



City of Santa Fe

AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
JUNE 25, 2024
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at www.youtube.com/@cityofsantafe. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2 pm on the day of the hearing.

1. ROLL CALL

2. APPROVAL OF AGENDA

3. APPROVAL OF MINUTES:

4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

- a. 330 Delgado Street (April 23, 2024)

5. MATTERS FROM THE PUBLIC

6. STAFF COMMUNICATIONS

- a. Historic Santa Fe Foundation Endangered Properties Program Presentation
- b. 275 E. Alameda Street

7. OLD BUSINESS

- a. 2024-008416-HDRB. 700 Acequia Madre. Downtown & Eastside Historic District. Significant, Spears Horn Architect, Christopher Bowen, agent for Santa Fe Public Schools, Gene Bostwick, propose to construct a 680 sq. ft. outdoor classroom to a height of 9'-10" where the maximum allowable height is 23'-0". An exception is requested to 14-5.2 (E) to construct a structure that does not meet the Downtown & Eastside Design Standards. (Gary Moquino, gsmoquino@santafenm.gov)
- b. 2024-008259-HDRB. 697 Gonzales Road. Downtown & Eastside Historic District. Liaison Planning, agent for Mark and Mallory Neuberger, owners, proposes to construct a 3,938 sq. ft. residence to a height of 15'-6" where the maximum allowable height is 16'-0" on a vacant lot. (Lani McCulley)

8. NEW BUSINESS

- a. 2024-008334-HDRB. 409 Camino Del Monte Sol. Contributing. Downtown & Eastside Historic District, Jeremiah Collatz, applicant,

requests a status review with primary façade(s) designation if applicable.
(Paul Duran, paduran@santafenm.gov)

- b. 2023-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing Historic Status. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable. (Lani McCulley, ljmcculley@santafenm.gov)
- c. 2023-008478-HDRB. 636 Garcia Street units 2 and 3. Downtown & Eastside Historic District. Non- stasured. Vigil Design & RPA & Associates, LLC, agents for Laurel Guy, owner, requests a historic status review with primary facade(s) designation if applicable. (Lani McCulley)
- d. 2024-008499-HDRB. 403 San Antonio Street. Non-Contributing. Downtown & Eastside. Spears Horn Architects, agents for Grete Meilnan, request a historic status review with primary elevation designation if applicable. (Hearther Lamboy hllamboy@santafenm.gov)

9. DISCUSSION ITEMS

10. MATTERS FROM THE BOARD

11. NEXT MEETING: Tuesday, July 9, 2024

12. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2024-8074-HDRB

Address – 330 Delgado St.

Agent’s Name – Jonathan Harris

Owner/Applicant’s Name – Jonathan Harris

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on April 23, 2024.

BACKGROUND

The Applegate house is a single-family residence at 330 Delgado St., listed as a contributing structure to the Downtown and Eastside Historic District, with the south elevation designated as the primary façade. The 1,565-square-foot Spanish-Pueblo Revival residence, built prior to 1928, is part of the Plaza Fatima Compound. Frank Applegate, a noted Santa Fe artist and co-founder of the Spanish Colonial Art Society, lived at the house from the mid-1920s until his death in 1931.

The residence is a flat-roofed building which steps up east to west. It has undulating parapets, two chimneys, metal-lined canales, six-over-six and nine-over-nine, double-hung windows, and a two-lite entry door. The western end of the structure appears to be the oldest portion, constructed of adobe. The west end of the entry hall formerly served as the residence’s main entry portal, which was enclosed in the 1970’s. The features and finishes of the southernmost end of the current kitchen suggest there was a secondary portal in this location that was also enclosed. The more recent kitchen is constructed of concrete block and 2 x 6 frame, while the guest room and the eastern portion of the entry hall are constructed of 2 x 6 frame.

Previous owners applied to build a master bedroom addition, 283 square feet, on the northwest under Case # H-01-131 in 2001, but the approval lapsed without the work being executed. In 2003, under Case # H-03-017, successive owners requested the renewal of the 2001 application, which was approved. It is fenestrated with nine-over-nine, double-hung sash windows, finished in brown, on the west elevation, and a true-divided-lite French door and two-over-six windows on the north elevation. Non-historic double-paned, double-hung windows, likely installed in 1982, on the south elevation and on the older part of the west elevation did not match the new windows on the west and north elevations.

In September of 2023, the current owner started replacing the windows on the south and older part of the west elevation with true-divided-lite windows, consistent with the newer windows on the 2003 master bedroom addition, but he did not have a building permit for this work. The Applicant received a notice of violation for unpermitted work, which also included re-stucco, roofing, installation of light tubes, and hardscaping. The Staff issued an administrative approval October 17, 2023, for the roof, stucco, hardscaping and light tubes. The Applicant now requests retroactive approval for the following exterior alterations:

1. Replace ten (10) non-historic windows on the south elevation with double-hung, true-divided-lite windows. The window fenestrations and sizes will remain the same.
2. Replace two (2) non-historic windows on the west elevation with casement windows with true divided lites. The window fenestrations and sizes will remain the same.
3. Paint all window trim on the property with a custom color similar to Farrow and Ball's "Bay Area Blue".
4. Install exterior solar-powered lighting at the pedestrian gate of the yardwall.

The Applicant further requests to:

5. Construct a freestanding 96-square-foot pergola to a height of 7'8" on the east of the residence in the courtyard. The pergola will be stained in natural wood finish.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The Board finds that the windows the Applicant proposes to replace, including those on the south, primary façade, are not historic, and that the Applicant does not propose to enlarge, reduce or close any existing door or window opening.

10. The information contained in the Staff Report, and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves Items # 1-5 as set forth in the application, as recommended by Staff.

IT IS SO ORDERED ON THIS 25th DAY of JUNE, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008416--HDRB

Project Description: 2024-008416-HDRB. 700 Acequia Madre. Downtown & Eastside Historic District. Significant, Spears Horn Architect, Christopher Bowen, agent for Santa Fe Public Schools, Gene Bostwick, propose to construct a 680 sq. ft. outdoor classroom to a height of 9'-10" where the maximum allowable height is 23'-0". An exception is requested to 14-5.2 (E) to construct a structure that does not meet the Downtown & Eastside Design Standards.

Project Location(s): 700 ACEQUIA MADRE
Santa Fe, NM 87501

Contacts:

Applicant: Christopher Bowen
1334 Pacheco Street
Santa Fe, NM 87505

doc_drop@lycos.com

Property Owner: Gene Bostwick

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: Significant/Landmark: True

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West:

Historic District Inventory Number: 2003

Year of Construction: 1953

Project Type: New Construction

Historic Building Name: Acequia Madre Elementary School

City of Santa Fe, New Mexico

memo

DATE: June 25, 2024
TO: Historic Districts Review Board Members
FROM: Gary Moquino, Planner Manager, Historic Preservation Division

2024-008416-HDRB. 700 Acequia Madre. Downtown & Eastside Historic District.
Significant, Spears Horn Architect, Christopher Bowen, agent for Santa Fe Public Schools, Gene Bostwick, propose to construct a 680 sq. ft. outdoor classroom to a height of 9'-10" where the maximum allowable height is 23'-0". An exception is requested to 14-5.2 (E) to construct a structure that does not meet the Downtown & Eastside Design Standards. (Gary Moquino, gsmoquino@santafenm.gov)

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff defers to the board whether the exception to Santa Fe Style shall be granted. Otherwise, the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

700 Acequia Madre, known as Acequia Madre Elementary School is listed as significant to the Downtown and Eastside Historic District. Acequia Madre Elementary School was designed by John Gaw Meem and constructed in 1953 in the Territorial Revival style.

On September 22, 2015, the Historic Districts Review Board (HDRB) approved installing a ground mounted solar array on the northeastern side of the significant property at a height of 9'-3".

Now, the applicant proposes the following:

Construct a 680 sq. ft. outdoor classroom to a height of 9'-10" where the maximum allowable height is 23'-0". The detached structure would be enclosed on 3 sides by pony walls with wind screens above composed of wood slats. Half of the 4th side, facing the existing school, is to be left open. The supporting structural members will be painted to match the existing blue accent paint on the school building windows. The low walls will match the beige color of the existing school. An exception is requested to 14-5.2 (E) to construct a structure that does not meet the Downtown & Eastside Design Standards.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2 (E). Staff request an exception to construct a structure that does not meet the Downtown & Eastside Design Standards.

(i) Do not damage the character of the district

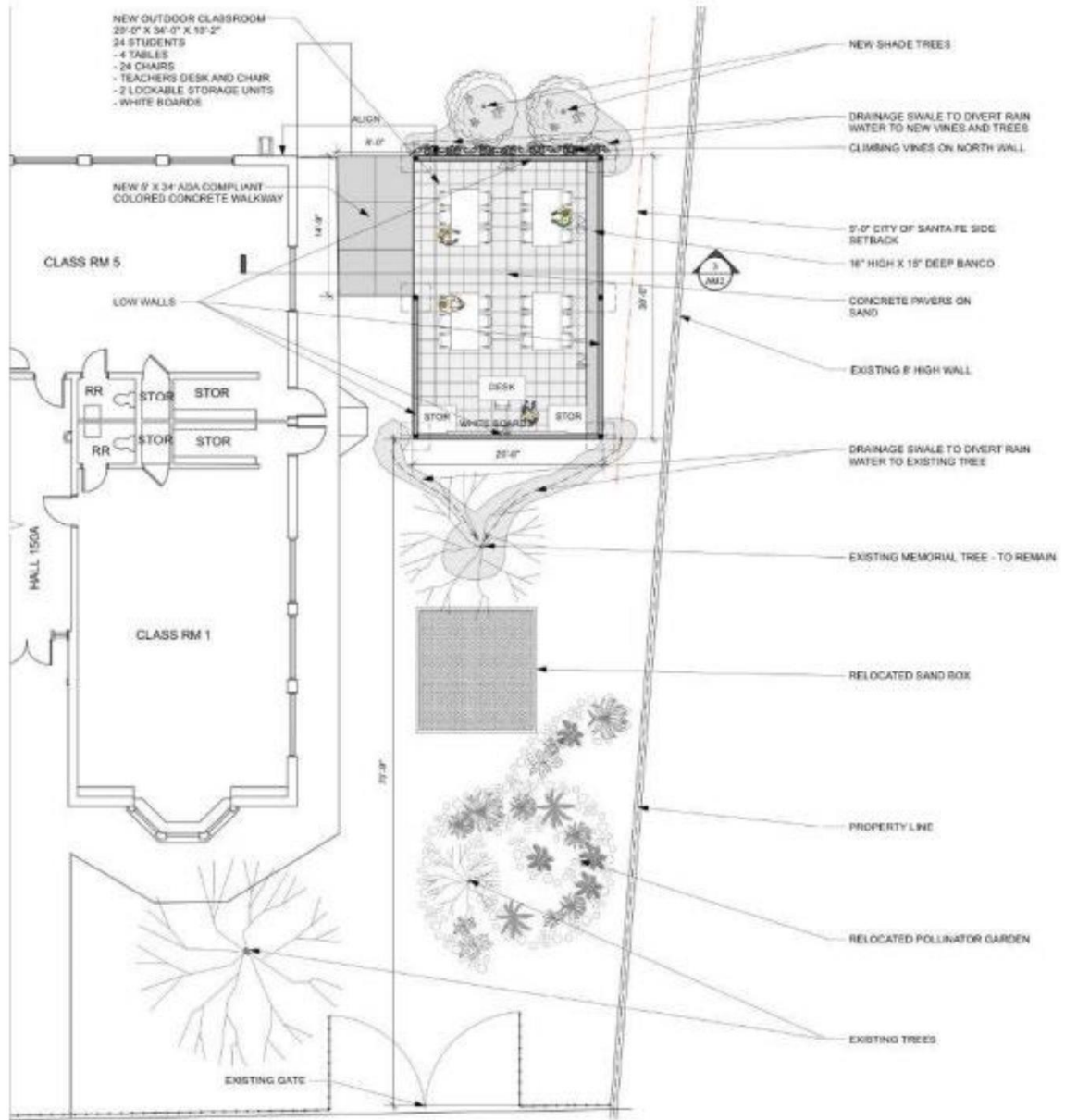
Applicant Response: Features that blend with the Existing Building:

- The low walls of the structure are to be stucco finished in a color to match the existing building.
- The metal posts and metal roof are to be painted to match the color of the window and door trim on the existing building.
- A solid banco is to be constructed inside the rear wall as a Santa Fe style feature.
- The water run off from the roof is to be channeled to help irrigate an existing memorial Catalpa tree, as well as plantings adjacent to the classroom, including climbing vines on the North side.



Minimize visual impact to neighborhood:

- The structure is to be offset from Acequia Madre Street by over 70’.
- The structure will be screened from the street by the existing Catalpa tree, as well as a relocated pollinator garden.
- At 12’-1” at the highest point, the building is well below the maximum height for the area.
- The structure is to be sited within all required setbacks.



Staff Response: Staff agrees with applicants statements. The colors and stucco texture will be the same as the existing significant building and the height is well below the maximum allowable height.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The proposed outdoor classroom is not an enclosed conditioned building. As such, it is intended to function more as a portal than a building. Applying building criteria to the structure would be both expensive and inappropriate for the function of the structure. As stated above, great efforts have been made to allow the structure to work visually with the existing building and to keep the visual impact to the neighborhood at a minimum.

Staff Response: Staff agrees with applicants statement. Health and safety is a concern for the students and staff.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Several roof designs were investigated during the design of the structure. Everything from single sloped roofs, oriented both North and South, and East and West, to stucco parapets were considered. It was clear that a hipped metal roof that reflects the roof over the existing bay window was the most sensitive to the aesthetic of the school. The low wall treatment was also investigated to provide the finish that blended best with the school and the neighborhood style. Wood or metal walls were considered. Ultimately it was decided that stucco finish to match the existing school building finish was the most harmonious option.



Staff Response: Staff agrees with applicants statement. The applicant has agreed to redesign the structure to match the existing structure as recommended at a previous hearing. The hip roof matched the design of the front bay window style and color.

RELEVANT CODE CITATIONS:

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING SUMMER OF 2003.**

**RESULTS OF THE SURVEY AS REFLECTED ON
THE ATTACHED HAVE NOT BEEN ADOPTED BY
THE HISTORIC DESIGN REVIEW BOARD. IT
SHOULD BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
11/04.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP SRCP Criteria: A B C D

1 Name of Property (Historic and/or current name for property) ACEQUIA MADRE SCHOOL	2 Location (Address or description of location) 700 ACEQUIA MADRE	3 Local Reference Number
		4 County SANTA FE

5 Property Type

Building Structure
 Site Object

6 Date of Survey
5 / 29 / 03

7 Previous Survey Date(s)
____ / ____ / ____
 No previous survey

8 Name of Project

9 UTM

Zone:
 Easting:
 Northing:



ROLL 1 #5 WEST & SOUTH

10 Photo Information

Negative Location: CITY OF SANTA FE View of: SOUTH FROM SW

Roll #: 1
 Frame #: 5

11 Brief Description of the Property (What is it?)

ORIGINAL SCHOOL BUILDING BY OFFICE OF JOHN GAW MEEM. BRICK COPING, WINDOW BAY AT EAST END AND METAL WINDOWS PART OF ORIGINAL. ADDITION IN 1960.

12 Who Uses the Property? (Current and historic users and uses made of property. Indicate cultural affiliation of users.)

ORIGINAL AND CONTINUING IN USE AS SCHOOL

13 Construction Date

Date: 1953 Known Estimated Source: JOHN GAW MEEM, SOUTHWESTERN ARCHITECT BY BAINBRIDGE BUNTING, 1983.

14 Setting

Suburban Rural Village Urban If Urban: Commercial Industrial Residential Public

15 Relationship to Surroundings Similar Dissimilar

Comments: SIMILAR MATERIALS AND COLORS. SINGLE STORY KEEPS IT FROM OVERWHELMING THE RESIDENCES. BIGGEST CONTRAST IS LARGE PARKING AREA.

Continued on other side

Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Additional Perspective (Photo, drawing, footprint, etc.; indicate north arrow when possible.)



ROLL 1 # 4 SOUTH

Notes: (if photo, include photo information, as in #10.)

R 1 # 4 : SOUTH

17 Surveyor (Your name, address, telephone number, and any group affiliation.)

GIOVANA BUCKLEY
505 465-0029

18 Owner (if known) and Other Knowledgeable People

(Provide contact information for persons known or believed to have information about property.)

SCHOOL
PRINCIPAL
989-5413

19 Is Property Endangered? Unknown No Yes How?

LOSS OF ORIGINAL WINDOWS PROPOSED BY CURRENT ARCHITECTS

20 Significance to Current Community Unknown None Low Moderate High

Describe: NEIGHBORHOOD ELEMENTARY SCHOOL HAS VALUE TO NUMEROUS FAMILIES, SO SOCIAL IMPORTANCE AS WELL AS ARCHITECTURAL.

21 Other Significance or Information of Interest (Such as historical, legendary, structural, former ownership, etc.)

ONE OF SCHOOLS IMPORTANT AS A GROUP NOMINATED TO THE NATIONAL REGISTER OF HISTORIC PLACES (MULT.PROP.,2001, SINCE DESIGNED BY MEEM FIRM AND REPRESENTATIVE OF POST WAR BUILDING.

22 National or State Register (See instructions for eligibility criteria.)

Is this property individually listed on a historic register? Unknown No Yes MULTIPLE PROPERTY LIST

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why?

23 National or State Historic District

Is this property in a historic district? Unknown No Yes

If yes: Contributing Non-Contributing Unknown

If 'yes,' what is name of district? SANTA FE State National

24 Supplemental Forms None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No.

District No.

3 Local Reference Number

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County

SANTA FE

5 Date of Survey

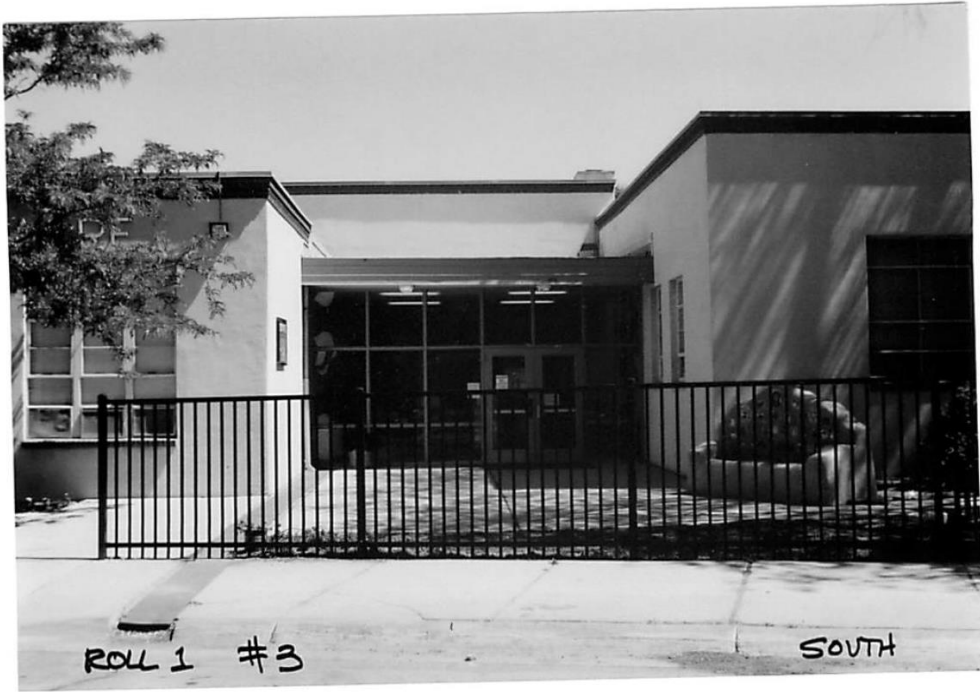
ACEQUIA MADRE SCHOOL

700 ACEQUIA MADRE

5-29-03



Continued on other side



Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Primary Architectural Style

- Not Applicable
- | | | | | |
|------------------------------------------------------|-----------------------------------------|----------------------------------------------|-------------------------------------------|---------------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern New Mexico | <input type="checkbox"/> Ranch | <input checked="" type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |
- Notes: Other: _____

17 Documents Available and Their Locations (Plans, histories, oral histories, maps, aerial photos, bibliographical references, etc.)

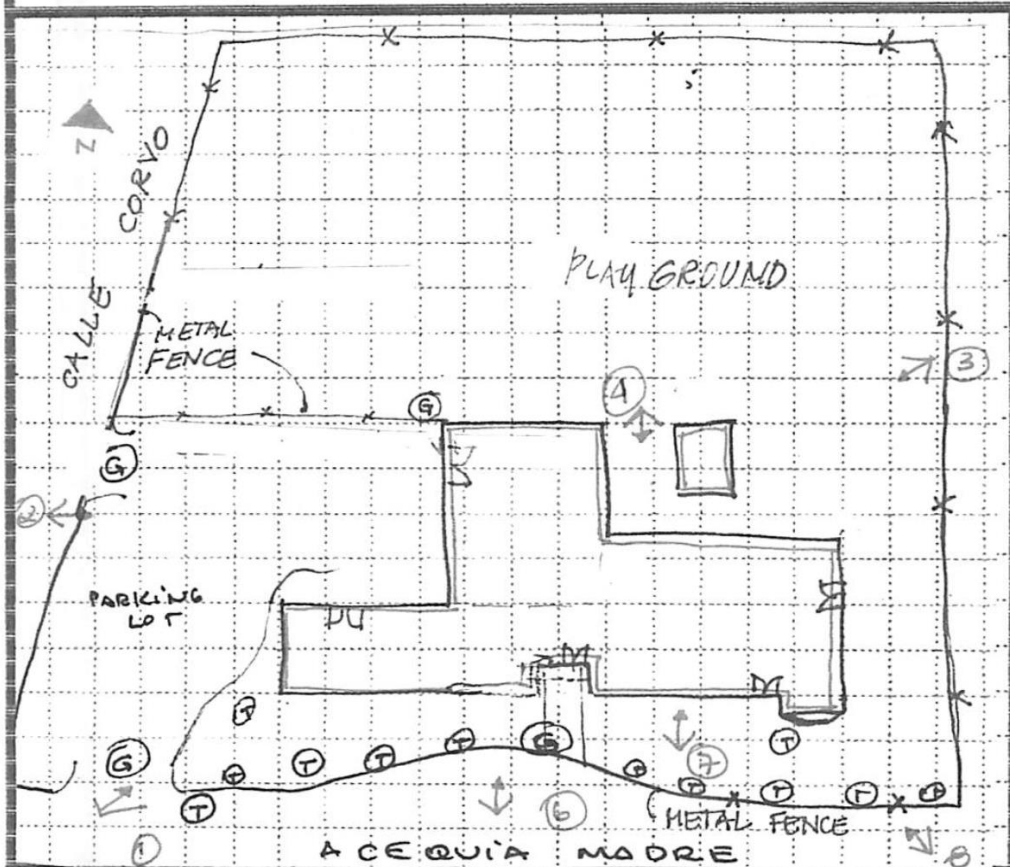
MULTIPLE PROPERTY NOMINATION AT STATE HISTORIC PRES DIVISION IN DRAFT FORM

SITE

18 Attached or Associated Properties (List & describe. Indicate whether surveys exist for these and provide survey numbers, if known.)

Are associated properties eligible for listing?

19 Site Plan



Please include:

- Footprint of building
- Porches and balconies
- Major landscape features
- North arrow
- Associated properties
- Walls, fences, gates
- Nearby roads
- Driveways

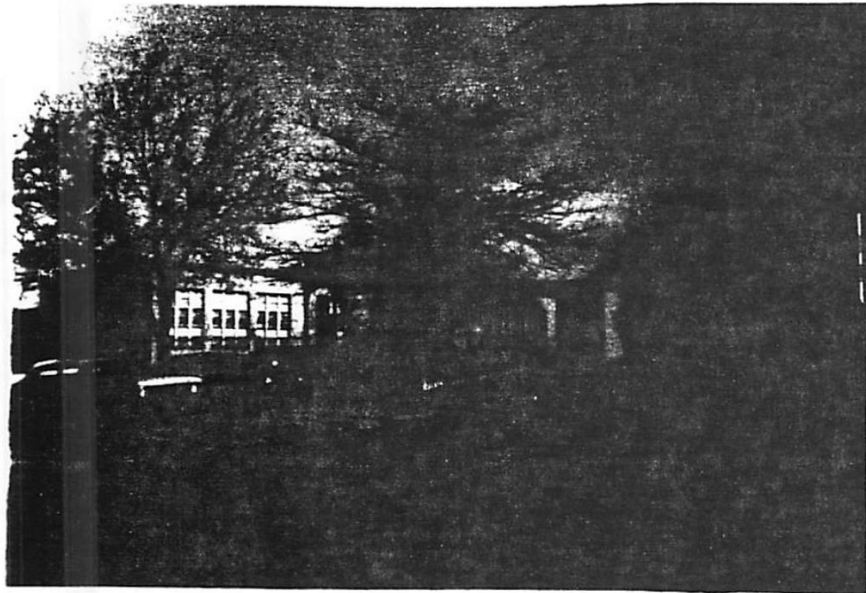
Notes:

LEGEND

- TREE
- GATE
- YARD WALL
- BUILDNG WALL
- DOOR
- PHOTO LOCATION
- NORTH ARROW

yes	date 13- VI -84 y ^m	county Santa Fe	ID no. 051611461	H65
film roll	number SFHD-6-1461	UTM reference zone 12 13	casting	nothing
location description			city/town	
700 ACEQUIA MADRE			SANTA FE	
			land grant/reservation	

building name	legal description
Acequia Madre School	tnsp N S range E W sec 1/4 1/4
film roll no. 17	loc. of neg. plan shape
negative no. 20	



date of construction	estimate 1953	actual
source		
use		
present	residential	
other		
historic	residential	
other		
condition		
excellent	good	
fair	deteriorating	

style	foundation material	degree of remodeling
	wall material/surface	minor moderate major
		describe:

architectural features	surroundings
	Res
	relationship to surroundings
	similar X not similar
	district potential
	yes no
	significance
	eligible of X none
	if eligible, interest

comments	why?
	associated buildings? yes
	what type?
	if inventoried, list ID nos.
	see back? yes

Property Number: 1903 — Final
LA Number(s):
HCPI Number(s):

**APPLICATION FOR REGISTRATION
NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES**

Historic Preservation Division
La Villa Rivera
228 East Palace Avenue
Santa Fe, New Mexico 87503
(505) 827-6320

1. Name of Property: Acequia Madre Elementary School

Other Name(s) for Property: NA

2. Location of Property:

County: Santa Fe

Municipality: Santa Fe

Address or Rural Location: 700 Acequia Madre Street

Congressional District: 3

Vicinity of:

Not for Publication: Zip: 87505

3. Ownership of Property: (Check one or more as appropriate)

Private: State: Federal: Multiple:

Name: Santa Fe Public Schools

Address: 610 Alta Vista Street, Santa Fe, New Mexico

Zip: 87505

Name:

Address:

Zip:

Occupant, Tenant, Manager, or Contact:

Name: Principal Bill Beacham

Address: 700 Acequia Madre Street

Zip: 87505

4. Accessibility of Property:

Open to

the Public:

Not Open

to the Public:

Visible from a

Public Thoroughfare:

5. Location of Legal Description for Property:

Courthouse, Deed Registry, etc.: Santa Fe County Courthouse

Street and Number: 102 Grant Avenue

City, Town, Zip Code: Santa Fe, New Mexico, 87504

6. Category of Property:

District Buildings: Structure: Site:

Object: Collection: Other (Specify):

Historic District:

7. Present Use of Property: (Check one or more as appropriate)

Agricultural:	<input type="checkbox"/>	Governmental:	<input type="checkbox"/>	Museum:	<input type="checkbox"/>	Scientific:	<input type="checkbox"/>
Commercial:	<input type="checkbox"/>	Grazing:	<input type="checkbox"/>	Park:	<input type="checkbox"/>	Transportation:	<input type="checkbox"/>
Educational:	<input checked="" type="checkbox"/>	Industrial:	<input type="checkbox"/>	Residential:	<input type="checkbox"/>	Work in Progress:	<input type="checkbox"/>
Entertainment:	<input type="checkbox"/>	Military:	<input type="checkbox"/>	Religious:	<input type="checkbox"/>	Other (Specify):	<input type="checkbox"/>

FORM A
APPLICATION FOR REGISTRATION

8. Present Condition of Property: (Check one or more as appropriate)

Excellent: Deteriorated: Altered: Moved:
Good: Ruins: Unaltered: Date Moved:
Fair: Unexposed: Vandalized:

9. Present and Original Physical Appearance of Property: Provide a detailed description of the archaeological and/or architectural features present, include construction dates, dates of significant alterations, extent of any vandalism, etc. **See continuation sheets 9-4 through 9-11.**

10. Summary of Property Data:

Period of Significance: 1953-1965 (2006)

Significant Dates: 1953/54; 1956; 1964/65

Culture/Period/Phase: N/A

Architect/Builder: John Gaw Meem, architect, 1953; Richard Halford, architect, 1964-65 addition

11. Thematic Classification (Check one or more as appropriate)

Archaeology-Prehistoric:	<input type="checkbox"/>	Economics:	<input type="checkbox"/>	Philosophy:	<input type="checkbox"/>
Archaeology-Historic:	<input type="checkbox"/>	Education:	<input checked="" type="checkbox"/>	Politics/Government:	<input type="checkbox"/>
Agriculture:	<input type="checkbox"/>	Engineering:	<input type="checkbox"/>	Religion:	<input type="checkbox"/>
Architecture:	<input checked="" type="checkbox"/>	Exploration:	<input type="checkbox"/>	Science:	<input type="checkbox"/>
Art:	<input type="checkbox"/>	Industry:	<input type="checkbox"/>	Sculpture:	<input type="checkbox"/>
Commerce:	<input type="checkbox"/>	Invention:	<input type="checkbox"/>	Settlement:	<input type="checkbox"/>
Communications:	<input type="checkbox"/>	Landscape-Architecture:	<input type="checkbox"/>	Social/Humanitarianism:	<input type="checkbox"/>
Community-Planning:	<input type="checkbox"/>	Law:	<input type="checkbox"/>	Theater:	<input type="checkbox"/>
Conservation:	<input type="checkbox"/>	Literature:	<input type="checkbox"/>	Transportation:	<input type="checkbox"/>
		Military:	<input type="checkbox"/>	Other (Specify):	
		Music:	<input type="checkbox"/>		

12. Significance of Property: Trace significant archaeological or historical trends, developments, events, or historically significant persons associated with property, reference documentary sources, etc.

See continuation sheets 12-12 through 12-13.

13. Bibliographical References: See continuation sheet 13-14.

14. Geographical Information:

Map Reference: (*Santa Fe, NM* USGS 7.5' Quad)

Legal Description: (Describe to the nearest 1/4 1/4 1/4 Section (10 acres)

Legal boundary description kept on file with Santa Fe Public Schools Administration.

Township: 17N Range: 9E Section: 8 Subdivision: NE1/4

Acreage of Property: 3.13-acres Lat 35.680 N 105.928 W

UTM Coordinates: (legal boundary description kept on file with Santa Fe Public Schools Administration)

A. 1|3|4 1|5|8|9|4 E 3|9|4|8|70|6 N

**FORM A
APPLICATION FOR REGISTRATION**

15. Geographical Data

Verbal Boundary Description: Legacy boundary description kept on file with Santa Fe Public Schools Administration and is illustrated on accompanying plat map (Figure 9-4).

Verbal Boundary Justification: The nominated property includes land historically associated with the school, as illustrated on the plat map.

16. Photographs: See continuation sheets 16-15 through 16-16.

17. Future Research Questions: (If applicable, develop a list of questions that could be pursued by future researchers)

18. Application Submitted By:

Name: Catherine Colby

Date: November 3, 2006

Organization: Catherine Colby Consulting

Address: 906 Don Miguel Place

Zip: 87505

Phone: 505-989-7838

Inventory Data By: Catherine Colby

Date: November, 2006

19. National Register Eligibility:

Yes: No:

Criteria A: B: C: D:

Area of Significance: Education, Architecture

This Space for Cultural Properties Review Committee Use Only

Date Application Received: Complete: Incomplete:

Committee Action:

State Register:

Tabled:

Date: December 8, 2006

National Register Recommendation:

Rejected:

Approved:

Committee Chairman: Estevan Rael-Galvez

Date: December 8, 2006

Comments: Unanimous motion that the school is eligible for the National Register of Historic Places

**(8-86) APPLICATION FOR REGISTRATION
NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES****CONTINUATION SHEET**

Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Present and Original Physical Appearance of Property

Acequia Madre Elementary School is located southeast of the Santa Fe Plaza on the street of the same name. The school is a multi-massed one-story stuccoed building with flat roofs and brick coping at the parapets. First constructed in 1953, the original building received additions in 1964-65 and 2004 without adversely affecting the original scheme. Despite alterations, the façade of the building, built between 1953 and 1964-65, remains characteristic and dominant. The interior has undergone only minor alterations, and the building retains most of its character-defining features. It has a high degree of integrity as to its location, setting, workmanship, materials and association.

Setting

Acequia Madre Elementary School is situated in the heart of a residential neighborhood composed of early- to mid -20th century houses designed dominantly in the Pueblo Revival and Territorial Revival styles. The Acequia Madre, an ancient irrigation ditch, runs just south of the school, giving the street and the neighborhood its name. In the 19th century, the land supported orchards, with relic trees from this period still seen in neighboring properties.

The school faces south onto Acequia Madre Street, and is positioned at the south edge of a 3.13-acre lot, (Figure 9-1.) A curved drop-off driveway is separated from the street by a small traffic island. Concrete sidewalks lead through front gates to the entry and around the building, (see photo 7). The curved drive and concrete walkways were included in the original design and thus are contributing landscape features.

A row of deciduous trees grows in front of the south elevation. Parking and playground areas are located respectively at the west and north sides of the building. The playground facilities include basketball courts, an asphalt surfaced activity area and a running track in the northwest corner, as well as a narrow strip east of the building. A demonstration adobe structure in the north play area and the three portable buildings are noncontributing. Other noncontributing structures include the equipment of the playground areas and basketball courts, and the masonry bench near the south entry. Calle Corvo defines the west edge, and to the north and east residential properties are separated from the school property by high walls and fences.

Exterior

The long front elevation of the building measures 270 feet (Photo 1). The masonry wings flank the recessed, glazed entry system, which presents a broad metal fascia at the overhang above it. The mullions, doors and fascia of the overhanging flat roof over the entry are painted blue. The entry wall is a steel system consisting of a pair of metal/glazed doors and fourteen fixed windows. The horizontality of the façade is also punctuated by the inset secondary entrance located at the east end in the angle of the kindergarten classroom that projects forward. The bay window mullions and bay window roof accentuate the east end of the facade (Photo 3).

**APPLICATION FOR REGISTRATION
NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES****FORM A
Revised 09/05/03****CONTINUATION SHEET****Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Painted blue like the entrances, they provide contrast to the beige solid masses in which the windows are white. The two masonry sections are divided into bays holding groupings of three eighteen-light windows, each group of three corresponding to a classroom (Photos 2-4.)

The narrow east elevation reveals one grouping of three 18-light windows, a pair of doors aligned with the central hallway and one eighteen-light window (Photo 3.) A rhythm of a group of three windows at classrooms and smaller windows at secondary spaces continues at the north elevation of the east wing, (Photo 4.) The windows of the first two phases of construction each include red brick lug sills. The classrooms of the east wing are expressed in the same bays along the north side.

Near the corner where the gymnasium projects north are the steps to the basement rooms. Windows were replaced in similar configurations in 2004. The gymnasium receives daylight through four narrow, four-light steel windows. The fenestration of the north and east elevations of the 2004 addition introduces distinct window proportions while continuing the basic system of punched openings in masonry masses capped with brick coping (Photo 5.)

The north entry mass contains small, horizontal units of three sashes and four fixed square openings arranged in a square. The third distinctly proportioned windows are a pair of single hung windows. The glazed system at the north side, comprised of two large lights surrounded by 12 lights, two of which are operable, relates to that of the original entry (Photos 6 & 11.) A red brick wing wall projects out from the west entry. The west wall of the west wing, built in 1963 lacks openings and is covered with a 26x10' fresco painted by Frederico Vigil as an Art in Public Places project in 1989 (Photo 6.) Entitled Acequia Madre, it commemorates the importance of the primary feature of Santa Fe's historic irrigation system, the "mother ditch," which flows next to the opposite side of the street in front of the school.

The first two phases of construction utilized reinforced concrete and concrete masonry units in the walls, concrete floors except wood flooring in the classrooms, and flat built up roofs. The first section was erected over the basement rooms, which is reached at the north side of the east wing and from interior stairs. The walls and roof of the 2004 addition are steel-frame construction, while floors are concrete covered with vinyl or carpet.

The school contains a variety of steel doors of varying arrangements of glazed panels. At the south, primary entrance, the steel door presents glazing above and below. The opening displays Territorial Revival details trimmed with rectangular wood columns and lintel. The door opening at the east end of the original wing is composed of four horizontal lights topped with a pediment. Continuing in the Territorial Revival idiom, the new north elevation doors have lights above and below and a transom. The west doors are surrounded by seven fixed lights.

(8-86) **APPLICATION FOR REGISTRATION**
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Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Interior

The main entry leads to the central corridors and to the gymnasium/auditorium directly opposite the entrance. The interior of the school building now contains ten classrooms, a library, an auditorium/gymnasium, offices, computer, art, music rooms and secondary spaces. Inside the entrance above the doors leading to the gymnasium is a mural painted in 1953 by Harry G. Miller entitled "The Enchantment of childhood" (Photo 8.) The auditorium/gymnasium features a molded proscenium arch with flanking doors permitting access backstage. The east corridor contains fixed windows allowing light into the hall from the day-lit classrooms on each side (Photo 9). While the east hall walls are plastered, in the west hall the concrete masonry unit construction is exposed and painted (Photo 10). The floors of the corridors, stairs and computer, art and music rooms are reinforced concrete, while the classrooms in the south wings have wood floors surfaced with carpet.

Regional Style

The design of Acequia Madre is a restrained Territorial Revival style with an economical use of the details characteristic of the style. The features of the style are drawn from Greek Revival elements introduced during New Mexico's territorial period from 1848 until statehood in 1912, including brick coping and milled wood trim at openings. Containing costs, however, was a major consideration in the construction of the schools. These constraints forced Meem to use Territorial Revival detailing sparingly, while successfully conveying the essence of the style's features. Acequia Madre school is a good example of how using the classically-inspired wood elements in only two locations and including sidelights at the secondary doorway along with capping the building with decorative brick coping were sufficient to indicate the Territorial Revival on an essentially modernist building with modern steel fenestration.

Evolution

The school building shape is irregular, with additive massing of numerous sections at varying heights but unified by the red brick copings. The original L-shaped portion of the building, completed in 1953, includes the south entry lobby, the east wing, and the gymnasium/assembly space projecting north (Figure 9-2). At the southeast end of the east wing, the kindergarten classroom projects forward and is further emphasized by a large bay window. When the second wing flanking the entry and extending to the west was added in 1964-65 after a design by Richard Halford, it continued the strong horizontality, proportions, and detailing of the existing façade of the east wing. The third addition of 2004 is set back five feet from the rear of the west end of the building, partially set into the angle formed by the west wing and gymnasium (Figure 9-3). This produces an irregular footprint that still preserves the front elevation consisting of the two wings flanking the recessed entry.

Like all the Santa Fe school buildings designed in John Gaw Meem's office, the original floor plan of Acequia Madre was intended to allow for incremental growth. The location of the future west wing was anticipated and indicated on a sketch of 1953 (Figure 9-4). The architects sketched the proposed L-shaped building and dashed in the future addition directly on a copy of the survey prepared by James C. Harvey. The

(8-86) **APPLICATION FOR REGISTRATION**
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original portion of the Acequia Madre building was a single wing of eight classrooms facing a central hall and attached to a core area containing offices and a main entry space. Directly north of the entry lobby was the taller gymnasium/assembly building. The west wall of the entry was also glazed, as shown in the photograph taken by Eleanor M. Scott in 1955 (Figure 9-2). A decade later when it was time for the addition, it was reduced to a three-classroom addition in the same location as the larger wing had been planned. Though the architect was Richard Halford, the addition continued the design features of Meem's original wing. At the north side, the two previous exterior elevations that are now interior walls were the west side of the gymnasium and the north wall of the west hallway. Therefore, no classroom fenestration was affected by the latest addition.

Integrity

Acequia Madre Elementary School retains the character-defining elements as to location, setting, design, materials and association. The exterior materials and the original footprint of the building are those that existed during its period of significance. The addition of 2004 does not diminish the integrity of the building, particularly its façade. Temporary buildings located behind the school do not obstruct a full view of the original school building's facade and do not diminish the integrity of the original building.

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NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES

CONTINUATION SHEET

Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Figure 9-1: Site Plan (2006)

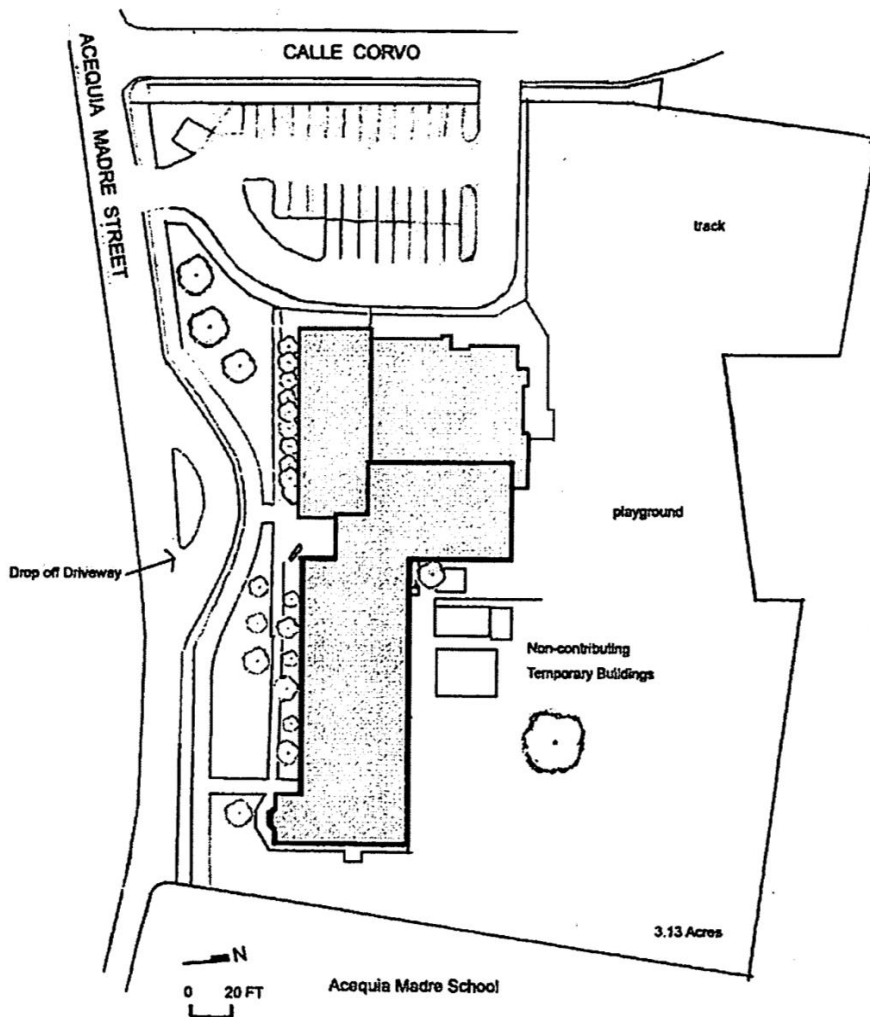


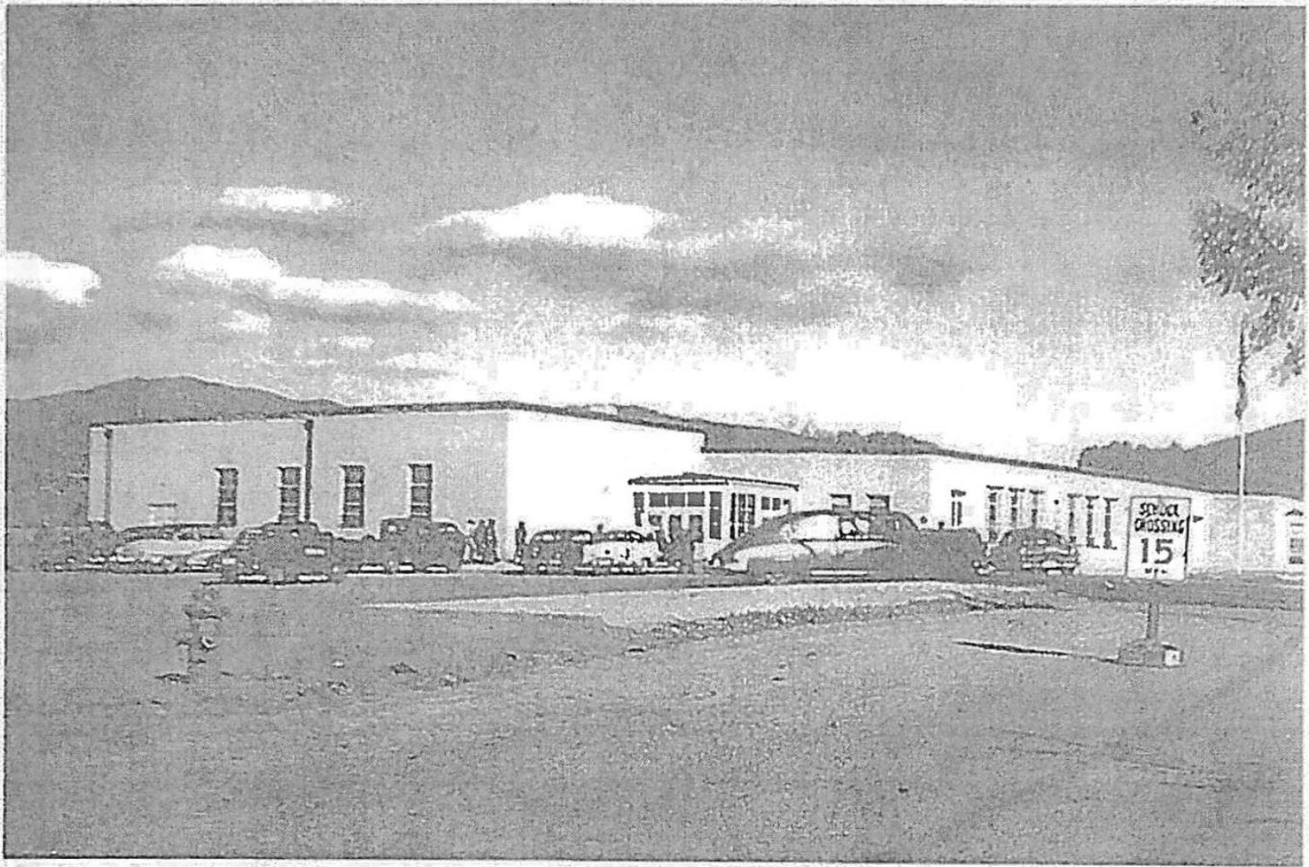
Figure 1 Site Plan Sketch

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NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES

CONTINUATION SHEET

Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Figure 9-2: 1955 Photograph of School Showing Original 1954 Building



CONTINUATION SHEET

Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Figure 9-3: Evolution of Building Plan (2006)

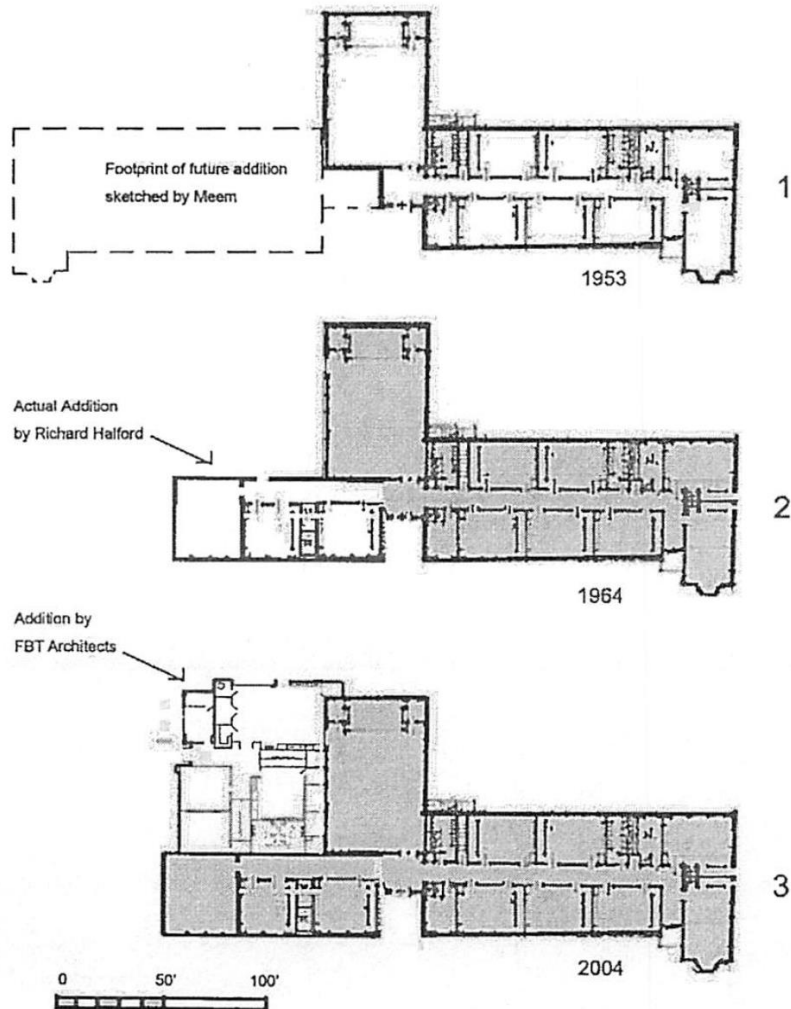


Figure 3 Building Evolution Sketch

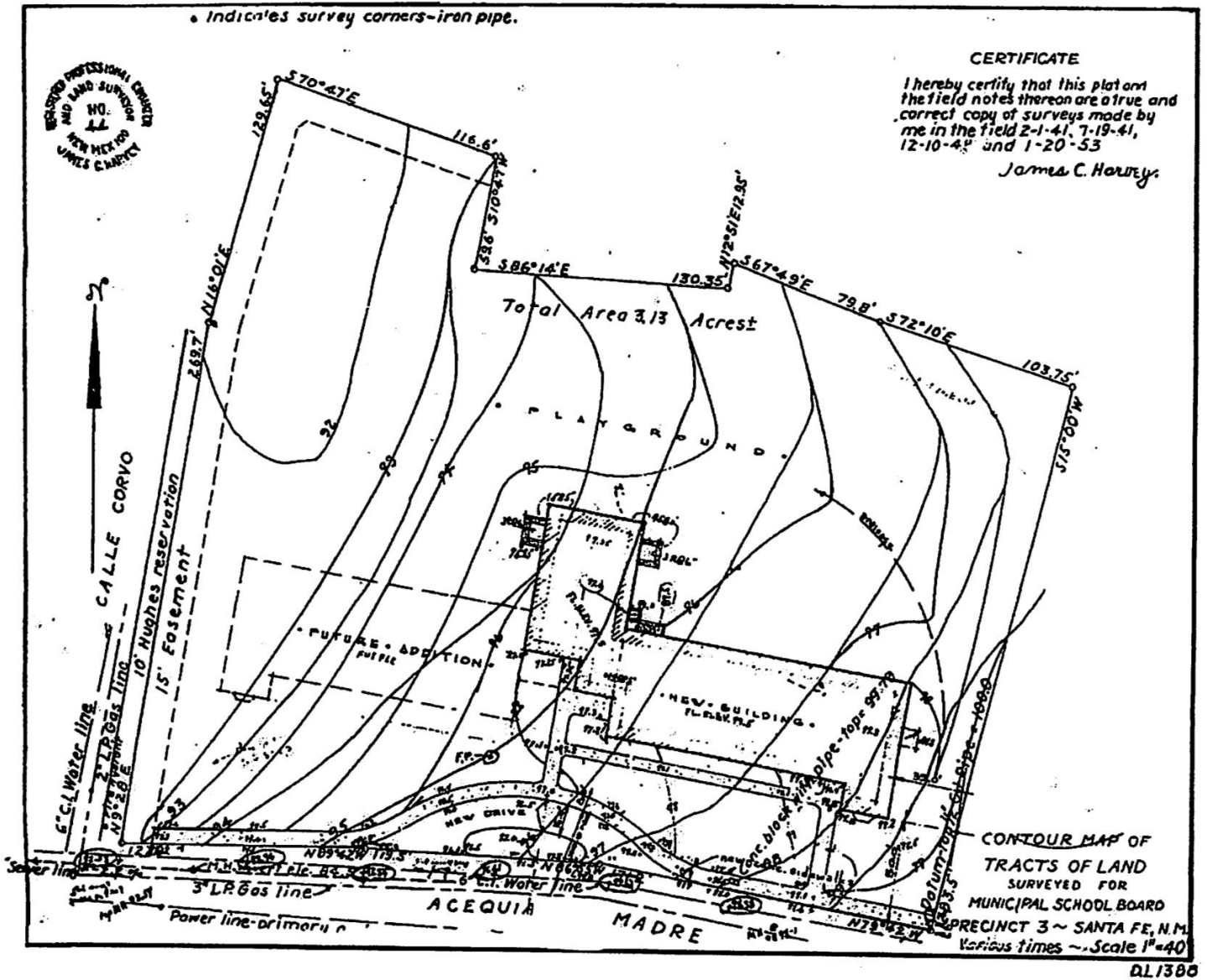
(8-86) APPLICATION FOR REGISTRATION
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Property: Acequia Madre Elementary School, Santa Fe, Santa Fe County
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Figure 9-4: Plat Showing Place for Future Addition (1941)



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Property

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Significance of Property

Constructed between 1953 and 1964-65, Acequia Madre Elementary School represents the Santa Fe Board of Education's attempt to solved overcrowding by using federal aid to build new schools. Designed by architect John Gaw Meem, Acequia Madre represents the architect's restrained use of Territorial Revival details. Despite additions to the building, Acequia Madre Elementary School retains integrity of location, materials, workmanship, feeling and association to communicate its historical and architectural significance. Acequia Madre Elementary School is eligible for the State Register of Cultural Properties under Education and Architecture, meeting the register requirements under the *Historic and Architectural Resources of the Santa Fe, New Mexico, Public Schools* (HPD 1802).

