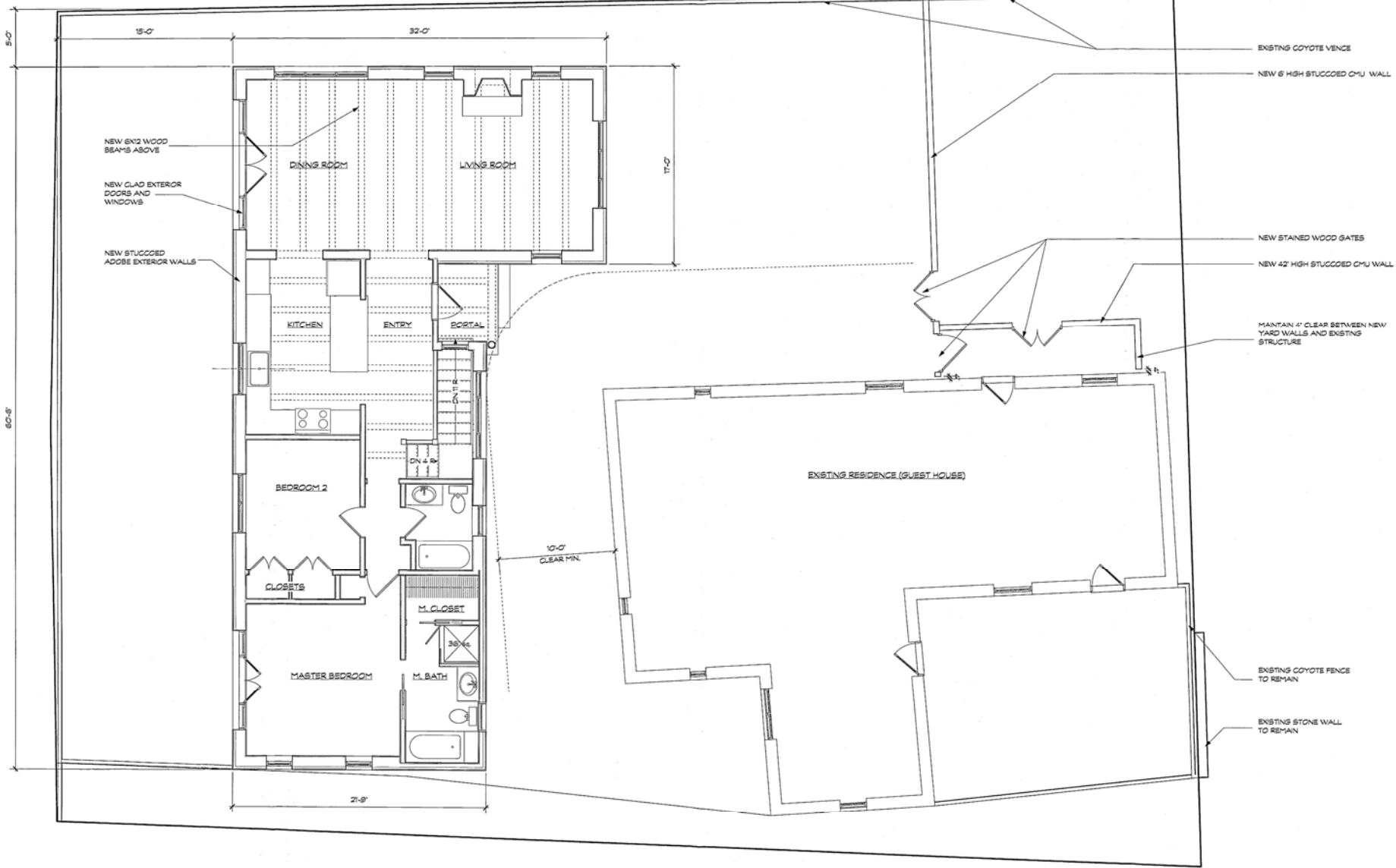
BLUEJACKET/ROCCAMO RESIDENCE
 512 ABEYTA STREET
 SANTA FE, NM 87505

REVISIONS PER HISTORIC DISTRICT REVIEW BOARD MEETING AUGUST 6, 2006

General Notes
 Plot Plan
 Demolition Plan

Revision 6 / 22 / 06
 Sheet

A1
 of
 Date APRIL 22, 2006



PaysonDenney Architects
 355 E Palace Ave. Santa Fe, NM 87501
 505.820.1126 / 505.820.1232 fx
 1330 Olympic Bl. Santa Monica, CA 90404
 310.652.5353 / 310.650.6742 fx 800.927.8551

BLUEJACKET/ROCCAMO RESIDENCE
 512 ABEYTA STREET
 SANTA FE, NM 87505

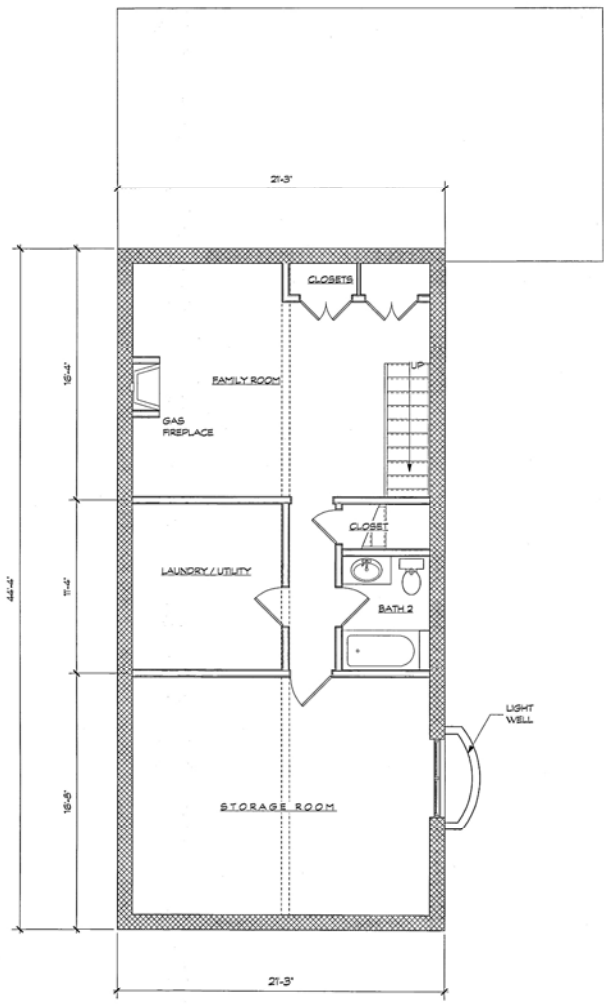
REVISIONS PER HISTORIC DISTRICT REVIEW BOARD MEETING AUGUST 6, 2006

FLOOR PLAN

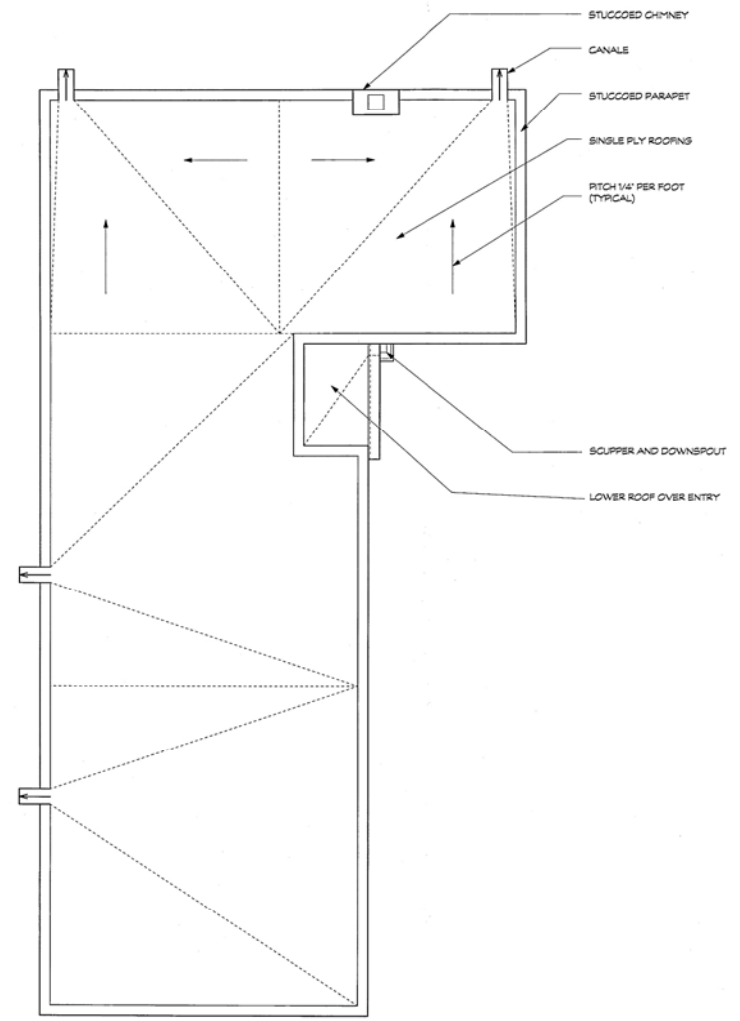
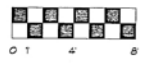
Revision 6 / 22 / 06
 Sheet **A2**
 of
 Date APRIL 22, 2006

1 FLOOR PLAN
 A2
 Scale: 1/4" = 1'-0"

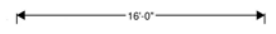
16'-0"



2 BASEMENT PLAN
 A3 Scale: 1/4" = 1'-0"



1 ROOF PLAN
 A3 Scale: 1/4" = 1'-0"



PaysonDemney Architects
 355 E. PALMO AVE. SANTA FE, NM 87501
 505.820.1126 / 505.820.1235 fx
 1300 AVENUE BLVD. SUITE 2000, COSTA MESA, CA 92626
 714.442.0533 / 714.442.0526 fx 800.927.8551

BLUE/JACKET/ROCCAMO RESIDENCE
 512 ABEYTA STREET
 SANTA FE, NM 87505

REVISIONS PER HISTORIC DISTRICT REVIEW BOARD MEETING AUGUST 6, 2006

ROOF PLAN
 BASEMENT PLAN

Revision 8 / 22 / 06
 Sheet

A3
 of
 Date APRIL 22, 2006



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: March 23, 2023

To: Building Permit Division

From:


Gary Moquino

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 512 ABEYTA ST, Santa Fe, NM 87505

Case Number: 2023-006568--ADMIN

Contact Name: OUR WORLD ENERGY NM LLC

Phone Number: 623-850-5700

Email: permits@ourworldenergy.com

Approved Scope of Work: *Install roof mounted solar array as submitted, 512A and 512 B Abeyta Street,(24 Modules).*

Conditions of Approval: *Solar panels shall not be publicly visible.*

There shall be no publicly visible rooftop appurtenances.

No other work approved at this time.

**FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
FINAL HISTORIC INSPECTION**



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: July 07, 2020

To: Building Permit Division

From:

Lani McCulley

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 512 ABEYTA ST, Santa Fe, NM 87505

Case Number: 2020-002331--ADMIN

Contact Name: RYAN ALLEN

Phone Number: 505-470-1322

Email: ryanleightonallen@yahoo.com

Approved Scope of Work: *On the main residence addressed 512 Abeyta Street:*

Re-roof structure as submitted with the conditions that there shall be no publicly visible rooftop appurtenances and that no roofing material shall be on the top of the parapets and shall be flashed on interior of parapets.

Repair roof eaves as submitted.

Install three solar tube skylights with the condition that they shall not be publicly visible.

On the casita addressed 512A Abeyta Street:

Re-roof structure as submitted with the conditions that there shall be no publicly visible rooftop appurtenances and that no roofing material shall be on the top of the parapets and shall be flashed on interior of parapets.

Install one solar tube skylight with the condition that it shall not be publicly visible.

Replace hardscaping on the west (rear) of the structure and replace with flagstone as submitted.

Conditions of Approval: *There shall be no changes to existing mechanical, line sets, canales, or other rooftop appurtenances on either structure at this time.*

FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION

FINAL HISTORIC INSPECTION



City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

From: David A. Rasch, Acting Division Director DR
Marissa C. Barrett, Senior Planner
Gary S. Moquino, Compliance Officer

Date: 3.2.09

The work proposed at 512 Abeyta St. does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

shown by Jack

Proposed Work:

1. repair roof by removing soil overburden without removing wooden plank decking underneath, install OSB panels, install spray foam insulation, and

Thank You.

surface with earth-colored plastic finish with the condition that there can be no insulation on top of the parapet, and finally restucco to match existing material, color, and texture.

2. replace ~~with~~ hotline board fence with coyote fence with irregular latillas.

March 2, 2009

To: David Rasch, Historic Preservation

From: Olivier Rocco Tele: 992-1166

Re: Re-Roofing of 512 Abeyta Street Santa Fe, NM 87505

David,

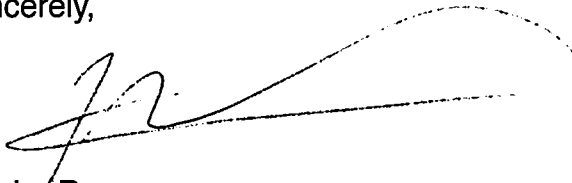
As per our conversation, we have removed 20 tons of dirt and debris from our historic house at 512 Abeyta St. Because of the deterioration of the roof, the only roofing option was to use foam. Any other form of material would have required dismantling the parapets and the vigas and would compromised the integrity of the old structure.

The roof, because of the many add ons over the years was essentially warped.

After the roof is completed, I will (personally) patch the front of the house where we had to remove the old electrical meter and re-stucco the entire structure the same colour (It's El Rey "adobe.") I plan on using the same organic texture that one of the board members said "they personally admired." I will also camouflage the rather contentious new electrical service by painting it an adobe colour so that blends in better with the structure.

If you have any questions, please call me at the above number.

Sincerely,



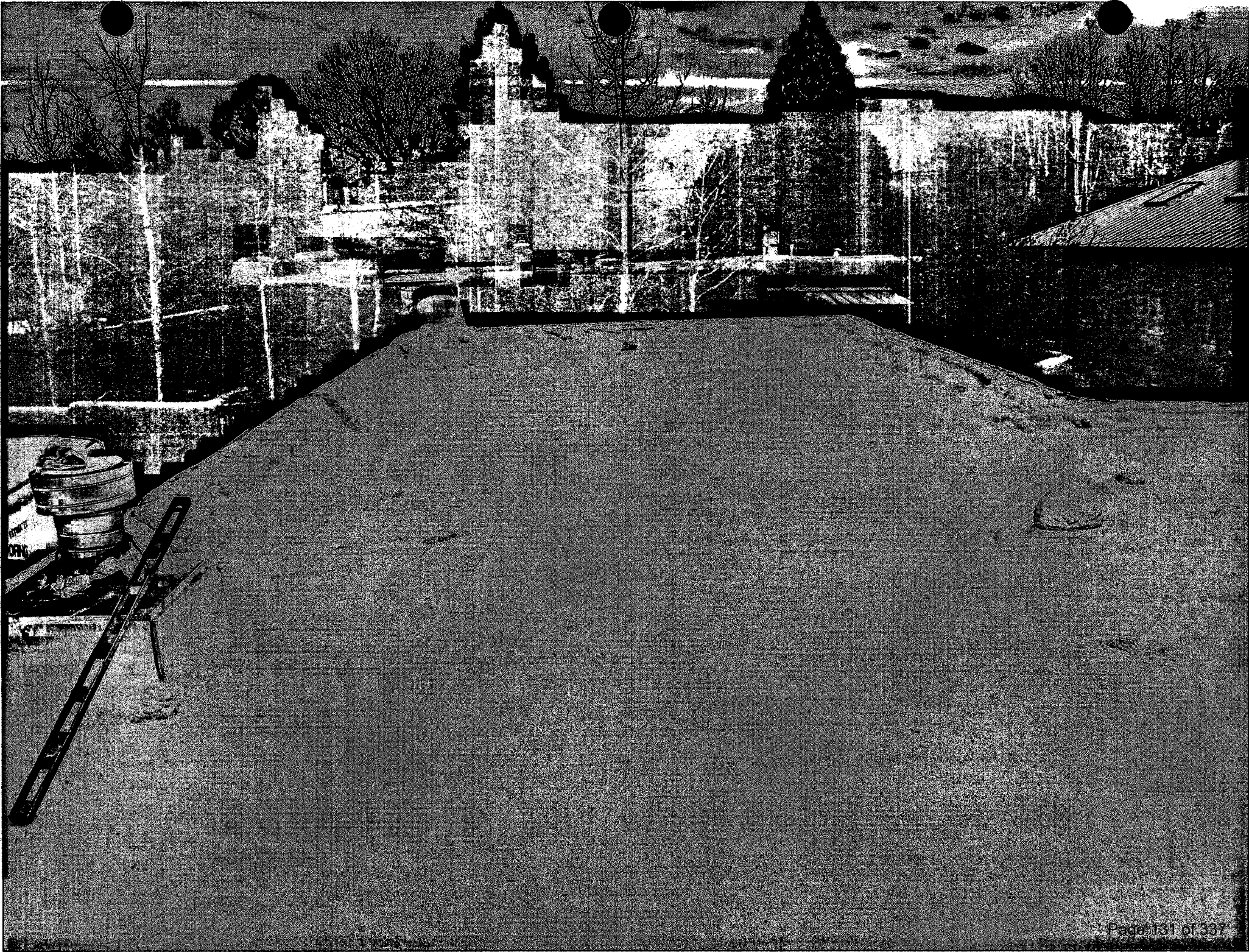
Olivier Rocco

the roof

*Reinforce /
vigas
on
attention*









olivier roccamo

223 N GUADALUPE #414 SANTA FE, NM 87501
TEL 505 9921166 FAX 505 992-1166

sbluejacket@msn.com

March 2, 2009
David Rasch
Historic Preservation

Dear David,

As per a previous conversation, I am writing to let you know that I intend on replacing the old wood fence in the back of the new house. It is 90 feet long. I will be replacing this with 5 feet 11 inches of scattered coyote fence. It will greatly beautify the area.

Sincerely yours,

olivier roccamo





City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

**From: David A. Rasch, Section Head DR
Marissa C. Barrett, Case Planner
Gary S. Moquino, Inspector**

Date: 9.14.07

The work proposed at 512 Abeyta St. does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

primary entrance door on east
elevation of rear building

change single wood to
Thank You.
bi-leaf arched wood in same
location and width



City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

**From: David A. Rasch, Section Head DR
Marissa C. Barrett, Case Planner
Gary S. Moquino, Inspector**

Date: 2.6.07

The work proposed at 312 Abeyta St. does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

rear shed (which was constructed without a permit) can be demolished

Thank You.

Lightfoot Inc.
R.L. Scott Cherry (Agent)
2351 Fox Rd.
Santa Fe, NM 87507

Lani McCulley
Senior Planner
Historic Preservation Division
City of Santa Fe
200 Lincoln Ave.
Santa Fe, NM 87504

Date: January 13, 2025

Re. 512 Abeyta Street Santa Fe, NM 87505

To: Lani McCulley

Owner Proposes to:

- Replace 4 windows, W2, W5, W6, and W7, With Sierra Pacific aluminum clad wood windows with simulated divided light, in white.
- Restore 4 windows W1, W3, W4, and W8 and repaint in kind white
- Add storm and screen sashes to windows W1, W3, W4, and W8
- Patch around windows and re-stucco walls where windows are replaced in kind with El-rey cementitious stucco in matching brown.

Thank you for your consideration.



R.L. Scott Cherry (Agent)

January 22, 2025

Lani McCulley
Planner Senior
HISTORIC PRESERVATION DIVISION
LAND USE DEPARTMENT

Re: Design Standards Exception Criteria 14-5.2(D)(5)(b) for 512 Abeyta

- (i) Do not Damage the character of the district

Applicant Response:

All proposed widow and door alterations would not damage the character of the district. They are sized and configured to replicate, and mimic the existing units to be replaced, in kind, and were specifically designed to fit within, and not disturb the existing historic trim and lintels, in the most minimal way, preserving the character of the district. The design and finish of the windows and doors has been selected to match, replicate and follow the existing design of the original construction and thus provide the least negative impact.

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response:

The proposed widows and door alterations are requested to prevent the hardship of unsafe and difficult operation to the applicant excessive thermal bypass, unintended air leakage and excessive maintenance, Restoring the current, proposed to be replaced windows, would leave the windows with an inadequate operational system that would not allow accessible operation of the windows for the elderly, as repair parts no longer exist for this type of window, that could be repaired for correct operation. The existing windows exhibit excessive thermal bypass and unintended air leakage and though, could be mitigated somewhat by restoration could not be eliminated. The existing windows and doors could not be modified with thermal pane glass without altering their character, as their profile is too thin to accommodate the change. In accordance with the window assessment these units have been recommended to be replaced as an option due to a variety of factors including degradation level, and the substandard nature of construction including not having an operator. If the windows were repaired, significant portions of the historic material would need to be removed and replaced

2351 FOX RD. SUITE 800 SANTA FE, NM 87507

T (505) 473-1097 E office@lightfootinc.com W www.lightfootinc.com NM GB98 223840

with material that would no longer be historic thus making replacement the best option to mitigate these hardships.

- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response:

Replacing the windows with more durable, long lasting, units in the design configuration of the existing windows that are easier to maintain and operate will strengthen the unique heterogeneous character. This replacement option ensures the longevity of the overall building character for a prolonged time and thus strengthens the overall building perseveration. The proposed replacement windows are designed to fit within the existing, character defining trim, with the least negative impact. The premise here is maintaining the look of the building and operation of the openings so residents can continue to reside within the district, over the longest period of time.

Thank you,



Scott Cherry

President, Lightfoot Inc.

2351 FOX RD. SUITE 800 SANTA FE, NM 87507

T (505) 473-1097 E office@lightfootinc.com W www.lightfootinc.com NM GB98 223840



512 Abeyta Street Santa Fe, NM 87505- Northeast Elevation



512 Abeyta Street Santa Fe, NM 87505- South East Elevation



512 Abeyta Street Santa Fe, NM 87505- South Elevation



512 Abeyta Street Santa Fe, NM 87505- East Elevation



512 Abeyta Street Santa Fe, NM 87505- South East Elevation



512 Abeyta Street Santa Fe, NM 87505- South West Elevation



512 Abeyta Street Santa Fe, NM 87505- West Elevation



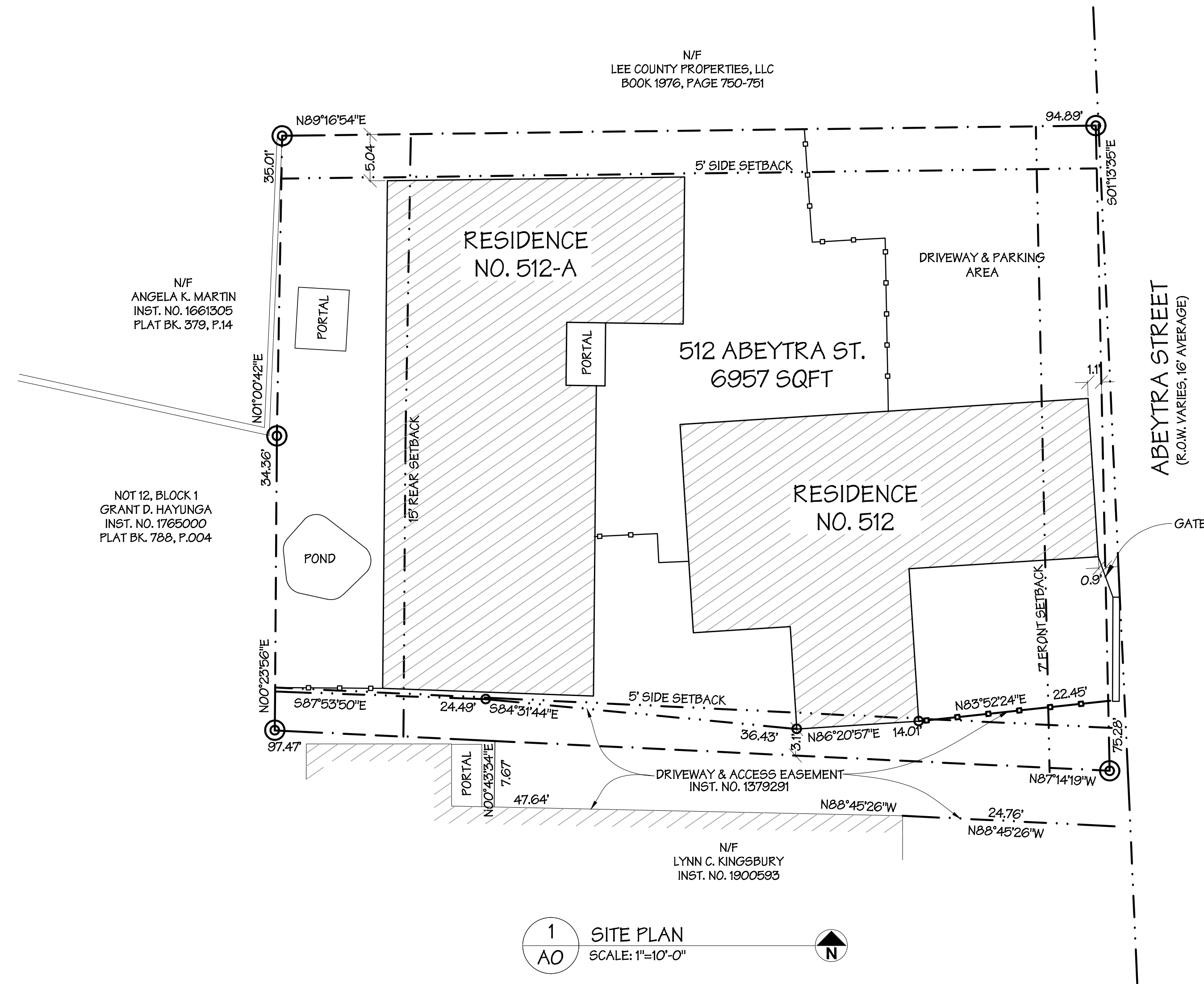
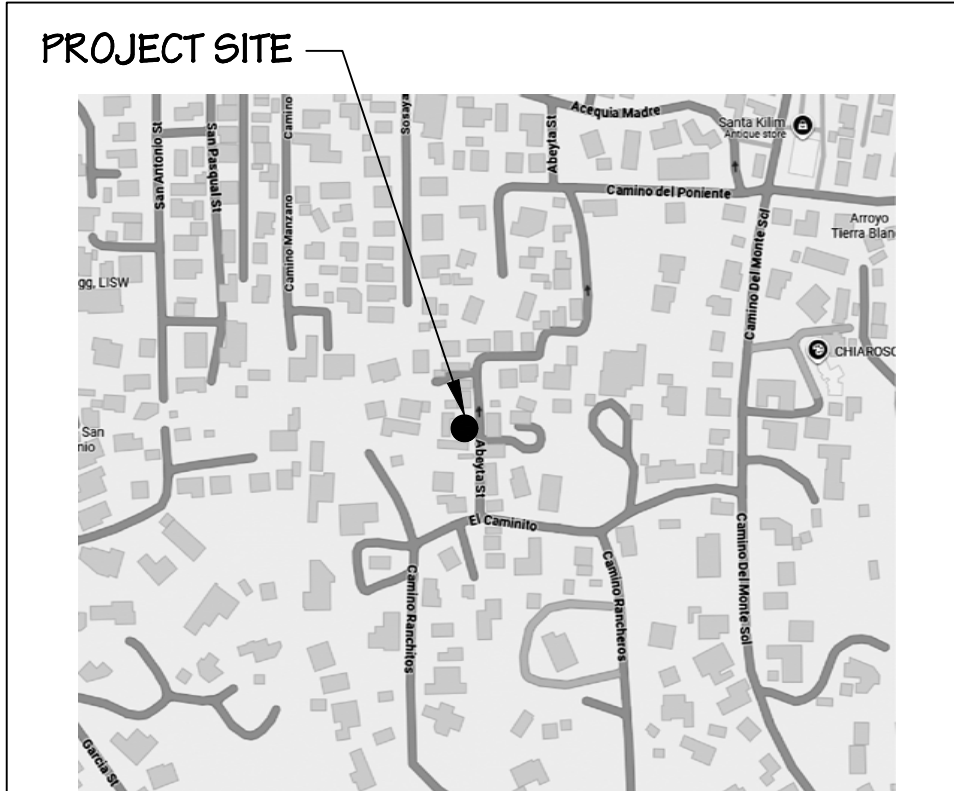
512 Abeyta Street Santa Fe, NM 87505- South Elevation

BIRGFELD WINDOW REPLACEMENT

512 ABEYTA ST. SANTA FE, 87505

| ZONING REVIEW | |
|--|--------------------------------|
| ZONING DISTRICT: | RCB |
| OVERLAY DISTRICT: | DOWNTOWN & EASTSIDE HD |
| SUPPLEMENTAL SUBMITTALS: | N/A |
| ACCESS & VISIBILITY: | N/A |
| USE OF STRUCTURE: | RESIDENTIAL |
| TERRAIN: | N/A |
| MAXIMUM LOT COVERAGE: | 40% (55 IF PRIVATE OPEN SPACE) |
| OPEN SPACE REQUIRED: | N/A |
| SETBACKS: | |
| MINIMUM FRONT/STREET: | *7 |
| MINIMUM REAR: | **15' |
| MINIMUM SIDES: | 5' |
| *None required if a yard wall between 6 and 8 feet high is built between building and street. | |
| **5' rear setback if a wall between 6 and 8 feet high is built. | |
| No portion of any story above ground level shall be closer than 15' from property line | |
| HEIGHT: RESIDENTIAL | |
| PROPOSED: | N/A (NO CHANGE) |
| MAXIMUM HEIGHT: | *24'-0" |
| REGULATED BY HR: | DOWNTOWN & EASTSIDE HD |
| REGULATED BY ESCARPMENT: | N/A |
| *Gross floor area of all stories above ground level shall not exceed 50% of the ground floor area. | |
| PARKING SPACES: | N/A, EXISTING |
| BICYCLE PARKING: | N/A |

VICINITY MAP



BIRGFELD WINDOW REPLACEMENT

512 ABEYTA ST. SANTA FE, 87505

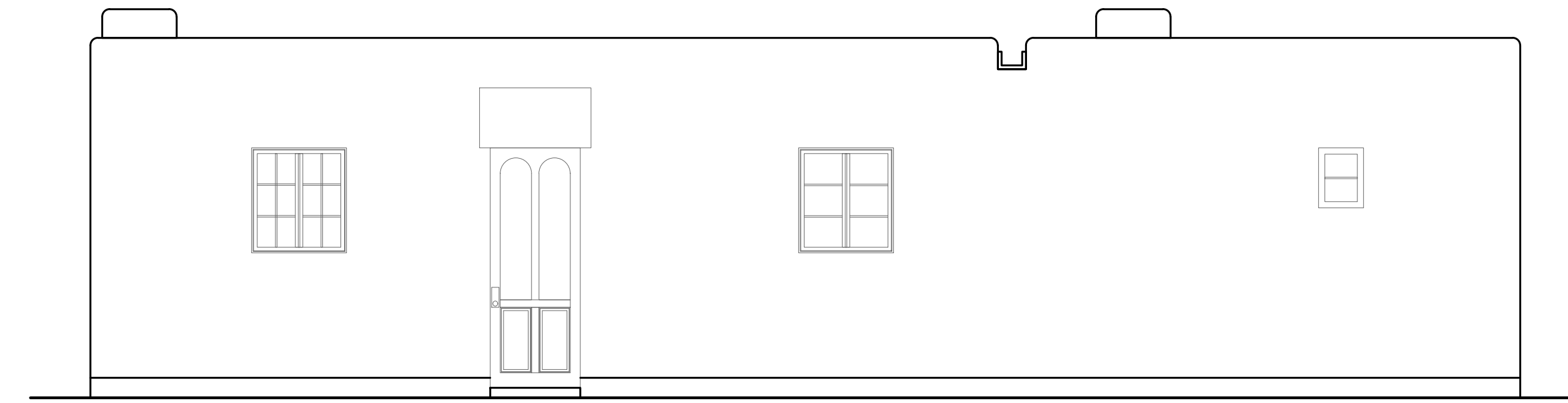
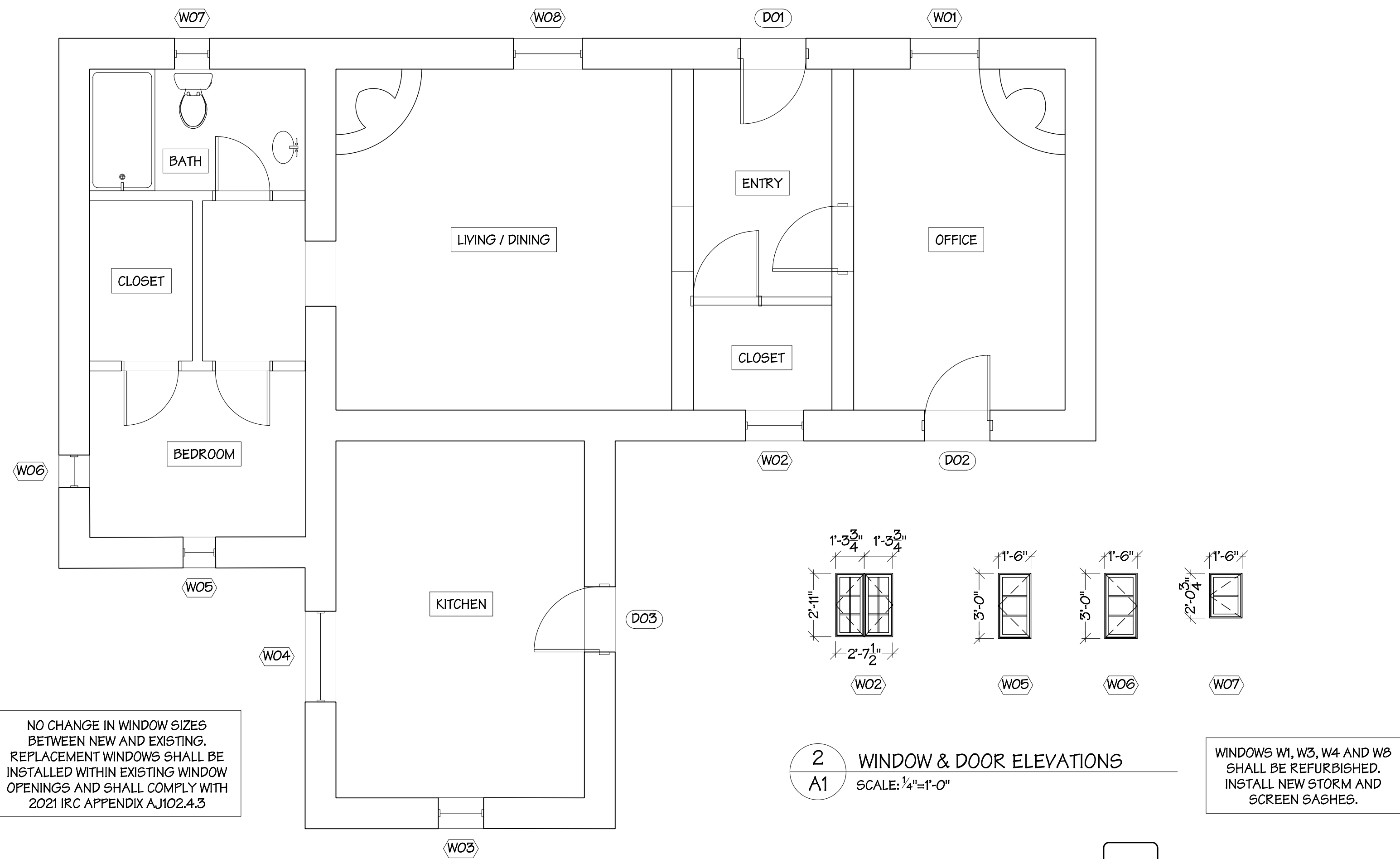
January 17th, 2025

COVER SHEET
& SITE PLAN

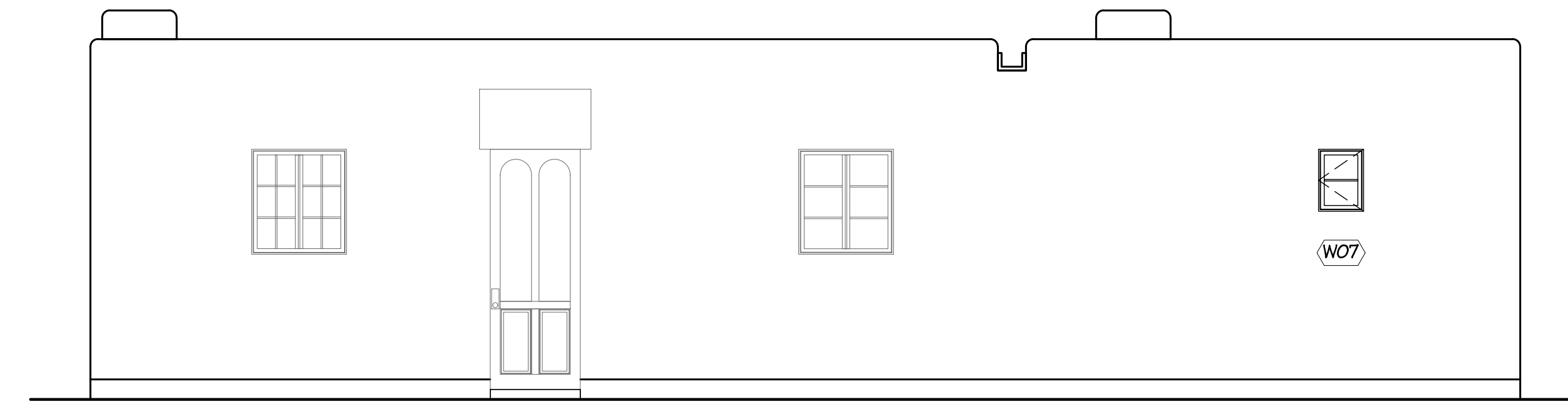
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BIRGFELD WINDOW REPLACEMENT

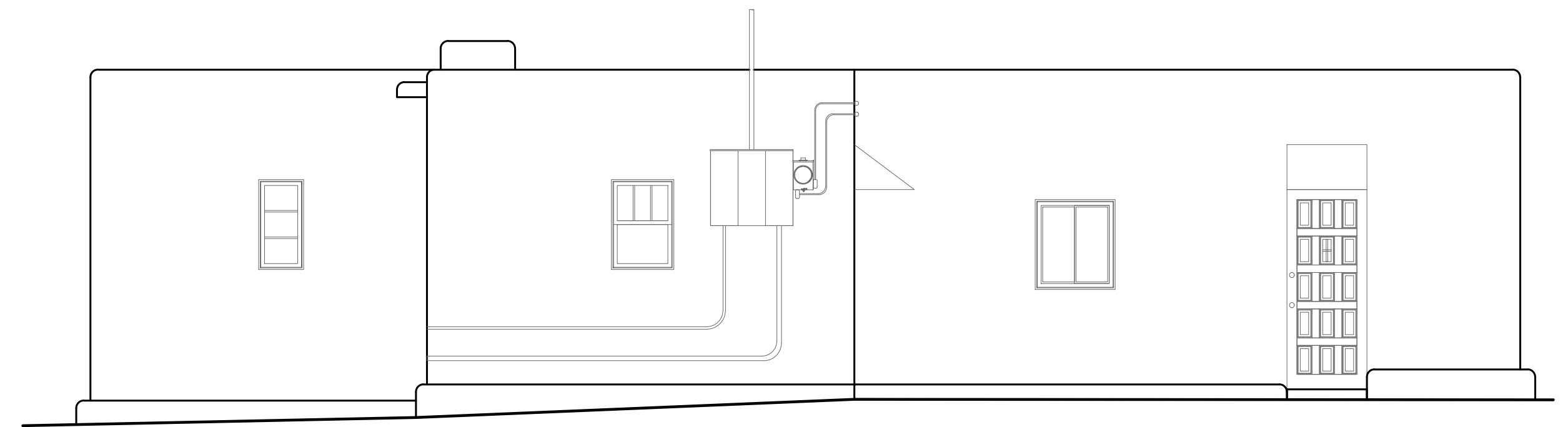
512 ABEYTA ST. SANTA FE, 87505



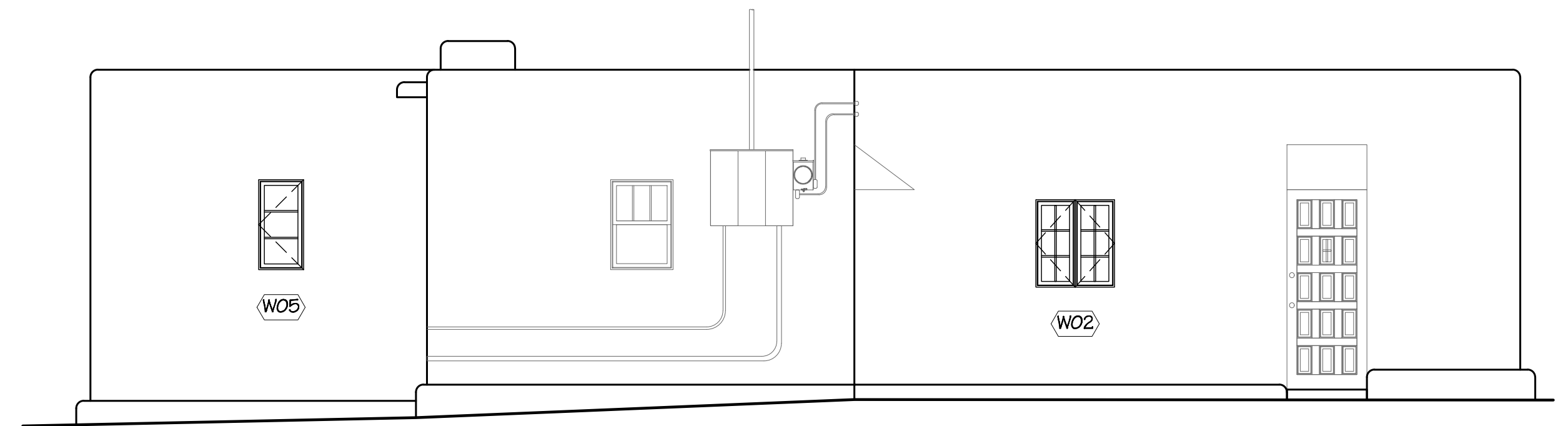
5 EXISTING NORTH ELEVATION
A1 SCALE: 1/4"=1'-0"



6 PROPOSED NORTH ELEVATION
A1 SCALE: 1/4"=1'-0"



7 EXISTING SOUTH ELEVATION
A1 SCALE: 1/4"=1'-0"



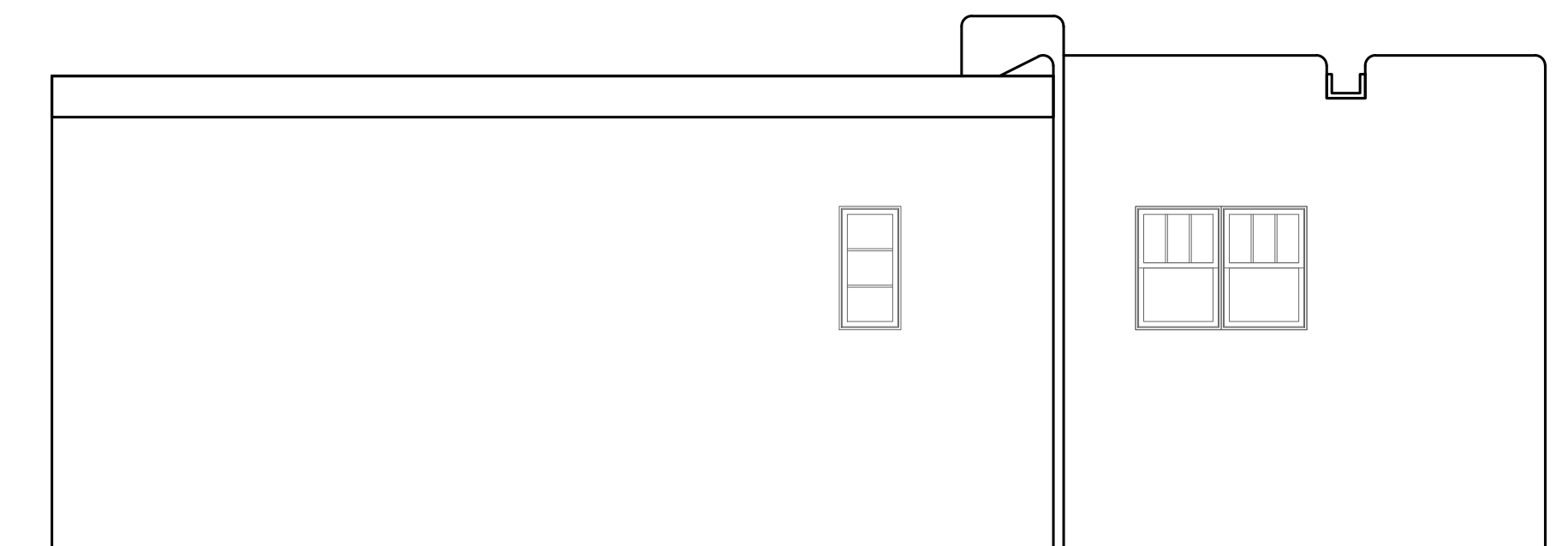
8 PROPOSED SOUTH ELEVATION
A1 SCALE: 1/4"=1'-0"

1 FLOOR PLAN
A1 SCALE: 1/4"=1'-0"

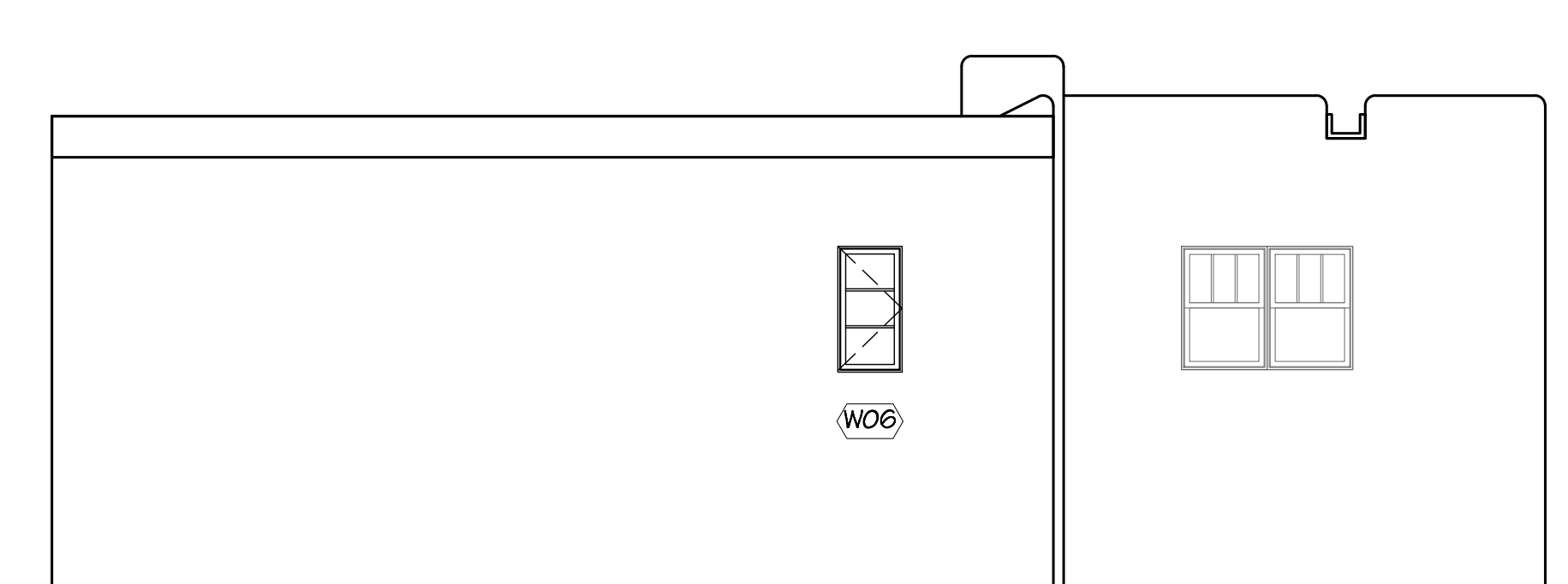
2 WINDOW & DOOR ELEVATIONS
A1 SCALE: 1/4"=1'-0"

WINDOWS W1, W3, W4 AND W8 SHALL BE REFURBISHED. INSTALL NEW STORM AND SCREEN SASHES.

