



**Agenda Regular Meeting of the Planning
Commission
April 16, 2026 at 6:00 PM
Council Chambers, City Hall
200 Lincoln Avenue**

Procedures for Planning Commission Meeting
AMENDED

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/user/cityofsantafe> . The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Live Public Comment: Members of the public may provide public comment in person during the public comment portion of the public hearing.

Virtual Public Comment: Members of the public may provide public comment virtually during the public comment portion of the public hearing by joining the Zoom meeting by internet or phone using the following link: <https://santafenm-gov.zoom.us/j/85309915775>

By phone:+1 253 215 8782 US (Tacoma) +1 346 248 7799 US (Houston) +1 669 444 9171 US +1 669 900 6833 US (San Jose) +1 719 359 4580 US +1 253 205 0468 US +1 360 209 5623 US +1 386 347 5053 US +1 507 473 4847 US +1 564 217 2000 US +1 646 931 3860 US +1 689 278 1000 US +1 929 205 6099 US (New York) +1 301 715 8592 US (Washington DC) +1 305 224 1968 US +1 309 205 3325 US +1 312 626 6799 US (Chicago)

Webinar ID: 853 0991 5775

Written Comment: Members of the public may submit public comments by 5 p.m. on the Monday before the meeting via: <https://santafenm.gov/land-use/current-planning/public-comment>.

Comments will then be published after this deadline. The agenda and packet for the meeting will be posted at <https://santafenm.portal.civicclerk.com/>

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Agenda
5. Approval of Consent Agenda

6. Approval of Minutes
 - a. March 5, 2026
7. Approval of Findings/Conclusions
 - a. **Case #2025-11386.** 214 Camino de los Marquez.(**POSTPONED FROM MARCH 5, 2026**)
 - b. **Case #2025-11270.** 875 Camino Don Emilio Family Transfer Subdivision.
 - c. **Case #2026-11784.** 315 Sena St Certificate of Compliance.
8. Consent
 - a. **Case #2026-012157. 507 and 511 Paseo de Peralta Development Plan Time Extension.** Marisol Ortiz, Agent, Peralta's Walk, LLC, Applicant (Owner), Request Development Plan approval to construct a 9-dwelling unit multi-family development on two lots totaling 10,441 sq.ft. on 0.56 acres. The 507 Paseo de Peralta property (4,235 sq.ft. on 0.18 acres) is zoned BCD (Business Capitol District) in the Marcy subdistrict. The 511 Paseo de Peralta property (6,212 sq.ft. on 0.37 acres) is zoned R-21 (Residential 21 dwelling units per acres). Both properties are in the Downtown and Eastside Historic District and the Historic Downtown Archaeological District. Case Planner, Claudia Kath (cmkath@santafenm.gov)
9. Staff Communications
 - a. Presentation on water development by Alan Hook, City Water Resources Coordinator
 - b. Santa Fe County Sustainable Growth Management Plan Revisions. Presentation on the County's public participation process for revising the general plan. Herbert Foster, Planning Team Leader; (mfoster@santafecountynm.gov).
10. Old Business
11. New Business
 - a. **Case #2025-10766. 2780 South Meadows Rd, General Plan Amendment.** Sommer, Karnes & Associates LLP, Agent for Montoya y Garcia LLC, Applicant request the Planning Commission recommend approval to Governing Body for a general plan amendment to change the Future Land Use Map designation affecting portions of land on three contiguous parcels totaling +/- 0.70 acres of land from "Very Low Density" to "Low Density". The parcels are located within the River & Trails Archeological Review District and Southwest Santa Fe Community Area Master Plan. Case Planner, Joel Cruz-

Haber (jacruzhaber@santafenm.gov)

- b. **Case #2025-10767. 2780 South Meadows Rd, Rezoning.** Sommer, Karnes & Associates LLP, Agent for Montoya y Garcia LLC, Applicant request the Planning Commission recommend approval for a Rezone request from R-3 (Three Dwelling-Units Per Acre) to R-6 (Six Dwelling-Units Per Acre) affecting three contiguous parcels totaling +/- 7 acres of land. The parcels are located within the River & Trails Archeological Review District and Southwest Santa Fe Community Area Master Plan Case Planner, Joel Cruz-Haber (jacruzhaber@santafenm.gov)

12. Matters from the Commission

13. Adjourn

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.



City of Santa Fe

MINUTES

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March 5, 2026, AT 6:00 PM

Chair Clow called the meeting to order at 6:00 PM

A. ROLL CALL

Commissioners Present:

- Chair Janet Clow
- Vice Chair Peter Smith
- Commissioner Thomas (TJ) Rieland
- Commissioner Piper Kapin
- Commissioner Sasha McGhee
- Commissioner Gurushabad Mirando
- Commissioner Kelly McReynolds
- Commissioner Scott Barber

B. PLEDGE OF ALLEGIANCE

Commissioner Barber led the Pledge of Allegiance.

C. APPROVAL OF AGENDA

MOTION: Commissioner McReynolds moved, seconded by Commissioner McGhee, to approve the agenda with a change in ownership under Case #2026-11784 and removal of the water development presentation under Staff Communications.

VOTE: The motion was approved on the following roll call vote:

For:

- Vice Chair Peter Smith
- Commissioner Sasha McGhee
- Commissioner Gurushabad Mirando
- Commissioner TJ Rieland
- Commissioner Piper Kapin
- Commissioner Kelly McReynolds
- Commissioner Scott Barber

Against: None

Abstain: None



MINUTES

D. APPROVAL OF MINUTES

1. December 18, 2025

Chair Clow withdrew her previous amendment to the December 18, 2025, minutes.

MOTION: Vice Chair Smith moved, seconded by Commissioner McGhee, to approve the minutes from the Planning Commission meeting held on December 18, 2025.

VOTE: The motion was approved on the following roll call vote:

For:
Vice Chair Peter Smith
Commissioner Sasha McGhee
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Kelly McReynolds
Commissioner Scott Barber

Against: None

Abstain: None

2. February 5, 2026

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to approve the minutes from the Planning Commission meeting held on February 5, 2026.

VOTE: The motion was approved on the following roll call vote:

For:
Vice Chair Peter Smith
Commissioner Sasha McGhee
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Kelly McReynolds
Commissioner Scott Barber



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Against: None

Abstain: None

E. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case # 2025-11386. 214 Camino de los Marquez.

The case was postponed to April 2, 2026.

2. Case # 2025-11380. 1000, 1101, and 1103 Cerrillos Road Development Plan.

MOTION: Commissioner McGhee moved, seconded by Commissioner Kapin, to approve findings for Case #2025-11380 without changes or corrections.

VOTE: The motion was approved on the following roll call vote:

For:
Vice Chair Peter Smith
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Kelly McReynolds
Commissioner Scott Barber

Against: None

Abstain: None



MINUTES

F. NEW BUSINESS

1. **Case #2025-11270. 875 Camino Don Emilio Family Transfer Subdivision.** NM Land Solutions, “Agent” for Nancy Hoffman, Owner and Applicant (“Applicant”), requests approval of a Family Transfer Subdivision to subdivide 4.59 acres into three (3) lots (Lot 1 = 2.087 acres and Lots 2 and 3 = 1.25 acres each). The property is zoned R-1 (Residential, one (1) dwelling unit per acre) and located within the Suburban Archaeological Review District. (Alexa Hempel Case Manager, anhempel@santafenm.gov).

Ms. Hempel presented the case and the staff recommendation. Staff recommended that the Planning Commission approve Case #2025-11270 subject to the conditions of approval and technical corrections outlined in Attachment A of the staff report.

Victoria Dalton, the agent, was sworn in. She noted that Nancy Hoffman has owned the property since 2019 and would like her children to live next to her. The applicant has agreed to the conditions of approval and to contribute to road maintenance.

Commissioner Rieland noted that the road system guidelines cap the area at 30 potential dwellings and inquired whether separating the lots would inhibit other owners in the area from developing their land. Ms. Dalton responded that it would not.

Commissioner Kapin inquired whether the applicant and her two children would all be contributing as property owners. Ms. Dalton responded that Jordan Hoffman, who intends to build the first home, will handle the contributions on behalf of his mother and sibling. She read an email from Mr. Hoffman stating his agreement to pay the first \$1,000 contribution when construction begins on the first house, to pay the second contribution when construction begins on the second house, and to pay the cover fee for his mother’s property. He will continue to make payments according to the schedule set by the road association. He will coordinate with the nearby homeowners association, which the owners will not belong to but will contribute to.

Commissioner Barber inquired regarding the potential flooding path that might result from the disruption of the arroyos. Ms. Dalton responded that the arroyos will not be disrupted, and culverts will be placed in any dry arroyos. A grading and drainage plan has been reviewed by the city engineer. One of the conditions states that additional retention ponds may be required during construction if flooding occurs.

Commissioner Miranda requested clarification that the retaining walls and culvert will be necessary, and engineering drawings will need to be submitted for the permit. Ms. Dalton responded that this was correct.



MINUTES

MOTION: Commissioner Kapin moved, seconded by Vice Chair Smith, to approve Case #2025-11270, subject to the conditions of approval and technical corrections outlined in Attachment A of the staff report.

VOTE: The motion was approved on the following roll call vote:

For: Vice Chair Peter Smith
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Gurushabad Mirando
Commissioner Sasha McGhee
Commissioner Kelly McReynolds
Commissioner Scott Barber

Against: None

Abstain: None

2. **Case #2026-11784, 315 Sena Street Certificate of Compliance.** Charles Henry of Friedman Walcott Henry & Winston, LLC, Agent for 315 Sena Street LLC, requests approval of a Certificate of Compliance per SFCC §14-2.1.E.XI.b., for a lot that is noncompliant with City Subdivision Review requirements at 315 Sena Street. The property is zoned R-21 (21 residential units per acre) and consists of a 4,006 square-foot lot with one dwelling unit and accessory dwelling unit (ADU), within the Don Gaspar Area Historic District. (Alexa Hempel, Case Manager, anhempel@santafenm.gov).

Ms. Hempel presented the case and the staff recommendation. An amended certificate of compliance letter with the new ownership can be found in Attachment D of the staff report. Staff recommended that the Planning Commission approve Case #2026-11784 to create a legal lot of record.

Charles Henry, the agent, 150 Washington Avenue, Santa Fe, was sworn in.

MOTION: Commissioner Barber moved, seconded by Commissioner McGhee, to approve Case #2026-11784.

VOTE: The motion was approved on the following roll call vote:



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For: Vice Chair Peter Smith
Commissioner TJ Rieland
Commissioner Piper Kapin
Commissioner Sasha McGhee
Commissioner Gurushabad Mirando
Commissioner Kelly McReynolds
Commissioner Scott Barber

Against: None

Abstain: None

G. STAFF COMMUNICATIONS

Dan Esquibel noted that he had a plat and development plan requiring a signature.

H. MATTERS FROM THE COMMISSION

Chair Clow reported that two committees were being formed: one to address the general plan, and one to address the land development code. The Long-Range Planning Committee to address the general plan will include Commissioner McGhee, Vice Chair Smith, Commissioner Kapin, and Commissioner Barber. The committee addressing Phase 2 of the land development code will include Chair Clow, Commissioner Mirando, Commissioner Rieland, and Commissioner McReynolds.

Heather Lamboy clarified that the general plan is currently being written and is expected to be adopted in late spring or early summer of 2026. The Long-Range Planning Committee will also create an implementation plan, which will involve decisions such as where the city should make investments, updating the parks plan, and other priorities associated with capital improvements.

Commissioner McGhee inquired whether the Committee should be attending meetings. Ms. Lamboy responded that staff is meeting with various departments and working with County staff to gather feedback. This feedback will inform presentations that will be made to the Technical Working Group, followed by public engagement in the summer of 2026 regarding scenario frameworks and priorities. Staff will provide a timeline soon. Staff will also share the presentation they made to the Technical Working Group with the Board of County Commissioners.



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Vice Chair Smith requested clarification on whether the Long-Range Planning Committee would be involved in the deliberative process. Ms. Lamboy responded that it would. Staff is still refining the schedule. Phase 2 of the land development code is expected to begin in April of 2026, beginning with an assessment report. The Commission will need to identify priorities. Staff have identified some urgent matters, such as massage parlor legislation, the street design guide and manual proposed by Public Works, and correction of Scrivener's errors.

Commissioner McGhee inquired whether the Long-Range Planning Committee was invited to meetings with stakeholders regarding the general plan. Ms. Lamboy responded that Committee members are welcome to attend as community members, but if four or more Commissioners attend, they should not discuss the issues at hand amongst themselves.

Commissioner Kapin inquired whether Committee members could attend on behalf of their committee rather than as community members. Ms. Lamboy responded that this is possible as long as there is not a quorum. Staff can provide Commissioners with the schedule.

Chair Clow noted that the two committees need not select chairs and should rather be led by staff. Staff will also provide the format and draft the agendas.

Vice Chair Smith noted that the presentation on water development had been postponed, and Commissioners were not being updated on city matters outside the code and plan. He acknowledged staff's busy schedule and inquired regarding what Commissioners could expect on these issues. Ms. Lamboy responded that the water development presentation was intended to represent such an update. There was a suggestion that discussions take place regarding conditions; this will require collaboration with the City Attorney's office. Commissioners should notify staff, through the Chair, regarding issues that should be investigated or experts who should be invited to present.

Commissioner McGhee cited previous requests regarding an overview from the Parks Department. Ms. Lamboy responded that this would be scheduled, adding that Santa Fe has more parks than Albuquerque, and it is difficult to maintain them all. The general plan update may offer an opportunity to reconsider the uses of parks. A transit discussion would also be beneficial.

Chair Clow requested a presentation, possibly by the legal team, on what to do when staff



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recommends a project because it meets the criteria and conforms with code, but the Commission believes it does not fit the surrounding area or presents a health or safety issue. She noted that some code statements are vague and that it would be helpful to know case law regarding the factual requirements that the Commission would need to add to the findings in case of a disagreement. Ms. Lamboy expressed agreement, noting that these are ways the code can be improved.

I. ADJOURNMENT 7:09 P.M.

Liaison

Chair

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case # 2025-11386

214 Camino de los Marquez Development Plan

Owner's/Applicant's Name – Santa Fe Opera

Agent's Name - Jenkins/Gavin

THIS MATTER came before the Planning Commission (Commission) for public hearing on February 5, 2026 (Hearing) upon the development plan application (Application) of Jenkins/Gavin Planning as Agent for Santa Fe Opera (Applicant).

The Application pertains to the property located at 214 Camino de los Marquez Road totaling approximately 2.50 +/- acres (Property). The Applicant requests approval of a development plan for three new apartment building with 83 dwelling units totaling 90,488-square-foot (Project). The property is zoned R-29 (Residential 29 dwelling units/acre) and is within the Suburban and River and Trails Archaeological Review Districts. The redevelopment project involves the demolition of the current 50-unit Axton Apartments, which consists of five existing buildings and a carport structure.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

General

1. The Applicant requested approval of a development plan for three new buildings totaling 90,488 square feet.
2. At the hearing, the Commission received reports from the City's Land Use Staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public.
3. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation: (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 §14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
4. The Applicant attended a pre-application conference on August 28, 2025, with City Land Use Department Staff (City Staff).
5. The Applicant conducted an ENN meeting for this project. The Applicant gave notice of the ENN meetings to neighbors and neighborhood associations within 300 feet of the subject property and posted posters on the subject property.
6. The Applicant held the virtual ENN meeting on September 29, 2025. The ENN meeting was attended by members of the Applicant team, City Staff, and approximately 23 members of the public.
7. City staff reviewed the Application, as well as the related materials and information submitted by the Applicant for conformity with applicable SFCC requirements. Staff also provided the

Planning Commission with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

8. Staff recommended that the Commission approve the development plan, subject to certain conditions (the Conditions) and the technical corrections set forth in the Staff Report and Attachments.
9. Pursuant to SFCC 1987 Section 14-2.3(C)(1), the Commission has the authority to review and approve development plans.

Development Plan

1. Under SFCC 1987 Section 14-3.8(B)(3)(a), a new development with a gross floor area of thirty thousand (30,000) square feet or more requires approval of a development plan.
2. SFCC 1987 Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC 1987 Section 14-3.8(D).
3. SFCC 1987 Section 14-3.8(C)(1) requires the Applicant to submit plans and other documentation that demonstrates conformance with applicable provisions of the SFCC (Submittal Requirements).
4. SFCC 1987 Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before approving a development plan.
5. Pursuant to SFCC 1987 Section 14-3.8(D)(2), the Commission “may specify conditions of approval that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.”
6. The Commission finds that the Conditions and technical corrections set forth in the Staff Report and attachments are necessary to accomplish the proper development of the area and to implement the policies of the general plan.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

General

1. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.

Development Plan

1. Pursuant to SFCC 1987 Section 14-2.3(C)(1) and Section 14-3.8(B)(4), the Commission has authority to review and approve this final development plan.
2. Pursuant to SFCC 1987 Section 14-3.1, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.
3. Pursuant to SFCC 1987 Section 14-3.8(C)(1), the Applicant met the applicable Submittal Requirements.

4. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(a), the Commission finds that it has the authority to review the Development Plan under SFCC 1987 Sections 14-2.3(C)(1), 14-3.8(B)(4), and Table 14-2.1-1.
5. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(b), the Commission finds that the Development Plan will not adversely affect the public interest. The Governing Body has implemented the General Plan and ordinances to establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest. This project serves the public interest through the provision of much-needed apprentice housing for the Santa Fe Opera.
6. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(c), the Commission finds that the Santa Fe Opera’s apprentice apartments use, and any associated buildings, are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the premises under consideration.
7. The Commission approves the Development Plan subject to the conditions and technical corrections recommended by Staff because all applicable code requirements and criteria for preliminary development plan approval have been met.

WHEREFORE, IT IS ORDERED ON THE 7th DAY OF MAY, 2026, BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the development plan for the Property, as requested in the Application for Case # 2025-11386, subject to the Conditions and the technical corrections attached herewith. The development plan shall expire three years after issuance of this final action unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC 1987 Section 14-3.19(B)(6). If the development plan approval expires, approval of any corresponding preliminary development plan expires simultaneously pursuant to SFCC 1987 Section 14-3.19(B)(4).

Janet Clow, Chair

Date

FILED:

Geraldyn F. Cardenas
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid

Date

Case # 2025-11386

214 Camino de los Marquez Development Plan

Assistant City Attorney

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2025-11270

875 Camino don Emilo Family Transfer Subdivision

Owner/Applicant's Name – Nancy Hoffman

Agent's Name – NM Land Solutions

THIS MATTER came before the Planning Commission (“Commission”) for hearing on March 5, 2026, upon the application (“Application”) of NM Land Solutions, agent for Nancy Hoffman (“Applicant”).

The Applicant requests approval of a family transfer subdivision to subdivide an existing 4.59-acre lot at 875 Camino don Emilio into three (3) lots, gifting the two (2) newly created lots to her children (“Project”).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

- 1) Santa Fe City Code (“SFCC”) 1987 Section 14-3.7(C)¹ sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before recommending approving a family transfer subdivision.
- 2) SFCC 1987 Section 14-3.1² sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (“ENN”) meeting [SFCC 1987 § 14-3.1(F)(2)(a)(v)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
- 3) The Applicant attended a pre-application conference on April 24, 2025.
- 4) The Applicant conducted an ENN meeting on August 19, 2025, virtually via Zoom. The Agent, Applicant, City Staff, and approximately six (6) members of the public attended the ENN. Members of the public raised concern over the current owner’s contributions to the maintenance of the private road and potential disturbance of dry arroyos on the property.
- 5) City staff reviewed the Application and all related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Commission with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
- 6) At the Planning Commission (“Commission”) Hearing, the Commission received reports from staff and testimony and evidence from the Applicant. No members of the public were in attendance.

¹ The provisions now appear at SFCC 1987 Section 14-2.1.E.8.VIII, effective January 1, 2026, following recodification.

² The provisions now appear at SFCC 1987 Section 14-2.1.B, effective January 1, 2026, following recodification.

- 7) Once the Chair closed the Public Hearing, the Commission discussed a motion and voted to approve the family transfer subdivision subject to the Conditions of Approval and Technical Corrections outlined in Attachment A of the staff report.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

- 8) Pursuant to SFCC 1987 Section 14-3.1(H)(1)³, notice of the ENN and Public Hearing meeting were properly given. The Applicant gave notice by posting one (1) sign on the property and mailing notice to all tenants and property owners within 300 feet of the property. Neighborhood associations within 300 feet of the property also received mailed and emailed notice.
- 9) Pursuant to SFCC 1987 Section 14-3.1⁴, all procedural requirements regarding the pre-application conference, ENN meeting, and notice of public hearing have been met.
- 10) The ENN meeting was properly conducted, pursuant to SFCC 1987 Section 14-3.1(F)⁵.
- 11) The Planning Commission has the power and authority at law and under SFCC 1987 Section 14-3.7(F)(4)⁶ to review and approve or deny family transfer subdivisions creating two (2) or more additional lots.
- 12) The Applicant met all applicable Submittal Requirements.
- 13) Pursuant to SFCC 1987 Section 14-3.7(C)(1)⁷, the Commission finds that due regard has been shown for all natural features.
- 14) Pursuant to SFCC Section 14-3.7(C)(2)⁸, the Commission finds that the land is suitable for platting and development purposes of the kind proposed.
- 15) Pursuant to SFCC Section 14-3.7(C)(3)⁹, the Commission finds that the plat complies with the infrastructure design, improvement and dedication standards set forth in SFCC Section 14-9 due to the roadway's approval in the County in 2000. The City recognizes this roadway under the Santa Fe Extraterritorial Land Use Authority Subdivision, Platting, Planning and Zoning Ordinance (SPPaZO) (Ord. No. 2009-01).
- 16) Pursuant to SFCC Section 14-3.7(C)(4)-(5)¹⁰, the Commission finds that the plat will not increase the existing nonconformity of the private Camino Don Emilio Rd and will not create any new nonconformities.

³ The provisions now appear at SFCC 1987 Section 14-2.1.B.3.V, effective January 1, 2026, following recodification.

⁴ The provisions now appear at SFCC 1987, 14-2.1.B effective January 1, 2026, following recodification.

⁵ The provisions now appear at SFCC 1987 Section 14-2.1.B.1.II, effective January 1, 2026, following recodification.

⁶ The provisions now appear at SFCC 1987 Section 14-2.1.E.8.IV.b, effective January 1, 2026, following recodification.

⁷ The provisions now appear at SFCC 1987 Section 14-2.1.E.9.II, effective January 1, 2026, following recodification.

⁸ The provisions now appear at SFCC 1987 Section 14-2.1.E.9.III, effective January 1, 2026, following recodification.

⁹ The provisions now appear at SFCC 1987 Section 14-2.1.E.9.IV, effective January 1, 2026, following recodification.

¹⁰ The provisions now appear at SFCC 1987 Section 14-2.1.E.9.V, effective January 1, 2026, following recodification.

17) The Commissions approves the family transfer subdivision, subject to the conditions of approval and technical corrections set forth in Attachment A of the Staff Report because the applicable code requirements and criteria for approval for the proposed subdivision have been addressed.

WHEREFORE, IT IS ORDERED ON THE 16TH DAY OF APRIL 2026 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the family transfer subdivision for the Project, subject to the conditions of approval and technical corrections set forth in Attachment A of the Staff Report. Approval of the final subdivision plat will expire on April 16, 2029, unless the plat is filed for record with the County Clerk, or an extension is granted under SFCC Section 14-3.19¹¹.

Janet Clow
Chair

Date:

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date:

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date:

¹¹ The provisions now appear at SFCC 1987 Section 14-2.1.6.VII.b, effective January 1, 2026, following recodification.

City of Santa Fe, New Mexico

Attachment A Conditions of Approval and Technical Corrections

- 1. Table of Conditions of Approval**
- 2. Table of Technical Corrections**
- 3. Development Review Team Compiled Comments**

Conditions of Approval & Technical Corrections

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
1	Provide draft of appropriate well sharing request letter for the State of New Mexico	Planning	Prior to public hearing (COMPLETED)
2	Provide executed well share agreement from State of New Mexico (SFCC 1987 14-9.6(A))	Planning	At time of recordation
3	Provide proof of appropriate septic assurances from the State of New Mexico (14-9.6(A))	Planning	Prior to building permit
4	Provide a <u>draft</u> copy of appropriate documentation of conveyance along with an affidavit with the county clerk containing the following: (i) a legal description of the property being transferred; and (ii) a statement that the transferor has not made any other transfers of any other lots to the person receiving it that would require the filing of an affidavit pursuant to this section. (SFCC 1987 14-3.7(F)(2)(b)).	Planning	Prior to public hearing (COMPLETED)
5	Record appropriate documentation of conveyance described above	Planning	At time of recordation
6	All utilities shall be underground	Planning	Prior to building permit
7	Proposed development is under 10 acres and no further review required unless utility plan exceeds 550-linear feet of utility lines.	Archaeology	-
8	The slope analysis map and the plat must show 2000 square foot buildable areas on each new lot that meet the criteria of no disturbance for 30% slopes and where 50% of the buildable area is on slopes of less than 20%.	Terrain Management/Engineering	Prior to recordation (COMPLETED)
9	The firm Map number is incorrect on Note 3 for the flood statement. It should be 35049C0411E	Terrain Management/Engineering	Prior to public hearing (COMPLETED)
10	Shall comply with IFC 2021 and city adopted ordinance 2024-2. Section 507	Fire	Prior to recordation
11	Shall note on plat "Shall comply with IFC 2021 and city adopted ordinance 2024-2 Section 507	Fire	Prior to public hearing (COMPLETED)
12	City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.	Traffic	Prior to building permit
13	Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible correction to meet Public Works Standard for	Traffic	Prior to building permit

Conditions of Approval			
#	Condition of Approval	Dept. or Division	To be completed:
	roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.		
14	City Sewer Service is not available to serve this site. The project is to follow the requirements of Chapter 22 of the City Code for septic sewer service	Sewer	Prior to building permit
15	IF Applicant would like to connect to City water, an approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Water	Prior to Building Permit Approval (Applicant is not connecting to city water)
16	IF Applicant would like to connect to City water, an approved Water Plan will be required for all new public water infrastructure and fire services.	Water	Prior to Public Hearing (Applicant is not connecting to city water)
17	IF new easements for public utilities are required as identified on the water plan, easements will be recorded on the final plat	Water	Prior to Recordation

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
1	Plat shall contain the following notice prominently portrayed: "NOTICE: This subdivision has been approved pursuant to the inheritance and family transfer provisions of the Santa Fe City Code. Procedures for inheritance and family transfer subdivision improvements are significantly different than for other types of subdivisions. No sale or lease of any lot designated on this subdivision plat shall occur within three years of the date this transfer is legally made. Any person intending to purchase a lot within this subdivision should contact the city of Santa Fe land use director. Requests for construction permits on illegally sold lots shall be denied." (14-3.7(F)(3)(5)(b))	Planning	Prior to public hearing (COMPLETED)
2	Adjust line weights to better show proposed lot lines	Planning	Prior to public hearing (COMPLETED)
3	Show buildable area for Lot 3. Minimum of 2,000 sq ft	Planning	Prior to public hearing (COMPLETED)
4	Show setbacks for all lots on plat	Planning	Prior to public hearing (COMPLETED)
5	Include the name of each family member to whom a lot is being transferred on the plat (14-3.7(F)(3)(d))	Planning	Prior to public hearing (COMPLETED)

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
6	Add signature blocks for Planning Commission Chair and Planning Commission Secretary	Planning	Prior to public hearing (COMPLETED)
7	Plat shall contain the following note: "Lots shall not be further subdivided unless in accordance with SFCC Ch.14, as amended, relevant to zoning and family transfer standards."	Planning	Prior to public hearing (COMPLETED)
8	Delete note #4 currently on plat. Add utility signature blocks for the following: PNM Electric Service, NM gas Co., Comcast, Century Link.	Planning	Prior to public hearing (COMPLETED)
9	Add case #2025-11270 to plat	Planning	Prior to public hearing (COMPLETED)
10	The request to defer the landscape and irrigation to the permit phase is approved based on the following code: 14-9.6 - STANDARDS FOR INHERITANCE OR FAMILY TRANSFER SUBDIVISIONS (A) Installation of Improvements: Any improvements required to be constructed on inheritance or family transfer subdivisions are only required to be completed at the time a construction permit is issued on any lot contained in the subdivision, and not at the time of plat approval or recordation. A financial guarantee is not required at the time of plat recordation. If an inheritance or family transfer subdivision will result in the creation of only one additional lot and will not have public sewer or water available, the applicant will be required to provide proof of appropriate well and septic assurances from the State of New Mexico prior to approval of the subdivision.	Landscaping	-
11	1. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X. Replacement trees are required, tree for tree.	Landscaping	At time of building permit
12	Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) (for the required replacement trees) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.	Landscaping	At time of building permit
13	All disturbed areas due to construction shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.	Landscaping	At time of building permit
14	Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the dripline of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies.	Landscaping	At time of building permit

Technical Corrections			
#	Technical Correction	Dept. or Division	To be completed:
	<p>All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.</p> <p>Areas of natural gravel, cobble, fractured stone, and/or boulder fields shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.</p>		
15	<p>Retaining Wall / Fence: 14-8.4(J)(2)(b)(i) Any wall or fence that is more than three (3) feet above finished grade on the side facing the street, shall be set back from the street right of way line a distance equal to or greater than the height.</p>	Landscaping	Prior to recordation



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1

Alma G. Castro, District 1

Michael J. Garcia, District 2

Carol Romero-Wirth, District 2

Lee Garcia, District 3

Pilar F.H. Faulkner, District 3

Jamie Cassutt, District 4

Amanda Chavez, District 4

October 9, 2025

Case # 2025-11270

Victoria Dalton
NM Land Solutions
915 Mercer St.
Santa Fe, NM 87505

Dear Victoria,

Your application was received on September 8, 2025 for:

Case #2025-11270. 875 Camino Don Emilio Family Transfer Subdivision. NM Land Solutions, (“Agent”), for Nancy Hoffman, Owner and Applicant (“Applicant”), requests approval of a Family Transfer Subdivision to split the existing lot into 3-lots, gifting the 2 created lots to her children. The property is 4.59-acres, zoned R-1 (Residential, 1 Dwelling Unit per Acre). (Alexa Hempel Case Manager, anhempel@santafenm.gov).

This application has been reviewed by Planning Division staff (Staff) and the City’s Development Review Team (DRT). Attached are the initial DRT review comments including conditions of approval and technical corrections. Additional corrections may follow throughout the development review and permitting processes. I would like to highlight and summarize the following key items. **Those items in green font must be completed prior to planning commission.**

A. Initial Planning Division Review Summary

Your family transfer subdivision application has been reviewed by Planning Division staff and the following necessary revisions have been identified:

1. Provide appropriate well sharing permit from the State of New Mexico
2. Provide proof of appropriate septic assurances from the State of New Mexico (14-9.6(A))
3. Provide a statement that the transferor has not made any other transfers of any other lots to the person receiving it that would require the filing of an affidavit pursuant to this section. (SFCC 14-3.7(F)(2))
4. A copy of the instrument of transfer to the transferee or their authorized representative must be provided to the city

5. All utilities shall be underground
6. Plat shall contain the following notice prominently portrayed: "NOTICE: This subdivision has been approved pursuant to the inheritance and family transfer provisions of the Santa Fe City Code. Procedures for inheritance and family transfer subdivision improvements are significantly different than for other types of subdivisions. No sale or lease of any lot designated on this subdivision plat shall occur within three years of the date this transfer is legally made. Any person intending to purchase a lot within this subdivision should contact the city of Santa Fe land use director. Requests for construction permits on illegally sold lots shall be denied." (14-3.7(F)(3)(5)(b))
7. Adjust line weights to better show proposed lot lines
8. Show buildable area for Lot 3. Minimum of 2,000 sq ft
9. Show setbacks for all lots on plat
10. Include the name of each family member to whom a lot is being transferred on the plat (14-3.7(F)(3)(d))
11. Add signature blocks for Planning Commission Chair and Planning Commission Secretary
12. Plat shall contain the following note: "Lots shall not be further subdivided unless in accordance with SFCC Ch.14, as amended, relevant to zoning and family transfer standards."
13. Delete note #4 currently on plat. Add utility signature blocks for the following: PNM Electric Service, NM gas Co., Comcast, Century Link.
14. Add case #2025-11270 to plat

B. Initial DRT Review Summary

Your family transfer subdivision application has been reviewed by the DRT and the following necessary revisions have been identified:

1. City Sewer Service is not available to serve this site. The project is to follow the requirements of Chapter 22 of the City Code for septic sewer service.
2. Proposed development is under 10 acres and no further review required unless utility plan exceeds 550-linear feet of utility lines.
3. Shall comply with IFC 2021 and city adopted ordinance 2024-2. Section 507
4. Shall note on plat: "Shall comply with IFC 2021 and city adopted ordinance 2024-2 Section 507."
5. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
6. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.
7. The City of Santa Fe Water Division recognizes that this parcel falls within the County to City Annexation Area 3, and is treated as within presumptive City limits. The property boundary falls >300 ft away from an existing public water distribution main, so a domestic water well permit application is a possibility for obtaining domestic water service for the two new residential lots created by the subdivision of the existing parcel per 25-1.10. If the Applicant desires public City water service, a main extension is required per Chapter 25, Exhibit A, Rule 19. This would

necessitate an Agreement to Construct and Dedicate (ACD), and a water plan. For this property, it may also require the installation of a Pressure Reducing Valve (PRV) due to the location of the parcel in the overall water system. The Water Division can supply a technical evaluation to determine the details of what it would take to supply public City water service to this parcel if the Applicant desires.

8. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X. Replacement trees are required, tree for tree.
9. Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) (for the required replacement trees) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.
10. All disturbed areas due to construction shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.
11. Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the dripline of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf. Areas of natural gravel, cobble, fractured stone, and/or boulder fields shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.
12. Retaining Wall / Fence: 14-8.4(J)(2)(b)(i) Any wall or fence that is more than three (3) feet above finished grade on the side facing the street, shall be set back from the street right of way line a distance equal to or greater that the height.
13. The slope analysis map and the plat must show 2000 square foot buildable areas on each new lot that meet the criteria of no disturbance for 30% slopes and where 50% of the buildable area is on slopes of less than 20%.

Please review all attached Staff and DRT Initial comments, revise your submittals as needed and resubmit for secondary review. Once revised submittals are accepted, a public hearing date may be scheduled. Please let me know if you have any questions or concerns.

Thank you,

Alexa Hempel

Senior Planner, Planning and Land Use Department

Attachments:

1. Planning DRT Memo
2. Wastewater DRT Memo
3. Traffic DRT Memo
4. Landscape, Lighting, Irrigation DRT Memo
5. Water DRT Memo

October 9, 2025

Initial Review Memo for 875 Camino Don Emilio

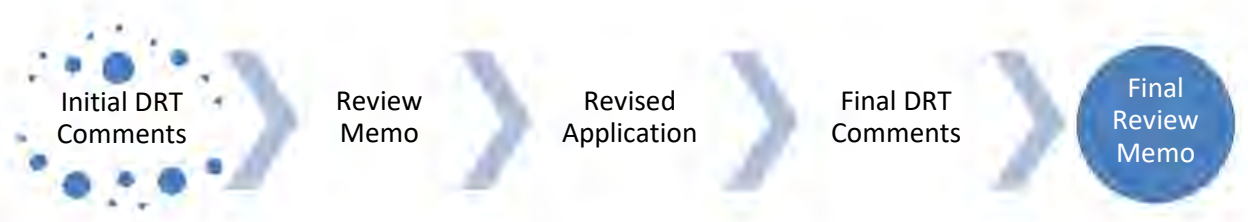
Page 4 of 4

6. Fire DRT Memo
7. Archaeology DRT Memo
8. Engineering DRT Memo

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
9/8/25	9/23/25	10/17/25

Date: 9/25/25

DRT Member: Alexa Hempel

Dept/Div: Planning

Case No.: #2025-11270

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11270

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Provide appropriate well sharing permit from the State of New Mexico	Prior to public hearing	
2. Provide proof of appropriate septic assurances from the State of New Mexico (14-9.6(A))	Prior to building permit	
3. Provide a statement that the transferor has not made any other transfers of any other lots to the person receiving it that would require the filing of an affidavit pursuant to this section. (SFCC 14-3.7(F)(2))	Prior to public hearing	
4. A copy of the instrument of transfer to the transferee or their authorized representative must be provided to the city	Draft - prior to public hearing Final – prior to recordation	
5. All utilities shall be underground	Prior to building permit	

Technical Corrections: All technical corrections listed below are also included as redlines on attached plat	Must be completed by:	Applicant response**:
1. Plat shall contain the following notice prominently portrayed: "NOTICE: This subdivision has been approved pursuant to the inheritance and family transfer provisions of the Santa Fe City Code. Procedures for inheritance and family transfer subdivision improvements are significantly different than for other types of subdivisions. No sale or lease of any lot designated on this subdivision plat shall occur within three years of the date this transfer is legally made. Any person intending to purchase a lot within this subdivision should contact the city of Santa Fe land use director. Requests for construction permits on illegally sold lots shall be denied." (14-3.7(F)(3)(5)(b))	Prior to public hearing	
2. Adjust line weights to better show proposed lot lines	Prior to public hearing	
3. Show buildable area for Lot 3. Minimum of 2,000 sq ft	Prior to public hearing	
4. Show setbacks for all lots on plat	Prior to public hearing	

5. Include the name of each family member to whom a lot is being transferred on the plat (14-3.7(F)(3)(d))	Prior to public hearing	
6. Add signature blocks for Planning Commission Chair and Planning Commission Secretary	Prior to public hearing	
7. Plat shall contain the following note: "Lots shall not be further subdivided unless in accordance with SFCC Ch.14, as amended, relevant to zoning and family transfer standards."	Prior to public hearing	
8. Delete note #4 currently on plat. Add utility signature blocks for the following: PNM Electric Service, NM gas Co., Comcast, Century Link.	Prior to public hearing	
9. Add case #2025-11270 to plat	Prior to public hearing	

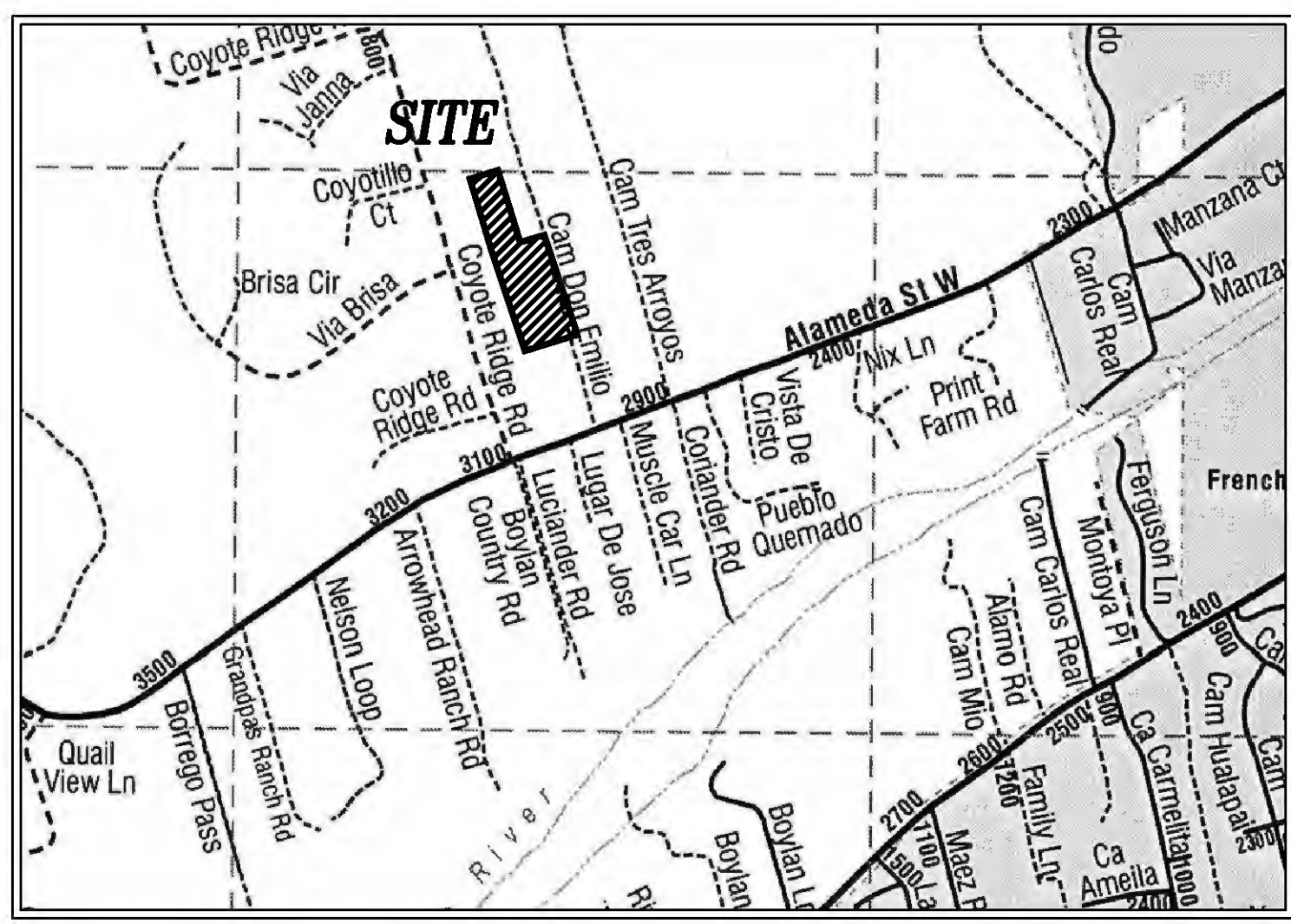
**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)



VICINITY MAP (NTS)

DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S), HAVE CAUSED TO BE DIVIDED THOSE LANDS SHOWN HEREON. THIS DIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNER(S). UTILITY COMPANIES ARE GRANTED EASEMENTS AS SHOWN AND FOR EXISTING UTILITIES. OTHER EASEMENTS ARE GRANTED AS SHOWN.

THIS DIVISION CONTAINS 4.590 AC.±, AND LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

by _____
NANCY HOFFMAN OWNER TRACT A-3

STATE OF NEW MEXICO SS
COUNTY OF SANTA FE
THE FOREGOING INSTRUMENT WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY NANCY HOFFMAN

THIS _____ DAY OF _____, 2025
MY COMMISSION EXPIRES _____ NOTARY PUBLIC

Add signature blocks for Planning Commission Chair and Planning Commission Secretary

Add case #2025-11270

Add signature blocks for the following utilities: PNM Electric Service, NM Gas Co., Comcast, Century Link

Add Note: Lots shall not be further subdivided unless in accordance with SFCC Ch.14, as amended, relevant to zoning and family transfer standards.

Delete note 4. Cannot have this not for subdivisions.

