



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
SEPTEMBER 10, 2024
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at www.youtube.com/@cityofsantafe. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2 pm on the day of the hearing.

1. ROLL CALL

2. APPROVAL OF AGENDA

3. APPROVAL OF MINUTES:

4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

- a. 2024-008413-HDRB, 913 ½ Acequia Madre (June 11, 2024)
- b. 2024-008414-HDRB, 627 Camino de la Luz (June 11, 2024)
- c. 2024-8258-HDRB, 753 Acequia Madre (June 11, 2024)
- d. 2024-008339-HDRB, 1600 Canyon Rd.

5. MATTERS FROM THE PUBLIC

6. STAFF COMMUNICATIONS

7. OLD BUSINESS

8. NEW BUSINESS

- a. 2024-008779-HDRB, 428 & 428 A San Antonio St., Downtown and Eastside Historic District, Daniel Lujan, agent for Andrew and Mary Harris, property owners, request approval to reinstate previously approved plans from 2012 on a significant structure. (Paul Duran, paduran@santafenm.gov)
- b. 2024-008935-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, non-contributing, Christopher Purvis, agent for Brady McCartney, owner proposes to raise the building height by 5", replace windows and doors, install HVAC with screening, stucco, and stain. (Lani McCulley, LJMcCulley@santafenm.gov)
- c. 2024-008936-HDRB, 107 E Palace Ave. units A1, A2, and A3, Downtown & Eastside Historic District, contributing, Christopher Purvis, agent for

Martha Field Trust LLC, owner, proposes to replace/refurbish windows and doors, install an ADA ramp, reroof, stucco, paint, and repave. An exception is requested to 14-5.2(D)(5)(i) for altering an opening on a primary façade. (Lani McCulley)

- d. 2024-008868-HDRB, 329 Otero St., Downtown and Eastside Historic District, Lisa Martinez, agent for Mike and Christine Foster, property owners, propose to remodel main residence by replacing doors and windows and request an exception to 14-5.2(D)(5)(a)(i) windows, doors, and other architectural features on a contributing structure. (Paul Duran)
- e. 2024-008945-HDRB, 1292 Lejano Ln., Downtown & Eastside Historic District, non-contributing, Thomas Hughes, agent for Catherine Wright and Burr Phillips, owners, proposes to construct a 1,902 sq. ft. residence on a sloping lot to a height of 16'-6" where the maximum allowable height is 14'-5". (Lani McCulley)
- f. 2024-008937-HDRB, 119 Kearny Rd., Downtown & Eastside Historic District, contributing, Craig Hoopes and Assoc., agent for David Snead and Charles Butler, owners, proposes to make alterations to a previous approval by adding pilasters to coyote fencing, installing additional fencing, gutters and downspouts, replacing windows and doors, and removing an approved exterior stair. (Lani McCulley)
- g. 2024-008990-HDRB, 1160 Camino de Cruz Blanca. Historic Review Historic District, contributing, Surroundings Studio, agent for St. John's College, owner, proposes to install green wind mesh around the ball courts to a height of 8'-0" where the fencing is 10'-0" high. An exception is requested to 14-5.2(F)(2)(g) for fencing constructed of prohibited materials. (Lani McCulley)

9. DISCUSSION ITEMS

10. MATTERS FROM THE BOARD

11. NEXT MEETING: Tuesday, September 24, 2024

12. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8413-HDRB

Address – 913½ Acequia Madre

Agent’s Name – Richard Martinez, Martinez Architecture Studio, P.C.

Owner/Applicant’s Name – Morton Phillips Trust

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 11, 2024.

BACKGROUND

913½ Acequia Madre is a single-family residence designated as contributing to the Downtown and Eastside Historic District. The north elevation and the two northernmost façades on the east elevation have been designated primary. The structure has had several changes and phases of construction, with additions throughout its lifetime. The original massing of the structure appears at the north and northernmost section of the east façade (behind the added 1970s-area frame porch). Further additions were made on the south, with a garage added before 1973 and another room before 1978. Elements of this humble home such as the adobe wall construction and recessed 3-over-1, wood-framed windows convey the historic development of simple family homes in this Historic District.

In Case # 2023-7525-HDRB, after a hearing November 28, 2023, and a vote to reconsider December 12, 2023, the Board upgraded the status to contributing on January 9, 2024, with the façades identified as 1 through 4 on the façade diagram designated as primary. The Board denied an earlier remodel application, Case # 2024-8075-HDRB, on April 23, 2024, in which the Applicant requested seven exceptions to the Historic Districts Code. The Board decided the exception criteria set forth in Santa Fe City Code (“SFCC”), Section 14-5.2(C)(5)(b), had not been met, and that the changes sought in the proposal would create a false sense of historical development and cause the structure to lose its contributing status.

The Applicant revised his project proposal, and requested Board approval for the following items:

- 1) Raise the height of existing walls on the building, including the primary north and primary northeast façades, from 10’10” to 13’0”.
- 2) Raise the height of the existing non-primary east wall to 13’6”. Project items 1, 2 and 7 require an exception to SFCC Section 14-5.2(D)(1)(a), (2)(c) and (d), prohibiting the removal of historic materials, additions to primary facades, and additions within ten (10) feet of a primary façade.
- 3) Remodel the existing 1973 non-primary frame porch, in front of a primary northeast façade, with a Pueblo Revival style porch of the same dimensions, including a low stone wall at the east end. This project element requires an exception to SFCC Section 14-5.2(D)(2)(c), prohibiting additions to primary facades.

- 4) Close a historic opening on the primary north façade where window F is located. Project items 4 and 6 require an exception to SFCC Section 14-5.2(D)(5)(a)(1) and (3) for replacement of historic windows and closure of an existing window opening.
- 5) Lower the existing front door opening to be 7'10" high.
- 6) Replace three windows on the primary north façade and two windows on the primary northeast façade with painted wood windows in the same lite pattern, and remove all non-historic storm windows.
- 7) Remove the wooden overhangs and add parapets and canales on top of the north primary façade and south façade to match the Pueblo Revival style.
- 8) Install new solar panels on the roof; the solar panels will be concealed by parapets.
- 9) Five new skylights will be added on the roof.
- 10) Replace the existing metal garage door with a new wood-board, false garage door and wood lintel, to be stained with a dark brown wood stain.
- 11) Construct a new 290-square-foot, Pueblo Revival Style portal on the west elevation. A low stone wall will be added to retain the existing grade along the south elevation at the southwest corner.
- 12) Add a new door for the mechanical room on the south elevation.
- 13) Add mini-split condensers to the north and south façades of the house.
- 14) Install new 6-foot-high coyote fencing along the north, west and south lot lines.
- 15) Re-stucco the house in "Buckskin" color and add new exterior light fixtures.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the application meets the underlying zoning standards set forth in the Santa Fe City Code.
2. Historic Preservation Division Staff reviewed the application, information and related materials submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board a written report of its findings ("Staff Report"), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: The Staff recommends approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

Exception for raising height of walls, adding parapets and removing overhang:

8. The Applicant proposes to raise the height of existing walls to 13 feet on the primary north and northeast façades (item # 1), raise the wall height to 13'6" on a non-primary east façade, within 10 feet of a primary façade (item # 2), remove the overhang on the primary north façade and add parapets and canales to match the Pueblo Revival style (item # 7).
9. Under SFCC Section 14-5.2(D)(1)(a), the removal of historic materials or alteration of architectural features and spaces that embody the status of a contributing structure is prohibited, and under SFCC Sections 14-5.2(D)(2)(c) and (d), additions are not permitted to primary facades or to non-primary façades where the addition is within ten (10) feet of a primary façade.
10. The Staff determined that exceptions to SFCC Sections 14-5.2(D)(1)(a) and (D)(2)(c-d) would be required for approval of items # 1, 2 and 7 of the application, and the Applicant requested the exceptions.
11. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
12. Based on the information set forth in the Staff Report, and the exhibits, evidence and testimony presented at the hearing, the Board agrees with the Staff's finding that the Applicant has conclusively demonstrated that all exception criteria have been met with respect to project items # 1, 2 and 7:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: The alterations the Applicant proposes are consistent with Downtown and Eastside Historic District design standards; the proposed height of 13 feet does not exceed height restrictions on that streetscape;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The roof overhang causes inordinate drainage to the north of the house, which has caused the foundation to crack and separate from the wall; a parapeted roof with canales would allow better channeling of stormwater from the roof; the extended parapets are needed to conceal proposed solar paneling and skylights; the increase in roof height on the non-primary east façade (within 10 feet of the northeast primary façade) will minimize the uncharacteristic, prominent appearance of the street-facing garage; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts: Solar panels and the increased parapets to conceal them will help to decrease carbon emissions from fossil fuels; better roof drainage will prolong the habitability of this contributing structure.
13. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project items # 1, 2 and 7.

Exception for replacing windows on primary façades and infilling window opening:

14. The Applicant proposes to replace historic windows (B and C) on a primary east-facing façade, northernmost massings (item # 6); replace historic windows (D, E and G) on the

- primary north façade (item # 6); and remove a non-historic window (F) and fill the window opening on the primary north façade (item # 4).
15. Under SFCC Section 14-5.2(D)(5)(a)(i), historic windows shall be repaired or restored wherever possible, and historic windows that cannot be repaired or restored shall be duplicated in the size, style and material of the original. Under SFCC Section 14-5.2(D)(5)(a)(iii), no existing opening shall be closed.
 16. The Staff determined that exceptions to SFCC Sections 14-5.2(D)(5)(a)(i) and (iii) would be required for approval of items # 4 and 6 of the application, and the Applicant requested the exceptions.
 17. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
 18. Based on the information set forth in the Staff Report, and the exhibits, evidence and testimony presented at the hearing, the Board agrees with the Staff's finding that the Applicant has conclusively demonstrated that all exception criteria have been met with respect to project item # 4:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: The window to be removed (F) is a small, bathroom window and is non-historic; the window is on a wall perpendicular to the street, and faces away from Acequia Madre;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The bathroom with window F is awkwardly placed and requires entry to the adjoining bedroom through the kitchen, and the proposed interior renovation removes the bathroom, permitting removal of window F and creation of a hallway door to access the bedroom; the presence of a third window (F) is inconsistent with the need for privacy in a bedroom which has two other windows; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts: The removal of the bathroom and window F, and infill of the window opening, will permit the reconfiguration of a small, oddly shaped bedroom, which will increase the habitability of the residence.
 19. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to item # 4.
 20. The Board finds, based on a window assessment by a qualified professional, that the frames on the historic windows (B, C, D, E and G) on the primary north and northeast façades are deteriorated beyond repair and may be replaced (item # 6).

Exception for replacing front porch on northeast primary façade:

21. The Applicant proposes to remove a wood-framed porch with overhanging shed roof on a primary east façade and replace it with a Pueblo Revival Style porch, with low stone wall, of the same dimensions (item # 3).
22. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted to a primary façade.
23. The Staff determined that an exception to SFCC Section 14-5.2(D)(2)(c) would be required for approval of item # 3, and the Applicant requested the exception.

24. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
25. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's finding that the Applicant has conclusively demonstrated that all exception criteria have been met with respect to project item # 3.
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: The design of the existing porch is uncharacteristic for a Pueblo Revival Style house, and it will be replaced by a parapeted porch supported by wooden columns, which is more consistent with the Downtown and Eastside Historic District design standards;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The porch to be replaced has a substandard, makeshift appearance; residents of the surrounding neighborhood, in letters to the HDRB, described the "random" and "ill-conceived" 1970s alterations to the east elevation of this residence, and a new porch that harmonizes with the architecture of the house will improve the aesthetics of the streetscape; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts: This property is currently uninhabited due to its dilapidated condition, and to improve the appearance and habitability of this property will improve the Historic District by converting a vacant property into an occupied residence.
26. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project item # 3.
27. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
28. The information contained in the Staff Report, and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves Items # 1-15 as set forth in the application, as recommended by Staff.
3. The Board grants the exceptions requested in the application.

IT IS SO ORDERED ON THIS 27th DAY of AUGUST, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8414-HDRB

Address – 627 Camino de la Luz

Agent’s Name – New Mexico Land Solutions, LLC

Owner/Applicant’s Name – Craig Huitfeldt Trust

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 11, 2024.

BACKGROUND

627 Camino de la Luz is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The original structure was built in the late 1940s on a 0.65-acre lot. The architectural design of the structure is Spanish Pueblo style identified by the adobe block and viga construction material and rounded parapets with elemental fenestration. It is located on the east side of Camino de la Luz, with a half-circle driveway and two carports to the north of a high stuccoed courtyard wall, which shields the view of the original house behind it. There is a small porch at the main, southwest entry point. The rear, east side features a small wood deck, a long portal roof that extends over the deck and an unimproved, sloped area, and a coyote-fenced yard.

The structure has undergone several non-historic additions including a two-car carport, a utility room, living room, window and door replacement, and a courtyard wall surrounding the western side of the structure. The structure now totals 2,073 square feet. In a hearing on December 11, 2018, the Board maintained the contributing status of this property, and designated the west and south façades as primary, excluding the additions north of the original massing. See Case # H-18-143.

The Applicant proposes the following exterior alterations:

1. Demolition of the existing, non-historic carports on the west side of existing home.
2. Demolition of the covered porch on the east side of the existing home.
3. Construct a 900-square-foot detached garage to the west of the home.
4. Construct a 400-square-foot covered porch on the west side at an entry, between the new garage and the existing home.
5. Construct a 365-square-foot bathroom addition on the north side of the existing home.
6. Construct a 669-square-foot porch, with wood beams/posts and wood railing, on the east side of the existing home.
7. Construct a 495-square-foot living room addition at the east side of the existing home.
8. Construct a new courtyard wall (stucco over wood frame) and new 6’x 4’ wood double-door gate on the west elevation.
9. Re-stucco structure with Parex cementitious stucco color “river rock”.
10. Replace two 3’5” x 4’ windows on the primary west façade. The new windows will be divided-lite, metal-clad wood, color Andersen “pebble tan”.

11. Replace one 3' x 4' window on the primary south façade. The new window will match the width but will be shorter to allow for sill not to interfere with a new kitchen counter. The new window will be divided-lite, metal-clad wood, color Andersen "pebble tan".

12. New courtyard wall (stucco over wood frame) and new 5'x 4' wood gate at north elevation, color Behr "cordovan brown".

13. Replacement of all windows with new divided-lite, metal-clad wood windows, color Andersen "pebble tan".

14. Raise parapets 12" on the entire structure.

15. Construct porch and deck on the north, east and south facades 36" high with railing, stained Behr "cordovan brown".

16. Construct new canales to match the existing size and style of all existing canales.

The Staff has determined that three exceptions will be required for this project:

(1) To Santa Fe City Code ("SFCC") Section 14-5.2(D)(5)(a)(iii) for widening a window opening on a primary facade (Item # 11);

(2) To SFCC Section 14-5.2(D)(6) for change in style and height to the parapet (Item # 14); and

(3) To SFCC Section 14-5.2(D)(2)(d) for increasing the footprint by 1,760 square feet, which is 50 percent more than the existing footprint, which is 2,073 square feet (Items # 3, 5 and 7).

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the application appears to meet the underlying zoning standards set forth in the Santa Fe City Code.
2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements, and provided to the Board a written report of its findings ("Staff Report"), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: The Staff determined that exceptions under SFCC Section 14-5.2(C)(5)(b) are necessary for project elements 3, 5, 7, 11 and 14; otherwise the Staff recommended approval of the project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards."
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4) and 14-5.2(D), the Board has authority to review, approve, with or

without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

Exception for enlarging window opening:

8. Under SFCC Section 14-5.2(D)(5)(a)(iii), no existing window or door opening shall be closed on a primary façade of a contributing structure.
9. The Applicant proposes to replace the window on the south-facing primary façade with a 3' by 4' window, which is 6" shorter than the original window. The Staff determined that an exception to SFCC Section 14-5.2(D)(5)(a)(iii) would be required for approval of project element # 11, and the Applicant requested the exception.
10. To obtain this exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
11. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's recommended finding that the Applicant has conclusively demonstrated that all exception criteria have been met:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: The existing window is inconsistent with the traditional design of a Spanish-Pueblo-style house, the proposed new window is harmonious with that style, and the change in the window opening is nominal, requiring the infill of only two square feet;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The reconfigured floor plan requires the kitchen counter to be against the inside south wall, the present location of the window would interfere with the placement of the new kitchen counter, and a logical remedy is to reduce the size of the window opening; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts: The present small, enclosed kitchen, with only one window, facing east, is dark and has inadequate counter space for meal preparation; relocation of the kitchen to the existing southern living-room space expands allows for more counter space and increased natural light.
12. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project element # 11.

Exception for changing roof style:

13. Under SFCC Section 14-5.2(D)(6), existing roof styles shall be maintained.
14. The Applicant proposes to raise the height of the parapet 12 inches on the entire existing structure. The Staff determined that an exception to SFCC Section 14-5.2(D)(6) would be required for approval of project element # 14, and the Applicant requested the exception.
15. To obtain this exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.

16. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with the Staff's recommended finding that the Applicant has conclusively demonstrated that all exception criteria have been met:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: The Applicant proposes to remove a porch and a carport, which have uncharacteristic overhanging, shed roofs, and replace them with porch additions featuring parapets. In keeping with the Spanish Pueblo style of the entire structure, the parapets on the main structure should be increased to be taller than the parapets on the porch additions;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: Existing mechanical appurtenances are visible from the street, and to increase the heights of the parapets would screen them more effectively. The increased parapet height will permit the Applicant to install upgraded insulation in the ceiling and will help drain stormwater from the roof; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts: The use of outdoor space is limited by the placement of the house on a lot with a pronounced grade, the addition of covered porches with decks increases the use of the outdoor space on the lot, and increased parapets are necessary to make the parapeted porch roofs harmonious with the rest of the house.
17. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project element # 14.

Exception for additions exceeding 50 percent of existing footprint:

18. Under SFCC Section 14-5.2(D)(2)(d), additions to contributing structures shall not exceed 50 percent of the existing footprint.
19. The Applicant proposes to construct living room, bathroom and garage additions totaling 1,760 square feet, which is 50 percent more than the existing 2,073-square-foot footprint. The Staff determined that an exception to SFCC Section 14-5.2(D)(2)(d) would be required for approval of project elements # 3, 5 and 7, and the Applicant requested the exception.
20. To obtain this exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
21. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's recommended finding that the Applicant has conclusively demonstrated that all exception criteria have been met:
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: Houses similar in size to the proposed structure (with these additions), are common in this vicinity; the bathroom and living room additions are apparent only on the east elevation,

facing a wooded slope above Camino Cabra and have no visibility from public rights of way;

- b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The present configuration of the house limits its function, with a small, enclosed kitchen and a long east-elevation porch with no deck over a sloped area of the lot; the non-historic carports facing Camino de la Luz are inconsistent with the style of the house. To create a garage away from the primary, west façade allows the Applicant to remove the inharmonious carports and create a new entrance with a parapeted porch, and the living room addition with deck and porch permits use of an otherwise useless unimproved, sloped area; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts: The use of outdoor space is limited by the grade of the site, the addition of covered porches with decks increases the use of the outdoor space, and the construction of a separate garage allows the Applicant to create a more functional and harmonious entranceway at the west façade.
22. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project elements # 3, 5 and 7.
 23. The Board finds that the windows to be replaced on the primary west and south façades are not historic, and that the carports on the west elevation and porch on the east elevation are not features that embody the status of this contributing structure.
 24. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
 25. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
 26. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves proposed Items # 1-16, as set forth in the application, as recommended by Staff, with the following additional conditions:
 - a. The parapets on the primary west and south façades shall maintain their current undulating design;

- b. The overhead doors on the garage addition shall be wood, painted to match the trim on the house; and
 - c. A physical sample of the proposed new stucco will be presented to the Staff for administrative approval.
3. The Board grants the exceptions requested in the application with respect to project elements # 3, 5, 7, 11 and 14.

IT IS SO ORDERED ON THIS 10th DAY of SEPTEMBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8258-HDRB

Address – 753 Acequia Madre

Agent’s Name – John Padilla

Owner/Applicant’s Name – Margot Spitz Marbut

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 11, 2024.

BACKGROUND

The single-family residence at 753 Acequia Madre is a Spanish Pueblo Revival style structure listed as contributing to the Downtown and Eastside Historic District on the City’s official Historic Buildings Status map. However, over the years the property has been referred to and treated as a non-contributing structure when presented to the HDRB for approval. The Staff was unable to find records of any case where the Board made an official status review of the structure.

According to past Staff Reports and historic inventories, the first floor of this house dates to 1929-34, but the house received substantial additions, including a rear section and second floor in 1967, and a garage and sun room addition in 1980. The property is referenced as contributing in a 1984 Historic Building Inventory, in which the historian also noted “major” remodeling had taken place at the house. The property is described as non-contributing in a 1992 Staff Report under Case # H-92-049, and contributing in a 1997 Staff Report for Case # H-97-113. A Historic Cultural Properties Inventory in 2003 recommended a non-contributing status.

In Case # H-92-049, the homeowner requested a new parapet over the portal, replacement of windows, and a new portal on the east elevation. The Staff analysis of the project shows that the residence is constructed c. 1929-1934 with c. 1967 and late 1970s and 1980s additions. The Staff Report reads: “While the existing survey sheet for 753 Acequia Madre identifies this structure as a contributing building in the Core Historic District, additional documentation provided in this application has led to a re-evaluation of the building, which has proved it to be non-contributing.” The Staff Report further clarifies, “[A]dditions have negatively impacted the historic character of the house and render it non-contributing.” In the 1997 case, Case # H-97-113, the Board approved another second-story addition, on the north elevation, further impacting the status of the structure.

In 2008, the HDRB approved many alterations, including the removal of a carport and a portal, a height reduction of the yard wall, changes in window and door openings, and replacement of windows, doors and a vehicular gate. See Case # H-08-038. In that case, there was no reference to regulation of significant and contributing structures under Santa Fe City Code (“SFCC”) Section 14-5.2(C)(1), nor of exceptions under Santa Fe City Code Section 14-

5.2(C)(5). The historic status of the property seemed unclear at that time, and the Findings of Fact and Conclusions of Law for that case note, “The 2003 Historic Cultural Properties Inventory recommends that the building is non-contributing although the Official Map still lists the building as contributing to the Downtown and Eastside.” The Staff Report for that case listed the property as non-contributing.

The Applicant requests that the status of the property be officially reviewed and downgraded from the official map’s listing of contributing status to the recognized and practiced non-contributing status.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable City Code requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be downgraded from contributing to non-contributing due to the number of the alterations that have occurred on the structure, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The property is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The property is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in an H district, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “non-contributing structure,” as recommended by the Staff. The Board finds that the historic integrity of this property has been lost due to extensive alterations, which have

not acquired historic significance in their own right, as specified in SFCC Section 14-5.2(C)(1)(b).

10. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances, and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board downgrades the historic status of the structure to non-contributing.

IT IS SO ORDERED ON THIS 10th DAY of SEPTEMBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8339-HDRB

Address – 1600 Canyon Rd.

Agent’s Name – McDowell Fine Homes

Owner/Applicants’ Names – Jeung Hyun and Luella Noles

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 11, 2024.

BACKGROUND

The property at 1600 Canyon Rd is a 1.095-acre vacant lot in the Historic Review Historic District, where the Applicant proposes to build a 3,200-square-foot, single-family residence with 98 square feet of portals, a 515-square-foot attached garage, three pergolas, and a 540-square-foot studio, to the maximum allowable height of 14’10”. This lot is set back from Canyon Road behind 1606 Canyon Rd., and the properties along this block that abut Canyon Road are in the Downtown and Eastside Historic District. This lot is adjacent to another vacant lot, 1.764 acres, at 1596 Canyon Rd., to the west, for which this Applicant also proposes to build three structures.

The Applicants submitted earlier projects, with pitched-roof designs, for this lot (Case # 2023-6565-HDRB), and the adjacent lot (Case # 2023-6490-HDRB), which were heard by the Board and denied April 9, 2024. The Applicants have redesigned the residence based on feedback from the HDRB members and public comment from that April hearing. Although the footprint remains almost the same as the proposal presented in April, the Applicants have redesigned the roof and changed the placement of some windows and doors for this new proposal. The new design is for a flat-roofed, wall-dominated structure, with a maximum of 50 percent window and door openings to wall space, and windows and doors to be recessed a minimum of 2” from the face of the exterior walls. Metal details on pergolas will be formed and colored to resemble wood components.

The Applicant proposes to construct:

Main Residence:

1. A 3,200-square-foot Santa Fe Style single-family, single-story residence with a 515-square-foot attached garage to the maximum allowable height of 14’10”.
2. A 98-square-foot entry portal will be located on the southeast side of the residence.
3. A 564-square-foot open-roof pergola will be located on the southwest side of the residence, built of 4” x 6” metal columns with 2” x 2” rafters.
4. A 463-square-foot open-roof pergola on the northeast of the house, built of 4” x 6” metal columns with 2” x 2” rafters.
5. A 280-square-foot open-roof pergola on the north of the house connecting the residence to the guest house, built of 4” x 6” metal columns with 2” x 2” rafters.

6. Windows will be single-lite, fixed and awning aluminum windows. Both windows and doors will be manufactured in Dark Bronze, and will be inset a minimum of 2”.
7. The garage door will be an aluminum folding door in dark bronze.
8. The house will have 11 low-profile skylights, which will be concealed by parapets and will not be publicly visible.
9. Exterior lighting on the residence will be 6” x 12” LED aluminum cylinder downlights in dark bronze.
10. Stucco color will be cementitious La Luz 125, with Buckskin 106 under the portals.
11. Twelve solar panels will be located on the roof at the northwest corner of the residence, and will be concealed by parapets.
12. Downspouts will be in rough bronze.

Guest House / Studio:

13. A 540-square-foot guest house to the maximum allowable height of 14’10”.
14. Windows will be single-lite, fixed and awning aluminum windows. Both windows and doors will be manufactured in Dark Bronze, and will be inset a minimum of 2”.
15. The north elevation will have an aluminum, sectional garage door in dark bronze.
16. The studio will have two low-profile skylights which will not be publicly visible.
17. Exterior lighting on the studio will be 6”x12” LED aluminum, dark bronze cylinder downlights.
18. Stucco color will be cementitious La Habra La Luz 125 with Buckskin 106 under the portals.
19. Downspouts will be in rough bronze.

Site:

20. A 8” x 11’ spillway with natural stone Santa Fe Ledge with Santa Fe Brown gravel as a water feature.
21. A 6-foot high coyote fence with a 5’x16’ metal vehicle gate at the driveway entry for the guest house will be placed along the property perimeter.
22. A 5’ x 20’ vehicle gate will cross the easement for access to the main residence.
23. The driveway, patio, and walkway surfaces will be Santa Fe Brown 3/4”-7/8” gravel and pavers.

Slope cuts have been preliminarily reviewed by the Terrain Management Team. All structures shall be set back from the Acequia del Llano per a condition set by the Archaeological Review Committee and the Terrain Management Team.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complied with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(F) Historic Review District design standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Historic Review District and is subject to the district design standards set forth in SFCC Section 14-5.2(F).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b) and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves Items # 1-23 as set forth in the application, as recommended by the Staff, with the following additional conditions:
 - a. All exterior corners shall be bullnosed;
 - b. The windows shall be inset a minimum of 4 inches from the exterior walls;
 - c. Windows shall be placed a minimum of 3 feet from all corners, and the window re-design presented to the Staff for administrative approval;
 - d. The garage door and exposed structural elements on the portals shall be wood.

IT IS SO ORDERED ON THIS 10th DAY of SEPTEMBER, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008779--HDRB

Project Description: 2024-008779-HDRB, 428 & 428 A San Antonio St., Downtown and Eastside Historic District, Daniel Lujan, agent for Andrew and Mary Harris, property owners, request approval to reinstate previously approved plans from 2012 on a significant structure.

Project Location(s): 428 SAN ANTONIO ST A
Santa Fe, NM 87505

Contacts:

Property Owner: Andrew and Mary Harris
428 San Antonio Street
Santa Fe, NM 87505

maryhartharris@gmail.com

Applicant: Daniel Lujan
612 Old Santa Fe Trail
Santa Fe, NM

daniel@archallinc.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: Significant/Landmark: True

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West:

Historic District Inventory Number: 1991

Year of Construction: 1925

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2024-008779-HDRB, 428 & 428 A San Antonio Street, Downtown and Eastside Historic District, Daniel Lujan, agent for Andrew and Mary Harris, property owners, request approval to reinstate previously approved plans from 2012 on significant (428) and contributing (428 A) structures.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:** Previous HDRB Case Documents

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:**

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The single-family residence at 428 San Antonio is listed as significant and the garage (428 A San Antonio) as contributing with the east façade designated as primary to the Downtown and Eastside Historic District. The main residential structure and the garage were constructed in the mid-1920s in the Territorial Revival design style as seen by the adobe block and wood frame construction materials, brick coping, wood frame double hung windows, and white picket fence.

The applicant received approval in 2012 under cases H-12-014B and H-12-015B to make a series of improvements to the property, but due to family complications those improvements were not made. Those approvals expired in 2017 and now the applicant is back before the board requesting to reinstate those approvals and required conditions.

Previous cases include:

Case No. H-12-0014A, on March 13, 2012, the HDRB designated the garage as contributing to the Downtown and Eastside Historic District with the east façade as primary.

Case No. H-12-014B, on July 10, 2012, the HDRB approved with conditions a 10'5" high and 456 sq. ft. addition to the contributing garage which included two pergolas and the installation of photovoltaic rooftop equipment. Two exceptions were requested for an addition to a contributing building exceeding 50% of the square footage of the existing historic footprint and to construct an addition not set back 10' from the primary façade. The conditions included that the work area of the addition be set back 6' from the primary façade, the fenestration on the primary façade will be the same as the doors observed in the historic photographs, and the door design and exterior lights be approved by staff before construction permit application is submitted.

Case No. H-12-015A, on July 10, 2012, the HDRB approved with conditions a remodel to a significant structure by constructing a 200 sq. ft. portal, the addition of doors and windows, the installation of photovoltaic rooftop equipment, and the construction of a 5' high stucco yard wall. Three exceptions were requested for an addition to a primary façade, an addition not set back 10' from a primary façade, and to create an opening where one does not exist. The conditions included the design of the door to the kitchen maintain the same fenestration pattern as observed in the historic photographs and the design go back to the Board for review and the same entrance would be designed with two exterior steps and no railing.

Case No. H-12-015B, on August 14, 2012, the HDRB approved the application to replace a historic door entry along the primary elevation of the significant structure in order to comply with a previous Board approval condition. The condition of the Board was the south kitchen entry shall not have divided lights at the sidelight and transom portion of the entry and that the door be designed with a solid panel below and clear glass above.

The applicant proposes the following exterior alterations which were not completed with the 2012 approvals:

Significant Main Structure (428 San Antonio) previously approved under H-12-014B:

- 1) Installation of the previously approved window on the north elevation of the main structure.
- 2) Installation of the previously approved stucco color coat of on the main structure and garage/guesthouse to match the existing main structure. Stucco shall be cementitious and color to match existing El Rey stucco #106 buckskin.
- 3) All wood trim to be painted white to match existing wood trim.

Contributing Garage/Guesthouse (428 A San Antonio) previously approved under H-12-015A and B:

- 1) Installation of the previously approved door and wood trim on the north elevation to the garage/guesthouse. The wood trim will be painted white to match the existing trim on the garage/guesthouse.
- 2) Installation of the previously approved door and wood trim to the east elevation. The originally approved historic carriage doors will be fixed in place. The doors will be painted white to match existing windows and trim on guesthouse.
- 3) Installation of the previously approved single doors and double door with sidelites. The doors will be painted white to match existing windows and trim on guesthouse.
- 4) Installation of the previously approved pergola attached to the north and east elevation to the guesthouse painted white to match existing wood trim on guesthouse.
- 5) Installation of the previously approved windows on the south elevation to the guesthouse. The windows will be painted white to match existing windows and trim on guesthouse.
- 6) Installation of the previously approved metal cap over the existing brick coping. The metal cap will be galvanized metal.
- 7) Installation of the previously approved TPO roofing over the old garage and guesthouse with two new 2x2 skylights.

The current plans meet all of the previous conditions of approval from cases H-12-014B, H-12-015A and H-12-015B.

All other previously approved work is not being requested currently.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each *structure* to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken;
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

(D) **General Design Standards for All H Districts**

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(4) Porches and Portals

Existing *porches* or *portals* shall not be enclosed.

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.

- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(6) Roofs

The existing roof styles and materials shall be maintained or replaced in kind if necessary. The addition of dormers or other roof features should only be considered when they are an existing or historical feature of the *structure*.

(E) **Downtown and Eastside Design Standards**

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

DEFINITIONS

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

(A) for its association with events or persons that are important on a local, regional, national or global level; or

(B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

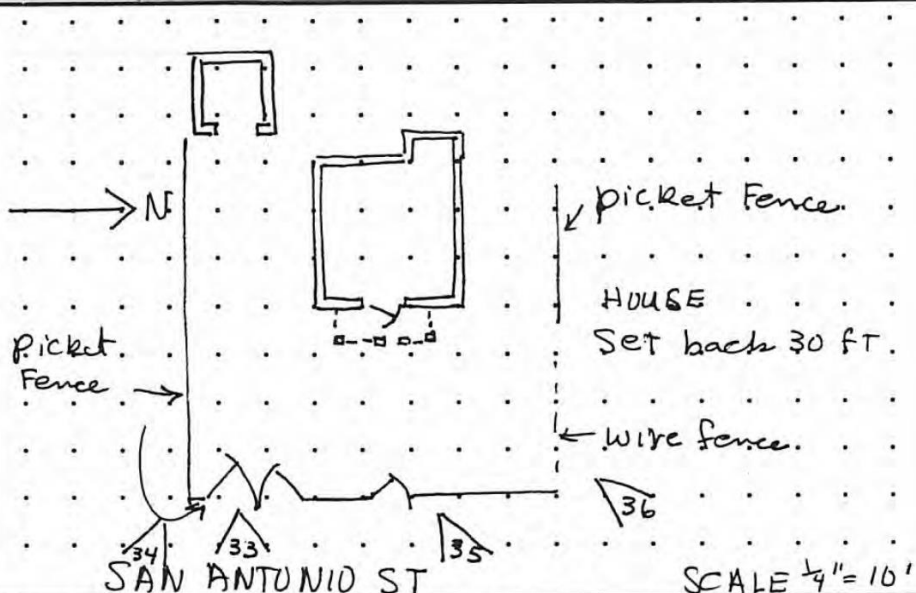
H3211

IDENTIFICATION	ADDRESS: 428 SAN ANTONIO ST. CAMINO DEL MONTE SOL NAT. HIST. DIST.		ID NUMBER: 651600623 BUILDING NAME:
	UTM REFERENCE EASTING NORTHING ZONE 12 13	LEGAL DESCRIPTION: TNSP 17 N 3 RANGE 9 E SEC 25 NE 1/4 NE 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85		
	DATE OF CONSTRUCTION: ESTIMATE 1925 ACTUAL		
	SOURCE(S) caretaker		
	ARCHITECTURAL STYLE: TERRITORIAL REVIVAL		
USE:	HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____		
SURROUNDINGS:	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	WHAT TYPE? DETACHED 1 CAR GARAGE IF INVENTORIED, LIST ID NUMBER(S)		
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR	EXPLAIN: NONE VISIBLE		
OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED	BUILDING THREATENED? <input type="checkbox"/> YES <input type="checkbox"/> NO		
SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <u>CNT</u> <input checked="" type="checkbox"/>		
SITE PLAN	LOCAL DESIGNATION: Core <input type="checkbox"/> HISTORIC DISTRICT <input checked="" type="checkbox"/> ^{NOTE WORTHY} SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO		

PHOTO

#35 EAST FACE

SITE PLAN



SURVEYED 7-18-91 BY AC

NEGATIVES WITH NMHPD ROLL # 7 NEG # 33 TO 36

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	STUCCO	EXCELLENT
FOUNDATIONS	NOT VISABLE	
DOORS	9 PANEL GLASS OVER WOOD	CLASSIC PEDIMENT PAINTED WHITE
WINDOWS	WOOD FRAME DBL HUNG 2/2 BRICK SILLS	" "
PORTALES	EAST SIDE - CLASSIC CHAMFERED POSTS	WHITE PAINT ON WALL BEHIND PORTAL WHITE WOOD 3' RAILING
CANALES	SO. END OF PORTAL	
PORCHES		
BALCONIES		
ROOFS	FLAT WITH PARAPETS BRICK COPING	COPING DETERIORATING - THIS HOUSE MAY BE OLDER THAN 404 + 426
COURTYARDS		
FENCES/WALLS	PICKET FENCE - NO. E. + SO. PAINTED WHITE	SECTION OF MISSING FENCE ON N. REPLACED WITH WIRE FENCE
ARCH. DETAILS		
OTHER	4 PALOHEIMO RENTALS 404-424-426-428	✓

COMMENTS 3 TERRITORIAL STYLE RENTALS 404-426-428 (PALOHEIMO / CURTAIN - SEE #019)



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 428 SAN ANTONIO ST.

ID NUMBER 051600023

SURVEYED/RESEARCHED

DATE 7-18-91 BY AC



33 SW CORNER

Attachment B
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

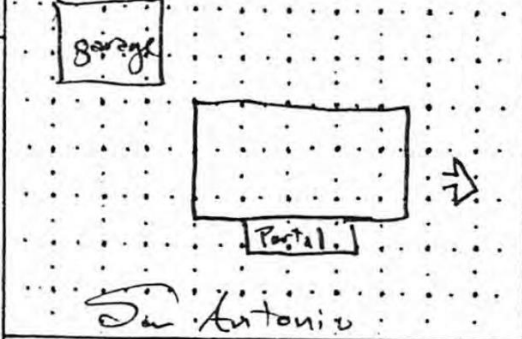
building threatened? yes	surveyed date <u>7-6-83</u> by <u>Mb</u>	county <u>Santa Fe</u>	ID no. <u>051600023</u>
-----------------------------	--	---------------------------	----------------------------

field map number <u>Santa Fe, N.M.</u> <u>1</u>	UTM reference easting northing zone <u>12 13</u>
--	---

location description <u>428 San Antonio</u>	city/town <u>Santa Fe</u>
land grant/reservation	

building name	legal description tnsp <u>17 N</u> range <u>9 E</u> sec <u>25 NE 1/4 NE 1/4</u>
---------------	--

film roll by <u>Mb</u> no. <u>2</u>	negative nos. 14, 15 <u>13, 14</u>	loc. of neg. <u>HPB</u>	plan shape
-------------------------------------	--	----------------------------	------------



date of construction <u>Pre 1928</u> estimate _____ actual _____

source <u>1928 At. Directory</u>

use	present <u>residential</u>
other _____	historic <u>residential</u>
other _____	other _____

condition	_____ excellent <input checked="" type="checkbox"/> good
_____ fair	_____ deteriorating

degree of remodeling	_____ moderate _____ major
describe:	<input checked="" type="checkbox"/> minor

style <u>Territorial Rev.</u> <u>Bungalows</u>	foundation material <u>Not vis</u>
	wall material/surface <u>Stucco</u>

architectural features <u>Brick dentil coping</u> <u>Windows - pediments, 3/2 double hung</u> <u>Partial - wood railing w 2x4</u>
--

surroundings <u>Residential</u>

relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar

district potential <input checked="" type="checkbox"/> yes _____ no
--

significance _____ eligible <input checked="" type="checkbox"/> of _____ none
--

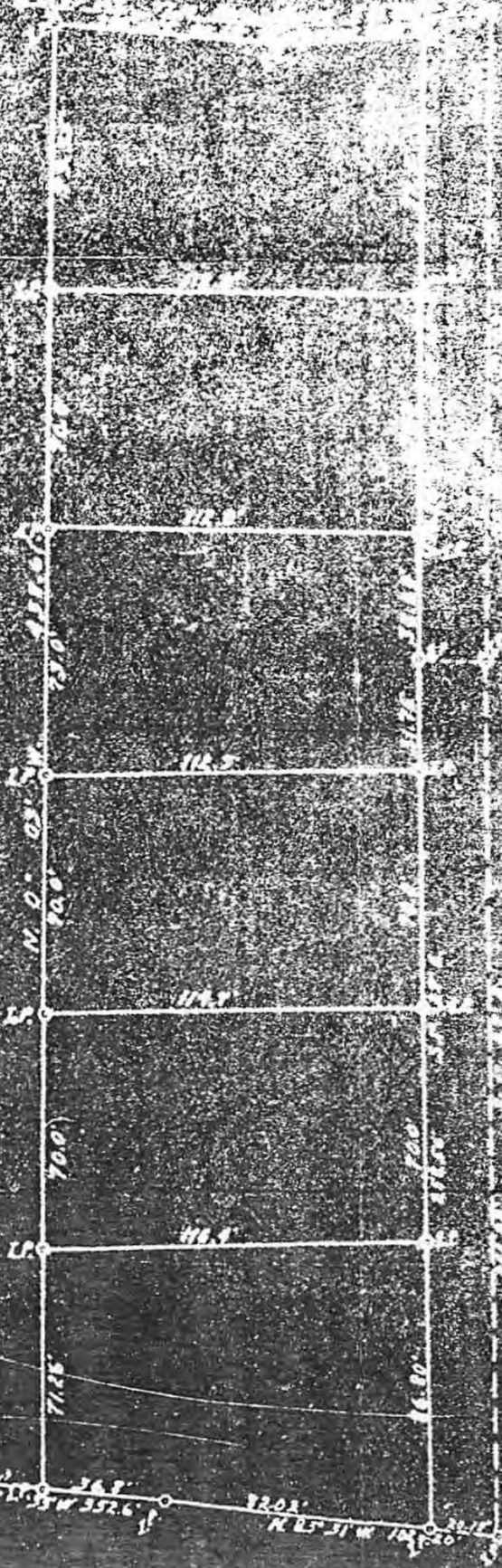
if eligible, interest why?

comments <u>wall</u> <u>hedge</u> <u>wire fence</u> <u>wood fence</u> — picket <u>landscape</u> <u>street trees</u> <u>stone curb</u> <u>0 setback</u> <u>acacia</u>

associated buildings? <input checked="" type="checkbox"/> yes	what type? <u>Garage</u>
if inventoried, list ID nos.	

see back? _____ yes

Streetscape




PLAT OF LOTS
 SURVEYED FOR
MRS. EVA SEELYE
 BLOCK 10, DIST. 3 SANTA FE, N.M.
 OCT. 20, 1923.

I hereby certify that this plat and
 the data thereon are a true and
 correct copy of a survey made in the
 field by me on Oct. 18, 1923.
James Harvey

Oct. 20, 1923
 West Side/Son

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
Historic Preservation Division, New Mexico Department of Cultural Affairs

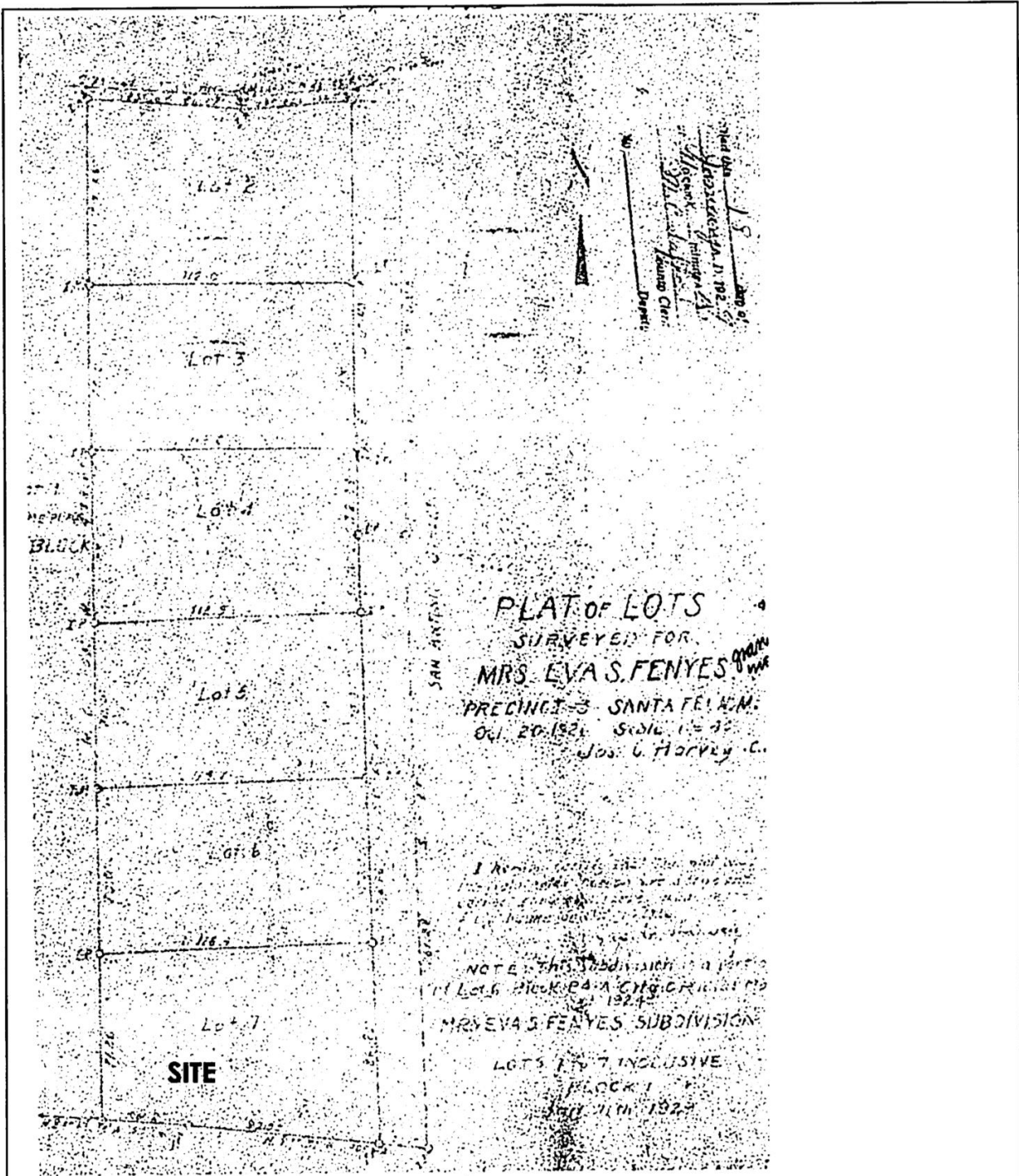
For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: 428 SAN ANTONIO ST.	2. Location: 428 SAN ANTONIO ST.	3. Local Reference Number: H3211.1 4. County SANTA FE
5. Property Type: <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: 02/09/12		
7. Previous Survey Date(s): 7/18/91 & 7/6/83 <input type="checkbox"/> No previous survey		
8. Name of Project: RE-SURVEY FOR OWNER OF PROPERTY		
9. UTM Zone: Easting: Northing:		
10. Photo Information	Negative Location: DIGITAL	View of: EAST SIDE FROM STREET
11. Brief Description of the Property: SINGLE STORY RECTANGULAR GARAGE ACCESSORY BLDG OF 428 SAN ANTONIO, 15' X 23' X 10' HEIGHT, CONCRETE FOUNDATION, NO FLOOR VISIBLE, FLAT ROOF WITH BRICK DENTIL COPING PARAPET, CANAL TO THE SOUTH, VISIBLE VENT FOR FURNACE, AND WINDOW WITH WOOD CASEMENT 2/4 PATTERN WITH ALUM. STORM. WINDOW HAS BRICK SILL SIMILAR TO HOUSE, BUT NO TERRITORIAL STYLING OTHER THAN THE BRICK COPING. GARAGE DOOR IS DOUBLE-SWING DOORS, VERTICAL WOOD PLANKS WITH EXPOSED HINGES.		
12. Who uses the property? OWNER		
13. Construction Date: Date: 1927 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: SANTA FE COUNTY TAX INFORMATION		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: A SUBDIVISION OF FARMLAND ALONG THE ACEQUIA MADRE. SEE 1935 PHOTOGRAPH.		

HCPI Base Form (FORM 1)

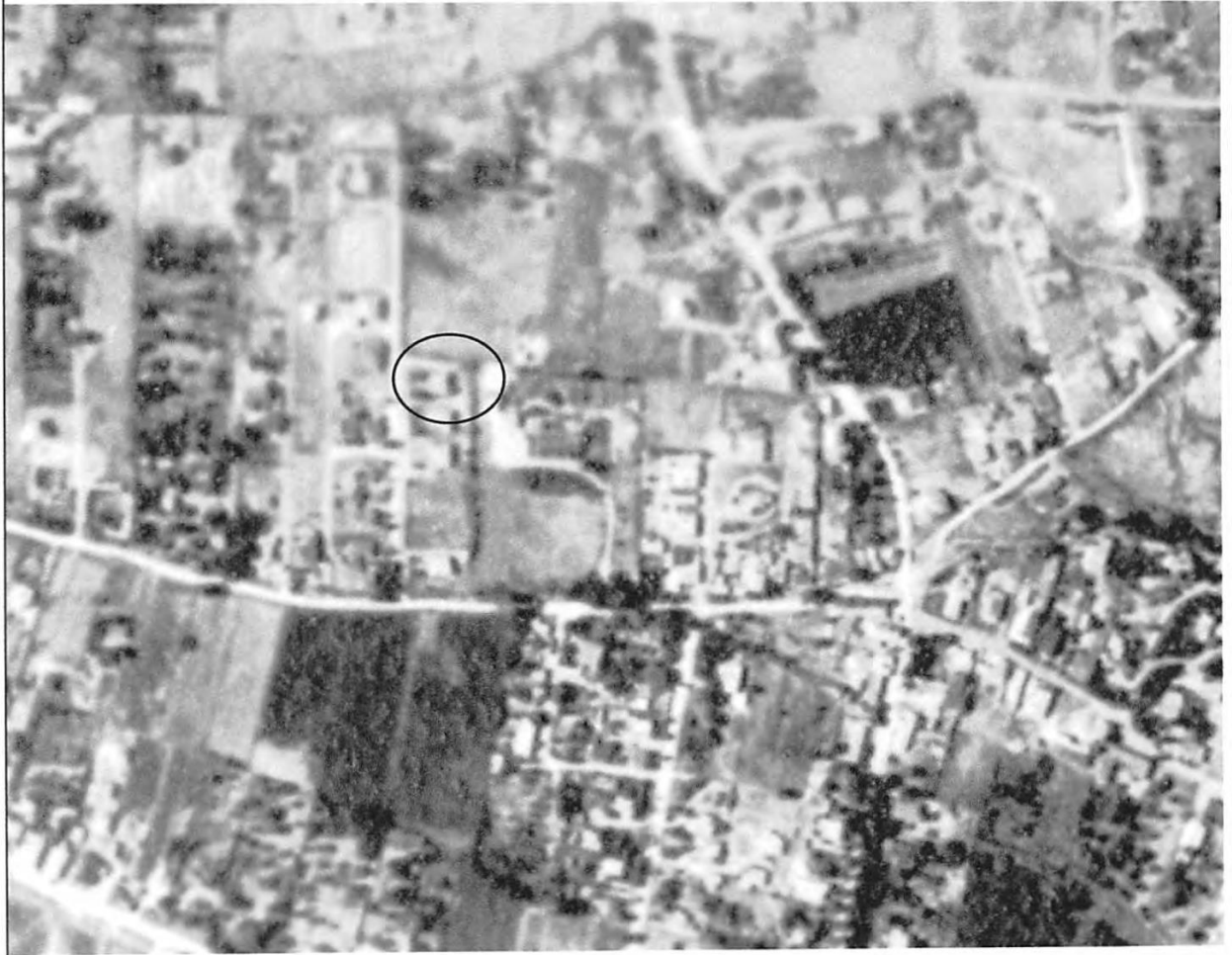
(Continued from other side)

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>  <p>NORTH SIDE</p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>GAYLA BECHTOL, AIA HISTORIC ARCHITECT 505-988-3315 GAYLA@GBASANTAFE.COM</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>WENDY FAIRMAN</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input checked="" type="checkbox"/> Moderate <input type="checkbox"/> High</p> <p>Describe: THE FEYNES, CURTIN, PALOHEIMO FAMILY LEASED THIS BUILDING ALONG WITH OTHERS ON THE STREET. THEY LIVED ADJACENT TO THIS PROPERTY.</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) THIS LOT WAS CREATED IN 1924 BY MRS. EVA S. FENYES (DIED 1930), LEONORA S. MUSE CURTIN'S (1879-1972) MOTHER, WHO WAS LEONORA FRANCIS CURTIN PALOHEIMO'S (1903-1999) MOTHER WHO WAS ERIC PALOHEIMO'S MOTHER, THE LAST OWNER OF THE ORIGINAL FAMILY. LEONORA CURTIN AND LEONORA PALOHEIMO FOUNDED EL RANCHO DE LAS GOLONDRINAS IN 1931.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes</p> <p style="padding-left: 100px;">If yes: <input type="checkbox"/> State <input checked="" type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes</p> <p style="padding-left: 20px;">Why? ASSOCIATED PROPERTY OF IMPORTANT FAMILY IN SANTA FE DURING THE HISTORIC PERIOD</p>	
<p>23. National or State Historic District:</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes</p> <p style="padding-left: 100px;">If yes: <input type="checkbox"/> Contributing <input type="checkbox"/> Non-contributing <input type="checkbox"/> Unknown</p> <p>If 'yes', what is the name of the district? CITY: DOWNTOWN/EASTSIDE NATIONAL: CAMINO DEL MONTE SOL</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input checked="" type="checkbox"/> Continuation Sheets, # pages: <u> 4 </u></p>	

HISTORIC CULTURAL PROPERTIES INVENTORY (HCPI) CONT. SHEET
 428 SAN ANTONIO ST. H3211.1 02/09/12



1924 PLAT OF LOTS FOR MRS. EVA S. FENYES



1935 AERIAL PHOTOGRAPH, EDAC, ALBUQUERQUE, NORTH IS UP IN ALL
PHOTOS,
428 SAN ANTONIO IS IN CIRCLE

HISTORIC CULTURAL PROPERTIES INVENTORY (HCPI) CONT. SHEET
428 SAN ANTONIO ST. H3211.1 02/09/12



1951 AERIAL PHOTOGRAPH, EDAC

HISTORIC CULTURAL PROPERTIES INVENTORY (HCPI) CONT. SHEET
428 SAN ANTONIO ST. H3211.1 02/09/12



1981 AERIAL PHOTOGRAPH, EDAC

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property 428 SAN ANTONIO ST.	2. Location: 428 SAN ANTONIO ST.	3. Local Reference Number: H3211.1	
		4. County SANTA FE	
		5. Date of Survey: 02/09/12	
ARCHITECTURAL AND CONSTRUCTION DETAILS:			
6. Visible Construction Material: <input type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle Wood: Tongue and Groove <input type="checkbox"/> Other: _____		7. Number of Stories: _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: _____ N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input checked="" type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____	
		9. Roof: _____ N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input checked="" type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave <input checked="" type="checkbox"/> Parapet Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: BRICK DENTIL COPING	
10. Windows <input type="checkbox"/> N/A Operation Material Glazing Number CASEMENT WOOD 2/4 SINGLE GLAZED 1 Notes: ALUMINUM STORM, PAINTED		11. Doors <input type="checkbox"/> N/A Type Style Material Number SWINGING DOUBLE VERT. WOOD PLANKS 1 Notes: EXPOSED HINGES, PAINTED	
12. Chimneys METAL FLUE VISIBLE		13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap	
14. Other Significant Features: CANAL RECENTLY REPAIRED OR REPLACED. ORIGINAL BRICK WITH SOME REPAIRS IN FAIR SHAPE, SIMILAR TO OTHER GARAGES ON THE STREET ASSOCIATED WITH THE PALOHEIMO FAMILY			
15. Modifications: <input checked="" type="checkbox"/> No known modifications			

HCPI Detail Form (FORM 2)

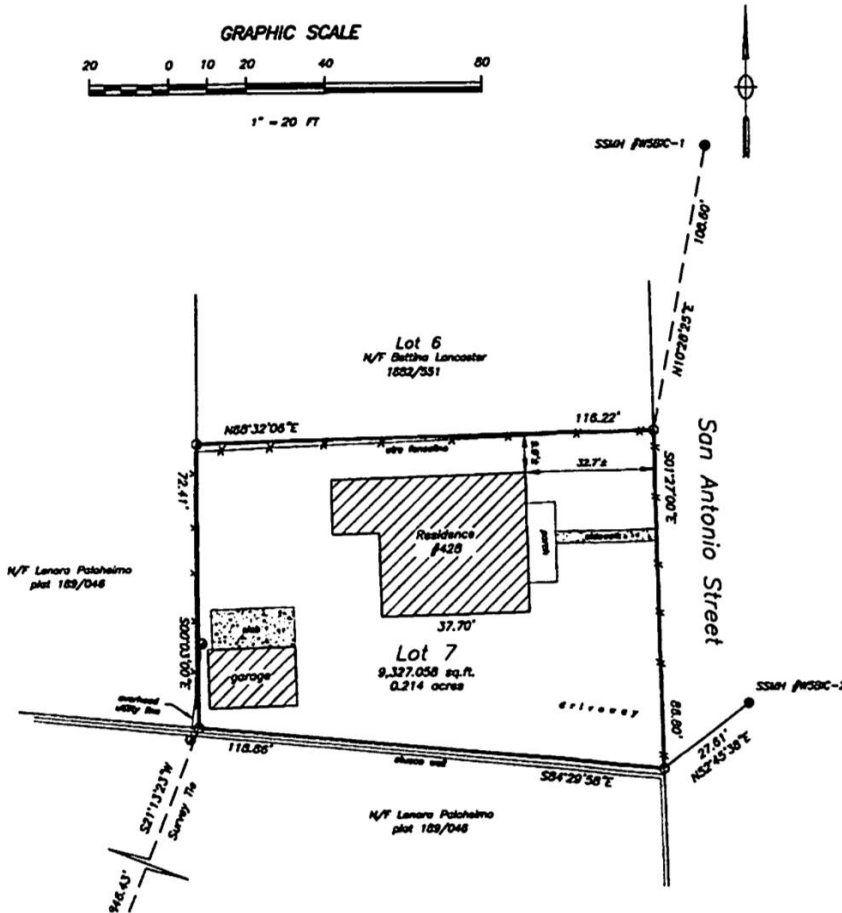
(Continued from other side)

- 16. Primary Architectural Style** Not Applicable
- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input checked="" type="checkbox"/> X Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |
- Notes: _____
Other: _____

17. Documents Available and Their Locations
 FROM 2001 QUITCLAIM DEED FILED AS 1862/383-384: THAT CERTAIN TRACT OF LAND LYING TO THE EAST OF, AND ADJACENT TO THE PROPERTY AT 614 ACEQUIA MADRE STREET, AS SHOWN AS LOT 7 ON PLAT OF LOTS SURVEYED FOR MRS. EVA S. FENYES BY JAS.C.HARVEY ON OCTOBER 18, 1924, WITHIN LOT 6, BLOCK 84-A CITY OFFICIAL MAP OF 1924. LOT 7 BEING DESCRIBED IN WARRANTY DEEDS FROM EVAS S. FENYES AND ADALBERT FENYES, HER HUSBAND, TO GRANTOR AND TO LEONORA S. CURTIN DATED JULY 1, 1927, AND NOVEMBER 4, 1926, RESPECTIVELY, AND RECORDED IN BOOK 6 OF DEEDS, PAGE 495, AND BOOK 6 OF DEEDS, PAGE 323, RESPECTIVELY, OF THE REAL ESTATE RECORDS OF SANTA FE COUNTY, NEW MEXICO, AND IN WARRANTY DEED FROM LEONORA SCOTT CURTIN, WIDOW, TO GRANTOR , AS HER SEPARATE PROPERTY, DATED DECEMBER 30, 1959, AND RECORDED IN BOOK 166, PAGE 428, OF THE REAL ESTATE RECORDS OF SANTA FE COUNTY, NEW MEXICO. TAX DOCUMENTS AVAILABLE FROM SF COUNTY TAX ASSESSOR OFFICE.

SITE:

18. Attached or Associated Properties
 428 SAN ANTONIO ST. RESIDENCE
 Are associated properties eligible for listing? ALREADY LISTED



19. Site Plan:



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted: 07/16/24	428 and 428 A San Antonio St.
Property Owner of Record: Andrew and Marry Harris	Proposed Construction Description:
Applicant/Agent Name: Architectural Alliance LLC	reroof existing guesthouse add 2 skylights, stucco and install doors/windows
Contact Person Phone Number: () 505 988-5269	TOTAL ROOF AREA: 2,689 sq. ft.;
Zoning District: <u>RC8</u>	Lot Coverage : <u>28.8</u> %
Overlay: <input type="checkbox"/> Escarpment	<input type="checkbox"/> Open Space Required: _____
<input type="checkbox"/> Flood Zone*	Setbacks:
<input type="checkbox"/> Other: _____	Proposed Front: <u>(ex)</u> Minimum: <u>15</u>
Submittals Reviewed with PZR:	2 nd Front? _____
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans	Proposed Rear: <u>(ex)</u> Minimum: <u>15/5</u>
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Proposed Sides: <u>L(ex)R(ex)</u> Minimum: <u>5</u>
Supplemental Zoning Submittals Required for Building Permit:	Height: Proposed <u>(ex)</u>
<input type="checkbox"/> Zero Lot Line Affidavit	Maximum Height: _____ or
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance
<input type="checkbox"/> Visibility Triangle Required	<input type="checkbox"/> Regulated by Escarpment District
Use of Structure: <input checked="" type="checkbox"/> Residential	Parking Spaces:
<input type="checkbox"/> Commercial Type of Use: _____	Proposed <u>2</u> Accessible _____
Terrain: <input type="checkbox"/> 30% slopes _____	Minimum: <u>2</u>
* Requires an additional review conducted by Technical Review Division.	Bicycle Parking**:
** Requires an additional review conducted by the Traffic Engineering Division.	Proposed: _____ Minimum: _____

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Daniel Lujan PRINT NAME [OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

07/16/24

SIGNATURE DATE

To Be Completed By City Staff:	2024-008767 PAR
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>Rihanna Clouser</u>	DATE: <u>7/17/24</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
H-12-014A
Status Review**



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2

Patti J. Bushee, Dist. 1

Chris Calvert, Dist. 1

Rosemary Romero, Dist. 2

Miguel M. Chavez, Dist. 3

Carmichael A. Dominguez, Dist. 3

Matthew E. Ortiz, Dist. 4

Ronald S. Trujillo, Dist. 4

Project description: Requests an historic status review of a non-statused garage.

Project number: 12-1200014A

Case number: H-12-0014A

Project type: HDRB

PROJECT LOCATION (S): 428 San Antonio

PROJECT NAMES:

OW – Wendy Fairman
Santa Fe, NM 87505

104 Victoria Street
505-690-1440

AP – Eric Enfield, Architect
Santa Fe, NM 87508

612 Old Santa Fe Trail
505-780-2239

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their hearing on, March 13, 2012, acted on the above referenced case. The decision of the board was to designate the garage contributing to the Downtown and Eastside Historic District with the east elevation as the primary façade. For further information please call 955-6605.

Sincerely,

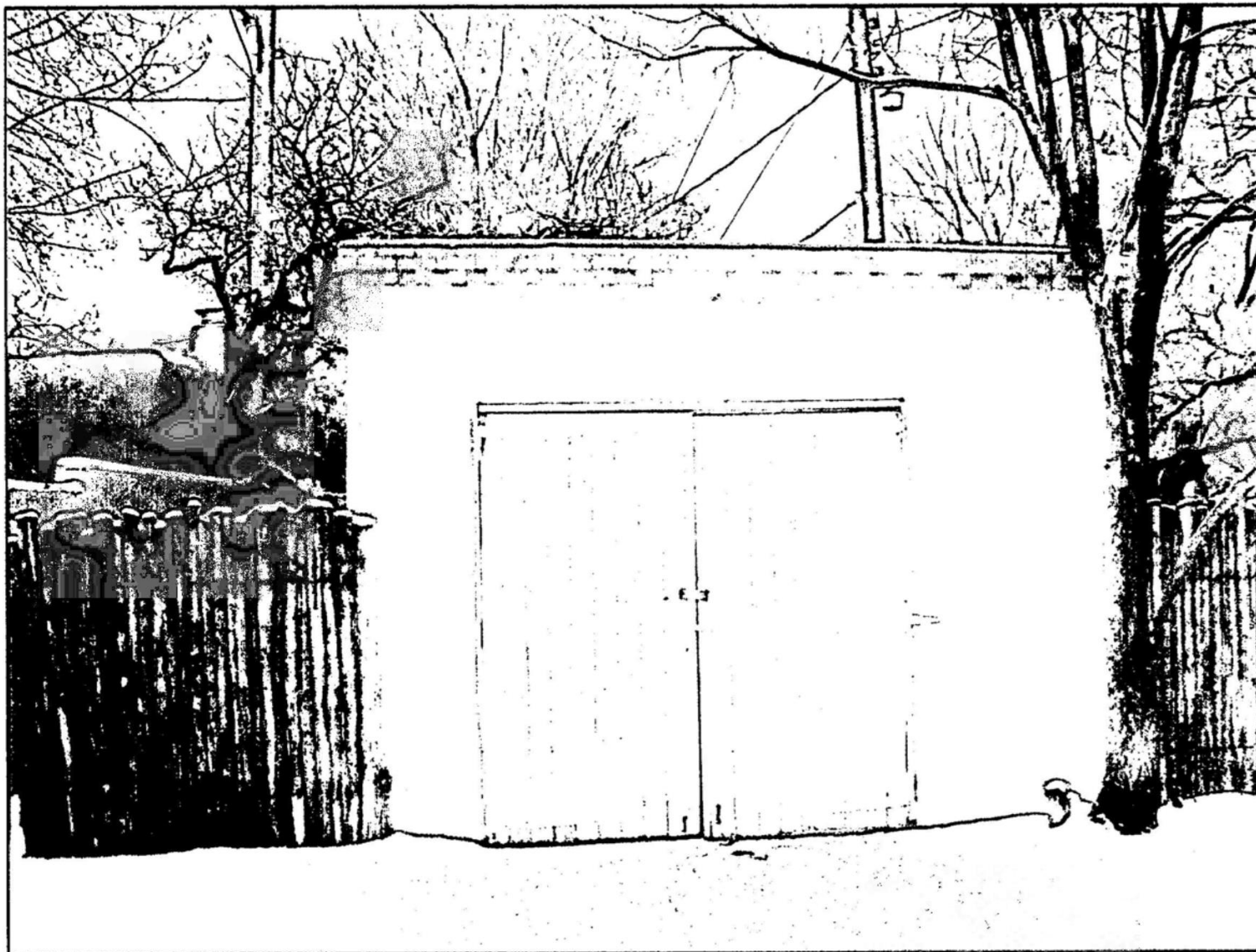

John W. Murphey
Senior Planner Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerks office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permit.



428 SAN ANTONIO STREET

Historic Design Review Board Photographs



Garage East Elevation

ARCHITECTURAL
ALLIANCE
INC
6510 SAN ANTONIO ROAD
SAN ANTONIO, TEXAS 78212
Telephone 214-486-5200
FAX 214-486-1270
EMAIL: architecturalalliance@earthlink.net
WEBSITE: www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs

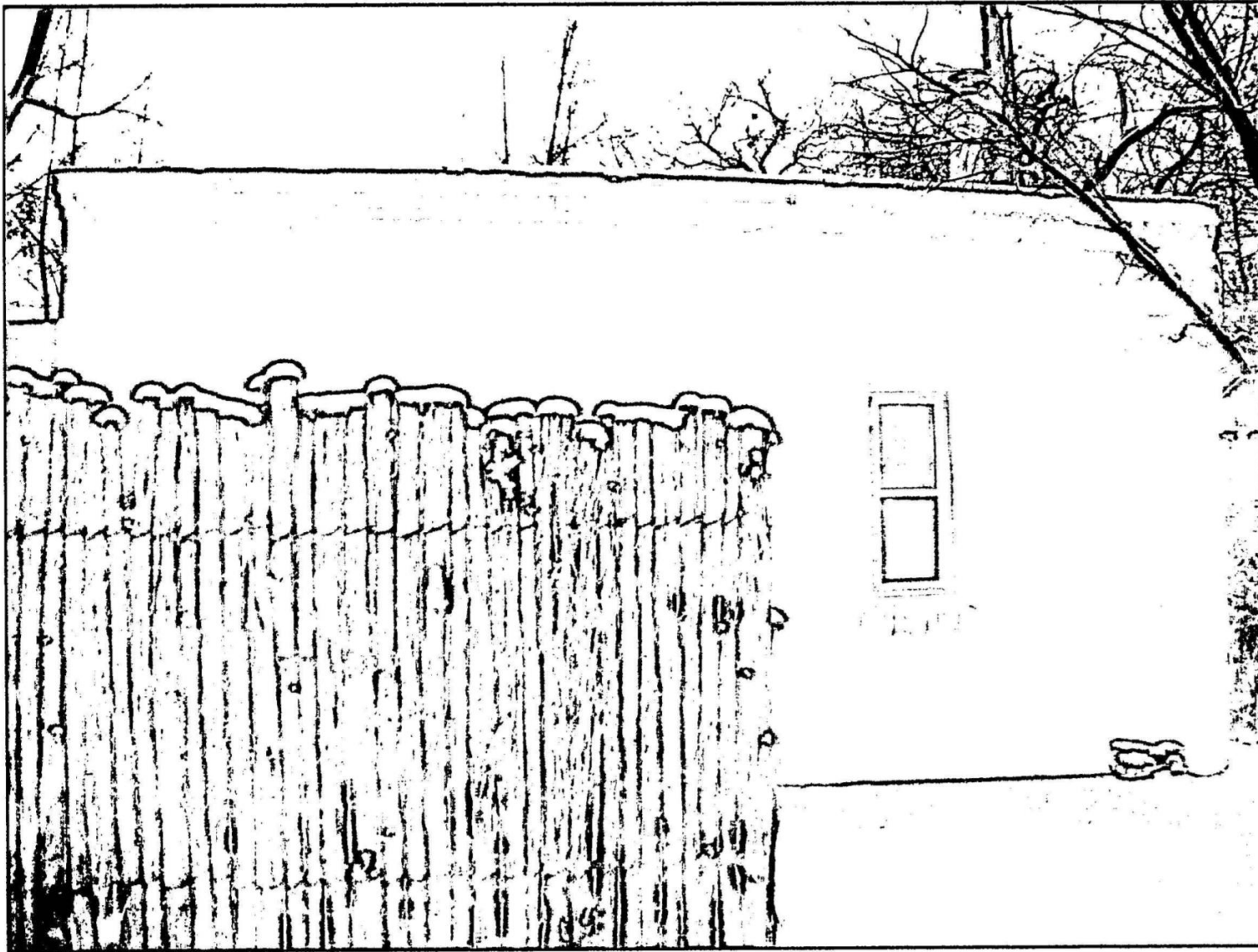


Garage South Elevation

ARCHITECTURAL
ALLIANCE
INC.
412 OLD SANTA FE TRAIL,
SANTA FE, NEW MEXICO 87505
Telephone 505-986-5289
FAX 505-986-1276
E-MAIL: arch@allianceinc.com
WWW: www.allianceinc.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



Garage North Elevation

ARCHITECTURAL
ALLIANCE
INC

412 OLD SANTA FE TRAIL,
SANTA FE, NEW MEXICO 87501
Telephone: 505-988-2289
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WEBSITE: www.archalliance.com

City of Santa Fe, New Mexico

memo

DATE: March 13, 2012
TO: Historic Districts Review Board Members
John Murphey, Senior Planner, Historic Preservation *JM*
FROM: David Rasch, Planner Supervisor, Historic Preservation *DR*

CASE # H-12-014A

Address: 428 San Antonio Street
Historic Status: No Status
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs

STAFF RECOMMENDATION:

Staff recommends the garage as contributing to the Downtown and Eastside Historic District, with the east elevation recommended as primary, yet defers to the Board to give a status designation, including assigning primary façade(s), as per Section 14-5.2 (C)(2)(a) & (b).

BACKGROUND & SUMMARY:

The garage of 428 San Antonio Street is a non-statused building associated with the house to the front, which is designated significant to the Downtown and Eastside Historic District. The applicant has requested the Board assign a historic status to the garage.

Situated at the southeast corner of the property, the garage is an approximately 345 sq. ft., rectangular plan, stucco-clad building that exhibits a similar Territorial Revival style and brick coping as the main house. It accessed through swinging vertical plank doors and hung with ornamented strap hinges. The north elevation is fenestrated with a single 2-over-4 wood casement window with a brick sill; the window is covered with an aluminum storm unit. The interior of the garage is finished with white stucco walls; exposed vigas run in a north-south pattern.

The consultant has determined the garage was constructed in 1927 and is associated with the Fenyes, Curtin and Paloheimo families.

Staff believes the garage contributes to the main house and recommends its front (east) elevation as the primary facade.



February 15, 2012

**To: City of Santa Fe Historic Preservation Office
Mr. David Rasch**

**From: Eric Enfield, AIA
Architectural Alliance Inc.**

**Re: 428 San Antonio
Garage Status Request
Architects Project # 11-35**

Dear Mr. Rasch,

We are requesting a status review for the garage located at 428 San Antonio St. Presently, as you know, the existing garage has no status. Attached is the Historic Cultural Properties Inventory along with photographs and an existing plan and elevation.

Thank you for your time and consideration, and please contact me with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Enfield", is written over a horizontal line.

Eric Enfield, AIA
Architectural Alliance, Inc.

Cc: File

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
H-12-014B
Remodel**

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

ITEM # 12-0672

Case # H-12-014B

Address – 428 San Antonio (garage)

Owner/Applicant's Name – Wendy Fairman

Agent's Name – Eric Enfield

THIS MATTER came before the Historic Districts Review Board (Board) for hearing on July 10, 2012, upon the application (Application) of Eric Enfield, agent for Wendy Fairman, owner.

Constructed in c.1927, the garage at 428 San Antonio Street is a one-story, stucco-clad structure exhibiting a simplified Territorial Revival style harmonizing with the main house. The Board designated the building contributing to the Downtown and Eastside Historic District at the March 13, 2012 hearing, selecting the east elevation as the primary facade.

The applicant requested a project to remodel the contributing garage by adding a 456 sq. ft., approximately 10'-5"-high addition, which would include construction of two pergolas and installation of photovoltaic rooftop equipment. The project included installation of new windows and a change of opening across the primary facade. Two exceptions were requested: to construct an addition to a contributing building that exceeds 50% of the square footage of the existing footprint and to construct an addition not set back a minimum of 10' from a primary facade (Section 14-5.2(D)(2)(d)).

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT

1. The Board heard testimony from Board staff and the Applicant.
2. The applicant introduced into the record a copy of an undated photograph showing the east and south elevations of the main house and garage.
3. Zoning staff has determined the Application meets underlying zoning standards.
4. Board staff presented the case.
5. Board staff believed, based on an earlier letter, the applicant had not addressed the exceptions that were specific to the garage remodeling project.
6. The Board and the Applicant referred to a second letter included in the packet that more accurately addressed the exceptions.
7. Board staff deferred to the Board as to whether the applicant had met the requested exceptions to construct an addition that exceeds 50% of the square footage of the existing footprint and at a location not set back at a minimum 10' from the primary facade (Section 14-5.2(D)(2)(d)).
8. The Board determined the applicant had met the two requested exceptions.


9. The Board approved the application and found the proposed renovation complied with applicable design standards with the condition that a) the "Work Area" portion of the addition shall be set back 6' from the primary façade; b) the fenestration on the primary façade shall be the same type of door observed in the historic photograph; and c) the applicant shall submit the design of the doors and the exterior lights to Board staff for approval.
10. The Property is located in the Downtown and Eastside Historic District and is subject to the requirements of the following sections of the Santa Fe Land Development Code: Section 14-5.2 (E) Downtown and Eastside Historic District
11. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
12. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.

CONCLUSIONS OF LAW

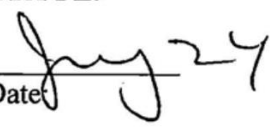
Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

The Board concludes the project complies with Section 14-5.2 (D)(9), General Design Standards (Height, Pitch, Scale and Massing), and (E), Downtown and Eastside Historic District with the condition that: 1) the "Work Area" portion of the addition shall be set back 6' from the primary façade; 2) the fenestration on the primary façade shall be of the same type of door observed in the historic photograph; and c) the applicant shall submit the design of these doors and the exterior lights to Board staff for approval.

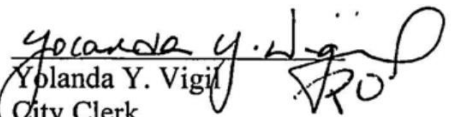
IT IS SO ORDERED ON THIS 24th DAY OF JULY 2012 THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.



Sharon Woods
Chair

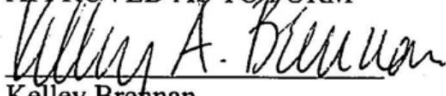

Date: _____

FILED


Yolanda Y. Vigil
City Clerk

7-26-12
Date: _____

APPROVED AS TO FORM



Kelley Brennan
Assistant City Attorney

7/24/12
Date: _____



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2

Patti J. Bushee, Dist. 1

Chris Calvert, Dist. 1

Rosemary Romero, Dist. 2

Miguel M. Chavez, Dist. 3

Carmichael A. Dominguez, Dist. 3

Matthew E. Ortiz, Dist. 4

Ronald S. Trujillo, Dist. 4

Project description: Proposes to remodel a contributing garage by adding a 456 sq. ft. approximately 10'5" high addition, which will include construction of two pergolas and installation of photovoltaic rooftop equipment. Two exceptions are requested: to construct an addition to a contributing building that exceeds 50% of the square footage of the existing footprint and to construct an addition not set back a minimum of 10' from a primary façade (Section 14-5.2(D)(2)(d)).

Project number: 12-120014B

Case number: H-12-014B

Project type: HDRB

PROJECT LOCATION (S): 428 San Antonio

PROJECT NAMES:

OW – Wendy Fairman
Santa Fe, NM 87505

104 Victoria Street
505-690-1440

AP – Eric Enfield, Architect
Santa Fe, NM 87508

612 Old Santa Fe Trail
505-780-2239

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their hearing on July 10, 2012, acted on the above referenced case. The decision of the Board was to approve the application as submitted with the conditions that 1) the Work Area portion of the addition be set back 6' from the primary façade; 2) the fenestration on the primary façade will be the same as the doors observed in the historic photograph; and 3) the door design and exterior lights be approved by staff before a construction permit application is submitted. The Board determined the applicant had met the two requested exceptions. For further information please call 955-6605.

Sincerely,


John Murphey
Senior Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permit.



City of Santa Fe, New Mexico

memo

DATE: July 10, 2012
TO: Historic Districts Review Board Members
John Murphey, Senior Planner, Historic Preservation
FROM: David Rasch, Planner Supervisor, Historic Preservation DR

CASE # H-12-014B

Address: 428 San Antonio Street (Garage)
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards and Yard Wall
And Fence Standards
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs

STAFF RECOMMENDATION:

Staff defers to the Board as to whether the applicant has met the requested exceptions to construct an addition that exceeds 50% of the square footage of the existing footprint and at a location not set back at a minimum 10' from the primary façade (Section 14-5.2(D)(2)(d)).

BACKGROUND & SUMMARY:

Constructed in c.1927, the garage at 428 San Antonio Street is a one-story, stucco-clad structure exhibiting a simplified Territorial Revival style harmonizing with the main house. The Board designated the building contributing to the Downtown and Eastside Historic District at the March 13, 2012 hearing, selecting the east elevation as the primary facade.

At the same hearing, the current applicant proposed a remodeling project to turn the garage into a "studio" by reworking its interior and constructing a 456 sq. ft. addition across the north elevation. The addition proposed was more than 50% of the historic footprint and less than 10' back from a primary façade, requiring exceptions. Because these exceptions were not addressed in the application, the Board postponed review of the project.

The applicant has revised the project and addressed the exceptions.

Project

Existing Garage

The project involves removing the hinged wood plank doors and replacing them with a multi-light wood door with sidelights. Three new window openings are planned for the south elevation. These will be multi-light wood windows with brick sills and Territorial Revival type lintels. The north wall will be altered with a new opening to connect with the proposed addition. Other work will involve installing a metal cap over the brick parapet and stuccoing the garage to match the house.

Addition

To the north elevation is proposed an approximately 456 sq. ft., 10'-5 high addition set back 4' from the 345 sq. ft, 11'-0" high garage. The addition will include attached pergolas on the north and east elevations. Its fenestration will consist of various multi-light wood windows and doors with Territorial Revival detail to harmonize with the main house. It will be clad with cementitious stucco and topped with a brick dentil course cornice to match the garage and main house. Photovoltaic panels are proposed for the rooftop, which the applicant claims will not be visible from a public way.

Exceptions

Two exceptions are requested: to construct an addition that exceeds 50% of the square footage of the existing footprint and at a location not set back a minimum 10' from the primary façade (Section 14-5.2(D)(2)(d)). The following are the applicant's responses to the exceptions.

A) Request for exception for an addition to a contributing building that exceeds 50% of the area of the historic structure.

- (i) "Do not damage the character of the district;"

The west elevation appears to have been significantly altered in the mid 1980's when an historic porch was converted into a bedroom. This proposed portal will not damage the character of the district as it could be removed in the future and the original form and integrity of the historic property would be maintained.

Staff does not find this germane to the subject of the garage.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The applicant, without this addition, would not be able to enjoy a studio and guest bedroom, which would be a hardship because no additions can be made to the main house which is only one bedroom.

Staff agrees with statement.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This addition will not weaken the character of the city and will ensure the new resident can enjoy beneficial use.

Staff agrees with statement.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new addition is on the non-primary and non-publically visible façade of a contributing structure. The above are the special conditions and this situation is particular to this site.

Staff does not agree statement.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the west elevation was altered significantly in the mid-1980's and the façade is not publically visible is not a result of the applicant.

Staff does not find this germane to the subject of the garage.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed portal allows for the least negative impact related to: A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal. B) The proposed portal will be in the preserved historic style. C) The proposed portal will be in harmony with the historic design of the building.

Staff does not find this germane to the subject of the garage.

C) Request for exception for an addition not set back a minimum of ten feet from the primary façade; the addition on the north elevation.

(i) "Do not damage the character of the district;"

The proposed addition is setback 4'-0" and we don't believe this addition impacts the contributing status of the garage as the primary facade isn't impacted.

Staff does not find this germane to the subject of the garage.

(iii) "Prevent a hardship to the applicant or an injury to the public welfare"

The addition, if offset ten feet, would become a space that would be unusable and not provide space for the functions proposed for the room.

Staff neither agrees nor disagrees with statement.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This lack of a ten foot offset will not weaken the unique character of the city and allows the resident more beneficial use of her proposed new studio.

Staff agrees with statement.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The special condition is the majority of the homes have converted or incorporated their garages into the houses as either guesthouses or studios. It doesn't appear any other of the related homes on the streetscape have a garage either. So, this is particular to this property.

Staff neither agrees nor disagrees with statement.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

When the owner purchased this property, the garage was unsurveyed and the owner felt an addition would be fine. When the survey was done, it was declared contributing with the east façade primary. This wasn't the result of the owner.

Staff neither agrees nor disagrees with statement.

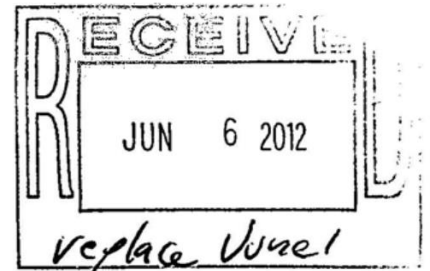
(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed addition being setback five feet from the primary facade allows for the least negative impact related to: A) The existing historical areas, the publically visible front, and the

historical unaltered portions of the primary façade are being retained in this proposal.
B) The proposed addition will be in the preserved historic style. C) The proposed addition will be in harmony with the historic design of the building.

Staff does not agree statement.

Staff believes the applicant has not completely addressed the exceptions that are specific to the garage remodeling project.



document...

May 31, 2012

**To: City of Santa Fe Historic Preservation Office
Mr. David Rasch**

**From: Eric Enfield, AIA
Architectural Alliance Inc.**

**Re: 428 San Antonio
Garage Addition & Remodel
Architects Project # 11-35**

Dear Mr. Rasch,

We are proposing an addition and remodel of the existing garage at 428 San Antonio St. The existing garage will be converted to a new studio. We will be adding a new 456 sq. ft. addition which is set back 4'-0" from the east elevation. The addition will have a pergola attached to the north and east elevation. There will be a new door with sidelights installed in the existing garage door opening.

The proposed new doors and windows will be similar to the existing structure, they will be wood exterior and interior, divided lights, with wood trim surround and brick sills. The wood will be painted white to match existing. The new pergola will be painted white also. The new metal cap over the existing brick coping will be galvanized metal. The entire structure will be stuccoed to match the existing color of the main house. We are proposing to add photovoltaic panels on the roof of the new addition. They will not be publicly visible.

We will be asking for two exceptions related to this project, and address each exception with answers to the criteria listed in section 14-5-2(C)(5)(c). See the following:

A) Request for exception for an addition to a contributing building that exceeds 50% of the area of the historic structure.

(i) "Do not damage the character of the district;"

The proposed addition has limited public visibility and is in the backyard of the residence. It shouldn't damage the character of the district.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The applicant, without this addition, would not be able to enjoy a studio and guest bedroom, which would be a hardship because no additions can be made to the main house which is only one bedroom and a significant structure.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This addition will not weaken the character of the city and will ensure the new resident can enjoy beneficial use.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new addition is on the non-primary and non-publically visible façade of a contributing structure. The above are the special conditions and this situation is particular to this site.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the garage is considered contributing and the non-primary façade is not publically visible is not a result of the applicant.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed addition allows for the least negative impact related to:

A) The existing historical areas, the publically visible front, and the historical portions of the primary façade are being retained in this proposal.

B) The proposed addition will be in the preserved historic style.

C) The proposed addition will be in harmony with the historic design of the building.

C) Request for exception for an addition not set back a minimum of ten feet from the primary façade; the addition on the north elevation.

(i) "Do not damage the character of the district;"

The proposed addition is setback 4'-0" and we don't believe this addition impacts the contributing status of the garage as the primary facade isn't impacted.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The addition, if offset ten feet, would become a space that would be unusable and not provide space for the functions proposed for the room.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This lack of a ten foot offset will not weaken the unique character of the city and allows the resident more beneficial use of her proposed new studio.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or

structures in the related streetscape.” The special condition is the majority of the homes have converted or incorporated their garages into the houses as either guesthouses or studios. It doesn’t appear any other of the related homes on the streetscape have a garage either. So, this is particular to this property.

(v) “Are due to special conditions and circumstances which are not a result of the actions of the applicant.”

When the owner purchased this property, the garage was unsurveyed and the owner felt an addition would be fine. When the survey was done, it was declared contributing with the east façade primary. This wasn’t the result of the owner.


(vi) “Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1).”

The proposed addition being setback five feet from the primary facade allows for the least negative impact related to:

- A) The existing historical areas, the publically visible front, and the historical unaltered portions of the primary façade are being retained in this proposal.
- B) The proposed addition will be in the preserved historic style.
- C) The proposed addition will be in harmony with the historic design of the building.

Thank you for your time and consideration, and please contact me with any questions. We look forward to presenting our case to the board in March.

Sincerely,



Eric Enfield, AIA
Architectural Alliance, Inc.

Cc: File

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
H-12-015
Remodel**

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

ITEM # 12-0678

Case # H-12-015

Address – 428 San Antonio (main house)

Owner/Applicant's Name – Wendy Fairman

Agent's Name – Eric Enfield

THIS MATTER came before the Historic Districts Review Board (Board) for hearing on July 10, 2012, upon the application (Application) of Eric Enfield, agent for Wendy Fairman, owner.

Constructed in c.1925, 428 San Antonio Street is a one-story, roughly rectangular plan Territorial Revival house designated significant to the Downtown and Eastside Historic District.

The applicant requested a project to remodel the residence by constructing a 200 sq. ft. portal, adding windows and doors, installing photovoltaic rooftop equipment, and constructing a 5'-high stucco yardwall. Three exceptions were requested: to construct an addition to a primary facade (Section 14-S.2(D)(2)); to construct an addition not set back a minimum of 10' from a primary facade (Section 14-S.2(D)(2)(d)); and to create an opening where one does not exist (Section 14-S.2(D)(S)(a)(ii)).

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT

1. The Board heard testimony from Board staff and the Applicant.
2. The applicant referred to a copy of an undated photograph showing the east and south elevations of the main house and garage introduced during Case#H-12-014B.
3. Zoning staff has determined the Application meets underlying zoning standards.
4. Board staff presented the case.
5. Board staff deferred to the Board as to whether the applicant had met the three requested exceptions to construct an addition to a primary facade (Section 14-5.2(D)(2)(c)); to construct an addition not set back a minimum of 10' from a primary facade (Section 14-5.2(D)(2)(d)); and to create an opening where one does not exist (Section 14-5.2(D)(5)(a)(ii)).
6. The Board determined the applicant had met the three requested exceptions.
7. The Board approved the application and found the proposed renovation complied with applicable design standards with the condition that a) the design of the door to the kitchen shall maintain a similar fenestration pattern as observed in the historic photograph; b) the entrance to the door shall be designed with two exterior steps and no railing; and c) the design for this opening shall go back to the Board for review.

8. The Property is located in the Downtown and Eastside Historic District and is subject to the requirements of the following sections of the Santa Fe Land Development Code: Section 14-5.2 (E) Downtown and Eastside Historic District
9. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
10. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.

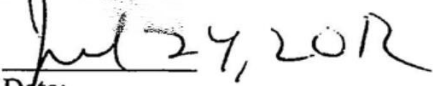
CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

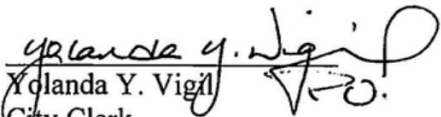
The Board concludes the project complies with Section 14-5.2 (D)(9), General Design Standards (Height, Pitch, Scale and Massing), and (E), Downtown and Eastside Historic District with the condition that 1) the design of the door to the kitchen shall maintain a similar fenestration pattern as observed in the historic photograph; 2) the entry to the door shall be designed with two exterior steps and no railing; and 3) the design for this opening shall go back to the Board for review.

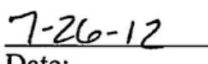
IT IS SO ORDERED ON THIS 24th DAY OF JULY 2012 THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE

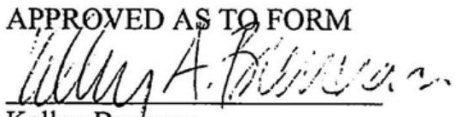

Sharon Woods
Chair


Date:

FILED


Yolanda Y. Vigil
City Clerk


Date:

APPROVED AS TO FORM

Kelley Brennan
Assistant City Attorney


Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2

Patti J. Bushee, Dist. 1

Chris Calvert, Dist. 1

Rosemary Romero, Dist. 2

Miguel M. Chavez, Dist. 3

Carmichael A. Dominguez, Dist. 3

Matthew E. Ortiz, Dist. 4

Ronald S. Trujillo, Dist. 4

Project description: Proposes to remodel a significant residence by constructing a 200 sq. ft. portal, adding windows and doors, installing photovoltaic rooftop equipment, and constructing a 5' high stucco yardwall. Three exceptions are requested: to construct an addition to a primary façade (Section 14-5.2(D)(2)); to construct an addition not set back a minimum of 10' from primary façade (Section 14-5.2(D)(2)(d)); and to create an opening where one does not exist (Section 14-5.2(D)(5)(a)(ii)).

Project number: 12-120015

Case number: H-12-015

Project type: HDRB

PROJECT LOCATION (S): 428 San Antonio

PROJECT NAMES:

OW – Wendy Fairman
Santa Fe, NM 87505

104 Victoria Street
505-690-1440

AP – Eric Enfield, Architect
Santa Fe, NM 87508

612 Old Santa Fe Trail
505-780-2239

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their hearing on July 10, 2012, acted on the above referenced case. The decision of the Board was to approve the application as submitted with the conditions that 1) the design of the door to the kitchen maintain the same fenestration pattern as observed in the historic photograph, and that the design go back to the Board for review; and 2) the same entrance would be designed with two exterior steps and no railing. The Board determined the applicant had met the three requested exceptions. For further information please call 955-6605.

Sincerely,

John Murphey
Senior Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerks office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permit.





Catherine Colby Consulting

Historic Preservation

Architectural History



June 4, 2012

Eric Enfield
Architectural Alliance
612 Old Santa Fe Trail
Santa Fe NM 87505

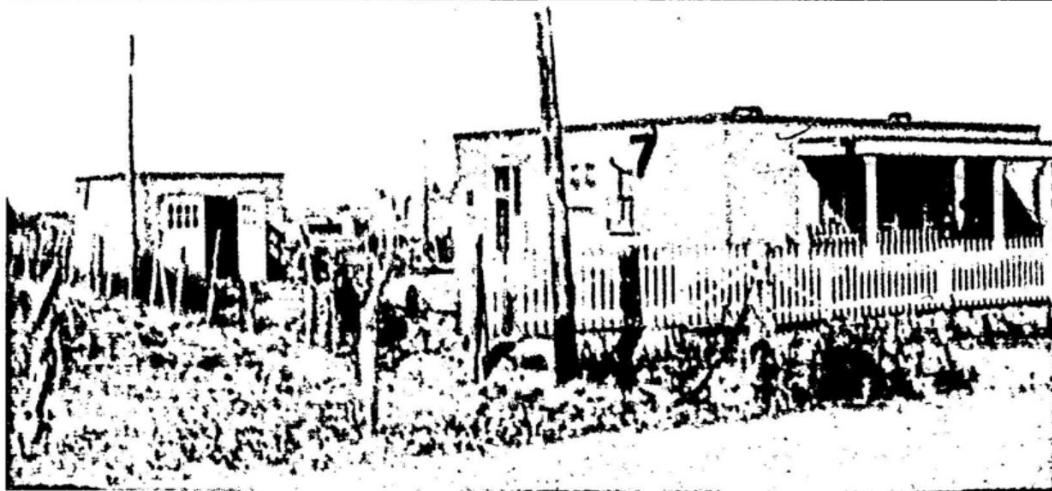
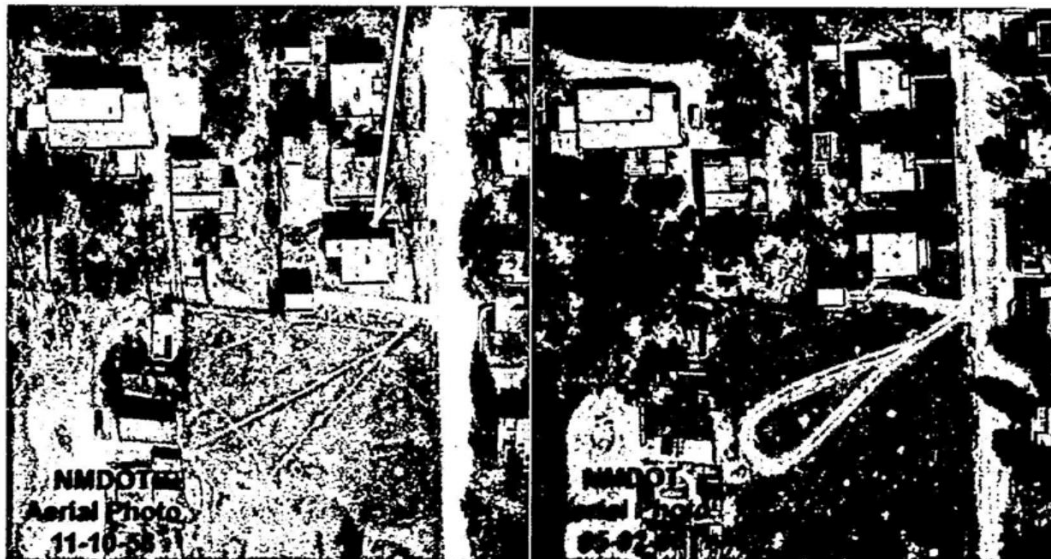
PROJECT: 428 San Antonio Street Building History

Dear Eric:

I have attempted to confirm the chronology of the house at 428 San Antonio Street. Unfortunately it is not possible to determine whether the porch at the northwest corner of the house was added after initial construction of the house. However it is certain that the porch and the adobe garage existed by 1958 and their roof areas remained unchanged by 1966.

As you know, the Paloheimo's one undated photo of this house shows only the south and east elevations of the house and garage. There are no photos of the property in the Photo Archives of the Museum of New Mexico. It is difficult to know if the northwest porch was converted to heated space by 1962 or after. It is clear only that it was before 1985, when the County Appraiser noted the increase in square footage.

The photos and brief chronology on the following pages give certain information, if not definit proof about the history of the property.



Aerial photographs show no changes in footprint between 1958 and 1966, and that the lot south of the property remained undeveloped. The latter fact helps date the photo in the Paloheimo album to before 1966, and it most likely shows the appearance of the south and east sides of the house and garage 50 years ago.



The chronology of the property based on sources noted below is as follows:

- 1924 Plat by Jas. C. Harvey Oct. 18, 1924 for Eva Fenyes
1926-7 Construction; a small inset porch was at the southwest corner (County Appraiser Sketch)
1958 DOT Aerial photograph shows northwest porch roof in existence
pre 1966 SW corner altered (family album photo and noted as enclosed porch by County Appraiser)
1966 Same configuration as 1958 DOT Aerial photograph
by 1985 Northwest porch is newly heated space, changing square footage from 1696 to 1866 (County Assessor Record)
1984 Designated a contributing structure (Camino del Monte Sol District Survey Report by Michael Belshaw), later changed to significant
1988-90 Re-stucco, replace brick coping at parapets (former owner)
1996 New windows at northwest room (former owner)

In summary, available documentation shows that the current *footprints* of the house and garage are identical to their historic configurations. However, I have not found documentation of the appearance of the three elevations of the porch at the northwest corner of the house or of the west elevation between 1927 and 1962. Though considered a "primary façade", it is at the back of the house and appears to have been altered. I hope this statement serves the current need.

Sincerely,

Catherine Colby

Presented at Hegarty
07/10/12

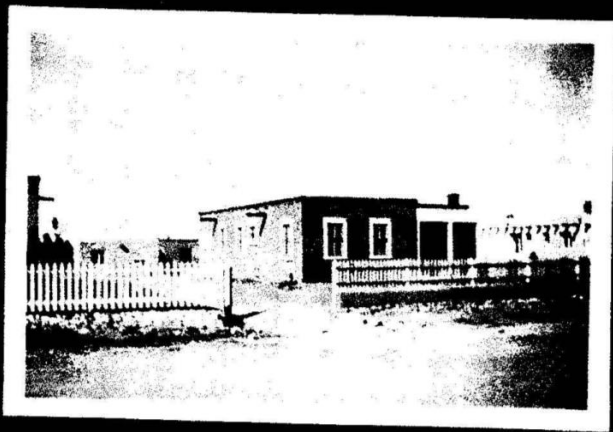
W. 149



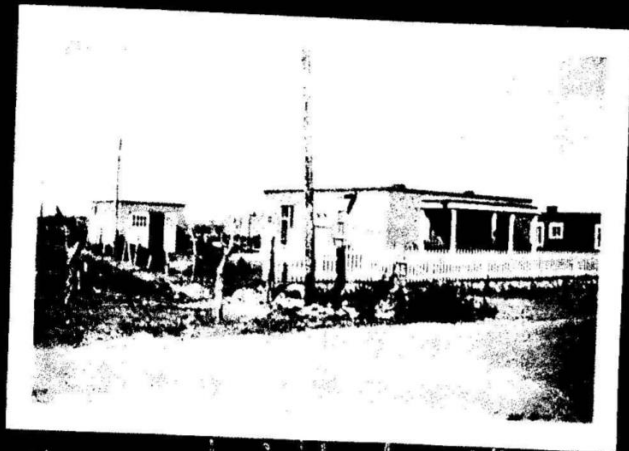
Home of Mrs. Feyrer
Cor. San Antonio St. & Clay
Madison 1926



House built by Mrs.
Feyrer, San Antonio St 1/2



House given to Babs
by Mrs. Feyrer San Antonio St



House built by Mrs.
Curtin San Antonio St.

