



Agenda

Notice of the Early
Neighborhood Notification
(ENN)
November 24, 2025 at 5:30 PM
Meeting Virtually

Procedures for Early Neighborhood Notification (ENN) Meeting

1. ENN Name
 - a. 2501 Cactus Lane
2. Project Address
 - a. 2501 Cactus Lane
3. Description
 - a. Proposed Special Use Permit for construction of a new 4,800 square foot Worship Center Residence
4. Applicant
 - a. Jennifer Salimbene, Santa Fe Permits agent 505-557-4060
5. Staff
 - a. Joel Cruz Haber, jacruz-haber@santafenm.gov
6. Meeting Location

a. **Join Zoom Meeting**

<https://us06web.zoom.us/j/9903129190?omn=81158496635>

Meeting ID: 990 312 9190

One tap mobile

+13092053325,,9903129190# US

+13126266799,,9903129190# US (Chicago)

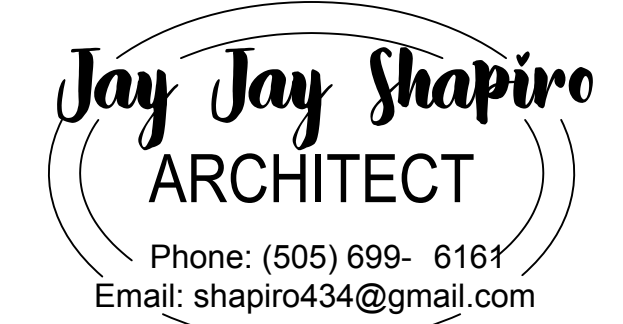
Join instructions

<https://us06web.zoom.us/meetings/81158496635/invitations?signature=7LuayQJdeZkKKJC>

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

IGLESIA CRISTIANA CASA DEL ALFERERO

2501 CACTUS LANE, SANTA FE, NM 87507



OWNER:
DOMINGO ORNELAS
PH: (505) 690- 0391
EMAIL: dominornelas@gmail.com

GENERAL CONTRACTOR:
Frank Trujillo
Tierra De Zia Contracting, LLC
(505) 470- 5400
tierradezia@gmail.com
Lic. #404576

CONSULTANTS:
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Velarde Engineering
505) 720- 6016
veleng09@gmail.com

Jerry D. Watts, MSFPE
(800) 503- 1961
accentfire@aol.com

PROJECT DESCRIPTION:

Iglesia Cristiana Casa del Alferero

2501 Cactus Lane,
Santa Fe, NM 87507

REVISIONS:
DISC DATE

SHEET TITLE

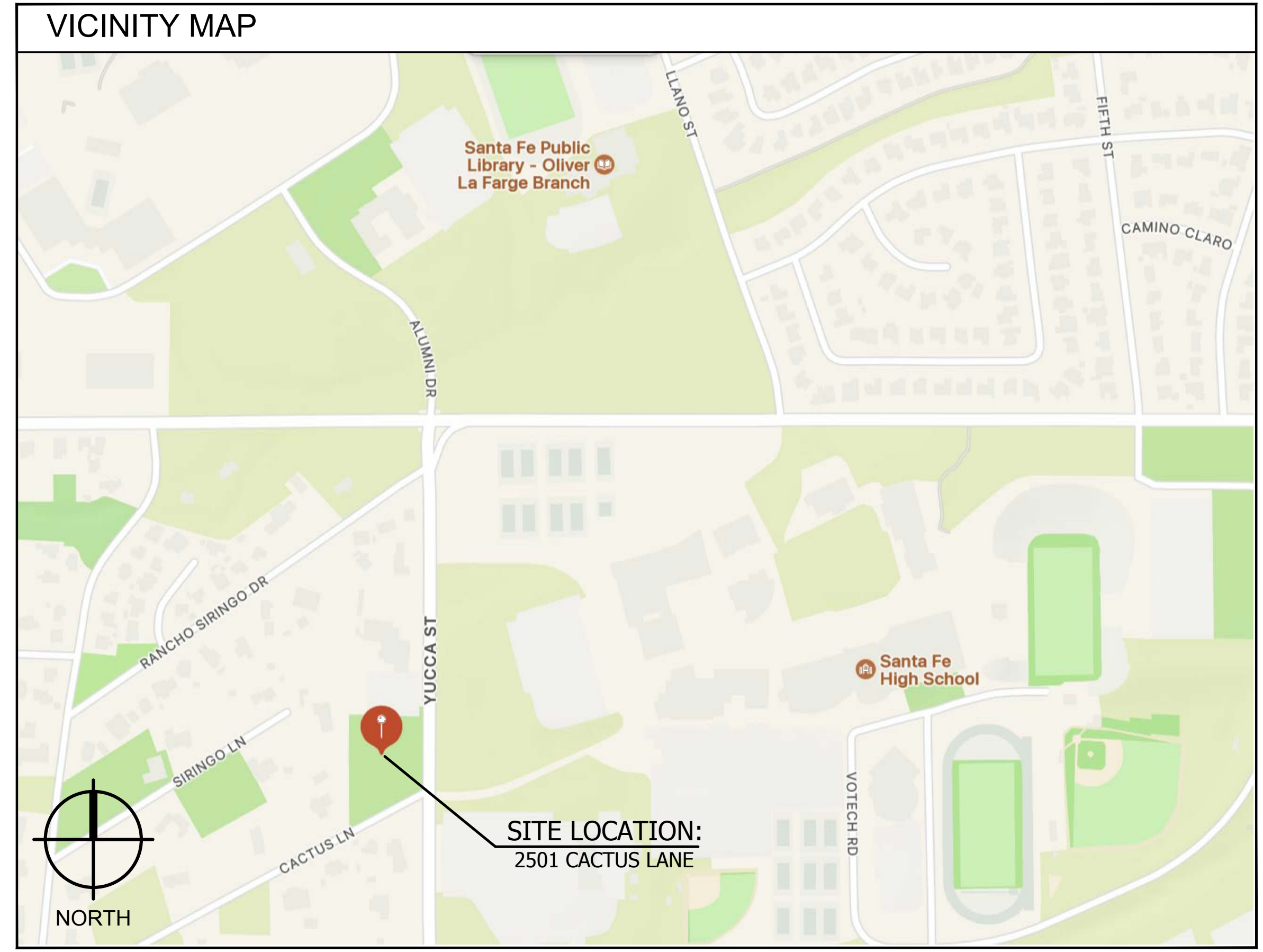
TITLE SHEET, DESIGN CRITERIA, VICINITY MAP, INDEX

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 1.0



DESIGN CRITERIA

GROSS EXIST'G BLDG AREA:	0.00 SF
GROSS NEW BLDG AREA:	4,800.00 SF
TOTAL BUILDING AREA:	4,800.00 SF
LOT AREA:	54,992.45 SF
SANTA FE ZONING DISTRICT	R1 - PUD SINGLE FAMILY 1 DU/AC
OCCUPANCY CLASSIFICATION (IBC 2021, SECTION 303.4)	GROUP A- 3, PLACE OF WORSHIP
CONSTRUCTION TYPE, IBC SECTION 602.3 AND TABLE 601	TYPE III- B
ZONING DISTRICT	R1 - PUD
SEISMIC ZONE	2B
CLIMATE ZONE	5B
OCCUPANCY LOAD, (SEE CODE SUMMARY AT RIGHT)	402 TOTAL OCCUPANT LOAD
PARKING REQUIREMENTS (TABLE 14- 8.6- 1; RELIGIOUS ASSEMBLY)	RELIGIOUS ASSEMBLY: 1 SPACE PER FOUR SEATS: 138 SEATS/4 = 35 SPACES REQUIRED
ACCESSIBLE PARKING, NMAC CHAPTER 11, TABLE 1106.1; ADAAG TABLE 208.2	TOTAL REQ'D = 3, REQ'D VAN ACCESSIBLE = 1
EVSE PARKING SPACES (NMAC TABLE C405.13.1)	5% REQUIRED = 2 EVSE SPACES
EV CAPABLE SPACES (NMAC TABLE C405.13.1)	10% REQUIRED = 4 EV CAPABLE SPACES
BICYCLE PARKING REQMT., SFCC TABLE 14- 8.8	8 REQUIRED FOR PARKING SPACES BETWEEN 16-50

OCCUPANT LOAD CALCULATIONS

NET SQUARE FEET AREA:	4,800 SQ FT																											
OCCUPANCY CLASSIFICATION (SECTION 303.4)	GROUP A-3, PLACE OF RELIGIOUS WORSHIP																											
CONSTRUCTION TYPE (TABLE 601, SECTION 602)	TYPE III-B (EXISTING)																											
SEISMIC ZONE:	2B																											
CONSTRUCTION ZONE:	PD, PLANNED DEVELOPMENT DISTRICT																											
OCCUPANT LOAD: (TABLE 1004.5)	<table border="0"> <tr> <td>WORSHIP CENTER</td> <td>969 SF/7 NET</td> <td>= 138</td> </tr> <tr> <td>MOTHER'S ROOM</td> <td>102 SF/7 NET</td> <td>= 14</td> </tr> <tr> <td>FOYER</td> <td>902 SF/5 NET</td> <td>= 180</td> </tr> <tr> <td>STAGE</td> <td>290 SF/15 NET</td> <td>= 19</td> </tr> <tr> <td>MULTI-PURPOSE ROOM</td> <td>684 SF/15 NET</td> <td>= 45</td> </tr> <tr> <td>SOUND BOOTH</td> <td>55.4/15 NET</td> <td>= 3</td> </tr> <tr> <td>OFFICE AREA</td> <td>134 SF/100 GROSS</td> <td>= 1</td> </tr> <tr> <td>COFFEE BAR</td> <td>128 SF/200 GROSS</td> <td>= 1</td> </tr> <tr> <td>JANITOR CLOSET</td> <td>30 SF/300 GROSS</td> <td>= 1</td> </tr> </table>	WORSHIP CENTER	969 SF/7 NET	= 138	MOTHER'S ROOM	102 SF/7 NET	= 14	FOYER	902 SF/5 NET	= 180	STAGE	290 SF/15 NET	= 19	MULTI-PURPOSE ROOM	684 SF/15 NET	= 45	SOUND BOOTH	55.4/15 NET	= 3	OFFICE AREA	134 SF/100 GROSS	= 1	COFFEE BAR	128 SF/200 GROSS	= 1	JANITOR CLOSET	30 SF/300 GROSS	= 1
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COFFEE BAR	128 SF/200 GROSS	= 1																										
JANITOR CLOSET	30 SF/300 GROSS	= 1																										
	TOTAL OCCUPANTS = 402																											

SEATING CAPACITY:	ASSEMBLY AREAS	138 SEATS
MEANS OF EGRESS:	MINIMUM NUMBER OF EXITS (SEC. 1021 AND TABLE 1021.1)	3
	NUMBER OF EXITS PROVIDED	5
	EXIT WIDTH PROVIDED (SEC 1005.3.2 - 0.2" PER OCCUPANT - 100.8" REQUIRED)	252" PROVIDED
	MAXIMUM DISTANCE TO EXITS (250'-0" WITH SPRINKLER SYSTEM, TABLE 1017.2)	45'-0" ACTUAL MAX
RESTROOM CALCULATIONS: (TABLE 2902.1)	MEN (201) HALF OF OCCUPANT LOAD	2 WATER CLOSETS (1/150) 2 LAVATORY (1/200) 1 URINAL
	WOMEN (201) HALF OF OCCUPANT LOAD	3 WATER CLOSETS (1/75) 2 LAVATORY (1/200)
	ADDITIONAL FIXTURES	1 SERVICE SINK 2 DRINKING FOUNTAIN (1-ACCESSIBLE)

FIRE EXT'G SYSTEM (2021 IFC)

OCCUPANCY:	GROUP A-3, PLACE OF WORSHIP
BUILDING SQUARE FEET:	4800 SQUARE FEET
OCCUPANT LOAD:	402
CONSTRUCTION:	TYPE III-B
ZONING:	R1, RESIDENTIAL DISTRICT SINGLE FAMILY 1 DU/AC
SPRINKLER SYS. (IFC SEC. 903.2.1.3)	REQUIRED FOR GROUP A-3 EXCEEDING 12,000 SF, AND AN OCCUPANT LOAD OF 300 OR MORE
STANDPIPES (IFC SEC. 905)	NOT REQUIRED
FIRE EXTINGUISHERS (IBC SEC. 906 AND TABLE 906.3(1))	1.2-A IN FOYER 1.2-A IN WORSHIP CENTER 1.2-A IN COFFEE BAR

AUTHORITY

- 2021 INTERNATIONAL BUILDING CODE
- 2021 NM COMMERCIAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 NM EXISTING BUILDING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 NM ENERGY CONSERVATION CODE
- 2021 UNIFORM PLUMBING CODE
- 2021 NM PLUMBING CODE
- 2021 UNIFORM MECHANICAL CODE
- 2021 NM MECHANICAL CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2020 NM ELECTRICAL CODE
- 2012 NM ELECTRICAL SAFETY CODE
- 2021 INTERNATIONAL FIRE CODE

PROJECT DIRECTORY

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ARCHITECT:	JAY JAY SHAPIRO 90 LEAPING POWDER ROAD SANTA FE, NM 87508 PHONE: (505) 699- 6161 EMAIL: shapiro434@gmail.com

LEGAL DESCRIPTION

LOT "S" OF LISCHKE SUBDIVISION, AS SHOWN ON PLAT ENTITLED "COMPOSITE PLAT SHOWING LANDS OF EVELYN LISCHKE", AS RECORDED IN PLAT BOOK 8, PAGE 114, DOCUMENT NO. 238,478 OF THE OFFICE OF THE SANTA FE COUNTY CLERK, NEW MEXICO, AND WITH THE ADDRESS OF 2501 CACTUS LANE, SANTA FE, NEW MEXICO, 87507.



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**TITLE SHEET,
 DESIGN
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PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 0.1

OCCUPANCY LOADS CRITERIA

I. OCCUPANCY CLASSIFICATION: A- 3 (IBC 303.4)

II. OCCUPANT LOAD (IBC SEC. 1004):

A. ASSEMBLY W/O FIXED SEATS, CONCENTRATED - 7 NET

- 1. WORSHIP CENTER: 969 SF/7= 138
- 2. MOTHER'S ROOM: 102 SF/7 = 14.57 (ACTUAL - 11)

B. ASSEMBLY WITHOUT FIXED SEATS, STANDING SPACE - 5 NET

- 1. FOYER = 902 SF/5 = 180.4

C. STAGES AND PLATFORMS - 15 NET

- 1. STAGE = 290 SF/15 = 19.33

D. ASSEMBLY WITHOUT FIXED SEATS, UNCONCENTRATED (TABLES AND CHAIRS) - 15 NET

- 1. MULTIPURPOSE AREA: 15 NET (684 SF/15 = 45.6)
- 2. SOUND BOOTH: 15 NET (55.4 SF/15 = 3.69)

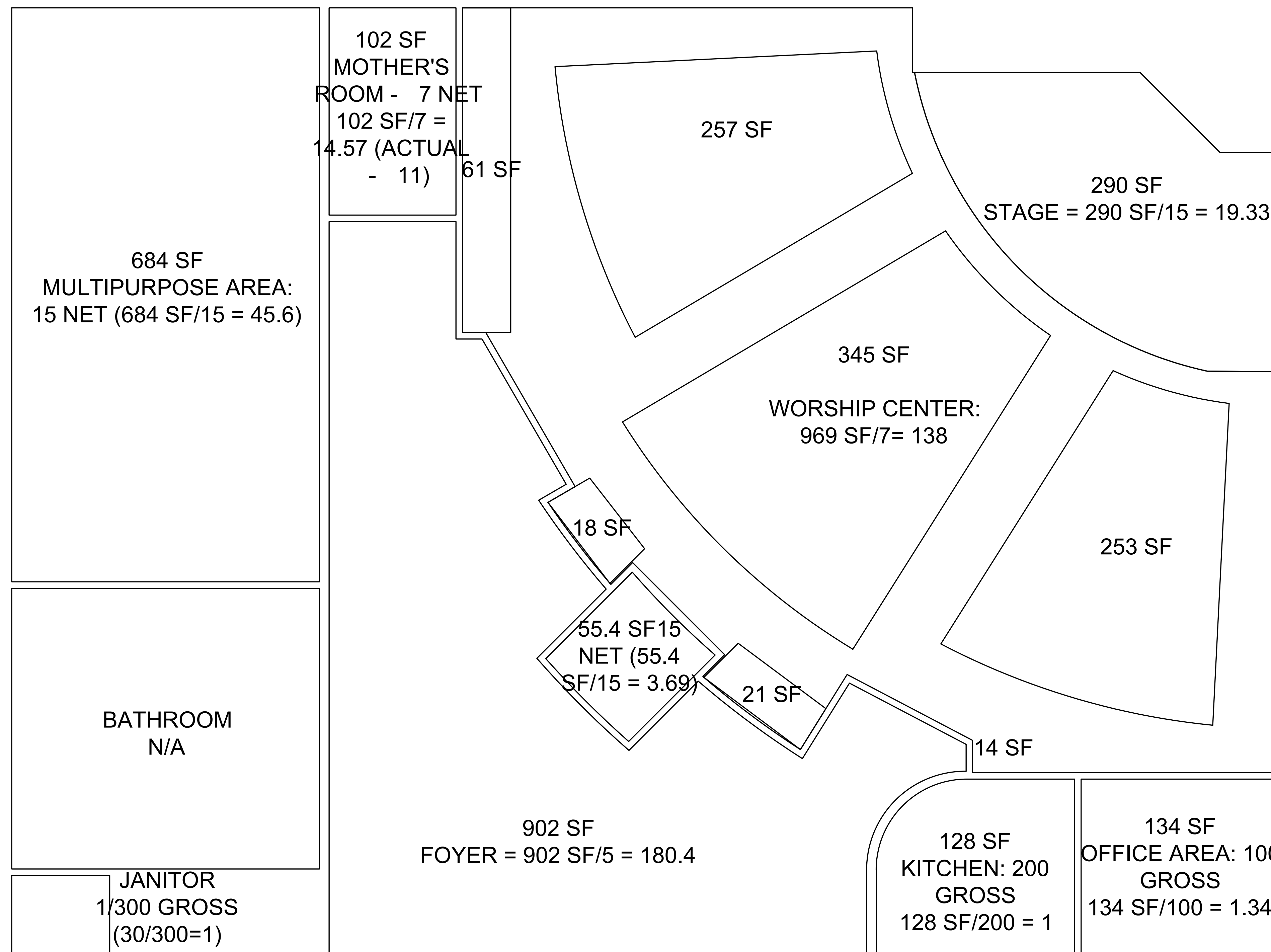
E. KITCHENS - 200 GROSS

- 1. COFFEE BAR: 128 SF/200 = 1

III. OCCUPANT LOAD FACTOR (2021 NFPA TABLE 7.3.1.2 "OCCUPANT LOAD FACTOR")

A. BUSINESS USE 100 GROSS

- 1. OFFICE AREA: 100 GROSS (134 SF/100 = 1.34)



OCCUPANCY AREAS
 1/4" = 1'-0"



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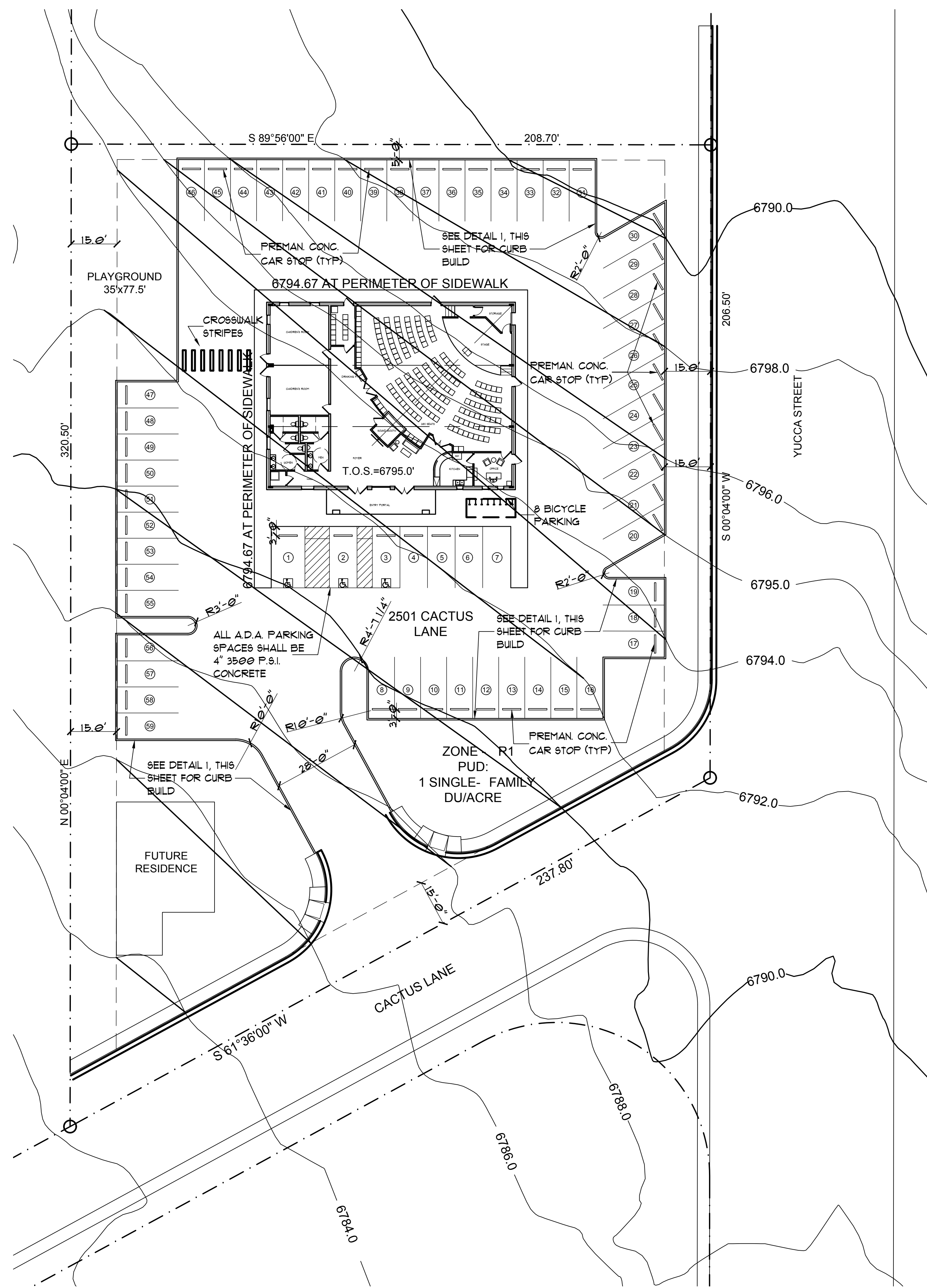
**EXISTING AND
 PROPOSED SITE
 PLANS**

PROJECT NO:
 CDA- 025- 001

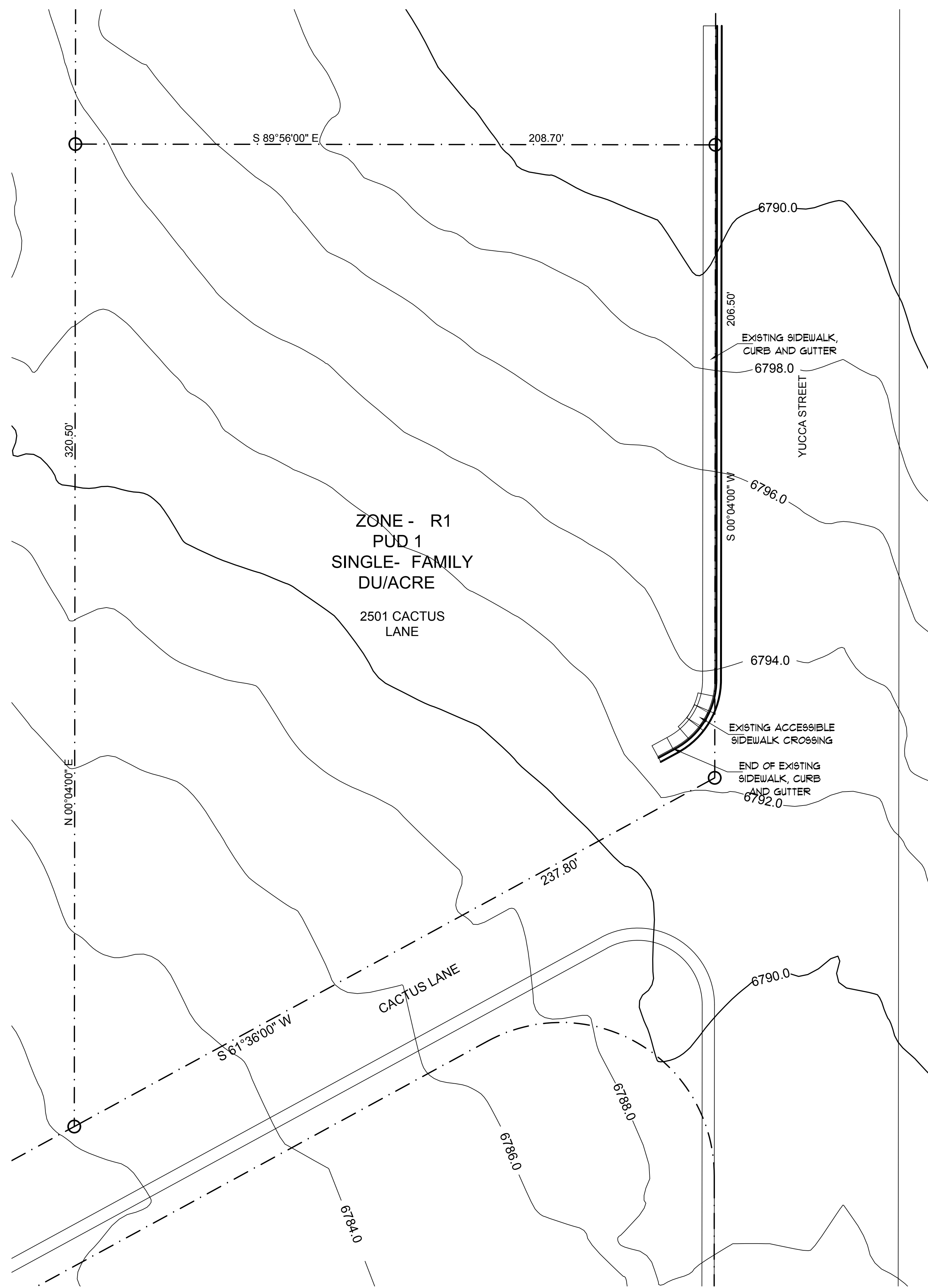
DATE: MAY 05, 2025

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1 PROPOSED SITEWORK
 SCALE: 1" = 20.0'



1 EXISTING SITE PLAN
 SCALE: 1" = 20.0'

SPECIFICATIONS:

BICYCLE RACKS:

- Inverted U type bicycle racks are the required bicycle parking rack.
- Each rack must be securely anchored and accommodate a bicycle frame where one wheel can be locked to the rack with a high security, U- shaped shackle lock if both wheels are left on the bicycle.

- A space of two (2) feet by six (6) feet (12 square feet) must be provided for each required bicycle parking space so that a bicycle six (6) feet long can be securely held with two points supported so that the bicycle cannot be pushed, or fall in a way that would damage the bicycle frame, wheel, or components.

- All racks must provide two points of contact with the frame at least 6" apart horizontally.

- If a bicycle corral is sought within a public street right- of- way, all design elements shall be developed in coordination with and approved by the city of Santa Fe public works department and parking division.

Distance to other racks:

- Racks placed parallel to each other (side by side) must be at least thirty- six (36) inches apart, this includes rack units sold as multiple units attached together.

- Racks aligned end to end must be at least ninety- six (96) inches apart.

Distance from wall:

- Racks placed perpendicular to a wall must be at least forty- eight (48) inches from the wall to the nearest vertical component of the rack.

- Racks parallel to a wall must be at least thirty- six (36) inches from the wall.

Distance from curb:

- Racks placed perpendicular to a curb must be at least forty- eight (48) inches from the curb to the nearest vertical component of the rack.

- Racks placed parallel to a curb must be at least twenty- four (24) inches from the curb to the rack.

Distance from pedestrian aisle:

- Rack units perpendicular to a pedestrian aisle must be at least forty- eight (48) inches from the rack to the edge of the aisle, and the pedestrian aisle should be at least sixty (60) inches wide.

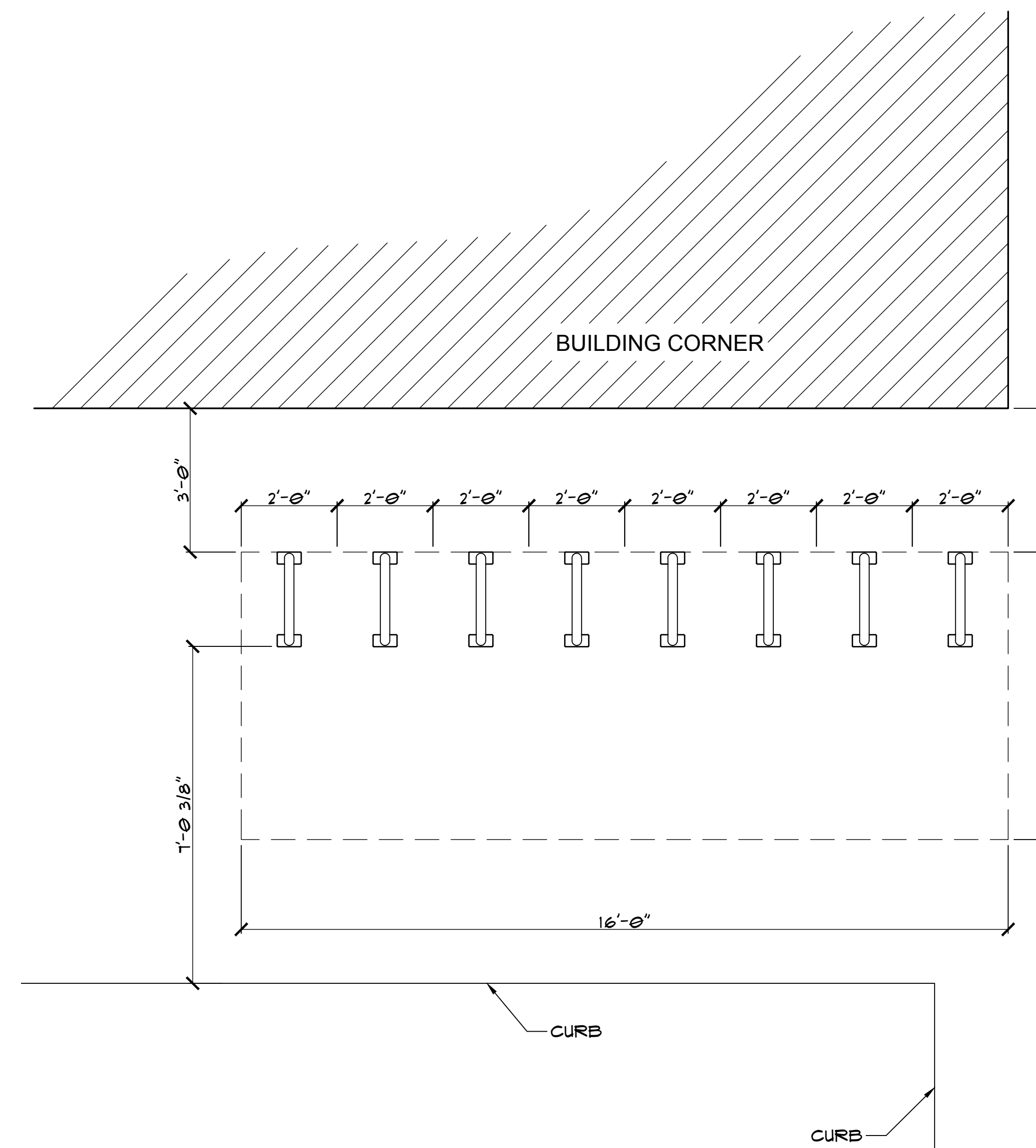
Parking and maneuvering areas:

- Each required bicycle parking space must be accessible without needing to move another bicycle.

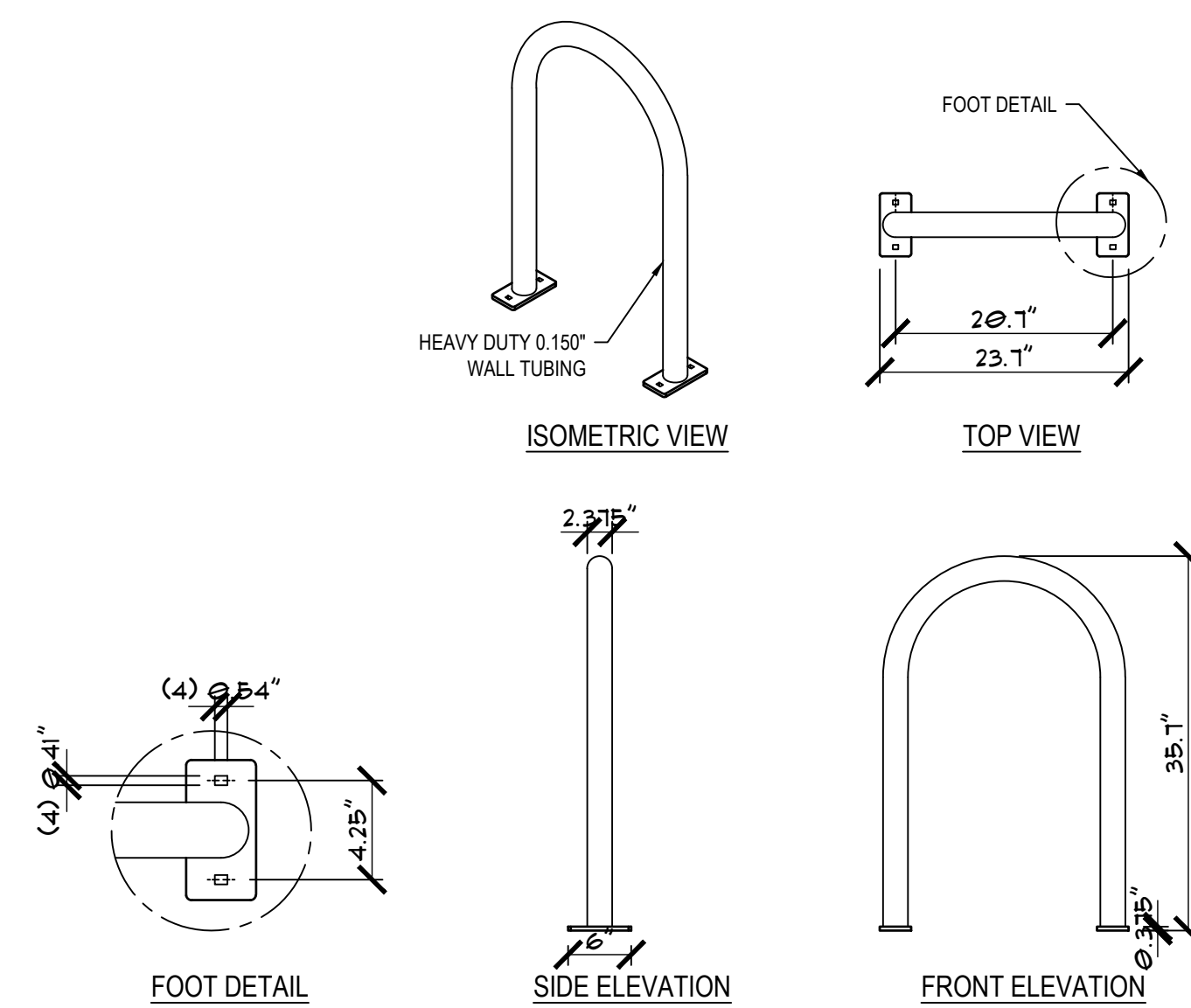
- There must be an aisle of at least five (5) feet wide behind all required bicycle parking to allow for maneuvering of the bicycle. Where bicycle parking is next to a sidewalk, the maneuvering area may extend into the sidewalk.

