



City of Santa Fe

# AGENDA

HISTORIC DISTRICTS REVIEW  
BOARD  
APRIL 09, 2024  
5:30 PM  
CITY COUNCIL CHAMBERS  
CITY HALL  
200 LINCOLN AVENUE

## PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at [www.youtube.com/@cityofsantafe](http://www.youtube.com/@cityofsantafe). The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Join on Zoom:** <https://santafenm-gov.zoom.us/j/81633973427>

**By Phone:** 301 715 8592

**Webinar ID:** 816 3397 3427

**Written Public Comment:** Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2 pm on the day of the hearing.

### 1. ROLL CALL

**2. APPROVAL OF AGENDA**

**3. APPROVAL OF MINUTES:**

- a. March 26, 2024

**4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

- a. 2024-007886-HDRB. 329 Otero St. (February 27, 2024)
- b. 2024-007828-HDRB. 465 Camino Manzano (February 27, 2024)
- c. 2023-007595-HDRB. 402 Don Gaspar Ave. (March 26, 2024)
- d. 2023-007596-HDRB. 406 Don Gaspar Ave. (March 26, 2024)
- e. 2023-007597-HDRB. 410 Don Gaspar Ave. (March 26, 2024)
- f. 2023-007598-HDRB. 414 Don Gaspar Ave. (March 26, 2024)

**5. MATTERS FROM THE PUBLIC**

**6. STAFF COMMUNICATIONS**

- a. 2024 Santa Fe Heritage Preservation Awards

**7. OLD BUSINESS**

**8. NEW BUSINESS**

- a. 2024-007993-HDRB. 528 Jose St. Westside-Guadalupe Historic District. Non-Contributing. Tiho Dimitrov, agent for Kate Carswell & Tim Schmoyer, owners, requests a status review with primary façade designations. (Ramón J. Sarason, [rjsarason@santafenm.gov](mailto:rjsarason@santafenm.gov))

- b. 2024-007992-HDRB. 711 Don Cubero Alley. Don Gaspar Historic District. Non-contributing. Landon Lott, owner, requests a status review with primary façade(s) designation. (Paul Duran, [paduran@santafenm.gov](mailto:paduran@santafenm.gov))
- c. 2023-006490-HDRB. 1596 Canyon Rd. Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,900 sq. ft. single-family residence with a 585 sq. ft. attached garage, 1,077 sq. ft. of portals, a 657 sq. ft. pergola and a freestanding 468 sq. ft. studio, 1,480 sq. ft. guest house with 739 sq. ft. of portals, and 550 sq. ft. detached garage, to the maximum allowable heights of 13'-10" and 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed. (Lani McCulley, [ljmculley@santafenm.gov](mailto:ljmculley@santafenm.gov) )
- d. 2023-006565-HDRB. 1600 Canyon Rd. Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,200 sq. ft. single family residence with 756 sq. ft. of portals, a 515 sq. ft. attached garage, and 460 sq. ft. pergola, and a freestanding 520 sq. ft. studio to the maximum allowable height of 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed. (Lani McCulley)
- e. 2024-007995-HDRB. 125 Duran St. Westside-Guadalupe Historic District. Contributing. Ezequiel Tena, agent for Amelia Robinson, owner, proposes to enclose an existing porch. Exceptions are requested to 14-5.2(D)(4) for the porch enclosure and to 14-5.2(D)(2)(d) for remodel within 10' of a primary façade. (Ramón J. Sarason) **POSTPONED**
- f. 2024-008010-HDRB. 723 Old Santa Fe Trail. Downtown and Eastside Historic District. Contributing. Christophe Eagleton, owner, proposes to replace a portal, add an overhangs at the back of the house, and construct a coyote fence. An exception is requested for the addition of a new portal to a primary facade 14-5.2(D)(2)(d). (Ramon Sarason, [rjsarason@santafenm.gov](mailto:rjsarason@santafenm.gov)) **POSTPONED**
- g. 2024-007994-HDRB. 1072 Camino San Acacio. Downtown and Eastside Historic District. Non-contributing. Jacob Kaltenback and Norah Tullman-

Kaltenbach, agents/owners, propose to construct a 79 sq. ft. addition to a height of 11'-4", 265 sq. ft. shed at a height of 11'-7" where the maximum allowable height is 16'-3", reconstruct an existing trellis, and relocate 6'-0" high interior yardwalls. (Lani McCulley)

9. **DISCUSSION ITEMS**
10. **MATTERS FROM THE BOARD**
11. **NEXT MEETING: Tuesday, April 23, 2024**
12. **ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.**

**SUMMARY INDEX**  
**HISTORIC DISTRICTS REVIEW BOARD**  
**MARCH 26, 2024**

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Approval of Minutes March 12, 2024	Approved	4
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<b>Old Business</b>		
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2023-007680-HDRB 128 Camino Santiago	Approved with Conditions	5-15
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Adjournment	9:18 pm	34

**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
MARCH 26, 2024 – 5:30 PM**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:36 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

**1. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Ms. Cecilia Rios, Chair  
Mr. Anthony Guida, Vice Chair  
Ms. Madeleine Aguilar Medrano  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu  
Ms. Amanda Mather (arrived via Zoom at 7:11 pm)

**MEMBERS ABSENT (EXCUSED)**

Mr. David Valdo

**STAFF PRESENT:**

Ms. Heather Lamboy, Assistant Land Use Director  
Mr. Frank Ruybalid, Assistant City Attorney  
Paul Duran, Senior Planner  
Lani McCulley, Senior Planner  
Amanda Romero, Historic Planner

**OTHERS PRESENT**

Melissa Byers, Stenographer

**NOTE: The Board packet for all agenda items is incorporated herewith by reference. The packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.**

## 2. APPROVAL OF AGENDA

Ms. Lamboy noted the following:

- Under Old Business, Items 7(a) and 7(b), new information was added to the packet regarding the yard wall.
- Under New Business, Item 8(a) is postponed because an appeal of the Board of Adjustment decision has been filed.
- Under New Business, Items 8(c) and 8(d), an updated building official's report was added to the packet.

**MOTION:** Member Guida moved, seconded by Member Aguilar Medrano, to approve the agenda, as amended.

**VOTE:** The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

## 3. APPROVAL OF MINUTES:

1. March 12, 2024

**MOTION:** Member Aguilar Medrano moved, seconded by Member Biedscheid, to approve the minutes of March 12, 2024.

**VOTE:** The motion passed by (3-0-1) roll call vote with Members Biedscheid, Bienvenu and Aguilar Medrano voting in favor, none voting against and Member Guida abstaining.

## 4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

- a. 2023-007222-HDRB. 123 and 135 Grant Ave (1/9/24)
- b. 2024-007730-HDRB. 1204 Canyon Rd. (2/13/24)

Member Bienvenu proposed revisions to Case 2023-007222.

**MOTION:** Member Bienvenu moved, seconded by Member Guida to approve the Findings of Fact and Conclusions of Law for Items (a) and (b), with amendments to Case 2023-007222.

**VOTE:** The motion passed by (3-0-1) roll call vote with Members Bienvenu, Guida, and Biedscheid voting in favor, none voting against and Member Aguilar Medrano abstaining.

## 5. MATTERS FROM THE PUBLIC

Richard Martinez said that someone put a camera on the bandstand. No one knows who put the camera up there. He doesn't know why the public wasn't involved in the decision making to put that camera. He asked why there was no discussion with the Board on this. He said there is no transparency in this administration about what's going on in the Plaza.

Raymond Herrera, 279 Hillside, said some of his constituents have contacted him on the guest house on Plaza Chamisal facing Acequia Madre. It's a slap to have a frame structure constructed, that is in bad taste. Also, on the corner of Coronado and Galisteo, the big house that was recently built, he asked how that got approved. It's on the corner and has a pitched roof and stands out like sore thumb.

Chair Rios said about the Plaza Chamisal guest house, she clarified that adobe is not required and regarding the house on Galisteo, that is not in a historic district.

Stefanie Beninato agreed that there is a lack of transparency. The camera on the Plaza is disturbing. She also said there's a construction permit for a fence at Don Gaspar and Burger; it's a low fence and does not have historic wiring. She talked about the floors at La Posada; a lot of the flooring is coming out and they are not trying to preserve those tiles which are 140 years old.

## 6. STAFF COMMUNICATIONS

Ms. Lamboy said as part of the Land Use Code Update it was decided by staff and the consultant that special attention will be given to the Historic District Review Ordinance. Chair Rios and Member Aguilar Medrano will be part of the discussion group. The tentative first meeting date will be April 17<sup>th</sup> at 5:30 pm.

## 7. OLD BUSINESS

Chair Rios explained the appeal process. She also stated that public comments would be limited to two minutes.

- a. **2023-007678-HDRB. 126 Camino Santiago.** Downtown & Eastside Historic District. Contributing. John Padilla, agent for Josh Gonzales, owner, propose to construct 2,301 sq. ft. of additions with a roof deck to a height of 13'-0" where the maximum allowable is 13'-3" and yard walls to the maximum allowable height of 6'-0". Exceptions are requested to 14-5.2 (D)(5)(a) for removal of historic doors and windows and 14-5.2(D)(2) (d) to exceed 50% of the historic footprint. (Lani McCulley)

## **BACKGROUND AND SUMMARY**

### Compound History:

Plaza del Monte, formerly the Plaza del Monte Retirement Center, is an approximately six-acre subdivision that is “L” shape and is bounded by Bishops Lodge Road on the east and Old Taos Highway on the west. The development has two roads, Camino Santiago and Camino Matias.

While several structures predate the center, the communal living center was originally developed for retired members of the Presbyterian Church starting in the late 1950s until 1977. The earliest plans by Clark and Register are for the buildings on the eastern portion of the development and were Spanish-Pueblo Revival in style. However, when Philippe Register took over the project in the 1960s, his designs evolved into a contemporary flat-roof structure with the use of canales, viga roof portales, and carport elements. In the mid-1960s Camino Santiago was extended and development of the western end of the development began. This is when Register chose to eliminate several freestanding houses on the plans and replace them with quad apartments. Once fully developed the compound consisted of 25 single family residences and 3 quad apartment structures. The apartments include the structures at 105, 125, and 126 Camino Santiago.

The Plaza del Monte landscape includes retaining walls, constructed of formed concrete or concrete and stone. The walls were built over several phases and the dates of construction are between 1950 and 1973. The walls were constructed to retain earth or to separate building pads.

Few of them rise above grade but some of the lots do have above-ground property line walls which are constructed of stucco-clad concrete masonry units. The retaining and property line walls appear to post-date the construction of their associated units. The retaining walls vary in height from 8” up to 38” though most are 20” in height. No property has front yard fencing. All fencing is a minimum of 10’ from the front property line. Those properties who have rear yard fencing the height is generally 5’-0”. Fences built on top of retaining walls or perimeter fences tend to be at 6’-0”. There are two sections of retaining wall with fencing that reaches 8’-0” between the compound and neighboring lots.

All structures in Plaza del Monte were assigned statuses under cases H-17-098A and H-19-019 in 2018 and 2019. In 2018, under case H-17-098B the residence and garage structures were requested to be demolished. Due to the contributing status of the residence and a lack of exception criteria, the residence demolition was denied. The garages were approved for demolition, but the owner at the time did not proceed with the demolition. Prior to this there are no known cases for the property.

Property Summary:

The residence at 126 Camino Santiago was constructed as part of the Plaza del Monte compound in 1966 and is listed as contributing to the Downtown and Eastside Historic District with the north elevation listed as the primary façade. Previously, the property was a 4,673 sq. ft. four-plex-family residence with a laundry room. It has now been divided into two individual residential structures as part of a subdivision that was created in 2022. The residence is now addressed as 126 Camino Santiago consists of the structures' 2,085 sq. ft. western end.

The quad apartment block at 126 Camino Santiago was designed with room block massing at the center of to act as a hood over the laundry and raised triangular party walls divide the sections and bookend the building and a viga portal was tacked on to the front façade. The layout is unique to the Plaza del Monte development because the other apartment structures have room block massing at the ends of the structure.

In February 2023, under case 2024-007794-HDRB the applicant was approved to demolish the garage and carport structure.

Now, the applicant proposes the following exterior alterations:

South Elevation:

1. A 1,237 sq. ft. garage/carport/bunkhouse structure to replace the previously demolished structure on the south of the property. This structure will house a roof deck on the top and exterior stairs with railing on the western end of the north façade.
2. A 211 sq. ft. addition to the rear of the residence that will connect the residence to the garage structure. An exception to Section 14-5.2(D)(2)(d) for constructing greater than 50% of the original footprint.
3. Demolition of the yard walls to the south of the existing residence.
4. Construct a 3'-0" high pedestrian gate on the eastern side of the garage to access the rear courtyard of the residence and create a separation between lots.
5. Construct a 6'-0" yard wall with pilasters along the southern property line.

West Elevation:

6. Install a door where one does not currently exist to access the courtyard on the western side of the structure.
7. Construct a 6'-0" high yard wall and vehicle gate on the south of the garages, running from the garage unit south to the lot line.

North Elevation:

8. Replace corner windows and entrance door in-kind within the existing openings. An exception to Section 14-5.2(D)(5)(b) to remove historic materials is requested.
9. Infill windows and apartment and mechanical access doors, an exception to Section 14-5.2(D)(5)(a) to alter openings on a primary façade of a contributing building is requested.
10. Construct a yard wall varying in height from 4'-0" to 5'-0" with 6'-0" high round conical pilasters on either side of the 5'-0" pedestrian gate and windows.
11. This yard wall continues along the north and west of the property and consists of an interior yard wall with pedestrian gate on the west of the property that divides the yard into two courtyards.

East Elevation:

12. Construct a 487 sq. ft. portal in the interior courtyard.

The applicant presented the initial design of this application on February 13, 2024. The HDRB requested a redesign of the additions and yard walls noting that the yard walls should be lower or have fenestration so that the primary façade would not be blocked, should not connect to the primary façade, and be less foreboding, that there should be a visual separation between the house and the garage, and that the overall south elevation of the garage be more sympathetic to the contributing structure.

The applicant has made design changes to follow the directions from the previous hearing. These changes include:

South Elevation:

Designed garages with varying heights for each section to break up the parapet line.

Designed the garage with party walls to break up the singular parapet and mimic the party walls of the residence.

Set the garage doors further back in the door opening to create a shadowing effect.

West Elevation:

Designed the addition connecting the residence to the garage unit to step in to the east to break up the singular mass of the building and make a clear distinction between the main residence and the garage unit.

Yardwalls:

Lowered the yard walls from 6'-0" to varying heights from 4'-0" to 5'-0".

Removed the square pilasters to soften the flow of the wall.

Designed the pilasters at the gate to be rounded conical at 6'-0".

The yard wall has window openings with wood slates.

**Summary of square footage:**

Existing roofed area including portals: 2,085 sq. ft.

Proposed additions: 467 sq. ft.

Proposed attached garages: 745 sq. ft.

Proposed attached Guesthouse: 1,037 sq. ft.

Proposed portal: 150 sq. ft.

Total additions: 2,399 sq. ft. or 115 % of the original footprint

**STAFF RECOMMENDATION**

Staff finds that all exception criteria have been met and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Member Guida requested that the following case be presented at this time.

- b. **2023-007680-HDRB. 128 Camino Santiago.** Downtown & Eastside Historic District. Contributing. John Padilla, agent for Onesimo Vigil, owner, proposes to construct 2,142 sq. ft. of additions to a height of 13'-0" where the maximum allowable is 13'-3" and yard walls to the maximum allowable height of 6'0". Exceptions are requested to 14-5.2 (D)(5)(a) for removal of historic doors and windows and 14-5.2(D)(2)(d) to exceed 50% of the historic footprint. (Lani McCulley)

**BACKGROUND AND SUMMARY**

Compound History:

Plaza del Monte, formerly the Plaza del Monte Retirement Center, is an approximately six-acre subdivision that is "L" shape and is bounded by Bishops Lodge Road on the east and Old Taos Highway on the west. The development has two roads, Camino Santiago and Camino Matias.

While several structures predate the center, the communal living center was originally developed for retired members of the Presbyterian Church starting in the late 1950s until 1977. The earliest plans by Clark and Register are for the buildings on the eastern portion of the development and were Spanish-Pueblo Revival in style. However, when Philippe Register took over the project in the 1960s, his designs evolved into a contemporary flat-roof structure with the use of canales, vigar roof portales, and carport elements. In the mid-1960s Camino Santiago was extended and development of the western end of the development began. This is when Register chose to eliminate several freestanding

houses on the plans and replace them with quad apartments. Once fully developed the compound consisted of 25 single family residences and 3 quad apartment structures. The apartments include the structures at 105, 125, and 126 Camino Santiago.

The Plaza del Monte landscape includes retaining walls, constructed of formed concrete or concrete and stone. The walls were built over several phases and the dates of construction are between 1950 and 1973. The walls were constructed to retain earth or to separate building pads.

Few of them rise above grade but some of the lots do have above-ground property line walls which are constructed of stucco-clad concrete masonry units. The retaining and property line walls appear to post-date the construction of their associated units. The retaining walls vary in height from 8" up to 38" though most are 20" in height. No property has front yard fencing. All fencing is a minimum of 10' from the front property line. Those properties who have rear yard fencing the height is generally 5'-0". Fences built on top of retaining walls or perimeter fences tend to be at 6'-0". There are two sections of retaining wall with fencing that reaches 8'-0" between the compound and neighboring lots.

All structures in Plaza del Monte were assigned statuses under cases H-17-098A and H-19-019 in 2018 and 2019. In 2018, under case H-17-098B the residence and garage structures were requested to be demolished. Due to the contributing status of the residence and a lack of exception criteria, the residence demolition was denied. The garages were approved for demolition, but the owner at the time did not proceed with the demolition. Prior to this there are no known cases for the property.

#### Property Summary:

The residence at 128 Camino Santiago was constructed as part of the Plaza del Monte compound in 1966 and is listed as contributing to the Downtown and Eastside Historic District with the north elevation listed as the primary façade. Previously, the property was a 4,673 sq. ft. fourplex-family residence with a laundry room. It has now been divided into two individual residential structures as part of a subdivision that was created in 2022. The residence now addressed as 128 Camino Santiago is the eastern side of the previous four-plex and is 2,588 sq. ft. The property also has low yard wall constructed of rock that is listed as contributing.

The quad apartment block at 128 Camino Santiago was designed with room block massing at the center of to act as a hood over the laundry and raised triangular party walls divide the sections and bookend the building and a viga portal was tacked on to the front façade. The layout is unique to the Plaza del Monte development because the other apartment structures have room block massing at the ends of the structure.

The rock wall at 128 Camino Santiago is erected next to a concrete walkway and is approximately 32" measured from the sidewalk to the top of wall. It is constructed of non-

reinforced concrete, mixed with heavy stones most likely taken from the adjacent arroyo. The short wall is capped with puddled concrete. The wall runs along the east of the structure to the north and turns to the west along the north of the residence.

In February 2023, under case 2024-007794-HDRB the applicant was approved to demolish the garage and carport structure to the south of the residence. Now, the applicant proposes the following exterior alterations:

South Elevation:

1. A 1,391 sq. ft. garage/storage structure to replace the previously demolished structure on the south of the property.
2. A 949 sq. ft. addition to the rear of the residence that will connect the residence to the garage structure. An exception to Section 14-5.2(D)(2)(d) for the 50% footprint rule for the total of 2,340 sq. ft. of additions is requested.
3. Construct a 200 sq. ft. freestanding carport to the east and south of the garage structure.
4. Demolish the yard walls to the south of the existing residence.
5. Install a 5'-0" high yard wall to the east to connect the garage structure to the residence and create a courtyard.
6. Construct a 5'-0" yard wall along the eastern side of the garage to connect to the western corner of the carport.
7. Construct a 6'-0" yard wall at the southern property line.

East Elevation:

8. Install a window where one does not currently exist in the eastern elevation of the structure.
9. Construct a 427 sq. ft. portal in the courtyard.

North Elevation:

10. Replace corner windows and entrance door in-kind within the existing openings. An exception to Section 14-5.2(D)(5)(b) to remove historic materials is requested.
11. Infill windows and apartment and mechanical access doors, an exception to Section 14-5.2(D)(5)(a) to alter openings on a primary façade of a contributing building is requested.
12. Construct a yard wall varying in height from 4'-0" to 5'-0" with 6'-0" high round conical pilasters on either side of the 5'-0" pedestrian gate and windows.

The applicant presented the initial design of this application on February 13, 2024. The HDRB requested a redesign of the additions and yard walls noting that the yard walls should be lower or have fenestration so that the primary façade would not be blocked, should not connect to the primary façade, and be less foreboding, that there should be a visual separation between the house and the garage, and that the overall south elevation of the garage be more sympathetic to the contributing structure.

The applicant has made design changes to follow the directions from the previous hearing. These changes include:

South Elevation:

Designed garages with varying heights for each section to break up the parapet line.  
Designed the garage with party walls to break up the singular parapet and mimic the party walls of the residence.  
Set the garage doors further back in the door opening to create a shadowing effect.

Yardwalls:

Lowered the yard walls from 6'-0" to varying heights from 4'-0" to 5'-0".  
Removed the square pilasters to soften the flow of the wall.  
Designed the pilasters at the gate to be rounded conical at 6'-0".  
The yard wall has window openings with wood slates.

**Summary of square footage:**

Existing roofed area including portals: 2588 sq. ft.  
Proposed additions: 785 sq. ft.  
Proposed attached garage: 1391 sq. ft.  
Proposed portal: 427 sq. ft.  
Total additions: 2,603 sq. ft. or 100.5% of the existing historic footprint for this address

**STAFF RECOMMENDATION**

Staff finds that all exception criteria have been met and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked Ms. McCulley why the applicant wants to infill. There appears to be a lot of doors and perhaps they were using this as something different.

Ms. McCulley said this is going from multifamily to single family. Right now, there are two entrances and they only want one.

**APPLICANT PRESENTATION**

John Padilla, PO Box 22986, Santa Fe, was sworn. He said he was back with modifications to the plan consistent with considerations from the Board that were discussed at the last meeting. He displayed renderings of what is being proposed which are attached as Exhibit "1".

Member Guida said he appreciates the degree to which the applicant took to incorporate the recommendations of the Board. He asked about the height of the roof deck and the doors and if those could be brought down.

Mr. Padilla said that is possible and could be a condition of approval.

### **PUBLIC COMMENTS:**

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn. She asked about hardship and how it is defined. She said the wall in front looks shorter than four feet.

John Eddy, 14 Avenida Campo Verde, Santa Fe, was sworn. He still shares the concern about height. He also thinks the walls are too high.

Chair Rios asked the height of the walls.

Mr. Padilla said a good portion of walls are four feet high. The applicant is willing to drop to four feet as much as possible to make it more appealing.

### **BOARD DISCUSSION/ACTION**

Member Guida asked for clarification on the windows and doors.

Mr. Padilla said the windows are being replaced in kind so they look exactly as they were before. The window that appears in the rendering is a double casement.

Member Guida asked if windows are beyond repair.

Mr. Padilla said they could be serviced. The project has been abandoned for going on five years which could cause the operation of those windows to be compromised. If a condition of approval is to repair, they would be happy to do that.

Member Biedscheid asked how tall the yard wall is at the back.

Mr. Padilla said the proposed courtyard wall is 6 feet. A wall of five feet would be acceptable.

Member Biedscheid said the addition of the walls makes the façade seem different. She suggested bringing them down at least to five. She said the primary façade is the north, it really doesn't fit the street scape because the walls are out of character.