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



East Elevation

ARCHITECTURAL
ALLIANCE
INC
612 OLD SANTA FE TRAIL,
SANTA FE, NEW MEXICO 87505
Telephone 505-988-5269
FAX 505-966-1270
E-MAIL: architecturalalliance@earthlink.com
WEBSITE: www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



South Elevation

ARCHITECTURAL
ALLIANCE
INC
612 OLD SANTA FE TRAIL,
SANTA FE, NEW MEXICO 87505
Telephone 505-986-1289
FAX 505-986-1270
BAAAE architecturalalliance@aol.com
WEBSITE www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



SouthWest Elevation

ARCHITECTURAL
ALLIANCE
INC

412 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87505
Telephone 505-988-5289
FAX 505-986-1270

E-MAIL: architecturalalliance@archalliance.com
WEBSITE: www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



West Elevation

ARCHITECTURAL
ALLIANCE
INC

412 OLD SANTA FE TRAIL
SANTA FE NEW MEXICO 87505
Telephone 505-988-5319
FAX 505-988-1279

KARLE arch@archalliance.com
WEBSITE www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs

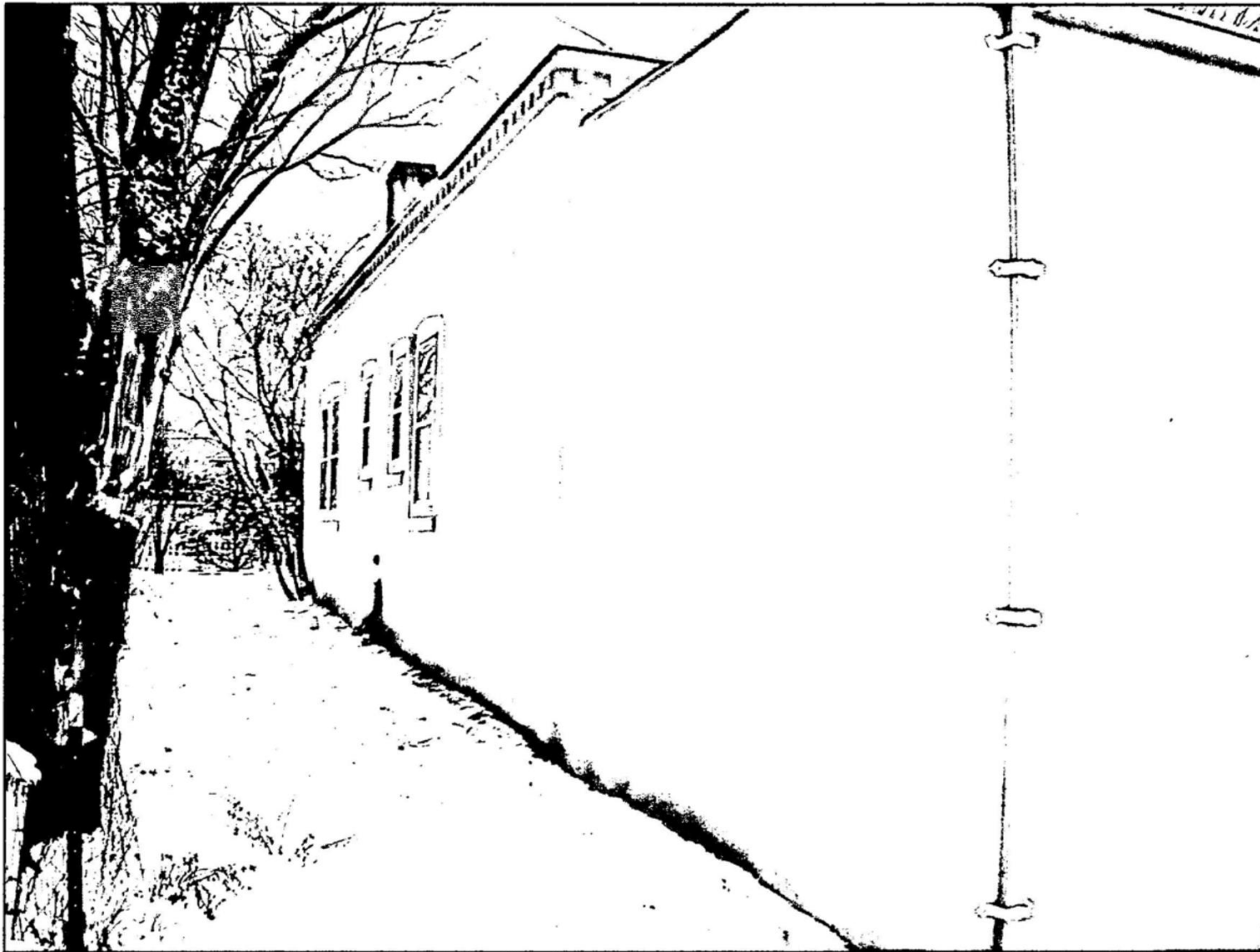


West Elevation

ARCHITECTURAL
ALLIANCE
INC
411 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87505
Telephone 505-986-2389
FAX 505-986-1270
EMAIL: archalliance@aol.com
WEBSITE: www.archalliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs

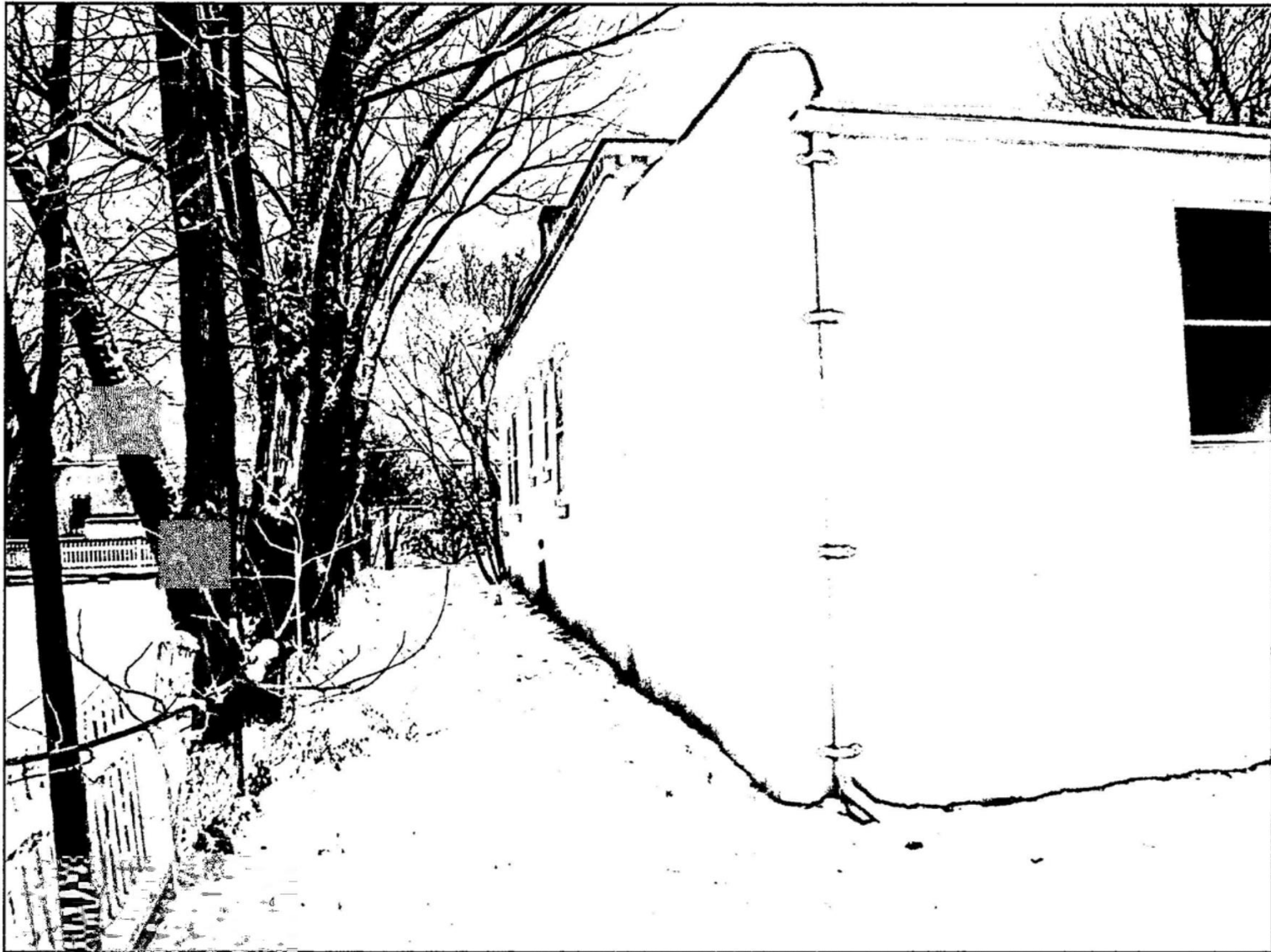


North Elevation

ARCHITECTURAL
ALLIANCE
INC
612 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87505
Telephone 505-986-5289
FAX 505-986-1270
E-MAIL: architecturalalliance@earthlink.net
WEBSITE: www.arch-alliance.com

428 SAN ANTONIO STREET

Historic Design Review Board Photographs



North Elevation

ARCHITECTURAL
ALLIANCE
INC
412 OLD SANTA FE TRAIL,
SANTA FE, NEW MEXICO 87508
Telephone: 950-986-5208
FAX: 950-964-1270
E-MAIL: archalliance@earthlink.net
WEBSITE: www.archalliance.net


City of Santa Fe, New Mexico

memo

DATE: July 10, 2012

TO: Historic Districts Review Board Members

John Murphey, Senior Planner, Historic Preservation 

FROM: David Rasch, Planner Supervisor, Historic Preservation 

CASE # H-12-015

Address: 428 San Antonio Street

Historic Status: Significant

Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Case Synopsis

District Standards and Yard Wall
And Fence Standards

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Vicinity Map

Site Plan/Floor Plan

Elevations

Photographs

STAFF RECOMMENDATION:

Staff defers to the Board as to whether the applicant has met the three requested exceptions to construct an addition to a primary façade (Section 14-5.2(D)(2)(c)); to construct an addition not set back a minimum of 10' from the primary façade (Section 14-5.2(D)(2)(d)); and to create an opening where one does not exist (Section 14-5.2(D)(5)(a)(ii)).

BACKGROUND & SUMMARY:

Constructed in c.1925, 428 San Antonio Street is a one-story, roughly rectangular plan Territorial Revival house designated significant to the Downtown and Eastside Historic District.

At the March 13, 2012 hearing, the applicant proposed a remodeling project for the residence, which included constructing a 200 sq. ft. portal across the west elevation and replacing doors and windows on a claimed non-historic addition to the residence. The Board postponed the project, requesting the applicant provide more thorough documentation on the history of the addition at the northwest corner of the house, and to address concerns discussed at the hearing about the overall design of the project.

The applicant responded by hiring Catherine Colby Consulting to do additional research on the space in question, and additionally made small changes to the design of the original project proposal.

"Bump Out"

As determined at the earlier hearing, the so-called bump-out addition was in place with a roof by 1958. The consultant, however, could not determine when it was converted to heated space. Therefore, the age and evolution of this portion of the house remains unclear.

Project

West Elevation

To the addition discussed above, the applicant proposes installing a French door on the south elevation, a paired four-light wood window on the north elevation, and changing an existing double-hung 1/1 unit on the west to a larger opening for wood casements. The windows will have wood trim and brick sills similar to windows on the house.

The proposed portal across the west elevation will consist of an app. 200 sq. ft. wood Territorial Revival-style structure with a deck on spot footings. Work will include creating a new opening near the southwest corner of the house to place a French door. The structure will be painted white.

South Elevation

Work proposed for this elevation includes removing a non-historic door and window assembly at the Breakfast Room and replacing it with a Territorial Revival-style multi-light door with sidelights. The applicant originally proposed a concrete landing with two sets of steps framed by wood balustrade. The applicant revised the design to have the door approached by a single run of steps with the balustrade parallel to the door.

Yardwall

In the earlier application, the applicant proposed replacing an existing white picket side yard fence along the west portion of the north property line with a 4'-0"-high stucco wall topped with a 1'-0"-high strip of coyote fencing. The applicant has redesigned the wall to be a 5'-0"-high stucco-clad wall capped with brick coping. The picket fence will be reinstalled at its purported original location at the northeast of the property.

Miscellaneous

Finish work will consist of adding a metal cap across the brick cornice and cladding the entire house with cementitious stucco to match existing color and texture. To the roof, the applicant proposes adding photovoltaic panels that will not be visible from a public way.

Exceptions

Three exceptions are requested: to construct an addition to a primary façade (Section 14-5.2(D)(2)(c)); to construct an addition not set back a minimum of 10' from the primary façade (Section 14-5.2(D)(2)(d)); and to create an opening where one does not exist (Section 14-5.2(D)(5)(a)(ii)). The following are the applicant's responses to the exceptions.

A) Request for exception for the creation of a new opening on the west elevation for new doors.

- (i) "Do not damage the character of the district;"

The proposed new opening will not be publicly visible and thus will not damage the character of the district.

Staff agrees with statement.

- (ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The owner is disabled from an accident and this provides an entrance to the rear portal directly from the kitchen area without having to walk thru the Master Bedroom.

Staff neither agrees nor disagrees with statement.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

These doors do not weaken the unique character of the city but ensure the house can be fully utilized by its new resident.

Staff agrees with statement.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new opening is proposed on the only altered and non-publicly visible elevation of a significant structure. The special conditions are this above and this situation is particular to the site.

Staff neither agrees nor disagrees with statement.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the west elevation was previously altered in the mid-1980's and the façade is not publicly visible is not a result of the applicant.

While staff has no information this elevation was altered in the 1980s, staff agrees with statement.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed opening allows for the least negative impact related to: A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal. B) The proposed opening will be in the preserved historic style. C) The proposed opening will be in harmony with the historic design of the building.

Staff agrees with statement.

B) Request for exception for an addition to a primary façade, the portal on the west elevation.

(i) "Do not damage the character of the district;"

The west elevation appears to have been significantly altered in the mid 1980's when an historic porch was converted into a bedroom. This proposed portal will not damage the character of the district as it could be removed in the future and the original form and integrity of the historic property would be maintained.

Staff agrees with statement.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The applicant, without this portal, would not be able to enjoy a protected private area in her rear yard, which would be a hardship.

Staff neither agrees nor disagrees with statement.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This portal will not weaken the character of the city and will ensure the new resident can enjoy beneficial use.

Staff agrees with statement.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new portal is on the only altered and non-publically visible façade of a significant structure. The above are the special conditions and this situation is particular to this site.

Staff neither agrees nor disagrees with statement.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the west elevation was altered significantly in the mid-1980's and the façade is not publically visible is not a result of the applicant.

Staff neither agrees nor disagrees with this statement.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed portal allows for the least negative impact related to: A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal. B) The proposed portal will be in the preserved historic style. C) The proposed portal will be in harmony with the historic design of the building.

Staff agrees with statement.

C) Request for exception for an addition not set back a minimum of ten feet from the primary façade; the portal on the west elevation.

(i) "Do not damage the character of the district;"

The proposed portal is constructed so that it can be removed in the future and we don't believe this portal impacts the significant status of the main residence as the main three primary facades aren't impacted.

Staff agrees with statement.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The portal, if offset ten feet, would become a space that would be unusable and not connect to the breakfast/kitchen which is required.

Staff neither agrees nor disagrees with statement.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This lack of a ten foot offset will not weaken the unique character of the city and allows the resident more beneficial use of her rear yard.

Staff agrees with statement.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The special condition is a porch did once exist on the west elevation but it was enclosed in the 1980's and thus a portal does not exist on the west side of the structure. It doesn't appear any other of the related homes on the streetscape had a portal either. So, this is particular to this property.

Staff neither agrees nor disagrees with statement.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the west elevation was altered significantly in the mid-1980's and the façade is not publically visible is not a result of the applicant.

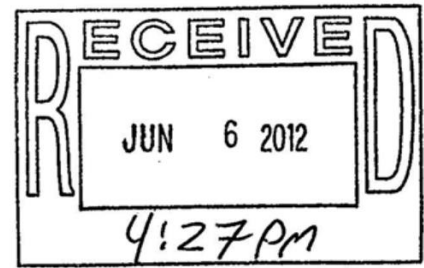
Staff neither agrees nor disagrees with statement.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed portal being not setback a minimum of ten feet from the primary facade allows for the least negative impact related to: A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal. B) The proposed portal will be in the preserved historic style. C) The proposed portal will be in harmony with the historic design of the building.

Staff neither agrees nor disagrees with statement.

Staff believes that in the main, the applicant has met the three requested exception criteria.



May 31, 2012

**To: City of Santa Fe Historic Preservation Office
Mr. David Rasch**

**From: Eric Enfield, AIA
Architectural Alliance Inc.**

**Re: 428 San Antonio
Main House Remodel
Architects Project # 11-35**

Dear Mr. Rasch,

We are proposing to add a new 200 sq. ft. portal to the west elevation of the existing residence; we will be adding two new pairs of doors in an existing and new opening under the new portal. There will be trim and brick sills added to the new doors and windows to match the existing residence. One of the doors will be added to the non-historic addition that was added between 1983 and 1985. There will also be two new windows added to this non historic addition one on the north elevation and one on the west elevation in an existing opening. We are planning to replace an existing door with sidelights with a new door with sidelights on the south elevation with a new stair and landing, there will be railing added that will match the entry portal. We will be adding a new galvanized metal cap to the existing and new brick coping on the parapets. The entry portal will be refurbished to original condition and stone paving added.

Along the entire west and portion of the north property line there will be a new 5'-0" high stucco yard wall with brick cap, total wall height of 5'-0". We will relocate the historic white picket fence material to its original location on the northeast property line.

The proposed new doors and windows will be similar to the existing structure, they will be wood exterior and interior, divided lights, with wood trim surround and a brick sill. The wood will be painted white to match existing. The new portal will be detailed as per attached drawings and will be painted white also. The new metal cap over the brick coping will be galvanized metal. The entire residence will be stuccoed to match the existing color. We are proposing to add photovoltaic panels on the existing main house roof. They will not be publicly visible.

We will be asking for three exceptions related to this project, and address each exception with answers to the criteria listed in section 14-5.2(C)(5)(c). See the following:

A) Request for exception for the creation of a new opening on the west elevation for new doors.

(i) "Do not damage the character of the district;"

The proposed new opening will not be publically visible and thus will not damage the character of the district.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The owner is disabled from an accident and this provides an entrance to the rear portal directly from the kitchen area without having to walk thru the Master Bedroom.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

These doors do not weaken the unique character of the city but ensure the house can be fully utilized by its new resident.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new opening is proposed on the only altered and non-publically visible elevation of a significant structure. The special conditions are this above and this situation is particular to the site.

(v) "Are due to special conditions and circumstances which are not a result of the actions of the applicant."

The two facts that the west elevation was previously altered in the mid-1980's and the façade is not publically visible is not a result of the applicant.

(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed opening allows for the least negative impact related to:

- A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal.
- B) The proposed opening will be in the preserved historic style.
- C) The proposed opening will be in harmony with the historic design of the building.

B) Request for exception for an addition to a primary façade, the portal on the west elevation.

(i) "Do not damage the character of the district;"

The west elevation appears to have been significantly altered in the mid 1980's when an historic porch was converted into a bedroom. This proposed portal will not damage the character of the district as it could be removed in the future and the original form and integrity of the historic property would be maintained.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The applicant, without this portal, would not be able to enjoy a protected private area in her rear yard, which would be a hardship.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This portal will not weaken the character of the city and will ensure the new resident can enjoy beneficial use.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape."

The proposed new portal is on the only altered and non-publically visible façade of a significant structure. The above are the special conditions and this situation is particular to this site.

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The two facts that the west elevation was altered significantly in the mid-1980's and the façade is not publically visible is not a result of the applicant.

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The proposed portal allows for the least negative impact related to:

- A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal.
- B) The proposed portal will be in the preserved historic style.
- C) The proposed portal will be in harmony with the historic design of the building.

C) Request for exception for an addition not set back a minimum of ten feet from the primary façade; the portal on the west elevation.

(i) "Do not damage the character of the district;"

The proposed portal is constructed so that it can be removed in the future and we don't believe this portal impacts the significant status of the main residence as the main three primary facades aren't impacted.

(ii) "Prevent a hardship to the applicant or an injury to the public welfare"

The portal, if offset ten feet, would become a space that would be unusable and not connect to the breakfast/kitchen which is required.

(iii) "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts."

This lack of a ten foot offset will not weaken the unique character of the city and allows the resident more beneficial use of her rear yard.

(iv) "Are due to special conditions and circumstances which are particular to the land or structure involved and which are not applicable to other lands or structures in the related streetscape." The special condition is a porch did once exist on the west elevation but it was enclosed in the 1980's and thus a portal does not exist on the west side of the structure. It doesn't appear any other of the related homes on the streetscape had a portal either. So, this is particular to this property.

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(vi) "Provide the least negative impact with respect to the purpose of this section as set forth in 14-5.2(A)(1)."

The proposed portal being not setback a minimum of ten feet from the primary facade allows for the least negative impact related to:

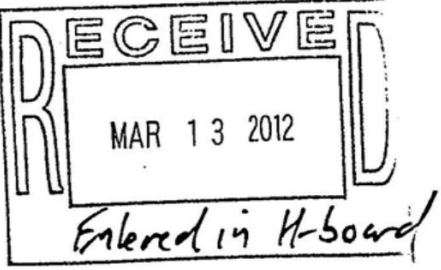
- A) The existing historical areas, the publically visible sides and front, and the historical unaltered portions of the façade are being retained in this proposal.
- B) The proposed portal will be in the preserved historic style.
- C) The proposed portal will be in harmony with the historic design of the building.

Thank you for your time and consideration, and please contact me with any questions. We look forward to presenting our case to the board in March.

Sincerely,

Eric Enfield, AIA
Architectural Alliance, Inc.

Cc: File



428 SAN ANTONIO

OWNER
BUILDING INFORMATION
 Story Hgt. 1 Yr. Built 1927 Remodeled

Total Rooms				Bed Rooms				Bath Rooms			
1	2	3	4	1	2	3	4	1	2	3	4
5				2				1			

TYPE AND USE
 1 Family Dwelling
 2 Family Dwelling
 Multi-Family Apts.
 Other

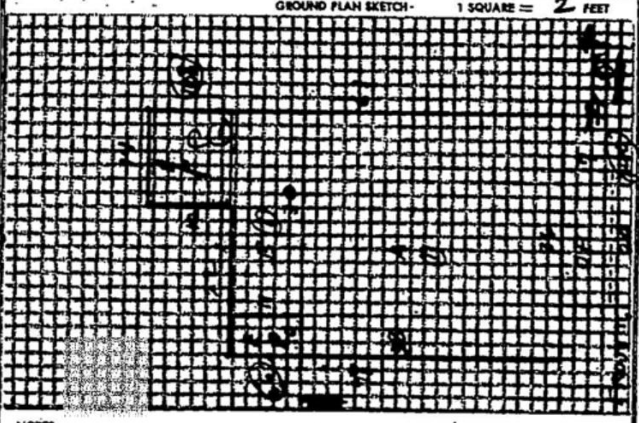
1. FOUNDATION: GRADE 4
 Concrete Blk. _____
 Conc. Slab _____
 Stone _____
 Brick Wall _____

2. EXT. WALLS: GRADE 4
 Frame with:
 Siding on sheathing _____
 Shingle, wood, comp. _____
 Single siding _____
 Stucco on frame _____
 Conc. block: Stuccoed _____
 Not stuccoed _____
 Brick: Solid _____ Veneer _____
 Face _____ Common _____
 Adobe: Stuccoed _____
 Not stuccoed _____
 On edge _____
 Stone: Solid _____
 Veneer _____
 Other: _____

3. ROOF: GRADE 3
 Type: Flat _____ Gable _____
 Hip _____ Gambrel _____ Mansard _____
 Roofing: Prepared Roll _____
 Built-up Asphalt or TBO _____
 Wood or Comp. Shingle _____
 Metal _____ Slate or Tile _____
 Insulation _____

4. FLOORS: GRADE 3
 Stories _____
 Softwood _____
 Hardwood _____
 Concrete _____
 Comp. Tile _____
 Carpeted _____
 Car. Tile, Bath _____ Kitchen _____

5. INTERIOR FIN.: GRADE 3
 Wallboard _____ Plaster _____
 Sheetrock _____ Pynelling _____
 Unfn. _____ Other _____



OBSERVED PHYSICAL CONDITION, EFFECTIVE AGE
 Good _____ Normal _____ Fair _____ Poor _____

BUILDING COMPUTATIONS
 GROUND AREA - SQUARE FEET

	WIDTH	LENGTH	AREA
A	36	30	1080
B	30	11	330
C	19	12	228

TOTAL GROUND AREA 1638

6. BUILT-INS: GRADE 3
 Dishwasher _____ Disposal _____ Oven _____
 Range _____ Dryer _____ Bookshelves _____
 Cupboard Space _____
 Adequate _____ Inadequate _____
 Closets: Adequate _____ Inadequate _____

7. HEATING: GRADE 4
 No heat or stove heat _____
 Hot air Pipelets _____
 Piped heat (Gravity) _____
 Forced Circulation _____
 Steam or Hot Water _____
 Radiant, Casseped _____
 Electric, all types _____
 Central Air Conditioned _____

8. PLUMBING: GRADE 3
 None _____ Water Only _____
 No. Baths, (3 Fixtures) _____
 No. Toilet Rms., 2 Fix. _____
 No. Single Fixtures _____
 Septic Tank _____
 City Water & Sewer _____

9. ELECTRICITY: GRADE 3
 Electricity: Yes _____ No _____
 Adequate outlets _____
 Inadequate outlets _____

10. DESIGN: GRADE 3
 Utility _____ Speculative _____
 Custom Bldg. _____
 Architectural Design _____

TOTAL GRADES 33
TOTAL + 10 = Av. Grade 3:3

BASEMENT: None Full _____
 1/2 _____ 1/4 _____ Finished Rec. _____
 Fireplace: _____
 Single Flue _____ Stories _____
 Double Flue _____ Stories _____

NOTES
 RENT L.V. 2/12/70 N/C
 PER. 700. 70 + UTILITIES UNFURNISHED
 FIELD PERM 1/22/05
 LAPEACO
 NEWTON
 1866#
 10-13-69 (60) W.O.H.
 1) Dep. 1/1/15
 2) 70' amortize
 3.0
 113.0
 L.V. 3/26/91 N/C
 10/15/97 N/C Am
 N/C 2/15/98 70
 412024 N/C 2/16/01 N/C

TOTAL GROUND AREA 1638

Year	1967	1969	1981
Grade	3.3	3.3	3.3
Rate	15,710	15,710	21,140
Grade DR	16,890	16,890	23,155
Start DR	-	-	-
Porches	2,010	1,910	2,621
Fireplace	500	500	700
Plumbing	-	-	-
Heating	-	-	-
LVP	-510	-510	-693
Garage	-	-	-
Total	48,890	48,790	66,863

DESCRIPTION, REPLACEMENT COST AND APPRAISAL OF FARM BARN AND ACCESSORY BUILDINGS

Bldg. Ident.	Class No.	DIMENSIONS			Found.	Floor	Roof	Walls	Missing Wall	Heat	Light	Fibs.	Age Area	Unit Cost	Adds and Deducts	Net Cond. %	Net Appraisal
		Width	Depth	Height													
GAR		15	33	10	CON	0	ADDBE		0	0	0	0	345	1500	-170 - 1330	275	1030
													945	3750	2987	21147	
																	2187

for 1984

DEPRECIATION AND OBSOLESCENCE

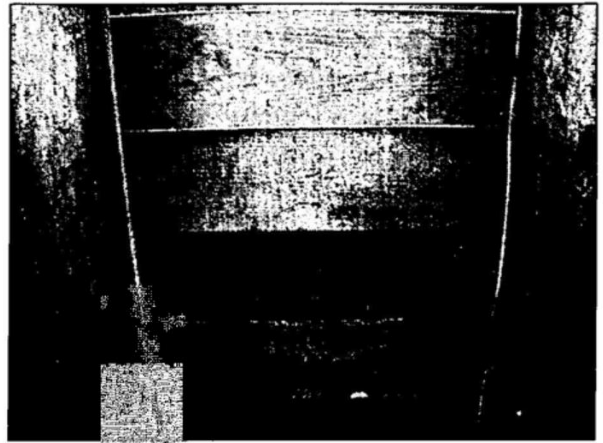
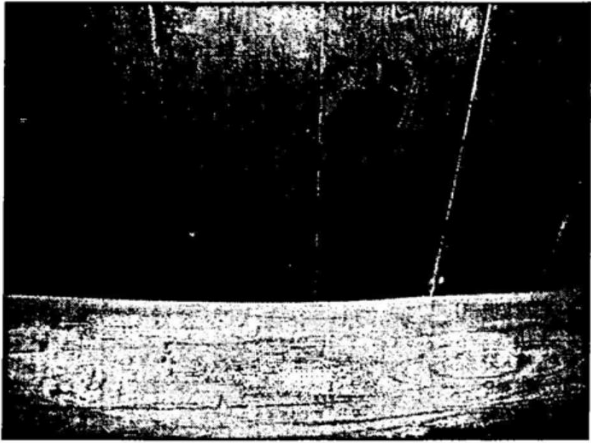
	2.5%	1%	2%	1%
A-Deprec	41.7%	7.1%	3.3%	2.1%
B-Functional	1%	1%	1%	1%
C-Economic	1%	1%	1%	1%
100%-(A+B+C)	37%	7%	5%	63.5%
100% VALUE	14,610	14,610	14,610	22,430

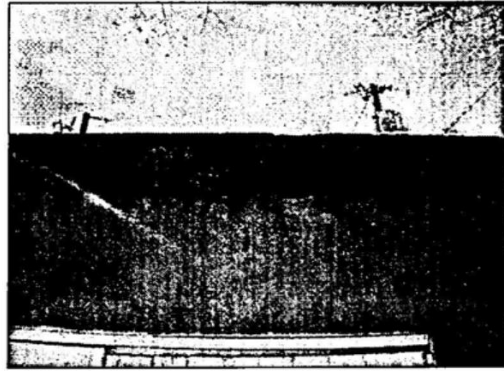
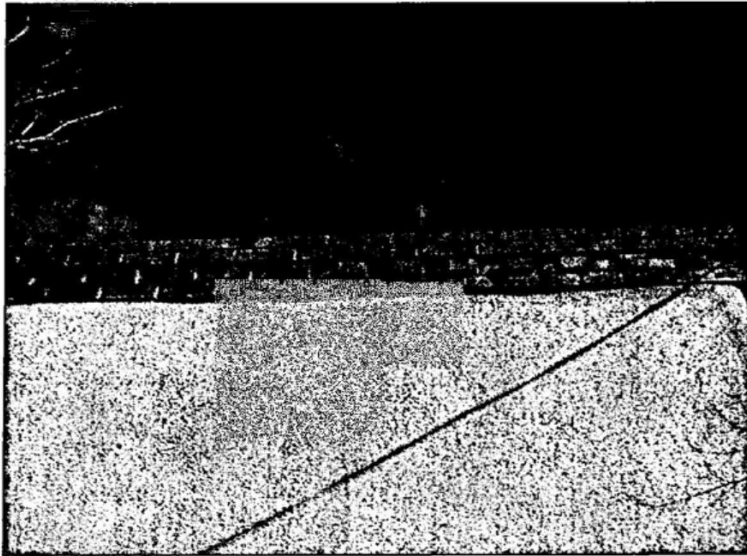
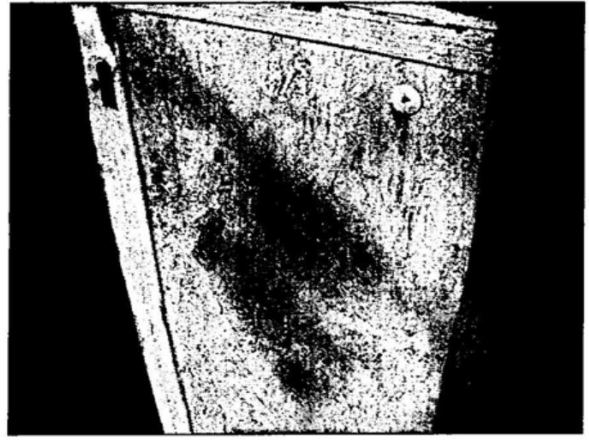
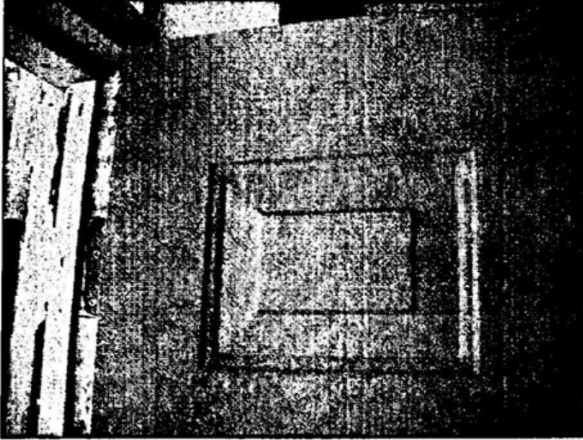
SUMMARY OF APPRAISED VALUES

Principal Bldg. Appraisal	\$14,640	12310	22430
Other Principal Bldg. Appraisal	\$		
Accessory Bldg. Appraisal	\$1,000	870	870
Total Bldg. Appraisal	\$15,640	13380	23300
Total Land Appraisal	\$6,070	2535	2535
TOTAL APPR. VALUE	\$22,040	15735	25835

Insured by 22 Date 3/10/67 Classified by 3 Date 3/20/67 Extended by M.H. Date Checked by Date

RECEIVED
MAR 13 2012
*Entered in
H-board*





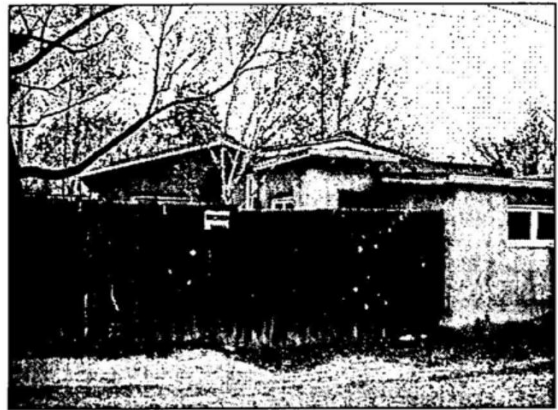
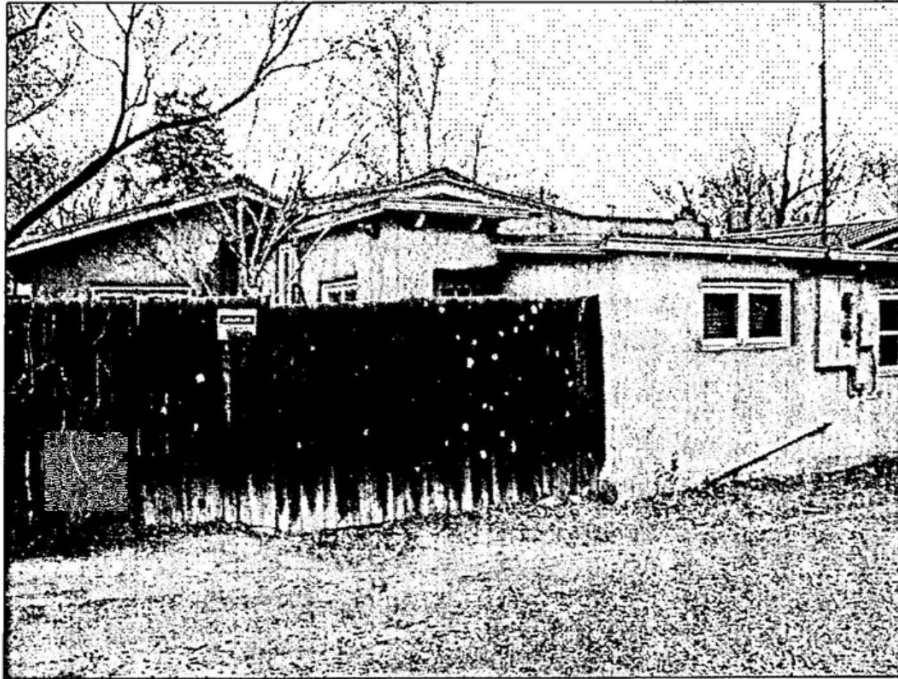
Significant house at 404 San Antonio with additions

Historic Design Review Board Photographs



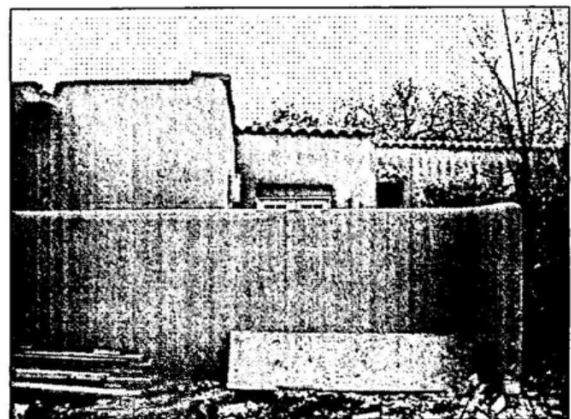
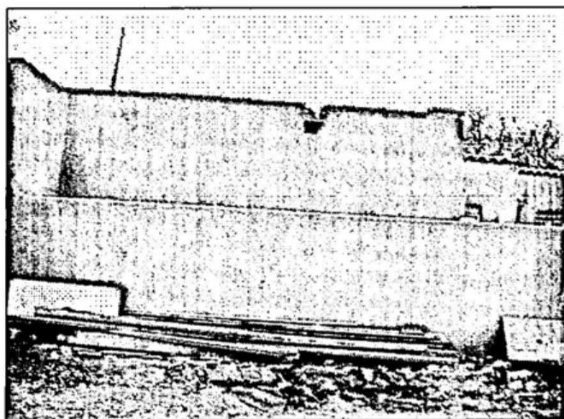
Significant house at 407 San Antonio with additions

Historic Design Review Board Photographs



Significant house at 417 San Antonio with additions

Historic Design Review Board Photographs



ARCHITECTURAL
ALLIANCE
INC
413 OLD SANTA FE TRAIL
SANTA FE NEW MEXICO 87505
Telephone 505-968-1309
FAX 505-966-1270
E-MAIL: architecturalalliance@archallinc.com
WEBSITE: www.archallinc.com

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

ITEM # 12-0781

Case # II-12-015

Address – 428 San Antonio Street (main house)

Owner/Applicant's Name – Wendy Fairman

Agent's Name – Eric Enfield

THIS MATTER came before the Historic Districts Review Board (Board) for hearing on August 14, 2012, upon the application (Application) of Eric Enfield, agent for Wendy Fairman, owner.

Constructed in c.1925, 428 San Antonio is a one-story, roughly rectangular plan Territorial Revival house designated significant to the Downtown and Eastside Historic District.

The applicant requested a review of a design to replace a door entry along the south elevation, a primary façade, in order to comply with a July 10, 2012 condition of the Board to design the entry in a similar fashion as observed in a historic photograph.

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT

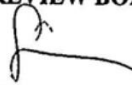
1. The Board heard testimony from Board staff and the agent.
2. Zoning staff has determined the Application meets underlying zoning standards.
3. Board staff presented the case.
4. Board staff deferred to the Board as to whether the applicant had met a condition of the Board from the July 10, 2012 hearing to redesign the kitchen opening to replicate its original fenestration pattern.
5. The Board found the proposed entry design complied with applicable design standards with the condition that the sidelight and transom shall not have a division of lights and that the door shall have a solid panel below and a single light above.
6. The Property is located in the Downtown and Eastside Historic District and is subject to the requirements of the following sections of the Santa Fe Land Development Code: Section 14-5.2 (E) Downtown and Eastside Historic District,
7. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

The Board concludes the project complies with Section 14-5.2 (D)(9), General Design Standards (Height, Pitch, Scale and Massing), and (E), Downtown and Eastside Historic District with the condition that the sidelight and transom shall not have a division of lights and that the door shall have a solid panel below and a single light above.

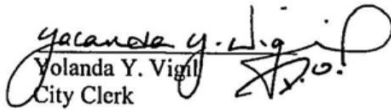
IT IS SO ORDERED ON THIS 28th DAY OF AUGUST 2012 THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.



Sharon Woods
Chair


8.28.12
Date:

FILED


Yolanda Y. Vigil
City Clerk

8.30.12
Date:

APPROVED AS TO FORM



Kelley Brennan
Assistant/City Attorney

8/28/12
Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2

Patti J. Bushee, Dist. 1

Chris Calvert, Dist. 1

Rosemary Romero, Dist. 2

Miguel M. Chavez, Dist. 3

Carmichael A. Dominguez, Dist. 3

Matthew E. Ortiz, Dist. 4

Ronald S. Trujillo, Dist. 4

Project description: Proposes to replace a historic door entry along a primary elevation in order to comply with a previous board approval condition.

Project number: 12-120015

Case number: H-12-015

Project type: HDRB

PROJECT LOCATION (S): 428 San Antonio

PROJECT NAMES:

OW – Wendy Fairman
Santa Fe, NM 87505

104 Victoria Street
505-690-1440

AP – Eric Enfield, Architect
Santa Fe, NM 87508

612 Old Santa Fe Trail
505-780-2239

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their hearing on August 14, 2012, acted on the above referenced case. The decision of the Board was to approve the application as submitted with the condition that the south (kitchen) entry shall not have divided lights at the sidelight and transom portion of the entry, and that the door be designed with a solid panel below and clear glass above. For further information please call 955-6605.

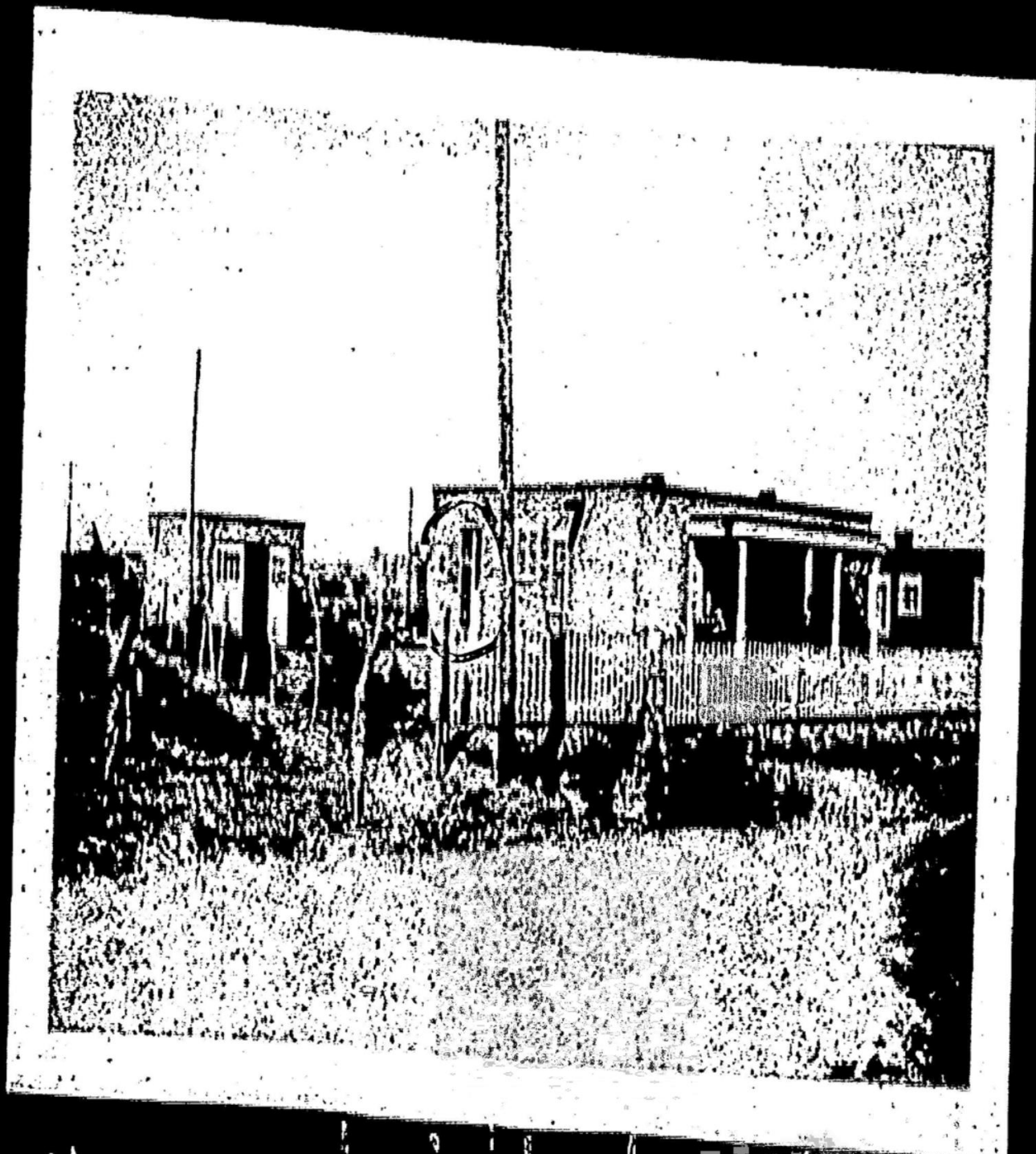
Sincerely,


John Murphey
Senior Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerks office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permit.**



1875, Oct 11/12 1875



House built by
Captain ...

City of Santa Fe, New Mexico

memo

DATE: August 14, 2012
TO: Historic Districts Review Board Members
John Murphey, Senior Planner, Historic Preservation
FROM: David Rasch, Planner Supervisor, Historic Preservation DR

CASE # H-12-015

Address: 428 San Antonio Street
Historic Status: Significant
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards and Yard Wall
And Fence Standards
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs

STAFF RECOMMENDATION:

Staff defers to the Board as to whether the applicant has met the conditional Board approval from the July 10, 2012 hearing to redesign the kitchen opening to replicate its original fenestration pattern.

BACKGROUND & SUMMARY:

Constructed in c.1925, 428 San Antonio Street is a one-story, roughly rectangular plan Territorial Revival house designated significant to the Downtown and Eastside Historic District.

At the March 13, 2012 hearing, the applicant proposed a remodeling project for the residence, which included constructing a 200 sq. ft. portal across the west elevation and replacing doors and windows on a claimed non-historic addition to the house. The Board postponed the project, requesting the applicant provide more thorough documentation on the history of the addition at the northwest corner of the house, and to address concerns discussed at the hearing about the overall design of the project.

At the July 10, 2012 hearing, the Board approved the applicant's revised plan and request for three exceptions.

However, based on a photograph the applicant presented at the hearing, showing the historic configuration of the kitchen entry, the Board required that this element be redesigned "in a similar fashion to the original fenestration pattern" observed in the photograph.

Historic Kitchen Entry

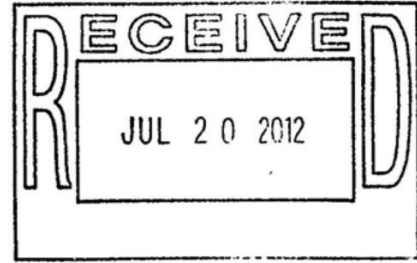
The photograph depicts an entrance divided in fourths: the main door, composed of glass is oriented to the left; above is a glass transom; to the right, a vertical piece of glass; and below a vertical piece of wood painted presumably white. There is insufficient clarity to the photograph to determine the actual division of lights.

Redesign

In response, the applicant redesigned this opening to approximate the original entry.

Each original glass opening contains true-divided multi-light sashes. The lower right vertical wood element, however, is additionally proposed to be glass, forming a continuous sidelight with the glass above. By selecting glass for this portion, the redesign presents a somewhat different fenestration and use of material than shown in the photograph.

Additionally, the applicant maintained a design with railing along the steps, an element the Board denied in its earlier conditional approval.



July 20, 2012

**To: City of Santa Fe Historic Preservation Office
Mr. David Rasch**

**From: Eric Enfield, AIA
Architectural Alliance Inc.**

**Re: 428 San Antonio
Main House Remodel
Architects Project # 11-35
HDRB case number H-12-015 and Project Number 12-120015**

Dear Mr. Rasch,

We are resubmitting the proposed kitchen door replacement as requested by the board. The new door will be wood on the exterior and wood on the interior painted white in color. The door we have designed resembles the design pattern from the original historic photograph, except we have added true divided lights to comply with glazing code requirements, and the original fenestration pattern will be maintained to the fullest extent possible.

Thank you for your time and consideration, and please contact me with any questions. We look forward to presenting to the board..

Sincerely,

A handwritten signature in black ink, appearing to read "Eric Enfield", written over a large, stylized scribble.

Eric Enfield, AIA
Architectural Alliance, Inc.

Cc: File

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Current Application
2024-008779-HDRB
Remodel**



August 5, 2024

VIA EMAIL

paduran@santafenm.gov

City of Santa Fe
Historic District Review Board
200 Lincoln
Santa Fe, NM 87501
Attn: Paul Duran

RE: Previous HDRB Case # #H-12-014 & H-12-015
428 & 428A San Antonio St, Santa Fe, NM 87505

Dear Paul:

Attached are the documents needed for admin approval to the existing residence located at 428 and 428A San Antonio in the historic downtown district. We are providing photos and the following list of proposed work on the property.

Main House

- Install Preapproved window on North elevation of the main house.
- Install previously approved stucco color coat on the main and guesthouse to match the existing previously approved color of the main house. Stucco color to match existing El Rey Stucco #106 Buckskin
- All wood trim to be Painted white to match existing wood trim.

Guest House

- Install preapproved door and wood trim on the north elevation to the guest house. Painted white to match existing wood trim on guest house.
- Install preapproved door and wood trim to the east elevation that will look like the originally approved historic carriage doors, these doors will be fixed in place. The doors will be white to match existing windows and trim on guest house.
- Install preapproved single doors and double door with sidelites both with wood trim to the east elevation. The doors will be white to match existing windows and trim on guest house.
- Install preapproved pergola attached to the north and east elevation to the guest house. Painted white to match existing wood trim on guest house.
- Install two preapproved windows on the south elevation to the guest house. Windows will be white to match existing windows and trim on guest house.
- Install preapproved metal cap over the existing brick coping, the metal cap will be galvanized metal as previously approved.
- Install preapproved TPO roofing over the old garage on the guest house. With two new 2x2 skylights.

- Install previously approved stucco color coat on the guesthouse to match the existing previously approved color of the main house. Stucco color to match existing El Rey Stucco #106 Buckskin

We look forward to obtaining administrative approval for the work located at 428 and 428A San Antonio.

Thank you for your time and review. Please contact us if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "D. Lujan". The signature is fluid and cursive, with a horizontal line under the "j".

Daniel Lujan
ARCHITECTURAL ALLIANCE, LLC.

Cc: File

REMODEL FOR ANDREW AND MARY HARRIS

428 & 428A San Antonio Street Santa Fe NM, 87501

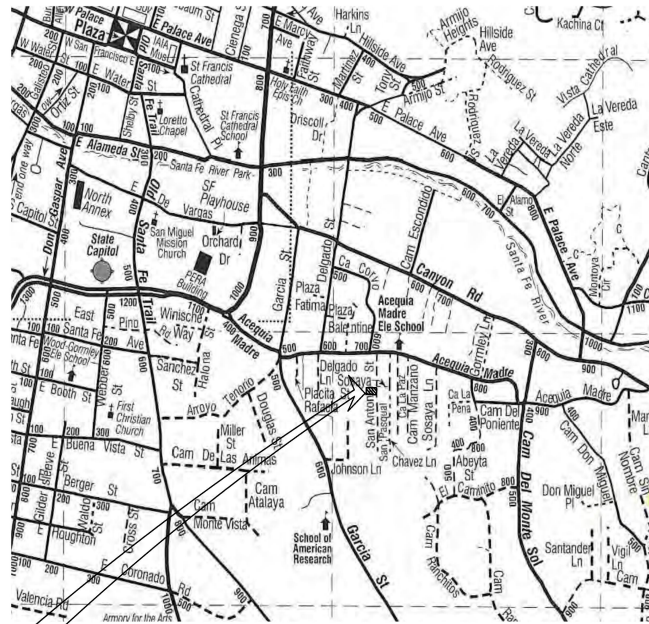
Building Criteria

OWNER: Andrew & Mary Harris
 ADDRESS: 428 & 428A San Antonio St., Santa Fe, New Mexico
 CONSTRUCTION STYLE: Flat roofs w/ parapets and brick caps, stucco exterior
 UTILITIES: Sewer: City Water: City
 Gas: Natural Gas Service by Gas Company of NM
 Electrical Service: PNM
 SOIL: Owner and Contractor to confirm

EXISTING BUILDING AREA: 1,542 SF
 MAIN HOUSE: 352 SF
 PORTAL: 352 SF
 DELACHED GUESTHOUSE: 885 SF
 TOTAL EXISTING SQUARE FOOTAGE: 2,689 SF

Building Code Information

2021 IBC & CITY OF SANTA FE LAND DEVELOPMENT CODE
 OCCUPANCY TYPE: R-3
 ZONING: RC-8
 LOT SIZE: (Min. lot size 4,000 Sq. ft.)
 HISTORIC DISTRICT: This lot +/- 9,327 sq. ft. Downtown and Eastside
 BUILDING STATUS: Main House = Significant
 Garage: Disturbed by Historic Preservation District
 HEIGHT: height calculation for
 OPEN SPACE: Private Open Space not required
 Private Open Space required equal to but not less than 1/4 of gross floor area
 (not to exceed 14-8.4(H) 108 sq. ft.)
 Proposed required 403 sq. ft. MAX
 LOT COVERAG E: EXISTING - 28.8%
 Lot Coverage
 SETBACK: Front- None required if wall between 6 and 8 feet in height is built between street and building, if not then 5 feet
 Side- Setback as per structure and 5 feet for enclosure
 PARKING REQUIREMENTS: 2 per residence, and 1 per bedroom in accessory structure



SITE

Vicinity Map



ARCHITECTURAL ALLIANCE INC.

612 OLD SANTA ANTONIO ST. N.W. SANTA FE, NM 87501
 Telephone 505-988-5169
 WEBSITE 505-986-2000
 www.aalliance.com

THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURAL ALLIANCE INC. AND ARE NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT WITHOUT WRITTEN AGREEMENT WITH ARCHITECTURAL ALLIANCE INC. © 2024

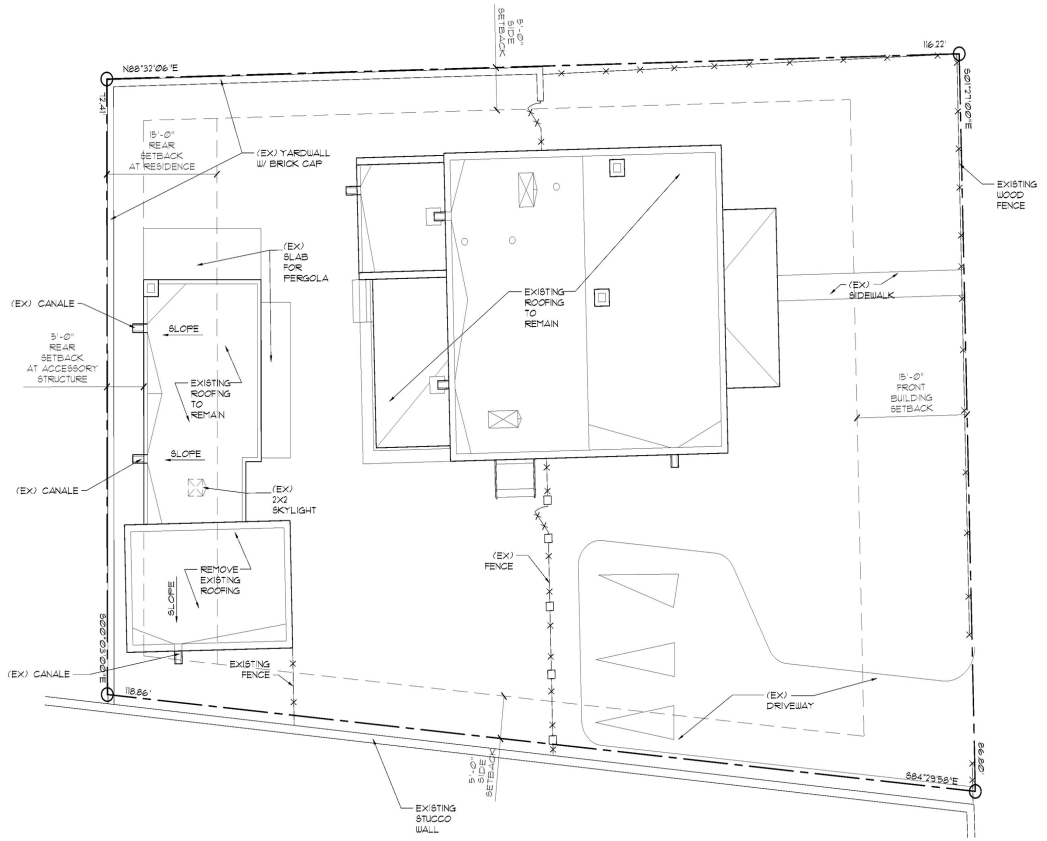
DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

Drawing Index

- C- COV
- O- EXISTING
- C- SITE PLAN
- I- PROPOSED
- C- SITE PLAN
- A- EXISTING
- I- FLOORPLANS
- A- PROPOSED
- 2- EXISTING PLANS
- A- PROPOSED
- A- ELEVATIONS
- A- GUESTHOUSE
- 4- PROPOSED MAIN HOUSE

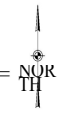
REMODEL FOR ANDREW AND MARY HARRIS
 428 & 428A SAN ANTONIO STREET

PREVIOUS HDRB CASE # H-12-014 & H-12-015
 HISTORIC DESIGN REVIEW BOARD SET'S PROJECT NUMBER 201435



SAN ANTONIO STREET

EXISTING SITE PLAN
 SCALE: 1/8" = 1'-0"



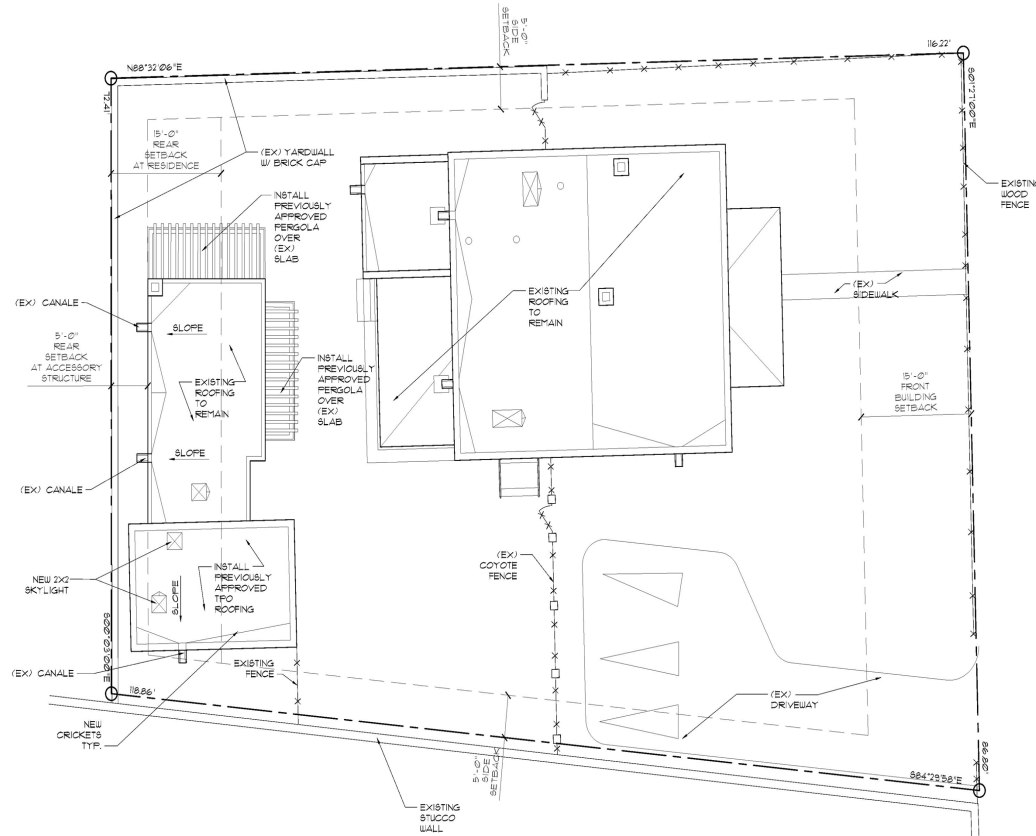
DO NOT SCALE DRAWING OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT IMMEDIATELY IF ANY CHANGES ARE NOTED. THIS PROJECT IS THE PROPERTY OF ARCHITECTURAL ALLIANCE. ANY CHANGES TO THIS PROJECT MUST BE APPROVED BY ARCHITECTURAL ALLIANCE.

NO. 11-35
 DIVISION/SUBMISSION DATE
 STAMP

PROJECT TITLE
Remodel for Andrew and Mary Harris
 428 & 428A SAN ANTONIO ST
 SANTA FE, NEW MEXICO

PROJECT NO. 11-35
 CHECKED BY HR/D 05/23
 DRAWN BY SG 05/23
 SHEET TITLE

EXISTING SITE PLAN
 SHEET NO. 1



SAN ANTONIO STREET

GENERAL NOTES:
1. ALL ROOF SLOPES TO SLOPE A MIN. OF 1/4" PER 1'-0"
2. INSURE ALL GRADES SLOPE AWAY FROM BUILDING, UNLESS NOTED OTHERWISE.

PROPOSED SITEPLAN
SCALE: 1/8" = 1'-0"



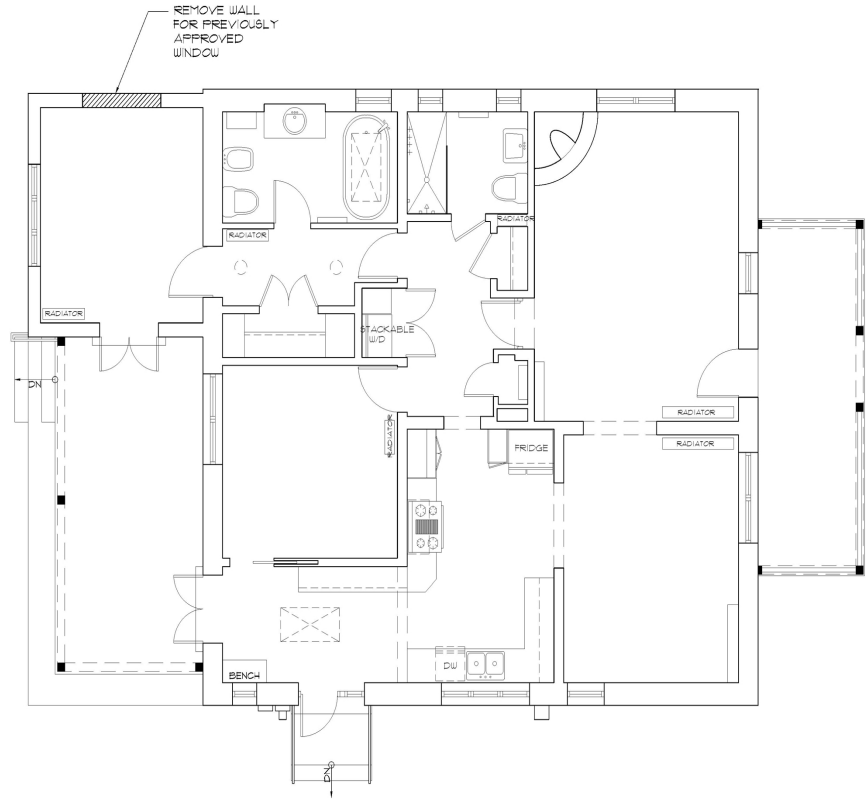
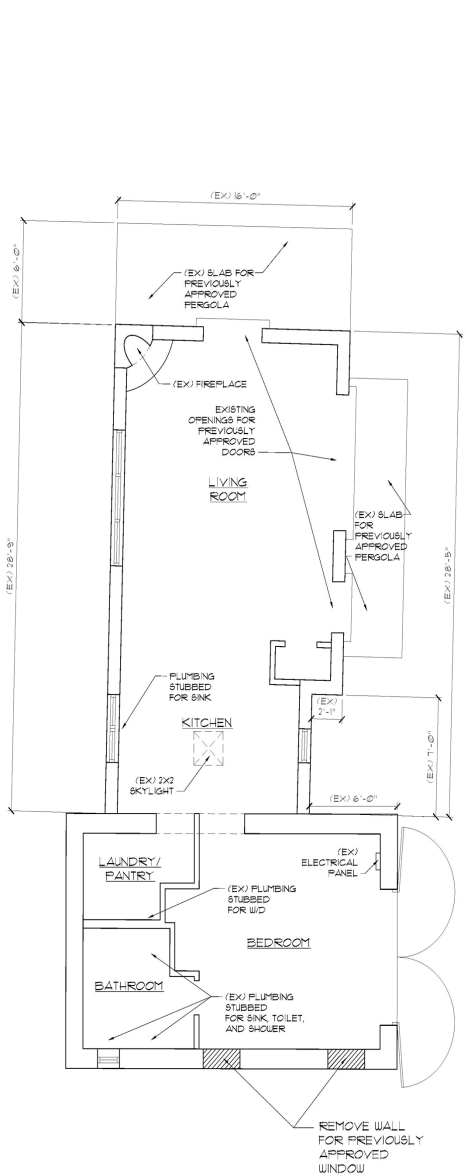
DO NOT SCALE DRAWING OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT IMMEDIATELY IF ANY CHANGES ARE NOTED. THIS IS THE PROPERTY OF ARCHITECTURAL ALLIANCE. ANY CHANGES TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CLIENT. CONTRACTOR SHALL VERIFY ALL CONDITIONS BEFORE CONSTRUCTION.

NO. 11-35
VISION/SUBMISSION DATE
STAMP

PROJECT TITLE
Remodel for Andrew and Mary Harris
428 & 428A SAN ANTONIO ST.
SANTA FE, NEW MEXICO

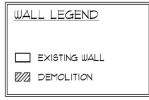
PROJECT NO. 11-35
CHECKED BY HR/D PAT 05/23/24
DRAWN BY SG PAT 05/23/24
SHEET TITLE

PROPOSED SITE PLAN
SHEET NO. 2



GENERAL NOTES:

1. PROVIDE TEMPORARY SHORING AS NECESSARY AT ALL NEW OPENINGS IN LOAD BEARING WALLS.
2. CONTRACTOR TO CONFIRM LOCATION OF LOAD BEARING WALLS PRIOR TO START OF DEMOLITION
3. PRIOR TO DEMOLITION WALK SPACE WITH OWNER/ARCHITECT TO DETERMINE EXACT EXTENTS OF REMOVAL AND THOSE ITEMS TO BE SALVAGED TO OWNER



EXISTING FLOORPLAN
 SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWING OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT IMMEDIATELY IF ANY CHANGES ARE OBSERVED DURING CONSTRUCTION

NO. 11-35
 DATE 05/23/24
 DRAWN BY SG
 SHEET 24

PROJECT TITLE
Remodel for Andrew and Mary Harris
 428 & 428A SAN ANTONIO ST, SANTA FE, NEW MEXICO

PROJECT NO. 11-35
 CHECKED BY HR/D
 DATE 05/23/24
 DRAWN BY SG
 DATE 05/23/24
 SHEET 24

EXISTING FLOOR PLAN
 SHEET NO. 11-35-24

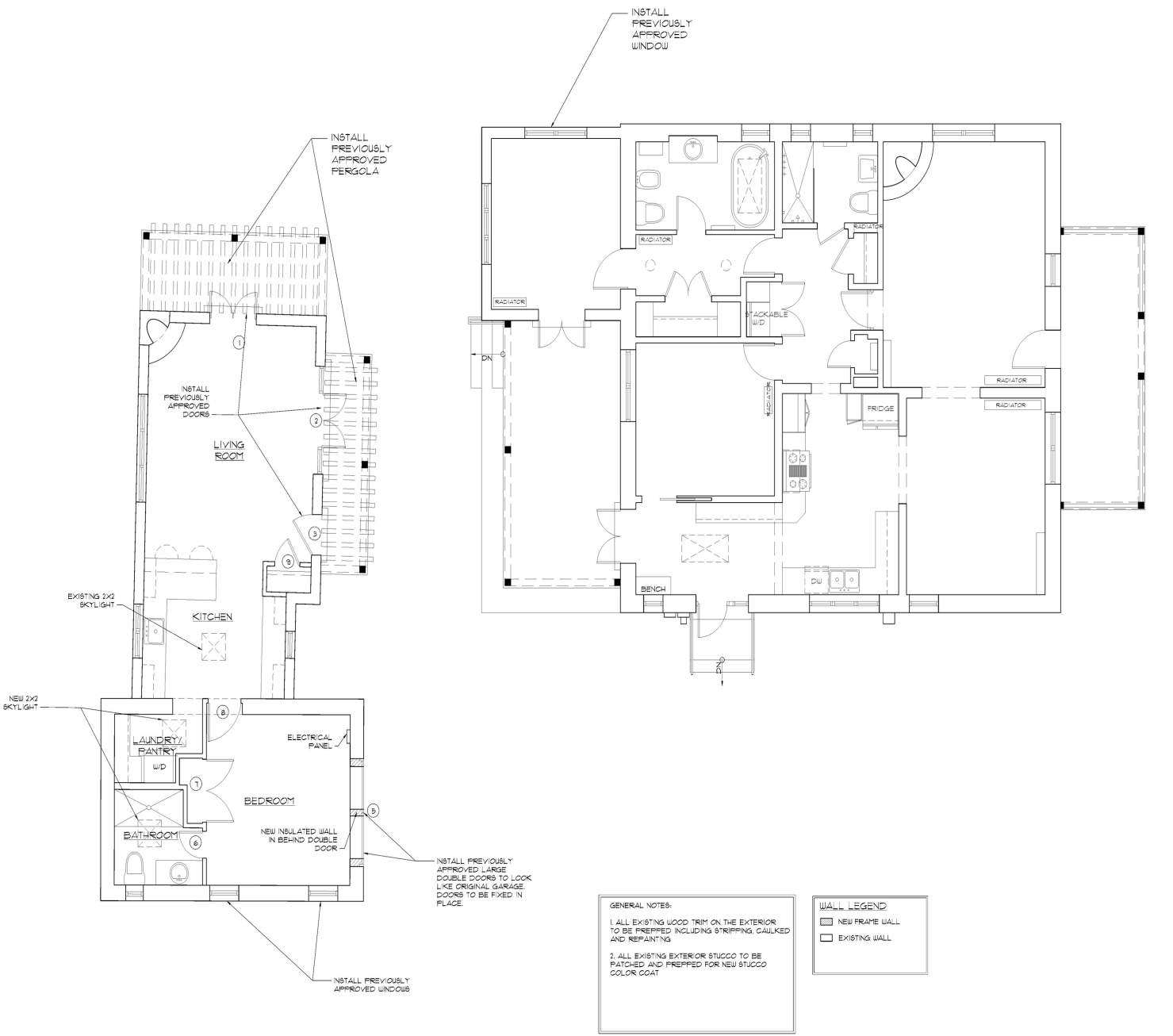
DO NOT SCALE DRAWING OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT IMMEDIATELY IF ANY CHANGES ARE NOTED. THE ARCHITECT SHALL BE THE PROPERTY OF ARCHITECT. ANY CHANGES TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CLIENT. ELECTRICAL CONSTRUCTION

NO. DATE
 REVISION/SUBMISSION DATE
 STAMP

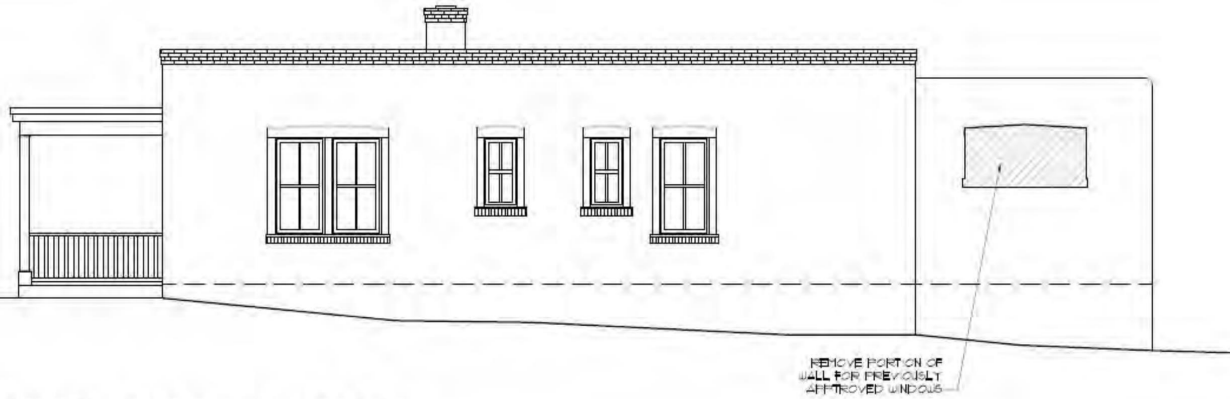
PROJECT TITLE
Remodel for Andrew and Mary Harris
 428 & 428A SAN ANTONIO ST, SANTA FE, NEW MEXICO

PROJECT NO. 11-35
 CHECKED BY HR/D PAT 05/23
 DRAWN BY SG PAT 05/23
 SHEET TITLE

PROPOSED FLOOR PLAN
 SHEET NO. 2

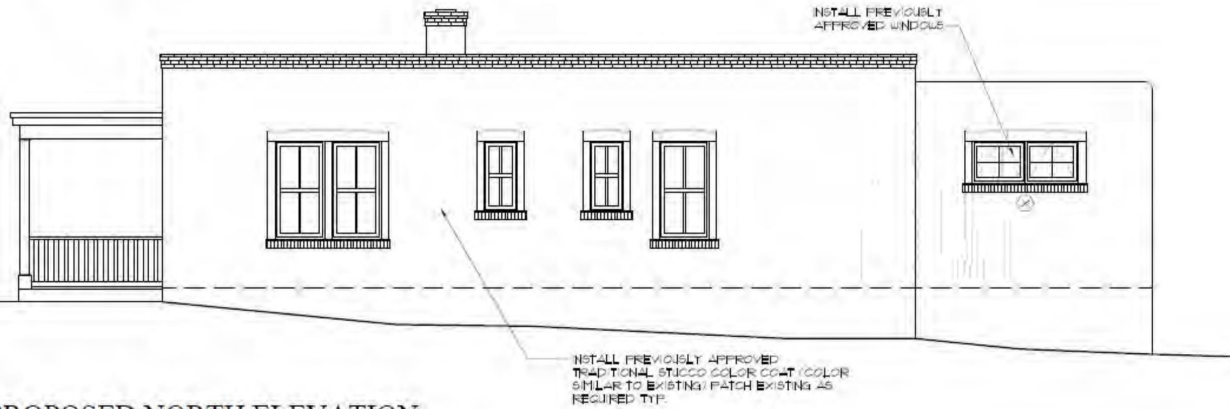


PROPOSED FLOOR PLAN
 SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

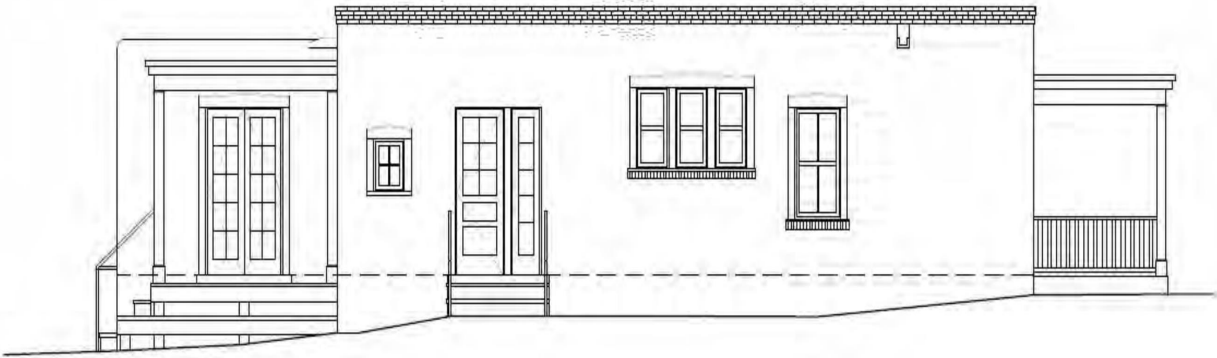
SCALE: 1/4" = 1'-0"



INSTALL PREVIOUSLY APPROVED
TRADITIONAL STUCCO COLOR COAT (COLOR
SIMILAR TO EXISTING) PATCH EXISTING AS
REQUIRED TYP

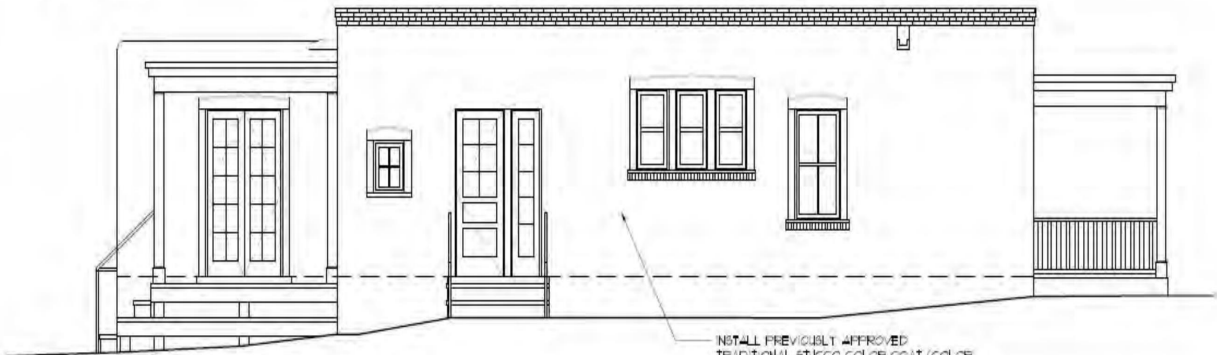
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

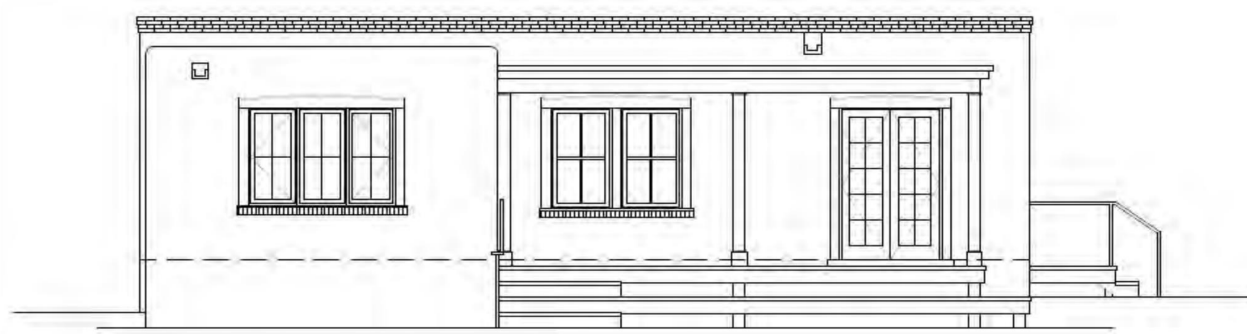
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

INSTALL PREVIOUSLY APPROVED
TRADITIONAL STUCCO COLOR COAT (COLOR
SIMILAR TO EXISTING) PATCH EXISTING AS
REQUIRED TYP



EXISTING WEST ELEVATION

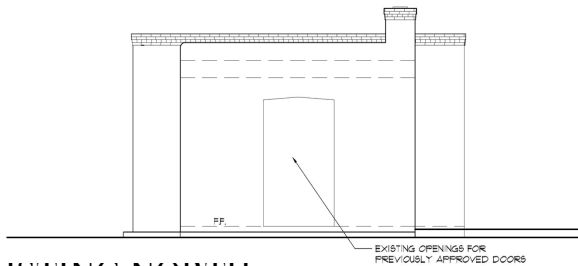
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

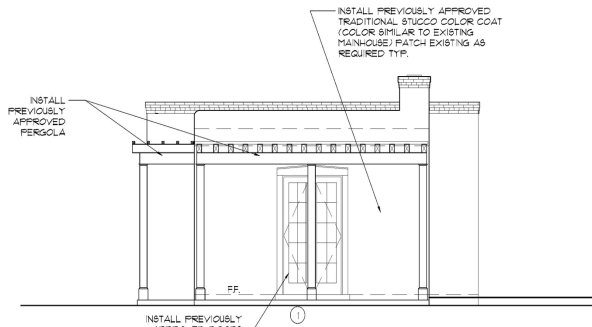
SCALE: 1/4" = 1'-0"

INSTALL PREVIOUSLY APPROVED
TRADITIONAL STUCCO COLOR COAT (COLOR
SIMILAR TO EXISTING) PATCH EXISTING AS
REQUIRED TYP.



**EXISTING NORTH
GUESTHOUSE ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED NORTH
GUESTHOUSE ELEVATION**

SCALE: 1/4" = 1'-0"

ARCHITECTURAL
ALLIA
NCE
617 OLD SAN JUAN FE
TRAIL
SANTA FE, NEW
MEXICO 87503
505-988-4200
www.archallin
c.com

DO NOT SCALE
DRAWING OR TO
VERIFY
ALL EXISTING
CONDITIONS AND
DIMENSIONS - NOTIFY
ARCHITECT
IF ANY
CHANGES
ARE REQUIRED
DURING CONSTRUCTION

NO.	REVISION/SUBMISSION	DATE

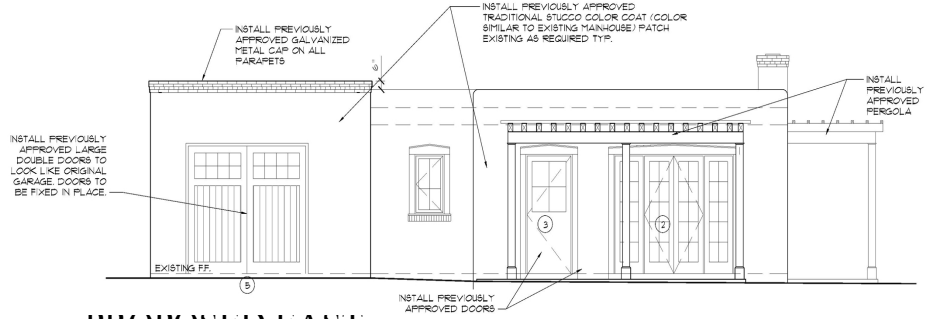
PROJECT
TITLE
**Remodel for
Andrew
and
Mary
Harris**
428 & 428A SAN
ANTONIO ST
SANTA FE, NEW
MEXICO

PROJECT
NO. 11-35
CHECKED BY HR/D/E DAT 08/23
DRAWN SG DAT 05/23
SHEET 24

EXISTING
G &
PROPOS
ALLIANCE
SANTA FE
GUEST
HOUSE



EXISTING EAST GARAGE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST GUESTHOUSE ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTURAL
ALLIANCE
617 OLD SAN JACINTO TRAIL
SANTA FE, NEW MEXICO 87505
505-988-4200
www.archalliance.com

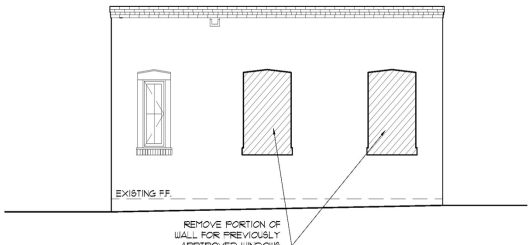
DO NOT SCALE DRAWING OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT IMMEDIATELY IF ANY CHANGES ARE OBSERVED. THIS DRAWING IS THE PROPERTY OF ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHITECT.

NO. _____ DATE _____
REVISION/SUBMISSION
STAMP

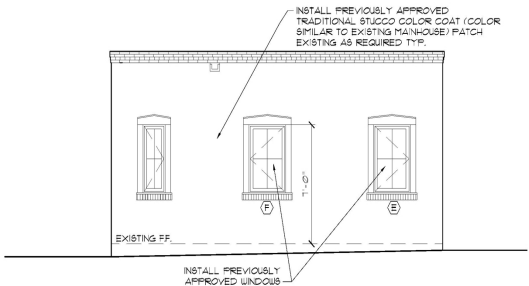
PROJECT TITLE
Remodel for Andrew and Mary Harris
428 & 428A SAN ANTONIO ST
SANTA FE, NEW MEXICO

PROJECT NO. 11-35
CHECKED BY HR/D PAT 05/23
DRAWN BY SG PAT 05/23
SHEET 24

EXISTING
G & M
PROPOS
AT
ELEVATION
SHEETS
GUESTHOUSE



EXISTING SOUTH GUESTHOUSE ELEVATION
 SCALE: 1/4" = 1'-0"



PROPOSED SOUTH GUESTHOUSE ELEVATION
 SCALE: 1/4" = 1'-0"

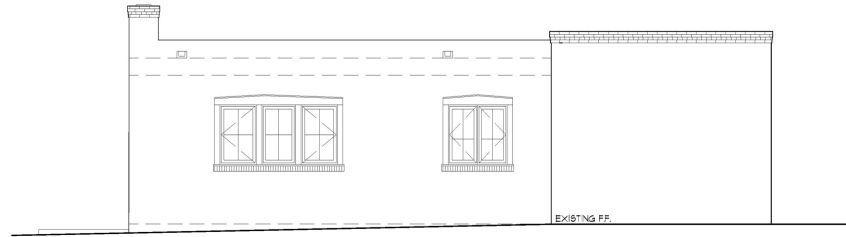
DO NOT SCALE DRAWING FOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT OF ANY CHANGES TO BE MADE TO THIS PROJECT BEFORE COMMENCING CONSTRUCTION

NO.	REVISION/SUBMISSION	DATE

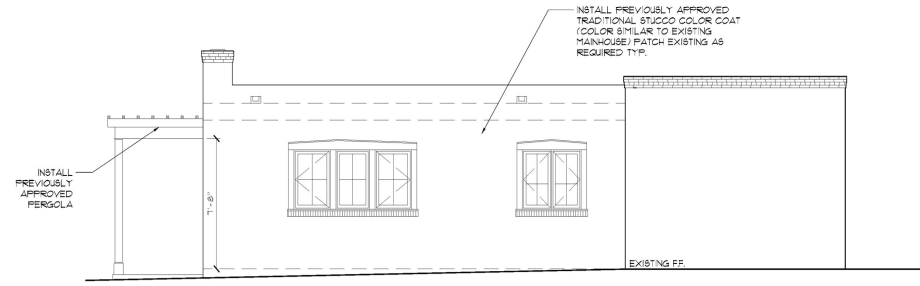
PROJECT TITLE
Remodel for Andrew and Mary Harris
 428 & 428A SAN ANTONIO ST
 SANTA FE, NEW MEXICO

PROJECT NO.	11-35
CHECKED BY	HR/D
DATE	03/23/24
DRAWN BY	SG
DATE	05/23/24

EXISTING
 G & M
 ARCHITECTS
 SANTA FE, NM
 GUESTHOUSE



EXISTING WEST GUESTHOUSE ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST GUESTHOUSE ELEVATION
SCALE: 1/4" = 1'-0"

ARCHITECTURAL
ALLIANCE
617 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87503
505-988-5288
www.archalliance.com

DO NOT SCALE DRAWING FOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS- NOTIFY ARCHITECT OF ANY CHANGES BEFORE CONSTRUCTION

NO.	REVISION/SUBMISSION	DATE

PROJECT TITLE
Remodel for Andrew and Mary Harris
428 & 428A SAN ANTONIO ST
SANTA FE, NEW MEXICO

PROJECT NO. 11-35
CHECKED BY HR/D/E 05/23
DRAWN BY SG 05/23
SHEET 24

EXISTING
G & M
PROPOS
AT
ALLIANCE
SANTA FE
GUESTHOUSE

**Colo
rs**



Stucco color to match existing. El Rey
Stucco #106 Buckskin



White wood trim to
match existing.

Guest House Elevations



North
Elevation

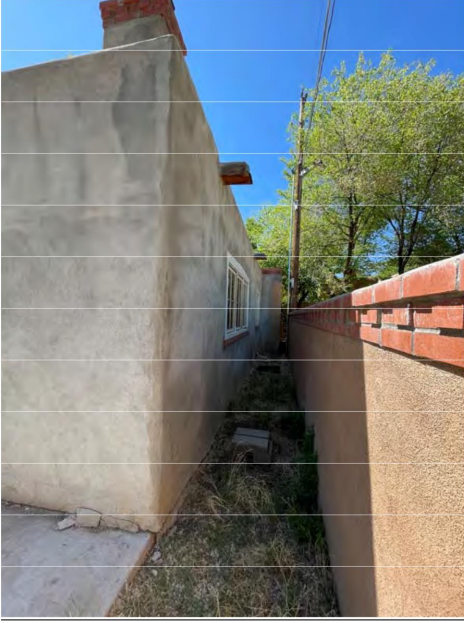


East
Elevation

612 Old Santa Fe Trail, Santa Fe, New Mexico 87505
505.988.5289 Fax 505.986.1270
website: www.archallinc.com



South
Elevation



West
Elevation

612 Old Santa Fe Trail, Santa Fe, New Mexico 87505
505.988.5289 Fax 505.988.1270
website: www.archallinc.com

Main House Elevations

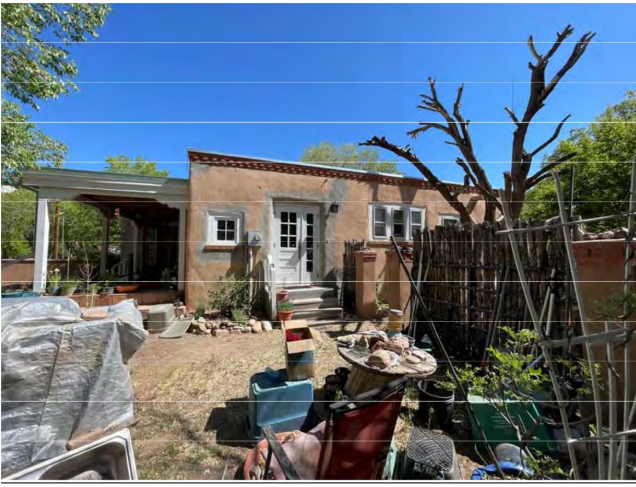


North
Elevation



East
Elevation

612 Old Santa Fe Trail, Santa Fe, New Mexico 87505
505.988.5289 Fax 505.986.1270
website: www.archallinc.com



South
Elevation



South
Elevation

612 Old Santa Fe Trail, Santa Fe, New Mexico 87505
505.988.5289 Fax 505.986.1270
website: www.archallinc.com



West
Elevation

612 Old Santa Fe Trail, Santa Fe, New Mexico 87505
505.988.5289 Fax 505.988.1270
website: www.archallinc.com



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008935--HDRB

Project Description: 2024-008935-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, non-contributing, Christopher Purvis, agent for Brady McCartney, owner proposes to raise the building height by 5", replace windows and doors, install HVAC with screening, stucco, and stain.

Project Location(s): 807 GILDERSLEEVE ST
Santa Fe, NM 87505

Contacts:

Property Owner: BRADY MCCARTNEY & NANCY COOEY cooey.mccartney@gmail.com
728 MONTEZ
SANTA FE , NM 87501

Applicant: Christopher Purvis architect@acp-art.com
518 Old Santa Fe Trail ST1 PMB 373
Santa Fe, NM 87505

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: Non-Contributing: True Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 2024, 1982

Year of Construction: 1942

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008935-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, non-contributing, Christopher Purvis, agent for Brady McCartney, owner proposes to raise the building height by 5” from 8’7” to a total height of 9’0”, replace windows and doors, install HVAC with screening, stucco, and stain.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Previous case documents

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Area Design Standards.

BACKGROUND & SUMMARY:

The single-family residence and its’ associated accessory structure at 807 Gildersleeve Street are listed as non-contributing to the Don Gaspar Area Historic District.



Figure 1: Property Location

The 450 sq. ft. accessory structure is a wood frame one-car garage with a partitioned storage area holding three storage rooms. The garage was built around 1942. Fenestration is only found on the west and north elevations. On the west elevation the former garage door opening is filled with boards with a section cut for a pedestrian door. There is no indication when the garage door was altered though photos from Google Maps show the door in the same configuration in 2007. The central storage room is entered through a wood panel door on the west elevation and adjacent is a 6-light, non-operable wood sash window. The north elevation holds two identical three-panel wood doors. A 1960s 180 sq. ft. wraparound porch shelters the building on the west and north.



Figure 2: The accessory structure west facade

The status of the accessory structure was designated non-contributing in August 2024. No other cases are on file in the Historic Preservation office.

The applicant proposes to convert the garage structure to a casita by:

1. Raising the parapet by 5” from a height of 8’ 7” to a total height of 9’0” and install roof insulation.
2. Replacing the two doors on the north elevation with wood TDL aluminum Clad white windows and infilling the wall.
3. Converting the exposed plywood siding on the west elevation to a stuccoed wall with two wood TDL aluminum Clad white windows.
4. Installing a compressor on the north elevation behind a 42” high coyote fence with varying tops.
5. Reroofing the portal to match the existing granular cap sheet tan color.
6. Staining the portal woodwork in a medium brown.
7. Stuccoing the casita in El Rey cementitious “buckskin”.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, stone, or wood shall be used as exterior *wall* materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior *wall* materials. The painting of *buildings* with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using *building* as signs is prohibited. Murals, however, are

permitted and may be referred to the city arts board for an advisory recommendation.

- (b) Roof forms including but not limited to flat, gabled, shed, and *hipped roofs* are allowed. Folded plate or hyperbolic roofs are not allowed.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing *walls* for *trombe walls* or other solar collectors, *greenhouses*, garden rooms, direct gain, or other energy collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened by the following methods:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in case of ground solar collectors by a *wall* or vegetation;
 - (vi) in the case of *wall* collectors by enclosing by end or other *walls*;
 - (vii) other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.
- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problems.
- (e) *Walls* and fences shall be of brick, *adobe*, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block *walls* are allowed. *Walls* of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not in view from any public *street*, way, or other public place.
- (f) *Greenhouses*. Attached *greenhouses* that front on the *street* shall give the appearance of being integrated into the *structure* of the *building* or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding *greenhouses* that front on the *street* is prohibited. *Greenhouses* with slanting sides shall be bracketed at the ends and the *greenhouses* made from enclosed *porches* or *portales* shall maintain the shape of the *porch* or *portal*.
- (g) For *residential* uses, paving with asphalt or parking is not allowed in the front *yard* except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front *yards* are required to be landscaped, and no required front *yard* shall be used for *off-street parking*.
- (i) As a condition of any rezoning all *applicants* shall provide evidence of sufficient *off-street parking* and an intent to maintain the architectural integrity of the existing

building or to conform to the architectural style of the district if constructing a *building* on a vacant *lot*.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of *walls*, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 11, 2024

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2178 4. County: Santa Fe Parcel # 11682688
5. Property Type: <input checked="" type="checkbox"/> Buildings: garage <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 9, 2024		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: July 1982, Ellen Threinen Ittlesen <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6765645,-105.9409352		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of west elevation. Camera facing east.		
11. Brief Description of the Property: <p><i>Per City staff instruction, only the garage was recorded. Both the house and garage are contributing to the Don Gaspar Area Historic District.</i></p> <p>Located 100' down a gravel driveway sits a frame one-car garage, faced with stucco and shaded by a 1960s wraparound porch (Photo 2). The structure likely came about with a house erected around 1942. Based on aerial photographs, the porch was added to the garage between 1958 and 1968.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Not in use – storage		
13. Construction Date: Date: c.1942; in place by 1958 aerial photograph <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
 John@archhistoryservices.com
 w/ Giulia Caporuscio

For: Brady McGovern McCartney
 and Nancy Dale Coeey, via
 Christopher Purvis.

18. Owner (if known) and other knowledgeable people:

Current owner: Brady McGovern
 McCartney and Nancy Dale Coeey
 N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing: House and Garage No Status
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Don Gaspar Area Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2																											
HCPI No. _____	District No. _____	NRHP _____	SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D																								
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ARCHITECTURAL AND CONSTRUCTION DETAILS:																											
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame			7. Number of Stories: <u> </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u> </u> Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																								
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Fixed</td> <td>Wood</td> <td>6</td> <td>1</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Fixed	Wood	6	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>4-light/3-panel</td> <td>Wood</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>1/4-light/1-panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Board</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	4-light/3-panel	Wood	2	Single-Leaf	1/4-light/1-panel	Wood	1	Single-Leaf	Board	Wood	1
Operation	Material	Glazing	Number																								
Fixed	Wood	6	1																								
Type	Style	Material	Number																								
Single-Leaf	4-light/3-panel	Wood	2																								
Single-Leaf	1/4-light/1-panel	Wood	1																								
Single-Leaf	Board	Wood	1																								
12. Chimneys <input checked="" type="checkbox"/> N/A		13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input checked="" type="checkbox"/> Wrap																									
14. Other Significant Features N/A																											
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: c.1958-1968; porch installed along west and partial north elevation; aerial photograph																											

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular – vaguely Pueblo Revival

17. Documents Available and Their Locations

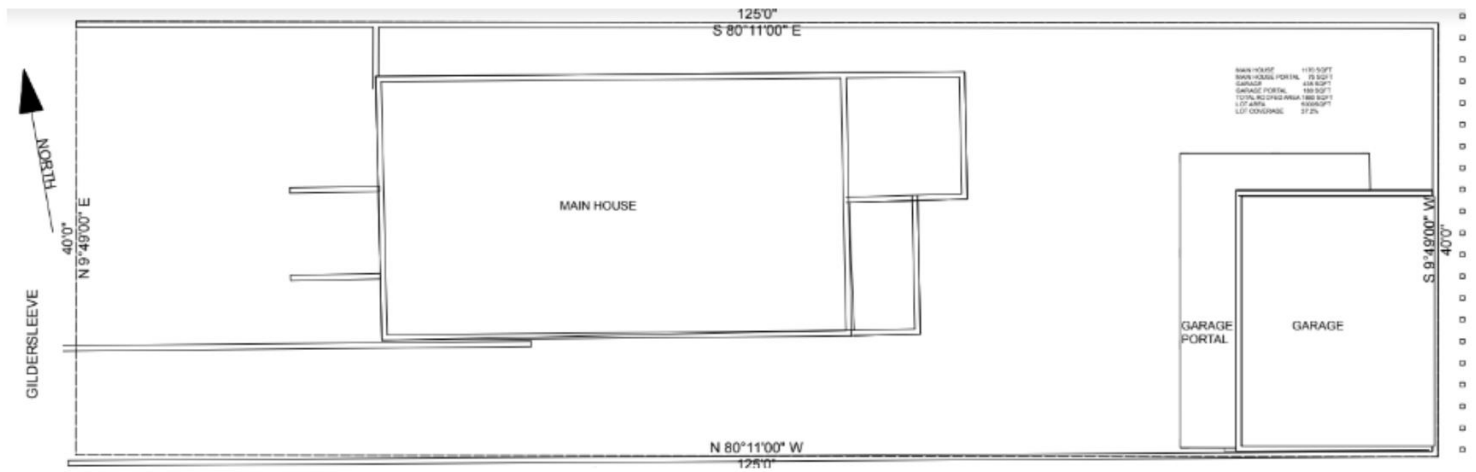
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
--	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Site plan. Courtesy A. Christopher Purvis, Architects. 2024.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID: H-2178			
		4. County: Santa Fe			
		5. Date of Survey: May 9, 2024			

Architectural Description Continued

The rectangular building faces west and consists of a one-bay garage with a partitioned storage area holding three storage rooms (Fig. 5). It encloses about 450 square feet. Its structure consists of 2" x 4" (24" OC) stud walls resting on a ground-level concrete foundation (Photo 3). Boards are nailed to the studs, creating the partition and outside walls. The garage portion is floored with dirt; the central storage area has a wood floor, and the north section has a concrete floor.