- The area devoted to bicycle parking must be hard surfaced.

Automobile Parking Spaces Required	Bicycle Spaces Required
0—5	4
5—15	6
16—50	8
51—100	10
100 or more	12



1 BICYCLE RACK PLAN
SCALE: 1/2" = 1'- 0"



2 RACK DETAILS
SCALE: 3/4" = 1'- 0"



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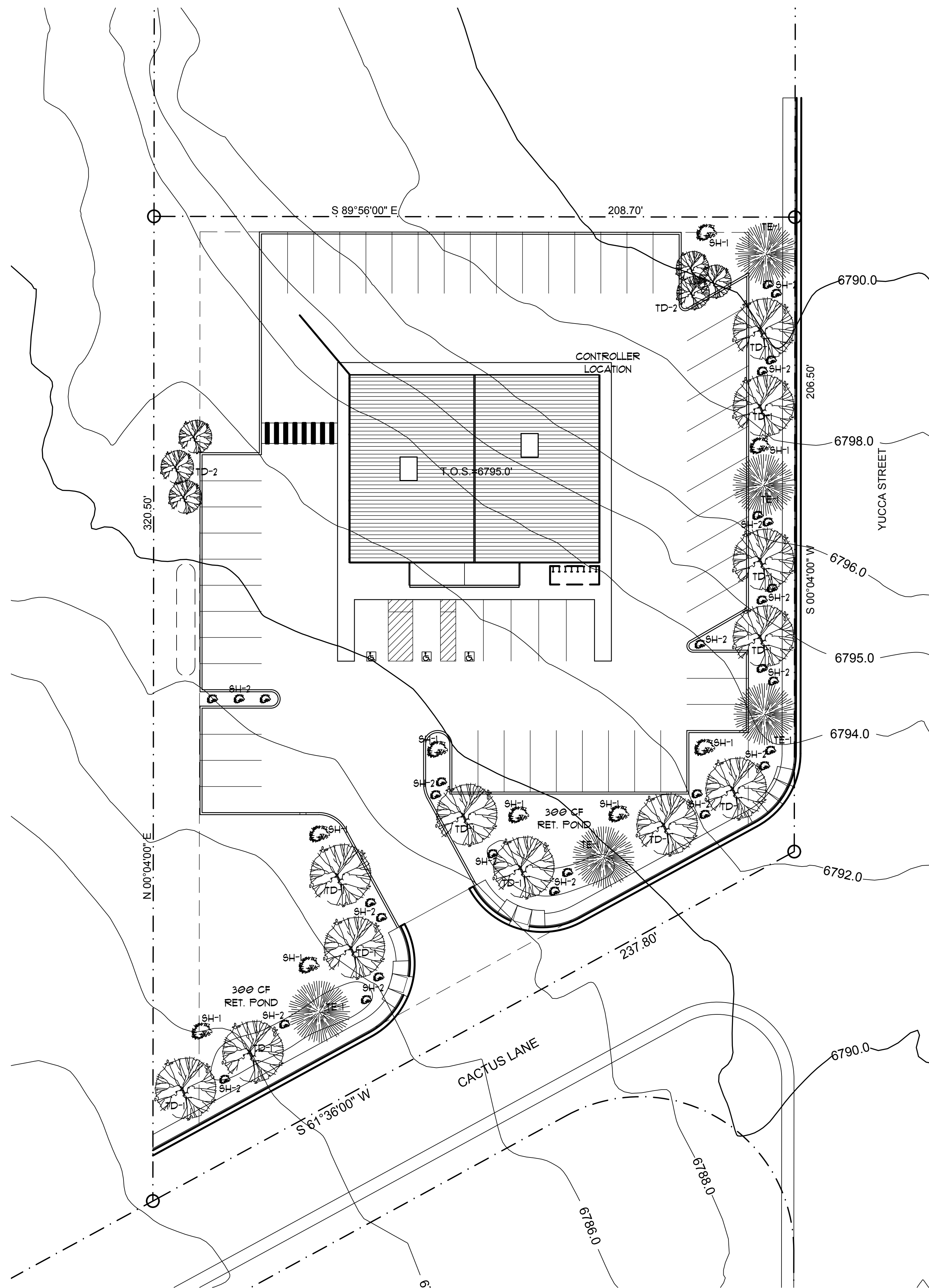
BICYCLE RACK PLANS, DETAILS AND NOTES

PROJECT NO:
CDA- 025- 001

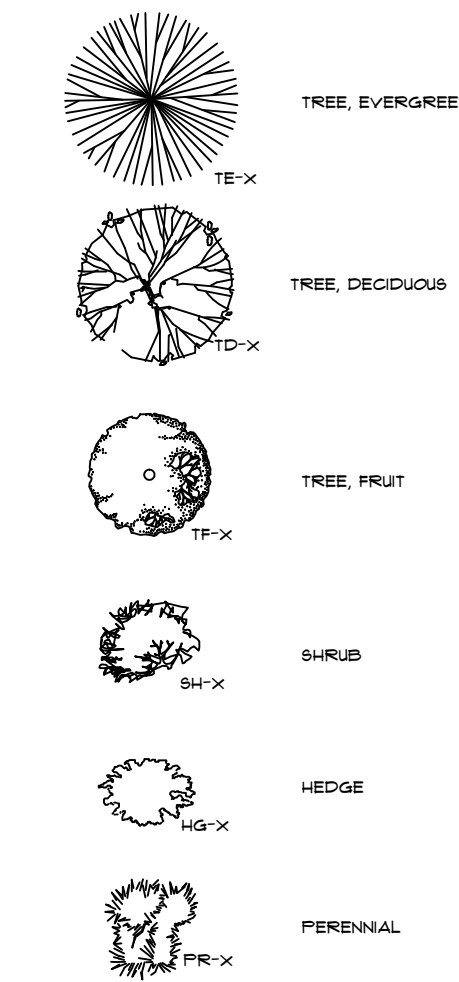
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PLANT LEGEND:



IRRIGATION SYSTEM NOTES:

1. CONTROLLER SHALL BE INSTALLED IN THE MECHANICAL ROOM.
2. USE BRASS BALL VALVE AT WATER SOURCE.
3. MAIN LINE FILTER SHALL BE RATED FOR TWO TIMES THE WATER PRESSURE.
4. PRESSURE REGULATOR AT EACH VALVE.
5. UTILIZE SCH 80 PVC FOR ALL UG LINES AND FOR VALVE PIPING.
6. BURY UG LINES MIN. 18" BELOW GRADE.
7. PROVIDE ANTI-SIPHON SOLENOID VALVES:
 - A. EVERGREENS - 1 VALVE
 - B. DECIDUOUS TREES - 3 VALVES
 - C. SHRUBS - 5
8. EMITTERS:
 - A. TWO 4 GAL/HR AT TREES
 - B. ONE 4 GAL/HR AT SHRUBS
 - C. ONE 2 GAL/HR AT PERENNIALS
 - D. ONE 2 GAL/HR AT HEDGES



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LANDSCAPE PLAN, SCHEDULE, NOTES AND DETAILS

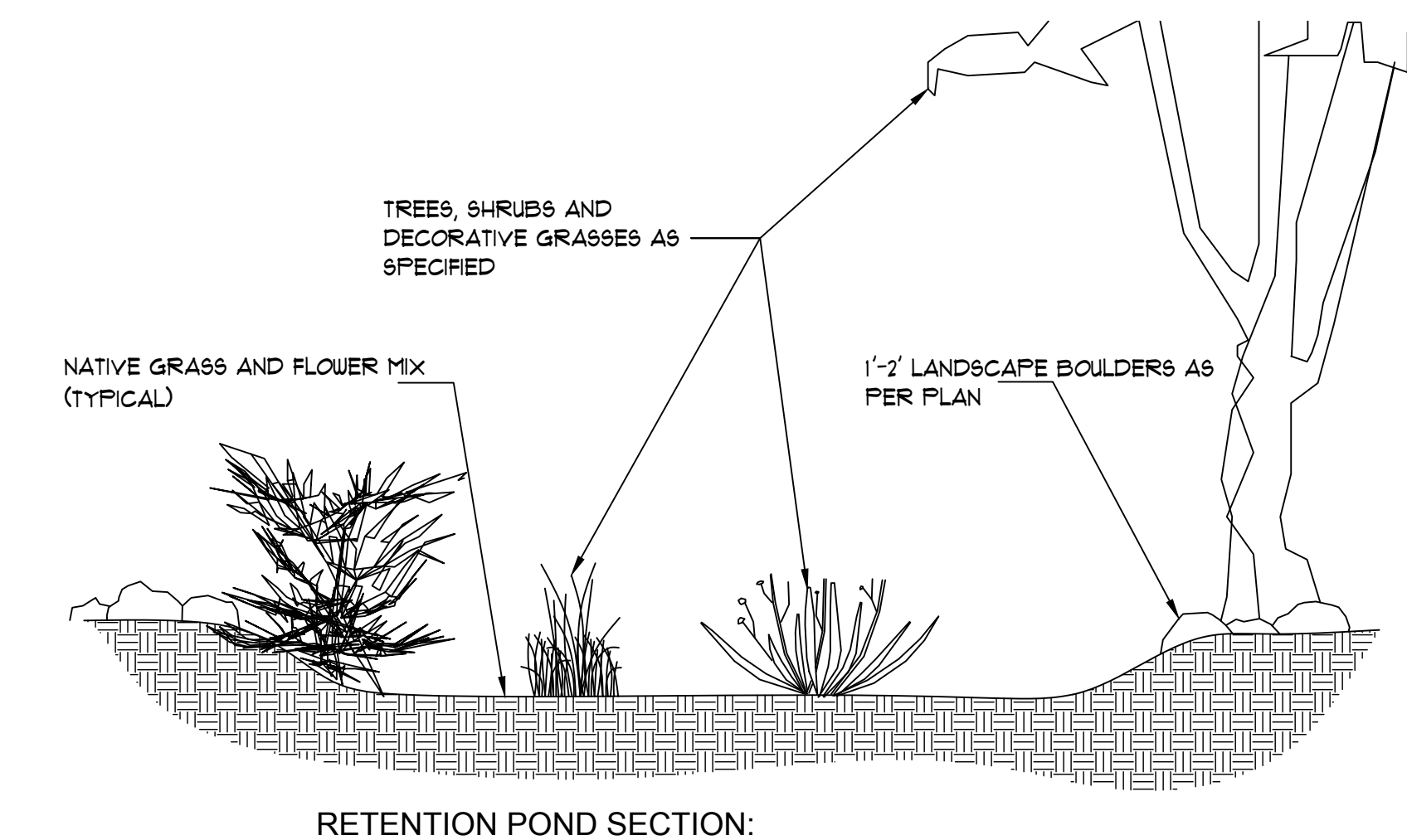
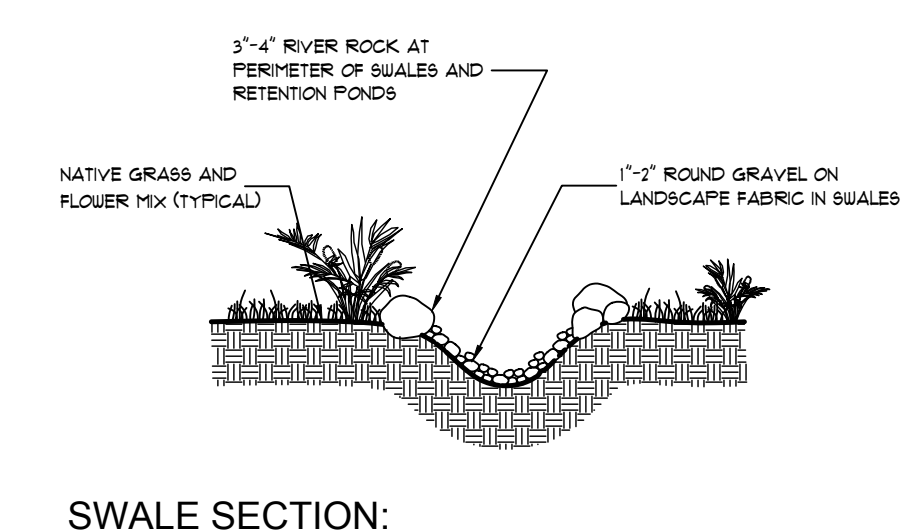
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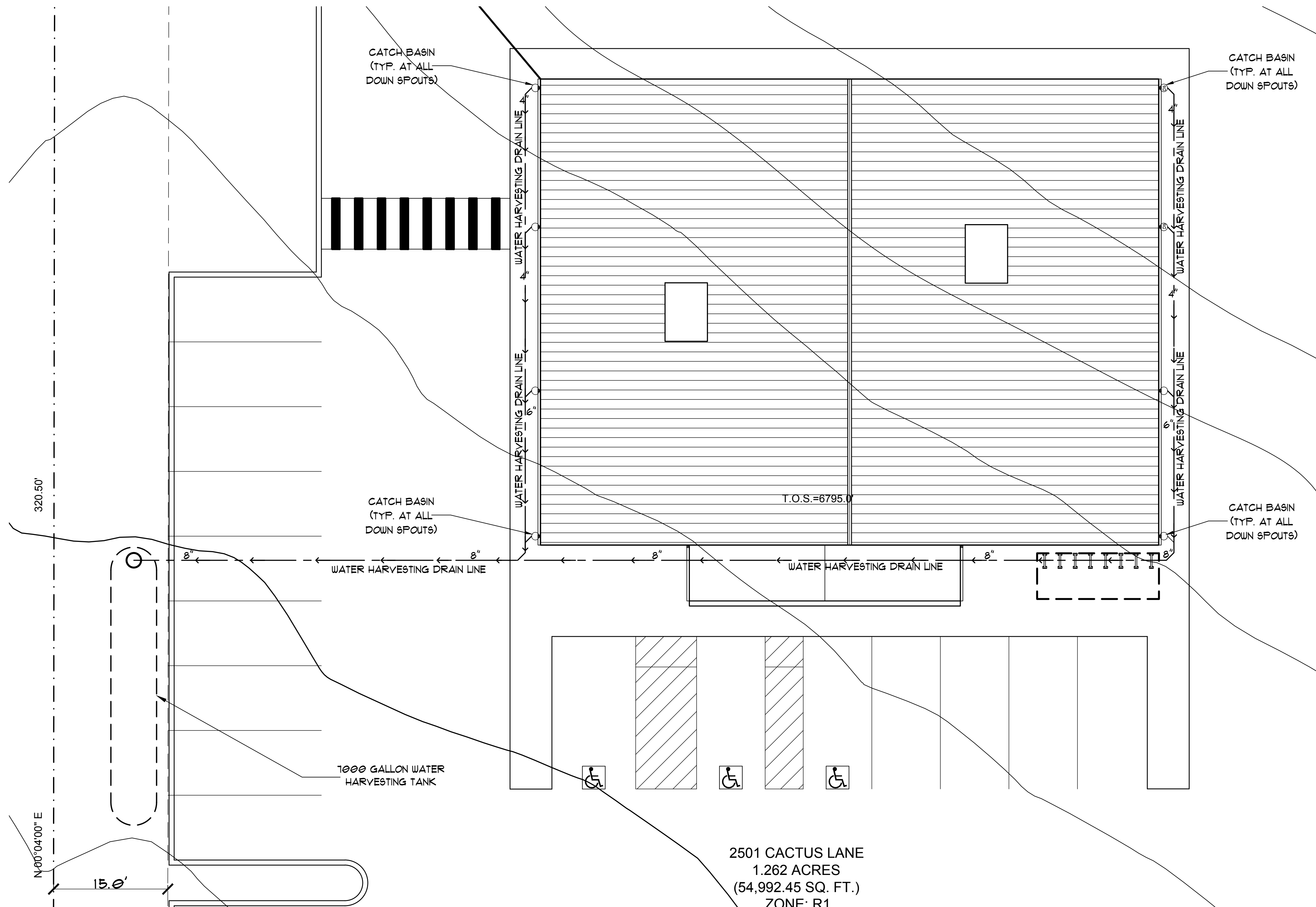
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PLANT SCHEDULE				
QUANTITY	DESIGNATION	COMMON NAME	BOTANICAL NAME	NOTES
5	TE-1	PINON PINE	PINUS EDULIS	12-35' DIA. BY 10-20' TALL
12	TD-1	FLOWERING PLUM	PRUNUS CERASIFERA	20-25' DIA. BY 20-30' TALL
6	TD-2	QUAKING ASPEN	POPULUS TREMULOIDES	15-30' DIA. BY 40-60' TALL
9	SH-1	FORSYTHIA	FORSYTHIA X INTERMEDIA	2'-10' DIA. BY 2'-10' TALL
29	SH-2	SHRUBBY CINQUEFOIL	DASIPHORA FRUTICOSA	3'-5' DIA. BY 2'-4' TALL
-	GC-1	3/4" CRUSHED GRAVEL	-	COLOR: SANTA FE BROWN
-	GC-2	1-2" ROUND GRAVEL	-	COLOR: GREY
-	GC-3	3-6" RIVER ROCK	-	COLOR: GREY
-	GC-4	1'-3' MOSS BOLDERS	-	COLOR: LOCAL

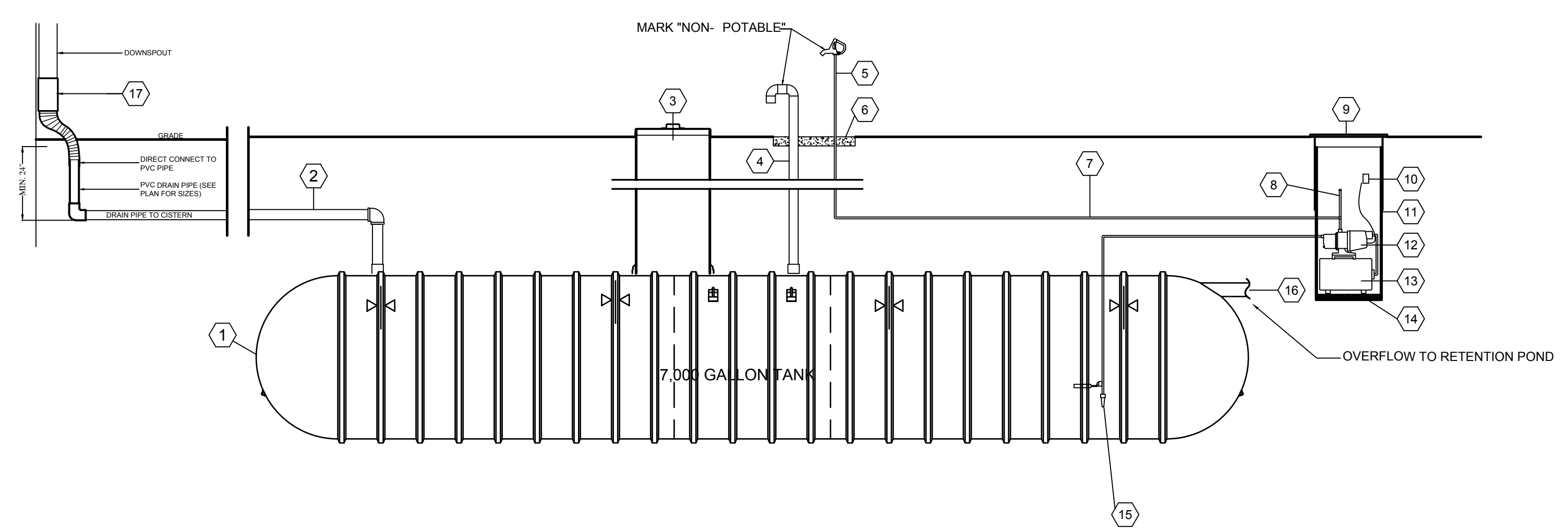


1 PROPOSED LANDSCAPE PLAN
 SCALE: 1" = 20.0'



1 WATER HARVESTING PLAN

SCALE: 1/8" = 1'- 0"



1 SECTION DETAIL:

WATER HARVESTING SYSTEM NOTES:

RAINWATER HARVESTING CALCULATION

DESCRIPTION:	SQUARE FEET
TOTAL HEATED AREA	5249 SQ. FT.

FORMULAS

HEATED AREA x 0.85 = MIN. DRAINAGE CAPTURE

CAPTURE 1.15 X MIN. DRAINAGE CAPTURE = CISTERN SIZE

CALCULATIONS

5249 x 0.85 = 4461.65 (MIN. DRAINAGE CAPTURE)

1.15 X 4461.65 = 6692.48 GALLONS (CISTERN SIZE)

TERRAIN MANAGEMENT - CALCULATION:

DESCRIPTION	COEFFICIENT	AREA
LOT	0.33	54993.00 SF
ROOFED	0.95	0.00 SF
EXTERIOR IMPERMIABLE SURFACES	0.95	9250.00 SF
RESIDUAL LOT	0.33	45743.00 SF

100 YEAR STORM INTENSITY, ZONE C = 7.8"/10 MIN.

RUN- OFF ANALYSIS FORMULA

COEF. x 100 YR. INT x AREA / 1 ACRE x SEC. PER INT.

PRE- DEVELOPMENT

.33 x 7.8 x 1.26 x 600 = 756 CU. FT.

POST DEVELOPMENT

RESIDUAL	.33 x 7.8 x 1.05 x 600	= 630.07 CU. FT.
EXT. IMPERM.	.95 x 7.8 x 0.212 x 600	= 127.41 CU. FT.

TOTAL POST = 757.48 CU. FT.

TOTAL TO RETAIN (POST- PRE)

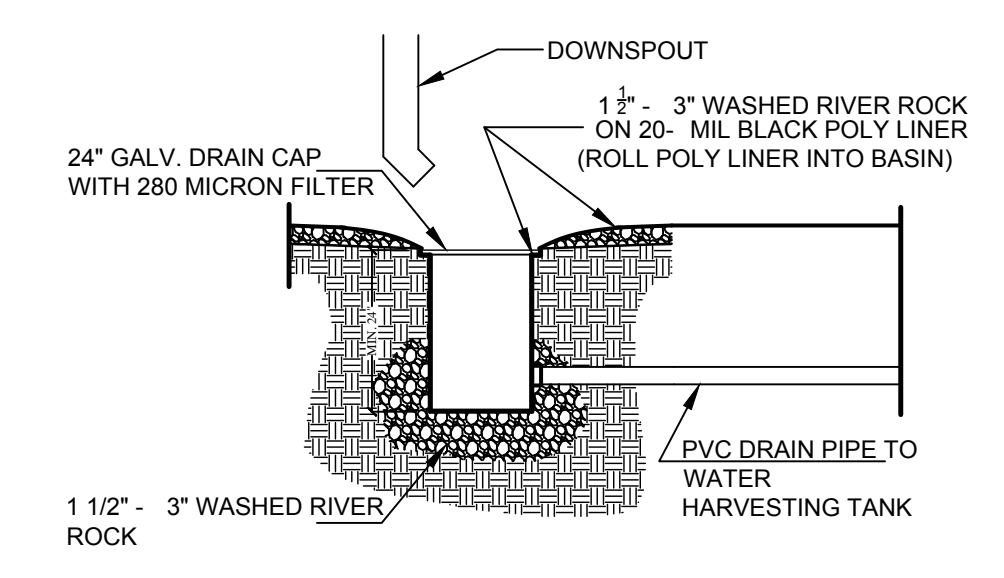
(POST) - (PRE) = 757.48 - 756.00 = 1.48 CU. FT.

- NOTES:
- SLOPE RATIO AT CUTS SHALL BE 2:1 MAX.
 - ALL FILL RATIOS SHALL E 3:1 MAX.
 - RESEED OR RE- VEGETATE ALL DISTURBED AREAS.

WATER HARVESTING SYSTEM NOTES

- THE WATER HARVESTING SYSTEM SHALL BE AS MANUFACTURED BY NORWESCO OR EQUAL.
- OVER- EXCAVATE CHAMBER MINIMUM 12" ON SIDES AND BOTTOM AND 36" ON TOP.
- SLOPE ALL DRAIN PIPES 1/8" PER FOOT FROM HOUSE LOCATIONS TOWARD CHAMBER.
- INSTALL A CLEAN- OUT AT HIGH END OF SYSTEM.
- DRAIN PIPE SHALL BE 8" PVC BURIED AT A MINIMUM OF 24" BELOW GRADE.
- PROVIDE A 12" THICK GRAVEL BASE UNDER CISTERN, WITH 3/4" GRAVEL.
- FILL OVER- EXCAVATED AREAS AROUND AND ON TOP OF CISTERN WITH 3/4" GRAVEL.
- FRENCH DRAINS SHALL HAVE 1- 1/2" TO 3" RIVER ROCK ON A MINIMUM 20 MIL. POLY- VINYL SHEET; CONNECT SHEET TO TOP OF DRAIN CANNISTER.

NO.	DESCRIPTION
1	XERXES SINGLE WALL FRP TANK - 7000 GALLON, 6" DIA. X 36'- 6" LENGTH, 2,500 POUNDS TOTAL WEIGHT
2	PVC DRAIN PIPE FROM CATCH BASINS - SEE PLAN FOR SIZES
3	20" ROUND MANHOLE COVER - LOCKING AND HINGED
4	4" VENT WITH SCREEN
5	3" BURY CLAYTON MARK YARD HYDRANT
6	4" X 36" DIAMETER CONCRETE COLLAR
7	MINIMUM 3/4" PVC PIPE
8	3/4" PVC PIPE AND CAP FOR IRRIGATION SYSTEM
9	28" ROUND MANHOLE COVER
10	115V POWER WITH GROUND FAULT PROTECTION
11	28" ID PLASTIC PUMP HOUSING
12	GRUNDFOS MQ3- 45 PUMP- 22 GPM, 65 PSI, 1" NPT CONNECTOR
13	FLOTEC FP7100H 15 GAL. PRESSURE TANK
14	3" THICK PEA GRAVEL
15	FLOAT SWITCH AND FOOT VALVE
16	OVERFLOW PIPE - STANDARD ON XERXES TANKS - PIPE TO RETENTION POND
17	INVISAFLOW MODEL #4400 FLEX GRATE DOWNSPOUT FILTER



1 OPTIONAL CATCH BASIN

Jay Jay Shapiro
ARCHITECT

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PROJECT DESCRIPTION:

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REVISIONS:
DISC DATE

SHEET TITLE

LANDSCAPE PLAN,
SCHEDULE,
NOTES AND
DETAILS

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 1.3

SITWORK – CLEARING, GRUBBING, ROUGH GRADING, FINISH GRADING

GENERAL

This specification covers the requirements for site clearing, grubbing, rough grading, and finish grading in preparation for construction. The work shall prepare the site for foundation and structure placement while meeting the approved grading plan and ensuring proper drainage and stability.

1.0 Scope of Work

- A. Clearing: Removal of vegetation, trees, stumps, debris, and any unsuitable material from the designated project area.
B. Grubbing: Extraction of roots, underground obstructions, and other organic matter that could affect the stability of the subgrade.
C. Rough Grading: Establishment of a basic grade on the site to create the desired contours and elevations as indicated in the approved grading plan.
D. Finish Grading: Final grading to provide smooth, properly contoured surfaces with appropriate slopes for drainage, pedestrian safety, and site aesthetics.

2.0 Site Preparation

- A. Clearing and Grubbing
1. Prior to grading, the site shall be cleared of brush, trees, stumps, and large debris.
2. All vegetation within the cleared area will be removed to the depth that assures a stable subgrade.
3. Hazardous materials or environmentally sensitive areas (e.g., wetlands) encountered during clearing must be handled according to local regulations.
4. The contractor is responsible for obtaining necessary permits for clearing operations.
B. Protection of Adjacent Areas
1. Protect adjacent properties, landscaped areas, or permanent structures during the clearing and grading process.
2. Erosion control measures must be implemented to prevent sedimentation of nearby water sources.

3.0 Grading Requirements

- A. Rough Grading
1. The rough grading shall be executed using heavy earth-moving equipment, establishing preliminary contours, slopes, and elevations as per the approved grading plan.
2. Subgrade compaction shall be achieved to establish a stable base for subsequent paving or structural work.
3. A minimum compaction density, as specified by the geotechnical report or local standards (typically 90- 95% of the Modified Proctor density), should be achieved for the subgrade material.
b. Finish Grading
4. Finish grading shall complete the surface preparation by refining the contours, ensuring smooth transitions, and achieving specified drainage slopes.
5. Grades must be checked and verified through surveying equipment and approved by the Engineer before further construction.
6. Where applicable, cut and fill slopes should be stabilized with appropriate measures (e.g., seeding, erosion control blankets, retaining structures) to minimize surface erosion and ensure safety.

4.0 Drying, Drainage, and Erosion Control

- A. Drainage
1. The grading plan must provide positive drainage away from structures, inlets/outlets, and environmentally sensitive areas.
2. Areas subject to water accumulation must be properly engineered with swales, storm drains, or retention areas per design requirements.
b. Erosion & Sedimentation Control
3. Temporary measures (e.g., silt fences, erosion control blankets, straw wattles) shall be installed immediately after grading to reduce erosion risks.
4. A final stabilization plan, such as seeding with vegetation or installing permanent erosion control measures, is required before final acceptance of grading work.

5.0 Materials

- 1. Soil materials used for cut or fill shall be evaluated for organic content, classification, and compatibility with the subgrade requirements.
2. In cases where imported fill is needed, such material must be free from deleterious substances and shall meet local or specified gradation and compaction requirements.

6.0 Quality Control and Inspections

- A. The Contractor shall perform field measurements and surveys during rough and finish grading operations to confirm that the established grades, elevations, and slopes are within the tolerances specified in the grading plan.
B. Periodic inspection and testing (e.g., compaction tests) shall be conducted to ensure compliance with project requirements.
C. Any non-conforming work shall be corrected at the Contractor's expense under the supervision of the project Engineer.

7.0 Safety and Environmental Requirements

- A. All clearing and grading operations must comply with applicable OSHA safety regulations and local guidelines.
B. Dust control measures should be implemented on dry days.
C. If trees and vegetation of potential environmental significance are encountered, coordinate with the appropriate authority before removal.

8.0 Documentation and Submittals

- A. The Contractor shall provide a site grading plan showing existing and finished grades for review and approval before the commencement of work.
B. Test reports (e.g., compaction tests) and survey results must be submitted to the Engineer periodically and upon completion of each grading phase.

3000 PSI CONCRETE – BUILDING SLAB

GENERAL

1.0 Scope

A. This mix design is intended for use in a building slab subjected to moderate loads. The concrete shall achieve a minimum compressive strength of 3000 psi (measured at 28 days) and is suitable for general building construction where exposure conditions are non-aggressive.

B. Intended Use and Exposures

- 1. Application: Building slab foundations and floors.
2. Exposure Classification: Interior or sheltered environments with minimal risk of freeze-thaw cycles, deicing salts, or chemical exposure.
3. Durability: Designed for moderate exposure conditions in accordance with local building codes.

2.0 Mix Design

- A. Required Compressive Strength: 3000 psi at 28 days.
B. Materials:
1. Cement: Portland Cement (ASTM C150 Type I or equivalent)
2. Fine Aggregate: Clean, well-graded sand conforming to ASTM C33
3. Coarse Aggregate: Crushed stone or gravel, nominal size ranging from 3/4" to 1 1/2", conforming to ASTM C33
4. Water: Potable water free from deleterious amounts of contaminants
5. Typical Proportions (by weight):
A) Cement: 500 - 520 lbs per cubic yard
B) Fine Aggregate (sand): 1560 lbs per cubic yard
C) Coarse Aggregate: 1600 lbs per cubic yard
D) Water: Approximately 32- 34 gallons (depending on moisture content and specific material properties)
6. Note: Actual mix proportions may be adjusted based on the specific properties of the materials used. A trial batch and quality assurance testing are recommended prior to full-scale production.

3.0 Workability and Slump

- A. Target Slump: 3 to 4 inches (controlled workability for slab placement)
B. Air Entrainment: Typically not required unless specified by local conditions. If required, add to improve freeze-thaw durability in relevant exposures.

4.0 Water/Cement Ratio

- A. Maximum Water/Cement Ratio: Approximately 0.50.
1. This ratio ensures adequate strength and durability while allowing sufficient workability. Adjustments may be made based on mix trials.

5.0 Admixtures (if applicable)

- A. Retarding Admixtures: May be used in hot weather to retard set times.
B. Water-Reducing Admixtures: Optional to achieve the target slump without adding excess water.
C. Air-Entraining Agents: Only if exposure demands require enhanced freeze-thaw resistance.
D. All admixtures shall conform to ASTM specifications (e.g., ASTM C494 for chemical admixtures).

6.0 Placing, Finishing, and Curing

- A. Placing: Concrete must be placed and consolidated in accordance with ACI 302 guidelines.
B. Finishing: Upon placement, finish as required ensuring a smooth, level surface free from defects.
C. Curing: Begin curing immediately after finishing. Maintain surface moisture (using curing compounds, water, or wet coverings) for a minimum of 7 days in moderate climates (longer in hot or dry conditions) to ensure proper hydration and strength development.

7.0 Quality Control and Testing

- A. Sampling: Concrete cylinders or prisms shall be cast for compressive strength testing according to ASTM C39/C31 protocols.
B. Acceptance Criteria: 28-day compressive strength must be at least 3000 psi.
C. Frequency of Testing: As required by local regulating agencies and project specifications.

8.0 Environmental Conditions

- A. Temperature Considerations: Concrete production should be adjusted for extreme environmental conditions. Pre-cooling or heating of aggregates and water may be necessary in very hot or cold weather to maintain proper set times and strength development.
B. Wind and Precipitation: Take precautions to protect the concrete from rapid drying (wind) or additional water (rain) during placement and curing.

9.0 Safety and Handling

- A. Material Handling: Follow all safety standards regarding the handling of cement and aggregates.
B. Equipment and Worker Safety: Ensure workers are equipped with personal protective equipment (PPE) and that all job-site safety protocols are followed.

PRE- FABRICATED METAL BUILDING – 80' L x 60' W

GENERAL

1.0 Scope

A. This specification covers the materials, fabrication, delivery, and erection of a pre-fabricated metal building measuring 80 feet in length by 60 feet in width. The building is intended for light industrial/warehouse or commercial use and conforms to relevant local building codes and manufacturer engineering designs. The scope includes preparing the project site (foundations and anchor bolt layout provided in separate foundation drawings), delivery of complete building components, and on-site assembly by a qualified erection crew under the supervision of a certified project manager.