Mr. Padilla said a five-foot wall would be acceptable. There is a possibility of introducing pilasters, four or five foot, so it's not one continuous wall

**MOTION:** In Case 2023-007678-HDRB, 126 Camino Santiago, Member Guida moved to approve the project as submitted, finding that the exception criteria have been met and adding the following conditions of approval: on the north

primary façade, the existing steel casement windows be retained and repaired as part of the project; the entry door be a reuse of the existing wood door, that it be repaired; require that the applicant submit to staff the selection of new windows to be used throughout the project that are compatible with the appearance and light division of the existing historic windows with thin muntins and thin frames; that the height of the bunk house and garage be lowered by at least one foot preferably a foot and a half to two feet; and the walls and gate around the vehicular court be reduced from six feet to five feet and that the applicant also incorporate pilasters similar to those being used on the front yard walls.

Member Biedscheid seconded the motion and asked that there be discussion on the front yard walls. She would want them to be as low as possible so the front façade can be seen. She preferred no wall, but if there is a wall that it be four feet or some other design that allows more of what makes this building special to be seen.

Member Guida suggested and accepted as friendly that the applicant reduce the front yard walls a little further in height, retaining the multiple height aspect, to 3 ½ to 4 ½ feet.

Mr. Padilla said there's a point of diminishing returns when trying to lower the wall. The idea of the wall is for security and maintaining a front yard. He didn't feel comfortable agreeing to a 3 ½ foot wall. He's happy with incorporating a four-foot wall. He's happy to agree to five feet in the back motor court wall. There's nothing that states they can't do yard walls and to limit the applicant to a 3 ½ foot yard wall would be the wrong precedence to set.

Member Guida reiterated that the friendly amendment was to request that the applicant reduce the height of the wall to a range of 3½ to 4½ feet.

Member Biedscheid said that was reasonable. She said Monte del Sol is a gated community, so the security risk is minimized in that respect. It's also not a well-traveled street and her main concern is that if the Board allows five- or six-foot walls on this property, there's many more to come. It changes the whole nature of this streetscape, the way it relates to each other now it was designed for those buildings to interact with one another and the spaces around them. That is beginning to be lost with this project.

Member Bienvenu asked for a friendly amendment on the back wall which would be that in addition to the pilasters that there also be a modulation of the wall height and that there also be setbacks every 50 feet minimum, with

a minimum of one foot every 50 feet of linear length both of which are consistent with the fence guidelines.

Member Guida accepted the amendment as friendly.

Member Guida asked that the applicant update the drawings and submit to staff for final approval,

**VOTE:** The motion passed by (4-0) roll call vote with Members Guida, Aguilar Medrano, Biedscheid and Bienvenu, voting in favor and none voting against.

**MOTION:** In Case 2023-007680-HDRB, 128 Camino Santiago, Member Guida moved to approve the application as submitted noting that the exception criteria have been met, and added the following conditions of approval: that the existing windows that are to remain on the primary facade and doors be retained as the original and repaired and not replaced; that the new windows that are part of the proposal elsewhere, other than the primary façade, be sympathetic in style and appearance to the historic windows with thin muntins and thin frames; that the height of the garage addition to the south be reduced in height at least one foot and preferably 1½ to two feet in overall height; that the vehicular courtyard wall that's associated with 128 be reduced in height from six feet to five feet; that pilasters be incorporated and that the offsets and modulation of the wall be as recommended by Member Bienvenu also be incorporated into the design; that the front yard wall, that the overall design of stepping heights and rounded pilasters be retained, but that the overall height be reduced from four and five feet to 3½ to 4½ feet; and that the applicant submit to staff updated drawings and window selection for final approval. Member Biedscheid seconded the motion.

**VOTE:** The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu, Guida, voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at <https://www.youtube.com/watch?v=fF7ZEywAor0> (21:45 - 1:15:13)

## 8. NEW BUSINESS

- a. **2024-007940-HDRB. 1030 ½ Houghton St.** Don Gaspar Area Historic District. Non-contributing. Jeffery Seres, agent for Francesca Banci, owner, requests status review and primary facades. (Ramon Sarason)

This item was postponed.

- b. **2024-007941-HDRB. 1239 Cerro Gordo Rd.** Downtown and Eastside Historic District. Non-contributing. Käthe Steck, owner, requests a status review with primary façade(s) designation. (Paul Duran)

### **BACKGROUND AND SUMMARY**

1239 Cerro Gordo Road is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure was constructed in the mid to late 1970s on a 0.18-acre lot and is 1,649-square feet. The house is built in the Pueblo Revival style and constructed from wood frame and with a flat square roof. The exterior of the building has rounded fenestrations throughout the building's facades. The structure has divided lite windows with the divides in "white" and "adobe brown" cementitious stucco. Given that the structure underwent extensive renovations in the early 2000s, the historic footprint of the home is no longer legible.

Staff recommends the historic status of the structure remain non-contributing.

### **STAFF RECOMMENDATION**

Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

### **APPLICANT PRESENTATION**

Käthe Steck and Brian Taylor, 1239 Cerro Gordo, Santa Fe, were sworn in. They agreed with staff's recommendation and did not have anything further to add.

### **PUBLIC HEARING**

No public comment.

### **BOARD DISCUSSION/ACTION**

**MOTION:** In Case 2024-007941-HDRB, 1239 Cerro Gordo Rd., Member Bienvenu moved, consistent with staff's recommendation and the record, that the structure be maintained as non-contributing. The motion was seconded by Member Aguilar Medrano.

**VOTE:** The motion passed by (4-0) roll call vote with Members Biedscheid and Bienvenu, Guida, Aguilar Medrano, voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at <https://www.youtube.com/watch?v=fF7ZEywAor0> (1:15:13 – 1:23:13)

- c. **2023-007592-HDRB. 128 S. Capitol St.** – Motor Pool and Garage Buildings. Downtown and Eastside Historic District. Non-Contributing. Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the motor pool and garage buildings. (Heather Lamboy)

### **BACKGROUND AND SUMMARY**

The current request for the demolition review of 128 S. Capitol Street is part of a larger project with forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows: *Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The HDRB has the authority to review and determine the historic status of structures within the historic districts per 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts. Please note that there is a section in the Code as it specifically relates to State Capital Outlay projects. Relative to demolition, Section 14-5.2(M)(4) states the following:

**(4) Demolition of Historic and Landmark Structures; Minimum Maintenance Requirements**

- (a) *A request for demolition of an historic or landmark structure shall include the report required in Section 14-3.14(C) and follow the standards set forth in Section 14-3.14(G). If there is a disagreement as to demolition, the procedures set forth in Section 3-22-6(G) NMSA 1978 shall be followed.*
- (b) *The minimum maintenance requirements for historic or landmark structures set forth in Subsection 14-5.2(B) shall be met.*

The fleet building is of a clear Territorial-Revival style, and the garage is a modernist utilitarian structure. At the May 9, 2023 HDRB, the Board designated these buildings as non-contributing.

Furthermore, the buildings do not contribute to a unique street section along Galisteo Street.

The buildings associated with the fleet functions of the campus do not add to historic associations or historic design qualities that are significant for the Downtown & Eastside Historic District.

At the May 9, 2023 hearing, the Historic Districts Review Board designated these buildings as contributing, with the north elevation and the west courtyard elevations being primary. The HDRB found the north elevation conveys shifted massing and fenestration, the west courtyard elevation due to its design features and relationship to the courtyard. The courtyard wall was also designated as contributing.

On January 18, 2024 the applicant held a community meeting to discuss the proposed demolition of the subject building as well as all other building demolition requests in the subject block requested in order to accommodate the new construction of a State Executive Office Building. Many of those who commented expressed concern for the loss of the historic buildings in the streetscape, including the four bungalows located to the east of the subject site. It should be noted that the building focused on the demolition requests and very little was discussed as to how the streetscape would be established with the proposed new construction.

It was made clear that the current applicant is not associated with the new building's design.

It has been determined that, even though the issue of how the streetscape would be reestablished with new construction has not been addressed, the demolition requests would be heard first to determine what the potential streetscape may be given approvals or denials of this and the related requests.

### **STAFF RECOMMENDATION**

Staff recommends approval of the proposed demolition of the fleet and garage buildings at 128 S. Capitol and finds that they do not contribute to a unique street section or streetscape and because they are listed as non-contributing to the Downtown and Eastside Historic District.

- d. **2023-007593-HDRB. 130 S. Capitol St.** Downtown and Eastside Historic District. Contributing. Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the Concha Ortiz y Pino building. Exceptions requested to Section 14-5.2(D)(1)(a), Loss of Historic Status, Sections 14-5.2(M)(3)(b) and 14-5.2(M)(4) Status and Demolition of Historic Structures with State Capitol Outlay Projects. (Heather Lamboy)

### **BACKGROUND AND SUMMARY**

The current request for the demolition review of 130 S Capitol Street is part of a larger project with forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows:

*Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The HDRB has the authority to review and determine the historic status of structures within the historic districts per 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts and this building was determined to be contributing to the Downtown and Eastside Historic District in May of 2023. Please note that 14-5.2(M) in the Code specifically relates to State Capital Outlay projects. Relative to demolition, Section 14-5.2(M)(4) states the following:

**(4) Demolition of Historic and Landmark Structures; Minimum Maintenance Requirements**

- (a) *A request for demolition of an historic or landmark structure shall include the report required in Section 14-3.14(C) and follow the standards set forth in Section 14-3.14(G). If there is a disagreement as to demolition, the procedures set forth in Section 3-22-6(G) NMSA 1978 shall be followed.*
- (b) *The minimum maintenance requirements for historic or landmark structures set forth in Subsection 14-5.2(B) shall be met.*

The building at 130 S. Capitol Street represents the evolution of the state government campus.

Between 1895 and 1900, the original Capitol building, now the Bataan Memorial Building, was designed E.S. Jennison and was remodeled in 1903 by Isaac Rapp I of Rapp and Rapp in the neoclassical style that is extant in parts of the building today. The Concha Ortiz y Pino Building represents the next phase of the Capitol campus evolution, where architect Willard C. Kruger filtered traditional New Mexico architecture through a modernist lens. In 1957 the City of Santa Fe adopted a "Historic Styles" ordinance, which called for buildings to be built in the Old or Recent Santa Fe Style. Because the building was associated with the State of New Mexico government campus, it was determined that the buildings would be exempt from the ordinance.

The Concha Ortiz y Pino building, which was built in 1968, blends modernism with traditional Territorial-Revival architectural style. While there is a Territorial-Revival brick coping, the larger building blocks and long lines convey a more modernist style. An ashlar stone base at the portal and decorative concrete cutouts strengthens the modernist approach.

The original footprint of the building remains.

The Concha Ortiz y Pino building replaced approximately a block of traditional bungalows which are characteristic of the Don Gaspar Historic District. While this project is situated in the Downtown & Eastside Historic District, the historic development pattern for this portion of town better aligns with the Don Gaspar Historic District, whose northernmost boundary is across Paseo de Peralta to the south.

At the May 9, 2023, hearing of the Historic Districts Review Board (HDRB) designated this building as contributing to the Downtown and Eastside Historic District, with the north elevation and the west courtyard elevations being primary. The HDRB designated these elevations as primary because the north elevation conveys shifted massing and fenestration, and the west courtyard elevation due to its design features and relationship to the courtyard. The courtyard wall was also designated as contributing.

On January 18, 2024, the applicant held a community meeting to discuss the proposed demolition of the Concha Ortiz y Pino Building, as well as all other building demolition requests in the S. Capitol Street, Don Gaspar Avenue, and Galisteo Street, to accommodate the new construction of a State Executive Office Building. Many of those who commented expressed concern for the loss of the historic buildings in the streetscapes, including the four bungalows located to the east of the subject site. It should be noted that the community meeting focused on the demolition requests and very little was discussed as to how the streetscape would be established with the proposed new construction. It was made clear that the current applicant is not associated with the new building design.

It has been determined that, even though the issue of how the streetscape would be reestablished with new construction has not been addressed, the demolition requests would be heard first to determine what the potential streetscape may be given approvals or denials of this and the related requests.

### **STAFF RECOMMENDATION**

Staff does not recommend approval for the proposed demolition of the Concha Ortiz y Pino Building due to its contributing status and finds the criteria in Section 14-5.2(M)(4) which addresses approval for demolition of historic and landmark structures have not been met.

- e. **2023-007595-HDRB. 402 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a duplex) and garage. Exceptions requested to Section 14-5.2(D)(1)(a), Loss of Historic Status, Sections 14-5.2(M)(3)(b) and 14-5.2(M)(4) Status and

Demolition of Historic Structures with State Capitol Outlay Projects.  
(Heather Lamboy)

**BACKGROUND AND SUMMARY**

The current request proposed demolition of 402 Don Gaspar Ave is part of a larger project associated with the construction of a new State Executive Office Building, which will be part of forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows:

*Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The applicant previously stated as part of the historic status hearing held on May 9, 2023 that the four casitas located on Don Gaspar, of which 402 Don Gaspar is one, are out of context within that portion of the Don Gaspar streetscape. Staff has stated to the applicant that the casitas represent a remnant streetscape and is a pertinent reminder of the history of the area and the changes associated with the growth of the State Capitol campus.

Section 14-5.2(M)(3)(b) states, "State capital outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2." The proposed demolition will cause this structure to lose the historically contributing status that was designated at the May 9, 2023, HDRB meeting.

The office building, formerly a residential duplex, at 402 Don Gaspar Ave was built prior to 1948 and is constructed of pentile and has a stucco finish. The building has been poorly maintained since the designation of the structure when it was designated a historic status of significant by the HDRB in June 2012 and is in fair condition. The building was downgraded to contributing to the Downtown and Eastside Historic District in May of 2023. The code-required minimum maintenance standards have not been met (Section 14-5.2(B) SFCC 1987), which is also referenced in the demolition criteria in Section 14-5.2(M)(4)(b).

The definition of a contributing structure is as follows:

*A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.*

## **STAFF RECOMMENDATION**

Staff does not recommend approval for the proposed demolition of the historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in Section 14-5.2(M) (which references the criteria stated in Section 3.14(G)), demolition of historic and landmark structures).

- f. **2023-007596-HDRB. 406 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence) and garage. Exceptions requested to Section 14-5.2(D)(1)(a), Loss of Historic Status, Sections 14-5.2(M)(3)(b) and 14-5.2(M)(4) Status and Demolition of Historic Structures with State Capitol Outlay Projects. (Heather Lamboy)

## **BACKGROUND AND SUMMARY**

The current request for demolition of 406 Don Gaspar Ave is part of a larger project with forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows:

*Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The applicant has stated as part of the historic status hearing held on May 9, 2023 that the casitas located on Don Gaspar are out of place in that portion of the Don Gaspar streetscape.

Staff has stated to the applicant that the casitas represent a remnant streetscape and is a pertinent reminder of the history of the area and the changes associated with the growth of the State Capitol campus.

The definition of a contributing structure is as follows:

*A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.*

Section 14-5.2(M)(3)(b) states, “State capital outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2.” The proposed demolition will cause this structure to lose the historically contributing status that was designated at the May 9, 2023, HDRB meeting.

The original footprint of the building remains. As illustrated by the building’s existence on the 1930 Sanborn Map and not on the 1921 Sanborn Map, the building was constructed between 1921 and 1930. The single-family residential structure and associated garage at 406 Don Gaspar Ave is constructed of pentile with a stucco finish in the Spanish Revival style with a floorplan typical of the bungalows at the time. It is characterized by divided-lite windows; two smaller windows flank the fireplace on the south elevation. Additionally, as is typical of many bungalows, the building has a basement. The building has been poorly maintained since the designation of the structure as significant in June 2012 and is in fair condition. The code required minimum maintenance standards have not been met (Section 14-5.2(B) SFCC 1987).

The office building represents a remnant of the Anglo-American development pattern that has since been altered by the state capitol campus. This remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar and South Capitol area.

### **STAFF RECOMMENDATION**

Staff does not recommend approval for the proposed demolition of the historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in Section 14-5.2(M) (which references the criteria stated in Section 3.14(G), demolition of historic and landmark structures).

- g. **2023-007597-HDRB. 410 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the of the office building (previously a residence) and garage.Exceptions requested to Section 14-5.2(D)(1)(a), Loss of Historic Status, Sections 14-5.2(M)(3)(b) and 14-5.2(M)(4) Status and Demolition of Historic Structures with State Capitol Outlay Projects. (Heather Lamboy)

### **BACKGROUND AND SUMMARY**

The current request for the demolition of 410 Don Gaspar Ave is part of a larger project with forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows:

*Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The applicant has stated as part of the historic status hearing held on May 9, 2023 that the casitas located on Don Gaspar are out of place in that portion of the Don Gaspar streetscape.

Staff has stated to the applicant that the casitas represent a remnant streetscape and is a pertinent reminder of the history of the area and the changes associated with the growth of the State Capitol campus.

The definition of a contributing structure is as follows:

*A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.*

Section 14-5.2(M)(3)(b) states, "State capital outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2." The proposed demolition will cause this structure to lose the historically contributing status that was designated at the May 9, 2023, HDRB meeting.

The original footprint of the building remains. As illustrated by the building's existence on the 1930 Sanborn Map and not on the 1921 Sanborn Map, the building was constructed between 1921 and 1930.

The single-family residential structure and associated garage at 410 Don Gaspar Ave is constructed of pentile with a stucco finish in the Territorial Revival style with a floorplan typical of the bungalows at the time. It is characterized by divided-lite windows; and two smaller windows flank the fireplace on the south elevation. Additionally, as is typical of the bungalows of the time, the building has a basement. The building has a smaller Territorial-Revival Style porch, which is smaller than the adjacent building to the north at 406 Don Gaspar Ave and the structure has an additional stepback on the north elevation. Furthermore, there is no porch on the south elevation in contrast to 406 Don Gaspar. There was a concerted effort to differentiate the homes on the block to provide better urban character. The building has been poorly maintained since the designation of the

structure as significant in June 2012 and is in fair condition. The code-required minimum maintenance standards have not been met (Section 14-5.2(B) SFCC 1987).

The office building, which is formally a residence, represents a remnant of the Anglo-American development pattern that has since been altered by the state capitol campus. This remnant helps to tell the story of how the state buildings transformed the urban pattern on the border of the Don Gaspar and South Capitol areas.

The aerial from 1957 illustrates how the State Capitol complex disrupted the neighborhood patterns of the Don Gaspar neighborhood, which started to develop to the north of the current Paseo de Peralta. One can see the development of a grid block pattern and detached single-family houses both within the block under consideration as well as across Don Gaspar at the site of the current Capitol building. The construction of the Paseo de Peralta divided this and adjacent bungalows from the Don Gaspar neighborhood.

### **STAFF RECOMMENDATION**

Staff does not recommend approval for the proposed demolition of the historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in Section 14-5.2(M) (which references the criteria stated in Section 3.14(G), demolition of historic and landmark structures).

- h. **2023-007598-HDRB. 414 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing. Jennifer Jenkins, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence). Exceptions requested to Section 14-5.2(D)(1)(a), Loss of Historic Status, Sections 14-5.2(M)(3)(b) and 14-5.2(M)(4) Status and Demolition of Historic Structures with State Capitol Outlay Projects. (Heather Lamboy)

### **BACKGROUND AND SUMMARY**

The current request for the demolition of 414 Don Gaspar Ave is part of a larger project with forthcoming requests that are subject to 14-5.2(M), State Capital Outlay Projects, which states its purpose as follows:

*Recognizing the fragility of the City's historic heritage, the purpose of Subsection 14-5.2(M) is to activate the procedure established in Section 3-22-6 NMSA 1978 under which the City and the State will collaborate in good faith and work jointly to preserve and protect the historic districts in Santa Fe as well as contributing, significant, and landmark structures.*

The applicant, in their application, has pointed to the casitas located on Don Gaspar as out of place with the streetscape. Staff has stated to the applicant that the casitas

represent a remnant streetscape and is a pertinent reminder of the history of the area and the past streetscape. Further, the applicant is in essence requesting that a historic status downgrade be granted. However, this request works contrary to the collaborative, good faith and joint work to protect the historic districts as is stated as the intent of (M) in that the project is already intending for contributing and significant structures to lose their status.

The definition of a contributing structure is as follows:

*A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.*

This structure represents the southernmost building of three bungalows with identical floorplans that were constructed prior to 1930. The original footprint of the building remains.

As illustrated by the building's existence on the 1930 Sanborn Map and not on the 1921 Sanborn Map, the building was constructed between 1921 and 1930.

The single-family structure and associated garage at 414 Don Gaspar Ave was constructed of pentile with a stucco finish in the Territorial Revival style with a floorplan typical of the bungalows at the time. The building and the fireplace has brick coping. It is characterized by divided-lite windows; and as typical of bungalows of the time, two smaller windows flank the fireplace on the south elevation. Additionally, the building has a basement. The building has a porch with a small sitting area on the south elevation. There was a concerted effort to differentiate the homes on the block to provide better urban character. There is a decorative brick driveway; however, the associated garage has been demolished.

Section 14-5.2(M)(3)(b) states, "State capital outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2." The proposed demolition will cause this structure to lose the historically contributing status that was designated at the May 9, 2023, HDRB meeting.

As stated previously, the office building, formerly a residence, represents a remnant of the Anglo-American development pattern that has since been altered by the state capitol campus.

This remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar area.

The development of the State Capitol complex disrupted the neighborhood patterns of the Barrio del Analco and Don Gaspar areas. The construction of the Paseo de Peralta further divided this and adjacent bungalows from the Don Gaspar neighborhood.

### **STAFF RECOMMENDATION**

Staff does not recommend approval for the proposed demolition of the historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in Section 14-5.2(M) (which references the criteria stated in Section 3.14(G), demolition of historic and landmark structures).

### **APPLICANT PRESENTATION**

Jennifer Jenkins was sworn. She was there on behalf of State of New Mexico General Services Department. She said the formal design has not commenced yet. There was a community meeting that was part of the design process. She shared a presentation entitled *State of New Mexico Executive Office Building Project Demolition Request*, which included the following:

- Applicable Regulations
- Background
- Map of New Mexico Main Capital Campus
- Vicinity Map & Historic District Boundaries
- Existing Site Conditions
- Concept Site Plan for Proposed Executive Office Building
- Exterior Design Concept – North Façade
- Exterior Design Concept -- North Main Entry
- Exterior Design Concept -- East Façade
- Exterior Design Concept – West Façade
- Exterior Design Concept – North Elevation
- Exterior Design Concept – East Elevation
- Exterior Design Concept – West Elevation
- Historic Status Designations
- City Building Inspection Reports – 11/22/22 which recommended demolition of all six buildings

Ms. Jenkins said in December of 2023 there was another inspection report, but the recommendation of demolition was deleted. She noted that nothing changed with the buildings in the year between the first and second inspection reports.

Ms. Jenkins this is not a typical case, and it is recognized that there is a unique set of rules. She said the State is trying to approach this in the most fiscally responsible way with taxpayer dollars. This is not a residential neighborhood anymore it hasn't been a residential neighborhood for decades. They are respectfully requesting approval to remove the structures and replace them with a thoughtfully designed facility to serve the needs of the State of New Mexico and its constituents.

Chair Rios asked Ms. Jenkins to confirm that the applicant wanted to memorialize the bungalows, however, the conceptual design does not do that.

Ms. Jenkins said one of the initial ideas was to do something with the pavement pattern along Don Gaspar and the footprint of where those buildings were located. That is something they are continuing to explore.

Member Bienvenu commented that this project has evolved. There is a unique set of procedures that must be followed. The State has always taken the position that they are not bound by Historic Ordinance, however, in good faith collaboration with the City, the State has agreed to follow, to some extent, the Historic Ordinance of Santa Fe. This project is presented to the Board as a State government complex.