Context

As early as 1940, the Santa Fe Board of Education had anticipated a need for a school at this location, purchasing three adjoining lots along Acequia Madre Street to construct a new facility. The onset of World War II, however, delayed construction of a school. After the war federal funds became available to communities that had experienced sudden population growth due federal projects.¹ Correspondence between the school board and architect indicate that another site was under consideration. However, "due to the difficulties that might be encountered in attempting to change the site," the school board agreed to develop the Acequia Madre location.² Federal aid generously underwrote the construction of the \$126,183 school.

When Acequia Madre Elementary School opened in 1954, it marked the completion of the Santa Fe Board of Education's efforts to relieve crowding, by building four new schools in five years. Built to accommodate approximately 160 to 175 pupils, Acequia relieved the crowded classroom conditions at nearby Wood-Gormley and Manderfield schools.³

The ambitious schedule reflected the board's efforts to identify and meet the needs of Santa Fe's expanding population, yet at the same time kept the cost of construction under control by using the a plan developed by John Gaw Meem at each location. To achieve this, Meem came up with a system of expandable modules projecting future growth. As illustrated at Acequia Madre, classrooms flanking a central hall made up the basic classroom module to which entry, offices and gymnasium could be added later.

Before Acequia Madre's construction, John Gaw Meem's firm, Meem, Zehner, Holien, had prepared in 1946 a report on the status of Santa Fe's public schools. By assessing the school's safety, ventilation, lighting and sanitation systems, Meem and his partner, Zehner were familiar with the overall plans, physical shortcomings, future requirements and replacement values of the schools. They additionally had the benefit of understanding the need for long-range planning, a concept that would influence the design of Acequia Madre.

¹ Dan Russel, "New Acequia Madre School to Open" *The New Mexican*. January 3, 1954: 1.

² T.C. Bird letter to Meem, Zehner, Hollen and Associates. January 15, 1953.

³ Dan Russel, "New Acequia Madre School to Open" *The New Mexican*. January 3, 1954: 1.

CONTINUATION SHEET

Property

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National goals for school modernization urged standardization and the use of new fire-resistant materials, expanded play areas and an effort to create a special place for kindergartens. Meem's design accommodated each of these goals and created a special kindergarten classroom, highlighted by the most decorative feature of the building — a bay window.

When Acequia Madre Elementary School opened on January 5, 1954, it was hailed by the newspaper as "one of the most modern grade schools in the southwest." Features touted in the newspaper included the decorative tile floor in the kindergarten, the Harry Miller Mural, a "safety loading zone driveway," indirect fluorescent lighting, and central heating with recessed radiators in each room.⁴ The newspaper noted also that the size of the school could be doubled in the future by a plan that allowed for the addition of new classrooms.

The anticipated addition of 1964-65, however, had little to do with neighborhood growth. Instead, Acequia Madre School played a role in the evolution of Santa Fe School's policy for Special Education students. Prior to decisions about full inclusion and the belief that Special Education students should be mainstreamed, the west three-room addition housed approximately 50 special education students bussed from all over the city. After the school board changed its policy, the rooms were converted into additional classrooms and the school's library.

Acequia Madre Elementary School is an example of the increasingly rare older small schools that have strong community support as well as historical and architectural significance. Plans to close the school have surfaced over the past 20 years, but committed parents hope that its location and architectural value will continue to keep it in use as a neighborhood. Recognizing and preserving Acequia Madre school is a step toward preserving Santa Fe's architectural legacy.

⁴ Ibid.

**APPLICATION FOR REGISTRATION
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Bibliography

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Bunting, Bainbridge, *John Gaw Meem, Southwestern Architect*, Albuquerque: University of New Mexico Press, 1983.

Meem, John Gaw. Job Files, no date. Correspondence in Meem Manuscript Collection, Center for Southwest Research, University of New Mexico.

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Santa Fe Board of Education. Minutes of the Santa Fe Board of Education Meetings. 1930-1954.

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CONTINUATION SHEET

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Photograph Log

The following information pertains to all photographs unless otherwise noted:

Acequia Madre Elementary School

Santa Fe County, New Mexico

Catherine Colby

November, 2006

New Mexico Historic Preservation Division, Santa Fe (digitally generated photographs)

Photo 1 of 11

Southwest elevation (1)

Camera facing northeast

Photo 2 of 11

Southwest Elevation (2)

Camera facing northeast

Photo 3 of 11

Southeast corner & east elevation

Camera facing northwest

Photo 4 of 11

North elevation of east wing

Camera facing southwest

Photo 5 of 11

North elevation at west end

Camera facing southwest

Photo 6 of 11

Southwest corner

Camera facing northeast

Photo 7 of 11

Concrete walks at south

Camera facing east

Photo 8 of 11

Mural by Harry G. Miller, 1953

Camera facing north

**APPLICATION FOR REGISTRATION
NEW MEXICO STATE REGISTER OF CULTURAL PROPERTIES**

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CONTINUATION SHEET

Property

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Photo 9 of 11

East hall interior

Camera facing east

Photo 10 of 10

West hall interior

Camera facing east

Photo 11 of 11

West door system

Camera facing west

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

July 28, 2015

H-15-067B

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-15-067B**Address-700 Acequia Madre****Agent's Name- Lisa Randall****Owner/Applicant's Name- Santa Fe Public Schools**

THIS MATTER came before the Historic Districts Review Board ("Board") for hearing on September 22, 2015.

BACKGROUND & SUMMARY:

700 Acequia Madre, known as Acequia Madre Elementary School, was designed by John Gaw Meem and constructed in 1953 in the Territorial Revival style. The building is listed as significant to the Downtown & Eastside Historic District.

On July 28, 2015, the HDRB postponed action on the construction of a ground-mounted solar array for redesign. Now, the applicant proposes to use Capital Outlay funds to construct the free-standing array to a maximum height of 9' 3" reduced from 11' 9". The allowable height includes only the school building within the streetscape which is approximately 23' high. The array will be located at the northeast rear corner of the property with limited visibility from Acequia Madre. The substructure of this accessory structure will be constructed with earth-toned steel and concrete in a simplified design with the angled supports deleted. An exception is requested to construct a structure not in Santa Fe Style.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Zoning staff determined that the Application meets underlying zoning standards.
3. Staff Recommendation: Staff recommends approval of the request for an exception to Santa Fe Style. Otherwise, this application complies with Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing
4. The project is subject to requirements of the following sections of the Santa Fe Land Development Code: Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing. The property is located in the following district:
 - Downtown and Eastside Historic District
 - Historic Review District
 - Historic Transition District
 - Don Gaspar Area Historic District
 - Westside-Guadalupe Historic District
5. An Exception Request was Applicable to this Application:
 - No Exception Request Applicable

Exception Request Applicable:
 Exception criteria were met
 Exception criteria were not met

6. Under Sections 14-2.6(C), 14-2.7(C)(2), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f) and 14-5.2(C)(3)(b), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.
8. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approved the Application as recommended by Staff.
 - a. No additional conditions.
 - b. Additional Conditions, which are:
 1. the condition that a wall 8'6" high can be built, separating the school property from the neighbors to the north.

IT IS SO ORDERED ON THIS 13th DAY OF October 2015, THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia

Chairperson

10.13.15

Date:

FILED:

Yolanda Y. Vigil
Yolanda Y. Vigil
City Clerk

10/14/15

Date:

APPROVED AS TO FORM

Zay

Assistant City Attorney

10-13-15

Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

Peter N. Ives, Mayor Pro Tem, Dist. 2
Patti J. Bushee, Dist. 1
Signe I. Lindell, Dist. 1
Joseph M. Maestas, Dist. 2
Carmichael A. Dominguez, Dist. 3
Christopher M. Rivera, Dist. 3
Ronald S. Trujillo, Dist. 4
Bill Dimas, Dist. 4

Project description: Lisa Randall, agent for Santa Fe Public Schools, owners, proposes to install a ground-mounted solar array at a maximum height of 9'3" at a significant property. An exception is requested for a structure that does not harmonize with Santa Fe style (Section 14-5.2(E)).

Case number: H-15-067B
Project Type: HDRB

PROJECT LOCATION (S): 700 Acequia Madre

PROJECT NAMES:

OW – Santa Fe Public Schools
Santa Fe, NM 87505

2195 West Zia Road
505-204-1925

AP – Lisa Randall
Energy and Water Conservation Program Coordinator
and Maintenance Department
Santa Fe, NM 87505

Santa Fe Public Schools Facilities
2195 West Zia Road
505-204-1925

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on September 22, 2015. The decision of the Board was to approve your request with the condition that an 8'6" high wall or fence shall be approved. For further information please call 955-6605.

Sincerely,

David Rasch
Supervising Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

City of Santa Fe, New Mexico

memo

DATE: July 28, 2015
TO: Historic Districts Review Board Members
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-15-067B

ADDRESS: 700 Acequia Madre
Historic Status: NA
Historic District: Historic Review

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other: exception responses

STAFF RECOMMENDATION:

Staff defers to the Board whether or not the exception to Santa Fe Style shall be granted with additional testimony at the hearing. Otherwise, this application complies with Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing.

BACKGROUND & SUMMARY:

700 Acequia Madre, known as Acequia Madre Elementary School, was designed by John Gaw Meem and constructed in 1953 in the Territorial Revival style. The building is listed as significant to the Downtown & Eastside Historic District.

The applicant proposes to use Capital Outlay funds to construct a free-standing ground-mounted solar array to a maximum height of 11' 9". The allowable height includes only the school building within the streetscape which is approximately 23' high. The array will be located at the northeast rear corner of the property with limited visibility from Acequia Madre. The substructure of this accessory structure will be constructed with steel and concrete in a simplified design, including angled supports. An exception is requested to construct a structure not in Santa Fe Style and the required exception criteria responses follow.

EXCEPTION TO SANTA FE STYLE

- (i) Do not damage the character of the district

Response: Built in 1954, and undergoing remodels in 1965 and 2004, Acequia Madre has existing metal chainlink fence around the majority of its perimeter, as well as a metal swing structure directly in front of the proposed array area. The proposed metal array structure would be painted brown to blend in with the ground and wall behind it, and sits at the back, north side of the property, against existing coyote fence and stucco wall, in the least visible area from the street. A metal support structure with a concrete base affords the safest building material in consideration that this is an electricity generating structure, while at the same time offering a long lasting and durable construction for decades to come. It is designed in a portal fashion, and will function as both a portal shade structure for students, and electricity generating solar array, grid tied to the facility, already approved by PNM.

Staff response: Staff agrees with this statement, but the portal could be designed more in harmony with Santa Fe Style.

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response: Having submitted the current design and received Administrative Approval from the Historic Review Board, a local contractor, Positive Energy Solar, is under contract and has ordered the custom materials for the array. We were able to stop order some materials, but others have already shipped. A requirement for redesign would not only cost SFPS added redesign fees, but require a resubmittal to PNM, plus added review fees,

and delay the expected daily monetary energy savings from the installation. Also, the 3.5¢ per kwh REC incentive reserved for the project would drop to 2.5¢ with a new review and approval by PNM, as that is what's currently available from the utility company. Positive Energy Solar has also incurred hardship in rescheduling the installation and associated workers and equipment. The project was timed to avoid disruption and construction on the school property while school was in session. Approval of the project as designed would still allow some work to be completed before children are on the grounds.

Staff response: Staff agrees with this statement. The hardship arose when the School Board received Capital Outlay funds long after the proposal was underway. Staff provided administrative approval as a courtesy when the City did not have jurisdiction.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: The current design of the proposed solar array shade structure was created to economically provide clean energy to the school and community. A wooden post and beam system is neither the most long lasting or economically feasible, and would require much more maintenance in the short and long term. The structure provided in the design is the safest, most economical option, custom made for the solar panels and installation. While the District appreciates greatly the Santa Fe Style aesthetic, we do not believe the proposed solar array in question would detract from the character of the historic neighborhood, considering the installation's color, location, and portal-like look. We believe it fits in with the variety currently in this neighborhood, and allows us to make clean energy structures affordable and feasible for this small community school. This project was brought forward by the students of Acequia Madre's Global Warming Express Club, and is very important to them as a contribution both to the school, future students, and the neighborhood, and as an active response to mitigate the effects of climate change.

Staff response: Staff does not agree with this statement. The portal or ramada structure could be designed in Santa Fe Style.

RELEVANT CODE CITATIONS

(N) County and Santa Fe Public Schools Capital Outlay Projects (Ord. No. 2010-24 §2)

(1) Purpose

(a) Recognizing the fragility of the city's historic heritage, the purpose of Subsection 14-5.2(N) is to establish a procedure under which the city, the county and Santa Fe Public Schools will collaborate in good faith and work jointly to preserve and protect the historic districts of Santa Fe as well as contributing, significant and landmark structures.

Preserving and protecting the historic districts as well as contributing, significant and land mark structures promotes economic welfare, preserves property values and attracts businesses and tourists thus benefiting the entire Santa Fe community including the city, the county and Santa Fe public schools. By establishing up front procedures to ensure cooperation between the city and the county and the public schools, unnecessary costs and delays for capital outlay projects will be avoided. Specific design requirements that acknowledge necessary building functions and budgets will result in harmonious yet responsive public projects.

(b) County and Santa Fe public schools capital outlay projects in historic districts or involving landmarks located outside historic districts shall be carried out pursuant to the procedures set forth Subsection (2) below and in a manner that is harmonious and generally compatible with the design standards set forth in Subsection (3) below. These procedures and standards apply to new structures and additions to and alterations and demolition of existing buildings.

(2) Procedures

(a) Before commencing with the design phase of a capital outlay project, the county or the Santa Fe public schools shall consult with the historic districts review board as to the appropriate design standards and how those design standards would impact costs and the operation or manner in which the project will ultimately be expected to function. The historic districts review board shall work collaboratively with the county or the Santa Fe public schools to arrive at compatibility of the project with the design standards, considering reasonable costs and preserving essential functionality. The county or the Santa Fe public schools shall also make every reasonable effort to obtain input from members of identifiable community groups involved in historic preservation in Santa Fe before commencing the design phase.

(b) After the design phase and before soliciting a bid or proposal for design-build or lease-purchase for a capital outlay project, the county or the Santa Fe public schools shall submit the plans to the historic districts review board for review. The historic districts review board shall conduct a public meeting to receive public input. Notice of the public meeting shall be given to any identifiable community groups involved in historic preservation in Santa Fe.

(c) Within sixty days after the public meeting the historic districts review board, any identifiable historic preservation community group or any other interested party shall communicate recommendations and comments in writing to the county or the Santa Fe public schools. The county or the Santa Fe public schools shall resolve any issues raised and submit the project to the historic districts review board for final approval.

(3) Design Standards

(a) General Standards

A county or Santa Fe public schools capital outlay project shall be designed appropriate for the public use and with the intent of achieving harmony with existing buildings by the use of similar materials, color, proportion, and general details to the existing buildings in the applicable

streetscape. The applicable streetscape shall be determined as set forth in Subsections 14-5.2(D)(9)(a)(ii) A., B., C., D., and E. A new structure or proposed alteration or addition shall not cause an adjacent contributing, significant or landmark structure to lose its status. Alterations and additions shall be in character with the style, detail and massing of the existing building. The dominating effect is to be that of adobe construction as follows:

(i) Roofs

Roofs, generally, shall be flat with a slight slope and surrounded by a parapet of the same color and material as the walls or of brick. Roofs shall generally not be carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by columns, posts or other vertical supports. No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment not to exceed an overhang of thirty (30) inches. The restriction as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the parapet from any public way.

(ii) Walls and Windows

The combined door and window area in any publicly visible façade generally shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade except in circumstances where the unique purpose of the space may warrant special design considerations. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles. Glass and window trim shall be nonreflective. Windows shall be similar in proportion to the fenestration pattern in the streetscape. Deep window recesses are characteristic.

(iii) Finishes

Construction shall be with materials with which the adobe effect can be simulated provided that the exterior walls are not less than eight (8) inches thick. Mud plaster, hard plaster or other materials simulating adobe, laid on smoothly, is required. No less than eighty percent of the non-fenestration surface area of any publicly visible façade shall be adobe finish, stucco or other material simulating adobe finish. The balance of the publicly visible façade may be of natural stone, wood, brick, tile, terra cotta, or other material. Materials shall convey a sense of substance and permanence.

(iv) Colors

The publicly visible façade of any building and of any adjoining walls generally shall be of one color but no more than three colors and simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. However, façade surfaces under portales or inset panels

in a wall under a roof overhangs, in church-derived designs, may be painted white or be of contrasting or complimentary colors or have mural decorations.

(v) Other Features

Facades shall be flat, varied by inset portals, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices. Depending upon the existing streetscape and if permitted otherwise in this chapter, a portal may cover the entire sidewalk with the columns set at the curb line.

(vi) Height

The height shall be limited to the average height of institutional buildings as measured within the applicable streetscape. When determining an applicable streetscape, vacant lots or parcels shall not be included in the calculation for allowable height. If no institutional buildings are included in the streetscape, the maximum height shall not exceed the average height of existing buildings in the streetscape. The land use department staff shall determine the applicable streetscape as set forth in Subsections 14-5.2(D)(9)(a)(ii) A., B., C., D., and E. Height shall be measured as set forth in Subsection 14-5.2(D)(9)(c)(iii). Heights of existing structures shall be as set forth on the official map of building heights. If the height of an existing building is not given, the county or Santa Fe public schools shall submit a statement from a New Mexico licensed surveyor of the actual height. No building façade shall be over two stories in height unless the façade includes projecting or recessed portales, balconies, setbacks or other design elements.

(E) Downtown and Eastside Design Standards

The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the

floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;

(d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(f) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

(b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;

(c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and

(f) Flat roofs shall have not more than thirty (30) inches overhang.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**June 25, 2024
2024-008416-HDRB
Applicant Submittal
New Construction**

SPEARS HORN ARCHITECTS

September 11, 2023

CITY OF SANTA FE HISTORIC PRESERVATION DIVISION

City Hall
200 Lincoln Avenue
Santa Fe, NM 87501

PROJECT: **ACEQUIA MADRE ELEMENTARY SCHOOL – Outdoor Classroom**

Dear Historic Preservation Staff;

I am writing to provide a more detailed description of the proposed work at Acequia Madre Elementary School, in addition to the attached Application form, and conceptual drawings.

The proposed project is for the construction of a 20' X 34' outdoor classroom to supplement the existing school facilities. The detached awning structure would be enclosed on 3 sides by low walls with wind screens above composed of wood slats. Half of the 4th side, facing the existing school, is to be left open.

The awning covering is a shed style roof sloped to drain away from the existing school. The runoff would be directed to irrigate 2 new trees and climbing vines on the North side, and an existing memorial tree on the South.

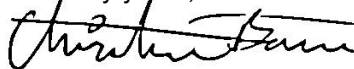
The supporting structural members will be painted to match the existing blue accent paint on the school building windows. The low walls will match the beige color of the majority of the existing school.

A new ADA compliant sidewalk is to be built to connect the awning structure to the main school.

An existing sandbox and pollinator garden would be moved to be between the new classroom and Acequia Madre Street.

Please refer to the attached design drawings for visual representations of the proposed project.

Sincerely yours,



Christopher Bowen, AIA
Project Architect

VIEW FROM ACEQUIA MADRE STREET

OVERHEAD VIEW FROM SOUTHEAST

EXISTING FIRE ACCESS GATE

VIEW FROM NORTH

PROJECT AREA

ACEQUIA MADRE ELEMENTARY SCHOOL
OVERALL FLOOR PLAN
0 15 30 45 60 75 90 105 120 135
150 FT

PROJECT:
22-04
HDR
25 JUNE
2024
REVISION DATA

A
M1

ACEQUIA MADRE ELEMENTARY SCHOOL BUILDING SECTION

ACEQUIA MADRE ELEMENTARY SCHOOL ROOF PLAN

EXISTING BUILDING
NEW OUTDOOR CLASSROOM
20'-0" X 34'-0" X 12'-0"
NEW 5' X 34' ADA COMPLIANT CONCRETE WALKWAY

HULLER RAIN DOWNSPOUT

EXISTING 8' HIGH WALL

DRAINAGE SWALE TO DIVERT RAIN WATER TO VEGETATION

NEW OUTDOOR CLASSROOM
20'-0" X 34'-0" X 10'-0"
24 STUDENTS
CHANGERS DESK AND CHAIR
2 LOCKER
STORAGE UNITS
- WHITE BOARDS

NEW 5' X 34' ADA COMPLIANT COLORED CONCRETE WALKWAY

CLASS RM 5

LOW WALLS

RR RIO RIO
RR STO STO

ALIGN 8'-0"

RES RIO
RIO WITH BOARDS RIO
20'-0"

CLASS RM 1

EXISTING GATE

EXISTING MEMORIAL TREE - TO REMAIN

DRAINAGE SWALE TO DIVERT RAIN WATER TO EXISTING TREE

CLASS ROOM

5'-0" CITY OF SANTA FE SIDE SETBACK

DRAINAGE SWALE TO DIVERT RAIN WATER TO NEW VINES AND TREES

NEW SHADE TREES

EXISTING GROUND EQUIPMENT

NEW SHADE TREES

DRAINAGE SWALE TO DIVERT RAIN WATER TO NEW VINES NORTH WALL

5'-0" CITY OF SANTA FE SIDE SETBACK 15' DEEP BANCO

CONNECTION SAND

FISH WALL

DRAINAGE SWALE TO DIVERT RAIN WATER TO EXISTING TREE

EXISTING MEMORIAL TREE - TO REMAIN

RELOCATED SAND BOX

PROPERTY LINE

RELOCATED POLLINATOR GARDEN

EXISTING TREES

- 1. ADDITIONAL ELEMENTS AND DRAINAGE - WATER COLLECTION, RETENTION
- 2. ELECTRICAL AND DATA CONDUIT LINES
- 3. CONNECTION TO EXISTING INTEGRAL
- 4. COLOR CONCRETE EXISTING
- 5. ELECTRICAL PANEL UPGRADE

PROJECT: 22-04
HDR
25 JUNE 2024
REVISION DATA

ACEQUIA MADRE ELEMENTARY SCHOOL ENLARGED SITE PLAN



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008259--HDRB

Project Description: 2024-008259-HDRB. 697 Gonzales Road. Downtown & Eastside Historic District. Liaison Planning, agent for Mark and Mallory Neuberger, owners, proposes to construct a 3,938 sq. ft. residence to a height of 15'-6" where the maximum allowable height is 16'-0" on a vacant lot.

Project Location(s): 697 GONZALES RD
Santa Fe, NM 87501

Contacts:

Property Owner: Mark & Mallory Neuberger

malloryneuberger@yahoo.com

Applicant: LIAISON PLANNING SERVICES INC
PO BOX 1835

liaisonplanning@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: True Non-Contributing: True Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: NA

Year of Construction:

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: June 11, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008259-HDRB. 697 Gonzales Road. Downtown & Eastside Historic District. Liaison Planning, agent for Mark and Mallory Neuberger, owners, proposes to construct a 3,938 sq. ft. residence to a height of 15'-6" where the maximum allowable height is 16'-0" on a vacant lot.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The 1.804-acre vacant lot at 697 Gonzales is in the Downtown and Eastside Historic District. Properties on Gonzales Road have sloped lots, and the houses tend to sit back away from the road. The properties on the west side of the road are below the road's grade while those on the east side of the road tend to sit above the road grade. These homes appear as one story from the street, but they are two stories in the rear with an average height of 24'0".

The lot at 697 Gonzales is on the east side of the road and sits above the road grade.

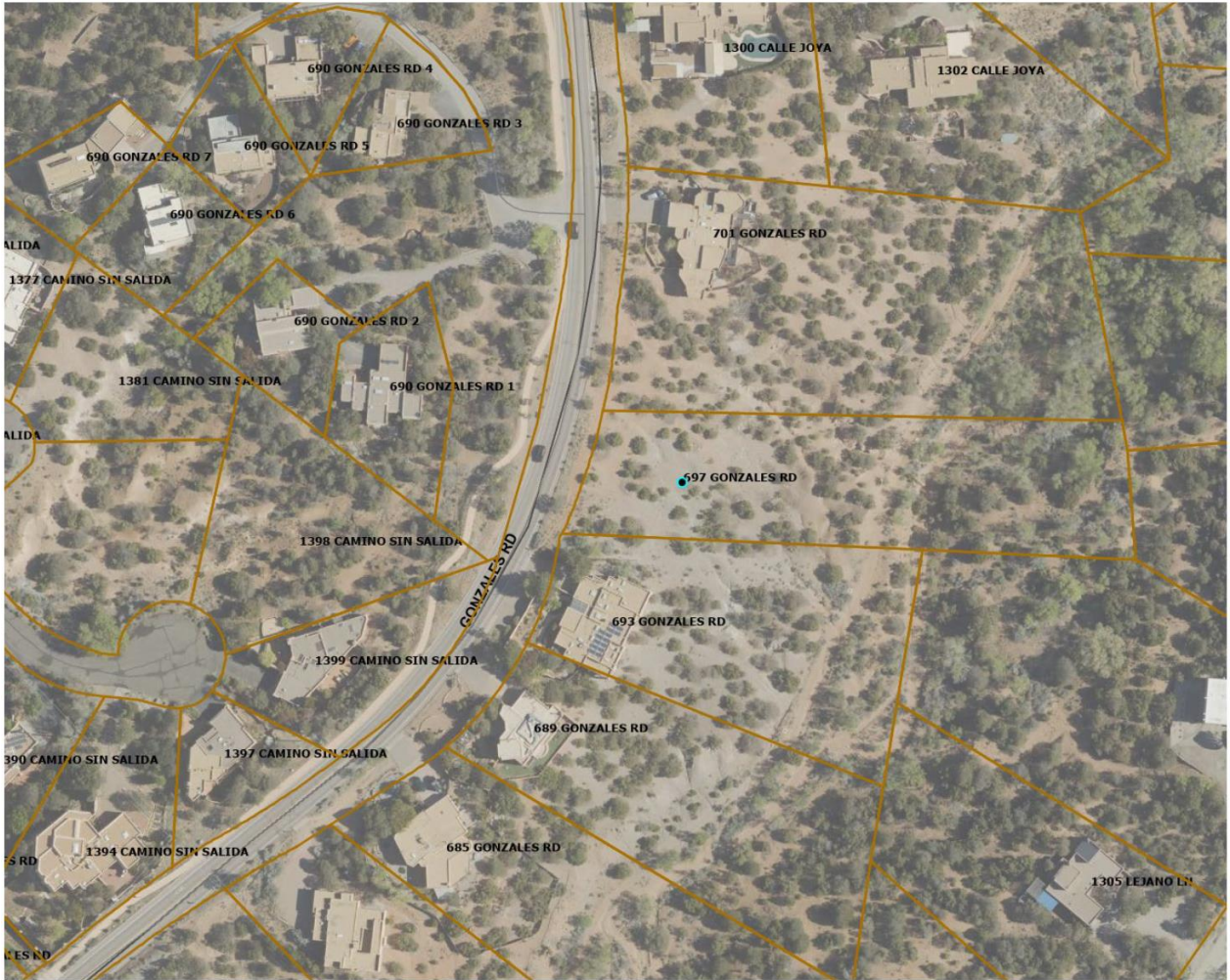


Figure 1: Location of the lot at 697 Gonzales Road.

The applicant proposes the following exterior alterations:

1. Construct a 3,938 sq. ft. residence to a height of 15'6" where the maximum allowable height is 16'0" on a sloping site.
 - a. The residence is designed in Pueblo style.
 - b. West elevation (street facing) details:
 - i. An arched entry gate with a stuccoed 4' garden wall.
 - ii. Covered 45 sq. ft. portal over the entry door.
 - iii. Solid wooden entry door flanked with pergolas.
 - iv. Two (73 sq. ft. and 56 sq. ft.) pergolas constructed with 5–12-inch wood-stained beams.
 - v. Window will be a true divided lite clad window.
 - vi. 2-car garage with paneled wood door to the left of the gated courtyard
 - c. North elevation details:
 - i. An A/C compressor with a 3'0" pony wall to screen.

- ii. All windows will be true divided lite.
- d. East elevation details:
 - i. Two stories with overall height of 24'0".
 - ii. True divided lite windows.
 - iii. Sliding true divided lite glass doors on 1st floor and basement
 - iv. Portal with vigas wraps around balcony with black wrought iron railing.
- e. South elevation details:
 - i. Stairs with a landing and a wraparound porch with black rod iron handrails.
 - ii. Fireplace with chimney.
 - iii. Two true divided lite windows will flank the proposed fireplace.
 - iv. One true divided lite wood clad door at the SE corner of the portal.
- f. Detailed exterior finishes:
 - i. Stucco Color EL Rey "La Luz".
 - ii. Front Door Color "Salty Dog".
 - iii. Courtyard Gate Color "Major Blue".
 - iv. Garage Door Color "Walnut".
 - v. Exterior windows and patio doors will be "Dark Bronze".
 - vi. Light Fixtures: "Mesa Bear" to be located near gate and front door and "Pueblo" Flanking garage doors.

The Planning Commission heard an escarpment variance Application(s) for the property under cases 2021-003802-PLBD and 2021-003803-PLBD to determine the building area of the structure. The proposed site plan was presented to the Planning Commission on September 2, 2021, the Commission approved the requested variance related to the grading standard that at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent (Case File #2021-3802). The applicant obtained approval of the revised location of building pad from Terrain Management in 2024.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Yard Wall Height:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

Sloping Sites:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

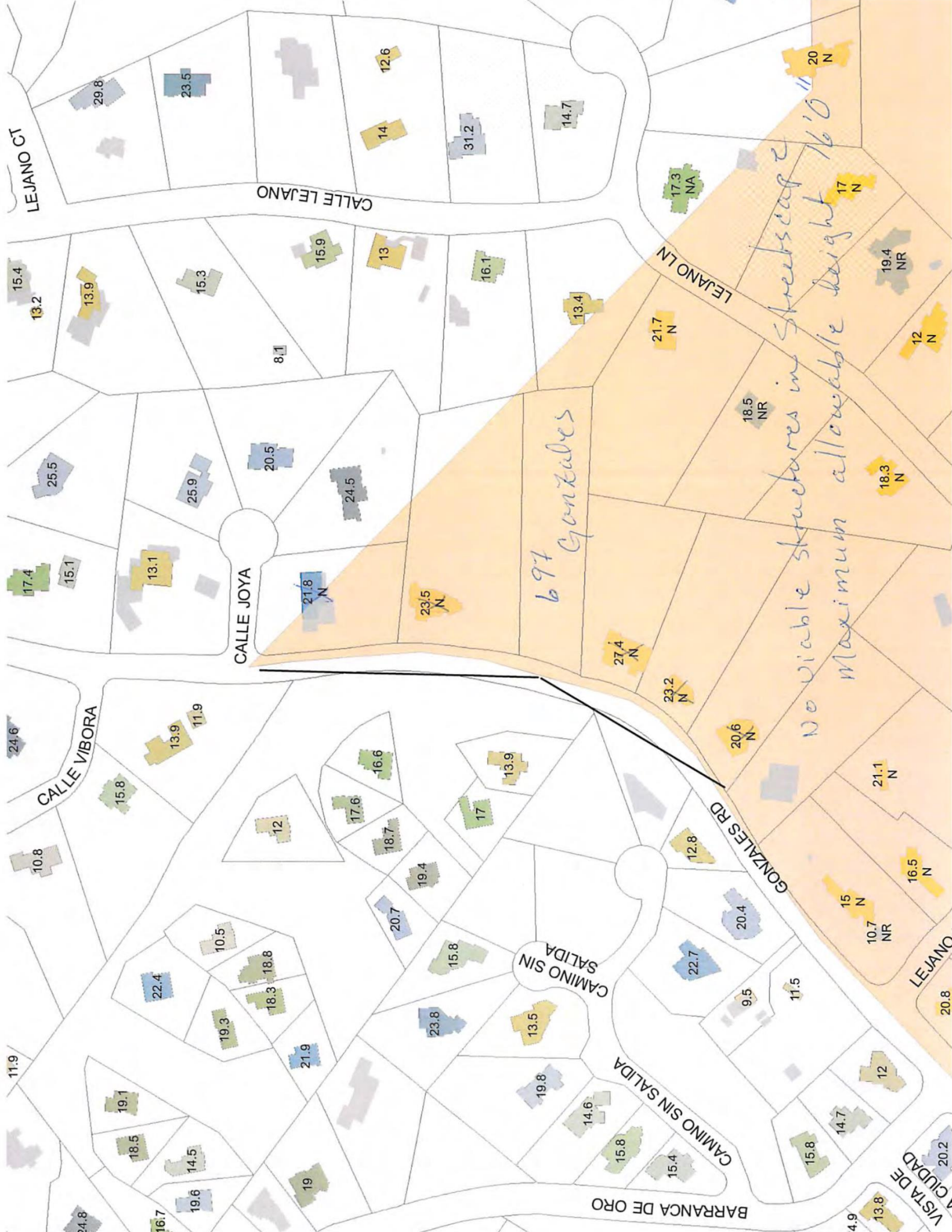
To Be Completed By Applicant:		Site Address:
Date Submitted: <u>4/4/2024</u>	Property Owner of Record: <u>Mark and Mallory Neuberger</u>	<u>697 Gorzales Road</u>
Applicant/Agent Name: <u>Liaison Planning/ Dolores I Vigil</u>	Contact Person Phone Number: <u>(505) 920-6839</u>	Proposed Construction Description:
Zoning District: <u>R-1</u>	Overlays: <input checked="" type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: <u>Mountainous Terrain</u>	<u>Single Family Residence</u>
Submittals Reviewed with PZR:	Supplemental Zoning Submittals Required for Building Permit:	TOTAL ROOF AREA: <u>2,999 SF</u>
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Building Elevations	<input type="checkbox"/> Zero Lot Line Affidavit <u>N/A</u>	Lot Coverage: <u>3.82</u> % <input type="checkbox"/> Open Space Required: <u>N/A</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Setbacks: Proposed Front: <u>95'-5"</u> Minimum: <u>20'</u> 2 nd Front? _____ Proposed Rear: <u>289'</u> Minimum: <u>15'</u> Proposed Sides: L <u>39'</u> R <u>49'</u> Minimum: <u>5'</u>
Terrain: <input type="checkbox"/> 30% slopes <input checked="" type="checkbox"/> Approved Variance		Height: Proposed <u>15'-0"</u> <u>28'</u> Maximum Height: <u>16'</u> <u>24'</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.		Parking Spaces: Proposed <u>2</u> Accessible <u>N/A</u> Minimum: <u>2</u>
		Bicycle Parking**: <u>NA</u> Proposed: _____ Minimum: <u>N/A</u> ** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Dolores I. Vigil / Liaison Planning OWNER APPLICANT AGENT
PRINT NAME
 hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature] 4/4/2024
 SIGNATURE DATE

To Be Completed By City Staff:	Case No. 2024-008191
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: <u> / / </u>	
<input type="checkbox"/> Flood Plain Approval by _____ Date: <u> / / </u>	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u> / / </u>	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>Legal lot of record provided. Building may go up to 28' due to 14-7.2(C.2). Project will undergo escarpment review at time of permit to assure compliance with variance.</u>	
REVIEWER: <u>Carly Venditti</u>	DATE: <u>4/15/2024</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	



LEJANO CT

CALLE LEJANO

LEJANO LN

CALLE JOYA

CALLE VIBORA

CAMINO SIN SALIDA

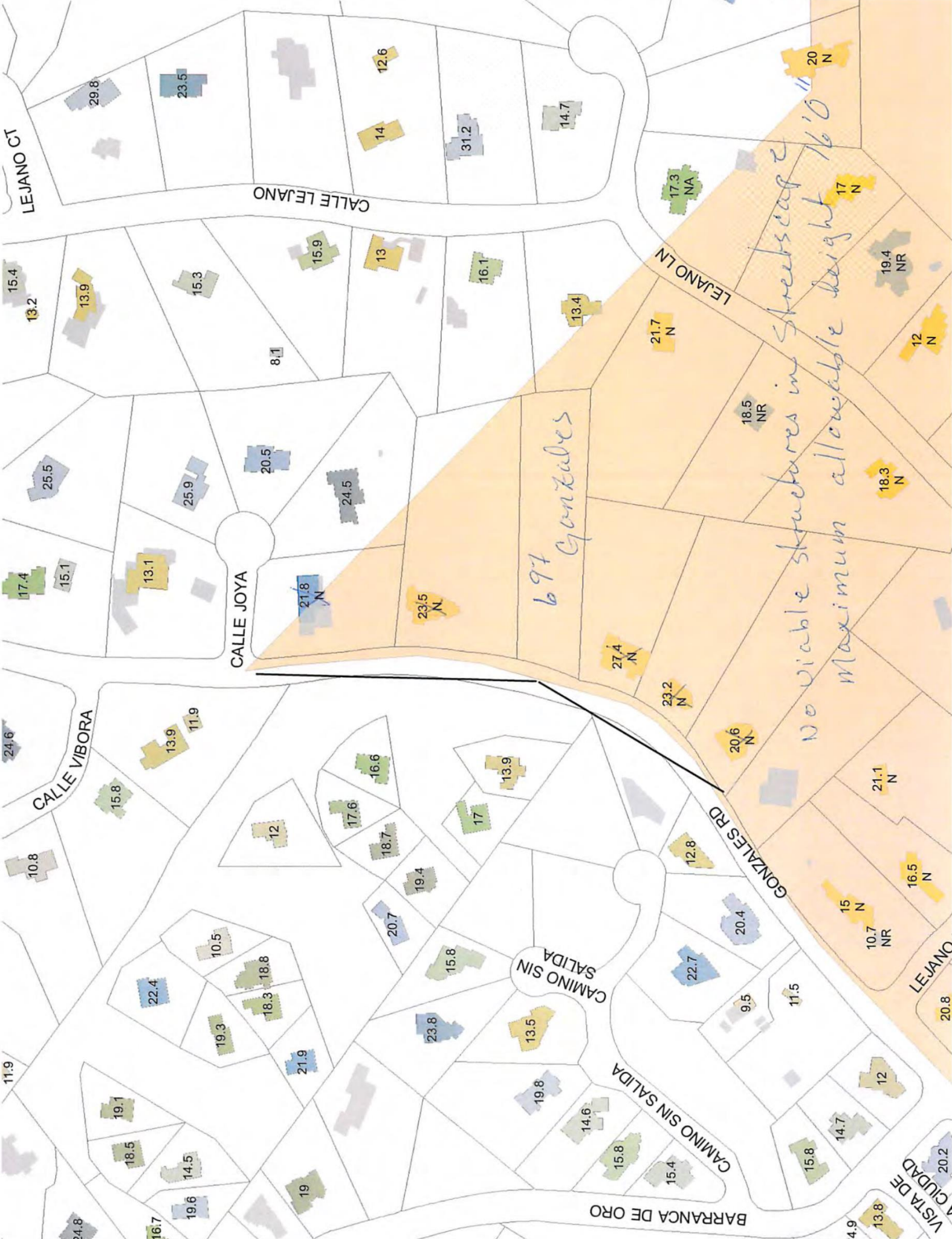
GONZALES RD

BARRANCA DE ORO

VISTA DE CIUDAD

697 Gonzales

No viable structures in streetscape 16'0"
Maximum allowable height



City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**2024-008259-HDRB
Planning Commission
Documentation
697 Gonzales
Slope Variance**



MINUTES

REGULAR MEETING OF
THE PLANNING COMMISSION
SEPTEMBER 02, 2021 AT 6:00
PM
VIRTUAL MEETING

zoned BCDMAR (Business Capitol District - Marcy Subdistrict) and within the Historic Downtown Archeological District and Downtown and East Side Historic District. (Dan Esquibel, Case Manager, daesquibel@santafenm.gov 505-955-6587). **(POSTPONED FROM SEPTEMBER 2, 2021) (TO BE WITHDRAWN)**

9. **Case #2021-3802. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(b).** Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of a variance to grading standards related to permissible building slope within SFCC Subsection 14-8.2(D)(3)(b) *Topography*, which states “at least one-half of the area designated as suitable for building and at least one-half of any **building** footprint shall have a natural **slope** of less than twenty percent; the remainder of the area or **building** footprint may have a natural **slope** of twenty percent or greater, but less than thirty percent. The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov 955-6656)

10. **Case #2021-3803. 697 Gonzales Road Variance to Subsection 14-8.2(D)(3)(d).** Sommer Karnes & Associates, LLP, Agent for Ramirez Investment Company, LLC, Owner, requests approval of variance(s) to grading standards related to permissible building slope within SFCC Subsection SFCC 14-8.2(D)(3)(d). *Topography*, which states “A structure shall not be built on a natural slope of thirty percent or greater.” The property is zoned R-1 (1 dwelling unit per acre), is partially within the Escarpment Overlay, and is approximately 1.36 acre in size. (John Neunuebel, Case Manager, jcneunuebel@santafenm.gov 955-6656)

- H. STAFF COMMUNICATIONS
- I. MATTERS FROM THE COMMISSION
- J. ADJOURNMENT

Liaison

Chair



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Roman "Tiger" Abeyta, District 3
Chris Rivera, District 3
Jamie Cassutt-Sanchez, District 4
JoAnne Vigil Coppler, District 4

October 8, 2021

Sommer Karnes & Associates LLP
Attn: Mr. Joseph M. Karnes
Post Office Box 2476
Santa Fe, New Mexico 87504

Subject: City of Santa Fe Planning Commission Action(s) Regarding Variance Application(s) for Property Located at 697 Gonzales Road (Case Files #2021-3802 & #2021-3803)

Dear Joseph:

As you are aware, the City of Santa Fe Planning Commission took actions regarding the proposed variances to grading standards at their meeting on September 2, 2021, for property located at 697 Gonzales Road. With the expiration of the appeal period of the Planning Commission's actions, the following information is provided in memorializing a building footprint as requested for the future construction of single-family residence on the subject property.

Although the Planning Commission denied the requested variance regarding grading of areas with slopes in excess of 30% (Case File #2021-3803), the Commission approved the requested variance related to the grading standard that at least one-half of the area designated as suitable for building and at least one-half of any building footprint shall have natural slope of less than twenty percent; the remainder of the area or building footprint may have a natural slope of twenty percent or greater, but less than thirty percent (Case File #2021-3802). In approving the requested variance, the Planning Commission also approved the following project condition.

1. Applicant shall return to the Planning Commission during a future scheduled meeting to obtain approval of revised location of building pad corresponding with Planning Commission approval variance request Case #2021-3802 as related to SFCC Subsection 14-8.2(D)(3)(b), with City staff preparing associated Findings of Fact and Conclusions of Law at that time.

Inasmuch as associated Findings of Fact and Conclusions of Law had in fact been prepared for the Commission and included with the staff report, the above-cited condition should have been so revised. (Findings of Fact and Conclusions of Law for both variance request cases as approved by the Planning Commission are enclosed with this letter.) Land Use Department staff have concluded that it is possible that the revised location of building footprint for future construction of single-family residence pursuant to Planning Commission action may be administratively revised and memorialized without the need to return to the Planning Commission, although staff reserves the right to return to the Commission in this regard as may be deemed appropriate. Please revise Exhibit(s) C-102 (“Civil Site Plan”) and C-301 (“Slope Analysis Map and Calculations” for staff review, at your earliest convenience, indicating the revised location of building footprint pursuant to Planning Commission action.

Thank you, and of course let me know if you have questions.

Best regards,

J. Neunuebel

John Neunuebel, Planner Senior

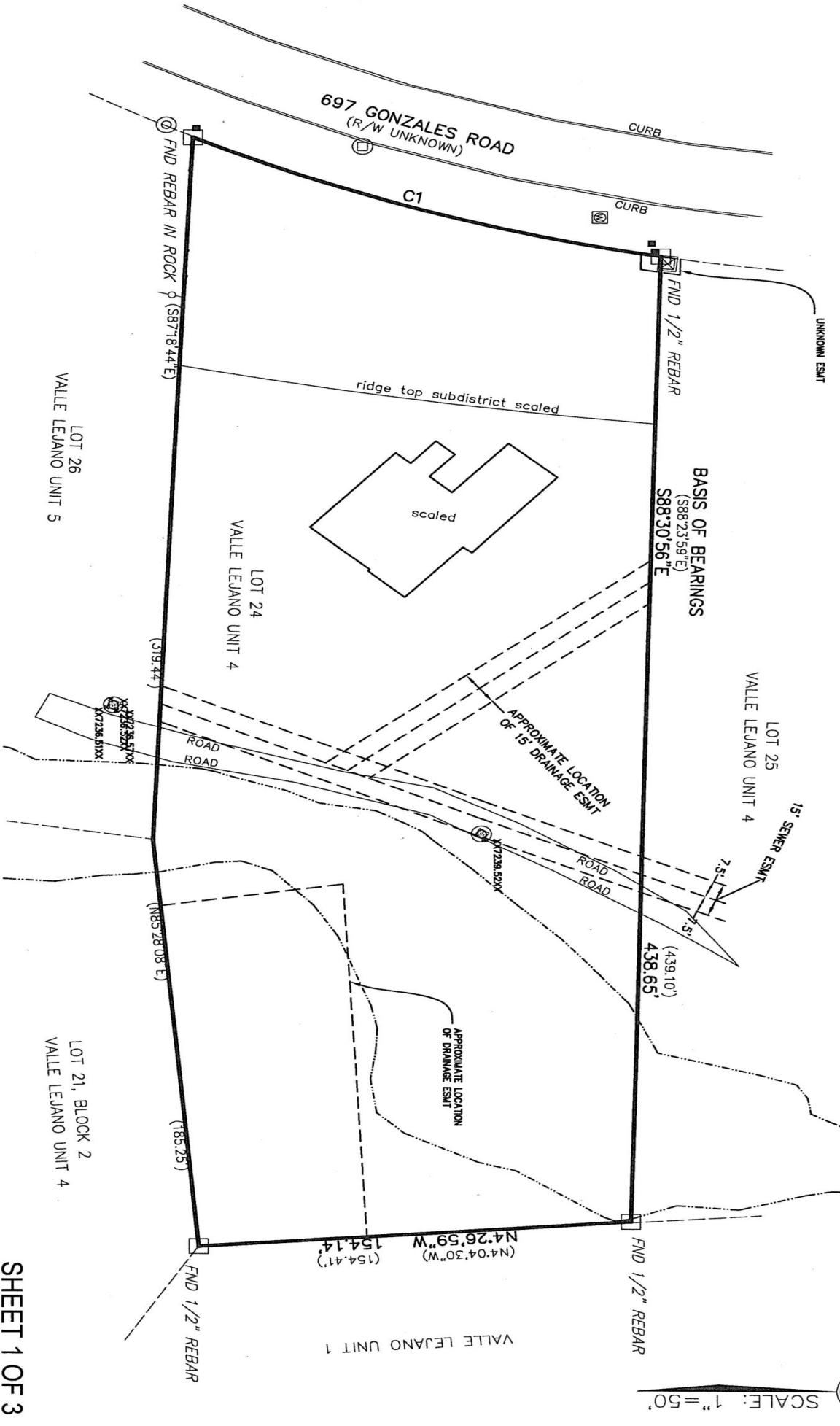
C1
 R=645.17' (645.17')
 L=175.21' (174.99')

C=174.90' (174.46')
 CB=S17°42'56"W (N17°58'55"E)
 A=11°52'41" (15°32'27")

NOTE: EXHIBIT WAS DRAFTED OFF A SCALED PDF
 RECEIVED ON JUNE 3, 2024

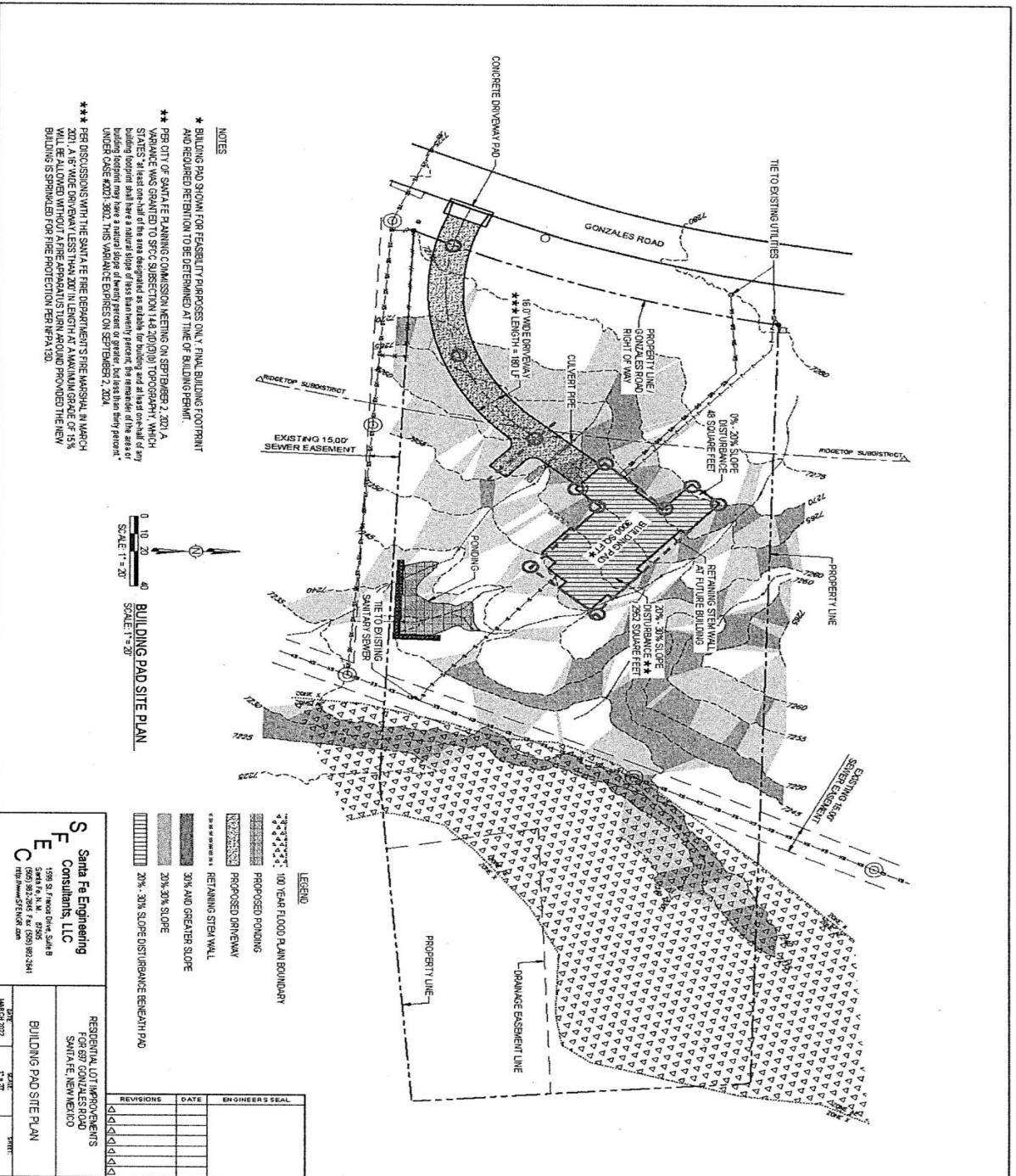
EXHIBIT

LOT 24
 VALLE LEJANO UNIT 4
 697 GONZALES ROAD



EXHIBIT

LOT 24
VALLE LEJANO UNIT 4
697 GONZALES ROAD

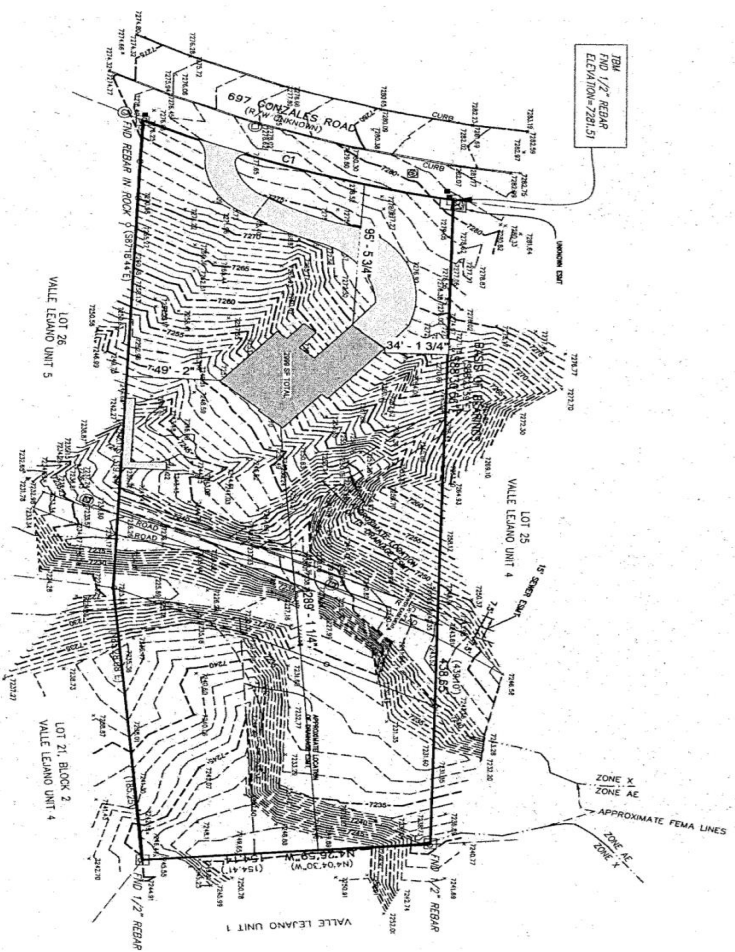


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EXHIBIT

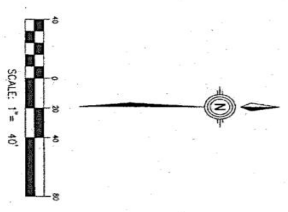
VALLE LEJANO UNIT 4
697 GONZALES ROAD

TOPOGRAPHIC SURVEY
LOT 24
VALLE LEJANO SUBDIVISION
UNIT 4
CITY OF SANTA FE,
SANTA FE COUNTY, NEW MEXICO
FEBRUARY, 2024



CT
R=643.17'(643.17)
L=173.21'(174.99)
C=174.90'(174.46)
CB=S17°42'58"W(N17°58'55"E)
A=11324°1'(1532'27")

SITE PLAN
SCALE 1"=40'
LOT COVERAGE
3.82%



- Legend**
- ▣ RAO PROPERTY CORNER (AS NOTED)
 - ▣ UTILITY TRANSFORMER
 - ▣ UTILITY PEG/SIAL
 - ▣ WATER METER
 - ▣ FENCE 2
 - ⊙ US WEST COMMUNICATIONS LID
 - ⊙ SMI/TSBY SENSER W/ANTENNA

PDF FILED SCALED THE FOR BUILDING

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**June 11, 2024
2024-008259-HDRB
Applicant Submittal
New Construction**

LIAISON Planning Services Inc.