2.0 Supply and Delivery

- A. Supply, delivery, and installation of all pre-fabricated building elements including: Primary structural components (columns, beams, girts, and purlins)
Metal roof and wall panels with appropriate insulation as specified
Fasteners, clips, and accessories as required for a secure, weather-tight assembly
B. Coordination with the foundation contractor (as per approved foundation drawings) for proper anchor bolt positioning and building alignment.
C. Provision of temporary weather protection during erection if necessary.

3.0 Design and Manufacturing

- A. Design: The building design shall be prepared by a Qualified Engineer and shall meet applicable local codes and standards (e.g., International Building Code [IBC], American Institute of Steel Construction [AISC]).
B. Engineering drawings and custom design details (including wind and seismic load calculations) are to be provided by the manufacturer for review and approval.

4.0 Fabrication & Materials:

- A. Components shall be fabricated using high-quality pre-galvanized steel meeting ASTM standards (e.g., ASTM A653) or approved equivalent.
B. All panels (roof and wall) shall be approved for durability, corrosion resistance, and performance under anticipated environmental conditions.
C. Connections, welds, and fasteners shall conform to manufacturer and industry standards.
D. Thermal insulation, if required per project specifications, shall be installed as integrated panels or applied following manufacturer guidelines.

5.0 Dimensions and Configuration

- A. Overall Building Dimensions:
1. Length: 80 feet
2. Width: 60 feet
3. Height: As per design (clear height at the eave and peak specified in contract drawings)
B. Structural Grid:
1. The column spacing and primary structural grid shall be based on the approved structural drawings and manufacturer's design.
2. Proper alignment with the building foundation anchor bolts is required.

6.0 Foundation Interface

- A. The building erection is to be coordinated with foundation preparation.
B. Anchor Bolts: Anchor bolt layout shall conform to manufacturer's installation drawings. Bolts shall be installed by the foundation contractor in accordance with approved engineering specifications.

7.0 Site Conditions

- A. The underlying foundation or slab must meet the engineer's load and concrete strength requirements prior to installation.
B. Any settlement or irregularities must be addressed in advance.

8.0 Erection and Installation

- A. Equipment and Personnel:
1. Erection shall be performed by qualified personnel experienced in metal building construction.
2. Appropriate lifting equipment and rigging shall be used, complying with OSHA and local safety regulations.
B. Field Assembly:
1. Pre-fabricated components shall be delivered in a coordinated sequence and stored in a safe, dry location prior to assembly.
2. Temporary bracing or shoring will be installed where necessary during the erection process.
3. All connections (bolted, welded or otherwise) shall be checked for proper tension and quality.
C. Weather Protection:
1. If weather prohibits immediate panel installation after primary structure erection, temporary protection (tarps, etc.) shall be provided to protect the structure and components.

9.0 Quality Control and Inspection

- A. Manufacturer Inspection:
1. All pre-fabricated components shall be inspected at the manufacturing facility to verify compliance with design and quality standards.
B. On-Site Inspection:
1. The erection process shall be monitored by a designated Project Manager and/or engineer to ensure adherence to the approved design, alignment to foundation anchor bolts, and proper installation practices.
2. Any deviations or nonconformities shall be corrective action items and documented before proceeding.
C. Testing:
1. Upon completion of erection, a final inspection of structural connections, panel installation, and weatherproofing shall be conducted, with documentation provided for final acceptance.

10.0 Safety and Environmental Requirements

- A. All work shall comply with OSHA safety guidelines, local jurisdiction regulations, and industry best practices.
B. Protective equipment, scaffolding, fall protection, and rigging safety procedures shall be in place during all erection activities.
C. Measures shall be implemented to minimize noise, dust, and environmental impacts during construction.

11.0 Documentation and Submittals

- A. Pre-Construction:
1. Submit design drawings, load calculations, and manufacturer installation procedures for review.
2. Provide a detailed schedule for component delivery and on-site erection.
B. During Construction:
1. Field inspection reports, erection sequence documentation, and quality control records shall be maintained and available for review.
C. Post-Construction:
1. Warranty documentation, as-built drawings, and maintenance instructions shall be submitted upon completion of the building erection.

12.0 Warranty and Maintenance

- A. The Manufacturer shall warrant the building components and their installation for defects in material or workmanship for a period defined in the contract (typically 1 to 5 years).
B. The Owner shall receive maintenance guidelines and recommended inspection intervals to ensure continued performance and longevity of the building.

COLD- FORMED METAL FRAMING, INTERIOR C- STUDS

GENERAL

1.1 Scope

A. Supply and install interior load-bearing cold-formed C-studs, sizes 3- 5/8" and 6".

1.2 References

- A. AISI S100 – North American Specification for the Design of Cold-Formed Steel Structural Members
B. ASTM C645 – Standard Specification for Nonstructural Steel Framing Members
C. ASTM C955 – Standard Specification for Load-Bearing (Structural) Steel Studs, Headers, Joists, and Rafters

1.3 Submittals

- A. Product Data: Member profiles, gauges, coatings.
B. Shop Drawings: Framing layout, member schedules, splice details.
PRODUCTS

2.1 Materials

- A. Steel sheet: ASTM A653/A653M, G60 galvanized coating or G90 in high-corrosion areas.

2.2 C-Stud Profiles & Gauges

- A. 3- 5/8" C-stud: 54 mil (12 ga) minimum, 1 1/4" flanges, 1/2" return lip.
B. 6" C-stud: 54 mil (12 ga) minimum, 1 1/4" flanges, 1/2" return lip.

2.3 Track (U-Header)

- A. Matching gauge and flange dimensions; continuous at top and bottom of wall.

2.4 Accessories

- A. Splice plates, hold-down clips, deflection clips, fasteners, shim packers per manufacturer.

EXECUTION

3.1 Layout & Installation

- A. Install bottom/top track aligned and level. Secure tracks to slab and structure at 24" o.c. max.
B. Cut and insert C-studs into track. Space studs per structural drawings (typically 16" o.c.).
C. Ensure plumb within 1/8" in 10'. Use shim packers under tracks if required.

3.2 Splices & Bracing

- A. Splice studs where they exceed maximum specified length with full-depth splice plates and fasteners; stagger splices in alternate studs.
B. Install lateral bracing or blocking as shown on drawings or per AISI S100.

3.3 Fastening

- A. Fasten studs to tracks: two #10-16 self-drilling screws at each flange, top and bottom.
B. Fasten track to structure: 1/2" diameter powder-actuated pins or approved anchors at 24" o.c. max.

3.4 Tolerances & Quality Control

- A. Alignment: tracks and studs plumb and true to line; cumulative out-of-plumb not over 1/4" in 20'.
B. Fasteners: fully seated, no loose or missing screws.

3.5 Protection

- A. Protect studs and tracks from damage, moisture, and construction debris.

End of Section.



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PROJECT DESCRIPTION:

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DISC DATE

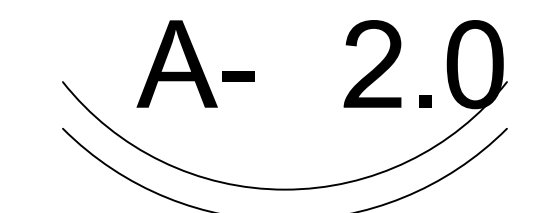
SHEET TITLE

SPECIFICATIONS

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:



Thermal and Acoustic Insulation

GENERAL

1.1 Scope

- A. Supply and install roof, foundation, exterior- wall, and interior- wall insulation per this specification.

1.2 References

- A. ASTM C665 – Mineral- Fiber Blankets and Boards
- B. ASTM C578 – Rigid Cellular Polystyrene Thermal Insulation
- C. ASTM C1149 – Sprayed Cellulosic Insulation
- D. ICC ESR- series for UPC 2.0 HFO polyiso

1.3 Submittals

- A. Product data sheets: thermal resistance (R- value), thickness, dimensions, fire and VOC ratings.
- B. Manufacturer's installation instructions and warranty.

PRODUCTS

2.1 Roof Insulation – Polyiso UPC 2.0 HFO

- A. Type: closed- cell polyisocyanurate board with zero- ODP HFO blowing agent.
- B. Thickness: to achieve nominal R- 60 continuous (approx. 5½"-6" board, per manufacturer).
- C. Facing: coated glass- reinforced face, both sides.
- D. Thermal conductivity: ≤ 0.019 Btu-in/ft²-°F-h.

2.2 Foundation Insulation – XPS

- A. Type: extruded polystyrene board, ASTM C578 Type X or IV.
- B. Thickness: 2" nominal.
- C. Compressive strength: ≥ 25 psi.
- D. Water absorption: ≤ 0.3 % by volume.

2.3 Exterior Wall Insulation – Cellulose

- A. Type: dense- pack spray- in cellulose, ASTM C1149.
- B. R- value: minimum R- 30 for 2-6 walls.
- C. Minimum density: 3.5 lb/ft³.
- D. Fire treatment: borate- based fire/termite retardant.

2.4 Interior Wall Acoustic Insulation

- A. Sound Attenuation Blankets
 1. Type: unfaced fiberglass or mineral- fiber blanket, ASTM C665.
 2. Thickness: 3" (min. 2.5 lb/ft³ density).
 3. NRC: ≥ 0.70 .
- B. Soundboard
 1. Type: ½" gypsum- fiber or cementitious soundboard, ASTM C931 or C423.
 2. Density: ≥ 40 lb/ft³.
 3. Fire rating: UL- classified for 1- hour assemblies (where required).

EXECUTION

3.1 General Installation

- A. Comply with manufacturer's instructions, ASTM C1320 (installation of board insulation) and C1330 (cellulose).
- B. Keep insulation dry; protect from moisture and physical damage.

3.2 Roof

- A. Lay polyiso boards in a continuous layer above roof deck, stagger joints; seal seams with compatible tape or sealant.
- B. Install vapor retarder or cover board as specified before roofing membrane.

3.3 Foundation

- A. Adhere or mechanically fasten XPS boards to exterior of foundation wall, continuous from footing to finished grade.
- B. Seal board joints and perimeter with compatible foam or tape to prevent air/moisture intrusion.

3.4 Exterior Walls

- A. Drill or cut holes at stud cavities; dense- pack cellulose at 3.5 lb/ft³ to fill cavity fully without voids.
- B. Seal top and bottom plates to prevent settling; install netting or baffles where required.

3.5 Interior Walls

- A. After rough- in MEP, install 3" sound blankets within stud cavities.
- B. Affix ½" soundboard directly to one side of framing; fasteners at 8" o.c. edges, 12" o.c. field.

3.6 Quality Control and Verification

- A. Inspect thickness and R- values in random locations; use depth gauge or board markings.
- B. Verify continuous coverage, no gaps, voids, or compression.
- C. Check all seams and penetrations are sealed with appropriate material.

End of Section

COLD- FORMED METAL FRAMING, 6" C- JOISTS

GENERAL

1.1 Scope

- A. Supply and install 6" deep, cold- formed steel C- joists at 16" on center to support gypsum board ceilings (or wall furring) per approved shop drawings.

1.2 References

1. ASTM C645 — "Standard Specification for Nonstructural Steel Framing Members"
2. ASTM C754 — "Standard Specification for Installation of Steel Framing Members"

PRODUCTS

2.1 C- Joists

- A. Profile: C- shape, 6" depth, 1½" flange, ¼" lip, manufactured to ASTM C645
- B. Gauge: 20 ga (0.036") G90 galvanized steel
- C. Section modulus and stiffness rated for L/240 deflection over a 12' simple span

2.2 Tracks & Accessories

- A. Field- trimmed U- shaped top and bottom track, same gauge as joists
- B. Splice plates or clip- angles for continuous runs longer than one track length
- C. Fasteners: self- drilling, self- tapping screws compatible with steel thickness

INSTALLATION

3.1 Layout

- A. Install top track level and plumb on bearing walls or structure
- B. Snap or set C- joists into track at 16" o.c., verify spacing with a laser or chalk line

3.2 Fastening

- A. Secure each joist flange to the track with two 1½" Type S self- drilling screws
- B. Stagger splices; use manufacturer- approved splices or clip angles

3.3 Gypsum Board Attachment (if ceiling use)

- A. Attach 5/8" gypsum board perpendicular to joists with 1" Type S drywall screws
- B. Screw spacing: 7–8" o.c. along joists; 3/8" from panel edges

3.4 Tolerances & Quality

- A. Maximum deflection under live load L/240
- B. Joist plane variation: $\pm 1/8$ " in 10'
- C. Verify plumb, level, and secure connections before drywall installation

CLEAN- UP & PROTECTION

4.1 Remove metal shavings and debris

4.2 Protect installed framing until finished removal of trades

End of Section

THERMOPLASTIC (TPO) ROOFING SYSTEM

GENERAL

1.1 SUMMARY

- A. Work under this Section includes supply and installation of a fully adhered, single- ply TPO roofing system complete with insulation, vapor retarder, roof membrane, flashings, and accessories.

1.2 REFERENCES

- A. ASTM D6878 — Standard Specification for TPO Sheet Roofing
- B. ASTM D4434 — Standard Specification for PVC Sheet Roofing
- C. ASTM D7554 — TPO Membrane Thickness
- D. FM 4470, 4450 — Factory Mutual Approval Standards
- E. NRCA Roofing Manual

1.3 SUBMITTALS

- A. Product Data: Manufacturer's technical datasheets for membrane, adhesives, primers, and flashing materials.
- B. Shop Drawings: Plan views showing membrane layout, insulation joints, flashings, drains, curbs, penetrations, edge details.
- C. Samples: 12"×12" TPO membrane, trim flanges, seam tape.
- D. Certificates: Membrane FM Approval, UL Class A roof assembly (if required).
- E. Warranties: Manufacturer's 20- year membrane warranty; Installer's workmanship warranty.

1.4 QUALITY ASSURANCE

- A. Manufacturer Qualifications: Company specializing in TPO roofing with minimum 20 years' experience and FM Approval for specified assembly.
- B. Installer Qualifications: Certified by membrane manufacturer, with not less than 5 completed TPO roof projects of similar scope.
- C. Pre- Installation Meeting: Review substrate condition, insulation layout, flashing details, weather constraints, safety procedures.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials in manufacturer's unopened, labeled packaging.
- B. Store membrane rolls on end, in a clean, dry area, protected from sun and heat.
- C. Store adhesives and primers between 60°F and 80°F per manufacturer's instructions.

2.1 TPO ROOFING MEMBRANE

- A. Type: Thermoplastic Polyolefin (TPO), reinforced with polyester scrim.
- B. Thickness: 60- mil minimum, meeting ASTM D6878 and ASTM D7554 tolerances.
- C. Color: White (reflective).
- D. Physical Properties (minimum per ASTM D6878):
 1. Tensile Strength: ≥ 265 lb/fin (MD & CD)
 2. Elongation: $\geq 15\%$
 3. Tear Strength: ≥ 50 lb/ (MD & CD)
 4. Puncture Resistance (ASTM D5635): ≥ 16 lb/

2.2 INSULATION

- A. Type: Polyisocyanurate (ISO) board, coated face on both sides.
- B. Thickness: As indicated on drawings to achieve required R- value (typ. R- 20).
- C. Compressive Strength: ≥ 25 psi (ASTM D1621).
- D. Dimension Tolerance: Length and width $\pm 1/8$ ", thickness $-0/+3/16$ ".

2.3 VAPOR RETARDER (IF REQUIRED)

- A. Type: Self- adhered, non- perforated bituminous sheet or composite sheet with perm ≤ 0.1 .
- B. Thickness: 40 mils minimum.

2.4 ADHESIVES AND PRIMERS

- A. Membrane Adhesive: Low- VOC, manufacturer- approved, water- based or solvent- based fully- adhered adhesive.
- B. Primer: For flashing surfaces (e.g., metal, concrete) if required by membrane manufacturer.

2.5 FLASHING AND ACCESSORIES

- A. TPO Flashing Sheet: Same membrane type and thickness as field membrane.
- B. Pre- Molded Inside/Outside Corners, Pipe Boots: Manufacturer's matching accessories.
- C. Metal Drip Edge: Pre- finished, compatible color.
- D. Fasteners & Plates: Corrosion- resistant, approved types for insulation attachment.

3.1 EXAMINATION

- A. Verify roof deck is clean, dry, smooth, and free of sharp objects or protrusions.
- B. Verify deck deflection limits per manufacturer's requirements.
- C. Verify substrate temperature and ambient conditions are within limits for membrane application.

3.2 PREPARATION

- A. Dry- in Substrate: Ensure roof deck is free of ponded water.
- B. Moisture Testing: If required, conduct ASTM F2170 relative humidity tests or ASTM D4263 plastic sheet test.
- C. Prime Flashing Surfaces: Apply primer to concrete, masonry, and metal per manufacturer's instructions.

3.3 INSULATION INSTALLATION

- A. Vapor Retarder: Install self- adhered sheets directly to deck, lapping sidelines 2", end laps 6", and seal with manufacturer's lap sealant.
- B. ISO Boards: Set in full- coverage bead of compatible adhesive, stagger joints; secure with mechanical fasteners per spacing schedule.
- C. Cover Board (if specified): Adhere or mechanically attach per drawings.

3.4 MEMBRANE INSTALLATION

- A. Layout: Unroll membrane and allow to relax per manufacturer's time table.
- B. Adhesive Application: Apply adhesive to insulation and/or membrane backside in uniform ribbons or full- coverage spray.
- C. Positioning: Embed membrane, maintaining 1/8" to 1/4" slack at terminations and flashings.
- D. Seaming: Hot- air weld sidelaps and endlaps with automatic welding equipment. Test seams with hand probe to ensure full fusion.
- E. Detail Work: Install flashings, corners, pipe boots, and edge metal. Ensure all terminations are sealed with factory or field- fabricated metal termination bars and sealant.

3.5 FIELD QUALITY CONTROL

- A. Inspection: Membrane seams, flashings, penetrations, and terminations shall be inspected by a Factory Authorized Field Technician.
- B. Weld Testing: Perform destructive and non- destructive seam tests (e.g., seam probe, peel tests) in accordance with ASTM D5385.
- C. Repair: Cut out and re- weld or patch defective seams and damage areas.

3.6 PROTECTION AND CLEANING

- A. Protect finished roof from traffic and damage until acceptance.
- B. Remove debris, adhesive smears, and unused materials.
- C. Leave adjacent surfaces clean and undamaged.

WARRANTY

4.1 Manufacturer's Membrane Warranty

- A. Twenty- year no- dollar- limit manufacturer's warranty covering membrane defects and reasonable consequential damage to roofing components.

4.2 Installer's Workmanship Warranty

- A. Two- year warranty covering installation workmanship defects effective from date of final acceptance.

Gypsum Board Assemblies

GENERAL

1.1 Scope

- A. Supply and install 5/8" Firecode® C gypsum panels with a minimum Level 4 finish.

1.2 References

- A. ASTM C1396/C1396M – Gypsum Board
- B. ASTM C840 – Application and Finishing of Gypsum Board
- C. GA- 216 – Recommended Levels of Gypsum Board Finish

1.3 Submittals

- A. Product data: board size, edge type, paper facing, fire- rating documentation.
- B. Joint treatment and finish system manufacturer's instructions.

PRODUCTS

2.1 Firecode® C Gypsum Panels

- A. Type: 5/8" thick, Firecode® C (core enhanced for fire resistance), taper- edged, in 4' × 8' or 4' × 12' sheets.
- B. Conform to ASTM C1396/C1396M, FC- C classification.

2.2 Accessories

- A. Framing: steel studs and runners per Section 05 40 00 (minimum 3- 5/8" studs).
- B. Joint treatment:
 1. Paper or fiberglass tape (ASTM C475).
 2. Setting- type joint compound for first coat.
 3. Topping compound for fill and finish coats.
 4. Fasteners: corrosion- resistant drywall screws per ASTM C1002 (1¼" long for studs, 1" for furring).
 5. Edge trim and corner beads: zinc or plastic, as required.

EXECUTION

3.1 Examination

- A. Verify framing is plumb, true, spaced 16" o.c. (or as specified), and free of irregularities.

3.2 Installation of Gypsum Panels

- A. Install per ASTM C840 and manufacturer's instructions.
- B. Orient panels horizontally with ends staggered.
- C. Secure panels to framing: screws at 7" o.c. in field, 6" o.c. at perimeter.

3.3 Joint Treatment & Level 4 Finish

- A. Level 4 per GA- 216:
 1. Embed tape in setting- type compound; fill joints, trim flush.
 2. Apply two full coats of topping compound; feather edges 6" minimum.
 3. Skimcoat entire surface with lightweight topping compound to uniform appearance.

B. Corner Treatment

1. Reinforce outside corners with corner beads; finish flush.
2. Sand lightly between coats to remove imperfections; avoid exposing paper.

3.4 Protection

- A. Protect finished surfaces from damage, moisture, and construction traffic.
- B. Begin decoration only after Level 4 finish is dry and free of defects.

End of Section



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PROJECT

DESCRIPTION:

Iglesia Cristiana
Casa del Alferero

2501 Cactus Lane,
Santa Fe, NM 87507

REVISIONS:

#	DISC	DATE
---	------	------

SHEET TITLE

SPECIFICATIONS

PROJECT NO:

CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 2.1

Recessed Audio–Duplex Stage Pocket Boxes

GENERAL

1.1 Scope

- A. Recessed audio stage pocket floor and wall boxes with low- voltage modules and one duplex receptacle each.

1.2 References

- A. UL 5A, UL 514A, UL 50E; NEC (NFPA 70); NECA 1.

1.3 Submittals

- A. Product data, shop drawings (locations, cut- outs), sample faceplate.

PRODUCTS

2.1 Manufacturer

- A. Mody Company Creative, Inc.; www.modycompany.com.

2.2 Floor Boxes

- A. Die- cast aluminum, nickel finish; spring- loaded gasketed lid.
- B. Depth: 3.5" min. Accommodates up to six low- voltage modules + one NEMA 5- 15R duplex receptacle module.

2.3 Wall Boxes

- A. 16 ga galvanized steel, black paint; flush cover with captive screws.
- B. Depth: 2.5" min. Holds four low- voltage modules + one duplex receptacle.

2.4 Faceplates & Modules

- A. Stainless or zinc- plated steel faceplates with engraved labels.
- B. Low- voltage modules: XLR, TRS, speakON, RCA, HDMI or blank.
- C. Duplex receptacle: NEMA 5- 15R, hospital- grade, ivory.

EXECUTION

3.1 Rough- In

- A. Set floor boxes level in formwork or core- drill wall boxes per template.
- B. Install conduit/cables; secure with clamps and bushings.

3.2 Final Installation

- A. Snap in modules and duplex receptacle per schedule; torque screws to 12 lb- in.
- B. Wire low- voltage and receptacle per manufacturer's diagram; respect polarity and grounding.

3.3 Quality Control

- A. Verify box type, location, plumb, and cover flushness.
- B. Test audio circuits (continuity, polarity) and receptacle for proper grounding and polarity.

3.4 Protection & Cleaning

- A. Protect openings during construction. Clean faceplates and lids; touch up paint as needed.

End of Section

Manufactured Stone Masonry Veneer

GENERAL

1.1 Scope

- A. Supply and install Cultured Stone® Ancient Villa® LedgeStone, Sevilla style, on entry portal columns over cement- board backing.

1.2 References

- A. ASTM C1670 – Standard Specification for Manufactured Stone Masonry Units
- B. ASTM C847 – Installation of Masonry Veneer over Wood Frame Construction
- C. Manufacturer's current product literature and installation guide

1.3 Submittals

- A. Product Data: stone profiles, dimensions, weights, colors, textures, cement- board requirements.
- B. Samples: 12"×12" mock- up panel of Sevilla style for owner approval.
- C. Shop Drawings: elevations of column veneers, joint patterns, flashings, weep locations.

PRODUCTS

2.1 Manufactured Stone Veneer

- A. Manufacturer: Cultured Stone®, a BMC® company.
- B. Product: Ancient Villa® LedgeStone, Sevilla color blend.
- C. Unit size: random ledgeStone units, nominal 2"–4" heights × 6"–18" lengths; ¾"–1½" thickness.
- D. Weight: ≈ 7–8 lb/ft².
- E. Compressive strength, absorption, and other properties: per ASTM C1670.

2.2 Backing & Accessories

- A. Cement- Board Backing: ½" fiber- cement backerboard, ASTM C1177 or C1325, installed over approved weather–resistive barrier (WRB).
- B. Metal Lath: galvanized, 3.4 lb/yd²; apply over WRB and backerboard as required.
- C. Flashing: corrosion- resistant metal flashing at base and transitions per details.
- D. Weep Screeds & Weep Vents: at base of veneer.
- E. Mortar: Type S or N, Portland cement, lime, and graded sand per ASTM C270; color to match stone.
- F. Accessories: units, thru- wall flashing, drip screeds, control joints per manufacturer's instructions.

EXECUTION

3.1 Preparation

- A. Verify substrate is plumb, true, sound, and has WRB and flashings in place.
- B. Install cement- board backerboard per ASTM and manufacturer's instructions; fasten at 8" o.c. max.
- C. Apply metal lath over cement board; securely fasten and lap per spec.

3.2 Stone Installation

- A. Mix mortar to a stiff, workable consistency.
- B. Butter each stone's back face with a ½"–¾" mortar bed; press firmly in a staggered pattern.
- C. Maintain ¼" joint width (nominal); tool joints flush or slightly concave.
- D. Provide tight, natural- looking stone- to- stone fit; cut units neatly to fit at corners and openings.

3.3 Flashing & Weeps

- A. Integrate flashing at base of columns; terminate lath and cement board above flashing.
- B. Install weep screed at base; provide ¾" weep vents or weep holes at 16" o.c. max.

3.4 Cleaning & Protection

- A. Brush excess mortar from faces before hardening.
- B. After mortar cures, rinse veneer with low- pressure water; avoid bleach or acid cleaners.
- C. Protect finished veneer from staining, mortar droppings, and impact until project completion.

3.5 Warranty

- A. Provide manufacturer's 10- year limited warranty on manufactured stone units.

End of Section

Natural Stone Countertops (Granite)

GENERAL

1.1 Scope

- A. Supply and install polished, natural granite countertops, Grade 2–3 quality, including fabrication, seams, edge profiles, and anchorage.

1.2 References

- A. ANSI Z124.6 – Solid Surfaces (for comparison)
- B. ASTM C616 – Standard Specification for Quartz- Based Dimension Stone
- C. CRI Green Label Plus (where LEED or low- VOC criteria apply)

1.3 Submittals

- A. Product Data: granite source, physical properties, finish, and maintenance instructions.
- B. Shop Drawings: countertop plans, elevations, seam locations, edge profiles, cutouts for sinks and faucets.
- C. Samples: 12" × 12" polished slabs of selected granite.

PRODUCTS

2.1 Granite Material

- A. Grade 2–3 (commercial quality): uniform color and veining, minimal fissures, consistent polish.
- B. Color: as selected from manufacturer's standard range.
- C. Thickness: nominal 3 cm (1¼").
- D. Finish: polished to 300–400 grit, 95 % gloss minimum.
- E. Physical Properties: compressive strength ≥ 25,000 psi; water absorption ≤ 0.4 %.

2.2 Fabrication

- A. Templating: field verify all dimensions with approved drawings before cutting.
- B. Seams: use color matched, UV- stable epoxy; seams tight (≤ 0.005" gap), ground and polished smooth.
- C. Edge Profile: eased "Eased" (1 mm radius) or as indicated on drawings.
- D. Cutouts: sink, cooktop, and faucet openings with factory- finished edges.
- E. Backsplashes and splash guards: matching granite, 4" high or as indicated.

2.3 Accessories

- A. Epoxy adhesive and seam filler, color matched to stone.
- B. Sound- dampening underlayment pads.
- C. Sealant: impregnating stone sealer, clear, low- VOC.

EXECUTION

3.1 Inspection

- A. Verify cabinetry is level, plumb, and within ± 1/16" over 8'.
- B. Confirm substrate rigidity and attachment points for anchorage.

3.2 Installation

- A. Dry- fit all pieces; adjust for uniform reveal and seam alignment.
- B. Apply adhesive to substrate and joint faces; set slabs in place.
- C. Level and align slabs; shim as needed with non- staining, non- metallic shims.
- D. Clean excess adhesive immediately; tool seams flush and polish to match surrounding surface.

3.3 Joint Sealing & Finish

- A. After adhesive cures, clean seams and apply impregnating sealer per manufacturer's instructions.
- B. Wipe down all surfaces; remove fingerprints, dust, and residue.

3.4 Protection & Maintenance

- A. Cover countertops with plywood or protective film until project handover.
- B. Provide maintenance kit and instructions: routine cleaning with pH- neutral cleaner; resealing schedule.

End of Section

Plumbing Systems

GENERAL

1.1 Scope

- A. Supply, install, and test sanitary drainage, vent, and domestic water piping systems serving the following church fixtures:
 1. 5 water closets (tank type)
 2. 1 urinal
 3. 4 lavatories
 4. 1 janitor sink
 5. 1 kitchen sink
 6. 1 refrigerator ice- maker line
 7. 1 domestic water heater
 8. 4 exterior hose bibs

1.2 References

- A. IPC – International Plumbing Code
- B. ASTM D2665 – PVC DWV Pipe and Fittings
- C. ASTM D1785 – PVC Pressure Pipe and Fittings
- D. ASTM B88 – Seamless Copper Water Tube
- E. ASSE 1017 – Backflow Preventers for Hose Connections
- F. NSF/ANSI 61 – Drinking Water System Components

1.3 Submittals

- A. Product data on pipe, fittings, valves, water heater, backflow preventers.
- B. Shop drawings: fixture layouts, piping risers, vent stacks, roof- penetration details.
- C. Test reports: air- test of DWV system and hydrostatic test of water lines.

PRODUCTS

2.1 Sanitary Drainage & Vent Piping

- A. Pipe and Fittings:
 1. Sanitary (DWV) Piping: PVC Schedule 40, solvent- welded, ASTM D2665.
 2. Vent Piping: same as DWV piping.
- B. Sizes:
 1. Building drain and lateral to grease arrester: 4" PVC.
 2. Branch drains serving lavatories, sinks, urinal: 2" or 3" PVC per code.
 3. Fixture drains: water closets on 3"; urinal on 2"; all others on 1½"–2" as required.
 4. Stack vents: minimum 3" PVC through- roof penetration.

2.2 Domestic Cold & Hot Water Piping

- A. Material Options (select one):
 1. Type L hard- drawn copper tubing, ASTM B88, solder- joint fittings, lead free.
 2. Cross- linked polyethylene (PEX) tubing, ASTM F876/F877, crimp or expansion fittings.
- B. Sizes:
 1. Main riser: 1" cold and hot.
 2. Branch to fixtures: ¾" to lavatories, kitchen sink, janitor sink; ½" to hose bibs, ice maker.
- C. Valves and Accessories:
 1. Shutoff valves: bronze ball or gate valves at each fixture.
 2. Vacuum breakers/backflow preventers: ASSE 1017 on each hose bib.
 3. Water heater expansion tank, pressure- relief valve, and sediment trap.

2.3 Water Heater

- A. Type: gas- fired (or electric) storage heater, natural draft or direct vent, 50–75 gal capacity.
- B. Features: factory installed T&P relief valve, insulated jacket, ASME rated.

EXECUTION

3.1 Rough In – DWV System

- A. Lay 4" building drain with 1/8" fall per foot minimum. Branches: slope ¼"/ft for 2"–3" lines, ½"/ft for 4".
- B. Install fixture traps and branch piping to stack. Maintain minimum trap arms.
- C. Connect to gravity flow sewer lateral. Provide cleanouts at base of each vertical stack and changes of direction > 45°.

3.2 Rough In – Vent System

- A. Extend vent stacks through roof with a minimum 3" pipe. Terminate at least 10" above roof and 2' clear of openings.

3.3 Rough In – Water System

- A. Install cold water riser and branch with continuous slope to drain.
- B. Install hot water riser from heater to serve fixtures. Include mixing valve if required.
- C. Size and locate shutoff valves at each fixture.
- D. Install hosebib vacuum breakers per manufacturer's instructions.

3.4 Equipment Installation

- A. Set water heater level on concrete pad or bracket; provide seismic strapping where required.
- B. Connect water, gas (if applicable), and flue per code and manufacturer.

3.5 Testing

- A. DWV Air Test: cap fixture outlets, apply 5 psi air, hold 15 min; inspect for pressure loss.
- B. Water Test: fill cold- water piping to 150 psi; hold 15 min; inspect for leaks.

3.6 Balancing & Commissioning

- A. Adjust water heater controls; flush and disinfect water system.
- B. Verify fixture flow rates and drainage performance.

PROTECTION & CLEAN UP

- 4.1 Protect installed piping and equipment from damage.
- 4.2 Remove debris, surplus material, and packaging from site daily.

End of Section



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PROJECT

DESCRIPTION:

Iglesia Cristiana
Casa del Alferero

2501 Cactus Lane,
Santa Fe, NM 87507

REVISIONS:

#	DISC	DATE
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SHEET TITLE

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 2.2

NOTES:

1. SEE SHEET A-3.1 FOR REMAINDER OF FOUNDATION PLAN AT ENTRY.

2. SEE SHEET A-3.2 FOR CONCRETE DETAIL DRAWINGS AND SPECIFICATIONS.



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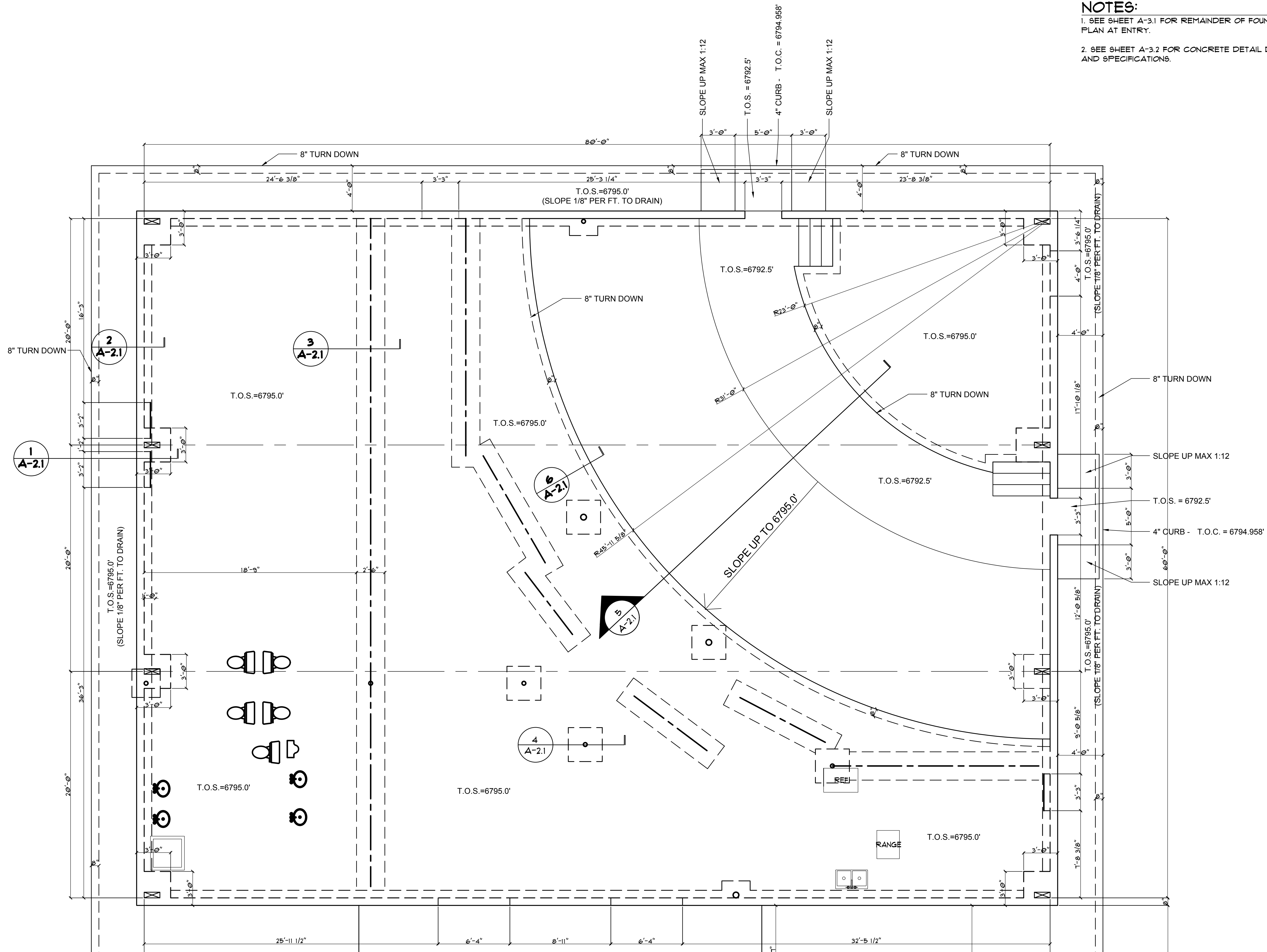
FOUNDATION PLAN

PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 3.0



1 FOUNDATION PLAN
 1/4" = 1'- 0"

NOTE:
SEE SHEET A-3.2 FOR CONCRETE DETAIL DRAWINGS AND SPECIFICATIONS.