He said the bungalows do have importance; however, he doesn't equate historic importance with contributing status. At this time the casitas have been orphaned in this location because they don't seem to have much to do with the State capital complex. The Concha Ortiz y Pino building is a little more difficult. It's ironic that the Board never would have allowed that building to have been built if it would have had a say. The State did that in the face of the Ordinance which specifically prohibited that design. It would be ironic if now, the Board would prohibit the State from replacing it with a design that conforms to the Ordinance. It would be expensive to renovate the buildings. The conceptual design meets general standards. Generally, something of that monumentality is appropriate. The ideal solution would be a contingent approval of demolition.

Member Guida said there's been a great deal of back and forth. What's not unique is when this Board considers a demolition request. He commended the State for presenting preliminary information. He added that this looks better than what's there. The issue of block front is going to be a key issue.

Member Biedscheid said she can see both sides of this. The former four homes are what's left of what was, there's a tendency of wanting to preserve those. What stands out is that these buildings have been poorly maintained.

## **PUBLIC HEARING**

Those public speakers desiring to speak were sworn in.

Frank Katz, 1300 Canyon, previously sworn said the issue is whether the demolitions can be decided before there is a design plan. The whole process that is going on is before the design phase. There needs to be discussion about the design and cooperative process. He suggested that the Board deny the demolitions and work out what should be done. The State should come forward with a final design before the request for demolitions.

Herbert Lotz, 353 East Alameda, previously sworn, said he agreed with Mr. Katz and agrees that the design should be shown before demolition is approved.

Nicoleta Monroe, 701 Dunlap, previously sworn, said the buildings represent a timeline of architecture. The casitas and Concha Ortiz y Pino building represent a point in time. In proposing to demolish them you take away a valuable characteristic. The statement that they need space needs to be written in a report. If the State wants to rebuild, why don't they rebuild at the College of Santa Fe?

Mark Bertram, 906 Trail Cross Court, previously sworn, said this is egregious. This has been on drawing board for 10 to 12 years. Earlier iterations were a modest 56,000 square feet, now it's almost four times that. He's been involved in several projects in front of this Board. The development of those projects would have been much easier, faster and more profitable if the historic regulations had been ignored. The whole purpose of this district is to preserve our historic fabric even though it does create a burden on developers. In this case, the State is the developer, and the taxpayers are going to pay nearly \$1,000 a square foot for this building. He said the size of it is out of scale with the existing streetscape and surrounding neighborhoods. They should be required to follow the same rules as the private sector.

Tom Sprigg, 444 Galisteo, previously sworn, pointed out what happened 12 years ago. He was the president of the Old Santa Fe Association ("OSFA"). In 2012 OSFA said they were not opposed to an executive office building on that site. The State had proposed a 60,000 square foot building. The Board's part is simple, reiterate that these are historic and move the process forward in a collaborative way.

Adam Johnson, 141 Arroyo Hondo Trail, previously sworn, said he is the Executive Director of OSFA. He's against, putting cart before the horse. He agrees with staff's recommendation for denial of demolitions requests.

Randall Bell, 2991 Viaja Pavo Real, previously sworn, said he is the President of OFSA. He said it is important to reiterate that there is a collaborative process. The City and development parties are working together. The collaboration in statute involves other parties. There was an informational hearing in January with many public comments. He asked to see the underlying evidence that they are using to try to justify this. This is

premature, there is a process for collaborative meetings on this to try to develop an actual real proposed design. The applicant has failed to follow that procedure, so he asked the Board to please deny the uh application.

Elisa Bertram, 820 Don Cubero, previously sworn, asked the Board to deny these requests. She said this block of Don Cubero is extremely important to the fabric of that neighborhood and not to mention the proposed building is far larger than anything around except for the State capital. This building will drive 700 to 1,000 new people into that neighborhood a day. She didn't think that they're considering Wood Gormely Elementary School just up the street with young children walking home from school every day. She didn't think they're considering a lot of these living and breathing neighborhoods that surround it. Unfortunately, people who live in the neighborhoods have kids and jobs and are unable to come to these meetings to speak out in opposition. There are a lot of young people in the neighborhood and they against this proposed project.

Francesca Bonci, 1030 W. Houghton, previously sworn, said she came here from Long Island, New York. When she saw the picture of the building, she thought she was back in Long Island. She asked if the State really needs 56,000 square feet to house government employees. What's going to happen to those empty buildings that will be vacated. She understands developers ask for the moon, this is the moon.

Raymond Herrera, 379 Hillside, was sworn. In his 79 years of living in Santa Fe he has seen the expansion of the capital from the PERA building to where it is now. A major part of historic part of Santa Fe was lost. It needs to be figured out at some point how not allow the State to do these things. When the PERA building was built his great grandfather's grave was disturbed. He asked, how many buildings are empty around town and if this building really needed.

John Eddy, previously sworn, said he appreciated everything that's been said. The elephant in the room is that state has been practicing demolition by neglect. These homes were owned by Santa Fe people. These four buildings are history, they are speaking to the capital. He urged the Board to deny most of the requests. They need to get to the negotiating table so that there can be a creative design that maintains these historic homes because they're the last part of the fabric of history on that block.

Stefanie Beninato, previously sworn, said she agreed with many of the speakers. There are ways to incorporate those bungalows into the larger complex. She loves the Concha Ortiz y Pino building. Giving the state conditional approval is rewarding them. They should be incorporated into a design.

## **BOARD DISCUSSION/ACTION**

Chair Rios said in reflecting everyone's feelings, she feels the buildings should not be demolished because all the buildings that are preserved tell a story they are a reflection of time and place. They were there before the capital buildings were there. Those buildings could be incorporated into the capital complex. If the buildings were not preserved, they would not be here. She gave the example of the Cathedral and the Palace of the Governors. These buildings should be honored and stand on their own merits. The buildings are part of Santa Fe's legacy.

Member Aguilar Medrano thanked all the members of the public for coming out this evening. The feedback is helpful. She wouldn't feel comfortable approving demolition of the buildings. She said she would assume and hope that the State has gone through an analysis of their office spaces in Santa Fe. Unfortunately, there was none of that in the packet. She wouldn't be comfortable approving the demolition of some of our contributing buildings without seeing some of that analysis done. She also hoped that rather than this thorough study of what the street facades of this building would look like, it would have been more helpful to do a massing study. If the bungalows were approved to be demolished there's an opportunity missed, the block isn't responding to this at all.

Member Guida said preservation in Santa Fe is most specifically pointed to the historic districts. All buildings are a recognition of a place in time. There could be an argument that preservation instinct pushes back. Santa Fe is a living city and a growing city. Community functionality must be developed. Any argument for preserving these very marginal examples of historic buildings must be balanced against the functional argument for making them into office space and against the economic development and against the relative important contribution to the downtown and eastside historic district. The second point is about process, he doesn't feel like the State is circumventing the process. The applicant has shown good faith.

Member Bienvenu appreciated all the comments. The general policy issue is whether the State needs the building. He would assume the State is acting in good faith. The general feeling is not to demolish the buildings, he said he respected that opinion. That's why he proposed that demolition be considered first. Another general concern is the desire to have a collaborative process. A blanket denial would take the City out of the process.

Member Biedscheid said this state capital outlay project is different from others that the Board has heard in the past because it involves demolition. She agrees with most of the comments about process. However, as an at-large member of the Board her role is to amplify the concerns of the public and the stakeholder groups in the preservation community. She's heard that if the Board approves the demolition, the general feeling is that the Board would preclude the opportunity to provide input in a collaborative process with input from preservation minded community members. She didn't want the public to feel like they had missed that opportunity because of the Board's vote. If the Board denies

demolition, that can be appealed and then the Governing Body will be able to approve the demolition.

**MOTION:** In Case 2023-007592-HDRB, 128 S. Capitol St., Member Aguilar Medrano moved to approve the application as submitted which aligns with staff's recommendation which approves the demolition of the non-contributing building. The motion was seconded by Member Biedscheid

**VOTE:** The motion passed by (5-0) roll call vote with Members Bienvenu, Guida, Mather, Aguilar Medrano and Biedscheid voting in favor and none voting against.

**MOTION:** In Case 2023-007593-HDRB, 130 S. Capitol St., Member Guida moved that the Board approve demolition noting that the exception criteria have been met as follows: that the historic status of the building is not a significant consideration factor in light of what's being proposed; that the historic blockfront is unique, that does not apply; and lastly in consideration of the condition of the building, their suitability for State use on an ongoing basis is an extenuating circumstance. Member Bienvenu seconded the motion with a friendly amendment that approval is contingent upon the City and the State reaching agreement through the collaborative process set forth in 14-5.2(M) and Section 3-22-6 for design of a replacement building.

Member Guida accepted as friendly.

**VOTE:** The motion passed by (3-2) roll call vote with Members Guida, Mather, and Bienvenu voting in favor and Members Aguilar Medrano and Biedscheid voting against.

**MOTION:** In Case 2023-007595-HDRB, 402 Don Gaspar Ave., Member Biedscheid moved to deny the application for demolition, consistent with staff's recommendation that the approval criteria for demolition have not been met. The motion was seconded by Member Aguilar Medrano

**VOTE:** The motion passed by (3-2) roll call vote with Members Mather, Aguilar Medrano and Biedscheid voting in favor and Members Bienvenu and Guida voting against.

**MOTION:** In Case 2023-007596-HDRB, 406 Don Gaspar Ave., Member Guida moved that demolition request be approved, finding that the exception criteria have been met as follows: that the historic status of the building is not a significant consideration factor in light of what's being proposed; that the historic blockfront is unique, that does not apply; and lastly in consideration

of the condition of the building, their suitability for State use on an ongoing basis is an extenuating circumstance. He added that the demolition requests be contingent upon an approved design for the replacement building. Member Bienvenu seconded the motion with a friendly amendment that the demolition is contingent upon the State and the City reaching agreement on a final design of a replacement building pursuant to the State statute and the City ordinance.

Member Guida accepted the friendly amendment.

**VOTE:** The motion failed by (2-3) roll call vote with Members Bienvenu and Guida voting in favor and Members Aguilar Medrano, Biedscheid and Mather voting against.

Chair Rios entertained a new motion.

**MOTION:** In Case 2023-007596-HDRB, 406 Don Gaspar Ave., Member Biedscheid moved to deny the application for demolition consistent with staff's recommendation and determination that the criteria have not been met for demolition. The motion was seconded by Member Aguilar Medrano.

**VOTE:** The motion passed by (3-2) roll call vote with Members Mather, Aguilar Medrano and Biedscheid voting in favor and Members Bienvenu and Guida voting against.

**MOTION:** In Case 2023-007597-HDRB. 410 Don Gaspar Ave., Member Aguilar Medrano moved to deny the application for demolition, consistent with staff's recommendation finding that the exception criteria have not been met. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (3-2) roll call vote with Members Mather, Aguilar Medrano and Biedscheid voting in favor and Members Bienvenu and Guida voting against.

**MOTION:** In Case 2023-007598-HDRB, 414 Don Gaspar Ave., Member Aguilar Medrano moved to deny the application for demolition, consistent with staff's recommendation finding that the exception criteria have not been met. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (3-2) roll call vote with Members Mather, Aguilar Medrano and Biedscheid voting in favor and Members Bienvenu and Guida voting against.

To view the entire recording of this hearing, **see** the YouTube video at <https://www.youtube.com/watch?v=fF7ZEywAor0> (1:23:13 – 3:41:37)

**9. DISCUSSION ITEMS**

None

**10. MATTERS FROM THE BOARD**

None

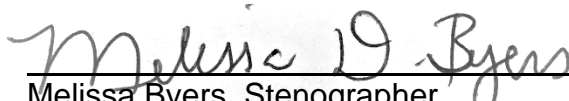
**11. NEXT MEETING:** Tuesday, April 9, 2024

**12. ADJOURN**

**MOTION:** Member Guida moved, seconded by Member Biedscheid to adjourn the meeting at 9:18 p.m.

**VOTE:** The motion passed by (5-0) roll call vote with Members Bienvenu, Guida, Mather, Aguilar Medrano and Biedscheid voting in favor and none voting against.

Submitted by:

  
\_\_\_\_\_  
Melissa Byers, Stenographer  
For Byers Organizational Support Services

Approved by:

\_\_\_\_\_  
Cecilia Rios, Chair

# Exhibit 1 -- 3/26/24 Historic Districts Review Board



FRONT PERSPECTIVE 126 & 128 CAMINO SANTIAGO



REAR PERSPECTIVE 126 & 128 CAMINO SANTIAGO

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2024-7886-HDRB**

**Address** – 329 Otero St.

**Agent’s Name** – Lisa Martinez

**Owner/Applicant’s Name** – Mike Foster and Christine Foster

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on February 27, 2024.

**BACKGROUND**

329 Otero St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The adobe structure is dated to 1935-36, with a minor addition added on the east elevation in 1945. The architectural style is Territorial with brick coping (stretcher-dentil-stretcher courses) and an entry porch facing Otero Street to the west. Otero Street slopes down to the south, and the lot features river-stone retaining walls on its west and south sides.

The contributing status of the house is noted in a 1984 New Mexico Historic Building Inventory. The Historic Inventory form noted its double-hung windows, some placed horizontally, with lintels and brick sills. Most recently the property received Administrative Approvals for solar panels (2021-4566-Admin) and for a vehicle gate, stucco, and parapet repair (2023-7644-Admin). Other than these administratively approved modifications, the historic components of the house remain largely as they were originally built.

The Applicant now requests a historic status review and primary façade designations to determine future renovations, that may include window and door replacements or repair. The Staff recommends the historic status of the structure be maintained as contributing, that the river-stone retaining site wall on the west and south be designated contributing, and that the north, south, and west façades be designated as primary.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. The City Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided to the Board a written report of its findings, which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be maintained as contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures. Staff further recommended the north, south and west façades be designated as primary, and the river-stone retaining site walls along the west and south be designated contributing.

3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure and the river-stone retaining walls on the west and south lot lines meet the definition of a “contributing structure,” as recommended by Staff.
11. The Board finds that the north, south and west façades are the elevations of the structure with the features that define the character of the structure’s architecture.
12. The information contained in the application and provided in testimony and evidence at the hearing establishes that all applicable requirements for Board review have been met.

### **CONCLUSIONS OF LAW**

Under the circumstances, and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review the property’s historic status.
3. The Board maintains the structure’s contributing status.
4. The Board designates the historic status of the river-stone retaining walls on the west and south lot lines as contributing.
5. The Board designates the following elevations of the structure as the primary façades: north, south and west.

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation  
Case #2024-7886-HDRB

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2024-7828-HDRB**

**Address** – 465 Camino Manzano

**Agent’s Name** – Richard Martinez, Martinez Architecture Studio PC

**Owner/Applicant’s Name** – Craig Smith and Carolyn Kenney

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on February 27, 2024.

**BACKGROUND**

465 Camino Manzano is a single-family residence in the Spanish Pueblo Revival / Territorial architectural styles, with an attached supplemental living unit, listed as non-contributing to the Downtown and Eastside Historic District. The core house was built in the late 1940s as a two-story block containing a large living room, kitchen and other rooms on the ground floor, and bedrooms upstairs. It had an upper-story porch overlooking an old orchard. Adjacent to the main house, to the south, was a one-story rectangular structure containing a mother-in-law’s apartment. Connected to this apartment at a right angle was a smaller rectangle holding a one-car garage.

After the sale of the property in 1974, a two-car garage was added on the western end, in front of the old garage, substantially changing the front elevation. Other changes to the core were made, although their extent is unknown. According to a 2024 Historic Cultural Property Inventory, the second-story balcony has a mix of historic and non-historic elements. Large wood beams under the balcony appear historic, but are actually stock pieces that have been rusticated, and the railing has been replaced, judging from photos in an earlier survey. The west-side portal has been extended, creating a walkway from the original kitchen to the old garage, although the date of that alteration is unknown. The east façade received a dining-room addition sometime after 1958; the historian was unable to determine more specifically the date of this extension. There have been substantial modifications on the south elevations: A kitchen addition has been placed in an in-filled portal, connecting the original core to the apartment, and a dining room and bathroom added. See Figure 1, depicting the original core of the house in tan:



Additions shown in green took place after 1958, and those in red after 1978, as shown in aerial photographs from those years. Collectively, the structure now holds 3,270 square feet of heated space. The Applicant requests a status review with primary façades designation.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings, which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: The Staff recommended the historic status of the structure be upgraded to contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures, and the front (north) façade of the historic core be designated as primary.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in a Historic District, that is less than 50 years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a contributing structure, as recommended by the Staff.
11. The Board finds that the north façade of the original, pre-1958 core structure, including the two-story portal, to be an elevation with features that define the character of the structure’s architecture. The Board finds that some elements of this front portal/balcony

may not be historic, and that in future project applications the Applicant may present additional evidence demonstrating which materials are non-historic.

12. The information contained in the application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board grants the Applicant’s request to review the historic status of this property.
3. The Board upgrades the status of the structure to contributing.
4. The Board designates the following elevation of the original core structure as the primary façade: the north façade (excluding the east-end dining room addition and the two-car garage on the western end).

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7595-HDRB**

**Address** – 402 Don Gaspar Ave.

**Agent’s Name** – Jennifer Jenkins, JenkinsGavin, Inc.

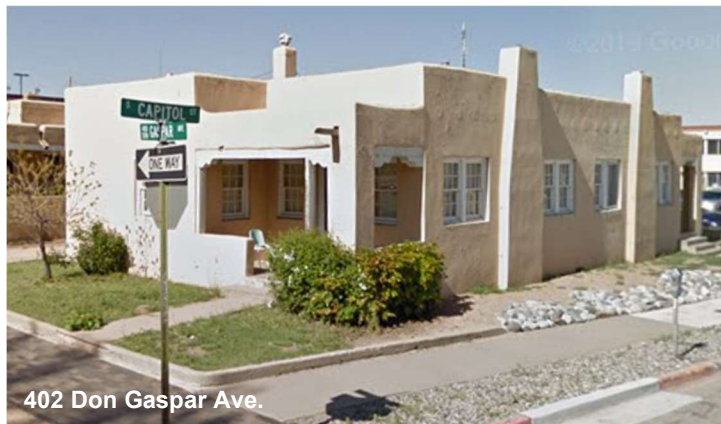
**Owner/Applicant’s Name** – State of New Mexico General Services Division

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 26, 2024.

**BACKGROUND**

The duplex residential structure and associated garage at 402 Don Gaspar Ave. were constructed of pentile with a stucco finish in the Spanish Pueblo Revival style, with recessed bull-nosed openings, rounded corners, carved wooden corbels and exposed header beams on portals. The original footprint of the building remains. The building diverges from the single-family bungalow development to the south, and, as it was constructed after the bungalows, represents the growing need for apartments and smaller dwelling units to serve staff associated with the State Capitol. It is the only duplex among the four Don Gaspar Avenue casitas, and, uniquely, has entrance portals on both its east and west elevations.

This residence and its garage have contributing designations in the Downtown and Eastside Historic District. The Historic Districts Review Board determined the status of these buildings in a hearing May 9, 2023 (see Case # 2023-6703-HDRB). The duplex previously had a significant designation, based on a review in 2012 (Case # H-12-017-A), but this status was



downgraded by the Board in the 2023 review. At that hearing the Board confirmed the previously determined contributing status of the garage. The buildings have been poorly maintained but are in fair condition. The Historic Preservation Staff finds that the code-required minimum maintenance standards have not been met, per SFCC Section 14-5.2(B).

The State of New Mexico General Services Department is planning to build a large executive office building on the South Capitol Campus, between Don Gaspar Avenue and Galisteo Street. The State’s property development agent, JenkinsGavin, Inc., has submitted an application to demolish four adjacent casitas on the 400 block of Don Gaspar Avenue, including the 402 Don Gaspar Ave. duplex.

The building, which has been converted to an office, represents a remnant of the Anglo-American development pattern that has since been altered by the State Capitol campus. This

remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar and South Capitol areas. The Staff has determined that the proposed demolition will involve the removal of historic materials from a contributing structure and will cause this structure to lose its contributing status, as prohibited by SFCC Section 14-5.2(D)(1)(a). These require exception criteria, per SFCC Section 14-5.2(C)(5)(b). The Staff recommends that the demolition application be denied.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff did not recommend approval to demolish this historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in SFCC Section 14-5.2(M), State Capital Outlay Projects, which references the criteria stated in SFCC Section 3.14(G), Demolition of Historic or Landmark Structure.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
7. Under SFCC Section 14-5.2(M)(3)(b), State Capital Outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2.

### **Demolition Standards**

8. Staff provided the Board information on structures under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
9. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structures are of historical importance; whether the structures are an essential part of a unique street section/block front and whether the street section/block front will be reestablished by a proposed new structure; and the state of repair and structural stability of the structures:
  - a. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is of historical significance: These four casitas represent a remnant streetscape and

memorialize the history of the area and the changes associated with the growth of the South Capitol Campus;

- b. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structures are an essential part of a unique street section or block front, and that this street section or block front will not be reestablished by a proposed structure: The enormous structure the State proposes for this location appears institutional and in no way reflects the residential structures that characterize this block front;
  - c. Pursuant to SFCC Section 14-3.14(G)(1)(c), the Board finds that the structures under consideration are in fair condition; upgrades can bring these buildings into compliance with building code standards and ensure their continued use.
10. Based on the Staff Report and exhibits, information and evidence presented at the hearing, and applying the demolition standards set forth in SFCC Section 14-3.14(G)(1), the Board finds that demolition of the duplex and garage at 402 Don Gaspar Ave. would be contrary to the Historic Districts Code.

### **Exception Criteria**

11. Staff determined that the demolition of these structures would result in the removal of historic materials that embody the status of a contributing building, and that demolition would cause the structures to lose their contributing status, contrary to SFCC Section 14-5.2(D)(1), and that approval of the demolition request would therefore require exceptions according to SFCC Section 14-5.2(C)(5)(b). The Applicant asked the Board to approve exceptions.
12. To obtain an exception, the Applicant must conclusively demonstrate that the criteria in SFCC Section 14-5.2(C)(5)(b) have been met, and that the exceptions: (i) Do not damage the character of the district; (ii) Are required to prevent a hardship to the Applicant or an injury to the public welfare; and (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's determination that the Applicant has not conclusively demonstrated that all three exception criteria have been met:
  - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district: These contributing buildings contribute to and help to establish the historic character of this portion of the Downtown and Eastside Historic District. The development pattern was formed by the Business Capitol District zone standards, which included residential buildings.
  - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that demolition is not required to prevent a hardship to the Applicant or an injury to the public welfare: The Applicant has demonstrated no hardship in designing the proposed Executive Office Building for the space on this block other than that occupied by these casitas. The demolition is contrary to the public interest in historic preservation, which is best served by the continued existence and preservation of historic areas and buildings, and harmony as to style, form, color, height,

proportion, texture and material between buildings of historic design and those of more modern design, as set forth in SFCC Section 14-5.2(A)(1)(a) and (c); and  
c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that the proposed demolition will not strengthen the heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside in the historic districts: There is no evidence the State has considered design options which would not require demolition of these structures. Proper renovation techniques and other design options would allow for the continued use of these buildings, which is a more sustainable practice than demolishing the existing buildings and constructing a new one. The demolition of these structures does nothing to ensure that residents can continue to reside in the historic districts.

14. Based on the information in the Staff Report and the exhibits, evidence and testimony presented at the hearing, the Board agrees with the Staff's finding that the Applicant has not conclusively demonstrated that all three exception criteria have been met.

15. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.

### **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and to approve or deny the application.
2. Applying the standards applicable to demolition of contributing, significant and landmark structures, the facts and evidence do not support this application, and the Board denies the application to demolish the structures at 402 Don Gaspar Ave.
3. The applicable exception criteria have not been conclusively demonstrated, and the Board denies the exceptions requested in the application.

