



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
OCTOBER 08, 2024
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at www.youtube.com/@cityofsantafe. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2 pm on the day of the hearing.

1. ROLL CALL

2. APPROVAL OF AGENDA

3. APPROVAL OF MINUTES:

4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

- a. 2024-008478-HDRB. 636 Garcia St, Units 2 & 3. (July 23, 2024)
- b. 2024-008514-HDRB. 626 Gomez Rd. (July 23, 2024)
- c. 2024-008515-HDRB. 544 Canyon Rd. (July 23, 2024)
- d. 2024-008543-HDRB. 753 Acequia Madre (July 23, 2024)

5. MATTERS FROM THE PUBLIC

6. STAFF COMMUNICATIONS

7. OLD BUSINESS

8. NEW BUSINESS

- a. 2024-009127-HDRB, 330 Otero St., Downtown & Eastside Historic District, Contributing, Fritz and Lynn Denny, agents/owners propose to replace windows on a residential structure, An exception is requested to Section 14-5.2(D)(5)(b) to remove historic material. (Lani McCulley, LJMcCulley@santafenm.gov)
- b. 2024-009128-HDRB, 410 Camino Cabra, Downtown & Eastside Historic District. Non-Contributing, Gayla Bechtol Architect, agent for Stephanie Fine, owner, proposes to demolish a 1,276 sq. ft. residential structure. (Lani McCulley)
- c. 2024-009130-HDRB, 925 Acequia Madre, Downtown & Eastside Historic District, Contributing, Gregory Waits, agent for Jason Flanagan, owner,

proposes to construct a freestanding 180 sq. ft. portal to a height of 9'-0", install HVAC, re-roof and stucco both residential structures. (Paul Duran, PADuran@santafenm.gov) **POSTPONED**

- d. 2024-009129-HDRB, 544 Canyon Rd. Downtown & Eastside Historic District, Contributing, Jon Dick, agent for Jeff Serra, owner, proposes to construct a 118 sq. ft. addition to a height of 10'-5 ½ " where the maximum allowable is 15'-8" and patio with steps, an exception is requested to 14-5.2 (D)(2)(d) to exceed 50% of the historic footprint. (Paul Duran)

9. DISCUSSION ITEMS

10. MATTERS FROM THE BOARD

11. NEXT MEETING: Tuesday, October 22, 2024

12. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8478-HDRB

Address – 636 Garcia St., Units 2 and 3

Agent’s Name – Virgil Design and RPA & Associates, LLC

Owner/Applicant’s Name – Laurel Guy

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 23, 2024.

BACKGROUND

The multi-family residence at 636 Garcia St. is a three-unit compound in the Downtown and Eastside Historic District, with no historic status assigned to it. The structure was constructed in the early 1950s by adding an apartment and a one-bedroom rental to an existing 1940s garage. What was formerly the garage became unit 3. In the 1950s, the three units were associated with the main residence to the south, which was split from the lot in 2021 and re-addressed 640 Garcia St.

Units 2 and 3 at 636 Garcia St. are single level, constructed of adobe in a vernacular style, with stucco walls and a concrete foundation. The roof is a combination of flat, gabled and shed roofs. Windows throughout the structure are wood with a combination of single-hung, casement, combination picture, sliding, and fixed windows. Doors consist of single-leaf wood and double doors with full-lite, plank half-lite, and divided glass.

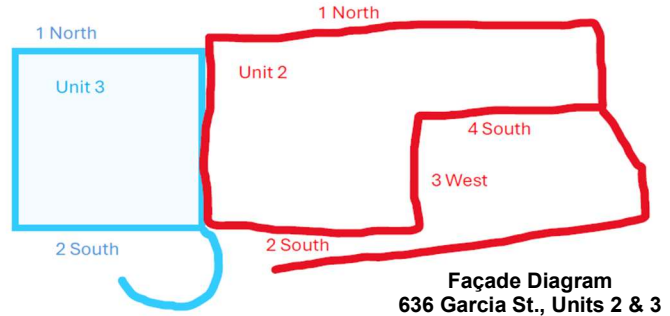
Unit 2 is 1,032 square feet and shares a common wall with unit 3 on the west and a common wall with unit 1 on the east. The south elevation is the front of the structure, looking into a small courtyard, and consists of an entry door and windows in the bedroom, kitchen and living room. Some of the windows have been replaced at an unknown date and it is unclear if the openings are original to the structure. The north elevation includes newer windows and several non-historic openings.

Unit 3 is 754 square feet and shares a common wall with unit 2 on the east and the neighboring property to the west. The south elevation looks onto a small brick courtyard. The east end is most likely part of the original small house and has a full-lite door in the living room flanked by modern casement windows. To the west was likely the earlier garage and includes a half-lite door and two windows arranged in a stepped manner. The north has gabled and flat-roof sections. The gabled area on the east has a pair of modern glass doors opening to the living room, while the flat roof portion on the west has a pair of wood sliding windows in the bedroom.

There are no known previous cases for this structure. It is apparent from a professional window assessment that the windows and doors are all non-historic with most replacements taking place on or between 1991 and 1999. The Applicant requests:

- 1) Status review of the residential structure at Unit 2 and Unit 3; and
- 2) Designation of primary façades, if applicable.

Staff recommends that the historic status of this structure with these two living units be designated as contributing, with the south-facing elevations, façade 2 of Unit 3 and façades 2 and 4 of Unit 2, as the primary façades. The Staff recommends façade 2 of Unit 3 as primary due to the historic width of the door, the layout of the fenestrations and the various rooflines. The Staff recommends façades 2 and 4 of Unit 2 as primary due to the inset of the fenestrations and the variable roofline of the structure.



FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be designated as contributing, and the south façade (façade 2) of Unit 3, and the south facades (façades 2 and 4) of Unit 2 to be designated as the primary facades per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more

principal faces or elevations of a building with features that define the character of the building’s architecture.

9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by the Staff.
11. The Board finds that the south façades (façade 2 of Unit 3, and façades 2 and 4 of Unit 2) are the elevations of the structure with the features that define the character of the structure’s architecture.
12. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review the structure’s historic status.
3. The Board designates the structures Unit 2 and Unit 3 as contributing structures.
4. The Board designates the following elevations of the residences as the primary façades: all south-facing façades (façade 2 of Unit 3, and façades 2 and 4 of Unit 2).

IT IS SO ORDERED ON THIS 8th DAY of OCTOBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8514-HDRB

Address – 626 Gomez Rd.

Agent’s Name – Andrej Davidson and Masha Keady

Owner/Applicant’s Name – Andrej Davidson and Masha Keady

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 23, 2024.

BACKGROUND

The single-family Pueblo Revival style residence at 626 Gomez Rd. is listed as contributing to the Don Gaspar Area Historic District, though primary façades have not yet been designated. The property is listed as contributing on the City of Santa Fe’s official Buildings Historic Status map. Two historical surveys for the property, one completed in 1982 and another in 1995, both list the property as contributing. The original construction date is listed as 1935 in the 1982 Historic Building Inventory Form, and “by 1942” in the 1995 HBI Resurvey.

Evident in the historic survey site plans, an addition was made on the west elevation between 1982 and 1995. The 1995 Resurvey reads that the addition has little effect on the historic character of the original building since it is not noticeable from the street and is clearly different from the original structure. In 1998, the 2-foot yard wall was removed and replaced with a stucco-finished block yard wall varying from 6 feet to 7’6” high. Additionally, in 1998 glass block replaced a window on an eastern elevation, but the dimensions of the opening remain the same. Around the same time, a roof awning that ran the entire west elevation of the addition was replaced with a modern, galvanized metal drip edge.

A shed is located on the property. It was mentioned in the 1982 historic inventory and may well be eligible for historic status, though the exact date of its installation is not known. The shed is a simple pitched-roof, frame structure with wood shingles and stucco. The door is wood with a single diamond-shaped lite.

The homeowners applied for a status downgrade of the residence in 2022, but the case was never heard. No other cases were located in the Historic Preservation office files. Today, the Applicant requests confirmation of the residence’s contributing status, a designation of its primary façades, and status designation of the yard wall and rear shed structure.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials

and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.

2. Historic Preservation Division Staff Recommendation: The Staff recommended the historic status of the structure be maintained as contributing with the original east elevation designated as the primary façade, excluding the non-historic porch, the historic status of the yard wall and the shed be designated non-contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the residential structure meets the definition of a “contributing structure,” as recommended by the Staff.
11. The Board finds that the north, south and east façades, excluding the 1980s addition on the west end of the building and excluding the glass-block window on the east façade, are the primary elevations of the structure with the features that define the character of the structure’s architecture.
12. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the yard wall and the shed structure meet the definition of “non-contributing” structures, as recommended by the Staff.
13. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review the property’s historic status.
3. The Board maintains the residential structure’s contributing status.
4. The Board designates the north, south and east elevations of the residence as the primary façades. This designation:
 - a. Includes the window opening on the east façade but excludes the glass-block window; and
 - b. Excludes the 1980s addition on the west elevation of the building and non-historic porch on the east façade.
5. The Board designates the yard wall and shed as non-contributing structures.

IT IS SO ORDERED ON THIS 8th DAY of OCTOBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geralyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8515-HDRB

Address – 544 Canyon Rd.

Agent’s Name – Jon Dick

Owner/Applicant’s Name – Jeff Serra

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 23, 2024.

BACKGROUND

544 Canyon Rd. is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The property, located on a 0.5-acre lot, comprises the main residence, garage and guest house. The main residence was originally constructed in the mid-1930s as an estate home for Col. Thomas Benton Catron in an L-shaped Spanish Pueblo Revival architectural design style, as seen by the flat roof, rounded parapets, adobe block and wooden viga construction material, and the recessed divided-lite doors and windows. Although there have been substantial renovations to the interior of the house, and a non-historic addition on the east elevation, the core footprint retains a historic roofline and its original fenestration, although some doors and windows have been replaced. At this hearing, the Applicant asks the Board to review the structure’s historic status and to designate primary facades, if applicable.

The main residence has undergone other, minor alterations throughout time, a previously existing garage was remodeled to make the guest house, and another garage was added. The addition and alterations to the accessory structures are non-historic. Previous HDRB cases include:

Case # H-93-007: Remodel of existing detached garage, with added partial second story, for use as a guest house. Although the HDRB originally denied this project, the Governing Body approved it on appeal, overturning the HDRB’s decision.

Case # H-11-138: Proposed remodel with approximately 4,550 square feet of additions denied by the HDRB. The HDRB designated the north and south elevations as primary façades.

Case # H-12-0031-A: Historic status downgrade requested for guest house, previously designated contributing. The HDRB granted the application, redesignating the guest house as non-contributing.

Case # H-12-0031-B (May 8, 2012): HDRB approves remodel to the non-contributing guest house with a 104-square-foot addition, window and door replacement, removal of security grille and chimney cap, and relocation of a canale.

Case # H-12-031 (amendments to previous approval): August 14, 2012, HDRB approves

construction of free-standing garage and addition to east elevation of main residence, replacement of windows with French doors in original opening on the south, primary elevation, and alterations to the non-primary, west façade. March 26, 2013, HDRB approves replacement of deteriorated wooden elements on portals, alteration and replacement of front vehicle gate and construction of a 4-foot-high yard wall.

Case # H-18-002: HDRB approves 202-square-foot addition on the east elevation of the main residence, reversal of window replacement with French doors on the south elevation, and two additions on the non-historic garage totaling 708 square feet.

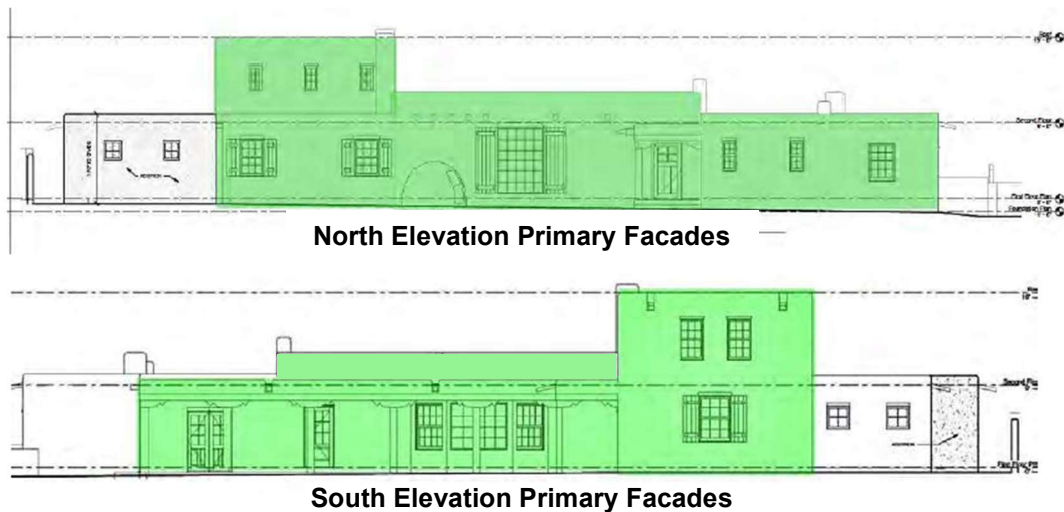
FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. The City Historic Preservation Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the main residential structure be maintained as contributing and the guest house, garage, and yard wall as non-contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures, and recommends the north and south façades be designated as primary as indicated in the façade diagram, façades 1, 3 and 9.
3. This application is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a Historic District, approximately 50 years old or older that helps to establish and maintain the character of that Historic District. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in an Historic District, that is less than 50 years old or that does not

exhibit sufficient historic integrity to establish and maintain the character of the Historic District.”

10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by Staff
11. The Board finds that the north and south façades of the original care structure are the primary elevations of the structure with the features that define the character of the structure’s architecture, as shaded in these illustrations:



These two facades demonstrate and articulate the original Spanish Pueblo Revival style as seen in the adobe block and wooden viga construction material, flat roof and rounded parapets, and recessed, divided-lite doors and windows.

12. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board maintains the contributing status of the main residence.
4. The Board designates the following elevations of the main house as the primary façades: north, excluding the façade of the east-end, non-historic addition; and south, excluding the set-back den wall on the west end where fenestration has been infilled.
5. The Board designates the guest house, garage and yard wall as non-contributing structures.

IT IS SO ORDERED ON THIS 8th DAY of OCTOBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8543-HDRB

Address – 753 Acequia Madre

Agent’s Name – John A. Padilla

Owner/Applicant’s Name – Margot Spitz Marbut

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on July 23, 2024.

BACKGROUND

The single-family residence at 753 Acequia Madre is built in the Spanish Pueblo Revival style and is listed as non-contributing to the Downtown and Eastside Historic District. The residence was constructed c. 1929-1934. A second floor was added in 1967 and a number of rooms at the rear of the house and property were constructed in the late 1970s to 1980s. Some historic windows were also changed at that time. In 1997, Case # H-97-113, the HDRB approved another second-story addition on the north elevation. In 2008, Case # H-08-038, the owner removed the non-historic carport and portal, altered non-historic openings, reconfigured the steps and overhang on the west elevation, lowered yard walls, and replaced vehicular gates. In that case, the historic status of the property seemed unclear, and the Findings of Fact and Conclusions of Law noted, “The 2003 Historic Cultural Properties Inventory recommends that the building is non-contributing although the Official Map still lists the building as contributing.”

In a hearing June 11, 2024, the HDRB downgraded the property to non-contributing status. See Case # 2024-8258-HDRB. The Board found that the historic integrity of the property had been lost due to extensive alterations, which have not acquired historic significance in their own right, as specified in SFCC Section 14-5.2(C)(1)(b). The Applicant now requests to:

1. Replace the existing second-floor non-historic bay windows at the courtyard on the west elevation.
2. Re-design and replace the roof of the existing 2008 portal on the west elevation from a shed roof to a parapeted roof, with a header to match the design of the proposed carport.
3. Construct a 451-square-foot carport to a height of 11’0” where the maximum allowable height is 14’2” on the west elevation. The carport will have parapets with an 8” to 10” wide header beam and 10” wood viga posts. The roof will be constructed of a flat panel of greenhouse-type material to allow light into the parking area.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS as follows:

1. The Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the application appears to meet the underlying zoning standards set

- forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
 3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
 4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
 5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
 6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
 7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
 8. The information contained in the Staff Report and exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves Items # 1-3 as set forth in the application, as recommended by Staff.

IT IS SO ORDERED ON THIS 8th DAY of OCTOBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas, Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid, Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-009127--HDRB

Project Description: 2024-009127-HDRB, 330 Otero St., Downtown & Eastside Historic District, Contributing, Fritz and Lynn Denny, agents/owners propose to replace windows on a residential structure, An exception is requested to Section 14-5.2(D)(5)(b) to remove historic material.

Project Location(s): 330 OTERO ST
Santa Fe, NM 87501

Contacts:

Applicant: Frank Denny
330 Otero ST
87501,

Property Owner: Frank Denny
330 Otero ST
87501,

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: 1985

Year of Construction: 1950s

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 8, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-009127-HDRB, 330 Otero St., Downtown & Eastside Historic District, Contributing, Fritz and Lynn Denny, agents/owners propose to replace windows on a residential structure, an exception is requested to Section 14-5.2(D)(5)(b) to remove historic material.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [window assessment]

STAFF RECOMMENDATION:

Staff finds that all the exception criteria have been met and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The principal residential structure at 330 Otero Street is designated as contributing. The east façade including the portal, doors and windows, and the southeast corner window are designated as primary. The accessory structure is designated non-contributing to the Downtown and Eastside Historic District. The principal structure was constructed in the 1950's by builder Alan Stamm and retains its original footprint.

Like many of the mid-century Stamm homes, design details are subdued. The east façade includes the garage door opening, a small front portal and entry door, steel casement windows, a solid wood entry door, and a corner picture window. On the southeast and southwest corners, larger windows meet at the corners. All other windows on the structure are steel casement.

The applicant proposes the following exterior alterations:

- 1) Replace windows. Windows will have to be cut out of the opening and the wood sill repaired. However, the overall opening size will not be altered, and the windows will have the appearance identical to the existing windows. Windows will be painted in dark brown. An exception to Section 14-5.2(D)(5)(b) to remove historic material is requested.
- 2) Repair the wood buck underneath the sills and the sills of the windows to water seal the new windows.
- 3) Stucco repairs around the windows to match the existing cement stucco in “Adobe”.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(b): The applicant requests an exception to remove historic material.

(i) *Do not damage the character of the district*

Applicant Response: We are not changing the size or location of the new windows. We specifically sought windows to look as close to the existing windows as possible. The window replacements will not affect the character of the neighborhood.

Staff Response: Staff agrees with this response. The window sizes and style will not be changed as submitted and therefore will appear as the same, preserving the character of the district.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The existing windows are leaking and allowing water to infiltrate the house. This has caused the framing of the wall to rot. This is causing movement of the windows and the plaster inside the home to be destroyed and the exterior stucco to crack. The windows leak air and are not at all energy efficient creating the hardship of high energy costs and a cold home. If no action is taken the home will be severely damaged.

Staff Response: Staff agrees with this response. The windows are in poor condition and cause water to leak within the home causing damage to several other aspects of the home. Replacement of the windows in-kind will minimize the impact on the building and will retain a similar design.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: We are not trying to change the design of the home or the windows. We want to preserve the integrity of the home for our family and the neighborhood. I have been a carpenter, wood worker and home builder in Santa Fe for over fifty years. We are rooted in the community and this home is our legacy for our three sons.

Staff Response: Staff agrees with this response. The windows will be changed in-kind and appear the same just like those that were changed on the non-primary facades several years ago.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each *structure* to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken;
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

(D) General Design Standards for All Historic Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a

slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;

- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;

- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Administrative
Approval Cases**

2021-003493-ADMIN

2020-001685-ADMIN

**Window and Door
Replacements**

330 Otero Street



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: April 14, 2021

To: Building Permit Division

From: *Angela S. Bordegaray*

Angela Bordegaray

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 330 OTERO ST, Santa Fe, NM 87501

Case Number: 2021-003493--ADMIN

Contact Name: JOHN SPIESS

Phone Number: 505-469-6984

Email: DLPSANTAFE@AOL.COM

Approved Scope of Work:

Replace two doors and three windows with Windsor white aluminum clad wood.

Patch stucco to match existing as closely as possible.

**FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
ROUTE TO HISTORIC DIVISION
INTERIM HISTORIC INSPECTION
FINAL HISTORIC INSPECTION**



City of Santa Fe

Land Use Department | Historic Preservation Division

Administrative Approval

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB

Date: February 03, 2020

To: Building Permit Division

From:

A handwritten signature in black ink, appearing to read "Carlos Gemora".

Carlos Gemora

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 330 OTERO ST, Santa Fe, NM 87501

Case Number: 2020-001685--ADMIN

Contact Name: Frank Denny

Phone Number:

Email:

Approved Scope of Work: *The principal structure at 330 Otero Street is a contributing building with the east facade designated as primary (1/14/2020; Case 2019-1516-HDRB).*

Proposed Changes: *Applicant may change out two of the existing steel bedroom windows on the west facade (69" x 36") with two similar windows to meet egress (64" x 39"). New windows will each have two casement units each to meet egress requirements, will have a metal-clad exterior, and will be colored "brown" or "bronze." New windows will have divided-lites with exterior muntins and each window unit will be divided into two columns and three rows (6-lites per panel; 12 lites per window pair).*

FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
ROUTE TO HISTORIC DIVISION
INTERIM HISTORIC INSPECTION
FINAL HISTORIC INSPECTION

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
2019-001516-HDRB
Status Review
330 Otero Street**

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2019-001516-HDRB

Address – 330 Otero

Agent's Name – Lynn Forsdale and Fritz Denny

Owner/Applicant's Name – Lynn Forsdale and Fritz Denny

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 14, 2020.

BACKGROUND

330 Otero Street is a residential home and accessory structure designated non-contributing and without status and located in the Downtown and Eastside Historic District. In this case, the Applicants request historic status review of both structures. The principal structure was constructed in the 1950's by builder Alan Stamm and retains its original footprint, doors, and windows. The rear accessory structure, now used as a studio and storage building, was probably in existence by 1971 and is likely to have been built at a similar time as the principal home. A 1985 historic report provides no additional details on the principal structure and did not identify the accessory structure.

Like many of the mid-century Stamm homes, design details are subdued. Windows are mostly steel casements and under the front, eastern portal is a solid wood entry door. On the southeast and southwest corners, larger windows meet at the corners.

Staff believed the rear accessory building to be historic but was unsure when it was built and what purpose it originally served. The building appears to be wood construction, rather than masonry like the principal building, and features an overhanging roof and wood-framed windows which are of a different style and unknown date. On the north façade there looks to be an infilled opening constructed out of plywood (T1-11) that could have once fit a garage door but, looking at historic surveys, vehicular access was likely never possible. The infilled opening also has a non-historic entry door.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (SFCC) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommend that the historic status of the principal structure be maintained as non-contributing and that the accessory structure be designated non-contributing per SFCC Section 14-5.2(C), Designation of

Significant and Contributing Structures. With regard to the principal structure, Staff noted that the building and the east façade have minimal public visibility and are not prominent on the streetscape, and that the most prominent feature is the non-historic garage door. With regard to the rear accessory building, Staff noted a lack of public visibility and the inability of the structure to contribute to the streetscape

3. The project is, without limitation, subject to requirements of the following sections of the SFCC:
 - Section 14-5.2(D)(9), General Design Standards, Height Pitch Scale and Massing (of any structure);
 - Section 14-5.2(D), General Design Standards; and
 - Section 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts.
4. The property is located in the following district and subject to the related sections of the SFCC:
 - Downtown and Eastside Historic District (Section 14-5.2(E)).
5. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
6. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
7. SFCC 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
8. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.
9. The Board, in response to the application, finds the principal structure meets SFCC Section 14-12.1 criteria for designation as “contributing” based on the presentation at the hearing and the information set forth in the Staff Report and exhibits.
10. The principal structure is more than fifty years old.
11. The principal structure has mid-century design, historic features, and massing typical of a contributing structure.
12. The principal structure helps to establish and maintain the character of the district, which includes other Stamm homes that front Otero.
13. The principal structure has had minor alterations, but its historic integrity remains. The structure retains its original footprint and its historic doors and windows.
14. These eastern façade of the principal structure should be designated as the primary façade because it includes the character defining features of the structure’s architecture, including the garage door opening, small front portal and entry door, steel casement windows, and corner picture window for the living room.
15. The rear accessory structure does not meet the SFCC Section 14-12.1 criteria for designation as “contributing.”

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acts upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant's request to review historic status.
3. The Board upgrades the principal structure to contributing status.
4. The Board designates the accessory structure as non-contributing, as recommended by staff.
5. The Board designates the east elevation of the primary structure as the primary façade, including the southeast corner window and excluding the non-historic garage door.

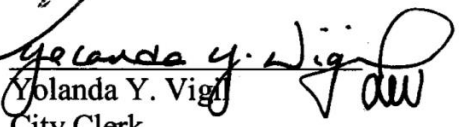
IT IS SO ORDERED ON THIS 11th DAY OF FEBRUARY 2020, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.



Chairperson

11 February 2020
Date:

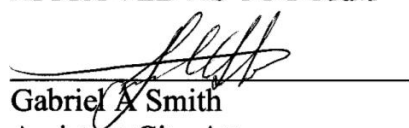
FILED:



Yolanda Y. Vigil
City Clerk

2/13/20
Date:

APPROVED AS TO FORM



Gabriel A. Smith
Assistant City Attorney

2/13/2020
Date:

MOTION: In Case #2019-001519-HDRB, 1369 Cerro Gordo Road, Member Roybal moved to approve per staff recommendations with the applicant resubmitting the drawings with the viga placement. Member Biedscheid seconded the motion and clarified that the Board was approving the height allowance for a sloping site and design based on the fact that it is largely not visible from public right of ways.

VOTE: The motion passed by unanimous (5-0) voice vote with Members Biedscheid, Guida, Katz, Larson and Roybal voting in favor and none voting against.

6. **Case #2019-001516-HDRB. 330 Otero. Downtown and Eastside Historic District.** Lynn Forsdale and Fritz Denny, owners and agents request a historic status review with designation of primary façades, if applicable, for a noncontributing residential structure. (Carlos Gemora)

Mr. Gemora presented the staff report as follows:

STAFF REPORT:

330 Otero Street is a residential home and accessory structure designated non-contributing and without status and located in the Downtown and Eastside Historic District. The principal structure was constructed in the 1950's by builder Alan Stamm and retains its original footprint, doors, and windows. The rear accessory structure, now used as a studio and storage building, was probably in existence by 1971 and is likely to have been built at a similar time as the principal home. A 1985 historic report provides no additional details on the principal structure and did not identify the accessory structure.

Like many of the mid-century Stamm homes, design details are subdued. Windows are mostly steel casements and under the front, eastern portal is a solid wood entry door. On the southeast and southwest corners, larger windows meet at the corners. Staff recognize mid-century, historic features and massing which might be typical of a contributing building (note the Stamm homes fronting Otero). These features are most completely captured by the east façade which includes the garage door opening, the small front portal and entry door, steel casement windows, and the corner picture window for the living room. However, staff also recognize that the building and the east façade have minimal public visibility and are not prominent on the streetscape. The most prominent feature is actually the non-historic garage door. Because the historic features are relatively common, have little public visibility, and are not prominent features on the streetscape,

staff find the building to have a lesser contribution to the district and recommend maintaining the non-contributing historic status.

The rear accessory building is believed to be historic, but staff are unsure when or for what purpose the building originally served. The building appears to be wood construction, rather than masonry like the principal building, and features an overhanging roof and wood-framed windows which are of a different style and unknown date. On the north façade there looks to be an infilled opening constructed out of plywood (T1-11) that could have once fit a garage door but, looking at historic surveys, vehicular access was likely never possible. The infilled opening also has a non-historic entry door. Given the lack of public visibility and the inability of the structure to contribute to the streetscape, staff recommend a status of non-contributing for the accessory structure.

STAFF RECOMMENDATION:

Staff recommend that the historic statuses of the principal and accessory structures be maintained or designated as non-contributing and that the accessory structure be designated non-contributing per 14-5.2(C) Designation of Significant and Contributing Structures.

QUESTIONS FOR STAFF

Member Biedscheid asked if the building was designated as contributing and as a primary façade that includes the corner window, how would that be done.

Mr. Gemora said staff's suggestion was just to designate the east façade, because it captures the window up to that point, and renovation of the window on the other side would still be part of that. The Board could always choose the south façade, but staff would recommend discretion. The south façade is not publicly visible and does not contribute much to the streetscape and the windows are captured on the east façade. But that is at the discretion of the Board.

Chair Rios asked to confirm on the public visibility that the most prominent feature that could be seen from Otero is the garage. She asked if there were portions of the house on the east façade that could also be seen.

Mr. Gemora said depending on where a person was, they might be able to see an eastern window closest to the garage door, and sometimes part of the portal. Staff thought that was minimal public visibility and not prominent on the streetscape. He noted that public visibility is not a prime consideration when considering primary façades or historic significance.

Chair Rios asked if that was his reasoning for his opinion that the building is not contributing.

Mr. Gemora explained it was a combination. Looking at definitions for a contributing structure and noncontributing, contributing structure has three different elements:

- 1) *May have had minor alterations but its integrity remains.* This structure fits that.
- 2) *Although the contributing structure is not unique in and of itself, it adds to the historic associations or historic architectural design qualities significant for a district.* The Board has found there are features in Stamm buildings such as those on Otero Street, that are historically significant. The features on this building are to some degree historically significant. But also, they have difficulty adding to the historic associations of the district because it is set so far back, and not prominent on the streetscape, and not very publicly visible.
- 3) *The structure is approximately 50 years old, or older, which this is, but also that it helps to establish and maintain the character of the historic district.*

In staff's opinion it did not have enough characters that were either significant to the district or able to establish and maintain the character of the district because of the lesser public visibility. Looking at the definition of noncontributing structure, of less than 50 years old, or does not exhibit sufficient historic integrity to establish and maintain the character of the district, they are talking about a nuanced look at different definitions. His belief is it more accurately was described by the noncontributing definition.

Member Katz said he agreed with Mr. Gemora. He said looking at subdivisions in Santa Fe, if they were all older than 50 years and all looked alike, would they make all of them contributing buildings. They should be careful labeling and statusing contributing buildings that don't have anything particularly unique. His favorite part of this building is the windows that meet at the corner, which is against all rules in that district. This is not helping to sustain the style of the district and is a contradiction to the style. The Board has made a couple of houses on Otero built by Stamm contributing, but they appear different than this house in many respects. They are certainly more visible and do a better job of maintaining the character of the district. He said he appreciated Mr. Gemora's recommendation.

Member Guida thought this case tough to consider looking at visibility. Overwhelmingly, even though the building is not in great repair now, the building is intact. To date the Board has made recommendations to status mid-century buildings in the

downtown districts, and this is one. He could not see why, if part of a subdivision, it would be any less fitting to be there. He encouraged the Board to think about this as a Stamm house, which is rare on this side of town. On its own terms it contributes to the district, and to the district's variety. They could look to this house when considering corner windows in 20 years and look to this as a precedent.

Member Larson stated in this case the structure has all historic windows and doors intact; very character defining of the era. When talking about historic buildings, they are not necessarily looking for something that stands out or with a lot of detail and ornament. They are looking for the character defining historic features, and they can see that here. The one feature that is not historic is the garage door. She assumed the opening might be the same size and if not, it was enclosed at some point. That would be easily reversible.

Member Roybal agreed with Member Katz about being careful of the designation making everything over 50 years old contributing. He agreed with staff this does not meet the criteria.

Member Biedscheid commented that when a historic home retains its original footprint and its historic doors and windows, to date, the Board has considered that contributing almost unanimously. That this is one of a group of Stamm homes in the block, is a larger contribution to the district. She thought the Board should consider that this is a historic Stamm home that is built with a garage. As they receive more requests for garages on the east side and in historic districts, it would be nice to preserve examples of historic garages. This is a single car garage and its massing and opening would be a key reference point going forward.

APPLICANT'S PRESENTATION

Fritz Denny, 330 Otero Street, was sworn. He said this is his family home and they are just trying to preserve it. He has been a carpenter in town for 50 years and his son lives in the home now. They had to replace the sewer line and do not have a lot of money. They do not want the home to fall into ill repair and he is just trying to keep the home and wants to preserve it. It is off Otero Street and not on the street. He remembered the house from the 70s before his father bought the house and the garage was much the same. Nothing has been changed other than the door. He thought they have the original dimensions, and nothing has been changed, but there are upgrades. They need to do some work and have a small amount of funds to do that now and that is all they are trying to do.

QUESTIONS FOR THE APPLICANT

Chair Rios asked if Mr. Denny agreed with staff's recommendation that the house should be noncontributing.

Mr. Denny said noncontributing makes it easier for them to do what they need to, and he is not sure he understands all of that. Stamm home windows are metal and not very good. At some point, if they can afford it, they would like to do something there. They are not egress and he would rather it be non-historic. They do not intend to sell the house and he has lived there for 50 years and are Santa Feans and are not into renting.

Member Guida asked if staff could clarify for the benefit of the applicant, if the building was designated historic what the scenario would be to replace windows.

Chair Rios stated this is a status review and they cannot discuss what might happen in the future. She told the applicant if the Board designated the home as contributing, he would have to come to the Board. She was sure they would work with him as they do with every applicant that comes before them.

Mr. Gemora added that hypothetically to replace windows, this Board hearing is free for the applicant minus the \$25 fee. Coming to the Board with a request would be \$250 and to request an exception \$350 and would take a little longer. That is mainly for primary facades or changing identifiable character of the building. Those costs would be to change windows, or features, on primary facades, but could also include nonprimary façades as well.

PUBLIC HEARING.

Ms. Beninato, previously sworn, expressed that she was happy that at least three members found this contributing. She thought visibility was not a characteristic or criteria for contributing status. The footprint is original as well as the doors and windows except the garage door, but the opening is original. The staff is not educating applicants in having something designated as primary and what that means and how that works. The applicant has a lot of opportunity if they need to add on in a different direction. It is important the City Historic Board begin to recognize that mid-20th century buildings are historic and worthy of being preserved. And to say there are a couple on the street so who cares about the rest, is a destruction of the historic fabric. If they start putting holes in the fabric, they could have a totally different neighborhood. She hoped they find it contributing and designate the east side as primary.

BOARD DISCUSSION

Member Larson thought they should talk about the rear accessory building, the shed. It may have been a later addition and non-historic and likely noncontributing to the historic district character. Mr. Gemora had mentioned it never had vehicular access.

Mr. Gemora replied in historic property documents it does not appear to have had vehicular access. He might be wrong but it would have meant illegal easements on the side of the property. There is a vehicular sized opening that has been infilled on the north façade.

Member Larson thought in the photos it appeared to be a temporary structure because of the choice of materials.

MOTION: In Case #2019-001516-HDRB, 330 Otero, Member Biedscheid moved to:

- designate the main house as contributing based on the 1950's house retaining its original footprint, historic doors and windows;
- designate the east façade as primary, excluding the non-historic garage door material;
- adopt staff's recommendation regarding the accessory structure, of designating as non-contributing based on the materials, wood construction, and plywood infill and non-historic door and that the appearance was of a temporary structure.

Member Larson seconded the motion.

Member Guida offered as a friendly amendment that it would be important to note the corner window at the southeast corner and it should be considered part of the east façade primary.

Member Biedscheid accepted the amendment and added that this is an example of a historic garage worthy of a characteristic that should be preserved.

VOTE: The motion passed by majority (3-2) voice vote with Members Biedscheid, Guida and Larson voting in favor and Members Katz and Roybal voting against.

7. **Case #2019-001332-HDRB. 540 Garcia Street. Downtown and Eastside Historic District.** Willow Howard, agent for Star Vista LLC, owner, requests a historic status review with designation of primary facades, if applicable, for a noncontributing structure. (Daniel Schwab)

Mr. Schwab presented the staff report as follows:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1

Renee Villarreal, District 1

Michael J. Garcia, District 2

Carol Romero-Wirth, District 2

Roman "Tiger" Abeyta, District 3

Chris Rivera, District 3

Jamie Cassutt-Sanchez, District 4

JoAnne Vigil Coppler, District 4

PROJECT DESCRIPTION: Lynn Forsdale and Fritz Denny, owners and agents request a historic status review with designation of primary façades, if applicable, for a non-contributing and an associated non-stated residential structure.

Case number: **2019-001516-HDRB**

Project Type: HDRB

PROJECT LOCATION (S): 330 Otero Street

PROJECT NAMES:

OW/AP – Fritz Denny and Lynn Forsdale

330 Otero Street

Santa Fe, NM 87501

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on January 14, 2020. The decision of the Board was to upgrade the principal structure to contributing and to designate the east façade, including the southeast corner window and excluding the non-historic garage door. The Board assigned a non-contributing status to the associated, rear structure.

For further information, please call 505-955-6605.

Sincerely,

Carlos Gemora

Land Use Planner Senior

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Lynn Forsdale and Fritz Denny, owners and agents request a historic status review with designation of primary façades, if applicable, for a non-contributing residential structure.

Case number: **2019-001516-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **330 Otero Street**
PROJECT NAMES:

OW/AP – Fritz Denny and Lynn Forsdale 330 Otero Street Santa Fe, NM 87501

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

H-2834

YEAR OF CONSTRUCTION

1950s / Circa 1970

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

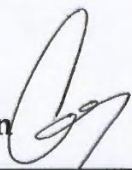
USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

City of Santa Fe, New Mexico

memo

DATE: January 14, 2020
TO: Historic Districts Review Board Members
FROM: Carlos Gemora, Senior Planner, Historic Preservation Division



Case # 2019-001516

Address: 330 Otero Street
Historic Status: Non-contributing & non-stateded
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Façade Map; Historic aerials from Staff

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommend that the historic statuses of the principal and accessory structures be maintained or designated as non-contributing and that the accessory structure be designated non-contributing per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

330 Otero Street is a residential home and accessory structure designated non-contributing and without status and located in the Downtown and Eastside Historic District. The principal structure was constructed in the 1950's by builder Alan Stamm and retains its original footprint, doors, and windows. The rear accessory structure, now used as a studio and storage building, was probably in existence by 1971 and is likely to have been built at a similar time as the principal home. A 1985 historic report provides no additional details on the principal structure and did not identify the accessory structure.

Like many of the mid-century Stamm homes, design details are subdued. Windows are mostly steel casements and under the front, eastern portal is a solid wood entry door. On the southeast and southwest corners, larger windows meet at the corners. Staff recognize mid-century, historic features and massing which might be typical of a contributing building (note the Stamm homes fronting Otero). These features are most completely captured by the east façade which includes the garage door opening, the small front portal and entry door, steel casement windows, and the corner picture window for the living room. However, staff also recognize that the building and the east façade have minimal public visibility and are not prominent on the streetscape. The most prominent feature is actually the non-historic garage door. Because the historic features are relatively common, have little public visibility, and are not prominent features on the streetscape, staff find the build to have a lesser contribution to the district and recommend maintaining the non-contributing historic status.

The rear accessory building is believed to be historic but staff are unsure when or for what purpose the building originally served. The building appears to be wood construction, rather than masonry like the principal building, and features an overhanging roof and wood-framed windows which are of a different style and unknown date. On the north façade there looks to be an infilled opening constructed out of plywood (T1-11) that could have once fit a garage door but, looking at historic surveys, vehicular access was likely never possible. The infilled opening also has a non-historic entry door. Given the lack of public visibility and the inability of the structure to contribute to the streetscape, staff recommend a status of non-contributing.