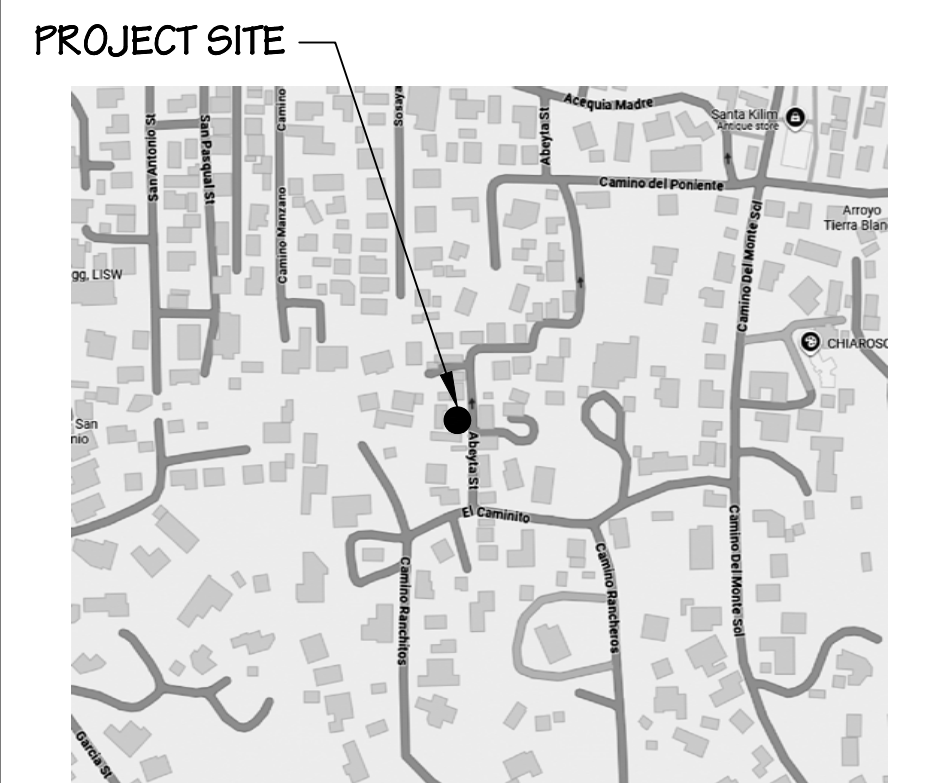
3 EXISTING WEST ELEVATION
A1 SCALE: 1/4"=1'-0"



4 PROPOSED WEST ELEVATION
A1 SCALE: 1/4"=1'-0"



VICINITY MAP





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, NM 87504-0909

www.santafenm.gov

Alan Webber, Mayor

Councilors:

- Signe I. Lindell, Mayor Pro Tem, District 1
- Renee Villarreal, District 1
- Peter N. Ives, District 2
- Carol Romero-Wirth, District 2
- Roman "Tiger" Abeyta, District 3
- Chris Rivera, District 3
- Mike Harris, District 4
- JoAnne Vigil Coppler, District 4

COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss

CERTIFICATE
PAGES: 4

I Hereby Certify That This Instrument Was Filed for
Record On The 1ST Day Of November, 2019 at 10:11:42 AM
And Was Duly Recorded as Instrument # 1900883
Of The Records Of Santa Fe County



Witness My Hand And Seal Of Office
Geraldine Salazar

Deputy Christina Ortiz County Clerk, Santa Fe, NM

CERTIFICATE OF COMPLIANCE AS LEGAL LOT OF RECORD

RE: Legal Lot of Record status for a parcel described on a plat of survey entitled "Clara Apodaca & Filia R. & Flaviano Lucero 508, 512, & 516 Abeyta Street Ward No. 1, Precinct No. 1 Santa Fe New Mexico" recorded in Book 132, Page 034 of the records of Santa Fe County Clerk located at 512 Abeyta Street, Santa Fe, New Mexico.

In compliance with Subsection 14-3.7(A)(7)(a) City of Santa Fe Land Development Code (SFCC 1988) this Certificate of Compliance documents status as a legal lot of record for the property referenced above.

This determination is based on review of the following documents:

1. Scanlon Map dated 1957 (attached as Exhibit A), and
2. Quitclaim Deed from Manuelito S. Romero to Eilia R. Lucero & Flayiano Lucero, dated Recorded August 4, 1962, in the Office of the Santa Fe County Clerk as instrument number 255683 (attached as Exhibit B),.

Approval of this Certificate of Compliance makes no determination regarding the conformity or lack thereof to the City's Land Development Code for development or structures on the property.

Noah Berke
Noah Berke, Planner Manager

10/31/19
Date

RECORDED 11/01/2019

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

SUBSCRIBED AND SWORN to before me this 31st day of October 2019.

By Noah Berke



My Commission Expires:
June 15, 2020

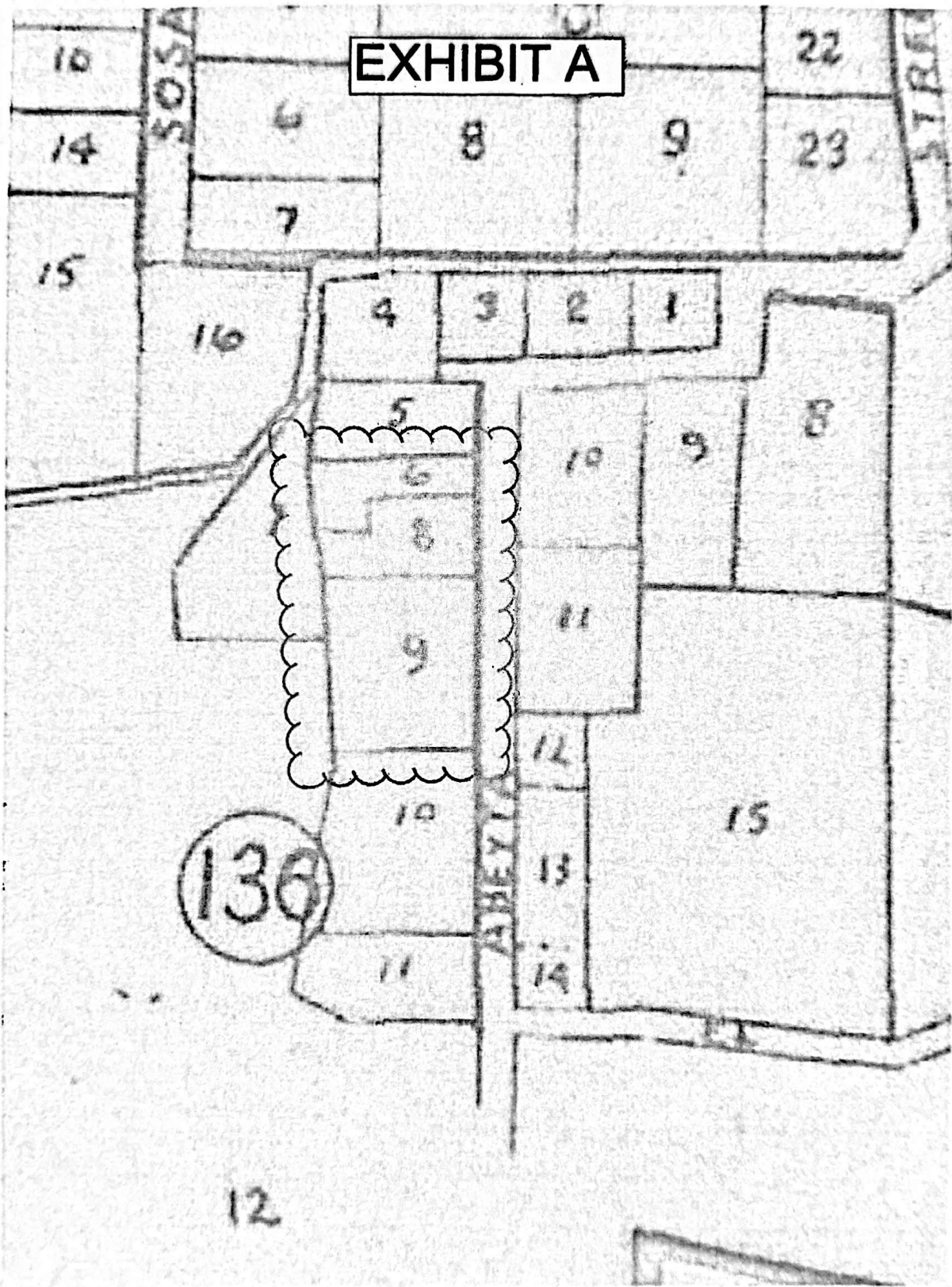
Cristian Valentine

Notary Public

REC'D CLERK RECORDED 11/01/2019

Senior

EXHIBIT A



SFC CLERK RECORDED 11/01/2019

508 PW

EXHIBIT B

SP-1 SHORT FORM QUITCLAIM DEED - New Mexico Statutory Form - Rev. 3/58

QUITCLAIM DEED

Manuelita S. Romero, a widow

Ellia R. Lucero & Flaviano Lucero, as joint tenants

the following described real estate in Santa Fe County, New Mexico:

All that property in precinct 3 and ward 1 of said County bearing the address of 508 Abeyta Street, and more particularly described as follows: Bounded on the East by Public Road, on the North by property of Cosme Padilla, on the West by property of Merejildo Rivera, and on the South by property of Simon Apodaca; the same being that property belonging to Isidro Apodaca dated the 24th day of January, 1924, to which property said grantee is the sole heir.

WITNESS my hand and seal this 31st day of January 1961

(GRANTOR) Witness to Signature (Seal) Witness to Signature (Seal)

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO COUNTY OF Santa Fe

The foregoing instrument was acknowledged before me this 31st day of January 1961 Manuelita S. Romero

Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO COUNTY OF

The foregoing instrument was acknowledged before me this day of 19

(Name of Officer) (Name of Corporation Acknowledging)

(Type of Corporation) corporation, on behalf of said

Notary Public

STATE OF NEW MEXICO COUNTY OF SANTA FE 255,683 I hereby certify that this instrument was filed for record on the 4th day of Jan. A. D. 1961 at 2:42 P.M. and was duly recorded on book of the records of Santa Fe County, New Mexico. JOE B. GARCIA, County Clerk, Santa Fe Co., N. M.

Birgfeld Window Assessment

512 Abeyta St



2351 Fox Rd. Suite #800, Santa Fe, NM
office@lightfootinc.com / Tel. 505-473-1097

Window Assessment Summary Birgfeld Residence

512 Abeyta St

July 31 2024

Overview:

The Residence at 512 Abeyta has a variety of windows that appear to have been installed at different time periods. There are a mix of steel wood and wood windows. W2 Window Sash is missing and only a storm sash is in place. Steel windows have been stuccoed in and painted to a point of dysfunction. Assed D2 But not D1 and D3 as they are new.

Recommendation: Restore W1, W2, W3, and W8 Repair wood as necessary Add Balances and Weatherstrip Replace W4, W5, W6, and W7. Restore D2 and Weatherize

Conditions Key

| Symbol | Represents | Definition |
|--------|--------------------------|--|
| E | Excellent | <p>Materials are in perfect or near perfect condition with only minor touch up work required if any at all.</p> <p>Overall condition may be Excellent with less that 30% of components being in Good condition or better.</p> |
| G | Good | <p>Materials are degraded 0% and require no stabilization. Materials are sound and stable and require little to no repair work to retain their integrity, they may be stained but are not degraded. Any repairs would only require non structural or cosmetic treatments. Finish and components could be worn or faded but are still in decent working condition.</p> <p>Overall condition may be Good with less that 30% of components being in Fair Condition or better.</p> |
| F | Fair | <p>Materials are degraded up to 30% and may require some stabilization or structural repair. Shrinkage or warping of materials is minimal enough where they would not need to be replaced. Finish beginning to fail and it is recommended it be refinished.</p> <p>Overall condition may be Fair with less that 30% of components being in Poor Condition or better.</p> |
| P | Poor | <p>Materials degraded beyond 30% and require stabilization or structural repair. Shrinkage or warping of materials is at a level where they need to be replaced. Finish beginning has failed or degraded completely. Materials and components in poor condition must be replaced.</p> <p>Overall condition of Poor requires replacement.</p> |
| % | Precedent of Degradation | Represents percent of a component that it is degraded or destroyed by damage and the percent of degradation or damage. |

Material and Type Key

| Material | |
|----------|----------|
| W | Wood |
| ST | Steel |
| AL | Aluminum |
| O | Other |

| Type | |
|------|-------------------|
| SH | Single Hung |
| DH | Double Hung |
| C | Casement |
| HS | Horizontal Slider |
| FX | Fixed |
| PV | Pivot |
| H | Hopper |
| O | Other |

-Note All Dimensions are Nominal-



North Elevation



W2

D2

South Elevation, East



East Elevation, South



South Elevation,



South West Elevation



W6

W4

West Elevation



North Elevation, West

| WINDOW W1 - Office | | |
|---------------------------------|--------------------------------|------------------------|
| INFO | Description | 8 Lite Double Casement |
| | Size | 38"X42" |
| | Type | Casement |
| | Overall Condition | Good |
| SASH | Material | Wood |
| | Moulding Profile | Ogee |
| | Bottom Rail | Good Condition |
| | Rails and Stiles | Good Condition |
| | Mullions | Good Condition |
| | Shape | Good Condition |
| | Paint | Good Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Good |
| | Threshold Condition | Fair |
| | Shape | Straight |
| | Exterior Trim and Stops | Good |
| | Paint Condition | Good |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Fair |
| | Locks | Fair |
| | Weatherstripping | N/A |
| Notes: Needs Sill Repair | | |



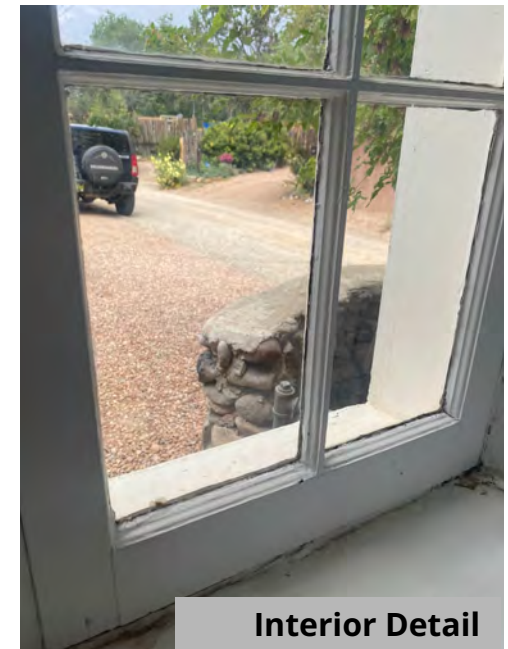
Exterior Elevation



Interior Elevation



Exterior Detail



Interior Detail

| WINDOW W2 - Entry | | |
|---|--------------------------------|---------------------------|
| INFO | Description | 2 lite Sliding Storm Sash |
| | Size | 32"X36" |
| | Type | Sliding Storm Sash |
| | Overall Condition | Poor |
| SASH | Material | Aluminum |
| | Moulding Profile | Square |
| | Bottom Rail | Fair Condition |
| | Rails and Stiles | Fair Condition |
| | Mullions | Fair Condition |
| | Shape | Fair Condition |
| | Paint | Fair Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Fair |
| | Threshold Condition | Poor |
| | Shape | Warped |
| | Exterior Trim and Stops | Poor |
| | Paint Condition | Poor |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Poor |
| | Locks | Poor |
| | Weatherstriping | N/A |
| Notes: Storm Sash No Sash Present Recommend Replacement | | |



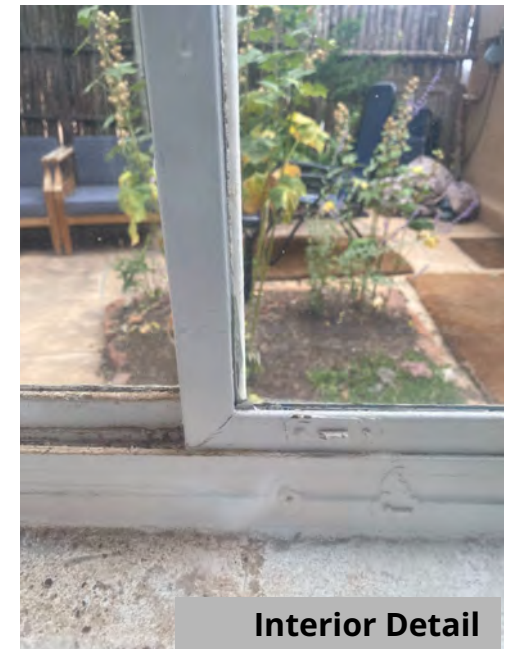
Exterior Elevation



Interior Elevation



Exterior Detail



Interior Detail

| WINDOW W3 - Kitchen | | |
|--|--------------------------------|----------------|
| INFO | Description | 3 over 1 Lite |
| | Size | 25"X36" |
| | Type | Single Hung |
| | Overall Condition | Good |
| SASH | Material | Wood |
| | Moulding Profile | Ogee |
| | Bottom Rail | Good Condition |
| | Rails and Stiles | Good Condition |
| | Mullions | Good Condition |
| | Shape | Good Condition |
| | Paint | Good Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Good |
| | Threshold Condition | Fair |
| | Shape | Straight |
| | Exterior Trim and Stops | Good |
| | Paint Condition | Good |
| FUNCTION | Operators/Hinges | None |
| | Handel/Hardware | None |
| | Locks | Fair |
| | Weatherstripping | N/A |
| Notes: No Balances Painted Shut | | |



Exterior Elevation



Interior Elevation



Exterior Detail



Interior Detail

| WINDOW W4 - Kitchen | | |
|--|--------------------------------|-------------------|
| INFO | Description | (2) 3 over 1 Lite |
| | Size | 50"X36" |
| | Type | Single Hungs |
| | Overall Condition | Fair |
| SASH | Material | Wood |
| | Moulding Profile | Ogee |
| | Bottom Rail | Poor Condition |
| | Rails and Stiles | Poor Condition |
| | Mullions | Fair Condition |
| | Shape | Warped |
| | Paint | Good Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Good |
| | Threshold Condition | Fair |
| | Shape | Straight |
| | Exterior Trim and Stops | Poor |
| | Paint Condition | Poor |
| FUNCTION | Operators/Hinges | None |
| | Handel/Hardware | None |
| | Locks | Poor |
| | Weatherstripping | N/A |
| Notes: No Balances Painted Shut | | |



Exterior Elevation



Interior Elevation



Exterior Detail

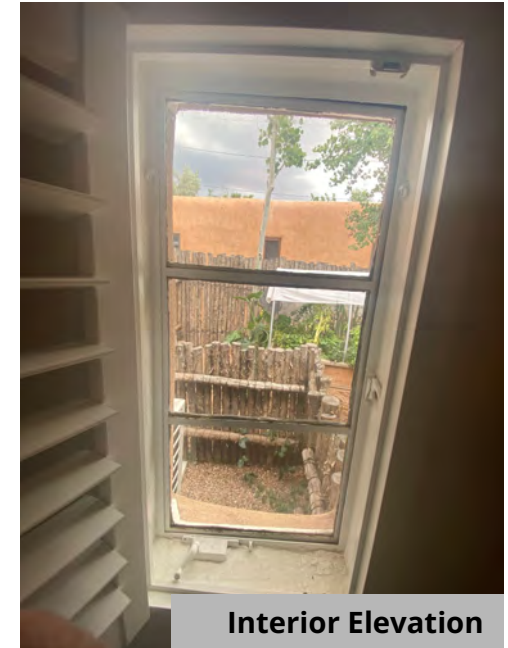


Interior Detail

| WINDOW W5 - Bedroom | | |
|------------------------------|--------------------------------|----------------|
| INFO | Description | 3 Lite |
| | Size | 18"X36" |
| | Type | Casement |
| | Overall Condition | Poor |
| SASH | Material | Steel |
| | Moulding Profile | Flat |
| | Bottom Rail | Fair Condition |
| | Rails and Stiles | Fair Condition |
| | Mullions | Fair Condition |
| | Shape | Straight |
| | Paint | Fair Condition |
| FRAME | Material | Steel |
| | Moulding Profile | Flat |
| | Jamb Condition | Fair Condition |
| | Threshold Condition | Fair Condition |
| | Shape | Straight |
| | Exterior Trim and Stops | None |
| | Paint Condition | Fair Condition |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Poor |
| | Locks | Poor |
| | Weatherstriping | N/A |
| Notes: Non Functional | | |



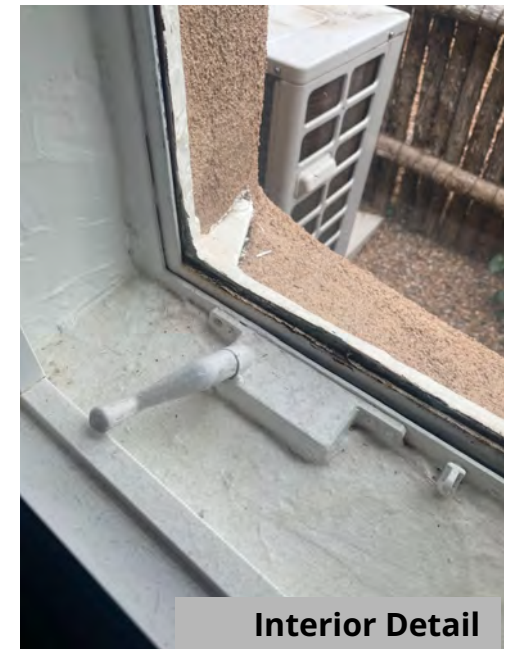
Exterior Elevation



Interior Elevation



Exterior Detail

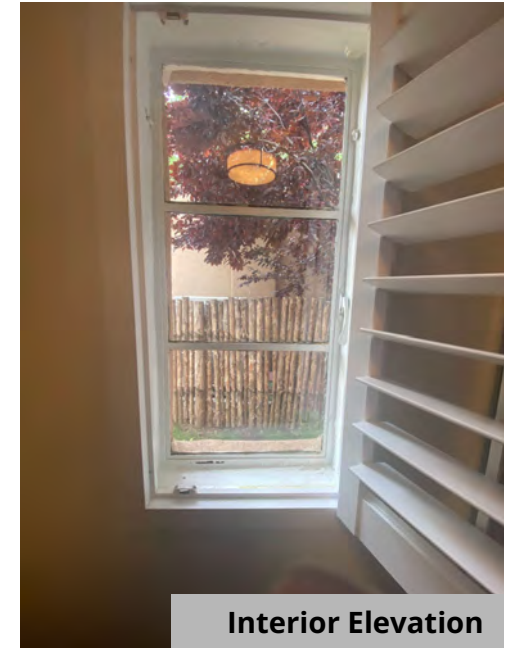


Interior Detail

| WINDOW W6 - Bedroom | | |
|------------------------------|--------------------------------|----------------|
| INFO | Description | 3 Lite |
| | Size | 18"X36" |
| | Type | Casement |
| | Overall Condition | Poor |
| SASH | Material | Steel |
| | Moulding Profile | Flat |
| | Bottom Rail | Fair Condition |
| | Rails and Stiles | Fair Condition |
| | Mullions | Fair Condition |
| | Shape | Straight |
| | Paint | Fair Condition |
| FRAME | Material | Steel |
| | Moulding Profile | Flat |
| | Jamb Condition | Fair Condition |
| | Threshold Condition | Fair Condition |
| | Shape | Straight |
| | Exterior Trim and Stops | None |
| | Paint Condition | Fair Condition |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Poor |
| | Locks | Poor |
| | Weatherstripping | N/A |
| Notes: Non Functional | | |



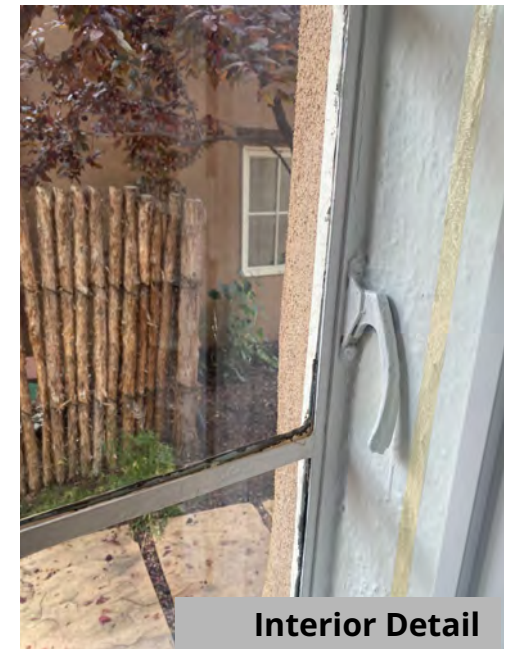
Exterior Elevation



Interior Elevation



Exterior Detail



Interior Detail

| WINDOW W7 - Bathroom | | |
|------------------------------|--------------------------------|----------------|
| INFO | Description | 3 Lite |
| | Size | 18"X36" |
| | Type | Casement |
| | Overall Condition | Poor |
| SASH | Material | Steel |
| | Moulding Profile | Flat |
| | Bottom Rail | Fair Condition |
| | Rails and Stiles | Fair Condition |
| | Mullions | Fair Condition |
| | Shape | Straight |
| | Paint | Fair Condition |
| FRAME | Material | Steel |
| | Moulding Profile | Flat |
| | Jamb Condition | Fair Condition |
| | Threshold Condition | Fair Condition |
| | Shape | Straight |
| | Exterior Trim and Stops | None |
| | Paint Condition | Fair Condition |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Poor |
| | Locks | Poor |
| | Weatherstripping | N/A |
| Notes: Non Functional | | |



Exterior Elevation



Interior Elevation



Exterior Detail

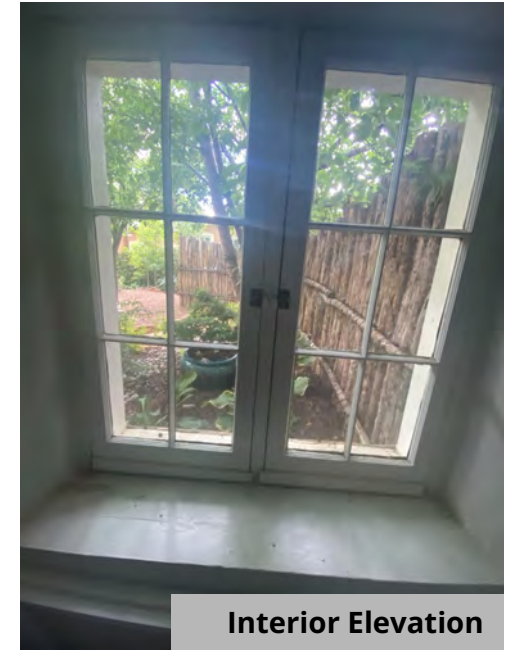


Interior Detail

| WINDOW W8 - Living Room | | |
|---------------------------------|--------------------------------|------------------------|
| INFO | Description | 8 Lite Double Casement |
| | Size | 38"X42" |
| | Type | Casement |
| | Overall Condition | Good |
| SASH | Material | Wood |
| | Moulding Profile | Ogee |
| | Bottom Rail | Good Condition |
| | Rails and Stiles | Good Condition |
| | Mullions | Good Condition |
| | Shape | Good Condition |
| | Paint | Good Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Good |
| | Threshold Condition | Fair |
| | Shape | Straight |
| | Exterior Trim and Stops | Good |
| | Paint Condition | Good |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Fair |
| | Locks | Fair |
| | Weatherstripping | N/A |
| Notes: Needs Sill Repair | | |



Exterior Elevation



Interior Elevation

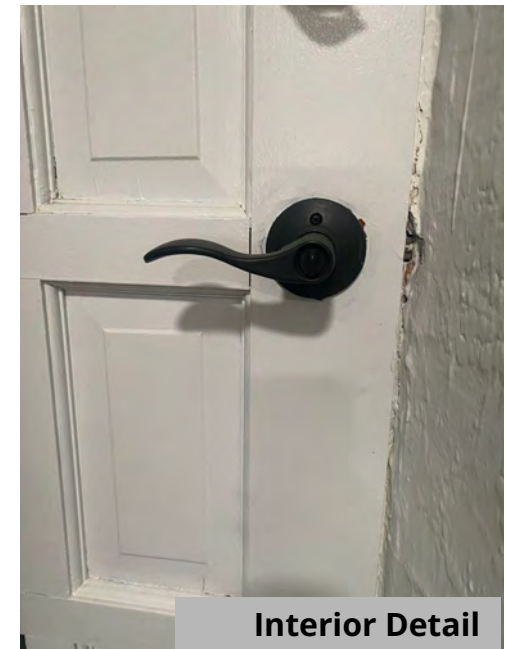
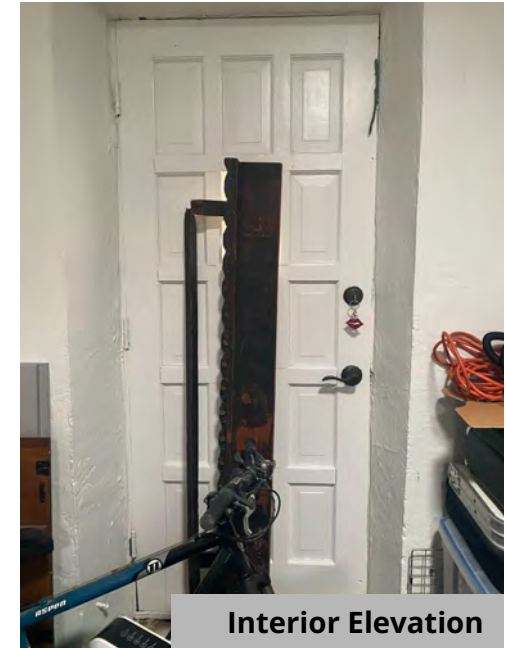


Exterior Detail



Interior Detail

| Door D2 Office | | |
|--------------------------------------|--------------------------------|------------------------|
| INFO | Description | Single with Deco lite |
| | Size | 32"X80" |
| | Type | Single Frame and Panel |
| | Overall Condition | Good |
| Panel | Material | Wood |
| | Moulding Profile | Raised Panel |
| | Bottom Rail | Good Condition |
| | Rails and Stiles | Good Condition |
| | Mullions | Good Condition |
| | Shape | Warped |
| | Paint | Good Condition |
| FRAME | Material | Wood |
| | Moulding Profile | Square |
| | Jamb Condition | Good |
| | Threshold Condition | Fair |
| | Shape | Straight |
| | Exterior Trim and Stops | Poor |
| | Paint Condition | Fair |
| FUNCTION | Operators/Hinges | Poor |
| | Handel/Hardware | Poor |
| | Locks | Poor |
| | Weatherstriping | N/A |
| Notes: Needs Refit and rehang | | |



City of Santa Fe, New Mexico

memo

DATE: February 25, 2025
TO: Historic Districts Review Board
VIA: Heather Lamboy, Planning and Land Use Department Director *HLL*
Maggie Moore, Assistant Director *MM*
Gary Moquino, Historic Preservation Division Manager *GM*
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2025-009916-HDRB, 1010 Camino San Acacio, Downtown and Eastside Historic District, Contributing. Daniel Strongwater, agent for Jeremy and Caroline Rohrich, owner, proposes to construct a 278 sq. ft. casita and covered portal above an existing carport, construct a 175 sq. ft. closet addition on the east elevation, enclose a portal on the south elevation and requests exceptions to 14-5.2(D)(4) to enclose an existing portal and 14-5.2(D)(2)(c) for an addition to the west primary façade.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Primary Façade Diagram

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends conditional approval of the proposed project requesting the skylight on the east façade be non-publicly visible and that all windows meet the 30” rule except those under porches or portals, and finds that the exception criterion has been met, and complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Historic District Design Standards.

BACKGROUND & SUMMARY:

The single-family residence at 1010 Camino San Acacio is listed as contributing to the Downtown and Eastside Historic District with the north and west elevations designated as primary. The 2,874 sq. ft. main residential structure was built on a 0.27-acre lot in the early 1960s. The main structure was built in the Spanish Pueblo Revival architectural style as seen by the adobe and rock foundation construction materials, recessed door and windows, and wooden corbel elements. The structure was built by Mr. Louie Ewing, a well-known artist who lived and worked in Santa Fe from 1935-1983. Mr. Ewing was most well-known for his photographic work for the Laboratory of Anthropology in 1939.

Previous Historic Districts Review Board (HDRB) cases include:

On January 14, 2025, in Case No. 2024-009653-HDRB, the Board adopted staff's recommendation that the house be designated as contributing. The contributing designation was based on the staff report, presentation and the information in the HCPI form. In their decision, the Board moved that the rock wall along the street be designated as contributing and that facades 1 and 9 be designated as primary. Additionally, the Board found that while facade number 2 was not primary, the facade does have distinctive characteristics that are important to be retained, specifically the roof line and the continuation of the corbel patterns on the other facades. The ordinance allows the Board to preserve such characteristic historic features even on non-primary facades. Whereas, on the primary facades (1 and 9), the non-historic windows were excluded from the designation, with the exception of the stained-glass window which is included in the primary facade designation and also specifically recognized as important to the character of the house. Finally, the Board identified the rubble rock foundation as a characteristic worthy of preservation and the openings of the windows are all historic and should be preserved as such.

The current request (Case 2025-009916-HDRB) is for a remodel which includes the following:

- 1) Construct a 278 sq. ft. casita and covered portal above the existing carport.
- 2) Construct a 175 sq. ft. closet addition on the east façade.
- 3) Carport excavation to a ceiling height of 8 ft.
- 4) Parking space remodel with dry-stack retaining wall on the northeast corner of the property.
- 5) Enclose existing upper landing of entry stairway on the west primary façade which adds 98 sq. ft. of conditioned space which requires an exception to 14-5.2(D)(2)(c) addition are not permitted on a primary façade.
- 6) Enclose existing south portal for additional 287 sq. ft. which requires an exception to 14-5.2(D)(4) existing porches and portals shall not be enclosed.



1010 Camino San Acacio: Primary Façade Diagram

Primary Façade: ————

Non-primary Façade: ————

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(2)(c) additions are not permitted to primary facades: The applicant requests an exception to construct an addition to the west primary façade.

(i) *Do not damage the character of the district*

Applicant Response: The enclosure of the Entry and South Portal harmonize with the district and home through re-use of existing architectural detailing, color and material palettes. The South Portal is non-publicly visible, thus not contributing to the public character of the district. The Entry, while visible, is a substantially de-emphasized component of the project, tucked far back from the street up a staircase. The proposed design maintains the important surrounding components of visible corbels, roofline and facade elements while increasing the utility and legibility of the entry by enclosing interior space, providing an improvement that not damaging the character of the district.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The addition to the west primary façade will not adversely affect the contributing status of the structure or the western primary façade. The design accentuates what is currently established.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The Rohrlich family returned to Santa Fe to raise their own children, and care for aging family. They have outgrown the living space and hope to add square footage and year-round utility to the home while maintaining its architectural character. To prevent the financial, emotional and physical hardship associated with leaving this home, the proposed design enables the family to stay in place. The new entry and foyer provide a more practical entry to the house in all seasons, with additional security provided through the closure of an existing opening in the yard wall and more substantial door/entry. The proposed casita is intended for aging family members to be cared for by the family at home. An enclosed connection to the casita is required for this to allow in-home care. Lastly, the homeowners seek to avoid hardship to the community and project site associated with further disturbance to the constrained and inclined project site. Enclosing the portal and entry avoid new excavation while still adding square footage and improve resident access without additional roofed area or new foundation.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The addition to the west primary façade will not adversely affect the contributing status of the structure or the western primary façade, while providing the family the necessary roofed area for their family.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: This proposal balances the family's' desire to reside in the historic district in a house that both maintains its historic character, while also serving their practical needs as a multigenerational family. Through their stewardship, the Rohrlich's will continue to care for the home, strengthening its unique contribution to the character of the neighborhood.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The addition to the west primary façade will not adversely affect the

contributing status of the structure or the western primary façade. The design accentuates what is currently established.

Exception to 14-5.2(D)(4) existing porches and portals shall not be enclosed: The applicant requests an exception to enclose the south portal.

(i) *Do not damage the character of the district*

Applicant Response: The enclosure of the Entry and South Portal harmonize with the district and home through re-use of existing architectural detailing, color and material palettes. The South Portal is non-publicly visible, thus not contributing to the public character of the district. The Entry, while visible, is a substantially de-emphasized component of the project, tucked far back from the street up a staircase. The proposed design maintains the important surrounding components of visible corbels, roofline and facade elements while increasing the utility and legibility of the entry by enclosing interior space, providing an improvement that not damaging the character of the district.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The enclosure of the south portal will not adversely affect the contributing status of the structure. The design accentuates what is currently established.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The Rohrlich family returned to Santa Fe to raise their own children, and care for aging family. They have outgrown the living space and hope to add square footage and year-round utility to the home while maintaining its architectural character. To prevent the financial, emotional and physical hardship associated with leaving this home, the proposed design enables the family to stay in place. The new entry and foyer provide a more practical entry to the house in all seasons, with additional security provided through the closure of an existing opening in the yard wall and more substantial door/entry. The proposed casita is intended for aging family members to be cared for by the family at home. An enclosed connection to the casita is required for this to allow in-home care. Lastly, the homeowners seek to avoid hardship to the community and project site associated with further disturbance to the constrained and inclined project site. Enclosing the portal and entry avoid new excavation while still adding square footage and improve resident access without additional roofed area or new foundation.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The enclosure of the south portal will not adversely affect the contributing status of the structure, while providing the family the necessary roofed area for their family.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: This proposal balances the family's' desire to reside in the historic district in a house that both maintains its historic character, while also serving their practical needs as a multigenerational family. Through their stewardship, the Rohrlich's will continue to care for the home, strengthening its unique contribution to the character of the neighborhood.

Staff Response: Staff has evaluated the applicant's response and finds that the exception criterion has been met. The enclosure of the south portal will not adversely affect the contributing status of the structure. The design accentuates what is currently established.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(4) Compliance with General and Specific Design Standards Required

All *development* located within the historic districts and subject to this Section 14-5.2 shall comply with all applicable general *development* standards set forth in Subsection 14-5.2(D), as well as any applicable specific *development* standards set forth in Subsections 14-5.2(E) through (I).

(5) Exceptions

Staff shall determine whether an exception to this section is required. The historic board may grant an exception to the regulations set forth in this section provided that such exception does not exceed the underlying zoning.

(a) Height

If the *applicant* requests approval of a height in the historic district that exceeds the underlying zoning district requirement, the *applicant* shall first receive an exception to this Section 14-5.2. If approved by the historic board, the *applicant* shall proceed to the board of adjustment or other applicable *city* body for consideration of the proposed variance.

(b) Design Standards and Signage

The board may recommend exceptions to Subsections 14-5.2(D)(1-8, 10-11) and 14-5.2(E) through (I) for construction or alterations within the historic district. The recommendation for exceptions shall be made to the *governing body*. Procedures for public notice and hearing before the *governing body* shall be as set forth in Section 14-3.6(B)(3). Exceptions are *project* specific and do not apply to the subject *property* in perpetuity. If approved by the *governing body*, the inspections and enforcement *office* shall accept and review an *application* for, and issue, as appropriate, a *building permit*. The *applicant* for such exceptions shall conclusively demonstrate and the board shall make a positive finding of fact that such exceptions comply with all the criteria listed as follows:

- (i) Do not damage the character of the district;
- (ii) Are required to prevent a hardship to the *applicant* or an injury to the public welfare; and
- (iii) Strengthen the unique heterogeneous character of the *City* by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
- (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
- (c) Additions are not permitted to *primary façades*.
- (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent

architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.

- (e) The height of additions:
 - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
 - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.

(3) Remodeling to Increase Height; Rooftop Appurtenances

- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)
- (b) For significant and *landmark structures*, *publicly visible* roof top appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings* solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.

(4) Porches and Portals

Existing *porches* or *portals* shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in

composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(6) Roofs

The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.

(8) Archaeological Resources

Discovery of archaeological resources made during the historic districts review process shall be referred to the archaeological review committee.

(9) Height, Pitch, Scale, Massing and Floor Stepbacks

The height, pitch, *scale*, and massing of any *structure* in an historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

(a) Applicability

The following sections identify specific areas and specific *projects* subject to this section. Planning and land use department staff shall determine whether or not properties are included within this section. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

- F. When the proposed *building*, *yardwall*, or fence is located in a *streetscape* that includes no *buildings*, *yardwalls*, or fences, the height of the proposed *building* shall not exceed sixteen (16) feet. *Yardwalls* and fences in this *streetscape* shall not exceed five (5) feet in height.

(c) Height

(ii) In exercising its authority under this section, the board shall limit the height of *structures* as set forth in this section. Heights of existing *structures* shall be as set forth on the official map of *building* heights in the historic districts.

- A. If a proposed *building* has a parapet, the façade shall not be in excess of two (2) feet of the average of the height of the façades in the *streetscape*.
- B. If the proposed *building* has a pitched roof, the ridge height of the proposed *building* shall not be in excess of two (2) feet of the average of the ridge height of the pitched roofs in the *streetscape*.
- C. *Yardwalls* and fences shall be limited to a height that does not exceed the average of the height of other *yardwalls* and fences in the *streetscape*.
- D. Pursuant to Section 14-7.4(C), the height of any other *structure* shall be limited to the allowable *building* height within the applicable *streetscape*, as defined in this section. (Ord. No. 2002-37 § 26)

- E. The height and dimension of signage are as set forth in Section 14-8.10(H).
- F. The board may increase the allowable height for proposed *buildings* and additions located on a sloping site where the difference in the natural *grade* along the *structure's* foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable *streetscape* measured from natural or finished *grade*, whichever is more restrictive. This increase in height shall be constructed only in the form of *building* stepbacks from the *street*.

(d) Pitch

If the determined *streetscape* includes over fifty percent of *buildings* with pitched roofs, the proposed *building* may have a pitched roof. A pitched roof is defined as a gable, shed, or *hipped roof*. The pitch of the roof shall match the predominant pitch extant in the *streetscape*.

(e) Scale

The height of a proposed *building* or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of *buildings* in the applicable *streetscape*, or the *building* on which the addition is proposed.

(f) Massing and Floor Stepbacks

The Board may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the board in making such determinations shall take into account whether the height of the proposed *building*, *yardwall*, fence, or proposed stepback of upper floor levels is in harmony with the massing of the applicable *streetscape* and *preservation* of the historic and characteristic visual qualities of the *streetscape*. The Board shall also require that the *publicly visible* façades of the *structure* be in conformance with Subsections 14-5.2(E) through (H), and in meeting those requirements, may require that different floor levels be stepped back.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
 - (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
 - (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
 - (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
 - (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
 - (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.
- (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located

under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;

- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

DEFINITIONS:

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

Identification

Historic Name(s) of Property, if known

Street Address, if applicable

Building #: 1010

Street Address: Camino San Acacio

City: Santa Fe

County: Santa Fe

**If no Street Address, describe
how to locate:**

Land Status

- Federal
- State (inc. county & municipal)
- Private
- Tribal

State Register Status

**Property listed individually in
State or National Register?**

SR Number:

SR Property Name:

**Property listed individually in
State or National Register
historic district?**

District SR Number:

District Name

NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

Description

Recorder Information

Recording Organization: Chama Environmental Research and Consulting, LLC

Recorder: Berenika Byszewski

Recording Date: 20-Dec-2024

Setting of Property

Select the most appropriate setting: Urban

Describe the physical surroundings of the property:

The property is on a residential unpaved road in the east side of downtown Santa Fe. It is similar to adjacent properties, but the house is more visible due to absence of the tall coyote fences and stucco walls that obscure many other houses on the road. There is a low, stone border wall along the road and narrow strip of grass and landscaping plants, including two small trees, between the front (south) facade and the road. Two rock border walls are located in the back yard that create narrow terraces up the north-facing slope. A two-story carport and storage building is on the west side of the building, attached to the house by a covered walkway and rear wall. The low stone wall and landscaping plants in front of the house post-date photos taken in the 1970s. In 2021, the stone wall was partially demolished on the eastern end to construct a new, short driveway/parking space.

Description of Property

Descriptions of buildings may include but are not limited to its overall shape, number of stories and bays, foundation, construction materials, structural system, roof plan, and interior plan, if known. Descriptions of structures may include but are not limited to its overall shape, dimensions, structural system, number of bays or bents, foundation, and construction materials. Descriptions of objects may include but are not limited to function, overall shape, size, construction materials, foundation, and inscriptions.

General Description: The building is a single-story stucco house with an irregular plan and a semi-attached two-story carport and storage area on the western side. The house has very low-pitched roof with overhanging eaves and decorative wooden corbels on all elevations. The carport/shed has a similar style roof but is a flat or very slightly pitched shed roof. There is a 2-3 ft high rubble foundation around the base of the building.

The style is a unique expression of the Spanish-Pueblo Revival style. Elements of this style include: one-story massing; very low-pitched (almost flat) roof; courtyard-centered plan that works with the natural contours of the lot (south portal and yard, windows set to capture views); large rough-cut rafters in the interior ceilings; corbeled brackets (decorative); and rubble stone construction material.

Descriptions of specific features may include but are not limited to porches, windows, doors, and chimneys.

NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

Description

Specific Features: Windows were replaced in 2021, but those on the north (front) and east elevations are high-set, wide windows similar to the original shape and size of the original windows. The entrance is through a stairway between the house and the carport/portal and not very visible from the road. There is a large stucco interior chimney in the center of the western wall of the house. A 40-ft portal is located on the rear (south) elevation.

Descriptions of decorative elements may include but are not limited to carved features, wrought ironwork, and mass-produced decorative features.

Decorative Elements: Decorative elements include a unique stained-glass window on the front (north) elevation made by Louie Ewing, wooden corbelled brackets under protruding eaves on all elevations of the building, and the rubble stone foundation.

Architectural style(s), if known:

| | Architectural Styles |
|--|------------------------|
| | Spanish Pueblo Revival |

Architect, architectural firm, builder, engineer, and artist, if known: Santa Fe Artist Louie Ewing

Dates of principal construction

From: 1961
To: 1964

Physical changes to the property: Changes to the landscaping in front of the building sometime after the mid 1970s to include landscaping plant and a low rock border wall. Renovations in 2021 included new windows through the house and carport, and construction of a one-car drive/parking spot on the east side of the front of the house.

Changes in the use of the property: Still used as a residence

History of Property, if known: See attachments for history of Artist Louie Ewing and 1974 article about the construction of the house.

NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

Location

UTM Coordinates (NAD 83)

Zone: 13 S

Easting: 416670

Northing: 3948415

Geographic Coordinates

Latitude: 35.676112

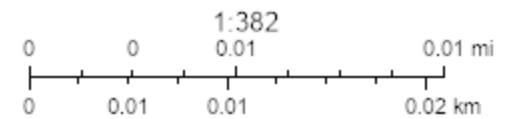
Longitude: -105.920823



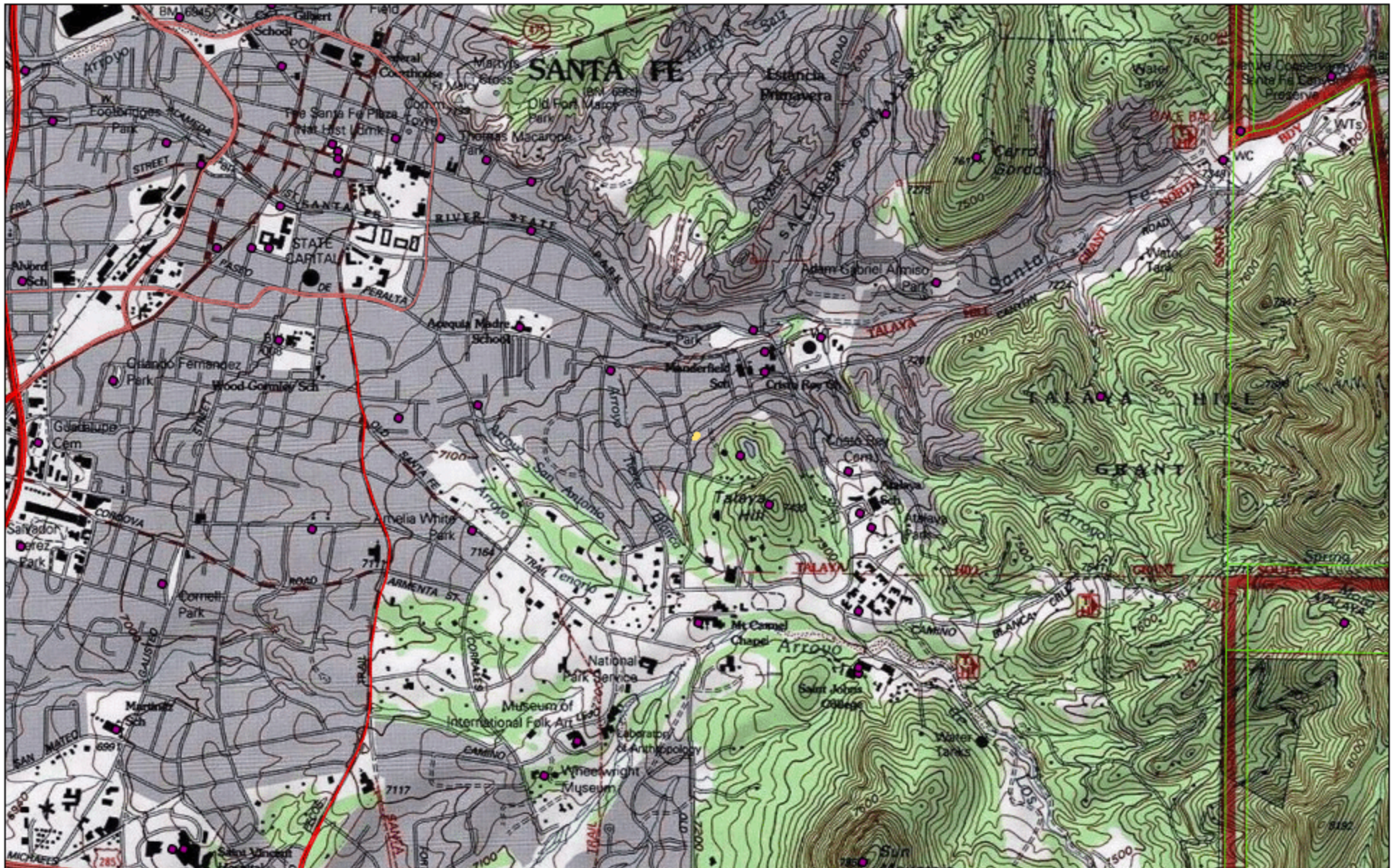
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HCPI55017 NMCRIS No: 157387

 Proposed



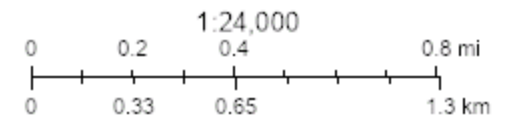
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HCPI55017 NMCRIS No: 157387

 Proposed



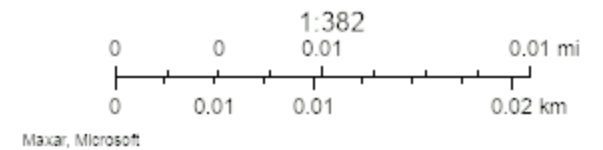
Copyright © 2013 National Geographic Society, I-cubed

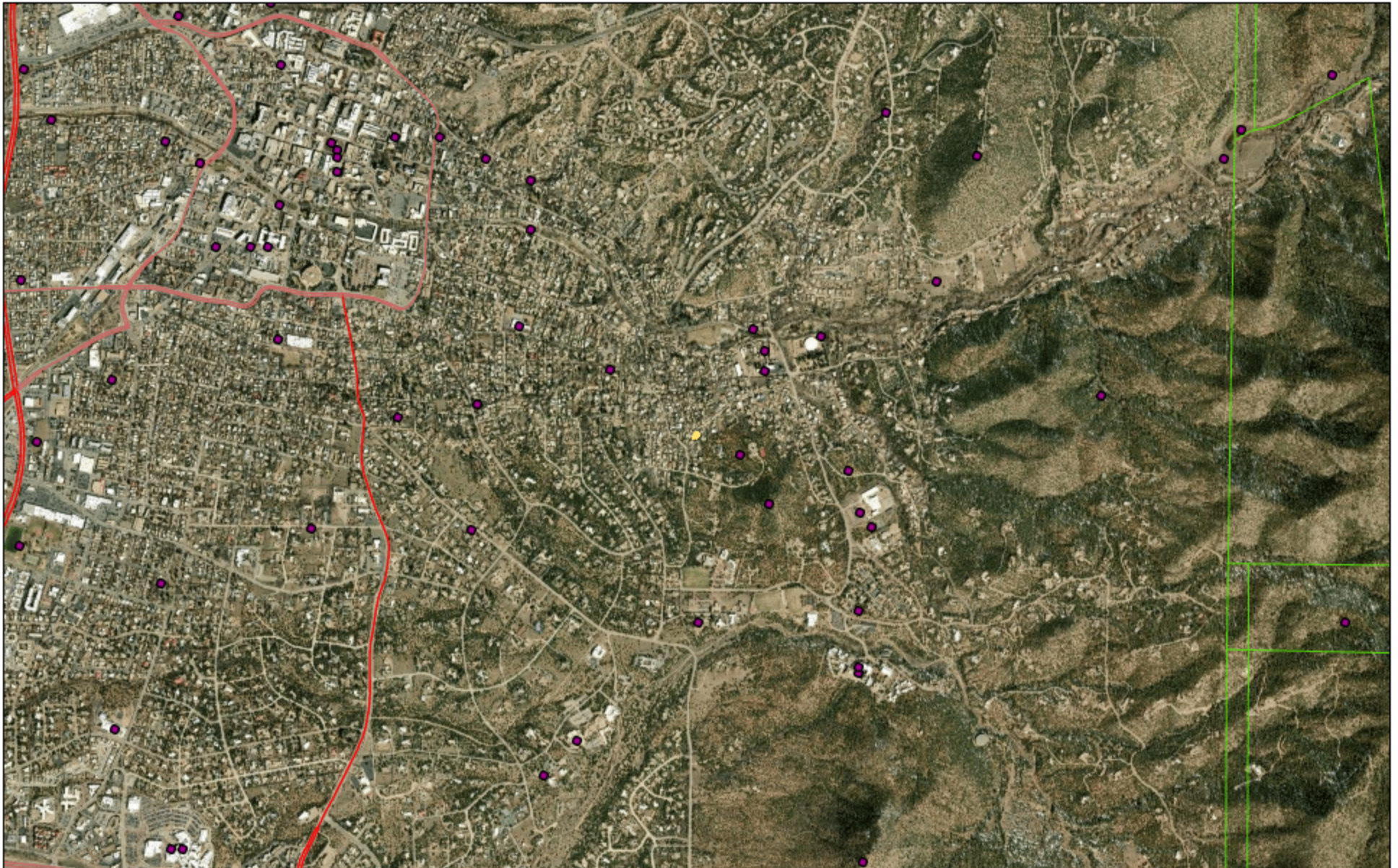


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HCPI55017 NMCRIS No: 157387

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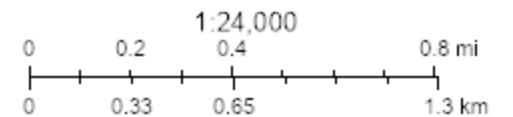




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HCPI55017 NMCRIS No: 157387

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NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

N.R. Evaluation

| | |
|---|---|
| <p>Historic Context: Santa Fe Arts Scene 1930s-1960s</p> <p>Aspects of Integrity: Despite 2021 renovations that replaced all original windows, the building still retains original materials including a raised rubble foundation, decorative corbelled brackets, and a stained-glass window on the front facade. The building retains integrity of setting, design, workmanship, as well as feeling and association with the artist-builder, Louie Ewing.</p> | <p>NMCRIS No: 157387 <input type="checkbox"/> National <input type="checkbox"/> State <input checked="" type="checkbox"/> Local <input type="checkbox"/> Tribal</p> <p>Eligibility Criteria: <input type="checkbox"/> A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> MPL</p> |
| <p>Authority: Recorder Person: Berenika Byszewski</p> <p>Remarks: Although the building contains elements of the Spanish-Pueblo Revival Style, it post-dates the typical c1950 end date of this style by over a decade. Recent 2021 modifications include replacement of windows on the front and side elevations. The building retains sufficient integrity of setting, design, materials, workmanship, feeling, and association to be contributing to the Santa Fe Downtown and Eastside Historic Review District; however, it is not recommended as individually eligible for listing as a good or representative example of the Spanish-Pueblo Revival Style (Criterion C). The house is associated with Louie Ewing, a well-known artist who lived in Santa Fe from 1935 to 1983. Ewing built the house between 1961 and 1964 and lived and worked in it until his death in 1983. The house features a unique stained-glass window on the front façade created by the artist. Ewing was a significant figure in the Santa Fe arts scene beginning in the late 1930s and a pioneer in the artform of serigraphy. As such, the building may qualify for listing under Criterion B, but further research is needed to place the building and the artist in an appropriate historic context.</p> | <p>Evaluation Date: 20-Dec-2024 N.R. Eligible: U</p> |
| <p>HPD Log Number: <input type="checkbox"/> State Register Listed</p> <p>Edited Date: 20-Dec-2024 <input type="checkbox"/> National Register Listed <input type="checkbox"/> Formal Determination</p> | <p>State Register Number:</p> |

NMCRIS Historic Cultural Property Inventory (HCPI) Form

HCPI Number: 55017

NMCRIS No: 157387

Attachments

Documents

| Activity | Attachment Type | Description | Name | File Type | Upload Date | Upload By |
|----------|-----------------|-------------|------|-----------|-------------|-----------|
|----------|-----------------|-------------|------|-----------|-------------|-----------|

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: HCPI No. _____ District No. _____ | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|---|----------|---------|--------|----------|---------------|-------------------|----|--------|---------------|-----------------|---|--------|---------------|--------|---|---------|------|--------|---|-------|---------------|-------------------|---|--------|---------------|----------------|---|---|--|------|-------|----------|--------|-----------|-------|--------------------|---|----------|----------------------|------|---|----------|--|-----------------------|---|---------------|-------------------|-----------------------|---|-----------|----------------|--------------|---|
| | | ___ NRHP | ___ SRCP | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | Criteria ___ A ___ B ___ C ___ D | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1. Name of property: Ewing House 1010 Camino San Acacio | 2. Location: 1010 Camino San Acacio Santa Fe, NM 87501 | 3. Local Reference Number: 05161552A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 4. County: Santa Fe | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 5. Date of Survey: 20 December 2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARCHITECTURAL AND CONSTRUCTION DETAILS: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6. Visible Construction Material: ___ Adobe ___ Brick ___ Composition ___ Concrete: Block ___ Concrete: Cast Stone <u>X</u> Concrete: Poured ___ Earth Plaster ___ Masonry: Simulated ___ Metal: Corrugated ___ Metal: Structural Siding ___ Metal: V-Crimp ___ Stone: Random Ashlar Stone: <u>X</u> Random Coursed ___ Stone: River Rock ___ Stone: Rusticated ___ Stone: Tabular <u>X</u> Stucco ___ Tile: Clay ___ Vinyl Siding ___ Wood: Board and Batten Wood: ___ Horizontal Siding ___ Wood: Jacal ___ Wood: Log ___ Wood: Shingle <u>X</u> Wood: Tongue and Groove ___ Other: | | 7. Number of Stories: ___ N/A Number: ___ 1 <u>X</u> 1 1/2 ___ 2 ___ 2 1/2 Other: _____ | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 8. Foundation: ___ N/A ___ Not visible ___ None ___ At Grade <u>X</u> Raised Materials: ___ Concrete <u>X</u> Stone Other: _____ Notes: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 9. Roof: ___ N/A Shape: ___ Flat <u>X</u> Gabled ___ Hipped ___ Pyramidal ___ Shed Other: Pitch: ___ None <u>X</u> Low ___ Medium ___ Steep Features: <u>X</u> Eave ___ Parapet Materials: <u>X</u> Asphalt ___ Earth ___ Composition shingle ___ Metal: Pressed <u>X</u> Composition Roll ___ Metal: Corrugated ___ Metal: Standing Seam ___ Metal: V- Crimp ___ Tile: Terra Cotta ___ Wood: Shingle Other: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10. Windows ___ N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Operation</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Glazing</th> <th style="width: 35%;">Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Alu Clad Wood</td> <td>2 Pane Horizontal</td> <td style="text-align: center;">14</td> </tr> <tr> <td>Awning</td> <td>Alu Clad Wood</td> <td>2 Pane Vertical</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Awning</td> <td>Alu Clad Wood</td> <td>1 Pane</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Hopper*</td> <td>Wood</td> <td>1 Pane</td> <td style="text-align: center;">2</td> </tr> <tr> <td>Fixed</td> <td>Alu Clad Wood</td> <td>2 Pane Horizontal</td> <td style="text-align: center;">5</td> </tr> <tr> <td>Fixed*</td> <td>Stained Glass</td> <td>Glass & Mortar</td> <td style="text-align: center;">1</td> </tr> </tbody> </table> Notes: *Indicates original window; others replaced 2021 | | Operation | Material | Glazing | Number | Casement | Alu Clad Wood | 2 Pane Horizontal | 14 | Awning | Alu Clad Wood | 2 Pane Vertical | 1 | Awning | Alu Clad Wood | 1 Pane | 1 | Hopper* | Wood | 1 Pane | 2 | Fixed | Alu Clad Wood | 2 Pane Horizontal | 5 | Fixed* | Stained Glass | Glass & Mortar | 1 | 11. Doors ___ N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Type</th> <th style="width: 25%;">Style</th> <th style="width: 25%;">Material</th> <th style="width: 35%;">Number</th> </tr> </thead> <tbody> <tr> <td>One-Leaf*</td> <td>Panel</td> <td>Ptd & Stained Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>One-Leaf</td> <td>1 Panel w/ Adornment</td> <td>Wood</td> <td style="text-align: center;">2</td> </tr> <tr> <td>One-Leaf</td> <td>2 Pane Horizontal glass over 1 solid panel</td> <td>Alu Clad Wood & Glass</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Bypass Slider</td> <td>3 Pane Horizontal</td> <td>Alu Clad Wood & Glass</td> <td style="text-align: center;">2</td> </tr> <tr> <td>One-Leaf*</td> <td>Vertical Plank</td> <td>Painted Wood</td> <td style="text-align: center;">1</td> </tr> </tbody> </table> Notes: *Indicates original door; others replaced 2021 | | Type | Style | Material | Number | One-Leaf* | Panel | Ptd & Stained Wood | 1 | One-Leaf | 1 Panel w/ Adornment | Wood | 2 | One-Leaf | 2 Pane Horizontal glass over 1 solid panel | Alu Clad Wood & Glass | 1 | Bypass Slider | 3 Pane Horizontal | Alu Clad Wood & Glass | 2 | One-Leaf* | Vertical Plank | Painted Wood | 1 |
| Operation | Material | Glazing | Number | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Casement | Alu Clad Wood | 2 Pane Horizontal | 14 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Awning | Alu Clad Wood | 2 Pane Vertical | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Awning | Alu Clad Wood | 1 Pane | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Hopper* | Wood | 1 Pane | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Fixed | Alu Clad Wood | 2 Pane Horizontal | 5 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Fixed* | Stained Glass | Glass & Mortar | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Type | Style | Material | Number | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| One-Leaf* | Panel | Ptd & Stained Wood | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| One-Leaf | 1 Panel w/ Adornment | Wood | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| One-Leaf | 2 Pane Horizontal glass over 1 solid panel | Alu Clad Wood & Glass | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Bypass Slider | 3 Pane Horizontal | Alu Clad Wood & Glass | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| One-Leaf* | Vertical Plank | Painted Wood | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12. Chimneys (describe whether interior or exterior and material) Interior Masonry Chimney/Fireplace Interior Stainless Steel Stove pipe | | 13. Porches ___ N/A Type: <u>X</u> Entry <u>X</u> Partial-Width ___ Full-Width ___ Wrap | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14. Other Significant Feature: Stained glass window on front facade. Decorative corbels along rafter eaves. Exposed random rubble foundation. Interior masonry fireplace. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15. Modifications: ___ No known modifications #1 <u>Seigman Renovation</u> Date: <u>2021</u> Known <u>X</u> Estimated ___ Source: Previous owner / permits | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

HCPI Detail Form (FORM 2)

(Continued from other side)

| | | | | |
|---|---|---|---|--|
| 16. Primary Architectural Style <input type="checkbox"/> Not Applicable | | | | |
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input checked="" type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |
| Notes: <u>Spanish- Pueblo Revival elements typical of owner-built homes of the 60-70s of the neighborhood.</u> | | | | |
| 17. Documents Available and Their Locations | | | | |
| CERTIFICATE OF SURVEY AND CONSENT TO RESUBDIVISION OF PLATTED TRACTS, recorded March 28, 1930, Instrument # 566024, Santa Fe County, New Mexico. | | | | |
| "Plat of Boundary Survey prepared for The W.E. Lewis, Jr. and K.C. Lewis Trust and David Neidorf", recorded 21 Dec 2020, Document # 1938028, Book 872, Pg 1, Santa Fe County, New Mexico. | | | | |
| WARRANTY DEED, WILLARD .E LEWIS, JR. AND KAY C. LEWIS to WILLARD E.LEWIS, JR. AND KAY CARSON LEWIS TRUST UTA, recorded 29 June 2000, Instrument # 1121874, Santa Fe County, New Mexico. | | | | |
| Plat of Boundary Survey prepared for The W.E. Lewis, Jr. and K.C. Lewis Trust and Alan Ortiz Seligman, recorded 22 Dec 2020, Book 872, Page 5, Document # 1938233, Santa Fe County, New Mexico | | | | |
| WARRANTY DEED for Alan Ortiz Seligman & Robert Presson to Jeremy Rohrlrich and Caroline Rose Grant, 12 May 2022, Document #1988372, Santa Fe County, New Mexico | | | | |
| "LOUIE EWING HOUSE" in The Santa Fean, Mar 1974, Pages 4-5 | | | | |
| S I T E : | | | | |
| 18. Attached or Associated Properties | | | | |
| None | | | | |
| Are associated properties eligible for listing? No | | | | |
| 19. Site Plan: | | | | |
| See Attached 'Plat Boundary Survey prepared for The W.E. Lewis and K.C. Lewis Trust and Alan Ortiz Seligman' | | | | |
| PLEASE INCLUDE: | | | | |
| <ul style="list-style-type: none"> - Footprint of building - Porches and balconies - Major landscape features - North arrow - Associated properties - Walls, fences, gates - Nearby roads - Driveways | | | | |
| NOTES: | | | | |

| | | |
|--|---|---|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ | ___ NRHP ___ SRCP Criteria __A__B__C__D |
| 1. Name of property: Ewing House 1010 Camino San Acacio | 2. Location: 1010 Camino San Acacio Santa Fe, NM 87501 | 3. Local Reference Number: 05161552A 4. County: Santa Fe 5. Date of Survey: 11 December 2024 |

Historical Overview

The house at 1010 Camino San Acacio was built by the owner over a three year period from 1961-1964. It remains today in m same footprint and updates in 2021, having passed through only 3 other owners.

Louie Ewing designed and constructed the house over a 3-year period from 1961-1964 with help from his son and a few trades for specific tasks such as plastering. The house is sited for solar efficiency and its' unique views of the city and mountains. Louie dug and constructed a rubble foundation with locally sourced rock, both on the property and with the help of the crew concurrently digging a sewer down Camino San Acacio. The most prized rocks were saved for the interior hearth and chimney.

The walls were built of masonry blocks filled with pumice for insulation, and the beams and rafters of the low-pitch eaved roof were sourced locally. Ewing's artistry shows in the decorative corbels anointing each rafter tail, and in the stained glass window that remains in the primary bathroom, made of thick glass in numerous colors, chipped to reveal facets and cast in mortar.

In the 2021 renovation, original opening locations were retained, however glazing dimensions were shrunk, with most original windows and doors replaced with modern double paned aluminum clad wood units. Original openings are evident in the stucco. The stained glass window, and exterior gates at the top of the main stair remain original, as well as the wooden corbels throughout. The rubble foundation remains visible and in good shape.

Inside, the home retains its original layout, with original wooden ceilings and masonry hearth. The kitchens, bathrooms and floors have been updated, with a new slab poured in 2021.

Facade Descriptions

NORTH

The North facade features long horizontal proportions with a stone yard wall in front of an exposed band of random coursed stone rubble foundation, and a blank brown elastomeric stucco wall with asymmetric placement of long horizontal windows with horizontal lite divisions. The facade is broken up by a single vertically oriented site-built stained glass window with small hopper windows above and below the stained glass—the most significant feature of this home. A recently-veneered brick clad stair abuts the East side of the rectangular mass of the home leading to a de-emphasized entry beneath a covered portal, connecting a small storage unit above a large carport to the home's roofing mass.

The carport and storage above were clearly given less effort than the home's attention to detail, yet feature the same decorative corbels.

EAST

The west facade is largely hidden from public view featuring numerous stucco'ed retaining walls, and recently modified doors and windows. Decorative corbels on the eaves remain the only significant historical feature on this facade.

SOUTH

A large portal dominates the South facade with its original detailing of wood post and beam construction. All window and door openings have been updated with modern doors and windows in 2021. These are non-publicly facing, and feature long horizontal lite divisions.

WEST

The East facade of the home features a very large window capturing views of the mountains on its North end mimicking the shape and orientation of the hearth to its South on the same wall. The stone hearth is not visible from the exterior. This glazing has been updated in 2021 with modern aluminum clad glazing units, but retains its operation and dimensions.

The other East facade of the carport/storage is largely obscured by its proximity to the lot-line which features a large stucco wall. There are no windows or doors, and electrical service equipment makes this the least significant facade.

| | | |
|--|--|---------------------------------------|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ | ___NRHP ___SRCP Criteria __A__B__C__D |
| 1. Name of property: Ewing House 1010 Camino San Acacio | 2. Location: 1010 Camino San Acacio Santa Fe, NM 87501 | 3. Local Reference Number: 05161552A |
| | | 4. County: Santa Fe |
| | | 5. Date of Survey: 11 December 2024 |

Owners

The home was constructed by its first owners, Louie & Virginia Ewing in the early 1960s. The Ewings continued to live in the home until Louie's death in 1983, and Virginia's sale of the house to Willard & Kay Lewis in the mid-1980s. The Lewis' continued to reside in the home until they sold it in 2021 to Boulder-based developer Alan Seligman Ortiz, who renovated the home and sold it to the current owners, Jeremy & Caroline Rohrlich in 2022.



About Louis Ewing

Louie Ewing was born in Pocatello, Idaho. In 1933 he moved to California and studied art in a junior college, then followed his art professor, Stanley Breneiser, to Santa Fe in 1935. There they both taught at the newly organized Eidolon Art School, which unfortunately closed after one year due to creative differences and death of the primary funder in an airplane accident.¹

Ewing went on to teach alone until that work dried up and he was offered a job engraving with Russell Vernon Hunter who had been given funding from the WPA's Federal Art Project. In the late 1930s the Washington, D.C. headquarters of the Federal Art Project sent Russell a group of materials on the process of silk screening with encouragement to spread the technique in the Southwest. Ewing became a pioneer in silkscreening, experimenting with homemade tools until manufacturers reached out for feedback and they invented appropriate squeegees and inks.

Santa Fe New Mexican, Aug 17, 1969, Page 23

Louie Ewing is viewed by some to be one of the first artists in the United States to



Portfolio of Navajo Blankets, Roswell Museum & Art Center [RMAC](#)
[#1950.004.0001](#)



Portfolio of Navajo Blankets, Roswell Museum & Art Center [RMAC](#)
[#1950.004.0006](#)



Portfolio of Navajo Blankets, Roswell Museum & Art Center [RMAC](#)
[#1950.004.0013](#)

¹ Oral history interview with Louie H. Ewing, Transcript. Smithsonian Archives of American Art. 7 Jan 1964.

| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
|--|--|---|
| HCPI No. _____ | District No. _____ | NRHP ___ SRCP ___ Criteria ___A___B___C___D |
| 1. Name of property: Ewing House 1010 Camino San Acacio | 2. Location: 1010 Camino San Acacio Santa Fe, NM 87501 | 3. Local Reference Number: 05161552A |
| | | 4. County: Santa Fe |
| | | 5. Date of Survey: 11 December 2024 |

"work creatively with serigraphy" on posters and book illustrations. He also did many landscape paintings of New Mexico. Perhaps his most notable work was a reproduction of Navajo blankets as prints for the Laboratory of Anthropology in 1939. With WPA funding, Kenneth Chapman, curator of the Laboratory, collaborated with Ewing to make prints of his original paintings of fifteen Navajo blankets. The fifteen silk screens were each printed 200 times and the resulting portfolios were distributed to libraries, universities and museums.²³

Ewing continued a prolific career in serigraphy, landscape paintings of New Mexico, and numerous other media including watercolor, gouache, oil, stained glass, tile, sculpture. Ewing did not seek to acquire fame in the art world. His exhibitions were almost all confined to New Mexico.

Modifications

The 2021 update made a significant modification to the original home removing many character defining features of the home in service of more efficient windows and doors, and desires of the current real estate market.

The opening sizes on all facades have been altered, with the stained-glass window being the only original window remaining. The only original doors are those entering the backyard and the storage unit from under the front portal, both of which do not appear to have received significant thought or attention from Ewing in the original construction.

Based on the current state of the home, the north facade of the home is likely the only remaining significantly contributing façade (to the Santa Fe Downtown and Eastside Historic Review District). It's exposed rubble foundation, decorative corbels and stained-glass window define the home.



The Santa Fe New Mexican Mon, Mar 15, 1948
Page 10

² Louie Ewing — Nedra Matteucci Galleries. Biography. Accessed 12 Dec 2024. <https://www.matteucci.com/louie-ewing>

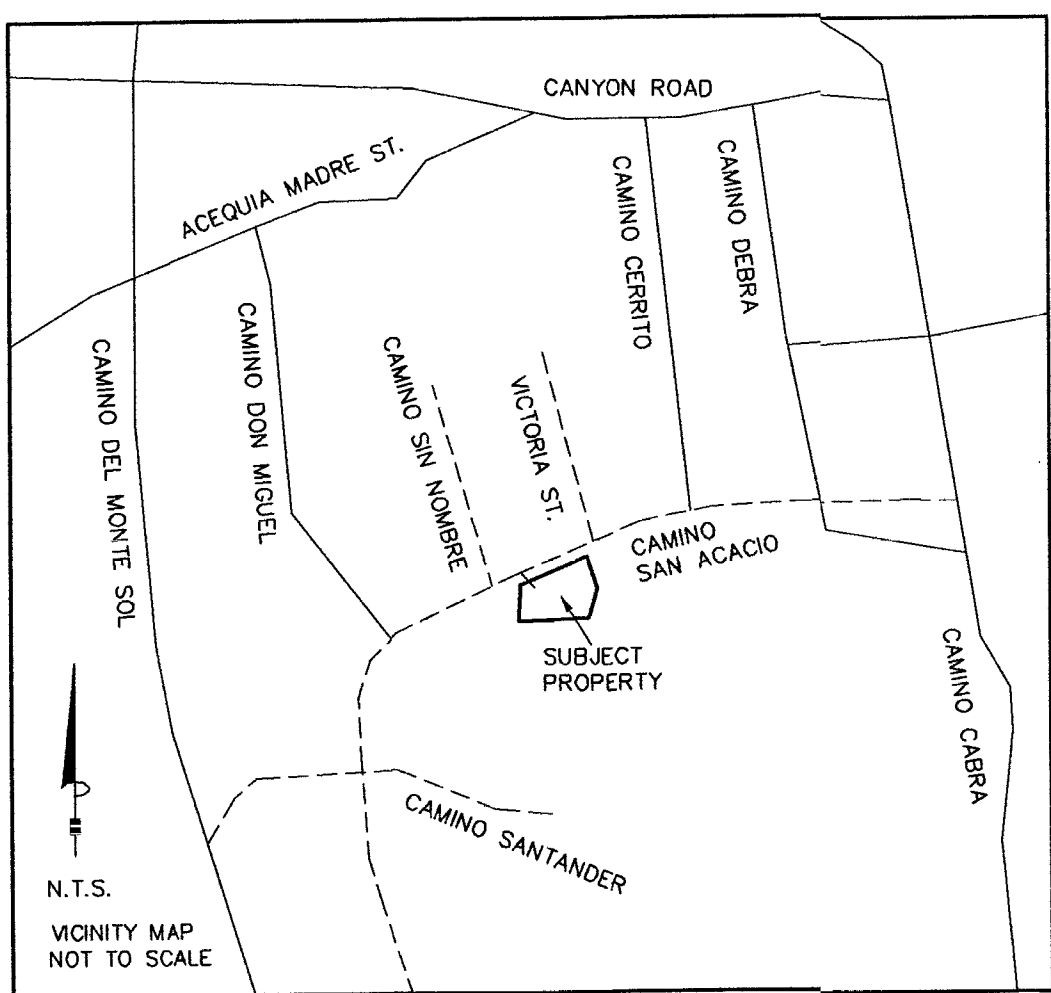
³ Portfolio of Navajo Blankets. Roswell Museum and Art Center, New Mexico Centennial Project. 1935-1939. Accessed 12 Dec 2024. <https://econtent.unm.edu/digital/collection/roswell/id/290/rec/9>

Plat of Boundary Survey prepared for The W.E. Lewis, Jr. and K.C. Lewis Trust and Alan Ortiz Seligman

BOUNDARY SURVEY OF LOT 1 OF THE L.H. EWING SUBDIVISION LAST DESCRIBED ON SURVEY FILED IN SANTA FE COUNTY CLERK INSTRUMENT NO. 566,024 SAID PROPERTY LYING AND BEING WITHIN THE SANTA FE GRANT PROJECTED NORTH 1/2 SECTION 30, T17N, R10E, NMPM SAID LOT 1 LOCATED AT NO. 1010 CAMINO SAN ACACIO IN THE CITY OF SANTA FE COUNTY OF SANTA FE, STATE OF NEW MEXICO

CITY OF SANTA FE PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.



SURVEYORS NOTES

- NOTE: THIS SURVEY IS BEING FILED TO CHANGE THE NAME OF THE PROPOSED BUYER ON THE TITLE AND TITLE BLOCK. NO OTHER CHANGES WERE MADE TO THE PLAT FILED ON DECEMBER 21, 2020, IN PLAT BOOK 872, PAGE 1.
- SFC ASSESSOR UPC NO. FOR LOT 1: 1-055-098-246-320.
- COMMITMENT FOR TITLE INSURANCE ON LOT 1 ISSUED BY PRIMA TITLE, LLC FILE NO. 20-1144.
- DATE OF FIELD SURVEY: OCTOBER 13, 2020.
- THIS PROPERTY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD.
- THE DATA WITHIN PARENTHESIS IS RECORD DATA TAKEN FROM THE REFERENCE DOCUMENT NOTED WITHIN SAID PARENTHESIS.
(R1-DATA) IS TAKEN FROM REFERENCE DOCUMENT NO. 1 AS NOTED HEREON.
(R2-DATA) IS TAKEN FROM REFERENCE DOCUMENT NO. 2 AS NOTED HEREON.

DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS TO RECORDING-FILING DATA ON DOCUMENTS OBTAINED FROM THE OFFICE OF SANTA FE COUNTY CLERK.

- SURVEY ENTITLED "SURVEY FOR MRS. L.H. EWING, 1010 SAN ACACIO...", BY J.G. HORNE NMPS NO. 889, FILED ON APRIL 26, 1985, IN MISC. BOOK 519, PAGES 281-284, AS DOCUMENT NO. 566,024 AS DOCUMENT ENTITLED "CERTIFICATE OF SURVEY AND CONSENT TO RESUBDIVISION OF PLATTED TRACTS...LOT 1 AND LOT 2"
- SURVEY ENTITLED "LOT LINE ADJUSTMENT FOR THE SARAH M. NOLAN 1998 TRUST...", BY P.A. ARMIJO NMPS NO. 13604, FILED ON AUG. 23, 2012, IN PLAT BOOK 749, PAGE 005, AS DOCUMENT NO. 1679,123.
- WARRANTY DEED-LOT 1, W.E. LEWIS, JR. AND K.C. LEWIS TO THE WILLARD E. LEWIS, JR. AND KAY CARSON LEWIS TRUST, FILED ON JULY 3, 2000, IN MISC. BOOK 1783, PAGE 823, AS DOCUMENT NO. 1121,874.
- SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR THE W.E. LEWIS JR. AND K.C. LEWIS TRUST ...", BY P.A. ARMIJO, FILED ON DECEMBER 21, 2020, IN PLAT BOOK 872, PAGE 001, AS INSTRUMENT NO. 1938,028.

SURVEYORS CERTIFICATION

I, PAUL A. ARMIJO, CERTIFY THAT I AM NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 13604, AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION ON OCTOBER 13, 2020 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

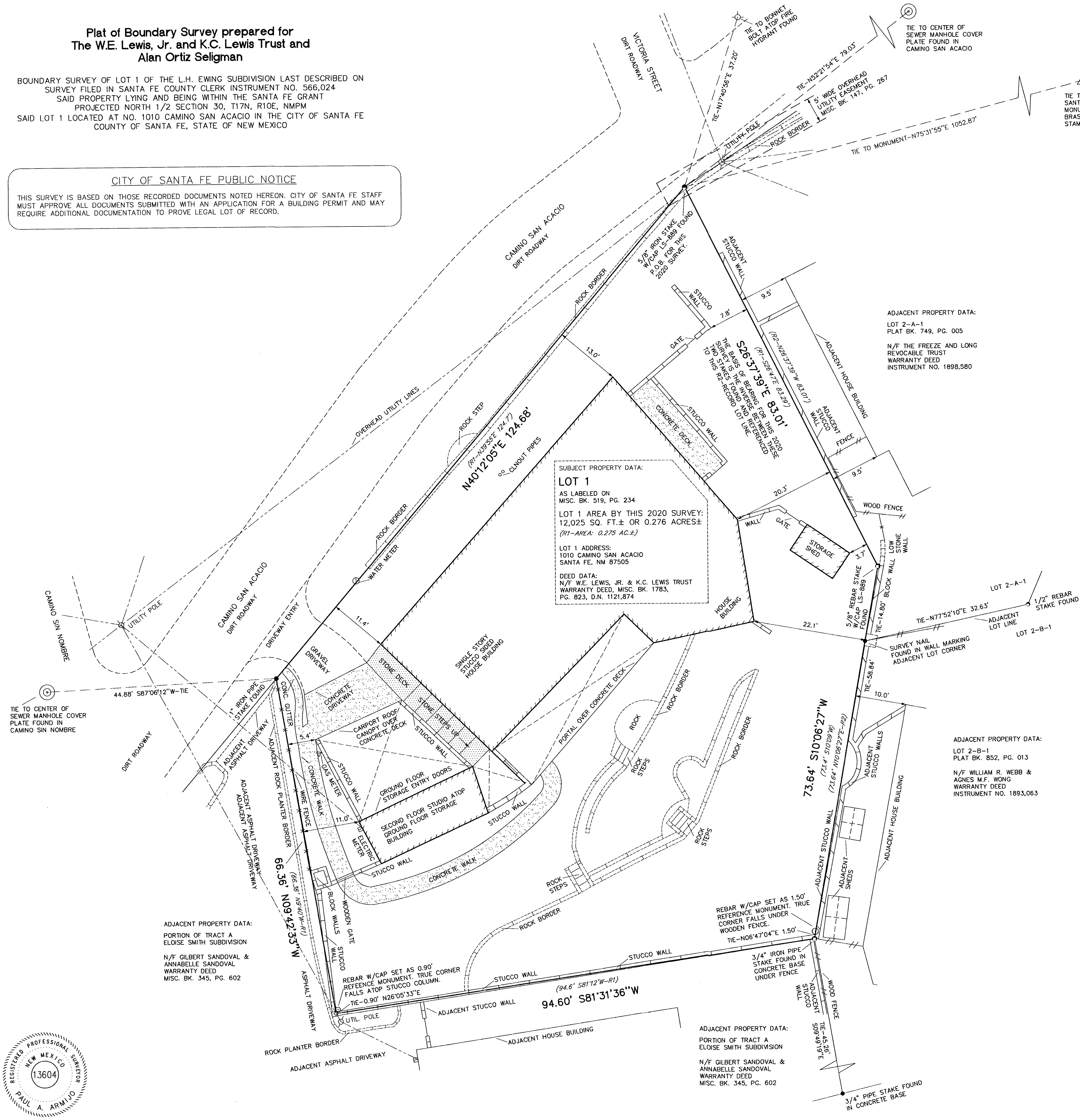
Paul A. Armijo DEC. 22, 2020

PAUL A. ARMIJO, N.M.P.S. NO. 13604

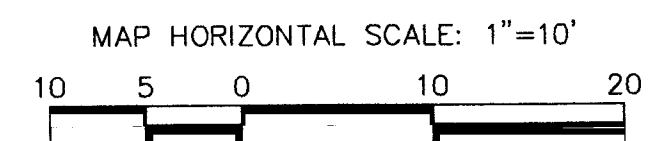


ADJACENT PROPERTY DATA:
PORTION OF TRACT A
ELOISE SMITH SUBDIVISION
N/F GILBERT SANDOVAL &
ANNABELLE SANDOVAL
WARRANTY DEED
MISC. BK. 345, PG. 602

SUBJECT PROPERTY DATA:
LOT 1
AS LABELED ON
MISC. BK. 519, PG. 234
LOT 1 AREA BY THIS 2020 SURVEY:
12,025 SQ. FT. ± OR 0.276 ACRES ±
(R1-AREA: 0.275 AC. ±)
LOT 1 ADDRESS:
1010 CAMINO SAN ACACIO
SANTA FE, NM 87505
DEED DATA:
N/F W.E. LEWIS, JR. & K.C. LEWIS TRUST
WARRANTY DEED, MISC. BK. 1783,
PG. 823, D.N. 1121,874



TIE TO SURVEY MONUMENT
SANTA FE CONTROL
MONUMENT NO. 73
BRASS DISC IN CONCRETE BASE
STAMPED NOV. 1981-NM.L.S. 5834



- MAP LEGEND
- - SURVEY MONUMENT FOUND
SEE MAP FOR DESCRIPTION
 - - SURVEY MONUMENT SET
1/2" REBAR STAKE W/CAP
STAMPED ARMIJO-13604
 - - RECORD SURVEY CORNER
NO MONUMENT FOUND
 - N/F - NOW OR FORMER
PROPERTY OWNER
 - - UTILITY POLE WITH
OVERHEAD UTILITY
UTILITY LINES
 - ==== - STUCCO WALL
 - /// - WOOD FENCE
 - x--- - WIRE FENCE

ADJACENT PROPERTY DATA:
LOT 2-A-1
PLAT BK. 749, PG. 005
N/F THE FREEZE AND LONG
REVOCABLE TRUST
WARRANTY DEED
INSTRUMENT NO. 1898,580

ADJACENT PROPERTY DATA:
LOT 2-B-1
PLAT BK. 852, PG. 013
N/F WILLIAM R. WEBB &
AGNES M.F. WONG
WARRANTY DEED
INSTRUMENT NO. 1893,063



Document No. 1938233

COUNTY CLERK'S INSTRUMENT BLOCK
COUNTY OF SANTA FE, STATE OF NEW MEXICO
I hereby certify that this instrument was filed
for record on the 22 day of December, A.D. 2020
at 11:45 o'clock a.m., and was duly recorded in
Book 872, Page 05 of the Records of
Santa Fe County
Witness my Hand and Seal of Office
GERALDINE SALAZAR
County Clerk, Santa Fe County, New Mexico

Geraldine Salazar
CLERK

| |
|---|
| INDEXING INFORMATION FOR COUNTY CLERK |
| SFC ASSESSOR UPC NO. FOR LOT 1: 1-055-098-246-320 |
| OWNER: THE W.E. LEWIS, JR. & K.C. LEWIS TRUST WARRANTY DEED, INSTRUMENT NO. 1783,823 |
| LOCATION: LOT 1 OF THE L.H. EWING SUBDIVISION, INST. NO. 566,024 LYING AND BEING SITUATE WITHIN THE SANTA FE GRANT PROJECTED NORTH 1/2 SECTION 30, T17N, R10E, NMPM ADDRESS: 1010 CAMINO SAN ACACIO CITY OF SANTA FE, COUNTY OF SANTA FE STATE OF NEW MEXICO |

ARMJO SURVEYS INC.
PAUL A. ARMIJO N.M.P.S. NO. 13604
P. O. BOX 24438, SANTA FE, NM 87502-9438
PH. (505) 471-1955 FAX. (505) 471-1925

PLAT OF BOUNDARY SURVEY PREPARED FOR
THE W.E. LEWIS, JR. AND K.C. LEWIS TRUST AND
ALAN ORTIZ SELIGMAN

DRAWN BY P.A.A. DATE OCT. 2020
SURVEY NO. 2020303-2 SHEET NO. 1 OF 1

| | | |
|--|---|-------------------------------|
| Parcel number 3-87-84 | City/county Santa Fe | Parcel ID 05161552A |
| STND-6-1552 A | Reference easting zone 12 13 | Reference northing |
| Physical description 1010 San Acacio | | City/town Santa Fe |
| Legal description | | Land grant/reservation |
| 1010 San Acacio | Legal description town 13 range 12 sec 1 | |
| 1010 San Acacio | Legal description | |



date of construction
P estimate _____ actual _____

source
BD

use
present residential
other _____

historic residential
other _____

condition
_____ excellent _____ good
_____ fair _____ deterioration

degree of remodeling
_____ minor _____ moderate _____ major

description

style

foundation material

wall material/surface

architectural features

notes

surroundings
Res

relationship to surroundings
 similar _____ not similar

district potential
_____ yes _____ no

significance
_____ eligible _____ of none

if eligible, interest

why? **N.C. DATE**

repaired buildings? _____ yes
what type?

if inventoried, list ID non.

is back? _____ yes

LOUIE EWING HOUSE

"YOU REALLY HAVE
TO HAVE A LOT OF
NERVE TO BUILD
A HOUSE BY
YOURSELF."



The Ewings in living room.

Louie Ewing, distinguished painter and serigrapher and long-time Santa Fean spent his free time from 1961 to 1964 building the house where he and his wife, Virginia, live. Their first meal there, a festive picnic supplied by friends, was spent huddled cozily in a corner while rain poured into the still roofless house. A roaming dog dashed in through the half-open portal door to get out of the wet and, once inside, shook itself in dismay upon observing that the rain was as heavy inside as out. It fled from room to room looking up in puzzlement and howling mournfully while the unfeeling picnickers laughed.

This is the second and largest house which Louie has built but he remarks, "You really have to have alot of nerve to build a

house by yourself." As a youngster he helped his father, "a good craftsman", to build the various outbuildings needed on a farm and later worked during summer vacations for construction companies.

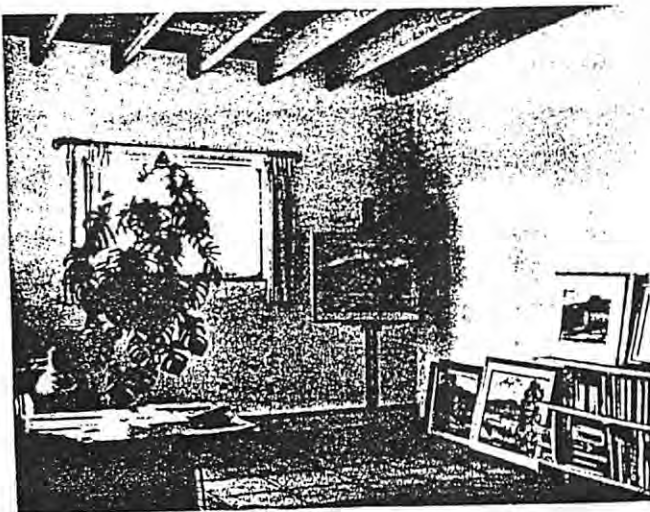
Louie's labors on his present home were slowed considerably at every step because he knows everyone in the neighborhood and whoever came along the road below Louie's hill had to stop and chat and examine his progress. As the months went by neighbors would holler up at him, "Hey, Louie, pretty soon Christmas, better hurry! "

Just as Louie had finished digging trenches for his foundation along came men and machines to dig up the road for a new water line. The rocks the men heaved out were perfect for Louie's foundation fill and walls. When especially fine stones turned up, the workmen, knowing Louie's need, would yell for him to come and haul them away, and they took as much pride in their suitability for a good fit as did Louie.

He and Virginia made a cardboard scale model of the house and with squares for partitions they worked out the proper proportions and arrangements of rooms in relation to one another. Using the scale model, they also determined the correct orientation of rooms, windows and doors for sunlight and air flow in all seasons of the year.

The finished house gets maximum light and heat from the winter sun, and a 40 foot long portal facing a radiant garden on the south protects the house from summer heat. High-set wide windows look out upon magnificent far views to the west, the east and the north.

When Louie raised his block walls, filled with pumice, to a respectable height a chipmunk appeared and appointed itself fore-



Gallery wing of living room.

man of the operation. As soon as Louie came to work the chipmunk would pop out of an unfilled block and scamper back and forth, squeaking commands. The chipmunk was not, however, the arrogant, dictatorial field marshal the plasterer turned out to be. This man did a masterly job but permitted no visitors, no suggestions and no comments. He threw down so many cigar stubs with attached plastic holders around the house that Louie never bothered to pick them up, just paved them in beneath the square, red-brown, concrete tiles he made for the flooring.

Louie built a fireplace and chimney in the big gallery-living room with rocks which he selected and dug out from his own hillside. He and his son, Mark, raised the level ridge beam for the slightly pitched roof in sections, drawing up each section with ropes, first at one end then the other to rest them on the supporting walls. The ridgepole sections, fastened together, run the 70 foot length of the house above the 11 foot high ceilings.

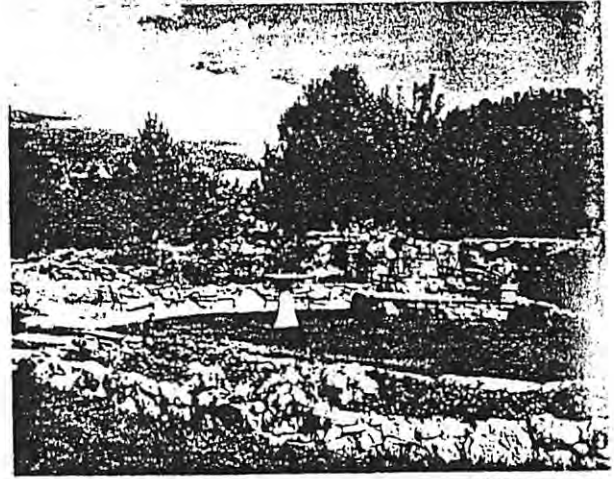
The four by eight inch ceiling beams and the boards of the ceiling are of unfinished lumber. Louie and Virginia tried to paint the wood with brushes but it was impossible and they ended by spraying on a mixture of raw umber "and gallons and gallons of a sealer", choking and gasping and spattering. This messy task was of course done before the arrival of the haughty and disapproving plasterer.

The master bedroom, 15 by 23 feet, is a splendidly bright place with an entire wall of convenient closets and storage cabinets which Louie built. A wide north window near a big corner fireplace looks out over the city, and an eastern window frames foothills and mountains.

Louie made and set in a five-foot long jewel toned stained glass window in the master bathroom, chipping the edges "to make interesting facets", and built a wall of convenient cabinets in the kitchen, cupboards on the opposite wall and beneath the "pass-through" shelf opening into the dining room.

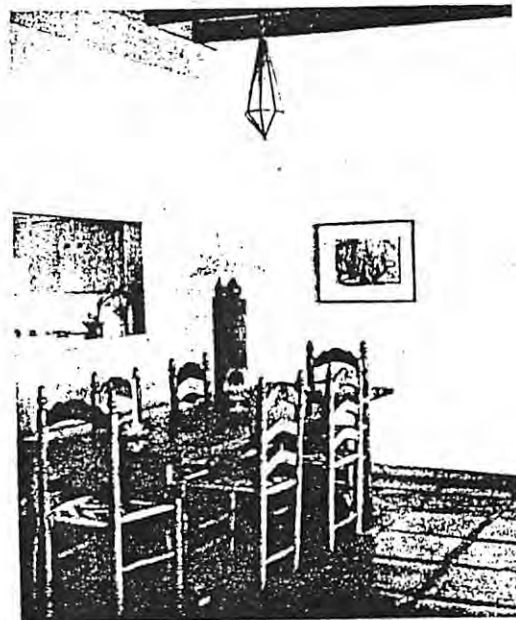
He delighted Virginia by fashioning a three by five foot table set in the center of the kitchen. It has a long spice shelf above it and the table is so thick that even when Virginia uses it as a chopping board it is not marred. Here is where she kneads the many different sorts of bread for which she is famous.

Louie's studio, 14 by 20 feet, holds, besides his easel and silk screen drying racks, a marvelous old dentist's cabinet. It has so many little drawers in it that after he has carefully put away paints, nails, screws and odds and ends, Louie has to go through every one of these "handy" storage drawers searching for what he needs.



Hillside garden.

The Ewings' big, bright, comfortable home was best described by the late poet, Witter Bynner, who, when he first stepped inside it, looked around in delight and exclaimed, "Why, this house opens its arms to you!"



Pass-through counter into kitchen.



The Stiha Studio & Gallery

LA FONDA HOTEL
ENTRANCE FROM HOTEL
FROM SHELBY STREET OR
MAIN ENTRANCE ON WATER STREET

TEL. (505) 983-6145 - SANTA FE, NEW MEXICO 87501

WESTERN ART . . . SCULPTURE

Uniform Residential Appraisal Report

0001124
File # 0001124

The purpose of this summary appraisal report is to provide the lender/client with an accurate, and adequately supported, opinion of the market value of the subject property.

Property Address 1010 Camino San Acacio City Santa Fe State NM Zip Code 87505-5955
 Borrower Lewis Owner of Public Record Lewis County Santa Fe
 Legal Description Lot 5 Block 1
 Assessor's Parcel # 1-055-098-246-320 Tax ID # 10705536 Tax Year 2005 R.E. Taxes \$ 1,861.12
 Neighborhood Name Eastside Map Reference smsa 7490 Census Tract 0005.00
 Occupant Owner Tenant Vacant Special Assessments \$ 0.00 PUD HOA \$ Na per year per month
 Property Rights Appraised Fee Simple Leasehold Other (describe)
 Assignment Type Purchase Transaction Refinance Transaction Other (describe)
 Lender/Client Charter Mortgage Address 208 Washington Avenue, Santa Fe, NM 87501
 Is the subject property currently offered for sale or has it been offered for sale in the twelve months prior to the effective date of this appraisal? Yes No
 Report data source(s) used, offering price(s), and date(s). Multiple Listing Service

I did did not analyze the contract for sale for the subject purchase transaction. Explain the results of the analysis of the contract for sale or why the analysis was not performed. Refinance
 Contract Price \$ Refinance Date of Contract Na Is the property seller the owner of public record? Yes No Data Source(s) County Assessor
 Is there any financial assistance (loan charges, sale concessions, gift or downpayment assistance, etc.) to be paid by any party on behalf of the borrower? Yes No
 If Yes, report the total dollar amount and describe the items to be paid.

Note: Race and the racial composition of the neighborhood are not appraisal factors.

| Neighborhood Characteristics | | | One-Unit Housing Trends | | | One-Unit Housing | | | Present Land Use % | |
|---|--|--|-------------------------|---------------------------------------|---|------------------|-------|----------|--------------------|---|
| Location | <input checked="" type="checkbox"/> Urban | <input type="checkbox"/> Suburban <input type="checkbox"/> Rural | Property Values | <input type="checkbox"/> Increasing | <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining | PRICE | AGE | One-Unit | 100% | % |
| Built-Up | <input checked="" type="checkbox"/> Over 75% | <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25% | Demand/Supply | <input type="checkbox"/> Shortage | <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply | \$ (000) | (yrs) | 2-4 Unit | | % |
| Growth | <input type="checkbox"/> Rapid | <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow | Marketing Time | <input type="checkbox"/> Under 3 mths | <input checked="" type="checkbox"/> 3-6 mths <input type="checkbox"/> Over 6 mths | 270 | Low | New | Multi-Family | % |
| Neighborhood Boundaries Eastside marketing area street boundaries include Artists Road = north, Paseo Peralta = west, Old Santa Fe Trail = east, and the Saint Michaels Drive = south | | | | | | 3,540 | High | 31+ | Commercial | % |
| Neighborhood Description See additional comment section | | | | | | 589 | Pred. | 31+ | Other | % |

Market Conditions (including support for the above conclusions) See additional comment section

Dimensions See the attached plat of survey Area .275 Acre +- Shape Irregular see plat View Typical for area
 Specific Zoning Classification Residential Zoning Description Single family residential
 Zoning Compliance Legal Legal Nonconforming (Grandfathered Use) No Zoning Illegal (describe)
 Is the highest and best use of subject property as improved (or as proposed per plans and specifications) the present use? Yes No If No, describe

Utilities Public Other (describe) Public Other (describe) Off-site Improvements - Type Public Private
 Electricity Water Street Paved
 Gas Sanitary Sewer Alley None
 FEMA Special Flood Hazard Area Yes No FEMA Flood Zone C FEMA Map # 3500700009B FEMA Map Date 7/2/1980
 Are the utilities and off-site improvements typical for the market area? Yes No If No, describe
 Are there any adverse site conditions or external factors (easements, encroachments, environmental conditions, land uses, etc.)? Yes No If Yes, describe

| General Description | | Foundation | | Exterior Description materials/condition | | Interior materials/condition | |
|--|--|--|---|--|-------------------------------|------------------------------|----------------------|
| Units <input checked="" type="checkbox"/> One <input type="checkbox"/> One with Accessory Unit | <input checked="" type="checkbox"/> Concrete Slab <input type="checkbox"/> Crawl Space | Foundation Walls | Concrete/Average | Floors | Tile/Vinyl/Cnct/Avg | # of Stories | One |
| Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/> S-Det./End Unit | <input type="checkbox"/> Full Basement <input type="checkbox"/> Partial Basement | Exterior Walls | Masonry/Stucco/Avg | Walls | Drywall/Plaster/Avg | Basement Area | sq.ft. |
| <input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed <input type="checkbox"/> Under Const. | Basement Finish | Roof Surface | Built-up/Average | Trim/Finish | Wood/Average | % | Gutters & Downspouts |
| Design (Style) Pueblo | <input type="checkbox"/> Outside Entry/Exit <input type="checkbox"/> Sump Pump | Window Type | Metal/Wood/Average | Bath Floor | Vinyl/Average | | Bath Wainscot |
| Year Built 1964 +- | Evidence of <input type="checkbox"/> Infestation | Storm Sash/Insulated | Insulated/Average | Car Storage | <input type="checkbox"/> None | | Tile/Average |
| Effective Age (Yrs) 15-18 | <input type="checkbox"/> Dampness <input type="checkbox"/> Settlement | Screens | Screens/Average | <input checked="" type="checkbox"/> Driveway | # of Cars 2 | | |
| Attic <input checked="" type="checkbox"/> None | Heating <input type="checkbox"/> FWA <input checked="" type="checkbox"/> HWBB <input type="checkbox"/> Radiant | Amenities | <input type="checkbox"/> Woodstove(s) # | Driveway Surface | Paved | | |
| <input type="checkbox"/> Drop Stair <input type="checkbox"/> Stairs | <input type="checkbox"/> Other Fuel Gas | <input checked="" type="checkbox"/> Fireplace(s) # 2 | <input checked="" type="checkbox"/> Fence | <input type="checkbox"/> Garage | # of Cars | | |
| <input type="checkbox"/> Floor <input type="checkbox"/> Scuttle | Cooling <input type="checkbox"/> Central Air Conditioning | <input checked="" type="checkbox"/> Patio/Deck | <input checked="" type="checkbox"/> Porch | <input checked="" type="checkbox"/> Carport | # of Cars 2 | | |
| <input type="checkbox"/> Finished <input type="checkbox"/> Heated | <input type="checkbox"/> Individual <input type="checkbox"/> Other | <input type="checkbox"/> Pool | <input type="checkbox"/> Other | <input type="checkbox"/> Att. <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Built-in | | | |

Appliances Refrigerator Range/Oven Dishwasher Disposal Microwave Washer/Dryer Other (describe)
 Finished area above grade contains: 5 Rooms 2 Bedrooms 2 Bath(s) 2,639 Square Feet of Gross Living Area Above Grade
 Additional features (special energy efficient items, etc.). The subject property features: two fireplaces, masonry construction, beams with deck ceilings, tract lighting, and a 2-carport with storage. See the attached interior photo addendum for further information.
 Describe the condition of the property (including needed repairs, deterioration, renovations, remodeling, etc.). The subject appeared adequately maintained with no needed repairs noted.