COUNTY OF SANTA FE REVIEW

COUNTY TREASURER _____ DATE _____

CITY OF SANTA FE APPROVAL, NOTES AND CONDITIONS:

CITY ENGINEER FOR LAND USE _____ DATE _____

CITY PLANNER _____ DATE _____

CASE NUMBER 25-000000

NOTES

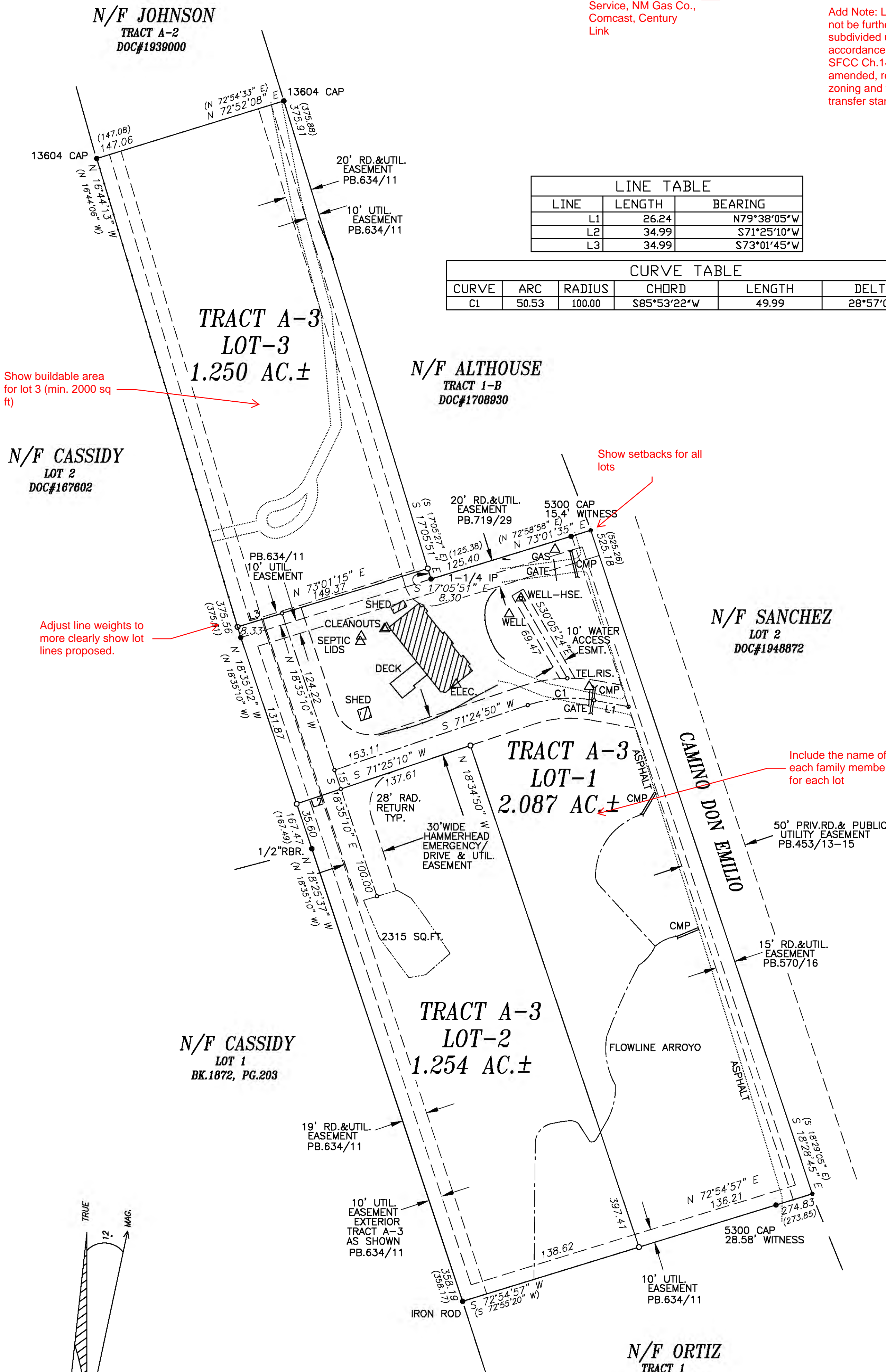
1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
2. FIRE DEPARTMENT SHALL HAVE 150 FEET DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.
3. TRACT A-3 LIES WITHIN ZONE "X" AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS PER F.I.R.M. PANEL# 35049C0414E DATED 12/04/12.
4. CITY APPROVAL OF THIS PLAT DOES NOT ALTER OR REMOVE ANY EASEMENTS, RESTRICTIONS, OR RESERVATIONS OF RECORD PERTAINING TO THE LAND HEREIN DESCRIBED.

LEGEND AND NOTES

- DENOTES SANITARY SEWER MANHOLE
- DENOTES POINT FOUND AS NOTED
- DENOTES POINT TO BE SET THIS SURVEY
- DENOTES POINT CALCULATED
- △ DENOTES UTILITY AS NOTED
- DENOTES EDGE OF ACCESS AND UTILITY EASEMENT
- DENOTES FENCELINE
- DENOTES BUILDBLE AREA

1. BASIS OF BEARING IS FROM "FAMILY TRANSFER LAND DIVISION AND LOT LINE ADJUSTMENT AND BOUNDARY SURVEY PLAT OF THE CAMINO DON EMILIO PROPERTY PREPARED FOR THE ESTATE OF TONY SANDOVAL" BY PAUL A. ARMJO NMPLS# 13604, AND BEING FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN BK. 719, PG. 029, RECORD DATA SHOWN IN ().
2. THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD.

Add NOTICE: This subdivision has been approved pursuant to the inheritance and family transfer provisions of the Santa Fe City Code. Procedures for inheritance and family transfer subdivision improvements are significantly different than for other types of subdivisions. No sale or lease of any lot designated on this subdivision plat shall occur within three years of the date this transfer is legally made. Any person intending to purchase a lot within this subdivision should contact the city of Santa Fe land use director. Requests for construction permits on illegally sold lots shall be denied.



LINE TABLE		
LINE	LENGTH	BEARING
L1	26.24	N79°38'05"W
L2	34.99	S71°25'10"W
L3	34.99	S73°01'45"W

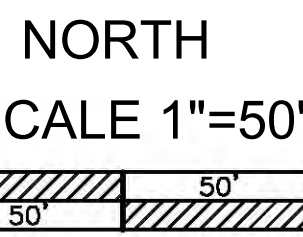
CURVE TABLE					
CURVE	ARC	RADIUS	CHORD	LENGTH	DELTA
C1	50.53	100.00	S85°53'22"W	49.99	28°57'05"

Show buildable area for lot 3 (min. 2000 sq ft)

Show setbacks for all lots

Adjust line weights to more clearly show lot lines proposed.

Include the name of each family member for each lot



SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES HEREON ARE AN ACCURATE DELINEATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON JAN. 24TH, 2025, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEET THE MINIMUM STANDARDS FOR PROFESSIONAL LAND SURVEYORS PRACTICING IN NEW MEXICO.



COUNTY OF SANTA FE)SS
STATE OF NEW MEXICO)
I hereby certify that this instrument was filed for record on the _____ day of _____ A.D. 20____ at _____ o'clock _____ m. and was duly recorded in book _____ of the records of _____ of the County of _____ Santa Fe County.

Witness my Hand and Seal of Office
Katherine Clark
County Clerk, Santa Fe County, N.M.

Deputy

FAMILY TRANSFER LAND DIVISION OF TRACT A-3 FOR NANCY HOFFMAN
PARCEL# 99304168

LYING WITHIN PROJECTED SEC. 28, T.17N., R.9E., N.M.P.M., CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.

RICK CHATROOP
PROFESSIONAL LAND SURVEYOR
NEW MEXICO REGISTRATION NO. 11011
(505) 470-0037 110 WAGON TRAIL RD. CERRILLOS, NM. 87010

INDEXING INFORMATION FOR THE COUNTY CLERK
OWNER: HOFFMAN
LOCATION: LYING WITHIN PROJECTED SEC. 28, T.17N., R.9E., N.M.P.M., CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.

CASE# 2025- 875 CAMINO DON EMILIO

RICHARD A. CHATROOP N.M.P.L.S.#11011

Date: 9/29/2025

DRT Member: Stan Holland P.E.

Dept/Div: Utilities/Wastewater

Case No.: 2025-11270 – 875 Camino Don Emilio

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Case #	Must be completed by:	Applicant response**:
1. Conditions of Approval: City Sewer Service is not available to serve this site. The project is to follow the requirements of Chapter 22 of the City Code for septic sewer service.	Prior to Building Permit	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: September 29, 2025

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson & Company)

Dept/Div: Public Works Department – Traffic Engineering

Case No.: #2025-11270 – 875 Camino Don Emilio Family Transfer

Case Planner: Alexa Hempel, LEED Green Associate, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. None		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. None		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
2. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.

Explanation of Conditions or Corrections:

Proposed family transfer creates 2 additional lots with access to a private-access easement (whose traffic impacts were not considered on private property). Traffic impacts considered were at intersection with City Public Infrastructure (W. Alameda) and the 2 additional lots will create minimal traffic impacts to West Alameda. Estimated 2 additional peak hour trips using ITE Trip generation LUC 210 (single family detached housing) for each of the 3 lots.

Form Updated: April 2024

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: October 1, 2025

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, Outdoor lighting Technical Review Division

Case No.: 2025-11270, 875 Camino Don Emilio Family Trust Subdivision

Case Planner: Alexa Hempel, Senior Planner, anhempel@santafenm.gov (505)-946-7072

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X. Replacement trees are required, tree for tree.	Prior to Recordation	
2. Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) (for the required replacement trees) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.	Prior to Recordation	
3. All disturbed areas due to construction shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.	Prior to Recordation	
4. Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the dripline of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Grass seed mix shall	Prior to Recordation	

<p>be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.</p> <p>Areas of natural gravel, cobble, fractured stone, and/or boulder fields shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.</p>		
<p>5. Retaining Wall / Fence: 14-8.4(J)(2)(b)(i) Any wall or fence that is more than three (3) feet above finished grade on the side facing the street, shall be set back from the street right of way line a distance equal to or greater that the height.</p>	<p>Prior to Recordation</p>	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 10/3/2025
 DRT Member: Clinton Peterson
 Dept/Div: Public Utilities / Water Division
 Case No.: 2025-11270: 875 Camino Don Emilio Family Transfer
 Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11270: 875 Camino Don Emilio Family Transfer

Conditions of Approval:	Must be completed by:	Applicant response**:
1. IF Applicant would like to connect to City water, an approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Prior to Building Permit Approval	
2. IF Applicant would like to connect to City water, an approved Water Plan will be required for all new public water infrastructure and fire services.	Prior to Public Hearing	
3. IF new easements for public utilities are required as identified on the water plan, easements will be recorded on the final plat	Prior to Recordation	
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Note for Applicant's information below	n/a	
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

The City of Santa Fe Water Division recognizes that this parcel falls within the County to City Annexation Area 3, and is treated as within presumptive City limits. The property boundary falls >300 ft away from an existing public water distribution main, so a domestic water well permit application is a possibility for obtaining domestic water service for the two new residential lots created by the subdivision of the Form Updated: April 2024

existing parcel per 25-1.10. If the Applicant desires public City water service, a main extension is required per Chapter 25, Exhibit A, Rule 19. This would necessitate an Agreement to Construct and Dedicate (ACD), and a water plan. For this property, it may also require the installation of a Pressure Reducing Valve (PRV) due to the location of the parcel in the overall water system. The Water Division can supply a technical evaluation to determine the details of what it would take to supply public City water service to this parcel if the Applicant desires.

Development Review Team (DRT) Comment Form for Planning Commission

Date: September 3, 2025

DRT Member: Fire Marshal Geronimo Griego

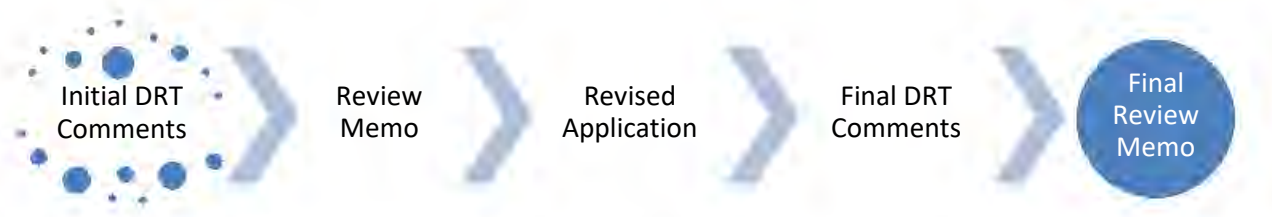
Dept/Div: Fire Marshal's Office

Case No.: 2025-11270_875 Camino Don Emilio_Fam Transfer Subdivision

Case Planner: Alexa Hempel, Senior Planner

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall comply with IFC 2021 and city adopted ordinance 2024-2. Section 507. (see note below)	<i>Prior to Recordation</i>	

Technical Corrections:	Must be completed by:	Applicant Response**:

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

Explanation of Conditions or Corrections (if needed):

1. Shall note on plat “Shall comply with IFC 2021 and city adopted ordinance 2024-2 Section 507.”

1 **CITY OF SANTA FE, NEW MEXICO**

2 **ORDINANCE NO. 2024-2**

3
4
5 **AN ORDINANCE**

6 **AMENDING SECTION 12-2.1 OF SFCC 1987 TO REPLACE THE CITY'S ADOPTION**
7 **OF THE 2015 EDITION OF THE INTERNATIONAL FIRE CODE WITH THE**
8 **ADOPTION OF THE 2021 EDITION AND SPECIFY THAT CITY CODE SUPERSEDES**
9 **THE ADOPTED INTERNATIONAL FIRE CODE WHEN THE CITY'S CODE IS MORE**
10 **STRINGENT; REPEALING AND REPLACING EXHIBIT A OF CHAPTER 12.**

11
12 **BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF SANTA FE:**

13 **Section 1. Section 12-2.1 of SFCC 1987 (being Ord. No. 2020-25, § 1; as**
14 **amended) is amended to read as follows:**

15 **12-2.1 - Adoption of fire code.**

16 **A. Pursuant to Section 3-18-11 NMSA 1978, the city may adopt regulations for the**
17 **prevention of fire.**

18 **B. For the purposes of reasonably safeguarding life and property from the hazards of**
19 **fire and explosion arising from the storage, handling and use of hazardous substances, materials**
20 **and devices, and from hazardous conditions in the use or occupancy of buildings or premises, the**
21 **2021 International Fire Code (IFC) as published by the International Code Council (ICC) is adopted**
22 **by reference and incorporated as fully as if set out herein except as amended by the governing body.**
23 **The amendments are set forth in Exhibit A, located at the end of this chapter. The 2021 International**
24 **Fire Code as amended by the governing body shall be known as "the fire code of the city of Santa**
25 **Fe."**

1 C. A copy of the fire code of the city of Santa Fe shall be kept on file at the Santa Fe
2 fire prevention bureau, 1751 Cerillos Road, Santa Fe, New Mexico 87504 and shall be, at all
3 reasonable times, available and subject to inspection. A copy of the fire code of the city of Santa
4 Fe shall be available to any individual upon request and payment of a reasonable charge.

5 D. In the event of conflict between the city's code and the IFC, the code with the
6 higher minimum standard prevails.

7 **Section 2. Exhibit A of Chapter 12 (being Ordinance No. 2020-25 § 2 Exhibit A,**
8 **as amended) is hereby repealed and replaced to read as follows:**

9 **CITY OF SANTA FE**

10 **CHAPTER 12**

11 **EXHIBIT A**

12 **AMENDMENTS TO THE 2021 INTERNATIONAL FIRE CODE**

13 **(SUBSECTION 12-2.1 SFCC 1987)**

14 **ADOPTED: DATE (effective DATE)**

15 **AMENDED:**

16 **1. Section 101.1 of the 2021 International Fire Code shall read:**

17 **101.1 Title.** These regulations shall be known as the Fire Code of the City of Santa Fe
18 ("City"), hereinafter referred to as "this code."

19 **2. Section [A] 103.1 of the 2021 International Fire Code shall read:**

20 **103.1 Fire code official.** In the City's Fire Department, the "fire code official," as
21 referenced in the International Fire Code, shall be hereby known as the Fire Marshal. Any reference
22 in the International Fire Code to "fire code official" shall be the Fire Marshal of the City. In the
23 absence of the Fire Marshal, the "fire code official" shall be the Deputy Fire Marshal, or other Fire
24 Department official identified by the Fire Marshal. The function of the agency shall be the
25 implementation, administration, and enforcement of the provisions of this code.

1 **3. Section 111 of the 2021 International Fire Code shall be titled:**

2 **APPEALS**

3 **4. Subsection 111.1 of the 2020 International Fire Code is deleted in its entirety and a**
4 **new Section 111.1 shall read:**

5 **111.1 Appeal of Department Decisions.** When the fire department disapproves an
6 application or refuses to grant a permit applied for as required by this code or when it is claimed
7 that the provisions of this code do not apply or that the true intent and meaning of this code has
8 been misconstrued or wrongly interpreted, the applicant may appeal the decision of the fire
9 department to the city manager within thirty (30) days of the decision. The applicant may appeal
10 the decision of the city manager to the governing body within ten (10) days of the city manager's
11 decision.

12 **5. Section 111.2 of the 2021 International Fire Code is deleted in its entirety.**

13 **6. Section 111.3 of the 2021 International Fire Code is deleted in its entirety.**

14 **7. Section 112.4 of the 2021 International Fire Code is deleted in its entirety and a new**
15 **Section 112.4 shall read:**

16 **12.4 Violation penalties.** Any person violating any of the provisions of this code or failing
17 to comply with any order made thereunder, building in violation of any detailed statement of
18 specifications or plans submitted and approved, any certificate or permit issued thereunder and
19 from which no appeal has been taken; or failing to comply with an order as affirmed or modified
20 by the governing body or by a court of competent jurisdiction within the time defined herein, shall
21 severally for each noncompliance be subject to the penalties provided by Section 1-3 SFCC 1987.
22 The imposition of a penalty for any violation shall not excuse the violations or permit it to continue.
23 All such persons shall be required to correct or remedy the violations or defects within a reasonable
24 time; and when not otherwise specified, each ten (10) days that prohibited conditions are
25 maintained shall constitute a separate offense.

1 **8. Section 112.4 of the 2021 International Fire Code is deleted in its entirety.**

2 **9. Section 113.4 of the 2021 International Fire Code shall read:**

3 **113.4 Failure to comply.** Any person who shall continue any work after having been
4 served with a stop work order, except such work as that person is directed to perform to remove a
5 violation or unsafe condition, shall be liable to a fine as provided in Section 1-3 SFCC 1987.

6 **10. A new Section 503.7 of the 2021 International Fire Code is hereby ordained to**
7 **read:**

8 **503.7 Driveways for New Construction One- and Two-family dwellings, New**
9 **Construction Group R-3 and R-4 buildings, and New Construction Townhouses.**

10 **503.7.1 Driveways Required.** Driveways shall be provided where any portion of an
11 exterior wall of the first story of a building is located more than 150 feet (45720 mm) from a fire
12 apparatus access road.

13 **503.7.1.1 Width.** Driveways shall provide a minimum unobstructed width of 14 feet (3658
14 mm) and a minimum unobstructed height of 13 feet 6 inches (4115 mm).

15 **503.7.1.2 Length.** Driveways in excess of 150 feet (45720 mm) in length shall be provided
16 with turnarounds. Driveways in excess of 200 feet (60960 mm) in length and less than 20 feet (6096
17 mm) in width shall be provided with turnouts in addition to turnarounds.

18 **503.7.1.3 Service Limitations.** A driveway shall not serve in excess of five dwelling units.

19 **Exception:** Where such driveways meet the requirements for fire apparatus access roads
20 in accordance with Section 503 of the International Fire Code.

21 **503.7.1.4 Turnarounds.** Driveway turnarounds shall have inside turning radii of not less
22 than 30 feet (9144 mm) and outside turning radii of not less than 45 feet (13 716 mm). Driveways
23 that connect with a road or roads at more than one point shall be considered as having a turnaround
24 if all changes of direction meet the radii requirements for driveway turnarounds.

25 **503.7.1.5 Turnouts.** Driveway turnouts shall be an all-weather road surface not less than

1 10 feet (3048 mm) wide and 30 feet (9144 mm) long. Driveway turnouts shall be located as required
2 by the code official. The minimum combined width of turnout and driveway is 24 feet (7315 mm).

3 **503.7.1.6 Bridges.** Vehicle load limits shall be posted at both entrances to bridges on
4 driveways and private roads. Design loads for bridges shall be capable of supporting the imposed
5 load of fire apparatus weighing up to 75,000 pounds (34050 kg).

6 **503.7.1.7 Driveway access and loading.** Facilities, buildings or portions of buildings
7 hereafter constructed shall be accessible to fire department apparatus by way of an approved
8 driveway with an asphalt, concrete or other approved driving surface capable of supporting the
9 imposed load of fire apparatus weighing up to 75,000 pounds (34050 kg).

10 **11. The following Section 902.1, Definitions, of the 2021 International Fire Code, and**
11 **in Chapter 2, Definitions, Subsection 202, of the International Fire Code 2021 shall read:**

12 **STANDPIPE SYSTEM, CLASSES OF.** Standpipe classes are as follows:

13 **Class I system.** A system providing 2.5-inch (64 mm) hose connections to supply water
14 for use by fire departments and those trained in handling heavy fire streams.

15 **Class II system.** A system providing 1.5-inch (38 mm) hose stations to supply water for
16 use primarily by the building occupants or by the fire department during initial response. 1.5-inch
17 hoses and hose cabinets shall not be provided, unless required by the New Mexico laws applicable
18 to fire protection for class II and class III standpipe systems.

19 **Class III system.** A system providing 1.5-inch (38 mm) hose stations to supply water for
20 use by building occupants and 2.5-inch (64 mm) hose connections to supply a larger volume of
21 water for use by fire departments and those trained in handling heavy fire streams. 1.5-inch hoses
22 and hose cabinets shall not be provided, unless required by the New Mexico laws applicable to fire
23 protection for class II and class III standpipe systems.

24 **12. Section 5704.2.9.6.1 of the 2021 International Fire Code shall read:**

25 **5704.2.9.6.1 Locations where above-ground tanks are prohibited.** Storage of Class I

1 and II liquids in above-ground tanks outside of buildings is prohibited within the limits established
2 by law in subsection 12-2.4 SFCC 1987.

3 **13. Section 5706.2.4.4 of the 2021 International Fire Code shall read:**

4 **5706.2.4.4 Locations where above-ground tanks are prohibited.** The storage of Class I
5 and II liquids in above-ground tanks is prohibited within the limits established by law in subsection
6 12-2.4 SFCC 1987.

7 **14. Appendix B is hereby adopted in its entirety, and section B105 shall read:**

8 SECTION B105

9 FIRE-FLOW REQUIREMENTS FOR BUILDINGS

10 **B105.1 One- and two-family dwellings, Group R-3 and R-4 buildings and**
11 **townhouses.** The minimum fire-flow and flow duration requirements for one- and two-family
12 dwellings, Group R-3 and R-4 buildings and townhouses shall be as specified in Tables
13 B105.1(1) and B105.1(2).

14 **B105.2 Buildings other than one- and two-family dwellings, Group R-3 and R-4**
15 **buildings and townhouses.** The minimum fire-flow and flow duration for buildings other than
16 one- and two-family dwellings, Group R-3 and R-4 buildings and townhouses shall be as
17 specified in Tables B105.1(2) and B105.2.

18 **B105.3 Water supply for buildings equipped with an automatic sprinkler system.**

19 For buildings equipped with an approved automatic sprinkler system, the water supply shall be
20 capable of providing the greater of:

- 21 1. The automatic sprinkler system demand, including
- 22 hose stream allowance.
- 23 2. The required fire flow.

24 **B105.4 Life safety equipment in lieu of fire flow.** In lieu of fire flow, the Fire Marshal
25 may approve the use of a fire sprinkler system complying with NFPA 13, NFPA 13R, NFPA

1 13D, Type VA construction and/or monitored fire alarms system. and/or water storage tanks
2 complying with NFPA 1142 for one- or two- family dwellings, R-3, or R-4.


3 **Exception:** Automatic fire sprinkler systems shall not be required for existing one-family
4 or two-family dwellings that do not meet fire flow, that are not already provided with an
5 automatic sprinkler system where an addition to the existing structure's total roofed square feet
6 does not exceed 500 square feet.

7 **15. Appendix D of the 2021 International Fire Code is hereby adopted in its entirety,**
8 **and section D103.1 shall read:**

9 **D103.1 Access Road width with a hydrant.** Where a fire hydrant is located on a fire
10 apparatus access road, the minimum road width shall be 20 feet (6096 mm), exclusive of shoulders
11 (see Figure D103.1).

12 **16. Appendix F of the 2021 International Fire Code is hereby adopted in its entirety.**

13 PASSED, APPROVED, and ADOPTED this 24th day of April, 2024.

14
15
16 
Alan Webber (Apr 26, 2024 11:11 MDT)

17 ALAN WEBBER, MAYOR

18 ATTEST:

19
20 
GERALYN CARDENAS (Apr 26, 2024 15:35 MDT)

21 GERALYN F. CARDENAS, INTERIM CITY CLERK
22
23
24
25

1 APPROVED AS TO FORM:

2 Erin McSherry

3 Erin McSherry (Apr 25, 2024 16:47 MDT)

4 ERIN K. McSHERRY, CITY ATTORNEY

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24 *Bill No. 2024-2*

25 *Legislation/2024/Ordinances/2024-2(O) Adopting International Fire Code*

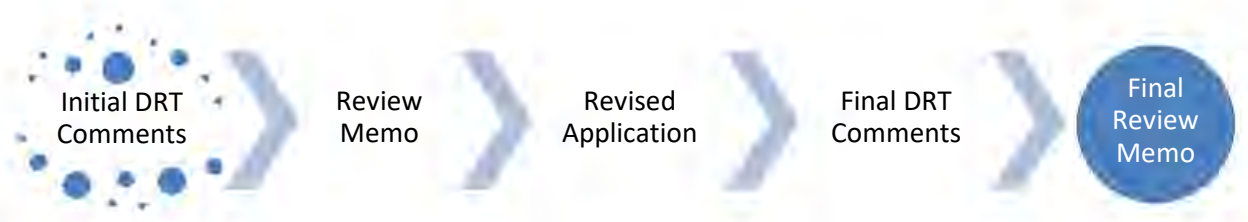
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8

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 9/29/2025

DRT Member: Paul A. Duran

Dept/Div: Land Use/ HPD

Case No.: #2025-11270

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. (3)Suburban Archaeological Review District 2. In this district, an archaeological clearance permit shall be required prior to approval of the final development plan or plat for the following projects: 3. 4. (a)All annexations, rezonings, subdivisions, planned unit developments , or other development requiring approval by the Planning Commission, having over ten (10) acres 5. (b)All city projects over two (2) acres in size. 6. (c)All city park projects over one (1) acre in size. (4) Utility Mains An archaeological clearance <u>permit</u> is required for new construction of sewer mains or main lines of other utilities such as telephone lines, gas lines, and fiber optics, including the entire construction easement: (a) With an extension of sixty (60) feet or more if the main is in the historic downtown archaeological review district; (b) With an extension of five hundred fifty (550) or more if the main is in the river and trails or suburban archaeological review district.	Proposed development is under 10 acres and no further review required unless utility plan exceeds 550-linear feet of utility lines.	
7.		
8.		
9.		
10.		
11.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		

4.		
----	--	--

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Date: 6/11/2025

DRT Member: Dee Beingessner

Dept/Div: Engineering

Case No.: 2025-11270 875 Camino Don Emilio FamTrsr

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. The slope analysis map and the plat must show 2000 square foot buildable areas on each new lot that meet the criteria of no disturbance for 30% slopes and where 50% of the buildable area is on slopes of less than 20%.	Prior to plat approval	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.	Prior to plan set approval and recording	
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)



Michael J. Garcia, Mayor

February 3, 2026

Case # 2025-11270

Victoria Dalton
NM Land Solutions
915 Mercer St.
Santa Fe, NM 87505

Dear Victoria,

Your revised application was received on January 20, 2026 for:

Case #2025-11270. 875 Camino Don Emilio Family Transfer Subdivision. NM Land Solutions, “Agent” for Nancy Hoffman, Owner and Applicant (“Applicant”), requests approval of a Family Transfer Subdivision to split the existing 4.59-acre lot at 875 Camino Don Emilio into 3-lots, gifting the 2 created lots to her children. The property is zoned R-1 (Residential, 1 Dwelling Unit per Acre). (Alexa Hempel Case Manager, anhempel@santafenm.gov).

This revisions have been reviewed by Planning Division staff (Staff) and the City’s Development Review Team (DRT) under Ch.14 of the SFCCC 1987. Attached and summarized below are the remaining and revised DRT review comments including conditions of approval and technical corrections. Additional corrections may follow throughout the development review and permitting processes. **Those items in green font must be completed prior to planning commission.** Refer to the attachments for when the items listed in black font must be completed.

A. Initial Planning Division Review Summary

Your family transfer subdivision application has been reviewed by Planning Division staff and the following necessary revisions have been identified:

1. Provide a **draft of appropriate well sharing permit from the State of New Mexico**
2. Provide executed well share agreement from the state of New Mexico
3. Provide proof of appropriate septic assurances from the State of New Mexico (14-9.6(A))
4. Provide a **draft copy of appropriate documentation of conveyance along with an affidavit with the county clerk containing the following: (i) a legal description of the property being**

City Council

Alma G. Castro, District 1
Patricia Feghali, District 1

Elizabeth “Liz” Barrett, District 2
Paul C. Bustamante, District 2

Lee Garcia, Mayor Pro Tem, District 3
Pilar F.H. Faulkner, District 3

Jamie Cassutt, District 4
Amanda Chavez, District 4

transferred; and (ii) a statement that the transferor has not made any other transfers of any other lots to the person receiving it that would require the filing of an affidavit pursuant to this section. (SFCC 1987 14-3.7(F)(2)(b)).

5. Record appropriate documentation of conveyance described above
6. All utilities shall be underground
7. Delete note #5 currently on plat. "City approval of this plat does not alter or remove any easements, restrictions, or reservation of record pertaining to the land herein described." This plat is granting new easements so this note should not be included.

B. DRT Review Summary

Your family transfer subdivision application has been reviewed by the DRT and the following necessary revisions have been identified:

1. The firm Map number is incorrect on Note 3 for the flood statement. It should be 35049C0411E
2. The request to defer the landscape and irrigation to the permit phase is approved based on the following code:
 - a. 14-9.6 - STANDARDS FOR INHERITANCE OR FAMILY TRANSFER SUBDIVISIONS (A)
Installation of Improvements: Any improvements required to be constructed on inheritance or family transfer subdivisions are only required to be completed at the time a construction permit is issued on any lot contained in the subdivision, and not at the time of plat approval or recordation. A financial guarantee is not required at the time of plat recordation. If an inheritance or family transfer subdivision will result in the creation of only one additional lot and will not have public sewer or water available, the applicant will be required to provide proof of appropriate well and septic assurances from the State of New Mexico prior to approval of the subdivision.
3. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X. Replacement trees are required, tree for tree.
4. Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) (for the required replacement trees) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.
5. All disturbed areas due to construction shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.
6. Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the dripline of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf. Areas of natural gravel, cobble, fractured stone, and/or boulder fields

- shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.
7. Retaining Wall / Fence: 14-8.4(J)(2)(b)(i) Any wall or fence that is more than three (3) feet above finished grade on the side facing the street, shall be set back from the street right of way line a distance equal to or greater than the height.
 8. City Sewer Service is not available to serve this site. The project is to follow the requirements of Chapter 22 of the City Code for septic sewer service.
 9. Proposed development is under 10 acres and no further review required unless utility plan exceeds 550-linear feet of utility lines.
 10. Shall comply with IFC 2021 and city adopted ordinance 2024-2. Section 507
 11. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
 12. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.
 13. The City of Santa Fe Water Division recognizes that this parcel falls within the County to City Annexation Area 3, and is treated as within presumptive City limits. The property boundary falls >300 ft away from an existing public water distribution main, so a domestic water well permit application is a possibility for obtaining domestic water service for the two new residential lots created by the subdivision of the existing parcel per 25-1.10. If the Applicant desires public City water service, a main extension is required per Chapter 25, Exhibit A, Rule 19. This would necessitate an Agreement to Construct and Dedicate (ACD), and a water plan. For this property, it may also require the installation of a Pressure Reducing Valve (PRV) due to the location of the parcel in the overall water system. The Water Division can supply a technical evaluation to determine the details of what it would take to supply public City water service to this parcel if the Applicant desires.

Please review all attached Staff and DRT comments, revise your submittals to address those items in green and resubmit for review. Once revised submittals are accepted, a public hearing date may be scheduled. Please let me know if you have any questions or concerns.

Thank you,

Alexa Hempel

Senior Planner, Planning and Land Use Department

Attachments:

1. REVISED Planning DRT Memo
2. REVISED Engineering DRT Memo

3. REVISED Landscape, Lighting, Irrigation DRT Memo
4. Wastewater DRT Memo
5. Traffic DRT Memo
6. Water DRT Memo
7. Fire DRT Memo
8. Archaeology DRT Memo

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due
9/8/25		

Date: 1/23/26

DRT Member: Alexa Hempel

Dept/Div: Planning

Case No.: #2025-11270

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11270

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Provide <u>draft</u> of appropriate well sharing request letter for the State of New Mexico	Prior to public hearing	
2. Provide executed well share agreement from State of New Mexico (SFCC 1987 14-9.6(A))	At time of recordation	
3. Provide proof of appropriate septic assurances from the State of New Mexico (SFCC 1987 14-9.6(A))	Prior to building permit	
4. Provide a <u>draft</u> copy of appropriate documentation of conveyance along with an affidavit with the county clerk containing the following: (i) a legal description of the property being transferred; and (ii) a statement that the transferor has not made any other transfers of any other lots to the person receiving it that would require the filing of an affidavit pursuant to this section. (SFCC 1987 14-3.7(F)(2)(b)).	Prior to public hearing	
5. Record appropriate documentation of conveyance described above	At time of recordation	
6. All utilities shall be underground	At time of building permit	

Technical Corrections:	Must be completed by:	Applicant response**:
1. Delete note #5 currently on plat. "City approval of this plat does not alter or remove any easements, restrictions, or reservation of record pertaining to the land herein described." This plat is granting new easements so this note should not be included.	Prior to public hearing	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Form Updated: April 2024

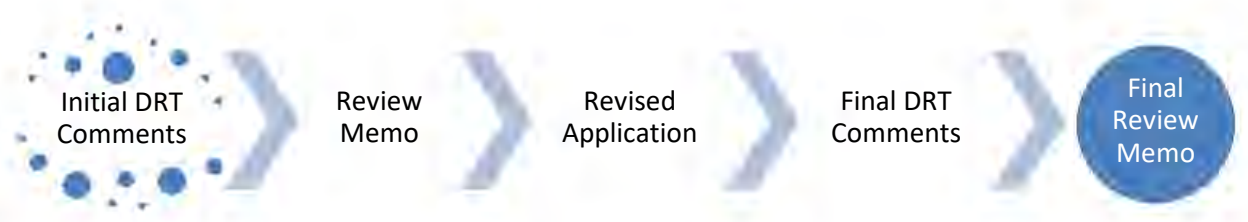
Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 1/22/26

DRT Member: Dee Beingessner

Dept/Div: Land Use Engineering

Case No.: 875 camino don emilio

Case Planner:

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. The firm Map number is incorrect on Note 3 for the flood statement. It should be 35049C0411E		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: October 1, 2025

DRT Member: Lawrence Rivera

Dept/Div: Landscape, Irrigation, Outdoor lighting Technical Review Division (Revision V2.)

Case No.: 2025-11270, 875 Camino Don Emilio Family Trust Subdivision

Case Planner: Alexa Hempel, Senior Planner, anhempel@santafenm.gov (505)-946-7072

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11270

Conditions of Approval:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
<p>The request to defer the landscape and irrigation to the permit phase is approved based on the following code: 14-9.6 - STANDARDS FOR INHERITANCE OR FAMILY TRANSFER SUBDIVISIONS (A) Installation of Improvements: Any improvements required to be constructed on inheritance or <i>family</i> transfer subdivisions are only required to be completed at the time a construction <i>permit</i> is issued on any <i>lot</i> contained in the subdivision, and not at the time of <i>plat</i> approval or recordation. A financial guarantee is not required at the time of <i>plat</i> recordation. If an inheritance or family transfer <i>subdivision</i> will result in the creation of only one additional <i>lot</i> and will not have public sewer or water available, the <i>applicant</i> will be required to provide proof of appropriate well and septic assurances from the State of New Mexico prior to approval of the <i>subdivision</i>.</p>		
<p>1. Provide a significant tree survey, list species, size, and quantities. Any trees to be removed shall be mark on the plan with a red X. Replacement trees are required, tree for tree.</p>	<p>Prior to Recordation At time of building permit</p>	

<p>2. Provide a landscape irrigation plan by a qualified irrigation designer per COSF code Chapter 14-8.4(E) (for the required replacement trees) Water Harvesting and Irrigation Standards and COSF Landscape Irrigation Design Standards.</p>	<p>Prior to Recordation At time of building permit</p>	
<p>3. All disturbed areas due to construction shall be revegetated and irrigated. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf.</p>	<p>Prior to Recordation At time of building permit</p>	
<p>4. Transition line between excavation and native soil shall be smoothly raked, creating a clean consistent grade. Existing grade below native trees and shrubs shall remain undisturbed throughout the dripline of the plant material. No mounding of soil, fill dirt, organic or inorganic debris shall be abandoned under native plant material canopies. All disturbed areas due to construction and not part of the landscape plan shall be revegetated and irrigated including spoil piles and stockpiles of any material. Grass seed mix shall be Dryland Blend Native Grass Mixture from Plants of the Southwest or equal. Seed rate shall be 2 lbs. per 1,000 sf. Areas of natural gravel, cobble, fractured stone, and/or boulder fields shall be restored to the natural state that existed prior to construction. Grade out any damage to the natural terrain prior to the re-application of native stone material.</p>	<p>Prior to Recordation At time of building permit</p>	
<p>5. Retaining Wall / Fence: 14-8.4(J)(2)(b)(i) Any wall or fence that is more than three (3) feet above finished grade on the side facing the street, shall be set back from the street right of way line a distance equal to or greater that the height.</p>	<p>Prior to Recordation</p>	

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Date: 9/29/2025

DRT Member: Stan Holland P.E.

Dept/Div: Utilities/Wastewater

Case No.: 2025-11270 – 875 Camino Don Emilio

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

	Must be completed by:	Applicant response**:
1. Conditions of Approval: City Sewer Service is not available to serve this site. The project is to follow the requirements of Chapter 22 of the City Code for septic sewer service.	Prior to Building Permit	
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

Development Review Team (DRT) Comment Form

Date: September 29, 2025

DRT Member: Leroy Pacheco, PE and Phil Gallegos, PE (Wilson & Company)

Dept/Div: Public Works Department – Traffic Engineering

Case No.: #2025-11270 – 875 Camino Don Emilio Family Transfer

Case Planner: Alexa Hempel, LEED Green Associate, Senior Planner

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
1. None		
2.		
3.		
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. None		
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. City of Santa Fe Building Code, Chapter 23-3.2 states that before commencement of any new construction, it is mandatory for the owner to obtain approval from the Public Works Department for any driveway curb cut or sidewalk crossing. This approval must be issued before a building permit for such new construction is approved.
2. Note as the public infrastructure plans move forward to building permit, these may be subject to additional reviews and possible corrections to meet Public Works Standards for roadways, ADA, signing, striping, lighting, etc. prior to building permit approval.

Explanation of Conditions or Corrections:

Proposed family transfer creates 2 additional lots with access to a private-access easement (whose traffic impacts were not considered on private property). Traffic impacts considered were at intersection with City Public Infrastructure (W. Alameda) and the 2 additional lots will create minimal traffic impacts to West Alameda. Estimated 2 additional peak hour trips using ITE Trip generation LUC 210 (single family detached housing) for each of the 3 lots.

Form Updated: April 2024

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 10/3/2025
 DRT Member: Clinton Peterson
 Dept/Div: Public Utilities / Water Division
 Case No.: 2025-11270: 875 Camino Don Emilio Family Transfer
 Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case # 2025-11270: 875 Camino Don Emilio Family Transfer

Conditions of Approval:	Must be completed by:	Applicant response**:
1. IF Applicant would like to connect to City water, an approved Agreement to Construct and Dedicate (ACD) will be required for new fire and domestic water services	Prior to Building Permit Approval	
2. IF Applicant would like to connect to City water, an approved Water Plan will be required for all new public water infrastructure and fire services.	Prior to Public Hearing	
3. IF new easements for public utilities are required as identified on the water plan, easements will be recorded on the final plat	Prior to Recordation	
4.		
5.		
6.		

Technical Corrections:	Must be completed by:	Applicant response**:
1. Note for Applicant's information below	n/a	
2.		
3.		
4.		

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

The City of Santa Fe Water Division recognizes that this parcel falls within the County to City Annexation Area 3, and is treated as within presumptive City limits. The property boundary falls >300 ft away from an existing public water distribution main, so a domestic water well permit application is a possibility for obtaining domestic water service for the two new residential lots created by the subdivision of the Form Updated: April 2024

existing parcel per 25-1.10. If the Applicant desires public City water service, a main extension is required per Chapter 25, Exhibit A, Rule 19. This would necessitate an Agreement to Construct and Dedicate (ACD), and a water plan. For this property, it may also require the installation of a Pressure Reducing Valve (PRV) due to the location of the parcel in the overall water system. The Water Division can supply a technical evaluation to determine the details of what it would take to supply public City water service to this parcel if the Applicant desires.

Development Review Team (DRT) Comment Form for Planning Commission

Date: September 3, 2025

DRT Member: Fire Marshal Geronimo Griego

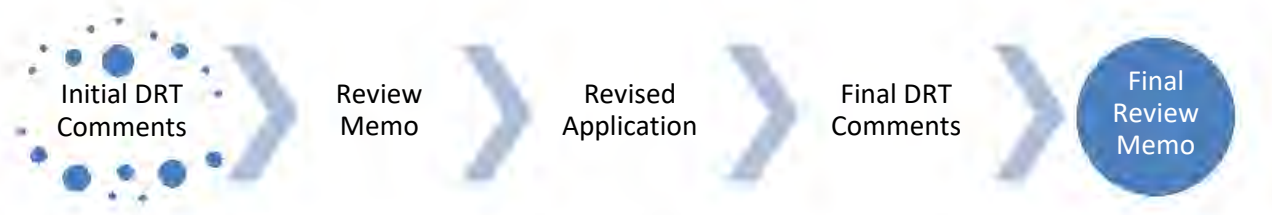
Dept/Div: Fire Marshal's Office

Case No.: 2025-11270_875 Camino Don Emilio_Fam Transfer Subdivision

Case Planner: Alexa Hempel, Senior Planner

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *At the time of development* -

Development Review Process Flow Chart



*See the 2024 Development Review Schedule for details

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Conditions of Approval:	Must be completed by:	Applicant response**:
1. Shall comply with IFC 2021 and city adopted ordinance 2024-2. Section 507. (see note below)	<i>Prior to Recordation</i>	

Technical Corrections:	Must be completed by:	Applicant Response**:

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

Explanation of Conditions or Corrections (if needed):

1. ~~Shall note on plat "Shall comply with IFC 2021 and city adopted ordinance 2024-2 Section 507."~~

Development Review Team (DRT) Comment Form

DRT Review Schedule – 9-12+ weeks*

Initial DRT Comments are due to the case planner within three weeks of the *DRT Application Intake* meeting. Initial DRT review should confirm that the application is complete (i.e. Water Budget has been submitted) and/or identify additional submittals or corrections (i.e. Water Budget needs revision). The case planner will review and convey all *Initial DRT Comments* to the applicant via a *Review Memo*. The applicant must respond to all *Initial DRT Comments* and submit a revised application for Final Review. *Final DRT Comments* are due to the case planner within two weeks of receipt of the revised application. The case planner will review and convey all *Final DRT Comments* to the applicant in a *Final Review Memo*. The complete DRT Review Timeline can range from 9-12+ weeks, depending on the complexity and quality of the application and the total number of applications under review.