RELEVANT CODE CITATIONS:

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

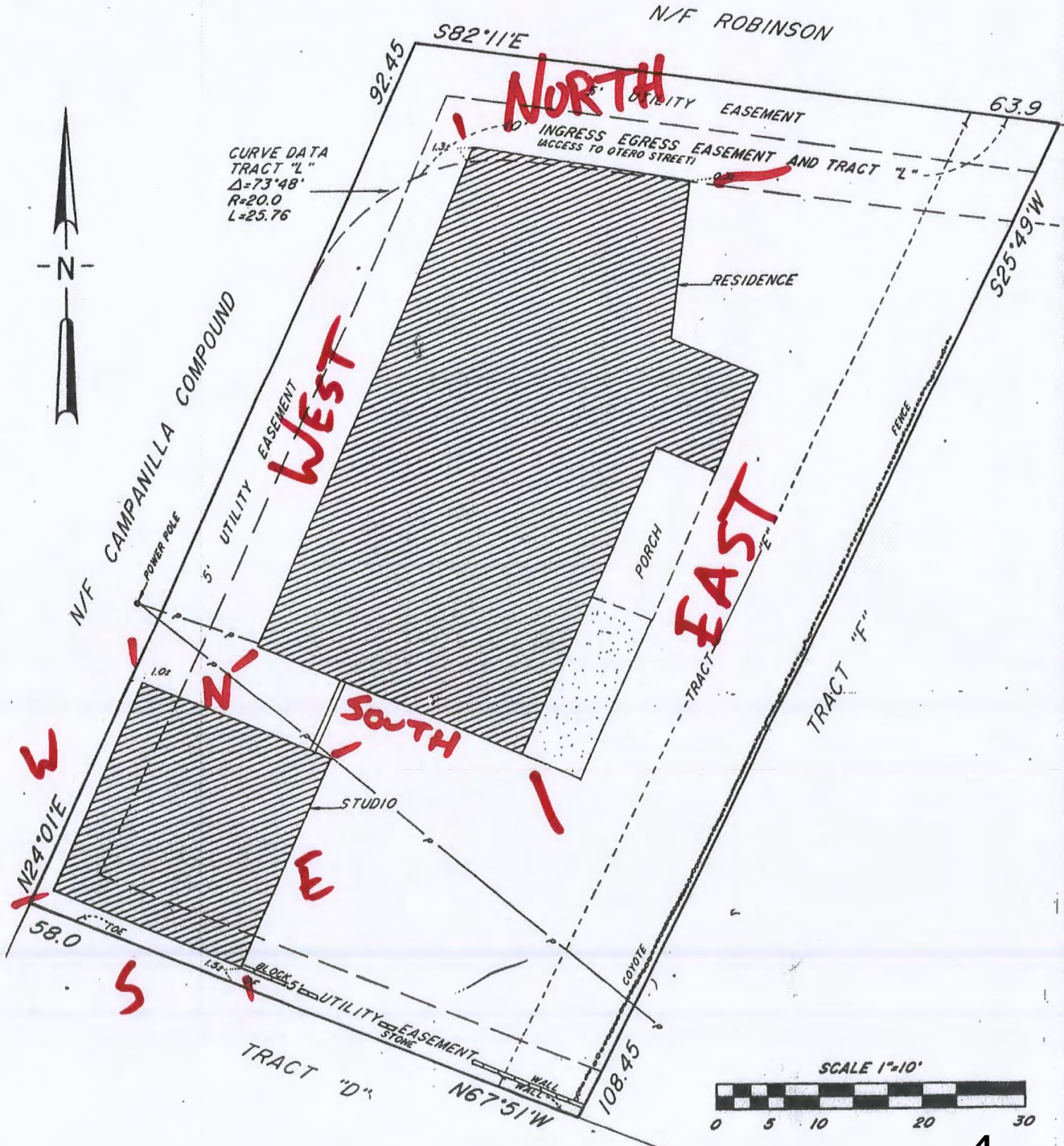
One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

Borrower/Client	Chalmers Forsdale		
Property Address	330 Otero Street		
City	Santa Fe	County	Santa Fe State NM Zip Code 87501
Lender	GE Capital Home Equity/GAC - 401 Route 70 East, Cherry Hill, NJ 08034		

PLAT SHOWING IMPROVEMENT: OF
30 OTERO STREET
 330 SANTA FE, NEW MEXICO



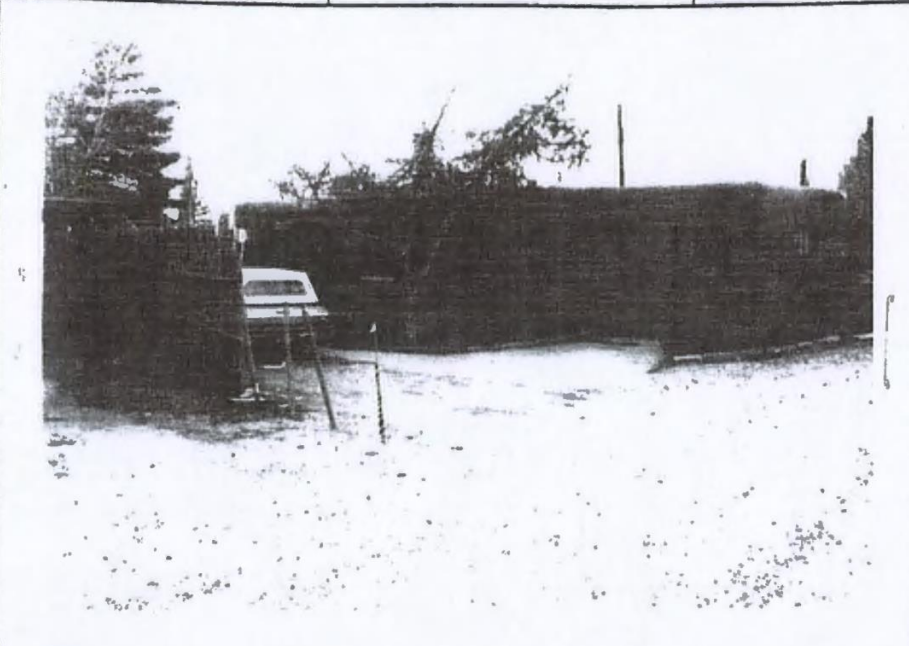
building threatened? yes	surveyed date 11/20/85 by HMW	county SANTA FE	ID no. 051610539
-----------------------------	----------------------------------	--------------------	---------------------

field map SFHD # 1	number 539	UTM reference zone 12 13	easting northing
-----------------------	---------------	-----------------------------	---------------------

location description 330 OTERO	city/town SANTA FE
	land grant/reservation

building name	legal description tnsp N S range E W sec 1/4 1/4
---------------	---

film roll by HMW no. SFHD # 21	negative nos. 1	loc. of neg. HPB	plan shape
-----------------------------------	--------------------	---------------------	------------



date of construction P estimate actual
source
use present residential other historic residential other
condition excellent good fair deteriorating
degree of remodeling minor moderate major
describe:

style	foundation material
	wall material/surface

architectural features	surroundings RES.
------------------------	----------------------

	relationship to surroundings similar not similar
--	---

	district potential yes no
--	------------------------------

	significance eligible of none
	if eligible, interest

comments	why?
----------	------

	associated buildings? yes what type?
--	---

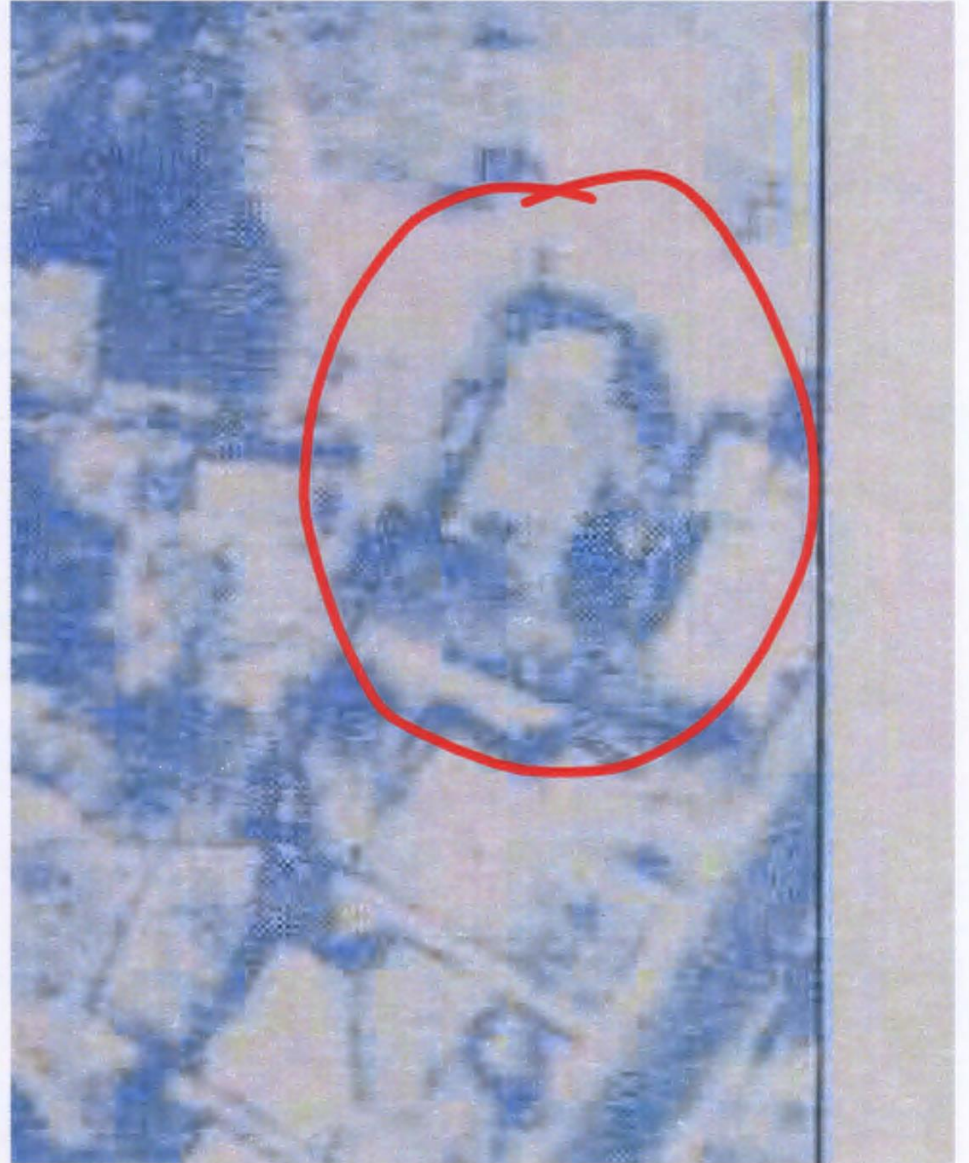
	if inventoried, list ID nos.
--	------------------------------

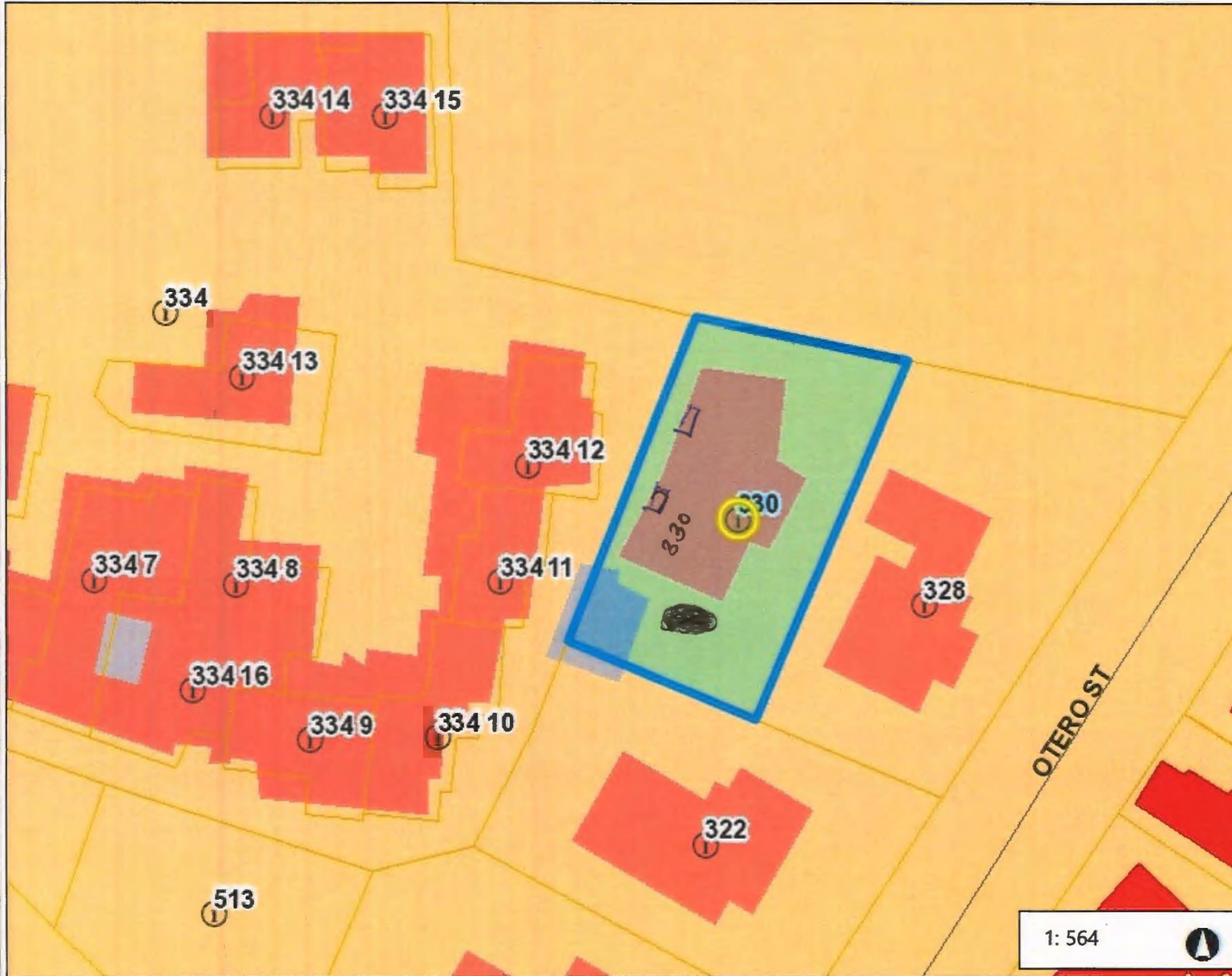
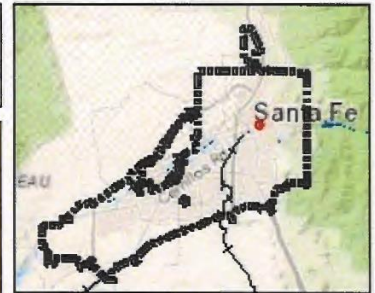
	see back? yes
--	---------------

330 Otero 1971



330 Otero 1981





Legend

- City Limits
- ① Overlay Info
- Address Points
- Santa Fe County Parcels
- Roads
- Major Roads
- Santa Fe River
- Historic Buildings Status
 - Landmark
 - Significant
 - Contributing
 - Non-Contributing
 - Not Resurveyed
- Agua Fria (THC)
- Airport Clear Zones
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- Native American Arts or Crafts
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- Historic Districts
 - Don Gaspar Area HD
 - Downtown And Eastside HD
 - Historic Review HD
 - Historic Transition HD
 - Westside-Guadalupe HD

Notes

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94.0 0 47.02 94.0 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



Lynn and Fritz Denny <sfedenny@gmail.com>

330 Otero St.

1 message

Lynn and Fritz Denny <sfedenny@gmail.com>

Tue, Dec 17, 2019 at 8:18 PM

To: Lynn Denny <sfedenny@gmail.com>

Letter Requesting Status

330 Otero St.
Santa Fe, NM 87501

We have owned the home since 1987 when my father purchased it.

The home was built in the 1950's. (A Stamm home.)
The footprint is original and the windows and doors are original.
The garage door is probably the only thing replaced.

There is a studio/ outbuilding on the property. It was not built in the same time period, but was there when we purchased home in 1987.,
The studio does not have character and seems to be 1970's, funky, and not old character. It has shabby construction. No significant door, windows or details.

The home has been lived in continuously and has normal wear and tear for its age.



Lynn and Fritz Denny <sfedenny@gmail.com>

330 Otero property owners

1 message

Lynn and Fritz Denny <sfedenny@gmail.com>
To: Lynn Denny <sfedenny@gmail.com>

Wed, Dec 18, 2019 at 6:51 AM

Regarding the property at 330 Otero:

My wife and I have lived and worked in the Santa Fe community for over 50 years. We have put 3 sons through school here.

At this time, after putting our 3 sons through college we have limited funds to put towards the necessary energy efficient repairs to our home on Otero St.

For the past 5 years I have been the Coordinator for the Repair Program for the Habitat for Humanity in Santa Fe. With the help of the City we do repairs for local home owners who are below 60% of the AMI. I have been a carpenter in Santa Fe for my whole career.

We consider ourselves local members of the community and respect the culture and integrity of this town and its history. We are interested simply in maintaining our home so that it does not deteriorate.

We greatly appreciate your help in this matter.

Thank you,
Frank Denny and
Lynn Denny
homeowners



Fritz Denny
Repair Program Coordinator
repairs@santafehabitat.org

www.santafehabitat.org

2520 Camino Entrada, Ste. A ~ Santa Fe, New Mexico 87507-4885
Ph 505) 986-5880, ext. 103 Direct Fax (815) 331-0813

Horse Pictures
Start w/ Garage

330 Otero St

N

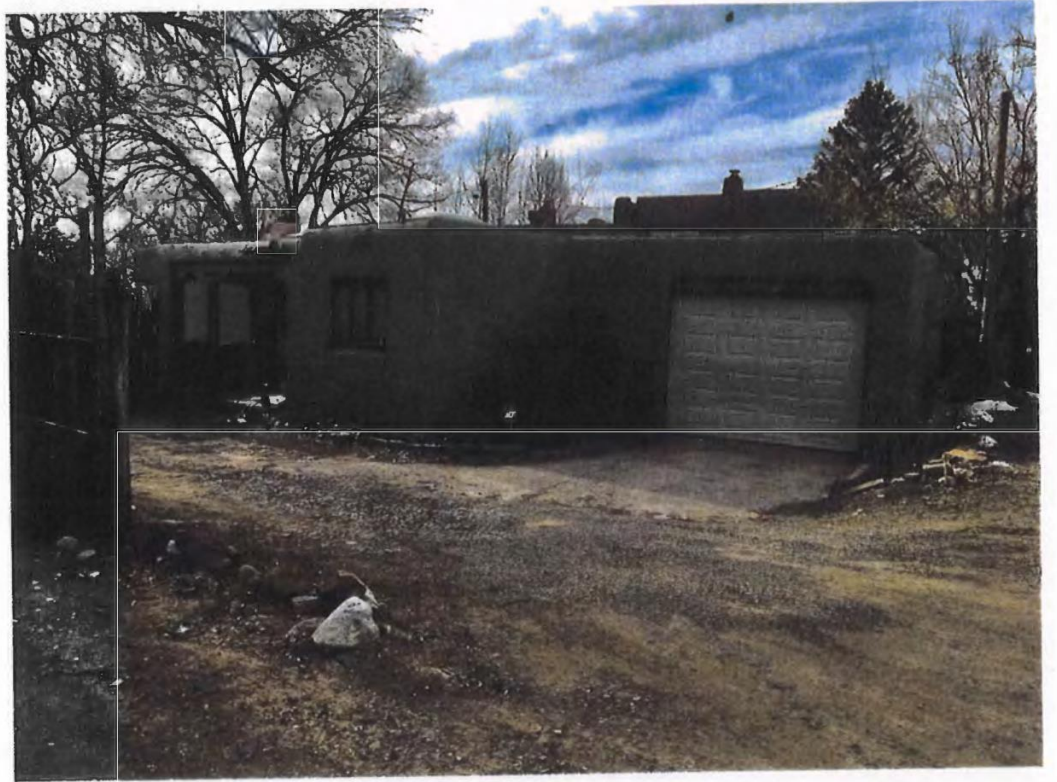
East

W



Map data ©2019, Map data ©2019 20 ft

S



330 OTCRO STREET
Santa Fe N.M.

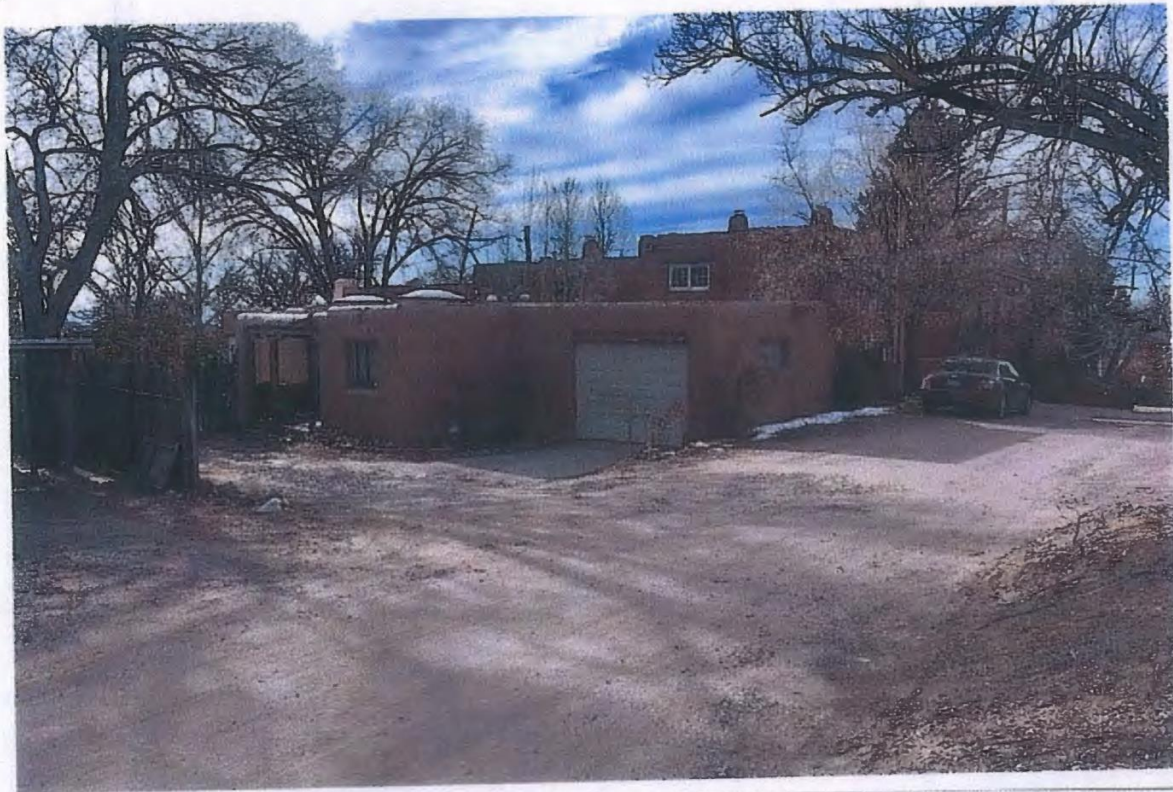
EAST

Photo A



EAST

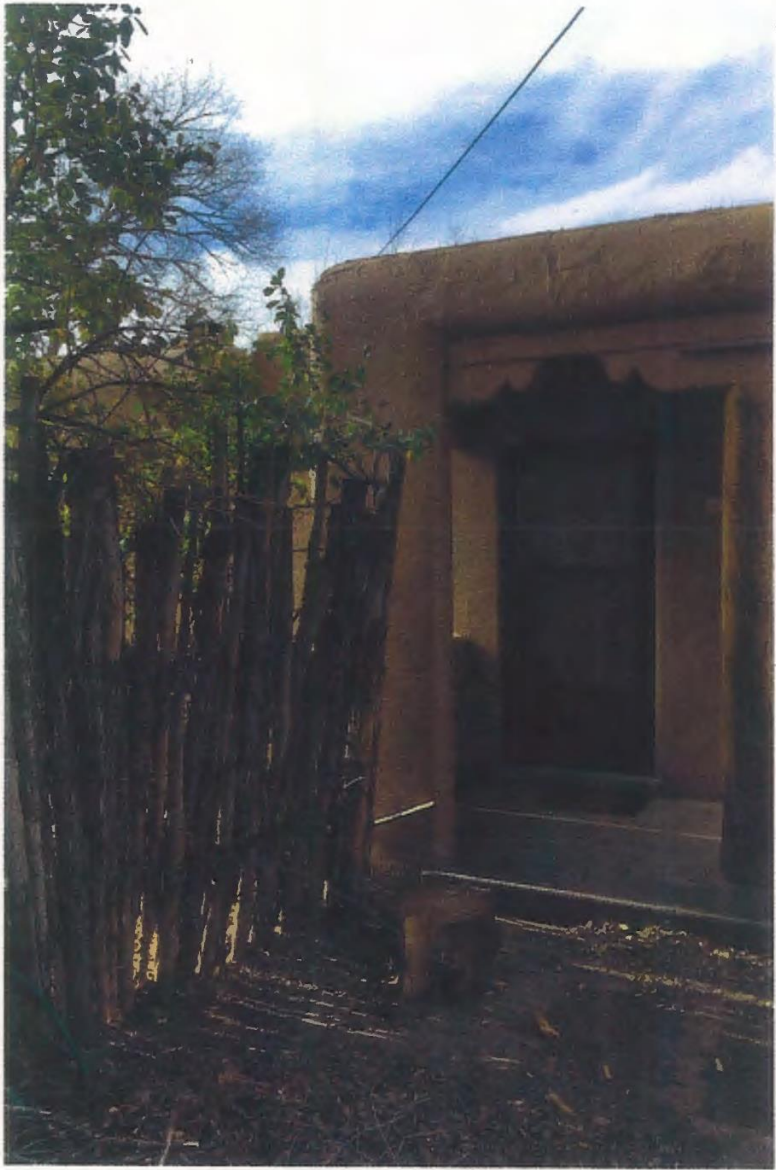
Photo B



N

East





Ⓟ

kitchen

Front door

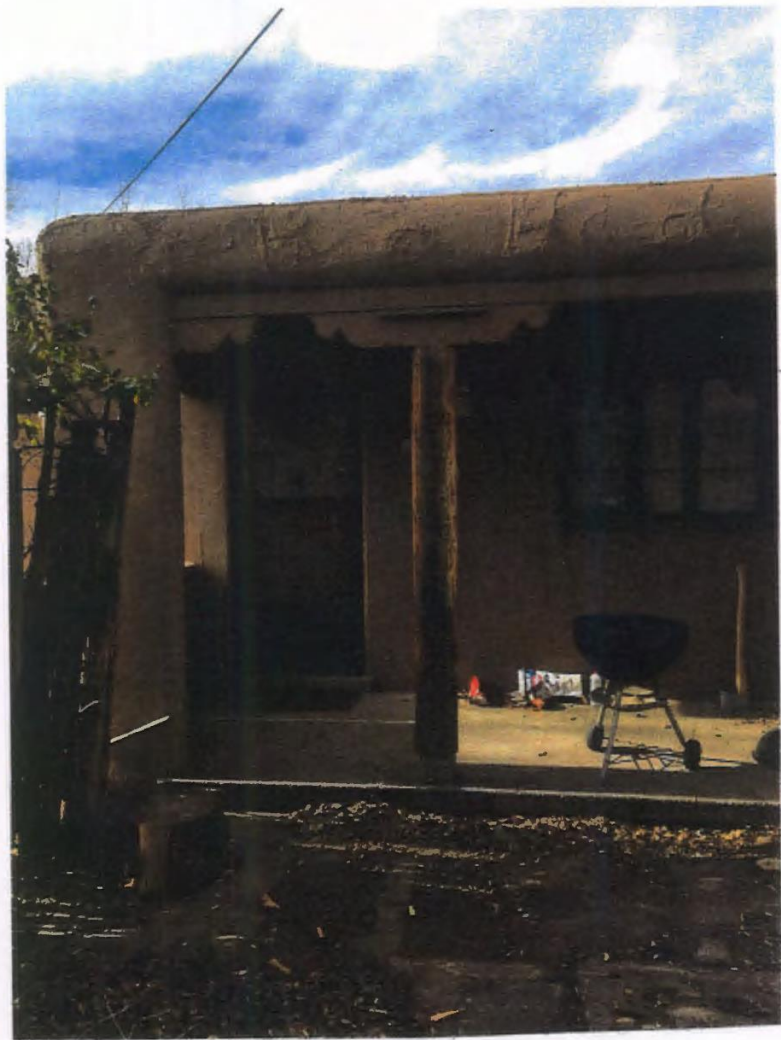
back yard



EAST

330 Otero Street

14



330 Otero Street
SF NM
EAST

Photo C



South

Photo D



South

7

Photo E



WEST

(SW corner)

S

Photo F



WEST

Photo G



WEST

Photo H

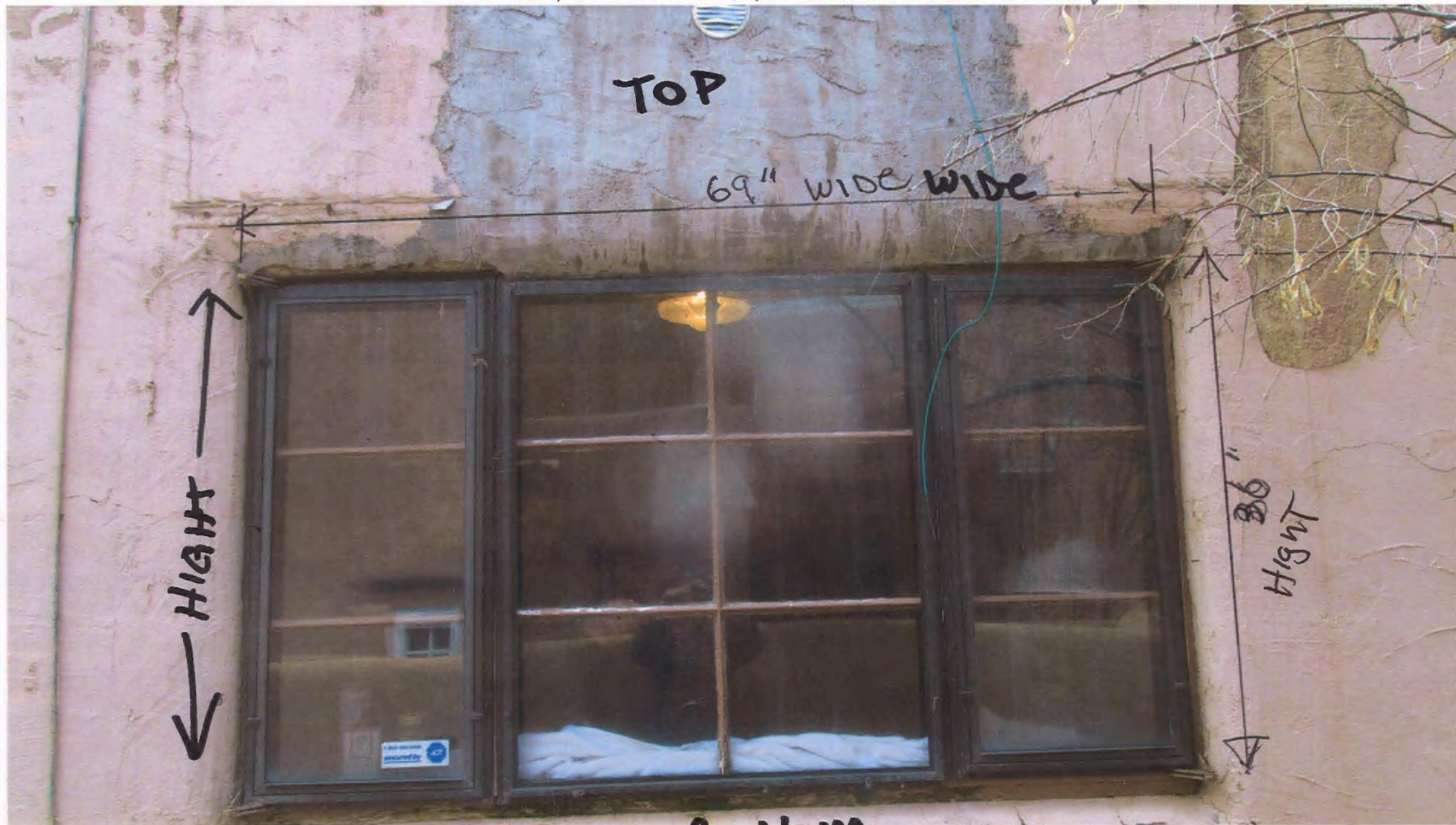


W

North

TOP.

OTERO WINDOW Fritz Denny #602706



Bottom

Sill is 43" now
from floor now

417/16 -

4 1/2

Sill is
20

330 otero Window #2





Photo 1



STUDIO
EAST

Photo 2
STUDIO North

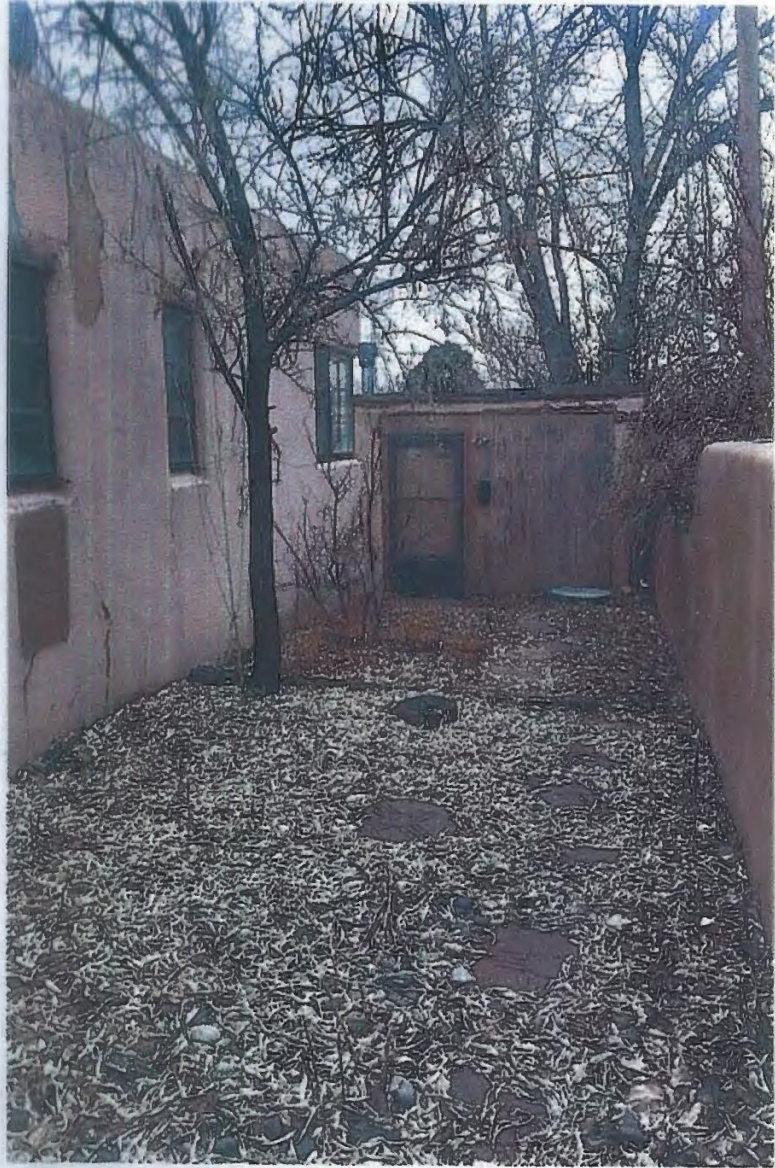
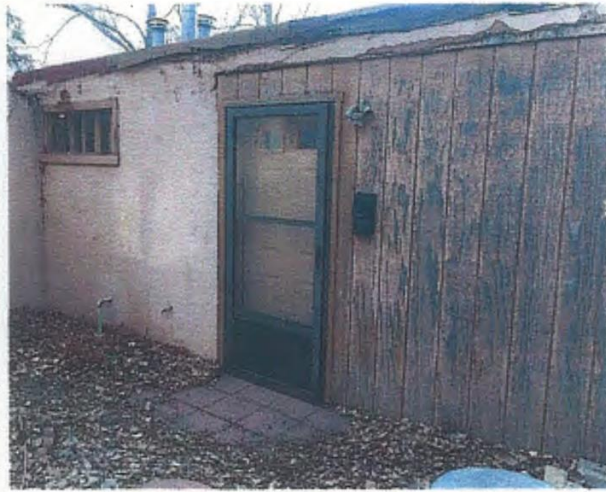


Photo 3
studio North



(No access
south or west
on property)

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**October 8, 2024
2024-009127-HDRB
Applicant Submittal
Window/Door Replacement
330 Otero Street**

June 1,2024

RE: 330 Otero St.,Santa Fe, NM., 87501

To: Historic Board Review Committee

We are requesting permission to replace windows.

We have owned this home since 1987 since my father purchased it. The home was built in the 1950's. (A Stamm home).

The footprint is original and the doors and windows are original. We did replace 2 windows on the west side in 2019.

The home has been lived in continuously and has normal wear and tear for it's age. It is necessary to replace the windows so further damage to the home does not occur.

Thank you for your time,

Lynn Forsdale Denny

Frank W. Denny

A handwritten signature in black ink, appearing to read "Lynn Forsdale Denny". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Historic Districts and Historic Landmarks
Design Standards and Signage Exception Criteria

330 Otero Street

- (i) Do not damage the character of the district

Response: We are not changing the size or location of the new windows. We specifically sought windows to look as close to the existing windows as possible. The window replacements will not affect the character of the neighborhood.

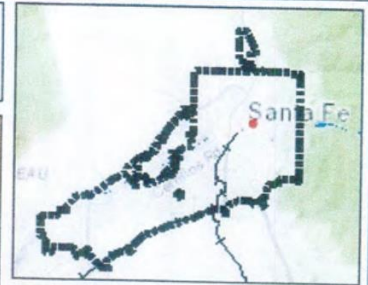
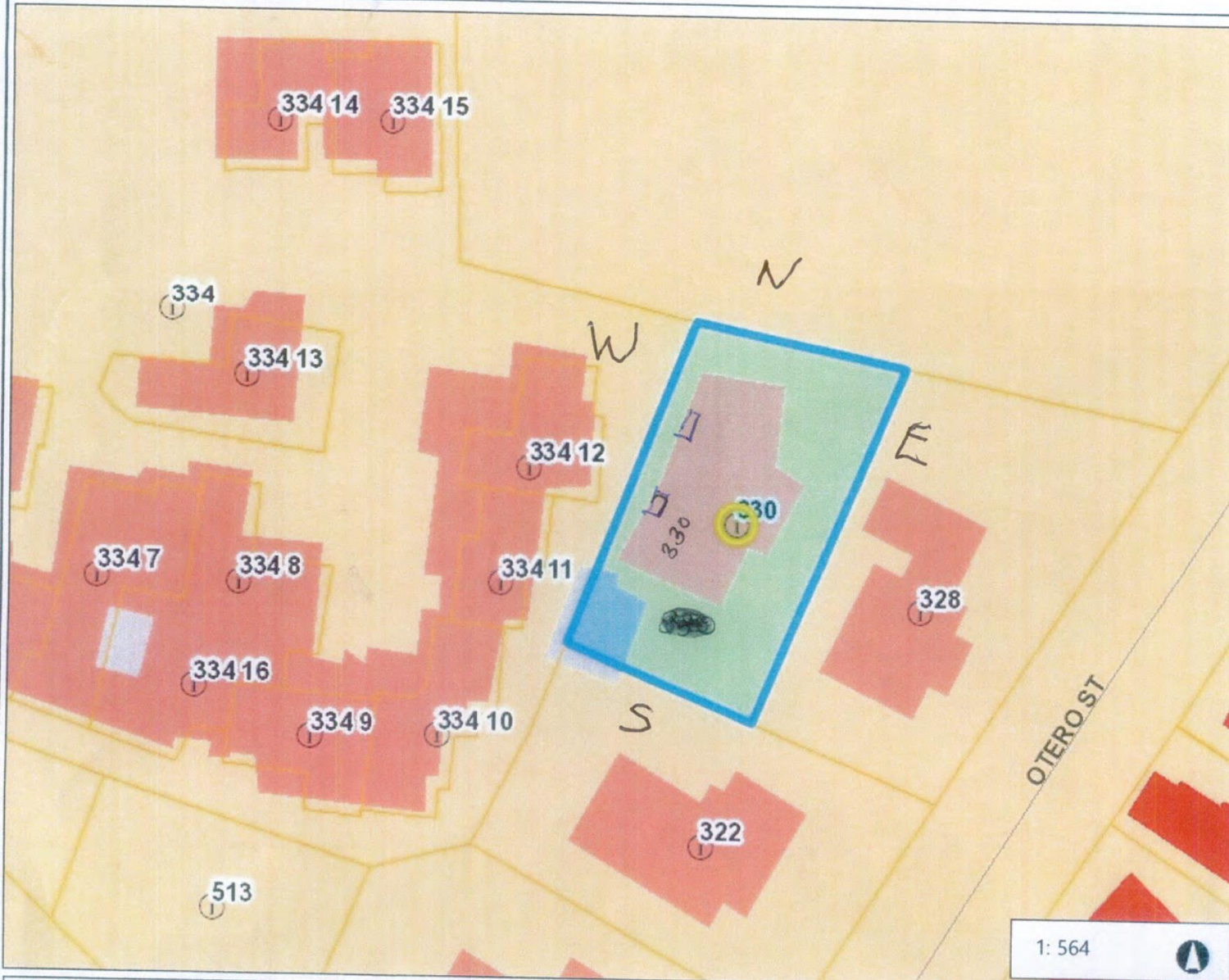
- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response: The existing windows are leaking and allowing water to infiltrate the house. This has caused the framing of the wall to rot. This is causing movement of the windows and the plaster inside the home to be destroyed and the exterior stucco to crack. The windows leak air and are not at all energy efficient creating the hardship of high energy costs and a cold home. If no action is taken the home will be severely damaged.

- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: We are not trying to change the design of the home or the windows. We want to preserve the integrity of the home for our family and the neighborhood. I have been a carpenter, wood worker and home builder in Santa Fe for over fifty years. We are rooted in the community and this home is our legacy for our three sons.

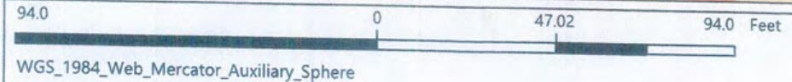
Fritz and Lynn Denny



Legend

- City Limits
- Overlay Info
- Address Points
- Santa Fe County Parcels
- Roads
- Major Roads
- Santa Fe River
- Historic Buildings Status**
 - Landmark
 - Significant
 - Contributing
 - Non-Contributing
 - Not Resurveyed
- Agua Fria (THC)
- Airport Clear Zones
- Annexation Phase 3
- Native American Arts or Crafts
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 - Historic Transition HD
 - Westside-Guadalupe HD

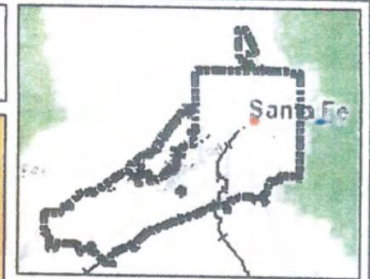
1: 564



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Notes

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Legend

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Notes

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1: 564

94.0 0 47.02 94.0 Feet

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N

E

334 OTERO ST 12

330 OTERO ST

334 OTERO ST 11

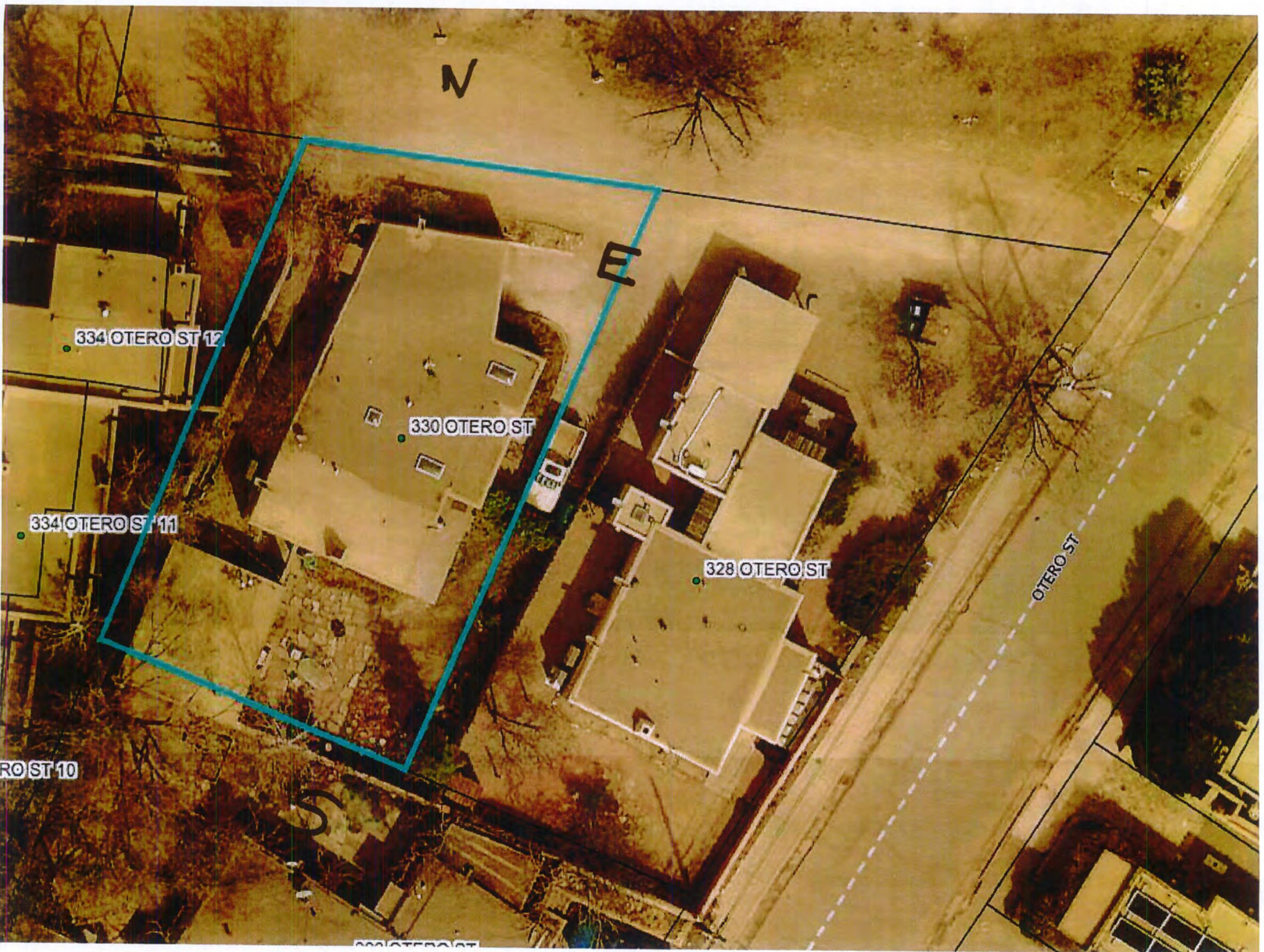
328 OTERO ST

OTERO ST

RO ST 10

S

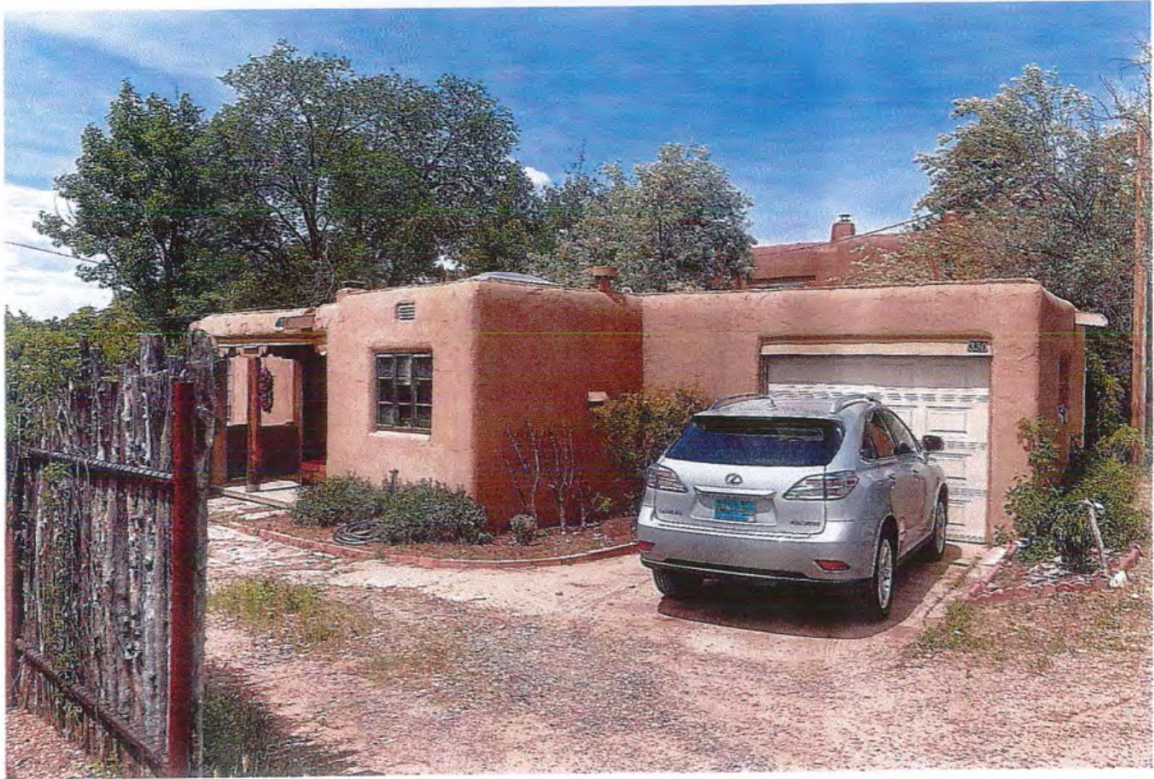
332 OTERO ST







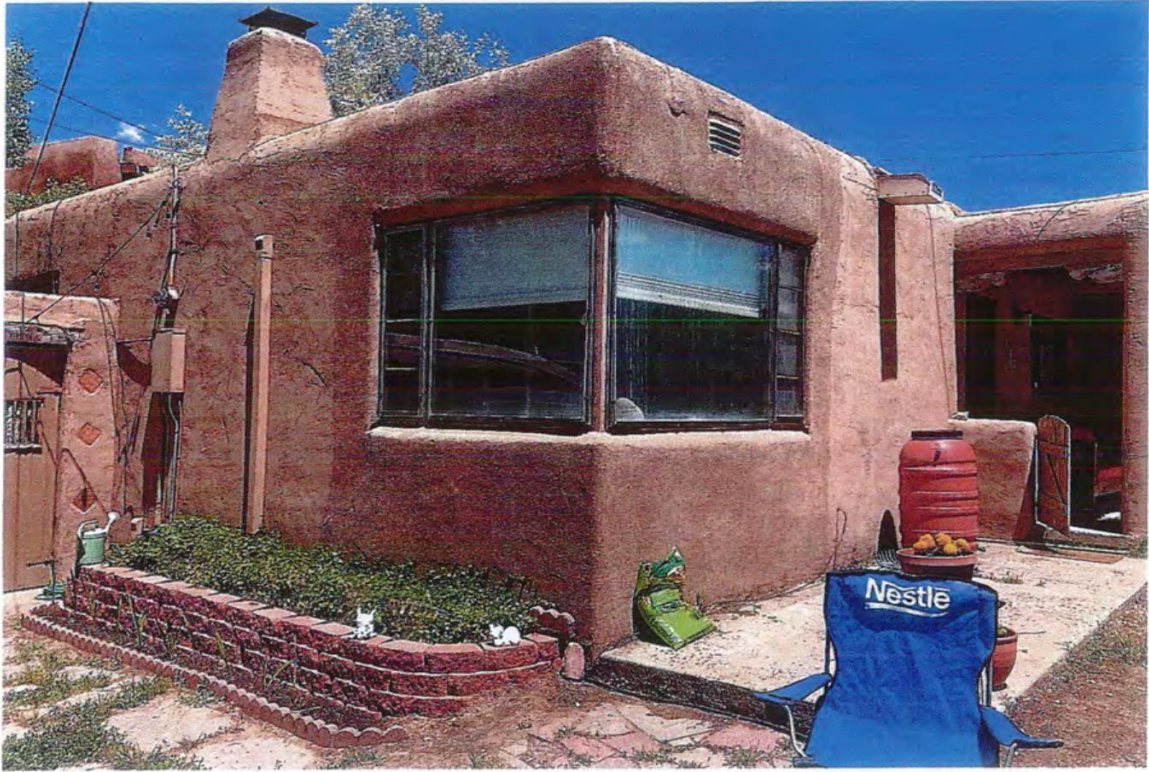




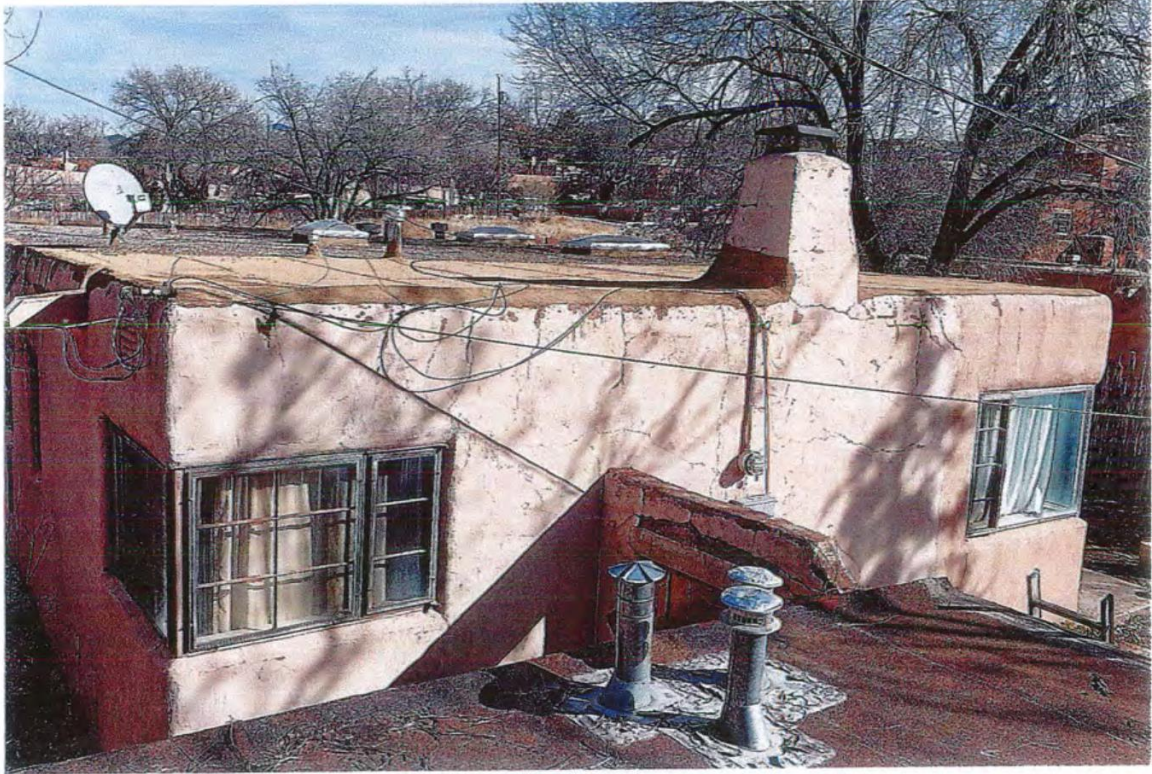
window
A EAST



EAST
Window
OK B



windows C+D
SE corner



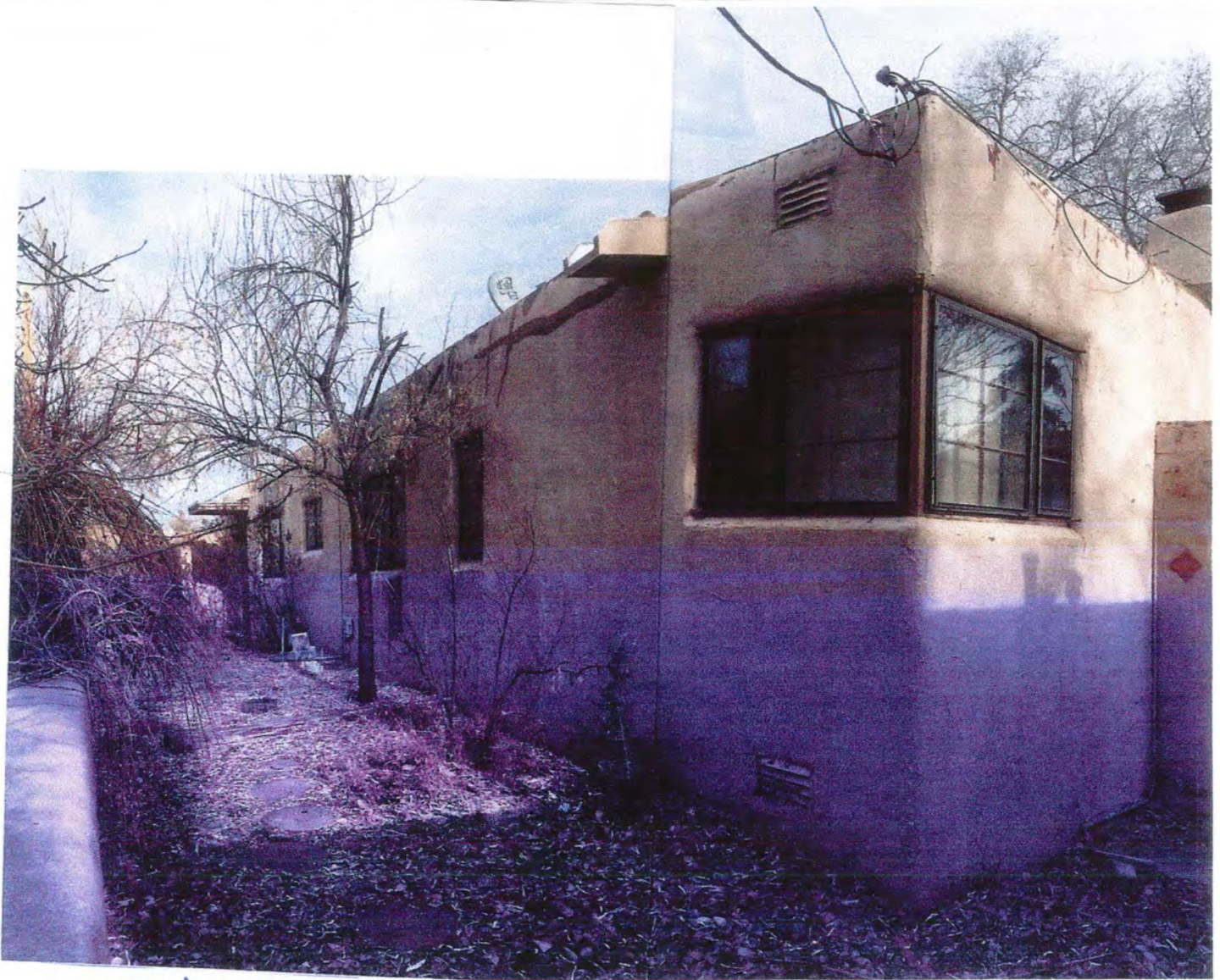
W

E

Window
E

SOUTH

Window
D



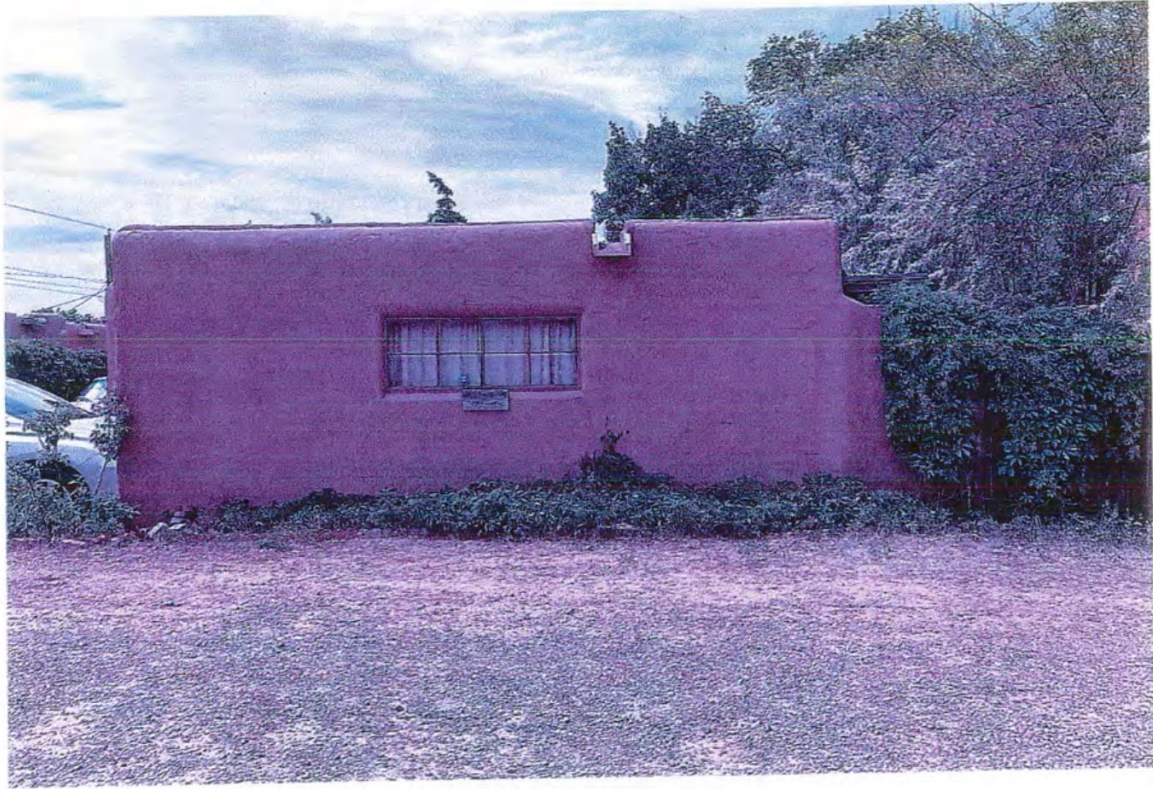
windows
G, H, I, J
OK OK

WEST

window
E + F



windows J, I, H
(replaced
2019)
WEST



WINDOW K

North

RPA & Associates, LLC.

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos de Albuquerque, NM 87114
 P.O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 rpahistoric@gmail.com

TO Frank & Lynn Denny
 330 Otero Street
 Santa Fe, NM 87501
 sfedenny@gmail.com
 (505) 660-2706

**HISTORIC ASSESSMENT
 NO. 220424-HA**



JOB	DATE
330 Otero Street, Santa Fe, NM 87501	04/22/2024

LOCATION	DESCRIPTION
A	53 x 40 LSR 1W3H STEEL CASEMENT
B	69 x 40 LSSR 1W3H STEEL CASEMENT
C	88 x 52 (CORNER UNIT) 70/18 x 52 SR 1-LT/1W3H
D	88 x 52 (CORNER UNIT) 70/18 x 52 SR 1-LT/1W3H
} 1 UNIT	
E	56 x 40 (CORNER UNIT) SR 2W3H/1W3H
F	56 x 40 (CORNER UNIT) LS 2W3H/1W3H
} 1 UNIT	
G	19 x 38 R 1W3H OBSCURE
H	64 x 40 LR 2W3H (2019 MARVIN)
I	72 x 32 LR 1W2H OBSCURE
J	64 x 40 LR 2W3H (2019 MARVIN)
K	68 x 27 FIXED 4W2H

In closing, my professional opinion is as follows:

The windows A, C, D, E, F, G, and I are historic however non-restorable. The wood buck underneath the sill of the window is rotted and causing the wall damage, allowing water leaks to the interior. (See attached pictures)

These windows are steel and would have to be cut out of the opening to fix the wood sill. In the process of removal, the steel frames would be destroyed. Window A is also out of plumb and does not seal properly, causing excessive damage to the interior. (See attached pictures)

Window B and K are historic and can be restored.

Window H and J are non-historic from the 2019 era.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Ra N. Patterson*

RPA & ASSOCIATES, LLC | WINDOW & DOOR CONDITION AND INTEGRITY CODES

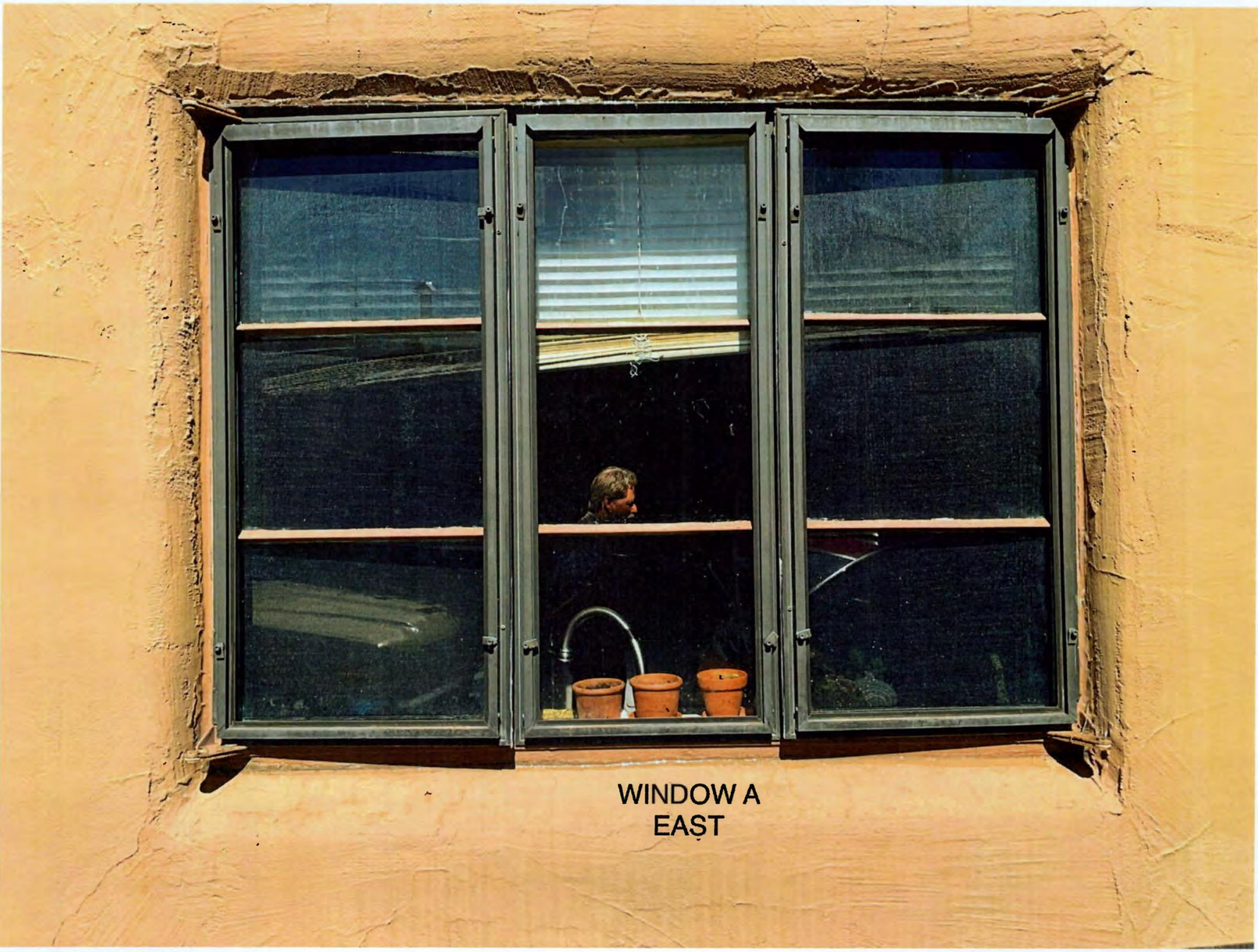
CODE	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION. PUTTY GLAZE INTACT. ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS. PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% – 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE. PUTTY GLAZING CRACKING AND MISSING IN 30% – 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% – 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED. PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTES:

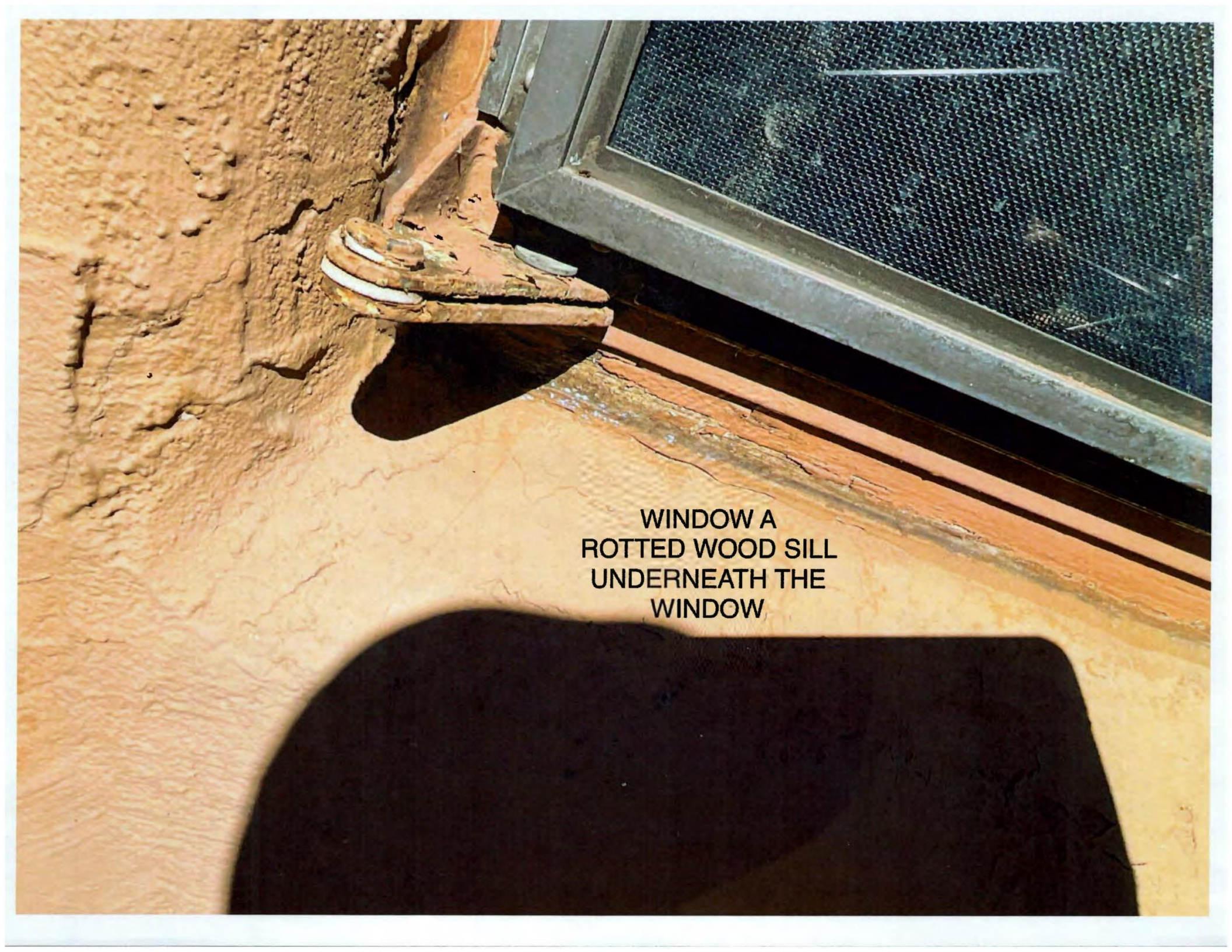
RPA & ASSOCIATES, LLC. | 330 Otero Street, Santa Fe, NM 87501

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTERGRITY CODE	HISTORIC/NON-HISTORIC – AGE
A	53 x 40 LSR CASEMENT	U	HISTORIC – SILL ROT AND OUT OF SQUARE (NON-RESTORABLE)
B	69 x 40 LSSR CASEMENT	S	HISTORIC – RESTORABLE
C	88 x 52 (70/18 x 52 SR) 1-LT/1W3H	F	HISTORIC – SILL ROT AND RUSTED IN THE CORNER POST (NON-RESTORABLE)
D	88 x 52 (70/18 x 52 SR) 1-LT/1W3H	F	HISTORIC – SILL ROT AND RUSTED IN THE CORNER POST (NON-RESTORABLE)
E	56 x 40 SR 2W3H/1W3H CASEMENT	F	HISTORIC – SILL ROT AND RUSTED IN THE CORNER POST (NON-RESTORABLE)
F	56 x 40 LS 2W3H/1W3H CASEMENT	F	HISTORIC – SILL ROT (NON-RESTORABLE)
G	19 x 38 R 1W3H OBSCURE CASEMENT	U	HISTORIC – SILL ROT AND RUSTED FRAME (NON-RESTORABLE)
H	64 x 40 LR 2W3H CASEMENT	P	NON-HISTORIC – 2019 MARVIN

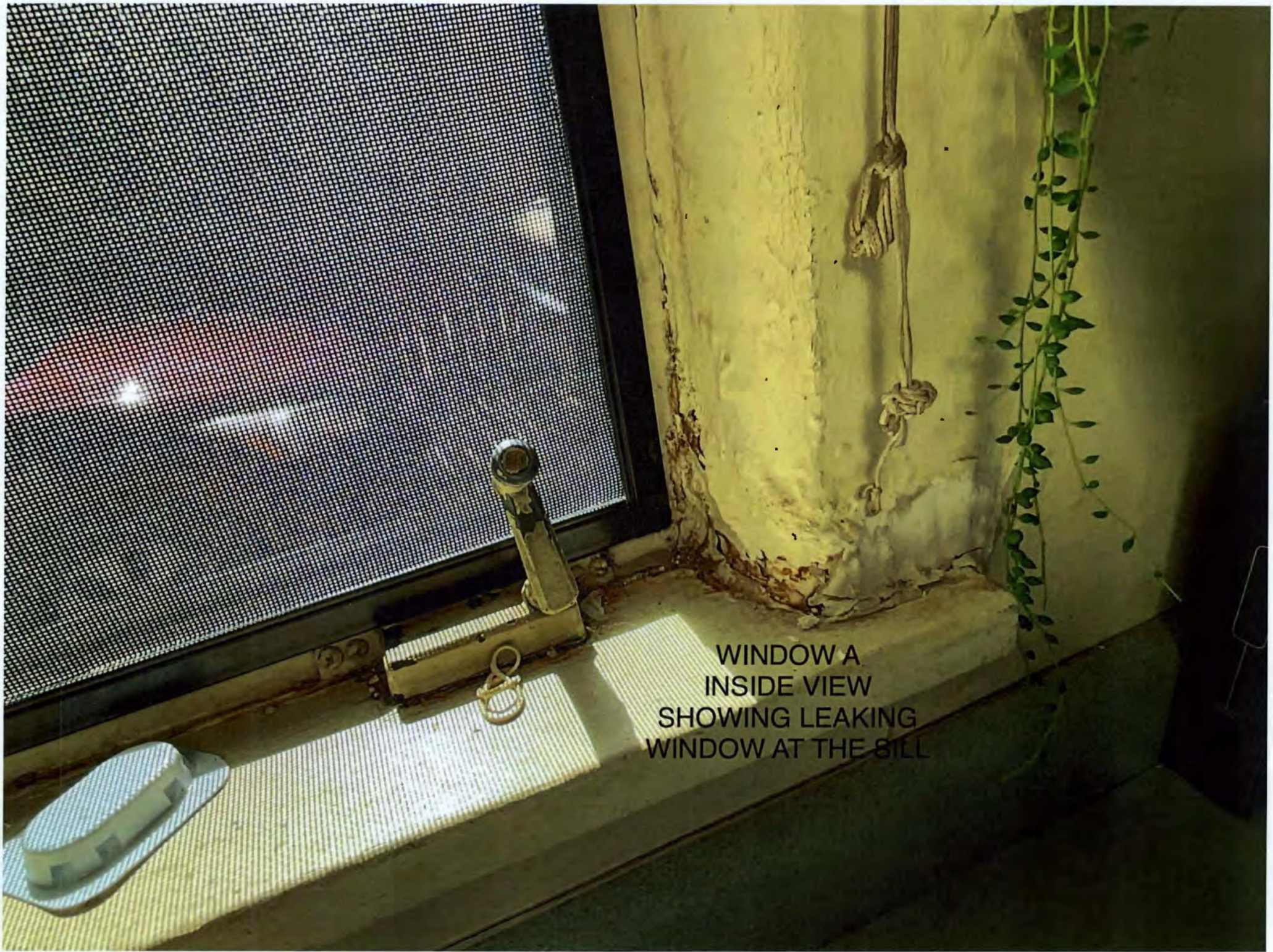
NOTES:



WINDOW A
EAST

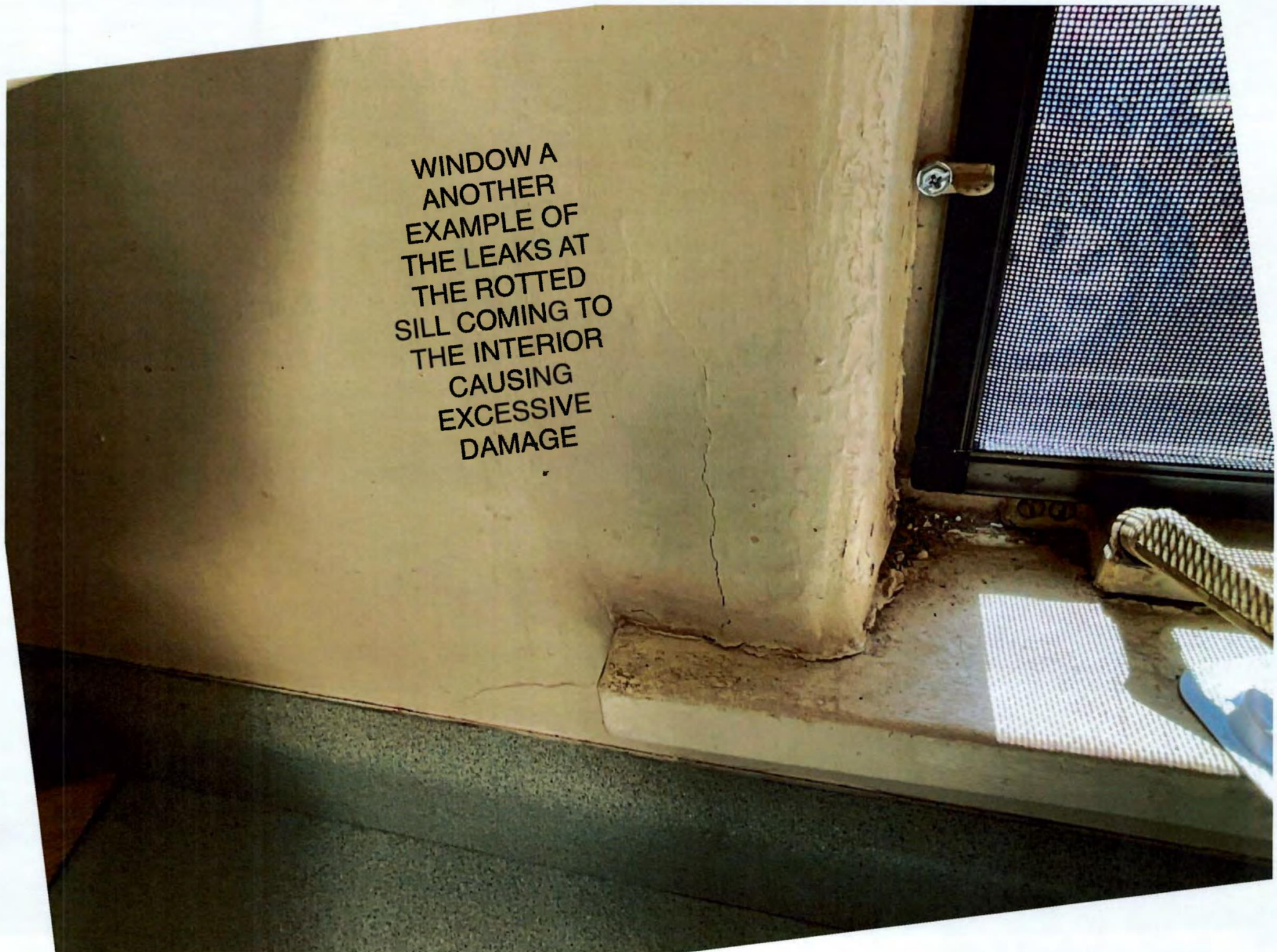


WINDOW A
ROTTED WOOD SILL
UNDERNEATH THE
WINDOW



WINDOW A
INSIDE VIEW
SHOWING LEAKING
WINDOW AT THE SILL

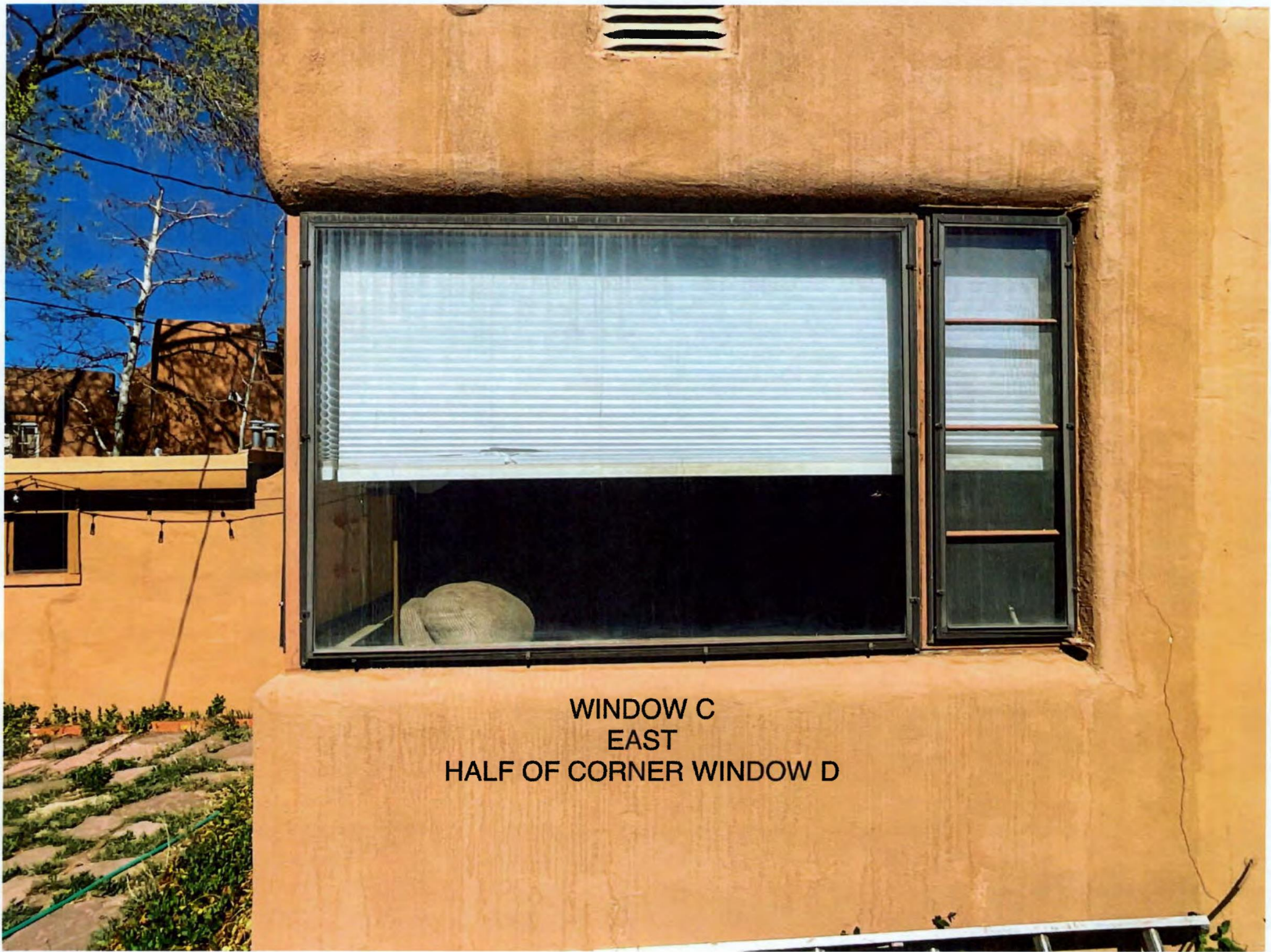
WINDOW A
ANOTHER
EXAMPLE OF
THE LEAKS AT
THE ROTTED
SILL COMING TO
THE INTERIOR
CAUSING
EXCESSIVE
DAMAGE





WINDOW B
EAST





WINDOW C
EAST
HALF OF CORNER WINDOW D



WINDOW D
SOUTH
HALF OF CORNER
WINDOW C



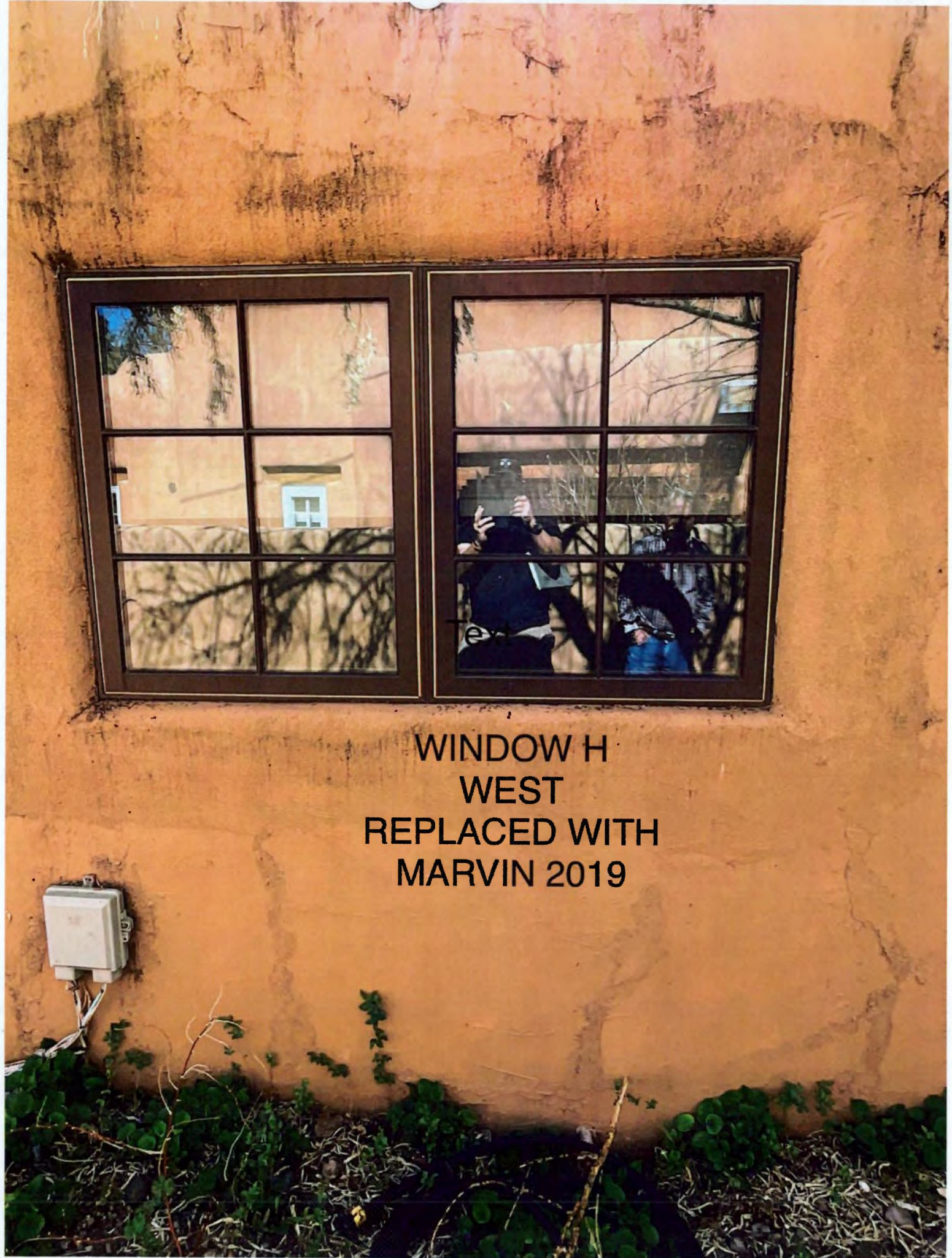
WINDOW E
SOUTH
HALF OF CORNER
WINDOW F



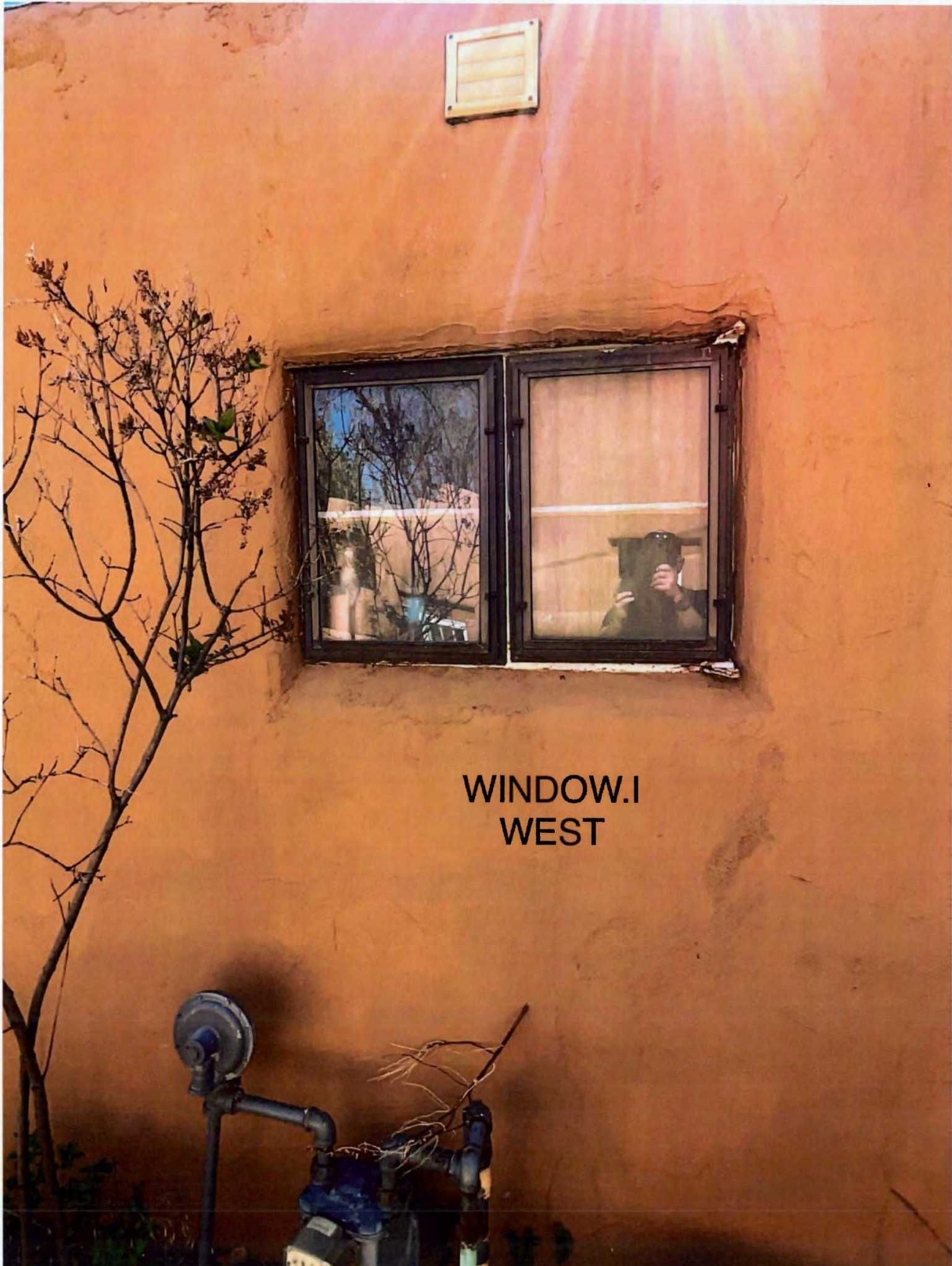
WINDOW F
WEST
HALF OF CONER
WINDOW E



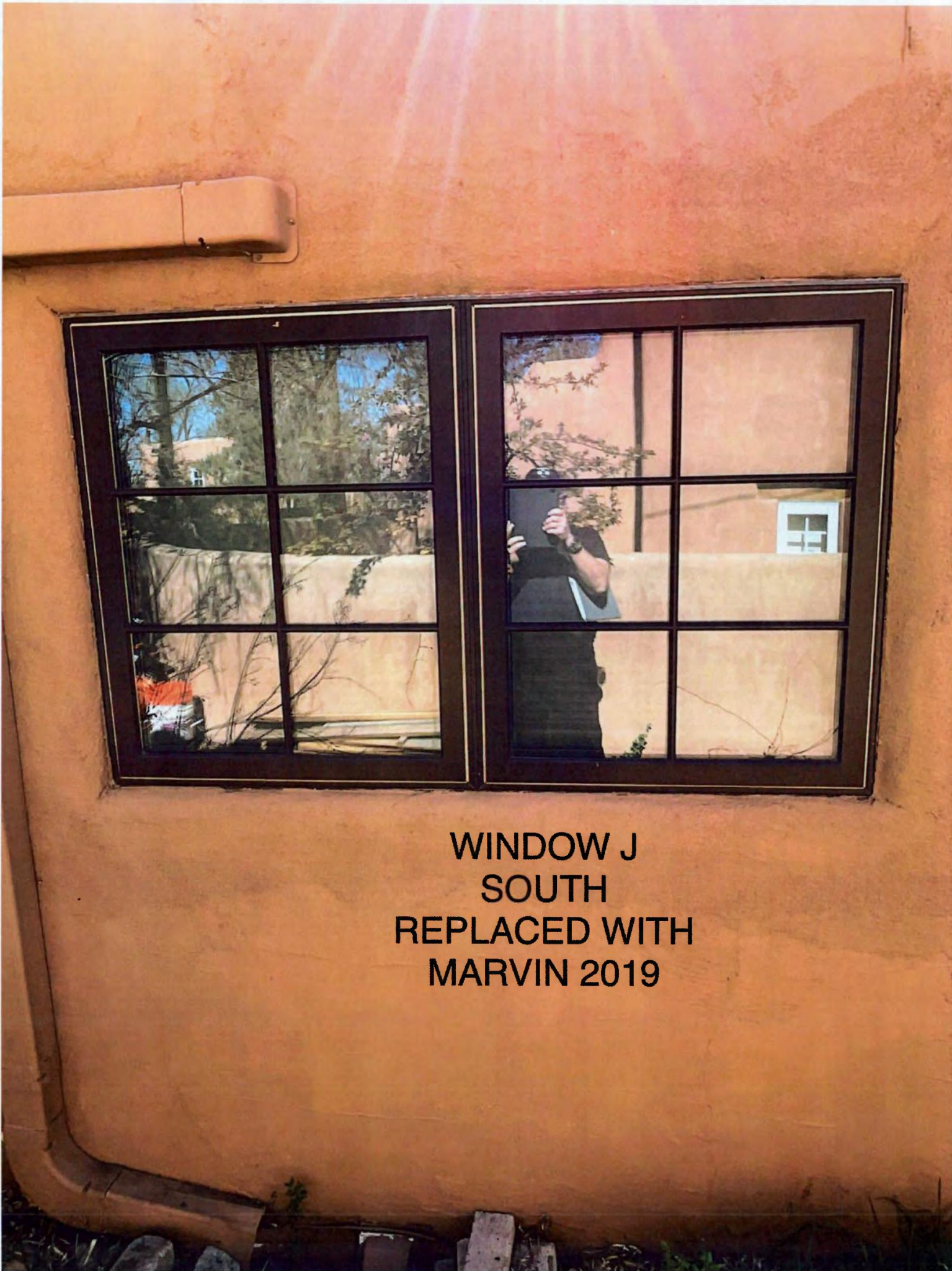
**WINDOW G
WEST**



WINDOW H
WEST
REPLACED WITH
MARVIN 2019



WINDOW.I
WEST



**WINDOW J
SOUTH
REPLACED WITH
MARVIN 2019**



WINDOW K
NORTH

The image shows a close-up of a wooden sill that has become severely rotted and disintegrated. The wood is split and broken into several pieces, with a significant gap between the upper and lower sections. Water is seen dripping from the lower part of the wood into a concrete foundation below. The concrete is light-colored and shows signs of moisture. The background is dark, suggesting an interior space like a crawlspace or basement.

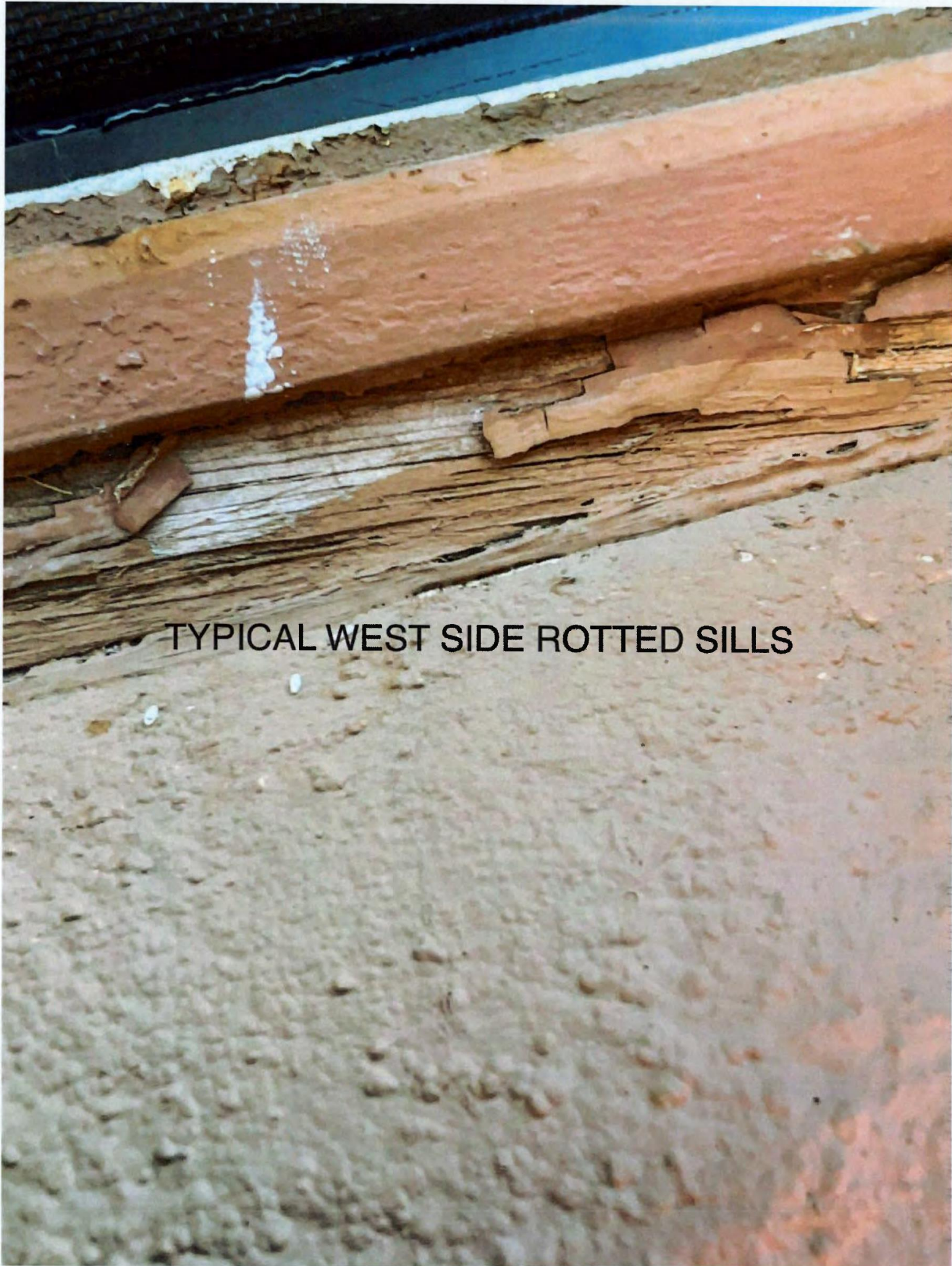
TYPICAL ROTTED SILLS AND
LETTING WATER LEAK INTO
THE HOUSE



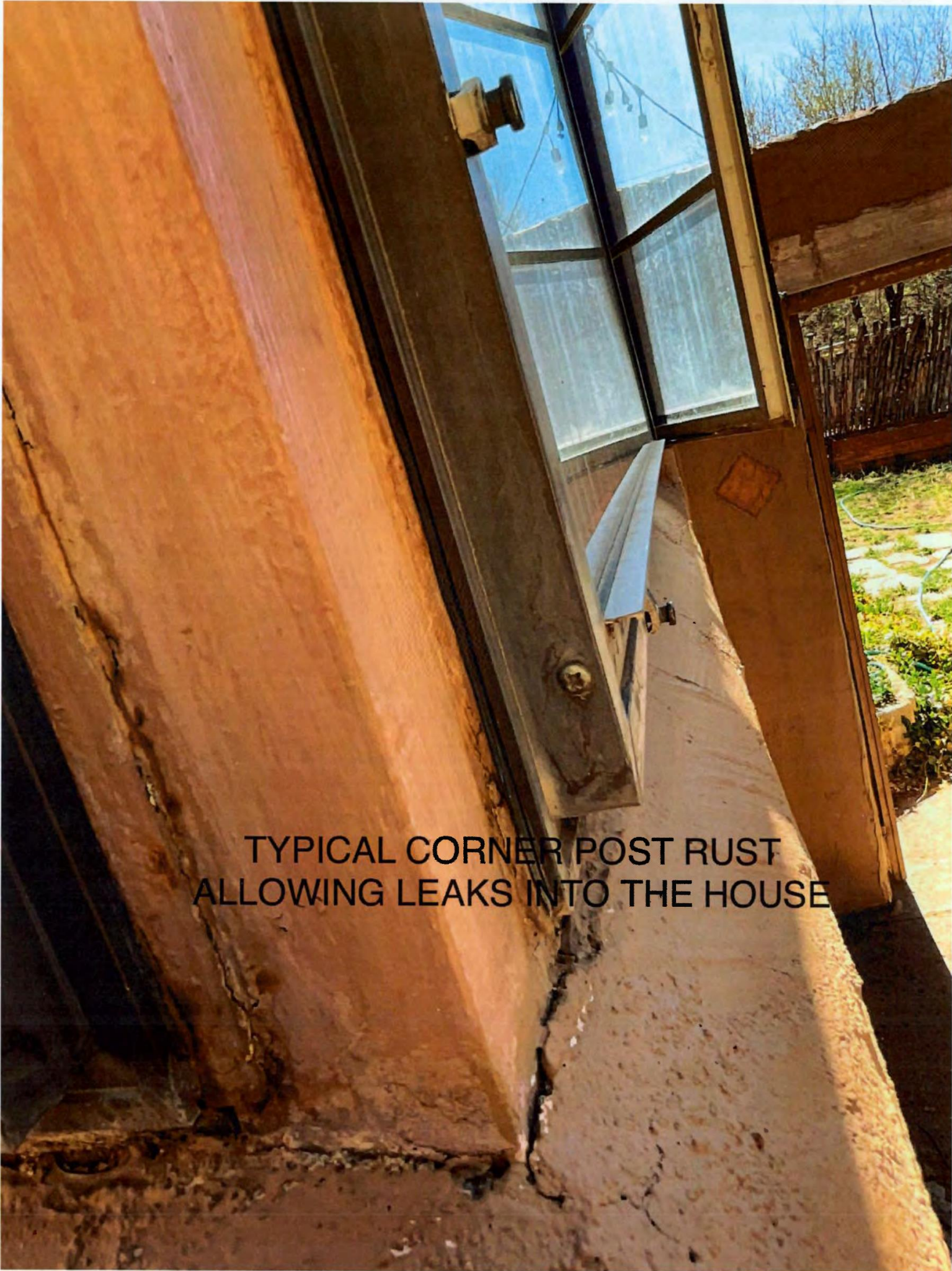
TYPICAL LEAKS AROUND THE
WINDOW SILL SHOWING THE
STUCCO DAMAGE



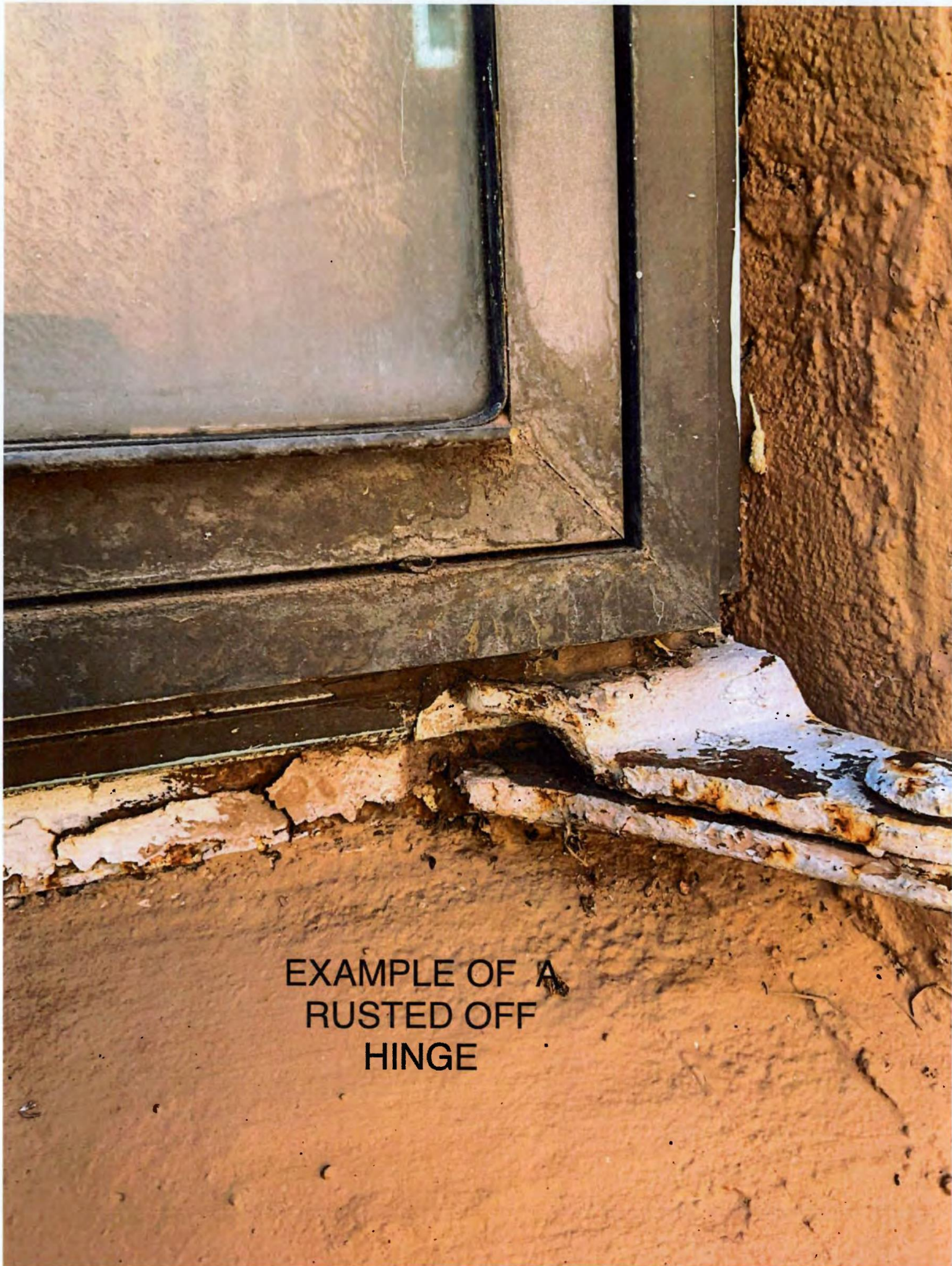
TYPICAL WOOD ROT
AT SILL OF WINDOWS



TYPICAL WEST SIDE ROTTED SILLS

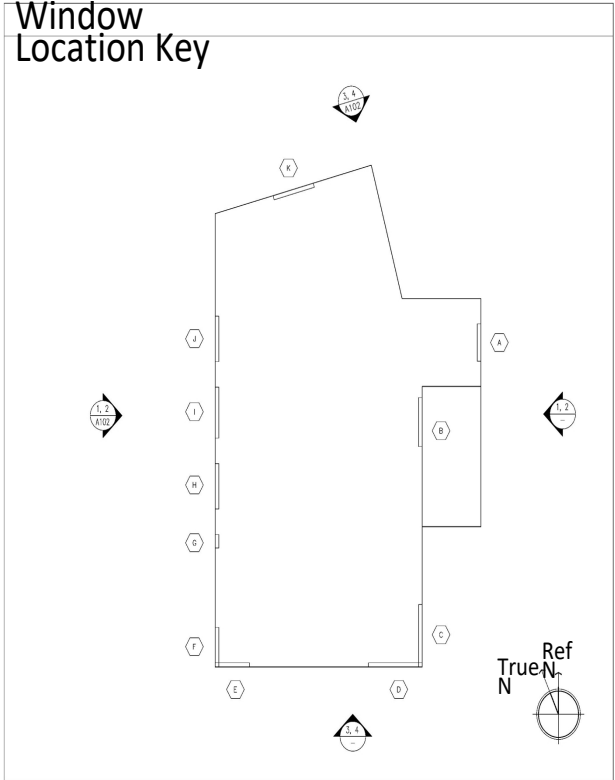


**TYPICAL CORNER POST RUST
ALLOWING LEAKS INTO THE HOUSE**



EXAMPLE OF A
RUSTED OFF
HINGE

Window Location Key



Window Schedule

Existing Windows		Typ	Frame		Remarks
Window ID	Size (WxH)		Material	Finish	
	53" x 40"	Case	Steel	El Rey "Adoba"	Non-restorable
B	69" x 40"	Case	Steel	El Rey "Adoba"	Restorable
C	88" x 52"	Corner	Steel	El Rey "Adoba"	Corner unit, non-restorable
D	88" x 52"	Corner	Steel	El Rey "Adoba"	Corner unit, non-restorable
E	56" x 40"	Corner	Steel	El Rey "Adoba"	Corner unit, non-restorable
F	56" x 40"	Corner	Steel	El Rey "Adoba"	Corner unit, non-restorable
G	19" x 38"	Case	Steel	El Rey "Adoba"	Non-restorable
H	64" x 40"	Case	Clad	Bahama Brown	Marin 2019
I	36" x 24"	Case	Steel	El Rey "Adoba"	Non-restorable, Historic Assessment notes incorrect dimension of 72"x32"
J	64" x 40"	Case	Clad	Bahama Brown	Marin 2019
K	68" x 27"	Fixed	Steel	El Rey "Adoba"	Restorable

See Historic Assessment No. 220424-HA by RPA & Associates, 4/22/2024 for additional information on window condition.

Proposed Windows

Proposed Windows		Typ	Frame		Remarks
Window ID	Size (WxH)		Material	Finish	
	53" x 40"	Case	Clad	Bahama Brown	Replace with Marin Ultimate Narrow Frame
B	69" x 40"	Case	Steel	El Rey "Adoba"	Existing, future restoration
C	88" x 52"	Corner	Clad	Bahama Brown	Replace with Marin Ultimate Narrow Frame
D	88" x 52"	Corner	Clad	Bahama Brown	Replace with Marin Ultimate Narrow Frame
E	56" x 40"	Corner	Clad	Bahama Brown	Replace with Marin Ultimate Narrow Frame
F	56" x 40"	Corner	Clad	Bahama Brown	Replace with Marin Ultimate Narrow Frame
G	19" x 38"	Case	Steel	El Rey "Adoba"	Replace with Marin Ultimate Narrow Frame
H	64" x 40"	Case	Clad	Bahama Brown	Existing, no replacement
I	36" x 24"	Case	Steel	El Rey "Adoba"	Replace with Marin Ultimate Narrow Frame
J	64" x 40"	Case	Clad	Bahama Brown	Existing, no replacement
K	68" x 27"	Fixed	Steel	El Rey "Adoba"	Existing, future restoration

All replacement windows shall be Marin Ultimate Casement Narrow Frame, clad soath exterior, 5/8" simulated divided light with spacer bar (SOLS), duty exterior glazing profile.

WINDOW INSTALLER SHALL FIELD VERIFY ALL OPENING SIZES PRIOR TO PURCHASE ORDER. WINDOW INSTALLER SHALL FIELD VERIFY ALL MULLION & MUNTIN / DIVIDED LIGHT PATTERNS TO MATCH EXISTING WINDOWS PRIOR TO PURCHASE ORDER.

WINDOW INSTALLER SHALL FOLLOW MANUFACTURER (MARVIN) INSTALLATION INSTRUCTIONS UNLESS OTHERWISE NOTED.

Fritz Denny
330 Otero Street - Phase II
ULTIMATE Prelim v1

Quote #: KRUTAHU

A Proposal for Window and Door Products prepared for:

End Customer:
Fritz Denny
330 Otero Street
Santa Fe, NM 87501

Contact Name: Fritz Denny
Mobile: (505) 660-2706
Email: sfedenny@gmail.com

Job Site:
Fritz Denny
330 Otero Street
Santa Fe, NM 87501

Contact Name: Fritz Denny
Mobile: (505) 660-2706
Email: sfedenny@gmail.com

Shipping Address:
REULE SUN CORPORATION
4100 CUTLER AVE NE
ALBUQUERQUE, NM 87110-3896



Email: dave@qwestoffice.net

This report was generated on 5/3/2024 12:18:27 PM using the Marvin Order Management System, version 0004.08.01 (Current). Price in USD. Unit availability and price are subject to change. Dealer terms and conditions may apply.

Featuring products from:



UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

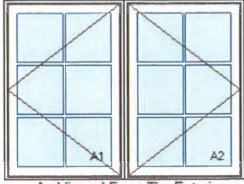
NUMBER OF LINES: 6	TOTAL UNIT QTY: 6	EXT NET PRICE: USD 14,676.48
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LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	Kitchen	Ultimate	Marvin Assembly IO 52 3/8" X 39 3/8" Entered as Size by Units	2,318.40	1	2,318.40
2	Dining	Ultimate	Marvin Assembly IO 68 7/8" X 39 3/8" Entered as FS 68 1/2" X 39 1/8"	2,750.16	1	2,750.16
3	Living (Left)	Ultimate	Marvin Assembly IO 71 7/8" X 53 3/8" Entered as FS 71 1/2" X 53 1/8"	2,436.84	1	2,436.84
4	Living (Right)	Ultimate	Marvin Assembly IO 87 3/8" X 53 3/8" Entered as FS 87" X 53 1/8"	2,848.44	1	2,848.44
5	Bedroom (Left)	Ultimate	Marvin Assembly IO 55 3/8" X 53 3/8" Entered as FS 55" X 53 1/8"	2,161.32	1	2,161.32
6	Bedroom (Right)	Ultimate	Marvin Assembly IO 55 3/8" X 53 3/8" Entered as FS 55" X 53 1/8"	2,161.32	1	2,161.32

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: Kitchen	Net Price:	2,318.40
Qty: 1		Ext. Net Price:	2,318.40



As Viewed From The Exterior

Entered As: Size by Units
 FS 52" X 39 1/8"
 IO 52 3/8" X 39 3/8"
Performance Information A1, A2
 U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001

Bahama Brown Clad Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Inside Opening 52 3/8" X 39 3/8"

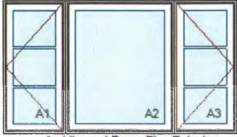
Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 26" X 39 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 2W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Unit: A2
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 26" X 39 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 2W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh
 Standard Mull Charge
 2 3/16" Jamb
 No Installation Method
 ***Note: Frame Size and Basic Frame are measured from the exterior.
 ***Note: Units with Capillary tubes will not have Argon gas.
 ***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Buyer: _____

Line #2	Mark Unit: Dining	Net Price:	2,750.16
Qty: 1		Ext. Net Price:	USD 2,750.16



As Viewed From The Exterior

Entered As: FS
 FS 68 1/2" X 39 1/8"
 IO 68 7/8" X 39 3/8"
Performance Information A1, A3
 U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001
Performance Information A2
 U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.29
 Visible Light Transmittance: 0.49
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01532-00001
Performance Information OA

Bahama Brown Clad Exterior
 Bare Pine Interior
 3W1H - Rectangle Assembly
 Assembly Frame Size 68 1/2" X 39 1/8"
 Assembly Inside Opening 68 7/8" X 39 3/8"

Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 18 1/4" X 39 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Special Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Unit: A2
 Ultimate Casement Narrow Frame - Stationary
 Basic Frame 32" X 39 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG - 1 Lite Low E2 Capillary Tube Stainless Perimeter Bar
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Solid Wood Covers

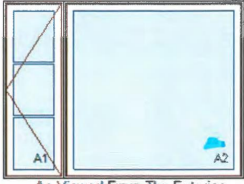
Unit: A3
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 18 1/4" X 39 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Special Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16".
 No Installation Method
 ***Note: Units with Capillary tubes will not have Argon gas.
 ***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.
 ***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".
 ***Note: Frame Size and Basic Frame are measured from the exterior.
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Buyer: _____

Line #3	Mark Unit: Living (Left)	Net Price:	2,436.84
Qty: 1		Ext. Net Price:	USD 2,436.84



As Viewed From The Exterior

Entered As: FS
 FS 71 1/2" X 53 1/8"
 IO 71 7/8" X 53 3/8"

Performance Information A1

U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001

Performance Information A2

U-Factor: 0.32
 Solar Heat Gain Coefficient: 0.33
 Visible Light Transmittance: 0.57
 Condensation Resistance: 54
 CPD Number: MAR-N-339-01519-00009

Performance Information OA

Bahama Brown Clad Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size 71 1/2" X 53 1/8"
 Assembly Inside Opening 71 7/8" X 53 3/8"

Unit: A1

Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 18" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Unit: A2

Ultimate Casement Narrow Frame Picture
 Basic Frame 53 1/2" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG - 3/4" - 1 Lite Low E2 Capillary Tube Stainless Perimeter Bar
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Solid Wood Covers
 Standard Mull Charge
 2 3/16" Jamb

Jamb Depth has been changed to 2 3/16".

No Installation Method

***Note: Units with Capillary tubes will not have Argon gas.

***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".

***Note: Frame Size and Basic Frame are measured from the exterior.

***Note: Unit Availability and Price is Subject to Change

Initials required

Buyer: _____

Line #4	Mark Unit: Living (Right)	Net Price:		2,848.44
Qty: 1		Ext. Net Price:	USD	2,848.44



As Viewed From The Exterior

Entered As: FS
 FS 87" X 53 1/8"
 IO 87 3/8" X 53 3/8"

Performance Information A1

U-Factor: 0.32
 Solar Heat Gain Coefficient: 0.33
 Visible Light Transmittance: 0.57
 Condensation Resistance: 54
 CPD Number: MAR-N-339-01519-00009

Performance Information A2

U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001

Performance Information OA

Bahama Brown Clad Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size 87" X 53 1/8"
 Assembly Inside Opening 87 3/8" X 53 3/8"

Unit: A1

Ultimate Casement Narrow Frame Picture
 Basic Frame 69" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG - 3/4" - 1 Lite Low E2 Capillary Tube Stainless Perimeter Bar
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Solid Wood Covers

Unit: A2

Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 18" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Standard Mull Charge

2 3/16" Jamb

Jamb Depth has been changed to 2 3/16".