P.O. Box 1835 Santa Fe, NM 87504 (505) 920-6839 liaisonplanning@gmail.com

April 15, 2024

City of Santa Fe
Historic Design Review Board
P.O. Box 909
Santa Fe, NM 87504-0909

LETTER OF INTENT

Re: 697 Gonzales Road
Santa Fe, NM

Dear Board Members,

Please consider this letter as a formal request to approve an application for the above reference address. The property is located within the Downtown and Eastside Historic District. This request is to construct a single family residence (3,938 sf under roof) on a vacant lot that is approximately 1.804 acres. The home is designed to be a 2-story Pueblo style, flat roof residence set back from Gonzales Road and accessed by a private driveway easement. Due to the natural slope of the property a variance was approved by the Planning Commission allowing a home to be built on the lot. The proposed home is designed to meet the approved variance and will have 2 levels as shown on the enclosed plans.

West Elevation (Front):

The entrance will be comprised of an arched gated entry with a stuccoed 4' garden wall into a courtyard. Proposed is a covered portal with a wooden entry door leading into the foyer, flanked by pergolas made up of 5-12 inch wood stained beams. True divided light clad windows proposed throughout. A 2-car garage with a paneled wood door to the left of the gated courtyard is proposed (see elevation).

East Elevation (Rear):

The elevation will be 2 story with true divided light windows and sliding true divided light glass doors on the first floor and basement. A portal with vigas and a wrap around balcony with black rod iron railing leading outside from the dining room is proposed as shown on the elevations.

North Elevation (Left):

An A/C compressor will be located on the north side of the property with a half wall and all windows will be true divided light (see elevation).

South Elevation (right):

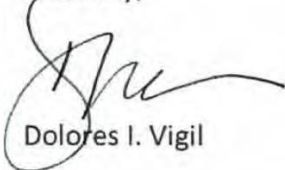
Black rod iron handrails are proposed along the stairs with a landing and wrap around porch. Two elongated true divided light windows will flank the proposed fireplace. One true divided light wooden clad door is proposed at the SE corner of the portal (see elevation).

Detailed Exterior Finishes (see Exterior Selections):

- Stucco Color EL Rey "La Luz".
- Front Door Color "Salty Dog".
- Courtyard Gate Color "Major Blue"
- Garage Door Color "Walnut".
- Exterior windows and patio doors will be Anderson 100 Series cladding color "Dark Bronze".
- Light Fixtures : "Mesa Bear" to be located near gate and front door; "Pueblo" Flanking garage doors.

This application is in keeping with historic styles and appreciate your consideration. Please contact me if you have any questions or require additional information.

Sincerely,



Dolores I. Vigil

Attachments: Application
Authorization Letter
Preliminary Zoning Review Worksheet
Vicinity Map
Exterior Finish Selections
Site Plan
Floor Plan
Elevations
Photographs

City of Santa Fe
Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501

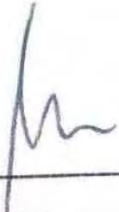
Re: Letter of Authorization for 697 Gonzales Road, Santa Fe NM

To Whom It May Concern:

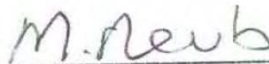
This letter shall serve as authorization for Liaison Planning Services, Inc. to act on our behalf with respect to the referenced property regarding land use applications to be submitted to the City of Santa Fe.

Thank you,

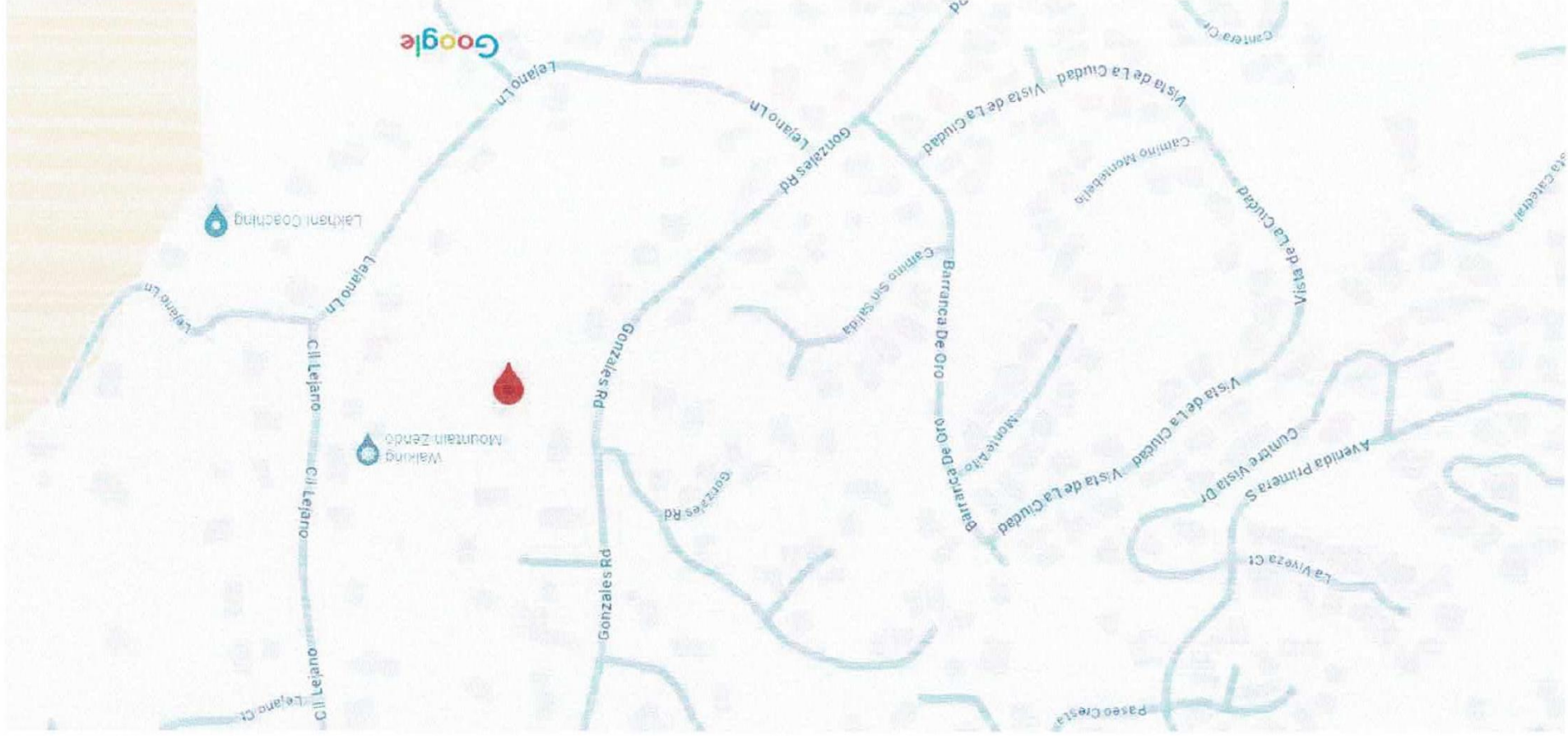
Sincerely,



Mark Neuberger



Mallory Neuberger



Map data ©2024 Google 200 ft



Neuberger Custom Home

Address: 697 Gonzales Rd., Santa Fe, NM 87501

Exterior Selections:

STUCCO:

Brand: El Rey

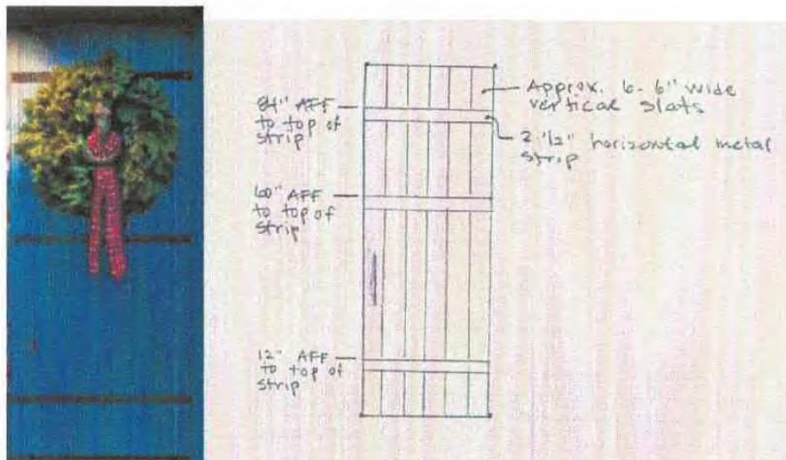
Color: La Luz



FRONT DOOR:

Custom Paint Grade

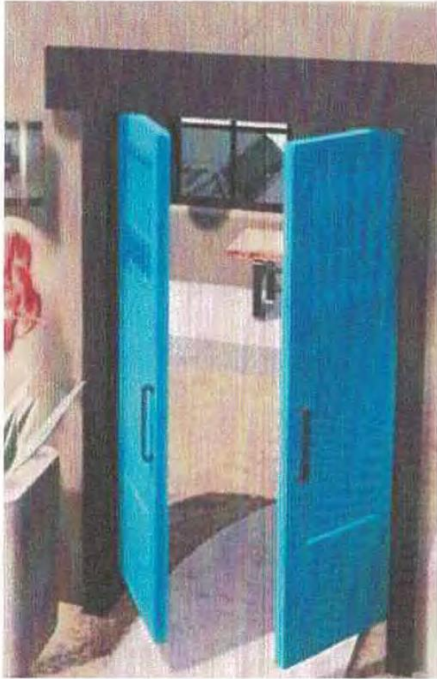
Color: SW 9177, Salty Dog (See inspiration picture below – note that the color is not reflective of “Salty Dog”):



COURTYARD GATE:

Custom Paint Grade

Color: SW 6795, Major Blue (See inspiration picture below – note that the color is not reflective of “Major Blue”):

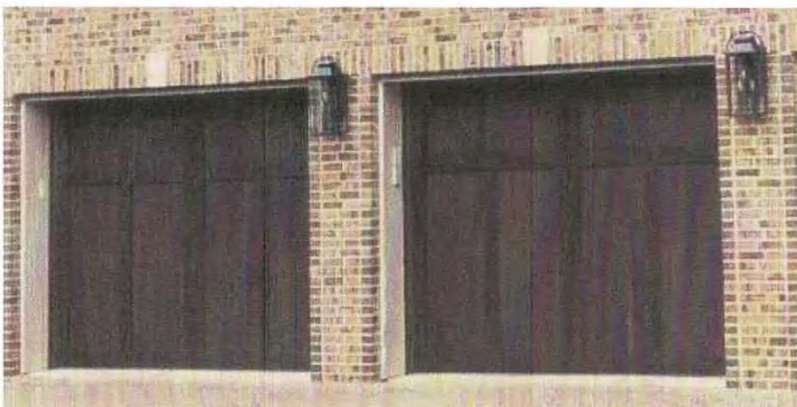


GARAGE DOOR:

Brand: CHI

Color: Walnut

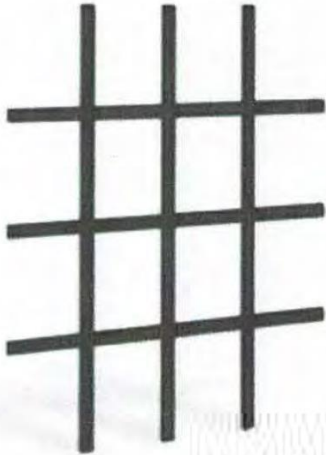
Please note that the below picture does not reflect selections for exterior light fixtures or exterior finishes – for garage door style and color only):



WINDOWS:

Brand: Andersen 100 Series

Color: Dark Bronze with divided lights (dark bronze color shown in the picture below from Andersen Window's website):



EXTERIOR LIGHT FIXTURES:

By the gate and front door

Style: WS1000 "Mesa Bear"

Color: Dark Bronze. Please note that this fixture meets "dark sky" requirements (there is a metal top that this picture does not show). Also, the picture does not reflect the metal color of dark bronze (see pic of dark bronze color next to the light fixture picture):



Next to garage doors

Style: WS1200 "Pueblo"

Color: Green with medium bronze accents. Please note that this fixture meets "dark sky" requirements (there is a metal top that this picture does not show):



784
FND 1/2" REBAR
ELEVATION=7281.51

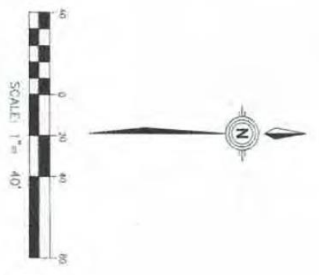


C1
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CB=S17°42'56"W (N17°58'55"E)
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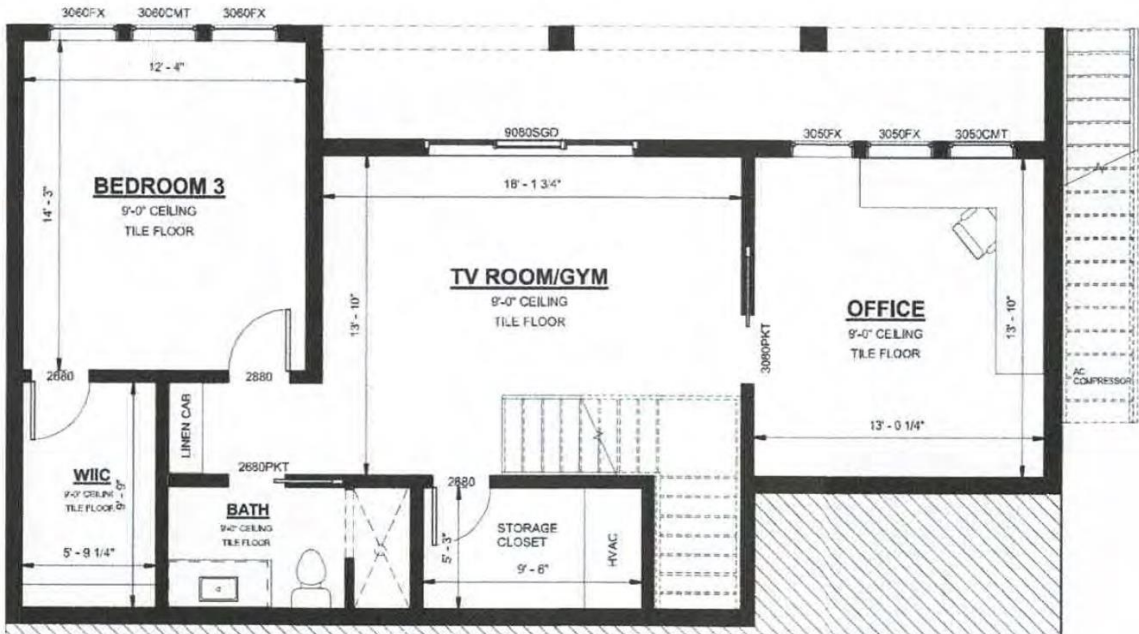
SITE PLAN
SCALE 1"=2'

LOT COVERAGE
3.82%

TOPOGRAPHIC SURVEY
LOT 24
VALLE LEJANO SUBDIVISION
UNIT 4
CITY OF SANTA FE,
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FEBRUARY, 2024

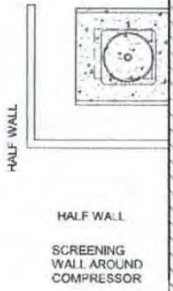


- Legend**
- FND PROPERTY CORNER (AS NOTED)
 - ⊗ UTILITY TRANSFORMER
 - ⊕ UTILITY PEDestal
 - ⊗ WATER METER
 - FENCE 2'
 - ⊗ US WEST COMMUNICATIONS LTD
 - ⊗ SANITARY SEWER MAINHOLE

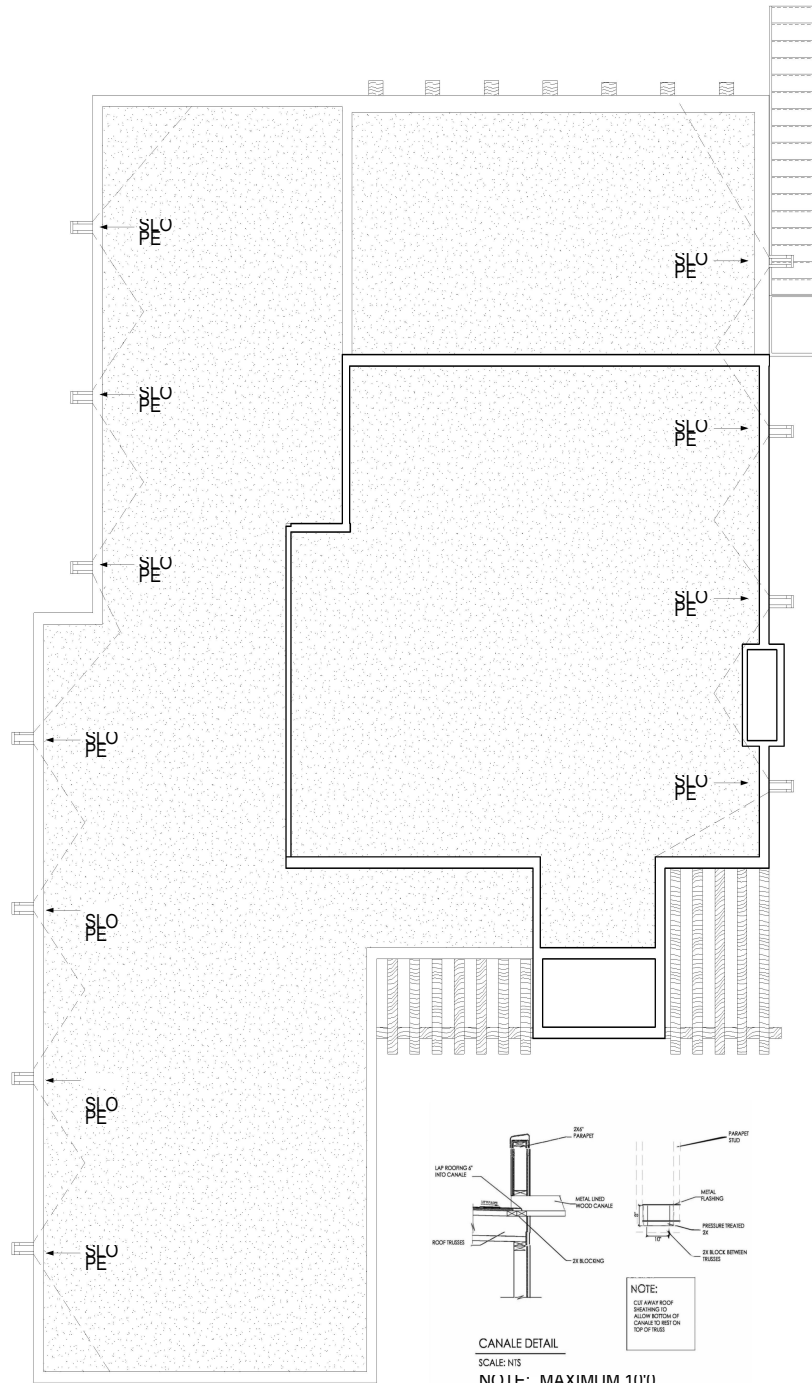


FIRST FLOOR

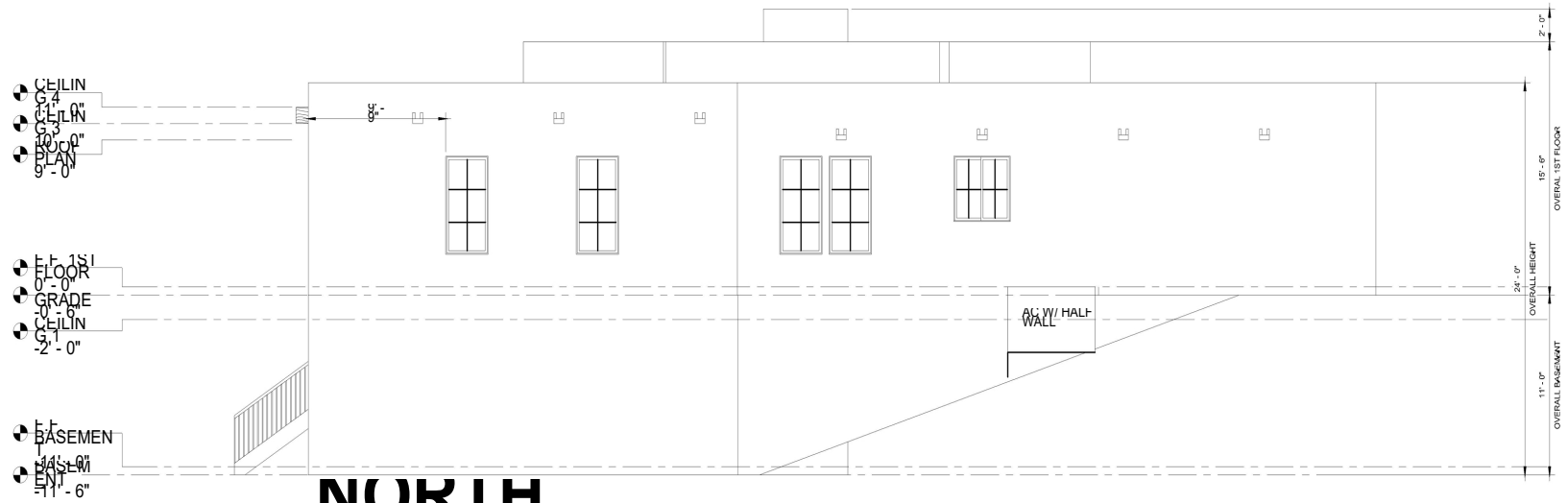
FIRST FLOOR



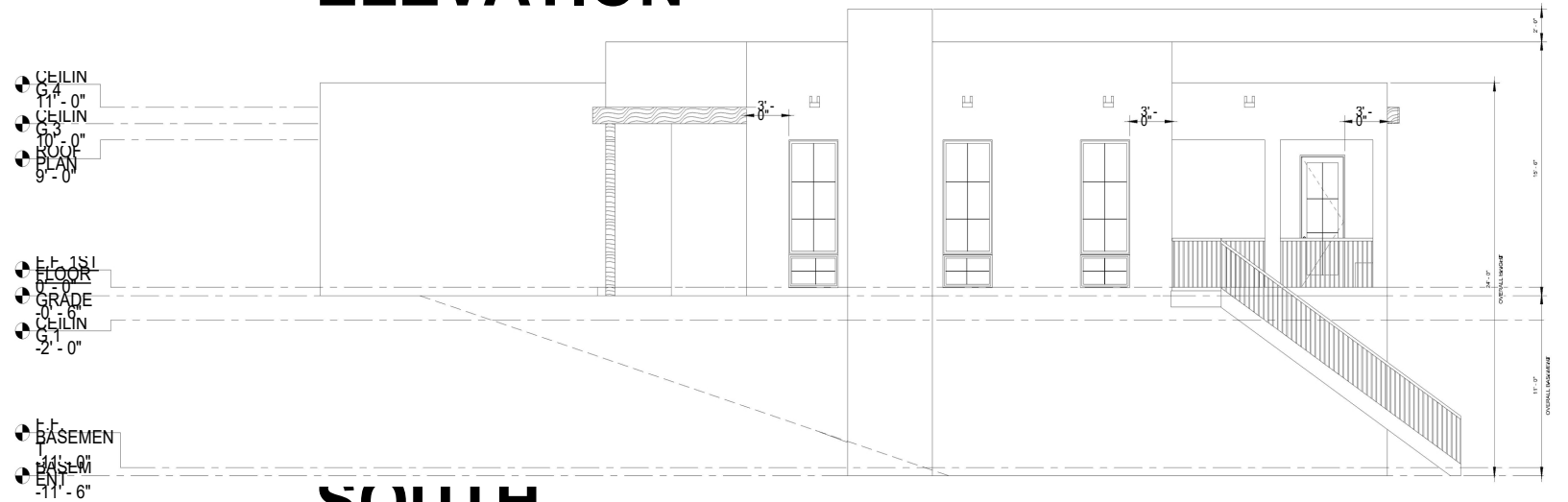
FIRST FLOOR LIVING	1934
BASEMENT	926
TOTAL LIVING	2860
FRONT PORCH	45
BACK PORCH	489
GARAGE	544
TOTAL AREA	3938
TOTAL BUILDING PAD AREA	2999



CANALE DETAIL
 SCALE: N15
 NOTE: MAXIMUM 10'0"
 ON CENTER



NORTH ELEVATION



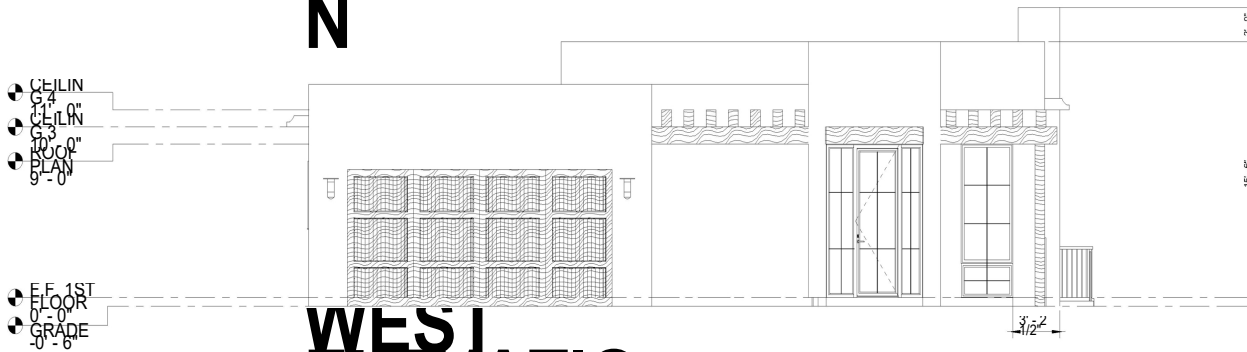
SOUTH ELEVATION

NOTE: ALL WINDOWS ON ANY SIDE THAT IS PUBLICLY VISIBLE TO HAVE 3' BETWEEN CORNER AND OPENING.



**EAST
ELEVATION**

SECTION 1/4



**WEST
ELEVATION**

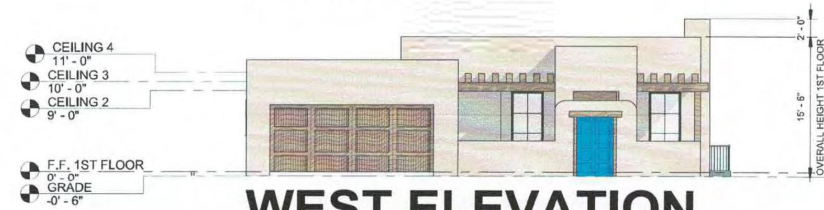
SECTION 1/4

NOTE: ALL WINDOWS ON ANY SIDE THAT IS PUBLICLY VISIBLE TO HAVE 3" BETWEEN CORNER AND OPENING.



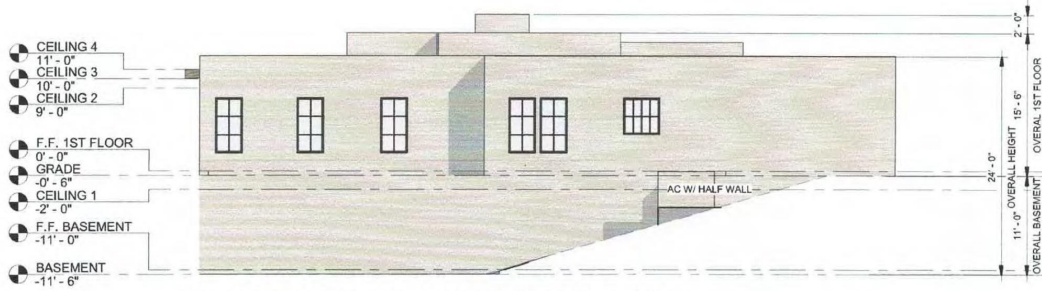
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

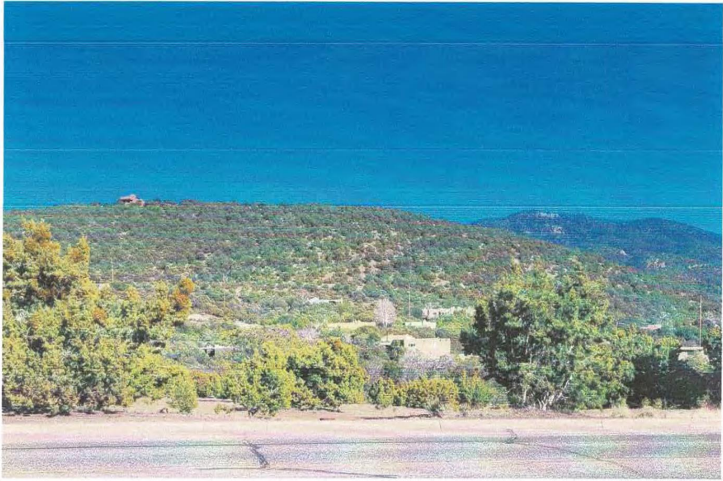
SCALE: 1/8" = 1'-0"



NORTH



SOUTH EAST



EAST



WEST

City of Santa Fe, New Mexico

memo

DATE: June 25, 2024
TO: Historic Districts Review Board
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2024-008334-HDRB, 409 Camino Del Monte Sol. Contributing. Downtown & Eastside Historic District. Jeremiah Collatz, applicant, requests a status review with primary façade(s) designation if applicable.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Façade Diagram

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as contributing with the southern façade designated as the primary identified in the façade diagram as number three, due to the historic doors and windows per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

409 Camino Del Monte Sol is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The earliest date of construction is pre-1914 as seen by the adobe block and wooden viga construction material. The architectural design speaks to a mix of vernacular, Spanish Pueblo Revival, and Territorial styles as seen by the flat roof and gabled roof sections of the structure and a mix of recessed and wood framed doorways and windows. The residence is an amalgamation of two stand-alone structures, a guest house, and a detached

garage. The structure has undergone several additions including the connecting of two stand-alone structures and guest house in the 1980s. The garage addition was constructed in the 1990s.

Historically, the properties were constructed and owned by Mr. Jose Quintana and Mr. Severino Vigil. In more recent years the property was owned by Laura Gilpin, Elizabeth Foster, and Thomas and Jane O'Toole.

Previous Historic Cultural Property Inventory surveys on the property have taken place in 1983 and 1991.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under

portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

DEFINITIONS

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design

qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.



① Level 01 Floor Plan
05/13/24

409 Camino del Monte Sol
Cahn Collatz Residence
05/13/24


Façade Diagram

Jeremiah Collatz Architect L

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 12, 2024

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: José Quintana & Severino Vigil Houses/ Laura Gilpin and Elizabeth Forster Property/ Thomas and Jane O'Toole House	2. Location: 409 Camino del Monte Sol Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-767 <hr/> 4. County: Santa Fe Parcel # 99310397
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 house & guesthouse, garage <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 1, 2024		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: June 6, 1983, Michael Belshaw; August 91, Deborah Butcher <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6784801,-105.9273951		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: House complex. Historic main house, left; 1980s hyphen, center; guesthouse, right.		
11. Brief Description of the Property: <p>The former Gilpin-Forster property lies on the east side of Camino del Monte Sol near its intersection with Acequia Madre. Aside from a recent garage structure, little is visible from the street. The roughly 0.4-acre parcel holds two freestanding buildings: one holding the main house and an attached guesthouse, and the other a separate garage. The property is approached by a gravel driveway leading to the garage and a parking court (Photo 2). Moving through a gate, a visitor approaches the west end of the main house.</p> <p>Continued on Page 5.</p>		
12. Who uses the property? Residence		
13. Construction Date: Date: Earliest buildings constructed before 1914; multiple additions and changes made after the 1970s (see Table 1) <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: maps, plats, aerial photographs, drawings and HDRB case documents		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate

17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporuscio

For: Current owner Jeremiah Collatz and James Cahn

18. Owner (if known) and other knowledgeable people:

Current owner: Jeremiah Collatz and James Cahn

N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing: main house and guesthouse Non-contributing No Status: garage
 Per City of Santa Fe official designation map

If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																																													
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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																															
6. Visible Construction Material: <input checked="" type="checkbox"/> _x_ Adobe <input type="checkbox"/> _ Brick <input type="checkbox"/> _ Composition <input checked="" type="checkbox"/> _x_ Concrete: Block <input type="checkbox"/> _ Concrete: Cast Stone <input type="checkbox"/> _ Concrete: Poured <input type="checkbox"/> _ Earth Plaster <input type="checkbox"/> _ Masonry: Simulated <input type="checkbox"/> _ Metal: Corrugated <input type="checkbox"/> _ Metal: Structural Siding <input type="checkbox"/> _ Metal: V-Crimp <input type="checkbox"/> _ Stone: Random Ashlar <input type="checkbox"/> _ Stone: Random Coursed <input type="checkbox"/> _ Stone: River Rock <input type="checkbox"/> _ Stone: Rusticated <input type="checkbox"/> _ Stone: Tabular <input checked="" type="checkbox"/> _x_ Stucco: <input type="checkbox"/> _ Tile: Clay <input type="checkbox"/> _ Vinyl Siding <input type="checkbox"/> _ Wood: Board and Batten <input type="checkbox"/> _ Wood: Horizontal Siding <input type="checkbox"/> _ Wood: Jacal <input type="checkbox"/> _ Wood: Log <input type="checkbox"/> _ Wood: Shingle <input type="checkbox"/> _ Wood: Tongue and Groove <input type="checkbox"/> _ Other:		7. Number of Stories: <u> </u> N/A Number: <input checked="" type="checkbox"/> _x_1 <input type="checkbox"/> _ 1 1/2 <input type="checkbox"/> _ 2 <input type="checkbox"/> _ 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input checked="" type="checkbox"/> _x_ Not visible <input type="checkbox"/> _ None <input checked="" type="checkbox"/> _x_ At Grade <input type="checkbox"/> _ Raised: Materials: <input type="checkbox"/> _ Concrete: <input type="checkbox"/> _ Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> _x_ Flat <input type="checkbox"/> _ Gabled <input type="checkbox"/> _ Hipped <input type="checkbox"/> _ Pyramidal <input type="checkbox"/> _ Shed Other: Pitch: <input type="checkbox"/> _ None <input type="checkbox"/> _ Low <input type="checkbox"/> _ Medium <input type="checkbox"/> _ Steep Features: <input type="checkbox"/> _ Eave: <input checked="" type="checkbox"/> _x_ Parapets Materials: <input type="checkbox"/> _ Asphalt <input type="checkbox"/> _ Earth <input type="checkbox"/> _ Composition shingle <input type="checkbox"/> _ Metal: Pressed <input type="checkbox"/> _ Composition Roll <input type="checkbox"/> _ Metal: Corrugated <input type="checkbox"/> _ Metal: Standing Seam <input type="checkbox"/> _ Metal: Standing Seam <input type="checkbox"/> _ Tile: Terra Cotta <input type="checkbox"/> _ Wood: Shingle Other: modified bitumen																																																													
10. Window Types: Main House and Guesthouse <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Hung Sash</td><td>Wood</td><td>1/1</td><td>2</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>4/4</td><td>2</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>6/6</td><td>3</td></tr> <tr><td>Hung Sash</td><td>Wood</td><td>8/8</td><td>2</td></tr> <tr><td>Casement used in fixed position (?)</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Casement (single or tandem)</td><td>Wood</td><td>6</td><td>13</td></tr> <tr><td>Casement (tandem)</td><td>Wood</td><td>8</td><td>12</td></tr> </tbody> </table> Note: Based on visibility and access during survey		Operation	Material	Glazing	Number	Hung Sash	Wood	1/1	2	Hung Sash	Wood	4/4	2	Hung Sash	Wood	6/6	3	Hung Sash	Wood	8/8	2	Casement used in fixed position (?)	Wood	3	1	Casement (single or tandem)	Wood	6	13	Casement (tandem)	Wood	8	12	11. Door Types: Main House and Guesthouse <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>½-light/panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>¾-light/Panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Full-light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>15-light</td><td>Wood</td><td>4</td></tr> <tr><td>Double</td><td>10-Light</td><td>Wood</td><td>1</td></tr> <tr><td>Triple</td><td>10-Light</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	½-light/panel	Wood	1	Single-Leaf	¾-light/Panel	Wood	1	Single-Leaf	Full-light	Wood	1	Single-Leaf	15-light	Wood	4	Double	10-Light	Wood	1	Triple	10-Light	Wood	1
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12. Chimneys <input checked="" type="checkbox"/> _x_ four brick; three stucco; interior and corner locations		13. Porches <u> </u> N/A Type: <input checked="" type="checkbox"/> _x_ Entry: <input type="checkbox"/> _ Partial-Width <input type="checkbox"/> _ Full-Width <input type="checkbox"/> _ Wrap																																																													
14. Other Significant Features N/A																																																															
15. Modifications: <input checked="" type="checkbox"/> _x_ <input type="checkbox"/> _ No known modifications <u>Multiple: See Table 1</u>																																																															

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|-------------------------------------------------|-------------------------------------------|------------------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input checked="" type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

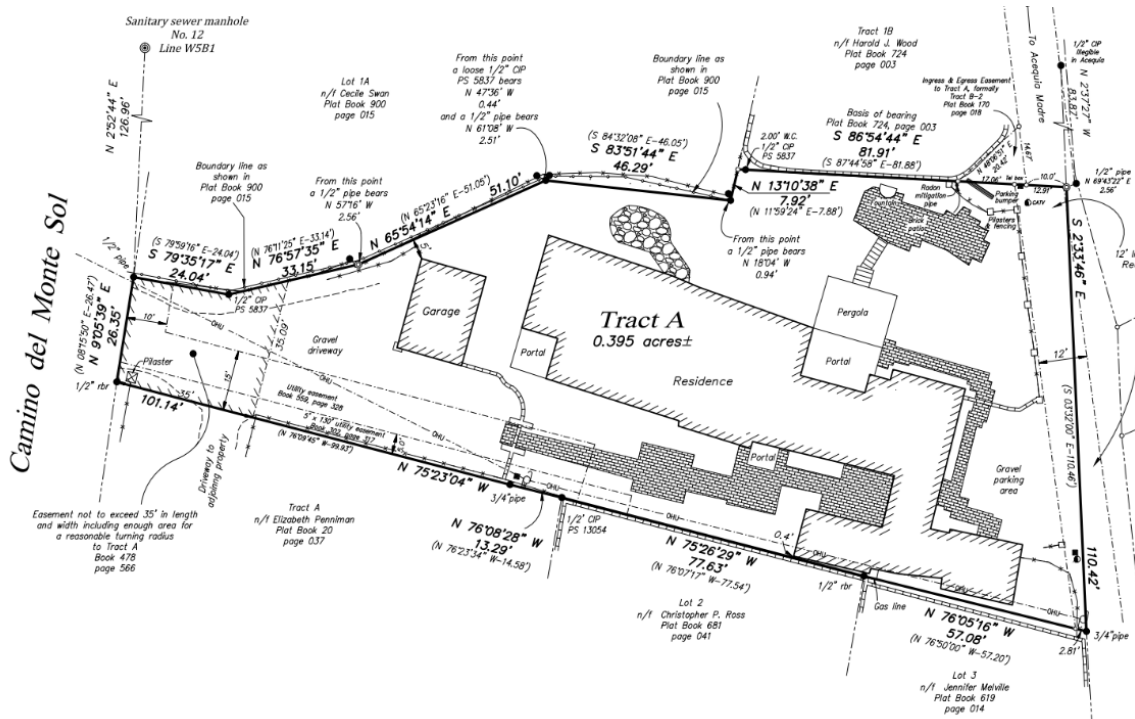
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: NA

19. Site Plan: Portion of 2023 survey plat. Courtesy Sierra Land Surveying, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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		4. County: Santa Fe			
		5. Date of Survey: May 1, 2024			

Architectural Description Continued

Main House

With its core likely dating to the late 19th century, the main house historically included two distinct freestanding dwellings that were later connected by a shared wall. The west portion, representing the Pueblo Revival side, is the youngest of the two. The east side, capped with two low-pitch gable roofs, is older and originally had a vernacular appearance. Together, they were the home of José Quintana and his extended family. Both pieces began to receive additions starting in the mid-20th century, which accelerated in the 1980s. After Laura Gilpin died in 1979, a subsequent owner removed the party wall, turning the separate dwellings into a single residence. For this review, they are treated as one building. Attached to the south side of the house is a 1980s hyphen connecting to a guesthouse (Photo 1). Collectively, the three structures — the house main house, hyphen, and guesthouse — hold 3,518 square feet of heated space.

West

The west elevation was modified in 1976 after Gilpin converted the former dwelling into her studio gallery. The work involved renovating five rooms to hold her darkroom and production work, as well as a gallery space and library. The project likely involved introducing the *portal*, which does not appear in a 1973 aerial photograph (Fig. 15).

The portal to the gallery was reworked after 1983 to increase the living area. The north end of the structure was filled in, which resulted in removing the entry. This alteration lessened the number of supports and changed their design. Once running to the ground (Fig. 2), the new stouter posts rest on a pony wall with small wood gates (Photos 3 & 4). Surviving the change is a group of wood casement windows. The casements, hung on small barrel hinges, swing outward and are crowned with a pedimented head. Their thin muntins indicate they are older. Similar windows are found at the north end of the façade (Photo 5) and other areas of the house.

South

The south elevation spans over 100’. It faces a lovely brick walkway, which, until the 1980s, was a driveway to Gilpin’s carport (Fig. 3)(Photo 6). An earlier brick walk,

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 Historic Preservation Division, New Mexico Department of Cultural Affairs

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installed in the 1980s and reconstructed in the mid-1990s, changed the overall spatial arrangement of the south side yard, introducing formal landscaping to what was an informal parking area.

The elevation begins at the west, with windows looking into the Pueblo Revival portion of the house (Photo 7). These sash windows appear to mix older (Photo 8) and replacement units. The third window from the west represents a new opening from the 1990s. Moving eastward is the juncture of the once separate dwellings (Photo 9). The Territorial Revival porch and the entry door date to the mid-1990s (Photo 10). Just before the 1980s connector (Photo 11) to the guesthouse is a door created in the 1990s by replacing a window (Photo 12).

East

The east side of the house represents changes made by Gilpin in the early 1970s, as well as alterations and interventions that occurred in the 1980s (Photo 13). Historically, the original façade consisted of the gable end of the José Quintana house. In 1970-71, Gilpin added a kitchen to the northeast corner (Fig. 1). This addition enclosed the north side of the lower gable, changing the roof plan. Later, a small porch was added to the south end of the kitchen.

After Gilpin’s death, the new property owners removed the porch, which became part of the hyphen between the main home and the guesthouse. The fenestration at the center of the façade reveals this change, consisting of a glass door bracketed by 8/8 wood bead insulated windows (Photo 14). With their raised muntin molding, these windows are diagnostic of the 1980s.¹ The elevation ends at the south with the hyphen’s connection to what was the Severino Vigil home (Photo 15).

North

The north (back) side of the building reveals a balance of original design and recent alteration. Starting at the east is the bump-out, creating the early 1970s kitchen (Photo 16). A pair of 8-light wood casements daylight this space (Photo 17). While the sash and hinges are old, they were likely repurposed from another location.

¹ Rá Patterson, email communication to John Murphey, May 8, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Next is a deep, inset porch (Photo 18). The cool, quiet space is sheltered by a roof supported by wood beams and rough decking, indicating potential older construction (Photo 18). Territorial-style posts of unknown vintage support the structure.

The position of the north door and its casing suggest period construction. In contrast, the east wall’s door enframingent has been covered with stucco (Photo 19). Also slightly marring the space’s originality is a Pueblo Revival “beehive” fireplace installed in the 1990s (Photo 18).

Bridging off the portal is a ramada-style shading structure erected in the late 1990s (Photo 20).

Continuing west, the façade moves from the gable portion to the flat roof section of the house. The combined elevation is fenestrated with a mix of hung sash and casement windows (Photos 20-21). The casements have narrow muntins and appear to be older. The openings are topped with Territorial type heads.

West of the juncture stands a French door that was inserted into a window opening in the 1990s (Photo 21). The west end holds two sets of triple 8-light casement windows (Photos 22 & 23).

Guesthouse

The guesthouse, attached to the main house by a non-historic hyphen, is a linear mass of small adobe buildings. The space holds two bedrooms, two baths, and a utility closet. This building, which was likely constructed in the late 19th century, began at the east end with a rectangular volume. This was historically the Severino Vigil house. Smaller rooms were added to this dwelling, gaining four accretions and a carport by 1958 (Fig. 14).

Laura Gilpin, who acquired the property two years earlier, converted part of the building into her darkroom and studio.² In the 1980s, after Gilpin’s death, the hyphen was

² Mary Peck, email communication to John Murphey, May 8, 2024. Peck worked as Gilpin’s assistant in the 1970s.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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added, and the carport was removed. New fenestration was inserted, and the once multi-room building had its party walls breached.

The west end shows an altered opening holding a 1980s 6/6 hung sash window (Photo 24). The 1980s hyphen partially demolished the building's north elevation. Surviving at the west end is a small volume with a door and window. Based on aerial photographs, the window is not original (Fig. 16) (Photo 25).

East of the hyphen are the remains of the Severino Vigil house (Photo 26). The north façade includes an opening, potentially at the original position, fitted with a recent glass door.

A pair of 8/8 hung wood sash penetrate the short, east elevation. The window's mullion, jambs, and casing point to older construction (Photo 27).

The south elevation looks onto a block wall. This mostly unaltered side of the guesthouse shows the original features of the accretive building, with its lumpy walls, offsets, running *contrapared*, and smaller and lower-placed windows (Photos 28 & 29).

Garage

A one-car garage erected in the 1990s sits at the front of the property and is the only building fully visible from Camino del Monte Sol (Photo 30).

Historical Overview

Overview

Photographer Laura Gilpin, who had worked in obscurity for nearly four decades, had a breakthrough in the late 1960s with the publication of *The Enduring Navaho*, a photographic portrait of the Diné people. The visually compelling book received accolades and awards and became a mainstay on the Southwest bookshelf. Gilpin was mostly self-trained. She had been working on the book for years, starting in the late 1930s under a quasi-New Deal documentary project. She and her partner, Elizabeth

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Forster, acquired the house in 1956 and made a few changes before they died in the 1970s. After their deaths and a transition of ownership, the house and grounds went through a cycle of renovations, achieving their current appearance by the early 2000s.

Before Gilpin: The Quintanas and Vigils

At least one house stood on the site as early as 1912, as evidenced by the King's map of the same year. The map identifies the property's joint owners as José Quintana and Severino Vigil. A hydrological survey two years later shows two independent homes: one owned by Quintana and the other by Vigil (Fig. 4). Both names would stick with the property through the 1930s. José was married to Maria Quintana, and Severino to Margarita Vigil. The property, which would gain the address 409 Camino del Monte Sol, would include at least three dwellings occupied by different families.

As recorded in the 1930 census, it consisted then of two households in separate dwellings and two related secondary households.³ José, 70, and Maria, 70, lived in one (today's main house) with their daughter Crusita. Serefino, 72, and Margarita, 69, occupied the second house, representing the east end of the guesthouse. This household included a separate family unit consisting of a daughter, Efren Lucero, and her two sons. Another unit had four grandchildren with the Perea surname. In total, twelve individuals lived on the property. City directories identified more people with the Vigil, Perea, or Vigil surnames living at 409 Camino del Monte Sol, with some simply occupying "rooms."⁴

The older men owned the land but were no longer working, while the younger men had jobs as "laborers." Several of the young women worked as domestics; Nella Vigil helped artist William Penhallow Henderson, whose home was higher up on the Camino, and her sister, Crusita, worked for the David G. Carter family on Acequia Madre.⁵

³ U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 12A; Enumeration District: 0003; FHL microfilm: 2341134.