Fenestration is only found on the west and north elevations. The former garage door opening is filled with boards with a section cut for a pedestrian door (Photo 4). The central storage room is entered through a ¼-light wood panel door. Adjacent is a 6-light, non-operable wood sash (Photo 5). Both appear vintage. The north side holds identical ½-light three-panel wood doors (Photos 6 & 7). The two doors likely reflect the property's original function as a house and a separate studio apartment.

A 180-square-foot wraparound porch shelters the building (Photos 2 & 6). Erected in the 1960s, it extends out 5' from the building. It is supported by 5¼" x 5¼" wood posts resting on concrete bases. The porch's construction is crude. Tacked to the top of the posts are decorative corbels made of thin, shaped pieces of wood (Photo 8). Topping the posts is a large wood beam. The porch's shed roof is carried by small diameter wood poles attached to the garage by a thin ledger (Photo 8). Metal fascia runs along its edges, with a painted metal gutter strapped below.

The building has a traditional stucco application painted mocha brown.

Historical Overview

Buena Vista Addition Context

Following the railroad additions of the early 1880s, development in Santa Fe shifted to the southeast with the construction of the new capitol building. Though the capitol building would burn down in May 1892, its short presence stirred development. The *Santa Fe New Mexican* crowed that there were over \$800,000 in real estate transactions in the

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new district, with “investment of more than \$100,000 of eastern capital sufficiently indicat[ing] the confidence which outsiders have in Santa Fe’s future.”¹

Investors from the east — mainly Atchison, Topeka, and Santa Railway stockholders such as George W. Morse of New York and William S. Houghton of Boston — blindly invested in the speculative subdivisions in the South Capitol area. Houghton’s name is still part of the landscape.

Born in 1816 in Boxboro, Massachusetts, William Stevens Houghton came from a prominent family and made his own fortune in the wholesale boot and shoe business.² Later, he invested in railroads, including the Santa Railway. He purchased land along the railroad corridor in Kansas and other locations. In Santa Fe, he acquired several lots that would be used to expand Fairview Cemetery.³

Throughout the 1880s, Houghton worked with local agents — principally attorney William M. Berger — to buy land in the Buena Vista Hill area which would form the Buena Vista Addition. It would become one of the largest subdivisions in the new capitol neighborhood. The subject street was named after attorney and New York native Charles H. Gildersleeve, Buena Vista Addition investor.

Laid out by Philadelphia native William White in c.1887, the Buena Vista Addition consisted of a tight urban grid. It was arranged over the sloping topography as either square or rectangular blocks (Fig. 1). The subject house sits on Block 9, a block made of 20 narrow 25’ x 125’ lots which back onto a wide alley. Prospective homeowners had to purchase multiple lots — sometimes up to four — in order to have sufficient room to erect a house and still have a yard.

William S. Houghton died in 1894. His interest in the Buena Vista Addition and his many other Santa Fe holdings went to his son. The subdivision came up for auction several times subsequently. Like many boom-type subdivisions, it did not flourish, and most of

¹“Highland Addition Sale,” *Santa Fe Daily New Mexican*, October 22, 1887, 4.

²New England Historical Society, *Memorial Biographies of the New England Historic Genealogical Society, Volume IX* (Boston 1908: The Society, 1908),171.

³Corinne P. Sze, “Fairview Cemetery,” National Register of Historic Places nomination, 2004, Section 8, 21.

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its secondary streets were lined with vacant lots. Finally, in 1926, Nathan Stern — heir to a New York jewelry fortune — bought the Buena Vista Addition’s remaining lots and several other subdivisions in the area.⁴

Forming the Santa Fe Holding Company, Stern and fellow investors quickly worked to sell off the remaining land. Still, growth was sluggish. This is evident on the 1930 Sanborn Fire Insurance map, which reflects that there was not enough growth in the addition to have map coverage south of Berger Street.

807 Gildersleeve

Four undeveloped lots in the middle of the 800 block of Gildersleeve (Lots 4, 5, 6, and 7) were sold in late October 1929 to Hazelle Dennington, an Atlanta resident.⁵ Dennington, who never lived in Santa Fe and may have never seen the property, held on to them for eleven years before selling some of the lots to her sister-in-law and Santa Fe resident, Alice Sanford. Dennington sold the subject lots in 1940 to Lucille Romero Fowler.⁶

Lucille Fowler and her husband Jack, who owned the Santa Fe Beverage Company, developed two of the lots. They built a house in 1941 next to the subject property at 815 Gildersleeve, where they would live for several decades.

Their home extended into Lot 5, which, because of their FHA loan, complicated using the additional land constituting the subject parcel. Under a FHA covenant, 10’ of clearance had to be preserved between the house and the property wall.⁷ This, and the fact that Lot 5 had partially been built upon, resulted in a narrow building area at 807 Gildersleeve.

⁴ “Santa Fe Holding Company Acquires 700 Acres of Land,” *Santa Fe New Mexican*, June 29, 1926, 5.

⁵ Warranty Deed, Santa Fe Holding Company to Hazelle Dennington, recorded January 1, 1930, Book V/Page 410, Instrument # 38909, Santa Fe County, New Mexico.

⁶ Warranty Deed, Hazelle Dennington to Lucille R. Fowler, recorded April 23, 1940, Book 19/Page 130, Instrument # 61742, Santa Fe County, New Mexico.

⁷ Declaration of Covenants Running with Land, Lucille R. and Jack Fowler/First National Bank, recorded September 7, 1940, Book 21/Page 30, Instrument # 62879, Santa Fe County, New Mexico

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Elvina S. Fullerton Property

The Fowlers sold Lots 4 and 5 in 1941 to Elvina S. Fullerton, a Delaware native and teacher at Wood Gormely Elementary School.⁸ Fullerton built the Pueblo Revival-style home, which was completed around 1942. The one-bedroom house included an apartment at the rear, which like the house, had its own fireplace. She marketed the rear unit as a “small, modern apartment.”⁹ The 1944 city directory shows she had leased it to Marvin Yoder, a serviceman, and his wife, Mildred.¹⁰

The property continued to be used in this fashion in the 1960s, with the back unit advertised as a studio apartment. It had taken on a “1/2” address by this time, and the property was considered a duplex. Helen Marriott owned the property at this time. Marriott committed suicide at the house in January 1965 by ingesting a large quantity of copper sulfate.¹¹ The property went back to Fullerton ownership after her death.¹² The back unit had a steady run of tenants through 1970s, including teachers, court clerks, and Benjamin G. Miller, a former homesteader, trader, and wood carver.

Nancy H. Warren Property

Photographer Nancy Hunter Warren acquired the property in the late 1980s and lived there until around 2018. Warren was born in Buffalo, New York, in 1932. After a divorce in 1972, she flew to Albuquerque to experience the New Mexico she had read about in her graduate studies.¹³ In Santa Fe, she worked for the Laboratory of Anthropology and, in her free time, took photographs of local architecture and traditional villages in Northern New Mexico. This work resulted in several books, including *Villages of Hispanic New Mexico* (1987), *New Mexico Style: A Source Book of Traditional Architectural Details* (1987), and *Pueblo Dancing* (2011).

⁸ Quit Claim, Lucille R. Fowler to Elvina S. Fullerton, recorded October 2, 1947, Book 23/Page 400, Instrument # 86860, Santa Fe County, New Mexico.

⁹ “For Rent,” *Santa Fe New Mexican*, July 15, 1944, 5.

¹⁰ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1944* (El Paso: Hudspeth Directory Company, 1944), 127 and 292.

¹¹ “Copper Sulfate Proves Fatal to SF Woman,” *Santa Fe New Mexican*, January 25, 1965, 2.

¹² Quitclaim Deed, Helen W. Marriott to Loret T. and Reese P. Fullerton, recorded June 24, 1965, Book 226/Page 138, Instrument # 284258, Santa Fe County, New Mexico.

¹³ “Nancy Hunter Warren,” *Santa Fe New Mexican*, December 8, 2019, C-3.

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Warren died on November 23, 2019. She was 87. A year before her death, she had deeded the property to Casa Sueno, LLC.¹⁴

The Garage

The garage was likely constructed at the same time as the house. It was set at the back of the property, as was required under a covenant. A 1958 photograph shows the rectangular structure without a porch (Fig. 2). By 1968, an L-shaped porch had been added to the front and north elevation (Fig. 3). Though probably partially reconstructed, this structure remains today. The interior has no distinction, comprising a rough garage and three rooms used for storage.

Evaluation of Historical Status

While the garage’s footprint is at least 50 years old, the 1960s Western-style wraparound porch has marred its historical integrity by introducing a design element that detracts from the building’s original vernacular Pueblo form.

For this reason, the recommendation is to maintain Non-contributing status.

¹⁴Warranty Deed, Nancy H. Warrant to Casa Sueno LLC, recorded June 11, 2018, Instrument # 1859800, Santa Fe County, New Mexico.

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Illustrations

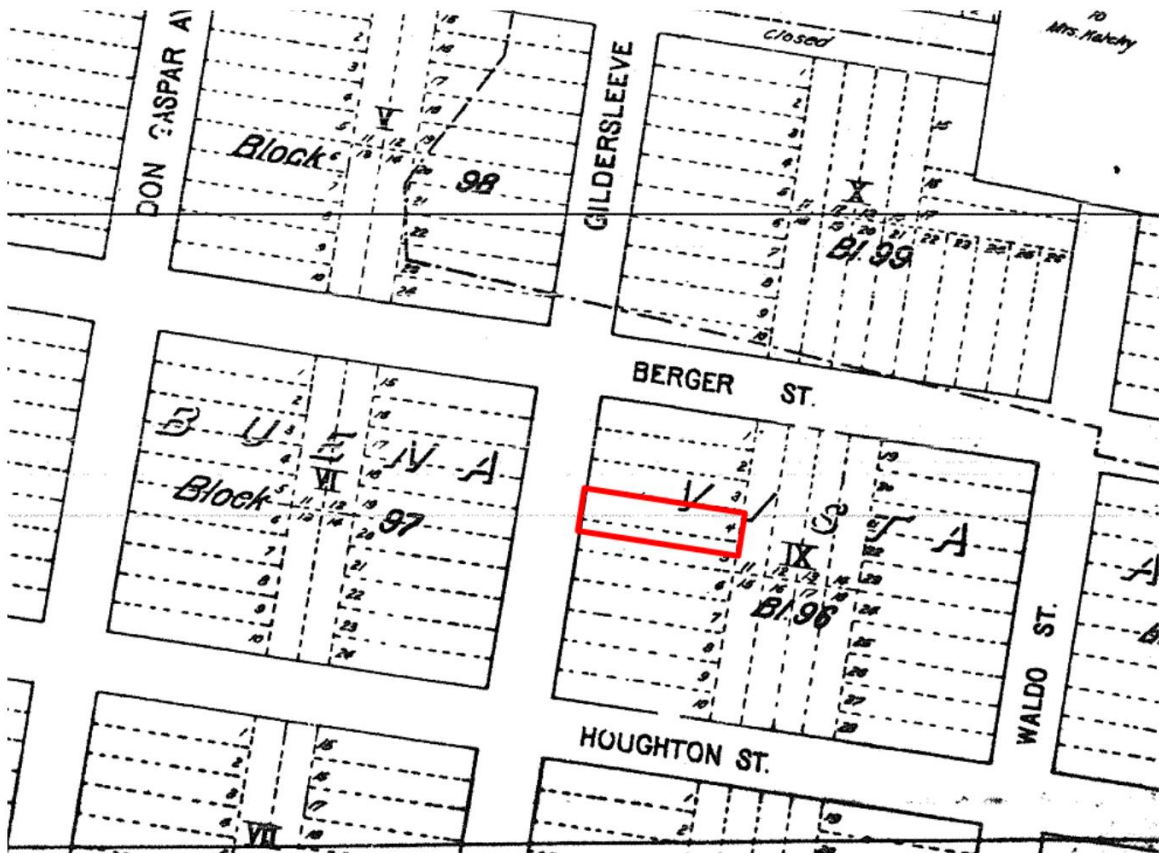


Figure 1: Subjected property highlighted. Buena Vista Addition, Block 9, Lot 4, and part of Lot 5. N. L. King, "Map of the City of Santa Fe," 1912.

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**Figure 2: November 10, 1958, aerial photograph. Garage circled.
 Note porch is not present.**

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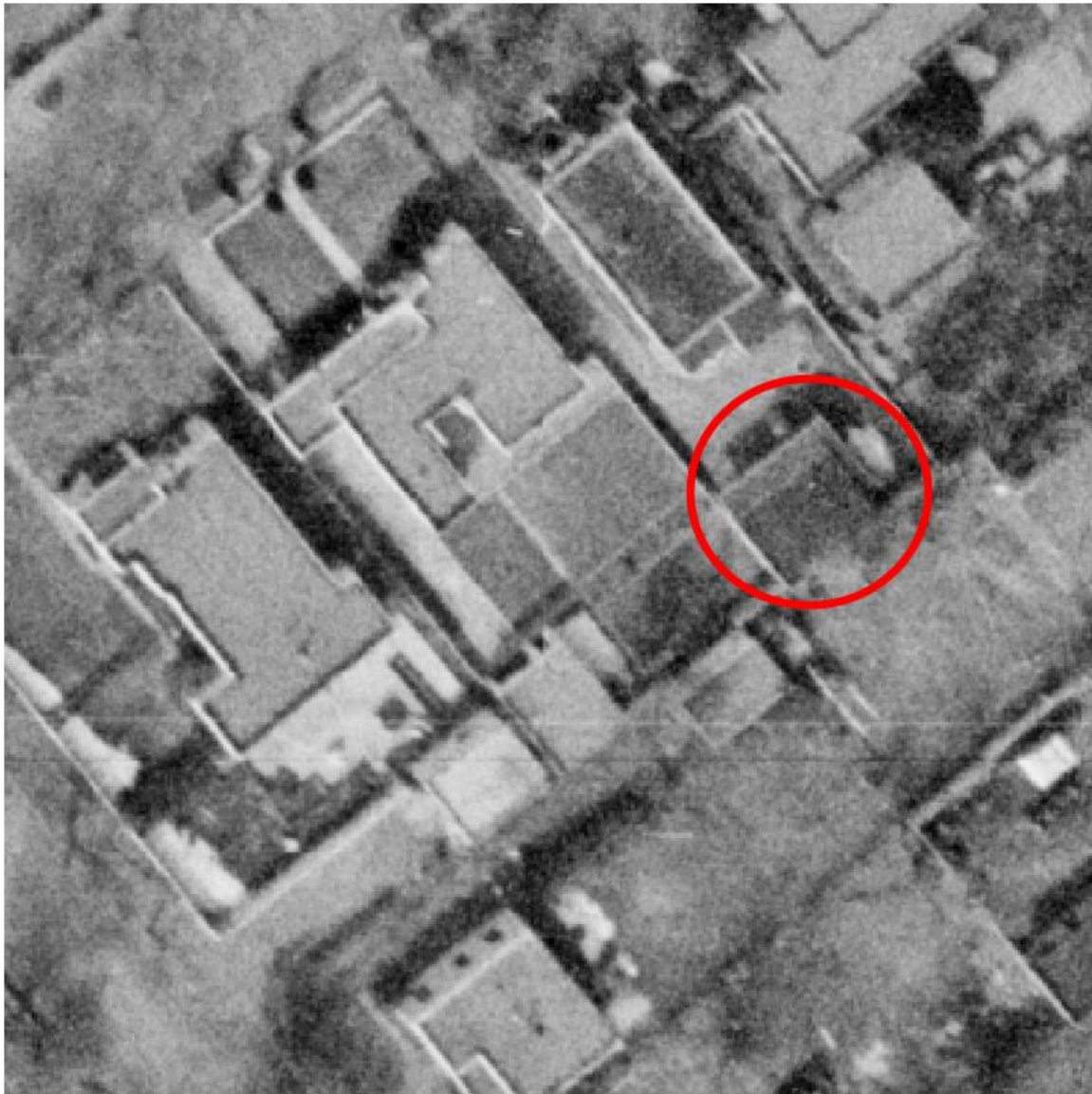
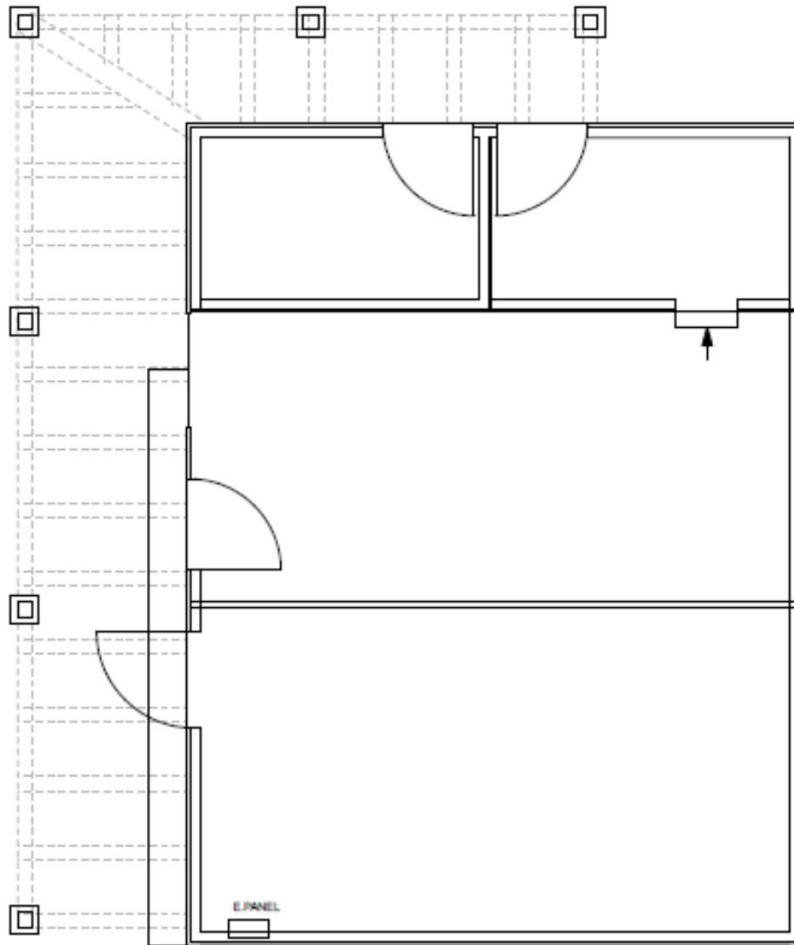


Figure 3: February 2, 1968, aerial photograph. Garage circled. Note porch is present.

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		5. Date of Survey: May 9, 2024			



1
FLOOR PLAN EXISTING
 Scale: 1/4" = 1'-0"

Figure 5: Floor plan. Courtesy A. Christopher Purvis Architets.



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Historic Preservation Division, New Mexico Department of Cultural Affairs

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Survey Photographs

(All images taken by Giulia Caporuscio, on May 9, 2024, except where indicated)



Photo 2: West elevation and setting. Camera facing east.

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Photo 3: Garage section. Camera facing east. Marc Natkin, May 2024.

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Photo 4: Garage door. Camera facing east.

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		4. County: Santa Fe			
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Photo 5: West elevation, window. Camera facing up.

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Photo 6: North elevation. Camera facing southwest.

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Photo 7: North elevation entry doors. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 8: West elevation, faux corbel. Camera facing up.

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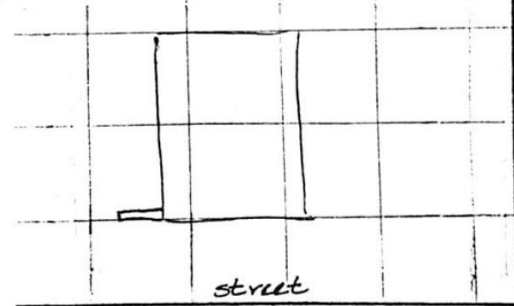


Photo 9: Roof decking, northwest corner. Camera facing up.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H2178

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 257	UTM reference zone 12 ⑬	easting 414200
location description 807 Gildensleeve (807 1/2 apt. in back)		northing 3247500	
building name		city/town Santa Fe	
legal description tnsp N S range E W sec 4 1/2		land grant/reservation	
film roll by E.T. no. 9	negative nos. 11	loc. of neg. City of Santa Fe	building-site plan



date of construction
1945 estimate _____ actual
source

use
present residential
other _____
historic residential
other _____

condition
 excellent good
 fair deteriorating

degree of remodeling
 minor moderate major
describe:

surroundings
res.

relationship to surroundings
 similar not similar

district potential
 yes no

significance
 significant contributing
 supporting intrusive

associated buildings? yes
what type?
garage
if inventoried, list ID nos.

see back? yes

style
pueblo
revival

foundation material
n/v

wall material/surface
adobe

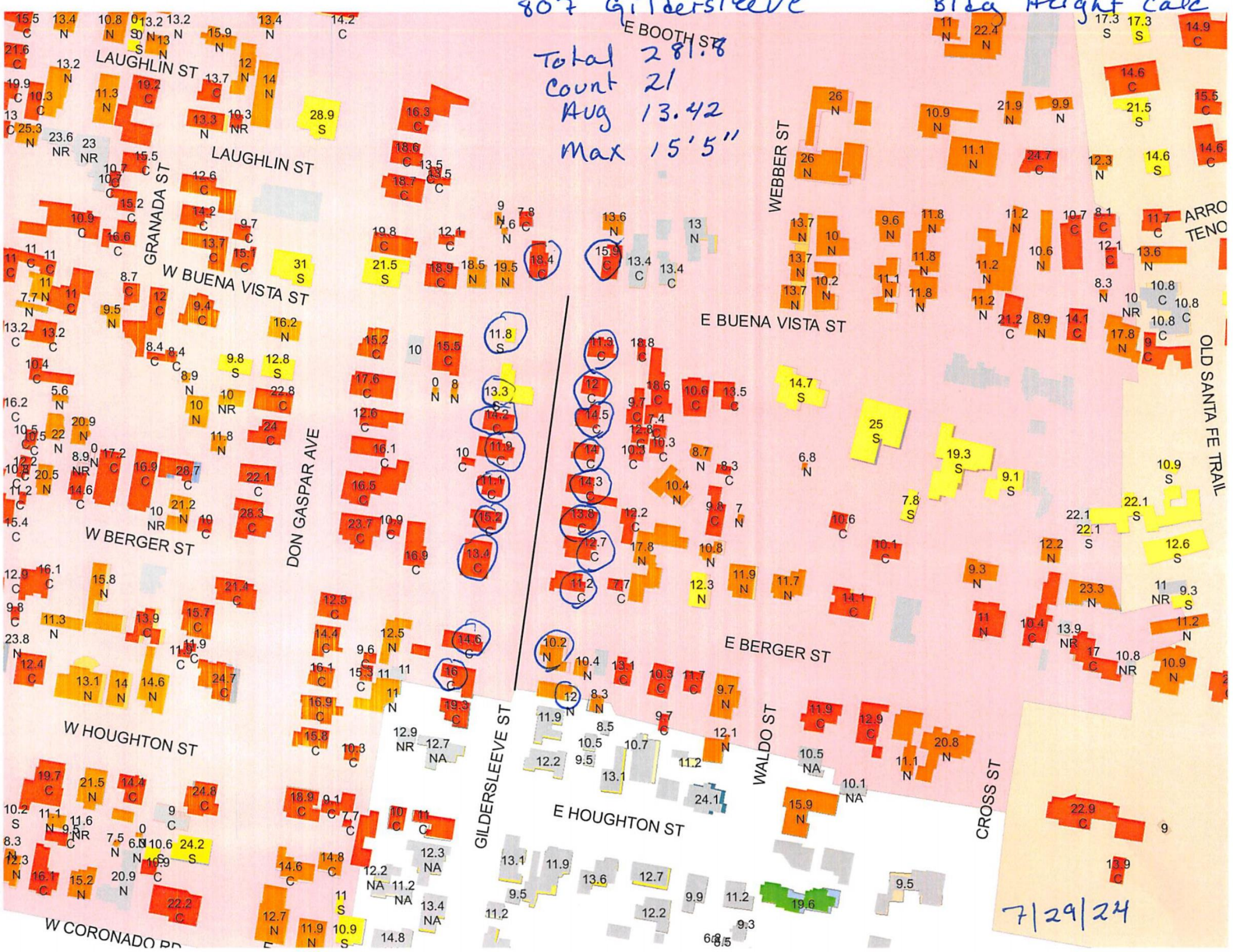
architectural features
parapet
metal casement windows
Baguan gate at side
gate & entrance irregular & buffered

comments

807 Gildersleeve

Big Height Calc

Total 281.8
Count 21
Avg 13.42
Max 15'5"



7/29/24



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:

Date Submitted: 2/28/2024
 Property Owner of Record: BRADY MCCARTNEY
 Applicant/Agent Name: Christopher Purvis
 Contact Person Phone Number: (505)-982-5461

Site Address: 807 GILDERSLEEVE Street
 Proposed Construction Description: CONVERSION GARAGE TO CASITA
 TOTAL ROOF AREA: 1705 sqft

Zoning District: R-21
 Overlay: Escarpment
 Flood Zone*
 Other: _____

Lot Coverage: 37.2%
 Open Space Required: _____

Submittals Reviewed with PZR:
 Legal Lot of Record Development Plan Building Plans
 Existing Site Plan Proposed Site Plan Elevations

Setbacks:
 Proposed Front: EX Minimum: 7ft
 2nd Front? _____
 Proposed Rear: EX Minimum: ft
 Proposed Sides: L_EXR_Ex' Minimum: _____

Supplemental Zoning Submittals Required for Building Permit:
 Zero Lot Line Affidavit

Height: Proposed 11 feet 2 in. 5ft
 Maximum Height: 14' or
 Regulated by Historic Districts Ordinance
 Regulated by Escarpment District

Access and Visibility: Arterial or Collector**
 Visibility Triangle Required

Parking Spaces:
 Proposed X 3 Accessible _____
 Minimum: 3

Use of Structure: Residential
 Commercial Type of Use: _____

Bicycle Parking**:
 Proposed: NA Minimum: _____

Terrain: 30% slopes _____

** Commercial Requirement

* Requires an additional review conducted by Technical Review Division.

** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Chris topher Purvis [] OWNER [X] APPLICANT [] AGENT
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

3/8/2024
 DATE

To Be Completed By City Staff:

Case No. 2024-008156

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___
 Flood Plain Approval by _____ Date: ___/___/___
 Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

RECEIVED [Stamp] Carly Venditti _____
DATE

Original color form must be submitted with Historic Districts Review Board (HDRB) application.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Exhibit A
Previous Case
2024-008705-HDRB
Status Review
807 Gildersleeve Street**



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2024-008705-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, Christopher
DESC: Purvis, agent for Brady McCartney, owner, requests a historic status review with designation of primary elevations, if applicable, for a non-contributing accessory structure.

CASE NUMBER: 2024-008705--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 807 GILDERSLEEVE ST
Santa Fe, NM 87505

CONTACTS: Applicant Christopher Purvis 518 Old Santa Fe Trail ST1 PMB
373
Santa Fe, NM 87505

Property Owner BRADY MCCARTNEY & 728 MONTEZ
NANCY COOEY SANTA FE , NM 87501

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Aug 13, 2024. The decision of the Board was to retain the status of the accessory structure as non-contributing to the Don Gaspar Area Historic District.

For further information please call 505-955-6605.

Sincerely,

Lani McCulley

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008705--HDRB

Project Description: 2024-008705-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, Christopher Purvis, agent for Brady McCartney, owner, requests a historic status review with designation of primary elevations, if applicable, for a non-contributing accessory structure.

Project Location(s): 807 GILDERSLEEVE ST
Santa Fe, NM 87505

Contacts:

Property Owner: BRADY MCCARTNEY & NANCY COOEY cooey.mccartney@gmail.com
728 MONTEZ
SANTA FE , NM 87501

Applicant: Christopher Purvis architect@acp-art.com
518 Old Santa Fe Trail ST1 PMB 373
Santa Fe, NM 87505

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West: Yes

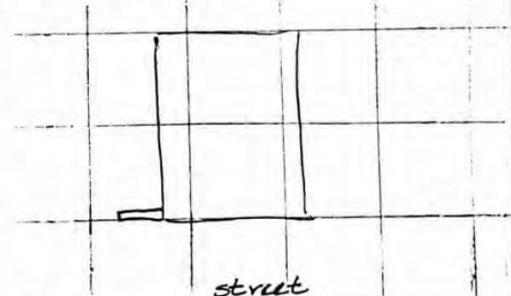
Historic District Inventory Number: 1982 & 2024

Year of Construction: circa 1942

Project Type: Historic Status Review

Historic Building Name:

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 257	UTM reference zone 12 ⑬	easting 414250
Location description 807 Gildensleeve (807 1/2 apt. in back)		city/town Santa Fe	
building name		legal description tnsp ___ N S range ___ E W sec ___ 1/4 1/2	
film roll by E.T. no. 9	negative nos. 11	loc. of neg. City of Santa Fe	building-site plan



date of construction
1945 estimate ___ actual
source

use
present residential
other
historic residential
other

condition
 excellent ___ good
 fair ___ deteriorating

degree of remodeling
 minor ___ moderate ___ major
describe:

surroundings
res.

relationship to surroundings
 similar ___ not similar

district potential
 yes ___ no

significance
___ significant ___ contributing
 supporting ___ intrusive

associated buildings? yes
what type?
garage
if inventoried, list ID nos.

see back? ___ yes

style pueblo revival	foundation material n/v
architectural features parapet metal casement windows Baquean gate at side gate & entrance irregular & buffered	wall material/surface adobe

architectural features

comments

City of Santa Fe, New Mexico

memo

DATE: August 13, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008705-HDRB, 807 Gildersleeve St., Don Gaspar Area Historic District, Christopher Purvis, agent for Brady McCartney, owner, requests a historic status review with designation of primary elevations, if applicable, for a non-contributing accessory structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [Façade Map]

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [2024 HCPI]

STAFF RECOMMENDATION:

Staff recommends the historic status of the accessory structure be upgraded to contributing and that the west façade (Façade 4) including all fenestrations and the portal and excluding the non-historic wood garage door be designated as the primary façade, per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

The single-family residence and its' associated accessory structure at 807 Gildersleeve Street are listed as non-contributing to the Don Gaspar Area Historic District.

The City GIS system shows the structure as non-contributing while the new HCPI mentions the structures are listed as contributing. No cases have been found for the property and there is no

indication of a status review. Therefore, staff has determined that the current status is non-contributing and that the designation on the HCPI is a scrivener's error.

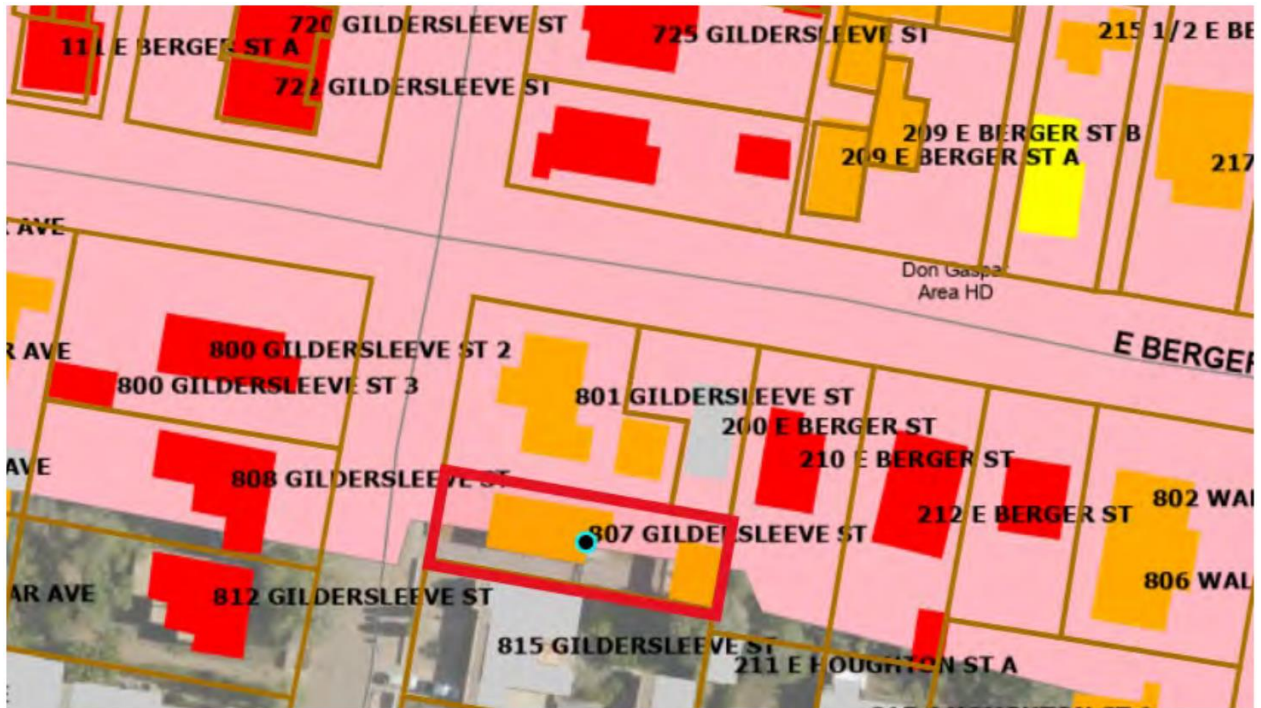


Figure 1: Status map of property

The 450 sq. ft. accessory structure is a wood frame one-car garage with a partitioned storage area holding three storage rooms. The house and garage were built around 1942. The garage area has a dirt floor while the center storage area has a wood floor, and the northern storage areas have a concrete floor. Fenestration is only found on the west and north elevations (facades 1 and 4) (see Figure 3). On the west elevation (facade 4) the former garage door opening is filled with boards with a section cut for a pedestrian door (see Figure 2). There is no indication when the garage door was altered though photos from Google Maps show the door in the same configuration in 2007. The central storage room is entered through a wood panel door on the west elevation (Facade 4) and adjacent is a 6-light, non-operable wood sash window. Both the panel door and window appear vintage. The north side (Facade 1) holds two identical three-panel wood doors. A 180-square-foot wraparound porch shelters the building on the west and north (Facades 1 and 4) and was constructed in the 1960s. The porch extends 5' from the building face and is supported by wood posts resting on concrete bases. On the top of the posts are decorative corbels made of thin, shaped pieces of wood. Topping the posts is a large wood beam. The porch has a shed roof carried by small diameter wood poles attached to the garage by a thin ledger. Metal fascia runs along its edges, with a painted metal gutter strapped below. The building has a traditional stucco application painted mocha brown to match the main residence.



Figure 2: The accessory structure west facade

The original garage structure is Vernacular Pueblo Revival. The 1960s wrap around porch is indicative of the architectural intent of these types of porches from that era and it now qualifies to be a historic structure due to age. Staff finds that the garage structure reflects the evolution of the property over time and the changing use of the structure. The portal addition is reflective of its time in its design but stays true to the overall Spanish-Pueblo Revival Style architecture of the main building. Therefore, the structure holds up to being a contributing structure due to its deep-set fenestrations at the doors, wood window, simple design, and wrap-around porch.

The applicant proposes the following exterior alterations:

- 1) Status review of the accessory structure; and
- 2) Designation of primary facades, if applicable.

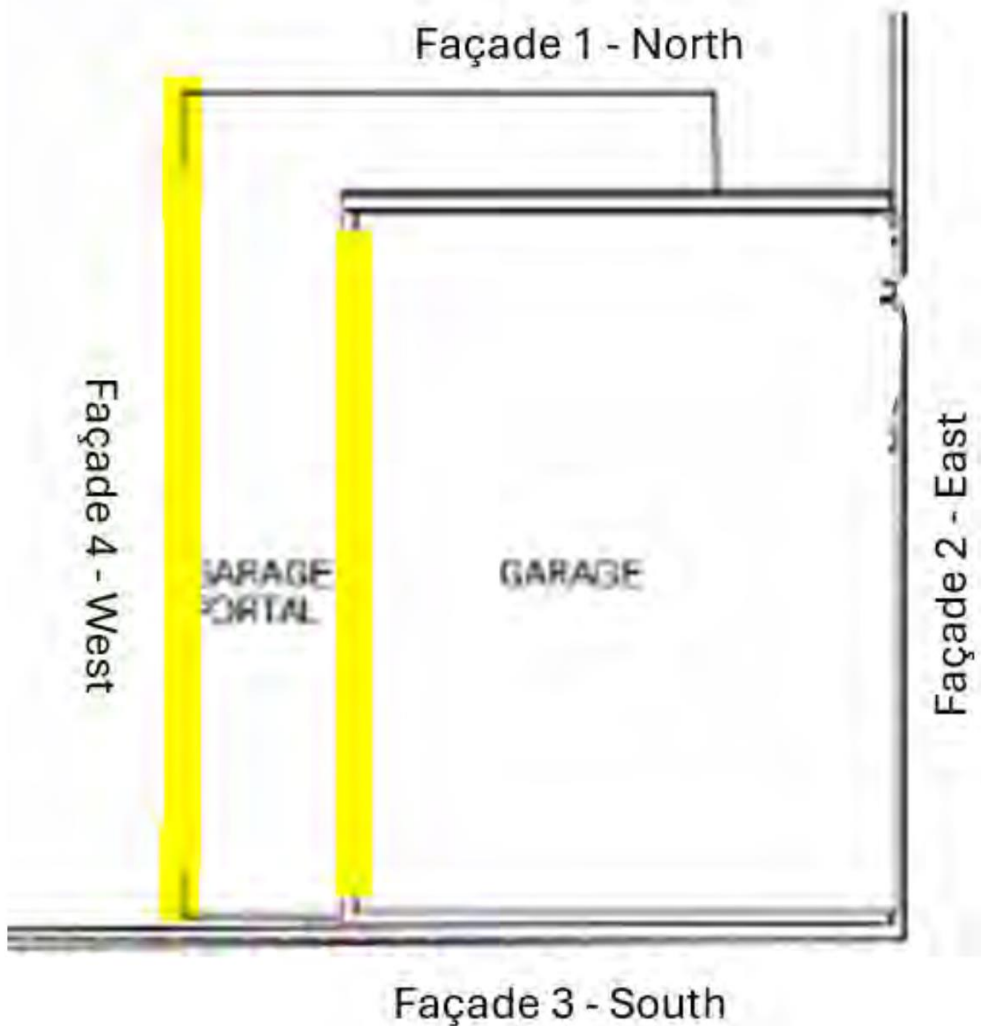


Figure 3: Façade Map

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and

- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

- (2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts
 - (a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of *structures* located in the Historic Districts.
 - (b) Board Authority to Review Status Designation
 - (i) The Board is authorized to change the status of a *structure* or to designate a status for a *structure* with no status designated.
 - (ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, stone, or wood shall be used as exterior *wall* materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior *wall* materials. The painting of *buildings* with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using *building* as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- (b) Roof forms including but not limited to flat, gabled, shed, and *hipped roofs* are allowed. Folded plate or hyperbolic roofs are not allowed.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing *walls* for trombe *walls* or other solar collectors, *greenhouses*, garden rooms, direct gain, or other energy collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened by the following methods:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in case of ground solar collectors by a *wall* or vegetation;
 - (vi) in the case of *wall* collectors by enclosing by end or other *walls*;
 - (vii) other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.
- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problems.
- (e) *Walls* and fences shall be of brick, *adobe*, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block *walls* are allowed. *Walls* of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not in view from any public *street*, way, or other public place.
- (f) *Greenhouses*. Attached *greenhouses* that front on the *street* shall give the appearance of being integrated into the *structure* of the *building* or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding

greenhouses that front on the *street* is prohibited. *Greenhouses* with slanting sides shall be bracketed at the ends and the *greenhouses* made from enclosed *porches* or *portales* shall maintain the shape of the *porch* or *portal*.

- (g) For *residential* uses, paving with asphalt or parking is not allowed in the front *yard* except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front *yards* are required to be landscaped, and no required front *yard* shall be used for *off-street parking*.
- (i) As a condition of any rezoning all *applicants* shall provide evidence of sufficient *off-street parking* and an intent to maintain the architectural integrity of the existing *building* or to conform to the architectural style of the district if constructing a *building* on a vacant *lot*.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of *walls*, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board
City of Santa Fe, City Hall
Santa Fe NM 87501

Tuesday, July 16, 2024

RE: 807 1/2 Gildersleeve St

Enclosed (1) 24"x36" copies

A-1 Site Plan 6/17/24

A-2 Floor Plan & Elevations 6/17/24

HCPI John Murphey 5/11/24

Photographs of elevations

Dear Lanni and
Members of the Historic Districts Review Board

We are Requesting status review of the current garage at this location

Please call if you have any questions on the project 982-5461

Sincerely,




Christopher Purvis.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 11, 2024

For HPDOffice use only:			
HCPINo.	District No.	NRHP	SRCP
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2178	
5. Property Type: <input checked="" type="checkbox"/> Buildings: garage <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object			
6. Date of Survey: May 9, 2024			
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: July 1982, Ellen Threinen Ittlesen <input type="checkbox"/> No:			
8. Name of Project: HDRB Status Evaluation			
9. Lat/Long: 35.6765645,-105.9409352			
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of west elevation. Camera facing east.			
11. Brief Description of the Property: <i>Per City staff instruction, only the garage was recorded. Both the house and garage are contributing to the Don Gaspar Area Historic District.</i> Located 100' down a gravel driveway sits a frame one-car garage, faced with stucco and shaded by a 1960s wraparound porch (Photo 2). The structure likely came about with a house erected around 1942. Based on aerial photographs, the porch was added to the garage between 1958 and 1968. Continued on Page 5.			
12. Who uses the property? Not in use – storage			
13. Construction Date: Date: c.1942; in place by 1958 aerial photograph <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs			
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public			
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A			

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>  <p>Source: Office of the Santa Fe County Assessor parcel lines are not accurate</p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 John@archhistoryservices.com w/ Giulia Caporuscio</p> <p>For: Brady McGovern McCartney and Nancy Dale Cooley, via Christopher Purvis.</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Brady McGovern McCartney and Nancy Dale Cooley N/A</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input type="checkbox"/> Contributing <input checked="" type="checkbox"/> Non-contributing: House and Garage <input type="checkbox"/> No Status Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Don Gaspar Area Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		Please complete HCPIFORM1 before completing FORM2																														
HCPINo.	District No.	NRHP	SRCP	Criteria	A	B	C	D																								
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -		2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe				3. Local Reference Number: Santa Fe ID: H-2178 4. County: Santa Fe 5. Date of Survey: May 9, 2024																										
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame					7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 2 1/2 Other: 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																											
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="width: 25%;">Operation</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Glazing</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td>Fixed</td> <td>Wood</td> <td>6</td> <td>1</td> </tr> </tbody> </table>				Operation	Material	Glazing	Number	Fixed	Wood	6	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th style="width: 25%;">Type</th> <th style="width: 25%;">Style</th> <th style="width: 25%;">Material</th> <th style="width: 25%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>4-light/3-panel</td> <td>Wood</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>1/4-light/1-panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Board</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>					Type	Style	Material	Number	Single-Leaf	4-light/3-panel	Wood	2	Single-Leaf	1/4-light/1-panel	Wood	1	Single-Leaf	Board	Wood	1
Operation	Material	Glazing	Number																													
Fixed	Wood	6	1																													
Type	Style	Material	Number																													
Single-Leaf	4-light/3-panel	Wood	2																													
Single-Leaf	1/4-light/1-panel	Wood	1																													
Single-Leaf	Board	Wood	1																													
12. Chimneys <input checked="" type="checkbox"/> N/A				13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input checked="" type="checkbox"/> Wrap																												
14. Other Significant Features N/A																																
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: c.1958-1968; porch installed along west and partial north elevation; aerial photograph																																

HCPI Detail Form (FORM2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular – vaguely Pueblo Revival

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

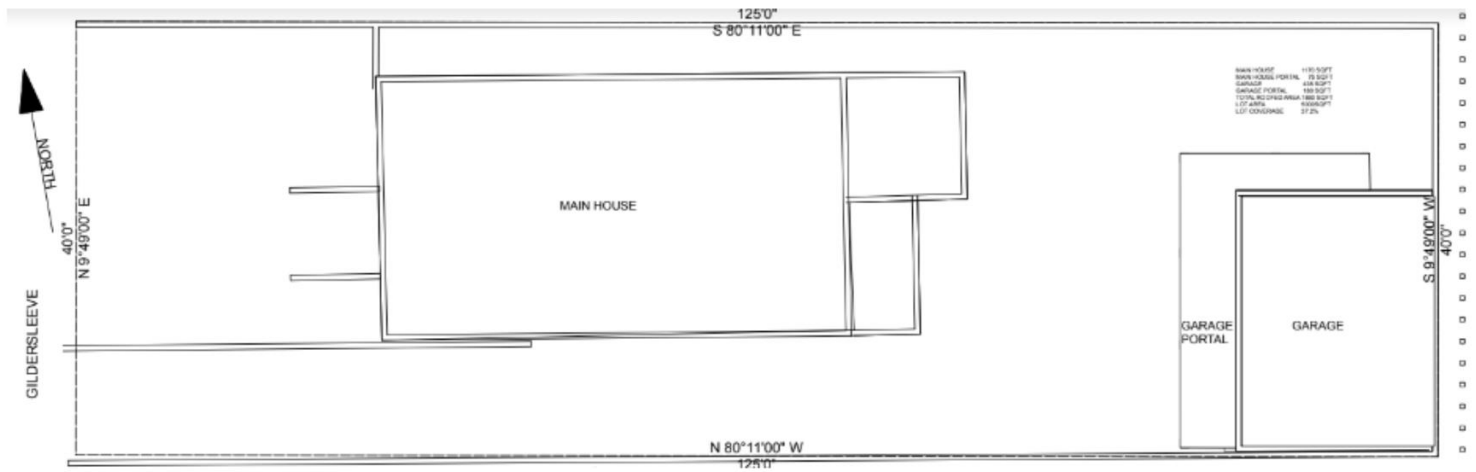
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Site plan. Courtesy A. Christopher Purvis, Architects. 2024.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe			3. Local Reference Number: Santa Fe ID: H-2178				
				4. County: Santa Fe				
				5. Date of Survey: May 9, 2024				

Architectural Description Continued

The rectangular building faces west and consists of a one-bay garage with a partitioned storage area holding three storage rooms (Fig. 5). It encloses about 450 square feet. Its structure consists of 2" x 4" (24" OC) stud walls resting on a ground-level concrete foundation (Photo 3). Boards are nailed to the studs, creating the partition and outside walls. The garage portion is floored with dirt; the central storage area has a wood floor, and the north section has a concrete floor.

Fenestration is only found on the west and north elevations. The former garage door opening is filled with boards with a section cut for a pedestrian door (Photo 4). The central storage room is entered through a ¼-light wood panel door. Adjacent is a 6-light, non-operable wood sash (Photo 5). Both appear vintage. The north side holds identical ½-light three-panel wood doors (Photos 6 & 7). The two doors likely reflect the property's original function as a house and a separate studio apartment.

A 180-square-foot wraparound porch shelters the building (Photos 2 & 6). Erected in the 1960s, it extends out 5' from the building. It is supported by 5¼" x 5¼" wood posts resting on concrete bases. The porch's construction is crude. Tacked to the top of the posts are decorative corbels made of thin, shaped pieces of wood (Photo 8). Topping the posts is a large wood beam. The porch's shed roof is carried by small diameter wood poles attached to the garage by a thin ledger (Photo 8). Metal fascia runs along its edges, with a painted metal gutter strapped below.

The building has a traditional stucco application painted mocha brown.

Historical Overview

Buena Vista Addition Context

Following the railroad additions of the early 1880s, development in Santa Fe shifted to the southeast with the construction of the new capitol building. Though the capitol building would burn down in May 1892, its short presence stirred development. The *Santa Fe New Mexican* crowed that there were over \$800,000 in real estate transactions in the

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2				District No.	NRHP	SRCP	Criteria	A	B	C	D
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		4. County: Santa Fe										
		5. Date of Survey: May 9, 2024										

new district, with “investment of more than \$100,000 of eastern capital sufficiently indicat[ing] the confidence which outsiders have in Santa Fe’s future.”¹

Investors from the east — mainly Atchison, Topeka, and Santa Railway stockholders such as George W. Morse of New York and William S. Houghton of Boston — blindly invested in the speculative subdivisions in the South Capitol area. Houghton’s name is still part of the landscape.

Born in 1816 in Boxboro, Massachusetts, William Stevens Houghton came from a prominent family and made his own fortune in the wholesale boot and shoe business.² Later, he invested in railroads, including the Santa Railway. He purchased land along the railroad corridor in Kansas and other locations. In Santa Fe, he acquired several lots that would be used to expand Fairview Cemetery.³

Throughout the 1880s, Houghton worked with local agents — principally attorney William M. Berger — to buy land in the Buena Vista Hill area which would form the Buena Vista Addition. It would become one of the largest subdivisions in the new capitol neighborhood. The subject street was named after attorney and New York native Charles H. Gildersleeve, Buena Vista Addition investor.

Laid out by Philadelphia native William White in c.1887, the Buena Vista Addition consisted of a tight urban grid. It was arranged over the sloping topography as either square or rectangular blocks (Fig. 1). The subject house sits on Block 9, a block made of 20 narrow 25’ x 125’ lots which back onto a wide alley. Prospective homeowners had to purchase multiple lots — sometimes up to four — in order to have sufficient room to erect a house and still have a yard.

William S. Houghton died in 1894. His interest in the Buena Vista Addition and his many other Santa Fe holdings went to his son. The subdivision came up for auction several times subsequently. Like many boom-type subdivisions, it did not flourish, and most of

¹“Highland Addition Sale,” *Santa Fe Daily New Mexican*, October 22, 1887, 4.

²New England Historical Society, *Memorial Biographies of the New England Historic Genealogical Society, Volume IX* (Boston 1908: The Society, 1908),171.

³Corinne P. Sze, “Fairview Cemetery,” National Register of Historic Places nomination, 2004, Section 8, 21.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe							3. Local Reference Number: Santa Fe ID: H-2178
								4. County: Santa Fe
								5. Date of Survey: May 9, 2024

its secondary streets were lined with vacant lots. Finally, in 1926, Nathan Stern — heir to a New York jewelry fortune — bought the Buena Vista Addition’s remaining lots and several other subdivisions in the area.⁴

Forming the Santa Fe Holding Company, Stern and fellow investors quickly worked to sell off the remaining land. Still, growth was sluggish. This is evident on the 1930 Sanborn Fire Insurance map, which reflects that there was not enough growth in the addition to have map coverage south of Berger Street.

807 Gildersleeve

Four undeveloped lots in the middle of the 800 block of Gildersleeve (Lots 4, 5, 6, and 7) were sold in late October 1929 to Hazelle Dennington, an Atlanta resident.⁵ Dennington, who never lived in Santa Fe and may have never seen the property, held on to them for eleven years before selling some of the lots to her sister-in-law and Santa Fe resident, Alice Sanford. Dennington sold the subject lots in 1940 to Lucille Romero Fowler.⁶

Lucille Fowler and her husband Jack, who owned the Santa Fe Beverage Company, developed two of the lots. They built a house in 1941 next to the subject property at 815 Gildersleeve, where they would live for several decades.

Their home extended into Lot 5, which, because of their FHA loan, complicated using the additional land constituting the subject parcel. Under a FHA covenant, 10’ of clearance had to be preserved between the house and the property wall.⁷ This, and the fact that Lot 5 had partially been built upon, resulted in a narrow building area at 807 Gildersleeve.

⁴ “Santa Fe Holding Company Acquires 700 Acres of Land,” *Santa Fe New Mexican*, June 29, 1926, 5.

⁵ Warranty Deed, Santa Fe Holding Company to Hazelle Dennington, recorded January 1, 1930, Book V/Page 410, Instrument # 38909, Santa Fe County, New Mexico.

⁶ Warranty Deed, Hazelle Dennington to Lucille R. Fowler, recorded April 23, 1940, Book 19/Page 130, Instrument # 61742, Santa Fe County, New Mexico.

⁷ Declaration of Covenants Running with Land, Lucille R. and Jack Fowler/First National Bank, recorded September 7, 1940, Book 21/Page 30, Instrument # 62879, Santa Fe County, New Mexico

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -	2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe			3. Local Reference Number: Santa Fe ID: H-2178				
				4. County: Santa Fe				
				5. Date of Survey: May 9, 2024				

Elvina S. Fullerton Property

The Fowlers sold Lots 4 and 5 in 1941 to Elvina S. Fullerton, a Delaware native and teacher at Wood Gormely Elementary School.⁸ Fullerton built the Pueblo Revival-style home, which was completed around 1942. The one-bedroom house included an apartment at the rear, which like the house, had its own fireplace. She marketed the rear unit as a “small, modern apartment.”⁹ The 1944 city directory shows she had leased it to Marvin Yoder, a serviceman, and his wife, Mildred.¹⁰

The property continued to be used in this fashion in the 1960s, with the back unit advertised as a studio apartment. It had taken on a “1/2” address by this time, and the property was considered a duplex. Helen Marriott owned the property at this time. Marriott committed suicide at the house in January 1965 by ingesting a large quantity of copper sulfate.¹¹ The property went back to Fullerton ownership after her death.¹² The back unit had a steady run of tenants through 1970s, including teachers, court clerks, and Benjamin G. Miller, a former homesteader, trader, and wood carver.

Nancy H. Warren Property

Photographer Nancy Hunter Warren acquired the property in the late 1980s and lived there until around 2018. Warren was born in Buffalo, New York, in 1932. After a divorce in 1972, she flew to Albuquerque to experience the New Mexico she had read about in her graduate studies.¹³ In Santa Fe, she worked for the Laboratory of Anthropology and, in her free time, took photographs of local architecture and traditional villages in Northern New Mexico. This work resulted in several books, including *Villages of Hispanic New Mexico* (1987), *New Mexico Style: A Source Book of Traditional Architectural Details* (1987), and *Pueblo Dancing* (2011).

⁸ Quit Claim, Lucille R. Fowler to Elvina S. Fullerton, recorded October 2, 1947, Book 23/Page 400, Instrument # 86860, Santa Fe County, New Mexico.

⁹ “For Rent,” *Santa Fe New Mexican*, July 15, 1944, 5.

¹⁰ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1944* (El Paso: Hudspeth Directory Company, 1944), 127 and 292.

¹¹ “Copper Sulfate Proves Fatal to SF Woman,” *Santa Fe New Mexican*, January 25, 1965, 2.

¹² Quitclaim Deed, Helen W. Marriott to Loretta T. and Reese P. Fullerton, recorded June 24, 1965, Book 226/Page 138, Instrument # 284258, Santa Fe County, New Mexico.

¹³ “Nancy Hunter Warren,” *Santa Fe New Mexican*, December 8, 2019, C-3.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
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		4. County: Santa Fe			
		5. Date of Survey: May 9, 2024			

Warren died on November 23, 2019. She was 87. A year before her death, she had deeded the property to Casa Sueno, LLC.¹⁴

The Garage

The garage was likely constructed at the same time as the house. It was set at the back of the property, as was required under a covenant. A 1958 photograph shows the rectangular structure without a porch (Fig. 2). By 1968, an L-shaped porch had been added to the front and north elevation (Fig. 3). Though probably partially reconstructed, this structure remains today. The interior has no distinction, comprising a rough garage and three rooms used for storage.

Evaluation of Historical Status

While the garage’s footprint is at least 50 years old, the 1960s Western-style wraparound porch has marred its historical integrity by introducing a design element that detracts from the building’s original vernacular Pueblo form.

For this reason, the recommendation is to maintain Non-contributing status.

¹⁴ Warranty Deed, Nancy H. Warrant to Casa Sueno LLC, recorded June 11, 2018, Instrument # 1859800, Santa Fe County, New Mexico.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDO Office use only:		Please complete HCPIFORM1 before completing FORM2			
HCPNo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Elvina S. Fullerton/ Nancy H. Warren Property - Garage -		2. Location: 807 Gildersleeve Street Don Gaspar Area Historic District -Santa Fe		3. Local Reference Number: Santa Fe ID: H-2178	
				4. County: Santa Fe	
				5. Date of Survey: May 9, 2024	

Illustrations

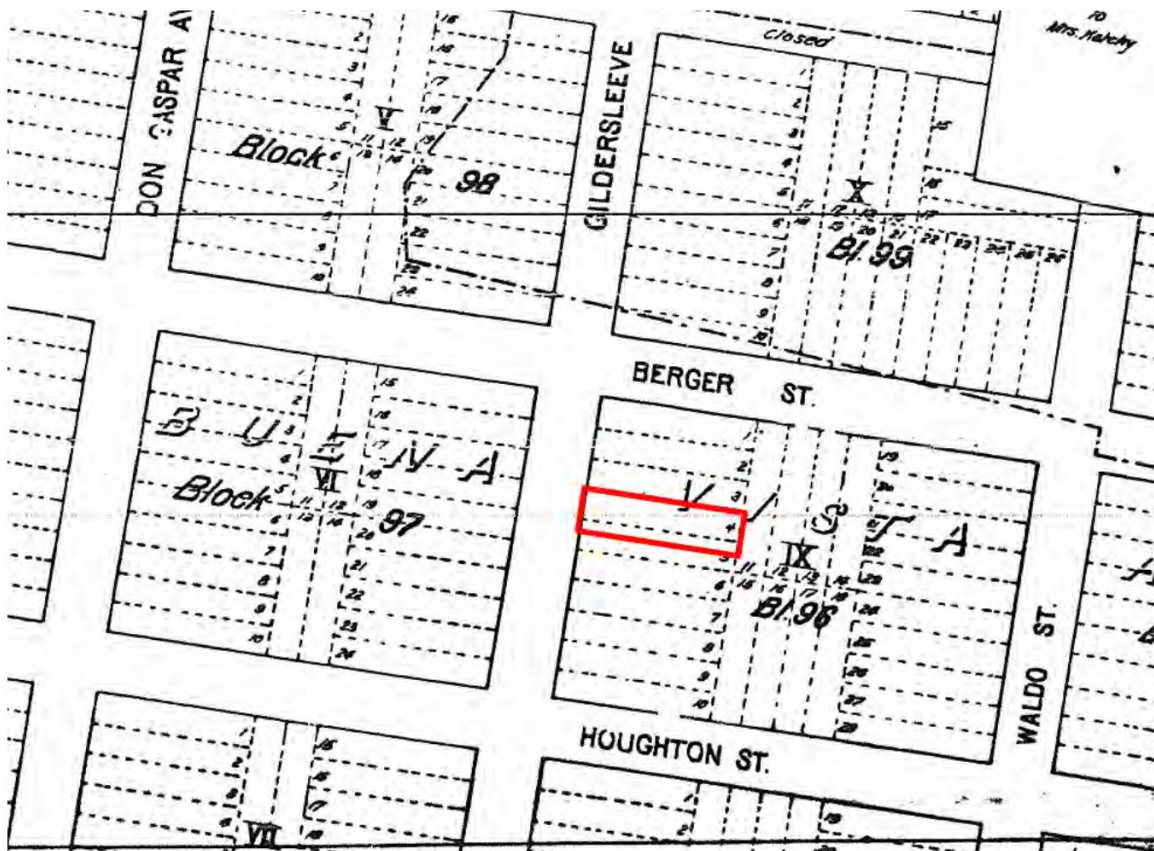


Figure 1: Subjected property highlighted. Buena Vista Addition, Block 9, Lot 4, and part of Lot 5. N. L. King, "Map of the City of Santa Fe," 1912.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Figure 2: November 10, 1958, aerial photograph. Garage circled.
 Note porch is not present.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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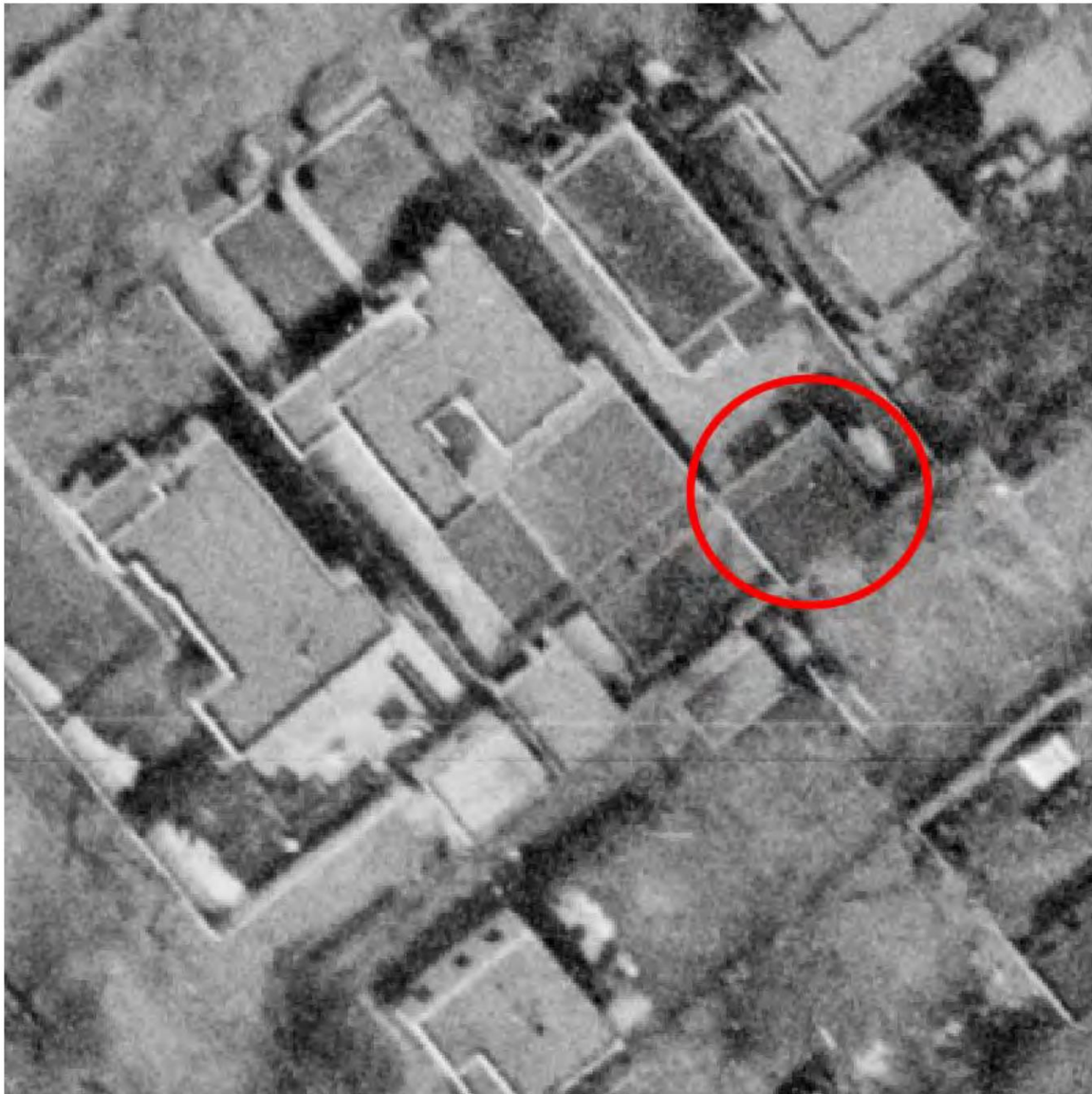
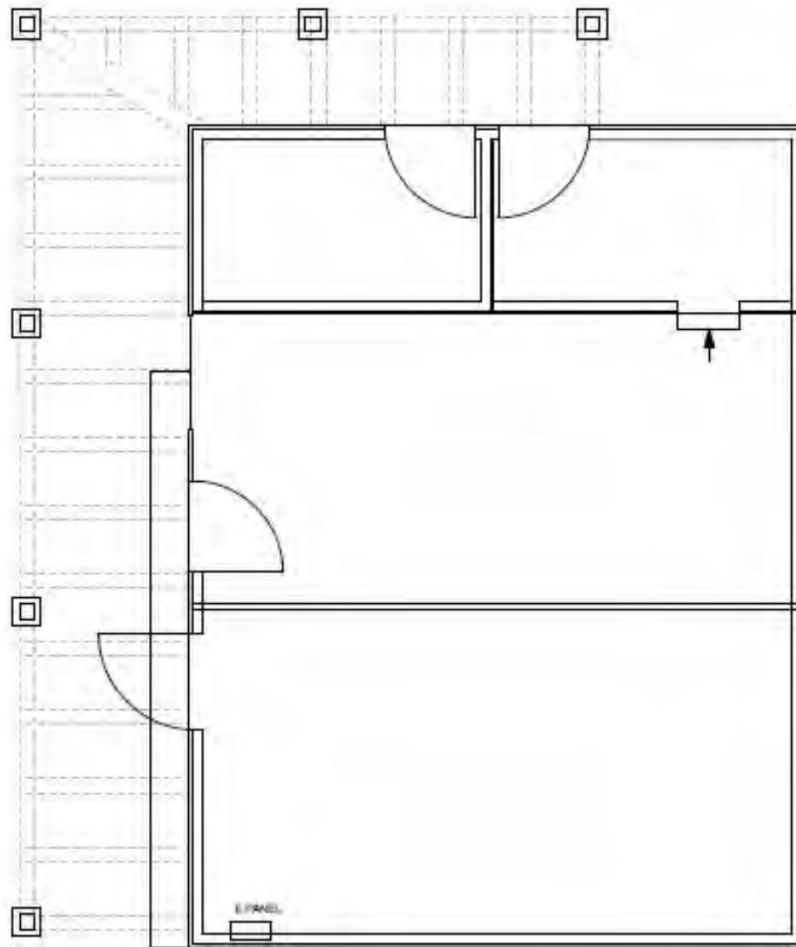


Figure 3: February 2, 1968, aerial photograph. Garage circled. Note porch is present.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe						
		5. Date of Survey: May 9, 2024						



1
FLOOR PLAN EXISTING
 Scale: 1/4" = 1'-0"

Figure 5: Floor plan. Courtesy A. Christopher Purvis Architects.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: May 9, 2024						

Survey Photographs

(All images taken by Giulia Caporuscio, on May 9, 2024, except where indicated)



Photo 2: West elevation and setting. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 3: Garage section. Camera facing east. Marc Natkin, May 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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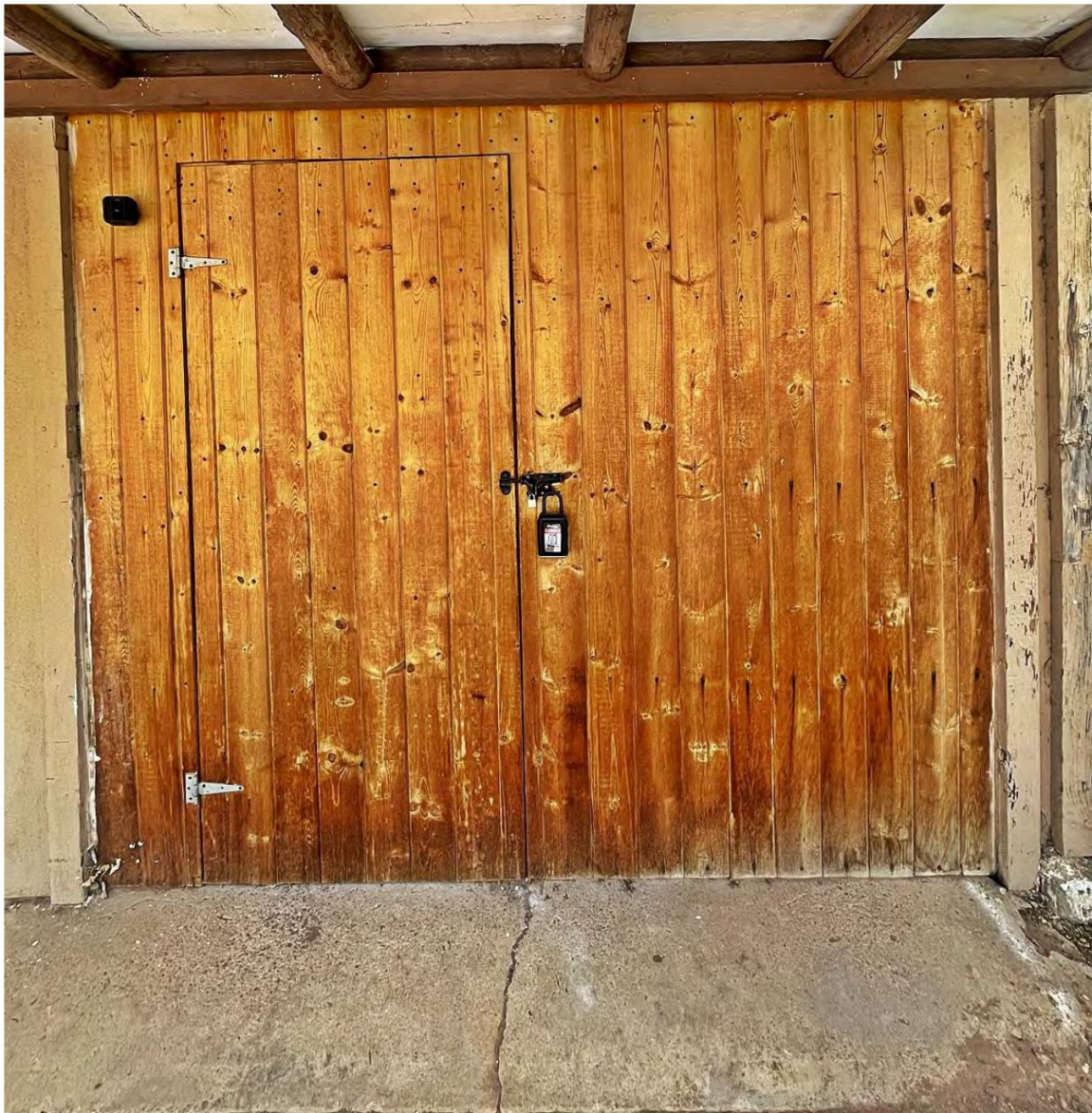


Photo 4: Garage door. Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 5: West elevation, window. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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				3. Local Reference Number: Santa Fe ID: H-2178				
				4. County: Santa Fe				
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Photo 6: North elevation. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 7: North elevation entry doors. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 8: West elevation, faux corbel. Camera facing up.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: May 9, 2024						



Photo 9: Roof decking, northwest corner. Camera facing up.



ELEVATION



ELEVATION



RENOVATION



RENOVATION

GILDERSLEEVE

NORTH

40'0"
N 9°49'00" E

125'0"
S 80°11'00" E

MAIN HOUSE

MAIN HOUSE 1170
GARAGE 75
PORTAL 100
BEARINGS
COVERAG 37.2%

GARAGE
PORTAL

GARAGE

40'0"
S 9°49'00" W

1 SITE PLAN
EXISTING
Scale: 1/4" = 1'-0"

N 80°11'00"
W 125'0"

6/1/11
24
A-
1
JOB NO.
5678

MCCARTNEY CASITA
807 GILDERSLEEVE.
SANTA FE, NEW MEXICO

A. CHRISTOPHER BROWN ARCHITECTS
518 Old Santa Fe trail Sht PMB 373
Santa Fe, New Mexico 87505 Tel: 505 982 5461
E-Mail: Architect@ACP-ART.com

1 NORTH
ELEVATION
EXISTING
Scale: 1/4" = 1'-0"

EPLAN

1 FLOOR PLAN
EXISTING
Scale: 1/4" = 1'-0"

1 SOUTH
ELEVATION
EXISTING
Scale: 1/4" = 1'-0"

1 WEST ELEVATION
EXISTING
Scale: 1/4" = 1'-0"

I COULD NOT SEE CANALE LOCATIONS
-ASSUMING BACKSIDE

1 EAST ELEVATION
EXISTING
Scale: 1/4" = 1'-0"

City of Santa Fe, New Mexico

**Historic
Districts
Review
September
10, 2024
2024-
008935-
JDRB
Alternative
Site
Remodel**

CHRISTOPHER ARCHITECTS PURVIS

Historic Districts
Review Board
City of Santa Fe,
City Hall
Santa Fe, NM

Monday, April
8, 2024

6700 Underleeve St
Enclosure B Plan

4/7/2

A42x36 Floor Plan &
Photographations

4/7/2

elevations

4

PZR completed

(copy to zoning) Mason and
Members of the Historic
Districts Review Board

We are proposing to remodel an existing contributing garage
into a casita as indicated on the attached

drawings. The exterior changes are itemized here below

1) The casita shall be re stuccoed El rey cementitious
buckskin color

2) On the north side we propose to convert two doors to new
windows which shall be wood TDL
aluminum clad white as indicated

3) On the west side we propose to convert exposed plywood
siding to a stuccoed wall with two new
windows which shall be wood TDL aluminum clad white as
indicated

4) We propose to add 5 inches to the top of the parapet to add
roof insulation finished height 9'-0"

Please note we will have a small extension compressor on the north side
on the approach 2980g54 coyote fence

5) We propose to re-stain the existing portal woodwork
medium brown and reroof to match existing
granular cap sheet tan color



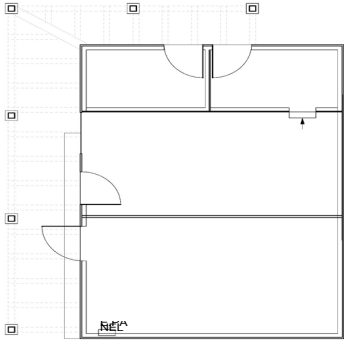
Christopher
Purvis.

518 Old Santa Fe Trail St1 PMB
373 Santa Fe N.M.
87501 Tel 505-982-5461 E Mail [Architect@ACP-
ART.com](mailto:Architect@ACP-ART.com)

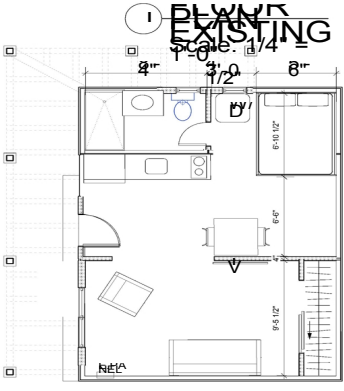
Exterior stucco color El Rey buckskin



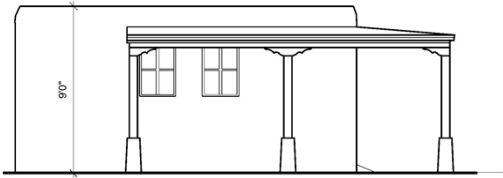
Pella Clad
Color white



1
**PLAN
EXISTING**
Scale: 1/4" = 1'-0"



1
**PLAN
PROPOSE**
Scale: 1/4" = 1'-0"

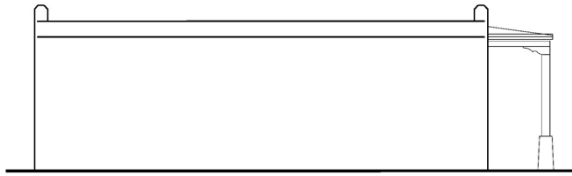


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PROPOSED
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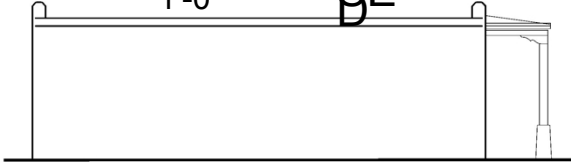


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EXISTING
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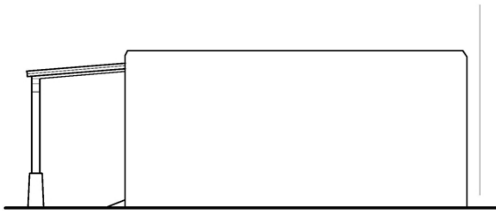
CANILE LOCATIONS
ASSUMING BACKSIDE



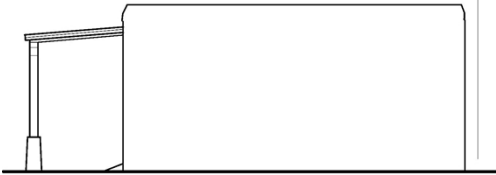
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Scale: 1/4" = 1'-0"



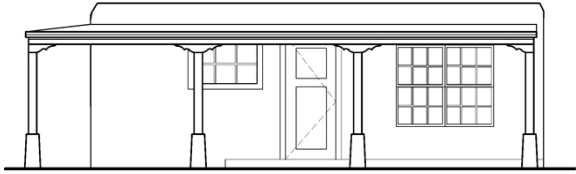
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ELEVATION
EXISTING
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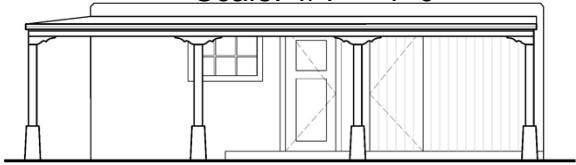
1 ELEVATION
EXISTING
Scale: 1/4" = 1'-0"



1 ELEVATION
PROPOSED
Scale: 1/4" = 1'-0"



1 ELEVATION
PROPOSED
Scale: 1/4" = 1'-0"



1 ELEVATION
EXISTING
Scale: 1/4" = 1'-0"



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008936--HDRB

Project Description: 2024-008936-HDRB, 107 E Palace Ave. units A1, A2, and A3, Downtown & Eastside Historic District, contributing, Chirstopher Purvis, agent for Martha Field Trust LLC, owner, proposes to replace/refurbish windows and doors, install an ADA ramp, reroof, stucco, paint, and repave. An exception is requested to 14-5.2(D)(5)(i) for altering an opening on a primary façade.

Project Location(s): 107 E PALACE AVE A1
Santa Fe, NM 87501

Contacts:

Applicant: Christopher Purvis
518 Old Santa Fe Trail ST1 PMB 373
Santa Fe, NM 87505

architect@acp-art.com

Property Owner: Robert Larragoite

robert@westgatepm.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: True Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West:

Historic District Inventory Number: 2020

Year of Construction: 1883 with 1936 conversion

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008936-HDRB, 107 E Palace Ave. units A1, A2, and A3, Downtown & Eastside Historic District, contributing, Christopher Purvis, agent for Martha Field Trust LLC, owner, propose alterations to a contributing structure at 107 E Palace Avenue to replace/refurbish windows and doors, install an ADA ramp, reroof, stucco, paint, and repave the parking area. An exception is requested to 14-5.2(D)(5)(i) for altering an opening on a primary façade.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Previous Case Documents

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [Window Assessment and cut sheets]

STAFF RECOMMENDATION:

Staff finds that the exception criteria have been met and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The multi-family residential structure at 107 East Palace (previously addressed 109 E. Palace Avenue) is contributing to the Downtown and Eastside Historic District with the south elevation designated as primary. The structure is tucked behind the buildings lining Palace Avenue. The south elevation is only partially visible from Palace Avenue.

According to the Historical Cultural Properties Inventory (HCPI), the structure was originally constructed for stables circa 1883, the Spanish Pueblo style building was converted for storage and then apartments between 1930 and 1948. The east elevation portal was constructed by 1973.

The approximately 2,000 sq. ft. building is long, rectangular, single-story, mostly brick, and is oriented east to west with the front of the building facing south. The structure was built at approximately 18 inches below grade, and at some points the window sashes are below grade. The building has four sections of slightly varied height due to the grade. The windows are wood sash windows, but a few wood casement windows are found on the north elevation. According to the window assessment two windows on the south primary elevation are non-historic 1980's windows and the doors on all sides of the structure are non-historic 1980's doors as well.

Currently the apartments are used for storage. The 2021 status review case for the structure is the only case on record in the Historic Preservation Division.

The applicant proposes the following exterior alterations:

- 1) Replace three doors with 4-lite panel doors and widen those doors from 2'5" to 3'-0" wide on the primary south elevation.
- 2) Install an ADA ramp behind the retaining wall on the south side of the building to create access to units A2 and A3.
- 3) Re-roof the structure with tan color TPO roofing material.
- 4) Stucco the building with El Rey cementitious "Buckskin".
- 5) Repave the parking lot.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(i): The applicant requests an exception to alter an existing opening on a primary facade.

(i) *Do not damage the character of the district*

Applicant Response: This proposed 6" widening of two (non-historic) doors does not damage the streetscape because it is not visible from the street and to the extent anyone in the parking lot can see it the changes are minimal and the overall opening pattern is the same.

Staff Response: Staff agrees with this evaluation. The widening of the doors will be a minor change that will not be noticeable from the public way.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The Reason the doors must be widened is that otherwise the entire public would not have access to these units and since this is now a requirement for All commercial spaces would make the units unusable.

Staff Response: Staff agrees with this evaluation. The apartments are not currently used for anything more than storage because access is an issue. Widening the doors will give access to the structure and make it useable for offices. The new access will also make it meet ADA requirements.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The proposed ADA accessibility improvements Provide a way for this building to be used as more than storage and to rejoin the available downtown spaces as available to the public.

Staff Response: Staff agrees with this evaluation. The apartments are not currently used for anything more than storage because access is an issue. Widening the doors will give access to the structure and make it able to be used for offices by meeting the ADA requirements for commercial buildings. The new access will also make it meet ADA requirements.

(iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;*

Applicant Response: The fact that this building has become below grade due to the constant raising of the public streets and parking lots means that in order for this particular building to continue to have a useful life A way to provide access for ADA is required and this condition is not repeated elsewhere.

Staff Response: Staff agrees with this evaluation. The below grade nature of the structure makes it difficult to access and is unique to the structure and would not be applicable to other structures in this streetscape.

(v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant; and*

Applicant Response: The fact that street and parking levels have been raised is not a condition that is in the control of the applicant and the fact that the current laws require ADA access to commercial spaces is not a circumstance that is due to the applicants' actions.

Staff Response: Staff agrees with this evaluation. The below grade condition is not a circumstance that is due to actions of the applicant.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: Placing the ramp behind an existing retaining wall means that it will effectively not be visible and making it provide access to two units at once also reduces the impact on the neighboring properties. Keeping and refurbishing the two adjacent windows will preserve the historic character of that elevation. Also, custom building doors that match the look (but wider) of the existing doors will also reduce the impact on the historic elevation.

Staff Response: Staff agrees with this evaluation. The ADA access ramp is virtually invisible from the streetscape and the widening of the doors will have a minor effect on the facade and on the public visibility.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style",

which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.


(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: H 2961- Supplement 4. County: Santa Fe Parcel #: 11117184
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: November 17-18, 2020		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input checked="" type="checkbox"/> No: Main property (Trujillo Plaza) surveyed August 1995		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6878437,-105.9371662		
10. Photo Information: Sharon Joyce, photographer. View of partial south (front) façade, facing northwest.		
11. Brief Description of the Property: <i>The following is a supplement to the August 1995 Historic Building Inventory for Trujillo Plaza</i> Hidden in a corner below several tall buildings is a relict building providing a glimpse of old Santa Fe. The subject building — a bumpy, rectangular mass — sits along a darkened driveway behind East Palace Avenue, sunk nearly 18” below grade. At its lowest point, some of its bottom window sashes are not visible. It is dwarfed by the three-story 1990s-built Inn of the Anasazi to the north. Its west wall joins the backside of the former Torreon Building on Washington Avenue. In front are the rough, working sides of the Rainbow Man store and The Shed restaurant (Photo 1). <i>Continued on Page 5.</i>		
12. Who uses the property? Storage		
13. Construction Date: Unknown Date: c.1936, creation of apartments Known <input type="checkbox"/> X Estimated <input checked="" type="checkbox"/> Source: newspaper account		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Sharon Joyce

For: Mary Field Family LLC

18. Owner (if known) and other knowledgeable people:

Owner: Mary Field Family LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing: apartments Non-contributing:
 No Status:
If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

**Apartments: Recommended
Contributing Structure Status to
Downtown and Eastside
Historic District, 12/30/2020**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																							
6. Visible Construction Material: Garage <input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick* <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: _____ <small>* Based on 1948 Sanborn Fire Insurance Map</small>		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input checked="" type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: _____ Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____																																					
10. Windows * <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Operation</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Glazing</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>1/1</td> <td>1</td> </tr> <tr> <td>Single-Hung</td> <td>Wood</td> <td>6/6</td> <td>15</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>6</td> <td>3</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>4</td> <td>2</td> </tr> </tbody> </table> <small>*some windows were not accessible during the site visit.</small>		Operation	Material	Glazing	Number	Single-Hung	Wood	1/1	1	Single-Hung	Wood	6/6	15	Casement	Wood	6	3	Fixed	Wood	4	2	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Type</th> <th style="text-align: left;">Style</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Glass-Panel</td> <td>Wood/Glass</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>15-Light</td> <td>Wood/Glass</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>Solid</td> <td>Steel</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Glass-Panel	Wood/Glass	2	Single-Leaf	15-Light	Wood/Glass	2	Single-Leaf	Solid	Steel	1
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12. Chimneys <input checked="" type="checkbox"/> N/A		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry: recessed <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																					
14. Other Significant Features N/A																																							
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Stables: c.1883-1935; numerous alterations of footprint; Sanborn maps. #2 Apartments: c.1936; conversion to apartments involving major alterations and/or new construction; Sanborn maps and newspaper account. #3 Apartments: pre-1973; introduction of east elevation portal; Sanborn maps and aerial photographs.																																							

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

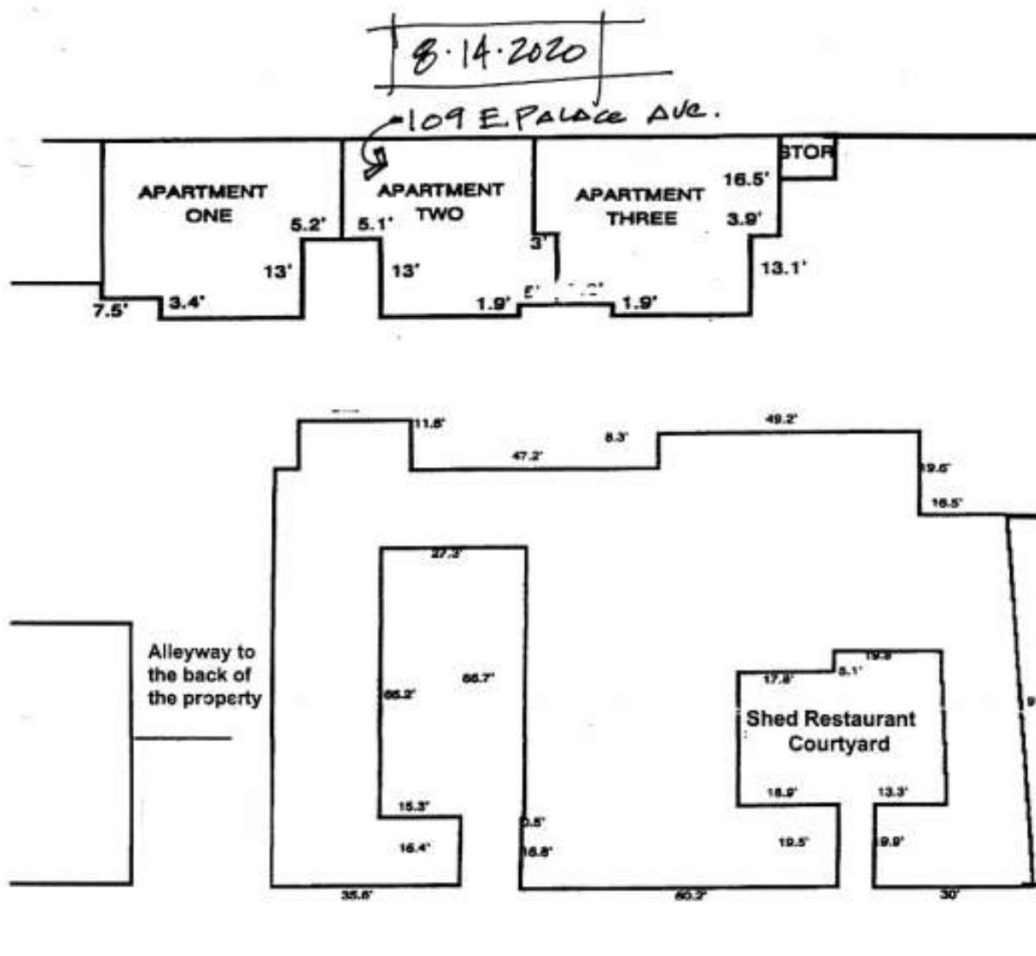
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Lot sketch map. Courtesy Kinsey Architecture + Construction.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: November 17-18, 2020			

Architectural Description Continued

With a complicated genealogy, the building likely predates 1880, and from Sanborn fire insurance maps, it originally functioned as stables and storage. Its basic east-west massing was evident by the late 19th century. Over numerous decades it evolved, with sections demolished and replaced and then reworked again. In 1936, the combination stables and storage were converted into small apartments, ranging from one to three rooms. Based on the 1948 Sanborn map, it is mostly made of brick construction.

South Façade

The façade, with its mix of windows and doors, offsets, and voids, communicates its idiosyncratic growth (Photo 2).

The elevation is divided into roughly four sections. These hold entrances and windows for what were once apartments. The windows are mostly larger wood sash with 6/6 divisions. They have a typical muntin profile and locking mechanisms of a c.1930s window. Simple wood casings set flush to the stucco trim the windows.

Starting from the west is a short, recessed section with a single window (Photo 3). As it sits at a lower height and with different placement, it may be a remnant of an early structure shown on early Sanborn maps (Figures 5 & 6).

Moving east, rounded parapet ends delineate the next section. An enclosed portal sits below grade near the center (Photos 4 & 5). Continuing to the east are two large sash windows.

The subsequent section is a short, recessed wall fenestrated with two doors and two windows (Photo 6). The doors — inexpensive wood-panel-glass units — are flanked by four-light barn sash.

The final section is a rectangular roomblock with rounded parapet ends (Photo 7). Similar to the second section, it has large 6/6 wood sash windows with simple board casings.

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Secondary Elevations

The east elevation is characterized by its portal (Photo 8). Based on its design and construction, it appears to be an added-on feature. It shelters a single 15-light door leading to a former bedroom. The building concludes with a bump-out enclosing a small storage room.

The north elevation, sitting along a narrow alley, faces the Inn of the Anasazi. It has a similar array of older wood sash windows, but with wood casements at bathrooms (Photos 10 & 11).

A cementitious buckskin stucco lends some cohesion to the building’s multi-decade evolution. So do the exaggerated parapets and relatively recent trough-type canales. These may represent non-historic interventions to help roof drainage.

The interior is a warren of small rooms, reflecting its use as four apartments (Figure 4). Observable rooms have flat, plastered ceilings. The small kitchenettes have period cabinetry and linoleum floors (Photo 11).

Historical Overview

This odd little building, which started as stables before being converted to storage, then to apartments, and finally to storage again, is mostly hidden from public view. It sits in an empty space between several buildings and is only partially visible from a street. Its history is equally somewhat hidden.

The buildings in front of it, lining East Palace Avenue, have a storied past, but there should be no temptation to tie this structure to them. Bearing the lofty name of the Arias de Quiros site, those buildings do qualify as true antiquity.¹ They represent the placita form of house, where historically four solid adobe walls enclosed a courtyard — a form of shelter dating to the Spaniard population’s interaction with the Islamic world.

At least one of the placita homes stood on the north side of what is now the 100 block of East Palace Avenue before Reconquest. After 1692, the block took further shape. It is

¹ Historic Santa Fe Foundation, *Old Santa Fe Today* (Albuquerque: University of New Mexico Press, 1991), 87-88.

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thought that Diego de Vargas began this work and later awarded the block to Captain de Arias de Quiros for his military service.² At the advent of the American conquest, as seen on Lt. Jeremy F. Gilmer’s map of Santa Fe, the north side of the block had three courtyard homes. At some point in the 20th century, the placita in front of the subject building took on the name of Trujillo Plaza.

A Changing Stable

Sanborn fire maps, starting in 1883 and ending in 1948, provide a 65-year history of the property.

1883-1886

The building in 1883 is indicated to be a set of stables likely associated with a commercial structure to the west, fronting Washington Avenue (Figure 5). It consisted of three distinct sections. Starting at the west, the building started as an adobe rectangle joined to a brick square, ending with an L-shape form. Attached to the west end was a narrow, perpendicular frame structure of unknown use. Two of the units had gable roofs covered with tin. Three years later, the building had already changed. Based on the 1886 Sanborn, the west adobe portion had been replaced by a brick structure with a frame overhang (Figure 6). The far east section had also been modified.

1902-1908

This configuration continued until the late 1880s, after which the west and center sections were joined under one roof. By 1902, the perpendicular frame piece at the west was gone (Figure 7). Six years later, a small brick extension had been added to the east end (Figure 8). The building kept this form through the 1920s.

1930-1948

The next Sanborn map of 1930 reveals something different (Figure 9). By then, the stable function had been reduced to only the west end. The building now had three windows across its south façade and two porches but it was not designated a dwelling. This arrangement likely signaled a workshop or storage area.³

² Ibid, 87.

³ Frank W. Clancy likely owned the property at this time. This is supported by a published probate notice describing the subject property as his estate. "Legal Notices," *Santa Fe New Mexican*, August 27, 1932, 5.

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The last available Sanborn map of 1948 shows the onetime stable subdivided into three dwellings (Figure 10). The building’s footprint had a number of discernable offsets. Premised on the 1940 federal census, the conversion to apartments had occurred earlier.

A 1936 newspaper mentions that Severino Trujillo, a businessman and resident of namesake placita, was building small apartments at 109 East Palace.⁴ Ensuing advertisements described various configurations, including two and three-room apartments — one with a radio and a Frigidaire, and another called a “bed-sitting room,” a British term indicating a one-bedroom apartment where the single room doubled as a living room.

Behind a Secret

Early in 1943, the federal government took over Trujillo Plaza, just as it had with the Los Alamos Ranch School. The year before, the ancient building harbored a row of law offices, being once ideally situated on the same block as the county courthouse. It also was the home of its namesake, Severino Trujillo.

By March 1943, all one but of the attorney offices had been removed, and the building’s heavy wrought-iron gate remained locked. An informal small blue sign with red letters was placed east of the entrance. It read:

“U.S. ENG-
RS”

This was an informal and cryptical way of saying nothing. In fact, it meant, “U.S. Engineers.”⁵

Here, as often retold, Dorothy McKibben kept an office on the east side of the gate and worked as the literal gatekeeper for the secretive Manhattan Project. The old plaza also held offices for other Manhattan team members, including Columbia University chemist

⁴ “Big Building Boom About to Hit Old Santa Fe,” *Santa Fe New Mexican*, March 20, 1936, Section 2-5. As with many historic properties in Santa Fe, the changing addresses and sub-addresses of Trujillo Plaza challenge a complete understanding of the property’s evolution and use.

⁵ Jennet Conant, *109 East Palace: Robert Oppenheimer and the Secret City of Los Alamos* (New York: Simon & Shuster, 2005), 58.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID #: H-2961 – Supplement			
		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			

Dana Mitchell, and advisers shipped from U.C. Berkeley. Robert Oppenheimer, the project’s cosmic mastermind, maintained his office along the north wall.

According to author Jennet Conant in her book *109 East Palace*, Oppenheimer could open a pair of French doors and stare out into a walled garden.⁶ But local historian and retired LANL engineer John Ruminer, who also wrote about 190 East Palace, described the back area as a parking lot, where a waiting vehicle would whisk scientists to the Hill.⁷

The 1944 city directory, the only one available for the period, shows the units (there were then four) occupied by servicemen.⁸ Two are indicated to be working for the U.S. Navy Recruiting Station, which at that time sat at city hall; the others were with the army.

Given the high secrecy of the project, these jobs may have been fictitious. It’s not too much of a leap of imagination to think these men may have had a role providing security for the building hiding this world-altering project. Dorothy McKibben recalled that “the place was under armed guard night and day,”⁹ and the guards had to live somewhere.¹⁰

After the Bomb

While Trujillo Plaza would lose some of its heat and secrecy after the war, it continued to serve as the Los Alamos Scientific Laboratory’s Santa Fe office until June 1963. By this time, the apartments in the old stable had turned civilian.

Two of the apartments housed young women, including Lillian Kidder (#1), a teacher, and the daughter of the architect Bradley P. Kidder.¹¹ Edith McManmon, a widow who

⁶ Ibid., 57.

⁷ John Ruminer, email to John Murphey, December 20, 2020.

⁸ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1944* (El Paso: Hudspeth Directory Company, 1944), 284; 336.

⁹ McKibben quoted in “Smiling ‘Front Man’ for Atomic Bomb,” *Santa Fe New Mexican*, June 30, 1963, 5.

¹⁰ John Ruminer did not look into the origin and use of the former stables in his research on 109 East Palace Avenue (see below), but communicated to the author that the apartments made “some sense from a space standpoint” for the location of guards. John Ruminer, email to John Murphey, December 21, 2020. John Ruminer, *109 East Palace Avenue: A Microcosm of Santa Fe’s Four Hundred Year History [Nutshell Series No. 4]* (Los Alamos, N.Mex.: Los Alamos Historical Society, 2013).

¹¹ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1953* (El Paso: Hudspeth Directory Company 1953), 152; 392.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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worked as a secretary for the Museum of New Mexico Library, occupied #3. Don Purcell, a designer for the New Mexico State Highway Department, lived in #4. All had telephones and pedestrian access to the best restaurants in town. The apartment represented a time when working people could live downtown — perhaps cheaply.

Since 1983, the building has served as storage for the Rainbow Man, and has experienced no further change.¹²

Evaluation of Historical Status

While much altered from its 19th-century origin as a stable, the building appears to have taken its current form, sans a few exterior changes, by at least the late 1940s. Its association with the Manhattan Project at this point is speculative but worthy of future investigation.

Conclusion

Given the above considerations, the recommendation is to maintain Contributing Structure status to the Downtown and Eastside Historic District.

