



Agenda

Notice of the Early
Neighborhood Notification
(ENN)
March 3, 2025 at 6:00 PM
Meeting Virtually

Procedures for Early Neighborhood Notification (ENN) Meeting

1. ENN Name
 - a. NM Educational Retirement Board
2. Project Address
 - a. 5211 Las Soleras Drive
3. Description
 - a. Proposed Development Plan to design an office headquarters. The property consists of 2.999 acres zoned C-2 General Commercial District.
4. Applicant
 - a. David Archuleta, agent 505-531-6706
5. Staff
 - a. Heather Lamboy, hllamboy@santafenm.gov
6. Meeting Location
 - a. **Join Zoom Meeting**
Meeting ID: 814 2409 8231; Passcode: 287672
Dial by your location: 1 669 444 9171 - US

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



NEW MEXICO
EDUCATIONAL RETIREMENT BOARD

701 Camino de los Marquez
Santa Fe, NM 87505
1-800-663-1919
www.erb.nm.gov



EARLY NEIGHBORHOOD NOTIFICATION MEETING

February 14, 2024

**RE: New Mexico Educational Retirement Board
Development Plan**

Dear Neighbor:

This letter is being sent as notice of an Early Neighborhood Notification (ENN) meeting to discuss an upcoming application to the City of Santa Fe for a Development Plan for the Educational Retirement Board to build, design and construct an office headquarters. The 2.999-acre property is located at 5211 Las Soleras Dr, Santa Fe, New Mexico 87507. The subject property is zoned C-2 General Commercial District.. Please refer to the attached Vicinity Map, Conceptual Site Plan, and ENN Guidelines for more information.

In accordance with the requirements of the City of Santa Fe's Early Neighborhood Notification regulations, this is to inform you that a meeting is scheduled for:

When: March 3, 2025 at 5:30

p.m. Where: Via Zoom

Zoom Link: Available at <https://santafe.primegov.com/public/portal>

Join Zoom Meeting:

Meeting ID: 814 2409 8231; Passcode: 287672

Dial by your location: 1 669 444 9171 - US

Early Neighborhood Notification is intended to provide for an exchange of information between prospective applicants for development projects and the project's neighbors, before plans become too firm to respond meaningfully to community input. If you have any questions or comments, please contact David Archuleta at 505-531-6706 or david.archuleta@erb.nm.gov. Persons with disabilities in need of special accommodations, or the hearing impaired needing an interpreter, please contact the City Clerk's Office (505-955-6520) 5 days prior to the meeting date.

Sincerely,

David Archuleta



APPLICATION RESOURCES

PLANNING AND LAND USE DEPARTMENT RESOURCES

MISSION: The mission of the Planning Division is to review development applications for compliance with the City's land development code and department policies while providing information, guidance, and the highest possible level of customer service to applicants, neighborhoods, and the City's quasi-judicial decision-making bodies.

OFFICE: Santa Fe City Hall 200 Lincoln Avenue Santa Fe, NM 87501

WEBSITE: https://santafenm.gov/land-use/current-planning

CURRENT AND UPCOMING PUBLIC MEETINGS: https://santafenm.portal.civicclerk.com/

INTERACTIVE GIS MAPS: https://santafenm.gov/information-technology-telecommunications/gis

SANTA FE CITY CODE (SFCC): https://library.municode.com/nm/santa_fe/codes/code_of_ordinances

APPLICATION SUBMISSION AND FEES: All applications shall be submitted electronically as PDF files to planning@santafenm.gov. Incomplete applications, including those missing required submittals will be returned without processing. Application fees will be assessed and invoiced upon acceptance of the application for initial review. Fee tables may be viewed online.

GENERAL QUESTIONS: zoningcounter@santafenm.gov

DEVELOPMENT REVIEW PROCESS



PRE-APPLICATION PHASE

For many applications, the development review process begins with a pre-application conference, where the applicant presents their proposal to the City's Development Review Team (DRT) for initial review and feedback. If the applicant wishes to proceed, a city planner is assigned to assist the applicant through the remaining steps of the process. For administratively reviewed applications, a pre-application conference is usually not required.

For all applications requiring a hearing before a land use board, the applicant shall schedule, notice and host an early neighborhood notification (ENN) meeting in coordination with the city planner. The intent of the ENN is to provide for an exchange of information among the applicant, residents, and property owners, prior to application submittal. ENN notification requirements are set forth in SFCC §14-3.1(H). Applications that qualify for administrative review and some variances are not required to conduct an ENN meeting.

DEVELOPMENT REVIEW PHASE

Once an application and all required submittals are prepared by the applicant, they or their agent submits the Application to the City via planning@santafenm.gov. The applicant will receive an email confirming receipt of the application, and an invoice for applicable development fees which can be paid online or at the cashier's office at City Hall. The city planner and the DRT review the application for completeness and compliance with all applicable codes, ordinances, plans and regulations. During the review process, the city planner or members of the DRT may request additional information or amendments from the applicant to complete the review process. The review timeline can range for 9-12 weeks or more depending on the complexity of the application and the total number of cases under review.

PUBLIC HEARING PHASE

When the City determines that the application is complete, the case is scheduled for a public hearing before the applicable Land Use Board. Notification requirements for public hearings are set forth in SFCC §14-3.1(H). If the application is approved at the public hearing, the city planner will prepare the findings of fact and conclusions of law (FOFCOL) documenting the approval findings, any conditions of approval and an expiration date for the approval, as required.

POST APPROVAL PHASE

When the applicant has met all necessary conditions of approval and technical corrections, the plan or plat is recorded at the County Clerk's office and filed with the City's plat room. The case planner prepares an action letter detailing the approval record. The applicant may then proceed to building permitting and construction.

If you have questions about the requirements please contact your assigned case planner or planning@santafenm.gov.



LAND DEVELOPMENT CODE REFERENCE

EARLY NEIGHBORHOOD NOTIFICATION PROCEDURES (SECTION 14-3.1(F)SFCC)

Intent: The early neighborhood notification meeting (ENN) is intended to provide for an exchange of information between the applicant and residents and property owners in affected neighborhoods before plans become too firm to respond meaningfully to community input and before changes in plans might cause major financial losses by the applicant.

Applicability: Generally, an ENN is required for all projects heard before a land use board or the governing body.

ENN Scheduling; Notice Required: ENN's shall be scheduled in coordination with city staff, prior to issuing notice. The applicant is responsible for providing notice of the ENN in accordance with Subsection 14-3.1(H).

ENNs are scheduled Monday - Thursday from 5:30 PM to 7:00 PM based on staff availability. ENNs are hosted by the applicant on Zoom.

All ENNs are posted on the City's Primegov portal: https://santafe.primegov.com/public/portal

ENN Procedures: ENNs must take place at least ten days before an application is submitted to the City. The applicant is responsible for hosting the meeting and providing information on the proposal addressing the ENN Guildelines. Staff is present at the ENN meeting to acquaint the applicant and community with the provisions of city ordinances, applicable code standards and the development review process. The applicant presents schematic or preliminary plans for the proposed project and a drawing or other graphical representation suitable to reasonably indicate streets and structures within a two hundred (200) foot radius from the perimeter of the property that is the subject of the application. Following the presentation the community is invited to ask questions, provide feedback and comments on the proposal.

ENN Guidelines: The guidelines listed below are explained in further detail and are to be filled out in the following pages of this application.

- a. Effect on character and appearance of surrounding neighborhoods
b. Effect on protection of physical environment
c. Impacts on prehistoric, historic, archaeological or cultural sites or structures, including acequias and historic downtown
d. Relationship to existing density and land use within surrounding area and with land uses and densities proposed by the general plan
e. Effects on pedestrian or vehicular traffic and access to services
f. Impact on economic base of Santa Fe
g. Effect on availability of affordable housing and availability of housing choices
h. Effect on public services and infrastructure elements
i. Impacts on water supply, availability and conservation methods
j. Effect on opportunities for community integration and social balance
k. Effect on urban form

SUBMITTAL CHECKLIST

Submittal requirements may vary based on the individual application. The City reserves the right to request additional information during the review process. Please submit each of the following items as separate PDF files saved with unique and descriptive file names:

Table with 2 columns: Item description and corresponding document type. Items include County parcel map, ENN meeting notification guidelines, Legal lot of record, Notification mailing list, Draft notification poster, Draft neighborhood notice letter, and Site Plan with vicinity map.



