



Agenda

**Regular Meeting Amended
Agenda of the Historic Districts
Review Board
May 26, 2026 at 5:00 PM
Community Room, Main Library
145 Washington Avenue
Santa Fe, NM 87501**

Procedures for Historic Districts Review Board Meeting

1. Call to Order
2. Roll Call
3. Approval of Agenda
4. Approval of Minutes
5. Approval of Findings/Conclusions
 - a. 2025-010497-HDRB. 964 Acequia Madre (July 22, 2025)
 - b. 2025-010664-HDRB. 619 W. Alameda St. (July 22, 2025)
 - c. 2025-010869-HDRB. 516 & 516 1/2 Alto St. (August 12, 2025)
 - d. 2025-10870-HDRB. 549 Agua Fria St. (August 12, 2025)
6. Matters from the Public
7. Staff Communications
8. Old Business
 - a. 2026-012126-HDRB. 515 Paseo de Peralta. Downtown & Eastside Historic District, Significant, Rebecca Wood, agent for George and Tina Feghali, owner, proposes to construct a 3,470 sq. ft. addition to a height of 24'-0" where the maximum allowable is 23'-0". Exceptions are requested to 14-4.6(E)(2)(III)(a) to exceed the maximum allowable height. 14-4.6 (E)(4)(II) for removal of historic materials, 14-4.6(E)(2)(II)(a) for constructing an addition on a primary façade and 14-4.6(E)(2)(II)(c) for an addition exceeding 50% of the historic footprint. (Amanda Romero)
9. New Business
 - a. 2026-012413-HDRB. 247 Barela St., Westside-Guadalupe Historic District, non-

contributing, Santa Fe Permits, agent for Jeremy Martinez, owner, requests a status review and primary façade designation, if applicable, for a residential structure. (Lani McCulley; ljmcculley@santafenm.gov)

- b. 2026-012414-HDRB. 426 Delgado Ln., Downtown & Eastside Historic District, contributing, Gayla Bectol, agent for Paige Cochran and Kareem Abu-Zeid owners, requests a status review and primary façade designation, if applicable, for a residence, guest house, and yardwalls. (Lani McCulley)

- c. 2026-012284-HDRB. 1062 Camino San Acacio, Downtown & Eastside Historic District, contributing, Gabriel Browne, agent/owner, proposes to replace windows and doors and install exterior insulation on the contributing structure. Construct a 3,440 sq. ft. freestanding residence to a height of 20'-9", where the maximum allowable is 16'-9". Construct a 733 sq. ft. guesthouse with a pitched roof and construct a 6'-0" high fence, and a 4'-0" high yard wall. Additional height is requested due to slope per section 14-4.6(F)(2)(II)(f). Exceptions are requested to section 14-4.6(E)(4)(II) for placing a new architectural finish on a primary facade and for using material not in keeping with the district. (Lani McCulley)

10. Discussion Items

11. Matters from the Board

12. Next Meeting:

- a. June 9, 2026

13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2025-10497-HDRB

Address – 964 Acequia Madre

Agent’s Name – Manuel Mendoza

Owner/Applicant’s Name – Anjani Thomas

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 22, 2025.

BACKGROUND

The single-family residence at 964 Acequia Madre is listed as contributing to the Downtown and Eastside Historic District with the north and east façades designated as primary, excluding non-historic materials. There is documentation that the main structure was built in the 1800s on a 0.13-acre lot in the Spanish-Pueblo Revival design style. The house has been the subject of five separate HDRB cases between 1992 and 2005. It now comprises 5,848 square feet of roofed area. The construction includes a low transverse, gabled roof comprised of several different types of roofing material, wooden double-hung windows, and white territorial wooden trim. The current roof is in disrepair, with several major leaks seeping into the main residence.

At this hearing, the Applicant requests Board approval for:

Replacement of approximately 2,171 square feet of the existing roof with a 26-gauge, sloped metal roof, natural galvanized steel color or other color directed by the HDRB. The current roof is sloped but with varying types of materials. The roof will stay the same height.

This requires including two exceptions:

(1) to Santa Fe City Code (“SFCC”) Section 14-5.2(D)(1)(a), which restricts the removal of historic materials and alteration of architectural features that embody the status of a contributing structure; and

(2) to SFCC Section 14-5.2(D)(5)(b), which requires architectural features, finishes and details other than doors and windows to be repaired rather than replaced, and in the event replacement is necessary, for the new material to match the material being replaced in composition, design, color, texture and other visual qualities.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the application appears to meet the underlying zoning standards set forth in the Santa Fe City Code.

2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided to the Board a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: Staff recommended a finding that all the exception criteria have been conclusively demonstrated, and recommended approval of the application, as it complied with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The Applicant proposes to replace 2,171 square feet of the existing roof material with a 26-gauge sloped Galvalume metal roof, natural galvanized steel color. This requires the removal of the historic roof and replacement with a roofing material and color that is not the same as that which will be removed.
9. Under SFCC Section 14-5.2(D)(1)(a), the removal of historic materials and alteration of architectural features that embody the status of a contributing structure is prohibited.
10. Under SFCC Section 14-5.2(D)(5)(b), architectural features, finishes and details other than doors and windows shall be repaired rather than replaced, and replacement, if necessary, must be with material that matches that being replaced in composition, design, color, texture and other visual qualities.
11. The Staff determined that two exceptions, to SFCC Section 14-5.2(D)(1)(a) and 14-5.2(D)(5)(b), would be required for approval of the application, and the Applicant requested the two exceptions.
12. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff’s finding that the Applicant has conclusively demonstrated that all exception criteria have been met:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because the new roofing material was used historically in the district, is similar to some of the roofing material that will be removed, and will protect the adobe, wooden vigas, plaster and sheetrock construction materials;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare because the roof to be removed is in no less than four unmatched styles and colors, has a piecemeal, patchworked appearance, is substantially deteriorated

- and does not protect the structure of the house; and
- c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts because the new roofing material is a good material to prevent further damage to the house and provides long-term protection for the house in the future, and helps to ensure the habitability of the structure.
14. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
 15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
 16. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves the roof replacement described in the application, as recommended by Staff.
3. The Board grants the two exceptions requested in the application.

IT IS SO ORDERED ON THIS 26th DAY of MAY, 2026, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geralyn Cardenas
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2025-10664-HDRB

Address – 619 W. Alameda St.

Agent’s Name – Dura Build Construction

Owner/Applicant’s Name – Max Scott

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 22, 2025.

BACKGROUND

The 600 block of West Alameda Street is in a residential sector located across from the Santa Fe River Park, which is a passive recreational area with landscaping, picnic tables and a walking path. The houses range in style, with the most prominent style being vernacular Spanish Pueblo Revival. Most of the residences are lower, single-story buildings with an average height on the streetscape of 12’8”. The 702-square-foot, single-family residence at 619 W. Alameda St. is listed as non-contributing to the Westside-Guadalupe Historic District. The Spanish Pueblo Revival structure is built of adobe and pentile. A rectangular wood-framed addition previously located on the north side of the structure collapsed in 2024. Aside from its foundation, all parts of this addition have been removed from the property. There are no cases on record for the property in the Historic Preservation Division files.

The adobe part of the residence was built about 1943, with the pentile addition appearing by 1951. The wood-framed addition appears to have been built in 1975. There are viga ends at the exterior and interior of the north and south walls, though the interior portion of the vigas have been removed. The north wall has projecting roof joists on the pentile addition. All except one window are wood, double-hung, single-glazed one-over-one windows. There are some wood screens, though not all windows have them. The two front doors on the south may be handmade wood, frame and panel with a glazed flower-petal design. The western rear door is frame and panel, and the eastern rear door is a hollow-core wood door. All windows and doors are recessed, and the windows have projecting concrete windowsills. The exterior walls are cement stucco on chicken wire with paint on the stucco. The residence is typical of the streetscape.

There is also a pentile-lined well on the west side of the property. Its origin and details are not available, but it was likely constructed at the time of the pentile addition in 1951. The 1950s saw a significant increase in well drilling, in part because the state allowed farmers to transition from dryland farming to more water-intensive crops like alfalfa, corn and cotton, transforming the agricultural landscape. The state further allowed homeowners to drill and use a certain amount of water annually. This well may be a part of this step forward in water usage.

The Applicant requests a status review with primary façade designation, if applicable, of the residential structure. The southern portion of the residence holds the greatest historic integrity of the building, with the adobe construction, viga ends, double front doors with

corresponding windows, inset windows and doors, and concrete windowsills. The front doors are handmade. The west façade shows the growth of the building from adobe to the pentile addition and holds historic inset wood windows with concrete sills. The pentile well is most likely from the 1950s and is unique to the Alameda streetscape.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be upgraded to contributing with the south and west façades (façades 3 and 4) designated as primary per SFCC Section 14-5.2(C), Designation of Significant, Contributing or Non-Contributing Status Within Historic Districts. Staff also recommended a contributing status for the pentile well, to protect it, per SFCC Section 14-5.2(C), Designation of Significant, Contributing or Non-Contributing Status Within Historic Districts.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Westside-Guadalupe Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(I).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District.”
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition

of a “contributing structure,” as recommended by the Staff. This designation is supported by the adobe and pentile, vernacular construction of the house, hand-carved doors, cast-concrete window sills, deeply inset doors and windows, and original fenestration.

11. The Board finds that the south and west façades are the primary elevations of the structure with the features that define the character of the structure’s architecture. The southern portion of the residence shows historic integrity, with the adobe construction, viga ends, double front doors, hand-made, with corresponding windows, inset windows and doors, and concrete windowsills. The west façade shows the growth of the building from adobe to the pen tile addition and holds historic inset wood windows with concrete sills.
12. The Board finds that the pentile well is likely from the 1950s, is unique to the Alameda streetscape, is built of a traditional material and reflects historic changes in water availability for agricultural uses.
13. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board upgrades the status of the residential structure to contributing.
4. The Board designates the following elevations on the residential structure as the primary façades: south and west (3 and 4 on the façade map).
5. The Board designates the pentile-lined well as a contributing structure.

IT IS SO ORDERED ON THIS 26th DAY of MAY, 2026, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2025-10869-HDRB

Address – 516 and 516½ Alto St.

Agent’s Name – Marc Naktin

Owner/Applicant’s Name – Steve Dayton

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on August 12, 2025.

BACKGROUND

The single-family residence at 516 and 516½ Alto St. is listed as contributing to the Westside-Guadalupe Historic District, with the north elevation designated as the primary façade. This residence formerly was two separate units which in 1996 were joined by a glazed corridor and converted to use as office space for the Santa Fe Community Foundation. 516 and 516½ Alto St., and the Donaciano Vigil House at 518 Alto St., once formed a linear sequence of rectangular buildings along the south side of Alto Street, then known as River Road.

Historic documents read that Donaciano Vigil sold the property in 1856 to Vicente Garcia, who also acquired additional land along the south bank of the Santa Fe River, including the subject property. The Garcia family remained associated with the parcel, later identified as 516 Alto St., for several generations. It is hard to tell specifically when the core structures at this address were built, as neither the subject property nor Vigil’s house is clearly identifiable on the 1912 King’s Map, and a photograph from the 1910s attributed to 516 Alto St. depicts what appears to be an entirely different building. It appears that a 280-square-foot roofed carport was added in 1935, and that a 320-square-foot detached garage was built in 1953.

The 1996 project was designed by Santa Fe architect Vic Johnson, who, following the preservation philosophy of the period, unified the two structurally and stylistically distinct buildings through consistent architectural elements in a Pueblo Revival style. That renovation included complete replacement of the doors and windows, reconstruction of the front porch and replacement of the roof.

At this hearing, the applicant asks the Board to review the structure’s historic status and to designate primary facades, if applicable.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided to the Board a written report of its findings

- (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the main residential structure be maintained as contributing, and that the north elevation, identified in the Façade Diagram as numbers 1 and 2, be designated as the primary façade; and that the stand-alone garage retain its contributing status, with the east elevation, identified in the Façade Diagram as number 1, designated as the primary façade, per SFCC Sections 14-5.2(C), Designation of Significant, Contributing or Non-Contributing Status Within Historic Districts.
 3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
 4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
 5. The property is located in the Westside-Guadalupe Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(I).
 6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older, that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
 7. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
 8. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
 9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structures meet the definition of “contributing structures,” as recommended by Staff. The Board finds that the connection of the house to the family of Vicente Garcia adds to the historic associations significant for the district, and, aside from the corridor connecting the two residential structures, three core structures on the property remain relatively unchanged.
 10. The Board finds that the north is the primary elevation of the main structure and the east is the primary elevation on the garage structure with the features that define the character of the structures’ architecture. These features include deep-set windows and doors, concrete-slab sills on the windows, and construction with traditional materials. The Board finds the original garage doors as character-defining elements of the garage.
 11. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation
Case # 2025-10869-HDRB

2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the main structure and garage as contributing structures.
4. The Board designates the north elevation on the main structure as the primary façade.
5. The Board designates the east elevation on the garage structure as the primary façade.

IT IS SO ORDERED ON THIS 26th DAY of MAY, 2026, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geralyn Cardenas
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2025-10870-HDRB

Address – 549½ Agua Fria St.

Agent’s Name – Robert Kreger

Owner/Applicant’s Name – Catherine Wynne

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on August 12, 2025.

BACKGROUND

The single-family residence at 549½ Agua Fria St., in the Westside-Guadalupe Historic District, has had no previous historic survey and no status designation. The approximately 1,000-square-foot unit, with no street frontage, is set back from 549 Agua Fria St., which has a significant historic designation. The rear unit most likely was never considered during previous historic assessments in the 1980s and 1990s.

A 2025 Historic Cultural Property Inventory (“HCPI”) for 549½ Agua Fria St. identifies the main structure and garage as built in the 1920s. According to the HCPI, Charles Hesch, a mechanic and foreman for the Closson and Closson auto shop, and his wife Mamie owned the front property and likely built the garage behind their house amid the rise in automobile ownership in the 1920s. The garage, built of adobe block, was converted into a small cottage in the 1940s, and given the 549½ address in the 1950s. Charles and Mamie’s son Howard lived in the cottage after he served in the Army, discharging in 1944, and Charles and Howard founded the Santa Fe Cycle Company, which evolved into a Harley Davidson dealership.

Howard’s cottage had additions in the 1960s and was stuccoed over. It is a modest Pueblo Revival style building, with deep window and door reveals and tapered massings. The structure recently has had wholesale window and door replacement, construction of an elevation garden wall on the south, and a new roof. The new roof was approved administratively in 2021 in Case # 2021-003086-ADMIN. No other work has been approved administratively or by the Board. An attractive and well-constructed river-stone front garden wall is of recent construction and ineligible for historic status due to its modernity.

At this hearing, the applicant asks the Board to review the structure’s historic status and to designate primary facades, if applicable.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. City Historic Preservation Division Staff reviewed the application, related materials and

information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements, and provided to the Board a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.

2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be upgraded to contributing and to designate the south elevation as the primary façade, identified as number 1 on the Façade Diagram, exclusive of the non-historic windows, per SFCC Section 14-5.2(C) Designation of Significant, Contributing or Non-Contributing Status Within Historic Districts.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Westside-Guadalupe Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(I).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
8. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by the Staff. The Board finds that the connection to Charles, Mamie and Howard Hesch adds to the historic associations significant for the district, and the deep-set windows and doors, tapered massings, construction with traditional materials and long-standing footprint are historic architectural design qualities that are significant for the District.
10. The Board finds that the south façade is the primary elevation of the structure with the features that define the character of the structure’s architecture.
11. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review historic status.

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation
Case # 2025-10870-HDRB

3. The Board designates the structure as a contributing structure.
4. The Board designates the following elevation of the structure as the primary façade: south, excluding the non-historic windows.
5. The Board finds the south-elevation garden wall to be non-historic and ineligible for historic status designation.

IT IS SO ORDERED ON THIS 26th DAY of MAY, 2026, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

MEMORANDUM

RE: 515 Paseo de Peralta

Date: May 21, 2026

TO: Amanda Romero

Historic Senior Planner
Land Use Department
City of Santa Fe

Subject: HDRB Design Review Exception Criteria – 515 Paseo de Peralta

Attachments:

01a – Historic Photos Appendix

Historic Districts and Historic Landmarks

Design Standards Exception Criteria

Section §14-4.6(D)(2) states that “The HDRB may review and grant or deny requests for exceptions to all provisions of Section 14-4.6(E), General Design Standards for All Historic Districts (except provisions regarding Height, Pitch, Scale, Massing and Floor Stepbacks).”

The proposed design respectfully requests three exceptions:

Exception 1

An exception is requested to remove and replace the historic material of the exterior stairs at the South facade, per SFCC §14-4.6 (E)(1)(I) stating that “The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.” The exception criteria as specified in §14-4.6(D)(2)(II) are as follows:

- (i) Do not damage the character of the district
 - *Response:* The proposed removal of the existing exterior entry stairs at the South Facade will not damage the character of the district, as this character will be strengthened by the reconstruction of the stairs’ historic form and relationship to the historic house.
 - The attached photo dated around 1910 (**Exhibit A**) depicts symmetrical stairs approaching the front porch from both East and West, defined on the street side by a sloped wall in a stucco finish matching the house. This front porch was historically the primary public-facing entry to the residence, and it is proposed to remain so. In intervening years, the West side of these stairs was removed and the East stairs to the porch have fallen into disrepair. This proposal requests replacement in kind with new symmetrical stairs leading to the porch, matching the height, finish, and layout of the historic photo. A landing North of these rebuilt stairs will provide structural reinforcement along the compromised historic stone rubble foundation to ensure the continued stability of the 140-year old historic house.
 - The existing pen-tile entry stairs at the West end of the Paseo facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs. The existing stairs were added to the house in the 1950s, and the structural report notes water damage to the wood stair framing and fungal decay to the structure, compromising the safety of the existing material. Like the porch stairs, the reconstruction of the stairs and landing will provide structural reinforcement to the rubble foundation. A connected landing between both sets of stairs and the East facade will extend this reinforcement along the entire compromised foundation. Along with the proposed stairs, it will create a datum reinforcing the existing foundation, and its stucco finish will match the finish seen in the historic photo from about 1910 (**Exhibit A**).

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare
- *Response:* The proposed replacement of the entry stairs in kind will preserve the existing and historic access path to the house, while ameliorating the structural damage to the rubble foundation stem wall noted in the structural report. By ensuring the continued structural stability of the house, this work will preserve this unique historic – and based on public comment at past hearings, beloved - structure within the fabric of Santa Fe.
 - By providing accessible access to the historic house’s main entry, the proposed reconstruction will prevent a hardship to the applicant. The owners intend to age in place, and the reconstruction and addition aim to serve that goal. The entry porch is a defining architectural feature of the house, and they wish to use it for as long as they live there. The proposed work is critical to its owners’ safe use of this door, while respecting the building’s historic massing.
- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
- *Response:* In the August 2025 status hearing for the property, the Board noted the significance of the stepped massing and flanking front access stairs to the front porch, with its unique keyhole opening. Granting the exception for the proposed removal and replacement of the entry stairs will simultaneously provide needed structural reinforcement and accessible access to the house, in a form and material that honors the house’s historic massing, finish, and patterns of use.
 - The expression of stepped massing also fits into and takes inspiration from the layered hillside context of the historic neighborhood. Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. Neighboring buildings follow the rising grade; looking North from the street, one sees a layering of walls, fences, and building masses stepping up the hill to overlook the city. Historically the site navigated this slope with series of terraces retained by site walls, starting with the historic stone wall along the street. The proposed reconstructed stairs continue this historical pattern and reinforce the unique character of the area (see Figure 1 below).



Figure 1. Photo of existing site and hillside context showing terraced and stepped character (see Attachment 11 – HDRB Subcommittee Studies)

Exception 2

An exception is requested to construct an addition to the the rear North facade of the historic residence. Because the existing house has a Significant status and all facades are considered primary, an exception is required to SFCC **§14-4.6(E)(2)(II)(a)**, stating that “Building additions are not permitted to primary facades.” The exception criteria as specified in **§14-4.6(D)(2)(II)** are as follows:

- (i) Do not damage the character of the district
- *Response:* The proposed addition the North facade of the historic house will not damage the character of the district, as its massing will be separated from the historic house and the connections to the original structure will be primarily limited to portions of the facade already altered by previous noncontributing additions. The Board approved these additions for demolition in October 2025, and their removal will leave exposed interior walls that will need to be replaced. The proposed design lightly touches the original house at two locations on the east and west ends of the façade, and this exception only concerns a 17” wide portion of the North façade (3’-2” wide at roof overhang) where the new structure touches the historic house outside previously disturbed areas (see Figure 2).
 - The primary mass of the proposed addition will be set back 12 feet from the historic house, preserving the legibility of old from new. At the East end of the facade, an interior space about 18 feet wide will provide the primary “bridge” between the original house and the addition, and it will attach at portion of the north façade left exposed after demolition of a noncontributing addition. The interior space is recessed beneath a roof overhang on both sides. Its roofline is set back 2’-6” from the corner of the original North façade, and its interior mass is set back 7’-7” from the corner to further differentiate the addition and preserve the legibility of the original massing and historic brick parapet at the Northeast corner. This shift pushes the addition Westward and slightly outside the previously disturbed façade area, creating the overlay described in this exception. This alignment also allows the new construction to continue the line of one of the primary original structural brick walls within the historic house and to extend the space of a historic hallway. The existing wall below the roof overhang will be preserved, and no existing historic doors or windows will be compromised or altered in any way. Newly exposed exterior wall will be finished to match the adjacent historic stucco.
 - A new roof structure at the West will create covered outdoor space and is similarly set back about 2’-6” feet from the historic Northwest corner. This roof measures about eleven feet wide and will only touch the previously disturbed portion of the North façade – no exception for this work is required. Newly exposed exterior wall below and above the roof will be finished to match the adjacent historic stucco. An existing opening through the historic brick wall, currently an interior hallway, will be fitted with an exterior door matching the other historic door centrally located on the North facade. A historic photo from around 1915 shows exterior door (**Exhibit B**), and the design proposes returning to this original function.

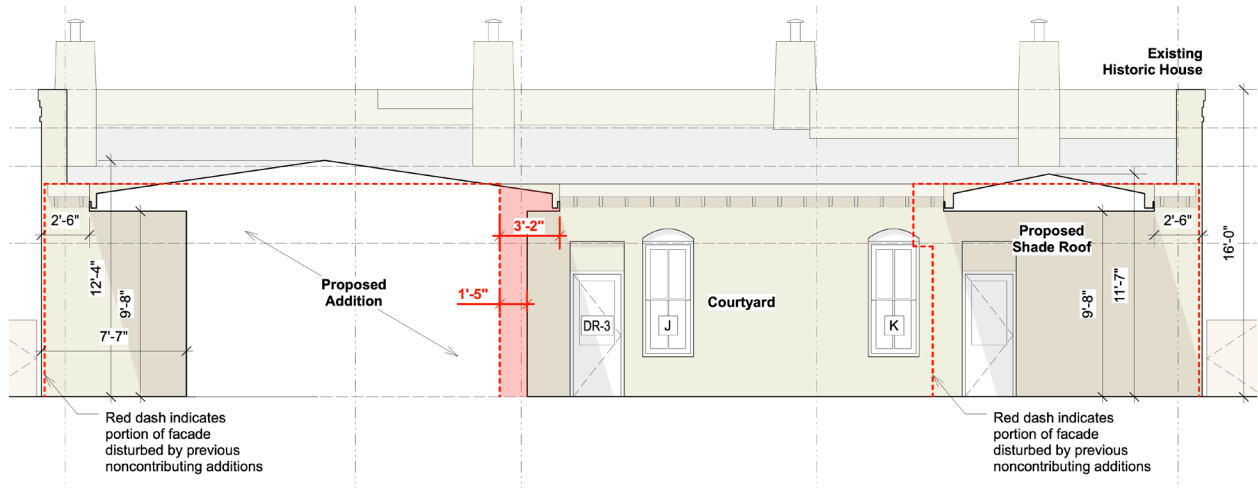


Figure 2. Excerpt from North Elevation (2/A203h)
 Scope of proposed addition shown relative to previously disturbed (noncontributing) façade. The proposed connection is primarily located at these locations; the exception concerns the 17" portion shown in red (38" at roof overhang).

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- Response:** The proposed design prevents hardship to the applicant or injury to the public welfare by accommodating the required program and accessibility without overshadowing the historic house or standing out in its historic hillside context. The design team studied several options for achieving these goals, including the option of splitting the distinct pieces of the new program (living space, garage, ADA, art studio) into four distinct buildings. This would comply with zoning requirements and would require no area, height, or scale exceptions from HDRB. However, this approach makes mobility and accessibility between buildings challenging. More critically, it means the new structures would inevitably be more visible, separated and spread across the site. Viewed from the public way, accessory structures would flank the historic house and distract from its visual prominence. Another option would be to combine these elements into a single new structure located North of the historic house but not physically connected to it. This too would comply with zoning requirements, and would require no scale, area, or height exceptions from HDRB. A consolidated structure behind the historic house would be less visible onsite and would preserve the house's prominence. However, the accessibility and mobility issues of travelling outdoors between separate buildings would remain.
- Instead, the proposed design consolidates these elements into a single new structure that connects to the historic house's North façade while remaining distinct and visually secondary to the house. This is achieved by leaving physical space between old and new and by minimizing the physical connection to the addition, as described above. Though this connection makes the new structure into an addition and triggers exceptions 2 and 3, it provides the required accessibility for the applicants while consolidating and concealing the new massing. By primarily touching the historic façade at previously disturbed and noncontributing areas, the proposed design endeavors to minimize any further disruption. The proposed exception is required to allow a connection to the historic house, necessary to the function of the new space and to prevent hardship to the applicant. Because the proposed addition will not alter any facade visible from the street, it will cause no injury to the public welfare.

- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
- *Response:* Historic residences in this area frequently include additions to expand their function over the years, as evidenced by the existing noncontributing additions to the house in question. The proposed exception will allow this tradition to continue, ensuring continued use and maintenance of the existing house. The proposed design takes direct inspiration from the form of these previous additions by concealing later construction where it is least visible from the public street, while preserving the legibility between old and new that adds richness to the heterogeneous character of the district. Additionally, it fits into the terraced, stepped character of its immediate historic hillside neighborhood (Figure 1).

Exception 3

An exception is requested to allow an addition exceeding 50% of the existing footprint and dimension of the primary facade, per SFCC **§14-4.6(E)(2)(II)(c)**, stating that “Building additions shall not exceed 50 percent of the square footage of the building’s historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary façade.” The exception criteria as specified in **§14-4.6(D)(2)(II)** are as follows:

- (i) Do not damage the character of the district
- *Response:* The footprint and facade dimension of the proposed addition will not damage the character of the district, as its mass – both area and length - will be substantially concealed by elevated mass of the existing historic house and by the steep grade of the site. The proposed design aims to accommodate the desired program without overshadowing the historic house or standing out in its historic hillside context. This is achieved by leaving physical space between old and new, burying the addition in the hillside, concealing it behind the historic house, and stepping its mass to break down the scale.
 - The primary mass of the proposed two-story addition will be set back 12 feet from the historic house, connected only by a narrow “bridge,” which creates an accessible connection between the original house and the addition. This physical connection to the historic house will be primarily limited to portions of the facade already altered by previous noncontributing additions, already approved for demolition by the Board. These single-story points of connection – roof and bridge - will be set back about four feet from the corners of the original North facade to further preserve the legibility of the original massing and historic brick parapet. Max. 12’ in height, they will read as significantly lower than the original 16’ parapet and will clearly demarcate the boundary between old and new.
 - The proposed design also makes use of the steeply sloped site to substantially conceal the addition from the street. Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. 515 Paseo de Peralta is no exception, rising 27’ in elevation from the South property line at the street to its North boundary. The existing house is positioned distinctly above and overlooking the street, and though it is only one story in height its parapet rises 30’ above the street grade and its finished floor level is located 14’ above street grade. Neighboring buildings also follow the rising grade; looking North from the street, one sees a layering of walls, fences, and building masses stepping up the hill to overlook the city. The mass of the addition fits into this layered hillside context. The addition’s lower floor level continues that of the historic house, but due to the sloped site it is buried mostly below grade – per the IRC, it is a “basement.” The addition’s upper level exits directly at grade to the North. Its mass steps back on the South, East, and West facades, and it is located directly behind the existing house to further obscure its visibility from the downhill public way. Where visible to the East, the addition’s massing blends into the existing layered context stepping up the hill.
 - These massing strategies minimize the scale of the addition to not conflict with the scale of buildings in the district. The existing house’s historic footprint measures 2,776 sf, including existing noncontributing additions to be demolished. The total area of the proposed project is 5,030 sf, including renovated existing building (1,560 sf) and two-story addition containing new living space,

ADU, garage, and arts studio (3,470 sf total). The net new area totals 2,254 sf, or 81% of the historic footprint. This exceeds the code by 31%, requiring an exception.

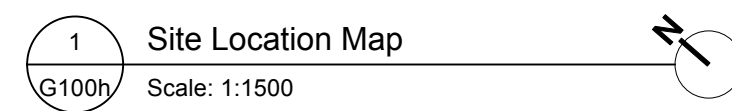
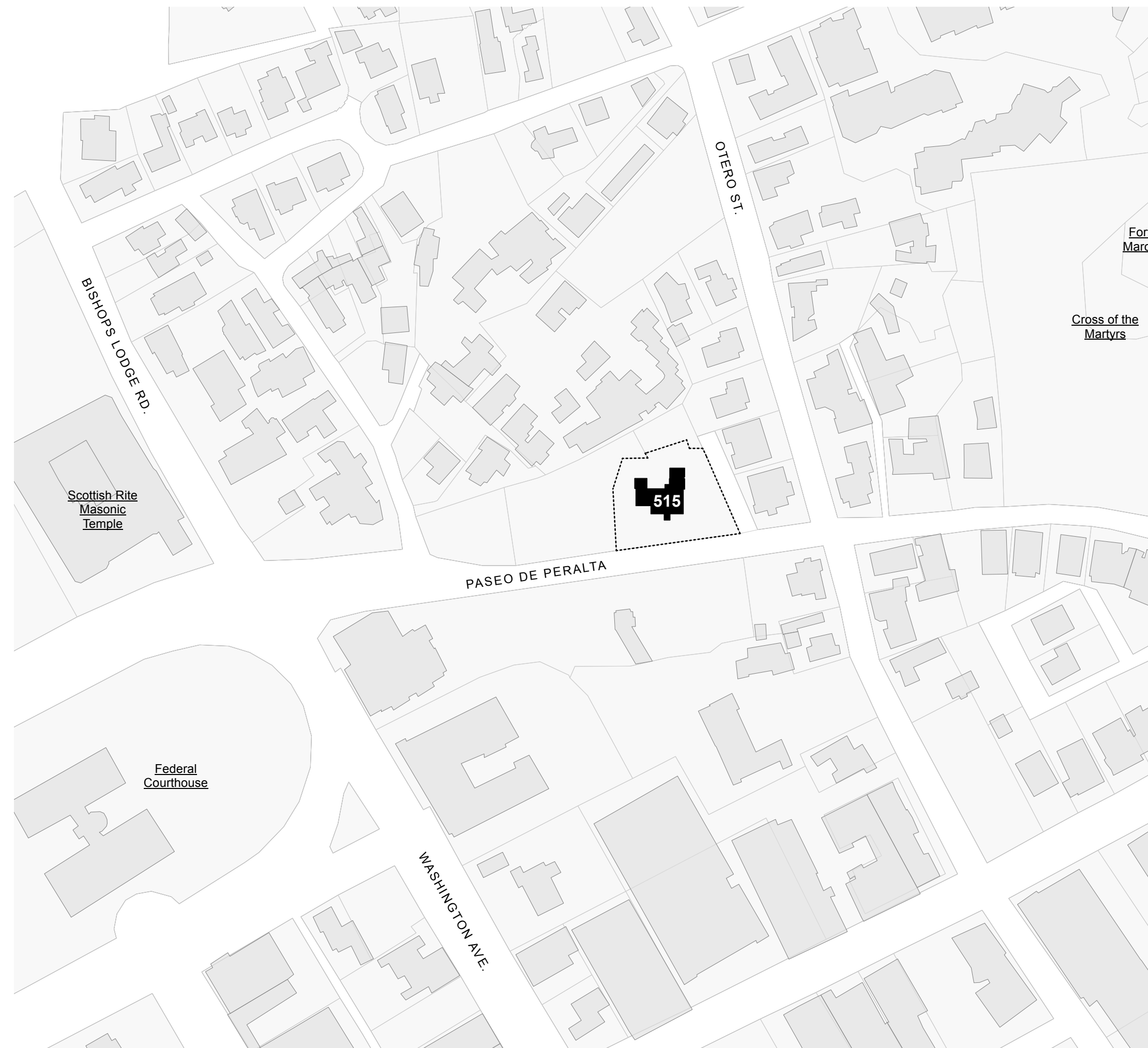
- The code also limits addition length to 50% of the façade, in this case the 40'-4" East façade. The directly adjoining façade - just the 12' wide passageway between the house and the addition, which is on a different plane - complies with this requirement, totaling just 30% of the historic facade. However, the total length of the addition across multiple planes adds up to 43'-6" or 108% of the historic façade, thus requiring the exception.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- *Response:* This exception is requested in order to allow the applicant to make fuller use of the R-21 zoned site by expanding the interior space to include a garage, bedrooms, art studios, and a guest suite for visiting family. The current house lacks the space, infrastructure, and accessibility to accommodate the applicant's needs, and concealing the more private functions in an addition will allow the historic structure to be restored, its original layout and brick walls revealed and celebrated.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

- *Response:* The Downtown and Eastside Historic District is distinct for its rich range of historic homes, materials, and building styles. Even among these, the historic house at 515 Paseo de Peralta possesses a significant and unique presence overlooking the city. The applicant's primary aim in this project is to protect and enhance the historic structure and to safeguard its future. By permitting additional area and use, the proposed addition complements without overpowering the historic house, enabling the restoration and celebration of the original space and structure.



PLANNING FEEDBACK: SETBACKS & MAX HEIGHT

Subject: Re: PZR Request - 515 Paseo de Peralta
Date: Tuesday, February 17, 2026 at 2:41:00 PM Mountain Standard Time
From: CRUZ-HABER, JOEL A.
To: Rebecca Wood, CLOUSER, REBEKAH E.
CC: Devendra Contractor, Deirdre Harris, ESQUIBEL, DANIEL A., PEREA, STEPHANIE J.
Attachments: image001.png, Outlook-155xjgkt.png, Outlook-xdfnmbir.png, image.png, Outlook-k3a35zxi.png

Rebecca,

It was a pleasure meeting with you, George, and Devendra today. Below are notes from the meeting.

- Based on the interpretation provided by our Planning Manager Dan Esquibel, the subject parcel is a corner lot therefore, subject to front setback requirements off Paseo de Peralta and Loma St. The remaining sides will be considered side yard setbacks. No rear setbacks assessed for the site.
- An administrative deviation of 12' can be supported to incorporate architectural style of the site if needed.

We look forward to seeing your redesign with the aforementioned setbacks being met.

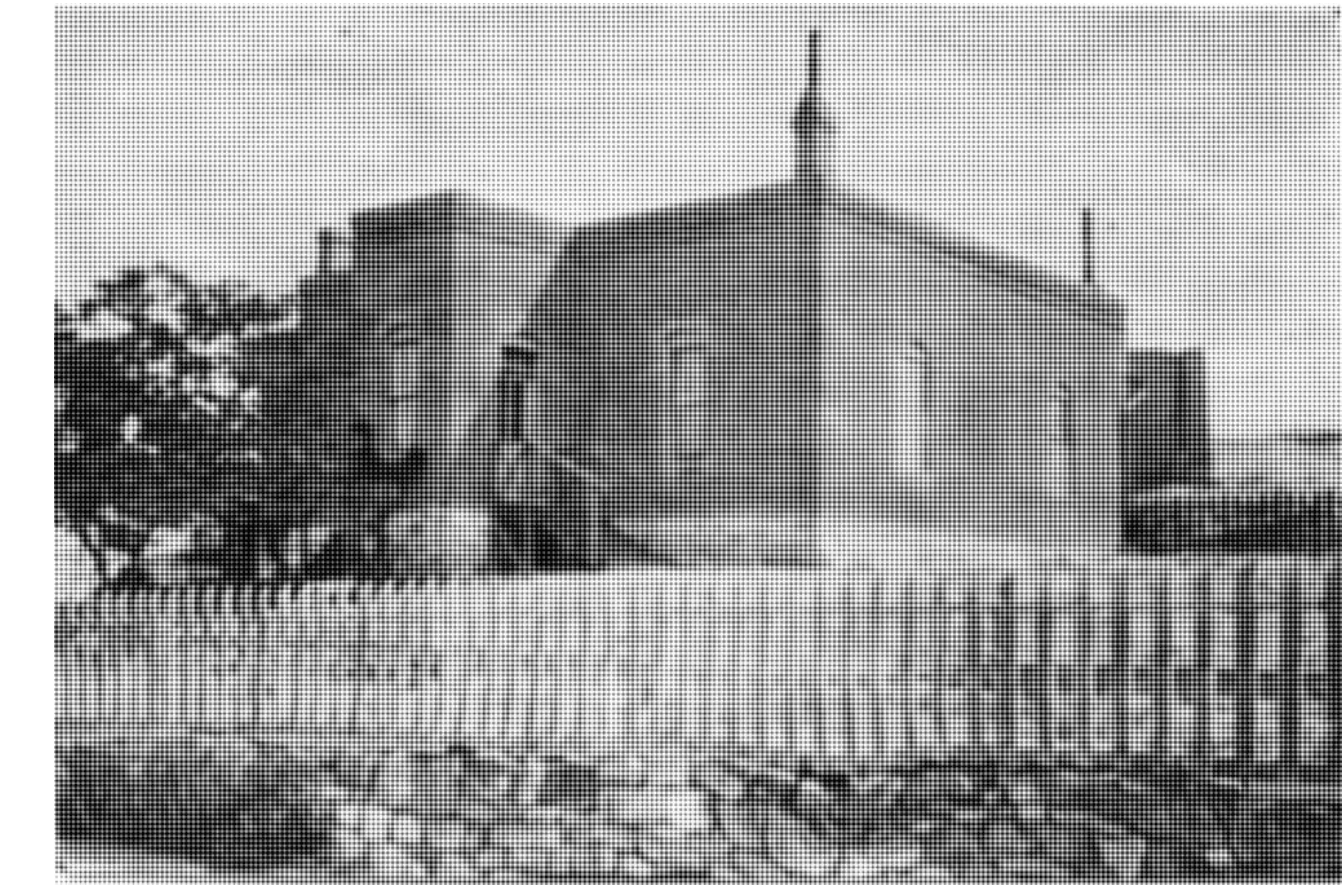
If you have any questions, please do not hesitate to reach out.

Respectfully,

Joel Cruz-Haber
 Senior Planner
 City of Santa Fe

515 Paseo de Peralta : Code Analysis			
Code Data			
Jurisdiction: City of Santa Fe			
Address: 515 Paseo de Peralta, Santa Fe, NM 87501			
UPC Number: 1054099367293000000			
Parcel ID Number: 10644352			
Zoning: R-21			
Historic District: Historic Downtown Archaeological Review District Downtown and Eastside Historic District			
Historic Building Status: Significant			
Neighborhood: Fort Marcy Heights			
Climate Zone: 5B			
Land Classification: N			
Occupancy: R-3 Primary Residence			
Construction Type (IBC Table 601): V-B			
Scope of Work			
Renovation of historic brick house; construction of two-story addition to the North facade of the existing House.			
Project / Building Information			
Site Area: 15,942 sf / 0.344 acre			
Density: 21 per acre / 7 units allowed			
Building Footprint:			
	Footprint	Lot Coverage	
Historic Building	2,776 sf	17%	
Proposed Total	4,606 sf	29%	
(renovation + addition)			
Max. Lot Coverage	6,377 sf	40% R-21	
Max. Lot Coverage	8,768 sf	55% R-21 w/ required open space	
Building Areas (areas within surrounding exterior walls):			
Addition Total	3,470 sf		
Living Space	1,792 sf		
ADU	504 sf		
Garage	464 sf		
Art Studio	710 sf		
Historic Renovation	1,560 sf		
Proposed Total	5,030 sf		
(renovation + addition)			
Net Addition Area	2,254 sf	81%	
Compared to Building's Historic Footprint			
Setbacks / Fire Separation Distance:			
	R-21	Minimum	Ext. Wall Fire
	Yard	Proposed	Resistance (IBC 705.5)
Front / South (Paseo)	7'	27'-8"	0-HR
Front / East (Loma)	7'	7'-2"	1-HR
Side / North	5'	5'-3 1/2"	1-HR
Side / West	10'	10'-4"	0-HR
* Zoning minimum 5' / site minimum 10' due to lot line agreement with adjacent property			
Number of Stories above Grade: 1			
Building Height:			
Maximum (R-21)	24'-0"		
Maximum (Historic Calc.)	23'-0"		
Sloped Site Increase	+4'-0"		
Proposed	24'-0"		
Administrative deviation of 12' requested per conversations with Dan Esquibel and Heather Lamboy, see Planning Feedback on G100h.			
Parking (Table 14-8.6-1)			
Minimum (R-21)	2 parking spaces per detached dwelling unit		
Proposed	3 parking spaces (2 garage / 1 site)		
Required Construction Codes			
• 2021 New Mexico Residential Building Code (2021 IRC as amended by NM)			
• 2025 City of Santa Fe Green Building Code			
• 2021 New Mexico Existing Building Code			
• 2021 New Mexico Energy Conservation Code			
• 2017 ICC A117.1-2009 Accessible and Usable Buildings and Facilities			
• 2021 New Mexico Plumbing Code / 2021 Uniform Plumbing Code and City of Santa Fe UPC amendments			
• 2021 New Mexico Mechanical Code / 2021 Uniform Mechanical Code			
• 2020 New Mexico Electrical Code / 2021 National Electrical Code			
• 2012 National Electrical Safety Code			
• 2021 New Mexico Earthen Building Materials Code			
• 2021 International Fire Code and City of Santa Fe IFC amendments			
• 2012 NM Solar Energy Code			
• New Mexico Administrative Code (NMAC): 14.5.1 General Provisions ; 14.5.2 Permits ; 14.5.3 Inspections			

IBC Chapter 5: General Building Heights and Areas		
Construction Type	V-B	Table 601
Fire protection:	Not Sprinklered (NS)	
Occupancy	R-3	
Mixed occupancy / Nonseparated		
Allowable height above grade:	40' (NS)	Table 504.3
Allowable stories above grade:	3	Table 504.4
Allowable Area Factor, A_t:	UL	Table 506.2
Allowable Nonsprinklered Area Factor, NS:	UL	



515 Paseo de Peralta, 1915

515 Paseo de Peralta HDRB Design Review

PROJECT DIRECTORY

CLIENT
 Georges & Tina Feghali
 310 Otero Street
 Santa Fe, NM 87501
 Contact: Georges Feghali
 email: gmfeghali@gmail.com

ARCHITECTS
 DNCA, LLC
 924-A Shoofly St.
 Santa Fe, NM 87505
 ph: 505-255-4033
 Contact: Devendra N Contractor
 email: devendra@dncarchitect.com
 mobile: 505-263-3602
 Contact: Rebecca Wood
 email: rebecca@dncarchitect.com

STRUCTURAL ENGINEERS
 Luchini Trujillo Structural Engineers
 2019 Galisteo Street
 Suite D2
 Santa Fe, NM 87505
 ph: 505-424-3232
 Contact: Eric Trujillo
 email: eric@tseng.com
 Contact: Jeremy Starr
 email: jeremy@tseng.com

PROJECT DESCRIPTION

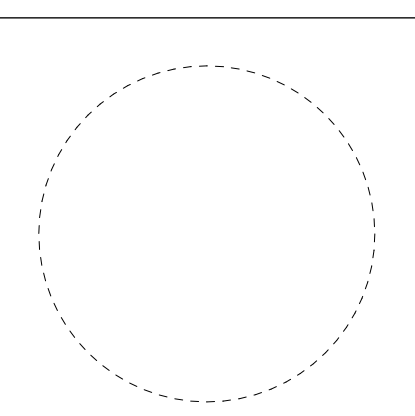
The project consists of the proposed renovation and restoration of a historic late-nineteenth century brick house and addition to the North side of the existing building. The interior renovation of the original 1,560 SF house will return it to single-family residential use, provide ADA accessibility, and stabilize the structure. The proposed two-story 3,470 sf addition will be partly buried in the sloped site behind the existing house and will provide living space, garage, and guest suite.

PROJECT HISTORY

5/27/2025 **Information Session**
 8/12/2025 **Historic Status Review**
 9/9/2025 **Information Session**
 10/28/2025 **Demolition Review**
 4/14/2026 **Design Review**

DRAWING DIRECTORY

Page	Label	Sheet Name
1	G100h	Cover Sheet
2	Plat	Legal Lot of Record
3	ASD101(E)	Existing Site Plan
4	ASD102	Demo Site Plan
5	AS101h	Proposed Site Plan
6	A101(E)	Existing Ground Floor Plan
7	A102(E)	Existing Roof Plan
8	A101h	Proposed Ground Floor Plan
9	A102h	Proposed Upper Floor Plan
10	A103h	Proposed Roof Plan
11	A200h	South Elevations
12	A201h	South Elevations
13	A202h	West Elevations
14	A203h	North Elevations
15	A204h	North Elevations
16	A205h	East Elevations
17	A300h	Building Sections
18	A500h	Exterior Window & Door Schedule
19	DSK-1	Proposed Exterior Materials
20	DSK-2	Proposed Site Walls



Consultant

dnc architects
 924-A Shoofly Street Santa Fe, NM 87505
 ph (505)255-4033

**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date	Plot Date
March 16, 2026	
Drawn by	Checked by

File
 Set
 Historic Design Review
 Sheet Title
Cover Sheet

G100h

Sheet of

LOT LINE ADJUSTMENT SURVEY FOR

GEORGES M. & VALENTINE T. FEGHALI

PARCEL A & TRACT B-1 LYING & BEING SITUATE WITHIN THE SANTA FE GRANT, PROJECTED SEC. 24, T 17 N, R 9 E, N.M.P.M., CITY AND COUNTY OF SANTA FE, NEW MEXICO

THE PURPOSE OF THIS PLAT IS TO ADJUST THE BOUNDARY BETWEEN PARCEL A & TRACT B-1 AND VACATE THE PRIVATE INGRESS/EGRESS & UTILITY EASEMENT BETWEEN THE TWO PROPERTIES.

CITY OF SANTA FE NOTES & CONDITIONS

- 1. a) PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS. b) BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME OF BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS. 2. PROPERTY LIES WITHIN THE ARCHEOLOGICAL REVIEW DISTRICT, HISTORIC OVERLAY DISTRICT. 3. THIS PROPERTY LIES WITHIN FEMA FLOOD ZONE X, AREAS OF MINIMAL FLOOD HAZARD, FIRM PANEL #35049C0408E, EFF. 12/4/2012. THIS STATEMENT DOES NOT GUARANTEE THAT SUBJECT PROPERTY WILL BE FREE FROM FLOODING OR FLOOD RELATED DAMAGES.

CITY OF SANTA FE

COUNTY OF SANTA FE

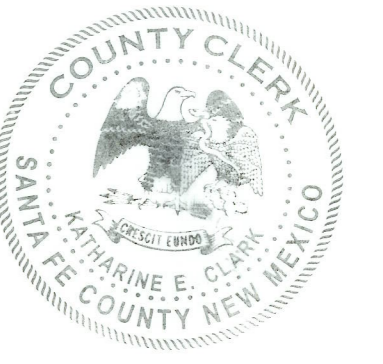
CASE No.: 2025-10587

REVIEWED:

City Planner signature and date 10/21/25

City Engineer signature and date 10/21/25

Santa Fe County Treasurer signature and date 10/16/25



INSTRUMENT No. 2069872

COUNTY OF SANTA FE STATE OF NEW MEXICO I hereby certify that this instrument was filed for record on the 23rd day of October A.D. 2025, at 8:57 o'clock a.m., and was duly recorded in Book 929, Page 9 of the records of Santa Fe County.

Witness my Hand and Seal of Office KATHARINE E. CLARK County Clerk, Santa Fe County, New Mexico Deputy signature

INDEXING INFORMATION FOR COUNTY CLERK LOT LINE ADJUSTMENT SURVEY OWNER: GEORGES & VALENTINE FEGHALI LOCATION: 515 PASEO DE PERALTA (PARCEL A) PROJECTED SEC. 24, T 17 N, R 9 E, N.M.P.M. CITY AND COUNTY OF SANTA FE, NEW MEXICO Lying & Situate within the Santa Fe Grant Proj. Sec. 24, T 17 N, R 9 E, N.M.P.M. City and County of Santa Fe, New Mexico

DEL RIO SURVEYS, INC. P.O. BOX 22773, SANTA FE, NM. 87502 PH: 505-820-9200 Project No. 25040217 Dwg. MW Date 4/8/25 CHK. PW REV: 5

AFFIDAVIT THE FOREGOING SURVEY AND LOT LINE ADJUSTMENT WERE MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S). EASEMENT(S) ARE HEREBY GRANTED & VACATED AS DEPICTED HEREON, WHERE LABELED "CREATED" OR "VACATED THIS INSTRUMENT" ONLY. SUBJECT PROPERTIES LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE.

WE, VALENTINE TINA FEGHALI AND GEORGES M. FEGHALI, BEING DULY SWORN, DO HEREBY DEPOSE AND SAY OF PERSONAL KNOWLEDGE AS FOLLOWS:

- 1. WE JOINTLY OWN BOTH PROPERTIES, 310 OTERO STREET AND 515 PASEO DE PERALTA. 2. NEITHER OF THE PROPERTIES IS LAND LOCKED OR IN NEED OF THE CURRENT EASEMENT FOR INGRESS/EGRESS & UTILITIES. 3. WE THEREFORE WISH TO VACATE THE EASEMENT CREATED ON PLAT BOOK 481, PAGE 027, RECORDS OF SANTA FE COUNTY, BETWEEN THE TWO PROPERTIES.

PUBLIC UTILITY EASEMENT NOTES: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED/VACATED FOR COMMON AND JOINT USE OF: 1. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE. 2. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS. 3. QWEST CORPORATION d/b/a CenturyLink QC FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES. 4. CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE. LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTEE FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POLES, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER: IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGCO) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

Georges M. Feghali 10/16/2025 GEORGES M. FEGHALI DATE

Valentine T. Feghali 10/16/25 VALENTINE T. FEGHALI DATE

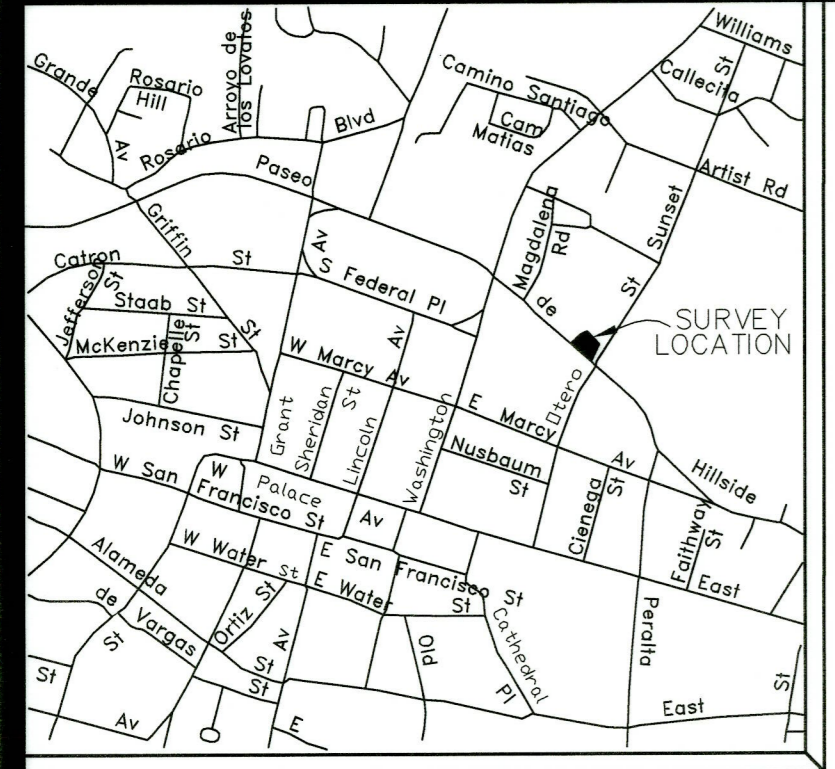
STATE OF NEW MEXICO SS COUNTY OF SANTA FE THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16 DAY OF October, 2025.

BY: GEORGES M. FEGHALI

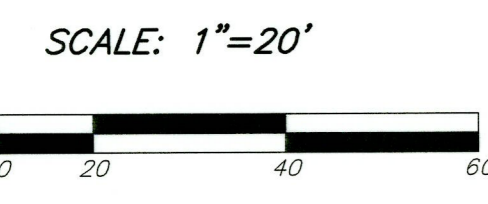
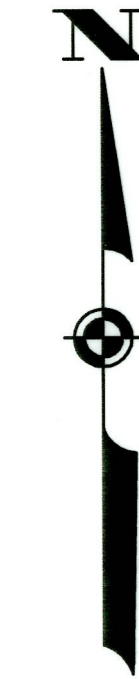
BY: VALENTINE T. FEGHALI

Notary Public signature and commission expires 04/01/2026

UTILITY APPROVALS: City of Santa Fe Wastewater, Comcast/Infinity, PNM Electric Services, City of Santa Fe Water, New Mexico Gas Company, Qwest Corporation. Includes signatures and dates for each utility approval.



VICINITY MAP



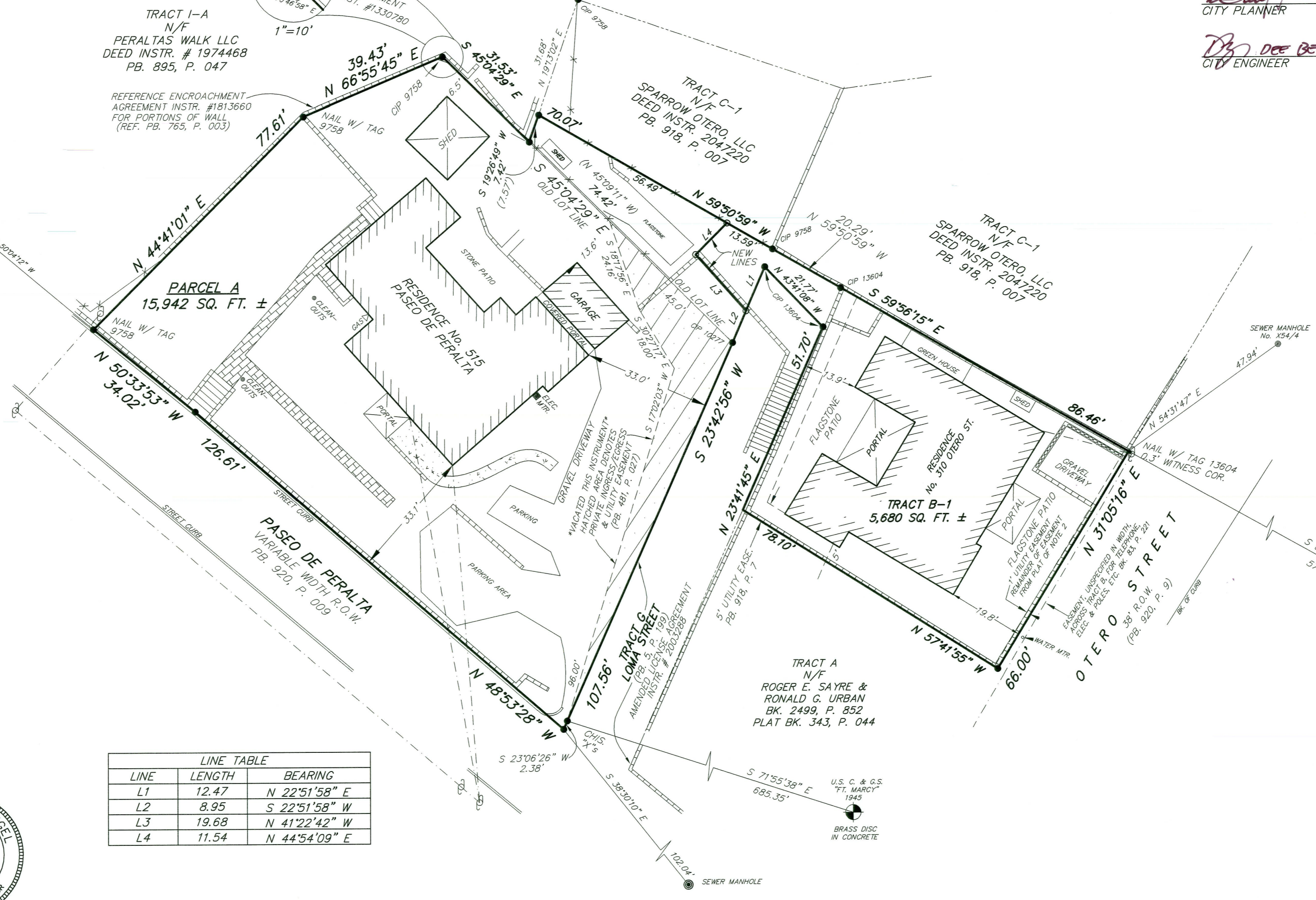
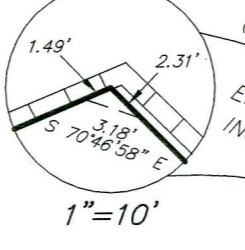
LEGEND

- USGLO Brass Caps found and used. Points found and used as noted. 1/2" Capped iron pin set this survey. Utility pole w/ overhead utility lines. Fences. Walls. Concrete. Utility pedestal.

NOTES

- 1. BASIS OF BEARINGS: GPS OBSERVATION OF FOUND MONUMENTS ALONG THE NORTH BOUNDARY OF PARCEL A, S 45°04'29" E, NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID. DISTANCES ARE GROUND. 2. THIS SURVEY IS BASED ON A "LOT CONSOLIDATION & LOT LINE ADJUSTMENT SURVEY..." BY PHILIP B. WIEGEL, NMPS 9758, DATED 8/9/24, FILED AS PLAT BOOK 918, PAGE 007, RECORDS OF SANTA FE COUNTY, NEW MEXICO. BEARINGS IN DISTANCES IN () ARE FROM SAID PLAT WHERE DIFFERING FROM RECORD DIMENSIONS. SAID PLAT IS LEGAL LOT OF RECORD FOR TRACT B-1. 3. THIS SURVEY IS ALSO BASED ON A "PLAT OF BOUNDARY SURVEY FOR GEORGES FEGHALI..." BY MICHAEL V. WIEGEL, NMPS 30274, DATED 1/11/25, FILED AS PLAT BOOK 920, PAGE 009, RECORDS OF SANTA FE COUNTY, NEW MEXICO. BEARINGS IN DISTANCES IN [] ARE FROM SAID PLAT WHERE DIFFERING FROM RECORD DIMENSIONS. 4. REFERENCE ALSO A "LOT LINE ADJUSTMENT OF PARCEL A AND TRACT I FOR DORATHEA A. GABEL", BY RICHARD A. MORRIS, NMPS 10277, DATED 8/3/2001, FILED AS PLAT BOOK 481, PAGE 027, RECORDS OF SANTA FE COUNTY, NEW MEXICO. SAID PLAT IS LEGAL LOT OF RECORD FOR PARCEL A. 5. REFERENCE DEED INSTRUMENT # 1819704, RECORDS OF SANTA FE COUNTY, NEW MEXICO, FOR TRACT B-1. 6. REFERENCE DEED INSTRUMENT # 2051138, RECORDS OF SANTA FE COUNTY, NEW MEXICO, FOR PARCEL A.

DETAIL AREA



LINE TABLE with columns: LINE, LENGTH, BEARING. Rows L1 through L4.

CERTIFICATE

I, Michael V. Wiegel, a duly licensed Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

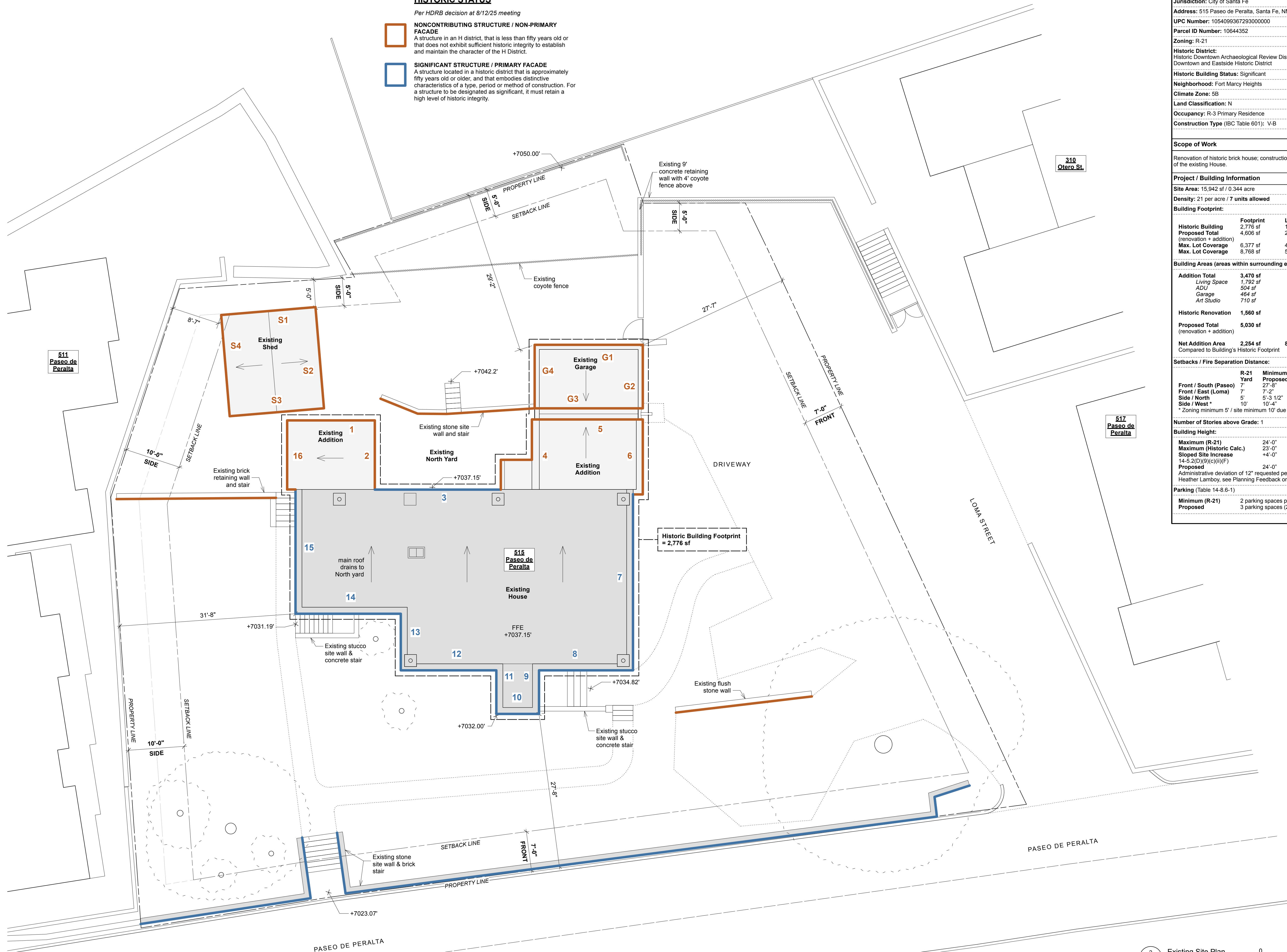
Michael V. Wiegel signature, DATE OF FIELD WORK 8 APRIL 2025, P.S. No. 30274, Santa Fe, NM.




HISTORIC STATUS

Per HDRB decision at 8/12/25 meeting

- NONCONTRIBUTING STRUCTURE / NON-PRIMARY FACADE**
A structure in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.
- SIGNIFICANT STRUCTURE / PRIMARY FACADE**
A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity.



515 Paseo de Peralta : Code Analysis				
Code Data				
Jurisdiction: City of Santa Fe				
Address: 515 Paseo de Peralta, Santa Fe, NM 87501				
UPC Number: 1054099367293000000				
Parcel ID Number: 10644352				
Zoning: R-21				
Historic District: Historic Downtown Archaeological Review District Downtown and Eastside Historic District				
Historic Building Status: Significant				
Neighborhood: Fort Marcy Heights				
Climate Zone: SB				
Land Classification: N				
Occupancy: R-3 Primary Residence				
Construction Type (IBC Table 601): V-B				
Scope of Work				
Renovation of historic brick house; construction of two-story addition to the North facade of the existing House.				
Project / Building Information				
Site Area: 15,942 sf / 0.344 acre				
Density: 21 per acre / 7 units allowed				
Building Footprint:				
Historic Building	Footprint	Lot Coverage		
Proposed Total	2,776 sf	17%		
(renovation + addition)	4,606 sf	29%		
Max. Lot Coverage	6,377 sf	40% R-21		
Max. Lot Coverage	8,768 sf	55% R-21 w/ required open space		
Building Areas (areas within surrounding exterior walls):				
Addition Total	3,470 sf			
Living Space	1,792 sf			
ADU	504 sf			
Garage	464 sf			
Art Studio	710 sf			
Historic Renovation	1,560 sf			
Proposed Total	5,030 sf			
(renovation + addition)				
Net Addition Area	2,254 sf	81%		
Compared to Building's Historic Footprint				
Setbacks / Fire Separation Distance:				
	R-21	Minimum	Proposed	Ext. Wall Fire
Front / South (Paseo)	7'	27'-6"	0-HR	Resistance (IBC 705.5)
Front / East (Loma)	7'	7'-2"	1-HR	
Side / North	5'	5'-3 1/2"	1-HR	
Side / West *	10'	10'-4"	0-HR	
* Zoning minimum 5' / site minimum 10' due to lot line agreement with adjacent property				
Number of Stories above Grade: 1				
Building Height:				
Maximum (R-21)	24'-0"			
Maximum (Historic Calc.)	23'-0"			
Sloped Site Increase	+4'-0"			
14-5.2(D)(9)(C)(i)(F)				
Proposed	24'-0"			
Administrative deviation of 12" requested per conversations with Dan Esquibel and Heather Lamboy, see Planning Feedback on G100h.				
Parking (Table 14-8.6-1)				
Minimum (R-21)	2	parking spaces per detached dwelling unit		
Proposed	3	parking spaces (2 garage / 1 site)		



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Feghali Residence
Historic Renovation

515 Paseo de Peralta, Santa Fe, NM 87505

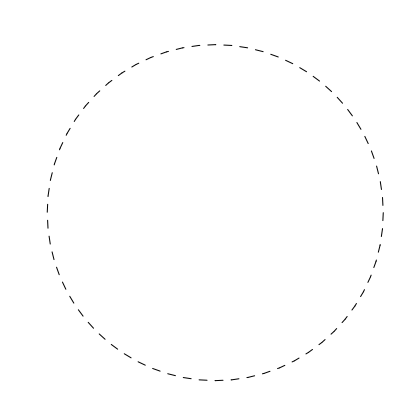
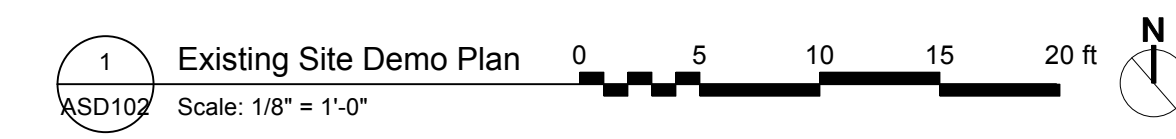
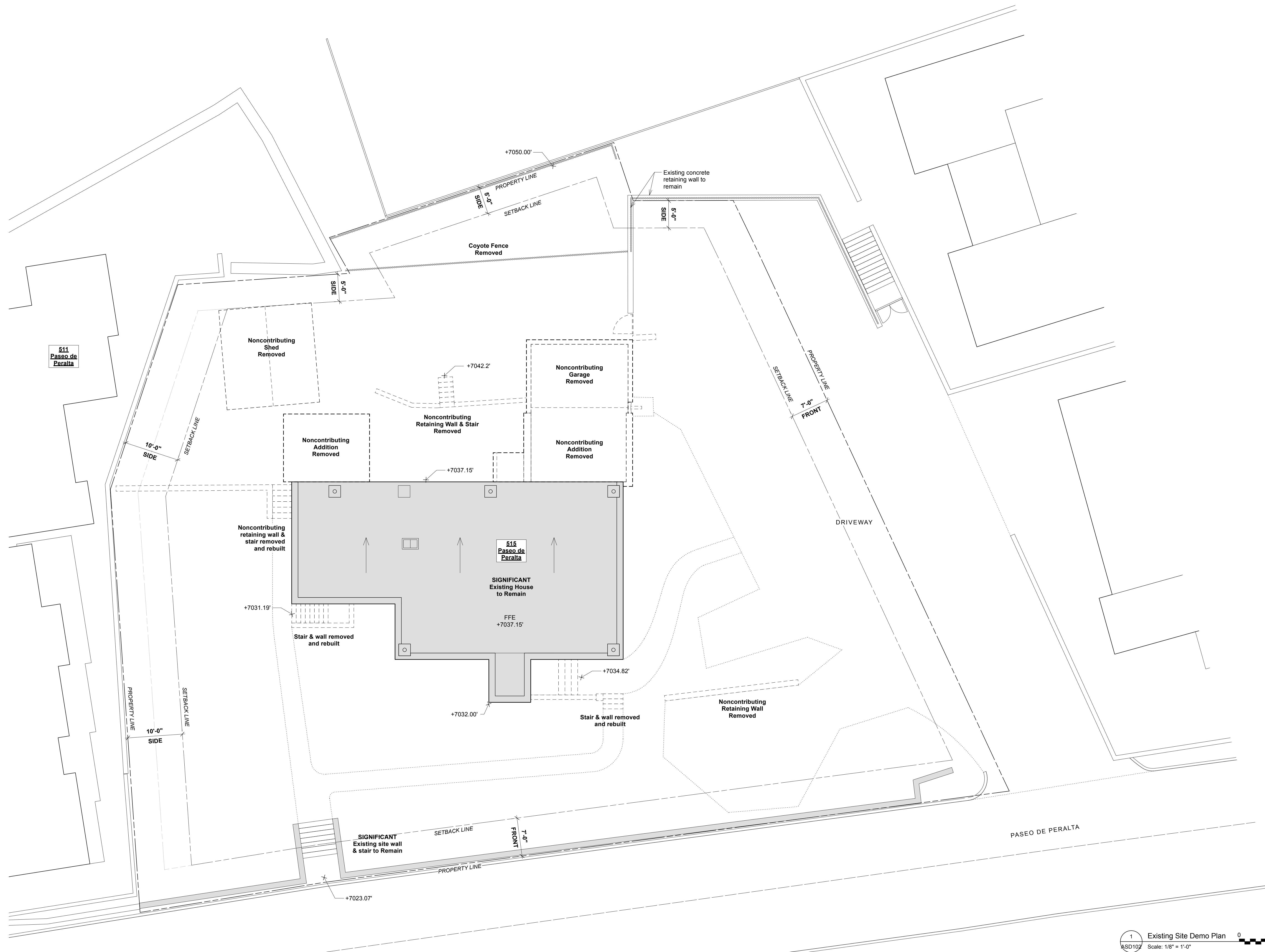
Date	Issue

Date	Plot Date
March 16, 2026	5/21/26
Drawn by	Checked by

File: 515 Peralta_A100 Plans.vwx
Set: Historic Design Review
Sheet Title: **Existing Site Plan**

ASD101(E)

Sheet _____ of _____



Consultant

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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue


Date	Plot Date
March 16, 2026	3/16/26
Drawn by	Checked by

File: 515 PdPeralta_A100 Plans.vwx
 Set: Historic Design Review
 Sheet Title: **Site Demo Plan**
ASD102
 Sheet of



Addition Total = 3,470 sf
 Living Space 1,792 sf
 ADU 504 sf
 Garage 464 sf
 Art Studio 170 sf
Net New Area = 2,254 sf
 Compared to Building's Historic Footprint = 81%

515 Paseo de Peralta : Code Analysis			
Code Data			
Jurisdiction: City of Santa Fe			
Address: 515 Paseo de Peralta, Santa Fe, NM 87501			
UPC Number: 1054099367293000000			
Parcel ID Number: 10644352			
Zoning: R-21			
Historic District: Historic Downtown Archaeological Review District Downtown and Eastside Historic District			
Historic Building Status: Significant			
Neighborhood: Fort Marcy Heights			
Climate Zone: SB			
Land Classification: N			
Occupancy: R-3 Primary Residence			
Construction Type (IBC Table 601): V-B			
Scope of Work			
Renovation of historic brick house; construction of two-story addition to the North facade of the existing house.			
Project / Building Information			
Site Area: 15,942 sf / 0.344 acre			
Density: 21 per acre / 7 units allowed			
Building Footprint:			
Historic Building	Footprint	Lot Coverage	
Proposed Total (renovation + addition)	2,776 sf	17%	
Max. Lot Coverage	4,606 sf	29%	
Max. Lot Coverage	6,377 sf	40% R-21	
Max. Lot Coverage	8,768 sf	55% R-21 w/ required open space	
Building Areas (areas within surrounding exterior walls):			
Addition Total	3,470 sf		
Living Space	1,792 sf		
ADU	504 sf		
Garage	464 sf		
Art Studio	170 sf		
Historic Renovation	1,560 sf		
Proposed Total (renovation + addition)	5,030 sf		
Net Addition Area	2,254 sf	81%	Compared to Building's Historic Footprint
Setbacks / Fire Separation Distance:			
	R-21	Minimum Proposed	Ext. Wall Fire Resistance (IBC 705.5)
Front / South (Passo)	7'	27'-6"	0-HR
Front / East (Loma)	7'	7'-2"	1-HR
Side / North	5'	5'-3 1/2"	1-HR
Side / West *	10'	10'-4"	0-HR
* Zoning minimum 5' / site minimum 10' due to lot line agreement with adjacent property			
Number of Stories above Grade: 1			
Building Height:			
Maximum (R-21)	24'-0"		
Maximum (Historic Calc.)	23'-0"		
Sloped Site Increase	+4'-0"		
14-5.2(D)(9)(C)(i)(F)			
Proposed	24'-0"		
Administrative deviation of 12" requested per conversations with Dan Esquibel and Heather Lamboy, see Planning Feedback on G100h.			
Parking (Table 14-8.6-1)			
Minimum (R-21)	2	parking spaces per detached dwelling unit	
Proposed	3	parking spaces (2 garage / 1 site)	



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Feghali Residence
Historic Renovation

515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date: March 16, 2026
Drawn by:

Plot Date: 5/21/26
Checked by:

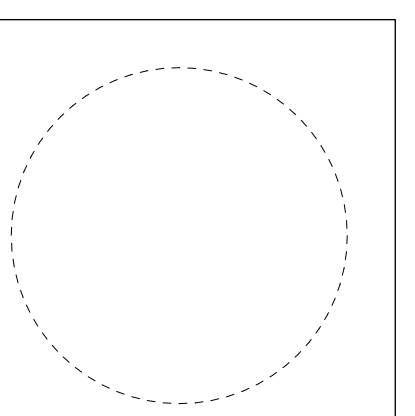
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Set: Historic Design Review
Sheet Title: **Proposed Site Plan**

AS101h

Sheet of



1 Existing Ground Floor Plan
 A101(E) Scale: 3/16" = 1'-0"

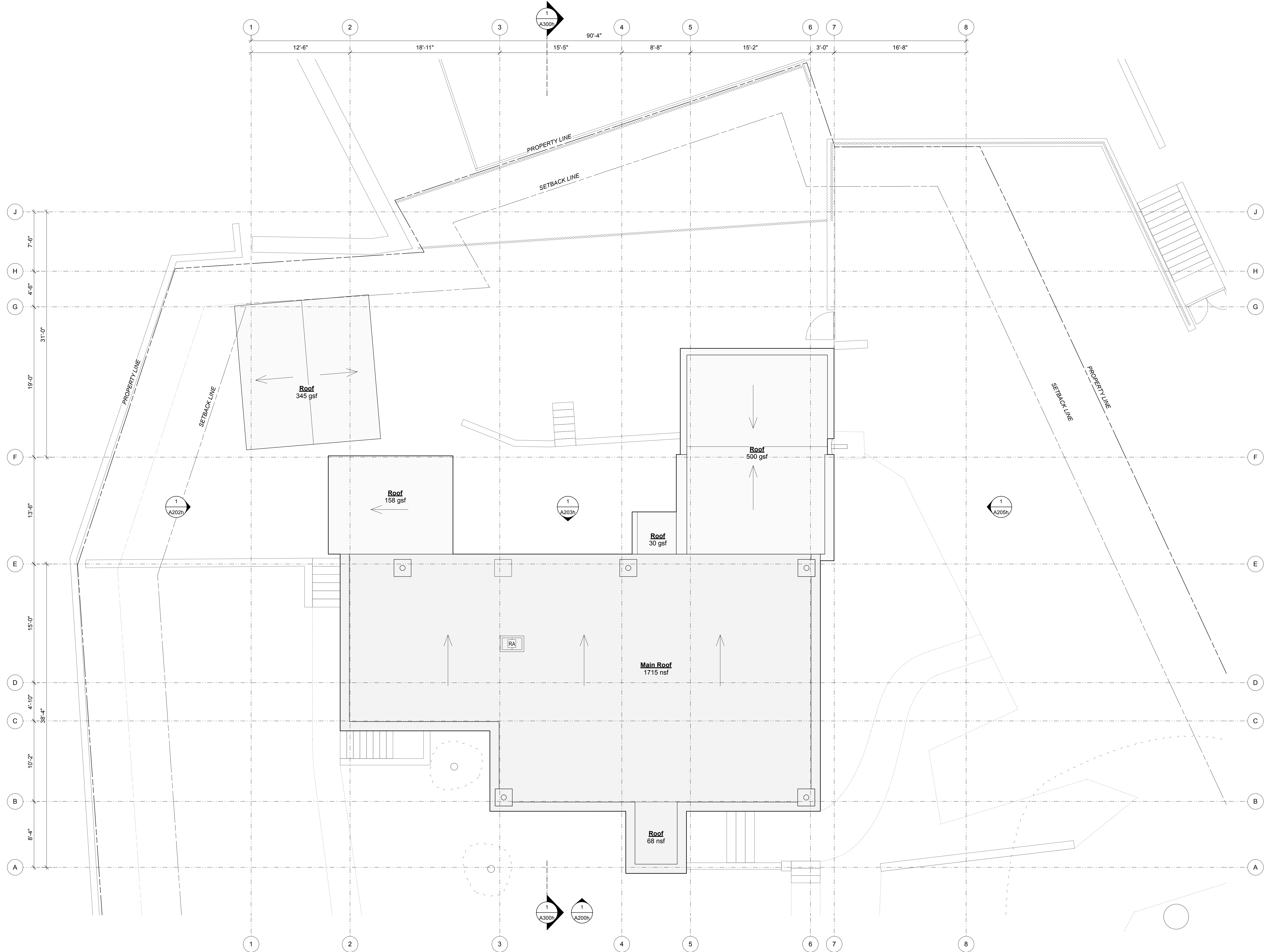


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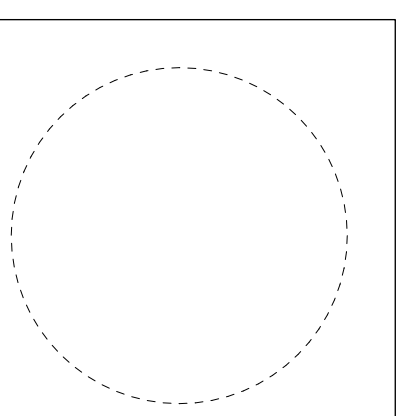
Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
March 16, 2026	