¹² Zac Cox, telephone communication with John Murphey, December 22, 2020. Cox is the grandson of Rainbow Man proprietors Bob and Mary Kapoun.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			

Illustrations

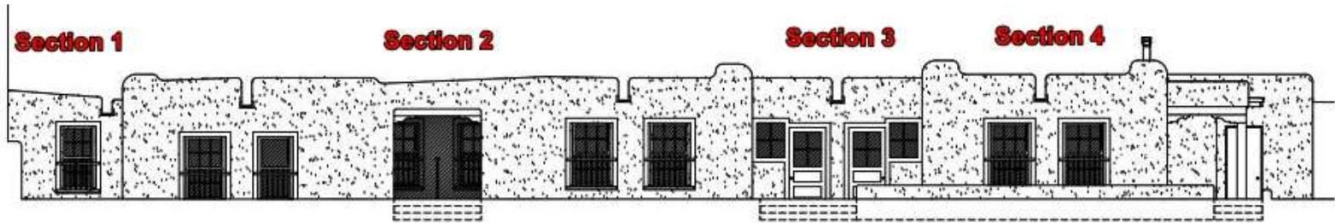


Figure 1: Existing south (front) elevation, 2020.
 Courtesy Kinsey Architecture + Construction.

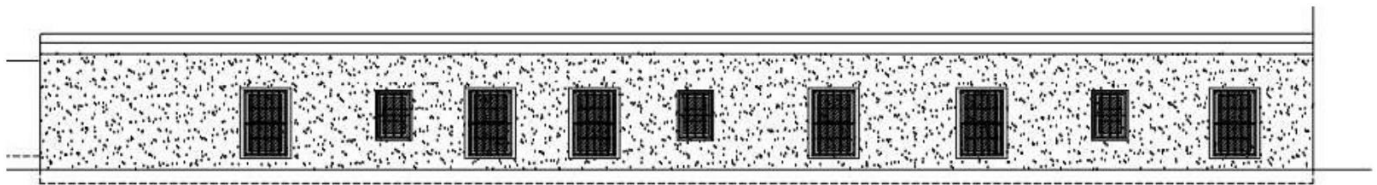


Figure 2: Existing north (rear) elevation, 2020.
 Courtesy Kinsey Architecture + Construction.

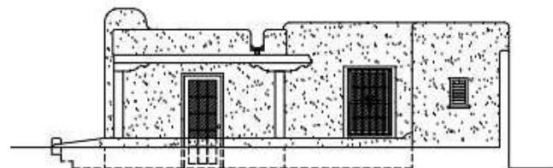


Figure 3: Existing east elevation, 2020.
 Courtesy Kinsey Architecture + Construction.



Figure 4: Existing floor plan, 2020.
 Courtesy Kinsey Architecture + Construction.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D			
1. Name of property:	2. Location:	3. Local Reference Number:	4. County: Santa Fe			5. Date of Survey: November 17-18, 2020		
109 East Palace Avenue Apartments	109 East Palace Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	Santa Fe ID #: H-2961 – Supplement						

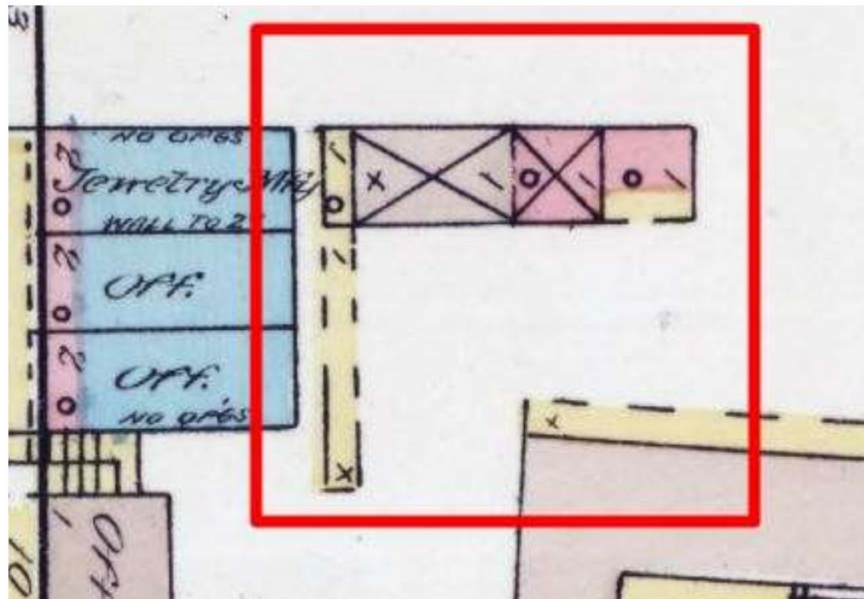


Figure 5: 1883 Sanborn Fire Insurance Map.

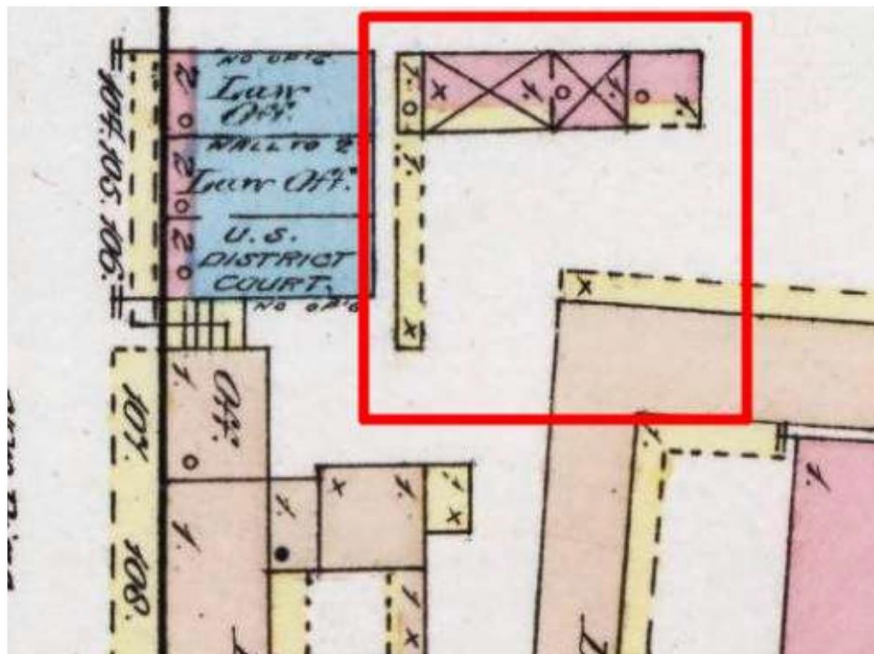


Figure 6: 1886 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP	SRCP	Criteria	A	B	C	D
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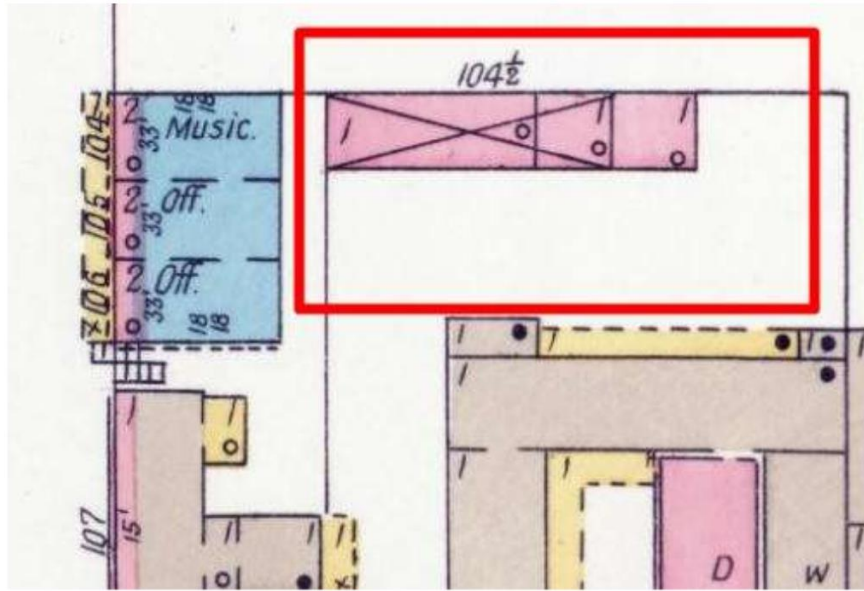


Figure 7: 1902 Sanborn Fire Insurance Map.

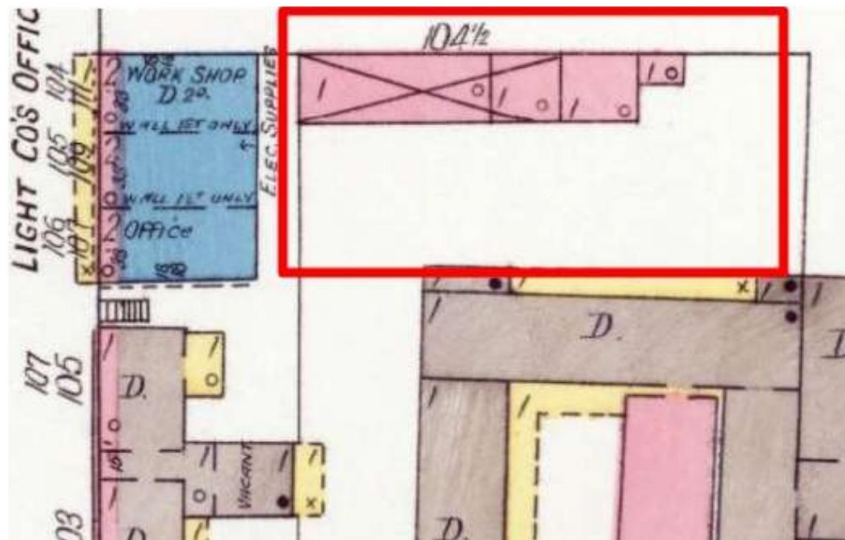


Figure 8: 1908 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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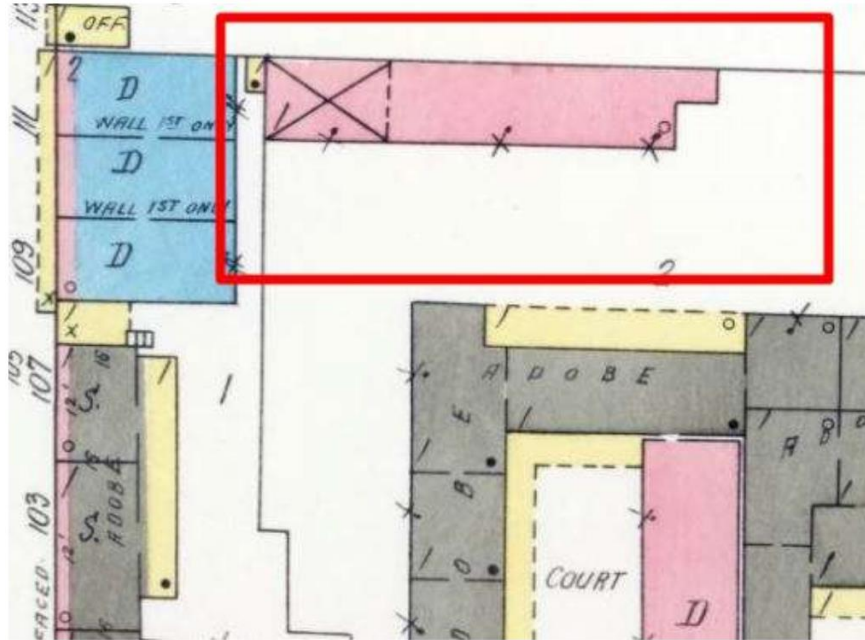


Figure 9: 1930 Sanborn Fire Insurance Map.

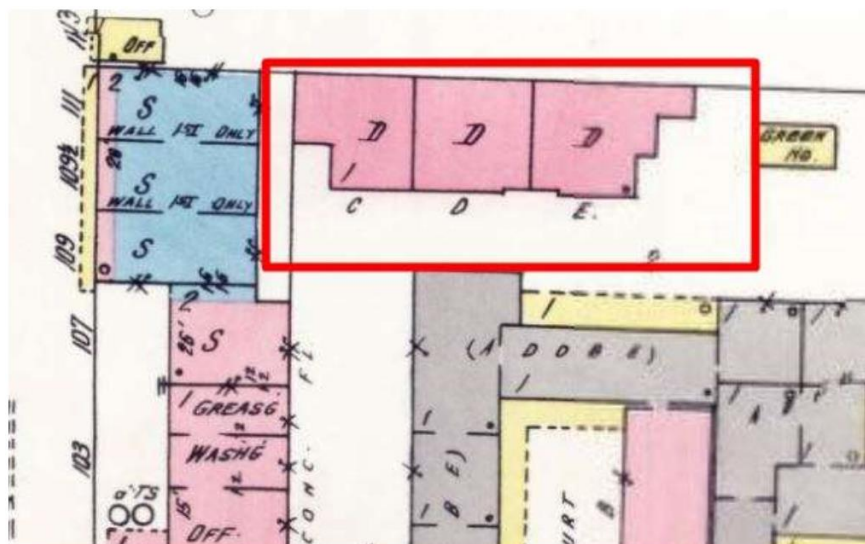
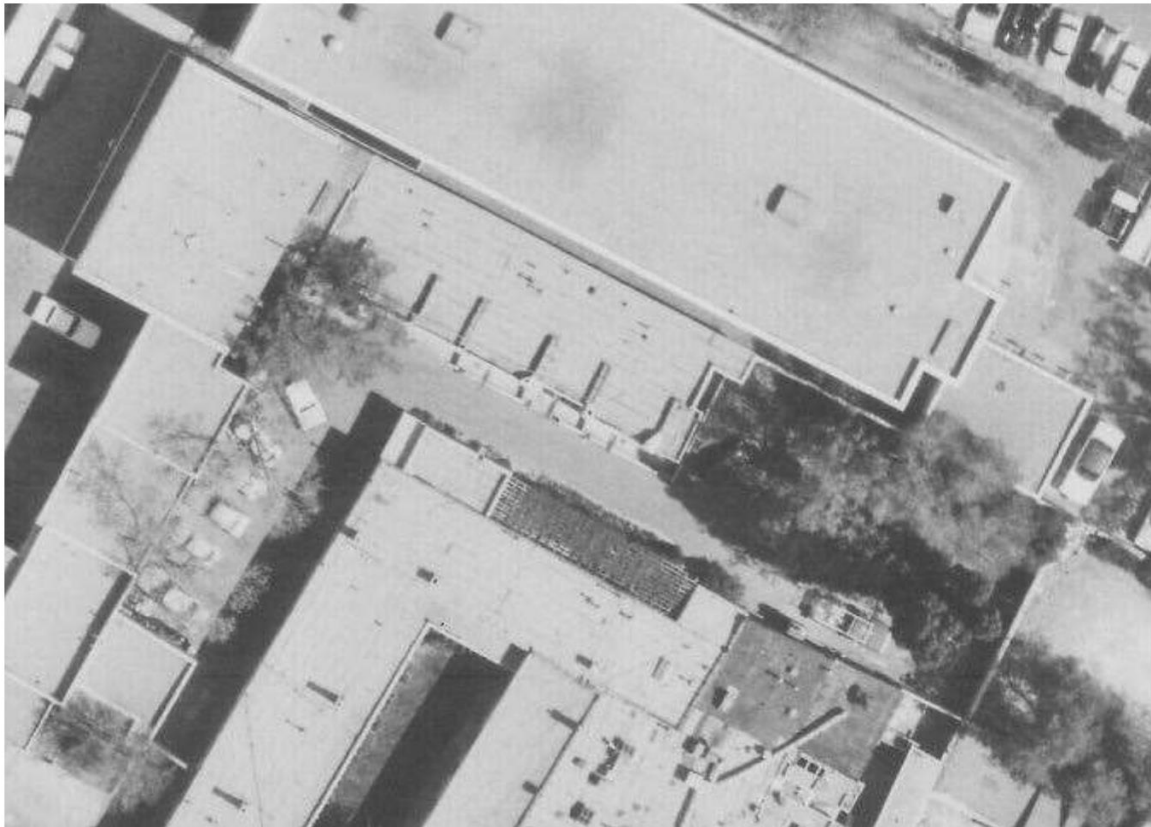


Figure 10: 1948 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
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**Figure 11: 1973 aerial photograph.
Courtesy New Mexico Department of Transportation.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: November 17-18, 2020			

Survey Photographs

(All images taken by Sharon Joyce on November 18, 2020 unless otherwise noted).



Photo 1: Setting.
The Shed Restaurant at center.
November 17, 2020.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: November 17-18, 2020		



**Photo 2: Partial south elevation.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 3 South elevation, Section 1.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: November 17-18, 2020			



**Photo 4: South elevation, Section 2.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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**Photo 5: South elevation, Section 2, portal.
 Camera facing north.
 November 17, 2020.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 6: South elevation, Section 3.
Camera facing north.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 7: South elevation, Section 4.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 8: East elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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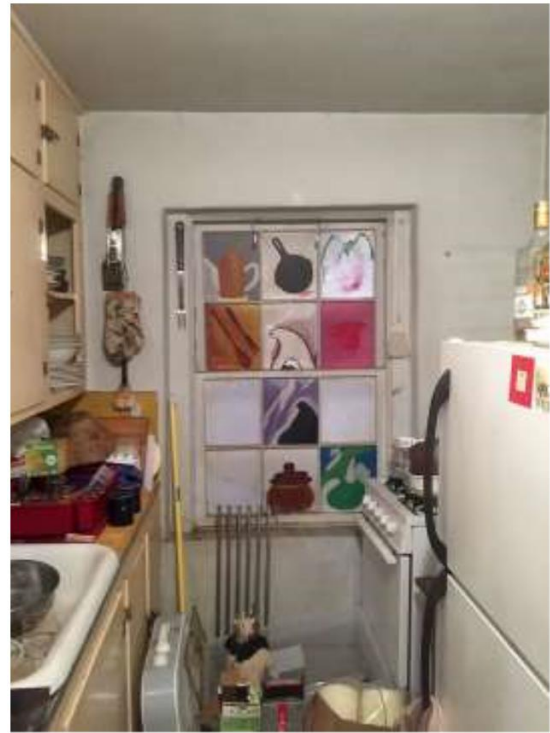


Photo 9: North elevation (right).
Camera facing east.
Carlos Kinsey, August 28, 2020.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 11: Interior photographs of north elevation windows.
Camera facing east.**



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:

Site Address:

Date Submitted: 8-5-2024

107 Palace Unit A

Property Owner of Record: Martha Field Family Trust

Proposed Construction Description:

Applicant/Agent Name: Christopher Purvis

Rehabilitate changing some windows and doors

Contact Person Phone Number: (505) 982-5461

TOTAL ROOF AREA: sqft 9635 sqft

Zoning District: BCDPLA

51.7

- Overlay:
- Escarpment
 - Flood Zone*
 - Other: H DR B

Lot Coverage Space Required: _____

Setbacks:

Proposed Front: EX Minimum: 0
2nd Front? _____

Proposed Rear: EX Minimum: _____

Proposed Sides: L EX EX Minimum: _____

Submittals Reviewed with PZR:

- Legal Lot of Record
- Development Plan
- Building Plans
- Existing Site Plan
- Proposed Site Plan
- Elevations

Height: Proposed 11'6 EX

Maximum Height: _____ or

Regulated by Historic Districts Ordinance

Regulated by Escarpment District

Supplemental Zoning Submittals Required for Building Permit:

- Zero Lot Line Affidavit

Parking Spaces:

Proposed _____ Accessible _____

Minimum: _____

Access and Visibility:

- Arterial or Collector**
- Visibility Triangle Required

Bicycle Parking**:

Proposed: _____ Minimum: _____

** Commercial Requirement

Use of Structure:

- Residential
- Commercial Type of Use: _____

Terrain: 30% slopes _____

* Requires an additional review conducted by Technical Review Division.

** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Chris topher Purvis

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

8*5*2024
DATE

To Be Completed By City Staff:

2024-008883-PAR

Additional Agency Review if Applicable:

- Escarpment Approval by _____ Date: ___/___/___
- Flood Plain Approval by _____ Date: ___/___/___
- Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

Legal Lot of Record Provided Scanlon Map Block 13 Lot 4

REVIEWER: Rebekah Clouser

DATE: 8/19/2024

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

Exhibit A

Previous Case

2021-003458-HDRB

Status Review

109 East Palace Avenue

PUBLIC HEARING

Stefani Beninato, previously sworn, said everyone has the same considerations and that doesn't satisfy a hardship. This neighborhood does have shingled roofs. If the Board approved this she would think the skylights should become roof level. She thought the water could be captured for nonedible plants and having a vegetable garden should not be the primary criteria for allowing this type of roof. She noted the example used of the house on Don Gaspar is slightly different than this house.

BOARD DISCUSSION

Member Bienvenu asked for the Code provision that addressed this issue. The exception is requested because it changes the existing roof material. He wanted to understand if the Code refers to the existing, even if it is not historic.

Mr. Schwab noted (D)6 uses "existing" and states, "The existing roof styles, the materials shall be maintained or replaced in kind, if necessary." It doesn't say historic or original. There is a debate around that.

Ms. Paez indicated this only applies to contributing or significant structures for designated homes. She thought this could be read that the intent is to preserve the original roof style.

Member Bienvenu thought that would be the obvious intent. It would be strange if a roof put in five years ago had to be maintained forever. He said he appreciated Chair Rios' comments about the district. He said, as he mentioned previously, it would be helpful if there was an historic survey of the history of roof materials in the neighborhoods. He thought this material is common but would question whether that is because the Board has been approving them recently, or there have always been a percentage of that style of roof. There is so little information on what the original roof was.

MOTION: In Case 2021-003380-HDRB, 806 Don Gaspar Avenue, Member Bienvenu moved that the application be approved as submitted and found that the exceptions have been met. Member Roybal seconded the motion.

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Biedscheid, Bienvenu, and Roybal voting in favor and none voting against.

H. NEW BUSINESS

1. **Case 2021-003458-HDRB. 109 East Palace Avenue.** Downtown and Eastside Historic District. Carlos Kinsey, agent for Martha Field Family,

LLC, owner, requests a status review and primary facade designation for a residential structure. (Daniel Schwab)

STAFF REPORT

The structure in question at 109 East Palace has contributing status to the Downtown and Eastside Historic District. Despite this location, it has not much historical connection with the well-known buildings lining East Palace, directly in front of it. It is located north of Palace street, facing south onto a parking lot. Originally constructed for stables and storage probably before 1880, it evolved over many decades, mostly of brick, in a long rectangular single-story form oriented east to west of approximately 2000 square feet. It sits around 18 inches below grade, and at some points the window sashes are below grade. It is structured as a series of apartments but is used for storage at present.

The structure faces south. The south façade is visible from the street, and communicates the organic character of the building with four sections of slightly varied height and depth. The windows are mostly wood sash windows, probably dating from the 1930s. The east façade is very short and has a portal that appears to be a later addition. The north elevation, on a narrow alley, is clearly the rear of the building. Like the south façade, it has a series of historic wood sash windows as well as wood casements located at the bathrooms.

STAFF RECOMMENDATION

Staff recommends designating only the south façade as primary.

QUESTIONS FOR STAFF

Chair Rios clarified that the south façade is the front façade.

Mr. Schwab said that was correct.

APPLICANT'S PRESENTATION

Carlos Kinsey, 3600 Cerrillos Road, Unit 205, was sworn in. He agreed with Mr. Schwab's recommendation and had nothing to add. He said the HCPI is extremely thorough and has a similar recommendation to maintain the contributing status. He agrees with that.

Chair Rios said she enjoyed reading the history of the building.

PUBLIC HEARING

Stefani Beninato, previously sworn, said she was confused by the address of the building. She understood that address is a commercial retail space and to the westside is a courtyard and a store. She agrees with the designation.

Chair Rios asked what address other than Palace Avenue the building could have.

Mr. Schwab didn't know. He said this was the address in question.

Kathy Rivera, PO Box 363, Santa Fe was sworn. She said she was also confused why these two properties would have the same address. She thought it could be one of the historic buildings with an historic marker as one of the initial entry points for workers who came to Santa Fe to work on the Manhattan Project. There is a lot of historic documentation for 109 E. Palace Ave. relating to the Manhattan Project. She just wanted to point that out to the Board.

Ms. Ramirez Thomas explained that is the correct address.

Chair Rios asked if the buildings in front also have the same address.

Ms. Ramirez Thomas replied it appears that is the case.

Chair Rios said that this was related to the Manhattan project was very interesting.

Member Biedscheid asked Mr. Schwab his thoughts on the east façade. It was mentioned in the HCPI as characterized by a portal that was probably an addition. There was no date given. She thought corner portals a distinctive feature of a certain period of architecture.

Mr. Schwab said he followed the lead of the HCPI. There was a lot of history, but his sense was it was a recent portal.

Ms. Ramirez Thomas shared aerial photos indicating the portal was there in 1973 but not present in the photograph from 1930 or 1948.

BOARD DISCUSSION

MOTION: In Case 2021-003458-HDRB, 109 East Palace Avenue, Member Bienvenu moved to maintain contributing status and designate the south façade as primary. Member Biedscheid seconded the motion.

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Biedscheid, Bienvenu and Roybal voting in favor and none voting against.



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-003458--HDRB

Project Description:

Project Location(s): 109 E PALACE AVE
Santa Fe, NM 87501

Contacts:

Property Owner: Willy Magee

willymageestudio@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number: 2021

Year of Construction: 1870s?

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: April 27, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-003458-HDRB

Address: 109 East Palace Avenue
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form (2021)

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends designating only the south façade as primary.


BACKGROUND & SUMMARY:

The structure in question at 109 East Palace has contributing status to the Downtown and Eastside Historic District. Despite this location, it has not much historical connection with the well-known buildings lining East Palace, directly in front of it. It is located north of Palace street, facing south onto a parking lot. Originally constructed for stables and storage probably before 1880, it evolved over many decades, mostly of brick, in a long rectangular single-story form oriented east to west of approximately 2000 square feet. It sits around 18 inches below grade, and at some points the window sashes are below grade. It is structured as a series of apartments but is used for storage at present.

The structure faces south. The south façade is visible from the street, and communicates the organic character of the building with four sections of slightly varied height and depth. The windows are mostly wood sash windows, probably dating from the 1930s. The east façade is very short and has a portal that appears to be a later addition. The north elevation, on a narrow alley, is clearly the rear of the building. Like the south façade, it has a series of historic wood sash windows as well as wood casements located at the bathrooms.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID#: H2961- Supplement 4. County: Santa Fe Parcel #: 11117184							
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object									
6. Date of Survey: November 17-18, 2020									
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input checked="" type="checkbox"/> No: Main property (Trujillo Plaza) surveyed August 1995									
8. Name of Project: HDRBstatus review									
9. Lat/Long: 35.6878437,-105.9371662									
10. Photo Information: Sharon Joyce, photographer.			View of partial south (front) façade, facing northwest.						
11. Brief Description of the Property: <i>The following is a supplement to the August 1995 Historic Building Inventory for Trujillo Plaza</i> Hidden in a corner below several tall buildings is a relict building providing a glimpse of old Santa Fe. The subject building — a bumpy, rectangular mass — sits along a darkened driveway behind East Palace Avenue, sunk nearly 18” below grade. At its lowest point, some of its bottom window sashes are not visible. It is dwarfed by the three-story 1990s-built Inn of the Anasazi to the north. Its west wall joins the backside of the former Torreon Building on Washington Avenue. In front are the rough, working sides of the Rainbow Man store and The Shed restaurant (Photo 1). <i>Continued on Page 5.</i>									
12. Who uses the property? Storage									
13. Construction Date: Unknown Date: c.1936, creation of apartments Known <input type="checkbox"/> Estimated <input checked="" type="checkbox"/> Source: newspaper account									
14. Setting: Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban <input checked="" type="checkbox"/> If Urban: Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Public									
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A									

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Sharon Joyce

For: MaryField Family LLC

18. Owner (if known) and other knowledgeable people:

Owner: MaryField Family LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing: apartments Non-contributing:
 No Status:

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

**Apartments: Recommended
Contributing Structure Status to
Downtown and Eastside
Historic District, 12/30/2020**

24. Supplemental Forms:

None HCPI Detail Form (FORM2) Continuation Sheets, # pages: _____

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

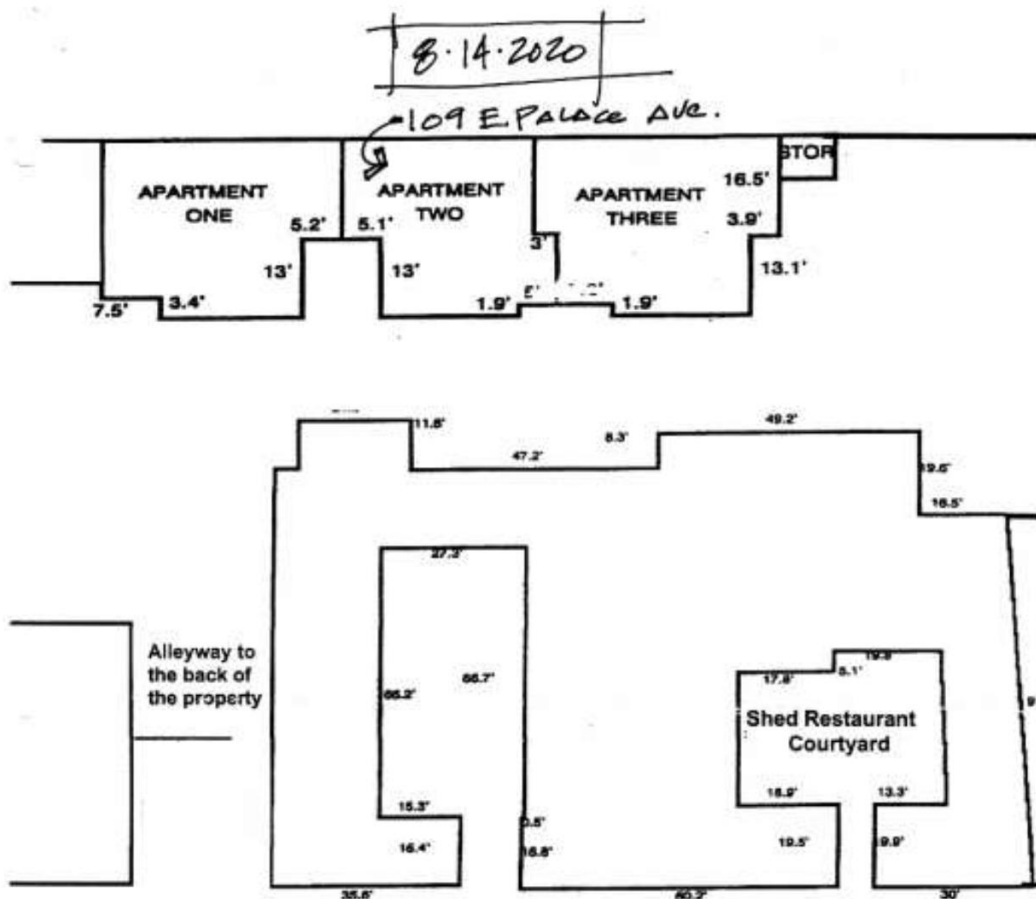
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Lot sketch map. Courtesy Kinsey Architecture + Construction.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		Please complete HCPIFORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement			
		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			

Architectural Description Continued

With a complicated genealogy, the building likely predates 1880, and from Sanborn fire insurance maps, it originally functioned as stables and storage. Its basic east-west massing was evident by the late 19th century. Over numerous decades it evolved, with sections demolished and replaced and then reworked again. In 1936, the combination stables and storage were converted into small apartments, ranging from one to three rooms. Based on the 1948 Sanborn map, it is mostly made of brick construction.

South Façade

The façade, with its mix of windows and doors, offsets, and voids, communicates its idiosyncratic growth (Photo 2).

The elevation is divided into roughly four sections. These hold entrances and windows for what were once apartments. The windows are mostly larger wood sash with 6/6 divisions. They have a typical muntin profile and locking mechanisms of a c.1930s window. Simple wood casings set flush to the stucco trim the windows.

Starting from the west is a short, recessed section with a single window (Photo 3). As it sits at a lower height and with different placement, it may be a remnant of an early structure shown on early Sanborn maps (Figures 5 & 6).

Moving east, rounded parapet ends delineate the next section. An enclosed portal sits below grade near the center (Photos 4 & 5). Continuing to the east are two large sash windows.

The subsequent section is a short, recessed wall fenestrated with two doors and two windows (Photo 6). The doors — inexpensive wood-panel-glass units — are flanked by four-light barn sash.

The final section is a rectangular roomblock with rounded parapet ends (Photo 7). Similar to the second section, it has large 6/6 wood sash windows with simple board casings.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Secondary Elevations

The east elevation is characterized by its portal (Photo 8). Based on its design and construction, it appears to be an added-on feature. It shelters a single 15-light door leading to a former bedroom. The building concludes with a bump-out enclosing a small storage room.

The north elevation, sitting along a narrow alley, faces the Inn of the Anasazi. It has a similar array of older wood sash windows, but with wood casements at bathrooms (Photos 10 & 11).

A cementitious buckskin stucco lends some cohesion to the building's multi-decade evolution. So do the exaggerated parapets and relatively recent trough-type canales. These may represent non-historic interventions to help roof drainage.

The interior is a warren of small rooms, reflecting its use as four apartments (Figure 4). Observable rooms have flat, plastered ceilings. The small kitchenettes have period cabinetry and linoleum floors (Photo 11).

Historical Overview

This odd little building, which started as stables before being converted to storage, then to apartments, and finally to storage again, is mostly hidden from public view. It sits in an empty space between several buildings and is only partially visible from a street. Its history is equally somewhat hidden.

The buildings in front of it, lining East Palace Avenue, have a storied past, but there should be no temptation to tie this structure to them. Bearing the lofty name of the Arias de Quiros site, those buildings do qualify as true antiquity.¹ They represent the placita form of house, where historically four solid adobe walls enclosed a courtyard — a form of shelter dating to the Spaniard population's interaction with the Islamic world.

At least one of the placita homes stood on the north side of what is now the 100 block of East Palace Avenue before Reconquest. After 1692, the block took further shape. It is

¹ Historic Santa Fe Foundation, *Old Santa Fe Today* (Albuquerque: University of New Mexico Press, 1991), 87-88.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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thought that Diego de Vargas began this work and later awarded the block to Captain de Arias de Quiros for his military service.² At the advent of the American conquest, as seen on Lt. Jeremy F. Gilmer's map of Santa Fe, the north side of the block had three courtyard homes. At some point in the 20th century, the placita in front of the subject building took on the name of Trujillo Plaza.

A Changing Stable

Sanborn fire maps, starting in 1883 and ending in 1948, provide a 65-year history of the property.

1883-1886

The building in 1883 is indicated to be a set of stables likely associated with a commercial structure to the west, fronting Washington Avenue (Figure 5). It consisted of three distinct sections. Starting at the west, the building started as an adobe rectangle joined to a brick square, ending with an L-shape form. Attached to the west end was a narrow, perpendicular frame structure of unknown use. Two of the units had gable roofs covered with tin. Three years later, the building had already changed. Based on the 1886 Sanborn, the west adobe portion had been replaced by a brick structure with a frame overhang (Figure 6). The far east section had also been modified.

1902-1908

This configuration continued until the late 1880s, after which the west and center sections were joined under one roof. By 1902, the perpendicular frame piece at the west was gone (Figure 7). Six years later, a small brick extension had been added to the east end (Figure 8). The building kept this form through the 1920s.

1930-1948

The next Sanborn map of 1930 reveals something different (Figure 9). By then, the stable function had been reduced to only the west end. The building now had three windows across its south façade and two porches but it was not designated a dwelling. This arrangement likely signaled a workshop or storage area.³

² Ibid, 87.

³ Frank W. Clancy likely owned the property at this time. This is supported by a published probate notice describing the subject property as his estate. "Legal Notices," *Santa Fe New Mexican*, August 27, 1932, 5.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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The last available Sanborn map of 1948 shows the onetime stable subdivided into three dwellings (Figure 10). The building’s footprint had a number of discernable offsets. Premised on the 1940 federal census, the conversion to apartments had occurred earlier.

A 1936 newspaper mentions that Severino Trujillo, a businessman and resident of namesake placita, was building small apartments at 109 East Palace.⁴ Ensuing advertisements described various configurations, including two and three-room apartments — one with a radio and a Frigidaire, and another called a “bed-sitting room,” a British term indicating a one-bedroom apartment where the single room doubled as a living room.

Behind a Secret

Early in 1943, the federal government took over Trujillo Plaza, just as it had with the Los Alamos Ranch School. The year before, the ancient building harbored a row of law offices, being once ideally situated on the same block as the county courthouse. It also was the home of its namesake, Severino Trujillo.

By March 1943, all one but of the attorney offices had been removed, and the building’s heavy wrought-iron gate remained locked. An informal small blue sign with red letters was placed east of the entrance. It read:

“U.S. ENG-
RS”

This was an informal and cryptical way of saying nothing. In fact, it meant, “U.S. Engineers.”⁵

Here, as often retold, Dorothy McKibben kept an office on the east side of the gate and worked as the literal gatekeeper for the secretive Manhattan Project. The old plaza also held offices for other Manhattan team members, including Columbia University chemist

⁴ “Big Building Boom About to Hit Old Santa Fe,” *Santa Fe New Mexican*, March 20, 1936, Section 2-5. As with many historic properties in Santa Fe, the changing addresses and sub-addresses of Trujillo Plaza challenge a complete understanding of the property’s evolution and use.

⁵ Jennet Conant, *109 East Palace: Robert Oppenheimer and the Secret City of Los Alamos* (New York: Simon & Shuster, 2005), 58.

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Dana Mitchell, and advisers shipped from U.C. Berkeley. Robert Oppenheimer, the project’s cosmic mastermind, maintained his office along the north wall.

According to author Jennet Conant in her book *109 East Palace*, Oppenheimer could open a pair of French doors and stare out into a walled garden.⁶ But local historian and retired LANL engineer John Ruminer, who also wrote about 190 East Palace, described the back area as a parking lot, where a waiting vehicle would whisk scientists to the Hill.⁷

The 1944 city directory, the only one available for the period, shows the units (there were then four) occupied by servicemen.⁸ Two are indicated to be working for the U.S. Navy Recruiting Station, which at that time sat at city hall; the others were with the army.

Given the high secrecy of the project, these jobs may have been fictitious. It’s not too much of a leap of imagination to think these men may have had a role providing security for the building hiding this world-altering project. Dorothy McKibben recalled that “the place was under armed guard night and day,”⁹ and the guards had to live somewhere.¹⁰

After the Bomb

While Trujillo Plaza would lose some of its heat and secrecy after the war, it continued to serve as the Los Alamos Scientific Laboratory’s Santa Fe office until June 1963. By this time, the apartments in the old stable had turned civilian.

Two of the apartments housed young women, including Lillian Kidder (#1), a teacher, and the daughter of the architect Bradley P. Kidder.¹¹ Edith McManmon, a widow who

⁶ Ibid., 57.

⁷ John Ruminer, email to John Murphey, December 20, 2020.

⁸ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1944* (El Paso: Hudspeth Directory Company, 1944), 284; 336.

⁹ McKibben quoted in “Smiling ‘Front Man’ for Atomic Bomb,” *Santa Fe New Mexican*, June 30, 1963, 5.

¹⁰ John Ruminer did not look into the origin and use of the former stables in his research on 109 East Palace Avenue (see below), but communicated to the author that the apartments made “some sense from a space standpoint” for the location of guards. John Ruminer, email to John Murphey, December 21, 2020. John Ruminer, *109 East Palace Avenue: A Microcosm of Santa Fe’s Four Hundred Year History [Nutshell Series No. 4]* (Los Alamos, N.Mex.: Los Alamos Historical Society, 2013).

¹¹ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1953* (El Paso: Hudspeth Directory Company 1953), 152; 392.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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worked as a secretary for the Museum of New Mexico Library, occupied #3. Don Purcell, a designer for the New Mexico State Highway Department, lived in #4. All had telephones and pedestrian access to the best restaurants in town. The apartment represented a time when working people could live downtown — perhaps cheaply.

Since 1983, the building has served as storage for the Rainbow Man, and has experienced no further change.¹²

Evaluation of Historical Status

While much altered from its 19th-century origin as a stable, the building appears to have taken its current form, sans a few exterior changes, by at least the late 1940s. Its association with the Manhattan Project at this point is speculative but worthy of future investigation.

Conclusion

Given the above considerations, the recommendation is to maintain Contributing Structure status to the Downtown and Eastside Historic District.

¹² Zac Cox, telephone communication with John Murphey, December 22, 2020. Cox is the grandson of Rainbow Man proprietors Bob and Mary Kapoun.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

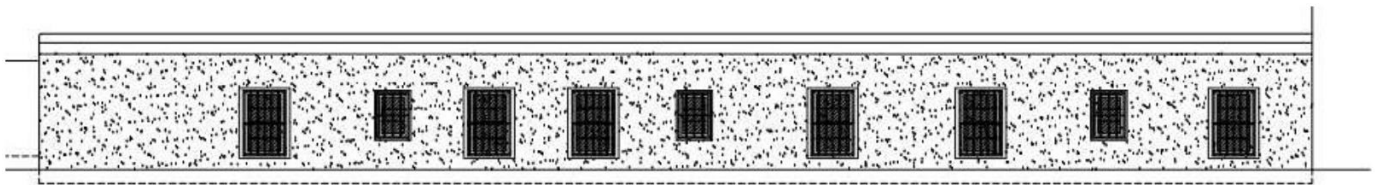
Historic Preservation Division, New Mexico Department of Cultural Affairs

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								5. Date of Survey: November 17-18, 2020					

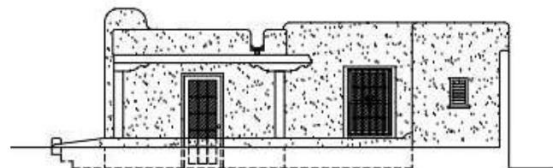
Illustrations



**Figure 1: Existing south (front) elevation, 2020.
Courtesy Kinsey Architecture + Construction.**



**Figure 2: Existing north (rear) elevation, 2020.
Courtesy Kinsey Architecture + Construction.**



**Figure 3: Existing east elevation, 2020.
Courtesy Kinsey Architecture + Construction.**



**Figure 4: Existing floor plan, 2020.
Courtesy Kinsey Architecture + Construction.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			

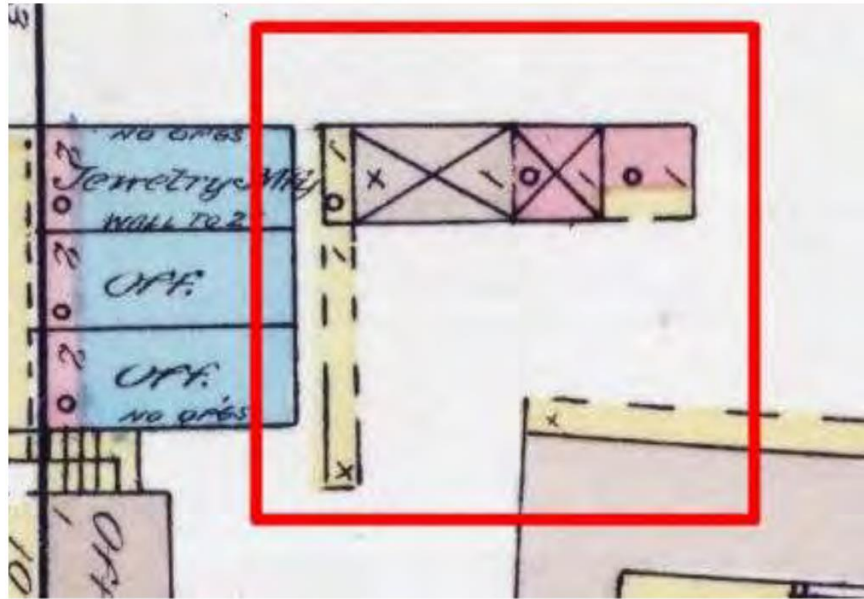


Figure 5: 1883 Sanborn Fire Insurance Map.

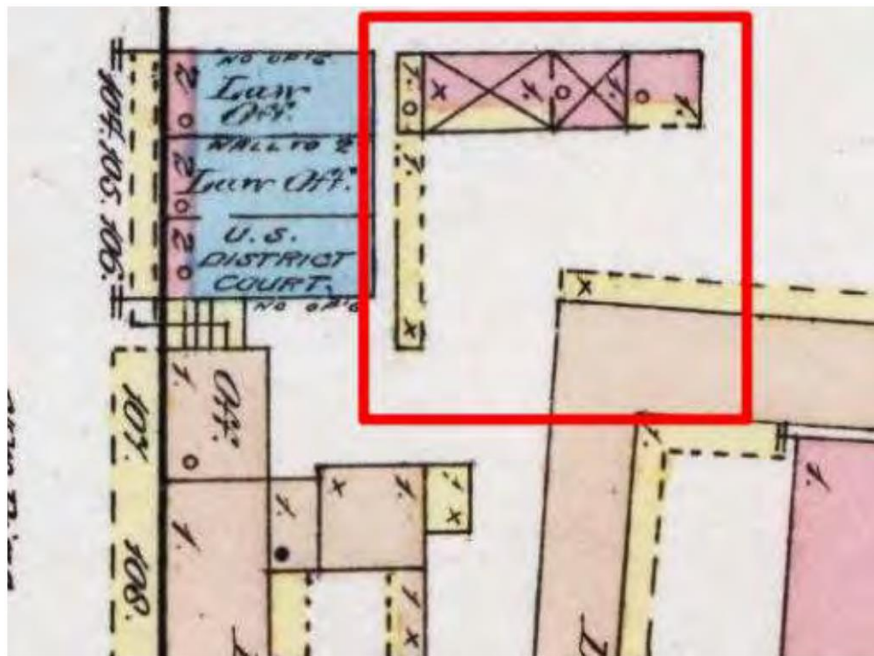


Figure 6: 1886 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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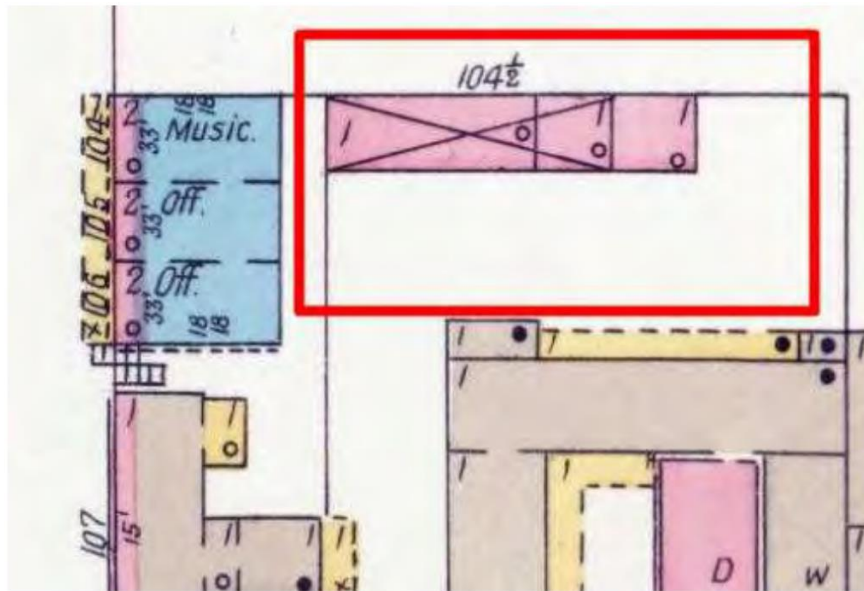


Figure 7: 1902 Sanborn Fire Insurance Map.

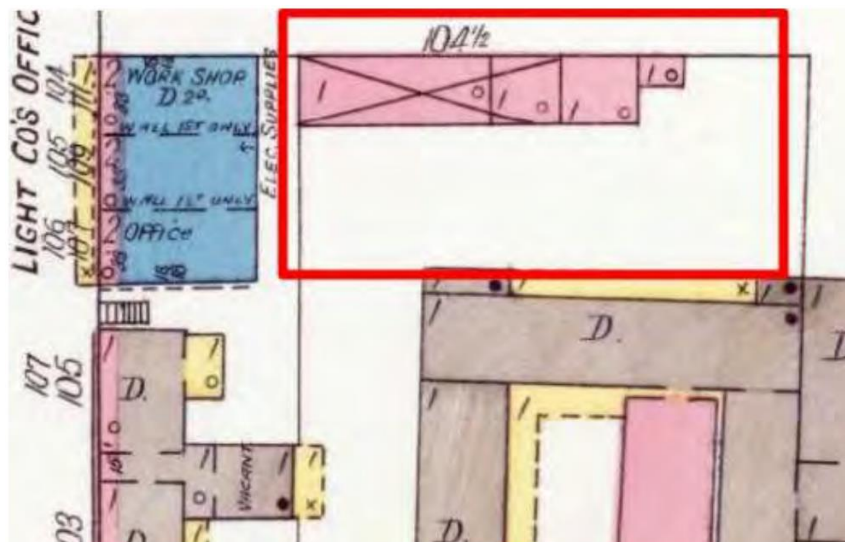


Figure 8: 1908 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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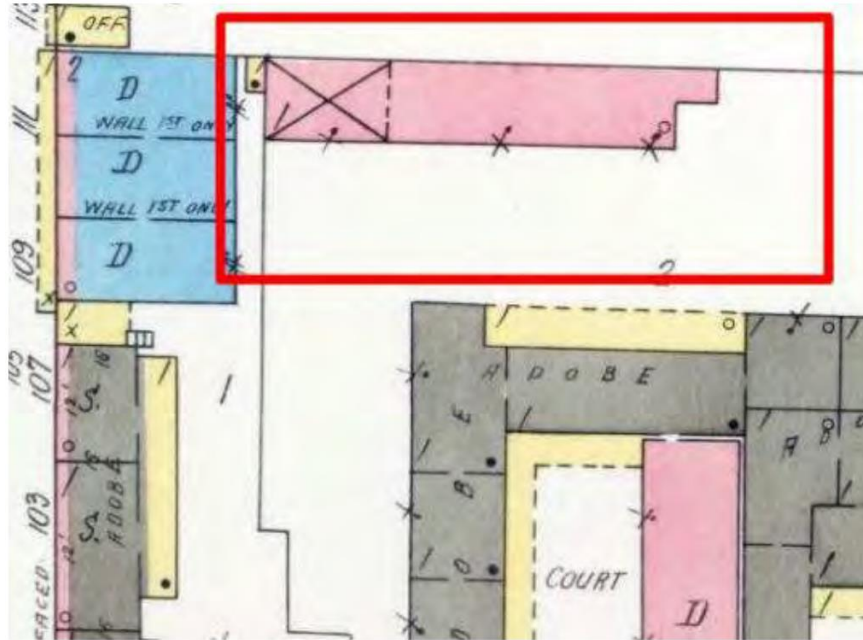


Figure 9: 1930 Sanborn Fire Insurance Map.

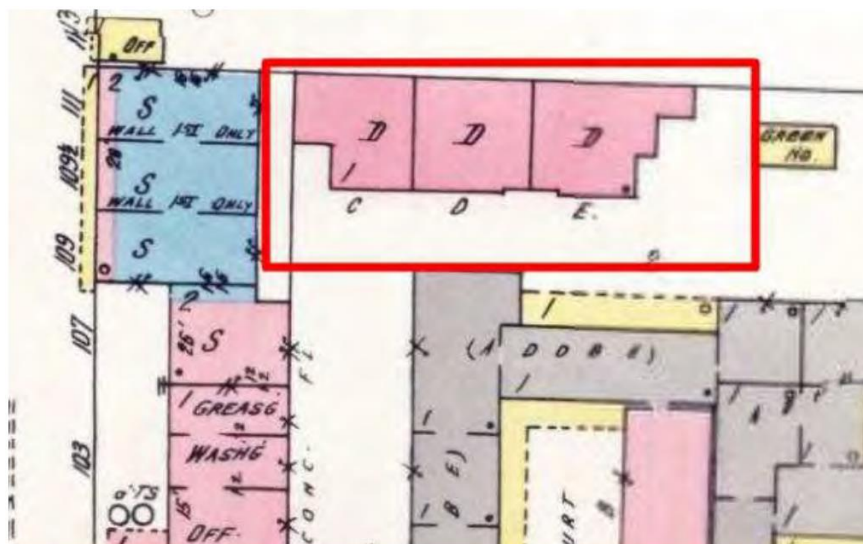


Figure 10: 1948 Sanborn Fire Insurance Map.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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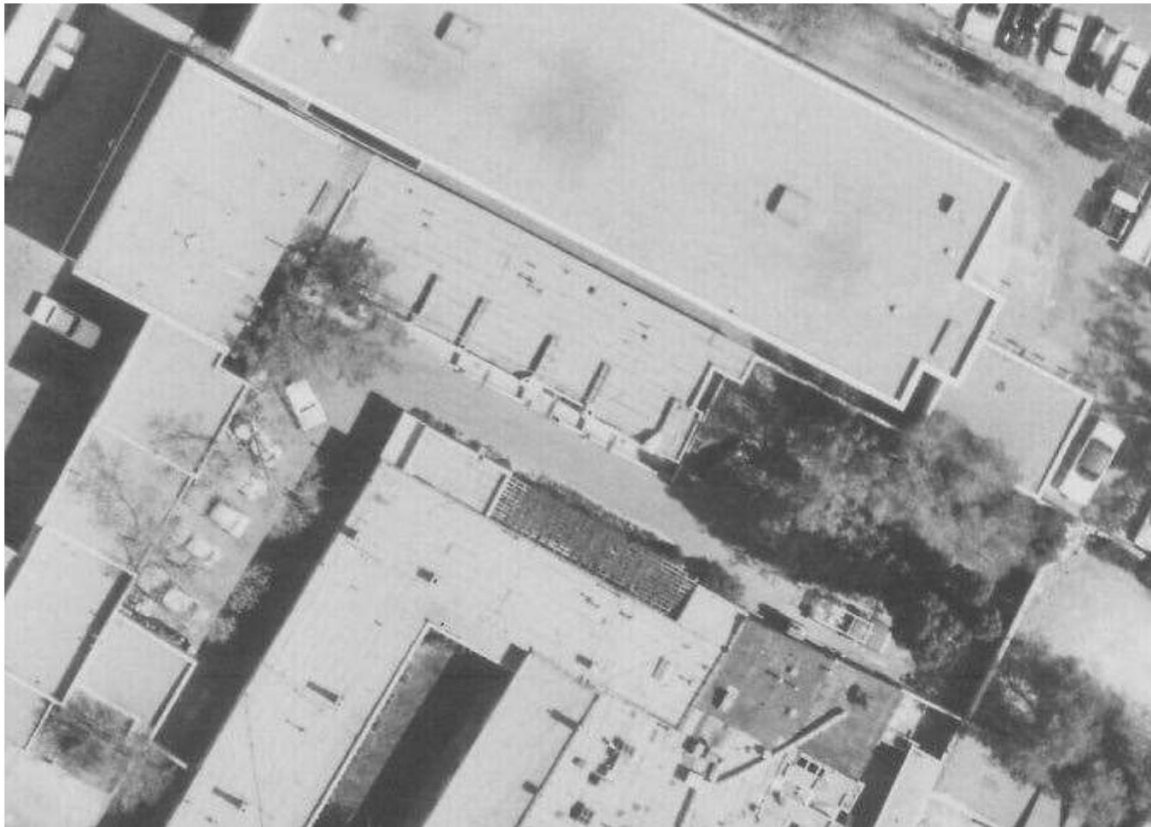


Figure 11: 1973 aerial photograph.
 Courtesy New Mexico Department of Transportation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Survey Photographs

(All images taken by Sharon Joyce on November 18, 2020 unless otherwise noted).



**Photo 1: Setting.
The Shed Restaurant at center.
November 17, 2020.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 2: Partial south elevation.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 3 South elevation, Section 1.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Photo 4: South elevation, Section 2.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

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**Photo 5: South elevation, Section 2, portal.
 Camera facing north.
 November 17, 2020.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				Criteria	A	B	C	D
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement								
		4. County: Santa Fe								
		5. Date of Survey: November 17-18, 2020								



**Photo 6: South elevation, Section 3.
Camera facing north.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria A B C D		
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District		3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement		
		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			



**Photo 7: South elevation, Section 4.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria A B C D		
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District		3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement		
		4. County: Santa Fe			
		5. Date of Survey: November 17-18, 2020			



**Photo 8: East elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District							
		3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement						
		4. County: Santa Fe						
		5. Date of Survey: November 17-18, 2020						



**Photo 9: North elevation (right).
 Camera facing east.
 Carlos Kinsey, August 28, 2020.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPNo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: 109 East Palace Avenue Apartments	2. Location: 109 East Palace Avenue Santa Fe: Downtown and Eastside Historic District		3. Local Reference Number: Santa Fe ID#: H-2961 – Supplement				
		4. County: Santa Fe					
		5. Date of Survey: November 17-18, 2020					



**Photo 11: Interior photographs of north elevation windows.
Camera facing east.**

K I N S E Y A R C H I T E C T U R E

3600 Cerrillos Road #205 Santa Fe, NM 87507

phone 505 469-5396

March 24, 2021

City of Santa Fe
Historic Preservation Section
200 Lincoln Ave.
Santa Fe, NM 87504-0909

APPLICATION LETTER
RE: 109 East Palace Ave.
STATUS REVIEW

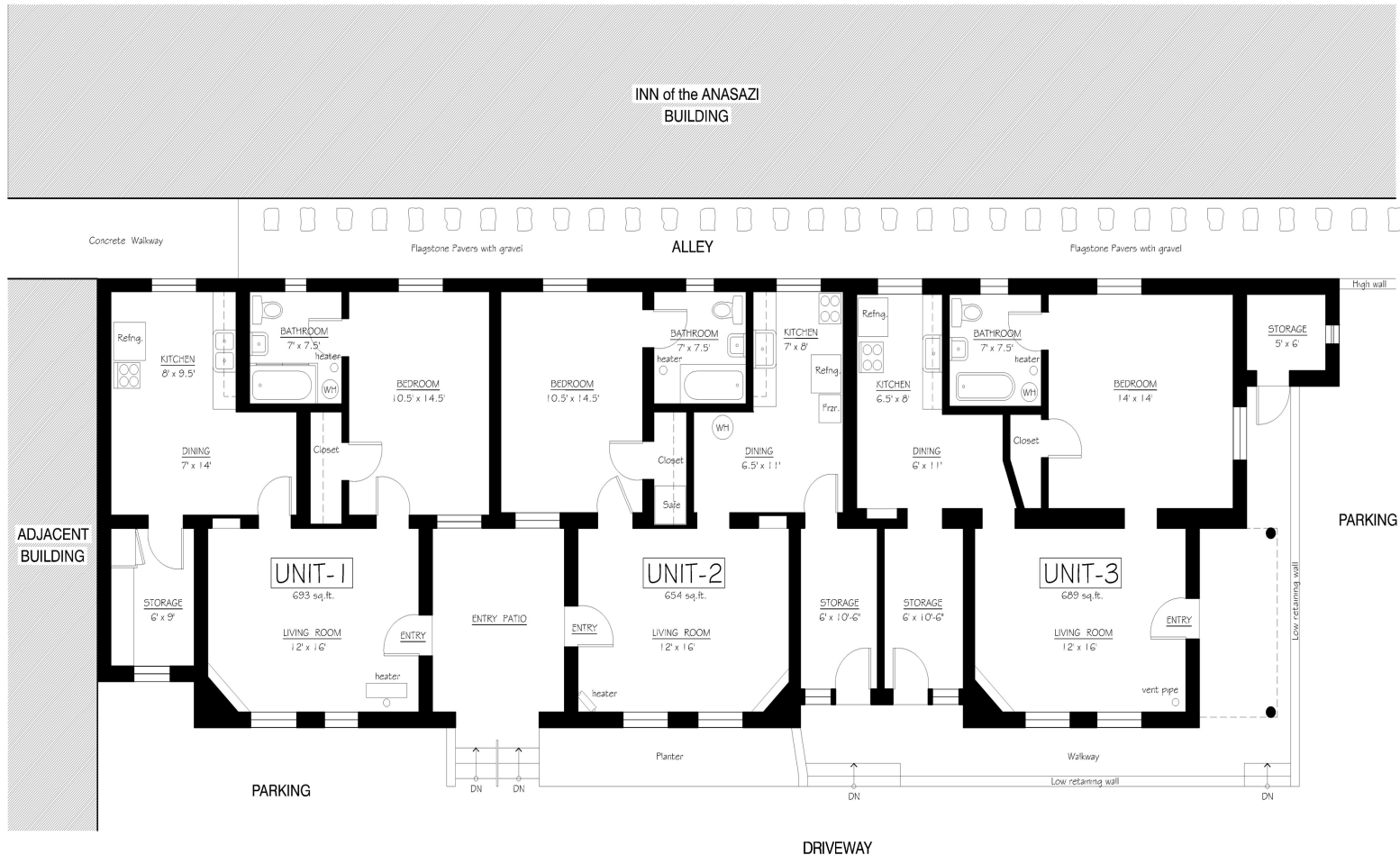
Daniel Schwab,

This request is for Status Review of the existing building at 109 East Palace Avenue. There is no change in the building area or building footprint.

Sincerely,



Carlos Kinsey
Kinsey Architecture
info@kinseyarchitecture.com
3600 Cerrillos Road, #205
Santa Fe, NM 87507
Ph. (505) 469-5396



1 FLOOR PLAN - EXISTING
A-1



KINSEY
ARCHITECTURE + CONSTRUCTION
3600 Cerillos Road, Unit 205
Santa Fe, NM, 87507
505.469.9396

REMODEL for
109 EAST PALACE AVE.
690 Callecta Ujcarilla Santa Fe, NM 87505

REMODEL

Date
SEPT. 8, 2020

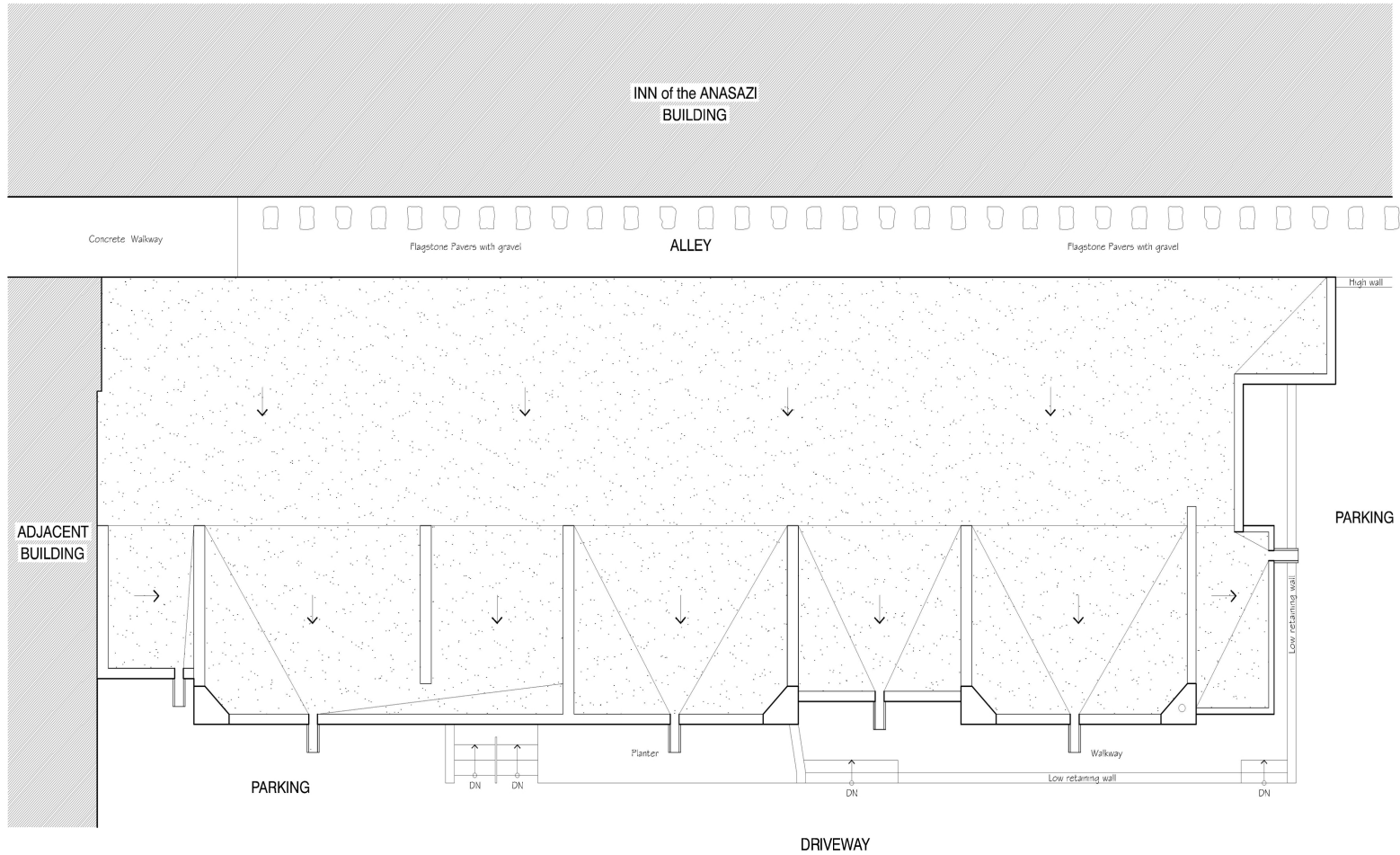
Revised:

Drawn by CK
Checked by CK

Sheet Title
EXISTING FLOOR PLAN
Scale:
1/4" = 1'-0"

Sheet No.

A-1



1 ROOF PLAN - EXISTING
A-2



KINSEY
ARCHITECTURE + CONSTRUCTION
3600 Cavalleros Road, Unit 205
Santa Fe, NM 87507
505.469.5396

REMODEL for
109 EAST PALACE AVE.
690 Callecia Jicarilla Santa Fe, NM 87505

REMODEL

Date: SEPT. 8, 2020

Revised:

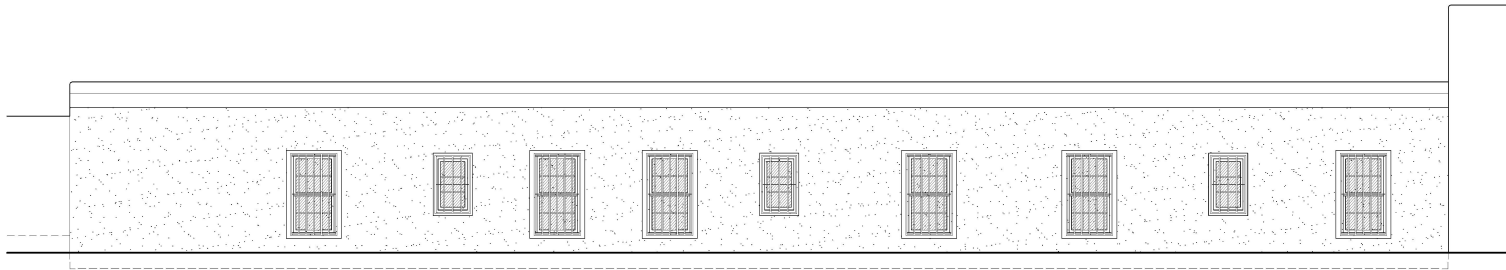
Drawn by: CK
Checked by: CK

Sheet Title:
EXISTING ROOF PLAN

Scale:
1/4"=1'-0"

Sheet No.

A-2



3 EXISTING - REAR ELEVATION (North)
A-3



2 EXISTING - SIDE ELEVATION (East)
A-3



1 EXISTING - FRONT ELEVATION (South)
A-3



KINSEY
ARCHITECTURE + CONSTRUCTION
3600 Cerrillos Road, Unit 205
Santa Fe, NM, 87507
505.469.5996

REMODEL for
109 EAST PALACE AVE.
690 Callecita Jicarilla Santa Fe, NM 87505

REMODEL

Date: SEPT. 8, 2020

Revised:

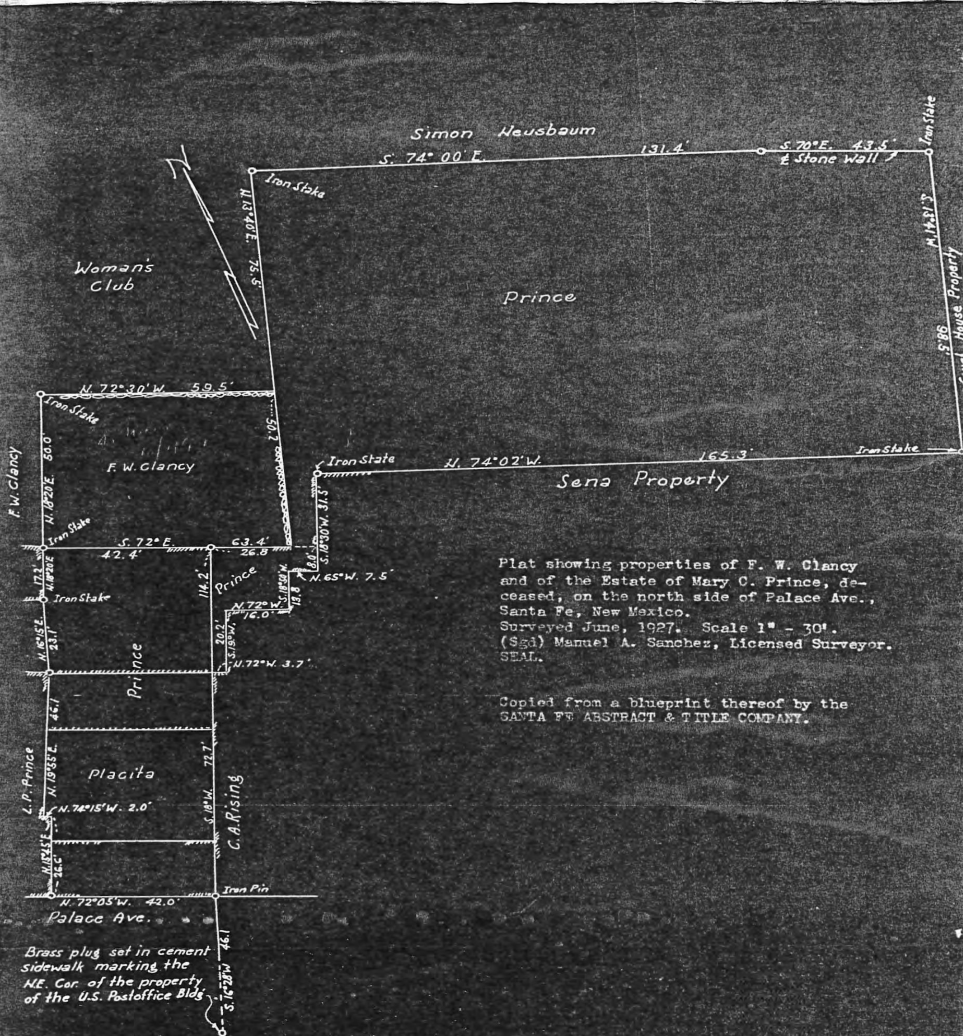
Drawn by: CK
Checked by: CK

Sheet Title:
EXISTING EXTERIOR ELEVATION
Scale:
1/4"=1'-0"

Sheet No.

A-3

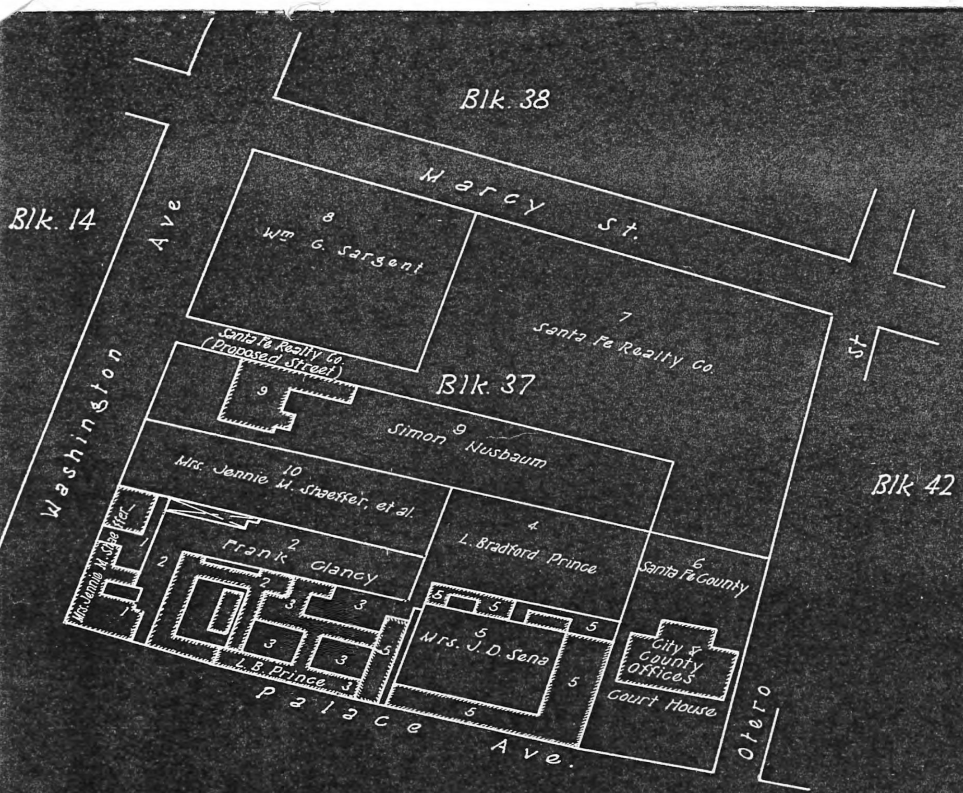
P-0056
R/E



Plat showing properties of F. W. Clancy and of the Estate of Mary C. Prince, deceased, on the north side of Palace Ave., Santa Fe, New Mexico. Surveyed June, 1927. Scale 1" = 30'. (Seal) Manuel A. Sanchez, Licensed Surveyor. SEAL.

Copied from a blueprint thereof by the SANTA FE ABSTRACT & TITLE COMPANY.

Brass plug set in cement sidewalk marking the NE. Cor. of the property of the U.S. Postoffice Bldg.



Plat Showing a Portion of Block No. 37
 King's Map of Santa Fe, N. M.

Copied by
 THE SANTA FE ABSTRACT & TITLE CO.

Scale : 1" = 100'

City of Santa Fe, New Mexico

**Historic
Districts
Review**

**September
10, 2024**

**2024-
008936-**

HDRB

**Applicant's
Submittal**

Remodel

CHRISTOPHER ARCHITECTS PURVIS

Historic Districts
Review Board
City of Santa Fe,
City Hall
Santa Fe, NM
Palace Ave

Tuesday, August 6,
2024

Case # 2021-
0033458

A-1 Site plan 8/6/20
Existing plan Existing &
Proposed 8/6/2024
A-3 Elevations Existing &
Proposed 8/6/2024
Photographs

HDRB application
assessment approval
Window
Specifications

Specifications may concern and
the

Members of the Historic
Districts Review Board of the 109 Palace address is contributing
and at the May 4th 2021 hearing of the

HDRB the South elevation was determined to be primary. We
are proposing to rehabilitate this
buildings interior as the three apartments

And as you can see from the attached window assessment some
of the windows are newish (1980's)

some can be rehabilitated and some need to be replaced in
Please see the attached and proposed window descriptor
attached. I will be replaced with wood heritage Old world
cassette wood proposed wood windows

1) with a small dark stain on the building walls to a Cream color
(elsa) Back from color Mudpie

2) Repaint the rest of the woodwork dark Brown

3) Replace doors 1 3 and 4 with 3/0 6/8 4 lite panel doors that
match the rest of the woodwork

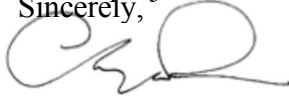
4) An ADA ramp behind retaining wall on south side of building to
provide ADA access to units 2 and 3

5) Repair the brickwork and attached
parking lot

is as follows
APARTMENTS 2400
ENTRANCES SOFT
PORTALS 210

Please call if you have any questions
on the project 982-5461

Sincerely,



Christopher
Purvis
373 Santa Fe Trail S11 PMB
Santa Fe, NM

87505 Tel 505-982-5461 E Mail Architect@ACP-ART.com

CHRISTOPHER ARCHITECTS PURVIS

Window schedule

A 35 X 49 Dbl Hung 6/6 Marvin window 1980's
 B 34 X 49 Dbl Hung 6/6 Historic window approx.
 C 10: below ground REFURBISH/REPLACEw/.
 I 29 X 49 Dbl Hung 1/1 Marvin window 1980's
 D 34 X 38 Door 3W5H L.H. Simpson door 1980's/.
 E good condition REPAINT Matching
 F 34 X 58 Dbl hung 6/6 Historic in really CEw/.
 G Simpson door 1980's PAINT Matching
 H 35 X 54 Dbl Hung 6/6 REFURBISH
 I Historic jaw condition Barn sashes which
 were in the place before present than the Dbl
 Historic sashes and REPAINT Simpson door put into old frame
 3 wid 1980's REPLACEw/. Matching 36"
 e 32 X 78 3-panel 2W2H Simpson door put into old frame
 4 wid 1980's REPLACEw/. Matching 36"
 e 24 X 34 Fire and 2W2H Barn sashes which
 were in the place before present than the Dbl
 Historic sashes and REPAINT Simpson door put into old frame
 K the Dbl Hung 6/6 Historic window
 L fair condition REFURBISH
 5 35 X 58 Dbl Hung 6/6 Historic window put into old frames
 M REPAINT Matching SH
 N 35 X 54 Dbl Hung 6/6 Historic window, sill condition
 completely rotted REPLACEw/. Matching
 O 36 X 54 Dbl Hung 6/6 Historic window exterior casings and
 jambs are completely rotted. REPLACEw/.
 P 36 X 54 Dbl Hung 6/6 Historic window, sill condition
 completely rotten. REPAINT Matching
 Match completely rotten. REPAINT Matching
 Q 36 X 33 Inswing Casement RH 2W3H Historic window, sill
 rotted casing, jambs and sill completely rotted. REPLACEw/.
 Matching 54 Dbl Hung 6/6 Historic window exterior casing,
 jamb and sill completely
 rotted. REPLACEw/. Matching
 36 X 54 Dbl Hung 6/6 Historic windows exterior casing,
 T lower jamb and sill
 completely rotted. REPLACEw/. Matching
 U 20 X 36 Inswing casement RH 2W3H, Historic window
 sill completely rotted. REPLACEw/.
 Matching
 36 x 54 Dbl Hung 6/6 Historic window, sill completely
 rotted. REPLACEw/. Matching

518 Old Santa Fe Trail S11 PMB
 373 Santa Fe NM
 87505 Tel 505-982-5461 E Mail Architect@ACP-ART.com

Historic Districts
Review Board
City of Santa Fe
Cayahle NM
87501

Monday, August
5, 2024
RE: 107 E Palace
Ave Unit A

Dear Lani McCulley and
Members of the Historic
Districts Review Board

There is an existing Contributing structure of
2400 sqft on the property
in the Pueblo style
The proposal is To add a ramp (hidden
behind a retaining wall and widen
two doors to meet ADA access requirements
for two of the units in the
three unit building
for the proposed changes

- (1) *Do not damage the character
of the streetscape;*

This proposed 6" widening of two (non
historic) doors does not damage
the streetscape because it is not visible from
the street and to the extent
anyone in the parking lot can see it the
changes are minimal and the
overall appearance of the building is the same.

The Reason the doors must be widened is
that otherwise the entire public
would not have access to these units and
since this is now a requirement
for all commercial spaces would make the
units accessible to the public meaning that
residents can continue to reside
within the Historic Districts;

The proposed ADA accessibility
improvements Provide a way for this

building to be used as more than storage and to rejoin the available downtown spaces as available to the public. Are due to special conditions and the land constraints which are peculiar to and not applicable to other lands or structures in the related streetscape;

The fact that this building has become below grade due to the constant raising of the public streets and parking lots means that in order for this particular building to continue to have a useful life. A way to provide access to ADA required and this condition is not repeated elsewhere.

The fact that street and parking levels have been raised is not a condition that is in the control of the applicant and the fact that the current laws require ADA access to commercial spaces is not a condition that is in the control of the applicant. The negative impact with the ADA is the ramp placement in this §14-5.2(A)(1).

Placing the ramp behind an existing retaining wall means that it will effectively not be visible and making it provide access to two units at once also reduces the impact on the neighboring properties. Keeping and refurbishing the two adjacent windows will preserve the historic character of that elevation. And custom building doors that match the look (but differ) of the existing doors will also reduce the impact on the historic elevation.

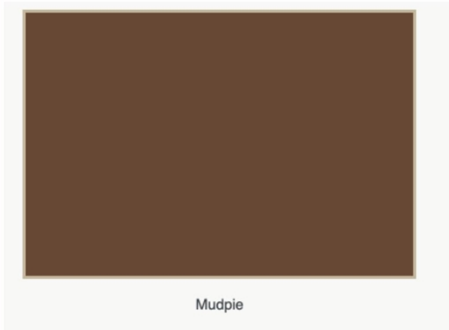
Christopher Purvis

El Rey
Buckskin

CHRISTOPHER ARCHITECTS
PURVIS



Kolbe MudPie
Kern coating



518 Old Santa Fe Trail S11 PMB
373 Santa Fe NM
87505 Tel 505-982-5461 E Mail Architect@ACP-ART.com

RPA &
Associates
1304 Central
Ave
Albuquerque, NM 87102
505-379-7900

September 15,
2021

Kinsey Architect
ure

Re: On my site visit on August 25, 2021 this is my assessment as follows (See attached list and pictures)

Window A & C	Non-Historic (Marvin 1980's) Non-Historic (Simpson for doors)
Doors 1, 2, 3, 4, 5	is buried 10" into the ground and should be removed to check on the condition of the wall. When this is done there will not be anything left in very good condition and should be restored and be the example of the window to re-use
Window B	of the existing windows of that Era
Window D & E	The majority of these windows have rotted exteriors and need to be completely removed because water has been more than likely penetrating into the wall and causing structural and adobe deterioration. This would cause exterior issues with the structure, which in that case better to save the building instead of the windows. The window jambs and the bucks which side and sill are over 40% completely rotted. Also over 40% of the window jambs and the bucks which side and sill are over 40% completely rotted. Also over 40% causing wall structure and stucco/plaster damage.
Windows F, G, J, K, L, M, O, P, R, S, U	
Windows H, I, N, Q	

So in closing it is my opinion that windows D and E need to be restored to keep the Historic value and Architecture of the original windows and structure. The windows are either original windows or later to the pulling to check the wall these windows will be repaired or replaced to like and kind of windows on site of that ERA True Divided Lite with wood Dbl Hung and Inswing casements with wood screens.

Best

R 

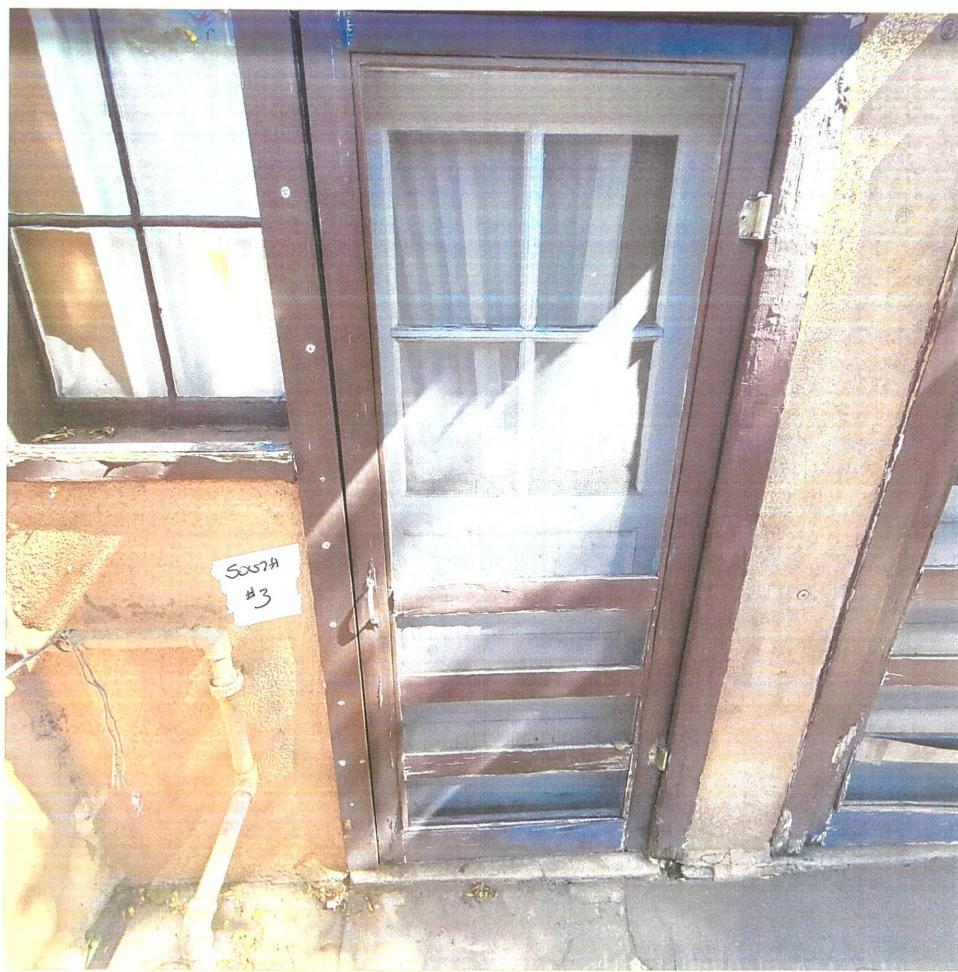
Ra
Patterso
n

South A	35 X 49 Dbl Hung 6/6 Marvin window 1980's
South B	34 X 49 Dbl Hung 6/6 Historic in ground approx. 10: below ground
South C	29 X 49 Dbl Hung 1/1 Marvin window 1980's
East #1	32 X 78 Door 3W5H LH Simpson Fir really good condition
South D	32 X 78 Door 3W5H RH Simpson Historic fair condition
South E	24 X 34 Fixed 2W2H Barn sashes which were put into the frames
South #2	30 X 34 Fixed 2W2H Simpson door put into old frame 1980's
South #4	24 X 34 Fixed 2W2H Simpson door were put into frame 1980's
South #5	30 X 34 Fixed 2W2H Simpson door were put into frame 1980's
South K	32 X 78 Door 3W5H Simpson door put into old frames
East # North M	35 X 54 Dbl Hung 6/6 Historic window, sill and jamb are completely rotted
North N	rotted including sill. Divided lite bars are missing in one sash.
North O	26 X 32 Inswing Casement RH 2W3H Historic window, sill condition completely rotted
North P	20 X 35 Inswing Casement 2W3H RH, Historic window sill completely rotted
North Q	36 X 54 Dbl Hung 6/6 Historic windows exterior casing, lower jamb and sill completely rotted
North R	20 X 35 Inswing casement RH 2W3H, Historic window sill completely rotted.
North S	36 x 54 Dbl Hung 6/6 Historic window, sill completely rotted.











SOSTH
#4

SOSTH
I



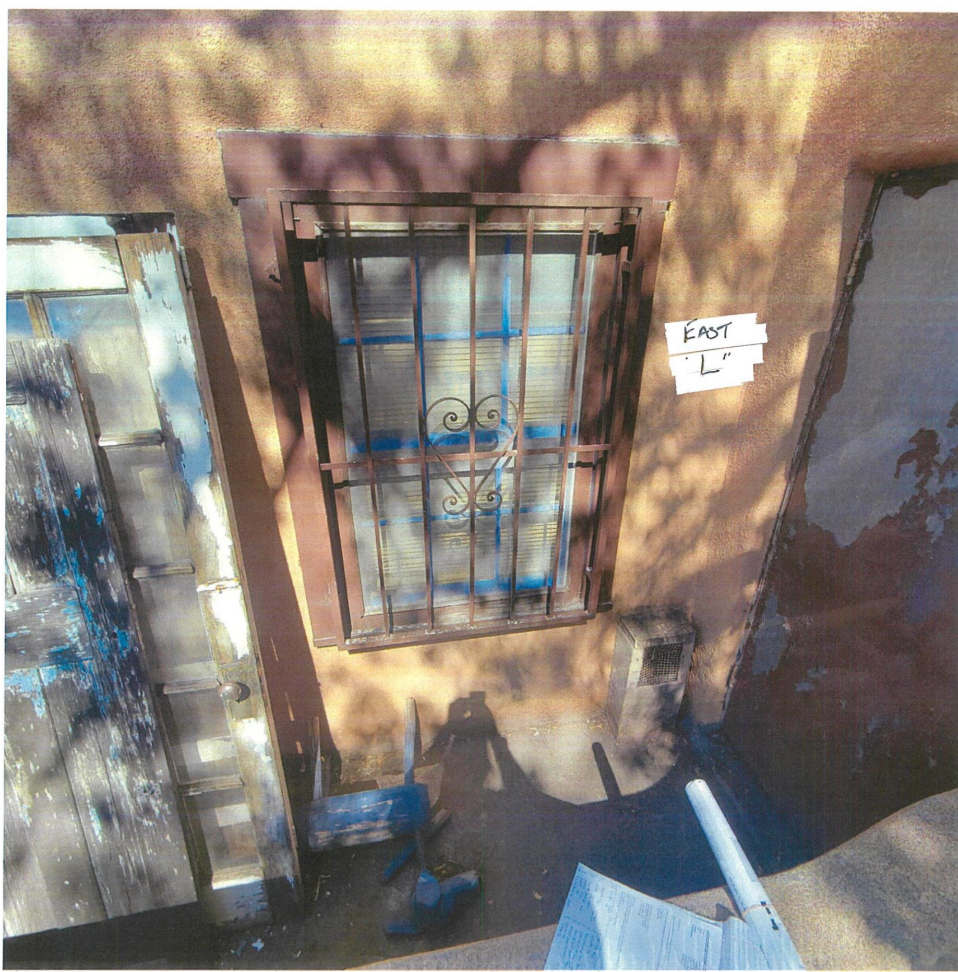


5004
3



S057 H
K











14074
○



KOLBE
WINDOWS & DOORS

Heritage Series





For over 75 years, Kolbe has been known for innovative products that push the boundaries and defy the limits of function, performance and style. Exceptional design, quality craftsmanship, endless options and custom solutions allow Kolbe to personalize your design experience with distinctive windows and doors. With multiple product lines designed to meet specific architectural and aesthetic goals, each offers distinct advantages, while

The Heritage Series

All-wood windows & doors designed for architectural & historical authenticity.

The Heritage Series provides:

- Wood exterior available in unfinished or made exterior Kromed with a 40K-Kron II finish, standard or color matched to custom exterior species, with 20+ standard pre-finishes, plus custom finishes
- Traditional design aesthetics with ability to replicate intricate architectural details
- Glazing options for enhanced energy efficiency, decorative & specialty glass to match any decor
- Automation options for ease of operation



Photo © Kenneth M. Wyner Photography

Craftsmanship

Kolbe products are truly built to order, with numerous options and custom solutions that allow us to craft windows and doors exactly to your specifications.

You can choose from standard to exotic wood species, sizes, shapes, divided lite profiles and patterns, glass, interior and exterior finishes, brickmoulds, casings,

Sustainability

Heritage Series all-wood products offer sustainable solutions for long-lasting, durable products, that when compared to other building materials, have a lower carbon footprint on the environment. The wood used in Kolbe products is sourced from managed forests, and is a renewable resource. It has been naturally grown and removes

Historical Replication

Heritage Series all-wood products are ideal for replicating architectural details with authenticity, blending traditional design aesthetics with advanced technology, functionality, and optimal energy efficiency. Adhering to strict building codes and historic district requirements, Kolbe's Heritage Series products were the perfect solution for many National Historic Landmarks and National Trust for Historic Preservation projects across the US.



Photo provided by Marre Design Group



© Tom Arban





Style & Design Options

Kolbe's endless variety of options allow you to choose wood species, divided lite patterns, sizes, shapes, interior and exterior finishes, hardware, and more – or create an even more personalized design with our custom solutions.

Scan the QR code to explore our full selection & options



kolbewindows.com/heritage

Windows

- Casements (crank-out, push-out, inswing)
- Awnings (crank-out, push-out)
- Double hungs (Traditional, Sterling, XL Sterling, Old World Classic)
- Folding
- Geometric

Doors

- Sliding patio
- Folding patio
- Swinging patio
- Entrance
- Commercial

Glass

- Single, double and triple pane
- Various Low-E coatings

Insect Screens

- UltraVue® mesh
- UltraVue® mesh
- WaterShed™ technology

Hardware

are available in numerous styles and finishes, plus chain and pulley systems and Spoon

Accessories for historical reproductions & special hardware available upon request

Universal Design & Automation

For example, Kolbe integrates advanced technology or specialized hardware into a select variety of windows and doors.

Divided Lites

- Performance divided lite glass & sash panes 5/8" to 4"
- 172U widths
- Divided lite sash panes available
- Removable grilles

Wire Brush Finish

Wire brushing can be requested as a custom texture that adds character and detail to wood

surfaces – the perfect complement to a truly rustic styled home



Wood Species In addition to the standard pine, Heritage Series windows and doors can be constructed of other optional wood species that enhance their look. Pine and other wood species are sourced from managed forests.

The Forest Stewardship Council® (FSC®)-certified wood species are also available for green building projects (FSC® license code FSC®-C019541).

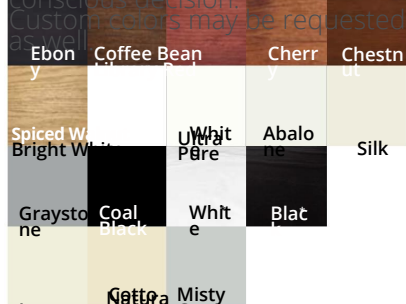


Ask about additional available wood species.

Interior Finishes

Heritage Series windows and doors can be prefinished on the interior with one of the water-based stains or paints shown. Stained units are given two coats of satin clear finish. Because our interior finishes are water-

based, low-VOC stains and paints, you can rest assured your choice is a conscientious decision. Custom colors may be requested as well.



Finishing options available upon request.

*Applied as a single coat of paint, with some exceptions. Color differences between wood species are not guaranteed. Since no two trees are identical, wood can be expected to differ both in color and grain. Wood species and color influence the color of the paint. Please note that some wood species may have a natural grain pattern that is not uniform. Some options for color products may vary in grain and color. Some options for color products may have limited color offerings or may incur a nominal charge. Check with your dealer for color options and pricing. Color matching is available through a color matching service. Color matching is available through a color matching service. Color matching is available through a color matching service. The color formula for Kolbe's interior paint finishes is in their National Account System. Kolbe has been granted The Forest Stewardship Council (FSC) Chain-of-Custody Certification, as have many of our dealers. Consult with your dealer about using FSC-certified wood in your project (FSC license code FSC-C019541).



© Ryann Ford Photography

Exterior Colors

Heritage Series products are coated on the exterior with latex primer, ready for your choice of topcoat, with an optional urethane primer available on some products. Kolbe also offers K-Kron II – a durable exterior finish that enhances and preserves the look of these all-wood windows and doors by resisting cracking, staining and fading to retain their finish and sheen.





Professional Tools

Kolbe prides itself on offering the tools and resources architects, builders and other industry professionals need to complete their projects. From product specifications and 3D models to continuing education courses and webinars, Kolbe supports all of your project needs.

Scan the QR code to learn more about our tools & resources for



kolbewindows.com/resources

Architect Library

Architect Library is the main resource for specifying Ultra Series windows and doors. Search detailed product information, including:

• Dimensions

• Installation instructions

Additional resources include:

- Configuration options
- Care & maintenance guide
- Acoustic data
- Energy performance
- Performance class & grade

AIA/CES

As a Registered AIA Continuing Education Provider, Kolbe provides AIA Learning Units (LU) and/or Health, Safety & Welfare (HSW) credits as required per state and/or professional memberships to meet yearly requirements.

Virtual Showrooms

Experience Kolbe's full capabilities through two interactive showrooms filled with product displays and custom solutions.

Showroom Tour

Course through 26 displays to see kolbe's innovative products and options in a virtual setting.



Exhibit Booth

Explore Kolbe's brand new booth from IBS 2023, filled with trendy products and solutions.



kolbewindows.com/virtual-showroom

Inspiration Gallery

Browse through photos, videos, project profiles and custom solutions.



kolbewindows.com/gallery

Product Sizes

Are pushing the limits of Heritage Series windows and doors, with large sizes for generous openings. The chart below provides a quick overview of maximum size capabilities. For exact dimensions, detailed limitations and product options, contact your Kolbe window and door expert to discuss our full capabilities and custom solutions.

Window Product	Net Frame Size	
	Maximum Size with Maximum Width (WxH)	Largest Size with Maximum Height (WxH)
Crank-out Casement Operable	77"	33" x 96"
Push-out Casement Operable	36" x	96"
Crank-out Awning Operable	40" x	83" x
Casement Picture	82" x	46"
Crank-out Awning Operable	72" x	54" x
Crank-out Push-out Operable	24" x	80" x 147"
Awning Picture	56 1/2" x	32-1/2" x 96-
Traditional Double Hung Studio	71"	7/16"
Traditional Double Hung Studio	147" x 85-	83" x 149"
Traditional Double Hung Studio	1/2"	41" x 104-
Traditional Double Hung Studio	53 1/2" x 80-	7/16"
Traditional Double Hung Studio	71 1/2" x 85-	46-1/2" x
Old World Classic Double Hung	60" x 92"	122"
Folding Window (up to 16 panels w 42" max. panels)		576" x 72"
Door Product	Nominal Maximum Panel Size (WxH)	Maximum Net Frame Size
Inswing Door (Single)	3-6 X	86-3/16" x 122-23/32"
Inswing Door (Double)	10-0	23/32"
Inswing Door Sidelite	6-0 x	74-3/16" x 146-
Fixed Sash	12-0	23/32"
Outswing Door	3-0 x	37-5/8" x 122-
Inswing Door Sidelite	10-0	23/32"
Fixed Sash	4-0 x	50-13/32" x
Outswing Door	10-0	122-19/32"
Venting Sidelite	3-6 x	86-20/8" x 122-
Folding Door (up to 16 panels)	10-0	10/32"
Sliding Patio Door (2 panels)	6-0 x	102-7/8" x 146-
Sliding Patio Door (3 panels)	12-0	10/32"
Sliding Patio Door (4 panel Bi-Parting)	3-0 x	28-9/16" x
	10-0	102-13/32" x
	3-6 x	122-19/32"
	10-0	576" x 125-1/8"
	5-0 x	
	10-0	
	5-0 x	
	10-0	
	5-0 x	
	10-0	

NOTES:
 Not all Heritage Series products are represented.
 Not all of the maximums fall within our parameters for certification. See your Kolbe dealer for details.



Scan the QR
code to see
our full Heritage
Series
Product Catalog
& other



[kolbewindows.com/
brochures](http://kolbewindows.com/brochures)

KOLBE

WINDOWS & DOORS

We're for the visionaries.

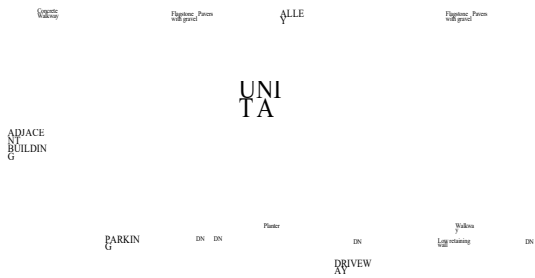
1323 S. 11th Avenue |
Wausau, WI 54981-5998
666

www.kolbewindows.com

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imply an endorsement of Kolbe products
by the property owners. Photography used may not represent
current Kolbe product features and options.