Timing of Conditions of Approval + Technical Corrections

While all DRT conditions of approval and technical corrections must be met by the applicant, the timing of compliance varies. In the “Must be completed by” column in the following tables, please time your conditions of approval and technical corrections to the following development review stages:

- a. *Prior to Public Hearing* – these conditions/technical corrections must be addressed before the case may move forward to the public hearing phase of the Development Review Process.
- b. *Prior to Recordation* – these conditions/technical corrections may be resolved after the public hearing but must be addressed before the Development Plan or Subdivision plat is recorded.
- c. *Prior to Building Permit Approval* – these conditions/technical corrections can be addressed during the building permit review process, but prior to issuance of the permit.
- d. *During Construction* – these conditions/technical corrections can be addressed during construction.

Development Review Process Flow Chart



*See the *2024 Development Review Schedule* for details

DRT Review Timeline:

Application Received	DRT Application Intake	DRT Initial Review Comments Due

Date: 9/29/2025

DRT Member: Paul A. Duran

Dept/Div: Land Use/ HPD

Case No.: #2025-11270

Case Planner: Alexa Hempel

Conditions of Approval and Technical Corrections Tables

Review by this division/department has determined that this application will meet applicable standards if the following Conditions of Approval and Technical Corrections are met:

Case #

Conditions of Approval:	Must be completed by:	Applicant response**:
<p>1. (3)Suburban Archaeological Review District</p> <p>2. In this district, an archaeological clearance permit shall be required prior to approval of the final development plan or plat for the following projects:</p> <p>3.</p> <p>4. (a)All annexations, rezonings, subdivisions, planned unit developments , or other development requiring approval by the Planning Commission, having over ten (10) acres</p> <p>5. (b)All city projects over two (2) acres in size.</p> <p>6. (c)All city park projects over one (1) acre in size.</p> <p>(4) Utility Mains An archaeological clearance permit is required for new construction of sewer mains or main lines of other utilities such as telephone lines, gas lines, and fiber optics, including the entire construction easement:</p> <p>(a) With an extension of sixty (60) feet or more if the main is in the historic downtown archaeological review district;</p> <p>(b) With an extension of five hundred fifty (550) or more if the main is in the river and trails or suburban archaeological review district.</p>	<p>Proposed development is under 10 acres and no further review required unless utility plan exceeds 550-linear feet of utility lines.</p>	
7.		
8.		
9.		
10.		
11.		

Technical Corrections:	Must be completed by:	Applicant response**:
1.		
2.		
3.		

4.		
----	--	--

**The Applicant must respond to the condition of approval or technical correction, indicating they have met the requirement and providing a reference in their revised submittals. If the applicant has not met the requirement, they must indicate as much and provide a response.

The applicant should be aware that the following code provisions or other requirements will apply to future phases of development of this project:

1. [list any additional items]
- 2.

Explanation of Conditions or Corrections (if needed):

(see following pages for notes required)

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2026-11784

315 Sena St Certificate of Compliance

Owner/Applicant's Name – 315 Sena St, LLC

Agent's Name – Charles Henry of Friedman, Walcott, Henry, and Winston, LLC

THIS MATTER came before the Planning Commission (“Commission”) for hearing on March 5, 2026 upon the application (“Application”) of Charles Henry of Friedman, Walcott, Henry, and Winston, LLC, agent for 315 Sena St, LLC (“Applicant”).

The Applicant requests the Commission’s approval of a certificate of compliance for a legal lot of record for a property located at 315 Sena St (“Property”), which is approximately 4,006 sq ft, and is zoned R-21 (Residential 21-dwelling units per acre).

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. The Santa Fe City Code (“SFCC”) 1987 Section 14-2.1.B sets out certain procedures to be followed on the Application, including, without limitation, compliance with notice and public hearing requirements [SFCC 1987 § 14-2.1.B.3.V].
2. At the Hearing, the Commission received reports from staff, and testimony and evidence from the Applicant. No members of the public offered public comment at the hearing.
3. Once the Chair closed the Public Hearing, the Commission discussed a motion and voted to approve the certificate of compliance.
4. SFCC 1987 Section 14-2.1.E.1.XI.c establishes certain procedures for certificate of compliance approval, including that the Commission follow the procedures required for a final subdivision plat as well as those for any variances requested.
5. The Commission finds that the certificate of compliance does not create any nonconformities or increase the extent of any existing nonconformities, and no variances or exceptions are requested or needed for the Property.
6. A certificate of compliance for a legal lot of record will be recorded with the County Clerk as a separate document and signed by the appropriate city officials.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Commission CONCLUDES as follows:

1. Pursuant to SFCC 1987 Section 14-2.1.E.1.XI, the Commission has the authority to review and approve the Project subject to any conditions of approval to ensure compliance with applicable standards of Chapter 14.
2. Pursuant to SFCC 1987 Section 14-2.1.E.1.XI, the Commission finds that while the Property was altered in violation of procedural requirements of SFCC 1987 Section 14-2.1.E, the Property complies with Chapter 14 and does not create any new nonconformities or increase the extent of existing nonconformities. No variances or exceptions are requested or needed.
3. Pursuant to SFCC 1987 Section 14-2.1.B, all procedural requirements regarding public notice have been met. The Applicant gave notice by posting one (1) sign on the property and mailing notice to all tenants, property owners, and neighborhood associations within 300 ft of the Property. The Applicant also emailed notice to neighborhood associations with 300 ft of the Property.
4. The Applicant met the applicable Submittal Requirements.
5. The Commission approves the requested certificate of compliance because the applicable code requirements and criteria for approval have been addressed.

WHEREFORE, IT IS ORDERED ON THE 16th DAY OF APRIL 2026 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

Considering the foregoing findings and conclusions, the Commission approves the certificate of compliance as requested in the Application for Case #2026-11874.

Janet Clow
Chairperson

Date

FILED:

Geraldyn F Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

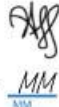

Date


City of Santa Fe, New Mexico

memo

DATE: April 7, 2026

TO: Planning Commission (Consent Agenda)

VIA: Land Use Director, Heather Lamboy AICP ,
Maggie Moore, Assistant Land Use Director 
Daniel A Esquibel, Planner Manager 

FROM: Claudia Kath, Senior Planner, Current Planning Division 

Case #2026-012157. 507 and 511 Paseo de Peralta Development Plan Time Extension. Marisol Ortiz, Agent, Peralta’s Walk, LLC, Applicant (Owner), Request Development Plan approval to construct a 9-dwelling unit multi-family development on two lots totaling 10,441 sq.ft. on 0.56 acres. The 507 Paseo de Peralta property (4,235 sq.ft. on 0.18 acres) is zoned BCD (Business Capitol District) in the Marcy subdistrict. The 511 Paseo de Peralta property (6,212 sq.ft. on 0.37 acres) is zoned R-21 (Residential 21 dwelling units per acres). Both properties are in the Downtown and Eastside Historic District and the Historic Downtown Archaeological District.

I. RECOMMENDATION

The Land Use Director has **APPROVED** the applicant’s request for a one-year, first time extension. This approval is being reported to the Planning Commission in accordance with SFCC Section 14-2.1.B1.5.VII.

II. APPLICATION OVERVIEW

The 507 and 511 Paseo de Peralta Development Plan approval consists of a 9-dwelling unit multi-family development on two lots totaling 10,441 sq.ft. on 0.56 acres. The Agent states that the extension is necessary to allow the owner sufficient time to obtain a financial guarantee letter that has taken more time than anticipated due to development costs. The financial guarantee is in the process of being completed.

The following provides a timeline of the history of 507 and 511 Paseo de Peralta Project development approvals:

- April 6, 2023 – Development Plan Approval by the Planning Commission – expiring April 6, 2026
- March 23, 2026 – 1st Time Extension Request submitted by Applicant

As stated in the approval criteria, the administrative extension may not approve revisions to the development or amendments to the conditions of approval. If any amendment, or change to the conditions of approval were requested, those requests would need to be considered by the Planning Commission through the full public hearing process, including the requirement of an Early Neighborhood Notification (ENN) meeting.

III. APPROVAL CRITERIA

Section 14-2.1.B1.5.VII SFCC 1987 Time Extensions

- b. Administrative Extensions
 - 1. The Planning and Land Use Director may approve two consecutive extensions to the time limits for an approved development, each not to exceed one year.
 - 2. Approval shall be based on review of the findings and conditions of approval of the original final action and a finding by the Planning and Land Use Director that no substantive changes have occurred to the regulations or policies that apply to the development or to the circumstances affecting the site and its vicinity.
 - 3. The administrative extension shall not approve revisions to the development or amendments to the conditions of approval, and no early neighborhood notification is required.
 - 4. Administration time extensions approved by the Planning and Land Use Director, pursuant to this subsection, for development approvals that were granted by the Planning Commission or the Governing Body, are subject to review by the Planning Commission. The Planning and Land Use Director shall identify the action taken and place it on a consent agenda for the Planning Commission with the applicant's written application and the Planning and Land Use Director's written proposal. The Planning Commission may accept, reject or modify the proposal.


IV. ATTACHMENTS:

ATTACHMENT A: Findings of Fact Conditions of Law – April 6, 2023

ATTACHMENT B: Planning Commission Minutes - March 2, 2023

ATTACHMENT C: Applicant Time Extension Request Letter – March 23, 2026

ATTACHMENT D: Final Development Plan drawings

Signature: 

Email: hllamboy@santafenm.gov

Signature: 

Email: daesquibel@santafenm.gov

Signature: Maggie Moore

Maggie Moore (Apr 9, 2028 15:30:33 MDT)

Email: mrmoore@santafenm.gov

Signature: Claudia Kath

Claudia Kath (Apr 9, 2028 16:50:23 MDT)

Email: cmkath@santafenm.gov

City of Santa Fe, New Mexico

Attachment A

Findings of Fact and Conclusions of Law

**City of Santa Fe
Planning Commission
Findings of Fact and Conclusions of Law**

Case #2023-6271**507 and 511 Paseo de Peralta Development Plan****Owner/Applicant's Name – Peralta's Walk LLC**

THIS MATTER came before the Planning Commission (Commission) for a public hearing on March 2, 2023, (Hearing) upon the Application (Application) of Bradyn Furry, Agent for Peralta's Walk LLC (Applicant).

The Applicant seeks the Commission's approval of a Development Plan to Bradyn Furry, Agent, for Peralta's Walk, LLC, Owner, requests a development plan approval for a 9-dwelling unit development on two lots totaling 10,447 sq. ft. on 0.563 acres. The 507 Paseo de Peralta property (4,235 sq. ft. on 0.185 acres) is zoned BCD (Business Capitol District) in the Marcy subdistrict. The 511 Paseo de Peralta Property (6,212 sq. ft. on 0.378 acres) is zoned R-21 (Residential 21 dwelling units per acre). Both properties are in the Downtown and Eastside Historic District and the Historic Downtown Archaeological District.

After conducting a public hearing and having heard from staff and all interested persons, the Commission hereby FINDS, as follows:

FINDINGS OF FACT

1. Under the Santa Fe City Code (SFCC) 1987 Section 14-3.8(B)(3)(b), a development plan is required for proposed development with a "gross floor area of ten thousand square feet or more in a residential district or in the C-1, C-2, C-4, BCD, HZ, I-1, I-2, BIP, PRRC, RS, SC or MU district and is within two hundred (200) feet, including public rights of way, of RR, R-1 through R-6, R-7, R-7-I, R-8, R-9, RC-5, RC-8, R10, R-12, R-21, R-29, RAC, AC, PRC and MH districts;"
2. Per SFCC §14-7.2(F) Increase in Maximum Density in R-12, R21 and R-29 Districts, adopted by Ord. No. 2013-16 § 41, the portion of the Development Plan zoned R21 at 511 Paseo de Peralta is required to request approval from the Planning Commission for a density above 10 dwelling units per acre as allowed in Table 14-7.2-1 Table of Dimensional Standards for Residential Districts.
3. SFCC 1987 Section 14-3.1 sets out certain procedures to be followed on the Application, including, without limitation, (a) a pre-application conference [SFCC 1987 § 14-3.1(E)]; (b) an Early Neighborhood Notification (ENN) meeting [SFCC 1987 § 14-3.1(F)(2)(a)(iv)]; and (c) compliance with notice and public hearing requirements [SFCC 1987 § 14-3.1(H)-(I)].
4. A pre-application conference was held on April 14, 2022, in accordance with SFCC 1987 Section 14-3.1(E)(1).
5. Pursuant to SFCC 1987 Section 14-3.1(H), notice of the ENN meeting was properly given.
6. The Applicant conducted a virtual ENN meeting on December 5, 2022. The ENN meeting was attended by a representative of the Applicant, City staff and members of the public.
7. SFCC 1987 Section 14-3.8(C)(1) requires applicants for development plan approval to submit certain plans and other documentation that show compliance with applicable provisions of the Code (Submittal Requirements).
8. City Land Use Department staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Code requirements and provided the Commission with a written report of its findings (Staff Report).

9. Staff recommended that the Commission approve the Development Plan, subject to certain conditions of approval and technical corrections set forth in the Staff Report and attached exhibits.
10. The information contained in the Staff Report and exhibits is sufficient to establish that the Submittal Requirements have been met.
11. SFCC 1987 Section 14-3.8 establishes certain procedures for development plan approval including, without limitation, a public hearing by the Commission and a decision based on the criteria set out in SFCC 1987 Section 14-3.8(D).
12. At the Hearing, the Commission received reports from staff, testimony and evidence from the Applicant, and testimony offered by any interested members of the public prior to making a decision.
13. SFCC 1987 Section 14-3.8(D)(1) sets out approval criteria and requires the Commission to make complete findings of fact sufficient to show that these criteria have been met before a development plan may be approved.
14. SFCC 1987 Section 14-7.2(F) sets out factors that shall be considered by the Commission in evaluating the proposed increase in maximum density.
15. At the Hearing, staff read into the record a correction to 'technical correction 41' found in Exhibit A of the staff report. Technical Correction 41 should read, "Provide proof and certification of the structural stability of the concrete block retaining wall and CMA retaining wall along the north and east sides of the property from a structural engineer."
16. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(a), the Commission finds that it is empowered to approve the development plan under SFCC 1987 Sections 14-2.3(C)(1) and 14-3.8(B)(4).
17. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(b), the Commission finds that approving the development plan for the Project, subject to the conditions and technical corrections in the staff report, will not adversely affect the public interest.
18. Pursuant to SFCC 1987 Section 14-3.8(D)(1)(c), the Commission finds that the use and any associated buildings are compatible with and adaptable to buildings, structures, and uses of the abutting property and other properties in the vicinity of the Project. The size and scale of the existing buildings are compatible with surrounding properties. The Development is a compatible infill project. The mix of architecture in the area and proposed building architecture is a range of Pueblo/ Pueblo revival /modern vernacular with similar attributes found throughout the area.
19. Under SFCC 1987 Section 14-3.8(D)(2), the Commission is authorized to specify conditions of approval for a development plan that are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
20. The Commission finds that the conditions and technical corrections set out in the Staff Report and exhibits are well founded and are necessary to accomplish the proper development of the area and to implement the policies of the general plan.
21. The Commission finds that the Applicant shall comply with the following condition that was read into the record by staff, in addition to those set forth in the Technical Corrections listed in Exhibit A: Under condition # 41: Staff requests proof and certification of structural stability of the concrete block retaining wall along the north and east sides of the property.
22. The Commission finds that the Applicant has met the requirement of the Historic Districts Review Board by receiving approval from the Historic Districts Review Board in 2018 under case H-14-034 and with two one-year extensions, and that the approval through the Historic Districts Review Board expires in June of 2023.
23. Under SFCC 1987 Section 14-3.8(A), approving the proposed Development Plan furthers the purpose and intent of providing plans for development, ensuring compliance with Chapter 14, and facilitating the documentation of future compliance with the approved plans.

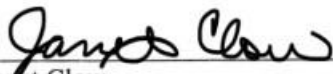
CONCLUSIONS OF LAW

Under the circumstances, and given the evidence and testimony submitted during the public hearing, the Commission CONCLUDES as follows:

1. The Commission has the authority under Chapter 14 of the SFCC to review and approve the Applicant's proposed Development Plan subject to conditions.
2. The Applicant has complied with the Submittal Requirements.
3. The Applicant is able to comply with the Conditions.
4. Based on the factors contained in SFCC 1987 Section 14-7.2(F), the increase in maximum density shall be approved.
5. The development plan should be approved subject to the conditions recommended by staff because all applicable code requirements and criteria for development plan approval have been met.

WHEREFORE, IT IS ORDERED ON THE 6th DAY OF APRIL 2023 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE:

The Development Plan for the Project is approved, subject to the conditions of approval and technical corrections set forth in the Staff Report and exhibits. The Development Plan shall expire three years after issuance of this final action unless actual development of the site or off-site improvements has begun and is continued pursuant to SFCC 1987 Subsection 14-3.19(B)(6) or a time extension is granted pursuant to SFCC 1987 Section 14-3.19(C).



Janet Clow
Chairwoman

4/13/23
Date

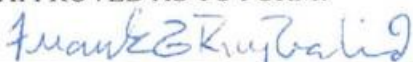
FILED:



Kristine Bustos-Mihelcic XIV
City Clerk

4/13/2023
Date

APPROVED AS TO FORM:



Frank Ruybalid
Assistant City Attorney

Apr 11, 2023
Date

City of Santa Fe, New Mexico

Attachment B

Planning Commission Minutes - March 2, 2023

**SUMMARY INDEX
PLANNING COMMISSION MINUTES
MARCH 2, 2023**

ITEM	ACTION TAKEN	PAGE(S)
A. Roll Call	Quorum Present	2
B. Pledge of Allegiance	Recited	2
C. Approval of Agenda	Approved, as amended	2-3
D. Approval of Minutes February 2, 2023	Approved	3
E. Findings & Conclusions		3
F. Old Business		4
G. New Business		
1. Chapter 14 Text Amendment.	Postponed	4
2. Case #2022-6201. Windmill Hill	Postponed	5
3. Case #2022-6202 "	"	
4. Case #2023-6271. 507 and 511 Paseo de Peralta Development		5-8
5. Case #2022-4942. 2339 Botolph Road Rezoning	Approved	8-15
H. Staff Communications	Comments	3-4
I. Matters from the Commission	None	15
J. Adjournment	Adjourned at 7:56 pm	15

MINUTES OF THE CITY OF SANTA FE PLANNING COMMISSION
Thursday, March 2, 2023 - 6:00 pm

CALL TO ORDER

A regular meeting of the City of Santa Fe Planning Commission was called to order by Chair Clow on the above date at approximately 6:00 p.m. in the Council Chambers at City Hall, 200 Lincoln Avenue, Santa Fe, NM.

A. ROLL CALL

Roll Call indicated the presence of a quorum for the meeting.

Members Present

Chair Janet Clow
Secretary Peter Smith
Commissioner Phil Lucero
Commissioner Gurushabad Mirando
Commissioner Dan Pava

Members Absent

Vice Chair Jessica Lawrence
Commissioner Pilar Faulkner
Two Vacancies

Others Present:

Mr. Jason Kluck, Land Use Director
Ms. Maggie Moore, Planning Manager
Ms. Patricia Feghali, Assistant City Attorney
Ms. Melissa D. Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Land Use Department.

B. PLEDGE OF ALLEGIANCE

Commissioner Lucero led the Pledge of Allegiance.

C. APPROVAL OF AGENDA

Director Kluck said Item 1 will be postponed until April 6 and staff would like to amend the agenda to hear staff communication after approval of the Findings and Conclusions.

MOTION: Commissioner Pava moved, seconded by Commissioner Smith, to approve the agenda, as amended.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Miranda and Pava voting in favor and none voting against.

D. APPROVAL OF MINUTES

February 2, 2023

MOTION: Commissioner Lucero moved, seconded by Commissioner Pava to approve the minutes of February 2, 2023 as presented.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Miranda and Pava voting in favor and none voting against.

E. APPROVAL OF FINDINGS/CONCLUSIONS

1. Case #2022-6015. LKS Multifamily Apartment Complex Development Plan.

MOTION: Commissioner Pava moved, seconded by Commissioner Smith to approve the findings of fact and conclusions of law for Case #2022-6015.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Miranda and Pava voting in favor and none voting against.

2. Case #2022-6141. 2868 Rufina Development Plan.

MOTION: Commissioner Lucero moved, seconded by Commissioner Miranda to approve the findings of fact and conclusions of law for Case #2022-6013.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Miranda and Pava voting in favor and none voting against.

3. Case #2022-6136. 4250 Cerrillos Road Residence Inn Development Plan

MOTION: Commissioner Smith moved, seconded by Commissioner Pava to approve the findings of fact and conclusions of law for Case #2022-5899.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Miranda and Pava voting in favor and none voting against.

H. MATTERS FROM THE STAFF

Daniel Alvarado gave a presentation on the Land Development Code update, attached as Exhibit 1.

Commissioner Pava asked how the Development Code Update will coordinate with the General Plan Update.

Mr. Alvarado said there will be three phases to the update. Phase 1 is the foundations phase, structural changes that make the Code overall, more usable. Some substantive things such as design and density standards, etc. will happen in Phase 2. About the same time, they will start the process for the General Plan update. The resolution will be introduced to the Governing Body at their next meeting. Once approved staff will put out an RFP for the General Plan to get a consultant on board. The first phase will take about 18 months and Phase 2 around 2 years. The teams for the update and General Plan will work together. The goal is that the General Plan outcome will inform Phase 3 of the Code rewrite, which identifies everything in the General Plan that needs to be changed in the Code. They hope to coordinate the General Plan coming in about Phase 3 to establish goals that can be implemented through the Code.

Commissioner Pava said it is very important for the development Code to be consistent with the General Plan.

Chair Clow asked staff to provide the Commission with copies of the slides.

F. OLD BUSINESS

None

G. NEW BUSINESS

1. **Chapter 14 Text Amendment. Chapter 14 Authority for HDRB to Approve Exceptions.** An ordinance relating to the Land Development Code, Chapter 14 SFCC 1987; amending various sections to grant authority to the Historic Districts Review Board (HDRB) to grant exceptions to Section 14-5.2, Historic Districts Overlay. (Heather Lamboy)

Postponed to April 6, 2023.

2. **Case #2022-6201. Windmill Hill at Las Placitas Compound Preliminary Subdivision Plat.** Liaison Planning, agent for Michael Blum, requests Preliminary Subdivision Plat approval for three single family residential lots on 1.48± acres. The property is located at 623½ Garcia Street, and is zoned R-3 (Residential, three dwelling units per acre). The property is within the Downtown & Eastside Historic District and River & Trails Archeological Review District. (Lani McCulley) **(POSTPONED TO APRIL 6, 2023)**

3. **Case #2022-6202. Windmill Hill at Las Placitas Compound Variance.** Liaison Planning, agent for Michael Blum, requests a variance to reduce the minimum street width from 38 feet to the width of existing access easements of 29 feet and 20 feet. The property is located at 623½ Garcia Street, and is zoned R-3 (Residential, three dwelling units per acre). The property is within the Downtown & Eastside Historic District and River & Trails Archeological Review District. (Lani McCulley) **(POSTPONED TO APRIL 6, 2023)**

4. **Case #2023-6271. 507 and 511 Paseo de Peralta Development Plan.** Bradyn Furry, Agent, for Peralta's Walk, LLC, Owner, requests a development plan approval for a 9-dwelling unit development on two lots totaling 10,447 sq. ft. on 0.563 acres. The 507 Paseo de Peralta property (4,235 sq. ft. on 0.185 acres) is zoned BCD (Business Capitol District) in the Marcy subdistrict. The 511 Paseo de Peralta Property (6,212 sq. ft. on 0.378 acres) is zoned R-21 (Residential 21 dwelling units per acre). Both properties are in the Downtown and Eastside Historic District and the Historic Downtown Archaeological District. (Lani McCulley, Case Manager)

Attorney Feghali recused herself from the case noting that Attorney Ruybalid would take her place in this case.

EXECUTIVE SUMMARY

The Applicant requests approval of a development plan for approximately 0.18 acres zoned BCD and approximately 0.37 acres zoned R-21 for a total project size of approximately 0.56 acres. The proposed project includes 9 condominiums in three, two-story buildings. The western tract is zoned BCD Marcy (507 Paseo de Peralta) and consists of 4,919 sq. ft. of roofed area and 5,624 sq. ft. of gross floor area. The eastern tract is zoned R-21 (511 Paseo de Peralta) and consists of 7,774 sq. ft. of roofed area and 8,166 sq. ft. of gross floor area combined in two buildings. The overall project roofed area will be 12,693 sq. ft. with a gross floor area of 13,790 sq. ft. The proposed site design includes open space and amenities such as landscaped courtyards and a swimming pool.

The project is located in the Downtown and Eastside Historic District and received approval from the Historic Districts Review Board in 2018 under case H-14-034 and has been issued two one-year extensions. The approval through the Historic Districts Review Board expires in June of 2023.

Per SFCC §14-7.2(F) *Increase in Maximum Density in R-12, R21 and R-29 Districts*, adopted by Ord. No. 2013-16 § 41, the portion of the Development Plan zoned R21 at 511 Paseo de Peralta must request approval from the Planning Commission for a density above 10 dwelling units per acre as allowed in Table 14-7.2-1 *Table of Dimensional Standards for Residential Districts*. In evaluating the proposed increase in maximum density, the Planning Commission may consider the following factors:

- (a) if the future land use designation shown on the general plan is high density residential;
- (b) the need for the increased density ; however, financial gain or loss shall not be the sole determining factor;
- (c) if the increased density is needed to make the proposed development more affordable, what level of affordability will be provided and how that affordability will be guaranteed long term;
- (d) densities of existing developments in the vicinity; and
- (e) impacts of the increased density on the neighborhood and the community so that the increased density does not significantly interfere with the enjoyment of other land in the vicinity and is consistent with the spirit of Chapter 14 and in the general public's interest.

The Applicant proposes 5 dwelling units on .37 acres or approx. 13.5 dwelling units per acre. Without approval from the Planning Commission the applicant would only be allowed to develop at 10 dwelling units per acre or 3 dwelling units on .37 acres. A discussion of these factors is found in Section V. c. Increase in Maximum Density in R-21 of this Report.

The Applicant has complied with all applicable subsections of SFCC §14-3.1 General Provisions (Table 2). The City's Development Review Team (DRT) reviewed the Application for compliance with applicable City Code sections (Exhibit A). Staff's analysis identifies the Application has satisfied Development Plan Approval Criteria in accordance with SFCC §14-3.8(D), subject to conditions of approval and technical corrections in this report and attached as Exhibit A.

STAFF RECOMMENDATION

The Planning and Land Use Department recommends approval of the Development Plan with the conditions of approval as outlined in this report.

Staff requires one change to the conditions of approval which is to include retaining walls along the north and east sides.

APPLICANT PRESENTATION

Bradyn Furry, PO Box 238 Santa Fe, NM 87504, was sworn. He said they meet all the requirements for the two buildings; 507 is the BCD and 511 for R21 zoning. There is a request for an increase in the building at 511 but everything is within height and size limitations. The open space provided is more than what is required, and parking is between the two lots and an agreement is in place. They want to take the two lots and fill them with construction for easy access by residents and more walkable amenities. The staff's presentation covered almost everything else.

Commissioner Miranda asked Mr. Furry to summarize the HDRB's findings and whether there were conditions of approval.

Mr. Furry said the HBoard limited them to the standard historic requirements such as the stucco color blending with the surrounding area and using true divided lights. He said there were no other conditions of approval.

Commissioner Pava confirmed these would be condominiums for owner occupancy. He asked if short-term rental is prohibited or if there are covenant restrictions.

Mr. Furry did not have an answer. He said that will be determined by the HOA once their bylaws and covenants are drawn up.

Commissioner Pava said given there were 14 total spaces, he asked if there were accommodations for overflow parking.

Mr. Furry said only the minimum requirement is required for parking for the two lots. Additional parking would have to be found in the area.

Commissioner Smith confirmed that the Historic Board required the applicant to meet the historic code in terms of color and building consistency.

Mr. Furry said yes, and the Board included a stipulation that an existing rock wall must remain in place on the 511 property.

PUBLIC HEARING

Stefanie Beninato, PO Box 1601, was sworn. She had concerns there would not be enough parking. She asked the location of the parking lot. Also, if the HOA allowed short-term rentals there is no condition of development. She asked if affordable housing was required in the condominiums.

There being no further comments, Chair Clow closed the public hearing.

COMMISSION DISCUSSION

Commissioner Smith asked staff to respond to the questions on short-term rentals and affordable housing.

Ms. McCully said there are only 9 units, so this does not require affordable housing and the applicant is paying the fee.

Commissioner Smith said if the purpose of the project is to bring housing downtown, short-term rentals would not be congruent.

Attorney Ruybalid said for someone who wants to convert a unit into a short-term rental there is a separate process. It requires an application, and he doesn't know of any application for that in this case. In addition, a conversion would require a notification with

signs posted and registered mail to area residents. He said he couldn't say that will not be done but there is a full process required for short-term rentals.

Commissioner Smith asked if the City has an opportunity to preemptively comment on such a development and deny short-term rentals.

Attorney Ruybalid said he knew of none. He indicated he saw Director Kluck also confirming there is none.

Commissioner Pava said he read in the staff report about a pool.

Ms. McCully explained it is in the courtyard of 511 between the two buildings.

Commissioner Mirando said he appreciated that there is concealed parking in the application because that improves the streetscape overall.

MOTION: In Case #2023-6271, 507 and 511 Paseo de Peralta development plan, Commissioner Pava moved to approve with conditions of approval as outlined in the staff report. Commissioner Mirando seconded the motion.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Mirando and Pava voting in favor and none voting against.

5. **Case #2022-4942. 2339 Botulph Road Rezoning.** Shelley Espinoza, Owner, requests rezoning per Chapter 14 SFCC 1987, 14-3.5 "Rezoning" from R-1 (Residential: one dwelling unit per acre) to R-2 (Residential: two dwelling units per acre) for a 1.41-acre lot. The property is located within the Suburban Archeological Review Districts.(Dan Esquibel, Case Manager)

Attorney Feghali returned to the meeting.

EXECUTIVE SUMMARY

This matter came before the Planning Commission on May 5, 2022. The decision of the Planning Commission was to recommend the Governing Body approve the rezoning request. However, while developing the application for Governing Body review it was discovered that the Applicant failed to comply with 14-3.1(H) "Notice Requirements". The failure to comply with Subsection 14-3.1(H) requires a new hearing by the Planning Commission of Case #2022-4942, 2339 Botulph Road Rezoning.

Shelley Espinoza, representing herself (Applicant), has satisfied the notice requirements per 14-3.1(H) "Notice Requirements" and is again requesting rezoning from R-1 (Residential: one dwelling unit per acre) to R-2 (Residential: two dwelling units per acre) for +/- 1.41-acres (Project).

Much of this report and attachments are the same as presented to the Planning Commission on May 5, 2022, except for the Applicant's responses to Section 14-3.S(A) and (C) SFCC 1987 which sets forth approval criteria for rezoning requests.

The subject property is a legal lot of record approved by the City and Recorded in the Office of the Santa Fe County Clerk on May 12, 2016.

The Applicant has complied with Subsections 14-3.I(E) "Pre-Application Conferences," 14-3.I(F) "Early Neighborhood Notification Procedures," and 14-3.I(H) "Notice Requirements."

Staff's analysis finds that the Applicant has satisfied Subsection 14-3.S(C) "Approval Criteria" for the rezoning requests.

STAFF RECOMMENDATION

The Planning Commission should recommend that the Governing Body approve Case #2022-4942.

Commissioner Pava asked if this is a de novo application for rezoning.

Mr. Esquibel said it was and the applicant is starting over. The applicant failed to meet the notice criteria and the previous meeting was nullified. He explained it is the same application that will be heard again because it was nullified.

Attorney Feghali clarified this is a continuation of the same case with a new application. The property and the requests are the same, but some of the questions and information is different.

Commissioner Pava asked to clarify that there were errors in the original submittal, and this is a resubmittal in accordance with the process in Chapter 14.

Attorney Feghali said that was correct that the notice was not properly given the first time and it is now.

Director Kluck clarified that the application did not have errors; the applicant provided additional information.

Commissioner Pava said the applicant did the correct thing by withdrawing the application to revise it. He confirmed there are no rules or restrictions preventing that.

APPLICANT PRESENTATION

Shelly Espinosa, 27 Coyote Pass, Santa Fe, was sworn. She thanked Mr. Esquibel and Ms. Moore for their work on the case. She said she wanted to emphasize some key points. Her application proposes rezoning from R1 to R2 for an eventual lot

split which is consistent with a long-standing plan for a future designation from R-1 to R-3. What is proposed is allowed under the City ordinance and consistent with the General Plan. She noted that the General Plan emphasizes opportunity for housing for all incomes of the population in all areas. It restricts large-lot housing and promotes strategies to achieve residential including simple lot splits. She said the opponents to her request cannot continue to object to a need of higher density when a large acreage in the city is underutilized. Many people commute more than two hours a day to Santa Fe to work in jobs that benefit Santa Fe. Affordability and availability of housing is out of reach for many and Resolution 2015-65 known as the Residents Bill of Rights was composed by citizens throughout the City. The resolution directs staff to seek solutions to the affordable housing crisis and provide a framework. Santa Fe leads the nation with innovative, progressive housing policies and the Governing Body wants to build on that legacy. The 2011 Analysis of Impediments to Fair Housing Choice Report found that one third felt discriminated against in housing transactions. Her property is not within a Neighborhood Overlay District or a defined neighborhood boundary. There are no distinctive characteristics identified for preservation. The opponents' refusal to accept the City's long-term policies and vision should not affect this body or the Governing Body's decision. She asked that the Commission recommend rezoning to R2 to the Governing Body.

Commissioner Lucero said this is one of the properties separating East and West Zia. There is a utility easement to the southeast that has become a transit corridor.

Ms. Espinosa stated that her property has no easement.

Commissioner Lucero said there had been a lot of public comment and concern that the transit corridor might be reopened. He asked her to respond to that potential issue.

Ms. Espinosa said as a single person she does not want people walking across her property. And she does not want to deal with people who might be less respectful. She indicated that her neighbor has had problems with people going into her shed.

PUBLIC HEARING

Tom Noble, 2255 Old Arroyo Chamiso Road, was sworn. He lives within 300 feet of the property and has been there for 45 years. He read from a letter written by John Tiano that was included in the Commission packet a year ago. Mr. Tiano lives on property adjoining this property to the south. Mr. Tiano said in his letter, *there has to be a point in which this type of development is contained, and a boundary is set to preserve and maintain the beauty and value of the original neighborhood and the traditional family homes* and their character. He said he has been trying to make the arroyo a natural boundary on the north side and R-1 areas to the south. He read from the letter, "to allow the rezoning of 2339 Botulph would be opening a slippery slope". Mr. Tiano thought it imperative the current zoning is maintained.

Mr. Noble noted that Sol y Lomas has existing protective covenants that the lots will be one acre. On the west side of Botolph there was no master plan to benefit from. He thought the west side has the most right to be preserved, as the older neighborhood. He noted that Mr. Tiano's letter stated the residents had no "ill-will" against the current owner. He also read out of a letter written by Jane Chavez who lives across the street. She said, "The Jose Chavez family bought our property on Botolph where we lived over 49 years." The 14 acres was eventually subdivided to one acre or greater lots. Ms. Chavez said rezoning to R2 does not show respect or sensitivity for the surrounding area. Santa Fe should preserve its history. Her letter concluded by saying that she took exception to the applicant saying she wants the zoning for family reasons. She said the applicant never lived on the property and bought the property in 2018.

Mr. Noble pointed out the applicant put the house on the market in 2021 but it never sold. He said it was then that the applicant decided to live at the property with her family. Originally the city agreed there should be no change to the neighborhood character and the neighborhood wants to maintain that. Secondly is the issue of affordability and the good of the community. He said listening to the neighborhood it is clear what is good for the community is to leave zoning the way it is. He said this small piece of land will never qualify as affordable housing. Lastly, he said the R2 zoning north of the arroyo had been a mistake and he didn't see that would become a problem 22 years later.

Steven Farber, 2351 Botolph Road, was sworn. He said he should not be at the meeting tonight because his stepdaughter had died. When he learned about this rezoning effort he communicated a lot with the Land Use Department. He explained his communication with land use on February 14 and 15th and 26th did not involve the substance of the case. It was on administrative issues. He has submitted copies of the correspondence to the Chair of the Planning Commission that he asked to be part of the record. He also asked for the opportunity to cross-examine Ms. Moore, Mr. Esquibel and Mr. Kluck on the issues raised. He said we have been opposed to the rezoning even in June 2022. He said there were inaccuracies in the City's report on the Planning Commission hearing date among many others. He has not had time to create a Power Point of the area and the property and why the rezoning is ill advised and inappropriate. However, he followed the new procedures on what residents should do to provide a submission for Planning Commission review. There have been changes in the process on the submission of documents. Attachments are limited in size and quantity. He said he relied on the City to present the information in the manner in which he submitted it. He checked online and the information is garbled and the attachments are not related to the public comments with which they were submitted. All of that is a violation of due process of law. He said everything is out of order on his attachments. The first 20 things are depositions he took because he was concerned there was no proper documentation. There are mischaracterizations and misstatements that he believed are tampering with evidence. There were attachments associated with May 5th, 2022, and there was no agenda item for this on that day. He said he knew this is not appropriate, proper, or legal because his public comments were included and those had not been submitted until May 25th, 2022. He feels it is his responsibility to ensure an open and transparent government.

Mr. Noble, previously sworn, said he found that in May 2022 a report was prepared but never disclosed to the Planning Commission or the public and in the June 2022 meeting the Planning Department recommended that the Planning Commission deny the request for rezoning. He found those documents after he had filed a petition. He took the time to read through 800 pages and found it in the public comments. He said there was a gap in communication and then criteria were developed which is supposed to be advantageous to the community as a whole. He said code requires balancing everything and that did not happen at the June meeting. He noted the letter from Mrs. Rubenstein, the neighbor directly to the east, who will be impacted by the rezoning.

Chair Clow noted that Ms. Rubenstein's letter was included in the record.

Mr. Farber, previously sworn, commented on Ms. Rubenstein's property and the impact if rezoning is allowed. There is an incredible burden for her to get to her property and she is very upset. Landowners to the south of the arroyo object to the zoning. The city was not forthcoming in disclosing records and the neighborhood now knows what was presented last year was not factual or accurate. That the Commission met on May 5th indicated a certain level of inattentiveness and inaccurate information. The Commissioners last year made the motion without discussion or debate to approve this. He pointed out they were new commissioners at that time. He recalled Commissioner Pava saying *small rezonings carry large issues*. He thought this boils down to the balancing criteria in the Code on the advantage to the community to grant rezoning. He said damage will be done if the rezoning is granted and it is not to the advantage of the neighborhood as stated in Code. He requested the Planning Department work on the submittal process to ensure the public comment process is accurate and makes sense.

Mr. Farber said he requested to cross-examine.

Chair Clow said her understanding is that the City Attorney recommends there be no cross-examination on the record. She said the Commission relies on the recommendation of the City Attorney.

Mr. Farber said throughout his career he relied on the Chair in such circumstances and respects that. He said he did want to acknowledge that he thought his due process of law had been violated.

Roxanne Yogum, 119 Tenorio Street, Los Alamos, was sworn. She said she is Shelly's daughter. She said her mother is a great woman and she has been a great support and is inspirational and she worked hard. She is now retired. Part of the property she wants to divide is for her family. She said she couldn't understand why that is such an issue. She and her ancestors have lived in Santa Fe for hundreds of years and are native New Mexicans. She said staff finds the zoning appropriate and that there is no impact on the community. And fire, sewer- everything was approved. She said her mother just wants to support her family and have them nearby.

Mr. Esquibel explained when it was stated earlier that staff recommended denial, staff had recommended that. The original applicant information provided did not correspond with Chapter 14 and resulted in staff not being able to recommend approval. Staff always works with the applicant to advise them of the changes needed for compliance with the Code. In this case the applicant postponed their meeting and rewrote their findings to be in line with Chapter 14. He said not everyone is fluent in how they need to meet regulations to be approved. He said Mr. Farber referenced an old memo that was never used. The applicant chose to write her application herself rather than have her agent do it. He apologized for the errors and said those happen because of the amount of work that goes through the office.

He asked that they focus back on the findings, which is what the Commission was here to assess; does the applicant's application meet the findings and whether the recommendation to the Governing Body should be positive or negative.

Chair Clow allowed Mr. Noble to speak again because he stated he wanted to set the record straight.

Mr. Noble said it should be clear Ms. Espinosa had a planner that didn't know how the process worked. Also, everything her daughter said is reasonable and can still be achieved without subdividing the property.

Chair Clow said that Ms. Espinosa had a planner was understood, and it was the planner who messed up.

There being no further comment, Chair Clow closed the public hearing.

COMMISSION DISCUSSION

Commissioner Mirando said he wanted to make a general comment regarding staff recommendation changing a process submittal. He said he understands the concern it looks like a "smoking gun" but generally that is not the case. Sometimes that happens because the applications are complicated, and an applicant doesn't get enough information or fails to write an interpretation correctly, and that has to be corrected. He said not knowing why that happened, it might not be appropriate for the Commissioners to see a denial on previous information that is not the actual information the application is based on. He said he saw two criteria the applicant was hanging on. Staff found the second criterion was not met. He asked how on the third criteria staff saw that current zoning enforces the idea of R2.

Mr. Esquibel clarified if talking about Criteria 1 - *there was no mistake in the original*; that is an option. On Criteria 2, *a change to such an extent as to alter the character of the neighborhood justifies a zoning change*. He said that can happen in certain areas of the City. This Commission has seen that with Airport Road and 334 South Meadows. There has been such a change in that area that they met that criteria. That area is moving fast and changing drastically. In this area he hasn't found much

change in the last 40 years, so they cannot use that section to address a change in zoning. That leaves them with Criteria 3, a different use category is more advantageous to the community as articulated in the General Plan or other adopted City plans. He said the applicant did a good job explaining why zoning is advantageous. This is only dealing with one single lot for the area and one impact. This will still add to the housing. He said other staff members have told them there is no way to weigh one criteria over another; it is supposed to be loosely interpreted.

Commissioner Mirando said that was what he was asking.

Chair Clow said the General Plan talks about preserving neighborhoods, as well as infill and preventing sprawl. She asked how staff balanced their recommendation in relationship to preserving neighborhoods with the need for more infill and stopping sprawl and providing housing. She said they have been told any housing provided helps the entire market.

Mr. Esquibel referenced attachment E5 in the packet. He talked about the areas he reviewed and said he basically looked at the South Central Highway Corridor as the review area. He itemized all this zoning and counted all of the lots. Within this area is a global density of two units per acre. This request is not changing any historical developmental pattern by adding one more lot within the area. In fact, it benefits the neighborhood by adding one more house. And if the applicant were to build a guest house, those of been identified as part of affordable living. He couldn't see how that one lot would sacrifice the preservation of the entire area or this neighborhood.

Commissioner Pava asked if this lot is in the subdivision of Sol y Lomas.

Mr. Esquibel said it is not.

Commissioner Pava confirmed any reference to covenants is a matter of concern to lot owners in Sol y Lomas. This lot is not conditioned on the old covenants like they are in Sol y Lomas.

Mr. Esquibel said he is not aware of any.