Date	Plot Date
March 16, 2026	3/16/26
Drawn by	Checked by
File: 515 PdPeralta_A100 Plans.vwx	
Set: Historic Design Review	
Sheet Title: Existing Ground Floor Plan	
A101(E)	
Sheet	of



1 Existing Roof Plan
 A102(E) Scale: 3/16" = 1'-0"



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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

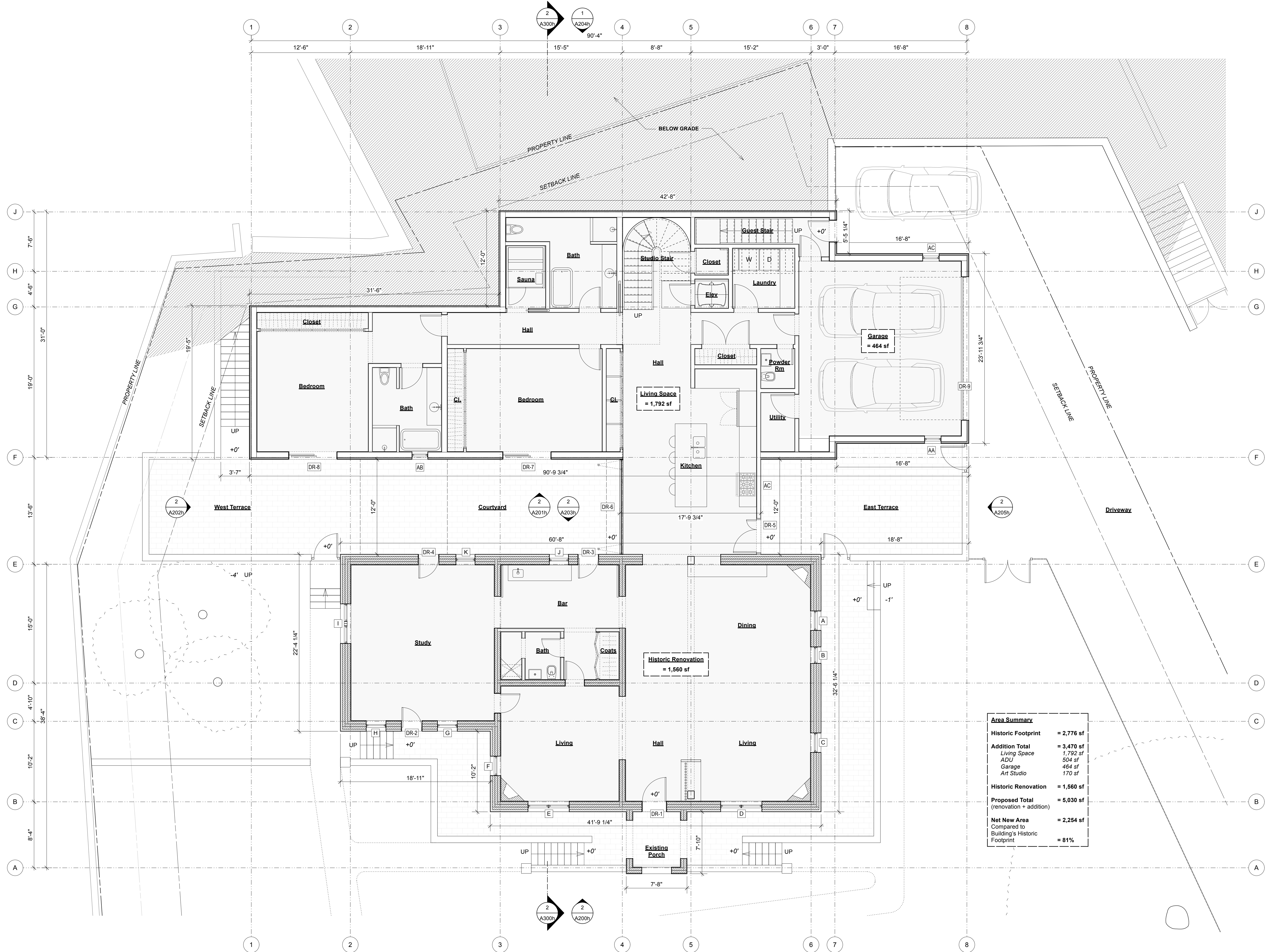
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Drawn by	Checked by

File
515 PdPeralta_A100 Plans.vwx

Set
Historic Design Review

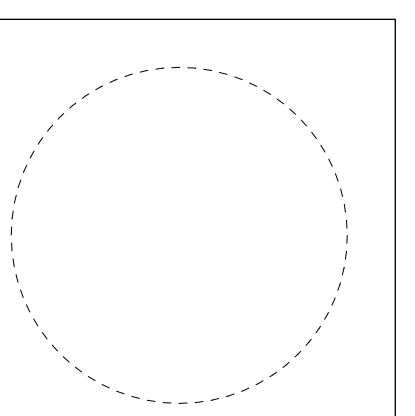
Sheet Title
Existing Roof Plan

Sheet of



Area Summary	
Historic Footprint	= 2,776 sf
Addition Total	= 3,470 sf
Living Space	1,792 sf
ADU	504 sf
Garage	464 sf
Art Studio	170 sf
Historic Renovation	= 1,560 sf
Proposed Total (renovation + addition)	= 5,030 sf
Net New Area Compared to Building's Historic Footprint	= 2,254 sf = 81%

4 Proposed Ground Floor Plan
A101h Scale: 3/16" = 1'-0"

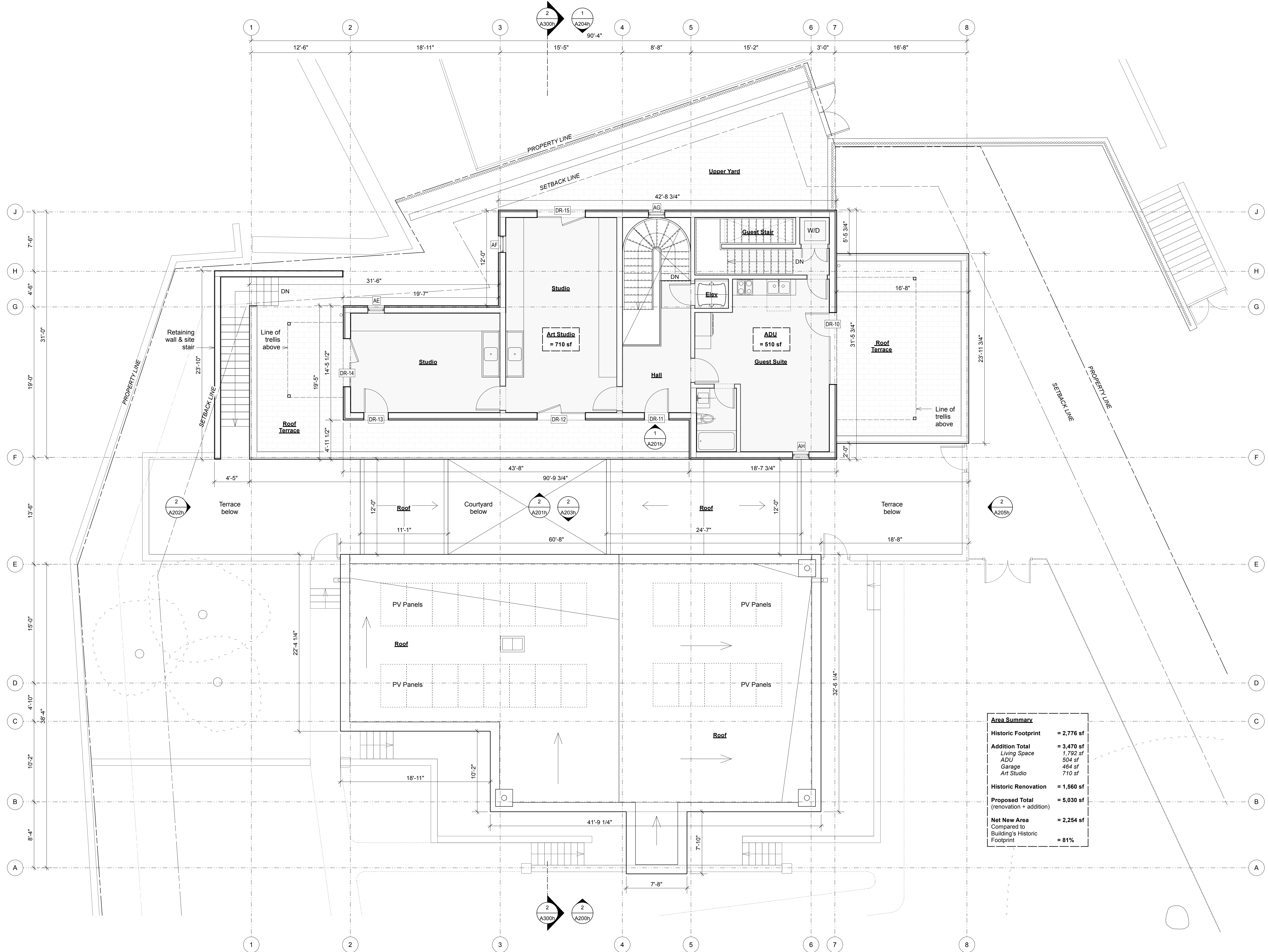


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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

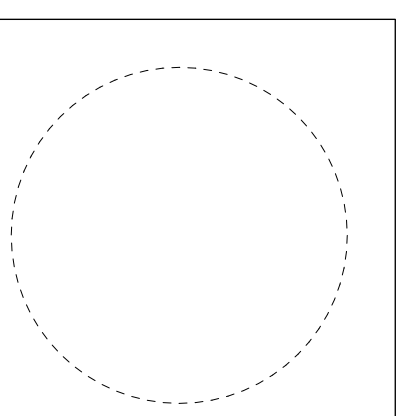
Date	Issue
March 16, 2026	5/21/26
Drawn by	Checked by

File: 515 PdPeralta_A100 Plans.vwx
Set: Historic Design Review
Sheet Title: **Proposed Ground Floor Plan**
A101h



Area Summary	
Historic Footprint	= 2,776 sf
Addition Total	= 3,470 sf
Living Space	1,792 sf
ADU	504 sf
Garage	464 sf
Art Studio	710 sf
Historic Renovation	= 1,560 sf
Proposed Total (renovation + addition)	= 5,030 sf
Net New Area Compared to Building's Historic Footprint	= 2,254 sf = 81%

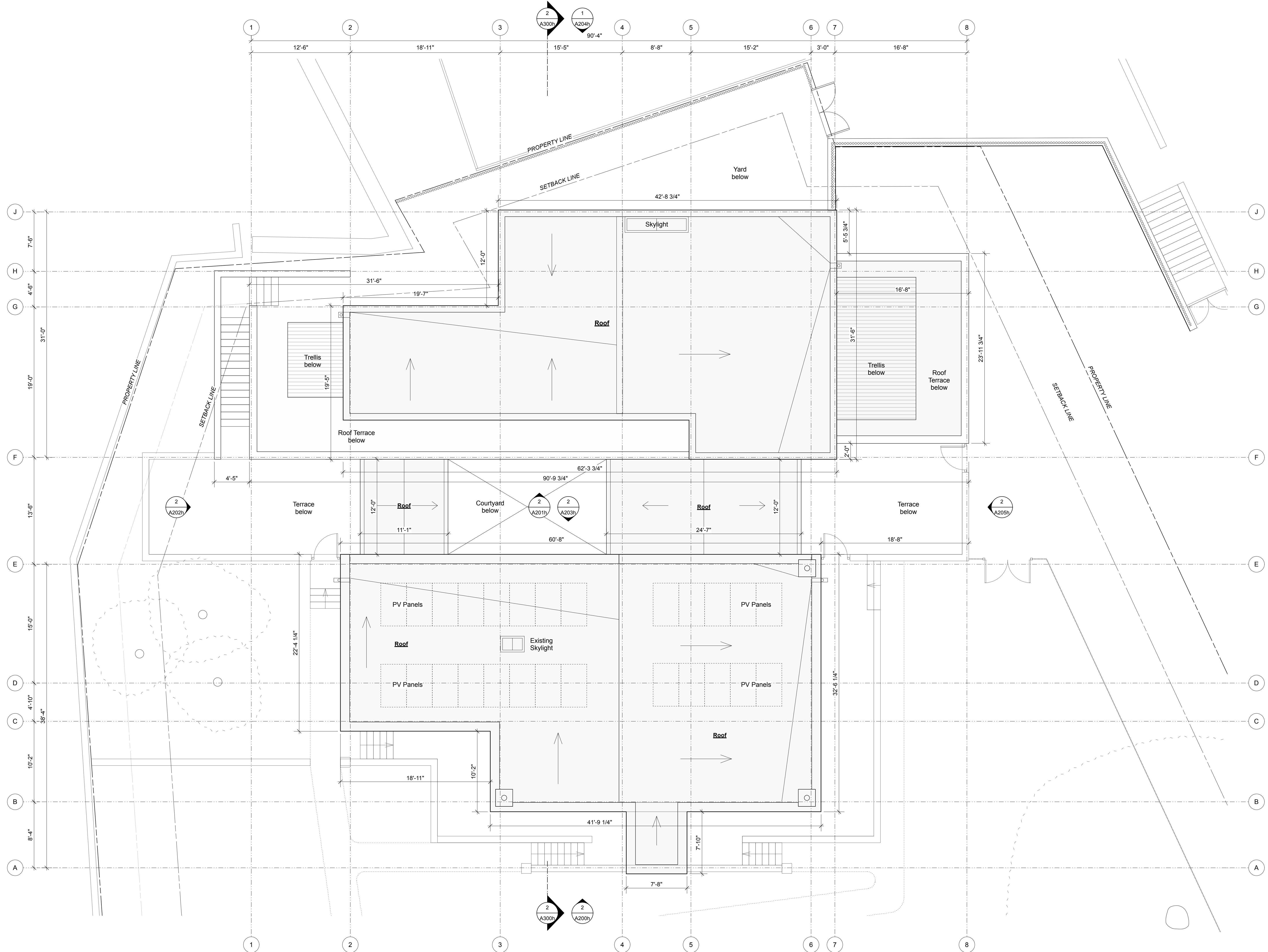
3 Proposed Upper Floor Plan
A102h Scale: 3/16" = 1'-0"



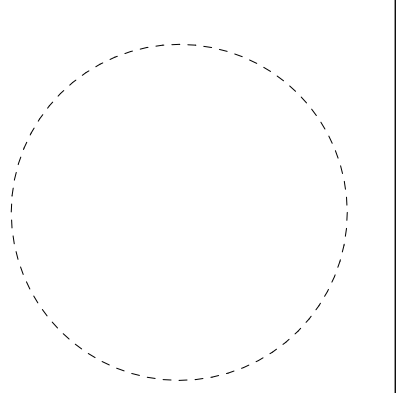
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Feghali Residence
Historic Renovation
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
March 16, 2026	5/21/26
Drawn by	Checked by
File: 515 PdPeralta_A100 Plans.vwx	
Set: Historic Design Review	
Sheet Title: Proposed Upper Floor Plan	
A102h	
Sheet	of



3 Proposed Roof Plan
A103h Scale: 3/16" = 1'-0"



Consultant

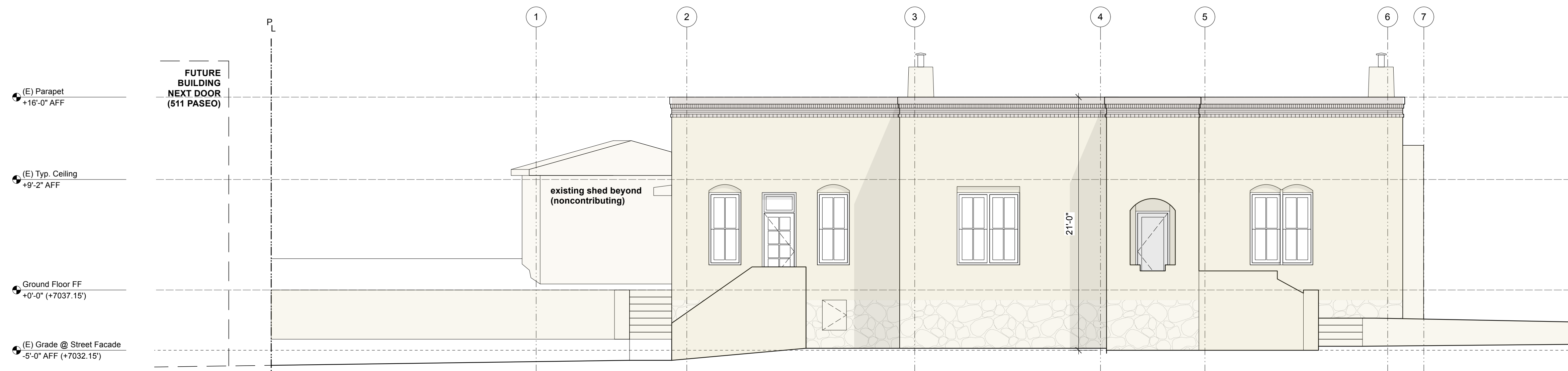
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**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

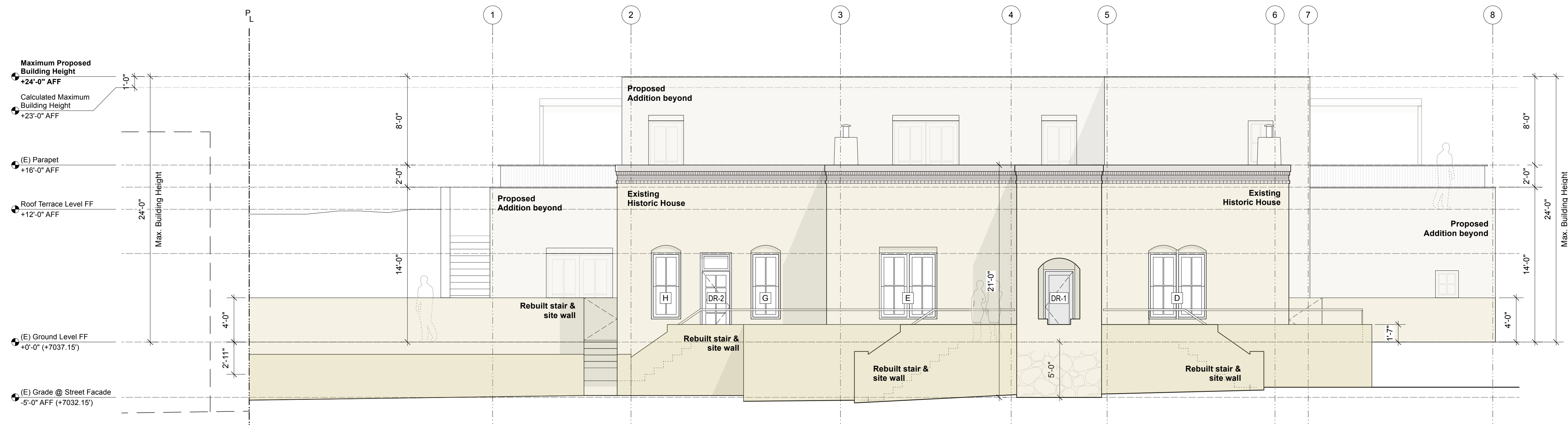
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March 16, 2026	5/19/26
Drawn by	Checked by

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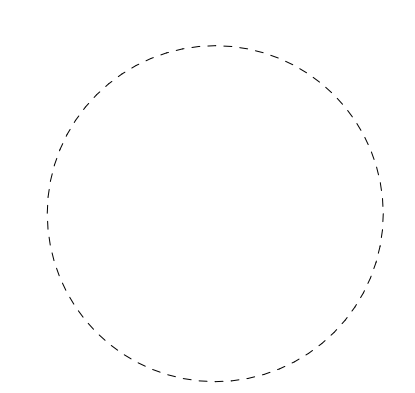
Proposed Roof Plan
A103h
Sheet of



1 Existing South Elevation
 Scale: 3/16" = 1'-0"



2 Proposed South Elevation
 Scale: 3/16" = 1'-0"

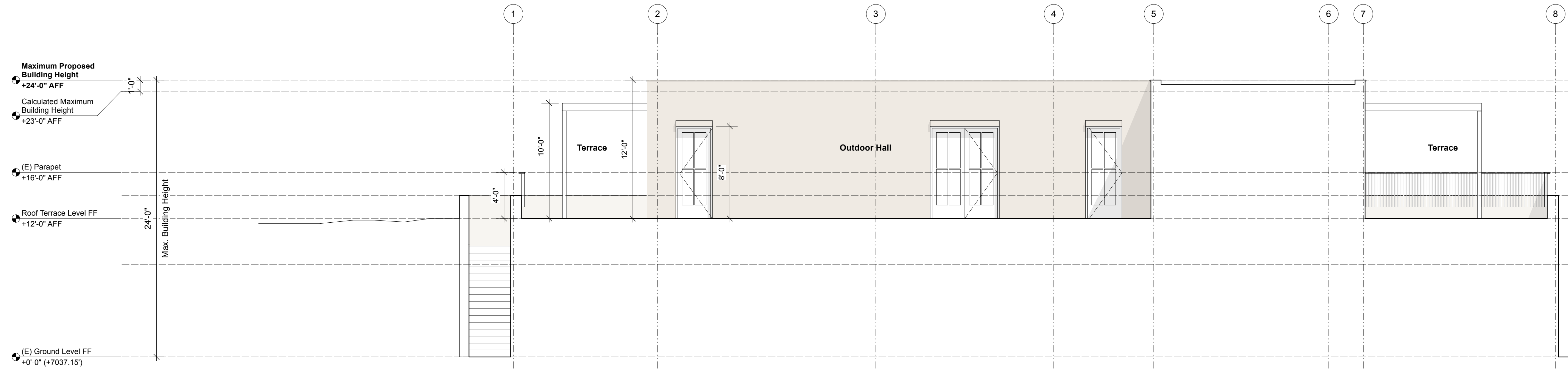


Consultant

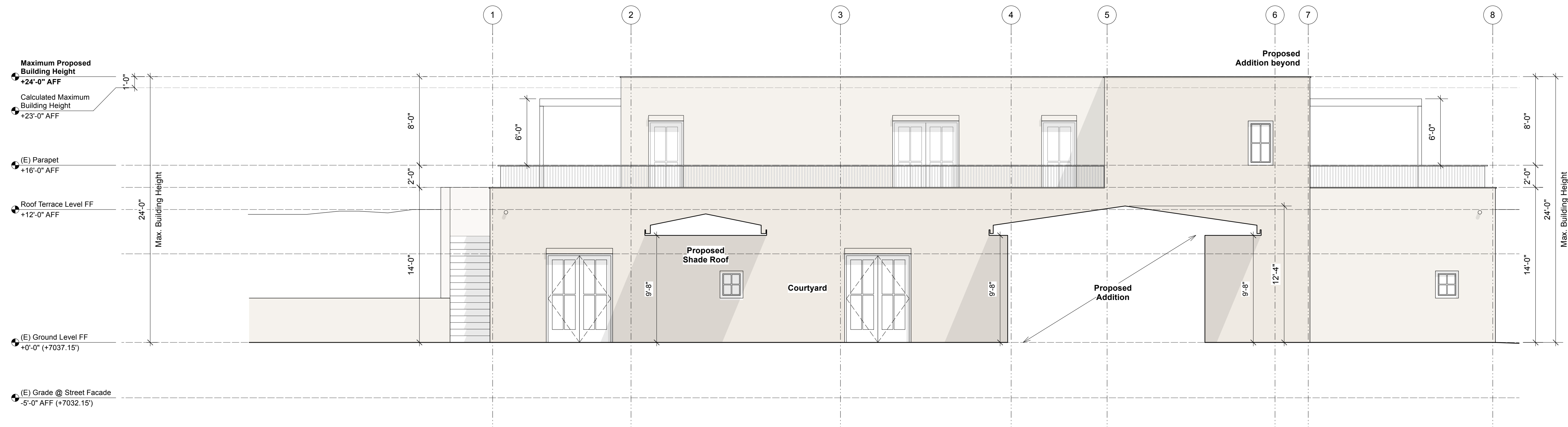
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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

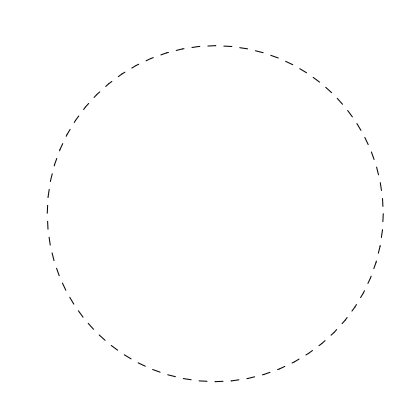
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March 16, 2026	
5/19/26	
Drawn by	Checked by
File: 515 PdPeralta_A200 Elev Sections.vwx	
Set: Historic Design Review	
Sheet Title: South Building Elevations	
A200h	
Sheet	of



1 Proposed South Elevation - Addition Hallway
 A201h Scale: 3/16" = 1'-0"



2 Proposed South Elevation - Addition
 A201h Scale: 3/16" = 1'-0"



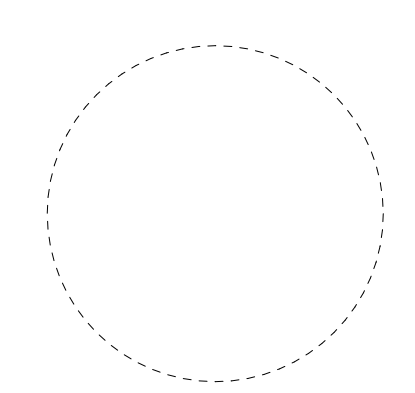
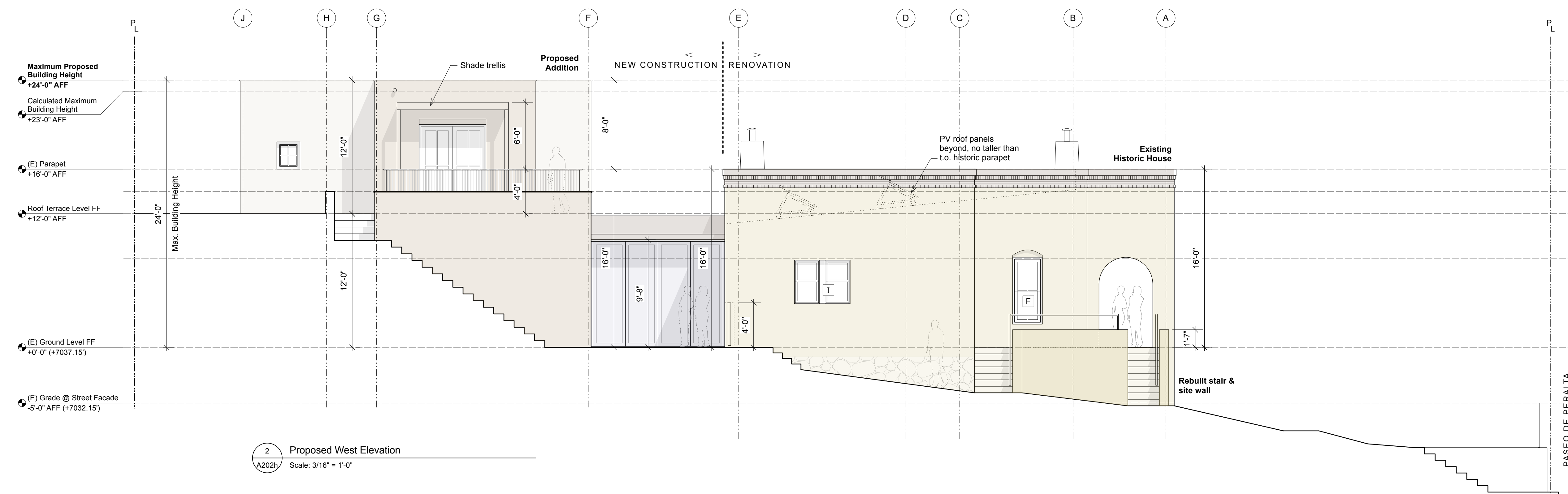
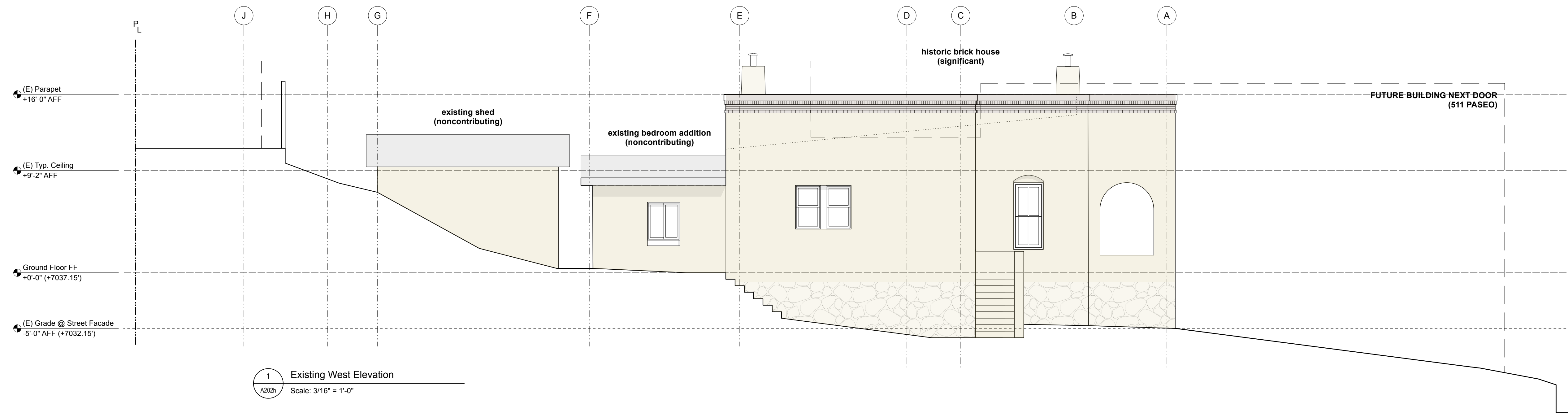
Consultant

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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 5/19/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title South Building Elevations - Addition	
A201h	
Sheet	of



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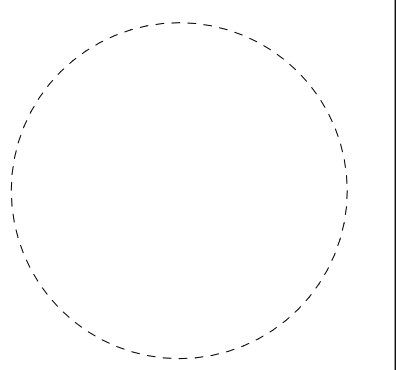
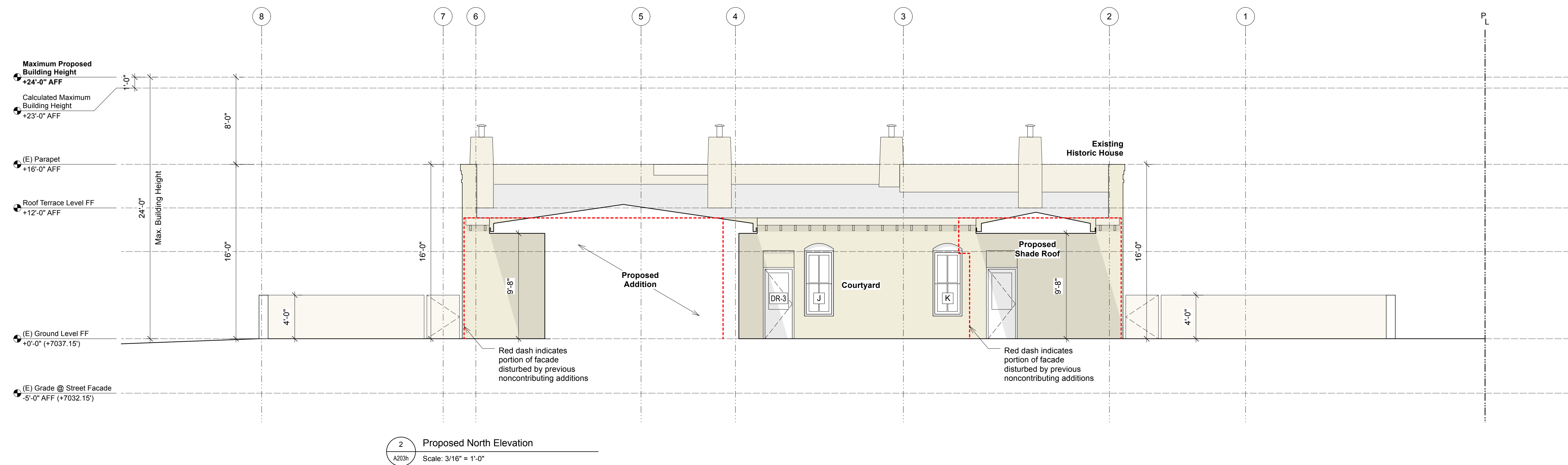
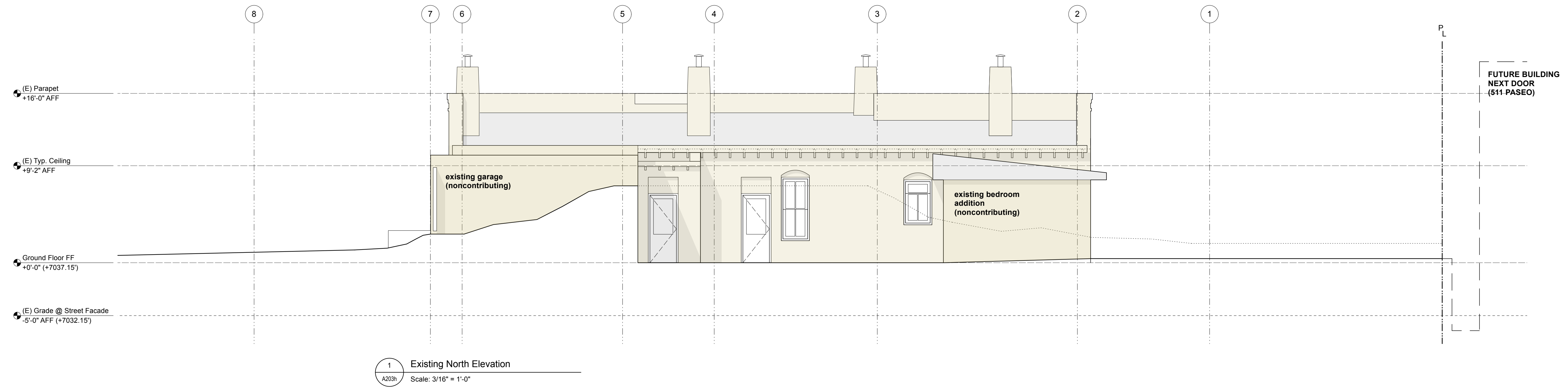
**Feghali Residence
Historic Renovation**
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 5/19/26
Drawn by	Checked by

File
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Set
Historic Design Review
Sheet Title
West Building Elevations
A202h

Sheet of

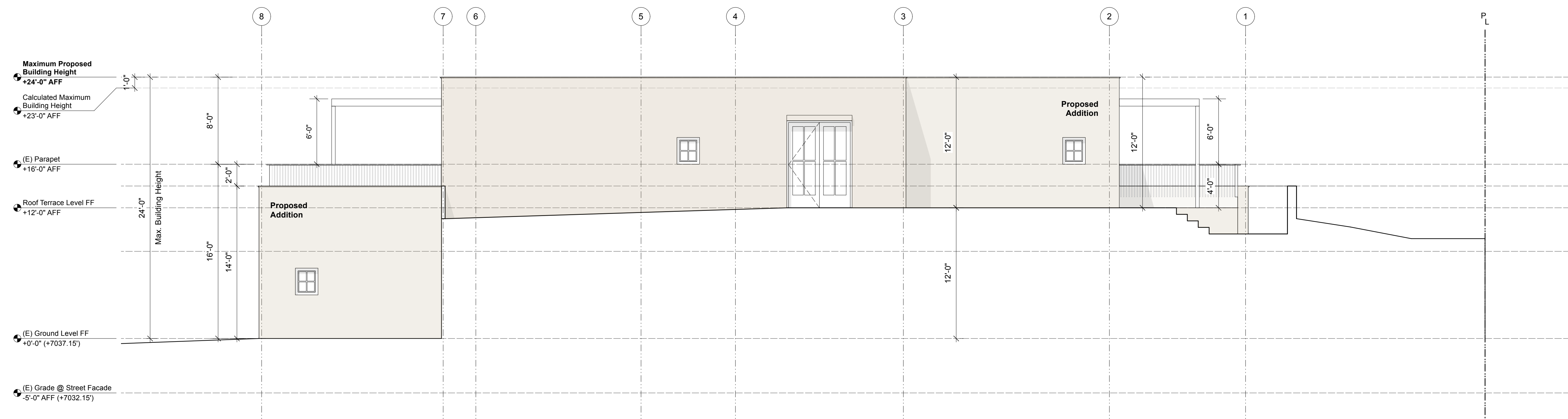


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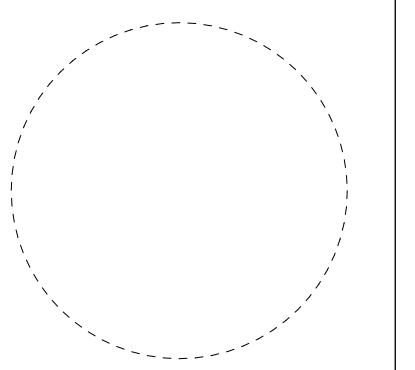
Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 3/16/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title North Building Elevations	
A203h	
Sheet	of



1 North Elevation - Addition
 A204h Scale: 3/16" = 1'-0"



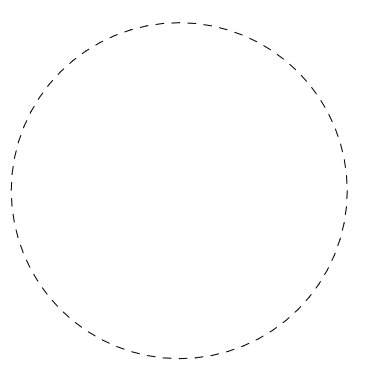
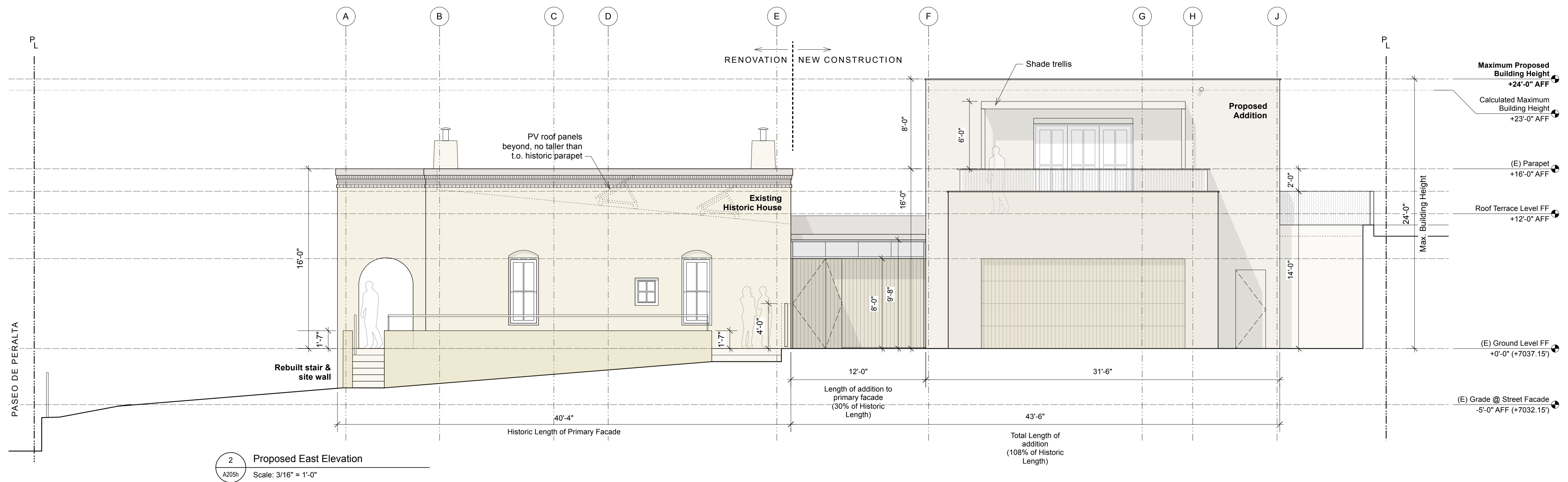
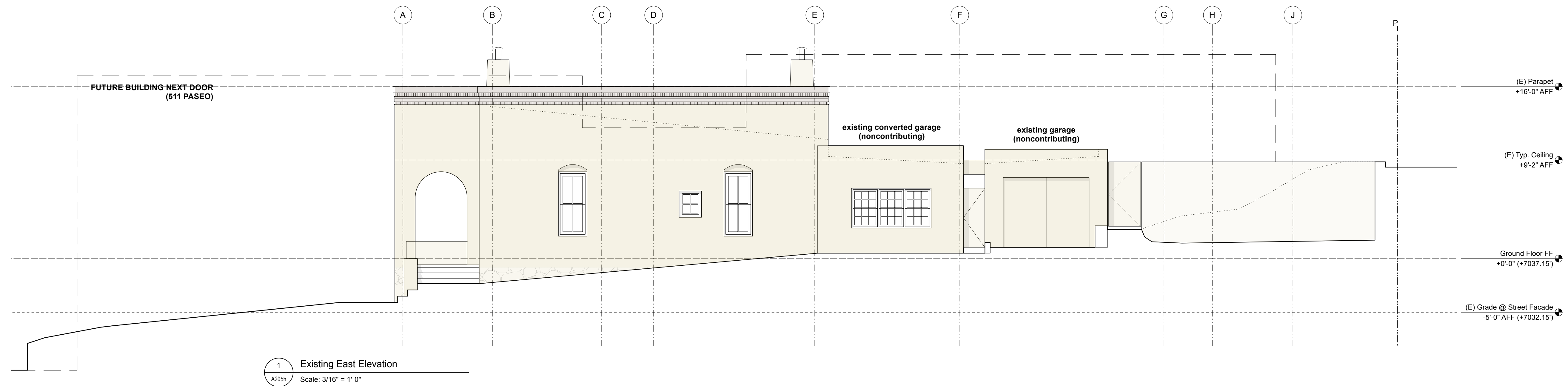
Consultant

dnca architects
 924-A Shoofly Street Santa Fe, NM 87505
 PH: (505) 255-4033

**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date 5/19/26
Drawn by	Checked by
File 515 PdPeralta_A200 Elev Sections.vwx	
Set Historic Design Review	
Sheet Title North Building Elevations - Addition	
A204h	
Sheet	of



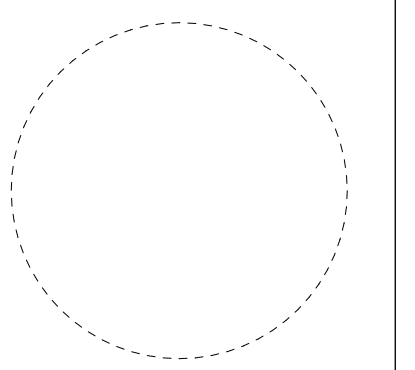
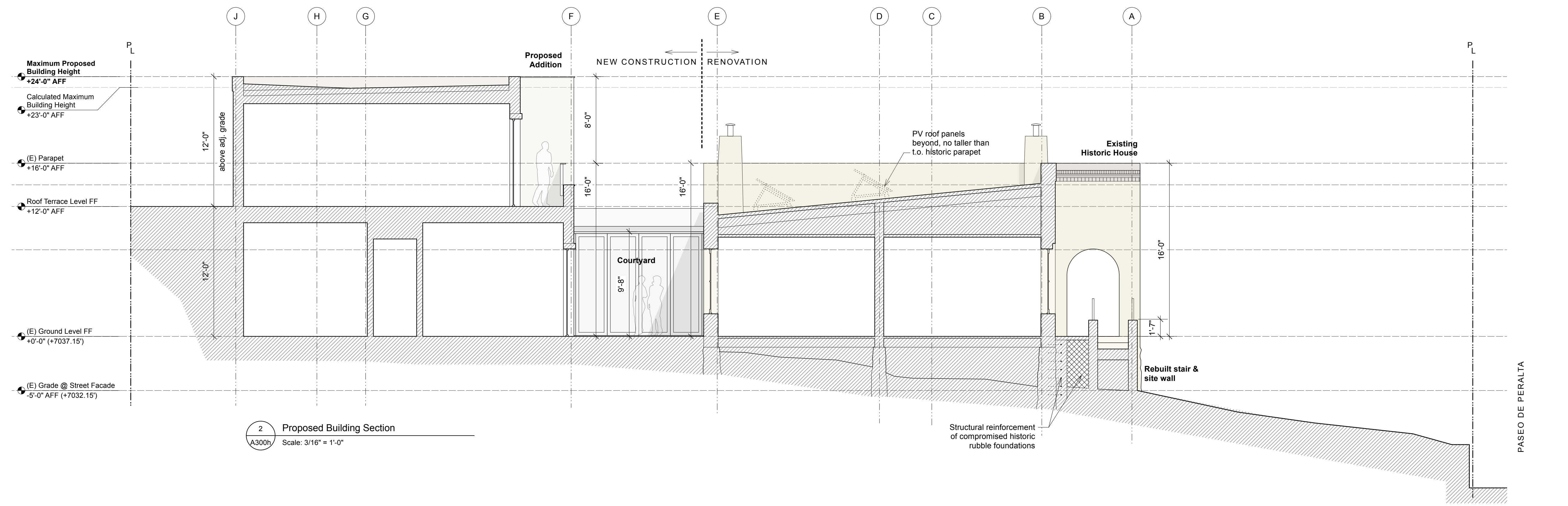
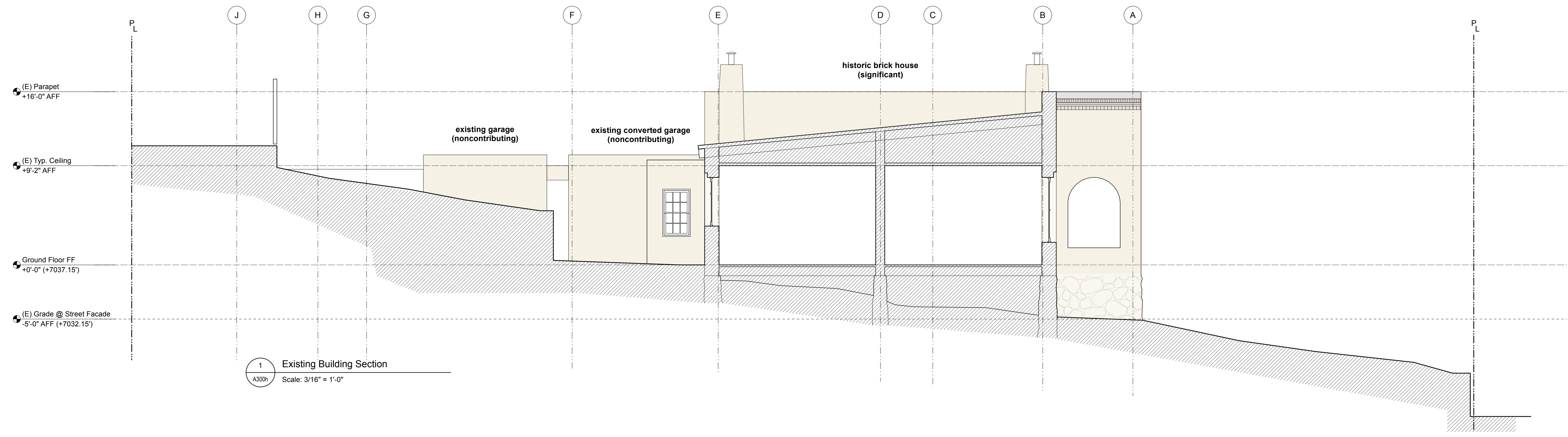
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Feghali Residence
Historic Renovation
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date	Plot Date
March 16, 2026	5/21/26
Drawn by	Checked by
File: 515 PdPeralta_A200 Elev Sections.vwx	
Set: Historic Design Review	
Sheet Title: East Building Elevations	
A205h	
Sheet	of



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**Feghali Residence
 Historic Renovation**
 515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue
March 16, 2026	

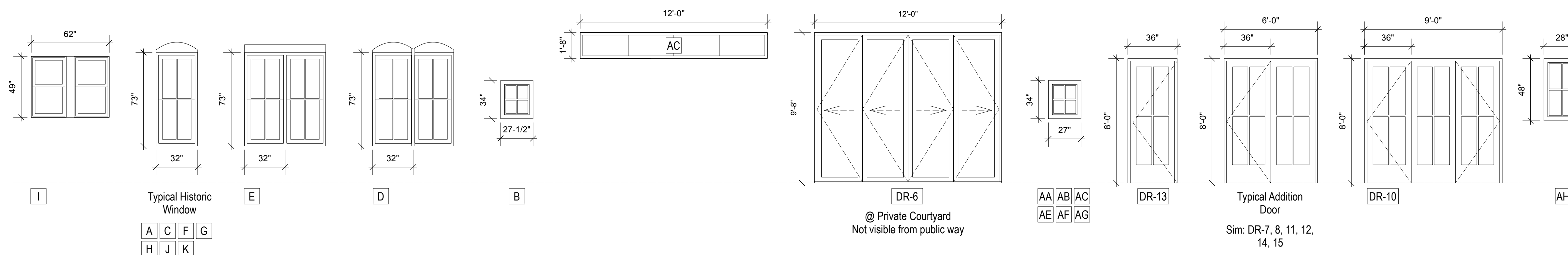
Date	Plot Date
March 16, 2026	5/19/26
Drawn by	Checked by
File: 515 PdPeralta_A200 Elev Sections.vwx	
Set: Historic Design Review	
Sheet Title: North-South Building Section A	
A300h	
Sheet	of

SKYLIGHT - ROOF WINDOW SCHEDULE						
ID #	Location	Type	Width	Length	Treatment	Comments
RA	Historic House	Existing Skylight	3'-0"	2'-0"	--	No change proposed
RB	Addition	American Skylight	8'-0"	2'-0"	--	

EXTERIOR WINDOW & DOOR SCHEDULE							
ID #	Location	Type	Width	Height	Glazing	Condition	Comments
Ground Level							
A	Historic House	1 - Existing Window	32"	73"	G1	Fair	
B	Historic House	1 - Existing Window	27'-1/2"	34"	G1	Fair	
C	Historic House	1 - Existing Window	32"	73"	G1	Fair	
D	Historic House	2 - All-Wood Divided Lite	32" x2	73"	G2	New	
E	Historic House	2 - All-Wood Divided Lite	32" x2	73"	G2	New	
F	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Replace non-restorable Historic window with like and kind replacement
G	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	
H	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	
I	Historic House	1 - Existing Window	31" x2	49"	G1	Fair	
J	Historic House	1 - Existing Window	32"	73"	G1	Fair	
K	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Replace non-historic window with original size
Ground Level - Addition							
DR-1	Historic House	1 - Existing Door	32"	73"	G1	Satisfactory	Non-historic door
DR-2	Historic House	1 - Existing Door	32"	73"	G1	Fair	Non-historic door
DR-3	Historic House	1 - Existing Door	29"	78"	G1	Fair	Historic Door
DR-4	Historic House	2 - All-Wood Divided Lite	32"	73"	G2	New	Match Historic door DR-3
AA	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AB	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AC	Addition Ground Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AD	Addition Ground Level	3 - Clad Wood Window	12'	20"	G2	New	Clerestory below Portal overhang
DR-5	Addition Ground Level	3 - Clad Wood Door	36" + 15"	8'-0"	--	New	Operable 15" side lite
DR-6	Addition Ground Level	4 - Clad Wood Folding Door	12'	9'-8"	G2	New	4-panel folding doors
DR-7	Addition Ground Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	2 operable leaves
DR-8	Addition Ground Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	2 operable leaves
DR-9	Addition Ground Level	5 - Wood Garage Door	18'	8'-0"	--	New	Finish to match picket fence & site gates
Upper Level - Addition							
AE	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AF	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AG	Addition Upper Level	3 - Clad Wood Window	27"	34"	G2	New	Fixed
AH	Addition Upper Level	3 - Clad Wood Window	30"	48"	G2	New	Fixed
DR-10	Addition Upper Level	3 - Clad Wood Door	3' + 6'	8'-0"	G2	New	Operable leaf + side lites
DR-11	Addition Upper Level	3 - Clad Wood Door	3'	8'-0"	G2	New	
DR-12	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite
DR-13	Addition Upper Level	3 - Clad Wood Door	3'	8'-0"	G2	New	
DR-14	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite
DR-15	Addition Upper Level	3 - Clad Wood Door	3' + 3'	8'-0"	G2	New	Operable leaf + side lite

GLAZING SCHEDULE							
ID	TYPE	LITES	COLOR	PERFORMANCE	COATINGS	THICKNESS	COMMENTS
G1	Exterior Existing Clear Glass	Existing	Clear	Existing	n/a	Existing	Replace glass panes where cracked
G2	Exterior: Clear insulated glass	Fully tempered float glass	Clear	Average U-Value: 0.28; Maximum Solar Heat Gain Coefficient (SHGC): 0.38	Low-E	6.0 mm (0.24") each lite; 1" overall thickness	Typical exterior glazing

GLAZING & DOOR FRAME TYPES SCHEDULE						
ID	TYPE	EXT. COLOR	BASIS OF DESIGN	DETAILS	COMMENTS	
1	Historic Windows	Existing	Existing	1-1/8" Typical Mullion Width	Frame to be restored where possible	
2	All-Wood Divided Lite Windows	K-Kron II Nutmeg	Kolbe Heritage Series, Traditional Double Hung Windows	1-1/8" Ovolo Profile TDL Bars	"Like and kind" replacement windows	
3	Metal-clad Wood Divided Lite Windows & Doors	RAL-3009 Oxide Red	Kolbe Ultra Series		Color intended to be related but slightly darker than existing	
4	Metal-clad Wood Folding Doors	RAL-3009 Oxide Red	Kolbe Ultra Series		Color intended to be related but slightly darker than existing	
5	Wood Garage Door	Oiled Cedar finish	Overhead Door Company		Finish to match picket fence & site gates	



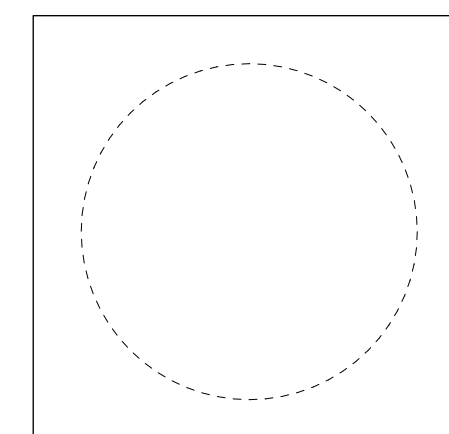
1 Exterior Glazing Types
A500h Scale: 1/4" = 1'-0"

SHEET GENERAL NOTES

- A. Contractor shall verify and ensure that all requirements of the ADA and IBC are fully met and complied with.
- B. Coordinate hardware with specified hardware schedule. All hardware shall comply with ADA requirements.
- C. At all doors requiring electrical devices, card readers, actuators, alarms, or contacts, the contractor shall coordinate pathway and power requirements as necessary. Coordinate all hardware, electric strike, and wiring requirements prior to ordering door. Refer to Electrical & Technology details.
- D. Provide all blocking as required.
- E. All hollow metal door frames shall receive mineral fiber insulation at interior of frame. At rated assemblies seal using freestopping sealant per spec.
- F. Field verify all openings prior to fabrication. Contractor to coordinate all rough opening requirements with manufacturer and installer.
- G. All work shall be executed in accordance with the best accepted trade practices and per manufacturer recommendations.

ACCESSIBILITY GENERAL NOTES

- A. Door bottom surface: The bottom 10" of all doors shall have a smooth uninterrupted surface extending full width of the door to allow the door to be opened by a wheelchair footrest safely.
- B. Door closer: Closer shall be adjusted so that from an open position of 90 degrees the time required to move the door to an open position of 12 degrees will be 5 seconds minimum.
- C. Door hardware: Lever handle type door hardware shall be used at all doors and shall be easy to grasp with one hand and shall not require tight grasping, pinching, or twisting of wrist to operate. Hardware shall be mounted between 34" minimum to 48" maximum.
- D. Door opening force: The required force for pushing open or pulling open doors shall be 5lbs. maximum. This force shall not apply to force required to retract latch bolts of other devices which hold door in closed position.
- E. Operation: Operable parts of equipment and appliances shall be operable with one hand and shall not require tight grasping, pinching, or twisting of wrist. The force required to activate operable parts shall be 5 lbs. maximum.



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Date	Issue
Date	Plot Date
March 16, 2026	5/21/26
Drawn by	Checked by
File	515 PdPeralta_A200 Elev Sections.vwx
Set	Historic Design Review
Sheet Title	Exterior Window & Door Schedule
A500h	
Sheet	of



Historic House Existing Stucco Repair

Custom color similar to El Rey Sandalwood
Pebble-dashed texture to match existing



Historic House Existing Coping Repair

Custom color similar to LaHabra X-63149 Hatteras
Matching existing red brick where exposed



Historic House Windows

Repair or Replace in Kind
Kolbe Traditional Divided-lite Wood Windows
K-Kron II Exterior Finish in Nutmeg



Wood Picket Fence & Guardrail

Cedar board, oiled finish



Historic Existing Stone Wall

No change proposed



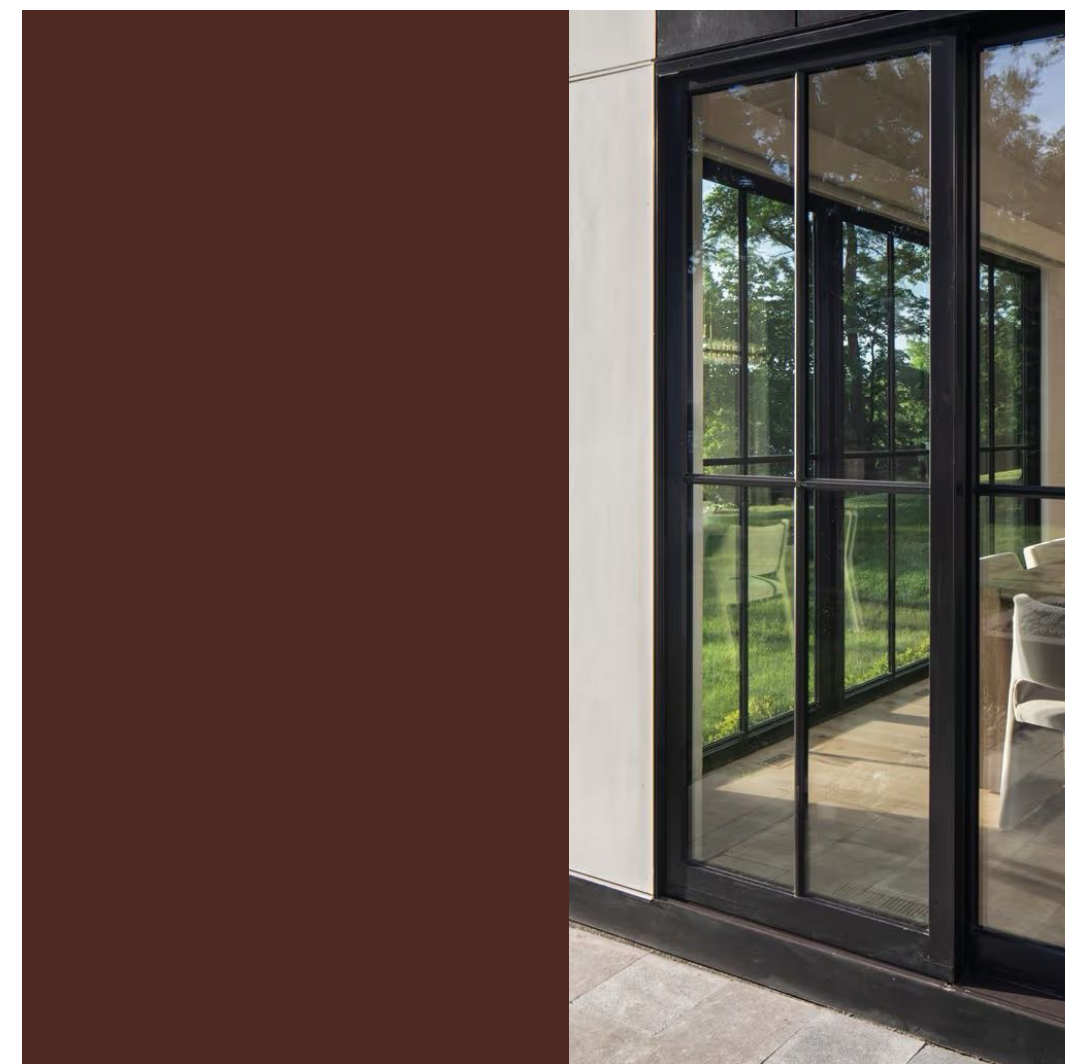
Addition Building & New Site Walls

Custom stucco color similar to El Rey Adobe
Light brushed texture stucco
Solid doors painted to match



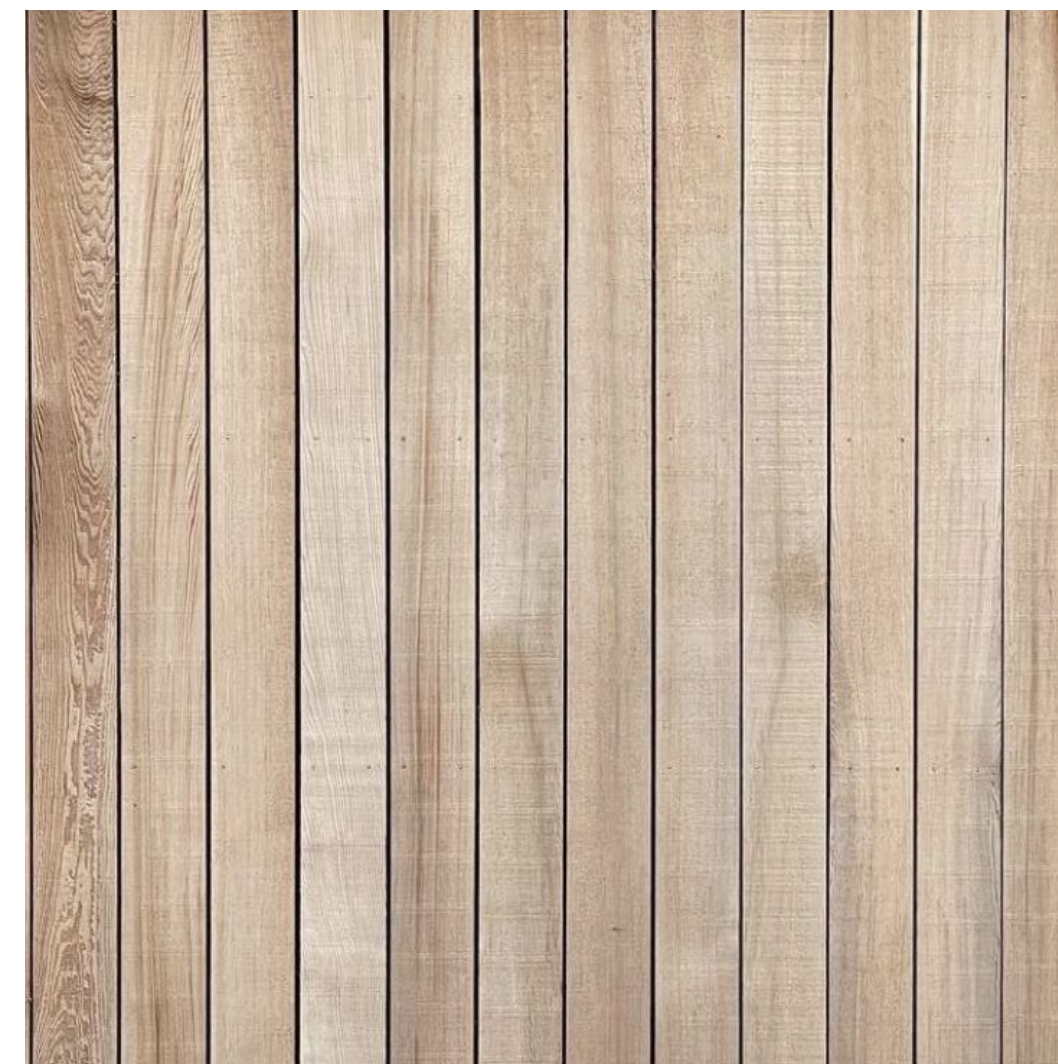
Concrete Pavers

Davis Sequoia Sand



Addition Windows & Doors

Kolbe Clad Wood Divided-lite Windows
RAL 3009 Oxide Red



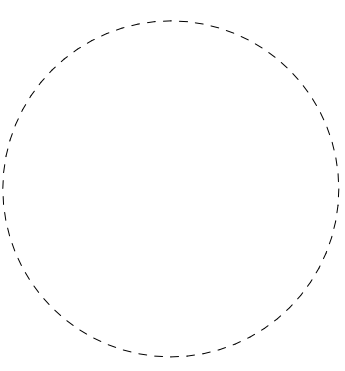
Addition Wood Cladding & Exterior Soffits

Tongue & Groove Cedar board, oiled finish



Existing Cast Concrete Retaining Wall

No change proposed



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Feghali Residence
Historic Renovation
515 Paseo de Peralta, Santa Fe, NM 87505

Date	Issue

Date March 16, 2026	Plot Date
Drawn by	Checked by

File

Set
Historic Design Review

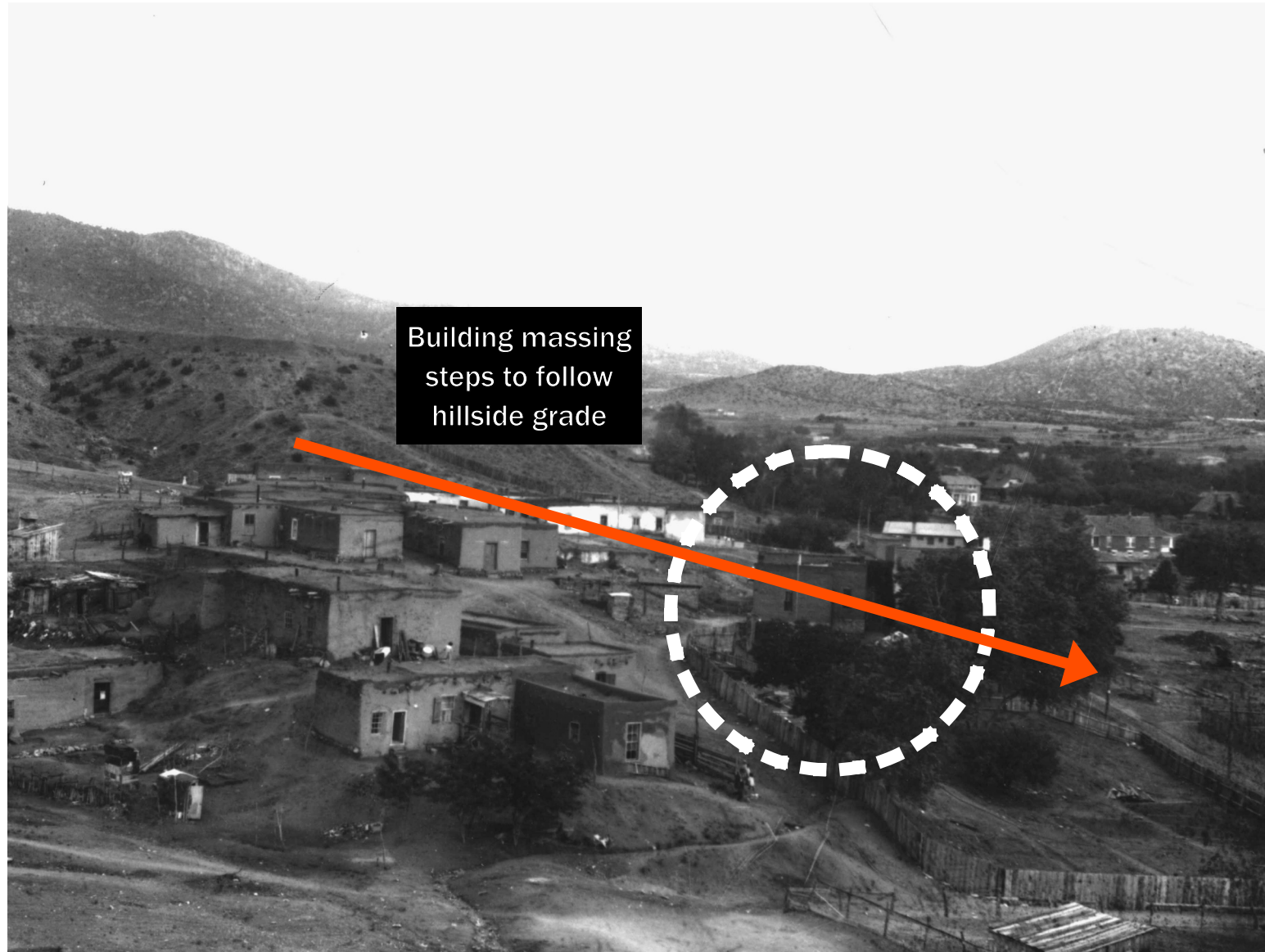
Sheet Title
Proposed Exterior Materials

DSK-01

Sheet of

Discussion Summary 5/1/26

- Consider the stepped, layered character of the hillside context - how does the proposed addition fit in?
- Relationship to historic house - how can the house's prominence be preserved?
- Old versus new - how does the addition complement the house while remaining clearly distinct?



1915



2025

Hillside Context — Stepped, Layered Massing from West



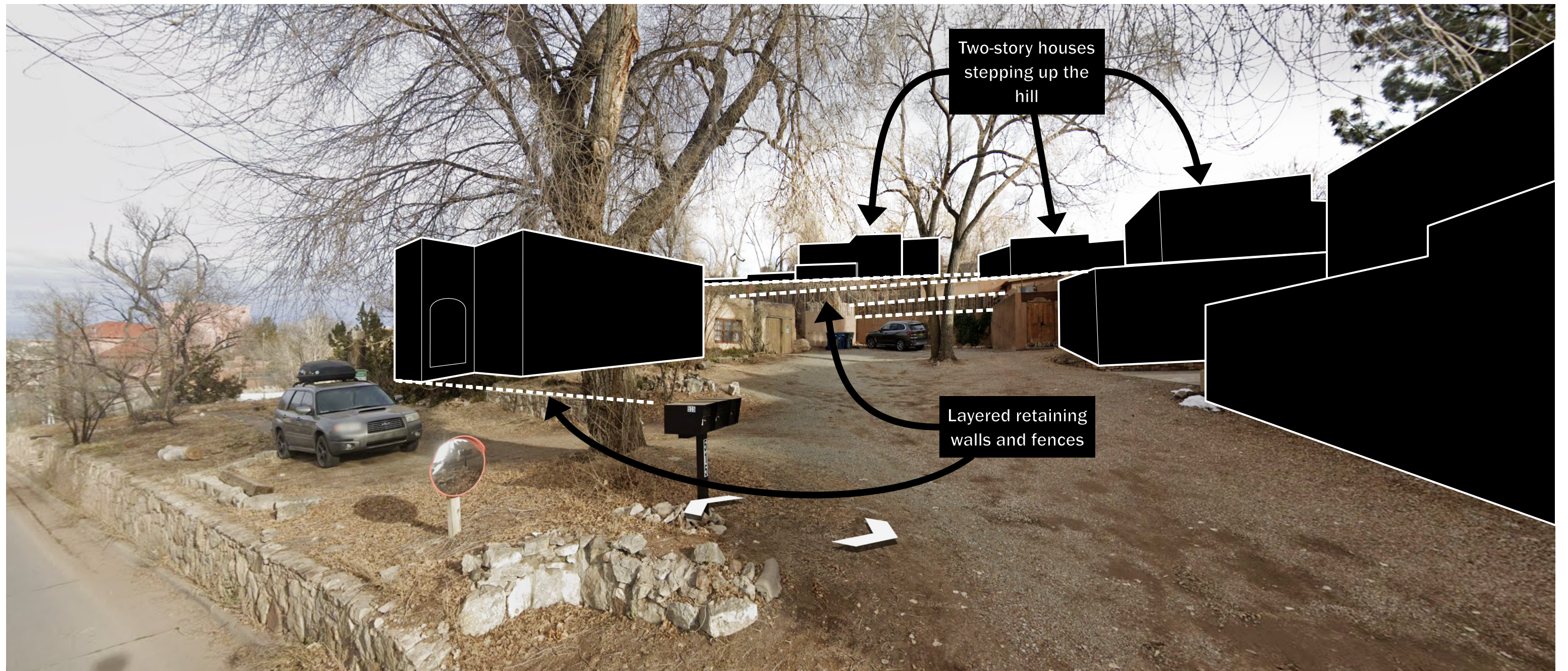
GOOGLE EARTH IMAGES



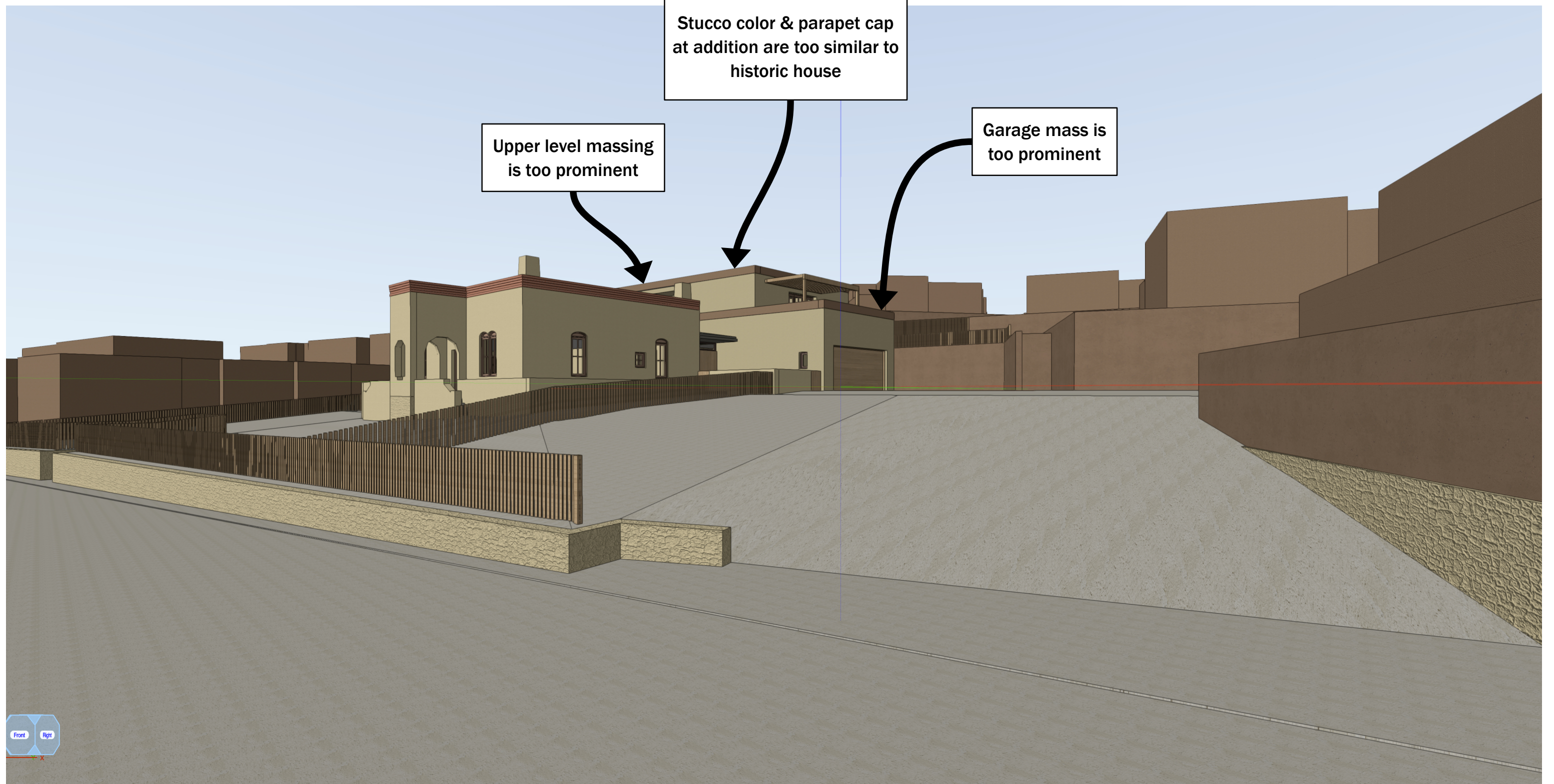
Hillside Context — Stepped, Layered Massing from South



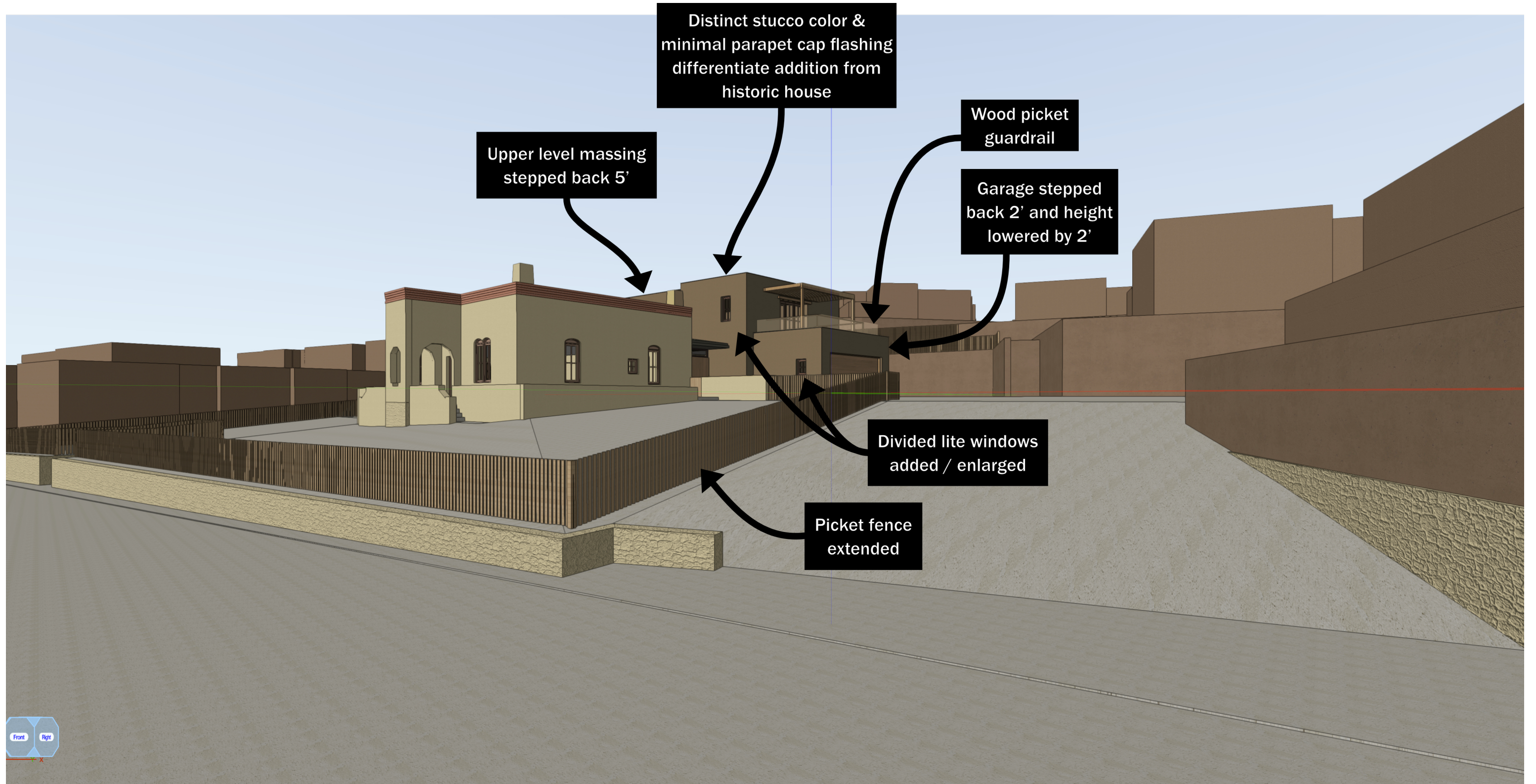
Hillside Context — Existing Condition



Hillside Context — Existing Condition



Previous Proposal - HDRB Comments



Hillside Context — Study

City of Santa Fe, New Mexico

memo

DATE: May 26, 2026
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Planning & Land Use Department Director #LL

2026-012126-HDRB. 515 Paseo de Peralta. Downtown & Eastside Historic District, Significant, Rebecca Wood, agent for George and Tina Feghali, owner, proposes to construct a 3,470 sq. ft. addition to a height of 24'-0" where the maximum allowable is 23'-0". Exceptions are requested to 14-4.6(E)(2)(III)(a) to exceed the maximum allowable height. 14-4.6 (E)(4)(II) for removal of historic materials, 14-4.6(E)(2)(II)(a) for constructing an addition on a primary façade and 14-4.6(E)(2)(II)(c) for an addition exceeding 50% of the historic footprint.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Window Assessment

STAFF RECOMMENDATION:

Staff finds that the exception criteria have been met and recommends approval of the 14-4.6 (E)(4)(II) for removal of historic materials, 14-4.6(E)(2)(II)(a) for constructing an addition on a primary façade and 14-4.6(E)(2)(II)(c) for an addition exceeding 50% of the historic footprint. Staff also recommends approval of the other elements of the application as they comply with 14-5.2(D) General Design Standards for all Historic Districts, and 14-4.6(G)(2) Downtown and Eastside Historic District Design Standards.