Front cover photo © Hoachlander Davis Photography

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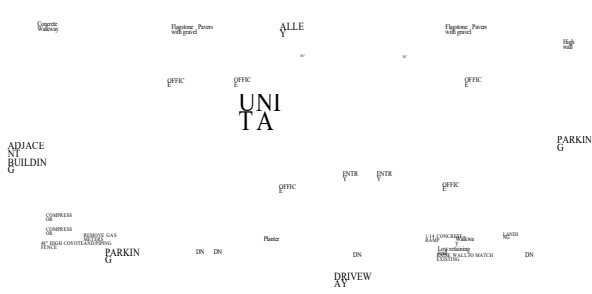


76'0"
S
72°08'00"
E

UNIT A HEATED
2400 SQFT
UNIT A PORTALS
TOTAL SQFT
LOT COVERAGE
AREA SQFT

0.000
acres

1 SITE PLAN
EXISTING
Scale: 3/32" = 1'-0"



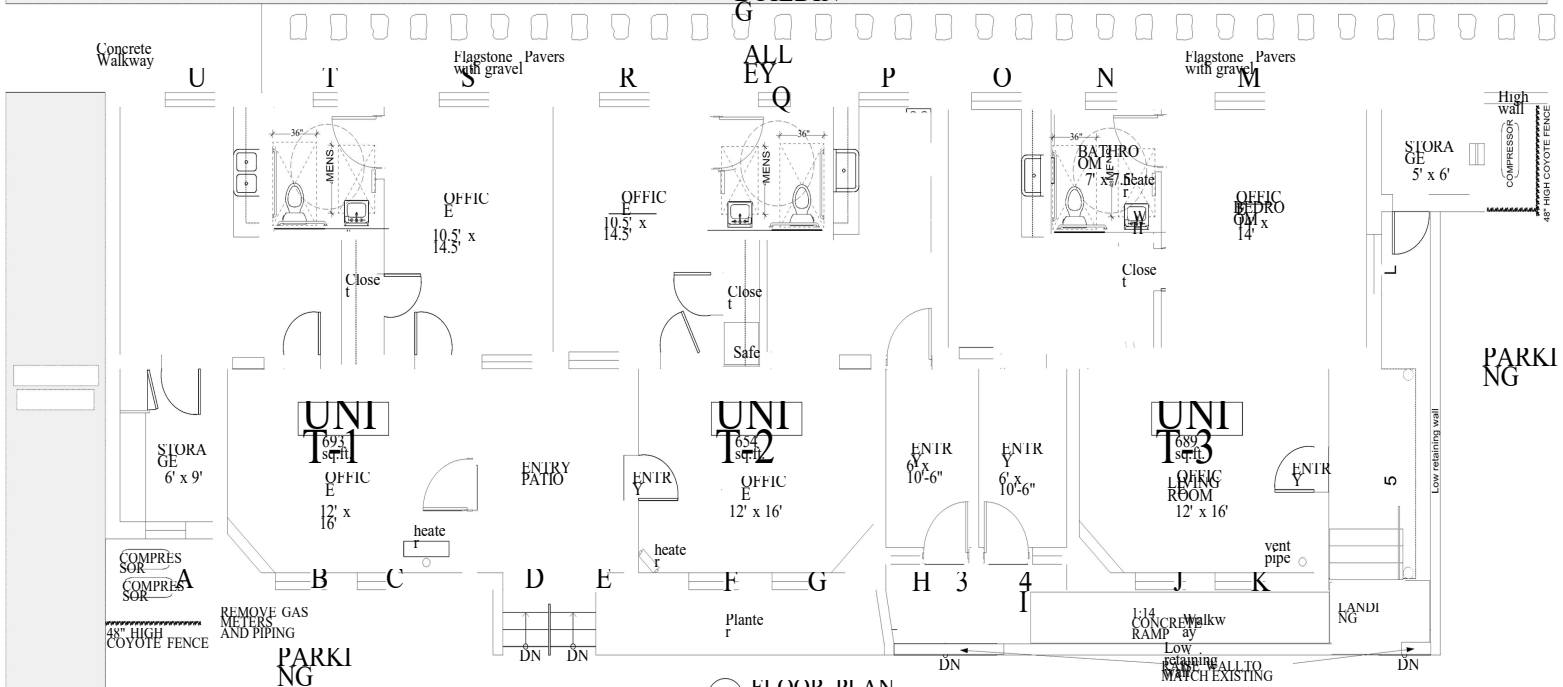
76'0"
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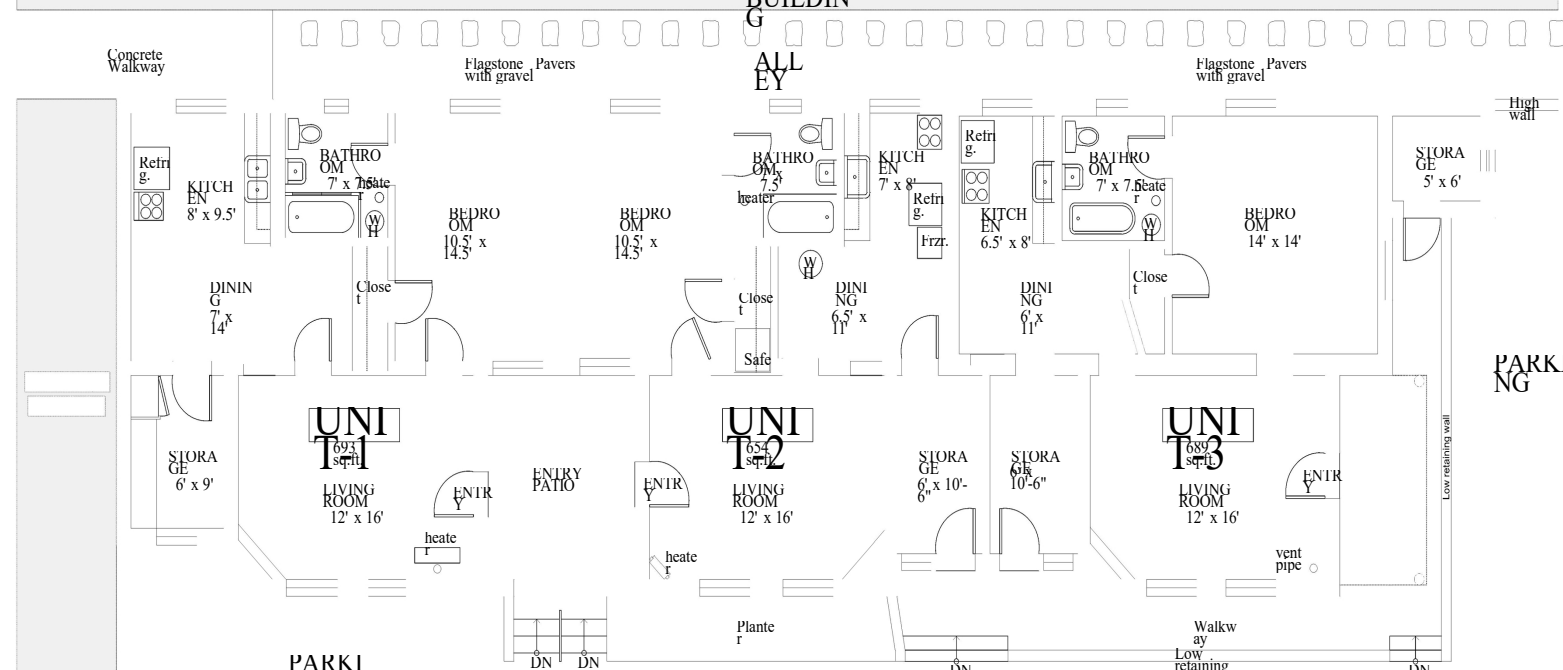
2 SITE PLAN
PROPOSED
Scale: 3/32" = 1'-0"

INN of the ANASAZI BUILDING



1 FLOOR PLAN PROPOSED
Scale: 1/4" = 1'-0"

INN of the ANASAZI BUILDING



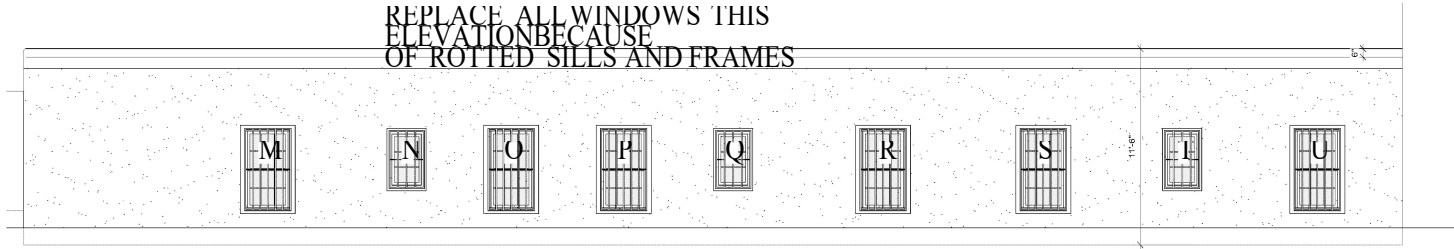
3 FLOOR PLAN EXISTING
Scale: 1/4" = 1'-0"

A. CHRISTOPHER ARCHITECTS
518 Old Santa Fe Trail, Suite PMB 373
Santa Fe, New Mexico 87505 Tel: 505.982.5461
E-Mail: Architect@ACT-ART.com

APARTMENTS REMODEL
107-UNIT A East PALACE AVE
SANTA FE, NEW MEXICO

8/6/24
A-2
JOB NO. 5544

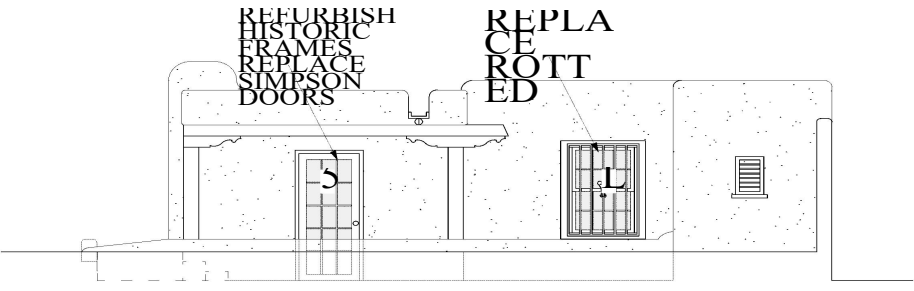
REPLACE ALL WINDOWS THIS
ELEVATION BECAUSE
OF ROTTED SILLS AND FRAMES



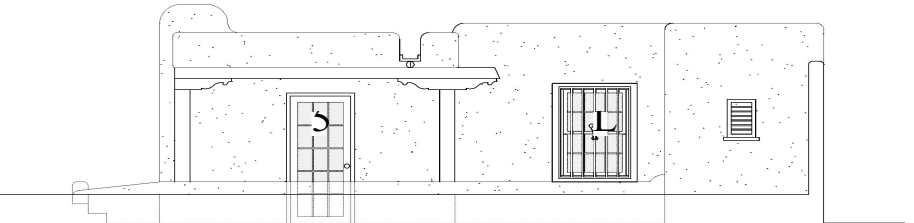
2 PROPOSED NORTH
(REAR) ELEVATIONS
Scale: 1/4" = 1'-0"



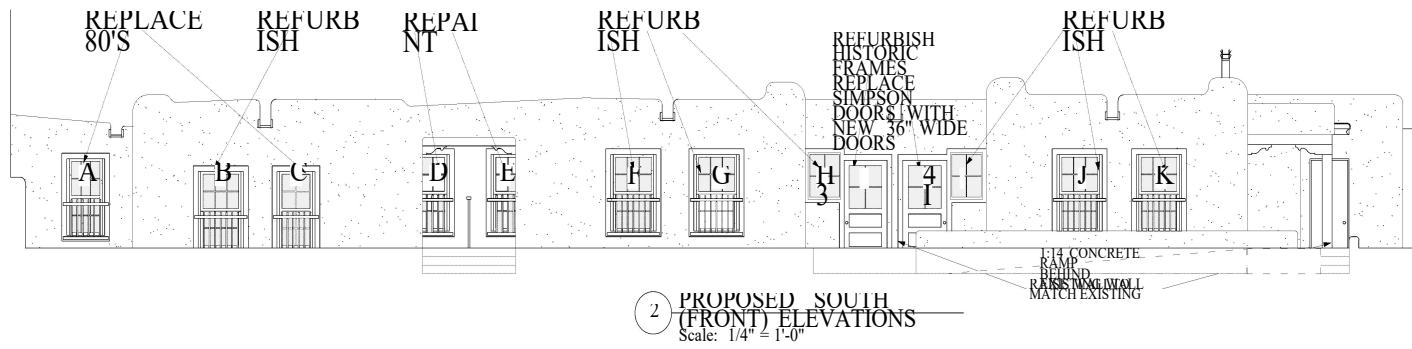
1 EXISTING NORTH
(REAR) ELEVATIONS
Scale: 1/4" = 1'-0"



1 PROPOSED EAST (RIGHT) ELEVATIONS
Scale: 1/4" = 1'-0"



2 EXISTING EAST (RIGHT) ELEVATIONS
Scale: 1/4" = 1'-0"





WEST
ELEVATION



SOUTH
ELEVATION

CITY DEED

THIS INSTRUMENT, Made this 14th day of January A. D. nineteen hundred forty-two, between the City of Santa Fe, a municipal corporation, in the County of Santa Fe, in the State of New Mexico, and Alfredo Ortiz Mayor, and R. L. Thornton Clerk, of said city, parties of the first part, and ---Martha L. D. Field---

part Y of the second part:

WITNESSETH, That whereas, under and pursuant to an Act of Congress entitled, "An Act to Settle the Title to Real Estate in the City of Santa Fe, New Mexico," approved April 9th, A. D. 1900, said part Y of the second part has S duly applied, as the claimant and owner of the at certain tract of land and real estate hereinafter described, for a conveyance and quit claim thereof to her, under the provisions of said Act of Congress, and has S duly presented a proper deed therefor, to be executed under the provisions of said act; and

WHEREAS, said tract of land and real estate is claimed as the individual holding of said second part Y and the same and every part thereof has been in the possession of the said second part Y and predecessors in title in the manner provided in said act, for the full period of ten years before the passage of said act; and

WHEREAS, said second part Y is entitled, under the provisions of said Act of Congress, to a conveyance and quit claim of said tract of land and real estate from the said parties of the first part;

NOW THEREFORE, in consideration of the premises, and by virtue of the authority of the said act, and to fully carry out and execute the trust created in and by said act, said parties of the first part, have released, relinquished, conveyed and forever quit claimed, and by these presents do release, relinquish, convey and forever quit claim unto the said part Y of the second part and to her heirs and assigns forever, all the following described tract and lot of land and real estate, situate, lying and being in the City and County of Santa Fe, in the State of New Mexico, and within the present survey of the Santa Fe Grant, as the same appears on file in the General Land Office in Washington and in the office of the Surveyor General for the District of New Mexico, and in said Act of Congress, approved April 9th, 1900, and more particularly bounded and described as follows, to-wit:

Beginning at the southwest corner of this property marked by x mark on concrete driveway, whence the northwest corner of Blatt Building (southeast intersection of Shelby and Palace) bears S. 85° 26' W., 147.9 feet distant and whence also the northeast corner of Blatt Building bears S. 83° 00' W. 78.50 feet distant; thence N. 20° 46' E. 44.0 feet to a point; thence N. 68° 20' W. 17.9 feet to a point; thence N. 22° 43' E. 8.9 feet to a point; thence N. 51° 32' W. 3.9 feet to a point; thence N. 20° 35' E. 102.77 feet to northwest corner of building; thence S. 71° 39' E. 93.4 feet to a point; thence S. 72° 08' E. 76.0 feet to a point; thence S. 18° 09' W. 50.1 feet to a point; thence N. 72° 42' W. 34.2 feet to a point; thence S. 20° 25' W. 8.9 feet to a point; thence S. 20° 52' W. 19.5 feet to a point; thence N. 71° 22' W. 18.6 feet to a point; thence S. 21° 31' W. 53.3 feet to a point; thence S. 20° 18' W. 13.5 feet to a point; thence N. 71° 31' W. 18.1 feet to a point; thence S. 18° 28' W. 18.8 feet to north side of Palace Avenue; thence N. 69° 00' W. 60.55 feet along north side of Palace Avenue to the place and point of beginning.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and also all and singular, all the right, title and interest therein which said first parties now have or may hereafter acquire under and by virtue of said Act of Congress or of any patent issued by the United States.

TO HAVE AND TO HOLD, All and singular, the above mentioned and described premises with the appurtenances and privileges thereunto belonging, or in anywise appertaining unto the said part Y of the second part her heirs and assigns, forever.

IN WITNESS WHEREOF, the said City of Santa Fe, by its mayor and clerk, has duly signed its name hereto

and hereto caused its seal to be duly affixed, and the said mayor and clerk for themselves, as provided in said act aforesaid, have hereunto signed their names and affixed their seals the day and year first above written.

THE CITY OF SANTA FE,

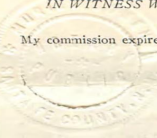
And by R. L. Thornton, Clerk.
R. L. Thornton (SEAL)
Clerk, City of Santa Fe.

By Alfredo Ortiz, Mayor.
Alfredo Ortiz (SEAL)
Mayor, City of Santa Fe.

STATE OF NEW MEXICO, }
County of Santa Fe. } ss.

On this 14th day of January, A. D. 1942, before me personally appears Alfredo Ortiz, Mayor, and R. L. Thornton, Clerk, of the City of Santa Fe, New Mexico, to me known to be the persons described in and who executed the foregoing instrument for themselves as such mayor and clerk and in behalf of said City of Santa Fe, New Mexico, who being duly sworn on their respective oaths did severally say each for himself and not one for the other, the said Alfredo Ortiz, that he is the mayor, and the said R. L. Thornton, that he is the clerk of said city and corporation, and that the seal affixed to said instrument is the corporate seal of said city and corporation, and that said instrument was signed and sealed in behalf of said city and corporation by authority of its council, and the said Alfredo Ortiz Mayor, and R. L. Thornton Clerk, as aforesaid, acknowledge said instrument to be the free act and deed of said city and corporation, and that they executed the foregoing instrument in behalf of said city and corporation, and they acknowledge that they executed the same as the free act and deed of said city and corporation, and that they executed the same as their free act and deed, as such mayor and clerk, under and in pursuance of the Act of Congress, approved April 9, 1900, entitled, "An Act to Settle the Title to Real Estate in the City of Santa Fe, New Mexico."

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.
My commission expires May 14, 1945 Manuel Sanchez
Notary Public.



CITY DEED
No. _____
TO
City of Santa Fe

67737 1117

STATE OF NEW MEXICO, }
County of Santa Fe. } ss.

I hereby certify that this instrument was filed for record on the 22nd day of

January A. D. 1942 at 11:17 o'clock A. M. and duly recorded on the 22nd day of

January A. D. 1942, in Book 11, Page 183,

E. J. Martinez
County Clerk.

By [Signature]
Deputy:

00111

and hereto caused its seal to be duly affixed, and the said mayor and clerk for themselves, as provided in said act aforesaid, have hereunto signed their names and affixed their seals the day and year first above written.

THE CITY OF SANTA FE,

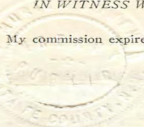
And by R. L. Thornton, Clerk.
R. L. Thornton (SEAL)
Clerk, City of Santa Fe.

By Alfredo Ortiz, Mayor.
Alfredo Ortiz (SEAL)
Mayor, City of Santa Fe.

STATE OF NEW MEXICO, }
County of Santa Fe. } ss.

On this 14th day of January, A. D. 1942, before me personally appears Alfredo Ortiz, Mayor, and R. L. Thornton, Clerk, of the City of Santa Fe, New Mexico, to me known to be the persons described in and who executed the foregoing instrument for themselves as such mayor and clerk and in behalf of said City of Santa Fe, New Mexico, who being duly sworn on their respective oaths did severally say each for himself and not one for the other, the said Alfredo Ortiz, that he is the mayor, and the said R. L. Thornton, that he is the clerk of said city and corporation, and that the seal affixed to said instrument is the corporate seal of said city and corporation, and that said instrument was signed and sealed in behalf of said city and corporation by authority of its council, and the said Alfredo Ortiz Mayor, and R. L. Thornton Clerk, as aforesaid, acknowledge said instrument to be the free act and deed of said city and corporation, and that they executed the foregoing instrument in behalf of said city and corporation, and they acknowledge that they executed the same as the free act and deed of said city and corporation, and that they executed the same as their free act and deed, as such mayor and clerk, under and in pursuance of the Act of Congress, approved April 9, 1900, entitled, "An Act to Settle the Title to Real Estate in the City of Santa Fe, New Mexico."

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year last above written.
My commission expires May 14, 1945 Amel Suarez
Notary Public.



STATE OF NEW MEXICO, }
County of Santa Fe. } ss.
I hereby certify that this instrument was
filed for record on the 22nd day of
January A. D. 1942 at
11:17 o'clock A. M., and duly recorded
on the 22nd day of
January A. D. 1942,
in Book 11, Page 163.
E. J. Martinez
County Clerk

CITY DEED
No. _____
TO
City of Santa Fe

#57737

67757 1117

0 1000

CITY DEED

THIS INSTRUMENT, Made this 14th day of January A. D. nineteen hundred forty-two, between the City of Santa Fe, a municipal corporation, in the County of Santa Fe, in the State of New Mexico, and Alfredo Ortiz Mayor, and R. L. Thornton, Clerk, of said city, parties of the first part, and ---Martha L. D. Field---

part Y of the second part:

WITNESSETH, That whereas, under and pursuant to an Act of Congress entitled, "An Act to Settle the Title to Real Estate in the City of Santa Fe, New Mexico," approved April 9th, A. D. 1900, said part Y of the second part ha S duly applied, as the claimant and owner of th at certain tract of land and real estate hereinafter described, for a conveyance and quit claim thereof to her, under the provisions of said Act of Congress, and ha S duly presented a proper deed therefor, to be executed under the provisions of said act; and

WHEREAS, said tract of land and real estate is claimed as the individual holding of said second part Y and the same and every part thereof ha S been in the possession of the said second part Y and predecessors in title in the manner provided in said act, for the full period of ten years before the passage of said act; and

WHEREAS, said second part Y is entitled, under the provisions of said Act of Congress, to a conveyance and quit claim of said tract of land and real estate from the said parties of the first part;

NOW THEREFORE, in consideration of the premises, and by virtue of the authority of the said act, and to fully carry out and execute the trust created in and by said act, said parties of the first part, have released, relinquished, conveyed and forever quit claimed, and by these presents do release, relinquish, convey and forever quit claim unto the said part Y of the second part and to her heirs and assigns forever, all the following described tract and lot of land and real estate, situate, lying and being in the City and County of Santa Fe, in the State of New Mexico, and within the present survey of the Santa Fe Grant, as the same appears on file in the General Land Office in Washington and in the office of the Surveyor General for the District of New Mexico, and in said Act of Congress, approved April 9th, 1900, and more particularly bounded and described as follows, to-wit:

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Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and the reversion and reversions, remainder and remainders, rents, issues and profits thereof; and also all and singular, all the right, title and interest therein which said first parties now have or may hereafter acquire under and by virtue of said Act of Congress or of any patent issued by the United States.

TO HAVE AND TO HOLD, All and singular, the above mentioned and described premises with the appurtenances and privileges thereunto belonging, or in anywise appertaining unto the said part Y of the second part her heirs and assigns, forever.

IN WITNESS WHEREOF, the said City of Santa Fe, by its mayor and clerk, has duly signed its name hereto



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008868--HDRB

Project Description: 2024-008868-HDRB, 329 Otero St., Downtown and Eastside Historic District, Lisa Martinez, agent for Mike and Christine Foster, property owners, propose to remodel main residence by replacing doors and windows and request an exception to 14-5.2(D) (5)(a)(i) windows, doors, and other architectural features on a contributing structure

Project Location(s): 329 OTERO ST
Santa Fe, NM 87501

Contacts:

Applicant: LISA MARTINEZ
3201 C ZAFARANO DR 111
SANTA FE, NM 87507

lisadmartinezdesign@gmail.com

Property Owner: Mike & Christine Foster

christinefoster63@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: True Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 1984

Year of Construction: 1935-1936

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2024-008868-HDRB, 329 Otero Street, Downtown and Eastside Historic District, Lisa Martinez, agent for Mike and Christine Foster, property owners, propose to remodel main residence by replacing doors and windows and request an exception to 14-5.2(D)(5)(a)(i) windows, doors, and other architectural features on a primary facade of a contributing structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Façade Diagram

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: PNM Utility Bills and Previous Administrative Approval Documentation

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met and recommends denial of the exception to replace historic windows on the primary facade of a contributing structure. Staff recommends approval of the other aspects of the application (re-stuccoing) as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The single-family residence and sidewall at 329 Otero Street are listed as contributing to the Downtown and Eastside Historic District and the north, south and west facades designated as primary. The structure is a modest 1,048 sq. ft. and constructed between 1935-36 in the Territorial architectural design style as seen by the adobe block construction material, brick coping (stretcher,

dentil, stretcher courses) and an entry porch facing Otero Street to the west. There was an addition to the southern portion of the structure in 1945.

In Case No. 2024-007886-HDRB, the structure and yard wall were given contributing status with primary facades designated on February 27, 2024. Recently the property received two Administrative Approvals for solar panels (2021-004566-Admin) and for a vehicle gate, stucco, and parapet repair (2023-007664-Admin).

The following exterior alterations proposed in this request (Case No. 2024-008868) include:

- 1) Installation of new doors and windows for which an exception is requested.
- 2) Re-stucco the entire structure with cementitious stucco color adobe brown.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(a)(i): Staff requested an exception for removal of historic windows and doors on a primary façade.

(i) Do not damage the character of the district

Applicant Response: The proposed replacement windows will not damage the character of the Downtown and Eastside Historic District in that they will reproduce the true-divided lite patterns of all existing windows (and lite structure of historic windows conforming to district standards) and the color (white - new wood (interior), w/white metal exterior cladding), so the public visibility of the residence will not look different from today's street view. Therefore, the current streetscape will remain unchanged, thus, preserving the aesthetics of Territorial Revival buildings with the most common use of white or cream trim color. We would, however, request to replace the North-B window (Non-Historic) with a replacement window to match the other true-divided lite patterns. The proposed replacement doors will not damage the character of the Downtown and Eastside Historic District in that they will reproduce the wood + true-divided lite pattern of the door on the west, street facing façade. The proposed natural wood stain color will support Santa Fe style design which utilizes exposed natural wood colors, both inside and outside of structures.

Staff Response: Staff finds that the exception criteria has been considered but not addressed. The current windows and doors in the window assessment identified as windows C, D, E, G, H and I are all historic windows and can be restored. Removing repairable and restorable windows damages the character of the historic district by replacing them with metal clad windows. Staff recommends the windows be repaired and restored in-kind keeping the integrity of the structure and providing the insulation needed for the future. As for the non-historic windows and doors, staff recommends they be repaired or replaced with windows and doors in the same character as the historic windows and doors. This will provide uniformity and enhance the aesthetics as well as the needed upgrade the applicant is requesting.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: The requirement to repair and retain the historic windows that are not in premium condition will require additional cost and effort through the years to restore and maintain the aging wood. The window assessment identifies four historic windows that are only in fair condition and need a lot of specialized expert workmanship, i.e., the exterior finishes are cracked and peeled, putty glazing is cracking and missing in 30% - 40% of the sashes, and all sashes, frames, and casings have some members that are 30% - 40% completely deteriorated. The proposed new metal-clad wood windows will present less of a hardship to the applicant with easier maintenance (if the wood interior, metal clad option is approved) and longer durability especially because half of the building's windows are located on a south-facing façade where wood preservation and maintenance is very challenging due to the intense sunlight which is a major source of damage to wood. Further, they will reduce climate control costs by providing better seals. This will follow the City of Santa Fe's sustainability programs, including the Climate Action Plan.

Staff Response: Staff finds that the criterion has not been met. The term "Public Welfare" is not defined in Chapter 14; however, the Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and development. The window assessment clearly states that windows C, D, E, G, H and I are all historic windows, are in satisfactory or fair condition and can be restored. Staff also understands that the proposed metal clad windows will provide less maintenance however if the historic windows are properly restored they will also need less maintenance and provide the insulation desired.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: The request to replace historic windows with new windows that require less monitoring and maintenance will allow residents to live comfortably in the house without needing to have the specialized knowledge of the effects of deterioration and methods of preservation. Citizens of the 21st century may not be as versatile as the jack of-all-trades from previous centuries, and they may not have the financial resources that old wood windows can require. As described, the proposed new windows are wood w/metal cladding on the exterior. This is especially important for the south elevation with intense sunlight that will dry out wooden surfaces leading to cracking and warping. The use of metal cladding is a design option that addresses the importance of sustainability in the 21st century. The Downtown and Eastside Historic District design standards generally do not discourage nor disallow the use of metal cladding on new windows.

Staff Response: Staff finds that the criteria has not been addressed. Removing repairable and restorable historic windows including all historic construction material, architectural features and elements is the owner's responsibility living in the historic districts. Staff understands the time and cost that goes into living and owning a contributing structure in the historic districts, and it is important to maintain the structures integrity for future generations.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(C) Regulation of Significant and Contributing Structures in the Historic Districts

(Ord. No. 2004-26)

(1) Purpose and Intent

It is intended that:

- (a) Each *structure* to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical *development*, such as the addition of conjectural features or architectural elements from other *buildings*, shall not be undertaken;
- (b) Changes to *structures* that have acquired historic *significance* in their own right shall be retained and preserved, recognizing that most *structures* change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a *structure* be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic *property* and its environment would be unimpaired.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.
- (5) Windows, Doors, and Other Architectural Features
- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
 - (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are

almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;

- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or

dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and

- (f) Flat roofs shall have not more than thirty (30) inches overhang.

DEFINITIONS

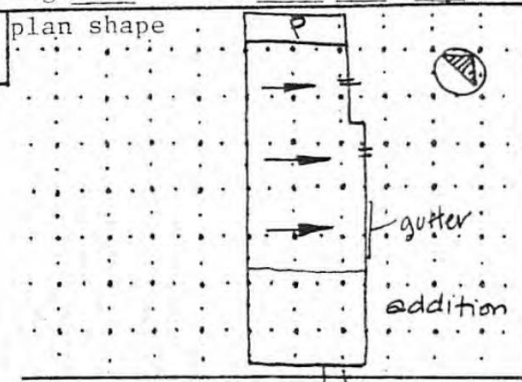
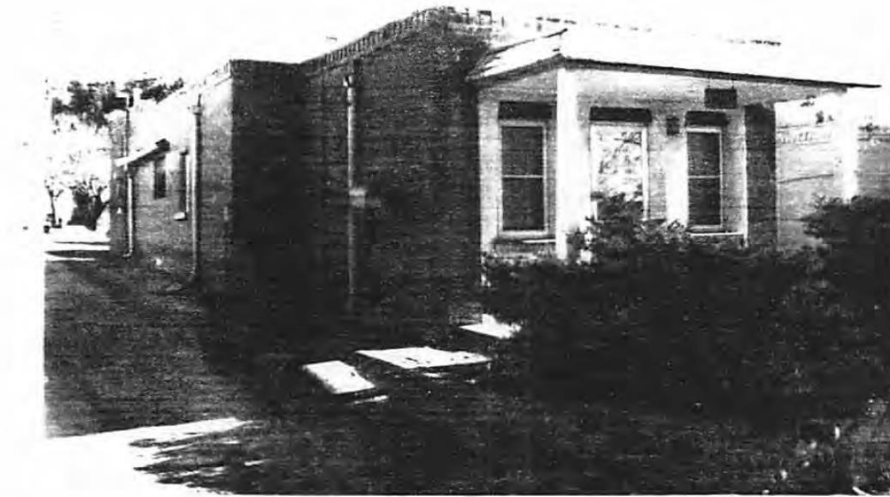
14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H 2832

building threatened? yes	surveyed date 11/5/84 by SL	county SANTA FE	ID no. 051612063
field map SFHD #2	number 2063	UTM reference zone 12 13	easting northing
location description 329 OTERO ST.		city/town SANTA FE	
		land grant/reservation na	
building name N.A.		legal description tnsp N S range E W sec OTERO 1/4 1/4	
film roll by SL no. 37	negative nos. 12	loc. of neg. HPB	plan shape



date of construction
~1935-³⁶ estimate _____ actual _____
source JOSE
OWNER: ANTONIO & ISABEL DOMINGUEZ
use
present residential
other _____
historic residential
other _____
condition
_____ excellent good
_____ fair _____ deteriorating

TR	CONC. wall material/surface ADOBE/STUCCO
----	--

degree of remodeling
 minor moderate _____ major
describe:
same addition '45

architectural features
flat parapet w/ brick coping (fr. top: stretcher, dentil, stretcher)

surroundings
yes.
relationship to surroundings
 similar _____ not similar

w: slidg. alum w/ wd. lintel + brick sill, 2/2 dbh placed horizontally, 3/1 dbh single w/ brick lug sill (w + w/out wd lintel)

district potential
 yes _____ no
significance
_____ eligible of _____ none
if eligible, interest
why?

comments
d: solid w/ 1 lrg. pane w/ wd lintel, solid w/ 6 lit

contrib.

associated buildings? _____ yes
what type?
if inventoried, list ID nos.
see back? _____ yes

associated buildings? _____ yes
what type?
if inventoried, list ID nos.
see back? _____ yes



City of Santa Fe
Land Use Department
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

PROJECT 2024-007886-HDRB. 329 Otero St. Downtown & Eastside Historic District. Contributing. Lisa
DESC: Martinez, agent for Mike & Christine Foster, owner, request status review and primary façade designations

CASE NUMBER: 2024-007886--HDRB

PROJECT TYPE: Historic Status Review

LOCATION: 329 OTERO ST
Santa Fe, NM 87501

CONTACTS: Applicant

LISA MARTINEZ

3201 C ZAFARANO DR 111
SANTA FE, NM 87507

BOARD ACTION

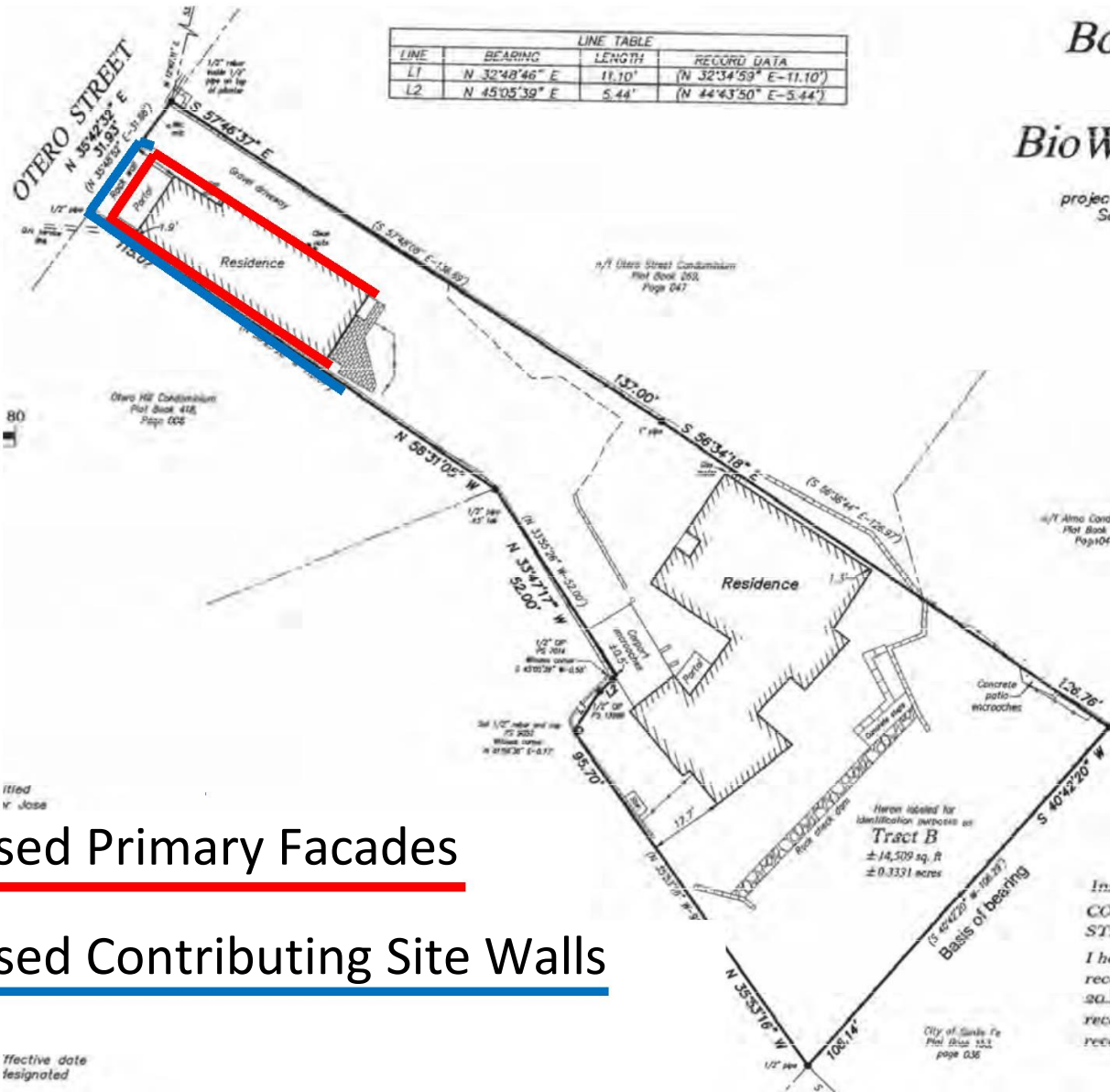
This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on Feb 27, 2024. The decision of the Board was to retain the status of the structure as contributing with the north, south and west facades designated as primary and that the river stone retaining sidewall along the west and south be designated contributing.

For further information please call 505-955-6605.

Sincerely,

Ramon Sarason

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. **Please attach copies of this letter to all sets when submitting for construction permits.**



Bo

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project
Sar

Proposed Primary Facades

Proposed Contributing Site Walls

Inst
COL
STA
I her
reco
so.1
reco
reco

B CONSTRUCTIV LLC

3201- C Zafarano Dr. #111
Santa Fe, NM 87507
Phone: (505) 470-7888
lmartinez@bconstructiv.com



LISA D. MARTINEZ
P.O. BOX 446 CHIMAYO, NM 87522

HISTORIC DESIGN REVIEW BOARD PROPOSAL FOR 329 OTERO ST. SANTA FE, NM 87501

MIKE AND CHRISTINE FOSTER

July 2023/January, June, July & August 2024 Updates

July 15, 2023/January, June, July & August 23, 2024 Updates

Ms. Cecilia Rios, Chair & HDRB Members
Historic Preservation Division
200 Lincoln Avenue
PO Box 909
Santa Fe, NM 87504-0909

Re: 329 Otero Street, Santa Fe, NM 87501 – Mike & Christine Foster - Request for HDRB Approval to replace Casita Windows/Doors + Stucco Patching

Chair Rios and HDRB Members,

Please accept this request/application for remodeling at the Casita at 329 Otero Street. The residence is a Territorial Revival contributing historic structure in the Downtown and Eastside Historic District with the north, south and west elevations designated as primary facades, per HDRB action on February 27, 2024. (See Attached Board Action Letter). The attached drawings further reference a New 4'-6" high x 12'-0" wide single driveway gate, as well as stucco repair/patching and brick parapet maintenance/repair. An Administrative Approval for the gate, stucco and parapet work was granted on January 4, 2024 by the Historic Preservation Division. (See Attached Administrative Approval Letter, signed by Ramon Sarason.) A subsequent building permit was issued in August 2024 for the work.

In addition to the Administrative Approval granted, on behalf of the Applicant we request approval (based on Exception Criteria defined in this letter), to replace all existing windows and doors on the Casita to address egress concerns as well as air leaks and drafts that are resulting in exorbitant energy bills, despite the installation of storm windows that were designed to improve energy costs for the residents. Further, as a part of the window/door replacement, the Applicant plans to make minor stucco repairs. The proposal is as follows:

- At the Casita, the proposal includes the replacement of existing inoperable windows that are required by code to allow for an exit in case of an emergency, and to provide access for a firefighter to gain entrance. Egress windows (or doors) are required in every habitable space, especially in any room used for sleeping purposes, and requires its own egress window. In the Casita at 329 Otero Street, many of the windows are inoperable, or are very difficult to open, creating a significant safety concern in terms of meeting exit requirements in case of emergency.
- In addition to the safety concerns associated with egress, the request for replacement of existing windows and doors extends to improving energy efficiency and reducing the cost of current utility bills. The Owners are aware of the City's sustainability programs and the adopted climate action plan. Their goal is to comply with Historic provisions as well as to ensure energy savings per the plan to reduce residential energy CO2 emissions. Their desire to update the window and doors is critical so less energy is consumed. It is critical to update the building infrastructure for a 90-year old structure so that it is sustainable for the next 50 years. It is not sustainable to pay \$1,000. over a 3-month period to heat a 1000 sq. ft. casita (see attached PNM electric bills.) We are hopeful the Historic Division will not be contrary to City climate and sustainability initiatives as the proposed project is in keeping with the historic look of the immediate area and surrounding Historic District.
- As part of the window/door replacement, the current exterior window colors will be retained (white) and the new doors will be stained in a natural wood color. Stucco repair will match existing stucco color.

GENERAL DESIGN STANDARDS EXCEPTION REQUEST:

The General Design Standards for ALL H Districts call for the following:

14-5-2(D)(5)(a)(i)

(D) General Design Standards for ALL H Districts

(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

A Window/Door Historic Assessment from Ra Patterson, RPA & Associates identifies all three doors and three of nine windows as non-historic with the remaining six windows as having a historic date of manufacture. His rating system for the state of preservation is premium, satisfactory, fair, and unsatisfactory. In his opinion, all three non-historic doors are in satisfactory condition; the two historic windows on the west, street-facing elevation are in satisfactory condition; while the one historic window on the north elevation and the three historic windows on the south elevation are in fair condition.

As described, the Historic Window/Door Assessment describes various conditions associated with the integrity of the windows and doors. In lieu of the recommended restoration, we respectfully request HDRB review of the following Request for an Exception to the General Design Standards for All H Districts... to replace, rather than restore, as follows:

- To replace historic windows that are not beyond repair and;
- To replace historic true-divided-lite wood windows with metal-clad true-divided-lite wood windows.
- Replace non-historic doors with doors to match west, street-facing elevation. Instead of white, proposal would include a request to stain the doors a natural, wood color.

JUSTIFICATION FOR EXCEPTION REQUEST to Replace Historic Windows/Doors on Primary Facades with Window Materials Not In-Kind:

(i) Do not damage the character of the district;

- The proposed replacement windows will not damage the character of the Downtown and Eastside Historic District in that they will reproduce the true-divided lite patterns of all existing windows (and lite structure of historic windows conforming to district standards) and the color (white - new wood (interior), w/white metal exterior cladding), so the public visibility of the residence will not look different from today's street view. Therefore, the current streetscape will remain unchanged, thus, preserving the aesthetics of Territorial Revival buildings with the most common use of white or cream trim color. We would, however, request to replace the North-B window (Non-Historic) with a replacement window to match the other true-divided lite patterns.
- The proposed replacement doors will not damage the character of the Downtown and Eastside Historic District in that they will reproduce the wood + true-divided lite pattern of the door on the west, street facing façade. The proposed natural wood stain color will support Santa Fe style design which utilizes exposed natural wood colors, both inside and outside of structures.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare; and

- The requirement to repair and retain the historic windows that are not in premium condition will require additional cost and effort through the years to restore and maintain the aging wood. The window assessment identifies four historic windows that are only in fair condition and need a lot of specialized expert workmanship, i.e., the exterior finishes are cracked and peeled, putty glazing is cracking and missing in 30% - 40% of the

sashes, and all sashes, frames, and casings have some members that are 30% - 40% completely deteriorated. The proposed new metal-clad wood windows will present less of a hardship to the applicant with easier maintenance (if the wood interior, metal clad option is approved) and longer durability especially because half of the building's windows are located on a south-facing façade where wood preservation and maintenance is very challenging due to the intense sunlight which is a major source of damage to wood. Further, they will reduce climate control costs by providing better seals. This will follow the City of Santa Fe's sustainability programs, including the Climate Action Plan.

(iii) **Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.**

- The request to replace historic windows with new windows that require less monitoring and maintenance will allow residents to live comfortably in the house without needing to have the specialized knowledge of the effects of deterioration and methods of preservation. Citizens of the 21st century may not be as versatile as the jack-of-all-trades from previous centuries and they may not have the financial resources that old wood windows can require. As described, the proposed new windows are wood w/metal cladding on the exterior. This is especially important for the south elevation with intense sunlight that will dry out wooden surfaces leading to cracking and warping. The use of metal cladding is a design option that addresses the importance of sustainability in the 21st century. The Downtown and Eastside Historic District design standards generally do not discourage nor disallow the use of metal cladding on new windows.

For additional details pertaining to the proposed window and door replacement, see attached drawings.

Thank you for your attention to this important request. If you have any questions or need additional information, do not hesitate to contact me.

Sincerely,

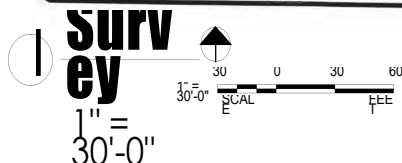
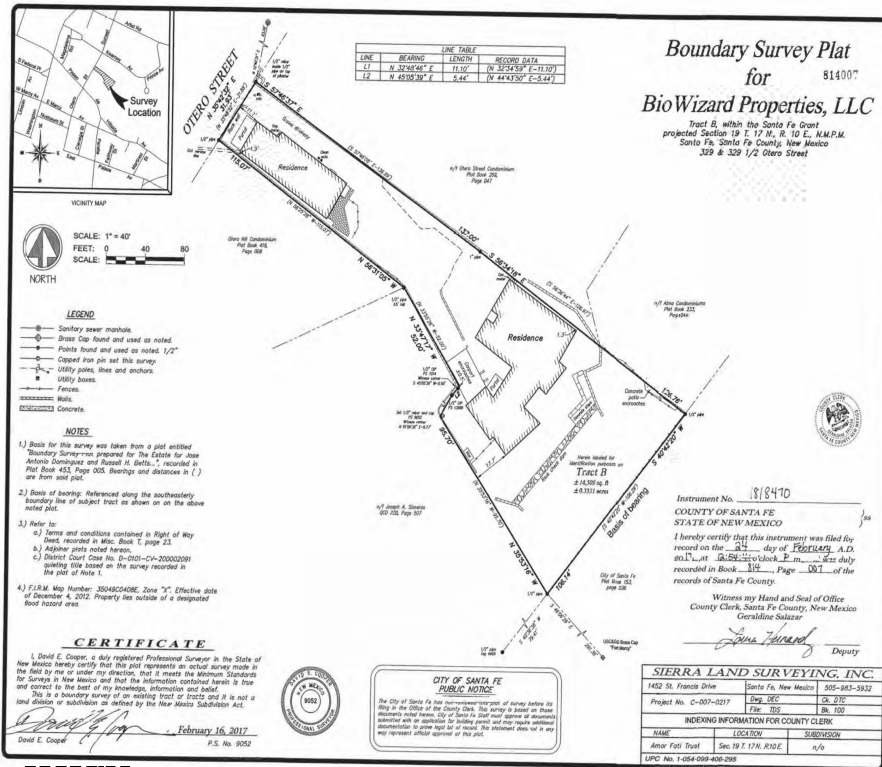
Lisa D. Martínez

Lisa D. Martinez, Principal Owner, B Constructiv LLC
(505) 470-7888 lmartinez@bconstructiv.com

Attachments: Property Survey + Site Plan
Existing/Proposed Casita Floor Plan(s) + Elevation(s), Window/Door Specifications, Gate Details, Exterior Stucco + Lighting Details
City of Santa Fe Historic Preservation Division Historic Districts Application
Building Permit Application
HDRB Board Action Letter – Status Review + Primary Façade designation(s) for Casita
RPA & Associates Final Window & Door Assessment – 329 Otero St. Santa Fe, NM 87501
PNM Electric Bills – 329 Otero Street, Santa Fe, NM 87501:
2023: February 21, 2023 (\$521.74), March 23, 2023 (\$306.87),
2024: February 20, 2024 (\$412.32)
City of Santa Fe Historic Preservation Division Administrative Approval Letter for “New 4’-6” high x 12’-0” wide single gate as indicted on the attached plans. Patch and repair stucco and brick parapets to match existing.”

PROJECT SCOPE

- MATCHING AS REQUIRING, REPAIR TO MATCH EXISTING COLOR AND TEXTURE
- *REPAIR AND MAINTAIN BRICK PARAPET.
- REMOVE AND REPLACE EXISTING WINDOWS AND DOORS WITH MATCHING WINDOWS AND DOORS, PER ELEVATIONS.
- *INSTALL NEW 12' WIDE x 4'-6" HIGH SINGLE GATE AT DRIVEWAY.
- PROVIDE AUTOMATIC GATE OPENER
- PROVIDE RAINBOX FOR CITY OF SANTA FE FIRE DEPARTMENT. PROVIDE COMPATIBLE LOCKS.
- MAINTENANCE & REPAIRS APPROVED ADMINISTRATIVELY, SEPARATE BUILDING PERMIT.
- GATE APPROVED ADMINISTRATIVELY, SEPARATE BUILDING PERMIT.



FOSTER RESIDENCE
329 Otero St.
Santa Fe, New Mexico 87501
Project Number: **87501-007**
Date: **02/17/2017**

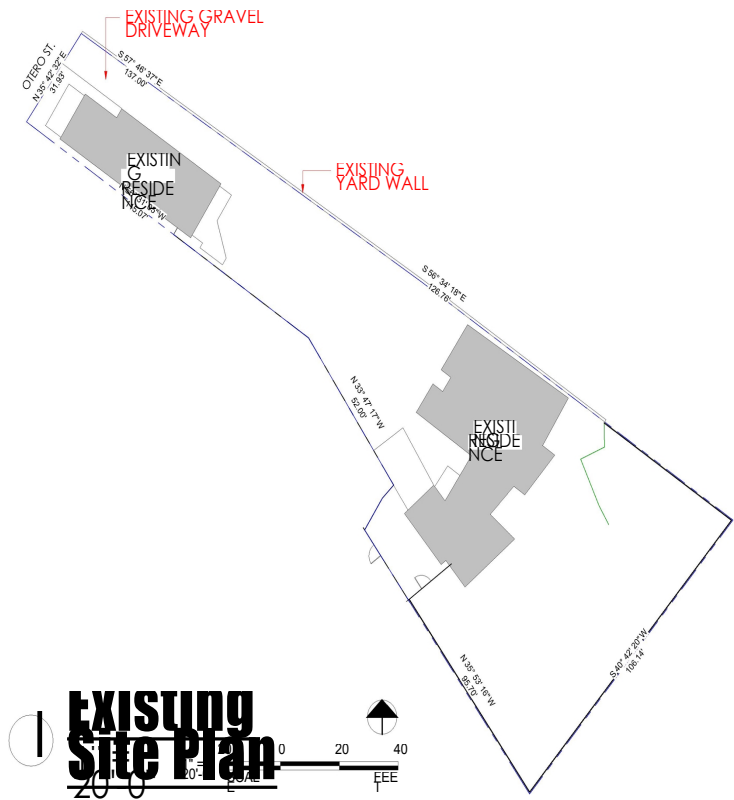
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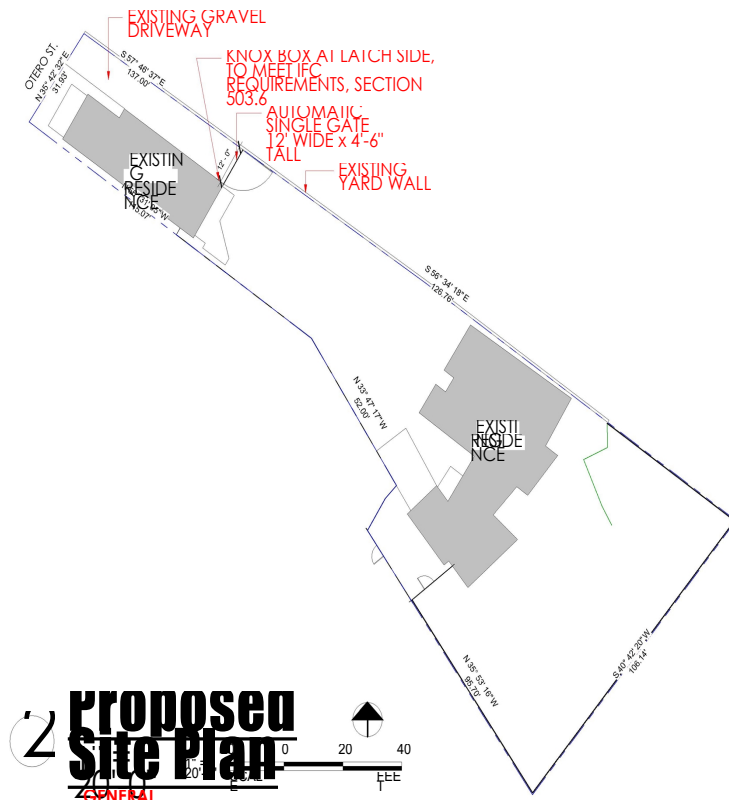
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New Mexico 505.470.7888

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Martinez Design Group



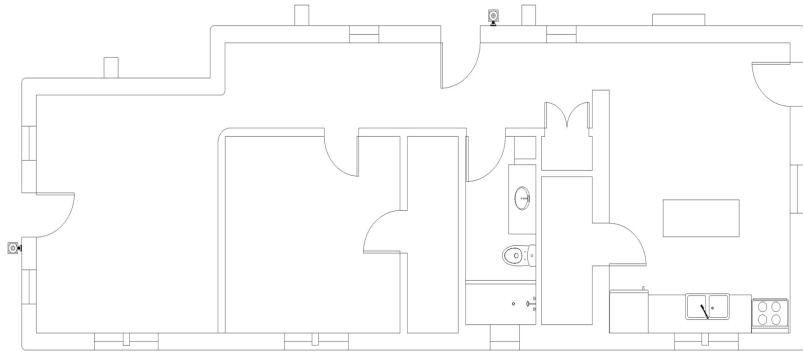
1
Existing Site Plan
 Scale: 1" = 20'-0"
 0 20 40
 Feet



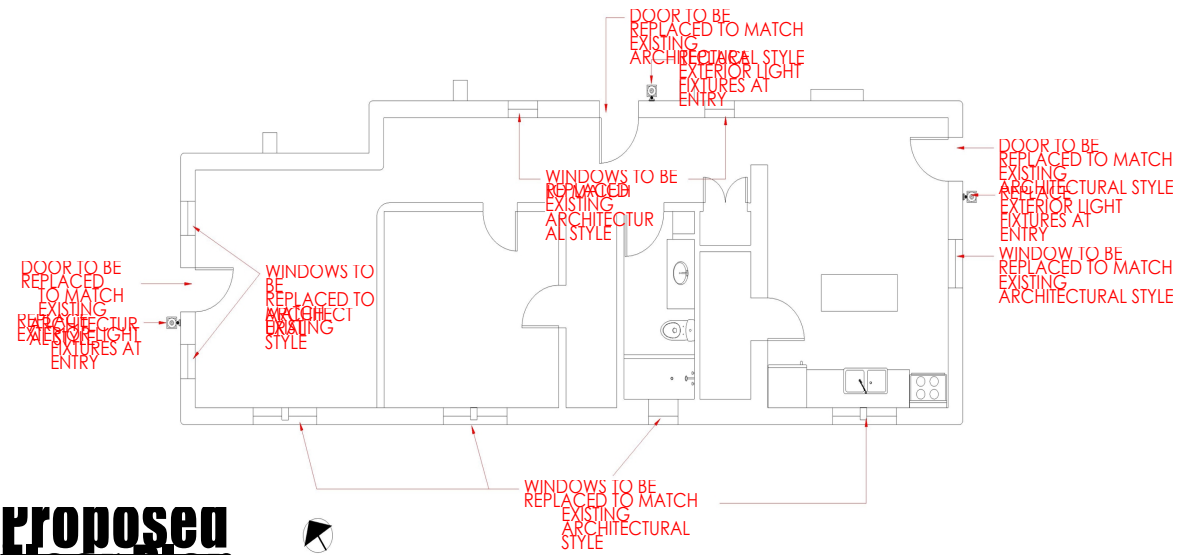
2
Proposed Site Plan
 Scale: 1" = 20'-0"
 0 20 40
 Feet
GENERAL NOTES:
 - NO PROPOSED CHANGES
 - GATE APPROVED ADMINISTRATIVELY,
 SEPARATE BUILDING PERMIT.

AU SITE PLAN
 Scale: 1" = 20'-0"
 Date: 8/31/24

PERMIT SET
BROUGHT TO YOU BY: B CONSTRUCTIV DESIGN AND CONSTRUCTION Lisa D. Martinez Designs New Mexico 505.470.7888
In Collaboration with  Martinez Design Group
Foster Residence 329 Otero St. Santa Fe, New Mexico 87501 Project Number: 854 Date: 8/31/24



1 **EXISTING Floor Plan**
 1" = 6'-0"
 4 6 8 10
 FEE



2 **Proposed Floor Plan**
 1" = 6'-0"
 4 6 8 10
 FEE

GENERAL NOTES:
 PROPOSED CHANGES TO LAYOUT

PERMIT SET

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Foster Residence
 329 Otero St.
 Santa Fe, New Mexico 87501
 Project Number **824**

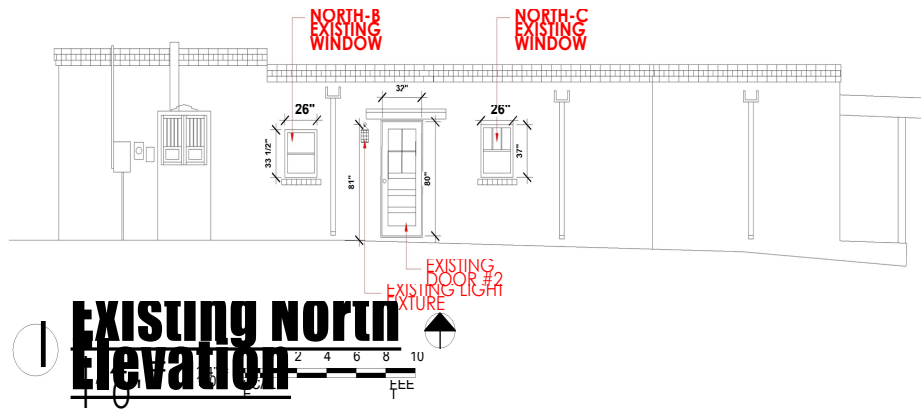
Date **01/31/24**

A1 FLOOR PLAN

Scale: **1/4" = 1'-0"**

Date: **01/31/24**

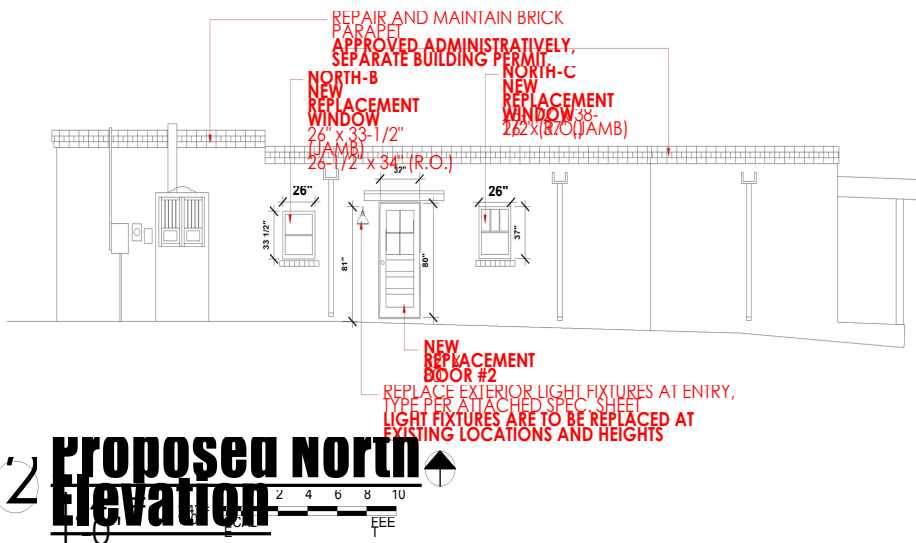
7/31/2024 2:20:58 PM



1 Existing North Elevation

GENERAL NOTES

- DOORS TO BE REPLACED TO MATCH EXISTING ARCHITECTURAL STYLE. SEE ATTACHED WINDOW REPLACEMENT AGREEMENT
- WINDOW + DOOR COLOR TO MATCH PROVIDED COLOR SAMPLES
- STUCCO PATCHING AROUND WINDOWS + DOORS AND OTHER AREAS REQUIRING REPAIR TO MATCH EXISTING COLOR AND TEXTURE
- REPLACE EXTERIOR LIGHT FIXTURES AT EACH ENTRY DOORWAY. SEE ATTACHED CUT-SHEETS. LIGHT FIXTURES ARE TO BE REPLACED AT EXISTING LOCATIONS AND HEIGHTS
- NOT
- WINDOW/DOOR LABELS MATCH RPA & ASSOCIATES HISTORIC WINDOW + DOOR ASSESSMENT



2 Proposed North Elevation

PERMIT SET

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New Mexico 505.470.7888

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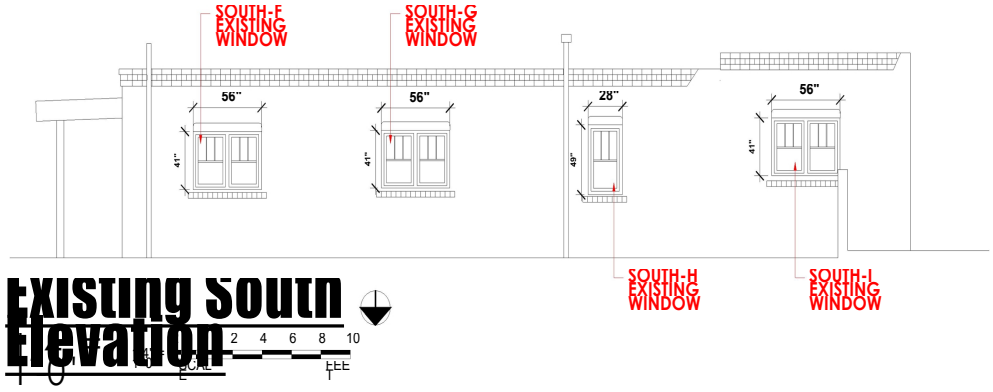
Martinez Design Group

Foster Residence
329 Otero St.
Santa Fe, New Mexico 87501
Project Number **07/31/24**

A2 NORTH ELEVATION

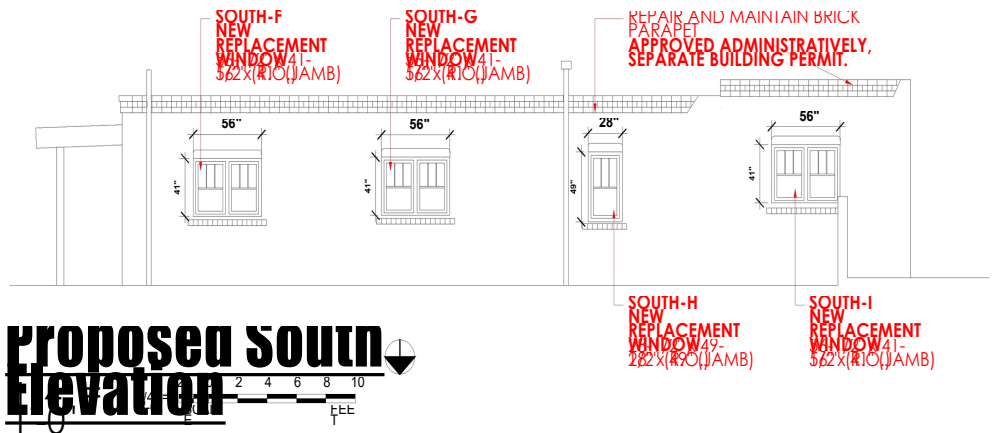
Scale: **1/8" = 1'-0"**

AS Indicated Date



GENERAL NOTES:

- DOORS TO BE REPLACED TO MATCH EXISTING ARCHITECTURAL STYLE. SEE ATTACHED WINDOW REPLACEMENT AGREEMENT
- WINDOW + DOOR COLOR TO MATCH PROVIDED COLOR SAMPLES
- STUCCO PATCHING AROUND WINDOWS + DOORS AND OTHER AREAS REQUIRING REPAIR TO MATCH EXISTING COLOR AND TEXTURE
- REPLACE EXTERIOR LIGHT FIXTURES AT EACH ENTRY DOORWAY. SEE ATTACHED CUT SHEETS.
- LIGHT FIXTURES ARE TO BE REPLACED AT EXISTING LOCATIONS AND HEIGHTS
- NOT WINDOW/DOOR LABELS MATCH RPA & ASSOCIATES HISTORIC WINDOW + DOOR ASSESSMENT



PERMIT SET

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In Collaboration with

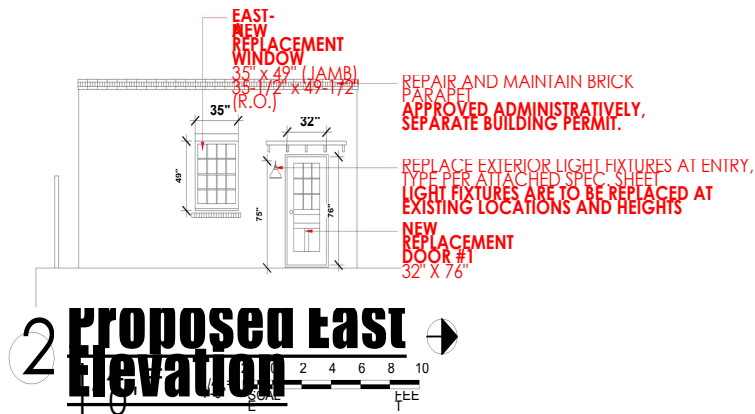
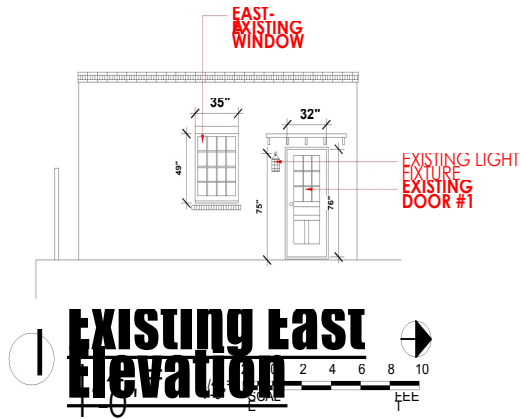
Martinez Design Group

Foster Residence
329 Otero St.
Santa Fe, New Mexico 87501
Project Number **07/31/24**
824

AZ SOUTH ELEVATION

Scale: 1/8" = 1'-0"

AS Indicated Date



GENERAL NOTES:

- DOORS TO BE REPLACED TO MATCH EXISTING ARCHITECTURAL STYLE. SEE ATTACHED WINDOW REPLACEMENT AGREEMENT
- WINDOW + DOOR COLOR TO MATCH PROVIDED COLOR SAMPLES
- STUCCO PATCHING AROUND WINDOWS + DOORS AND OTHER AREAS REQUIRING REPAIR TO MATCH EXISTING COLOR AND TEXTURE
- REPLACE EXTERIOR LIGHT FIXTURES AT EACH ENTRY DOORWAY. SEE ATTACHED CUT-SHEETS
- LIGHT FIXTURES ARE TO BE REPLACED AT EXISTING LOCATIONS AND HEIGHTS
- NOT
- WINDOW/DOOR LABELS MATCH RPA & ASSOCIATES HISTORIC WINDOW + DOOR ASSESSMENT

PERMIT SET

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Lisa D. Martinez | **Designs**
New Mexico 505.470.7888

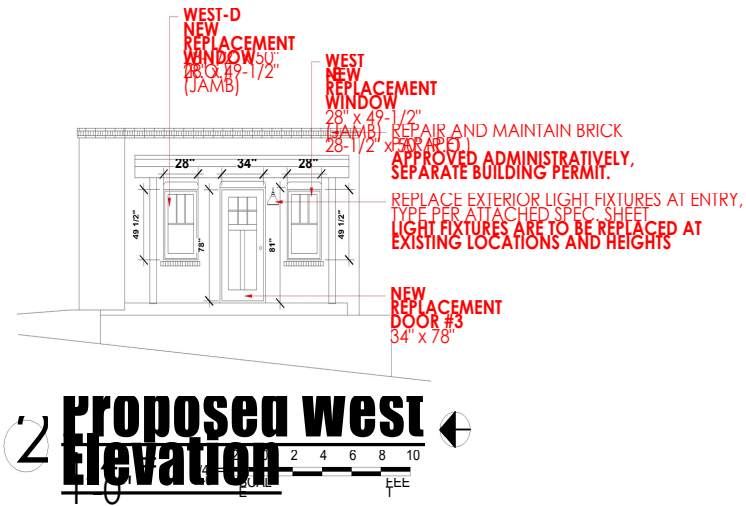
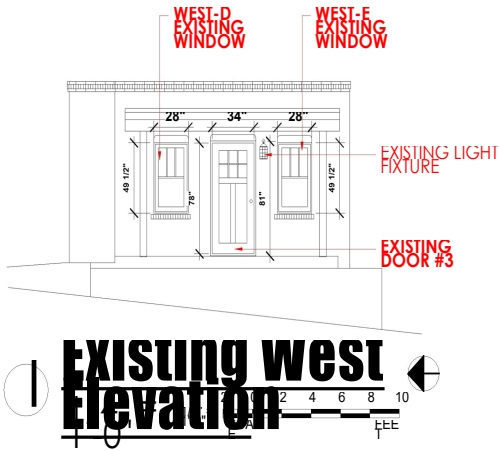
In Collaboration with

Martinez Design Group

Foster Residence
329 Otero St.
Santa Fe, New Mexico 87501
Project Number **07/31/24**
824

A2 EAST ELEVATION

Scale: **1/2"** AS Indicated Date



GENERAL NOTES:

- DOORS TO BE REPLACED TO MATCH EXISTING ARCHITECTURAL STYLE. SEE ATTACHED WINDOW REPLACEMENT AGREEMENT
- WINDOW + DOOR COLOR TO MATCH PROVIDED COLOR SAMPLES
- STUCCO PATCHING AROUND WINDOWS + DOORS AND OTHER AREAS REQUIRING REPAIR TO MATCH EXISTING COLOR AND TEXTURE
- REPLACE EXTERIOR LIGHT FIXTURES AT EACH ENTRY DOORWAY. SEE ATTACHED CUT-SHEETS
- LIGHT FIXTURES ARE TO BE REPLACED AT EXISTING LOCATIONS AND HEIGHTS
- NOT WINDOW/DOOR LABELS MATCH RFA & ASSOCIATES HISTORIC WINDOW + DOOR ASSESSMENT

A2 WEST ELEVATION
Scale: 1/8" = 1'-0"
Date: AS Indicated

PERMIT SET

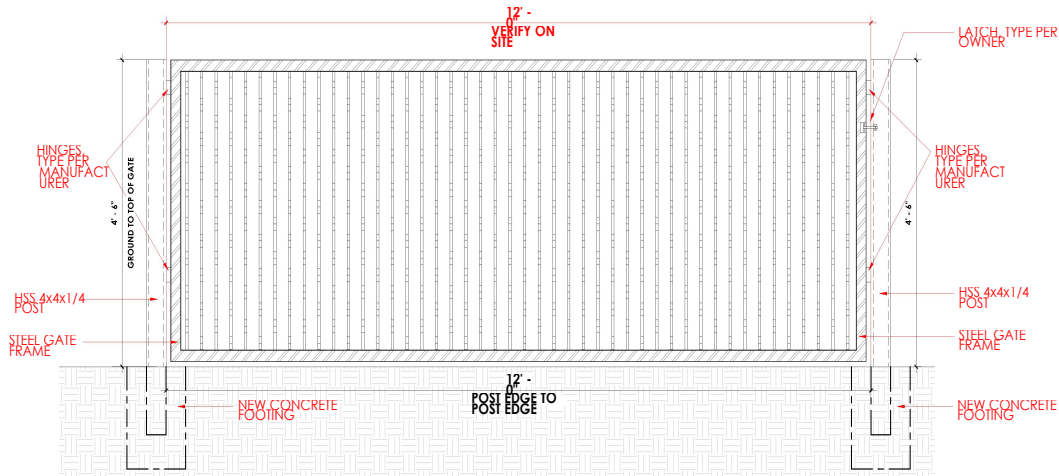
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CONSTRUCTIV
DESIGN AND CONSTRUCTION

Lisa D. Martinez | Designs
New Mexico 505.470.7888

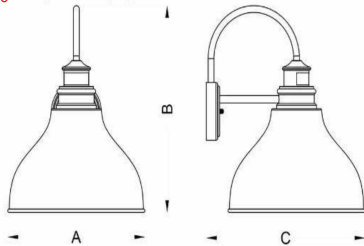
In Collaboration with
Martinez Design Group

Foster Residence
329 Otero St.
Santa Fe, New Mexico 87501
Project Number: **07/31/2**
824



1 Gate Elevation

GENERAL NOTE: APPROVED ADMINISTRATIVELY, SEPARATE BUILDING PERMIT.
 - GATE HARDWARE DETERMINED BY OWNER
 - GATE OPERATOR: AUTOMATIC GATE OPENER, SEE SPECIFICATIONS
 - Gates are only to be used for security gates across a fire apparatus access road shall be approved by the fire chief. Where security gates are installed, they shall have an approved means of emergency operation. The security gates and emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be listed in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200

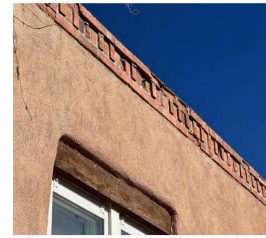


A: 9
 B: 13-1/4"
 C: 11-1/4"

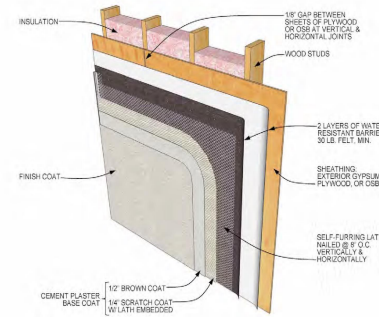
**MANUFACTURER: VAXCEL
 MODEL: DELANO
 #T0259
 COLOR: BRONZE W/ GOLD INTERIOR**

2 Exterior Light Fixture

GENERAL NOTE: FIXTURES ARE TO BE REPLACED AT EXISTING LOCATIONS AND HEIGHTS. LIGHT ELEVATION VARIES FROM 75"-81", PER ELEVATIONS.



NOTE STUCCO COLOR: LA HABRA MOCHA (COLOR 338) SPECIAL COLOR MATCHING MAY BE REQUIRED TO MATCH EXISTING. REPAIR AND MAINTAIN BRICK CARAPET APPROVED ADMINISTRATIVELY, SEPARATE BUILDING PERMIT.



3 STUCCO NICITO OSCALE

Dimensions	
Mounting Plate Height (in.)	4.75 in
Mounting Plate Width (in.)	4.75 in
Product Depth (in.)	11.25 in
Product Height (in.)	13.25 in
Product Width (in.)	9 in
Details	
Compatible Bulb Type	Incandescent, LED
Damp/Wet Rating	Wet Rated
Detection Range (ft.)	40
Durability	Weather Resistant
Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Oil Burnished Bronze/Light Gold
Fixture Material	Steel
Included	Hardware Included, Motion Sensor
Indoor/Outdoor	Indoor
Light Bulb Base Code	E26

Light Bulb Type Included	No Bulbs Included
Light Direction	Down
Max. Bulb Wattage (W)	60 W
Number of Lights	1 Light
Outdoor Lighting Features	Dark Sky, Dusk to Dawn, Motion Sensing
Package Quantity	1
Power Source	Hardwired
Product Size	Medium
Product Weight (lb.)	2.57 lb
Recommended Light Bulb Shape Code	A19
Returnable	90-Day
Sconce Type	Barn
Shade Material	Metal
Shape	Dome
Voltage Type	Line Voltage
Warranty / Certifications	
Certifications and Listings	ETL Listed
Manufacturer Warranty	5 Year Limited Warranty

PERMIT SET

BROUGHT TO YOU BY: **B** (E)

CONSTRUCTIV
 DESIGN AND CONSTRUCTION

Lisa D. Martinez | Designs
 New Mexico 505.470.7888

In Collaboration with **Martinez Design Group**

Foster Residence
 329 Otero St.
 Santa Fe, New Mexico 87501
 Project Number 07/31/24

A3 DETAILS
 Scale: 1/8" = 1'-0"
 AS Indicated Date

NORTH
ELEVATION



EAST
ELEVATION



A4 PICTURE
Scale 1/8" = 1'-0"

PERMIT SET
BROUGHT TO YOU BY: (E) B
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Lisa D. Martinez Designs New Mexico 505.470.7888
In Collaboration with  Martinez Design Group
Foster Residence 329 Otero St. Santa Fe, New Mexico 87501 Project Number Date 8/31/24

SOUTH
ELEVATION



WEST
ELEVATION



A4 PICTURES
Cont.
Scale
1/8" = 1'-0"

PERMIT SET
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CONSTRUCTIV DESIGN AND CONSTRUCTION
Lisa D. Martinez Designs New Mexico 505.470.7888
In Collaboration with  Martinez Design Group
Foster Residence 329 Otero St. Santa Fe, New Mexico 87501 Project Number Date 01/31/24 854

In closing, my professional opinion is Windows C, D, E, G, H & I are all historic windows and the windows can be restored.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Re-N.*
Patterson-----

RPA & ASSOCIATES | WINDOW & DOOR CONDITION AND INTEGRITY CODES

COD	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION. PUTTY GLAZING INTACT. ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS. PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% - 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE. PUTTY GLAZING CRACKING AND MISSING IN 30% - 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% - 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED. PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTE
S:

LABE L	WINDOW & DOOR DESCRIPTION	CONDITI ON & GRITY CODE	HISTORIC/NON-HISTORIC - AGE
EAST - DR RH#	32 x 76 DOOR	S	NON-HISTORIC - SIMPSON CUI DOWN DOOR WIDE
EAST - A	36 x 49 DOUBLE HUNG	S	1990's MUTTON
	8/8 INSULATED GLASS	S	NON-HISTORIC - JELDWEN (2001)
NORTH - B	26 x 33 DOUBLE HUNG	S	NON-HISTORIC - SHOP MADE SASHES 1-LT WITH MECHANICAL NAILS (1990's)
NORTH -	32 x 80 RH DOOR 4-LI/3-PANEL WOOD STOP - PLYWOOD PANEL	S	NON-HISTORIC - SIMPSON DOOR (1990's)
NORTH -	32 x 80 RH DOOR 4-LI/3-PANEL WOOD STOP - PLYWOOD PANEL	F	HISTO RIC
	HUNG 3W1H/1-LT	S	HISTO RIC
WEST - D	25 x 49 1/2 DOUBLE HUNG 3W1H/1-LT	S	NON-HISTORIC - SIMPSON DOOR (1990's)
WEST - E	25 x 49 1/2 DOUBLE HUNG 3W1H/1-LT	S	HISTO RIC
		F	NON-HISTORIC - SHOP MADE SASHES (1990's)
SOUTH - F	54 x 42 TWIN DOUBLE HUNG 1/1-LT	F	HISTO RIC
		F	HISTO RIC
SOUTH - G	54 x 42 TWIN DOUBLE HUNG 3W1H/1-LT	F	HISTO RIC
		F	HISTO RIC
SOUTH - H	26 x 49 1/2 DOUBLE HUNG 3W1H/1-LT		HISTO RIC
			HISTO RIC
SOUTH - I	54 x 42 TWIN DOUBLE HUNG 3W1H/1-LT		

NOTE
 ALL THE STORMS ARE NON-HISTORIC AND THEY WERE MADE IN THE LATE 1990's TO 2000's ERA.



SOLD BY:
 Western Building Supply
 4201 Paseo del Norte NE
 Albuquerque, NM 87111
 www.westernbuilding.com
 505-823-2500

The Glass Act
329 Otero St

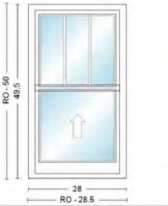
CREATED DATE: 4/26/2024
LATEST UPDATE: 4/28/2024
OWNE R: Chad Toppert

Abbreviated Quote Report - Listing

PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
329 Otero St ESERIES (Glass Act)	5691505		24183

ORDER NOTES:

DELIVERY NOTES:



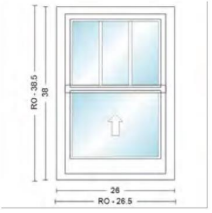
Item	Qty	Operation	Location	Unit Price	Ext.
100	2	Fixed/Active	None Assigned	\$1,600.80	\$3,201.60
RO Size = 28 1/2" x 50"		Unit Size = 28" x 49 1/2"			
<p>TCLDH 2' 4"X4' 1 1/2", Unit, E-Series Single-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Fixed/Active, Dual Pane Low-E4 Standard Air Fill w/Breather Tubes, Simulated Divided Light (SDL) Division, 3 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Full Frame Glass, No Grille Bar, Vinyl Interior, Height Area (Sq Grille Bar 5/8" Grille Bar, Ovgl Glass Stop Stainless Glass / Grille Spacer, Sash Lift, White, 2 Sash Locks White, White Jamb Liner, Plastic Jamb Liner Inserts, White, 2604, Full, Fiberglass</p>					
Unit #	U-Factor	F-factor	Height	Area (Sq Ft)	
A1	0.34	0.27	49.0	23.6875	18.5000
3.04320					

Quote #:
5691505

Print Date: 4/26/2024
2:50:16 PM UTC

All Images Viewed from
Exterior

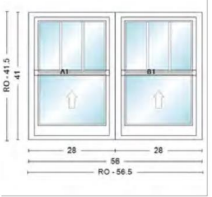
Page 1 4
of



Item	Qty	Operation	Location	Unit Price	Ext.
400	1	Fixed/Active	None Assigned	\$1,388.60	
RO Size = 26 1/2" x 38 1/2"		Unit Size = 26" x 38"			
TCLDH 2' 2"X3' 2", Unit, E-Series Single-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Fixed/Active, Dual Pane Low-E4 Standard Air Fill w/Breather Tubes, Simulated Divided Light (SDL) Division, 3 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Insulated Green Sash, Equal Glass, Unwidth, 28 x 41					

Unit #	U-Factor	Insulation
A1	0.34	0.27

Full Interior Glass Stop, Grille Bar, Oval Glass Stop Stainless Glass / Grille Spacer, Sash Lift, White, 2 Sash Locks White, White Jamb Liner, Plastic Jamb Liner Inserts, White, 2604, Full, Fiberglass



Item	Qty	Operation	Location	Unit Price	Ext.
500	3	Fixed/Active	None Assigned	\$2,977.20	
RO Size = 56 1/2" x 41 1/2"		Unit Size = 56" x 41"		\$8,931.60	
Mull: Factory Mull, Andersen Ribbon Mull, 20' 4" Mull Max TCLDH 2' 4"X3' 5", Unit, E-Series Single-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Fixed/Active, Dual Pane Low-E4 Standard Air Fill w/Breather Tubes, Simulated Divided Light (SDL) Division, 3 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Insulated Green Sash, Equal Glass, Unwidth, 28 x 41					

Unit #	U-Factor	Insulation
A1	0.34	0.27
B1	0.34	0.27

Full Interior Glass Stop, Grille Bar, Oval Glass Stop Stainless Glass / Grille Spacer, Sash Lift, White, 2 Sash Locks White, White Jamb Liner, Plastic Jamb Liner Inserts, White, 2604, Full, Fiberglass

Quote #: 5691505

Print Date: 4/26/2024 2:50:16 PM UTC

All Images Viewed from Exterior

Page 3 of 4



City of Santa Fe
Land Use Department | Historic
Preservation Division

Administrative
Approval

THIS IS NOT A
CONSTRUCTION PERMIT
DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT
THIS FORM WITH YOUR
CONSTRUCTION PERMIT APPLICATION AND
OBTAIN A COPY AT THE JOB

Date: January
04, 2024
To: Building Permit
Division

From: [Signature]
Ramon
Sarason

Be advised that per §14-5.2 SFCC 1987 the work described below at
the referenced address does NOT
require Historic Districts Review Board approval and is hereby staff-
approved as described below. Please
Project Address: 529 OLMEDA
Santa Fe, NM 87501

Case Number: 2023-007664--

Contact Name: LISA
MARTINEZ

Phone Number: 505-
470-7888

Email:
lisadmartinezdesign@gmail.c
om

Approved Scope of Work: New 4'-6" high x 12'-0" wide single gate as
indicated on the attached plans.

Conditions of Approval: Patch and repair stucco and brick parapets to match existing.
No other work approved at this time.
Future window and door replacements to be approved by the Historic
District Review Board prior to any
installation.

FURTHER ACTIONS REQUIRED: PERMIT or
PERMIT REVISION

FINAL HISTORIC
INSPECTION



**CHRISTINE
FOSTER**
329 1/2 Otero St
Santa Fe, NM
87501-1905

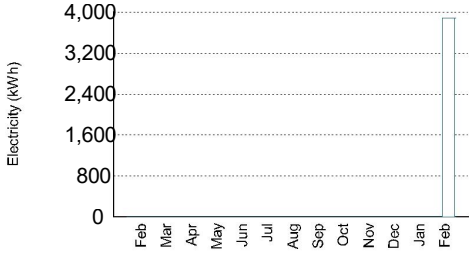


P 9034 000100

DUE DATE	AMOUNT DUE
03/15/2023	\$521.74
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

Service Address:
CHRISTINE FOSTER
329 OTERO ST
SANTA FE, NM
87501-1905
Bill Issued: 3/15/2023
Page: 1 of 2

YOUR ELECTRICITY USAGE



This graph shows your electricity usage

■ Previous 12 months □ This Bill

HOW TO REACH US

Online:
PNM.com
Phone: 1-888-DIAL-PNM (1-888-342-5766),
M-F 7:30AM-6PM
Payment: 1-844-PNM-PYMT (1-844-766-7968), 24/7

YOUR TOTAL CHARGES

Amount Of Your Last Bill Payments Received	\$0.00
Balance Before Current Bill	\$0.00
Your Current Electricity Charges	\$510.23
Your Current Renewable Energy Credit	\$14.00
Total Amount	\$521.74

\$521.74 will be drafted on MAR. 15, 2023

Please return this portion with payment

Service Address:
CHRISTINE FOSTER
329 OTERO ST
NM

DUE DATE	AMOUNT DUE
03/15/2023	\$521.74
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

\$521.74 will be drafted on MAR. 15, 2023

PNM
PO Box 27900
Albuquerque, NM
87125-7900



000005274610436193 4

875010000
00

018091

01683211201

1805 RB

YOUR CURRENT ELECTRICITY						
Meter Read Actual	Meter Read Date	Days Billed	Meter No	Meter Const	Total kWh	Rate
02/21/202	02/21/202	27	1101446	X 1.000	= kWh 2896.00	1A
Electricity You Used						
			Block 1		450,000 kWh @ \$	\$35.07
			Block 2		0.0779432	\$48.16
			Block 3		450,000 kWh @ \$	\$242.9
					0.1070240	3
Fuel Cost Adjustment:						
			Non-Renewable: 78.3% of kWh		1,996,000 kWh @ \$	\$86.13
					0.0379854	\$0.00
			Renewable: 21.7% of kWh		628,432 kWh @ \$	\$21.90
					0.0000000	\$7.11
			Renewable Energy Rider	3.396%	2,896,000 kWh @ \$	\$14.99
			Customer Charge	3.000%	0.0075619	\$13.69
			Franchise Fee			
			Gross Receipts Tax	5.0000		\$23.85
			State	%		\$7.16
			County	1.5000		\$8.65
			City	%		
Current Electricity Charges						\$509.64

YOUR CURRENT RENEWABLE						
Meter Read Actual	Meter Read Date	Days Billed	Meter No	Meter Const	Total kWh	Rate
02/21/202	02/21/202	27	5540317	X 1.000	= kWh 994.00	32
Electricity You Produced						
			Solar Energy, REC		994,000 kWh @ -\$	-\$2.49
			Gross Receipts Tax		0.0025000	
			State	5.0000		\$0.35
			County	%		\$0.11
			City	1.5000		\$0.13
				%		
Current Renewable Energy Credit						-\$1.90

OTHER CHARGES AND CREDITS	
Connect Charge	\$14.00
Other Charges and Credits	\$14.00

DUE DATE	AMOUNT DUE
03/15/20	\$521.7
23	4

ACCOUNT NUMBER
116042761 -
0436193 - 4

Service Address:
CHRISTINE FORTINERO
2021
SANTA FE,
NM 2

Page: 2 of 2

MESSAGE

Customer rights and responsibilities are available in the PNM Customer Service Guide. The information is available any time at PNM.com/guide. Los derechos y responsabilidades del cliente están disponibles en la Guía de Servicio al Cliente en PNM.com/guide. We're glad to have you as a customer and would like to let you know about a few things that might be useful to you. You can choose to get your bill via email or a traditional paper bill, then you can choose how to pay including your bank's web site, free online click to pay at PNM.com, and others. You can also set up free recurring payments from your checking or savings account with Automatic Bank Draft, and you can see your bill online any time. For details, go to PNM.com/paybill. You will receive a check from PNM when a billing error occurs but your bill so it's the same and generation results in a credit of \$100.00 and you can go to PNM.com/rebate to see more information on how to pay your bill. We have a lot of ways to help you save energy, pay down or possibly pay off, your balance. For more information on rebates, visit PNM.com/rebate. To learn more about our application help and updates, visit PNM.com/contact. For the PNM Consumer Satisfaction with your online account at PNM.com/PNM.com/guide. 888-DIAL-PNM.

WAYS TO PAY YOUR BILL

- Free Paperless Bill:** Save paper & reduce clutter. Sign up at PNM.com/paperless. Then you can choose how you would like to pay.
- Free Online Click-to-Pay:** Pay from your checking, savings or money market account. Sign up at PNM.com/pay.
- Free Automatic Payment:** Recurring payments from your checking or savings account with a paper bill or an email bill, your choice. Sign up for Automatic Payment at PNM.com/pay.
- Online Banking:** Pay your PNM bill online at your bank's website.
- Pay in person:** Visit to lenders or participating Western Union offices.
- See PNM.com/wu for current locations.** \$1.00 pay by credit, debit card or electronic check: Make one-time payments with Visa, MasterCard & Discover online at PNM.com/pay or by calling 1-844-PNM-PYMT (844-766-7968), A \$2.00 processing fee applies to all other bill options available to you.

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer (EFT) from your account or to process the payment as a check. When we make an EFT, funds may be withdrawn from your account the same day we receive your payment, and your check will not be returned to you from your financial institution.



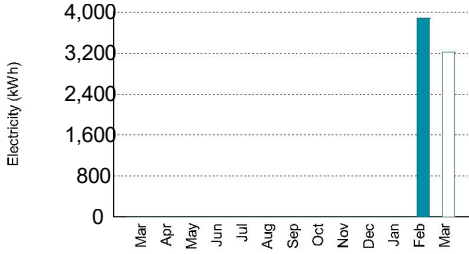
**CHRISTINE
FOSTER**
329 1/2 Otero St
Santa Fe NM
87501-1905

P 8944 000100

DUE DATE	AMOUNT DUE
04/14/2023	\$306.8
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

Service Address:
CHRISTINE FOSTER
329 OTERO ST
SANTA FE, NM 87501-1905
Bill Issued: 3/13/2023
Page: 1 of 2

YOUR ELECTRICITY USAGE



This graph shows your electricity usage

■ Previous 12 months □ This Bill

HOW TO REACH US

Online:
PNM.com
Phone: 1-888-DIAL-PNM (1-888-342-5766), M-F 7:30AM-6PM
Payment: 1-844-PNM-PYMT (1-844-766-7968), 24/7

YOUR TOTAL CHARGES

Amount Of Your Last Bill	\$521.74
Payments Received (Thank You)	\$521.74
Balance Before Current Bill	\$0.00
Current Electricity Charges	\$306.87
Total Amount	\$306.87

\$306.87 will be drafted on APR. 14, 2023

Please return this portion with payment

Service Address:
CHRISTINE FOSTER
329 OTERO ST
SANTA FE, NM

DUE DATE	AMOUNT DUE
04/14/2023	\$306.8
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

\$306.87 will be drafted on APR. 14, 2023

PNM
PO Box 27900
Albuquerque, NM
87125-7900

000000306877610436193 4

87501000000

017907

01715111101

1805 RB

YOUR CURRENT ELECTRICITY

Meter Read Actual	Meter Read Date	Days Billed	Meter No	Meter Const	Total kWh	Rate
03/23/202	03/23/202	30	1101446	X 1.000	13.00	1A
Electricity You Used						
			Block 1	450,000 kWh@ \$		\$35.07
			Block 2	0.0779432		\$48.16
			Block 3	450,000 kWh@ \$		\$111.1
				0.1070240		2
Fuel Cost Adjustment:						
			Non-Renewable: 78.3% of kWh	913,000 kWh@ \$		\$53.92
			Renewable: 21.7% of kWh	0.0379854		\$0.00
			Renewable Energy Rider	3.396%	1,813,000 kWh@ \$	\$7.11
			Customer Charge	3.000%	0.0075619	\$9.14
			City County Energy			\$8.35
			State Receipts Tax	5.0000		\$14.33
			County	%		\$4.30
			City	1.5000		\$5.19
				%		
			Current Electricity Charges	1,8125		\$310.4
				%		0

YOUR CURRENT RENEWABLE

Meter Read Actual	Meter Read Date	Days Billed	Meter No	Meter Const	Total kWh	Rate
03/23/202	03/23/202	30	5540317	X 1.000	13.00	32
Electricity You Produced						
			SPW Energy, REC	1,413,000 kWh@-\$		-\$3.53
			Generation and Rate	0.0025000		
			Current Renewable Energy Credit			-\$3.53

DUE DATE	AMOUNT
04/14/20	\$306.8
23	
ACCOUNT	
116042761 -	
0436193 - 4	

Service Address:
CHRISTINE FOZDORERO
ST
SANTA FE,
NM 2

Page: 2

MESSAGE

You will receive a check from PNM when a combination of your usage and generation results in a credit of \$2.00 on your account information current? Update any changes to your contact information with your online account at PNM.com or by calling 888-016-4PNM. Always fly kites, drones and model aircraft in open areas, away from power poles, overhead power lines and substations.

WAYS TO PAY YOUR BILL

- Free Paperless Bill:** Save paper & reduce clutter. Sign up at PNM.com/paperless.
- Free Online Click-to-Pay:** Pay from your checking, savings or money market account. Sign up at PNM.com/pay.
- Free Automatic Payment:** Recurring payments from your checking or savings account with a paper bill or an email bill, your choice. Sign up for Automatic Payment on PNM.com.
- Pay in person:** Visit to lenders or participating Western Union offices.
- Pay by Credit, Debit Card or Electronic Check:** Make one-time payments with Visa, MasterCard & Discover online at PNM.com/pay or by calling 1-844-PNM-PYMT (844-766-7968). A \$2.00 processing fee will be assessed on these and other bill options available to you.

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer (EFT) from your account or to process the payment as a check. When we make an EFT, funds may be withdrawn from your account the same day we receive your payment, and your check will not be returned to you from your financial institution.



**CHRISTINE
FOSTER**
329 1/2 OTERO
STREET
SANTA FE NM
87501

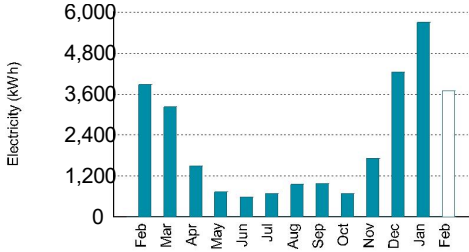


P 17888 000100

Service Address:
CHRISTINE FOSTER
329 OTERO ST
SANTA FE,
NM 87501
Bill Issued: 2/13/2024
Page: 1 of 2

DUE DATE	AMOUNT DUE
03/13/2024	\$412.3
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

YOUR ELECTRICITY USAGE



This graph shows your electricity usage

■ Previous 12 months □ This Bill

HOW TO REACH US

Online:
PNM.com
Phone: 1-888-DIAL-PNM (1-888-342-5766), M-F 7:30AM-6PM

Payment: 1-844-PNM-PYMT (1-844-766-7968), 24/7

YOUR TOTAL CHARGES

Amount Of Your Last Bill: \$9.47
Payments Received: \$0.00
Balance Before Current Bill: \$9.47
Your Current Electricity Charges: \$24.86

Your Current Renewable Total Amount: \$412.32

\$412.32 will be drafted on MAR. 13, 2024

Please return this portion with payment

Service Address:
CHRISTINE FOSTER
329 OTERO ST
NM

DUE DATE	AMOUNT DUE
03/13/2024	\$412.3
ACCOUNT NUMBER	
116042761 - 0436193 - 4	

\$412.32 will be drafted on MAR. 13, 2024

PNM
PO Box 27900
Albuquerque, NM
87125-7900

0000004123241

CO-GEN

001257

01788811801

1807 PS

YOUR CURRENT ELECTRICITY

Meter Read Actual	Meter Read Date	Days Billed	Meter Previous	Meter Constans	Total = kWh	Rate
02/20/202	02/20/202	29	1101446	X 1.000	2487.00	1A
Electricity You Used						
			Block 1	450,000 kWh@	\$	\$33.67
			Block 2	0.0748255		\$48.16
			Block 3	450,000 kWh@	\$	\$209.5
				0.1070240		2
Fuel Cost Adjustment:						
			Non-Renewable: 78.2% of kWh	1,488,000 kWh@	\$	\$60.99
				0.0326588		\$0.00
			Renewable: 21.8% of kWh	520,584 kWh@	\$	\$17.54
				0.0000000		\$0.30
Renewable Energy Rider						
			Transportation	2,388,000 kWh@	\$	\$9.95
			Energy Transition Charge*	0.0073448		\$7.68
			Gas Utility Energy Settlement Credit	2,388,000 kWh@	\$	\$13.22
				0.0001237		-\$19.51
			Palo Verde Regulatory Credit	3.000%		-\$0.25
			City/County Franchise Fee	4.8750		\$19.14
			County	%		\$5.89
			Gross Receipts Tax	1,5000		\$7.12
			State	%		
Current Electricity Charges						\$424.86

YOUR CURRENT RENEWABLE

Meter Read Actual	Meter Read Date	Days Billed	Meter Previous	Meter Constans	Total = kWh	Rate
02/20/202	02/20/202	29	5540317	X 1.000	229.00	32
Electricity You Produced						
			SBM Energy, REC	1,229,000 kWh@	-\$	-\$3.07
			Generation and Rate	0.0025000		
Current Renewable Energy Credit						-\$3.07

***San Juan**

A charge to recover costs associated with the early retirement of the San Juan Generating Station coal plant. All rights to the energy transition charges are owned by PNM Energy Transition Bond Company, LLC (ETBC I). This statement is required by a ruling from the New Mexico Taxation and Revenue Department. It is to disclose that PNM is collecting the charges on behalf of ETBC I, who will own them. For more information, please refer to PNM.com/definitions.