PROJECT INFORMATION

Project Name:
Address: Parcel Size:
Zoning: Future Land Use:
Pre-application Conference Date:
Project Description:

PROPERTY OWNER INFORMATION

Name (First, Last):
Address: Street Address Suite/Unit #
City State ZIP Code
Phone: E-mail Address:

APPLICANT/AGENT INFORMATION (IF DIFFERENT FROM OWNER)

Name (First, Last):
Address: Street Address Suite/Unit #
City State ZIP Code
Phone: E-mail Address:

AGENT AUTHORIZATION (IF APPLICABLE)

I am/We are the owner(s) and record title holder(s) of the property located at:
I/we authorize to act as my/our agent to execute this application.
Signed: Date:
Signed: Date:

PROPOSED ENN MEETING DATES

Table with 3 columns: Please provide 2 options, Preferred Option, Alternative Option. Row 2: Date:

ENN Policies:

- ENN are scheduled in coordination with City staff; Monday - Thursday; 5:30 PM to 7:00 PM
ENN notice affidavit must be submitted on the notice date (15 days prior to the ENN)
ENN are hosted by the applicant on their Zoom account (Minimum Pro Plan)
ENN must be recorded by the applicant
ENN are valid for one year



ENN MEETING GUIDELINES

The applicant and neighborhood shall use the guidelines below to assist them in discussing the project at the ENN. The guidelines are based on the requirements of Chapter 14 and the general plan and other formally adopted city plans. Responses from all participants shall be provided to the land use board prior to hearing the application.

Please address each of the discussion items below. Each discussion item is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in [Section 14-3.1\(F\)\(5\)](#) SFCC 2001. A short narrative should address each item (if applicable) in order to facilitate discussion of the project at the ENN meeting. Responses should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail consult the Land Development Code.

A. EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS For example: number of stories, average setbacks, mass and scale, landscaping, lighting, access to public places, open spaces and trails.

B. EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.

C. IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.

D. RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.



E. EFFECTS ON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES For example: increased access to public transportation, alternate transportation modes, traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.

F. IMPACT ON THE ECONOMIC BASE OF SANTA FE For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.

G. EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS For example: creation, retention, or improvement of affordable housing; how the project contributes to serving different ages, incomes, and family sizes; the creation or retention of affordable business space.

H. EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.

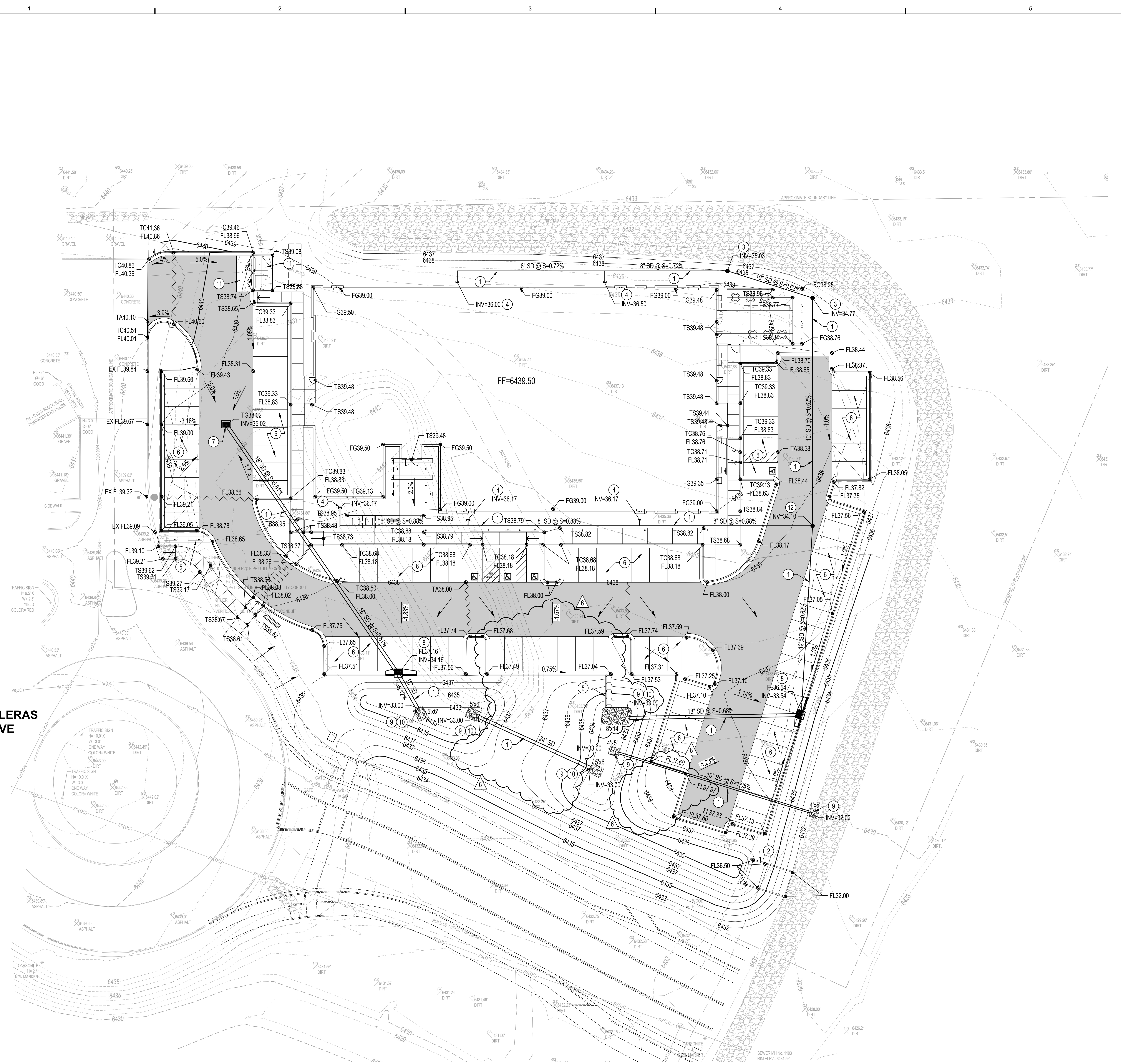
I. IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.



J. EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.

K. EFFECT ON SANTA FE'S URBAN FORM For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? Discuss the project's effect on intra-city travel and between employment and residential centers.

L. ADDITIONAL COMMENTS (Optional)

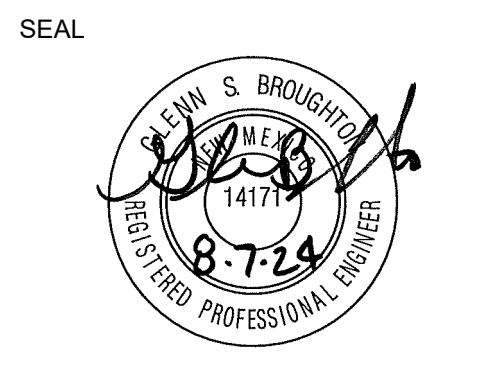


- KEYED NOTES**
1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
 2. CONSTRUCT 12" WIDE CONCRETE RUNDOWN FOR POND OVERFLOW PER 7/C300.
 3. INSTALL NYLOPLAST DRAIN BASIN WITH SOLID COVER.
 4. INSTALL 6" STORM DRAIN TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 5. CONSTRUCT 24" WIDE CONCRETE RIBBON CHANNEL PER 5/C300.
 6. INSTALL LIGHT DUTY ASPHALT PAVEMENT PER 1/C300.
 7. CONSTRUCT TYPE 'D' SINGLE GRATE STORM DRAIN INLET.
 8. CONSTRUCT TYPE 'C' SINGLE GRATE STORM DRAIN INLET.
 9. INSTALL RIP-RAP PAD PER 6/C300. SEE PLAN FOR SIZE.
 10. INSTALL CMP END SECTION.
 11. INSTALL HEAVY DUTY CONCRETE PAVEMENT SECTION PER 8/C300.
 12. INSTALL TRAFFIC RATED NYLOPLAST DRAIN BASIN WITH SOLID COVER AND CONCRETE COLLAR.

LEGEND

	HEAVY DUTY ASPHALT PAVEMENT PER DETAIL 2/C300
	PROPOSED SPOT ELEVATION
	TOP OF ASPHALT
	TOP OF CURB
	FLOW LINE
	TOP OF CONCRETE
	TOP OF SIDEWALK
	TOP OF GRATE
	FINISHED GRADE
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	DIRECTION OF FLOW
	WATER BLOCK / GRADE BREAK