Sample motions:

One motion will be required in this case.

- a. In case 2026-012126-HDRB, for 515 Paseo de Peralta, approve/deny the exception to 14-4.6 (E)(4)(II) for removal of historic materials, 14-4.6(E)(2)(II)(a) for constructing an addition on a primary façade. and 14-4.6(E)(2)(II)(c) for an addition exceeding 50% of the historic footprint. finding that the exception criteria have been met
- b. In case 2026-012126-HDRB, for 515 Paseo de Peralta, approve/deny the elements of the project that do not require an exception.

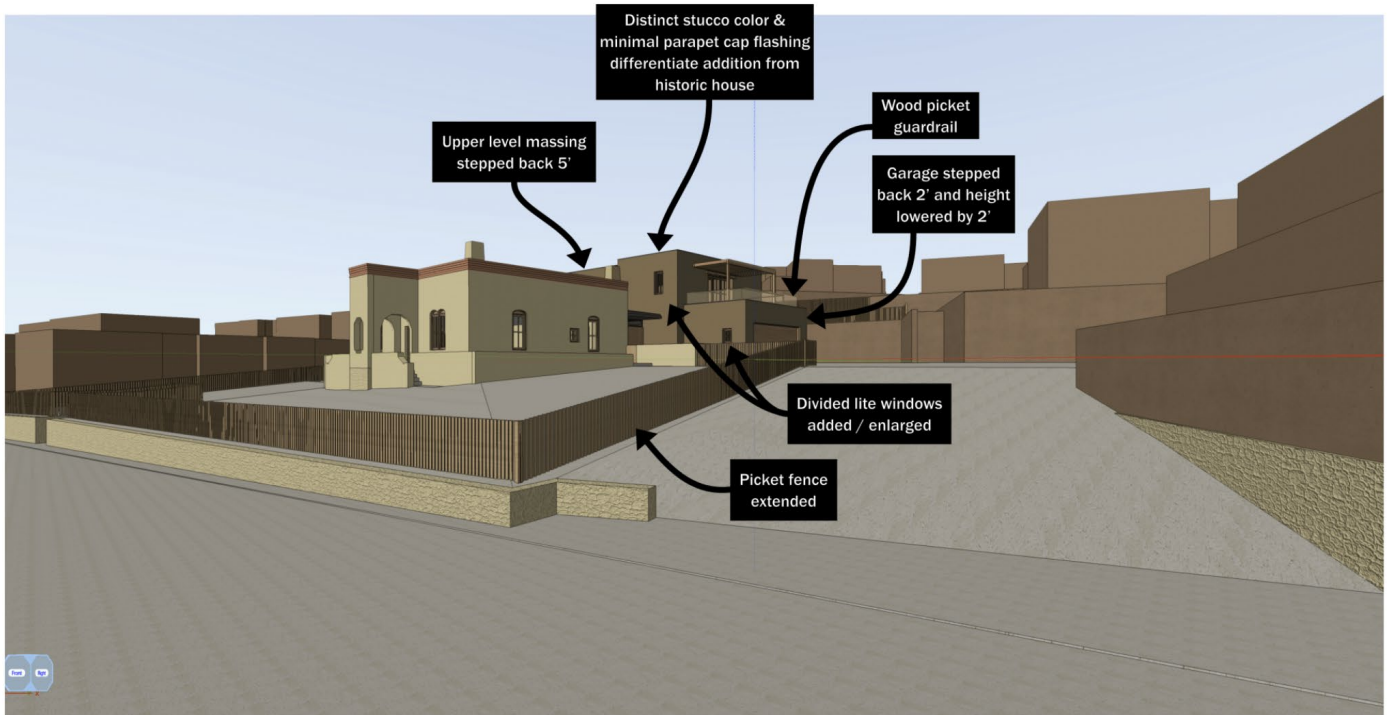
Should the Board deny the exception request, the applicant shall return with an alternative proposal for review and approval before proceeding with a building permit.

The property lies within the Historic Downtown Archaeological Review District. See Chapter 14, SFCC, Article 14-3.13(B)(1). Archaeological clearance will be required prior to the issuance of a building permit.

BACKGROUND & SUMMARY:

At the April 14, 2026, HDRB meeting a subcommittee was appointed to work with the applicant to assist with mitigating the overall size of the proposed addition at the rear of the site. Concerns were raised about the mass's overall appearance and its potential to overwhelm the historic building. Suggestions included moving the addition farther west and lowering the garage height, layering buildings farther north up the hill, and a discussion of whether the building's first floor would really qualify as a basement.

Staff has reviewed the resubmittal and studies provided by the applicant. By changing the color of the addition, it will read almost as a separate building because the passageway between the buildings will be nestled in between and not visible from the street. Staff's only recommendation is to use a color from the surrounding buildings' palette so it blends in with the surrounding development. Staff recommends the proposed changes, as the overall height of the garage is lowered, thereby reducing its overall appearance of mass, and additional fenestration helps break up that mass.



The property at 515 Paseo de Peralta prominently sits above the street on a sloping lot that is supported by rock retaining walls along the southern property line. There is a similar retaining wall along the north. Historically, the lot was densely vegetated, had been subdivided, and once had an acequia running along the north of the property.

The single-family residence at 515 Paseo de Peralta is significant to the Downtown and Eastside Historic District, built in 1889 with a Territorial design style highlighted by its brick coping feature. Originally, the residence had a brick exterior; however, stucco appeared in photographic evidence as early as 1910. The stucco has a unique textured finish. There is a rubble stone foundation that continues above grade. The south façade features a keyhole opening, where the primary entry door is located. At the western portion of the south elevation, concrete steps and a new entry were added in 1943.

An addition on the building’s northeast corner originally served as a garage and was renovated to become a bedroom. An additional detached garage was constructed at that time. There have been many changes to the building in association with the creation of apartments within the original single-family residence.

The free-standing shed, shown in 1912 Kings Map, is a 195 sq. ft shed, which features a gabled roof with corrugated metal. The south elevation is finished with cementitious stucco. The north elevation is a combination of brick and rubblestone. The interior of the shed is accessed via a pair of wood plank doors on the south elevation. John Murphy references it as an important contextual structure reflecting the history of housing work animals on the same site as a residence.

The residence was most likely constructed for Samuel Beach Axtell, former New Mexico Territorial Governor, who held a large tract of land along what was once Hillside Avenue. He upgraded old Adobe dwellings and built a brick residence. Axtell was thought to be corrupt and was removed from office in 1878 but was never formally charged with any corruption.

The detached garage proposed for demolition is designated as non-contributing to the Downtown and Eastside Historic District. A structural analysis highlights the poor condition of the building.

The detached shed proposed for demolition is designated as non-contributing to the Downtown and Eastside Historic District. A structural analysis highlights the poor condition of the building.

The additions on the north elevation were constructed in the 1940s and the 1970s. The addition on the northeast corner originally served as a garage and was later enclosed. The addition on the northwest corner dates to the 1970s and has no character defining features.

PREVIOUS CASE SUMMARIES:

H-95-091 - In 1995, Dorothea Gabel applied for window repairs, partial restucco, and stabilization of the front entry porch. Gabel received a historic preservation award for the restoration in 1997.

H-04-114 – In May 2007, the HDRB denied a request to demolish the historic stone wall along Paseo de Peralta. The case was appealed to the City Council, which upheld the HDRB’s decision to preserve the historic wall.

2025-010763-HDRB -In August 2025 the HDRB voted to retain the significant status of the main residence, excluding the northwest addition (facades 16, 1, and 2) and excluding the garage addition on the northeast elevation (facades 4, 5, and 6). To designate the shed as non-contributing, to designate the garage as non-contributing because the building lacks integrity, designate the south retaining wall, including the entry steps, as significant and the other retaining walls as non-contributing since they are part of the landscaping. Member Degnan seconded.

2025-011354-HDRB- In October 2025, voted to approve the demolition of the two non-contributing additions, the two non-contributing detached structures, along with the small yard wall, retaining wall, shed, and small stairs

APPLICANT’S REQUEST:

The applicant proposes the following exterior alterations:

The new area of the addition, including a second floor, will total 3,470 sf, Existing entry stairs on the South facade are proposed to be removed and rebuilt in kind. Additionally, the existing entry stairs at the West end of the South facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs, reconstruction of the stairs and landing. A connected landing between both sets of stairs and the East facade in the remodel, a portion of the roof will be raised behind and below the existing parapet. Existing exterior materials will be repaired in kind with respect to the building’s unique texture and color. Doors and windows will be repaired or replaced in kind. a new wood picket fence is proposed, This picket fence will be located at least 1’ behind the stone wall, The fence will run the width of the Paseo property line with a branch extending North. New 4’ high stucco site walls are proposed adjacent to the addition, The material of the addition will be predominantly stucco in a tan color matching that of the historic house, punctuated by infrequent divided-lite windows and doors referencing the proportions of the original house’s windows.

EXCEPTION CRITERIA AND RESPONSES:

Note:

Staff has determined a height exception will not be required as the applicant will be allowed up to 48” for building in a sloped area per Section 14-4.6(F)(2)(II)(f) SFCC 1987.

Exception 1

The applicant requests an exception to the removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited. The exception criteria as specified in §14-4.6(D)(2)(II) are as follows:

(i) Do not damage the character of the district

- *Response:* The proposed removal of the existing exterior entry stairs at the South Facade will not damage the character of the district, as this character will be strengthened by the reconstruction of the stairs’ historic form and relationship to the historic house.
- The attached photo dated around 1910 (**Exhibit A**) depicts symmetrical stairs approaching the front porch from both East and West, defined on the street side by a sloped wall in a stucco finish matching the house. This front porch was historically the primary public-facing entry to the residence, and it is proposed to remain so. In intervening years, the West side of these stairs was removed and the East stairs to the porch have fallen into disrepair. This proposal requests replacement in kind with new symmetrical stairs leading to the porch, matching the height, finish, and layout of the historic photo. A landing North of these rebuilt stairs will provide structural reinforcement along the compromised historic stone rubble foundation to ensure the continued stability of the 140-year old historic house.
- The existing pen-tile entry stairs at the West end of the Paseo facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs. The existing stairs were added to the house in the 1950s, and the structural report notes water damage to the wood stair framing and fungal decay to the structure, compromising the safety of the existing material. Like the porch stairs, the reconstruction of the stairs and landing will provide structural reinforcement to the rubble foundation. A connected landing between both sets of stairs and the East facade will extend this reinforcement along the entire compromised foundation. Along with the proposed stairs, it will create a datum reinforcing the existing foundation, and its stucco finish will match the finish seen in the historic photo from about 1910 (**Exhibit A**).

Staff Response: Staff find that this criterion is met. The stairs have historically been on both sides of the porch.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response: The proposed in-kind replacement of the entry stairs will preserve the existing and historic access path to the house while mitigating the structural damage to the rubble foundation stem wall noted in the structural report. The proposed reconstruction will also provide accessible access to the historic house’s main entry, critical to its owners’ safe use of this door, while respecting its historic massing. In this way, the exception is required to prevent hardship to the applicant and injury to the public welfare.

Staff Response: Staff find that this criterion is met. Careful and considerate measures have be taken to prevent hardship and prevention of injury to the public welfare.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Response: In the August 2025 status hearing for the property, the Board noted the significance of the stepped massing and flanking front access stairs to the front porch, with its unique keyhole opening. Granting the exception for the proposed removal and replacement of the entry stairs will simultaneously provide needed structural reinforcement and accessible access to the house, in a form and material that honors the house's historic massing, finish, and patterns of use.

Staff Response: Staff finds that this criterion is met. Keeping with the same materials and turning back to the original is harmonious to the character

Exception 2: An exception is requested to construct an addition to the rear North facade of the historic residence. Because the existing house has a Significant status and all facades are considered primary, an exception is required to SFCC §14-4.6(E)(2)(II)(a), stating that “Building additions are not permitted to primary facades.” The exception criteria as specified in §14-4.6(D)(2)(II) are as follows:

(i) *Do not damage the character of the district*

- *Response:* The proposed removal of the existing exterior entry stairs at the South Facade will not damage the character of the district, as this character will be strengthened by the reconstruction of the stairs' historic form and relationship to the historic house.
- The attached photo dated around 1910 (**Exhibit A**) depicts symmetrical stairs approaching the front porch from both East and West, defined on the street side by a sloped wall in a stucco finish matching the house. This front porch was historically the primary public-facing entry to the residence, and it is proposed to remain so. In intervening years, the West side of these stairs was removed and the East stairs to the porch have fallen into disrepair. This proposal requests replacement in kind with new symmetrical stairs leading to the porch, matching the height, finish, and layout of the historic photo. A landing North of these rebuilt stairs will provide structural reinforcement along the compromised historic stone rubble foundation to ensure the continued stability of the 140-year old historic house.
- The existing pen-tile entry stairs at the West end of the Paseo facade are also proposed to be removed and replaced following their current orientation and of a height, form, and finish matching the porch stairs. The existing stairs were added to the house in the 1950s, and the structural report notes water damage to the wood stair framing and fungal decay to the structure, compromising the safety of the existing material. Like the porch stairs, the reconstruction of the stairs and landing will provide structural reinforcement to the rubble foundation. A connected landing between both sets of stairs and the East facade will extend this reinforcement along the entire compromised foundation. Along with the proposed stairs, it will create a datum reinforcing the existing foundation, and its stucco finish will match the finish seen in the historic photo from about 1910 (**Exhibit A**).

Staff Response: Staff finds that this criterion is met. The addition is set back in the rear, and very close to the building envelope of excluded area of façade.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- *Response:* The proposed replacement of the entry stairs in kind will preserve the existing and historic access path to the house, while ameliorating the structural damage to the rubble foundation

stem wall noted in the structural report. By ensuring the continued structural stability of the house, this work will preserve this unique historic – and based on public comment at past hearings, beloved – structure within the fabric of Santa Fe.

- By providing accessible access to the historic house’s main entry, the proposed reconstruction will prevent a hardship to the applicant. The owners intend to age in place, and the reconstruction and addition aim to serve that goal. The entry porch is a defining architectural feature of the house, and they wish to use it for as long as they live there. The proposed work is critical to its owners’ safe use of this door, while respecting the building’s historic massing.

Staff Response: Staff finds that this criterion is met. Careful and considerate measures have been taken to prevent hardship and injury to the public welfare.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Response: In the August 2025 status hearing for the property, the Board noted the significance of the stepped massing and flanking front access stairs to the front porch, with its unique keyhole opening. Granting the exception for the proposed removal and replacement of the entry stairs will simultaneously provide needed structural reinforcement and accessible access to the house, in a form and material that honors the house’s historic massing, finish, and patterns of use.

The expression of stepped massing also fits into and takes inspiration from the layered hillside context of the historic neighborhood. Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. Neighboring buildings follow the rising grade; looking North from the street, one sees a layering of walls, fences, and building masses stepping up the hill to overlook the city. Historically the site navigated this slope with series of terraces retained by site walls, starting with the historic stone wall along the street. The proposed reconstructed stairs continue this historical pattern and reinforce the unique character of the area (see Figure 1 below).



Figure 1. Photo of existing site and hillside context showing terraced and stepped character (see Attachment 11 – HDRB Subcommittee Studies)

Staff Response: Staff find that this criterion is met. Adding more living space to allow for aging in place.

Exception 3a (square footage):

An exception is requested to allow an addition exceeding 50% of the existing footprint and dimension of the primary facade, per SFCC §14-4.6(E)(2)(II)(c), stating that “Building additions shall not exceed 50 percent of the square footage of the building’s historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary facade.” The exception criteria as specified in §14-4.6(D)(2)(II) are as follows:

(i) Do not damage the character of the district

- *Response:* The proposed addition the North facade of the historic house will not damage the character of the district, as its massing will be separated from the historic house and the connections to the original structure will be primarily limited to portions of the facade already altered by previous noncontributing additions. The Board approved these additions for demolition in October 2025, and their removal will leave exposed interior walls that will need to be replaced. The proposed design lightly touches the original house at two locations on the east and west ends of the façade, and this exception only concerns a 17” wide portion of the North façade (3’-2” wide at roof overhang) where the new structure touches the historic house outside previously disturbed areas (see Figure 2).
- The primary mass of the proposed addition will be set back 12 feet from the historic house, preserving the legibility of old from new. At the East end of the facade, an interior space about 18 feet wide will provide the primary “bridge” between the original house and the addition, and it will attach at portion of the north façade left exposed after demolition of a noncontributing addition. The interior space is recessed beneath a roof overhang on both sides. Its roofline is set back 2’-6” from the corner of the original North façade, and its interior mass is set back 7’-7” from the corner to further differentiate the addition and preserve the legibility of the original massing and historic brick parapet at the Northeast corner. This shift pushes the addition Westward and slightly outside the previously disturbed façade area, creating the overlay described in this exception. This alignment also allows the new construction to continue the line of one of the primary original structural brick walls within the historic house and to extend the space of a historic hallway. The existing wall below the roof overhang will be preserved, and no existing historic doors or windows will be compromised or altered in any way. Newly exposed exterior wall will be finished to match the adjacent historic stucco.
- A new roof structure at the West will create covered outdoor space and is similarly set back about 2’-6” feet from the historic Northwest corner. This roof measures about eleven feet wide and will only touch the previously disturbed portion of the North façade – no exception for this work is required. Newly exposed exterior wall below and above the roof will be finished to match the adjacent historic stucco. An existing opening through the historic brick wall, currently an interior hallway, will be fitted with an exterior door matching the other historic door centrally located on the North facade. A historic photo from around 1915 shows exterior door (**Exhibit B**), and the design proposes returning to this original function.

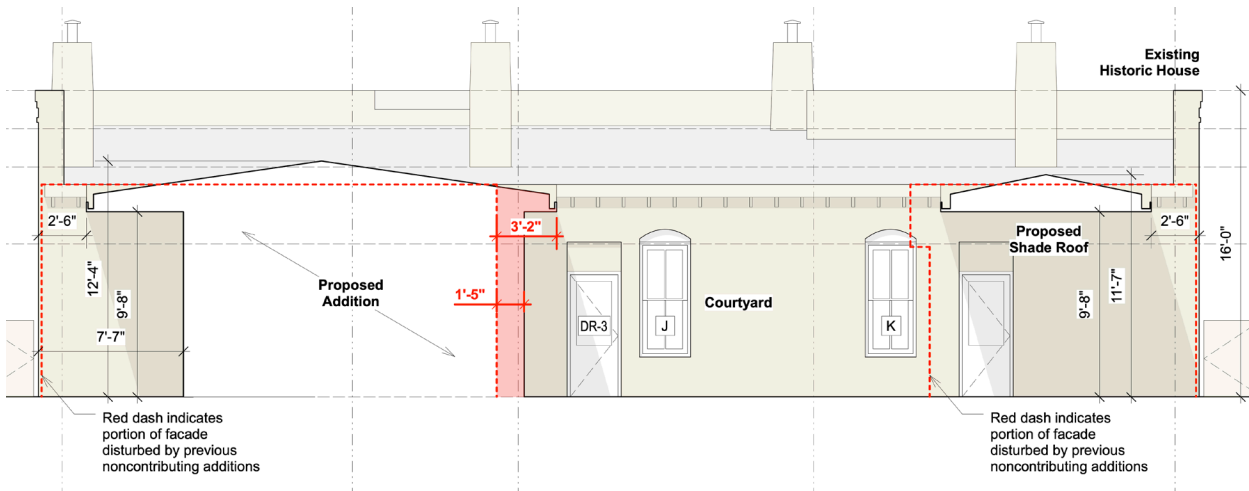


Figure 2. Excerpt from North Elevation (2/A203h)
 Scope of proposed addition shown relative to previously disturbed (noncontributing) façade. The proposed connection is primarily located at these locations; the exception concerns the 17" portion shown in red (38" at roof overhang).

Staff Response: Staff finds that this criterion is met. The massing of the building and the setbacks will allow for the addition not to dominate the significant primary structure.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

- Response:* The proposed design prevents hardship to the applicant or injury to the public welfare by accommodating the required program and accessibility without overshadowing the historic house or standing out in its historic hillside context. The design team studied several options for achieving these goals, including the option of splitting the distinct pieces of the new program (living space, garage, ADA, art studio) into four distinct buildings. This would comply with zoning requirements and would require no area, height, or scale exceptions from HDRB. However, this approach makes mobility and accessibility between buildings challenging. More critically, it means the new structures would inevitably be more visible, separated and spread across the site. Viewed from the public way, accessory structures would flank the historic house and distract from its visual prominence. Another option would be to combine these elements into a single new structure located North of the historic house but not physically connected to it. This too would comply with zoning requirements, and would require no scale, area, or height exceptions from HDRB. A consolidated structure behind the historic house would be less visible onsite and would preserve the house's prominence. However, the accessibility and mobility issues of travelling outdoors between separate buildings would remain.
- Instead, the proposed design consolidates these elements into a single new structure that connects to the historic house's North façade while remaining distinct and visually secondary to the house. This is achieved by leaving physical space between old and new and by minimizing the physical connection to the addition, as described above. Though this connection makes the new structure into an addition and triggers exceptions 2 and 3, it provides the required accessibility for the applicants while consolidating and concealing the new massing. By primarily touching the historic façade at previously disturbed and noncontributing areas, the proposed design endeavors to minimize any further disruption. The proposed exception is required to allow a connection to the historic house, necessary to the function of the new space and to prevent hardship to the applicant. Because the proposed addition will not alter any facade visible from the street, it will cause no injury to the public welfare.

Staff Response: Staff find that this criterion is met. Careful and considerate measures have been taken to prevent hardship and prevention of injury to the public welfare.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

- *Response:* Historic residences in this area frequently include additions to expand their function over the years, as evidenced by the existing noncontributing additions to the house in question. The proposed exception will allow this tradition to continue, ensuring continued use and maintenance of the existing house. The proposed design takes direct inspiration from the form of these previous additions by concealing later construction where it is least visible from the public street, while preserving the legibility between old and new that adds richness to the heterogeneous character of the district. Additionally, it fits into the terraced, stepped character of its immediate historic hillside neighborhood (Figure 1).

Staff Response: Staff finds that this criterion is met. The applicant has provided full range of design options and have worked with staff keep this property and additions harmonious.

Exception 3b (dimension of primary façade):

An exception is requested to allow an addition exceeding 50% of the existing footprint and dimension of the primary facade, per SFCC §14-4.6(E)(2)(II)(c), stating that “Building additions shall not exceed 50 percent of the square footage of the building’s historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary façade.” The exception criteria as specified in §14-4.6(D)(2)(II) are as follows:

(ii) Do not damage the character of the district

- *Response:* The footprint and facade dimension of the proposed addition will not damage the character of the district, as its mass – both area and length - will be substantially concealed by elevated mass of the existing historic house and by the steep grade of the site. The proposed design aims to accommodate the desired program without overshadowing the historic house or standing out in its historic hillside context. This is achieved by leaving physical space between old and new, burying the addition in the hillside, concealing it behind the historic house, and stepping its mass to break down the scale.
- The primary mass of the proposed two-story addition will be set back 12 feet from the historic house, connected only by a narrow “bridge,” which creates an accessible connection between the original house and the addition. This physical connection to the historic house will be primarily limited to portions of the facade already altered by previous noncontributing additions, already approved for demolition by the Board. These single-story points of connection – roof and bridge - will be set back about four feet from the corners of the original North facade to further preserve the legibility of the original massing and historic brick parapet. Max. 12’ in height, they will read as significantly lower than the original 16’ parapet and will clearly demarcate the boundary between old and new.
- The proposed design also makes use of the steeply sloped site to substantially conceal the addition from the street. Paseo de Peralta was once known as Hillside Avenue due to the steeply sloped hills it abuts to the North. 515 Paseo de Peralta is no exception, rising 27’ in elevation from the South property line at the street to its North boundary. The existing house is positioned distinctly above and overlooking the

street, and though it is only one story in height its parapet rises 30' above the street grade and its finished floor level is located 14' above street grade. Neighboring buildings also follow the rising grade; looking North from the street, one sees a layering of walls, fences, and building masses stepping up the hill to overlook the city. The mass of the addition fits into this layered hillside context. The addition's lower floor level continues that of the historic house, but due to the sloped site it is buried mostly below grade – per the IRC, it is a “basement.” The addition's upper level exits directly at grade to the North. Its mass steps back on the South, East, and West facades, and it is located directly behind the existing house to further obscure its visibility from the downhill public way. Where visible to the East, the addition's massing blends into the existing layered context stepping up the hill.

- These massing strategies minimize the scale of the addition to not conflict with the scale of buildings in the district. The existing house's historic footprint measures 2,776 sf, including existing noncontributing additions to be demolished. The total area of the proposed project is 5,030 sf, including renovated existing building (1,560 sf) and two-story addition containing new living space, ADU, garage, and arts studio (3,470 sf total). The net new area totals 2,254 sf, or 81% of the historic footprint. This exceeds the code by 31%, requiring an exception.
- The code also limits addition length to 50% of the façade, in this case the 40'-4" East façade. The directly adjoining façade - just the 12' wide passageway between the house and the addition, which is on a different plane – complies with this requirement, totaling just 30% of the historic facade. However, the total length of the addition across multiple planes adds up to 43'-6" or 108% of the historic façade, thus requiring the exception.

Staff Response: Staff finds that this criterion is met. The massing of the building and the setbacks will allow for the addition not to dominate the significant primary structure.

(iv) Are required to prevent a hardship to the applicant or an injury to the public welfare

- *Response:* This exception is requested in order to allow the applicant to make fuller use of the R-21 zoned site by expanding the interior space to include a garage, bedrooms, art studios, and a guest suite for visiting family. The current house lacks the space, infrastructure, and accessibility to accommodate the applicant's needs, and concealing the more private functions in an addition will allow the historic structure to be restored, its original layout and brick walls revealed and celebrated.

Staff Response: Staff find that this criterion is met. Careful and considerate measures have been taken to prevent hardship and prevention of injury to the public welfare.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

- *Response:* The Downtown and Eastside Historic District is distinct for its rich range of historic homes, materials, and building styles. Even among these, the historic house at 515 Paseo de Peralta possesses a significant and unique presence overlooking the city. The applicant's primary aim in this project is to protect and enhance the historic structure and to safeguard its future. By permitting additional area and use, the proposed addition complements without overpowering the historic house, enabling the restoration and celebration of the original space and structure.

Staff Response: Staff finds that this criterion is met. The applicant has provided full range of design options and have worked with staff keep this property and additions harmonious.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

2. Conflicting Standards

I. Zoning District Regulations

All designated landmarks and all properties located in historic districts shall be subject to the regulations of the base zoning district in which they are located, except for height as regulated in Section 14-4.6E, *General Design Standards for All Historic Districts*. When the requirements of the base zoning district conflict with the requirements of this Section 14-4.6, *Historic Districts*, the more restrictive standard shall apply.

II. Multiple Overlay Regulations

When a designated landmark or property located in a historic district is also located within another overlay, and there is a conflict between the requirements of the historic district and the other applicable overlay district, the more restrictive standard shall apply.

5. Boundaries

- a. The boundaries for the historic districts are as shown on the Official Zoning Map and incorporated in this Code by reference.
- b. If the boundary line of a historic district bisects or crosses a property without encompassing the entire lot, the applicable requirements of the historic district shall be as determined by the Planning and Land Use Director.

6. Design of Buildings

Full responsibility for the design and development of structures is upon the applicant. The case file of any prior application related to a property is available for review by the applicant upon request.

7. Nonconforming Buildings and Structures

Any building or structure in the historic district that does not meet the standards for architectural style outlined in this section shall be considered nonconforming, and subject to the provisions of Section 14-1.13(), *Legal Nonconforming Structures*, unless given special approval by the HDRB for architectural or historic interest, or unless individually entered in the state register of cultural properties or in the national register of historic places or designated as significant on either register.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or

"noncontributing."

- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

V. Restoration of Status

If a property owner makes changes to a structure without the proper City approvals, which result in the lowering of the structure's status, staff or the Board may require the property owner to restore the structure such that its former status is restored.

3. Review by Historic Districts Review Board Required

- I. Except where this chapter provides for review by staff, the HDRB shall review all applications for new construction, alteration, or demolition in the historic districts and of landmark structures throughout the city, based on the standards set forth in this section.
- II. The historic board shall judge any proposed alteration or new structure for harmony with adjacent buildings, preservation of historical and characteristic qualities, and conformity to the standards for architectural style set forth in this section.
- III. The HDRB may approve, deny, approve with conditions, or, with the consent of the applicant, postpone an application.
 - a. For applications approved with conditions, no permit shall be issued until the HDRB conditions have been met.
 - b. An application that is postponed shall be heard at a date agreed upon by the HDRB and the applicant.
- IV. No permit shall be issued until the time for appeal to the Governing Body has expired.

4. Compliance with General and Specific Design Standards Required

All development located within the historic districts and subject to this section shall comply with all applicable general development standards set forth in Section 14-4.6E), *General Design Standards for All Historic Districts*, as well as any applicable specific development standards set forth in Section 14-4.6G), *Additional District-Specific Design Standards*.

C. Exceptions

The HDRB may grant an exception to the regulations set forth in this section, provided that such exception does not exceed the underlying zoning, except when the board of adjustment grants a variance. Staff shall determine whether an exception to general design and preservation standards described in Section 14-4.6E is required and shall recommend that the HDRB approve, approve with conditions, or deny the exception.

1. Height

If an applicant requests approval of a height in the historic district that exceeds the underlying zoning district requirement, the applicant shall first receive an exception to this section. If the HDRB approves a requested height exception, the applicant shall proceed to the Board of Adjustment or other applicable city body for consideration of the proposed variance, as described in Section 14-2.1H.1.

2. Design Standards

The HDRB may review and grant or deny requests for exceptions to all provisions of Section 14-4.6E, *General Design Standards for All Historic Districts* (except provisions regarding Height, Pitch, Scale, Massing, and Floor Stepbacks).

I. Procedure

When requesting exceptions, the applicant shall use the procedures for public notice and hearing in Section 0), unless the applicant also requests a variance to the underlying zoning. In such a case, the applicant for the historic ordinance exception shall not be required to publish a separate legal ad in the local newspaper. Publication of the agenda is still required.

II. Approval Criteria

To approve an exception, the HDRB shall make findings of fact that the applicant conclusively demonstrated that the requested exceptions comply with all the criteria listed as follows:

- a. Do not damage the character of the district;
- b. Are required to prevent a hardship to the applicant or an injury to the public welfare; and
- c. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

D. General Design Standards for All Historic Districts

These standards shall apply to all additions or alterations to existing structures in the Historic Districts. Contributing, significant, and landmark structures may be subject to specific additional restrictions and district-specific standards in Section 14-4.6G).

I. General

- I. The historic status of a property with a historic status designation of significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a property to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status is prohibited.
- II. If a proposed alteration or new construction will cause an adjacent property to lose its significant, contributing, or landmark status, the application may be denied.
- III. For the regulations of this subsection, all facades of a significant structure are primary facades.

2. Building Additions

I. Design

- a. Building additions that meet the standards of Section 14-4.6G.2), *Downtown and Eastside Historic District*, shall continue to meet those standards, in addition to the standards set forth in this section.
- b. Building additions shall have similar materials, architectural treatments and styles, features, and details as the existing structure, but shall be distinguishable from and not attempt to duplicate the existing structure.

II. Size and Location

- a. Building additions are not permitted on primary facades.
- b. All building additions shall be set back a minimum of ten feet from the primary facade.
- c. Building additions shall not exceed 50 percent of the square footage of the building's historic footprint and shall not exceed 50 percent of the historic length in linear feet of the primary facade.
- d. To the extent architecturally practicable, new building additions shall be attached to any existing non-primary facade of a structure rather than attaching them to the primary facade of a structure.

III. Height

- a. The maximum height of building additions to significant and landmark structures shall be at least six inches lower than the parapet or equivalent roof feature of the existing adjacent connecting facade.
- b. Building additions to contributing structures shall be no more than one additional story higher than the existing structure. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the structure. When an additional story is to be placed upon an existing contributing structure, that footprint may be no greater than fifty percent of the footprint of the existing structure, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional story shall not exceed twelve (12) feet from the existing rooftop to the highest point of that story.

IV. Remodeling to Increase Height

- a. For remodeling of an existing significant or landmark structure, no increase in height of the structure is permitted.
- b. For remodeling an existing contributing structure, a height increase may be permitted through approval of an exception, as described in Section 14-4.6D.

V. Rooftop Equipment

Rooftop equipment, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, may only be installed on contributing and noncontributing structures and shall not be publicly visible, nor shall a parapet be raised to conceal such equipment.

3. Porches and Portals

Existing porches or portals on significant and landmark structures, and on primary facades of contributing structures, shall not be permanently enclosed.

4. Windows, Doors, and Other Architectural Features

- I. For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - a. Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double-pane glass may be used. No window opening shall be widened or narrowed.
 - b. Window depth and other characteristics of window and door fenestration shall be preserved.
 - c. No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - d. No historic opening shall be closed.
- II. For all facades of contributing, significant, and landmark structures:
 - a. Architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced.
 - b. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities.
 - c. Replacement or duplication of missing features shall be substantiated by documentation, physical, or pictorial evidence.

5. Roofs

The existing historic roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing historic feature of the structure.

6. Surface Cleaning

The surface cleaning of structures shall employ the gentlest means possible. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials are not permitted.

7. Archaeological Resources

Discovery of archaeological resources made during the development of a historic property shall be referred to the Archaeological Review Committee. See Section 14-2.1G.1.V.c, *Unexpected Discoveries*.

8. Signs

Sign applications and required submittals shall be reviewed by the Planning and Land Use Department. Approval or denial shall be indicated by the department on the application for the construction permit and on each of the required submittals.

9. Murals

If an application impacts a mural funded through the art in public places program or is otherwise within the scope of the arts commission's enabling responsibilities, The HDRB may refer the application to the City Arts Commission. If a proposed mural does not meet the criteria in the historic ordinance, an exception is required.

10. Pedestrian-Oriented Areas

- I. The HDRB shall recommend to the Governing Body appropriate streets or portions of streets within the historic district to be set aside for pedestrian-oriented areas.
- II. The Governing Body may set aside the areas recommended, provided that three-fourths of the property owners adjoining the street or portion of street affected have given consent thereto.
- III. Such pedestrian-oriented areas shall be closed to vehicular traffic, and any improvements made by the City in the public right-of-way within the area shall be for pedestrian purposes.
- IV. No pedestrian-oriented area shall be set aside unless there is adequate space available conveniently related to the area for vehicle parking. The HDRB's recommendation to the Governing Body shall include a statement of the available parking spaces.

E. Additional District-Specific Design Standards

2. **Downtown and Eastside Historic District**

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

I. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.

Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the

floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.

- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra

cotta, or other material, subject to approval as hereinafter provided for building permits;

- e. The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall have not more than thirty (30) inches overhang.

City of Santa Fe, New Mexico

memo

DATE: May 26, 2026
TO: Historic Districts Review Board Members
VIA: Heather Lamboy, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director *MM*
Gary Moquino, Historic Preservation Division Manager GM
FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012413-HDRB. 247 Barela St., Westside-Guadalupe Historic District, non-contributing, Santa Fe Permits, agent for Jeremy Martinez, owner, requests a status review and primary façade designation, if applicable, for a residential structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [2026 HCPI]

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be upgraded from non-contributing to contributing with the north and west facades (1, 2, 3 and4), including the corner portal designated as primary , and the yard walls and shed be designated as non-contributing per 14-04.06(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

Sample motions:

Status (for each structure):

- a. In case 2026-012413-HDRB, for 247 Barela, designate/upgrade the residential structure as contributing and designate the north and west facades (1-4), including the portal as primary façade(s).
- b. In case 2026-012413-HDRB, for 247 Barela, retain/designate the main residence as non-contributing.
- c. In case 2026-012413-HDRB, for 247 Barela, designate the yard wall(s) and the shed as non-contributing due to age.

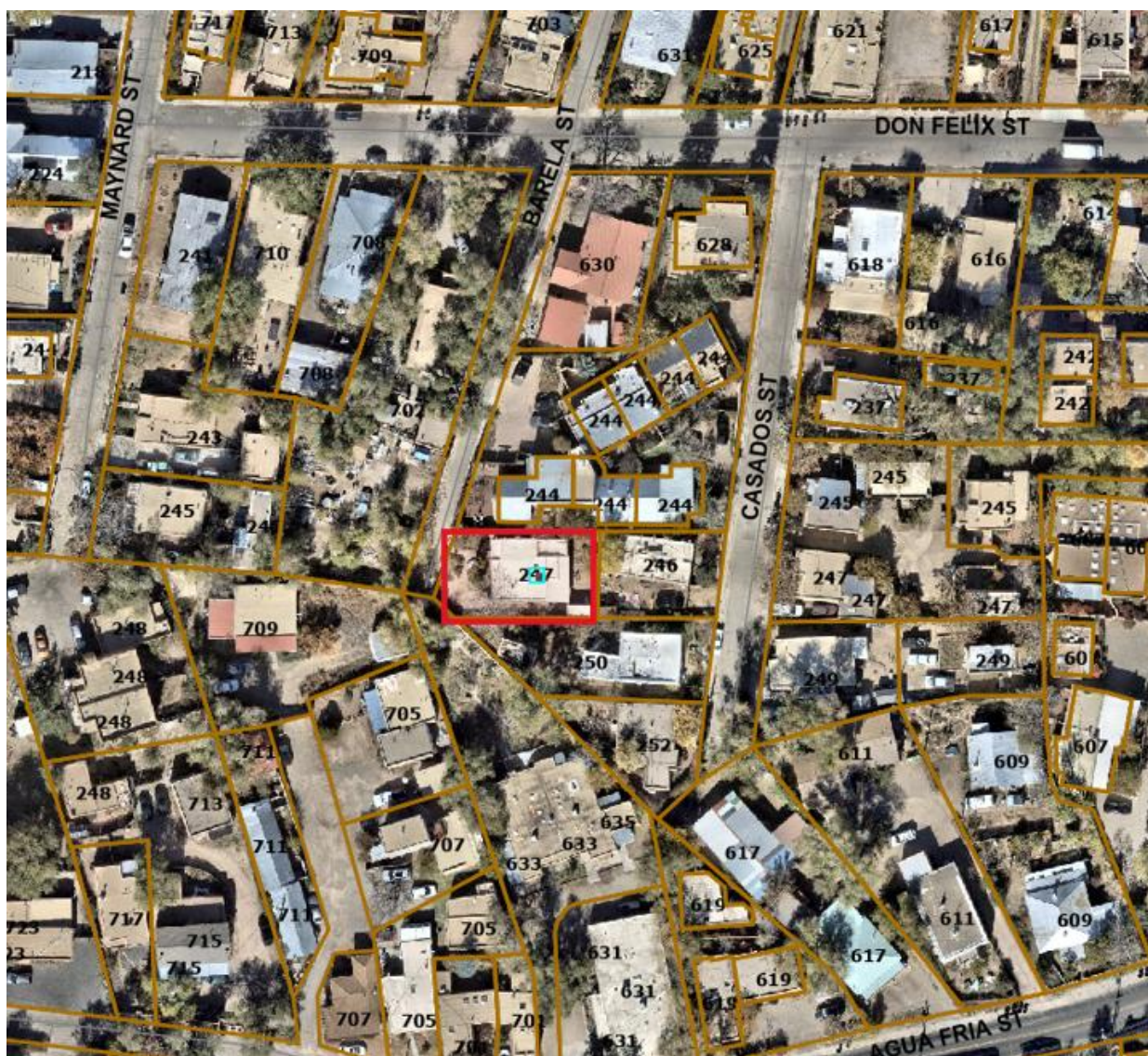


Figure 1: Property Location

BACKGROUND & SUMMARY:

The 1,250 sq. ft. 1930's vernacular style single-family residence is constructed of adobe. An addition was constructed on the northeast corner before 1957. In 1984, a solarium and extension on the south elevation, along with the frame porch on the west, were constructed.

The residence is among the earlier residences in the Garcia Addition and was historically associated with the property located approximately 25 feet to the east at 246 Casados Street. The residence was previously addressed as 246 ½ Casados Street and exhibits a modest expression of the Pueblo style. Due to a series of changes over time, the property was classified as non-contributing to the Westside-Guadalupe Historic District during the surveying of structures in the 1980s. The shed and yard walls do not have an assigned status.



Figure 2: Residential Structure



Figure 3: Post 1978 Additions

At the rear of the lot is a small shed, which is not discussed in the 2026 Historic Cultural Properties Inventory (HCPI). The shed is found in photo 12 on page 32 and photo 11 on page 31 of the 2026 HCPI. The west, east, and south of the shed have no fenestrations. The north has a simple door opening. Staff recently approved the replacement of the door of the shed because it was falling out of the building, and the building was having high water intrusion. The 1957 aerial on page 19 of the 2026 Historic Cultural Properties Inventory does not show a structure in this location. It cannot be established in the 1978 aerial, but there is a tree in the location where the shed would be. Therefore, it is presumed that the shed was constructed in the 1980s, making it ineligible for status.

The yard walls on the property were constructed after 1985 (see Figure 5 HCPI image from 1985) and are considered non-contributing due to age.



Figure 4: Shed Location in 1978 Aerial

In 2026, the property was issued a stop-work order (red-tag) for unpermitted work, including wholesale window replacement, enclosure of the solarium, alterations to the front entry porch, replacement of canales, and other maintenance items.

While the 2026 HCPI states, “The house was identified in 1985 by surveyor-architect Harry Weiss as non-contributing due to its alterations. At that time, Weiss noted the survival of six-light wood casement windows. Recent work, including the wholesale replacement of windows and the enclosure of the HDBR-approved addition (described as a solarium), has further diminished the property’s historic integrity. These changes, along with a significant increase in massing, reinforce the earlier assessment. Accordingly, the recommendation is to maintain non-contributing status. The walls and gates are too recent to be considered historic resources.” Staff disagrees that the status should remain non-contributing. In 1985, the renovations were newer; they are now over 40 years old.

Staff believes the integrity of the residence can be regained if the solarium is reestablished with new windows and entry, the arch at the entry of the portal is reestablished, and the new illegal windows are replaced with some that meet the code requirements, such as wood windows that were in the structure previously. The openings of the windows that are not a part of the solarium have not changed in size. Wood canales with metal lining should be installed as canale replacements.

While the property was stasued as non-contributing when the applicant started the work, the property was due for a status review. Staff finds that the status of the property prior to the illegal work would have been recommended as contributing. Therefore, staff finds that section 14-4.6(C)(2)(V) is relevant in this case.

Per section 14-4.6(C)(2)(V) *Restoration of Status*

If a property owner makes changes to a structure without the proper City approvals, which result in the lowering of the structure's status, staff or the Board may require the property owner to restore the structure such that its former status is restored.

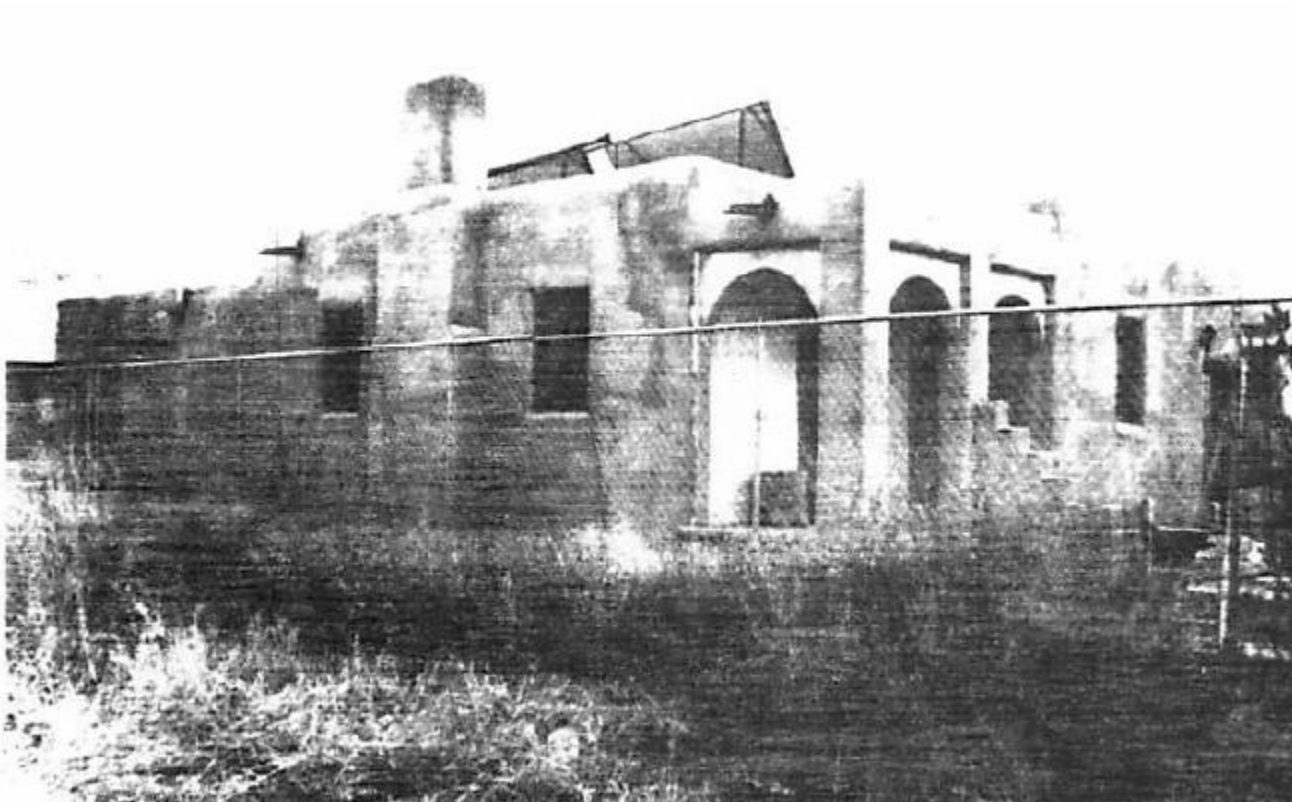


Figure 5: 1985 HCPI image of the north and west elevations

PREVIOUS CASE SUMMARIES:

ARC:

No archaeological clearance has been issued for the property.

HDRB:

In 1984, the board approved enclosing the carport to create the solarium and constructing 6'-0" high yard walls along the property boundaries.

ADMINISTRATIVE:

Under case 2026-012188-ADMIN, staff approved the stucco on the yard walls to be redone and the door on the shed to be replaced.

APPLICANT'S REQUEST:

The applicant proposes the following exterior alterations:

- 1) Status Review with primary façade designation, if applicable, for a residential structure.
- 2) Status Review with primary façade designation, if applicable, for an accessory structure.
- 3) Status Review for yard walls.

Staff finds the structure to be contributing to the district because of the original adobe construction material, the historic growth of the building, including the rear portal and small addition from the 1950s, and the solarium addition in 1978, which retains the overall appearance of the residence, the deep inset windows and doors, and the unique portal design.

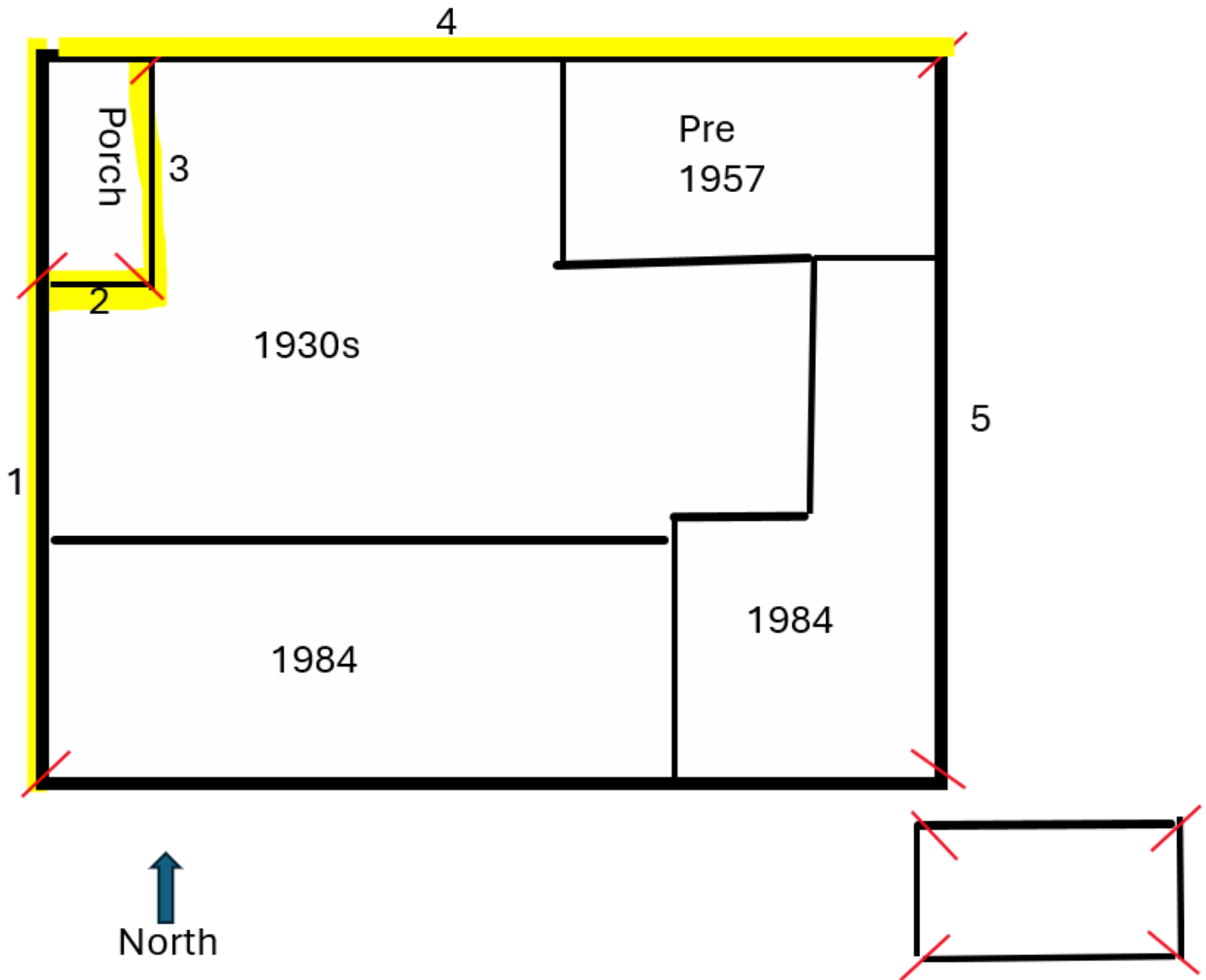


Figure 6: Façade Diagram

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

1. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of

the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance in order to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General Definitions*. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through a survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

III. Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as set forth in Section 14-5.2 as follows:
 1. Prior to the application being placed on a board agenda or prior to issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If the staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.
 2. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.
- b. Request from the property owner;
- c. A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

IV. Notice of HDRB's Review of Status

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days prior to the HDRB's review of a change in or designation of status.
- b. In addition, staff shall send notice, by first-class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days prior to the board's review of a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.
- c. With the consent of the property owner, the city shall have posted on the property a poster obtained from the planning land use department. Otherwise, the city shall post the poster on the nearest place available to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days prior to the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars

(\$50.00) will be charged.

NONCONTRIBUTING STRUCTURE

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

CONTRIBUTING STRUCTURE

A structure, located in a historic district, approximately 50 years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

SIGNIFICANT STRUCTURE

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national, or global level, or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

PRIMARY FACADE

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

G. Additional District-Specific Design Standards

5. Westside-Guadalupe Historic District

1. District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished.

- a. Slump block, stucco, brick, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal, panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- b. The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones, and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects, or with bold repetitive patterns, or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the

- city arts board for an advisory recommendation.
- c. Roof form, slope, and shape. It is intended that the buildings be designed to be "wall-dominated". "Wall-dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall-dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic, or mansard roofs are not allowed;
 - d. The use of solar and other energy-collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other energy-collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - 1. raising the parapet;
 - 2. setting back from the edge of the roof;
 - 3. Framing the collector with wood.
 - 4. In the case of pitched roofs, by integrating the collector into the pitch;
 - 5. In the case of ground solar collectors, by a wall or vegetation;
 - 6. In the case of wall collectors, by enclosing or other walls;
 - 7. Other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
 - e. Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obstructive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems.
 - f. Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage.
 - g. Greenhouses;
 - h. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends, and greenhouses made from enclosed porches or portals shall maintain the shape of the porch or portal.
 - i. Porches and portales are encouraged;
 - j. When parking spaces are required for commercial or multi-family residential buildings, they shall be placed

to the rear or side of the building.

II. Walls; Fences; Solar Collectors: Administration

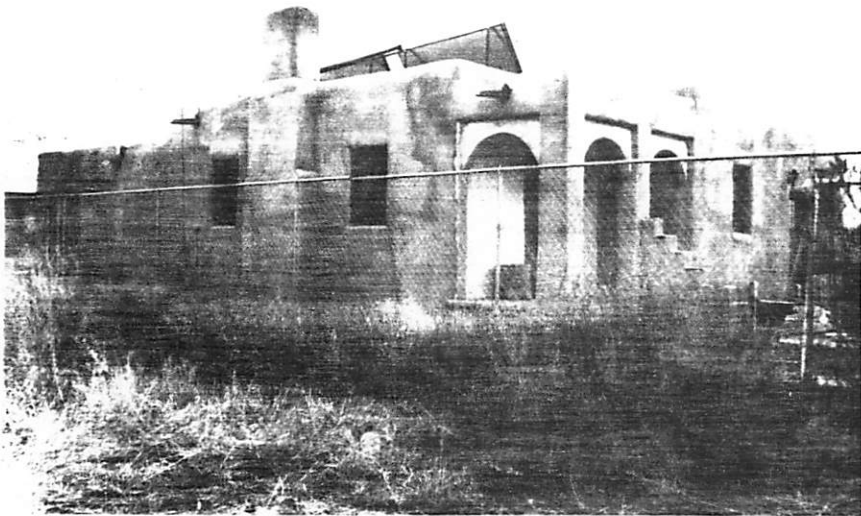
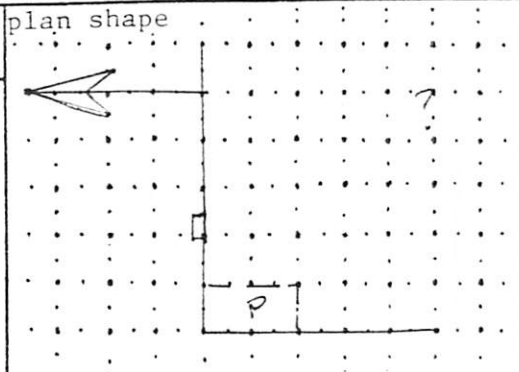
Applications for the erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division staff shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30, Ord. No. 2020-22)

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H1265

building threatened? yes	surveyed date 7/16/85 by HMW	county SANTA FE	ID no. 051613430
field map SFHD # 7	number 430	UTM reference easting zone 12 13	northing
location description 246 1/2 CASADOS ACCESS ON BARZELA		city/town SANTA FE	
		land grant/reservation	

building name	legal description tnsp ___ N S range ___ E W sec ___ 1/4 ___ 1/4
film roll by SL no. SFHD 11	negative nos. 23
loc. of neg. HPB	plan shape



date of construction 1933-39 estimate ___ actual
source S.F. DIR.

use present residential
other
historic residential
other

condition ___ excellent ___ good ___ fair ___ deteriorating

degree of remodeling ___ minor ___ moderate ___ major
describe:

style	FOUNDATION MATERIAL CONC.
	wall material/surface ADOBRE/STUCCO

architectural features FLAT RE DRAINS TO MTL CANALES @ N, BEHND STRAIGHT PARAPETS. S SIDE ADD: LARGE SOLARIUM w/ WD WDS w/ FALSE MOUNTS. ELSEWHERE: 6-LIGHT WD. CASMT WDS NW SGL-LEAF WD DOOR UNDER PORCH. PORCH: STUCCO'D FRAME w/ RECES'D FALSE ARCHES. SOME COLLECTORS ON RF.
--

surroundings RESIDENTIAL

relationship to surroundings ___ similar ___ not similar

district potential ___ yes ___ no

significance ___ eligible ___ of ___ none
--

comments

if eligible, interest why? N-C. ALTERATIONS.

NOT ABLE TO SEE ENTIRE HOUSE, ENCLOSED BY FENCE/GATE. MAJOR REPAIRS 1983-85.

associated buildings? ___ yes what type?

if inventoried, list ID nos.

see back? ___ yes



April 14, 2026

Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: 247 Barela St – Status Review

This letter is submitted on behalf of Jeremy Martinez, owner of 247 Barela St, requesting a status review of the above-mentioned property. The structure is located within the West Side Guadalupe Historic District.

Your consideration of this request is greatly appreciated. Please do not hesitate to contact us if you have any questions or require additional information.


Sincerely,


Jennifer Salimbene
Principal
Santa Fe Permits, LLC

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 4, 2026

For HPD Office use only:		
HCPI No. _____	District No. _____	Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
1. Name of property: Cesario and Deloisa Ortiz Rental Property/ Arthur Firstenberg Residence	2. Location: 247 Barela Street Westside-Guadalupe Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1265 4. County: Santa Fe Parcel # 10407040
5. Property Type: <input checked="" type="checkbox"/> Buildings: house <input checked="" type="checkbox"/> Structures: walls and entry gates <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: April 10, 2026		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: July 16, 1985, Harry Weiss <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6864682,-105.9526452		
10. Photo Information: Jim Rodman, photographer. Photo 1: View of north elevation, facing southeast.		
11. Brief Description of the Property: <p>With a core dating to the late 1930s, 247 Barela Street is an approximately 1,250-square-foot combination adobe and frame dwelling. Several additions were constructed after 1978. The house occupies a terminal position at the south end of Barela Street, on the road’s east side. It is among the earlier residences in the Garcia Addition and was historically associated with the property located approximately 25 feet to the east at 246 Casados Street. In 2026, the building was red-tagged for unpermitted work, including wholesale window replacement and other alterations. Exhibiting a modest expression of the Pueblo style and reflecting cumulative changes over time, the property is classified as Non-contributing to the Westside-Guadalupe Historic District.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Residence		
13. Construction Date: Date: Before c.1935-36, original adobe core with large 1984-85 frame and subsequent roofed additions <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>	
 <p style="font-size: small; margin-top: 5px;">Source: Office of the Santa Fe County Assessor parcel lines are not accurate</p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services w/ Jim Rodman</p> <p>For: Jeremy and Krysta Martinez, via Jennifer Salimbene</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Jeremy and Krysta Martinez</p> <p>N/A</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input type="checkbox"/> Contributing <input checked="" type="checkbox"/> Non-contributing: house <input checked="" type="checkbox"/> No Status: wall and gate Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Westside-Guadalupe Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																													
		NRHP _____ SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D																												
1. Name of property: Cesario and Deloisa Ortiz Rental Property/ Arthur Firstenberg Residence	2. Location: 247 Barela Street Westside-Guadalupe Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1265	4. County: Santa Fe 5. Date of Survey: April 10, 2026																												
ARCHITECTURAL AND CONSTRUCTION DETAILS:																															
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame		7. Number of Stories: <u> </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <u> </u> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u> </u> Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed <input type="checkbox"/> Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Thermoplastic Polyolefin																													
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Vinyl</td> <td>1</td> <td>6</td> </tr> <tr> <td>Hung-Sash</td> <td>Vinyl</td> <td>1/1</td> <td>1</td> </tr> <tr> <td>Sliding</td> <td>Vinyl</td> <td>1-1</td> <td>1</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Casement	Vinyl	1	6	Hung-Sash	Vinyl	1/1	1	Sliding	Vinyl	1-1	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Square Panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Full-light</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Square Panel	Wood	1	Single-Leaf	Full-light	Wood	1
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Type	Style	Material	Number																												
Single-Leaf	Square Panel	Wood	1																												
Single-Leaf	Full-light	Wood	1																												
12. Chimneys <input checked="" type="checkbox"/> East elevation, exterior, shouldered		13. Porches <u> </u> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																													
14. Other Significant Features N/A																															
15. Modifications: <input checked="" type="checkbox"/> <u> </u> No known modifications #1 Date: Before 1957: addition at northeast corner (assumed): aerial photographs and visual evidence #2 Date: After 1978: construction of solarium and extension along west elevation: porch, south elevation: aerial photographs #3 Date: 2026: wholesale replacement of windows: enclosure of solarium: alterations to front entry porch: visual evidence																															

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

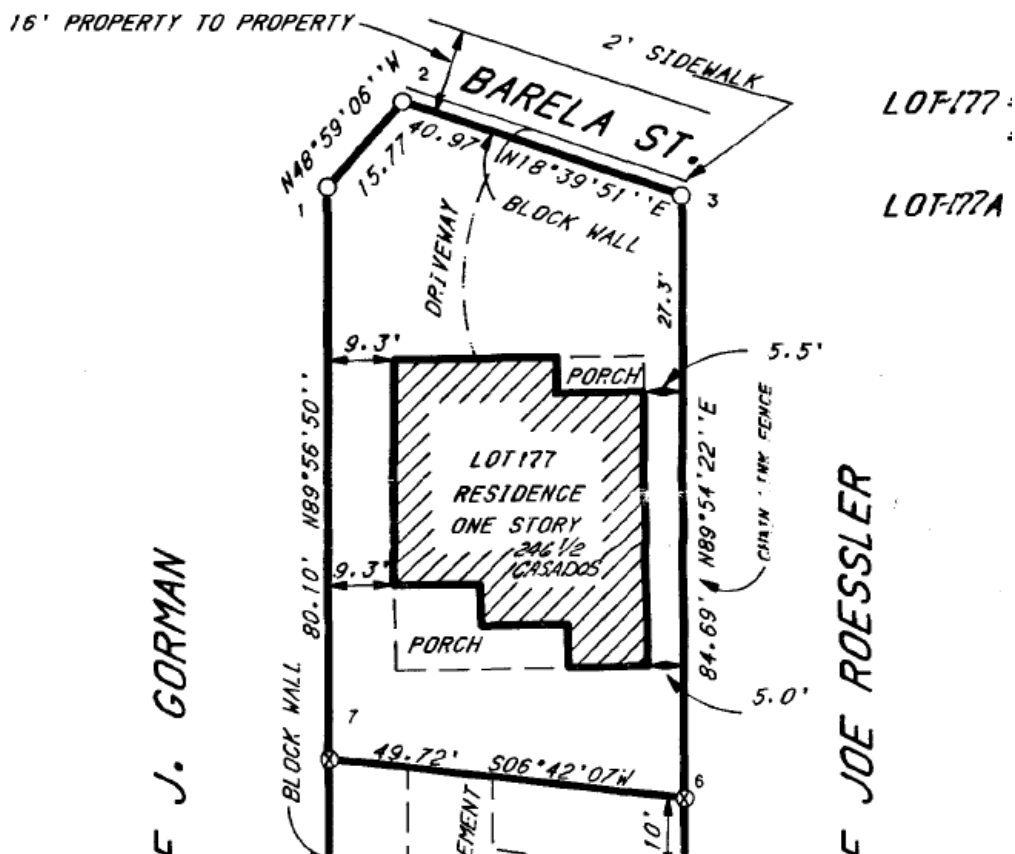
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 1993 lot split survey plat. Courtesy Carl E. Serna.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i> NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
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Architectural Description Continued

Setting

The house sits at the end of Barela Street, approximately 240 feet south of Don Felix Street on a level lot of roughly 0.1 acres (Photo 2). It was originally part of a larger parcel, Lot 5 of the Garcia Addition, which extended between Casados and Barela streets. The lot is generally rectangular in plan—except at the clipped southwest corner, which may reflect the alignment of an acequia that once coursed through the neighborhood. Along the frontage is a stucco-on-block wall with steel pedestrian and vehicular gates, all of which postdate 1978 (Photo 2).

East (front) Elevation

The house faces the street with a façade that incorporates the original entry and a 1984–85 addition that has been recently altered (Photo 1). Beginning at the east end is a small entry portal distinguished by arched openings (Photo 3). The structure encloses an approximately 56-square-foot porch. The roof is framed with small-diameter vigas, overlaid with wide wood boards (Photo 4). The floor is concrete.

Recent demolition has exposed the wall assembly, revealing a sequence of diamond mesh lath, plaster, and at least two layers of stucco finish (Photo 5). This work appears to involve the removal of what appears to be later modifications to the openings that gave them a rounded arch profile (Photo 6). The house is entered through a non-historic, decorative wood panel (Photo 7).

Moving west is a recently replaced window (Photo 8). As documented in a 1985 survey, this opening formerly included a stuccoed lug sill which is no longer present (Fig. 10). Continuing west is an addition, constructed in 1984–85 (based on permit records) and approved by the HDRB. Originally a carport, it was later enclosed with a window and entry door on this façade and worked as a solarium (Fig. 2). These elements have recently been removed, and their openings are currently infilled with oriented strand board (OSB) sheathing (Photo 9).

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West Elevation

The west elevation overlooks a shallow side yard and consists entirely of post-1978 construction (Photo 10). This includes the previously noted solarium and a continuation of a newer façade (Fig. 3). At the north end of the former, the opening has been filled in with OSB sheeting and a new window opening has been introduced (Photo 11). Beyond this is additional post-1978 construction, where the windows have been recently replaced. At the south end, the elevation terminates in a new porch. This section shows recently replaced *canales*.

South Elevation

The south elevation is defined by a long porch or *portal*. Based on aerial photography, the majority of the façade postdates 1978 (Figs. 1 & 8). Beginning at the west end is the previously discussed volume associated with the 1984–85 addition. Its windows have been recently replaced (Photo 12).

The remainder of the covered façade and porch also postdate 1978 (Photo 13). Portions appear to represent the enclosure of an earlier and shorter portal. At the far east end is a separate volume, likely an addition, that is visible in the 1978 aerial. Its single window has also been replaced (Photo 14).

The porch opens onto a brick-paved patio, accessed through a full-light wood door (Photo 15).

East Elevation

Set close to the property line, the east elevation contains two window openings and a large exterior chimney (Photo 16). As on the other elevations, the windows have been recently replaced (Photo 17). The shouldered chimney appears consistent with the form documented in the 1985 survey; however, new scuppers have been added along the parapet (Fig. 10).

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Interior

The interior was not accessible during the site visit but is understood to contain two bedrooms and two bathrooms, reflecting a renovation undertaken in the 2000s.

Historical Overview

Casados Street, a short north–south-oriented lane off Don Felix Street, originated as agricultural fields irrigated by an acequia. It began to be subdivided for residential use in the late 1920s. These subdivisions—some only a block in length—were created by a mix of outside investors and local landowners holding tracts adjacent to the Santa Fe River. Among this group was Marcelino Garcia, a prosperous merchant and local politician. Born in 1854, Garcia lived in a family compound at the southwest corner of Alto and West Garcia (now Closson) streets. He owned substantial land along Alto Street and was described in his obituary as a “prominent real estate owner”(Fig. 4).¹

The Garcia Addition

In late September 1927, Marcelino and his wife, Kittura Garcia, platted the eponymous Garcia Addition, a roughly 2.75-acre tract south of Felix Street. This created 16 lots aligned along the newly laid out Barela and Casados streets (Fig. 5). One lot was sold the following year to Paul Casados, for whom the street was likely named. Following Marcelino Garcia’s death the next year, the subdivision became entangled in a prolonged probate proceeding, and the lots remained idle.

With the resolution of Garcia’s estate, the remaining lots were sold off beginning in the early 1930s through his executor. One such transfer, in 1935, conveyed Lot 5 to Cesario and Deloisa Ortiz.² Cesario, a Democrat aligned with New Deal politics, operated a

¹ “Marcelino Garcia, For Years Democratic Leader in City and County, Dies, Aged 75,” *Santa Fe New Mexican*, April 11, 1929, 3.

² Quitclaim Deed, Manuel Delgado, executor of the Marcelino Garcia estate, to Cesario and Deloisa Gonzalez Ortiz, recorded August 17, 1935, Book W, Page 541, Instrument # 49118, Santa Fe County, New Mexico.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		5. Date of Survey: April 10, 2026			

grocery, served as an alderman, and was active in local affairs. Deed research indicates that he and Deloisa held extensive real estate along the Agua Fria Street corridor and likely acquired this property for investment. They did not reside on the parcel, which originally spanned between Casados and Barela streets, but appear to have constructed two houses: one facing Casados and the other facing Barela.

Early Tenants

The 1936 city directory identifies the combined residences as 246 Casados Street, with the house fronting Barela described as the “rear” residence.³ Occupying that rear dwelling were Maria Jesusita Perrault and her daughters, Beatrice, Dolores, and Olivia. Born in 1877 in Buenaventura, Chihuahua, Mexico, Perrault lived in Silver City, where her husband, Edward Albert Perrault, worked as a miner.⁴ Following his death in 1926, she moved with her children to Santa Fe.

In 1928, Perrault was elected New Mexico’s first female Secretary of State, serving under Governor Richard Charles Dillon (Fig. 6). During the Great Depression, she served as the first director of the U.S. Employment Service in New Mexico.⁵ Perrault and her daughters appear to have leased the residence only briefly but are its first known tenants.

The next tenants were Willard and Ethel Moyer, along with their daughter Susan and sons Albert and Willard, Jr. Willard had been raised in Minnesota and Ethel in Nebraska, while their children were born in Montana and Colorado, reflecting a pattern of movement across the American West. Willard, Sr., worked as a statistician for the Works Progress Administration’s state office in Santa Fe. Ethel managed the household, while Susan was employed as a stenographer with the New Mexico Bureau of Revenue. The family rented the house for \$20 per month.⁶

³ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1936* (El Paso: Hudspeth Directory Company, 1936), 160 and 192.

⁴ Susan Berry and Sharman Apt Russell, *Built to Last: An Architectural History of Silver City, New Mexico* (Santa Fe: New Mexico Historic Preservation Division, 1986), 64.

⁵ “Funeral Rites Set Tomorrow,” *Santa Fe New Mexican*, May 20, 1960, 7.

⁶ U.S. Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 11B; Enumeration District: 25-8A.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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They were soon replaced by Antonio and Rosemary Salas. Like his predecessors, Antonio held a white-collar position, working as an accountant for the McCrossen Handwoven Textiles Company on Canyon Road.⁷ They were followed by other tenants, while ownership of the property remained with Cesario and Deloisa Ortiz. After World War II, the rear dwelling—representing the subject property—came to be identified as 246½ Casados Street. The house and its surroundings during this time are observable in a 1948 aerial photograph (Fig. 7).

Changing Ownership

In 1954 the Ortizes sold the property, including both houses, to the adjoining landowner to the south, John Gorman.⁸ Gorman, who had lived along Casados Street since near its inception, continued to rent out both dwellings. The house, which appears to have taken on an addition and small rear portal, is evident in an aerial photograph from this period (Fig. 8).

In 1965, John Gorman and his wife, Lucy, along with Cipriano and Angie Ortega, defaulted on a mortgage secured by the property. The Mutual Building and Loan Association initiated foreclosure proceedings, resulting in a court-ordered sale.⁹ The property was subsequently conveyed by a special warranty deed to Edward and Ymelda Catanach, who held it until the early 1980s.¹⁰ Similar to the Ortizes and later the Gormans, they used the property as an income-producing asset, renting out the two houses.

In 1984, Edward and Ymelda Catanach transferred Lot 5 to husband and wife Raymond and Yolette Griego.¹¹ The Griegos appear to have already been residing on the property, renting out a portion as a two-bedroom apartment. In 1991, the couple subdivided the

⁷ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1946* (El Paso: Hudspeth Directory Company, 1946), 249.

⁸ Quitclaim Deed, Cesario and Deloisa de Ortiz to John Gorman, recorded November 5, 1954, Book 76, Page 168, Instrument # 1954201677, Santa Fe County, New Mexico.

⁹ County of Santa Fe, District Court Case # 34770.

¹⁰ Warranty Deed, Mutual Building and Loan Association to Edward and Ymelda S. Catanach, recorded March 26, 1965, Book 223, Page 313, Instrument # 1282017, Santa Fe County, New Mexico.

¹¹ Warranty Deed, Edward and Ymelda S. Catanach to Raymond and Yolette Griego, recorded June 26, 1984, Book 493, Page 829, Instrument # 544827, Santa Fe County, New Mexico.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: April 10, 2026			

lot into two separate parcels, with the portion containing the subject house identified as Lot 177 (Field 19, Site Plan). Potentially reflecting a divorce, Raymond deeded his interest in Lot 177 to Yolette, who by 1993 appears as Yolette Catanach.

The rear parcel retained its Casados Street address through the 1990s. Both houses were offered for sale in the 2000s, with the subject property described in real estate listings as a two-bedroom, two-bath adobe with a stucco-on-frame addition.¹²

It was sold in 2008 to Arthur Firstenberg, a writer and activist known for his opposition to cell towers and wireless technology and for asserting a condition of electromagnetic sensitivity. With this transfer, the rear dwelling received a new address: 247 Barela Street, which became the headquarters of the Cellular Phone Task Force, an organization “dedicated to halting the expansion of wireless technology.”¹³

Firstenberg, who also owned 246 Casados Street, occupied the Barela Street house and rented the other to his cook, Raphaela Monibot. He later filed a lawsuit against Monibot concerning her use of wireless devices at the property.¹⁴ Following Firstenberg’s death in 2025, 247 Barela Street was sold to its present owners.¹⁵

¹² “Open Houses” [listing 6], *Santa Fe New Mexican*, May 6, 2007, Real Estate insert, 46.

¹³ Cellular Phone Task Force, “About Us,” <https://www.cellphonetaskforce.international/about-us/>.

¹⁴ Tom Sharpe, “Wi-Fi Foe Sues Neighbor Over Electronics Use,” *Santa Fe New Mexican*, January 8, 2010, A-1 & A-4.

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Evaluation of Historical Status

The house was identified in 1985 by surveyor-architect Harry Weiss as Non-contributing due to its alterations. At that time, Weiss noted the survival of six-light wood casement windows. Recent work, including the wholesale replacement of windows and the enclosure of the HDBR-approved addition (described as a solarium), has further diminished the property’s historic integrity. These changes, along a significant increase in massing, reinforce the earlier assessment. Accordingly, the recommendation is to maintain Non-contributing status. The walls and gates are too recent to be considered historic resources.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: April 10, 2026	

Illustrations



Figure 1: 2025 satellite view of 247 Barela Street. Red indicates new mass and/or roofed porch areas constructed after 1978.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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Figure 2: 2007 Google Street View image of north (front) façade. Highlighted areas indicate alterations made in 2026.

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 Historic Preservation Division, New Mexico Department of Cultural Affairs

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		3. Local Reference Number: Santa Fe ID: H-1265	
		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



Figure 3: 2023 Google Earth view. Highlighted area indicates fenestration removed and covered with OSB across the solarium.