WAYS TO PAY YOUR BILL

- Free Paperless Bill:** Save paper & reduce clutter. Sign up at PNM.com/paperless.
 - Free Online Click-to-Pay:** Pay from your checking, savings or money market account. Sign up at PNM.com/pay.
 - Free Automatic Payment:** Recurring payments from your checking or savings account with a paper bill or an email bill, your choice. Sign up for Automatic Payment online at PNM.com/pay.
 - Pay in person:** Visit to our participating Western Union offices.
 - Pay by Credit, Debit Card or Electronic Check:** Make one-time payments with Visa, MasterCard & Discover online at PNM.com/pay or by calling 1-844-PNM-PYMT (844-766-7968). A \$2.00 processing fee will be assessed on all credit card payments.
- See PNM.com/pay for current locations. \$1.00 per month service fee for all other bill options available to you.

DUE DATE	AMOUNT DUE
03/13/20	\$412.3
24	2
ACCOUNT NUMBER	
116042761 -	0436193 - 4

Service Address:
CHRISTINE FORTINER
ST
SANTA FE,
NM 2

MESSAGE

You will receive a check from PNM when a combination of your usage and generation results in a credit of \$40 or more. Power outages cause thousands of power outages across the country each year when they come into contact with power lines. It is extremely important to ensure mylar balloons do not get released into the air. Mylar balloons should always be secured with weights, never attach metallic streamers to any balloons, and please do not release mylar balloons and streamers to you use address information on your online account with PNM either by calling 888-DIAL-PNM. Visit PNM.com/safety for more safety tips.

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer (EFT) from your account or to process the payment as a check. When we make an EFT, funds may be withdrawn from your account the same day we receive your payment, and your check will not be returned to you from your financial institution.



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008945--HDRB

Project Description: 2024-008945-HDRB, 1292 Lejano Ln., Downtown & Eastside Historic District, non-contributing, Thomas Hughes, agent for Catherine Wright and Burr Phillips, owners, proposes to construct a 1,902 sq. ft. residence on a sloping lot to a height of 14'-0" where the maximum allowable height is 14'-5".

Project Location(s): 1292 LEJANO LN
Santa Fe, NM 87501

Contacts:

Applicant: Thomas Hughes
1409 HICKOX ST
Santa Fe, NM 87505

hughesbuildersllc@gmail.com

Property Owner: Sheridan & Burr Wright & Phillips

voicegal@usa.net

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: NA

Year of Construction: 2019

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008945-HDRB, 1292 Lejano Ln., Downtown & Eastside Historic District, non-contributing, Thomas Hughes, agent for Catherine Wright and Burr Phillips, owners, proposes to construct a 1,902 sq. ft. accessory dwelling unit to a height of 16'6" where the maximum allowable height is 14'-5".

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Previous case documents

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The existing residential structure at 1292 Lejano Lane is a 3,700 sq. ft., (2019-001553-HDRB) residence built in 2019 in the Downtown and Eastside Historic District. The site has a steep grade and sits at the corner of Lejano Lane and Lorenzo Road. It has public visibility from both roads.

The applicant now proposes to:

- 1) Construct a 1,902 sq. ft. detached accessory dwelling unit with 1,430 sq. ft. of heated space and 472 sq. ft. of portals, to a height of 16'6" where the maximum allowable height is 14'5" on a sloping site. The elevation change is over 2 ft., the board may grant an additional 4 ft. of height per 14-5.2(D)(9)(c)(ii)(F).
 - a. North Elevation:
 - i. There is a 5' by 9' fenestration on the eastern end to enter under the east portal where the main entry doors are located. Moving to the west there are openings consisting of five (5) 3' by 3' awning windows, and two (2) triple 3' by 9' (9' by 9' total opening) high door panels.
 - ii. On the west end there is a portal over the windows. The portal will have a concrete floor with integral color Omaha Tan and sand finish and the walls and ceiling will be finished with white lime plaster.
 - b. West Elevation:
 - i. There are two (2) 3' by 3' awning windows side by side (3' by 6' total opening).
 - ii. The HVAC condensers will be wall hung.
 - c. South Elevation:
 - i. There is a single 3' by 3' awning window.
 - ii. There are four (4) 12" by 8" metal canals with 2' projections and 4' by 4' basins for piping to the pond.
 - d. East Elevation:
 - i. There is a single large opening consisting of (4) 5' by 9' panels (20' by 9' overall opening).
 - ii. There is a partially enclosed portal which is accessed from the north elevation and has an open area to the north end of the east wall. The portal will have a concrete floor with integral color Omaha Tan and sand finish and the walls and ceiling will be finished with white lime plaster.
 - iii. There is 4'6" high yardwall projecting from the wall to lead to the entrance and screen the walkway.
 - e. The residence will be finished in a La Habra "Belle Glade" stucco to match the main residence.
 - f. Windows and doors are black aluminum finish.
 - g. Exterior lighting will consist of five (5) 4" recessed can lights on the north portal, eight (8) recessed can lights on the east portal, and a WAC step light at 16" above ground at the entrance to the east portal.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

- (1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

(9) Height, Pitch, Scale, Massing and Floor Stepbacks

The height, pitch, *scale*, and massing of any *structure* in an historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

(c) Height

- (ii) In exercising its authority under this section, the board shall limit the height of *structures* as set forth in this section. Heights of existing *structures* shall be as set forth on the official map of *building* heights in the historic districts.

F. The board may increase the allowable height for proposed *buildings* and additions located on a sloping site where the difference in the natural *grade* along the *structure's* foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable *streetscape* measured from natural or finished *grade*, whichever is more restrictive. This increase in height shall be constructed only in the form of *building* stepbacks from the *street*.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a

slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;

- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;

- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 7.22.2024		1292 Lejano Lane
Property Owner of Record: Catherine Wright + Burr Phillips	Proposed Construction Description:	
Applicant/Agent Name: Thomas Hughes	New entry gate + guest house	
Contact Person Phone Number: 505310-1444	TOTAL ROOF AREA: Existing 4915, Proposed 1902	
Zoning District: R-5	Lot Coverage: 11.5 %	
Overlay: <input type="checkbox"/> Escarpment	<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone*	Setbacks:	
<input type="checkbox"/> Other: _____	Proposed Front: 250' Minimum: _____	
Submittals Reviewed with PZR:	2 nd Front? _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans	Proposed Rear: 18' Minimum: _____	
<input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Proposed Sides: L120' R27' Minimum: _____	
Supplemental Zoning Submittals Required for Building Permit:	Height: Proposed 16'6" max	
<input type="checkbox"/> Zero Lot Line Affidavit	Maximum Height: _____ or	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	<input type="checkbox"/> Regulated by Historic Districts Ordinance	
<input type="checkbox"/> Visibility Triangle Required	<input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential	Parking Spaces: N/A Existing	
<input type="checkbox"/> Commercial Type of Use: _____	Proposed _____ Accessible _____	
Terrain: <input type="checkbox"/> 30% slopes _____	Minimum: _____	
* Requires an additional review conducted by Technical Review Division.	Bicycle Parking**:	
** Requires an additional review conducted by the Traffic Engineering Division.	Proposed: _____ Minimum: _____	
	** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Thomas Hughes

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

7.22.2024

DATE

To Be Completed By City Staff:	2024-008867-PAR
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: MOUNTAINOUS AND DIFFICULT TERRAIN APPROVAL by Keana Rios / DATE: 08/07/2024	
Zoning Approval:	
<input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: Rebekah Clouser	DATE: 8/7/24

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

1292 Lejano Lane:

The owners would like to construct a guesthouse that is 1430 square feet heated with 472 square feet of portal for an overall footprint of 1902 square feet. The elevation will not exceed 16' 6" in height from the lowest existing grade to the top of the parapet. There is four feet of difference in grade within the footprint.

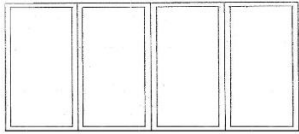
The guest house will be built in the same style and finishes as the main residence. The ICF structure will be stuccoed in the same brown color as the existing, and the interior of the portals will be finished with the same white lime plaster as well. The windows and doors are black aluminum finish on exterior. The portals will have a concrete floor with integral color Omaha Tan and sand finish.

North elevation: This faces Lejano lane and very little of the building on the east side may be visible from the road but none of the openings. There is a 5' w by 9' tall opening to enter the portal where main access is located. Then there is a high window opening within the kitchen consisting of (5) 3' by 3' awnings. Proceeding west is the first of two adjacent bedrooms, which have identical openings consisting of 3 door panels. Each panel is 3' wide and 9' tall, so both door units have 9' by 9' openings.

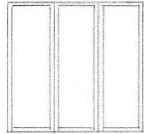
West elevation: This elevation has two identical openings of 2 awnings side by side that are 3' by 3', so the total opening is 3' h by 6' w. They are placed high; one is within the bedroom, and the other in its bath.

South elevation: This only has one opening within the powder room. It is a high awning 3' by 3'.

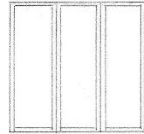
East elevation: This faces Lorenzo, and because of its location to the back of property and foliage, very little if any will be seen from the road. This has one large opening consisting of (4) 5' w by 9' tall panels for an overall opening of 20' w by 9' tall. There is a low wall in front that will not exceed 4'6" from the exterior and 2' from the interior finish patio floor.



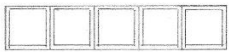
D1 ENTRY / LIVING / DINING
20' W X 9' H



D2 BEDROOM #2
9' W X 9' H



D3 BEDROOM #1
9' W X 9' H



W1
15' W X 3' H



W2 BEDROOM #1
6' W X 3' H



W3 BATHROOM #1
6' W X 3' H



W4 POWDER ROOM
3' W X 3' H

Gravity LED Outdoor In Ground Light

By DALs Lighting



Call Us (877) 445-4486

Gravity LED Outdoor In Ground Light
By DALs Lighting

Product Options

Finish: Black

Details

2200K - 4000K in pure whites
Superior LED performance and lifespan
Can be recessed or surface mounted
Bluetooth mesh technology
40° beam angle
Dimmable through the Dals Connect app
Selectable color temperature

Dimensions

Fixture: Height 4.06", Diameter 4.5", Weight 1Lbs

Lamp Type	LED Built-in
Total Lumens	515
Total Watts	10.00
Volts	24
Average Lifespan (Hours)	50,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



Notes:

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/gravity-led-outdoor-in-ground-light-by-dals-lighting-DAL2485027.html>
Rating: ETL Listed Wet

ITEM#: DAL2485027



Cobalt 4" IC Air-Tight Line Voltage Double Wall New Construction Housing By Nora Lighting



Call Us (877) 445-4486

Cobalt 4" IC Air-Tight Line Voltage Double Wall New Construction Housing
By Nora Lighting

Details

Features adjustable socket mounting plate
Housing adjusts from 5/8" to 1 3/8"

Dimensions

Cut-out: Diameter 4.38"

Fixture: Width 8.5", Height 6", Depth 5.25"

Additional Details

Product URL:

<https://www.lumens.com/cobalt-4-inch-ic-air-tight-line-voltage-double-wall-new-construction-housing-by-nora-lighting-NRAY1454969239.html>

Rating: UL Listed Damp



Notes:

Prepared
by:

Prepared for:
Project:
Room:
Placement:
Approval:

ITEM#: NRAY1454969239



Created August 8th, 2024

Rubix Outdoor LED Wall Sconce

By WAC Lighting



Call Us (877) 445-4486

Rubix Outdoor LED Wall Sconce
By WAC Lighting

Product Options

Finish: Black

Details

Etched glass diffuser
86 degree beam spread
120V version is dimmable from 15-100% with an ELV dimmer
(not included)
277V version is dimmable from 10-100% with a 0-10V dimmer
(not included)

Dimensions

Fixture: Width 5", Height 5", Depth 7"

Lamp Type	LED Built-in
Total Lumens	750
Total Watts	16.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
Average Lifespan (Hours)	70,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No



Notes:

Prepared
by:


Prepared for:
Project:
Room:
Placement:
Approval:

Additional Details

Product URL:
<https://www.lumens.com/rubix-outdoor-led-wall-sconce-by-wac-lighting-R375079.html>
Rating: ETL Listed Wet

ITEM#: R375079





**LIME FINISH FOR INTERIOR WALLS OF
PORTALS AND CEILINGS TO MATCH
EXISTING HOME**

**BROWN STUCCO FINISH TO MATCH
EXISTING HOME**

EXISTING SITE PLAN

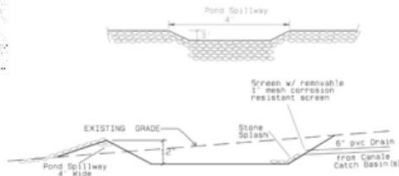
1292 LEJANO LANE
3496 SQ FT
SINGLE-FAMILY RESIDENCE
R-5

LOT SIZE 1.37 ACRES
(59,767 SQ. FT)

EXISTING FOOTPRINT IS
5,463 SQ. FT = 9.1% OF
LOT COVERAGE

TEMPORARY EROSION CONTROL
DURING CONSTRUCTION:
INSTALL HAZARDOUS OR SILT FENCE
AROUND PERIMETER OF CONSTRUCTION
SITE TO CONTAIN SILT AND DEBRIS.
DIG CONCRETE WASH OUT AND LINE
WITH TEN MIL. PLASTIC TO AVOID
CONTAMINATION.
INSTALL 4" - 6" RIVER ROCK APRON
AT ROAD 10' IN WIDTH.

The Topographic Contours on this site plan was derived from Santa Fe County GIS at 1 ft Contour Intervals Dated 2014. North American Vertical Datum 1988



TYPICAL POND CROSS-SECTION DETAIL
NTS

PONDING NOTE:
Pond shown is 12' deep.
Based on an expected percolation rate typical for this area of town, the pond when fully stocked drains in 6 hours or less.

RUNOFF FACTORS:
ROOF & PORTALS = 0.95
GRAVEL DRIVE & PARKING = 0.80
LANDSCAPE = 0.20
NATIVE SOIL = 0.55

BASIC ASSUMPTION: G = CIA (CFS)
C = RUNOFF COEFFICIENT
I = 3.6 IN./24 hrs. (100 yr. Storm Intensity)
A = AREA IN ACRES

RUNOFF ANALYSIS:
PRE - DEVELOPMENT
LOT SIZE: 1.37 Ac (59,767sq. ft.)
G = 1.37 x 0.55 x 3.6 = 2.7 cfs
VOL. = 59,767 x 0.55 x 3.6/12 = 9,862 cu. ft.

POST-- DEVELOPMENT

Weighted C Calculation		
Roof & Portals	5,463 x .95 =	5,190
BC Driveway	5,300 x .80 =	4,240
Landscape Area	1,000 x .20 =	200
Native Soil	48,004 x .55 =	26,402
	59,767	36,032

WEIGHTED C = 36,032/ 59,767 = 0.60
G = 1.37 x 0.60 x 3.6 = 2.96 cfs
VOL. = 59,767 x 0.60 x 3.6/12 = 10,758 cu. ft.

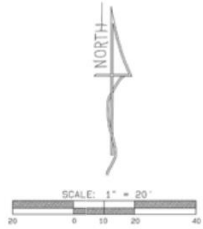
INCREASE IN RUNOFF = VOL. = 10,758 cu. ft. - 9,862 cu. ft. = 896 cu. ft.
Total Ponding Required = 896 cu. ft.

RETENTION PROVIDED:
POND #1 = 900 cu. ft.
TOTAL PONDING = 900 cu. ft.

EROSION CONTROL PLAN
ALL CUT SLOPES WILL NOT EXCEED 2:1 WITHOUT STABILIZATION.
ALL FILL SLOPES WILL NOT EXCEED 3:1 WITHOUT STABILIZATION.
ADDITIONAL EROSION CONTROL:
ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES NOT COVERED WITH STRUCTURES, LANDSCAPE OR DRIVING SURFACES WILL BE RESEEDED WITH NATIVE GRASSES AND/OR WILDFLOWER SEED MIXTURE TO STABILIZE SOIL. STONE RIP RAP SHALL BE PLACED AT THE OUTFALL OF ALL CULVERTS

Grading Plan Note:
Contractor must confirm existing surface elevations throughout the construction area including the pond location(s). Surface swales must have a minimum slope of 1% to 'daylight' with the flow line at least 4 ft from the footings where possible. P.E. McGinnis & Associates, LLC is not responsible for construction methods & techniques of the Contractor, nor proper soils engineering for footings and interior floor support. P.E. McGinnis & Assoc. is not a soils engineering or structural engineering firm. Runoff factors used in this plan assumes some soil infiltration or moisture during runoff even if soils are not suitable for this reality, proper mitigation of percolation should be implemented by the Contractor as advised by the Architect, Landscape Specialists, or Soils Engineer.

Revisions to the grading plan, changes in location of the structures, driveway, or pond locations without the expressed approval of P.E. McGinnis & Associates, LLC invalidates this grading plan.



GRADING AND DRAINAGE - SITE PLAN

SCALE: 1" = 20'

- New Contour (Finished Surface Elev)
- - - Existing Contour
- Direction of Surface Drainage

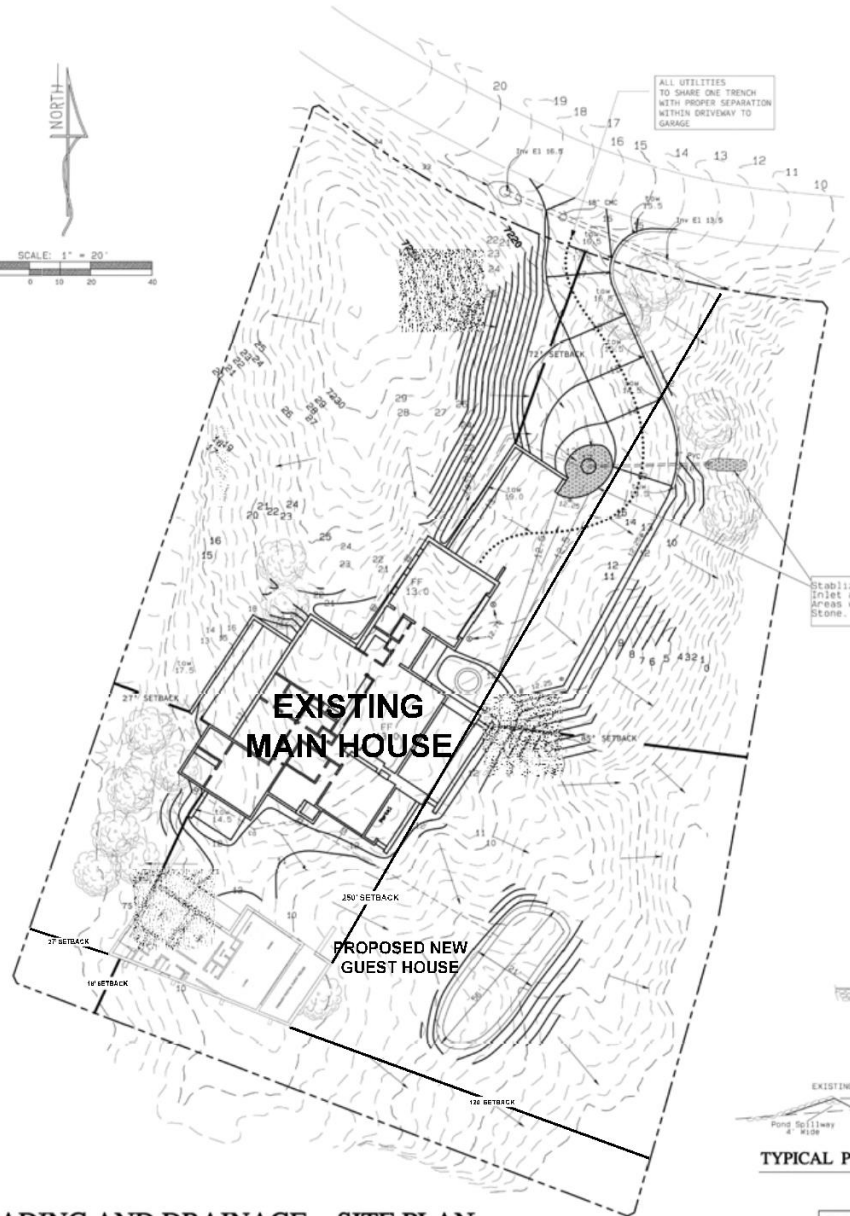
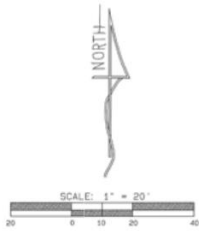
P. E. MCGINNIS & ASSOCIATES, LLC
GRADING AND DRAINAGE PLANS, FEMA FLOOD PLAIN CHALLENGES
WATER/WASTEWATER LINE EXTENSIONS, DRAINAGE ANALYSIS
OFFICE: 1114 HICKOX - SANTA FE, NEW MEXICO 87504
MAIL: P.O. BOX 2351 - SANTA FE, NEW MEXICO 87504
SANTA FE: PHONE (505) 983-1563 ALBUQUERQUE: PHONE/FAX (505) 983-6620



GRADING AND DRAINAGE PLAN
HUGHES BUILDERS, LLC
1292 LEJANO LN
SANTA FE, NEW MEXICO

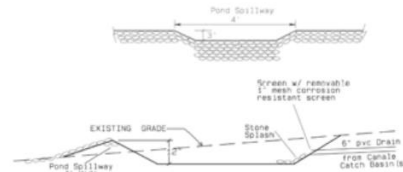


Paul E. McGinnis



1292 LEJANO LANE
3496 SQ FT
SINGLE-FAMILY RESIDENCE
R-5

Stabilize Culvert
inlet and Outlet
Areas with 6" - 8"
Stone



TYPICAL POND CROSS-SECTION DETAIL
NTS

PONDING NOTE:
Ponding is shown on this plan. Ponding is an expected occurrence. Ponding is not to be construed as a defect or a failure of this work.

PROPOSED NEW SITE PLAN

LOT SIZE 1.37 ACRES
(59,767 SQ. FT)

EXISTING FOOTPRINT IS
5,463 SQ. FT = 9.1% OF
LOT COVERAGE

GUEST HOUSE FOOTPRINT
1,902 SQ FT. INCLUDING PORTALS
ADDITIONAL 3.2% LOT COVERAGE

FOR TOTAL OF 7,365 SQ. FT
EQUALING 12.3% LOT
COVERAGE

GRADING AND DRAINAGE - SITE PLAN

SCALE: 1" = 20'

- New Contour (Finished Surface Elev)
- - - Existing Contour
- Direction of Surface Drainage

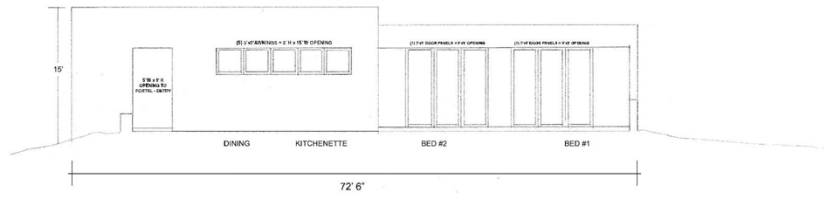
Paul E. McGinnis

P. E. MCGINNIS & ASSOCIATES, LLC
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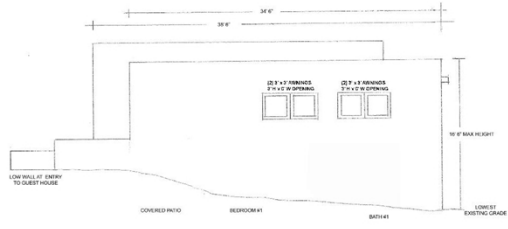


GRADING AND DRAINAGE PLAN
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1292 LEJANO LN
SANTA FE, NEW MEXICO

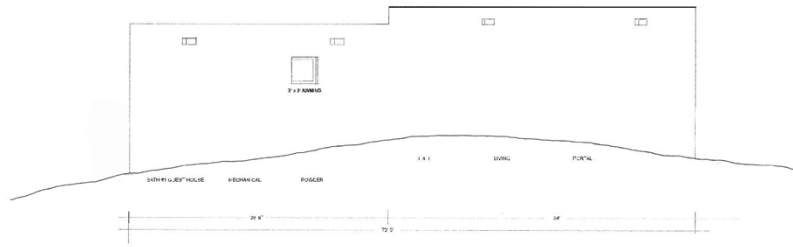




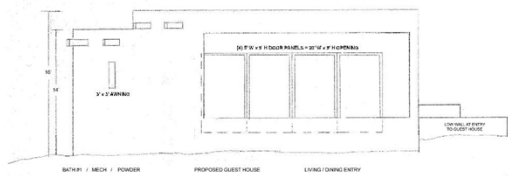
NORTH ELEVATION OF GUEST HOUSE FROM NORTH WALL OF EXISTING HOME



PROPOSED WEST ELEVATION : GUEST HOUSE



PROPOSED SOUTH ELEVATION : GUEST HOUSE



PROPOSED EAST ELEVATION : GUEST HOUSE

City of Santa Fe, New Mexico

**Historic
Districts
Review
Board
Survey and
Warranty
Deeds for
Legal Lot of
Record
Establishm
ent**

VALLE LEJANO UNIT V

RECORDS IN THIS OFFICE: THE FOLLOWING ARE THE RECORDS IN THE OFFICE OF THE COUNTY CLERK, COUNTY OF SUTTER, CALIFORNIA, RELATIVE TO THE VALLE LEJANO UNIT V, WHICH ARE REFERRED TO IN THIS REPORT. THE RECORDS ARE AS FOLLOWS:

APPROVED BY THE BOARD OF SUPERVISORS OF SUTTER COUNTY, CALIFORNIA, AT A PUBLIC HEARING HELD AT THE COUNTY CLERK'S OFFICE, ON THE 14TH DAY OF MARCH, 1970, AND THE BOARD OF SUPERVISORS HAS ORDERED THAT THIS REPORT BE FILED FOR RECORD.

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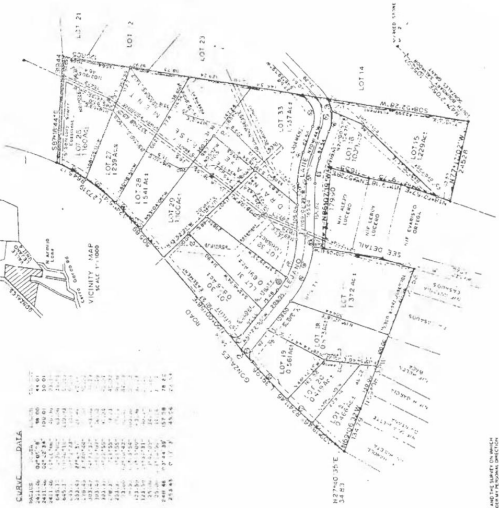
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LEGEND
 - BOUNDARY OF TRACT AS SHOWN BY RECORDS ON FILE IN THE OFFICE OF THE COUNTY CLERK, COUNTY OF SUTTER, CALIFORNIA.
 - PROPERTY OWNED BY THE COUNTY OF SUTTER.
 - PROPERTY OWNED BY THE STATE OF CALIFORNIA.
 - PROPERTY OWNED BY THE FEDERAL GOVERNMENT.



LOT NO.	ACRES	DATE
1	0.10	1968-03-14
2	0.10	1968-03-14
3	0.10	1968-03-14
4	0.10	1968-03-14
5	0.10	1968-03-14
6	0.10	1968-03-14
7	0.10	1968-03-14
8	0.10	1968-03-14
9	0.10	1968-03-14
10	0.10	1968-03-14
11	0.10	1968-03-14
12	0.10	1968-03-14
13	0.10	1968-03-14
14	0.10	1968-03-14
15	0.10	1968-03-14
16	0.10	1968-03-14
17	0.10	1968-03-14
18	0.10	1968-03-14
19	0.10	1968-03-14
20	0.10	1968-03-14
21	0.10	1968-03-14
22	0.10	1968-03-14
23	0.10	1968-03-14

NOTICE: THIS PLAT IS SUBJECT TO THE EASEMENTS AND RESTRICTIONS SHOWN THEREON. THE PLAT IS SUBJECT TO THE EASEMENTS AND RESTRICTIONS SHOWN THEREON. THE PLAT IS SUBJECT TO THE EASEMENTS AND RESTRICTIONS SHOWN THEREON.

Richard E. Smith
 SURVEYOR



SMITH & WILLIAMSON
 SURVEYING SERVICE
 1000 14TH STREET, SUITE 100
 SACRAMENTO, CALIFORNIA 95811

SMITH & WILLIAMSON
 SURVEYING SERVICE

sftc 23044

WARRANTY DEED

Linda Carey, an unmarried woman, for good and valuable consideration paid, does hereby grant, transfer and convey to Burr Phillips and Catherine Wright, husband and wife as joint tenants, whose address is 1292 Lejano Lane, Santa Fe, NM 87501-8928, the following described real estate in Santa Fe County, New Mexico:

Lot 17, of Valle Lejano Unit 5, as shown on plat entitled "Boundary Survey for Linda Carey" filed in the office of the County Clerk, Santa Fe County, New Mexico on May 18, 2023 in Plat Book 902, Page 027, as Instrument No. 2012271.

SUBJECT TO those matters set forth on Exhibit "A" attached, and taxes for 2023 and subsequent years.

With warranty covenants.

Executed this 31 day of May, 2023.

Linda Carey
Linda Carey

COUNTY OF SANTA FE) WARRANTY DEED
STATE OF NEW MEXICO) ss PAGES: 2
I Hereby Certify That This Instrument Was e-Recorded for
Record On The 31ST Day Of May, A.D., 2023 at 12:14:53 PM
And Was Duly Recorded as Instrument # 2012943
Of The Records Of Santa Fe County
Witness My Hand And Seal Of Office
Deputy - DLROMERO Katharine E. Clark
County Clerk, Santa Fe, NM

e-Recorded 2012943 05/31/23 S.F.

ACKNOWLEDGMENT



STATE OF New Mexico)
COUNTY OF Santa Fe) SS.

The foregoing instrument was acknowledged before me on May 31, 2023, by Linda Carey

Steven Riemann
Notary Public

My commission expires: 6/5/2024

STATE OF NEW MEXICO
NOTARY PUBLIC
STEVEN RIEMANN
Commission Number 1099682
My Commission Expires June 5, 2024

Exhibit "A" to WD Carey to Phillips and Wright

Easement in favor of New Mexico Power Company, recorded in Book X, Page 1, records of Santa Fe County, New Mexico

Easements contained in Special Warranty Deed recorded in Book 335, Page 148, records of Santa Fe County, New Mexico.

Valle Lejano, Unit 5 Restrictive Covenants, recorded in Book 417, Page 704, records of Santa Fe County, New Mexico.

Easements and rights incident thereto, notes, conditions, as shown on plat recorded in Plat Book 81, Page 027, records of Santa Fe County, New Mexico.

Lorenzo Road, sewer lines and rights incident thereto, deviation of fences from property lines, notes and conditions, as shown on plat recorded in Plat Book 902, Pages 027, records of Santa Fe County, New Mexico.

Easement for Water, recorded in Book 410, Page 533, records of Santa Fe County, New Mexico.

e-Recorded 2012943 05/31/13 SFC



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008937--HDRB

Project Description: 2024-008937-HDRB, 119 Kearny Rd., Downtown & Eastside Historic District, contributing, Craig Hoopes and Assoc., agent for David Snead and Charles Butler, owners, proposes to make alterations to a previous approval by adding pilasters to coyote fencing, installing additional fencing, gutters and downspouts, replacing windows and doors, and removing an approved exterior stair.

Project Location(s): 119 KEARNY RD
Santa Fe, NM 87501

Contacts:

Applicant: CRAIG HOOPES
333 MONTEZUMA AVE STE 200
SANTA FE, NM 87501

charles@hoopesarchitects.com

Property Owner: David & Charles Snead & Butler

david.snead@dsnead.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: True Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North:

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 2006

Year of Construction: 1967

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008937-HDRB, 119 Kearny Rd., Downtown & Eastside Historic District, contributing, Craig Hoopes and Assoc., agent for David Snead and Charles Butler, owners, propose to make alterations to a previous HDRB approval by adding pilasters to coyote fencing, installing additional fencing, gutters and downspouts, replacing windows and doors, and removing an approved exterior staircase.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Previous Case Documents

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The single-family residential structure located at 119 Kearny Street is contributing to the Downtown and Eastside Historic District. The board reviewed its historic status in 2021 and designated it contributing and assigned the east, south and west facades as primary.

The 1967 Spanish-Pueblo Revival residence is two stories with a historic footprint of 879 sq. ft. An enclosed 146 sq. ft. porch and a 272 sq. ft. deck were added in the 1980s, bringing the total square footage to 1,297 sq. ft. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The yard wall is designated as a contributing structure.

A major remodel was approved in 2021 (2021-004179-HDRB). For full details of the project, please see exhibit A.

The applicant made alterations outside of the scope of approval from the HDRB, which were found during inspections. Therefore, the applicant now requests approval of these constructed changes:

1. The addition's roof was lowered by 12". This is to maintain the 6" difference between the historic home and the addition. The original house was lower than originally measured.
2. This lowering of the roof resulted in the elimination of a clerestory window on the west elevation.

North Elevation:

3. The approved coyote fence railing has had pilasters added to the design. This railing originally did not include the north side of the east portal but has been extended to include it.
4. A sidewalk has been installed at the north end of the property leading from the parking area to the eastern yard and northern garden area.
5. Exterior stairs have been added at each the north and the west garden areas.
6. Exterior lighting has been added at the doors.

East Elevation:

7. The east elevation design had a staircase leading from the courtyard to the lower yard. This has been removed from the overall design and the wall has been extended through the area to prevent falls.
8. The compressors that were originally hidden behind the stairs have now been screened with a 5'0" high coyote fence with varying latillas.
9. In the courtyard on the east and south elevations the doors were installed without the approved divided lites. These doors are stepped in from the building and are between the addition and original building and are not publicly visible.
10. East elevation windows were reglazed.

South Elevation

11. The doors in the west and south primary facades were replaced. No window and door assessment is available and the windows and doors have been replaced. The historic integrity of the windows can no longer be evaluated.
12. The front steps on the south entry have a second step due to the height of the step down.
13. South elevation windows were reglazed.
14. South elevation original single pane door was replaced with a divided lite door.
15. Exterior lighting has been added at the doors.

West Elevation:

16. The doors in the west primary facades were replaced. Doors have divided lites. No window and door assessment is available and the windows and doors have been replaced. The historic integrity of the windows can no longer be evaluated.

17. The west primary façade had two matching steel frame windows. Only one was remaining at the original application. The one to the south had been removed and an air conditioner and a half sized sliding aluminum window had been installed. This window has been restored to the original size with a steel sash window to match the original window.
18. Removed window in the middle on the second floor.
19. Pilasters have been added to the approved coyote fence railing, a gutter and downspout were added at the north side of the portal, and true divided lites were added to the glass doors that were approved without the divided lites.
20. Fireplace is rounded rather than rectangular.
21. Exterior lighting has been added at the doors and above the exterior stairs by the window on the west elevation.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(D) General Design Standards for All H Districts

In any review of proposed additions or alterations to *structures* that have been declared significant or contributing in any historic district or a *landmark* in any part of the *city*, the following standards shall be met:

(1) General

- (a) The status of a significant, contributing, or *landmark structure* shall be retained and preserved. If a proposed alteration will cause a *structure* to lose its significant, contributing, or *landmark* status, the *application* shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
- (b) If a proposed alteration or new construction will cause an adjacent *structure* to lose its significant, contributing, or *landmark* status, the *application* may be denied.

(2) Additions

- (a) Additions shall have similar materials, architectural *treatments* and styles, features, and details as the existing *structure*, but shall not duplicate those of the existing *structure* in a manner that will make the addition indistinguishable from the existing *structure*.
 - (b) Additions to *buildings* that meet the standards of Subsection 14-5.2(E) shall continue to meet those standards set forth in Subsection 14-5.2(E) in addition to the standards set forth in this section.
 - (c) Additions are not permitted to *primary façades*.
 - (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of *structures* instead of attaching them to the significant or contributing portion.
 - (e) The height of additions:
 - (i) For significant and *landmark structures* shall be a minimum of six (6) inches less than the parapet or equivalent roof-feature of the existing adjacent connecting facade.
 - (ii) For contributing *structures* shall be no more than one additional *story* higher than the existing *structure*. To the extent architecturally practicable, two-story additions shall be set to the rear or the side rear of the *structure*. When an additional *story* is to be placed upon an existing contributing *structure*, that footprint may be no greater than fifty percent of the footprint of the existing *structure*, subject to the provisions of Subsection A(1) above. For the purposes of this paragraph, an additional *story* shall not exceed twelve (12) feet from the existing rooftop to the highest point of that *story*.
- (3) Remodeling to Increase Height; Rooftop Appurtenances
- (a) For *remodeling* of existing significant and *landmark structures*, no increase in height of the *structures* is permitted. (For standards relating to additions to existing *structures*, see paragraph (2) above.)
 - (b) For significant and *landmark structures*, *publicly visible* roof top appurtenances, including but not limited to solar collectors, clerestories, decks, or mechanical equipment, shall not be added nor shall the parapet be raised to conceal the *rooftop appurtenances*. For contributing *buildings* solar collectors, clerestories, decks, or mechanical equipment if *publicly visible* shall not be added.
- (4) Porches and Portals
- Existing *porches* or *portals* shall not be enclosed.
- (5) Windows, Doors, and Other Architectural Features
- (a) For all facades of significant and *landmark structures* and for the primary facades of contributing *structures*:

- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
- (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
- (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and *landmark structures*, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event *replacement* is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. *Replacement* or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

(E) Downtown and Eastside Design Standards

The *governing body* recognizes that a style of architecture has evolved within the *city* from the year 1600 to the present characterized by construction with *adobe*, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a *development* from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with *adobe*, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, *buildings* are of one *story*, few have three stories, and the characteristic effect is that the *buildings* are long and low. Roofs are flat with a slight *slope* and surrounded on at least three sides by a firewall of the same color and material as the *walls* or of brick. Roofs are never carried out beyond the line of the *walls* except to cover an enclosed *portal* or *porch* formed by setting back a portion of the *wall* or to form an exterior *portal*, the outer edge of the roof being supported by wooden columns. Two- *story* construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second *story*. Façades are flat, varied by inset *portales*, exterior *portales*, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding *walls*;
- (b) All exterior *walls* of a *building* are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under *portales*, or in church-derived designs, inset panels in a *wall* under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid *wall* space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof *structures*, but such *structures* other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the *street* on which the *building* fronts;
- (e) True old Santa Fe style *buildings* are made of *adobe* with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the *adobe* effect can be simulated is permissible; provided, that the exterior *walls* are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating *adobe*, laid on smoothly, is required; and
- (f) It is characteristic of old Santa Fe style commercial *buildings* to place a *portal* so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic *buildings* by *retention* of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of *adobe* construction, prescribed as follows:

- (a) No *building* shall be over two stories in height in any façade unless the façade shall include projecting or recessed *portales*, *setbacks* or other design elements;
- (b) The combined door and window area in any *publicly visible* façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a *portal*. No door or window in a *publicly visible* façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof *treatment* described below;
- (d) No less than eighty percent of the surface area of any *publicly visible* façade shall be *adobe* finish, or stucco simulating *adobe* finish. The balance of the *publicly visible* façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for *building permits*;
- (e) The *publicly visible* façade of any *building* and of any adjoining *walls* shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under *portales* may be of contrasting or complimentary colors. Windows, doors and *portals* on *publicly visible* portions of the *building* and *walls* shall be of one of the old Santa Fe styles; except that *buildings* with *portals* may have larger plate glass areas for windows under *portals* only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria: A B C D

NAME OF PROPERTY:
 LOCATION OF PROPERTY: 119 Kearny Road
 CITY OR TOWN: Santa Fe
 COUNTY: Santa Fe

LOCAL REFERENCE NUMBER: 40810
 UTM ZONE: 13
 UTM EASTING: 415145
 UTM NORTHING: 3949635

DATE OF SURVEY:
 4/25/2006

PREVIOUS SURVEY?
 No

PREVIOUS SURVEY DATE:

NAME OF PROJECT:
 Kearny Sunset Resurvey

PHOTOGRAPH:
 ROLL NUMBER
 3

FRAME NUMBER:
 2

NEGATIVE LOCATION:
 NM HISTORIC PRESERVATION DIVISION



PHOTOGRAPH VIEW: south and east elevations

PROPERTY TYPE: Building
 DESCRIPTION OF PROPERTY:

119 Kearny Road is a bi-level Spanish Pueblo Revival style residential building with medium stucco and a battered parapet. The building appears as a single story residence on the south/street side and is two stories in height on the north elevation. The upper level of the north elevation has a shed roof with exposed roof beams at the overhanging eaves. Windows are metal multi-lite casement units on all elevations. On the north elevation there is a single 8-lite casement and 4-lite casement on the upper level. Additional upper level units are paired and triplicate metal sliders in the shed roofed area. Lower level windows on this elevation are 12-lite slider units. Windows on the south elevation include two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels. Entry to the structure is through a single-leaf multi-panel wooden door on the south. Secondary entrances include a pair of wooden sliding glass doors on the lower level of the north elevation, an 8-lite French door on the east that provides access to the north deck, and a single-leaf unit with a sidelight on the west. There is a partial-width portal on the south elevation. It is detailed with stuccoed corner piers, corbels, and exposed lintel. There is a roof-less deck on the upper level of the north elevation with a utilitarian wooden railing. A low block/stucco yard wall encloses the property on the south and the yard on the east. There is a chain link fence across the north, east, and west side of the property. The site slopes toward the north with a steep driveway on the east side of the building.

WHO USES THE PROPERTY?: (Current and historic users and uses made of property.)

Single Family Residential

CONSTRUCTION DATE KNOWN? Yes
 DATE OF CONSTRUCTION: 1967-1968
 SOURCE FOR CONSTRUCTION DATE: City Directory

SIGNIFICANT MODIFICATIONS?
 window replacements [north elevation], shed-roofed addition on north [former porch?], north elevation deck.

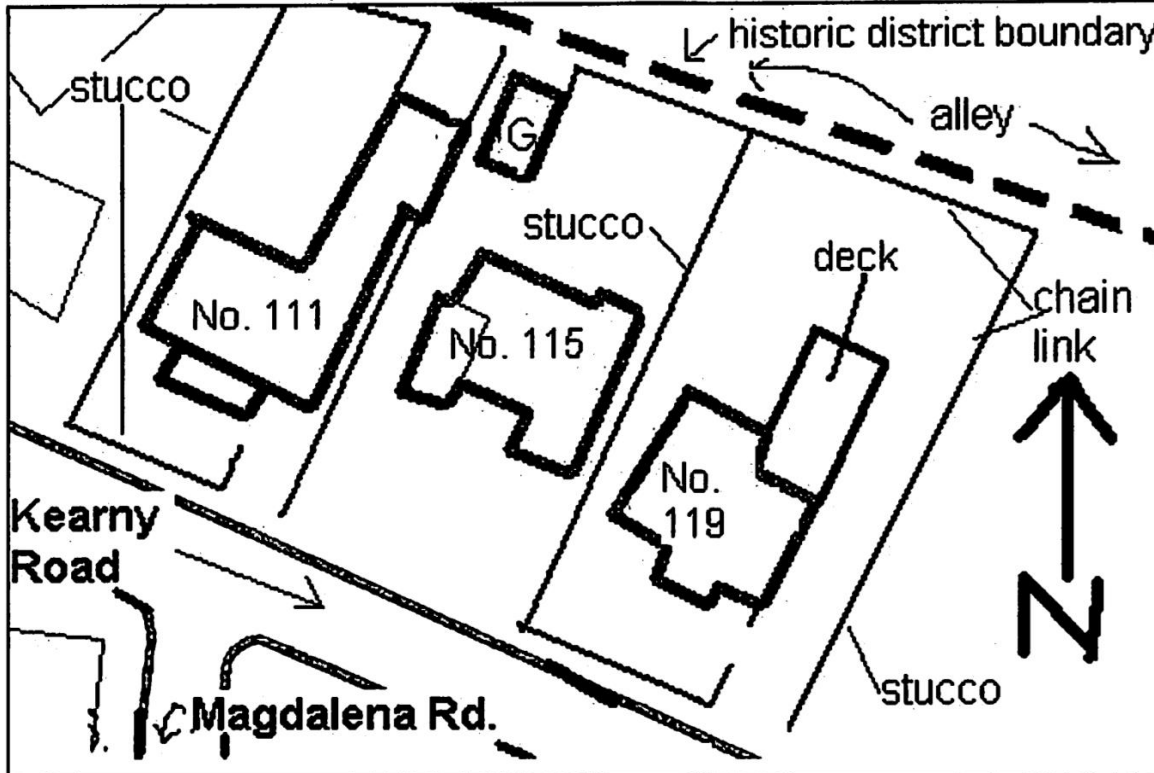
SETTING: Urban

RELATIONSHIP TO SURROUNDINGS: Similar

IF URBAN SETTING, NATURE OF IT: Residential

COMMENTS ON SURROUNDINGS:
 compact single story residential area

ADDITIONAL PERSPECTIVE: (Photo, drawing, footprint, etc.; indicate north arrow when possible)



NOTES ON ADDITIONAL PERSPECTIVE: (If photo, include photo info, as in #10)
Site. Santa Fe GIS base map. NTS.

SURVEYOR BUSINESS NAME: Ragins Research and Planning
SURVEYOR FIRST NAME: Mary
SURVEYOR LAST NAME: Ragins
SURVEYOR STREET ADDRESS: 9 Stone Ridge Road
SURVEYOR CITY: Santa Fe
SURVEYOR ZIP CODE: 87505
SURVEYOR TELEPHONE: 5059950852
SURVEYOR EMAIL: rrp@intergate.com

OWNER OR OTHER KNOWLEDGEABLE PEOPLE:

[Redacted box]

IS THE PROPERTY ENDANGERED?: No

HOW IS THE PROPERTY ENDANGERED?:

[Redacted box]

SIGNIFICANCE TO CURRENT COMMUNITY: Low

DESCRIPTION OF COMMUNITY SIGNIFICANCE:

non-historic structure, eligible for designation 2018

OTHER INFORMATION OF INTEREST: (Such as historical, legendary, structural, former ownership, character-defining features, etc.)

7-6-95 NM DOT aerial photo shows shed roof on north elevation in place. Deck on north elevation is not shown on this aerial.

According to the Santa Fe County Property Record Card, the building stands on lot 4 of the Kearny Addition.

IS PROPERTY INDIVIDUALLY LISTED ON A REGISTER?: No
INDIVIDUALLY LISTED ON SRCP?: No
INDIVIDUALLY LISTED ON NRHP?: No
IF NOT LISTED, IS IT ELIGIBLE?: No
IF ELIGIBLE, WHY?

[Redacted box]

ARE CONTINUATON SHEETS ATTACHED?

CONTINUATION SHEET PAGE NUMBERS: 1

IS PROPERTY IN A REGISTERED DISTRICT?: Yes
DISTRICT DESIGNATION: Non-contributing
DISTRICT NAME:
 Downtown and Eastside Historic District
DISTRICT IS ON THE SRCP?: Yes
DISTRICT IS ON THE NRHP?: Yes
IS HCPI FORM 2 ATTACHED?:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet 1

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. LOCAL REFERENCE NUMBER: 40810

NAME OF PROPERTY:

LOCATION OF PROPERTY: 119 Kearny Road

COUNTY: Santa Fe

CITY OR TOWN: Santa Fe

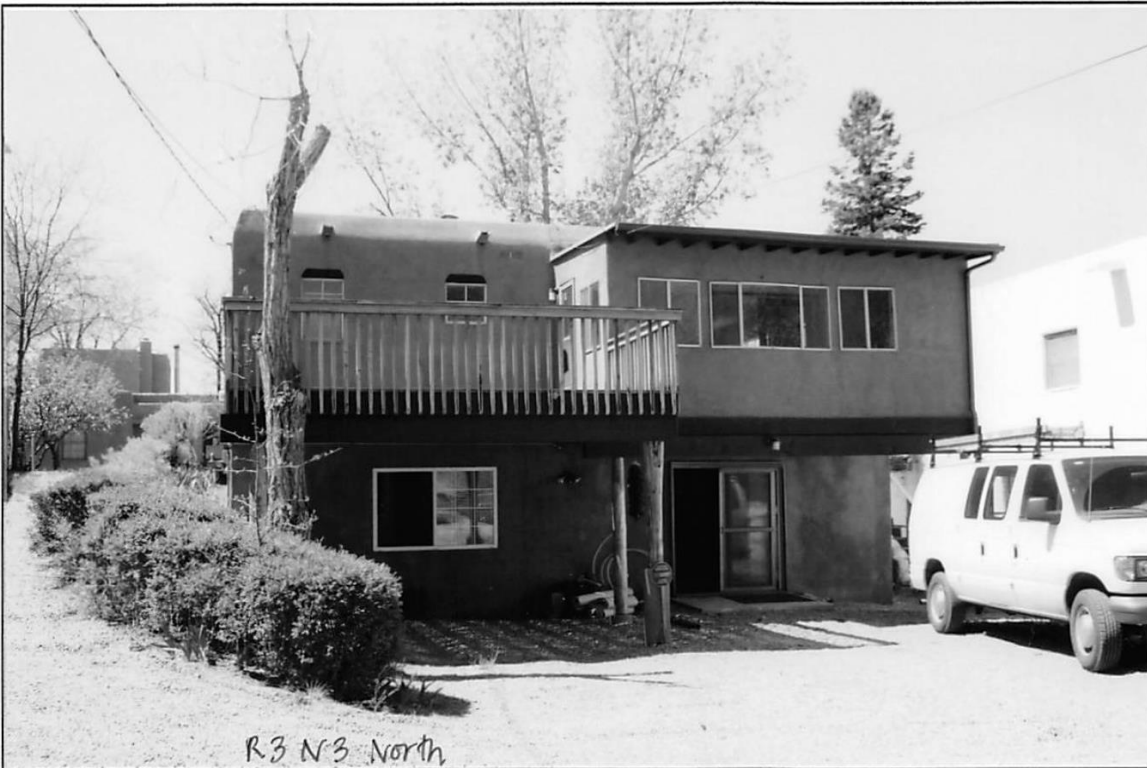
DATE OF SURVEY: 4/25/2006



Additional Photo #1:

Photo #1 Notes:

roll 3, negative 7, west and south elevations



Additional Photo #2:

Photo #2 Notes:

roll 3, negative 3, north elevation

119 Keamy Rd.

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING SPRING 2006. RESULTS
OF THE SURVEY AS REFLECTED ON THE
ATTACHED HAVE NOT BEEN ADOPTED BY THE
HISTORIC DESIGN REVIEW BOARD. IT SHOULD
BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
40/06.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Exhibit A
Previous Case
2020-002852-HDRB
Status Review
119 Kearny Road**

G. OLD BUSINESS

None

H. NEW BUSINESS

Chair Rios indicated there were five cases. She explained the appeal process if an applicant disagrees with the Board's decision.

1. **Case #2020-002852-HDRB. 119 Kearny Road.** Downtown & Eastside Historic District. Hoopes and Associates, agent for William and David Snead, owner, requests a historic status review with primary façade designation, if applicable, for a non-statused residential structure. (Angela Schackel Bordegaray)

STAFF REPORT

Ms. Bordegaray stated that 119 Kearney Road is a bi-level 1,665 square foot single-family residence designed in the Spanish-Pueblo Revival style built in 1967-68. Its front on the south elevation appears as a single story house with a portal, detailed with stuccoed columns, wooden corbels, and exposed lintels. Its north elevation is two stories in height.

The property is approximately one-half block east of Bishop's Lodge Road. The yard wall and gate enclose the front yard. Like many homes on the street, it features a low, cement-stucco yard wall that contributes to the house's historical context and setting and is consistent with homes in this streetscape. A steep, north-sloping driveway runs along the east side of the house. Chain link fencing runs across the north, east, and west side of the property.

Windows are metal multi-lite casement units on all elevations. Windows on the front/south elevation are two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture window unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels.

The north elevation has a shed roof. There is a single 8-lite casement and 4-lite casement on the upper level. There is a roof-less deck on the upper level of the north elevation with a utilitarian wood railing.

The applicant is before the board for a historic status determination of 119 Kearny Road. The Historic Cultural Properties Inventory (HCPI) notes that it would be eligible for designation in 2018, when it reached 50 years old. Little has changed on its south, west, and east elevations.

STAFF RECOMMENDATION

Staff recommended designating the house and the front yard wall as contributing to the Downtown and Eastside Historic District per 14-5.2 (C), Regulation of Significant and Contributing Structures in the Historic Districts.

Staff also recommended that the south, west, and east façades be designated Primary Façade, per 14-12 for Contributing Structure, specifically excluding a portion of the northeast corner, façades #4 and #5 and recommends the west façade #6 as Primary.

QUESTIONS FOR STAFF

Chair Rios asked if the exclusion of the northeast corner of facades 4 and 5 is on the south elevation.

Ms. Bordegaray said it is on the north elevation, the rear elevation.

Chair Rios asked to confirm that all of the elevations recommended as primary contain steel casement windows.

Ms. Bordegaray replied yes.

Member Biedscheid asked to clarify when Ms. Bordegaray recommends the front yard wall as contributing if that includes all portions of the wall on the south, west and east.

Ms. Bordegaray said it does.

Vice Chair Katz asked if the shed roof pergola on the back second-story is included in the west primary façade.

Ms. Bordegaray said that portion is excluded.

APPLICANT'S PRESENTATION

Craig Hoops, 333 Montezuma Ave., was sworn in. He said he did not agree with staff's recommendations. In 2006 when Mary Ragan filled out the inventory form and listed this house as non-contributing, she stated it was of low significance to the surroundings. That is important for the Board to consider. The house while charming, is not a significant example of Pueblo Style architecture in Santa Fe. Because the house is old is not a good enough reason to change the status to contributing. There would be many things inconsistent with what the applicant would be required to do, if an addition is designed. First, the windows are in the same plane as the stucco. He noted on Slide 12 of the windows that the house is not of mass, which is what Santa Fe style always

represents. The lintel of the front portal is only 4 inches wide and the walls on both sides are built on two by fours, also not Santa Fe Style.

He believes the significance to label as primary the east, west and south facades, is wrong. There was a previous renovation shown by the photo. The lower level on the west façade has a new door and the windows are similar to those on the north elevation. He noted for those who didn't know that Mary Ragan was head of the H-Board staff in the 1990s into early 2000s. He thought it said a lot that she had labeled the house as noncontributing and of low significance to the surrounding community.

Mr. Hoops said he disagrees with Ms. Bordegaray's recommendation. Nothing has been designed for this house yet. The applicant is open to what the Board has to say but labeling the three façades as primary is not in the best interest of the community. If there is an addition to the house, the applicant will be required to change the roof elevations of the addition in a way that the single level of parapet around the house will no longer be a single parapet. In some ways that would make an addition to the house mass with its simplicity and he would have issue with those as they move forward. He did not think that the reasons for the façades to be called primary was valid.

DISCUSSION

Ms. Bordegaray said the applicant was referring to the HCPI in the packet. Ms. Ragan clearly noted that once the house turned 50 years old, which happened in 2018, a status review was recommended. Also, HCPI described what has changed and many of the details are still intact. She thought other than the north addition, the house is representative of its era and staff felt it is a solid example of the 1950s-60s architecture. For that reason, it contributes to the historic streetscape. The house has maintained its low yard walls and simplicity.

Member Larson said she agreed with Ms. Bordegaray that the house has a lot of character defining features and the Board should consider that.

Member Guida called attention to a change he noticed in the configuration of the front yard wall between the HCPI and current photos. It seems about a third of the yard wall has been moved over to allow parking. He said for him, the integrity of the front yard wall is not really there.

Chair Rios asked Member Guida to specify whether a portion of the wall or the entire wall.

Member Guida explained on page 4 of the HCPI, the original yard wall aligns with the east elevation. In current photos on page 8 of the individual packet the yard wall has been moved over to be more in line with the edge of the portal.

Chair Rios asked Ms. Bordegaray to comment on the wall being moved.

Ms. Bordegaray said she wasn't completely clear from the photograph and materials and the quality of the slides which part of the wall had been moved. She asked if member Guida could describe that in elevations.

Member Guida referred to page 4 (page 67 of the packet).

Ms. Bordegaray didn't have that reference. Ms. Paez offered to put that on screen.

Member Guida noted that the eastern portion of the yard wall was in line with the house. He then referred to a Google street view where the wall was moved over.

Chair Rios noted the wall is still a low wall. She asked Mr. Hoops if he knew the age of the wall, but Mr. Hoops did not know.

Ms. Ramirez Thomas said it was safe to say, looking at the HCPI form done in the late 90's and the east side of the wall configuration now, that it has changed in the last 20 years. The Board could say that section is not native to the property, but the front elevation and west side of the property appear the same

Chair Rios said the field trips play an important role in the Board's ability to see the property and make decisions. They really need to look through their packets to be sure they don't miss anything. She was glad they have members who thoroughly review the packet and bring things such as the wall, to everyone's attention.

PUBLIC HEARING

John Eddy and Stefani Beninato were sworn in.

John Eddy, 227 Palace Avenue, Suite D, Santa Fe, said this a classic example that they will see more often as buildings age and fall under purview of the 50-year rule. They are dealt the difficulty of looking at a property that has integrity, in that it represents the period in which it was built. The steel windows in the building were rampant in Santa Fe in the late 50s and 60s. They are not an aesthetically pleasing element, and not practical for a homeowner, but they represent the character of specific houses of that time. That puts more bearing on changing the status. He would appreciate the Board continuing to look at this carefully.

Stefanie Beninato, PO Box 1601, Santa Fe, supported staff's recommendation and also believed characteristic of the time period and that neighborhood. The elevation drawings show how distinctive the east, west and south sides are. The north side is different and couldn't be considered as primary, but the other sides are important. The back of the lot is the most logical place for development, and the historic parts of the wall

should also be preserved. Although everyone moans about the windows, there are ways to deal with them and they are part of the character of the house. At this point the Board and anyone buying one of these houses should consider them historic. They should look at how to make the best use of them and making them as efficient as possible and preserve them.

BOARD DISCUSSION

Mr. Hoops added that the applicant is not fighting to throw away the existing windows, he is fighting to add onto the house as is appropriate.

Chair Rios explained that when the Board does a status review they cannot delve into what will occur in the future.

Mr. Hoops said he understood but wanted, for the record, to voice that the applicant is not talking about changing windows and throwing out the steel case windows. That was the focus of comments made by Mr. Eddy and Ms. Beninato. He wanted to make that clear.

Chair Rios said she also heard Ms. Beninato say this is a representation of the time period the house was built in the 1950s.

MOTION: In Case #2020-002852-HDRB, 119 Kearny Road, Member Biedscheid noted for the record that the correct interpretation of the HCPI report is that an assessment of historical significance was based on the house's age at that time, which was less than 50 years. She moved, based on the integrity of the historic features of the house and strong representation of its place in time, to follow staff's recommendation and designate the south, west and east façades of the residence #1, #2, #3 and #6; exclude the north portions of façade #3 (roof deck) and north portion of façade #6 (second story shed roof); and include the historic portions of the front yard wall, excluding the east portion of the wall. Member Larson seconded the motion.

VOTE: The motion passed by majority (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

2. **Case #2020-002864-HDRB. 1668 Cerro Gordo Road.** Downtown & Eastside Historic District. Elisabeth Wagner, agent for Will Gorham, owner, requests window and door replacement, entry portal remodel, re-roof, HVAC and skylight installation on a non-contributing casita. (Angela Schackel Bordegaray)



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Hoopes and Associates, agent for William and David Snead, owner, requests a historic status review with primary façade designation, if applicable, for a non-contributing residential structure.

Case number: **2020-002852-HDRB**
Project Type: **HDRB**

PROJECT LOCATION (S): **119 Kearny Road**

OW – William and David Snead 123 Kearny Road Santa Fe, NM 87501 david.snead@dsnead.com

AP -- Hoopes and Associates 333 Montezuma Avenue Santa Fe, NM 87501 craig@hoopesarchitects.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

H 2514

YEAR OF CONSTRUCTION

1967-68

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

N/A

City of Santa Fe, New Mexico

memo

DATE: December 8, 2020
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2020-002852-HDRB

Address: 119 Kearny Road
Historic Status: Non-Statused
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards &
yard wall & fence standards

Historic Inventory
Form H2514

Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

RECOMMENDATION:

Staff recommends designating the house and the front yard wall as contributing to the Downtown and Eastside Historic District per 14-5.2 (C), Regulation of Significant and Contributing Structures in the Historic Districts.

Staff also recommends that the south, west, and east façades be designated primary, per 14-12 for Contributing Structure and Primary Façade.

BACKGROUND & SUMMARY:

119 Kearney Road is a bi-level 1,665 square foot single-family residence designed in the Spanish-Pueblo Revival style built in 1967-68. Its front on the south elevation appears as a single story house with a portal, detailed with stuccoed columns, wooden corbels, and exposed lintels. Its north elevation is two stories in height.

Windows are metal multi-lite casement units on all elevations. Windows on the front/south elevation are two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture window unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels.

The north elevation has a shed roof. There is a single 8-lite casement and 4-lite casement on the upper level. There is a roof-less deck on the upper level of the north elevation with a utilitarian wood railing.

The property is approximately one-half block east of Bishop's Lodge Road. The yard wall and gate enclose the front yard. Like many homes on the street, it features a low, cement-stucco yard wall that contributes to the house's historical context and setting and is consistent with homes in this streetscape. A steep, north-sloping driveway runs along the east side of the house. Chain link fencing runs across the north, east, and west side of the property.

The applicant is before the board for a historic status determination of 119 Kearny Road. The Historic Cultural Properties Inventory (HCPI) notes that it would be eligible for designation in 2018, when it reached 50 years old. Little has changed on its south, west, and east elevations.

H 2514

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria: A B C D

NAME OF PROPERTY:

LOCAL REFERENCE NUMBER: 40810

LOCATION OF PROPERTY: 119 Kearny Road

UTM ZONE: 13

CITY OR TOWN: Santa Fe

UTM EASTING: 415145

COUNTY: Santa Fe

UTM NORTHINGS: 3440000

DATE OF SURVEY:

4/25/2006

PREVIOUS SURVEY?

No

PREVIOUS SURVEY DATE:

NAME OF PROJECT:

Kearny Sunset Resurvey

PHOTOGRAPH:

ROLL NUMBER

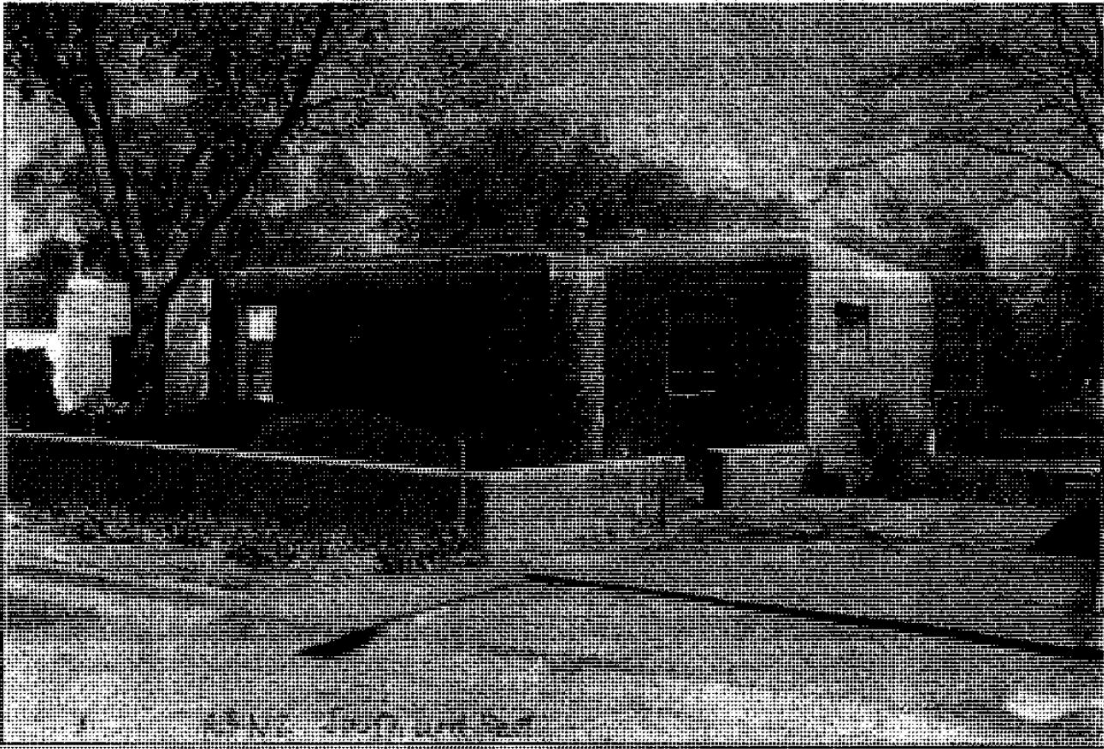
3

FRAME NUMBER:

2

NEGATIVE LOCATION:

NM HISTORIC PRESERVATION DIVISION



PHOTOGRAPH VIEW: south and east elevations

PROPERTY TYPE: Building

DESCRIPTION OF PROPERTY:

119 Kearny Road is a bi-level Spanish Pueblo Revival style residential building with medium stucco and a battered parapet. The building appears as a single story residence on the south/street side and is two stories in height on the north elevation. The upper level of the north elevation has a shed roof with exposed roof beams at the overhanging eaves. Windows are metal multi-lite casement units on all elevations. On the north elevation there is a single 8-lite casement and 4-lite casement on the upper level. Additional upper level units are paired and triplicate metal sliders in the shed roofed area. Lower level windows on this elevation are 12-lite slider units. Windows on the south elevation include two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels. Entry to the structure is through a single-leaf multi-panel wooden door on the south. Secondary entrances include a pair of wooden sliding glass doors on the lower level of the north elevation, an 8-lite French door on the east that provides access to the north deck, and a single-leaf unit with a sidelight on the west. There is a partial-width portal on the south elevation. It is detailed with stuccoed corner piers, corbels, and exposed lintel. There is a roof-less deck on the upper level of the north elevation with a utilitarian wooden railing. A low block/stucco yard wall encloses the property on the south and the yard on the east. There is a chain link fence across the north, east, and west side of the property. The site slopes toward the north with a steep driveway on the east side of the building.

WHO USES THE PROPERTY?: (Current and historic users and uses made of property.)

Single Family Residential

CONSTRUCTION DATE KNOWN?

Yes

SIGNIFICANT MODIFICATIONS?

window replacements [north elevation], shed-roofed addition on north [former porch?], north elevation deck.

DATE OF CONSTRUCTION:

1967-1968

SOURCE FOR CONSTRUCTION DATE:

City Directory

SETTING: Urban

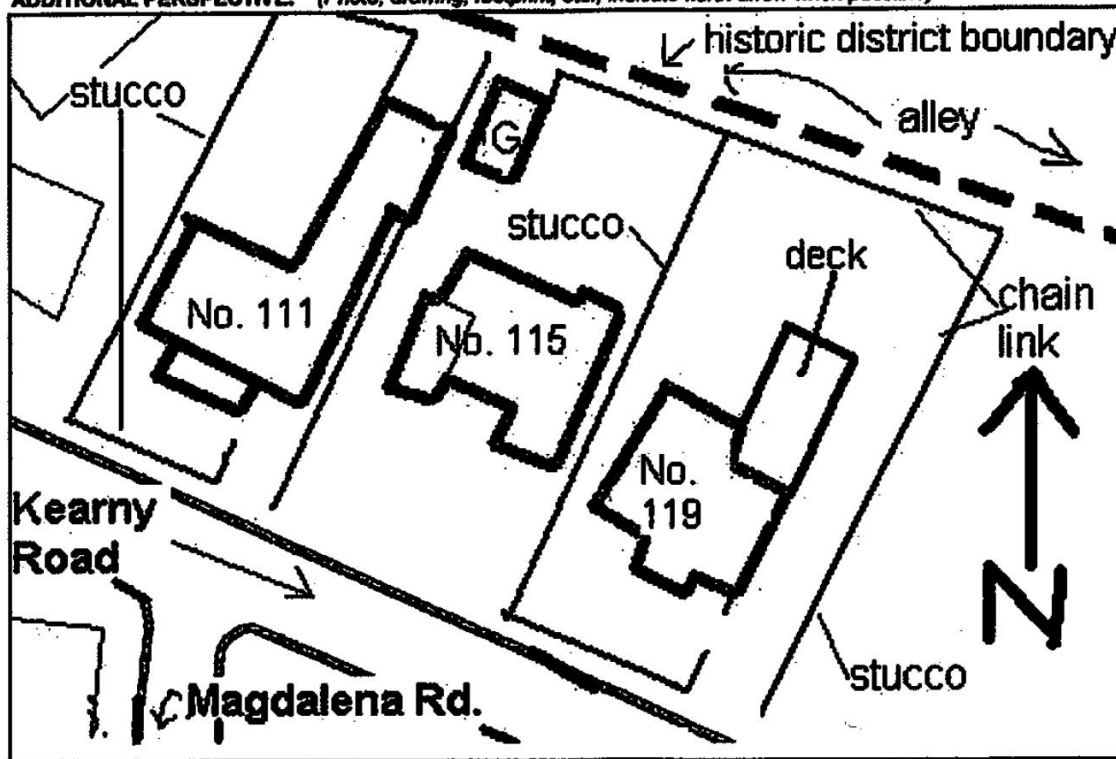
RELATIONSHIP TO SURROUNDINGS: Similar

COMMENTS ON SURROUNDINGS:

IF URBAN SETTING, NATURE OF IT: Residential

compact single story residential area

ADDITIONAL PERSPECTIVE: (Photo, drawing, footprint, etc.; indicate north arrow when possible)



NOTES ON ADDITIONAL PERSPECTIVE: (If photo, include photo info, as in #10)
Site. Santa Fe GIS base map. NTS.

SURVEYOR BUSINESS NAME: Ragins Research and Planning
SURVEYOR FIRST NAME: Mary
SURVEYOR LAST NAME: Ragins
SURVEYOR STREET ADDRESS: 9 Stone Ridge Road
SURVEYOR CITY: Santa Fe
SURVEYOR ZIP CODE: 87505
SURVEYOR TELEPHONE: 5059950852
SURVEYOR EMAIL: rp@intergate.com

OWNER OR OTHER KNOWLEDGEABLE PEOPLE:

[Redacted]

IS THE PROPERTY ENDANGERED?: No

HOW IS THE PROPERTY ENDANGERED?:

[Redacted]

SIGNIFICANCE TO CURRENT COMMUNITY: Low

DESCRIPTION OF COMMUNITY SIGNIFICANCE:

non-historic structure, eligible for designation 2018

OTHER INFORMATION OF INTEREST: (Such as historical, legendary, structural, former ownership, character-defining features, etc.)

7-6-95 NM DOT aerial photo shows shed roof on north elevation in place. Deck on north elevation is not shown on this aerial.
 According to the Santa Fe County Property Record Card, the building stands on lot 4 of the Kearny Addition.

IS PROPERTY INDIVIDUALLY LISTED ON A REGISTER?: No

INDIVIDUALLY LISTED ON SRCP?: No

INDIVIDUALLY LISTED ON NRHP?: No

IF NOT LISTED, IS IT ELIGIBLE?: No

IF ELIGIBLE, WHY?

[Redacted]

ARE CONTINUATION SHEETS ATTACHED?

CONTINUATION SHEET PAGE NUMBERS: 1

IS PROPERTY IN A REGISTERED DISTRICT?: Yes

DISTRICT DESIGNATION: Non-contributing

DISTRICT NAME:

Downtown and Eastside Historic District

DISTRICT IS ON THE SRCP?: Yes

DISTRICT IS ON THE NRHP?: Yes

IS HCPI FORM 2 ATTACHED?:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet 1

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. LOCAL REFERENCE NUMBER: 40810

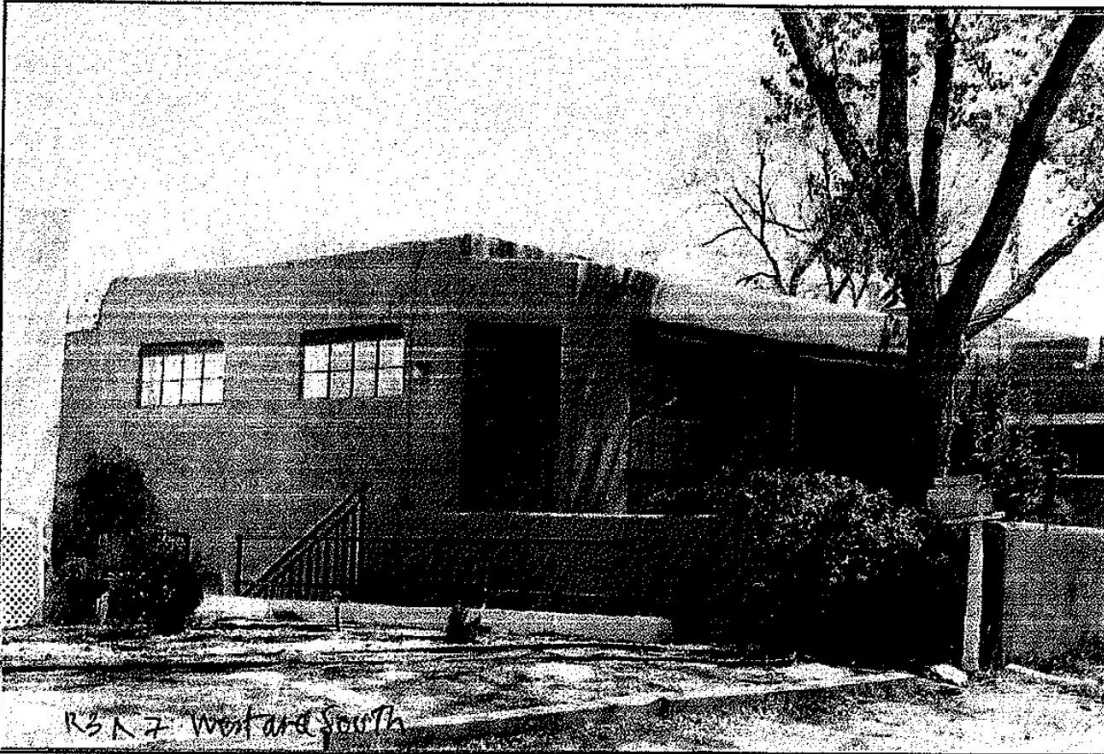
NAME OF PROPERTY:

LOCATION OF PROPERTY: 119 Keamy Road

COUNTY: Santa Fe

CITY OR TOWN: Santa Fe

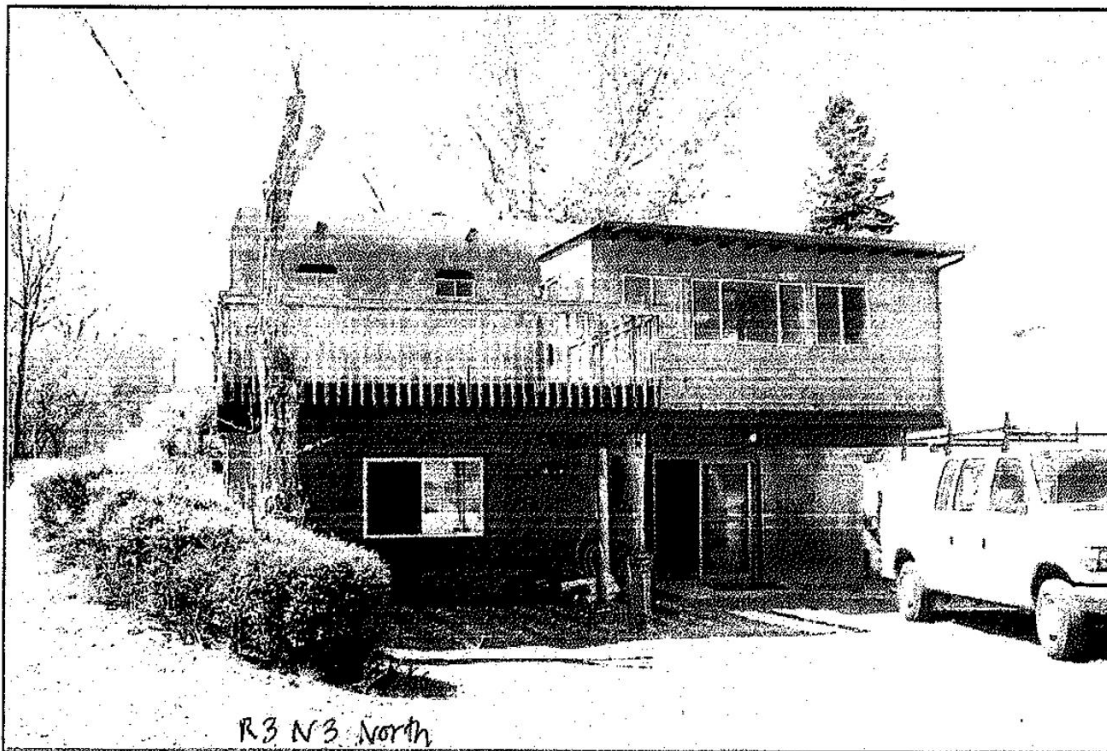
DATE OF SURVEY: 4/25/2006



Additional Photo #1:

Photo #1 Notes:

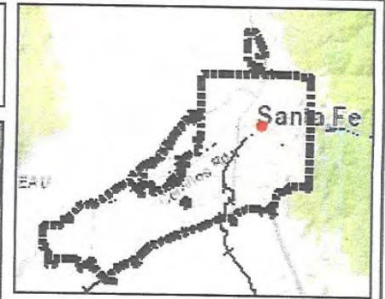
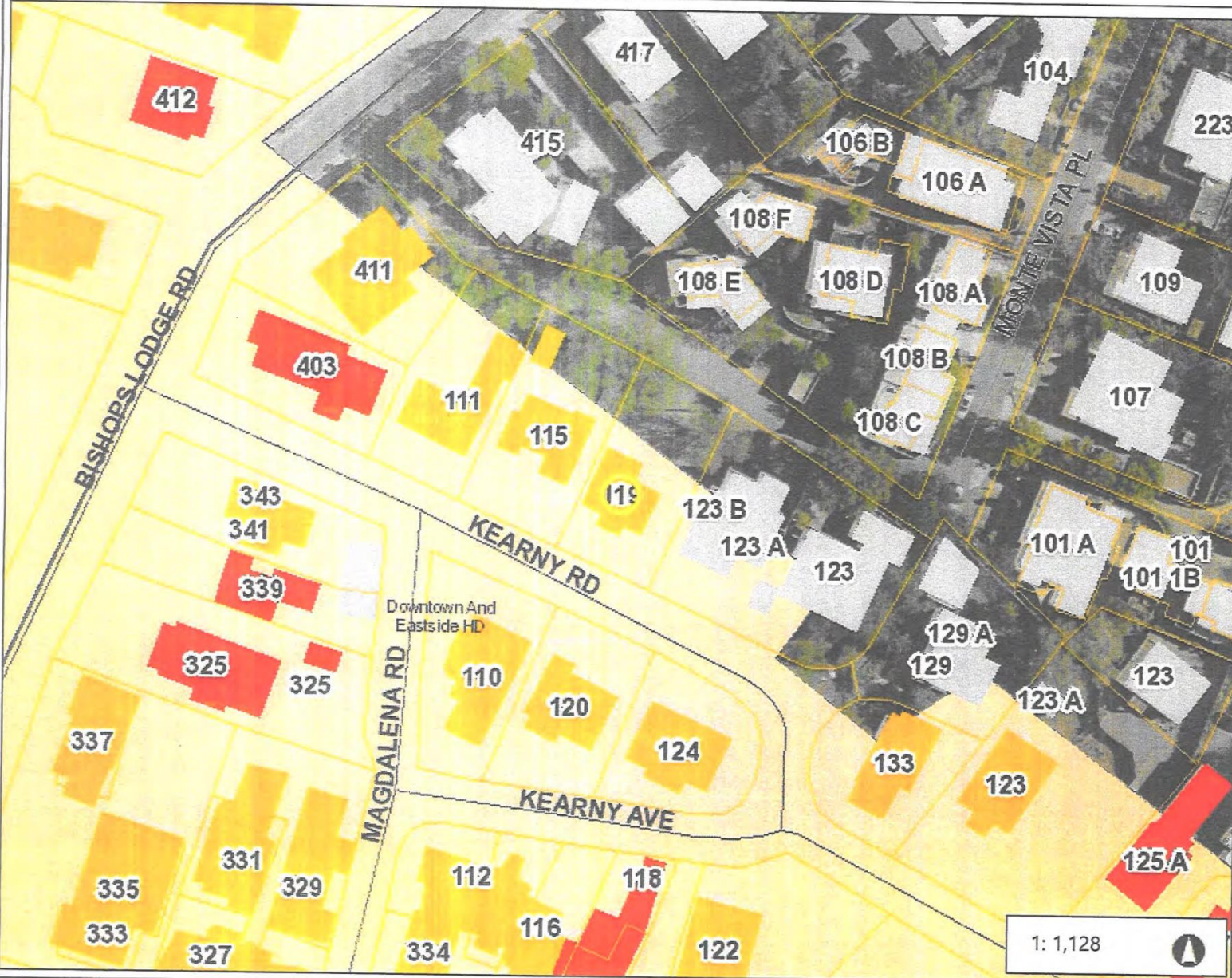
roll 3, negative 7, west and south elevations



Additional Photo #2:

Photo #2 Notes:

roll 3, negative 3, north elevation



Legend

- City Limits
- Address Points
- Roads
- Major Roads
- Santa Fe County Parcels
- Santa Fe River
- Rail Road
- Historic Buildings Status
 - Landmark
 - Significant
 - Contributing
 - Non-Contributing
 - Not Resurveyed
- Historic Districts
 - Don Gaspar Area HD
 - Downtown And Eastside HD
 - Historic Review HD
 - Historic Transition HD
 - Westside-Guadalupe HD

1: 1,128



188.1 0 94.04 188.1 Feet

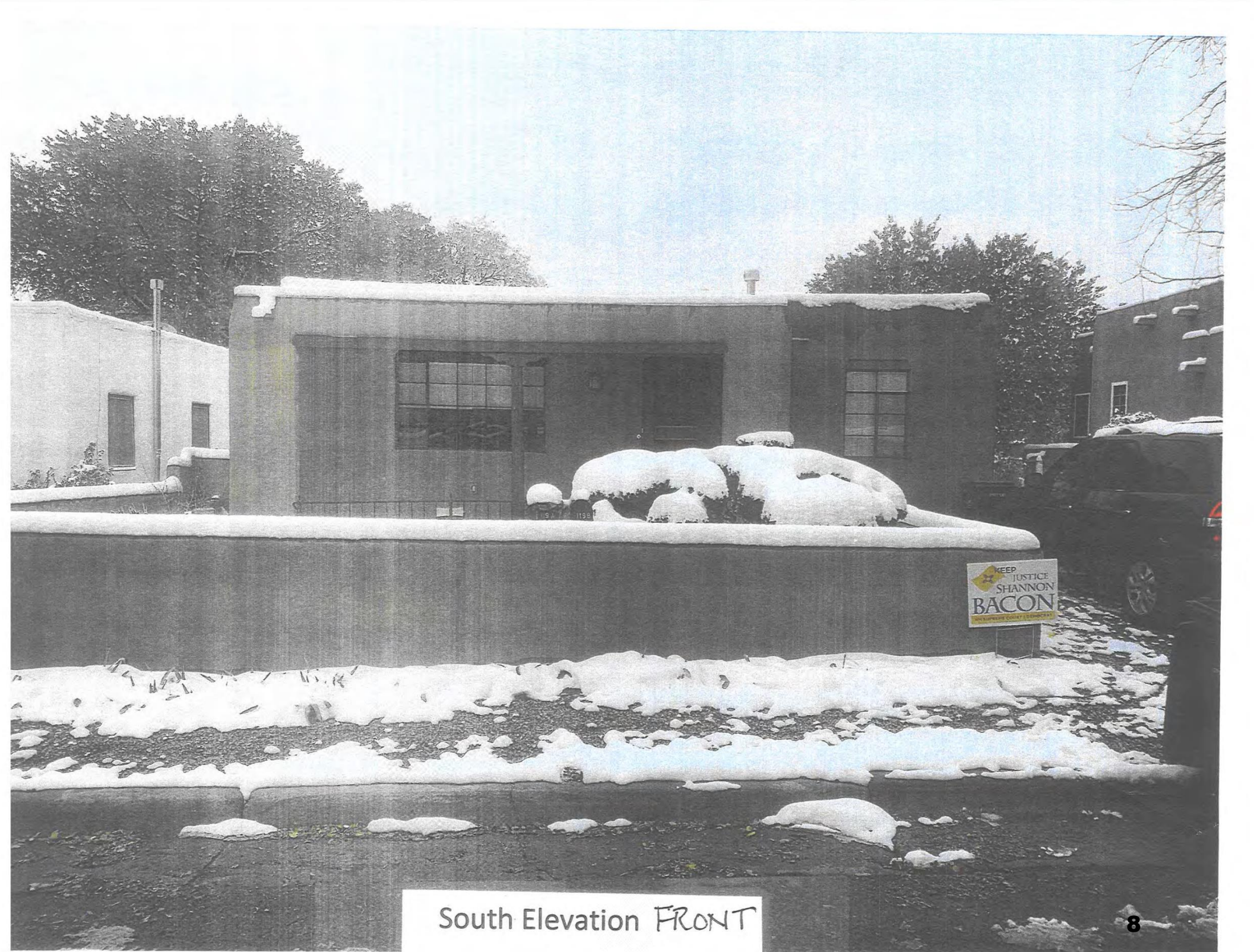
WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

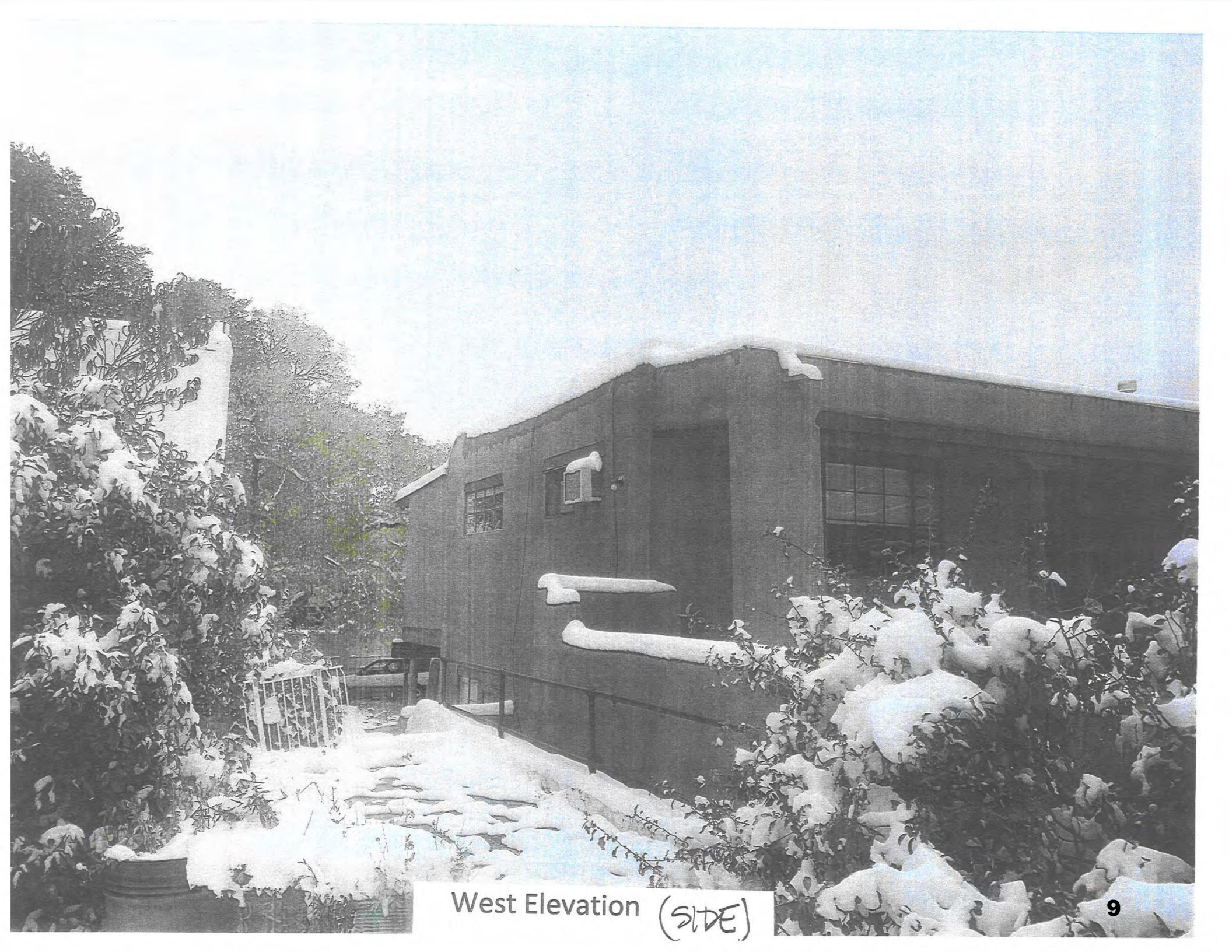
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

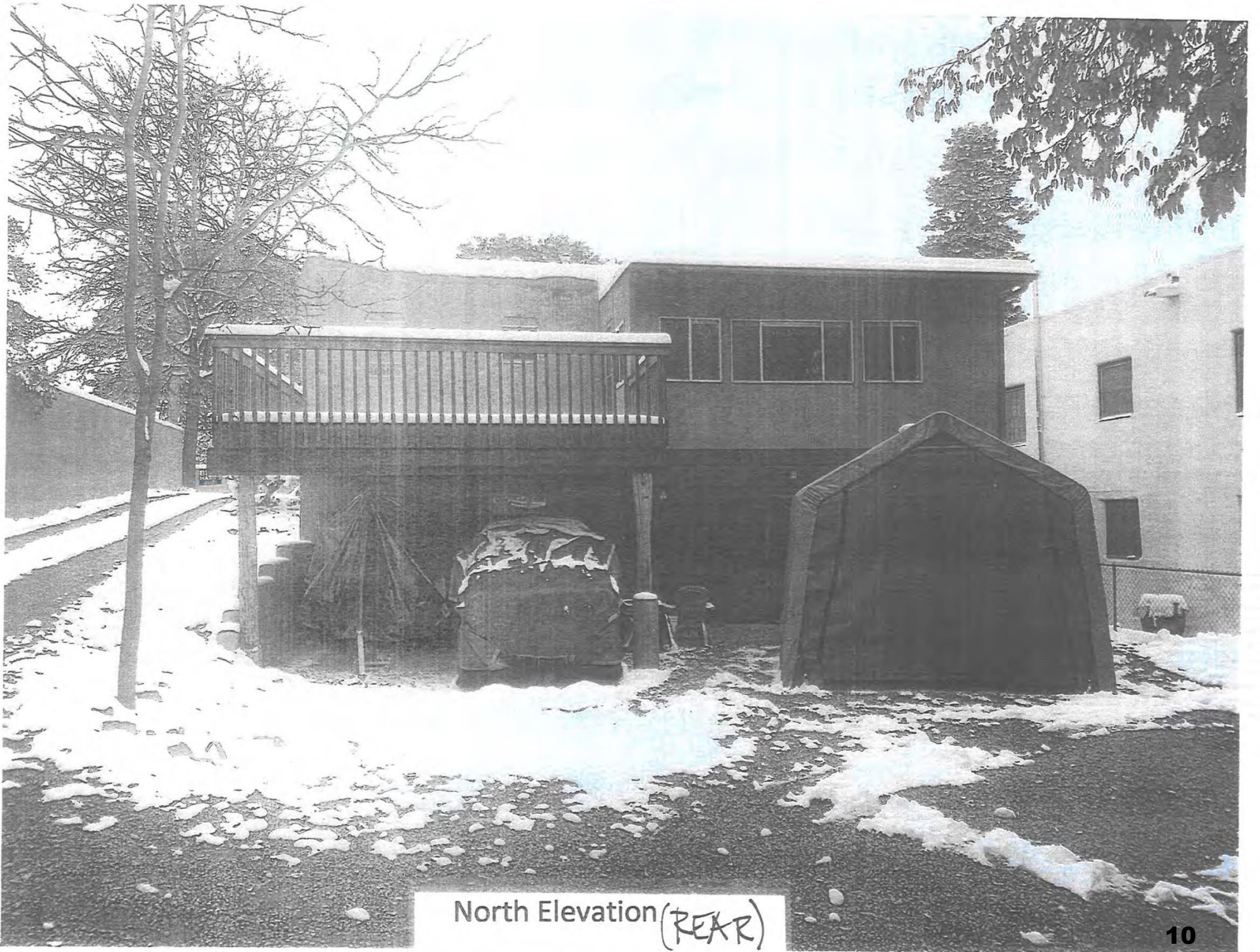
© Latitude Geographics Group Ltd.



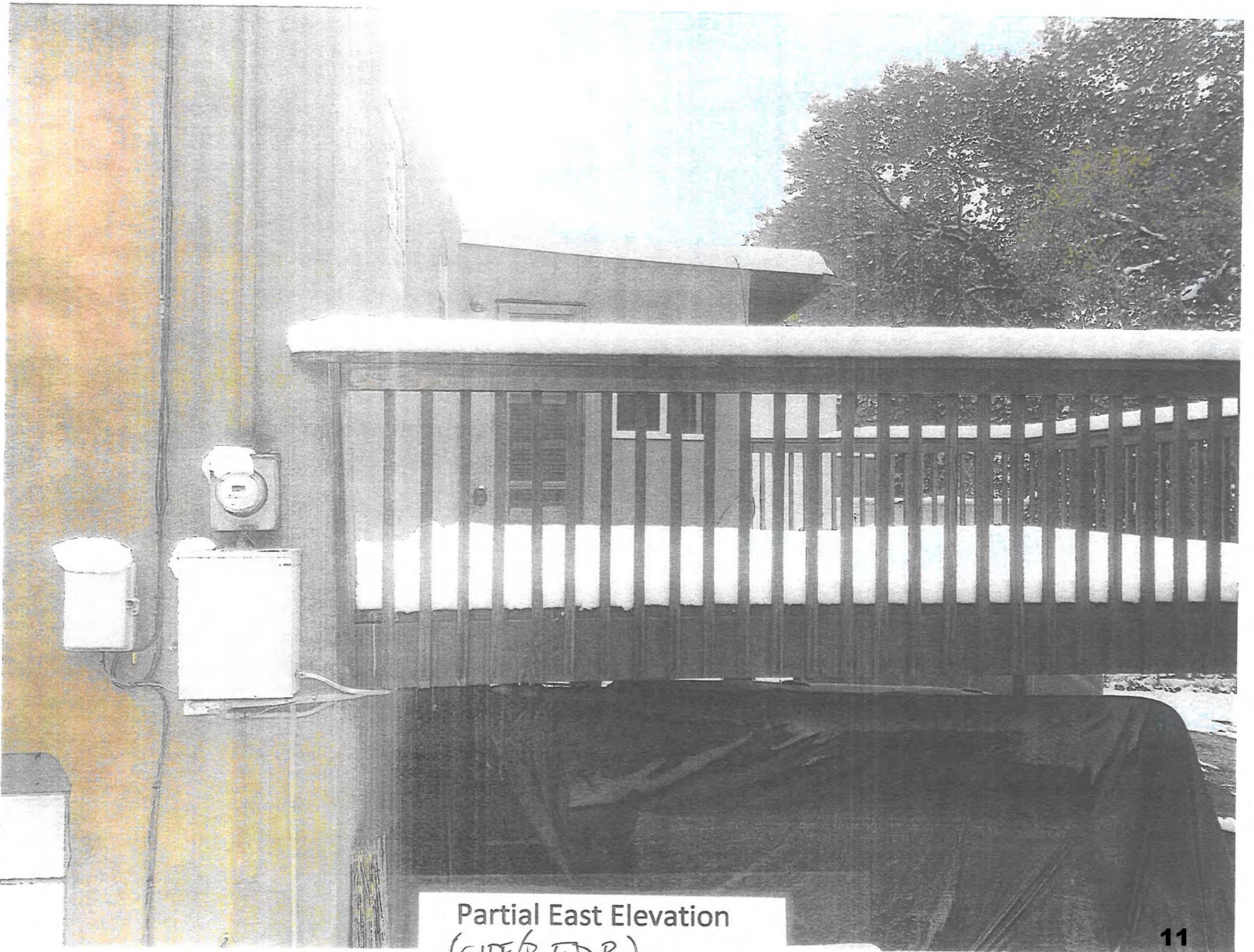
South Elevation FRONT



West Elevation (SIDE)



North Elevation (REAR)



Partial East Elevation
(SIDE/REAR)



Window

H+A

November 3, 2020

Historic Preservation Division
Land Use Department
City Hall
201 Lincoln Ave.
Santa Fe, NM 87501

Re: 119 Kearny Street

Dear HPD,

Please find attached the plans for the existing house at 119 Kearny Street. We are requesting a status review of this property. We have also included a copy of the HCPI for this property along with a plat and warranty deed.

Thank you for reviewing this status.

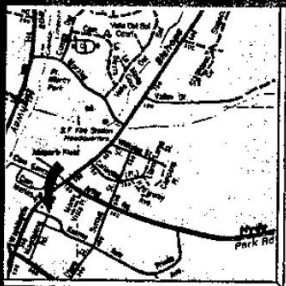
Sincerely,



Craig Hoopes, AIA

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010

0394006

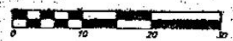


PLAT OF BOUNDARY SURVEY FOR RALPH WILLIAM HUBER LOT 4 OF THE KEARNEY ADDITION CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.

VICINITY MAP



SCALE 1" = 10'



LEGEND

- USGLO Brass Caps found and used
Points found and used as noted.
1/2" Copied from pin set this survey.
Power poles.
Fences.
Walls.
Concrete.

NOTES

- 1. KINDS OF BEARING: PLAT OF SURVEY OF THE KEARNEY ADDITION TO THE CITY OF SANTA FE, BY JAMES G. HARVEY, DATED DECEMBER 1930, FILED IN PLAT BOOK 3, PAGE 303, RECORDS OF SANTA FE COUNTY, N.M. (N 43° 30' W).
2. THIS SURVEY IS BASED ON THE ABOVE MENTIONED PLAT, BEARINGS AND DISTANCES IN (1) AND FROM SAID PLAT.
3. THIS PANEL NO. 350078-0028-02, 20th C. MORTGAGE DESIGNATED FLOOD ZONE.

CERTIFICATE

I, Philip B. Wiegand, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief. I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

Philip B. Wiegand is attested 1992
Philip B. Wiegand P.S. No. 9758 Santa Fe, NM. P.O. Box 22773

LOT 3 N.P. MARG D. BERTICAN & CATHRYN BERTICAN BK. 1141, P. 338

LOT 3 N.P. BOA PRIC. NO BOOK/PAGE



COUNTY OF SANTA FE STATE OF NEW MEXICO
I hereby certify that this instrument has been filed for record on the 28th day of August 1992 at 11:52 a.m. in Book 354 Page 0028 of the Records of Santa Fe County.