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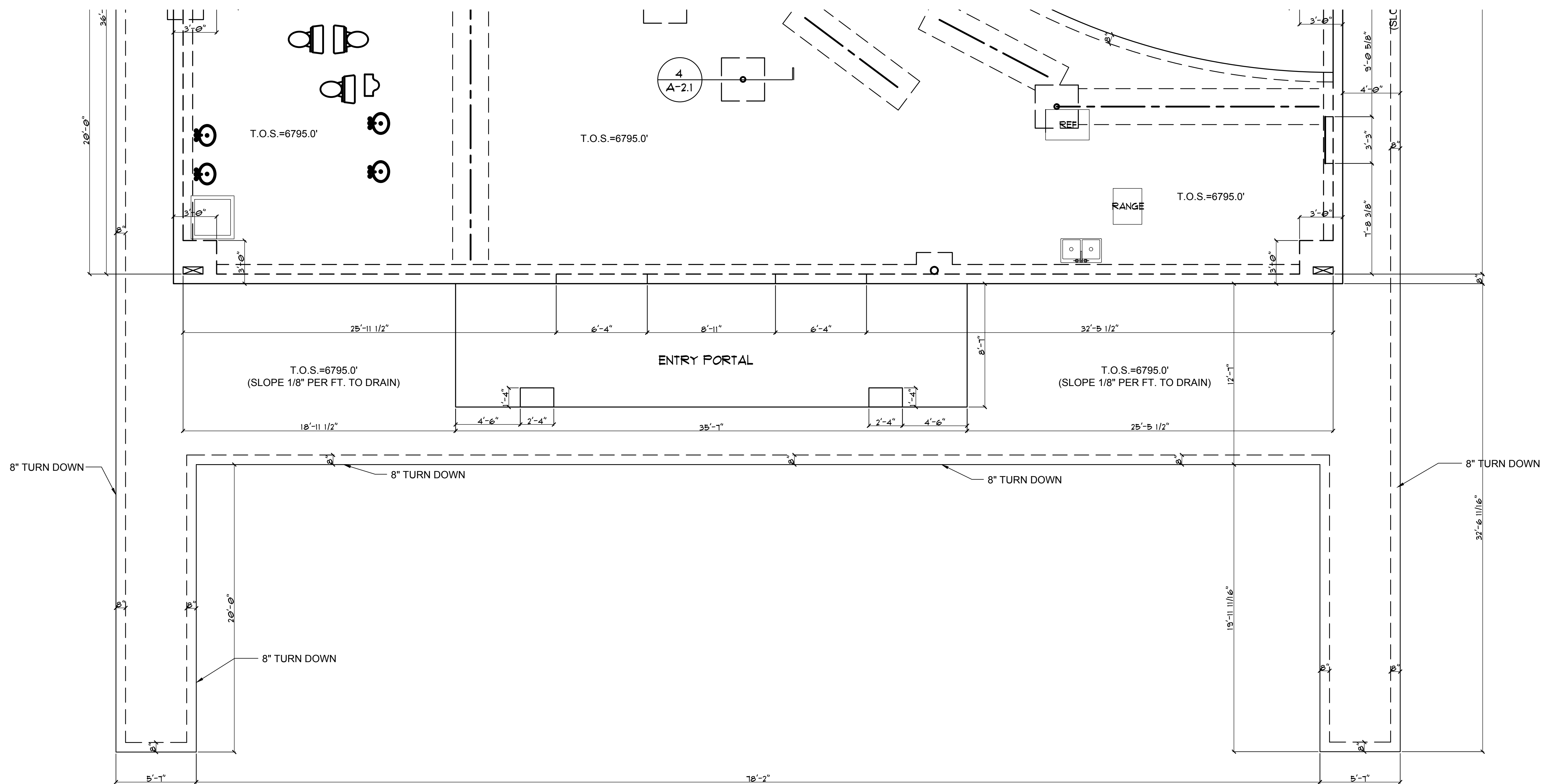
FOUNDATION PLAN

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 3.1



1 FOUNDATION PLAN - CONTINUED
1/4" = 1'- 0"

CONCRETE SPECIFICATIONS:

3000 PSI CONCRETE – BUILDING SLAB

GENERAL

1.0 Scope.

A. This mix design is intended for use in a building slab subjected to moderate loads. The concrete shall achieve a minimum compressive strength of 3000 psi (measured at 28 days) and is suitable for general building construction where exposure conditions are non-aggressive.

B. Intended Use and Exposures

- Application: Building slab foundations and floors.
- Exposure Classification: Interior or sheltered environments with minimal risk of freeze-thaw cycles, deicing salts, or chemical exposure.
- Durability: Designed for moderate exposure conditions in accordance with local building codes.

2.0 Mix Design

A. Required Compressive Strength: 3000 psi at 28 days.

B. Materials:

- Cement: Portland Cement (ASTM C150 Type I or equivalent)
- Fine Aggregate: Clean, well-graded sand conforming to ASTM C33
- Coarse Aggregate: Crushed stone or gravel, nominal size ranging from 3/4" to 1 1/2", conforming to ASTM C33
- Water: Potable water free from deleterious amounts of contaminants
- Typical Proportions (by weight):
 - Cement: 500 - 520 lbs per cubic yard
 - Fine Aggregate (sand): 1560 lbs per cubic yard
 - Coarse Aggregate: 1600 lbs per cubic yard
 - Water: Approximately 32- 34 gallons (depending on moisture content and specific material properties)

6. Note: Actual mix proportions may be adjusted based on the specific properties of the materials used. A trial batch and quality assurance testing are recommended prior to full-scale production.

Approved equivalent. approved for durability, corrosion resistance, and environmental conditions. materials shall conform to manufacturer and industry

Project specifications, shall be installed as integrated manufacturer guidelines.

Height at the eave and peak specified in contract

Primary structural grid shall be based on the approved engineer's design. Building foundation anchor bolts is required.

Coordinated with foundation preparation. shall conform to manufacturer's installation drawings. Installation contractor in accordance with approved

Must meet the engineer's load and concrete strength

Manufacturer.

EXECUTION

3.1 Layout & Installation

- Install bottom/top track align max.
- Cut and insert C- studs into track (o.c.).
- Ensure plumb within 1/8" in 1'

3.2 Splices & Bracing

- Splice studs where they exceed and fasteners; stagger splices in
- Install lateral bracing or blocks

3.3 Fastening

- Fasten studs to tracks: two #4
- Fasten track to structure: 1/4" x 24" o.c. max.

3.4 Tolerances & Quality Control

- Alignment: tracks and studs per 1/4" in 20'.
- Fasteners: fully seated, no loose

Must be addressed in advance.

Installation by qualified personnel experienced in metal building

Installation and rigging shall be used, complying with OSHA

Materials shall be delivered in a coordinated sequence and assembly.

Installation will be installed where necessary during the

Final panel installation after primary structure erection. Installation shall be provided to protect the structure and

3.5 Protection

A. Protect studs and tracks from

End of Section.



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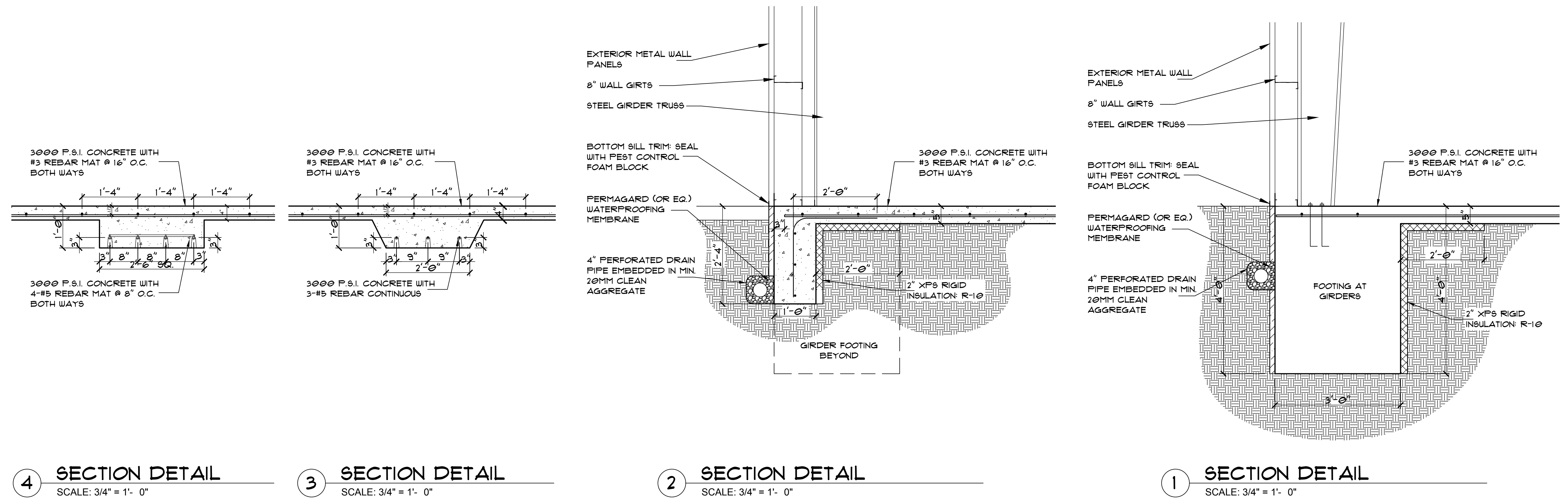
**FOUNDATION
DETAILS,
CONCRETE
SPECIFICATIONS**

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 3.2

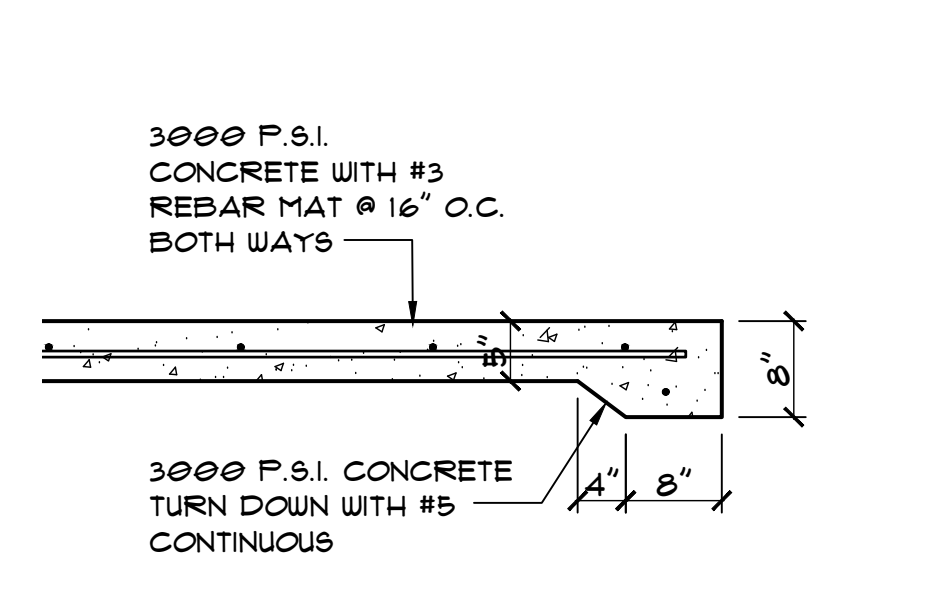


4 SECTION DETAIL
SCALE: 3/4" = 1'- 0"

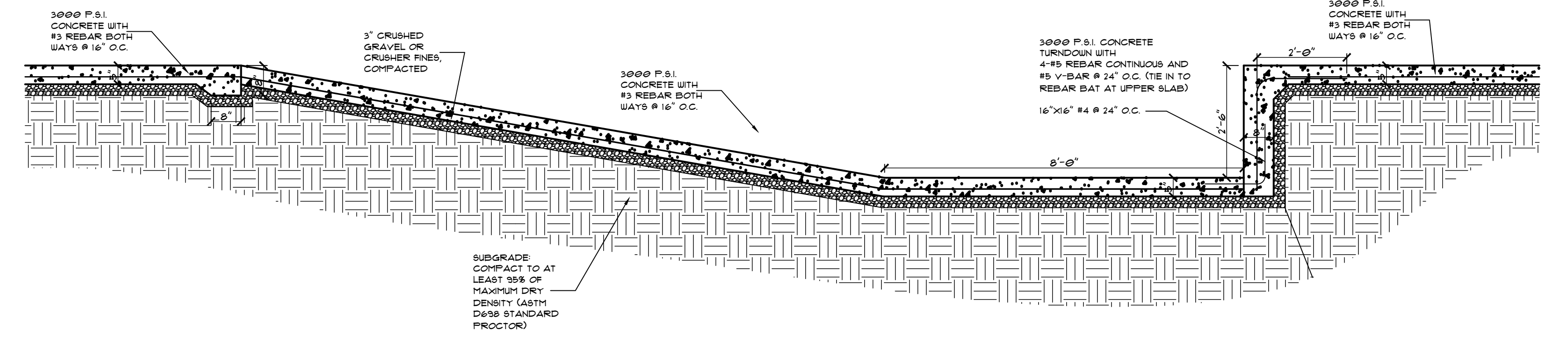
3 SECTION DETAIL
SCALE: 3/4" = 1'- 0"

2 SECTION DETAIL
SCALE: 3/4" = 1'- 0"

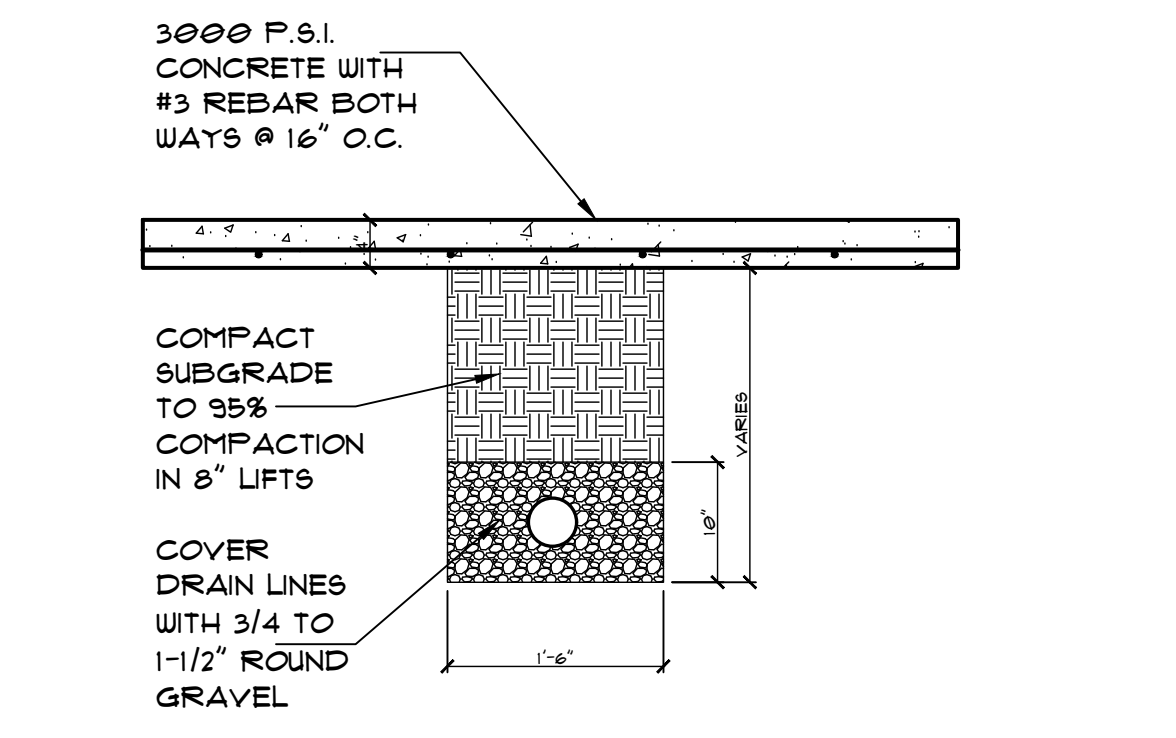
1 SECTION DETAIL
SCALE: 3/4" = 1'- 0"



6 SECTION DETAIL
SCALE: 3/4" = 1'- 0"



5 SECTION DETAIL
SCALE: 3/4" = 1'- 0"



TYPICAL SEWER DRAIN
SCALE: 3/4" = 1'- 0"

CONCRETE SPECIFICATIONS:

3000 PSI CONCRETE – BUILDING SLAB

GENERAL

1.0 Scope.
A. This mix design is intended for use in a building slab subjected to moderate loads. The concrete shall achieve a minimum compressive strength of 3000 psi (measured at 28 days) and is suitable for general building construction where exposure conditions are non-aggressive.

B. Intended Use and Exposures
1. Application: Building slab foundations and floors.
2. Exposure Classification: Interior or sheltered environments with minimal risk of freeze-thaw cycles, deicing salts, or chemical exposure.
3. Durability: Designed for moderate exposure conditions in accordance with local building codes.

2.0 Mix Design
A. Required Compressive Strength: 3000 psi at 28 days.
B. Materials:
1. Cement: Portland Cement (ASTM C150 Type I or equivalent)
2. Fine Aggregate: Clean, well-graded sand conforming to ASTM C33
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A) Cement: 500 - 520 lbs per cubic yard
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D) Water: Approximately 32 - 34 gallons (depending on moisture content and specific material properties)
6. Note: Actual mix proportions may be adjusted based on the specific properties of the materials used. A trial batch and quality assurance testing are recommended prior to full-scale production.

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approved for durability, corrosion resistance, and environmental conditions.
shall conform to manufacturer and industry project specifications, shall be installed as integrated truss guidelines.
height at the eave and peak specified in contract
primary structural grid shall be based on the approved engineer's design.
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in accordance with foundation preparation.
shall conform to manufacturer's installation drawings.
contractor in accordance with approved
must meet the engineer's load and concrete strength

manufacturer.
EXECUTION
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A. Install bottom/top track aligne max.
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C. Ensure plumb within 1/8" in 11
3.2 Splices & Bracing
A. Splice studs where they exce- and fasteners; stagger splices in B. Install lateral bracing or blocki
3.3 Fastening
A. Fasten studs to tracks: two #1
B. Fasten track to structure: 1/4" c 24" o.c. max.
3.4 Tolerances & Quality Contr
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B. Fasteners: fully seated, no loc

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3.5 Protection
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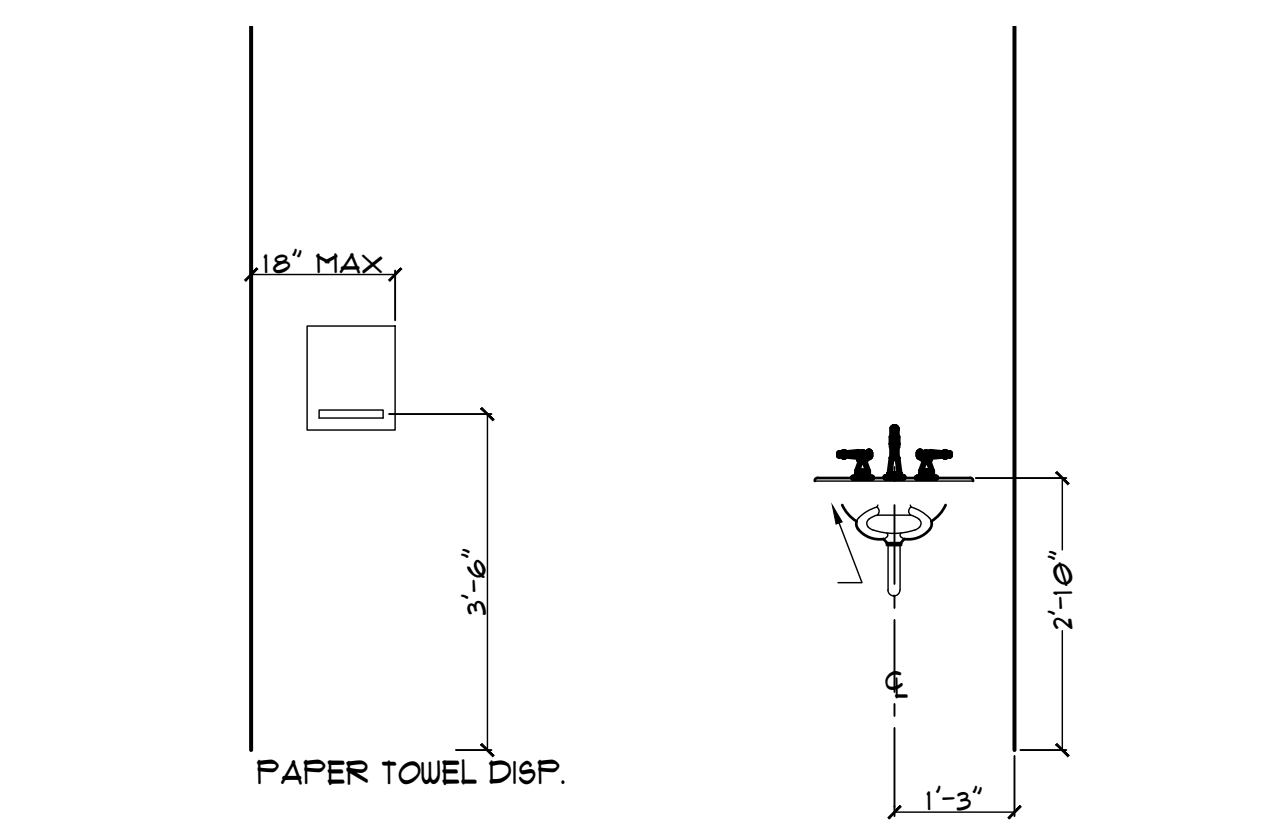
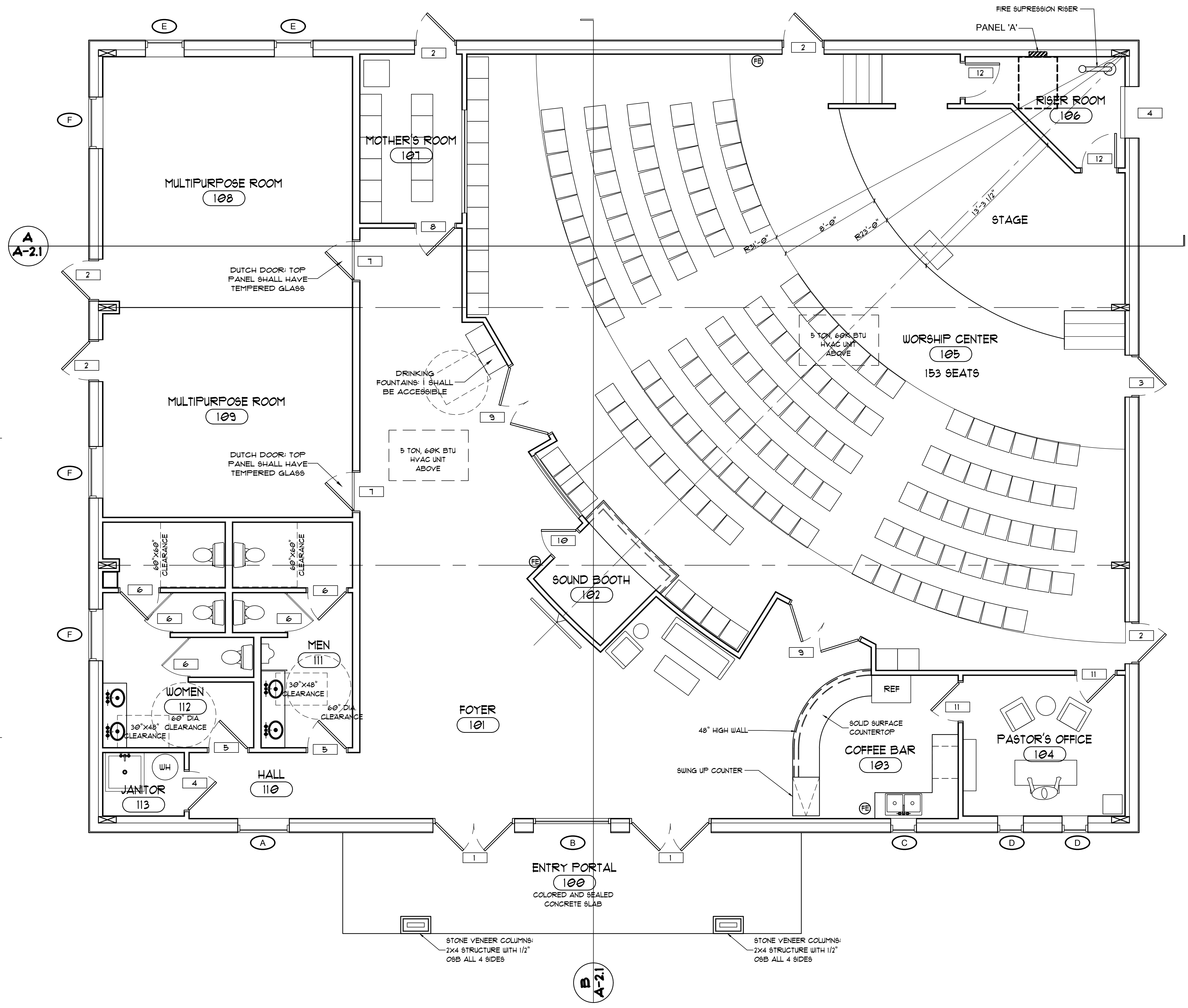
FLOOR PLAN, A.D.A. FIXTURE DETAILS

PROJECT NO:
 CDA- 025- 001

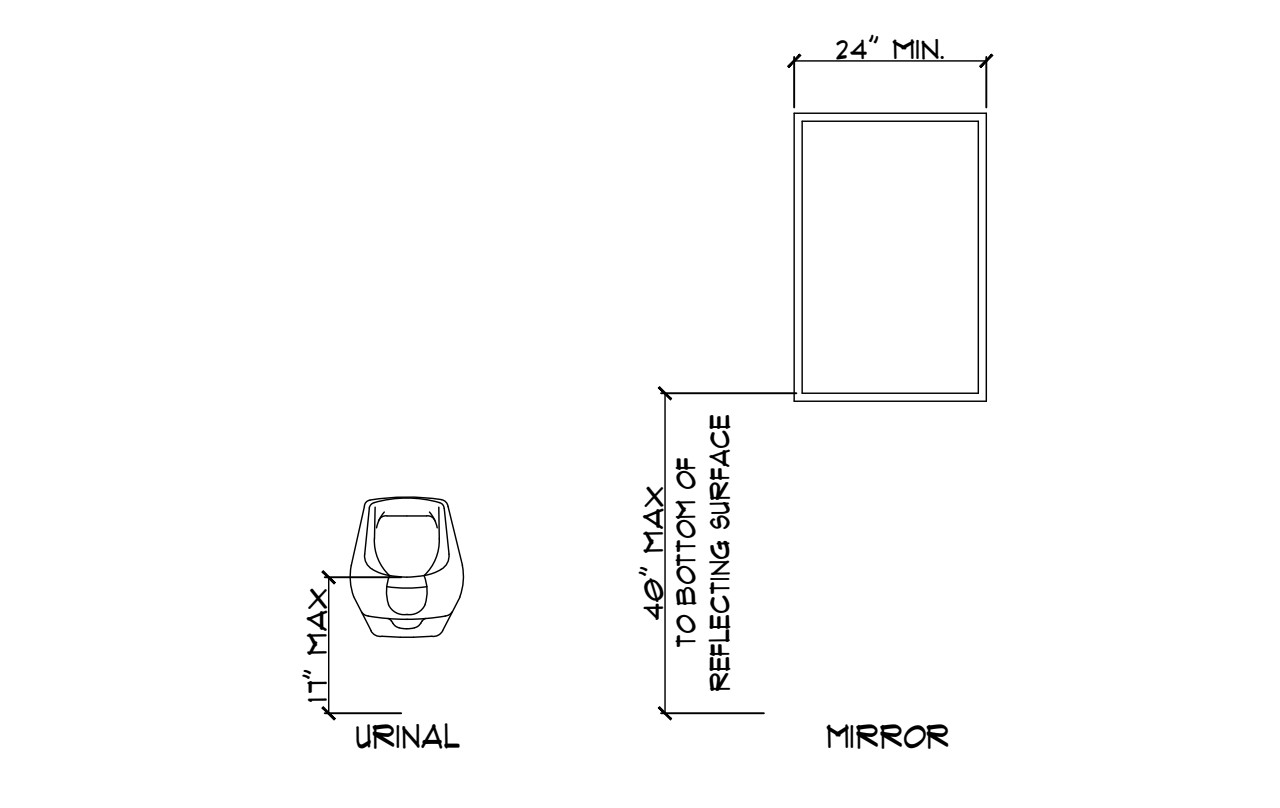
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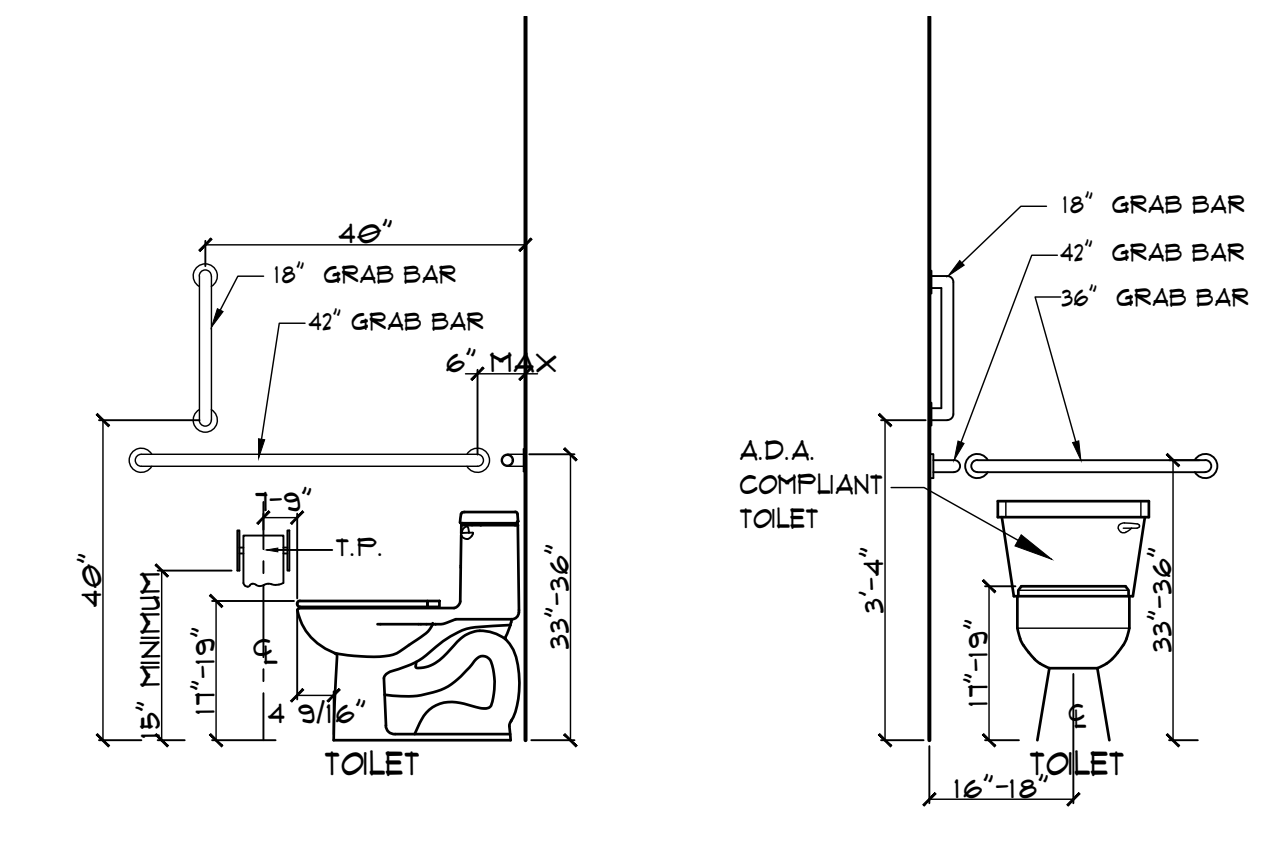
A- 4.0



2 A.D.A. TOWEL DISP. AND SINK
 SCALE: 1/4" = 1'- 0"



2 A.D.A. URINAL AND MIRROR
 SCALE: 1/4" = 1'- 0"



2 A.D.A. TOILET REQUIREMENTS
 SCALE: 1/4" = 1'- 0"

1 FLOOR PLAN
 SCALE: 1/4" = 1'- 0"

ROOM FINISH SCHEDULE										
MARK	ROOM	WALLS				CEILING		FLOOR	BASE	REMARKS
		N	S	E	W	MAT'L	HEIGHT			
100	ENTRY PORTAL	W1	W8	-	-	C4	12'-0"	FI	-	STONE VENEER AT COLUMNS
101	FOYER	W1/P1	W1/P1	W1/P1	W1/P1	C2	VARIES	FI	B2	OPEN TO DECK AT PART OF FOYER
102	SOUND BOOTH	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	F5	B2	WOOD CAP ON LOW WALL
103	COFFEE BAR	W1/P2	W1/P2	W1/P2	W1/P2	C1/P1	10'-0"	FI	B2	WASHABLE/MILDEW RESISTANT PAINT
104	PASTOR'S OFFICE	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	VERIFY PAINT COLOR WITH PASTOR
105	WORSHIP CENTER	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	VARIES	FI	B2	-
106	RISER ROOM	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	-
107	MOTHER'S ROOM	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	-
108	MULTIPURPOSE ROOM	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	-
109	MULTIPURPOSE ROOM	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	-
110	HALL	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	-
111	MEN'S BATHROOM	W1/W5/P2	W1/W5/P2	W1/W5/P2	W1/W5/P2	C1/P1	10'-0"	FI	B2	WASHABLE/MILDEW RESISTANT PAINT
112	WOMEN'S BATHROOM	W1/W5/P2	W1/W5/P2	W1/W5/P2	W1/W5/P2	C1/P1	10'-0"	FI	B2	WASHABLE/MILDEW RESISTANT PAINT
113	JANITOR CLOSET	W1/P1	W1/P1	W1/P1	W1/P1	C1/P1	10'-0"	FI	B2	WASHABLE/MILDEW RESISTANT PAINT