Note: This appraisal report is not a home inspection and cannot be relied on to disclose defects or conditions in the property.

Are there any physical deficiencies or adverse conditions that affect the livability, soundness, or structural integrity of the property? Yes No If Yes, describe

Does the property generally conform to the neighborhood (functional utility, style, condition, use, construction, etc.)? Yes No If No, describe



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | | | |
|--|--|---|--|
| To Be Completed By Applicant: | | Site Address: [Redacted] San Acacio, 87501 | |
| Date Submitted: 30 Oct 2024 | | Proposed Construction Description: [Redacted] above carport and closet; new parking spot; encl... | |
| Property Owner of Record: [Redacted] & Caroline Rohrlch | | TOTAL ROOF AREA: [Redacted] Existing: 4,224 Proposed: 4,45 | |
| Applicant/Agent Name: [Redacted] Ironowtaer / Ruffians LLC | | Lot Coverage: [Redacted] % □ Open Space Required: _____ | |
| Contact Person Phone Number: [Redacted] (1421-622) | | Setbacks: | |
| Zoning District: [Redacted] (Downtown & Eastside) | | Proposed Front: [Redacted] Minimum: [Redacted] | |
| Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ | | 2 nd Front? _____ Proposed Rear: [Redacted] Minimum: [Redacted] Proposed Sides: [Redacted] [Redacted] Minimum: [Redacted] [Redacted] | |
| Submittals Reviewed with PZR: | | Height: Proposed [Redacted] Maximum Height: [Redacted] (w/ Historic) | |
| <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations | | <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District | |
| Supplemental Zoning Submittals Required for Building Permit: | | Parking Spaces: | |
| <input type="checkbox"/> Zero Lot Line Affidavit | | Proposed [Redacted] Accessible [Redacted] | |
| Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required | | Minimum: [Redacted] [Redacted] | |
| Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ | | Bicycle Parking**: | |
| Terrain: <input type="checkbox"/> 30% slopes _____ | | Proposed [Redacted] Minimum: [Redacted] | |
| * Requires an additional review conducted by Technical Review Division. | | ** Commercial Requirement | |
| ** Requires an additional review conducted by the Traffic Engineering Division. | | | |

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

[Redacted] OWNER APPLICANT AGENT] PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
SIGNATURE

[Redacted] 2024
DATE

| | | |
|---|-------------------|----------------|
| To Be Completed By City Staff: | | 2024-009485PAR |
| Additional Agency Review if Applicable: | | |
| <input type="checkbox"/> Escarpment Approval by _____ | Date: ___/___/___ | |
| <input type="checkbox"/> Flood Plain Approval by _____ | Date: ___/___/___ | |
| <input type="checkbox"/> Traffic Engineering Approval by _____ | Date: ___/___/___ | |
| Notes: _____ | | |
| Zoning Approval: | | |
| <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected | | |
| Comments/Conditions: Legal lot of record provided, setback affidavit signed for garage addition | | |
| REVIEWER: <i>Rebekah Clouser</i> DATE: 11/18/2024 | | |
| Original color form must be submitted with Historic Districts Review Board (HDRB) application packet. | | |

PROJECT PROPOSAL

January 23, 2025

To whom it may concern,

The single-family residence at 1010 Camino San Acacio is a non-contributing structure that was renovated by Alan Ortiz-Seligman in 2021 and sold to the current owners in 2021.

The home was originally built in 1963 by Louis Ewing as a personal residence with help from neighbors and many local materials, as was typical of the time. It features an exposed stone rubble foundation with stuccoed pentile or CMU walls, and an eaved low-pitched roof with decorative corbel ends on an exposed ridge beam and rafter ends. The North (street facing) facade features a stained glassier window created by Ewing himself, who was a noted artist and pioneer in screenprinting.

Ewing, born in Idaho, moved to Santa Fe in 1935 to work on the New Mexico Federal Art Project of the WPA. He later worked for the Laboratory of Anthropology in Santa Fe, New Mexico where he continued to produce screenprinted art.

This proposal seeks to make the following changes to improve the livability of the home for the current residents who hope to move aging family into a proposed casita in the future. A total additional 838SF of conditioned space will be added. 172SF of additional roofed area will be added.

- **CASITA** (+278SF additional conditioned space; 523SF less existing 245SF)
 - Construct a new casita and covered portal above the existing carport. No new roofed area will be added, due to construction atop existing buildings.
 - Doors and windows to be aluminum clad in Black to match existing
 - Note: sliding doors exempt from 30" diagonal due to placement under a portal
 - Stucco to match existing in **El Rey Ash**.
 - Roof to be TPO in color Tan
- **CARPORT** (+0SF conditioned space)
 - Excavate to standard 8' ceiling height
 - Add a single double-width garage door as shown in plans with vertical board orientation and stained to match existing trim work with **Diamond Vogel Grain Stain Parson Gray**
 - Add an access door on the East wall, and window on West wall
- **ENTRY & PORTAL** (+385sf conditioned space)
 - Enclose the existing upper landing of entry stairway. Existing exterior door (previously approved in 2021 renovation) shall be relocated to North facade of entry. Adds 98sf conditioned space, no new roofed area.
 - Enclose existing South portal (non-publicly visible) for additional 287sf of conditioned space, no new roofed area.

- **CLOSET** (+175SF conditioned space)
 - Construct a new 175sf walk-in closet on the East facade of house with a flat roof and low profile 4'x4' skylight in Mill Finish.
 - Stucco to match existing **EI Rey Ash**
- **PARKING SPACE**
 - Border a parking space on the Northeast corner of the lot with a new dry-stack sandstone retaining wall.

REQUESTED CODE EXCEPTIONS

The enclosure of the Entry and South Portal require exceptions to the following code provisions:

14-5.2(D)(2)(c) Additions are not permitted to primary façades

14-5.2(D)(4) Porches and Portals: Existing porches or portals shall not be enclosed

Below are responses to the exception criteria. Note responses are the same for both, given they refer to the same design proposal of enclosing the Entry and South Portal:

- Do not damage the character of the district;

The enclosure of the Entry and South Portal harmonize with the district and home through re-use of existing architectural detailing, color and material palettes. The South Portal is non-publicly visible, thus not contributing to the public character of the district. The Entry, while visible, is a substantially de-emphasized component of the project, tucked far back from the street up a staircase. The proposed design maintains the important surrounding components of visible corbels, roofline and facade elements while increasing the utility and legibility of the entry by enclosing interior space, providing an improvement that not damaging the character of the district.

- Are required to prevent a hardship to the applicant or an injury to the public welfare; and

The Rohrlich family returned to Santa Fe to raise their own children, and care for aging family. They have outgrown the living space, and hope to add square footage and year-round utility to the home while maintaining its architectural character. To prevent the financial, emotional and physical hardship associated with leaving this home, the proposed design enables the family to stay in place. The new entry and foyer provide a more practical entry to the house in all seasons, with additional security provided through the closure of an existing opening in the yard wall and more substantial door/entry.

The proposed casita is intended for aging family members to be cared for by the family at home. An enclosed connection to the casita is required for this to allow in-home care.

Lastly, the homeowners seek to avoid hardship to the community and project site associated with further disturbance to the constrained and inclined project site. Enclosing the portal and entry avoid new excavation while still adding square footage and improve resident access without additional roofed area or new foundation.

- Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

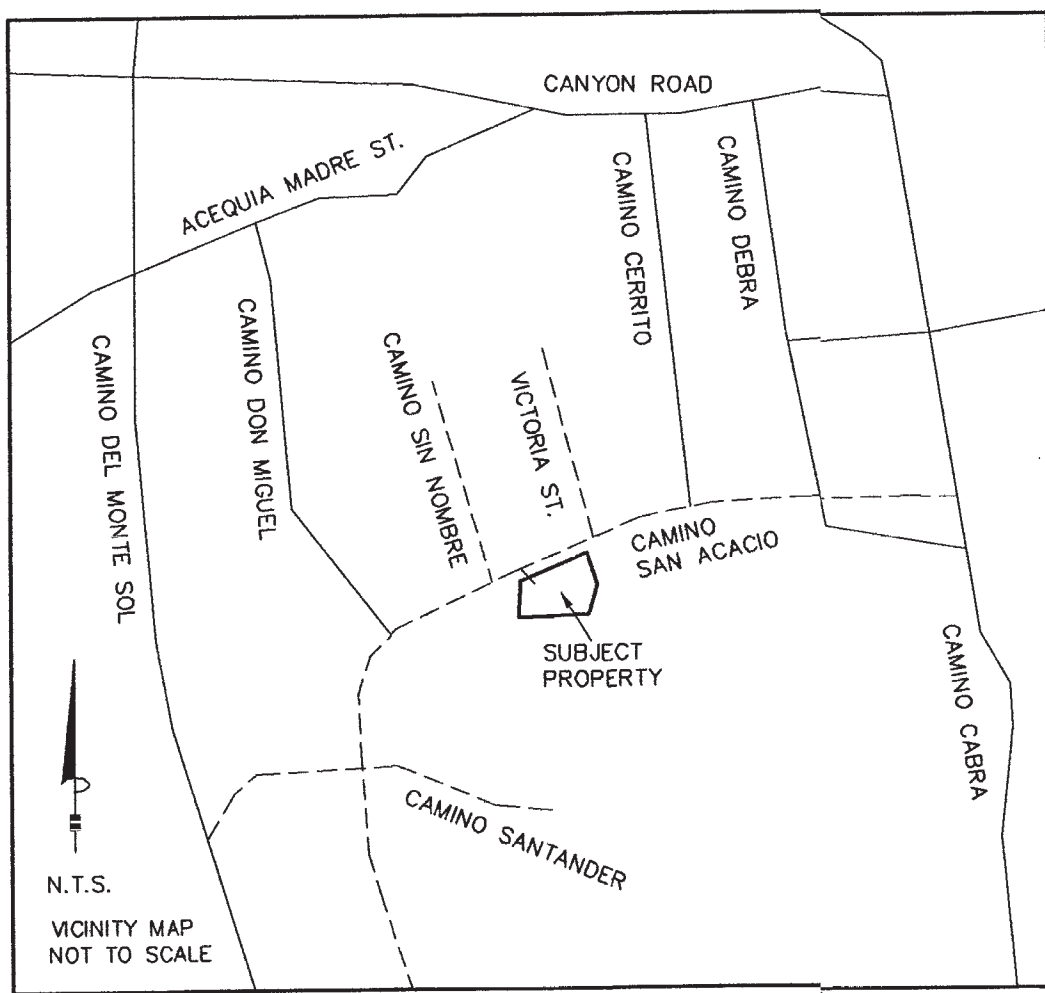
This proposal balances the family's' desire to reside in the historic district in a house that both maintains its historic character, while also serving their practical needs as a multigenerational family. Through their stewardship, the Rohrlich's will continue to care for the home, strengthening its unique contribution to the character of the neighborhood.

Plat of Boundary Survey prepared for The W.E. Lewis, Jr. and K.C. Lewis Trust and Alan Ortiz Seligman

BOUNDARY SURVEY OF LOT 1 OF THE L.H. EWING SUBDIVISION LAST DESCRIBED ON SURVEY FILED IN SANTA FE COUNTY CLERK INSTRUMENT NO. 566,024 SAID PROPERTY LYING AND BEING WITHIN THE SANTA FE GRANT PROJECTED NORTH 1/2 SECTION 30, T17N, R10E, NMPM SAID LOT 1 LOCATED AT NO. 1010 CAMINO SAN ACACIO IN THE CITY OF SANTA FE COUNTY OF SANTA FE, STATE OF NEW MEXICO

CITY OF SANTA FE PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.



SURVEYORS NOTES

- 1. NOTE: THIS SURVEY IS BEING FILED TO CHANGE THE NAME OF THE PROPOSED BUYER ON THE TITLE AND TITLE BLOCK. NO OTHER CHANGES WERE MADE TO THE PLAT FILED ON DECEMBER 21, 2020, IN PLAT BOOK 872, PAGE 1.
2. SFC ASSESSOR UPC NO. FOR LOT 1: 1-055-098-246-320.
3. COMMITMENT FOR TITLE INSURANCE ON LOT 1 ISSUED BY PRIMA TITLE, LLC FILE NO. 20-1144.
4. DATE OF FIELD SURVEY: OCTOBER 13, 2020.
5. THIS PROPERTY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD.
6. THE DATA WITHIN PARENTHESIS IS RECORD DATA TAKEN FROM THE REFERENCE DOCUMENT NOTED WITHIN SAID PARENTHESIS.
(R1-DATA) IS TAKEN FROM REFERENCE DOCUMENT NO. 1 AS NOTED HEREON.
(R2-DATA) IS TAKEN FROM REFERENCE DOCUMENT NO. 2 AS NOTED HEREON.

DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS TO RECORDING-FILED DATA ON DOCUMENTS OBTAINED FROM THE OFFICE OF SANTA FE COUNTY CLERK.

- 1. SURVEY ENTITLED "SURVEY FOR MRS. L.H. EWING, 1010 SAN ACACIO..." BY J.G. HORNE NMPS NO. 889, FILED ON APRIL 26, 1985, IN MISC. BOOK 519, PAGES 281-284, AS DOCUMENT NO. 566,024 AS DOCUMENT ENTITLED "CERTIFICATE OF SURVEY AND CONSENT TO RESUBDIVISION OF PLATTED TRACTS...LOT 1 AND LOT 2.
2. SURVEY ENTITLED "LOT LINE ADJUSTMENT FOR THE SARAH M. NOLAN 1998 TRUST..." BY P.A. ARMIJO NMPS NO. 13604, FILED ON AUG. 23, 2012, IN PLAT BOOK 749, PAGE 005, AS DOCUMENT NO. 1679,123.
3. WARRANTY DEED-LOT 1, W.E. LEWIS, JR. AND K.C. LEWIS TO THE WILLARD E. LEWIS, JR. AND KAY CARSON LEWIS TRUST, FILED ON JULY 3, 2000, IN MISC. BOOK 1783, PAGE 823, AS DOCUMENT NO. 1121,874.
4. SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR THE W.E. LEWIS JR. AND K.C. LEWIS TRUST ..." BY P.A. ARMIJO, FILED ON DECEMBER 21, 2020, IN PLAT BOOK 872, PAGE 001, AS INSTRUMENT NO. 1938,028.

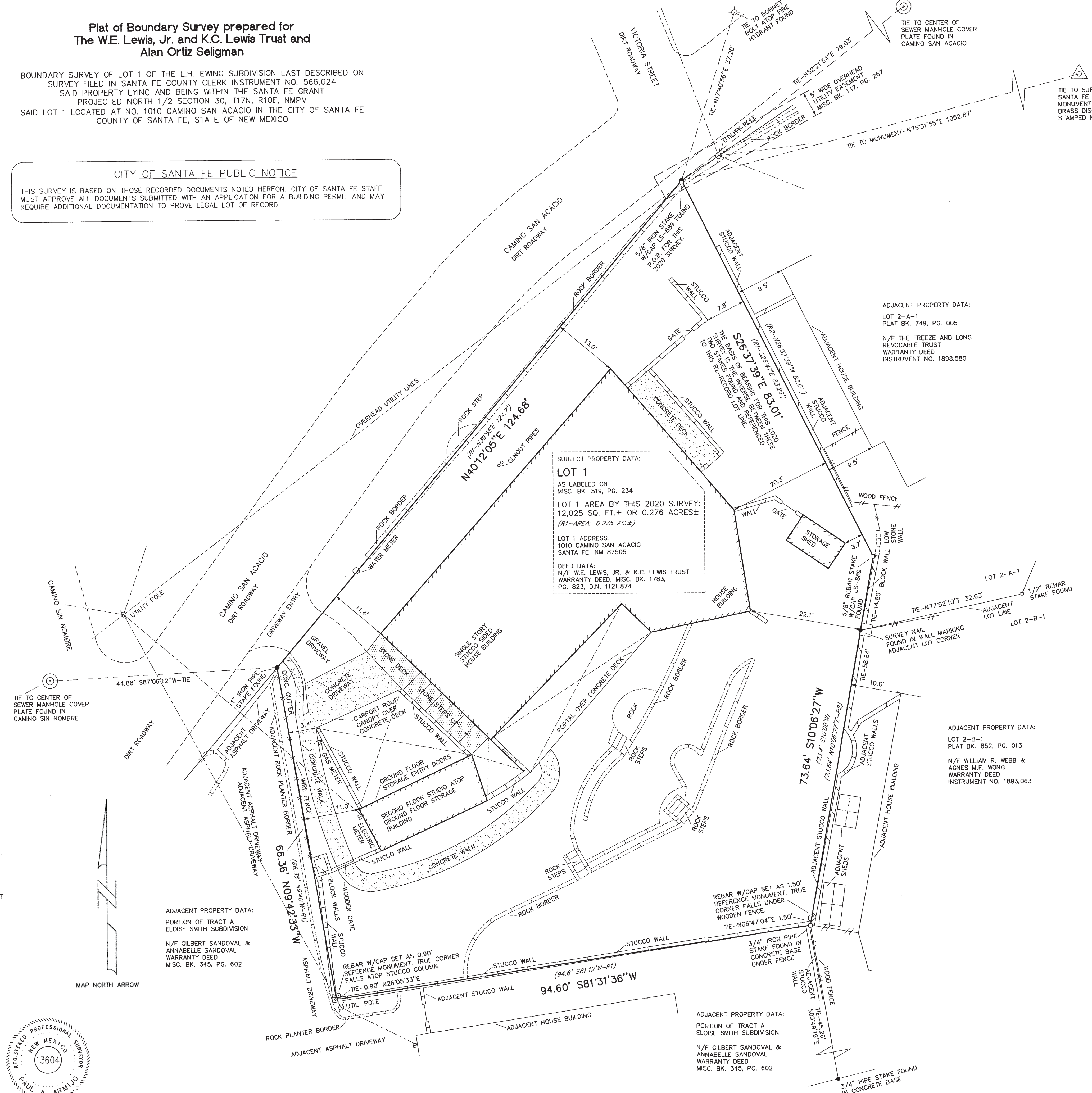
SURVEYORS CERTIFICATION

I, PAUL A. ARMIJO, CERTIFY THAT I AM NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 13604, AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION ON OCTOBER 13, 2020 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

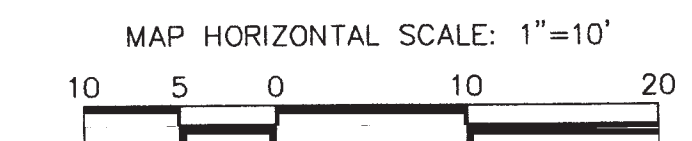
Paul A. Armijo DEC. 22, 2020

PAUL A. ARMIJO, N.M.P.S. NO. 13604



TIE TO SURVEY MONUMENT SANTA FE CONTROL MONUMENT NO. 73 BRASS DISC IN CONCRETE BASE STAMPED NOV. 1981-NM.S. 5834

MAP NORTH ARROW



MAP LEGEND

- - SURVEY MONUMENT FOUND SEE MAP FOR DESCRIPTION
○ - SURVEY MONUMENT SET 1/2" REBAR STAKE W/CAP STAMPED ARMIJO-13604
○ - RECORD SURVEY CORNER NO MONUMENT FOUND
N/F - NOW OR FORMER PROPERTY OWNER
---○--- UTILITY POLE WITH OVERHEAD UTILITY UTILITY LINES
--- STUCCO WALL
---//--- WOOD FENCE
---X--- WIRE FENCE

ADJACENT PROPERTY DATA: LOT 2-A-1 PLAT BK. 749, PG. 005 N/F THE FREEZE AND LONG REVOCABLE TRUST WARRANTY DEED INSTRUMENT NO. 1898,580

SUBJECT PROPERTY DATA: LOT 1 AS LABELED ON MISC. BK. 519, PG. 234 LOT 1 AREA BY THIS 2020 SURVEY: 12,025 SQ. FT. ± OR 0.276 ACRES ± (R1-AREA: 0.275 AC. ±) LOT 1 ADDRESS: 1010 CAMINO SAN ACACIO SANTA FE, NM 87505 DEED DATA: N/F W.E. LEWIS, JR. & K.C. LEWIS TRUST WARRANTY DEED, MISC. BK. 1783, PG. 823, D.N. 1121,874

ADJACENT PROPERTY DATA: LOT 2-B-1 PLAT BK. 852, PG. 013 N/F WILLIAM R. WEBB & AGNES M.F. WONG WARRANTY DEED INSTRUMENT NO. 1893,063



Document No. 1938233

COUNTY CLERK'S INSTRUMENT BLOCK COUNTY OF SANTA FE, STATE OF NEW MEXICO I hereby certify that this instrument was filed

for record on the 22 day of December A.D. 2020

at 11:45 o'clock a.m. and was duly recorded in

Book 872 Page 05 of the Records of

Santa Fe County Witness my Hand and Seal of Office GERALDINE SALAZAR County Clerk, Santa Fe County, New Mexico

Signature of Paul A. Armijo

Table with 2 columns: INDEXING INFORMATION FOR COUNTY CLERK and SURVEY DATA. Includes SFC Assessor UPC No., Owner, and Location details.

ARMJO SURVEYS INC. PAUL A. ARMIJO N.M.P.S. NO. 13604 P. O. BOX 24438, SANTA FE, NM 87502-9438 PH. (505) 471-1955 FAX. (505) 471-1925 PLAT OF BOUNDARY SURVEY PREPARED FOR THE W.E. LEWIS, JR. AND K.C. LEWIS TRUST AND ALAN ORTIZ SELIGMAN DRAWN BY P.A.A. DATE OCT. 2020 SURVEY NO. 2020303-2 SHEET NO. 1 OF 1

ROHRLICH
RESIDENCE
—
1010 CAMINO
SAN ACACIO

OWNERS
Caroline & Jeremy
Rohrlich

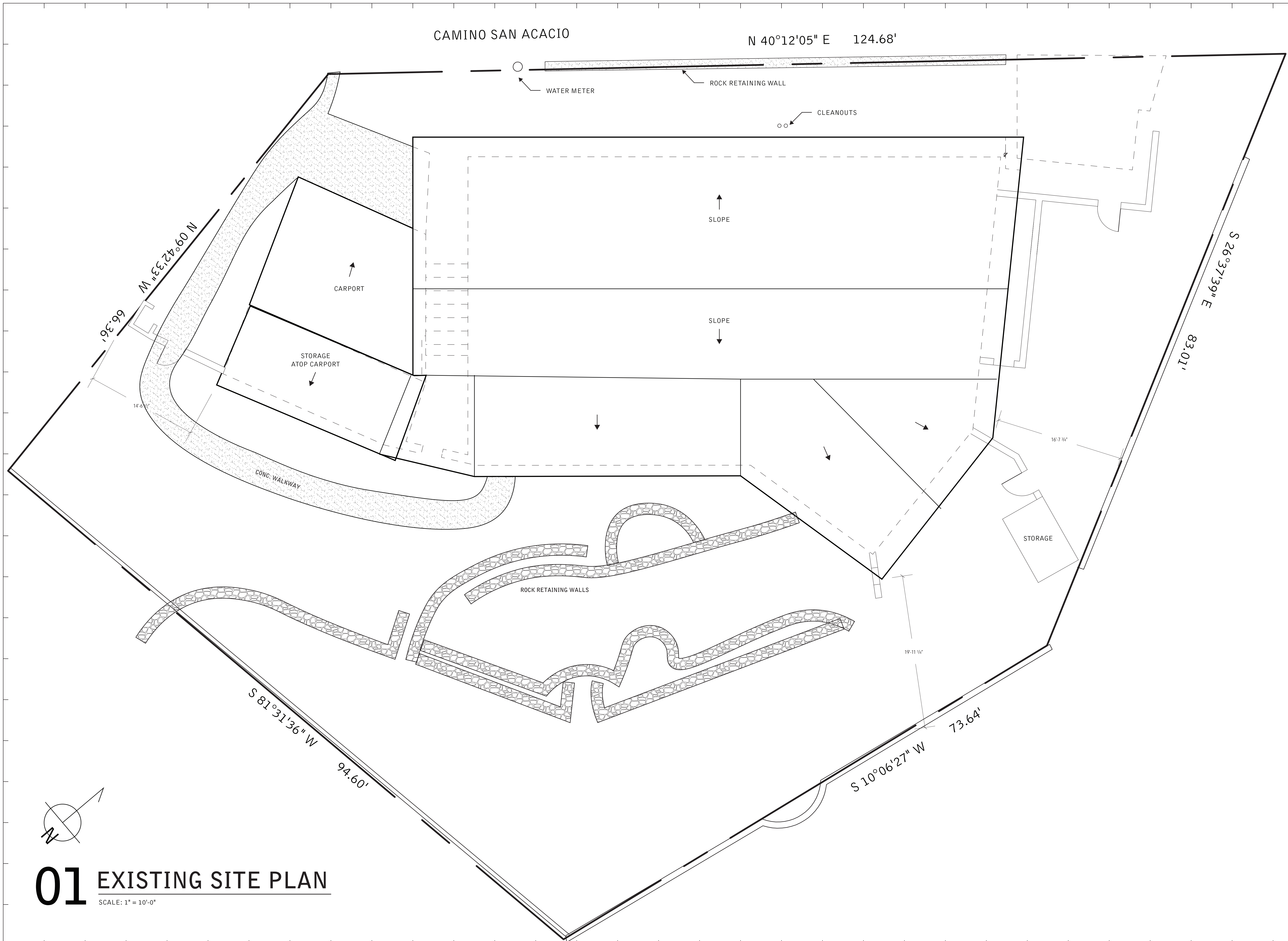
AGENT
RUFFIANS LLC
c/o Daniel Strongwater
(505) 421-6221
daniel@strongwater.co

REVISIONS

HDRB DRAFT 0.1 30 OCT 2024

A0.1

EXISTING
SITE PLAN



CAMINO SAN ACACIO

$N 40^{\circ}12'05'' E$ 124.68'

WATER METER

ROCK RETAINING WALL

CLEANOUTS

SLOPE

SLOPE

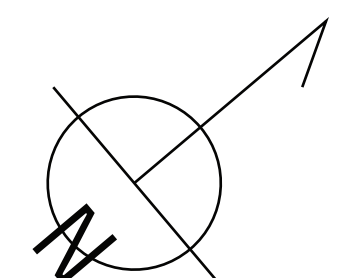
CARPORT

STORAGE
ATOP CARPORT

CONC. WALKWAY

ROCK RETAINING WALLS

STORAGE







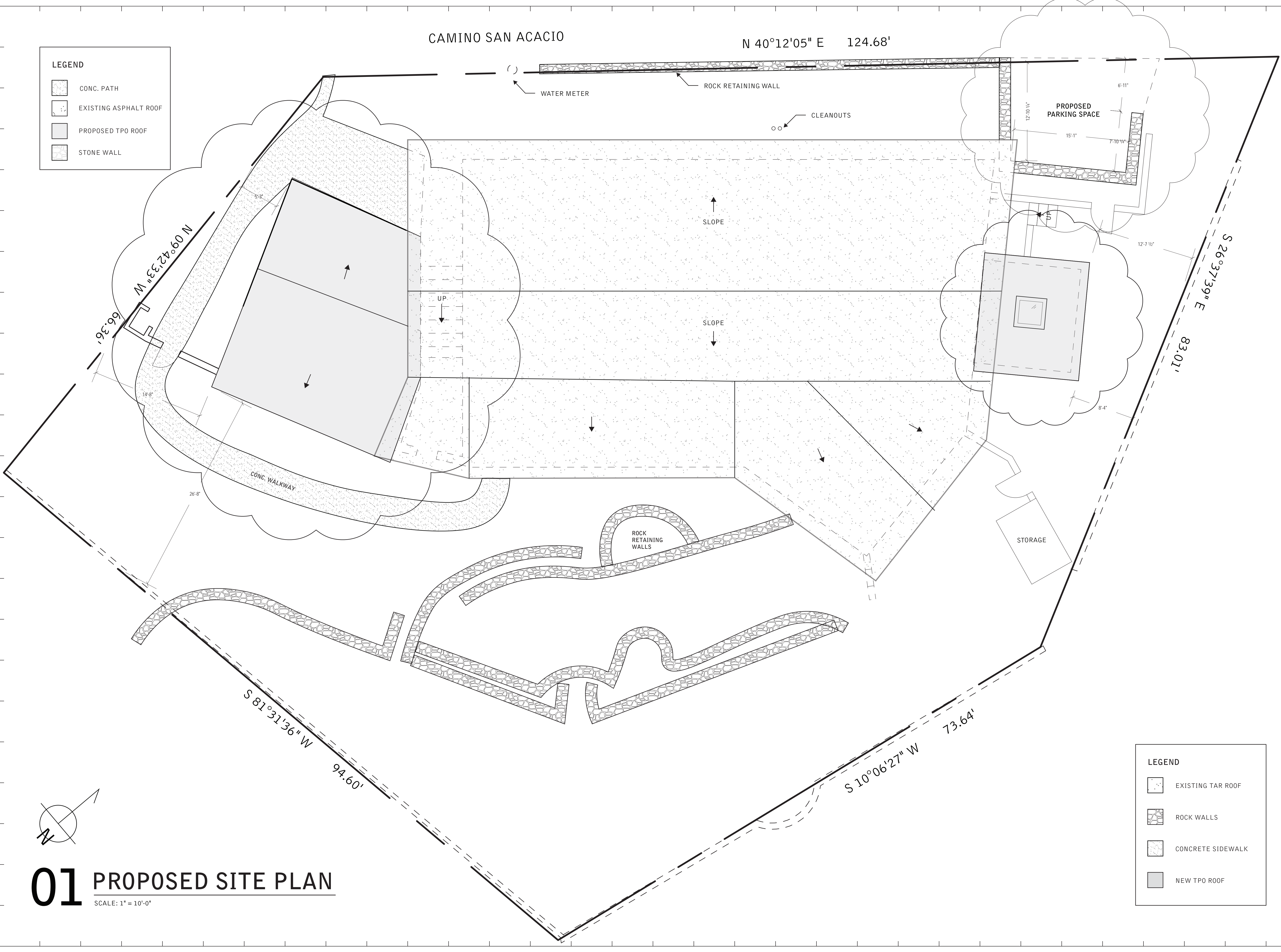
01 EXISTING SITE PLAN

SCALE: 1" = 10'-0"

CAMINO SAN ACACIO N 40°12'05" E 124.68'

LEGEND

-  CONC. PATH
-  EXISTING ASPHALT ROOF
-  PROPOSED TPO ROOF
-  STONE WALL



ROHRLICH RESIDENCE
 1010 CAMINO SAN ACACIO





OWNERS
 Caroline & Jeremy Rohrlich

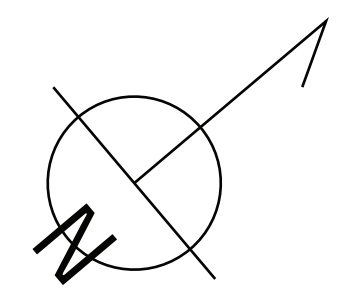
AGENT
 RUFFIANS LLC
 c/o Daniel Strongwater
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 daniel@strongwater.co

REVISIONS

| | |
|----------------|-------------|
| PZR DRAFT 0.2 | 4 NOV 2024 |
| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |

LEGEND

-  EXISTING TAR ROOF
-  ROCK WALLS
-  CONCRETE SIDEWALK
-  NEW TPO ROOF



01 PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

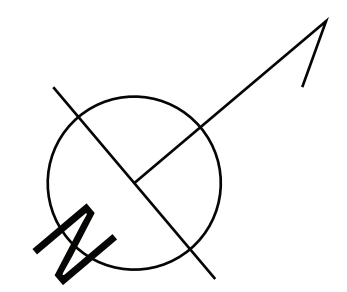
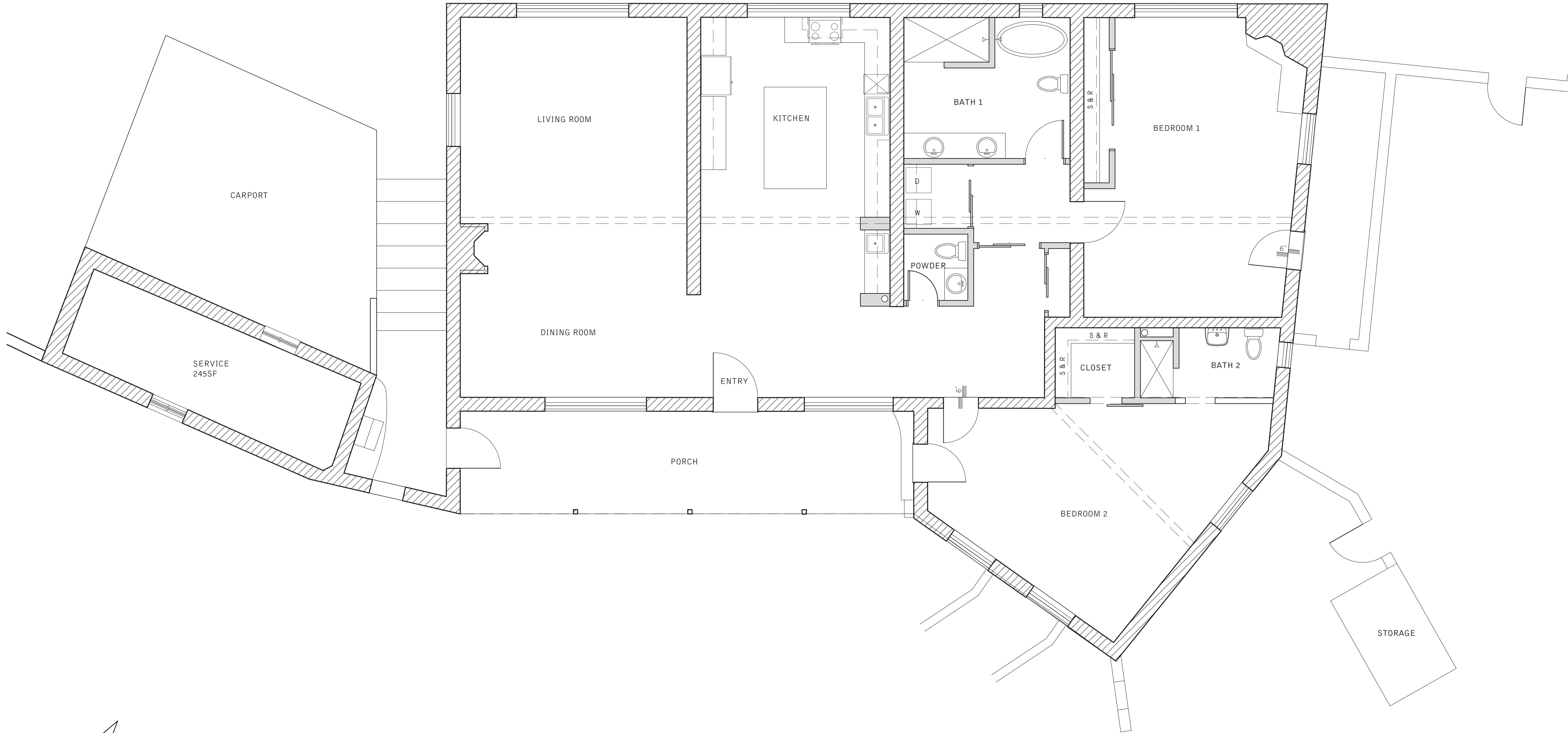
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PROPOSED SITE PLAN

ROHRLICH
RESIDENCE
—
1010 CAMINO
SAN ACACIO

OWNERS
Caroline & Jeremy
Rohrlich

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RUFFIANS LLC
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01 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'

REVISIONS

| | |
|----------------|-------------|
| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |

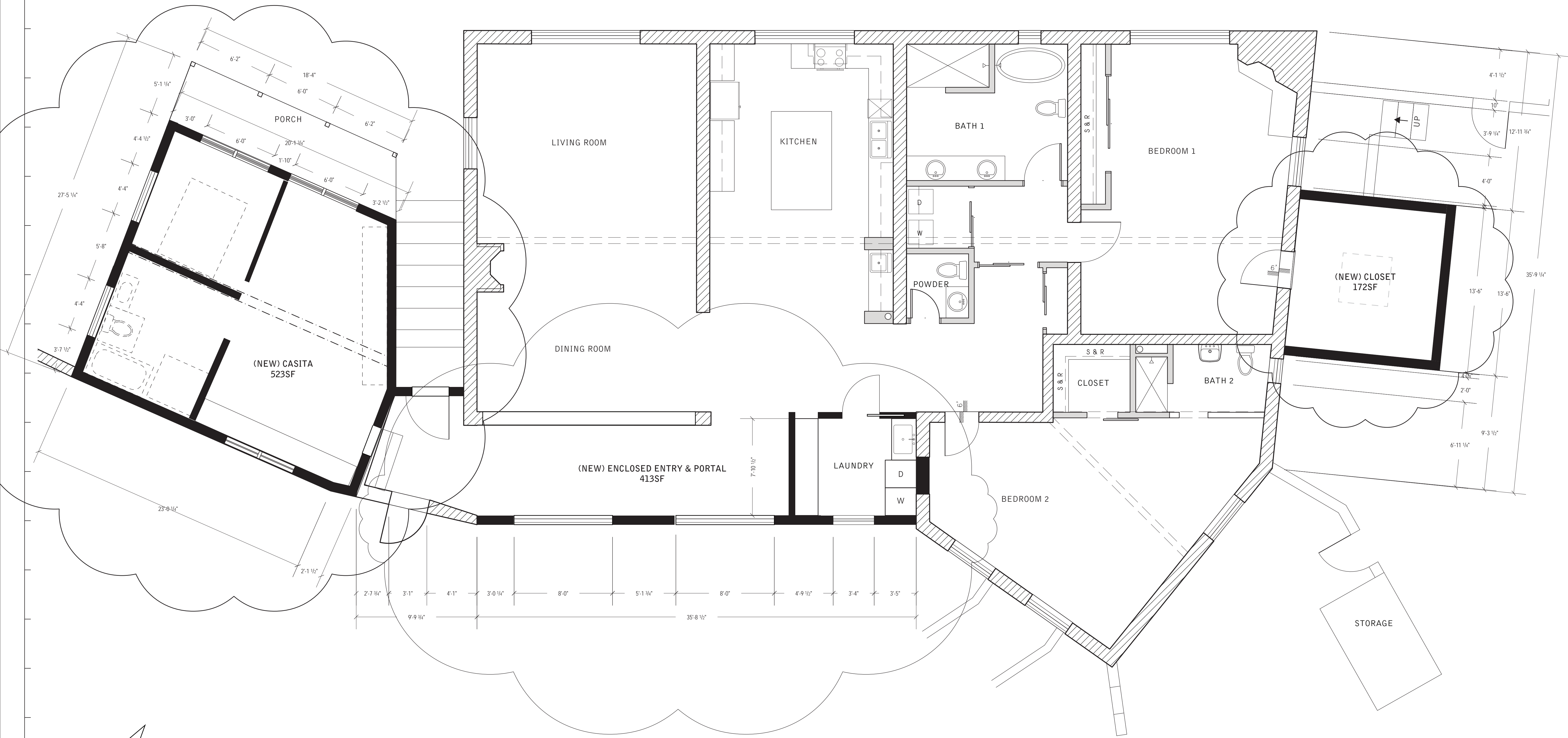
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EXISTING
FLOOR PLAN

ROHRLICH
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1010 CAMINO
SAN ACACIO

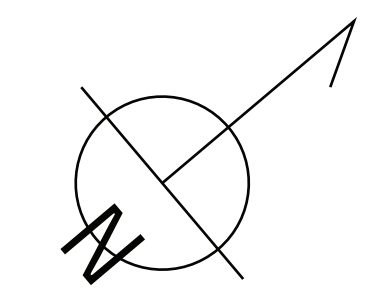
OWNERS
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REVISIONS

| | |
|----------------|-------------|
| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |



01 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'

LEGEND

- EXISTING WALLS
- PROPOSED NEW WALLS

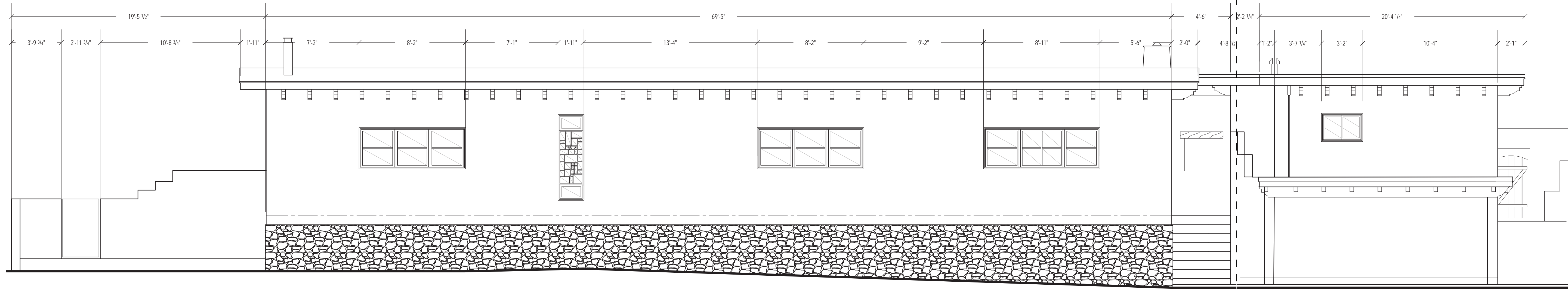
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PROPOSED
FLOOR PLAN

ROHRLICH
RESIDENCE
—
1010 CAMINO
SAN ACACIO

OWNERS
Caroline & Jeremy
Rohrlich

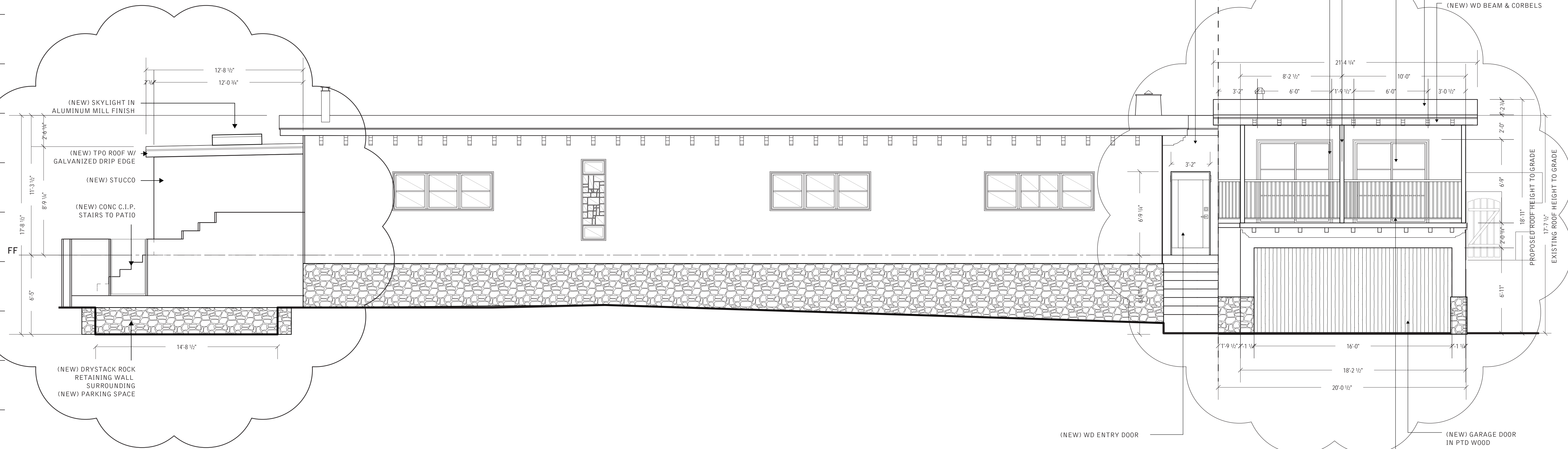
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01 EXISTING NORTH FACADE

SCALE: 1/4" = 1'

NOTE: ORIENTATION ROTATED
TO SHOW ELEVATION
PERPENDICULAR TO
FACADE ORIENTATION



02 PROPOSED NORTH FACADE

SCALE: 1/4" = 1'

- (NEW) STUCCO TO MATCH EXISTING EL REY ASH
- (NEW) WD POSTS & RAILINGS
- (NEW) ALU CLAD DOORS
- (NEW) TPO ROOF IN TAN W/ GALVANIZED DRIP EDGE
- (NEW) WD BEAM & CORBELS

REVISIONS

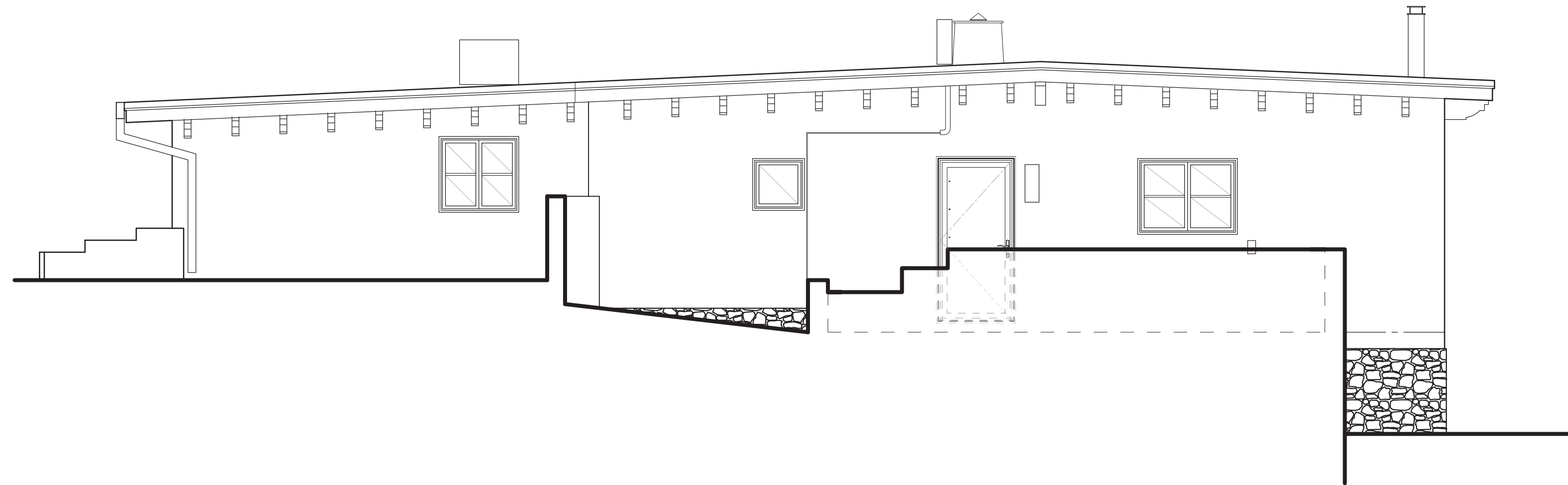
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| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |

A2.1

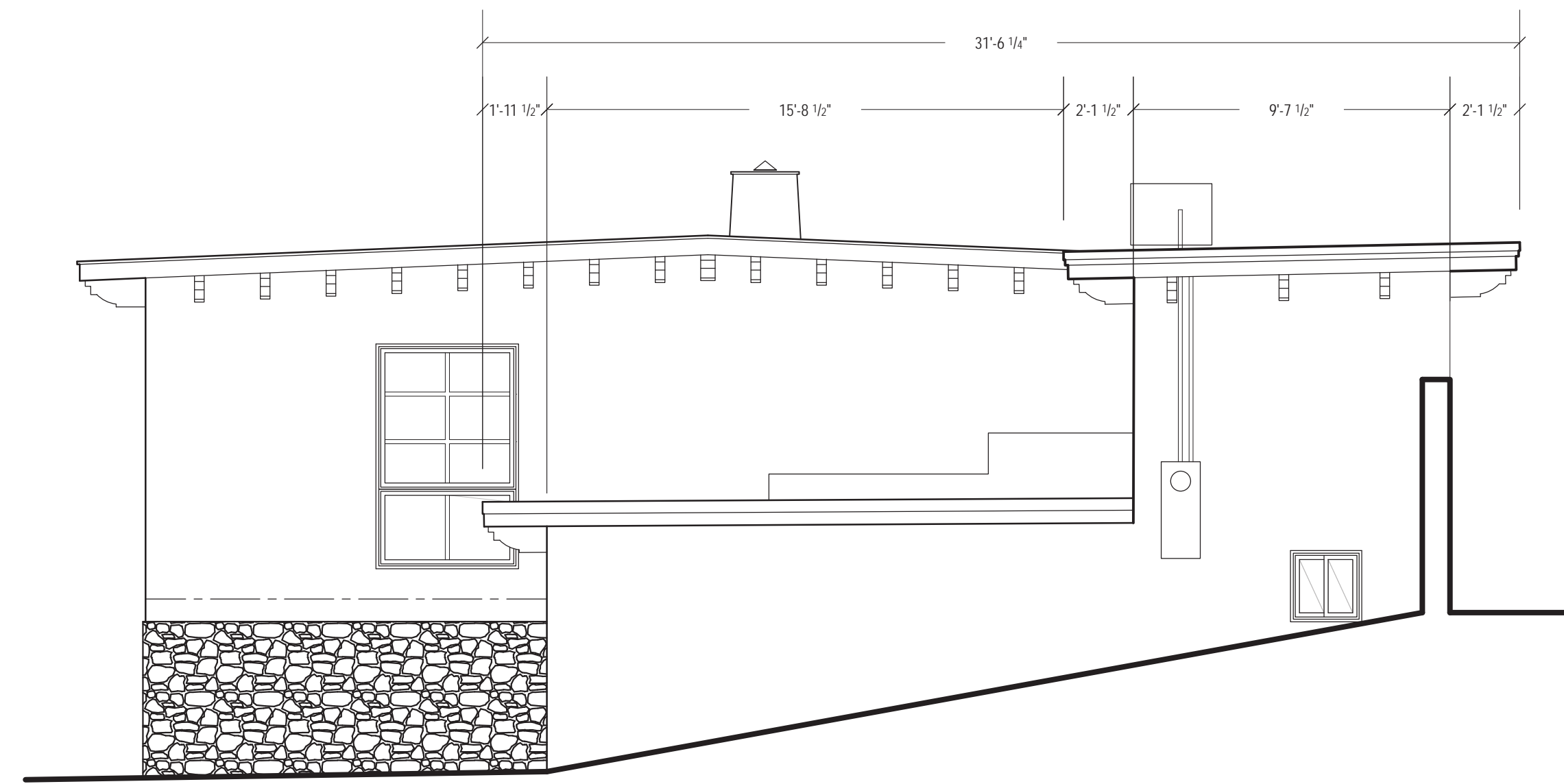
NORTH
ELEVATIONS

OWNERS
Caroline & Jeremy
Rohrlich

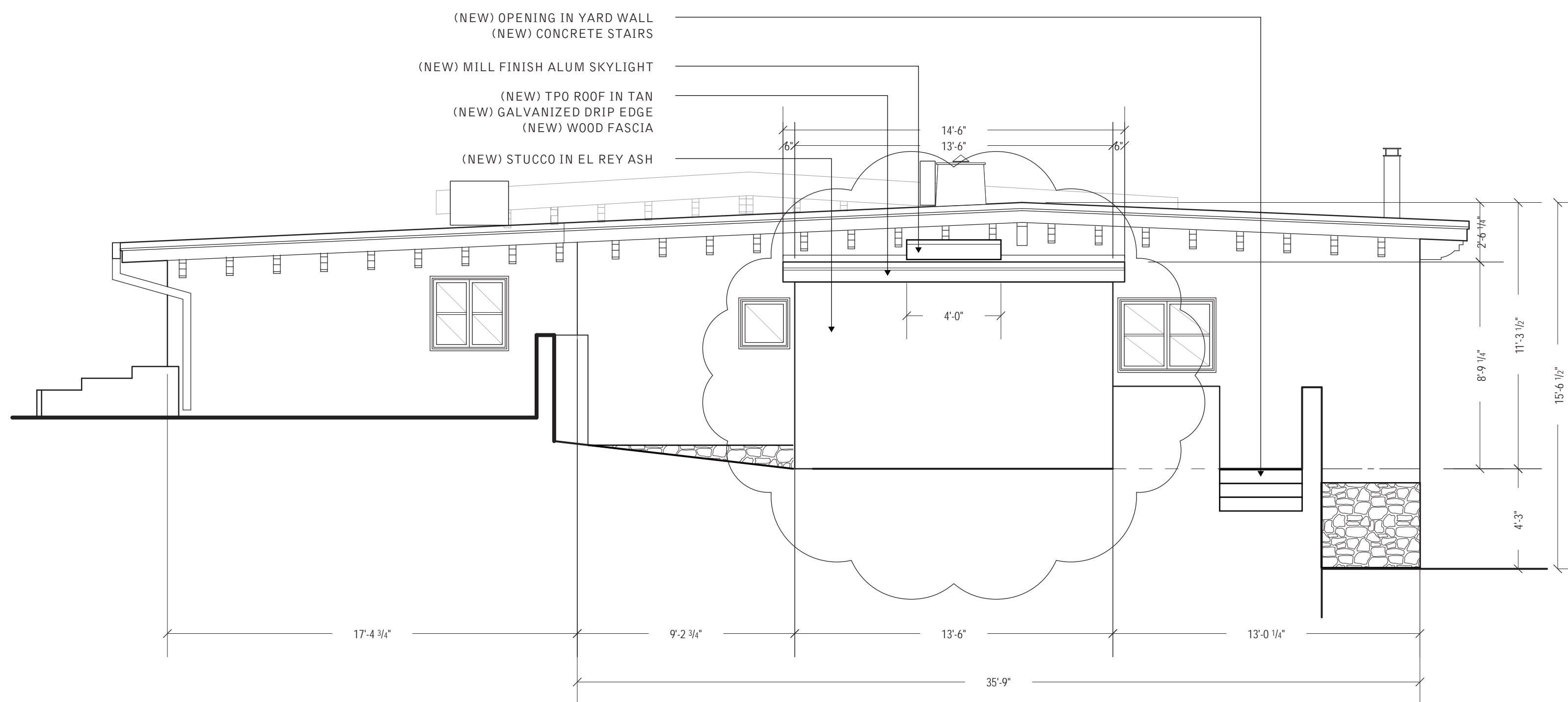
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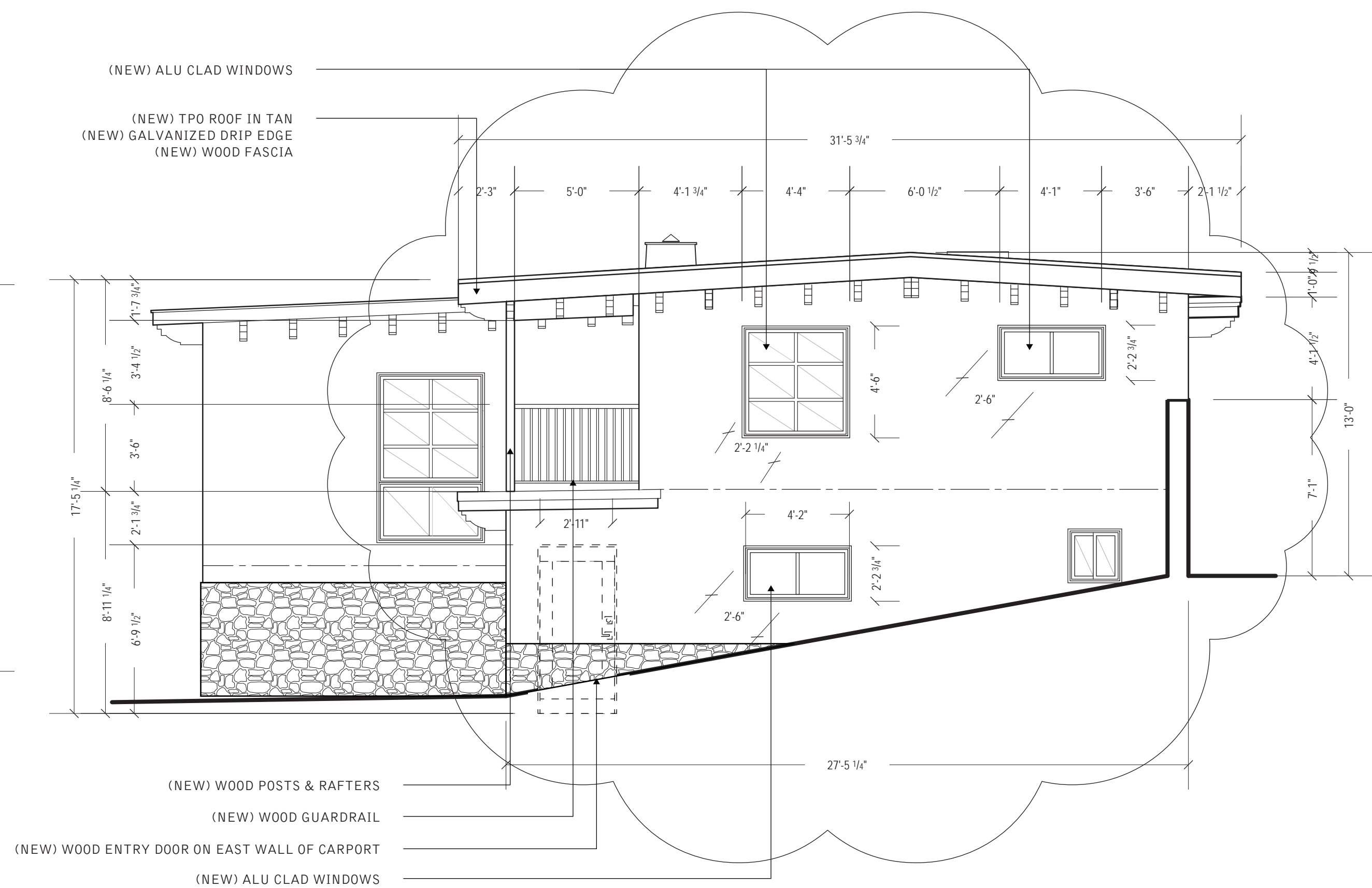
01 EXISTING EAST FACADE
SCALE: 1/4" = 1'



03 EXISTING WEST FACADE
SCALE: 1/4" = 1'



02 PROPOSED EAST FACADE
SCALE: 1/4" = 1'



04 PROPOSED WEST FACADE
SCALE: 1/4" = 1'

REVISIONS

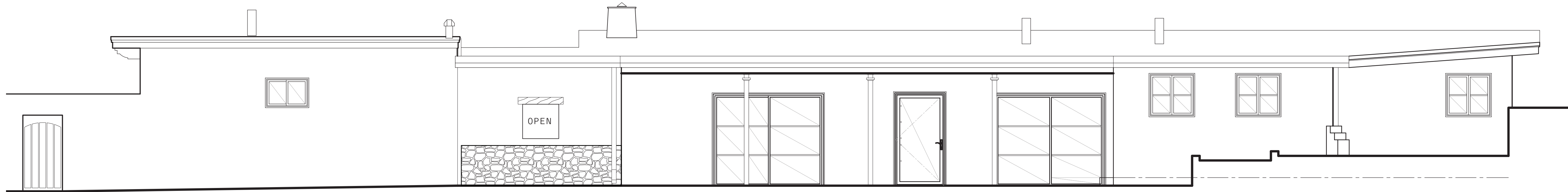
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| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |

A2.2

EAST & WEST
ELEVATIONS

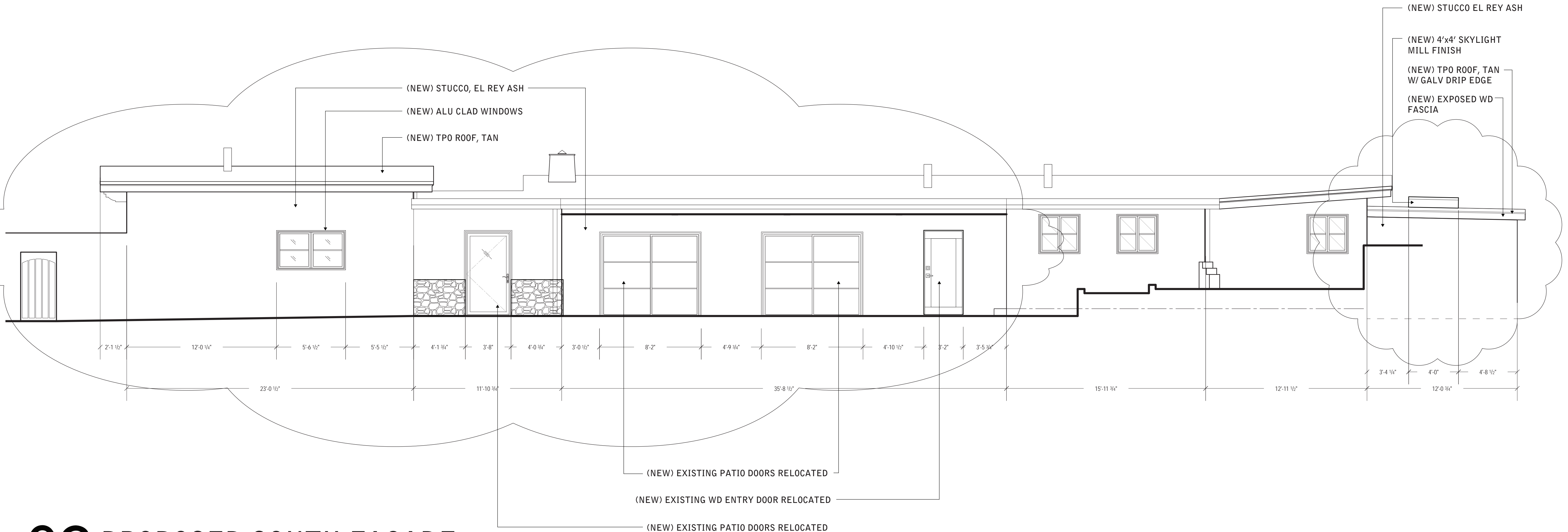
OWNERS
Caroline & Jeremy
Rohrlich

AGENT
RUFFIANS LLC
c/o Daniel Strongwater
(505) 421-6221
daniel@strongwater.co



01 EXISTING SOUTH FACADE

SCALE: 1/4" = 1'



02 PROPOSED SOUTH FACADE

SCALE: 1/4" = 1'

REVISIONS

| | |
|----------------|-------------|
| HDRB DRAFT 1.0 | 6 DEC 2024 |
| HDRB DRAFT 2.0 | 23 JAN 2025 |

A2.3

SOUTH
ELEVATION

PROPOSED COLORS



Diamond Vogel Semi-transparent Grain Stain in Parsons Gray



El Rey Ash



TPO Tan

Photographs



Front (north) and west elevations.



Front (north) and west elevations.



Front (north) of carport/storage building and west elevation of house.



HCPI 55017_157387

Front (north) elevation.



Front (north) elevation with stained-glass window.



Detail of stained-glass window, front (north) elevation.



Detail of entry stairs, north and west elevations.



Detail of entry stairs, east elevation of carport.



Detail of entryway between house (left) and carport (right).



East elevation.



East elevation.



South elevation.



South elevation portal detail.



West and north (front) elevations of house and carport.



Detail of decorative corbelled brackets.



1010 Camino San Acacio: Primary Façade Diagram

Primary Façade: ———

Non-primary Façade: ———

City of Santa Fe, New Mexico

memo

DATE: February 25, 2025

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director *HLL*
Maggie Moore, Acting Assistant Land Use Director *HLL* for *MM*
Gary Moquino, Historic Preservation Division Director *GM*

FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008628-HDRB, 216 Old Santa Fe Trail, Downtown & Eastside Historic District, Non-contributing. John Padilla, agent for Lewis West, owner, proposes to replace windows and doors. An exception is requested to 14-5.2(E)(1)(c) for installing windowpanes larger than thirty inches.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: H-16-007, 2024-008452-HDRB

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: exception criteria

STAFF RECOMMENDATION:

Staff finds that the exception criteria of Section 14-5.2(E)(1)(c) have not been met and recommends denial of the application as it does not comply with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Sample motions:

- a. Approve or deny the exception to 14-5.2(E)(1)(c) to replace windows with windowpanes

larger than thirty inches.

Should the Board deny the exception request, the applicant shall return to the Historic Districts Review Board with an alternative proposal for review and approval prior to proceeding to building permit.

BACKGROUND & SUMMARY:

The commercial structure located at 216 Old Santa Fe Trail is a non-contributing structure located in the Downtown and Eastside Historic District. The Board designated the structure as non-contributing under case 2024-008452-HDRB in June of 2024.



Figure 1: Property location

The structure was constructed in a vernacular manner between 1956 and 1958. The 1984 HCPI form provides no information about the structure. The 2024 HCPI reflects the changes that were made without permit or approval from the HDRB in 2023.

Aerial photography in the HCPI shows the structure in 1958 and with additions in 1978. The 1984 structure was entirely to the rear of the lot and still appeared as the original residence.

The 2016 historic preservation case H-16-007 requested the removal of a temporary tent structure and the construction of a 346 sq. ft. addition on the east elevation, and a 63 sq. ft. addition to the north elevation.

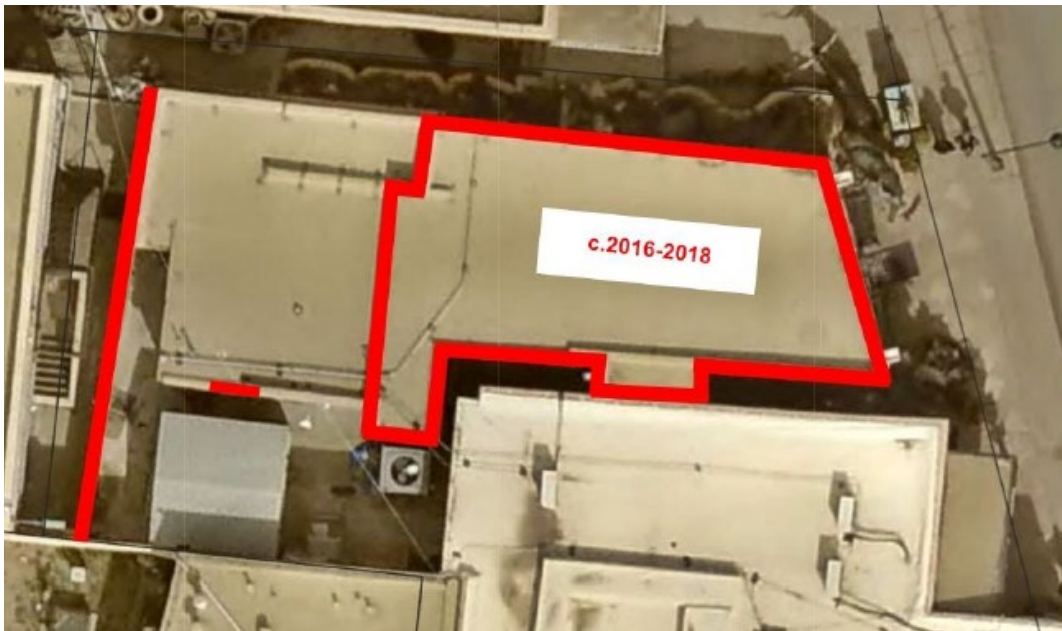


Figure 2: Red indicating the alterations by circa 2016 addition and other alterations

Additional work on the property in 2017 altered the face of the structure by enclosing windows and increasing the size of fenestrations to create the store front as it appears in 2022.

The structure as it exists today has no fenestrations on either the north or south elevations. The east elevation was altered again in 2023 creating a glass front and while the single header from the 2016 conversion is still present an awning has been installed above the header but below the parapet height.



Figure 3: Store fronts in 2022 and 2024

The applicant received a stop work order (red tag) in February of 2024 for creating the glass front, installing the awning, and replacing signs without a permit.

The streetscape of 216 Old Santa Fe Trail consists of the properties located south of Water Street up to East Alameda Street. Staff notes that the neighboring lot at 214 Old Santa Fe Trail has an entry and windows matching the request of the subject property which were installed without permission and are subject of a stop work order (red tag). Therefore, they are not considered a part of this streetscape in this discussion.

The properties to the north of the subject property consist of divided lite windows including the windows of the two-story building behind the neighboring lot. At the end of the street is La Fonda which very clearly has divided lite windows on all five rows of windows. Across the way is the open-air market, the Loretto Chapel and Loretto Inn. The structures on this western side of the road all have divided lite windows. Wrapping around and going north along the eastern side of the road the corner property has divided lites as well. The building located at 228 Old Santa Fe Trail had divided lite doors with two single lite windows. 222 and 218 Old Santa Fe trail each have single lite display windows as well. So, there are three businesses on the street frontage with single pane display windows. None of these display windows are connected to the door as a single fenestration. They are all smaller windows centered into a mass dominated façade. There are no cases on file in the Historic Preservation Division that show if the three buildings had approval to change to non-conforming single lite windows.

APPLICANT’S REQUEST:

The applicant requests approval for the work done without approval or permits:

- 1) Removal of the previously existing wood frame French door and two wood framed windows.
- 2) Replace the windows and doors with a single fenestration for with a glass door and side lites. The windows and door are single panes in dark bronze aluminum frames.
- 3) Stucco the east elevation to match the remaining portion of the structure in a cementitious

“Desert Rose”.

- 4) Install a single slope canvas awning in black mounted above the existing word header beam and below the existing parapet line.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(E)(1)(c): The applicant requests an exception to install windowpanes exceeding 30” in size.

(i) Do not damage the character of the district

Applicant Response: The addition of the storefront window and door in our opinion does not damage the character of the district. The new storefront identifies the retail business to the public view on this non-contributing structure while preserving the historical building elements. The storefront reflects an updated version of the original HDRB approval that allowed for glass areas with dimensions greater than thirty (30) inches in any dimension not under a portal.

Staff Response: Staff finds that this criterion has not been met. The alteration to a modern glazed store front does damage the character of the district. Both Old Santa Fe Style and Recent Santa Fe Style are characterized by its smaller openings, deeper inset windows and doors, and divided lite windows. These are written into the code and maintained throughout the District. Single-lite windows are only a part of the character of structures that have portals. The subject property holds no portal. The larger window openings are found on the Plaza but are not characteristic of this streetscape. The windows are out of proportion to this streetscape which does damage the character of the District.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: The addition of the storefront windows and doors provides the Owner with a greater area for the public to visually connect to the store welcoming clients to the business. The storefront windows and doors relieve the hardship of limited display area allowing the owner greater visibility to the public therefore becoming more competitive in the challenging Santa Fe market.

Staff Response: Staff finds that this criterion has not been met. The Downtown and Eastside Historic District is filled with successful businesses whose structures have divided lite windows, and no single pane display cases. No proof has been provided that business operations are impacted. Divided lite windows do not cause injury to the public welfare nor cause a hardship to the applicant.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: The alterations strengthen the unique character of the streetscape. The historic character of the building’s East facade is maintained. The storefront reflects a modern look to the retail nature of the business. The storefront alterations reflect an updated version of the original HDRB approval that allowed for glass areas with dimensions greater than thirty

(30) inches in any dimension not under a portal. The request, when approved, will allow the Owner to continue to provide services to all customers within this historic district, and in the Historic BCD of Santa Fe.

Staff Response: Staff finds that this criterion has not been met. The large open glazing is not in keeping with the historic character of the streetscape. The streetscape of 216 Old Santa Fe Trail is predominately divide lite windows, with few exceptions which cannot be substantiated as approved.

Furthermore, the historic case H-16-007 two windows and a door with divided lites were requested (please see Figure 4).

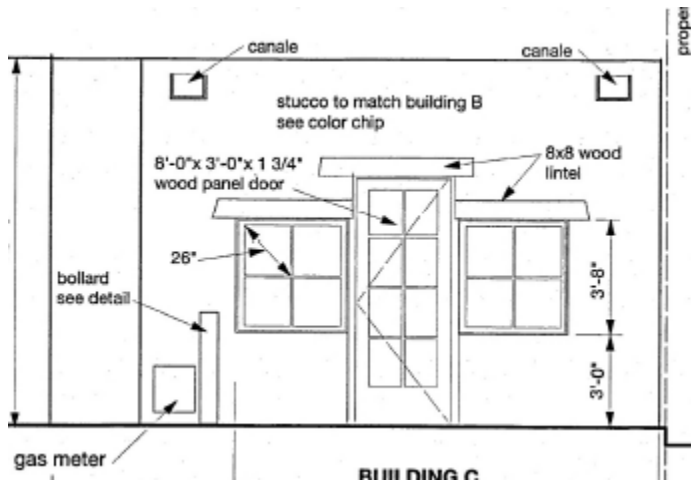


Figure 4: Proposed East Elevation under case H-16-007.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
 - (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
 - (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
 - (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
 - (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
 - (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.
- (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located


under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;


- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 24, 2024

| For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | | |
|---|---|--|
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District - Santa Fe | 3. Local Reference Number: Santa Fe ID: Old # 051610363 4. County: Santa Fe Parcel # 10257450 |
| 5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 commercial building <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object |  | |
| 6. Date of Survey: May 22, 2024 | | |
| 7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: December 20, 1984, Harry Weiss <input type="checkbox"/> No: | | |
| 8. Name of Project: HDRB Status Evaluation | | |
| 9. Lat/Long: 35.6854116,-105.9405717 | | |
| 10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east façade. Camera facing northwest. | | |
| 11. Brief Description of the Property: <p>The building, which took on its current appearance around 2016 with a street-front addition (Photo 1), began much earlier as a small house set on the back of the lot. Initially occupied by Fred and Josephine West, this structure maintained its original footprint through at least the 1980s (Fig.1). It later received a few additions but remained at the back of the lot and looked like a home. Today, everything visible from the public right-of-way is recent construction. The building has been largely modified, even at its 2016 extension.</p> <p>Continued on Page 5.</p> | | |
| 12. Who uses the property? Retail | | |
| 13. Construction Date: Date: c.1957-58 with major c.2016 east (front) addition <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs, deeds, and HDRB records | | |
| 14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Public | | |
| 15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A | | |

| | |
|--|--|
| <p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p> <div style="display: flex; align-items: center;">  <div style="margin-left: 10px;"> <p>Red indicates areas changed by c.2016 addition and other alterations. Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p> </div> </div> | <p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 John@archhistoryservices.com w/ Giulia Caporuscio</p> <p>For: Louis F. West, via John A. Padilla, AIA</p> |
| <p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Louis F. West</p> <p>N/A</p> | |
| <p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p> | |
| <p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p> | |
| <p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p> | |
| <p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p> | |
| <p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input type="checkbox"/> Contributing <input type="checkbox"/> Non-contributing <input checked="" type="checkbox"/> No Status Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Downtown and Eastside Historic District</p> | |
| <p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p> | |

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2 | | | | | | | | | | | | | | | | | | | |
|--|---|--|--|---------|--------|---|--|--|--|---|--|------|-------|----------|--------|--------|-----------------------------|-------|---|
| HCPI No. _____ | District No. _____ | NRHP _____ SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | | | | | | | | | | | | | | | | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District - Santa Fe | 3. Local Reference Number: Santa Fe ID: 4. County: Santa Fe 5. Date of Survey: May 22, 2024 | | | | | | | | | | | | | | | | | |
| ARCHITECTURAL AND CONSTRUCTION DETAILS: | | | | | | | | | | | | | | | | | | | |
| 6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame | | | 7. Number of Stories: <u> </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input checked="" type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: | | | | | | | | | | | | | | | | |
| 10. Window Types | | 11. Door Types | | | | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td colspan="4">Unknown. Southeast corner not accessible; see Figure 9.</td> </tr> </tbody> </table> | | Operation | Material | Glazing | Number | Unknown. Southeast corner not accessible; see Figure 9. | | | | <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Double</td> <td>Full-Glass Commercial Pivot</td> <td>Glass</td> <td>1</td> </tr> </tbody> </table> | | Type | Style | Material | Number | Double | Full-Glass Commercial Pivot | Glass | 1 |
| Operation | Material | Glazing | Number | | | | | | | | | | | | | | | | |
| Unknown. Southeast corner not accessible; see Figure 9. | | | | | | | | | | | | | | | | | | | |
| Type | Style | Material | Number | | | | | | | | | | | | | | | | |
| Double | Full-Glass Commercial Pivot | Glass | 1 | | | | | | | | | | | | | | | | |
| 12. Chimneys <input checked="" type="checkbox"/> N/A | | 13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap | | | | | | | | | | | | | | | | | |
| 14. Other Significant Features N/A | | | | | | | | | | | | | | | | | | | |
| 15. Modifications: <input checked="" type="checkbox"/> <u> </u> No known modifications #1 Date: c.2016, major modification involving front (east) added to c.1950s residence, obscuring original building and resulting in other changes. | | | | | | | | | | | | | | | | | | | |

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: _x_ Other: Commercial

17. Documents Available and Their Locations

| | |
|--|---|
| Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation | Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html |
|--|---|

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: See Figure 8.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
|---|--|---|------------|--|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
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| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: May 22, 2024 | | |

Architectural Description Continued

The building faces Old Santa Fe Trail with a recently modified façade (Photo 1). As shown on Google Street View (Fig. 2), the 2016 addition had a centered door bracketed by small display windows. Spanning the openings was a continuous wood lintel recessed into the stucco. The fenestration has been replaced with a modern storefront with pivot glass doors. The lintel remains but is now obscured by an awning.

North and South Side Elevations

The north and south side elevations have no openings visible from the street or walkways (Photos 2 & 3). From period aerial photographs, it is unclear what type of fenestration existed along the south elevation (Figs. 6 & 7). A 2017 administrative approval involving the change of a door location showed a ½-glass and wood panel door flanked by small sash windows (Fig. 9). This area was inaccessible during the survey, and the extent of changes made is unknown.

West – Rear Elevation

The extreme west elevation, representing the original home, is only visible from the adjacent property (Photo 4). Its façade appears to be altered from this view.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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| | | 5. Date of Survey: May 22, 2024 | | | |

Historical Overview

Block 33/Lot 3

Based on a 1919 sewerage assessment, Ignacita West, the widow of Louis West, a butcher, owned the land holding the subject property.¹

After her husband’s death, Ignacita married Pedro Roybal. The family lived in the Trujillo de Oyaca house adjacent to the subject to the property. This large courtyard home pre-dated American occupation and, as shown on the 1912 King’s map, was the only significant structure on the west side of College Street (Fig. 3). Jesusita Trujillo de Oyaca, who was Ignacita’s mother, owned the house and the surrounding property, which historically stretched to Shelby Street.

The small lot to the north, as evidenced by Sanborn Fire Insurance maps, remained undeveloped until the 1920s. The 1930 Sanborn map shows it had a small wood building that may have worked as a shed (Fig. 4). This same building is shown again on the 1948 insurance map. The 1950 census recorded Ignacita as the head of the household of the colonial-era courtyard home.² It included two of her adult children, Susie and Fred West. Ignacita Oyaca de West died six years later.

216 Old Santa Fe Trail

The circumstances are unclear, but Ignacita’s daughter, Susie W. Klemos, received the subject lot before the 1950s (Fig. 5). Fred, her brother, built a small home on the site in the late 1950s, as visible in a 1958 aerial photograph (Fig. 6). Fred was a Justice of Peace. He, his wife Josephine, and their son Freddie lived in the house until Fred died in 1965.³

¹ Sanitary Sewers Assessment, District 13, as published in the *Santa Fe New Mexican*, August 1, 1919, 5. The measurement matches the east boundary of 216 and 218 Old Santa Fe Trail.

² U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 2; Enumeration District: 26-14.

³ Susie West Klemos deeded the property to the current owner in the 1980s; Warranty Deed, Susie W. Klemos to Louis F. West, recorded August 31, 1981, Book 426/Book 480, Instrument # 484231, Santa Fe County, New Mexico.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | | |
|---|--|---|------------|--|--|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | | | |
| | | 4. County: Santa Fe | | | |
| | | 5. Date of Survey: May 22, 2024 | | | |

After his death, it was converted to commercial use, starting with Santa Fe Crafts, a tourist trinket shop, which opened in the winter of 1965.⁴ The building continued in retail for a short time and appears to have returned to being a residence in the late 1960s.⁵

Responding to the completion of the Inn at the Loretto in 1975, the former house again became a shop, housing jewelry stores. In the mid-1980s, it turned into Gallery Tigua (Fig. 1) which sold Native American and Hispanic paintings and sculptures. Until recently, it held the Maya Gallery. It is now crammed with purple quartz crystals, stitched cowboy boots, knife sets, and the like.

Evaluation of Historical Status

As currently designated, the building that appears on the City’s GIS map holds a mix of Contributing and Non-contributing status. The recommendation is to establish the entire building as Non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context.

⁴ “Formal Opening! [advertisement],” *Santa Fe New Mexican*, November 21, 1965, 12.

⁵ This is based on newspaper accounts and city directories.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
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Illustrations



Figure 1: December 20, 1984, HBI survey photo. Harry Weiss. Courtesy NMCRIIS.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | Criteria A B C D |
| HCPI No. _____ | District No. _____ | NRHP SRCP |
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Figure 2: September 2022, Google Street View image of east façade.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: 4. County: Santa Fe 5. Date of Survey: May 22, 2024 |

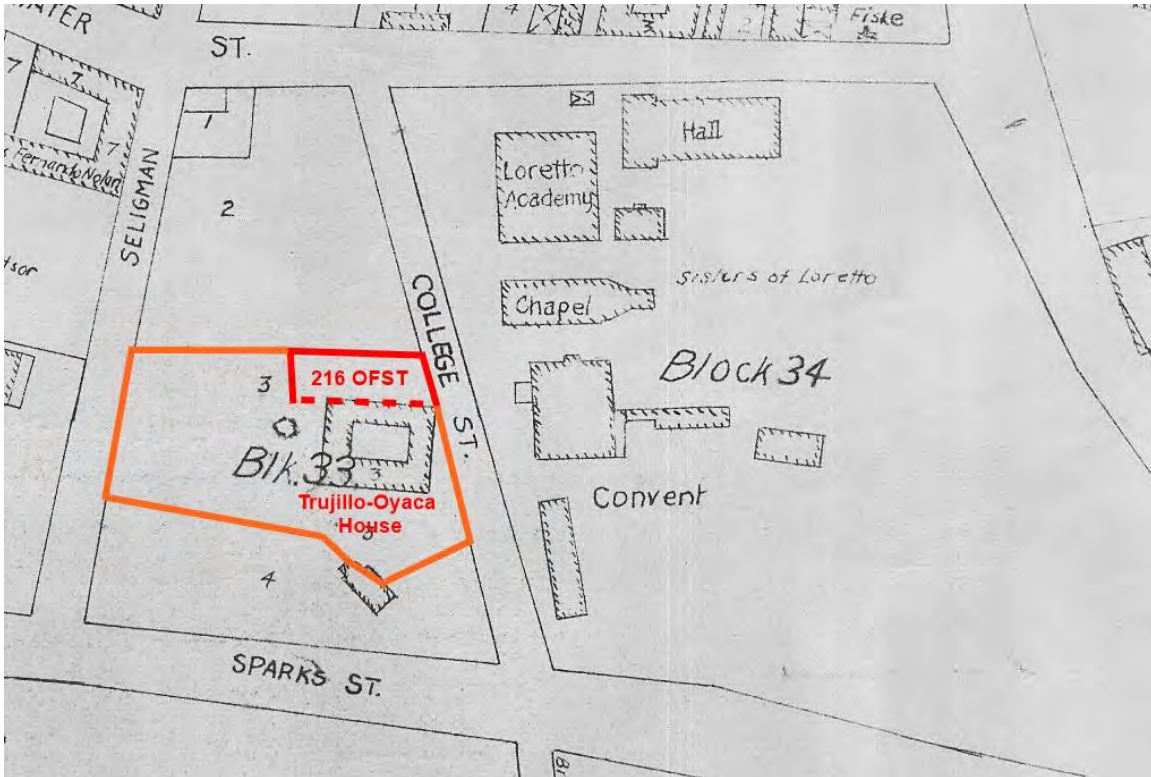


Figure 3: N. L. King, "Official Map of the City of Santa Fe," 1912. Approximate outline of future subject building highlighted along with historically associated property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ | | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
|---|--|---|--|--|--|
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | | | |
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| | | 5. Date of Survey: May 22, 2024 | | | |

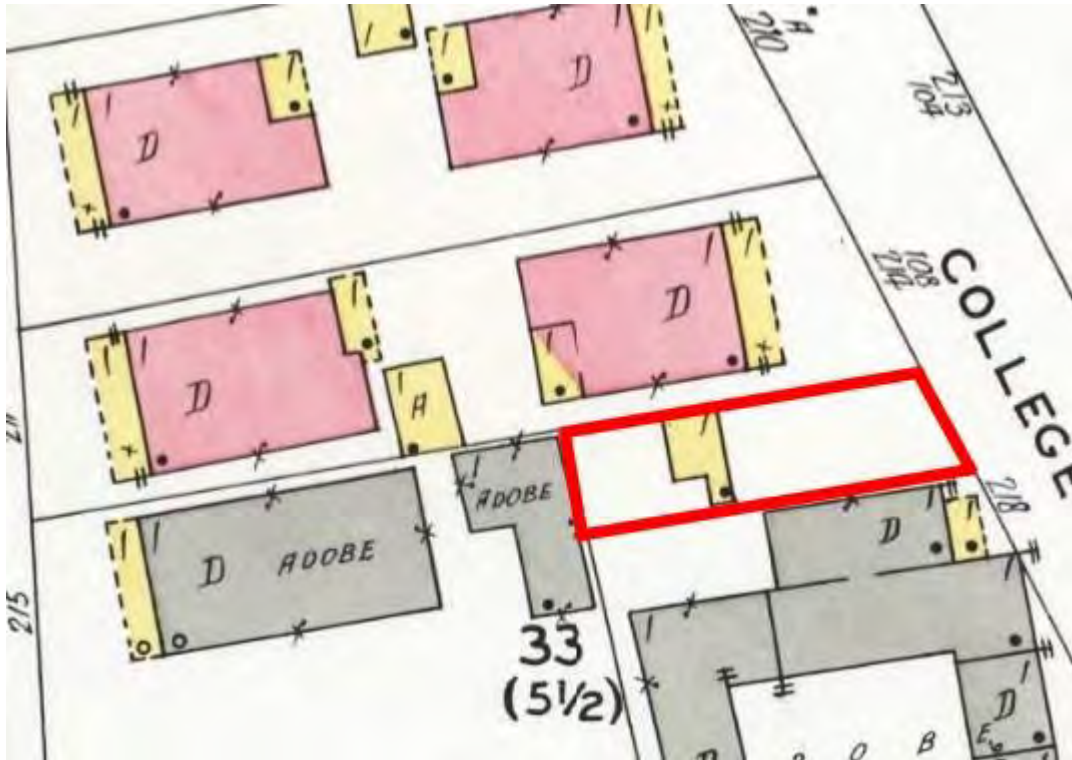


Figure 4: 1930 Sanborn Fire Insurance Company map. Approximate outline of future subject building highlighted. Note small wood building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | | | |
|---|--|--|---------------------|--|
| For HPD Office use only: HCPi No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | 4. County: Santa Fe | |
| | | 5. Date of Survey: May 22, 2024 | | |

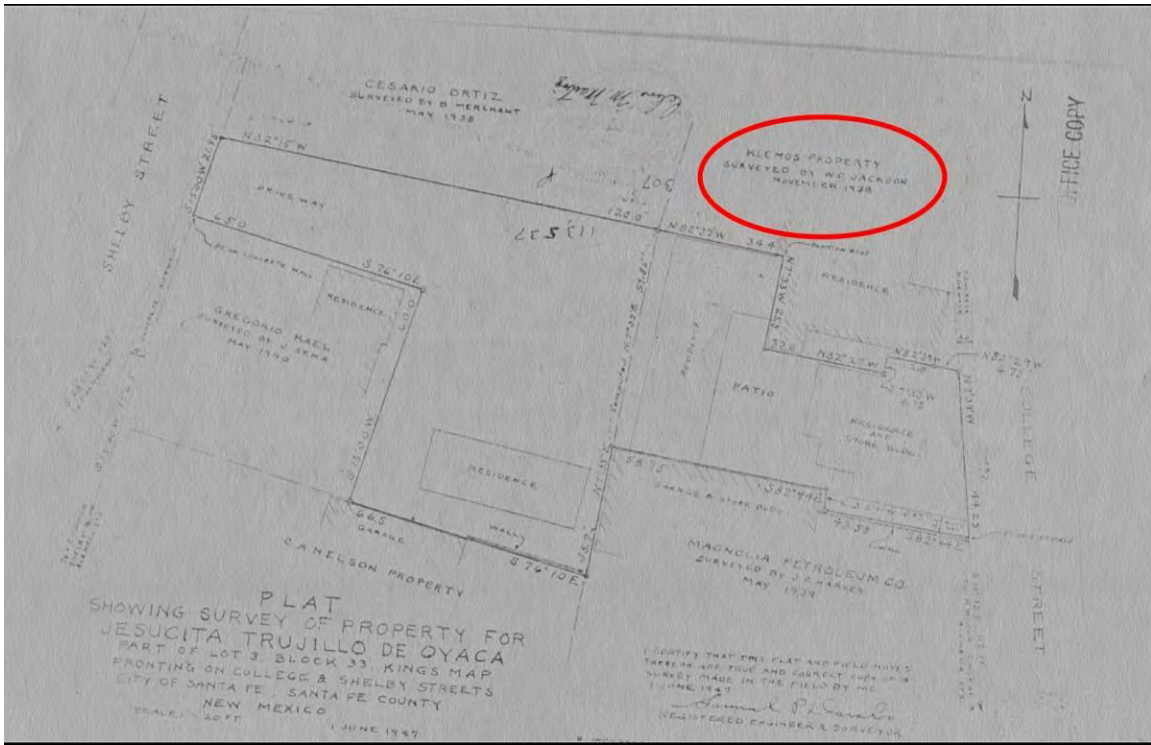
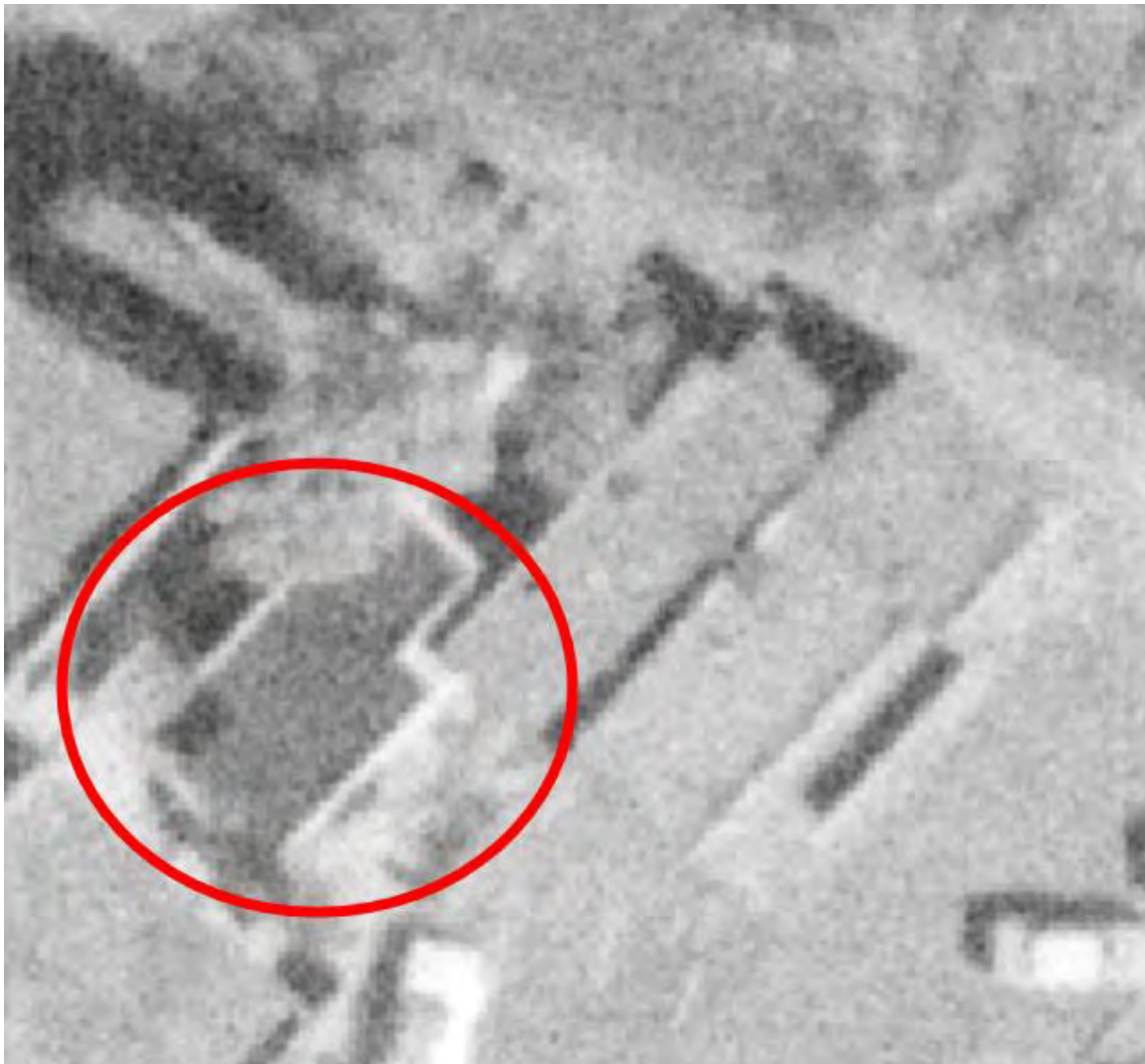


Figure 5: 1947 survey plat. Subject lot, owned by Susie West Klemos, highlighted. Note absence of dwelling.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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|---|--|---|------------|--|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
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| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: May 22, 2024 | | |



**Figure 6: November 10, 1958, aerial photograph.
Note presence of small house.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
|---|--|---|------------|--|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
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| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: May 22, 2024 | | |



Figure 7: September 11, 1978, aerial photograph.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|--|---|--|
| For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2 | | |
| HCPI No. _____ | District No. _____ NRHP _____ SRCP _____ Criteria <u> A </u> <u> B </u> <u> C </u> <u> D </u> | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: 4. County: Santa Fe 5. Date of Survey: May 22, 2024 |

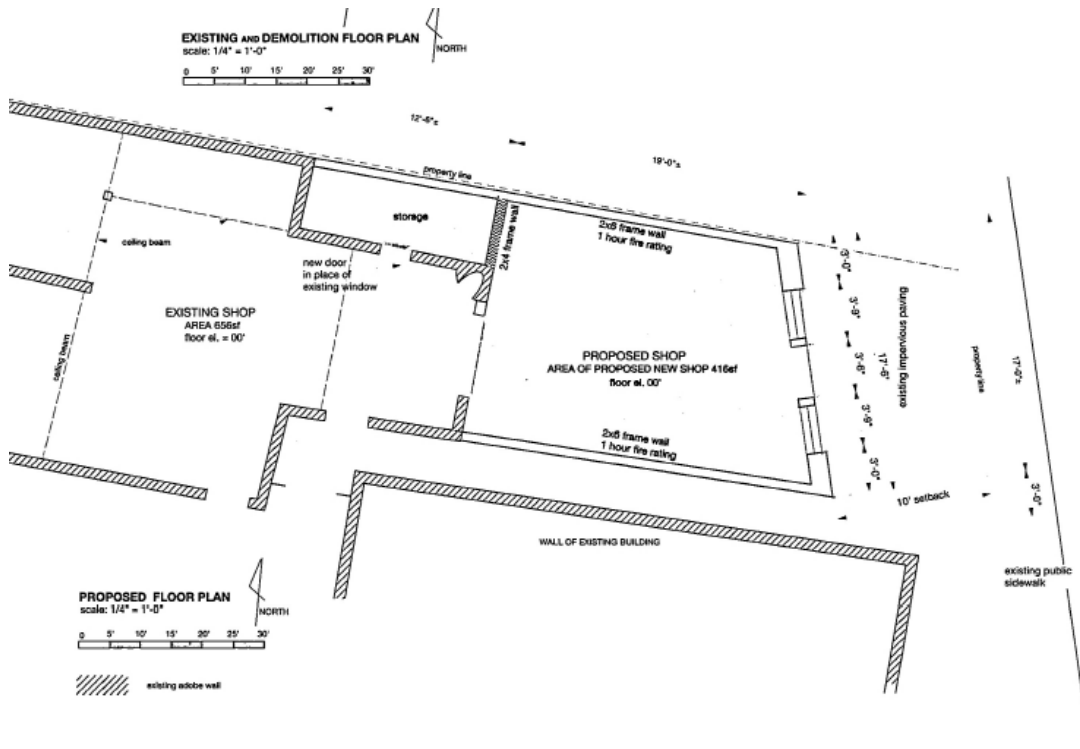
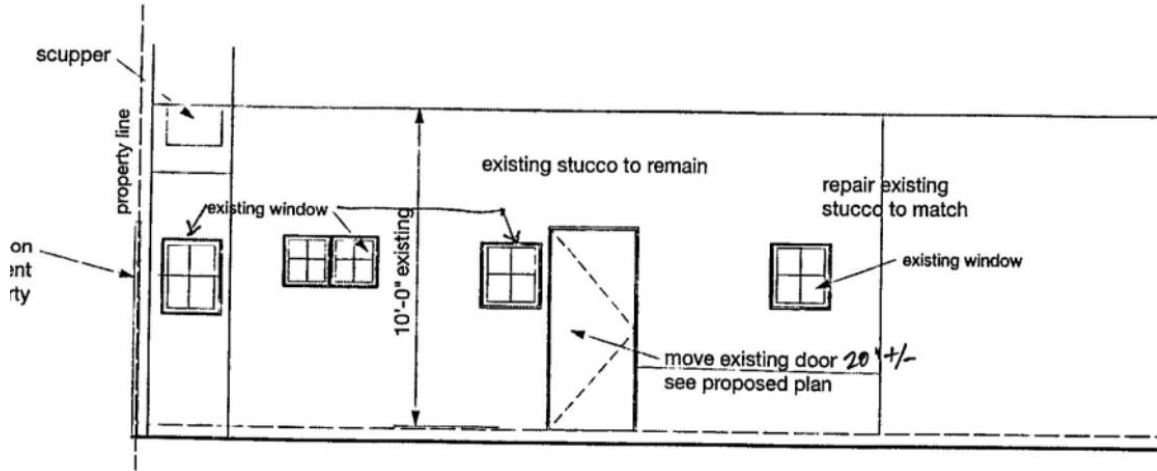


Figure 8: 2015 plan showing east addition and outline of original house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2 | | |
| HCPI No. _____ | District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
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PROPOSED SOUTH ELEVATION



Figure 9: Illustrations from February 15, 2017, administrative approval covering the southeast corner of the building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
 Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
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Survey Photographs

(All images taken by Giulia Caporuscio on May 22, 2024)

Southeast corner of the property was not accessible during the survey.