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7596-HDRB**

**Address** – 406 Don Gaspar Ave.

**Agent’s Name** – Jennifer Jenkins, JenkinsGavin, Inc.

**Owner/Applicant’s Name** – State of New Mexico General Services Division

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 26, 2024.

**BACKGROUND**

The single-family residential structure and associated garage at 406 Don Gaspar Ave. was constructed of pentile with a stucco finish in the Simplified Pueblo Revival style with a modified foursquare floorplan typical of bungalows at the time. The original footprint of the building remains. As illustrated by the building’s depiction on the 1930 Sanborn Map and not on the 1921 Sanborn Map, it was constructed between 1921 and 1930. It is characterized by divided-lite windows; two small windows flank the fireplace on the south elevation. Additionally, as is typical of many bungalows, the building has a basement.

This residence and its garage have contributing designations in the Downtown and Eastside Historic District. The Historic Districts Review Board determined the status of these buildings in a hearing May 9, 2023 (see Case # 2023-6704-HDRB). The residence (not the garage) previously had a significant designation, based on a review in 2012 (Case # H-12-017-A), but this status was downgraded by the Board in the 2023 review. The building has been poorly maintained but is in fair condition. The Historic Preservation Staff finds that the code-required minimum maintenance standards have not been met, per SFCC Section 14-5.2(B).

The State of New Mexico General Services Department is planning to build a large executive office building on the South Capitol Campus, between Don Gaspar Avenue and Galisteo Street. The State’s property development agent, JenkinsGavin, Inc., has submitted an application to demolish four adjacent casitas on the 400 block of Don Gaspar Avenue, including 406 Don Gaspar Ave.

The building, which has been converted to an office, represents a remnant of the Anglo-American development pattern that has since been altered by the state capitol campus. This remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar and South Capitol areas. The Staff has determined that the



406 Don Gaspar Ave.

proposed demolition will involve the removal of historic materials from a contributing structure and will cause this structure to lose its contributing status, as prohibited by SFCC Section 14-5.2(D)(1)(a). These require exception criteria, per SFCC Section 14-5.2(C)(5)(b). The Staff recommends that the demolition application be denied.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. **Historic Preservation Division Staff Recommendation:** Staff did not recommend approval to demolish this historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in SFCC Section 14-5.2(M), State Capital Outlay Projects, which references the criteria stated in SFCC Section 3.14(G), Demolition of Historic or Landmark Structure.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
7. Under SFCC Section 14-5.2(M)(3)(b), State Capital Outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2.

### **Demolition Standards**

8. Staff provided the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
9. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance; whether the structure is an essential part of a unique street section/block front and whether the street section/block front will be reestablished by a proposed new structure; and the state of repair and structural stability of the structure:
  - a. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is of historical significance: These four casitas represent a remnant streetscape and memorialize the history of the area and the changes associated with the growth of the South Capitol Campus;

- b. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structure is an essential part of a unique street section or block front, and that this street section or block front will not be reestablished by a proposed structure: The enormous structure the State proposes for this location appears institutional and in no way reflects the residential structures that characterize this block front;
  - c. Pursuant to SFCC Section 14-3.14(G)(1)(c), the Board finds that the structure under consideration is in fair condition; upgrades can bring these buildings into compliance with building code standards and ensure their continued use.
10. Based on the Staff Report and exhibits, information and evidence presented at the hearing, and applying the demolition standards set forth in SFCC Section 14-3.14(G)(1), the Board finds that demolition of the structures at 406 Don Gaspar Ave. would be contrary to the Historic Districts Code.

### **Exception Criteria**

11. Staff determined that the demolition of this structure would result in the removal of historic materials that embody the status of a contributing building, and that demolition would cause the structures to lose their contributing status, contrary to SFCC Section 14-5.2(D)(1), and that approval of the demolition request would therefore require exceptions according to SFCC Section 14-5.2(C)(5)(b). The Applicant asked the Board to approve exceptions.
12. To obtain an exception, the Applicant must conclusively demonstrate that the criteria in SFCC Section 14-5.2(C)(5)(b) have been met, and that the exceptions: (i) Do not damage the character of the district; (ii) Are required to prevent a hardship to the Applicant or an injury to the public welfare; and (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's determination that the Applicant has not conclusively demonstrated that all three exception criteria have been met:
- a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district: These contributing buildings contribute to and help to establish the historic character of this portion of the Downtown and Eastside Historic District. The development pattern was formed by the Business Capitol District zone standards, which included residential buildings.
  - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that demolition is not required to prevent a hardship to the Applicant or an injury to the public welfare: The Applicant has demonstrated no hardship in designing the proposed Executive Office Building for the space on this block other than that occupied by these casitas. The demolition is contrary to the public interest in historic preservation, which is best served by the continued existence and preservation of historic areas and buildings, and harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design, as set forth in SFCC Section 14-5.2(A)(1)(a) and (c); and

- c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that the proposed demolition will not strengthen the heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside in the historic districts: There is no evidence the State has considered design options which would not require demolition of these structures. Proper renovation techniques and other design options would allow for the continued use of these buildings, which is a more sustainable practice than demolishing the existing buildings and constructing a new one. The demolition of these structures does nothing to ensure that residents can continue to reside in the historic districts.
- 14. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with the Staff's finding that the Applicant has not conclusively demonstrated that all three exception criteria have been met.
- 15. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

- 1. The Board has the authority to review and to approve or deny the application.
- 2. Applying the standards applicable to demolition of contributing, significant and landmark structures, the facts and evidence do not support this application, and the Board denies the application to demolish the structures at 406 Don Gaspar Ave.
- 3. The applicable exception criteria have not been conclusively demonstrated, and the Board denies the exceptions requested in the application.

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geralyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7597-HDRB**

**Address** – 410 Don Gaspar Ave.

**Agent’s Name** – Jennifer Jenkins, JenkinsGavin, Inc.

**Owner/Applicant’s Name** – State of New Mexico General Services Division

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 26, 2024.

**BACKGROUND**

The single-family residential structure and associated garage at 410 Don Gaspar Ave. was constructed of pentile with a stucco finish in the Territorial Revival style with a floorplan typical of bungalows at the time. The original footprint of the building remains. The residence has three rows of brick coping atop the parapet, a smaller porch than the adjacent building at 406 Don Gaspar Ave., and there is no porch on the south elevation in contrast to 406 Don Gaspar. There was a concerted effort to differentiate the homes on the block to provide better urban character. As illustrated by the building’s depiction on the 1930 Sanborn Map and not on the 1921 Sanborn Map, it was constructed between 1921 and 1930. It has divided-lite windows; two small windows flank the fireplace on the south elevation.



This residence and its garage have contributing designations in the Downtown and Eastside Historic District. The Historic Districts Review Board determined the status of these buildings in a hearing May 9, 2023 (see Case # 2023-6705-HDRB). The residence (not the garage) previously had a significant designation, based on a review in 2012 (Case # H-12-017-A), but this status was downgraded by the Board in the 2023 review. The building has been poorly maintained but is in fair condition. The Historic Preservation Staff finds that the code-required minimum maintenance standards have not been met, per SFCC Section 14-5.2(B).

The State of New Mexico General Services Department is planning to build a large executive office building on the South Capitol Campus, between Don Gaspar Avenue and Galisteo Street. The State’s property development agent, JenkinsGavin, Inc., has submitted an application to demolish four adjacent casitas on the 400 block of Don Gaspar Avenue, including 410 Don Gaspar Ave.

The building, which has been converted to an office, represents a remnant of the Anglo-

American development pattern that has since been altered by the state capitol campus. This remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar and South Capitol areas. The Staff has determined that the proposed demolition will involve the removal of historic materials from a contributing structure and will cause this structure to lose its contributing status, as prohibited by SFCC Section 14-5.2(D)(1)(a). These require exception criteria, per SFCC Section 14-5.2(C)(5)(b). The Staff recommends that the demolition application be denied.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff did not recommend approval to demolish this historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in SFCC Section 14-5.2(M), State Capital Outlay Projects, which references the criteria stated in SFCC Section 3.14(G), Demolition of Historic or Landmark Structure.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
7. Under SFCC Section 14-5.2(M)(3)(b), State Capital Outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2.

### **Demolition Standards**

8. Staff provided the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
9. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance; whether the structure is an essential part of a unique street section/block front and whether the street section/block front will be reestablished by a proposed new structure; and the state of repair and structural stability of the structure:

- a. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is of historical significance: These four casitas represent a remnant streetscape and memorialize the history of the area and the changes associated with the growth of the South Capitol Campus;
  - b. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structure is an essential part of a unique street section or block front, and that this street section or block front will not be reestablished by a proposed structure: The enormous structure the State proposes for this location appears institutional and in no way reflects the residential structures that characterize this block front;
  - c. Pursuant to SFCC Section 14-3.14(G)(1)(c), the Board finds that the structure under consideration is in fair condition; upgrades can bring these buildings into compliance with building code standards and ensure their continued use.
10. Based on the Staff Report and exhibits, information and evidence presented at the hearing, and applying the demolition standards set forth in SFCC Section 14-3.14(G)(1), the Board finds that demolition of the structures at 410 Don Gaspar Ave. would be contrary to the Historic Districts Code.

**Exception Criteria**

11. Staff determined that the demolition of this structure would result in the removal of historic materials that embody the status of a contributing building, and that demolition would cause the structures to lose their contributing status, contrary to SFCC Section 14-5.2(D)(1), and that approval of the demolition request would therefore require exceptions according to SFCC Section 14-5.2(C)(5)(b). The Applicant asked the Board to approve exceptions.
12. To obtain an exception, the Applicant must conclusively demonstrate that the criteria in SFCC Section 14-5.2(C)(5)(b) have been met, and that the exceptions: (i) Do not damage the character of the district; (ii) Are required to prevent a hardship to the Applicant or an injury to the public welfare; and (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's determination that the Applicant has not conclusively demonstrated that all three exception criteria have been met:
- a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district: These contributing buildings contribute to and help to establish the historic character of this portion of the Downtown and Eastside Historic District. The development pattern was formed by the Business Capitol District zone standards, which included residential buildings.
  - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that demolition is not required to prevent a hardship to the Applicant or an injury to the public welfare: The Applicant has demonstrated no hardship in designing the proposed Executive Office Building for the space on this block other than that occupied by these casitas. The demolition is contrary to the public interest in historic preservation, which is best served by the continued existence and preservation of

historic areas and buildings, and harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design, as set forth in SFCC Section 14-5.2(A)(1)(a) and (c); and

c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that the proposed demolition will not strengthen the heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside in the historic districts: There is no evidence the State has considered design options which would not require demolition of these structures. Proper renovation techniques and other design options would allow for the continued use of these buildings, which is a more sustainable practice than demolishing the existing buildings and constructing a new one. The demolition of these structures does nothing to ensure that residents can continue to reside in the historic districts.

14. Based on the information in the Staff Report, and the exhibits, evidence and testimony presented at the hearing, the Board agrees with the Staff’s finding that the Applicant has not conclusively demonstrated that all three exception criteria have been met.

15. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and to approve or deny the application.
2. Applying the standards applicable to demolition of contributing, significant and landmark structures, the facts and evidence do not support this application, and the Board denies the application to demolish the structures at 410 Don Gaspar Ave.
3. The applicable exception criteria have not been conclusively demonstrated, and the Board denies the exceptions requested in the application.

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geralyn Cardenas, Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7598-HDRB**

**Address** – 414 Don Gaspar Ave.

**Agent’s Name** – Jennifer Jenkins, JenkinsGavin, Inc.

**Owner/Applicant’s Name** – State of New Mexico General Services Division

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 26, 2024.

**BACKGROUND**

The single-family residential structure and associated garage at 414 Don Gaspar Ave. was constructed of pentile with a stucco finish in the Territorial Revival style with a modified foursquare floorplan typical of bungalows at the time. This structure represents the southernmost of three bungalows with identical floorplans that were built before 1930. (A fourth structure in this streetscape section, a duplex at 402 Don Gaspar Ave., was built later.) It is characterized by divided-lite windows, with two small windows flanking the fireplace on the south elevation. The original footprint of the building remains. It has a porch on the south elevation with a small



sitting area, and a decorative brick driveway, however, the associated garage has been demolished, leaving this as the only one of the four Don Gaspar Avenue casitas without a garage.

This residence and its garage have contributing designations in the Downtown and Eastside Historic District. The Historic Districts Review Board determined the status of these buildings in a hearing May 9, 2023 (see Case # 2023-6706-HDRB).

The structure previously had a significant designation, based on a review in 2012 (Case # H-12-017-A), but this status was downgraded by the Board in the 2023 review. The building has been poorly maintained but is in fair condition. The Historic Preservation Staff finds that the code-required minimum maintenance standards have not been met, per SFCC Section 14-5.2(B).

The State of New Mexico General Services Department is planning to build a large executive office building on the South Capitol Campus, between Don Gaspar Avenue and Galisteo Street. The State’s property development agent, JenkinsGavin, Inc., has submitted an application to demolish four adjacent casitas on the 400 block of Don Gaspar Avenue, including 414 Don Gaspar Ave.

The building, which has been converted to an office, represents a remnant of the Anglo-American development pattern that has since been altered by the state capitol campus. This

remnant helps to tell the story of how the state buildings transformed the urban pattern both on the border of the Don Gaspar and South Capitol areas. The Staff has determined that the proposed demolition will involve the removal of historic materials from a contributing structure and will cause this structure to lose its contributing status, as prohibited by SFCC Section 14-5.2(D)(1)(a). These require exception criteria, per SFCC Section 14-5.2(C)(5)(b). The Staff recommends that the demolition application be denied.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff did not recommend approval to demolish this historically contributing building. Staff finds that the demolition approval criteria have not been met as set forth in SFCC Section 14-5.2(M), State Capital Outlay Projects, which references the criteria stated in SFCC Section 3.14(G), Demolition of Historic or Landmark Structure.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
7. Under SFCC Section 14-5.2(M)(3)(b), State Capital Outlay projects that involve contributing, significant or landmark structures shall be undertaken in such a manner as to preserve the status of the structure and in accordance with the standards for alterations or additions to contributing, significant or landmark buildings as set forth in Section 14-5.2.

#### **Demolition Standards**

8. Staff provided the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
9. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance; whether the structure is an essential part of a unique street section/block front and whether the street section/block front will be reestablished by a proposed new structure; and the state of repair and structural stability of the structure:
  - a. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is of historical significance: These four casitas represent a remnant streetscape and

memorialize the history of the area and the changes associated with the growth of the South Capitol Campus;

- b. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structure is an essential part of a unique street section or block front, and that this street section or block front will not be reestablished by a proposed structure: The enormous structure the State proposes for this location appears institutional and in no way reflects the residential structures that characterize this block front;
  - c. Pursuant to SFCC Section 14-3.14(G)(1)(c), the Board finds that the structure under consideration is in fair condition; upgrades can bring these buildings into compliance with building code standards and ensure their continued use.
10. Based on the Staff Report and exhibits, information and evidence presented at the hearing, and applying the demolition standards set forth in SFCC Section 14-3.14(G)(1), the Board finds that demolition of the structure at 414 Don Gaspar Ave. would be contrary to the Historic Districts Code.

### **Exception Criteria**

11. Staff determined that the demolition of this structure would result in the removal of historic materials that embody the status of a contributing building, and that demolition would cause the structures to lose their contributing status, contrary to SFCC Section 14-5.2(D)(1), and that approval of the demolition request would therefore require exceptions according to SFCC Section 14-5.2(C)(5)(b). The Applicant asked the Board to approve exceptions.
12. To obtain an exception, the Applicant must conclusively demonstrate that the criteria in SFCC Section 14-5.2(C)(5)(b) have been met, and that the exceptions: (i) Do not damage the character of the district; (ii) Are required to prevent a hardship to the Applicant or an injury to the public welfare; and (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's determination that the Applicant has not conclusively demonstrated that all three exception criteria have been met:
  - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district: These contributing buildings contribute to and help to establish the historic character of this portion of the Downtown and Eastside Historic District. The development pattern was formed by the Business Capitol District zone standards, which included residential buildings.
  - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that demolition is not required to prevent a hardship to the Applicant or an injury to the public welfare: The Applicant has demonstrated no hardship in designing the proposed Executive Office Building for the space on this block other than that occupied by these casitas. The demolition is contrary to the public interest in historic preservation, which is best served by the continued existence and preservation of historic areas and buildings, and harmony as to style, form, color, height,

proportion, texture and material between buildings of historic design and those of more modern design, as set forth in SFCC Section 14-5.2(A)(1)(a) and (c); and  
c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that the proposed demolition will not strengthen the heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside in the historic districts: There is no evidence the State has considered design options which would not require demolition of these structures. Proper renovation techniques and other design options would allow for the continued use of these buildings, which is a more sustainable practice than demolishing the existing buildings and constructing a new one. The demolition of these structures does nothing to ensure that residents can continue to reside in the historic districts.

14. Based on the information in the Staff Report and the exhibits, evidence and testimony presented at the hearing, the Board agrees with the Staff's finding that the Applicant has not conclusively demonstrated that all three exception criteria have been met.

15. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.

### **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and to approve or deny the application.
2. Applying the standards applicable to demolition of contributing, significant and landmark structures, the facts and evidence do not support this application, and the Board denies the application to demolish the structure at 414 Don Gaspar Ave.
3. The applicable exception criteria have not been conclusively demonstrated, and the Board denies the exceptions requested in the application.

**IT IS SO ORDERED ON THIS 9th DAY of APRIL, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn Cardenas, Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

# 2024 Santa Fe Heritage Preservation Awards

## Architectural Preservation Award

Outstanding examples of restoration or rehabilitation of a designated historic property.

Nominees:

- Palace Grocery Store (Downtown and Eastside)
- 401 Old Santa Fe Trail (Downtown and Eastside)

## Compatible Remodel Award

Outstanding examples of building remodel that harmonizes with historic structures in the historic districts.

Nominees:

- 626 Canyon Road (Downtown and Eastside) (Contributing)
- 459 Camino Manzano (Downtown and Eastside) (Non-Contributing)
- 104 Calle La Pena (Downtown and Eastside) (Non-Contributing)
- 1404 Cerro Gordo, Upaya Zen Center (Downtown and Eastside) (Non-Contributing)
- 224 Maynard Street (Westside- Guadalupe) (Non-Contributing)

## Compatible New Construction

Outstanding examples of new construction that harmonizes with historic structures in the historic districts.

Nominees:

- 1292 Lejano Lane (non-contributing) (Downtown and Eastside)
- 1023 East Alameda (non-contributing) (Downtown and Eastside)

## Cultural Preservation Award

In honor of preservation of Santa Fe's unique cultural heritage.

Nominee:

- Locomotive at Salvador Perez (not in a historic district)
- The Olive Rush Memorial Studio - 630 Canyon Road

# City of Santa Fe, New Mexico

# memo

**DATE:** April 9, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Ramon Sarason, Senior Planner, Historic Preservation Division

---

**2024-007993-HDRB.** 528 Jose St. Westside-Guadalupe Historic District. Non-Contributing. Tiho Dimitrov, agent for Kate Carswell & Tim Schmoyer, owners, requests a status review with primary façade designations.

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan (included in HCPI)

Elevations

Photographs (included in HCPI)

Other: Façade Diagram

**STAFF RECOMMENDATION:**

Staff recommends that the main residence and guesthouse remain non-contributing per 14-5.2(C) as the structures do not exhibit the historic integrity necessary to meet the threshold for contributing historic status.

## **BACKGROUND & SUMMARY:**

The single-family residence and guesthouse located at 528 Jose Street have a historic status of non-contributing and are located in the Westside-Guadalupe Historic District. It is built in the Spanish-Pueblo Revival style and has vernacular elements. The home was at one time a family compound. The structures are one story, constructed of adobe, and covered in stucco.

The HPCI form provided to the HDRB discusses the complicated history of the property. During the 19<sup>th</sup> century the land is owned by Jose Duran until his death in 1907. The initial phase of development of the land appears to have occurred between 1941 and 1980 under the ownership of Juan and Catrina Duran, and the property has been remodeled since that time with a substantial remodel occurring in the 1990s.

The aerial photographs show the change of the property through time. The 1966 aerial photograph, Figure 4 in the attached HCPI, shows the first glimpse of all three structures.

Building A is the guesthouse and is 726 sq. ft. This building is thought to have been a shed.

Building B is characterized as a studio suite and is 3,045 sq. ft.

Building C, which may also have been a shed, is thought to have been removed after 1978. The northwest portion of Building B incorporates the majority of the area where this building once stood.

## RELEVANT CODE CITATIONS

### **14-5.2(C)**

#### **Regulation of Significant and Contributing Structures in the Historic Districts**

(Ord. No. 2004-26)

##### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

##### (2) Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

###### (a) Status Designation

Structures within historic districts may be designated a status of "significant," "contributing," or "noncontributing" based upon the definitions of these terms in Article 14-12. Staff shall maintain a record as to the current status of structures located in the Historic Districts.

###### (b) Board Authority to Review Status Designation

(i) The Board is authorized to change the status of a structure or to designate a status for a structure with no status designated.

(ii) A change in status or the designation of a status shall be based upon an evaluation of data provided through survey or other relevant sources of information and the definitions of "significant," "contributing," or "noncontributing."

(c) Initiation of Review of Status Designation

The Board may review the status designation in response to the following:

(i) An application for construction or demolition as set forth in Section 14-5.2 as follows:

A. Prior to the application being placed on a board agenda or prior to issuance of a building permit, if Board approval is not required, staff shall determine whether or not the board should review the status of the structure. Staff's determination shall be made within thirty days of submittal of the application. If staff's determination is not completed within the thirty days, the application shall be forwarded to the board. Review by the board as to the structure's status shall be made at the earliest practicable date. The board or staff (as applicable) may consider the application immediately following the determination of status. The application shall be reviewed based upon the status of the structure following the determination of status.

B. Prior to action by the board on the application, the board itself may decide to review the status of the structure. The board's determination as to the status shall be made within forty-five days of the decision of the board to review the status. The board or staff (as applicable) may consider the application immediately following the determination of the status.

The application shall be reviewed based upon the status of the structure following the determination of status.

(ii) A request from the property owner; or

(iii) A request initiated by the city. Staff shall notify the property owner prior to initiating the request.

#### **14-5.2(I) Westside-Guadalupe Historic District**

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

(a) Slump block, stucco, brick, or stone, shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;

(b) The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation;

(c) Roof form, slope, and shape. It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;

(d) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:

(i) raising the parapet;

(ii) setting back from the edge of the roof;

(iii) framing the collector with wood;

(iv) in the case of pitched roofs, by integrating the collector into the pitch;

(v) in the case of ground solar collectors by a wall or vegetation;

(vi) in the case of wall collectors, by enclosing by end or other walls;

(vii) other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.

(e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;

(f) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;

(g) Greenhouses

(h) Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and that greenhouses made from

enclosed porches or portales maintain the shape of the porch or portal;

(i) Porches and portales are encouraged;

(j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the planning and land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

#### 14-12 Definitions

##### **NONCONTRIBUTING STRUCTURE**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

##### **CONTRIBUTING STRUCTURE**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

### **FAÇADE**

One whole exterior face or elevation of a structure from grade up to and including the top of the parapet. An individual façade is defined as including at least an eight-foot width that is offset from an adjacent plane by at least four feet.