Commissioner Pava said a lot of time was spent on this case last Spring and it is almost Spring again. He asked if the applicant has now complied with procedures regarding due process as set forth in Chapter 14 or in any other City codes or matter of law.

Attorney Feghali said all the notice requirements and everything to this point, has been met.

Commissioner Pava said it appears the document submitted by Mr. Farber and the Commission has been informed about the lawsuit between Mr. Farber and the city. He

asked if the outcome of the lawsuit has any bearing on the decision the Planning Commission will make on the application for zone change.

Attorney Feghali said it does not have any merit in this case in any way.

Commissioner Pava confirmed with Attorney Feghali that the outcome of the lawsuit the Commission was informed about had no bearing on the decision the Commission has been asked to make in this application for zone change. He said there is a lot in the lawsuit, but he does not think it relevant to this request for rezoning. He said for the record, he acknowledges Mr. Farber's pain.

MOTION: Commissioner Pava moved, seconded by Commissioner Smith to recommend that the Governing Body approve Case #2022-4942, 2339 Botolph Road Rezoning subject to the conditions of approval and criteria cited in the staff report regarding Section 14-3.5 (C) Criteria 3, 4, 5, and 6.

VOTE: The motion passed by roll call vote with Commissioners Smith, Lucero, Mirando and Pava voting in favor and none voting against.

H. MATTERS FROM THE STAFF

No other matters.

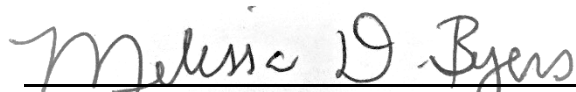
I. MATTERS FROM THE COMMISSION

Commissioner Pava said next week he would be in Denver at the Rocky Mountain Land Use Institute and will try to bring some material on the information he receives.

J. ADJOURNMENT

Chair Clow adjourned the meeting at approximately 7:56 p.m.

Submitted by:



Melissa D. Byers, Stenographer for
Byers Organizational Support Services

Approved by:



Janet Clow, Chair

City of Santa Fe, New Mexico

Attachment C

**Applicant's 1st Time Extension
Request Letter - March 23, 2026**

Peralta's Walk LLC .

P.O. Box 129 Santa Fe, NM 87504
(505) 5700631 marisol7marisol@gmail.com

March 23, 2026

Heather Lamboy, Director Land Use Department
City of Santa Fe
P.O. Box 909
Santa Fe, NM 87504-0909

Re: Peralta's walk LLC. Case # 2023-006271
507 and 511 paseo de peralta Santa Fe NM

Dear Heather,

Please consider this letter as a formal request to extend the approved Final Plat for Peralta's Walk development plan for one additional year in accordance with SFCC 14-3.19(C). Peralta's Walk Subdivision was approved by the Planning Commission March 2, 2023 No substantive changes have occurred to the regulations and policies that apply to the development nor to the circumstances affecting the site and its vicinity. There are no plans to make any changes to the approved subdivision (see attached plan set).

The property owners are requesting this extension due to the financial guarantee letter process that has taken more time than was anticipated due to development costs. The financial guarantee is in process of being completed.

Your consideration for approval is appreciated. Please contact me if you have any questions or require additional information.

Sincerely,

Marisol Ortiz.

City of Santa Fe, New Mexico

Attachment D

Development Plan Drawings

DEVELOPMENT PLAN
Paseo North
507 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting on

_____, 20____
as Case No. 2023-6271

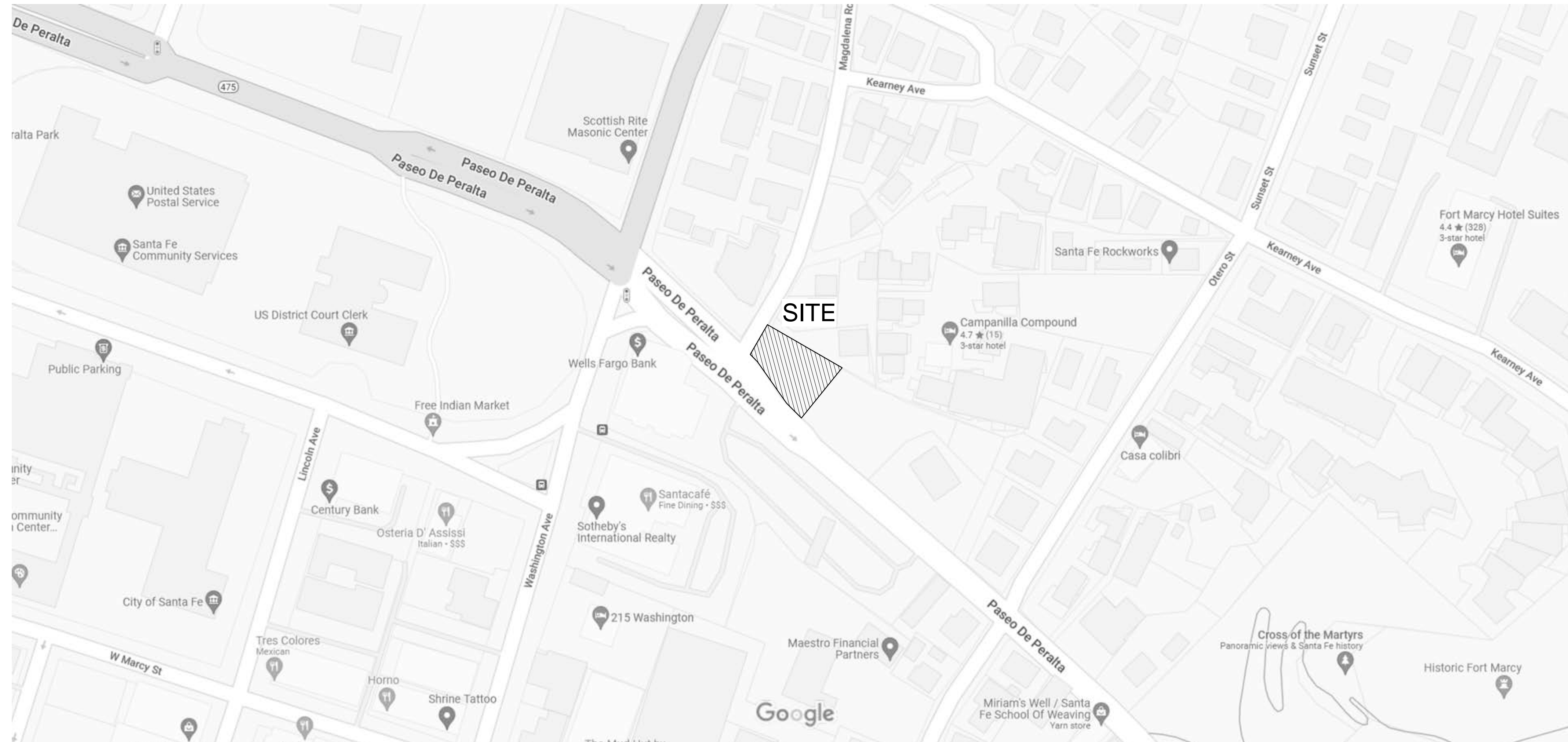
Planning Commission Chairperson Date

Planning Commission Secretary Date

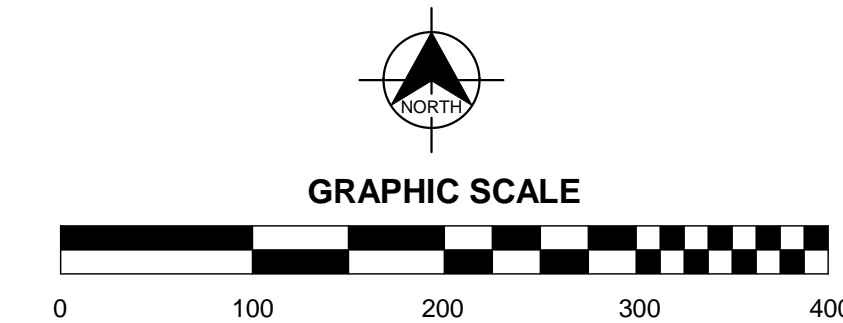
Approved by the City of Santa Fe Land Use Department

City Planner Date

City Engineer for Land Use Date



VICINITY MAP



NOTES

1. Additional Development Plan drawings such as: Elevations, Lighting, Civil, Engineering Plan sheets, Roof Plans, are filed in the Map Room with the City of Santa Fe Case #2023-6271
2. CITY OF SANTA FE DRAINAGE:
 - A. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - B. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

AFFIDAVIT

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

OWNER'S PRINTED NAME

OWNER'S SIGNATURE

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY:

THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES

	<small>ARCHITECT'S SEAL</small> <small>BRADYN W. FURRY R.A. #6312</small>	<p>JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: COVER PAGE DRAWING DATE: 07/17/2024</p>
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PROPERTY INFORMATION

ZONING: BCDMAR (BUSINESS CAPITOL DISTRICT MARCY SUBDISTRICT)
 OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT
 HISTORIC STATUS: N/A
 LOT SIZE: .185 ACRES
 EXISTING STRUCTURE SQ. FT.: N/A
 EXISTING UTILITIES: ELECTRIC, SEWER, WATER
 FLOOD ZONE: N/A

EXISTING CONDITIONS

Paseo North
 507 Paseo de Peralta
 Case #2023-6271

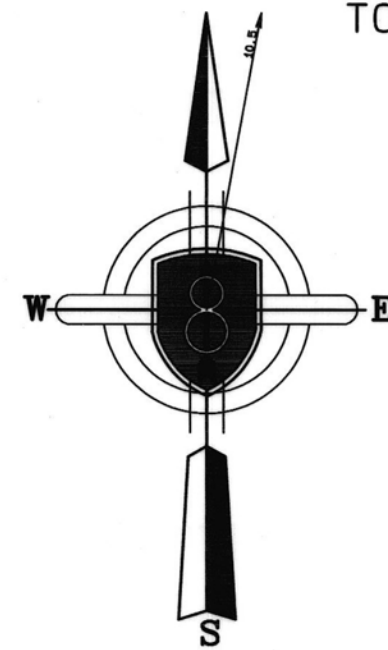
Jurisdiction: City of Santa Fe
 Section 24, Township: 17N, Range: 9E

LEGAL LOT INFORMATION

TRACT 1, RECORDED AS PLAT BOOK 895, PAGE 47

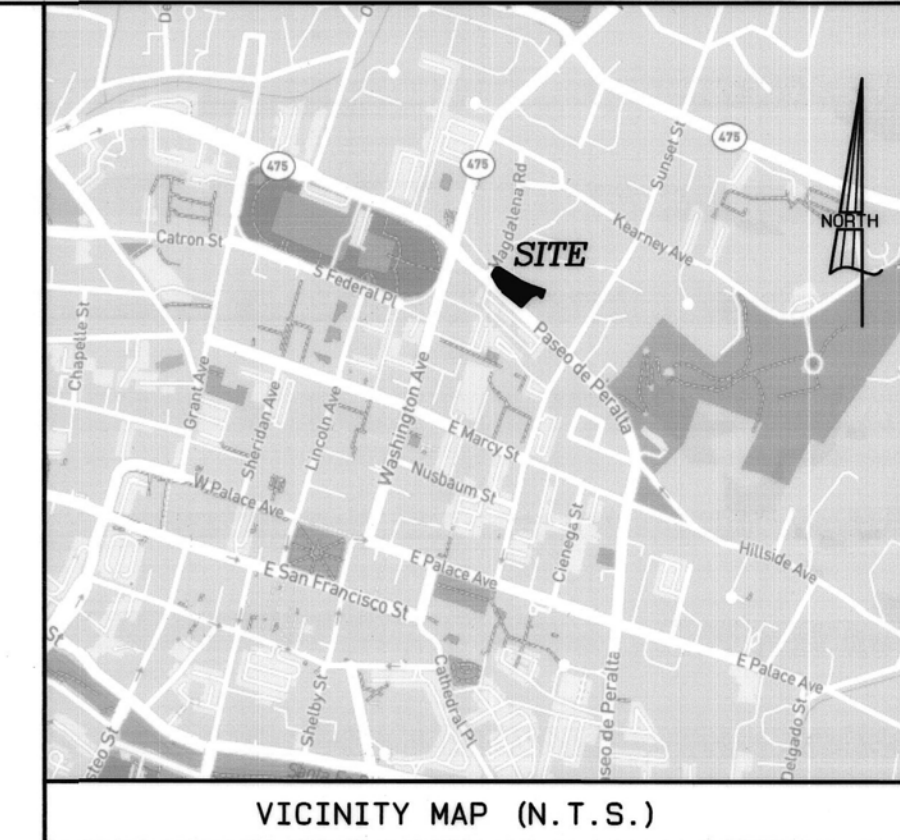
BOUNDARY SURVEY FOR
 PERALTA'S WALK, LLC, OF TRACT 1 AND TRACT I-A

LYING IN THE SANTA FE GRANT AND BEING SITUATE IN PROJECTED SECTION 24,
 TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO



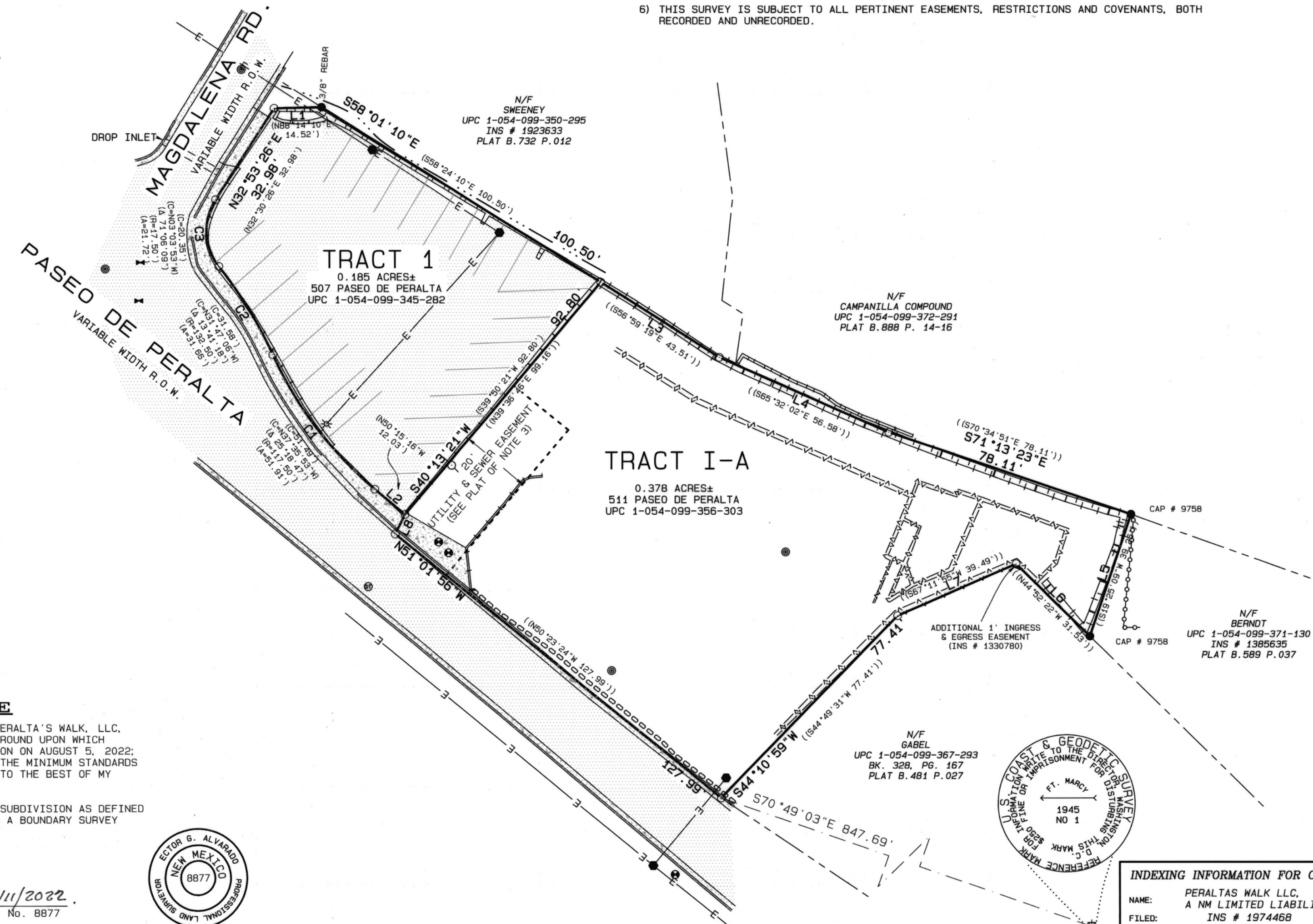
PUBLIC NOTICE
 THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON,
 CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH
 AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL
 OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

- SURVEYOR'S NOTES:**
- 1) BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM GPS OBSERVATION AS REFERENCED ALONG EASTERLY BOUNDARY OF TRACT I-1, AS REFERENCED ON A PLAT OF SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR 511 PDP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN DOUBLE PARENTHESES)
 - 2) BEARINGS ARE GRID, NAD 83 NEW MEXICO ZONE CENTRAL, DISTANCES ARE GROUND.
 - 3) REFER ALSO TO A PLAT OF SURVEY ENTITLED, "PLAT OF BOUNDARY SURVEY FOR 511 PDP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN SINGLE PARENTHESES)
 - 4) REFER TO A WARRANTY DEED BETWEEN 511 PDP, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTOR) AND PERALTA'S WALK, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTEE), AND RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS INS # 1974468.
 - 5) LANDS SHOWN HEREON LIE WITHIN OTHER AREAS, ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FEMA DFIRM MAP 35049C0408E, DATED DECEMBER 4, 2012.
 - 6) THIS SURVEY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.



BOUNDARY LINE AND CURVE DATA CHART

LINE	CHORD/BEARING	ARC/DIST	RADIUS	DELTA	CHORD
L1	N88°37'10"E	14.52'			
L2	N49°52'16"W	12.03'			
D1	N37°12'53"W	51.91'	117.50'	26°18'47"	51.49'
D2	N31°24'06"W	31.66'	132.50'	13°41'18"	31.58'
D3	N02°40'53"W	21.72'	17.50'	71°06'09"	20.35'
L3	S87°57'08"E	42.85'			
L4	S66°10'34"E	56.58'			
L5	S18°46'37"W	39.20'			
L6	N45°35'29"W	31.51'			
L7	S68°33'23"W	39.49'			
L8	N27°10'06"E	6.60'			



- LEGEND:**
- SURVEY MONUMENT FOUND (AS NOTED)
 - SURVEY MONUMENT SET (CAP # 8877)
 - CALCULATED POINT
 - SANITARY SEWER MANHOLE
 - UTILITY POLE
 - ⊠ WATER METER
 - ⊠ ELECTRIC TRANSFORMER
 - ⊠ TELEPHONE JUNCTION BOX
 - ⊠ ELECTRIC METER
 - ⊠ WATER VALVE
 - ⊠ LIGHT STANDARD
 - SPIGOT
 - BOUNDARY LINE
 - - - ADJOINER BOUNDARY LINE
 - ○ ○ ○ COYOTE FENCE
 - ○ ○ ○ CHAINLINK FENCE
 - OVERHEAD WIRES
 - ⊠ EXISTING OLD FOUNDATION WALL
 - ⊠ LARGE CONCRETE BLOCK WALL
 - ⊠ CMU WALL
 - ⊠ ROCK WALL
 - ⊠ CONCRETE CURB & GUTTER/SURFACE
 - ⊠ ASPHALT SURFACE

COUNTY OF SANTA FE } SS
 STATE OF NEW MEXICO }
 I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 1999222 WAS FILED FOR RECORD ON THE 11 DAY OF Oct. A.D. 2022 AT 2:24 O'CLOCK AND WAS DULY RECORDED IN PLAT BOOK 895 PAGE 47 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
 KATHERINE CLARK
 COUNTY CLERK, SANTA FE COUNTY, N.M.
Katherine Clark
 DEPUTY



SURVEYOR'S CERTIFICATE

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYS IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Ector G. Alvarado 10/11/2022
 ECTOR G. ALVARADO N.M.P.L.S. No. 8877



INDEXING INFORMATION FOR COUNTY CLERK
 NAME: PERALTA'S WALK, LLC.
 FILED: A NM LIMITED LIABILITY CO.
 INS # 1974468
 SUBDIVISION: N/A
 SECTIONS: PROJ. SECTION 24, T17N, R9E
 UPC: 1-054-099-356-303 TRACT I-A
 1-054-099-345-282 TRACT 1

SOUTHWEST MOUNTAIN SURVEYS
 1114 HICKOX ST., SANTA FE, N.M. 87505
 (505) 982-9429 FAX (505) 986-3413
 DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT NO.: C-3261

ARCHITECT'S SEAL

JURISDICTION: CITY OF SANTA FE
 PROJECT NAME: PASEO NORTH
 DRAWING TYPE: EXISTING CONDITIONS
 DRAWING DATE: 07/17/2024

SITE DEVELOPMENT PLAN

Paseo North
507 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

**507 PASEO DE PERALTA
TRACT 1
.185 ACRES±**

ZONING: BCD-MARCY

LOT COVERAGE CALCULATIONS:
BUILDING ROOF AREA = 4,235 S.F.
PORTAL ROOF AREAS = 684
TOTAL ROOF AREA = 4,919
TOTAL LOT SIZE = 8,059 S.F.
NO RESTRICTION

PROJECT DATA

PROJECT SITE:
Acreage: .185 acres
Flood Plain: N/A
Flood Way Square feet: N/A
Net Acreage: .185 acres
Zoning: BCDMAR (Business Capitol District Marcy Subdistrict)

OVERLAY ZONING:
Downtown and Eastside Historic District
Historic Downtown Archaeological Review District

BUILDINGS:
4,235 Sq. Ft.

HEIGHT:
Marcy Subdistrict Maximum Height: 42'
Downtown and Eastside Historic District: 24'
Building: 23'- 0 1/2"

LOT COVERAGE:
Marcy Subdistrict: No Restriction

BUILDING PLACEMENT:
No yard requirements:
Front required yard equal to the average depth of existing front yards on the block shall be required for (a) the east side of Washington Avenue between Place Avenue and Paseo de Peralta (Hillside); and the west side of Grant Avenue between Place Avenue and Paseo de Peralta. Elsewhere in the subdistrict there are no required yards.

OPEN SPACE:
10 percent of the lot area

LANDSCAPE:
Landscape treatment required in yards and open space. Street trees and landscape treatment required if planting strip exists. Asphalt or concrete pavement prohibited in planting strip.

HEIGHT OF WALLS AND FENCES:
Maximum 4'

PLACEMENT OF OFF-STREET PARKING
Parking prohibited in front yard.

PORTALS IN THE ROW:
None

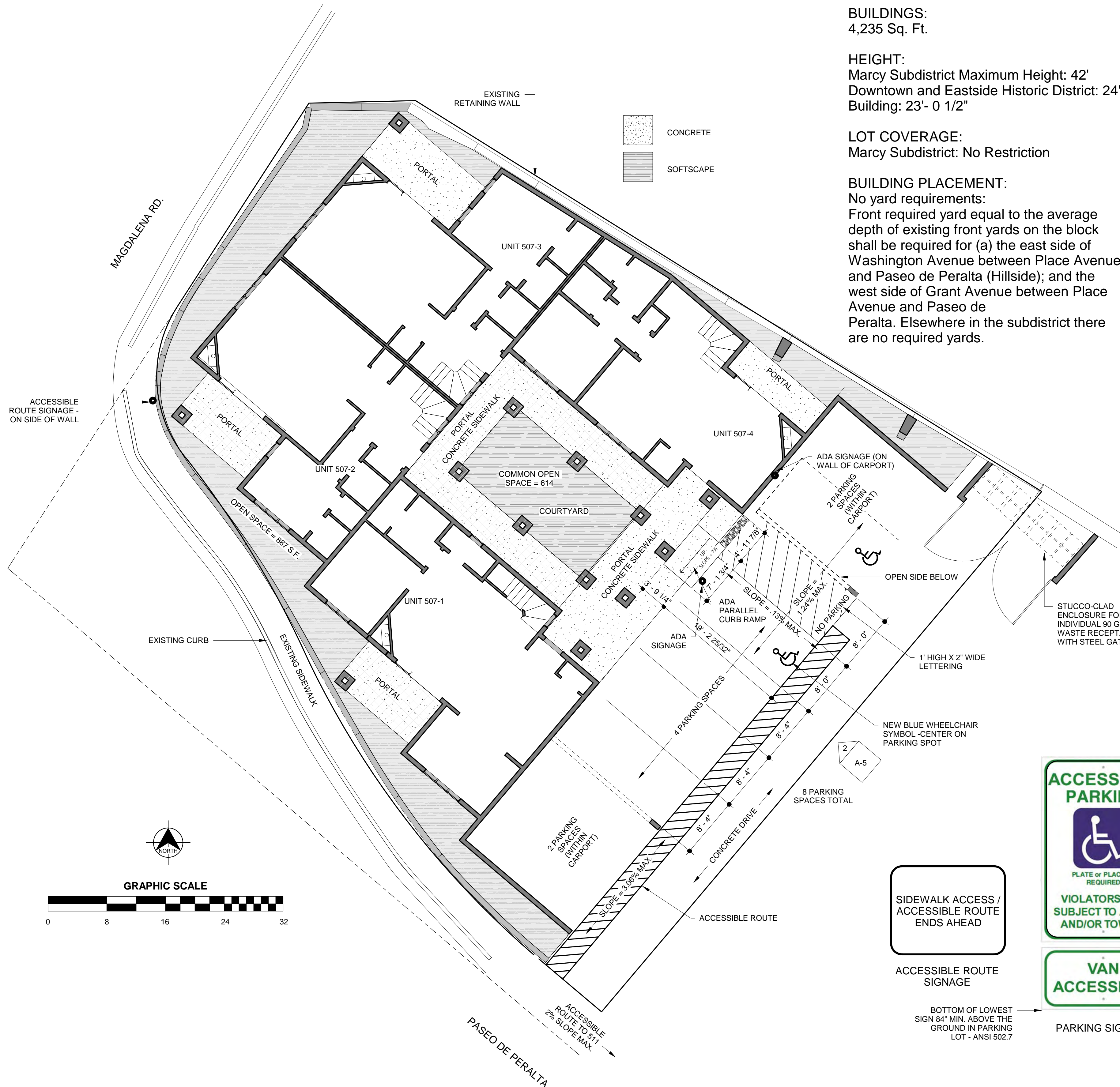
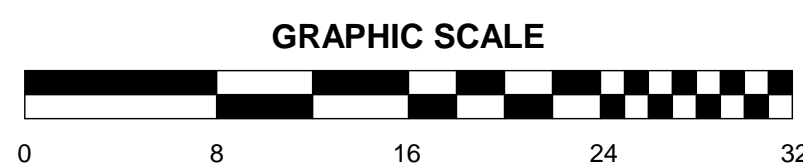


TABLE 1. CONDITIONS OF APPROVAL			
#	Condition of Approval	Dept. or Division	To be completed by:
1	Contractor shall ensure ADA compliance for construction of required ADA accessible features and appurtenances, as detailed and as required, in addition to the approved construction permit documents. Improvements shall comply with ICC ANSI A117.1-2009 Chapters 1-5 and Chapter 7, MUTCD, DOJ, and NM State Statute and Code such as the New Mexico Accessible Parking Checklist, latest published version.	ADA	Permit Application
2	Include copies of Approved & recorded Development Plan prior to permitting.	Terrain Management	Permit Application
3	The existing public sewer system in Paseo de Peralta is only available to provide sewer service the two properties by connecting to a specific section of the existing public sewer line. There is a sewer manhole located in Paseo De Peralta at the point where the two properties share a common property line along Paseo de Peralta. The two properties may connect to the existing 8-inch public sewer line which goes downstream of this sewer manhole flowing toward the intersection of Bishops Lodge and Washington. The Applicant is required to contact the Wastewater Division for further assistance with the design of the sewer system to serve this project.	Wastewater	Prior to signature of Development Plan
4	An approved Development Water Budget including a 9.8% contingency per SFCC 14-8.13(E)(1) will be required. A technical evaluation request for a Development Water Budget needs to be submitted to the City Water Division for review.	Water	Prior to Sign Off for Final Development Plan
5	An Agreement to Construct and Dedicate (ACD) from the Water Division will be required for all new public water infrastructure or fire services. An approved Development Water Budget, including Landscape Irrigation Budget and a 9.8% Contingency is required prior to processing the ACD.	Water	Prior to ACD
6	Each lot shall be served by separate water service at the time of development.	Water	Prior to Building Permit application
7	An agreement for metered service (AMS) will be required to install new services, including water offset fees.	Water	Prior to Building Permit application
8	If the landscaped area is greater than 1,000 square feet, a separate irrigation meter is recommended.	Water	Prior to Sign Off for Final Development Plan
9	A shared parking agreement shall be executed and filed as a part of the Development Plan.	Current Planning	Prior to signature of Development Plan
10	Archaeological Clearance shall be provided for both properties.	Historic Preservation	Prior to Permit Application



SIDEWALK ACCESS / ACCESSIBLE ROUTE ENDS AHEAD

ACCESSIBLE ROUTE SIGNAGE

BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7



PARKING SIGNAGE

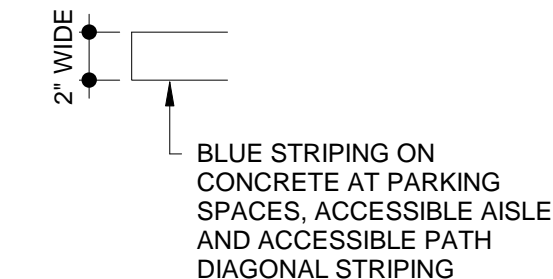
OPTIONAL LANGUAGE
REQUIRED LANGUAGE PER NMSA 197866-7-352.4C

REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE) ANSI 502.7

PARKING REQUIREMENTS

CITY OF SANTA FE CODES, TABLE 14-8.6, C.2
BCD
1 SPACE PER DWELLING UNIT
TOTAL REQUIRED = 4
PARKING SPACES PROVIDED = 4

PARKING STRIPE DETAIL



ARCHITECT'S SEAL

BRADY W. FURRY
R.A. #6312

JURISDICTION: CITY OF SANTA FE
PROJECT NAME: PASEO NORTH
DRAWING TYPE: SITE DEVELOPMENT PLAN
DRAWING DATE: 07/17/2024

DEVELOPMENT PLAN
Paseo North
511 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

CITY APPROVALS

Approval by Santa Fe Planning Commission at their meeting on

_____, 20____
as Case No. 2023-6271

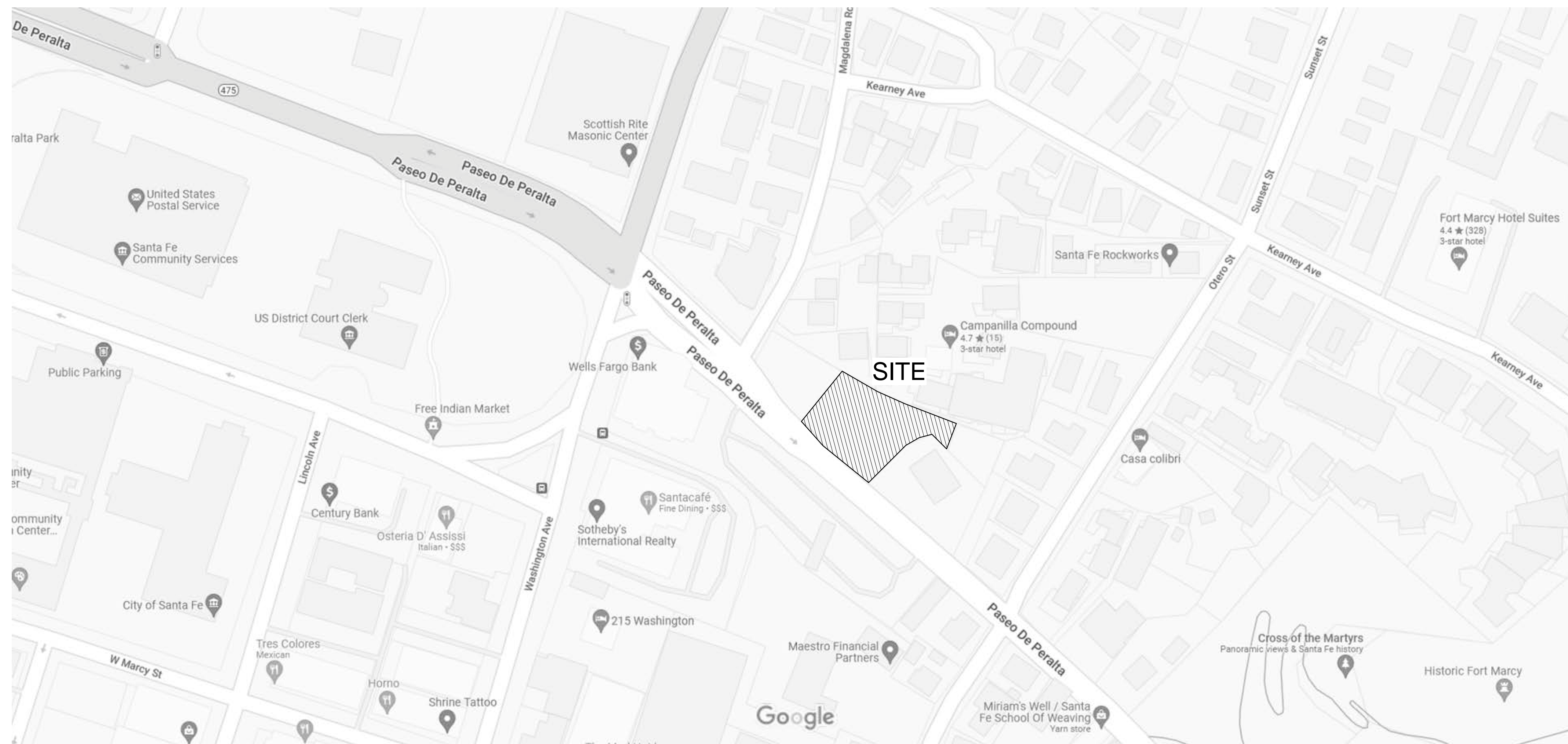
Planning Commission Chairperson Date

Planning Commission Secretary Date

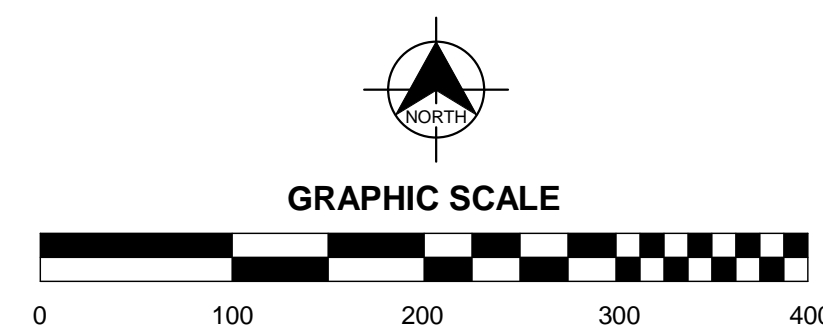
Approved by the City of Santa Fe Land Use Department

City Planner Date

City Engineer for Land Use Date



VICINITY MAP



NOTES

1. Additional Development Plan drawings such as: Elevations, Lighting, Civil, Engineering Plan sheets, Roof Plans, are filed in the Map Room with the City of Santa Fe Case #2023-6271
2. CITY OF SANTA FE DRAINAGE:
 - A. SUBJECT TO THE APPROVAL OF CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION STAFF, STORM DRAINAGE AND EROSION/SEDIMENT CONTROL IMPROVEMENTS SHALL BE EXECUTED IN CONJUNCTION WITH THE CONSTRUCTION OF EACH SEGMENT OF ROADS AND UTILITIES. THESE IMPROVEMENTS SHALL BE COMPLETED AND INSPECTED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
 - B. MAINTENANCE OF PRIVATE DRAINAGE EASEMENTS AND DRAINAGE FACILITIES IS THE RESPONSIBILITY OF THE OWNER. THE CITY OF SANTA FE IS HEREBY GRANTED THE RIGHT TO ACCESS AND INSPECT THESE EASEMENTS AND DRAINAGE FACILITIES AT THE DISCRETION OF THE CITY. THE OWNER AGREES TO INDEMNIFY AND TO HOLD HARMLESS FROM ALL DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE CITY'S REASONABLE EXERCISE TO THEIR ACCESS AND INSPECTION RIGHT.

AFFIDAVIT

KNOWN ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER.

OWNER'S PRINTED NAME

OWNER'S SIGNATURE

THE FOREGOING WAS SWORN, ACKNOWLEDGED, AND SUBSCRIBED BEFORE ME BY:

THIS _____ DAY OF _____ 20____

NOTARY PUBLIC

MY COMMISSION EXPIRES

	ARCHITECT'S SEAL	
	BRADYN W. FURRY R.A. #6312	
		JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: COVER PAGE DRAWING DATE: 06/01/2024

DEVELOPMENT PLAN
Paseo North
511 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

TABLE 1. CONDITIONS OF APPROVAL			
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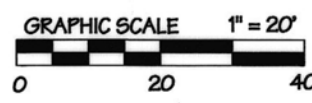
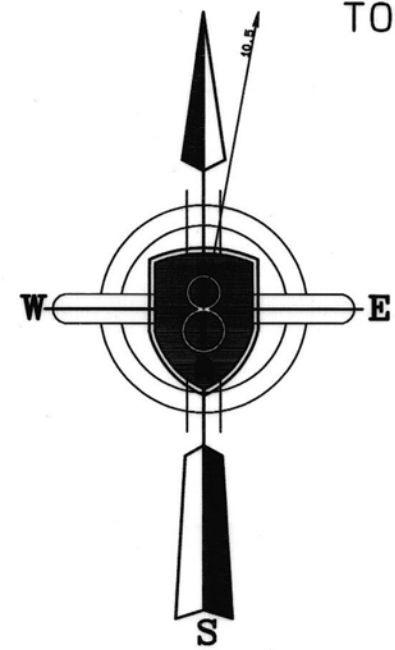
	ARCHITECT'S SEAL	
		JURISDICTION: CITY OF SANTA FE PROJECT NAME: PASEO NORTH DRAWING TYPE: CONDITIONS OF APPROVAL DRAWING DATE: 06/01/2024
	BRADYN W. FURRY R.A. #6312	SHEET 2 OF 4

EXISTING CONDITIONS
Paseo North
511 Paseo de Peralta
Case #2023-6271

Jurisdiction: City of Santa Fe
Section 24, Township: 17N, Range: 9E

BOUNDARY SURVEY FOR
PERALTA'S WALK, LLC, OF TRACT 1 AND TRACT I-A

LYING IN THE SANTA FE GRANT AND BEING SITUATE IN PROJECTED SECTION 24,
TOWNSHIP 17 NORTH, RANGE 9 EAST, N.M.P.M. CITY & COUNTY OF SANTA FE, NEW MEXICO

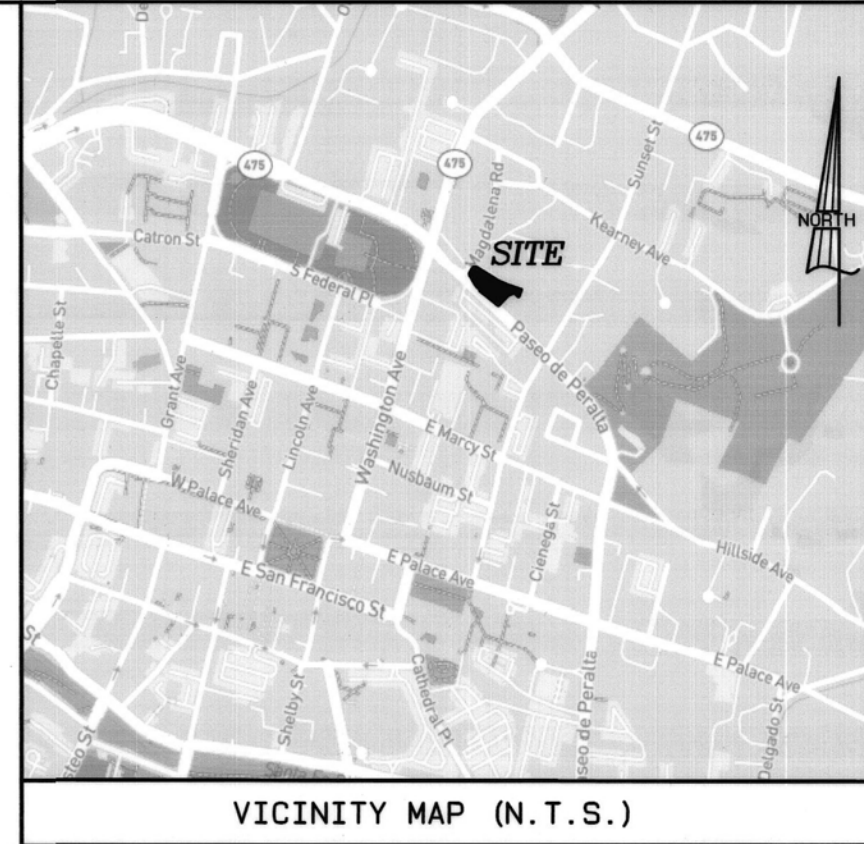


PUBLIC NOTICE
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

SURVEYOR'S NOTES:

- 1) BASIS OF BEARING FOR THIS SURVEY WAS TAKEN FROM GPS OBSERVATION AS REFERENCED ALONG EASTERLY BOUNDARY OF TRACT I-1, AS REFERENCED ON A PLAT OF SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR 511 POP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS # 9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 765, PAGE 003. (RECORD DATA FROM THIS PLAT IN DOUBLE PARENTHESES)
- 2) BEARINGS ARE GRID, NAD 83 NEW MEXICO ZONE CENTRAL. DISTANCES ARE GROUND.
- 3) REFER ALSO TO A PLAT OF SURVEY ENTITLED, "PLAT OF BOUNDARY SURVEY FOR 511 POP, LLC", PREPARED BY PHILIP B. WIEGEL, NMPLS #9758, AND RECORDED AT THE SANTA FE COUNTY CLERK'S OFFICE IN PLAT BOOK 826 PAGE 007. (RECORD DATA FROM THIS PLAT IN SINGLE PARENTHESES)
- 4) REFER TO A WARRANTY DEED BETWEEN 511 POP, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTOR) AND PERALTA'S WALK, LLC A NEW MEXICO LIMITED LIABILITY COMPANY (GRANTEE), AND RECORDED WITH THE SANTA FE COUNTY CLERK'S OFFICE AS: INS # 1974466.
- 5) LANDS SHOWN HEREON LIE WITHIN OTHER AREAS, ZONE 'X' - AREA OF MINIMAL FLOOD HAZARD, ACCORDING TO THE FEMA DFIRM MAP 35049C0406E, DATED DECEMBER 4, 2012.
- 6) THIS SURVEY IS SUBJECT TO ALL PERTINENT EASEMENTS, RESTRICTIONS AND COVENANTS, BOTH RECORDED AND UNRECORDED.

895 47



VICINITY MAP (N.T.S.)