FINISH SCHEDULE LEGEND:

WALLS:

- W1 = 5/8" STANDARD GYP. BD., TAPE, SMOOTH FINISH, PAINT.
- W2 = 5/8" WATER RESISTANT GYP. BD., TAPE, SMOOTH FINISH, PAINT
- W3 = 1/2" CEMENT BACKER BOARD
- W5 = TILE AS SELECTED BY OWNER
- W6 = SOLID SURFACE (CORIAN, KRION, HI- MACS)
- W7 = METAL SIDING
- W8 = STONE VENEER

CEILING:

- C1 = 5/8" FIRECODE 'C' GYP. BD., TAPE, SMOOTH FINISH, PAINT.
- C2 = 1/2" STANDARD GYP. BD., TAPE, SMOOTH FINISH, PAINT.
- C3 = OPEN TO STRUCTURE
- C4 = "KNOTWOOD" METAL SOFFIT/CEILING

PAINT:

- P1 = EGG- SHELL LATEX PAINT
- P2 = MILDEW RESISTANT AND WATERPROOF PAINT

FLOORS:

- F1 = CONCRETE, SEAL
- F2 = CONCRETE, HONE AND SEAL
- F3 = ENGINEERED WOOD PLANK, WATERPROOF
- F4 = CONCRETE, EPOXY PAINT AND SEALER
- F5 = CARPET

BASE:

- B1 = 1X6 HARDWOOD BASE, STAINED AND SEALED
- B2 = 4" VINYL BASE, BLACK

TOILET ACCESSORIES NOTES:

- IT IS IMPERATIVE THAT BACKING AND BLOCKING BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - A. AT BOTH TIE IN LOCATIONS OF ALL A.D.A. GRAB BARS;
 - B. AT ALL TOILET ACCESSORY LOCATIONS;
 - C. AT ALL LOCATIONS OF BATHROOM PARTITIONS;
 - D. AT ALL WALL MOUNTED LAVATORIES, COUNTERTOPS, AND SINKS;

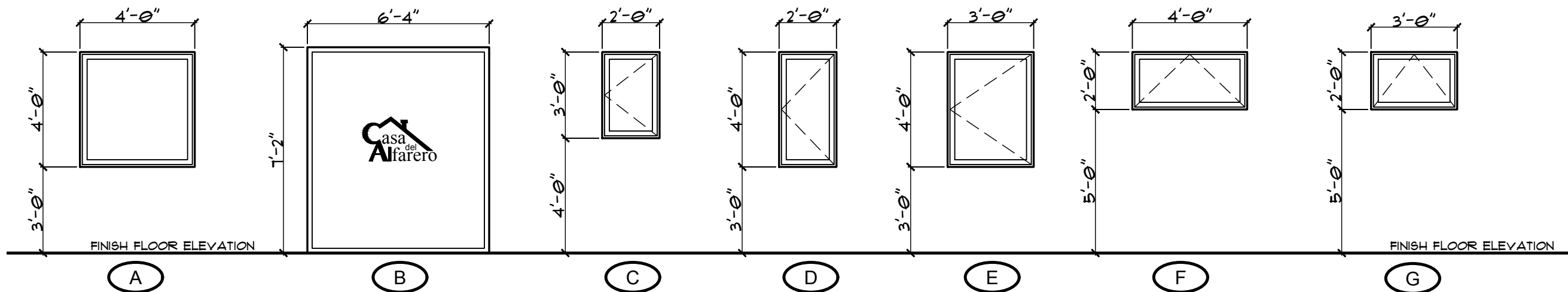
TOILET ACCESSORIES TA- X					
MARK	QTY	ITEM	MANUFACTURER	MODEL NO	REMARKS
TA-1	5	TOILET TISSUE DISPENSER	BOBRICK	B-35803.MBLK	SUPPLIED AND INSTALLED BY G.C. RECESSED UNIT
TA-2	4	FAUCET AND SOAP DISPENSER	BOBRICK	B-8891 AND B-862	SUPPLIED AND INSTALLED BY G.C.
TA-3	2	GRAB BAR	BOBRICK	150CX36.MBLK - 36"	SUPPLIED AND INSTALLED BY G.C.
TA-5	2	GRAB BAR	BOBRICK	150CX42.MBLK - 42"	SUPPLIED AND INSTALLED BY G.C.
TA-6	2	GRAB BAR	BOBRICK	150CX18.MBLK - 18"	SUPPLIED AND INSTALLED BY G.C.
TA-7	2	MIRROR	LOCAL INSTALLER	1/4" THICK; FULL LENGTH X 36" HIGH	SUPPLIED AND INSTALLED BY G.C. FULL LENGTH OF COUNTER
TA-8	2	PROTECTIVE PLUMBING COVERS	TRUBRO LAV-GUARD	103 WHITE	SUPPLIED AND INSTALLED BY G.C.
TA-9	3	SANITARY NAPKIN DISPOSAL	BOBRICK	B-3513.MBLK	SUPPLIED BY G.C., WOMEN'S RESTROOM ONLY; RECESSED UNIT
TA-10	2	WASTE RECEPTACLE	BOBRICK	B-35643.MBLK	SUPPLIED AND INSTALLED BY G.C. RECESSED UNIT
TA-11	2	PAPER TOWEL DISPENSER	BOBRICK	B-35903.MBLK	SUPPLIED AND INSTALLED BY G.C. RECESSED UNIT

PLUMBING FIXTURES PF- X					
MARK	QTY	ITEM	MANUFACTURER	MODEL NO	REMARKS
PF-1	1	KITCHEN SINK	X	X	SUPPLIED BY G.C.
PF-2	1	JANITOR'S SINK	X	X	SUPPLIED BY G.C.
PF-3	4	LAVATORY	X	X	SUPPLIED BY G.C.
PF-4	5	A.D.A. TOILET	X	X	SUPPLIED BY G.C.
TA-5	1	URINAL	X	X	SUPPLIED BY G.C.

WINDOW SCHEDULE (X)											
MARK	TYPE	WINDOW				FRAME			DETAILS		REMARKS
		MAT'L	SIZE	THK	FIN	TYPE	MAT'L	COLOR	HEAD	JAMB	
A	FIXED	MTL/GLASS	48"x48"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.
B	FIXED	MTL/GLASS	68"x86"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY STOREFRONT INSTALLER
C	CASEMENT	MTL/GLASS	24"x36"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.
D	CASEMENT	MTL/GLASS	24"x48"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.
E	CASEMENT	MTL/GLASS	36"x48"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.
F	AUNING	MTL/GLASS	48"x24"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.
G	AUNING	MTL/GLASS	36"x24"	N/A	FAC. PT.	THERM. BRK	ALUM	BRONZE	GYP.BD.	GYP.BD.	SUPPLIED AND INSTALLED BY BLDG. MANUF.

WINDOW NOTE:

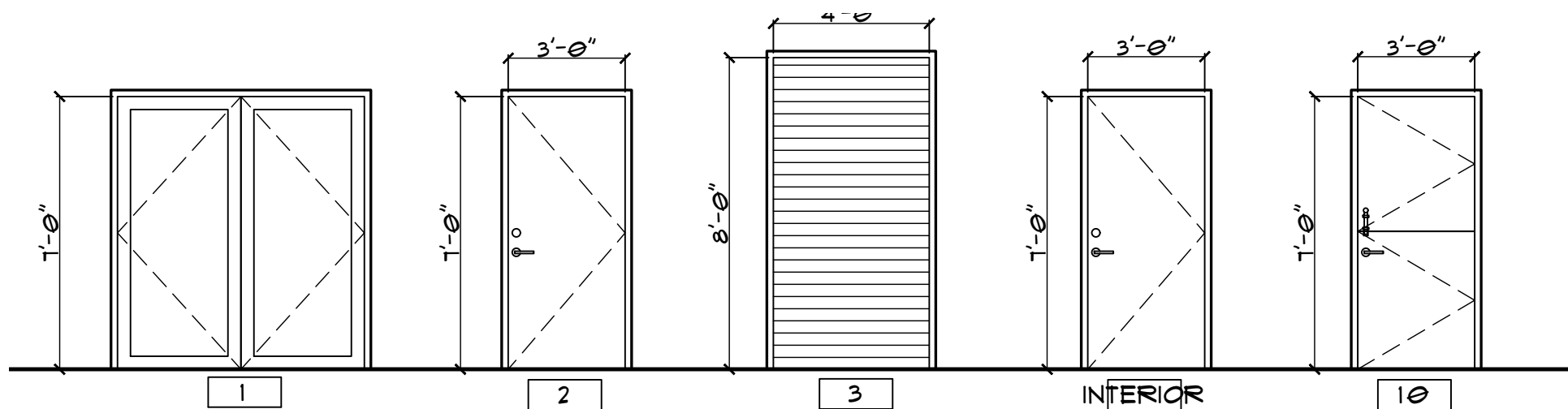
- METAL BUILDING MANUFACTURER SHALL SUPPLY ALL WINDOWS, EXCEPT STOREFRONT, DESIGNATED AS "B".
- STOREFRONT DOORS AND WINDOW (W1 AND LETTER "B") SHALL BE PURCHASED BY OWNER AND INSTALLED BY CONTRACTOR
- COLOR FOR ALL WINDOWS AND STOREFRONT SHALL BE DARK BRONZE



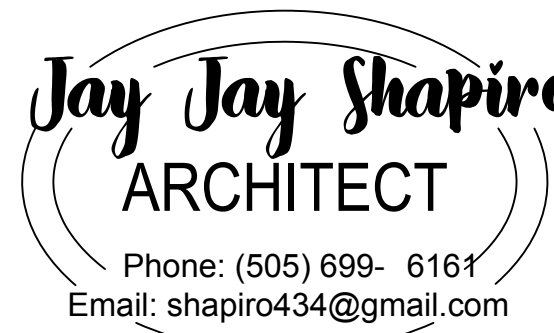
DOOR SCHEDULE (XXX)													
MARK	TYPE	DOOR				FRAME			DETAILS		HARDWARE SET	QTY	REMARKS
		MAT'L	SIZE	THK	FIN	TYPE	MAT'L	FIN	HEAD	JAMB			
1	STOREFRONT	MTL/GLASS	60"10"	-	FAINT	STOREFR.	ALUM	DK BRONZE	1/A2.1	1/A2.1	A	2	NOTES 1, 2, 3
2	EXTERIOR	METAL	30"10"	1-3/4"	FAINT	WELDED	HM	DK BRONZE	1/A2.1	1/A2.1	B	6	NOTE 8
3	ROLL UP	METAL	48"x36"	-	FAINT	-	METAL	DK BRONZE	1/A2.1	1/A2.1	BY MANUF.	1	-
4	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	C	NOTE 6	-
5	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	D	NOTE 6	NOTE 1
6	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	E	NOTE 6	-
7	INT. DUTCH	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	F	NOTE 6	-
8	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	C	NOTE 1	-
9	INT DBL	SCB	6068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	G	NOTE 1	NOTE 9
10	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	C	NOTE 1	-
11	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	C	NOTE 1	-
12	INTERIOR	SCB	3068	1 3/4"	STAIN/SEAL	APPL STOP	WOOD	STAIN/SEAL	1/A2.1	1/A2.1	C	NOTE 1	-

DOOR SCHEDULE NOTES:

- STOREFRONT DOORS SHALL HAVE 1:1
- STOREFRONT SHALL BE INSTALLED BY STOREFRONT SUPPLIER, INCLUDING ALL HARDWARE; MUST MEET ALL A.D.A. ACCESSIBLE GUIDELINES.
- PROVIDE A.D.A. COMPLIANT THRESHOLD IF NECESSARY
- ROLL UP DOOR BY OVERHEAD GARAGE DOOR; INSTALLER SHALL INCLUDE WEATHERSTRIP, THRESHOLD AND ALL HARDWARE; DOOR SHALL BE INSULATED.
- ALL INTERIOR DOORS SHALL BE SOLID CORE BIRCH, 1-3/4" THICK, FIRE-RATED
- DUTCH DOOR SHALL BE MANUFACTURED BY DOOR SUPPLIER, READY TO INSTALL; SEE HARDWARE SCHEDULE FOR HARDWARE
- UNDERCUT RESTROOM DOORS 3/4"
- ALL EXTERIOR DOORS SHALL HAVE A LATCH PROTECTOR
- INSTALL MAGNETIC DOOR STOP; SAME COLOR AS HARDWARE



HARDWARE SCHEDULE						
MARK	QTY	ITEM	MANUF.	MODEL NO	COLOR	REMARKS
A	1 1/2 PR	4" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	HEAVY DUTY HINGES
	1	DOOR LOCK CLOSER	-	-	DK BRZ	SECURITY DEADLOCK & CYLINDER GUARD, DBL. CYLINDER
	2	OFFSET PULLS	SARGENT	422 SERIES	DK BRZ	BY STOREFRONT MANUFACTURER
	2	DOUBLE BEND PUSH BAR THRESHOLD W/SWEEP	-	-	DK BRZ	BY STOREFRONT MANUFACTURER
B	1 1/2 PR	4" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	HEAVY DUTY HINGES
	1	KEYED ENTRY SET CLOSER	SARGENT	422 SERIES	DK BRZ	A.D.A. COMPLIANT
	1	LATCH PROTECTOR	-	-	DK BRZ	-
	1	KICK PLATE	-	-	DK BRZ	-
C	1 1/2 PR	3-1/2" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	-
	1	KEYED ENTRY SET	SCHLAGE	LATITUDE W/GREYSON TRIM	DK BRZ	A.D.A. COMPLIANT
	1	WALL STOP	-	-	DK BRZ	-
	1	WALL STOP	-	-	DK BRZ	-
D	1 1/2 PR	3-1/2" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	-
	1	PUSH/PULL HARDWARE	EMRO OR EQ.	-	DK BRZ	A.D.A. COMPLIANT
	1	WALL STOP	-	-	DK BRZ	-
	1	AUTOMATIC DOOR CLOSER	-	-	DK BRZ	A.D.A. COMPLIANT
E	1-1/2 PR	3-1/2" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	-
	1	PRIVACY SET	SCHLAGE	LATITUDE W/GREYSON TRIM	DK BRZ	A.D.A. COMPLIANT
	1	WALL STOP	-	-	DK BRZ	-
	1	WALL STOP	-	-	DK BRZ	-
F	2 PR	3-1/2" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	-
	1	KEYED ENTRY SET	SCHLAGE	LATITUDE W/GREYSON TRIM	DK BRZ	A.D.A. COMPLIANT
	1	DUTCH DOOR BOLT	BALDWIN	-	DK BRZ	-
	2	WALL STOP	-	-	DK BRZ	-
G	(2) 1 1/2 PR	3-1/2" BUTT HINGES	MCKINNEY	TA3350	DK BRZ	-
	2	PUSH/PULL HARDWARE	EMRO OR EQ.	-	DK BRZ	A.D.A. COMPLIANT
	2	WALL STOP	-	-	DK BRZ	-
	2	WALL STOP	-	-	DK BRZ	-



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 veleng09@gmail.com

Jerry D. Watts, MSFPE
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 accentfire@aol.com

PROJECT DESCRIPTION:

Iglesia Cristiana
 Casa del Alferero

2501 Cactus Lane,
 Santa Fe, NM 87507

REVISIONS:
 # DISC DATE

SHEET TITLE

SCHEDULES:
 WINDOW, DOOR,
 ROOM FINISH,
 TOILET ACCES.,
 PLUMBING,
 HARDWARE

PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 4.1



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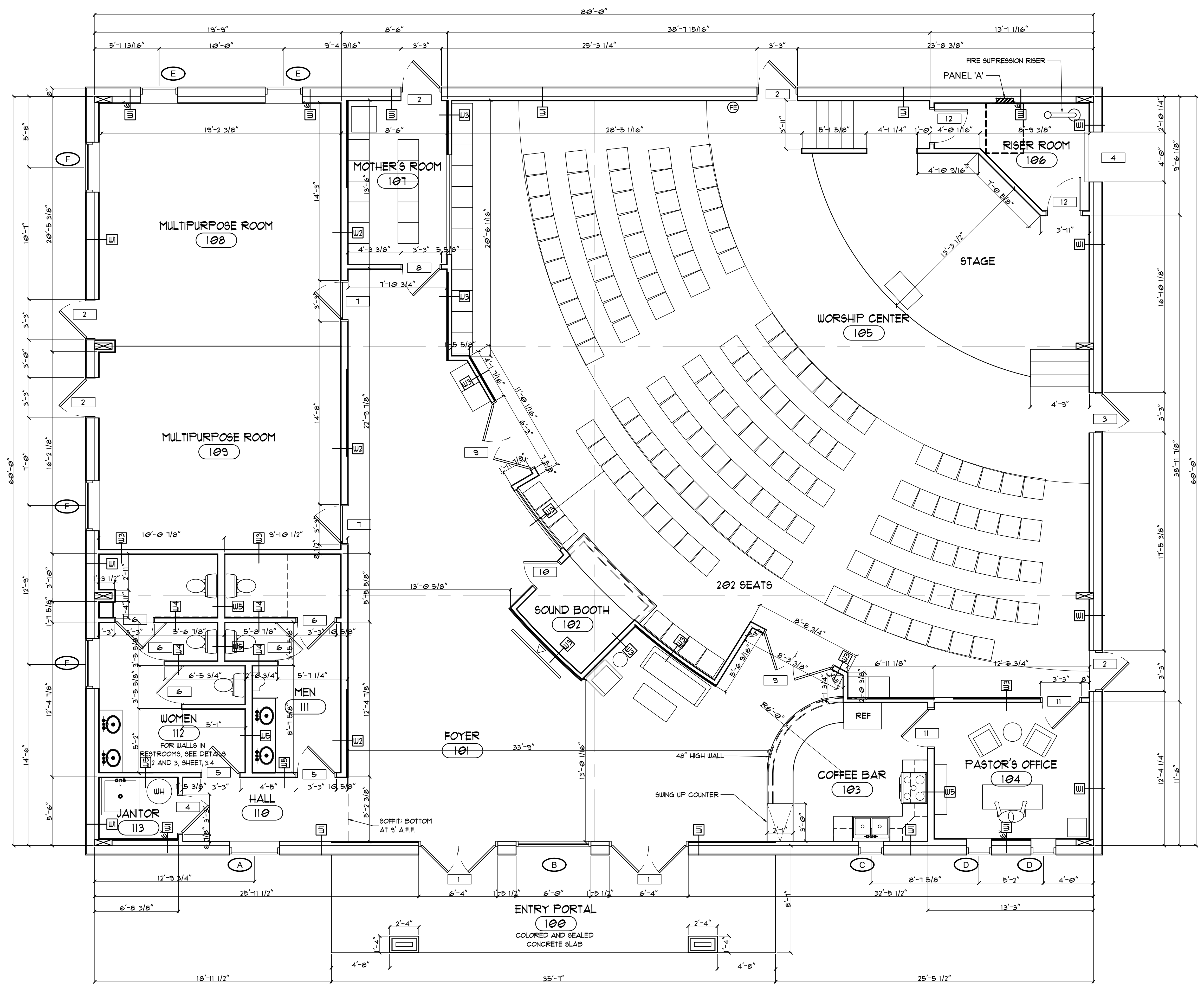
SHEET TITLE

DIMENSION PLAN

PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

SHEET:



1 DIMENSION PLAN
 SCALE: 1/4" = 1'- 0"



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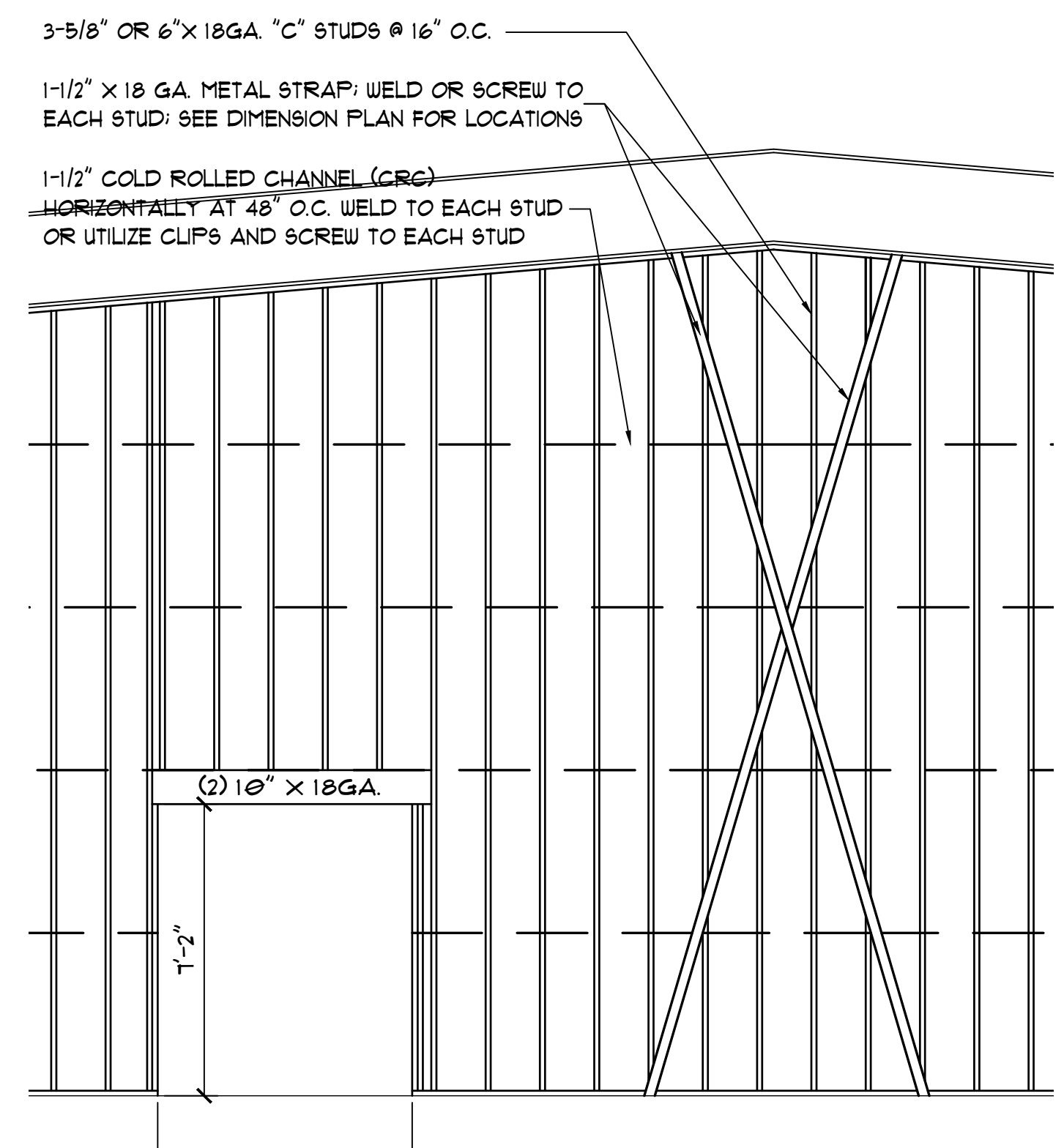
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**WALL TYPES,
 METAL STUD
 DETAILS**

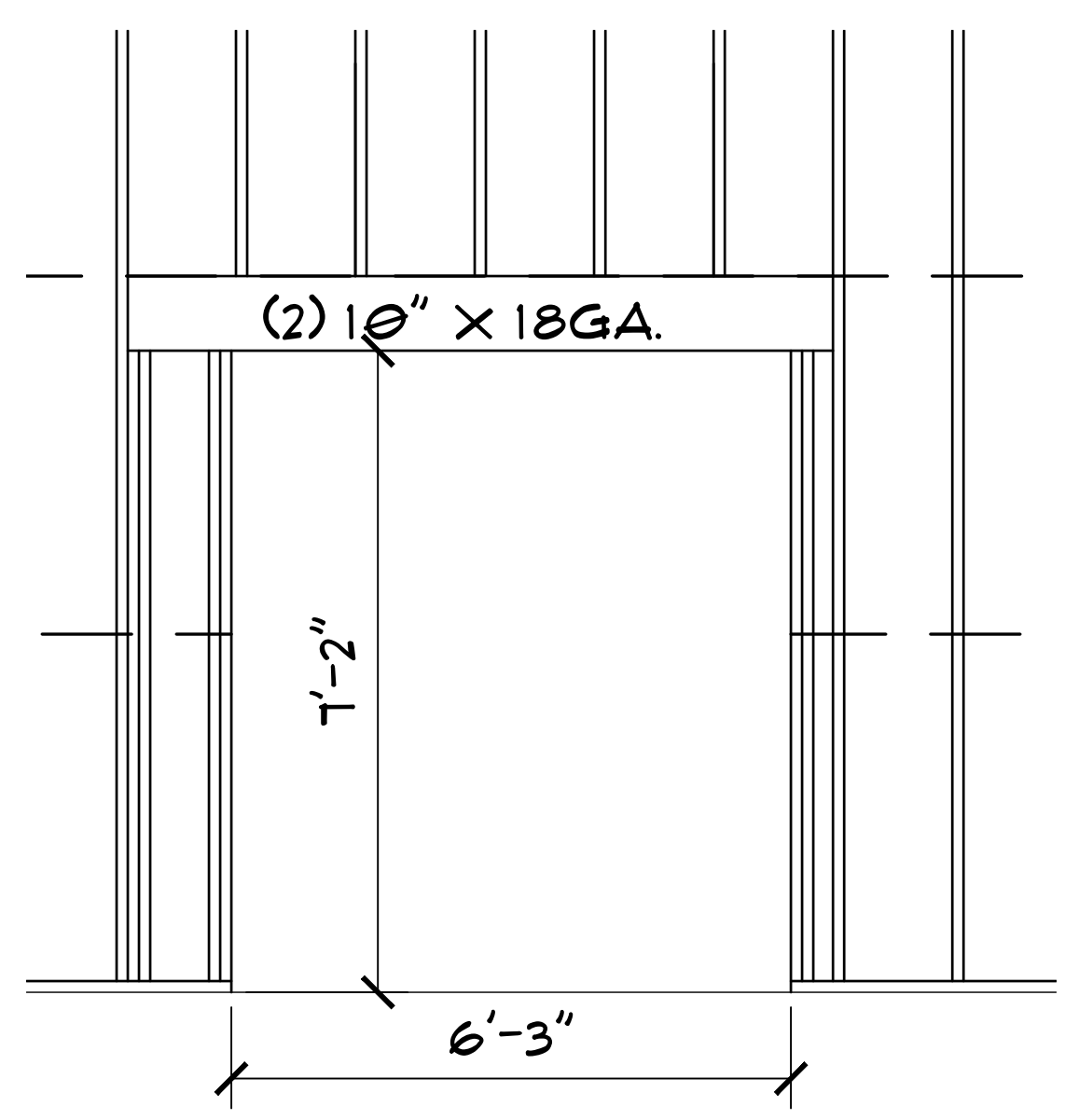
PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

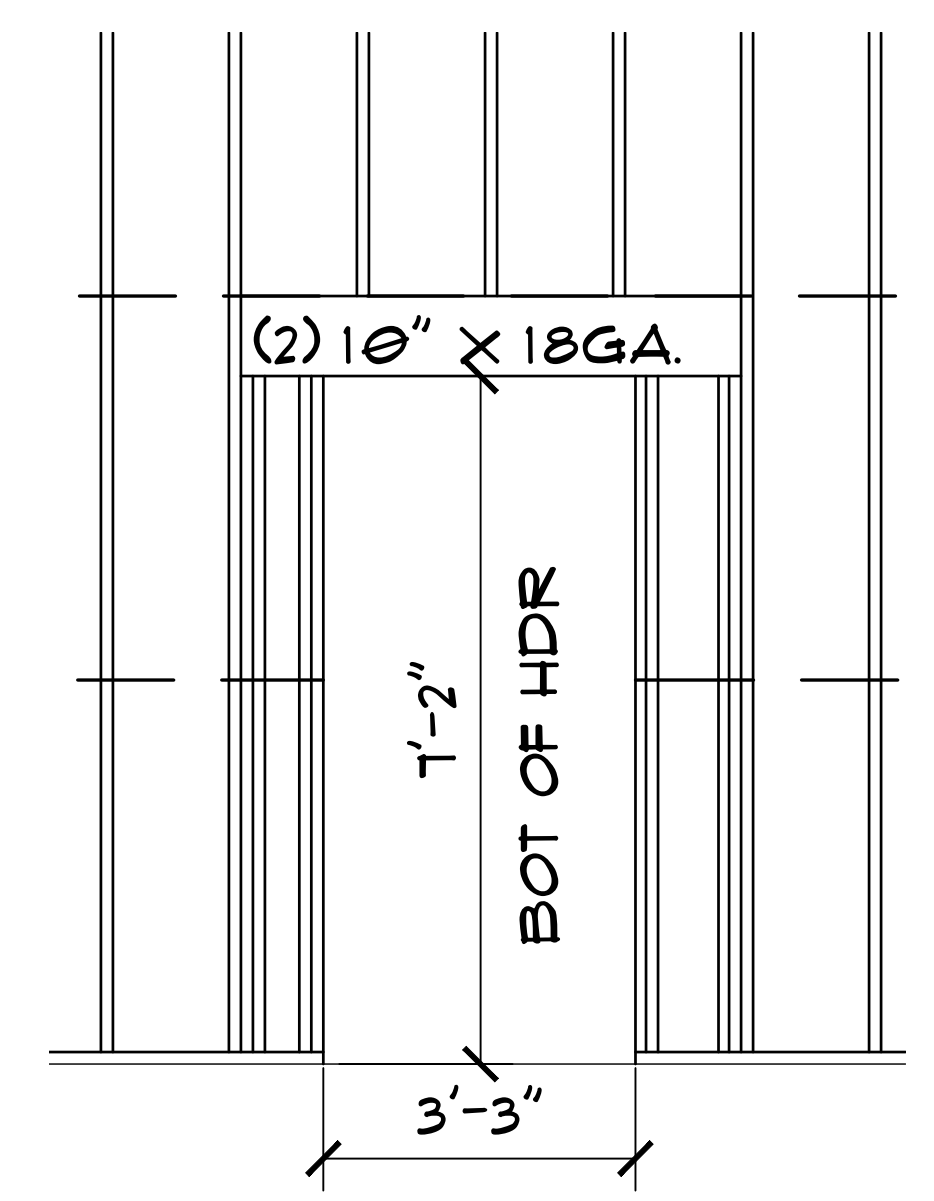
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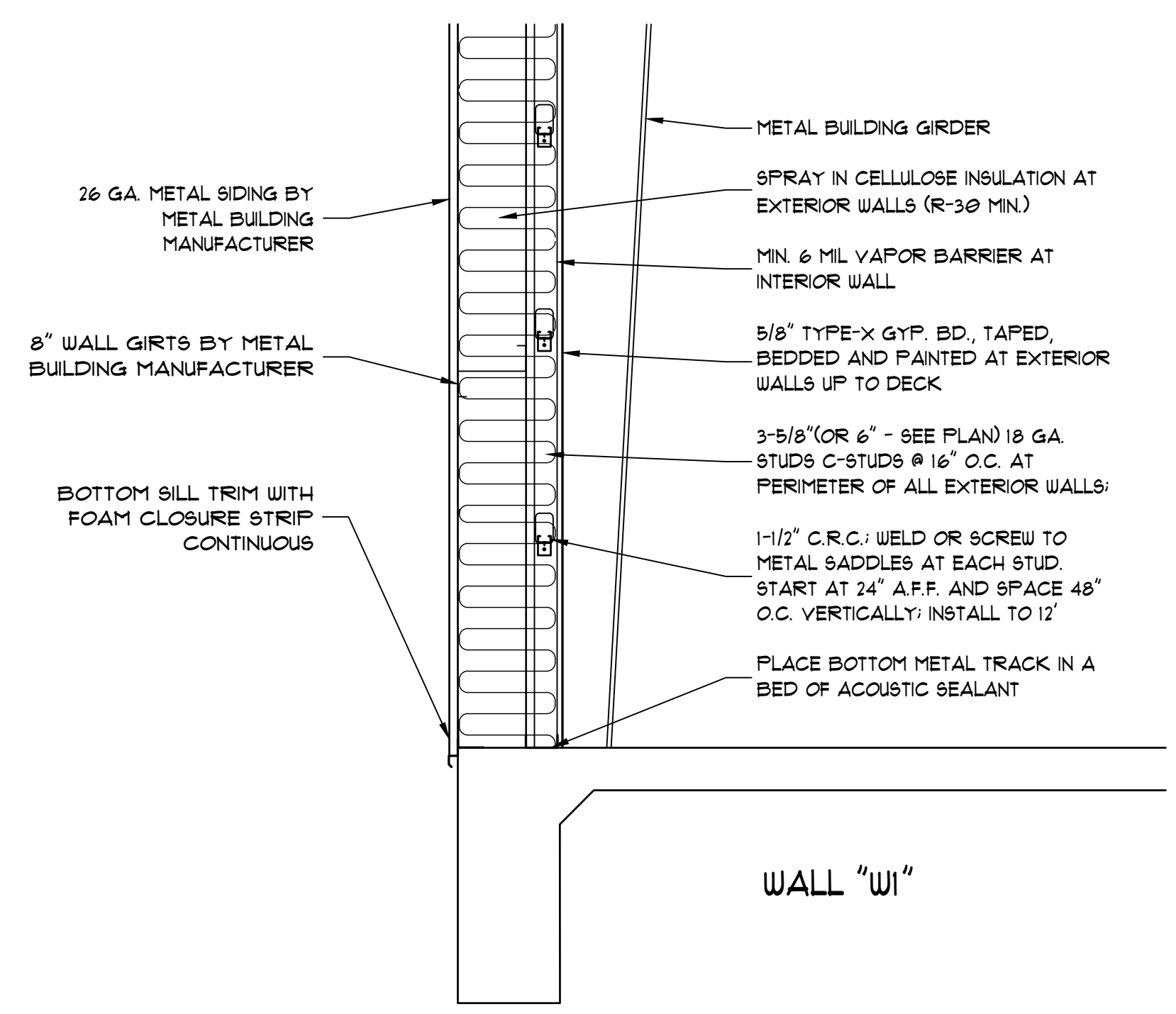
2 X-BRACING AND CRC CHANNEL
 SCALE: 1/4" = 1'- 0"