Witness my Hand and Seal of Office
PHILIP B. WIEGAND
County Clerk, Santa Fe County, New Mexico

AMENDMENT: FIELD CHECK AND IMPROVEMENTS
UPDATED 8/26/92
NAME CHANGED IN TITLE
Philip B. Wiegand August 1992
PHILIP B. WIEGAND DATE

INDEXING INFORMATION FOR COUNTY CLERK BOUNDARY SURVEY

OWNER: JAMES A. GRANT
LOCATION: 118 KEARNEY ROAD
PROJECTED NE 1/4, 0.00 SECTION 24, T. 17 N., R. 9 E., N.M.P.M.
SUBDIVISION: KEARNEY ADDITION
CITY OF SANTA FE, SANTA FE COUNTY, N.M.
UPC No.: T-054-059-308-350

PHILIP B. WIEGAND, INC.
P.O. BOX 22773 SANTA FE, NM 87502-9200
PROJECT No. 9859499 Date 8/23/92

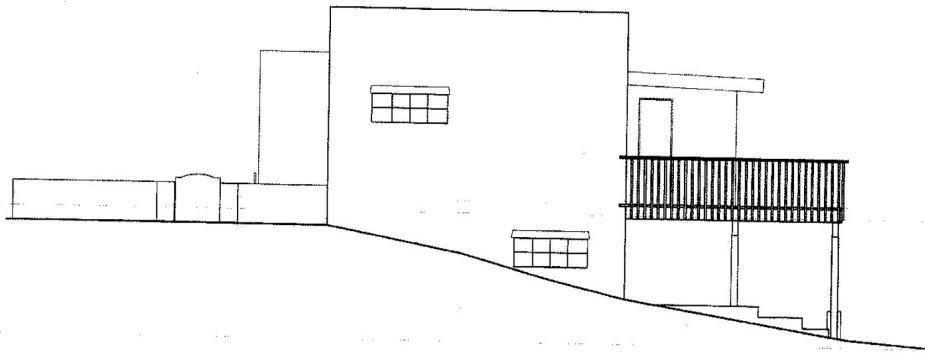




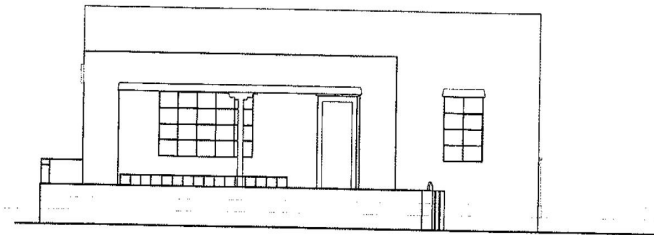
01 WEST ELEVATION
scale: 1/4" = 1'-0"



01 NORTH ELEVATION
scale: 1/4" = 1'-0"



01 EAST ELEVATION
scale: 1/4" = 1'-0"



01 SOUTH ELEVATION
scale: 1/4" = 1'-0"

H+A

HOOKES + ASSOCIATES ARCHITECTS

314 KENTZUM AVE. SUITE 205
SPRINGFIELD, VT 05156
P. 802.863.3312
W. www.hookesarchitects.com

SNEAD RESIDENCE
REMODEL

215

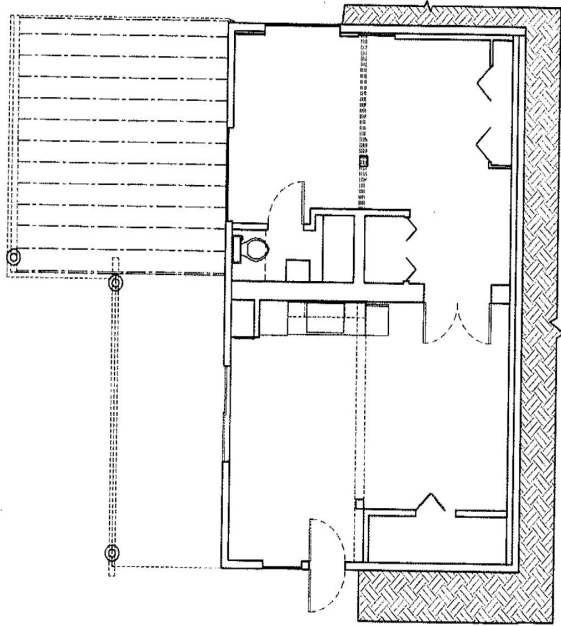
11/20/14/15/20
SNEAD, H.A. 01/15/15


ISSUE DATE: 11/30/2015

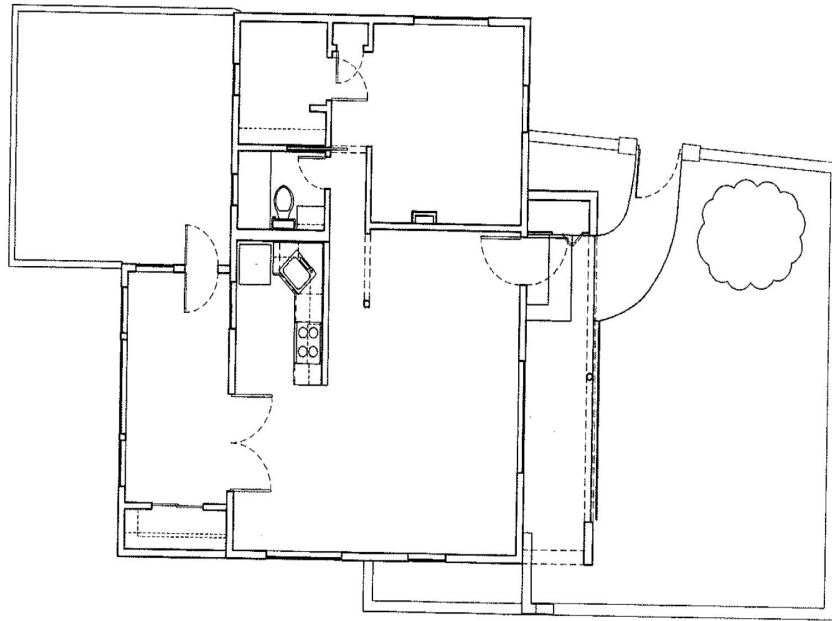
EXISTING
ELEVATIONS

A-201₅

IN PROGRESS NOT FOR CONSTRUCTION



02 LOWER LEVEL
scale: 1/4" = 1'-0" 



01 UPPER FLOOR
scale: 1/4" = 1'-0" 

ORIGINAL PLAN sqft: 1515 sqft

ADDITION sqft: 150 sqft

H+A
HOOPER + ASSOCIATES ARCHITECTS
333 MONTEZUMA AVE. SUITE 209
SAN DIEGO, CA 92101
P: 619.594.1212
W: www.hooperandassociates.com

SNEAD RESIDENCE
REMODEL

705
180 CANTON RD.
SANFATE, MD 21057

ISSUE DATE: 11.20.2013

EXISTING FLOOR
PLAN

A-101₆

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Exhibit B
Previous Case
2021-004179-HDRB
Remodel
119 Kearny Road**

structure and fireplace are masonry construction. The roof structure is wood beams, vigas, and deck with a tan-granule modified bitumen cap sheet. The proposed roof height is 9'- 6" to 10', lower than the house roofline. New masonry elements will be stuccoed El Rey cementitious "Adobe". The wood elements will be sealed in a natural finish, and exposed roof material will be a bronze tone.

No other changes are proposed at this time.

STAFF RECOMMENDATION

Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).

QUESTIONS FOR STAFF

Chair Rios said it was difficult to see this home from the public way. She asked Ms. Bordegaray if the porch/portal could be seen from a public way.

Ms. Bordegaray confirmed that it could not.

APPLICANT'S PRESENTATION

Victor Johnson, PO Box 1866, Santa Fe, was sworn. He said he had nothing to add and would just stand for questions.

PUBLIC HEARING

No one from the public spoke.

BOARD DISCUSSION

MOTION: In Case 2021-004177-HDRB, 642 Camino de la Luz, Member Guida moved to approve the project per staff's recommendation, as submitted. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

6. **2021-04179-HDRB. 119 Kearny Street.** Downtown and Eastside Historic District. Hoopes Architects, agent for owners C. David Snead and Charles P. Butler, proposes to add 2,131 sq. ft. to a contributing building, construct new yard wall and gate, add courtyard walls, repair historic window, and replace entry steps. The applicant requests an exception to Section 14-

5.2(D)(2)(d), to exceed 50% of the historic footprint. (Angela Schackel Bordegaray)

STAFF REPORT

119 Kearny Road is a 1,297 sf building contributing to the Downtown and Eastside Historic District. The house is Spanish-Pueblo Revival style, built in the 1950s, and added onto sometime in the 1970s-1980s. The board reviewed its historic status earlier this year and found it contributing, designating the east, south and west facades primaries. It is two story with an *historic footprint* of 879 sf. An enclosed 146 sf porch and a 272 sf deck were added in the 1980s, bringing the house's existing total square footage to 1,297. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The board included the yard wall in its designation of contributing. The applicant proposes the following:

1. To add 1,296 sf onto the north façade. This will increase the footprint from 1,297 sf (which includes both historic footprint and 1980s addition) to a total of 2,593 sf. Its height will not exceed the original house. The upper floor addition includes a deck and coyote fence guardrail. The two additions are offset from each other to break up the massing of the house. The addition is set back from the original home and the new entry via a "plaza" between the original house and the addition. The addition is 6" shorter than the existing structure's height. The style is Spanish-Pueblo Revival. The windows will be metal clad wood simulated divided lite, trim color "Blue Danube." The roof will be blue corrugated metal. Entire structure will be re-stuccoed in cementitious El Rey "Sahara." The applicant requests an exception to add more than 50% of the house's historic footprint.
2. Add new masonry stucco-faced wall 4'-8" tall on the south façade on and an 8' – 8" gate with sconce. The new yard wall will connect to the east primary façade less than 10' from its south edge. The applicant requests an exception to adding onto a primary façade less than 10' from its corner.
3. Paint under existing portal white Sto "Marble White."
4. Add a new low garden wall in the rear of the house on the north elevation.
5. Repair window on the east façade to refit the glass and refurbish the sash.
6. Rebuild non-historic front entry steps to bring up to code.

STAFF RECOMMENDATION

Staff does not find that the exception criteria have been met, but the Board may find they are met upon further testimony from the applicant; otherwise, Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.

Ms. Bordegaray said the Staff Report was later amended to say that an exception was not required.

QUESTIONS FOR STAFF

Chair Rios asked Ms. Bordegaray to describe the topography of the project, starting with the elevation of the entrance to the house.

Ms. Bordegaray showed the front of the house and noted the driveway slopes down to the rear to the backlot.

Chair Rios said she just wanted to make the point that the land slopes down. She said the portal is 146 square feet and the deck is 272 square feet. She asked if the heated space is only 879 square feet.

Ms. Bordegaray said the historic footprint is 879 square feet.

Member Bienvenu asked to confirm Ms. Bordegaray interpreted the 50% limitation in the footprint was the historic footprint, opposed to Code, which is 50% of the *current* footprint.

Ms. Bordegaray told him that was correct.

Member Bienvenu asked what the thinking was there.

Ms. Bordegaray explained in the historic district, historic buildings have original footprints. If they are two-story, the historic footprint is just the footprint and not the total square feet. If you put an addition on that, that is not considered the original footprint. That is how they distinguish the old from the new.

Member Bienvenu said the Code 50% does refer to the existing footprint, not historic. To him, that implies what is there now, or at the least what was designated as contributing.

Ms. Bordegaray said staff interprets in the historic districts, the original footprint. The thinking behind that is like in this case, houses have been added onto with non-historic footprints. If that is 50% more than the existing footprint, then it becomes larger than the original footprint. That keeps the historic scale of the structure and is how historic is interpreted in the historic districts.

Member Bienvenu asked what would be permitted under that interpretation or under the interpretation that the existing is current, and how big could the addition be.

Attorney Ruybalid said this had been discussed from a legal perspective. If interpreting Code to carry out specific objectives of maintaining the historic ambience of the districts, allowing endless 49% expansions without requiring an exception, the original square feet added to 49% and then another 49% addition, would mean that could be a monstrosity of a house. And an exception would never have to be obtained from the Board, which defeats the purpose of Code.

The City Attorney's office believed that the interpretation of Code means the historic footprint of the house is the correct interpretation.

Member Bienvenu said he agreed with that rationale. But another interpretation that would accomplish that could be to refer to "existing" meaning at the time it was designated as contributing or significant. Opposed to what we are calling the historic footprint. Because at that moment there was a decision made that the entire building was significant in that form with the footprint it had at that moment. That may not have been the same as the original historic footprint.

He asked what would be permitted under that interpretation; how large of an addition.

Ms. Bordegaray displayed the south elevation of the original historic footprint of 879 square feet. She said with a non-historic addition it would be more than 50 percent of the original footprint.

Member Bienvenu confirmed that the owner could add on 50% of 879 square feet.

Ms. Bordegaray said that was correct.

Member Bienvenu asked to clarify whether the addition and the original historic house were separate.

Ms. Bordegaray said the house does connect to the existing building.

Member Bienvenu asked if this is one house or two.

Ms. Bordegaray said the applicant would have to speak to that, but she did not think it was a separate unit.

Member Biedscheid asked to clarify what should be considered by the Board for exceptions. She asked if the short yard wall would no longer be connected to the new gated entrance of the existing house.

Ms. Bordegaray explained that cannot be connected without an exception and in the proposal it is not connected.

Member Biedscheid asked on the east façade if the grade would be changed so the lower window is buried.

Ms. Bordegaray said there is a window, and the proposal creates a planter.

Member Biedscheid said the west façade is primary and appears the addition will connect to the end of that in the same plane. She asked if that would not be considered an addition to a primary façade.

Ms. Bordegaray said the designation of primary façade #6 excluded a portion of the existing second-story.

Member Biedscheid asked if that is 10 feet and how the Board should consider the addition that connects to that in terms of the primary impact on the west façade.

Ms. Piccarello responded that the existing shed roof structure will be maintained. She noted there is 10 or 12 feet that steps back into a hallway structure creating the passage that allows the setback. So, it is not within 10 feet and the area with the interior countertops is not part of the primary.

Member Biedscheid asked where the blue roof appears.

Ms. Bordegaray said it is only a portion, not the entire addition and she would let the owner describe that.

Vice Chair Katz said his concern was in the lower plan. He said the west façade of the original is primary and you can see an entryway in the lower part that is built within 10 feet of the primary façade.

Member Guida said that is a recessed area.

Vice Chair Katz said he agreed but it is within 10 feet of the primary façade. The west façade is primary, and the northwest corner is less than 10 feet. That is the concern, being within 10 feet of the primary façade.

Ms. Bordegaray thought it was not less than 10 feet. She suggested asking the applicant.

Chair Rios asked Ms. Bordegaray in reference to the 50% limitation, what the responses were that she did not agree with.

Ms. Bordegaray said there are three criteria, and it was the second criteria stating that the exception request is required to prevent a hardship to the applicant, or injury to the public welfare. Staff agrees with the applicant that there are unique conditions to the

site for development, but does not believe they constitute a hardship. There are other design alternatives that could achieve the same thing.

Chair Rios asked the applicant's response to the hardship.

Ms. Bordegaray said the lot size and slope and the nature of being small and narrow made it a more challenging site to develop. The applicant's argument is in order to have reasonable use, an exception is required and that is a hardship.

APPLICANT'S PRESENTATION

Craig Hoops, 333 Montezuma Ave., was sworn. He said this is a complex structure. They have tried to meet all the conditions to honor the status the Board gave this at the last meeting. In addition, they have tried to make it a structure that steps from one side to the other to maintain the sunlight in the neighbor's yard.

Mr. Hoops said currently this is a two-unit house, and the owners want to make this a single family home again. They have both a historic entry and a lower level entry and the lower level is hidden from the street and cannot be seen. The upper level addition is mainly tucked behind the historic façade, and held away by a courtyard between the existing house and the new addition. The only connection is the upper window to the left of the non-historic addition which is where it will intersect with the existing house. It is all one house. A question was asked about the window on the east façade, lower level. That is being preserved and will remain a window. The blue roof is only on the addition. No one surrounding them could look down on that roof and it is invisible from the street.

Mr. Hoops referred to the plan on slide 73 . He noted the setback of the addition from the east façade is approximately 10 feet; from the west façade it is 12 feet. He referred to slide 74 and explained they will add a couple of bedrooms on the lower level. The west bedroom is pulled away from the historic building by 10 feet to create separation between the historic building and the new addition. Over the west bedroom is a deck and the building steps down to allow sunlight in the neighbor's yard. They wanted to be sensitive in how that fits into the existing neighborhood. He said from the front there is only a couple of feet of the living room that can be seen from the street.

QUESTIONS FOR APPLICANT

Vice Chair Katz said his questions were about the exception to the footprint, particularly the hardship.

Mr. Hoops said Karl Sommer would address the exceptions.

Karl Sommer, 125 Lincoln Ave., Suite 221, Santa Fe, was sworn in. Mr. Sommer said he was present with David Snead and Charles Butler who own the property and will

live in the house. It will not be a rental. He thought that was what Mr. Hoops was alluding to, as currently the house is divided into two rental units, separately occupied.

Member Biedscheid said additional testimony is needed for the Board to evaluate design criteria #3 and the goal of the project.

Mr. Hoops explained they are trying to maintain the existing vegetation on the side and ensure parking behind the house. Those elements come into play in terms of the entire site plan. They looked at ways to break up the building facades to keep the sense of belonging in this neighborhood. At the same time, they want to preserve the elements of the site; the trees, the parking behind the house. The Board saw the difficulty in parking. There is parking on the upper level for two cars and two cars on the lower level. Preserving that aspect of the site, preserves the front facades and keeps them free of clutter and the small street attitude.

Mr. Sommer added that the property and home was owned by David's Snead's mother and father who are longtime Santa Feans. David, his sister and his father own the property to the east. Part of the family's use entails their ability to get to and from the houses in the back. They discussed moving the living space, but it doesn't allow access to preserve the back area and moving the extra living space away from the house would interfere with the connectivity of the two homes that will be used by the family. He noted this is part of long time family owned property. They did look at alternatives and this best preserves the ability to use that area and the connection between the properties.

Member Biedscheid said that information helps. She asked if a smaller addition had ever been considered.

Mr. Hoops indicated there are certain programmatic needs for the house. They need a bedroom for a daughter and a study for each of them, because they work from home. The closets and the bathrooms are very tight. He said this is not an expansive luxury Las Campanas house. They have tried to make the house as tight as possible.

Chair Rios asked Mr. Hoops to describe public visibility from Kearny of the addition and any impact it may have on the historic house.

Mr. Hoops said the living room addition at street level is set back 10 feet behind the existing house and they could see a small piece of the living room. He felt, however, there is no impact on the historic structure. He referenced the elevations showing the Kearny Street façade and noted it is not connected to the house. It is separated by a 10-foot courtyard and doesn't read as part of the historic house.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she thought the exception criteria to add the addition had been met. She said even though it is not attached, it still overwhelms the historic house in terms of mass. This is “reasonable use” of the property, although it is not everything the owner might want. Also, the staircase dominates the façade and wasn’t in harmony with the streetscape.

BOARD DISCUSSION

Member Guida said this is a well-designed project that met all of the challenging requirements of a difficult site. He did not agree that the exception criteria have not been met. He thought it conceivable a 400 square-foot addition would be adequate without curtailing the owner’s development opportunity. The design meets all of the requirements in Code for setbacks and primary façades for stepping down 6 inches below the historic building. And it does that skillfully. It is articulated at the back of the house as a mass that is in scale with the original structure. He said the gap, the courtyard on the east façade and recesses on the west façade, satisfy that requirement for him. He thought the addition is not excessively sized and it is in scale with the existing house. He offered to make a motion.

Vice Chair Katz added in support of a motion, that the hardship exception is a tough one. He thought the intent was for someone who grew up in the house and found they needed to enlarge it as circumstances change. A different situation where an owner wants to change it to sell the house at a higher price, is not what was anticipated. He supported the project because the owners plan met the intent of the exception.

Member Bienvenu said he also wanted to speak in favor of the project. He had some concerns given the restrictions of the 50% rule. He thought the rule may be over restrictive in most cases, particularly in this case where hidden from view. This does not impact the streetscape or the historic district in a negative way and is an elegant solution to their design problems. The only exception criteria that give pause is hardship. As indicated, it is not a hardship to need more room, it is a hardship when people cannot continue to live in a family home because of that rule. He agreed, for those reasons and the circumstances of this property that it is a well-designed project and meets the exception criteria.

Chair Rios said she also supports this project. She explained the reason she put a lot of emphasis on the topography is because that is where the challenges come in. She said the historic part of the house is high and then drops way down to a driveway, and the addition will be in the back of the house. She thought the applicant did a good job articulating what they wanted to do. She said she is a champion of long time Santa

Feans who want to continue to live where they grew up and remain on properties that have been in their family. That is important to her because you do not see that often.

MOTION: In Case 2021-04179-HDRB, 119 Kearny Street, Member Guida moved to approve the project as submitted and finds the exception criteria have been met and would ask the applicant to update the drawing for the fence on the south façade to show the small separation and present that to staff. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

I. DISCUSSION ITEMS

No items.

J. MATTERS FROM THE BOARD

Member Guida commented on the time issue the Board had talked about before. He said he knew that staff has an enormous job with the review of details of all of the cases every week in addition to those they are looking at that don't come to the Board. He suggested if they get to the applicant's presentation sooner it would benefit the applicant, the Board's information and the public. As a designer, he knows he could present his design the best. Applicants should be allowed to get to their presentation as soon as possible. Staff could flesh everything out in their Staff Report and highlight the main issues and there might be far fewer questions and less back-and-forth and need for explanation.

Member Bienvenu wanted to follow up on the discussion on windows and the corners of the façade. He didn't think it made a difference in the outcome to the case. He said the discussion indicated that the corner was being interpreted as an external corner, but he wasn't sure that was correct. The ordinance states that no door/window in a publicly visible façade shall be located nearer than 3 feet of the corner of the façade. But *façade* is defined as an exterior face or elevation of a structure, grade, etc. It continues to say that an individual façade is defined *as including at least an 8 foot width offset from an adjacent plane by at least 4 feet*. He said the language is confusing but to him implies that that includes internal corners to be at least those dimensions. They were not in the case before them. He said he wasn't saying that is the correct interpretation, but it should be an open question. He found that E-2(b) reference to the 3 foot rule in recent Santa Fe Style, and the definition of façade is in the Land Development Code.



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004179--HDRB

Project Description:

Project Location(s): 119 KEARNY RD
Santa Fe, NM 87501

Contacts:

Property Owner: William Snead
119 Kearny RD
Santa Fe, NM 87501

Applicant: Craig Hoopes Hoopes
333 Montezuma
Santa Fe, NM 87501

doug@hoopesarchitects.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021-004179-HDRB

Address: 119 Kearny Street
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
 Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff does not find that the exception criteria have been met, but the Board may find they are met upon further testimony from the applicant; otherwise, Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

119 Kearny Street is a 1,297 sf building contributing to the Downtown and Eastside Historic District. The house is Spanish-Pueblo Revival style, built in the 1950s, and added onto sometime in the 1970s-1980s. The board reviewed its historic status earlier this year and found it contributing, designating the east, south and west facades primaries. It is two story with an *historic footprint* of 879 sf. An enclosed 146 sf porch and a 272 sf deck were added in the 1980s, bringing the house's existing total square footage to 1,297. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The board included the yard wall in its designation of contributing. The applicant proposes the following:

1. To add 1,296 sf onto the north façade. This will increase the footprint from 1,297 sf (which includes both historic footprint and 1980s addition) to a total of 2,593 sf. Its height will not exceed the original house. The upper floor addition includes a deck and coyote fence guardrail. The two additions are offset from each other to break up the massing of the house. The addition is set back from the original home and the new entry via a "plaza" between the original house and the addition. The addition is 6" shorter than the existing structure's height. The style is Spanish-Pueblo Revival. The windows will be metal clad wood simulated divided lite, trim color "Blue Danube." The roof will be blue corrugated metal. Entire structure will be re-stuccoed in cementitious El Rey "Sahara." The applicant requests an exception to add more than 50% of the house's historic footprint.
2. Add new masonry stucco-faced wall 4'-8" tall on the south façade on and an 8' – 8" gate with sconce. The new yard wall will connect to the east primary façade less than 10' from its south edge. The applicant requests an exception to adding onto a primary façade less than 10' from its corner.
3. Paint under existing portal white Sto "Marble White."
4. Add a new low garden wall in the rear of the house on the north elevation.
5. Repair window on the east façade to refit the glass and refurbish the sash.
6. Rebuild non-historic front entry steps to bring up to code.

Exception to 14-5.2(D)(2)(d) to increase the historic footprint of the house by more than 50%.

RELEVANT CODE CITATION

14-5.2(D) General Design Standards for All H Districts

(2) Additions

(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Criteria and Responses:

i. “Do not damage the character of the district”:

Applicant Response: The home on the property is a “contributing” structure is located in the in the Downtown Eastside Historic District (the “Eastside District”). The elements that are important to this property being designated “contributing” is the manner in which this structure (and its Primary Façade) sit and contribute to the streetscape. The additions will not be visible and will have no effect on the character of the district, much less do any damage to the district or the streetscape.

Staff response: Staff agrees with the intent of the response. The contributing elements of the house are still significantly present and that the proposed design is in keeping with the district. The location of the proposed addition at the back of the house is sensitive to the existing home.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the nature, size, and slope of the lot. The hardship is created by these factors – the lot is small, it is narrow and it is sloped. These make additions and changes to the structure difficult under the Historic Ordinance. In order to allow the applicant to make reasonable use of this unique property, the exception will avoid the hardship created by the nature of the lot.

Staff response: Staff disagrees with the applicant’s response. The challenging nature of the property is acknowledged; however, it is unclear as to why an increase in the square footage of the house will prevent a hardship to the applicant. The Board may find that the criteria is met with further testimony from the applicant.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated, and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property. The existing house footprint is 879 sf. On the main floor we are proposing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6" shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

Staff response: Staff does not agree with this response. The applicant has presented reasons for the design they chose to present to the Board, but they did not present any other designs that were considered in the design process. The Board may find that the criterion is met with further testimony from the applicant.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted: <u>6-7-21</u>	<u>119 KEARNY</u>
Property Owner of Record: <u>DAVID SNEAD + CHAS. BUTLER</u>	Proposed Construction Description:
Applicant/Agent Name: <u>CRAIG HOOPES</u>	<u>ADDITION</u>
Contact Person Phone Number: () -	TOTAL ROOF AREA: <u>2318</u>
Zoning District: _____	Lot Coverage: <u>39.5%</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>HISTORIC DOWNTOWN EASTSIDE</u>	Setbacks: Proposed Front: <u>17'-6"</u> Minimum: <u>7'-2"</u> 2 nd Front? _____ Proposed Rear: <u>25'</u> Minimum: <u>15'</u> Proposed Sides: L <u>5'</u> R <u>10'</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>11'-3"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed <u>2</u> Accessible <u>2</u> Minimum: _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	
* Requires an additional review conducted by Technical Review Division ** Requires an additional review conducted by the Traffic Engineering Division	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

CRAIG HOOPES (PRINT NAME) OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Craig Hoopes SIGNATURE 6-7-21 DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>None</u>	
REVIEWER: <u>Lee Logston</u>	DATE: <u>6/7/2021</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

DEDICATION OF KEARNY ADDITION TO THE CITY OF SANTA FE
 STATE OF NEW MEXICO
 COUNTY OF SANTA FE

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, hereunto duly authorized according to the laws of the Territory of New Mexico, do hereby certify that the City and County of Santa Fe, State of New Mexico, do hereby accept of the subdivision of the land shown on the attached plat, and that the same shall be a part of the City and County of Santa Fe, State of New Mexico, and that the same shall be known as the KEARNY ADDITION. And that the above and foregoing subdivision, as the same appears on this plat, is with the free consent and in accordance with the desire of the undersigned owners and projectors.

Given under our hands and seals this 13th day of February, A.D. 1940.

James M. Wilson
Charles J. Smith

James M. Wilson
Charles J. Smith

My commission expires
 9-31-40

Notary Public

Witness my hand and official seal this day and year in this certificate last above written.

STATE OF NEW MEXICO }
 COUNTY OF SANTA FE }
 On this 13th day of February, 1940 before me personally appeared James M. Wilson and Charles J. Smith, his wife, and Rufus E. Smith and Paulina E. Smith, his wife, to me known to be the persons described in and who executed the foregoing instrument of writing, and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal this day and year in this certificate last above written.

My commission expires
 9-31-40

Notary Public

Witness my hand and official seal this day and year in this certificate last above written.

STATE OF NEW MEXICO }
 COUNTY OF SANTA FE }

On this 13th day of February, 1940 before me personally appeared James M. Wilson and Charles J. Smith, his wife, and Rufus E. Smith and Paulina E. Smith, his wife, to me known to be the persons described in and who executed the foregoing instrument of writing, and acknowledged that they executed the same as their free act and deed.

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My commission expires
 9-31-40

Notary Public

Witness my hand and official seal this day and year in this certificate last above written.

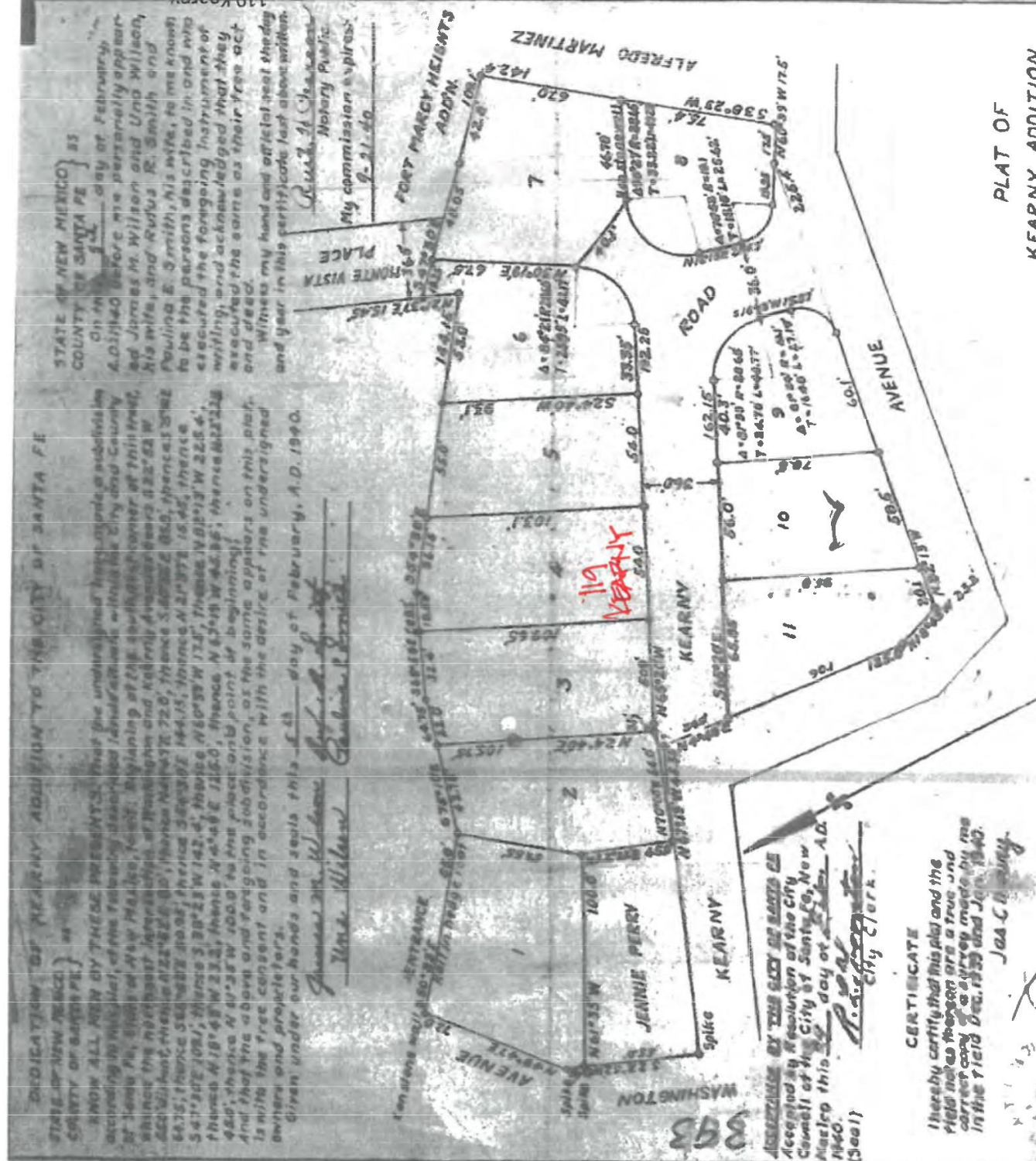
My commission expires
 9-31-40

Notary Public

Witness my hand and official seal this day and year in this certificate last above written.

My commission expires
 9-31-40

Notary Public



ACCEPTED BY THE CITY OF SANTA FE
 Accepted by Resolution of the City
 Council of the City of Santa Fe, New
 Mexico this 13th day of February, A.D.
 1940.
 (Seal)
R. J. Clark
 City Clerk

CERTIFICATE
 I hereby certify that this plat and the
 field notes thereon are a true and
 correct copy of a survey made by me
 in the field Dec. 1939 and Jan. 1940.
Joe C. Young

PLAT OF
 KEARNY ADDITION
 TO THE CITY OF SANTA FE
 PRECINCT 18 Scale 1"=40'

BR 321

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria: A B C D

NAME OF PROPERTY:
 LOCATION OF PROPERTY: 119 Kearny Road
 CITY OR TOWN: Santa Fe
 COUNTY: Santa Fe

LOCAL REFERENCE NUMBER: 40810
 UTM ZONE: 13
 UTM EASTING: 415145
 UTM NORTHING: 3949635

DATE OF SURVEY:
 4/25/2006

PREVIOUS SURVEY?
 No

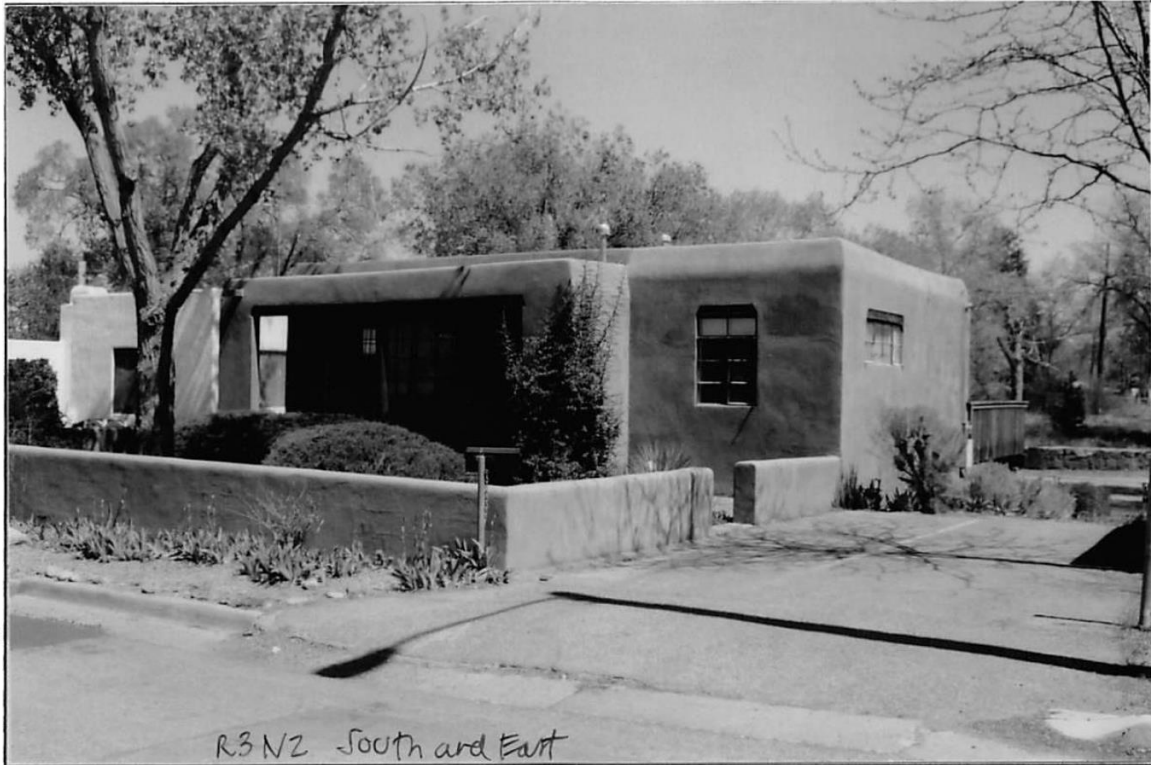
PREVIOUS SURVEY DATE:

NAME OF PROJECT:
 Kearny Sunset Resurvey

PHOTOGRAPH:
 ROLL NUMBER
 3

FRAME NUMBER:
 2

NEGATIVE LOCATION:
 NM HISTORIC PRESERVATION DIVISION



PHOTOGRAPH VIEW: south and east elevations

PROPERTY TYPE: Building
 DESCRIPTION OF PROPERTY:

119 Kearny Road is a bi-level Spanish Pueblo Revival style residential building with medium stucco and a battered parapet. The building appears as a single story residence on the south/street side and is two stories in height on the north elevation. The upper level of the north elevation has a shed roof with exposed roof beams at the overhanging eaves. Windows are metal multi-lite casement units on all elevations. On the north elevation there is a single 8-lite casement and 4-lite casement on the upper level. Additional upper level units are paired and triplicate metal sliders in the shed roofed area. Lower level windows on this elevation are 12-lite slider units. Windows on the south elevation include two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels. Entry to the structure is through a single-leaf multi-panel wooden door on the south. Secondary entrances include a pair of wooden sliding glass doors on the lower level of the north elevation, an 8-lite French door on the east that provides access to the north deck, and a single-leaf unit with a sidelight on the west. There is a partial-width portal on the south elevation. It is detailed with stuccoed corner piers, corbels, and exposed lintel. There is a roof-less deck on the upper level of the north elevation with a utilitarian wooden railing. A low block/stucco yard wall encloses the property on the south and the yard on the east. There is a chain link fence across the north, east, and west side of the property. The site slopes toward the north with a steep driveway on the east side of the building.

WHO USES THE PROPERTY?: (Current and historic users and uses made of property.)

Single Family Residential

CONSTRUCTION DATE KNOWN? Yes
 DATE OF CONSTRUCTION: 1967-1968
 SOURCE FOR CONSTRUCTION DATE: City Directory

SIGNIFICANT MODIFICATIONS?
 window replacements [north elevation], shed-roofed addition on north [former porch?], north elevation deck.

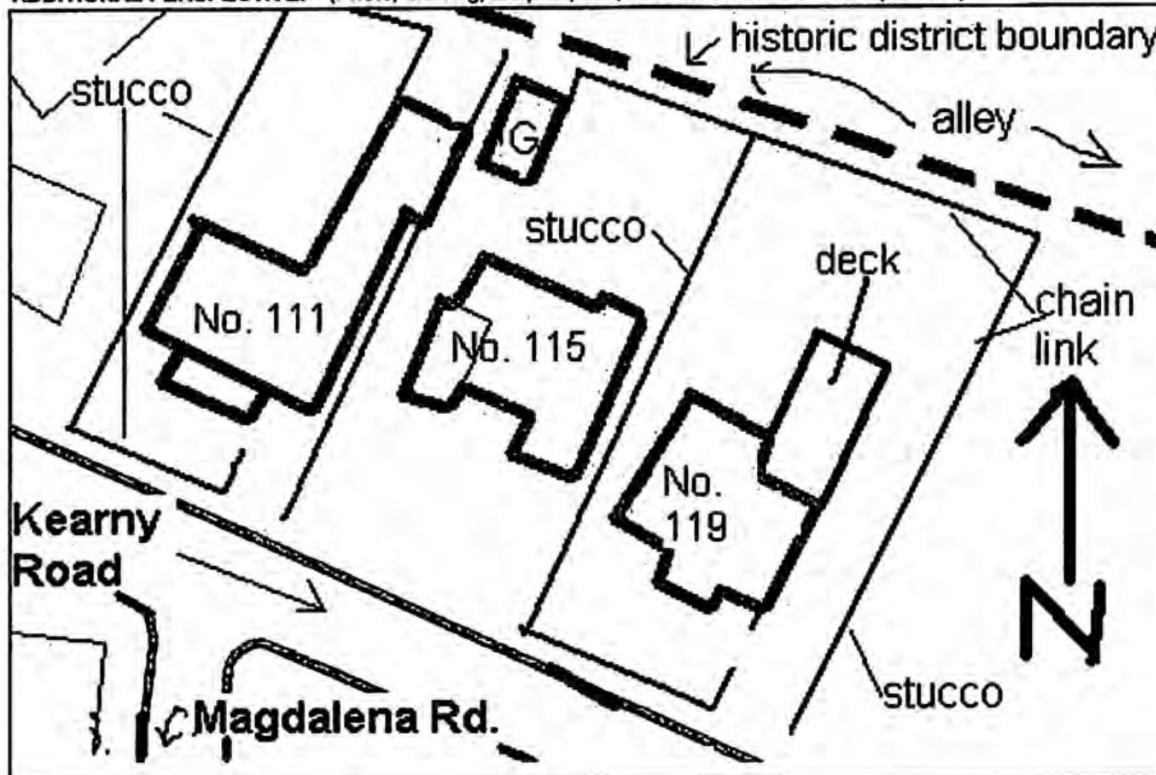
SETTING: Urban

RELATIONSHIP TO SURROUNDINGS: Similar

IF URBAN SETTING, NATURE OF IT: Residential

COMMENTS ON SURROUNDINGS:
 compact single story residential area

ADDITIONAL PERSPECTIVE: (Photo, drawing, footprint, etc.; indicate north arrow when possible)



NOTES ON ADDITIONAL PERSPECTIVE: (If photo, include photo info, as in #10)
Site. Santa Fe GIS base map. NTS.

SURVEYOR BUSINESS NAME: Ragins Research and Planning
SURVEYOR FIRST NAME: Mary
SURVEYOR LAST NAME: Ragins
SURVEYOR STREET ADDRESS: 9 Stone Ridge Road
SURVEYOR CITY: Santa Fe
SURVEYOR ZIP CODE: 87505
SURVEYOR TELEPHONE: 5059950852
SURVEYOR EMAIL: rrp@intergate.com

OWNER OR OTHER KNOWLEDGEABLE PEOPLE:

IS THE PROPERTY ENDANGERED?: No

HOW IS THE PROPERTY ENDANGERED?:

SIGNIFICANCE TO CURRENT COMMUNITY: Low

DESCRIPTION OF COMMUNITY SIGNIFICANCE:

non-historic structure, eligible for designation 2018

OTHER INFORMATION OF INTEREST: (Such as historical, legendary, structural, former ownership, character-defining features, etc.)

7-6-95 NM DOT aerial photo shows shed roof on north elevation in place. Deck on north elevation is not shown on this aerial.

According to the Santa Fe County Property Record Card, the building stands on lot 4 of the Kearny Addition.

IS PROPERTY INDIVIDUALLY LISTED ON A REGISTER?: No

INDIVIDUALLY LISTED ON SRCP?: No

INDIVIDUALLY LISTED ON NRHP?: No

IF NOT LISTED, IS IT ELIGIBLE?: No

IF ELIGIBLE, WHY?

ARE CONTINUATION SHEETS ATTACHED?

CONTINUATION SHEET PAGE NUMBERS: 1

IS PROPERTY IN A REGISTERED DISTRICT?: Yes

DISTRICT DESIGNATION: Non-contributing

DISTRICT NAME:

Downtown and Eastside Historic District

DISTRICT IS ON THE SRCP?: Yes

DISTRICT IS ON THE NRHP?: Yes

IS HCPI FORM 2 ATTACHED?:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet 1

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. LOCAL REFERENCE NUMBER: 40810

NAME OF PROPERTY:

LOCATION OF PROPERTY: 119 Kearny Road

COUNTY: Santa Fe

CITY OR TOWN: Santa Fe

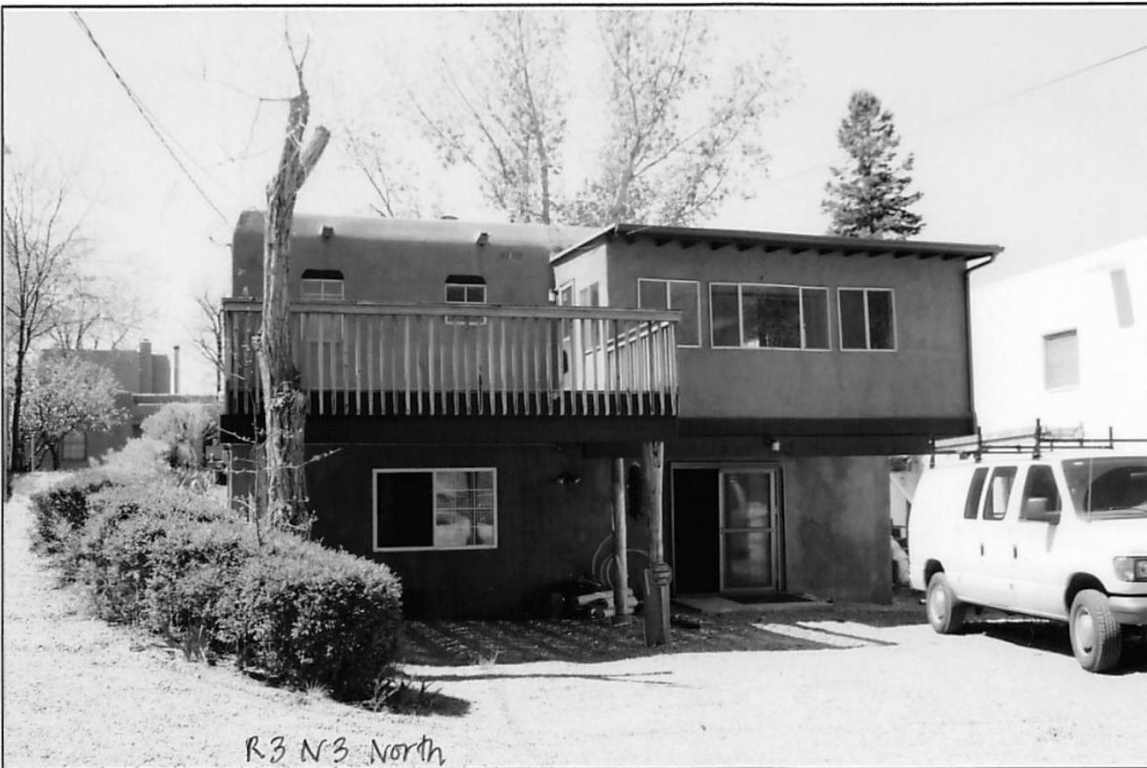
DATE OF SURVEY: 4/25/2006



Additional Photo #1:

Photo #1 Notes:

roll 3, negative 7, west and south elevations



Additional Photo #2:

Photo #2 Notes:

roll 3, negative 3, north elevation



August 28, 2021

Historic Preservation Division
Land Use Department
201 Lincoln Ave.
Santa Fe, NM 87501

Re: 119 Kearny Street

Dear HPD,

Please find attached our application to the Historic Styles Review Board for an addition to 119 Kearny Street. This house's status was reviewed in 2020 at which time the east, south and west facades were determined to be primary. No substantive changes are requested on any of the primary facades. We request removing the original window sash in order to refit the glass and refurbish the sash. The original sash will then be re-installed. We also request in Exception 3 the rebuilding of the front entry steps. We also request bringing the front steps up to code. Please see our request for Exception 3 below.

The existing footprint of the historic house is 879 sf. To this was added an enclosed porch of 146 sf and a deck of 272 sf. Thereby the existing footprint of the house is 1297 sf. The historic portion of the house is 2 story. The deck is to be removed. The addition is located behind the existing home. As the addition represents a greater than 50% increase in the size of the home based on the existing footprint we are requesting an exception to exceed the 50% limitation. The addition is set back from the original home and the new entry is via a 'plaza' between the original house and the addition. On the main upper entry level we propose an 835 sf addition. This addition will be mainly blocked from view by the historic home from the street. On the lower level we propose an addition of 1296 sf. This lower level addition will not be seen from the street.

Colors. The house will be cementitious El Rey Sahara stucco with the front portal being Sto Marble White. All existing and new windows and wood trim will be painted Benjamin Moore Blue Danube. Windows will be Hurd simulated divided lites. All new windows are metal clad and meet the required division with lites being less than 30" on the diagonal. The new corrugated metal roofing will be blue but is not visible from the street or any of the surrounding structures.

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010

Area Exception No. 1:

The structure is located on a narrow lot that slopes away from the street. The rear of the lot is not visible from the front of the lot. Staff has taken the position that the area calculation limitation found in the Historic Ordinance 14-5.2(D)(2)(d) is the “historic” footprint of the contributing structure, rather than existing foot print of the Section. The existing house footprint is 879 sf. On the main floor we are proposing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6” shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

The applicant disagrees with this interpretation, but has submitted this request for an exception because it is still justified notwithstanding the disagreement with Staff, as demonstrated below:

Criteria and Responses:

i. “Do not damage the character of the district”:

The home on the property is a “contributing” structure is located in the in the Downtown Eastside Historic District (the “Eastside District”). The elements that are important to this property being designated “contributing” is the manner in which this structure (and its Primary Façade) sit and contribute to the streetscape. The additions will not be visible and will have no effect on the character of the district, much less do any damage to the district or the streetscape.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the nature, size and slope of the lot. The hardship is created by these factors – the lot is small, it is narrow and it is sloped. These make additions and changes to the structure difficult under the Historic Ordinance. In order to allow the applicant to make reasonable use of this unique property, the exception will avoid the hardship created by the nature of the lot.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property. The existing house footprint is 879 sf. On the main floor we are pro-

posing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6" shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

Setback Exception No. 2: We are requesting an exception to build an entrance wall feature within 10 feet of the existing front and side (south and east) elevations. This is not enclosed space but will help signify the desire for arriving guests to not enter through the original front door. This preserves the front of the original structure.

The structure is located on a narrow lot that slopes away from the street. The rear of the lot is not visible from the front of the lot. Staff has taken the position that the area calculation limitation found in the Historic Ordinance 14-5.2(D)(2)(d) is the "historic" footprint of the contributing structure, rather than existing foot print of the Section. The applicant disagrees with this interpretation, but has submitted this request for an exception because it is still justified notwithstanding the disagreement with Staff, as demonstrated below:

Criteria and Responses:

i. "Do not damage the character of the district":

The wall proposed is closer than ten feet because of the existing configuration of the home, and there is no other place further away to accomplish the goal stated above with respect to designating an entrance for guests. The wall will not damage the district and will have no adverse effect on the manner in which the structure sits on the streetscape.

ii. "Are required to prevent a hardship to the applicant or an injury to the public welfare":

The hardship here is created by the existing configuration of the home. It is not possible to create an entrance in any other location.

iii. "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts".

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property.

Primary Façade Exception No. 3: We are requesting an exception to rework the front entry steps. At the moment they do not meet code and as such are unsafe for guests who may enter

through the original front door. The screen door cannot open without guest backing down the steps and potentially tripping. These steps are not original to the house.

Criteria and Responses:

i. “Do not damage the character of the district”:

The changes to the step will not alter the manner in which the Primary Façade fits in the streetscape and will not damage the character the district, because the character will remain unchanged.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the existing condition of the step – they do not meet current code requirements and are unsafe.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property.

Sincerely,

Craig Hoopes, AIA

SNEAD BUTLER RESIDENCE REMODEL

119 KEARNY RD
SANTA FE, NM, 87501

IN PROGRESS NOT FOR CONSTRUCTION

GENERAL NOTES

- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE DIMENSIONS SHOWN ON THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF CONFLICTS EXIST. DIMENSIONS ARE TO FACE OF STUD AND CONCRETE WALLS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MARKED AS 'F' OR 'VIF' SHALL BE VERIFIED IN THE FIELD.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES PRIOR TO THE BEGINNING OF CONSTRUCTION TO ENSURE THE PROPER AND EFFICIENT SEQUENCING AND EXECUTION OF THE WORK.
- ALL WORK, INCLUDING PLUMBING, ELECTRICAL AND MECHANICAL, SHALL COMPLY WITH ALL PERTINENT LOCAL AND NATIONAL CODES.
- PROTECT ALL ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING LOCATIONS OF STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL SYSTEMS, AND MISCELLANEOUS EQUIPMENT TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR MATERIALS AND ACTIVITIES SHALL NOT BLOCK ACCESS OR EGRESS FROM ANY BUILDING WHILE THE BUILDING IS OCCUPIED. THIS INCLUDES DEMOLITION WORK AND ALSO APPLIES TO NEIGHBORING BUILDINGS.
- ALL SUPPLEMENTAL DRAWINGS ISSUED BY THE ARCHITECT SHALL ALSO BECOME PART OF THE CONTRACT SET.
- ALL PLUMBING AND ELECTRICAL WORK TO BE CONCEALED, UNLESS OTHERWISE NOTED.

PROJECT OVERVIEW

SCOPE OF WORK:	PARTIALLY DEMOLISH INTERIOR OF EXISTING HOME. NEW WORK INCLUDES ADDITIONAL SQUARE FOOTAGE TO PREVIOUS FOOTPRINT AND INTERIOR RECONSTRUCTION, NEW WINDOWS AND DOORS THROUGHOUT WITH THE EXCEPTION OF CONTRIBUTING FACADES, BUILD NEW YARD WALLS, RECONSTRUCT RETAINING WALL ON EAST SIDE WITH STAIR ACCESS, STUCCO NEW ADDITION TO MATCH EXISTING STRUCTURE.
OWNER:	SNEAD, WILLIAM D & CHARLES P BUTLER 119 KEARNY RD, SANTA FE, NM 87501
REGULATORY AGENCY:	
JURISDICTION:	CITY OF SANTA FE
CONTACT INFORMATION:	SANTA FE LAND USE DEPARTMENT SANTA FE CITY HALL, 200 LINCOLN AVE, 1ST FLOOR, SANTA FE, NEW MEXICO 87501 MAIN PHONE: (505) 955-6585

SHEET INDEX

GENERAL		
A001	COVER SHEET	
SURVEY		
0001	TOPOGRAPHIC SURVEY	
ARCHITECTURAL SITE		
AS-101	ARCHITECTURAL SITE PLAN	
ARCHITECTURAL		
A-101	DEMO & PROPOSED PLANS - UPPER FLOOR	A-201 EXIST. & PROPOSED SOUTH EXT. ELEV'S.
A-102	DEMO & PROPOSED PLANS - LOWER FLOOR	A-202 EXIST. & PROPOSED EAST EXT. ELEV'S.
		A-203 EXIST. & PROPOSED NORTH EXT. ELEV'S.
		A-204 EXIST. & PROPOSED WEST EXT. ELEV'S.

CODE SUMMARY

APPLICABLE CODES	
BUILDING CODE	2015 RESIDENTIAL BUILDING CODE (2015 IRC)
MECHANICAL CODE	2015 NEW MEXICO MECHANICAL CODE
ELECTRICAL CODE	2017 NEW MEXICO ELECTRICAL CODE
ENERGY CODE	2018 NEW MEXICO ENERGY CONSERVATION CODE
OTHER	2015 INTERNATIONAL FIRE CODE NEW MEXICO NIGHT SKY PROTECTION ACT

CITY LAND USE SUMMARY:

ZONING CLASSIFICATION:	R21
HEIGHT LIMIT REQUIRED PER ZONING =	24 FT. (ACTUAL HT. = 20'-10")
HEIGHT LIMIT PER HISTORICAL REVIEW =	3'-2" LESS THAN HIGHEST. (ACTUAL HT. = 20'-10")

SETBACKS PER ZONING:	5 FT. IN EACH SIDE 7 FT. FRONT, 15 FT. REAR
-----------------------------	---

LOT AREA: .134 ACRES (5838.95 SQ.FT.)

GREEN CODE; REMODEL CATEGORY ONLY CHAPTER 11 CHECKLIST REQUIRED

BUILDING CODE SUMMARY:

OCCUPANCY GROUP	SINGLE FAMILY HOME
CONSTRUCTION TYPE	V-B
NUMBER OF STORIES	2
FIRE PROTECTION	SPRINKLERS NOT REQUIRED

REFERENCE SYMBOLS

	WALL SECTION
	BUILDING SECTION
	EXTERIOR ELEVATION
	DOOR TAG
	WINDOW TAG
	INTERIOR ELEVATION
	ROOM NAME
	DESCRIPTION ELEV
	REVISION TAG
	DETAIL TAG

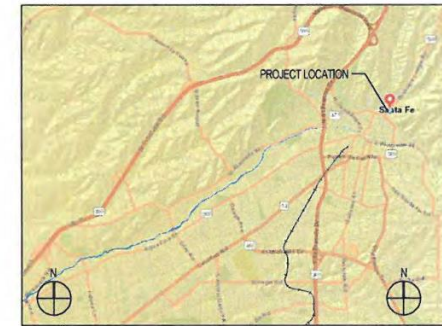
ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
T.O.S.	TOP OF SLAB
T.O.B.	TOP OF BEARING
T.O.P.	TOP OF PARAPET
T.O.R.	TOP OF FINISH ROOF
U.N.O	UNLESS OTHERWISE NOTED
TYP.	TYPICAL
R.O.	ROUGH OPENING

ARCH. SYMBOLS

	EARTH
	COMPACTED SOIL
	GRAVEL
	CMU
	RIGID FOAM INSUL.
	BATT INSULATION
	SPRAY FOAM INSUL.

VICINITY MAP



LOCATION MAP



**SNEAD-BUTLER
RESIDENCE
REMODEL**
PROJ # 2025
119 KEARNY RD
SANTA FE, NM 87501
ISSUE DATE: 09.01.2024

H-BD APPROVAL SET
COVER SHEET

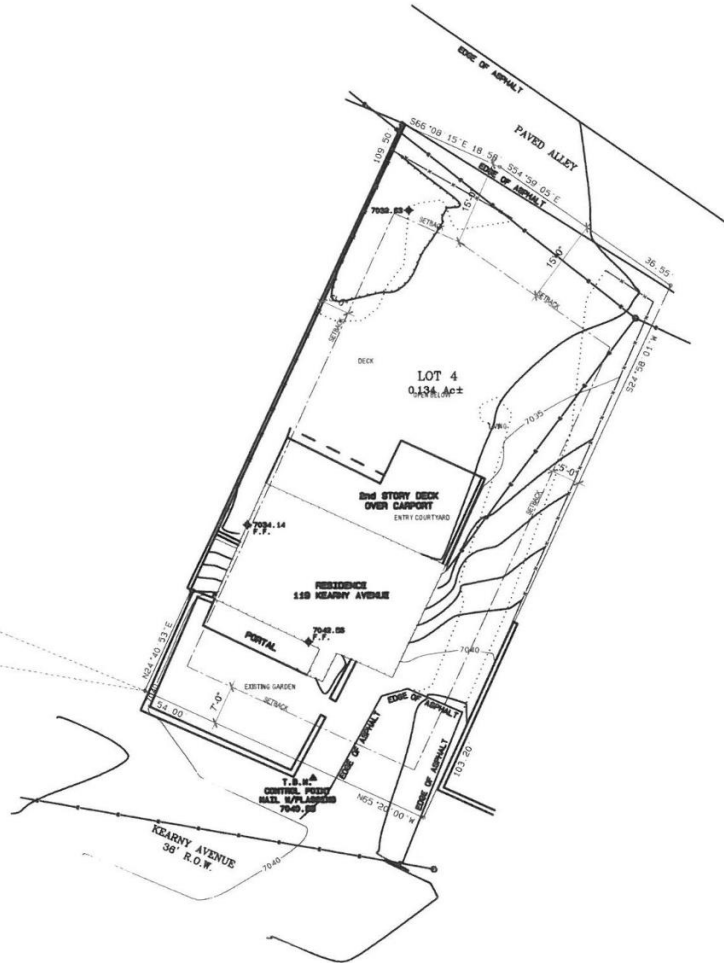
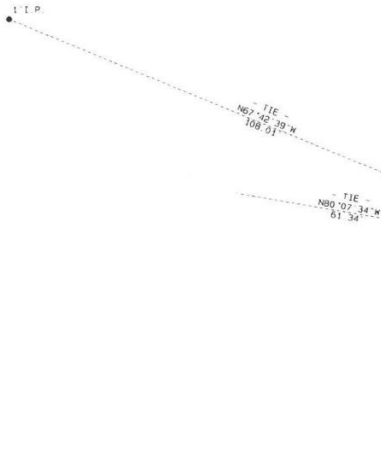
A-000

TOPOGRAPHIC SURVEY OF LOT 4, KEARNY ADDITION

LYING AND BEING SITUATE WITHIN PROJECTED SECTION 24, T. 17 N., R. 9 E., N.M.P.M.,
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO

NOTES:

1. THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN HEREON ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINE. PLEASE REFER TO THE PLAT IN NOTE 2 FOR BOUNDARY INFORMATION.
2. BASIS OF BEARING IS TAKEN DIRECTLY FROM PLAT ENTITLED "PLAT OF BOUNDARY SURVEY FOR RALPH WILLIAM HUBER" PREPARED BY PHILIP B. NIESEL, N.M.P.L.S. NO. 8798, RECORDED IN BOOK 394, PAGE 6 ON AUGUST 31, 1998 AT THE SANTA FE COUNTY CLERK'S OFFICE.
3. LANDS SHOWN HEREON LIE WITHIN ZONE "K" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP 35049C0409E, DATED DECEMBER 4, 2012.
4. ELEVATIONS ARE BASED ON AUTONOMOUS GPS OBSERVATIONS OF MEAN SEA LEVEL, AND ARE RELATIVE TO A BENCH MARK (TBM) AS SHOWN HEREON.
5. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR SURVEYING FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=10' WITH A CONTOUR INTERVAL OF ONE FOOT.



Graphic Scale 1" = 10'
0 5 10 20 30

LEGEND:

- FOUND MONUMENT AS NOTED
- CALCULATED POINT, NOT SET
- TELEPHONE JUNCTION BOX
- WATER METER
- GAS METER
- CABLE TV
- SANITARY SEWER MANHOLE
- METAL POST
- UTILITY POLE WITH ELECTRIC LINE
- COYOTE FENCE
- CHAIN LINK FENCE
- MALL
- EDGE OF GRAVEL DRIVEWAY
- CURB AND GUTTER

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE TOPOGRAPHY AS SHOWN HEREON IS AN ACCURATE REPRESENTATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY SUPERVISION ON USUAL BUSINESS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR PROFESSIONAL LAND SURVEYING PRACTICES IN THE STATE OF NEW MEXICO AND NATIONAL MAP ACCURACY STANDARDS.

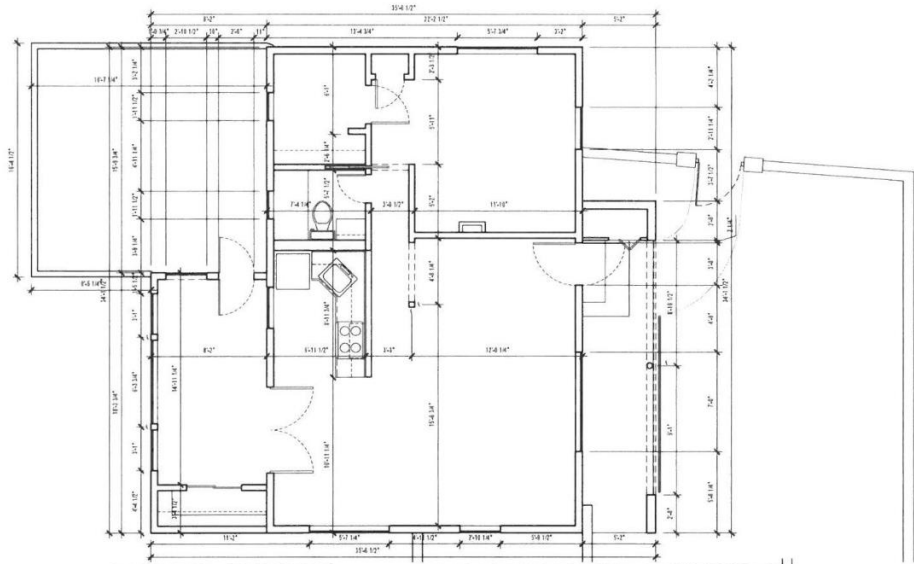


PHILIP B. NIESEL N.M.P.L.S. NO. 8798

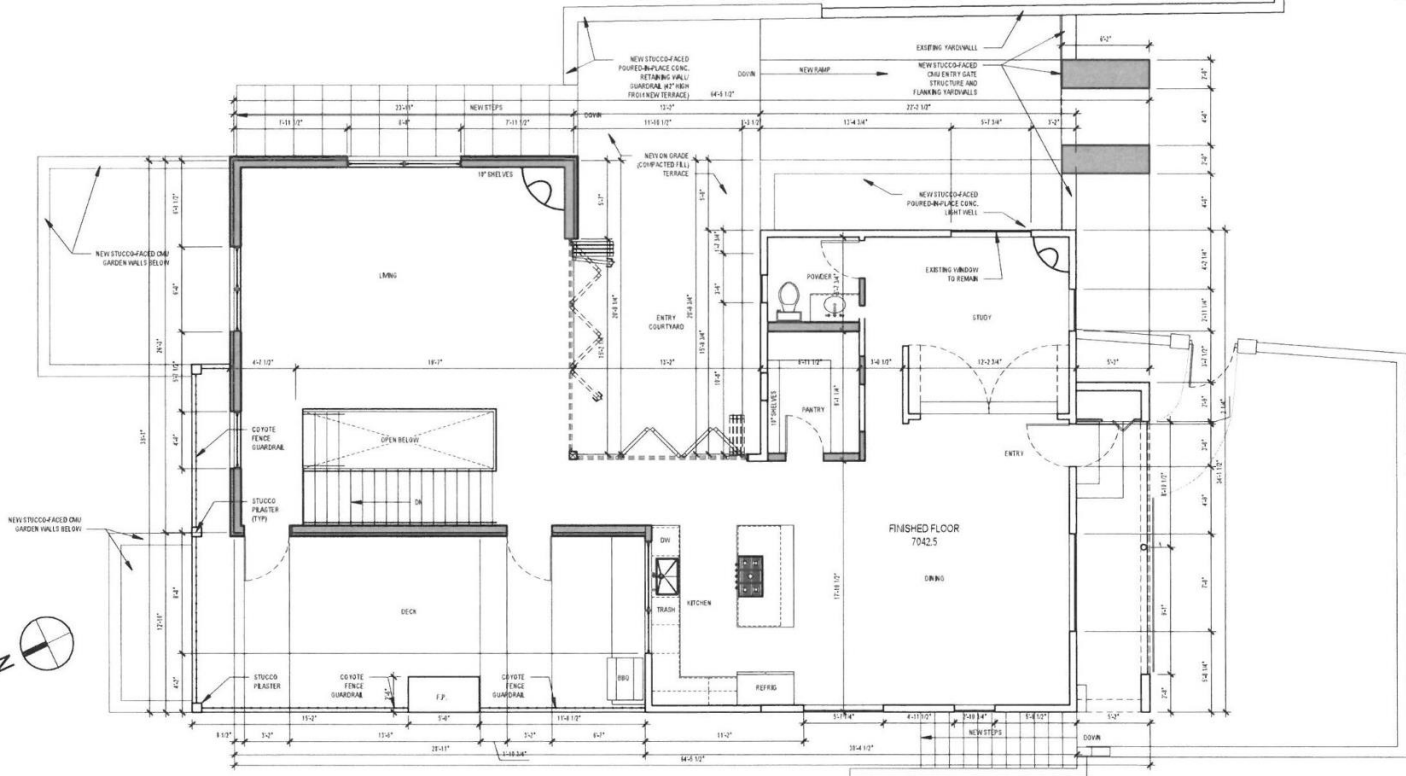
SOUTHWEST MOUNTAIN SURVEYS

1114 HICKOX ST., SANTA FE, N.M. 87501
 (505) 982-9429 FAX (505) 986-3413
 DATE: 3/23/21 DRAWN BY: DKR PROJECT NO: C-3152

02 EXISTING UPPER PLAN
scale: 1/4" = 1'-0"



01 PROPOSED UPPER PLAN
scale: 1/4" = 1'-0"



IN PROGRESS NOT FOR CONSTRUCTION

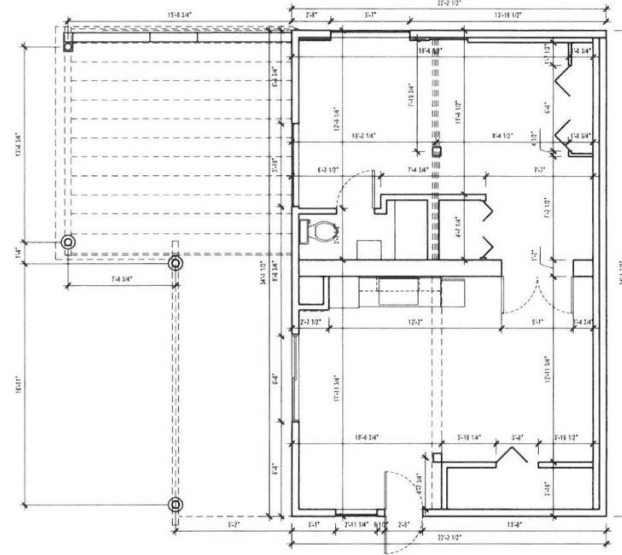


**SNEAD-BUTLER
RESIDENCE
REMODEL**
PROJ 2025
19 HEATHY RD
SANTA FE, NM 87501
ISSUE DATE: 09.01.2021

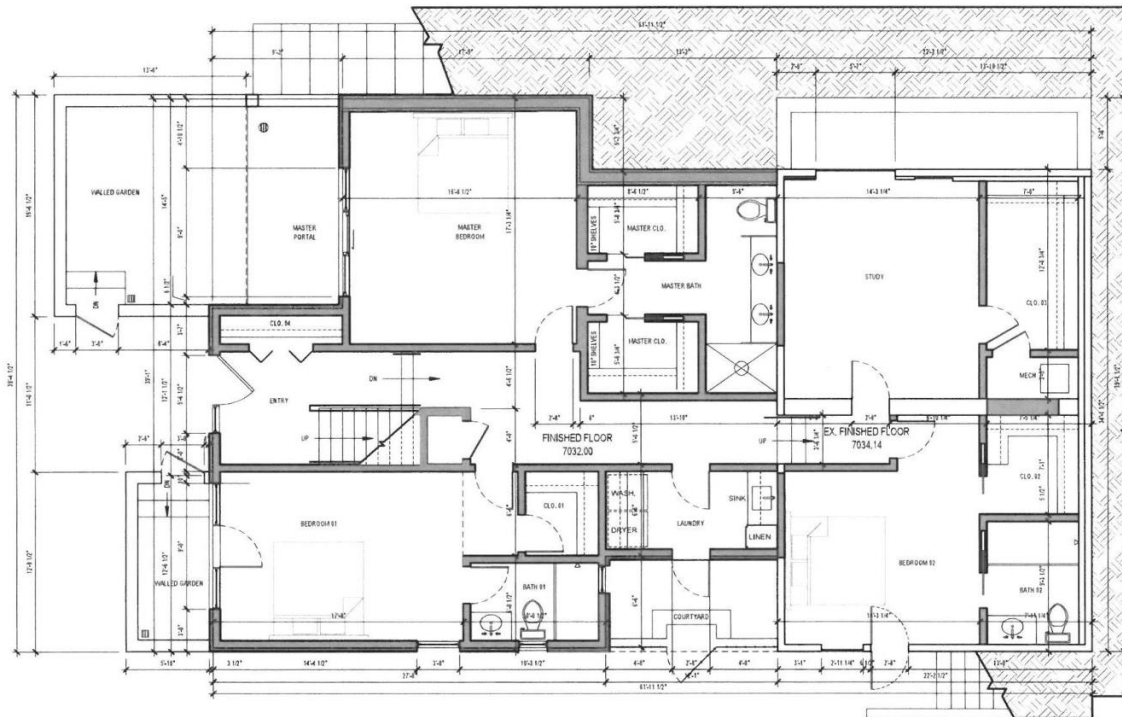
H-BD APPROVAL SET
EXISTING / DEMO
UPPER FLOOR PLAN

A-101

02 EXISTING LOWER PLAN
scale: 1/4" = 1'-0"



01 PROPOSED LOWER PLAN
scale: 1/4" = 1'-0"



IN PROGRESS NOT FOR CONSTRUCTION

H+A

HOSPES + ASSOCIATES ARCHITECTS
333 NORTH FLORIDA BLVD., SUITE 200
SANTA FE, NM 87501
P: 505.833.9252
W: www.hospesarchitects.com

**SNEAD-BUTLER
RESIDENCE
REMODEL**
PROJ# 2015

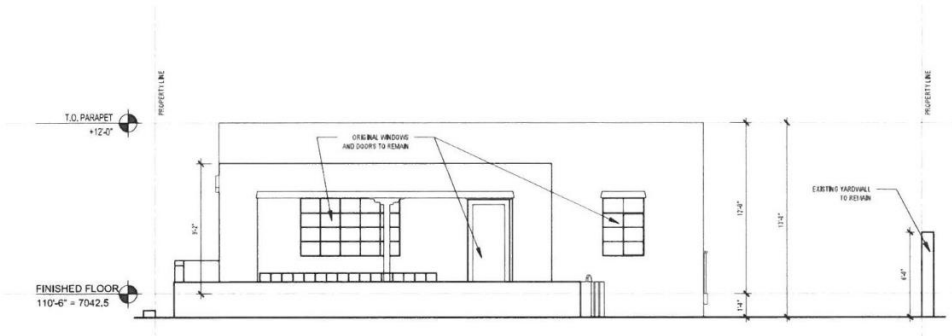
150 NE JARVIS RD.
SANTA FE, NM 87501

ISSUE DATE: 09.01.2021

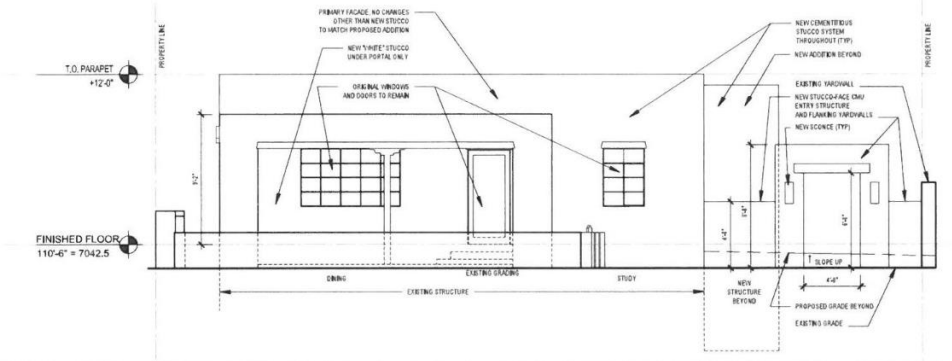
H-BD APPROVAL SET

EXISTING / DEMO
LOWER FLOOR PLAN

A-102



02 EXISTING SOUTH ELEVATION
 scale: 1/4" = 1'-0"



01 PROPOSED SOUTH ELEVATION
 scale: 1/4" = 1'-0"

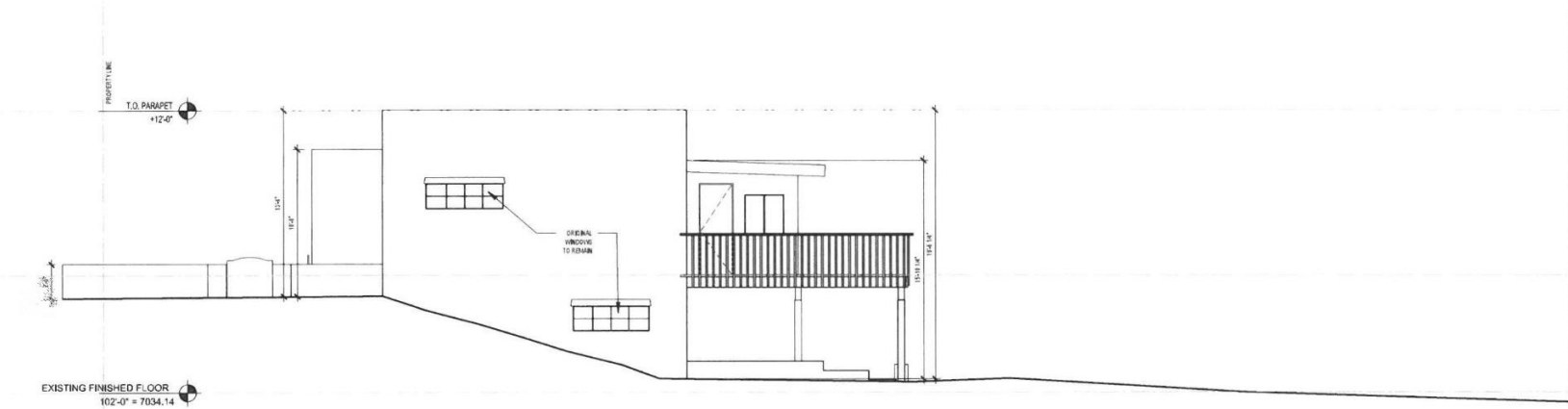


H+A
 HOSPES - ASSOCIATES ARCHITECTS
 115 HOLLYWOOD BLVD. SUITE 200
 SANTA FE, NM 87501
 P: 505.833.1812
 W: www.hospesarchitects.com

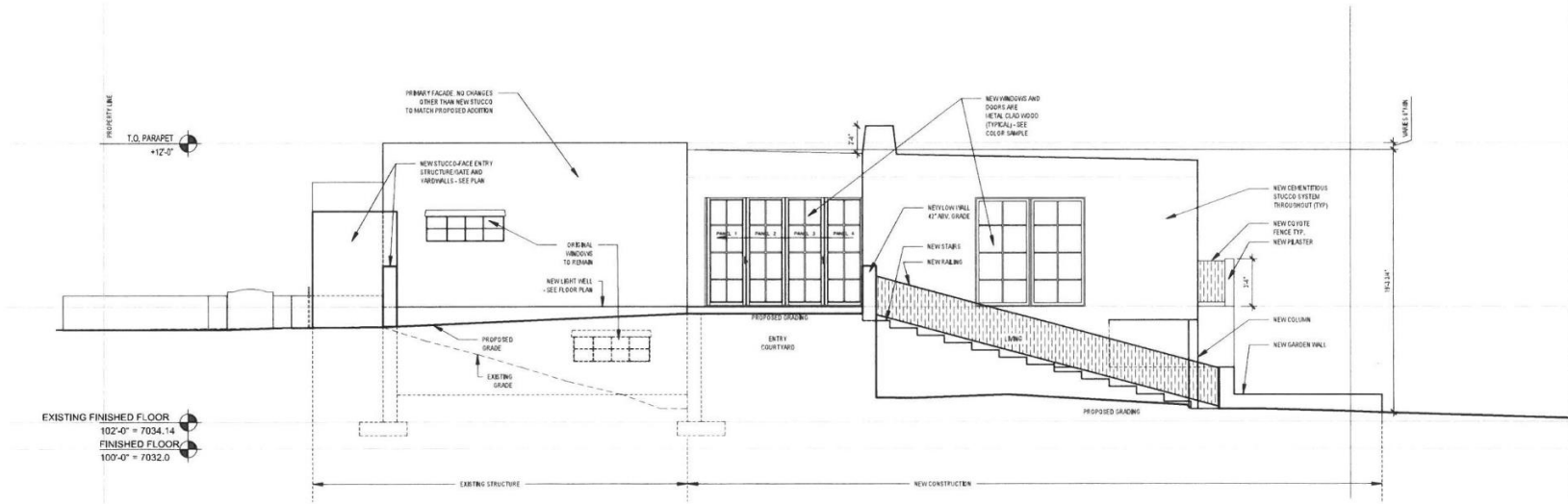
**SNEAD-BUTLER
 RESIDENCE
 REMODEL**
 PROJ # 2015
 15 HEARNY RD.
 SANTA FE, NM 87501
 ISSUE DATE: 09.01.2021

H-BD APPROVAL SET
 EXIST AND PROPOSED
 EXTERIOR ELEVATIONS

A-201



02 EXISTING EAST ELEVATION
scale: 1/4" = 1'-0"



01 PROPOSED EAST ELEVATION
scale: 1/4" = 1'-0"



H+A

HOOPIES + ASSOCIATES ARCHITECTS
222 HIGHFIELD AVENUE, SUITE 200
SANTA FE, NM 87507
P: 505.466.1012
W: www.hoopiesarchitects.com

**SNEAD-BUTLER
RESIDENCE
REMODEL**
PROJ # 2015

110 HAZARD RD
SANTA FE, NM 87501
ISSUE DATE: 09.03.2021

H-8D APPROVAL SET

EXIST AND PROPOSED
EXTERIOR ELEVATIONS

A-202



02 EXISTING NORTH ELEVATION
 scale: 1/4" = 1'-0"



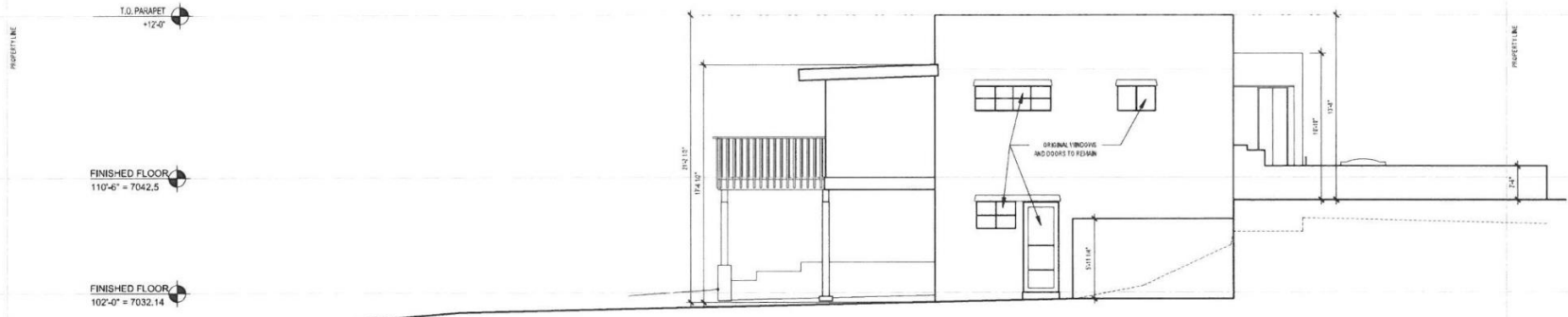
01 PROPOSED NORTH ELEVATION
 scale: 1/4" = 1'-0"

H+A
 HOOPES + ASSOCIATES ARCHITECTS
 133 NEWPORT SQUARE SUITE 200
 SANCTA FE, CA 95050
 P: 925.754.1970
 W: www.hoopesarcs.com

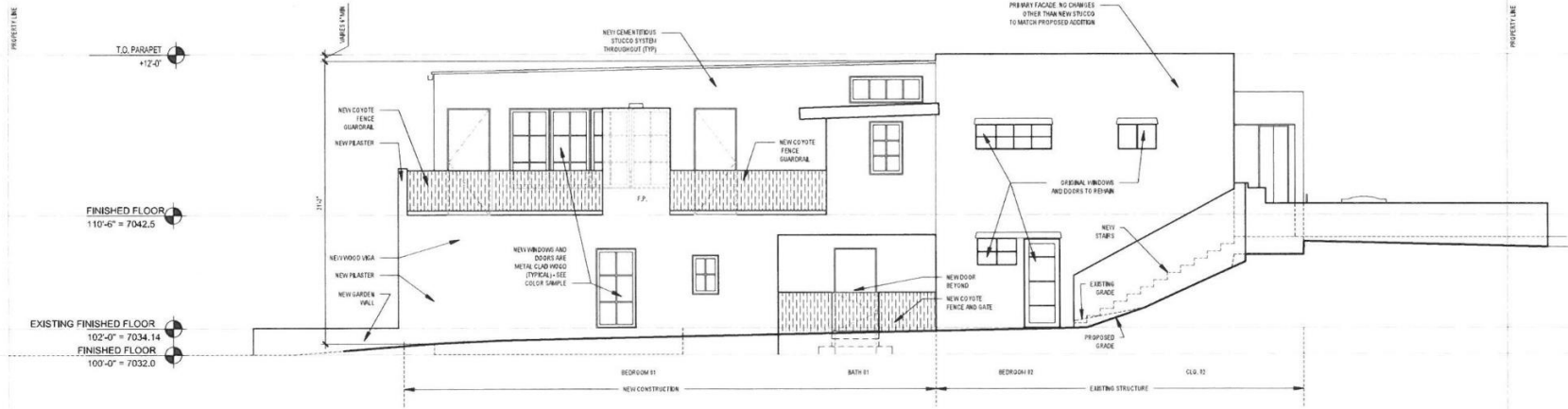
**SNEAD-BUTLER
 RESIDENCE
 REMODEL**
 PROJ # 2016
 159 KEARNEY RD
 SAN RAFAEL, CA 94901
 ISSUE DATE: 09.01.2021

H-BD APPROVAL SET
 EXIST AND PROPOSED
 EXTERIOR ELEVATIONS

A-203



02 EXISTING WEST ELEVATION
 scale: 1/4" = 1'-0"
 0 1 2 4 8 16



01 PROPOSED WEST ELEVATION
 scale: 1/4" = 1'-0"
 0 1 2 4 8 16

H+A
 HOOPES + ASSOCIATES ARCHITECTS
 133 HUNTER FARM AVE. SUITE 200
 SALEM, VT. 05475
 P: 802.246.8100
 W: www.hoopesarchitects.com

**SNEAD-BUTLER
 RESIDENCE
 REMODEL**
 PROJ. 2015
 178 KEARNEY RD.
 SALEM, VT. 05475
 ISSUE DATE: 09.21.2011

H-BD APPROVAL SET
 EXIST AND PROPOSED
 EXTERIOR ELEVATIONS

A-204



South and East Elevations
119 Kearny Road



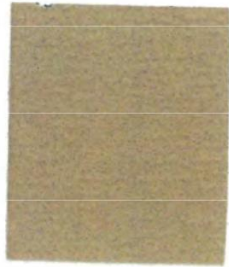
North Elevation
119 Kearny Road



West Elevation
119 Kearny Road



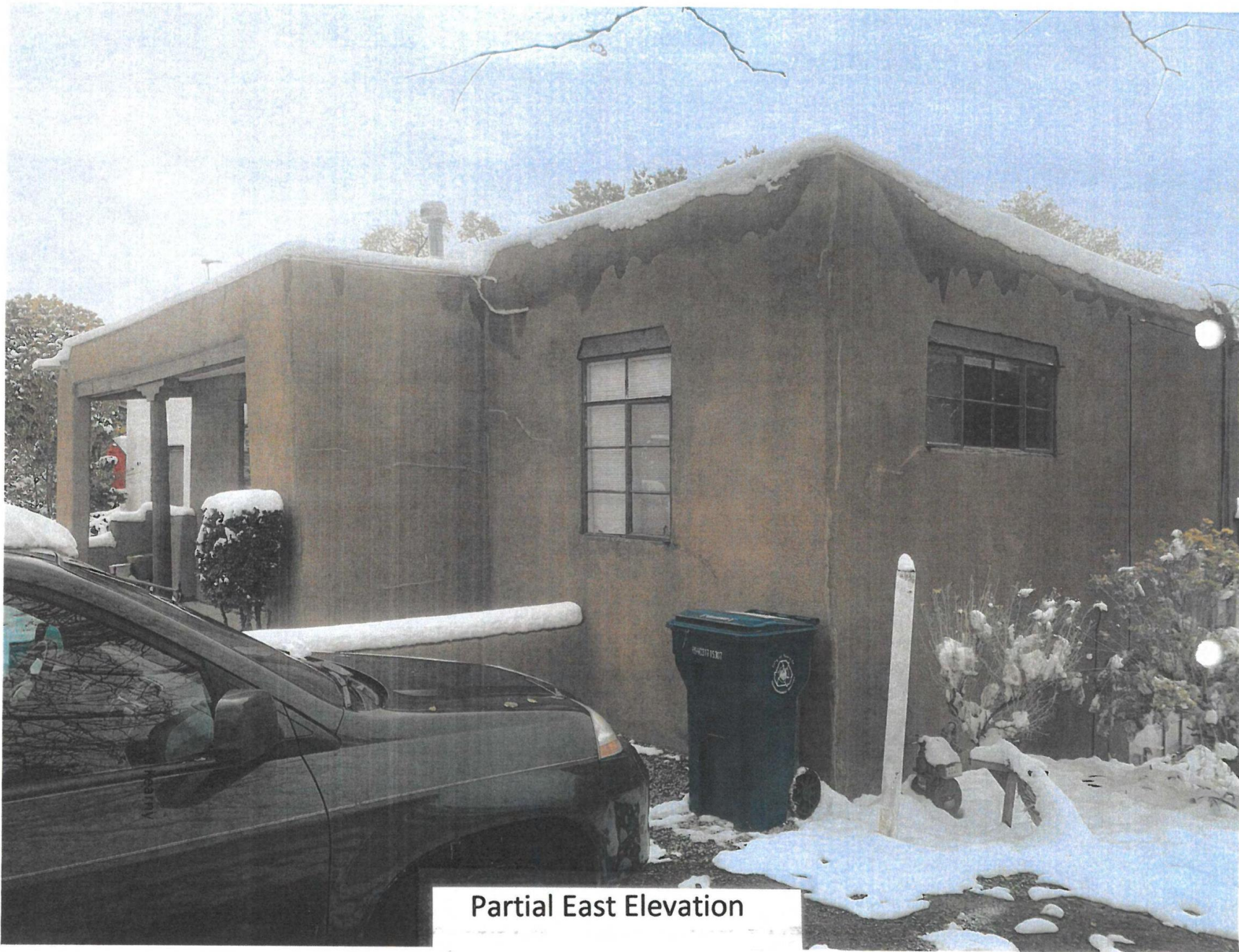
Front Steps
119 Kearny Road



135 SAHARA



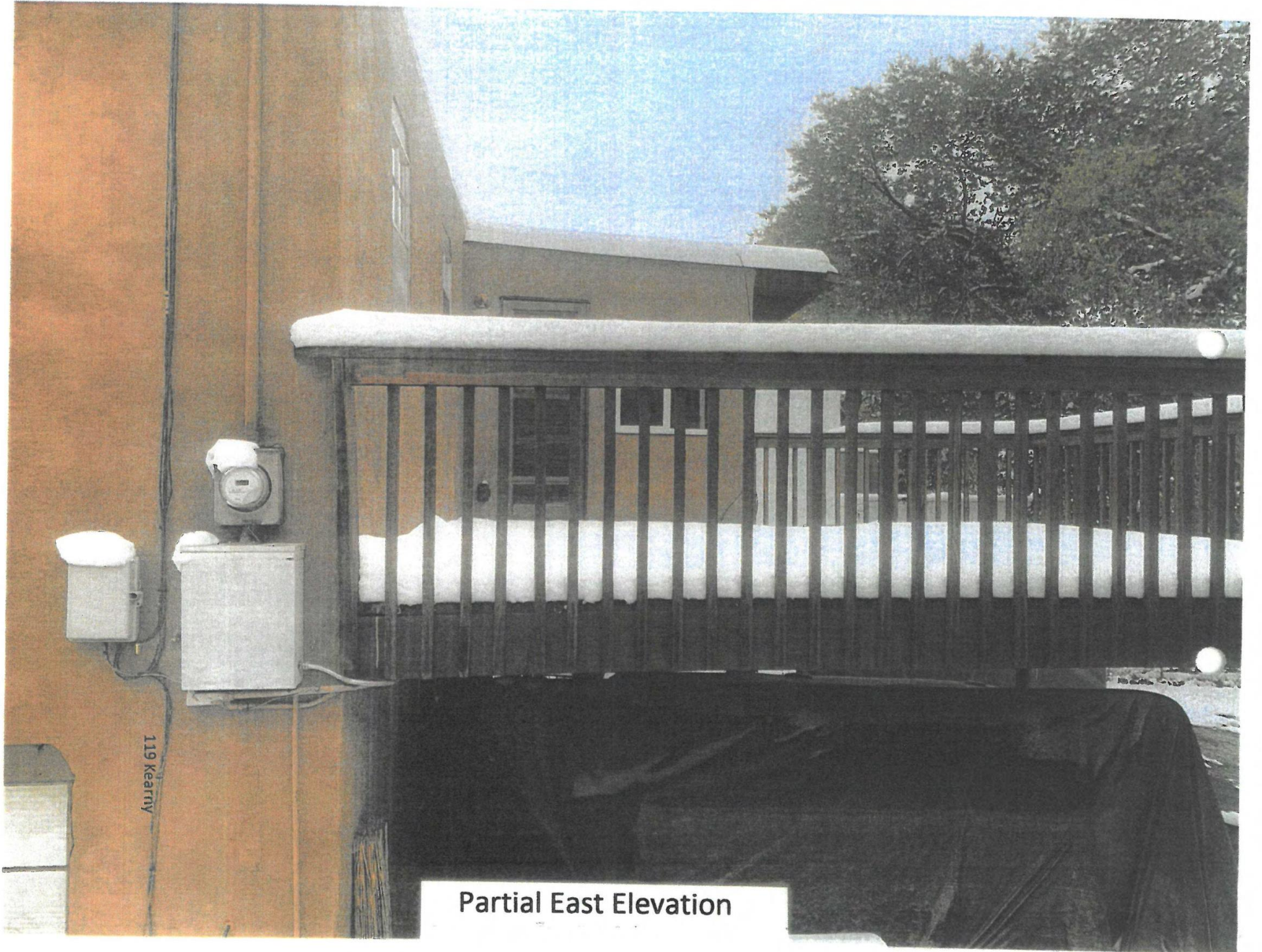
blue danube

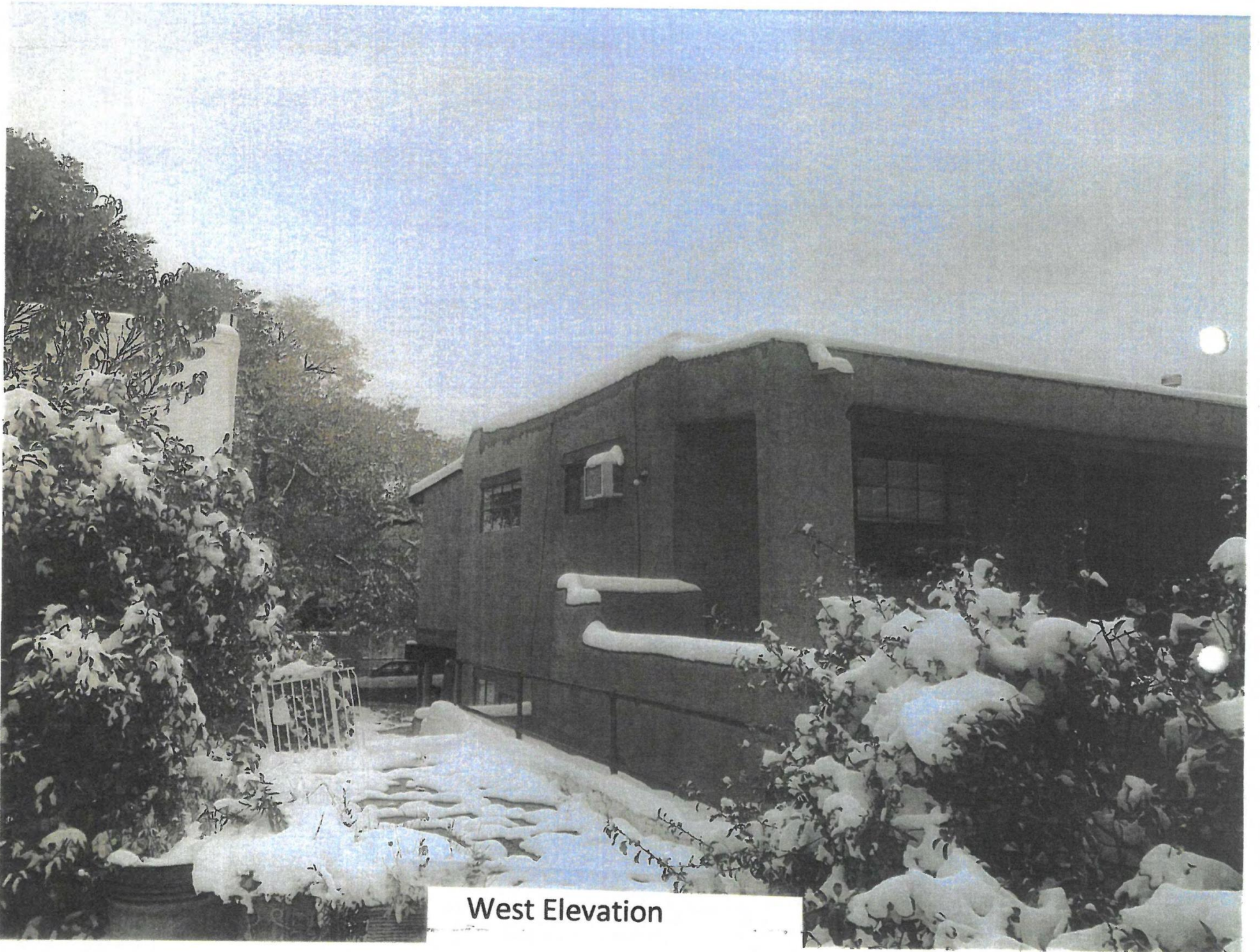


Partial East Elevation

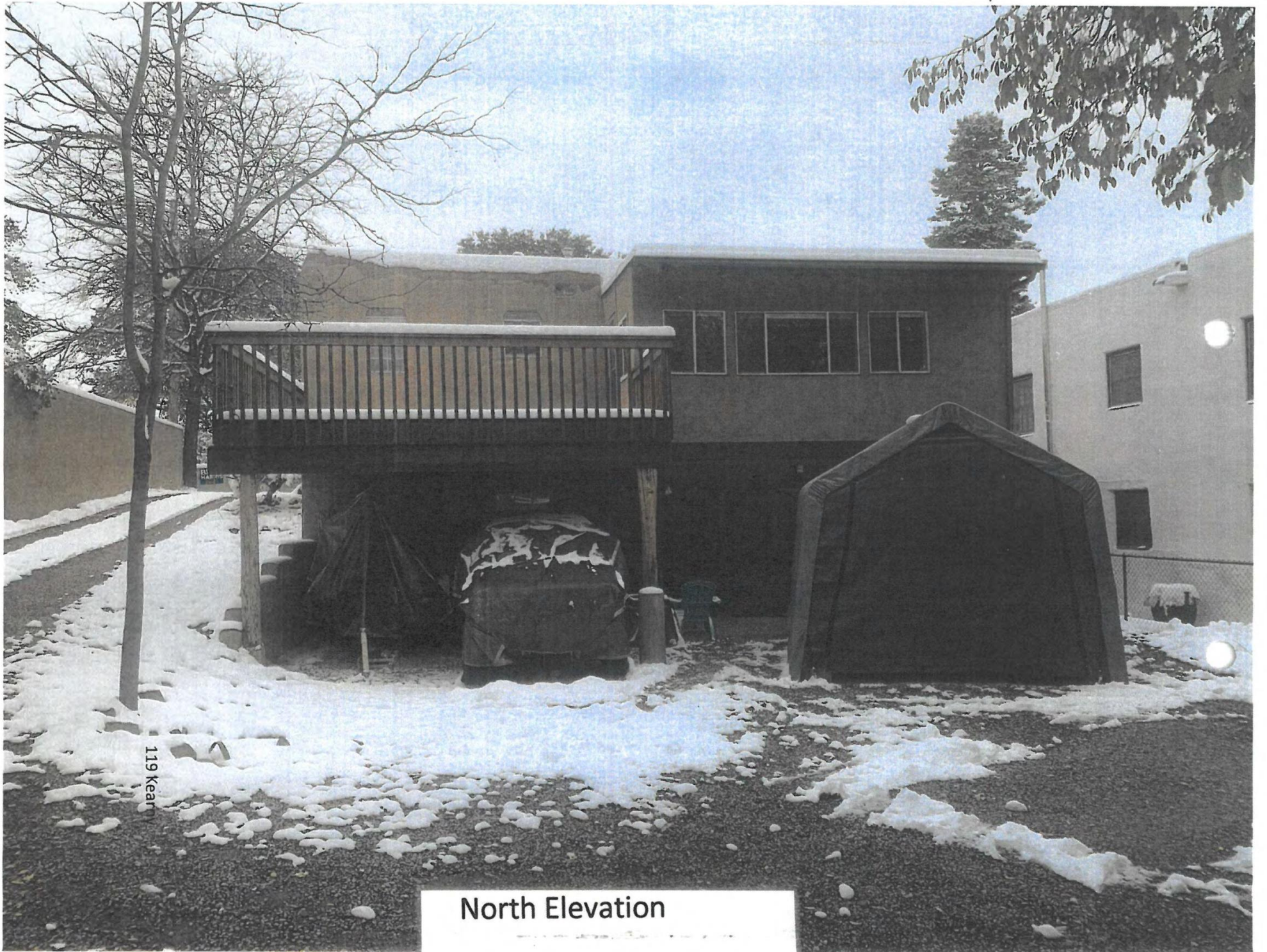
119 Kearny

Partial East Elevation





West Elevation



119 Kear

North Elevation

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**September 10, 2024
2024-008937-HDRB
Applicant Submittal
Remodel
119 Kearny Road**



August 8, 2024

Ms Lani McCulley
Historic Preservation Division
Land Use Department
201 Lincoln Ave.
Santa Fe, NM 87501

Re: 119 Kearny

Dear Ms. McCulley and HDRB Members,

Please accept this submittal as an apology for work that was done without the Board's approval. I take that responsibility on myself. It was not the work of the owner nor the contractor. I told them earlier on that we would need to go back to the HDRB but I let it slip.