PROPERTY INFORMATION

ZONING: R21
OVERLAYS: DOWNTOWN & EASTSIDE HISTORIC DISTRICT
HISTORIC STATUS: N/A
LOT SIZE: .378 ACRES
EXISTING STRUCTURE SQ. FT.: N/A
EXISTING UTILITIES: ELECTRIC, SEWER, WATER
FLOOD ZONE: N/A

LEGAL LOT INFORMATION

TRACT 1-A, RECORDED AS PLAT BOOK 895, PAGE 47

BOUNDARY LINE AND CURVE DATA CHART

LINE	CHORD/BEARING	ARC/DIST	RADIUS	DELTA	CHORD
L1	N88°37'10"E	14.52'			
L2	N49°52'18"W	12.03'			
C1	N37°12'53"W	51.91'	117.50'	26°18'47"	51.49'
C2	N31°24'06"W	31.66'	132.50'	13°41'10"	31.58'
C3	N02°40'53"W	21.72'	17.50'	71°06'09"	20.35'
L3	S97°37'28"E	42.83'			
L4	S68°10'34"E	56.58'			
L5	S18°46'37"W	39.20'			
L6	N45°35'29"W	31.51'			
L7	S68°33'23"W	39.49'			
L8	N67°10'06"E	6.60'			

COUNTY OF SANTA FE } SS
STATE OF NEW MEXICO }
I HEREBY CERTIFY THAT THIS INSTRUMENT NO. 194922 WAS FILED FOR RECORD ON THE 11 DAY OF Oct, A.D. 2022 AT 2:24 O'CLOCK AND WAS DULY RECORDED IN PLAT BOOK 895 PAGE 47 OF THE RECORDS OF SANTA FE COUNTY.

WITNESS MY HAND AND SEAL OF OFFICE
KATHERINE CLARK
COUNTY CLERK, SANTA FE COUNTY, N.M.
Katherine Clark
DEPUTY

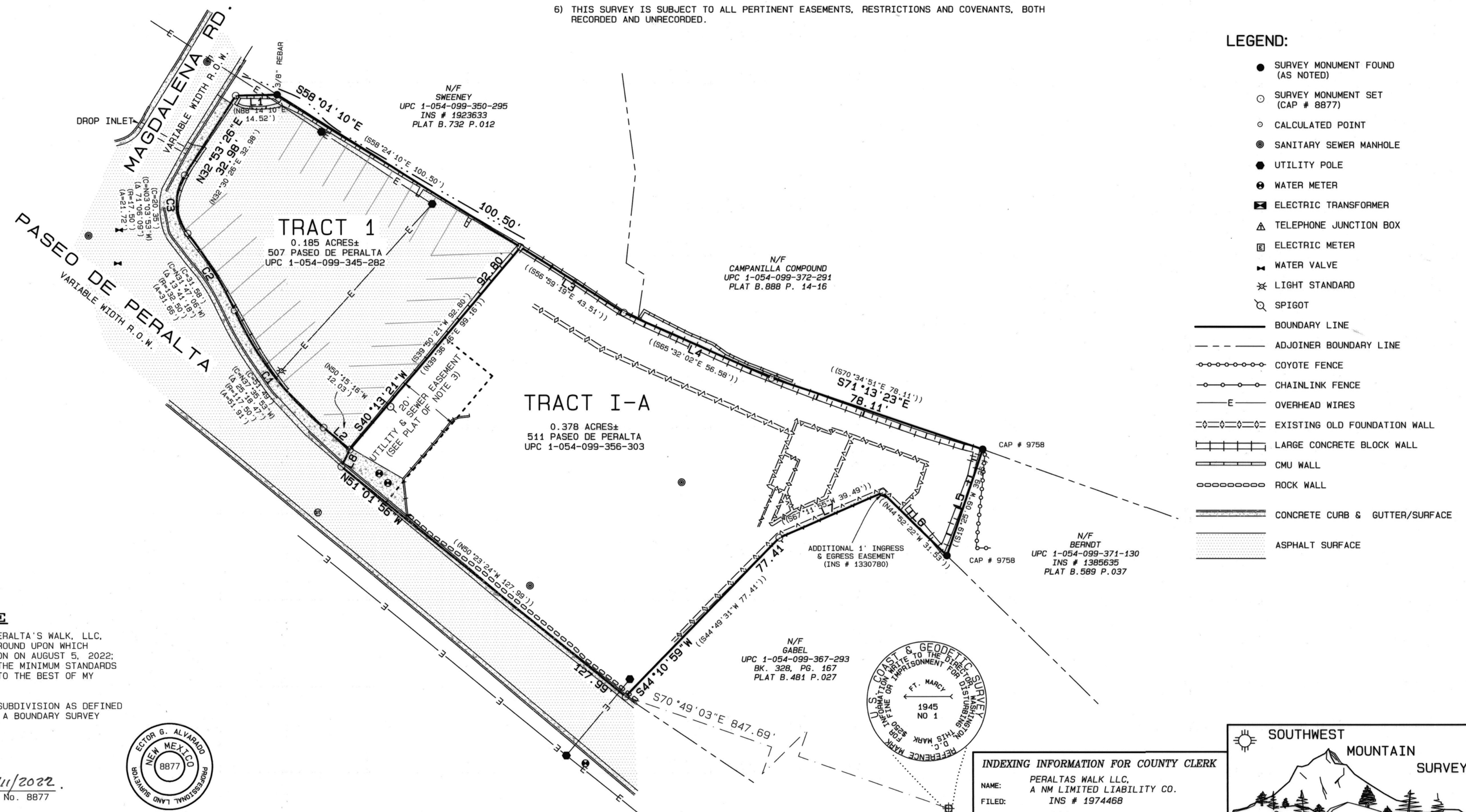


SURVEYOR'S CERTIFICATE

I, ECTOR G. ALVARADO, NMPLS NO. 8877, DO HEREBY CERTIFY TO PERALTA'S WALK, LLC, THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON AUGUST 5, 2022; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Ector G. Alvarado 10/11/2022
ECTOR G. ALVARADO N.M.P.L.S. No. 8877



LEGEND:

- SURVEY MONUMENT FOUND (AS NOTED)
- SURVEY MONUMENT SET (CAP # 8877)
- CALCULATED POINT
- SANITARY SEWER MANHOLE
- UTILITY POLE
- WATER METER
- ⊠ ELECTRIC TRANSFORMER
- △ TELEPHONE JUNCTION BOX
- ⊠ ELECTRIC METER
- ⊠ WATER VALVE
- ⊠ LIGHT STANDARD
- SPIGOT
- BOUNDARY LINE
- - - ADJOINER BOUNDARY LINE
- ○ ○ ○ COYOTE FENCE
- ○ ○ ○ CHAINLINK FENCE
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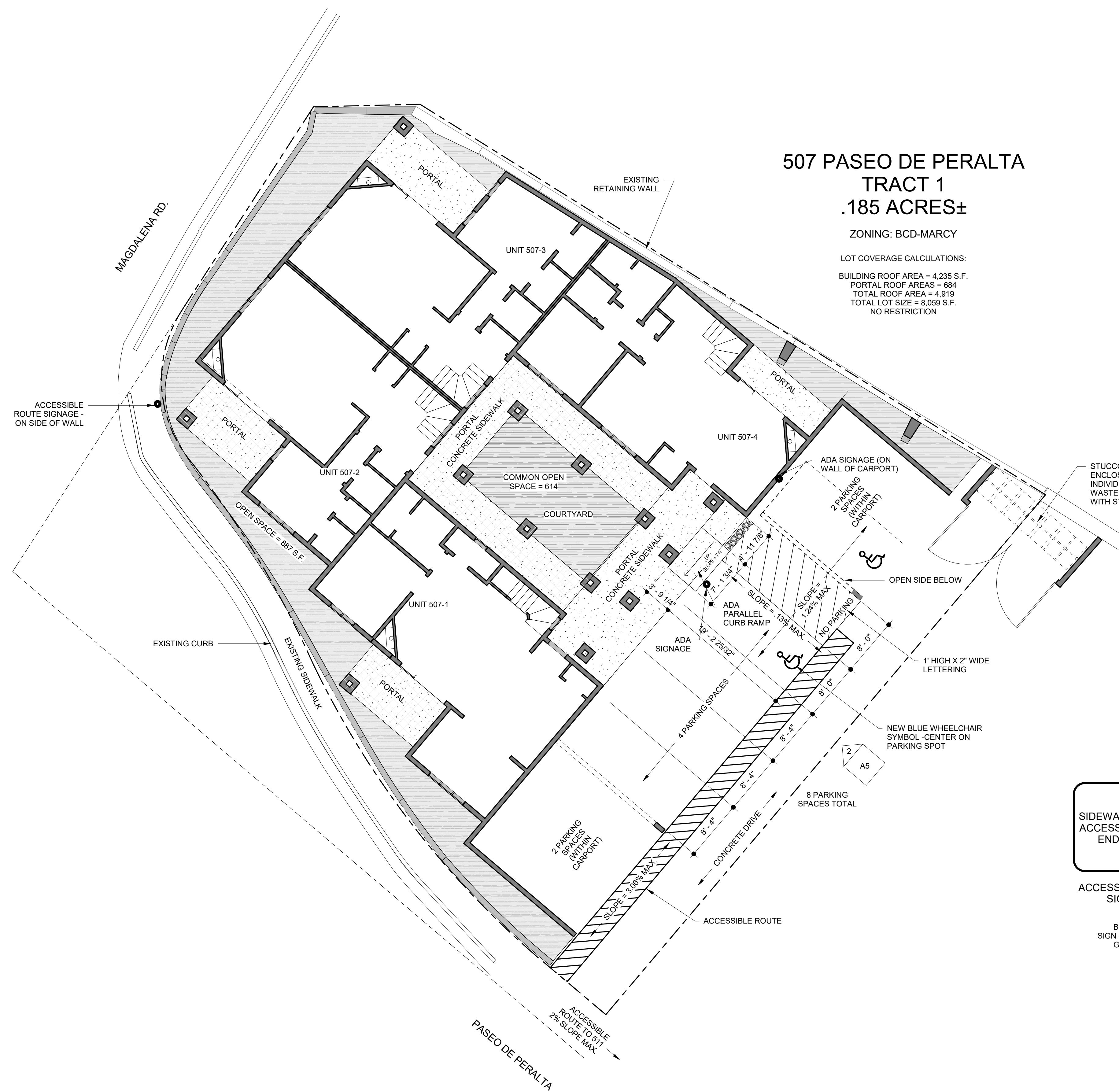
INDEXING INFORMATION FOR COUNTY CLERK
NAME: PERALTA'S WALK LLC,
A NM LIMITED LIABILITY CO.
FILED: INS # 1974466
SUBDIVISION: N/A
SECTIONS: PROJ. SECTION 24, T17N, R9E
UPC: 1-054-099-356-303 TRACT I-A
1-054-099-345-262 TRACT 1

SOUTHWEST MOUNTAIN SURVEYS
1114 HICKOX ST., SANTA FE, N.M. 87505
(505) 982-9429 FAX (505) 986-3413
DATE(S): AUGUST 5, 2022 DRAWN BY: PROJECT NO. C-3251

ARCHITECT'S SEAL

JURISDICTION: CITY OF SANTA FE
PROJECT NAME: PASEO NORTH
DRAWING TYPE: EXISTING CONDITIONS
DRAWING DATE: 06/01/2024

BRADY W. FURRY
R.A. #6312



**507 PASEO DE PERALTA
TRACT 1
.185 ACRES±**

ZONING: BCD-MARCY

LOT COVERAGE CALCULATIONS:

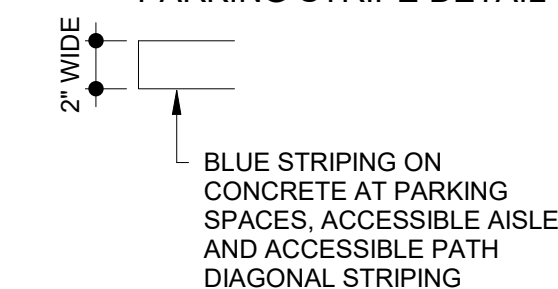
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PORTAL ROOF AREAS = 684
TOTAL ROOF AREA = 4,919
TOTAL LOT SIZE = 8,059 S.F.
NO RESTRICTION

PARKING REQUIREMENTS

CITY OF SANTA FE CODES, TABLE 14-8.6, C.2

BCD
1 SPACE PER DWELLING UNIT
TOTAL REQUIRED = 4
PARKING SPACES PROVIDED = 4

PARKING STRIPE DETAIL



CONCRETE
SOFTSCAPE



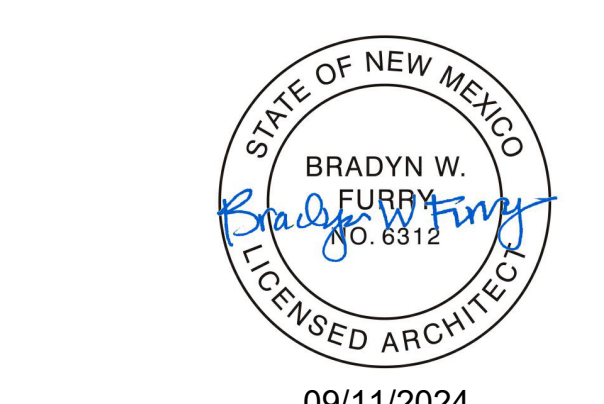
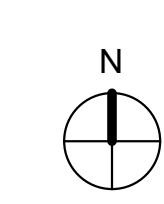
ACCESSIBLE ROUTE SIGNAGE

BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7



PARKING SIGNAGE

SIGN TYPE R7-8 (12"x18")
-WHITE SIGN FIELD
-GREEN BORDER AND LETTERING
-WHITE ON BLUE BACKGROUND
INTERNATIONAL SYMBOL OF ACCESSIBILITY
PLATE or PLACARD REQUIRED
OPTIONAL LANGUAGE
REQUIRED LANGUAGE PER NMSA 197866-7-352.4C
SIGN TYPE R7-8A (6"x12")
-WHITE SIGN FIELD
-GREEN BORDER AND LETTERING
REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE)
ANSI 502.7

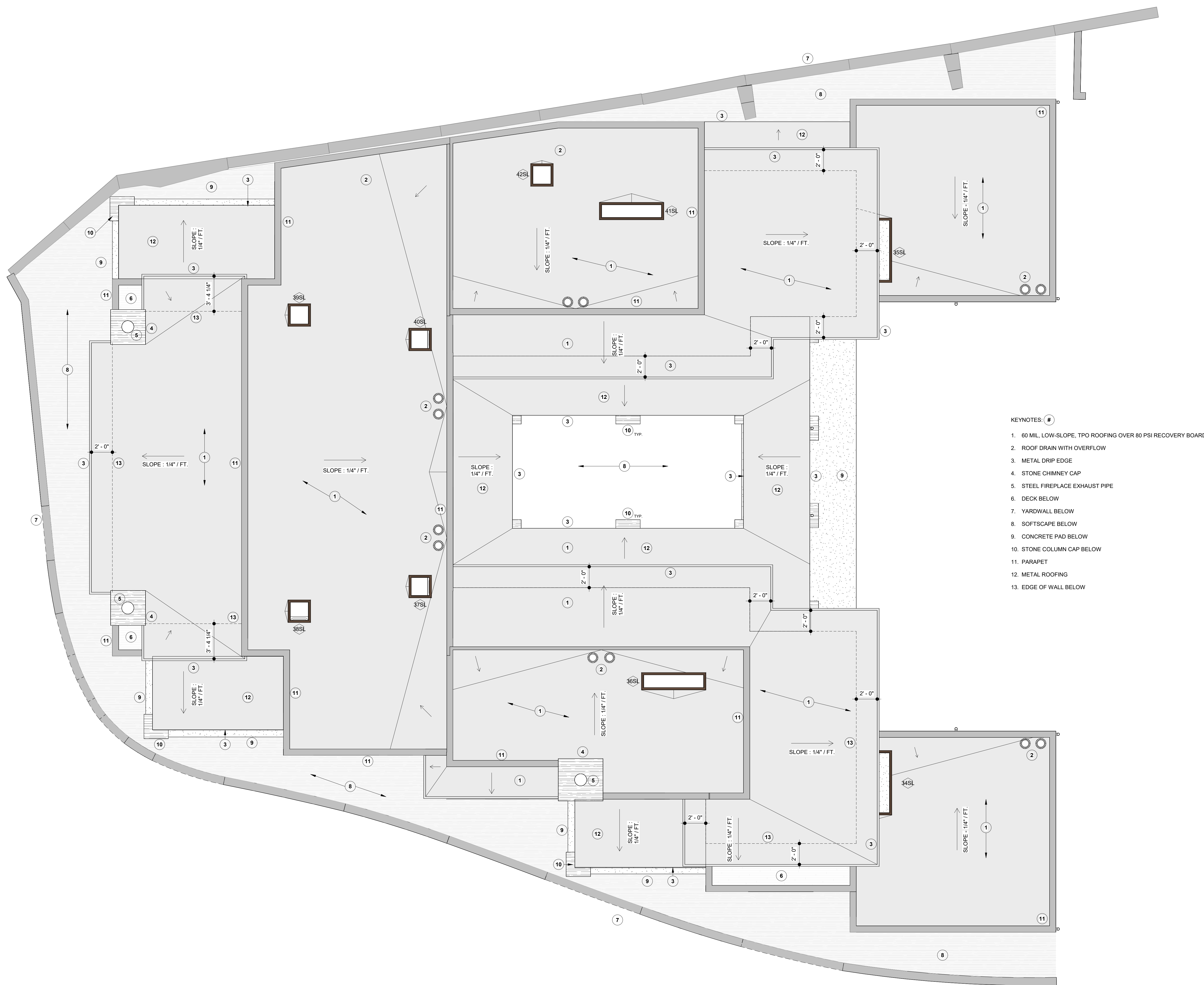


09/11/2024
PERALTA'S WALK, LLC.
507 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

SITE PLAN

9/11/2024 10:21:57 AM
drawing scale: 1/8" = 1'-0"

A1



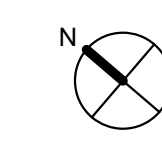
- KEYNOTES: #
1. 60 MIL, LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
 2. ROOF DRAIN WITH OVERFLOW
 3. METAL DRIP EDGE
 4. STONE CHIMNEY CAP
 5. STEEL FIREPLACE EXHAUST PIPE
 6. DECK BELOW
 7. YARDWALL BELOW
 8. SOFTSCAPE BELOW
 9. CONCRETE PAD BELOW
 10. STONE COLUMN CAP BELOW
 11. PARAPET
 12. METAL ROOFING
 13. EDGE OF WALL BELOW



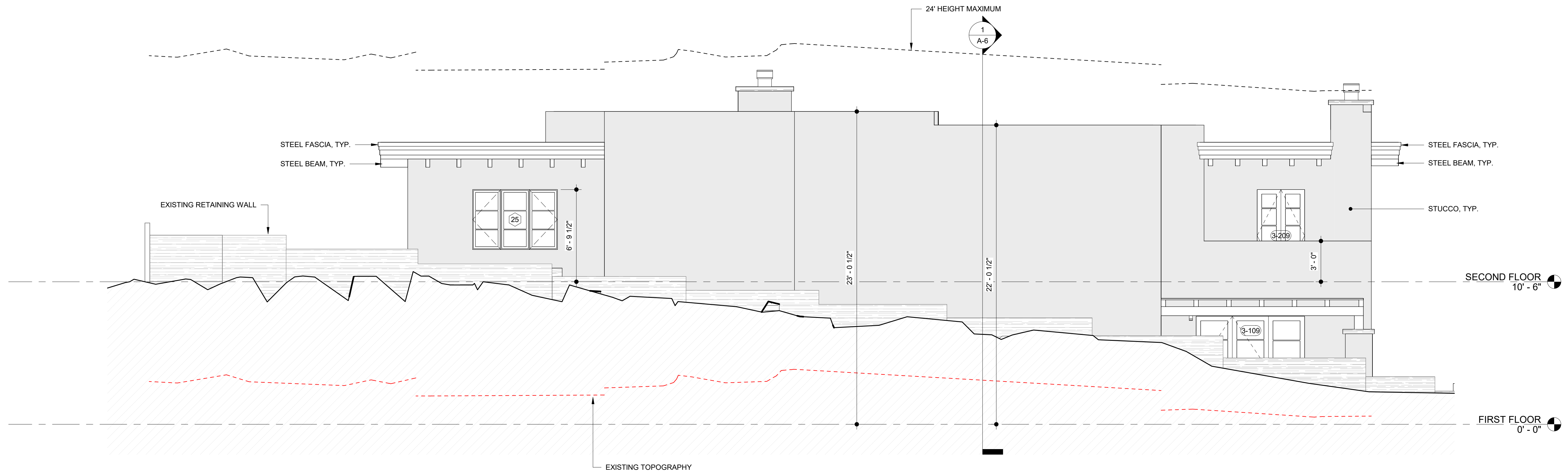
09/11/2024

PERALTA'S WALK, LLC.
507 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

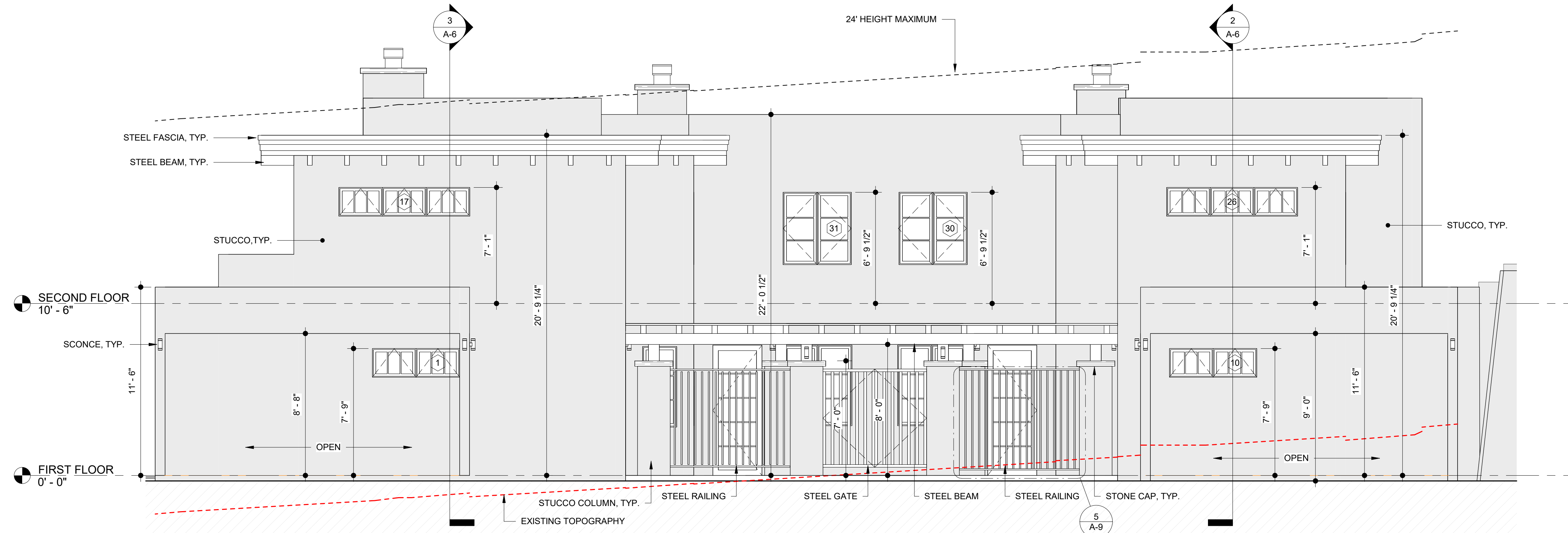
ROOF PLAN



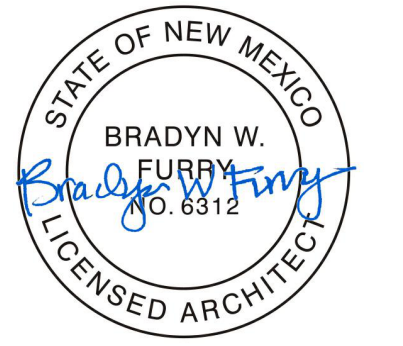
9/11/2024 10:21:59 AM
drawing scale: 1/4" = 1'-0"



1 NORTH
1/4" = 1'-0"



2 EAST
1/4" = 1'-0"



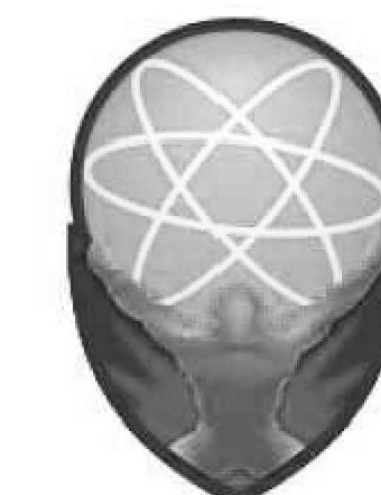
09/11/2024

PERALTA'S WALK, LLC.

507 Paseo de Peralta
Santa Fe, NM

PASEO NORTH

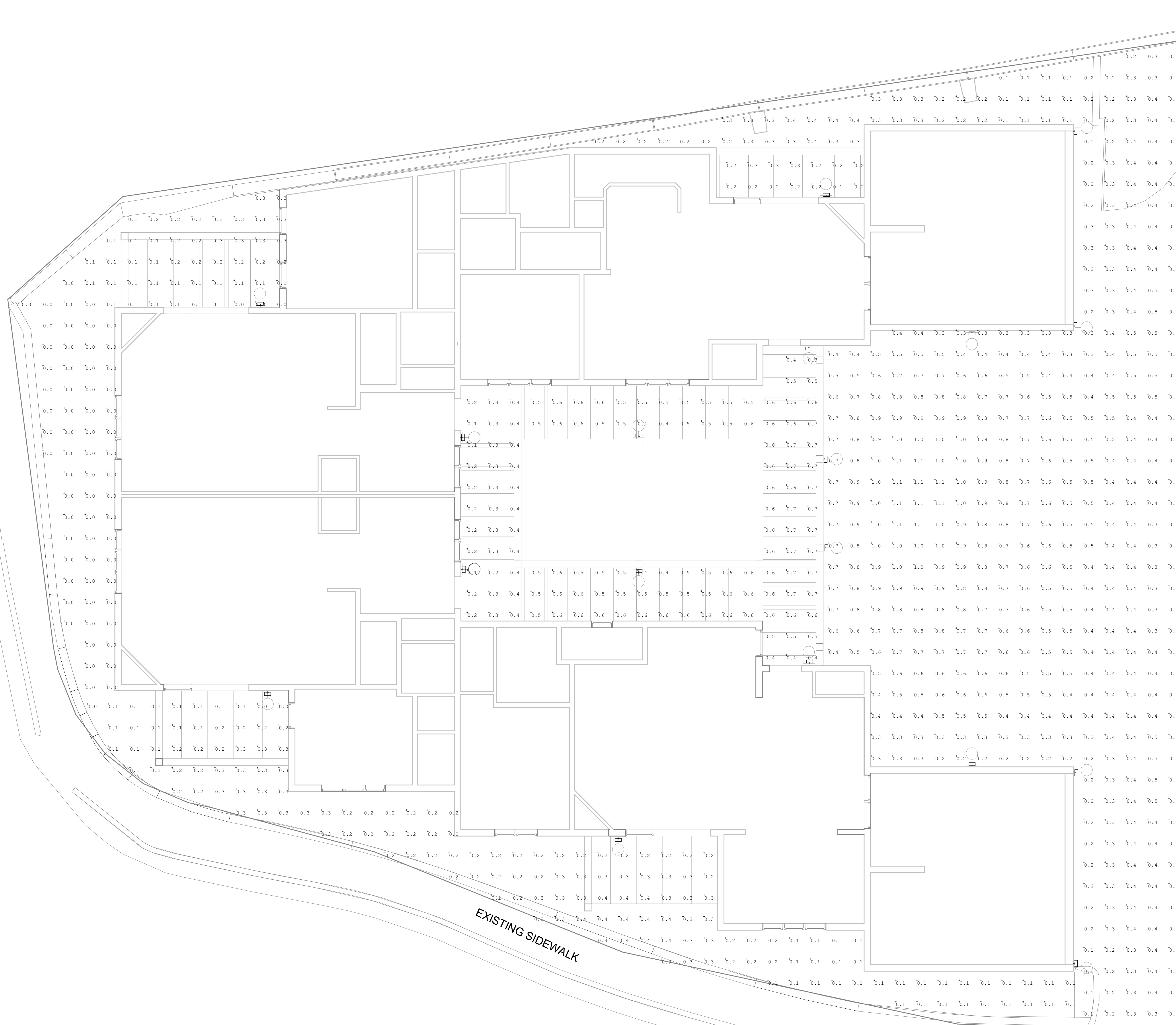
EXTERIOR ELEVATIONS



ATLAS ENGINEERING

14 JOY LANE
SANTA FE, NM, 87508
505.795.1992

MAGDALENA RD.



PROPERTY LINE

PROPERTY LINE

EXISTING SIDEWALK

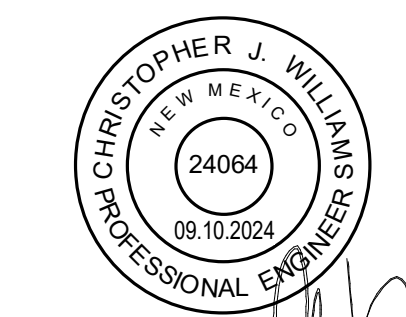
PASEO DE PERALTA

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
[Symbol]	18	OLCS 8 WH	Single	OLCS 8 WH	1.000	522	8.93	160.74

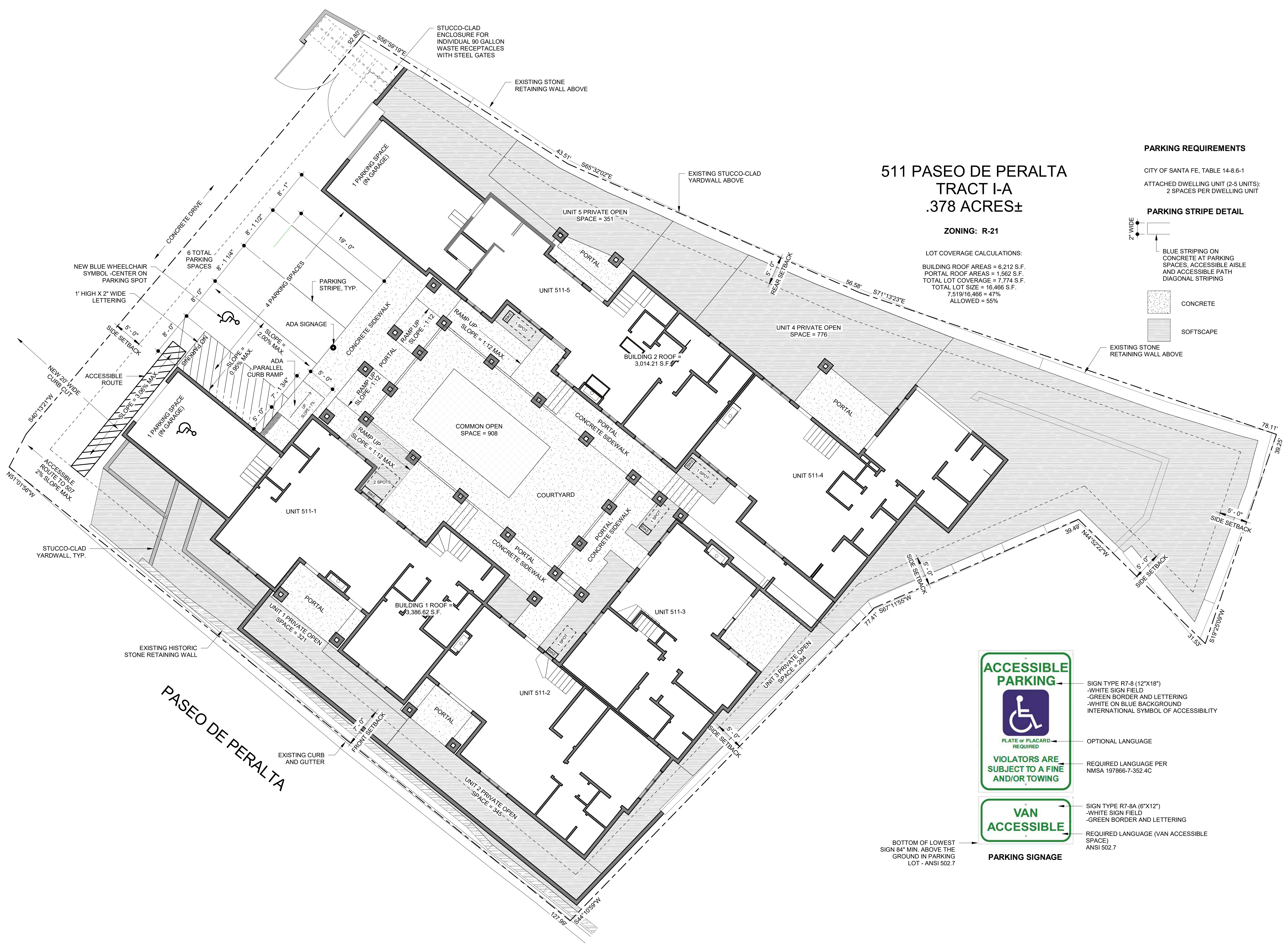
Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Max/Avg	
CalcPts_1	Illuminance	Fc	0.49	1.1	0.1	4.90	11.00	2.24	
CalcPts_2	Illuminance	Fc	0.21	0.4	0.0	N.A.	N.A.	1.90	
CalcPts_3	Illuminance	Fc	0.49	0.7	0.1	4.90	7.00	1.43	
CalcPts_4	Illuminance	Fc	0.07	0.3	0.0	N.A.	N.A.	4.29	
CalcPts_5	Illuminance	Fc	0.21	0.3	0.1	2.10	3.00	1.43	

1 ELECTRICAL PHOTOMETRIC PLAN
SCALE: 1/4" = 1'-0"

PERALTA'S WALK, LLC.
507 Paseo de Peralta
Santa Fe, NM
PASEO NORTH



ELECTRICAL PHOTOMETRIC PLAN



511 PASEO DE PERALTA TRACT I-A .378 ACRES±

ZONING: R-21

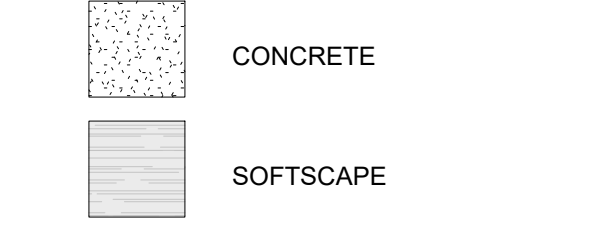
LOT COVERAGE CALCULATIONS:
 BUILDING ROOF AREAS = 6,212 S.F.
 PORTAL ROOF AREAS = 1,562 S.F.
 TOTAL LOT COVERAGE = 7,774 S.F.
 TOTAL LOT SIZE = 16,466 S.F.
 7,519/16,466 = 47%
 ALLOWED = 55%

PARKING REQUIREMENTS

CITY OF SANTA FE, TABLE 14-8.6-1
 ATTACHED DWELLING UNIT (2-5 UNITS):
 2 SPACES PER DWELLING UNIT

PARKING STRIPE DETAIL

BLUE STRIPING ON CONCRETE AT PARKING SPACES, ACCESSIBLE AISLE AND ACCESSIBLE PATH
 DIAGONAL STRIPING



SIGN TYPE R7-8 (12"x18")
 -WHITE SIGN FIELD
 -GREEN BORDER AND LETTERING
 -WHITE ON BLUE BACKGROUND
 -INTERNATIONAL SYMBOL OF ACCESSIBILITY

OPTIONAL LANGUAGE
 REQUIRED LANGUAGE PER NMSA 197866-7-352.4C



SIGN TYPE R7-8A (6"x12")
 -WHITE SIGN FIELD
 -GREEN BORDER AND LETTERING
 REQUIRED LANGUAGE (VAN ACCESSIBLE SPACE)
 ANSI 502.7

BOTTOM OF LOWEST SIGN 84" MIN. ABOVE THE GROUND IN PARKING LOT - ANSI 502.7

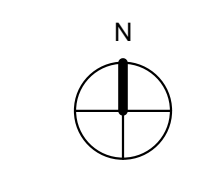


09/11/2024

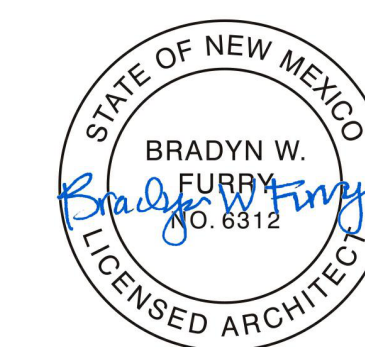
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511 Paseo de Peralta
 Santa Fe, NM
PASEO NORTH

SITE PLAN



9/11/2024 10:25:29 AM
 drawing scale: 1/8" = 1'-0"

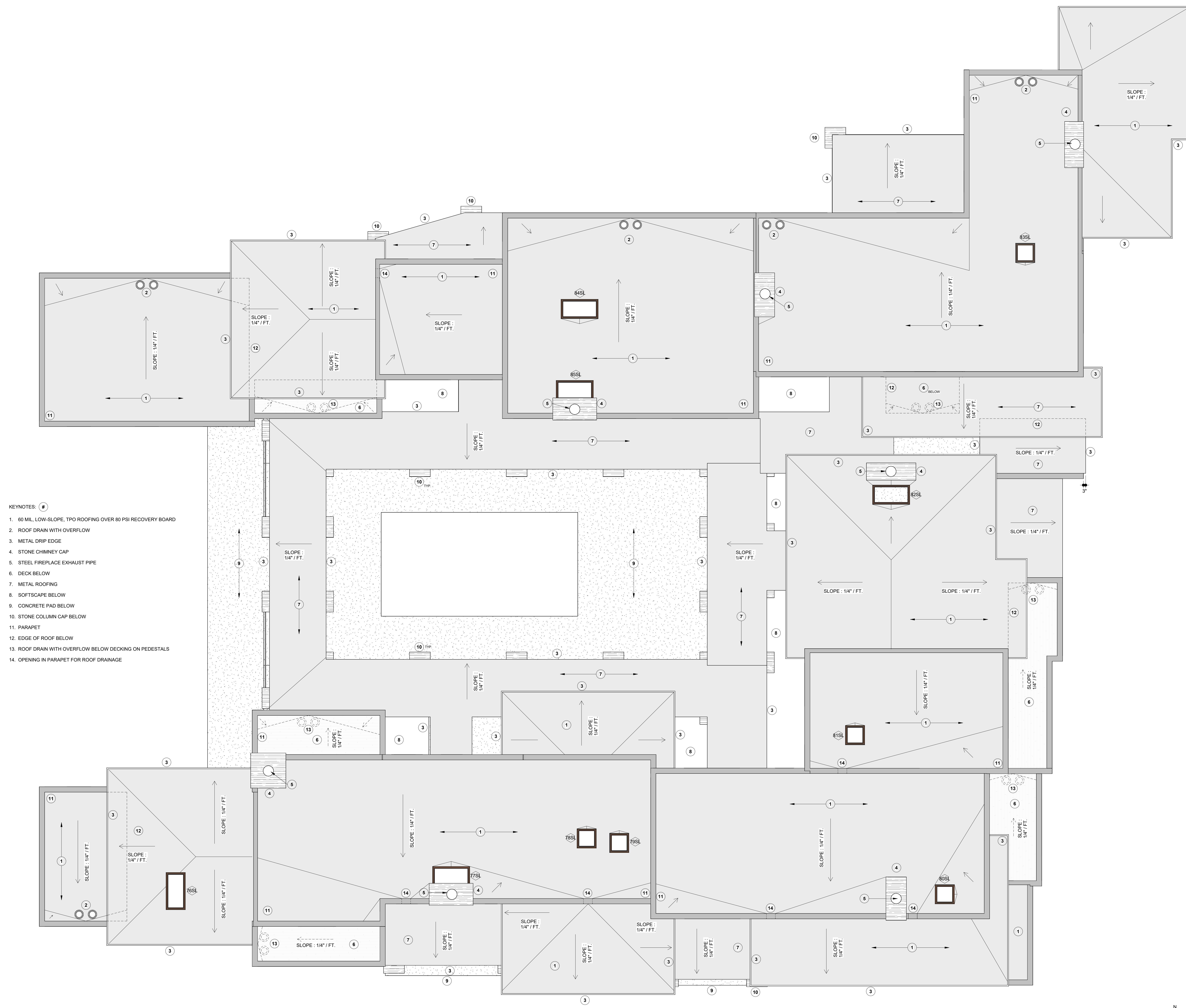


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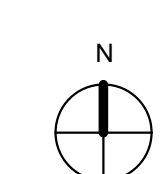
PERALTA'S WALK, LLC.