Photo 2: North elevation. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
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Photo 3: South elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

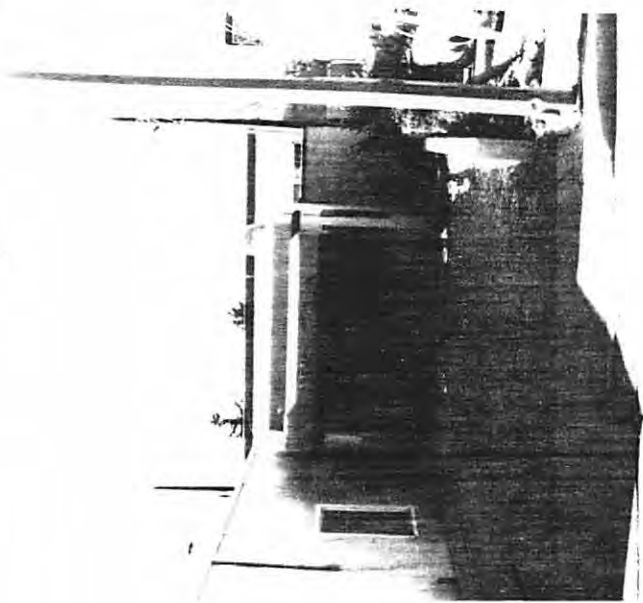
| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
|---|--|--|--|
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | |
| | | 4. County: Santa Fe | |
| | | 5. Date of Survey: May 22, 2024 | |



Photo 4: West elevation. Camera facing southeast.

| | | | |
|--|---------------------------------|-----------------------------------|---------------------|
| building threatened? yes | surveyed date 12/2/84 by HMW | county SANTA FE | ID no. 051610363 |
| field map SFHD # 1 | number 363 | UTM reference zone 12 13 | easting northing |
| location description 216 OLD SF TRAIL | | city/town SANTA FE | |
| | | land grant/reservation | |

| | |
|----------------------------------|---|
| building name GALLERY TIQUA | legal description tnsp N S range E W sec 1/4 1/4 |
| film roll by HMW no. SFHD# 19 | negative nos. 16 |
| | loc. of neg. HPB |
| | plan shape |



| | | |
|-------|-----------------------|--|
| style | foundation material | date of construction P 45 estimate actual |
| | wall material/surface | source SANTA SFDR |
| | | use present residential other historic residential other |
| | | condition excellent good fair deteriorating |
| | | degree of remodeling minor moderate major |
| | | describe: |

| | |
|------------------------|---|
| architectural features | surroundings COMM |
| | relationship to surroundings similar not similar |
| | district potential yes no |
| | significance eligible of none |
| | if eligible, interest |
| comments | why? NC DATE |
| | associated buildings? yes what type? |
| | if inventoried, list ID nos. |



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | | |
|---|--|--------------------------------|
| To Be Completed By Applicant: | | Site Address: |
| Date Submitted: <u>02/26/24</u> | | <u>216 OLD SANTA FE TRAIL.</u> |
| Property Owner of Record: <u>LEWIS WEST.</u> | Proposed Construction Description: | |
| Applicant/Agent Name: <u>JOHN A. PADILLA.</u> | <u>NEW STOREFRONT INSTALL EAST FACADE</u> | |
| Contact Person Phone Number: <u>(505) 660-1682</u> | TOTAL ROOF AREA: <u>EXISTING. NO CHANGE</u> | |
| Zoning District: <u>BGD OLD</u> | Lot Coverage: _____ % <u>EXISTING.</u> <input type="checkbox"/> Open Space Required: _____ | |
| Overlay: <input type="checkbox"/> Escarpment _____ <u>-</u> <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ | Setbacks: Proposed Front: <u>10'-0"</u> Minimum: <u>-</u> 2 nd Front? _____ Proposed Rear: <u>0'-0"</u> Minimum: <u>-</u> Proposed Sides: L <u>0'</u> R <u>5'</u> Minimum: <u>5'</u> Existing | |
| Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations | Height: Proposed <u>12' 2"</u> Maximum Height: <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District | |
| Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit | Parking Spaces: Proposed <u>0</u> Accessible <u>0</u> Minimum: <u>0</u> | |
| Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required | Bicycle Parking**: Proposed: <u>ONE</u> Minimum: <u>ONE</u> ** Commercial Requirement | |
| Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: <u>Gallery</u> | | |
| Terrain: <input type="checkbox"/> 30% slopes _____ <u>-</u> | | |

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JOHN A. PADILLA.
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
SIGNATURE

02/25/24 / 04/01/24.
DATE

| | |
|---|---------------------------|
| To Be Completed By City Staff: | Case no. 2024-008009 |
| Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ Notes: _____ | |
| Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: <u>Legal lot of record provided.</u> <u>One inverted u provided for onsite bike parking</u> | |
| REVIEWER: <u>Carly Venditti</u> <u>Carly Venditti</u> | DATE: <u>4 / 3 / 2024</u> |

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Revised 20 November 2020

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8452-HDRB

Address – 216 Old Santa Fe Trail

Agent’s Name – John Padilla

Owner/Applicant’s Name – Lewis West

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 25, 2024.

BACKGROUND

216 Old Santa Fe Trail is a non-residential structure located in the Downtown and Eastside Historic District. The original structure built on this property in the 1920s – perhaps a shed – has been removed. The earliest part of the existing structure was constructed in a vernacular manner between 1956 and 1958. The 1984 Historic Cultural Properties Inventory form provides little information about it, no history, and it describes the significance of the structure as “none.” The City’s official Building Historic Status map shows that the front part of the structure is contributing while the rear portion is non-contributing, however, this is inconsistent with the building’s history because it is documented that previous owners built an addition on the front in 2016-17. The 2024 HCPI describes many changes to the building since it was built in the 1950s, including the conversion of the structure from residential to commercial.

Aerial photography shows the structure in 1958 and with additions in 1978. The 1984 structure was entirely to the rear of the lot and still appeared as the original residence. The City issued a building permit for a detached family residence in 2005 (BLDR-2005-3137), however there is no indication that a second structure was ever built there, as there is no second structure in any aerial or photo including the 2007 street image from Google Maps. A tent is in this image and may be the permitted structure from 2005. The tent was still in use in 2014 but was removed by 2015.

The 2016 Historic Preservation case, Case # H-16-007, reads that the property is listed as non-contributing to the Downtown and Eastside Historic District. This 2016 case requested the removal of the temporary tent and the construction of a 346-square-foot addition on the east, street-facing elevation, and a 63-square-foot addition to the north elevation. Additional work on the property in 2017 altered the face of the structure by enclosing windows and increasing the size of fenestrations to create the store front as it appears in 2022. The structure as it exists today has no fenestrations on either the north or south elevations. The east façade was altered again in 2023, creating a glass front, and while the single header from the 2016 conversion is still present, it is obscured by a new awning.

The Applicant requests:

- 1) Status review of the non-residential structure; and
- 2) Designation of primary facades, if applicable.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be designated as non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context, per SFCC Section 14-5.2(C) Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “non-contributing structure,” as recommended by the Staff. The Board finds that the structure at this location exhibits none of the elements that defined its original architecture.
11. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the structure as non-contributing.

IT IS SO ORDERED ON THIS 24th DAY of SEPTEMBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2023-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District.
DESC: Non-contributing Historic Status. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable.

CASE NUMBER: 2024-008452--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 216 OLD SANTA FE TRL
Santa Fe, NM 87501

CONTACTS: Property Owner Louis West

Applicant John Padilla

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Jun 25, 2024. The decision of the Board was to designate the entire structure as non-contributing to the Downtown and Eastside Historic District.

Please note that the full motion for the designation was: "In case 2024-008452-HDRB for 216 Old Santa Fe trail, I move that based on the record presented, the application, and the staff report findings be entered agreeing with the position in the staff report and the recommendation that the designation of the entire building be non-contributing but I want to add a comment which is not a condition (of approval) this is an unusual case where we are not looking down the road at what changes might be coming before us. I am looking at changes that have already been made, I would be very unhappy if we didn't have this altered either through a subsequent application or an action from the City to ensure that this building be either preferably exactly as it was approved previously by the Board (this is reference to the facade as it was approved in 2016 and 2017) or return to that or something equivalent that the applicant chooses instead to bring expeditiously a new application for renovation to the Board. If it is not expeditious, I would urge the City to take a course of action."

For further information please call 505-955-6605.

Sincerely,

Lani McCulley

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008452--HDRB

Project Description: 2023-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing Historic Status. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable.

Project Location(s): 216 OLD SANTA FE TRL
Santa Fe, NM 87501

Contacts:

Property Owner: Louis West

calzapper@gmail.com

Applicant: John Padilla

japadillaarchitect@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused:

Non-Contributing:

Contributing: True

Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: 1984

Year of Construction: 1956-1958

Project Type: Historic Status Review

Historic Building Name: Gallery Tiqua

City of Santa Fe, New Mexico

memo

DATE: June 25, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: previous case documents

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: 2024 HCPI

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

216 Old Santa Fe Trail is a non-residential structure located in the Downtown and Eastside Historic District. The status map shows that the front portion of the structure is contributing while the rear portion is non-contributing.



Figure 1: Status designation map

The structure was constructed in a vernacular manner between 1956 and 1958. The 1984 HCPI form provides no information about the structure. The 2024 HCPI reflects the changes that were made without permit or approval from the HDRB in 2023.



Figure 1: December 20, 1984, HBI survey photo. Harry Weiss. Courtesy NMCRIIS.



Figure 2: Difference between store frontages 1984 and 2024.

Aerial photography shows the structure in 1958 and with additions in 1978. The 1984 structure was entirely to the rear of the lot and still appeared as the original residence. A building permit for a detached family residence was issued in 2005 (BLDR-2005-3137), however there is no indication that a second structure was ever built as there is not a second structure in any aerial or photo including the street image from Google Maps in

2007. A tent structure is in this image and may be the permitted structure from 2005. This structure was still in use in 2014 but is missing by 2015.

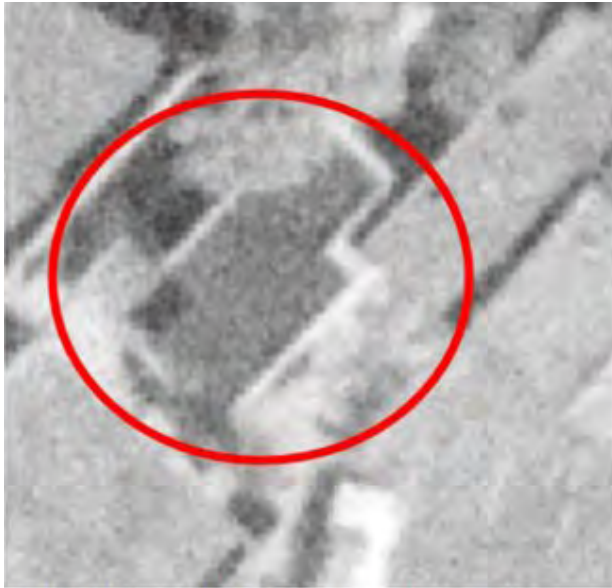


Figure 6: November 10, 1958, aerial photograph. Note presence of small house.



Figure 7: September 11, 1978, aerial photograph.

Figure 3: Aerials from 1958 and 1978



Figure 4: Store front in 2005 and 2015

The 2016 historic preservation case H-16-007 indicates that the property is listed as non-contributing to the Downtown and Eastside Historic District. This 2016 case requested the removal of the temporary tent structure and the construction of a 346 sq. ft. addition on the east elevation, and a 63 sq. ft. addition to the north elevation.

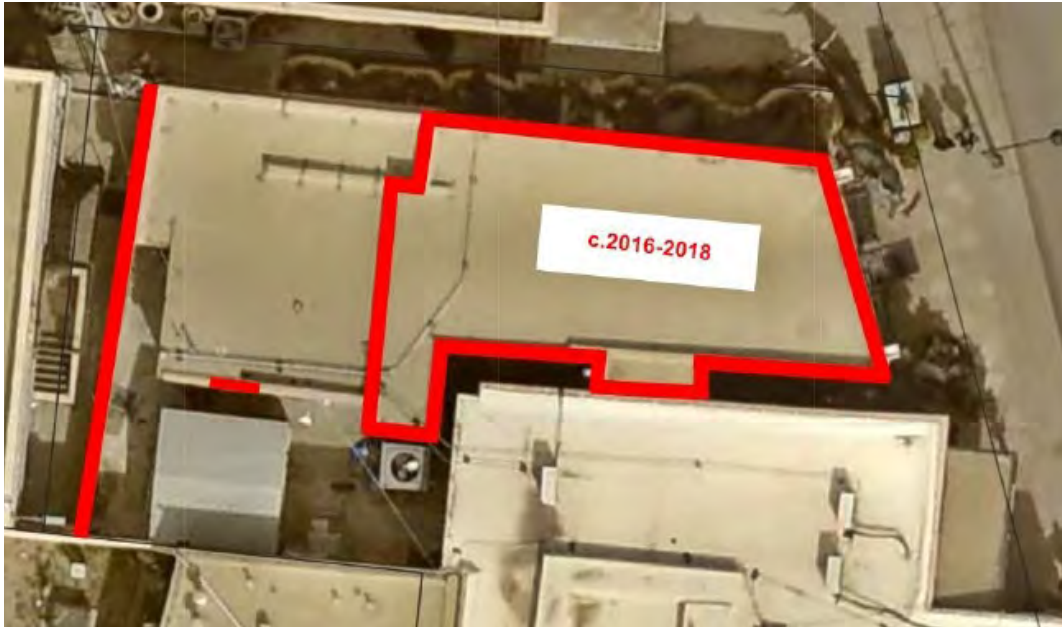


Figure 5: Red indicating the alterations by circa 2016 addition and other alterations

Additional work on the property in 2017 altered the face of the structure by enclosing windows and increasing the size of fenestrations to create the store front as it appears in 2022.

The structure as it exists today has no fenestrations on either the north or south elevations. The east façade was altered again in 2023 creating a glass front and while the single header from the 2016 conversion is still present, it is obscured by a new awning.



2022 Store front left and 2024 Store front above.

Figure 6: Store fronts in 2022 and 2024

The applicant requests:

- 1) Status review of the non-residential structure and;

- 2) Designation of primary facades, if applicable.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

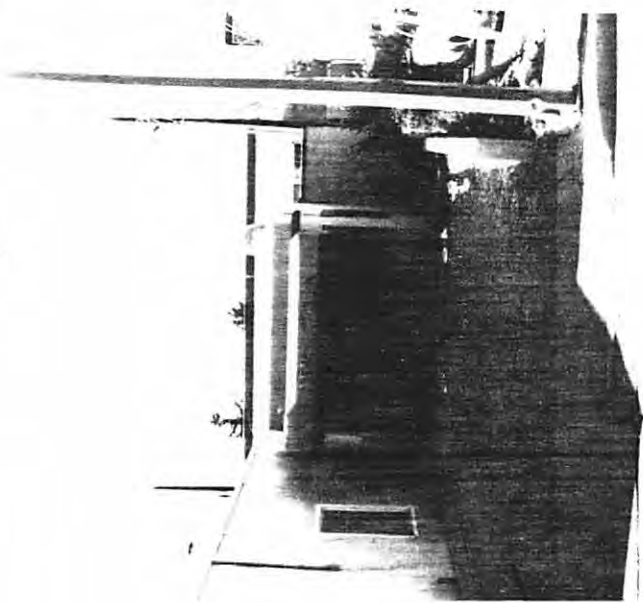
Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

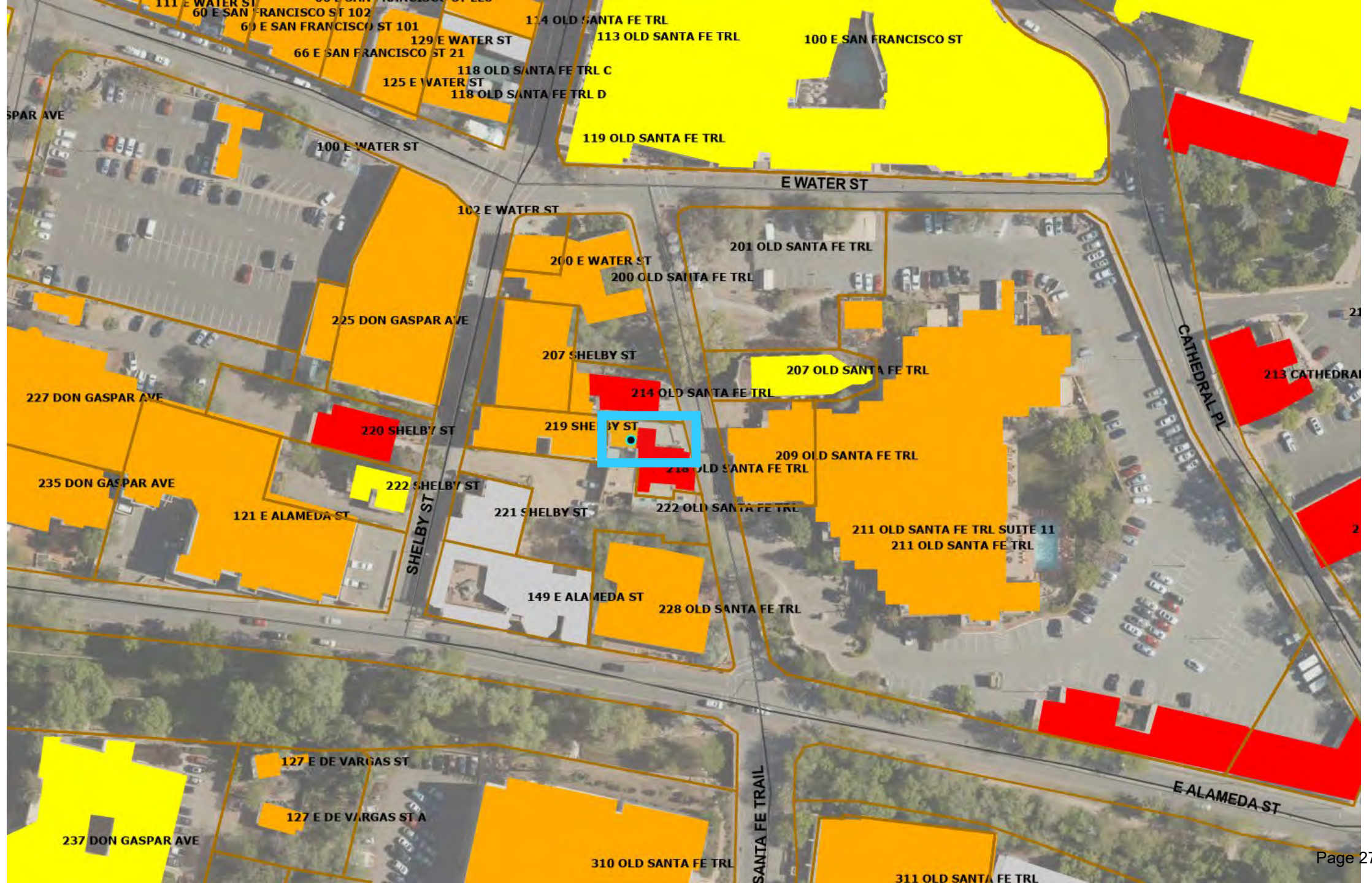
| | | | |
|--|---------------------------------|-----------------------------------|---------------------|
| building threatened? yes | surveyed date 12/2/84 by HMW | county SANTA FE | ID no. 051610363 |
| field map SFHD # 1 | number 363 | UTM reference zone 12 13 | easting northing |
| location description 216 OLD SF TRAIL | | city/town SANTA FE | |
| | | land grant/reservation | |

| | |
|-----------------------------------|---|
| building name GALLERY TIQUA | legal description tnsp N S range E W sec <u>1/4</u> <u>1/4</u> |
| film roll by HMW no. SFHD # 19 | negative nos. 16 |
| | loc. of neg. HPB |
| | plan shape |



| | | |
|-------|-----------------------|--|
| style | foundation material | date of construction P 45 estimate actual |
| | wall material/surface | source SANTA; SFDIR |
| | | use present residential other historic residential other |
| | | condition excellent good fair deteriorating |
| | | degree of remodeling minor moderate major |
| | | describe: |

| | |
|------------------------|---|
| architectural features | surroundings COMM |
| | relationship to surroundings similar <input checked="" type="checkbox"/> not similar |
| | district potential yes no |
| | significance eligible of <input checked="" type="checkbox"/> none |
| | if eligible, interest |
| comments | why? NC DATE |
| | associated buildings? yes what type? |
| | if inventoried, list ID nos. |



City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**June 25, 2024
2024-008452-HDRB
Applicant Submittal
Status Review
216 Old Santa Fe Trail**



May 30, 2024

Lani McCulley
Senior Planner
Historic Preservation Division
Planning & Land Use Department
City of Santa Fe

RE: Requesting Historic Status Review
216 Old Santa Fe Trail

Dear Lani,

On behalf of the Owner, who I am representing before the Historic Preservation Division we request a review of the historic status of 216 Old Santa Fe Trail. The property is in the Downtown and Eastside Historic District without status. Our request is to have a status designation of Non-Contributing.

My client references the significant changes, additions, and modifications to the original home and additions to the east elevation of the original structure. The modifications to the original residence have changed the property enough to warrant Non-Contributing status.

Thank you for consideration of our request. Please let me know if you require any additional information.

Sincerely,


A handwritten signature in black ink, appearing to read 'JAP', with a horizontal line extending to the right.

John A. Padilla, AIA
Architect

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 24, 2024

| | | |
|--|---|--|
| For HPD Office use only: HCPI No. _____ District No. _____ NRHP ___ SRCP ___ Criteria ___A___B___C___D | | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District - Santa Fe | 3. Local Reference Number: Santa Fe ID: Old # 051610363 4. County: Santa Fe Parcel # 10257450 |
| 5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 commercial building <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object |  | |
| 6. Date of Survey: May 22, 2024 | | |
| 7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: December 20, 1984, Harry Weiss <input type="checkbox"/> No: | | |
| 8. Name of Project: HDRB Status Evaluation | | |
| 9. Lat/Long: 35.6854116,-105.9405717 | | |
| 10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east façade. Camera facing northwest. | | |
| 11. Brief Description of the Property: The building, which took on its current appearance around 2016 with a street-front addition (Photo 1), began much earlier as a small house set on the back of the lot. Initially occupied by Fred and Josephine West, this structure maintained its original footprint through at least the 1980s (Fig.1). It later received a few additions but remained at the back of the lot and looked like a home. Today, everything visible from the public right-of-way is recent construction. The building has been largely modified, even at its 2016 extension. Continued on Page 5. | | |
| 12. Who uses the property? Retail | | |
| 13. Construction Date: Date: c.1957-58 with major c.2016 east (front) addition <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs, deeds, and HDRB records | | |
| 14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Public | | |
| 15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A | | |

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: _x_ Other: Commercial

17. Documents Available and Their Locations

| | |
|--|---|
| Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation | Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html |
|--|---|

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: See Figure 8.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | | |
|--|---|--|--|
| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | |
| | | _NRHP_ _SRCP_ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | |
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Architectural Description Continued

The building faces Old Santa Fe Trail with a recently modified façade (Photo 1). As shown on Google Street View (Fig. 2), the 2016 addition had a centered door bracketed by small display windows. Spanning the openings was a continuous wood lintel recessed into the stucco. The fenestration has been replaced with a modern storefront with pivot glass doors. The lintel remains but is now obscured by an awning.

North and South Side Elevations

The north and south side elevations have no openings visible from the street or walkways (Photos 2 & 3). From period aerial photographs, it is unclear what type of fenestration existed along the south elevation (Figs. 6 & 7). A 2017 administrative approval involving the change of a door location showed a ½-glass and wood panel door flanked by small sash windows (Fig. 9). This area was inaccessible during the survey, and the extent of changes made is unknown.

West – Rear Elevation

The extreme west elevation, representing the original home, is only visible from the adjacent property (Photo 4). Its façade appears to be altered from this view.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Historical Overview

Block 33/Lot 3

Based on a 1919 sewerage assessment, Ignacita West, the widow of Louis West, a butcher, owned the land holding the subject property.¹

After her husband’s death, Ignacita married Pedro Roybal. The family lived in the Trujillo de Oyaca house adjacent to the subject to the property. This large courtyard home pre-dated American occupation and, as shown on the 1912 King’s map, was the only significant structure on the west side of College Street (Fig. 3). Jesusita Trujillo de Oyaca, who was Ignacita’s mother, owned the house and the surrounding property, which historically stretched to Shelby Street.

The small lot to the north, as evidenced by Sanborn Fire Insurance maps, remained undeveloped until the 1920s. The 1930 Sanborn map shows it had a small wood building that may have worked as a shed (Fig. 4). This same building is shown again on the 1948 insurance map. The 1950 census recorded Ignacita as the head of the household of the colonial-era courtyard home.² It included two of her adult children, Susie and Fred West. Ignacita Oyaca de West died six years later.

216 Old Santa Fe Trail

The circumstances are unclear, but Ignacita’s daughter, Susie W. Klemos, received the subject lot before the 1950s (Fig. 5). Fred, her brother, built a small home on the site in the late 1950s, as visible in a 1958 aerial photograph (Fig. 6). Fred was a Justice of Peace. He, his wife Josephine, and their son Freddie lived in the house until Fred died in 1965.³

¹ Sanitary Sewers Assessment, District 13, as published in the *Santa Fe New Mexican*, August 1, 1919, 5. The measurement matches the east boundary of 216 and 218 Old Santa Fe Trail.

² U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 2; Enumeration District: 26-14.

³ Susie West Klemos deeded the property to the current owner in the 1980s; Warranty Deed, Susie W. Klemos to Louis F. West, recorded August 31, 1981, Book 426/Book 480, Instrument # 484231, Santa Fe County, New Mexico.

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| Former Fred and Josephine West House/ 2016 Commercial Building | | 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | |
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After his death, it was converted to commercial use, starting with Santa Fe Crafts, a tourist trinket shop, which opened in the winter of 1965.⁴ The building continued in retail for a short time and appears to have returned to being a residence in the late 1960s.⁵

Responding to the completion of the Inn at the Loretto in 1975, the former house again became a shop, housing jewelry stores. In the mid-1980s, it turned into Gallery Tigua (Fig. 1) which sold Native American and Hispanic paintings and sculptures. Until recently, it held the Maya Gallery. It is now crammed with purple quartz crystals, stitched cowboy boots, knife sets, and the like.

Evaluation of Historical Status

As currently designated, the building that appears on the City’s GIS map holds a mix of Contributing and Non-contributing status. The recommendation is to establish the entire building as Non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context.

⁴ “Formal Opening! [advertisement],” *Santa Fe New Mexican*, November 21, 1965, 12.

⁵ This is based on newspaper accounts and city directories.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Illustrations



**Figure 1: December 20, 1984, HBI survey photo. Harry Weiss.
Courtesy NMCRIIS.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Figure 2: September 2022, Google Street View image of east façade.

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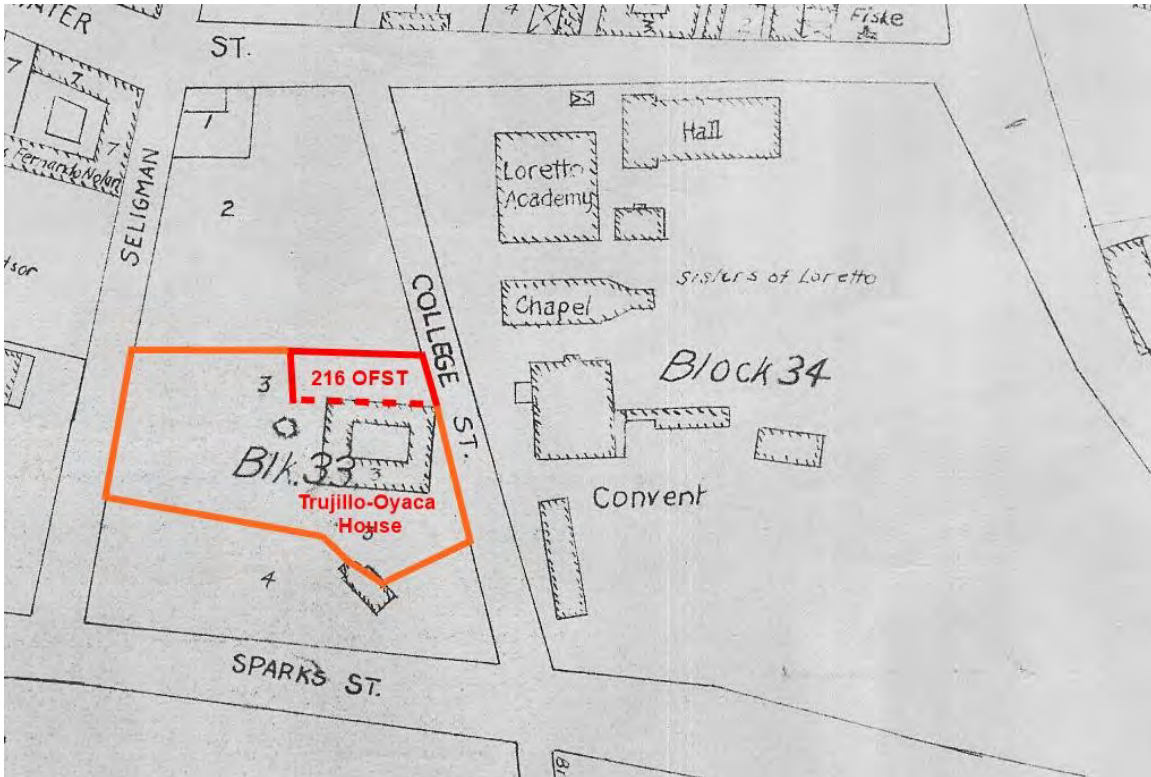


Figure 3: N. L. King, "Official Map of the City of Santa Fe," 1912. Approximate outline of future subject building highlighted along with historically associated property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Figure 4: 1930 Sanborn Fire Insurance Company map. Approximate outline of future subject building highlighted. Note small wood building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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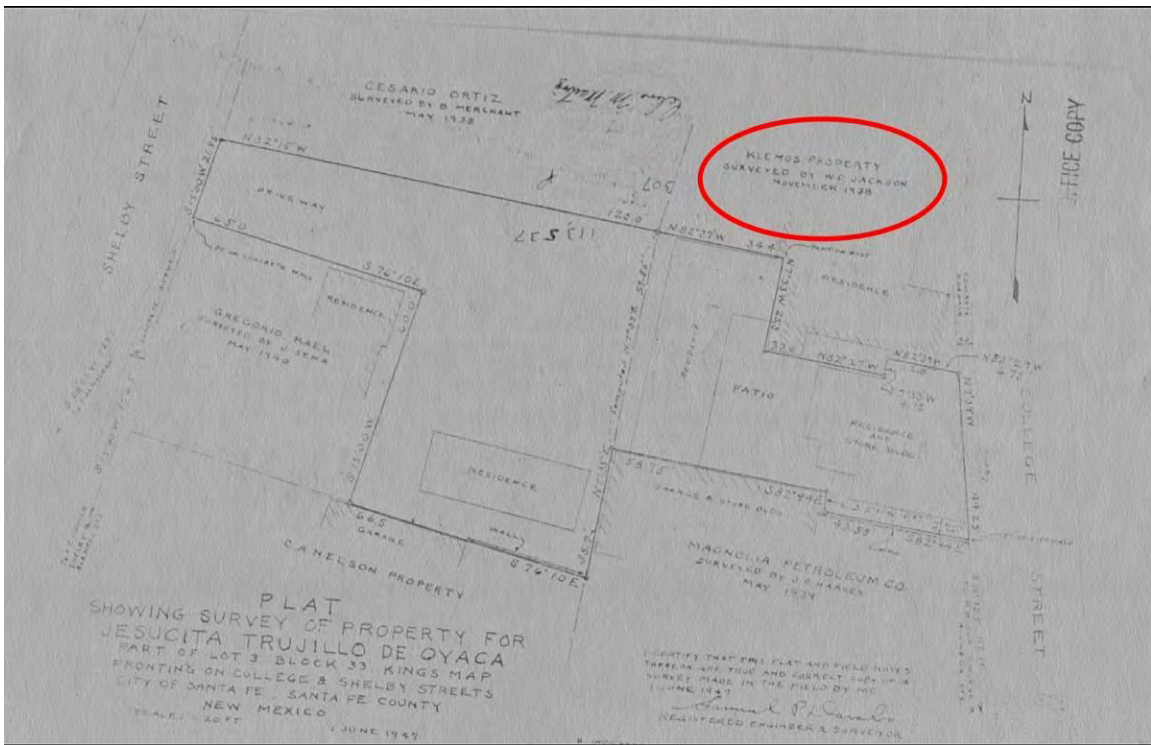
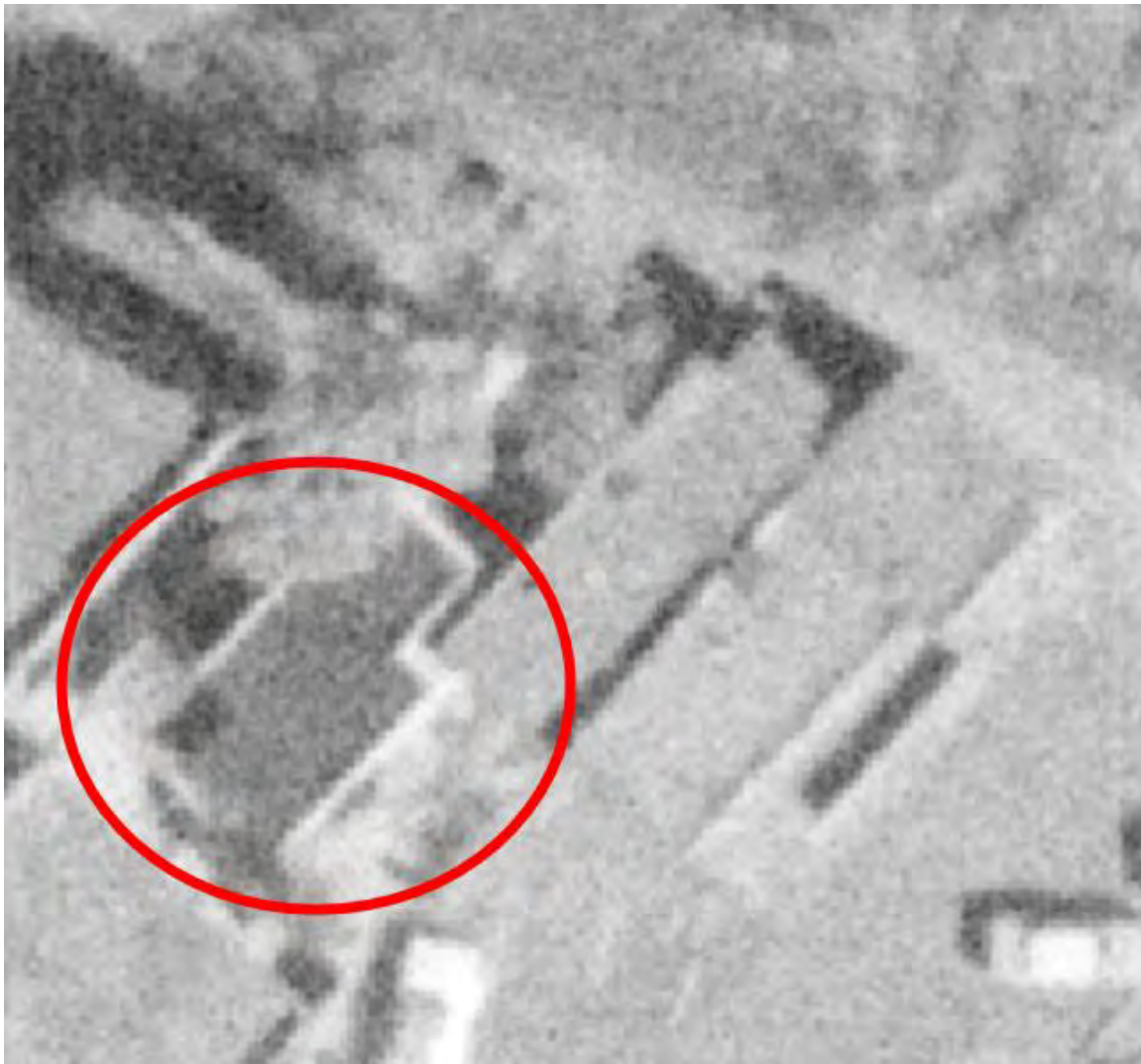


Figure 5: 1947 survey plat. Subject lot, owned by Susie West Klemos, highlighted. Note absence of dwelling.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Figure 6: November 10, 1958, aerial photograph.
Note presence of small house.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Figure 7: September 11, 1978, aerial photograph.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | |
| | | NRHP _____ | SRCP _____ |
| | | Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u> | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | |
| | | 4. County: Santa Fe | |
| | | 5. Date of Survey: May 22, 2024 | |

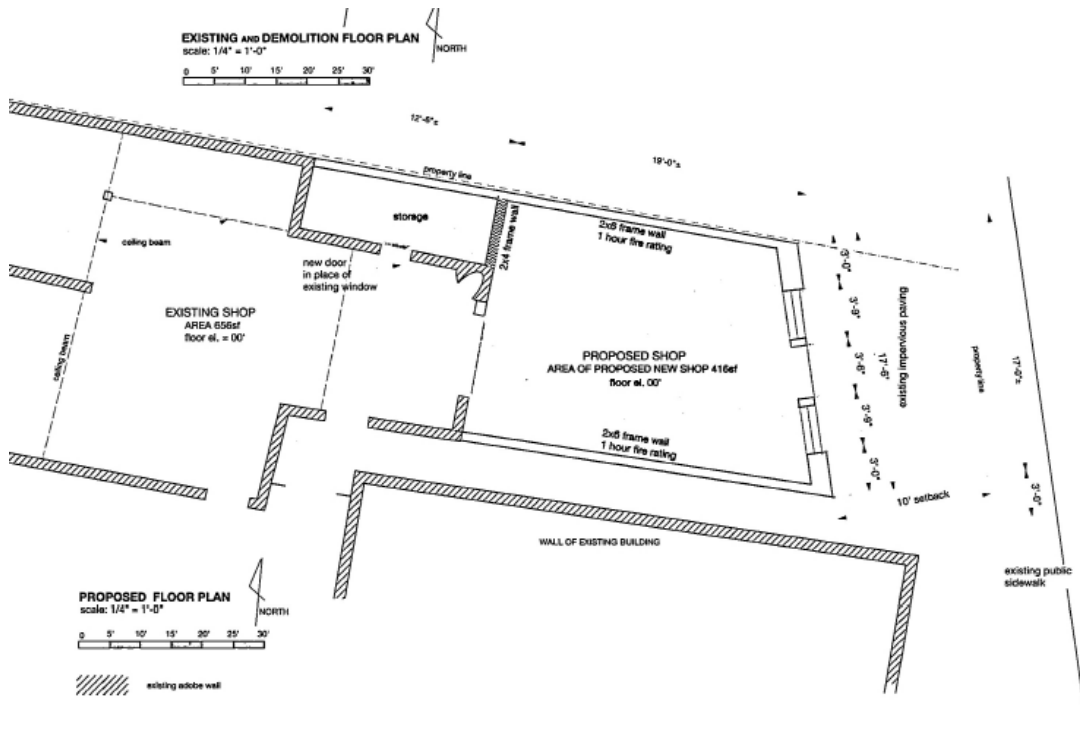
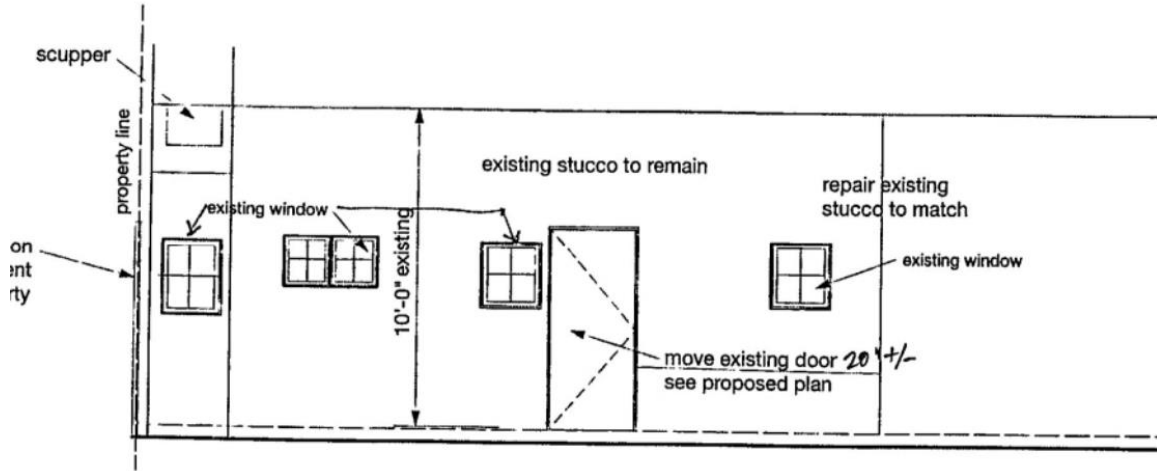


Figure 8: 2015 plan showing east addition and outline of original house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | | |
|---|--|--|------------|
| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | |
| | | NRHP _____ | SRCP _____ |
| | | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: | |
| | | 4. County: Santa Fe | |
| | | 5. Date of Survey: May 22, 2024 | |



PROPOSED SOUTH ELEVATION



Figure 9: Illustrations from February 15, 2017, administrative approval covering the southeast corner of the building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ | NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: |
| | | 4. County: Santa Fe |
| | | 5. Date of Survey: May 22, 2024 |

Survey Photographs

(All images taken by Giulia Caporuscio on May 22, 2024)

Southeast corner of the property was not accessible during the survey.



Photo 2: North elevation. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | | | | | | | |
|--|--|---|------|----------|---|---|---|---|
| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | | | | | | |
| | | NRHP | SRCP | Criteria | A | B | C | D |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | | | 3. Local Reference Number: Santa Fe ID: | | | |
| | | | | | 4. County: Santa Fe | | | |
| | | | | | 5. Date of Survey: May 22, 2024 | | | |



Photo 3: South elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

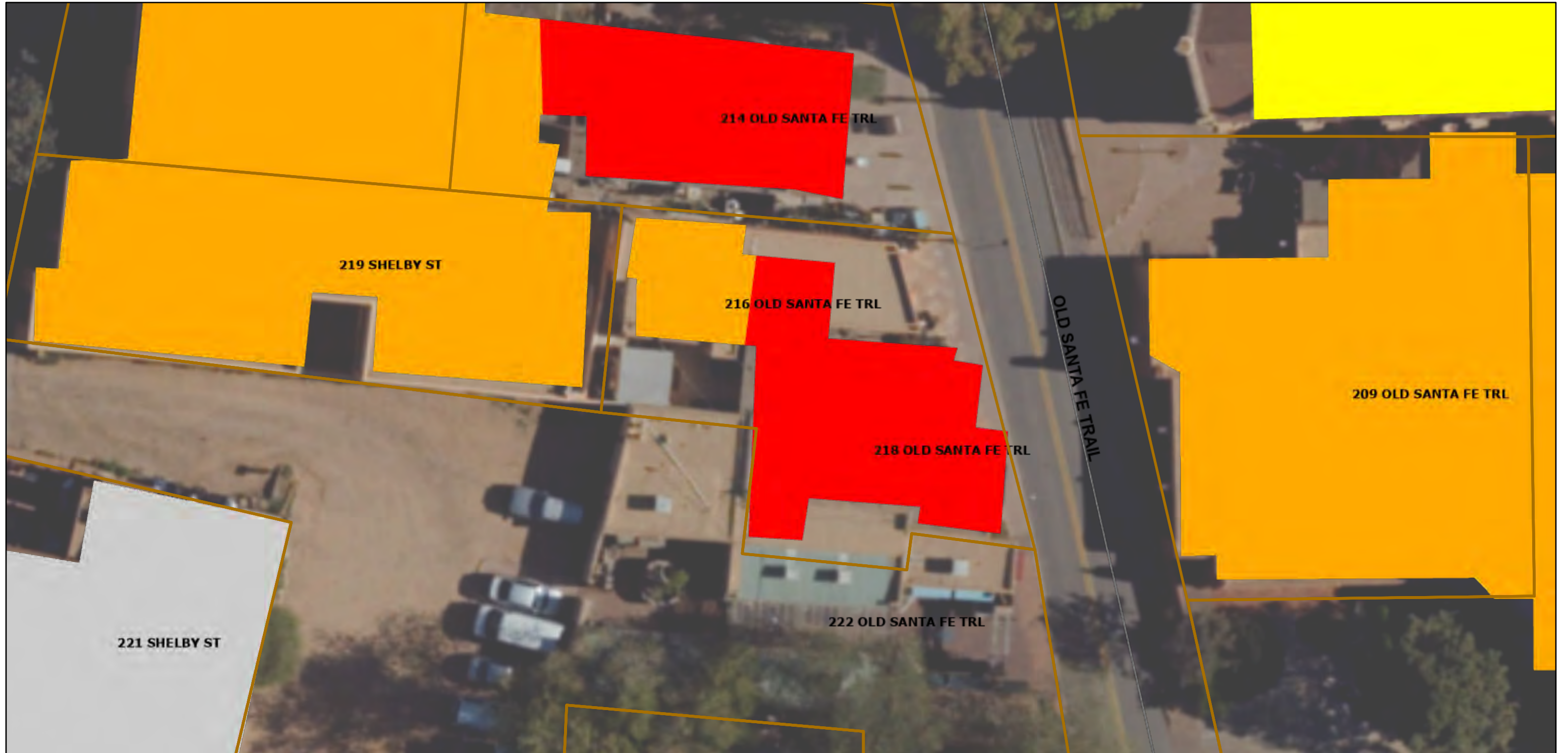
Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | |
|---|--|--|
| For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
| HCPI No. _____ | District No. _____ | NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
| 1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building | 2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe | 3. Local Reference Number: Santa Fe ID: |
| | | 4. County: Santa Fe |
| | | 5. Date of Survey: May 22, 2024 |



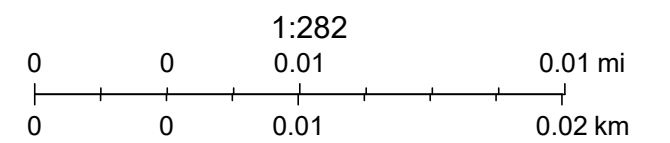
Photo 4: West elevation. Camera facing southeast.

216 OSFT Historic Status



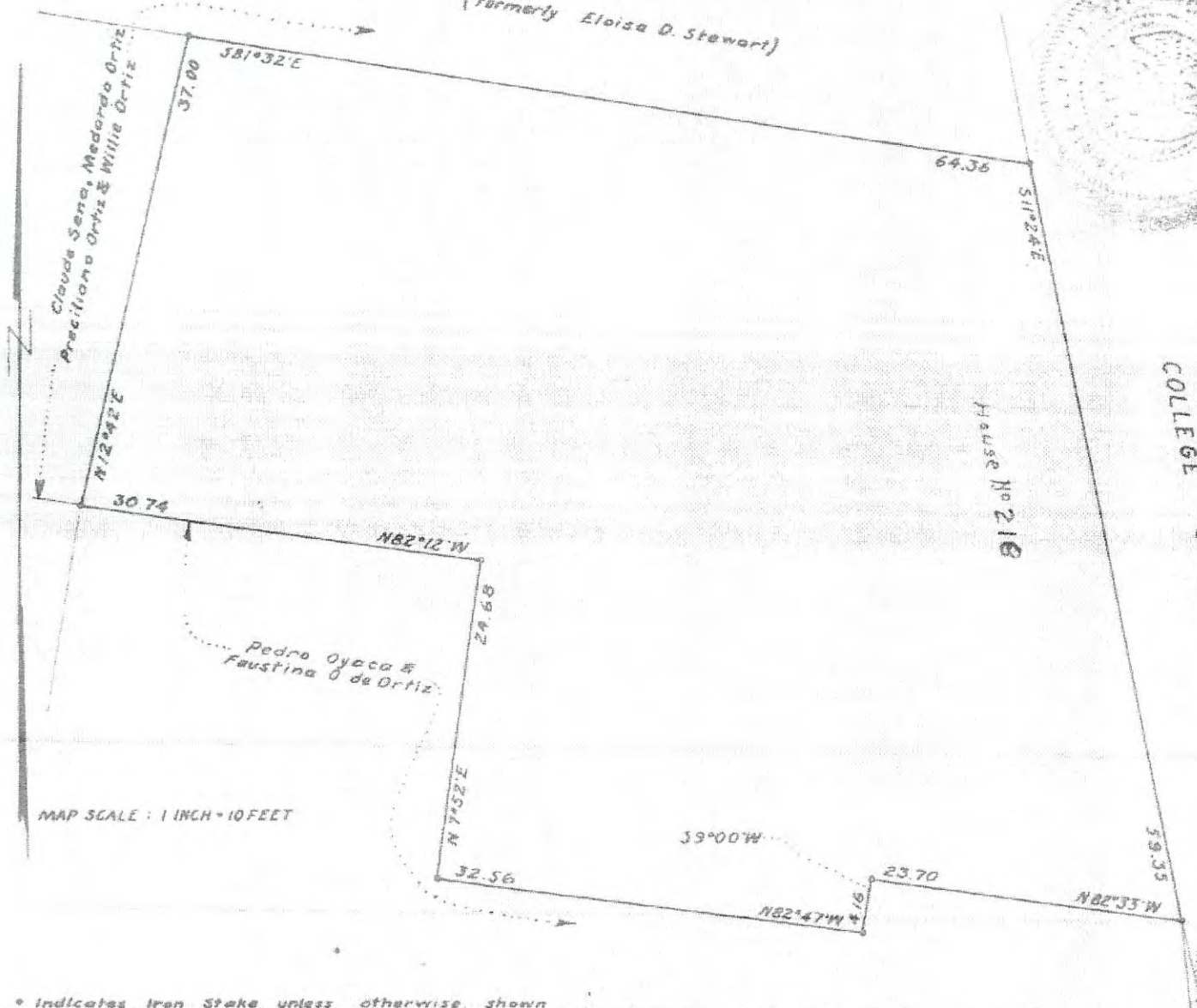
2/19/2024, 7:02:16 PM

- | | | |
|-------------------------|------------------|-------------|
| Santa Fe County Parcels | Non-Contributing | Major Roads |
| Significant | Not Resurveyed | Roads |
| Contributing | Address Points | Parcels |



8/20

(Formerly Eloisa D. Stewart)



MAP SCALE : 1 INCH = 10 FEET

* indicates Iron Stake unless otherwise shown



STATE OF NEW MEXICO } 231,554
 COUNTY OF SANTA FE }
 I hereby certify that this instrument was filed for record
 on the 15 day of Dec A. D. 1958
 at 9:30 o'clock A. M. and was duly recorded
 in book _____ of the records of _____ 1958

Witness my Hand and Seal of Office
 RAMON VALDELLANA
 County Clerk, Santa Fe Co., N. M.
Jose M. Lopez

COLLEGE STREET

House No 218

CERTIFICATE
 I hereby certify that this plat and the
 field notes hereon are a true and cor-
 rect copy of surveys completed in the
 field by me, December 6, 1958.
Walter G. Truesley
 Reg. Prof. Eng. & Land Surveyor No. 95

LANDS SURVEYED FOR THE HEIRS OF
 IGNATICA OYACA DE WEST
 WARD NO 1 SANTA FE N M

(513°17'E 172.74 to
 Sanitary Sewer Manhole
 at the intersection of
 College & E. Alameda Streets

WARRANTY DEED

SUSIE W. KLE MOS, a single person, for consideration paid, grants to LOUIS F. WEST, whose address is 322 Delgado, Santa Fe, New Mexico 87501, the following described real estate in Santa Fe County, New Mexico:

That certain property in the City of Santa Fe, New Mexico, designated as 216-218 Old Santa Fe Trail, and being more particularly described as follows:

Beginning at the Northeast corner of this tract from whence the center of Sanitary Sewer Manhole W3D-1 in Old Santa Fe Trail bears North 0° 53' East, 63.66 feet distant;

Thence from said beginning corner along the West boundary of Old Santa Fe Trail South 11° 24' East, 59.44 feet to an iron pipe marking the Southeast corner of this tract;

Thence North 82° 23" West, 23.70 feet to an iron pipe; thence South 8° 55' West, 4.13 feet to an iron pipe; thence North 82° 48' 30" West, 32.59 feet, to an iron pipe; thence North 7° 48' 30" East, 24.66 feet to an iron pipe; thence North 82° 15' 30" West, 30.72 feet to an iron bar set at the Southwest corner of this tract; thence North 12° 44' 30" East, 37.0 feet to an iron bar set at the Northwest corner of this tract; thence South 81° 29' 30" East a distance of 64.35 feet to the point and place of beginning.