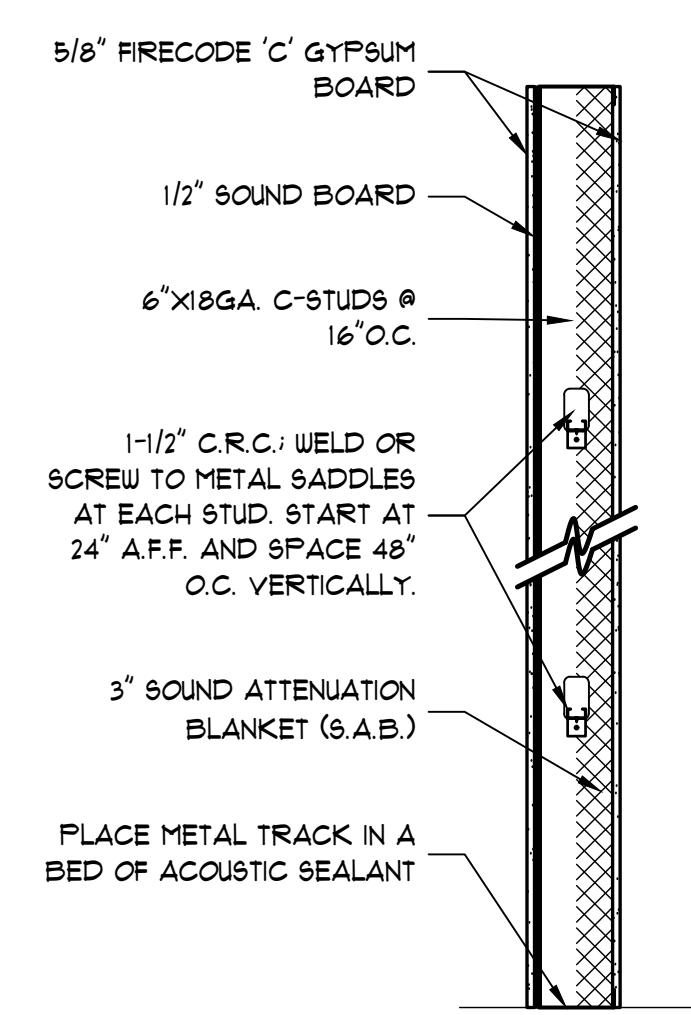
3 6' OPENING
 SCALE: 1/2" = 1'- 0"



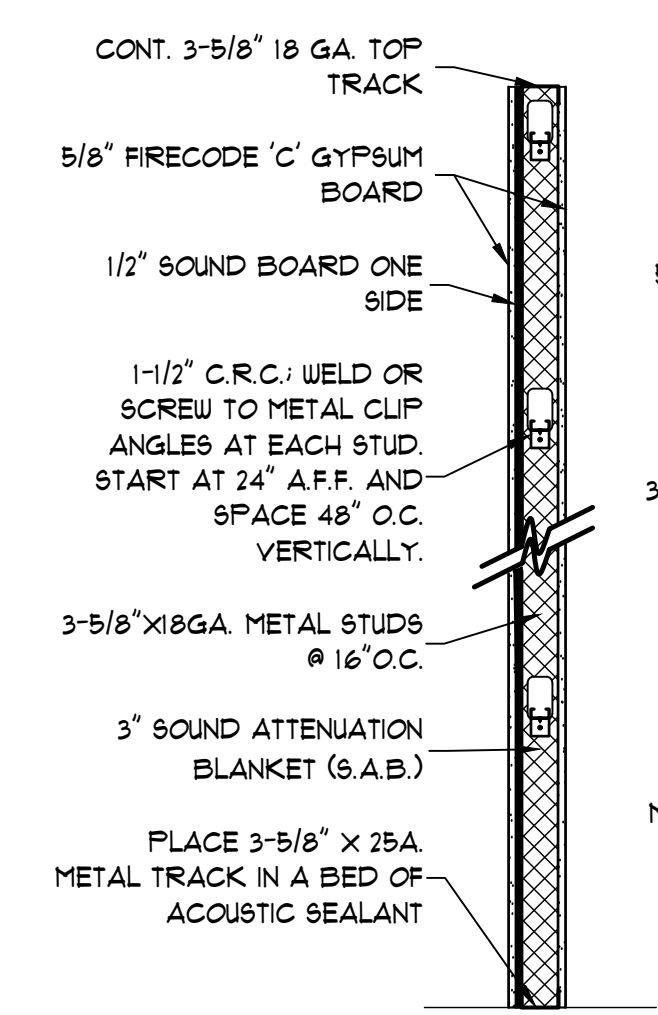
4 3' OPENING
 SCALE: 1/2" = 1'- 0"



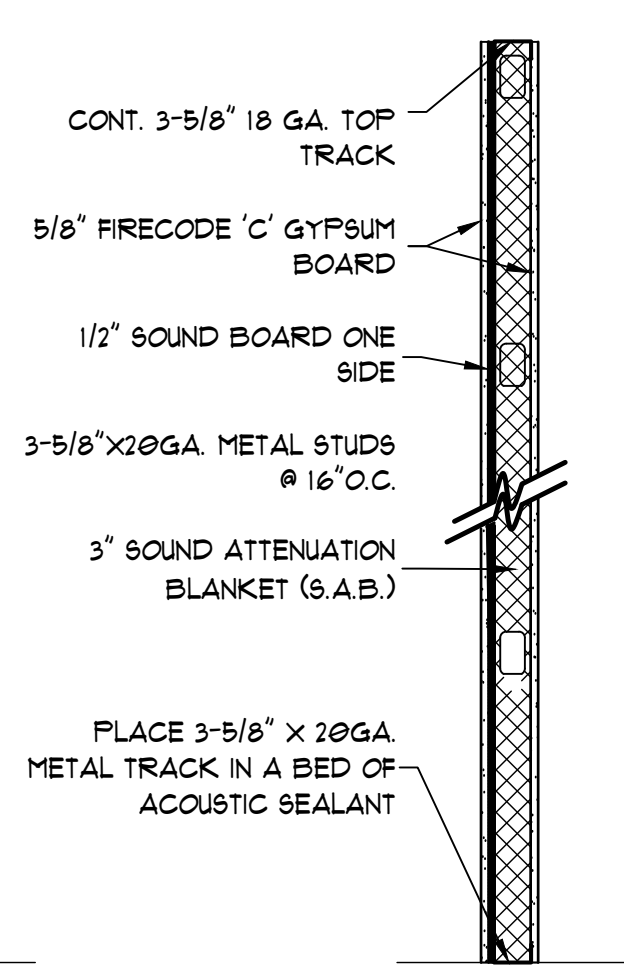
1 WALL TYPES
 SCALE: 3/4" = 1'- 0"



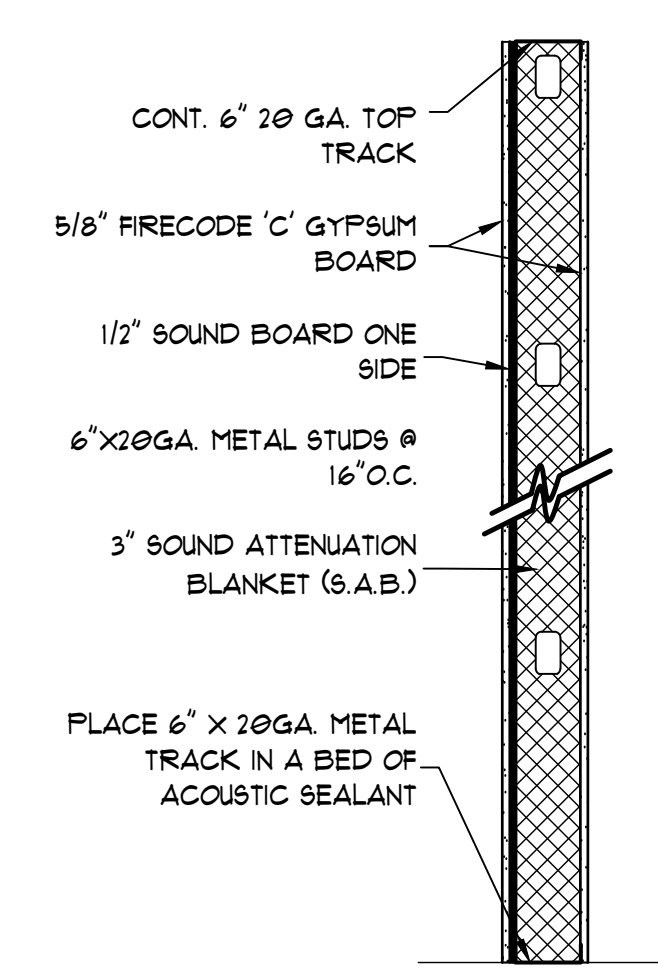
WALL "W2"



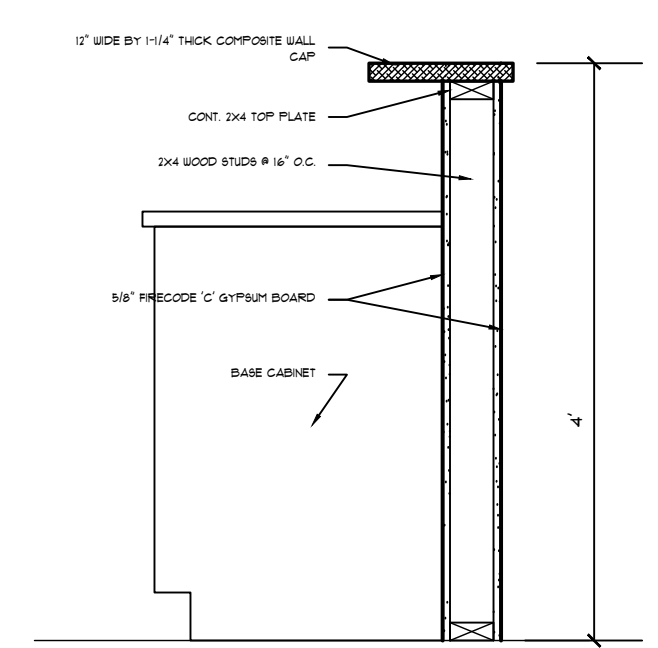
WALL "W3"



WALL "W4"



WALL "W5"



WALL "W6"



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Casa del Alferero

2501 Cactus Lane,
Santa Fe, NM 87507

REVISIONS:

#	DISC	DATE

SHEET TITLE

REFLECTED CEILING PLAN, JOIST SPECIFICATIONS, CEILING DETAILS

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 4.4

JOIST SPECIFICATIONS

COLD- FORMED METAL FRAMING, 6" C- JOISTS

GENERAL

- 1.1 Scope
A. Supply and install 6" deep, cold- formed steel C- joists at 16" on center to support gypsum board ceilings (or wall furring) per approved shop drawings.
- 1.2 References

- ASTM C645 — "Standard Specification for Nonstructural Steel Framing Members"
- ASTM C754 — "Standard Specification for Installation of Steel Framing Members"

PRODUCTS

- 2.1 C- Joists
A. Profile: C- shape, 6" depth, 1 1/2" flange, 3/4" lip, manufactured to ASTM C645
B. Gauge: 20 ga (0.036") G90 galvanized steel
C. Section modulus and stiffness rated for L/240 deflection over a 12' simple span

2.2 Tracks & Accessories

- Field- trimmed U- shaped top and bottom track, same gauge as joists
- Splice plates or clip- angles for continuous runs longer than one track length
- Fasteners: self- drilling, self- tapping screws compatible with steel thickness

INSTALLATION

- 3.1 Layout
A. Install top track level and plumb on bearing walls or structure
B. Snap or set C- joists into track at 16" o.c., verify spacing with a laser or chalk line

3.2 Fastening

- Secure each joist flange to the track with two 1 1/4" Type S self- drilling screws
- Stagger splices; use manufacturer- approved splices or clip angles

3.3 Gypsum Board Attachment (if ceiling use)

- Attach 5/8" gypsum board perpendicular to joists with 1" Type S drywall screws
- Screw spacing: 7-8" o.c. along joists; 3/8" from panel edges

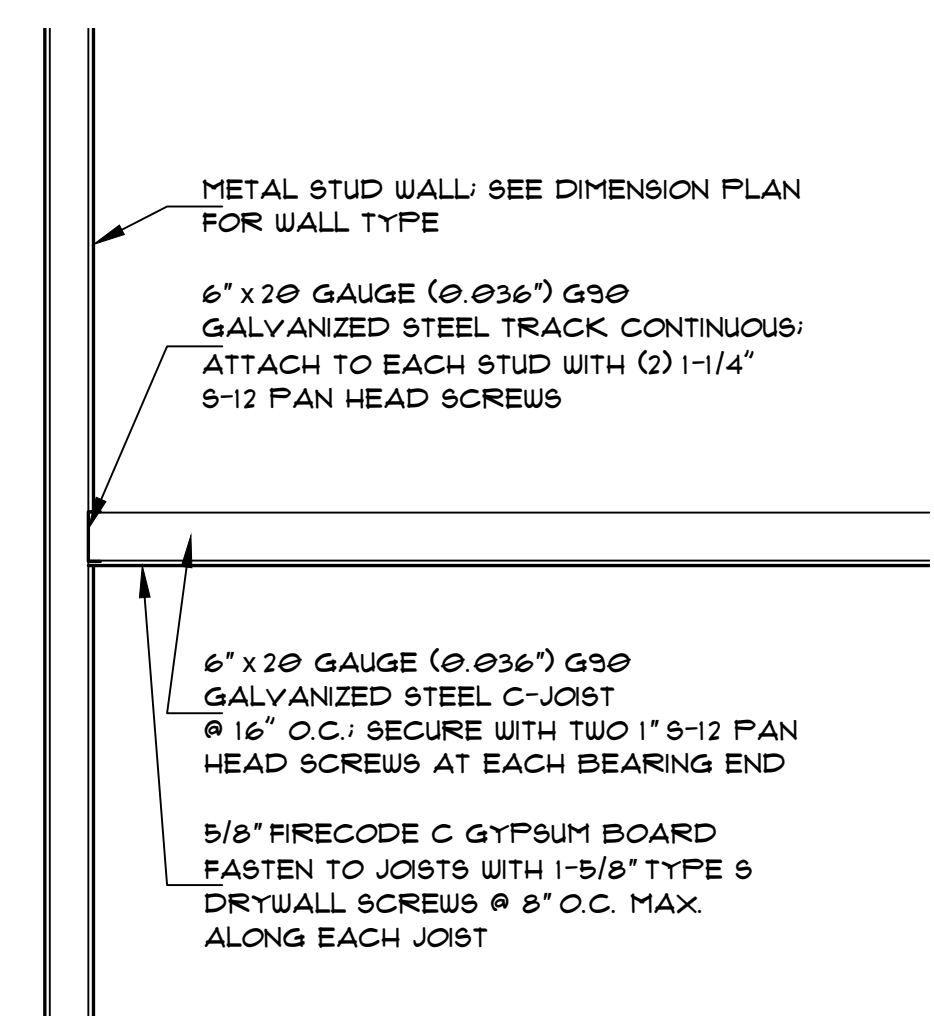
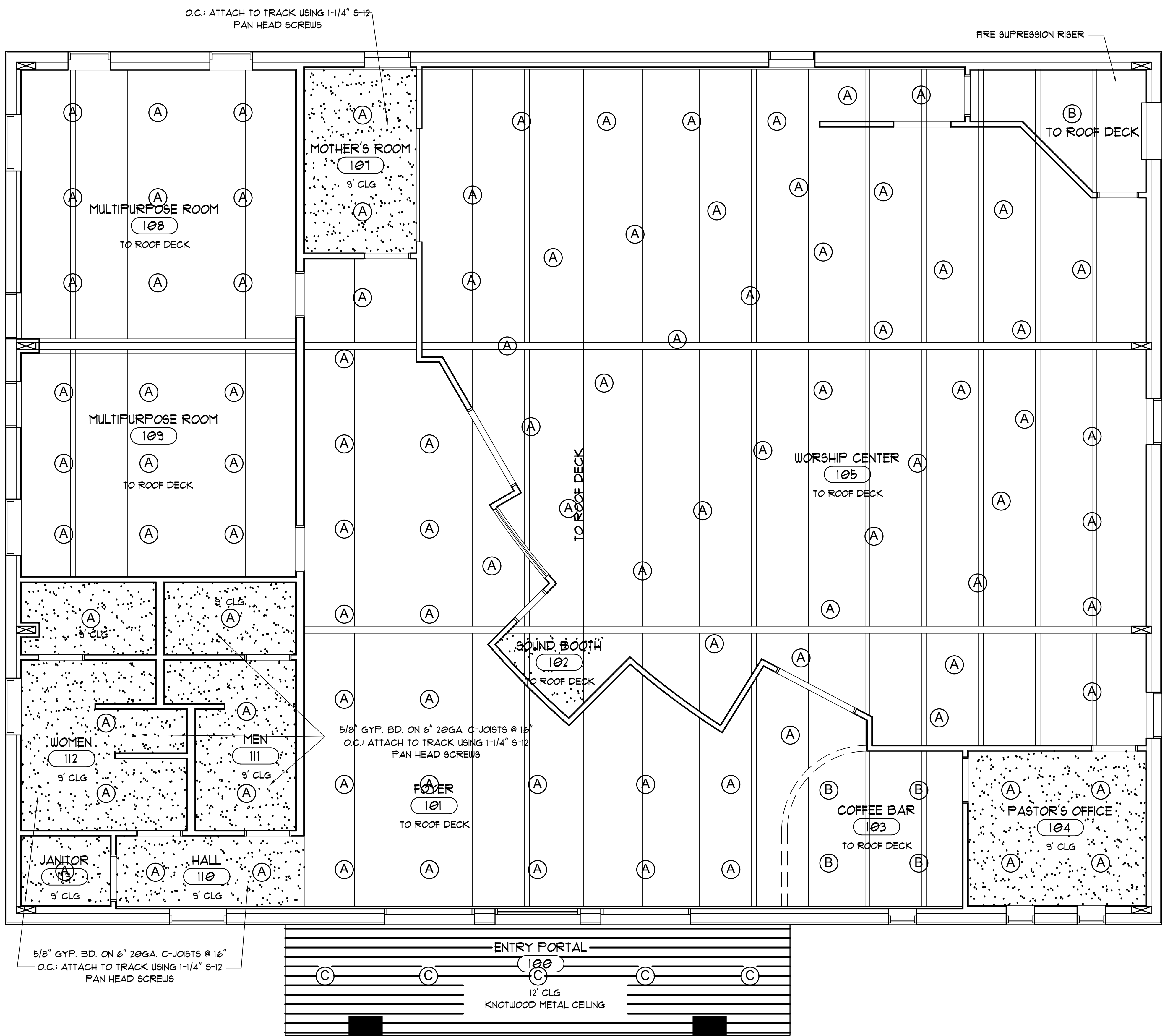
3.4 Tolerances & Quality

- Maximum deflection under live load L/240
- Joist plane variation: ±1/8" in 10'
- Verify plumb, level, and secure connections before drywall installation

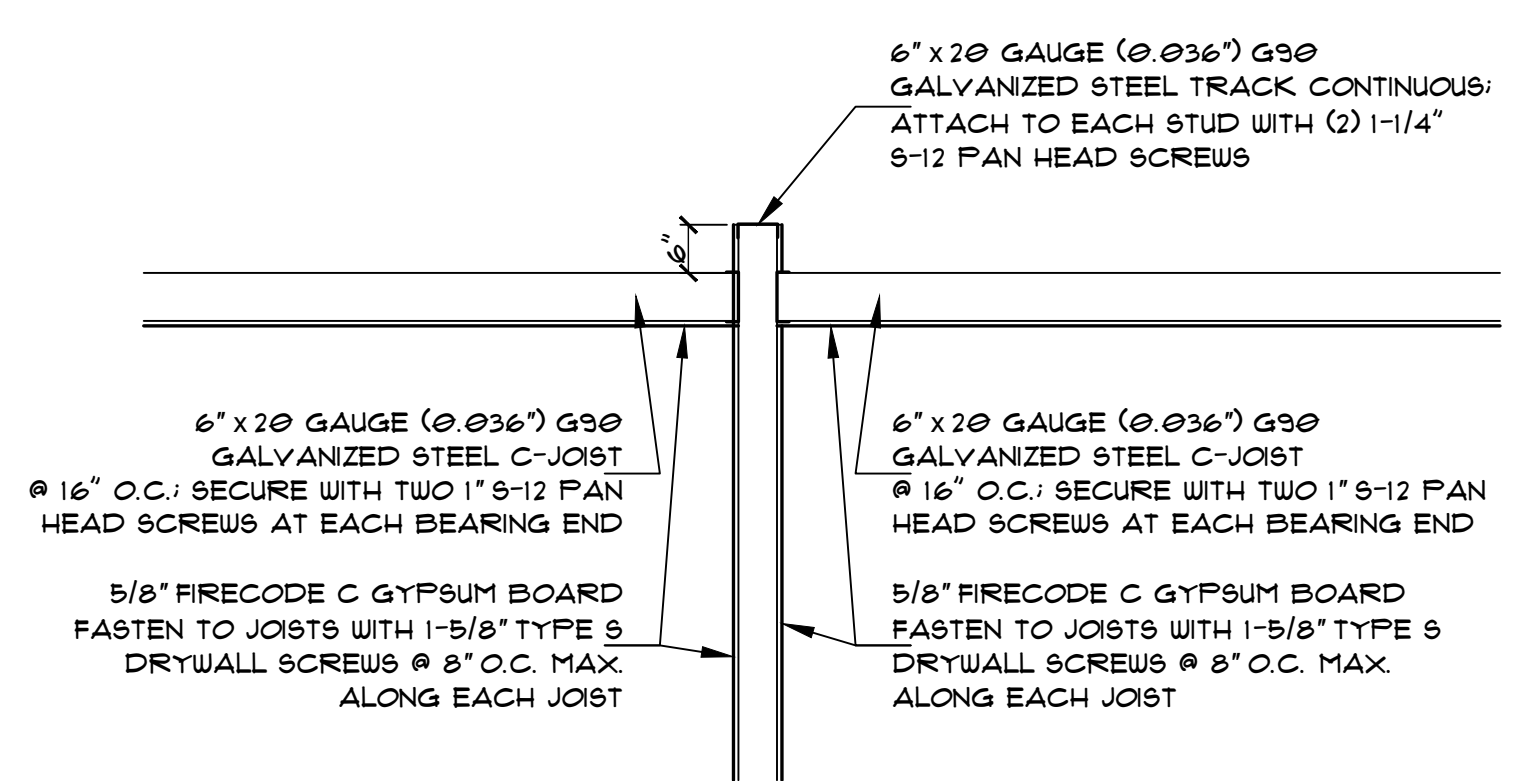
CLEAN- UP & PROTECTION

- Remove metal shavings and debris
- Protect installed framing until finished removal of trades

End of Section

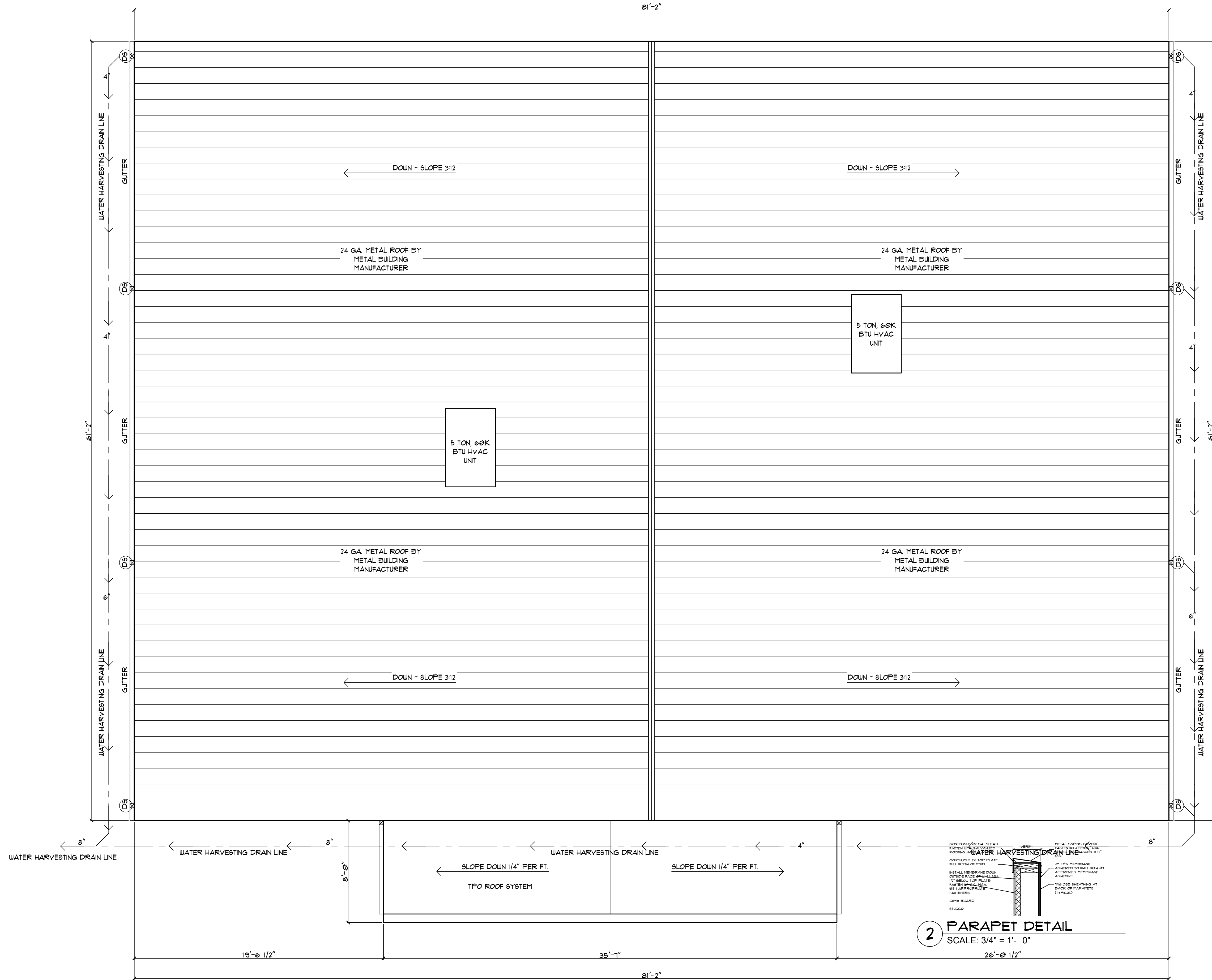


3 DRYWALL CEILING
SCALE: 1/2" = 1'- 0"



2 DRYWALL CEILING
SCALE: 1/2" = 1'- 0"

1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'- 0"



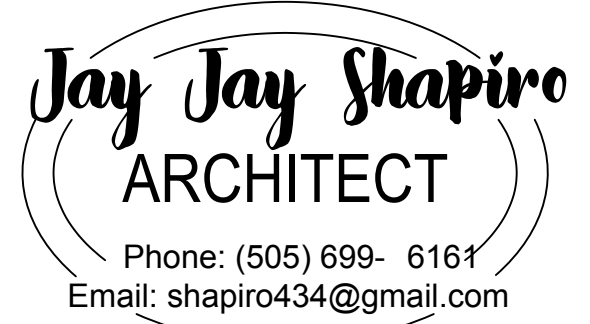
1 ROOF PLAN
SCALE: 1/4" = 1'-0"

2 PARAPET DETAIL
SCALE: 3/4" = 1'-0"

THERMOPLASTIC (TPO) ROOFING SYSTEM

GENERAL

- 1.1 SUMMARY
A. Work under this Section includes supply and installation of a fully adhered, single-ply TPO roofing system complete with insulation, vapor retarder, roof membrane, flashings, and accessories.
- 1.2 REFERENCES
A. ASTM D6878 — Standard Specification for TPO Sheet Roofing
B. ASTM D4434 — Standard Specification for PVC Sheet Roofing
C. ASTM D7554 — TPO Membrane Thickness
D. FM 4470, 4450 — Factory Mutual Approval Standards
E. NRCA Roofing Manual
- 1.3 SUBMITTALS
A. Product Data: Manufacturer's technical datasheets for membrane, adhesives, primers, and flashing materials.
B. Shop Drawings: Plan views showing membrane layout, insulation joints, flashings, drains, curbs, penetrations, edge details.
C. Samples: 12" x 12" TPO membrane, trim flanges, seam tape.
D. Certificates: Membrane FM Approval, UL Class A roof assembly (if required).
E. Warranties: Manufacturer's 20-year membrane warranty; installer's workmanship warranty.
- 1.4 QUALITY ASSURANCE
A. Manufacturer Qualifications: Company specializing in TPO roofing with minimum 20 years' experience and FM Approval for specified assembly.
B. Installer Qualifications: Certified by membrane manufacturer, with not less than 5 completed TPO roof projects of similar scope.
C. Pre-Installation Meeting: Review substrate condition, insulation layout, flashing details, weather constraints, safety procedures.
- 1.5 DELIVERY, STORAGE, AND HANDLING
A. Deliver materials in manufacturer's unopened, labeled packaging.
B. Store membrane rolls on end, in a clean, dry area, protected from sun and heat.
C. Store adhesives and primers between 60°F and 80°F per manufacturer's instructions.
- 2.1 TPO ROOFING MEMBRANE
A. Type: Thermoplastic Polyolefin (TPO), reinforced with polyester scrim.
B. Thickness: 60-mil minimum, meeting ASTM D6878 and ASTM D7554 tolerances.
C. Color: White (reflective).
D. Physical Properties (minimum per ASTM D6878):
1. Tensile Strength: ≥ 265 lb/in (MD & CD)
2. Elongation: ≥ 15%
3. Tear Strength: ≥ 50 lbf (MD & CD)
4. Puncture Resistance (ASTM D5635): ≥ 16 lbf
- 2.2 INSULATION
A. Type: Polyisocyanurate (ISO) board, coated face on both sides.
B. Thickness: As indicated on drawings to achieve required R-value (typ. R-20).
C. Compressive Strength: ≥ 25 psi (ASTM D1621).
D. Dimension Tolerance: Length and width ± 1/8", thickness -0/+3/16".
- 2.3 VAPOR RETARDER (IF REQUIRED)
A. Type: Self-adhered, non-perforated bituminous sheet or composite sheet with perm ≤ 0.1.
B. Thickness: 40 mils minimum.
- 2.4 ADHESIVES AND PRIMERS
A. Membrane Adhesive: Low-VOC, manufacturer-approved, water-based or solvent-based fully-adhered adhesive.
B. Primer: For flashing surfaces (e.g., metal, concrete) if required by membrane manufacturer.
- 2.5 FLASHING AND ACCESSORIES
A. TPO Flashing Sheet: Same membrane type and thickness as field membrane.
B. Pre-Molded Inside/Outside Corners, Pipe Boots: Manufacturer's matching accessories.
C. Metal Drip Edge: Pre-finished, compatible color.
D. Fasteners & Plates: Corrosion-resistant, approved types for insulation attachment.
- 3.1 EXAMINATION
A. Verify roof deck is clean, dry, smooth, and free of sharp objects or protrusions.
B. Verify deck deflection limits per manufacturer's requirements.
C. Verify substrate temperature and ambient conditions are within limits for membrane application.
- 3.2 PREPARATION
A. Dry-in Substrate: Ensure roof deck is free of ponded water.
B. Moisture Testing: If required, conduct ASTM F2170 relative humidity tests or ASTM D4263 plastic sheet test.
C. Prime Flashing Surfaces: Apply primer to concrete, masonry, and metal per manufacturer's instructions.
- 3.3 INSULATION INSTALLATION
A. Vapor Retarder: Install self-adhered sheets directly to deck, lapping sidelines 2", end laps 6", and seal with manufacturer's lap sealant.
B. ISO Boards: Set in full-coverage bead of compatible adhesive, stagger joints; secure with mechanical fasteners per spacing schedule.
C. Cover Board (if specified): Adhere or mechanically attach per drawings.
- 3.4 MEMBRANE INSTALLATION
A. Layout: Unroll membrane and allow to relax per manufacturer's time table.
B. Adhesive Application: Apply adhesive to insulation and/or membrane backside in uniform ribbons or full-coverage spray.
C. Positioning: Embed membrane, maintaining 1/8" to 1/4" slack at terminations and flashings.
D. Seaming: Hot-air weld sidelaps and endlaps with automatic welding equipment. Test seams with hand probe to ensure full fusion.
E. Detail Work: Install flashings, corners, pipe boots, and edge metal. Ensure all terminations are sealed with factory or field-fabricated metal termination bars and sealant.
- 3.5 FIELD QUALITY CONTROL
A. Inspection: Membrane seams, flashings, penetrations, and terminations shall be inspected by a Factory Authorized Field Technician.
B. Weld Testing: Perform destructive and non-destructive seam tests (e.g., seam probe, peel tests) in accordance with ASTM D5385.
C. Repair: Cut out and re-weld or patch defective seams and damage areas.
- 3.6 PROTECTION AND CLEANING
A. Protect finished roof from traffic and damage until acceptance.
B. Remove debris, adhesive smears, and unused materials.
C. Leave adjacent surfaces clean and undamaged.
- WARRANTY
4.1 Manufacturer's Membrane Warranty
A. Twenty-year no-dollar-limit manufacturer's warranty covering membrane defects and reasonable consequential damage to roofing components.
4.2 Installer's Workmanship Warranty
A. Two-year warranty covering installation workmanship defects effective from date of final acceptance.