### **PRIMARY FAÇADE**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date of Form: March 10, 2024

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Juan and Catarina Duran Property/ Stepbridge Studios	<b>2. Location:</b>  528 Jose Street Westside-Guadalupe Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: Unknown  <b>4. County: Santa Fe</b> Parcel # 0652544
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 2 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> February 17, 2024		
<b>7. Previous Survey Date(s):</b> <input type="checkbox"/> Yes: Unknown <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Evaluation		
<b>9. Lat/Long:</b> 35.6914002,-105.9468056		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. <span style="float: right;">Photo 1: View of east elevation of Building A. Camera facing northwest.</span>		
<b>11. Brief Description of the Property:</b>  Located at the end of Jose Street, approximately 270' west of North Guadalupe Street, are the remnants of a 20th-century family compound that was greatly altered in the 1990s. What was once three separate freestanding buildings are now two — a guesthouse and a recording studio suite. The former is a modest dwelling with no architectural interest or demonstration of traditional construction. The latter, up until 1991, was a residence that received a significant renovation, including a large addition, removal of fenestration, and change of parapet heights. A third building was demolished at some point after 1978; perhaps during the 1990s renovation.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Recording studio		
<b>13. Construction Date:</b> Date: Building A: Unknown; before 1966; Building B: Unknown; before 1948. <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs		
<b>14. Setting:</b> <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Area highlighted represents c.1991-92 addition.

Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



**17. Surveyor:**  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporuscio

For: Current owner: Timothy Schmoyer and Kate Carswell

**18. Owner (if known) and other knowledgeable people:**

Current owner: Timothy Schmoyer and Kate Carswell

N/A

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing Buildings A & B  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Westside-Guadalupe Historic District

**24. Supplemental Forms:**

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																											
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<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																													
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: _____ <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: _____				<b>7. Number of Stories:</b> _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____  <b>8. Foundation:</b> _____ N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: _____ Stone Other: Notes  <b>9. Roof:</b> _____ N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____																																									
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>3/1</td> <td>4</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>8</td> <td>1</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>4</td> </tr> <tr> <td>Combination</td> <td>Steel</td> <td>3C-3F-3C</td> <td>1</td> </tr> </tbody> </table> Note: Based on visibility and access during survey				Operation	Material	Glazing	Number	Single-Hung	Wood	3/1	4	Casement	Wood	8	1	Sliding	Aluminum	1-1	4	Combination	Steel	3C-3F-3C	1	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>1/2-Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Full-Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Plank</td> <td>Wood</td> <td>3</td> </tr> <tr> <td>Single-Leaf</td> <td>5-Panel</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table> Note: Based on visibility and access during survey		Type	Style	Material	Number	Single-Leaf	1/2-Light	Wood	1	Single-Leaf	Full-Light	Wood	1	Single-Leaf	Plank	Wood	3	Single-Leaf	5-Panel	Wood	1
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Single-Leaf	Plank	Wood	3																																										
Single-Leaf	5-Panel	Wood	1																																										
<b>12. Chimneys</b> <input checked="" type="checkbox"/> N/A				<b>13. Porches</b> <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																									
<b>14. Other Significant Features</b> N/A																																													
<b>15. Modifications:</b> <input checked="" type="checkbox"/> _____ <input type="checkbox"/> No known modifications  <u>#1 Building A – pre-1966 addition; aerial photographs; probable removal of windows; visual evidence</u> <u>#2 Building B – c.1991-92 major renovation of residence; aerials; newspaper account; visual evidence</u> <u>#3 Building C – demolition, post-1978; aerial photographs</u>																																													

16. Primary Architectural Style      Not Applicable

- |   |                            |                             |                              |                                     |
|---|----------------------------|-----------------------------|------------------------------|-------------------------------------|
| <u>    </u> Art Deco/Streamline Moderne | <u>    </u> Gothic Revival | <u>    </u> Mission Revival | <u>    </u> Pueblo           | <u>  x  </u> Spanish-Pueblo Revival |
| <u>    </u> Bungalow/Craftsman          | <u>    </u> International  | <u>    </u> Neo-Classical   | <u>    </u> Queen Anne       | <u>    </u> Territorial             |
| <u>    </u> Colonial Revival            | <u>    </u> Italianate     | <u>    </u> Northern NM     | <u>    </u> Ranch            | <u>    </u> Territorial Revival     |
| <u>    </u> Folk Victorian              | <u>    </u> Mediterranean  | <u>    </u> Prairie         | <u>    </u> Spanish-Colonial | <u>    </u> Tudor Revival           |

Notes:   x   Other: Vernacular; No Style

17. Documents Available and Their Locations

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

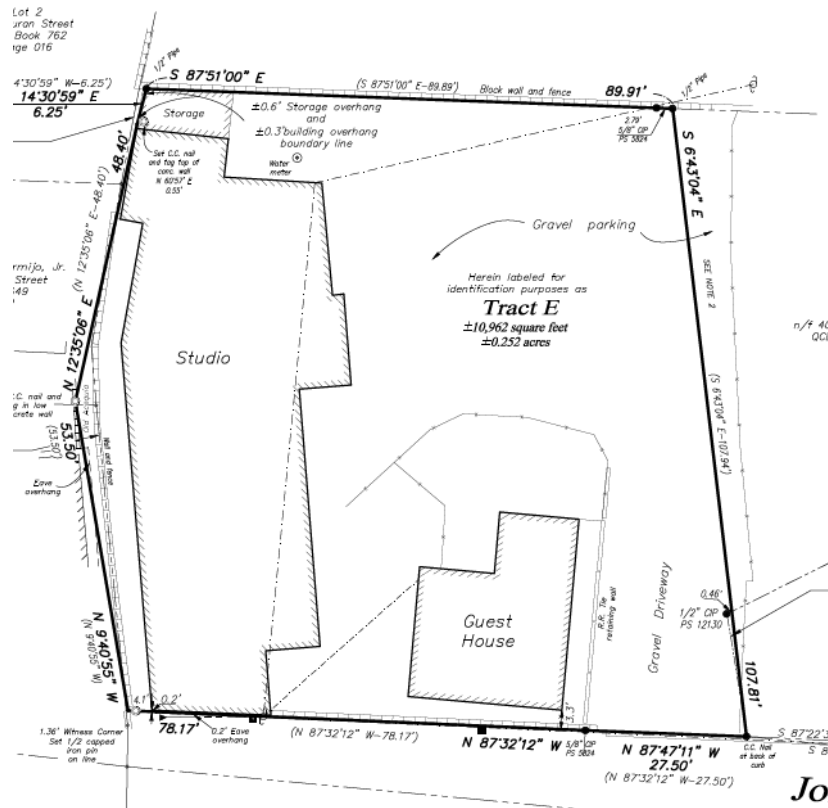
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 2015 survey plat. Courtesy Sierra Land Surveying, Inc.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Juan and Catarina Duran Property/ Stepbridge Studios	<b>2. Location:</b>  528 Jose Street Westside-Guadalupe Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID:			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: February 17, 2024</b>			

### Architectural Description Continued

#### Setting

The buildings sit along the south and west edges of the 0.23-acre lot. Building A, the Guesthouse, is situated on a north-south axis with its back turned to Jose Street. The Studio Suite, Building B, runs parallel to the west property line. The remainder of the lot is covered with gravel and serves as a parking lot. Walls and fences enclose the lot along its south, east, and north exposures. None of them are of historic vintage.

#### Building A – Guesthouse (726 s.f.)

The Guesthouse — assumed to have started as a shed or possibly a dwelling — is a one-story adobe structure with a pre-1966 appendage across its west elevation. The older section has a sloped roof draining east, while the addition has mostly a flat roof. Both are made primarily of adobe.

#### East

Only the long, east elevation is visible from Jose Street (Photos 1 & 2). Its plain façade has a window opening at the north end. It holds two 3/1 older wood sash, separated by a wood mullion. A faint depression in the wall’s south end may suggest another window was located at that position. A non-historic overhang and gutter traces its length.

#### North

Rounding the corner is the north elevation of the original building. Its plain façade is dominated by grouped 3/1 wood sash windows and an entry fitted with a wide, faux plank door (Photo 3). The addition is set back approximately 10’ to the south. Its north-facing wall holds a steel combination window typical of 1950s construction (Photos 3 & 4).

#### West

The original building's west elevation lacks fenestration (Photo 4). The same side of the addition has a single opening holding a ½-glass wood door (Photo 5).

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____	SRCP _____
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<b>1. Name of property:</b>  Juan and Catarina Duran Property/ Stepbridge Studios	<b>2. Location:</b>  528 Jose Street Westside-Guadalupe Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: _____  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> February 17, 2024	

## South

The south elevation faces a stuccoed wall and has limited fenestration (Photo 5). The single opening appears to have been cut into the wall more recently. It holds an aluminum glide window with wood casings and trim. The addition portion of the building has a non-historic soffit and gutter system.

### **Building B – Studio Suite (3,045 s.f.)**

Stretching 90’ in length, the Studio Suite is a conglomeration of an older building and new construction completed in the 1990s which turned a former residence into a recording studio. Its long, east façade shows this change with its various parapet heights, bump-outs and additions, and lack of windows. It is constructed of a mix of traditional and stabilized adobes.

Starting at the south end may be the remains of the former dwelling — two low-roofed rooms appearing on a 1978 aerial photograph (Fig. 5). The southeast portion, now working as the lobby for the recording studio, has several aluminum windows and a glass door (Photo 6). An older wood casement stands north of the entry. This space is topped with a recent overhang, traced with fascia.

Moving northward are more significant changes: new projections, raised roof heights, and angled massing (Photos 8-10). The roofline was much lower in early aerial photographs and there were no angled sections. Windows and doors appear to have been removed with the renovation. The current openings, fitted with faux plank doors and topped with tiled visors, are not historic. Capping the north end is a tall, angled volume that was added to the older building (Photos 9 & 10/Fig. 6).

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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### Historical Overview

- 328 ½ Rosario Street.
- 328½ North Guadalupe Street.
- 328½ Jose Street.
- 515 Jose Street.
- 520 Jose Street.
- 528 Jose Street.

All these addresses have been assigned to this patch of former arroyo wash, greatly complicating an understanding of the property and its modest built environment.

Glancing back to the 19th century, the land holding Jose Street was owned by its probable namesake, José Duran (Fig. 1). José E. Duran, a prominent Santa Fe Trail freighter, owned a vast tract stretching from Arroyo Mascara north to future West San Francisco Street south. The 1912 King’s map reaffirms this and indicates the subject parcel was part of Duran’s estate following his death in 1907 (Fig. 2).

Moving forward nearly four decades, in 1941 the small rectangle holding the subject lot was transferred from Ana Delgado to Prudencia Vigil; both were single women.<sup>1</sup> Six years later, Vigil deeded the property to Juan and Catarina Duran.<sup>2</sup> The Durans would be associated with the land for another 40 years and were likely responsible for constructing its buildings.

It’s unclear if Juan was related to José Duran, the land baron of West San Francisco Street. The latter’s children and grandchildren stuck around the area, building homes on San Francisco Street and Park Avenue.<sup>3</sup> From census records, Juan and Catarina (born Catarina Gonzales) grew up in San Ildefonso and were children of Spanish farmers. They married when Catarina was 16, and Juan was 29. They established a residence in San

<sup>1</sup> Warranty Deed, Ana Delgado to Prudencia Vigil, recorded June 5, 1941, Book 10/Page 545, Instrument # 1941065402, Santa Fe County, New Mexico.

<sup>2</sup> Warranty Deed, Prudencia Vigil to Juan and Catarina Duran, husband and wife, recorded May 3, 1947, Book 33/Page 117, Instrument # 1947085225, Santa Fe County, New Mexico.

<sup>3</sup> John W. Murphey, “138 Park Avenue: Capsule Property History, Santa Fe, Santa Fe County, New Mexico, Santa Fe County Parcel # 10660224 and 992217414,” October 28, 2023, 5-6. ARC report.

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Ildefonso, surrounded by households headed by males bearing the Duran surname. Juan worked odd jobs, while Catarina stayed home, raising what would be ten children.<sup>4</sup>

While Juan and Catarina appeared in city directories of the period, the address assigned to their home is confusing. For example, looking at a late 1940s directory finds them living at 515 Jose Street, with the 328½ Rosario Street address assigned to Solomon Gonzales and Eloy Martinez, representing two separate households. Adding to the confusion, the 515 Jose address was also given to homes occupied by Ignacio Velarde, A.D. Duran, and Eusebio Rivera.<sup>5</sup>

This most likely indicated that the land was larger, fronting both Jose and Rosario Streets, and was populated with multiple dwellings occupied by several families — several of whom have been related.

The 1950 census has Juan and Catarina living at 515 Jose Street. The household is large again (10 individuals), including children in their 20s holding down jobs, and a child as young as eight.<sup>6</sup>

In the late 1950s, the Durans appear to have fallen behind on their taxes, with the State Tax Commission taking over the deed to the property. Jose died in early 1958, with his estate probated the following year.<sup>7</sup> Catarina received the property through probate.

### A Change of Use

An aerial photograph from 1948 is the first to show the compound property (Fig 3). The next available aerial, from 1966, is much clearer and gives a sense of how the property and immediate area had evolved over the two decades (Fig. 4).

<sup>4</sup> U.S. Census Bureau, Year: 1930; Census Place: San Ildefonso, Santa Fe, New Mexico; Page: 4A; Enumeration District: 0044; FHL microfilm: 2341134.

<sup>5</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1949 (El Paso: Hudspeth Directory Company, 1949), 393 and 407.

<sup>6</sup> U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 7; Enumeration District: 26-11.

<sup>7</sup> Based on review of copies of tax deeds provide by owner.

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Rosario Street had been widened in the late 1950s as a bypass for U.S. Highways 64/84/285. The project, creating the so-called Tesuque Highway bypass, not only broadened the street but also changed its curvature.<sup>8</sup> It involved purchasing private property, including buildings that may have been linked to the subject parcel.

The improvement included rezoning lots facing the bypass, most of which became commercial, enticing new development. What were once adjacent residential lots were converted in 1963 to a Blake’s Lotaburger with a parking lot and a drive-up canopy edging the subject property.

The 1966 image tells this story and documents the lot’s composition (Fig. 4). By this time, it was populated with three buildings. Building B, now holding the studios, is the largest and appears to be a residence with several additions. Building A, potentially also a dwelling, has its present addition across the west elevation. Building C, likely a small dwelling, takes up the northwest corner. This arrangement of buildings is maintained through the late 1970s, as evident in a 1978 aerial (Fig. 5).

Catarina G. Duran died in 1983. She was 83. She is buried with her husband at Santa Fe National Cemetery.

The property experienced a significant alteration in 1992 when the interrelated dwellings were converted into a recording studio. Detroit native and former St. John’s student Tim H. Stroh purchased the property to expand his homegrown Stepbridge Studios, a recording studio he had seeded in Santa Fe’s southside in 1986.

Stroh converted Building B into two recording units with a live room, control room, and machine areas. The work involved completely altering the former dwellings, removing windows and doors, and adding new adobe spaces.<sup>9</sup> The renovation, based on visual evidence, also included building additions, increasing roof heights, removing doors and windows, and adding angled corners. A painting studio for was created for Molly Walsh Stroh. It was, in simple words, a huge change for the site.

<sup>8</sup> John W. Murphey, “235 North Guadalupe Street, The Burger Bowl-Bert’s Burger Bowl-Taco Fundacion, Santa Fe, Santa Fe County, New Mexico,” *New Mexico Historic Cultural Properties Inventory 1 & 2*, January 13, 2021, 6-8.

<sup>9</sup> Dwight Loop, “Stepbridge Goes to Downtown for Uptown Sound,” *Santa Fe New Mexican, Pasatiempo*, May 1, 1992, P-24.

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### Making Flamenco

The move to Jose Street allowed Stroh to offer 16- and 24-track recording capabilities.<sup>10</sup> While he had recorded numerous local acts in the former studio, the upgrade and its hacienda-like setting began to bring in bigger acts. This included future five-time Grammy Award nominee and part-time Santa Fe resident Ottmar Liebert.

Liebert, a German-born flamenco stylist, recorded his first two albums, *Nouveau Flamenco* (1990) and *Borrasca* (1991), at Stepbridge Studios.<sup>11</sup> Liebert, whose first album would go Platinum, emerged (along with the Gypsy Kings) as the soundtrack of Santa Fe’s chic period, heard in every faux cantina and trinket shop along the Plaza.

Stroh sold Stepbridge Studios to Edgard Rivera in 2006. Rivera changed the format and offered voice-over and Automated Dialogue Replacement production instead of recording live music.<sup>12</sup> The property was sold most recently to Tim Schmoyer, a Boston-area sound and recording engineer, and his wife, Kate Carswell. Schmoyer partnered with longtime Santa Fe resident Jono Manson to establish Kitchen Sink, LLC. Rivera still owns and operates Stepbridge Studios.

<sup>10</sup> Ibid.

<sup>11</sup> All Music, “Ottmar Liebert (Credits),” <https://www.allmusic.com/artist/ottmar-liebert-mn0000157377#credits>, accessed March 6, 2024,

<sup>12</sup> Pro Audio Design Inc., “Producers Jono Manson and Tim Schmoyer Revive a Legendary Studio in Santa Fe,” June 29, 2016, <https://www.proaudiodesign.com/blogs/pad-profiles/producers-jono-manson-and-tim-schmoyer-revive-a-legendary-studio-in-santa-fe>.

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## Evaluation of Historical Status

While both buildings pre-date 1966, as evidenced by an aerial photograph, neither warrants Contributing status. Building A is a modest conglomeration of two adobe structures that may have been a dwelling. Its limited fenestration suggests windows have been removed. It is not a good example of traditional construction. Building B received a transformational renovation in the 1990s, changing from a residence to a recording studio. There is nothing left of the former except potentially a few sliding windows.

The recommendation is to maintain the Non-Contributing status for both structures.

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## Illustrations



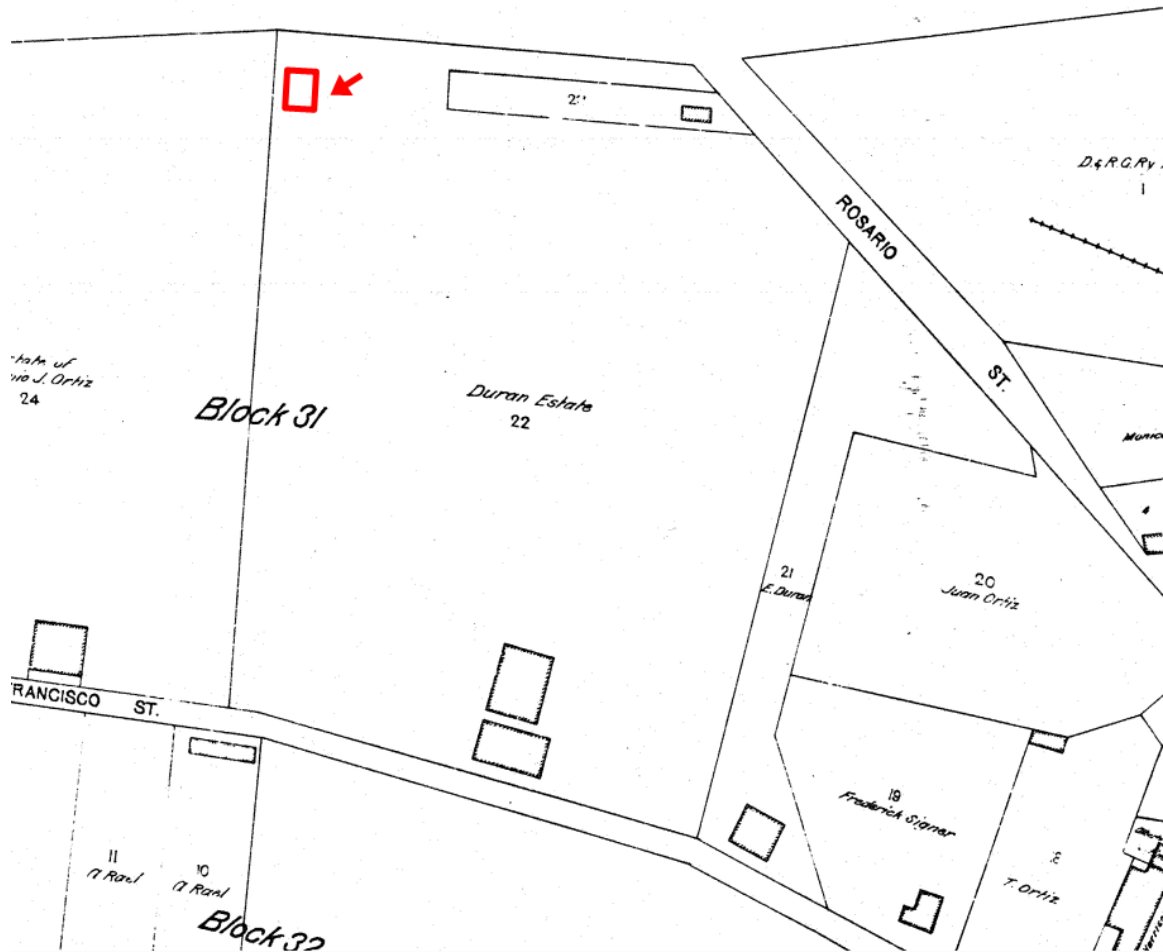
**Figure 1: Approximate location of future subject parcel.**  
 William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits,"  
 1897-98.

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*Arroyo de las Mascaras*

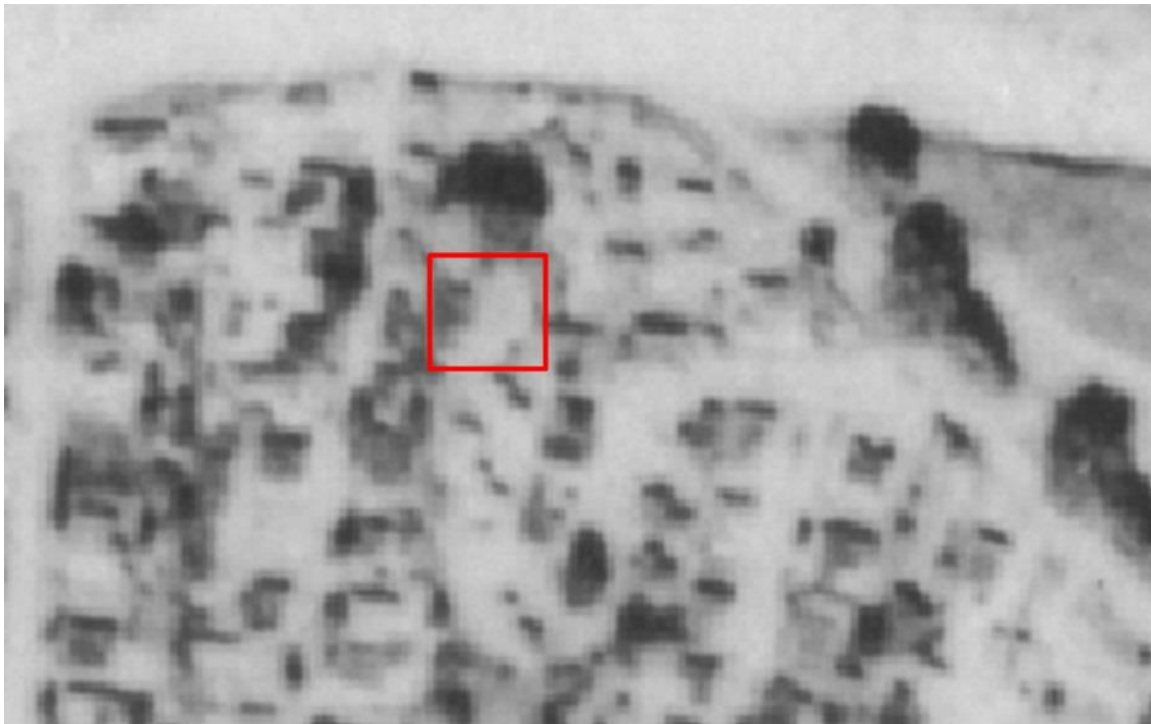


**Figure 2: Approximate location of future subject parcel.**  
 N. L. King, "Official Map of the City of Santa Fe," 1912.