All as shown by plat of survey by Guy D. Hayden, N.M.L.S. No. 4070, dated February 18, 1980, and entitled "Lands Surveyed at 218 Old Santa Fe Trail, Ward No. 4, Santa Fe, NM".

Subject to easements and restrictions of record, and RESERVING HOWEVER, unto the Grantor the right to the full use of said property during her lifetime, including the right to receive all rents and profits from the same.

with warranty covenants.

WITNESS my hand and seal this 26 day of August, 1981.

Susie W. Kle Mos (SEAL)
SUSIE W. KLE MOS

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me this 26 day of August, 1981 by SUSIE W. KLE MOS, a single person.

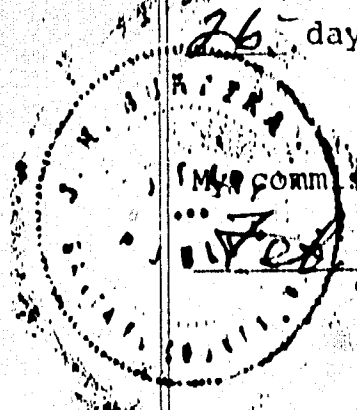
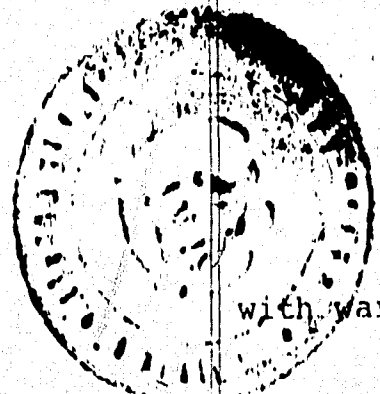
J. H. Burtham
Notary Public

My commission expires:

Feb 7, 1984

I hereby certify that this instrument was filed for record on the 21 day of Aug A.D. 1981 at 4:01 o'clock P.M. and was duly recorded in book 426 page 480 of the records of Santa Fe County.
Carolina R. Gonzales
County Clerk, Santa Fe County, N.M.

484.231
STATE OF NEW MEXICO)
COUNTY OF SANTA FE)
Witness my Hand and Seal of Office
CAROLINA R. GONZALES
County Clerk, Santa Fe County, N.M.



WARRANTY DEED

SUSIE W. KLE MOS, a single person, for consideration paid, grants to LOUIS F. WEST, whose address is 322 Delgado, Santa Fe, New Mexico 87501, the following described real estate in Santa Fe County, New Mexico:

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Thence from said beginning corner along the West boundary of Old Santa Fe Trail South 11° 24' East, 59.44 feet to an iron pipe marking the Southeast corner of this tract;

Thence North 82° 23" West, 23.70 feet to an iron pipe; thence South 8° 55' West, 4.13 feet to an iron pipe; thence North 82° 48' 30" West, 32.59 feet, to an iron pipe; thence North 7° 48' 30" East, 24.66 feet to an iron pipe; thence North 82° 15' 30" West, 30.72 feet to an iron bar set at the Southwest corner of this tract; thence North 12° 44' 30" East, 37.0 feet to an iron bar set at the Northwest corner of this tract; thence South 81° 29' 30" East a distance of 64.35 feet to the point and place of beginning.

All as shown by plat of survey by Guy D. Hayden, N.M.L.S. No. 4070, dated February 18, 1980, and entitled "Lands Surveyed at 218 Old Santa Fe Trail, Ward No. 4, Santa Fe, NM".

Subject to easements and restrictions of record, and RESERVING HOWEVER, unto the Grantor the right to the full use of said property during her lifetime, including the right to receive all rents and profits from the same.

with warranty covenants.

WITNESS my hand and seal this 26 day of August, 1981.

Susie W. Klemos (SEAL)
SUSIE W. KLE MOS

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) ss.

The foregoing instrument was acknowledged before me this 26 day of August, 1981 by SUSIE W. KLE MOS, a single person.

J. H. Burtham
Notary Public

My commission expires:

Feb 7, 1984

I hereby certify that this instrument was filed for record on the 21 day of August, 1981 at 4:51 o'clock P.M. and was duly recorded in book 426480 of the records of Santa Fe County, New Mexico.
CAROLINA R. GONZALEZ
County Clerk, Santa Fe County, N.M.

484.231



City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-16-007

Address – 216 Old Santa Fe Trail

Agent’s Name – Robert Nestor

Owner/Applicant’s Name – Louis West

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 14, 2016.

216 Old Santa Fe Trail is a commercial structure constructed in a vernacular manner between 1956 and 1958, as estimated by an owner. The 1984 HCPI form provides no information about the structure, which is listed as non-contributing to the Downtown & Eastside Historic District. A temporary tent structure was erected on the front, east elevation at an unknown date. The Applicant proposed to remodel the property with the following four items:

1. The temporary tent structure and the wooden portal will be removed at the east elevation.
2. A 346 square-foot addition will be constructed on the east elevation to a height of 12’. The addition will feature an 8-lite French door flanked by 4-lite windows all with exposed wooden headers on the east elevation.
3. A 63 square-foot storage addition will be constructed on the north elevation without fenestration or doors.
4. A concrete bollard will be installed at the southeast corner of the addition to protect a relocated gas meter.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Zoning staff determined that the Application meets underlying zoning standards.
3. Staff Recommendation: Staff recommended approval of this Application in that it complies with SFCC Sections 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing and (E) Downtown & Eastside Historic District.
4. The project is, without limitation, subject to requirements of the following sections of the Santa Fe Land Development Code:
 - X Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing (of any structure).
 - X Section 14-5.2(C), Regulation of Significant and Contributing Structures
5. The property is located in the following district and subject to the related sections of the Santa Fe Land Development Code:
 - X Downtown and Eastside Historic District (Section 14-5.2(E))
6. An Exception Request was Applicable to this Application:
 - X No Exception Request Applicable
7. Under Sections 14-2.6(C), 14-2.7(C)(2), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f) and 14-5.2(C)(3)(b), 14-5.2(C)(3)(a) and Section 14-5.2(D) the Board has authority to review,

- approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.
 9. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.
 10. The information contained in the Application, and provided in testimony and evidence establishes that all applicable design standards for Board approval as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approved the Application as presented.
 - a. X Additional conditions, which are:
 1. That the two windows flanking entry door be lengthened in height, keeping the sill where drawn and raising the top lintel to span across both windows and door at the same height;
 2. That the 4-lite windows become 6-lite windows, in keeping with the district;
 3. That the stucco color and windows be approved by City staff;
 4. That there be no publicly-visible rooftop appurtenances; and
 5. That Applicant revised the drawings showing the aforementioned conditions which shall be submitted to City staff before a construction application is submitted.

IT IS SO ORDERED ON THIS 28th DAY OF JUNE 2016, THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rio
Chairperson

28 June 2016
Date:

FILED:
Yolanda Y. Vigil
Yolanda Y. Vigil
City Clerk

7/7/16
Date:

APPROVED AS TO FORM
[Signature]
Assistant City Attorney

6-28-2016
Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, Dist. 1

Renee Villarreal, Dist. 1

Peter N. Ives, Dist. 2

Joseph M. Maestas, Dist. 2

Carmichael A. Dominguez, Dist. 3

Chris Rivera, Dist. 3

Ronald S. Trujillo, Dist. 4

Mike Harris, Dist. 4

Project description: Downtown & Eastside Historic District. Robert Nestor, agent for Louis West, owner, proposes to construct 410 sq. ft. of addition to a height of 12' on a non-contributing non-residential structure.

Case number: H-16-007

Project Type: HDRB

PROJECT LOCATION (S): 216 Old Santa Fe Trail

PROJECT NAMES:

OW – Louis West
West Covina, CA 91791

3210 E Los Cerillos Drive
909-816-8225

AP – Robert Nester
Santa Fe, NM 87501

2101 Paseo Primero
505-983-5857

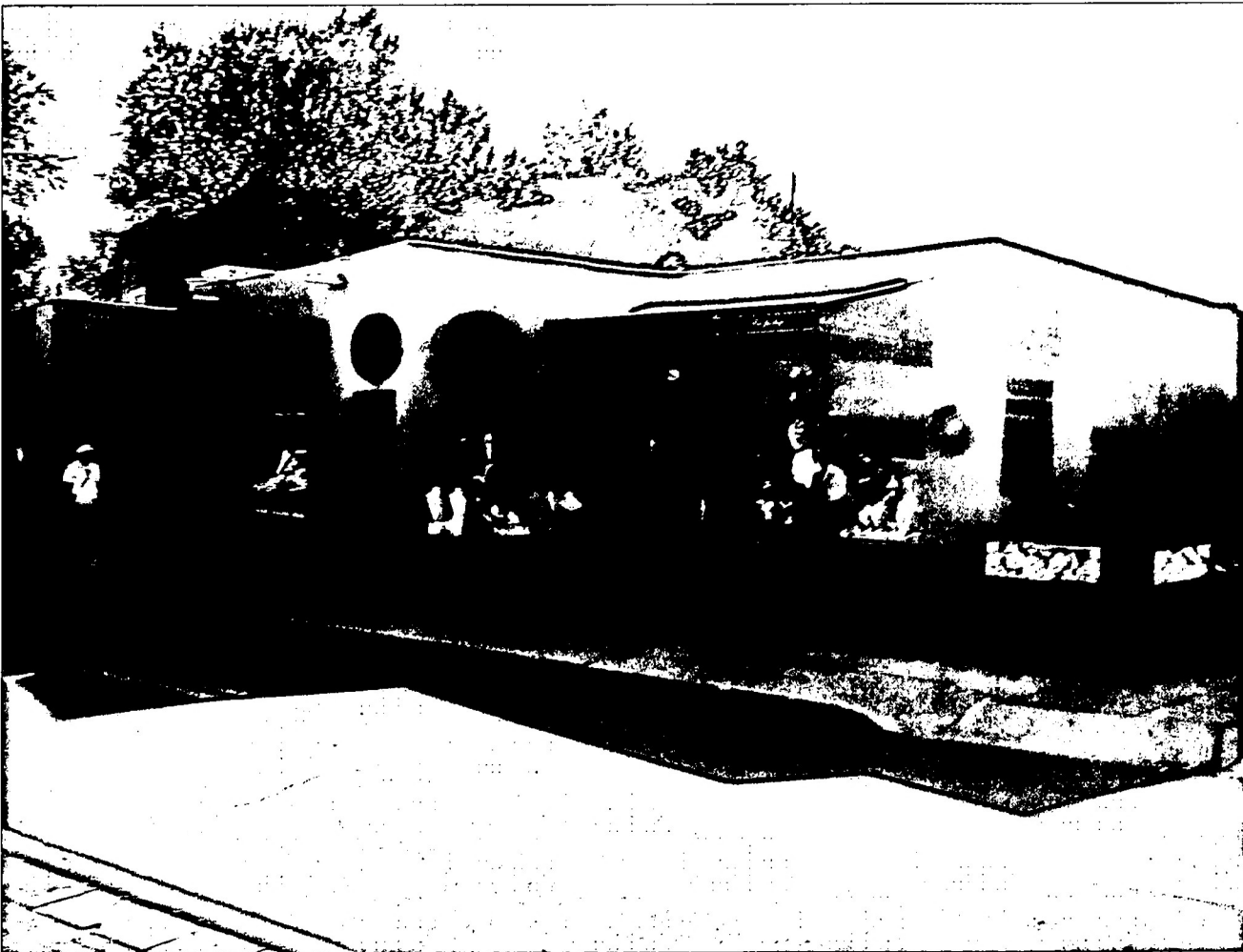
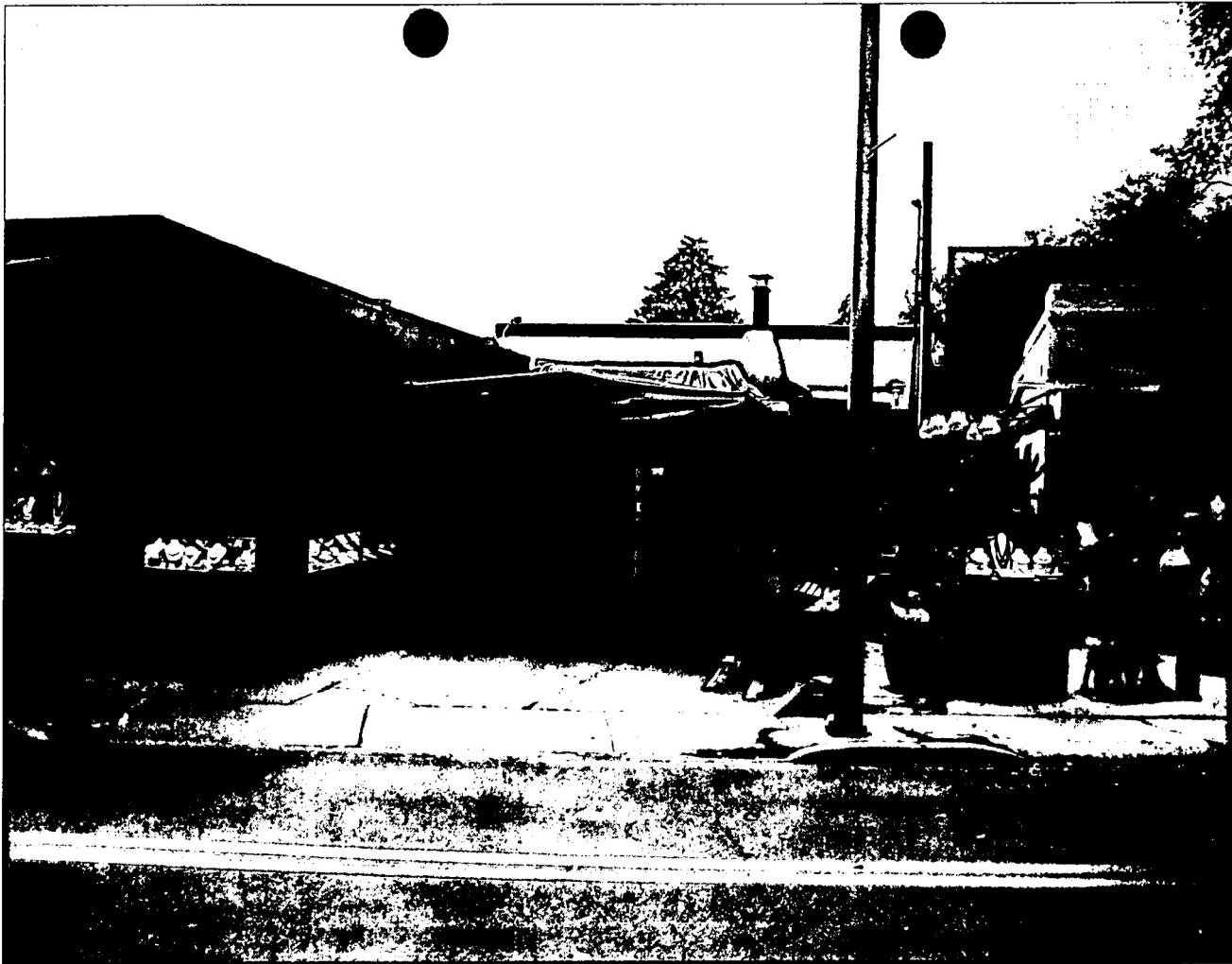
BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on June 14, 2016. The decision of the Board was to approve the application with the conditions that there shall be no publicly-visible rooftop appurtenances, that the east elevation windows shall be lengthened in height to match the door header, that they shall have 6-lite pattern rather than 4-lite pattern and that the stucco and trim color along with the redesigned east elevation shall be approved by staff before construction permit application is submitted, For further information please call 955-6605.

Sincerely,

David Rasch
Supervising Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.





Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | | | |
|---|--|---|--|
| To Be Completed By Applicant: | | Site Address: 216 OLD SANTA FE TRAIL | |
| Date Submitted: 5-12-16 | | Proposed Construction Description: ADDITION TO EXISTING SHOP - 416 SF | |
| Property Owner of Record: | | TOTAL ROOF AREA: | |
| Applicant/Agent Name: ROBERT NESTER | | | |
| Contact Person Phone Number: (983) - 5857 | | | |
| Zoning District: BCD01D | | Lot Coverage: 90% <input checked="" type="checkbox"/> Lot coverage <input type="checkbox"/> Open Space Required: _____ | |
| Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Downtown East | | Setbacks: Proposed Front: 10' Minimum: 10' front 2 nd Front? 0 Proposed Rear: 0 Minimum: 0 Proposed Sides: L ___ R ___ Minimum: 0 | |
| Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations | | Height: Proposed 12'-0" Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District | |
| Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit | | Parking Spaces: Proposed 1 Accessible _____ Minimum: 1 | |
| Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required | | Bicycle Parking**: Proposed: 1 Minimum: 1 ** Commercial Requirement | |
| Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: _____ | | | |
| Terrain: <input type="checkbox"/> 30% slopes _____ | | | |

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

PRINT NAME [OWNER APPLICANT AGENT]
 hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE DATE

| | |
|--|---------------|
| To Be Completed By City Staff: | |
| Additional Agency Review if Applicable: | |
| <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ | |
| Notes: _____ | |
| Zoning Approval: | |
| <input type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input checked="" type="checkbox"/> Rejected | |
| Comments/Conditions: Located in BCD01D no lot coverage in District no side or rear setbacks meets front setback of 10'. Applicant in process of additional parking requirements. Parking issue re: additional space to be addressed @ SF. Review | |
| REVIEWER: _____ | DATE: 5/12/16 |

City of Santa Fe, New Mexico

memo

DATE: June 14, 2016
TO: Historic Districts Review Board Members
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-16-007

ADDRESS: 216 Old Santa Fe Trail
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other:

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing and (E) Downtown & Eastside Historic District..

BACKGROUND & SUMMARY:

216 Old Santa Fe Trail is a commercial structure that was constructed in a vernacular manner between 1956 and 1958 as estimated by an owner. The 1984 HCPI form provides no information about the structure and it is listed as non-contributing to the Downtown & Eastside Historic District. A temporary tent structure was erected on the front, east elevation at an unknown date.

The applicant proposes to remodel the property with the following four items.

1. The temporary tent structure and the wooden portal will be removed at the east elevation.

2. A 346 square foot addition will be constructed on the east elevation to a height of 12'. The addition will feature an 8-lite French door flanked by 4-lite windows all with exposed wooden headers on the east elevation.

3. A 63 square foot storage addition will be constructed on the north elevation without fenestration or doors.

4. A concrete bollard will be installed at the southeast corner of the addition to protect a relocated gas meter.

Robert Nestor Architect
2101 Paseo Primero
Santa Fe, New Mexico 87501

October 28, 2016

David Rasch
Historic Preservation Division
200 Lincoln Avenue
Santa Fe, New Mexico

RE: Application #16-00001827

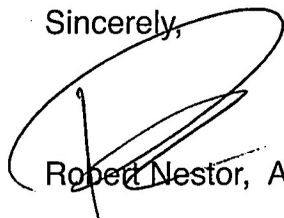
Dear Mr. Rasch,

Submitted along with this letter is a revised set of plans for a proposed shop addition at 216 Old Santa Fe Trail. I hope these plans are now in conformance with your requirements. Modified are window locations on the south side of the existing shop in the subject property, location of a rooftop HVAC unit and its ductwork and power feed, the angle of the proposed street facade, and the change to two adjacent windows on the contributing building next door. And all other code violations must be corrected to code. These are all items we talked about during your site visit yesterday.

You noted that the existing rooftop unit on unit A is visible from the street and this condition must be brought into conformance with the ordinance.

During your visit you noticed several code violations of the existing electrical both on the subject property and the adjacent contributing structure which is next door but on the same property and under the same ownership. You told me that because we are required to modify two windows on this property, we must bring the electrical up to code. You also noted that an addition on the south side of this building must also be permitted if it was not permitted at the time of construction, but that you are still investigating the additions status.

Sincerely,

A handwritten signature in black ink, appearing to be 'Robert Nestor', written over a large, loopy scribble.

Robert Nestor, Architect

Ala Shawabkeh
Gold House
216 Old Santa Fe Trail
Santa Fe, NM 87501

OCT 12 2016

October 12, 2016

David Rasch
Historic Preservation Division
200 Lincoln Avenue, Second Floor
Santa Fe, NM 87501

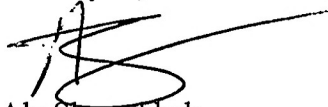
RE: Application Number 16-00001827

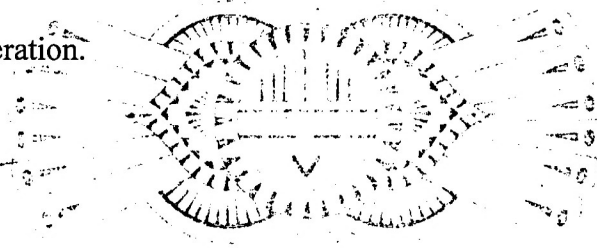
Mr. Rasch,

We are writing to ask your permission to include a 2ft high air conditioning unit on the proposed addition to 216 Old Santa Fe Trail. This unit is indicated on the revision drawings submitted by Robert Nestor. The unit will be set back quite a way from the 2ft high raised area at the front of the building and will not be seen from the street.

I appreciate your consideration.

Thank you,


Ala Shawabkeh
Owner, Tsali Nez Gallery



Robert Nestor Architect
2101, Paseo Primero
Santa Fe, New Mexico 87501

MAY 12, 2016

Attention: Historic District Review Board

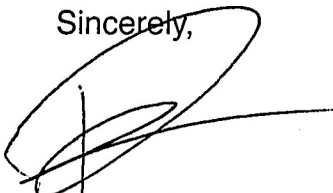
Dear Historic Districts Review Board,
I am seeking approval for the following project:

An addition to an existing shop at 216 Old Santa Fe Trail. The existing property currently contains a shop, approximately 659sf (roofed area) including an existing portal. A proposed addition is 416sf (roofed area). The existing portal of 50sf will be removed from the 659sf shop

Proposed height of the new construction is 12'-0" which is the same as an adjacent 1400sf shop. The existing 659sf shop is 10' high maximum. The new construction will be stuccoed to match the 1400sf shop in color and texture. The two windows on the east facade of the new 416 shop will be fixed clad windows. The doors will be custom wood dark brown--color attached.

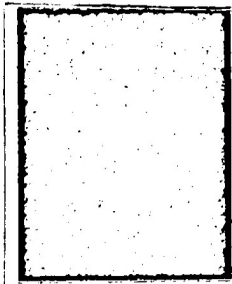
The existing buildings are old, of adobe construction, unknown date. Arial photographs from the State Highway Department were supplied from the years 1958, 1969, 1973 1988 and 1995. None of these photographs show the canvas structure. I conclude that the canvas structure is no more that 20 years old and may be removed. Furthermore, the canvas structure was erected without a permit and does not comply with the building code foundation requirements.

Sincerely,



Robert Nestor

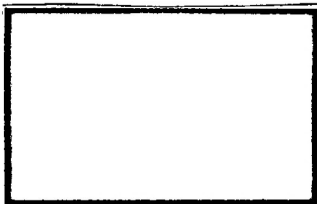
FINISH COLORS 216 OLD SANTA FE TRAIL



114 DESERT ROSE

stucco: El Rey "DESERT ROSE"

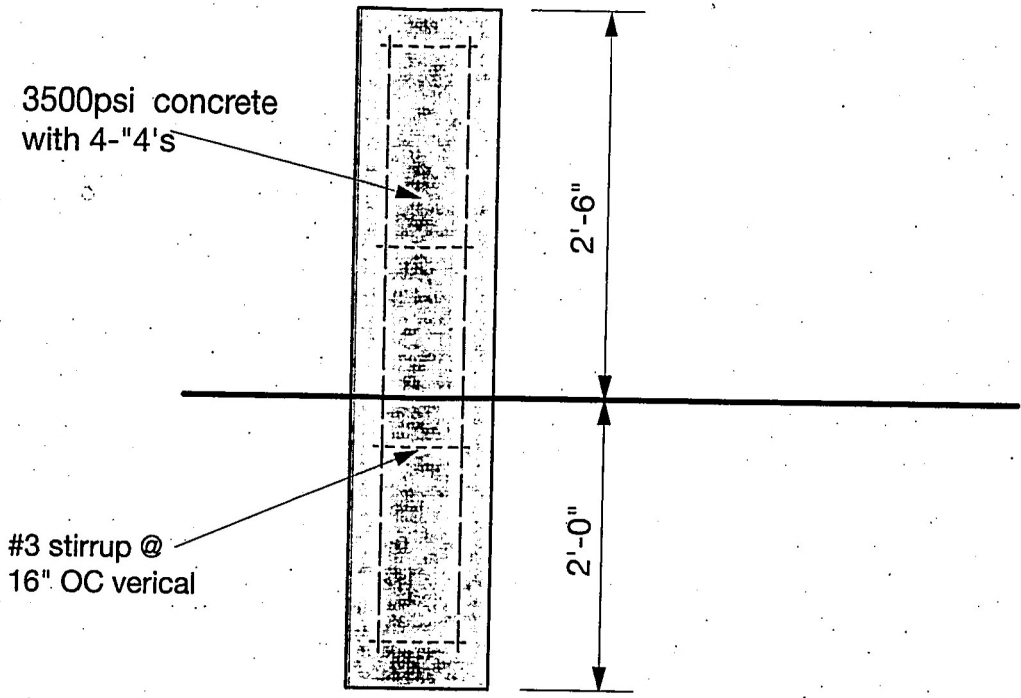
NOTE: this color matches the adjacent 1400sf shop which fronts on Old Santa Fe Trail



New Cedar

exterior wood: Cabot "NEW CEDAR"

NOTE: this color matches existing woodwork window frames and doors



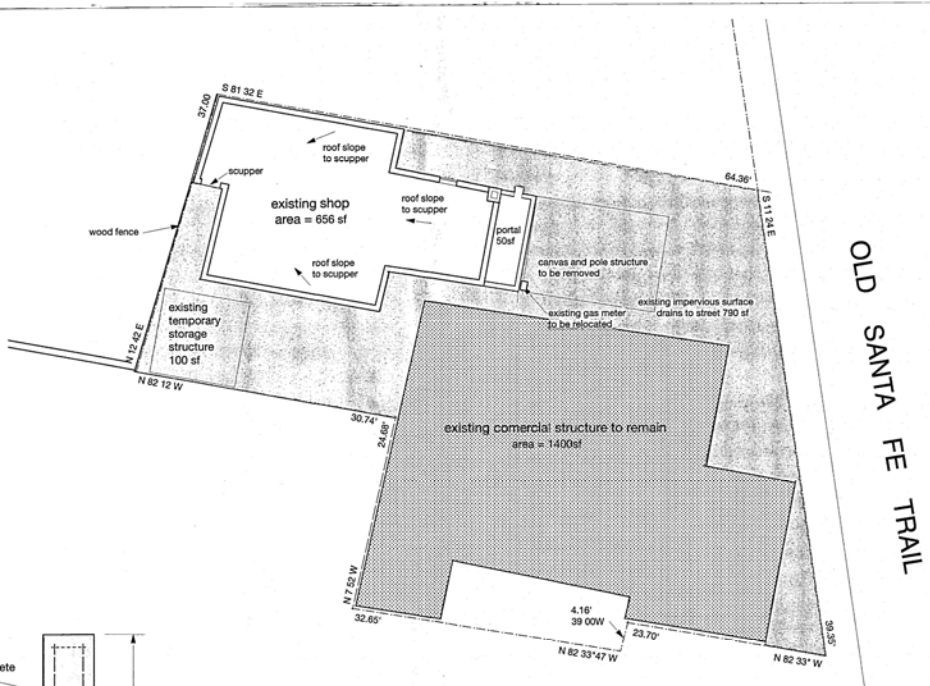
BOLLARD DETAIL
scale 3/4" = 1'-0"

PRO.

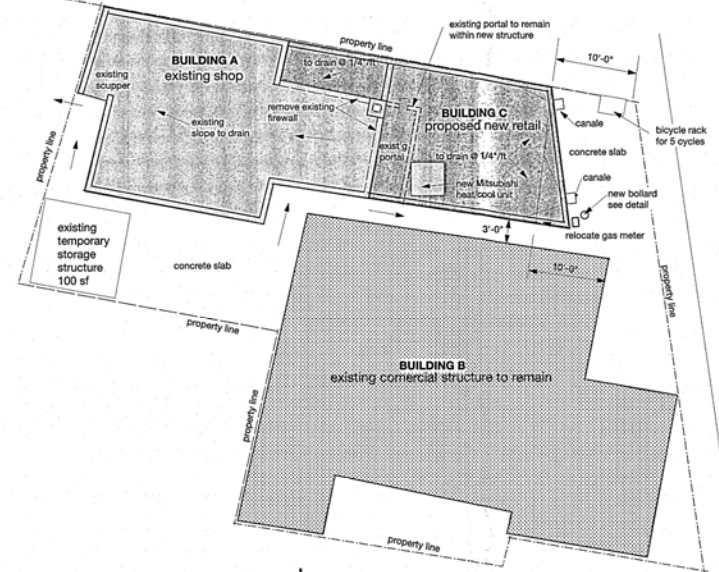
ZONE:
allowab

NEW AF
existing
existing
new shc
remove

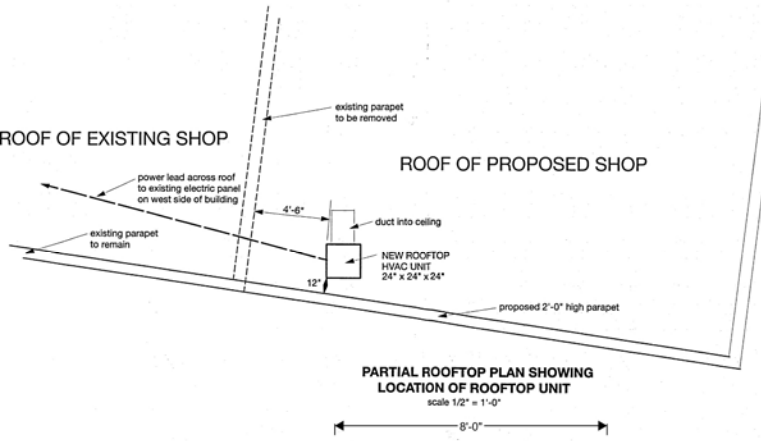
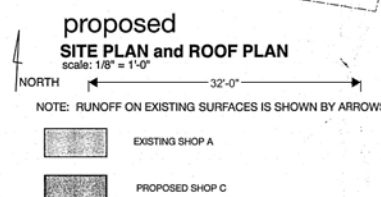
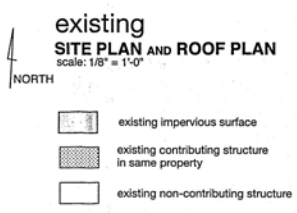
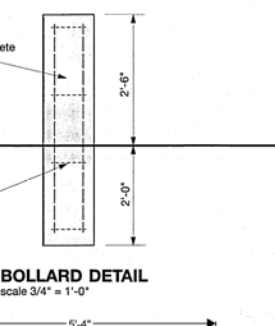
new roo



OLD SANTA FE TRAIL



OLD SANTA FE TRAIL



BUILDING CODE INFORMATION

GROUP M MERCANTILE section 309 retail use

TYPE OF CONSTRUCTION
existing: adobe exterior walls
new construction: wood frame 2x6 walls—see plans showing required 2 hour walls and infill

OCCUPANCY for GROUP M
100sf/occupant. Total square footage shops A + C = 1040sf. Allowable Occupancy = 11

ALLOWABLE OCCUPANCY IS FOR EXISTING SHOP PLUS NEW SHOP ADDITION

PROJECT INFORMATION

ZONE: BCD
allowable lot coverage 100%

Lot Size 3537 sf = .10 acre
Property contains two structures:
Contributing structure 1407sf
Non-contributing structure 622sf

Proposed addition 418sf (shop C)
Proposed total square footage 1040sf of shops A+C
Proposed work on shop B = close two existing windows north side of shop B with 2 hour construction. See detail.

Use of all existing and proposed structures is MERCANTILE

NEW AREA: 418 sf
existing shop A 622sf
existing shop B 1407sf
new shop C 418sf

site is 100% existing impervious surface

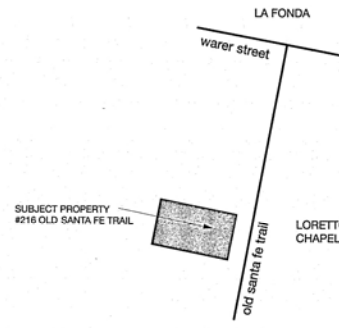
SETBACKS
side and rear yard setbacks = 0
front yard setback = 10'-0"

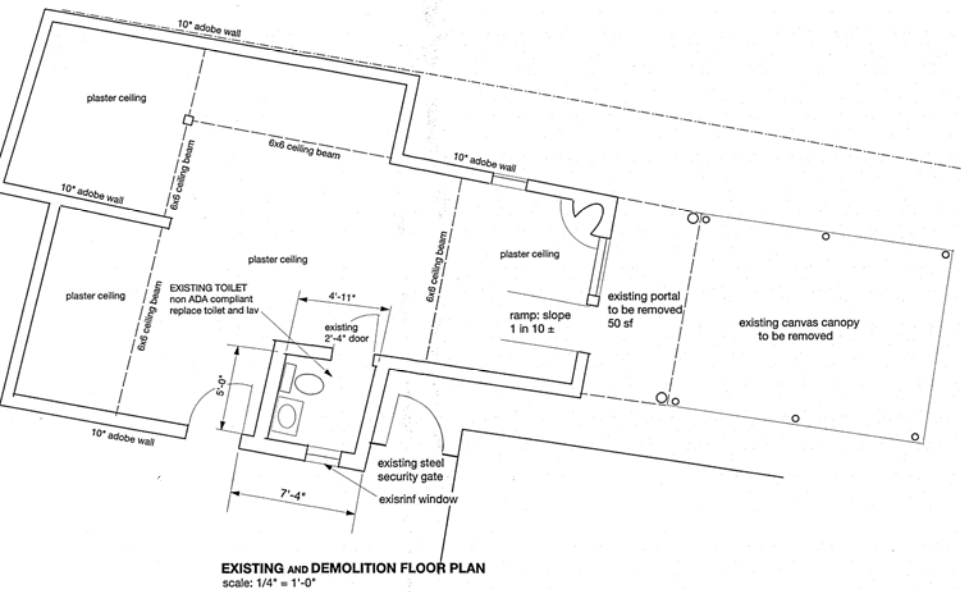
parking: offsite parking (see site plan) = 1 space
onsite parking = 0

mechanical work in this proposal
1. re-locating gas meter
2. extend toilet room plumbing to new fixtures in new frame wall. Insulate piping in frame wall. provide clean-out and shutoff valves

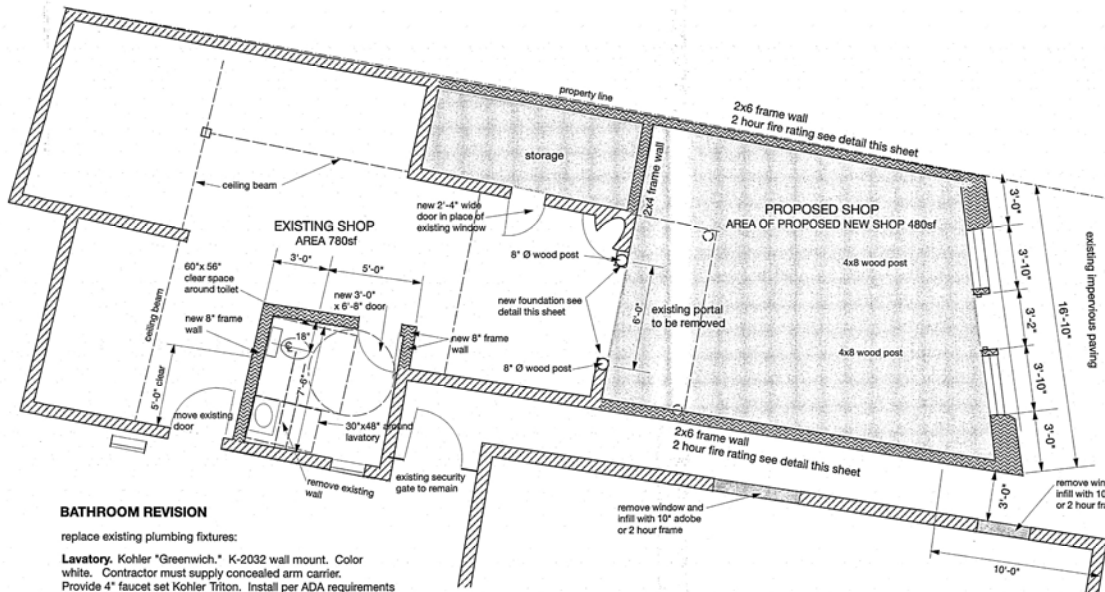
INDEX OF DRAWINGS

- A1 SITE PLANS, PROJECT INFORMATION
- A2 PLANS
- A3 SECTIONS, DETAILS
- A4 ELEVATIONS





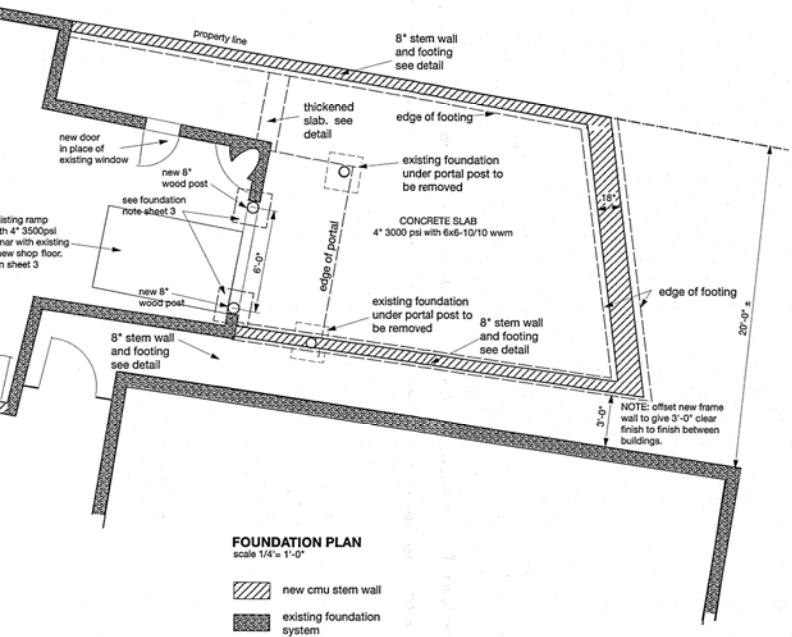
EXISTING AND DEMOLITION FLOOR PLAN
scale: 1/4" = 1'-0"



BATHROOM REVISION
replace existing plumbing fixtures:
Lavatory. Kohler "Greenwich," K-2032 wall mount. Color white. Contractor must supply concealed arm carrier. Provide 4" faucet set Kohler Triton. Install per ADA requirements as CSA B651.
Toilet. Kohler "Highline," K-3999 Floor mount. Color: white INCLUDE: K-4636 SEAT
Grab Bars Provide ADA compliant grab bars. See elevations sheet 3.

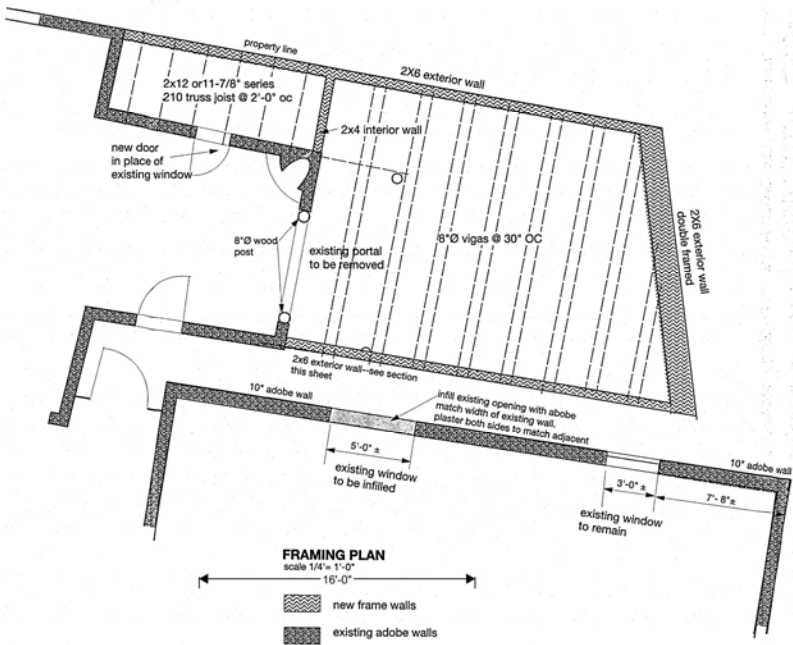
PROPOSED FLOOR PLAN
scale: 1/4" = 1'-0"

- new adobe
- existing adobe wall
- new frame wall



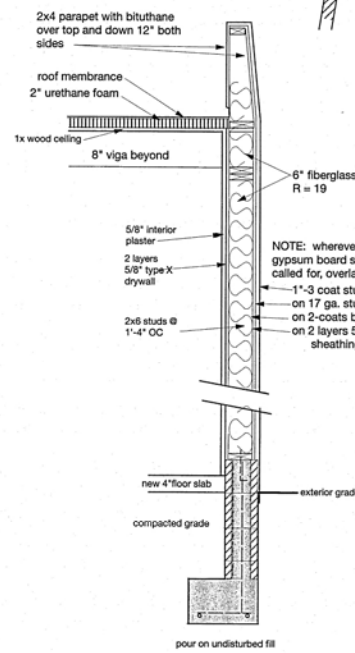
FOUNDATION PLAN
scale: 1/4" = 1'-0"

- new cmu stem wall
- existing foundation system

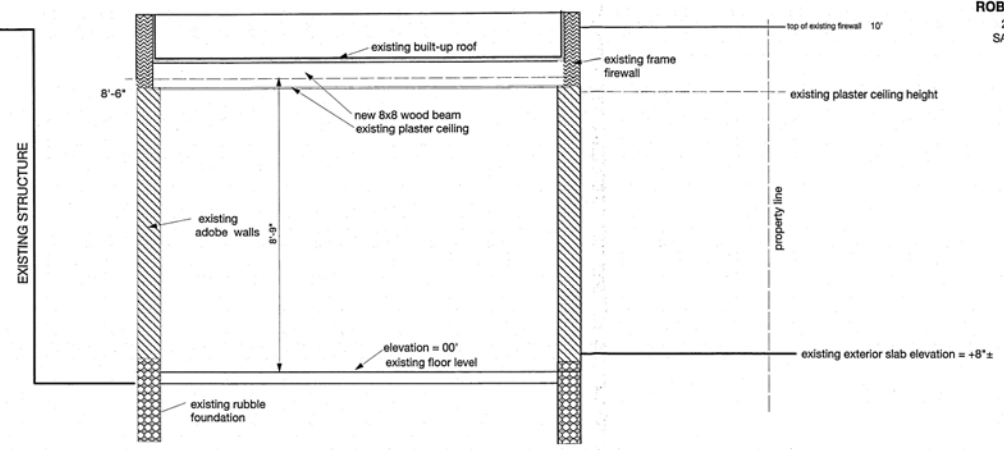
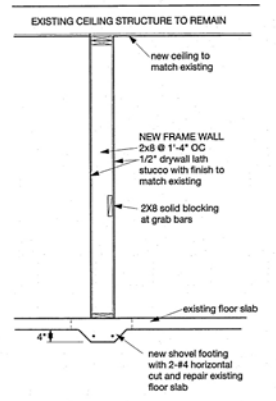
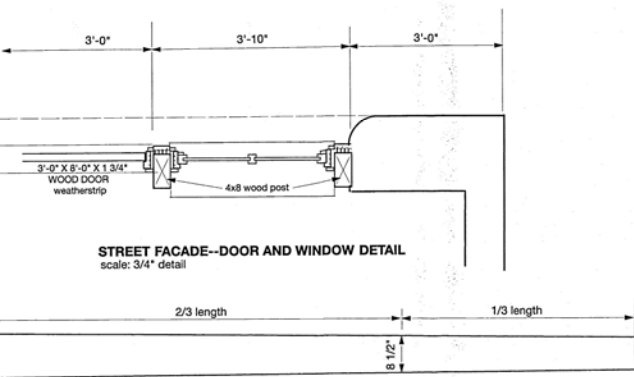


FRAMING PLAN
scale: 1/4" = 1'-0"

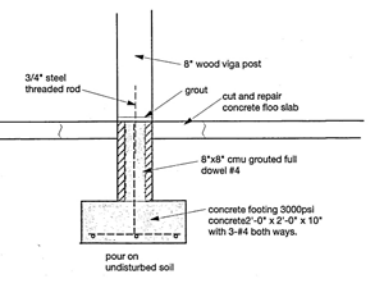
- new frame walls
- existing adobe walls



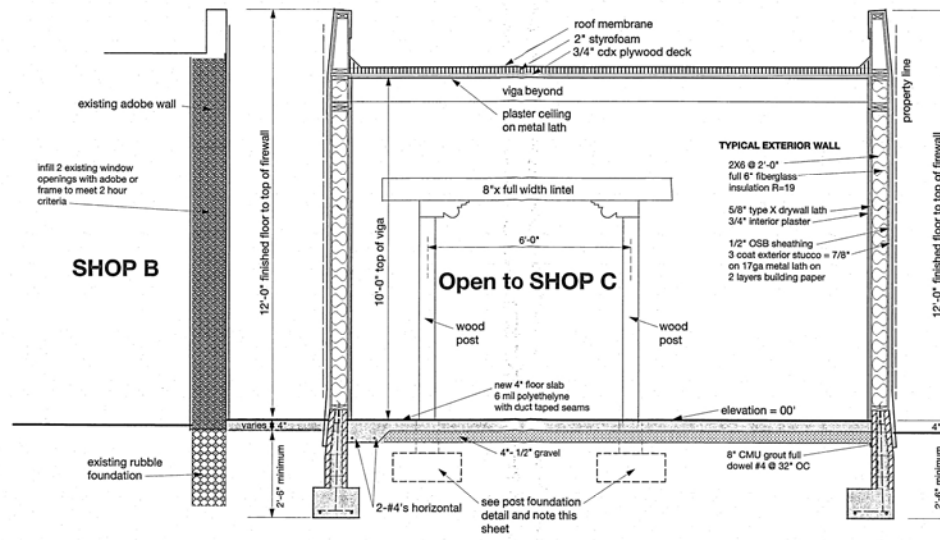
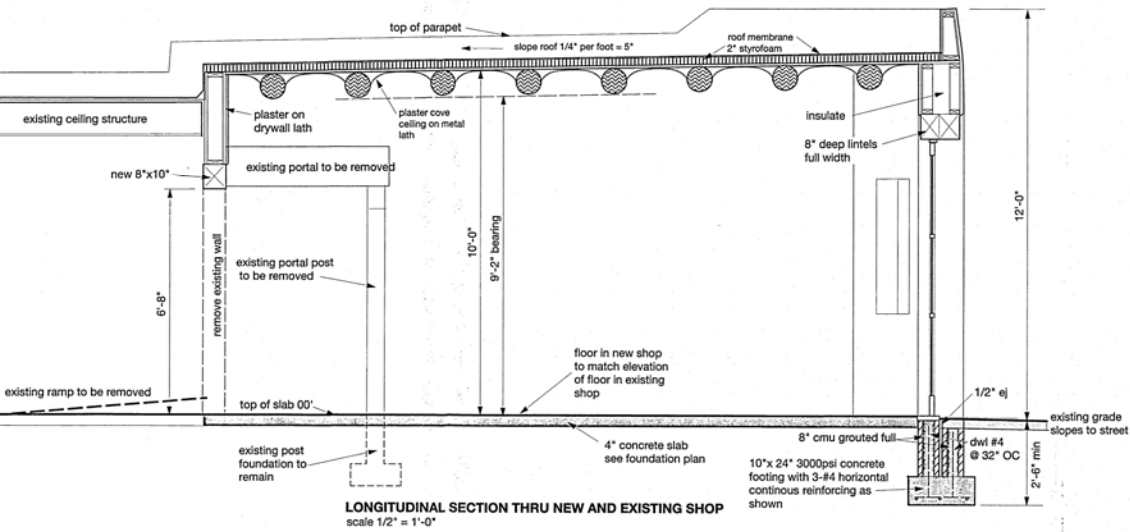
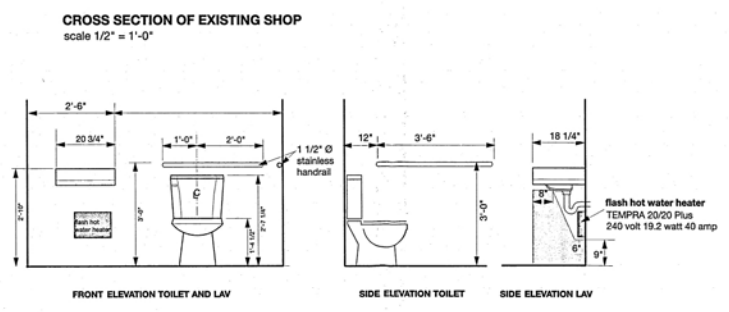
2 HOUR WALL SECTION
scale: 3/4" = 1'-0"