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PROJECT DESCRIPTION:
Iglesia Cristiana
Casa del Alferero

2501 Cactus Lane,
Santa Fe, NM 87507

REVISIONS:
DISC DATE

SHEET TITLE

ROOF PLAN,
SPECIFICATIONS

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

A- 5.0



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SHEET TITLE

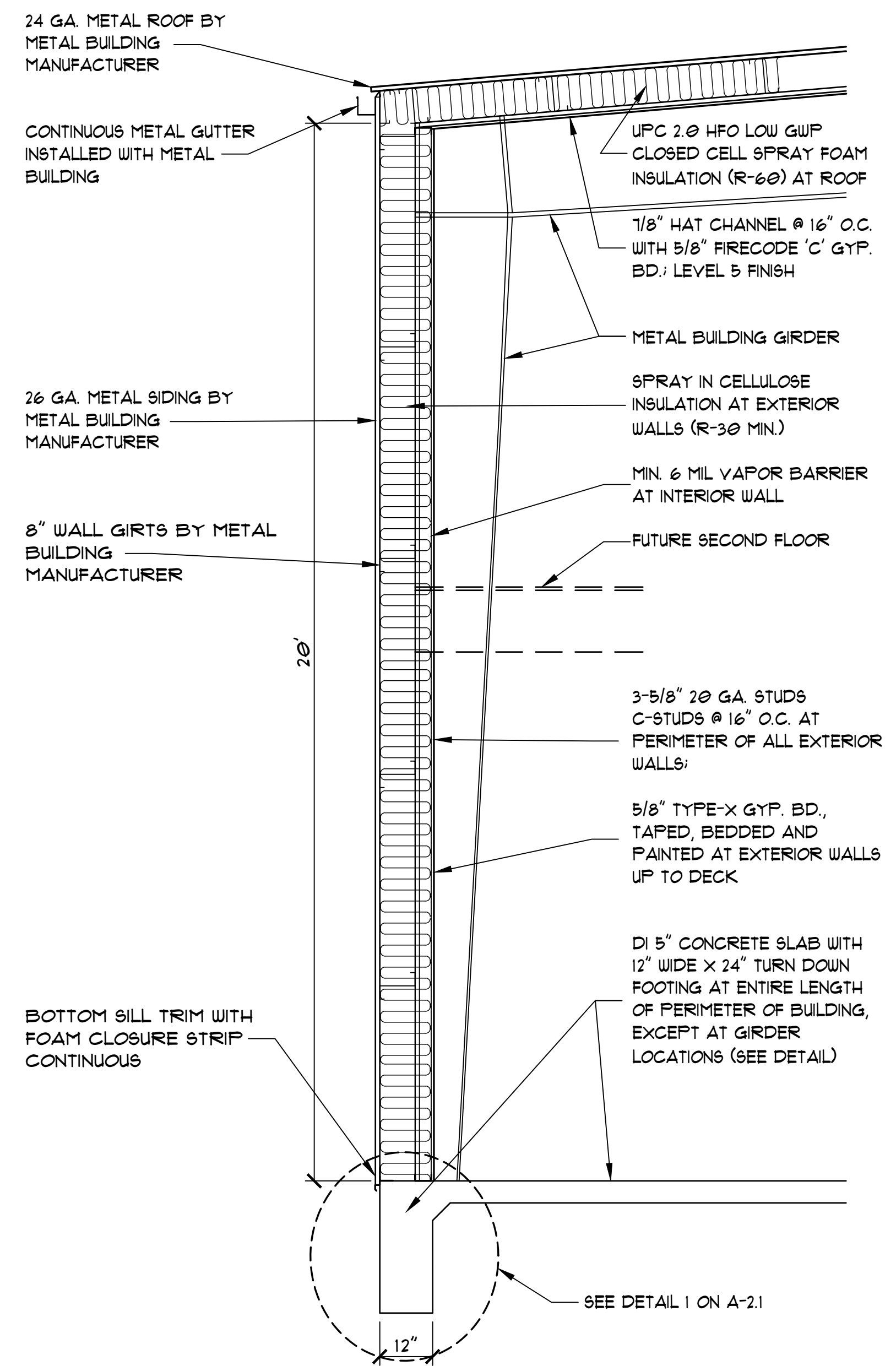
BUILDING SECTIONS, EXTERIOR WALL SECTION

PROJECT NO:
 CDA- 025- 001

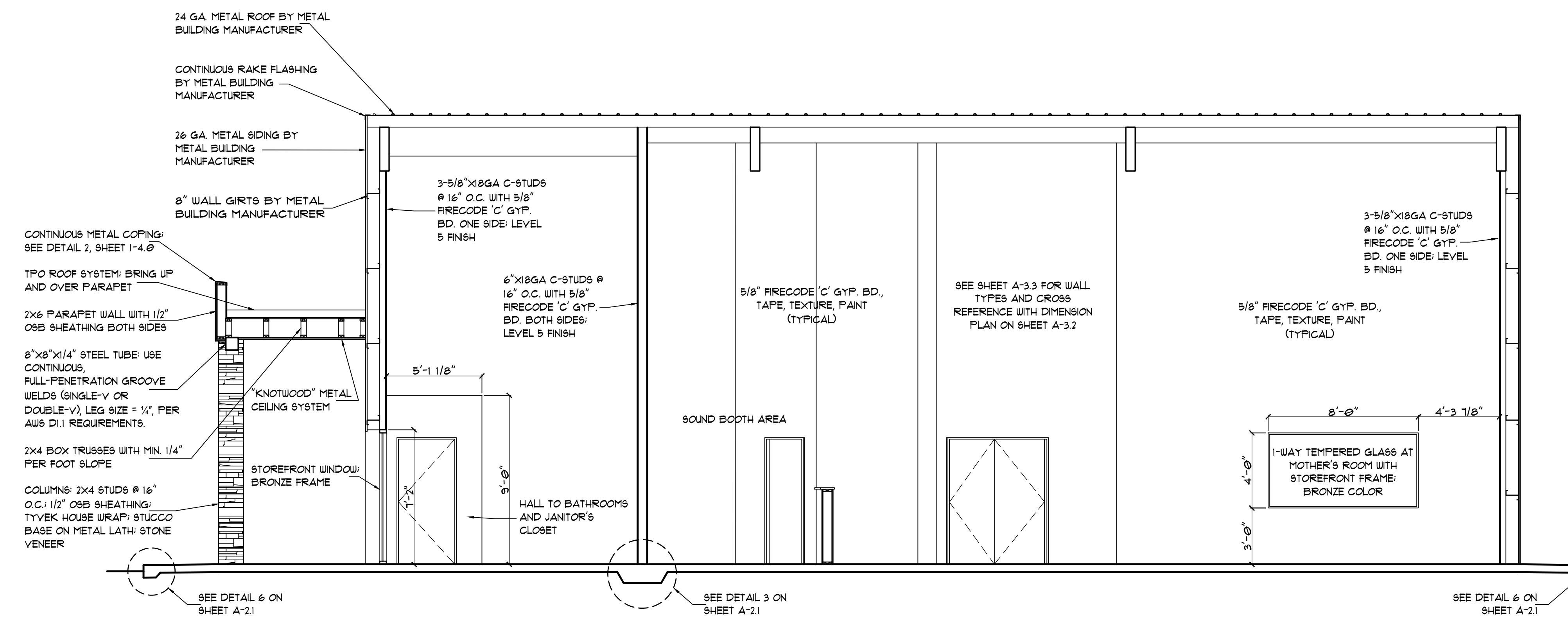
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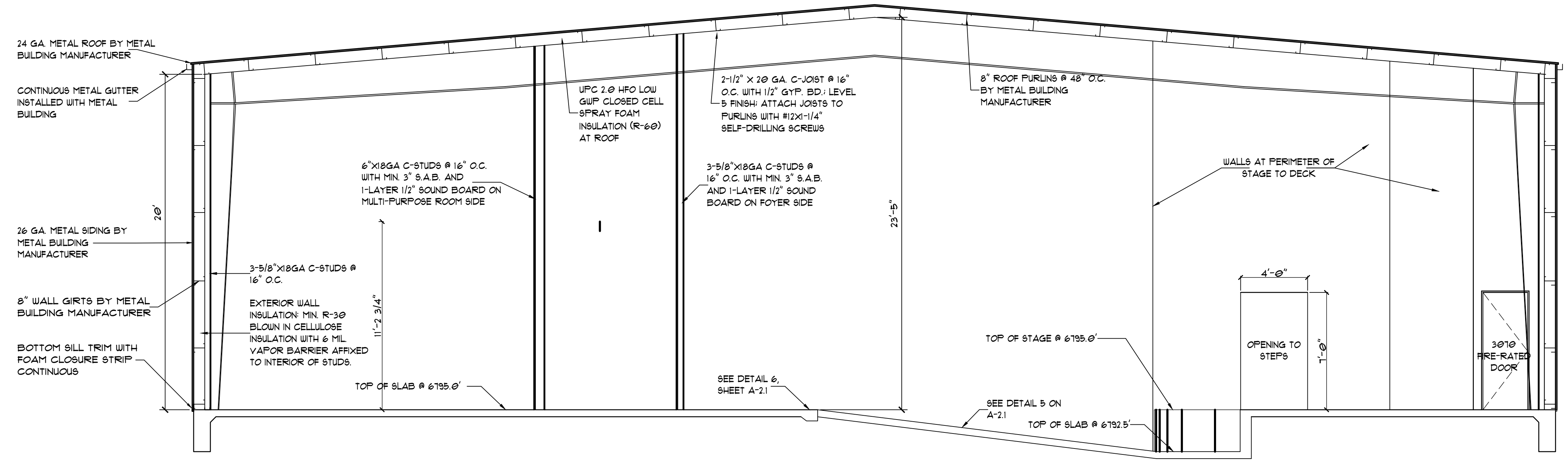
A- 6.0



1 WALL SECTION
 SCALE: N.T.S.



B BUILDING SECTION
 SCALE: N.T.S.



A BUILDING SECTION
 SCALE: N.T.S.



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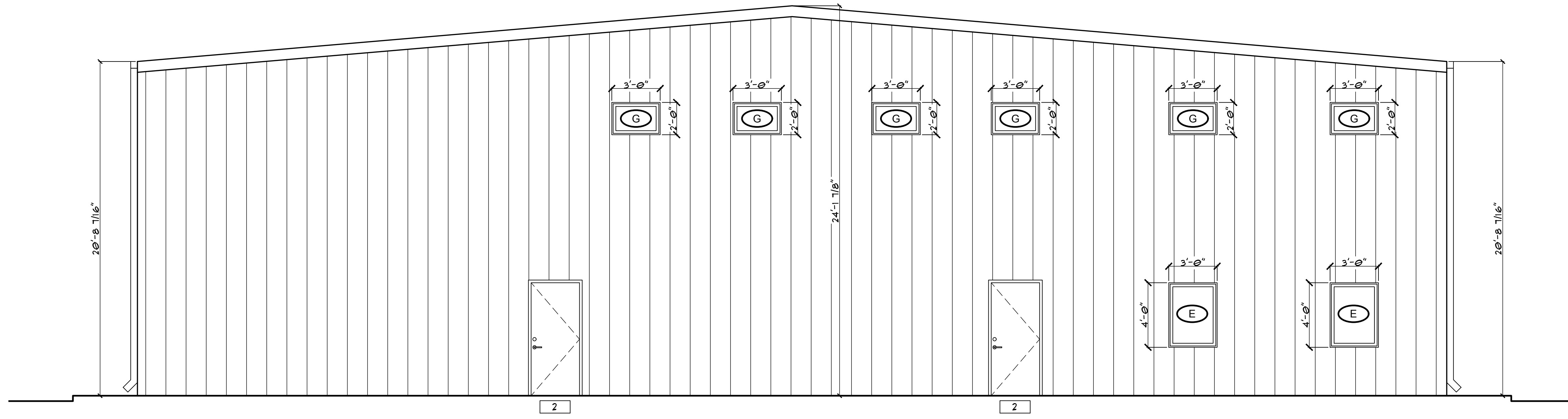
EXTERIOR ELEVATIONS

PROJECT NO:
 CDA- 025- 001

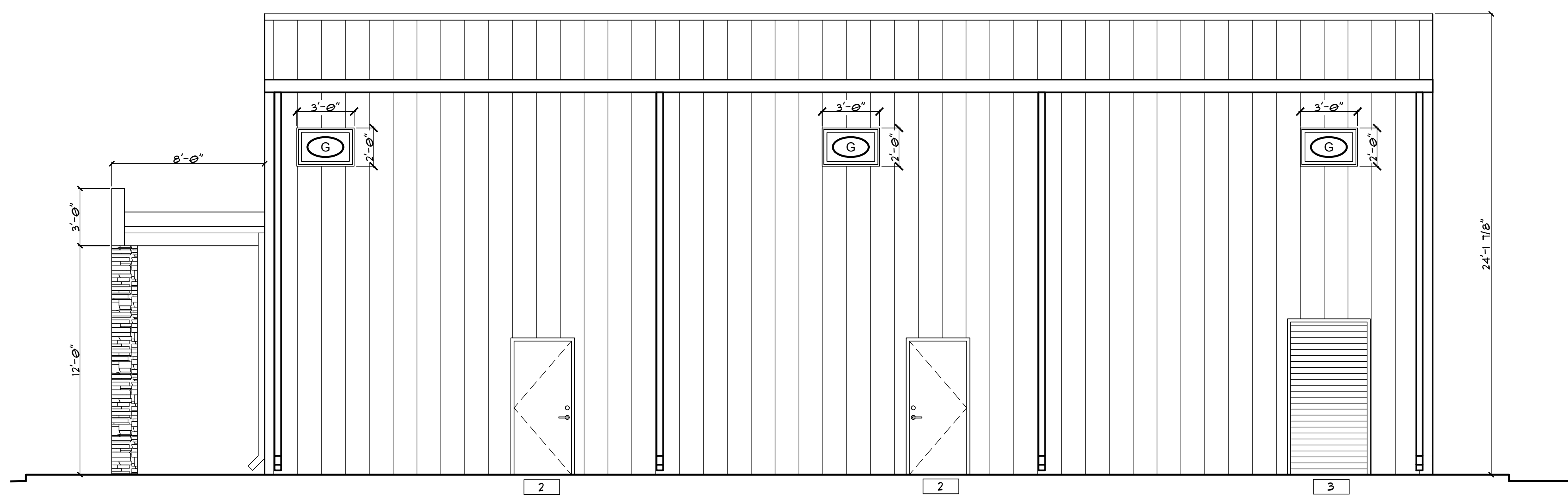
DATE: MAY 05, 2025

SHEET:

A- 7.0



1 NORTH ELEVATION
 SCALE: 1/4" = 1'- 0"



1 EAST ELEVATION
 SCALE: 1/4" = 1'- 0"



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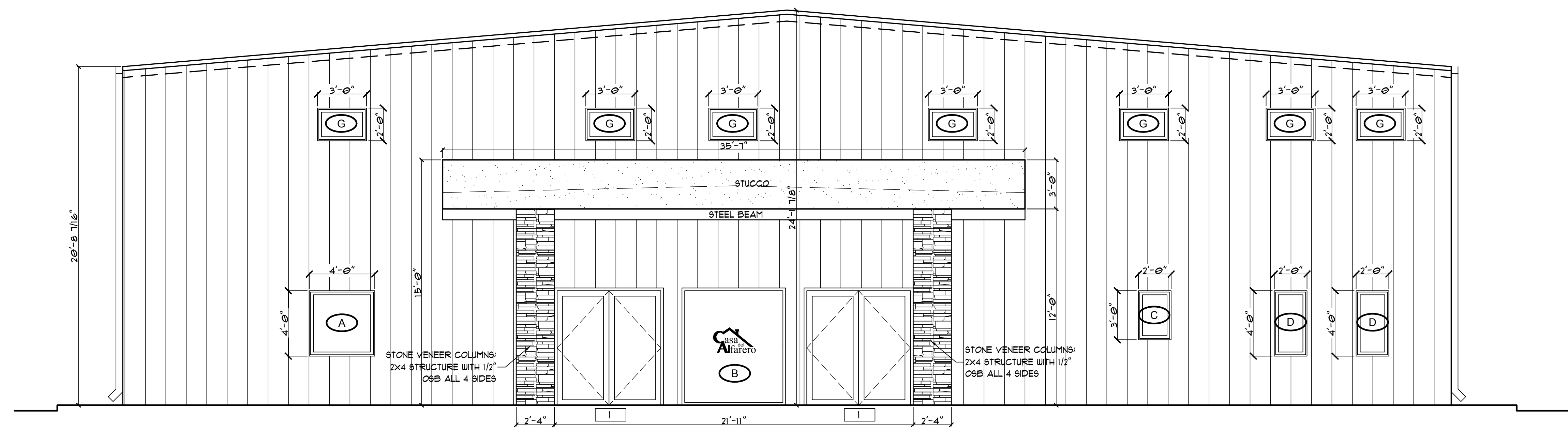
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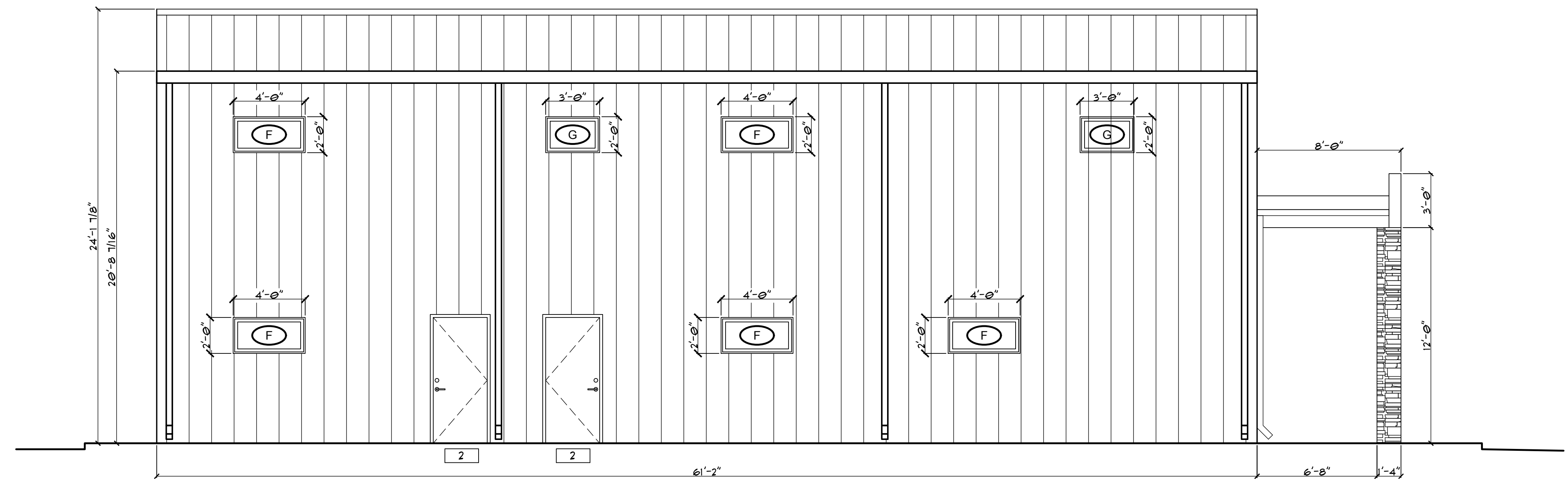
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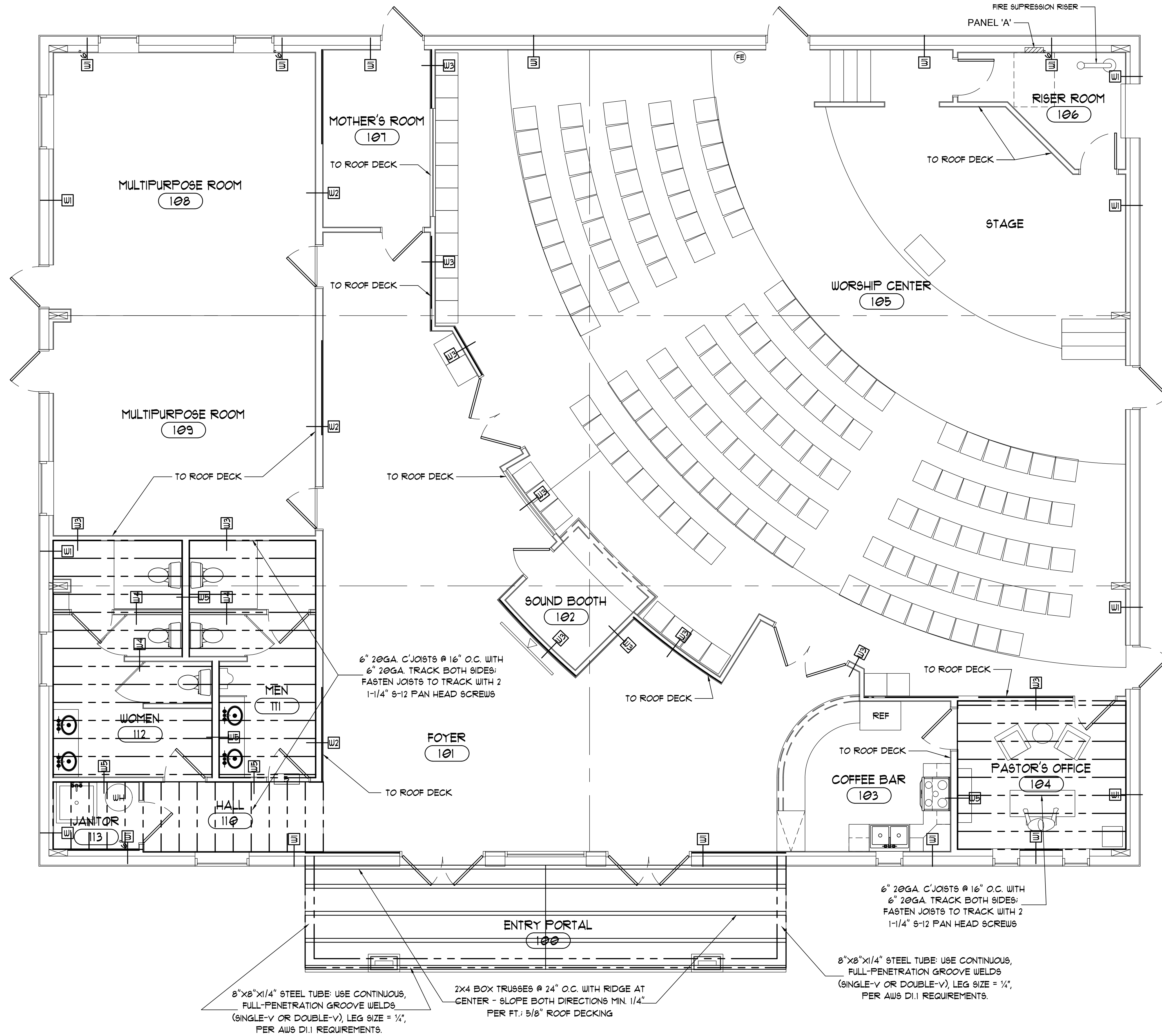
A- 7.1



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'- 0"



1 WEST ELEVATION
 SCALE: 1/4" = 1'- 0"



A FRAMING PLAN
SCALE: 1/4" = 1'- 0"

COLD- FORMED METAL FRAMING, INTERIOR C- STUDS

GENERAL

1.1 Scope
A. Supply and install interior load- bearing cold- formed C- studs, sizes 3- 5/8" and 6".

1.2 References
A. AISI S100 – North American Specification for the Design of Cold- Formed Steel Structural Members
B. ASTM C645 – Standard Specification for Nonstructural Steel Framing Members
C. ASTM C955 – Standard Specification for Load- Bearing (Structural) Steel Studs, Headers, Joists, and Rafters

1.3 Submittals
A. Product Data: Member profiles, gauges, coatings.
B. Shop Drawings: Framing layout, member schedules, splice details.

PRODUCTS

2.1 Materials
A. Steel sheet: ASTM A653/A653M, G60 galvanized coating or G90 in high- corrosion areas.

2.2 C- Stud Profiles & Gauges
A. 3- 5/8" C- stud: 54 mil (12 ga) minimum, 1 1/4" flanges, 1/2" return lip.
B. 6" C- stud: 54 mil (12 ga) minimum, 1 1/4" flanges, 1/2" return lip.

2.3 Track (U- Header)
A. Matching gauge and flange dimensions; continuous at top and bottom of wall.

2.4 Accessories
A. Splice plates, hold- down clips, deflection clips, fasteners, shim packers per manufacturer.

EXECUTION

3.1 Layout & Installation
A. Install bottom/top track aligned and level. Secure tracks to slab and structure at 24" o.c. max.
B. Cut and insert C- studs into track. Space studs per structural drawings (typically 16" o.c.).
C. Ensure plumb within 1/8" in 10'. Use shim packers under tracks if required.

3.2 Splices & Bracing
A. Splice studs where they exceed maximum specified length with full- depth splice plates and fasteners; stagger splices in alternate studs.
B. Install lateral bracing or blocking as shown on drawings or per AISI S100.

3.3 Fastening
A. Fasten studs to tracks: two #10- 16 self- drilling screws at each flange, top and bottom.
B. Fasten track to structure: 1/4" diameter powder- actuated pins or approved anchors at 24" o.c. max.

3.4 Tolerances & Quality Control
A. Alignment: tracks and studs plumb and true to line; cumulative out- of- plumb not over 1/4" in 20'.
B. Fasteners: fully seated, no loose or missing screws.

3.5 Protection
A. Protect studs and tracks from damage, moisture, and construction debris.

End of Section.

COLD- FORMED METAL FRAMING, 6" C- JOISTS

GENERAL

1.1 Scope
A. Supply and install 6" deep, cold- formed steel C- joists at 16" on center to support gypsum board ceilings (or wall furring) per approved shop drawings.

1.2 References
1. ASTM C645 — "Standard Specification for Nonstructural Steel Framing Members"
2. ASTM C754 — "Standard Specification for Installation of Steel Framing Members"

PRODUCTS

2.1 C- Joists
A. Profile: C- shape, 6" depth, 1 1/2" flange, 3/4" lip, manufactured to ASTM C645
B. Gauge: 20 ga (0.036") G90 galvanized steel
C. Section modulus and stiffness rated for L/240 deflection over a 12' simple span

2.2 Tracks & Accessories
A. Field- trimmed U- shaped top and bottom track, same gauge as joists
B. Splice plates or clip- angles for continuous runs longer than one track length
C. Fasteners: self- drilling, self- tapping screws compatible with steel thickness

INSTALLATION

3.1 Layout
A. Install top track level and plumb on bearing walls or structure
B. Snap or set C- joists into track at 16" o.c., verify spacing with a laser or chalk line

3.2 Fastening
A. Secure each joist flange to the track with two 1 1/4" Type S self- drilling screws
B. Stagger splices; use manufacturer- approved splices or clip angles

3.3 Gypsum Board Attachment (if ceiling use)
A. Attach 5/8" gypsum board perpendicular to joists with 1" Type S drywall screws
B. Screw spacing: 7-8" o.c. along joists; 3/8" from panel edges

3.4 Tolerances & Quality
A. Maximum deflection under live load L/240
B. Joist plane variation: ±1/8" in 10'
C. Verify plumb, level, and secure connections before drywall installation

CLEAN- UP & PROTECTION

4.1 Remove metal shavings and debris
4.2 Protect installed framing until finished removal of trades

End of Section

NOTE:
SEE SHEET A- 4.3 FOR WALL TYPES AND DETAILS



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PROJECT DESCRIPTION:

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REVISIONS:
DISC DATE

SHEET TITLE

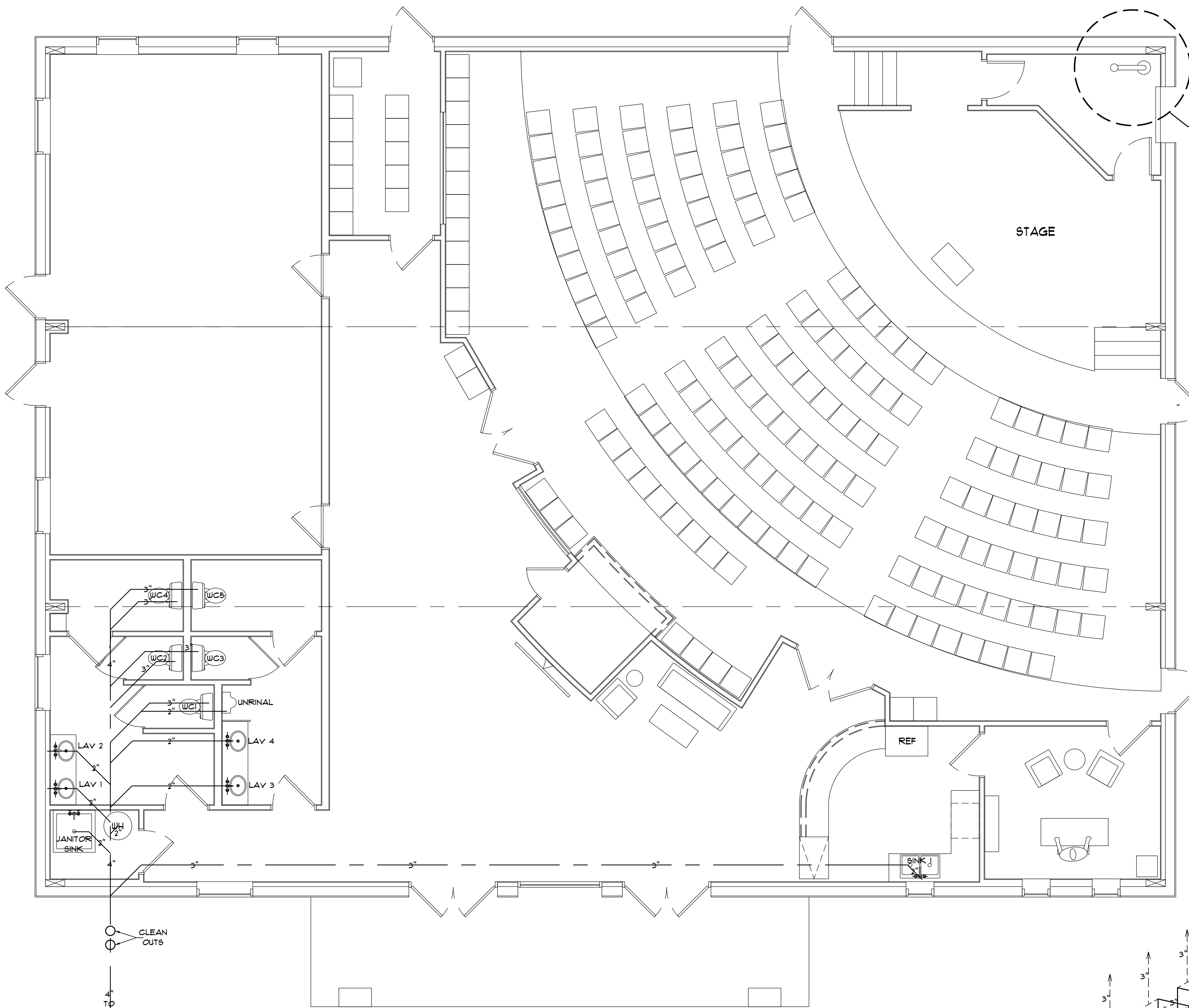
METAL JOIST FRAMING PLAN

PROJECT NO:
CDA- 025- 001

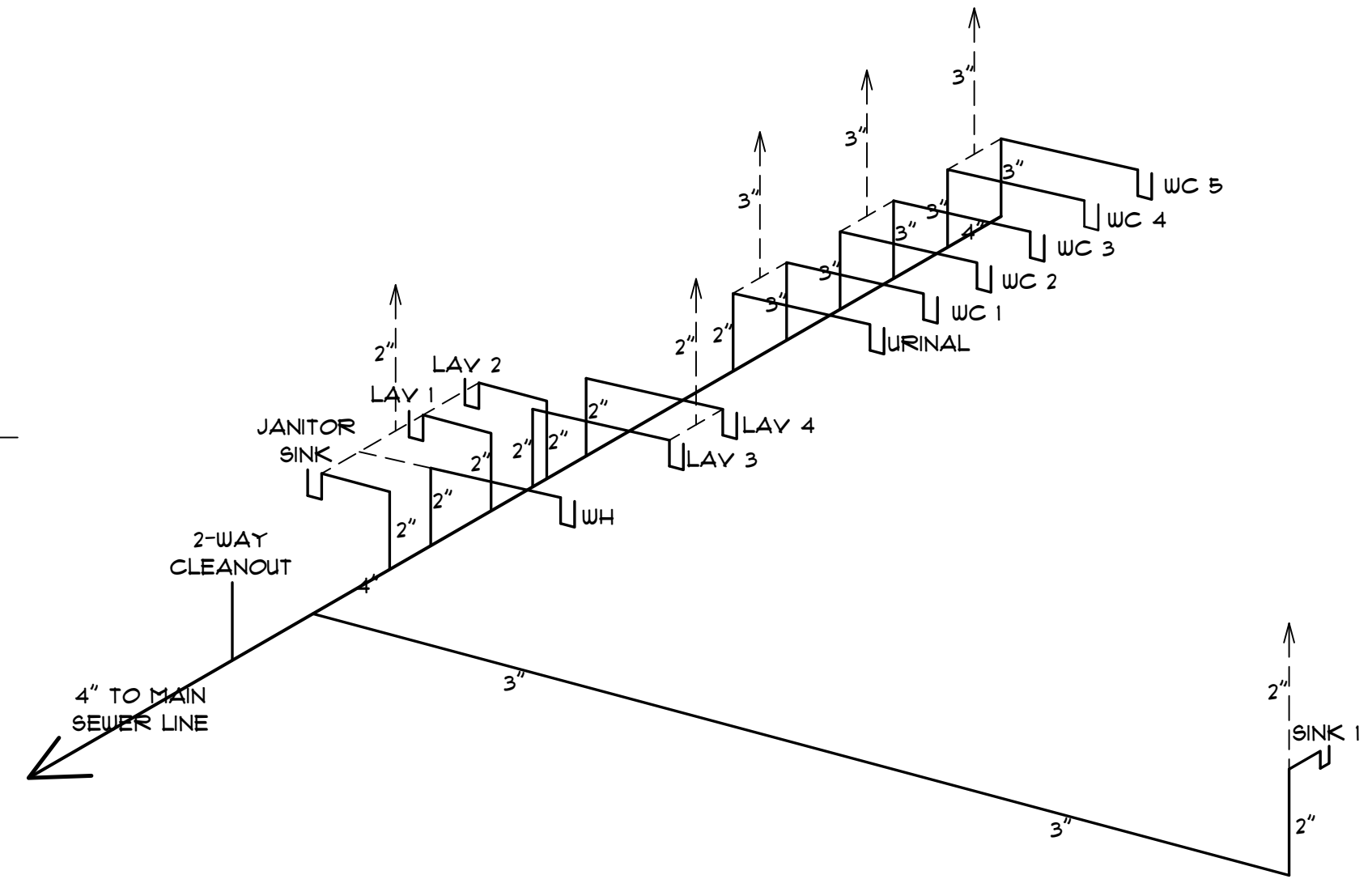
DATE: MAY 05, 2025

SHEET:

A- 8.0



1 PLUMBING PLAN - SEWER LINES
SCALE: 1/4" = 1'- 0"



2 PLUMBING PLAN - ISOMETRIC
SCALE: 1/4" = 1'- 0"

Plumbing Systems

GENERAL

- 1.1 Scope**
A. Supply, install, and test sanitary drainage, vent, and domestic water piping systems serving the following church fixtures:
 1. 5 water closets (tank type)
 2. 1 urinal
 3. 4 lavatories
 4. 1 janitor sink
 5. 1 kitchen sink
 6. 1 refrigerator ice- maker line
 7. 1 domestic water heater
 8. 4 exterior hose bibs

- 1.2 References**
 A. IPC – International Plumbing Code
 B. ASTM D2665 – PVC DWV Pipe and Fittings
 C. ASTM D1785 – PVC Pressure Pipe and Fittings
 D. ASTM B88 – Seamless Copper Water Tube
 E. ASSE 1017 – Backflow Preventers for Hose Connections
 F. NSF/ANSI 61 – Drinking Water System Components

- 1.3 Submittals**
 A. Product data on pipe, fittings, valves, water heater, backflow preventers.
 B. Shop drawings: fixture layouts, piping risers, vent stacks, roof- penetration details.
 C. Test reports: air- test of DWV system and hydrostatic test of water lines.

PRODUCTS

- 2.1 Sanitary Drainage & Vent Piping**
 A. Pipe and Fittings:
 1. Sanitary (DWV) Piping: PVC Schedule 40, solvent- welded, ASTM D2665.
 2. Vent Piping: same as DWV piping.
 B. Sizes:
 1. Building drain and lateral to grease arrester: 4" PVC.
 2. Branch drains serving lavatories, sinks, urinal: 2" or 3" PVC per code.
 3. Fixture drains: water closets on 3", urinal on 2", all others on 1 1/2"-2" as required.
 4. Stack vents: minimum 3" PVC through- roof penetration.