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**Figure 3: Approximate location of parcel. Note presence of Building B. October 25, 1948, aerial photograph.**

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**Figure 4: Compound property. Note presence of Building A with west addition.  
May 2, 1966, aerial photograph.**

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**Figure 5: Compound property. Note presence of Building C. September 11, 1978, aerial photograph.**

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**Figure 6: Contemporary aerial overlain 1973 image. Note north addition to Building B and removal of Building C.**

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## Survey Photographs

(All images taken by Giulia Caporuscio on February 17, 2024)

### Building A – Guesthouse



**Photo 2: East elevation. Camera facing west.**

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**Photo 3: North elevation. Camera facing south.**

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**Photo 4: West and north elevations. Camera facing south.**

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**Photo 5: West elevation. Camera facing east.**

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**Photo 6: South elevation. Camera facing east.**

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**Building B – Studio Suite**



**Photo 7: Southeast corner. Camera facing northwest.**

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**Photo 8: East elevation. Camera facing southwest.**

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**Photo 9: East elevation. Camera facing west.**

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**Photo 10: East elevation. Camera facing southwest.**



# City of Santa Fe, New Mexico

# memo

**DATE:** April 9, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Paul A. Duran, Senior Planner, Historic Preservation Division

---

**2024-007992-HDRB. 711 Don Cubero Alley.** Don Gaspar Historic District. Non-contributing. Landon Lott, owner, requests a status review with primary façade(s) designation.

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Primary Façade Diagram

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

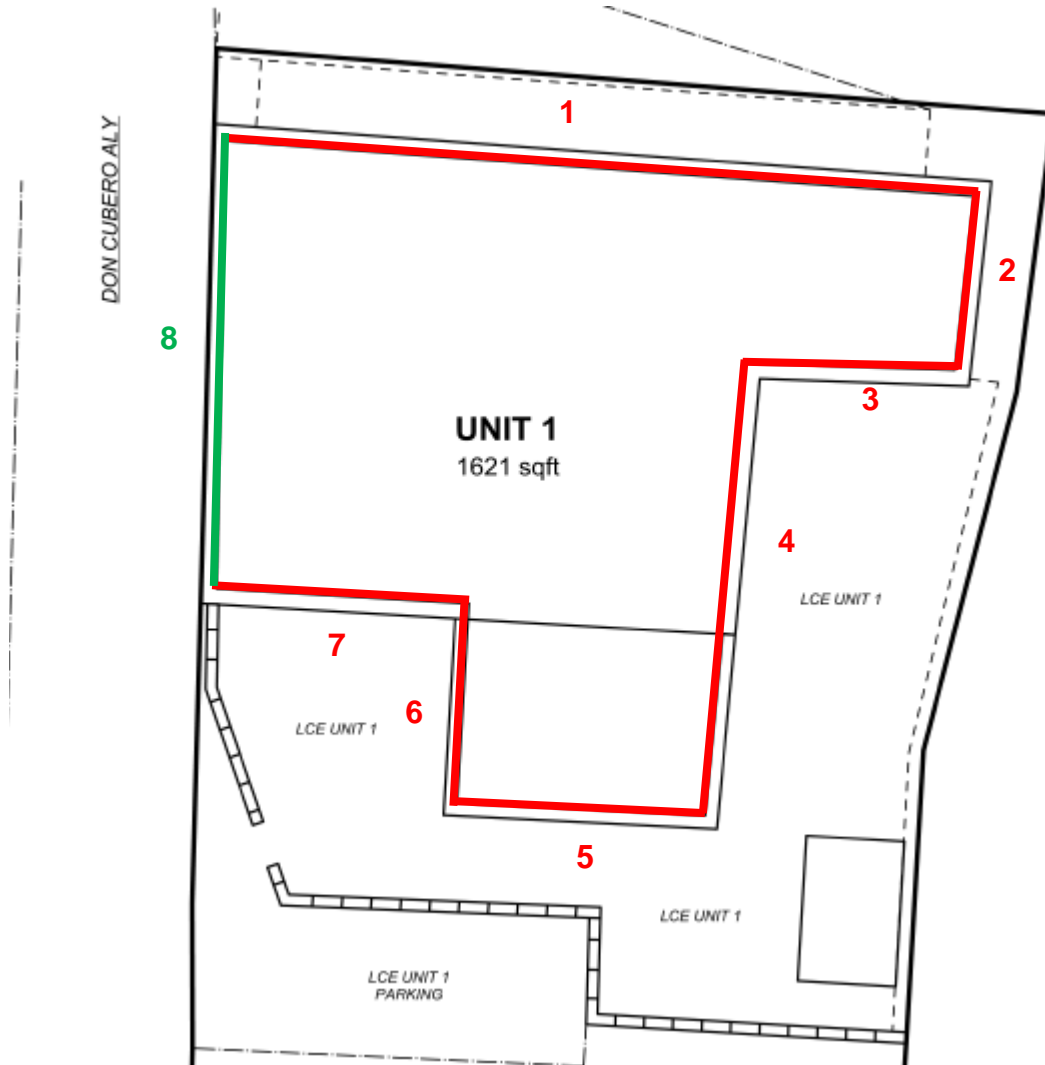
**STAFF RECOMMENDATION:**

Staff recommends the historic status of the structure be upgraded to contributing with the west façade designated as primary as identified on the façade diagram number 8, per 14-5.2(C) Designation of Significant and Contributing Structures.

**BACKGROUND & SUMMARY:**

711 Don Cubero Alley is a single-family residence listed as non-contributing to the Don Gaspar Historic District. The structure was built in the early 1900s consisting of two bedrooms and comprising of 1,602-square feet. The architectural design of the structure is a modest vernacular style as seen by the original rectangular shape and footprint, adobe block construction material, recessed doors and windows, and flat roof with rounded parapets. The structure has evolved through time which can be seen from the roof top and southern façade. General maintenance and

repair have changed the original doors and windows of the structure, and the addition of the sunroom has transformed the southern façade. The western façade still maintains the integrity of the original construction of the structure excluding the two non-historic divided lite windows. The structure still holds the value of a contributing structure to the Don Gaspar Historic District even though renovations have occurred throughout time as seen by the structural design and fenestration.



**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

#### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

##### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

#### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

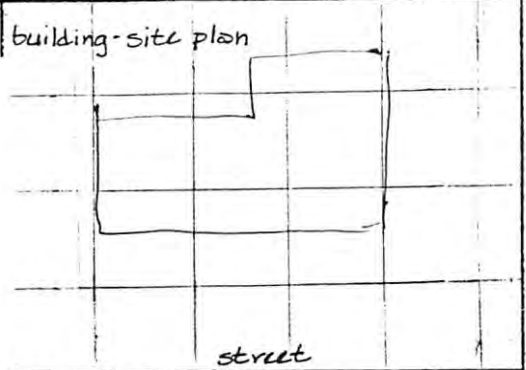
#### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

building threatened? yes	surveyed date	by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 568	UTM reference zone 12	easting 414400	northing 7000
location description 711 Don Cubero Alley east side Don Cubero, south end - behind #37 Cerrillos			city/town Santa Fe	
building name			legal description tensp N S range E W sec 1/4 1/4	
film roll by E.T. no. 18	negative nos. 28	29	loc. of neg. City of Santa Fe	building-site plan



date of construction  
 \_\_\_\_\_ estimate \_\_\_\_\_ actual  
 source

use  
 present residential  
 other \_\_\_\_\_  
 historic residential  
 other \_\_\_\_\_

condition  
 \_\_\_\_\_ excellent \_\_\_\_\_ good  
 \_\_\_\_\_ fair \_\_\_\_\_ deteriorating

degree of remodeling  
 X minor \_\_\_\_\_ moderate \_\_\_\_\_ major  
 describe:

style  
 ←

foundation material  
 n/v

wall material/surface  
 adobe/stucco

architectural features  
 wd a/b 1-1  
 plain moldings  
 parapet  
 panales

surroundings  
 Yes

relationship to surroundings  
 X similar \_\_\_\_\_ not similar

district potential  
 X yes \_\_\_\_\_ no

significance  
 \_\_\_\_\_ significant X contributing  
 \_\_\_\_\_ supporting \_\_\_\_\_ intrusive  
 date?

comments

associated buildings? \_\_\_\_\_ yes  
 what type?


if inventoried, list ID nos.


see back? \_\_\_\_\_ yes

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

**Date of Form: February 25, 2024 - F**

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
1. Name of property: Fidelia T. Mendoza House	2. Location: 711 Don Cubero Alley Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-1721  4. County: Santa Fe Parcel # 99310010
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 house <input checked="" type="checkbox"/> Structures: Walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: February 17, 2024		
7. Previous Survey Date: <input checked="" type="checkbox"/> Yes: No date <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6800645,-105.9473802		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View north and west elevations. Camera facing southeast.		
11. Brief Description of the Property:  <p><b>Sitting along a dirt alley approximately 130' south of Cerrillos Road is an old adobe home with several additions. The core of the house, likely dating to the early 1900s, is the east-west piece along the north. This was also historically the front of the house. To this was added a square adobe appendage at the southwest corner and another piece adjacent to the east, all before 1930. A sunroom of stock windows was introduced after 1978, changing the building's geometry. At this point, the mostly obscured north elevation is the home's best side. But even it has changed.</b></p> <p><b><i>Continued on Page 5.</i></b></p>		
12. Who uses the property? House		
13. Construction Date: Date: Portion, pre-1912, assumed, and pre-1930 additions, and post-1978 sunroom <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: King's map, Sanborn maps, aerial photographs		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>	
 <p style="margin-top: 10px;">Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 <a href="mailto:John@archhistoryservices.com">John@archhistoryservices.com</a> w/ Giulia Caporuscio</p> <p>For: Current owner: Landon K. Lott and Bridget Leigh Stanga</p>
<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: N/A</p>	
<p>19. Is Property Endangered?    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> No    <input type="checkbox"/> Yes    How?</p>	
<p>20. Significance to Current Community:    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> None    <input type="checkbox"/> Low    <input type="checkbox"/> Moderate    <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register?    <input type="checkbox"/> Unknown    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes If yes:    <input type="checkbox"/> State    <input type="checkbox"/> National</p> <p>If <b>'no' or unknown, do you think</b> this property is eligible for listing?    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district?    <input type="checkbox"/> Unknown    <input type="checkbox"/> No    <input checked="" type="checkbox"/> Yes If yes:    <input type="checkbox"/> Significant    <input type="checkbox"/> Contributing    <input checked="" type="checkbox"/> Non-contributing: house    <input checked="" type="checkbox"/> No Status: walls Per City of Santa Fe official designation map</p> <p>If <b>'yes'</b>, what is the name of the district?    <input type="checkbox"/> State    <input type="checkbox"/> National    <input checked="" type="checkbox"/> City of Santa Fe: Don Gaspar Area Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None    <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2)    <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP _____ SRCP _____	Criteria <u>  A  </u> <u>  B  </u> <u>  C  </u> <u>  D  </u>
1. Name of property: Fidelia T. Mendoza House	2. Location: 711 Don Cubero Alley Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-1721	
		4. County: Santa Fe	
		5. Date of Survey: February 17, 2024	

**ARCHITECTURAL AND CONSTRUCTION DETAILS:**

6. Visible Construction Material:  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:	7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____  8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  9. Roof: <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:
---	---

10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Sash</td><td>Wood</td><td>1/1</td><td>3</td></tr> <tr><td>Sash</td><td>Vinyl/Comp</td><td>1/1</td><td>1</td></tr> <tr><td>Sash</td><td>Metal</td><td>1/1</td><td>9</td></tr> <tr><td>Casement</td><td>Wood</td><td>4</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>9</td><td>1</td></tr> <tr><td>Awning</td><td>Wood</td><td>6</td><td>1</td></tr> <tr><td>Combination</td><td>Wood +</td><td>6C-1F-6C</td><td>1</td></tr> </tbody> </table>	Operation	Material	Glazing	Number	Sash	Wood	1/1	3	Sash	Vinyl/Comp	1/1	1	Sash	Metal	1/1	9	Casement	Wood	4	1	Casement	Wood	9	1	Awning	Wood	6	1	Combination	Wood +	6C-1F-6C	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 5px;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>1/2-light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Full light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Decorative</td><td>Wood</td><td>1</td></tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	1/2-light	Wood	1	Single-Leaf	Full light	Wood	1	Single-Leaf	Decorative	Wood	1
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Single-Leaf	Full light	Wood	1																																														
Single-Leaf	Decorative	Wood	1																																														

Note: Based on visibility and access during survey

12. Chimneys <input checked="" type="checkbox"/> one, interior; stuccoed	13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap
--	--

14. Other Significant Features N/A

15. Modifications:      No known modifications

#1 Date: Pre-1930, two additions to south; King's and Sanborn maps  
 #2 Date: Post-1978, sunroom; 1978 aerial photograph  
 #3 Date: 2012 to Present: installation of skylights; replacements of doors and windows; change of door to window; construction of yard walls and fences, and other changes; aerial photographs; real estates ads; HDRB case public notice; visual and material evidence.

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |   |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial            |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival          |

Notes:  Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

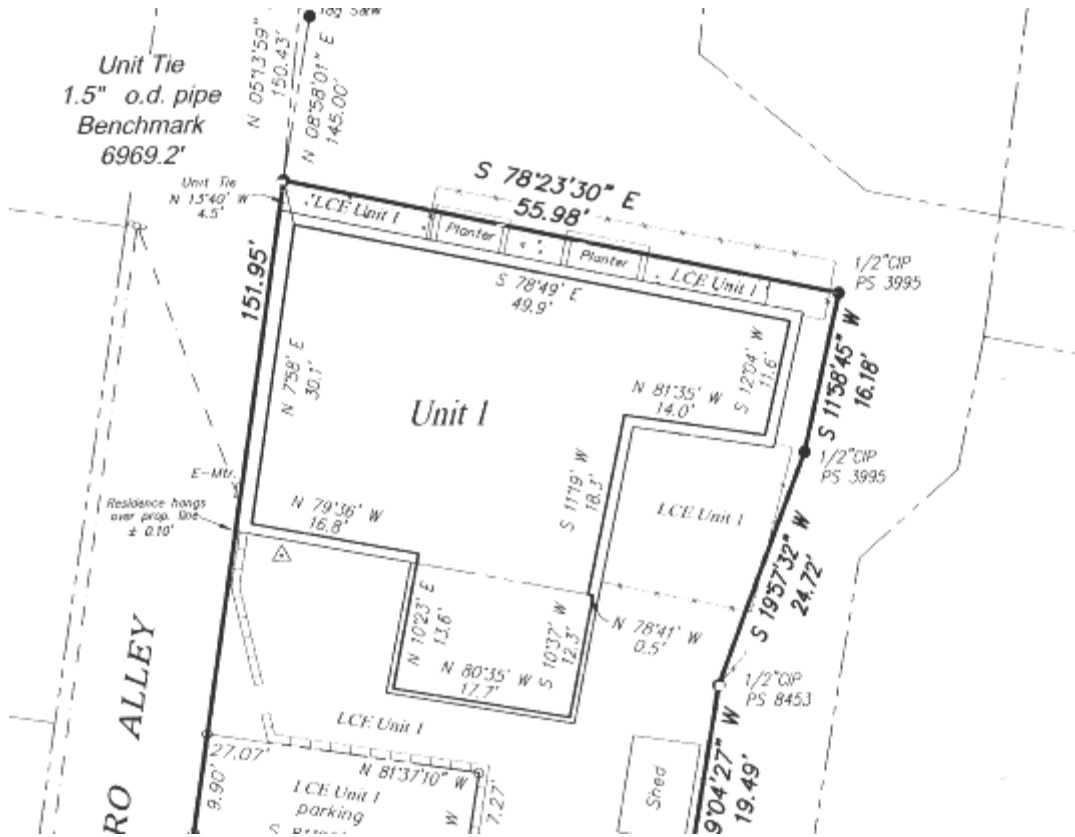
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of 2019 Don Cubero Compound Condominiums plat. Courtesy Sierra Land Surveying, Inc.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
1. Name of property: Fidelia T. Mendoza House	2. Location: 711 Don Cubero Alley Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-1721			
		4. County: Santa Fe			
		5. Date of Survey: February 17, 2024			

## Architectural Description Continued

### Setting

The house stands on the east side of Don Cubero Alley, an ersatz piece of the Don Diego Addition to the south. Named for the Spanish governor, Don Pedro Rodríguez Cubero, the narrow dirt alley had nothing to do with the subdivision and was developed independently with ad hoc construction. It is probably the oldest home on the 530-foot-long dirt lane. The mostly adobe house encloses approximately 1,600 square feet including two bedrooms, two baths, a living room, a kitchen, and a sunroom. It is surrounded by walls and fences which have been recently erected (Photos 1 & 5).

### North

A coyote fence obscures the original front elevation which originally faced a related house and later an informal parking lot (Fig. 8). It is the house’s longest elevation and is fenestrated with openings typical of older adobe construction (Photo 2). These historically included a door-window-door-window pattern. The two separate doors likely indicated accretive “tenement” construction. Accretive development is indicated by a view of the roof, which shows three distinct planes. The east door has been replaced with a window, breaking this pattern. The older wood sash windows are tucked into the wall with wood casings and slanted wood sill (Photo 3). Added to this is a sill extension made of bricks arranged in a header pattern.

### West

Facing the alley, the west elevation includes the original home and the pre-1930s addition (Photo 4). They blend almost seamlessly, and each has an opening holding a modern, multi-light casement. The south end of the façade is a blank wall (Photo 5). Two older trough-type *canales* cut through its parapet.

### South

The south elevation looks onto a walled yard. The yard once extended southward into the neighboring property, which was lopped off from the Mendoza land in the 2010s to build condos. Dominating the façade is a three-sided sunroom (Photos 6 & 7). The space

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is constructed of nearly identical larger residential sash resting on a low bulkhead. It does not seem to have a passive solar function, as the windows are operational and poorly sealed. It was built after 1978 (Fig. 9) and likely worked as a greenhouse. Set back nearly 30' from the sunroom is the original building. A modern, full-light door penetrates the wall (Photo 7).

### **East**

The east elevation reveals all the pieces of the home's evolution (Photo 8). It begins at the north with the original adobe house. Its short elevation has no openings. Next is an addition, likely built before 1930 and appearing on a 1948 aerial (Fig. 7). Its east wall, sheltering the living room, is spanned by a long combination window comprising a fixed pane flanked by recent casements. It has a built-up stucco sill reminiscent of the 1980s. The elevation ends jarringly with the sunroom.

### **Historical Overview**

On February 25, 1942, two years after filing for divorce, Fidelia Mendoza, a housemaid with eight children, received a deed from her ex-husband for a small adobe home along a public alley south of Cerrillos Road. It would be here that Fidelia and her children would reside for nearly 70 years.

Don Cubero Alley, for many years given a Cerrillos Road address, existed in a liminal space between a bustling highway on the north and a formal subdivision of polite Pueblo Revival homes on the south. Fidelia's adobe house, along the narrow dirt lane, was part of neither. It sat with a few other small homes in this undefined space, neither commercial nor suburban.

The land, based on late 19<sup>th</sup>-century maps, was likely a remnant of an agricultural tract (Fig. 1). Above it ran Arroyo Tenorio, a stone-lined ditch ambling west. Intersecting the arroyo was an old cart road dating back to the colonial period — at the time named Penitentiary Road and leading to the state prison.

The property appears on the 1912 King's map as land owned by Juan Chaves, and part of the current house may be the smaller dwelling depicted on the map (Fig. 2). Little is known about Chaves. John Howard Vaughn, a New York-state investor who was a

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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business partner of Senator Stanley Elkins, owned the large tract to the east. By the time Fidelia’s husband bought the property, it was owned by the Gonzales family.<sup>1</sup> In 1926, the old cart road was federalized as an alignment of U.S. Highways 66 and 285. Soon gas stations, cafes, and tourist camps — many proximate to the alley house — popped up along the road. Confusingly, for years the alley house shared an address (711 Cerrillos Road) with a service station that sat in what is now the middle of Don Diego Avenue (Fig. 5).

Over the years, the former Chaves and Vaughan lands were carved up and filled in with homes. Route 66 shifted south to Albuquerque, and the Don Diego subdivision was completed. Still, the alley house remained.

### **A Rancher’s Daughter**

Fidelia Mendoza was born on April 24, 1899, in Palma, Torrance County, to Nicolas and Guadalupe Tenorio. Her father was a sheep and cattle rancher who received a 160-acre homestead patent three years earlier.<sup>2</sup> Born in Galisteo in 1869, Nicolas was a group of adventuring Hispanics who took advantage of the homestead act, seeking land on New Mexico’s share of the South Plains to establish farms and ranches. But these could only survive with a plentitude of rainfall, which diminished in the late 1910s.

Fidelia — her name signifying loyalty and faithfulness — was the third of eight children. She attended a homestead school and once served as Palma’s postmistress.<sup>3</sup> Around 1921, at age 22, she married José Antonio Mendoza, a handsome man who lived in Galisteo and worked as a clerk (Fig. 3). A year later, Fidelia gave birth to her first child, Francisco (Frank) A. Mendoza, one of eight children who would be raised in the house along the alley.

The family moved to Santa Fe, and José acquired a portion of the old Juan Chavez land, likely including the little block house shown on the King’s map. In Santa Fe, he established a woodyard and delivered wood around town in his truck. The 1930 census

<sup>1</sup> Warranty Deed, Damacio and Florencia L. Gonzales, to José Mendoza, recorded March 25, 1934, Book M5/Page 377, Instrument # 1924028109.

<sup>2</sup> Bureau of Land Management/General Land Office, Tenorio, Nicolas, Document # 2250.

<sup>3</sup> “Mendoza, Fidelia, T.,” *Santa Fe New Mexican*, April 6, 1989, 3.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
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— the first to record the family living on the alley — found the house populated with José and Fidelia, both 29, along with their children, Francisco, 7, José, Jr., 6, Guadalupe, 5, nearly 3, and Ada, nearly 2. The property was worth \$3,000, a remarkable amount for the time.<sup>4</sup>

As more children came along, the house increased in footprint. This is evident in the 1930 Sanborn map, which shows what appears to be an addition along its south edge (Figs. 4 & 7). More children arrived in the 1930s, and Fidelia began to work part-time as a domestic in a private residence. The 1940 census recorded the house occupied by the working couple and eight children ranging in age from 9 to 17.<sup>5</sup> Two years later, Fidelia filed for divorce, citing incompatibility.<sup>6</sup> She retained her husband’s name (Fig. 6).

After gaining the property<sup>7</sup>, Fidelia began to work full-time. Over the years, she worked as a private maid and a cook. She worked at several restaurants and the St. Francis Cathedral School cafeteria. During the war, three of her sons — Frank, Joe, Jr., and Arturo — enlisted in the Navy. Joe would fight in the Asiatic-Pacific Theater and would later participate in the Philippine Liberation campaign, an event seared in New Mexico’s psyche. Frank, a Chief Master Petty Officer, would serve in Korea and Vietnam.

In 1950, the first census after the war listed the household headed by Fidelia, now working full-time as a pastry chef.<sup>8</sup> The household included her children, Arturo, Rosina, and Helen, and a grandson, Raymond. Changes occurred to the alley neighborhood, as old adobe homes lining Cerrillos were converted to commercial uses. The bigger Chaves house to the north — shown on the King map — was demolished in the late 1950s, and replaced with an insurance building (today, it is much altered and holds the Modern General store).

<sup>4</sup> U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 10B; Enumeration District: 0009; FHL microfilm: 2341134.

<sup>5</sup> Ibid., Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 12A; Enumeration District: 25-9B.

<sup>6</sup> “Suit for Divorce,” *Santa Fe New Mexican*, May 24, 1940, 8.