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		4. County: Santa Fe			
		5. Date of Survey: April 10, 2026			



Figure 4. N. L. King, “Official Map of the City of Santa Fe,” 1912, with Marcelino Garcia’s ownership highlighted. This land would include the future Barela Street.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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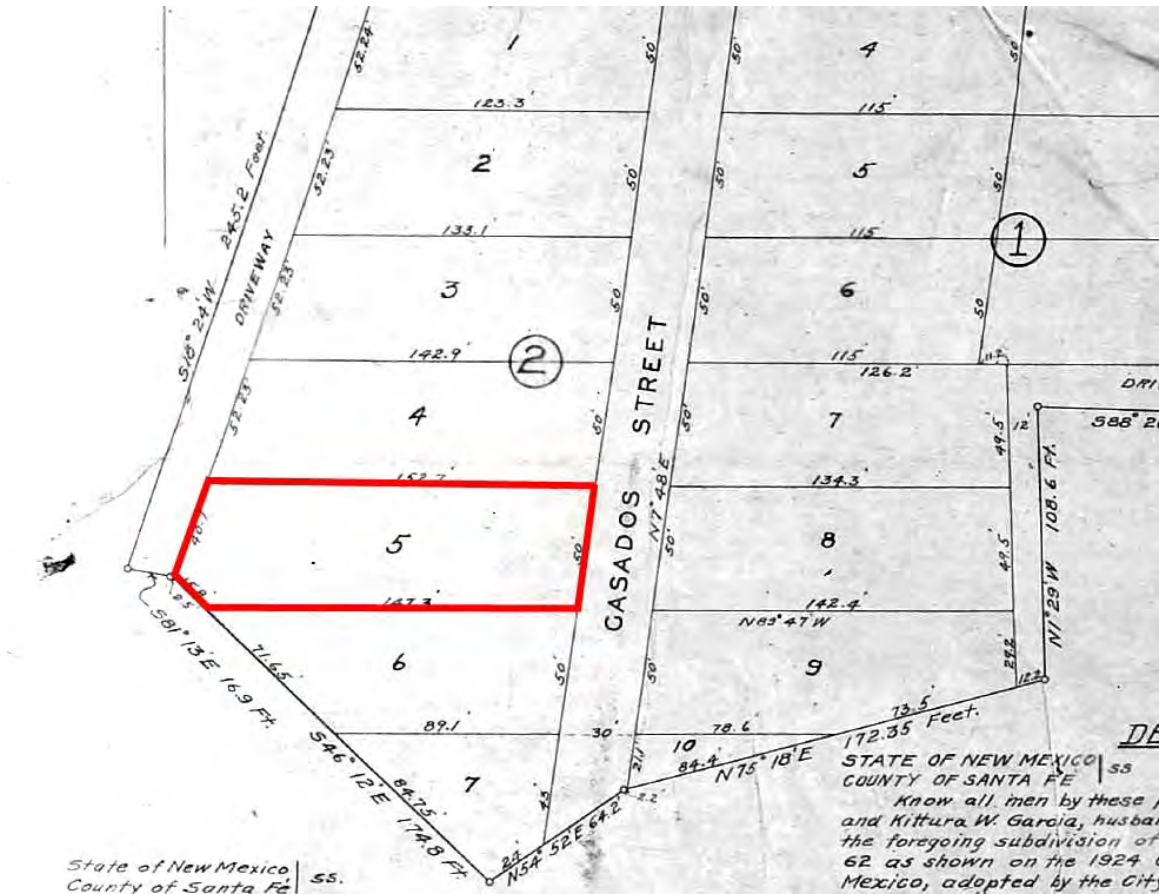


Figure 5: Portion of 1927 Garcia Addition plat map, with original lot highlighted.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
 Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



Figure 6: Campaign photograph of Jesusita Perrault. Source: *Santa Fe New Mexican*.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe		
		5. Date of Survey: April 10, 2026		



Figure 7: October 25, 1948, aerial photograph. Subject lot highlighted.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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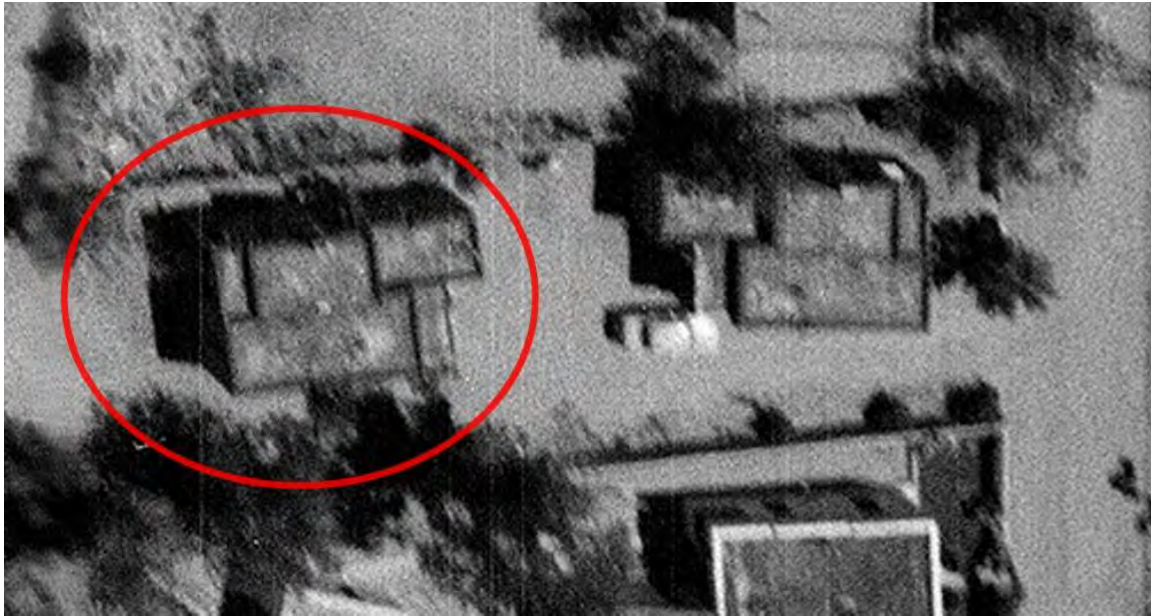


Figure 8: June 6, 1957, aerial photograph. Subject house highlighted.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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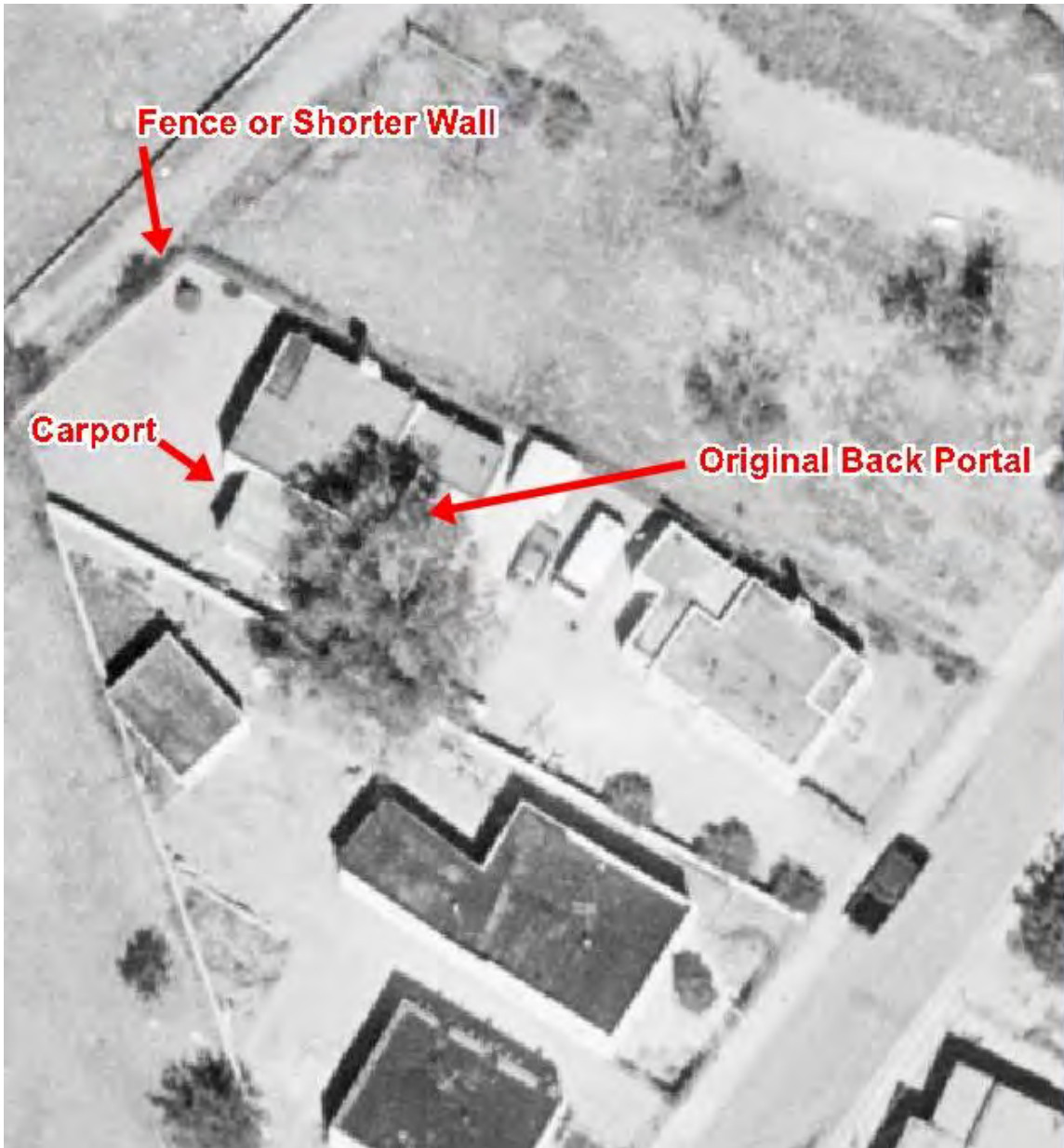


Figure 9: September 11, 1978, aerial photograph.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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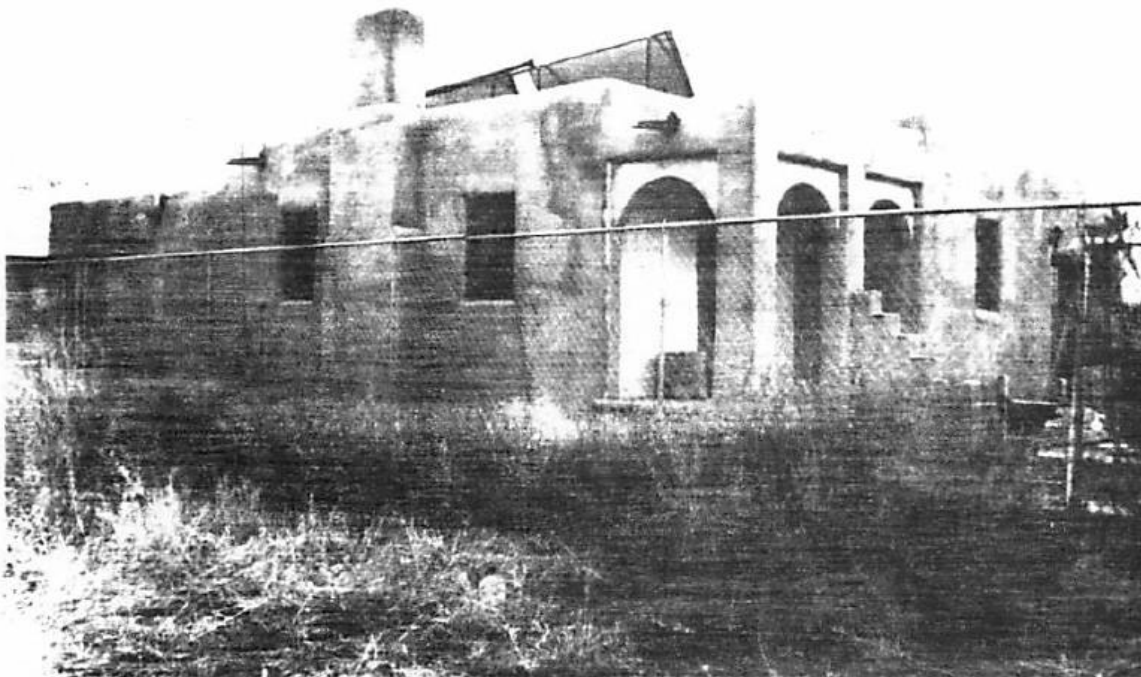


Figure 10: Copy of July 16, 1985, HBI photograph, east and north elevations. Harry Weiss, photographer.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe		
		5. Date of Survey: April 10, 2026		

Survey Photographs

(All images taken by Jim Rodman on April 10, 2026, unless otherwise noted)



Photo 2: Non-historic vehicular gate and setting. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



Photo 3: North façade entry portal. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



Photo 4: North façade entry portal, decking. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: April 10, 2026		



Photo 5: North façade entry portal, damage to plaster. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



Photo 6: North façade entry portal, probable later arch insert. Camera facing up.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 7: North façade entry portal, entry door. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Cesario and Deloisa Ortiz Rental Property/ Arthur Firstenberg Residence	2. Location: 247 Barela Street Westside-Guadalupe Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1265		
		4. County: Santa Fe		
		5. Date of Survey: April 10, 2026		



Photo 8: North façade, replaced window. Camera facing southwest.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 9: North façade, former entry and window of solarium filled in with OSB sheathing. Camera facing south.

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		5. Date of Survey: April 10, 2026			



Photo 10: West elevation. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe	
		5. Date of Survey: April 10, 2026	



**Photo 11: West elevation. Note introduction of OSB sheathing and replaced windows
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 12: South elevation, west end. Note replaced windows. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: April 10, 2026			



Photo 13: South elevation portal. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 14: South elevation, east end. Note replaced window. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe		
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Photo 15: South elevation entry door. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe		
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Photo 15: East elevation. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 17: East elevation, replaced window. Camera facing southeast.



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: April 07, 2026

To: Building Permit Division

From:

Lani McCulley

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 247 BARELA ST, Santa Fe, NM 87501

Case Number: 2026-012188--ADMIN

Contact Name: Jennifer Salimbene

Phone Number: 214-394-1966

Email: jennifer@santafepermits.com

Approved Scope of Work: *Re-roof 1,700 sq. ft. of structure using TPO as submitted. Stucco house, accessory structure, and yard wall in "onion skin" texture in a custom synthetic similar to Sandstone or Pueblo.*

Hardscaping, such as redesigning walking paths and updating planters as needed.

Conditions of Approval: *There shall be no publicly visible rooftop appurtenances, and no roofing material shall be on the top of the parapets; it shall be flashed on the interior of the parapets.*

There shall be no changes to existing skylights, canals, solar, mechanical, line sets, or other rooftop appurtenances at this time.

**Windows shall not be approved until after a status is established.*

**No other work at this time.*

**FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
FINAL HISTORIC INSPECTION**



April 3, 2026

Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: 247 Barela St - Administrative Approval for Exterior Repairs

This letter is submitted on behalf of Jeremy Martinez, owner of 247 Barela St, requesting administrative approval for exterior repair work at the property within the West Side Guadalupe Historic District.

The scope of work includes minor exterior repairs and maintenance consistent with district standards:

- Roof replacement with TPO roofing material (*1,650 SF total roof area*)
- Repair and re-stucco of damaged areas, utilizing wall mesh and synthetic STO system to match La Habra “Onion Skin” texture
- Yard wall Stucco finish to match La Habra “Onion Skin” texture
- Emergency replacement of back door not visible
- Hardscaping Improvements (*Redesign walking paths; update planters*)

These improvements are intended to maintain the property while ensuring materials and finishes remain compatible with the surrounding area.

Your consideration of this request is greatly appreciated. Please do not hesitate to contact us if you have any questions or require additional information.

Encl: Spec Sheets

Sincerely,

Jennifer Salimbene
Principal
Santa Fe Permits, LLC



EVERGUARD® TPO

TPO Adhesive

Description

EverGuard® Low VOC TPO Bonding Adhesive is a contact-type bonding adhesive specially designed for bonding TPO single-ply roofing membranes and flashings to various roofing substrates. EverGuard® Low VOC TPO Bonding Adhesive contains less than 250 grams per liter of Volatile Organic Compounds (VOCs) and has been formulated using a blend of VOC-exempt and non-exempt solvents to be in compliance with air-quality regulations for single-ply roofing adhesives.

Features and Benefits

- Low VOC—<250 g/L
- High coverage—up to 120 sq. ft. per gallon (2.95 m²/liter) of bonded membrane
- Fast-drying solvent system
- Easy application using roller or brush
- High initial tack

Physical Properties

Base: Synthetic polymer
Solvent: VOC-compliant blend
Flash Point: -9.4°F (-23°C)
Weight/Gallon: 8 lb. (3.63 kg/liter)
Color: Yellow
Viscosity: 1,200 – 1,700 cps
Coverage: 100 – 120 sq. ft./gallon (2.45 – 2.95 m²/liter)
Total Solids: 38% +/- 1%
VOC: 247 grams/liter
Shelf Life: 1 year, unopened
Open Time: Up to 60 minutes
Dry Time: 5 – 15 minutes
Application: Roller, brush, or spray
Storage: Recommended storage temperature range 40°F – 90°F (4.4°C – 32.2°C). Shelf life approximately 1 year. Storage for continued periods outside this temperature range may shorten shelf life.
Installation Temperature: Minimum application temperature of bonding adhesive is 40°F (4.4°C) and rising.



Low VOC TPO Bonding Adhesive

Ordering Information

Item Number: 7784
Packaging: 5-gallon (18.93 liter) pails
Weight: 40 lb. (18.14 kg)
Shipping: 45 pails per pallet

Quality You Can
Trust...From
North America's
Largest Roofing
Manufacturer!™

EverGuard® TPO 60 mil Membrane Information Sheet

Updated: 6/18



*Quality You Can Trust...From
North America's Largest Roofing Manufacturer!™*



EVERGUARD® TPO

MEMBRANE 60 MIL

Why TPO

- Great Value—Excellent performance at a cost-effective price
- Excellent Seam Strength—Heat-welded seams provide greater seam strength to taped and other seams
- Long-term Weathering—Excellent long-term heat and UV resistance
- Energy Saving—Highly reflective and emissive white roof can help reduce energy costs and urban heat island effect
- CREST Energy Savings Calculator—See your potential savings at cool.gaf.com
- Versatile Application Method

Why GAF EverGuard® TPO

- Outperforms standard TPO in heat aging and UV tests—the best predictors of TPO performance
 - After accelerated heat aging at 275°F (135°C) for 105 days, EverGuard® TPO showed no cracking—while every one of the competitors' samples had failed! **See below:**
 - UV testing—Greater than 2.5 times the industry standard (ASTM D6878 weather resistance test)
- Guarantees are available up to 25 years when using EverGuard® TPO 60 mil Membrane.*
- Easier to install due to:
 - Large welding window
 - Most complete line of accessories
 - 10' (3.05 m) wide sheets



Fall River Courthouse, Fall River, Massachusetts

Installation

EverGuard® TPO 60 mil Membrane is suitable for all types of single-ply systems:

- Mechanically Attached Application...for a quick and cost-effective system that can be installed practically year-round.
- RhinoBond® Application...can be applied without using adhesives and installed practically year round. Qualifies for the same guarantee length as an adhered system.*
- Adhered Application...can be installed with EverGuard® 1121 Solvent-Based Adhesive, EverGuard® Low VOC Adhesive, or EverGuard® WB181 Water-Based Adhesive for the smoothest appearance. Provides excellent wind uplift performance.

Accessories

Field fabrication of TPO accessories is time-consuming, costly, inconsistent, and can lead to unreliable details that compromise a watertight roofing system. EverGuard® TPO prefabricated accessories deliver consistent quality and eliminate the worry and problems often associated with field fabrication. They can also boost productivity up to 200%,** while reducing installed cost by up to 12%.

*See applicable guarantee for complete coverage and restrictions.

**Based on GAF estimate to field-fabricate flashing details.

Quality You Can Trust...From North America's Largest Roofing Manufacturer!™

gaf.com



U.S. only



California Title 24 Compliant



TPO membranes meet the performance requirements of ICC ER-6930

EverGuard® TPO 60 mil Membrane

Applicable Standards

UL Listed, FM Approved, Miami-Dade County Product Control Approved, State of Florida Approved, CRRC Rated, Title 24 Compliant*, ENERGY STAR® Certified**, ASTM D6878.

Physical Properties	ASTM Test Method	ASTM D6878 Minimum	EverGuard® Typical Test Data
1. Certain data is provided in MD (machine direction) x CMD (cross machine direction) format. 2. Data is based upon typical product performance, and is subject to normal manufacturing tolerance and variance.			
Nominal Thickness	ASTM D751	0.039" (min.) (0.99 mm)	0.060" (1.52 mm)
Breaking Strength	ASTM D751 Grab Method	220 lbf/in. (38.5 kn/m)	305 lbf x 290 lbf (454 x 432 kg/m)
Factory Seam Strength	ASTM D751	66 lbf (98.34 kg/m)	135 lbf (membrane failure) (201.1 kg/m)
Elongation at Break	ASTM D751	15%	30%
Heat Aging	ASTM D573	90% Retention of Breaking Strength and Elongation at Break	100%
Tear Strength	ASTM D751 8" x 8" (203 x 203 mm) Sample	55 lbf (81.95 kg/m)	75 lbf x 130 lbf (111.8 x 193.7 kg/m)
Puncture Resistance	FTM 101C Method 2031	Not Established	380 lb. (172 kg)
Cold Brittleness	ASTM D2137	-40°C	-40°C
Permeance	ASTM E96	Not Established	0.08 Perms
Dimensional Change	ASTM D1204 @158°F (70°C), 6 hrs.	+/-1%	0.4%
Water Absorption	ASTM D471 @158°F (70°C), 1 week	+/-3.0% (top coating only)	0.7%
Hydrostatic Resistance	ASTM D751 Method D	Not Established	430 psi
Ozone Resistance	ASTM D1149	No visible deterioration @ 7 x magnification	No visible deterioration @ 7 x magnification
SRI (Solar Reflectance Index) Initial/Aged	N/A	N/A	94/81 83 Aged Title 24
Reflectivity (white) Initial/Aged	ASTM C1549 ASTM E903	N/A N/A	0.76/0.68 81.9% Reflectance
Emissivity (white) Initial/Aged	ASTM C1371 ASTM E403	N/A N/A	0.90/0.83 0.94
Weather Resistance	ASTM G155/D6878	10,080 KJ/(m ² · nm) at 340 nm	>25,000 KJ/(m ² · nm) at 340 nm
Heat Aging	ASTM D573	240°F (115°C) for 32 weeks	60 weeks
Thickness Above Scrim	ASTM D7635	Min 30% of Total Thickness	22.1 mil (Nominal)
Guarantee			
Up to 25 years			

*White, Energy Gray, and Energy Tan Membranes Only

**ENERGY STAR® only valid in the U.S.

Product Data

Roll Size	5' x 100'	6' x 100'	8' x 100'	10' x 100'	12' x 100'
	(1.52 x 30.5 m) (500 sq. ft. [46.5 sq.m])	(1.83 x 30.5 m) (600 sq. ft. [55.74 sq.m])	(2.44 x 30.5 m) (800 sq. ft. [74.3 sq.m])	(3.05 x 30.5 m) (1,000 sq. ft. [92.9 sq.m])	(3.65 x 30.5 m) (1,200 sq. ft. [111.484 sq.m])
Roll Weight	162 lb. (73.5 kg)	194.4 lb. (88.2 kg)	257 lb. (117 kg)	322 lb. (146.1 kg)	386.4 lb. (175.3 kg)
Colors	White, Tan, Gray				
Storage	Store rolls on their sides on pallets or shelving in a dry area.				
Safety Warning	Membrane rolls are heavy. Position and install by at least two people.				
Note:	Membrane rolls shipped horizontally on pallets, stacked pyramid-style and banded. Product sizes, dimensions, and widths are nominal values and are subject to normal manufacturing/packaging tolerance and variation.				

RhinoBond® is a registered trademark of OMG.



City of Santa Fe, New Mexico

memo

DATE: May 26, 2026
TO: Historic Districts Review Board Members
VIA: Heather Lamboy, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director *MM*
Gary Moquino, Historic Preservation Division Manager GM
FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012414-HDRB. 426 Delgado Ln., Downtown & Eastside Historic District, contributing, Gayla Bectol, agent for Paige Cochran and Kareem Abu-Zeid owners, requests a status review and primary façade designation, if applicable, for a primary residence, guest house, shed, and yard walls.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [Previous Case Documents]

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [2026 HCPI]

STAFF RECOMMENDATION:

Staff recommends the historic status of the primary residence be maintained as contributing with east façades 1, 2, 3, 4, and 5 as primary, the shed be designated as contributing with the east façade as primary, and the three perimeter walls be designated as contributing, while the guest house be designated non-contributing due to age per 14-4.6(C) Designation of Significant, Contributing or Noncontributing Status Within Historic Districts.

Sample motions:

- a. In case 2026-012414-HDRB, for 426 Delgado Lane, retain/designate the primary residence as contributing and designate the east facades (numbers from façade diagram) as primary façade(s).
- b. In case 2026-012414-HDRB, for 426 Delgado Lane, designate the shed as non-contributing/contributing and designate the (north, east, south, west) as the primary facade.
- c. In case 2026-012414-HDRB, for 426 Delgado Lane, designate the (east, south, and west) yard walls as non-contributing/contributing.
- d. In case 2026-012414-HDRB, for 426 Delgado Lane, designate the guesthouse as non-contributing due to age.

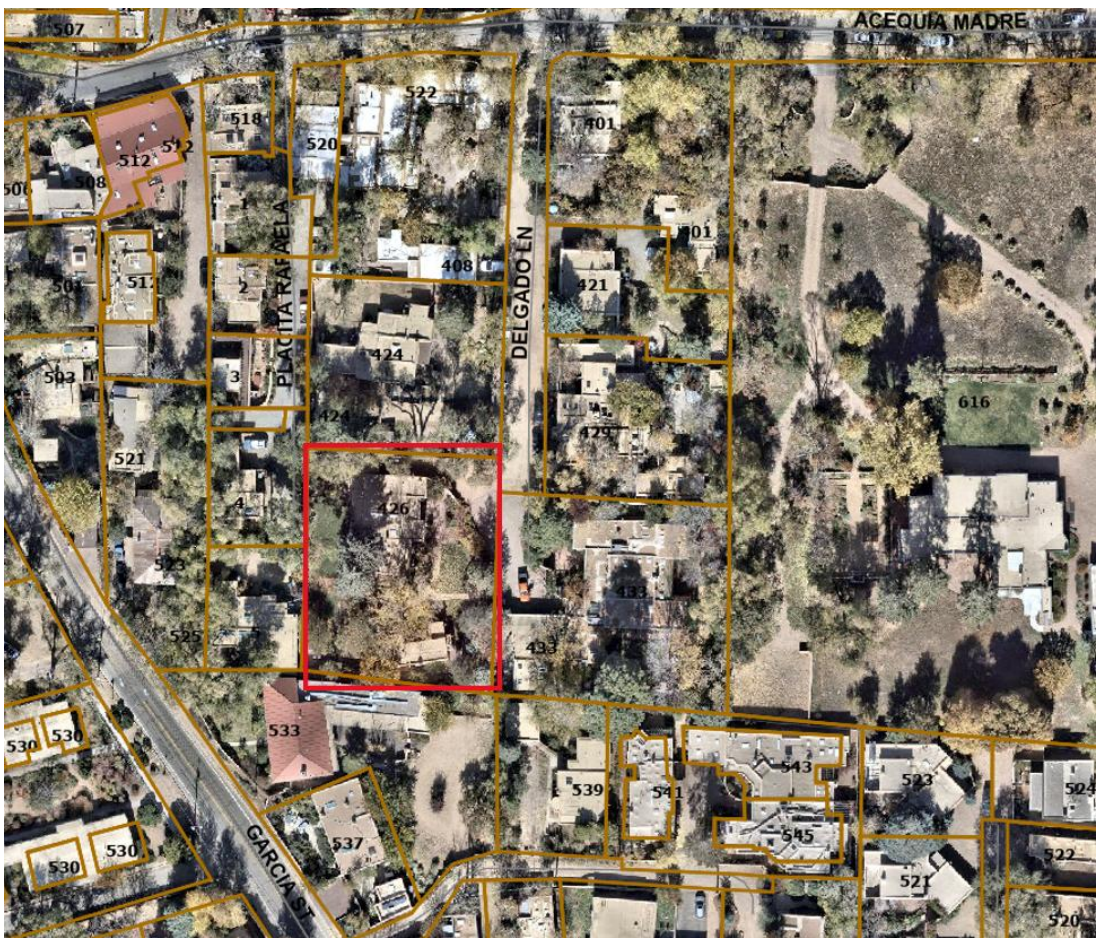


Figure 1: Property Location



Figure 2: Streetview of Property

BACKGROUND & SUMMARY:

Main Residence:

The single-family residence at 426 Delgado Lane is known as the Russell House and was constructed of adobe in late 1928, likely by Rose Parker Curtis. The residence is listed as contributing to the Downtown and Eastside Historic District, with the east designated as the primary facade. The guesthouse, tool shed, and site walls do not have a status assigned.

The residence sits on 0.38 acres and is defined by a walled yard. The primary residence faces east. The original portion of the house is on the north end and is constructed of adobe. It was first plastered in 1933, and an open porch was added to the east entry in 1936. The east elevation once held vigas that were cut off and covered in 1946. The east enclosed porch entrance was constructed in 1954. The portal and French doors were added to the west elevation in 1958, and the wood, double-hung, single-pane windows were installed in 1964.

The building has expressive, undulating parapets. The east elevation incorporates a recessed entry porch. The windows are wide openings fitted with combination fixed-over-awning wood windows with insulated glazing. A 1993 addition is located on the south end of the residence; its eastern elevation steps back about ten feet from the original structure. The west elevation houses the newer addition and a transition to the original structure, which creates a narrow passageway. The western portal features flared stuccoed columns and a simple wood plate, beam, and decking, which do not appear to be historic. At the north end of the portal is a storage closet. At the north of the portal is a lower section, which was originally the garage that was converted and extended. The original garage and replacement garage are constructed of structural clay tile. The north elevation consists of the 1936 garage and the original house. Neither the windows nor the openings appear to be original to the residence. The 1936 garage attaches at a right angle to the north elevation and once held a wood door that has since been changed to a window.

Guest House:

The guesthouse is located on the south end of the property with the main entrance facing the north. It is a Pueblo Revival style of approximately 744 sq. ft. It contains a recessed entry similar to the main residence. However, it has level parapets and divided lite windows.

Shed:

Historic Districts Review Board, Case #2026-012414-HDRB

Page 3 of 10

The shed structure is present in the 1958 aerial. The form, materials, and fenestration are consistent with the historic period of the property’s development. According to the 2026 HCPI, “Despite its minor scale, the shed contributes to the historic feeling and association of the site and is therefore considered a contributing resource within the district.”



Figure 3: The Shed

Yard walls:

The east perimeter wall is well documented as having been constructed in 1947 by the Eubank Construction Company. This includes the front gate. The west wall was constructed in 1949 by Lineberry Contractors. Additional work from 1949 included the fireplace and banco at the northwest corner. The south property wall is constructed of pumice block and was constructed in 1962 by John Gianardi, but was reconstructed in 1965. By virtue of age, materials, and design, the three walls contribute to the historic character of the site and the broader district.



Figure 4: East Yardwalls

PREVIOUS CASE SUMMARIES:

ARC:

No Archaeological clearance has been issued for this property.

HDRB:

The property came to the Historic Districts Review Board in 1992 under case H-92-067 for a second-floor addition, which was denied, and the guest house, which was approved.

ADMINISTRATIVE:

No administrative approval cases are on file.

APPLICANT'S REQUEST:

The applicant requests:

- 1) Status and primary façade confirmation for the main residential structure.
- 2) Status review with primary façade designation, if applicable, for the guest house structure.
- 3) Status review for yard walls.

Staff finds that the status of the main residence has not lost any integrity and should remain as a contributing structure with the east as the primary façade. The guest house is non-contributing due to age. The shed does contribute to the district and is unique in its age, form, and materials. The east, west, and south perimeter walls also contribute to the street and the estate of the property.

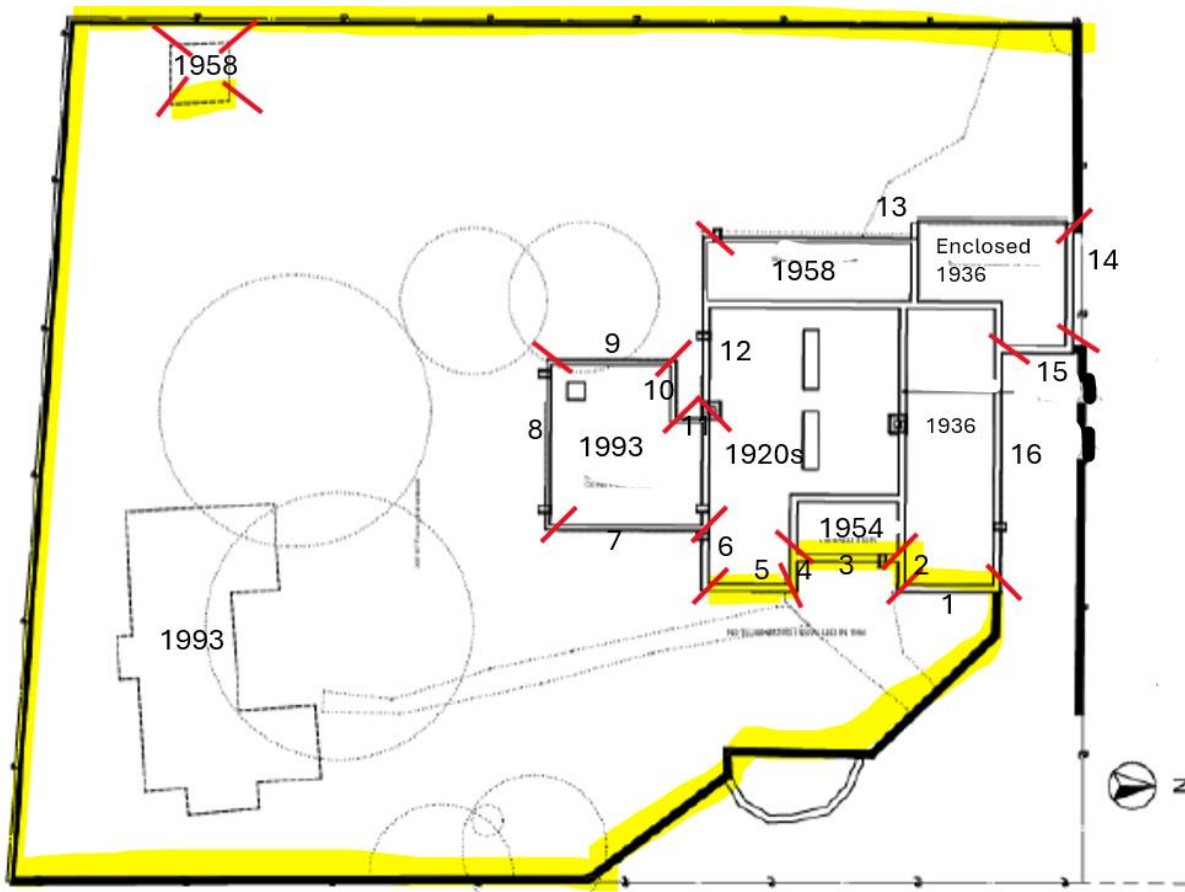


Figure 5: Façade diagram

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

I. Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance in order to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
- II. Continued construction of buildings in Santa Fe's historic styles; and
- III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

B. Buildings with Significant or Contributing Historic Status

I. Purpose

Historic designation is intended to address the following:

- I. Recognizing each structure as a physical record of its time, place, and use.
- II. Preventing changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings;
- III. Preserving and retaining changes to structures that have acquired historic importance in their own right, recognizing that most structures change over time;
- IV. Preserving distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure; and
- V. Avoiding making new additions and related or adjacent new construction in such a manner that, if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

2. Designation of Significant, Contributing, or Noncontributing Status

I. Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing," as defined in Section 14-9.3, *General*

Definitions. Staff shall maintain a record as to the current status of structures located in the historic districts.

II. HDRB Authority to Review Status Designation

- a. The HDRB may change the status of a structure or to designate a status for a structure that has no status designated.
- b. A change in status or the designation of a status shall be based upon an evaluation of data provided through a survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."
- c. When the HDRB designates a structure as contributing, it shall also specify which facades of the structure are primary.

III. Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- a. An application for construction or demolition as set forth in Section 14-5.2 as follows:
 1. Prior to the application being placed on a board agenda or prior to issuance of a construction permit, if Board approval is not required, staff shall determine whether the board should review the status of the structure. Staff's determination shall be made within thirty days of submitting the application. If the staff's determination is not completed within thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.
 2. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.
- b. Request from the property owner;
- c. A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

IV. Notice of HDRB's Review of Status

- a. Unless the review is requested by the property owner, staff shall mail notice to the property owner of the subject property no less than 15 days prior to the HDRB's review of a change in or designation of status.
- b. In addition, staff shall send notice, by first-class mail, to all property owners within one hundred (100) feet of the subject property no less than fifteen days

prior to the board's review of a change in or designation of status if the review may result in the lowering of the structure's status. Staff shall retain an affidavit of mailing.

- c. With the consent of the property owner, the city shall have posted on the property a poster obtained from the planning land use department. Otherwise, the city shall post the poster on the nearest place available to the city. Such poster shall be securely posted, prominently displayed, visible from a public street, at least fourteen days prior to the scheduled board hearing. The posting shall indicate the nature of the application, identification of the property affected, and the time, date, and place of the hearing. The poster shall be removed within thirty days of final action. Failure to do so may result in the city removing the sign at the applicant's expense. A civil fee of fifty dollars (\$50.00) will be charged.

NONCONTRIBUTING STRUCTURE

A structure, located in a historic district, that is less than 50 years old, or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

CONTRIBUTING STRUCTURE

A structure, located in a historic district, approximately 50 years old or older, that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

SIGNIFICANT STRUCTURE

A structure located in a historic district that is approximately 50 years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant for its association with events or persons that are important on a local, regional, national, or global level, or if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

PRIMARY FACADE

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

G. Additional District-Specific Design Standards

2. Downtown and Eastside Historic District

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

I. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.
Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.
- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be constructed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents, and aeriels shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with a mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible facade shall not exceed forty percent of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three (3) feet from the corner of the facade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- e. The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall have not more than thirty (30) inches overhang.

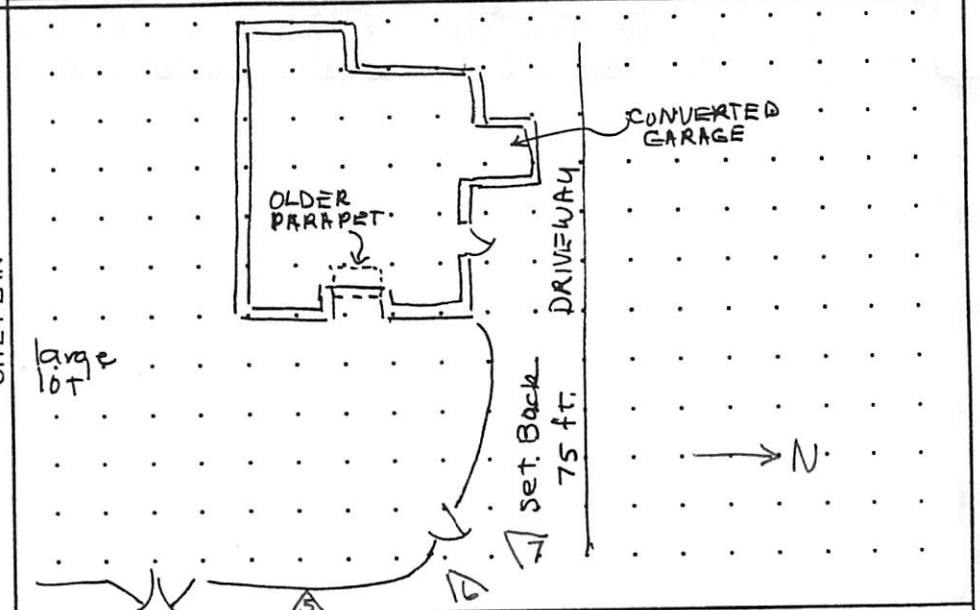
IDENTIFICATION	ADDRESS: 426 DELGADO ST. CAMINO DEL MONTE SOL NAT. HIST. DIST.		ID NUMBER: 051600014
	UTM REFERENCE EASTING NORTHING ZONE 12 13		BUILDING NAME:
	LEGAL DESCRIPTION: TNSP <u>17</u> N RANGE <u>9</u> E SEC <u>25</u> NE 1/4 NE 1/4		
BUILDING DATA	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85		
	DATE OF CONSTRUCTION: ESTIMATE <u>1938</u> ACTUAL		
	SOURCE(S) CITY DIRECTORY		
	ARCHITECTURAL STYLE: PUEBLO REVIVAL		
SIGNIFICANCE	USE:		
	HISTORIC: <u>residential</u>		
	OTHER		
	PRESENT: <u>residential</u>		
	OTHER		
	SURROUNDINGS: RESIDENTIAL		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
	WHAT TYPE? ATTACHED 1 CAR GARAGE IF INVENTORIED, LIST ID NUMBER(S)		
	DEGREE OF REMODELING: <input type="checkbox"/> MINOR <input checked="" type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR		
EXPLAIN: NEW WINDOWS OLD PARAPET VISABLE FROM			
OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED			
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING			
LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE CONT <input checked="" type="checkbox"/>			
LOCAL DESIGNATION: Core HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING			
LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO			

PHOTO



#5 EAST SIDE

SITE PLAN



SURVEYED 8-29-91 BY AC

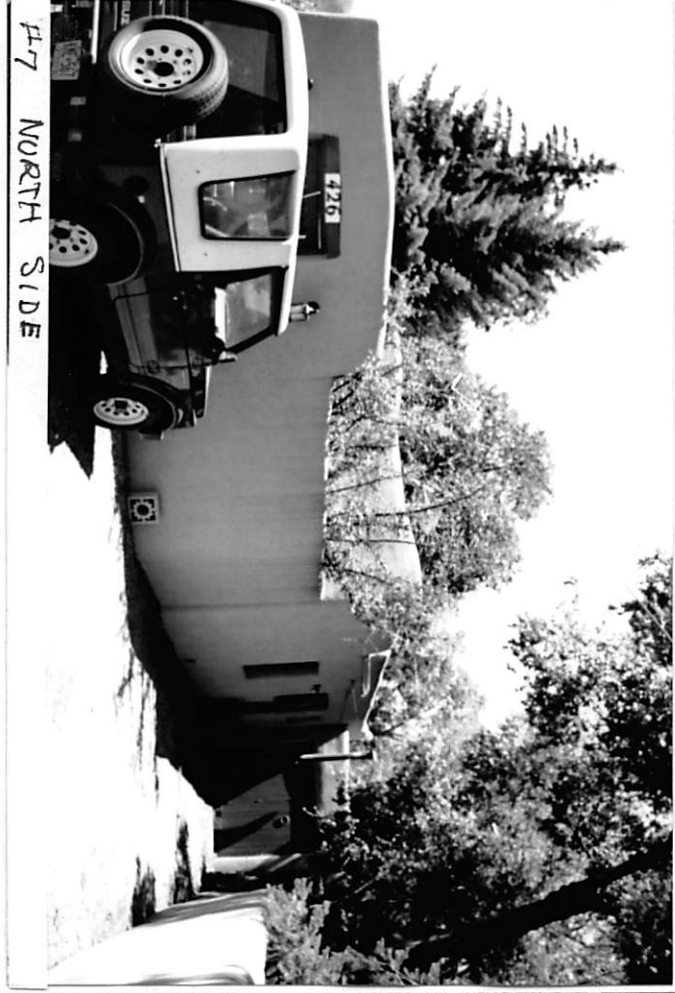
NEGATIVES WITH NMHPD ROLL # _____ NEG # _____ TO _____

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	STUCCO	
FOUNDATIONS	NOT VISABLE	
DOORS	FRONT DOOR PANELED & CARVED	
WINDOWS	N. SIDE - WOOD FRAME AWNING - E+N DBH 6/6	PROBABLY NEW AWNING WINDOWS DBH WINDOWS WOOD FRAME
PORTALES		
CANALES		
PORCHES		
BALCONIES		
ROOFS	FLAT WITH PARAPETS	OLD PARAPETS BEHIND FRONT ENTRANCE
COURTYARDS		
FENCES/WALLS	5 FT STUCCO WALL	
ARCH. DETAILS	PARAPETS COME TO A PEAK AT CORNERS	
OTHER	100 FT SET BACK	

ARCHITECTURAL AND LANDSCAPE FEATURES

COMMENTS ONE CAR GARAGE CONVERTED TO LIVING SPACE
 1987 PETTIS MONTGOMERY LISTED AS OWNER APPLIED FOR PERMISSION TO REMODEL.
 1928-9 DIRECTORY LISTING 1992 - HDRB approved mbr suite + detached greenhouse

ADDITIONAL PHOTOGRAPHS

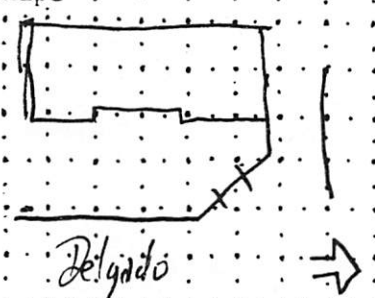
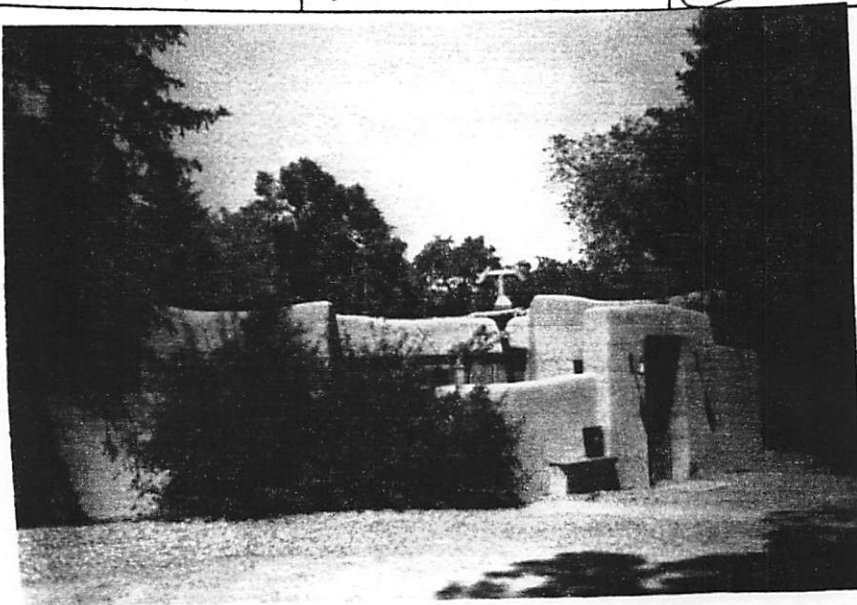


#7 NORTH SIDE



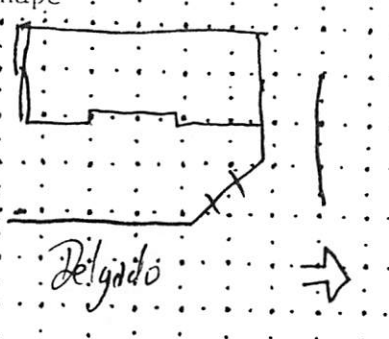
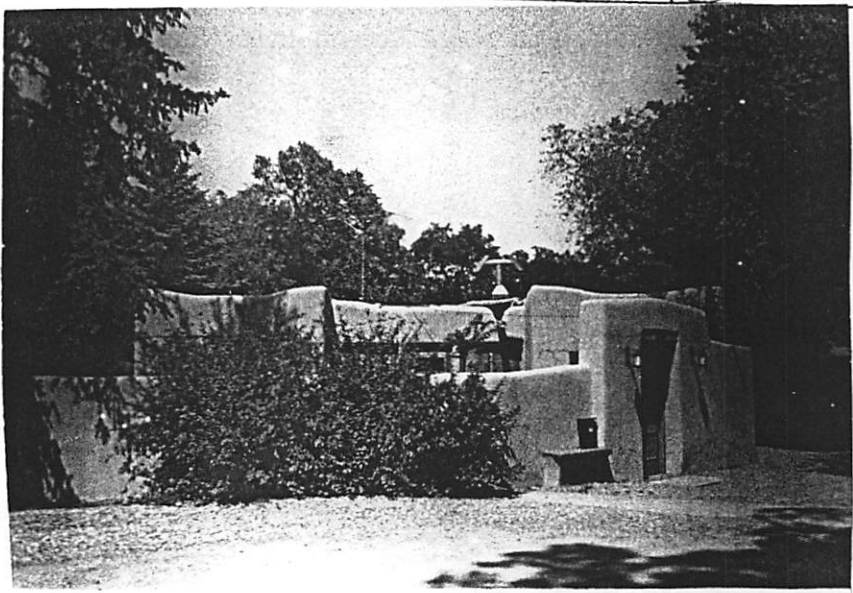
#6 ENTRANCE GATE

Attachment B
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 6-6-83 by mb	county Santa Fe	ID no. 05160004
field map Santa Fe, N.M.	number 1	UTM reference easting zone 12 13	
location description 426 Delgado		city/town Santa Fe	
		land grant/reservation	
building name		legal description tnsp 17 N range 9 E sec 25 NE 1/4 NW 1/4	
film roll by mb no. 1	negative nos. 27, 28 27, 28	loc. of neg. HPB	plan shape 
		date of construction Pre 1932 estimate _____ actual _____	
		source 1932 City Directory	
		use present <u>residential</u> other _____	
		historic <u>residential</u> other _____	
		condition ____ excellent <input checked="" type="checkbox"/> good ____ fair _____ deteriorating	
style Pueblo revival		degree of remodeling ____ minor <input checked="" type="checkbox"/> moderate ____ major	
foundation material UK		describe:	
wall material/surface Stucco		surroundings Res	
architectural features Windows 6 double hung and 3x3 awning. Wood Brown trim. lintels concealed. Windows deep set. Metal canal feed into metal downspout. Front door 4 lites top - solid below - height; contemporary const. Parapets ^{depressed} in middle & peak at corners. Outside wall of stucco.		relationship to surroundings <input checked="" type="checkbox"/> similar ____ not similar	
		district potential <input checked="" type="checkbox"/> yes ____ no	
		significance ____ eligible <input checked="" type="checkbox"/> of ____ none	
comments <u>Wall</u> hedge wire fence wood fence landscape street trees stone curb 0 setback acacia		if eligible, interest why?	
		associated buildings? ____ yes what type?	
		if inventoried, list ID nos.	
		see back? ____ yes	

Streetscape

Attachment B
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

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film roll by Mb no. 1	negative nos. 27, 28	loc. of neg. HPB	plan shape 
		date of construction The 1932 estimate actual source 1932 City Directory	
style Pueblo revival		use present <u>residential</u> other historic <u>residential</u> other	
		condition ___ excellent ___ good <input checked="" type="checkbox"/> ___ fair ___ deteriorating	
foundation material UK		degree of remodeling ___ minor <input checked="" type="checkbox"/> moderate ___ major	
wall material/surface Stucco		describe:	
architectural features Windows 6/6 double hung and 3x3 awning. Wood Brown trim. lintels colored. Windows deep set. Metal canal feed into metal downspout. Front door 4 tiers top - solid below - light; contemporary constr. Parapets in depressed in middle & peak at cornice. Outside wall of stucco.		surroundings Res relationship to surroundings <input checked="" type="checkbox"/> similar ___ not similar	
comments Wall hedge wire fence wood fence landscape street trees stone curb 0 setback acequia		district potential <input checked="" type="checkbox"/> yes ___ no	
		significance ___ eligible <input checked="" type="checkbox"/> of ___ none if eligible, interest why?	
		associated buildings? ___ yes what type?	
		if inventoried, list ID nos.	
		see back? ___ yes	

ADDRESS: 426 Delgado

HIST. SURVEY #: 014

(OD = Out of District; M = Moved
DEM = Demolished; N/A = not a building)

NAME:

CITY SURVEY

Area #: 8 Signif. Status: S

(S = Significant; C = Contributing; NC = Noncontributing)

REGISTER STATUS (Individual Nominations)

National: N State: N State #: N/A

HSFF: N HABS: N

(OSFT = To be in forthcoming 4th edition of Old Santa Fe Today.
Not covered by a more detailed Bulletin article.)

DOCUMENTATION

SFHS Inventory: Y

NR Nomination: N/A SR Nomination: N/A

HSFF Bulletin: N/A HABS Data: N/A

Historic Photos: Museum: Archives:

Modern Photos: MNM: SRC:

Surveys: Floor Plans: Elevations:

Other:

Bibliography:

Comments:

ADDRESS: 426 Delgado

HIST. SURVEY #: 014

(OD = Out of District; M = Moved
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Historic Photos: Museum: Archives:

Modern Photos: MNM: SRC:

Surveys: Floor Plans: Elevations:

Other:

Bibliography:

Comments:



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909 984-6700

CORE HISTORIC DISTRICT
(RECENT SANTA FE STYLE)

DISTRICT DESIGN STANDARDS
SECTION 3-29D-3, SFCC 1981

CASE SYNOPSIS

CASE NO. 92-687 PROJECT LOCATION 426 Delgado Lane

PUBLICLY VISIBLE: N () S () E () W ()

1. MASSING: Applicable () Not Applicable ()

- a. Building Height 19'5"
- b. Roof Type flat w/ parapet
- c. Facade Features multi lite windows, portal,

Complies () Does Not Comply ()

Staff Comments: _____

2. OPENINGS: Applicable () Not Applicable ()

- a. Percentage of Opening per Facade

<u>OK</u>	<u>OK</u>	<u>OK</u>	<u>OK</u>
N	S	E	W
- b. May Exceed 40%-Under Portal OK
- c. 30" Maximum Glass Size (larger under portal) OK
- d. 3 ft. Minimum Distance from Corners OK

Complies () Does Not Comply ()

Staff Comments: _____

3. CANTILEVERS/OVERHANGS: Applicable () Not Applicable ()

- a. Cantilevered Elements _____
- b. 30" Maximum Roof Overhang _____

Complies () Does Not Comply ()

Staff Comments: _____

April 15, 1992

Mary Grzeskowiak
Urban Design Review Specialist
City of Santa Fe
PO Box 909, 200 Lincoln Avenue
Santa Fe, NM 87504-0909

Historic Design Review Board Proposal Letter

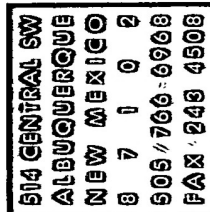
Regarding 426 Delgado Lane, Santa Fe

Construction Project: The owner proposes to construct a second floor bedroom suite addition to an existing residence. Within the existing residence, a new kitchen, powder room, and staircase will be built. Some existing windows and exterior doors will be removed or altered, and at certain locations new windows and exterior doors will be installed. The existing fireplace flue will be rebuilt and extended above the proposed addition. The addition will be wood frame construction with cement stucco exterior finish to match existing surfaces.

The owner also proposes to construct a one story detached guest house on the property. It is an approximately 975 SF one bedroom, wood frame building with cement stucco exterior finish to match existing surfaces.

Architectural History: The original house was built in 1928 of adobe construction. It was purchased by the present owners' parents and adobe plastered for the first time in 1933. The building then included one bedroom in the southeast corner, a sunporch in the southwest corner, a garage in the northeast corner and an entrance set back between the garage and bedroom. The house had protruding vigas at the parapet. The property has been extensively altered through the 1960's.

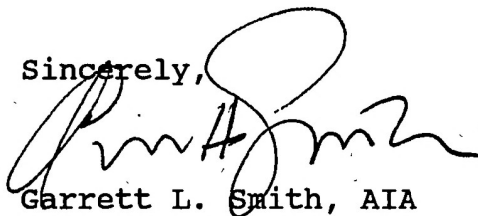
Continues next page.



Exterior Alteration Chronology:

- 1936 Existing garage converted to bedroom (proposed dining room) and present garage added to northwest corner. Exterior of entire house replastered.
- 1946 Vigas cut off at exterior and plastered over.
- 1947 Present front gate and adjacent walls built along east and north property lines.
- 1949 Present cement block wall with stucco finish along west property line and outdoor fireplace at northeast corner built.
- 1954 Present enclosed entrance porch built.
- 1958 Present portal and french door added on west side of house.
- 1962 Present pumice-cement block wall along south property line built.
- 1964 Present wood, double-hung, single pane windows were installed.

Sincerely,



Garrett L. Smith, AIA



April 30, 2026

To: Historic Preservation Division Staff

Re: HCPI Review and Confirmation for 426 Delgado Lane

Please add the provided HCPI to the property record.
We appreciate your review of this property.

Thank you!

Sincerely,

Gayla Bechtol, AIA

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: February 7, 2026

For HPD Office use only:		
HCPI No. _____	District No. _____	Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657 4. County: Santa Fe Parcel # 12357248
5. Property Type: <input checked="" type="checkbox"/> Buildings: primary house, guesthouse, and tool shed <input checked="" type="checkbox"/> Structures: walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: January 14, 2026		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: June 6, 1983, Michael Belshaw; August 29, 1991, Ann Clark <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6792632,-105.9349781		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east elevation, facing northeast.		
11. Brief Description of the Property: Located at the end of what functions as a private cul-de-sac, 426 Delgado Lane occupies the west side of the road behind a continuous privacy wall (Photos 1 & 2). The property contains two dwellings. The primary residence is an older house constructed in the late 1920s, likely by Rose Parker Curtis, an artist and occasional homebuilder. Curtis worked contemporaneously with—and was overshadowed by—Kate Chapman, who once owned the property. A secondary dwelling (guesthouse) was erected in the early 1990s. The primary residence, commonly known as the Russel House, is a Contributing resource within the Downtown and Eastside Historic District. The guesthouse, a tool shed, and the site walls have no assigned historic status. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: c.1928 (possibly earlier) with additions, primary house; 1992-93, guesthouse <input checked="" type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: newspaper accounts and legal documents		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 w/ Giulia Caporuscio

For: Current owner, via Gayla Bechtol, AIA

18. Owner (if known) and other knowledgeable people:

Current owner: Kareem J. Abu-Zeid & Paige A. Cochran
 N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing: primary house Non-contributing No Status; guesthouse, tool shed, and walls
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																																					
		NRHP _____ SRCP _____	Criteria A B C D																																																				
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657 4. County: Santa Fe 5. Date of Survey: January 14, 2026																																																					
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																							
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input checked="" type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																					
10. Window Types – Primary House Ony <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Awning</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Awning</td><td>Wood</td><td>6</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>6</td><td>1</td></tr> <tr><td>Double-Hung</td><td>Wood</td><td>1/1</td><td>3</td></tr> <tr><td>Double-Hung</td><td>Wood</td><td>3/3</td><td>2</td></tr> <tr><td>Fixed-Awning</td><td>Wood</td><td>1/1</td><td>9</td></tr> <tr><td>Double-Hung</td><td>Wood</td><td>6/6</td><td>4</td></tr> <tr><td>Casement</td><td>Wood</td><td>6</td><td>3</td></tr> </tbody> </table> Bold indicates historic windows		Operation	Material	Glazing	Number	Awning	Wood	3	1	Awning	Wood	6	1	Casement	Wood	6	1	Double-Hung	Wood	1/1	3	Double-Hung	Wood	3/3	2	Fixed-Awning	Wood	1/1	9	Double-Hung	Wood	6/6	4	Casement	Wood	6	3	11. Door Types – Primary House Ony <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Decorative Panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>6-Panel</td><td>Metal</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>18-light w/sidelights</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Decorative Panel	Wood	1	Single-Leaf	6-Panel	Metal	2	Single-Leaf	18-light w/sidelights	Wood	1
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12. Chimneys <input checked="" type="checkbox"/> multiple		13. Porches <input checked="" type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry, enclosed <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																					
14. Other Significant Features N/A																																																							

HCPI Detail Form (FORM 2)

(Continued from other side)

15. Modifications: No known modifications

#1 Date: 1936; converted garage into bedroom; created new garage; added front portal; owner's list of home projects.

#2 Date: 1954; enclosed front portal; owner's list of home projects.

#3 Date: 1958; constructed west portal with assumed demolition of original sunroom; owner's list of home projects.

#4 Date: 1992-93; construct bedroom addition, removed doors and windows; altered fenestration on north façade; HDRB records and project plans.

16. Primary Architectural Style Not Applicable

- Art Deco/Streamline Moderne Gothic Revival Mission Revival Pueblo Spanish-Pueblo Revival
- Bungalow/Craftsman International Neo-Classical Queen Anne Territorial
- Colonial Revival Italianate Northern NM Ranch Territorial Revival
- Folk Victorian Mediterranean Prairie Spanish-Colonial Tudor Revival

Notes: Other: Vernacular

17. Documents Available and Their Location

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

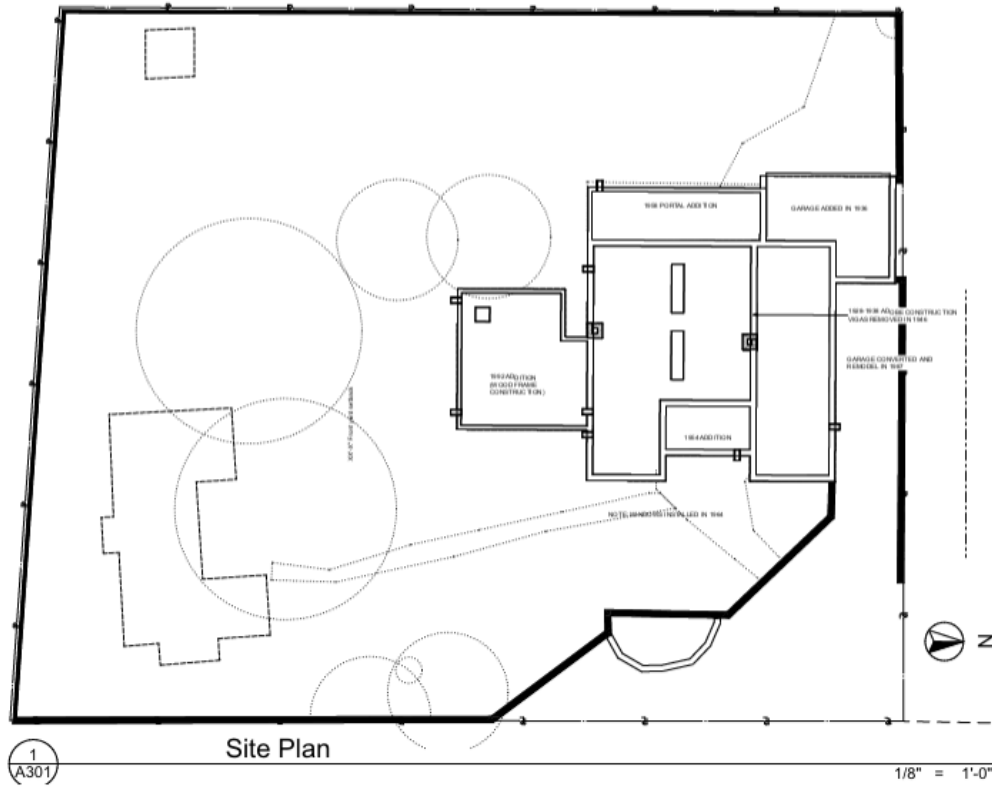
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: 2026, Courtesy of Gayla Bechtol, AIA



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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657			
		4. County: Santa Fe			
		5. Date of Survey: January 14, 2026			

Architectural Description Continued

Setting

Though only 0.39 acres in size, the property has an estate-like character, defined by its walled yard, broad panels of lawn, flagstone paving, and mature plantings, including tall spruce trees (Photos 2 & 9).

Primary House

The primary house faces east, presenting a long elevation that historically functioned as its principal façade (Photo 1). The historic portion of the house occupies the northern half of this elevation and is constructed of adobe with a stucco finish. The southern section is a 1992–93 addition that is set back from the plane of the original façade but nonetheless overwhelms the scale of the original two-bedroom house.

East Elevation

The original portion of the house clearly signals its period of construction and architectural inspiration, although its once-exposed vigas have long since been removed.

At the roofline, the building is defined by a sloping parapet terminated by upswept “bat wing” forms (Photo 1). Parapets of this type emerged in Santa Fe during the 1920s, coinciding with a transitional period between Mission Revival and Pueblo Revival influences. Rather than adhering to the more rigidly codified approach that later accompanied the Pueblo Revival style, earlier parapets were often more expressive, reflecting individualized interpretations of regional forms and materials and resulting in irregular or highly personalized profiles.

The historic façade employs a common elevation treatment of the period incorporating a recessed entry porch. In this instance, however, the porch is roofed and shows no evidence of a viga-supported portal (Photo 3). According to the list of improvements

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maintained by the longtime owner, Wolcott Russel, an open portal was added in July 1936.¹ This portal was enclosed in 1954, creating an interior entrance hall (Photo 4). Entry to the hall is provided by a modern paneled wood door.

Flanking the door is a pair of historic six-over-six wood, double-hung sash windows, likely dating to the 1936 improvement (Photo 3). The windows are set slightly back from the wall surface and consist of divided-light sash separated by a narrow mullion, fitted into wood frames without applied casings. They are painted blue, like all the windows around the house.

To the north and south of the recessed entry are shallow wall projections corresponding to the original footprint of the house (Photo 5). The north projection contains a wide opening fitted with combination fixed-over-awning (fixed/awning) wood windows with insulated glazing. This window type is used consistently throughout the house, resulting in a strong horizontal emphasis that was not originally intended for the home. At the opposite end of the historic façade, the south projection—formerly marking the southern termination of the original building—contains a similar wide opening with fixed/awning window units (Photo 6).

Addition

The wall plane steps back approximately eight feet to accommodate the 1992–93 addition (Photo 7). The addition adopts a parapet form that echoes the earlier bat-wing profile, though at a larger and more robust scale. The east and south elevations of the addition incorporate wood fixed/awning window units similar in proportion and material to those found on the historic portion of the house (Photo 8).

West Elevation

The west elevation is the longest side of the building and incorporates the 1992–93 addition, portions of the original house with later alterations, and an attached garage (Photo 9). The elevation begins at the south end with the addition, which presents a

¹ Wolcott Russel (assumed), “Cost of Property Improvements and Additions, 426 Delgado Place, Santa Fe, New Mexico,” unpublished property improvement and household inventory, compiled 1967; privately held by the current property owner, 1.

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largely blank stuccoed wall. A single high-set privacy window is located near the north end of this addition (Photo 9).

Addition

Moving northward, the elevation reaches an awkward junction between the original house and the later addition (Photo 10). This transition is marked by a narrow passageway leading to an entry door. Both the door and the adjacent window opening in the wall of the original house are modern.

Portal

The next section represents the original house but incorporates a portal and fenestration dating to the 1950s (Photo 11) (Figs. 4 & 5). The portal features flared stuccoed supports and a simple wood plate, beam, and decking assembly, none of which appear to be historic (Photo 12). According to the former owner’s inventory of improvements, the portal was erected by local contractor John Gianardi and included the installation of French doors opening into the living room.² The design of the earlier west façade is unclear. A 1933 real estate advertisement references a “glassed-in porch” (Fig. 2). This space is later described as a sunroom arranged at the southwest corner. This feature is no longer extant.

The portal’s fenestration begins at the south with a fixed/awning window unit, followed by a glazed door with sidelights providing access to the living room. The door and sidelights are modern and appear to have replaced an earlier opening that existed prior to construction of the 1990s addition (Fig. 8). At the north end of the portal is a furred-out volume containing a storage closet. This is an intrusive element that further disrupts the visual coherence of the façade.

Original Garage and Conversion

North of the portal is a lower-volume section representing a historic converted garage and an extension (Photo 13). According to the former owner’s inventory, this volume was constructed in 1936, contemporaneous with the front porch. It replaced the original

² Ibid., 2.

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garage, which was converted into a bedroom.³ Unlike the house and the original garage, the replacement garage is constructed of structural clay tile. Wolcott Russel’s list of home improvements documents that construction was carried out by E. L. Boyd, a Santa Fe building contractor, while Elbert E. “Ted” Peabody—another local contractor who later built what would become Georgia O’Keeffe’s Ghost Ranch home and studio—installed the cabinetry in the new bedroom and storage area.⁴

The converted garage is fenestrated on the west elevation with paired historic wood casement windows. The remaining section of the elevation, measuring approximately ten feet, appears to be a later extension. Its origin is unclear.

North Elevation

The north elevation incorporates portions of the original house and the 1936 garage, with fenestration altered in both sections over time.

At the east end of the elevation are two window openings fitted with six-over-six wood double-hung sash windows (Photo 14). Neither the windows nor their current openings appear to be original. Drawings prepared in 1992 by architect Garrett Smith indicate that, at that time, the windows were positioned closer to grade and were topped by a continuous wood beam (Fig. 8). The drawings further suggest that the earlier windows were six-light wood casements, a window type consistent with the house’s original period of construction. These earlier windows were located nearer to a glazed entry door, which has since been replaced with a wood-paneled door.

Moving west, the next opening contains a six-light wood awning window (Photo 15). In Smith’s drawings, this opening is shown as containing two four-light wood casement windows, indicating a further alteration to the fenestration pattern along this elevation.

1936 Garage

Attached at a right angle to the north elevation is the 1936 garage. Smith’s existing-condition drawings show that the east wall of the garage originally contained a wood garage door (Fig. 8). This opening has since been filled in and now contains a small six-light wood casement window (Photo 16).

³ Ibid., 1.

⁴ Ibid.; John W. Murphey, “Georgia O’Keeffe Ghost Ranch House,” National Register of Historic Places nomination (2019), 31.

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Guesthouse

Located near the south end of the property and oriented to face north, the guesthouse is a Pueblo Revival–styled building with an approximate gross floor area of 744 square feet (Photos 17 & 18). The building incorporates a recessed entry area that visually echoes the entry treatment of the primary house; batwings were not employed. The guesthouse was reviewed under Case H-92-067, which places its construction in the early 1990s.

Tool Shed

A small tool shed is located in the southwest corner of the property (Photo 19). Its origin is unclear, but it appears to be present in a 1958 aerial photograph (Fig. 5).

Walls

Three primary walls encompass the property, with the structure along the east side being the most historic and significant. Unlike the typical conjectural approach to wall dating—often reliant on aerial photographs or forensic examination of conditions behind the stucco—these walls are well documented in Wolcott Russel’s inventory of home improvements.

The east property wall, laid out on an angled alignment (Photo 2), is noted by Russel as having been constructed in 1947 by the Eubank Construction Company and painted by J. C. Biggs.⁵ This work also included the front gate and its stuccoed enframement (Photo 20). Russel further documented the west property wall, which, according to the inventory, was erected in 1949 by Lineberry Contractors; associated work included the fireplace and banco at the northwest corner of the property.⁶ The south property wall, a stuccoed pumice block wall, was installed by John Gianardi in 1962. Gianardi also undertook other work at the house. The wall was reconstructed three years later.⁷

⁵ Russel, “Cost of Property Improvements and Additions,” 1.

⁶ Ibid, 3.

⁷ Ibid., 4.

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While the walls have experienced minor changes, including the addition of non-historic attached planters and decorative elements, they retain their overall historic design and character.

Historical Overview

A Private Cul-de-Sac

The extension of Delgado Street in the early 1920s, from Canyon Road to Acequia Madre (then East Manhattan Avenue), opened a large swath of formerly irrigated farmland to development. Much of this land was held by investors, including Levi H. Hughes, a Michigan-born lawyer and banker, and Mary Persis Maltby Victory, the widow of politician and attorney John Patrick Victory.⁸ Mary Victory’s departure from Santa Fe in 1921, and the subsequent sale of her Santa Fe holdings, facilitated the creation of Delgado Street between Acequia Madre and Canyon Road.

Katherine “Kate” Chapman and Rose Parker Curtis were early woman builders active in Santa Fe (see Appendix). Rose Parker Curtis is noted in historic records and deeds under several names, including Rosa. Each acquired large sections along the newly extended street and developed private artistic compounds on their respective sides. South of Acequia Madre, the land along Delgado Street (now Delgado Lane) contained limited acreage and, as a result, developed as a small cul-de-sac of adobe homes.

Women Trading Land

The earliest documented association of Kate Chapman along Delgado Lane occurs on land shown as Block 81, Lot 4 on the 1912 King’s map, historically associated with the Garcia family. Catherine Colby notes that Chapman acquired this property in 1920 from Garcia descendants, who had occupied the land since at least 1848.⁹

⁸ John W. Murphey, “1 Plaza Fatima, Tract A, Parker-Curtis/Meador/Otero-Warren/Bergere/Herdman Property, Santa Fe, Santa Fe County, New Mexico,” *New Mexico Historic Properties Inventory*, September 9, 2024, 8.

⁹ Catherine Colby, *Kate Chapman: Adobe Builder in the 1930s* (Santa Fe. Santa Fe: Sunstone Press, 2012), 32.

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Although a deed confirming a 1920 transfer has not been located,¹⁰ Chapman is documented as remodeling the Garcia residence near the Acequia Madre for her client, playwright Philip E. Stevenson, and his wife, Janet. This residence is generally recognized as the Garcia–Stevenson House, located north of the subject property at 522 Acequia Madre. It remains unclear whether Chapman undertook any design or construction work on the subject parcel at that time.¹¹

Between 1921 and 1930, Chapman pursued a series of legal actions to consolidate ownership of a larger tract along Delgado Street and Acequia Madre, including the subject property. These efforts included a February 1930 quitclaim deed from multiple Garcia family heirs conveying their interests in the tract, followed by district court actions to quiet title.

Final court decrees entered in 1925 and 1930 extinguished remaining potential claims by Garcia heirs and confirmed Chapman’s fee-simple ownership of the parent tract.¹² The land was later subdivided under the Extension of Delgado Street and Adjacent Properties plat into Lots 5 and 6. The subject property corresponds to Lot 6, which was deeded to Rose Parker Curtis by Chapman.¹³

¹⁰ This deed corresponds to the property but made a decade later: Quitclaim Deed, Miguel Garcia et al. to Katherine A. Chapman, recorded March 29, 1930, Book V, Page 491, Instrument # 39391, Santa Fe County, New Mexico.

¹¹ Colby, *Kate Chapman*, 32.

¹² Final Decree, Katherin A. Chapman to Antonio Archuleta et. al (including Garcia family), recorded May 29, 1930, Book V, Page 548, Instrument # 39768, Santa Fe County, New Mexico and Final Decree, Katherin A. Chapman to Antonio Archuleta et. al (including Garcia family), recorded September 15, 1930, Book X, Page 123, Instrument # 40465, Santa Fe County, New Mexico.

¹³ During the late 1920s and early 1930s, Chapman briefly conveyed interests in the property to fellow Santa Fe builder Rose Parker Curtis, who subsequently reconveyed her interest to Chapman prior to the completion of quiet-title proceedings. Following consolidation of title and assumption of an existing mortgage, Chapman again conveyed Lots 5 and 6 to Parker Curtis in 1930; Warranty Deed, Katherin A. Chapman and K. M. Chapman to R. M. Parker Curtis, recorded June 3, 1930, Book 10, Page 63, Instrument No. 39791, Santa Fe County, New Mexico. Reconstruction of the lot lineage was complicated and required examination of nearly twenty recorded land records.

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426 Delgado Lane

A 1928 rental advertisement offering a furnished house at 426 Delgado Street by Rose Parker Curtis confirms that the dwelling existed by that date.¹⁴ Taken together, the deed record and contemporaneous newspaper evidence indicate that the house on the subject parcel was constructed prior to 1928 and is closely associated with Curtis’s ownership and operation.

The subject property appears to represent an early example of Curtis’s income-producing residential development, a model later more fully realized in her artist compound at Plaza Fatima. This pattern operated alongside—but was distinct from—Chapman’s designer-driven work.

The house constructed at 426 Delgado Lane bears no close resemblance to Chapman’s residence, her work at Plaza Balentine, or her documented remodeling projects, further supporting its attribution to Curtis rather than Chapman.

Wolcott and Madge Russel

On April 3, 1933, Rose Margaret Curtis conveyed Lot 6 to Wolcott L. Russel. The sale appears to have resulted from financial distress, as suggested by a contemporaneous real estate advertisement (Fig. 2). Russel acquired the \$2,800 property with a \$100 down payment.¹⁵

Wolcott Lord Russel was born in Providence, Rhode Island, in 1893 and traced his lineage to an ancestor who served in the American Revolutionary War.¹⁶ During his childhood, the family moved west to Kansas, where his father, Joseph Russel, a Presbyterian minister, received a new posting. They later settled in the homesteading community of Roy, New Mexico, where Reverend Russel established the town’s first Presbyterian church.¹⁷

¹⁴ “Houses for Rent,” [advertisement], *Santa Fe New Mexican*, November 16, 1928, 7. Newspaper accounts suggest that a house may have occupied the site at an earlier date, but no address or other identifying information is provided to confirm this conclusion.

¹⁵ Russel, “Cost of Property Improvements and Additions,” 1.

¹⁶ Ancestry.com. *U.S., Sons of the American Revolution Membership Applications, 1889-1970* [database on-line]. Provo, UT, USA: Ancestry.com Operations, Inc., 2011.

¹⁷ “New Presbyterian Church to be Built Soon,” *The Spanish-American*, April 11, 1908, 1.

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As a teenager, Wolcott Russel entered the workforce as a clerk for Solomon Floersheim, proprietor of Roy’s principal mercantile, and later advanced to serve as the town’s auditor. During World War I, he enlisted U.S. Army at Fort Bliss in June 1917 and initially served with the Medical Detachment of the Eighth Cavalry before transferring to the Quartermaster Corps, where he worked in finance and accounting. He attended officers’ training in late 1917 and was commissioned as a second lieutenant in January 1918. During the war he served primarily as an instructor, including in Puerto Rico. He was discharged in April 1919.¹⁸

In 1921, Russel married Madge Nix of nearby Rosebud. Nix, originally from Arkansas, had come to New Mexico with her family during the early-twentieth-century homesteading wave.¹⁹ The couple relocated to Santa Fe in 1923. City directories and newspaper accounts indicate that by the late 1920s they were renting a house on lower Delgado Street.

Russel was initially employed by the State Comptroller’s Office, later by the New Mexico Highway Department, and subsequently by the Indian Detours Transportation Company. He later transitioned into banking, beginning as a cashier with the First National Bank of Santa Fe and retiring in 1958 as vice president of the Santa Fe National Bank.²⁰

Home Improvement and Family Life

Upon acquiring the house, Wolcott Russel undertook an immediate program of renovation. Early work included routine upgrades such as replacement of the water heater and installation of 220-volt electrical service to accommodate a range oven.²¹ The house was plastered for the first time in 1933 using adobe; Russel later applied a cementitious stucco finish.