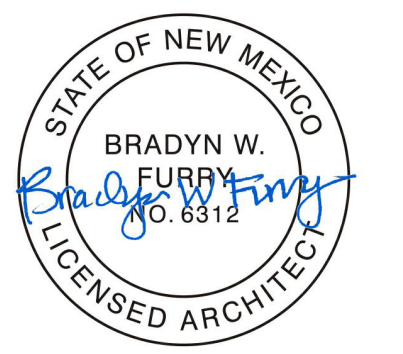
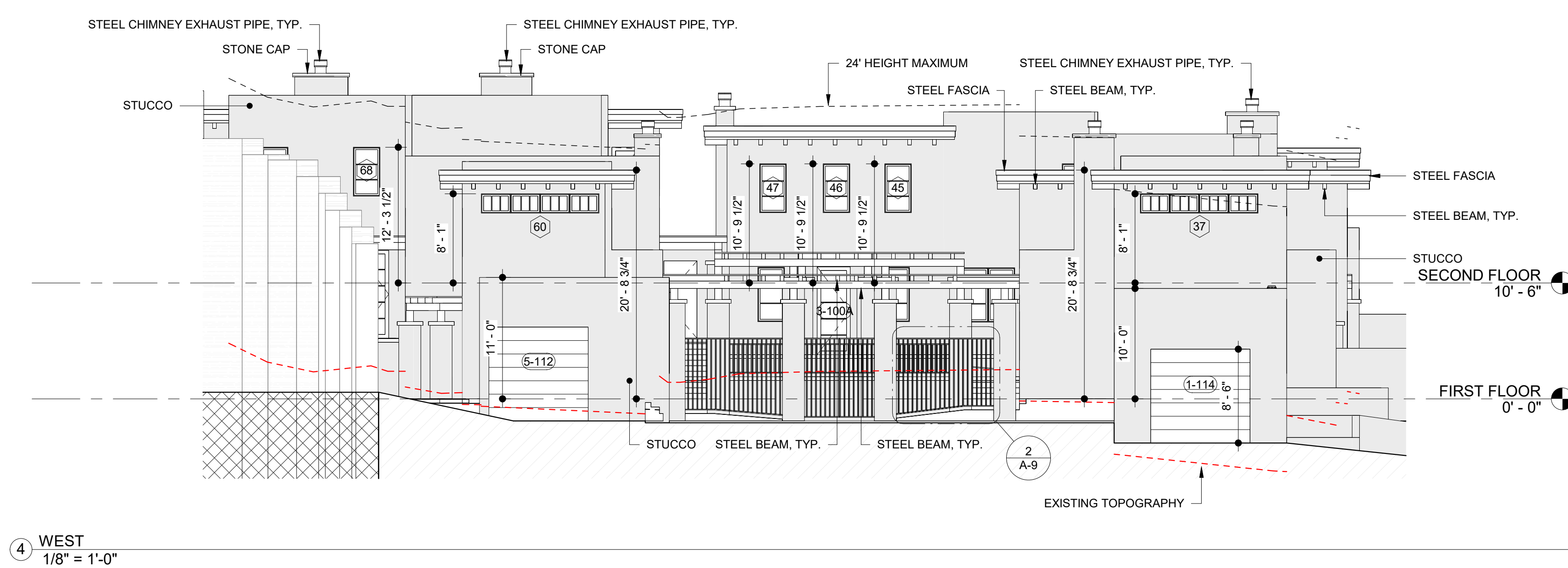
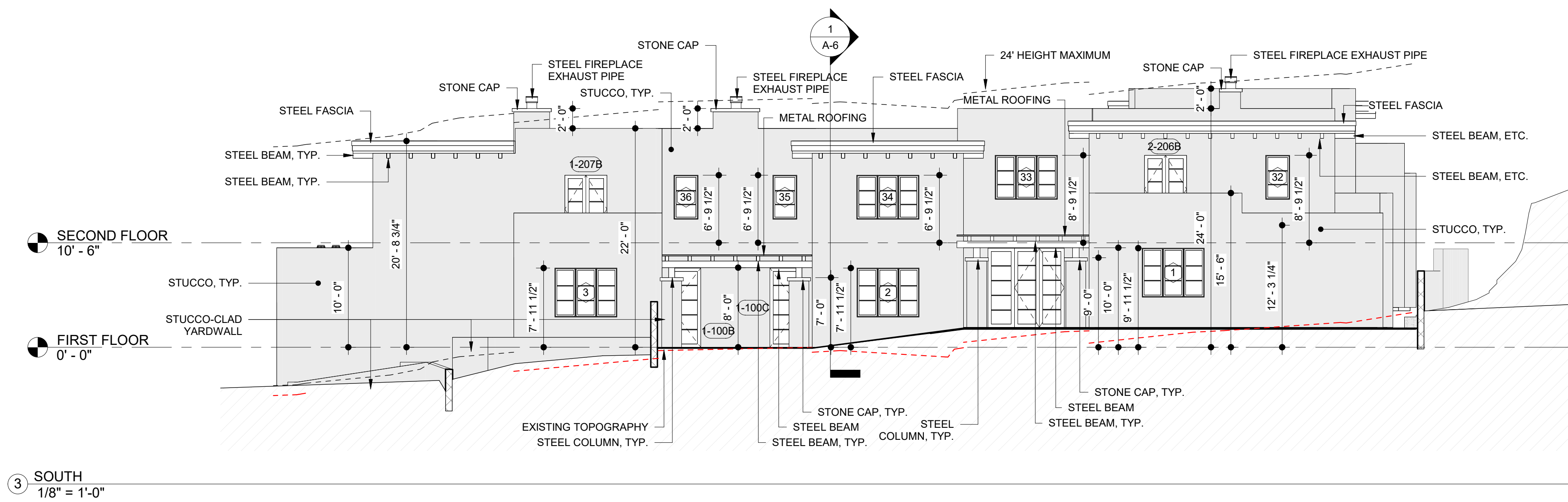
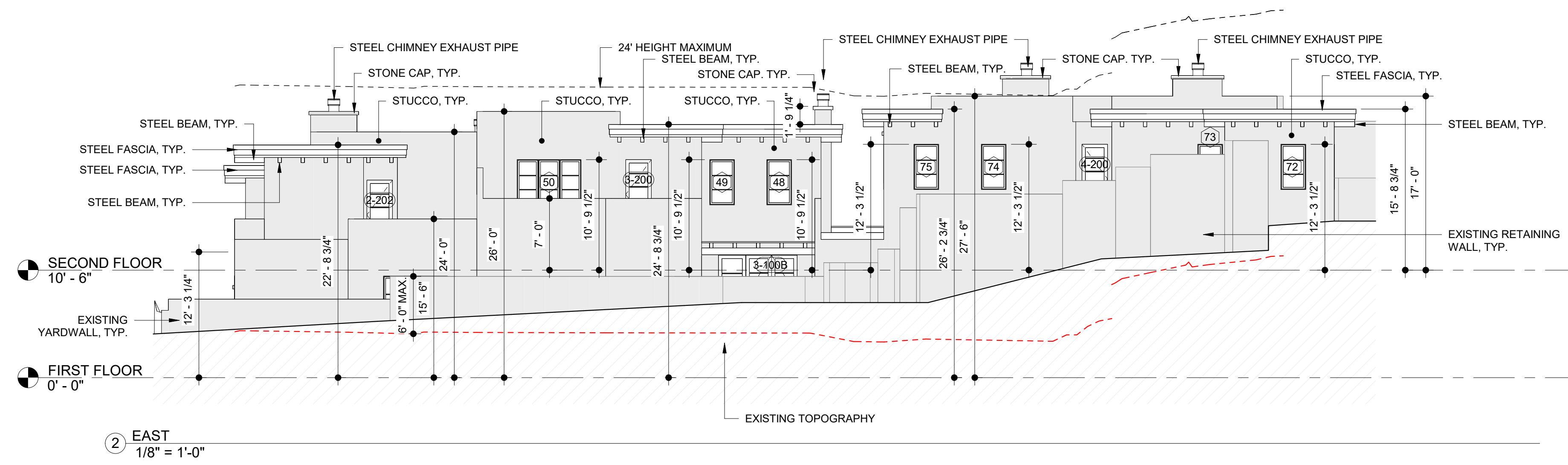
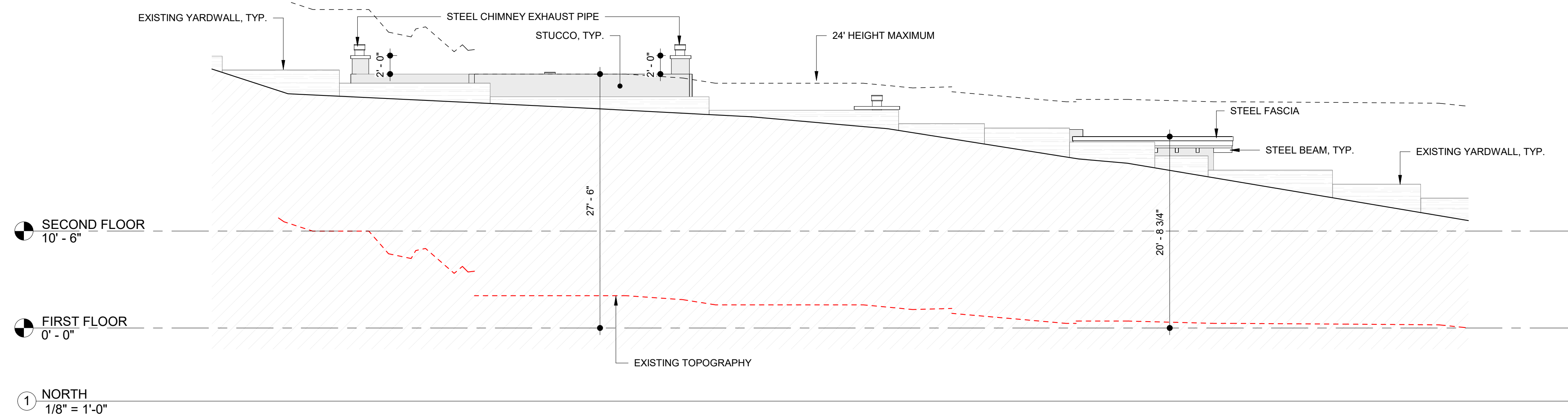
511 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

ROOF PLAN



- KEYNOTES: #
1. 60 MIL. LOW-SLOPE, TPO ROOFING OVER 80 PSI RECOVERY BOARD
 2. ROOF DRAIN WITH OVERFLOW
 3. METAL DRIP EDGE
 4. STONE CHIMNEY CAP
 5. STEEL FIREPLACE EXHAUST PIPE
 6. DECK BELOW
 7. METAL ROOFING
 8. SOFTSCAPE BELOW
 9. CONCRETE PAD BELOW
 10. STONE COLUMN CAP BELOW
 11. PARAPET
 12. EDGE OF ROOF BELOW
 13. ROOF DRAIN WITH OVERFLOW BELOW DECKING ON PEDESTALS
 14. OPENING IN PARAPET FOR ROOF DRAINAGE



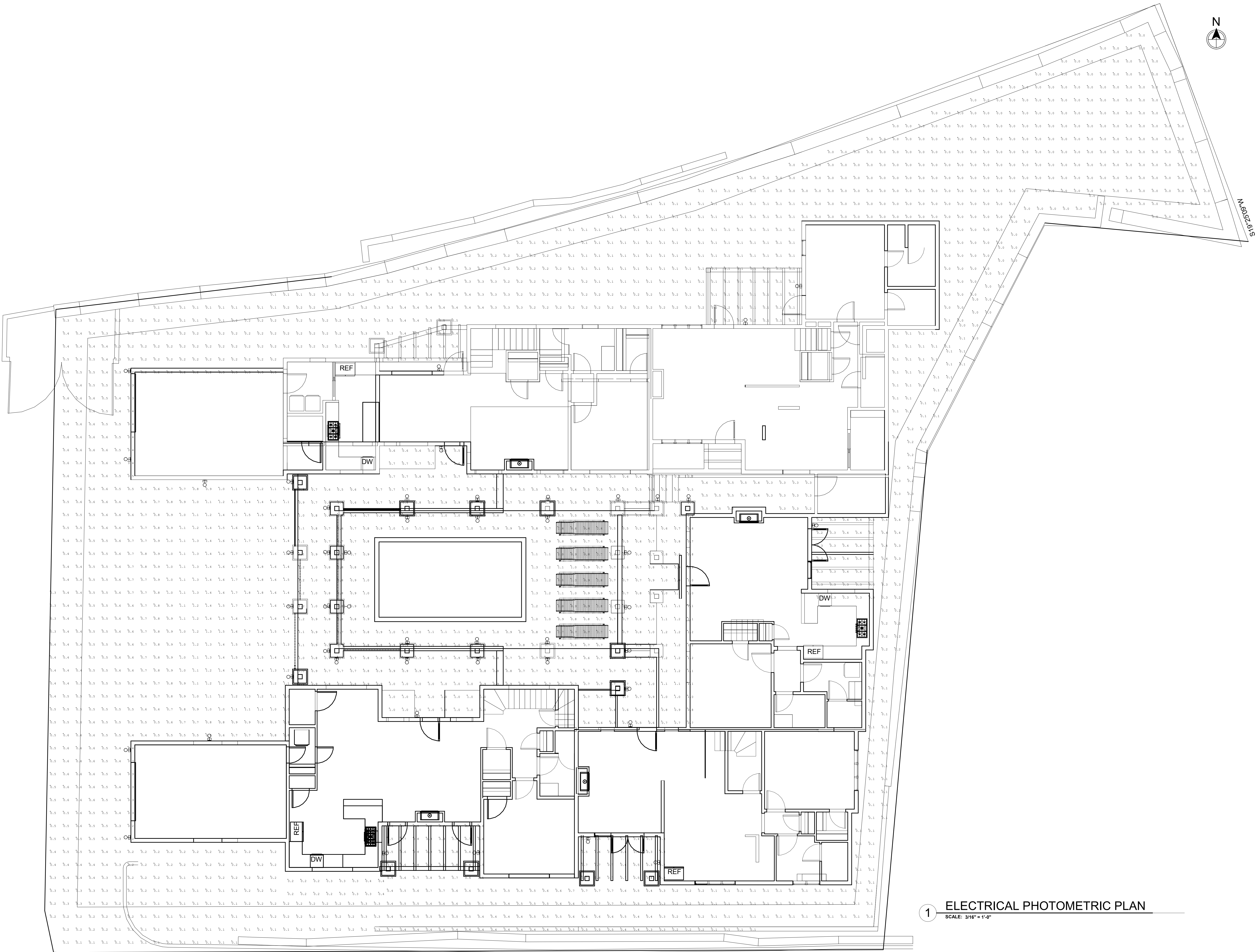


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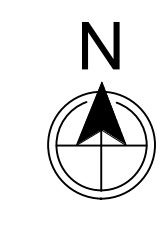
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511 Paseo de Peralta
Santa Fe, NM
PASEO NORTH

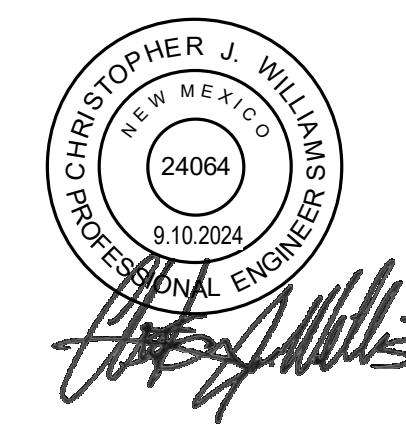
EXTERIOR ELEVATIONS



1 ELECTRICAL PHOTOMETRIC PLAN
SCALE: 3/16" = 1'-0"



PERALTA'S WALK, LLC.
511 Paseo de Peralta
Santa Fe, NM
PASEO NORTH



Christopher J. Williams

ELECTRICAL
PHOTOMETRIC
PLAN

GENERAL NOTES:

- ALL IMPROVEMENTS, UNLESS OTHERWISE MODIFIED IN THE PROJECT SPECIFICATIONS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE COSE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OF THE CITY OF SANTA FE, NM, LATEST EDITION, EXCEPT WHERE OTHERWISE NOTED IN THE DRAWINGS.
- THE CONTRACTOR AGREES SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF PROJECT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE OWNER, ENGINEER AND ALL APPLICABLE AGENCIES. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME, INCLUDING WEEKENDS, HOLIDAYS AND AFTER HOURS. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS FROM ALL JURISDICTIONAL AUTHORITIES PRIOR TO START OF CONSTRUCTION. PERMIT COSTS ARE INCIDENTAL TO BASE BID.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY, HEALTH, AND ENVIRONMENTAL PROTECTION.
- EXISTING SITE INFRASTRUCTURE WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING, IN ADVANCE OF CONSTRUCTION OPERATIONS, IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITY CONFLICTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR THE SAW CUTTING.
- ANY PAVEMENT DISTURBED BY THE TRENCH SHALL BE REMOVED AND THE FULL SECTION OF PAVEMENT SHALL BE REPLACED. FOR THE PAVEMENT SECTION AND THAT AREA DISTURBED BY THE EXCAVATED TRENCH, THE FOLLOWING APPLIES UNLESS OTHERWISE NOTED ON PLANS: IF ONLY ONE LANE IS DISTURBED BY TRENCHING, THE REMAINDER OF THE ONE ENTIRE LANE SHALL BE MILLED AND RESURFACED. IN A FOUR-LANE STREET, IF MORE THAN ONE LANE BUT LESS THAN HALF THE STREET IS AFFECTED, THEN THE REMAINDER OF HALF THE STREET (TWO LANES MINIMUM) SHALL BE MILLED AND RESURFACED. IF MORE THAN ONE-HALF OF ANY STREET WIDTH IS AFFECTED, THEN ALL PAVING IN THE STREET FROM CURB TO CURB SHALL BE MILLED AND RESURFACED.
- DEWATERING DURING CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION.

GEOTECHNICAL INVESTIGATION:

- GEOTECHNICAL EXPLORATION, TESTING, AND ANALYSIS WILL ESTABLISH PARAMETERS REGARDING FOUNDATION AND EROSION CONTROL. CRITERIA WILL BE ESTABLISHED TO PERMIT THE MOST ECONOMIC DESIGN THAT IS COMPATIBLE WITH LIFE EXPECTANCY AND SERVICE OF STRUCTURES.
- DESIGN LOADS FOR ALL STRUCTURES WILL BE DETERMINED IN ACCORDANCE WITH THE CRITERIA DESCRIBED BELOW, UNLESS THE APPLICABLE BUILDING CODE REQUIREMENTS ARE MORE STRINGENT.
- VEHICLE LOADS: LOADS EXERTED ON ROADWAY PAVEMENTS, BURIED PIPING, BOX CULVERTS, AND EMBANKMENTS WILL BE REVIEWED AND SELECTED PRIOR TO DESIGN OF THE UNDERLYING ITEMS. TYPICALLY, HS20 LOADS WILL BE USED FOR THE DESIGN OF ROADWAY SUB GRADE. EQUIPMENT LOADING SUCH AS SCRAPERS (LOADED), CRAWLER CRANES, AND EQUIPMENT TRANSPORT TRAILERS COULD EXCEED THE TYPICAL HS20 LOADINGS. SUCH LOADS WILL BE CONSIDERED WHERE APPROPRIATE.
- SITE ARRANGEMENT: THE SITE ARRANGEMENT WILL CONFORM TO APPLICABLE LAWS, REGULATIONS, AND ENVIRONMENTAL STANDARDS. THE PRINCIPLE ELEMENTS IN THE SELECTION OF SITE ARRANGEMENT CRITERIA ARE THE PHYSICAL SPACE REQUIREMENTS AND RELATIONSHIPS DICTATED BY EACH OF THE MAJOR SYSTEMS. DISTANCES BETWEEN VARIOUS SYSTEMS WILL BE MINIMIZED FOR ECONOMY. UTILITY INTERCONNECTIONS WILL BE OPTIMIZED AS MUCH AS PRACTICAL. SPILL CONTAINMENT MEASURES WILL BE PROVIDED. TREATMENT SYSTEMS WILL BE PROVIDED FOR FACILITY WASTEWATER STREAMS, BEFORE DISCHARGE. SANITARY WASTEWATER WILL BE DISCHARGED TO AN ON-SITE LEACHING FIELD. INTERNAL ACCESS ROADS WILL BE PROVIDED. THE SITE ARRANGEMENT WILL BE DEVELOPED TO MINIMIZE FILL AND/OR EXCAVATION AND TO MAINTAIN THE EFFICIENCY OF PROJECT CONSTRUCTION, OPERATION, AND MAINTENANCE. THE SITE GRADING AND DRAINAGE PLAN WILL USE A SERIES OF ON-SITE LOCALIZED INFILTRATION AREAS, SHEET FLOW, WHICH FOLLOWS THE EXISTING NATURAL DRAINAGE COURSE, WHILE THE RUNOFF ACROSS THE SITE TO THE LOCALIZED INFILTRATION AREAS INCORPORATED INTO THE SITE GRADING AND DRAINAGE PLANS. THE USE OF LOW RUNOFF VELOCITIES AND INFILTRATION AREAS WILL ALLOW THE RUNOFF TO GO TO THE GROUND. WASTEWATER THAT MAY CONTAIN OIL WILL BE ROUTED THROUGH AN OIL-WATER SEPARATOR.

THE FOLLOWING CRITERIA WILL BE FOLLOWED REGARDING SITE INFRASTRUCTURE:

- CULVERTS AND SANITARY SEWER MANHOLES WILL BE INSTALLED AS REQUIRED.
 - LOCATIONS AND REQUIREMENTS FOR FENCING OR WALLS WILL CONFORM TO APPLICABLE BUILDING CODES AND COUNTY ORDINANCES.
- GRADING AND DRAINAGE: THE SITE GRADING AND DRAINAGE SYSTEM WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS. THE GENERAL SITE GRADING WILL ESTABLISH A WORKING SURFACE FOR CONSTRUCTION AND OPERATING AREAS, PROVIDE POSITIVE DRAINAGE FROM BUILDINGS AND STRUCTURES, AND PROVIDE ADEQUATE SOIL COVERAGE FOR UNDERGROUND UTILITIES. ON-SITE DRAINAGE WILL BE ACCOMPLISHED THROUGH GRAVITY FLOW WHENEVER POSSIBLE. THE SURFACE DRAINAGE SYSTEM WILL CONSIST OF GENTLE SLOPES. THE BUILDINGS AND STRUCTURES WILL BE LOCATED WITH THE GROUND FLOOR ELEVATION A MINIMUM OF SIX INCHES ABOVE THE FINISHED GRADE. THE PREFERRED SLOPE OF THE GRADED AREAS AWAY FROM STRUCTURES WILL BE 1 PERCENT WITH A MINIMUM SLOPE OF 0.5 PERCENT. SITE DRAINAGE FACILITIES WILL BE DESIGNED FOR THE FLOW RESULTING FROM A 25-YEAR, 6-HOUR RAINFALL EVENT. TEMPORARY FACILITIES WILL GENERALLY BE DESIGNED FOR A 2-YEAR RAINFALL. ANY FACILITIES LOCATED WITHIN A FLOOD PLAIN WILL BE ELEVATED AND DESIGNED TO PREVENT FLOODING OF PERMANENT FACILITIES.

EXCAVATION AND FILL

- EXCAVATION AND FILL WILL BE BALANCED TO THE MAXIMUM EXTENT POSSIBLE.
- EXCAVATION: IN AREAS REQUIRING EXCAVATION, EARTH MATERIAL WILL BE REMOVED TO THE REQUIRED LINES AND GRADES. ANY UNDESIRABLE MATERIAL WILL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. THE REMAINING IN-SITU MATERIAL WILL BE GRADED AND COMPACTED TO THE DEPTH AND DENSITY DETERMINED BY DETAILED DESIGN. EXCAVATED MATERIAL THAT DOES NOT MEET THE DESIGN REQUIREMENTS WILL BE USED AS GENERAL SITE FILL WHERE POSSIBLE.
- FILL: COMPACTED FILL MATERIAL WILL BE OBTAINED FROM ON SITE EXCAVATIONS TO THE MAXIMUM EXTENT POSSIBLE. THE MATERIAL WILL BE PLACED AND COMPACTED TO THE GRADES AND DENSITY DETERMINED BY THE DESIGN. BASED UPON THE GEOTECHNICAL INVESTIGATION FINDINGS, COMPACTION WILL BE PROVIDED UNDER AND WITHIN FIVE FEET OF THE FOUNDATION FOOTPRINT. OPEN AREAS NOT SUPPORTING REFLECTOR FOUNDATIONS WILL BE SCARIFIED AND GRADED TO ACHIEVE HIGH SOIL PERMEABILITY. APPROXIMATELY SIX INCHES OF TOPSOIL WILL BE PLACED ON FILL IN ANY AREAS THAT ARE TO BE SEEDED OR OTHERWISE LANDSCAPED.

DRAINAGE SWALES

DRAINAGE SWALES WILL BE DESIGNED TO PROVIDE SLOW FLOW VELOCITIES AND TO ACCOMMODATE EXPECTED SITE RUNOFF AS WELL AS DIRECT AND CONTROL RUNOFF FROM ADJOINING PROPERTIES.

STORM WATER DRAINAGE

A STORM WATER DRAINAGE SYSTEM WILL BE DEVELOPED. DRAINAGE SWALES WILL BE USED ALONG THE PERIMETER TO CONTROL AND DIRECT STORM WATER RUNOFF FOR ABSORPTION INTO THE GROUND AS WELL AS DIRECT RUNOFF INTO THE EXISTING AREA DRAINAGE COURSE.

PRE- AND POST-DEVELOPMENT RUNOFF CONDITIONS

THE PEAK FLOW ASSOCIATED WITH THE 25-YEAR STORM EVENT AT THE SITE, BEFORE MODIFICATIONS (PRE-DEVELOPMENT), WILL BE COMPARED TO THE AFTER-CONSTRUCTION (POST-DEVELOPMENT) CONDITIONS.

EROSION AND SEDIMENTATION CONTROL

EROSION AND SEDIMENTATION CONTROL WILL BE PROVIDED TO RETAIN SEDIMENT ON-SITE AND TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS. THE PROPOSED SITE DEVELOPMENT WILL SLIGHTLY ALTER THE LAND AREAS OF THE SITE. EXISTING, SPARSE VEGETATION WILL BE REMOVED AS REQUIRED DURING SITE PREPARATION. THE GENERAL PREPARATION OF THE OVERALL SITE WILL BE FOLLOWED BY EARTHMOVING ACTIVITIES. FINAL FINISH GRADING WILL BEGIN WHEN ALL OTHER GRADING OPERATIONS ARE COMPLETE. FINAL GRADING MAY INCLUDE SEEDING DISTURBED AREAS, SURFACED WITH CONCRETE, ASPHALT, OR CRUSHED AGGREGATE OR PROVIDED WITH A SOIL TREATMENT DESIGN TO LIMIT THE GROWTH OF GRASS AND WEEDS. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES USED DURING CONSTRUCTION WILL BE DESIGNED TO PREVENT SEDIMENTS FROM BEING DISPLACED AND CARRIED OFF-SITE BY STORM WATER RUNOFF. PRIOR TO BEGINNING EXCAVATION ACTIVITIES, A SILT FENCE OR STRAW BALES WILL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT WORK AREAS WHERE RUNOFF TO OFF-SITE AREAS COULD OCCUR. THE SILT FENCE WILL FILTER SEDIMENTS FROM CONSTRUCTION RUNOFF. DURING CONSTRUCTION, THE EXTENT OF EARTH DISTURBANCES WILL BE MINIMIZED AS MUCH AS PRACTICAL. DIVERSION DITCHES AND/OR BERMS WILL BE CONSTRUCTED AS NECESSARY TO DIVERT RUNOFF FROM OFF-SITE AREAS AROUND THE CONSTRUCTION SITE. TEMPORARY CONTROL MEASURES WILL BE MAINTAINED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.

PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES WITHIN THE PROJECT SITE WILL INCLUDE THE RUNOFF COLLECTION SYSTEM AND INFILTRATION SYSTEM, SURFACED TRAFFIC AND WORK AREAS, AND SEEDED NON-WORKING AREAS. THESE MEASURES WILL MINIMIZE THE POSSIBILITY OF ANY APPRECIABLE EROSION OF THE RESULTING SEDIMENTATION OCCURRING ON THE PROJECT SITE.

TRAFFIC AND TRANSPORTATION

ACCESS WILL BE PROVIDED BY EXISTING ROADWAYS. ALL ROADS WILL BE APPROPRIATELY SURFACED DURING THE CONSTRUCTION PERIOD. PERIODIC WATERING OR APPLICATIONS OF A DUST PALLIATIVE MATERIAL WILL BE USED TO MINIMIZE DUST PROBLEMS. THE MINIMUM RADIUS TO THE INSIDE EDGE OF PAVEMENT (EOP) OR AGGREGATE SURFACE AT INTERSECTIONS OF THE ROAD WILL BE 20 FEET.

FENCING AND SECURITY

SECURITY AND VISUAL SCREENING FENCING WILL BE PROVIDED AROUND THE PROJECT SITE. ACCESS TO THE PROJECT SITE WILL BE PROVIDED THROUGH A CONTROLLED ACCESS GATE. FENCING HEIGHTS WILL BE IN ACCORDANCE WITH APPLICABLE CODES, REGULATORY REQUIREMENTS AND VISUAL CONSIDERATIONS.

EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN:

- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
- THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED BY THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR PLAN. INSTALLING SILT FENCES AT THE PROPERTY LINES.
- THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT WASHES BY INSTALLING CHECK DAMS IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW.
- THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
- ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR ANY IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED, UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN. SEEDING SHALL BE NATIVE GRASS SEEDING PER SECTION 1012 OF THE COA STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS OIL MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HULL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-827-9329.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
- WHERE STORM INLETS ARE SUSCEPTIBLE TO IN FLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.

CLEARING AND GRUBBING:

THIS SECTION GOVERNS THE FURNISHING OF ALL LABOR, EQUIPMENT, TOOLS AND MATERIALS AND THE PERFORMANCE OF ALL CLEARING, GRUBBING, AND DEMOLITION WITHIN THE LIMITS OF WORK AS DEFINED IN THIS SPECIFICATION, IN THE SPECIAL PROVISIONS OR AS SHOWN ON THE PLANS.

- CLEARING: CLEARING SHALL CONSIST OF REMOVING ALL VEGETABLE MATTER SUCH AS TREES, BRUSH, DOWN TIMBER AND OTHER OBJECTIONABLE MATERIALS FOUND ON OR ABOVE THE SURFACE OF THE SITE. IT SHALL INCLUDE REMOVING BUILDINGS, FENCES, LUMBER, WASTE DUMPS AND TRASH AND THE SALVAGING OF SUCH MATERIALS AS MAY BE SPECIFIED AND DISPOSING OF THE DEBRIS. THE CONTRACTOR SHALL SCALP ALL EXCAVATION AND EMBANKMENT AREAS. SCALPING SHALL INCLUDE THE REMOVAL OF MATERIAL SUCH AS SOIL, GRASS, RESIDUE OR AGRICULTURAL CROPS AND DECAYED VEGETABLE MATTER FROM THE SURFACE OF THE GROUND WITHOUT REMOVING MORE EARTH THAN IS NECESSARY.
- GRUBBING: GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF ALL VEGETABLE MATTER SUCH AS STUMPS, ROOTS, BURIED TREES AND BRUSH ENCOUNTERED BELOW THE SURFACE OF THE GROUND OR SUBGRADE, WHICHEVER IS LOWER, WHICH HAVE NOT BEEN INCLUDED IN SECTION 2101.2A ENTITLED "CLEARING". IN ALL CASES OF GRUBBING, THE VEGETABLE MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES (30.48CM) BELOW GROUND LINE OR SUBGRADE, WHICHEVER IS LOWER, EXCEPT AS PROVIDED IN SECTION 311000. WHEN DELETERIOUS MATERIALS ARE ENCOUNTERED BELOW GROUND LINE WHICH MAY BE DETRIMENTAL TO THE PROPOSED IMPROVEMENT, THESE SHALL BE REMOVED TO A DEPTH NECESSARY TO PROVIDE ADEQUATE SUPPORT FOR THE PROPOSED IMPROVEMENT.
- DEMOLITION AND REMOVAL: THIS WORK SHALL CONSIST OF DEMOLISHING, REMOVING, AND DISPOSING OF ALL STRUCTURES AND IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS UNLESS INCLUDED IN OTHER ITEMS OF WORK AS SHOWN ON THE PLANS OR IN THE SPECIAL PROVISIONS. THIS WORK SHALL APPLY TO ALL STRUCTURES AND IMPROVEMENTS, WHETHER ON, ABOVE OR BELOW THE SURFACE OF THE GROUND OR SUBGRADE. DEMOLITION AND REMOVAL SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS SUCH AS BUILDINGS, DRAINAGE STRUCTURES, PIPES, PAVEMENTS, FENCES, RETAINING WALLS, GUARD RAILS, AND SIGNS. ITEMS SUCH AS FENCES AND GUARD RAILS SHALL BE SALVAGED AND RELINQUISHED TO THE APPROPRIATE OWNER OR RE-LOCATED, WHERE INDICATED ON THE PLANS. RELOCATION OF SIGNS, FENCES, GUARD RAILS, ETC. SHALL BE CONSIDERED INCIDENTAL TO REMOVAL WORK EXCEPT WHERE SUCH RELOCATION IS LISTED SEPARATELY IN THE ITEMIZED PROPOSAL OF THE SPECIAL PROVISIONS. ALL PIPES WHICH ARE TO BE ABANDONED SHALL BE REMOVED UNLESS OTHERWISE SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER.
- TREES: VEGETABLE GROWTH 6 INCHES (15.24CM) IN DIAMETER AND LARGER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS A TREE. E. BRUSH: VEGETABLE GROWTH LESS THAN 6 INCHES (15.24CM) IN DIAMETER, MEASURED 3 FEET (91.44CM) ABOVE GROUND SHALL BE CLASSIFIED AS BRUSH.

CONSTRUCTION DETAILS

- LIMITS OF WORK: THE LIMITS FOR CLEARING, GRUBBING, AND DEMOLITION SHALL EXTEND TO THE CONSTRUCTION LIMITS UNLESS OTHERWISE SHOWN ON THE PLANS.
 - PROTECTION OF GREENERY: EXISTING STRUCTURES AND PRIVATE FACILITIES, THE PLANS WILL DESIGNATE TREES, SHRUBS OR OTHER PLANTS THAT ARE TO BE SAVED AND THE CONTRACTOR WILL TAKE NECESSARY STEPS TO PROTECT THIS GREENERY. TREES MAY BE PRUNED, BUT ONLY IN ACCORDANCE WITH THE BEST PRACTICES OF ARBORICULTURE IN RESPECT TO THE INDIVIDUAL SPECIES WITH DUE REGARD TO THEIR NATURAL FORM AND GROWTH CHARACTERISTICS. EXISTING STRUCTURES WITHIN OR ADJACENT TO THE CONSTRUCTION LIMITS THAT ARE NOT TO BE REMOVED OR DEMOLISHED, SHALL BE PROTECTED BY THE CONTRACTOR DURING HIS OPERATIONS. ANY PRIVATE FACILITIES SUCH AS HOUSE SEWER LATERALS WHICH ARE DISTURBED OR DAMAGED BY THE CONTRACTOR'S WORK, SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO THE CLOSE OF THE WORK DAY. THIS REPAIR SHALL BE MADE IN A MANNER SUFFICIENT TO RESTORE UTILITY SERVICE TO THAT PROPERTY.
 - EMBANKMENT AREAS: WHEN UNDISTURBED STUMPS AND ROOTS ARE ENCOUNTERED WHERE THE FILL DEPTH WILL EXCEED 3 FEET (91.44CM), THE STUMPS AND ROOTS MAY BE LEFT IN PLACE PROVIDED THEY DO NOT EXTEND MORE THAN 3 INCHES (7.62CM) ABOVE THE ORIGINAL GROUND LINE.
 - BORROW AREAS: ALL STUMPS, ROOTS AND OTHER OBJECTIONABLE MATTER SHALL BE REMOVED FROM THE BORROW MATERIAL USED FOR EMBANKMENT OR FILL. THE BORROW AREA SHALL BE LEFT IN A WELL DRAINED AND SMOOTH CONDITION.
 - BACKFILLING THE SITE: ALL TRENCHES, HOLES, PITS, AND BASEMENT AREAS RESULTING FROM THE OPERATIONS OF CLEARING, GRUBBING, DEMOLITION AND REMOVAL ON THE SITE, SHALL BE BACKFILLED WITH SUITABLE MATERIAL PLACED AND COMPACTED IN CONFORMANCE WITH SECTION 311000.
 - DISPOSAL OF MATERIALS: ALL MATERIALS WITH THE EXCEPTION OF THOSE WHICH ARE DESIGNATED FOR SALVAGE OR WHICH ARE USED IN THE EMBANKMENT IN CONFORMANCE WITH THIS SPECIFICATION, SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE DISPOSED OF BY HIM, OUTSIDE THE PROJECT LIMITS.
- GRADING:**
- THIS SECTION GOVERNS THE PERFORMANCE OF ALL WORK REQUIRED TO EXCAVATE, REMOVE, DISPOSE OR COMPACT ALL MATERIALS ENCOUNTERED WITHIN THE LIMITS OF THE PROJECT, AT THE LOCATIONS SHOWN ON THE PLANS, IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE GENERAL PROVISIONS AND COVENANTS, AND AS PROVIDED FOR IN THE SPECIAL PROVISIONS.
 - DEFINITIONS:
 - GRADING: GRADING AS USED HEREIN SHALL MEAN THE PERFORMANCE OF ALL EXCAVATION, EMBANKMENT, AND BACKFILL IN CONNECTION WITH THE CONSTRUCTION OF ALL IMPROVEMENTS
 - EXCAVATION: EXCAVATION IS DEFINED AS THE REMOVAL OF MATERIALS FROM THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - UNCLASSIFIED EXCAVATION: UNCLASSIFIED EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL ENCOUNTERED REGARDLESS OF ITS NATURE. ALL MATERIAL EXCAVATED WILL BE CONSIDERED AS UNCLASSIFIED EXCAVATION UNLESS THE SPECIAL PROVISIONS SPECIFY CLASSIFIED MATERIALS.
 - ROCK EXCAVATION: ROCK EXCAVATION IS DEFINED AS THE REMOVAL OF ALL ROCK LEDGES 8 INCHES (15.24CM) OR MORE IN THICKNESS, AND DETACHED ROCK OR BouldERS HAVING A VOLUME OF MORE THAN 1 1/2 CUBIC YARDS (1.15 CUBIC METERS) AND SHALE OCCURRING IN ITS NATURAL STATE, HARD AND UN-WEATHERED. A ROCK LEDGE IS DEFINED AS A CONTINUOUS BODY OF ROCK WHICH MAY INCLUDE THIN INTERBEDDED SEAMS OF SHALE OR OTHER SOFT MATERIALS LESS THAN 12 INCHES (30.48CM) THICK. THE THICKNESS OF EACH LAYER SHALL BE DEFINED BY INTERBEDDED SEAMS OF SOFT MATERIALS 12 INCHES OR MORE IN THICKNESS. THE SEAMS OF SOFT INTERBEDDED MATERIAL 12 INCHES (30.48CM) OR MORE IN THICKNESS SHALL NOT BE INCLUDED IN THE MEASUREMENT FOR "ROCK EXCAVATION" BUT SHALL BE INCLUDED IN THE MEASUREMENT FOR "EARTH EXCAVATION".
 - EARTH EXCAVATION: EARTH EXCAVATION IS DEFINED AS THE REMOVAL OF ALL MATERIAL NOT DEFINED AS ROCK.
 - EMBANKMENT OR BACKFILL: EMBANKMENT OR BACKFILL IS DEFINED AS THE PLACING AND COMPACTING OF MATERIAL IN THE CONSTRUCTION AREA TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - UNSUITABLE MATERIAL: UNSUITABLE MATERIAL IS DEFINED AS MUCK, FROZEN MATERIAL, ORGANIC MATERIAL, TOP SOIL, RUBBISH, AND ROCK WITH A MAXIMUM DIMENSION GREATER THAN 24 INCHES (60.96CM).
 - SUITABLE MATERIAL: SUITABLE MATERIAL IS DEFINED AS ENTIRELY IMPERISHABLE WITH THAT PORTION PASSING THE NO. 40 (425MM) SIEVE HAVING A LIQUID LIMIT NOT EXCEEDING 40 AND A PLASTIC INDEX NOT EXCEEDING 26, WHEN TESTED IN ACCORDANCE WITH ASTM D-4242 AND D-4241, RESPECTIVELY.
 - ROCK EMBANKMENT: MATERIAL FOR ROCK EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN, BY VOLUME, GREATER THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM) BUT NOT GREATER THAN 24 INCHES (60.96CM).
 - EARTH EMBANKMENT: MATERIAL FOR EARTH EMBANKMENT SHALL BE FREE OF UNSUITABLE MATERIAL AND SHALL CONTAIN BY VOLUME, LESS THAN 10 PERCENT ROCK OR GRAVEL HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES (7.62CM).
 - BORROW: BORROW IS DEFINED AS APPROVED MATERIAL EXCAVATED FROM AN AREA OUTSIDE OF THE PROJECT LIMITS AND REQUIRED FOR THE CONSTRUCTION OF THE EMBANKMENT.
 - WASTE: WASTE IS DEFINED AS EXCAVATION MATERIAL NOT USED IN THE EMBANKMENT AND DISPOSED OF OUTSIDE OF THE EMBANKMENT AREAS.
 - STRUCTURES: STRUCTURES AS USED HEREIN REFERS TO BRIDGES, CULVERTS, STORM SEWER AND/OR SANITARY APPURTENANCES, RETAINING WALLS AND SIMILAR CONSTRUCTION.
- CONSTRUCTION DETAILS**
- THE CONTRACTOR SHALL ADHERE TO ANY AND ALL STATUTES REGARDING THE NOTIFICATION OF UTILITIES PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY. RELOCATION OR PROTECTION OF ANY EXISTING UTILITIES LOCATED IN STREET RIGHT-OF-WAY SHALL BE GOVERNED BY SECTION 015000 AND 017300 OF THE GENERAL PROVISIONS. THE RELOCATION AND/OR PROTECTION OF ANY UTILITY THAT IS SHOWN ON THE PLANS, THAT LIES WITHIN A UTILITY EASEMENT AND IS ENDANGERED BY THIS CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PROTECT PRIVATE FACILITIES. THESE FACILITIES MAY NOT BE SHOWN ON THE PLANS, WHEN THESE FACILITIES ARE DISTURBED OR DAMAGED BY THE WORK, THE CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS FOR REPAIRS TO THE FACILITIES FOR CONTINUOUS SERVICE PRIOR TO THE CLOSE OF THAT WORK DAY.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PROPERTY LOT CORNERS AND CONTROL MONUMENTATION. SHOULD IT BE NECESSARY TO DISTURB ANY SUCH MONUMENT, WHETHER STAKE, PIN, BAR, DISK, BOX, OR OTHER, IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE OR BE REPLACED BY THE ENGINEER TO RESET THEM, AND FILE SUCH RELOCATIONS OR MONUMENTATION DOCUMENTS AS THE LAW MAY REQUIRE. ANY SUCH REFERENCES, REMOVAL, REPLACEMENT AND CERTIFICATION OF MONUMENTS SHALL BE PERFORMED BY A REGISTERED LICENSED SURVEYOR. A COPY OF ALL SUCH CERTIFICATION DOCUMENTS SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL PAYMENT. ANY MONUMENT DESTROYED OR IMPROPERLY RESET BY THE CONTRACTOR MAY BE REPLACED BY THE ENGINEER AT THE CONTRACTOR'S STANDARDS REQUIRED BY LAW AT THE EXPENSE OF THE CONTRACTOR.
 - GRADING, EXCAVATION, AND BACKFILLING FOR ALL IMPROVEMENTS, SHALL BE MADE TO THE LINES, GRADES, AND CROSS SECTIONS INDICATED BY THE PLANS.
 - FINISHING: IN AREAS WHERE SODDING OR SEEDING IS PROPOSED, THE UPPER 12 INCHES (30.48CM) OF THE SURFACE AREA SHALL BE EARTH MATERIAL. THE TOP 6 INCHES (15.24CM) SHALL BE SUITABLE FOR SUSTAINING GRASS.

- IN ADDITION, TO ANY EROSION CONTROL MEASURES SHOWN ON THE PLANS, THE CONTRACTOR SHALL SCHEDULE AND CONDUCT HIS OPERATION IN SUCH A MANNER AND SHALL PROVIDE ANY NECESSARY CONTROL FACILITIES TO PROTECT DOWNSTREAM AND ADJACENT PROPERTIES FROM POLLUTION, SEDIMENTATION, OR EROSION CAUSED BY THE GRADING OPERATIONS. ANY POLLUTION OR DAMAGE OCCURRING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- DURING CONSTRUCTION, THE GRADED AREA SHALL BE MAINTAINED BY THE CONTRACTOR IN SUCH CONDITION THAT IT WILL BE WELL DRAINED AT ALL TIMES. ROADWAY DITCHES, CHANNEL CHANNELS, INLET AND OUTLET DITCHES AND OTHER DITCHES IN CONNECTION WITH THE ROADWAY SHALL BE CUT AND MAINTAINED TO THE REQUIRED CROSS SECTION. ALL DRAINAGE WORK SHALL BE PERFORMED IN PROPER SEQUENCE WITH OTHER OPERATIONS. ALL DITCHES AND CHANNELS SHALL BE KEPT FREE OF DEBRIS OR OBSTRUCTIONS.

- EXCAVATION: THIS SECTION GOVERNS THE EXCAVATION FOR ALL IMPROVEMENTS.
- ALL SUITABLE MATERIAL REMOVED BY EXCAVATION SHALL BE USED AS FAR AS PRACTICABLE IN THE FORMATION OF EMBANKMENT AS REQUIRED TO COMPLETE THE WORK. THE CONTRACTOR SHALL SORT ALL EXCAVATED MATERIAL AND STOCKPILE WHEN NECESSARY, SO AS TO PROVIDE SUITABLE MATERIALS FOR EMBANKMENTS.
- AFTER REMOVAL OF THE ROADWAY EXCAVATION MATERIAL TO THE REQUIRED SECTION, ALL MATERIAL BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO 95 PERCENT OF OPTIMUM DENSITY. FOR THE MATERIAL AS DEFINED IN SECTION 2102.02, ROCK ENCOUNTERED WITHIN THE FULL WIDTH OF THE ROADWAY, TOE OF SLOPE TO TOE OF SLOPE, SHALL BE UNDERGRADED TO AN ELEVATION OF 8 INCHES (15.24CM) BELOW THE FINISHED SUBGRADE ELEVATION. CARE SHALL BE TAKEN TO AVOID OVERTHOUGHING WHEN BLASTING. ROCK SHALL BE REMOVED IN SUCH A MANNER AS TO LEAVE NO EXCESSIVE WATER POCKETS IN THE SURFACE.