DEKKER PERICH SABATINI



PROJECT

NMRB NEW OFFICE BUILDING
 5211 Las Soleras Dr.
 Santa Fe, NM 87507

ISSUE FOR PERMIT

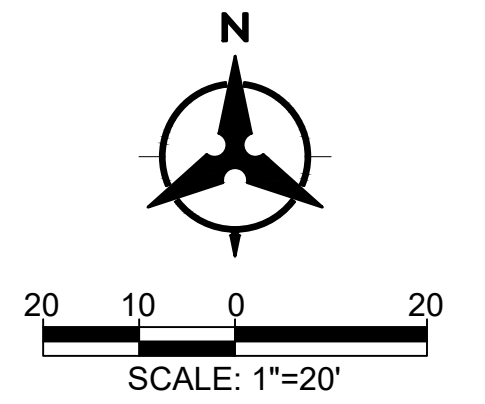
REVISIONS

	08/16/2024	ASH-005

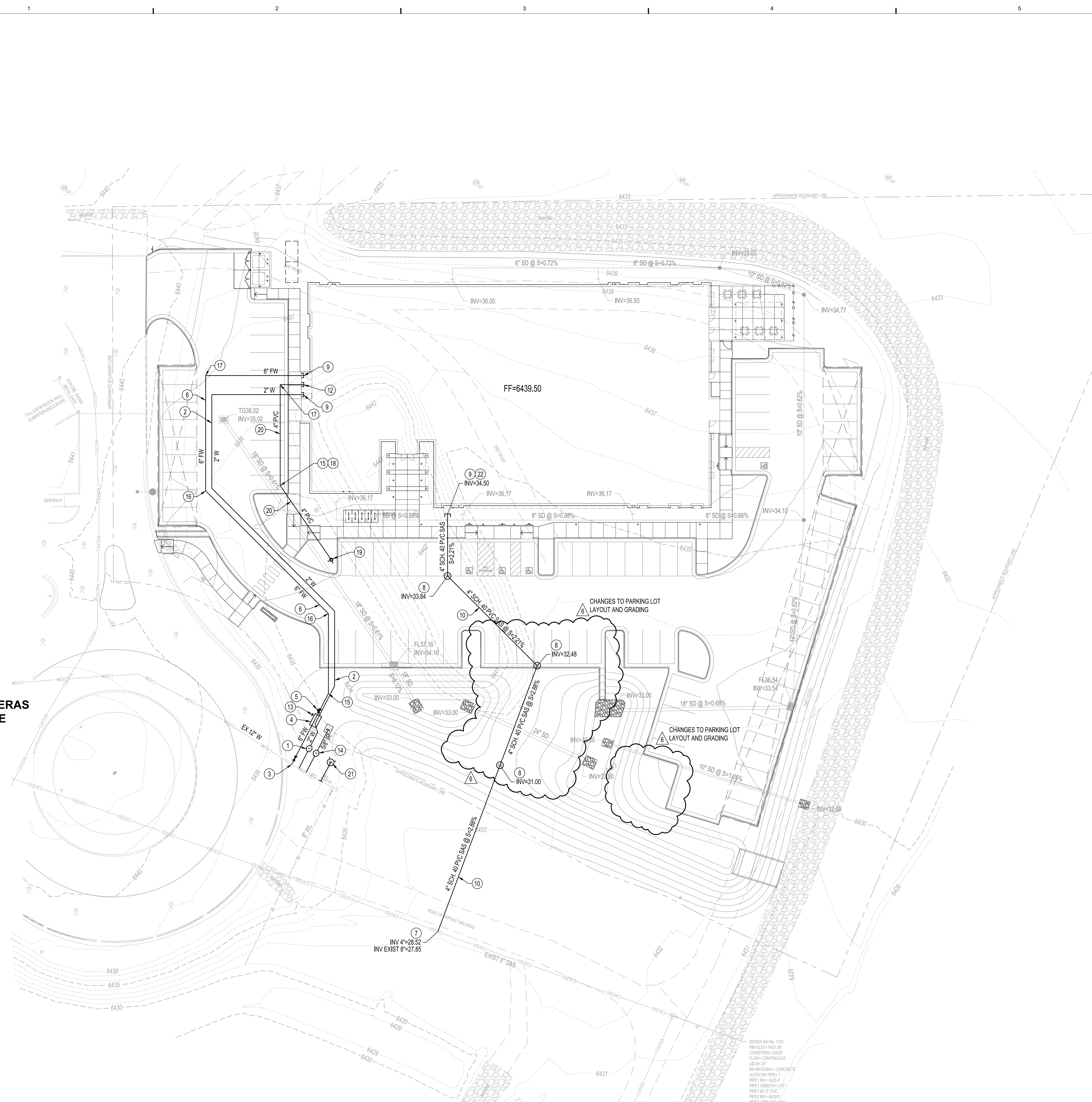
DRAWN BY: BO
 REVIEWED BY: GSB
 DATE: 12/21/2022
 PROJECT NO: 20-0371.001

DRAWING NAME
GRADING PLAN

SHEET NO
C100



Bohannon & Huston
 www.bhinc.com 800.877.5332



- KEYED NOTES**
- DOMESTIC WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 2" DOMESTIC WATER SERVICE LINE.
 - CONNECT TO EXISTING EXISTING WATER LINE. SEE PUBLIC WATER PLAN, SHEET C201, FOR DETAILS.
 - INSTALL 6" FIRE WATER REDUCED PRESSURE BACKFLOW PREVENTER & 2" DOMESTIC WATER REDUCED PRESSURE BACKFLOW PREVENTER IN SINGLE HEATED ENCLOSURE.
 - INSTALL 6" GATE VALVE WITH POST INDICATOR (PIV) PER DETAIL 3/C300.
 - INSTALL 6" C900 DR18 PVC FIRE WATER SERVICE LINE.
 - CONNECT TO EXISTING SANITARY SEWER LINE PER NMAPWA STD DWG 2125.
 - INSTALL SANITARY SEWER CLEAN OUT PER DETAIL 4/C300.
 - INSTALL SERVICE LINE TO WITHIN 5' OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - INSTALL 4" SANITARY SEWER SERVICE LINE. SEE PLAN FOR PIPE MATERIAL AND SLOPE.
 - EXISTING FIRE HYDRANT TO REMAIN.
 - COORDINATE EXACT LOCATION OF FDC LINE WITH FIRE PROTECTION / PLUMBING PLANS.
 - REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND CHECK VALVE TO BE INSTALLED DOWNSTREAM OF THE 6" REDUCED PRESSURE BACKFLOW PREVENTION DEVICE AND MOUNTED TO THE HEATED ENCLOSURE. FDC SHALL HAVE CLEAR ACCESS TO THE ADJACENT FIRE HYDRANT.
 - IRRIGATION WATER METER SERVICE CONNECTION TO BE INSTALLED WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 22.5" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 45" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 90" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL 11.25" BEND WITH RESTRAINED JOINTS PER COSF WATER DIVISION STANDARD DETAIL 10.
 - INSTALL REMOTE FIRE DEPARTMENT CONNECTION (FDC) PER DETAIL 9/C300.
 - INSTALL 4" C900 DR18 PVC PIPE TO REMOTE FDC.
 - FIRE HYDRANT TO BE INSTALL WITH PUBLIC WATER PLAN, SEE SHEET C201.
 - INSTALL 2'-45" VERTICAL BENDS AT BUILDING CONNECTION TO LOWER SAS SERVICE BELOW 6" STORM DRAIN.

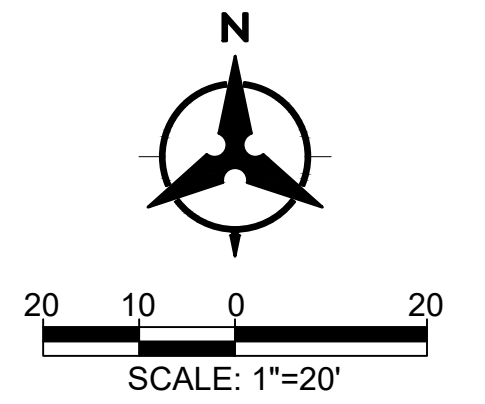
LEGEND

— W(OC)	EXISTING WATER LINE
— NG(OC)	EXISTING GAS LINE
— SS(OC)	EXISTING SAS LINE
— 2" W	PROPOSED WATER LINE
— 6" FW	PROPOSED FIRE LINE
— 4" SAS	PROPOSED SANITARY SEWER LINE
⊞	PROPOSED WATER VALVE
⊙	PROPOSED WATER METER
⊕	PROPOSED CLEAN OUT
⊞	PROPOSED CAP

LAS SOLERAS DRIVE

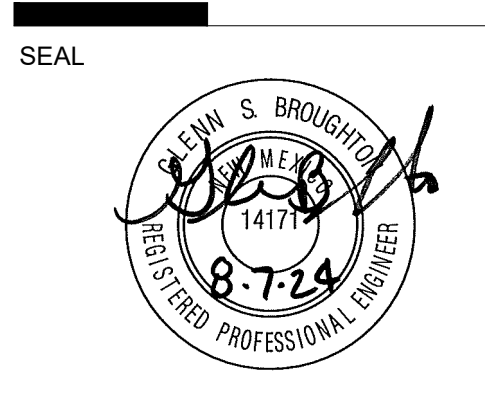
CHANGES TO PARKING LOT LAYOUT AND GRADING

CHANGES TO PARKING LOT LAYOUT AND GRADING



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www.bhinc.com 800.877.5332

DEKKER PERICH SABATINI



NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUE FOR PERMIT

REVISIONS

△	08/16/2024	ASJ-005
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△		
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△		