According to his own accounting, by June 1, 1966, the family had expended \$27,447.54 on home improvements.²² Much of this work involved interior alterations and additions undertaken to accommodate an expanding family.

¹⁸ “Wolcott Lord Russel,” *Service Reports*; Series Number: 18.1.6; Box Number: 10899; Collection Name: *New Mexico Adjutant General Records*; Collection Number: 1973-019.

¹⁹ “Russel-Nix,” *The Spanish-American*, May 28, 1921, 1.

²⁰ “Wolcott Russel Retires from Position in Bank,” *Santa Fe New Mexican*, August 1, 1958, 3.

²¹ Russel, “Cost of Property Improvements and Additions,” 1.

²² *Ibid.*, 4.

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Wolcott and Madge Russel raised three sons in the house—Mark, Joseph, and Robert (known as Dan)—each of whom served in the military. The eldest, Mark, enlisted in the U.S. Army and trained as a B-24 Liberator bomber pilot; he died tragically during flight training in California during World War II.²³ Joseph attended the U.S. Naval Academy at Annapolis, served during World War II, and later in the Pacific submarine fleet; his naval career culminated in his promotion to Rear Admiral. The youngest son, Robert (“Dan”), was educated at the University of Notre Dame and later joined *The New Mexican* as a reporter before being called to military service during the Korean War; he was stationed in Germany as a corporal.

Aside from raising three sons, Madge maintained an active social life, and newspaper accounts indicate that she frequently used the home to host gatherings, including meetings of the St. Francis Altar Society and the Santa Fe Little Flower Reading Circle, of which she was a founding member. These events likely took place in the capacious, sala-like living room, which was hung with art by local painters Hans Paap and Henry Balink.²⁴ During World War II, she volunteered for the American Red Cross.²⁵

In the 1980s, Delgado Street was renamed Delgado Lane. Ownership of the property during this period transferred from Joseph Russel and his wife, Margaret, to his younger brother, Dan Russel, and Dan’s wife, Flora, a Santa Fe native. Following a reassignment of the mortgage, the property was placed in a family trust, which would later include grandchildren.

Madge Nix Russel died in Washington State in April 1985 at the age of 84. Her husband, Wolcott Lord Russel, died in Denver the following year at age 93. As both brothers were living out of state, the house appears to have been rented during this period.

²³ “Santa Fe Pilot Dies in Crash,” *Santa Fe New Mexican*, January 24, 1944, 4.

²⁴ Wolcott Russel (assumed), “Inventory of Furniture and Household Furnishings, 426 Delgado Place, Santa Fe, New Mexico,” March 15, 1967, unpublished household inventory (exclusive of cooking utensils, electric appliances, china, silverware, paintings, pictures, drapes, and bedding); privately held by the current property owner, 3.

²⁵ “Russel, Madge Nix 84” [obituary], *Santa Fe New Mexican*, April 10, 1985, C-3.

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Changes

In the early 1990s, Dan and Flores Russel embarked on a major home improvement project. They hired Albuquerque architect Garrett Smith to design a second-story addition to the main house. The project went through a series of conceptual drawings and reviews and was ultimately reduced to the one-story addition that was constructed. This addition, along with the guesthouse and several alterations to the older house, was reviewed by the Historic Design Review Board in 1992 under Case H-92-067. Smith’s existing-condition drawings provide important clues regarding the older house’s fenestration prior to renovation.

In early 2025, the property—having remained in Russel family ownership for more than ninety years—was sold to the current owner.

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Evaluation of Historical Status

Primary House

By age alone, the primary house qualifies to retain Contributing status. That threshold, however, is somewhat strained by the cumulative impact of substantial alterations undertaken during and after the Wolcott and Madge Russel period of occupancy. Chief among these are the large emulative primary addition constructed in 1992–93 and the alterations to the north and west elevations.

While features exceeding fifty years in age are often characterized as “historic,” age does not mitigate changes that materially compromise original design intent and architectural character. The house was originally conceived as a whimsical two-bedroom rental of a highly specific—and nearly singular—design. Later modifications, even where historic in age, have measurably diminished that character and the property’s capacity to convey its historic associations.

As a result, only the original façade(s) of the east elevation retain sufficient historic integrity to warrant recognition. Accordingly, this portion of the building—including the entry and adjoining volumes—is recommended as the primary façade. Later windows, doors, and associated alterations are expressly excluded from the recommendation.

Guesthouse

As a post-period of significance resource, the guesthouse is noncontributing to the Downtown and Eastside Historic District and does not possess independent historic significance.

Tool Shed

The origin of this small structure is undocumented; however, its form, materials, and fenestration are consistent with the historic period of development. Despite its minor scale, the shed contributes to the historic feeling and association of the site and is therefore considered a contributing resource within the district.

Walls

The three perimeter walls are well documented and, by virtue of their age, materials, and design, contribute to the historic character of the site and the broader district.

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Appendix

Who Was Rose Margaret Parker?

Rosa Margaret Parker Curtis (1893–1960) remains one of the more elusive figures in Santa Fe’s interwar cultural and development history. She was one of several women described in their own time as homebuilders who developed small, artist-oriented residential compounds. Her relative obscurity appears to stem in part from the fact that she worked under multiple names and left little overtly self-authored documentation. As a result, Parker Curtis has remained far less visible than contemporaries such as Kate Chapman, despite having played a demonstrable role in shaping the residential landscape along Delgado Street.

Born in Auckland, New Zealand, in 1893 to a peripatetic British army officer, Parker spent much of her childhood in England, where she attended school and later studied art, reportedly at South Kensington and possibly the Slade School. She arrived in the United States in 1916 and settled in Santa Fe with her father and sisters. By the early 1920s, she was active within local cultural institutions, joining the Santa Fe Woman’s Club and exhibiting paintings at the Museum of New Mexico. Her work—primarily oils depicting New Mexico subjects—was regularly included in group exhibitions through the 1930s and later.

Parker returned to Santa Fe in 1925 under the name Daisy Parker and soon thereafter acquired a large tract on the west side of the newly opened Delgado Street from the estate of Mary Persis Maltby Victory. Newspaper accounts from the mid-1920s describe her as the owner of “two or three houses” off Delgado Street, and rental advertisements confirm that she built and marketed modest adobe dwellings. Some of these were located along what is now Delgado Lane, while others formed part of a larger development later known as Plaza Fatima—a private cluster of Pueblo Revival houses.

Her approach to development—rental-first, incrementally formalized, and lightly documented—contrasts with the more client-driven and architecturally legible work of Chapman nearby, even as both women contributed to a broader pattern of women-led, artist-oriented residential enclaves in Santa Fe during the 1920s and 1930s.

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Parker’s personal life was marked by instability. Her brief marriage in 1926 to Fayette S. Curtis Jr., headmaster of the Los Alamos Ranch School, ended with his sudden death only months later.

She subsequently inherited his estate and continued to work under the Curtis name, a circumstance that may help explain her ability to acquire and develop property along Delgado Street. In 1939, she experienced a severe psychological crisis and was committed to the New Mexico State Insane Asylum, later receiving treatment in Colorado. She returned to Santa Fe by the early 1940s and resumed painting, exhibiting intermittently into the late 1950s.

Rose Parker Curtis died in 1960 in Española, largely unnoticed by the local press. She was buried alone at Rosario Cemetery beneath a small marker noting only her birthplace.

###

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Illustrations

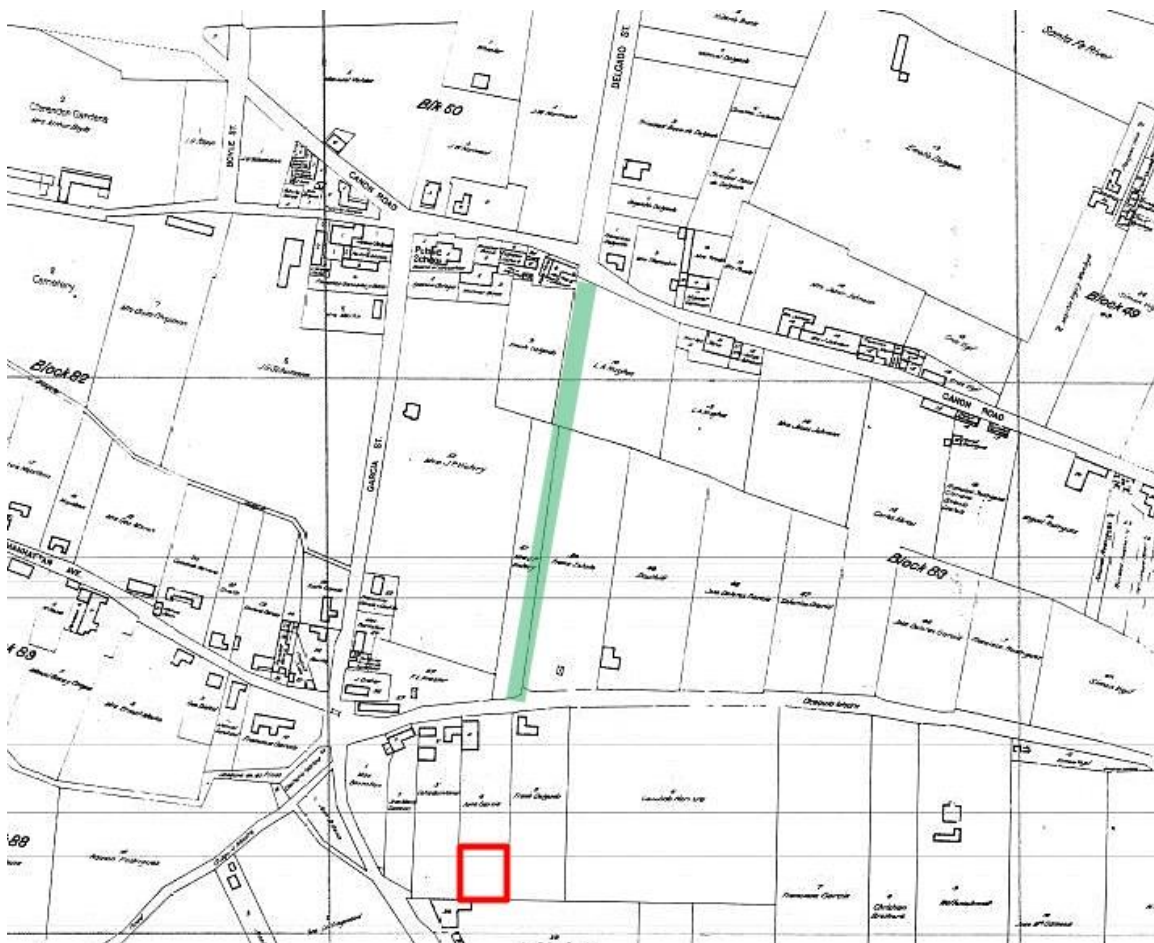


Figure 1: N. L. King, “Official Map of the City of Santa Fe,” 1912.
 Green represents the extension of Delgado Street; red the relative boundary of the subject parcel.

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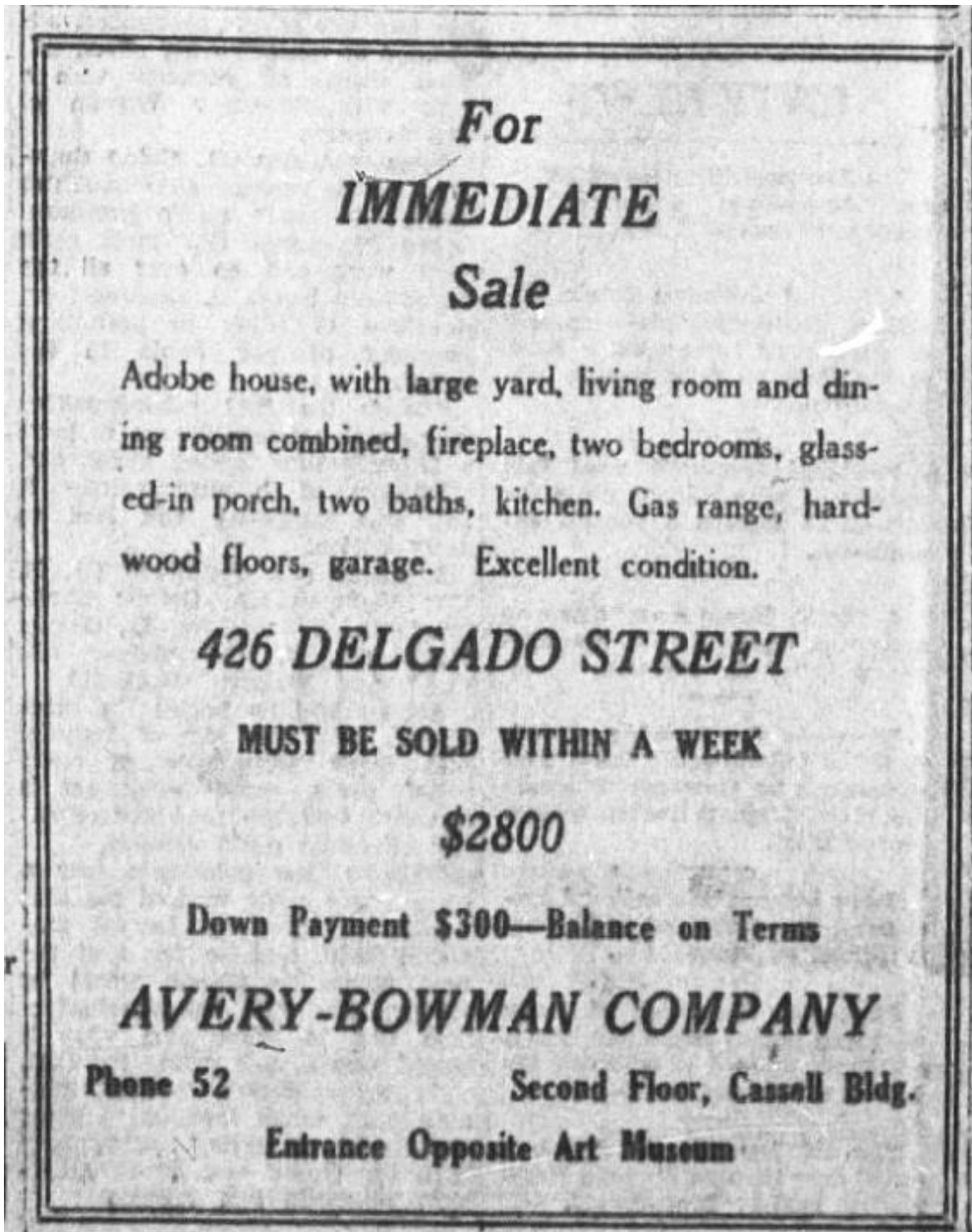


Figure 2: Distressed property advertisement, April 1, 1933.
 Source: The Santa Fe New Mexican.

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Figure 3: Wolcott Lord Russel, World War I photograph, c.1917

Source: New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Series Title: Service Reports; Series Number: 18.1.6; Box Number: 10899; Collection Name: New Mexico Adjutant General Records; Collection Number: 1973-019.

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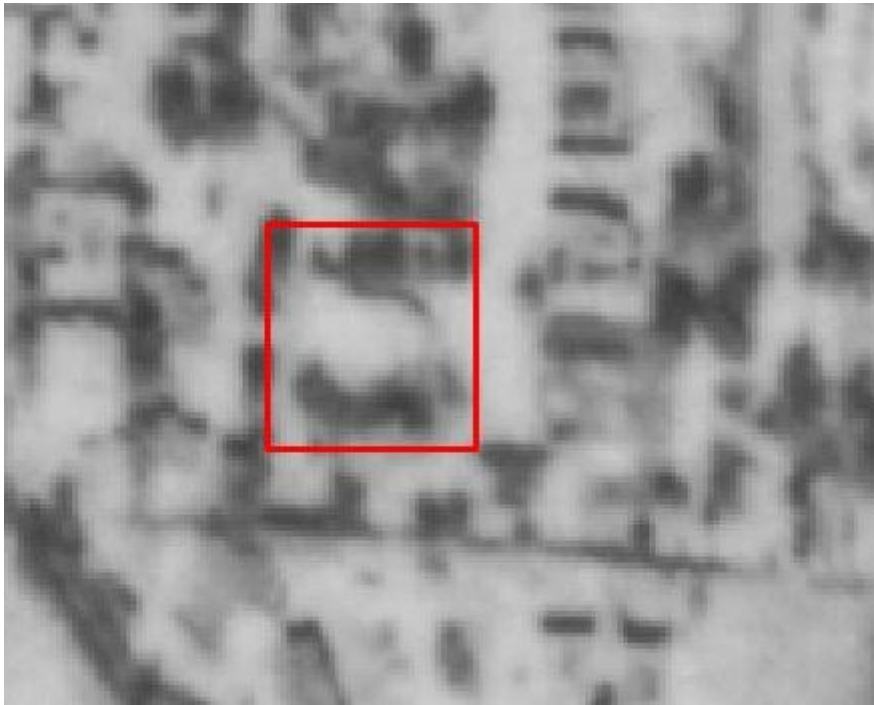
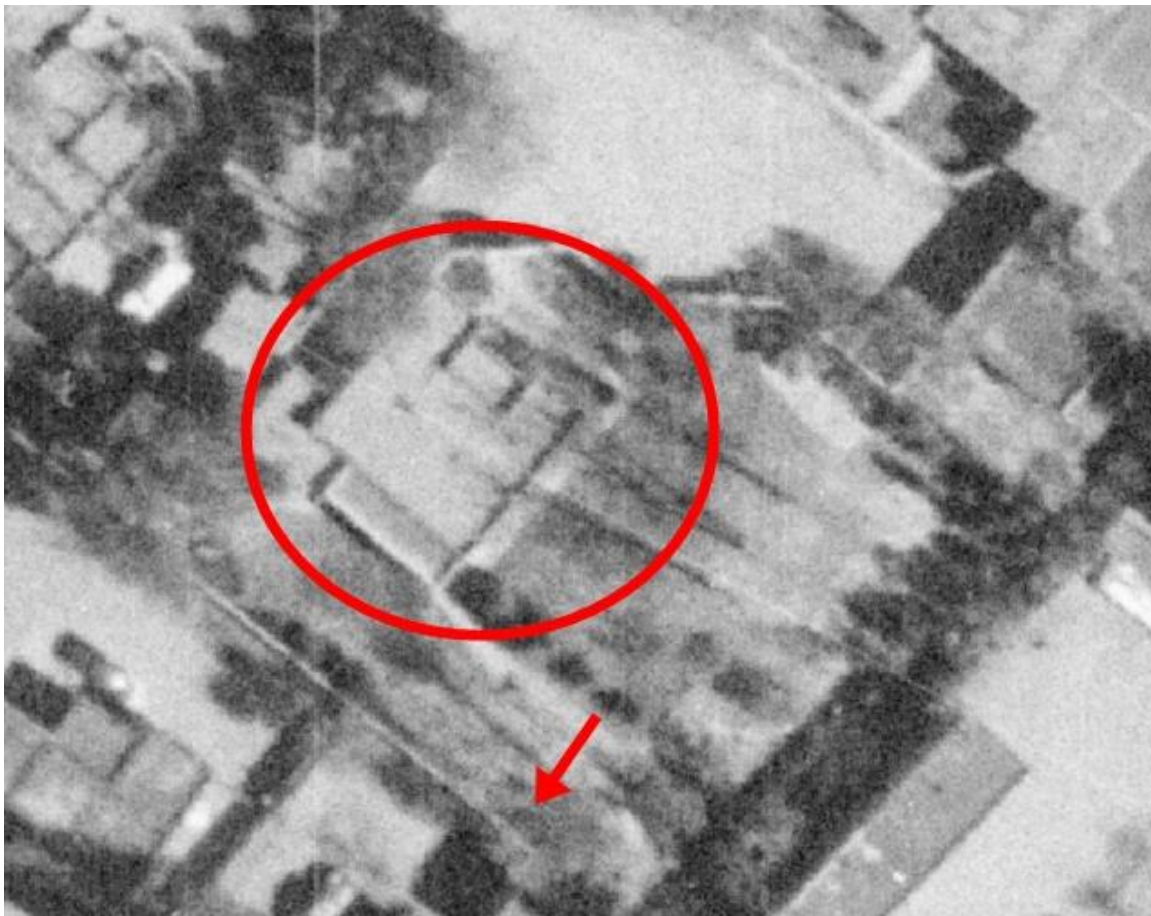


Figure 4: October 25, 1948, aerial photograph.
Note that house does not have a west elevation portal.

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**Figure 5: November 10, 1958, aerial photograph.
House now has west portal; tool shed may be present (arrow).**

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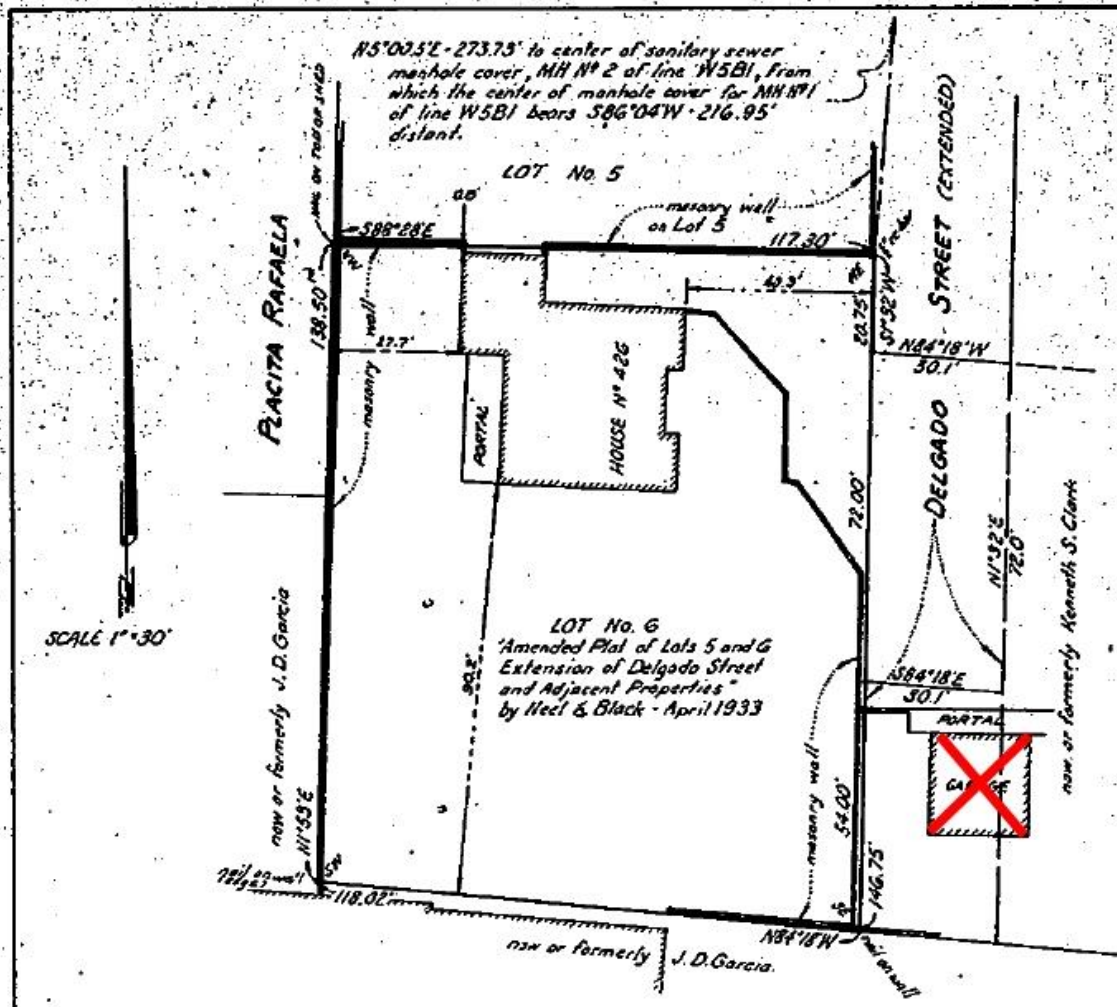


Figure 6: 1966 survey plat, G.D. Hayden. Note crossed-out garage is not associated with the property.

Source: Santa Fe County Clerk, Instrument # 290432.

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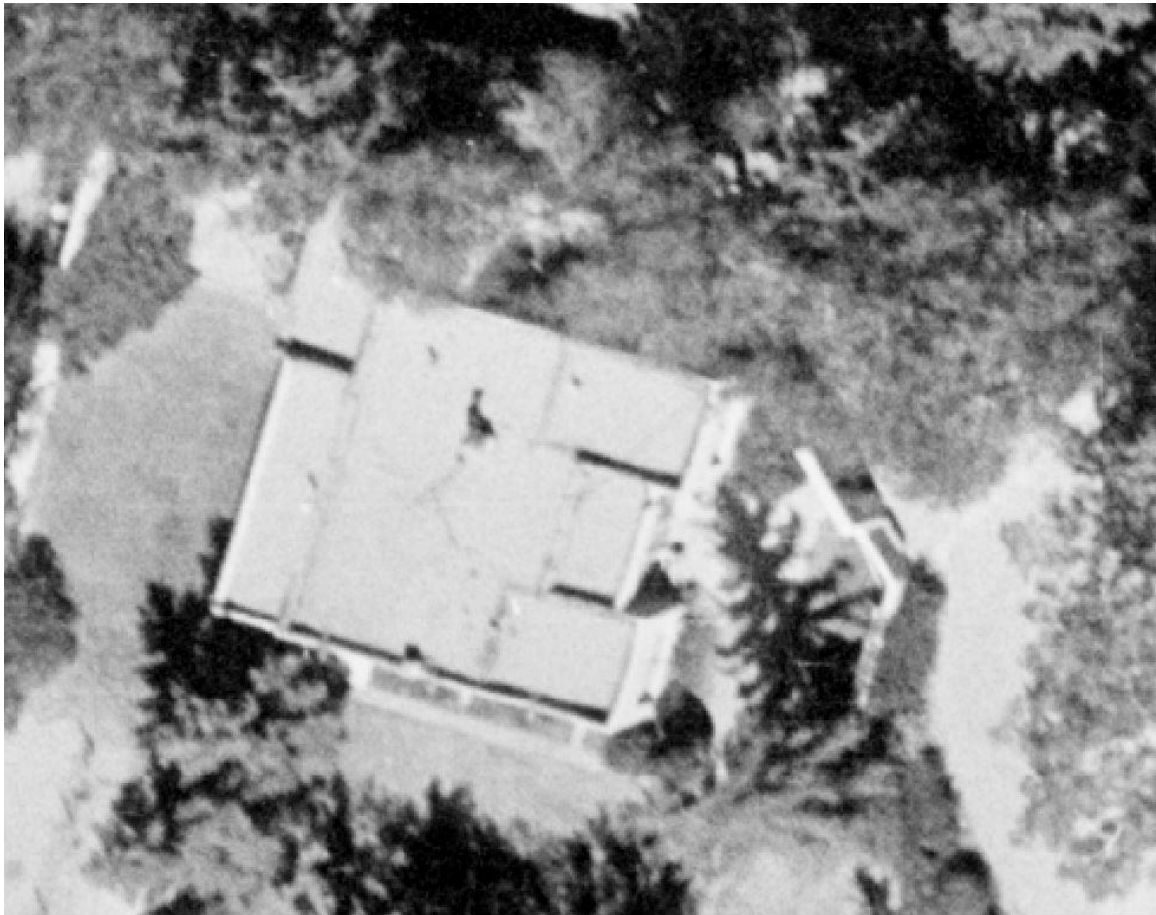
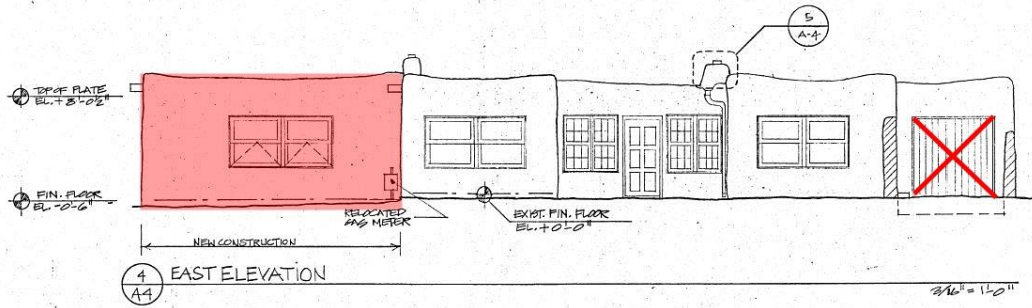


Figure 7: September 11, 1978, aerial photograph.

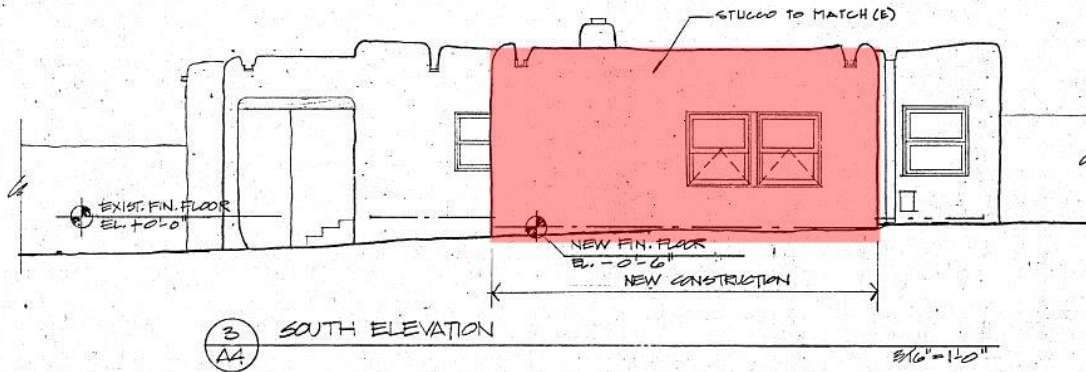
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East

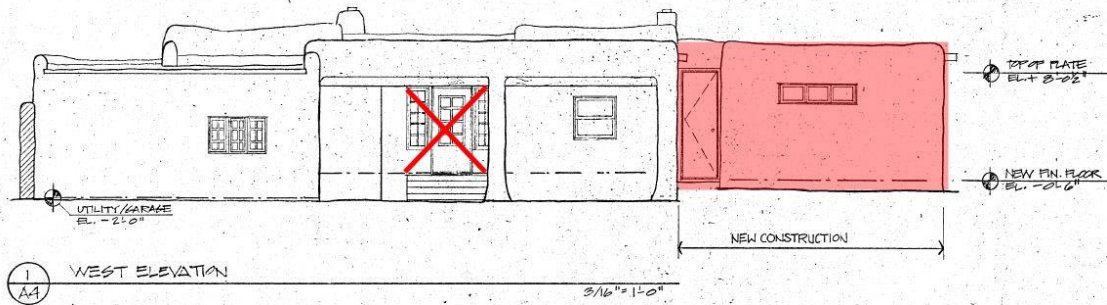


South

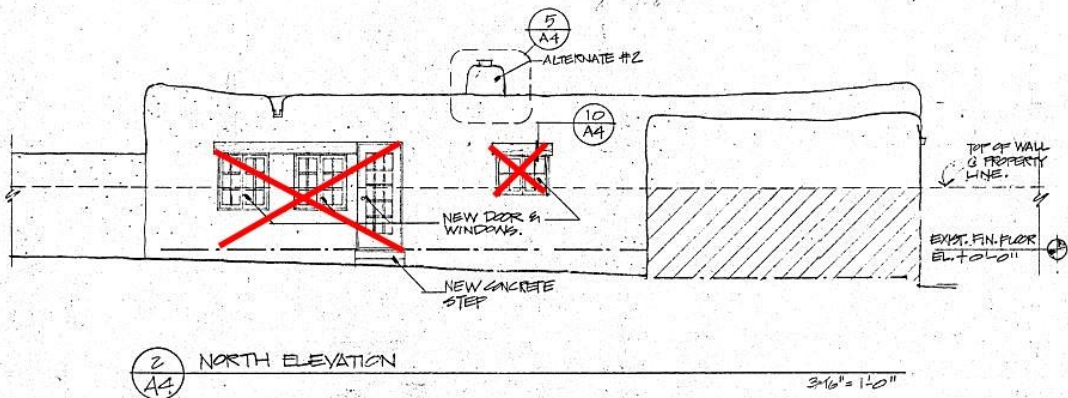
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West



North

Figure 8: 1992 combined existing and proposed drawings, Garrett Smith. Red blocking indicates new construction; red "x" indicates fenestration that has changed since the drawings were made.

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Survey Photographs

(All images taken by Giulia Caporuscio on January 14, 2026, unless otherwise noted)

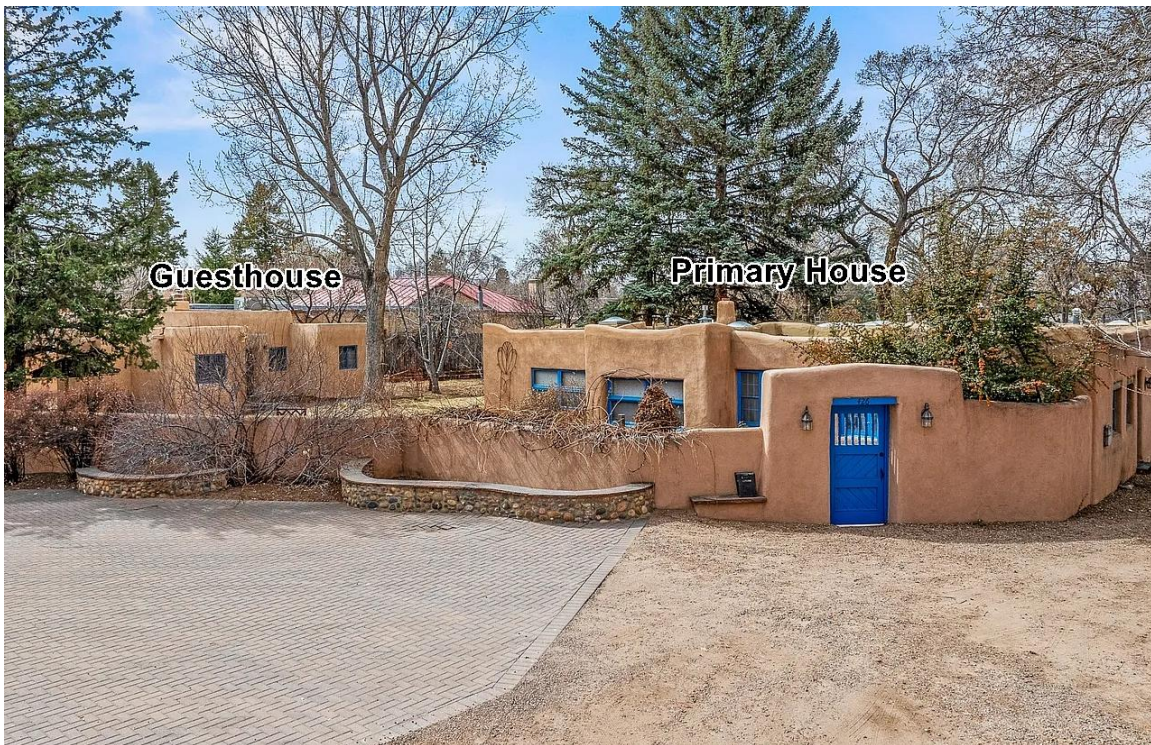


Photo 2: Setting. Undated real estate photograph taken from an elevated position and free of vehicles.

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Photo 3: East Elevation. Entry. Enclosed entry hall was constructed in 1954. Camera facing west.

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Photo 4: East Elevation. Interior of east entry hall. Camera facing west.

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Photo 5: East elevation. Camera facing southwest.

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Photo 6: East elevation. South end of original building in foreground. Camera facing west.

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Photo 7: East elevation. 1992-93 addition. Camera facing west.

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Photo 8: South elevation. 1992-93 addition. Camera facing northeast.

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Photo 9: West elevation. 1929-30 addition at right. Camera facing northeast.

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Photo 10: West elevation. Passageway between original building and 1992-93 addition. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657			
		4. County: Santa Fe			
		5. Date of Survey: January 14, 2026			



Photo 11: West elevation. Portal erected in 1958. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657			
		4. County: Santa Fe			
		5. Date of Survey: January 14, 2026			



Photo 12: West elevation. Portal decking. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe		
		5. Date of Survey: January 14, 2026			



Photo 13: West elevation. Original garage at left. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>						
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D					
1. Name of property: Russel Family Property	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px; vertical-align: top;">2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe</td> <td style="padding: 5px; vertical-align: top;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-1657</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: January 14, 2026</td> </tr> </table> </td> </tr> </table>	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-1657</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: January 14, 2026</td> </tr> </table>	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe	5. Date of Survey: January 14, 2026
2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-1657</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: January 14, 2026</td> </tr> </table>	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe	5. Date of Survey: January 14, 2026		
3. Local Reference Number: Santa Fe ID: H-1657						
4. County: Santa Fe						
5. Date of Survey: January 14, 2026						



Photo 14: North elevation. Change of fenestration after 1992. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657
		4. County: Santa Fe
		5. Date of Survey: January 14, 2026



Photo 15: North elevation. Change of fenestration after 1992. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe		
		5. Date of Survey: January 14, 2026			



Photo 16: East elevation. 1936 replacement garage with door opening infilled after 1992. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe
3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe
5. Date of Survey: January 14, 2026	



Photo 17: 1992-93 Guesthouse. North elevation. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe
3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe
5. Date of Survey: January 14, 2026	



Photo 18: 1992-93 Guesthouse. North elevation. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe		
		5. Date of Survey: January 14, 2026			



Photo 19: Shed. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Russel Family Property	2. Location: 426 Delgado Lane — Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1657	4. County: Santa Fe		
		5. Date of Survey: January 14, 2026			



Photo 20: South property wall and gate entry. Camera facing west.

RPA & Associates, LLC.

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos de Albuquerque, NM 87114
 P.O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 rpahistoric@gmail.com



TO Gayla Bechtol Architect
 320 Aztec Street
 Santa Fe, NM 87505
 gayla@gbasantafe.com

JOB	DATE
426 Delgado Lane, Santa Fe, NM 87505	01/22/2026

LOCATION	DESCRIPTION
<u>EAST</u>	
D01	36" x 80" LH INSWING 13-PANEL MAHOGANY TRUE DIVIDED LIGHT ALL WOOD
W01	28" x 57" - 2 (+/-) TWIN DOUBLE HUNG 3W2H/3W2H TRUE DIVIDED LIGHT ALL WOOD
W02	<u>FIXED/FIXED</u> 49" x 22" - 2 (+/-) SS 1-LT ALL WOOD AWNING/AWNING 49" x 28" - 2 (+/-) VV
W14	<u>FIXED/FIXED</u> 44" x 20" - 2 (+/-) SS 1-LT ALL WOOD AWNING/AWNING 44" x 20" - 2 (+/-) VV
W15	28" x 57" - 2 (+/-) TWIN DOUBLE HUNG 3W2H/3W2H ALL WOOD
<u>SOUTH</u>	
W03	<u>FIXED</u> 49" x 22" (+/-) S 1-LT ALL WOOD AWNING 49" x 28" (+/-) V
<u>EAST</u>	
W04	<u>FIXED/FIXED</u> 47" x 24" - 2 (+/-) SS 1-LT ALL WOOD AWNING/AWNING 47" x 24" - 2 (+/-) VV
<u>SOUTH</u>	
W05	45" x 55" - 2 (+/-) TWIN DOUBLE HUNG 1/1 ALL WOOD
<u>WEST</u>	
W06	24" x 21" - 3 TRIPLE AWNING VVV 1-LT ALL WOOD

JOB		DATE
426 Delgado Lane, Santa Fe, NM 87505		01/22/2026
LOCATION	DESCRIPTION	
<u>WEST</u>		
D20	32" x 82" (+/-) RH OUTSWING 6-PANEL METAL DOOR	
<u>SOUTH</u>		
W07	<u>FIXED</u> 41" x 24" (+/-) S 1-LT ALL WOOD AWNING 41" x 24" (+/-) V	
<u>WEST</u>		
D09	30" x 80" RH INSWING SOLID CORE MASONITE FLUSH DOOR ALL WOOD	
D10	24"/32"/24" x 80" STAT/LH INSWING/STAT DOOR 2W5H/3W5H/2W5H TRUE DIVIDED LIGHT ALL WOOD	
W08	<u>FIXED</u> 41" x 24" (+/-) S 1-LT ALL WOOD AWNING 41" x 24" (+/-) V	
<u>SOUTH</u>		
D08	32" x 80" LH INSWING SOLID CORE BIRCH FLUSH DOOR ALL WOOD	
<u>WEST</u>		
W09	18" x 38" – 3 (+/-) TRIPLE LSR INSWING CASEMENT 2W3H ALL WOOD	
<u>NORTH</u>		
D04	30" x 80" RH INSWING 6- PANEL METAL DOOR	
W11	28" x 24" (+/-) AWNING V3W2H ALL WOOD	
W12	40" x 36" (+/-) DOUBLE HUNG 3W1H/3W1H ALL WOOD	
W13	40" x 36" (+/-) DOUBLE HUNG 3W1H/3W1H ALL WOOD	
<u>EAST</u>		
W10	32" x 40" (+/-) R CASEMENT 2W3H ALL WOOD	
<u>EAST</u> INTERIOR – ORIGINAL EXTERIOR WALL OF THE PORTAL NOW ENCLOSED		
W16	40" x 40" FIXED 1-LITE, EXPOSED HEADER, STOPPED IN GLASS	
W17	36" x 40" FIXED 1-LITE, EXPOSED HEADER, STOPPED IN GLASS	

In closing, my professional opinion is as follows:

Window W01, W09, W15, W16 and W17 are historic.

Window W02, W03, W04, W05, W06, W07, W08, W10, W11, W12, W13 and W14 are non-historic.

Doors D01, D04, D08, D09, D10 and D20 are all non-historic.

My suggestion for the replacement windows is that the units be a casement or double hung window typical of the original era of the structure. The units should have an authentic simulated divided light look as in like and kind of window W01 and W15.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Ra N. Patterson*

RPA & ASSOCIATES, LLC | WINDOW & DOOR CONDITION AND INTEGRITY CODES

CODE	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION.
	PUTTY GLAZE INTACT.
	ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS.
	PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% –
	40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE.
	PUTTY GLAZING CRACKING AND MISSING IN 30% – 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE
	SOME MEMBERS 30% – 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED.
	PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40%
	DETERIORATION, BEYOND REPAIR.

NOTES:

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC - AGE
EAST W14	<u>FIXED/FIXED</u> 44" x 20" SS AWNING/AWNING 44" x 20" VV 1-LITE – INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” CRANK OUT AWNING (1994)
W15	28" x 57" – 2 (+/-) TWIN DOUBLE HUNG 3W2H/3W2H – TDL – ALL WOOD	F	HISTORIC
D01	36" x 80" LH INSWING MAHOGANY DOOR 13-PANELS – ALL WOOD	S	NON-HISTORIC – GREAT EASTERN DOOR (1994)
W01	28" x 57" – 2 (+/-) TWIN DOUBLE HUNG 3W2H/3W2H – TDL – ALL WOOD	F	HISTORIC
W02	<u>FIXED/FIXED</u> 49" x 22" (+/-) SS AWNING/AWNING 49" x 28" (+/-) VV 1-LITE – ALL WOOD	S	NON-HISTORIC – “MARVIN” PUSH OUT, AIR NAILED BEAD (1989)
SOUTH W03	<u>FIXED</u> 49" x 22" (+/-) S AWNING 49" x 28" (+/-) V 1-LITE – ALL WOOD	S	NON-HISTORIC – “MARVIN” PUSH OUT, AIR NAILED BEAD (1989)
EAST W04	<u>FIXED/FIXED</u> 47" x 24" – 2 (+/-) SS AWNING/AWNING 47" x 24" – 2 (+/-) SS INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” CRANK OUT AWNING (1994)
SOUTH W05	45" x 55" – 2 (+/-) TWIN DOUBLE HUNG 1/1 INSULATED GLASS	F	NON-HITORIC – “LINCOLN” (1994)

NOTES:

RPA & ASSOCIATES, LLC | 426 DELGADO LANE, SANTA FE, NM 87505

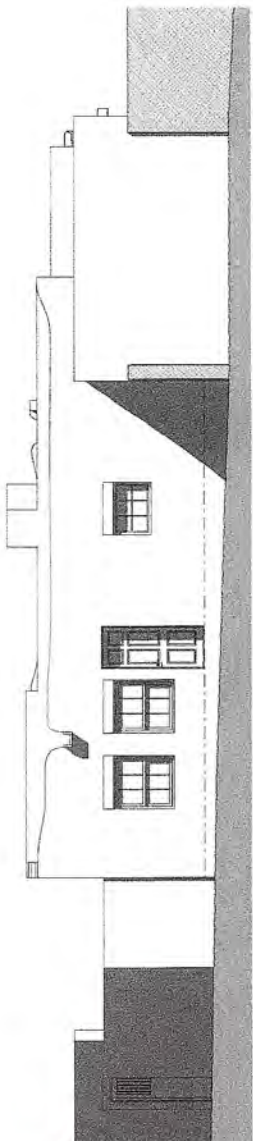
LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC – AGE
WEST W06	24" x 21" – 3 TRIPLE AWNING VVV 1-LITE INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” AIR GUN NAILS IN THE SASH ASSEMBLY (1994)
D20	32" x 82" RH OUTSWING 6-PANEL METAL DOOR	S	NON-HISTORIC – “THERMA TRU” METAL DOOR (2000’s)
SOUTH W07	<u>FIXED</u> 41" x 24" (+/-) S AWNING 41" x 24" (+/-) V 1-LITE – ALL WOOD	S	NON-HISTORIC – “MARVIN” PUSH OUT, AIR NAIL BEAD (1989)
WEST W08	<u>FIXED</u> 41" x 24" (+/-) S AWNING 41" x 24" (+/-) S 1-LITE – ALL WOOD	S	NON-HISTORIC – “MARVIN” PUSH OUT, AIR NAIL BEAD (1989)
D10	24"/32"/24" x 80" STAT/LH INSWING/STAT DOOR 2W5H/3W5H/2W5H – TDL	S	NON-HISTORIC – “SIMPSON” MANUFACTURED WOOD BEAD, AIR GUN NAILS (1994)
D09	30" x 80" RH OUTSWING SOLID CORE MASONITE SLAB FLUSH DOOR	U	NON-HISTORIC – DELAMINATING DOOR (2000’s)
SOUTH D08	32" x 80" LH INSWING SOLID CORE BIRCH FLUSH DOOR – ALL WOOD	S	NON-HISTORIC – (2000’s)
W09	18" x 38" – 3 (+/-) TRIPLE LSR INSWING CASEMENT 2W3H – ALL WOOD	F	HISTORIC
NORTH W13	40" x 36" (+/-) DOUBLE HUNG 3W1H/3W1H INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” (1994)

NOTES:

RPA & ASSOCIATES, LLC | 426 DELGADO LANE, SANTA FE, NM 87505

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTEGRITY CODE	HISTORIC/NON-HISTORIC – AGE
W12	40" x 36" (+/-) DOUBLE HUNG 3W1H/3W1H INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” (1994)
D04	30" x 80" RH INSWING 6-PANEL METAL DOOR	S	NON-HISTORIC – “THERMA TRU” MANUFACTURED METAL DOOR (2000’s)
W11	28" x 24" (+/-) V AWNING 3W2H INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” CRANK OUT CASEMENT (1994)
EAST W10	32" x 40" (+/-) R CASEMENT 2W3H INSULATED GLASS – ALL WOOD	S	NON-HISTORIC – “LINCOLN” CRANK OUT CASEMENT (1994)
EAST	INTERIOR – ORIGINAL EXTERIOR WALL OF NOW ENCLOSED PORTAL		
W16	40" x 40" FIXED 1-LITE – SINGLE GLAZED	S	HISTORIC – OPENINGS AND HEADER – EXPOSED WOOD NON-HISTORIC – STOPS AND GLAZING (1989 – 1994)
W17	36" x 40" FIXED 1-LITE – SINGLE GLAZED	S	HISTORIC – OPENINGS AND HEADER – EXPOSED WOOD NON-HISTORIC – STOPS AND GLAZING (1989 – 1994)

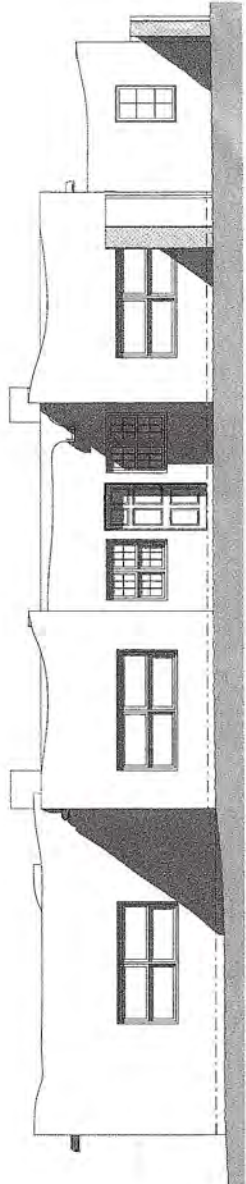
NOTES:



North Elevation

1/4" = 1'-0"

2
A301



East Elevation

1/4" = 1'-0"

1
A301



250 SCIENCE CENTER DRIVE, SUITE 100
 SANTA FE, NM 87505
 505-948-4321
 www.gaylabeachtol.com

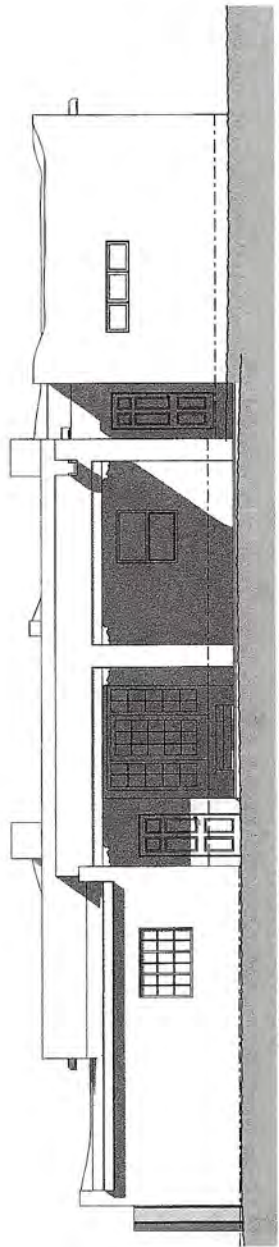
**Cochran
 Renovation**
 426 DELGADO LANE
 (FORMERLY STREET)
 SANTA FE, NM 87501

Project Number: 2025
 Drawings and Specifications are preliminary and subject to change without notice. They are not to be used for construction without the written approval of the architect. The architect is not responsible for construction methods or materials. The contractor is responsible for obtaining all necessary permits and for safety considerations and procedures in connection with the project.
 © 2025 - GAYLA BECHTOL ARCHITECT

COCHRAN RENOVATION
 426 DELGADO LANE
 SANTA FE, NM
 DOWNTOWN/EASTSIDE HISTORIC DISTRICTS

NOT FOR
 REGULATORY
 APPROVAL,
 PERMITTING, OR
 CONSTRUCTION

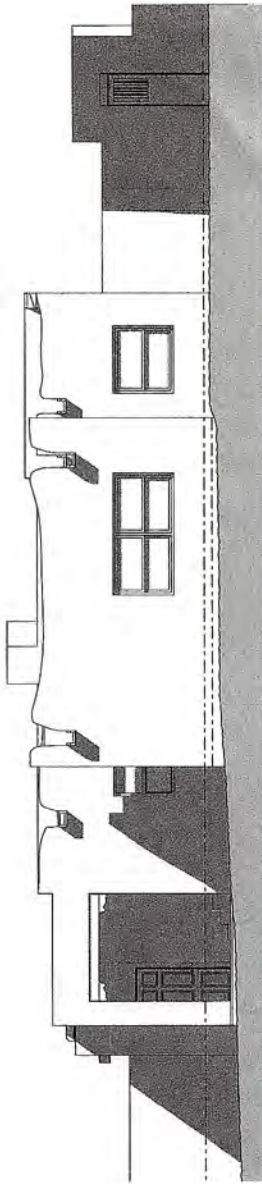
ISSUED:
 X00062025 - Issue Description
 Building Elevation
A202
 Notes: 03/08



West Elevation

1/4" = 1'-0"

2
 A301



South Elevation

1/4" = 1'-0"

1
 A301

East Elevation
Door
D-01



East Elevation
Window
W01



East Elevation
Window
W02



East Elevation
Window
W14



East Elevation
Window
W15



South
Elevation
Window
W03



East
Elevation
Window
W04



South
Elevation
Window
W05





West
Elevation
Window
W06



West
Elevation
Door
D20

South
Elevation
Window
W07



West
Elevation
Door
D09





West
Elevation
Door
D10 and sidelights

West
Elevation
Door
D10
Center swinging
door

West
Elevation
Door
D10
Left
sidelight
OSV

Text



West
Elevation
Door
D10
Right sidelight
OSV

West
Elevation
Window
W08



South
Elevation
Door
D08



West
Elevation
Window
W09





North
Elevation
Door
D04



North Elevation
Window
W11



North
Elevation
Window
W12



North
Elevation
Window
W13

East
Elevation
Window
W10



East Elevation
Interior of old
Portal
Window
W16



East Elevation
Interior of old portal
Window
W17



426 Delgado Ln
SFNM
West Elevation



426 Delgado Ln
North
Elevation



426 Delgado Ln
SFNM
South-East Elevation

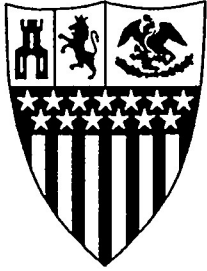


426 Delgado Ln
SFNM
East Elevation



426 Delgado Ln
SFNM
South Elevation





City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:
Larry A. Delgado, Dist. 1
Debbie Jaramillo, Dist. 1
Steven G. Farber, Dist. 2
Ouida MacGregor, Dist. 2

Councilors:
Frank Montaño, Dist. 3
Art Sanchez, Dist. 3
Peso Chavez, Dist. 4
Phil Griego, Mayor Pro Tem
Dist. 4

Case #H 92-67 Meeting Date May 11, 1992

Project Address 426 Delgado Lane District Core

Agent Garrett Smith Address 514 Central SW-Alb 87102 Phone 766-6968

Owner Dan & Flora Russell Address 6800 W. Ellsworth Ave. Denver, CO 80226 Phone 303-237-6898

PUBLICLY VISIBLE FACADES: (X) NORTH () SOUTH (X) EAST () WEST

HISTORICAL SIGNIFICANCE: NUMBER 014 AREA NO. 8 AGE 1938

() SIGNIFICANT (X) CONTRIBUTING () NON-CONTRIBUTING
(X) SURVEY SHEET ATTACHED () SURVEY SHEET NOT AVAILABLE () NOT SURVEYED

APPROVAL REQUIREMENTS: (X) NEW CONSTRUCTION (X) EXTERIOR RENOVATION
() DEMOLITION (X) BASAL SQUARE FOOTAGE 975 sq.ft.

PROPOSAL: Revised proposal for addition to main house; detached guesthouse.

BOARD ACTION

This is to certify that the Historic Design Review Board at their meeting on May 11, 1992, acted on the above referenced case. The decision of the Board was to () approve, (X) conditionally approve, () table, () deny your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows: The plane of the east elevation of the new construction must be located at least 8 ft. to the west of the plane of the east elevation of the existing building so as to not negatively impact the building's primary facade.

For further information please call 984-6657.

Sincerely,


Mary Grzeskowiak
Urban Design Review Specialist

NOTE: HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST. (SFCC 1987, SECTION 7-1.6)



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:

Larry A. Delgado, Dist. 1

Debbie Jaramillo, Dist. 1

Steven G. Farber, Dist. 2

Ouida MacGregor, Dist. 2

Councilors:

Frank Montaño, Dist. 3

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

Phil Griego, Mayor Pro Tem

Dist. 4

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() DEMOLITION (X) BASAL SQUARE FOOTAGE 975 sq.ft.

PROPOSAL: Revised proposal for addition to main house; detached guesthouse.

BOARD ACTION

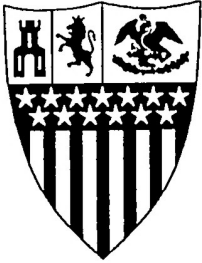
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Sincerely,

Mary Grzeskowiak
Urban Design Review Specialist

NOTE: HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST. (SFCC 1987, SECTION 7-1.6)



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Councilors:
Larry A. Delgado, Dist. 1
Debbie Jaramillo, Dist. 1
Steven G. Farber, Dist. 2
Ouida MacGregor, Dist. 2

Sam Pick, Mayor
Isaac J. Pino, City Manager

Councilors:
Frank Montaño, Dist. 3
Art Sanchez, Dist. 3
Peso Chavez, Dist. 4
Phil Griego, Mayor Pro Tem
Dist. 4

Case #H 92-67

Meeting Date May 11, 1992

Project Address 426 Delgado Lane District Core

Agent Garrett Smith Address 514 Central SW-Alb 87102 Phone 766-6968

Owner Dan & Flora Russell Address 6800 W. Ellsworth Ave. Denver, CO 80226 Phone 303-237-6898

PUBLICLY VISIBLE FACADES: NORTH SOUTH EAST WEST

HISTORICAL SIGNIFICANCE: NUMBER 014 AREA NO. 8 AGE 1938

SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING
 SURVEY SHEET ATTACHED SURVEY SHEET NOT AVAILABLE NOT SURVEYED

APPROVAL REQUIREMENTS: NEW CONSTRUCTION EXTERIOR RENOVATION
 DEMOLITION BASAL SQUARE FOOTAGE 975 sq.ft.

PROPOSAL: Revised proposal for addition to main house; detached guesthouse.

BOARD ACTION

This is to certify that the Historic Design Review Board at their meeting on _____, acted on the above referenced case. The decision of the Board was to approve, conditionally approve, table, deny your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows:

For further information please call 984-6657.

Sincerely,

Mary Grzeskowiak
Urban Design Review Specialist

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City of Santa Fe, New Mexico

memo

DATE: May 11, 1992

TO: Historic Design Review Board Members

FROM: Mary Grzeskowiak, Urban Design Review Specialist

CASE #H- 92-67 ADDRESS 426 DELGADO LANE

REFERENCE ATTACHMENTS (Chronologically):

CITY SUBMITTALS

- Case Synopsis
- District Guidelines
- State Historical Survey Sheet
- Minutes of _____
- Other _____

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Photographs
- Elevations
- Other _____

STAFF RECOMMENDATIONS:

Please refer to attached Memo.

City of Santa Fe, New Mexico

memo

DATE: May 11, 1992
TO: Historic Design Review Board
FROM: Mary Grzeskowiak, Urban Design Review Specialist
SUBJECT: Case #H 1992-67 426 DELGADO LANE

The applicant has revised a previously rejected proposal. In an effort to address the concerns expressed by the Board, the applicant proposes herein a one story addition to provide space for a master bedroom suite. The addition has been cited on the south elevation of the house and pushed 4 ft. back from the primary facade of the building.

Windows located on most elevations appear to exceed the 30" glazing rule.

Staff recommends the Board review the revised proposal for the main house for its addressing the concerns raised at the previous meeting.

In addition, this proposal includes the construction of a one story guesthouse as illustrated herein.

Staff has no concerns regarding this design and recommends approval.



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave. 87504-0909 984-6700

CORE HISTORIC DISTRICT
(RECENT SANTA FE STYLE)

DISTRICT DESIGN STANDARDS
SECTION 3-29D-3, SFCC 1981

CASE SYNOPSIS

CASE NO. 92-76 PROJECT LOCATION 426 Delgado lane

PUBLICLY VISIBLE: N () S () E () W () _____

1. MASSING: Applicable () Not Applicable ()

a. Building Height 10'

b. Roof Type flat

c. Facade Features multi lite windows, portals, rounded
corners

Complies () Does Not Comply ()

Staff Comments: _____

2. OPENINGS: Applicable () Not Applicable ()

a. Percentage of Opening per Facade

<u>OK</u>	<u>OK</u>	<u>OK</u>	<u>OK</u>
N	S	E	W

b. May Exceed 40%-Under Portal OK

c. 30" Maximum Glass Size (larger under portal) NO -

d. 3 ft. Minimum Distance from Corners OK

Complies () Does Not Comply ()

Staff Comments: windows exceed 30"

3. CANTILEVERS/OVERHANGS: Applicable () Not Applicable ()

a. Cantilevered Elements _____

b. 30" Maximum Roof Overhang _____

Complies () Does Not Comply ()

Staff Comments: _____

4. MATERIALS: Applicable (X) Not Applicable ()
a. Primary Exterior Finish stucco
b. Secondary Exterior Finish wood window / portal features
Complies (X) Does Not Comply ()
Staff Comments: _____

5. COLORS: Applicable (X) Not Applicable ()
a. Exterior br. to match existing
b. Accents brown
c. Maximum Glass Area -
Complies (X) Does Not Comply ()
Staff Comments: _____

6. ROOFS: Applicable (X) Not Applicable ()
a. Roof Type and Slope OK
b. 30 Maximum Roof Overhang -
c. Parapets Concealed Equipment -
Complies (X) Does Not Comply ()
Staff Comments: _____

HISTORIC DESIGN REVIEW BOARD ACTION

Approved () Deny () Table () Conditionally Approved ()

CONDITIONS:

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

ADDRESS: 426 DELGADO ST.

ID NUMBER: Q51600014

CAMINO DEL MONTE SOL NAT. HIST. DIST.

BUILDING NAME:

UTM REFERENCE EASTING NORTHING

LEGAL DESCRIPTION:

ZONE 12 13

TNSP 17 N RANGE 9 E SEC 25 NE 1/4 NE 1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:

ESTIMATE 1938 ACTUAL

SOURCE(S) CITY DIRECTORY

ARCHITECTURAL STYLE:

PUEBLO REVIVAL

USE:

HISTORIC: residential

OTHER

PRESENT: residential

OTHER

SURROUNDINGS: RESIDENTIAL

RELATIONSHIP TO HISTORIC SURROUNDINGS:

SIMILAR NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES NO

WHAT TYPE? ATTACHED 1 CAR GARAGE
IF INVENTORIED, LIST ID NUMBER(S)

DEGREE OF REMODELING:

MINOR MODERATE

MAJOR

EXPLAIN: NEW WINDOWS
OLD PARAPET VISABLE FRONT

OVERALL CONDITION:

EXCELLENT GOOD

FAIR DETERIORATED

BUILDING THREATENED?

YES NO

PHOTO

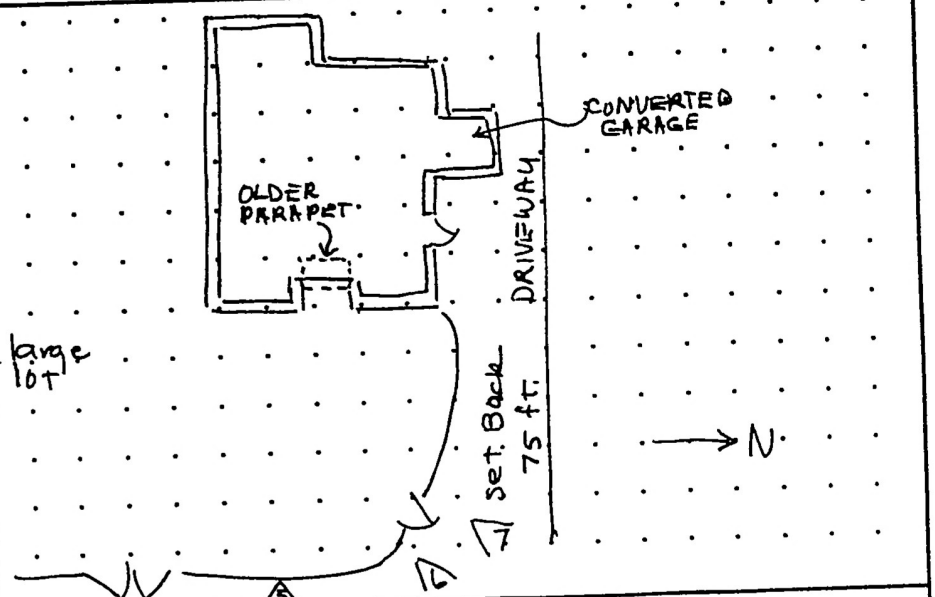


#5 EAST SIDE

BUILDING DATA

SITE PLAN

SIGNIFICANCE



LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES NO ELIGIBLE

CONTRIBUTING NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES NO ELIGIBLE CONT

LOCAL DESIGNATION: Core HISTORIC DISTRICT

SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

LOCAL LANDMARK YES NO

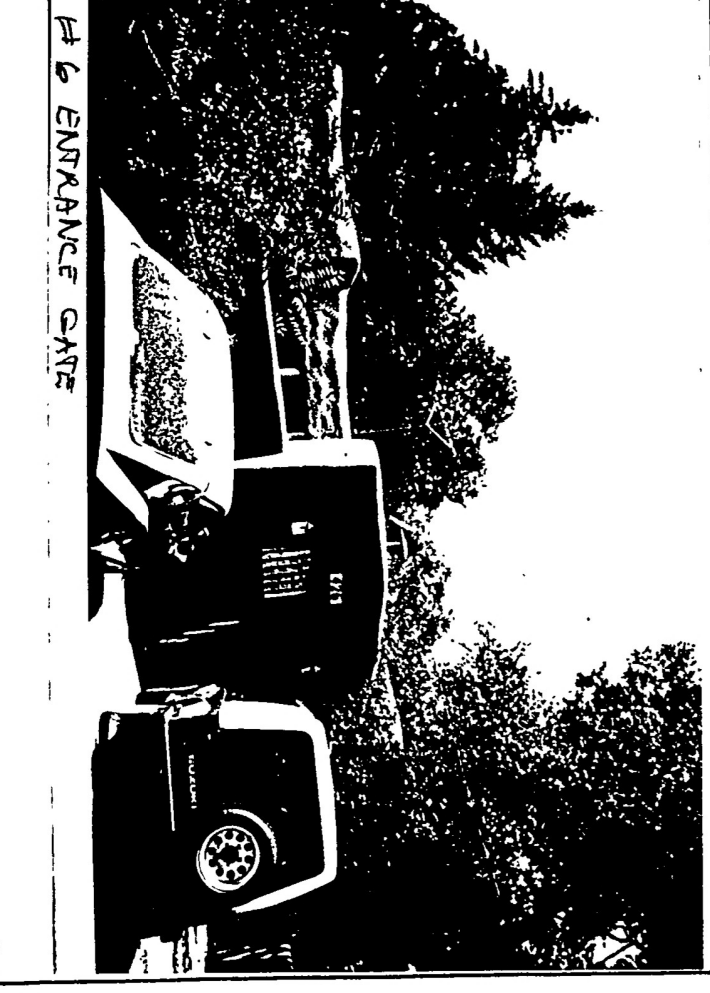
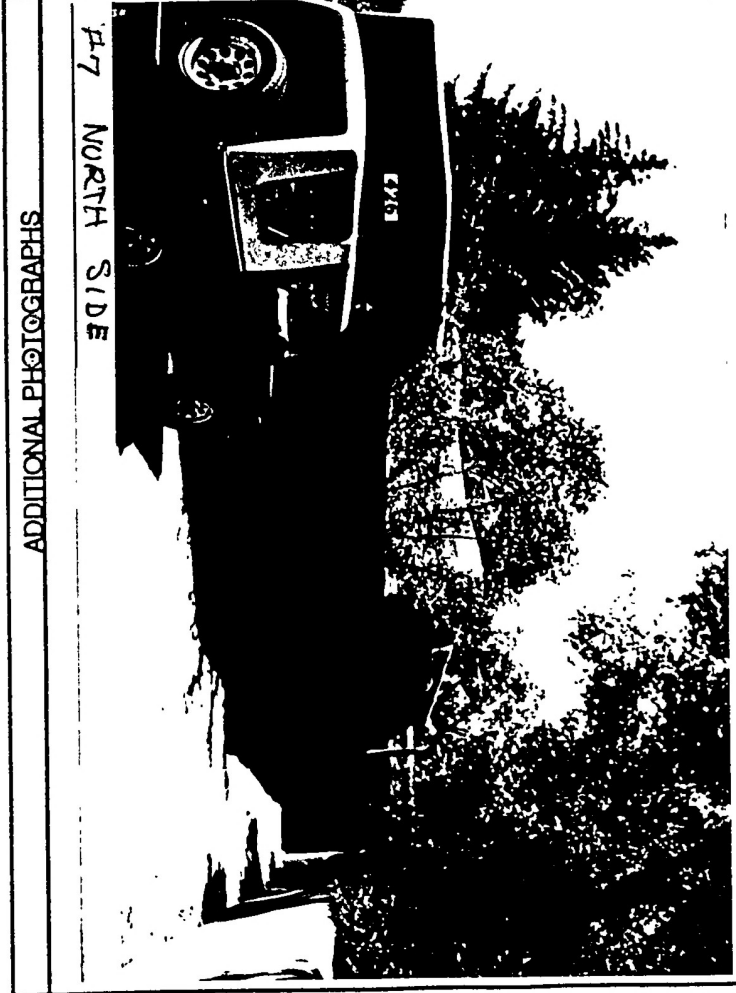
SURVEYED 8-29-91 BY Ac

NEGATIVES WITH NMHPD ROLL # _____ NEG # _____ TO _____

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	STUCCO	
FOUNDATIONS	NOT VISABLE	
DOORS	FRONT DOOR PANELED & CARVED	
WINDOWS	N. SIDE - WOOD FRAME AWNING - E+N DBH 6/6	PROBABLY NEW AWNING WINDOWS DBH WINDOWS WOOD FRAME
PORTALES		
CANALES		
PORCHES		
BALCONIES		
ROOFS	FLAT WITH PARAPETS	OLD PARA PETS BEHIND FRONT ENTRANCE
COURTYARDS		
FENCES/WALLS	5 FT STUCCO WALL	
ARCH. DETAILS	PARAPETS COME TO A PEAK AT CORNERS	
OTHER	100 FT SET BACK	

ARCHITECTURAL AND LANDSCAPE FEATURES

COMMENTS ONE CAR GARAGE CONVERTED TO LIVING SPACE
 1987 PETTIS MONTGOMERY LISTED AS OWNER APPLIED FOR PERMISSION TO REMODEL.
 1928-9 DIRECTORY LISTING



ADDITIONAL PHOTOGRAPHS

1. CORE HISTORIC DISTRICT

(Section 14-70.9, SFCC 1987; pgs. 1636 - 1638)

The Board reviews publicly visible projects, such as new construction, additions, renovations, remodeling, and demolitions of roofed structures.

Staff reviews not publicly visible roofed structures, as mentioned above. Staff also reviews signs and miscellaneous structures (including walls/fences, non-roofed structures, repainting and stucco colors), that are publicly visible or not.

Buildings are required to be designed in the "Santa Fe Style", defined as including both the Pueblo Spanish and Territorial vernaculars. Briefly, the design regulations state that no glass panes may be greater than 30 inches in any dimension (except under portals), that doors and windows can constitute no more than 40 percent of any facade, and that no window or door can be closer than three (3) feet to the outside edge of any facade. A building's massing, color and proportion must be characteristic of adobe construction, even if made in frame/stucco or block/stucco. Pitch roofs are allowed, but must meet certain tests; ask for Resolution as for specifics.

14-70.9 Standards; Downtown and Eastside.

CC

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lizains, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls.

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space

under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations:

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection:

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts:

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by recreation of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements:

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade:

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below:

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of

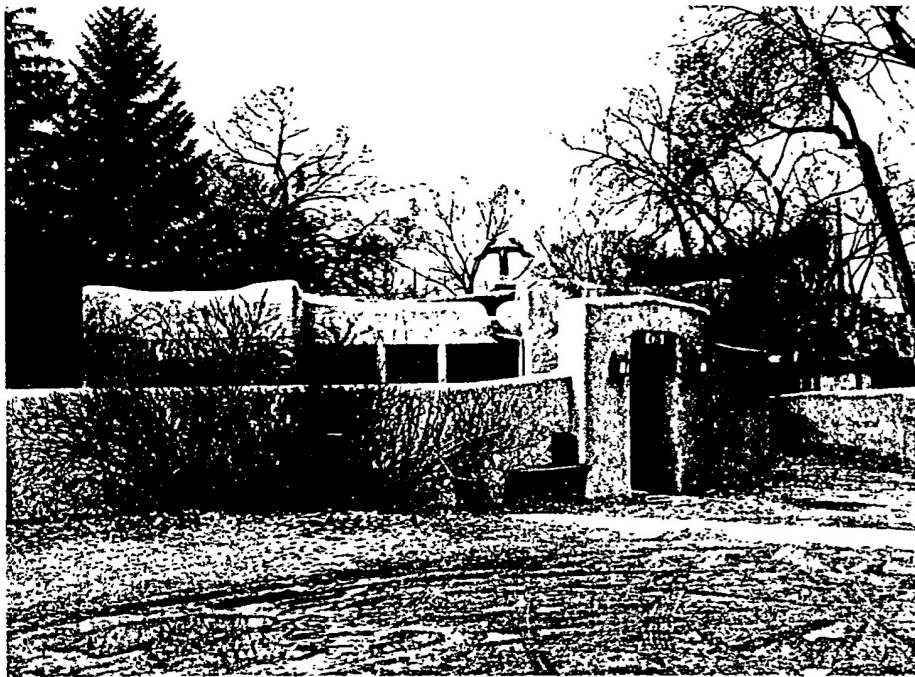
the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits:

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang.
(Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)



DELGADO -H LOOKING SOUTH



DELGADO -- LOOKING WEST



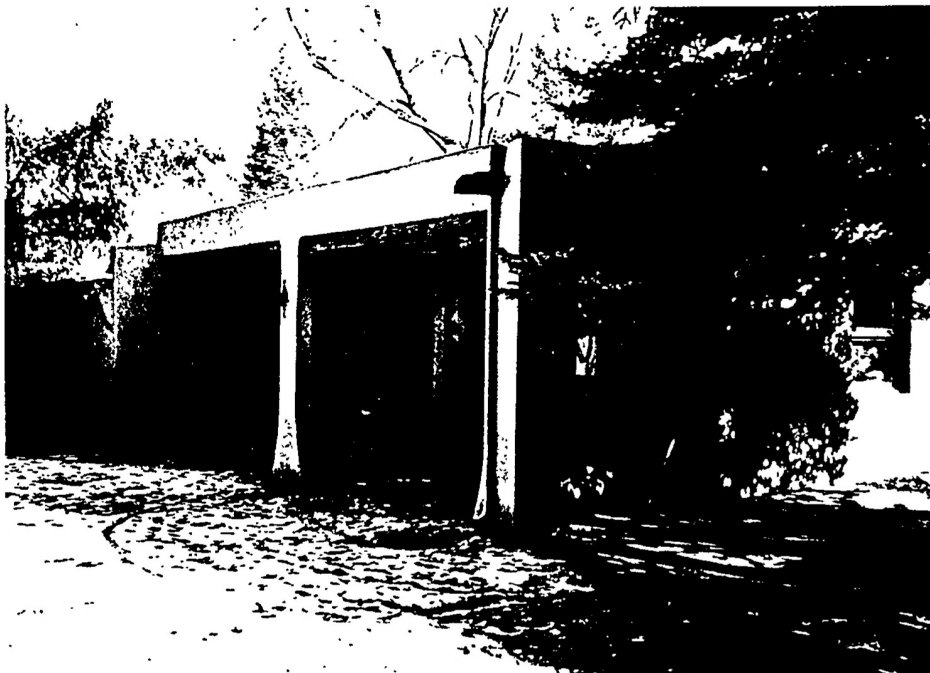
SOUTH



NORTH



EAST



WEST

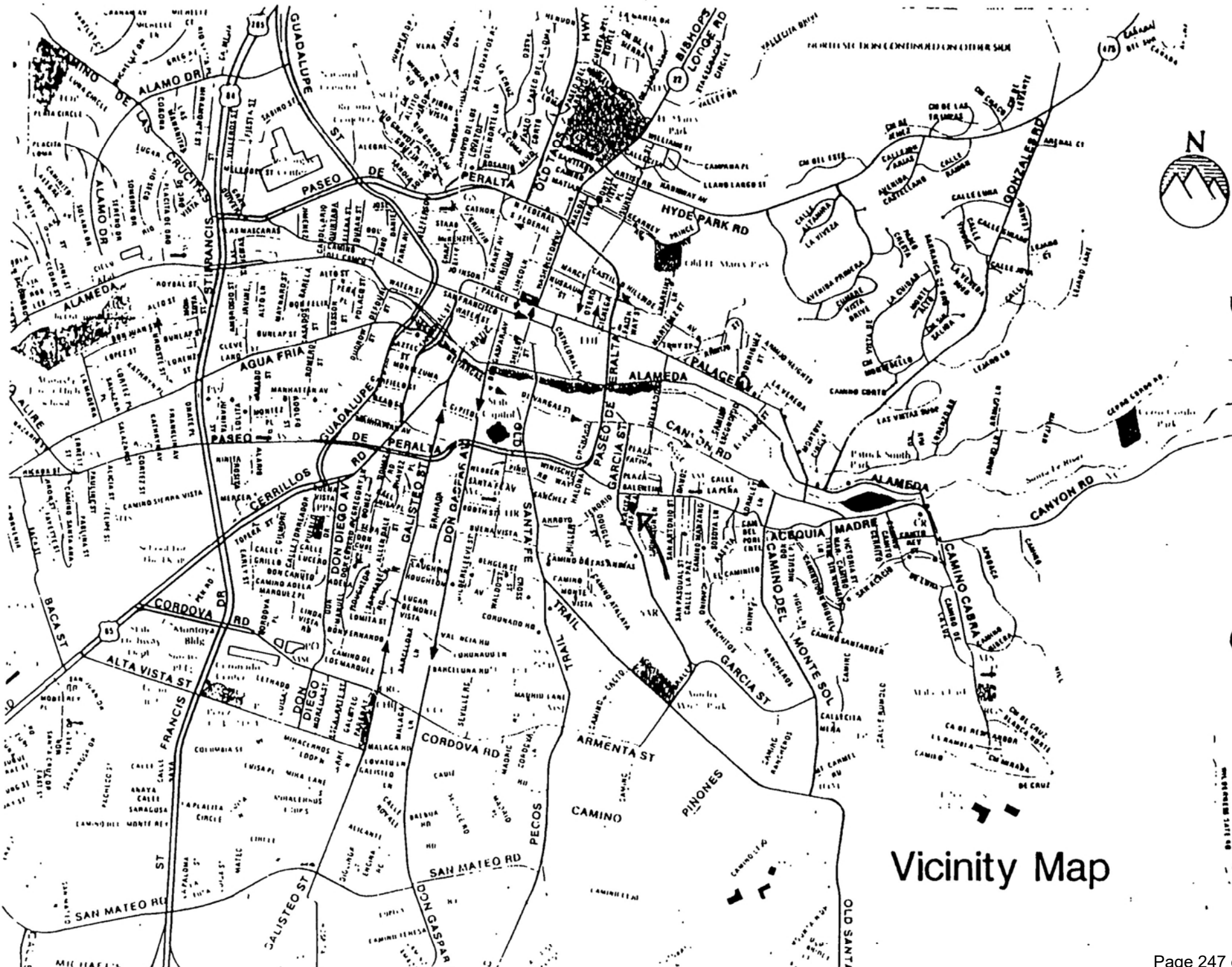


EXHIBIT D

Vicinity Map



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:

Larry A. Delgado, Dist. 1

Debbie Jaramillo, Dist. 1

Steven G. Farber, Dist. 2

Ouida MacGregor, Dist. 2

Councilors:

Frank Montaño, Dist. 3

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

Phil Griego, Mayor Pro Tem

Dist. 4

Case #H 92-67

Meeting Date April 27, 1992

Project Address 426 Delgado Lane District Core

Agent Garrett Smith Address 514 Central SW-Alb.87102 Phone 766-6968

Owner Dan & Flora Russell Address 6800 W. Ellsworth Ave. Phone 303-237-6898
Denver, CO 80226

PUBLICLY VISIBLE FACADES: (X) NORTH () SOUTH (X) EAST () WEST

HISTORICAL SIGNIFICANCE: NUMBER 014 AREA NO. 8 AGE 1938

() SIGNIFICANT (X) CONTRIBUTING () NON-CONTRIBUTING
(X) SURVEY SHEET ATTACHED () SURVEY SHEET NOT AVAILABLE () NOT SURVEYED

APPROVAL REQUIREMENTS: (X) NEW CONSTRUCTION (X) EXTERIOR RENOVATION
() DEMOLITION () BASAL SQUARE FOOTAGE _____

PROPOSAL: Second story addition to existing building

BOARD ACTION

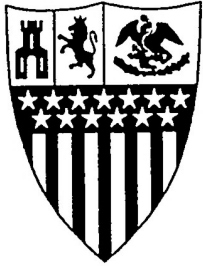
This is to certify that the Historic Design Review Board at their meeting on April 27, 1992, acted on the above referenced case. The decision of the Board was to () approve, () conditionally approve, () table, (X) deny your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows:

For further information please call 984-6657.