⁴ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1928* (El Paso: Hudspeth Directory Company, 1928), 179.

⁵ *Ibid.*, 138, 178, and 179. Three of the young women were indicated to be working as domestics.

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Severino Vigil, who had helped construct the St. Francis Cathedral, died in 1933.⁶ As was the tradition, his body would rest in state in the house before being buried. (Newspapers accounts document that at least five family members rested in state at the house between 1932 and 1942). Vigil was followed three years later by José Quintana.

In the late 1930s, the population of the property began to change. City directories recorded the main house owned by Antonio J. Ortiz, with separate “rear” homes held by families with the Vigil, Martinez, and Lucero surnames.⁷ For the most part, these names represented the children (and/or spouses) of the deceased principal owners.

Additional names began to appear in the 1940s. The 1942 city directory places seven families on the property, having either the Anaya, Maes, Medrino, or Ortiz surnames. In addition to the two primary homes, 409 Camino del Monte Sol, included “1 rear,” h3,” and so on, suggesting smaller dwellings.⁸

Three years before Laura Gilpin and Elizabeth Forster purchased the property in 1956, the main houses were occupied by Antonio and Adelina Ortiz, who owned their home, and Augustine Stoll, who rented hers.⁹ Antonio, or Tony, served as the vice president of the Cristo Rey Credit Union; Augustine Stoll, a single woman, was a public nurse who mya have known Elizabeth Forster. The official deed for the property listed Tony and his wife Carmelita and nine individuals with either Lucero, Ortiz, or Alire surnames as the previous owners.¹⁰

⁶ “Serefino Vigil,” *Santa Fe New Mexican*, February 27, 1933, 2.

⁷ Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1938* (El Paso: Hudspeth Directory Company, 1938), 250.

⁸ Various city directory entries.

⁹ *Ibid.*, 1953, 350. In a May 1957 letter, Gilpin claims to have acquired the property 1.5 years earlier from “Miss Augustine Stoll.” There is no indication through a search of deeds that Stoll ever owned the property.

¹⁰ Quitclaim Deed (Joint Tenants), Jose and Carmelita Ortiz, et al to Laura L. Gilpin and Elizabeth W. Forster, single women, recorded May 17, 1957 (digital entry states May 16, 1958), Book 144/Page 230, Instrument # 228103, Santa Fe County, New Mexico.

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The Photographer

Laura Perry Gilpin was born on April 22, 1891, on a ranch near Austin Bluffs, Colorado.¹¹ Her grandfather, Bernard Gilpin, owned a drug company in Baltimore that introduced the insecticide Black Flag to the general market.¹² Money from this source likely underwrote Laura’s education and lifestyle as an artist.

Laura’s father, Frank Gilpin (Fig. 5), was less inclined to engage in commercial activity and moved to Colorado Springs, where he established a ranch and opened a woodworking shop where he produced handsome reproductions of early American furniture. William Jackson Palmer, a civil engineer and founder of Colorado Springs, introduced young Laura to hunting and nature photography. At age 12, she received her first camera, a Kodak “Brownie.” She took some of her first pictures at the World’s Fair in St. Louis the following year.

Early Training

Her mother, Emma Miller Gilpin, who had grown up in Chicago and St. Louis, encouraged her daughter’s photography, taking her to New York to meet with pioneering female photographer Gertrude Käsebier. After attending prep school in Philadelphia, Laura returned to Colorado Springs and worked at the family ranch. 1916, she enrolled in the Clarence H. White School of Photography in New York. Clarence Hudson White, a proponent of Pictorialism, educated his students to use the camera and darkroom as an artist would use a paint brush and canvas. His students included Dorothea Lange. Gilpin only attended for a year but learned the fundamentals of in-camera composition and silver and platinum printing, both skills she would use for her lifetime.

Stricken with Spanish influenza, Laura returned to Colorado Springs. Her mother hired a private nurse, Elizabeth Warham Forster, to help Laura recover (Fig. 7). Laura and Elizabeth (popularly Becky) developed a relationship and became lifelong romantic

¹¹ Information on Gilpin’s life is based on several online biographies. Essential facts and dates are not footnoted. The author, however, has included additional information that did not appear in biographies or that helps inform readers about the artist’s life in Santa Fe.

¹² “Death of Bernard Gilpin,” *The Sun*, May 8, 1897, 10; “Black Flag Week is to be Observed Here,” *The Yonkers Herald*, June 17, 1925, 7.

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partners.¹³ After mending, Laura opened a portrait studio in Colorado Springs, a form of photography she would practice for art and cash for the rest of her life. During this period, she moved away from the soft focus of Pictorialism and toward a more documentary form.

During the Great Depression, she moved into architectural photography and New Deal-style realism. The former included photographing architect John Gaw Meem's stark concrete masterpiece, the Colorado Springs Art Center (1934). These pictures were displayed in Paris.¹⁴

It is unclear why, but Gilpin was denied employment with the Farm Security Administration¹⁵, a New Deal documentation project that launched the careers of many important photographers (Dorothea Lange, Walker Evans, Gordon Parks, Ben Shahn). She did work with the Coronado Cuarto Centennial Commission to provide photographs to illustrate New Mexico's WPA state guide.

Gilpin first traveled to the Navajo Nation in 1930, where Elizabeth worked as a public nurse and, through Forster's connections, began photographing individuals and families. Multiple photographs she took during this time illustrated *The Enduring Navaho* (Fig. 8). This work and subsequent trips to the reservation became the foundation of her decades-long project documenting the Navajo culture.

Move to Santa Fe

Laura and her family visited Santa Fe starting in 1921, once arriving in 1929 in a "chuck wagon" built on a Cadillac chassis.¹⁶ She mingled with notable Santa Fe women, taking portraits of many, including a platinum print of Helen Dorman in Navajo blouse and

¹³ Walter Cooper, *Unbuttoned: Gay Life in the Santa Fe Arts Scene- A Memoir* (Santa Fe: Walter Cooper Books LLC, 2016), 84.

¹⁴ John Gaw Meen, letter to Laura Gilpin, May 13, 1937, Laura Gilpin Papers, Amon Carter Museum of American Art Archives, Fort Worth, Texas. "People Coming and Going in Old Santa Fe," *Santa Fe New Mexican*, May 28, 1937, 6.

¹⁵ James C. Farris, *Navajo and Photography: A Critical History of the Representation of an American People* (Albuquerque: University of New Mexico, 1996), 330, Footnote 4. Farris points out that the head of the agency, Roy E. Stryker, "deliberately avoided Native Americans," but as Gilpin photographed a wide range of subjects, other issues must have factored into his choice.

¹⁶ "Town Talk," *Santa Fe New Mexican*, June 1, 1929, 6.

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squash blossom necklace (Fig. 9). She first exhibited in Santa Fe in 1931, with a slide show at the Laboratory of Anthropology.¹⁷

Laura and Elizabeth moved to Santa Fe after the conclusion of World War II. During the war, Laura had worked for Boeing Company in Wichita, Kansas, where she did promotional photography for the plane manufacturer and the war effort. Her father died in 1943; it is assumed she inherited some money from the Gilpin wealth. The same year, she published her first book, *The Pueblos: A Camera Chronicle*.

In Santa Fe, she established a photography studio. She returned to doing portraits (Fig. 10) and produced a line of postcards. She became part of the small photographic community and once volunteered to judge, along with fellow state guide photographer Ernest Knee, a competition at the Camera Shop formerly located across from La Fonda.¹⁸ While now a known photographer, she exhibited locally, including at First National Bank of Santa Fe.

In 1948, Gilpin released *Temples in the Yucatan*, a book documenting Mayan architecture she photographed in the 1930s (Fig. 11). The following year, she released *Rio Grande: River of Destiny*, her most artistically satisfying work. A pictorial study of the Rio Grande River — from headwater to outlet — the book pointed toward Laura’s last approach to photography in which she photographed large landscapes. In 1950, she began planning *The Enduring Navaho*, her culminating and most famous work, hoping to publish it through Duell, Sloan and Pierce of New York City.¹⁹

In her portrait work during this period, Gilpin captured important New Mexico cultural figures — Maria Martinez, Georgia O’Keeffe, and John Gaw Meem — in photos which have been used many times to illustrate books and publications.

Laura and Elizabeth had lived in various rentals on Alameda, Canyon, and lastly the Camino, where they leased 503 until late 1955.²⁰ After acquiring the Ortiz property, they settled into the Camino lifestyle, which by this time, was less of the art colony of the

¹⁷ “Laura Gilpin’s Southwest Photos Delight Scientists,” *Santa Fe New Mexican*, September 5, 1931, 4.

¹⁸ Advertisement, *Santa Fe New Mexican*, October 4, 1947, 3.

¹⁹ “Pasopor Aqui,” *Santa Fe New Mexican*, June 7, 1950, 8.

²⁰ Laura Gilpin, letter to Evaline Meyers Jansen, December 15, 1955. Laura Gilpin Papers, Amon Carter Museum of American Art Archives, Fort Worth, Texas.

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1920s, and more of where the wealthy acquired summer homes. Laura, like other Anglos and a few Hispanics, protested the paving of the Camino, but at the same time she was eager to get a new sewerage connection.²¹

A letter from 1957 indicates she was using the “little house” as a photography studio and wanted to add to it a “good studio.”²² Given that the letter was focused on an easement issue involving the driveway (now the brick walkway) it may be interpreted that she was using the tiny adobe homes along the south property line as her production area.

During this period, Laura worked on *The Enduring Navaho*, and it was published by the University of Texas in 1968. It received positive praise from the tribe and anthropologists, though some of her approaches later called into question.²³ Gilpin had now been taking photos professionally for 40 years. She had reached international acclaim, with her longtime friend, Ansel Adams (Fig. 12), viewing her as “one of the most important photographers of our time.”

Last Years

In her last decade, Gilpin began to make small changes to the house. In 1970-71, a large room was added to the northeast corner, creating a new kitchen.²⁴

Around 1975, Gilpin began work on the long-held ambition to create a “good studio.” A 1976 *New Mexican* article mentioned the completed project which involved renovating the home’s front side. Gilpin turned the five rooms of the former dwelling into her dark room, matting room, portrait studio, showroom, and gallery. “I’m very excited,” Gilpin told the reporter, “It’s the first studio-gallery I’ve had.”²⁵ With the renovation, Gilpin

²¹ “City Council Hears Discussion on Paving Plan for Dist. 11,” *Santa Fe New Mexican*, February 14, 1957, 1.

²² Laura Gilpin, letter to Mr. and Mrs. Eusebio E. Ortiz, May 18, 1957, Laura Gilpin Papers, Amon Carter Museum of American Art Archives, Fort Worth, Texas.

²³ Farris, *Navajo and Photography*, 235-252; Louise Siddons, *Good Pictures Are a Strong Weapon: Laura Gilpin, Queerness, and Navajo Sovereignty* (Minneapolis: University of Minnesota Press, 2024).

²⁴ Elizabeth Wagner, letter to H-Board, August 23, 1994; “Building in Santa Fe Takes Seasonal Upward Swing,” *Santa Fe New Mexican*, April 5, 1970, 8.

²⁵ Rosana Hall, “Laura Gilpin: A Lifetime of Photography,” *Santa Fe New Mexican*, July 1, 1976, B-13.

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joined a history of artists who once maintained studio galleries on the Camino. Soon, she began showing her works at the little gallery.

Her longtime partner, Elizabeth Warham Forster, died in 1972. Gilpin continued to live at the house with help from an assistant. Receiving a belated Guggenheim Fellowship in 1975, Gilpin began working on a photographic essay on Canyon de Chelly, a project she would not complete. Laura Perry Gilpin died at St. Vincent’s Hospital on November 30, 1979, at age 88.

Evolution of Buildings and Property

Most changes to the Gilpin-Forster house occurred after their deaths. The few available photographs of the house during their time, coupled with aerial imagery, reveal a vernacular — perhaps scruffy — building and grounds. It looked nothing like what is in place today.

In 1984, as part of his architectural survey of the Camino del Monte Sol area, Michael Belshaw hypothesized that the older part of the residence was the larger, eastern section, which had a metal roof at the time.²⁶ He called it a “Mountain Vernacular” house and indicated that the Pueblo Revival front addition “may be recent.”

Early aerial photography from the 1930s, with its poor quality, does not allow the confirmation or refutation of Belshaw’s guess. However, a 1948 flyover shows the two joined dwellings (Fig. 13). The far superior 1958 aerial captures the home two years after Gilpin and Forster acquired it. There is indeed a gable roof structure and to the west, separated by a few feet, a smaller flat roof structure (Fig. 14). Also significant are the four to five adobe structures across the south property line. The complex terminated at her time in the west with a carport bearing Gilpin’s name.

Following Gilpin’s death in 1979, Caroline Dewey acquired the property in 1986. According to a letter from architect Elizabeth Wagner, who came to the Board several times in the 1990s, Caroline’s daughter, Andrea Chew, reworked the west portion of the house, turning it into a single-family home.²⁷ The project removed all traces of Gilpin’s

²⁶ Michael Belshaw, *Camino Del Monte Sol Architectural Historic Survey*, (Santa Fe: Prepared for the City of Santa Fe, 1984), 27.

²⁷ Wagner, letter to H-Board.

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1976 studio gallery. The line of small adobe buildings on the south were joined together to form a guesthouse. They later subdivided the property into three parcels. Thomas and Jane O’Toole acquired all three parcels in the late 1980s, reuniting the Gilpin-era property with a consolidation in 1994.²⁸

The O’Tooles began to change the buildings (see Table 1). This work, spanning ten years, included adding a hyphen or connector between the main home and the guesthouse. Further work involved creating a new window on the south side of the house and changing two windows into doors. A Territorial Revival entrance and porch were installed on the south elevation, and a freestanding garage was added near the west end of the property. The last project under O’Toole’s ownership created a beehive fireplace in the north elevation portal.

Evaluation of Historical Status

Cumulatively, the various projects, spanning 1989 to 1999, have affected every side of the combined original home and guesthouse. There is little left, save some secondary areas, that are true to the Quintana-Vigil and Gilpin-Forster periods. The current buildings and grounds more accurately reflect the tastes of recent owners.

When considering the hierarchy of the home’s façades, the north inset portal plays an essential role in its design and communicates its origin and later use. The open-walled room has a distinctive feel that connects to the territorial period and its later use as an outdoor-indoor living space. Minor changes and intrusions, such as the 1990s fireplace, have modified the space, but its overall design and feeling seem to remain intact.

For this reason, the recommendation is maintain Contributing status, recommending the north portal, minus recent intrusions, as the primary façade.

²⁸ Ibid.

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Table 1: Summary of Changes -1970 to 2000

Case #	Year	Project	Board Action
N/A	1970-71	New kitchen added on north elevation; changed footprint and massing	N/A
N/A	1973-78	Small porch added to east elevation; changed footprint and massing	N/A
N/A	1973-78	Created portal at southwest corner of studio/gallery (likely created as part of next project); changed footprint and massing	N/A
N/A	1975-76	Converted west section of house to studio gallery	N/A
Post-Gilpin Period			
N/A	Post-1983	Altered west elevation portal of Gilpin studio gallery; reduced size and introduced wall enclosure and gate; changed location, number and design of porch supports; removed entry door	N/A
N/A	Post-1983	Covered character-defining metal roof of east end of house with modern roofing material	N/A
N/A	c.1984	Converted former Ortiz-era dwellings and later Gilpin-era darkroom and studio to guesthouse	N/A
N/A	c.1989	Created hyphen between house and former darkroom and studio to create passage to guesthouse; changed footprint and massing	N/A
N/A	c.1989	Closed off original drive and installed brick pathway along south elevation side yard	N/A
H-94-151	1994	Created carport and constructed privacy wall and gate; revised in 1995 to one-car garage	Approved
NA	c.1994	Removed Gilpin-era carport; changed footprint and massing	N/A
H-95-016	1995	Replaced south elevation porch with new Territorial Revival design; altered fenestration, including introduction of a new window and a change of two windows to doors	Approved
N/A	c.1995	Reinstalled brick pathway along south elevation side yard	N/A
H-99-118	1999	Added ramada-style shade structure	Approved
H-99-189	1999	Installed fireplace under north portal	Approved

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Illustrations



Figure 1: Additions and Massing Changes: 1970-2000 (see Table 1).

- A. Shade structure, 1999.
- B. Kitchen addition, 1970-71.
- C. Porch, c.1971-73; removed with c.1989 hyphen.
- D. c.1989 hyphen, which includes “C”, removed portion north wall of “E.”
- E. Former Severino Vigil house and historic adobe additions. Converted to guesthouse, early 1980s.
- F. Gilpin-era carport; removed c.1990s.
- G. New Territorial Revival porch, c.1995.
- H. Portal added c.1973-1978; altered in the 1980s.
- I. One-car garage, c.1995.

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**Figure 2: March 6, 1983, HBI survey photograph. Michael Belshaw.
 West side of building complex. Camera facing east.
 Courtesy NMCRIIS.**

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Figure 3: Top, c.1960s photo of Laura Gilpin’s carport and line of small adobe buildings. Bottom, approximately same view taken in May 2024. Top image courtesy Gay Block.

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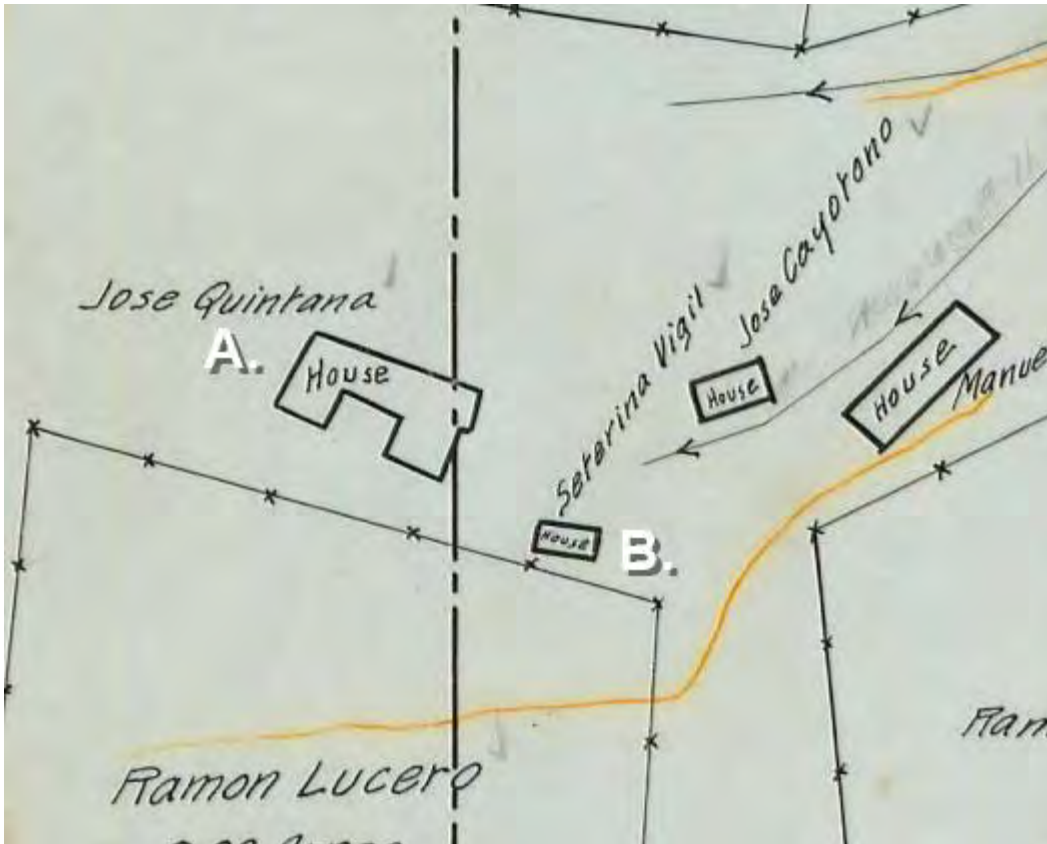


Figure 4: 1914 hydrographic map. A. José Quintana home (main house); B. Severino Vigil house (east end of guesthouse).

State Engineer's Office, "Santa Fe Hydrological Survey," [series of maps] (Santa Fe: State Engineer's Office, 1914 (published 1919).

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Figure 5: Gilpin family seated at The Broadmoor, Colorado Springs, 1905. Laura Gilpin. Amon Carter Museum of American Art, Fort Worth, Texas, Bequest of the artist.

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Figure 6: Elizabeth (Betsy) W. Forster, 1946. Laura Gilpin. Amon Carter Museum of American Art, Fort Worth, Texas, Bequest of the artist.

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Figure 7: Laura Gilpin, self-portrait, 1928. Laura Gilpin. Amon Carter Museum of American Art, Fort Worth, Texas, Bequest of the artist.

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NAVAHO WOMAN SPINNING

Laura Gilpin



Laura Gilpin

NAVAHO FAMILY

Figure 8: c. 1930s Navajo photographs, Laura Gilpin. 1940 WPA American Guide Series.

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Figure 9: Helen Dorman, 1929. Laura Gilpin.
Amon Carter Museum of American Art, Fort Worth, Texas, Bequest of the artist.

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Figure 10: 1950 advertisement for portrait work.
 Courtesy *The Santa Fe New Mexican*.

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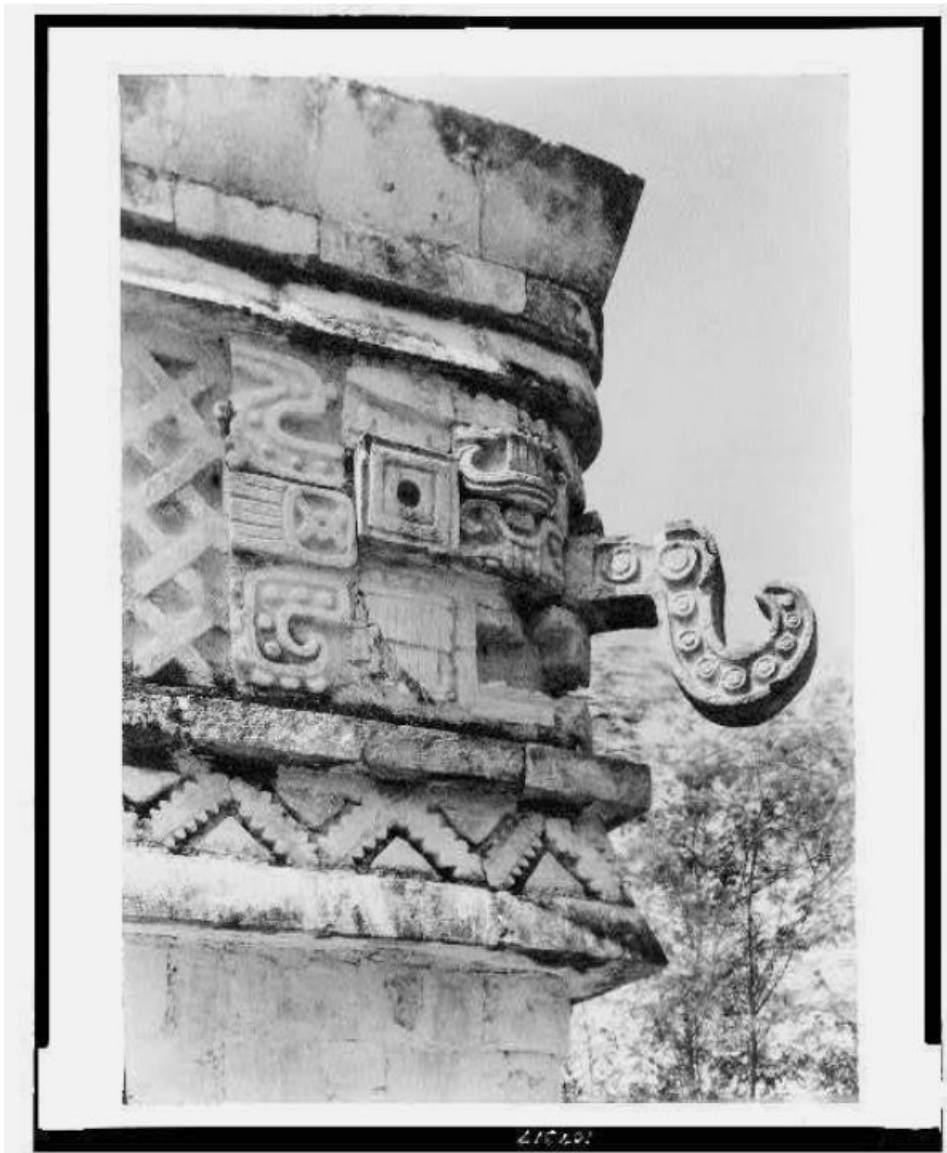


Figure 11: Mask of Itzamma. Temple of the Three Lintels, Chichen Itza, Yucatan, 1932. Laura Gilpin. Library of Congress Prints and Photographs Division Washington, D.C.

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Photo 12: Polaroid portrait of Laura Gilpin, Yosemite Valley, California, 1960. Ansel Adams. The Met. Gift of Virginia Best Adams and Polaroid Corporation.

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Figure 13: October 25, 1948, aerial photograph.
A. Main house; B. Guesthouse.

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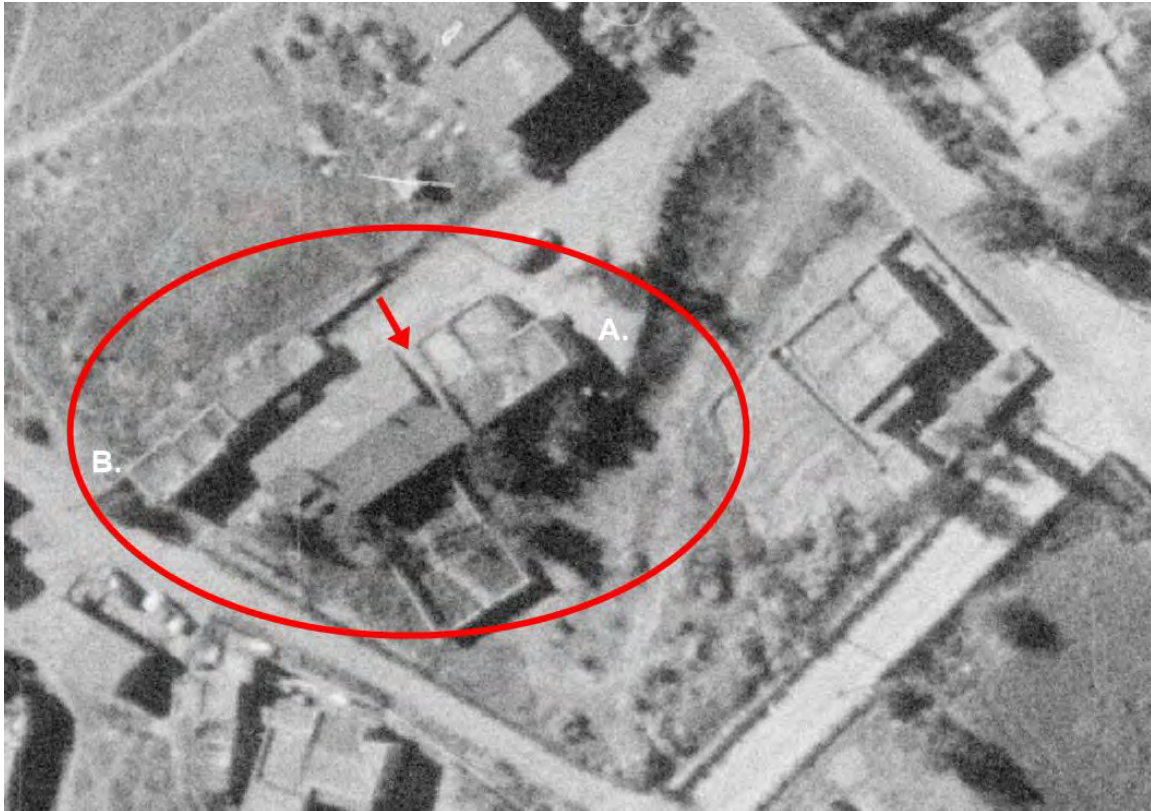


Figure 14: November 10, 1958, aerial photograph.
A. Main house; B. Guesthouse.
Arrow notes separation of dwellings forming main house.



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Figure 15: May 11, 1973, aerial photograph.
A. Main house; B. Guesthouse.
The arrow indicates that dwellings have been joined together.



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**Figure 16: September 11, 1978, aerial photograph.
 Note fenestration of guesthouse before c.1989 hyphen was added.**



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Survey Photographs

(All images taken by Giulia Caporuscio, May 1, 2024, unless otherwise noted)



Photo 2: View from entry to non-historic garage. Camera facing east.

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Main House



Photo 3: West elevation, altered 1976 portal. Camera facing east.

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Photo 4: South elevation, altered 1976 portal. Camera facing north.

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Photo 5: West elevation, unaltered section. Camera facing east.

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Photo 6: South elevation and walkway. Camera facing east.

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Photo 7: South elevation, west end. Introduced window highlighted. Camera facing north.

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Photo 8: South elevation, older window. Camera facing north.

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Photo 9: South elevation, where flat roof section meets gabled section. Camera facing north.

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Photo 10: South elevation, entry. Circled porch and door altered in the 1990s. Camera facing north. May 4, 2024.

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Photo 11: South elevation (left), non-historic connector (center), guesthouse (right). Camera facing east.

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Photo 12: South elevation, east end. 1990s door circled. Camera facing northeast. May 4, 2024.

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Photo 13: East elevation. New fenestration circled. Camera facing west.

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Photo 14: East elevation, 1980s window. Camera facing west.

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Photo 15: East elevation. Non-historic hyphen connects with Severino Vigil portion of guesthouse. Camera facing southwest.

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Photo 16: North elevation oblique, east end. 1970s kitchen addition circled. Camera facing southwest.

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Photo 17: North elevation, kitchen addition. Camera facing south.

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Photo 18: North elevation, portal. Camera facing south.

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Photo 19: North elevation, portal. Camera facing southwest.

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Photo 20: North elevation, ramada shade structure. Camera facing east.

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Photo 21: North elevation 1990s door circled. Camera facing southeast.

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Photo 22: North elevation, west end. Camera facing southwest.

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Photo 23: North elevation, detail of older window. Camera facing south.

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Guesthouse



Photo 24: West elevation, altered window circled. Camera facing east.

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Photo 25: North elevation, 1980s window circled. Camera facing south.

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Photo 26: North elevation, representing Severino Vigil home.

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Photo 27: East elevation. Camera facing west.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: José Quintana & Severino Vigil Houses/ Laura Gilpin and Elizabeth Forster Property/ Thomas and Jane O'Toole House	2. Location: 409 Camino del Monte Sol Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-767			
		4. County: Santa Fe			
		5. Date of Survey: May 1, 2024			



Photo 28: South elevation, east end. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: José Quintana & Severino Vigil Houses/ Laura Gilpin and Elizabeth Forster Property/ Thomas and Jane O’Toole House	2. Location: 409 Camino del Monte Sol Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID: H-767			
		4. County: Santa Fe			
		5. Date of Survey: May 1, 2024			



Photo 29: South elevation, middle section. Filled in opening circled. Camera facing northwest.

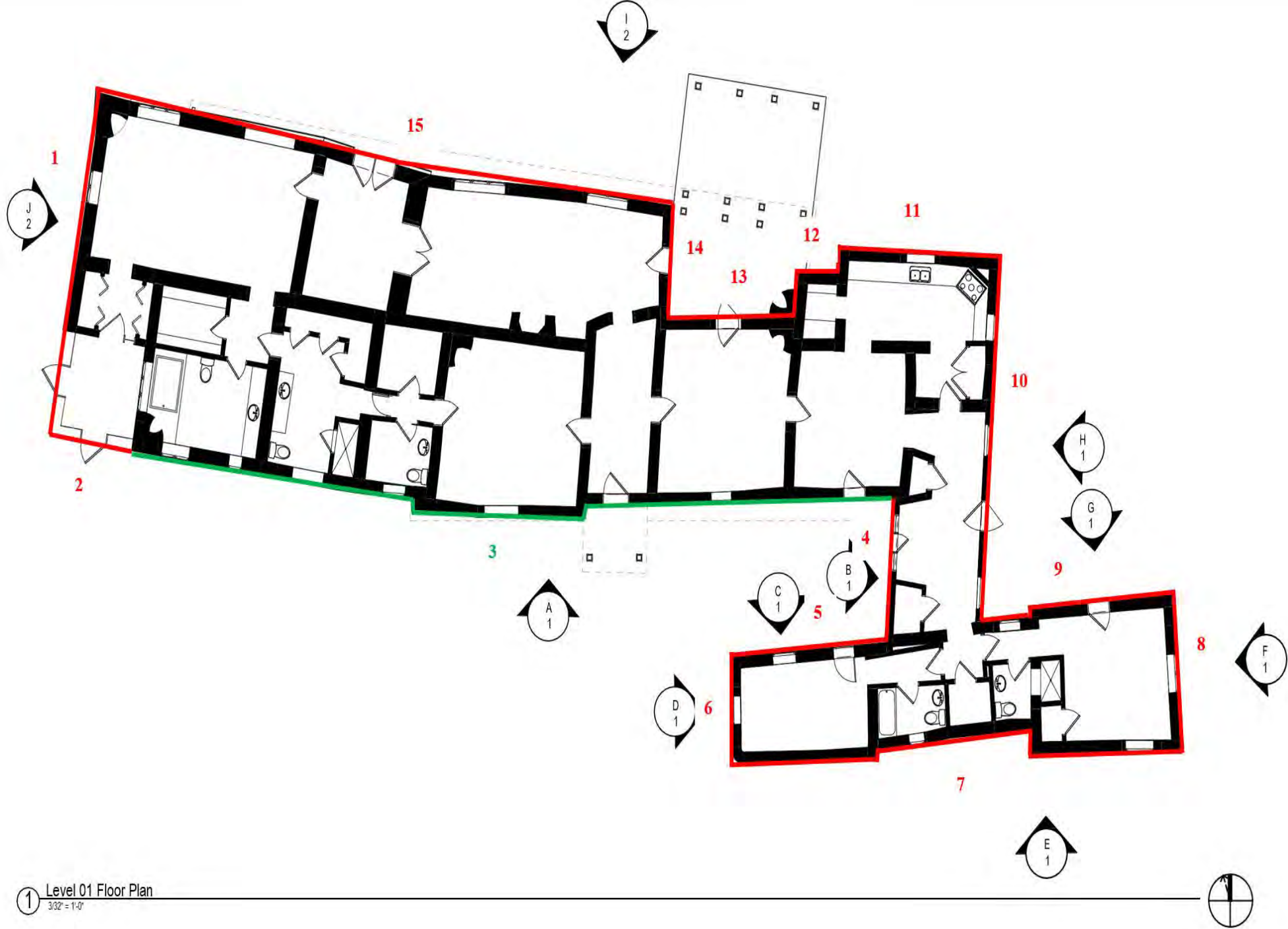
Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
 Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: José Quintana & Severino Vigil Houses/ Laura Gilpin and Elizabeth Forster Property/ Thomas and Jane O’Toole House	2. Location: 409 Camino del Monte Sol Downtown and Eastside Historic District Santa Fe
	3. Local Reference Number: Santa Fe ID: H-767
	4. County: Santa Fe
	5. Date of Survey: May 1, 2024

Garage



Photo 30: South elevation. Camera facing north.



Jeremiah Collatz
409 Camino Del Monte Sol
Santa Fe, NM 87505

13 May 2024

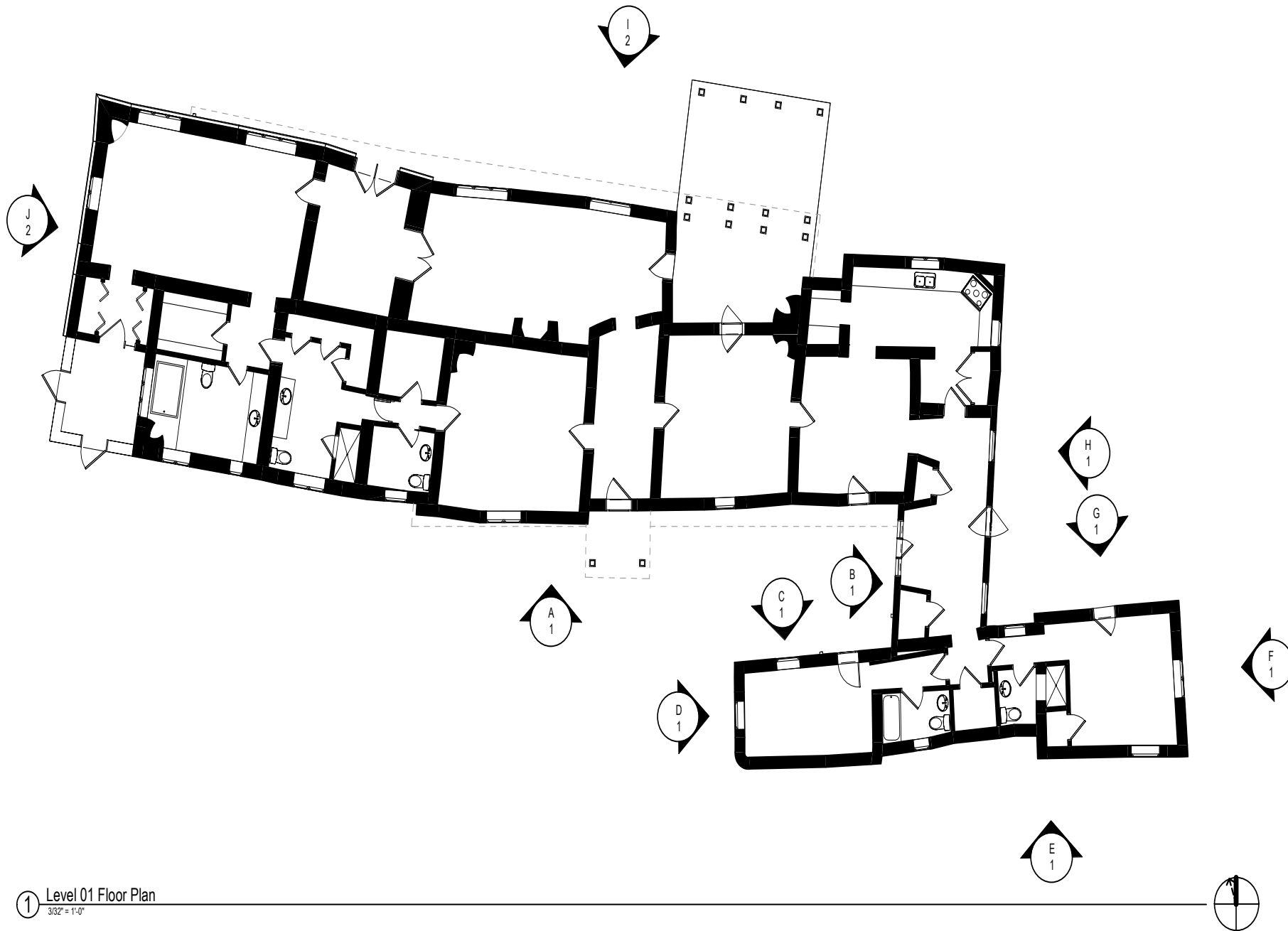
Dear Historic Preservation Department:

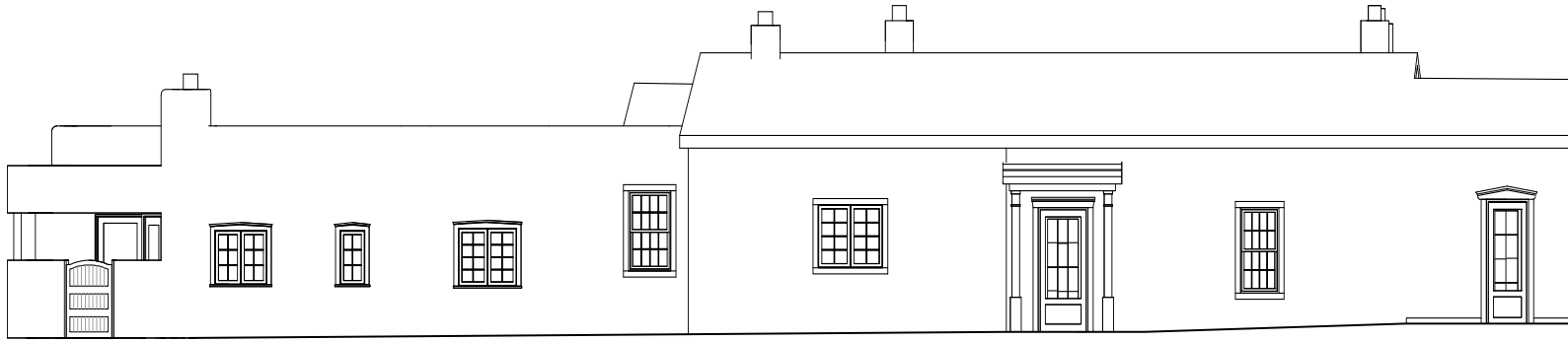
I, Jeremiah Collatz, residing at 409 Camino del Monte Sol, am requesting a status review and primary façade designation.

Sincerely,

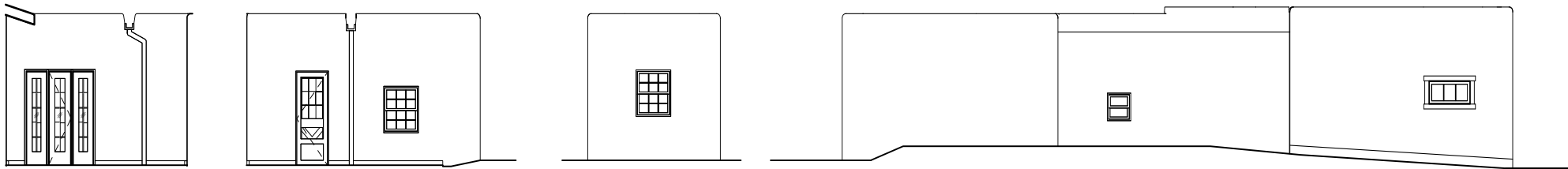
A handwritten signature in black ink, appearing to read 'JC', with a long horizontal stroke extending to the left.

Jeremiah Collatz, AIA





A South Elevation Existing
1/8" = 1'-0"

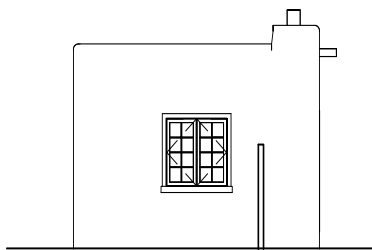


B Courtyard Elevation West Existing
1/8" = 1'-0"

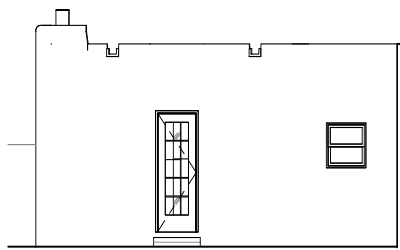
C Courtyard Elevation North Existing
1/8" = 1'-0"

D Guest West Elevation Existing
1/8" = 1'-0"

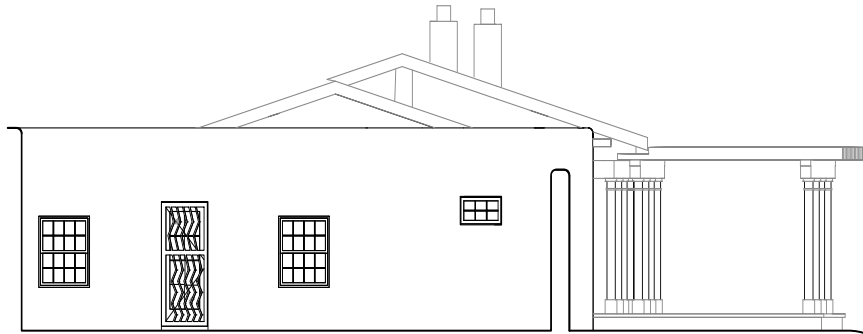
E Guest South Elevation Existing
1/8" = 1'-0"



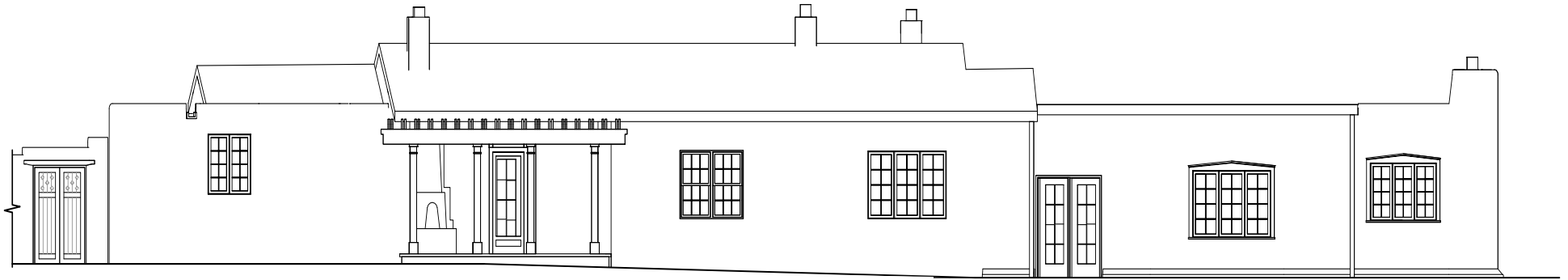
F Guest East Elevation Existing
1/8" = 1'-0"



G Guest North Elevation Existing
1/8" = 1'-0"



H East Elevation Existing
1/8" = 1'-0"



① North Elevation Existing
1/8" = 1'-0"



② West Elevation Existing
1/8" = 1'-0"



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008452--HDRB

Project Description: 2023-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing Historic Status. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable.

Project Location(s): 216 OLD SANTA FE TRL
Santa Fe, NM 87501

Contacts:

Property Owner: Louis West

calzapper@gmail.com

Applicant: John Padilla

japadillaarchitect@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: True Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: 1984

Year of Construction: 1956-1958

Project Type: Historic Status Review

Historic Building Name: Gallery Tiqua

City of Santa Fe, New Mexico

memo

DATE: June 25, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008452-HDRB. 216 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing. John Padilla, agent for Lewis West, owner, requests a historic status review with primary facade(s) designation if applicable.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: previous case documents

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: 2024 HCPI

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

216 Old Santa Fe Trail is a non-residential structure located in the Downtown and Eastside Historic District. The status map shows that the front portion of the structure is contributing while the rear portion is non-contributing.



Figure 1: Status designation map

The structure was constructed in a vernacular manner between 1956 and 1958. The 1984 HCPI form provides no information about the structure. The 2024 HCPI reflects the changes that were made without permit or approval from the HDRB in 2023.



Figure 1: December 20, 1984, HBI survey photo. Harry Weiss. Courtesy NMCRIS.



Figure 2: Difference between store frontages 1984 and 2024.

Aerial photography shows the structure in 1958 and with additions in 1978. The 1984 structure was entirely to the rear of the lot and still appeared as the original residence. A building permit for a detached family residence was issued in 2005 (BLDR-2005-3137), however there is no indication that a second structure was ever built as there is not a second structure in any aerial or photo including the street image from Google Maps in

2007. A tent structure is in this image and may be the permitted structure from 2005. This structure was still in use in 2014 but is missing by 2015.

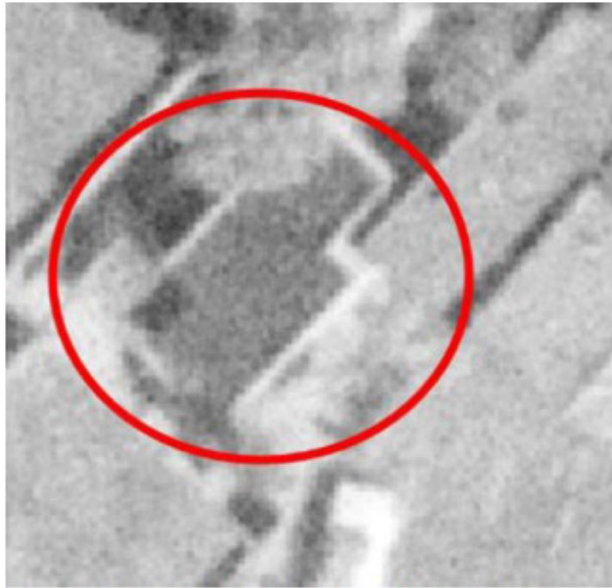


Figure 6: November 10, 1958, aerial photograph.
Note presence of small house.



Figure 7: September 11, 1978, aerial photograph.

Figure 3: Aerials from 1958 and 1978



Figure 4: Store front in 2005 and 2015

The 2016 historic preservation case H-16-007 indicates that the property is listed as non-contributing to the Downtown and Eastside Historic District. This 2016 case requested the removal of the temporary tent structure and the construction of a 346 sq. ft. addition on the east elevation, and a 63 sq. ft. addition to the north elevation.

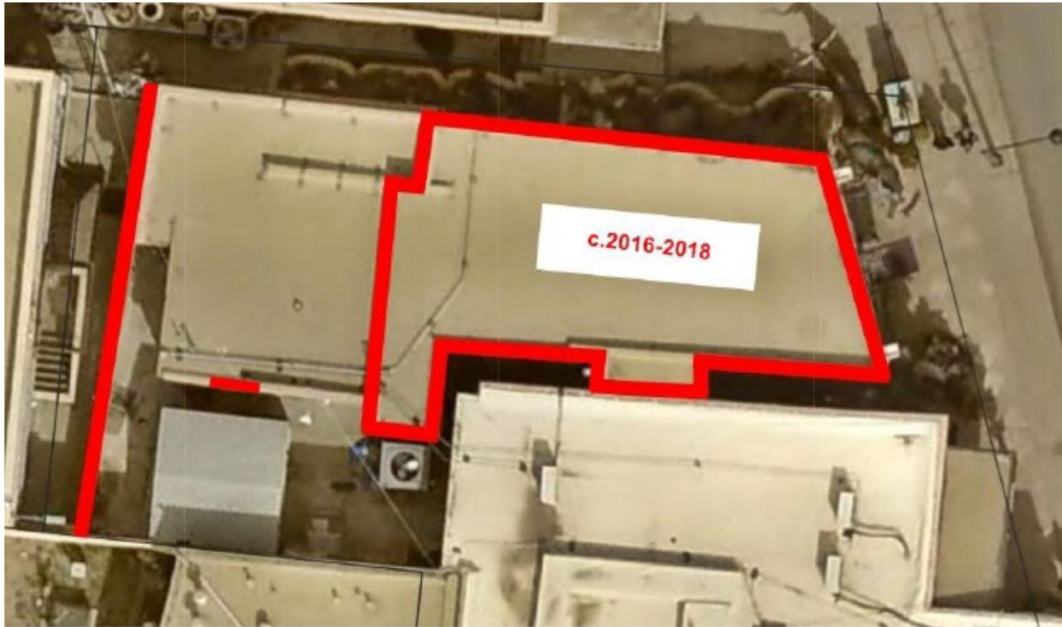


Figure 5: Red indicating the alterations by circa 2016 addition and other alterations

Additional work on the property in 2017 altered the face of the structure by enclosing windows and increasing the size of fenestrations to create the store front as it appears in 2022.

The structure as it exists today has no fenestrations on either the north or south elevations. The east façade was altered again in 2023 creating a glass front and while the single header from the 2016 conversion is still present, it is obscured by a new awning.