<sup>7</sup> Quit Claim, José Mendoza, to Fidelia T. Mendoza, recorded March 27, 1942, Book 23/Page 108, Instrument # 1942068407.

<sup>8</sup> U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 76; Enumeration District: 26-26.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
1. Name of property: Fidelia T. Mendoza House	2. Location: 711 Don Cubero Alley Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-1721			
		4. County: Santa Fe			
		5. Date of Survey: February 17, 2024			

Fidelia’s offspring would eventually leave the home. She continued to work full-time, and later took care of foster children.

In the early 1970s, Fidelia temporarily lost the property to taxes. She regained it through a deed from the county in 1973. Five years later, she gave it to her oldest child, Frank A. Mendoza, the former Navy officer.<sup>9</sup> He had been living in a mobile home off Airport Road.

Fidelia Tenorio Mendoza died in 1989. She had lived 89 years. Her son Frank continued to reside in the house along the alley. There he tended nearly 40 roses and walked his two Jack Russell dogs in the neighborhood.<sup>10</sup> He likely built the sunroom, which may have been connected to his rose-rearing.

The decorated war veteran had problems paying the mortgage, resulting in the property passing to Wells Fargo. Frank died in 2009 at age 86. Soon after his death the south half of the property was separated from the old house and redeveloped into condos. At the same time, the new owner of both properties received permission from the Historic Districts Review Board to add skylights to the 100-plus-year-old house and install new stucco-on-block yard walls (Case # H-11-139). Further changes have occurred since then.

## Evaluation of Historical Status

While a piece of the building likely predates 1912, subsequent additions — most notably the sunroom — have altered all its elevations except perhaps the west, which only holds two windows. With the loss of one of the north front doors and the presence of the fence, the building no longer communicates its original orientation and tenement development. For these reasons, the recommendation is to maintain Non-Contributing status. The walls and fences are not historic and are also recommended as Non-Contributing.

<sup>9</sup> Quitclaim Deed, Fidelia T. Mendoza, to Frank A. Mendoza, recorded November 28, 1978, Book 372/Page 289, Instrument # 1978430644.

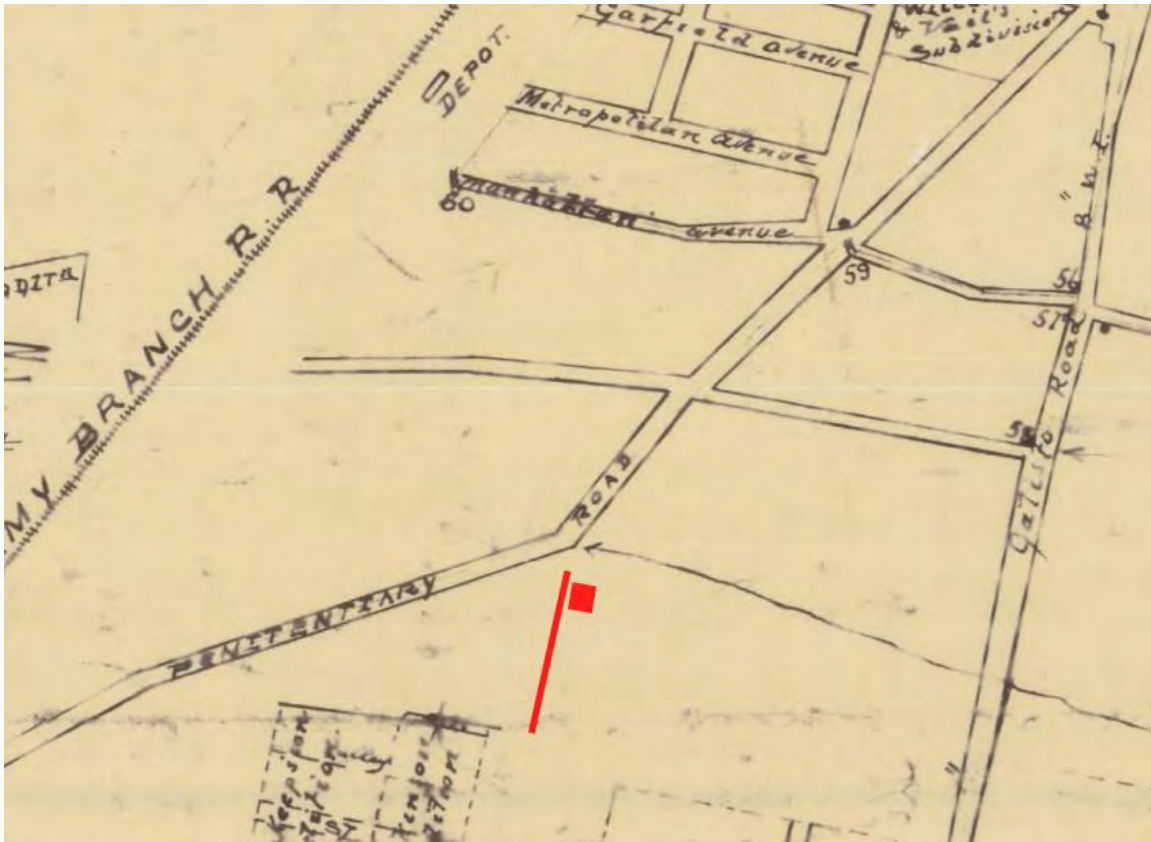
<sup>10</sup> “More to War than Drive-Up Convenience,” *Santa Fe New Mexican*, April 14, 2003, 7.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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## Illustrations



**Figure 1: Approximate location of future alley and house.**  
**William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits,"**  
**1897-98.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 2: Highlighted Juan Chavez house likely incorporated into current structure.**  
**N. L. King, "Map of the City of Santa Fe," 1912.**

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**Figure 3: Circa 1921 wedding photo. José and Fidelia Mendoza.**  
 Courtesy Mendoza family.

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 4: Subject house with additions. 1930 Sanborn Fire Insurance Map.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____		Criteria <u>  </u> <u>  </u> <u>  </u> <u>  </u> <u>  </u> <u>  </u>			
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**Figure 5: Influence of Cerrillos Road highway corridor.  
1930 Sanborn Fire Insurance map overlain contemporary aerial.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 6: Circa 1940s portrait photo of Fidelia Mendoza.  
 Courtesy Mendoza family.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)  
Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Figure 7: Subject house circled.  
October 25, 1948, aerial photograph.**

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**Figure 8: Fidelia Mendoza in front of house (north elevation), 1966.**  
 Courtesy Mendoza family.

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**Figure 9: Subject house; note absence of sunroom addition.  
 September 11, 1978, aerial photograph.**

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## Survey Photographs

(All images taken by Giulia Caporuscio on February 17, 2024)



**Photo 2: West elevation. Camera facing east.**

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**Photo 3: North elevation. Camera facing southwest.**

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**Photo 4: West elevation. Camera facing east.**

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**Photo 5: West and south elevation. Camera facing northeast. Note wall is non-historic.**

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**Photo 6: South elevation and sunroom. Camera facing northeast.**

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**Photo 7: Sunroom. Camera facing northwest.**

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**Photo 8: East elevation. Camera facing southwest.**

DON CUBERO ALY

8

1

2

**UNIT 1**  
1621 sqft

3

4

LCE UNIT 1

7

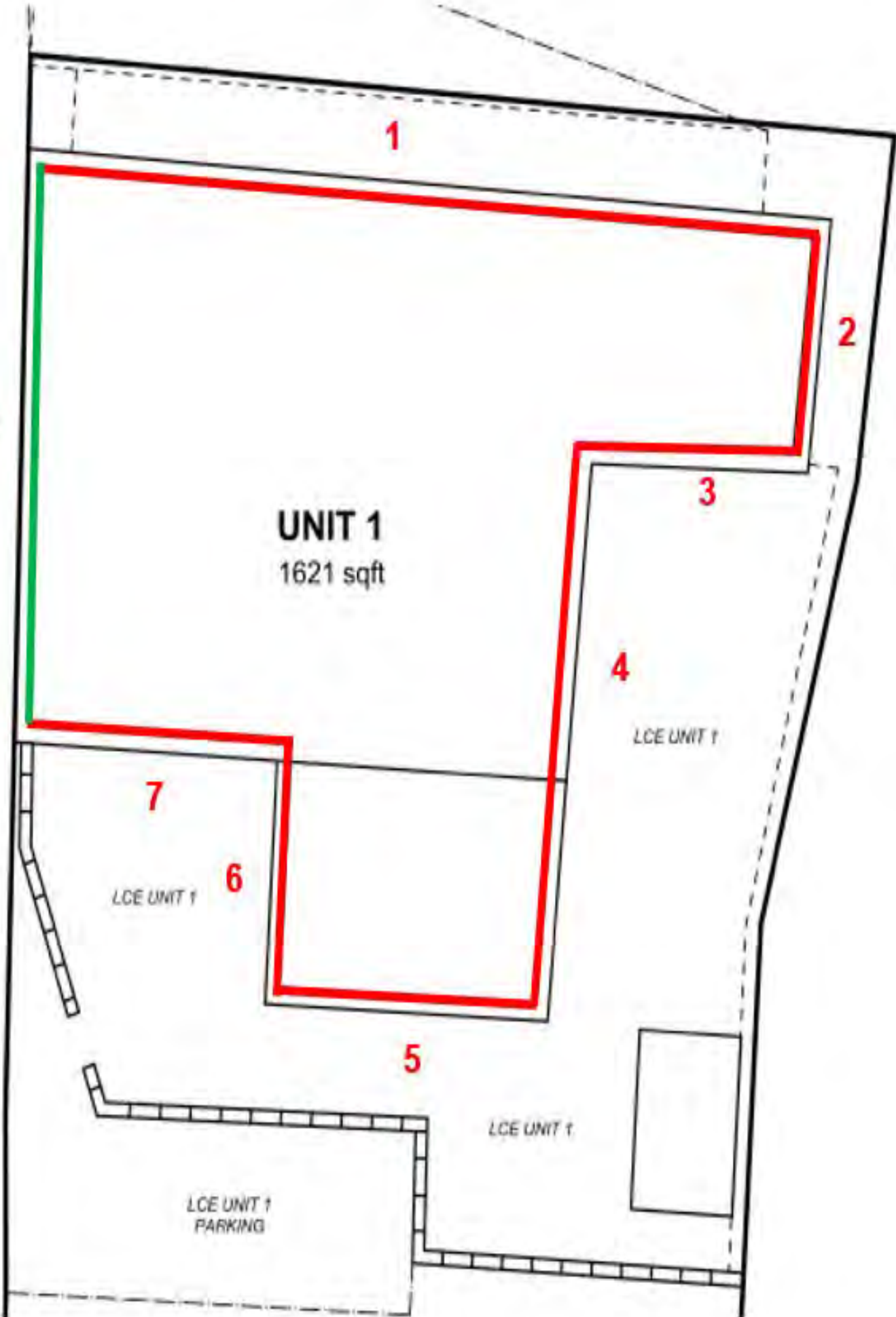
6

LCE UNIT 1

5

LCE UNIT 1

LCE UNIT 1  
PARKING




711 Don Cubero Aly  
Santa Fe, NM 87505  
Owner: Landon Lott and Bridget Stanga  
Contact: 225.718.9590  
[LandonLott@gmail.com](mailto:LandonLott@gmail.com)

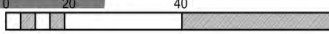
#### HDRB PROPOSAL LETTER

I would like a status review for our property located at 711 Don Cubero Aly, Sant Fe NM 87505. Our property was last reviewed in 1983 and was designated as Non Contributing. My wife and I have been working with the historian John Murphey to survey and review our property and he has maintained the recommendation of Non Contributing. Before we submit a review of a remodel on our home, we would like HDRB to review and advise us to the current status of our property.

PLAT AND PLAN  
DON CUBERO COMPOUND CONDOMINIUMS  
UNIT 1  
A certain tract of land within  
projected Section 26, T. 17 N., R. 9 E., N.M.P.M.  
within the Santa Fe Grant,  
City of Santa Fe County New Mexico  
711 Don Cubero Alley  
INSTRUMENT No. 1893280



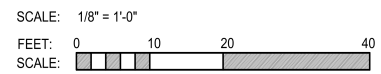
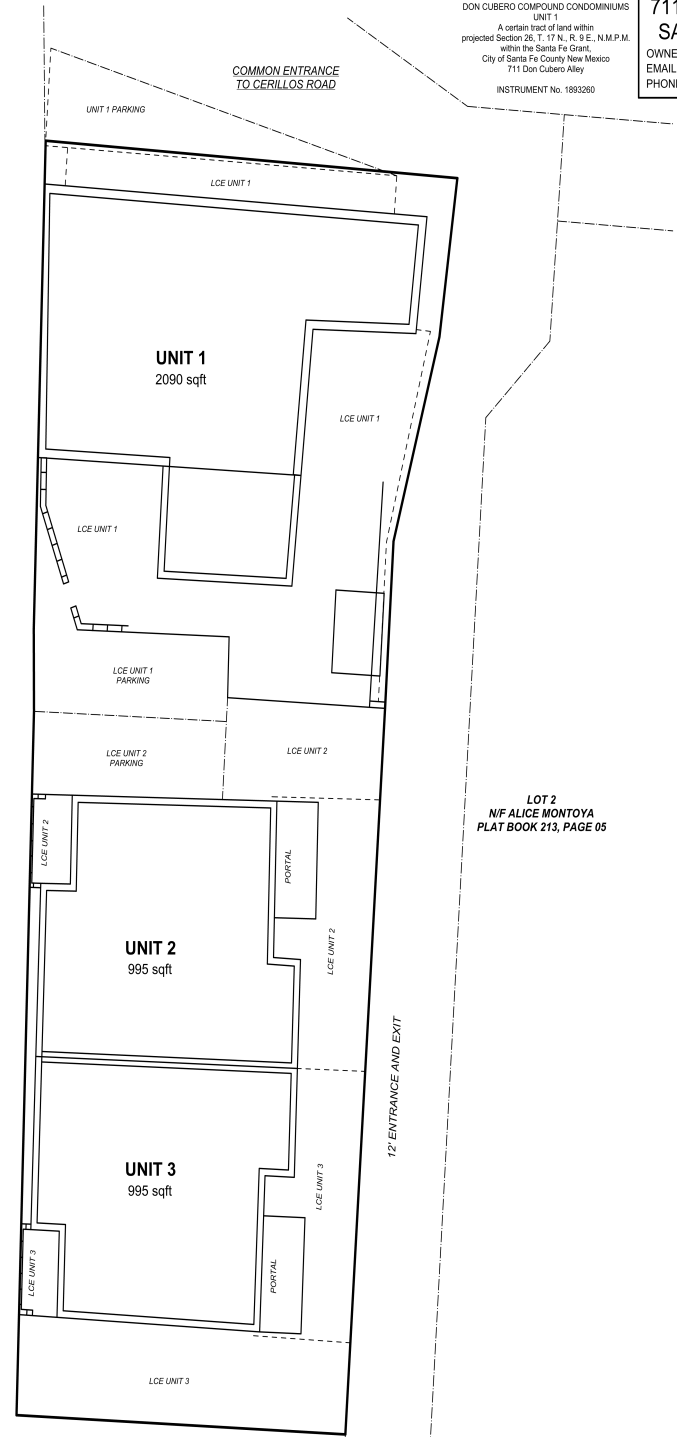
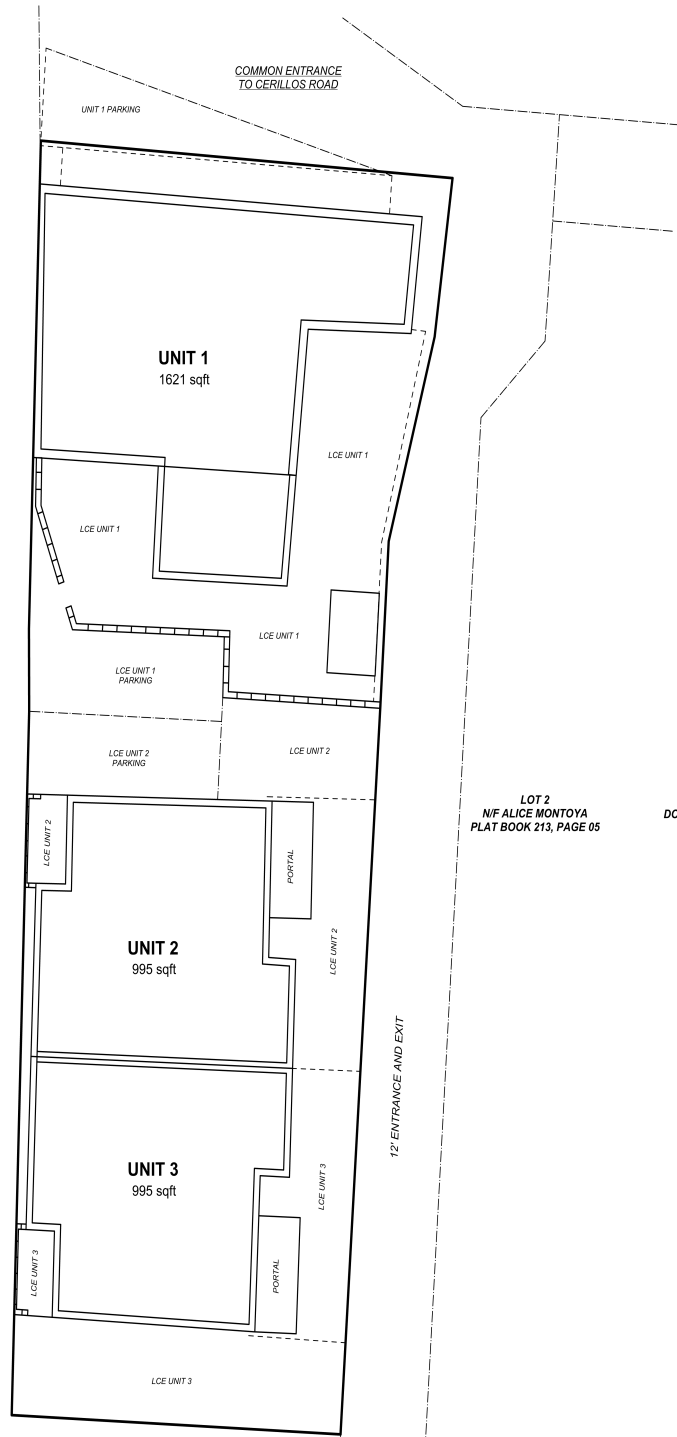
 NORTH

SCALE: 1" = 20'-0"  
FEET: 0 20 40 80  
SCALE: 

**S1** EXISTING SITE PLAN  
PLAN 1" = 20'-0"

PLAT AND PLAN  
 DON CUBERO COMPOUND CONDOMINIUMS  
 UNIT 1  
 A certain tract of land within  
 projected Section 26, T. 17 N., R. 9 E., N.M.P.M.  
 within the Santa Fe Grant,  
 City of Santa Fe County New Mexico  
 711 Don Cubero Alley  
 INSTRUMENT No. 1893280

**711 DON CUBERO ALY**  
**SANTA FE, NM 87505**  
 OWNER: LONDON LOTT & BRIDGET STANGA  
 EMAIL: LONDONLOTT@GMAIL.COM  
 PHONE: 225.718.9590



**D1** EXISTING DEVELOPMENT PLAN  
 PLAN 1/8" = 1'-0"

**D2** PROPOSED DEVELOPMENT PLAN  
 PLAN 1/8" = 1'-0"



ELEVATION OF NORTH WALL



ELEVATION OF WEST EXTERIOR WALL



ELEVATION OF WEST ENTRY GATE



ELEVATION OF WEST ENTRY WALL



VIEW OF ENCLOSED PORTICO BEING PROPOSED FOR DEMOLITION



ELEVATION OF SOUTH ENTRY WALL



ELEVATION OF EAST ENTRY WALL



ELEVATION OF EAST WALL



VIEW OF NORTHEAST CORNER  
FROM COMMON ENTRANCE



VIEW OF NORTHWEST CORNER FROM  
NORTH ENTRY TO DON CUBERO ALY



VIEW OF NORTHERN WALL FROM CERILLOS



VIEW TOWARDS CERILLOS FROM NORTHERN WALL



# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2023-006490--HDRB

**Project Description:** 2023-006490-HDRB. 1596 Canyon Rd. Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,900 sq. ft. single-family residence with a 585 sq. ft. attached garage, 1,077 sq. ft. of portals, a 657 sq. ft. pergola and a freestanding 468 sq. ft. studio, 1,480 sq. ft. guest house with 739 sq. ft. of portals, and 550 sq. ft. detached garage, to the maximum allowable heights of 13'-10" and 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed.

**Project Location(s):** 1596 CANYON RD  
Santa Fe, NM 87501

**Contacts:**

Applicant: DOUGLAS MCDOWELL  
PO BOX 1567  
SANTA FE , NM 87504

doug@mcdowellsantafe.com

Property Owner: JEUNG LUELLA HYUN & NOLES  
165 VICENTE RD  
BERKELEY, CA 94705

NOLES\_HYUN@COMCAST.NET

**Historic District:** HD: Historic Review, HD: Downtown And Eastside

**Historic Building Status:**

Non-Statuscd: False    Non-Contributing: False    Contributing:    Significant/Landmark:

**Primary Elevations:**

**Publicly Visible Facade-East:** No  
**Publicly Visible Facade-North:** Yes  
**Publicly Visible Facade-South:** No  
**Publicly Visible Facade-West:** No

**Historic District Inventory Number:** NA

**Year of Construction:**

**Project Type:** New Construction

**Historic Building Name:**

# City of Santa Fe, New Mexico

# memo

**DATE:** April 9, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Lani McCulley, Senior Planner, Historic Preservation Division

---

**2023-006490-HDRB. 1596 Canyon Rd. Historic Review Historic District.** McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,900 sq. ft. single-family residence with a 585 sq. ft. attached garage, 1,077 sq. ft. of portals, a 657 sq. ft. pergola, a 468 sq. ft. freestanding studio, 1,480 sq. ft. guest house with 739 sq. ft. of portals, and 550 sq. ft. detached garage, to the maximum allowable heights of 13'-10" and 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed.

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [Height & Pitch Calculations]

### APPLICANT SUBMITTALS

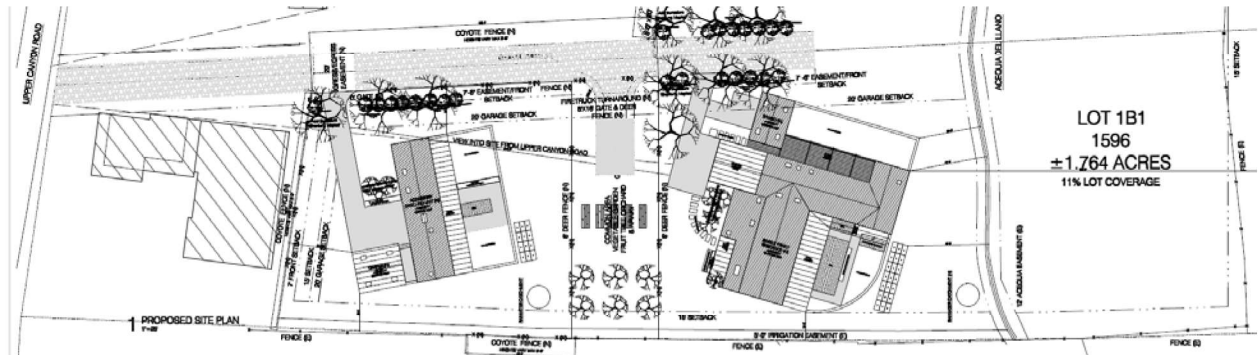
- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [Exception Criteria]

## STAFF RECOMMENDATION:

Staff does not find that the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff finds that most of the design meets the district standards and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and Section 14-5.2(F) Historic Review Historic District Design Standards.