Sincerely,

Mary J. Grzeskowiak
Mary Grzeskowiak
Urban Design Review Specialist

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City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

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PUBLICLY VISIBLE FACADES: (X) NORTH () SOUTH (X) EAST () WEST

HISTORICAL SIGNIFICANCE: NUMBER 014 AREA NO. 8 AGE 1938

() SIGNIFICANT (X) CONTRIBUTING () NON-CONTRIBUTING
(X) SURVEY SHEET ATTACHED () SURVEY SHEET NOT AVAILABLE () NOT SURVEYED

APPROVAL REQUIREMENTS: (X) NEW CONSTRUCTION (X) EXTERIOR RENOVATION
() DEMOLITION () BASAL SQUARE FOOTAGE

PROPOSAL: Second story addition to existing building; construction of detached guesthouse.

(2nd story was rejected - guesthouse was not heard)

ng 4/28/92

BOARD ACTION

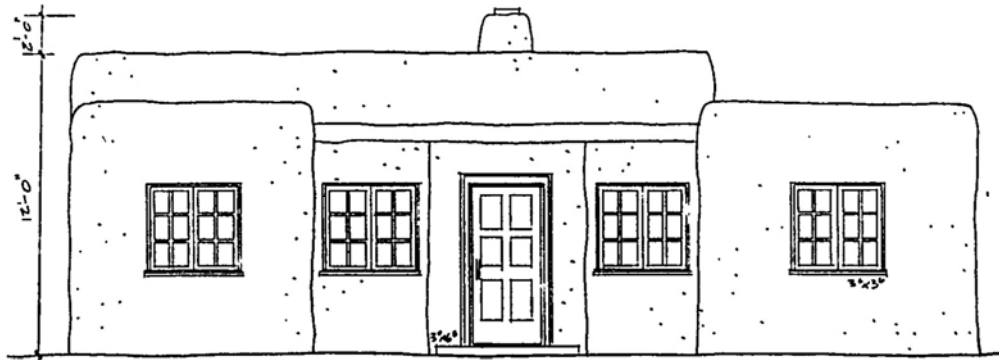
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For further information please call 984-6657.

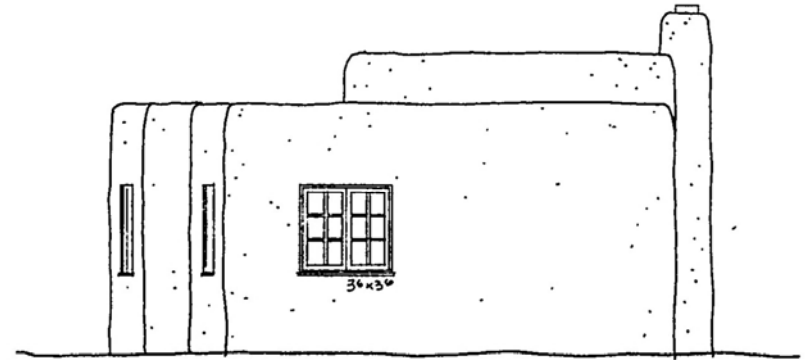
Sincerely,

Mary J. Gzeskowiak
Mary Gzeskowiak
Urban Design Review Specialist

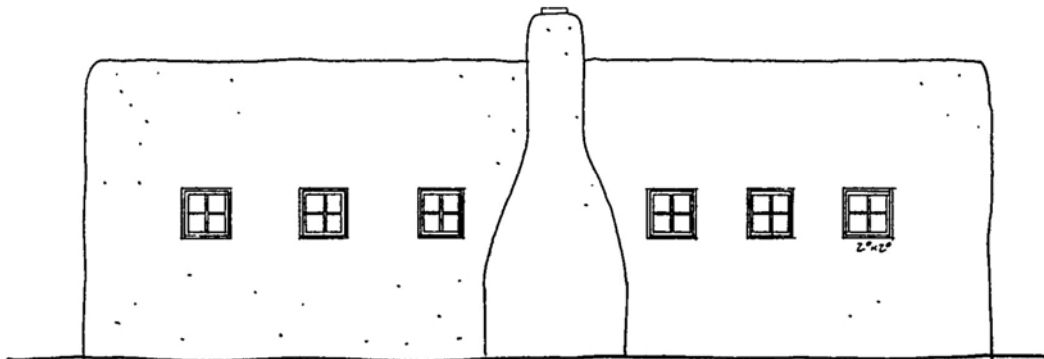
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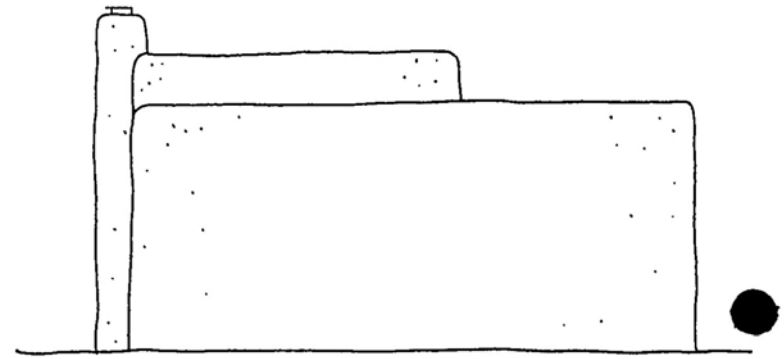
FRONT · NORTH



SIDE · WEST



REAR · SOUTH



SIDE · EAST

RUSSEL RESIDENCE GUEST HOUSE

426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS

City of Santa Fe, New Mexico

memo

DATE: April 17, 1992

TO: Historic Design Review Board Members

FROM: Mary Grzeskowiak, Urban Design Review Specialist

CASE #H- 92-67 ADDRESS 426 DELGADO LANE

REFERENCE ATTACHMENTS (Chronologically):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input checked="" type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Guidelines	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Photographs
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Elevations
	<input type="checkbox"/> Other _____

STAFF RECOMMENDATIONS:

The proposed construction of a second story master suite to the main house, and the detached guesthouse described herein utilizes the architectural vocabulary of the existing residence. In addition, the proposal meets the requirements for designing second stories as articulated by the City Council approved revisions to the Historic District Ordinance regarding setback and height requirements.

Since the proposal appears to conform with the existing code and future revisions, staff recommends approval.



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909 984-6700

CORE HISTORIC DISTRICT
(RECENT SANTA FE STYLE)

DISTRICT DESIGN STANDARDS
SECTION 3-29D-3, SFCC 1981

CASE SYNOPSIS

CASE NO. 92-687 PROJECT LOCATION 426 Delgado Lane

PUBLICLY VISIBLE: N () S () E () W ()

1. MASSING: Applicable () Not Applicable ()

- a. Building Height 19'5"
- b. Roof Type flat w/ parapet
- c. Facade Features multi lite windows, portal,

Complies () Does Not Comply ()

Staff Comments: _____

2. OPENINGS: Applicable () Not Applicable ()

- a. Percentage of Opening per Facade

<u>OK</u>	<u>OK</u>	<u>OK</u>	<u>OK</u>
N	S	E	W
- b. May Exceed 40%-Under Portal OK
- c. 30" Maximum Glass Size (larger under portal) OK
- d. 3 ft. Minimum Distance from Corners OK

Complies () Does Not Comply ()

Staff Comments: _____

3. CANTILEVERS/OVERHANGS: Applicable () Not Applicable ()

- a. Cantilevered Elements _____
- b. 30" Maximum Roof Overhang _____

Complies () Does Not Comply ()

Staff Comments: _____

4. MATERIALS: Applicable () Not Applicable ()

a. Primary Exterior Finish stucco

b. Secondary Exterior Finish no windows

Complies (X) Does Not Comply ()

Staff Comments: _____

5. COLORS: Applicable (X) Not Applicable ()

a. Exterior earthtone - buckskin

b. Accents match existing (br.) - ~~no~~ red/br stain

c. Maximum Glass Area _____

Complies (X) Does Not Comply ()

Staff Comments: _____

6. ROOFS: Applicable (X) Not Applicable ()

a. Roof Type and Slope flat w/ parapet

b. 30 Maximum Roof Overhang _____

c. Parapets Concealed Equipment _____

Complies (X) Does Not Comply ()

Staff Comments: _____

HISTORIC DESIGN REVIEW BOARD ACTION

Approved () Deny (X) Table () Conditionally Approved ()

CONDITIONS:

4-27-92

April 15, 1992

Mary Grzeskowiak
Urban Design Review Specialist
City of Santa Fe
PO Box 909, 200 Lincoln Avenue
Santa Fe, NM 87504-0909

Historic Design Review Board Proposal Letter

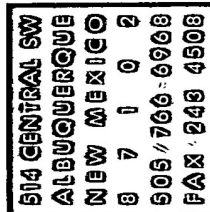
Regarding 426 Delgado Lane, Santa Fe

Construction Project: The owner proposes to construct a second floor bedroom suite addition to an existing residence. Within the existing residence, a new kitchen, powder room, and staircase will be built. Some existing windows and exterior doors will be removed or altered, and at certain locations new windows and exterior doors will be installed. The existing fireplace flue will be rebuilt and extended above the proposed addition. The addition will be wood frame construction with cement stucco exterior finish to match existing surfaces.

The owner also proposes to construct a one story detached guest house on the property. It is an approximately 975 SF one bedroom, wood frame building with cement stucco exterior finish to match existing surfaces.

Architectural History: The original house was built in 1928 of adobe construction. It was purchased by the present owners' parents and adobe plastered for the first time in 1933. The building then included one bedroom in the southeast corner, a sunporch in the southwest corner, a garage in the northeast corner and an entrance set back between the garage and bedroom. The house had protruding vigas at the parapet. The property has been extensively altered through the 1960's.

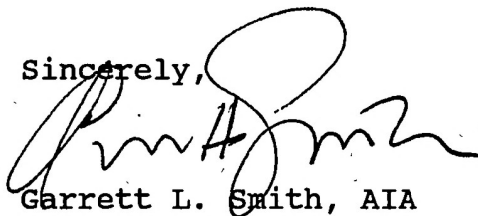
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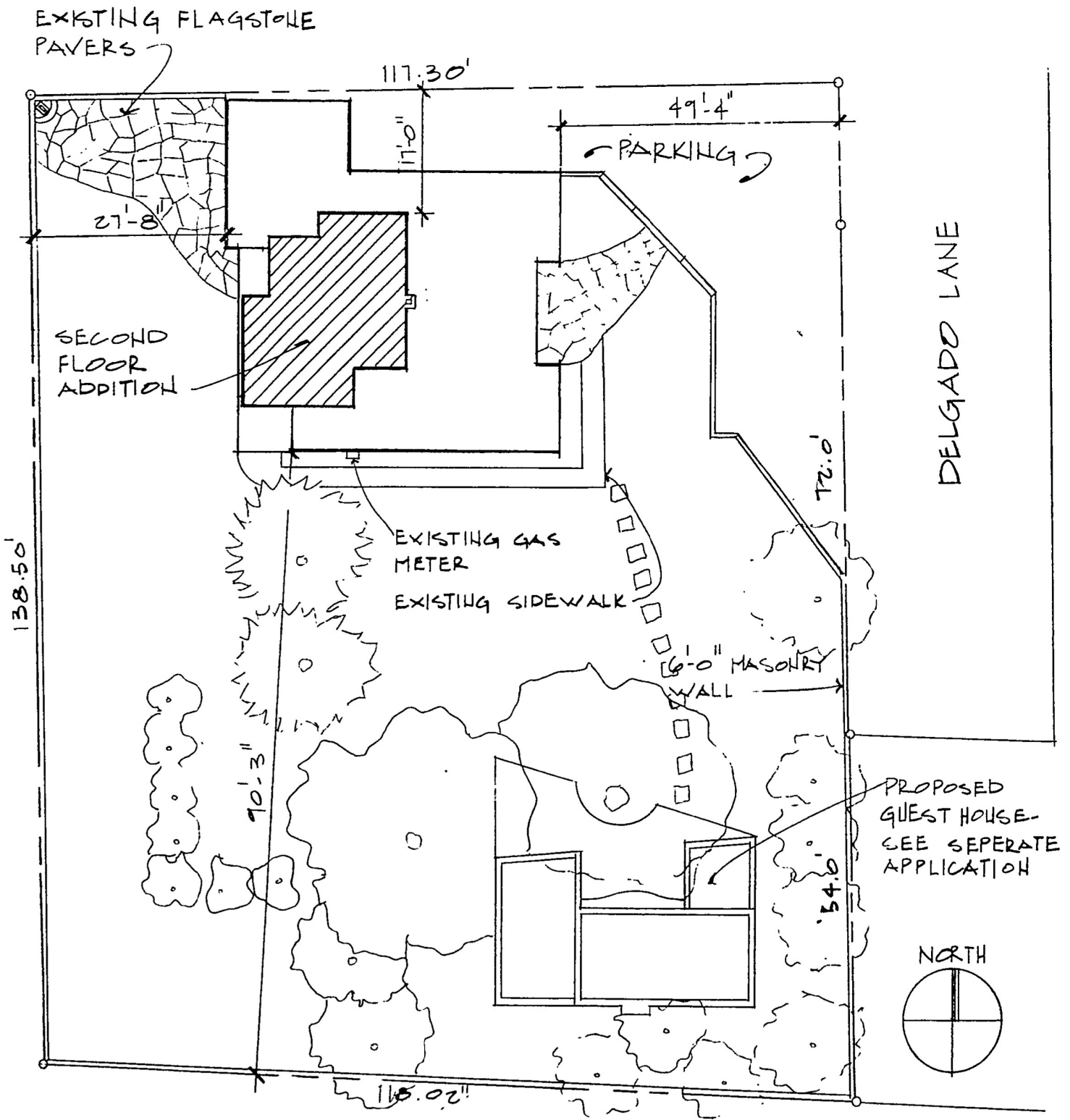
Exterior Alteration Chronology:

- 1936 Existing garage converted to bedroom (proposed dining room) and present garage added to northwest corner. Exterior of entire house replastered.
- 1946 Vigas cut off at exterior and plastered over.
- 1947 Present front gate and adjacent walls built along east and north property lines.
- 1949 Present cement block wall with stucco finish along west property line and outdoor fireplace at northeast corner built.
- 1954 Present enclosed entrance porch built.
- 1958 Present portal and french door added on west side of house.
- 1962 Present pumice-cement block wall along south property line built.
- 1964 Present wood, double-hung, single pane windows were installed.

Sincerely,



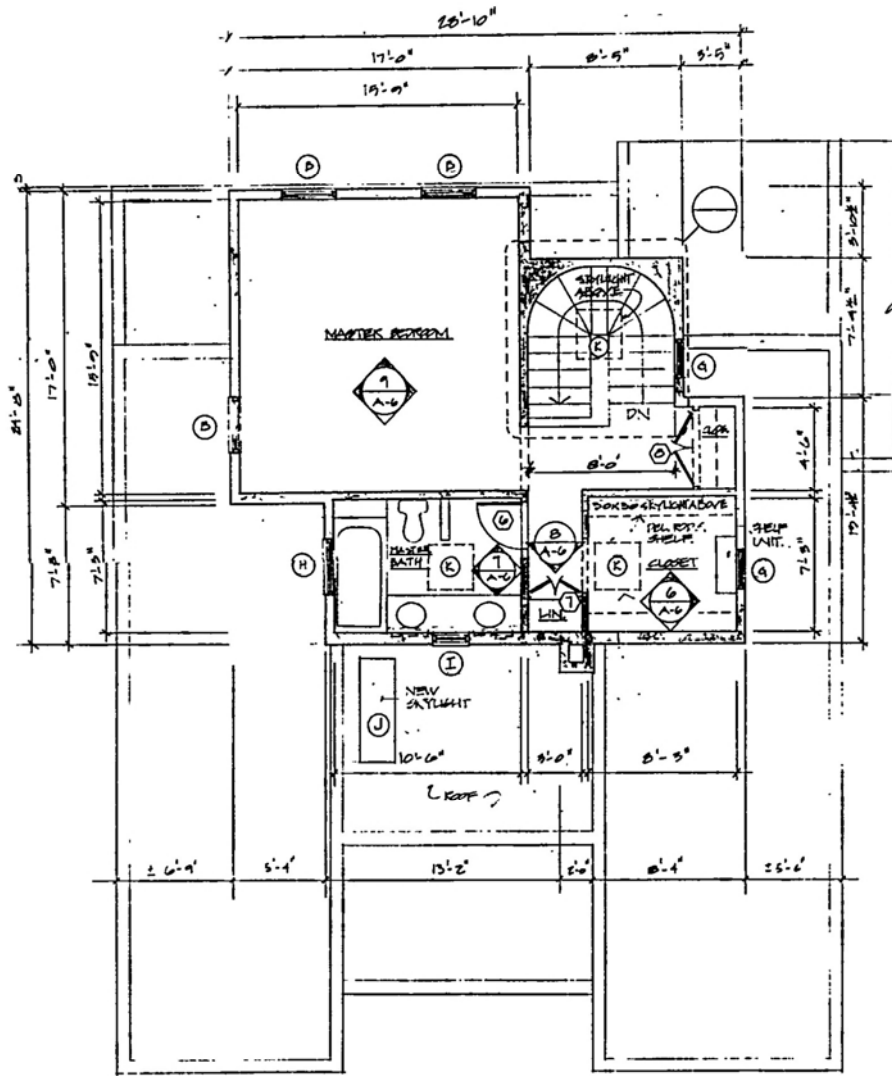
Garrett L. Smith, AIA



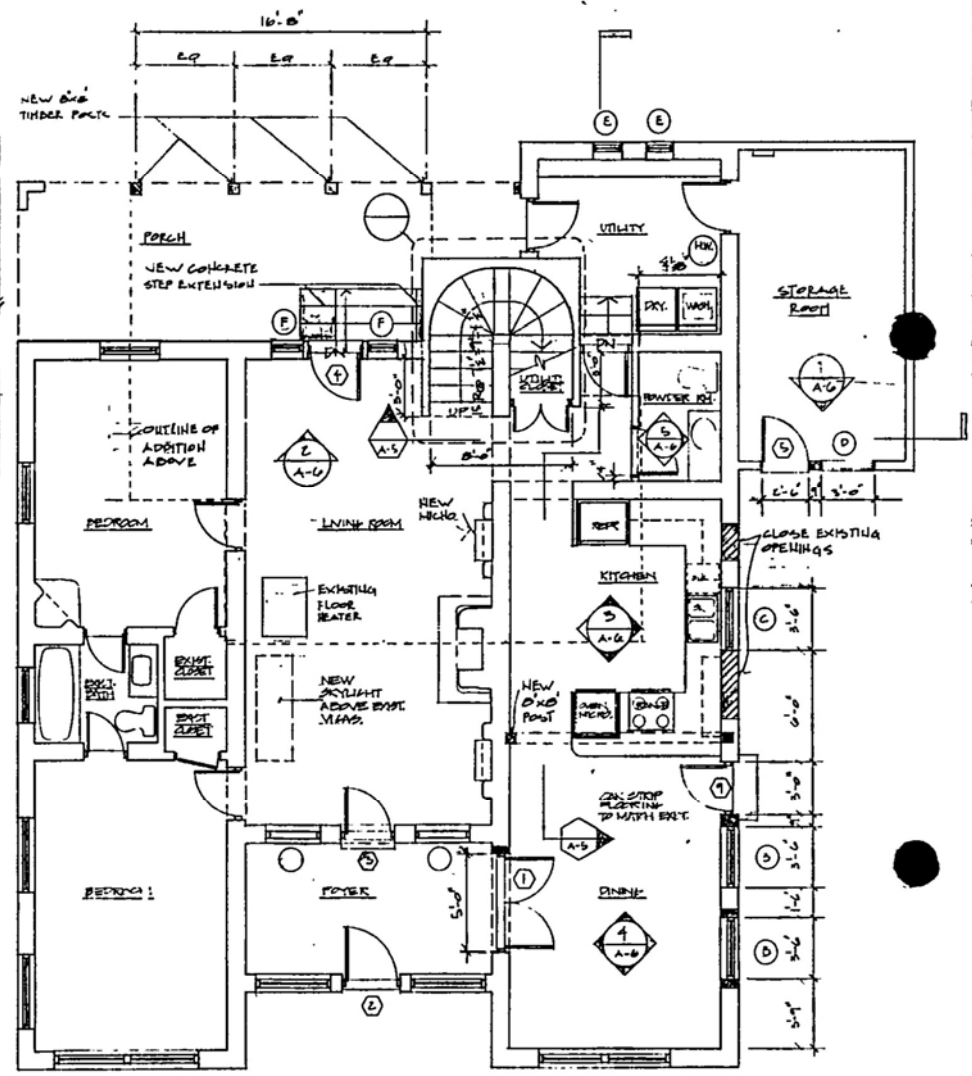
1 SITE PLAN
A-0

SCALE: 1" = 20'-0"

NOTE: SITE PLAN BASED ON SURVEY BY GUY D. HAYDEN H.M.L.S. NO 4070 SURVEY DATE



SECOND FLOOR PLAN

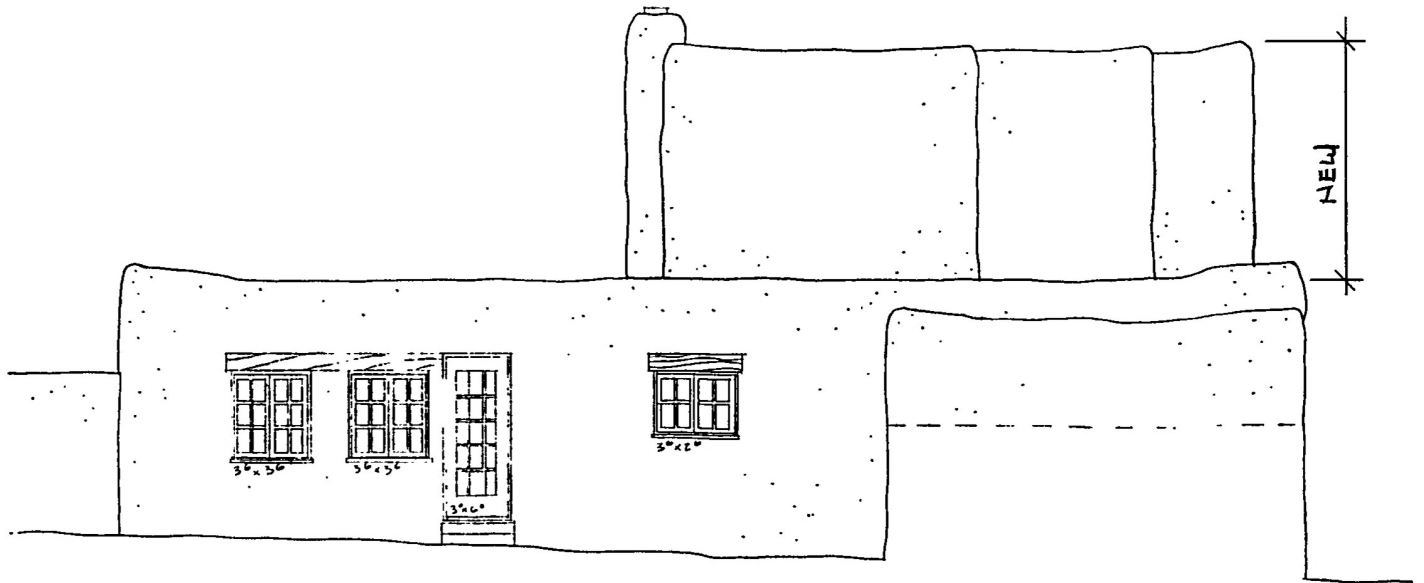


FIRST FLOOR PLAN

ADDITION



FRONT - EAST



SIDE - NORTH

RUSSEL RESIDENCE ADDITION

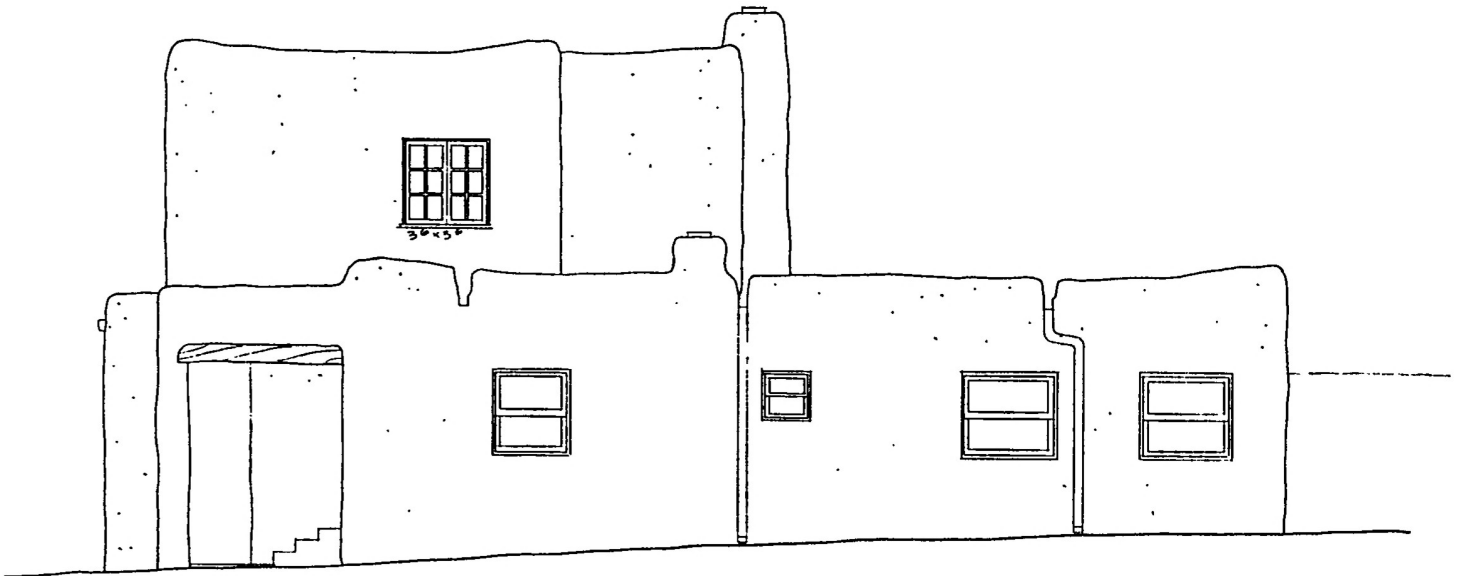
426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS



REAR - WEST



SIDE - SOUTH

RUSSEL RESIDENCE ADDITION

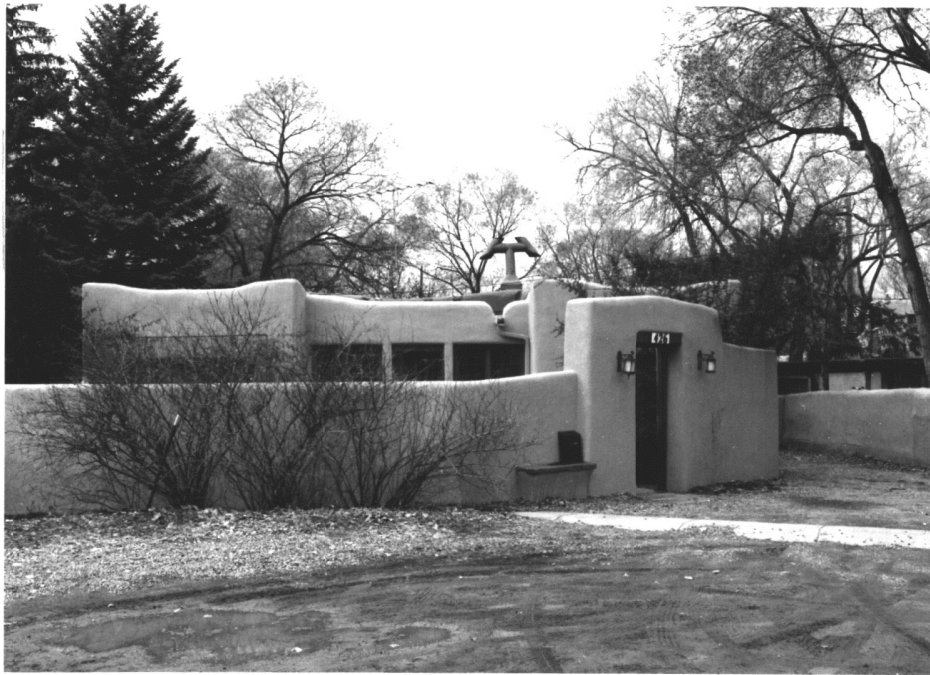
426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS



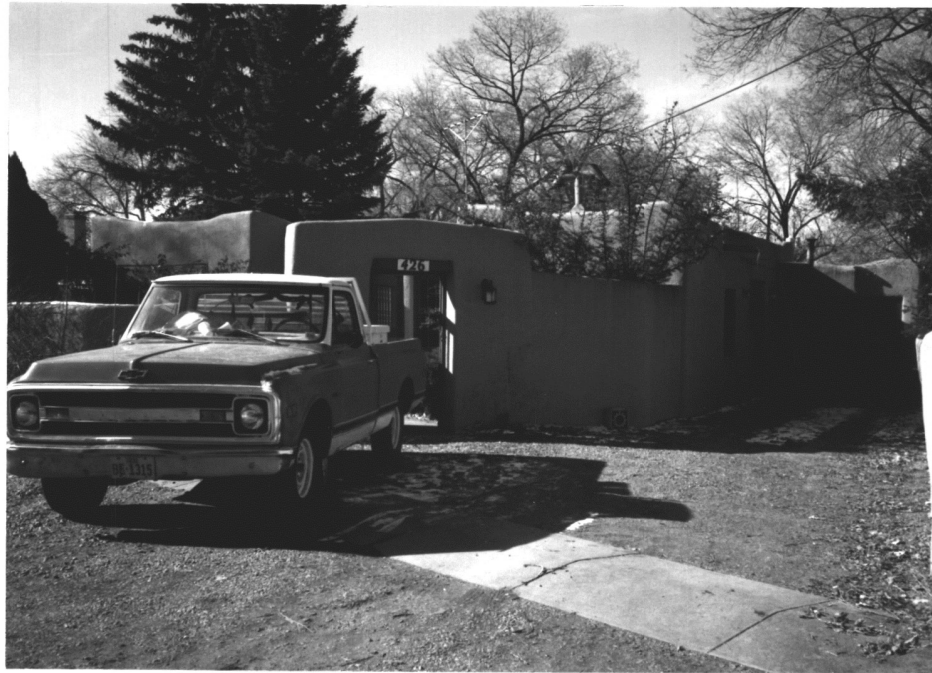
DELGADO LH LOOKING SOUTH



DELGADO LH. LOOKING WEST



SOUTH



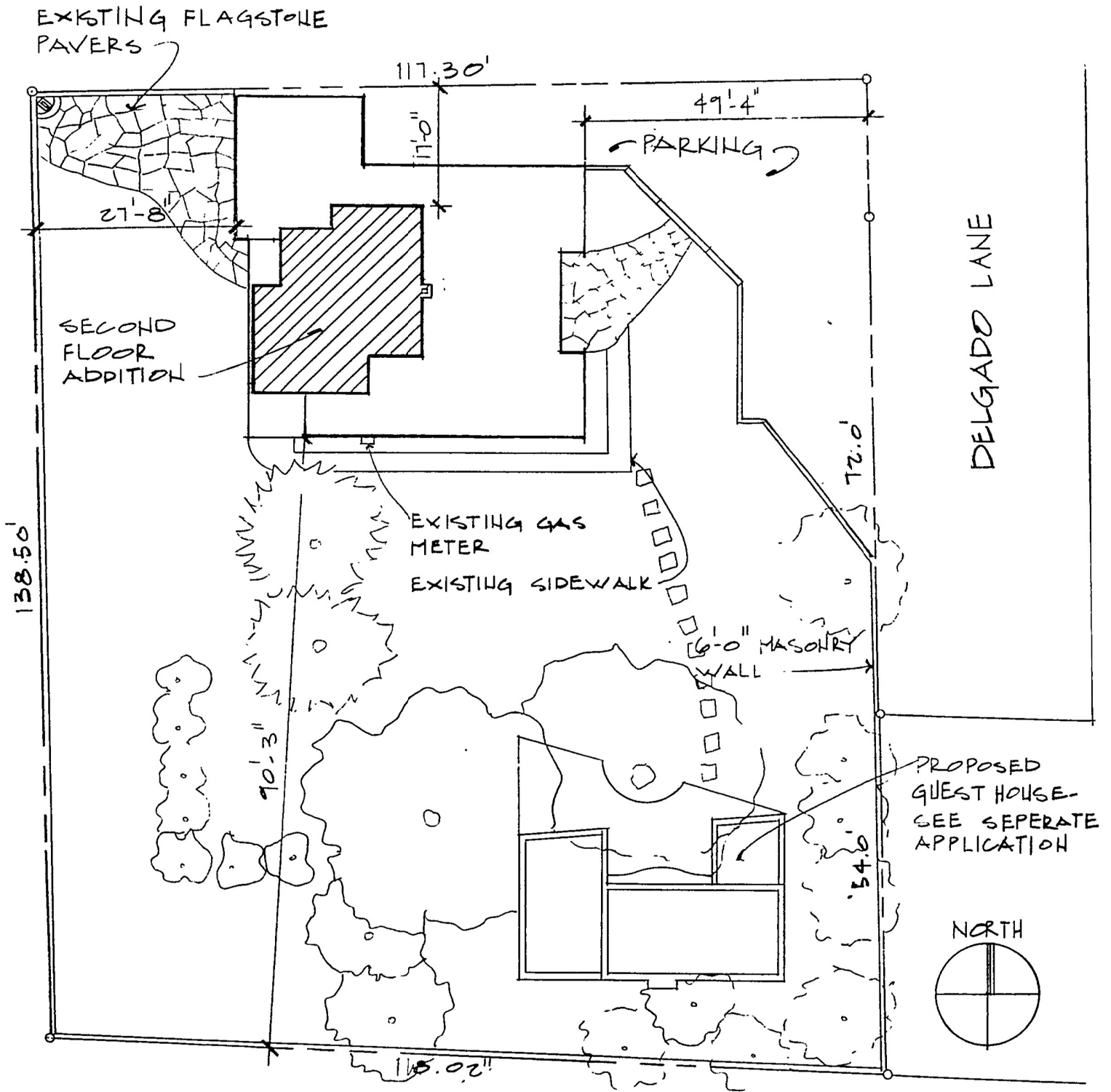
NORTH



EAST



WEST

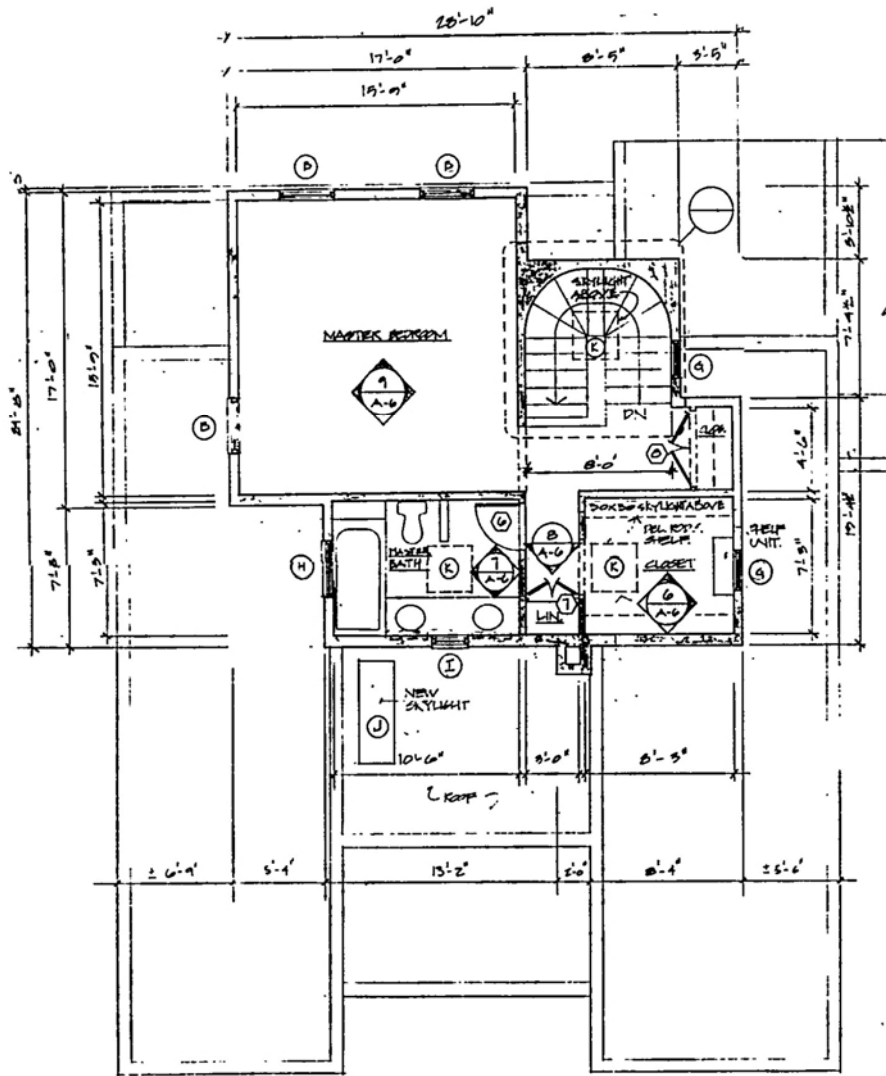


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A-0

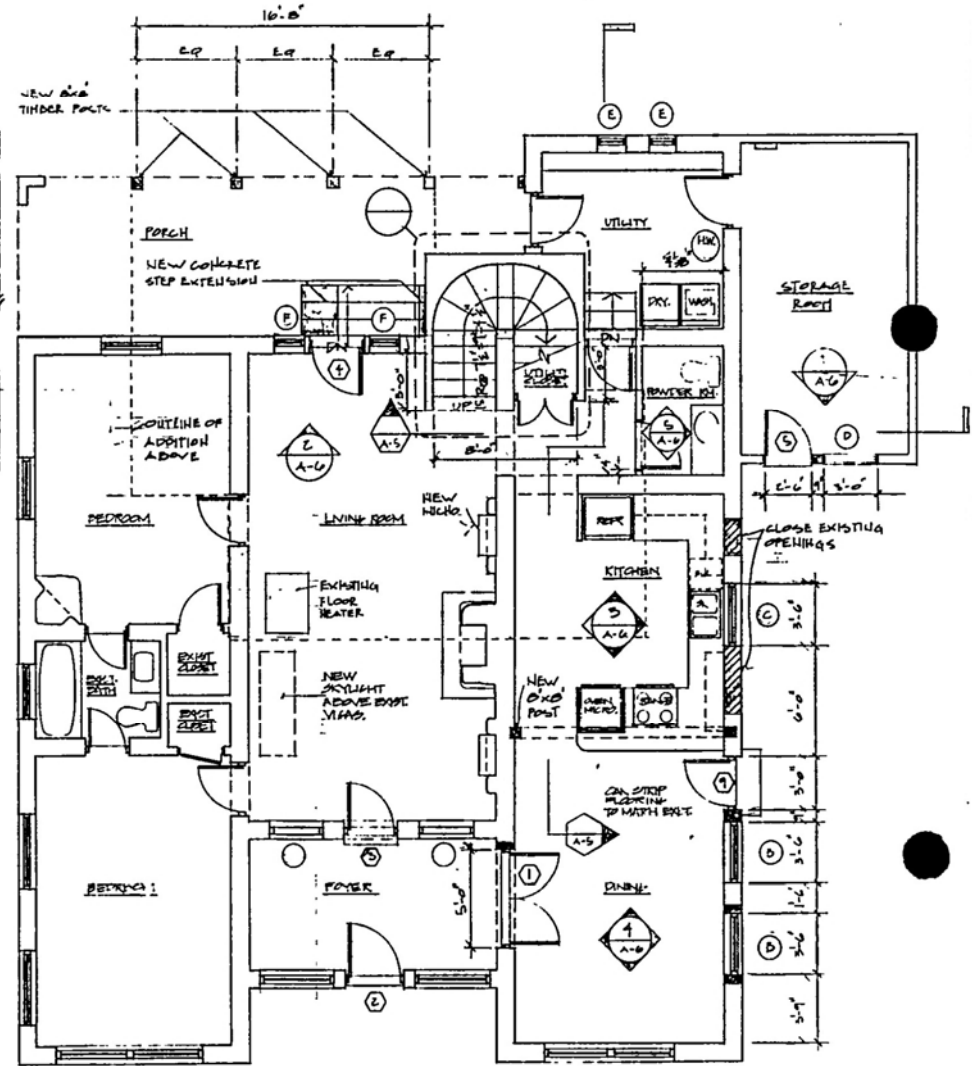
SITE PLAN

SCALE: 1" = 20'-0"

NOTE: SITE PLAN BASED ON SURVEY BY GUY D. HAYDEN H.M.L.S. NO 4070
SURVEY DATE



SECOND FLOOR PLAN

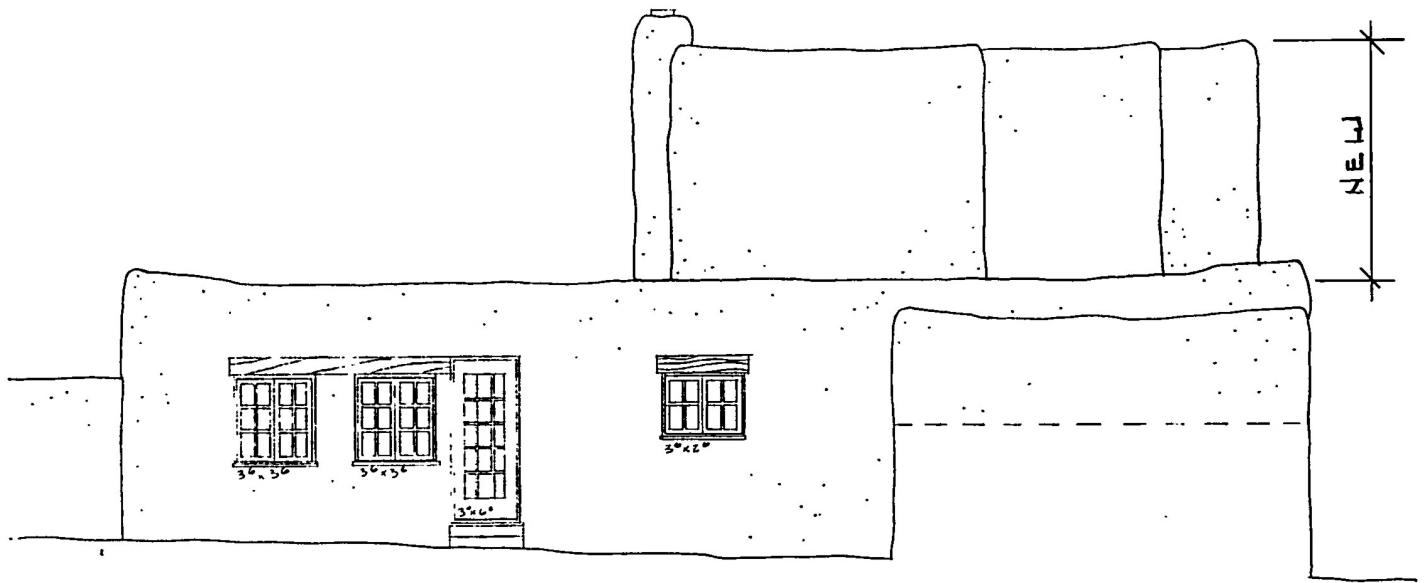


FIRST FLOOR PLAN

ADDITION



FRONT - EAST



SIDE - NORTH

RUSSEL RESIDENCE ADDITION

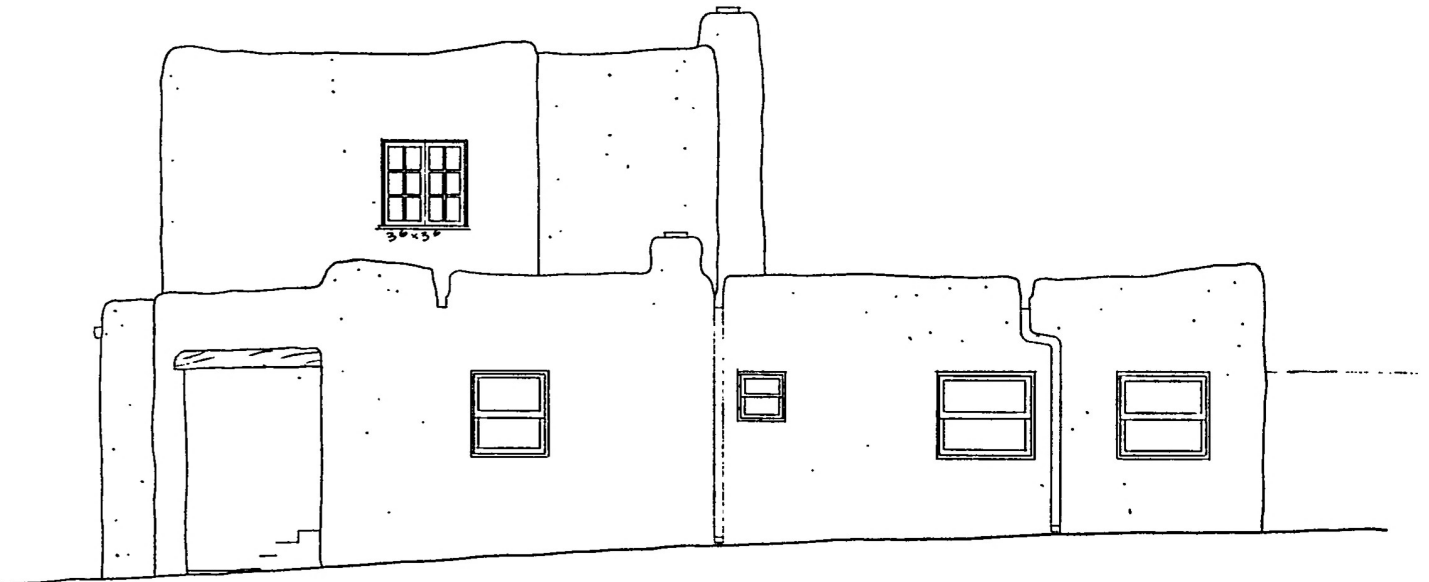
426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS



REAR - WEST



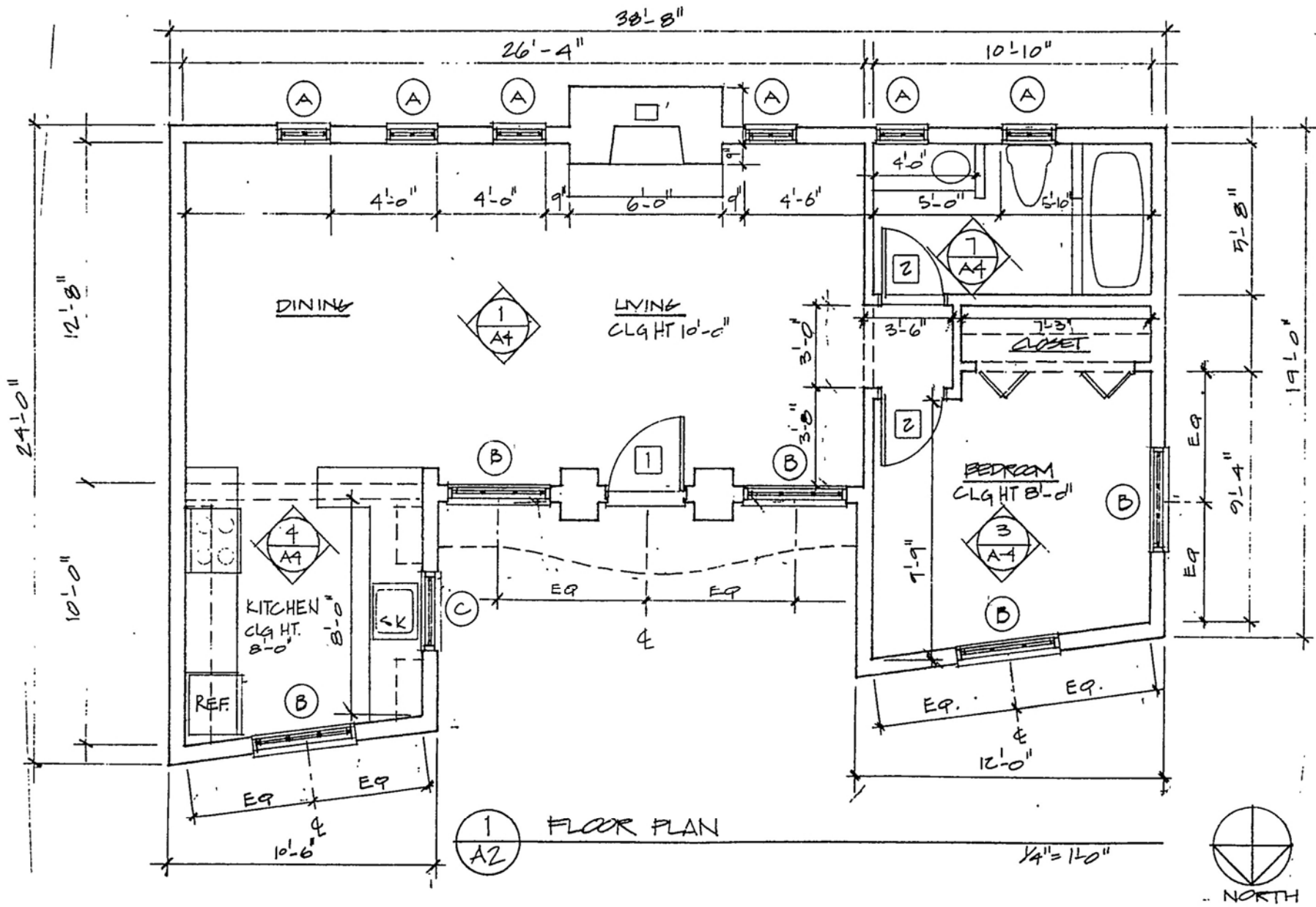
SIDE - SOUTH

RUSSEL RESIDENCE ADDITION

426 DELGADO ANTA FE NEW MEXICO

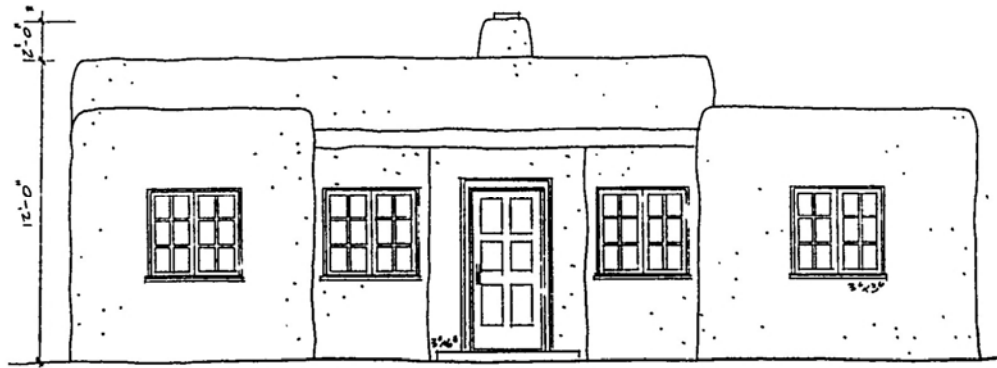
87501

ELEVATIONS

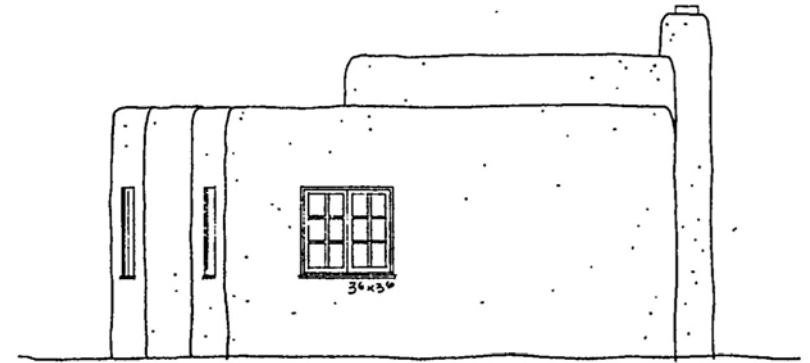


1
A2 FLOOR PLAN

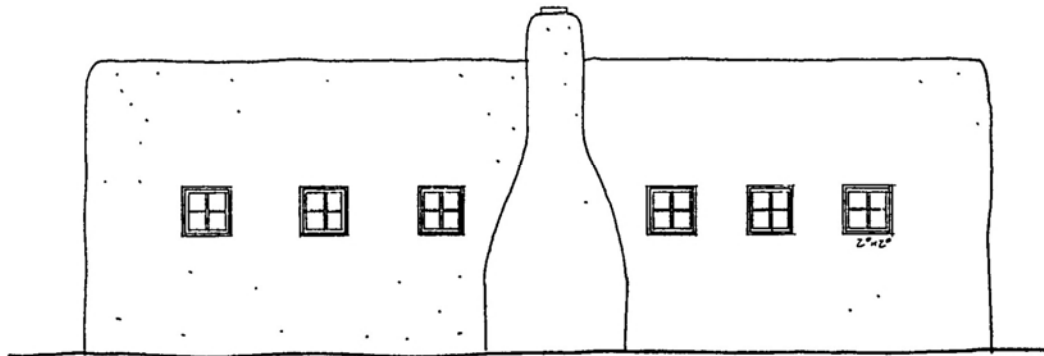
GUEST HOUSE



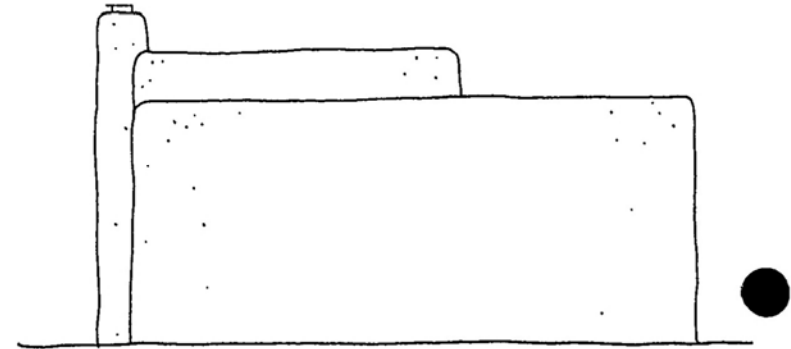
FRONT · NORTH



SIDE · WEST



REAR · SOUTH



SIDE · EAST

RUSSEL RESIDENCE GUEST HOUSE

426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS

City of Santa Fe, New Mexico

Date
To
From
Subject

6-17-92
Linda Tigges

- Please post
- Distribute
- Reply below
- Acknowledge below

Message

Guest House

1. Removal door from utility closet on south elevation. Utility closet acceptable

Main House

1. ~~1.~~ Replacement window on north elevation acceptable
2. window on east end of south elevation is existing and acceptable
3. additional on north end of west elevation is drafting area will be removed in revised plan.
4. ^{New} door on west elevation does not meet H-District standards and is not acceptable
5. moving the other building west 4 feet so as to make the existing west window on the north elevation nonconforming is questionable. I will ask Mary.

By

Linda Tigges

Reply

All of these conditions are contingent upon Mary's approval. f

By
Date

May 4, 1992

Mary Grzeskowiak
Urban Design Review Specialist
City of Santa Fe
PO Box 909, 200 Lincoln Avenue
Santa Fe, NM 87504-0909

Historic Design Review Board Proposal Letter

Regarding 426 Delgado Lane, Santa Fe

Construction Project: The owner proposes to construct a one story bedroom suite addition to an existing residence. Within the existing residence, a new kitchen and powder room will be built. Some existing windows and exterior doors will be removed or altered, and at certain locations new windows and exterior doors will be installed. The addition will be wood frame construction with cement stucco exterior finish to match existing surfaces.

The owner also proposes to construct a one story detached guest house on the property. It is an approximately 975 SF one bedroom, wood frame building with cement stucco exterior finish to match existing surfaces.

Architectural History: The original house was built in 1928 of adobe construction. It was purchased by the present owners' parents and adobe plastered for the first time in 1933. The building then included one bedroom in the southeast corner, a sunporch in the southwest corner, a garage in the northeast corner and an entrance set back between the garage and bedroom. The house had protruding vigas at the parapet. The property has been extensively altered through the 1960's.

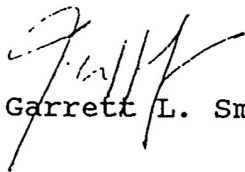
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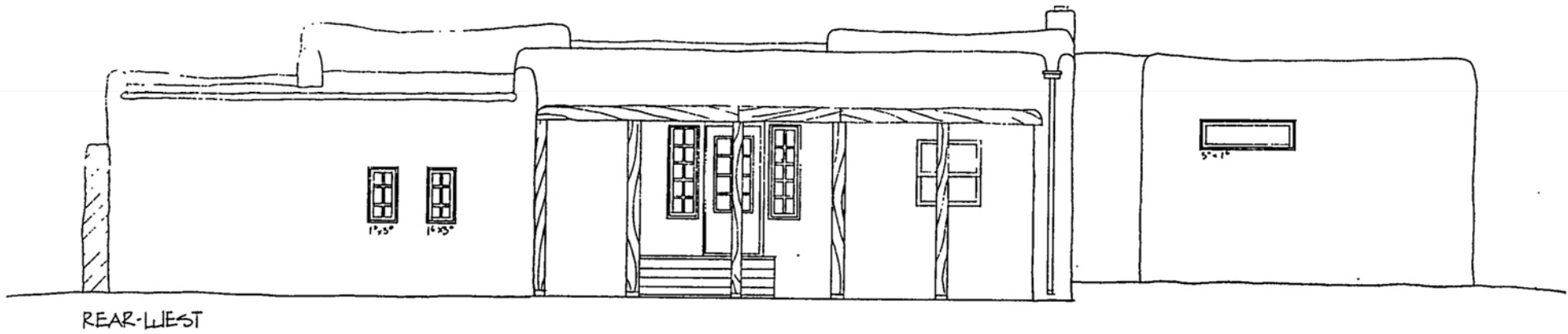
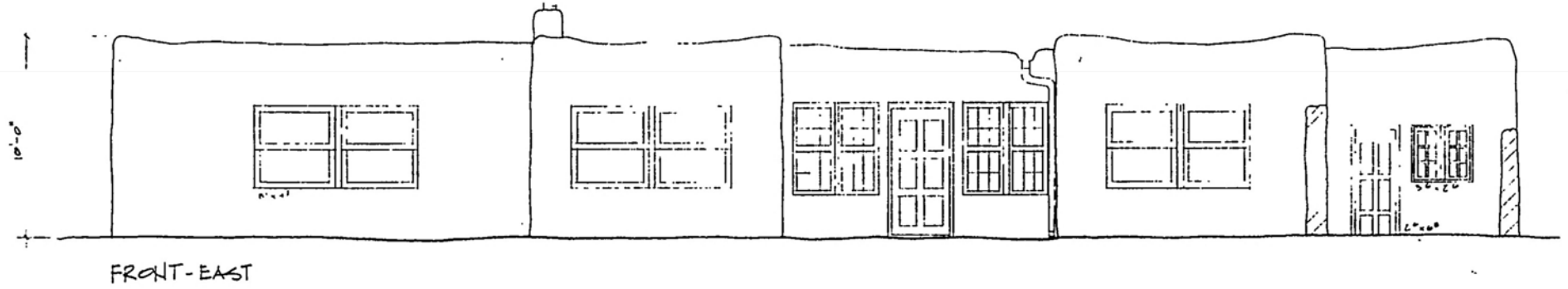
Exterior Alteration Chronology:

- 1936 Existing garage converted to bedroom (proposed dining room) and present garage added to northwest corner. Exterior of entire house replastered.
- 1946 Vigas cut off at exterior and plastered over.
- 1947 Present front gate and adjacent walls built along east and north property lines.
- 1949 Present cement block wall with stucco finish along west property line and outdoor fireplace at northeast corner built.
- 1954 Present enclosed entrance porch built.
- 1958 Present portal and french door added on west side of house.
- 1962 Present pumice-cement block wall along south property line built.
- 1964 Present wood, double-hung, single pane windows were installed.

Sincerely,



Garrett L. Smith, AIA

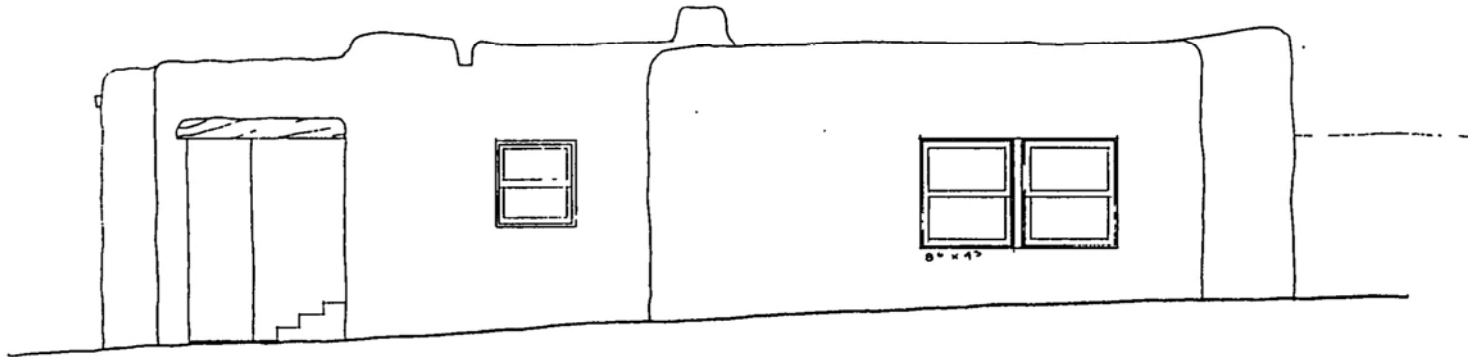


RUSSEL RESIDENCE ADDITION

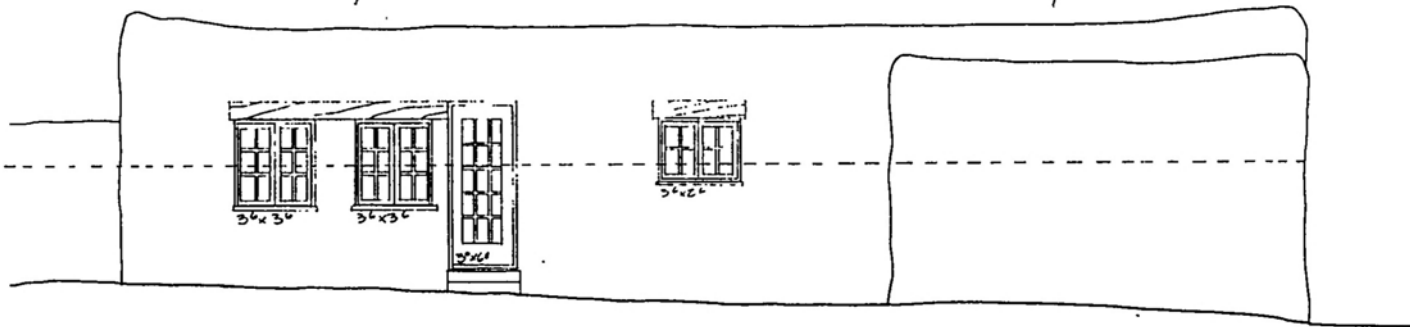
426 DELGADO SANTA FE NEW MEXICO

87501

ELEVATIONS



SIDE - SOUTH



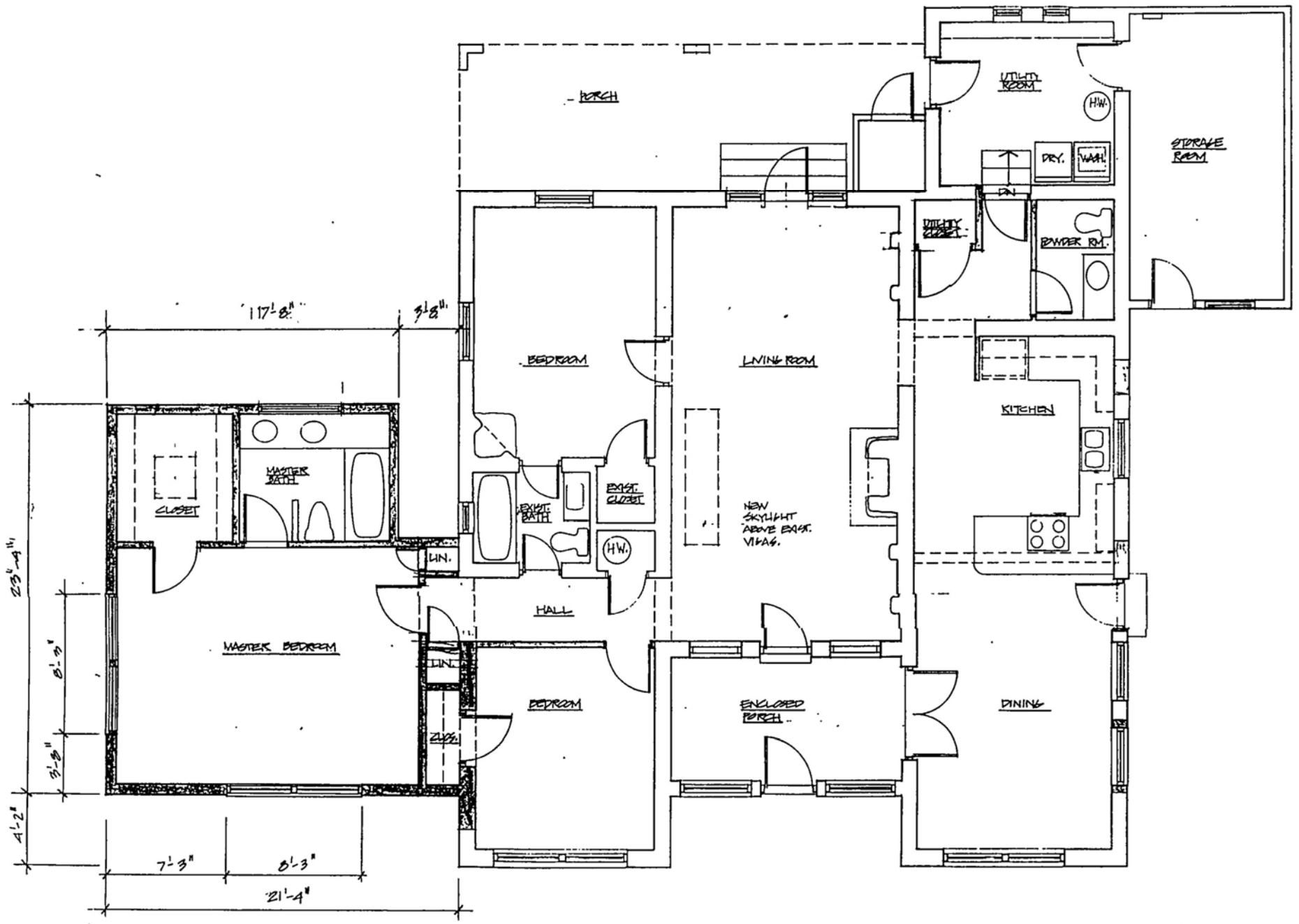
SIDE-NORTH

RUSSEL RESIDENCE ADDITION

426 DELGADO SANTA FE NEW MEXICO

87501

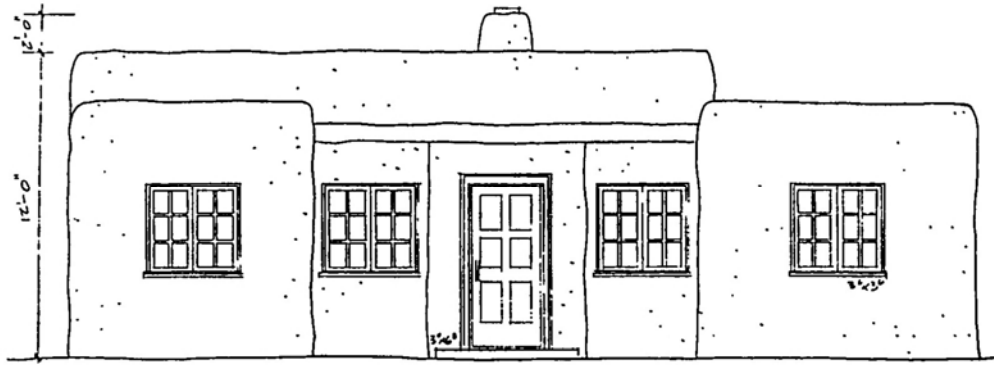
ELEVATIONS



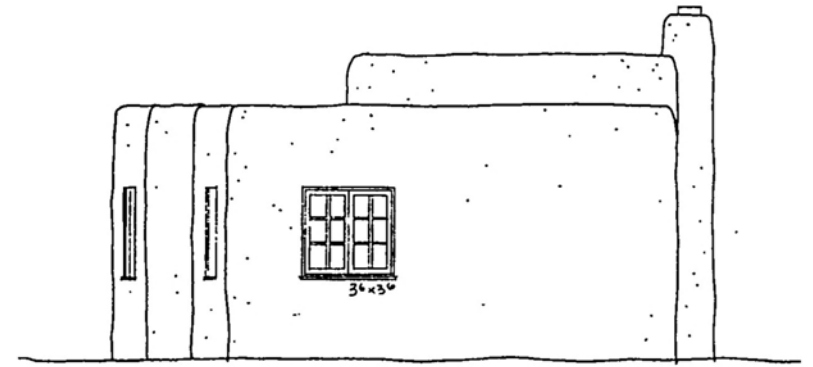
FLOOR PLAN

1/4" = 1'-0"

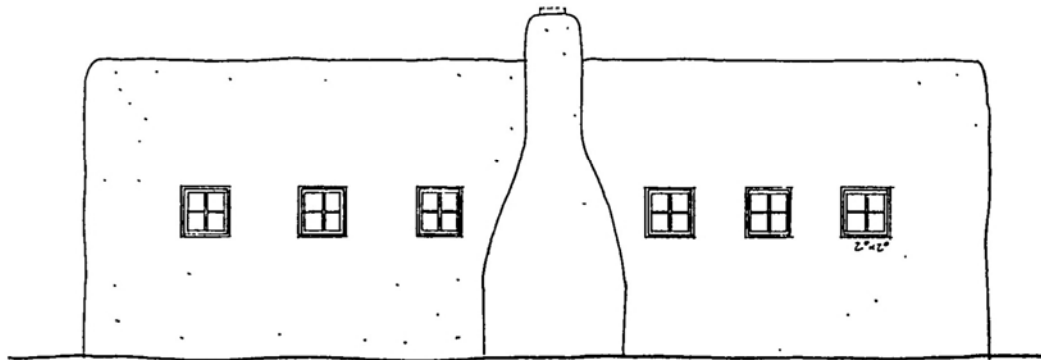




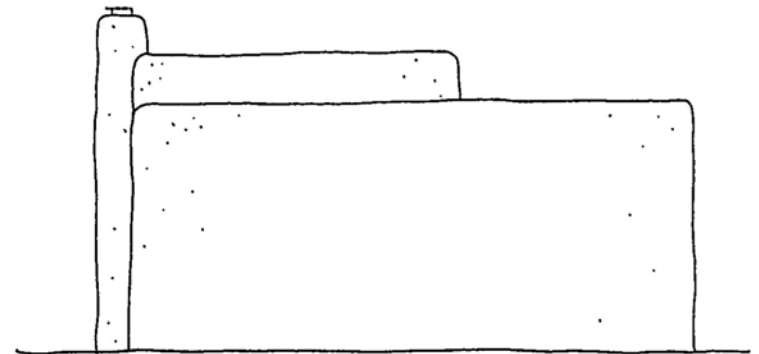
FRONT · NORTH



SIDE · WEST



REAR · SOUTH



SIDE · EAST

RUSSEL RESIDENCE GUEST HOUSE

426 DELGADO SANTA FE NEW MEXICO

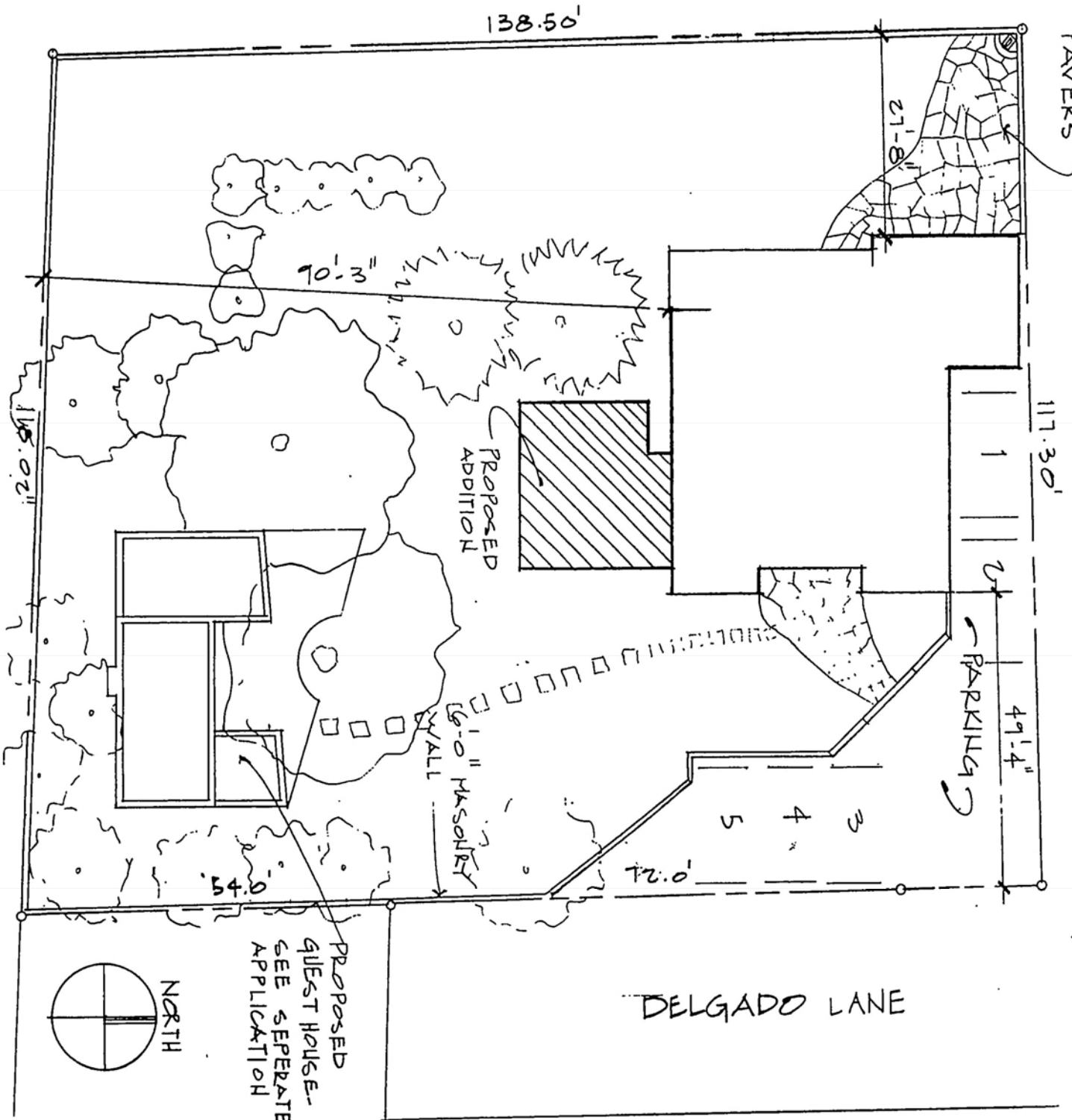
87501

ELEVATIONS

EXISTING FLAGSTONE
PAVERS

PARKING: GARAGE
DRIVEWAY
PARKING
AREA

	1
	3
TOTAL	5
	9 CARS

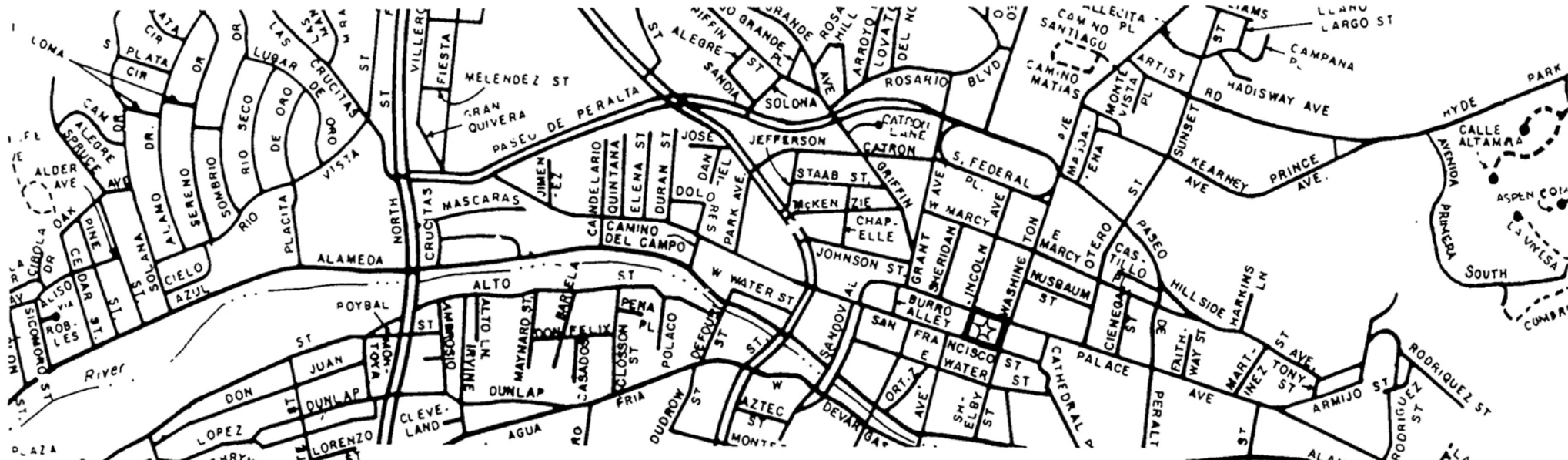


SITE PLAN

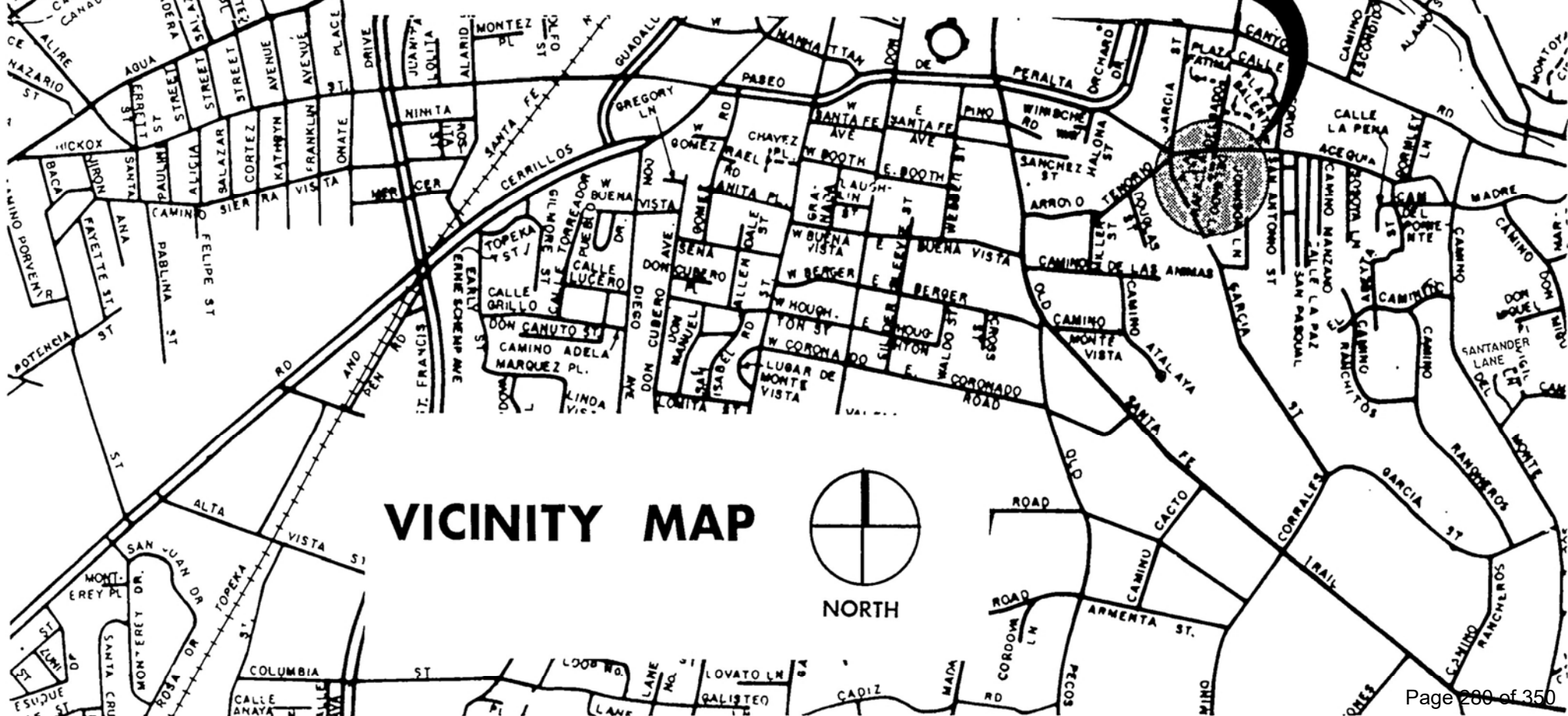
1
A-0

SCALE: 1" = 20'-0"

NOTE: SITE PLAN BASED ON SURVEY BY GUY D. HARDELL UHLS. NO. 4070
SURVEY DATE



426 DELGADO SANTA FE NEW MEXICO 87501

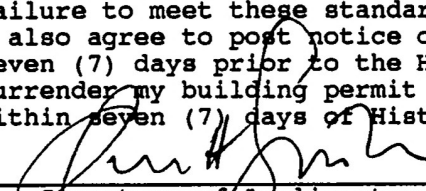


VICINITY MAP



EXHIBIT (C)

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval () Final Approval (X)	
Project Location: 426 Delgado Lane, Santa Fe, NM	
Owner: Dan & Flora Russel	Address: 6800 W. Ellsworth Ave. Phone: Denver, Co. 80226 303-237-6898
Applicant: Garrett Smith	Address: 514 Central S.W. Phone: Albuquerque, NM 87102 766-6968
Project Proposal: Addition to existing residence & new guest house.	
Public Visibility: North () South () East (X) West ()	
New Construction:	Single-Family Residence () Multi-family Residence () Commercial (.)
Other Construction:	Demolition () Remodel (X) Addition (X) Restucco (X) Sign(s) () Wall/Fence () Antenna () Solar ()
<p>I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historical Ordinance, Section 14-70. Failure to meet these standards may result in rejection of my application. I also agree to post notice of construction/demolition on the project site seven (7) days prior to the H-Board meeting. I also hereby agree to surrender my building permit and cease construction if an appeal is filed within seven (7) days of Historical approval.</p> <p align="center">  _____ Signature of Applicant or Owner <i>APPLICANT AGENT FOR OWNER</i> </p> <p align="right"> _____ Date <i>4/14/92</i> </p>	

FOR OFFICIAL USE ONLY

Date Received: <i>4-15-92</i>	Case Number: <i>H-92-67</i>	Meeting Date: <i>4-27-92</i>
Historic District: <i>CNE</i>	Survey Number:	Survey Area:
Age: _____	Historic Significant ()	Contributing ()
Source: _____	Status: _____	Non Supporting ()
Ordinance Compliance Checklist:		
SECTION	DESCRIPTION	COMPLIES
		YES NO
14-70.1	Harmony () Proportion () Style ()	() ()
14-70.9	Harmony () Proportion () Style ()	() ()
14-70.13	Demolition	() ()
14-70.14	Minimum Maintenance Requirements	() ()
14-70.15	Signs	() ()
	Applicable District Standards	() ()
Remarks:		

City of Santa Fe, New Mexico

memo

DATE: May 26, 2026

TO: Historic Districts Review Board Members

VIA: Heather Lamboy, Planning & Land Use Department Director
Maggie Moore, Assistant Land Use Director *MM*
Gary Moquino, Historic Preservation Division Manager GM

FROM: Lani McCulley, Senior Planner, Historic Preservation Division *LJM*

2026-012284-HDRB. 1062 Camino San Acacio, Downtown & Eastside Historic District, contributing, Gabriel Browne, agent/owner, proposes to replace windows and doors and install exterior insulation on the contributing structure. Construct a 3,440 sq. ft. freestanding residence to a height of 20'-9", where the maximum allowable is 16'-9". Construct a 733 sq. ft. guesthouse with a pitched roof and construct a 6'-0" high fence and a 4'-0" high yard wall. Additional height is requested due to slope per section 14-4.6(F)(2)(II)(f). Exceptions are requested to section 14-4.6(E)(4)(II) for placing a new architectural finish on a primary facade and for using material not in keeping with the district.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [previous case documents, height calculation, Stucco Guidelines]

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [exception criteria]

STAFF RECOMMENDATION:

The staff finds that the exception criteria to section 14-4.6 (E)(4)(II)(a) have not been met and recommends denial of the request for placing an exterior insulation on the primary façade of a contributing structure. The staff finds that the exception criteria to section 14-4.6(E)(4)(II)(b) have not been met and recommends denial for the use of metal for details on the portal, roof overhangs, and canales. The staff recommends approval of the other elements of the application as they comply with 14-4.6(E) General Design Standards for all Historic Districts, and 14-4.6(G)(2) Downtown and Eastside Historic District Design Standards.