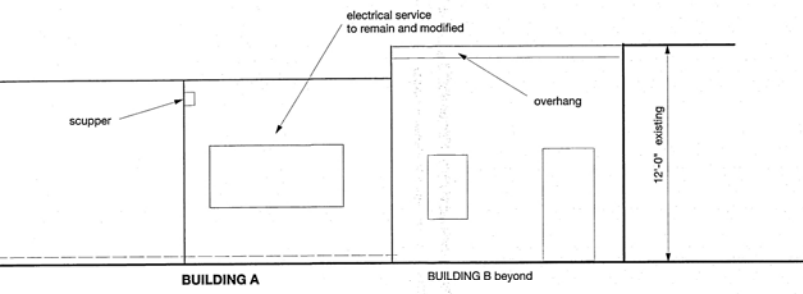
VIGA SIZING
nts



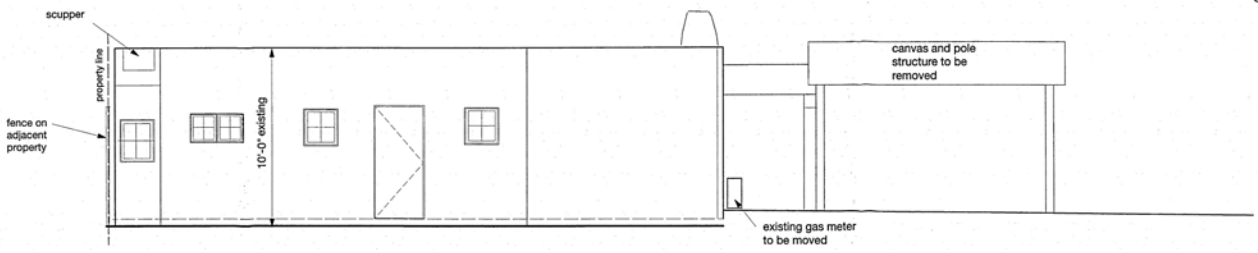
NOTE TO BUILDER: CUT FLOOR SLAB AND UNCOVER EXISTING FOUNDATION. CALL ARCHITECT FOR INSPECTION IMMEDIATELY. --IF FOUNDATION IS RUBBLE, THEN REPLACE WITH NEW FOUNDATION AS SHOWN ABOVE. --IF FOUNDATION IS NOT RUBBLE, INSPECT BY ARCHITECT AND MODIFY OR REPLACE. IF ARCHITECT RECOMMENDS, OBTAIN INSPECTION AND NEW DESIGN FROM STRUCTURAL ENGINEER



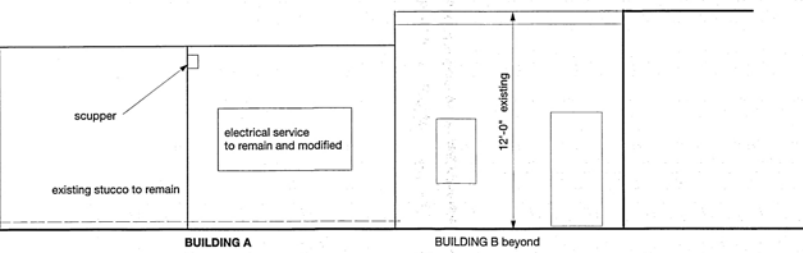
CROSS SECTION OF PROPOSED SHOP
scale 1/2" = 1'-0"



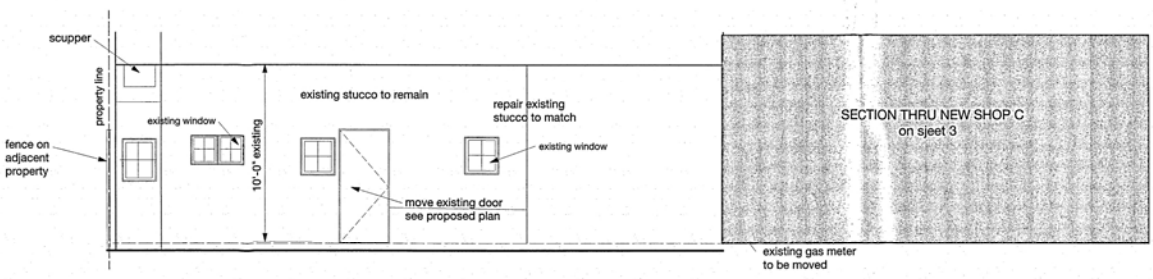
EXISTING WEST ELEVATION
 scale: 1/4" = 1'-0"



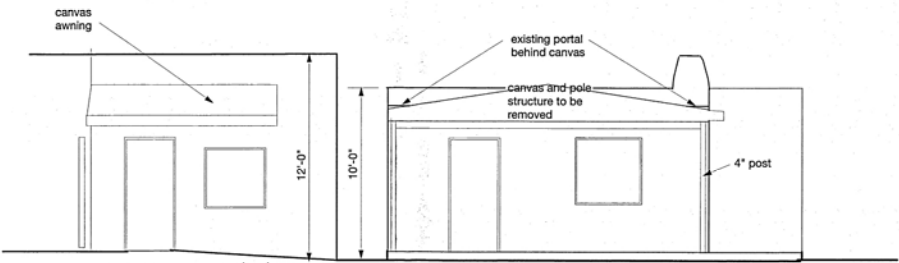
EXISTING SOUTH ELEVATION
 scale: 1/4" = 1'-0"



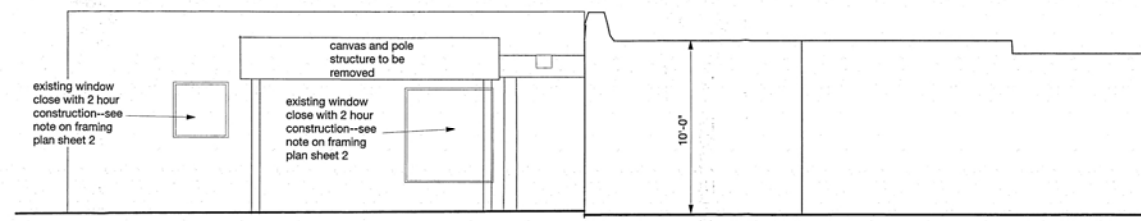
PROPOSED WEST ELEVATION
 scale: 1/4" = 1'-0"
 NO CHANGE PROPOSED



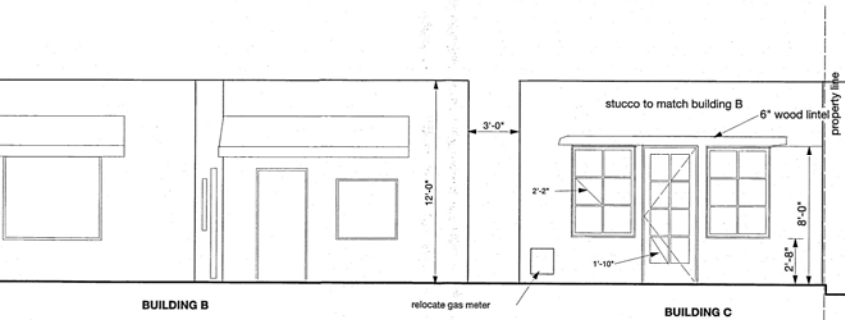
PROPOSED SOUTH ELEVATION
 scale: 1/4" = 1'-0"



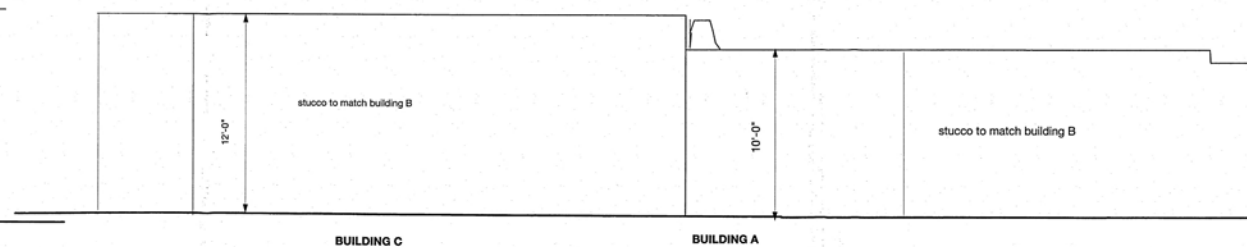
EXISTING EAST ELEVATION
 scale: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
 scale: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
 scale: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
 scale: 1/4" = 1'-0"

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous
Administrative Approvals
216 Old Santa Fe Trail**



City of Santa Fe, New Mexico

HISTORIC PRESERVATION SECTION OF THE PLANNING DIVISION

To: Building Permit Office

From: James M. Hewat, Historic Preservation Planner
Alysia L. Abbott, Historic Preservation Planner

Date:

7/30/01

The work proposed at 216 Old SF. TRAIL does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

1 SIGN APPROVED. WALL MOUNTED

Thank You.

Louis West
F 626-974-9130



City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

From: David A. Rasch, Section Head DR
Marissa C. Barrett, Case Planner
Gary S. Moquino, Inspector

Date: 10.26.05

The work proposed at 216 old Santa Fe Tr. ^{NC} does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

re roof in-kind removal of existing material down to decking (not included) with no change to parapet height or profile

Thank You.

and no roofing material on top of existing parapet. Any changes to these conditions must go to public hearing at HDRB.



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 6.30.16

To: BUILDING PERMIT DIVISION

From: David Rasch, Land Use Planner Supervisor: DR
STAFF INITIALS

Date Submitted:

6.16.16

Contact Name:

Bob Nestor

Phone Number:

983-5857

Project Address: 216 Old Santa Fe Trail

Be advised that per §14-5.2 SFCC 1987 the work described below at the above-referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Description of Proposed Work:

HDRB conditions met:

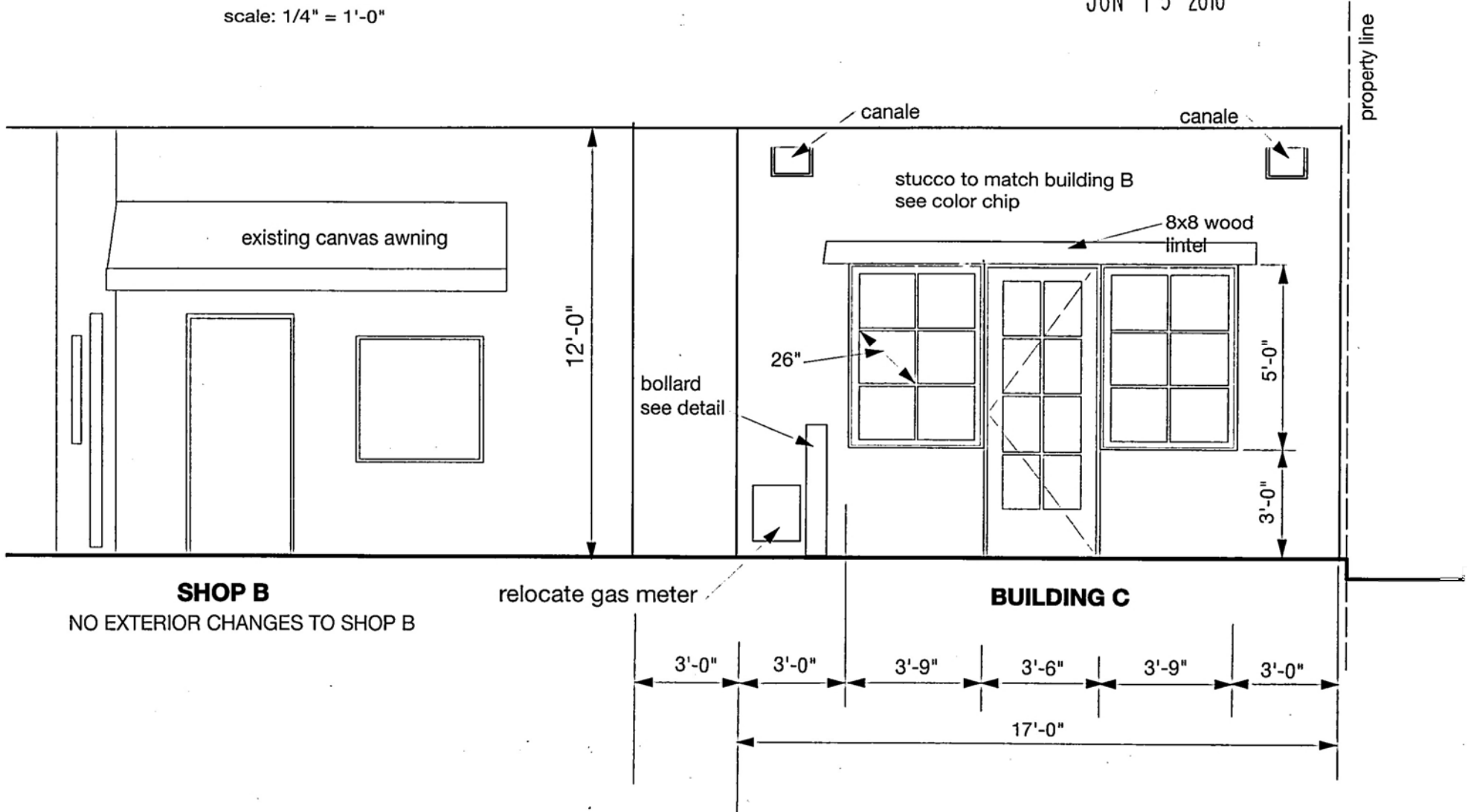
1. east elevation redesign with continuous header and larger two windows
2. El Rey cementitious "Desert Rose" trim "New Cedar"

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

- Yes No ROUTE TO HISTORIC DIVISION DR
- Yes No INTERIM HISTORIC INSPECTION DR
- Yes No FINAL HISTORIC INSPECTION DR

scale: 1/4" = 1'-0"

JUN 15 2016



REVISION 7.16.16
PROPOSED EAST ELEVATION

scale: 1/4" = 1'-0"



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION

ADMINISTRATIVE APPROVAL



THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 2.15.17
To: BUILDING PERMIT DIVISION
From: David Rasch, HPD Planner Supervisor:

DR
STAFF INITIALS

Date Submitted:

2.14.17

Contact Name:

Colleen Gavin

Phone Number:

820-7444

Project Address: 216 Old Santa Fe Trail

Be advised that per §14-5.2 SFCC 1987 the work described below at the above-referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Description of Proposed Work:

- Slight alterations to HDRB approval H-16-607
1. ground-mounted HVAC on S side with lines set near grade
 2. corrected S elev of existing structure
showing existing location of doors + windows
 3. move window closer to door on S elev.

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

- | | |
|---|--|
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | PERMIT or PERMIT REVISION REQUIRED <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | ROUTE TO HISTORIC DIVISION <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | INTERIM HISTORIC INSPECTION <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | FINAL HISTORIC INSPECTION <u>DR</u> |

RASCH, DAVID A.

From: Colleen Gavin <Colleen@jenkingavin.com>
Sent: Tuesday, February 14, 2017 4:16 PM
To: RASCH, DAVID A.
Subject: Case 16-0607 - Request for Administrative Approval
Attachments: FullSizeRender.jpg; FullSizeRender2.jpg; 216 osf trl.pdf; AdminApprQLtr02.14.17.pdf

Importance: High

David,

Per our meeting today, attached please find our request for administrative approval for the location of a mechanical unit, corrected existing and proposed south elevation, and relocation of the south exterior door. Please see the attached letter and supporting documentation.

Thank you for your time on this matter.

CG

Colleen C. Gavin, AIA



130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501
Ph. (505) 820-7444
colleen@jenkingavin.com
www.jenkingavin.com



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

February 14, 2017

David Rasch
Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: 216 Old Santa Fe Trail, Case #16-0607 – Request for Administrative Approval

Dear David:

This letter is submitted in a request for administrative approval of the following items in regards to Case #16-0607, 216 Old Santa Fe Trail:

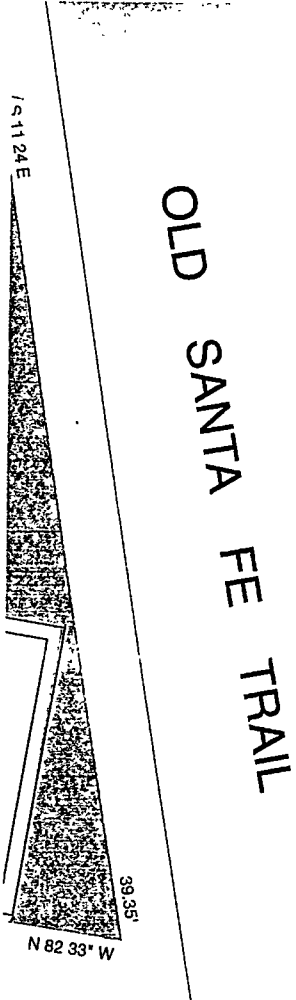
1. Location of Mechanical Unit – Per the attached site plan, the mechanical unit shall be located on the ground adjacent to the south elevation with lines running directly into the proposed ADA restroom. There shall be no lines running vertically along the exterior of the south elevation. Furthermore, the unit is not visible from the public view as it is blocked by the adjacent building addressed 218 Old Santa Fe Trail.
2. Corrected Exterior South Elevation – When this Case was approved by HDRB, the submitted plans showed an incorrect existing and proposed south elevation. Per the attached photos, the existing south elevation has existing windows which will remain as is and a single door which is proposed to be moved 20” to the west to allow for an ADA restroom on the interior. Please see Request #3.
3. Move Existing South Exterior Door 20” – In order to provide an ADA restroom on the interior of the building, the south-facing exterior door needs to be moved 20” +/- to the west to provide ample interior space. The existing door shall be reused as is. In addition, if it is determined by Code that the adjacent existing window requires tempered glass, the window glazing will be replaced with tempered glass or the entire window will be replaced in kind.

Your consideration of these requests is greatly appreciated. Please do not hesitate to contact us should you have any questions or need additional information.

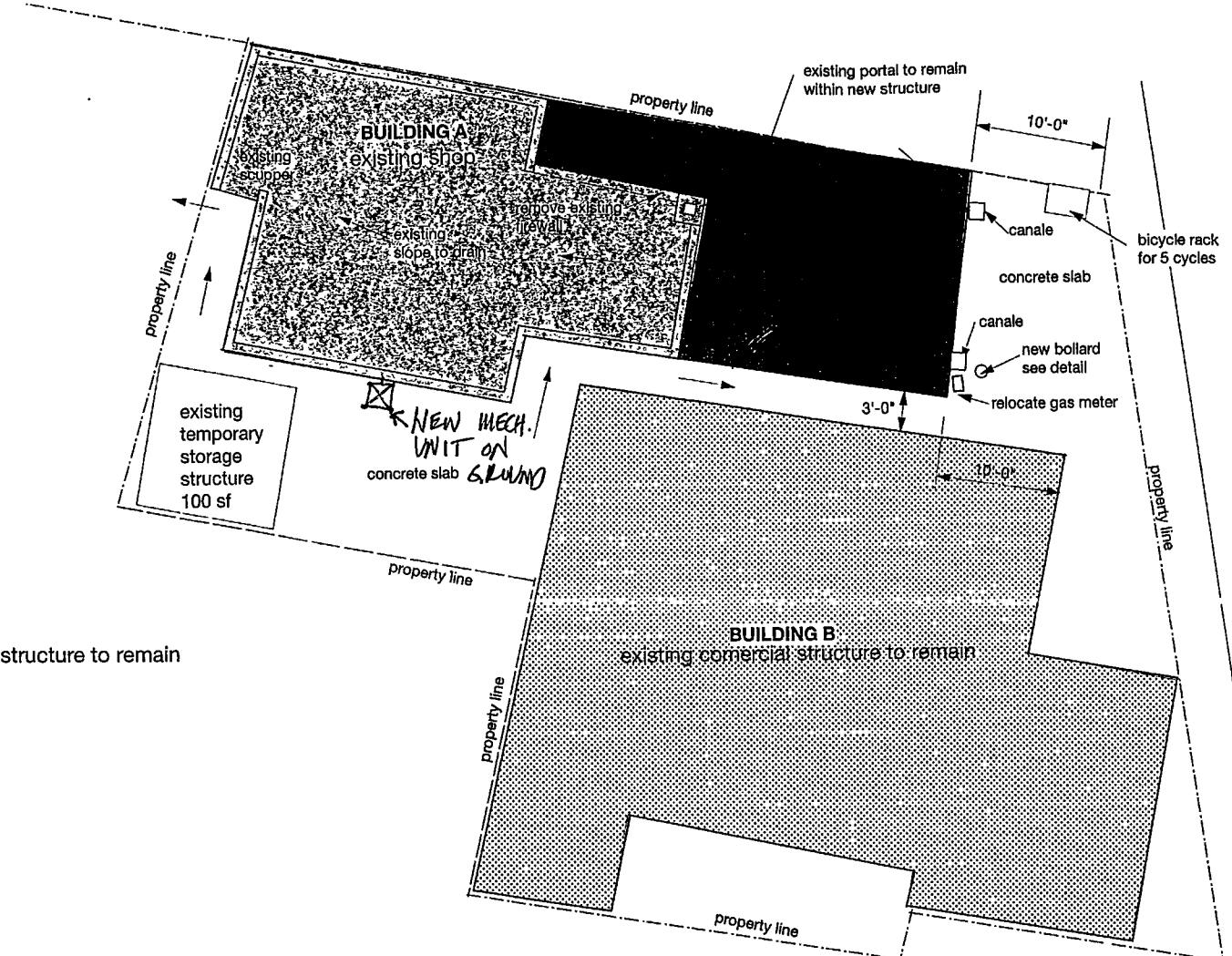
Thank you.

Sincerely,
JENKINSGAVIN DESIGN & DEVELOPMENT, INC.

Colleen C. Gavin, AIA



existing commercial structure to remain
 area = 1400sf

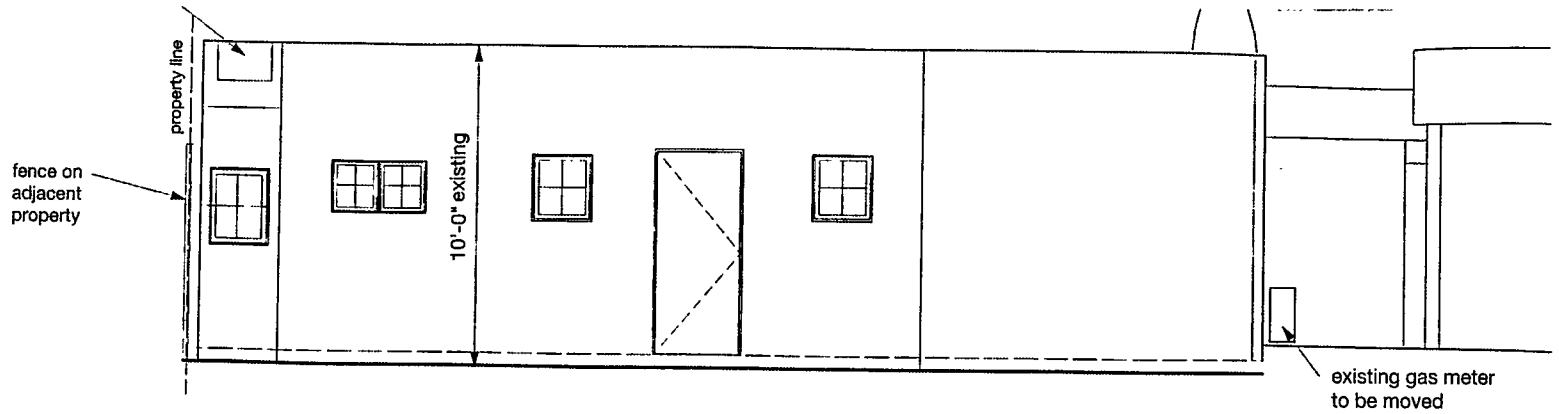
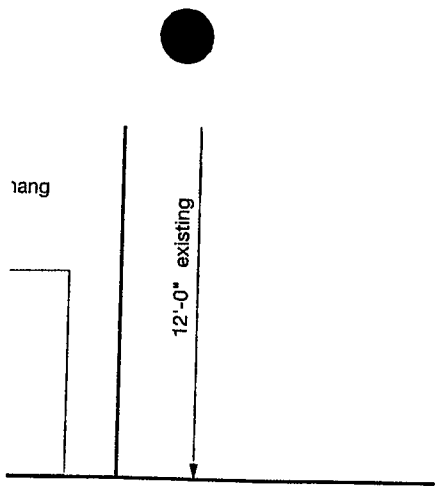


proposed
SITE PLAN and ROOF PLAN
 scale: 1/8" = 1'-0"



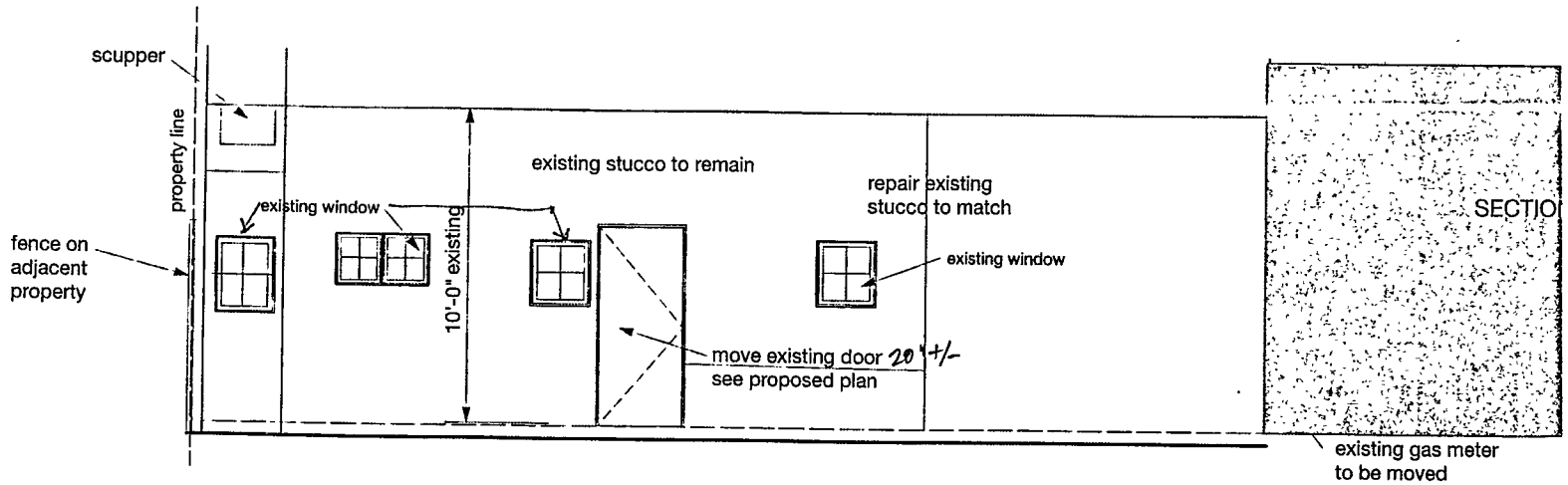
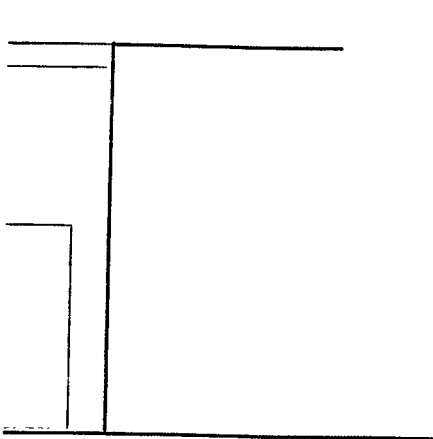
NOTE: RUNOFF ON EXISTING SURFACES IS SHOWN BY ARROWS





EXISTING SOUTH ELEVATION

scale: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

scale: 1/4" = 1'-0"

ing portal
id canvas

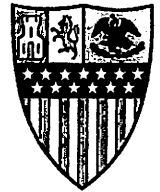






Full Scale City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 5.23.18

To: BUILDING PERMIT DIVISION

From: David Rasch, HPD Planner Supervisor:

DR
STAFF INITIALS

Date Submitted:

5.22.18

Contact Name:

Mark Suleiman

Phone Number:

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 216 Old Santa Fe Trail

Description of Proposed Work:

- Construct stuccoed mechanical chase on S elev.
- relocate HVAC 10' E
- paint gas line to match stucco color
- install bollard on E side
- install flagstone and "Sequoia Sand" earth-tone concrete in front area.

NA I agree to the conditions of approval above.

Print Name

Signature

Date

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

Yes No

PERMIT or PERMIT REVISION REQUIRED

DR

Yes No

ROUTE TO HISTORIC DIVISION

DR

Yes No

INTERIM HISTORIC INSPECTION

DR

Yes No

FINAL HISTORIC INSPECTION

DR

May 22, 2018

Historic President

David Rasch,

I am requesting the following for an administrative approval through your division:

HVAC chase on south elevation

HVAC moved 10 feet to the East

Gas line on exterior south elevation, to be painted as exterior stucco

Flagstone at main entry

Earth tone colored sidewalk

Balustrade at main entry

bolard

Thank you very much for your consideration.

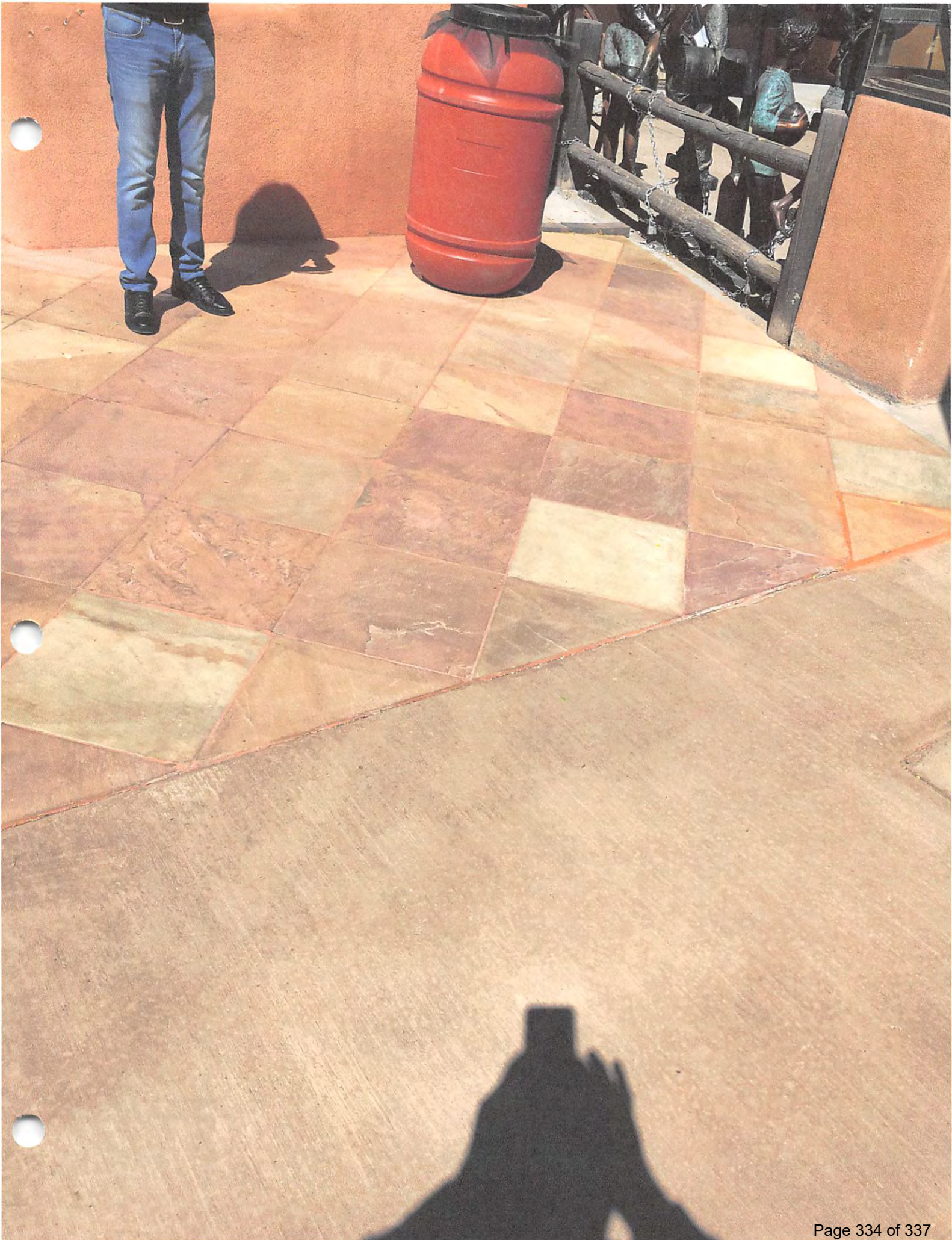
Mark Suleiman













January 27, 2025

Lani McCulley
Senior Planner
Historic Preservation Division
Planning & Land Use Department
City of Santa Fe

RE: Renovations to the East Facade
216 Old Santa Fe Trail

Dear Lani,

On behalf of the Owner, who I am representing before the Historic Preservation Division we request a review of the proposed renovations to the east façade at 216 Old Santa Fe Trail. This address is in the Downtown and Eastside Historic District and has non-contributing status approved by case number 2024-008452-HDRB on June 25, 2024.

My client proposes a review and approval of the improvements implemented in the east façade of this non-contributing structure.

The improvements implemented in the east elevation include:

- Removal of the existing wood-frame French door.
- Removal of the two existing wood-framed sidelight windows.
- Removal and replacement of the existing single-sided sign.
- Installation of new storefront windows and doors set in dark bronze aluminum frames.
- The east façade shall receive a new stucco color coat to match the existing finish color.
- Install a new single-slope canvas awning (black) mounted above the existing wood header beam and below the existing parapet line.

The proposed storefront window and door revisions in the East facade require a request for an exception per Section 14-5.2(E)(1)(c) of the SF Land Development Code. For such exceptions, we must conclusively demonstrate and the board shall make a positive finding of fact that such exceptions comply with all the criteria listed as follows: (i) Do not damage the character of the district; (ii) Are required to prevent hardship to the owner or an injury to the public welfare; and (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

- **The storefront window and door have glazing larger than thirty (30) inches** in the East elevation on a Non-Contributing structure is requested to be approved based on the original H-Board approval of an addition to the East façade with windows and a door whose glazing is greater than thirty (30) inches in any direction.

Criteria for approval:

- (i) Do not damage the character of the district;

The addition of the storefront window and door in our opinion does not damage the character of the district. The new storefront identifies the retail business to the public's view on this non-contributing structure while preserving the historical building elements. The storefront reflects an updated version of the original HDRB approval that allowed for glass areas with dimensions greater than thirty (30) inches in any dimension not under a portal.

- (ii) Are required to prevent a hardship to the owner or an injury to the public welfare;

The addition of the storefront windows and doors provides the Owner with a greater area for the public to visually connect to the store welcoming clients to the business. The storefront windows and doors relieve the hardship of limited display area allowing the owner greater visibility to the public therefore becoming more competitive in the challenging Santa Fe market.


- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

The alterations strengthen the unique character of the streetscape. The historic character of the building's East facade is maintained. The storefront reflects a modern look to the retail nature of the business. The storefront alterations reflect an updated version of the original HDRB approval that allowed for glass areas with dimensions greater than thirty (30) inches in any dimension not under a portal. The request, when approved, will allow the Owner to continue to provide services to all customers within this historic district, and in the Historic BCD of Santa Fe.

We desire the Historic Districts Review Board (HDRB) to determine the submission meets the standards of the district.

Thank you for your consideration of our request and please let me know if you require any additional information.

Sincerely,

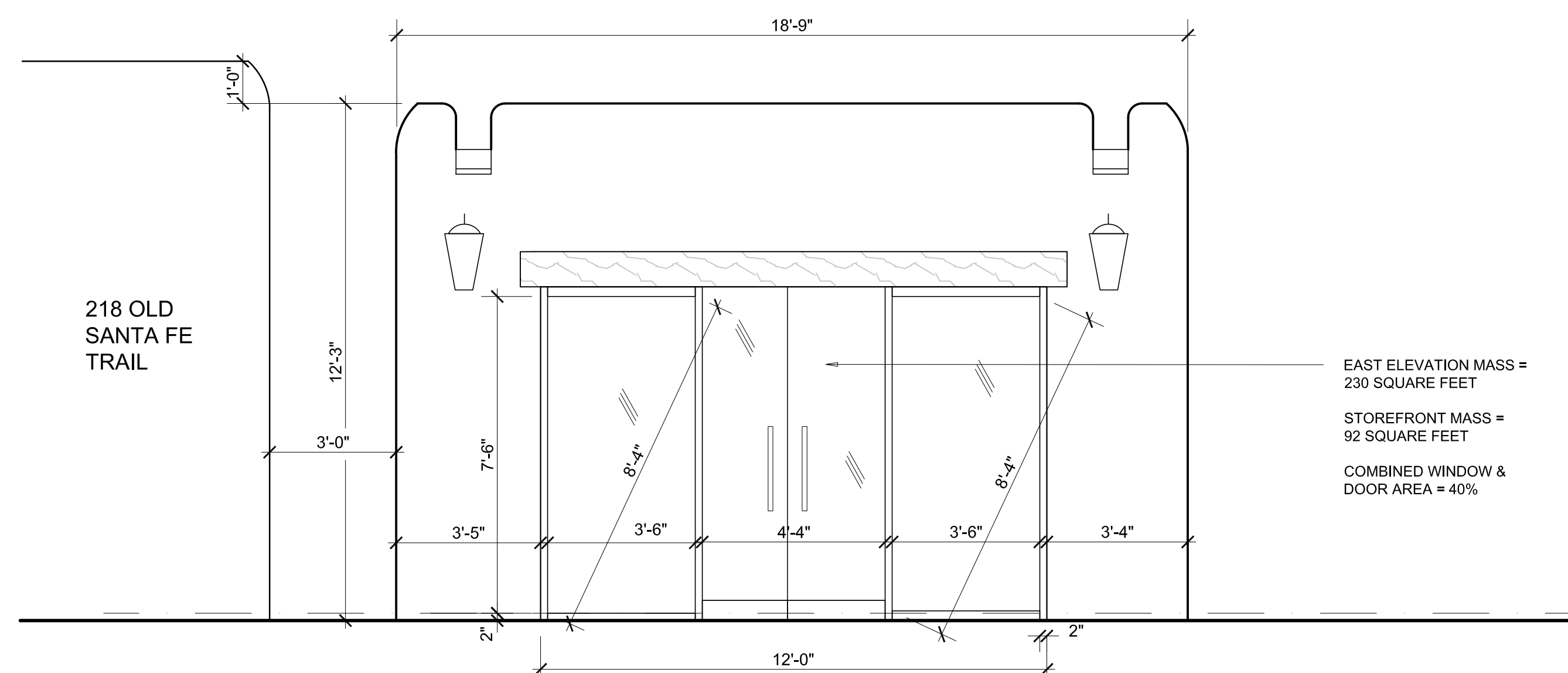
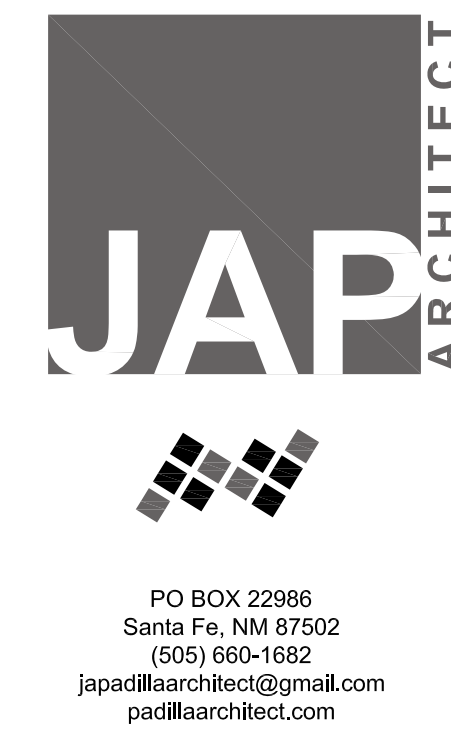
A handwritten signature in black ink, appearing to read 'John A. Padilla', with a horizontal line extending to the right.

John A. Padilla, AIA
Architect

PROPOSED PLAN SHEET & KEYED NOTES

PROPOSED:

1. NEW STOREFRONT DOOR
2. 10 x 8 WOOD HEADER ABOVE - 7'-10" A.F.F.
- 3.
4. NEW NEW AWNING ABOVE NEW STOREFRONT
- 5.



AS-BUILT CONDITION ELEVATION w/o AWNING

SCALE: $\frac{3}{8}$ " = 1'-0"

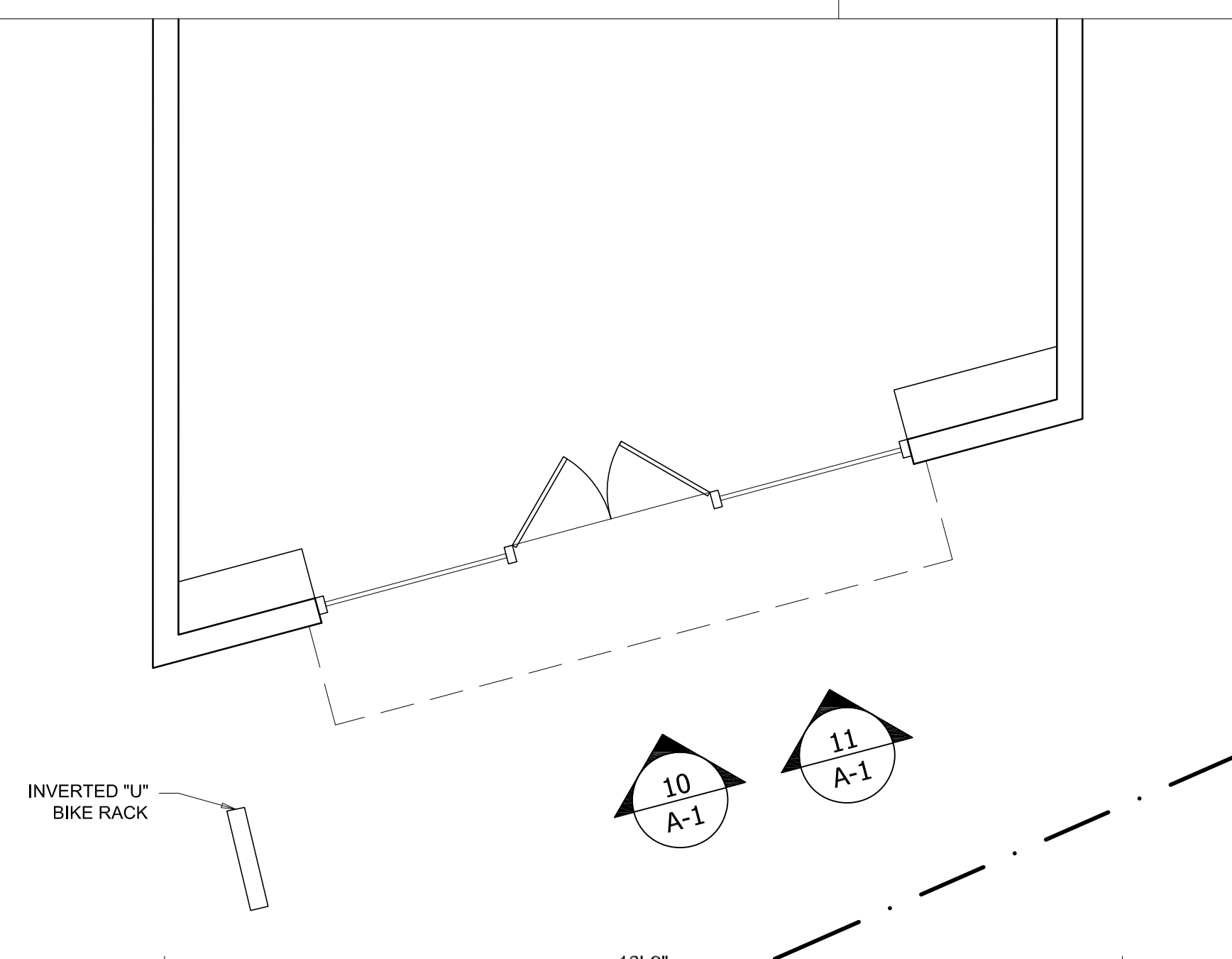
11



AS - BUILT CONDITION ELEVATION w/AWNING

SCALE: $\frac{3}{8}$ " = 1'-0"

10



AS - BUILT CONDITION FLOOR PLAN

SCALE: $\frac{3}{8}$ " = 1'-0"

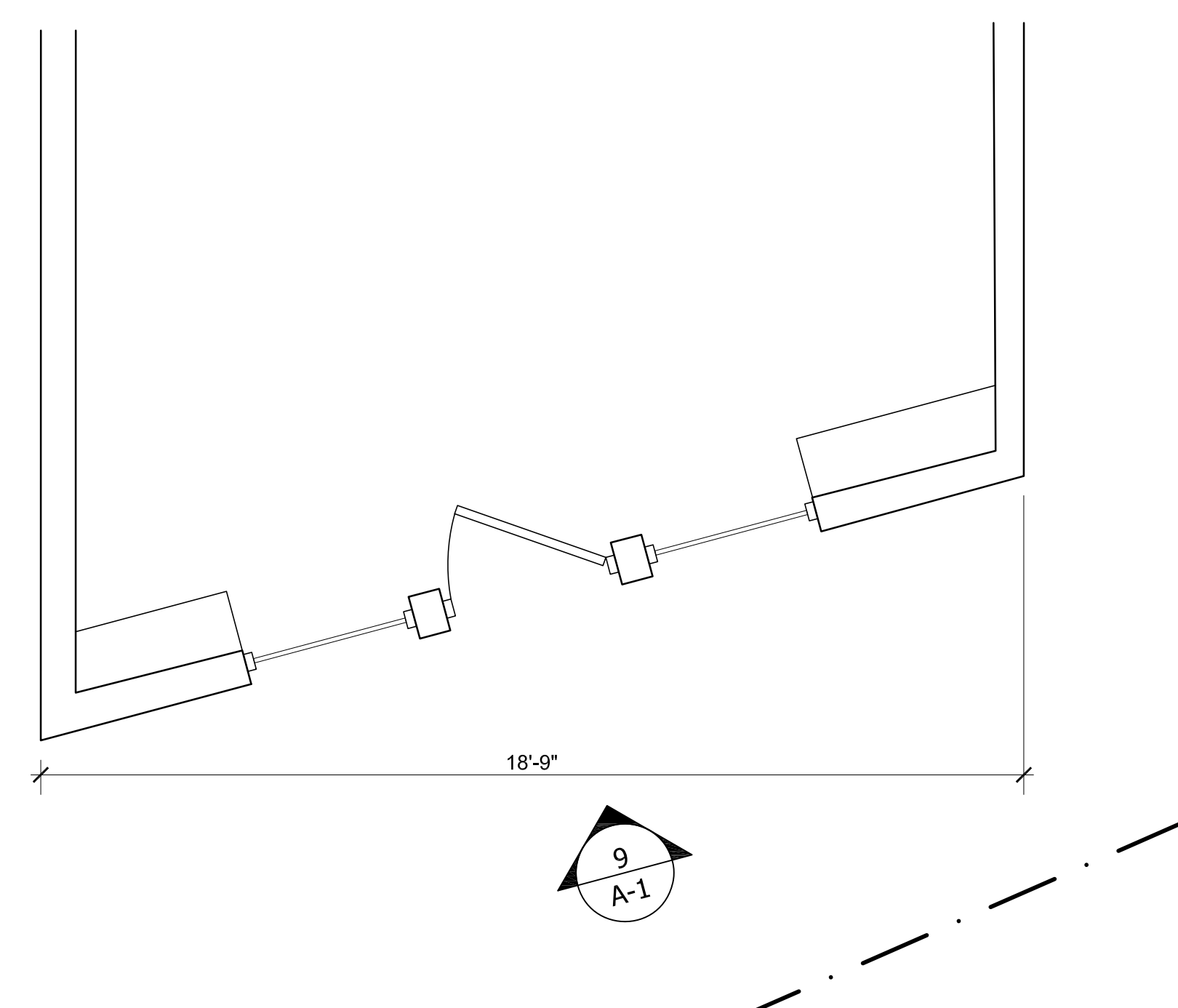
2



PREVIOUSLY APPROVED ELEVATION (CASE - H - 16 - 007)

SCALE: $\frac{3}{8}$ " = 1'-0"

9



PREVIOUSLY APPROVED FLOOR PLAN

SCALE: $\frac{3}{8}$ " = 1'-0"

1

ALTERATIONS
to
216 OLD SANTA FE TRAIL
SANTA FE, N.M.

PROJECT NO.: 2160SFT
 ISSUE DATE: 09/30/2024
 DRAWN BY: RDE
 CHECKED BY: JAP

REVISIONS:
 NO: DATE: DETAIL:

SHEET TITLE:

ORIGINAL & AS BUILT
 CONDITION
 FLOOR PLAN
 &
 ELEVATION

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 JOHN A. PADILLA AIA

SHEET NO:

A-1