DRAWN BY: BO
REVIEWED BY: GSB
DATE: 12/21/2022
PROJECT NO: 20-0371.001

DRAWING NAME
SITE UTILITY PLAN

SHEET NO
C200



SEAL

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

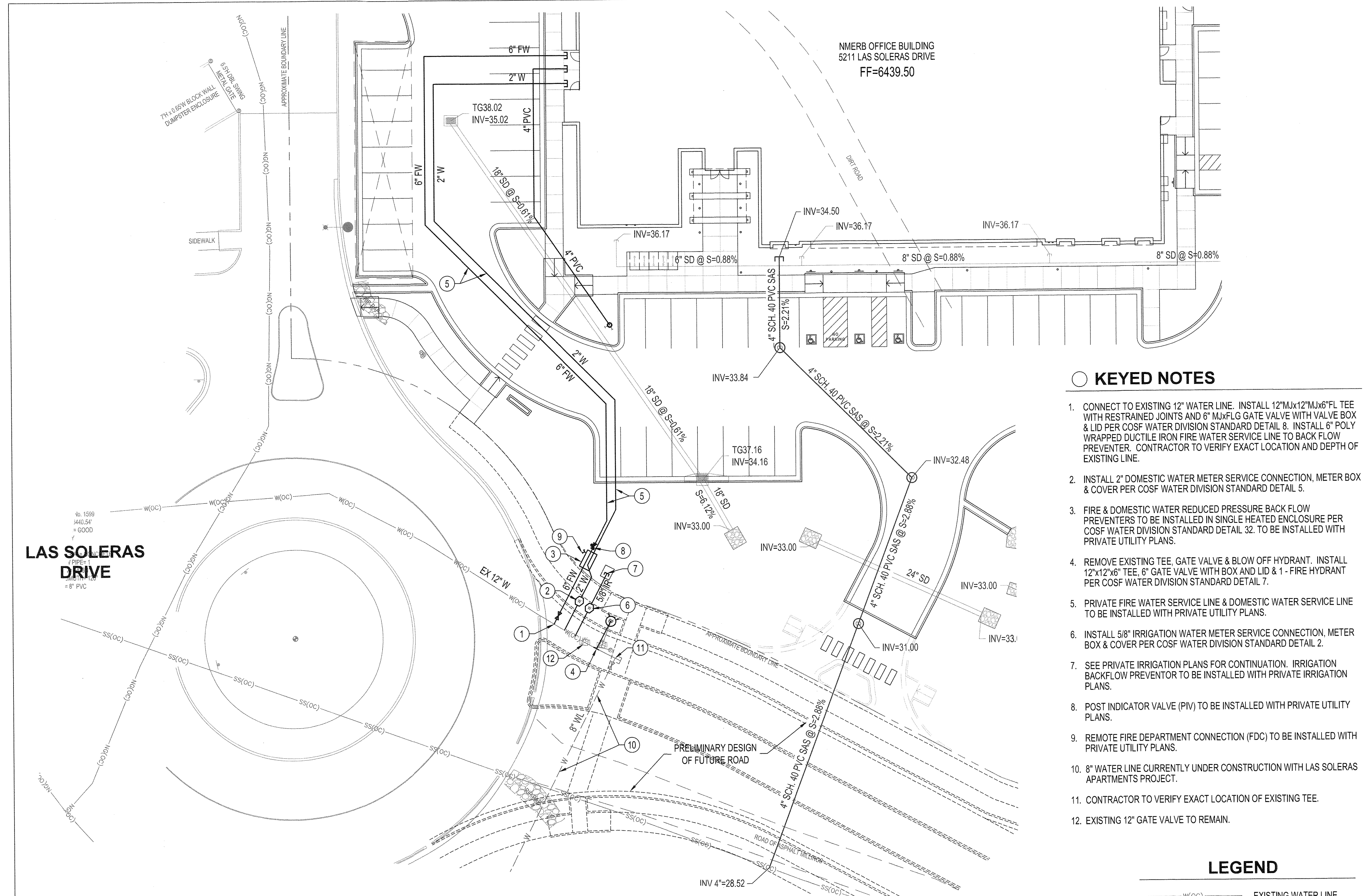
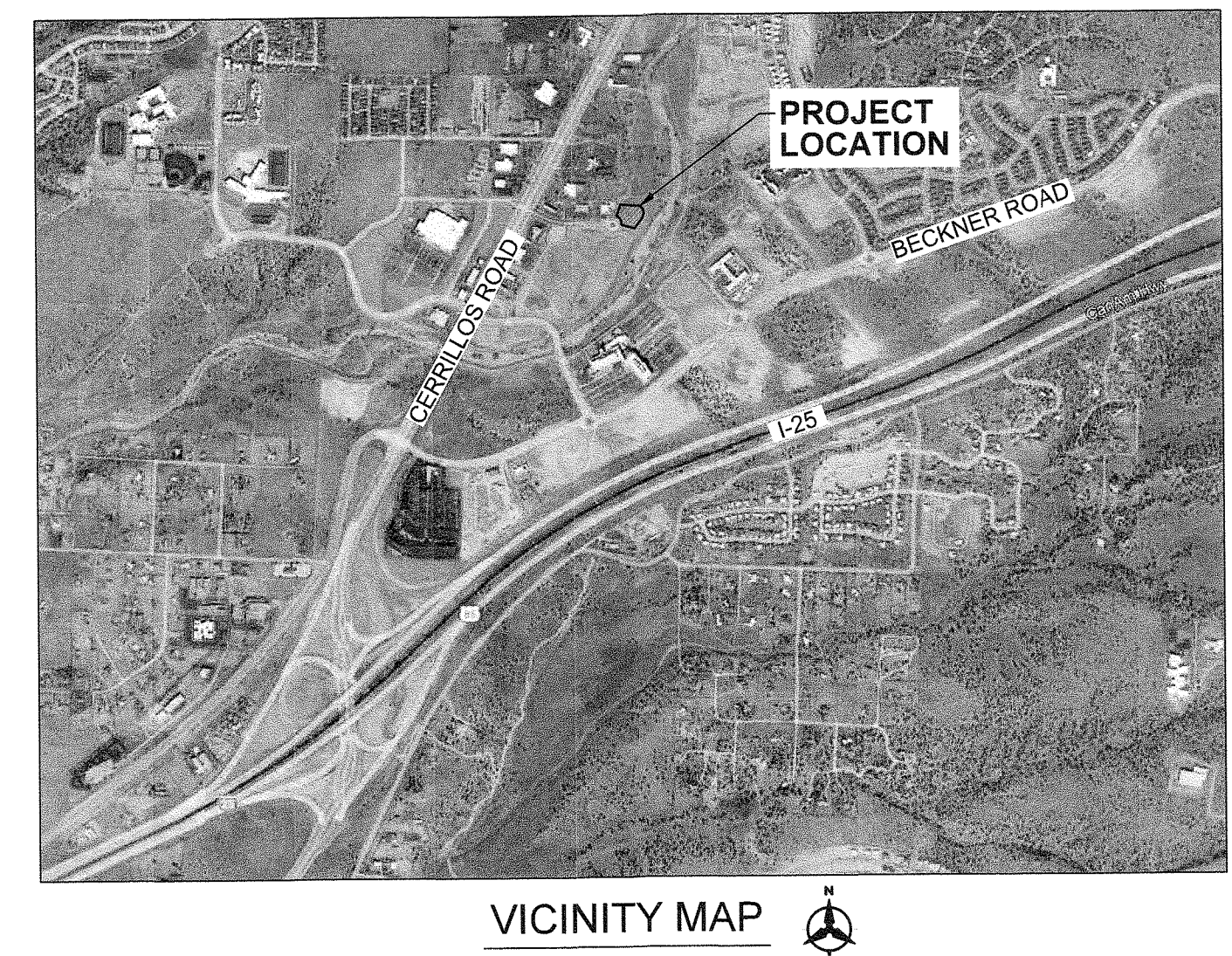
ISSUE FOR PERMIT

REVISIONS
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DRAWN BY BO
REVIEWED BY GSB
DATE 12/21/2022
PROJECT NO 20-0371.001

DRAWING NAME
PUBLIC WATER PLAN

SHEET NO
C201



KEYED NOTES

- CONNECT TO EXISTING 12" WATER LINE. INSTALL 12" M.I. 12" M.I. 6" FL TEE WITH RESTRAINED JOINTS AND 6" M.I. 6" GATE VALVE WITH VALVE BOX & LID PER COSFW WATER DIVISION STANDARD DETAIL 8. INSTALL 6" POLY WRAPPED DUCTILE IRON FIRE WATER SERVICE LINE TO BACK FLOW PREVENTER. CONTRACTOR TO VERIFY EXACT LOCATION AND DEPTH OF EXISTING LINE.
- INSTALL 2" DOMESTIC WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 5.
- FIRE & DOMESTIC WATER REDUCED PRESSURE BACK FLOW PREVENTERS TO BE INSTALLED IN SINGLE HEATED ENCLOSURE PER COSFW WATER DIVISION STANDARD DETAIL 32. TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOVE EXISTING TEE, GATE VALVE & BLOW OFF HYDRANT. INSTALL 12"x12"x6" TEE, 6" GATE VALVE WITH BOX AND LID & 1" FIRE HYDRANT PER COSFW WATER DIVISION STANDARD DETAIL 7.
- PRIVATE FIRE WATER SERVICE LINE & DOMESTIC WATER SERVICE LINE TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- INSTALL 5/8" IRRIGATION WATER METER SERVICE CONNECTION, METER BOX & COVER PER COSFW WATER DIVISION STANDARD DETAIL 2.
- SEE PRIVATE IRRIGATION PLANS FOR CONTINUATION, IRRIGATION BACKFLOW PREVENTOR TO BE INSTALLED WITH PRIVATE IRRIGATION PLANS.
- POST INDICATOR VALVE (PIV) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- REMOTE FIRE DEPARTMENT CONNECTION (FDC) TO BE INSTALLED WITH PRIVATE UTILITY PLANS.
- 8" WATER LINE CURRENTLY UNDER CONSTRUCTION WITH LAS SOLERAS APARTMENTS PROJECT.
- CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING TEE.
- EXISTING 12" GATE VALVE TO REMAIN.