- 2.2 Domestic Cold & Hot Water Piping**
 A. Material Options (select one):
 1. Type L hard- drawn copper tubing, ASTM B88, solder- joint fittings, lead free.
 2. Cross- linked polyethylene (PEX) tubing, ASTM F876/F877, crimp or expansion fittings.
 B. Sizes:
 1. Main riser: 1" cold and hot.
 2. Branch to fixtures: 1/2" to lavatories, kitchen sink, janitor sink; 1/2" to hose bibs, ice maker.
 C. Valves and Accessories:
 1. Shutoff valves: bronze ball or gate valves at each fixture.
 2. Vacuum breakers/backflow preventers: ASSE 1017 on each hose bib.
 3. Water heater expansion tank, pressure- relief valve, and sediment trap.

- 2.3 Water Heater**
 A. Type: gas- fired (or electric) storage heater, natural draft or direct vent, 50-75 gal capacity.
 B. Features: factory installed T&P relief valve, insulated jacket, ASME rated.

EXECUTION

- 3.1 Rough In – DWV System**
 A. Lay 4" building drain with 1/8" fall per foot minimum. Branches: slope 1/4"/ft for 2"-3" lines, 1/8"/ft for 4".
 B. Install fixture traps and branch piping to stack. Maintain minimum trap arms.
 C. Connect to gravity flow sewer lateral. Provide cleanouts at base of each vertical stack and changes of direction > 45°.
- 3.2 Rough In – Vent System**
 A. Extend vent stacks through roof with a minimum 3" pipe. Terminate at least 10' above roof and 2' clear of openings.
- 3.3 Rough In – Water System**
 A. Install cold water riser and branch with continuous slope to drain.
 B. Install hot water riser from heater to serve fixtures. Include mixing valve if required.
 C. Size and locate shutoff valves at each fixture.
 D. Install hosebib vacuum breakers per manufacturer's instructions.
- 3.4 Equipment Installation**
 A. Set water heater level on concrete pad or bracket; provide seismic strapping where required.
 B. Connect water, gas (if applicable), and flue per code and manufacturer.
- 3.5 Testing**
 A. DWV Air Test: cap fixture outlets, apply 5 psi air, hold 15 min; inspect for pressure loss.
 B. Water Test: fill cold- water piping to 150 psi; hold 15 min; inspect for leaks.
- 3.6 Balancing & Commissioning**
 A. Adjust water heater controls; flush and disinfect water system.
 B. Verify fixture flow rates and drainage performance.

PROTECTION & CLEAN UP

- 4.1 Protect installed piping and equipment from damage.
 4.2 Remove debris, surplus material, and packaging from site daily.

End of Section



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PROJECT DESCRIPTION:

Iglesia Cristiana
 Casa del Alferero

2501 Cactus Lane,
 Santa Fe, NM 87507

REVISIONS:
 # DISC DATE

SHEET TITLE

PLUMBING PLAN, SEWER LINES

PROJECT NO:
 CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

P1.0



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SHEET TITLE

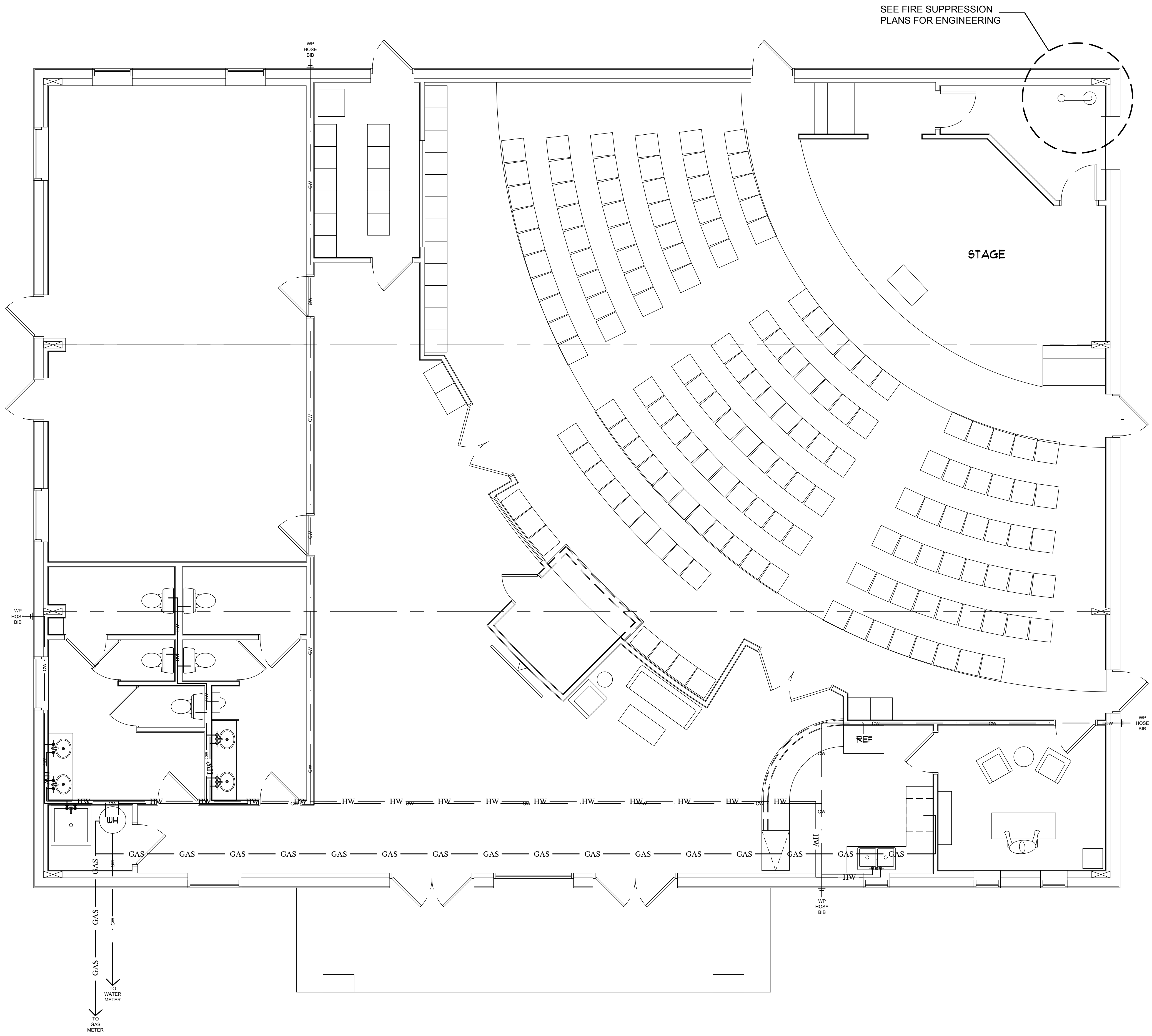
PLUMBING PLAN, WATER LINES

PROJECT NO:
CDA- 025- 001

DATE: MAY 05, 2025

SHEET:

P2.0



Plumbing Systems

GENERAL

- 1.1 Scope**
A. Supply, install, and test sanitary drainage, vent, and domestic water piping systems serving the following church fixtures:
1. 5 water closets (tank type)
2. 1 urinal
3. 4 lavatories
4. 1 janitor sink
5. 1 kitchen sink
6. 1 refrigerator ice- maker line
7. 1 domestic water heater
8. 4 exterior hose bibs

- 1.2 References**
A. IPC – International Plumbing Code
B. ASTM D2665 – PVC DWV Pipe and Fittings
C. ASTM D1785 – PVC Pressure Pipe and Fittings
D. ASTM B88 – Seamless Copper Water Tube
E. ASSE 1017 – Backflow Preventers for Hose Connections
F. NSF/ANSI 61 – Drinking Water System Components

- 1.3 Submittals**
A. Product data on pipe, fittings, valves, water heater, backflow preventers.
B. Shop drawings: fixture layouts, piping risers, vent stacks, roof- penetration details.
C. Test reports: air- test of DWV system and hydrostatic test of water lines.

PRODUCTS

- 2.1 Sanitary Drainage & Vent Piping**
A. Pipe and Fittings:
1. Sanitary (DWV) Piping: PVC Schedule 40, solvent- welded, ASTM D2665.
2. Vent Piping: same as DWV piping.
B. Sizes:
1. Building drain and lateral to grease arrester: 4" PVC.
2. Branch drains serving lavatories, sinks, urinal: 2" or 3" PVC per code.
3. Fixture drains: water closets on 3", urinal on 2", all others on 1½"-2" as required.
4. Stack vents: minimum 3" PVC through- roof penetration.

- 2.2 Domestic Cold & Hot Water Piping**
A. Material Options (select one):
1. Type L hard- drawn copper tubing, ASTM B88, solder- joint fittings, lead free.
2. Cross- linked polyethylene (PEX) tubing, ASTM F876/F877, crimp or expansion fittings.
B. Sizes:
1. Main riser: 1" cold and hot.
2. Branch to fixtures: ½" to lavatories, kitchen sink, janitor sink; ¾" to hose bibs, ice maker.
C. Valves and Accessories:
1. Shutoff valves: bronze ball or gate valves at each fixture.
2. Vacuum breakers/backflow preventers: ASSE 1017 on each hose bib.
3. Water heater expansion tank, pressure- relief valve, and sediment trap.

- 2.3 Water Heater**
A. Type: gas- fired (or electric) storage heater, natural draft or direct vent, 50–75 gal capacity.
B. Features: factory installed T&P relief valve, insulated jacket, ASME rated.

EXECUTION

- 3.1 Rough In – DWV System**
A. Lay 4" building drain with 1/8" fall per foot minimum. Branches: slope ¼"/ft for 2–3" lines, ½"/ft for 4".
B. Install fixture traps and branch piping to stack. Maintain minimum trap arms.
C. Connect to gravity flow sewer lateral. Provide cleanouts at base of each vertical stack and changes of direction > 45°.
3.2 Rough In – Vent System
A. Extend vent stacks through roof with a minimum 3" pipe. Terminate at least 10" above roof and 2' clear of openings.
3.3 Rough In – Water System
A. Install cold water riser and branch with continuous slope to drain.
B. Install hot water riser from heater to serve fixtures. Include mixing valve if required.
C. Size and locate shutoff valves at each fixture.
D. Install hosebib vacuum breakers per manufacturer's instructions.

- 3.4 Equipment Installation**
A. Set water heater level on concrete pad or bracket; provide seismic strapping where required.
B. Connect water, gas (if applicable), and flue per code and manufacturer.

- 3.5 Testing**
A. DWV Air Test: cap fixture outlets, apply 5 psi air, hold 15 min; inspect for pressure loss.
B. Water Test: fill cold- water piping to 150 psi; hold 15 min; inspect for leaks.
3.6 Balancing & Commissioning
A. Adjust water heater controls; flush and disinfect water system.
B. Verify fixture flow rates and drainage performance.

PROTECTION & CLEAN UP

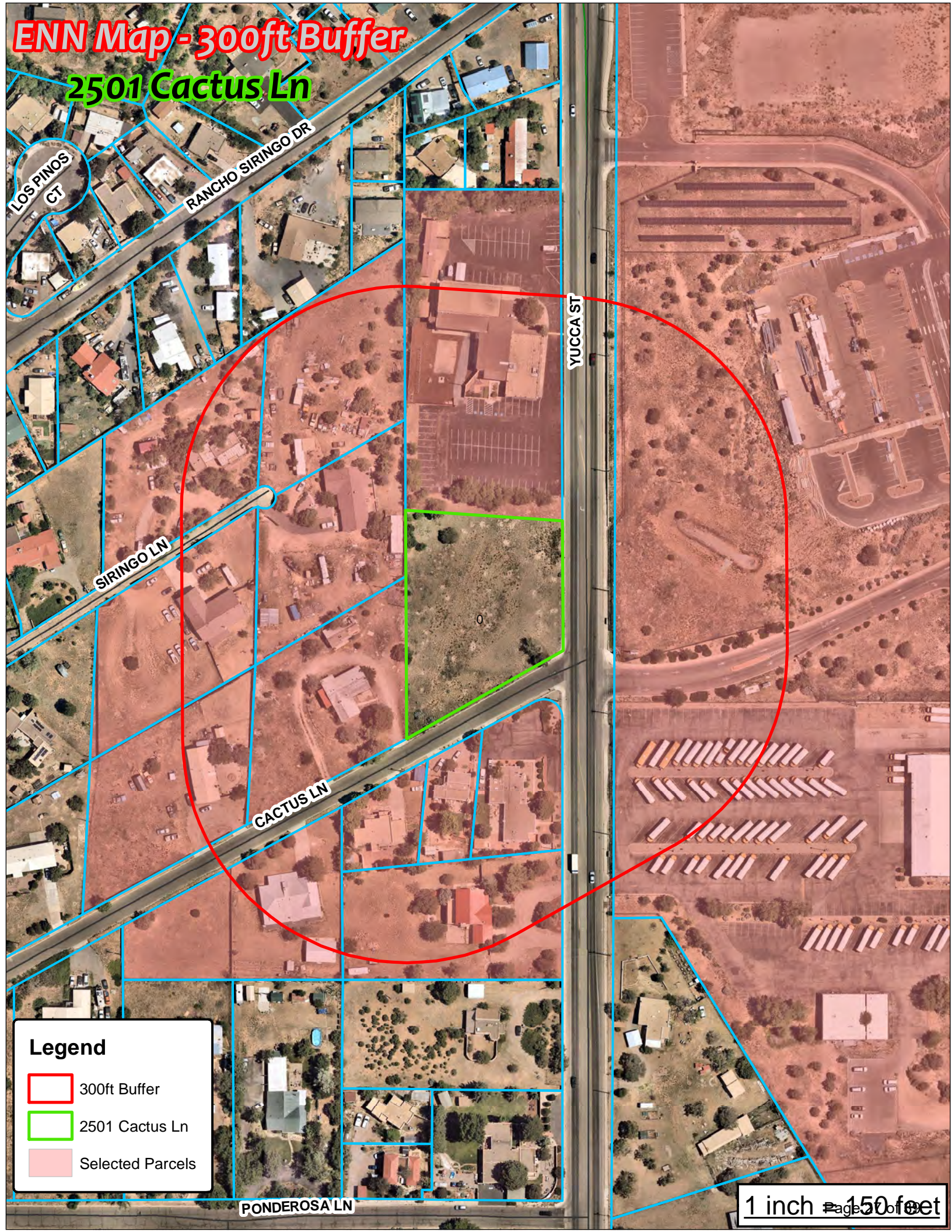
- 4.1 Protect installed piping and equipment from damage.
4.2 Remove debris, surplus material, and packaging from site daily.

End of Section




1 PLUMBING PLAN - WATER LINES
SCALE: 1/4" = 1'- 0"

ENN Map - 300ft Buffer

2501 Cactus Ln



Legend

-  300ft Buffer
-  2501 Cactus Ln
-  Selected Parcels

1 inch = 150 feet

NOTE: ALL TRACT CORNERS MARKED BY IRON PIPE.

SANTA FE GRANT

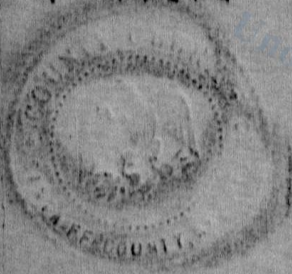
CC. SEC'S 3-4



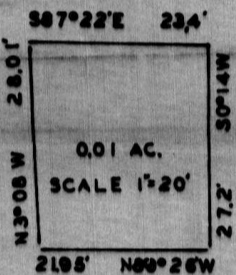
238,478

STATE OF NEW MEXICO
COUNTY OF SANTA FE
I, County Clerk, do hereby certify that this instrument was filed for record on the 15th day of December, 1959, at 10:00 o'clock A.M., and was duly recorded in book _____ page _____ of the records of said County.

Library certified copy of this instrument was filed for record on the 15th day of December, 1959, at 10:00 o'clock A.M., and was duly recorded in book _____ page _____ of the records of said County.



INSERT
SUNSHINE ROYALTY CO. TO LISCHKE



SUNSHINE ROYALTY CO.

1/4 COR. SEC'S 3-4

ORIG. I.M. COR.

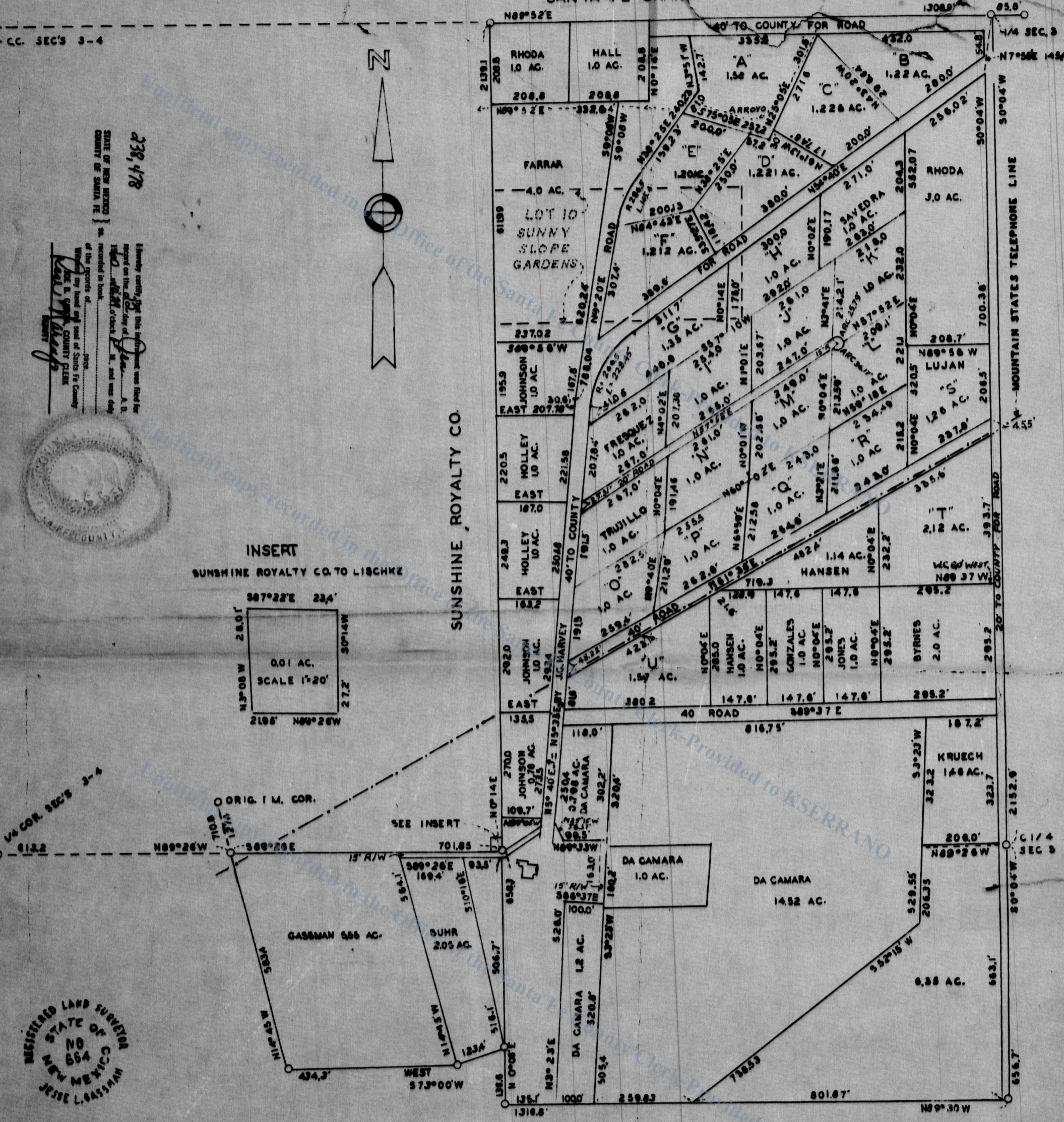


CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND THE FIELD NOTES THEREON ARE A COPY OF A SURVEY MADE IN THE FIELD BY ME MAR 1947 THRU DEC 1959 AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

Jesse L. Gassman

COMPOSITE PLAT
SHOWING LANDS OF
EVELYN H. LISCHKE
IN SEC. 3, T.16N.R.9E. N.M.P.M.
DEC. 1959 SCALE 1"=200'



Mailing list for 2501 Cactus Ln - 300 ft. Buffer

Owner Name	Situs Address	Mailing Address	City
MAESTAS, JOSE D & MARY C	2200 YUCCA ST	2200 YUCCA ST	SANTA FE
HARVEST BAPTIST CHURCH OF SANTA FE	2103 YUCCA ST	2103 YUCCA ST	SANTA FE
GALLEGOS, PAUL J TRUSTEE	2502 SIRINGO LN	PO BOX 4882	SANTA FE
SATO, SHARON & LAWRENCE R DOW	2500 CACTUS LN	2500 CACTUS LN	SANTA FE
NEGRE, CHRISTIAN F.A	2503 CACTUS LN	2503 CACTUS LN	SANTA FE
GALLEGOS PROPERTY HOLDINGS CO, LLC	2500 SIRINGO LN	PO BOX 4882	SANTA FE
APODACA, JOSEPH M & ROBERTA J	2505 CACTUS LN	2505 CACTUS LANE	SANTA FE
CIESZINSKI, JOSEPH D	2503 SIRINGO LN	2503 SIRINGO LANE	SANTA FE
EDELMANN, KATRINA & DAVID WATTS	2502 CACTUS LN	2502 CACTUS LN	SANTA FE
MARQUEZ, ARTURO JUAN & ELIZABETH HUSSEY	2524 CACTUS LN	2520 CACTUS LANE	SANTA FE
GALLEGOS PROPERTY HOLDINGS CO, LLC	2501 SIRINGO LN	PO BOX 4882	SANTA FE
MARQUEZ, ARTURO JUAN & SANTA FE PUBLIC SCHOOLS	2520 CACTUS LN 2100 YUCCA ST	2520 CACTUS LANE & YUCCA 610 ALTA VISTA ST	SANTA FE SANTA FE



State	Zip
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NM	87501
NM	87505
NM	87502
NM	87505-5513
NM	87505-5512
NM	87502-4882
NM	87501
NM	87505
NM	87505-5513
NM	87501
NM	87502-4882
NM	87505-5592
NM	87501



October 9, 2025

Planning and Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: Special Use Permit Application – 2501 Cactus Ln, Santa Fe, NM 87507

Dear Joel,

I am writing to respectfully request review and approval of a Special Use Permit (SUP) application for the property located at 2501 Cactus Lane, Santa Fe, NM 87507, for the proposed use as a church, in accordance with the City’s Land Development Code. The subject property comprises 54,992 square feet, is zoned R-1 (Residential - Single-Family), and includes a proposed total building area of 4,800 square feet.

In accordance with **Section 14-3.6(D)** of the Santa Fe Land Development Code, this application addresses the required criteria for approval as follows:

(a) Land Use Board Authority

that the land use board has the authority under the section of Chapter 14 described in the application to grant a special use permit,

The Planning Commission (or other designated land use board) has authority under Section 14-3.6(D) and Table 14-6.1-1 (Permitted Uses) of the Land Development Code to grant a Special Use Permit for a place of worship within the R-1 Residential District.

This request is made in accordance with those provisions and follows the City’s established procedures for Special Use Permits.

(b) Public Interest

that granting the special use permit does not adversely affect the public interest, and

Granting this Special Use Permit will not adversely affect the public interest.

The proposed worship facility provides a community benefit by offering a faith-based, educational, and family-oriented environment that supports neighborhood cohesion.

Site design incorporates safe vehicle and pedestrian access, on-site parking, water-harvesting infrastructure, and landscaping to ensure that operations do not negatively impact nearby residents.

Service hours will be primarily on Sundays with some evenings and weekends, further reducing any potential conflicts with surrounding residential activity.

The project enhances community services while maintaining the quiet residential character of the area.

(c) Compatibility with Surrounding Properties

that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.

The proposed use and associated building are compatible with and adaptable to surrounding residential and institutional properties.

The facility's single-story design, modest height, and materials reflect the architectural character of the neighborhood.

Extensive landscaping, setback compliance, and lighting standards ensure visual harmony and minimize off-site impacts.

All utilities and infrastructure are available and sufficient to serve the proposed use, and the site layout supports safe access for pedestrians and vehicles, including ADA-compliant routes.

Overall, the design demonstrates a thoughtful integration into the existing built environment and contributes positively to the neighborhood fabric.

We respectfully request your consideration of this Special Use Permit application and welcome the opportunity to engage in any review process, staff discussions, or public hearings required as part of this application.

Please do not hesitate to contact me at **(505) 557-4060** or via email at **jennifer@santafepermits.com** should you require any additional information or clarification.

Thank you for your time and thoughtful review.

Sincerely,

Jennifer Salimbene
Santa Fe Permits



PROJECT INFORMATION

Project Name:		
Address:		Parcel Size:
Zoning:	Future Land Use:	
Pre-application Conference Date:		
Project Description:		

PROPERTY OWNER INFORMATION

Name (First, Last):		
Address:		
Street Address	Suite/Unit #	
City	State	ZIP Code
Phone:	E-mail Address:	

APPLICANT/AGENT INFORMATION (IF DIFFERENT FROM OWNER)

Name (First, Last):		
Address:		
Street Address	Suite/Unit #	
City	State	ZIP Code
Phone:	E-mail Address:	

AGENT AUTHORIZATION (IF APPLICABLE)

I am/We are the owner(s) and record title holder(s) of the property located at:

I/we authorize _____ to act as my/our agent to execute this application.

Signed:	Date:
Signed:	Date:

PROPOSED ENN MEETING DATES

Please provide 2 options	Preferred Option	Alternative Option
Date:		

ENN Policies:

- ENN are scheduled in coordination with City staff; Monday - Thursday; 5:30 PM to 7:00 PM
- ENN notice affidavit must be submitted on the notice date (15 days prior to the ENN)
- ENN are hosted by the applicant on their Zoom account (Minimum Pro Plan)
- ENN must be recorded by the applicant
- ENN are valid for one year



ENN MEETING GUIDELINES

The applicant and neighborhood shall use the guidelines below to assist them in discussing the project at the ENN. The guidelines are based on the requirements of Chapter 14 and the general plan and other formally adopted city plans. Responses from all participants shall be provided to the land use board prior to hearing the application.

Please address each of the discussion items below. Each discussion item is based on the Early Neighborhood Notification (ENN) guidelines for meetings, and can be found in [Section 14-3.1\(F\)\(5\)](#) SFCC 2001. A short narrative should address each item (if applicable) in order to facilitate discussion of the project at the ENN meeting. Responses should be submitted with the application for an ENN meeting to enable staff enough time to distribute to the interested parties. For additional detail consult the Land Development Code.

A. EFFECT ON CHARACTER AND APPEARANCE OF THE SURROUNDING NEIGHBORHOODS For example: number of stories, average setbacks, mass and scale, landscaping, lighting, access to public places, open spaces and trails.

B. EFFECT ON PROTECTION OF THE PHYSICAL ENVIRONMENT For example: trees, open space, rivers, arroyos, floodplains, rock outcroppings, escarpments, trash generation, fire risk, hazardous materials, easements, etc.

C. IMPACTS ON ANY PREHISTORIC, HISTORIC, ARCHAEOLOGICAL OR CULTURAL SITES OR STRUCTURES, INCLUDING ACEQUIAS AND THE HISTORIC DOWNTOWN For example: the project's compatibility with historic or cultural sites located on the property where the project is proposed.

D. RELATIONSHIP TO EXISTING DENSITY AND LAND USE WITHIN THE SURROUNDING AREA AND WITH LAND USES AND DENSITIES PROPOSED BY THE CITY GENERAL PLAN For example: how are existing City Code requirements for annexation and rezoning, the Historic Districts, and the General Plan and other policies being met.



E. EFFECTS ON PARKING, TRAFFIC PATTERNS, CONGESTION, PEDESTRIAN SAFETY, IMPACTS OF THE PROJECT ON THE FLOW OF PEDESTRIAN OR VEHICULAR TRAFFIC AND PROVISION OF ACCESS FOR THE DISABLED, CHILDREN, LOW-INCOME AND ELDERLY TO SERVICES For example: increased access to public transportation, alternate transportation modes, traffic mitigation, cumulative traffic impacts, pedestrian access to destinations and new or improved pedestrian trails.

F. IMPACT ON THE ECONOMIC BASE OF SANTA FE For example: availability of jobs to Santa Fe residents; market impacts on local businesses; and how the project supports economic development efforts to improve living standards of neighborhoods and their businesses.

G. EFFECT ON THE AVAILABILITY OF AFFORDABLE HOUSING AND AVAILABILITY OF HOUSING CHOICES FOR ALL SANTA FE RESIDENTS For example: creation, retention, or improvement of affordable housing; how the project contributes to serving different ages, incomes, and family sizes; the creation or retention of affordable business space.

H. EFFECT UPON PUBLIC SERVICES SUCH AS FIRE, POLICE PROTECTION, SCHOOL SERVICES AND OTHER PUBLIC SERVICES OR INFRASTRUCTURE ELEMENTS SUCH AS WATER, POWER, SEWER, COMMUNICATIONS, BUS SYSTEMS, COMMUTER OR OTHER SERVICES OR FACILITIES For example: whether or how the project maximizes the efficient use or improvement of existing infrastructure; and whether the project will contribute to the improvement of existing public infrastructure and services.

I. IMPACTS UPON WATER SUPPLY, AVAILABILITY AND CONSERVATION METHODS For example: conservation and mitigation measures; efficient use of distribution lines and resources; effect of construction or use of the project on water quality and supplies.



J. EFFECT ON THE OPPORTUNITIES FOR COMMUNITY INTEGRATION AND SOCIAL BALANCE THROUGH MIXED LAND USE, PEDESTRIAN ORIENTED DESIGN, AND LINKAGES AMONG NEIGHBORHOODS AND RECREATIONAL ACTIVITY AND EMPLOYMENT CENTERS For example: how the project improves opportunities for community integration and balance through mixed land uses, neighborhood centers and/or pedestrian-oriented design.

K. EFFECT ON SANTA FE'S URBAN FORM For example: how are policies of the existing City General Plan being met? Does the project promote a compact urban form through appropriate infill development? Discuss the project's effect on intra-city travel and between employment and residential centers.

L. ADDITIONAL COMMENTS (Optional)

ARCHITECTURAL DESIGN STANDARDS AND POINT ALLOCATIONS: TABLE 14-8.7-2				
Project:				
TABLE 14-8.7-2: Architectural Design Standards and Point Allocations (See Note 1)				OURS
ARCHITECTURAL DESIGN STANDARD CATEGORIES AND FACTORS ¹			Points ²	
WALLS				
Predominant Exterior Surface Material	Stucco, adobe	30		
	Brick, natural stone, and integrally colored unit masonry	25; 30*		
	Concrete and non-integrally colored unit masonry	20; 30*		
	Metal siding, glass curtainwall systems, glass block, wood siding, and simulated materials	10; 30*		10
	Mirrored glass curtainwall systems	-10		
Color of Predominant Exterior Surface Material	Earthtones, creams, and pastels of earthtone hues including but not necessarily limited to rose, peach, and terra cotta colors	30		30
	Pastel colors of non-earthtone hues, whites, grays, and grayish greens	15; 30*		
	High-intensity colors	-10; 10*		
	Metallic colors, glass and black	-10		
Exterior Surface Treatment	(A) Wall surfaces appear monolithic with at least 75 percent of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors, and decorative bands, with the exception of stucco, masonry or concrete control joints, are used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25 percent of the surface area of any façade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations	10		10
	(B) Wall surfaces do not meet the criteria set forth in paragraph (A) above	-10		
ROOFS				
Form	(A) Flat roof surfaces entirely concealed from public view by parapets	20		
	(B) Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with greater than or equal to four feet of vertical rise for every 12 feet of horizontal run and less than or equal to 12 feet of vertical rise for every 12 feet of horizontal run	15		
	(C) Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every 12 feet of horizontal run or having a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run	10		10
	(D) Any type of sloping roof having a height, from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roofs; or any combination of flat and non-uniformly sloping roofs	-10		
Predominant Material	(A) All surfaces are concealed from public view	20		
	(B) Standing, flat, or batten seam metal roofing, or membrane, asphalt or gravel surfaces exposed to public view	15		15
	(C) Flat tiles of clay, concrete or slate	10		
	(D) Barrel tiles of clay, concrete, or slate; and asphalt shingles	5		
	(E) Wood shingles or shakes and other materials including but not necessarily limited to plastic, fiberglass or metal roof tiles	-10		
Predominant Color	(A) All surfaces are concealed from public view	15		
	(B) Dark reds, browns, and earthtones, and natural metals including aluminum, zinc, tin, and lead	10		10
	(C) Low-intensity colors other than those stated above	5		
	(D) White	0		
	(E) Bright, non-fading, high-intensity colors and any use of multiple colors	-15		
ARCHITECTURAL DESIGN STANDARD CATEGORIES AND FACTORS ¹			Points ²	

BUILDING FORM			
Massing	(A) One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area which are designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least three percent of the length of the façade and extending at least 20 percent of the length of the façade	30	
	(B) One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area which are designed with either offsetting wall planes or upper story setbacks of at least four horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet, on at least one publicly visible façade	30	30
	(C) Buildings not utilizing the massing techniques described in paragraphs (A) or (B) above	0	
DOORS AND WINDOWS			
Treatment	(A) More than 50 percent of doors, windows and glazed surfaces, which are not located under portales or canopies having a horizontal depth of at least six feet, have either frames recessed a minimum of two inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lintels	20	20
	(B) More than 50 percent of doors, windows and glazed surfaces do not meet the requirements set forth in paragraph (A) above	0; 20*	
Area	(A) All wall surfaces which are not located under portales or canopies having a horizontal depth of at least six feet, and which do not include solar fenestration, have less than or equal to 50 percent openings consisting of doors, windows, glazing and other penetrations	20	20
	(B) Wall surfaces do not meet the requirements as set forth in paragraph (A) above	0; 20*	
Location	(A) All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are located at least two feet from outside building corners	20	20
	(B) All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, have at least a two inch mullion at inside and outside building corners	20	
Glazing	(A) All glazing is clear or tinted neutral gray	10	10
	(B) Any use of colored glazing	0; 10*	
	(C) Any use of mirrored glazing	-10	
EQUIPMENT			
Screening	(A) All roof and wall mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means	10	
	(B) All building mounted equipment set forth in paragraph (A) above is either screened; and/or painted to match visually adjacent surfaces	5	5
	(C) All building mounted equipment set forth in paragraph (A) above is not screened and/or painted to match visually adjacent surfaces	-10	
ZONE: [R-1]	TOTAL POINTS REQUIRED FOR ZONE = [180]	TOTAL POINTS ASSIGNED =	
NOTES:			
1. Enter one point score for each factor.			
2. Point values denoted by an asterisk (*) apply within the Midtown LINC Overlay District.			
	Zone	Required Points	
	C-1, C-2, C-4, BCD, PRRC, SC, HZ, MU	205	
	RR, R-1 - R-6, R-7, R-8, R-9, R-10 — R-29, RC-5, RC-8, PRC, RAC, AC	180	190
	I-1, I-2, BIP	155	