Sample motions:

- a) In case 2026-012284-HDRB, for 1062 Camino San Acacio, approve/deny the exception to section 14-4.6(E)(4)(II)(a) to place exterior insulation on the primary façade of a contributing structure, finding that the exception criteria have/have not been met
- b) In case 2026-012284-HDRB, for 1062 Camino San Acacio, approve/deny the exception to section 14-4.6(E)(4)(II)(b) to use metal for details on the portal, roof overhangs, and canales, finding that the exception criteria have/have not been met.
- c) In case 2026-012284-HDRB, for 1062 Camino San Acacio, approve/deny the elements of the project that do not require an exception.

Should the Board deny the exception request, the applicant shall return with an alternative proposal for review and approval before proceeding with a building permit.

The property lies within the Suburban Archaeological Review District. See Chapter 14, SFCC, Article 14-4.2(B). There will be archaeological concerns associated with this project, and archaeological clearance will be required.

BACKGROUND & SUMMARY:

Streetscape:

Camino San Acacio was once a rural neighborhood with family-built homes on the northside of the street. The family homes have evolved into family compounds with multiple buildings accommodating extended family members. Several properties have been subdivided so that each residence is on its own lot, though there is still a compound feel to the area. The southern part of the street was farmland that was subdivided and sold off for the construction of single-family residences. Because many of the homes were family-built, there is an eclectic mix of vernacular, Spanish Pueblo Revival, and Territorial Revival styles. There is a mix of flat and pitched roof homes, with some built up against the street and others set back. The street is lined with latilla and board fences, concrete masonry, and stone yard walls of various heights. The street is not paved and has no sidewalks or walking areas but is frequented by pedestrians.

Site Description:

The property at 1062 Camino San Acacio consists of a contributing garage on the street. The north elevations are designated as primary. in the Downtown and Eastside Historic District. The southern workshop structure is designated as non-contributing and has been approved for demolition. Both structures are basic L-shaped forms built partially into the hillside.

The southern or upper building was a 755 sq. ft. adobe non-contributing structure with a shed attachment on the east elevation. This structure was approved for demolition under case 2026-012133-HDRB on April 28, 2026.

PREVIOUS CASE SUMMARIES:

ARC:

No archaeological clearance has been issued for this property.

HDRB:

Case 2026-012133-HDRB was a request for demolition of the southern accessory structure. The Historic Districts Review Board approved the demolition.

Case 2023-007358-HDRB was a status review for the two accessory structures on the property. The northern garage structure was designated as contributing, with the north-facing facades (N3 and N1) as the primary. The southern accessory structure was designated as non-contributing.

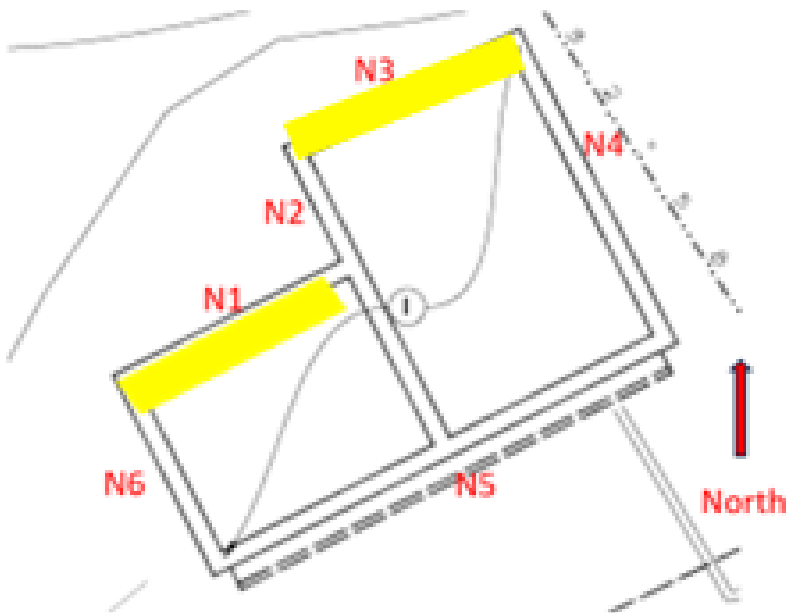


Figure 3: Primary Façade Diagram

ADMINISTRATIVE:

There are no previous administrative cases on file with the Historic Preservation Division.

APPLICANT’S REQUEST:

The applicant proposes the following exterior alterations:

Contributing Garage:

- 1) Replace non-historic windows.
- 2) Replace the non-historic entry door.
- 3) Add doors behind the swinging garage doors while retaining the swinging garage doors.
- 4) Paint the existing garage doors.

- 5) Add 4” insulation to the exterior of the structure.
- 6) Stucco retaining the texture with cement stucco.

New Construction Primary Residential structure:

- 7) Construct a 3,441 sq. ft. primary residence to a height of 20’-9” where the maximum allowable height is 16’-9”. The residence will consist of 2,213 sq. ft. of heated space and 1,228 sq. ft. of portals in a Recent Santa Fe Style. The site slopes 14’ from the lowest to the highest portion of the footprint. The applicant is requesting additional height due to slope per section 14-4.6(F)(2)(II)(f).
 - a. Windows are simulated divided-lite on the publicly visible sides of the structure and without divisions on the remaining portions. Window and patio door exteriors will be metal in dark bronze anodized or paint of the same color. While there are corner windows on the rear of the building, the publicly visible windows all meet the three feet from the corner requirement per section 14-4.6(G)(2)(II)(b).
 - b. The roofs are flat except for the shed roof over the portal on the north elevation and a section on the rear, which will be allowed to rust to match the rusty pitched roofs across the street at 1051 Camino San Acacio. The pitched roof is allowed in this streetscape per section 14-4.6(F)(IV).



Figure 4: Roof at 1051 Camino San Acacio

- c. The garage door will be a metal door in dark bronze color. The garage door is not publicly visible on the south end of the west elevation.
- d. Stucco in a color similar to El Rey Cottonwood, or a custom darker, muted sage color.
- e. Details on the portal, roof overhangs, and canales will be made of steel and will rust over time to match the exposed roofs.

New Construction Accessory Dwelling Unit:

- 8) Construct a 733 sq. ft. accessory dwelling unit to a height of 13’-2”. The ADU will have a pitched roof. A pitched roof is allowed per section 14-4.6(F)(IV).
 - a. Windows are simulated divided lite on the publicly visible sides of the structure and without divisions on the remaining portions. Window and patio door exteriors will be metal in dark bronze anodized or paint of the same color.
 - b. Stucco in a color Cottonwood, or a custom darker, muted sage color.
 - c. Details on the portal, roof overhangs, and canales will be made of steel, and will rust over time to match the exposed roofs.

Property Improvements:

- 9) Construct retaining walls to create a terraced lot. No retaining wall will be greater than 6’-0” as required under section 14-8.5(C) of the Land Use Code.
- 10) Install exterior stairs with railings for access from one terrace to the next.
- 11) Construct a 6’-0” high latilla fence at the driveway. The driveway shall comply with the site visibility triangle as required under section 14-3.5(G)(1).

- 12) Construct a 48” high fence along Camino San Acacio. The fence will have masonry pilasters with stone finish, a metal frame, and 3” cedar latillas.
- 13) Install an 8’ tall 36” wide steel trellis attached to the back of the yard wall pilasters.

Per the “Stucco Styles, Material, and Color Guidance in the Historic Districts”, sage is not an approvable color, and though cottonwood is allowed at the discretion of the Board, “*Desert Rose, Dove Gray, and Cottonwood are not considered to be in harmony with the streetscape in the Downtown and Eastside Historic District.*” Therefore, staff would recommend that the Board deny the request for both cottonwood and sage colored stucco and recommend a color more in keeping with the streetscape, such as those listed in the guidelines under the allowed colors.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-4.6(E)(4)(II)(a): The applicant requests an exception to “*Architectural features, finishes, and details other than doors and windows shall be repaired rather than replaced.*” The request is for placing an exterior insulation on the primary façade of a contributing structure

(i) *Do not damage the character of the district*

Applicant Response: The addition of 4” of foam to these two facades will not damage the character of the district. This would be a very subtle change, not perceptible by the casual observer. Adding proper insulation enhances the utility and value of the structure, and assures its longevity and thereby its contribution to the character of the district.

Staff Response: The staff finds that this criterion is not met. Placing exterior insulation on a building alters its appearance on the exterior. The insulation is a smooth surface with sharp corners. Adobe structures have soft corners and some irregularities to the surface of the building. To eliminate this feature for a smooth, even surface is to remove the unique character of the adobe building and therefore damage the character of the district.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The additional foam on the exterior is the only reasonable solution which insulates the structure without hastening its eventual failure. Encapsulating the adobe and rubble foundations will lead to the eventual failure of the adobe & rubble foundations, which would be a hardship to the applicant, and would injure the public welfare. An additional public good is served by preventing rodent intrusion into the structure, reducing nuisance and health harms from rodents.

Staff Response: The staff finds that this criterion is not met. The applicant addresses water and rodent intrusion as a reason for insulation. This would not be the purpose of insulation. It is the purpose behind the work done under permit 2019-5288-EXTR as mentioned in the background section of this report.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The additional foam would strengthen the unique heterogeneous character of the city by allowing this little structure to gain a second useful life, part of a larger project to allow my family to reside in this beautiful corner of the historic district.

Staff Response: The staff finds that this criterion is met. The garage unit is 853 sq. ft. in an “L” shape, which limits the amount of square footage that can be used for the garage and the square footage that can be used for other purposes. The structure is in need of insulation to be used for the office space it is currently being

converted to. Making the building usable will strengthen the character of the city; however, staff disagrees that exterior insulation is required in order to insulate the building to make it usable.

Exception to 14-4.6(E)(4)(II)(b): The applicant requests an exception to *“In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities.”* The request is for the use of metal for details on the portal, roof overhangs, and canales.

(i) *Do not damage the character of the district*

Applicant Response: Exposed steel columns will not damage the character of the district. They will look more appropriate than a wood or wood-covered column supporting a steel beam. The difference between painted wood and steel is very subtle and would likely not be visible to a casual observer. Paints will fade and peel; wood will twist and crack. Leaving a gap at the bottom of wooden columns, as required by code, leaves a strange floating detail which is clearly not traditional. Failing to leave a gap, or filling the gap with another material, leaves end grain exposed to moisture, which rots the columns. Using and expressing steel for these elements will enhance the character of the district because the column can fully engage with the wall it sits on, and because the proposed columns will become more beautiful over time instead of less so. They will last generations. The character of the district is further enhanced by solutions which express their structural intent and materiality simply and honestly, as those are fundamental tenets of the New Mexico Vernacular.

Staff Response: The staff finds that this criterion is not met. Metal is not a historic architectural feature and is not allowed within the Downtown and Eastside Historic District. Portales are historically constructed with wood elements. Construction within the historic districts without consideration for historic materials does damage the character of the district.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: As described above, covering the columns of this structure with wood would not improve the appearance of the building. It would add cost and unnecessary work. These are hardships to the applicant. The public good is not served by a material which will degrade over time, and need replacement when it rots away.

Staff Response: The staff finds that this criterion is not met. There is no actual hardship that requires metal over wood in this structure. The columns can be placed on top of a concrete build-up to keep the lower portion of the wood from sitting in water during wetter seasons. Maintaining a residence is the cost of homeownership.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Applicant Response: Allowing the steel columns to be exposed would strengthen the unique heterogeneous character of the city by allowing a unique heterogeneous solution to this problem.



(figure of the Palace of the Governor's offered by applicant)

It has been less than 10 years since the Palace of the Governor's portal remodel. The posts are already rotting out again.

Staff Response: The staff finds that this criterion is not met. The area at the Palace of the Governor's is not consistent with that of Camino San Acacio, especially this property given that it will be constructed on a steep slope. That comparison is not relevant to the request for metal over wood. There are other options to help mitigate wood rot on wood columns, such as, but not limited to, a concrete or rock base for the column to stand on so that the wood does not sit in water puddles and rain runs away from the wood. Also, constructing stucco columns is an option over wood which would not use metal.

RELEVANT CODE CITATIONS:

14-4.6 HISTORIC DISTRICTS

A. General Provisions

Purpose

In order to promote the economic, cultural, and general welfare of the people of Santa Fe and to ensure the harmonious, orderly, and efficient growth and development of the City, the Governing Body deems it essential to preserve the qualities relating to the history and culture of Santa Fe, maintain a harmonious outward appearance to preserve property values, and attract residents and tourists alike. The specific purposes of this section are to preserve qualities relating to the history of Santa Fe, such as the following:

- I. Continue the existence and preservation of historic areas and buildings;
 - II. Continued construction of buildings in Santa Fe's historic styles; and
 - III. General harmony as to architectural style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.
-

F. Height, Pitch, Scale, Massing, and Floor Stepbacks.

The height, pitch, scale, and massing of any structure in a historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted elsewhere within this chapter.

I. Applicability

The following sections identify specific areas and specific projects subject to this section. The Planning and Land Use Director shall determine whether or not properties are included within this section.

I. Specific Areas

The height limitations in this subsection F apply:

a. Within the following historic districts:

1. Downtown and Eastside;
2. Don Gaspar Area;
3. Historic Transition; and
4. Westside-Guadalupe.

b. In the Historic Review district, as specified herein.

II. Streetscape Standards

III. Project Location

Planning and Land Use Department staff shall determine the applicability of this section to individual projects and the applicable streetscape

2. Height

I. Official Map of Building Heights in the Historic Districts - Procedures

II. Height Limitations

The HDRB shall limit the height of structures as set forth in this section.

Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

- a. If a proposed building has a parapet, the façade shall not exceed two feet of the average of the height of the façades in the streetscape.
- b. If the proposed building has a pitched roof, the ridge height of the proposed building shall not exceed two feet above the average of the ridge height of the pitched roofs in the streetscape.
- c. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.
- d. The height of any other structure shall be limited to the allowable building height within the applicable streetscape, as defined in this section.
- e. The height and dimension of signage are as set forth in Section 14-7.61.

Sign Regulations in the Historic Districts.

- f. The HDRB may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two feet. In no case shall the height of a façade exceed four feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This

increase in height shall be constructed only in the form of building setbacks from the street.

III. Height Measurement

- a. In historic districts, height shall be the vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive, at the midpoint of the street-facing facade, excluding rooftop appurtenances, the increased height of walls or fences over pedestrian and vehicular openings, and gates (either in open or closed position).
- b. For structures that do not have street frontage, height shall be determined by the facade that contains the tallest vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive. The height of walls and fences is measured from the street-facing side of the wall or fence.

IV. Pitch

If the determined streetscape includes over 50 percent of buildings with pitched roofs, the proposed building may have a pitched roof. A pitched roof is defined as a gable, shed, or hipped roof. The pitch of the roof shall match the predominant pitch extant in the streetscape.

V. Scale

The height of a proposed building or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of buildings in the applicable streetscape, or the building on which the addition is proposed.

VI. Massing and Floor Stepbacks

The HDRB may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the HDRB in making such determinations shall take into account whether the height of the proposed building, yard wall, fence, or proposed step back of upper floor levels is in harmony with the massing of the applicable streetscape and preservation of the historic and characteristic visual qualities of the streetscape. The HDRB shall also require that the publicly visible facades of the structure be in conformance with Section 14-4.6G, *Additional District-Specific Design Standards*, and, in meeting those requirements, may require that different floor levels be stepped back.

E. Additional District-Specific Design Standards

2. Downtown and Eastside Historic District

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent

Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

I. Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- a. With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.

Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved, and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, open slightly ogive, over gateways in freestanding walls.

- b. All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color or have mural decorations.
- c. Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- d. The rules as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents, and arials shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- e. True old Santa Fe style buildings are made of adobe with a mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible, provided that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
- f. It is characteristic of Old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

II. Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- a. No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks, or other design elements;
- b. The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- c. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- d. No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- e. The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish, and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors, and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic, and
- f. Flat roofs shall have not more than thirty (30) inches overhang.



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2026-012133-HDRB. 1062 Camino San Acacio. Downtown & Eastside Historic District,
DESC: non-contributing, Gabriel Brown, agent/owner, proposes to demolish a 755 sq. ft. accessory structure.

CASE NUMBER: 2026-012133--HDRB

PROJECT TYPE: Demolition

LOCATION: 1062 CAMINO SAN ACACIO
Santa Fe, NM 87505

CONTACTS: Property Owner

GABRIEL & MARIAM 1051 CAMINO SAN ACACIO
BROWNE MICHAEL

Applicant

GABRIEL BROWNE

1012 MARQUEZ PL STE 310B
SANTA FE, NM 87505

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Apr 28, 2026. The decision of the Board was to approve the demolition of the southern accessory structure as proposed.


For further information please call 505-955-6605.

Sincerely,

Lani McCulley

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
 Historic Preservation Division, New Mexico Department of Cultural Affairs
January 20, 2022

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Rodriguez-Maes Outbuildings	2. Location: 1062 Camino San Acacio <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 4. County: Santa Fe Parcel # 99309930
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: November 27, 2021		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input checked="" type="checkbox"/> No: per email from City HPD		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6767743, -105.9198448		
10. Photo Information: John Murphey, photographer. View of north and west elevations, facing southeast. November 27, 2021.		
11. Brief Description of the Property: <p>Stacked neatly at the bottom of a hill, on the south side of Camino San Acacio, are two anonymous buildings. Without context, it is difficult to understand their history and use. The plain buildings look like they could be small homes, but that was never their purpose. Historically they were associated with houses across the street and worked as garages and workshops.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Storage		
13. Construction Date: Date: pre-1948 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: 1948 aerial photograph		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com

For: Gabriel Browne

18. Owner (if known) and other knowledgeable people:

Owner: Gabriel & Mariam Browne

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing: Lower and Upper Buildings No Status:

Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2
 HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria A B C D

1. Name of property: Rodriguez-Maes Outbuildings	2. Location: 1062 Camino San Acacio Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A
		4. County: Santa Fe
		5. Date of Survey: November 27, 2021

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input checked="" type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Corrugated metal	7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input checked="" type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:
--	---

10. Windows <input type="checkbox"/> N/A Lower and Upper Buildings combined <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Wood</td> <td>4</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>6</td> <td>2</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>4</td> <td>2</td> </tr> <tr> <td>Sash</td> <td>Wood</td> <td>4/4</td> <td>2</td> </tr> </tbody> </table>	Operation	Material	Glazing	Number	Casement	Wood	4	1	Casement	Wood	6	2	Fixed	Wood	4	2	Sash	Wood	4/4	2	11. Doors <input type="checkbox"/> N/A Lower and Upper Buildings combined <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>1/4 Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>Garage</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	1/4 Light	Wood	1	Double	Garage	Wood	1
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Type	Style	Material	Number																														
Single-Leaf	1/4 Light	Wood	1																														
Double	Garage	Wood	1																														

12. Chimneys N/A	13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap
---------------------	--

14. Other Significant Features N/A

15. Modifications: No known modifications

#1 Date: Post-1966; development of shed addition to Upper Building; aerial photograph

#2 Date: Unknown; change of windows, both buildings; material and visual evidence.

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

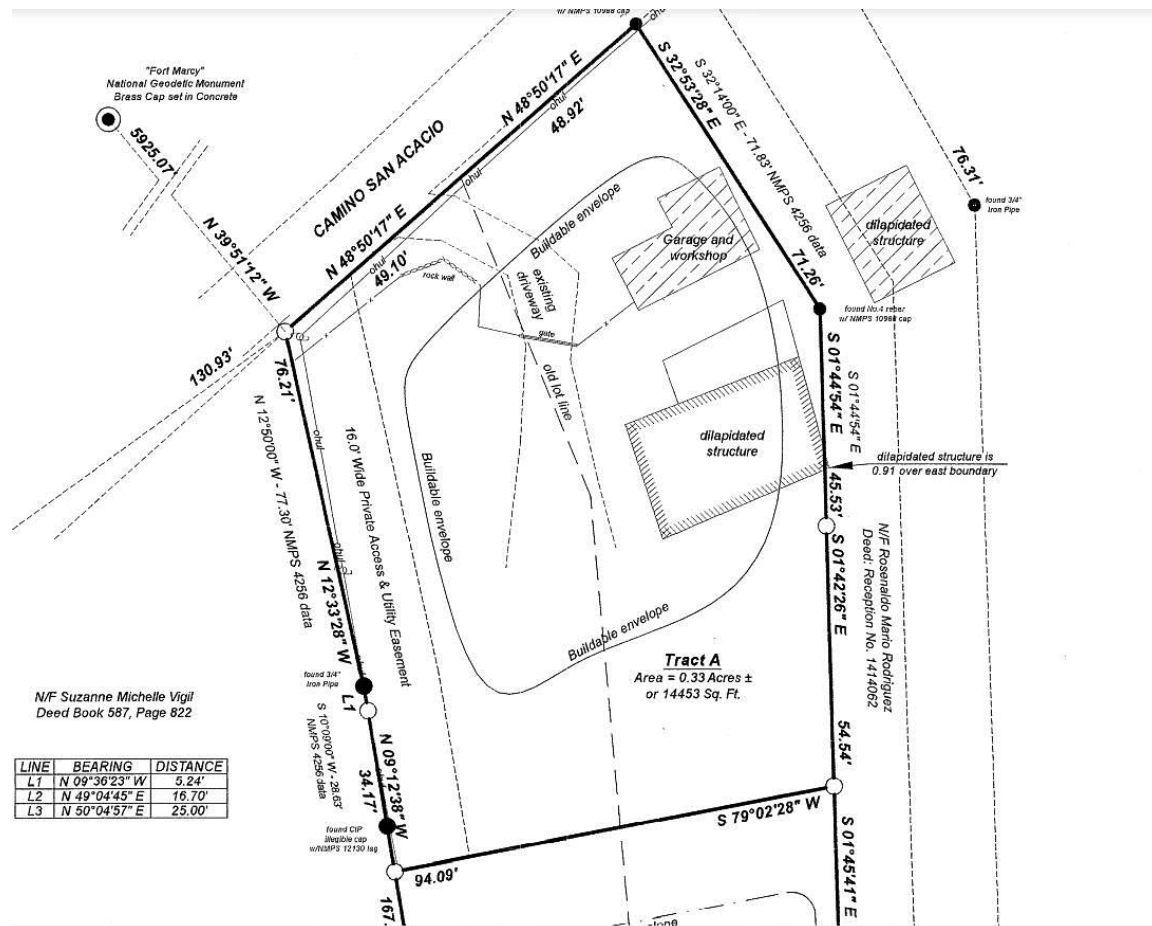
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 2019 survey, courtesy LSC Survey, LLC.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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		4. County: Santa Fe			
		5. November 27, 2021			

Architectural Description Continued

Once part of a much larger parcel, the lot on which these buildings sit was recently reduced to its current size and given an address: 1062 Camino San Acacio.

Surrounding the property is land formerly owned by the same two families, now mostly separated and sold off. A piece to the south holds a family *capilla* crowning a ridge (Photo 2). Immediately to the east is the foundation of a knocked-down building and an old apricot tree.

The two structures, the Lower Building and the Upper Building, are basic L-shaped forms built partially into the hillside. Facing directly onto Camino San Acacio, the Lower Building is the better preserved of the two.

Lower Building

Built of adobe, with interior vigas, this roughly 853-square-foot structure has two rooms: a garage and a small office.

North

The garage has an 8' opening holding swinging wood panel doors (Photo 4). The doors, made of 5"-wide boards, are painted white. The paint shows an older green coat. The panels swing out on 12" metal "T" hinges of unknown vintage. Rounding the round corner to the west is the only pedestrian entry to the building, holding a stock ¼ glass unit with four raised panels.

West

A single opening penetrates the west elevation (Photo 5). It contains a four-light, non-historic in-swing casement. A heavy concrete sill runs at the bottom of the window.

South

The long south elevation is partially dug into the slope (Photo 6). It is divided evenly with two openings holding recent six-light casements. A non-historic overhang spans the façade (Photo 6). Sticking out 13½", it supports a metal gutter.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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East

The mountain-side of the building is a blank wall revealing stucco patching (Photo 7).

Construction Details

The building’s public side is covered with slathered stucco. The thick textured overlapping strokes and the color suggest a re-stucco. Its parapets are capped with a brick coping in a pattern of rowlocks working as dentils. A metal cap, used to prevent water intrusion, obscures the top of the coping. The roof slopes to the south, dumping into the gutter. It is made of modified bitumen.

The building has recently been repaired under a permit. This work encompassed replacing two areas where the roof had failed and installing new vigas and a concrete floor.

Upper Building

The larger of the two, the Upper Building, sits on a shelf excavated into the hillside. At roughly 755-square-feet, it has an office and a garage (similar to its companion building). The garage doubles as a workshop. Its east elevation is covered by a crude shed made of disparate recycled wood elements.

North

The north elevation rises above grade on a mixed concrete and rubble foundation. The walls, reaching 3’ above the ground, show their formwork (Photo 8). Above are adobe walls covered with a gray scratch coat. A crude coping made of clay tile blocks and bricks surmount the walls.

Attached to the east side is the beginning of the shed. It sits on a rubble stone wall and reveals various wood surfaces (Photo 9). It has a single gate, sheltered by an overhang of 2’x4’s.

West

Two wide garage doors define the west elevation (Photo 10). The façade starts at the north at a setback with a window giving light to the office. While the opening is historic,

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the windows are not original. The two four-light fixed units are separated by a 1"x 6 1/2" board acting as a mullion. Like the north side, this portion was given a scratch coat.

The double garage doors are similar. Each has two panels holding 5" v-groove boards. They open with the same type of hinges as found on the Lower Building. An overhang extends nearly 24" over the openings.

South

The south elevation shows the building's construction material – mud brick (Photo 11). The mostly uniform 7"x 3 1/2" x 16" earthen bricks are laid in a typical pattern and adhered with mud mortar. The rustic façade is broken with a grouping of sash windows. These newer units are fitted into an opening with the same type of board mullion found on the north side. A shallow overhang tops the wall. Rolled asphalt roofing is tacked across the feature.

Shed

Appended to the Upper Building's east side is a crude, mixed material storage area that may have once served as animal pens. The almost amorphous structure has three divisions, discernable only by changes in roof slope (Photo 12). It is made mostly of fragments of recycled lumber and corrugated tin.

The south end has an opening framed by large rough beams. Its structure sits on a mixed concrete and rubble foundation. Its roof is partially collapsed (Photo 13).

The middle section has an east-sloping shed roof with openings that resemble animal pens. It has been recently reinforced by new 3 1/2" x 9 1/2" beams (Photo 14).

The lower north section has a roof sloping in the same direction and erected over a rubble stone wall (Photo 9).

Based on the known use of the property, there is a high likelihood that the shed once enclosed animals. Aerial photographs show the area where the structure now stands divided into open-roof pens (Figure 4).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Historical Overview

Camino San Acacio Context

As a narrow shelf above Canyon Road, Camino San Acacio — originally San Acacio Road — developed slowly in the early 20th century and was considered the south edge of settlement (Figure 1).

The origin of the toponym is unclear. While not recognized in Spain, Saint Acacius was an early Christian martyr who became a subject of veneration in New Mexico. Unlike other patron saints, San Acacio is depicted in crucifixion. His name is affixed to a small colonial village in Costilla County, Colorado, originally part of New Mexico.

The rural neighborhood in Santa Fe which holds Camino San Acacio took on the name Talaya Hill. It meandered along a ridge above *Acequia de Los Lopez*, or Ditch No. 7. *Acequia de Los Lopez*, one of over a dozen ditches in Santa Fe, stretched for about two miles irrigating plots of corn, alfalfa, wheat, oats, beans — and small orchards planted with apples or apricots.¹

Families built their homes on the tiny ridge, forming a row of houses known as a *cordillera* in regional archaic Spanish (Figure 1). The south side of the road, composed of a slope of Talaya Hill, served as uplands. Here, goats and sheep wandered the hillside.² The top of the hill was crowned by Talaya Hill Reservoir, a basin built in the 1890s to collect rainwater for fire suppression and to supplement the city’s drinking water.

The first city directory listing for the road in 1932 reveals a fully populated neighborhood with mostly occupant-owned houses. These houses were given odd numbered addresses, indicating they sat on the north side of the road. The neighborhood had a small private chapel, St. Ignacio, later renamed St. Agnes.³

¹ State Engineer’s Office, “Report: Santa Fe Hydrographic Survey,” Santa Fe: State Engineer’s Office, March 13, 1919, no pagination.

² Walter Drew, telephone conversation with John Murphey, November 29, 2021.

³ Hudspeth Directory Company, *Santa Fe City Directory, 1947* (El Paso: Hudspeth Directory Company), 360 and 464. In the late 1950s, the church at 1050 Camino San Acacio listed as a “private chapel” is the capilla located on a different portion of the property and historically maintained by the Maes family.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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		4. County: Santa Fe			
		5. November 27, 2021			

Like many Hispanic neighborhoods, the properties evolved into family compounds, with multiple buildings holding an extended-family household of parents, children, grandchildren, cousins, uncles, aunts — and in some cases, adopted children, widows, and boarders.

Rodriguez-Maes Property

The land is assumed is to be tied to Manuel Rodriguez, who owned a large tract straddling Acequia de Los Lopez as depicted on the White’s map of 1897 (Figure 1). Particular to this study is Manuel’s son Felix Rodriguez and his family. Together they owned two homes on the north side of San Acacio (1061 and 1063), which directly associate with the subject buildings.

The two homes in the early 1930s were owned by Felix Rodriguez, and his son, Jose Rodriguez. Felix, who died in 1931 at age 71, was living with his four daughters, three of whom were employed as servants.⁴ His son, Jose, lived next door with his wife, Rosarita, and their four children. Jose worked as a shepherd, making the seasonal trek into the mountains with his herd.

After Felix’s death, his daughter Lucia married Luis H. Maes. Born around 1905, Luis (sometimes Louis) grew up in Lamy, where his father worked at a coke oven. After marriage, Felix and Lucia (often Louisiana) took over the home on San Acacio Road, raising a family. During the Great Depression, Luis and Jose worked for the New Deal Works Progress Administration like many men on their block.⁵

While most of the eastside was on municipal water and sewerage by the late 1940s, San Acacio didn’t get service until late 1950s. In the early 1960s, the informal road embraced its first Anglos, including an architect associated with Alexander Girard, who purchased and remodeled a neighboring home..

The land on the south side of the road holding the building remained intact as a large parcel (Figure 3) at this time. Over subsequent years it would be whittled down and subdivided.

⁴ United States Federal Census, 1930, Census Place: *Santa Fe, Santa Fe, New Mexico*; Page: 13B; Enumeration District: 0003; FHL microfilm: 2341134.

⁵ Ibid., 1940, Census Place: *Santa Fe, Santa Fe, New Mexico*; Roll: m-t0627-02452; Page: 11A; Enumeration District: 25-5B.

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		5. November 27, 2021		

Use of Buildings

In 1968, Walter Drew, a Wesleyan-educated contractor, moved onto a neighboring property and refurbished a shed to become his office. Drew made a quick acquaintance with Jose Rodriguez and his brother-in-law, Luis Maes. At the time of this report, Drew had helpful recollections on how the buildings were used through the early 1970s.⁶

Much older, and now widowed, Rodriguez had never learned to drive. He puttered around the hillside property, tending his sheep and goats. The old shepherd had a folk-artist sensibility. He incorporated broken consumer goods into projects, including in the property’s retaining walls (no longer part of the subject parcel). He had taken up weaving and kept his loom in one of the buildings. Rodriguez died in 1976.

A few years younger, his brother-in-law Luis Maes — who had worked for many years as a custodian — remained at his home across the street. He tinkered with his 1932 Ford pickup, which he kept in the upper building. Luis Maes died in 1994.

Since Maes’ death, the block has experienced change, with the breakup of family land and the resulting infill of luxury homes on the south side. Many of the older homes on the south side have passed out of family ownership.

The parcel holding the study buildings remained in family ownership until recently. It was used for time as a woodwork shop.

⁶ Drew, telephone conversation with John Murphey.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. November 27, 2021	

Evaluation of Historical Status

Both buildings appear to be old, being visible, at least in gross footprint, on a 1948 aerial photograph. The structures are of modest design and do not communicate their primary association as ancillary buildings associated with homes across the street. The Upper Building suffers advanced deterioration, and its integrity is further damaged by an ad-hoc, incoherent shed covering its east elevation.

Conclusion

The recommendation is to maintain Non-Contributing Structure status for both buildings.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Illustrations



Figure 1: Area context.
Subject buildings circled
October 25, 1948, aerial photograph.
Courtesy EDAC, University of New Mexico.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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	5. November 27, 2021

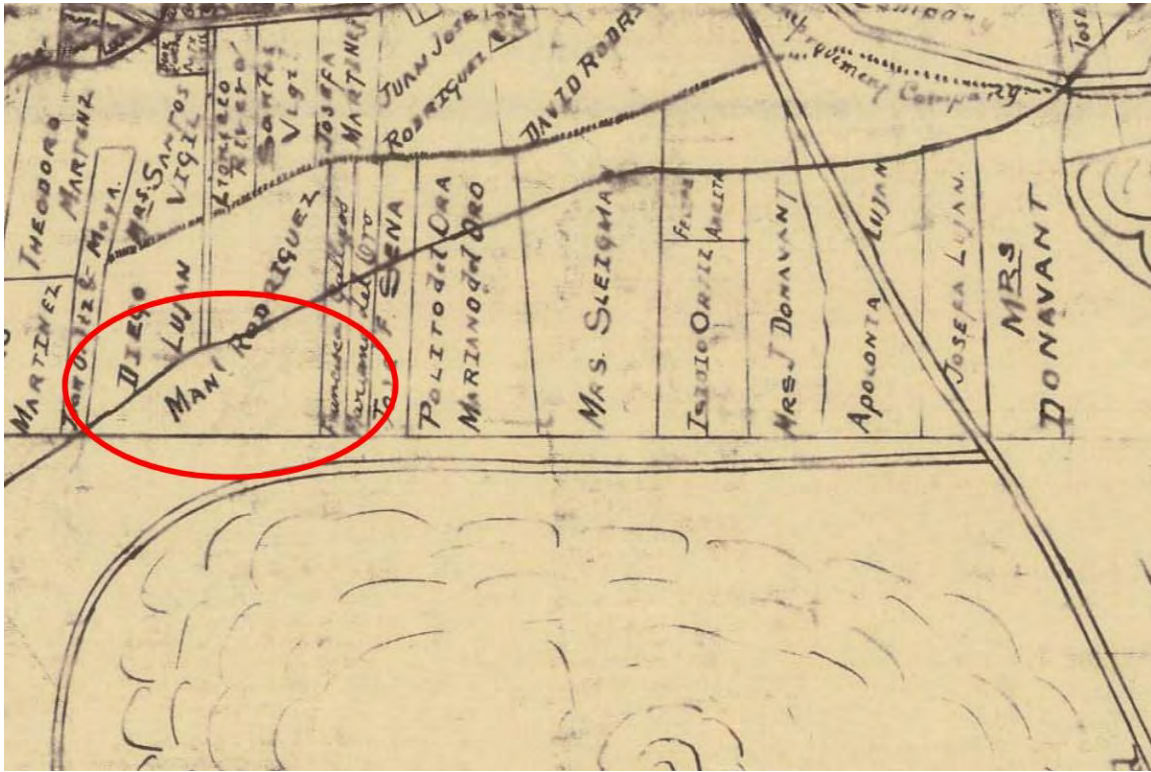


Figure 2: Manuel Rodriguez land circled.
William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits,"
1897-98.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Figure 3: 1957 parcel map superimposed over contemporary aerial. Subject buildings circled.
 “Scanlon-Erwin & Associates, “Block and Parcel Map of Santa Fe,”1957.

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**Figure 4: Subject buildings.
May 2, 1966, aerial photograph.
Courtesy New Mexico Department of Transportation.**

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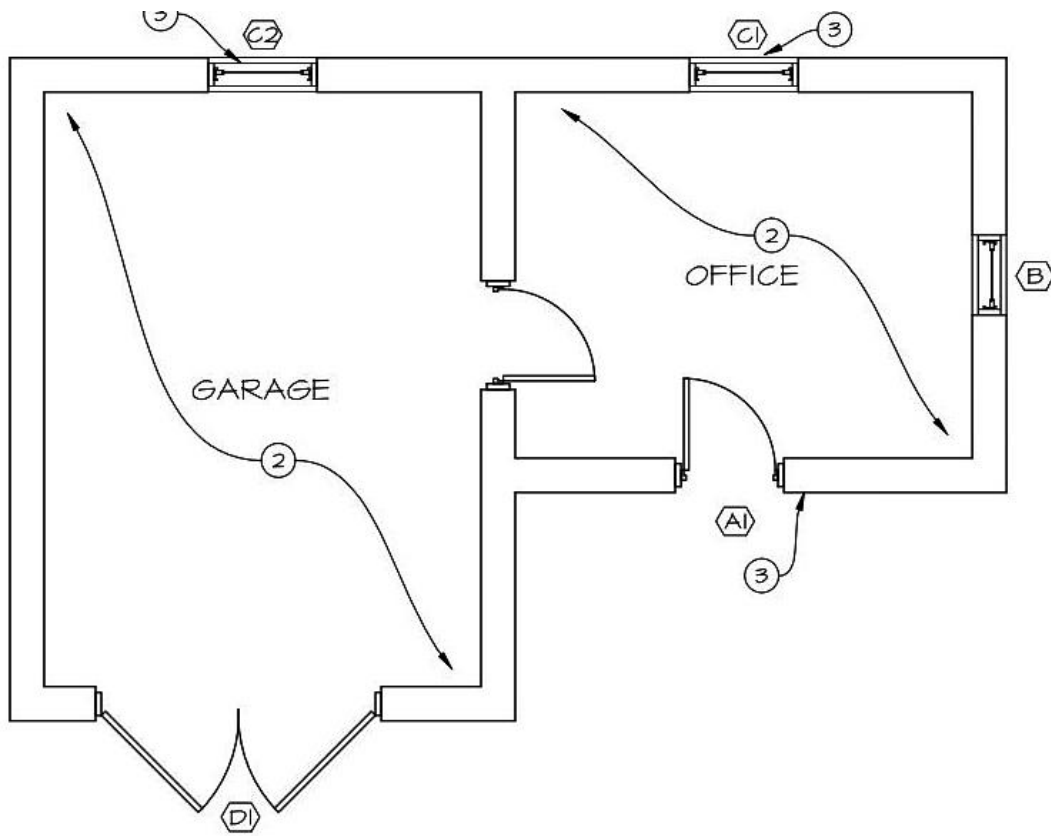


Figure 5: Lower Building footprint.
Courtesy Praxis Architects Inc.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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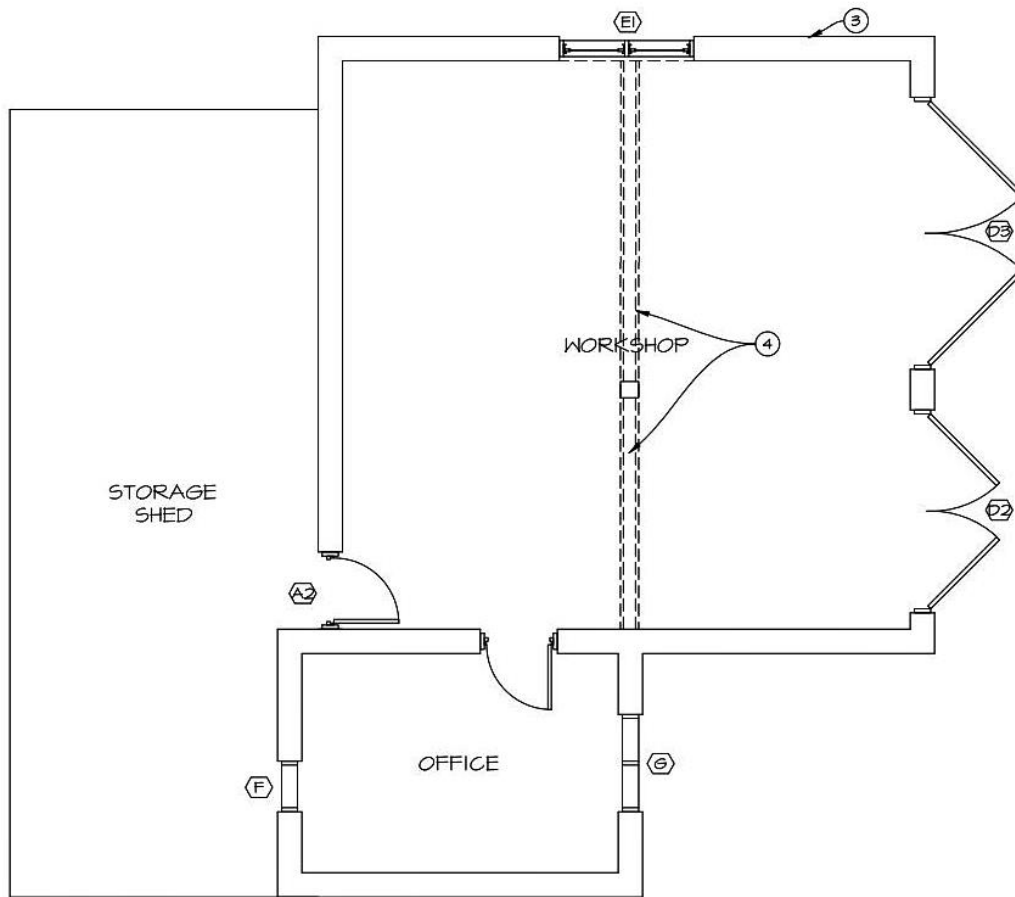


Figure 6: Upper Building footprint.
 Courtesy Praxis Architects Inc.

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Survey Photographs

(All images taken by John Murphey, November 27, 2021, unless otherwise noted)



**Photo 1: View of property from Camino San Acacio.
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 2: Deteriorating structure and capilla on separate property.
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 3: View of Upper Building from south edge of property. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 4: Lower Building, north elevation.
Camera facing south.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. November 27, 2021			



**Photo 5: Lower Building, west and south elevations.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. November 27, 2021	



**Photo 6: Lower Building, south elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 7: Lower Building, north elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 8: Upper Building, partial north elevation.
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 9: Upper Building, north elevation, shed portion.
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 10: Upper Building, west elevation.
Camera facing east.**

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**Photo 11: Upper Building, south elevation.
Camera facing northeast.**

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**Photo 12: Shed, east elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 13: Shed, south portion at right.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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				5. November 27, 2021	



Photo 14: Shed, middle portion.
Camera facing south.



PURPOSE AND INSTRUCTIONS

Prior to a public hearing in front of the Historic District Review Board (HDRB) all applicants must obtain Historic Districts Preliminary Zoning Review (HPZR) from the Current Planning Division. The HPZR does not grant zoning approval. Following design approval from the HDRB, final zoning review will be performed at the time of building permit.

Applicants must submit complete and accurate information for review. Incomplete submittals will not be processed. All HPZR requests must be submitted to Current Planning via zoningcounter@santafem.gov

PROJECT INFORMATION

Form with fields: Date 10/29/2025, Property Owner of Record Santa Ines Ltd. Co., Applicant/Agent Contact Gabriel Browne, Site Address 1062 Camino San Acacio, Suite or Space #, Subdivision Name n/a, Lot # Tract A, Block # Section 30, T17N, R10, Total Roof Area (square feet) 4,704.3, Lot Coverage % 36.3%, Lot Size (square feet) 12,482.1 sq. ft. excluding driveway easement, Proposed Construction Description New Single Family Home & ADU on lot with existing "contributing" garage structure, The following documents are required for review as applicable: Legal Lot of Record, Building Plans, Existing site plan w/ setbacks, Proposed site plan w/ setbacks, Existing & Proposed Elevations, Development Plan, Zoning District R5, Overlay Districts Escarpment, Flood Plain, Other, Proposed Setbacks Front 9'-0", Rear 15'-2", Left Side 5'-2", Right Side 19'-8", Required Setbacks Front 7', Rear 15', Left Side 5', Right Side 21'-0", Proposed Height 24'-9", Max Height 28', Parking Required 3, Provided 7, Bike Parking 2, Provided 2

Historic Planning Case Manager Lani McCulley

If you selected "other," please write in the name of your case manager.

ADDITIONAL SUBMITTALS (IF APPLICABLE)

Form with checkboxes: Y N Affidavit Restricting Use of an Accessory Structure Containing a Bathroom or Kitchen, Y N Setback Affidavit and Agreement, Y N Site Visibility Triangle, Y N Escarpment Slope Analysis, Y N Flood Plain Grading Plan

This hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting the Land Use Department staff prior to HDRB hearing.

Gabriel Browne Owner Applicant Agent

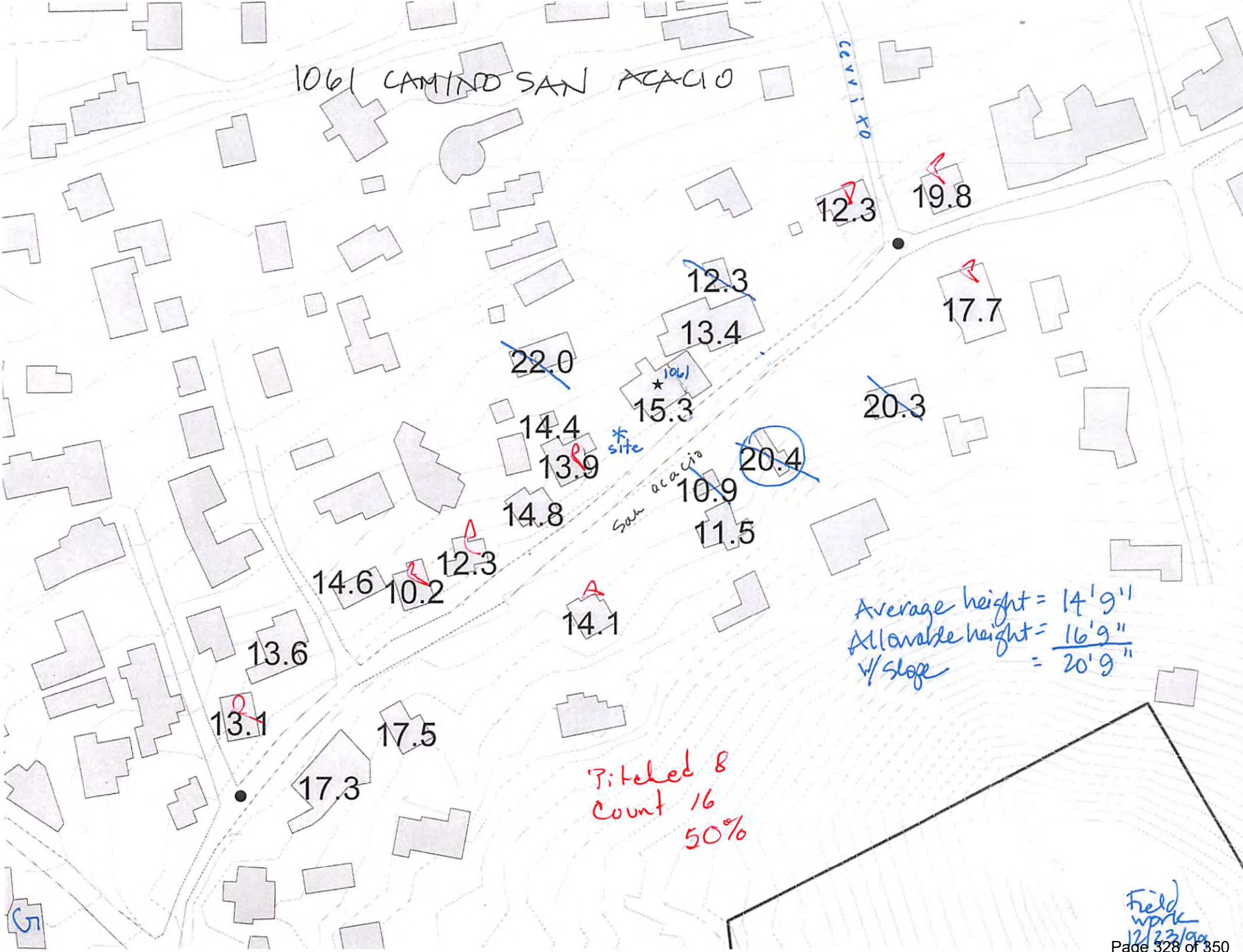
To Be Completed by Land Use Department Staff

PRELIMINARY REVIEW STATUS

Form with fields: Preliminary Zoning Review completed by Stephanie Perea, Date 4-15-26, Preliminary Zoning Review # 2026-012245-PAR

1061 CAMINO SAN ACACIO

CALLE 100



Average height = 14'9"
 Allowable height = 16'9"
 w/slope = 20'9"

Pitched 8
 Count 16
 50%



Lani McCulley &
Historic Design Review Board Members
Historic Preservation Division
200 Lincoln Avenue
Santa Fe, NM 87501



Regarding: 1062 Camino San Acacio, Existing shed remodel, new home and new ADU

May 15, 2026

Ms. McCulley & Historic Design Review Board Members:

Please accept this letter along with design drawings as a complete application for approval from the Historic Design Review Board to remodel an existing shed, and for a new home and ADU at 1062 Camino San Acacio. This property is in the Downtown and Eastside Historic District.

I will keep and remodel the existing Contributing northern garage & shop building.

1. I intend to replace the non-historic pedestrian door on the north façade with a patio door.
2. I intend to save the existing swinging garage doors, to refurbish and repaint them, and to install new weather and rodent proof doors behind the garage doors such that the existing doors function as shutters.
3. I intend to replace the non-historic window on the west elevation with a window of the same size within the existing opening.
4. I intend to replace both of the non-historic windows on the South Elevation with patio doors reusing the existing headers.
5. I intend to strip the existing patchwork stucco from the full exterior of the building and add 4" of foam insulation, then to restucco the structure. In order to waterproof the stucco and preserve the existing coping, I propose a steel flashing which will rust and match the existing cap flashing.
6. I understand that adding 4" of foam to the two Primary elevations requires an exception. For the sake of the brevity of this letter, I address this request and the exception criteria in a separate document.

I intend to build a new home in a Recent Santa Fe Style. The design incorporates a wall dominated appearance with deep set fenestration and parapeted stepped masses with an earth-tone stucco.

1. I request that the board allow me to build the home to a maximum height of 20'-9" tall where a maximum height of 20'-9" may be allowed because of the sloping nature of this site. Under the footprint of the house, the site rises 14'. The proposed home steps back as it steps up the hill. The proposed home is bermed into the hillside 6'6" at the back. The house has been designed so that its height is in proportion to the other homes in the streetscape. The highest, living room, mass of the proposed house is set back about 55' from San Acacio and at a proposed parapet elevation of 7221'-0". While I don't have surveyed elevations of my neighbor's properties, I can make a reasonable guess from the contour information I have, and from field observations. By those calculations I calculate that the proposed new house is at the average of the elevations of the neighbors' homes on each side which are set back about the same distance from San Acacio. The house to the east has parapets with elevations of about 7723' and the neighbor to the west which has parapets with elevations of about 7719'.
2. I intend to build a walk-out basement below the northeastern bedroom suite for storage and mechanical space. The finished grade at the doorway of this space will be at 7197'-8", 23'-4' below the parapet above. The doorway and finished grades in this area are hidden from the public view behind the front garage/shop building and are located within the footprint of the old rear shop building I intend to demolish. The historic ordinance controls overall building height from the average of the highest and lowest existing or finished grade on the street facing facade, whichever is more restrictive. I've labelled, on the home's north elevation, the highest and lowest and average of the existing and finished grades. In this case, the average of the existing grades is the more restrictive, and the building has been designed to be no more than 20'-9" above this grade. If the basement access doorway were not allowed, the appearance, massing and height of the building as viewed from the street would be precisely the same. The heights and massing requested fall within the zoning requirements for the property.
3. On the street facing facade, I intend a pitched-roof portal in a traditional form with exposed posts and beams. Pitched roofs are allowed in this location. I request that the board grant me an exception to allow the posts & beams to be of exposed steel which will eventually rust. I have addressed the exception criteria for this in a separate document.

4. I have "set back" portions of the façade as described in the ordinance at the northwestern corner to extend and create a portal. Under portales, larger plate glass areas are allowed.

I intend to build an ADU on the northwestern part of the property. The ADU will mimic the massing, roof line, and roof finish of the historic home across the street at 1051 Camino San Acacio with a linear footprint, simple massing, deep-set window and door openings and 6:12 pitched roofs.

In order to be able to build a home on this site, including access to and walkways between the structures, to develop gardens on the site, and to help control erosion, I will be terracing parts of the property. The terraces will be defined by retaining yard walls which will be stucco covered insulated concrete forms (ICF) where taller and bent 14-gauge steel, where shorter.

I intend to build a coyote fence between my driveway and the yards just east of the driveway. This fence will hide mechanical equipment, contain pets and offer privacy between the proposed home and the home to the west. I intend for this wall to be 6' tall and set back from the western property line 16'. It will be built with steel posts and rails and with cedar latillas. The longest run of this fence will be 28'-6" long.

I intend to build a coyote fence along San Acacio and defining a parking area on San Acacio. This fence will be made of masonry pilasters a maximum of 12'-8" on center with horizontal steel rails and cedar latillas. This fence will not exceed 48" in height. Behind and above the section of this fence which runs along the street, I intend to build a trellis 8' high out of 3" rectangular steel in an asymmetrical "T" shape. The design is to support vines growing up the trellis and between supports.

The finishes throughout the property are intended to be:

1. Elastomeric stucco with a medium sand finish in Sto Color "Rustic Taupe" 280-B3
2. The pitched roofs, roof facia, and shorter retaining walls will be mild steel, allowed to rust to match the rusted pitched roofs and wainscot and other details across the street at 1051 Camino San Acacio.
3. Window and doors will be aluminum and aluminum clad wood in dark bronze anodized or dark bronze factory applied finish. Windows will be simulated divided lite where visible from the street, except under the portal on the primary home.

4. The garage door will be a factory applied dark bronze color as close as possible to the color of the windows.

If you have any questions or concerns regarding this request, please e-mail me, or call me on my cell phone number below. Thank you for your time and assistance with this matter.

Sincerely,

A handwritten signature in red ink, appearing to read 'Gabriel', with a long horizontal flourish extending to the right.

Gabriel Browne,

Owner & Architect

gabriel@praxisdesignbuild.com

(505) 660-2294 Cell

1062 Camino San Acacio

Exception for adding 4" of foam insulation to two Primary facades on a Contributing shed:

At its board meeting on Oct 24, 2023, in the matter of case #2023-007358, the board designated the northern or lower shed on this property as Contributing and determined that the two north (street) facing facades, N1 & N3 were Primary. One of these facades has a pair of large swinging garage doors and the other has a non-historic half-lite pedestrian door.

In order to secure the shed space, and make it usable and pleasant, and to protect the adobe, the space needs much better windows, doors, and wall insulation, and it needs these elements tied together with proper flashings.

I propose to apply 4" of exterior foam to the entire building, then apply a new stucco system.

I considered adding insulation on the interior, but because the spaces are so small, this would eliminate almost 10% of the usable interior space. Insulating on the interior would have the additional downside of isolating the thermal mass of the adobe from the inside space, negating the thermal advantage of adobe. Most importantly, insulating on the interior would trap the adobe and rubble foundations between the elastomeric stucco on the outside, and the foam on the inside. This would eventually lead to the failure of the adobe and foundations when water finds its way into the wall.

It is possible to insulate the interior of the two primary facades, and insulate the remainder of the building on the exterior. Insulating the interior of these two facades has the same downsides as listed above and mixing insulating on the interior and exterior has the additional disadvantage of having a strange flashing detail where the non-contributing facades have a 4" flashing overhanging the stucco at the coping and the two contributing facades have no such overhang. The difference from one facade to the other would look strange.

I understand that adding insulation to the exterior of the two primary facades requires an exception. I ask that you grant that exception. It would be in the best interest of this historic structure to transform from a cold, dusty, pest-ridden locker, into a warm building, renewed to properly seal out dust, pests, and moisture. Such a structure will be appreciated, used regularly and can be expected to last many more decades, perhaps centuries.

Variance Criteria for adding 4" of foam to the exterior of two street-facing Primary facades on Contributing structure:

(i) The addition of 4" of foam to these two facades will not damage the character of the district. This would be a very subtle change, not perceptible by the casual observer. Adding proper insulation enhances the utility and value of the structure, and assures its longevity and thereby its contribution to the character of the district.

(ii) The additional foam on the exterior is the only reasonable solution which insulates the structure without hastening its eventual failure. Encapsulating the adobe and rubble foundations will lead to the eventual failure of the adobe & rubble foundations which would be a hardship to the applicant, and would injure the public welfare. An additional public good is served by preventing rodent intrusion into the structure, reducing nuisance and health harms from rodents.

(iii) The additional foam would strengthen the unique heterogeneous character of the city by allowing this little structure to gain a second useful life, part of a larger project to allow my family to reside in this beautiful corner of the historic district.

1062 Camino San Acacio

Exception for exposed steel columns at the portal on the primary residence

The proposed portal design is traditional in its form with posts and beams of traditional scale and proportion. It includes doubled columns closely spaced which is a traditional technique especially employed in the territorial style for wider spans, carrying greater load and adding a visual “weight” to each clustered column location.

The code does not prohibit the steel beam or leaving that exposed, but by a rather round about interpretation might require “wooden columns”. This is a request for an exception to that requirement.

Variance Criteria:

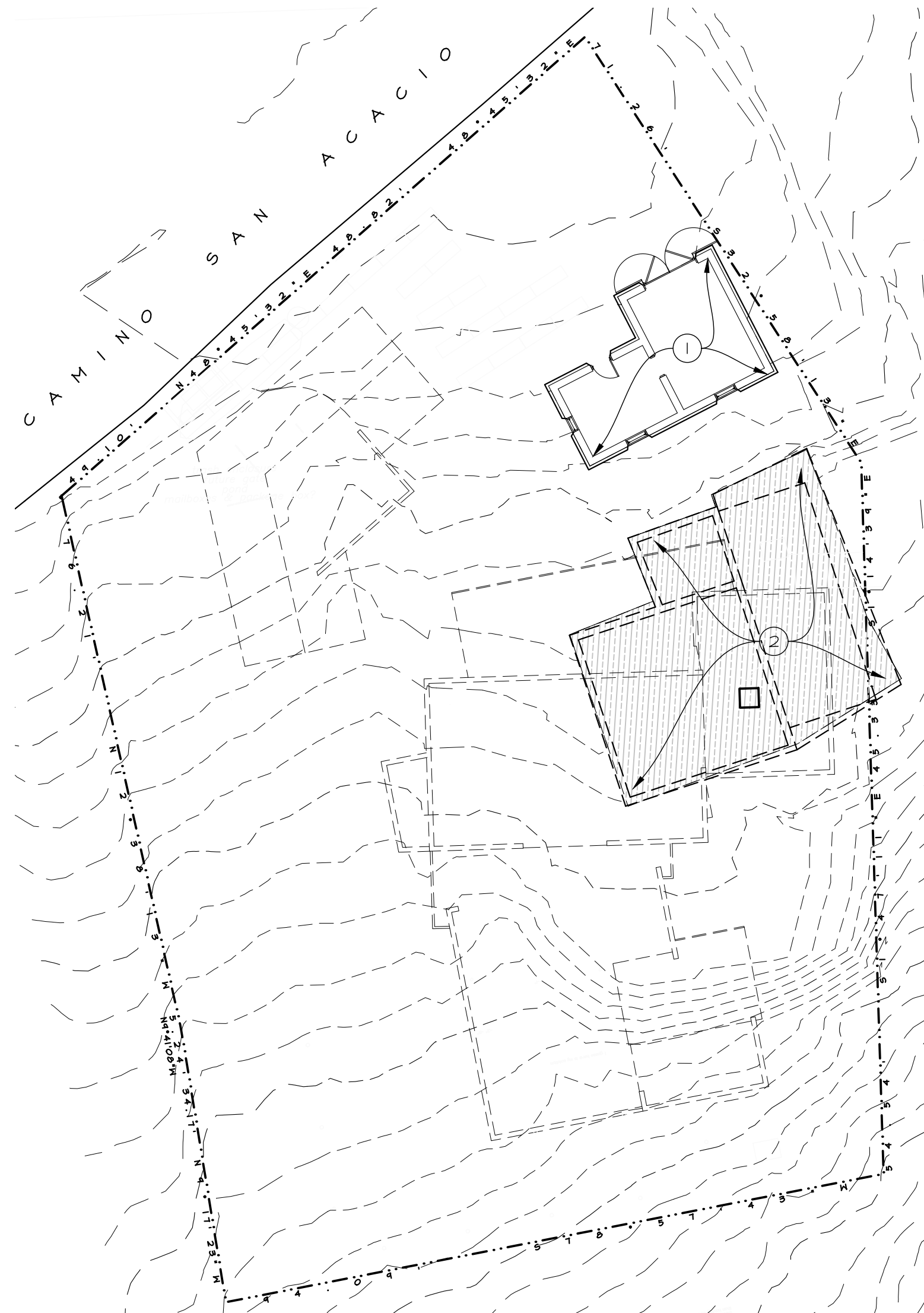
- (i) Exposed steel columns will not damage the character of the district. They will look more appropriate than a wood or wood-covered column supporting a steel beam. The difference between painted wood and steel is very subtle, and would likely not be visible to a casual observer. Paints will fade and peel, wood will twist and crack. Leaving a gap at the bottom of wooden columns, as required by code, leaves a strange floating detail which is clearly not traditional. Failing to leave a gap, or filling the gap with another material leaves end grain exposed to moisture which rots the columns. Using and expressing steel for these elements will enhance the character of the district because the column can fully engage to the wall it sits on, because the proposed columns will become more beautiful over time instead of less so. They will last generations. The character of the district is further enhanced by solutions which express their structural intent and materiality simply and honestly as those are fundamental tenants of the New Mexico Vernacular.
- (ii) As described above, covering the columns of this structure with wood would not improve the appearance of the building. It would add cost and unnecessary work. These are hardships to the applicant. The public good is not served by a material which will degrade over time, and need replacement when it rots away.
- (iii) Allowing the steel columns to be exposed would strengthen the unique heterogeneous character of the city by allowing a unique heterogeneous solution to this problem.



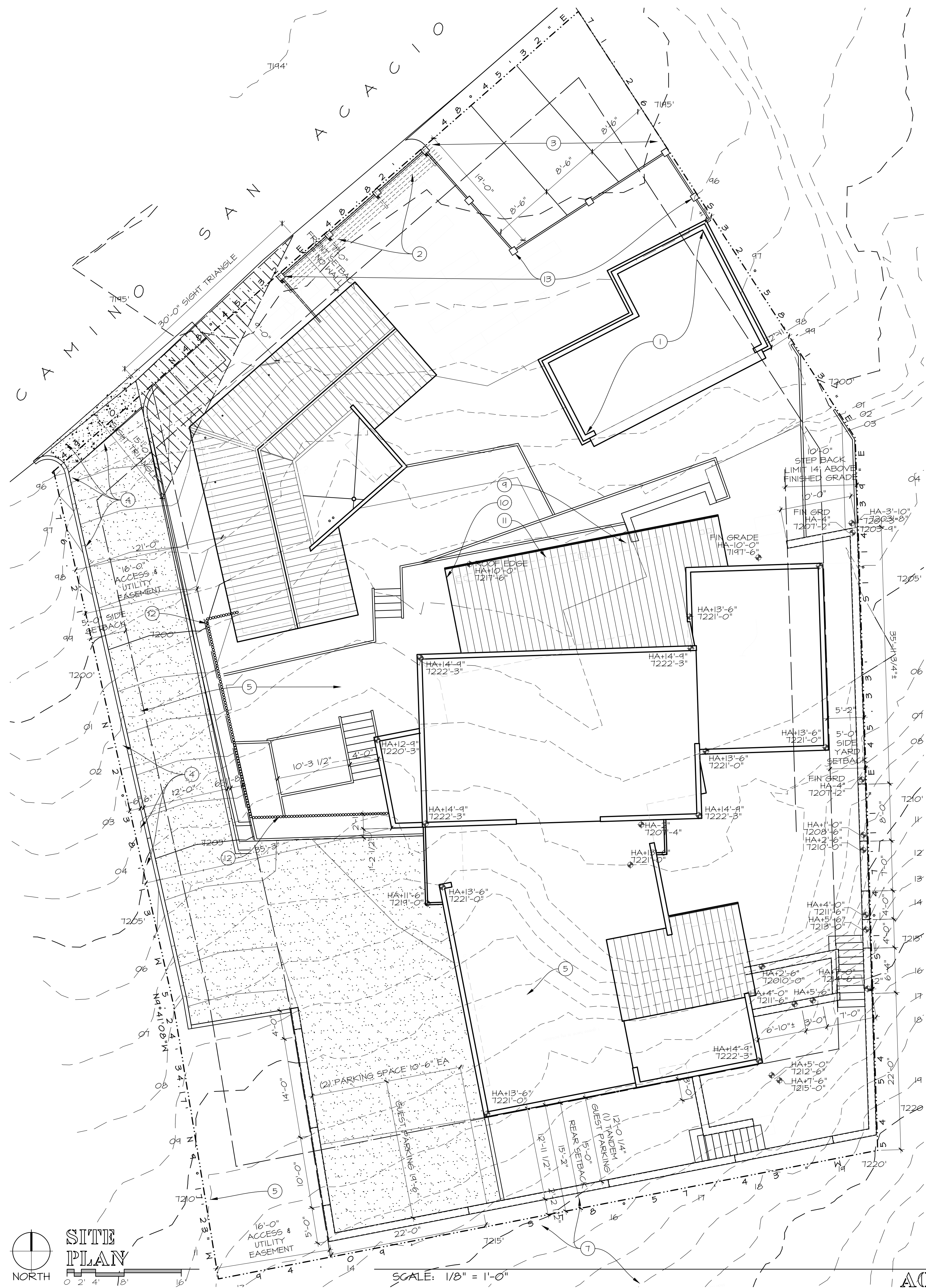
Its has been less than 10 years since the Palace of the Governor's portal remodel. The posts are already rotting out again.

KEYED NOTES

- EXISTING HISTORIC CONTRIBUTING GARAGE STRUCTURE TO REMAIN - ADD 4" EXTERIOR INSULATION, REPLACE WINDOWS & DOORS TO GREAT HEATHER & PEST SEALS
- 8' TALL 36" WIDE STEEL TRELLIS FOR VINES ATTACHED TO THE BACK OF THE YARD WALL PILASTERS
- PROPOSED OFF-STREET PARKING AREA (2) SPACES REQUIRED FOR ADU, (3) SPACES PROVIDED
- EXISTING POWER POLES & OVERHEAD POWER LINES
- AREA CONTAINED IN THIS SHAPE IS THE ONLY AREA ON THE PROPERTY NOT WHICH CONTAINS SLOPES WHICH ARE OBVIOUSLY NOT MAN-MADE
-
-
-
- LOWEST POINT OF NATURAL GRADE ON STREET FACING ELEVATION T201'-3"
- HIGHEST POINT OF NATURAL GRADE ON STREET FACING ELEVATION T201'-4"
- AVERAGE POINT OF NATURAL GRADE ON STREET FACING ELEVATION T201'-6"
- COYOTE FENCE SEE TYP FENCE SECTION
- SAN ACACIO FENCE - MASONRY PILASTERS STONE FINISH AT BASE, STUCCO FINISH TOP, FENCE PANELS TO BE STEEL RAILS, 3" CEDAR LATILLAS



DEMOLITION SITE PLAN
 NORTH
 SCALE: 1/16" = 1'-0"
 AO-1



SITE PLAN
 NORTH
 SCALE: 1/8" = 1'-0"
 AO-1

PROJECT INFORMATION

OWNERS: GABRIEL & MARIAM BROWNE
 1012 MARQUEZ PL #310B
 SANTA FE, NM 87505
 (505) 660-2244

BUILDER: PRAXIS LTD. CO.
 CONTACT: GABRIEL BROWNE
 (505) 413-7166
 1012 MARQUEZ PL #310B
 SANTA FE, NM 87505

ARCHITECT: PRAXIS ARCHITECTS INC.
 CONTACT: GABRIEL BROWNE
 (505) 413-7166
 1012 MARQUEZ PL #310B
 SANTA FE, NM 87505

PROJECT SUMMARY:
 NEW ADU
 NEW SINGLE FAMILY RESIDENCE

PROJECT AREAS:	HEATED	UNHEATED (GARAGE)	ROOF '2' OVHG	ROOF '2' OVHG
(GROSS) EXIST GAR #1		505.7		25.4
EXIST SHOP #2				
NEW ADU	574.0		36.0	122.7
NEW HOME	2212.9	527.8	671.3	28.5
TOTAL:	2786.9	1033.5	707.3	116.6
TOTAL UNDER ROOF - 4,704.3				
TOTAL UNDER ROOF LESS ROOFS WITH LESS THAN 2' OVHG - 4527.7				

LOT 14.4045
 16' DRIVEWAY EASEMENT 1922.4
 LOT LESS DRIVEWAY ESMT 12,482.1

LOT COVERAGE 36.21% (UNDER ROOF LESS 2' OVHG/LOT LESS DRIVEWAY)

NOTE 1 - EXISTING FRONT GARAGE SPACE TO REMAIN
 NOTE 2 - EXISTING REAR SHOP TO BE DEMOLISHED

ZONING ANALYSIS

Zoning Analysis for single family residence and ADU:
 Zoning: R5
 Section 14-7.1

Net Lot Area- 12,481.2 sq. ft. (exclusive of driveway access easement on N. side of property) 4,000 sq. ft. minimum allowed by table 14-7.2-1
 Lot Coverage - see calculation above
 Minimum Required Open Space: Not Required, where lot coverage is less than 40%

Required Yards per table 14-7.2-1:
 Street: 7 (20 for garage or carport)
 Sides: 5' (10' step back for height more than 14' above finished grade)
 Rear: 15'

Height Standards - 24' by zoning plus 4' by 14-7.1-(C)(1)(b) from the lowest adjacent grade to the highest point on the structure, height also controlled by historic requirements. Chimneys are allowed to be up to 4' above height limitation.
 Wall Height Standards - controlled by historic

Required Yards
 The following structures are allowed in yards: Walls and fences also decks, planters, driveways, walkways, stairways and similar structures less than 30" above grade.
 Eaves or other roof projections may extend into required yards a distance of 2' or less.
 Parking - Required 2 Per Dwelling Unit = 4 spaces required, 8 provided.
 Visibility at Driveways and Yards: no structure, fence, wall, hedge or planting will be placed in the triangular area defined by the more restrictive of 5' along the edge of the driveway and 15' along the front property line or 15' back from the nearest travel lane 30' along the travel lane.