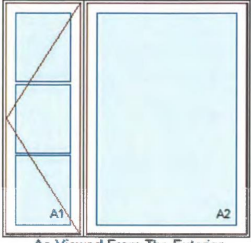
No Installation Method

***Note: Units with Capillary tubes will not have Argon gas.
 ***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.
 ***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Frame Size and Basic Frame are measured from the exterior.
 ***Note: **Unit Availability and Price is Subject to Change**

Initials required

Buyer: _____

Line #5	Mark Unit: Bedroom (Left)	Net Price:	2,161.32
Qty: 1		Ext. Net Price:	2,161.32
		USD	



As Viewed From The Exterior

Entered As: FS
 FS 55" X 53 1/8"
 IO 55 3/8" X 53 3/8"
Performance Information A1
 U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001
Performance Information A2
 J-Factor: 0.32
 Solar Heat Gain Coefficient: 0.34
 Visible Light Transmittance: 0.57
 Condensation Resistance: 54
 CPD Number: MAR-N-339-01532-00001
Performance Information OA

Bahama Brown Clad Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size 55" X 53 1/8"
 Assembly Inside Opening 55 3/8" X 53 3/8"

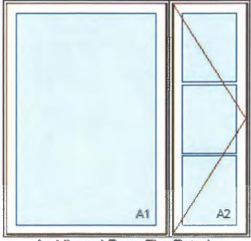
Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 18" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh

Unit: A2
 Ultimate Casement Narrow Frame Picture
 Basic Frame 37" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG - 3/4" - 1 Lite Low E2 Capillary Tube Stainless Perimeter Bar
 Putty Exterior Glazing Profile
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Solid Wood Covers
 Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16".
 No Installation Method
 ***Note: Frame Size and Basic Frame are measured from the exterior.
 ***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.
 ***Note: Units with Capillary tubes will not have Argon gas.
 ***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
*****Note: Unit Availability and Price is Subject to Change**

Initials required

Buyer: _____

Line #6	Mark Unit: Bedroom (Right)	Net Price:	2,161.32
Qty: 1		Ext. Net Price:	USD 2,161.32



As Viewed From The Exterior

Entered As: FS
 FS 55" X 53 1/8"
 IO 55 3/8" X 53 3/8"
Performance Information A1
 U-Factor: 0.32
 Solar Heat Gain Coefficient: 0.34
 Visible Light Transmittance: 0.57
 Condensation Resistance: 54
 CPD Number: MAR-N-339-01532-00001
Performance Information A2
 U-Factor: 0.33
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.44
 Condensation Resistance: 55
 CPD Number: MAR-N-337-01659-00001
Performance Information OA

Bahama Brown Clad Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size 55" X 53 1/8"
 Assembly Inside Opening 55 3/8" X 53 3/8"

Unit: A1
 Ultimate Casement Narrow Frame Picture
 Basic Frame 37" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG - 3/4" - 1 Lite Low E2 Capillary Tube Stainless Perimeter Bar
 Putty Exterior Glazing Profile
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Solid Wood Covers

Unit: A2
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 18" X 53 1/8"
 Bahama Brown Clad Sash Exterior Bare Pine Sash Interior
 IG Low E2 Capillary Tube Stainless Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Stainless Rectangular - Standard Cut 1W3H
 Bahama Brown Clad Ext - Bare Pine Int
 Putty Exterior Glazing Profile
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Bronze Folding Handle Bronze Multi - Point Lock
 Aluminum Screen Bronze Surround Bright View Mesh
 Standard Mull Charge
 2 3/16" Jamb

Jamb Depth has been changed to 2 3/16".
 No Installation Method
 ***Note: Units with Capillary tubes will not have Argon gas.
 ***Note: Rotating wash mode hardware not available on UCA, UCANF, UCA PO, and UCANF PO units with frame width less than 20".
 ***Note: The overall frame depth will be 1 1/16" larger than the jamb size shown above. For example, a 3 1/4" overall frame depth will have a 2 3/16" jamb.
 ***Note: Frame Size and Basic Frame are measured from the exterior.
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from Individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
*****Note: Unit Availability and Price is Subject to Change**

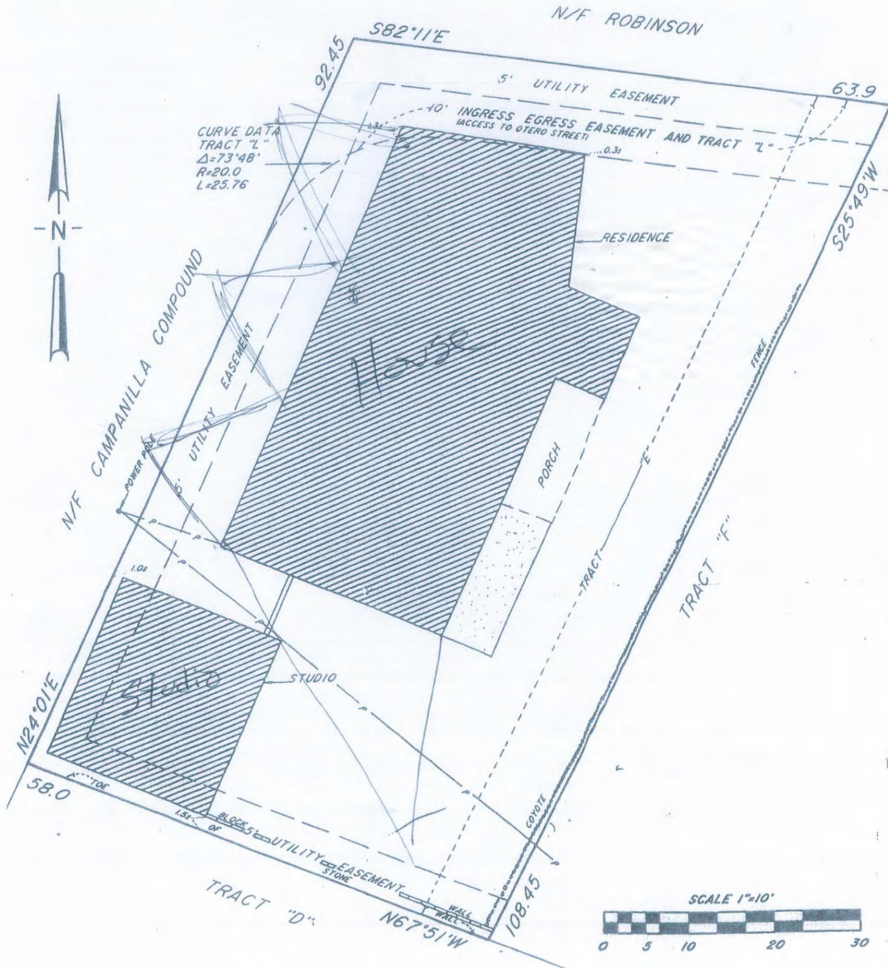
Initials required

Buyer: _____

Project Subtotal Net Price: USD	14,676.48
8.190% Sales Tax: USD	1,202.00
Project Total Net Price: USD	15,878.48

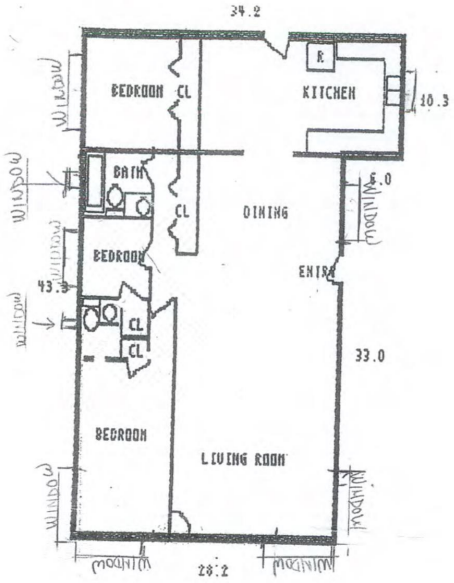
Borrower/Client	Chalmers Forsdale		
Property Address	330 Otero Street		
City	Santa Fe	County	Santa Fe
		State	NM
		Zip Code	87501
Lender	GE Capital Home Equity/GAC - 401 Route 70 East, Cherry Hill, NJ 08034		

PLAT SHOWING IMPROVEMENT: OF
30 OTERO STREET
 330 SANTA FE, NEW MEXICO

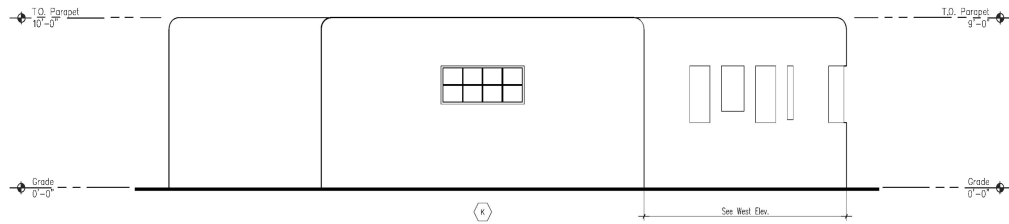


BUILDING SKETCH

HOUSE

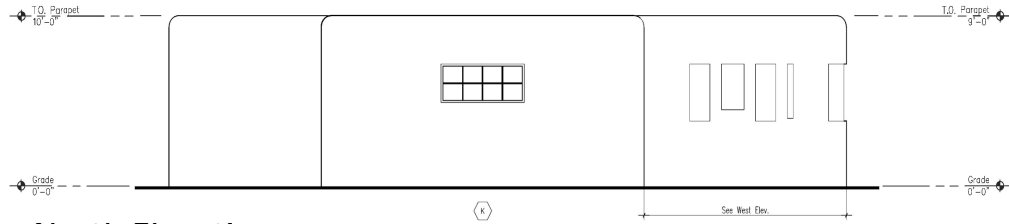


Schmitt
Santa Fe, NM



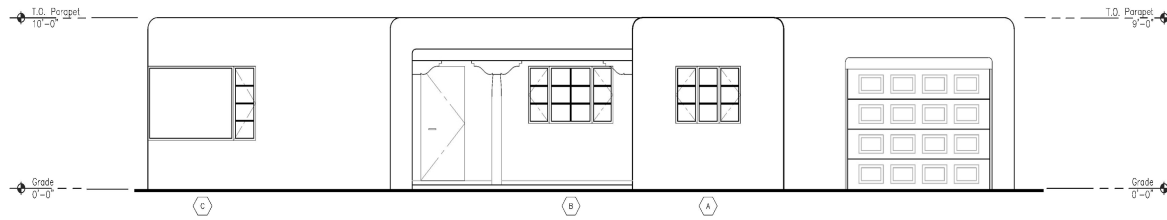
③ North Elevation, Existing

$\frac{1}{4}'' = 1'-0''$



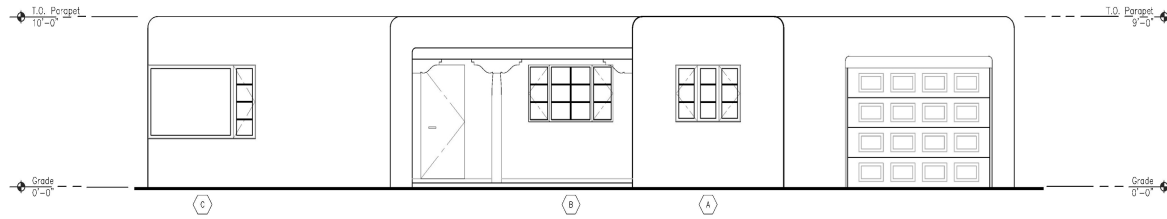
④ North Elevation, Proposed (no change)

$\frac{1}{4}'' = 1'-0''$



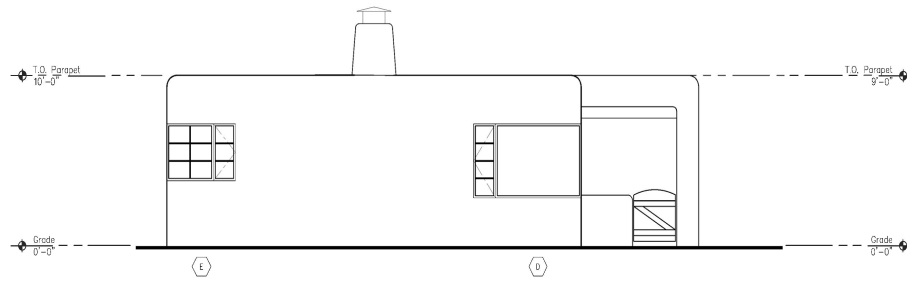
① East Elevation, Existing

$\frac{1}{4}'' = 1'-0''$



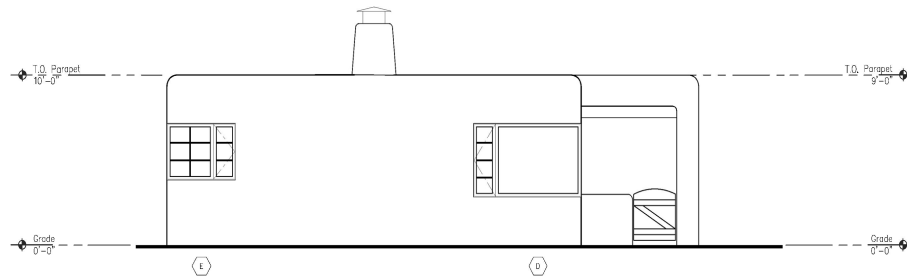
② East Elevation, Proposed

$\frac{1}{4}'' = 1'-0''$



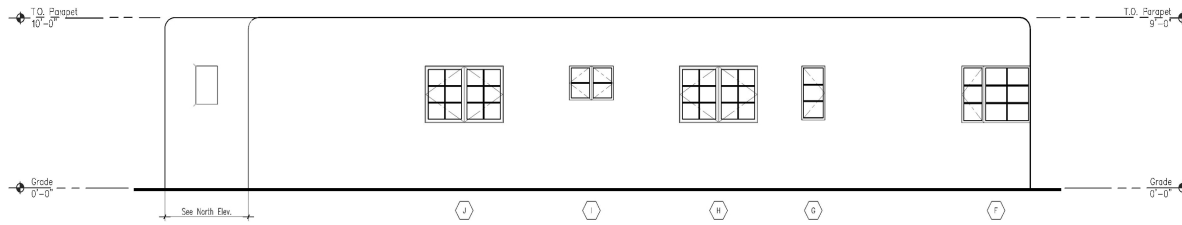
3 South Elevation, Existing

$\frac{1}{4}'' = 1'-0''$



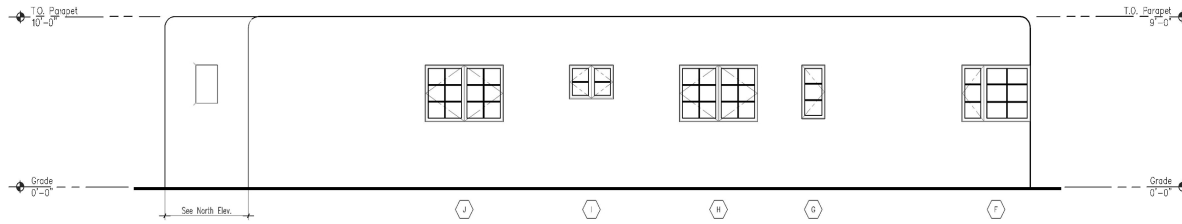
4 South Elevation, Proposed

$\frac{1}{4}'' = 1'-0''$



① West Elevation, Existing

$\frac{1}{4}'' = 1'-0''$



② West Elevation, Proposed

$\frac{1}{4}'' = 1'-0''$



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-009128--HDRB

Project Description: 2024-009128-HDRB, 410 Camino Cabra, Downtown & Eastside Historic District. Non-Contributing, Gayla Bechtol Architect, agent for Stephanie Fine, owner, proposes to demolish a 1,276 sq. ft. residential structure.

Project Location(s): 410 CAMINO CABRA
Santa Fe, NM 87505

Contacts:

Applicant: Gayla Bechtol
320 Aztec Street AVE
SANTA FE , NM 87505

gayla@gbasantafe.com

Property Owner: Stephanie Fine
1016 ACEQUIA TRAIL NW

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: *yes* Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South:

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 2023

Year of Construction: pre-1948

Project Type: Demolition

Historic Building Name: Carrillo House

City of Santa Fe, New Mexico

memo

DATE: October 8, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-009128-HDRB, 410 Camino Cabra, Downtown & Eastside Historic District. Non-Contributing, Gayla Bechtol Architect, agent for Stephanie Fine, owner, proposes to demolish a 1,276 sq. ft. residential structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [previous case documents]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [City Building Official recommendation letter]

STAFF RECOMMENDATION:

Staff finds that all the demolition criteria have been met, therefore; staff recommends approval of the application with the condition that archaeological clearance is obtained prior to the demolition permit being issued per section 14-3.14(D) as it complies with 14-3.14 Demolition of Historic or Landmark Structures.

BACKGROUND & SUMMARY:

The residence at 410 Camino Cabra is a pre-1948 single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. The residence is 876 sq. ft. square with a very pronounced 400 sq. ft. portal along the south and east elevation which is publicly visible.

In 1989, (H-89-124) the HDRB approved the removal of the southern porch and reconstruction of the portal, replacement of windows and doors with fenestration alterations. The yardwalls and residence were reviewed for status in January 2024 and were confirmed as being non-contributing structures.

1. The applicant requests to demolish the residential structure.

The applicant plans to replace the demolished structure with a new residence which is not currently fully designed.

DEMOLITION CRITERIA AND RESPONSES:

(a) Whether the structure is of historical importance.

Applicant Response: The HDRB retained the non-contributing status of the residence and yard walls on January 9, 2024. Therefore, there is no historical importance.

Staff Response: Staff agrees with this response. The structure, while historic has been designated as non-contributing to the Downtown and Eastside Historic District by the Historic Districts Review Board.

(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure.

Applicant Response: The structure is setback from the street and doesn't contribute to a unique street section or block however the new structure will be sited in close proximity to the existing structure.

Staff Response: Staff disagrees with this response. The structure is setback from the street, but it is publicly visible, and it is a small structure on a large lot. While it is not contributing to the neighborhood, it does fit in with the surrounding residences. However, it is not an "essential part of a unique street section".

(c) The state of repair and structural stability of the structure under consideration.

Applicant Response: The building is an uninsulated CMU structure for the most part, built over time with materials that are no longer serviceable based on updated codes, including obsolete mechanical, electrical and plumbing systems. The portal(s) have been filled in, and obliterated by more contemporaneous additions

Staff Response: Staff agrees with this response. The structure is not built to current code. The City Building Official states that the exterior finished grade is not adequate, the south wall foundation wall is part of a retaining wall, and the exterior building walls are constructed of cement

block. He also notes that the roof facia, portal, electric, plumbing and mechanical systems need to be upgraded and are in poor condition. He summarizes stating that the overall condition of the structure is in poor condition.

RELEVANT CODE CITATIONS:

14-3.14 DEMOLITION OF HISTORIC OR LANDMARK STRUCTURE

(D) Referral to Archaeological Review Committee

Upon receiving an application for demolition of structure in a historic district or a landmark structure, the land use director shall refer the application to the Archaeological Review Committee to determine whether damage to archaeological resources may be caused by the demolition and what actions should be taken regarding excavation and the archaeological clearance permit.

(G) Standards

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair and structural stability of the structure under consideration.

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

(B) Minimum Maintenance Requirements

All buildings and structures in the historic district over which the board has jurisdiction to determine whether a demolition permit should be approved or denied and all landmark structures over which the governing body has such jurisdiction shall be preserved

against decay and deterioration and free from certain structural defects in the following manner, by the owner thereof or such other person or persons who may have the legal custody and control thereof. The owner or other person having legal custody and control thereof shall repair such building or structure if it is found to have any of the following defects:

(C) Regulation of Significant and Contributing Structures in the Historic Districts

Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and

(3) Review by Historic Board Required

- (a) Except where this chapter provides for review by staff, the historic districts review board shall review all applications for new construction, alteration, or demolition in the historic districts, and of landmark structures throughout the city, based on the standards set forth in this Section 14-5.2.

(E) Downtown and Eastside Design Standards

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are

frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:


- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: November 15, 2023 - F

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D <u> </u>
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616 4. County: Santa Fe Parcel # 10385536
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: October 11, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: November 29, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6780801,-105.9165658		
10. Photo Information: John W. Murphey, photographer. Photo 1: View of south elevation facing north.		
11. Brief Description of the Property: Likely constructed in the 1940s, 410 Camino Cabra is a basic box-like house with a non-historic <i>portal</i> defining its two public façades. It appears to be built of concrete blocks and sits on a crawl space. It holds roughly 876 square feet, enclosing a bedroom, living room, laundry, dining area, and bathroom. Adding to this are approximately 400 square feet of post-1984 porch area (Figs. 8 & 9). The house has a flat roof and is finished with earthtone cementitious stucco. Its south façade is entirely altered. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: Before 1948 (1940, Santa Fe County Assessor) <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines may not be accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com

For: Gayla Bechtol Architect, PC

18. Owner (if known) and other knowledgeable people:

Current owner: Stephanie G. Fine

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing: house No Status: walls
 Per City of Santa Fe official designation map

If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																											
		NRHP	SRCP	Criteria	A B C D																																								
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		4. County: Santa Fe																																											
		5. Date of Survey: October 11, 2023																																											
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																													
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____																																									
				8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised; over crawl space Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																																									
				9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																									
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>3/1</td> <td>2</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>1—1</td> <td>1</td> </tr> <tr> <td>Combination</td> <td>Wood</td> <td>F-3/1-F-F-3/1</td> <td>1</td> </tr> <tr> <td>Combination</td> <td>Steel</td> <td>3-F-3</td> <td>2</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>1</td> <td>1</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>1</td> </tr> </tbody> </table>				Operation	Material	Glazing	Number	Single-Hung	Wood	3/1	2	Casement	Wood	1—1	1	Combination	Wood	F-3/1-F-F-3/1	1	Combination	Steel	3-F-3	2	Fixed	Wood	1	1	Sliding	Aluminum	1-1	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>4-panel/4-light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>French: 15-light</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	4-panel/4-light	Wood	1	Double	French: 15-light	Wood	1
Operation	Material	Glazing	Number																																										
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Type	Style	Material	Number																																										
Single-Leaf	4-panel/4-light	Wood	1																																										
Double	French: 15-light	Wood	1																																										
12. Chimneys <input checked="" type="checkbox"/> low, stuccoed stack; inside north elevation				13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input checked="" type="checkbox"/> Wrap																																									
14. Other Significant Features N/A																																													
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: Unknown; probable enclosure of original south facade portal; visual and material evidence. #2 Date: Post-1984 HBI survey; alterations of windows on south façade, addition of uniform portal on east and south elevations; Figures 9 and 10 and visual and material evidence.																																													

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |
- Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

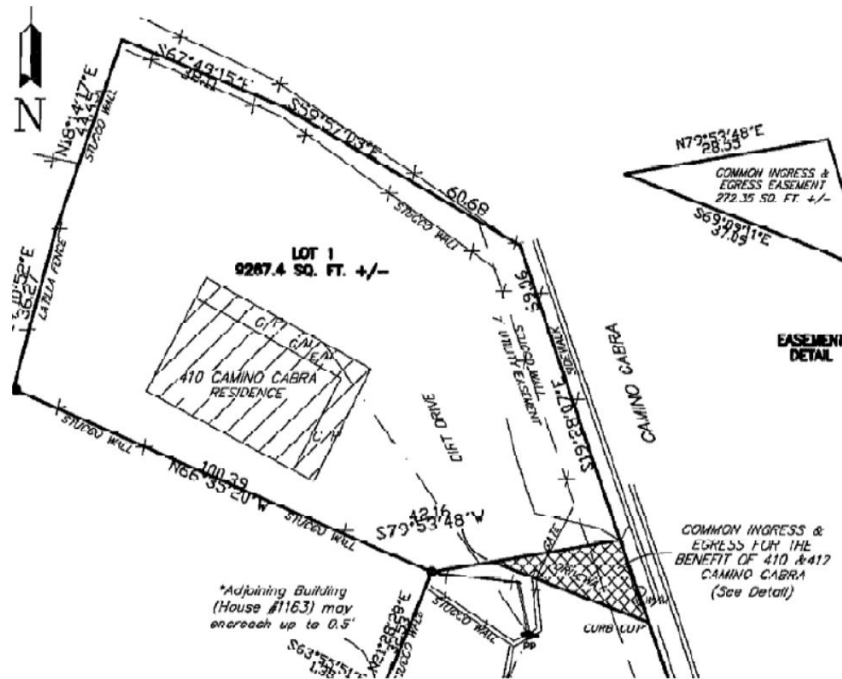
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Portion of 1985 survey plat. Courtesy Rio Embudo Survey Co.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
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		5. Date of Survey: October 11, 2023			

Architectural Description Continued

Setting

It sits on a roughly 0.2-acre site on the west side of Camino Cabra, near its intersection with Camino San Acacio. The site comprises a natural slope and graded pad where the house stands. The yard is mostly gravel, with a few planted trees. Stuccoed yard walls define the property's north and east edges. These do not appear to be of historic vintage. A recent coyote fence traces the west property line. Of interest is a relict section of *Acequia de los Lopez*, which runs along the north side of the property. The house is closely connected to the property to the north at 412 Camino Cabra, having been once under the same ownership.

South Elevation

A painted blue gate opens to the property. The home's south façade, covered by a non-historic portal, faces the entrance (Photos 2 & 3).

This façade has a change in wall plane, potentially indicating the location of the first porch. The west end begins with double glass doors, opening to a dining area (Photo 4). The doors are not historic and replaced what were originally windows (Figs. 9 & 10). A separate roofed area, set back by 17", holds a laundry room. From aerial photographs, this may have been the original portal. Bringing light into the laundry is a long combination window with 3/1 wood sash flanked by narrow, fixed lights (Photo 5). These are not original and were installed after 1984 (Figs. 9 & 10).

East Elevation

The non-historic portal wraps around the east elevation, continuing along the entire façade (Photos 6-8). The façade is fenestrated with windows indicative of the 1940s and '50s. These start at the south end, with a 3/1 wood sash in the kitchen (Photo 9). A non-historic wood door at the north serves as the formal entry to the home (Photo 10). Adjacent is a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom. It provides light into the living room. Pulling off an electrical box cover below the window revealed a geometric veneer cladding, a treatment found on vernacular homes in the Española area (Photo 11, Fig. 9).

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Portal

The portal along the south and east sides extends out 6'-6" from the wall (Photos 3, 6, & 7). Wood posts of roughly 22" to 24" diameter support the structure. Standard size rafter vigas carry the roof (Photo 12). These rest on conventional 5½" x 7¾" plates. The porch floor has broom-finished concrete. Aerials, combined with observed materials, suggest the portal is of recent construction (Figs. 6-8). This is bolstered by an observation of its current uniform design, which includes a raised stuccoed parapet, postdating 1978. This evolution is borne out through an undated photograph of the building before the current portal was constructed (Fig. 9).

North Elevation

The north side has minimal fenestration, consisting of a fixed wood window at the living room and an aluminum sliding unit venting the bathroom (Photo 13).

West Elevation

The west elevation meets the toe of the slope and works as the roof drainage, with water moving into a gutter (Photo 11). The gutter is tacked onto a 10½" overhang. The north end holds the single bedroom with an older inswing wood casement window. The south end steps back 15" at the dining room. This space has a standard steel combination window (Photos 13 & 14).

Yard Walls

The east and north edges of the property have low yard walls (Photo 15). These range in height between 32" and 50" measuring from the inside grade. The walls are uniformly 8½" thick. They do not appear to be old, judging from aerial photographs. The aforementioned blue entry gate is also probably of recent construction (Photo 16). Both appear to be part of an HDRB case (H-04-64, May 25, 2004) that reviewed the construction of new walls and gates at 410 and 412 Camino Cabra.

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Historical Overview

Camino Cabra

Slow to develop until the 1940s, Camino Cabra (or Goat Road) sat outside town limits, far away from major settlement around the Plaza (Fig. 1). The area’s poor soil and distance from the Santa Fe River and attendant acequias retarded development for decades. In contrast, most of the Eastside was on municipal water and sewerage by the late 1950s. Initial construction consisted of several flat-roof houses on the east side of the road south of Camino San Acacio.

The informal road and adjacent arroyo to the east (Arroyo de Las Cabras) were likely named for the goats that once wandered the hillsides. Like its namesakes, it rambled up and over the hill, reaching a ford across *Arroyo de los Chamisos* to the south. For decades, it remained unpaved and was only improved in the mid-1970s after complaints from parents and teachers at East Side Elementary (now Rio Grande School).

The Roybal Family

The house originates with the Roybal family, who owned land bordering Camino San Acacio and Camino Cabra. From census data, the family, headed by Lucrecio Roybal, appears to have moved to Santa Fe in the early 1920s from San Miguel County, where Lucrecio worked in the mines.¹ A 1924 deed, written in Spanish, indicates that he and his wife Andreita acquired land from Apolonio and Julianita Lujan along Talaya Hill, the name by which this area was historically known.² Apolonio is indicated on an earlier map, owning a large swath of land, including the future intersection of Camino San Acacio and Camino Cabra. (Fig. 2).

A portion of the Roybal land was deeded in 1949 to the oldest son, Jacobo.³ Following Lucrecio’s death in 1953, another section was given to the youngest son, Francisco.

¹ United States Census Bureau, Year: 1920; Census Place: San Antonio, San Miguel, New Mexico; Roll: T625_1079; Page: 15A; Enumeration District: 183.

² Warranty Deed (Spanish), Apolonio Lujan and Julianita de Lujan, husband and wife, to Lucrecio Roybal and Andrea Roybal, husband and wife, recorded February 18, 1924, Book 201/Page 13, 264943.

³ Warranty Deed, Andreita G. Roybal and Lucrecio Roybal, husband and wife, to Jacobo G. Roybal, recorded April 7, 1949, Book 40/Page 62, 1949092748.

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Another piece went to Juanita, with the family members closely associated with the home under study (Fig. 5).⁴

Alfredo and Juanita Carrillo

Born on January 6, 1906, Juanita (sometimes Juana) was the oldest child of Lucrecio and Andreita Roybal. After moving to Santa Fe with her family, she married Rosario Apodaca. Apodaca lived on the nearby hill bearing his family’s name, and they made a home there. Juanita had several children with Apodaca, including a son, Vicente, who would inherit the Camino Cabra property many years later.

By the late 1930s, Juanita and Rosario had divorced, and Juanita married Alfredo Carrillo. Carrillo was born on September 20, 1906, and his father, a railroad switchman, died soon after. He grew up in Lamy, where his widowed mother worked as a laundress.⁵ Carrillo was one of six children, and one can imagine the family struggled financially. The 1930 census recorded Alfredo in jail in Green River, Wyoming, along with several other native-born New Mexicans.⁶ He later moved to Montana.

He returned to Santa Fe in the 1930s, working as a foreman for the Works Progress Administration. Around this time, he married Juanita. The couple rented a house at 716 Canyon Road near today’s El Farol restaurant.⁷ Alfredo worked as a janitor. During the war, Carrillo enlisted in the Army, serving a year in the Air Corps at Bucky Field in Aurora, Colorado.

After the war, the couple lived with Juanita’s brother, Francisco, on Camino San Acacio. The property went by the address of 1172 Camino San Acacio at this time. City directories indicate that there were two residences on the property: one occupied by

⁴ Warranty Deed, Andreita G. Roybal and Lucrecio Roybal, husband and wife, to Francisco Roybal, recorded March 19, 1953, Book 69/Page 318, 1953112548.
⁵ U.S. Census Bureau, Year: 1920; Census Place: Lamy, Santa Fe, New Mexico; Roll: T625_1080; Page: 1B; Enumeration District: 134.
⁶ Ibid., 1930; Census Place: Green River, Sweetwater, Wyoming; Page: 28A; Enumeration District: 0013; FHL microfilm: 2342359.
⁷ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1940 (El Paso: Hudspeth Directory Company, 1940), 80.

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Francisco Roybal and the other by Alfredo and Juanita. Francisco’s house now has the address of 412 Camino Cabra.

The Carillo House

Combining information from aerial photographs, census records, and city directories, it appears the house was constructed before 1948 (Fig. 3).⁸ The aerial from 1948 shows a rectangle roughly in the position where the current house stands.

Census enumerators in 1950 recorded Alfredo, then 43, and Juanita, 45, living in and owning the house at 412.⁹ Alfredo held a job at a construction company and is elsewhere identified as a contractor; Juanita was keeping house. Included in the household was their infant son, Andy.

The family does not appear often in the newspaper, but in 1964, Alfredo was caught up in a massive marijuana sweep which grabbed 20 “peddlers” in Santa Fe.¹⁰ He was arrested on two counts and held on a \$5,000 bond. The raid, led by 70 law enforcement officers, targeted mainly Hispanics and represented the anti-marijuana hysteria of the time. He and 29 others were charged with possession.¹¹ The former Army private died three years later. He was 60.

Juanita, now a widow, lived in the house alone. She was a Union Protectoriva de Santa Fe member and walked down to Cristo Rey Church to attend mass. Based on city directories, she lived in the house until 1988.¹² After that time, the address of 1172 (sometimes 1172½) Camino San Acacio, disappeared from directories. Juanita Roybal Carrillo died at La Residencia on November 11, 1998, at age 93.¹³ It was around this time that the property got its new address: 410 Camino Cabra.

⁸ Ibid, 1949, 60. The city directory of this year identified their house as located “rear 1172 San Acacio.”

⁹ U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 74 Out of Order; Enumeration District: 26-5.

¹⁰ “Marijuana Peddlers Nabbed,” *Santa Fe New Mexican*, February 2, 1964, 5.

¹¹ “Santa Fe Grand Jury Indicts 30 on Marijuana Possession Counts, Santa Fe New Mexican, March 1, 1964, B-10.

¹² R. L. Polk & Co., *Santa Fe City Directory, 1988* (Detroit: R.L. Polk & Co., 1988), 94.

¹³ “Juanita Carrillo [obituary],” *Santa Fe New Mexican*, November 12, 1998, 10.

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The property was passed on to her son Vicente (sometimes Vincente or Vincent) Apodaca from her previous marriage. The legal transaction apparently occurred much earlier, in 1971, when her brother Francisco deeded both of his lots to Apodaca.¹⁴ No deeds or other instruments were found suggesting that Alfredo or Juanita ever owned the 410 property.

Vicente Apodaca renovated the homes and installed new walls and gates along each property. Each became a rental. The properties became separate entities in 1985, with a lot split.¹⁵

Evaluation of Historical Status

Based on the 1984 survey and a review of aerial photographs, the house has changed considerably since the original inventory. This has involved the replacement of windows, the introduction of doors along the south façade, and the construction of a wraparound portal. The portal changed the design of the vernacular building, adding an anachronistic Pueblo Revival trope to a small residence that can't carry its visual weight.

For this reason, the recommendation is to maintain the Non-Contributing status for the house and to give the recent yard walls and entry gate the same designation.

¹⁴ Warranty Deed, Francisco Roybal to Vicente Apodaca, recorded January 25, 1971, Book 277/Page 870, 329694.

¹⁵ Plat, Vicente Apodaca, recorded September 19, 1985, Book 157/Page 16, 576110.

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Illustrations

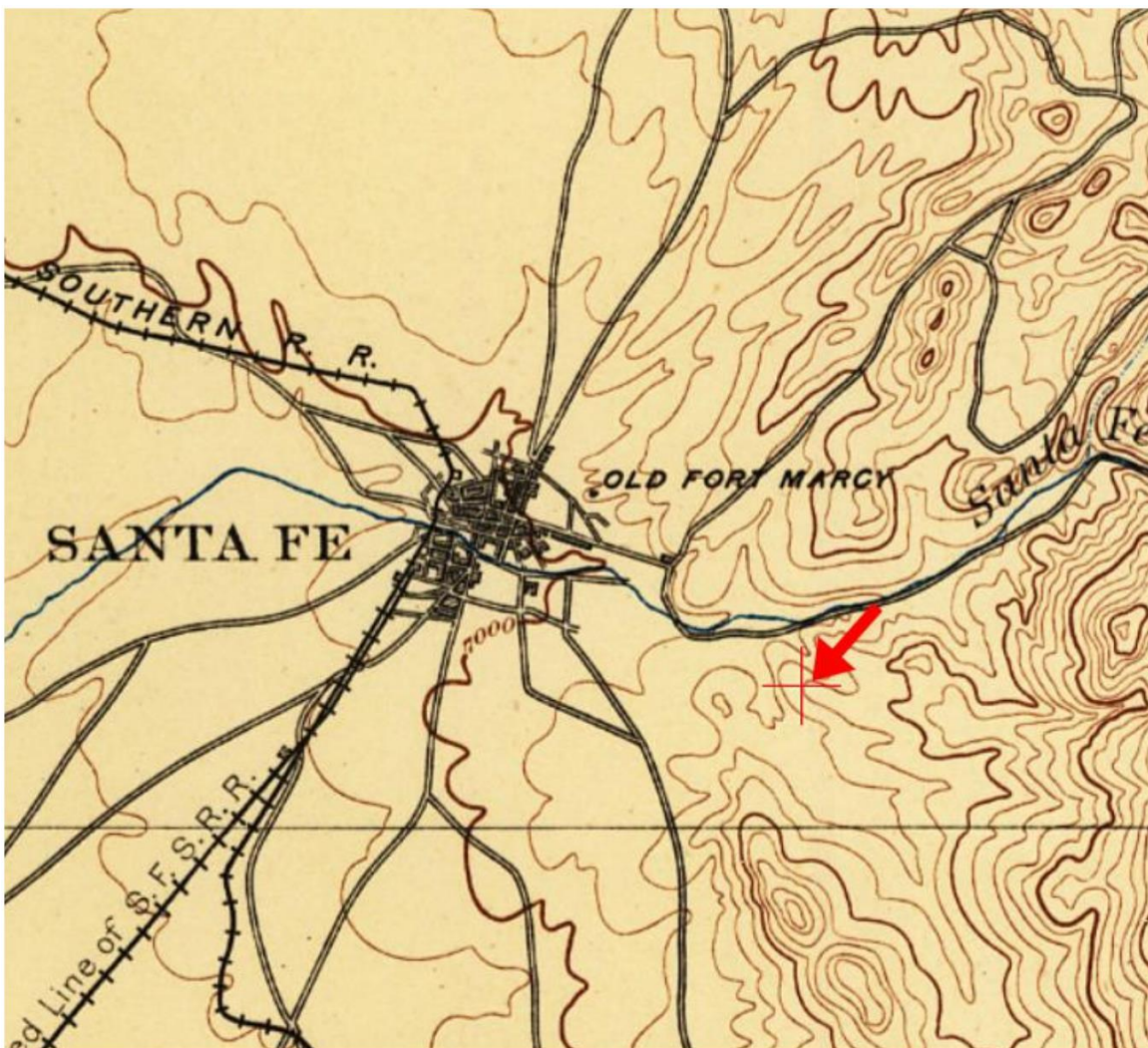


Figure 1: Figure 1: Approximate location of future house.
 A. H. Thompson, "Santa Fe, N.M.," USGS topographical map, scale 1.125,000,
 March 1894.

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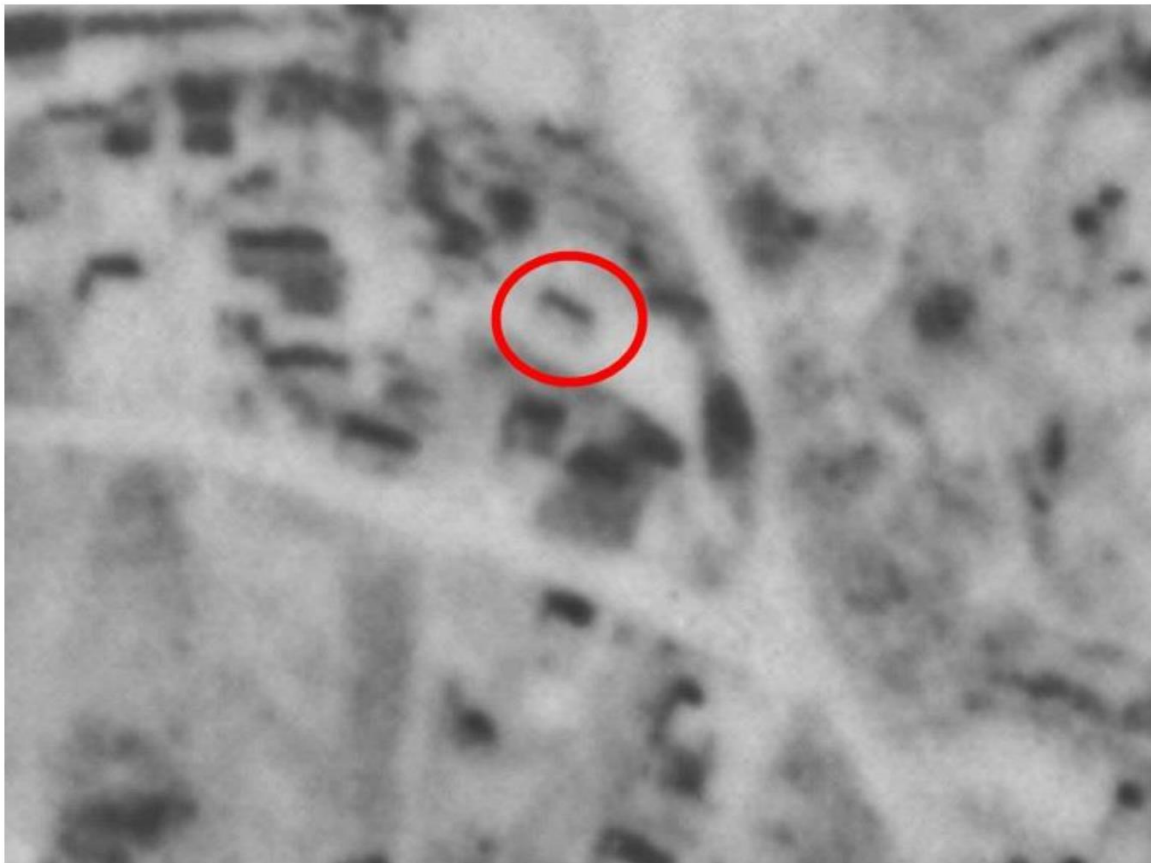


Figure 2: Approximate location of future house.
 William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits,"
 1897-98.