SIEVE SIZE	PERCENT PASSING SIEVES	
	1/4 INCH MAXIMUM	3/4 INCH MAXIMUM
2 INCH	100	100
1 1/2 INCH	90-100	100
1 INCH	----	100
3/4 INCH	50-85	90-100
No. 4	25-45	35-55
No. 30	10-25	10-30
No. 200	2-9	3-9

- WHERE MATERIALS ARE ENCOUNTERED WHICH ARE DEEMED AS UNSUITABLE BY THE ENGINEER FOR USE IN THE WORK, THEY SHALL BE REMOVED TO THE DEPTH AND LIMIT AS SPECIFIED ON THE PLANS. THE UNDERGRADED SHALL BE BACKFILLED WITH ONE OF THE FOLLOWING MATERIALS:
- ROCK FRAGMENTS OR SPALLS.
- A GRANULAR TYPE MATERIAL HAVING A PLASTICITY INDEX NOT TO EXCEED 10 AND A GRADATION SUCH THAT AT LEAST 50 PERCENT OF THE MATERIAL WILL BE RETAINED ON THE NO. 40 (4.75MM) SIEVE. D. A MATERIAL MEETING THE REQUIREMENTS OF SECTION 2102.2C.
- THIS SECTION GOVERNS EMBANKMENT FOR ALL IMPROVEMENTS. THE EMBANKMENTS SHALL BE CONSTRUCTED USING SUITABLE MATERIALS. AS HEREIN DEFINED. MATERIALS SHALL NOT BE REMOVED AND THE CLEARER GROUND SITE OR FROM BORROW AREAS AS REQUIRED TO COMPLETE THE GRADING WORK.

- STARTING THE EMBANKMENT: WHERE EMBANKMENTS, REGARDLESS OF HEIGHT, ARE PLACED AGAINST HILLSIDES OR EXISTING EMBANKMENTS, EITHER OF WHICH HAVE A SLOPE STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL, THE EXISTING SLOPE SHALL BE BENCHED OR STEPPED IN APPROXIMATELY 24 INCH (60.96CM) RISES AS THE NEW FILL IS BROUGHT UP IN 12 INCH MAXIMUM (30.48CM) LAYERS OR LIFTS. THE MATERIAL BLENDED OUT, THE BOTTOM OF THE AREA CUT INTO, AND THE EMBANKMENT MATERIAL BEING PLACED, SHALL BE COMPACTED TO THE REQUIRED DENSITY. MATERIAL CUT OUT, BLENDED OUT, PLACED AND COMPACTED SHALL NOT BE MEASURED AND PAID FOR DIRECTLY BUT WILL BE CONSIDERED AS INCIDENTAL WORK. THE EXISTING SURFACE UPON WHICH EMBANKMENT IS PLACED SHALL BE FREE OF ALL UNSUITABLE AND UNSUITABLE MATERIAL. REMOVED BEFORE STARTING THE EMBANKMENT WORK. WHERE EMBANKMENTS 2 FEET (60.96CM) OR LESS IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE REMOVED AND THE CLEARER GROUND SURFACE SHALL BE COMPACTED TO THE SPECIFIED DENSITY. WHERE EMBANKMENTS GREATER THAN 2 FEET (60.96CM) IN DEPTH ARE TO BE PLACED ON AREAS COVERED BY EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE BROKEN INTO PIECES NO LARGER THAN 24 INCHES (60.96CM) MAXIMUM DIMENSION, LEFT IN PLACE AND THE EMBANKMENT STARRED THEREON.
- PLACING EARTH EMBANKMENT: EARTH SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS DISTRIBUTED UNIFORMLY OVER THE FULL WIDTH OF THE EMBANKMENT AREA. EACH LAYER OF MATERIAL SHALL NOT EXCEED 12 INCHES MAXIMUM (30.48CM) IN THICKNESS (LOOSE STATE) AND SHALL BE COMPACTED TO NOT LESS THAN THE REQUIRED DENSITY BEFORE THE NEXT LAYER IS PLACED THEREON. AS THE COMPACTION OF EACH LAYER PROGRESSES, CONTINUOUS BLADING, OR DOZING WILL BE REQUIRED TO LEVEL THE SURFACE AND TO INSURE UNIFORM COMPACTION. EMBANKMENT CONSTRUCTION SHALL NOT BE PERFORMED WHEN MATERIAL CONTAINS FROST, IS FROZEN OR IS SNOW COVERED.

- PLACING EARTH AND ROCK EMBANKMENT: WHEN EARTH AND STONE OR ROCK FRAGMENTS ARE MIXED IN THE EMBANKMENT, ALL STONES OR ROCK FRAGMENTS EXCEEDING THE THICKNESS OF THE COMPACTED LIFT SHALL BE DISPOSED OF BY BEING INCORPORATED INTO THE EMBANKMENT OUTSIDE THE LIMIT OF THE PROPOSED SURFACED AREAS. THE THICKNESS OF THE LAYER IN THESE AREAS MAY BE INCREASED IF NECESSARY TO ACCOMMODATE THE ROCKS, BUT SHALL NOT EXCEED 15 INCHES (38.10CM) IN THICKNESS (LOOSE STATE). THE STONES OR ROCK FRAGMENTS ARE TO BE PLACED SO THERE WILL BE NO NESTING.
- CONSOLIDATED ROCK EMBANKMENT: WHEN THE EXCAVATED MATERIAL CONSISTS PREDOMINANTLY OF STONE OR ROCK FRAGMENTS OF SUCH SIZE THAT THE MATERIAL CANNOT BE PLACED IN LAYERS OF THE THICKNESS PRESCRIBED, SUCH MATERIAL SHALL BE PLACED IN THE EMBANKMENT IN LAYERS HAVING A THICKNESS OF THE APPROXIMATE AVERAGE SIZE OF THE LARGER ROCKS BUT NOT TO EXCEED 24 INCH (60.96CM), ROCKS OR BouldERS TOO LARGE TO PERMIT PLACING IN A 24 INCH (60.96CM) LAYER SHALL BE REDUCED IN SIZE AS NECESSARY TO PERMIT PLACEMENT. ROCK SHALL NOT BE DUMPED IN PLACE BUT SHALL BE DISTRIBUTED BY BLADING OR DOZING IN A MANNER TO INSURE PROPER PLACEMENT IN FINAL POSITION IN THE EMBANKMENT. THE SPALLS AND SMALLER STONE FRAGMENTS SHALL BE LEFT ON THE SURFACE OF EACH LAYER AS FORMED. EACH LAYER SHALL BE THOROUGHLY CONSOLIDATED BEFORE THE NEXT LAYER IS PLACED. THE TOP 12 INCHES (30.48CM) OF THE EMBANKMENT SHALL NOT CONTAIN MATERIAL HAVING A MAXIMUM DIMENSION GREATER THAN 12 INCHES (30.48CM). ROCK FRAGMENTS OR CRUSHED STONE SHALL BE WELL GRADED TO FORM A DENSE MASS WHEN COMPACTED.

- COMPACTING THE EMBANKMENT: BEFORE PLACING ANY EMBANKMENT, THE SURFACE OF THE EXISTING GROUND SHALL BE PREPARED AS HERETOFORE SPECIFIED, MOISTENED AS REQUIRED, AND THE TOP 6 INCHES (15.24CM) COMPACTED TO A DENSITY OF 90 PERCENT AS PRESCRIBED IN THE FOLLOWING PARAGRAPH. ALL EMBANKMENT SHALL BE COMPACTED TO A DENSITY OF AT LEAST 90 PERCENT OF THE MAXIMUM DENSITY FOR THE MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITHIN A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM DENSITY. THE MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED IN ADDITION TO THE ABOVE REQUIRED COMPACTION, THE SUBGRADE BETWEEN LINES 1 FOOT (30.48CM) OUTSIDE OF THE CURBS AND WITHIN THE TOP 6 INCHES (15.24CM) OF THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY FOR MATERIAL USED AS DETERMINED BY ASTM D-698 AND WITHIN A TOLERANCE OF MINUS 3 PERCENT AND PLUS 2 PERCENT OF THE OPTIMUM DENSITY. THE MAXIMUM DENSITY AS DETERMINED BY THE MOISTURE DENSITY CURVE OBTAINED. ALL WORK INVOLVED IN EITHER ADDING MOISTURE TO OR REMOVING MOISTURE FROM EMBANKMENT MATERIAL TO WITHIN THE MOISTURE LIMITS SHALL BE CONSIDERED INCIDENTAL TO THE COMPLETION OF THE GRADING OPERATION.

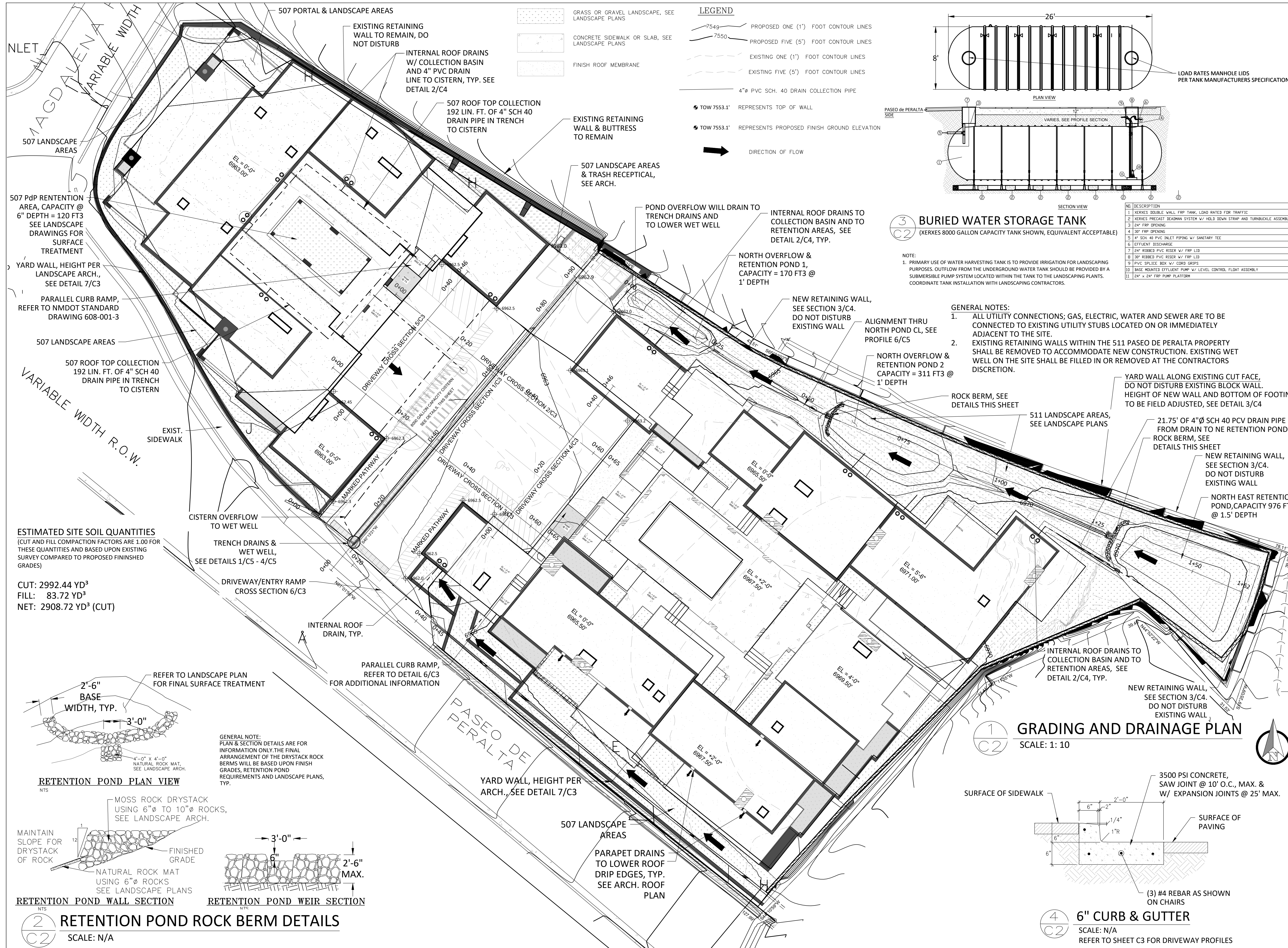
- MOISTURE - DENSITY DETERMINATION: IN-PLACE DENSITY AND MOISTURE CONTENT OF THE EMBANKMENT WILL BE DETERMINED BY THE STANDARD METHOD OF TEST FOR DENSITY OF SOIL IN PLACE BY THE SAND-CONE METHOD, ASTM D1556, OR BY THE RUBBER BALLON METHOD, ASTM D-2167, OR BY NUCLEAR METHODS, ASTM D-2922.

- EXCEPT WHERE OTHER PERMIT OR UTILITY WORK IS IN PROGRESS, THE GRADED SURFACE SHALL BE MADE FREE OF ROCK, CONCRETE, AND BRICK, OR FRAGMENTS THEREOF, OR RUBBISH AND SHALL BE FINISHED TO THE LINES, GRADES, AND CROSS SECTION INDICATED ON THE PLANS, INCLUDING SHOULDER, BERMS AND SIDEWALK SPACES.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED SURFACE, AND SHALL NOT USE ANY FINISHING EQUIPMENT THAT WILL LEAVE A MARKED SURFACE. WHEN THE SUBGRADE PREPARATION IS INCLUDED AS A PART OF THE FINISHING, THE WORK SHALL BE ACCOMPLISHED ACCORDING TO THE REQUIREMENTS OF SECTION 312000, AND SHALL BE CONSIDERED INCIDENTAL TO FINISHING THE GRADING WORK.
- CLEANUP: CLEANUP FOLLOW THE WORK PROGRESSIVELY AND FINAL CLEANUP SHALL FOLLOW IMMEDIATELY BEHIND THE FINISHING. THE CONTRACTOR SHALL REMOVE FROM THE SITE OF THE WORK ALL EQUIPMENT, TOOLS AND DISCARDED MATERIALS, AND OTHER CONSTRUCTION ITEMS. THE ENTIRE RIGHT-OF-WAY OR EASEMENT SHALL BE LEFT IN A FINISHED AND NEAT CONDITION. CLEANUP SHALL BE CONSIDERED AS INCIDENTAL TO THE COMPLETION OF GRADING WORK.
- BASE COARSE: CLASS 2 AGGREGATE BASE SHALL BE PLACED AFTER SITE GRADING ACTIVITIES ARE AT SUBSTANTIAL COMPLETION AND CONSIST OF THE FOLLOWING PROPERTIES:

A) CLASS 2 AGGREGATE BASE SHALL BE FREE OF VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCES. COARSE AGGREGATE MATERIAL CONTAINED ON THE No. 4 SIEVE, SHALL CONSIST OF MATERIAL OF WHICH 25 PERCENT BY WEIGHT SHALL BE CRUSHED PARTICLES. CLASS 2 AGGREGATE BASE SHALL CONFORM TO ONE OF THE FOLLOWING GRADINGS, DETERMINED IN ACCORDANCE WITH ASTM C136 SPECIFICATIONS:

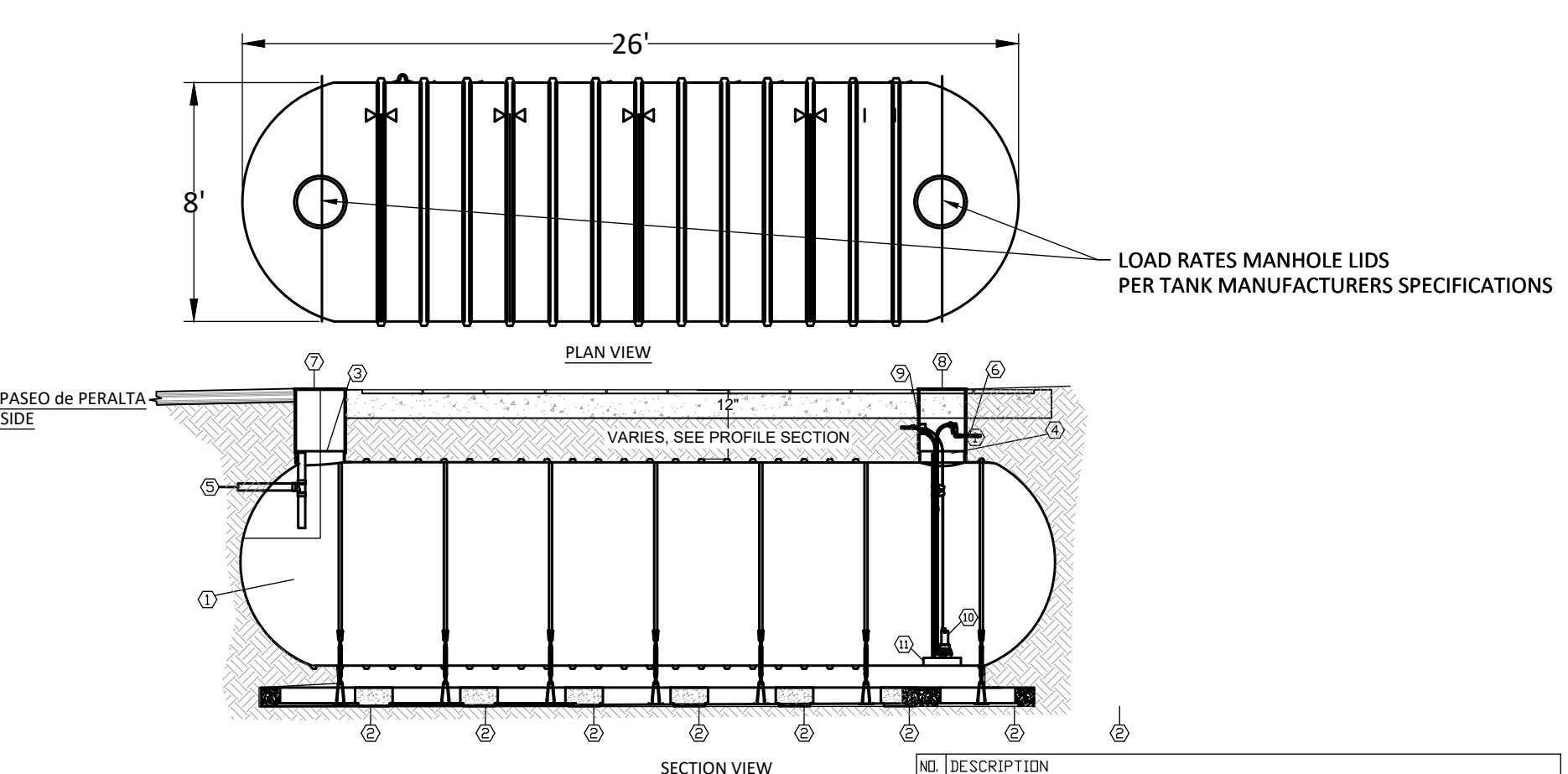
SIEVE SIZE	PERCENT PASSING SIEVES	
	1/4 INCH MAXIMUM	3/4 INCH MAXIMUM
2 INCH	100	100
1 1/2 INCH	90-100	100
1 INCH	----	100
3/4 INCH	50-85	90-100
No. 4	25-45	35-55
No. 30	10-25	10-30
No. 200	2-9	3-9

B) CLASS 2 AGGREGATE BASE SHALL CONFORM TO THE FOLLOWING ADDITIONAL REQUIREMENTS:</



LEGEND

- 7549 PROPOSED ONE (1') FOOT CONTOUR LINES
- 7550 PROPOSED FIVE (5') FOOT CONTOUR LINES
- EXISTING ONE (1') FOOT CONTOUR LINES
- EXISTING FIVE (5') FOOT CONTOUR LINES
- 4" PVC SCH. 40 DRAIN COLLECTION PIPE
- TOW 7553.1 REPRESENTS TOP OF WALL
- TOW 7553.1 REPRESENTS PROPOSED FINISH GROUND ELEVATION
- DIRECTION OF FLOW

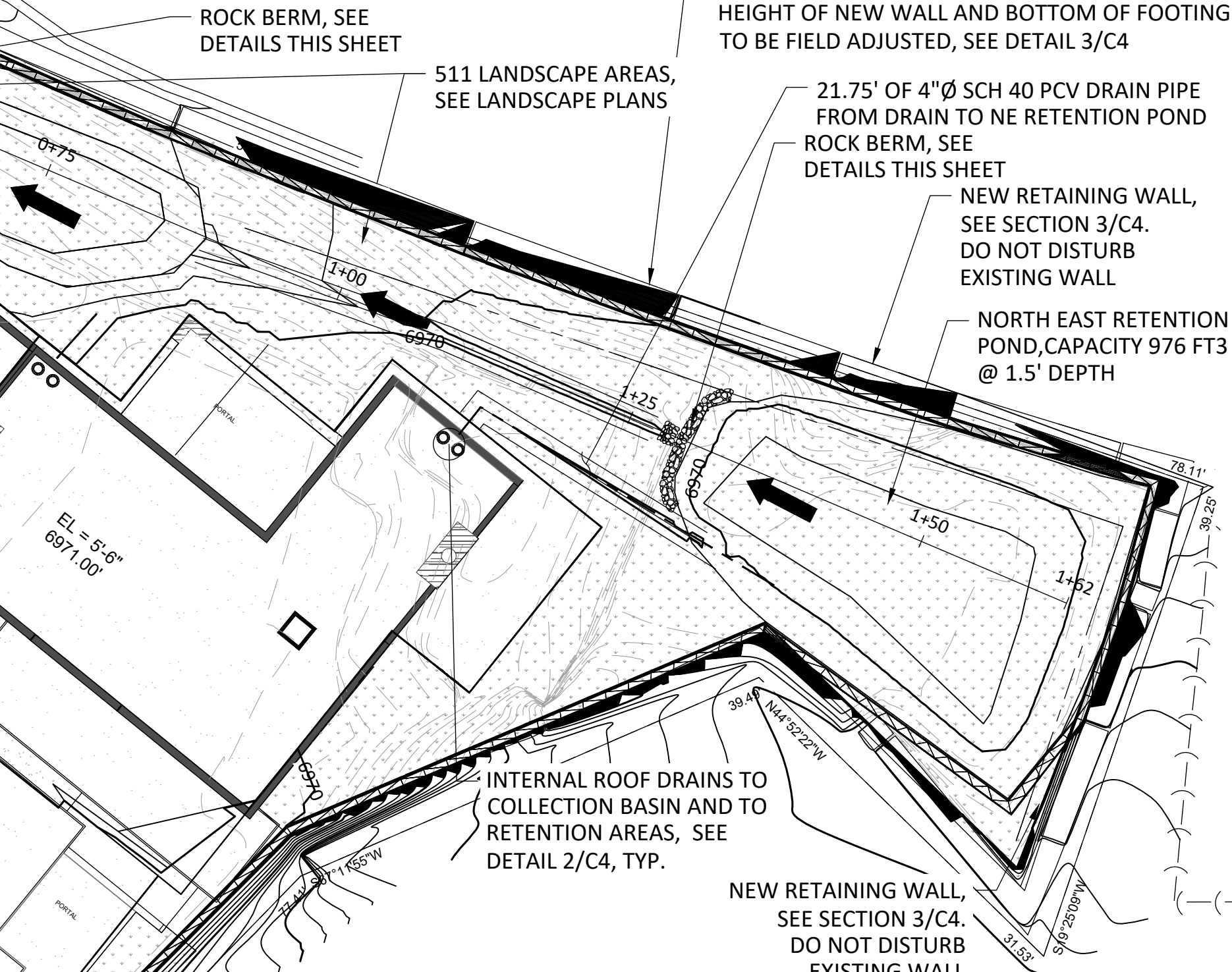


3 C2 BURIED WATER STORAGE TANK
(KEXRES 8000 GALLON CAPACITY TANK SHOWN, EQUIVALENT ACCEPTABLE)

NO.	DESCRIPTION
1	KEXRES DOUBLE WALL FRP TANK, LOAD RATED FOR TRAFFIC
2	KEXRES PRECAST DEADMAN SYSTEM W/ HELD DOWN STRAP AND TURNBUCKLE ASSEMBLY
3	24" FRP OPENING
4	30" FRP OPENING
5	4" SCH. 40 PVC INLET PIPING W/ SANITARY TEE
6	EFFLUENT DISCHARGE
7	24" RIBBED PVC RISER W/ FRP LID
8	30" RIBBED PVC RISER W/ FRP LID
9	PVC SPLICE BOX W/ COBIP GRIPS
10	BASE MOUNTED EFFLUENT PUMP W/ LEVEL CONTROL FLOAT ASSEMBLY
11	24" X 24" FRP PLUM PLATFORM

NOTE:
1. PRIMARY USE OF WATER HARVESTING TANK IS TO PROVIDE IRRIGATION FOR LANDSCAPING PURPOSES. OUTFLOW FROM THE UNDERGROUND WATER TANK SHOULD BE PROVIDED BY A SUBMERSIBLE PUMP SYSTEM LOCATED WITHIN THE TANK TO THE LANDSCAPING PLANTS. COORDINATE TANK INSTALLATION WITH LANDSCAPING CONTRACTORS.

- GENERAL NOTES:**
- ALL UTILITY CONNECTIONS; GAS, ELECTRIC, WATER AND SEWER ARE TO BE CONNECTED TO EXISTING UTILITY STUBS LOCATED ON OR IMMEDIATELY ADJACENT TO THE SITE.
 - EXISTING RETAINING WALLS WITHIN THE 511 PASEO DE PERALTA PROPERTY SHALL BE REMOVED TO ACCOMMODATE NEW CONSTRUCTION. EXISTING WET WELL ON THE SITE SHALL BE FILLED IN OR REMOVED AT THE CONTRACTORS DISCRETION.



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13847
REGISTERED PROFESSIONAL ENGINEER

Grading and Drainage Plan Preliminary
507 & 511 Paseo de Peralta

New Mexico
Santa Fe

Date: 06-24-24

Revised: 07-26-23 Added Driveway profile alignments and clarified trench drain opening dimension. Revised parking area grade for less than 2%. Add profile drawing. Add handicap ramps and curb detail.

08-11-23 Address City of SF comments of 8-17-23. Revised landscape areas & drainage calc's. Revise drawings and calc's per meeting w/ CoSF.

09-27-23 Revise drawings and calc's per comments received 4/23/24. Add trench wet well details. Address all previous comments, re-submit.

02-01-24 Revised landscape areas & drainage calc's.

03-28-24 Revise drawings and calc's per meeting w/ CoSF.

04-10-24 Revise drawings and calc's per comments received 4/23/24. Add trench wet well details. Address all previous comments, re-submit.

06-24-24

Drawn by: REB
Checked by: REB

Job Number: 03-28-24 CIVIL

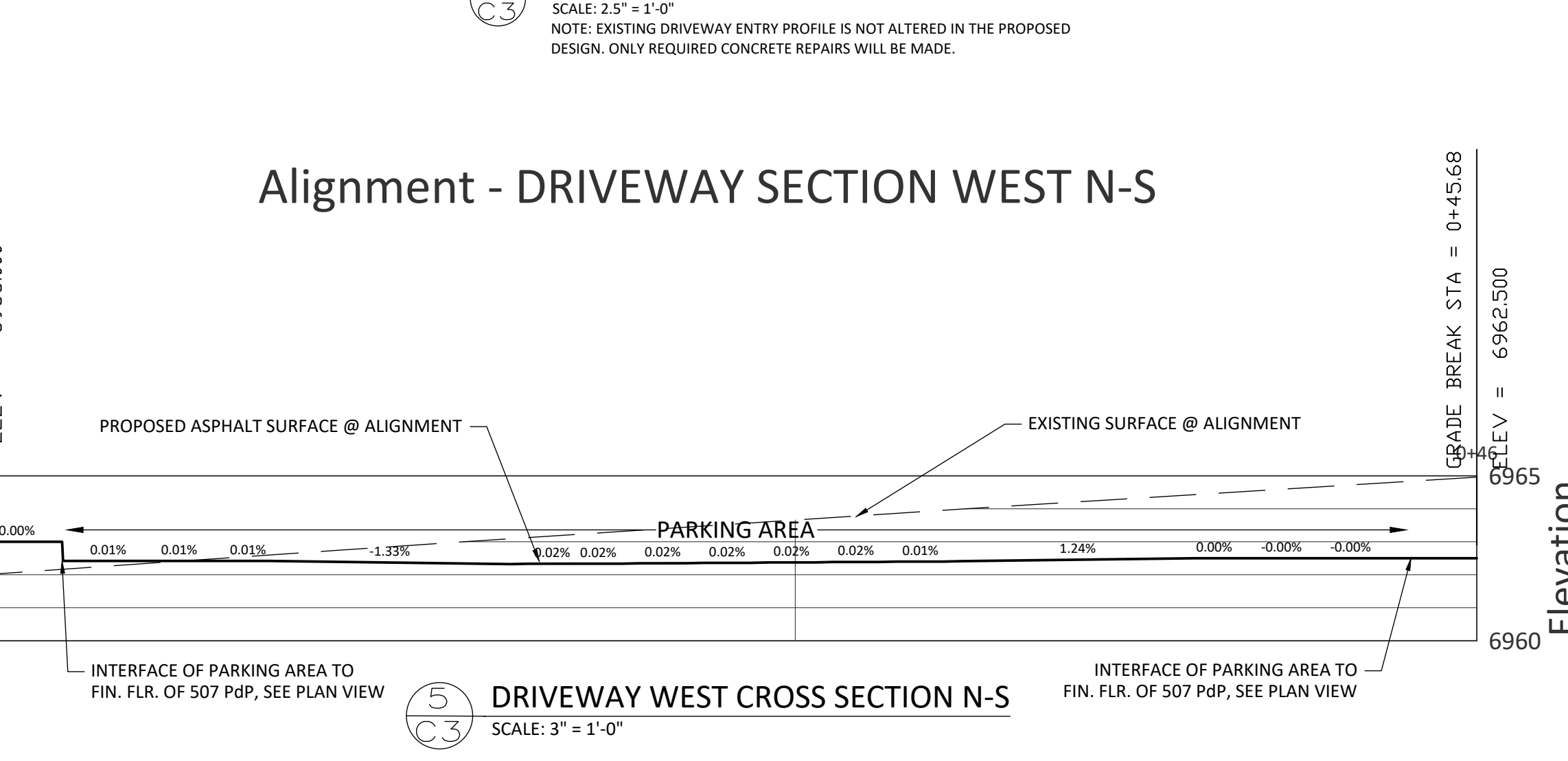
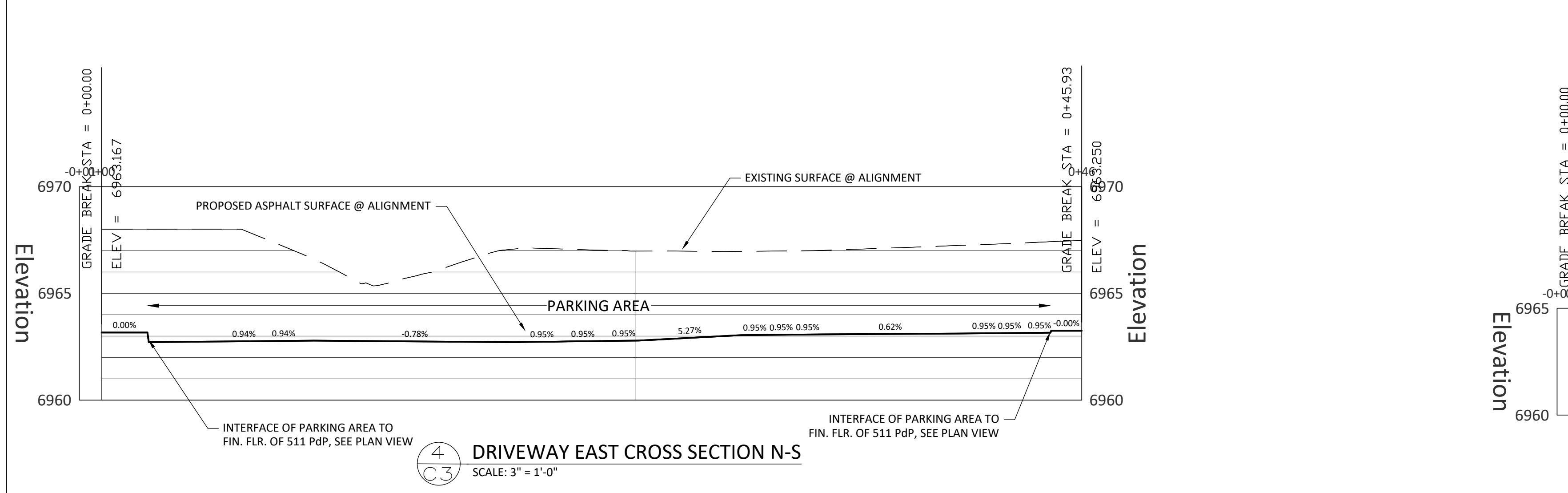
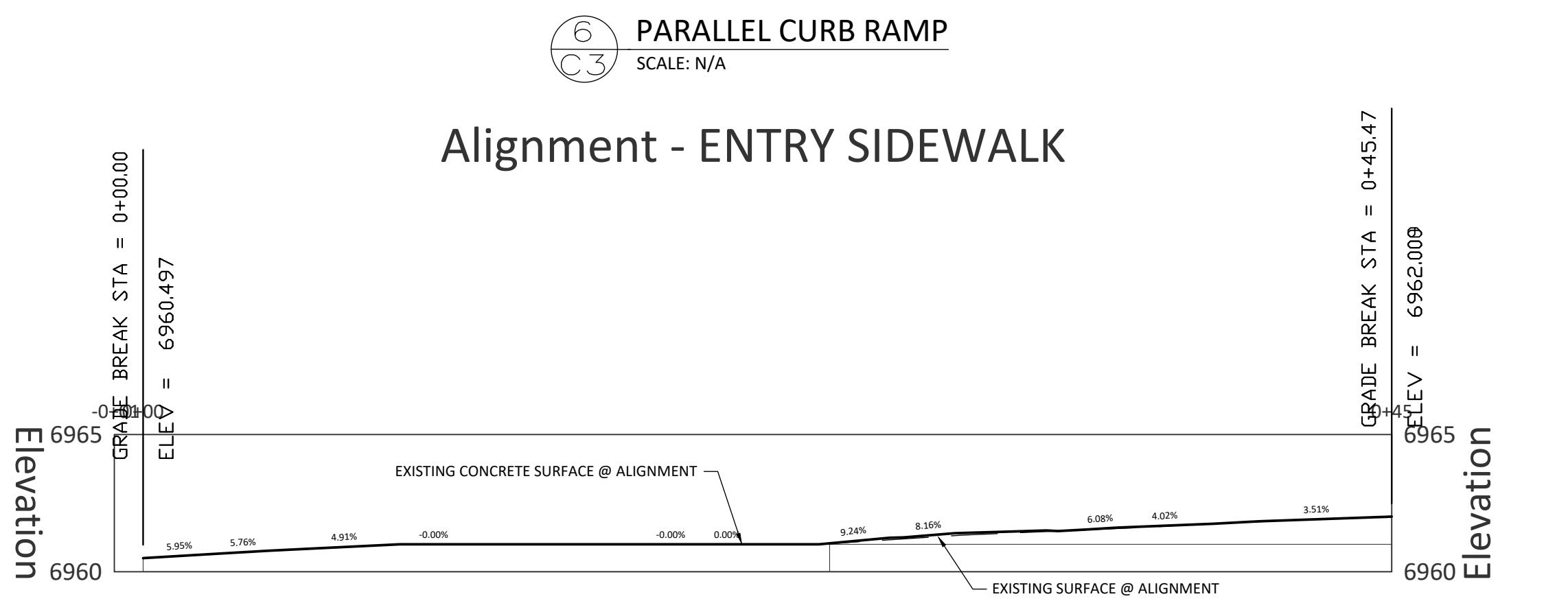
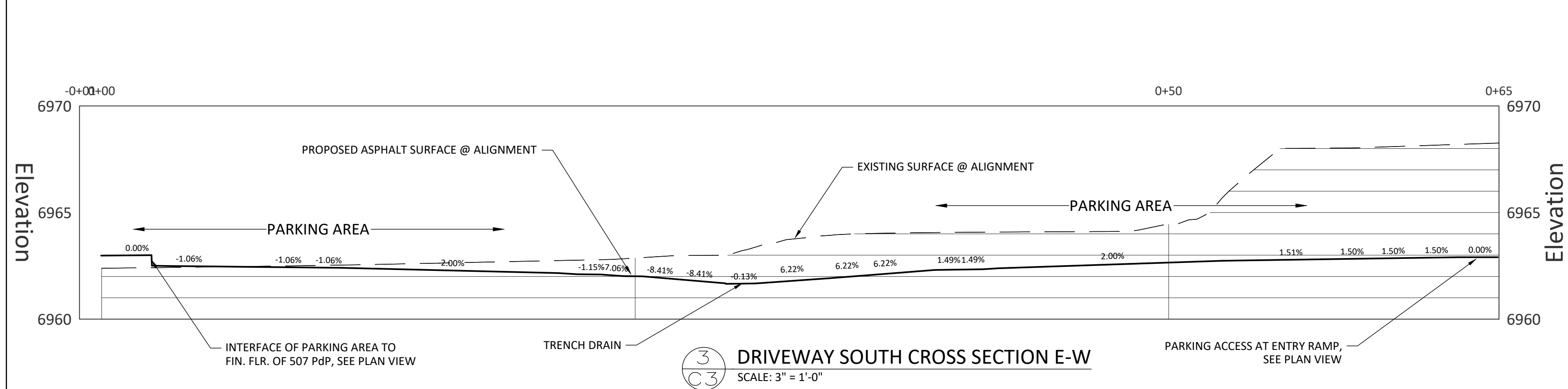
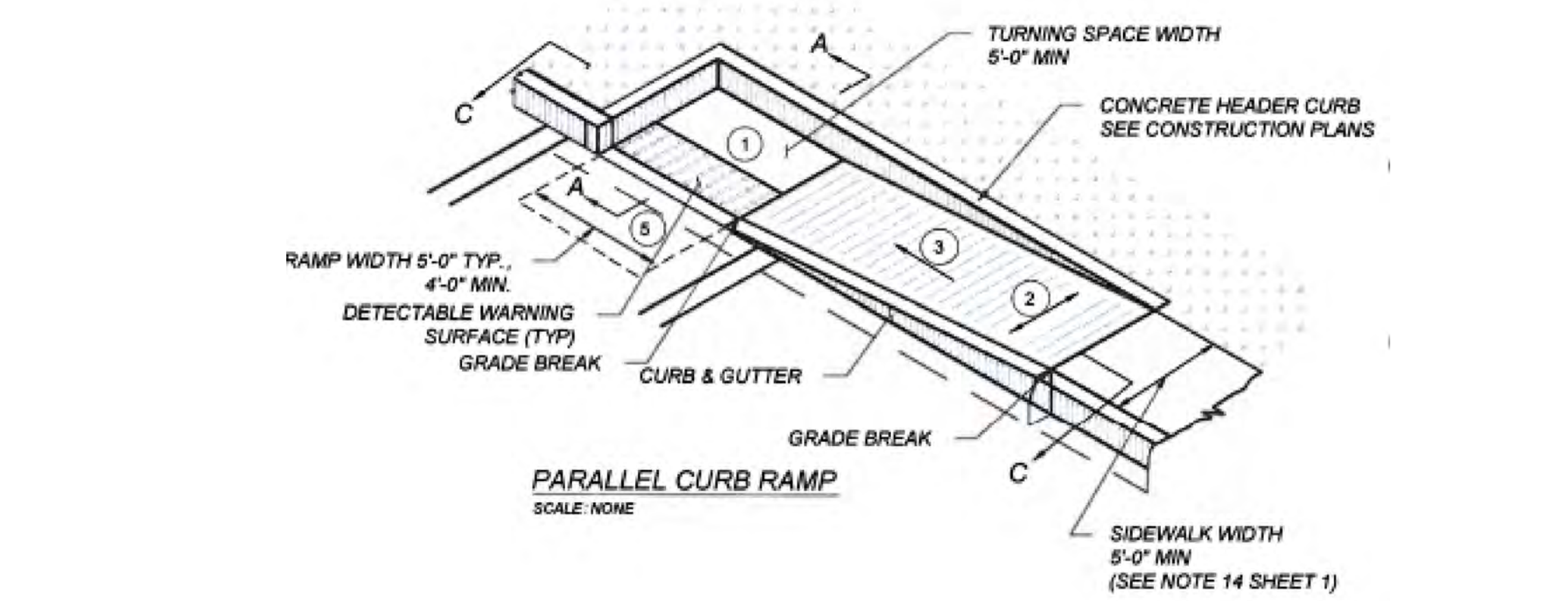
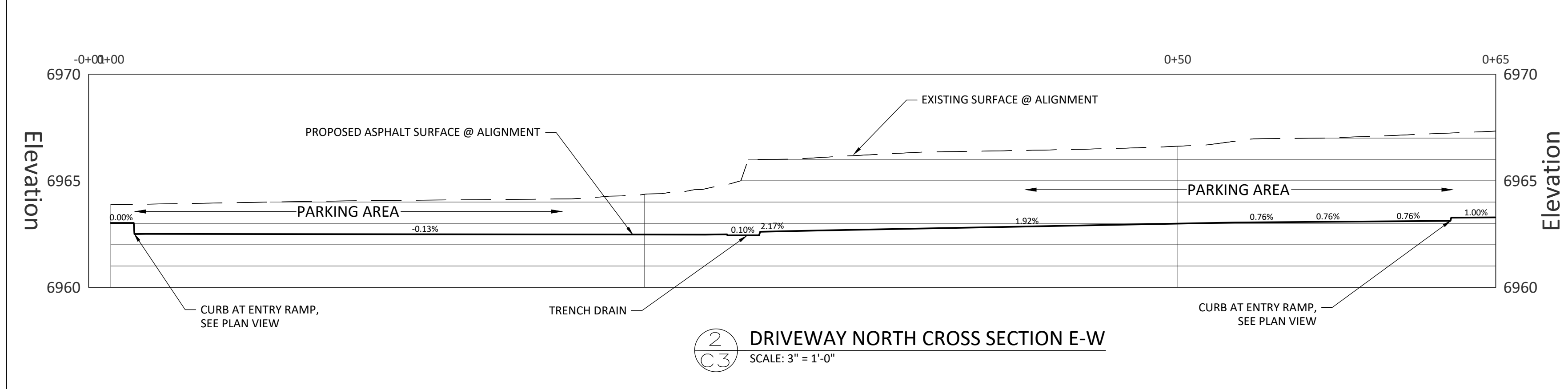
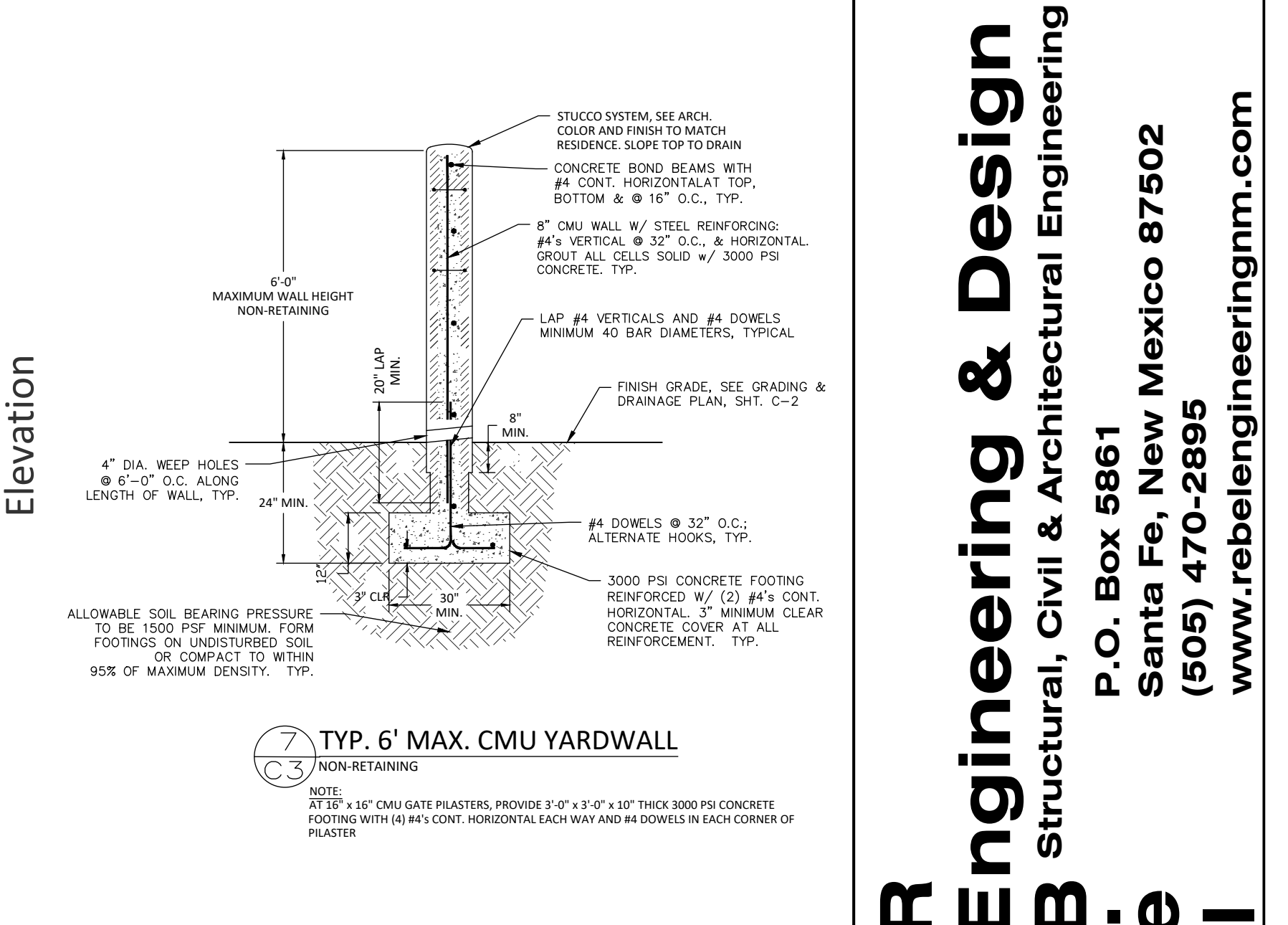
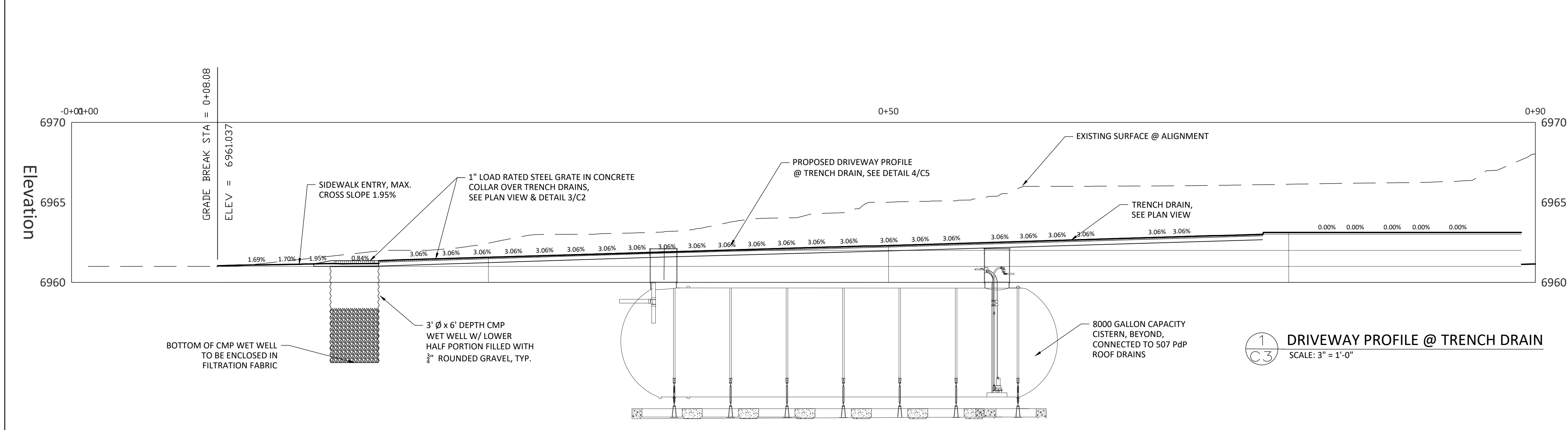
Draw: 03-28-24 CIVIL