LEGEND

- W(OC) EXISTING WATER LINE
- NG(OC) EXISTING GAS LINE
- SS(OC) EXISTING SAS LINE
- 2" W PROPOSED WATER LINE
- 6" FW PROPOSED FIRE LINE
- W PROPOSED WATER VALVE
- W PROPOSED WATER METER

GENERAL NOTES

- CONTRACTOR SHALL NOTIFY THE CITY OF SANTA FE WATER DIVISION (CosFW) FIVE (5) DAYS PRIOR TO COMMENCEMENT OF WORK.
- CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CosFW CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL EASEMENTS SHALL BE DEDICATED, CLEARED, GRADED AND STAKED PRIOR TO WATER LINE INSTALLATION.
- ALL STREETS SHALL BE CUT TO WITHIN 48" OF FINAL GRADE PRIOR TO WATER LINE INSTALLATION.
- LOT CORNERS SHALL BE STAKED PRIOR TO SERVICE LINE INSTALLATION. CURB, GUTTER AND DRIVEWAY APRON SHALL BE INSTALLED PRIOR TO SERVICE LINE INSTALLATION UNLESS OTHERWISE APPROVED, IN WRITING, BY CosFW.
- CONTRACTOR (DEVELOPER) SHALL PROVIDE CONSTRUCTION STAKING UTILIZING THE APPROPRIATE RIGHT-OF-WAY MAPS, SIGNED PLATS AND CosFW DRAWINGS.
- MATERIAL SUBMITTALS SHALL BE APPROVED BY CosFW PRIOR TO CONSTRUCTION.
- CONTACT NEW MEXICO ONE CALL AT 811 TWO (2) WORKING DAYS IN ADVANCE OF CONSTRUCTION FOR UTILITY SPOTS.
- PRESSURE REGULATORS SHALL BE INSTALLED ON ALL SERVICES DOWNSTREAM FROM THE METER.
- 4 FEET COVER TO TOP OF PIPE SHALL BE MAINTAINED ON ALL WATER MAINS AND SERVICES.
- CONTRACTOR SHALL SUBMIT AS-BUILT CONSTRUCTION PACKET WITHIN FIVE (5) DAYS OF COMPLETION OF CONSTRUCTION INCLUDING: VALVE TIES, AS-BUILT DRAWINGS (INCLUDING, BUT NOT LIMITED TO, FITTING-TO-FITTING MEASUREMENTS, SERVICE-TO-SERVICE MEASUREMENTS, CENTER OF MAIN TO CENTER OF SERVICE MEASUREMENTS, LENGTH OF MAIN INSTALLED, FITTINGS INSTALLED, ETC.) AND POTABILITY RESULTS.
- ALL VALVE BOXES SHALL BE BROUGHT UP TO GRADE OF THE FINAL PAVING MATERIAL SO THAT THE CONCRETE IS EXPOSED.
- FIRE HYDRANTS SHALL BE NUMBERED USING REFLECTIVE NUMERALS. THE REFLECTIVE NUMERALS SHALL BE OBTAINED BY THE CONTRACTOR FOR THE CosFW FIELD REPRESENTATIVE AT THE TIME THE NOTICE TO PROCEED (NTP) IS ISSUED. NUMBERS SHALL BE LEGIBLE FROM THE ROAD. PRIOR TO INSTALLING NUMBERS, FIRE HYDRANTS SHALL BE PAINTED.
- A MECHANICAL RESTRAINT SYSTEM SHALL BE UTILIZED ON FITTINGS AND PIPING FOR THRUST RESTRAINT. CONCRETE THRUST BLOCKING SHALL BE USED ONLY FOR SPECIAL CONDITIONS (E.G. CAPS WHERE MAIN WILL BE EXTENDED IN THE FUTURE) AS SPECIFICALLY APPROVED BY CosFW.
- ANY FIELD CHANGES TO THESE PLANS REQUIRE APPROVAL OF BOTH THE DESIGN ENGINEER AND CosFW.
- WORK ON CosFW FACILITIES SHALL NOT BEGIN UNTIL CosFW HAS ISSUED A NTP TO THE APPROVED UTILITY CONTRACTOR.
- ANY AND ALL EASEMENTS FOR CITY-OWNED INFRASTRUCTURE SHALL BE OBTAINED/VERIFIED AND RECORDED BY DEVELOPER BEFORE PROJECT COMMENCEMENT. CONTRACTOR SHALL VERIFY THE EASEMENT IS IN PLACE BEFORE INSTALLING ANY INFRASTRUCTURE.

CITY OF SANTA FE WATER DIVISION
SANTA FE, NEW MEXICO

GENERAL NOTES
01

UTILITY CONTACT INFORMATION

NEW MEXICO GAS COMPANY
STEVE LARRANAGA
505-412-2904

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WATER DIVISION
JOHN DEL MAR 505-955-4231

CITY OF SANTA FE DEPARTMENT OF PUBLIC UTILITIES - WASTE WATER DIVISION
DOUG FLORES 505-955-4650

DOMESTIC & IRRIGATION WATER SERVICE TABLE

SERVICE ADDRESS	STREET NAME	SERVICE SIZE & TYPE (DS OR IR)
5211	LAS SOLERAS DRIVE	2" DS
5211	LAS SOLERAS DRIVE	5/8" IR

FIRE SERVICE DESIGN TABLE

SERVICE SIZE	REQ'D FLOW* GPM	RESIDUAL PRESSURE * PSI	BUILDING(S) SERVED
6"	250	75	5211 LAS SOLERAS DRIVE

A FIRE SERVICE IS DEDICATED FOR AUTOMATIC FIRE SPRINKLER SYSTEMS. ALL FIRE SERVICES MUST BE EQUIPPED WITH A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER WITH DETECTOR ASSEMBLY (RPDA). THE BACKFLOW PREVENTER MUST BE LOCATED WITHIN 30' OF THE CONNECTION TO THE WATER MAIN. BACKFLOW PREVENTERS MUST BE LISTED AS APPROVED BY THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH. *PEAK FLOW IS IN GALLONS PER MINUTE.

*RESIDUAL PRESSURE IN POUNDS PER SQUARE INCH AT THE LISTED FIRE FLOW AT THE POINT OF CONNECTION TO MAIN.

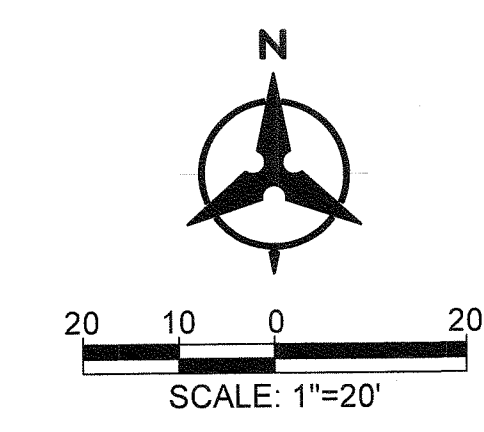
NOTE: PIPE JOINTS SHALL BE MECHANICALLY RESTRAINED PER UPDATED COSFW WATER DIVISION DETAIL 10A. SEE COSFW WATER DIVISION STANDARD DETAIL 10B FOR DIAGRAMATIC REPRESENTATION OF JOINT RESTRAINT LENGTHS.

THIS RECORD DRAWING HAS BEEN COMPLETED ON A COPY OF THE SEALED ENGINEERING DRAWING FOR THIS PROJECT. THE INFORMATION SHOWN HEREON IS BELIEVED TO BE ACCURATE BASED ON LIMITED FIELD OBSERVATION DURING CONSTRUCTION, AS WELL AS DATA FURNISHED BY THE INSTALLER.

RECORD MAPPING

	INITIALS	DATE
AS BUILT		
VALVE MAPS		
GIS (MAPPING)		
Inspector Approved		

EXISTING UTILITIES AND APPURTENANCES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE APPROXIMATE. ACCURACY, LOCATION, AND COMPLETENESS OF UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE VERIFIED, BY ANY MEANS NECESSARY, PRIOR TO THE INITIATION OF CONSTRUCTION. EXISTING UTILITIES NOT SHOWN ON THE DOCUMENTS ARE LIKELY TO EXIST.