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**Figure 3: October 25, 1948, aerial photograph.
Building highlighted.**

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Figure 4: Subdivision of Roybal land. Lot 19 represents subject property. Scanlon-Erwin & Associates, "Block and Parcel Map of Santa Fe," 1957.

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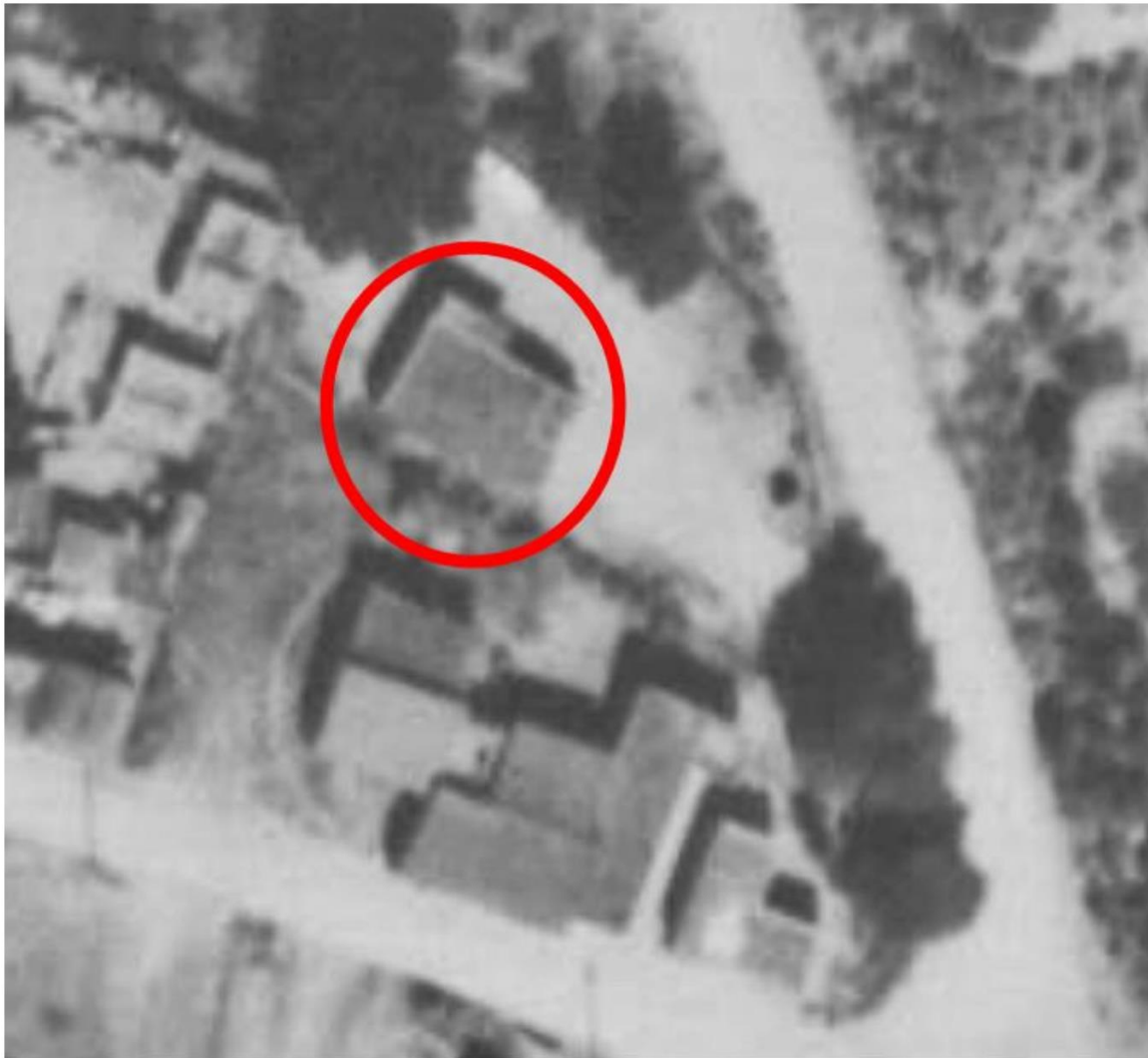


Figure 5: September 25, 1960, aerial photograph. Building highlighted. Note different portal configuration on east elevation and absence of porch on south façade.

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Figure 6: May 2, 1966, aerial photograph.
Building highlighted. Note different portal configuration on east elevation and absence of porch on south façade.

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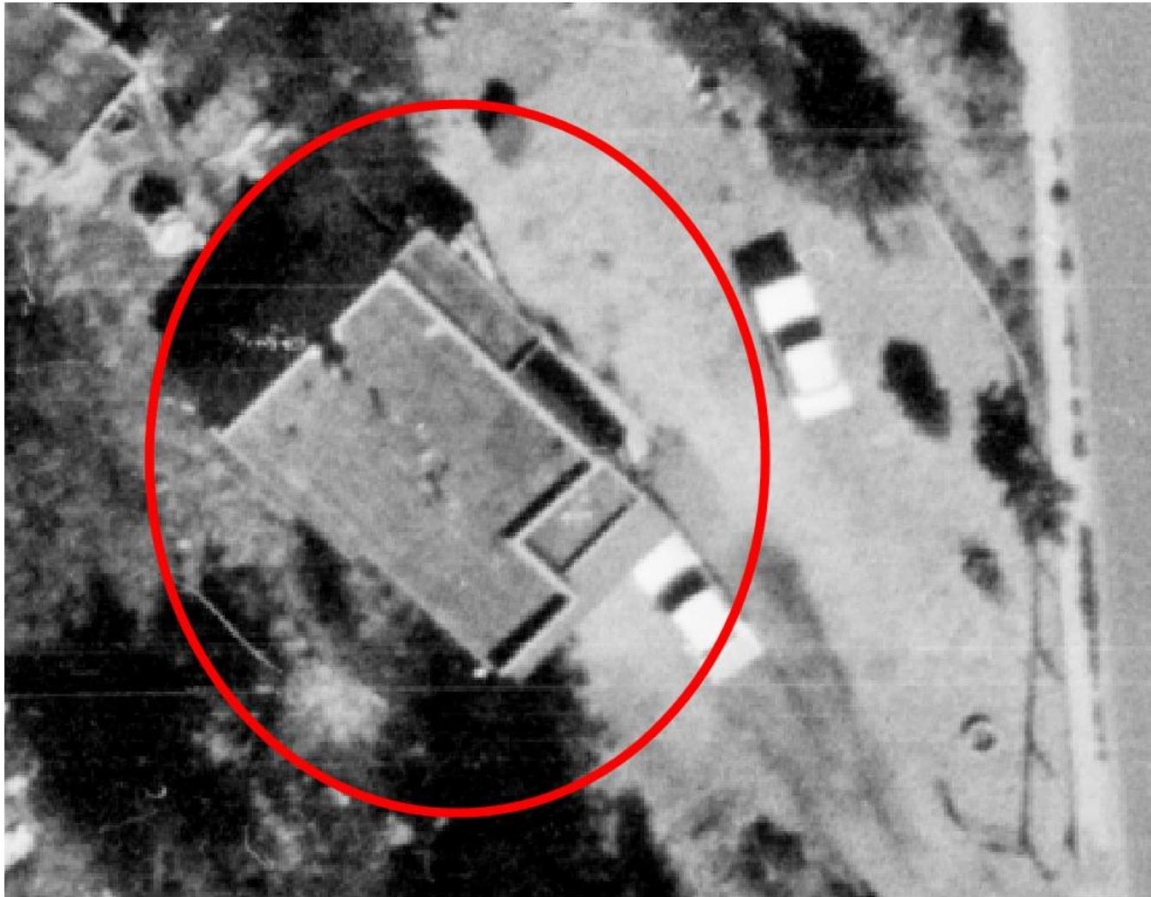


Figure 7: September 11, 1978, aerial photograph.
Building highlighted. Note different portal configuration on east elevation and now the presence of portal on south façade, but of different depth and without the stuccoed parapets founds presently.

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Figure 8: Illustration of changes to portal placed over contemporary aerial.

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Figure 9: Undated photograph (c.1984) showing configuration of south façade. Note windows at dining room, which are now doors; different windows at the laundry room; and a shed roof porch. Note also absence of portal at southeast corner. Courtesy of Santa Fe Historic Preservation Division.

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Figure 10: November 29, 1984, Historic Building Inventory survey photograph. Note shed roof porch across south façade and absence of full portal on east side. The laundry room is fenestrated with different windows. Courtesy NMCRIS.

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Survey Photographs

(All images taken by John W. Murphey, on October 11, 2023, unless otherwise noted)



Photo 2: South and east elevations. Camera facing northwest.

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Photo 3: South elevation. Camera facing northwest.

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Photo 4: South elevation. Double doors at dining area. Camera facing north.

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Photo 5: South elevation. Combination at laundry room. Camera facing north.

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Photo 6: East elevation. Camera facing northwest.

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Photo 7: Southeast corner. Camera facing northwest.

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Photo 8: East elevation. Camera facing north.

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Photo 9: East elevation. Window at kitchen. Camera facing west.

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Photo 10: East elevation. Entry to living room. Electrical box circled. Camera facing west.

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1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			



**Photo 11: East elevation. Whit veneer cladding behind electrical box.
Camera facing west.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			

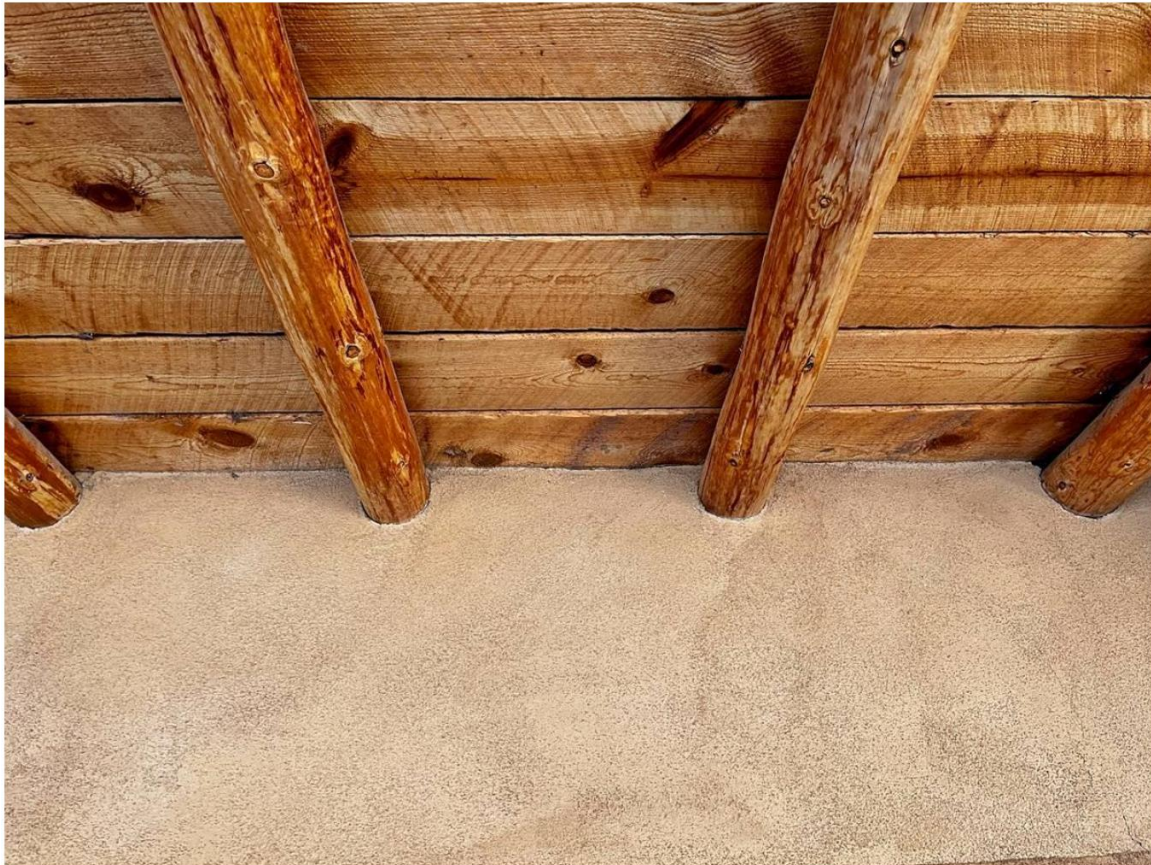


Photo 12: East elevation. Portal decking. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			



Photo 13: West and north elevations. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			



Photo 14: West elevation. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			



Photo 15: East yard wall. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Roybal Property/ Alfredo and Juanita Carrillo House	2. Location: 410 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: 051611616			
		4. County: Santa Fe			
		5. Date of Survey: October 11, 2023			



Photo 16: Blue gate. Camera facing northeast.

building reference number SFHD-6-1616	date 29-8-84	county Santa Fe	file no. 051611616
location description 410 W CABRIL		city/town Santa Fe	
building name		legal description	
file no. 21	negative nos. 34	map sheet	



style	foundation material	date of construction ? estimate _____ actual _____
	wall material/surface	source
architectural features		use present _____ residential other _____
		historic _____ residential other _____
		condition _____ excellent _____ good _____ fair _____ deteriorating
		degree of remodeling _____ minor _____ moderate _____ major
		describe:
		surroundings
		relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar
		historic potential <input checked="" type="checkbox"/> yes _____ no
		significance _____ eligible _____ of <input checked="" type="checkbox"/> none
		if eligible, interest
		why?
		associated buildings? _____ yes
		what type?
		if indented, list ID nos.
		see back? _____ yes



ADDITION TO RESIDENCE FOR VICENTE APODOL
SANTA FE N.M.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
2023-007676-HDRB
Status Review
410 Camino Cabra**

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7676-HDRB

Address – 410 Camino Cabra

Agent's Name – Gayla Bechtol Architect, LLC

Owner/Applicant's Name – Stephanie Fine

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 9, 2024.

BACKGROUND

The residence at 410 Camino Cabra is a pre-1948, single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. It is known as the Alfredo and Juanita Carrillo House. The residence is an 876-square-foot square with a very pronounced 400-square-foot portal along the publicly visible south and east elevations. The portal is 6’6” deep with wood posts supporting it, the roof is supported with vigas and holds a stuccoed parapet, and the flooring is concrete. The residence is flat roofed with earth-tone cementitious stucco and is built of concrete blocks. A surviving section of Acequia de los Lopez runs along the north side of the property.

The east elevation is fenestrated with windows indicative of the 1940s and ’50s. These start at the south end, with a three-over-one wood sash, a non-historic wood door at the north serving as the formal entry to the home, and a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom. The north elevation has minimal fenestration, consisting of a fixed, wood window and an aluminum sliding unit. The west elevation has a gutter along the roof to direct water away from the elevation, as the structure meets the base of the hill along this side. The north end holds an older in-swing wood casement window. The south end steps back 15 inches and has a standard steel combination window.

The southern elevation has had all fenestrations altered in 1989 as part of Case # H-89-124. This approval included the removal of the southern porch, construction of the portal in its current configuration, and the replacement of windows and doors. Stuccoed yard walls define the property’s north and east edges. The northern wall holds a blue entry gate. A recent coyote fence traces the west property line. These walls and gates were approved in HDRB Case # H-04-064 and are not historic.

Currently, the applicant requests confirmation of the status of the residential structure, and they have provided a current HCPI from John W. Murphey. Mr. Murphey’s review of the property indicates that he believes the residence should be designated non-contributing. Reviewing the HCPI and the Historic Preservation Division files, the Staff agrees with this assessment because the residence has had several non-historic alterations which have changed the original structure so that its historic integrity is lost.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be maintained as non-contributing, due to the 1990’s non-contributing portal which obscures the visibility of the structure per SFCC Sections 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “non-contributing structure,” as recommended by Staff. The Board finds that the historic integrity of the house has been lost due to substantial non-historic alterations.
11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation
Case # 2023-7676-HDRB

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant's request to review historic status.
3. The Board maintains the historic status of the residence, including its yard walls and entry gate, as non-contributing.

IT IS SO ORDERED ON THIS 23rd DAY of JANUARY, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Cecilia Rios
Chair

2/28/2024
Date

FILED:

Geralyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Frank Ruybalid
Assistant City Attorney

Jan 24, 2024
Date

second friendly amendment would be that the metal gates be in the style like the existing gates of the current Georgia O'Keefe Museum, as was indicated by the applicant.

Member Guida accepted the friendly amendments.

VOTE: The motion passed by (5-0) roll call vote with Members Guida, Mather, Valdo, Biedscheid and Bienvenu voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=9hmWBh8ejnY> (1:21:20 – 4:34:40)

- h. **2023-007676-HDRB. 410 Camino Cabra.** Downtown and Eastside Historic District. Non-Contributing. Gayla Bechtol Architect, agent for Stephanie Fine, owner, requests a historic status review with primary facade(s) designation for a residential structure. (Lani McCulley)

BACKGROUND AND SUMMARY

The residence at 410 Camino Cabra is a pre-1948 single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. It is known as the Alfredo and Juanita Carrillo House. The residence is an 876 sq. ft. square with a very pronounced 400 sq. ft. portal along the publicly visible, south and east elevations. The portal is 6'6" deep with wood posts supporting it, the roof is supported with vigas and holds a stuccoed parapet, and the flooring is concrete. The residence is flat roofed with earthtone cementitious stucco and is built concrete blocks.

The southern elevation has had all fenestrations altered in 1989 as part of case #H-89-124. This approval included the removal of the southern porch, construction of the portal in its' current configuration, and the replacement of windows and doors.

The east elevation is fenestrated with windows indicative of the 1940s and '50s. These start at the south end, with a 3/1 wood sash, a non-historic wood door at the north serving as the formal entry to the home, and a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom.

The north elevation has minimal fenestration, consisting of a fixed wood window and an aluminum sliding unit.

The west elevation has a gutter along the roof to direct water away from the elevation as the structure meets the base of the hill along this side. The north end holds an older inswing wood casement window. The south end steps back 15" and has a standard steel combination window.

Stuccoed yard walls define the property's north and east edges. The northern wall holds a blue entry gate. A recent coyote fence traces the west property line. These walls and gates are part of the HDRB case H-04-064 and are not historic.

Of interest is a surviving section of Acequia de los Lopez, which runs along the north side of the property.

The property was owned by Francisco Roybal. The Carrillo's resided with Mr. Roybal on the property. In 1988, the property was inherited by Vincente Apodaca, Juanita's son from her first marriage. Vicente split the lot, previously addressed 1172 Camino San Acacio and readdressed the resulting lots as 410 and 412 Camino Cabra in 1985. Currently, the applicant requests confirmation of the status of the residential structure and they have provided a current HCPI from John Murphy. Mr. Murphy's review of the property indicates that he believes the residence should be designated as non-contributing. Reviewing the HCPI and the Historic Preservation Division files, staff agree with this assessment because the residence has had several non-historic alterations which have changed the original structure so that it no longer exists.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be retained as non-contributing, due to the 1990's non-contributing portal which obscures the visibility of the structure per 14-5.2(C) Designation of Significant and Contributing Structures.

Chair Rios asked if staff is indicating that the footprint of this building has changed significantly from the time it was built.

Ms. McCulley said not so much the footprint as the exterior fenestration and the portal that obscures it.

Chair Rios confirmed that has given it a different appearance.

Ms. McCulley said on the HCPI that John Murphy filled in, it looks like that southern portion, which is now enclosed, it used to be a porch but it looks like an enclosed porch area.

APPLICANT PRESENTATION

Gayla Bechtol, previously sworn, said the southern portal was enclosed after 1978, it appears it might have been part of the 1989 addition. She had nothing more to add.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION/ACTION

MOTION: In Case 2023-007676-HDRB, 410 Camino Cabra, Member Biedscheid moved to designate the property as noncontributing, per staff's recommendation, because the structure is non-contributing as well as the yard walls and entry gate,. The motion was seconded by Member Guida

VOTE: The motion passed by (5-0) roll call vote with Members Mather, Valdo, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=9hmWBh8ejnY> (4:34:40 – 4:44:10)

- i. **2023-007675-HDRB. 918-D Acequia Madre.** Downtown and Eastside Historic District. Richard Martinez, agent for Chris Richter and Todd Davis, owners, requests addition of 2,557 sq. ft. addition on a contributing property. An exception is requested to Section 14-5.2(D)(2) (d) exceed 50% of the existing dimension of the primary facade and exceeding 50% of the original footprint. (Ramón J. Sarason)

POSTPONED PER APPLICANT REQUEST

9. DISCUSSION ITEMS

Attorney Ruybalid talked about Isaac Hamilton, a noted architect from his hometown of Trinidad, Colorado. He designed the front of the La Fonda Hotel and the New Mexico Museum of Art. He designed a building called the Temple Aaron in Trinidad. It's in remarkably good historic condition. Mr. Ruybalid is a long-standing member of the Friends of Historic Trinidad which supports the Trinidad Historical Society which has worked diligently to get that building on the National Register of Historic Places. Last month we received the delightful news that the Department of the Interior Historic Preservation Division has placed the Temple Aaron on the National Register of Historic Places.



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT DESC: 2023-007676-HDRB. 410 Camino Cabra. Downtown and Eastside Historic District. Non-Contributing. Gayla Bechtol Architect, agent for Stephanie Fine, owner, requests a historic status review with primary facade(s) designation for a residential structure.

CASE NUMBER: 2023-007676--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 410 CAMINO CABRA
Santa Fe, NM 87505

CONTACTS: Applicant

Steve Howard

320 Aztec ST C
Santa Fe, NM 87501

Property Owner

STEPHANIE FINE

1016 ACEQUIA TRAIL NW

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Jan 09, 2024. The decision of the Board was to to retain the non-contributing status of the residence and the yardwalls.

For further information please call 505-955-6605.

Sincerely,

Lani McCulley

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**

City of Santa Fe, New Mexico

memo

DATE: January 9, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2023-007676-HDRB. 410 Camino Cabra. Downtown & Eastside Historic District. Non-Contributing. Gayla Bechtol Architect, agent for Stephanie Fine, owner, requests a historic status review with primary facade(s) designation, if applicable, for a residential structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [screenshot legacy information]

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [2023 HCPI]

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be retained as non-contributing, due to the 1990's non-contributing portal which obscures the visibility of the structure per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

The residence at 410 Camino Cabra is a pre-1948 single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. It is known as the Alfredo and Juanita Carrillo House. The residence is an 876 sq. ft. square with a very pronounced 400 sq. ft. portal along the publicly visible, south and east elevations. The portal is 6'6" deep with wood posts supporting it, the roof is supported with vigas and holds a stuccoed

parapet, and the flooring is concrete. The residence is flat roofed with earthtone cementitious stucco and is built concrete blocks.

The southern elevation has had all fenestrations altered in 1989 as part of case #H-89-124. This approval included the removal of the southern porch, construction of the portal in its' current configuration, and the replacement of windows and doors.

The east elevation is fenestrated with windows indicative of the 1940s and '50s. These start at the south end, with a 3/1 wood sash, a non-historic wood door at the north serving as the formal entry to the home, and a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom.

The north elevation has minimal fenestration, consisting of a fixed wood window and an aluminum sliding unit.

The west elevation has a gutter along the roof to direct water away from the elevation as the structure meets the base of the hill along this side. The north end holds an older inswing wood casement window. The south end steps back 15" and has a standard steel combination window.

Stuccoed yard walls define the property's north and east edges. The northern wall holds a blue entry gate. A recent coyote fence traces the west property line. These walls and gates are part of the HDRB case H-04-064 and are not historic.

Of interest is a surviving section of Acequia de los Lopez, which runs along the north side of the property.

The property was owned by Francisco Roybal. The Carrillo's resided with Mr. Roybal on the property. In 1988, the property was inherited by Vincente Apodaca, Juanita's son from her first marriage. Vicente split the lot, previously addressed 1172 Camino San Acacio and readdressed the resulting lots as 410 and 412 Camino Cabra in 1985.

Currently, the applicant requests confirmation of the status of the residential structure and they have provided a current HCPI from John Murphy. Mr. Murphy's review of the property indicates that he believes the residence should be designated as non-contributing. Reviewing the HCPI and the Historic Preservation Division files, staff agree with this assessment because the residence has had several non-historic alterations which have changed the original structure so that it no longer exists.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

(2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

(a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of structures located in the Historic Districts.

(b) Board Authority to Review Status Designation

- (i) The Board is authorized to change the status of a structure or to designate a status for a structure with no status designated.
- (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

(c) Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

- (i) An application for construction or demolition as set forth in Section 14-5.2 as follows:

A. Prior to the application being placed on a board agenda or prior to issuance of a building permit, if Board approval is not required, staff shall determine whether or not the board should review the status of the structure. Staff's determination shall be made within thirty days of submittal of the application. If staff's determination is not completed within the thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The

application shall be reviewed based upon the status of the structure following the determination of status.

B. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status. The application shall be reviewed based upon the status of the structure following the determination of status.

(ii) A request from the property owner; or

(iii) A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

(A) for its association with events or persons that are important on a local, regional, national or global level; or

(B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.



**410 Camino Cabra
Center of Street in Front of 408 at 6' Above Ground**



**410 Camino Cabra
Center of the Street at Mid Lot 6' Above Ground**

410 Camino Cabra

View at Driveway from Center of Street 6' Above Ground





**410 Camino Cabra
Center of Street in Front of 412 at 6' Above Ground**



410 Camino Cabra - South Elevation



410 Camino Cabra - East Elevation



410 Camino Cabra - North Elevation



410 Camino Cabra - West Elevation - Facing N.E.



410 Camino Cabra - West Elevation - Facing N.W.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**October 8, 2024
2024-009128-HDRB
Applicant Submittal
Demolition
410 Camino Cabra**



Heather Lamboy, Acting Land Use Director
City of Santa Fe
Historic District Review

July 25, 2024
September 11, 2024

RE: Demolition of a non-contributing house at 410 Camino Cabra / City of Santa Fe Land Development 14-3.14 - Demolition of Historic or Landmark Structure.

Dear Ms. Lamboy,

We are proposing the demolition of the existing house parts of which were originally built circa 1948. The accompanying HCPI was presented to the HDRB and on January 9, 2024 the board retained the non-contributing status of the residence and yard walls.

The current single-family house is roughly 876 SF with 400 SF Portals.

We retained Luchini Trujillo for a structural report attached. Most of the structural members are undersized.

We investigated the possibility of renovating the existing house but found that every system - structural, electrical, plumbing and mechanical are not up to code and would have to be replaced concluding demolition is the most economical and logical use of resources. We request permission to demolish the existing house and yard walls at 410 Camino Cabra.

Thank you!

Sincerely,

Gayla Bechtol, AIA



September 11, 2024

Demolition Criteria for 410 Camino Cabra:

- (a) Whether the structure is of historical importance;

The HDRB retained the non-contributing status of the residence and yard walls on January 9, 2024. Therefore there is no historical importance.

- (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure ; and

The structure is setback from the street and doesn't contribute to a unique street section or block however the new structure will be sited in close proximity to the existing structure.

- (c) The state of repair and structural stability of the structure under consideration.

The building is an uninsulated CMU structure for the most part, built over time with materials that are no longer serviceable based on updated codes, including obsolete mechanical, electrical and plumbing systems. The portal(s) have been filled in, and obliterated by more contemporaneous additions.

City of Santa Fe, New Mexico

memo

Historic Inspection Report

DATE: 3/12/2024

TO: Gary Moquino,
Division Manager
Historic Preservation

FROM: Bobby Padilla,
Building Official, Division Manger
Inspections

ITEM & ISSUE
410 Camino Cabra

BACKGROUND & SUMMARY

An inspection was performed on August 30th, 2024, at the above-mentioned address. The footings and foundation of the structure are in fair condition with some issue to the foundation wall on the south side of structure, south wall foundation wall is part of a retaining wall. Exterior finished grade is not adequate, soil is sloped toward the structure and may allow moister into residence through the foundation. Exterior walls are constructed of cement block with cementitious stucco finish and in fair condition. The roof framing is wood constriction, portal area has exposed beams with vigas. Portal vigas supporting portal are showing signs of rot at the lower section of supports, roof area south side of the structure at the roof facia severe rot deterioration and in poor condition. Electrical, plumbing and mechanical systems need upgrades and are in poor condition.

The overall condition of the structure is in poor and will need considerable amount of maintenance and repair.

Should you have any questions pertaining to this matter, please feel free to contact me at 955-6503.

Thank you,





Luchini Trujillo Structural Engineers, Inc.

April 29, 2024

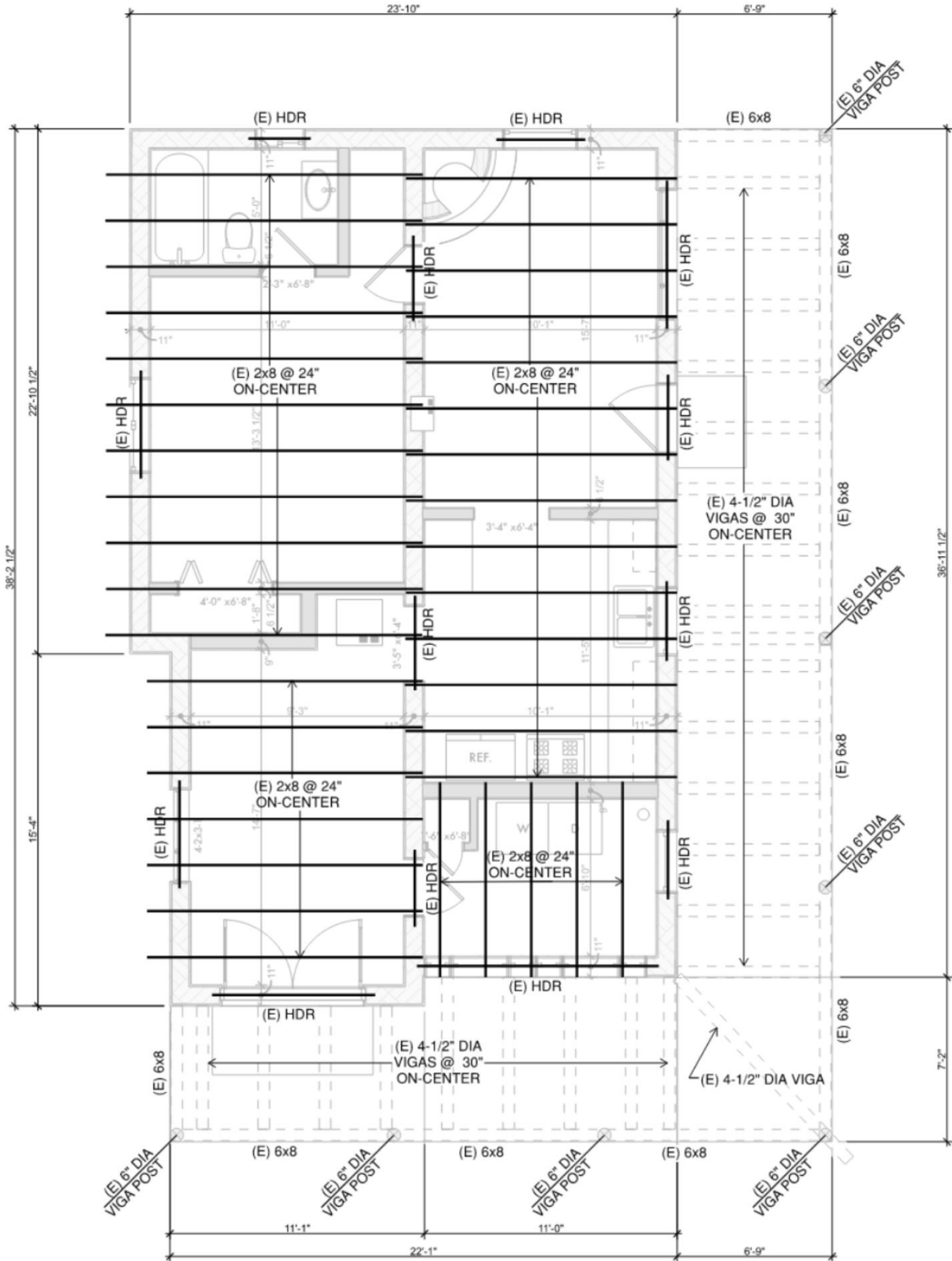
Gayla Bechtol Architects
320 Aztec St Ste C
Santa Fe, NM 87501

Re: Residence @ 410 Camino Cabra, Santa Fe, NM

Dear Gayla,

This letter is to acknowledge that I conducted a site visit on March 19, 2024. The purpose of the site visit was to observe the existing condition of the residence and provide an overall opinion regarding its structural integrity. A floor plan has been provided by Gayla Bechtol Architect and was dated December 7, 2023. Roof and floor framing information was collected, while on-site.





1 EXISTING ROOF FRAMING PLAN
S201



The structure is a single-family, single-story residence. Structural discrepancies and items of concern were observed during the site visit as follows:

1. Roof Framing

Roof framing was observed to consist of 2x8 rafters spaced at 24-inches on-center. The ends of the roof framing members could be observed where they cantilevered past the rear exterior wall.





2. Portal Framing

Portal framing consists of 4 ½-inch round viga members that span between the exterior wall of the building and are supported by beams and columns at the outside.





3. Floor Framing & Foundations

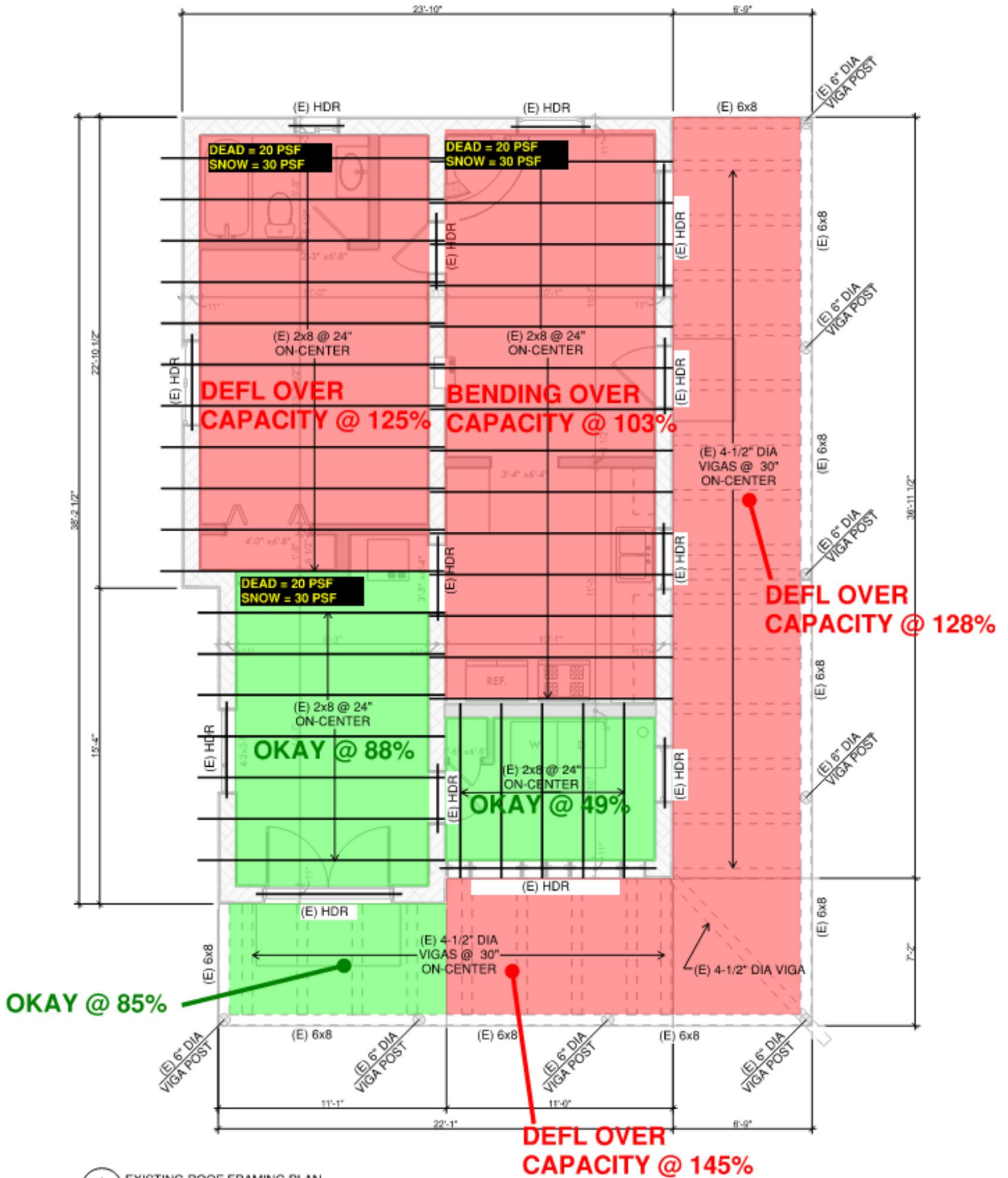
The floor framing below the kitchen appears to have been replaced more recently than the remainder of the home. The crawl space allowed for inspection to observe 2X10s spaced at 24-inches on-center supported by a continuous ledger to the original foundation system. An abandoned wooden sill plate resting on the soil was observed to have been left in-place, likely the previous support for the original framing and indicative of the remaining portions of support conditions.