Figure 6: Store fronts in 2022 and 2024

The applicant requests:

- 1) Status review of the non-residential structure and;

2) Designation of primary facades, if applicable.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

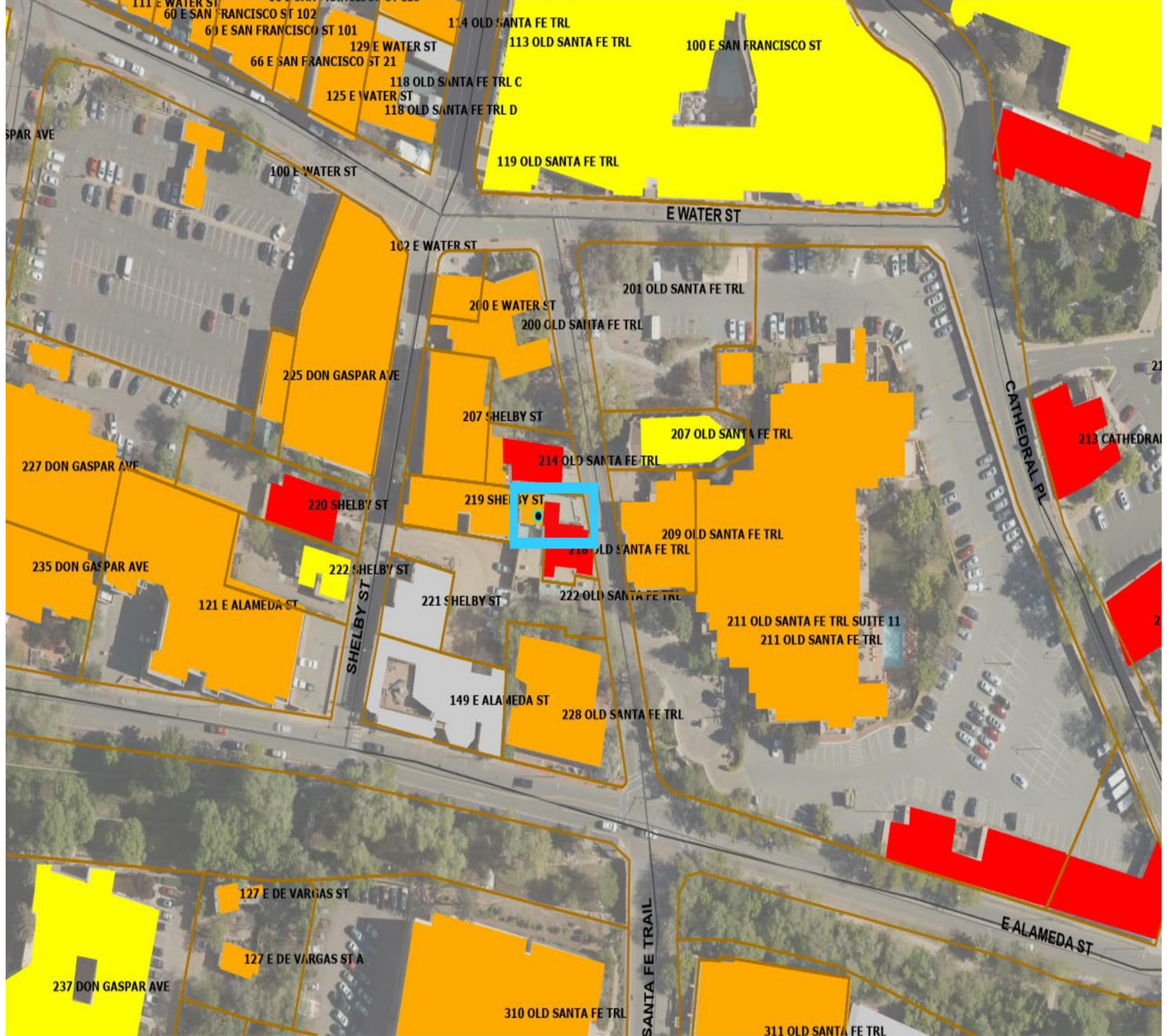
- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



111 E WATER ST

60 E SAN FRANCISCO ST 102

66 E SAN FRANCISCO ST 101

129 E WATER ST

114 OLD SANTA FE TRL

113 OLD SANTA FE TRL

100 E SAN FRANCISCO ST

118 OLD SANTA FE TRL C

125 E WATER ST

118 OLD SANTA FE TRL D

119 OLD SANTA FE TRL

100 E WATER ST

E WATER ST

102 E WATER ST

201 OLD SANTA FE TRL

200 E WATER ST

200 OLD SANTA FE TRL

225 DON GASPAR AVE

207 SHELBY ST

207 OLD SANTA FE TRL

227 DON GASPAR AVE

214 OLD SANTA FE TRL

220 SHELBY ST

219 SHELBY ST

209 OLD SANTA FE TRL

235 DON GASPAR AVE

121 E ALAMEDA ST

221 SHELBY ST

222 OLD SANTA FE TRL

SHELBY ST

211 OLD SANTA FE TRL SUITE 11
211 OLD SANTA FE TRL

149 E ALAMEDA ST

228 OLD SANTA FE TRL

127 E DE VARGAS ST

127 E DE VARGAS ST A

237 DON GASPAR AVE

310 OLD SANTA FE TRL

SANTA FE TRAIL

311 OLD SANTA FE TRL

E ALAMEDA ST

CATHEDRAL PL

213 CATHEDRAL

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

Previous Case

H-16-007

Remodel

216 Old Santa Fe Trail

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-16-007

Address – 216 Old Santa Fe Trail

Agent's Name – Robert Nestor

Owner/Applicant's Name – Louis West

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 14, 2016.

216 Old Santa Fe Trail is a commercial structure constructed in a vernacular manner between 1956 and 1958, as estimated by an owner. The 1984 HCPI form provides no information about the structure, which is listed as non-contributing to the Downtown & Eastside Historic District. A temporary tent structure was erected on the front, east elevation at an unknown date. The Applicant proposed to remodel the property with the following four items:

1. The temporary tent structure and the wooden portal will be removed at the east elevation.
2. A 346 square-foot addition will be constructed on the east elevation to a height of 12'. The addition will feature an 8-lite French door flanked by 4-lite windows all with exposed wooden headers on the east elevation.
3. A 63 square-foot storage addition will be constructed on the north elevation without fenestration or doors.
4. A concrete bollard will be installed at the southeast corner of the addition to protect a relocated gas meter.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Zoning staff determined that the Application meets underlying zoning standards.
3. Staff Recommendation: Staff recommended approval of this Application in that it complies with SFCC Sections 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing and (E) Downtown & Eastside Historic District.
4. The project is, without limitation, subject to requirements of the following sections of the Santa Fe Land Development Code:
 Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing (of any structure).
 Section 14-5.2(C), Regulation of Significant and Contributing Structures
5. The property is located in the following district and subject to the related sections of the Santa Fe Land Development Code:
 Downtown and Eastside Historic District (Section 14-5.2(E))
6. An Exception Request was Applicable to this Application:
 No Exception Request Applicable
7. Under Sections 14-2.6(C), 14-2.7(C)(2), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f) and 14-5.2(C)(3)(b), 14-5.2(C)(3)(a) and Section 14-5.2(D) the Board has authority to review,

- approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.
 9. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.
 10. The information contained in the Application, and provided in testimony and evidence establishes that all applicable design standards for Board approval as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approved the Application as presented.
 - a. X Additional conditions, which are:
 1. That the two windows flanking entry door be lengthened in height, keeping the sill where drawn and raising the top lintel to span across both windows and door at the same height;
 2. That the 4-lite windows become 6-lite windows, in keeping with the district;
 3. That the stucco color and windows be approved by City staff;
 4. That there be no publicly-visible rooftop appurtenances; and
 5. That Applicant revised the drawings showing the aforementioned conditions which shall be submitted to City staff before a construction application is submitted.

IT IS SO ORDERED ON THIS 28th DAY OF JUNE 2016, THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chairperson

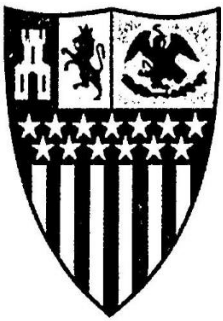
28 June 2016
Date:

FILED:
Yolanda Y. Vigil
Yolanda Y. Vigil
City Clerk

7/7/16
Date:

APPROVED AS TO FORM
[Signature]
Assistant City Attorney

6-28-2016
Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, Dist. 1

Renee Villarreal, Dist. 1

Peter N. Ives, Dist. 2

Joseph M. Maestas, Dist. 2

Carmichael A. Dominguez, Dist. 3

Chris Rivera, Dist. 3

Ronald S. Trujillo, Dist. 4

Mike Harris, Dist. 4

Project description: Downtown & Eastside Historic District. Robert Nestor, agent for Louis West, owner, proposes to construct 410 sq. ft. of addition to a height of 12' on a non-contributing non-residential structure.

Case number: H-16-007

Project Type: HDRB

PROJECT LOCATION (S): 216 Old Santa Fe Trail

PROJECT NAMES:

OW – Louis West
West Covina, CA 91791

3210 E Los Cerillos Drive
909-816-8225

AP – Robert Nester
Santa Fe, NM 87501

2101 Paseo Primero
505-983-5857

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on June 14, 2016. The decision of the Board was to approve the application with the conditions that there shall be no publicly-visible rooftop appurtenances, that the east elevation windows shall be lengthened in height to match the door header, that they shall have 6-lite pattern rather than 4-lite pattern and that the stucco and trim color along with the redesigned east elevation shall be approved by staff before construction permit application is submitted, For further information please call 955-6605.

Sincerely,

David Rasch
Supervising Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

City of Santa Fe, New Mexico

memo

DATE: June 14, 2016
TO: Historic Districts Review Board Members
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-16-007

ADDRESS: 216 Old Santa Fe Trail
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other:

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing and (E) Downtown & Eastside Historic District..

BACKGROUND & SUMMARY:

216 Old Santa Fe Trail is a commercial structure that was constructed in a vernacular manner between 1956 and 1958 as estimated by an owner. The 1984 HCPI form provides no information about the structure and it is listed as non-contributing to the Downtown & Eastside Historic District. A temporary tent structure was erected on the front, east elevation at an unknown date.

The applicant proposes to remodel the property with the following four items.

1. The temporary tent structure and the wooden portal will be removed at the east elevation.

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3. A 63 square foot storage addition will be constructed on the north elevation without fenestration or doors.

4. A concrete bollard will be installed at the southeast corner of the addition to protect a relocated gas meter.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 216 OLD SANTA FE TRAIL	
Date Submitted: 5-12-16		Proposed Construction Description: ADDITION TO EXISTING SHOP - 416 SF	
Property Owner of Record:		TOTAL ROOF AREA:	
Applicant/Agent Name: ROBERT NESTER			
Contact Person Phone Number: (983) 5857			
Zoning District: BCD01D		Lot Coverage: 90% <input checked="" type="checkbox"/> lot coverage <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Downtown East		Setbacks: Proposed Front: 10' Minimum: 10' Front 2 nd Front? 0 Proposed Rear: 0 Minimum: 0 Proposed Sides: L R Minimum: 0	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed 12'-0" Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: Proposed 1 Accessible _____ Minimum: 1	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: Proposed: 1 Minimum: 1 ** Commercial Requirement	
Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: _____			
Terrain: <input type="checkbox"/> 30% slopes _____			

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

PRINT NAME [OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input checked="" type="checkbox"/> Rejected	
Comments/Conditions: Located in BCD01D no lot coverage in District no side or rear setbacks meets front setback of 10'. Applicant in process of additional parking requirements. Parking issue re: additional space to be addressed @ SF. Review	
REVIEWER: _____	DATE: 5/12/16

Robert Nestor Architect
2101 Paseo Primero
Santa Fe, New Mexico 87501

October 28, 2016

David Rasch
Historic Preservation Division
200 Lincoln Avenue
Santa Fe, New Mexico

RE: Application #16-00001827

Dear Mr. Rasch,

Submitted along with this letter is a revised set of plans for a proposed shop addition at 216 Old Santa Fe Trail. I hope these plans are now in conformance with your requirements. Modified are window locations on the south side of the existing shop in the subject property, location of a rooftop HVAC unit and its ductwork and power feed, the angle of the proposed street facade, and the change to two adjacent windows on the contributing building next door. And all other code violations must be corrected to code. These are all items we talked about during your site visit yesterday.

You noted that the existing rooftop unit on unit A is visible from the street and this condition must be brought into conformance with the ordinance.

During your visit you noticed several code violations of the existing electrical both on the subject property and the adjacent contributing structure which is next door but on the same property and under the same ownership. You told me that because we are required to modify two windows on this property, we must bring the electrical up to code. You also noted that an addition on the south side of this building must also be permitted if it was not permitted at the time of construction, but that you are still investigating the additions status.

Sincerely,



Robert Nestor, Architect

Ala Shawabkeh
Gold House
216 Old Santa Fe Trail
Santa Fe, NM 87501

OCT 12 2016

October 12, 2016

David Rasch
Historic Preservation Division
200 Lincoln Avenue, Second Floor
Santa Fe, NM 87501

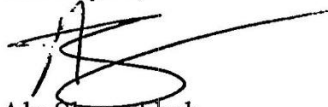
RE: Application Number 16-00001827

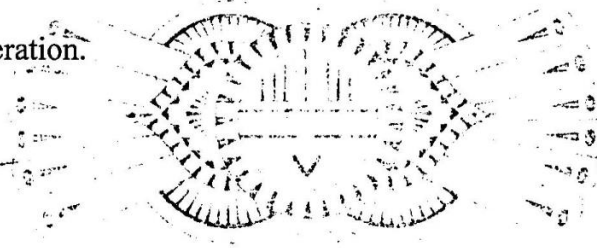
Mr. Rasch,

We are writing to ask your permission to include a 2ft high air conditioning unit on the proposed addition to 216 Old Santa Fe Trail. This unit is indicated on the revision drawings submitted by Robert Nestor. The unit will be set back quite a way from the 2ft high raised area at the front of the building and will not be seen from the street.

I appreciate your consideration.

Thank you,


Ala Shawabkeh
Owner, Tsali Nez Gallery



Robert Nestor Architect
2101, Paseo Primero
Santa Fe, New Mexico 87501

MAY 12, 2016

Attention: Historic District Review Board

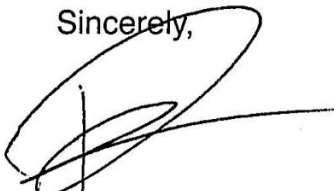
Dear Historic Districts Review Board,
I am seeking approval for the following project:

An addition to an existing shop at 216 Old Santa Fe Trail. The existing property currently contains a shop, approximately 659sf (roofed area) including an existing portal. A proposed addition is 416sf (roofed area). The existing portal of 50sf will be removed from the 659sf shop

Proposed height of the new construction is 12'-0" which is the same as an adjacent 1400sf shop. The existing 659sf shop is 10' high maximum. The new construction will be stuccoed to match the 1400sf shop in color and texture. The two windows on the east facade of the new 416 shop will be fixed clad windows. The doors will be custom wood dark brown--color attached.

The existing buildings are old, of adobe construction, unknown date. Arial photographs from the State Highway Department were supplied from the years 1958, 1969, 1973 1988 and 1995. None of these photographs show the canvas structure. I conclude that the canvas structure is no more that 20 years old and may be removed. Furthermore, the canvas structure was erected without a permit and does not comply with the building code foundation requirements.

Sincerely,

A handwritten signature in black ink, appearing to be 'Robert Nestor', written over a large, loopy flourish.

Robert Nestor

Inn and Spa at Loretto
211 OLD SANTA FE TRAIL
SANTA FE, NM 87501
(505) 988-5531

PARKING SPACE LEASE

Beginning on **March 15th, 2016**, Inn and Spa at Loretto, Commonwealth Loretto Operating INC., a Delaware corporation, Destination Loretto Management, Inc. a New Mexico corporation, hereinafter called "Loretto" leases to **Ala Shawabkeh Gold House**, hereinafter called "Tenant," a parking space("Space #"), for a term of one (1) year, and **can be renewed annually for one year term**, subject to the following:

1. Rent: Please indicate the rent selection by initialing in the space provided.

\$300.00 per month, to be paid monthly by the 5th of each month. AS

2. Vehicle Information:

Made: Land Rover Range Rover

Model Year: 2011

License Plate: 439RK2

Vehicle Insurance #: 34 UEG KW2415 Expiration Date: 6/14/16
Sentinel Ins. Co.

3. Possession: Loretto will deliver possession of the parking space by the beginning date of this lease; however, if Loretto is unable to deliver possession, for any reason, Loretto will not be liable for any damage thereby caused Tenant. Upon the end of this lease Tenant agrees to deliver possession of the parking space back to Loretto in as good a condition in which it was received, ordinary wear and tear excepted.

4. Subletting Prohibited: Loretto has a continuing concern about the goodwill of its Hotel operation and all facilities associated therewith, for this reason this lease may not be assigned, the parking space sub-let, nor the parking space shared to or with a third party. Any attempted assignment or sublease shall constitute an event of default.

5. Right to Terminate: With thirty (30) days written notice, either Tenant or Loretto may give notice of desire to vacate and terminate. In the event of such notice being delivered, the lease shall than be at an end at the close of such period, provided that all rents due to Loretto have been paid to the date of termination, and that all other terms and conditions of the lease have been met.

6. Right to Remove: Subject to the security interest granted to Loretto pursuant to Article 9, upon surrender of the parking space, Tenant may remove all items installed by Tenant. **If the vehicle property of Tenant remains at the designated parking space after the end of this lease shall be deemed abandoned by Tenant and will be towed at owner's expense.**

7. Payment of Rent: All rent payments due under this lease shall be paid in cash, check or by credit card. Failure to pay rent by the 10th of each month shall result in the imposition of a late charge in the amount of 10% of the outstanding balance due, together with interest at the rate of 1.5% per month. Late charges and interest shall be considered additional rent due.

8. Security Deposit: Tenant shall deliver to Loretto a security deposit in the amount of \$ 300.00 on the first day of this lease. In the event of a default by Tenant under the terms of the lease, Landlord may apply all or part of the security deposit to cure the default and upon application of any funds to cure default; such amounts shall be considered additional rent. Landlord shall not be required to hold such security deposits in segregated or separate accounts, and shall be allowed to commingle the funds in a general account. At the expiration or termination of the lease, Landlord shall return any unused portion of the security deposit to Tenant within thirty (30) days.

9. Default: Rent not paid when due shall be an act of default by Tenant and Loretto may then declare this lease at an end and regain possession of the parking space. If Tenant violates any other provision of this lease, Loretto may then give Tenant notice of such violation. If within ten (10) days from notice of violation Tenant has not caused the same to be cured, Loretto may then declare this lease at an end and regain possession of the parking space.

10. Subordination: This lease is subordinate to any encumbrance now of record or recorded after the date of this lease affecting the building, the improvements or the land of which the display parking space is a part. Tenant shall execute any documents requested by a lender to effectuate this subordination. If Tenant fails to do so, Tenant hereby irrevocably appoints Loretto as Tenant's special attorney-in-fact to execute and deliver the requested documents.

11. Insurance: Tenant waives all claims for any bodily or property damage regardless of whether Tenant has insurance. Tenant, at its expense, **shall maintain medical and car insurance**. Tenant shall hold harmless, defend, and indemnify Loretto of any claims arising out of Tenant's parking and operations. Additionally, Tenant shall add Loretto as additional insured member of Tenant's liability policy. Throughout the term of this Lease, Loretto agrees to maintain (i) commercial property insurance on the insurable portions of the Premises, Tenant agrees that such insurance shall cover only Loretto's property and shall not provide coverage for Tenant's property, and (ii) commercial general liability insurance with a combined single limit coverage of at least \$1,000,000.00 per occurrence. Tenant and Landlord, for the benefit of each other, waive any and all rights of subrogation that might otherwise exist.

12. Hold Harmless: Tenant does indemnify and hold Loretto harmless from and against any claim arising out of Tenant's use of the parking space. Tenant agrees to occupy the parking space at Tenant's sole risk and hereby agrees to hold Loretto free from any claim regardless of cause, for loss for any reason, including theft, fire, plumbing failure, mechanical system failure, electrical failure, **accident**, and structural failure resulting in any damage to Tenant's car, or bodily injury including death of Tenant or any agent or representative of Tenant's.

13. Rules and Regulations: Tenant shall conform at all times to all governmental regulations which apply to the occupancy of the parking space and shall comply with such other rules and regulations as may be promulgated by Loretto from time to time.

14. Damage to Premises: If the parking space or the property's premises is damaged such that the parking space cannot be reasonably used for its intended purpose for a period of thirty

(30) consecutive days or more, Loretto shall have the option to repair the same or terminate this lease by written notice to Tenant.

15. Construction Termination: If Loretto desires to regain possession of Tenant's parking space for the purpose of Hotel construction, Loretto may give Tenant thirty (30) days notice to vacate the parking space at the end of which time Tenant agrees to vacate and call this lease to an end. Provided all rents have been paid, Tenant will have no occupancy charge for the thirty (30) day period.

16. Condemnation: If all or any part of the Hotel's property is condemned by any agency having the authority to do so, Loretto shall be entitled to recover the entire condemnation award and Tenant shall have no claim for this lease, the loss of use of the parking space or otherwise.

17. Notice: Loretto's address for the payment of rent or notice by mail, or the Hotel's Front Desk or Executive Office by hand delivery is:

Inn and Spa at Loretto
211 Old Santa Fe Trail
Santa Fe, New Mexico 87501
(505) 988-5531

Tenant's address for notice is:

Contact Ala Shawabkeh
Company Name New Addition
Address 216 Old Santa Fe Trail
City, State, Zip Santa Fe, NM 87501
Phone Numbers 505-603-0191 / 505-995-8484
(please list both daytime/evening phone numbers)

22. Entire Agreement: This is the entire agreement and the full and complete terms of this lease. Any changes or modifications hereto must be in writing and agreed to by the signature of both Loretto and of Tenant.

AGREED upon this 17 day of MARCH, 2016.

Inn and Spa at Loretto
Commonwealth Loretto Operating, INC
A Delaware corporation
By: Destination Loretto Management, Inc.,
A New Mexico corporation, its authorized agent

By: [Signature]
(Signature)

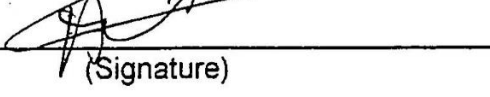
Name: PAULA COYNE
(Printed Name)

Title: CONTROLLER

Date: 3/17/16

Tenant:

Company Name: 

By: 
(Signature)

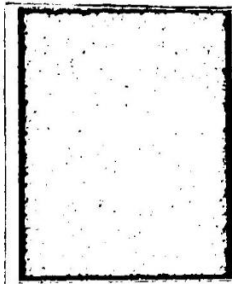
Name: Ala Shawabkeh
(Printed Name)

Title: _____

Date: 3/17/16



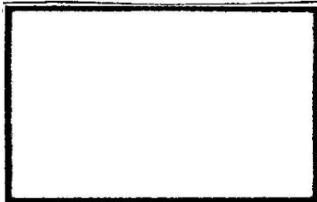
FINISH COLORS 216 OLD SANTA FE TRAIL



114 DESERT ROSE

stucco: El Rey "DESERT ROSE"

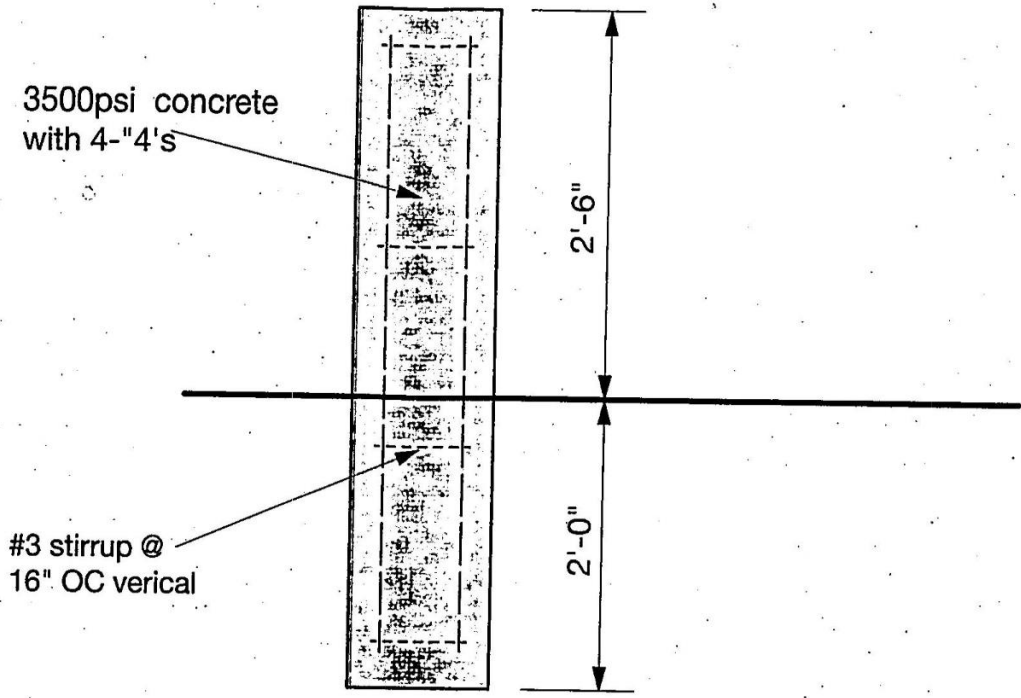
NOTE: this color matches the adjacent 1400sf shop which fronts on Old Santa Fe Trail



New Cedar

exterior wood: Cabot "NEW CEDAR"

NOTE: this color matches existing woodwork window frames and doors



BOLLARD DETAIL
scale 3/4" = 1'-0"

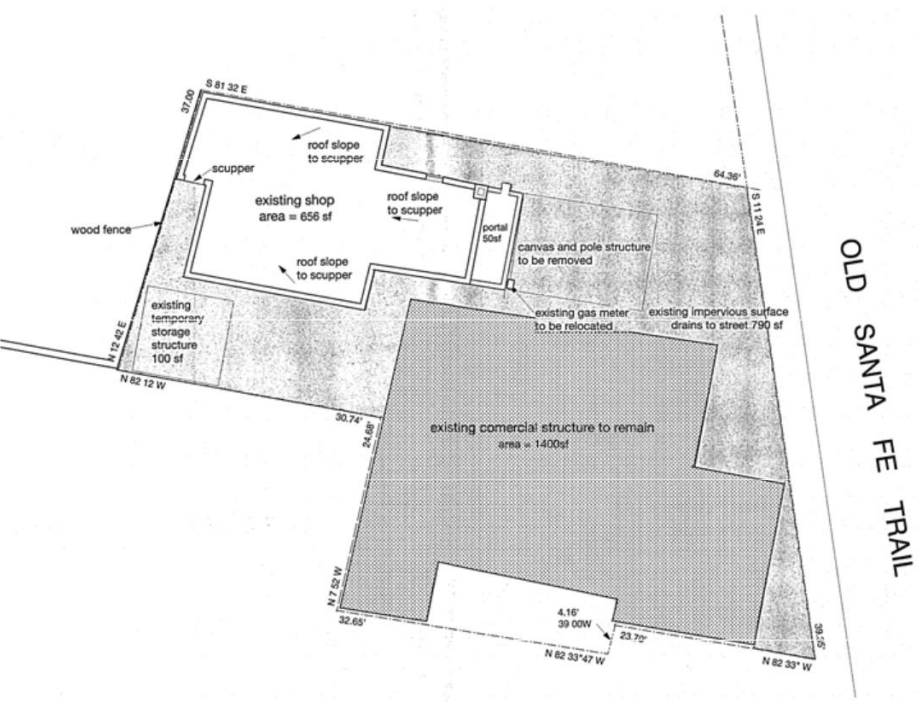
PRO.

ZONE:
allowab

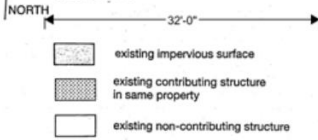
NEW Af
existing
existing
new shc
remove

new roo

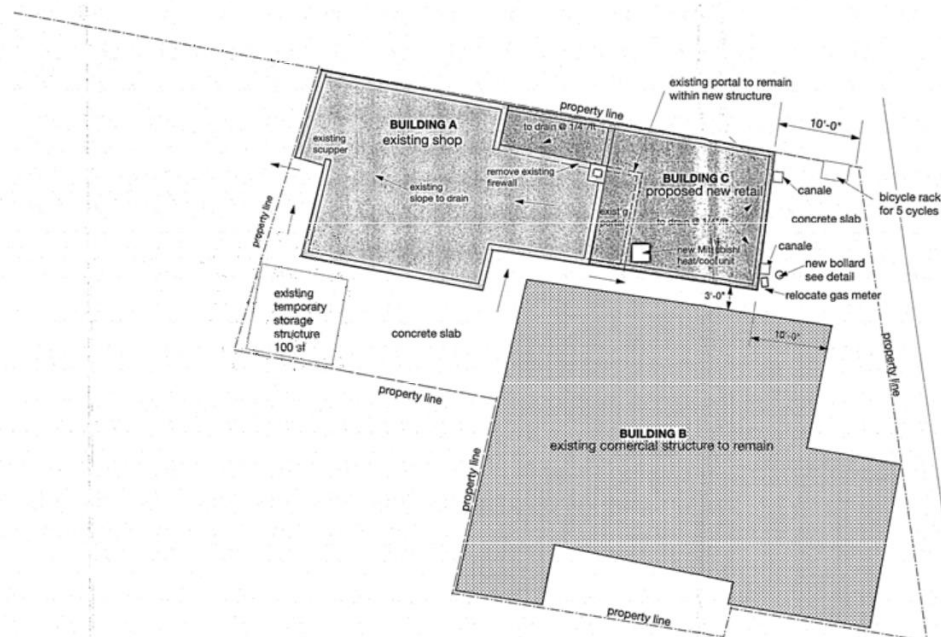
site is 10



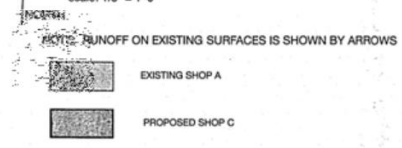
existing SITE PLAN AND ROOF PLAN
scale: 1/8" = 1'-0"



OLD SANTA FE TRAIL



proposed SITE PLAN and ROOF PLAN
scale: 1/8" = 1'-0"



OLD SANTA FE TRAIL

BUILDING CODE INFORMATION

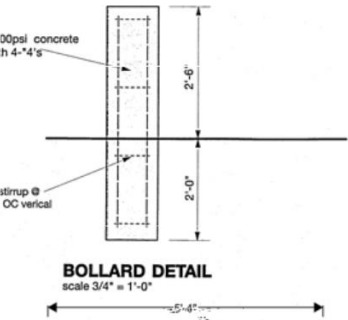
GROUP M MERCANTILE section 309 retail use
 allowable lot coverage 100%
 TYPE OF CONSTRUCTION
 existing: adobe exterior walls
 new construction: wood frame 2x6 walls--see plans showing required 2 hour walls and infill
 OCCUPANCY for GROUP M
 100sf/occupant. Total square footage shops A+C = 1040sf. Allowable Occupancy = 11
 ALLOWABLE OCCUPANCY IS FOR EXISTING SHOP PLUS NEW SHOP ADDITION

PROJECT INFORMATION

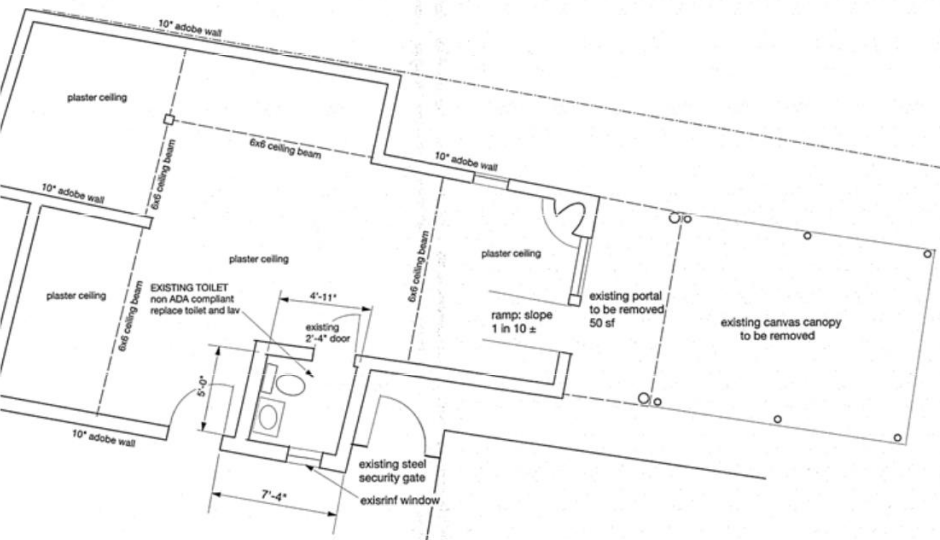
ZONE: BCD
 allowable lot coverage 100%
 Lot Size 3537 sf = .10 a acre
 Property contains two structures:
 Contributing structure 1407sf
 Non-contributing structure 622sf
 Proposed addition 418sf (shop C)
 Proposed total square footage 1040sf of shops A+C
 Proposed work on shop B = close two existing windows north side of shop B with 2 hour construction. See detail.
 Use of all existing and proposed structures is MERCANTILE
 NEW AREA: 418 sf
 existing shop A 622sf
 existing shop B 1407sf
 new shop C 418sf
 site is 100% existing impervious surface
 SETBACKS
 side and rear yard setbacks = 0
 front yard setback = 10'-0"
 parking: on-site parking (leased @ Inn at Loretto) = 1 space
 on-site parking = 0
 mechanical work in this proposal
 1. re-locating gas meter
 2. extend toilet room plumbing to new fixtures in new frame wall. insulate piping in frame wall. provide clean-out and shut-off valves

INDEX OF DRAWINGS

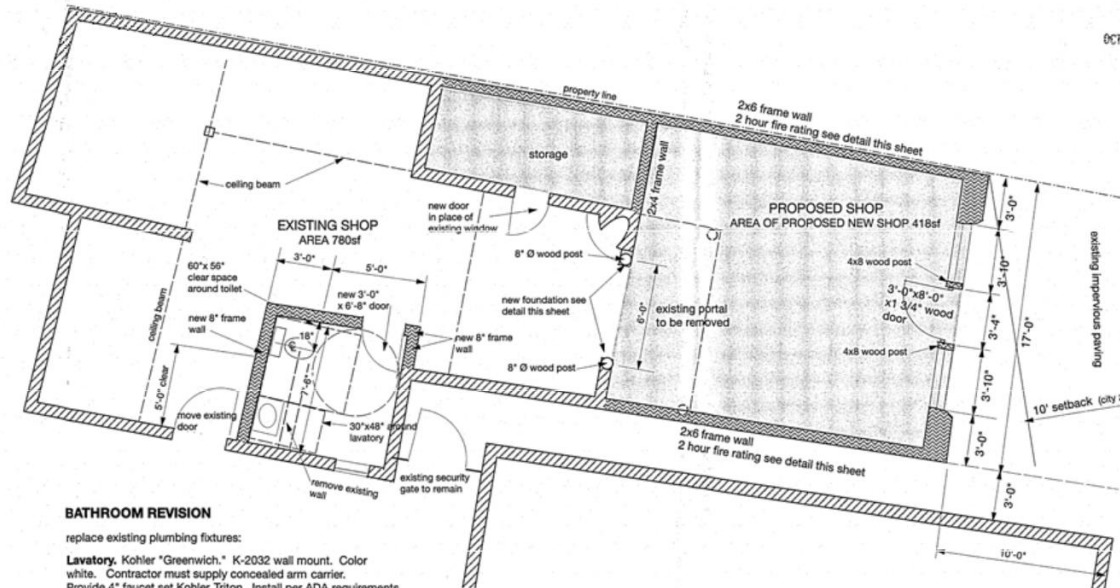
- A1 SITE PLANS, PROJECT INFORMATION
- A2 PLANS
- A3 SECTIONS, DETAILS
- A4 ELEVATIONS



BOLLARD DETAIL
scale 3/4" = 1'-0"



EXISTING AND DEMOLITION FLOOR PLAN
scale: 1/4" = 1'-0"

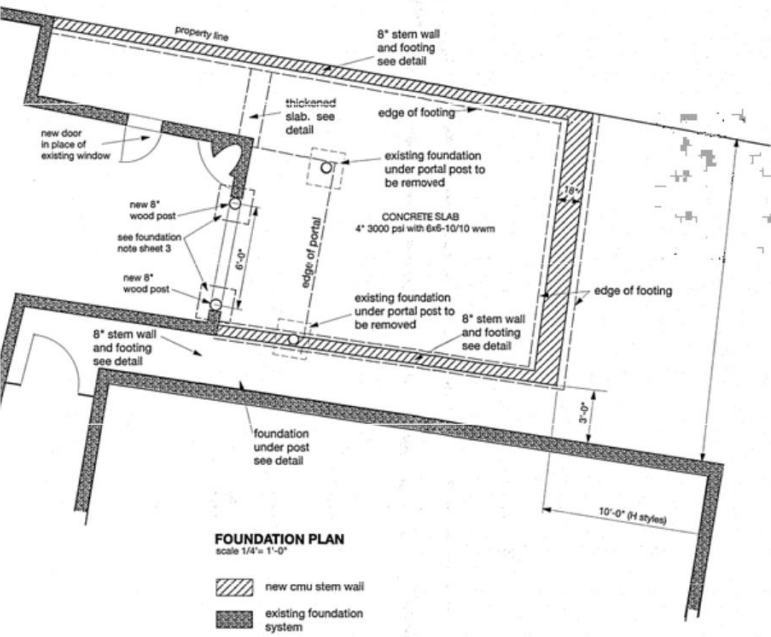


BATHROOM REVISION

replace existing plumbing fixtures:
Lavatory. Kohler "Greenwich." K-2032 wall mount. Color white. Contractor must supply concealed arm carrier. Provide 4" faucet set Kohler Triton. Install per ADA requirements as CSA B651.
Toilet. Kohler "Highline." K-3999 Floor mount. Color: white INCLUDE: K-4636 SEAT
Grab Bars Provide ADA compliant grab bars. See elevations sheet 3.

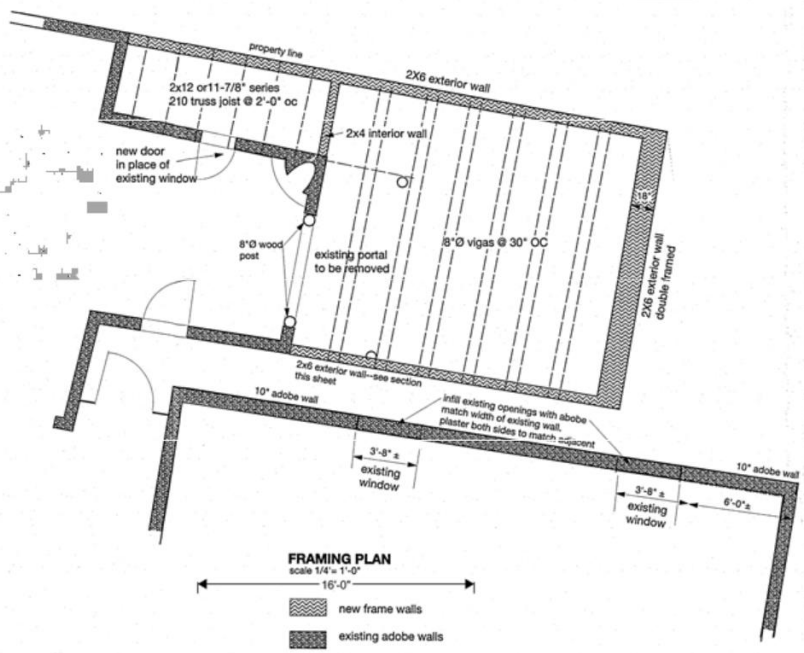
PROPOSED FLOOR PLAN
scale: 1/4" = 1'-0"

- new shop
- existing adobe wall
- new frame wall



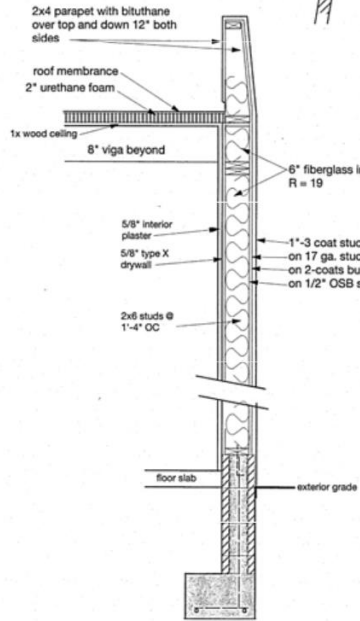
FOUNDATION PLAN
scale 1/4" = 1'-0"

- new cmu stem wall
- existing foundation system

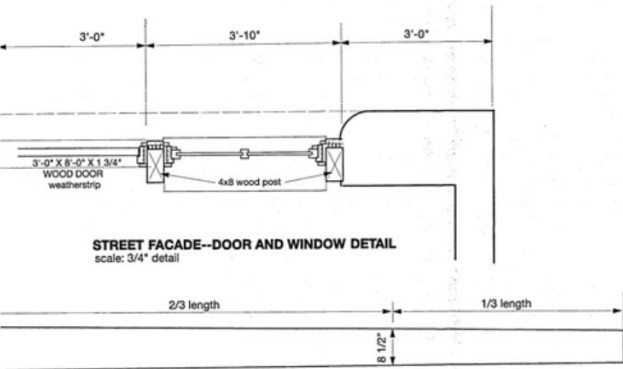


FRAMING PLAN
scale 1/4" = 1'-0"

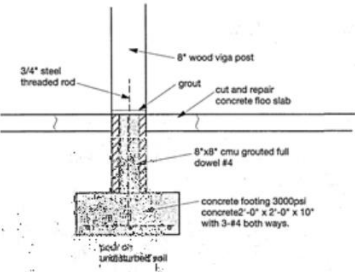
- new frame walls
- existing adobe walls



2 HOUR WALL SECTION
scale: 3/4" = 1'-0"

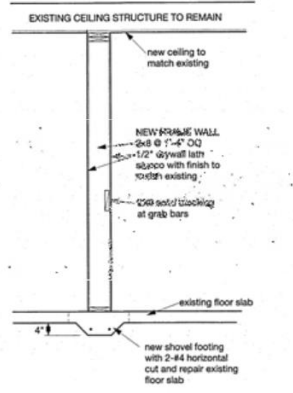


VIGA SIZING
nts

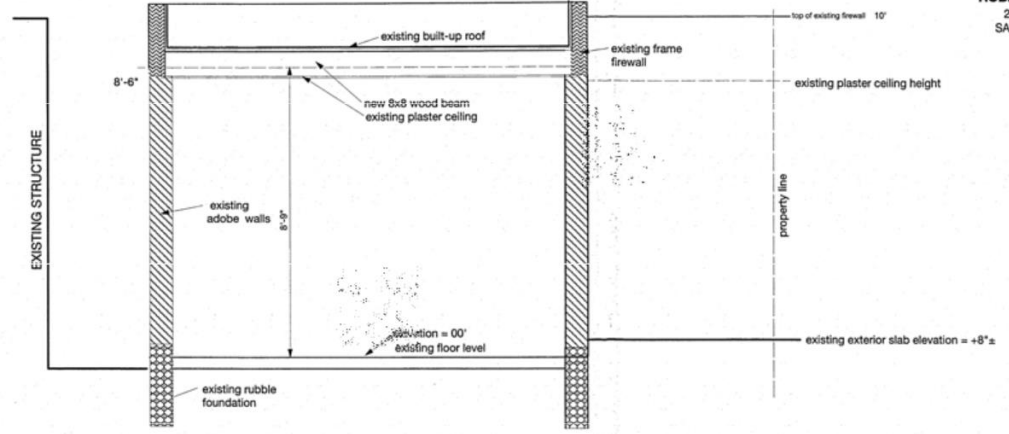


FOUNDATION BENEATH NEW 8" POSTS
scale 1/2" = 1'-0"

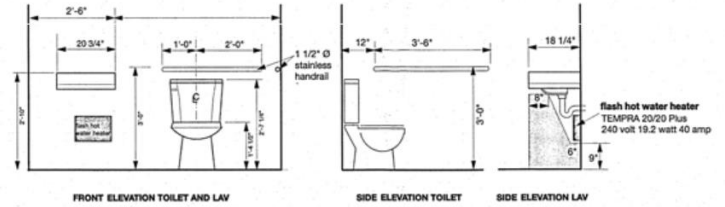
NOTE TO BUILDER: CUT FLOOR SLAB 2" BELOW EXISTING FOUNDATION. CALL ARCHITECT FOR INSPECTION. **REPLACE:** IF FOUNDATION IS RUBBLE, THEN REPLACE WITH NEW FOUNDATION AS SHOWN ABOVE. **IF FOUNDATION IS NOT RUBBLE, INSPECT BY ARCHITECT AND MODIFY OR REPLACE, IF ARCHITECT RECOMMENDS, OBTAIN INSPECTION AND NEW DESIGN FROM STRUCTURAL ENGINEER.**



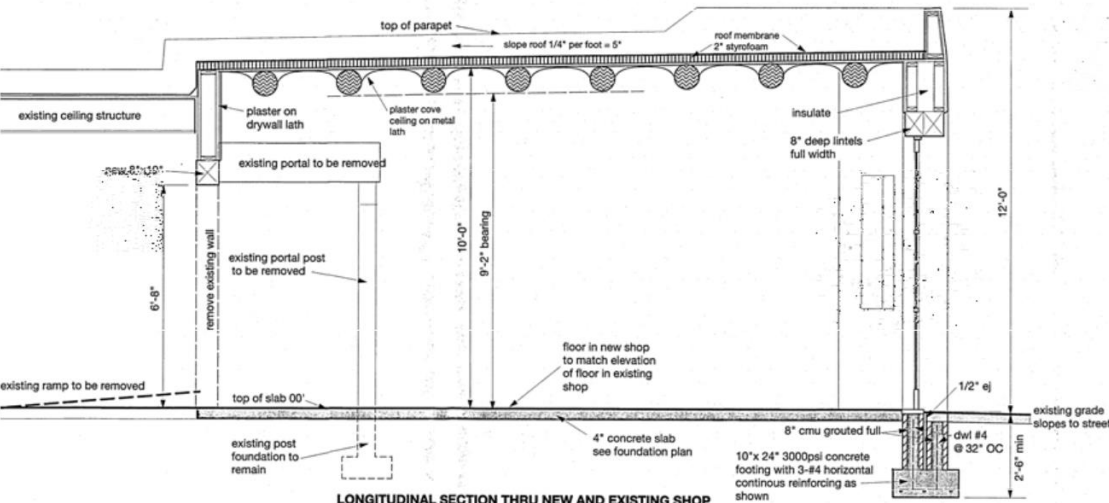
SECTION OF NEW TOILET ROOM WALL
scale 1/2" = 1'-0"



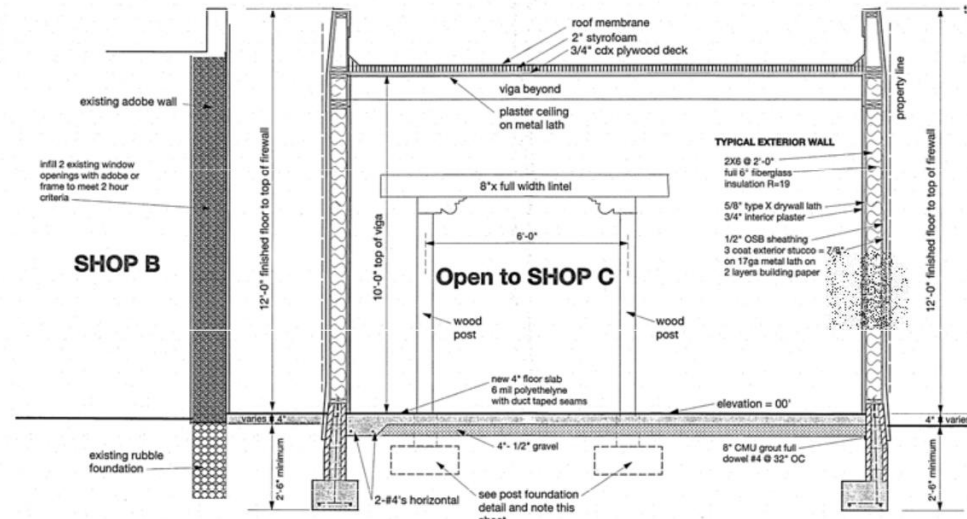
CROSS SECTION OF EXISTING SHOP
scale 1/2" = 1'-0"



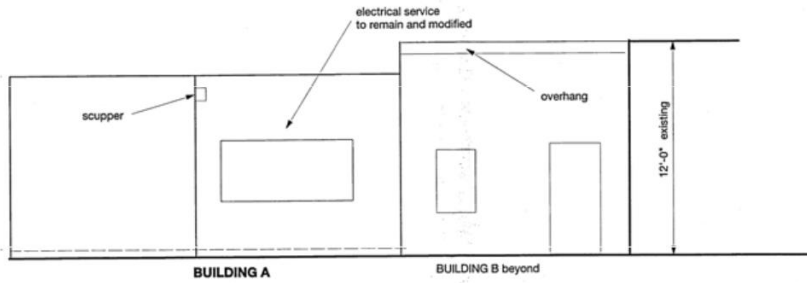
INTERIOR ELEVATIONS OF TOILET ROOM
scale 3/4" = 1'-0"



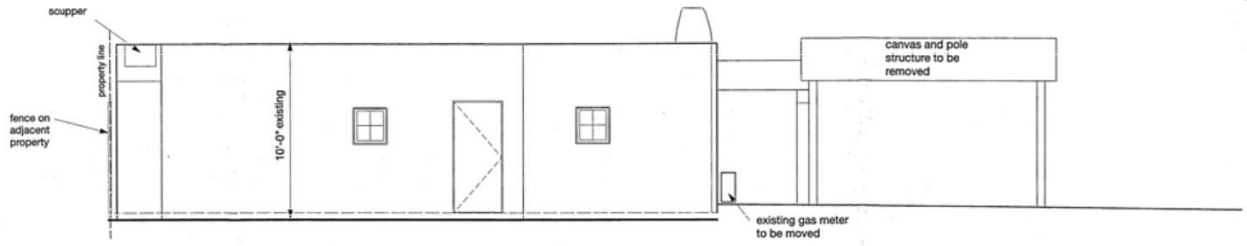
LONGITUDINAL SECTION THRU NEW AND EXISTING SHOP
scale 1/2" = 1'-0"



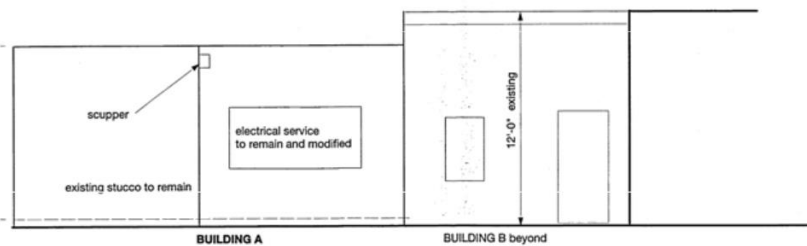
CROSS SECTION OF PROPOSED SHOP
scale 1/2" = 1'-0"



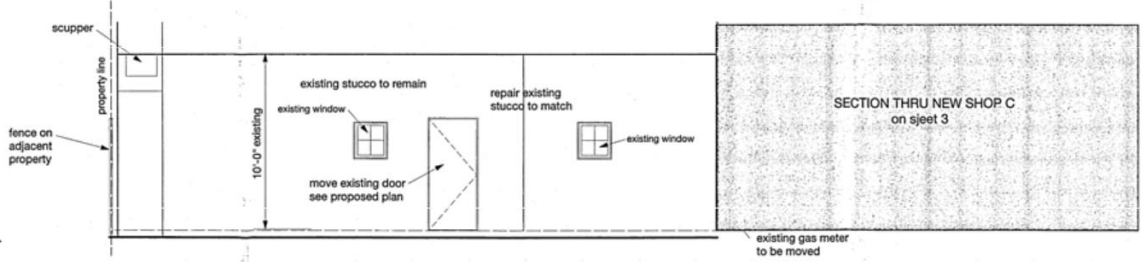
EXISTING WEST ELEVATION
scale: 1/4" = 1'-0"



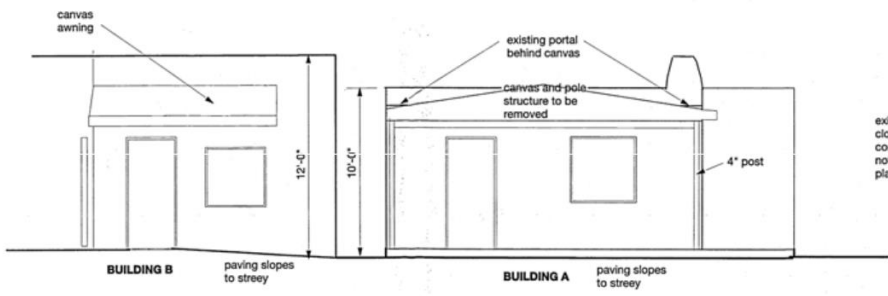
SOUTH ELEVATION
scale: 1/4" = 1'-0"



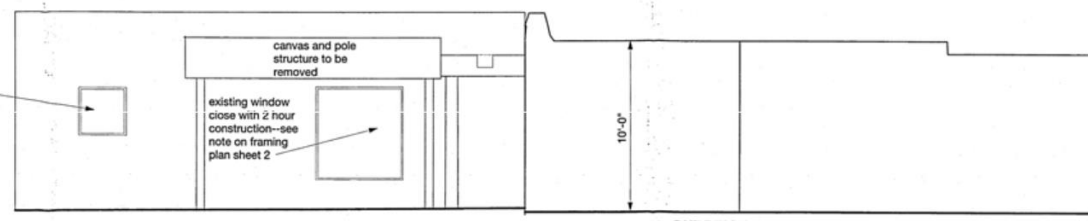
PROPOSED WEST ELEVATION
scale: 1/4" = 1'-0"
NO CHANGE PROPOSED



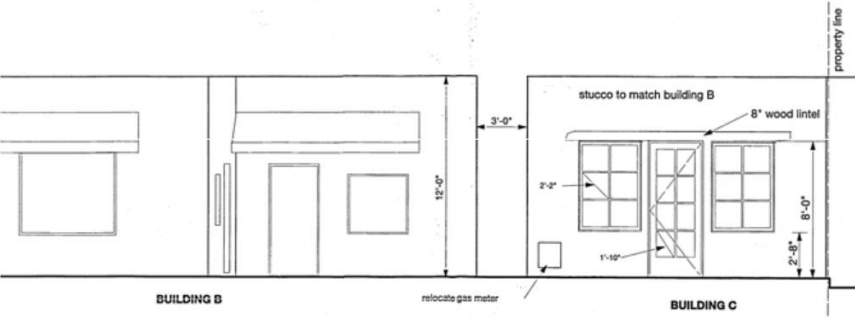
PROPOSED SOUTH ELEVATION
scale: 1/4" = 1'-0"



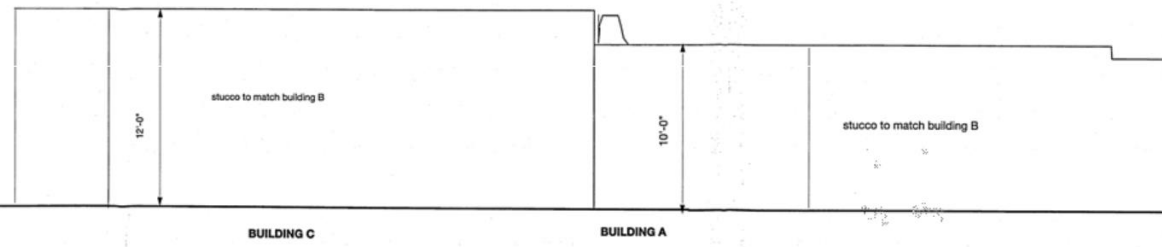
EXISTING EAST ELEVATION
scale: 1/4" = 1'-0"



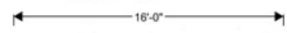
EXISTING NORTH ELEVATION
scale: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
scale: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
scale: 1/4" = 1'-0"



City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous
Administrative Approvals
216 Old Santa Fe Trail**



City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION OF THE
PLANNING DIVISION**

To: Building Permit Office

From: James M. Hewat, Historic Preservation Planner
Alysia L. Abbott, Historic Preservation Planner

AA

Date:

7/30/01

The work proposed at 216 OLD SF. TRAIL does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

1 SIGN APPROVED. WALL MOUNTED

Thank You.