On the West side of the original house there were originally two matching steel frame windows. At the time of our original application there was only one left; the other had been removed to install an air-conditioner. A sliding aluminum frame window half the size of the opening was installed by the previous owners. When we opened up the wall to re-plaster the inside of the house, we found that the lintel was still in place for the larger window and we had a steel sash window made to match the original window in that wall.

Likewise with the two doors in the primary facades (west and south). We replaced them with units that felt similar to the original. These replaced doors were not historic, reference the pictures. Other work was done that was not in accordance with the original approved plans:

Addition roof: The original house parapet was lower than original measured. We lowered the roof on the addition to maintain the required 6" differential between the historic home and the addition.

East façade:

- Planned exterior stair at addition not built for budget reasons.

North façade:

- Pilasters added to coyote fence railing.
- Coyote fence added to north side of east portal.

West façade:

- Pilasters added to coyote fence railing.
- Gutter and downspout added at north side of portal.
- True divided lites added to shown glass doors shown undivided.



Courtyard:

- Doors accidentally not ordered with divided lites. Please note that these doors are not visible from any public way.

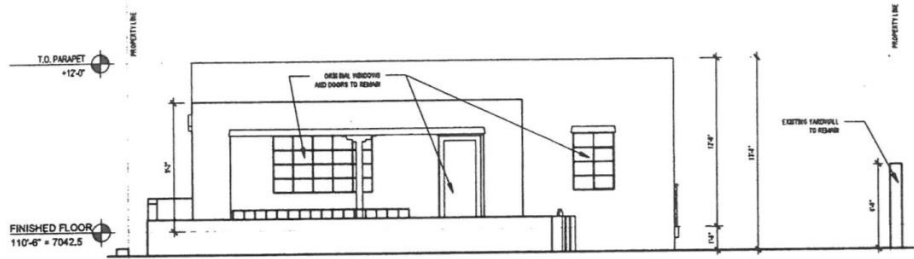
Again, my sincere apologies for this work that went forward without first coming to the HDRB.

Sincerely,

A handwritten signature in blue ink that reads 'Craig Hoopes'.

Craig Hoopes, AIA

Original

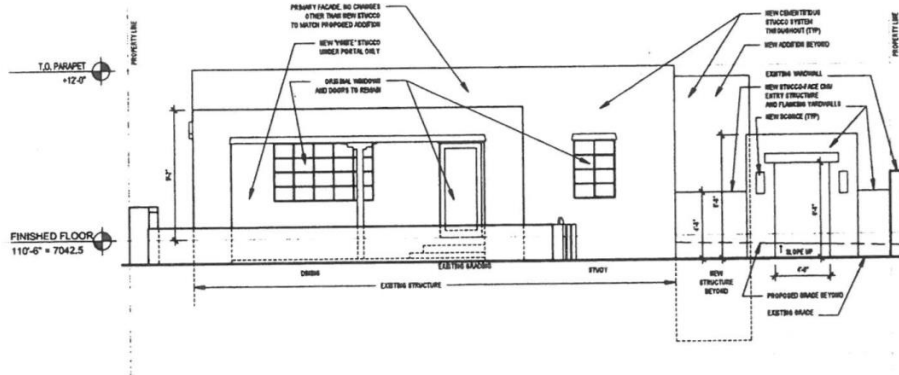


02 EXISTING SOUTH ELEVATION

scale: 1/4" = 1'-0"



As approved

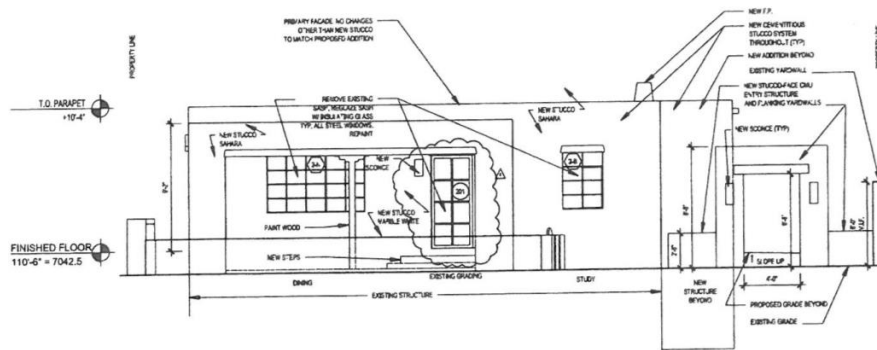


01 PROPOSED SOUTH ELEVATION

scale: 1/4" = 1'-0"



As built



02 PROPOSED SOUTH ELEVATION

scale: 1/4" = 1'-0"



Original



02 EXISTING NORTH ELEVATION

scale: 1/4" = 1'-0"



As approved



01 PROPOSED NORTH ELEVATION

scale: 1/4" = 1'-0"



As built



02 PROPOSED NORTH ELEVATION

scale: 1/4" = 1'-0"





DOOR BEARDS



DOOR AFTER



~~WINDOW~~ West Elevation
~~BEAMS~~ 119 Kearny Road

WINDOW BEFORE



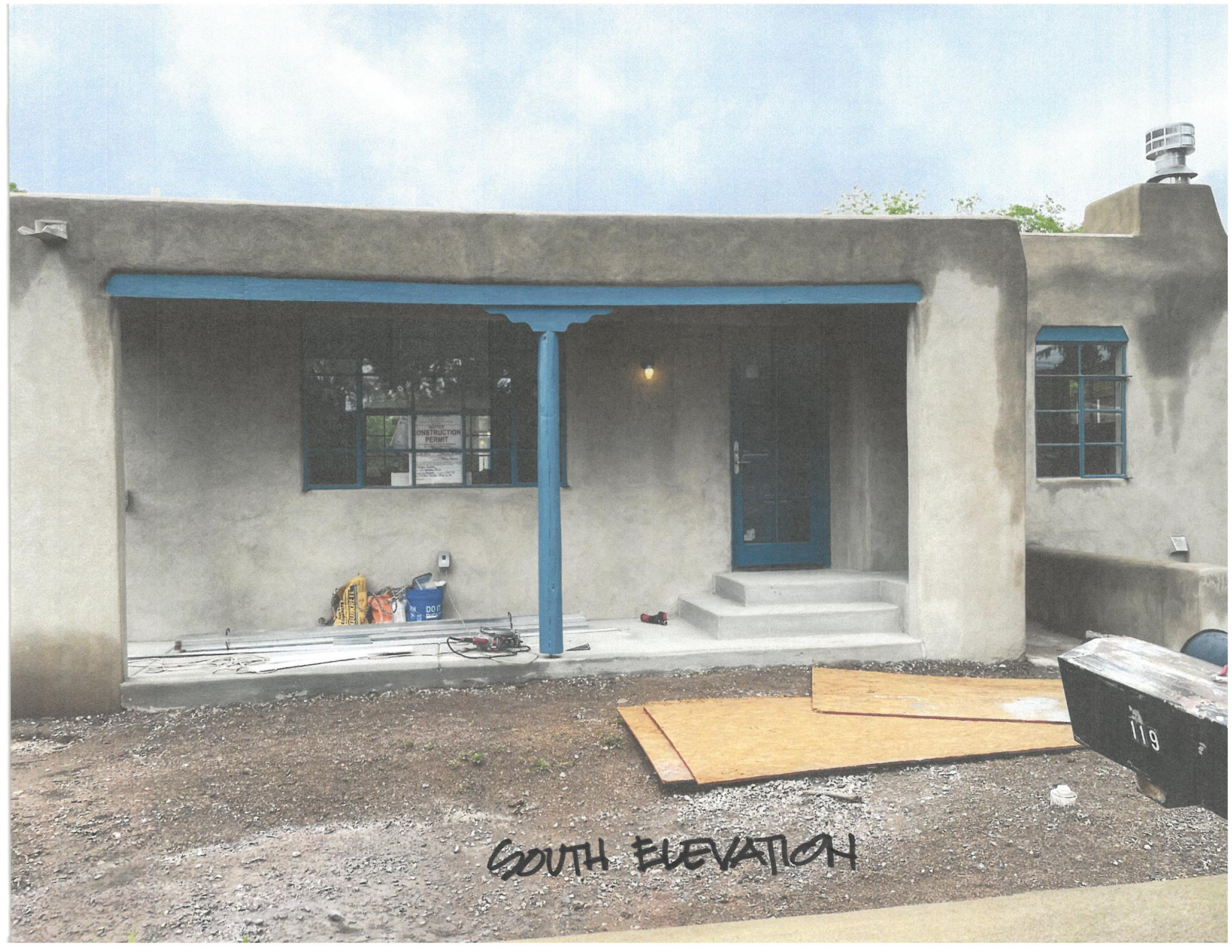


WINDOW AFTER



ORIGINAL

South and East Elevations
119 Kearny Road



SOUTH ELEVATION



ENTRANCE TO COURTYARD



ORIGINAL

West Elevation
119 Kearny Road



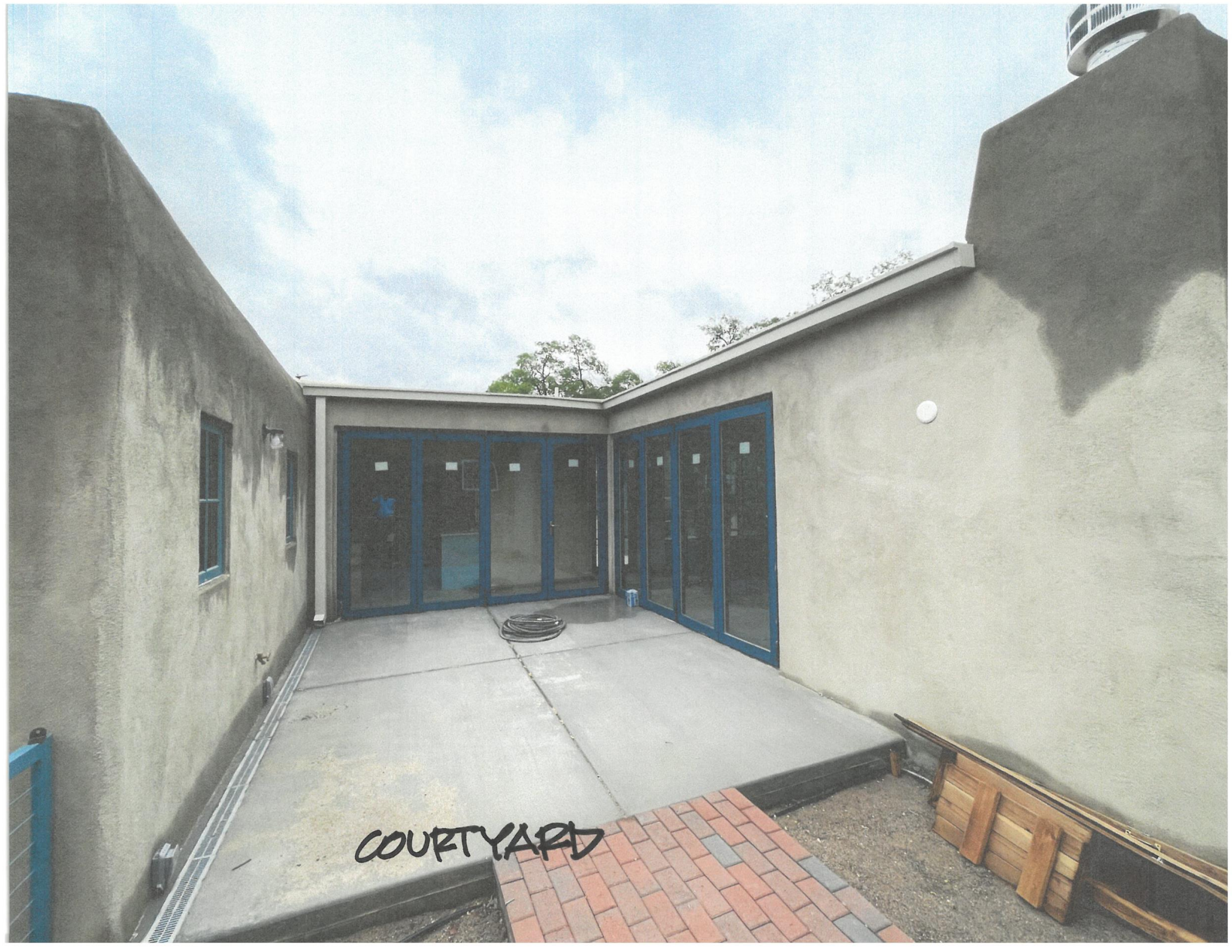
WEST ELEVATION



North Elevation
119 Kearny Road



NORTH ELEVATION



COURTYARD



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008990--HDRB

Project Description: 2024-008990-HDRB, 1160 Camino de Cruz Blanca. Historic Review Historic District, contributing, Surroundings Studio, agent for St. John's College, owner, proposes to install green wind mesh around the ball courts to a height of 8'-0" where the fencing is 10'-0" high. An exception is requested to 14-5.2(F)(2)(g) for fencing constructed of prohibited materials.

Project Location(s): 1160 CAMINO DE CRUZ BLANCA
Santa Fe, NM 87505

Contacts:

Property Owner: Abby Feldman
1611 Paseo de Peralta
Santa Fe, NM 87505

abby@surroundings.studio

Property Owner: Russell Kennedy

rkennedy@ameresco.com

Historic District: HD: Historic Review

Historic Building Status:

Non-Statused:

Non-Contributing:

Contributing:

Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North:

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 10, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008990-HDRB, 1160 Camino de Cruz Blanca. Historic Review Historic District, contributing, Surroundings Studio, agent for St. John’s College, owner, proposes to install green wind mesh around the ball courts to a height of 8’-0” where the fencing is 10’-0” high. An exception is requested to 14-5.2(F)(2)(g) for fencing constructed of prohibited materials.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: fence height calculation, comparisons of screens

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met and that a less opaque option would be more appropriate. Therefore, staff recommends denial of the application as it does not comply with 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(F) Historic Review Design Standards.

BACKGROUND & SUMMARY:

St. John’s College is located at 1160 Camino de Cruz Blanca within the Historic Review District. The buildings within the campus were stasured in 2017 with a combination of significant, contributing, and non-contributing statuses. This project comes before the Board for approval due

to the material used which requires an exception. The ball court locations were approved by the Planning Commission as part of the 2008 Development Plan for the college. The chain-link fences were approved as part of this Development Plan. The chain-link fences at the athletic fields were approved by the HDRB under case H-13-041 in 2013. Case 2023-006684-ADMIN included the replacement of the courts and the chain link fences that surrounds them.

The applicant proposes the following exterior alterations:

- 1) Install a windscreen at the publicly visible tennis and pickleball courts with an opacity of 80% in a green color. The screen will be installed on a 12'-0" tall green rubber coated chain link fence, at 2'-0" from the ground and will be 8'-0" in height which places the top of the screen at 10'-0" off the ground. The windscreen mesh is constructed of vinyl coated mesh. An exception is requested to install a fence constructed of prohibited materials.

Staff finds that while a wind screen is appropriate for the ball courts, a more transparent option would be less intrusive to the historic district.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(F)(2)(g): The applicant requests an exception to install fence/screening constructed of prohibited materials.

(i) Do not damage the character of the district

Applicant Response: A green windscreen will not damage the character of the district because it is a natural color with a level of transparency that blends with the surrounding turf fields and vegetation and will wrap sports courts that otherwise have very brightly colored paving.

Staff Response: Staff disagrees with this assessment. The green windscreen is a lower opacity than the previous screen, but it is not as open as it could be. A screen with greater transparency would have a lower visual impact and would read more as an open fence.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: A green windscreen will help players be able to enjoy the courts during windy days, allowing the public to increase its health during a larger variety of weather conditions.

Staff Response: Staff agrees with this assessment. Windscreens are standard on these types of ball courts in order to make game play an all-season event. However, a less opaque screen does not prevent users of the courts from enjoying them on windy days and greater opacity in the screening material would be of benefit to the historic district. A less opaque would be visually less intrusive.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: A green windscreen will strengthen the unique character of the City by providing residents with the ability to play tennis and pickleball on windy days, making residing in the Historic District community more desirable.

Staff Response: Staff agree with this assessment. The applicant has chosen a green color which will blend with the foliage around the courts and the screening will help with year-round game play.

RELEVANT CODE CITATIONS:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the *city* and to ensure the harmonious, orderly and efficient growth and *development* of the *city*, it is deemed essential by the *governing body* that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve *property* values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and *preservation* of historical areas and *buildings*;
- (b) The continued construction of *buildings* in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between *buildings* of historic design and those of more modern design.

(F) Historic Review District

(1) Applicability

- (a) The division shall review and approve or deny all *applications* for new construction, exterior alteration, and demolition of *structures* in the historic review district in accordance with the standards set forth in this section.
- (b) The historic districts review board shall review and approve or deny new construction of commercial, *residential* multi-unit, public *structures*, and those *structures* requiring the Board's review as specified in Subsection 14-5.2(D)(9)(a). Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review.

(2) District Standards

- (a) The following structural standards shall be complied with whenever exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:
 - (i) Slump block, stucco, or stone shall be used as exterior *wall* materials. Wood and other materials may be used for details. Aluminum siding, metal panels,

mirrored glass, and unstuccoed masonry *units* or unstuccoed cement shall not be used as exterior *wall* materials; and

- (ii) The color of stuccoed *buildings* shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and *portals* may be emphasized by the use of white or other colors or materials. Painting of *buildings* with bold repetitive patterns, or using *buildings* as signs is prohibited.
- (b) It is intended that *buildings* be designed to be " *wall* dominated". "Wall dominated" means that the *building's* geometry is more defined by *walls* than by roofs. *Buildings* with flat, gabled, shed, and *hipped roofs* can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and *hipped roofs* are only allowed if sufficient evidence is provided by the *applicant* showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related *streetscape*, as viewed when standing in the public *street* in front of the site. The height of the roof above the *wall* shall be no greater than the height of the *walls*. Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing *walls* for trombe *walls* or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened as follows:
 - (i) Raising the parapet;
 - (ii) Setting back from the edge of the roof;
 - (iii) Framing the collector with wood;
 - (iv) In pitched roofs, by integrating the collector into the pitch;
 - (v) In ground solar collectors by a *wall* or vegetation;
 - (vi) In *wall* collectors or *greenhouses*, by enclosing by end or other *walls*;
 - (vii) Other means that screen the collector or integrate it into the overall *structure*.
Non-glare materials shall be used in solar collectors.
- (d) Roof-mounted mechanical, electrical and telephone equipment and other obtrusive *structures* shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problem.
- (e) No cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in freestanding *walls*.
- (f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that *structures* be designed to appear essentially as *structures* with massive *walls* which are defined as being built or appearing to be built of *adobe*

construction, *wall* thickness appearing massive in relation to *wall* height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the *structure*. Solid *wall* space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing *walls* for solar equipment as provided in Subsection (F)(2)(c) of this section and under *portales*. The mass elements that make up the *building* composition shall appear as single blocks. *Buildings* with ground coverage of over twenty thousand 20,000 square feet and over one *story* shall be designed to appear more as an aggregation of smaller " *building* blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)

- (g) *Walls* and fences visible from the *street* shall be built of brick, *adobe*, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. *Walls* of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not visible from the *street*.
- (h) When parking spaces are required for commercial or multi-family *residential buildings*, they shall be placed to the rear or side of the *building*. When parking areas are visible from the *street*, they shall be screened from view by *walls*, fences, vegetation, planters, earth berms, or other means.



Count - 8

Total - 4x2

Max - 5x6

4.67'

19x2

58x2

51x2

67x2

w/ fence ht.

St. Johns College

CALLE ROMOLO

MOUNT CARMEL RD

Prep

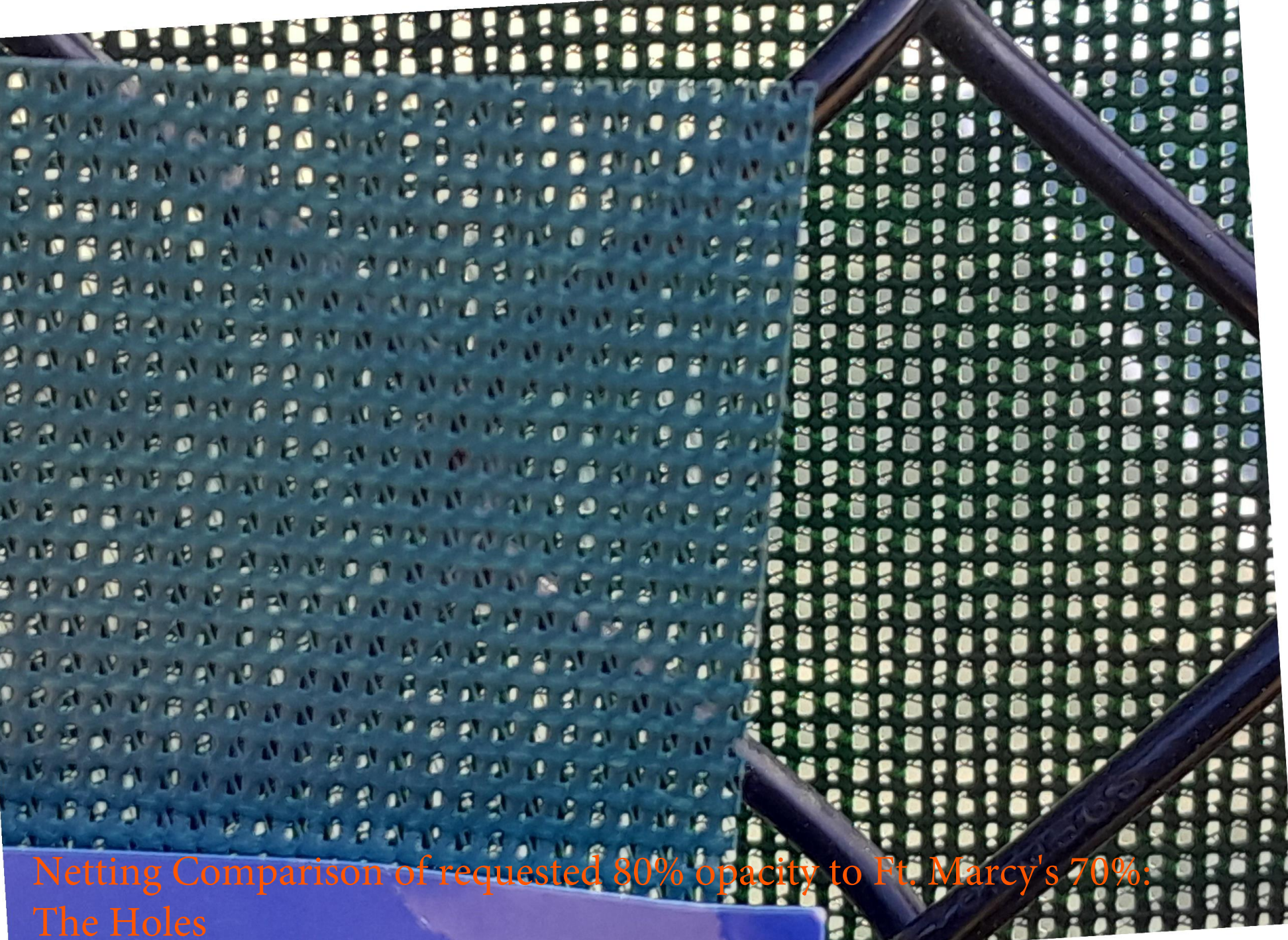
1160 Cam. de C.B.

Previous Wind Screen at 1160 Camino de Cruz Blanca at 96% opacity





Ball Courts at Fort Marcy with a 70% Opacity



Netting Comparison of requested 80% opacity to Ft. Marcy's 70%:
The Holes
at Ft. Marcy are approximately twice the size as the requested mesh.

City of Santa Fe, New Mexico

**Historic Districts
Review**

Board

Exhibit A

Previous Case

2023-006684-ADMIN

Tennis Courts Remodel

1160 Camino de Cruz

Blanca



City of Santa Fe

Land Use Department | Historic Preservation
Division

Administrative Approval

~~THIS IS NOT A CONSTRUCTION PERMIT~~
~~DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT~~

~~THE JOB~~
Date: April 13, 2024
To: Building Permit Division

From: 
Heather Lamboy

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please

allow the applicant to submit a CONSTRUCTION PERMIT(S) for this work if required.
Project Address: 1460 CAMINO DE CRUZ BLANCA, Santa Fe, NM 87505

Case Number: 2023-006684--ADMIN
Contact Name: Abby

Feldman
Phone Number: 504-261-0901

Email:
abby@surroundings.studio

Approved Scope of Work: Replacement of existing tennis courts with new tennis courts and a pickleball

court at the southwest corner of Camino de Cruz Blanca and Camino Cabra, near the St. John's College

entrance (near athletic fields). Typical sports court chain-link fencing is permitted as is currently in place with the existing tennis courts. The proposed pavilion will be handled via a separate administrative amendment.

FURTHER ACTIONS REQUIRED: PERMIT or PERMIT REVISION
ROUTE TO HISTORIC DIVISION HISTORIC INSPECTION

surroundings

landscape
architecture
urbanism

15 March, 2023

To The Santa Fe Historic Preservation
Division,

Surroundings is working with Ameresco, who is the client representative for St. John's

College, to remove the old tennis courts and provide new courts. The three old courts

are in bad condition with lots of cracks in the surfacing from all the tree growth around

the perimeter. The trees have become entangled with the chain link fence and will be

removed as part of the scope of work. The project will replace two new tennis courts

and two new pickle-ball courts in the same location. The orientation of the courts is to

be adjusted to face North / South, which is better for solar conditions during playtime.

Courts will be enclosed with chain link fencing that is equivalent to the existing fence

height, and is a standard part of court design to keep the balls within the space. The

perimeter of the court will have a concrete footing that the new fence is embedded into

and will help prevent nearby root growth under the new court surfaces. A new ADA

compliant concrete path will connect the courts to existing ADA parking. In addition,

there will be new landscaping provided around the courts to provide shade and stabilize disturbed soils. All water shedding off the surface of the courts will be directed

by means of cobble swales to planted areas that benefit nearby trees and shrubs.

PROPOSAL
LETTER



SITE PLAN WITH PROJECT
AREA



Aerial view



Location for new path to the courts from existing ADA parking



Vegetation entwined with court fence



South East corner of courts

EXISTING PHOTOS

LANDSCAPE ARCHITECTURE DRAWINGS FOR: ST. JOHN'S COLLEGE PICKLEBALL COURTS DENNIS & PERMI DOCUMENTS

PROJECT AREA

DESIGN TEAM LANDSCAPE ARCHITECT

SURROUNDINGS STUDIO LLC 1611 PASEO DE PERALTA, SUITE 505, ALBUQUERQUE, NM 87102 PHONE: 505.982.3454 CONTACT: ABBY 8250 MAN EMAIL: ABBY@SURROUNDINGS.STUDIO

STRUCTURAL ENGINEER CHARLY STEVES CONSULTING ENGINEERS, INC. 4700 LINCOLN RD. NE # 102 ALBUQUERQUE, NM 87109 PHONE: 505.408.0000 CG-ENGRS.COM

NORTH

CLIENT COMPANY: ST. JOHN'S COLLEGE CONTACT: AMERESCO - DWIGHT NEIBLING ENGINEERING ARCHITECTS S-001 SHEET INDEX

- SHEET LEGAL LOT OF RECORD
L-003 GENERAL NOTES
L-101 TREE PRESERVATION + DEMOLITION PLAN
L-201 GRADING PLAN
L-301 LAYOUT PLAN
L-401 MATERIALS PLAN
L-402 SITE DETAILS
DETAILS
IRRIGATION PLAN
L-502 PLANTING DETAIL
DETAILS
L-601 PLANTING PLAN

PERMI DOCUMENTS REVISIONS RATE

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ST. JOHN'S COLLEGE TENNIS & PICKLEBALL COURT 1160 CAMINO DE CRUZ BLANCO, SANTA FE, NM, 87505

SCALE: AS NOTED DATE: 15 MARCH 2023 PROJECT: AT 153 DRAWN BY: 8

COVER SHEET 01

PERMI
DOCUM
REVISI
MENTS
DATE

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COLLEGE
TENNIS &
PICKLEBALL
COUR

1160 CAMINO DE
CRUZ BLANCA
SANTA FE,
NM, 87508

SCALE:
DATE: 15 MARCH 2023
PROJECT:
DRAWN BY:

NOTED
AT
153
LEGAL
LOT OF
IBCO
SHEET
02

GENERAL GRADING NOTES

1. SOURCE OF PHOTOGRAPHS AND ARCHITECTURAL BASE IS ASSUMED TO BE CORRECT. REPORT ANY DISCREPANCIES TO THE SURVEYOR.
2. ALL DIMENSIONS ARE IN FEET.
3. EXISTING GRADE WILL BE 2' BELOW FINISH GRADE.

GRADING NOTES

- 1. FINISH GRADE OF EXISTING PARKING AREA
- 2. FINISH GRADE OF EXISTING PARKING AREA

GRADING LEGEND

- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- NEW CONTOURS MAJOR
- NEW CONTOURS MINOR
- FINISH GRADE
- TOP OF WALL
- BOTTOM OF WALL AT FINISH GRADE
- TOP OF BANCO
- BOTTOM OF BANCO AT FINISH GRADE
- TOP OF RAMP
- BOTTOM OF RAMP
- TOP OF STAIR
- INVERT ELEVATION OF PIPE
- WATER LEVEL
- BS 0.00
- INV 0.00

01

7310

01

02

EX STUDENT ACTIVITIES CENTER

EX ROADWAY

PERMITS DOCUMENTS REVISIONS RATE

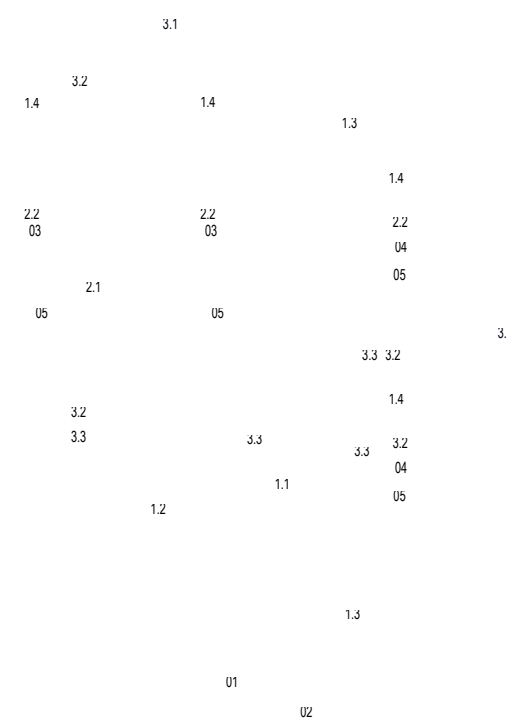
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COLLEGE & PICKLEBALL COURTS
 1160 CAMINO DE CRUZ BLANCO, SANTA FE, NM, 87505

SCALE: AS NOTED
 DATE: 15 MARCH 2023
 PROJECT: AT 153
 DRAWN BY:

GRADING PLAN
 SHEET 6 OF 13

NORTH 0 10 20 40 SCALE: 1"=20'



EX STUDENT
ACTIVITIES CENTER

EX ROADWAY

GENERAL MATERIALS

APPROXIMATE SURFACE AREA
APPROXIMATE SURFACE AREA
APPROXIMATE SURFACE AREA WILL BE
APPROXIMATE SURFACE AREA WILL BE
APPROXIMATE SURFACE AREA WILL BE

02 - EXISTING BOLLARDS AND SIGNS TO REMAIN IN PLACE
03 - STAINLESS STEEL DOUBLES TENNIS COURT NETS TO BE PAINTED WHITE

SITE DETAIL KEY

CONCRETE	1.40
PAVING JOINTS	2.40
CONCRETE CURB W/ ASPHALT COURT	2.40
CONCRETE EDGE	1.40
SITE FURNITURE	2.40
BENCH	1.40
CHAIN LINK FENCE IN ASPHALT COURT	2.40
NET POST AND CENTER ANCHOR	1.40
CHAIN LINK FENCE IN CONCRETE CURB	2.40
CHAIN LINK FENCE IN ASPHALT COURT	1.40
CHAIN LINK GATE	3.40

MATERIALS LEGEND

CONCRETE PAVING, STANDARD GREY, BROOM FINISH	1.40
ASPHALT PAVING WITH ACRYLIC COURT FINISH, COLOR - LIGHT GREEN	2.40
ASPHALT PAVING WITH ACRYLIC COURT FINISH, COLOR - LIGHT BLUE	2.40
ASPHALT PAVING WITH ACRYLIC COURT FINISH, COLOR - ICE BLUE	3.40
GRAVEL MULCH - 3/4" - 2" ANGULAR, SANTA FE BROWN, O.A.E.	3.40

PERMITS
DOCUMENTS
REVISIONS
DATE

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BLANDIN'S COLLEGE & PICKLEBALL COURT
1160 CAMINO DE CRUZ BLANDIN'S COLLEGE & PICKLEBALL COURT
SANTA FE, NM, 87505

SCALE: AS NOTED
DATE: 15 MARCH 2023
PROJECT: AT 153
DRAWN BY: 8

NORTH
SCALE: 1"=20'

MATERIAL S PLAN 01
01

CONTROL JOINT, SEE
LAYOUT PLAN
FOR LOCATION. SEE
DETAIL 2.1
EXPANSION JOINT, SEE
LAYOUT PLAN
FOR LOCATION. SEE
DETAIL 2.2

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

1/4"

NOTE:
EXPANSION JOINTS TO
BE INSTALLED
AND ALL JOINT
SPACES, SUCH AS,
DRAINAGE, CURB,
SANDS, BATTERS, ETC.
SHALL BE SET COLOR TO
MATCH THE COLOR TO
BE USED IN LANDSCAPE
PANELS.
BACKER ROD

1/2" FINE GRIMMED
EXPANSION
MATERIAL

EXPANSION JOINT, SEE
LAYOUT PLAN
FOR LOCATION. SEE
CONTROL JOINT
SEE LAYOUT PLAN FOR
LOCATIONS

3000 PSI
CONCRETE

SEE PLANS FOR
ADJACENT SURFACE
MATERIALS

1/2" #4 REBAR
CONTINUOUS

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

ACRYLIC COLOR
COATING & STRIPING
PER SPECIFICATIONS
AND
REPLICATOR
RECOMMENDATIONS.
CONCRETE SURFACE
MATERIALS PLAN FOR
CONCRETE LEVELING
COURSES IN JOINT,
SEE DETAIL 1.2
ALIGN WITH ADJACENT
SURFACE.
STANDARD GREY
RADIUS

SEE MATERIALS PLAN
FOR ADJACENT
SURFACE TYPE

2" #4 REBAR AT TOP
AND BOTTOM
CONTINUOUS

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

ASPHALT BASE
COMPACTED

1'-0"

1. CONCRETE
PAVING

2. CONCRETE
PAVING JOINTS

3. CONCRETE
CURB

1.4
ASPHALT COURT W/
CONCRETE EDGE

NEI POST, INSTALL
PER
MANUFACTURER
SPECIFICATIONS

GULLA
R

ASPHALTIC CONCRETE
SURFACE. SEE
DETAIL 1.4/C.402

GROUND
SLEEVE

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

3000 PSI
CONCRETE
FOOTING

CENTER COURT
ANCHOR

1'-0"

ASPHALTIC CONCRETE
SURFACE. SEE
DETAIL 1.4/C.402

NEI ANCHOR, INSTALL
PER
MANUFACTURER
RECOMMENDATIONS
FOOTING

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

NOTE:
MANUFACTURER:
VICTOR STANLEY
MODEL: FS-308FT
FINISH POWDER
COATED
COLOR: TBD

SEE MATERIALS PLAN
FOR ADJACENT
SURFACE
3000 PSI CONCRETE
FOOTING
INSTALL TO
SPECIFICATIONS

SUBGRADE
COMPACTED TO 95%
MODIFIED PROCTOR

2'-4"

2'-6"

END
2.2
NEI POST AND
CENTER ANCHOR

2. BENCH
CHairs

PERMITS
DOCUMENTS
REVISIONS
DATE

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PERMITS
COLLEGE &
TENNIS &
PICKLEBALL
COURT
1160 CAMINO DE
CRUZ BLANCO
SAN JUAN,
NM, 87508

SCALE:
DATE: 15 MARCH 2023
PROJECT:
DRAWN BY: NOTED AT 153

SHEET
DETAILS
1-4
02

3. CHAINLINK FENCE IN CONCRETE CURB

MIN. 3'-6"

NOTE: GREEN POWDER COATED CHAINLINK FENCE AND ENGINEERED FOR WIND CONFORM TO ASTM 7969 STANDARDS

LINE POST TRANS (END POST WITH ROUNDED CAP

CHAINLINK FABRIC, 11 GAUGE WIRE

TENSION BAR RINGEE RAIL RAIL END GAIT LATCH WITH SECURE LOCK TENSION BAND EVERY 15' O.C. WIRE WITH 2" WIRE MESH CONCRETE CURB WALL TOP OF CURB HIGH WITH REBAR AND ASPHALT REBAR

3/4" x 1/4" LONG WELDED HEADED STUD @ 12" O.C. FROM TOP OF CURB TO BOTTOM OF FOOTING SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR

3. CHAINLINK GATE

24"

MAX. 10'-0" O.C.

NOTE: GREEN POWDER COATED CHAINLINK FENCE AND ENGINEERED FOR WIND CONFORM TO ASTM 7969 STANDARDS

LINE POST LOOP CAP FABRIC TIE EVERY 6' RAIL END CHAINLINK POST WITH ROUNDED CAP

1/4" FABRIC MESH WINDBREAK MATERIAL COLOR GRAY RAIL BAND BAND

TENSION BAND EVERY 15' O.C. TENSION BAR CHAINLINK FABRIC, 11 GAUGE WIRE RAIL TIE EVERY 2'-0" 1/2" DIA. x 1/4" LONG WELDED HEADED STUD @ 12" O.C. FROM TOP OF CURB TO BOTTOM OF FOOTING SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR

3/4" x 1/4" LONG WELDED HEADED STUD @ 12" O.C. FROM TOP OF CURB TO BOTTOM OF FOOTING SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR

24"

MAX. 10'-0" O.C.

NOTE: GREEN POWDER COATED CHAINLINK FENCE AND ENGINEERED FOR WIND CONFORM TO ASTM 7969 STANDARDS

LINE POST LOOP CAP FABRIC TIE EVERY 6' RAIL END CHAINLINK POST WITH ROUNDED CAP

MIDDLE RAIL BAND BAND

TENSION BAND EVERY 15' O.C. TENSION BAR CHAINLINK FABRIC, 11 GAUGE WIRE RAIL TIE EVERY 2'-0" ASPHALT COURT, SEE DETAIL 1.4.1

3/4" x 1/4" LONG WELDED HEADED STUD @ 12" O.C. FROM TOP OF CURB TO BOTTOM OF FOOTING SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR

3.2 CHAINLINK FENCE IN ASPHALT COURT

24"

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COLLEGE & PICKLEBALL COURT
1160 CAMINO DE CRUZ BLANCO SAN JUAN, NM, 87508

SCALE: NOTED
DATE: 15 MARCH 2023
PROJECT: AT
DRAWN BY: 153

SITE DETAILS 03

FENCE FOOT FOUNDATIONS ONLY. ALL OTHER ITEMS BY OTHERS.

PIPE CHART
SCHED. 40 PVC:

1"	1/2"
2"	1"
3"	1 1/2"
4"	2"
6"	3"
8"	4"
10"	6"
12"	8"
14"	10"
16"	12"
18"	14"
20"	16"
24"	18"
30"	24"
36"	30"
42"	36"
48"	42"
54"	48"
60"	54"
72"	60"
84"	72"
96"	84"
108"	96"
120"	108"
144"	120"
168"	144"
192"	168"
216"	192"
240"	216"
288"	240"
336"	288"
384"	336"
432"	384"
480"	432"
528"	480"
576"	528"
624"	576"
672"	624"
720"	672"
768"	720"
816"	768"
864"	816"
912"	864"
960"	912"
1008"	960"
1056"	1008"
1104"	1056"
1152"	1104"
1200"	1152"
1248"	1200"
1296"	1248"
1344"	1296"
1392"	1344"
1440"	1392"
1488"	1440"
1536"	1488"
1584"	1536"
1632"	1584"
1680"	1632"
1728"	1680"
1776"	1728"
1824"	1776"
1872"	1824"
1920"	1872"
1968"	1920"
2016"	1968"
2064"	2016"
2112"	2064"
2160"	2112"
2208"	2160"
2256"	2208"
2304"	2256"
2352"	2304"
2400"	2352"
2448"	2400"
2496"	2448"
2544"	2496"
2592"	2544"
2640"	2592"
2688"	2640"
2736"	2688"
2784"	2736"
2832"	2784"
2880"	2832"
2928"	2880"
2976"	2928"
3024"	2976"
3072"	3024"
3120"	3072"
3168"	3120"
3216"	3168"
3264"	3216"
3312"	3264"
3360"	3312"
3408"	3360"
3456"	3408"
3504"	3456"
3552"	3504"
3600"	3552"
3648"	3600"
3696"	3648"
3744"	3696"
3792"	3744"
3840"	3792"
3888"	3840"
3936"	3888"
3984"	3936"
4032"	3984"
4080"	4032"
4128"	4080"
4176"	4128"
4224"	4176"
4272"	4224"
4320"	4272"
4368"	4320"
4416"	4368"
4464"	4416"
4512"	4464"
4560"	4512"
4608"	4560"
4656"	4608"
4704"	4656"
4752"	4704"
4800"	4752"
4848"	4800"
4896"	4848"
4944"	4896"
4992"	4944"
5040"	4992"
5088"	5040"
5136"	5088"
5184"	5136"
5232"	5184"
5280"	5232"
5328"	5280"
5376"	5328"
5424"	5376"
5472"	5424"
5520"	5472"
5568"	5520"
5616"	5568"
5664"	5616"
5712"	5664"
5760"	5712"
5808"	5760"
5856"	5808"
5904"	5856"
5952"	5904"
6000"	5952"
6048"	6000"
6096"	6048"
6144"	6096"
6192"	6144"
6240"	6192"
6288"	6240"
6336"	6288"
6384"	6336"
6432"	6384"
6480"	6432"
6528"	6480"
6576"	6528"
6624"	6576"
6672"	6624"
6720"	6672"
6768"	6720"
6816"	6768"
6864"	6816"
6912"	6864"
6960"	6912"
7008"	6960"
7056"	7008"
7104"	7056"
7152"	7104"
7200"	7152"
7248"	7200"
7296"	7248"
7344"	7296"
7392"	7344"
7440"	7392"
7488"	7440"
7536"	7488"
7584"	7536"
7632"	7584"
7680"	7632"
7728"	7680"
7776"	7728"
7824"	7776"
7872"	7824"
7920"	7872"
7968"	7920"
8016"	7968"
8064"	8016"
8112"	8064"
8160"	8112"
8208"	8160"
8256"	8208"
8304"	8256"
8352"	8304"
8400"	8352"
8448"	8400"
8496"	8448"
8544"	8496"
8592"	8544"
8640"	8592"
8688"	8640"
8736"	8688"
8784"	8736"
8832"	8784"
8880"	8832"
8928"	8880"
8976"	8928"
9024"	8976"
9072"	9024"
9120"	9072"
9168"	9120"
9216"	9168"
9264"	9216"
9312"	9264"
9360"	9312"
9408"	9360"
9456"	9408"
9504"	9456"
9552"	9504"
9600"	9552"
9648"	9600"
9696"	9648"
9744"	9696"
9792"	9744"
9840"	9792"
9888"	9840"
9936"	9888"
9984"	9936"
10032"	9984"
10080"	10032"
10128"	10080"
10176"	10128"
10224"	10176"
10272"	10224"
10320"	10272"
10368"	10320"
10416"	10368"
10464"	10416"
10512"	10464"
10560"	10512"
10608"	10560"
10656"	10608"
10704"	10656"
10752"	10704"
10800"	10752"
10848"	10800"
10896"	10848"
10944"	10896"
10992"	10944"
11040"	10992"
11088"	11040"
11136"	11088"
11184"	11136"
11232"	11184"
11280"	11232"
11328"	11280"
11376"	11328"
11424"	11376"
11472"	11424"
11520"	11472"
11568"	11520"
11616"	11568"
11664"	11616"
11712"	11664"
11760"	11712"
11808"	11760"
11856"	11808"
11904"	11856"
11952"	11904"
12000"	11952"
12048"	12000"
12096"	12048"
12144"	12096"
12192"	12144"
12240"	12192"
12288"	12240"
12336"	12288"
12384"	12336"
12432"	12384"
12480"	12432"
12528"	12480"
12576"	12528"
12624"	12576"
12672"	12624"
12720"	12672"
12768"	12720"
12816"	12768"
12864"	12816"
12912"	12864"
12960"	12912"
13008"	12960"
13056"	13008"
13104"	13056"
13152"	13104"
13200"	13152"
13248"	13200"
13296"	13248"
13344"	13296"
13392"	13344"
13440"	13392"
13488"	13440"
13536"	13488"
13584"	13536"
13632"	13584"
13680"	13632"
13728"	13680"
13776"	13728"
13824"	13776"
13872"	13824"
13920"	13872"
13968"	13920"
14016"	13968"
14064"	14016"
14112"	14064"
14160"	14112"
14208"	14160"
14256"	14208"
14304"	14256"
14352"	14304"
14400"	14352"
14448"	14400"
14496"	14448"
14544"	14496"
14592"	14544"
14640"	14592"
14688"	14640"
14736"	14688"
14784"	14736"
14832"	14784"
14880"	14832"
14928"	14880"
14976"	14928"
15024"	14976"
15072"	15024"
15120"	15072"
15168"	15120"
15216"	15168"
15264"	15216"
15312"	15264"
15360"	15312"
15408"	15360"
15456"	15408"
15504"	15456"
15552"	15504"
15600"	15552"
15648"	15600"
15696"	15648"
15744"	15696"
15792"	15744"
15840"	15792"
15888"	15840"
15936"	15888"
15984"	15936"
16032"	15984"
16080"	16032"
16128"	16080"
16176"	16128"
16224"	16176"
16272"	16224"
16320"	16272"
16368"	16320"
16416"	16368"
16464"	16416"
16512"	16464"
16560"	16512"
16608"	16560"
16656"	16608"
16704"	16656"
16752"	16704"
16800"	16752"
16848"	16800"
16896"	16848"
16944"	16896"
16992"	16944"
17040"	16992"
17088"	17040"
17136"	17088"
17184"	17136"
17232"	17184"
17280"	17232"
17328"	17280"
17376"	17328"
17424"	17376"
17472"	17424"
17520"	17472"
17568"	17520"
17616"	17568"
17664"	17616"
17712"	17664"
17760"	17712"
17808"	17760"
17856"	17808"
17904"	17856"
17952"	17904"
18000"	17952"
18048"	18000"
18096"	18048"
18144"	18096"
18192"	18144"
18240"	18192"
18288"	18240"
18336"	18288"
18384"	18336"
18432"	18384"
18480"	18432"
18528"	18480"
18576"	18528"
18624"	18576"
18672"	18624"
18720"	18672"
18768"	18720"
18816"	18768"
18864"	18816"
18912"	18864"
18960"	18912"
19008"	18960"
19056"	19008"
19104"	19056"
19152"	19104"
19200"	19152"
19248"	19200"
19296"	19248"
19344"	19296"
19392"	19344"
19440"	19392"
19488"	19440"
19536"	19488"
19584"	19536"
19632"	19584"
19680"	19632"
19728"	19680"
19776"	19728"
19824"	19776"
19872"	19824"
19920"	19872"
19968"	19920"
20016"	19968"
20064"	20016"
20112"	20064"
20160"	20112"
20208"	20160"
20256"	20208"
20304"	20256"
20352"	20304"
20400"	20352"
20448"	20400"
20496"	20448"
20544"	20496"
20592"	20544"
20640"	20592"
20688"	20640"
20736"	20688"
20784"	20736"
20832"	20784"
20880"	20832"
20928"	20880"
20976"	20928"
21024"	20976"
21072"	21024"
21120"	21072"
21168"	21120"
21216"	21168"
21264"	21216"
21312"	21264"
21360"	21312"
21408"	21360"
21456"	21408"
21504"	21456"
21552"	21504"
21600"	21552"
21648"	21600"
21696"	21648"
21744"	21696"
21792"	21744"
21840"	21792"
21888"	21840"
21936"	21888"
21984"	21936"
22032"	21984"
22080"	22032"
22128"	22080"
22176"	22128"
22224"	22176"
22272"	22224"
22320"	22272"
22368"	22320"
22416"	22368"
22464"	22416"
22512"	22464"
22560"	22512"
22608"	22560"
22656"	22608"
22704"	22656"
22752"	22704"
22800"	22752"
22848"	22800"
22896"	22848"
22944"	22896"
22992"	22944"
23040"	22992"
23088"	23040"
23136"	23088"
23184"	23136"
23232"	23184"
23280"	23232"
23328"	23280"
23376"	23328"
23424"	23376"
23472"	23424"
23520"	23472"
23568"	23520"
23616"	23568"
23	

NOTE:
INSTALL BACKFLOW
PREVENTERS
REQUIRED BY LOCAL
CODES AND
HEALTH DEPARTMENT.
VERIFY ALL
LOCAL REQUIREMENTS
PRIOR TO
INSTALLATION.

10"X4" DEPTH
CONCRETE FOOTER OR
PILE
CONCRETE SLAB TYP
AS SHOWN RB-C2
INSTALL DRIVERBED
COVER OR APPROVED
EQUIVALENT FOR YOUR
PROJECT TO BOX
ADAPTER (1 OF 2)
GALL UNIONS (1 OF 2)
(1 OF 4)

FINISH GRADE

FINISH GRADE
COPPER WIRE
INDICATION MAINLINE
ADAPTER
PVC MALE
ADAPTER
WATERPROOFING OF
CONNECTION

1 2 3 4 5 6 7 8 18 9

NOTE:
2 VOLT ASSEMBLIES
MUST BE
INSTALLED IN BOX IF 6"
BETWEEN ASSEMBLIES
MAINTAINED

10 PVC SCH 80
NIPPLE LENGTH AS
REQUIRED
11 PVC SCH
40 ELL
12 PVC SCH 80 NIPPLE,
LENGTH HIDDEN
13 PVC SCH
40 OR ELL
14
15 3/4" INCH MINIMUM
DEPTH OF
WASHED
GRAVEL 80
16 UNION BOTH
SIDE OF
ASSEMBLY

5 LINE SIZE BALL
VALVE
6 ID TAG
7 REMOVE CONTROL VALVE:
IRRIGATION SCHEDULE
ADAPTER

ADJUSTABLE VALVE
BOX WITH ID.
REQUIRED

GATE
VALVE MAINLINE

8"X 8" GRAVEL
BELOW GRADE

TO GATE
VALVE IS TO BE
IDENTIFIED WITH
TAGGED STATION
NUMBER

SINGLE COULI
EMITTER
MULCH LAYER
GRADE

1" PVC SCH 40
ELL

1 1/2" PVC CL
3/8" PIPE

1 1/2" PVC CL
3/8" PIPE

NOTE:
2 VOLT ASSEMBLIES
MUST BE
INSTALLED IN BOX IF 6"
BETWEEN ASSEMBLIES
MAINTAINED

10 PVC SCH 80
NIPPLE LENGTH AS
REQUIRED
11 PVC SCH
40 ELL
12 PVC SCH 80 NIPPLE,
LENGTH HIDDEN
13 PVC SCH
40 OR ELL
14
15 3/4" INCH MINIMUM
DEPTH OF
WASHED
GRAVEL 80
16 UNION BOTH
SIDE OF
ASSEMBLY

5 LINE SIZE BALL
VALVE
6 ID TAG
7 REMOVE CONTROL VALVE:
IRRIGATION SCHEDULE
ADAPTER

ADJUSTABLE VALVE
BOX WITH ID.
REQUIRED

GATE
VALVE MAINLINE

8"X 8" GRAVEL
BELOW GRADE

TO GATE
VALVE IS TO BE
IDENTIFIED WITH
TAGGED STATION
NUMBER

SINGLE COULI
EMITTER
MULCH LAYER
GRADE

1" PVC SCH 40
ELL

1 1/2" PVC CL
3/8" PIPE

1 1/2" PVC CL
3/8" PIPE

MULCH SEE
BLANDING PLAN
FOR TYPE AND
DEPTH OF THE
MULCH
DRAIN TUBING .0634
O.D.
RAINBRIID XF TUBING
OR EQUIVALENT
VALVES @
INTERVALS

FINISH SOIL
GRADE

PVC
PVC TEE
(SXSXT)

LATERAL LINE: SEE
DRAWINGS
FOR SCHEDULE

MICRO SPRINKLER,
WATER SALED 24 IN BLACK
ASSEMBLY W/ GREEN
POLYESTER SPINNER
DISTANCE FOR
SPINNER LAYOUT OF
SYSTEM IN FIELD
APPROXIMATELY 8' O.C.
POLYETHYLENE
TUBING
BARBED COUPLING

3/8" POLYETHYLENE
TUBING LENGTH
AS REQUIRED

BARBED COUPLING W/
POLYESTER
FITTING OVER TUBING
TO LATERAL
LINE

3/8" LINE
WITH COULI
CONNECTION
VALVE BOX WITH
COVER

FINISH GRADE/TOP
OF MULCH

REMOVE CONTROL
VALVE FROM
SIDE OF VALVE

PVC SCH 40 NIPPLE
(S REQUIRED)
SOLID CL
BLOCK BELOW
BOX EDGES
40 ELL

TO GATE
VALVE IS TO BE
IDENTIFIED WITH
TAGGED STATION
NUMBER

PVC LATERAL PIPE
DEPTH 4" WASHED
GRAVEL ON BOTH
SIDES OF
VALVE

1 1/2" PVC SCH 80 NIPPLE
AS REQUIRED
CONTROL VALVE

VALVE BOX
(ABS)
1" DIA
WASHED ROCK

BUSHINGS
REQUIRED
SOLID CL
BLOCK BELOW
BOX EDGES

12'

1.4
CONTROLLER
(PEDESTAL)

1.8
PIPE
BURY

1'-0"

1.12
FREEZE PROOF
HYDRANT

PEDESTAL MOUNT
CONTROLLER (SEE
LEGEND)

GROUND LUG ON
CONTROLLER

#8 GAUGE COPPER WIRE
LENGTHS
REQUIRE 1/4" 10"
ROUND ALUM
MULCH WITH 1/4"
THICKNESS AND PVC
LENGTHS
REQUIRED
GROUND CLAMP
#10 X 1/2" COPPER CLAD
ROD

YELLOW #14 AWG UF/UL
TRACER WIRE
POLY MARKER TAPE

LATERAL LINE(S)
MINIMUM 12"
DEPTH TO TOP OF
BACKFILL (SEE
REVISIONS
FOR POLYESTER
ROB OF PIPE IS TO
SAID BEL UNDER AND
REVISIONS
REVISIONS

WOOD: 6"X 1/2"
YARD HYDRANT
OVERALL
DIMENSIONS

FINISH
GRADE
CONCRETE
SUBGRADE
MODIFIED PROCTOR

1" PP
INLET
3/4" OR 1"
PP
CONNECT
ON

IRRIGATION
DETAILS

4. BACKFLOW
PREVENTER

2. DRIP VALVE
ASSEMBLY

3. DRIP LINE T

1.4
CONTROLLER
(PEDESTAL)

5. TREE
BUBBLER
RWS

6. GATE
VALVE

7. MICRO SPRAY
EMITTER

1.8
PIPE
BURY

6. NEIGHBOR
DRIP

6.1 SINGLE
EMITTER
NTS

7.1 MASTER
GATE VALVE
NTS

1.12
FREEZE PROOF
HYDRANT

PERMI
DOCUM
REVISIONS
DATE

COLLEGE
TENNIS &
PICKLEBALL
COUR
1160 CAMINO DE
CRUZ BLANCO
SANTA FE,
NM, 87505

SCALE:
DATE: 15 MARCH 2023
PROJECT: 153
DRAWN BY: AT

IRRIGATION
DETAILS
1
02

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GENERAL PLANNING NOTES
 PLANTING NOTES

PLANTING DETAIL KEYNOTES

PROFILE	L,70
MULCH	L,70
PLANTING	L,70
SCOPE PLANTING	L,70
8.6 PERENNIAL PLANTING	L,70
8.7 EVERGREEN PLANTING	L,70
8.8 TREE PLANTING	L,70
8.9 BULB TREE PLANTING	L,70
8.10 PLANT SPACING (ROWS)	L,70
8.11 PLANT SPACING (ISLANDS)	L,70
PALETTE	L,70

SYMB	ID	QUANTITY	BOTANICAL NAME	COMMON NAME	USE	SIZE	WATER
AJ	1		Juniperus deppeana	Alligator Juniper	L-M	2 FT.	2
CA	4		Cedrus atlantica	Blue Atlas Cedar	L-M	6 FT.	2
PA	3		Platanus x acerifolia	London Plane Tree	L-M	2 FT.	2
PE	3		Pinus edulis	Pinon Pine	L-M	6 FT.	2
PN	3		Pinus oregonensis	Austrian Pine	L-M	2 FT.	2
UF	4		Ulmus carpinifolia x	Frontier Elm	L-M	2 FT.	2

SYMB	ID	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
PER	1		PERENNIAL		

1000 SF = 10% MIX - PLANTS OF THE SOUTHWEST / 30% HIGH DRYLAND BLEND / 30% HIGH PLAINS MIX, SEED RATE = 2 LBS / 1000 SF

3-CA

3-PE

3-PA

EX. ROADWAY

EX. STUDENT ACTIVITIES CENTER

NORTH 0 10 20 40 SCALE: 1"=20'

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COLLEGE TENNIS & PICKLEBALL COURSE
 1160 CAMINO DE CRUZ BLANCO, SANTA FE, NM, 87505

SCALE: 1"=20'
 DATE: 15 MARCH 2023
 PROJECT: NOTED AT 153
 DRAWN BY: 8

PLANTING PLAN 01

SHEET 11 OF 13

8.1 SOIL PROFILE

3" MULCH, SEE MATERIALS PLANS FOR TYPE

AMENDED PLANTING SPECIFICATIONS

LOOSEND EXISTING SUBGRADE

UNDISTURBED EXISTING SUBGRADE

USE BOUNDRIES (IF INDICATED IN PLAN) TO MARK EDGE OF DOOR, SIDE OF BUBBLE PLANTING SLOPE SIDE OF PLANTING

SET CROWN OF PLANT RICHER THAN ADJACENT FINISHED GRADE. RUBBER ROSE ONLY. SCARIFY SIDES OF ROOTBALL BEFORE PLANTING. SEE MATERIALS PLANS FOR TYPE.

AMENDED PLANTING BED SOIL, SEE SPECIFICATIONS OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

SET CROWN OF PLANT RICHER THAN ADJACENT FINISHED GRADE. RUBBER ROSE ONLY. SCARIFY SIDES OF ROOTBALL BEFORE PLANTING. SEE MATERIALS PLANS FOR TYPE.

AMENDED PLANTING BED SOIL, SEE SPECIFICATIONS OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

8.2 SHRUB PLANTING ON SLOPE

AMENDED PLANTING BED SOIL, SEE SPECIFICATIONS OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

SET CROWN OF PLANT RICHER THAN ADJACENT FINISHED GRADE. RUBBER ROSE ONLY. SCARIFY SIDES OF ROOTBALL BEFORE PLANTING. SEE MATERIALS PLANS FOR TYPE.

AMENDED PLANTING BED SOIL, SEE SPECIFICATIONS OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

8.3 PERENNIAL PLANTING

NOTE: REFER TO PLANTING PLAN FOR SPACING AND 2" LANDSCAPE SOILS THAT HAVE BEEN COMPLETED DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A MINIMUM OF 12" BEFORE PLANTING.

SEE SHRUB PLANTING THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

8.1 PLANT SPACING (ROWS)

8.2 MULCH

NOTE: PROVIDE STAKING (USE TO EXISTING PRIVATE CONDITIONS SUCH AS WIND OR IN A SWALE OR DRAINAGE WAY).

8.4 EVERGREEN TREE PLANTING

NOTE: REFER TO PLANTING PLAN FOR SPACING AND 2" LANDSCAPE SOILS THAT HAVE BEEN COMPLETED DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A MINIMUM OF 12" BEFORE PLANTING.

SEE SHRUB PLANTING THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

SEE MULCH DETAIL THIS SHEET

8.11 PLANT SPACING (TRIANGULAR)

SET CROWN OF PLANT RICHER THAN ADJACENT FINISHED GRADE. RUBBER ROSE ONLY. SCARIFY SIDES OF ROOTBALL BEFORE PLANTING. SEE MATERIALS PLANS FOR TYPE.

SET MULCH 1" BELOW PLANTER EDGE

RUBBER ROSE

TIE CABLE

STAKE

ROOTBALL

IREE TO BE SET PLUMB

MIN. 2" STEEL STAKES AT LEAST 48" ABOVE FINISHED GRADE

SET ROOTBALL 2" ABOVE ADJACENT FINISHED GRADE; KEEP BURLAP FROM LOSING CONTACT WITH SOIL. SCARIFY SIDES OF THE ROOTBALL TO BACK THE BURLAP TO PROTECT THE ROOTBALL.

SCARIFY SIDES OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

NOTE: REFER TO PLANTING PLAN FOR SPACING AND 2" LANDSCAPE SOILS THAT HAVE BEEN COMPLETED DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A MINIMUM OF 12" BEFORE PLANTING.

GROUND COVER OR PERENNIAL, SEE PLANTING PLAN FOR SPACING

SEE MULCH DETAIL THIS SHEET

PLANTING SOIL PREPARED FOR PLANTING BED DETAIL

UNDISTURBED SUBGRADE

NOT IN USE

8.3 VINE PLANTING

NOTE: PROVIDE STAKING AS SPECIFIED, ONLY WHEN DETERMINED NECESSARY DUE TO EXISTING CLIMATE CONDITIONS SUCH AS WIND OR IN A SWALE OR DRAINAGE WAY.

RUBBER ROSE

TIE CABLE

STAKE

ROOTBALL

IREE TO BE SET PLUMB

MIN. 2" STEEL STAKES AT LEAST 48" ABOVE FINISHED GRADE

SET ROOTBALL 2" ABOVE ADJACENT FINISHED GRADE; KEEP BURLAP FROM LOSING CONTACT WITH SOIL. SCARIFY SIDES OF THE ROOTBALL TO BACK THE BURLAP TO PROTECT THE ROOTBALL.

SCARIFY SIDES OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

8.4 TREE PLANTING

NOTE: REFER TO PLANTING PLAN FOR SPACING AND 2" LANDSCAPE SOILS THAT HAVE BEEN COMPLETED DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A MINIMUM OF 12" BEFORE PLANTING.

GROUND COVER OR PERENNIAL, SEE PLANTING PLAN FOR SPACING

SEE MULCH DETAIL THIS SHEET

PLANTING SOIL PREPARED FOR PLANTING BED DETAIL

UNDISTURBED SUBGRADE

8.4 SHRUB PLANTING

NOTE: PROVIDE STAKING AS SPECIFIED, ONLY WHEN DETERMINED NECESSARY DUE TO EXISTING CLIMATE CONDITIONS SUCH AS WIND OR IN A SWALE OR DRAINAGE WAY.

RUBBER ROSE

TIE CABLE

STAKE

ROOTBALL

IREE TO BE SET PLUMB

MIN. 2" STEEL STAKES AT LEAST 48" ABOVE FINISHED GRADE

SET ROOTBALL 2" ABOVE ADJACENT FINISHED GRADE; KEEP BURLAP FROM LOSING CONTACT WITH SOIL. SCARIFY SIDES OF THE ROOTBALL TO BACK THE BURLAP TO PROTECT THE ROOTBALL.

SCARIFY SIDES OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

8.4 TREE PLANTING (MULTI TRUNK)

NOTE: REFER TO PLANTING PLAN FOR SPACING AND 2" LANDSCAPE SOILS THAT HAVE BEEN COMPLETED DURING CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO A MINIMUM OF 12" BEFORE PLANTING.

GROUND COVER OR PERENNIAL, SEE PLANTING PLAN FOR SPACING

SEE MULCH DETAIL THIS SHEET

PLANTING SOIL PREPARED FOR PLANTING BED DETAIL

UNDISTURBED SUBGRADE

SET CROWN OF PLANT RICHER THAN ADJACENT FINISHED GRADE. RUBBER ROSE ONLY. SCARIFY SIDES OF ROOTBALL BEFORE PLANTING. SEE MATERIALS PLANS FOR TYPE.

AMENDED PLANTING BED SOIL, SEE SPECIFICATIONS OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

STAKE

ROOTBALL

RUBBER ROSE

TIE CABLE

IREE TO BE SET PLUMB

MIN. 2" STEEL STAKES AT LEAST 48" ABOVE FINISHED GRADE

SET ROOTBALL 2" ABOVE ADJACENT FINISHED GRADE; KEEP BURLAP FROM LOSING CONTACT WITH SOIL. SCARIFY SIDES OF THE ROOTBALL TO BACK THE BURLAP TO PROTECT THE ROOTBALL.

SCARIFY SIDES OF HOLE

BACKFILL WITH AMENDED SOIL AS PER SPECIFICATIONS, WATER AND TAMP. RUBBER ROSE AIR SUBGRADE

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COLLEGE TENNIS & PICKLEBALL COURTS

1160 CAMINO DE CRUZ BLVD SAN ANTONIO, TX 78205

SCALE: NOTED AT 15 MARCH 2023

PROJECT: 15 MARCH 2023

DRAWN BY: AT 153

PLANTING DETAILS 6 OF 11

02

City of Santa Fe, New Mexico

**Historic
Districts
Review**

**Board B
Previous Case**

H-13-241

Athletic Field

Fencing

**1160 Camino de
Cruz Blanca**

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-13-041

Address – 1160 Camino de Cruz Blanca
Owner/Applicant's Name – St. John's College
Agent's Name – Andrew Lyons

THIS MATTER came before the Historic Districts Review Board (Board) for hearing on May 28, 2013 upon the application (Application) of Andrew Lyons, as agent for St. John's College, owner.

1160 Camino de Cruz Blanca, known as St. John's College, is in the Historic Review Historic District. This proposal involves the vacant lot along the public street south of the campus entrance.

The Applicant requested a construction project (Project) for fences around the perimeter of an athletic field. The fences will be constructed with 3" steel pipes and 2"x4" wire grid. The street-facing fence will be constructed to the maximum allowable height of 56". Elsewhere, the fences will be 6' or 8' high and on the south lotline the fence will be on an existing retaining wall at a maximum total height of 12'. An exception was requested to construct a publicly-visible wire fence where a wire fence is prohibited (Section 14-5.2(F)(2)(g)).

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT

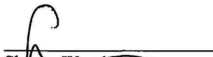
1. The Board heard testimony from staff, the Applicant, and other people interested in the Application.
2. Zoning staff has determined that the Application meets underlying zoning standards.
3. Board staff recommended that the Board approve the Application as having met the exception criteria to construct a publicly-visible wire fence where it is prohibited (Section 14-5.2(F)(2)(g)) and otherwise recommended approval of this Application which complies with Section 14-5.2(D)(9) General Design Standards.
4. The Property is located in the Historic Review Historic District and the Project is subject to the requirements of the following sections of the Santa Fe Land Development Code: Section 14-5.2(D), General Design Standards, Height Pitch Scale and Massing; Section 14-5.2(F), Historic Review Historic District.
5. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
6. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.
7. The Board concurs with Board staff that the exception criteria have been met and that all applicable design standards have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

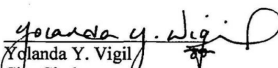
The Board concludes that the Project has met the exception criteria as submitted to construct a publicly-visible wire fence where a wire fence is prohibited. The Project is approved with the condition that the vertical posts shall be rusted steel.

IT IS SO ORDERED ON THIS 11th DAY OF JUNE 2013 THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.


Sharon Woods
Chair


6/11
Date:

FILED


Yolanda Y. Vigil
City Clerk

6/12/13
Date:

APPROVED AS TO FORM


Kelley Brennan
Assistant City Attorney

6/11/13
Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2
Patti J. Bushee, Dist. 1
Chris Calvert, Dist. 1
Peter N. Ives, Dist. 2
Carmichael A. Dominguez, Dist. 3
Christopher M. Rivera, Dist. 3
Bill Dimas, Dist. 4
Ronald S. Trujillo, Dist. 4

Project description: Proposes a project to construct a wire fence to the streetscape maximum allowable height of 56" and elsewhere to 6' and 8'. An exception is requested to use wire fence where wire fence is not allowed (Section 14-5.2(F)(2)(g)).

Case number: H-13-041
Project Type: HDRB

PROJECT LOCATION (S): 1160 Camino de Cruz Blanca

PROJECT NAMES:

OW – St. John’s College Santa Fe, NM 87505	1160 Camino de Cruz Blanca 505-982-7999
AP – Andrew Lyons Santa Fe, NM 87504	PO Box 8858 505-982-7999

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their May 28, 2013 hearing, acted on the above-referenced case. The decision of the Board was to approve the request for an exception to allow a publicly-visible wire fence, and to approve the project as submitted, with the condition that the steel posts shall have a “rusty” finish. For further information on this decision, please call 955-6605.

Sincerely,

David Rasch
Supervisor Planner, Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerks office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permit.

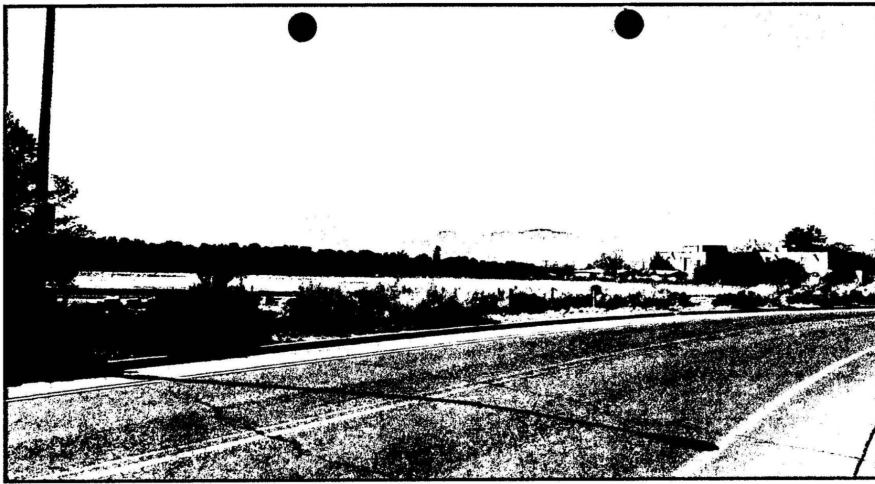


Photo #1- Existing St. John's Track/ Future Soccer Field



Photo #2- Existing St. John's Soccer Field

1160 Camino de Cruz Blanca
29th April, 201

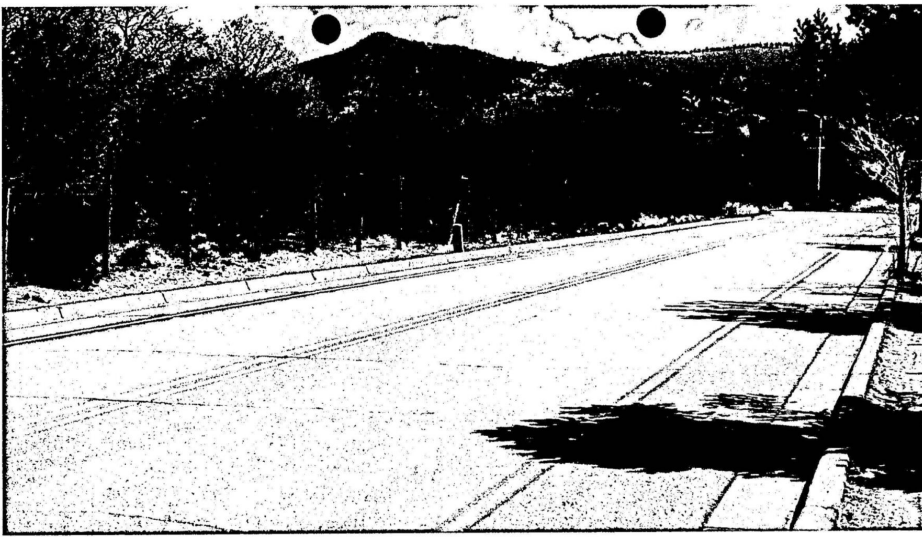


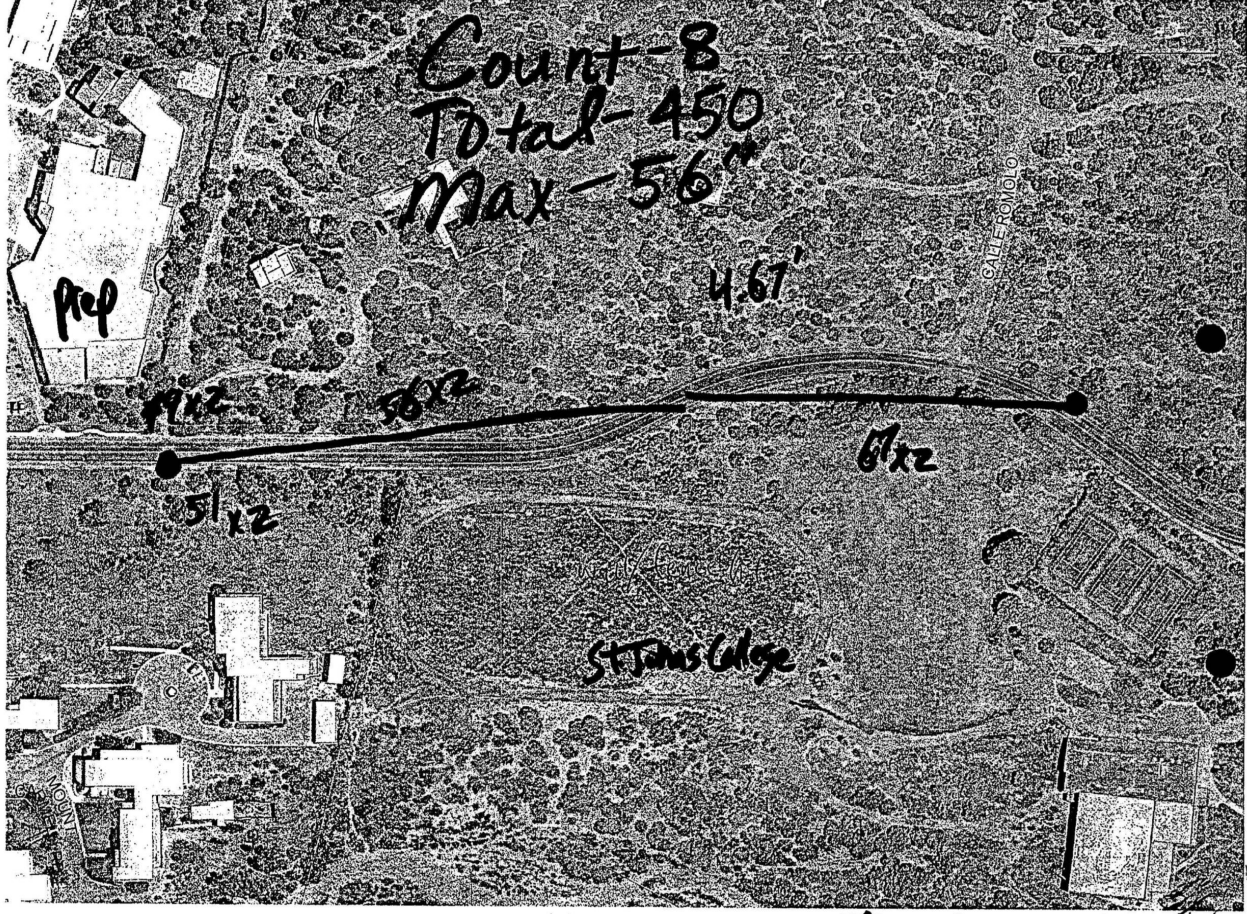
Photo #3- Existing Horse Fence across Camino de Cruz Blanca from Project Site



Photo #4- Existing Horse Fence at Santa Fe Prep

1160 Camino de Cruz Blanca
29th April, 2013

Count - 8
Total - 450
Max - 56"



1160 Cam de C.B.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>4/20/13</u>	<u>1160 Camino de Cruz Blanca</u>	
Property Owner of Record: <u>St. John's College</u>	Proposed Construction Description:	
Applicant/Agent Name: <u>Andy Lyons</u>	<u>56"-8' wire fence + 4' retaining wall</u>	
Contact Person Phone Number: () -	TOTAL ROOF AREA: <u>N/A</u>	
Zoning District: <u>R-1 PUD</u>	Lot Coverage: <u>N/A</u> % <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment <u>N/A</u> <input type="checkbox"/> Flood Zone* <u>N/A</u> <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: <u>N/A</u> Minimum: _____ 2 nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>56"-8'</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: <u>N/A fence</u> Proposed _____ Accessible _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required <u>ok, wire</u>	Bicycle Parking**: <u>N/A</u> Proposed: _____ Minimum: _____	
Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: <u>School/Ed.</u>	* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.	
Terrain: <input type="checkbox"/> 30% slopes <u>N/A</u>		

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Andy Lyons
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by <u>N/A</u> Date: <u> / / </u>	
<input type="checkbox"/> Flood Plain Approval by <u>N/A</u> Date: <u> / / </u>	
<input type="checkbox"/> Traffic Engineering Approval by <u>N/A</u> Date: <u> / / </u>	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>[Signature]</u>	DATE: <u>4/20/13</u>

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Revised 1-14-13

City of Santa Fe, New Mexico

memo

DATE: May 28, 2013
TO: Historic Districts Review Board Members
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-13-041

ADDRESS: 1160 Camino de Cruz Blanca
Historic Status: NA
Historic District: Historic Review

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other: max. fence ht.

APPLICANT SUBMITTALS

Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other: exception criteria

STAFF RECOMMENDATION:

Staff recommends approval of the exception request to construct a wire fence where a wire fence is not allowed (Section 14-5.2(F)(2)(g)) and otherwise recommends approval of this application which complies with Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing and (F) Historic Review Historic District.

BACKGROUND & SUMMARY:

1160 Camino de Cruz Blanca, known as St. John's College, is in the Historic Review Historic District. This proposal involves the vacant lot along the public street south of the campus entrance. The applicant will be remodeling the property as an athletic field and proposes to construct fences around the perimeter. The fences will be constructed with 3" steel pipes and 2"x4" wire grid. The street-facing fence will be constructed to the maximum allowable height of 56". Elsewhere, the fences will be 6' or 8' high and on the south lotline the fence will be on an existing retaining wall at a maximum total height of 12'.

Code citation: 14-5.2(F) Historic Review District, (2) District Standards, (g) Walls and Fences

Walls and fences visible from the street shall be built of brick, adobe, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street.

EXCEPTION TO CONSTRUCT A PUBLICLY-VISIBLE WIRE FENCE:

1. Do not damage the character of the district

Along this specific stretch of Camino de Cruz Blanca, between Camino del Monte Sol and the existing St. John's tennis courts, the streetscape is dominated by horse fencing on both sides of the street, and that the installation of new horse fencing at the proposed new athletic field is in keeping with the existing streetscape.

Staff response: Staff agrees with this statement.

2. Are required to prevent a hardship to the applicant or an injury to the public welfare

St. John's College wishes to use horse fencing to provide a physical marker between their property (the proposed new athletic field and walking paths) and Camino de Cruz Blanca, and to reduce the chasing of errant balls that leave the field of play (perhaps into the street), all while using a visually transparent material that allows the public to look into the new field while walking or driving by. In the Historic Review Historic District, code requires the use of opaque materials such as adobe, masonry and coyote fencing, and we feel that this requirement is a hardship, particularly when the streetscape is looked at as a whole.

Staff response: Staff agrees with this statement.

3. Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

St. John's College is a unique private institution in Santa Fe in that it allows its sports facilities (i.e. athletic field, tennis courts and track) to be used by the public at large for events such as Music on the Hill. We feel that the use of visually transparent horse

fencing promotes this generosity in a way that a masonry wall or coyote fence cannot. Horse fencing is a well-established 'design option' in this particular streetscape, and it is currently used at the existing St. John's soccer field, existing Santa Fe Prep athletic field and several private residences fronting the street. We wish to continue using it for the proposed new athletic field as well.

Staff response: Staff agrees with this statement.

ANDREW LYONS
DESIGN AND DRAFTING
P.O. BOX 8858
SANTA FE, NEW MEXICO 87504
505-982-7999
andrew@andrewlyonsdesign.com

1 May, 2013

Historic Design Review Board
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

Re: Proposed Use of Horse Fencing at Proposed New Santa Fe Prep Athletic Field @ St. John's College

Dear Board Members,

Attached you will find my submittal on behalf of the property owner, St. John's College, for the use of horse fencing in several locations around the new athletic field that Santa Fe Prep is developing on land they are leasing from the College. Fencing is being proposed at the new field and walking paths, including alongside Camino de Cruz Blanca. Please note that while we are requesting an exception for this specific fencing material, all other aspects of the project are compatible with Historic regulations and can be administratively approved by Historic staff.

The project site is located in the Historic Review District, and metal wire fencing is specifically not permitted in this district per Land Development Code section 14-5.2 (F) (2) (g). However, we feel that a unique type of metal wire fencing known as 'horse fencing' is part and parcel of the existing Camino de Cruz Blanca streetscape between Camino del Monte Sol and the existing St. John's tennis courts, and we are therefore requesting an exception to this section of the code.

The proposed locations of the horse fencing at the project site include alongside Camino de Cruz Blanca for the length of the new athletic field, and several areas at the interior of the site in an attempt to limit chasing of errant balls that leave the field of play as well as protecting the safety of vehicular traffic in the adjacent roadway. The height of the proposed horse fencing within 20' of the street is limited to 56" above grade per Historic staff calculations, and we are not seeking any exception to this limitation.

Elsewhere on the project site, the proposed horse fencing will vary in height from 6' to 8' tall, while in one location an 8' tall section of fence will be stacked on top of a concrete retaining wall, for a total height not to exceed 12'. This is all in keeping with the underlying zoning regulations that apply to the site.

The fence is to be constructed using approximately 3" diameter pipe steel posts at roughly 8' on center, set in concrete-filled holes in the ground, and the metal wire itself will be of the smaller opening size that one sees currently at the Santa Fe Prep athletic field, with 2" x 4" spacing.

Per section 14-5.2 (C) (5) (b), there are three criteria that must be addressed:

(i) Do not damage the character of the district:

Along this specific stretch of Camino de Cruz Blanca, between Camino del Monte Sol and the existing St. John's tennis courts, the streetscape is dominated by horse fencing on both sides of the street, and that the installation of new horse fencing at the proposed new athletic field is in keeping with the existing streetscape.

(ii) Exception is required to prevent a hardship to the applicant or an injury to the public welfare:

St. John's College wishes to use horse fencing to provide a physical marker between their property (the proposed new athletic field & walking path) and Camino de Cruz Blanca, and to reduce the chasing of errant balls that leave the field of play (perhaps into the street), all while using a visually transparent material that allows the public to look into the new field while walking or driving by. In the Historic Review District, code requires the use of opaque, more expensive materials such as adobe, masonry and coyote fencing, and we feel that this requirement is a hardship, particularly when the streetscape is looked at as a whole.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts:

St. John's College is a unique private institution in Santa Fe in that it allows its sports facilities (i.e. athletic field, tennis courts and track) to be used by the public at large for events such as Music on the Hill. We feel that the use of visually transparent horse fencing promotes this generosity in a way that a masonry wall or coyote fence cannot. Horse fencing is a well-established 'design option' in this particular streetscape, and it is currently used at the existing St John's soccer field, existing Santa Fe Prep athletic field and several private residences fronting the street. We wish to continue using it for the proposed new athletic field as well.

Please don't hesitate to call me at 982-7999 if you have any questions regarding this submittal. Thank you for your time and consideration.

Sincerely,



Andrew Lyons

Cc: Todd Kurth, Santa Fe Prep
Brian Valentine, St. John's College
Peter Brill, PBI Construction Consulting

City of Santa Fe, New Mexico

**Historic
Districts
Review**

September

10, 2024

2024-

008990-

1160 Camino de

Cerrillos

Submittal

Remodel

29 July,
2024

To The Santa Fe Historic Preservation Division, Surroundings is working with Ameresco, who is the client representative for St. John's College, to request the installation of wind mesh on the new tennis and pickle ball courts. The courts were originally given administrative approval (case 2023-006684), but once they were complete, it was determined that the dark 96% opacity full-height mesh on the courts made them look too blocky. The College has since removed the mesh, but would like to replace it to improve the athletic experience for users. As part of the original proposal, we had selected another type of mesh, but it was determined that the new mesh was not a suitable color. The new mesh is a lighter green color called "Tennis Green" and will be installed on the outside of the fence. The mesh will be installed on the bottom and top two feet of the fence.

Amy
Field
Landscape
Architect, PLA, ALSA



PROPOSAL
LETTER

SITE PLAN WITH
PROJECT AREA

Historic Districts and
Historic Landmarks
Design Standards and Signage
Exception Criteria

(i) Do not damage the
character of the district

Response: A green windscreen will not damage the character of the district because it is a natural color with a level of transparency that blends with the surrounding turf fields and vegetation and will wrap sports courts that otherwise have very brightly colored pavings. Are required to prevent hardship to the applicant or an injury to the public welfare

Response: A green windscreen will help players be able to enjoy the courts during windy days, allowing the public to increase its health during a larger variety of weather conditions.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: A green windscreen will strengthen the unique character of the City by providing residents with the ability to play tennis and pickleball on windy days, making residing in the Historic District community more desirable.



VIEWS FROM CAMINO DE
CRUZ BLANCA

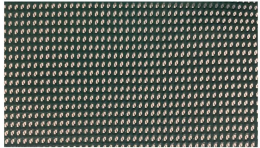
PHOTOS OF EXISTING TENNIS AND
PICKLE BALL COURTS



PHOTOS OF EXISTING TENNIS AND PICKLE BALL COURTS

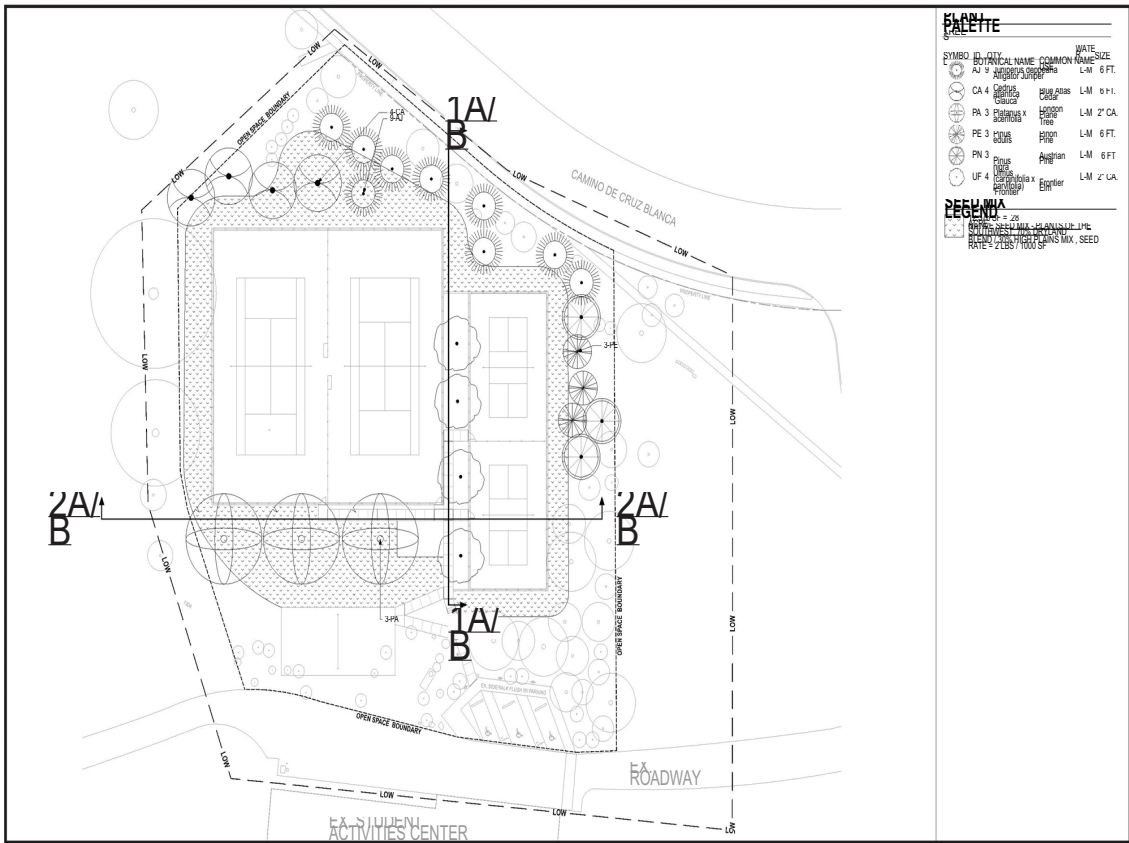


VIEW FROM CAMINO DE CRUZ BLANCA SHOWING
PROPOSED MESH INSTALLATION



CFABRIC - TENNIS SCREEN MESH SAMPLE - TENNIS
GREEN COLOR WITH 80% OPACITY

RENDERINGS OF TENNIS AND
PICKLE BALL COURTS



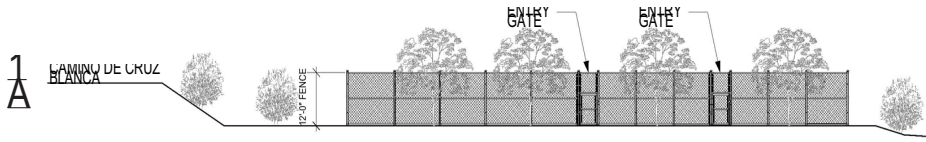
PLANT PALETTE

SYMBOL	ID	CITY	BOTANICAL NAME	COMMON NAME	DATE	SIZE
(Symbol)	A1	4	AMORPHICUM	DOGWOOD	L-M	6 FT.
(Symbol)	CA	4	CRATAEGUS	DOGWOOD	L-M	6 FT.
(Symbol)	PA	3	PISTACHIA	ALMOND TREE	L-M	2' CA.
(Symbol)	PE	3	PERSEA	AVOCADO	L-M	6 FT.
(Symbol)	PN	3	PISTACHIA	ALMOND TREE	L-M	6 FT.
(Symbol)	UF	4	ULMUS	ELM	L-M	2' CA.

LEGEND

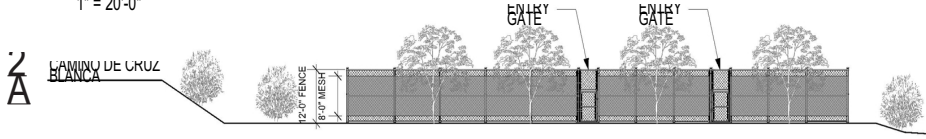
1. 20' - 25' MAX. - 20' BUNNIP. 1" PL.
 2. 15' - 20' MAX. - 15' BUNNIP. 1" PL.
 3. 10' - 15' MAX. - 10' BUNNIP. 1" PL.
 4. 5' - 10' MAX. - 5' BUNNIP. 1" PL.
 5. 2' - 5' MAX. - 2' BUNNIP. 1" PL.
 6. 1' - 2' MAX. - 1' BUNNIP. 1" PL.
 7. 1/2' - 1' MAX. - 1/2' BUNNIP. 1" PL.
 8. 1/4' - 1/2' MAX. - 1/4' BUNNIP. 1" PL.
 9. 1/8' - 1/4' MAX. - 1/8' BUNNIP. 1" PL.
 10. 1/16' - 1/8' MAX. - 1/16' BUNNIP. 1" PL.
 11. 1/32' - 1/16' MAX. - 1/32' BUNNIP. 1" PL.
 12. 1/64' - 1/32' MAX. - 1/64' BUNNIP. 1" PL.
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 78. 1/4722366482869645213696' - 1/2361183241434822606848' MAX. - 1/4722366482869645213696' BUNNIP. 1" PL.
 79. 1/9444732965739290427392' - 1/4722366482869645213696' MAX. - 1/9444732965739290427392' BUNNIP. 1" PL.
 80. 1/18889465931478580854784' - 1/9444732965739290427392' MAX. - 1/18889465931478580854784' BUNNIP. 1" PL.
 81. 1/37778931862957161709568' - 1/18889465931478580854784' MAX. - 1/37778931862957161709568' BUNNIP. 1" PL.
 82. 1/75557863725914323419136' - 1/37778931862957161709568' MAX. - 1/75557863725914323419136' BUNNIP. 1" PL.
 83. 1/151115727451828646838272' - 1/75557863725914323419136' MAX. - 1/151115727451828646838272' BUNNIP. 1" PL.
 84. 1/302231454903657293676544' - 1/151115727451828646838272' MAX. - 1/302231454903657293676544' BUNNIP. 1" PL.
 85. 1/604462909807314587353088' - 1/302231454903657293676544' MAX. - 1/604462909807314587353088' BUNNIP. 1" PL.
 86. 1/1208925819614629174706176' - 1/604462909807314587353088' MAX. - 1/1208925819614629174706176' BUNNIP. 1" PL.
 87. 1/2417851639229258349412352' - 1/1208925819614629174706176' MAX. - 1/2417851639229258349412352' BUNNIP. 1" PL.
 88. 1/4835703278458516698824704' - 1/2417851639229258349412352' MAX. - 1/4835703278458516698824704' BUNNIP. 1" PL.
 89. 1/9671406556917033397649408' - 1/4835703278458516698824704' MAX. - 1/9671406556917033397649408' BUNNIP. 1" PL.
 90. 1/19342813113834066795298816' - 1/9671406556917033397649408' MAX. - 1/19342813113834066795298816' BUNNIP. 1" PL.
 91. 1/38685626227668133590597632' - 1/19342813113834066795298816' MAX. - 1/38685626227668133590597632' BUNNIP. 1" PL.
 92. 1/77371252455336267181195264' - 1/38685626227668133590597632' MAX. - 1/77371252455336267181195264' BUNNIP. 1" PL.
 93. 1/154742504910672534362390528' - 1/77371252455336267181195264' MAX. - 1/154742504910672534362390528' BUNNIP. 1" PL.
 94. 1/309485009821345068724781056' - 1/154742504910672534362390528' MAX. - 1/309485009821345068724781056' BUNNIP. 1" PL.
 95. 1/618970019642690137449562112' - 1/309485009821345068724781056' MAX. - 1/618970019642690137449562112' BUNNIP. 1" PL.
 96. 1/1237940039285380274899124224' - 1/618970019642690137449562112' MAX. - 1/1237940039285380274899124224' BUNNIP. 1" PL.
 97. 1/2475880078570760549798248448' - 1/1237940039285380274899124224' MAX. - 1/2475880078570760549798248448' BUNNIP. 1" PL.
 98. 1/4951760157141521099596496896' - 1/2475880078570760549798248448' MAX. - 1/4951760157141521099596496896' BUNNIP. 1" PL.
 99. 1/9903520314283042199192993792' - 1/4951760157141521099596496896' MAX. - 1/9903520314283042199192993792' BUNNIP. 1" PL.
 100. 1/19807040628566084398385987584' - 1/9903520314283042199192993792' MAX. - 1/19807040628566084398385987584' BUNNIP. 1" PL.

PLANNING PLAN



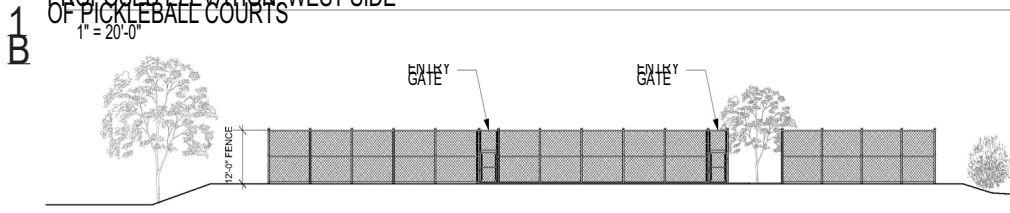
EXISTING ELEVATION: WEST SIDE OF
PICKLEBALL COURTS

1" = 20'-0"



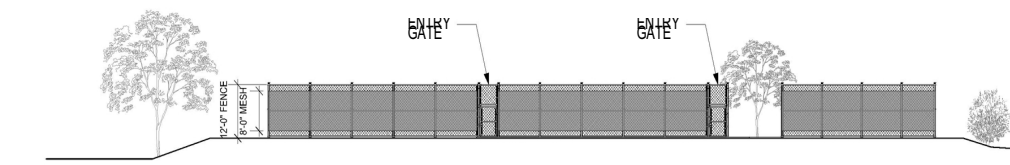
PROPOSED ELEVATION: WEST SIDE
OF PICKLEBALL COURTS

1" = 20'-0"



EXISTING ELEVATION: WEST SIDE OF
PICKLEBALL COURTS

1" = 20'-0"



PROPOSED ELEVATION: SOUTH SIDE OF
TENNIS + PICKLEBALL COURTS

1" = 20'-0"