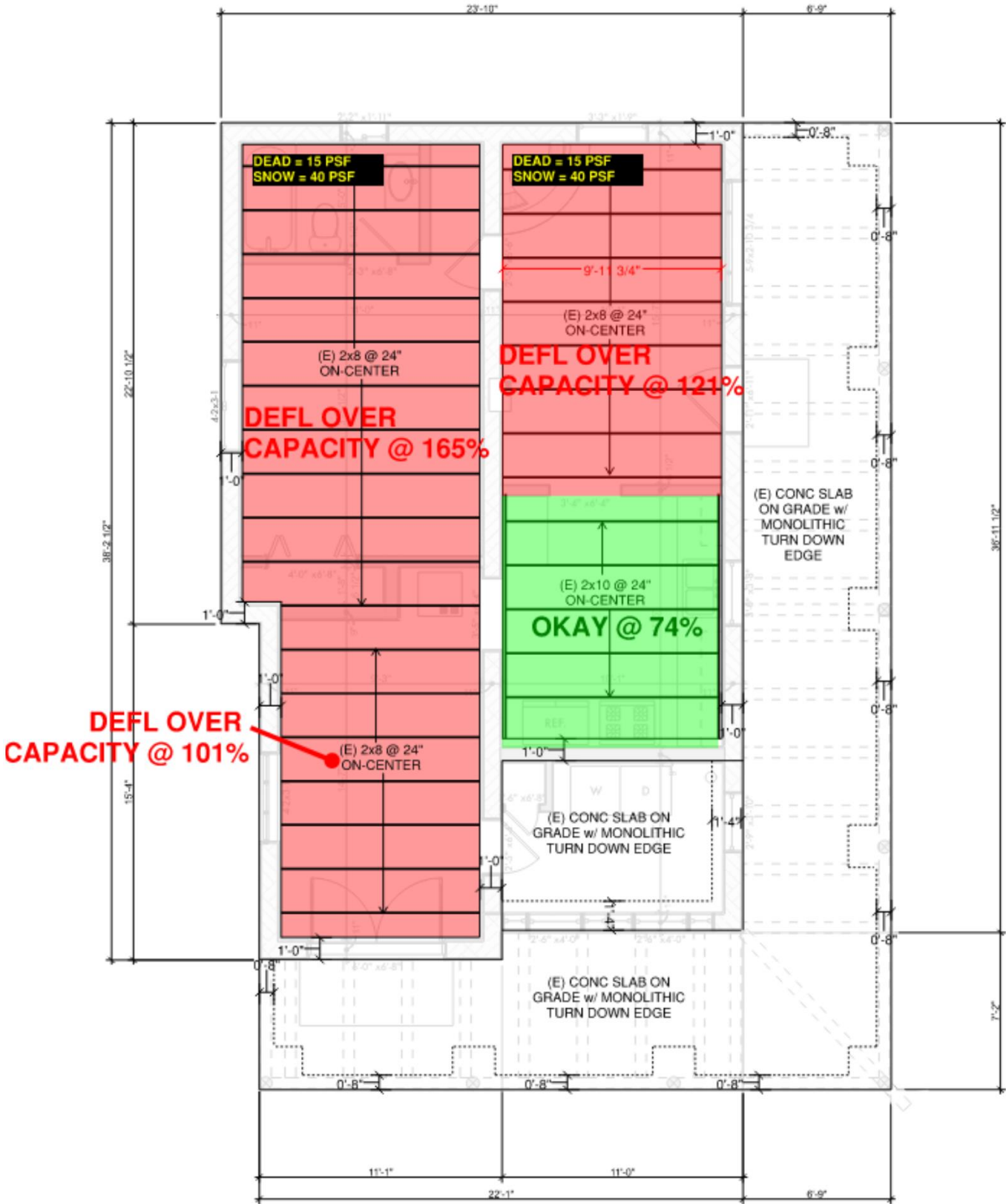
Analysis and Recommendations

Overall, the residence is in good condition. This office has been retained to inspect and provide an opinion regarding existing framings' ability support current code required loading. To-date the evaluation is based on visual inspection as no x-ray or scanning of the foundations have been completed to determine reinforcing or strength.

It was observed that all the entry portal column bases have experienced crushing at the base. Likely caused by a combination of moisture intrusion and loading above the allowable stress.



1 S201 EXISTING ROOF FRAMING PLAN



1 EXISTING FLOOR FRAMING & FOUNDATION PLAN
S101



Code Analysis

This structure is under the jurisdiction of the City of Santa Fe Land Use Department. Currently the department utilizes the 2023 New Mexico Administrative Building Code. A review of the 2021 International Residential Building Code (IRC, as amended) and the 2021 International Existing Building Code (IEBC, as amended) was completed.

In the IRC, Section AJ109.4 outlines requirements that structural elements found to be unsound or dangerous be made to comply with the applicable requirements of the code. New installations shall not create a dangerous condition. Replacement of all the roof and floor framing would define the work as an 'extensive alteration', in accordance with Section AJ109.3. The alteration would then have to meet the reconstruction requirements of the code.

In the IEBC, Chapter 6 of the code indicates that replacing the entire roof and floor framing would be considered a 'substantial structural alteration' because the total affected area constitutes more than 30% of the total floor and roof areas of the building. In this level of alteration, Section 906.2 would require that the lateral load-resisting system comply with the 2023 International Building Code (IBC) requirements (though some reductions to horizontal forces are allowed in this alteration section).

Feasibility of Executing Code Requirements

Based on the site-specific spectral acceleration values, this office has determined that the building needs to meet the code design requirements outlined for a Seismic Design Category D. The existing wall could not be observed. However, the foundations appeared to be constructed with the use of stonemasonry which is typically not reinforced with steel bars; these types of foundations are not allowed to act as part of the lateral force resisting system in this seismic design category as they are non-ductile. In addition, the foundations are incapable of distributing uplift forces due to wind pressure on the walls (based on current code standards).

Summary and Conclusion

It is my opinion that a renovation of the existing structure would:

1. Require extensive replacement or strengthening of the roof and floor framing.
2. In areas where there is insufficient crawl space depth, the foundations would need to be extended or replaced to allow for current code required crawl space depth.
3. The exterior walls would likely need to be replaced with a code recognized lateral code recognized force resisting system for wind and seismic loads. Wall systems such as stud framed with sheathing, reinforced masonry (CMU) and/or concrete reinforced walls may be necessary.

The conclusions and opinions stated are based on our understanding of the facts and evidence stated herein. No warranties, expressed or implied, are intended to be made. Should additional facts or evidence become available pertaining to this project, we reserve the right to review that information and revise opinions when appropriate.



Recommendations provided herein are conceptual in scope and are for use in planning and estimating costs only. The services of a licensed professional experienced in this industry should be acquired to engineer and design the exact structural requirements. Other methods for these repairs may also be available and appropriate.

Please note that Luchini Trujillo Structural Engineers, Inc. has provided structural consultation for only those items described in this letter and assumes no responsibility for the structural adequacy of any other members or systems in this project.

Please contact me if you have any questions or require additional information.

Respectfully,

Eric D. Trujillo, P.E.



410 CAMINO CABRA EXISTING PHOTOS



NORTHEAST CORNER - 1980'S ERA PORTAL



NORTHWEST CORNER

410 CAMINO CABRA EXISTING PHOTOS



SOUTHWEST CORNER

410 CAMINO CABRA EXISTING PHOTOS



SOUTH WALL ABOVE AND GATE AND WALL ON EASEMENT OFF CAMINO CABRA

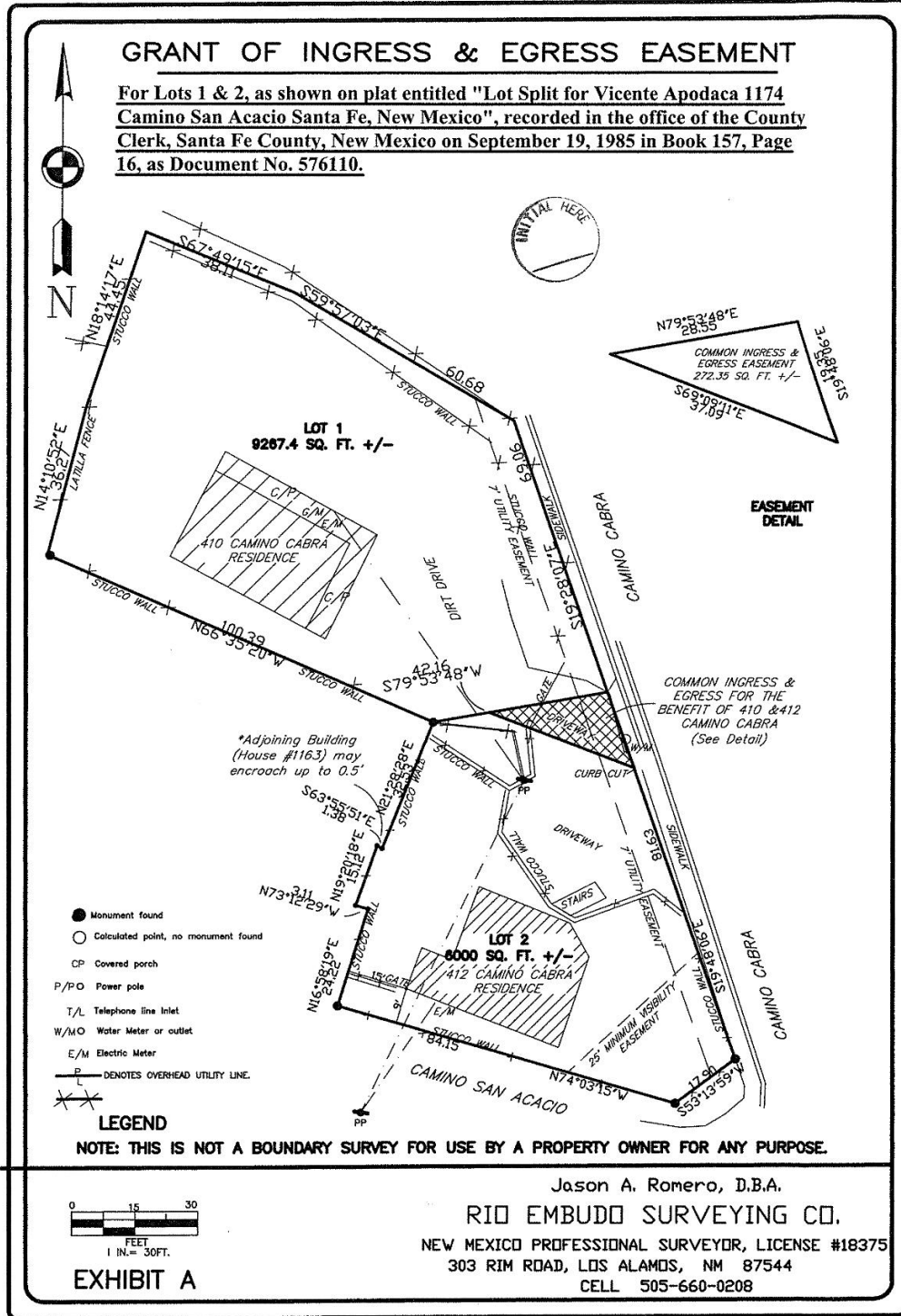


410 CAMINO CABRA EXISTING PHOTOS



AERIAL PHOTO FROM 1966

410 CAMINO CABRA EXISTING PHOTOS



SITE PLAN FROM SURVEYOR



410 CAMINO CABRA EXISTING PHOTOS



PHOTO OF NORTHWEST VIEW FROM 1984 ABOVE AND FROM HDRB FILES



Project Number:
#1011
The drawings and specifications
as instruments of service shall remain
the property of the architect and shall be
used only for the project and for the
purpose intended by agreement in
writing. The architect assumes no
responsibility for construction
conditions not shown or for
dimensions at the site. The architect will not
be responsible for construction means,
methods, techniques, or procedures, or
for any accidents or programs in
connection with the project.

410 Camino Cabra
410 Camino Cabra
Santa Fe, New Mexico 87501



ISSUE

D.

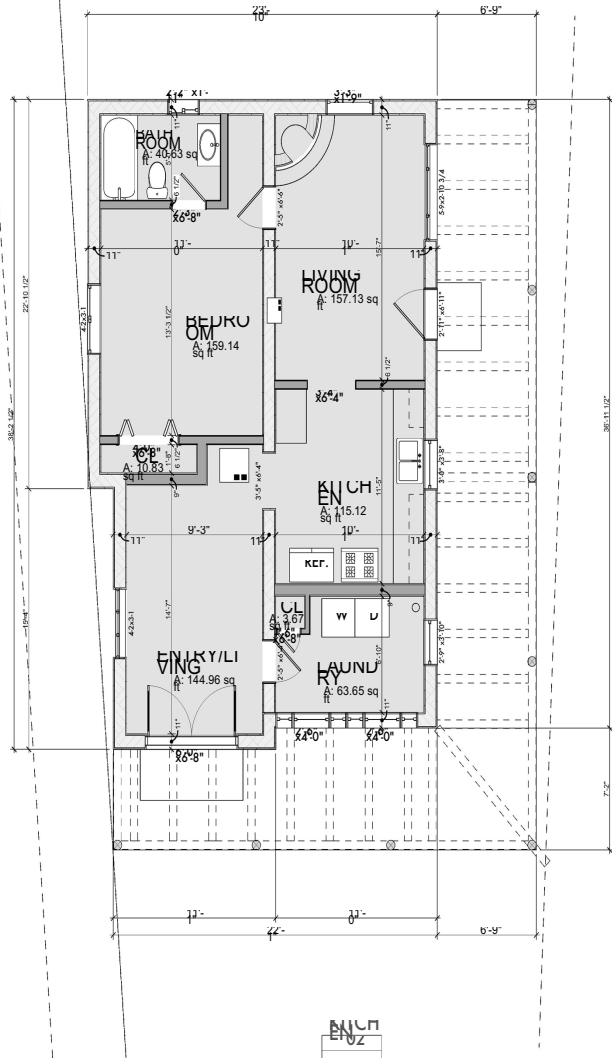
EXISTING

ELEVATION

RS

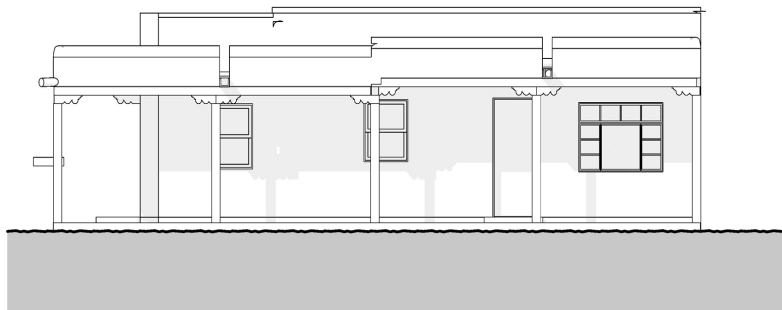
A-2

5/17/2022

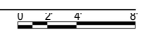


1 Existing Main Level Floor Plan
SCALE: 1/4"





1 Existing East Elevation
SCALE: 1/4"



410 Aztec
Street
Santa Fe, New Mexico
87501
505.660.6301
www.gbasantafe.com

**410 Camino
Cabra**
Cabra
Santa Fe,
New Mexico
87501

Project Number:
#171
Conditions and specifications
as instruments of service
shall remain the property of
the architect and shall not be
reproduced or transmitted in
any form or by any means
electronic, mechanical, or
photocopying, recording, or
by any information storage and
retrieval system, or in any
manner now known or hereinafter
invented, without the prior
written consent of the architect.
The architect will not be
responsible for construction means,
methods, techniques, or procedures,
or programs in connection with
the project.

410 Camino Cabra
410 Camino Cabra
Santa Fe, New Mexico 87501

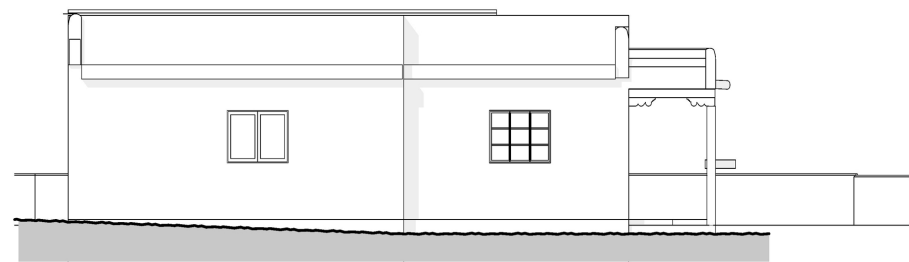


ISSUE
D.

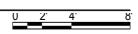
THE EXISTING
ELEVATION
A-
5/22/24

Project Number:
 #101
 All drawings and specifications
 as instruments of service, are and shall remain
 the property of GBA. They are to be
 used only for the project for which they
 were prepared. No part of this
 drawing may be reproduced, stored in a
 retrieval system, or transmitted in any
 form or by any means, electronic, mechanical,
 photocopying, recording, or by any
 information storage and retrieval system,
 without the prior written permission of
 GBA. The Architect will not be responsible
 for construction means, methods, techniques,
 sequences, or procedures, or for safety
 in connection with the project.

410 Camino Cabra
 410 Camino Cabra
 Santa Fe, New Mexico 87501

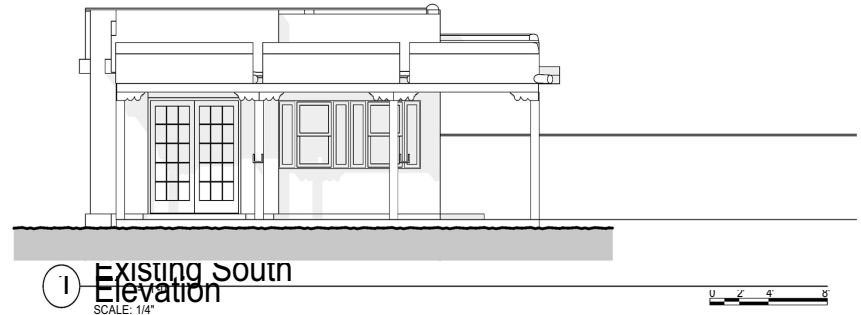


① Existing West
 Elevation
 SCALE: 1/4"



ISSUE	
D.	

Project Number:
 #P111
 Plans and specifications
 as instruments of
 service, and shall remain
 the property of the
 architect. They may be
 used by agreement in
 writing and
 the architect's
 responsibility for
 correlating
 dimensions of the
 job site. The
 architect will not
 be responsible for
 methods, techniques,
 sequences, or procedures, or
 programs and programs in
 connection with
 the project.



① Existing South
 Elevation
 SCALE: 1/4"

410 Camino Cabra
 410 Camino Cabra
 Santa Fe, New Mexico 87501



ISSUE
 D.

EXISTING
 SOUTH
 ELEVATION
A-
 7/20/2024

**410 Camino
 Cabra**
 Cabra
 Santa Fe
 New Mexico
 87501

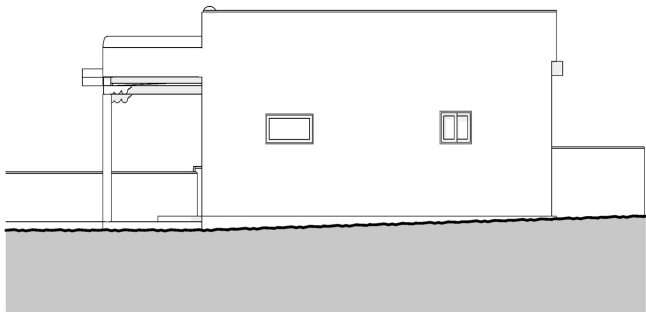
Project Number:
 #1717
 All drawings and specifications
 as instruments of service shall remain
 the property of GBA. No part of this
 drawing may be reproduced or
 transmitted in any form or by any
 means, electronic, mechanical,
 photocopying, recording, or by any
 information storage and retrieval
 system, without the prior written
 permission of GBA. The architect
 shall not be responsible for
 construction means, methods,
 techniques, or procedures, or
 for any accidents or programs in
 connection with the project.

410 Camino Cabra
 410 Camino Cabra
 Santa Fe, New Mexico 87501

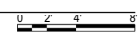


ISSUE
 D:

EXISTING
 ELEVATION
 8



1 Existing North
 Elevation
 SCALE: 1/4"



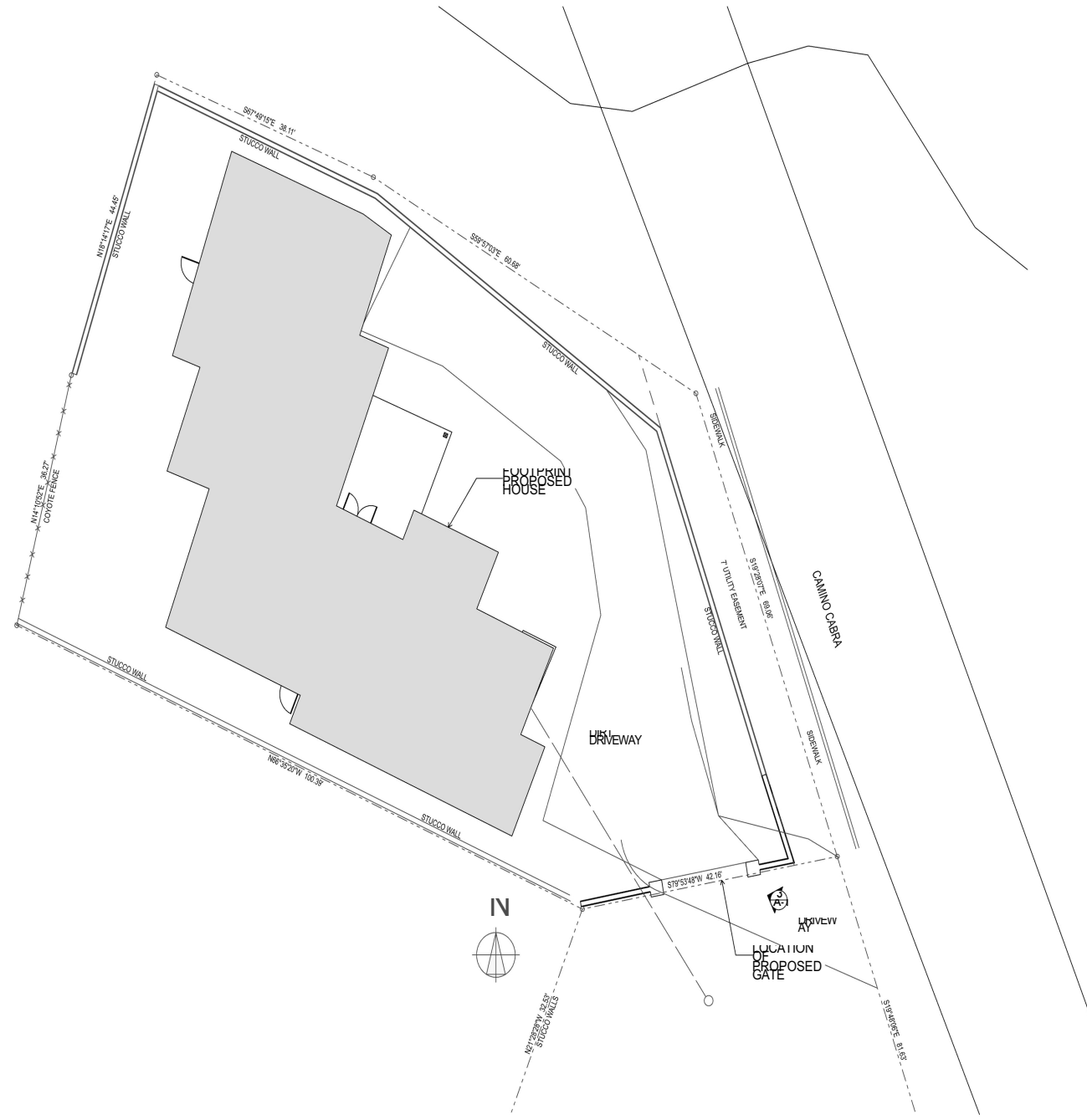
Project Number:
#101
The drawings and specifications
as instruments of service shall remain
the property of the Architect. They
shall not be used for any other
purpose without the written
agreement in writing of the
Architect. The Architect's
responsibility is limited to the
conditions and correlating
dimensions of the
proposed site. The Architect will not
be responsible for
methods, techniques,
sequences, or procedures, or
other matters in
connection with
the project.

410 Camino Cabra
410 Camino Cabra
Santa Fe, New Mexico 87501

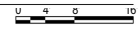


ISSUE	
D.	

**PROPOSED
SITE PLAN**



**1 THE PLAN OF
PROPOSED HOUSE**



City of Santa Fe, New Mexico

memo

DATE: October 8, 2024
TO: Historic Districts Review Board
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2024-009129-HDRB, 544 Canyon Rd., Downtown & Eastside Historic District, Contributing, Jon Dick, agent for Jeff Serra, owner, proposes to construct a 118 sq. ft. addition to a height of 10'-5 1/2" where the maximum allowable is 15'-8" and patio with steps.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Façade Diagram

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Historic Footprint Diagram

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The single-family residence at 544 Canyon Road is listed as contributing to the Downtown and Eastside Historic District. The property is located on a 0.5-acre lot and comprises of the main residence, garage, and guest house. The main residence was originally constructed in the mid-1930s in an L-shape Spanish Pueblo Revival architectural design style as seen by the flat roof, rounded parapets, adobe block and wooden viga construction material, and the recessed divided lite doors and windows. The original historic footprint of the main residence is 3,109 sq. ft. The

proposed addition will not attach to a primary façade, and will be set back 10 feet from the south primary façade.

The property has undergone several alterations recorded in 1993, 2012, and 2018. The HDRB has reviewed and approved the renovations and remodel of the existing garage into a guest house and an addition to the two-story bedroom; renovations of the main residence and guest house which included replacement of the vehicular gate, construction of new yard wall; and an addition to the guest house with new doors and windows. Recently, there have been additions to the main residence and the garage.

Previous Historic Districts Review Board (HDRB) cases include:

Case No. H-93-007. Remodel of existing detached garage for use as a guesthouse, add partial second story. The case was heard on March 8, 1993, and the Historic Design Review Board rejected the proposed remodel of the existing garage for use as a guest house including the addition of a partial second story. The case was appealed on March 12, 1993. The case was tabled by City Council on April 14, 1993. On May 12, 1993, the City Council moved to approve the project and overturn the HDRB's decision with a 4-3 vote.

Case No. H-11-000138. Proposed remodel to a contributing residence by constructing approximately 4,550 sq. ft. of additions that are lower than the existing height, constructing a garden shed/studio, and making other exterior alterations. An exception was requested to place an addition on a primary elevation (Section 14-5.2(D)(2)(c)). The case was heard on December 13, 2011, and the decision of the Board was to designate the north and south elevations as primary and to deny the request to remodel the property.

Case No. H-12-0031A. Request historic status review for this contributing residential structure. The case was heard on April 24, 2012, and the decision of the Board was to downgrade the historic status of the guest house from contributing to non-contributing.

Case No. H-12-0031B. Proposed remodel to a non-contributing guest house including the construction of a 108 sq. ft. addition to a height of 11'6" and to replace windows and doors. This case was heard on May 8, 2012, and the decision of the Board was to approve the request with the amended west window design as submitted.

Case No. H-12-031. Proposed to replace historic materials on a contributing residential structure, replace a vehicle gate, and construct a 4' high yard wall. An exception was requested to replace historic material, Section 14.5-2(C)(1)(c)) and Section 14-5.2(D)(1)(a)). This case was heard on March 26, 2013, and the decision of the Board was to approve the exception request to remove historic material with the conditions that there shall be no publicly visible rooftop appurtenances, that the vehicle gate is approved as redesigned with fenestration, and that the pilaster light fixtures shall be approved by staff before construction permit application is submitted.

Case No. H-18-002. Proposed to construct a 202 sq. ft. addition on a contributing residential structure and a 708 sq. ft. addition on a non-historic garage. An exception is requested to place an addition less than 10' from a primary façade per Section (14-5.2(D)(2)(d)). This case was heard

on January 9, 2018, and the decision of the Board was to approve the application with finding the exception criteria for a setback less than 10' are met and with a condition that the two windows on the north elevation be proportioned with the vertical orientation and new drawings as resized for that change should be submitted to staff before obtaining a building permit. Chair Rios added a condition that no rooftop appurtenances be allowed. Member Biedscheid accepted the amendment as friendly and the motion passed by unanimous vote.

Case No. 2024-008515-HDRB. Request historic status review and primary façade designation. The case was heard on July 23, 2024, and the decision of the Board adopt staff's recommendation and maintain the status of the primary structure as contributing and the guest house, garage, and yard wall as non-contributing with the north and south facades designated as primary as reflected in figures four and six in the 2024 HCPI report. Also include in figure six the small parapet that is missing from the green highlighted section and ask that staff revise their primary façade diagram to reflect the motion. Member Bienvenue requested a friendly amendment given that the status is not clear on the south rock wall, I would ask that the motion include that the specific wall be non-stated pending further determination in the future.

The current request (Case 2024-009129) for the addition and exterior alterations include:

- 1) Construct a 118 sq. ft. addition to a height of 10'-5 ½" on the southwest side of the main residence.
- 2) Construct a 3'-0" x 6'-8" exterior white aluminum clad wood door on the south wall of the addition.
- 3) Construct a brick patio with steps.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
- (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
- (c) Additions are not permitted to *primary façades*.
- (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.
- (e) The height of additions:
 - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
 - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.

(3) Remodeling to Increase Height; Rooftop Appurtenances

- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)

- (b) For significant and *landmark structures*, *publicly visible* roof top appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings* solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.
- (4) Porches and Portals
- Existing *porches* or *portals* shall not be enclosed.
- (5) Windows, Doors, and Other Architectural Features
- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
 - (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.
- (6) Roofs
- The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.
- (8) Archaeological Resources
- Discovery of archaeological resources made during the historic districts review process shall be referred to the archaeological review committee.
- (9) Height, Pitch, Scale, Massing and Floor Stepbacks
- The height, pitch, *scale*, and massing of any *structure* in an historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.
- (a) Applicability
- The following sections identify specific areas and specific *projects* subject to this section. Planning and land use department staff shall determine whether or not properties are included within this section. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

- F. When the proposed *building*, *yardwall*, or fence is located in a *streetscape* that includes no *buildings*, *yardwalls*, or fences, the height of the proposed *building* shall not exceed sixteen (16) feet. *Yardwalls* and fences in this *streetscape* shall not exceed five (5) feet in height.

(c) Height

- (ii) In exercising its authority under this section, the board shall limit the height of *structures* as set forth in this section. Heights of existing *structures* shall be as set forth on the official map of *building* heights in the historic districts.
 - A. If a proposed *building* has a parapet, the façade shall not be in excess of two (2) feet of the average of the height of the façades in the *streetscape*.
 - B. If the proposed *building* has a pitched roof, the ridge height of the proposed *building* shall not be in excess of two (2) feet of the average of the ridge height of the pitched roofs in the *streetscape*.
 - C. *Yardwalls* and fences shall be limited to a height that does not exceed the average of the height of other *yardwalls* and fences in the *streetscape*.
 - D. Pursuant to Section 14-7.4(C), the height of any other *structure* shall be limited to the allowable *building* height within the applicable *streetscape*, as defined in this section. (Ord. No. 2002-37 § 26)
 - E. The height and dimension of signage are as set forth in Section 14-8.10(H).
 - F. The board may increase the allowable height for proposed *buildings* and additions located on a sloping site where the difference in the natural *grade* along the *structure's* foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable *streetscape* measured from natural or finished *grade*, whichever is more restrictive. This increase in height shall be constructed only in the form of *building* setbacks from the *street*.

(d) Pitch

If the determined *streetscape* includes over fifty percent of *buildings* with pitched roofs, the proposed *building* may have a pitched roof. A pitched roof is defined as a gable, shed, or *hipped roof*. The pitch of the roof shall match the predominant pitch extant in the *streetscape*.

(e) Scale

The height of a proposed *building* or addition, its façade length, and its roof form and pitch shall appear to be in proportion to the height, façade length, and roof form and pitch of *buildings* in the applicable *streetscape*, or the *building* on which the addition is proposed.

(f) Massing and Floor Stepbacks

The Board may require that upper floor levels be stepped back, to carry out the intent of this section; provided that the board in making such determinations shall take into account whether the height of the proposed *building*, *yardwall*, fence, or proposed stepback of upper floor levels is in harmony with the massing of the applicable *streetscape* and *preservation* of the historic and characteristic visual qualities of the *streetscape*. The Board shall also require that the *publicly visible* façades of the *structure* be in conformance with Subsections 14-5.2(E) through (H), and in meeting those requirements, may require that different floor levels be stepped back.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;

- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
 - (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
 - (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.
- (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



544 Canyon Road: Façade Diagram

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: April 27, 2024

For HPDOffice use only:					
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe		3. Local Reference Number: Santa Fe ID: H-1020		
5. Property Type: <input checked="" type="checkbox"/> Buildings: Three <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object					
6. Date of Survey: April 20, 2024					
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 29, 1984, Michael Belshaw– house only <input type="checkbox"/> No:					
8. Name of Project: HDRB Status Evaluation					
9. Lat/Long: 35.6813342,-105.9324257					
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: South elevation. Original core of house. Camera facing north.					
11. Brief Description of the Property: Erected in 1936 as an estate home for Colonel Thomas Benton Catron, the building’s core consists of a one-story L-plan with a second-story bedroom wing. The attached additions have expanded the house’s footprint (Fig. 1). The property includes a one-bedroom guesthouse, a new combination garage, and a studio. The house has recently been updated. Its window frames resemble white wedding cake icing, and its shutters glisten like fine chocolate. <i>Continued on Page 5.</i>					
12. Who uses the property? Residence					
13. Construction Date: 1936, main house, with additions in 2013 and 2018; guesthouse, formally a garage with a second story added in 1994, with addition made in 20212; garage/studio, 2012 and 2018 <input checked="" type="checkbox"/> known <input type="checkbox"/> Estimated Source: newspaper accounts, aerial photographs, and HDRB cases and associated drawings					
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public					
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A					

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Giulia Caporuscio

For: Jeffrey R. Serra and Kirsten Tollefson, via
Jon Dick, Archaeo Architects

18. Owner (if known) and other knowledgeable people:

Current owner: Jeffrey R. Serra and Kirsten Tollefson
N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing: house and guesthouse* Non-contributing No Status: garage
Per City of Santa Fe official designation map *per 2012 HDRB ruling, garage should be Non Contributing (H-12-031A)

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM2) Continuation Sheets, # pages: _____

HCPI Detail Form (FORM2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- Art Deco/Streamline Moderne Gothic Revival Mission Revival Pueblo Spanish-Pueblo Revival
- Bungalow/Craftsman International Neo-Classical Queen Anne Territorial
- Colonial Revival Italianate Northern NM Ranch Territorial Revival
- Folk Victorian Mediterranean Prairie Spanish-Colonial Tudor Revival

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM87504
 (505) 955-6605
<https://www.santafem.gov/land-use/historic-preservation>

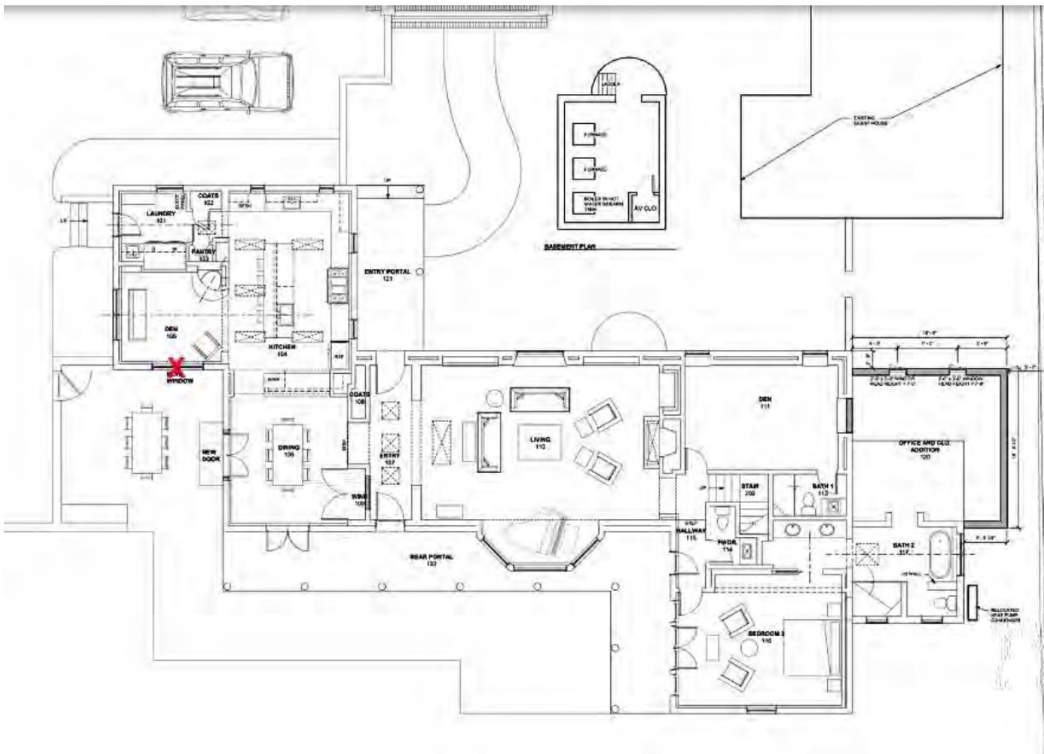
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: N/A. 2018 ground floor plan. Courtesy Lom Tryk Architects



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe							
				3. Local Reference Number: Santa Fe ID: H-1020				
				4. County: Santa Fe				
				5. Date of Survey: April 20, 2024				

Architectural Description Continued

The buildings are located about 230’ south of Canyon Road at the end of a private lane (Photo 2). The house is not visible from the public street. The 0.5-acre lot is landscaped with lawns and recent hardscaping, including brick paver paths, patios, and a pool area.

North Façade

The north elevation, holding the main entry, is approached by a curving paver path (Photo 3). The principal organization of the building is evident in the approach. It comprises an east-west one-story wing. The living area is attached to a two-story, bulky bedroom suite, and takes up the southeast corner. The front entry is protected by a short portal, showing typical construction of its period with stout posts, squared beams, and intersecting vigas (Photo 4).

Two windows along the *portal* represent the operation and appearance of other windows of the house. They are 4/4 single-hung wood units painted white (Photo 5) and, along with most of the windows, do not appear historic. Windows of this type, in solo or grouped arrangement and 4/4/, 6/6, and 8/8 light patterns, are found throughout the home. They are bracketed by rustic plank shutters, some of which have been replaced. The house is entered through a non-historic door (Photo 6).

South of the entry, the living area wing carries as an unbroken façade for about 75”. It includes an office addition created after 2018. A large, 30-light window flanked by huge shutters stands near its west end (Photo 7). The window is an in-kind replacement. At ceiling height, there is a stitching of short viga ends. A den with conventional 6/6 sash windows sits east of the living room (Photo 7). The second story of the bedroom suite rises behind the den and is fenestrated with small casement windows. The addition, with its tiny square casement windows, completes the ground level of the north façade (Photo 8). The HDRB-approved addition involved removing a window on the east elevation.

South Façade

The south façade looks over a lawn and was designed for outdoor living (Photo 1). The façade begins modestly with a small, offset volume holding a den and laundry (Photo 9).

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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The former is a blank wall that, up until 2018, had a door and, before that, a window. A long portal traces the living area of the house (Photo 10). Of interest is a bay window in the living room (Photo 11). The three-angle projection holds a center fixed 20-light panel bookended by an 8/8 sash.

The portal turns south to reach the bedroom suite. French doors with sidelights open to the portal from the downstairs bedroom. The doors are not original.

The façade continues eastward with the bedroom suite (Photo 12). The first floor has a single, 6/6 window with shutters; the upper floor has smaller grouped windows of the same light configuration but without shutters. The façade ends with two additions: a bathroom and 5' of the blank wall of the office addition (Photo 14).

Secondary Elevations

Both the east and west elevations have experienced alterations. Following HDRB approval, the door and window of the laundry/den area on the west elevation were replaced (Photo 13). The window opening was enlarged to hold two units. Decorative vigas on the west elevation along the living area and the second floor of the bedroom suite have been removed. The east elevation has received two additions since 2012, altering 3/4ths of its original design (Photo 14).

Guesthouse

Standing north of the main house is a two-story guest quarter (Photo 15). The origin of the building is unknown, but its original one-story, square footprint appears in mid-twentieth-century aerial photographs (Fig. 3). Historically a garage, the HDRB approved a second-story addition to the building in 1993. This building was again altered with an addition and a change of windows and doors in 2012.

Garage/Studio

The garage was constructed in 2012, following a Board approval. An addition was added to it in 2018 (Photo 16).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property:		2. Location:		3. Local Reference Number:	
Col. Thomas B. Catron Residence		544 Canyon Road Downtown and Eastside Historic District Santa Fe		Santa Fe ID: H-1020	
				4. County: Santa Fe	
				5. Date of Survey: April 20, 2024	

Historical Overview

Starting as Thomas Benton Catron II's retirement home, the estate-sized house has evolved over the years, growing with additions and amenities such as a pool, spa, and fire pit. Each addition and renovation has goosed up the old house — made it prettier but not more authentic.

The Colonel: 1936-1943

In late December 1935, Lieutenant Colonel Thomas B. Catron arrived with his family from Hawaii to visit his brother, attorney Fletcher Arthur Catron, at his home on Canyon Road.¹ Both men were the sons of the notorious Confederate attorney and land grabber, Senator Thomas Benton Catron.