Louis West
F 626-974-9130



City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

From: David A. Rasch, Section Head DR
Marissa C. Barrett, Case Planner
Gary S. Moquino, Inspector

Date: 10.26.05

The work proposed at 216 old Santa Fe Tr. ^{NC} does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

re roof in-kind removal of existing
material down to decking (not included) with
no change to parapet height or profile

Thank You.

and no roofing material on top of existing
parapet. Any changes to these conditions
must go to public hearing at HDRB.



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 6.30.16

To: BUILDING PERMIT DIVISION

From: David Rasch, Land Use Planner Supervisor: DR
STAFF INITIALS

Date Submitted:

6.16.16

Contact Name:

Bob Nestor

Phone Number:

983-5857

Project Address: 216 Old Santa Fe Trail

Be advised that per §14-5.2 SFCC 1987 the work described below at the above-referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Description of Proposed Work:

HDRB conditions met:

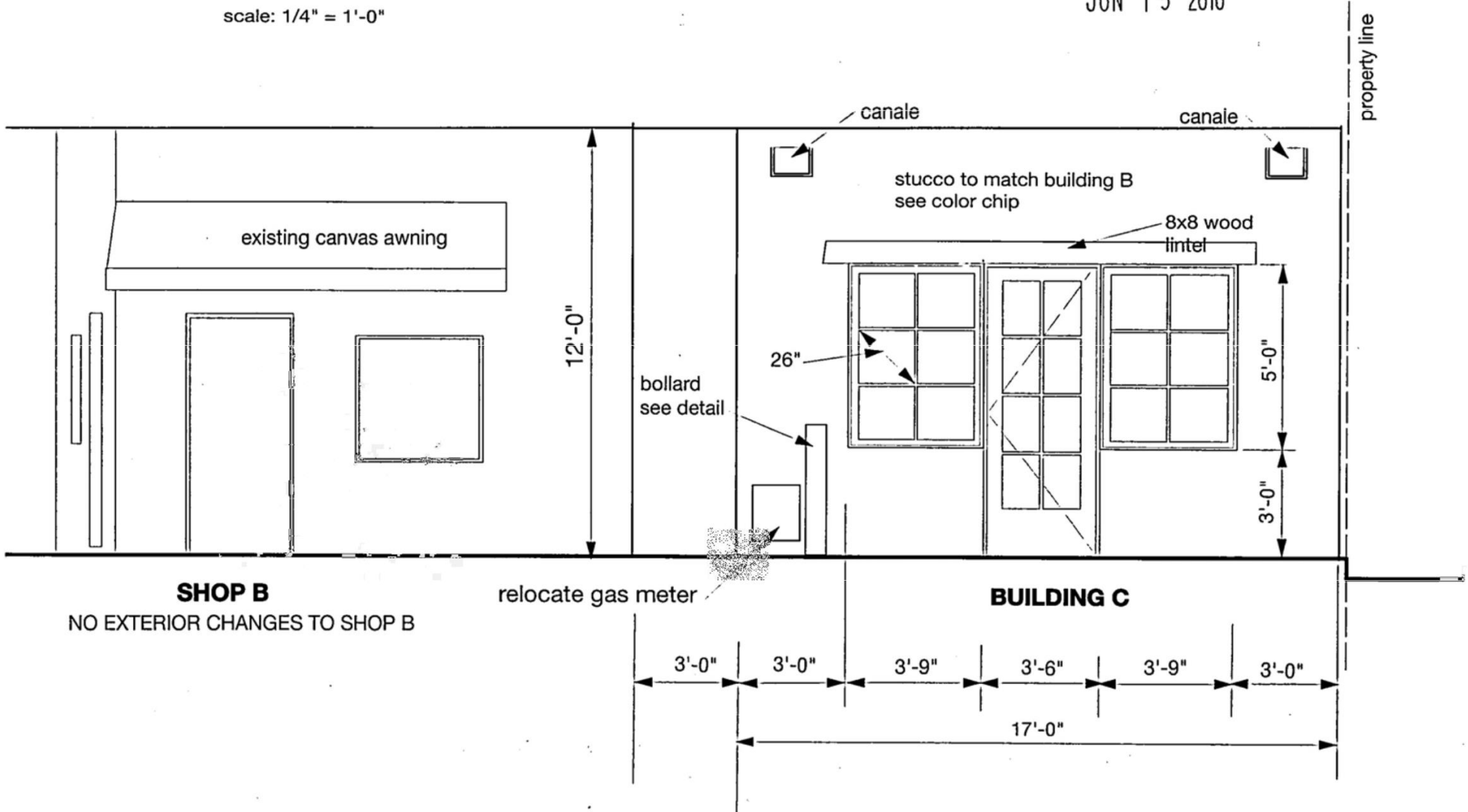
1. east elevation redesign with continuous header and larger two windows
2. El Rey cementitious "Desert Rose" trim "New Cedar"

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

- Yes No ROUTE TO HISTORIC DIVISION DR
- Yes No INTERIM HISTORIC INSPECTION DR
- Yes No FINAL HISTORIC INSPECTION DR

scale: 1/4" = 1'-0"

JUN 15 2016



REVISION 7.16.16
PROPOSED EAST ELEVATION

scale: 1/4" = 1'-0"



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION

ADMINISTRATIVE APPROVAL



THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 2.15.17
To: BUILDING PERMIT DIVISION
From: David Rasch, HPD Planner Supervisor:

DR
STAFF INITIALS

Date Submitted:	2.14.17
Contact Name:	Colleen Gavin
Phone Number:	820-7444

Project Address: 216 Old Santa Fe Trail

Be advised that per §14-5.2 SFCC 1987 the work described below at the above-referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Description of Proposed Work:

- Slight alterations to HDRB approval H-16-607
1. ground-mounted HVAC on S side with lines set near grade
 2. corrected S elev of existing structure
Showing existing location of doors + windows
 3. move window closer to door on S elev.

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

- | | |
|---------------------------------------------------------------------|----------------------------------------------|
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | PERMIT or PERMIT REVISION REQUIRED <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | ROUTE TO HISTORIC DIVISION <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | INTERIM HISTORIC INSPECTION <u>DR</u> |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | FINAL HISTORIC INSPECTION <u>DR</u> |

RASCH, DAVID A.

From: Colleen Gavin <Colleen@jenkingavin.com>
Sent: Tuesday, February 14, 2017 4:16 PM
To: RASCH, DAVID A.
Subject: Case 16-0607 - Request for Administrative Approval
Attachments: FullSizeRender.jpg; FullSizeRender2.jpg; 216 osf trl.pdf; AdminApprRQLtr02.14.17.pdf

Importance: High

David,

Per our meeting today, attached please find our request for administrative approval for the location of a mechanical unit, corrected existing and proposed south elevation, and relocation of the south exterior door. Please see the attached letter and supporting documentation.

Thank you for your time on this matter.

CG

Colleen C. Gavin, AIA



130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501
Ph. (505) 820-7444
colleen@jenkingavin.com
www.jenkingavin.com



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

February 14, 2017

David Rasch
Historic Preservation Division
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: 216 Old Santa Fe Trail, Case #16-0607 – Request for Administrative Approval

Dear David:

This letter is submitted in a request for administrative approval of the following items in regards to Case #16-0607, 216 Old Santa Fe Trail:

1. Location of Mechanical Unit – Per the attached site plan, the mechanical unit shall be located on the ground adjacent to the south elevation with lines running directly into the proposed ADA restroom. There shall be no lines running vertically along the exterior of the south elevation. Furthermore, the unit is not visible from the public view as it is blocked by the adjacent building addressed 218 Old Santa Fe Trail.
2. Corrected Exterior South Elevation – When this Case was approved by HDRB, the submitted plans showed an incorrect existing and proposed south elevation. Per the attached photos, the existing south elevation has existing windows which will remain as is and a single door which is proposed to be moved 20” to the west to allow for an ADA restroom on the interior. Please see Request #3.
3. Move Existing South Exterior Door 20” – In order to provide an ADA restroom on the interior of the building, the south-facing exterior door needs to be moved 20” +/- to the west to provide ample interior space. The existing door shall be reused as is. In addition, if it is determined by Code that the adjacent existing window requires tempered glass, the window glazing will be replaced with tempered glass or the entire window will be replaced in kind.

Your consideration of these requests is greatly appreciated. Please do not hesitate to contact us should you have any questions or need additional information.

Thank you.

Sincerely,
JENKINSGAVIN DESIGN & DEVELOPMENT, INC.

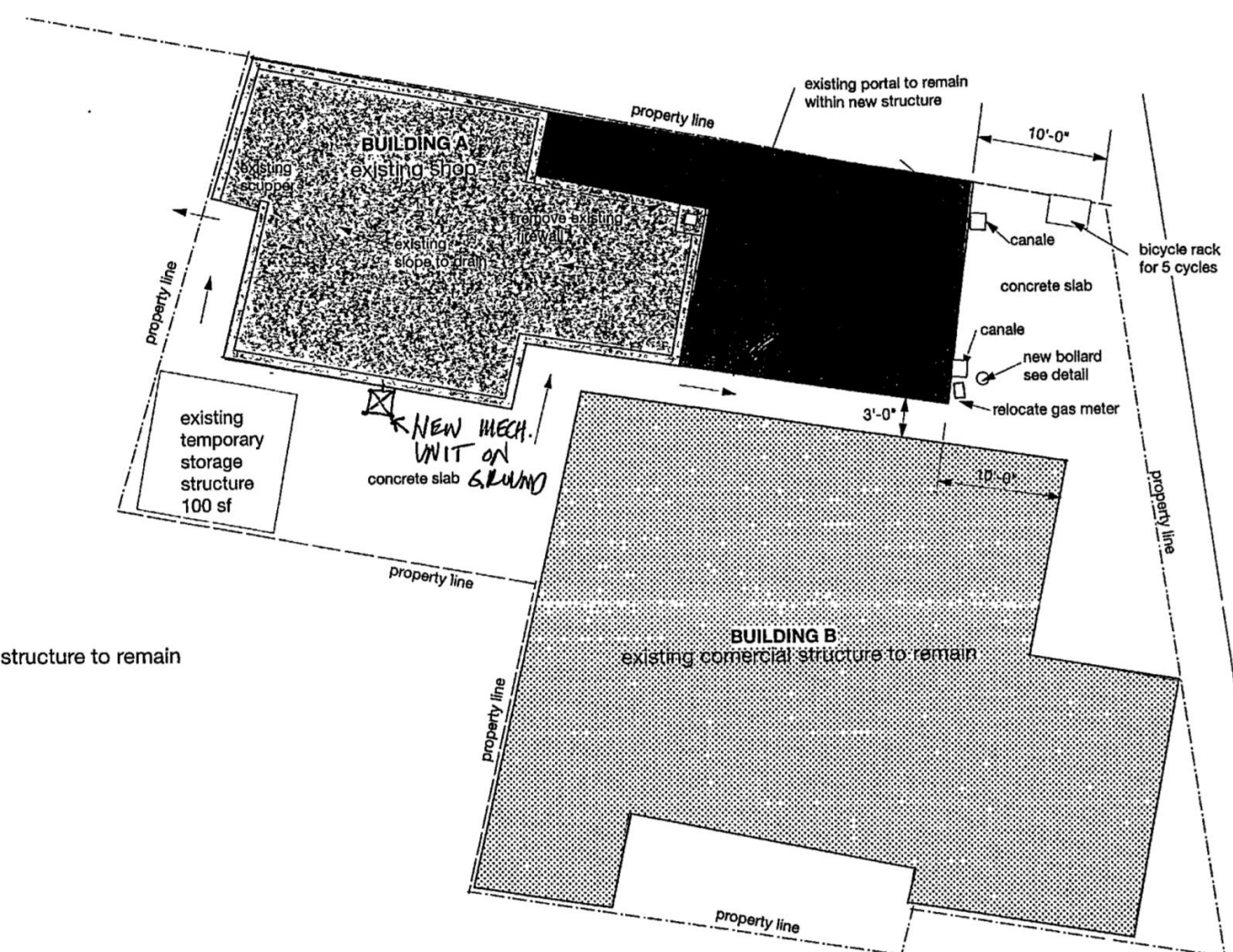
Colleen C. Gavin, AIA

151124E

OLD SANTA FE TRAIL

39.35'
N 82 33° W

existing comercial structure to remain
area = 1400sf

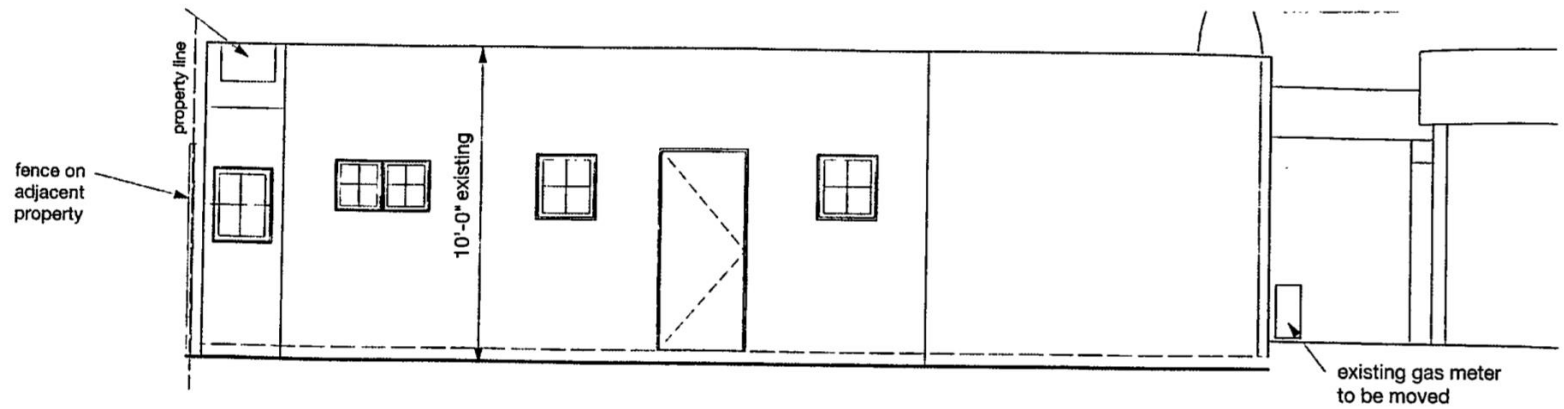
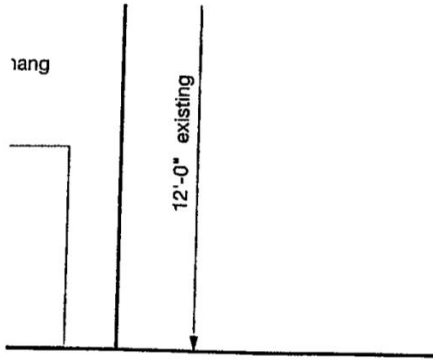


proposed
SITE PLAN and ROOF PLAN
scale: 1/8" = 1'-0"

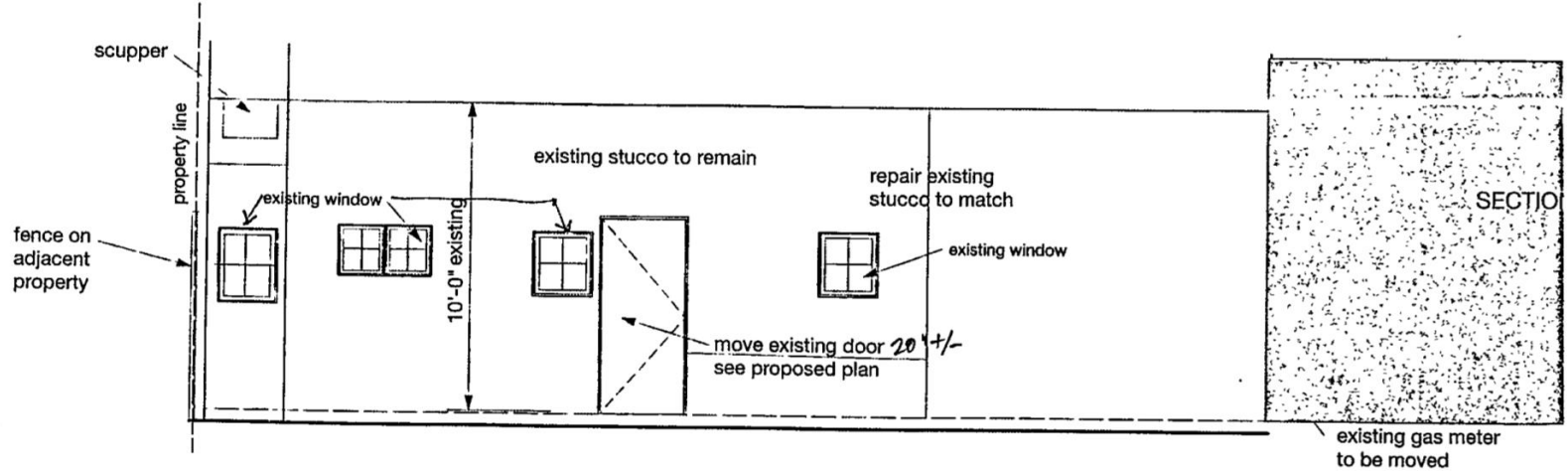
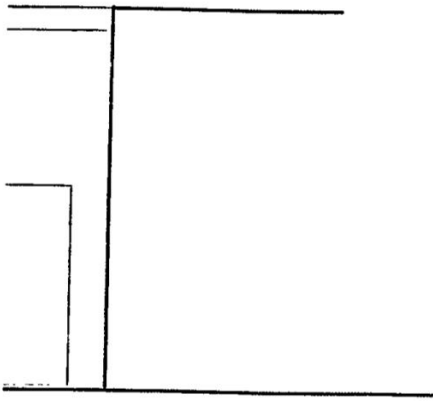


NOTE: RUNOFF ON EXISTING SURFACES IS SHOWN BY ARROWS

 EXISTING SHOP A



EXISTING SOUTH ELEVATION
scale: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
scale: 1/4" = 1'-0"

ng portal
id canvas

(Handwritten signature)







FULL SCALE City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 5.23.18

To: BUILDING PERMIT DIVISION

From: David Rasch, HPD Planner Supervisor:

DR
STAFF INITIALS

Date Submitted:

5.22.18

Contact Name:

Mark Suleiman

Phone Number:

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 216 Old Santa Fe Trail

Description of Proposed Work:

- Construct stuccoed mechanical chase on S elev.
- relocate HVAC 10' E
- paint gas line to match stucco color
- install bollard on E side
- install flagstone and "Sequoia Sand" earth-tone concrete in front area.

NA I agree to the conditions of approval above.

Print Name

Signature

Date

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

Yes No

PERMIT or PERMIT REVISION REQUIRED DR

Yes No

ROUTE TO HISTORIC DIVISION DR

Yes No

INTERIM HISTORIC INSPECTION DR

Yes No

FINAL HISTORIC INSPECTION DR

May 22, 2018

Historic President
David Rasch,

I am requesting the following for an administrative approval through your division:

HVAC chase on south elevation

HVAC moved 10 feet to the East

Gas line on exterior south elevation, to be painted as exterior stucco

Flagstone at main entry

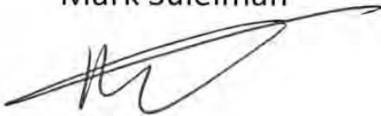
Earth tone colored sidewalk

Balustrade at main entry

bolard

Thank you very much for your consideration.

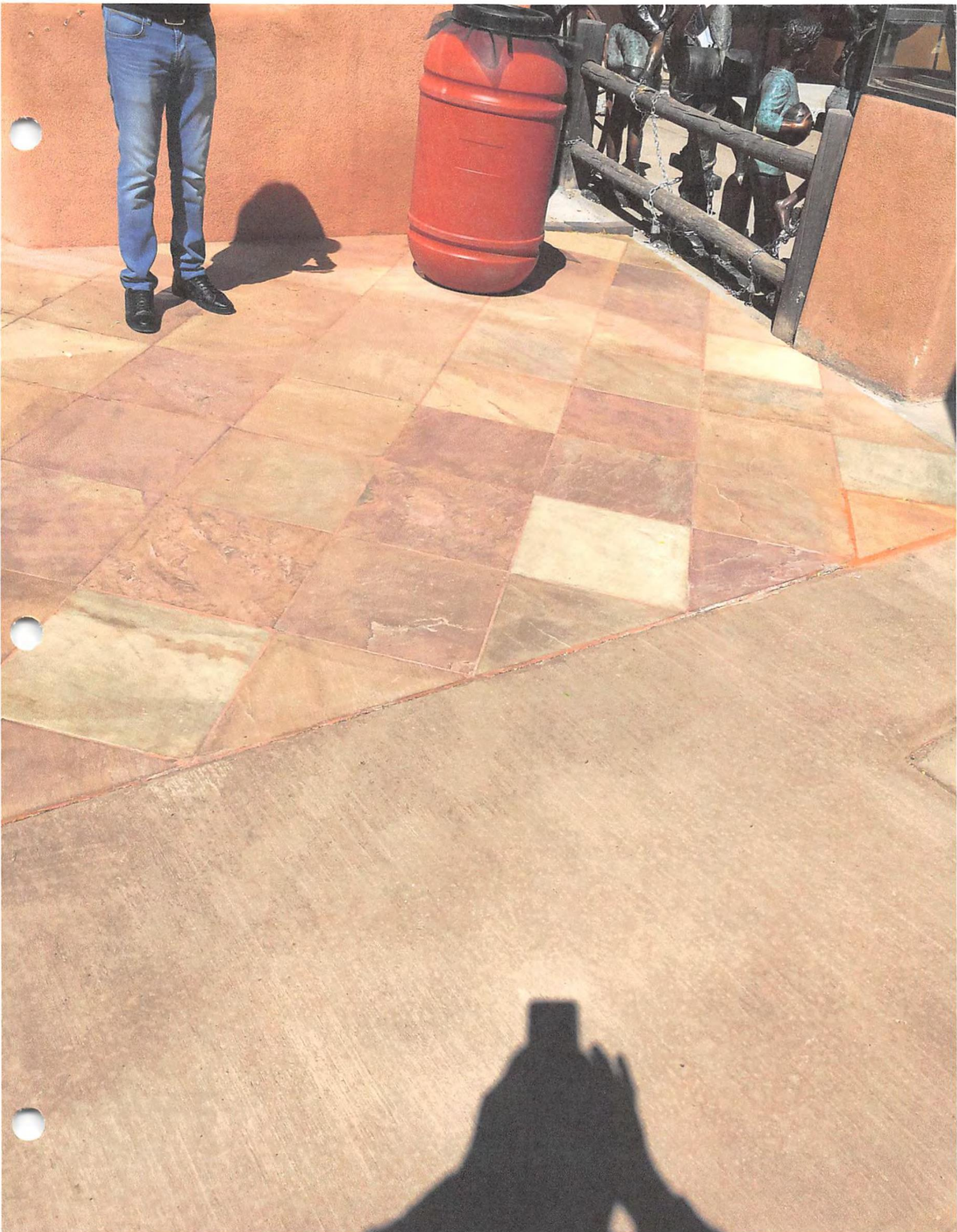
Mark Suleiman











City of Santa Fe, New Mexico

**Historic Districts Review
Board**

June 25, 2024

2024-008452-HDRB

Applicant Submittal

Status Review

216 Old Santa Fe Trail



May 30, 2024

Lani McCulley
Senior Planner
Historic Preservation Division
Planning & Land Use Department
City of Santa Fe

RE: Requesting Historic Status Review
216 Old Santa Fe Trail

Dear Lani,

On behalf of the Owner, who I am representing before the Historic Preservation Division we request a review of the historic status of 216 Old Santa Fe Trail. The property is in the Downtown and Eastside Historic District without status. Our request is to have a status designation of Non-Contributing.

My client references the significant changes, additions, and modifications to the original home and additions to the east elevation of the original structure. The modifications to the original residence have changed the property enough to warrant Non-Contributing status.

Thank you for consideration of our request. Please let me know if you require any additional information.

Sincerely,


A handwritten signature in black ink, appearing to read 'JAP', with a horizontal line extending to the right.

John A. Padilla, AIA
Architect

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 24, 2024

For HPDOffice use only:		NRHP	SRCP	Criteria	A	B	C	D
HCPINo.	District No.							
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Old # 051610363 4. County: Santa Fe Parcel # 10257450						
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 commercial building <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object								
6. Date of Survey: May 22, 2024								
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: December 20, 1984, Harry Weiss <input type="checkbox"/> No:								
8. Name of Project: HDRB Status Evaluation								
9. Lat/Long: 35.6854116,-105.9405717								
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east façade. Camera facing northwest.								
11. Brief Description of the Property: The building, which took on its current appearance around 2016 with a street-front addition (Photo 1), began much earlier as a small house set on the back of the lot. Initially occupied by Fred and Josephine West, this structure maintained its original footprint through at least the 1980s (Fig.1). It later received a few additions but remained at the back of the lot and looked like a home. Today, everything visible from the public right-of-way is recent construction. The building has been largely modified, even at its 2016 extension. Continued on Page 5.								
12. Who uses the property? Retail								
13. Construction Date: Date: c.1957-58 with major c.2016 east (front) addition <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs, deeds, and HDRB records								
14. Setting: Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban <input checked="" type="checkbox"/> If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Public								
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A								

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Red indicates areas changed by c.2016 addition and other alterations.
 Source: Office of the Santa Fe County Assessor
 parcel lines are not accurate



17. Surveyor:
 (your name, address,
 telephone number, and any
 group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporuscio

For: Louis F. West, via John A.
 Padilla, AIA

18. Owner (if known) and
 other knowledgeable people:

Current owner: Louis F. West

N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status
 Per City of Santa Fe official designation map

If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM2) Continuation Sheets, # pages: _____

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|------------------------------------------|-------------------------------------------|-------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Commercial

17. Documents Available and Their Locations

Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: See Figure 8.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only:		Please complete HCPIFORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID:			
		4. County: Santa Fe			
		5. Date of Survey: May 22, 2024			

Architectural Description Continued

The building faces Old Santa Fe Trail with a recently modified façade (Photo 1). As shown on Google Street View (Fig. 2), the 2016 addition had a centered door bracketed by small display windows. Spanning the openings was a continuous wood lintel recessed into the stucco. The fenestration has been replaced with a modern storefront with pivot glass doors. The lintel remains but is now obscured by an awning.

North and South Side Elevations

The north and south side elevations have no openings visible from the street or walkways (Photos 2 & 3). From period aerial photographs, it is unclear what type of fenestration existed along the south elevation (Figs. 6 & 7). A 2017 administrative approval involving the change of a door location showed a ½-glass and wood panel door flanked by small sash windows (Fig. 9). This area was inaccessible during the survey, and the extent of changes made is unknown.

West – Rear Elevation

The extreme west elevation, representing the original home, is only visible from the adjacent property (Photo 4). Its façade appears to be altered from this view.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe							
		3. Local Reference Number: Santa Fe ID:						
		4. County: Santa Fe						
		5. Date of Survey: May 22, 2024						

Historical Overview

Block 33/Lot 3

Based on a 1919 sewerage assessment, Ignacita West, the widow of Louis West, a butcher, owned the land holding the subject property.¹

After her husband’s death, Ignacita married Pedro Roybal. The family lived in the Trujillo de Oyaca house adjacent to the subject to the property. This large courtyard home pre-dated American occupation and, as shown on the 1912 King’s map, was the only significant structure on the west side of College Street (Fig. 3). Jesusita Trujillo de Oyaca, who was Ignacita’s mother, owned the house and the surrounding property, which historically stretched to Shelby Street.

The small lot to the north, as evidenced by Sanborn Fire Insurance maps, remained undeveloped until the 1920s. The 1930 Sanborn map shows it had a small wood building that may have worked as a shed (Fig. 4). This same building is shown again on the 1948 insurance map. The 1950 census recorded Ignacita as the head of the household of the colonial-era courtyard home.² It included two of her adult children, Susie and Fred West. Ignacita Oyaca de West died six years later.

216 Old Santa Fe Trail

The circumstances are unclear, but Ignacita’s daughter, Susie W. Klemos, received the subject lot before the 1950s (Fig. 5). Fred, her brother, built a small home on the site in the late 1950s, as visible in a 1958 aerial photograph (Fig. 6). Fred was a Justice of Peace. He, his wife Josephine, and their son Freddie lived in the house until Fred died in 1965.³

¹Sanitary Sewers Assessment, District 13, as published in the *Santa Fe New Mexican*, August 1, 1919, 5. The measurement matches the east boundary of 216 and 218 Old Santa Fe Trail.

²U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 2; Enumeration District: 26-14.

³Susie West Klemos deeded the property to the current owner in the 1980s; Warranty Deed, Susie W. Klemos to Louis F. West, recorded August 31, 1981, Book 426/Book 480, Instrument # 484231, Santa Fe County, New Mexico.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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				3. Local Reference Number: Santa Fe ID:				
				4. County: Santa Fe				
				5. Date of Survey: May 22, 2024				

After his death, it was converted to commercial use, starting with Santa Fe Crafts, a tourist trinket shop, which opened in the winter of 1965.⁴ The building continued in retail for a short time and appears to have returned to being a residence in the late 1960s.⁵

Responding to the completion of the Inn at the Loretto in 1975, the former house again became a shop, housing jewelry stores. In the mid-1980s, it turned into Gallery Tigua (Fig. 1) which sold Native American and Hispanic paintings and sculptures. Until recently, it held the Maya Gallery. It is now crammed with purple quartz crystals, stitched cowboy boots, knife sets, and the like.

Evaluation of Historical Status

As currently designated, the building that appears on the City's GIS map holds a mix of Contributing and Non-contributing status. The recommendation is to establish the entire building as Non-contributing due to its significant loss of historic integrity and inability to convey its original design and associated historical context.

⁴ "Formal Opening! [advertisement]," *Santa Fe New Mexican*, November 21, 1965, 12.

⁵ This is based on newspaper accounts and city directories.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	District No.	Please complete HCPI FORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID:										
		4. County: Santa Fe										
		5. Date of Survey: May 22, 2024										

Illustrations



**Figure 1: December 20, 1984, HBI survey photo. Harry Weiss.
Courtesy NMCRIIS.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID:						
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Figure 2: September 2022, Google Street View image of east façade.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
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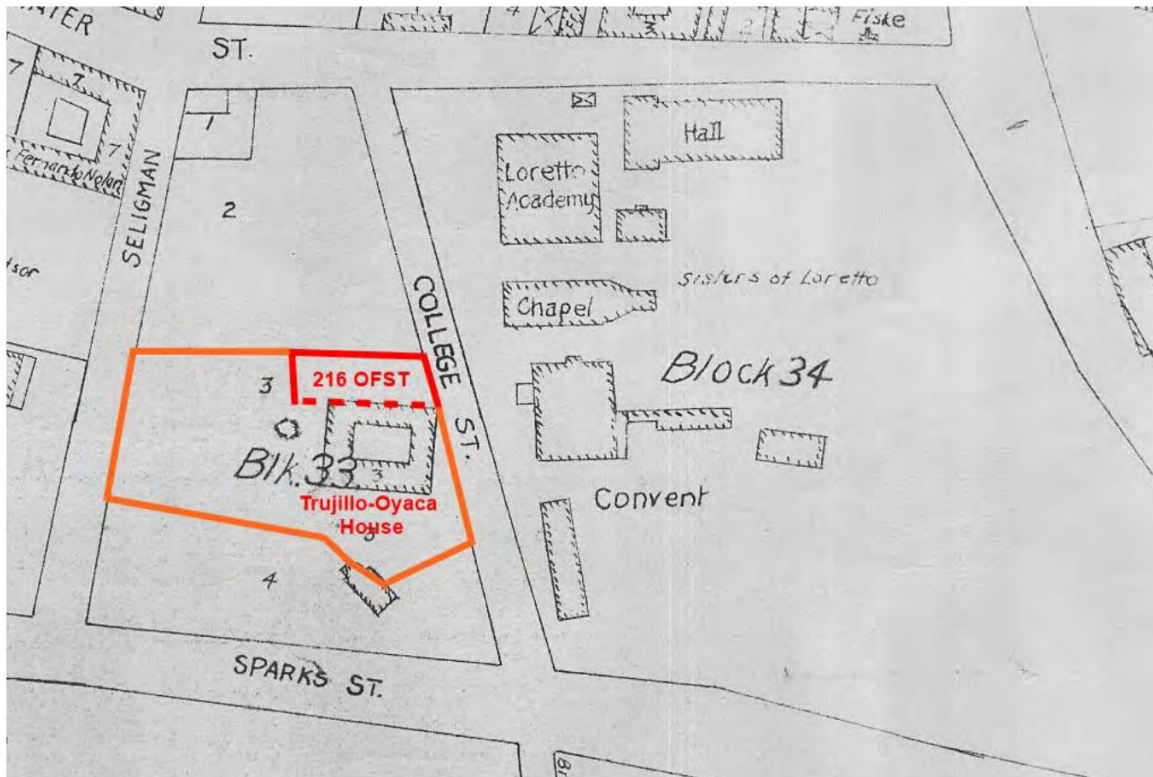


Figure 3: N. L. King, "Official Map of the City of Santa Fe," 1912.

Approximate outline of future subject building highlighted along with historically associated property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.		Please complete HCPI FORM1 before completing FORM2					
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			4. County: Santa Fe				
			5. Date of Survey: May 22, 2024				

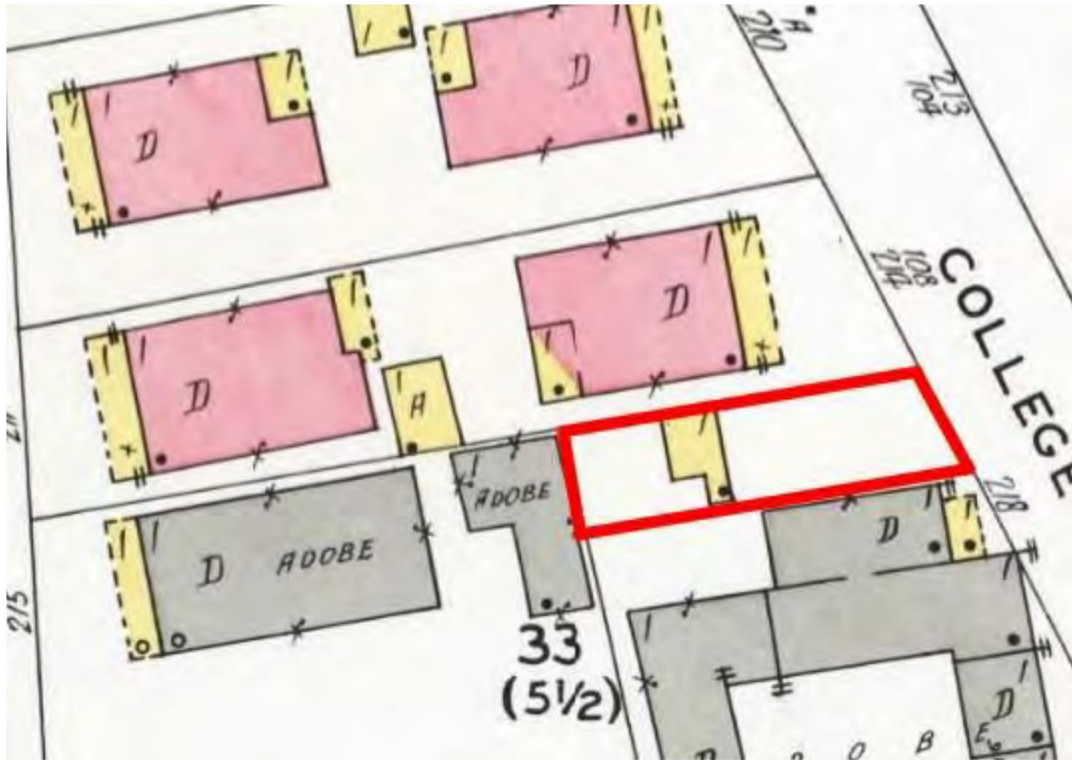


Figure 4: 1930 Sanborn Fire Insurance Company map. Approximate outline of future subject building highlighted. Note small wood building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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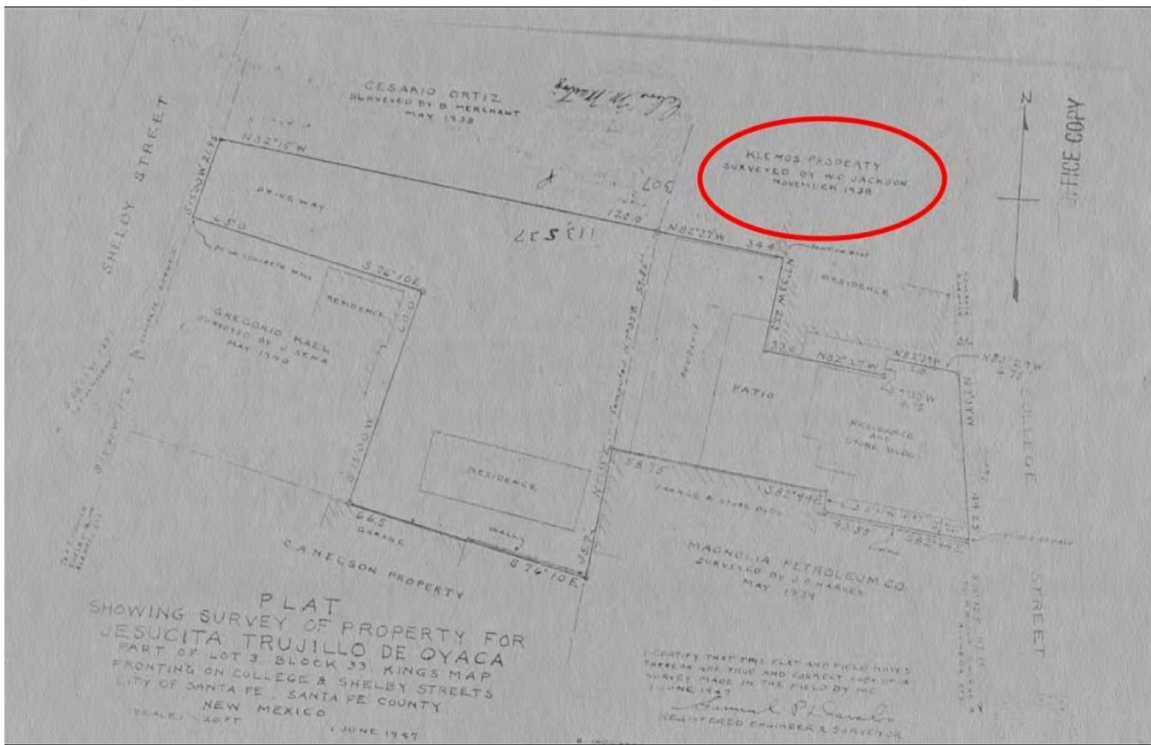


Figure 5: 1947 survey plat. Subject lot, owned by Susie West Klemos, highlighted. Note absence of dwelling.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
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		5. Date of Survey: May 22, 2024			

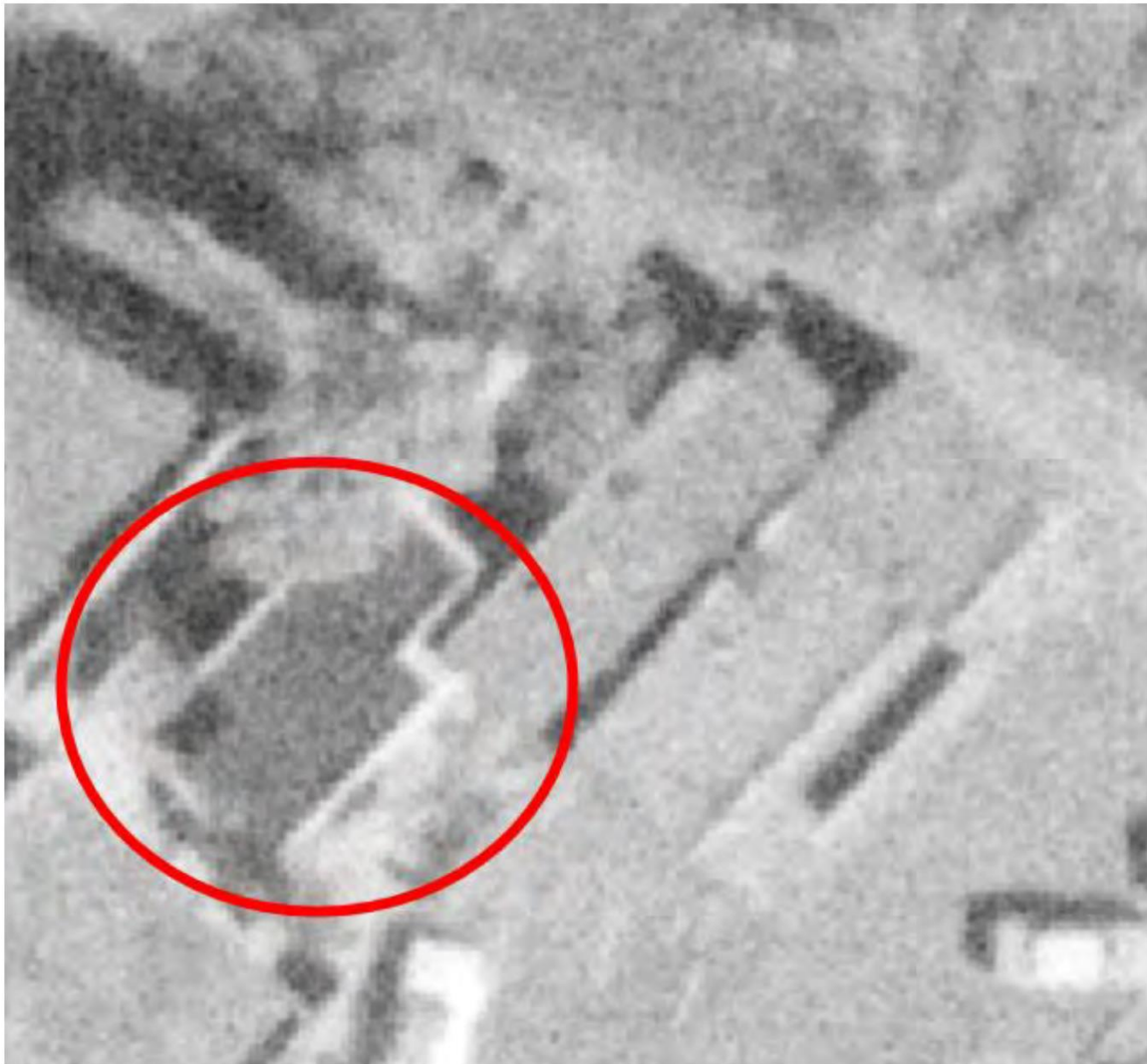


Figure 6: November 10, 1958, aerial photograph.
Note presence of small house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2 District No.				NRHP	SRCP	Criteria	A	B	C	D
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Figure 7: September 11, 1978, aerial photograph.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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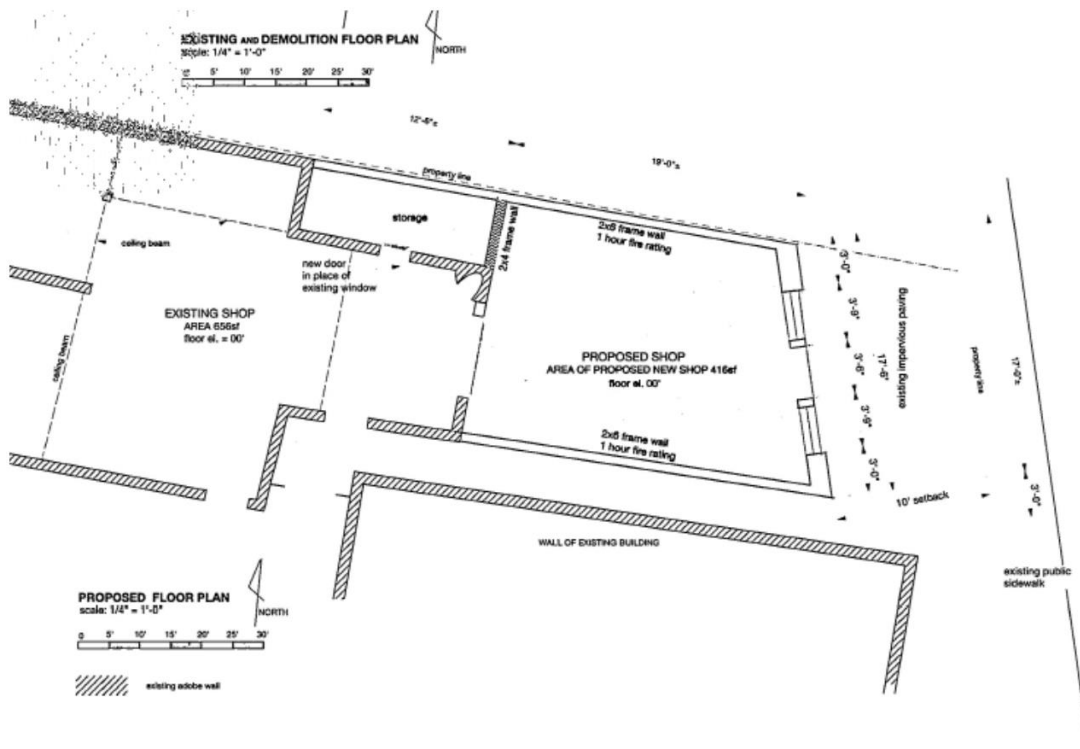
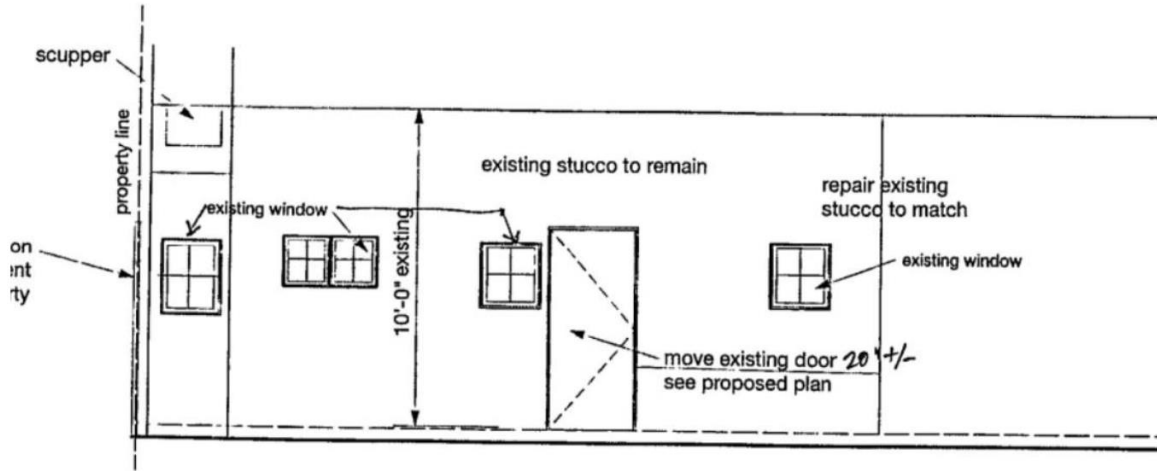


Figure 8: 2015 plan showing east addition and outline of original house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe						
		5. Date of Survey: May 22, 2024						



PROPOSED SOUTH ELEVATION



Figure 9: Illustrations from February 15, 2017, administrative approval covering the southeast corner of the building.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe	3. Local Reference Number: Santa Fe ID:						
		4. County: Santa Fe						
		5. Date of Survey: May 22, 2024						

Survey Photographs

(All images taken by Giulia Caporuscio on May 22, 2024)

Southeast corner of the property was not accessible during the survey.