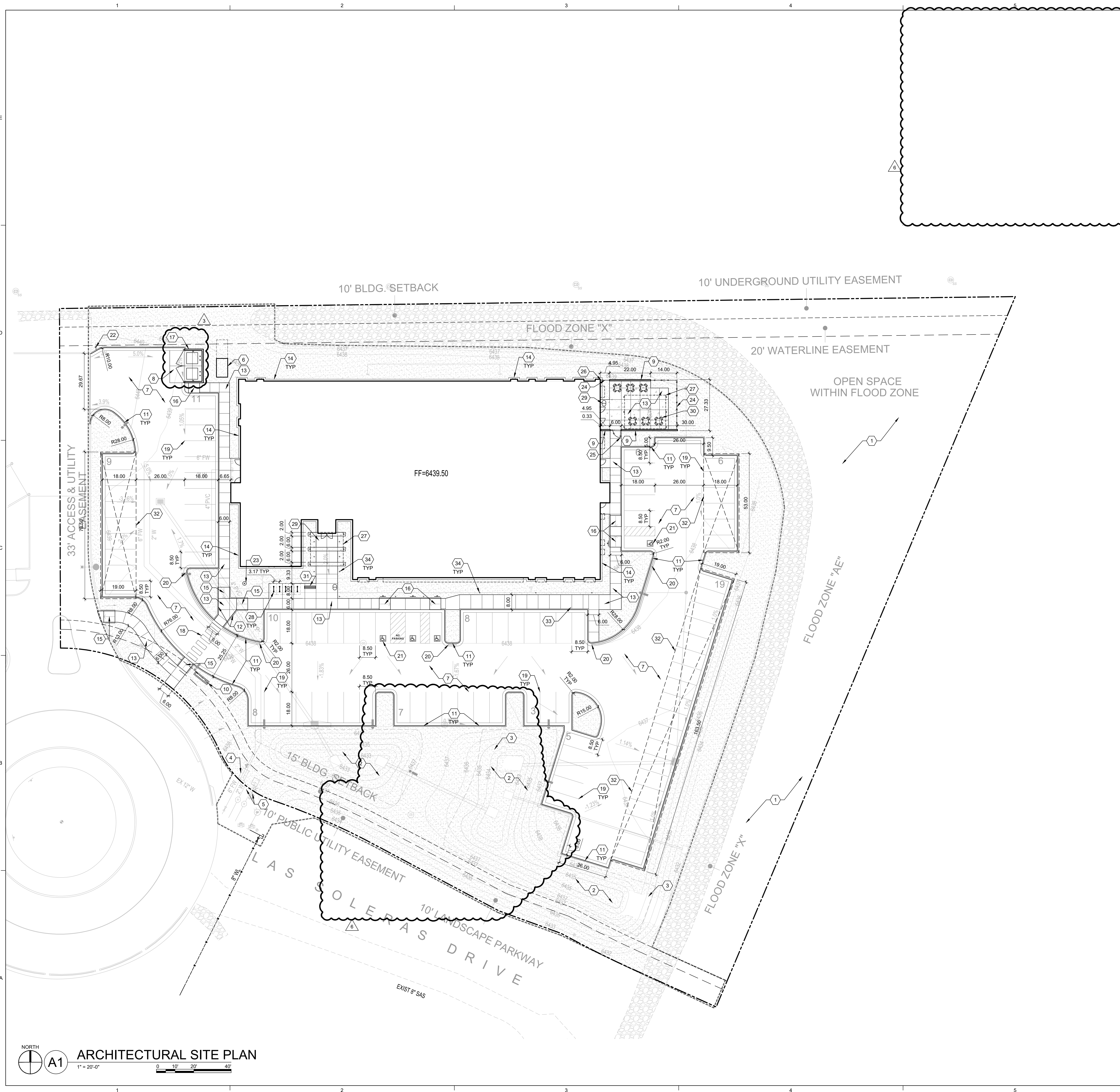


Bohannon & Huston
www.bhinc.com 800.877.5332

NOTE: THIS PUBLIC WATERLINE IMPROVEMENT PLAN IS FOR BIDDING PURPOSES ONLY. PRIOR TO CONSTRUCTION AN AGREEMENT TO CONSTRUCT AND DEDICATE PUBLIC IMPROVEMENTS (ACD) MUST BE EXECUTED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE OWNER TO PREPARE AND SUBMIT THE ACD TO THE CITY OF SANTA FE PUBLIC UTILITIES WATER DIVISION.

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GENERAL SHEET NOTES

- A. VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- B. COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- C. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- D. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
- E. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- F. RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- G. ALTERNATE 1 LINE WORK IS DIAGRAMMATIC AND PENDING DESIGN. COORDINATION WITH FUTURE LAYOUT OF LAS SOLERAS DRIVE. SEE SPECIFICATIONS.

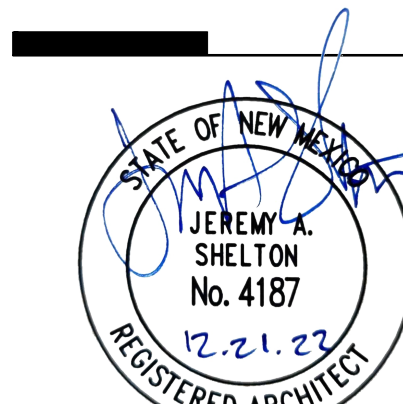
SHEET KEYNOTES

CODE	DESCRIPTION
1	AREA TO REMAIN UNDISTURBED
2	DRAINAGE BASIN, SEE CIVIL
3	CONCRETE RIBBON CHANNEL, SEE CIVIL
4	HOTBOX, SEE CIVIL
5	WATER METER, SEE CIVIL
6	TRANSFORMER, SEE ELECTRICAL
7	ASPHALT PAVEMENT, SEE CIVIL
8	HEAVY DUTY CONCRETE PAVEMENT, SEE CIVIL
9	CMU SCREEN WALL, SEE A4/AS502
10	MONUMENT SIGN, SEE B6/AS502
11	CONCRETE CURB AND GUTTER, SEE A3/AS501
12	CONCRETE HEADER CURB, SEE B2/AS501
13	CONCRETE SIDEWALK, SEE A2/AS501
14	CONCRETE BUILDING APRON, SEE A1/AS501
15	CONCRETE CURB RAMP TYPE A, SEE B4/AS501
16	CONCRETE CURB RAMP TYPE B, SEE B5/AS501
17	DUMPSTER ENCLOSURE, SEE A1/AS502
18	PAINTED CROSSWALK, SEE D4/AS501
19	4" PAVEMENT STRIPING, COLOR: WHITE
20	FIRELANE STRIPING, SEE D3/AS501
21	ACCESSIBLE PARKING, SEE C1/AS501
22	SITE SIGNAGE, STOP SIGN, SEE D1/AS501
23	FLAGPOLE, SEE D5/AS501
24	WIRE FENCE, SEE C5/AS502
25	WIRE FENCE GATE, SEE D5/AS502
26	FENCE AT BUILDING FACE, SEE C3/AS502
27	SHADE CANOPY, SEE ARCHITECTURAL
28	FORMS+SURFACES TWIST SURFACE MOUNT BIKE RACK, SEE SPECIFICATIONS
29	FORMS+SURFACES TONYO LITTER AND RECYCLING RECEPTACLE, SEE SPECIFICATIONS
30	FORMS+SURFACES 30" COLUMN TABLE AND AVIVO CHAIR WITH ARMS, SEE SPECIFICATIONS
31	FORMS+SURFACES APEX BACKLESS BENCH, SEE SPECIFICATIONS
32	PARKING CANOPY BY OTHERS
33	FUTURE DUAL EV CHARGER
34	LIGHT BOLLARD, SEE D6/AS501 AND ELECTRICAL

LEGEND

	EXISTING DRAINAGE SWALE TO REMAIN
	CONCRETE WITH SALT FINISH, SEE A2/AS501 AND SPECIFICATIONS
	LANDSCAPE AREA, SEE LANDSCAPE PLAN
	LIGHT POLE, SEE ELECTRICAL
	LIMIT OF WORK
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT

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SEAL

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

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REVISIONS

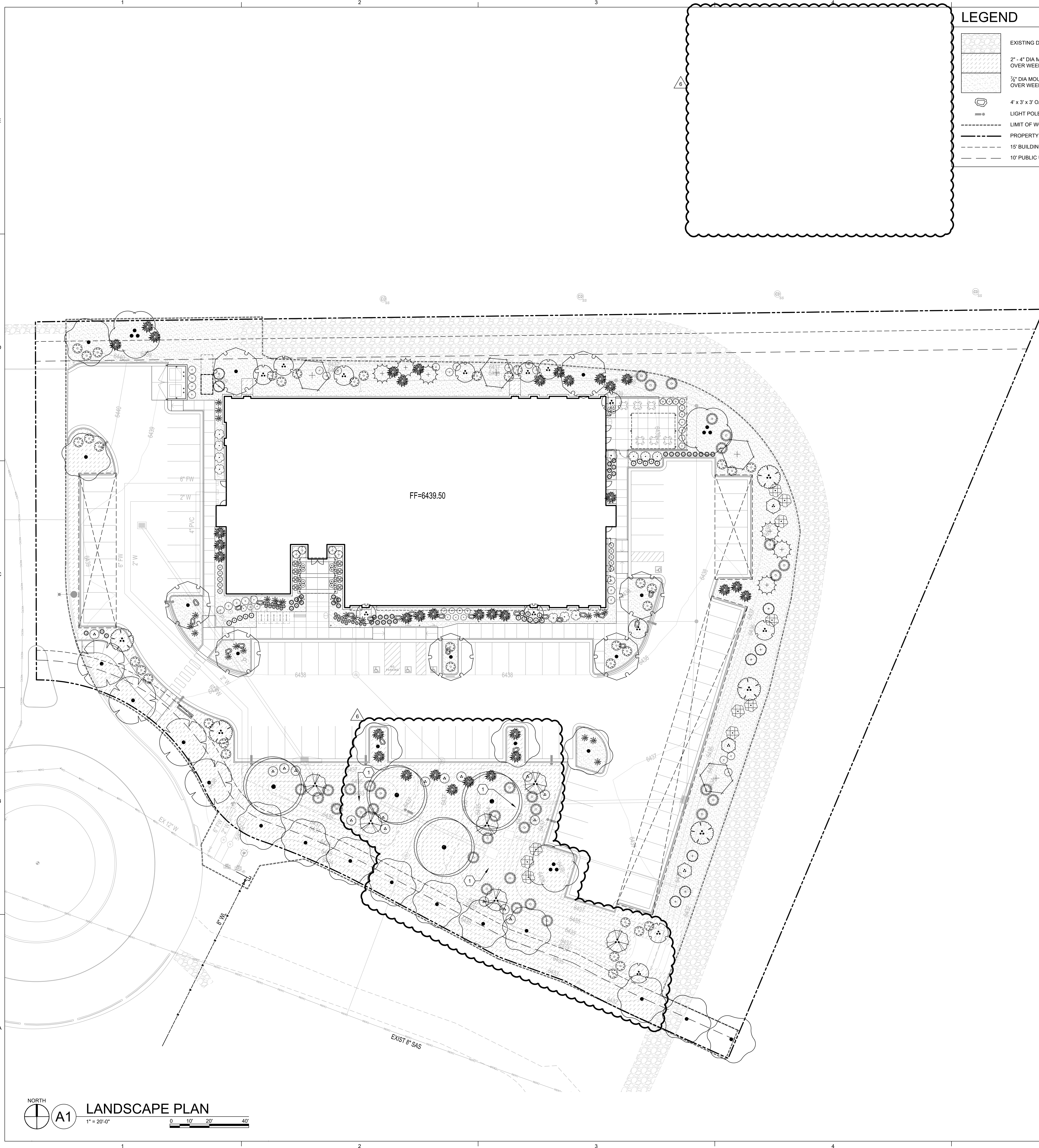
3/6/2024	ASI-002
8/16/2024	ASI-005

DRAWN BY	BG
REVIEWED BY	CM
DATE	12/21/2022
PROJECT NO	20-0371.001

DRAWING NAME
**ARCHITECTURAL
SITE PLAN**

SHEET NO
AS101

NORTH
A1 ARCHITECTURAL SITE PLAN
1" = 20'-0"
0 10' 20' 40'



LEGEND

	EXISTING DRAINAGE SWALE TO REMAIN
	2" - 4" DIA MOUNTAINAIR BROWN AGGREGATE, 4" DEPTH OVER WEED FABRIC
	3/4" DIA MOUNTAINAIR BROWN GRAVEL, 3" DEPTH OVER WEED FABRIC
	4' x 3' x 3' OAKWOOD BOULDER, SEE C2/LP501
	LIGHT POLE, SEE ELECTRICAL
	LIMIT OF WORK
	PROPERTY LINE
	15' BUILDING SETBACK
	10' PUBLIC UTILITY EASEMENT

GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- RESTORE AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, TO PRE-CONSTRUCTION CONDITION.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING AND IRRIGATION OPERATIONS.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF THE WORK.
- THE LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PRIOR TO PLANTING, AND RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DEEMED UNACCEPTABLE.
- PLANT MATERIAL MUST BE NURSERY GROWN, AND PLANTS SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IN ORIGINAL NURSERY CONDITION.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES. PLANT QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- SOIL TESTING AND SOIL AMENDMENTS ARE REQUIRED FOR PLANTING AREAS. SEE SPECIFICATIONS.
- NATIVE SOILS MAY BE USED FOR LANDSCAPE INSTALLATION, BUT SHALL BE BLENDED WITH AMENDMENTS AND/OR COMPOST. SEE SPECIFICATIONS.
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL BE 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PROJECT NOT REQUIRED NOR DESIGNED TO COMPLY WITH CITY OF SANTA FE LANDSCAPE REQUIREMENTS.

SHEET KEYNOTES

- NO WEED FABRIC UNDER AGGREGATE ON LEVEL BOTTOM OF BASIN

PLANT LEGEND

TREES	BOTANICAL NAME	COMMON NAME
	BETULA FONTINALIS	WESTERN RIVER BIRCH
	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD
	CERCOCARPUS LEDIFOLIUS	CURL-LEAF MOUNTAIN MAHOGANY
	CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW
	FORESTIERA NEOMEXICANA	NEW MEXICO PRIVET
	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER
	PINUS EDULIS	PINON PINE
	PINUS HELDREICHII	BOSNIAN PINE
	PISTACIA CHINENSIS	CHINESE PISTACHE
	POPULUS DELTOIDES VAR. WISLIZENI	RIO GRANDE COTTONWOOD
	QUERCUS BUCKLEYI	TEXAS RED OAK
	ULMUS X 'MORTON GLOSSY' TM	TRIUMPH ELM
SHRUBS	BOTANICAL NAME	COMMON NAME
	AMELANCHIER UTAHENSIS	UTAH SERVICEBERRY
	BUXUS MICROPHYLLA V. JAP. 'WINTER GEM'	WINTER GEM BOXWOOD
	CERCOCARPUS INTRICATUS	LITTLELEAF MOUNTAIN MAHOGANY
	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH
	ERICAMERIA LARICIFOLIA 'AGUIRRE'	AGUIRRE TURPENTINE BUSH
	FALLUGIA PARADOXA	APACHE PLUME
	KRASCHENNIKOVIA LANATA	WINTERFAT
	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER
	MAHONIA REPENS	CREeping MAHONIA
	PRUNUS BESSEYI 'P011S'	PAWNEE BUTTES® SAND CHERRY
	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
	RHUS TRILOBATA	THREELEAF SUMAC
DESERT ACCENTS	BOTANICAL NAME	COMMON NAME
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	NOLINA MICROCARPA	BEARGRASS
GRASSES	BOTANICAL NAME	COMMON NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA
	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA
	MUHLENBERGIA LINDHEIMERI 'LEN'	AUTUMN GLOW™ LINDHEIMER'S MUHLY
	SPOROBOLUS WRIGHTII	GIANT SACATON
PERENNIALS	BOTANICAL NAME	COMMON NAME
	NEPETA X FAASSENII 'KIT KAT'	KIT KAT CATMINT
	SALVIA PACHYPHYLLA	MOJAVE SAGE

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SEAL
PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

	08/16/2024	ASH-G05

DRAWN BY: BG
REVIEWED BY: CM
DATE: 12/21/2022
PROJECT NO: 20-0371.001
DRAWING NAME: LANDSCAPE PLAN
SHEET NO: **LP101**

LANDSCAPE PLAN
1" = 20'-0"
0 10' 20' 40'