While born in New Mexico, Thomas Catron II spent much of his career in the military, in the educational wing of the army. At various times, he lived in Fort Leavenworth, Kansas; West Point, New York, and Washington, D.C., where his household included a Black servant.² He was last attached to the Army's G-3 Operations, Hawaiian Division, in Honolulu. He expected to retire from the military the following March and return to Santa Fe to build a house next to his brother, who had recently completed his own home (540 Canyon Road).

The colonel's \$20,000 home was completed in June 1936 and immediately became the center of social life. Thomas and his wife, Marjorie, were avid equestrians and used the completion of the house to host a horse ride.³

News accounts show the house as the starting point of rides and organizational meetings for horse shows, of which the colonel served as ringmaster. Lectures and teas were advertised, and at one point, Jens Jensen, the now famous landscape architect, gave a lecture.

¹ "Lieut. Colonel and Mrs. T. B. Catron," *Santa Fe New Mexican*, December 1935, 2.

² U.S. Census Bureau, Year: 1930; Census Place: Washington, District of Columbia; Page: 7B; Enumeration District: 0381; FHL microfilm: 2340039.

³ "Twilight Ride and Steak Fry Enjoyed by 25 Equestrians," *Santa Fe New Mexican*, June 15, 1936, 3; "Riders Assemble at Catrons, 3:15," *Santa Fe New Mexican*, June 19, 1936, 2.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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The 1940 federal census documented the home and all its occupants. Thomas, 51, who was now involved in industry and local civic affairs, headed the household, along with Marjorie, 49, who managed home affairs. The household included daughters D.K., 19, Marjorie F., 17, and son Thomas Benton Catron IV.⁴ There were no servants or live-in help.

Colonel T.B. Catron didn't retire for long. The war brought him back on duty, sending him and the family to Washington, D.C., where he served as an adviser to Oveta Culp Hobby, the first director of the Women's Auxiliary Army Corps.

Catron would not return to the Canyon Road house. He sold a portion of the land in 1944 and began renting out the home to Mary T. Whitmer, to whom he would later sell it.⁵ Colonel T.B. Catron eventually relocated to Amherst County, Virginia, where he died in 1973.

The Sad Widow: 1946-1950

On the night of August 1, 1950, Mary T. Whitmer, a 64-year-old widow, took a garden hose and affixed it to the exhaust pipe of her car, parked in the garage of the former Catron estate. She ran the hose through a back window and sealed the gap with newspaper and tape. She took upholstery fabric, spread it across the backseat, weighed it down with bricks, and created a cocoon. She took off her house slippers, got in the back of the car, and was found dead the following day.⁶

Based on social notices before her death, Mary appeared to be living a charmed life. She moved into the Catron house around 1946 and soon hosted events for the Santa Fe Garden Club and the Guild of the Church of the Holy Faith. Every year, she appeared to host a tea or garden party — and only two months before she had a group of college girls stay over. But the census shows she lived alone.

Mary came to New Mexico in the early 1920s, following her husband, a lumber operator from Cleveland. They moved to Albuquerque so that he could establish a sash and door

⁴ Thomas Benton Catron III was the son of Fletcher Arthur Catron.

⁵ Quitclaim Deed, Marjorie K. and T. B. Catron to Mary T. Whitmer, recorded July 18, 1950, Book 50/Page 238, Instrument # 99214, Santa Fe County, New Mexico.

⁶ "Inquest Set in Death of Mary Whitmer," *Santa Fe New Mexican*, August 20, 1950, 2.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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factory for his Ohio and New York-based Whitmer-Jackson Company. In Albuquerque, Mary got involved with the League of Women Voters, organizing voting events; they lived in a Pueblo Revival home on Luna Boulevard. In 1930, she lost her husband and, eight years later, her only son, who died during a hiking trip in the Sandia Mountains while she was vacationing in Europe.

An inquest ruled that her death was “self-inflicted.” She had left notes and letters around the house, specifying funeral arrangements and care of the home. The property would only stay under her name for six months before it was deeded to a woman who had gone gung-ho on Santa Fe architecture.

She Had it Her Way: 1951-1958

In 1935, Philena W. Hubbard — one of the wealthiest women of Redlands, California — brought a New Mexico builder to her Riverside County orange grove to erect an authentic adobe, Santa Fe-style house.⁷ The builder, Ignacio Ronquillo, had helped her restore and improve an old adobe home in Tesuque, where she and her husband bought a ranch in the late 1920s.

They had discovered New Mexico, much like Georgia O’Keeffe, through a camping trip at Ghost Ranch. Smitten with the New Mexico, they acquired the ranch in 1929 and worked with Kenneth Chapman to redesign its house.

The house built in the orange grove in California — still standing — was made of adobe and conformed to the plan of a portal-fronted residence, with rounded parapets, battered walls, and vigas, made not with traditional ponderosa but with telephone poles. The interior included exposed lintels and a beehive fireplace. It was furnished with Spanish folk furniture and had ristras made by Santa Fe resident Timoteo Griego.

Philena could have it her way. She was born in 1895 in Oakland, California, to parents Clarence Jesse Wetmore and Mary Electra Camden, both children of the 49er Gold

⁷ “How Santa Fe Was Transplanted to a California Orange Grove,” *Santa Fe New Mexican*, July 6, 1935, 4.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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Rush. Her father had the distinction of being the first student to enroll at the University of California, Berkeley, and was a founder of Cresta Blanca Winery in Livermore.⁸ Her husband, Herbert Lincoln Hubbard, a Stanford graduate also of California pioneer stock, had hundreds of acres of orange groves. In addition to Tesuque, the couple had a real ranch in La Veta, Colorado, where they eventually settled and raised cattle. But Philena’s life would change in 1947 when Herbert died at 57.

Philena acquired the former Colonel T. B. Catron residence on Canyon Road from the estate of Mary Whitmer in early 1951.⁹ She moved into the house soon after, and it is assumed that — given her penchant for authenticity — she made changes. She doesn’t appear in newspaper accounts, but artist friends, including Alice Dickinson who lived at the house for a time, do.

Philena sold the home in 1958 and moved to Northern California.

In a letter to the *Santa Fe New Mexican* a year later, she explained the reason for her move: “I sold my home on Canyon Road principally because I felt it was no longer safe for me to live there alone [. . .] I intended to make it my permanent residence, but was unable to do so, due to the so-called ‘juvenile delinquents,’” referencing a wave of youth crime that swept across Santa Fe — and the entire nation — in the 1950s.¹⁰

Philena Wetmore Hubbard died in 1984. Her house in Northern California later burned to the ground in the 2018 Camp Fire.

Other Owners: 1959-2024

Subsequent owners, starting with John G. Coughlin, a real estate man who was part-owner in such developments as the Kaune’s shopping center on Old Santa Fe Trail, made most of the changes that are visible today. These intensified in the 2010s, with several

⁸ “Clarence Wetmore,” Oakland [California] Wiki Page, https://en.wikipedia.org/wiki/Cresta_Blanca_Winery, accessed April 24, 2024.

⁹ Deed Without Warranty, Arthur Hannett, executor, Mary Whitmer Dickson, executrix, Mary T. Whitmer, deceased estate, to Philena W. Hubbard, recorded March 16, 1951, Book 57/Page 317, Instrument # 102662, Santa Fe County, New Mexico.

¹⁰ “Ex-Resident Glad She Left the City,” *Santa Fe New Mexican*, March 10, 1959, 11.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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Board-approved additions and alterations, including changes in fenestration (see Table 1).

Evaluation of Historical Status

The house is lovely and at an estate level of quality, but it is hardly original.

The main house has undergone several renovations, some quite significant regarding interior spaces. The exterior has experienced less alteration, but several additions have affected its overall massing and footprint. The most impactful are the two recent additions appended to the east elevation. This side of the house has lost all historic integrity.

Other alterations have involved removing and/or adding new windows and doors. These interventions are concentrated on the west and east elevations.

In a 2011 review, staff indicated the north elevation “may be considered as primary.” However, the HDRB, in their motion, designated both the north and south elevations as the primary façades without any discussion of what that included. After reviewing past projects and existing conditions, these designations seem too broad.

Following the current survey, the recommendation is to designate primary the north elevation, starting at the west corner, and including the east wall of the entry portal, to the east end of the living area before the 2018 office addition begins (Figs. 4 & 5). It would include the second story of the bedroom suite. The primary designation for the south elevation would start at the west end of the portal and continue eastward until it reaches the bedroom suite (Fig. 6). The south elevation of the bedroom wing at both levels would be included.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Table 1: Summary of HDRB Reviews

Case #	Hearing Date	Project	Board Action
93-007	01/20/1993	Add second story to free-standing garage (created guesthouse)	Approved
11-138	12/12/2011	Remodel and multiple additions	Denied
12-031A	04/24/2012	Review status of guesthouse	Downgrade to Noncontributing
12-031B	05/08/2012	Create 104 SF addition to guesthouse and change windows and doors	Approved with revisions
12-031	08/14/2012	Change window to doors, reconstruct window, replace windows, install three new windows, etc. Create 275 SF bathroom addition and 342 SF garage	Approved
12-031B	03/26/2013	Replace vehicular gate and construct 4' yard wall	Approved
11-138	01/09/2018	Create 202 SF office addition and 708 SF studio addition to garage	Approved

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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Illustrations

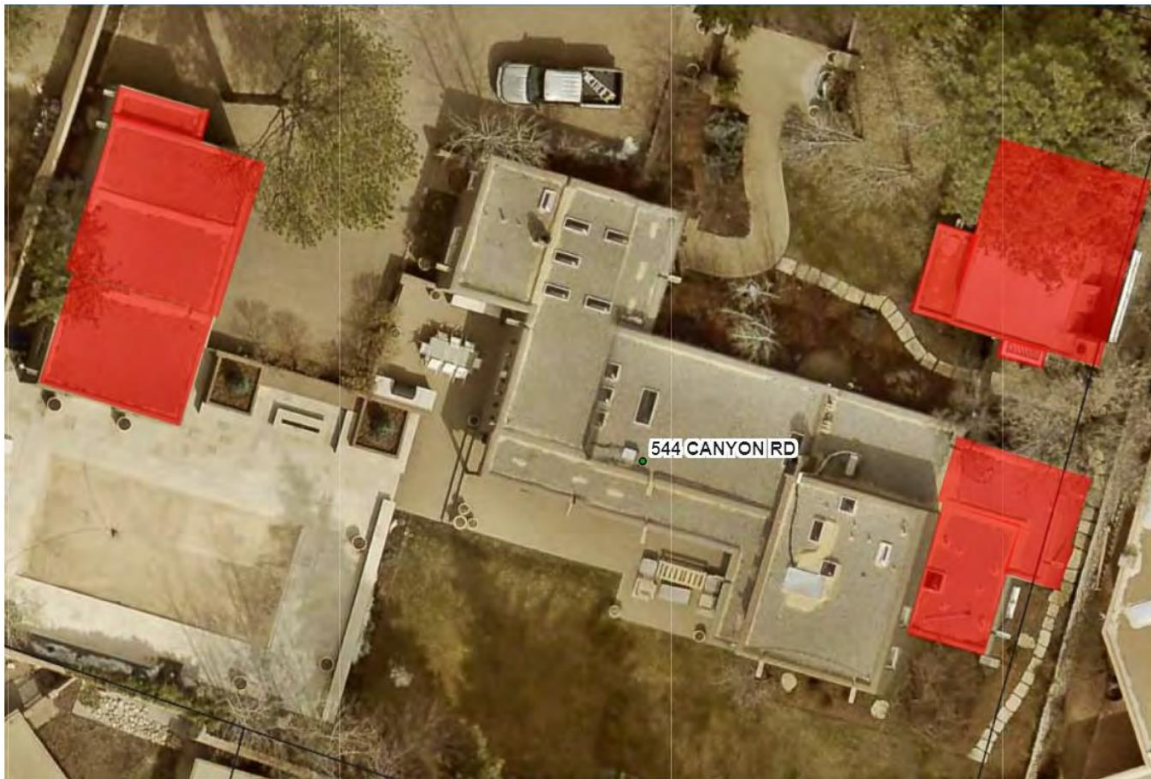


Figure 1: Additions and massing changes, 1994-2018.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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Figure 2: N. L. King, "Map of the City of Santa Fe," 1912.
Approximate location of future subject property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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**Figure 3: 1966 aerial photograph aerial photograph.
Hatched areas represent the sites of future additions.
Note flat roof and parapets.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		Please complete HCPIFORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020			
		4. County: Santa Fe			
		5. Date of Survey: April 20, 2024			

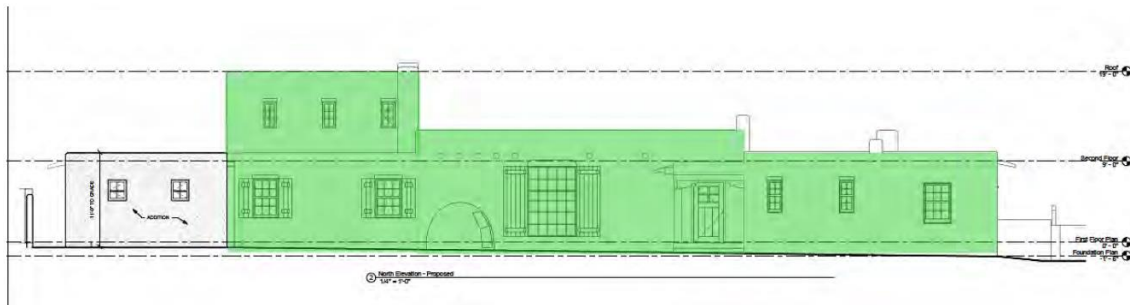


Figure 4: Recommended primary façade, north elevation.

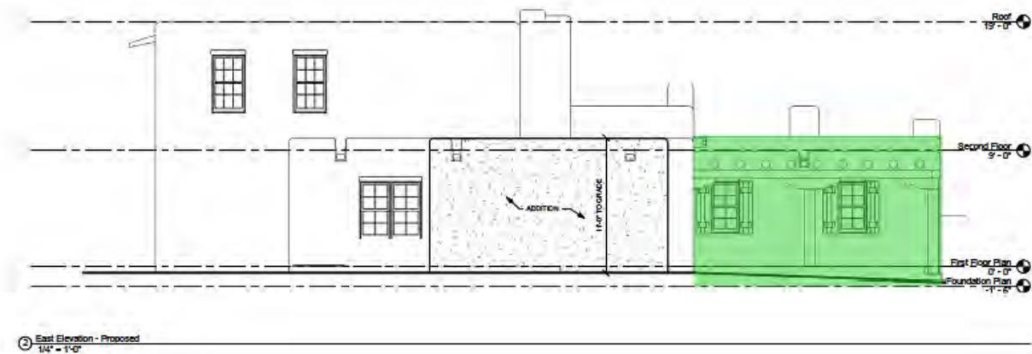


Figure 5: Recommended primary façade, east elevation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		Please complete HCPIFORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020			
		4. County: Santa Fe			
		5. Date of Survey: April 20, 2024			

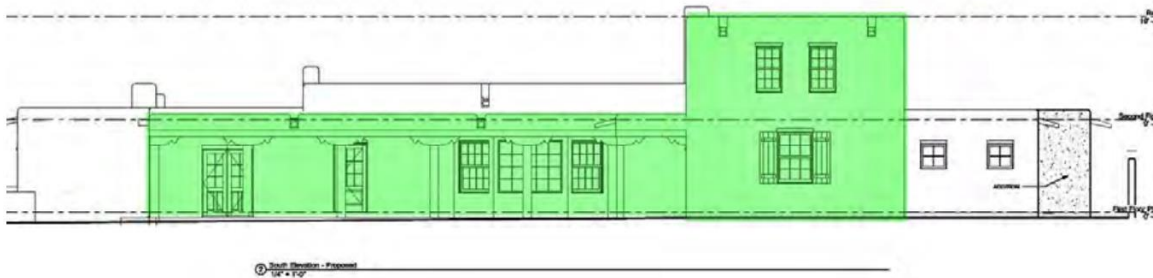


Figure 6: Recommended primary façade, south elevation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020						
		4. County: Santa Fe						
		5. Date of Survey: April 20, 2024						

Survey Photographs

(All images taken by Giulia Caporuscio on April 20, 2024)



Photo 2: Entry. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D	
1. Name of property: Col. Thomas B. Catron Residence		2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe						3. Local Reference Number: Santa Fe ID: H-1020					
								4. County: Santa Fe					
								5. Date of Survey: April 20, 2024					



Photo 3: Guesthouse, left; main house, right. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDO office use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020								
		4. County: Santa Fe								
		5. Date of Survey: April 20, 2024								

Main House



Photo 4: East elevation – entry portal. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe		3. Local Reference Number: Santa Fe ID: H-1020				
		4. County: Santa Fe					
		5. Date of Survey: April 20, 2024					



Photo 5: East elevation – window at portal. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020						
		4. County: Santa Fe						
		5. Date of Survey: April 20, 2024						



Photo 6: North elevation – entry door. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence		2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe						3. Local Reference Number: Santa Fe ID: H-1020				
								4. County: Santa Fe				
								5. Date of Survey: April 20, 2024				



Photo 7: North elevation – 30-light window at living room. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020								
		4. County: Santa Fe								
		5. Date of Survey: April 20, 2024								



Photo 8: North elevation – 2018 office addition. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020						
		4. County: Santa Fe						
		5. Date of Survey: April 20, 2024						



Photo 9: South elevation. Circled area indicates removal of fenestration. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDO office use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D	
1. Name of property: Col. Thomas B. Catron Residence		2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe						3. Local Reference Number: Santa Fe ID: H-1020					
								4. County: Santa Fe					
								5. Date of Survey: April 20, 2024					



Photo 10: South elevation – portal. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence		2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe		3. Local Reference Number: Santa Fe ID: H-1020								
		4. County: Santa Fe										
		5. Date of Survey: April 20, 2024										



Photo 11: South elevation – bay window. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe		3. Local Reference Number: Santa Fe ID: H-1020				
		4. County: Santa Fe					
		5. Date of Survey: April 20, 2024					



Photo 12: South elevation – bedroom suite. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020			
		4. County: Santa Fe			
		5. Date of Survey: April 20, 2024			



Photo 13: West elevation – enlarged window opening. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe			3. Local Reference Number: Santa Fe ID: H-1020			
		4. County: Santa Fe					
		5. Date of Survey: April 20, 2024					



Photo 14: South elevation – 2012 bathroom addition. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence	2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-1020						
		4. County: Santa Fe						
		5. Date of Survey: April 20, 2024						

Guesthouse



Photo 15: West elevation. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Col. Thomas B. Catron Residence		2. Location: 544 Canyon Road Downtown and Eastside Historic District Santa Fe						3. Local Reference Number: Santa Fe ID: H-1020				
								4. County: Santa Fe				
								5. Date of Survey: April 20, 2024				

Garage/Studio



Photo 16: East elevation. Camera facing west.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>8.16.24</u></p> <p>Property Owner of Record: <u>Jeff Serrat + Kirsten Tollefson</u></p> <p>Applicant/Agent Name: <u>Jon Dick</u></p> <p>Contact Person Phone Number: <u>(505) 820-2700</u></p> <p>Zoning District: <u>REBAC</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* _____ <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR:</p> <p><input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit:</p> <p><input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.</small></p>	<p>Site Address: <u>144 Canyon Road, Santa Fe, NM 87501</u></p> <p>Proposed Construction Description: <u>Addition - expand existing den</u></p> <p>TOTAL ROOF AREA: <u>5,429</u></p> <p>Lot Coverage: <u>34%</u> % <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks:</p> <p>Proposed Front: <u>66.5'</u> Minimum: <u>7'</u> <u>2'</u> Front? _____</p> <p>Proposed Rear: <u>07.4'</u> Minimum: <u>15'</u> Proposed Sides: <u>64.9'</u> Minimum: <u>5'</u></p> <p>Height: Proposed <u>16.542'</u> <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: <u>N/A - Existing</u> Proposed _____ Accessible _____ Minimum: _____</p> <p>Bicycle Parking**: <u>N/A</u> Proposed: _____ Minimum: _____ <small>* Commercial Requirement</small></p>
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THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Jon Dick OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without Land Use Department staff prior to submission or Historic Districts Review Board review.

[Signature] B-t, Zf
DATE

<p>To Be Complete <input type="checkbox"/> By City Staff: <input type="checkbox"/></p> <p>Additional Agency Review if Applicable:</p> <p><input type="checkbox"/> Escarpment Approval by _____ Date: / /</p> <p><input type="checkbox"/> Flood Plain Approval by _____ Date: / /</p> <p><input type="checkbox"/> Traffic Engineering Approval by _____ Date: / /</p> <p>Notes: _____</p> <p>Zoning Approval:</p> <p><input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: <u>Rebekah Clouser</u> DATE: 8/22/2024</p>	<p>2024-008991-PAR</p>
---	------------------------

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



544 Canyon Road: Façade Diagram

September 3, 2024

City of Santa Fe
Historic Preservation Division

Re: 544 Canyon Road

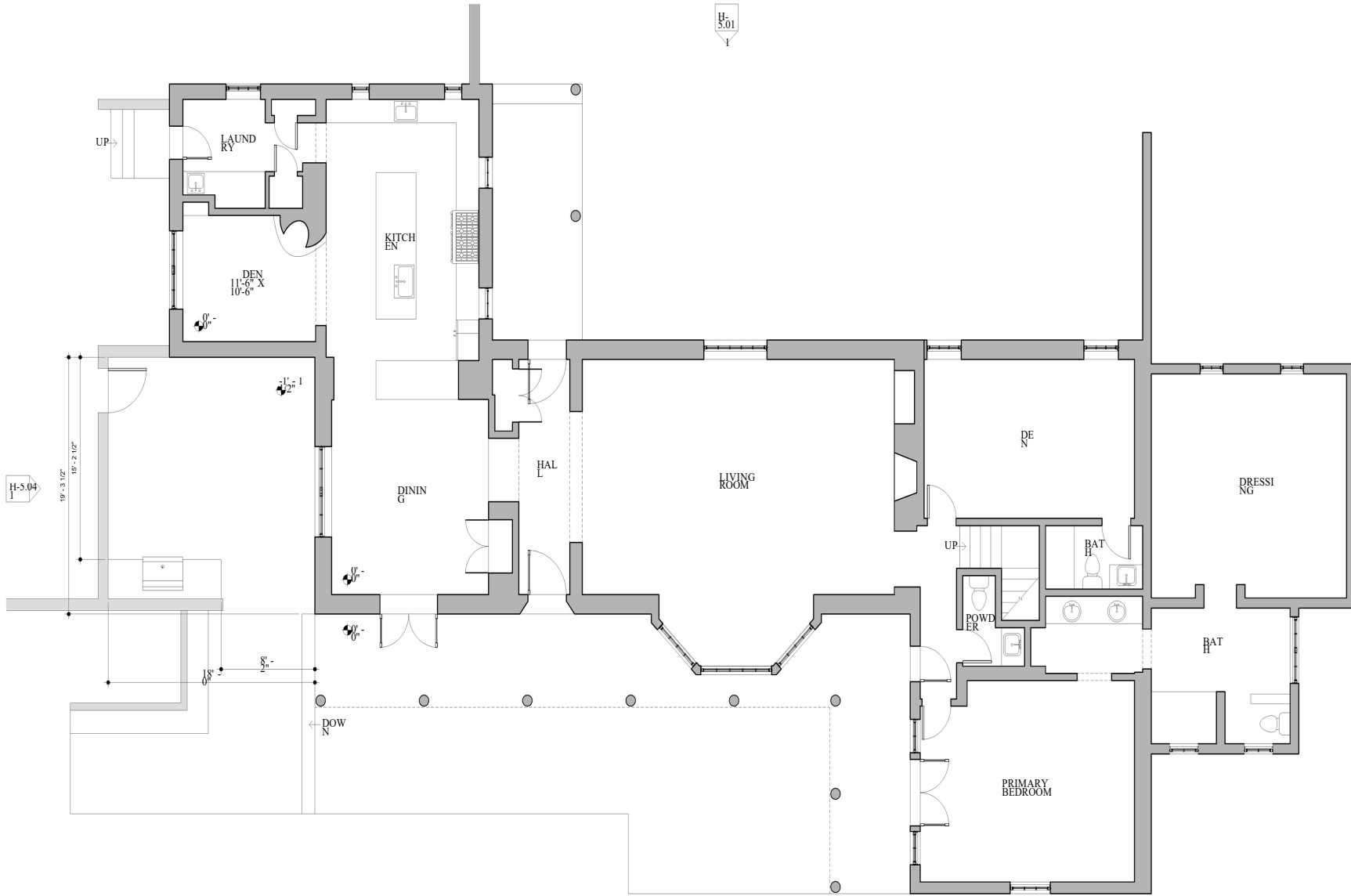
Our clients, Jeff Serra and Kirsten Tollefson, owners of the above referenced property, would like to add an addition to the southwest side of their main house. This addition would enlarge the existing den space from 11'-6" x 10'-6" to 11'-6" x 18'-9" and provide a new cased opening into the dining room. To accommodate this addition, the window on the west wall of the dining room will be removed. A new 3'-0" x 6'-8" exterior white aluminum clad wood door will be added to the south wall of the addition, providing access to a new brick patio with steps that access and match the existing brick patio and barbeque area. The new door is to match the west exterior door of the laundry room. The patched area at the window removal will be clad in cementitious "El Rey" stucco in their "Adobe" color, to match the existing stucco.

The residence was originally built in 1936 and has since undergone three major remodels / additions. These renovations include the conversion of an existing detached garage to a guest house (1994); a primary bath addition to the east side of the main house and a new detached garage on the west side of the property (2013); and a primary closet addition to the east side of the main house, along with the addition of a new bay and separate studio space to the detached garage (2018).

The proposed addition is to be at a height of 10'-5 1/2" from finished floor, to match the existing building in which it is being built onto.

The existing main house is a total of 2,964 square feet, with two portals attached that add up to 611 square feet. There is an existing detached guest house consisting of 691 square feet as well as an existing detached garage / studio space that is 1,045 square feet. The proposed addition will add 118 square feet of gross conditioned space to the main house. This will bring the new total roofed area to 5,429 square feet.

The intent is to use the existing historically contributing building as a design precedent and replicate the overall character and detailing with this addition.



H-5.04

H-5.01

H-5.02

H-5.03

① FLOOR PLAN -
EXISTING
1/4" = 1'-0"

LEGEND

 EXISTING CONSTRUCTION
 NEW CONSTRUCTION



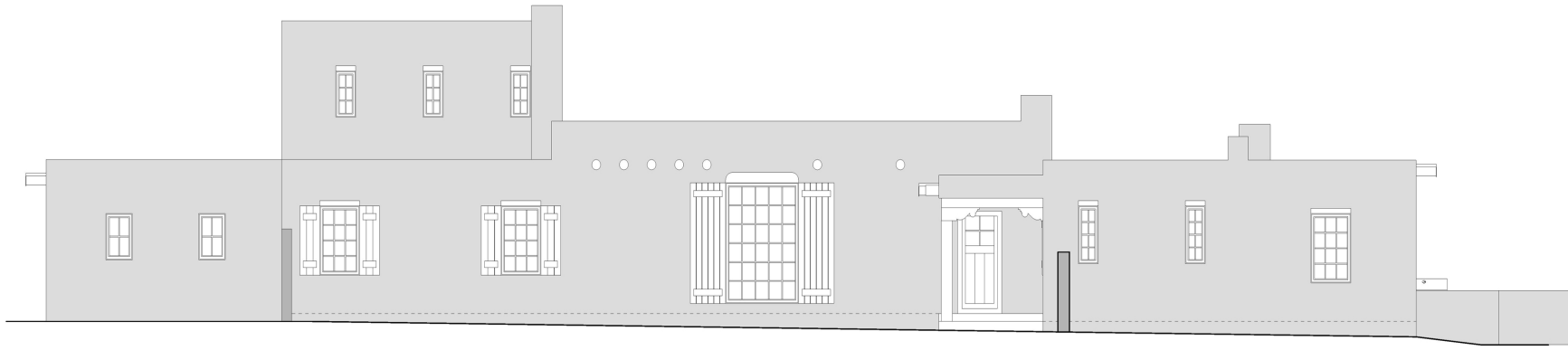
SERRARES
IDEAS II
ON
344 CANYON
ROAD
SANTA FE,
NM 87501

Project Number: 2403
 Scale: 1/4" = 1'-0"
 Date: 08.28.24

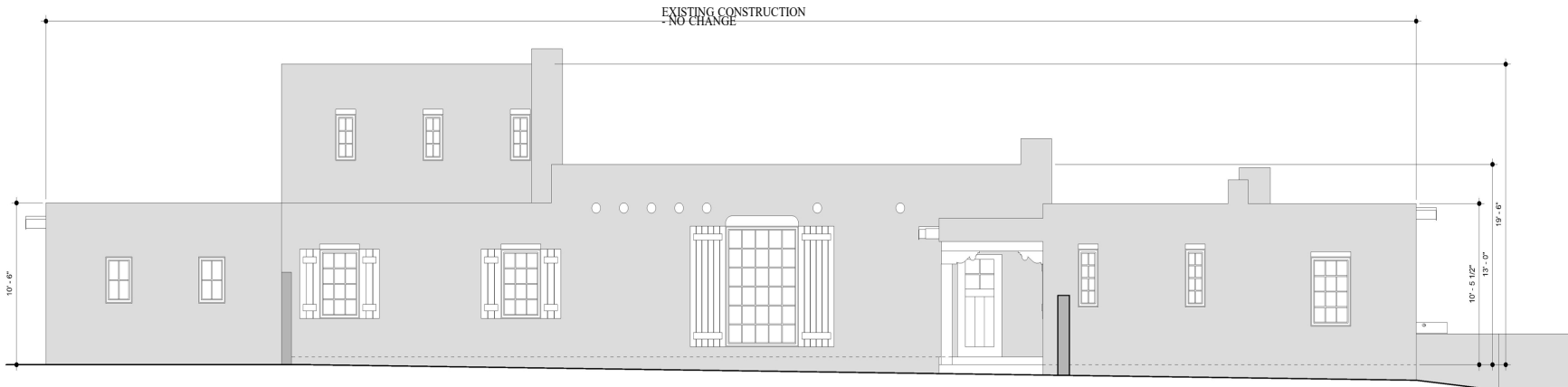
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**FLOOR PLAN -
 EXISTING**

Sheet Number:

H-2.01



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2 NORTH PROPOSED -
NO CHANGE
1/4" = 1'-0"

LEGEND
ND
EXISTING CONSTRUCTION

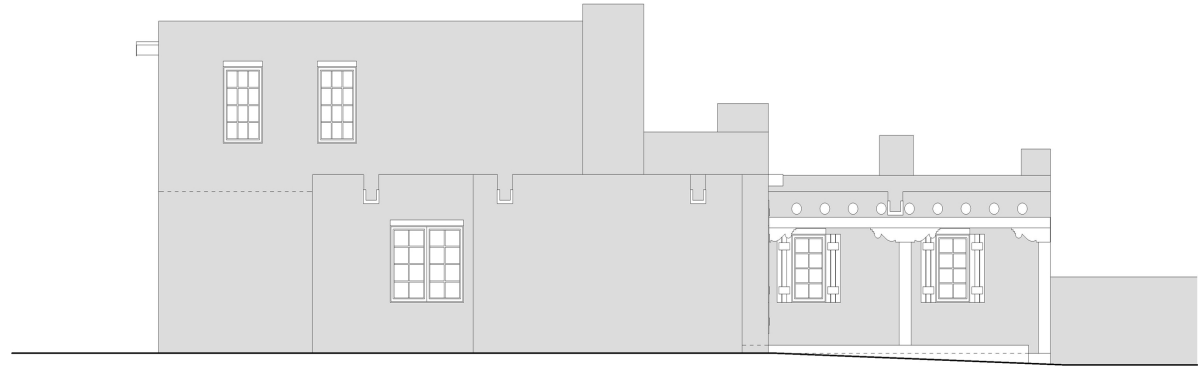


SERRARES
IDENCE
ADDITION
544 CANYON
ROAD
SANTA FE,
NM 87501

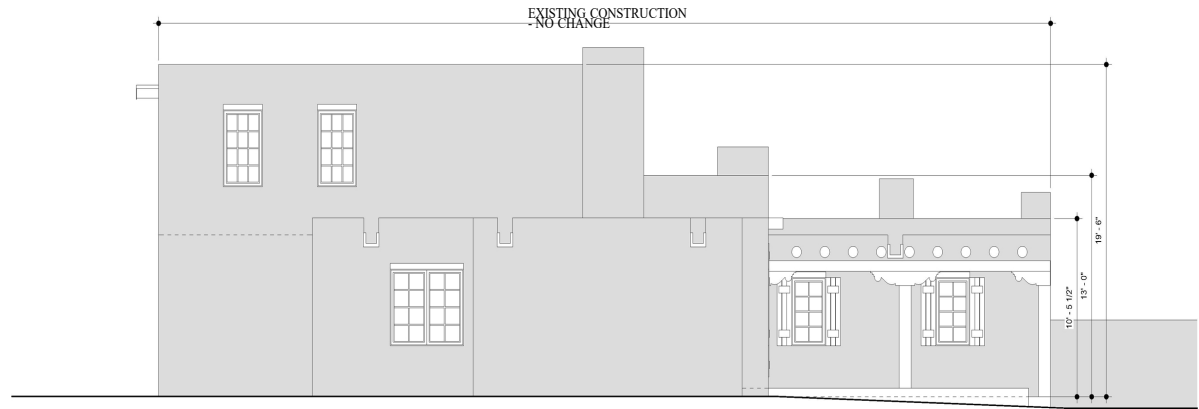
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Scale: 1/4" = 1'-0"
Date: 08.28.24

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ELE
VATIONS -
NORTH
Sheet Number:

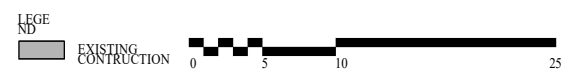
H-5.
01



① **EXISTING**
 1/4" = 1'-0"



② **EXIST PROPOSED - NO CHANGE**
 1/4" = 1'-0"



**SERRARES
 IDENCE
 ADDITION**
 544 CANYON
 ROAD
 SANTA FE,
 NM 87501

Project Number: 2403
 Scale: 1/4" = 1'-0"
 Date: 08.28.24

Drawing Title: **EXTERIOR ELEVATIONS - EAST**

Sheet Number:

**H-5.
 02**



① SOUTH EXISTING
1/4" = 1'-0"



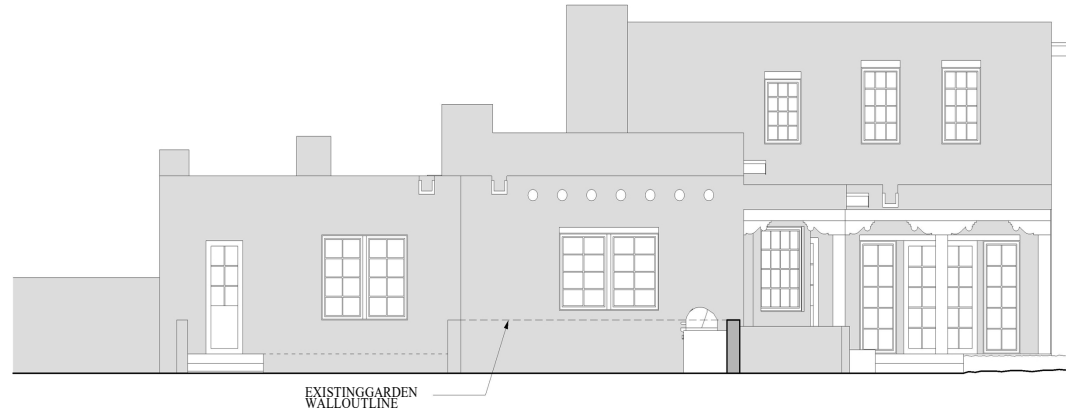
② SOUTH PROPOSED
1/4" = 1'-0"

SERRARES
IDENCE
ADDITION
544 CANYON
ROAD
SANTA FE,
NM 87501

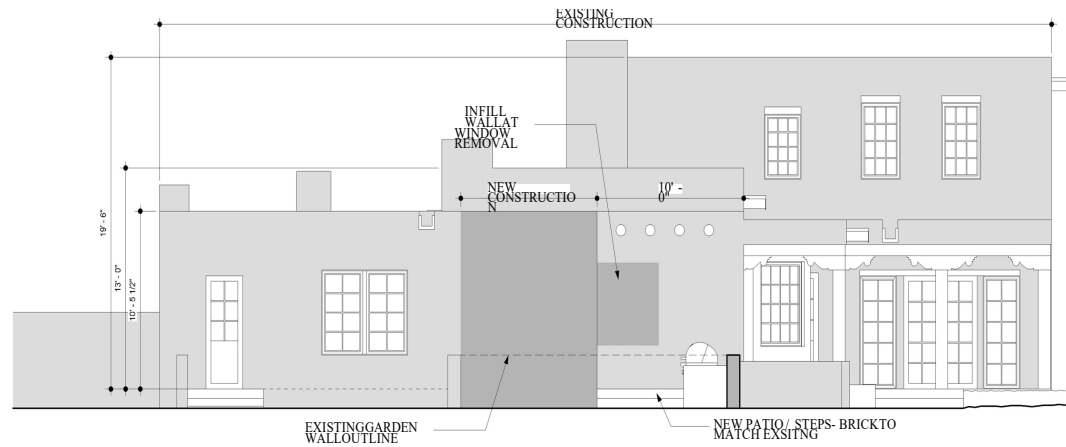
Project Number: 2403
Scale: 1/4" = 1'-0"
Date: 08.28.24

Drawing Title: EXTERIOR ELEVATIONS - SOUTH
Sheet Number:

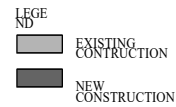
H-5.03



① WEST
 EXISTING
 1/4" = 1'-0"



② WEST
 PROPOSED
 1/4" = 1'-0"

LEGEND


 EXISTING
 CONSTRUCTION
 NEW
 CONSTRUCTION



SERRA REYES
ADDITION
 544 CANYON
 ROAD
 SANTA FE,
 NM 87501

Project
 Number: 240
 3
 Scale: 1/4" = 1'-0"
 Date: 08.28.24

Drawing
 Title: **EXTERIOR
 ELEVATIONS -
 WEST**
 Sheet
 Number:

**H-5.
 04**



STUCCO - EL
REY"ADOBE"



PARTIAL NORTH ELEVATION, EAST END



PARTIAL NORTH ELEVATION, CENTER



PARTIAL NORTH ELEVATION, WEST END



PARTIAL EAST ELEVATION, NORTH END

PARTIAL EAST ELEVATION, SOUTH END





PARTIAL SOUTH ELEVATION, EAST END



PARTIAL SOUTH ELEVATION, WEST END



WEST ELEVATION



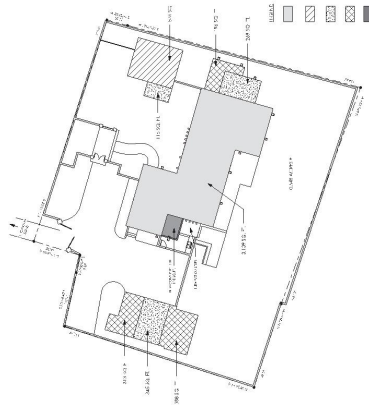
PARTIAL WEST ELEVATION, NORTH END



**SERRA RESIDENCE
ADDITION**

PROJECT NO: 2008
DATE: 12/21/12
BY: [signature]

PROJECT: [signature]
SCALE: 1/8" = 1'-0"



LEGEND

- [Symbol] EXISTING FOOTPRINT
- [Symbol] PROPOSED FOOTPRINT
- [Symbol] EXISTING CONCRETE
- [Symbol] EXISTING MASONRY
- [Symbol] EXISTING WOOD
- [Symbol] EXISTING METAL
- [Symbol] EXISTING GLASS
- [Symbol] EXISTING OTHER
- [Symbol] PROPOSED CONCRETE
- [Symbol] PROPOSED MASONRY
- [Symbol] PROPOSED WOOD
- [Symbol] PROPOSED METAL
- [Symbol] PROPOSED GLASS
- [Symbol] PROPOSED OTHER



1' = 1/8" = 1'-0"

**HISTORIC
FOOTPRINT**

H-1.02