Photo 2: North elevation. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPI FORM1 before completing FORM2 District No.	NRHP	SRCP	Criteria	A	B	C	D
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		4. County: Santa Fe						
		5. Date of Survey: May 22, 2024						



Photo 3: South elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

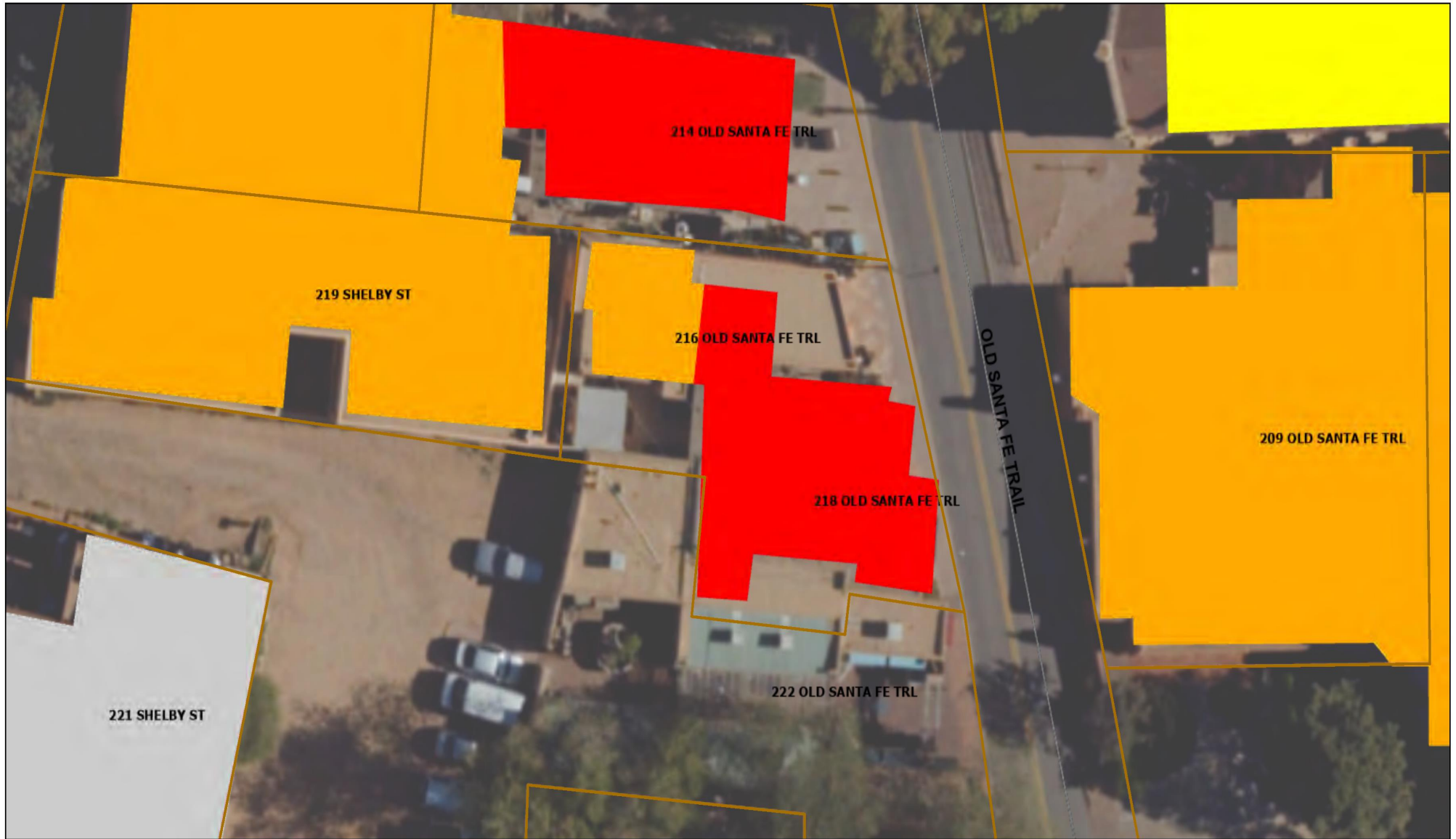
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Former Fred and Josephine West House/ 2016 Commercial Building	2. Location: 216 Old Santa Fe Trail Downtown and Eastside Historic District -Santa Fe		3. Local Reference Number: Santa Fe ID:	
			4. County: Santa Fe	
			5. Date of Survey: May 22, 2024	



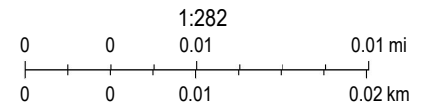
Photo 4: West elevation. Camera facing southeast.

216 OSFT Historic Status



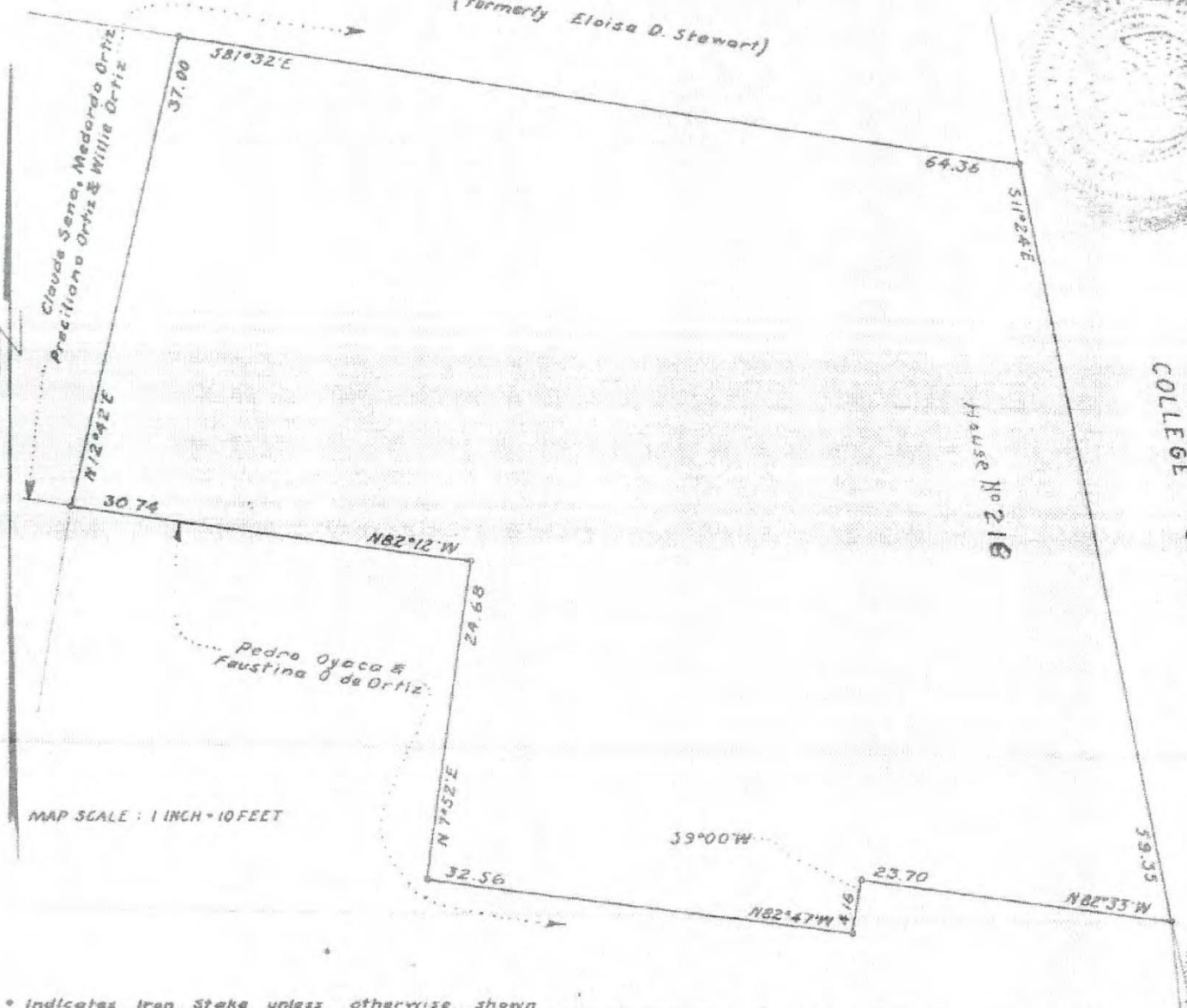
2/19/2024, 7:02:16 PM

- Santa Fe County Parcels
- Non-Contributing
- Major Roads
- Historic Buildings Status
- Not Resurveyed
- Roads
- Significant
- Address Points
- Parcels
- Contributing



8/20

(Formerly Eloiza D. Stewart)



STATE OF NEW MEXICO } 231,554
 COUNTY OF SANTA FE }
 I hereby certify that this instrument was filed for record
 on the 15 day of Dec A. D. 1958
 at 9:30 o'clock A. M. and was duly recorded
 in book _____ of the records of _____ 1958

Witness my Hand and Seal of Office
 RAMON VALDELLAS
 County Clerk Santa Fe Co., N. M.
Jose M. Lopez

COLLEGE STREET

House No 218

CERTIFICATE

I hereby certify that this plat and the field notes hereon are a true and correct copy of surveys completed in the field by me, December 6, 1958.

Walter A. Treeley
 Reg. Prof. Eng. & Land Surveyor No. 95

LANDS SURVEYED FOR THE HEIRS OF
 IGNATICA OYACA DE WEST
 WARD NO 1 SANTA FE N M

(513°17'E 172.74 to
 Sanitary Sewer Manhole
 at the intersection of
 College & E. Alameda Streets)

* indicates Iron Stake unless otherwise shown

WARRANTY DEED

SUSIE W. KLEMS, a single person, for consideration paid, grants to LOUIS F. WEST, whose address is 322 Delgado, Santa Fe, New Mexico 87501, the following described real estate in Santa Fe County, New Mexico:

That certain property in the City of Santa Fe, New Mexico, designated as 216-218 Old Santa Fe Trail, and being more particularly described as follows:

Beginning at the Northeast corner of this tract from whence the center of Sanitary Sewer Manhole W3D-1 in Old Santa Fe Trail bears North 0° 53' East, 63.66 feet distant;

Thence from said beginning corner along the West boundary of Old Santa Fe Trail South 11° 24' East, 59.44 feet to an iron pipe marking the Southeast corner of this tract;

Thence North 82° 23" West, 23.70 feet to an iron pipe; thence South 8° 55' West, 4.13 feet to an iron pipe; thence North 82° 48' 30" West, 32.59 feet, to an iron pipe; thence North 7° 48' 30" East, 24.66 feet to an iron pipe; thence North 82° 15' 30" West, 30.72 feet to an iron bar set at the Southwest corner of this tract; thence North 12° 44' 30" East, 37.0 feet to an iron bar set at the Northwest corner of this tract; thence South 81° 29' 30" East a distance of 64.35 feet to the point and place of beginning.

All as shown by plat of survey by Guy D. Hayden, N.M.L.S. No. 4070, dated February 18, 1980, and entitled "Lands Surveyed at 218 Old Santa Fe Trail, Ward No. 4, Santa Fe, NM".

Subject to easements and restrictions of record, and RESERVING HOWEVER, unto the Grantor the right to the full use of said property during her lifetime, including the right to receive all rents and profits from the same.

with warranty covenants.

WITNESS my hand and seal this 26 day of August, 1981.

Susie W. Klemos (SEAL)
SUSIE W. KLEMS

STATE OF NEW MEXICO)
) ss.
COUNTY OF SANTA FE)

The foregoing instrument was acknowledged before me this 26 day of August, 1981 by SUSIE W. KLEMS, a single person.

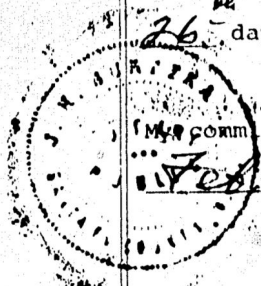
J. H. Burdett
Notary Public

My commission expires:

Feb 7, 1984

I hereby certify that this instrument was filed for record on the 21 day of Aug AD. 1981 at 4:01 o'clock P.M. and was duly recorded in book 426 of the records of Santa Fe County page 480.
CAROLINA R. GONZALEZ
County Clerk, Santa Fe County, N.M.

484.231



WARRANTY DEED

SUSIE W. KLEMS, a single person, for consideration paid, grants to LOUIS F. WEST, whose address is 322 Delgado, Santa Fe, New Mexico 87501, the following described real estate in Santa Fe County, New Mexico:

That certain property in the City of Santa Fe, New Mexico, designated as 216-218 Old Santa Fe Trail, and being more particularly described as follows:

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All as shown by plat of survey by Guy D. Hayden, N.M.L.S. No. 4070, dated February 18, 1980, and entitled "Lands Surveyed at 218 Old Santa Fe Trail, Ward No. 4, Santa Fe, NM".

Subject to easements and restrictions of record, and RESERVING HOWEVER, unto the Grantor the right to the full use of said property during her lifetime, including the right to receive all rents and profits from the same.

with warranty covenants.

WITNESS my hand and seal this 26 day of August, 1981.

Susie W. Klemos (SEAL)
SUSIE W. KLEMS

STATE OF NEW MEXICO)
COUNTY OF SANTA FE) ss.

The foregoing instrument was acknowledged before me this 26 day of August, 1981 by SUSIE W. KLEMS, a single person.

J. H. Burtham
Notary Public

My commission expires:

Feb 7, 1984

I hereby certify that this instrument was filed for record on the 21 day of August, 1981 at 4:51 o'clock P.M. and was duly recorded in book 426480 of the records of Santa Fe County.

484.231

STATE OF NEW MEXICO)
COUNTY OF SANTA FE)
Witness my Hand and Seal of Office
CAROLINA R. GONZALEZ
County Clerk - Santa Fe County, N.M.





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2024-008478--HDRB

Project Description: 2023-008478-HDRB. 636 Garcia Street units 2 and 3. Downtown & Eastside Historic District. Non- statused. Vigil Design & RPA & Associates, LLC, agents for Laurel Guy, owner, requests a historic status review with primary facade(s) designation if applic

Project Location(s): 636 GARCIA ST 2
Santa Fe, NM 87505

Contacts:

Property Owner: Joan Sawyer
636 GARCIA ST 2
Santa Fe, NM 87505

mitch@dcmnm.com

Applicant: RPA & ASSOCIATES, LLC

P.O. BOX 10328
ALBUQUERQUE, NM 87184

rpahistoric@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: True Non-Contributing: True Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number:

Year of Construction: 1950s

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: June 25, 2024
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2024-008478-HDRB. 636 Garcia Street units 2 and 3. Downtown & Eastside Historic District. Non- statused. Vigil Design & RPA & Associates, LLC, agents for Laurel Guy, owner, requests a historic status review with primary facade(s) designation, if applicable, for a multi-family residential structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Status Map

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: 2024 HCPI

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as contributing though the property is no longer associated with its' primary structure at 640 Garcia, it holds historic integrity in its' own right and is a representative of historic expansion of properties over time. Staff further recommends the south elevation as the primary façade as it represents this development overtime through the differences in the sizes and style of fenestrations such as the historic width of the door on the far west to the wider door on the east, the various rooflines, and step backs in the structure per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

The multi-family residence at 636 Garcia Street is a 3-unit compound that is not stuated. The property is located in the Downtown and Eastside Historic District. The structure was constructed in the early 1950s by adding two dwellings, an apartment and a one-bedroom rental, to an existing 1940s garage. The garage became unit 3. At that time, the three units were associated with the main residence to the south which was split from the lot and later addressed 640 Garcia.

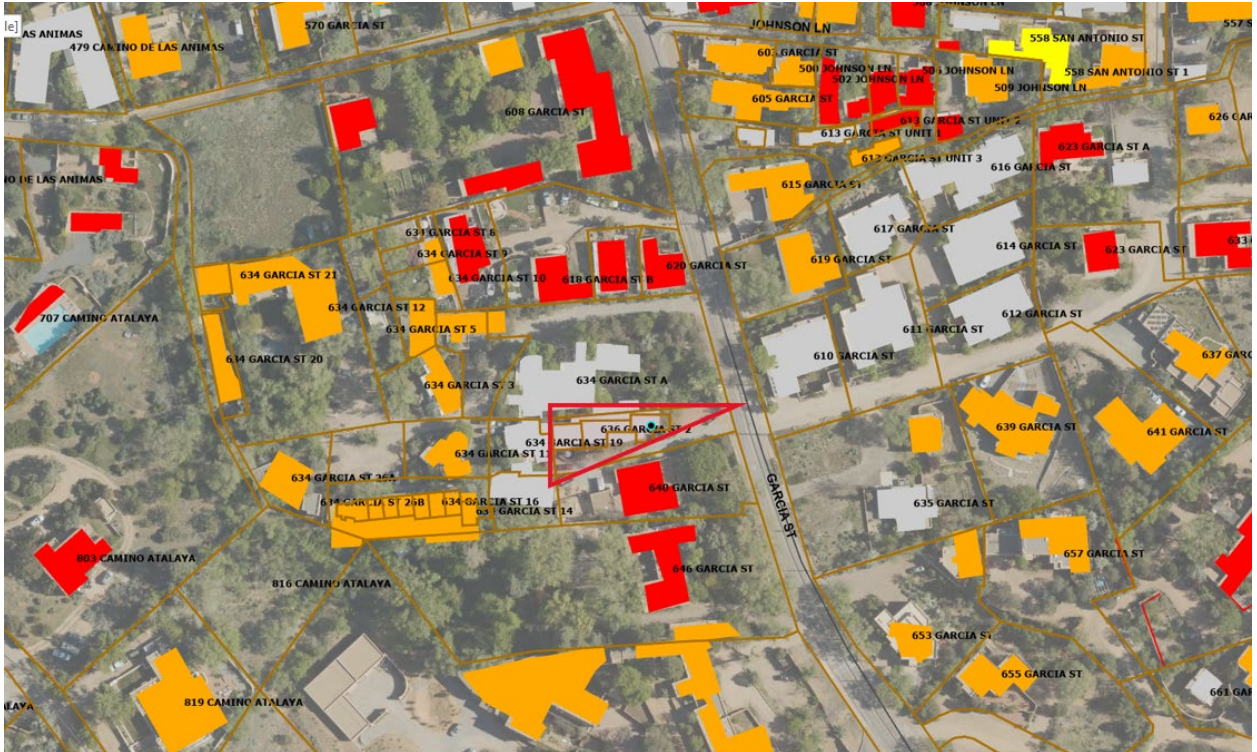


Figure 1: Property location in red.

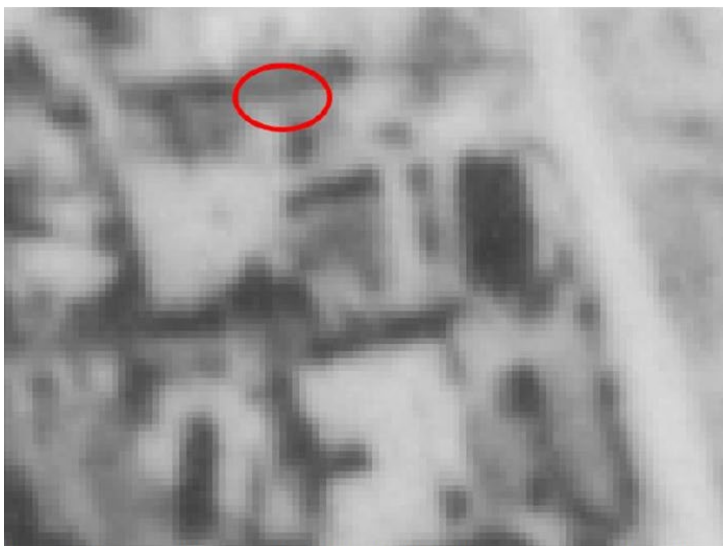


Figure 5: 1948 aerial photograph. Subject dwelling does not appear to have been constructed.



Figure 6: 1958 aerial photograph. Subject dwelling circled.

Figure 2: Aerials from 1948 and 1958

The building at 636 Garcia is constructed of adobe in a vernacular style with stucco walls and concrete foundation and is a single level. The roof consists of a combination of flat, gabled, and shed roofs. Windows throughout the structure are wood with a combination of single-hung, casement, combination picture, sliding, and fixed windows. Doors consist of single-leaf wood and double doors with full-lite, plank half lite, and divided glass.

Unit 2 is 1,032 sq. ft. and shares a common wall with unit 3 on the west and a common wall with unit 1 on the east. The south elevation is the front of the structure and looks into small courtyards and consists of an entry door and windows in the bedroom, kitchen and living room. Some of the windows have been replaced at an unknown date and it is unclear if the openings are original to the structure. The North Elevation includes newer windows, several non-historic openings including a long combination picture window on the more eastern portion of the unit in the living room and single lite casements in the bathroom and divided lite casement at the bedroom further to the west.

Unit 3 is 754 sq. ft. and shares a common wall with unit 2 on the east and the neighboring property to the west. The south elevation looks onto a small brick courtyard. The east end is most likely part of the original small house and has a full-lite door in the living room flanked by modern casement windows. To the west was likely the earlier garage and includes a half-lite door and two windows arranged in a stepped manner. The north has gabled and flat-roof sections. The gabled area on the east has a pair of modern glass doors opening to the living room, while the flat roof portion on the west has a pair of wood sliding windows in the bedroom.

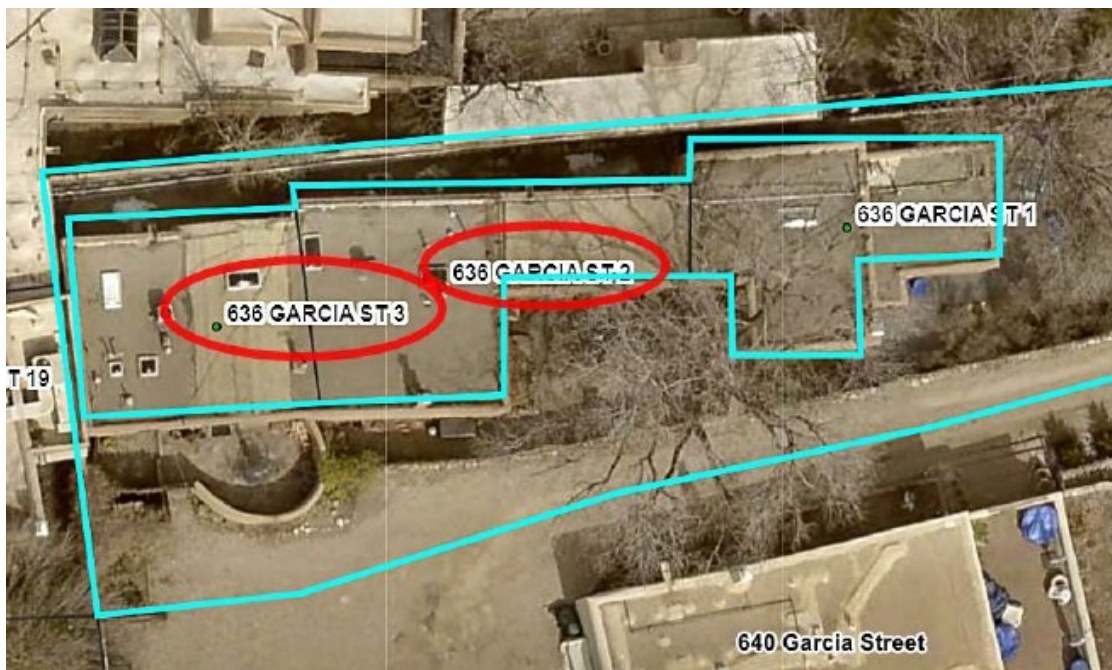


Figure 3: Units of the structure

There are no known previous cases for the condominium structure. However, it is apparent that the windows and doors are all non-historic with most replacements during 1991 and 1999.

The applicant requests:

- 1) Status review of the residential structure at units 2 and 3 and;
- 2) Designation of primary facades, if applicable.

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

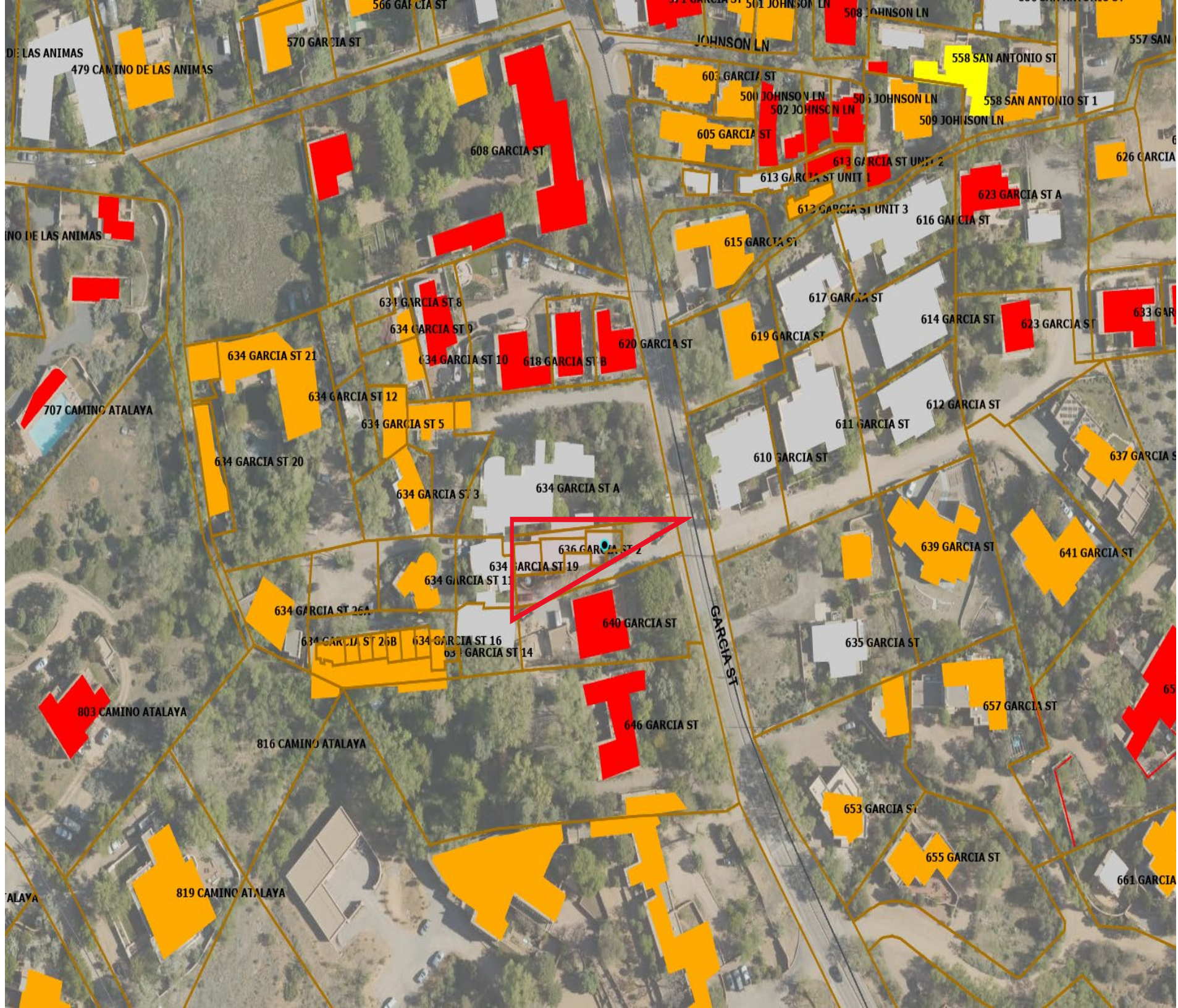
- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade

lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



DE LAS ANIMAS
479 CAMINO DE LAS ANIMAS

570 GARCIA ST

566 GARCIA ST

JOHNSON LN

603 GARCIA ST

500 JOHNSON LN

502 JOHNSON LN

506 JOHNSON LN

558 SAN ANTONIO ST

558 SAN ANTONIO ST 1

509 JOHNSON LN

608 GARCIA ST

605 GARCIA ST

613 GARCIA ST UNIT 1

613 GARCIA ST UNIT 2

613 GARCIA ST UNIT 3

616 GARCIA ST

623 GARCIA ST A

626 GARCIA

INO DE LAS ANIMAS

631 GARCIA ST 8

634 GARCIA ST 9

620 GARCIA ST

619 GARCIA ST

617 GARCIA ST

614 GARCIA ST

623 GARCIA ST

633 GAR

707 CAMINO ATALAYA

634 GARCIA ST 21

631 GARCIA ST 10

618 GARCIA ST B

634 GARCIA ST 12

634 GARCIA ST 5

611 GARCIA ST

612 GARCIA ST

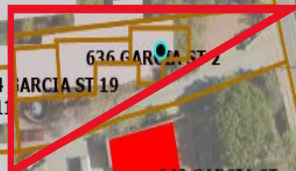
634 GARCIA ST 20

634 GARCIA ST 3

634 GARCIA ST A

610 GARCIA ST

637 GARCIA S



636 GARCIA ST 2

634 GARCIA ST 19

634 GARCIA ST 11

639 GARCIA ST

641 GARCIA ST

634 GARCIA ST 26A

634 GARCIA ST 26B

634 GARCIA ST 16

634 GARCIA ST 14

640 GARCIA ST

635 GARCIA ST

657 GARCIA ST

803 CAMINO ATALAYA

816 CAMINO ATALAYA

646 GARCIA ST

653 GARCIA ST

655 GARCIA ST

ATALAYA

819 CAMINO ATALAYA

661 GARCIA

RPA & Associates, LLC

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos de Albuquerque, NM 87114
P.O. Box 10328 Albuquerque, NM 87184
505-379-7900
rpahistoric@gmail.com

TO Historic Preservation Division
Planning and Land Use Department
P.O Box 909
Santa Fe, NM 87504

HISTORIC ASSESSMENT PROPOSAL




JOB	DATE
636 Garcia Street, Unit #2 (C) & #3 (D), Santa Fe, NM 87505	05/02/2024

PROPOSAL
Attention: Lani
This proposal letter is requesting the status and the primaries for the address listed above.
Attached is the Historic Assessment, with the floor plans, elevations, and the plot. Also,
attached is the HCPI form 1 and 2 for your review.
Thank you,
Ra Patterson
RPA & Associates, LLC
508 Ortega Road NW, Los Ranchos de Albuquerque, NM
87114

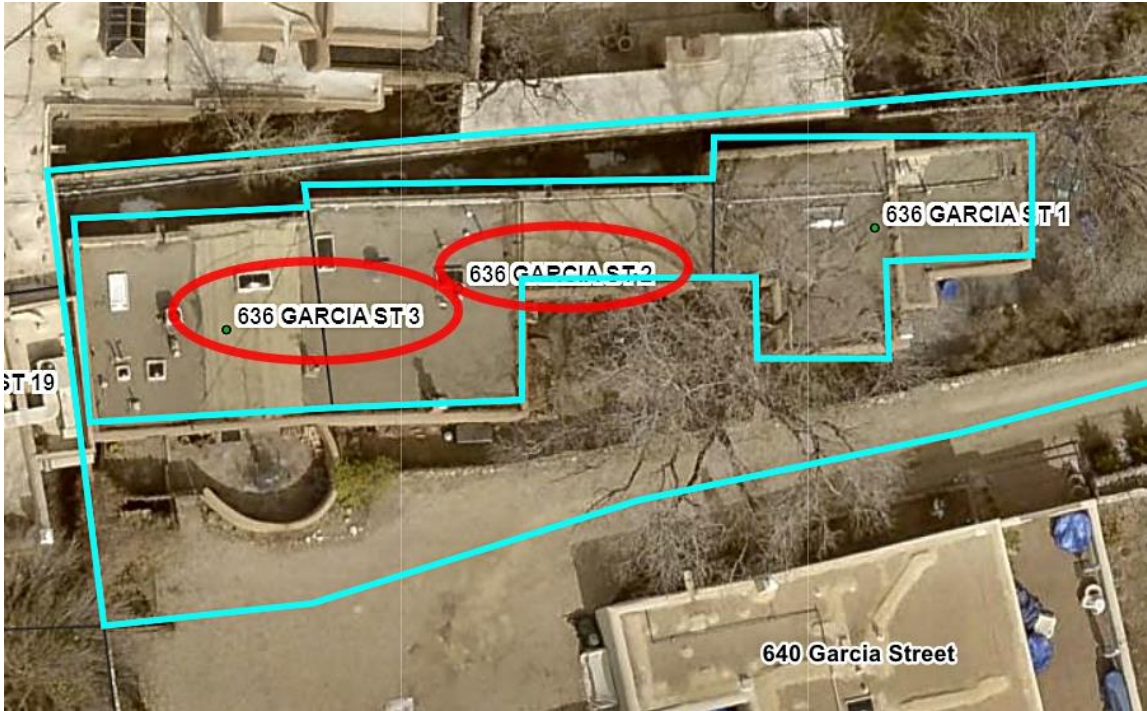
Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 21, 2024

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 and Unit 3 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A 4. County: Santa Fe Parcel # 910009440 & 910009441
5. Property Type: <input checked="" type="checkbox"/> Buildings: 2 condo units <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: April 20, 2024/May 20, 2024		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input type="checkbox"/> No: ?		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6764708,-105.9322226		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of south elevation. Unit 2, right; Unit 3, left. Camera facing north.		
11. Brief Description of the Property: Located approximately 100' down a private drive on the west side of Garcia Street are two connected condominium units. They are part of the three-unit 636 Garcia Street Compound. The building came about in the early 1950s when its then-owners added two dwellings (an apartment and a one-bedroom rental) to an existing garage. The garage became Unit 3. At the time, the rental units were subordinate to the large home just to the south (640 Garcia), which is no longer associated with the condominium. Thus, the subject units represent a fragment of their original context. <i>Continued on Page 5</i>		
12. Who uses the property? Residence (vacation house)		
13. Construction Date: early 1950s <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: plat and city directories		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporusco

For: owner, Joan Hathaway Sawyer 1990 Trust

18. Owner (if known) and other knowledgeable people:

Current owner: Joan Hathaway Sawyer 1990 Trust
 N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status: condominium
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																																									
		NRHP _____ SRCP _____	Criteria A B C D																																																								
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 and Unit 3 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A	4. County: Santa Fe 5. Date of Survey: April 20, 2024/May 20, 2024																																																								
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																											
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input checked="" type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																									
10. Window Types * Window operation and/or material not clear Unit 2 and Unit 3 <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Hung</td><td>Wood</td><td>2/2</td><td>3</td></tr> <tr><td>Casement</td><td>Wood</td><td>6</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>8</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>1</td><td>6</td></tr> <tr><td>Combination – Picture</td><td>Wood</td><td>1S-1F-1S</td><td>1</td></tr> <tr><td>Sliding</td><td>Wood</td><td>1-1</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>1</td><td>1</td></tr> <tr><td>Fixed *</td><td>Wood</td><td>12</td><td>2</td></tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	2/2	3	Casement	Wood	6	2	Casement	Wood	8	1	Casement	Wood	1	6	Combination – Picture	Wood	1S-1F-1S	1	Sliding	Wood	1-1	1	Fixed	Wood	1	1	Fixed *	Wood	12	2	11. Door Types Unit 2 and Unit 3 <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Plank w/ Vision Lite</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Full-Light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>1/2 -Light & Panel</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>Divided Glass</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Plank w/ Vision Lite	Wood	1	Single-Leaf	Full-Light	Wood	1	Single-Leaf	1/2 -Light & Panel	Wood	1	Double	Divided Glass	Wood	1
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12. Chimneys <input checked="" type="checkbox"/> N/A		13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																									
14. Other Significant Features N/A																																																											
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: c. Recent; change of windows and possibly openings; visual and material evidence.																																																											

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|------------------------------------------|-------------------------------------------|-------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

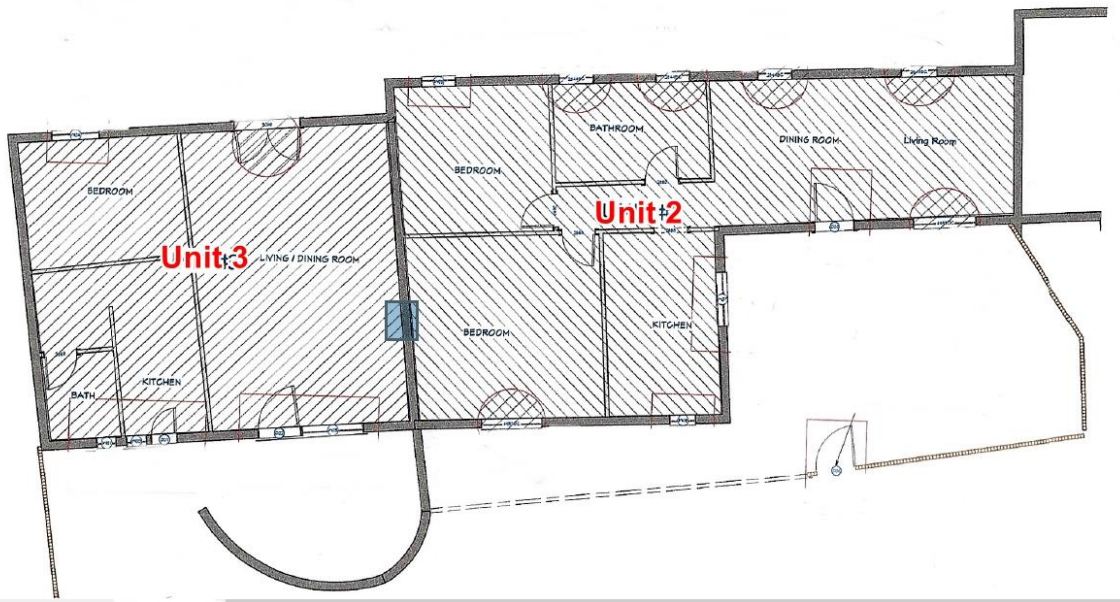
Archaeological Records Management Section
Laboratory of Anthropology
708 Camino Lejo
Santa Fe, NM 87501
(505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: N/A. 2024 Footprint floor plan. Courtesy Davenport Construction LLC.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Architectural Description Continued

The roughly 1,032 square-foot Unit 2 holds two bedrooms and two bathrooms in its L-shaped (almost like a dipper) plan. Unit 3 has one bedroom and one bath within its 754-square-foot enclosure. The two units share a party wall.

Unit 2

South Façade

The south façade, are the unit’s public face, looking onto small courtyards (Photo 1).

The fenestration for Unit 2 comprises an entry door and windows in the bedroom (Photo 2), kitchen (Photo 3), and living room (Photo 2). Some of the windows have been replaced, and it is unclear if all the openings are original.

North Elevation

The north elevation of both units looks onto a tall, clay tile property wall and includes newer windows, several of which probably represent non-historic openings.

These include for Unit 2 a long combination picture window at the living room (Photo 4, single-light casements at the bathroom, and a divided light casement at the bedroom (Photo 5).

Unit 3

South Façade

The south façade looks onto a small brick courtyard and is divided into sections (Photo 6). The east section, likely representing part of the original small house, has a full-light door in the living room flanked by modern casement windows (Photo 7). The west section, located in the position of an earlier garage (Fig. 3), includes a half-light door and two windows arranged in a stepped fashion (Photo 8).

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North Elevation

The north is divided into gabled and flat-roof sections (Photo 9). The gabled area has a pair of modern glass doors opening to the living room, while the flat roof portion has a pair of wood sliding windows at the bedroom.

Historical Overview

Remodeling for Profit

In July 1926, Catherine R. Farrelly, a wealthy New Yorker, acquired two acres of land along Garcia Street — a hotly redeveloping area that the *New Mexican* dubbed “American Millionaire’s Row.”¹ Farrelly, who had appeared in New York social registers and could trace her ancestry to a signer of the Declaration of Independence, worked as Meem & McCormick’s office manager.

Although she had been buying Hispanic-owned properties along Garcia Street and selling them at a profit, her efforts paled in the shadow of the White Sisters, who had arrived five years earlier. The King’s map shows a line of Hispanic-owned homes on the west side of Garcia Street, several of which Farrelly later acquired (Fig. 1).

The transaction that led to the subject property occurred on May 19, 1926.² Farrelly had acquired the property from Benito and Refugio Ronquillo de Chaves. She would make it her home for a few years and worked with Katherine Otero Stinson to remodel it. The Santa Fe *New Mexican* called her home “one of the best examples of a remodeling of an old adobe.”³ This house is now addressed as 640 Garcia Street and is no longer part of the subject property.

¹ “Miss Farrelly Buys Chavez Home, Two Acres, on Garcia,” *Santa Fe New Mexican*, July 24, 1926, 6.

² Quitclaim Deed, Benito and Refugio Ronquillo de Chavez to Catherine R. Farrelly, recorded July 23, 1926, Book 10/Page 250, Instrument # 31961, Santa Fe County, New Mexico.

³ “Buys on Garcia Street,” *Santa Fe New Mexican*, November 10, 1930, 6.

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In 1928, Farrelly sold the land to the north to Eva Byrne Brandt, a wealthy woman from Grand Rapids, Michigan, who had erected an English Manor-style house in that city (Fig. 2). The *New Mexican* reported that the transaction represented “[h]ow real estate may be bought and sold at a profit in Santa Fe, even without remodelling [sic] the house.”⁴ The article stated that Brandt would make “extensive improvement to the property,” bringing up the value of the property to \$20,000 after the houses were remodeled. Brandt bought both parcels for \$100.00.⁵

Brandt purchased the subject property, which was the former home of Benito and Refugio Chavez, from Farrelly in 1930. Brandt was a seasonal visitor who appears to have lived on and off at 640 Garcia Street through the early 1940s. In 1940, she was permitted to build a garage, likely Unit 3 of the condominium complex.⁶

In 1943, Brandt sold the property to William L. Hamilton, a physician. City directories suggest that it only consisted of the main house, 640 Garcia, and the garage. (Fig. 3). Hamilton likely later constructed or added onto existing buildings along the north property line to form part of the 636 Garcia Street Compound Condominium. A 1948 aerial image does not show the contiguous line of structures that comprise the present-day condominium complex (Fig. 5).

The Piano People

Dr. Hamilton died in 1954, and his widow, Anna B. Hamilton, gained the property. She sold it two years later to married couple John and Jose Hiersoux.⁷ The Hiersoux family would have the property until 2021.

Both John and Jose were of Belgian ancestry and played the piano (Fig. 4). John was born in Belgium in 1909 and grew up in Charleston, West Virginia, where his father was

⁴ “Mrs. Brandt Buys Fine Property on Garcia Street; To Improve It,” *Santa Fe New Mexican*, June 2, 1928, 2.

⁵ Warranty Deed, Catherine R. Farrelly to Eva Brandt, recorded May 22, 1928, Book U/Page 528, Instrument # 35531, Santa Fe County, New Mexico.

⁶ “Village Gossip of Old Santa Fe,” *Santa Fe New Mexican*, April 11, 1940, 3.

⁷ Warranty Deed, Anna B. Hamilton to John A. Hiersoux and Josephine Charlotte Hiersoux, recorded February 1, 1956, Book 113/Page 472, Instrument # 212236, Santa Fe County, New Mexico.

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a glass manufacturer. He studied piano in Europe at the Belgian Royal Conservatory under composer and pianist Arthur De Greef, a friend of Edvard Grieg. Jose Hiersoux was born Josephine Charlotte Bulens. She studied at the same conservatory under pianist Emile Bosquet. The couple married in Belgium and moved to Charleston, where they taught piano.

They first came to New Mexico in 1950, visiting a Charleston acquaintance who had moved to Albuquerque.⁸ The husband-and-wife piano duo became obsessed with the Southwest, returning the following summer to perform. They moved to Albuquerque in 1952, shifting to Santa Fe in 1955. The couple used their Garcia Street home as a piano studio for private lessons. John helped form the Rio Grande Symphony in Santa Fe and served as its director for several years.⁹

John and Jose left Santa Fe in the early 1960s, relocating to Berkeley, California, where they opened the Hiersoux Studio of Music. John would go on to direct the Holy Names College Symphony Orchestra. Jose died in 1970, with John following four years later.

A Rental Property

A plat map from 1954 reveals that the north building, erected earlier by the Hamiltons, held a combination dwelling, apartment, and garage – now condominium Unit 3. (Fig. 4). Newspaper advertisements indicated that the dwelling had a large bedroom, living room, kitchen, and bath.

Adjoining it was a one-room apartment with a shower, hot plate, and refrigerator. Living in the apartment in 1958 was Robert Ewing, a teller at First National Bank; in the small house, a retired fire inspector named James Hyslop and his wife, Grace.¹⁰ The ad hoc structure, including the garage, is visible on a 1958 aerial photograph (Fig. 6).

⁸ “Duo Piano Team Visiting Here on Way Back to Eastern Home,” *Albuquerque Tribune*, July 7, 1950, 10.

⁹ “Hiersoux, Holy Names Conductor, Dies at 66,” *Oakland Tribune*, June 20, 1964, 36.

¹⁰ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1958 (El Paso: Hudspeth Directory Company, 1958), 550.

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The Garcia Street property remained with the Hiersoux family into the twenty-first century. Eventually, the main house was split off and became its own property. In 2003, the one-bedroom dwelling, apartment, and garage were converted into condominiums. Today, the subject property represents a fragment of this history and is separated from the more significant main house.

Evaluation of Historical Status

The dwellings, two units of the 636 Garcia Street Compound Condominium, do not possess sufficient architectural interest and/or integrity to be eligible for Contributing status. In addition, their primary historical association as a dependent structure to the home at 640 Garcia Street has been severed.

The recommendation is to designate 636 Garcia Street, Unit 2 and Unit 3, as Non-Contributing structures to the Downtown and Eastside Historic District.

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Illustrations

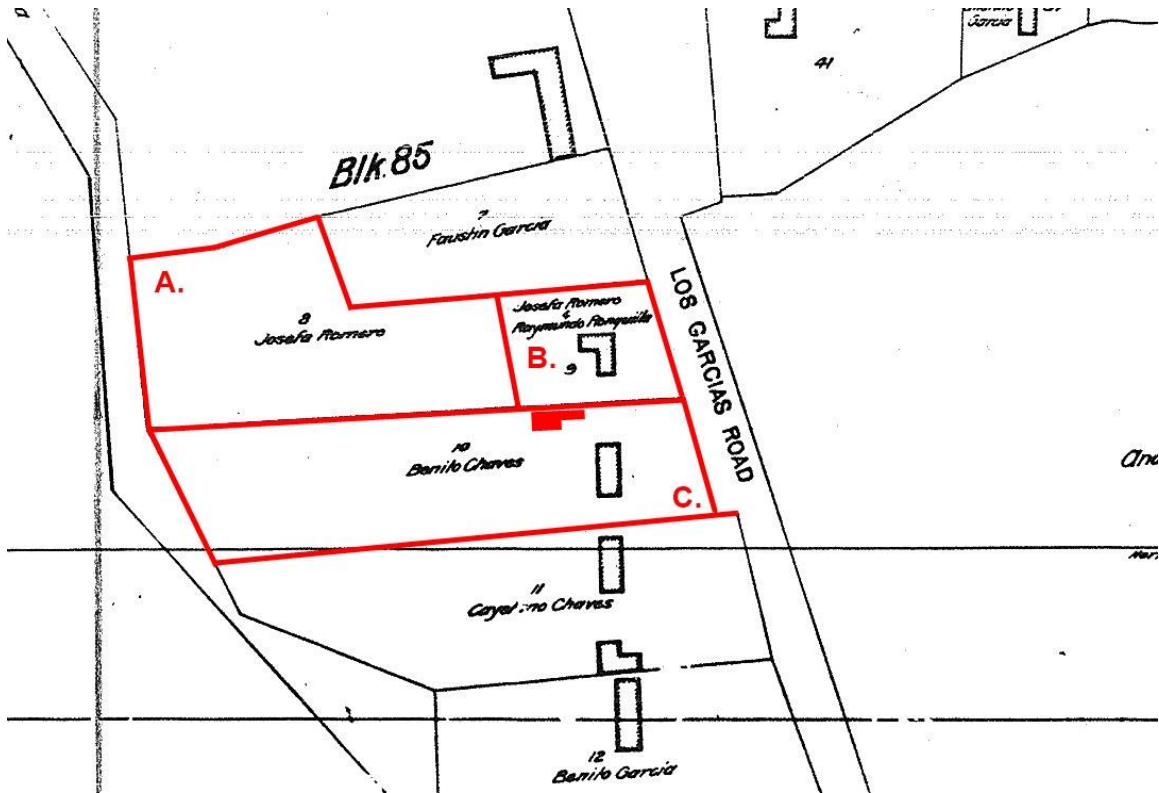


Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.

- A. Acquired by Catherine R. Farrelly in 1928 and sold to Eva B. Brandt the same year.
- B. Acquired by Catherine R. Farrelly in 1928 and sold to Eva B. Brandt the same year.
- C. Acquired by Catherine R. Farrelly in 1926 and sold to Eva B. Brandt in 1930.

Future subject dwelling outlined in red.

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Figure 2: Undated photograph of house constructed by Eva Byrne Brandt in Grand Rapids, Michigan.

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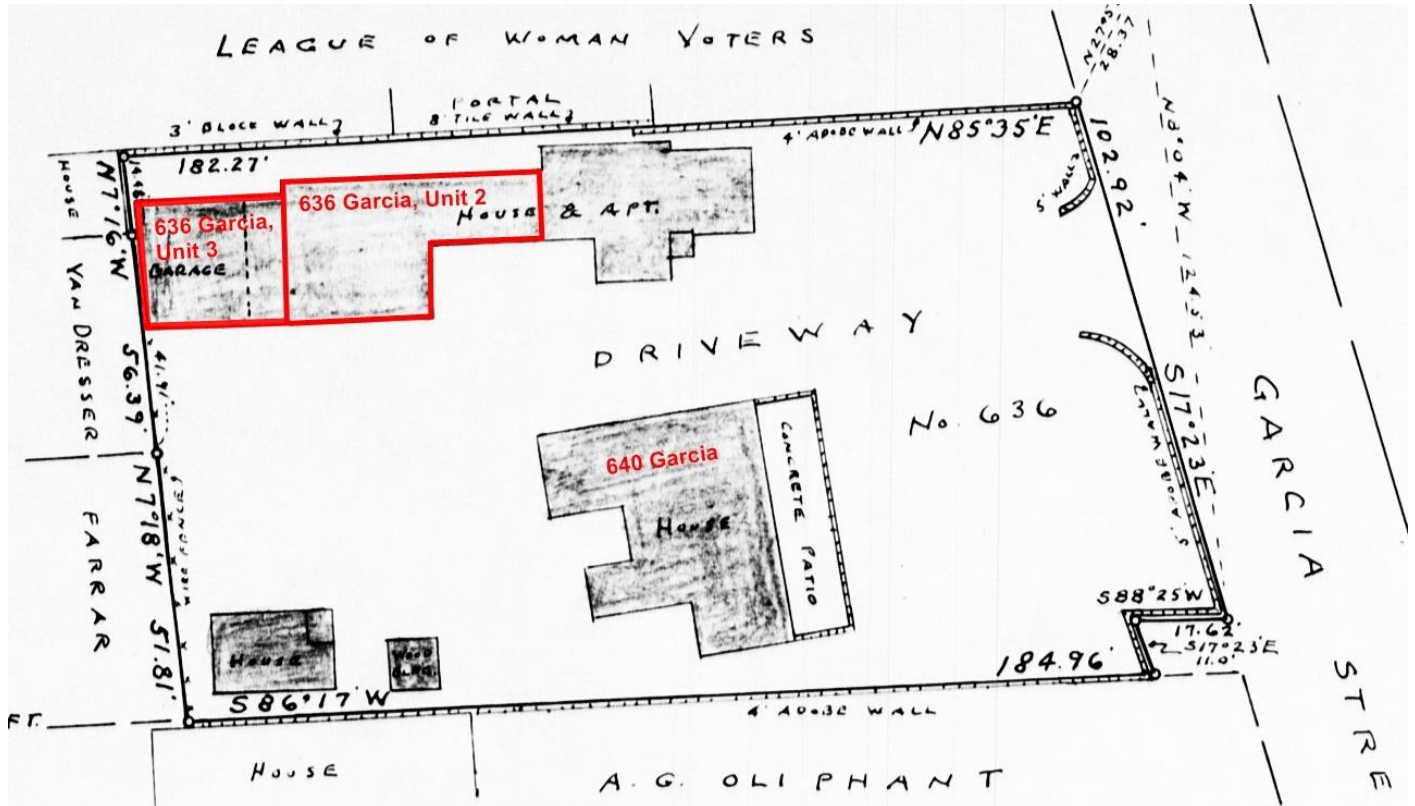


Figure 3: 1954 plat map created during Hamilton ownership of property.

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Jose and John Hiersoux

Figure 4: c.1950 photograph of Jose and John Hiersoux.
Courtesy Albuquerque Tribune.

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Figure 5: 1948 aerial photograph. Subject dwelling does not appear to have been constructed.

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Figure 6: 1958 aerial photograph. Subject dwelling circled.