Sheet title: **Site Grading and Drainage**

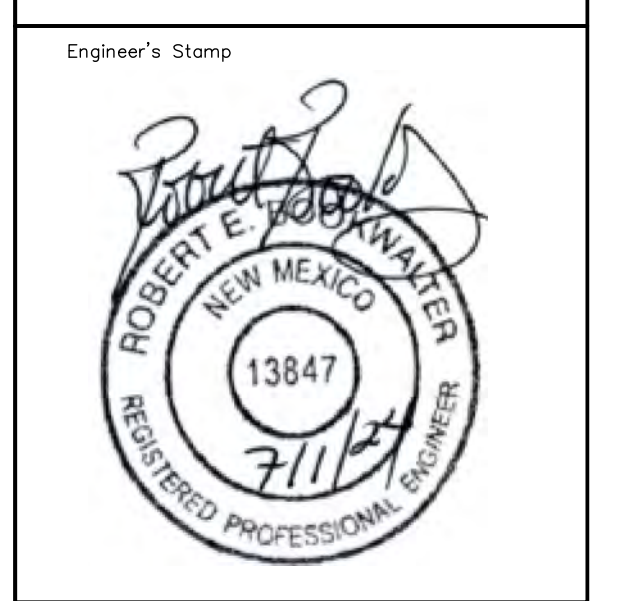
SCALE: N/A

Sheet No. **C-2**

of TOT



R Engineering & Design
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P.O. Box 5861
Santa Fe, New Mexico 87502
(505) 470-2895
www.rebelengineeringnm.com



Grading and Drainage Plan
Preliminary
507 & 511 Paseo de Peralta
Santa Fe
New Mexico

Date	Description
07-01-24	PERMIT SET
07-26-23	Added Driveway profile alignments and clarified trench drain opening dimension
08-11-23	Revised parking area grade for less than 2% Add profile drawing. Add handicap ramps and curb detail.
09-27-23	Address City of SF comments of 9-17-23
02-01-24	Revised landscape areas & drainage calc's.
03-28-24	Add Entry Driveway profile view 6/C3
05-10-24	Add driveway wet well to 1/C3 profile Edit callouts. Add additional yardwall detail. 7/C3.
06-24-24	Address all previous comments, re-submittal.

Drawn by REB
Checked by REB
Job Number

Draw: 07-01-24 CIVL

Sheet title
Driveway & Parking Profiles

SCALE:
Sheet No.

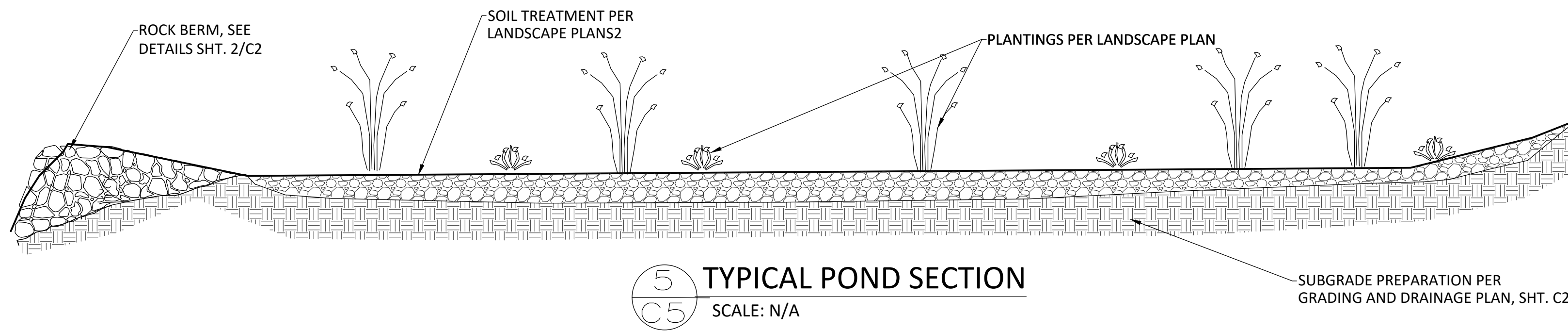
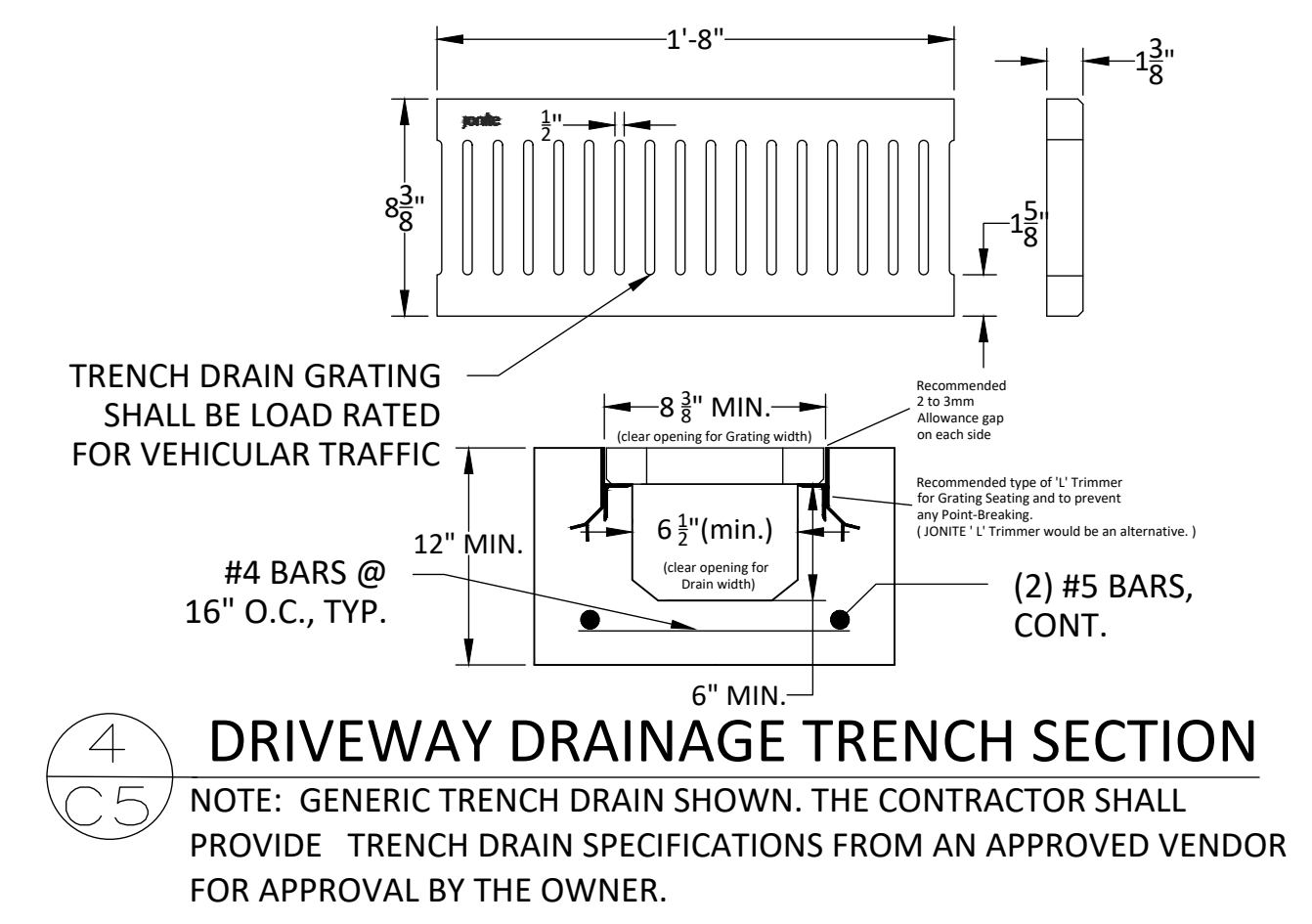
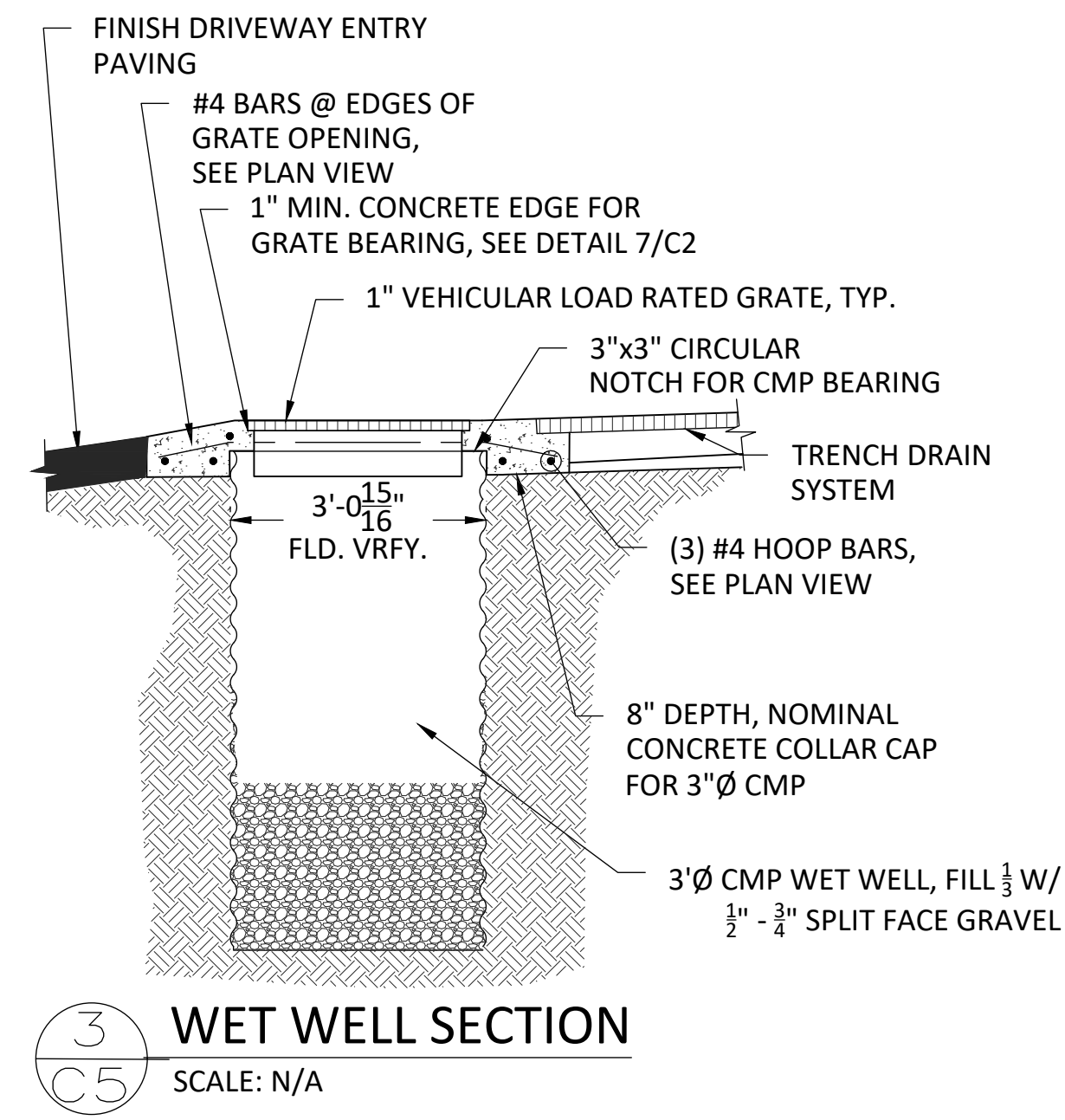
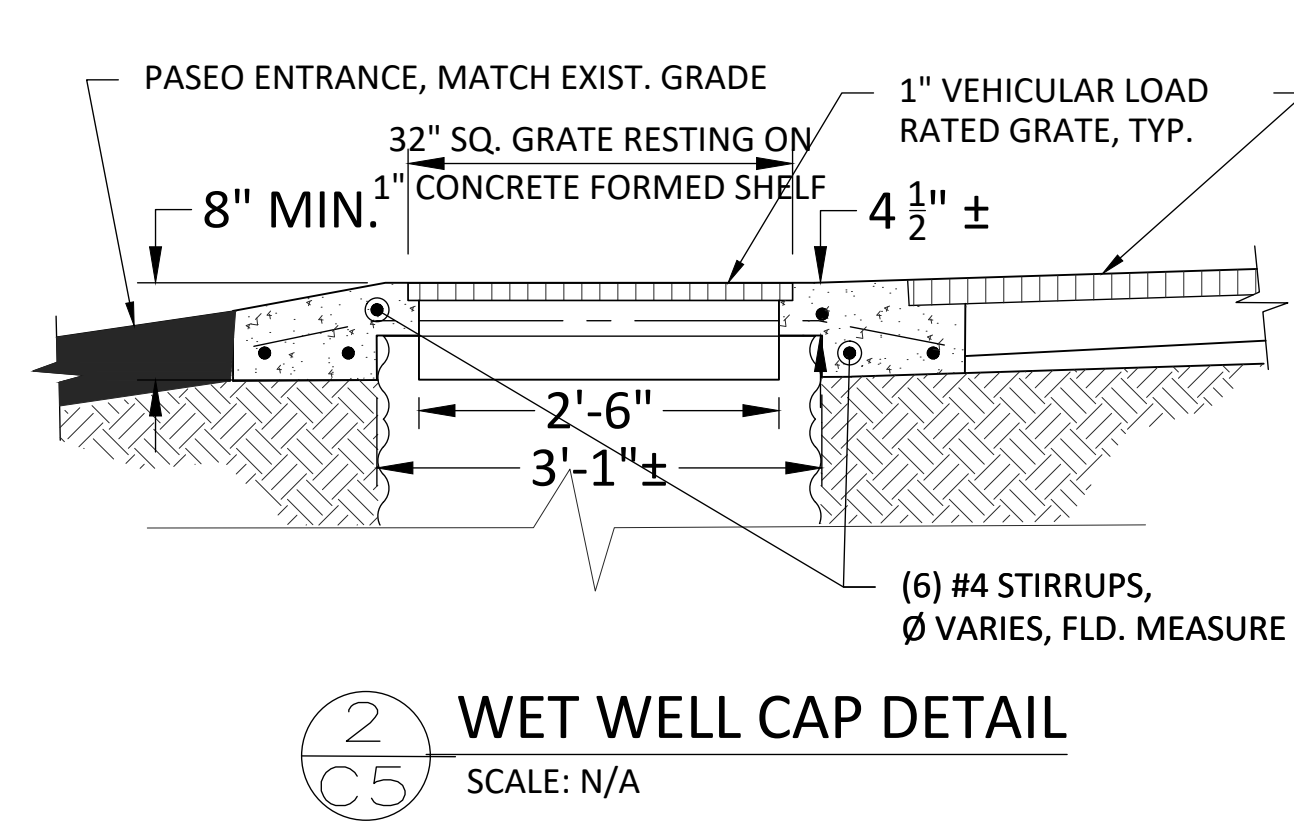
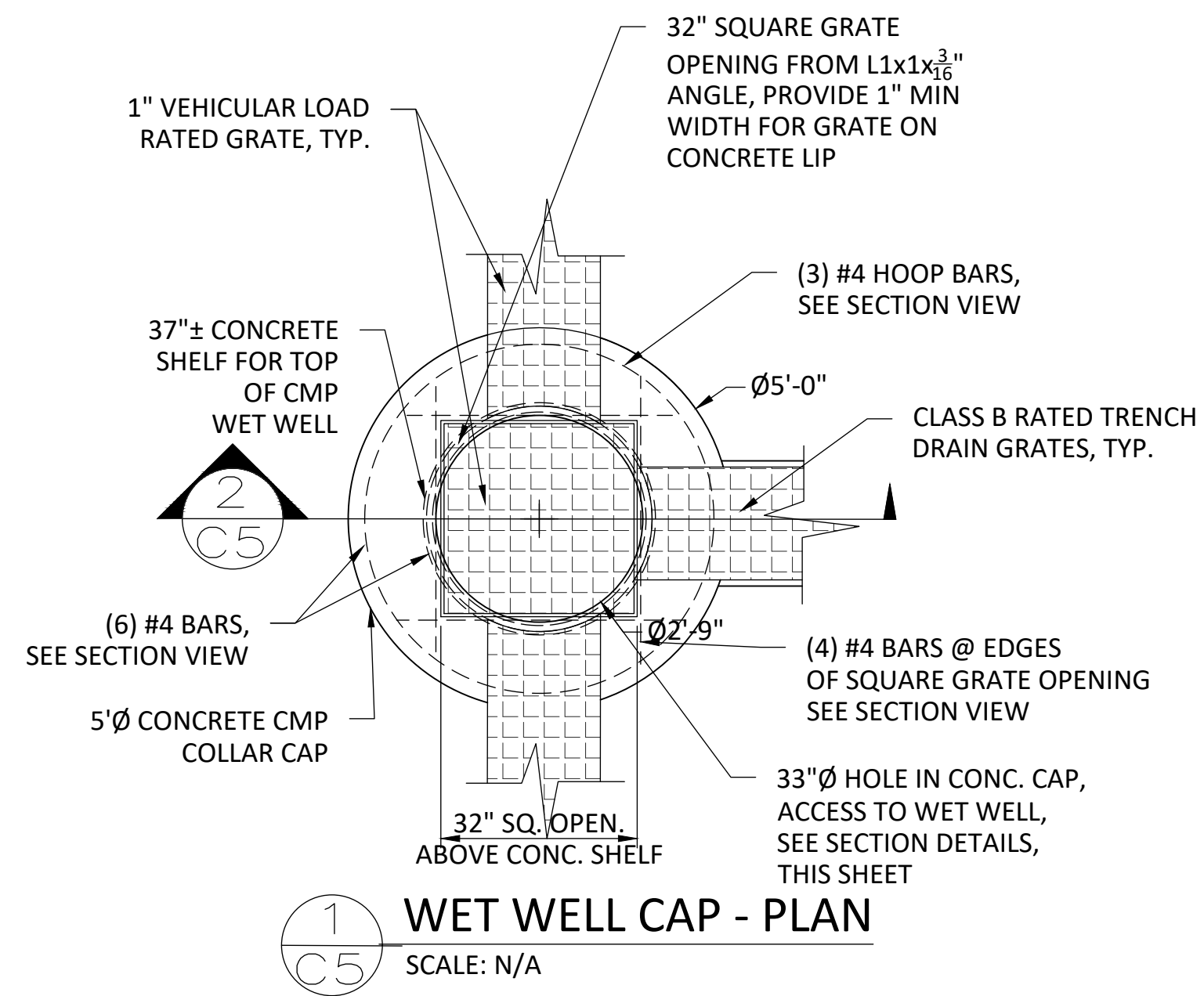
C-3
OF TOT

POINT PRECIPITATION FREQUENCY (PF) ESTIMATES
WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION
NOAA Atlas 14, Volume 1, Worksheet 1

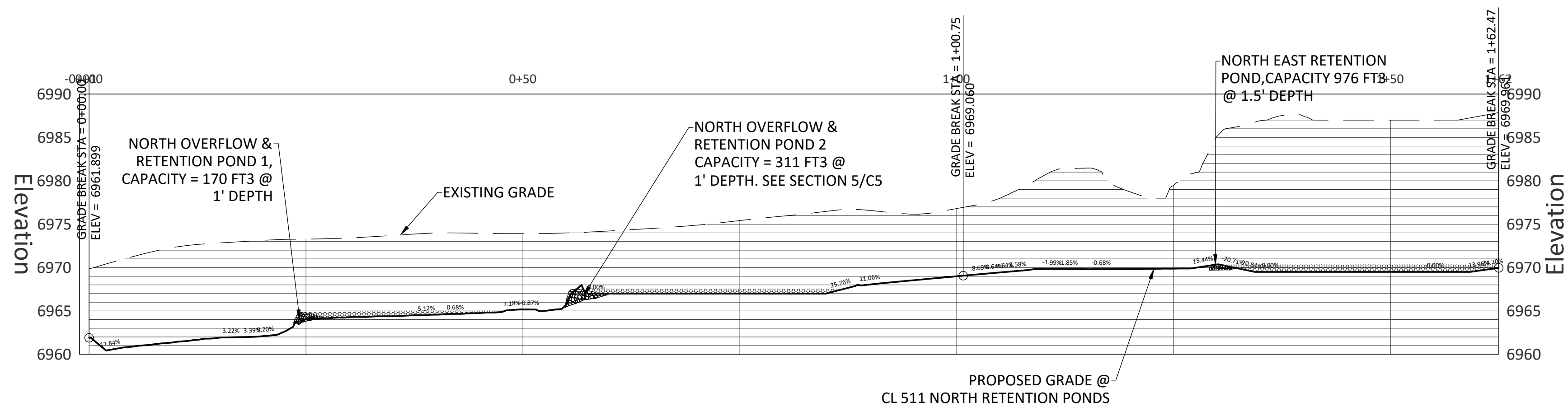
PF tabular

PDS-based precipitation frequency estimates with 80% confidence intervals (in inches)¹

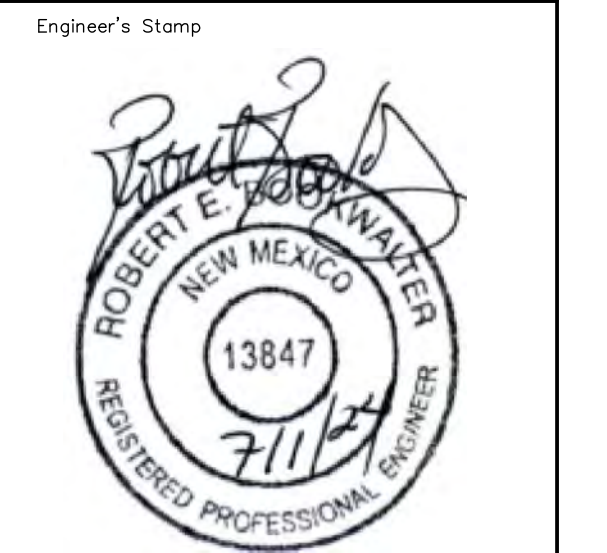
Duration	1	2	5	10	25	50	100	200	500	1000	
5-min	0.197 (0.196-0.201)	0.285 (0.282-0.289)	0.518 (0.512-0.524)	0.844 (0.835-0.853)	1.265 (1.253-1.277)	1.850 (1.829-1.871)	2.624 (2.592-2.656)	3.637 (3.592-3.682)	4.927 (4.864-5.000)	6.537 (6.453-6.621)	8.587 (8.390-8.784)
10-min	0.299 (0.291-0.306)	0.438 (0.428-0.448)	0.814 (0.797-0.831)	1.272 (1.252-1.292)	1.929 (1.897-1.961)	2.763 (2.721-2.807)	3.826 (3.772-3.880)	5.131 (5.064-5.197)	6.782 (6.695-6.869)	9.001 (8.892-9.108)	11.917 (11.711-12.123)
15-min	0.371 (0.359-0.384)	0.547 (0.534-0.561)	1.061 (1.039-1.083)	1.623 (1.591-1.657)	2.418 (2.375-2.464)	3.436 (3.382-3.494)	4.671 (4.604-4.738)	6.161 (6.081-6.241)	8.072 (7.961-8.183)	10.651 (10.499-10.803)	14.127 (13.871-14.383)
30-min	0.489 (0.469-0.509)	0.717 (0.692-0.743)	1.403 (1.369-1.449)	2.125 (2.081-2.169)	3.111 (3.057-3.163)	4.381 (4.314-4.448)	5.841 (5.761-5.921)	7.641 (7.541-7.741)	10.001 (9.861-10.141)	13.121 (12.941-13.261)	17.321 (17.041-17.601)
60-min	0.629 (0.602-0.654)	0.917 (0.887-0.949)	1.803 (1.759-1.857)	2.675 (2.621-2.731)	3.961 (3.894-4.028)	5.381 (5.301-5.461)	7.161 (7.061-7.261)	9.361 (9.241-9.481)	12.281 (12.131-12.441)	16.121 (15.931-16.271)	21.081 (20.791-21.371)
2-hr	0.745 (0.693-0.811)	1.071 (1.020-1.124)	2.121 (2.054-2.188)	3.181 (3.101-3.261)	4.661 (4.561-4.761)	6.361 (6.241-6.481)	8.461 (8.321-8.601)	11.061 (10.891-11.231)	14.461 (14.251-14.671)	18.861 (18.591-19.131)	24.861 (24.491-25.231)
3-hr	0.820 (0.768-0.873)	1.191 (1.131-1.251)	2.321 (2.241-2.401)	3.481 (3.381-3.581)	5.061 (4.941-5.181)	6.961 (6.821-7.101)	9.261 (9.101-9.421)	12.061 (11.871-12.241)	15.661 (15.431-15.891)	20.261 (19.991-20.531)	26.461 (26.091-26.831)
6-hr	0.929 (0.869-1.009)	1.351 (1.281-1.421)	2.611 (2.511-2.711)	3.911 (3.791-3.991)	5.511 (5.371-5.651)	7.511 (7.351-7.671)	9.911 (9.721-10.091)	12.811 (12.591-13.031)	16.611 (16.351-16.871)	21.411 (21.091-21.831)	27.811 (27.391-28.331)
12-hr	1.081 (1.011-1.151)	1.571 (1.491-1.651)	3.011 (2.891-3.131)	4.411 (4.271-4.551)	6.211 (6.051-6.371)	8.411 (8.231-8.591)	11.011 (10.801-11.191)	14.211 (13.961-14.441)	18.211 (17.911-18.491)	23.211 (22.811-23.611)	29.811 (29.311-30.311)
24-hr	1.261 (1.151-1.391)	1.811 (1.711-1.911)	3.511 (3.351-3.671)	5.011 (4.831-5.171)	7.011 (6.811-7.191)	9.411 (9.191-9.611)	12.411 (12.151-12.671)	16.011 (15.711-16.291)	20.411 (20.011-20.811)	25.811 (25.311-26.311)	33.211 (32.511-33.911)
48-hr	1.441 (1.311-1.591)	2.011 (1.891-2.091)	3.811 (3.591-4.071)	5.311 (5.111-5.511)	7.411 (7.191-7.671)	9.911 (9.671-10.191)	13.011 (12.711-13.291)	16.811 (16.411-17.191)	21.611 (21.111-22.111)	27.611 (26.911-28.111)	35.611 (34.711-36.511)
96-hr	1.541 (1.411-1.691)	2.111 (1.991-2.191)	4.011 (3.791-4.271)	5.511 (5.291-5.771)	7.611 (7.371-7.851)	10.111 (9.851-10.391)	13.311 (12.991-13.631)	17.311 (16.891-17.531)	22.311 (21.791-22.831)	28.511 (27.811-29.111)	36.711 (35.811-37.511)
192-hr	1.641 (1.511-1.791)	2.211 (2.091-2.291)	4.211 (3.991-4.471)	5.711 (5.491-5.971)	7.811 (7.571-8.051)	10.311 (10.031-10.591)	13.611 (13.271-13.951)	17.611 (17.131-17.991)	22.611 (21.991-23.231)	28.811 (28.011-29.611)	37.011 (36.011-37.911)
384-hr	1.741 (1.611-1.891)	2.311 (2.191-2.391)	4.411 (4.191-4.671)	5.911 (5.691-6.171)	8.011 (7.771-8.251)	10.511 (10.211-10.791)	13.811 (13.471-14.151)	17.811 (17.291-17.991)	22.811 (22.191-23.431)	29.011 (28.111-29.711)	37.211 (36.111-38.111)
768-hr	1.841 (1.711-1.991)	2.411 (2.291-2.491)	4.611 (4.391-4.871)	6.111 (5.891-6.371)	8.211 (7.971-8.451)	10.711 (10.411-10.991)	14.011 (13.671-14.351)	18.011 (17.491-18.091)	23.011 (22.391-23.631)	29.211 (28.311-29.911)	37.411 (36.311-38.311)
1536-hr	1.941 (1.811-2.091)	2.511 (2.391-2.591)	4.811 (4.591-5.071)	6.311 (6.091-6.571)	8.411 (8.171-8.651)	10.911 (10.611-11.191)	14.211 (13.871-14.551)	18.211 (17.691-18.291)	23.211 (22.591-23.831)	29.411 (28.511-30.111)	37.611 (36.511-38.511)
3072-hr	2.041 (1.911-2.291)	2.611 (2.491-2.691)	5.011 (4.791-5.271)	6.511 (6.291-6.771)	8.611 (8.371-8.851)	11.111 (10.811-11.391)	14.411 (14.071-14.751)	18.411 (17.891-18.491)	23.411 (22.791-24.031)	29.611 (28.711-30.311)	37.811 (36.711-38.711)
6144-hr	2.141 (2.011-2.391)	2.711 (2.591-2.791)	5.211 (4.991-5.471)	6.711 (6.491-6.971)	8.811 (8.571-9.051)	11.311 (11.011-11.591)	14.611 (14.271-14.951)	18.611 (18.091-18.691)	23.611 (22.991-24.231)	29.811 (28.911-30.511)	38.011 (36.911-38.911)
12288-hr	2.241 (2.111-2.491)	2.811 (2.691-2.891)	5.411 (5.191-5.671)	6.911 (6.691-7.171)	9.011 (8.771-9.251)	11.511 (11.211-11.791)	14.811 (14.471-15.151)	18.811 (18.291-18.891)	23.811 (23.191-24.431)	30.011 (29.111-30.711)	38.211 (37.111-39.111)
24576-hr	2.341 (2.211-2.591)	2.911 (2.791-2.991)	5.611 (5.391-5.871)	7.111 (6.891-7.371)	9.211 (8.971-9.451)	11.711 (11.411-11.991)	15.011 (14.671-15.351)	19.011 (18.491-19.091)	24.011 (23.391-24.631)	30.211 (29.311-30.911)	38.411 (37.311-39.311)
49152-hr	2.441 (2.311-2.691)	3.011 (2.891-3.091)	5.811 (5.591-6.071)	7.311 (7.091-7.571)	9.411 (9.171-9.651)	11.911 (11.611-12.191)	15.211 (14.871-15.551)	19.211 (18.691-19.291)	24.211 (23.591-24.831)	30.411 (29.511-31.111)	38.611 (37.511-39.511)
98304-hr	2.541 (2.411-2.791)	3.111 (2.991-3.191)	6.011 (5.791-6.271)	7.511 (7.291-7.771)	9.611 (9.371-9.851)	12.111 (11.811-12.391)	15.411 (15.071-15.751)	19.411 (18.891-19.491)	24.411 (23.791-25.031)	30.611 (29.711-31.311)	38.811 (37.711-39.711)
196608-hr	2.641 (2.511-2.891)	3.211 (3.091-3.291)	6.211 (5.991-6.471)	7.711 (7.491-7.971)	9.811 (9.571-10.051)	12.311 (12.011-12.591)	15.611 (15.271-15.951)	19.611 (19.091-19.691)	24.611 (23.991-25.231)	30.811 (29.911-31.511)	39.011 (37.911-39.911)
393216-hr	2.741 (2.611-2.991)	3.311 (3.191-3.391)	6.411 (6.191-6.671)	7.911 (7.691-8.171)	10.011 (9.771-10.251)	12.511 (12.211-12.791)	15.811 (15.471-16.151)	19.811 (19.291-19.891)	24.811 (24.191-25.431)	31.011 (30.111-31.711)	39.211 (38.111-40.111)
786432-hr	2.841 (2.711-3.091)	3.411 (3.291-3.491)	6.611 (6.391-6.871)	8.111 (7.891-8.371)	10.211 (9.971-10.451)	12.711 (12.411-12.991)	16.011 (15.671-16.351)	20.011 (19.491-20.091)	25.011 (24.391-25.631)	31.211 (30.311-31.911)	39.411 (38.311-40.311)
1572864-hr	2.941 (2.811-3.191)	3.511 (3.391-3.591)	6.811 (6.591-7.071)	8.311 (8.091-8.571)	10.411 (10.171-10.651)	12.911 (12.611-13.191)	16.211 (15.871-16.551)	20.211 (19.691-20.291)	25.211 (24.591-25.831)	31.411 (30.511-32.111)	39.611 (38.511-40.511)
3145728-hr	3.041 (2.911-3.291)	3.611 (3.491-3.691)	7.011 (6.791-7.271)	8.511 (8.291-8.771)	10.611 (10.371-10.851)	13.111 (12.811-13.391)	16.411 (16.071-16.751)	20.411 (19.891-20.491)	25.411 (24.791-26.031)	31.611 (30.711-32.311)	39.811 (38.711-40.711)
6291456-hr	3.141 (3.011-3.391)	3.711 (3.591-3.791)	7.211 (6.991-7.471)	8.711 (8.491-8.971)	10.811 (10.571-11.051)	13.311 (13.011-13.591)	16.611 (16.271-16.951)	20.611 (20.091-20.691)	25.611 (24.991-26.231)	31.811 (30.911-32.511)	40.011 (38.911-40.911)
12582912-hr	3.241 (3.111-3.491)	3.811 (3.691-3.891)	7.411 (7.191-7.671)	8.911 (8.691-9.171)	11.011 (10.771-11.251)	13.511 (13.211-13.791)	16.811 (16.471-17.151)	20.811 (20.291-20.891)	25.811 (25.191-26.431)	32.011 (31.111-32.711)	40.211 (39.111-41.111)
25165824-hr	3.341 (3.211-3.591)	3.911 (3.791-3.991)	7.611 (7.391-7.871)	9.111 (8.891-9.371)	11.211 (10.971-11.451)	13.711 (13.411-13.991)	17.011 (16.671-17.351)	21.011 (20.491-21.091)	26.011 (25.391-26.631)	32.211 (31.311-32.911)	40.411 (39.311-41.311)
50331648-hr	3.441 (3.311-3.691)	4.011 (3.891-4.091)	7.811 (7.591-8.071)	9.311 (9.091-9.571)	11.411 (11.171-11.651)	13.911 (13.611-14.191)	17.211 (16.871-17.551)	21.211 (20.691-21.291)	26.211 (25.591-26.831)	32.411 (31.511-33.111)	40.611 (39.511-41.511)
100663296-hr	3.541 (3.411-3.791)	4.111 (3.991-4.191)	8.011 (7.791-8.271)	9.511 (9.291-9.771)	11.611 (11.371-11.851)	14.111 (13.811-14.391)	17.411 (17.071-17.751)	21.411 (20.891-21.491)	26.411 (25.791-27.031)	32.611 (31.711-33.311)	40.811 (39.711-41.711)
201326592-hr	3.641 (3.511-3.891)	4.211 (4.091-4.291)	8.211 (7.991-8.471)	9.711 (9.491-9.971)	11.811 (11.571-12.051)	14.311 (14.011-14.591)	17.611 (17.271-17.951)	21.611 (21.091-21.691)	26.611 (25.991-27.231)	32.811 (31.911-33.511)	41.011 (40.111-42.111)
402653184-hr	3.741 (3.611-3.991)	4.311 (4.191-4.391)	8.411 (8.191-8.671)	9.911 (9.691-10.171)	12.011 (11.771-12.251)	14.511 (14.211-14.791)	17.811 (17.471-18.151)	21.811 (21.291-21.891)	26.811 (26.191-27.431)	33.011 (32.111-33.711)	41.211 (40.311-42.311)
805306368-hr	3.841 (3.711-4.091)	4.411 (4.291-4.491)	8.611 (8.391-8.871)	10.111 (9.891-10.371)	12.211 (11.971-12.451)	14.711 (14.411-14.991)	18.011 (17.671-18.351)	22.011 (21.491-22.091)	27.011 (26.391-27.631)	33.211 (32.311-33.911)	41.411 (40.511-42.511)
1610612736-hr	3.941 (3.811-4.191)	4.511 (4.391-4.591)	8.811 (8.591-9.071)	10.311 (10.091-10.571)	12.411 (12.171-12.651)	14.911 (14.611-15.191)	18.211 (17.871-18.551)	22.211 (21.691-22.291)	27.211 (26.591-27.831)	33.411 (32.511-34.111)	41.611 (40.711-42.711)
3221225472-hr	4.041 (3.911-4.291)	4.611 (4.491-4.691)	9.011 (8.791-9.271)	10.511 (10.291-10.771)	12.611 (12.371-12.851)	15.111 (14.811-15.391)	18.411 (18.071-18.751)	22.411 (21.891-22.491)	27.411 (26.791-28.031)	33.611 (32.711-34.311)	41.811 (40.911-42.911)
6442450944-hr	4.141 (4.011-4.391)	4.711 (4.591-4.791)	9.211 (8.991-9.471)	10.711 (10.491-10.971)	12.811 (12.571-13.051)	15.311 (15.011-15.591)	18.611 (18.271-18.951)	22.611 (22.091-22.691)	27.611 (26.991-28.231)	33.811 (32.911-34.511)	42.011 (41.111-43.111)
12884901888-hr	4.241 (4.111-4.491)	4.811 (4.691-4.891)	9.411 (9.191-9.671)	10.911 (10.691-11.171)	13.011 (12.771-13.251)	15.511 (15.211-15.791)	18.811 (18.471-19.151)	22.811 (22.291-22.891)	27.811 (27.191-28.431)		



Alignment - CL THRU PONDS



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Grading and Drainage Plan
Preliminary
507 & 511 Paseo de Peralta
Santa Fe
New Mexico

Date	Description
07-01-24	PERMIT SET
07-28-23	Revised: Added Driveway profile alignments and clarified trench drain opening dimension
08-11-23	Revised parking area grade for less than 2% Add profile drawing. Add handicap ramps and curb detail.
09-27-23	Address city of SF comments of 9-17-23
02-01-24	Revised landscape areas & drainage calc's
03-28-24	Revised drainage Calc's, revise roof grain section detail 2/C4
05-10-24	Update ponding capacity calculation
06-24-24	Address all previous comments, re-submit

Drawn by: REB
Checked by: REB

Job Number:
Draw: 07-01-24 CIVL

Sheet Title:
Grading and Drainage Misc. Details

SCALE:
Sheet No.

C-5