GENERAL SHEET NOTES

- A. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING AND IRRIGATION IN A NEAT AND HEALTHY CONDITION. THE PROPERTY OWNER ACKNOWLEDGES THAT APPROVED IRRIGATION FOR LANDSCAPING AND TREES IN THE RIGHT-OF-WAY MAY BE REMOVED BY THE CITY OR MMOT WITHOUT COMPENSATION.
- B. THIS IRRIGATION SYSTEM DESIGN IS DIAGRAMMATIC AND MAY REQUIRE FIELD ADJUSTMENTS.
- C. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- D. THE CONTRACTOR SHALL REFERENCE THE PROJECT'S GEOTECHNICAL REPORT TO ASSURE CONSTRUCTION ADHERES TO GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- E. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE.
- F. THE WATER PRESSURE HAS BEEN DESIGNED TO BE OPERATIONAL FOR AN ASSUMED PRESSURE OF XX PSI AT THE WATER METER PRIOR TO INSTALLING ANY IRRIGATION SYSTEM COMPONENTS.
- G. THE CONTRACTOR SHALL INITIATE A FLOW (DISCHARGE TO ACCEPTABLE DRAINAGE AREA) AND RECORD THE DYNAMIC WATER PRESSURE AT THIS FLOW. THE CONTRACTOR SHALL PERFORM A DYNAMIC WATER PRESSURE TEST BY INSTALLING A PROPERLY SIZED TEST METER WITH AN ACCURATE WATER PRESSURE GAUGE ATTACHED TO THE UPSTREAM SIDE OF THE TEST METER. THE CONTRACTOR SHALL REPORT HIS FINDINGS IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL ISSUE A WRITTEN NOTICE TO PROCEED UPON ACCEPTABLE CONDITIONS OR ISSUE CORRECTIVE MEASURES AND INSTRUCTIONS IF THE TEST YIELDS UNEXPECTED RESULTS.
- H. IRRIGATION CONTROL VALVE WIRING SHALL BE INCIDENTAL TO IRRIGATION WORK.
- I. SEE XX11501 FOR IRRIGATION TRENCHING. ALTERNATIVE LOCATIONS TO BE APPROVED IN FIELD BY OWNER'S AUTHORIZED REPRESENTATIVE.
- J. THE CONTRACTOR SHALL INSTALL SLEEVE PIPES ONLY FOR 24V WIRES WHEN NECESSARY AND FOR PIPING AND POLY DRIP TUBING AS INDICATED ON PLANS.
- K. THE CONTRACTOR SHALL COORDINATE IRRIGATION SLEEVE PIPING WITH PAVING CONTRACTORS. IRRIGATION SLEEVE PIPING SHALL BE INSTALLED DURING SITE CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL IRRIGATION SLEEVES BE INSTALLED AFTER PAVING IS COMPLETE.
- L. SLEEVES SHALL BE EXTENDED 24" BEYOND EDGE OF HARD SURFACES, WRAP ENDS WITH FOUR MIL PLASTIC AND TAPE WITH GOOD QUALITY PLASTIC TAPE, GRAY DUCT TAPE IS NOT ACCEPTABLE.
- M. VALVE LID COLORS SHALL BE TAN.

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IRRIGATION SCHEDULE

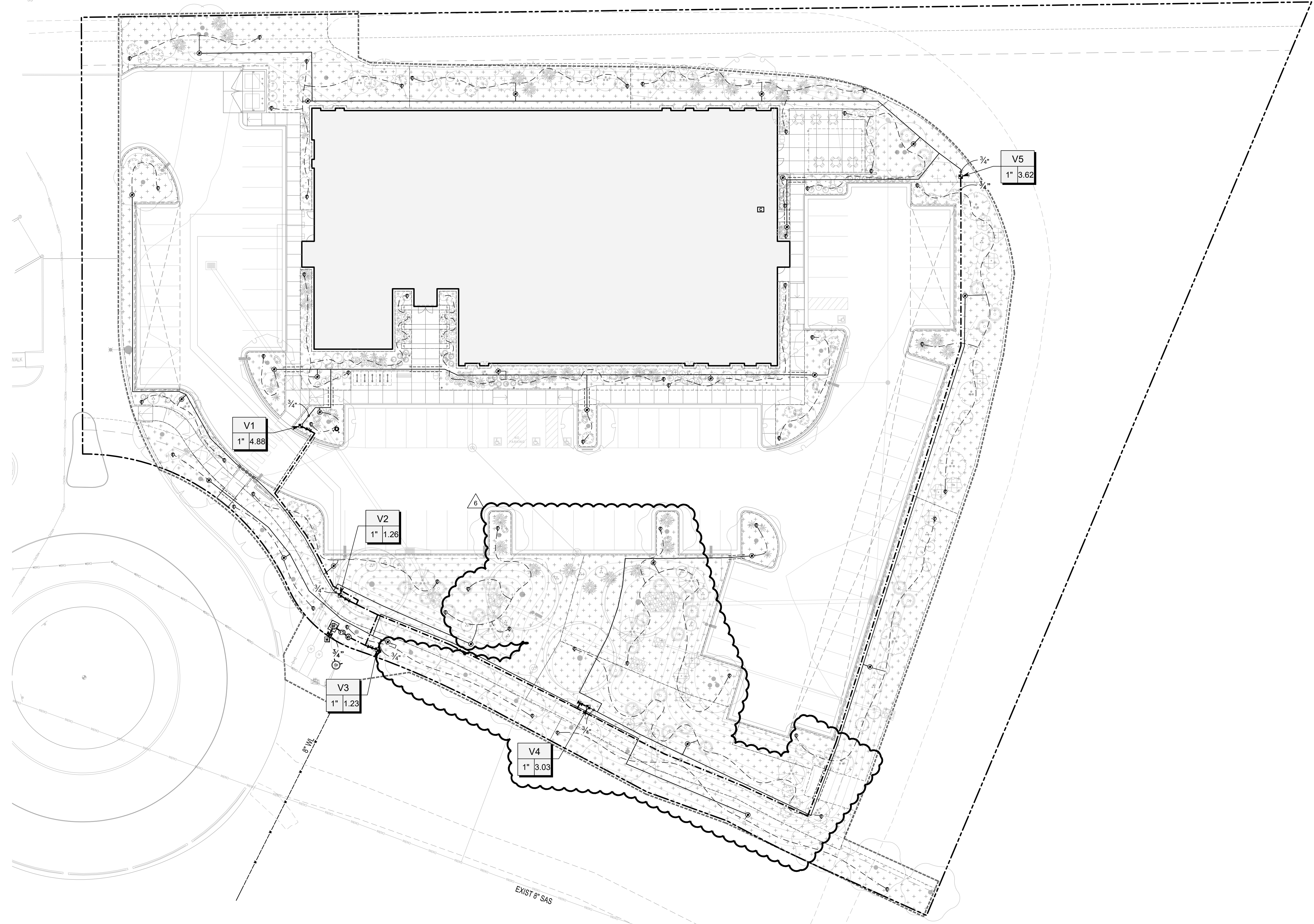
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. SEE A1/L1501
	PIPE TRANSITION POINT IN DRIP BOX PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX. SEE A6/L1501
	NETAFIM TLFV-1 AUTOMATIC FLUSH VALVE, WITH INSERT INLET. SEE D6/L1501
	AREA TO RECEIVE DRIP EMITTERS TORO T-DBK SINGLE-OUTLET FLAG STYLE EMITTER WITH BARBED INLET AND TAKE-APART FEATURE. COLOR-CODED FOR 1.0 GPH=BLACK; 2.0 GPH=RED; 4.0 GPH=MAROON. SEE C1/L1501 FOR LAYOUT Emitter Notes: DBK004 emitters (2 assigned to each 1 gal plant) DBK004 emitters (6 assigned to each 2" CAL. B&B plant) DBK004 emitters (6 assigned to each 3" CAL B&B plant) DBK004 emitters (2 assigned to each 5 gal plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 6" HT. B&B plant) DBK004 emitters (6 assigned to each 15 gal plant) DBK004 emitters (6 assigned to each 24" BOX plant)
	POLY DISTRIBUTION HOSE 3/4" POLY DISTRIBUTION HOSE FOR DRIP IRRIGATION SYSTEM
	SHUT OFF VALVE. SEE B6/L1501
	RAIN BIRD EFB-CP 1" 1" BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN. GLOBE CONFIGURATION. SEE A3/L1501
	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, LOCATED IN HOTBOX, COORDINATE WITH ELECTRICAL. SEE B4/L1501
	HUNTER PHC-1200I WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN, 12-STATION FIXED CONTROLLER, 120 VAC, INDOOR MODEL. LOCATED IN MECHANICAL ROOM, COORDINATE WITH ELECTRICAL. SEE B1/L1501
	RAIN BIRD FS-100-B 1" FLOW SENSOR, BRASS MODEL. INSTALL IN VALVE BOX. SEE A5/L1501
	WATER METER 5/8"
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	PIPE SLEEVE: PVC SCHEDULE 40

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI
V1	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	4.88	15.0
V2	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.26	12.9
V3	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	1.23	13.0
V4	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.03	13.4
V5	RAIN BIRD XCZ-100-PRF	1"	DRIP EMITTERS	3.62	14.0

LEGEND

- LIGHT POLE. SEE ELECTRICAL
- LIMIT OF WORK
- PROPERTY LINE
- 15' BUILDING SETBACK
- 10' PUBLIC UTILITY EASEMENT



IRRIGATION PLAN
1" = 20'-0"
0 10' 20' 40'

PROJECT

NMERB NEW OFFICE BUILDING
5211 Las Soleras Dr.
Santa Fe, NM 87507

ISSUED FOR PERMIT

REVISIONS

- 8/16/2024 ASH-005
-
-
-
-
-

DRAWN BY TC

REVIEWED BY CM

DATE 12/21/2022

PROJECT NO 20-0371.001

DRAWING NAME

IRRIGATION PLAN

SHEET NO

LI101