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Survey Photographs

(All images taken by Giulia Caporuscio on April 20, 2024 or May 20, 2024, as indicated).

Unit 2



Photo 2: East and south elevation oblique. Camera facing northwest. April 20, 2024.

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Photo 3: South elevation. Window at bedroom. Camera facing northwest. Red line indicates end of subject of condominium and the beginning of Unit 3. April 20, 2024.

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Photo 4: South elevation. Window at kitchen. Camera facing north. April 20, 2024.

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Photo 4: North elevation, oblique. Camera facing southwest. May 20, 2024.

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Photo 5: North elevation, oblique. Camera facing east. May 20, 2024.

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Unit 3



Photo 6: South elevation, oblique. Camera facing northwest. May 20, 2024.

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1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 and Unit 3 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A
		4. County: Santa Fe
		5. Date of Survey: April 20, 2024/May 20, 2024



Photo 7: South elevation, east section. Camera facing north. May 20, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 and Unit 3 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A	
		4. County: Santa Fe	
		5. Date of Survey: April 20, 2024/May 20, 2024	



Photo 8: South elevation, west section. Camera facing northwest. May 20, 2024.

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		4. County: Santa Fe
		5. Date of Survey: April 20, 2024/May 20, 2024




Photo 9: North elevation, oblique. Camera facing southwest. May 20, 2024.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: April 27, 2024

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A 4. County: Santa Fe Parcel # 910009440
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 condo unit <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: April 20, 2024		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input type="checkbox"/> No: ?		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6764708,-105.9322226		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of south elevation. Camera facing north. April 20, 2024.		
11. Brief Description of the Property: Located approximately 100' down a private drive on the west side of Garcia Street is a small condominium unit. It is part of the three-unit 636 Garcia Street Compound and is bracketed on the east and west by the other two units of the development. The building came about in the early 1950s when its then-owners added two dwellings (an apartment and a one-bedroom rental) to an existing garage. The garage became Unit # 3. At the time, the rental units were subordinate to the large home just to the south (640 Garcia), which is no longer associated with the condominium. Thus, the subject property represents a fragment of its original context. <i>Continued on Page 5</i>		
12. Who uses the property? Residence (vacation house)		
13. Construction Date: early 1950s <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: plat and city directories		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate

17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporuscio

For: owner, Joan Hathaway Sawyer 1990 Trust

18. Owner (if known) and other knowledgeable people:

Current owner: Joan Hathaway Sawyer 1990 Trust
 N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status: condominium
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																							
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																					
10. Window Types * Window operation and/or material not clear <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>2/2</td> <td>3</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>6</td> <td>2</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>8</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>1</td> <td>3</td> </tr> <tr> <td>Combination – Picture</td> <td>Wood</td> <td>1S-1F-1S</td> <td>1</td> </tr> <tr> <td>Fixed *</td> <td>Wood</td> <td>12</td> <td>2</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	2/2	3	Casement	Wood	6	2	Casement	Wood	8	1	Casement	Wood	1	3	Combination – Picture	Wood	1S-1F-1S	1	Fixed *	Wood	12	2	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Plank w/ Vision Lite</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Plank w/ Vision Lite	Wood	1
Operation	Material	Glazing	Number																																				
Single-Hung	Wood	2/2	3																																				
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Fixed *	Wood	12	2																																				
Type	Style	Material	Number																																				
Single-Leaf	Plank w/ Vision Lite	Wood	1																																				
12. Chimneys <input checked="" type="checkbox"/> N/A		13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																					
14. Other Significant Features N/A																																							
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: c. Recent; change of windows and possibly openings; visual and material evidence.																																							

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|------------------------------------------|-------------------------------------------|-------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

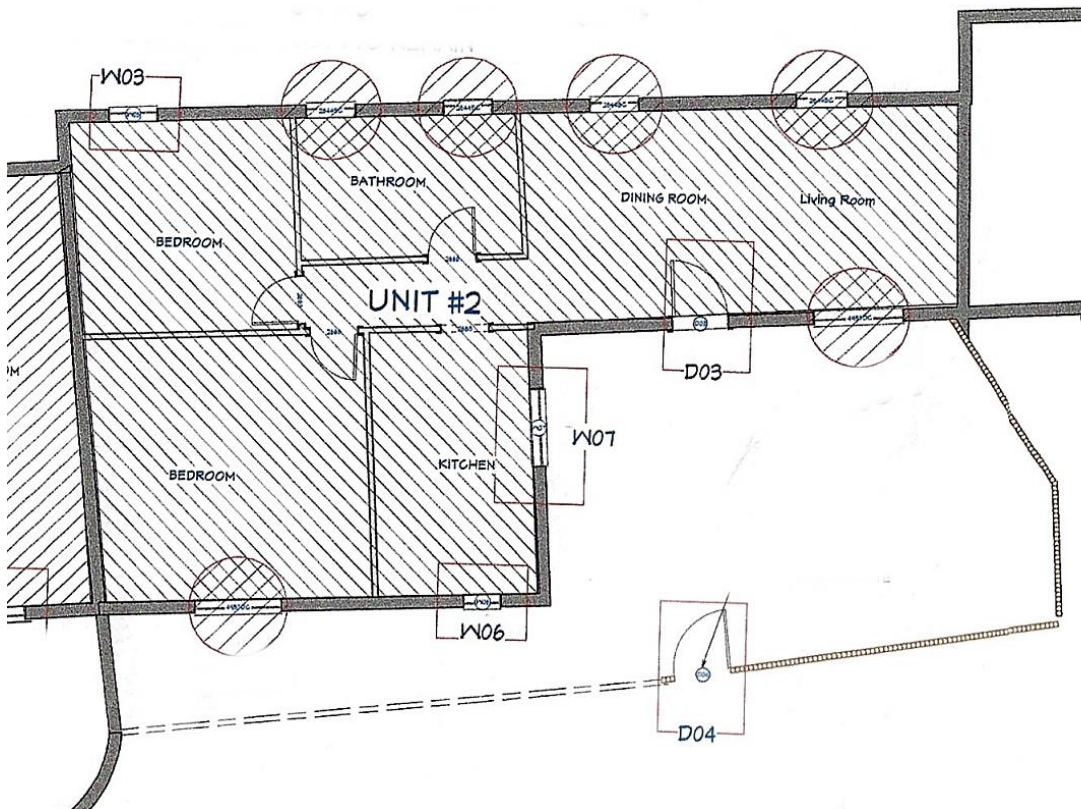
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: N/A. 2024 Footprint floor plan. Courtesy Davenport Construction LLC.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Architectural Description Continued

The roughly 1,032 square-foot unit holds two bedrooms and two bathrooms in its L-shaped (almost like a dipper) plan. As it is sandwiched by the other units, it only has two façades.

South Façade

The south façade, its public face, looks onto a small courtyard wrapped with coyote fencing (Photo 1). This façade’s limited fenestration consists of an entry door and windows in the bedroom (Photo 2), kitchen (Photo 3), and living room (Photo 1). Some of the windows have been replaced, and it is unclear if all the openings are original.

North Elevation

The north elevation looks onto a tall property wall and includes newer windows, several of which probably represent non-historic openings. These include a long combination picture window at the living room (Photo 5), single-light casements at the bathroom (Photos 7 & 8), and a divided light casement at the bedroom (Photo 9).

Historical Overview

Remodeling for Profit

In July 1926, Catherine R. Farrelly, a wealthy New Yorker, acquired two acres of land along Garcia Street — a hotly redeveloping area that the *New Mexican* dubbed “American Millionaire’s Row.”¹ Farrelly, who had appeared in New York social registers and could trace her ancestry to a signer of the Declaration of Independence, worked as Meem & McCormick’s office manager.

Although she had been buying Hispanic-owned properties along Garcia Street and selling them at a profit, her efforts paled in the shadow of the White Sisters, who had

¹ “Miss Farrelly Buys Chavez Home, Two Acres, on Garcia,” *Santa Fe New Mexican*, July 24, 1926, 6.

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arrived five years earlier. The King’s map shows a line of Hispanic-owned homes on the west side of Garcia Street, several of which Farrelly later acquired (Fig. 1).

The transaction that led to the subject property occurred on May 19, 1926.² Farrelly had acquired the property from Benito and Refugio Ronquillo de Chaves. She would make it her home for a few years and worked with Katherine Otero Stinson to remodel it. The Santa Fe *New Mexican* called her home “one of the best examples of a remodeling of an old adobe.”³ This house is now addressed as 640 Garcia Street and is no longer part of the subject property.

In 1928, Farrelly sold the land to the north to Eva Byrne Brandt, a wealthy woman from Grand Rapids, Michigan, who had erected an English Manor-style house in that city (Fig. 2). The *New Mexican* reported that the transaction represented “[h]ow real estate may be bought and sold at a profit in Santa Fe, even without remodelling [sic] the house.”⁴ The article stated that Brandt would make “extensive improvement to the property,” bringing up the value of the property to \$20,000 after the houses were remodeled. Brandt bought both parcels for \$100.00.⁵

Brandt purchased the subject property, which was the former home of Benito and Refugio Chavez, from Farrelly in 1930. Brandt was a seasonal visitor who appears to have lived on and off at 640 Garcia Street through the early 1940s. In 1940, she was permitted to build a garage, likely Unit 3 of the condominium complex.⁶

In 1943, Brandt sold the property to William L. Hamilton, a physician. City directories suggest that it only consisted of the main house, 640 Garcia, and the garage. (Fig. 3). Hamilton likely later constructed or added onto existing buildings along the north property line to form part of the 636 Garcia Street Compound Condominium. A 1948

² Quitclaim Deed, Benito and Refugio Ronquillo de Chavez to Catherine R. Farrelly, recorded July 23, 1926, Book 10/Page 250, Instrument # 31961, Santa Fe County, New Mexico.

³ “Buys on Garcia Street,” *Santa Fe New Mexican*, November 10, 1930, 6.

⁴ “Mrs. Brandt Buys Fine Property on Garcia Street; To Improve It,” *Santa Fe New Mexican*, June 2, 1928, 2.

⁵ Warranty Deed, Catherine R. Farrelly to Eva Brandt, recorded May 22, 1928, Book U/Page 528, Instrument # 35531, Santa Fe County, New Mexico.

⁶ “Village Gossip of Old Santa Fe,” *Santa Fe New Mexican*, April 11, 1940, 3.

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aerial image does not show the contiguous line of structures that comprise the present-day condominium complex (Fig. 5).

The Piano People

Dr. Hamilton died in 1954, and his widow, Anna B. Hamilton, gained the property. She sold it two years later to married couple John and Jose Hiersoux.⁷ The Hiersoux family would have the property until 2021.

Both John and Jose were of Belgian ancestry and played the piano (Fig. 4). John was born in Belgium in 1909 and grew up in Charleston, West Virginia, where his father was a glass manufacturer. He studied piano in Europe at the Belgian Royal Conservatory under composer and pianist Arthur De Greef, a friend of Edvard Grieg. Jose Hiersoux was born Josephine Charlotte Bulens. She studied at the same conservatory under pianist Emile Bosquet. The couple married in Belgium and moved to Charleston, where they taught piano.

They first came to New Mexico in 1950, visiting a Charleston acquaintance who had moved to Albuquerque.⁸ The husband-and-wife piano duo became obsessed with the Southwest, returning the following summer to perform. They moved to Albuquerque in 1952, shifting to Santa Fe in 1955. The couple used their Garcia Street home as a piano studio for private lessons. John helped form the Rio Grande Symphony in Santa Fe and served as its director for several years.⁹

John and Jose left Santa Fe in the early 1960s, relocating to Berkeley, California, where they opened the Hiersoux Studio of Music. John would go on to direct the Holy Names College Symphony Orchestra. Jose died in 1970, with John following four years later.

⁷ Warranty Deed, Anna B. Hamilton to John A. Hiersoux and Josephine Charlotte Hiersoux, recorded February 1, 1956, Book 113/Page 472, Instrument # 212236, Santa Fe County, New Mexico.

⁸ "Duo Piano Team Visiting Here on Way Back to Eastern Home," *Albuquerque Tribune*, July 7, 1950, 10.

⁹ "Hiersoux, Holy Names Conductor, Dies at 66," *Oakland Tribune*, June 20, 1964, 36.

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A Rental Property

A plat map from 1954 reveals that the north building, erected earlier by the Hamiltons, held a combination dwelling, apartment, and garage (Fig. 4). Newspaper advertisements indicated that the dwelling had a large bedroom, living room, kitchen, and bath.

Adjoining it was a one-room apartment with a shower, hot plate, and refrigerator. Living in the apartment in 1958 was Robert Ewing, a teller at First National Bank; in the small house, a retired fire inspector named James Hyslop and his wife, Grace.¹⁰ The ad hoc structure, including the garage, is visible on a 1958 aerial photograph (Fig. 6).

The Garcia Street property remained with the Hiersoux family into the twenty-first century. Eventually, the main house was split off and became its own property. In 2003, the one-bedroom dwelling and apartment were converted into condominiums. Today, the subject property represents a fragment of this history and is separated from the more significant main house.

Evaluation of Historical Status

The dwelling, as an individual condominium unit, does not possess sufficient architectural interest and or integrity to be eligible for Contributing status. Its primary historical association as a dependent structure to the home at 640 Garcia Street has been severed.

The recommendation is to designate 636 Garcia Street, Unit 2, a Non-Contributing structure to the Downtown and Eastside Historic District.

¹⁰ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1958 (El Paso: Hudspeth Directory Company, 1958), 550.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Illustrations

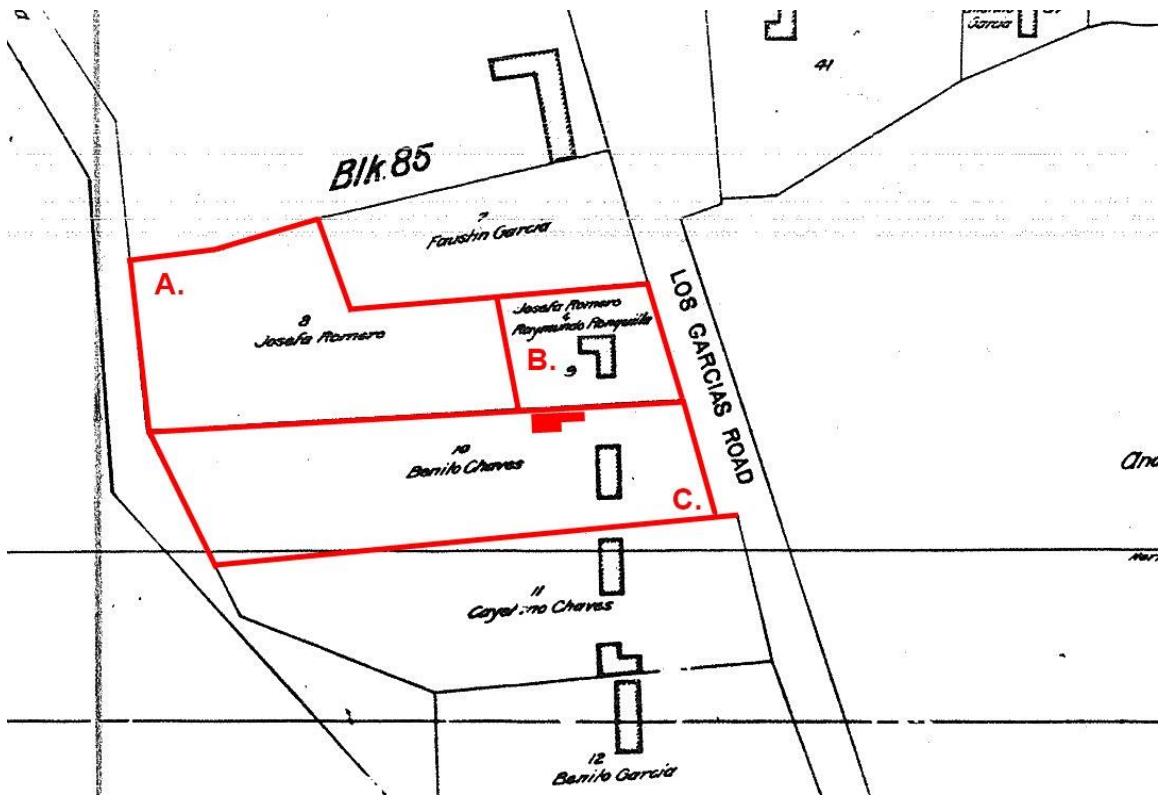


Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.

- A. Acquired by Catherine R. Farrelly in 1928 and sold to Eva B. Brandt the same year.
- B. Acquired by Catherine R. Farrelly in 1928 and sold to Eva B. Brandt the same year.
- C. Acquired by Catherine R. Farrelly in 1926 and sold to Eva B. Brandt in 1930.

Future subject dwelling outlined in red.

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Figure 2: Undated photograph of house constructed by Eva Byrne Brandt in Grand Rapids, Michigan.

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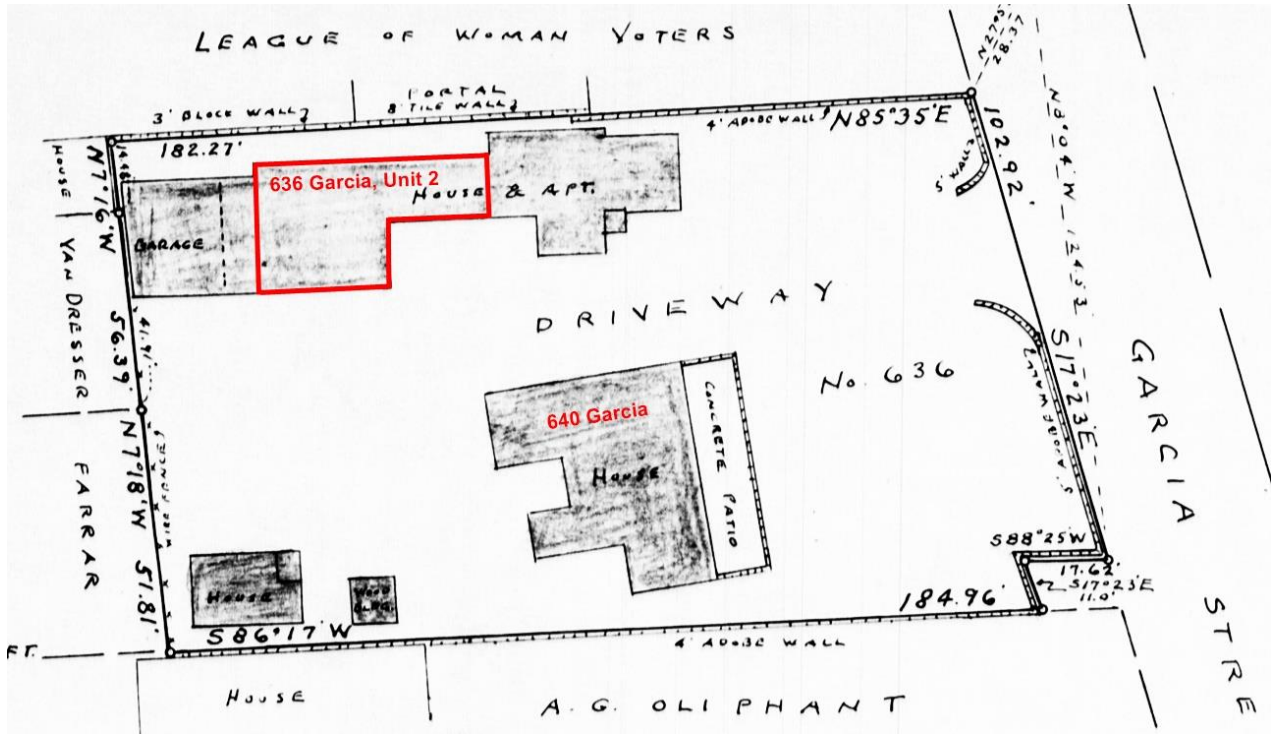


Figure 3: 1954 plat map created during Hamilton ownership of property.

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Jose and John Hiersoux

Figure 4: c.1950 photograph of Jose and John Hiersoux.
Courtesy Albuquerque Tribune.

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Figure 5: 1948 aerial photograph. Subject dwelling does not appear to have been constructed.

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Figure 6: 1958 aerial photograph. Subject dwelling circled.

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Survey Photographs

(All images taken by Giulia Caporuscio on April 20, 2024, unless otherwise noted)



Photo 2: East and south elevation oblique. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 3: South elevation. Window at bedroom. Camera facing northwest. Red line indicates end of subject of condominium.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A
		4. County: Santa Fe
		5. Date of Survey: April 20, 2024



Photo 4: South elevation. Window at kitchen. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A	
		4. County: Santa Fe	
		5. Date of Survey: April 20, 2024	



Photo 5: North elevation. Window at living room. Camera facing southeast. Ra Patterson, January 29, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A			
		4. County: Santa Fe			
		5. Date of Survey: April 20, 2024			



Photo 6: North elevation. Window at dining room. Camera facing southeast. Ra Patterson, January 29, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A 4. County: Santa Fe 5. Date of Survey: April 20, 2024

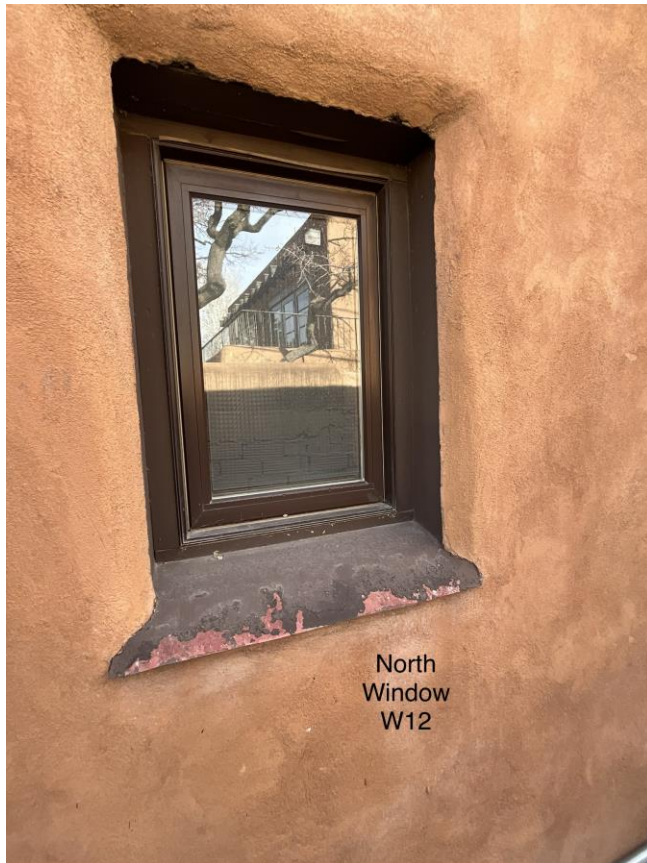


Photo 7: North elevation. Window at bathroom. Camera facing southeast. Ra Patterson, January 29, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A
		4. County: Santa Fe
		5. Date of Survey: April 20, 2024



North
Window
W13

Photo 8: North elevation. Window at bathroom. Camera facing south. Ra Patterson, January 29, 2024.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: 636 Garcia Street Compound Condominium	2. Location: 636 Garcia Street, Unit 2 Downtown and Eastside Historic district Santa Fe	3. Local Reference Number: Santa Fe ID: N/A		
		4. County: Santa Fe		
		5. Date of Survey: April 20, 2024		

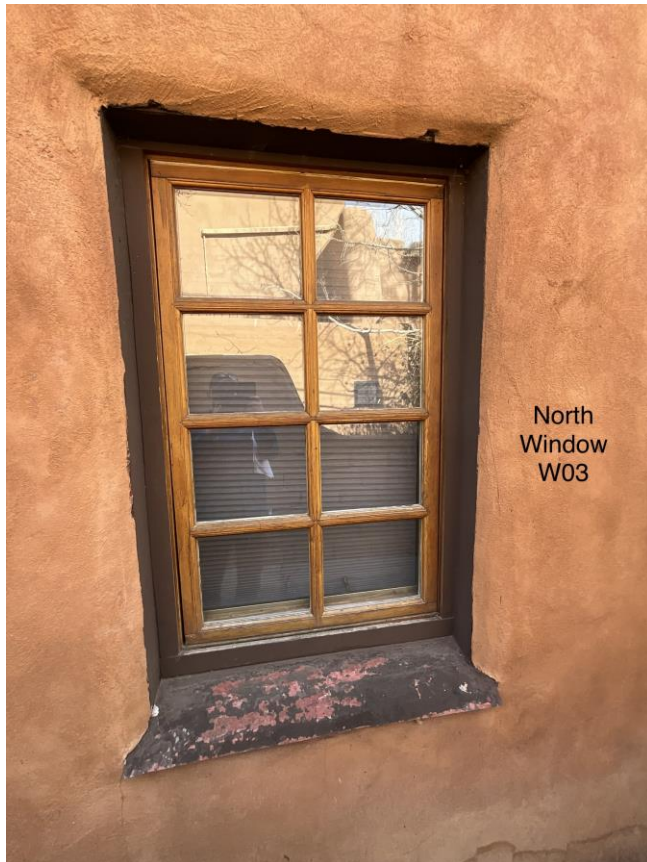


Photo 9: South elevation. Window at bedroom. Camera facing southeast. Ra Patterson, January 29, 2024.

RPA & Associates, LLC

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos de Albuquerque, NM 87114
P.O. Box 10328 Albuquerque, NM 87184
505-379-7900
rpahistoric@gmail.com

TO Davenport Construction Management, LLC
141 Camino De Las Crucitas
Santa Fe, NM 87501
mitch@dcmnm.com

HISTORIC ASSESSMENT NO.050224-HA



JOB	DATE
636 GARCIA STREET UNIT C & D	02/05/2024

LOCATION	DESCRIPTION
W01	18 x 16 FIXED STOP GLASS 1-LT
W02	18 x 45 R CASEMENT 1-LT
W03	34 x 54 R CASEMENT 2W4H
W04	46 x 21 HORIZONTAL SLIDER 1-LT
W05	57 x 61 LR 1-LT CASEMENT
W06	26 x 34 DH 2W1H/2W1H
W07	52 x 42 DH TWIN 2W1H/2W1H
W08	70 x 54 LR 3W4H CASEMENT
W09	40 x 46 LR 2W3H CASEMENT
W10	96 x 38 PICTURE SLIDER 1-LT
W11	38 x 24 AWNING 1-LT
W12	24 x 38 L CASEMENT 1-LT
W13	24 x 38 R CASEMENT 1-LT
D01	25 x 80 RH INSWING ½ FIBER GLASS 2-PANEL DOOR
D02	25 x 80 LH INSWING DOOR 1-LT
D03	33 x 81 LH INSWING PLANKED DOOR WITH A VIEW LITE
D04	43 x 67 COYOTE FENCE GATE
D05	60 x 80 FRENCH DOOR INSWING LH 1-LT

In closing, my professional opinion is as follows:

All windows and doors on these two units (Unit C & D) are non-historic.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: **Ra N. Patterson**

RPA & ASSOCIATES, LLC | WINDOW & DOOR CONDITION AND INTEGRITY CODES

CODE	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION.
	PUTTY GLAZE INTACT.
	ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS.
	PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% – 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE.
	PUTTY GLAZING CRACKING AND MISSING IN 30% – 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% – 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED.
	PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTES:

RPA & ASSOCIATES, LLC. | 636 GARCIA STREET UNIT C & D, SANTA FE, NM 87505

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTERGRITY CODE	HISTORIC/NON-HISTORIC - AGE
W01	18 x 16 FIXED STOPPED GLASS 1-LT	U	NON-HISTORIC – 1991
W02	18 x 45 R CASEMENT ALL WOOD 1-LT	S	NON-HISTORIC – 1991
W03	34 x 54 R CASEMENT ALL WOOD 1-LT	S	NON-HISTORIC – 1991
W04	46 x 21 HORIZONTAL SLIDER ALL WOOD 2W4H SDL	S	NON-HISTORIC – 1991
W05	57 x 61 LR CASEMENT 1-LT	S	NON-HISTORIC – 1991
W06	26 x 34 DH 2W1H/2W1H BRZ/CLAD WOOD SDC	P	NON-HISTORIC – 1999 JELD-WEN
W07	52 x 42 (2-26) DH 2W1H/2W1H BRZ/CLAD WOOD SDL	P	NON-HISTORIC – 1999 JELD-WEN
W08	70 x 54 (2-35) CASEMENT LR 3W4H BRZ/CLAD WOOD SDL	P	NON-HISTORIC – 1999 JELD-WEN
W09	40 x 46 (2-20) CASEMENT LR 2W3H BRZ/CLAD WOOD SDL	P	NON-HISTORIC – 1999 JELD-WEN
W10	96 x 38 PICTURE SLIDER BRZ/CLAD WOOD 1-LT	P	NON-HISTORIC – 1999 JELD-WEN
W11	38 x 24 AWNING BRZ/CLAD WOOD 1-LT	P	NON-HISTORIC – 1999 JELD-WEN
W12	24 x 38 L CASEMENT BRZ/CLAD WOOD 1-LT	P	NON-HISTORIC – 1999 JELD-WEN
W13	34 x 38 L CASEMENT BRZ/CLAD WOOD 1-LT	P	NON-HISTORIC – 1999 JELD-WEN
D01	25 x 80 RH INSWING DOOR ½ GLASS/2-PANEL BOTTOM	S	NON-HISTORIC – 1991 THERMATRU
D02	38 x 80 LH INSWING FULL LITE FIBER GLASS DOOR	S	NON-HISTORIC – 1991 SIMPSON DOOR
D03	33 x 81 LH INSWING PLANKED DOOR 1-LT	S	NON-HISTORIC – 1984 MANUFACTURED PNEUMATIC NAILED GLAZING STOP
D04	43 x 67 GATE COYOTE FENCE STEEL WELDED FRAME	S	NON-HISTORIC – 1999
D05	60 x 80 FRENCH DOOR W/WOOD FRAME SCREEN ALL WOOD	S	NON-HISTORIC – 1991 SIMPSON DOOR

NOTES:

South
Window
W01





South
Window
W02



North
Window
W03



North
Window
W04

South
Window
W05





South
Window
W06



East
Window
W07

South
Window
W08



South
Window
W09





North
Window
W10

North
Window
W11





North
Window
W12



North
Window
W13





South
Door
D01

South
Door
D02



South
Door
D03



South
Gate
D-04





North
Door
D05



South Elevation

South East
Elevation





South East
Elevation



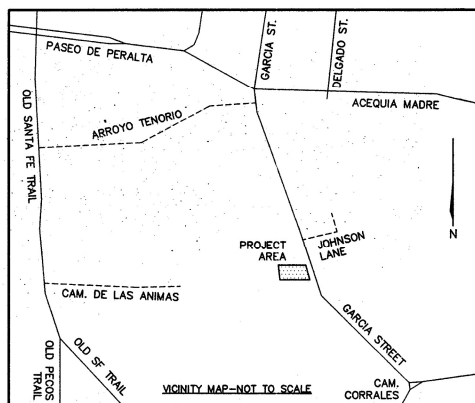
South West
Elevation

South West
Elevation



South West
Elevation





**First Amendment to Plat of Survey Prepared for
The Hiersoux Living Trust
and
636 Garcia Street Compound**

0350020

RESURVEY OF TRACT B, AS LAST DESCRIBED ON PLAT FILED IN
SANTA FE COUNTY CLERK PLAT BOOK 631, PAGE 039, AS DOCUMENT NO. 1445,438
BEING A PORTION OF LOT 10, BLOCK 85, 1924 OFFICIAL MAP-BLOCK 85 KING'S MAP
LYING WITHIN THE SANTA FE GRANT-PROJECTED S25, T17N, R9E, NMPM.
LOCATED AT 636-B GARCIA STREET, IN THE CITY OF SANTA FE
COUNTY OF SANTA FE, STATE OF NEW MEXICO, U.S.A.

DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS
TO OFFICE OF SANTA FE COUNTY CLERK

1. SURVEY ENTITLED "PLAT SHOWING SURVEY OF PROPERTY AND LOCATION OF IMPROVEMENTS THEREON FOR ANNA B. HAMILTON PORTION LOT 10, BLOCK 85, KING'S MAP, SANTA FE, NEW MEXICO" BY SAMUEL DAVALOS, DATED JANUARY 9, 1956, FILED ON JANUARY 26, 1956, AS DOCUMENT NO. 212,030.
2. WARRANTY DEED: G.R. HIERSOUX AND M.L. HIERSOUX TO THE HIERSOUX LIVING TRUST, FILED ON DECEMBER 4, 2002, IN MISC. BOOK 2280, PAGE 221, AS DOCUMENT NO. 1237,020
3. SURVEY ENTITLED "LAND DIVISION SURVEY PLAT PREPARED FOR THE HIERSOUX LIVING TRUST...636 GARCIA STREET...", BY PAUL A. ARMIJO NMP.S NO. 13604 AND ARMIJO SURVEYS, INC., DATED AUGUST 2006, AS SURVEY NO. 2604171, FILED ON AUGUST 7, 2006, IN PLAT BOOK 631, PAGE 276.
4. SURVEY ENTITLED "PLAT OF SURVEY PREPARED FOR THE HIERSOUX LIVING TRUST AND 636 GARCIA STREET COMPOUND", BY PAUL A. ARMIJO NMP.S NO. 13604 AND ARMIJO SURVEYS, INC., DATED DECEMBER 18, 2003, AS SURVEY NO. 2308485, FILED ON DECEMBER 18, 2003, AS INSTRUMENT NO. 1306,214.
5. DECLARATION OF CONDOMINIUM AND OF RESTRICTIONS AND COVENANTS FOR 636 GARCIA STREET COMPOUND, A CONDOMINIUM, AS FILED ON DECEMBER 22, 2003, AS DOCUMENT NO. 1306,535.

NOTES-SHEET 1

1. THIS AMENDMENT REMOVES UNIT A AND ALL LIMITED COMMON ELEMENTS APPURTENANT TO UNIT A; REDESIGNATES UNITS B, C AND D AS UNITS 1, 2 AND 3; REMOVES A PORTION OF THE COMMON ELEMENT DRIVEWAY; REMOVES A PARKING SPACE FOR UNIT 2 (FORMERLY UNIT C) ON THE WEST SIDE OF THE CONDOMINIUM; AND REDESIGNATES A PORTION OF THE COMMON ELEMENT (GUEST PARKING) NEAR THE NORTHEAST CORNER OF THE CONDOMINIUM AS PARKING FOR UNIT 2.
2. SEE SHEET NO. 2 FOR PLAT MAP.
3. SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-054-098-455-321.
4. THIS SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR OWNERSHIP TITLE HISTORY, EASEMENTS, RESTRICTIONS ENCUMBRANCES OR RESERVATIONS OR OTHER DOCUMENTS THAT MAY IMPACT THIS PROPERTY.
5. DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
6. THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 350070 0006 B, DATED JULY 2, 1980.
7. DATE OF FIELD SURVEY: SEPTEMBER 5, 2006.
8. ELEVATION DATUM SCALED FROM U.S.G.S. 7.5 MINUTE QUADRANGLE MAP ENTITLED "SANTA FE, N. MEX", DATED 1953, REVISED 1993.

CITY OF SANTA FE PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

SUPPLEMENTAL CERTIFICATION

I FURTHER CERTIFY AS TO THE EXISTENCE OF THE FOLLOWING ON THE DATE OF THIS FIELD SURVEY:

1. EVIDENCE OF RIGHTS OF WAY, OLD HIGHWAYS OR ABANDONED ROADS, LANES, TRAILS OR DRIVEWAYS, SEWER DRAINS, WATER, GAS OR OIL PIPELINES ON OR CROSSING SUBJECT PREMISES:
DIRT DRIVEWAY CROSSES SOUTHERLY PORTION OF TRACT B WITHIN DRIVEWAY EASEMENT. (SEE SHEET 2).
2. SPRINGS, STREAMS, RIVERS, PONDS OR LAKES LOCATED, BORDERING ON OR THROUGH SUBJECT PREMISES:
NONE VISIBLE.
3. EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON SUBJECT PREMISES:
NONE VISIBLE.
4. OVERHEAD UTILITY POLES, ANCHORS, PEDESTALS, WIRES OR LINES OVERHANGING OR CROSSING SUBJECT PREMISES AND SERVING OTHER PROPERTIES:
OVERHEAD UTILITY LINES AND POLE LOCATED ON AND CROSSING TRACT B. ELECTRIC METERS, GAS METERS & WATER METER SERVE SUBJECT RESIDENCES. (SEE SHEET NO. 2).
5. JOINT DRIVEWAYS OR WALKWAYS, JOINT GARAGES, PARTY WALLS OR RIGHTS OF SUPPORT, STEPS OR ROOFS IN COMMON OR JOINTS GARAGES:
SUBJECT RESIDENCES HAVE WALLS IN COMMON. JOINT USE DRIVEWAY SERVES TRACT A AND B. (SEE SHEET 2).
6. APPARENT ENCROACHMENTS OF BUILDINGS, PROJECTIONS, CORNICES OR SIGNS AFFIXED THERETO, FENCES OR OTHERS INDICATIONS OF OCCUPANCY APPEAR TO ENCROACH UPON OR OVERHANG SUBJECT PROPERTY:
NONE VISIBLE.
7. SPECIFIC PHYSICAL EVIDENCE OF BOUNDARY LINES ON ALL SIDES:
PROPERTY CORNER MONUMENTS FOUND AS NOTED ON ATTACHED SHEET NO. 2.
8. IS THE PROPERTY IMPROVED? IF STRUCTURE APPEARS TO ENCROACH OR APPEARS TO VIOLATE SETBACK LINES:
PROPERTY IS IMPROVED; DOES NOT VIOLATE SETBACKS.
9. INDICATIONS OF RECENT BUILDING CONSTRUCTION, ALTERATIONS OR REPAIRS:
NONE VISIBLE.
10. APPROXIMATE DISTANCES OF STRUCTURES FROM AT LEAST TWO LOT LINES MUST BE SHOWN:
PLEASE SEE ATTACHED SHEET NO. 2.

SURVEYORS CERTIFICATION

I, PAUL A. ARMIJO, CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN SEPTEMBER 2006 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS AND CONTAINS ALL INFORMATION REQUIRED BY SECTION 47-7B-9 OF THE NEW MEXICO CONDOMINIUM ACT.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Paul A. Armijo SEPT. 13, 2006
PAUL A. ARMIJO, N.M.P.S. NO. 13604

Document No. 1450614

COUNTY CLERKS INSTRUMENT BLOCK
COUNTY OF SANTA FE, STATE OF NEW MEXICO

I hereby certify that this instrument was filed

for record on the 14 day of Sept A.D. 2006

at 9:33 o'clock A.m, and was duly recorded in

Book 635, Page 021 of the Records of

Santa Fe County
Witness my Hand and Seal of Office

VALERIE ESPINOZA

County Clerk, Santa Fe County, New Mexico

DEPUTY

COUNTY CLERK SEAL



INDEXING INFORMATION FOR COUNTY CLERK
OWNER: THE HIERSOUX LIVING TRUST
DEED-MISC. BOOK 2280, PAGE 221
LOCATION: PORTION OF LOT 10, BLOCK 85
1924 OFFICIAL MAP-BLOCK 85 KING'S MAP
SF GRANT-PROJECTED S25, T17N, R9E
636 GARCIA STREET, CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO, U.S.A.

SHEET 1 OF 3

ARMIJO SURVEYS INC

PAUL A. ARMIJO N.M.P.S. NO. 13604
PMB 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505
PH. (505) 471-1955 FAX. (505) 471-1925

FIRST AMENDMENT TO PLAT OF SURVEY PREPARED FOR
THE HIERSOUX LIVING TRUST
AND
636 GARCIA STREET COMPOUND

DRAWN BY P.A.A. DATE SEPT. 2006
JOB No. 2609360 SHEET No. 1 OF 3

6359024

NOTE: SEE SHEET 3 FOR DETAIL OF UNITS 1, 2 AND 3, INCLUDING DIMENSION CALLS OF UNITS AND LIMITED COMMON ELEMENTS

PROPERTY DATA
SUBJECT PROPERTY-TRACT B

TRACT B
PLAT BOOK 631, PAGE 039
D.N. 1445,438

TRACT B AREA:
7,942 SQ. FT.± OR
0.182 ACRES±

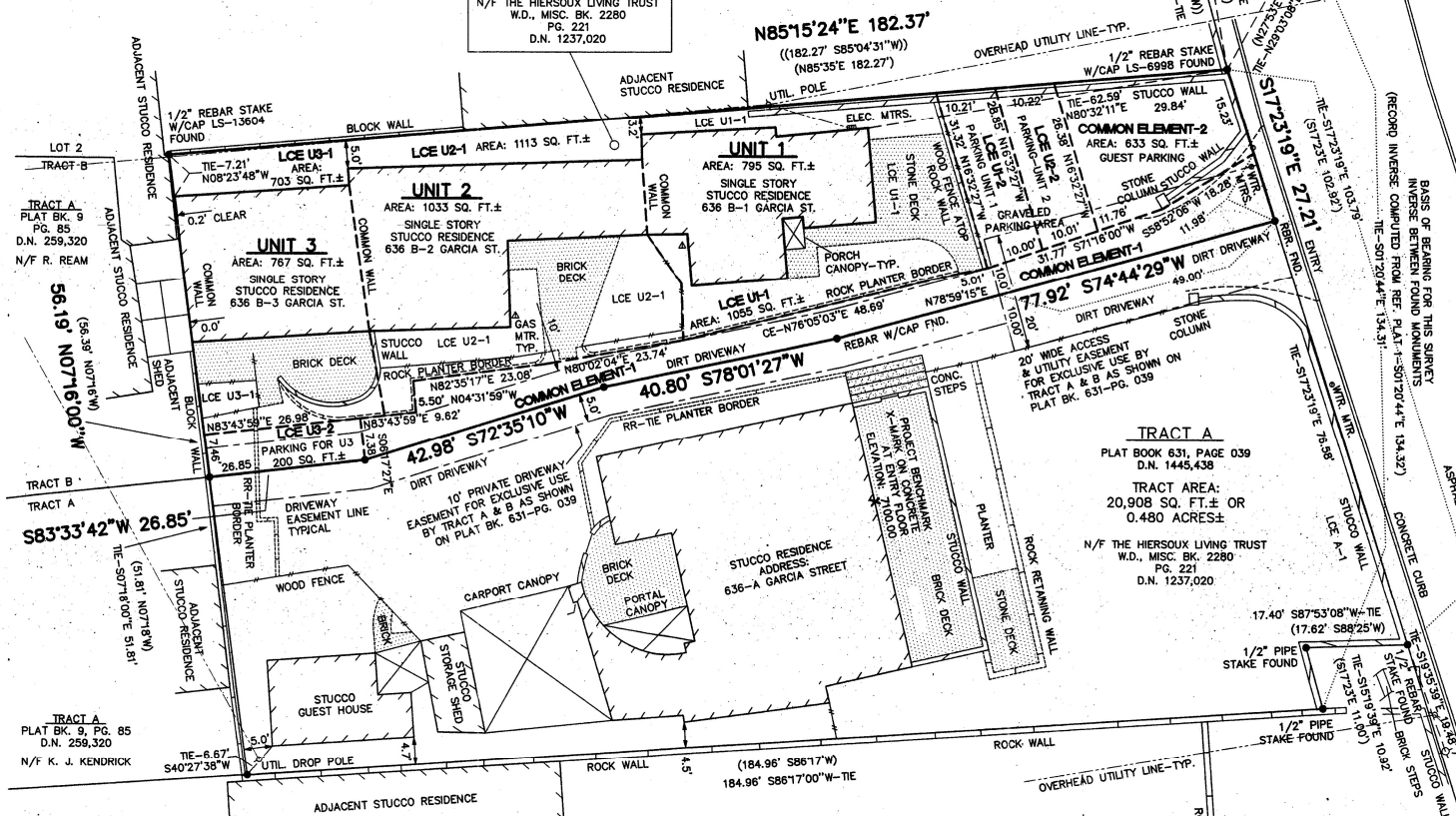
N/F THE HERSOUX LIVING TRUST
W.D., MISC. BK. 2280
PG. 221
D.N. 1237,020

LOT 2
PLAT BK. 459, PG. 028
D.N. 1135,406

N/F RUSSELL & JILL PLATT
DEED, MISC. BK. 1384, PG. 105

LOT 2
PLAT BK. 459, PG. 028
D.N. 1135,406

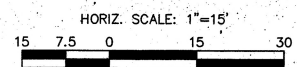
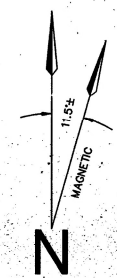
N/F RUSSELL & JILL PLATT
DEED, MISC. BK. 1384, PG. 105



TRACT A
PLAT BOOK 631, PAGE 039
D.N. 1445,438

TRACT AREA:
20,908 SQ. FT.± OR
0.480 ACRES±

N/F THE HERSOUX LIVING TRUST
W.D., MISC. BK. 2280
PG. 221
D.N. 1237,020



- LEGEND**
- POINTS FOUND
 - ⊙ POINTS SET
 - ⊙ REBAR W/CAP STAMPED "13604"
 - POINTS COMPUTED NOT SET

SHEET 2 OF 3

ARMUJO SURVEYS INC.
PAUL A. ARMUJO N.M.P.S. NO. 13604
PMB 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505
PH. (505) 471-1955 FAX. (505) 471-1925

FIRST AMENDMENT TO PLAT OF SURVEY PREPARED FOR THE HERSOUX LIVING TRUST AND 636 GARCIA STREET COMPOUND

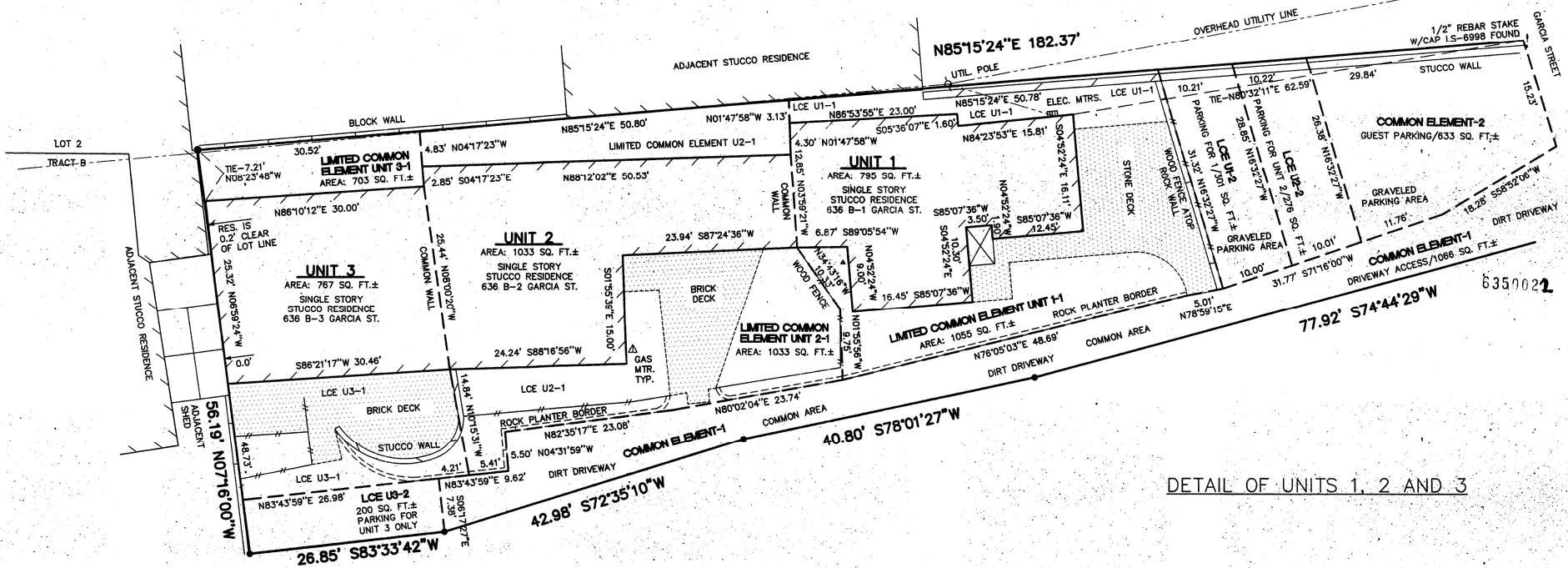
DRAWN BY P.A.A. DATE SEPT. 2006
JOB No. 2609360 SHEET No. 2 OF 3

NOTES-SHEET 2

1. SEE SHEET NO. 1 FOR REFERENCE DOCUMENTS AND CERTIFICATION.
2. DATA IN 1-PARENTHESES "()" TAKEN FROM REFERENCE DOCUMENT NO 1.
3. DATA IN 2-PARENTHESES "(())" TAKEN FROM REFERENCE DOCUMENT NO 2.

DETAIL OF UNITS 1, 2 AND 3

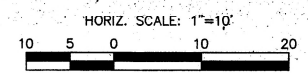
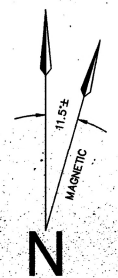
SFC CLERK PLAT BK./PG. NO.



DETAIL OF UNITS 1, 2 AND 3

TABLE OF ELEVATIONS OF HORIZONTAL BOUNDARY PLANES	
BUILDING COMMON ELEMENT LOWER HORIZONTAL BOUNDARY PLANE: 7097.00	
UNIT 1, LOWER HORIZONTAL BOUNDARY PLANE:	7097.80
UNIT 2, LOWER HORIZONTAL BOUNDARY PLANE:	7098.00
UNIT 3, LOWER HORIZONTAL BOUNDARY PLANE:	7098.40
UNIT 1, UPPER HORIZONTAL BOUNDARY PLANE:	7111.10
UNIT 2, UPPER HORIZONTAL BOUNDARY PLANE:	7110.90
UNIT 3, UPPER HORIZONTAL BOUNDARY PLANE:	7110.90
BUILDING COMMON ELEMENT UPPER HORIZONTAL BOUNDARY PLANE: 7113.00	
<p>TOP OF PARAPET IS UNIT UPPER HORIZONTAL BOUNDARY PLANE</p> <p>ROOF SYSTEM</p> <p>DROP CEILING</p> <p>EXTERIOR STUCCO IS UNIT PERIMETER</p> <p>UNIT BUILDING</p> <p>INTERIOR WALL</p> <p>X-MARK ON EAST FLOOR OF UNIT A IS BENCHMARK ELEVATION: 7100.00 FEET</p> <p>GROUND</p> <p>BOTTOM OF FOOTING IS UNIT LOWER HORIZONTAL BOUNDARY PLANE</p> <p>CONCRETE SLAB & FOOTING</p> <p>DETAIL NOT TO SCALE</p>	

TABLE OF AREAS	
TOTAL AREA OF CONDOMINIUM: 7,942 SQ. FT.±	
UNIT 1: 795 SQ. FT.±	LIMITED COMMON ELEMENT UNIT 1-1: 1055 SQ. FT.±
LIMITED COMMON ELEMENT UNIT 1-2 / PARKING: 301 SQ. FT.±	
UNIT 2: 1033 SQ. FT.±	LIMITED COMMON ELEMENT UNIT 2-1: 1113 SQ. FT.±
LIMITED COMMON ELEMENT UNIT 2-2 / PARKING: 276 SQ. FT.±	
UNIT 3: 767 SQ. FT.±	LIMITED COMMON ELEMENT UNIT 3-1: 703 SQ. FT.±
LIMITED COMMON ELEMENT UNIT 3-2 / PARKING: 200 SQ. FT.±	
COMMON ELEMENT-1 / DRIVEWAY: 1066 SQ. FT.±	
COMMON ELEMENT-2 / GUEST PARKING: 633 SQ. FT.±	
TRACT B AREA: 7,942 SQ. FT.± OR 0.182 ACRES±	



SHEET 3 OF 3

ARMJO SURVEYS INC.
 PAUL A. ARMJO N.M.P.S. NO. 13604
 P.M.B. 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505
 PH. (505) 471-1955 FAX. (505) 471-1925

FIRST AMENDMENT TO PLAT OF SURVEY PREPARED FOR THE HIERSOUX LIVING TRUST AND 636 GARCIA STREET COMPOUND

DRAWN BY P.A.A. DATE: SEPT. 2006
 JOB No. 2609360 SHEET No. 3 OF 3