This property is subject to the Mountain Terrain Ordinance by map, but less than 25% of the property has a slope of 20% or greater.

HISTORIC

CASE #2023-007858 FRONT GARAGE STRUCTURE DEEMED CONTRIBUTING (2) STREET FACING FACADES ARE CONTRIBUTING - SCOPE OF WORK FOR THIS STRUCTURE - REPLACE WINDOWS, REPLACE ENTRY DOOR, ADD DOORS BEHIND SWINGING GARAGE DOORS, ADD 4" INSULATION TO EXTERIOR OF BUILDING, RESTUCCO REAR SHED & SHOP STRUCTURE DEEMED NON-CONTRIBUTING - TO BE MOSTLY OR COMPLETELY DEMOLISHED, FOOTPRINT OF NEW HOME OVERLAPS AREA OF THIS EXISTING STRUCTURE
 HEIGHT & PITCH CALCULATION DETERMINED AN ALLOWABLE HEIGHT OF 16'-9" BECAUSE THIS SITE SLOPES, HDRB MAY ALLOW A HEIGHT UP TO 20'-9". PROPOSED HOME 20'-4" TALL STEPPED BACK 8 OF 16 HOMES IN THE STREETScape HAVE PITCHED ROOFS SO THIS HOME IS ALLOWED TO BE PITCHED BY CALCULATION, MAX WALL HEIGHT 15 48"

CODE ANALYSIS

2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
 CITY OF SANTA FE GREEN BUILDING CODE - CURRENT

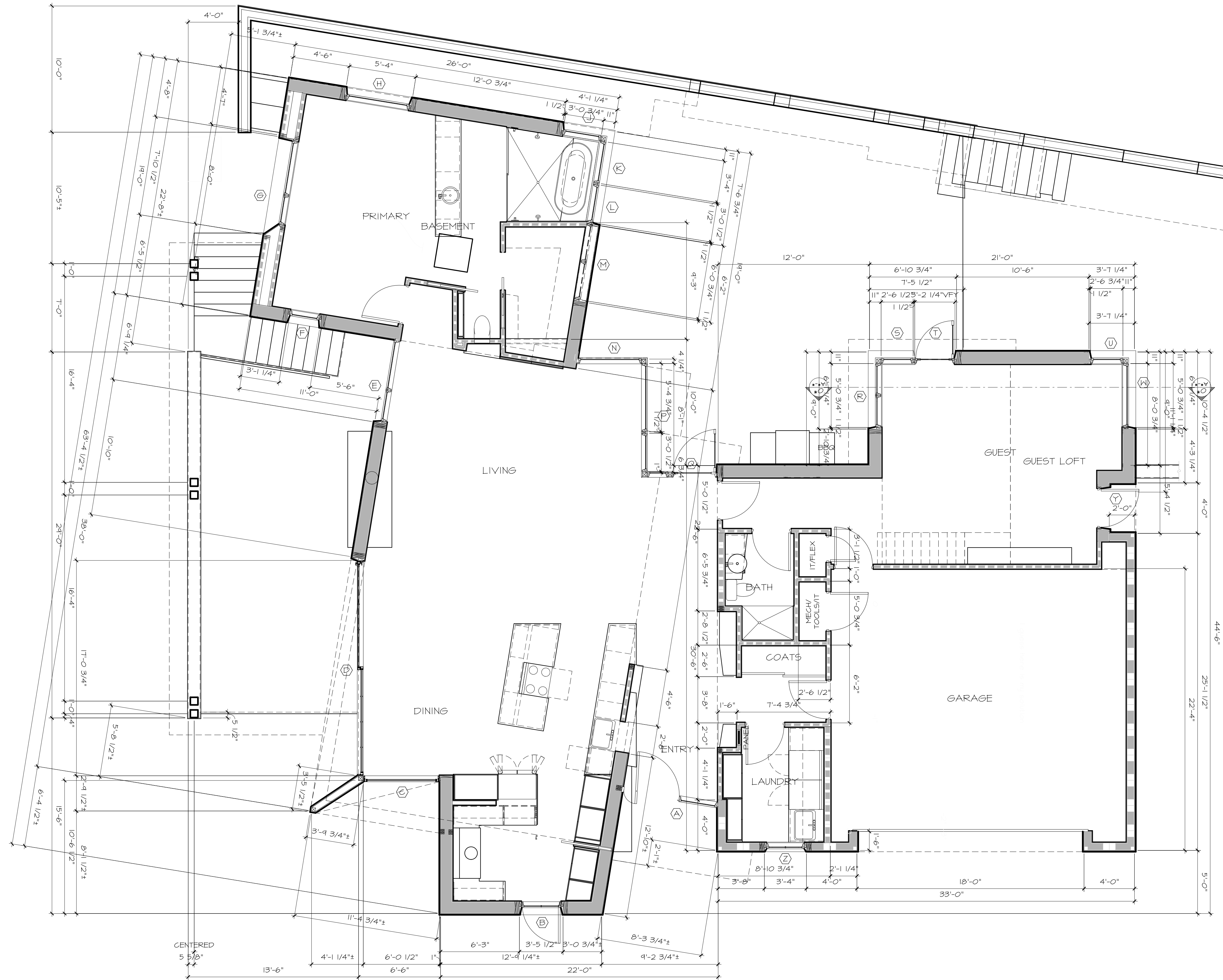


BROWNE RESIDENCE
 1062 CAMINO SAN ACACIO
 JOB NUMBER: 112

SITE PLAN

DRAWN BY: GB	FILE NAME: INX-AO-1
REVISION: DD-4	DATE: 5/15/2025

AO-1



FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

PRAXIS
 ARCHITECTS

BROWNE RESIDENCE
 1062 CAMINO SAN ACACIO
 JOB NUMBER: 112

MAIN HOUSE FLOOR PLAN

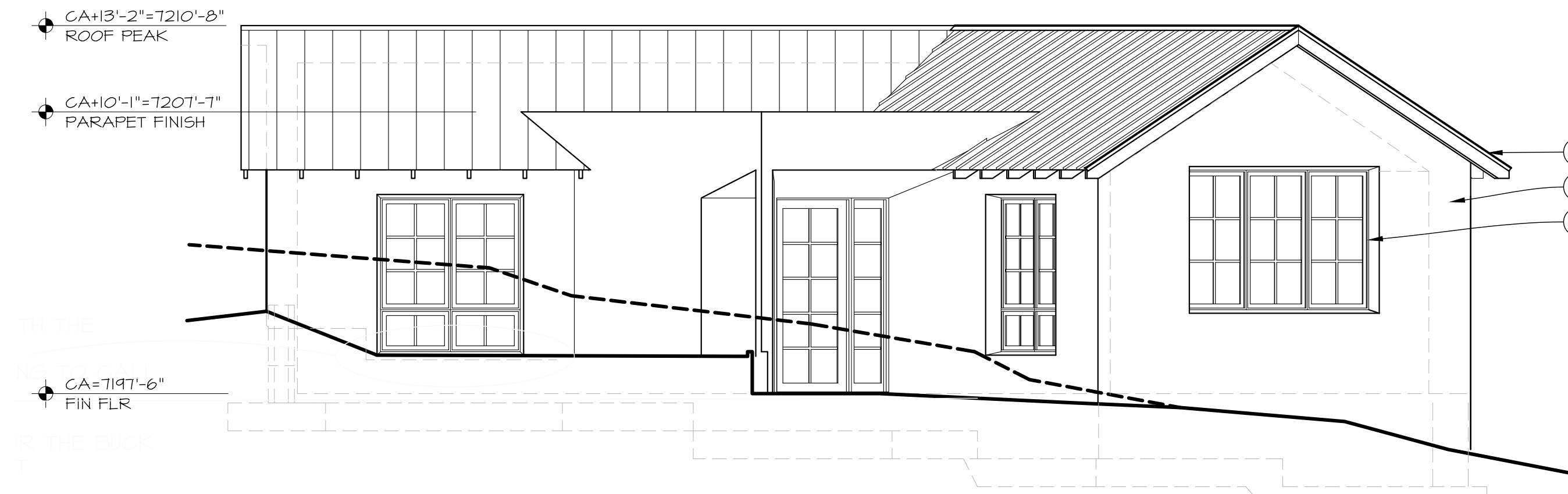
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REVISION: DD-4	DATE: 5/15/2025

HI 1-1

1
 HI 1-1

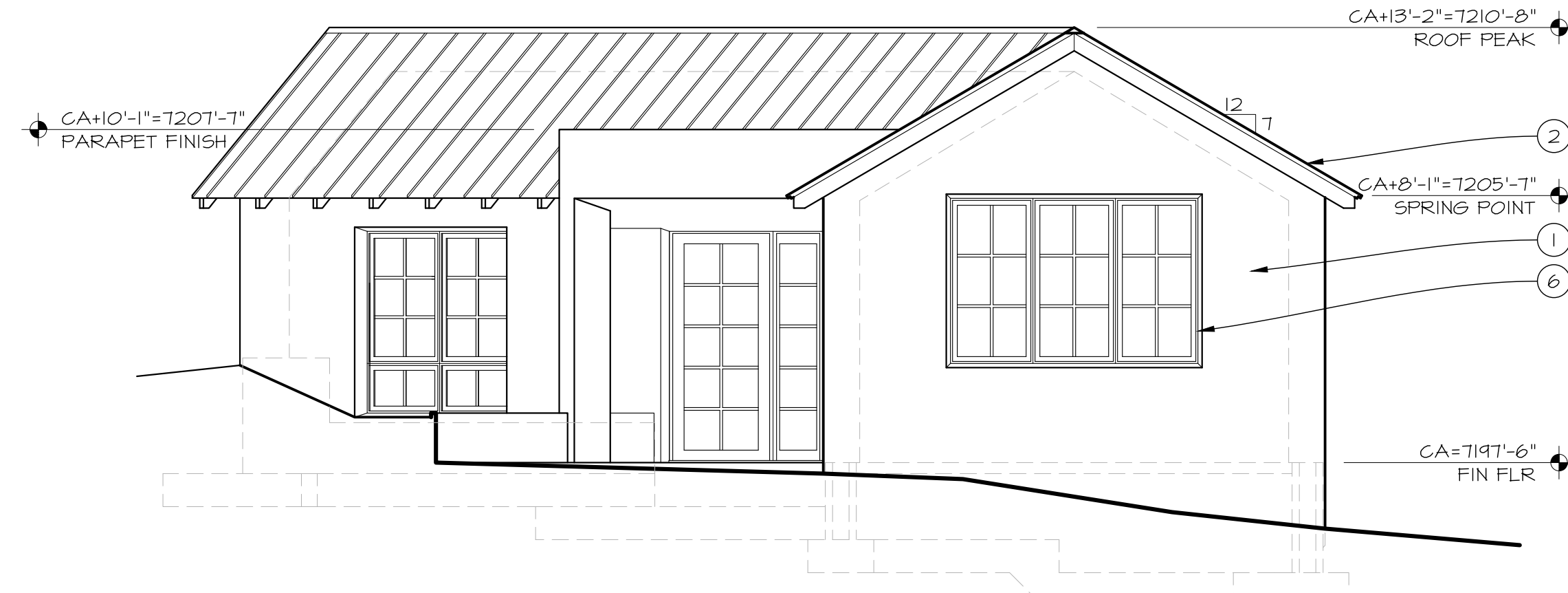
KEYED NOTES

1. STUCCO TYPICAL
2. EXPOSED ROOF SURFACE & FLASHINGS TO RUST
3. EXPOSED PORTAL FRAMING ELEMENTS STEEL TO RUST
4. NOT USED
5. CANALES STEEL TO RUST
6. DARK BRONZE ANODIZED EXTERIOR WINDOW FINISH

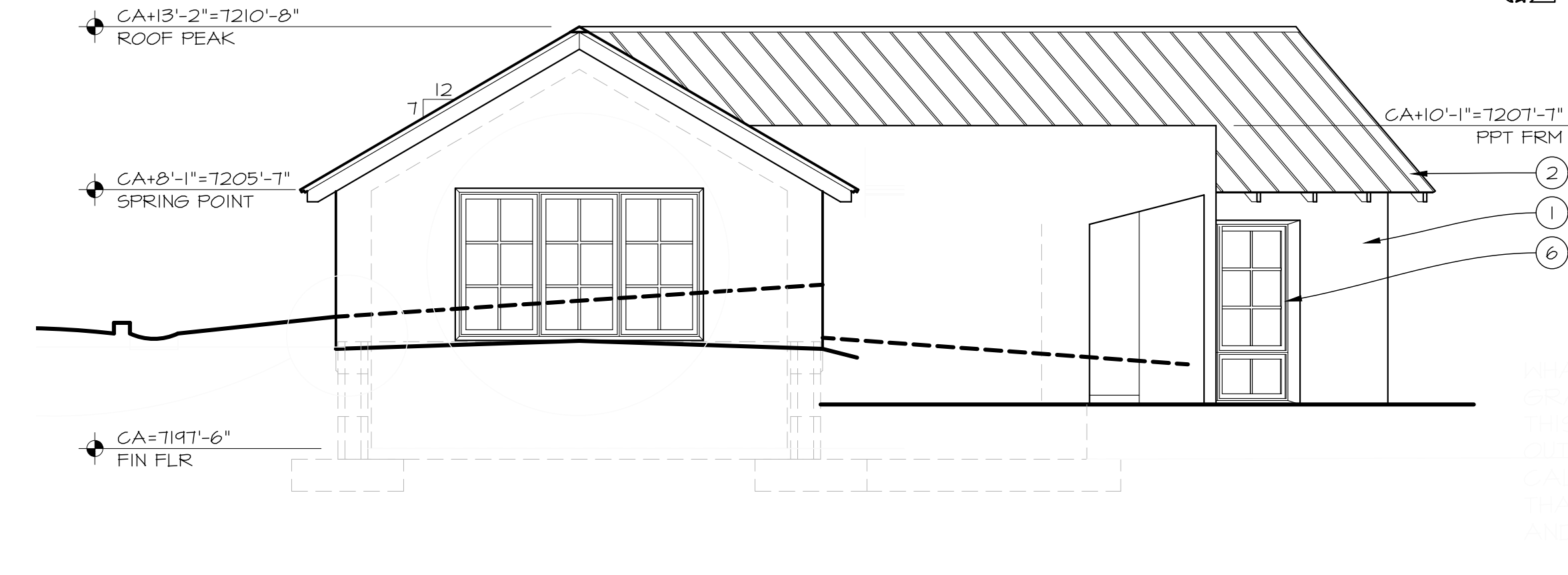


**EAST
ADU ELEVATION**
SCALE: 1/4"=1'-0"

3
C2-1

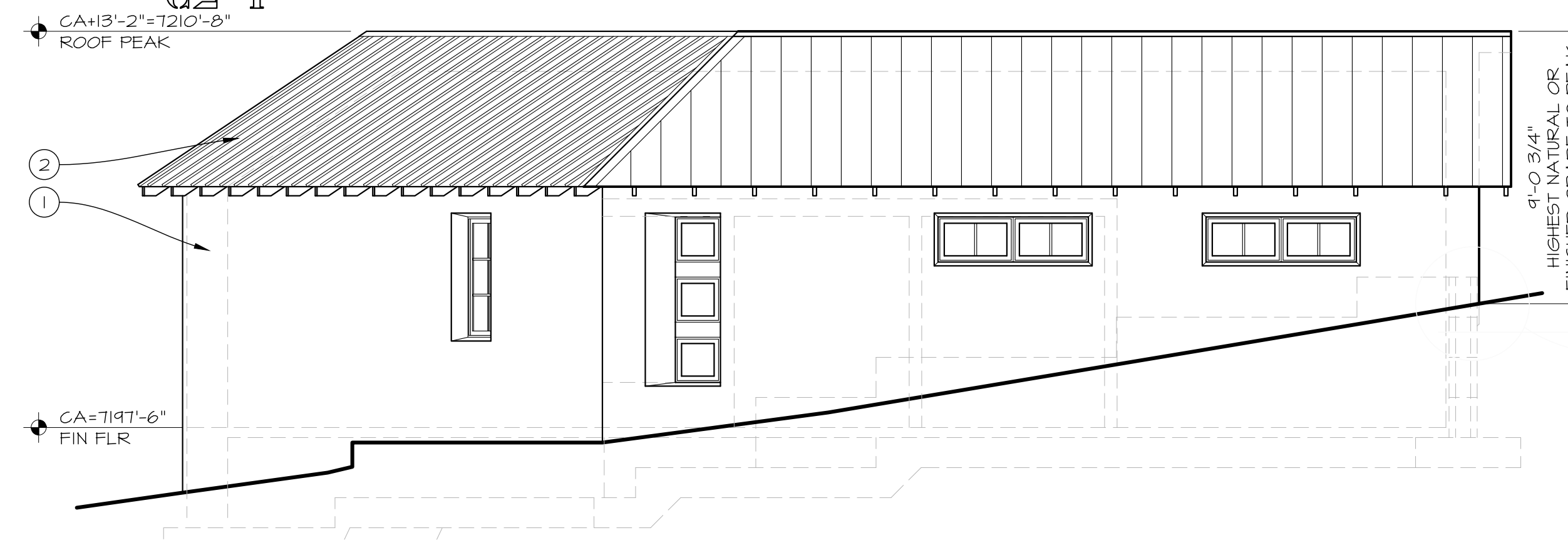


**EAST NORTHEAST
ADU ELEVATION**
SCALE: 1/4"=1'-0"



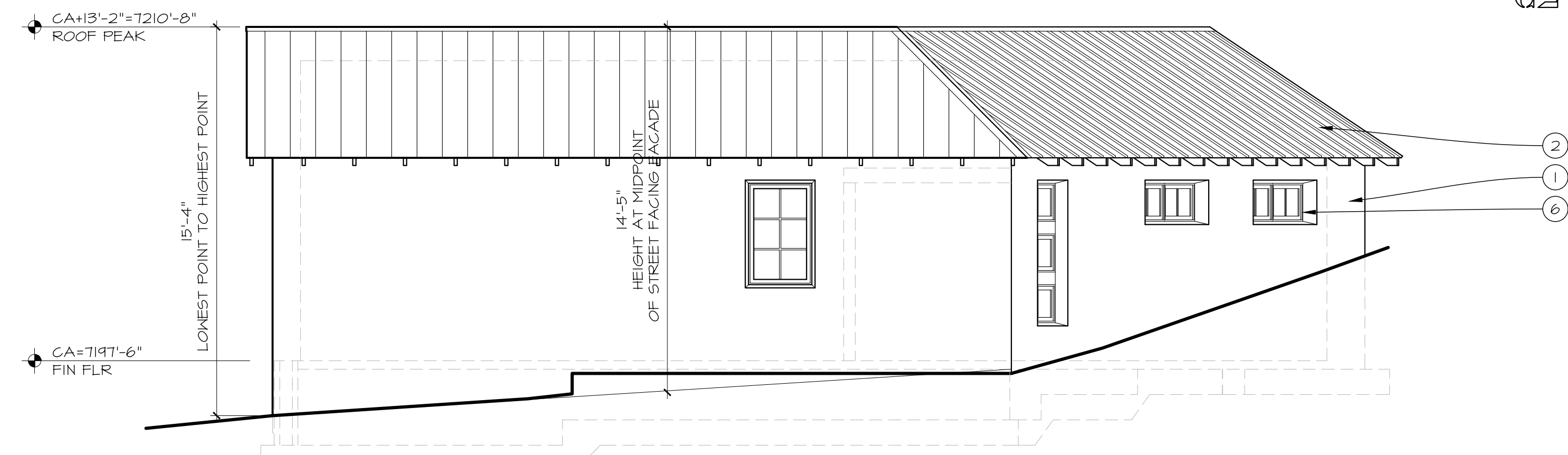
**SOUTH
ADU ELEVATION**
SCALE: 1/4"=1'-0"

5
C2-1



**WEST
ADU ELEVATION**
SCALE: 1/4"=1'-0"

2
C2-1



**NORTH (STREET FACING)
ADU ELEVATION**
SCALE: 1/4"=1'-0"

1
C2-1

PRAXIS
ARCHITECTS INC

**BROWNE
RESIDENCE**
1062 CAMINO
SAN ACACIO
JOB NUMBER: 112

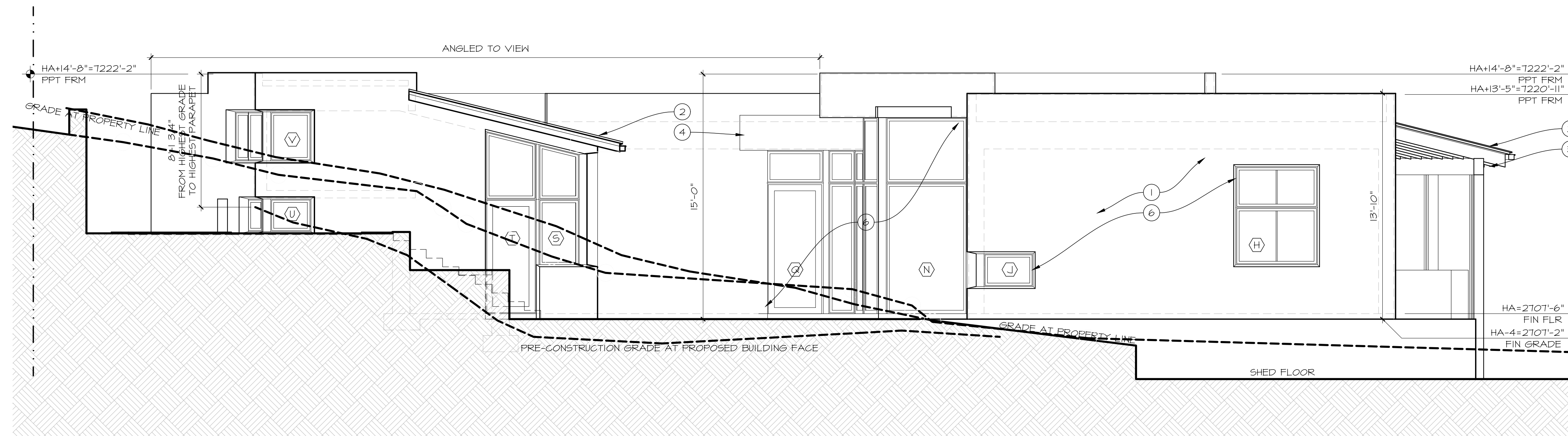
**ADU BUILDING
ELEVATIONS**

DRAWN BY: GB	FILE NAME: INS-C2-1
REVISION: DD-4	DATE: 5/15/2025

C2-1

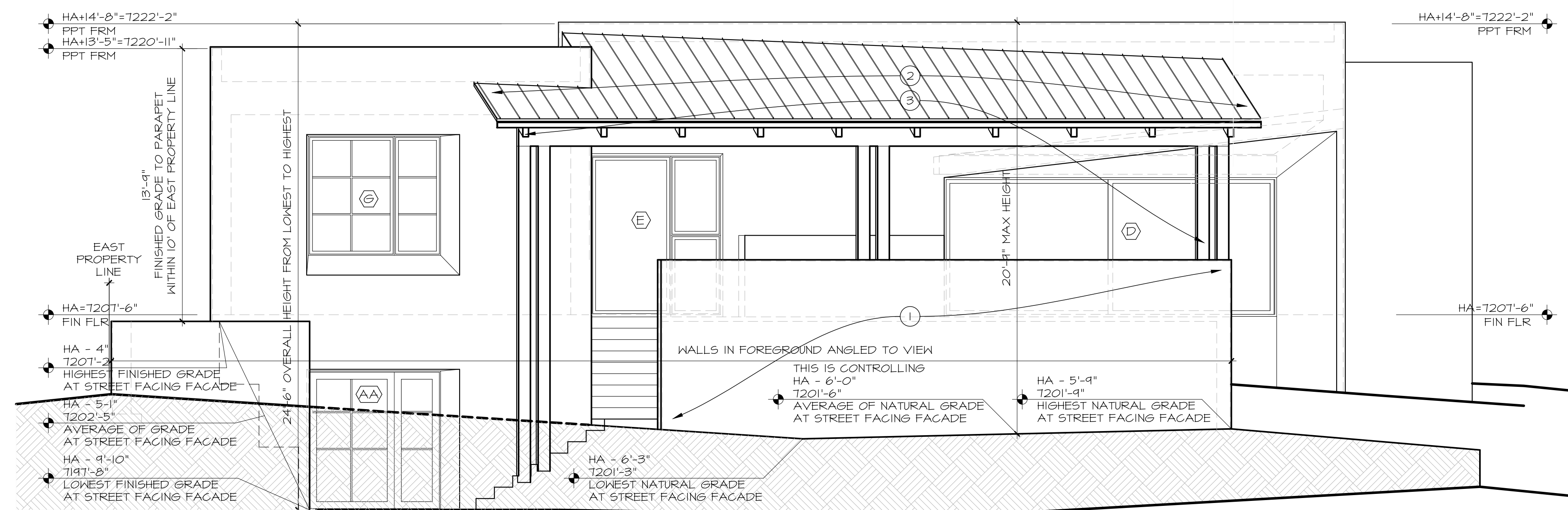
KEYED NOTES

1. STUCCO TYPICAL
2. EXPOSED ROOF SURFACE & FLASHINGS TO RUST
3. EXPOSED PORTAL FRAMING ELEMENTS STEEL TO RUST
4. ROOF OVERHANGS STEEL TO RUST
5. CANALES STEEL TO RUST
6. DARK BRONZE ANODIZED EXTERIOR WINDOW FINISH
7. FLUSH GARAGE DOOR IN DARK BRONZE



**EAST
BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"

2
H2-1



**NORTH (STREET FACING)
BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"

1
H2-1

PRAXIS
ARCHITECTS

BROWNE
RESIDENCE
1062 CAMINO
SAN ACACIO
JOB NUMBER: 112

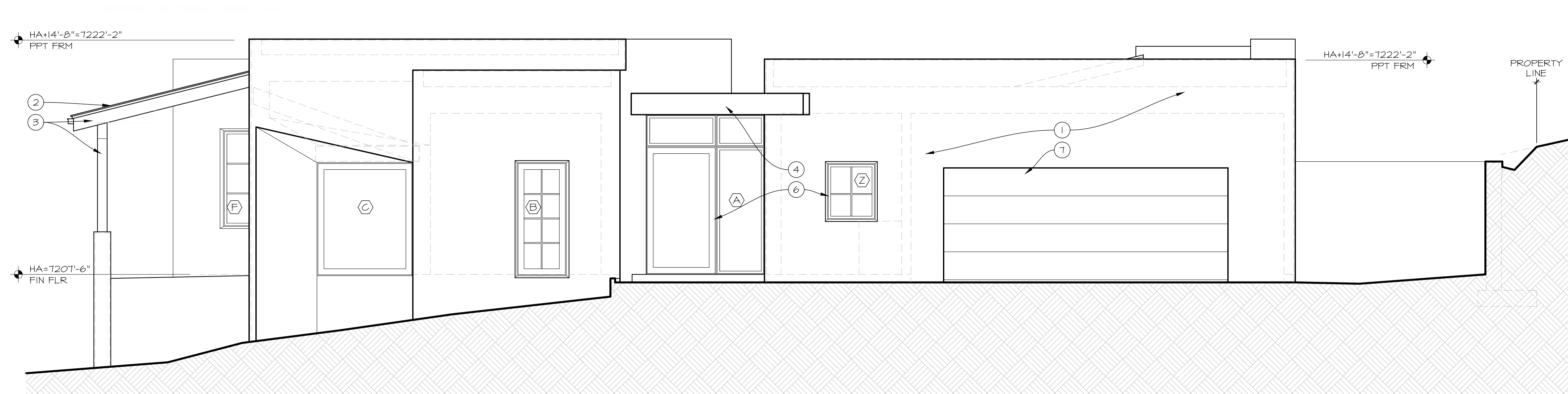
NORTH & EAST
HOUSE ELEVATIONS

DRAWN BY: GB	FILE NAME: INS-H2-1
REVISION: DD-4	DATE: 5/15/2025

H2-1

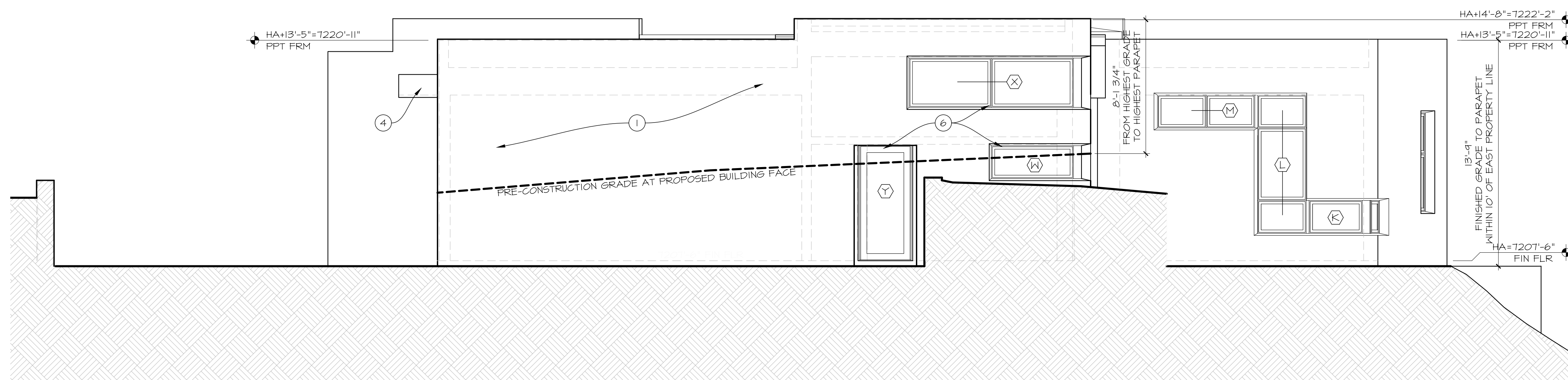
KEYED NOTES

1. STUCCO TYPICAL
2. EXPOSED ROOF SURFACE & FLASHINGS TO RUST
3. EXPOSED PORTAL FRAMING ELEMENTS STEEL TO RUST
4. ROOF OVERHANGS STEEL TO RUST
5. CANALES STEEL TO RUST
6. DARK BRONZE ANODIZED EXTERIOR WINDOW FINISH
7. FLUSH GARAGE DOOR IN DARK BRONZE



**WEST
BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"

1
H2-2



**SOUTH
BUILDING ELEVATION**
SCALE: 1/4" = 1'-0"

1
H2-2

PRAIXIS
ARCHITECTS

BROWNE
RESIDENCE
1062 CAMINO
SAN ACACIO
JOB NUMBER: 112

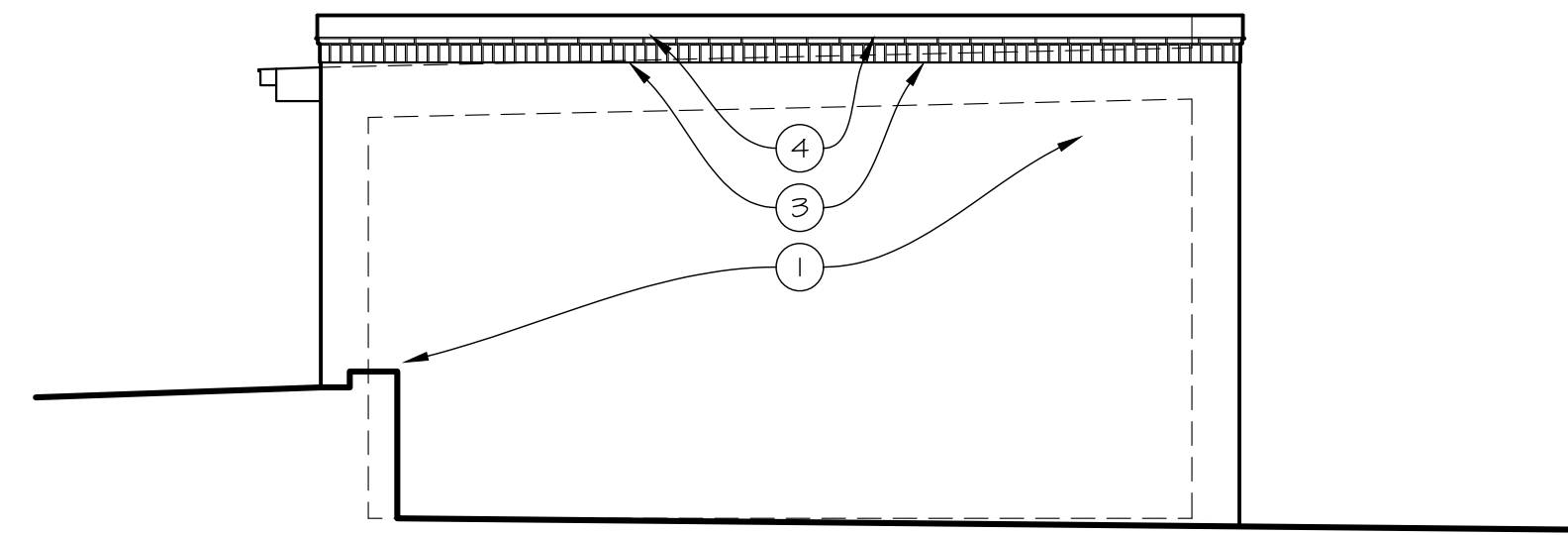
SOUTH & WEST
HOUSE ELEVATIONS

DRAWN BY: GB	FILE NAME: INS-H2-1
REVISION: DD-4	DATE: 5/15/2025

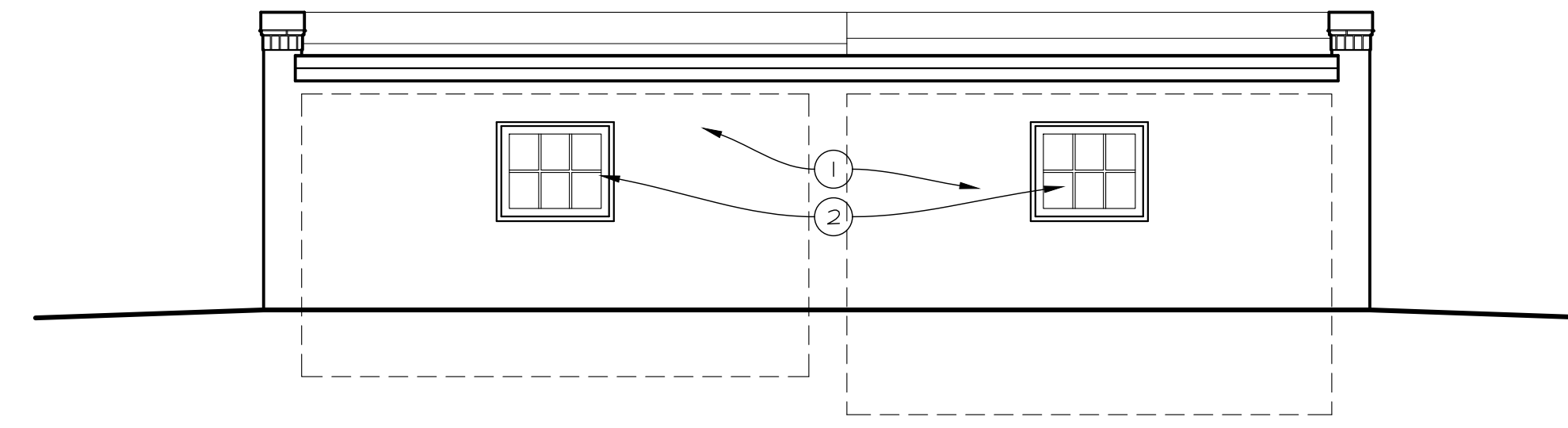
H2-2

KEYED NOTES

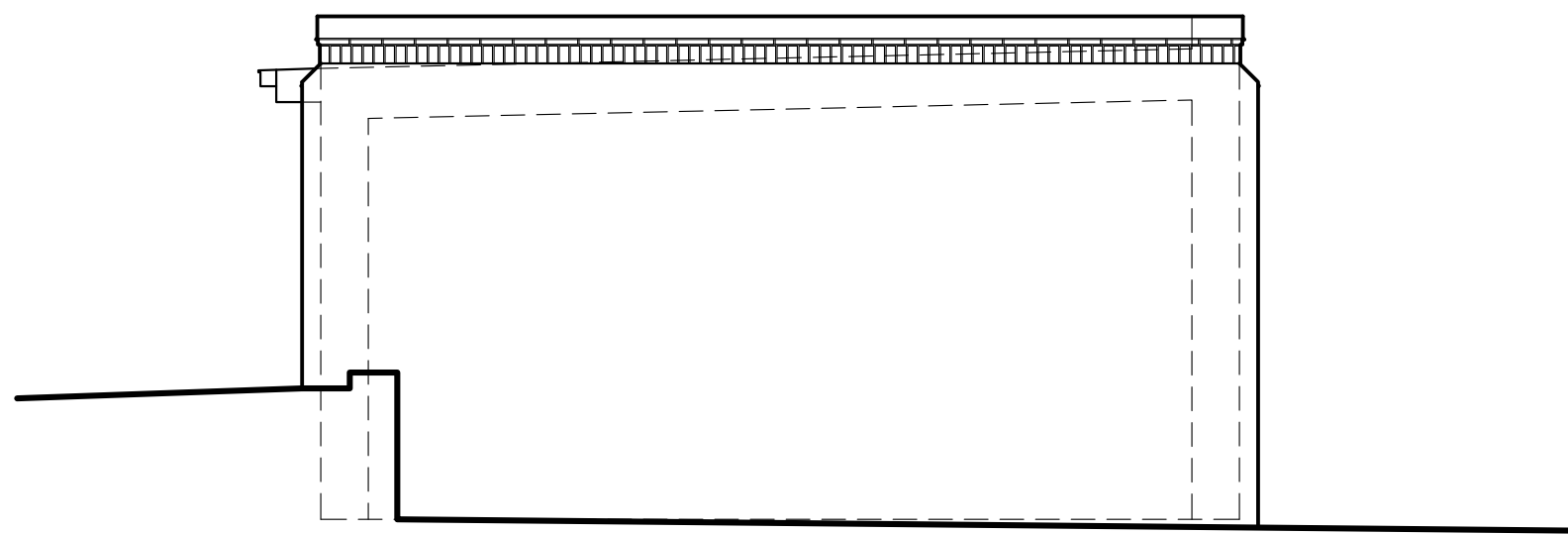
1. STUCCO COVERED ADOBE WALLS, STRIP STUCCO TO ADOBE, ADD 4" FOAM, RE-STUCCO TO MATCH THE HOUSE COLOR 3/4" ROUNDED CORNER DETAILS
2. BARN SASH FIXED WINDOWS - NOT HISTORIC, REPLACE WITH ALUMINUM GLAD WOOD WINDOWS IN DARK BRONZE TO MATCH THE HOUSE
3. BRICK COPINGS TO REMAIN, CUT FLASHING BELOW COPING TO PROTECT WALLS BELOW
4. EXISTING RUSTY STEEL CAP
5. HAND-MADE WHITE PAINTED PINE GARAGE DOORS TO BE REPAINTED IN THE SAME COLOR
6. EXISTING HALF-LITE 5 PANEL NON-HISTORIC ENTRY DOOR
7. NEW 10 LITE ALUMINUM GLAD WOOD DOOR



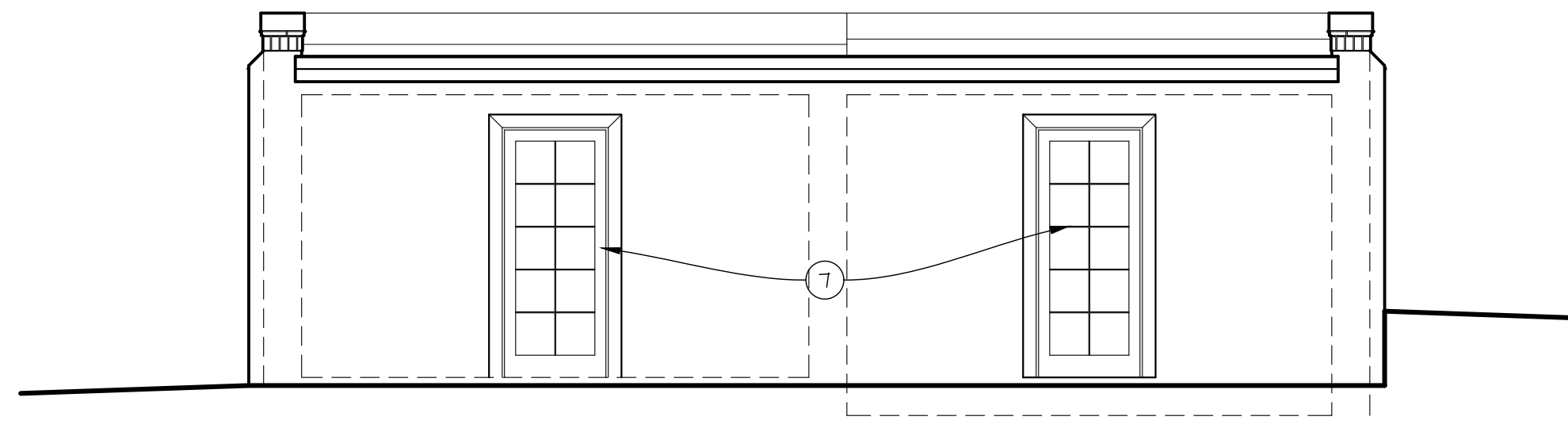
SHED EAST
EXISTING ELEVATION (NON PRIMARY FACADE) 8
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



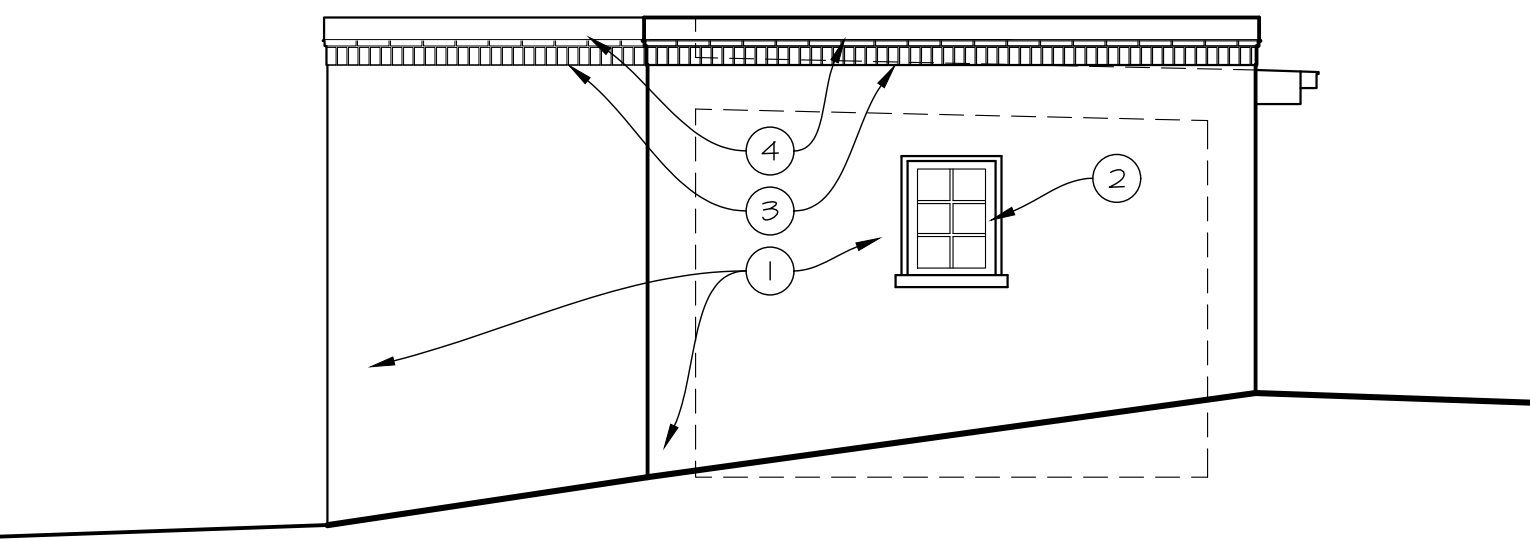
SHED SOUTH
EXISTING ELEVATION (NON PRIMARY FACADE) 7
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



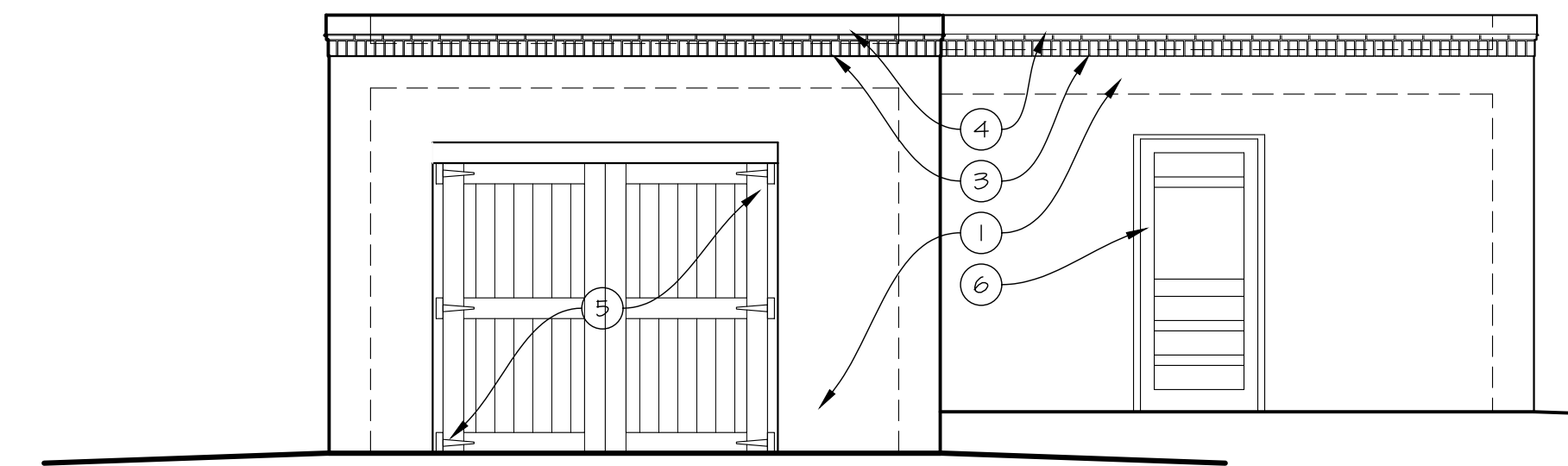
SHED EAST
PROPOSED ELEVATION (NON-PRIMARY FACADE) 6
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



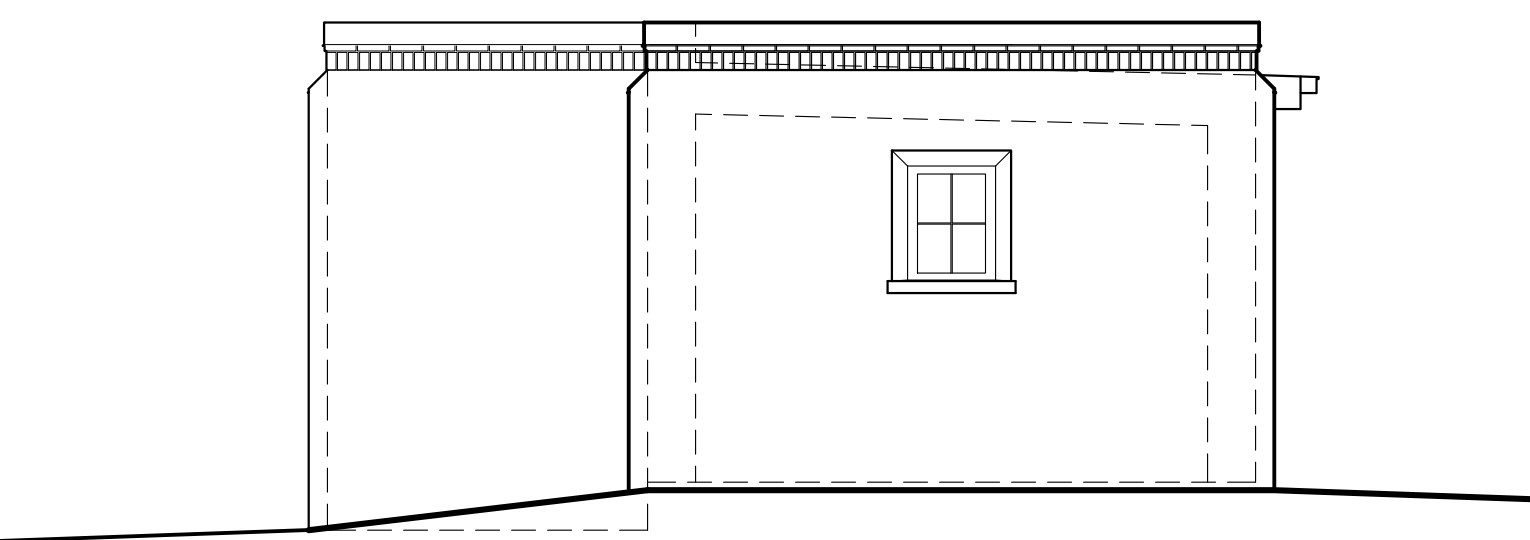
SHED SOUTH
PROPOSED ELEVATION (NON-PRIMARY FACADE) 5
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



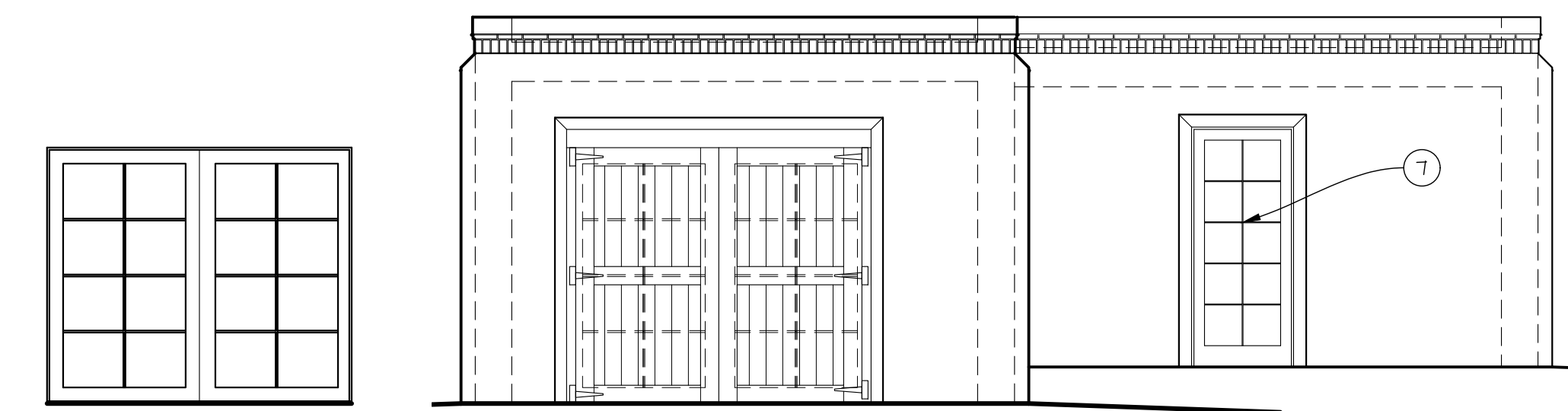
SHED WEST
EXISTING ELEVATION (NON-PRIMARY FACADES) 4
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



SHED NORTH
EXISTING ELEVATION (PRIMARY FACADES) 3
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



SHED WEST
PROPOSED ELEVATION (NON-PRIMARY FACADES) 2
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1



ELEVATION OF "HIDDEN" DOORS
SHED NORTH
PROPOSED ELEVATION (PRIMARY FACADES) 1
0' 1' 2' 4' 8' SCALE: 1/4" = 1'-0" S2-1

PRA^{INC} XIS
ARCHITECTS

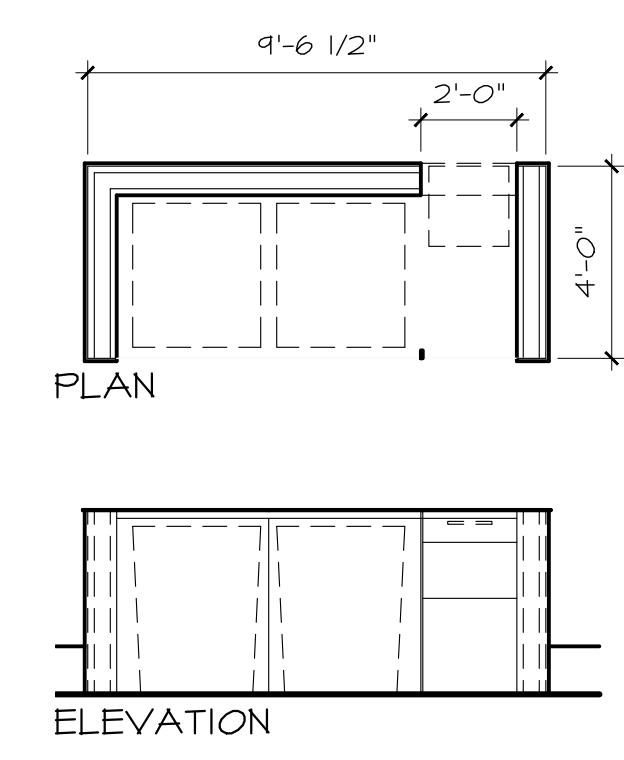
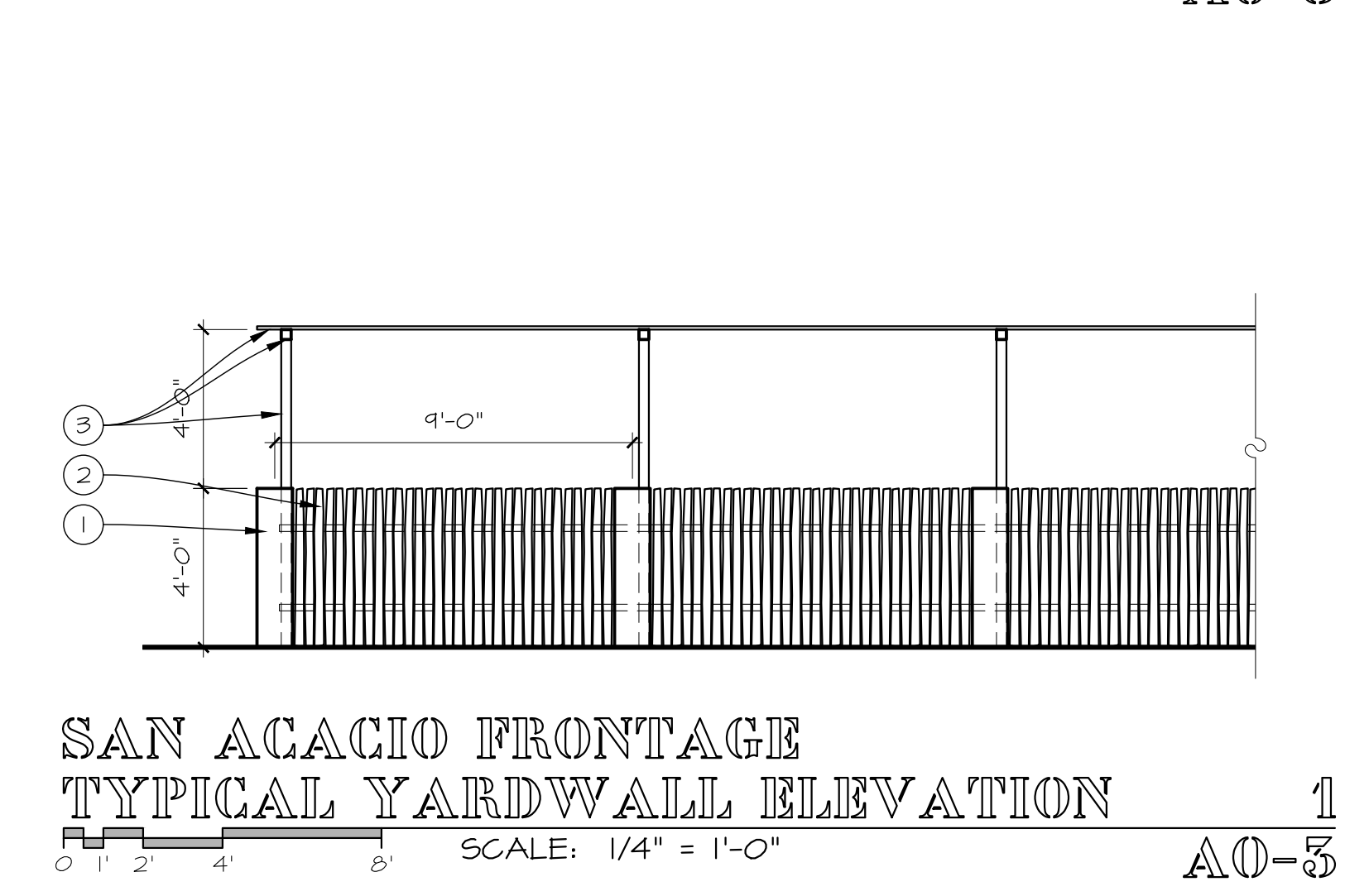
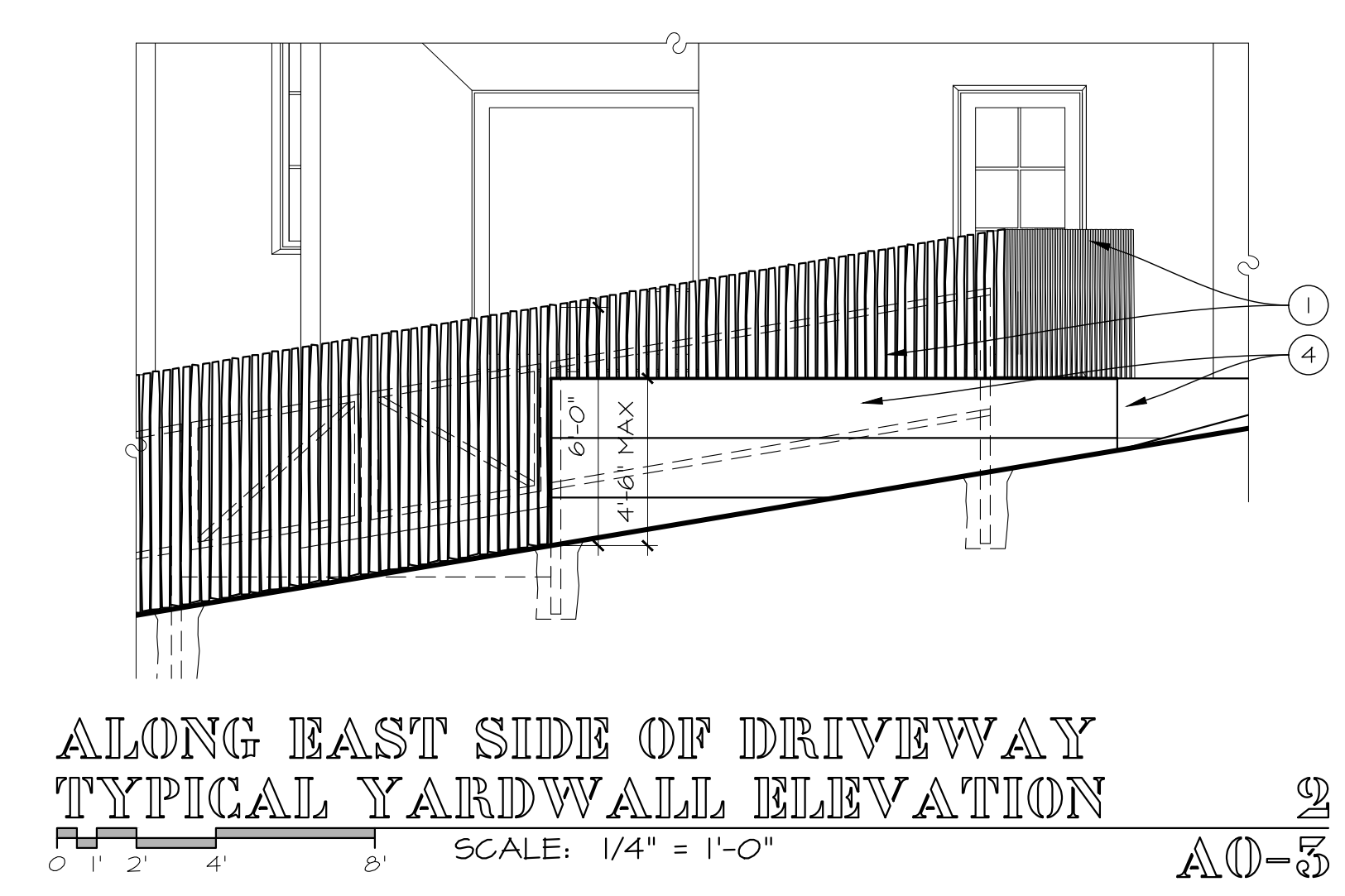
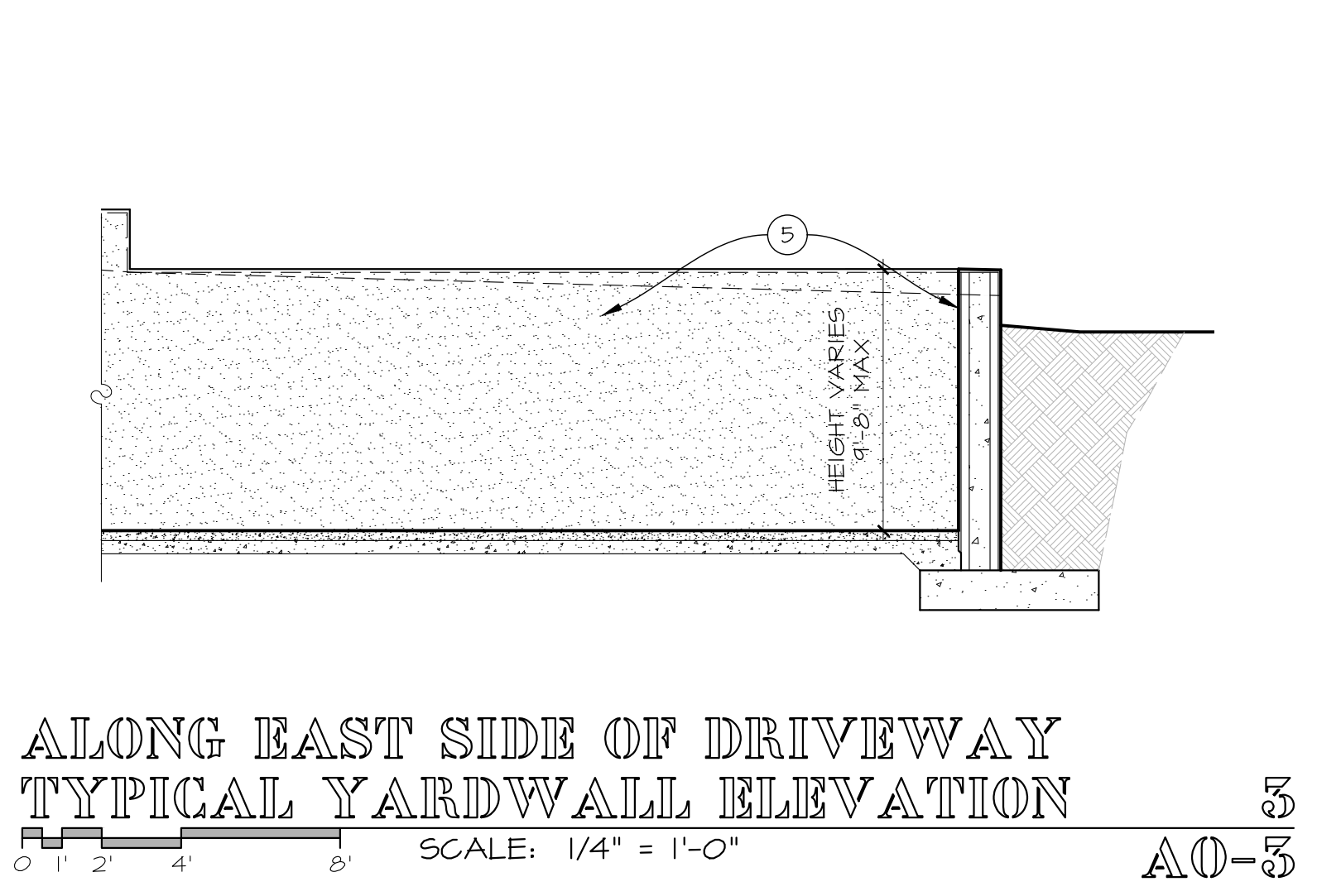
BROWNE
RESIDENCE
1062 CAMINO
SAN ACACIO
JOB NUMBER: 112

FRONT BUILDING
EXISTING & PROPOSED

DRAWN BY: GB	FILE NAME: INS-S2-1	S2-1
REVISION: DD-4	DATE: 5/15/2025	

KEYED NOTES

1. APPROX 12"x12" STUCCO COVERED PILASTER
2. CEDAR LATILLAS LASHED TO STEEL PIPE
3. 3" SQUARE TUBE STEEL T'S TO SUPPORT 1/2" LIGHT GAUGE TUBING TRELLIS MEMBERS
4. STEEL RETAINING GARDEN WALLS BUILT OF 14 GAUGE STEEL, THIS WILL RUST OVER TIME AND MATCH THE OTHER RUSTY ELEMENTS ON THE PROJECT
5. STUCCO COVERED INSULATED CONCRETE FORM RETAINING YARDWALL - STUCCO TO MATCH HOUSE COLOR



PRA^{AXIS} INC
ARCHITECTS

BROWNE
RESIDENCE
1062 CAMINO
SAN ACACIO
JOB NUMBER: 112

YARDWALL TYPICAL
ELEVATIONS

DRAWN BY: GB	FILE NAME: INS-AX-X
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REVISION: DD-4	DATE: 5/15/2025

A0-5

Stucco Styles, Material, and Color Guidance in the Historic Districts

Purpose and Intent:

These guidelines are offered to promote preservation of the stucco styles and colors within the historic districts designated by the City of Santa Fe. This guidance is consistent with the standards set forth in SFCC 14-5.2 H Districts.

In Santa Fe, stucco is noted on the revival style buildings built from the late 19th century to the present. In some cases, the stucco exterior of buildings in Santa Fe is intended to simulate adobe and in other cases the stucco exterior of buildings represents more textured styles which demonstrate more practical or stylized designs of a particular time. The use of stucco in each of the Santa Fe historic districts is noteworthy and is important to maintaining the feel and character of Santa Fe. As such, the guidance for stucco style is considered necessary to preserve on contributing, significant, and landmark structures.

Stucco Style:

The historic districts in Santa Fe demonstrate a variety of stucco styles. Styles include more simple smooth finished stuccos as well as stuccos with more pronounced surfaces and textures. Stucco styles are a moniker of particular time periods, demonstrating architectural style as well as materials of a particular time.

In Santa Fe the most common historic styles for stucco finishes that require preservation include (but are not limited to): adobe finish, sand finish, pebble-dashed surfaces, dry-dashed surfaces, fan texture, and sponge texture. The style of stucco on contributing, significant, and landmark structures must be identified and preserved as an architectural feature per 14-5.2(D)(5) of the H Districts code.



Fan Texture near Delgado St.



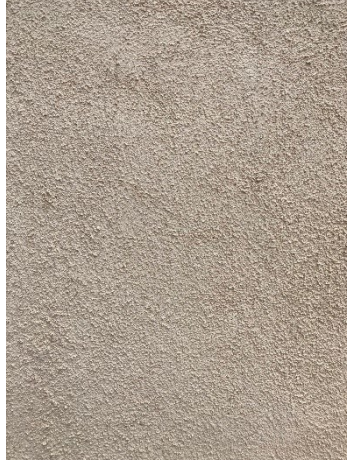
Fan/Palate Texture; Gomez Rd



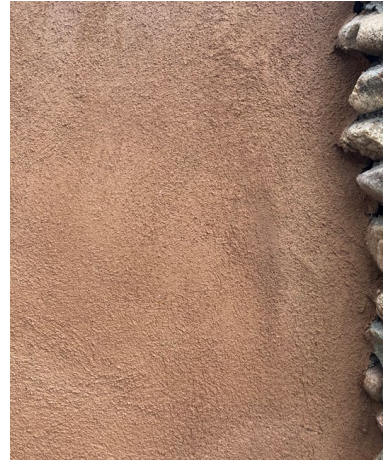
Heavy Sponge near Don Gaspar



Pebble-dashed Texture on Santa Fe Depot



Light Sand Texture on Greer Mansion



Light Sand Texture near Delgado St.



Smooth Finish Mud Plaster on El Zagan



Light Brushed Texture on on El Zagan



Smooth Finish on El Zagan

Material:

The use of the correct type of material on the exterior of historic buildings is essential to preventing damage and maintaining historic integrity.

Mud Plaster- Mud plaster is character defining and shall be preserved on contributing, significant, and landmark structures as is appropriate to maintaining the historic character of the building and the streetscape.

Cement Stucco- Cement stucco shall be used on contributing, significant, and landmark structures as is appropriate to maintaining the historic character of the building and the streetscape.

Synthetic Stucco- Synthetic stucco is permissible on non-contributing and new construction.

Paint- Paint is not permissible on cement stucco on contributing, significant, or landmark structures. Synthetic paint is permissible on non-contributing structures for the purposes of repair and maintenance or structures where paint is inherent to the historic nature of the building (e.g., buildings with wood siding).

Paint is generally not advisable on any building within the historic districts unless it is over elastomeric stucco that was previously approved.

Color:

Stucco color in the historic districts is also important to maintaining the look and feel of Santa Fe. Per SFCC 14-5.2 the color of stucco shall be predominately earth toned, meaning of the earth or soil, with lighter colors, such as white or yeso, being permissible underneath portals. Colors approved by the Historic Districts Review Board, which are listed below, are allowed in the historic districts, and can be approved administratively. These are color swatches for which to give a basis of reference. If pantone colors are used, this guidance may help provide a range to help guide color selections. Other stucco color requests required approval by the HDRB. If an applicant feels a proposed color, not included in this document, is right for a project it should be evaluated by the Board. Please review SFCC 14-5.2(E)- (I) for specific information on colors in each district.

The approved colors apply to both cement and synthetic stucco. El Rey® stucco colors are used to serve as a general guideline for acceptable colors. El Rey® brand is not required to be used. Other vendors are acceptable to use. A color chart can be provided upon request.

Exterior Stucco Colors Allowed	Colors Allowed Under Portals	Colors Requiring HDRB Approval
THESE COLORS CAN BE ADMINISTRATIVELY APPROVED	THESE COLORS CAN BE ADMINISTRATIVELY APPROVED	
Madera	Cameo	Cameo
Hacienda	Candlelight	Candlelight
Fawn	Cream	Cream
Palomino	Ivory	Ivory
Sandalwood	Soapstone	Soapstone
Straw	Navajo White	Navajo White
Buckskin		Denim
Kokanee		Ash
Sand		Soft Rose
Sahara		Desert Rose*
Adobe		Pueblo
Suede		Coral
Bamboo		Cottonwood*
La Luz		Dove Gray*

**Desert Rose, Dove Gray and Cottonwood are not considered to be in harmony with the streetscape in the Downtown and Eastside Historic District.*

Stucco Approval:

Administrative Approval for Stucco- The City HPD provides administrative approvals and prepares cases for the HDRB for Board approval at a public hearing. The administrative approval is provided when maintenance and repair issues, and for color changes to existing stuccos when a permit is required. Administrative approval is also provided for stucco color change on existing HDRB approved cases.

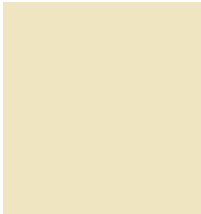
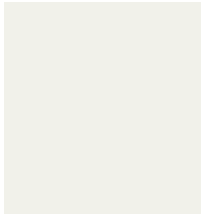

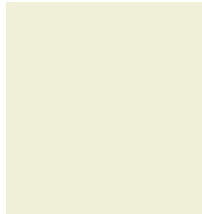
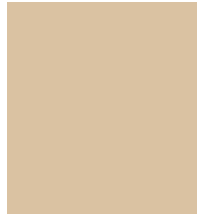
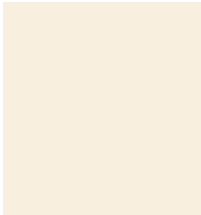
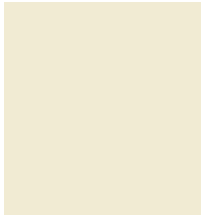
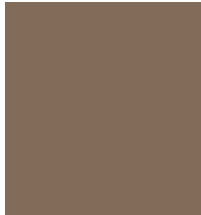
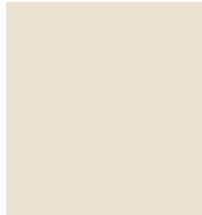
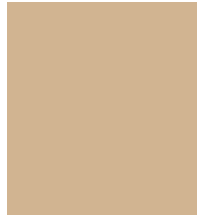
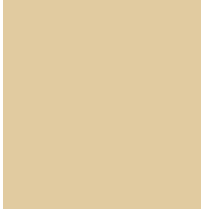
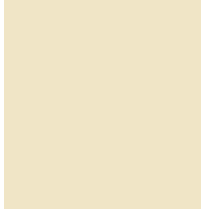
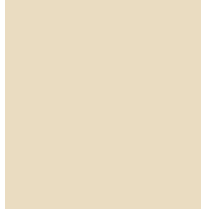
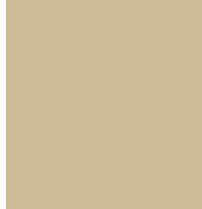
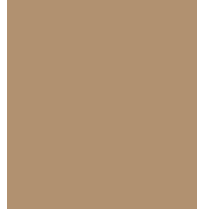
HDRB Approval of Stucco- HDRB approval of stucco is required as part of an application for remodel or new construction, or in the cases where a non-approved stucco color is requested.

No Approval Required- No administrative or HDBR approval is required for basic maintenance and cleaning of stucco where a permit is not required, and the color of the stucco will not change.

El Rey Stucco Chart:

Source of color chart- <https://elrey.com/color-charts-premium.shtml>

Premium Stucco Finish Colors

				
Cameo 102 (67)	Colonial White 100 (76)	Madera 212 (24)	Candlelight 90 (75)	Hacienda 127 (52)
				
Cream 128 (70)	Ivory 129 (70)	La Morena 197 (19)	Soapstone 30 (66)	Fawn 117 (45)
				

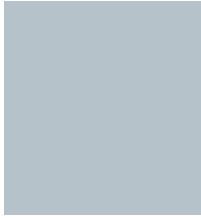
Palomino
119 (55)



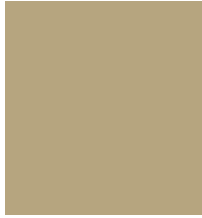
Navajo White
101 (71)



Sandalwood
121 (56)



Straw
122 (42)



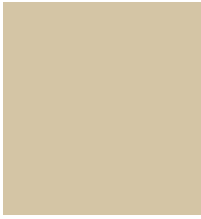
Buckskin
106 (35)



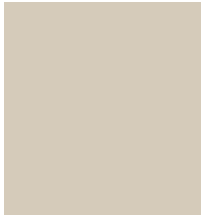
Kokanee
108 (54)



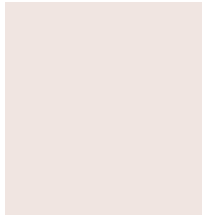
Sand
103 (52)



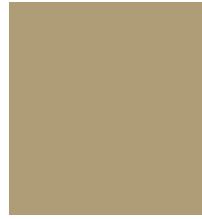
Denim
107 (44)



Sahara
135 (35)



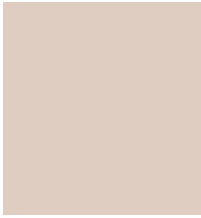
Adobe
116 (24)



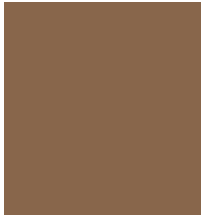
Suede
118 (38)



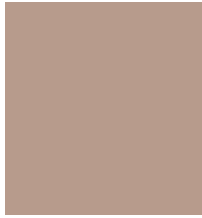
Bamboo
105 (47)



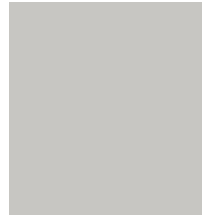
Ash
110 (64)



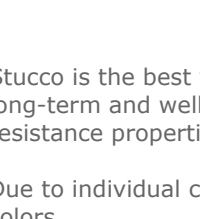
Soft Rose
80 (60)



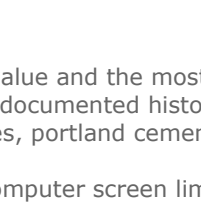
Cottonwood
115 (32)



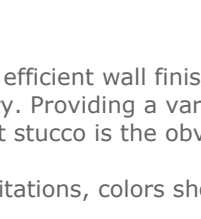
Desert Rose
114 (39)



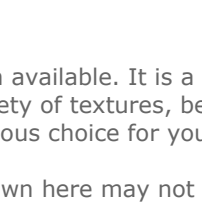
Pueblo
130 (53)



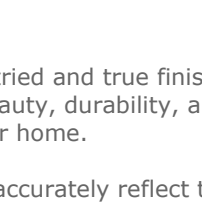
La Luz
125 (20)



Coral
124 (35)



Dove Gray
113 (50)



Stucco is the best value and the most efficient wall finish available. It is a tried and true finish with a proven long-term and well documented history. Providing a variety of textures, beauty, durability, and fire-resistance properties, portland cement stucco is the obvious choice for your home.

Due to individual computer screen limitations, colors shown here may not accurately reflect the Parex USA colors.

The colors shown are intended to show the approximate color of the finish. Color will vary depending on the type selected. Application by machine spray or texturing will increase the depth of the color. Variation in color due to weather, job conditions, and method of application should be expected. For color verification, request actual sample in the color and texture prior to ordering material. Apply a sample of finish to be used on actual substrate before proceeding with the application. ParexUSA is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.