## **BACKGROUND & SUMMARY:**

1596 Canyon Road is a 1.764-acre vacant lot in the Historic Review Historic District.



The applicant proposes to construct:  
Main Residence:

1. A 3,900 sq. ft. ranch style detached single-family residence with an attached 585 sq. ft. garage to a height of 14'10" where the maximum allowable height is 14'10". The roof will be pitched with graphite-gray double standing seam roofing. An exception to construct a pitched roof where one is not allowed is requested (SFCC 14-5.2(D)(9)(d)).
2. A 204 sq. ft. entry portal on the northwest side of the residence. The portal will be constructed of 6" x 6" metal cross columns with 4" x 4" tee beams in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing and the roof will be graphite-gray double standing seam roofing.
3. A portal of 887 sq. ft. on the southeast of the residence. The portal will be constructed of 6" x 6" metal cross columns with 4" x 4" tee beams in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing and the roof will be graphite-gray double standing seam roofing.
4. A 667 sq. ft. open roof pergola on the northeast side of the residence will be built of 6" x 6" metal cross columns with 4" x 4" tee beams and 2" x 4" steel tubes with Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing. The pergola will not be publicly visible.
5. Windows and doors will be fixed and awning aluminum windows and doors as manufactured in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing. The windows and doors will be single lite windows. The Historic Review District states the following: In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure." Windows and doors do not appear to be inset to comply with this standard.
6. Garage door will be aluminum folding door in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing.

7. The house will have 10 skylights in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing. As the roofs are pitched roofs, the applicant is proposing a low-profile skylight to be flush with the roofing material.
8. Exterior Lighting on the residence will be 6"x12" LED Aluminum cylinder downlight. Prismatic Powders PSB 8165 Matte Gravel to match roofing.
9. Stucco colors will include cementitious La Habra la Luz 125 and Buckskin 106 and will be applied on alternating walls.

Studio:

10. A freestanding 468 sq. ft. studio to a height of 14'-10" where the maximum allowable height is 14'-10". The studio roof will be pitched with graphite-gray double standing seam roofing.
11. An aluminum sectional garage door with operable windows with frosted glass in Prismatic Powders PSB 8165 Matte Gravel Gray will be on the north elevation.
12. The studio will have 4 skylights in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing.
13. Exterior Lighting in the studio will be 6"x12" LED Aluminum cylinder downlight. Prismatic Powders PSB 8165 Matte Gravel to match roofing.
14. Stucco colors will include cementitious La Habra la Luz 125 and Buckskin 106 and will be applied on alternating walls.

Guest House:

15. A 1,480 sq. ft. ranch style guest house with a 550 sq. ft. detached garage to a height of 13'-10" where the maximum allowable height is 13'-10". The guesthouse roof will be pitched with graphite-gray double standing seam roofing.
16. A 739 sq. ft. portal will be on the southeast side of the guest house.
17. The guesthouse will have 4 skylights in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing.
18. Exterior Lighting at the guesthouse will be 6"x12" LED Aluminum cylinder downlight. Prismatic Powders PSB 8165 Matte Gravel to match roofing.
19. Stucco colors will include cementitious La Habra la Luz 125 and Buckskin 106 and will be applied on alternating walls.

Site:

20. There will be three swimming pools (two at the main residence and one at the guest house) of concrete and tile with Hydroxyl-Based Advanced Oxidation Processes, automatic, retractable covers, and pool Alarms, and 6" wide rectangular metal waterspouts and pool fillers in satin black on the southeast and Marine grade stainless steel outdoor shower w/foot washer.
21. A ground mounted solar array will be located to the southwest of the main residence and a second ground mounted solar array will be to the southeast of the guesthouse.
22. Other features will include an exterior stone fireplace, planters, and water features which will include recirculating water features, rainwater catchment system, and Cup or chain style rain chains in place of downspouts in Dark Bronze or Black depending on manufacturer.
23. The property perimeter will have a 6'-0" high coyote fence with a 4'x16' metal entry vehicle gate at the driveway for the guest house.
24. A 4'x20' vehicle gate will cross the access easement for access to the main residence.

25. A 6'-0" deer fence with access gate will surround the garden between the main residence and the guest house.
26. The driveway, patio, and walkway surfaces will be Santa Fe Brown 3/4"-7/8" gravel and French Gray pavers.

Slope cuts have been preliminarily reviewed by the Terrain Management Team. All structures will be set back from the Acequia del Llano per a condition set by the Archaeological Review Committee and the Terrain Management Team.

**EXCEPTION CRITERIA AND RESPONSES:**

Exception to Section 14-5.2(D)(9)(d) to construct a pitch where one is not allowed.

(i) *Does not damage the character of the streetscape.*

Applicant Response: The designs proposed for 1596 and 1600 Canyon are both a low-profile pitch design and are located back from the streetscape with houses between the streetscape and the improvements. The designs will enhance the character of the streetscape and be harmonious with the historic aspect of the current streetscape with the existing neighborhood.

Staff Response: Staff disagrees with this response. While this property is in the Historic Review District, it is adjacent to the Downtown and Eastside Historic District and Canyon Road which houses mostly flat roofs and a few lower pitched roofs. The pitch on this design is a 70.33% pitch or an 8:12 pitch which is considered a high-pitched roof.



(ii) *Prevents a hardship to the applicant or an injury to the public welfare.*

Applicant Response: The pitched roof will provide better management of the winter weather conditions' impact on the roof structure.

Staff Response: Staff do not agree with this response. Roof maintenance is critical for maintaining a residence, but the applicant does not address how a pitched roof prevents hardship to the applicant or the public welfare. Santa Fe has mostly flat roof houses which are maintained in inclement weather. Furthermore, the Historic District design standards further the public interest in order to provide a predictable design vocabulary for this area as well as maintain the character of the historic district.

(iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that the residents can continue to reside within the historic districts.*

Applicant Response: Applicant Response: The architectural styles of the existing neighborhood and the district include numerous pitched roofed homes. The applicant designed the pitched roof home with a low pitch to ensure heterogeneity while also honoring exiting architectural styles.

We began with a steeper pitch and to reduce the height of the home to the required height we both dropped the ceiling heights and the pitch to a lower slope pitch. The photos attached to the application of a similar home represent a low pitch and similar styles to the applicant's proposed improvements.

Staff Response: Staff do not agree with this response. While there are pitched roofs around Canyon Road, this streetscape along Canyon Road only consists of 15.8% pitched roofs. There are no pitched roofs in the radial calculation. Therefore, pitched roofs at this location do not lend to the unique heterogeneous character of Upper Canyon Road nor to the city.

(iv) *Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.*

Applicant Response: The applicant is concerned with the location of this home on the north face of the sloping lot on Upper Canyon Road. Snow can remain on these lots for months at a time and freeze. This provides the perfect opportunity for roof leaks on flat roofs. The pitched roof will allow for the drainage of snow and water from the roof and provide the opportunity to recapture water from snow melt and rain and provide a sound roof system.

Staff Response: Staff disagree with this response. While there are advantages to pitched roofs in inclement weather and for longevity, this parcel does not differ from the other parcels in the area. The other parcels have flat roofed homes and are capable of maintenance in inclement weather.

(v) *Are due to special circumstances which are not a result of the actions of the applicant.*

Applicant Response: The location of the lot on the north face of the slope limits the roof options due to weather conditions. TPO roofs would be a possibility but shoveling of the roof and damage from freeze and thaw still presents a problem.

Staff Response: Staff disagree with this response. The long, narrow, and sloping site, weather conditions, the historic area, and the locations available for the residence are like other lots in the area. When the applicant purchased the lots these conditions were extant and they were aware of the associated design impacts.

*(vi) Provide the least negative impact with the purpose of this section and set forth in Subsection 14-5.2 (A)(1).*

Applicant Response: We believe that the pitched roof design is harmonious with the streetscape and the historic neighborhood. Pitched roof homes are dotted throughout the district and when done properly remind us of the architectural elements that were added as new materials became available in the past. The simplicity of this design will be a reminder of the beauty of the past.

Staff Response: Staff does not agree with this response; the design with a lower slope would create a less severe difference between the historic Santa Fe styles with flat roofs but this slope is a higher slope.

### **RELEVANT CODE CITATIONS:**

#### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

#### Building Height:

#### 14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

The height, pitch, scale, and massing of any structure in an historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

- (c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

- (d) Pitch

If the determined streetscape includes over fifty percent of buildings with pitched roofs, the proposed building may have a pitched roof. A pitched roof is defined as a gable, shed, or hipped roof. The pitch of the roof shall match the predominant pitch extant in the streetscape.

**(F) Historic Review District**

**(1) Applicability**

(a) The division shall review and approve or deny all *applications* for new construction, exterior alteration, and demolition of *structures* in the historic review district in accordance with the standards set forth in this section.

(b) The historic districts review board shall review and approve or deny new construction of commercial, *residential* multi-unit, public *structures*, and those *structures* requiring the Board's review as specified in Subsection 14-5.2(D)(9)(a). Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review.

**(2) District Standards**

(a) The following structural standards shall be complied with whenever exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

(i) Slump block, stucco, or stone shall be used as exterior *wall* materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry *units* or unstuccoed cement shall not be used as exterior *wall* materials; and

(ii) The color of stuccoed *buildings* shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and *portals* may be emphasized by the use of white or other colors or materials. Painting of *buildings* with bold repetitive patterns or using *buildings* as signs is prohibited.

(b) It is intended that *buildings* be designed to be "wall dominated". "Wall dominated" means that the *building's* geometry is more defined by *walls* than by roofs. *Buildings* with flat, gabled, shed, and *hipped roofs* can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and *hipped roofs* are only allowed if sufficient evidence is provided by the *applicant* showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related *streetscape*, as viewed when standing in the public *street* in front of the site. The height of the roof above the *wall* shall be no greater than the height of the *walls*. Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.

(c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large, glazed areas on south-facing *walls* for trombe *walls* or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened as follows:

(i) Raising the parapet;

(ii) Setting back from the edge of the roof;

- (iii) Framing the collector with wood;
  - (iv) In pitched roofs, by integrating the collector into the pitch;
  - (v) In ground solar collectors by a *wall* or vegetation;
  - (vi) In *wall* collectors or *greenhouses*, by enclosing by end or other *walls*;
  - (vii) Other means that screen the collector or integrate it into the overall *structure*. Non-glare materials shall be used in solar collectors.
- (d) Roof-mounted mechanical, electrical and telephone equipment and other obtrusive *structures* shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problem.
- (e) No cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in freestanding *walls* .
- (f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that *structures* be designed to appear essentially as *structures* with massive *walls* which are defined as being built or appearing to be built of *adobe* construction, *wall* thickness appearing massive in relation to *wall* height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the *structure*. Solid *wall* space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing *walls* for solar equipment as provided in Subsection (F)(2)(c) of this section and under *portales*. The mass elements that make up the *building* composition shall appear as single blocks. *Buildings* with ground coverage of over twenty thousand 20,000 square feet and over one *story* shall be designed to appear more as an aggregation of smaller " *building* blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)
- (g) *Walls* and fences visible from the *street* shall be built of brick, *adobe*, rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. *Walls* of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not visible from the *street*.
- (h) When parking spaces are required for commercial or multi-family *residential buildings* , they shall be placed to the rear or side of the *building*. When parking areas are visible from the *street*, they shall be screened from view by *walls*, fences, vegetation, planters, earth berms, or other means.

# WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

**Purpose and intent:** These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structures(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

## **SCALE:**

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and nichos at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

## **SETBACK:**

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

#### **MATERIAL, TEXTURE AND COLOR:**

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

#### **GATES:**

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

#### **LANDSCAPING (Suggested Options)**

Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		<b>Site Address:</b>
<b>Date Submitted:</b> 08/14/2023		1596 Canyon Road
<b>Property Owner of Record:</b> Jeungs-Hyun; Luella M. Noles		<b>Proposed Construction Description:</b>
<b>Applicant/Agent Name:</b> Doug McDowell		See Attached
<b>Contact Person Phone Number:</b> 505 690-9999		<b>TOTAL ROOF AREA:</b> See Attached. (See below)
<b>Zoning District:</b> R-1		<b>Lot Coverage:</b> 11.4 % <input type="checkbox"/> Open Space Required: NA
<b>Overlay:</b> <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Historic Design Review		<b>Setbacks:</b> Proposed Front: 11' Minimum: 7' 2 <sup>nd</sup> Front? _____ Proposed Rear: 15' 2" Minimum: 15' Proposed Sides: L 46' R 33' Minimum: 5'
<b>Submittals Reviewed with PZR:</b> <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		<b>Height:</b> Proposed 14' 10" Maximum Height: 24' or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
<b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit		<b>Parking Spaces:</b> N/A Proposed 4 Accessible NA Minimum: 3
<b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		<b>Bicycle Parking**:</b> N/A Proposed: _____ Minimum: NA ** Commercial Requirement
<b>Use of Structure:</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
<b>Terrain:</b> <input type="checkbox"/> 30% slopes _____		

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

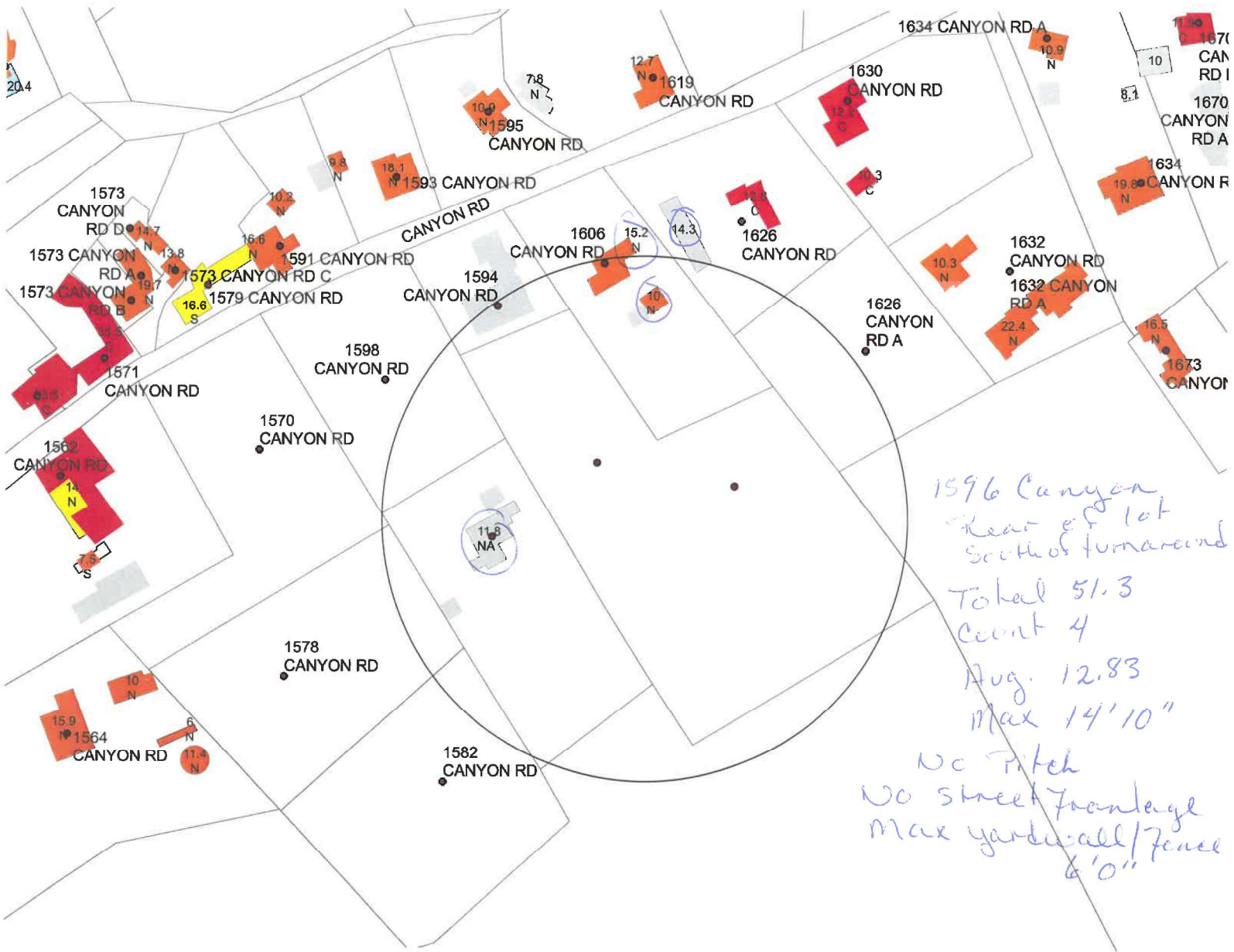
Jeungs-Hyun; Luella M. Noles  OWNER  APPLICANT  AGENT  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature] 08/14/2023  
 SIGNATURE DATE

<b>To Be Completed By City Staff:</b>	Case no. 2024-007965
<b>Additional Agency Review if Applicable:</b> <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
<b>Notes:</b> Legal lot of record provided. Requires 3 parking spaces, provides via driveway and two garages. Meets required 7' front setback to structure and 20' in the case of driveways to garages. Proposed project will undergo escarpment review again at time of building permit.	
<b>Zoning Approval:</b> <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____	
<b>REVIEWER:</b> Carly Venditti <u>Carly Venditti</u>	<b>DATE:</b> 3 / 4 / 2024





20.4

7.8 N

12.7 N

10.9 N

10

8.1

1573 CANYON RD D

1573 CANYON RD A

1573 CANYON RD B

1571 CANYON RD

1562 CANYON RD

1564 CANYON RD

1573 CANYON RD C

1579 CANYON RD

1570 CANYON RD

1578 CANYON RD

1593 CANYON RD

1594 CANYON RD

1598 CANYON RD

1582 CANYON RD

1595 CANYON RD

1606 CANYON RD

1619 CANYON RD

1626 CANYON RD

1626 CANYON RD A

1630 CANYON RD

1634 CANYON RD A

1632 CANYON RD

1632 CANYON RD A

1634 CANYON RD

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1634 CANYON RD B

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# HDRB PROPOSAL WORK/LETTER 1596 CANYON ROAD

## Proposed Construction Description:

New construction on a 1.764 Acre vacant lot of a Single Story ±3900 sq. ft. SFR w/ a ± 468 sq ft Studio and a Single Story ±1480 ADU w/ a ±550 sq ft detached Garage.

## Total Roof Area

<b>SFR:</b>	<b>±3,900 sq ft</b>
Covered Portal Roofs	±1,077 (Unheated)
Attached Garage	±585 (Unheated)
<b>TOTAL:</b>	<b>±5,562 sq ft of Roof Area</b>

<b>Studio:</b>	<u>±468 sq ft</u>
<b>TOTAL:</b>	<b>±468 sq ft of Roof Area</b>

<b>ADU</b>	±1,480
Covered Portal	±739
Detached Garage	<u>±550 (Unheated)</u>
<b>TOTAL</b>	<b>±2,769, sq ft of Roof Area</b>

**Lot Coverage:** 1.764 Acres = ±76,839.84 sq ft Lot  
±8,799 sq ft Total of All Roof Areas

**Total Lot Coverage** ±11%

## Setbacks:

Proposed Fronts	Minimum 7'-6" (from Access Easement)
SFR	±34'-0"
Studio	±11'-1"
ADU	±25'-2"
Proposed Garages	Minimum 20'-0" (from Access Easement)
SFR's	±34'-10" (Attached)
ADU's	±84'-9" (Detached)
Proposed Rears	Minimum 15'-0"
SFR	±15'-2"
Studio	±101'-2"
ADU	±20'-3"
Proposed Sides	Minimum 15'-0"
<b>L (South)</b>	
SFR	±183'-2"
Studio	±243'-10"
ADU	±46'-1"
<b>R (North)</b>	
SFR	±214'-7" (@ Attached Garage)
Studio	±232'-6"
ADU	±33'-10" (@ Detached Garage)

**Heights:** Maximum 14'-10" MAIN/13'-10" ADU (Regulated by Historic Districts Ordinance)

**Ridge Height** 14'-10" MAIN/13'-10" ADU MAX from Grade

(Proper grading and drainage to be provided at all grade cuts)

## **PRODUCT SHEETS for HDRB**

### **EXTERIOR**

#### **SITE**

##### **1. Driveway Gravel**



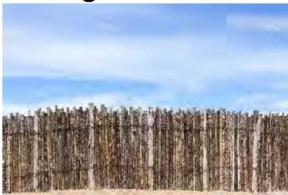
*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable base of filter fabric and sand

##### **2. Gates**



One 5' x 20' & one 5' x 16' utility gate have squared corners without sharp edges and are made of extremely durable but smooth square steel tubing with universal quick-pin latch system. Posts made of same material.

##### **3. Fencing**



Varying heights with a Maximum of 6' above grade constructed of a combination of un-peeled cedar, juniper, aspen and/or spruce.

##### **4. Patio Surfaces**



*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable of filter fabric and sand base with open joints between 1'x2' precast concrete smooth finish French Gray pavers

##### **5. Walkway 1**



*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable sand base between varying sizes of smooth finish French Gray pre cast concrete pavers

**6. Walkway 2**



*Santa Fe Brown 3/4\"-7/8\" gravel from Southwest Landscaping Materials over permeable sand base*

**7. Planters**



**8. Water Features**



**9. Fire pits**



**10. Fountain Spouts/Pool Fillers**



6\"W, See drawings for depths. Rectangular metal water spouts/pool fillers *Moseli* as manufactures by Majestic or equal. Satin black as per manufacturer.

**11. Outdoor Shower Fixtures**



Marine grade stainless steel outdoor shower w/foot washer as manufactured by Bondi or equal.

**BUILDING**

**1. Stucco 1**



La Luz  
125 (20)

**El Rey** *La Luz* 125 (20) ALT *Adobe* 116 (24)

**2. Stucco 2**



Buckskin  
106 (35)

**El Rey** *Buckskin* 106 (35) ALT *Kokanee* 108 (54)



**3. Garage Doors 1**



Sizes as shown on drawings. Aluminum sectional doors as manufactured by Overhead, Clopay, *Amarr* or equal. Prismatic Powders *PSB 8165 Matte Gravel Grey* to match roofing.

**4. Garage Doors 2**



Sizes as shown on drawings. Aluminum folding garage doors with operable windows as manufactured by *Amarr* or equal. Frosted glass with Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**5. Windows & Doors**



Sizes and operations as shown on drawings. Aluminum windows and doors as manufactured by Bonelli or equal. Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**6. Roofing, Gutters & Snow Guards**



prePATINA graphite-gray double standing seam roofing w/ internal gutter system and accessories as manufactured by Rheinzink or equal.

**7. Rain chains**



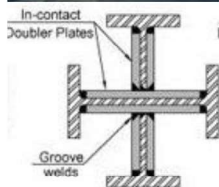
Cup or chain style rain

chains in place of downspouts *Toh L or Hamon* as manufactured by SEO or equal. Dark Bronze or Black per manufacturer.

**8. Skylights**

Sizes as indicated on drawings. Fixed and operable skylights as manufactured by Velux or equal. Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**9. Portals**



6" x 6" metal cross columns with 4" x 4" tee beams Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing. Roofing material same as main structure.

**10. Pergolas**



6" x 6" metal cross columns with 4" x 4" tee beams and 2" x 4" steel tubes Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**11. Exterior Sconces**



6"x12" LED Aluminum cylinder downlight. Prismatic Powders *PSB 8165 Matte Gravel* to match roofing.

**12. Solar panels**



See C1010 for location. Ground mounted solar panels.

## Variance Request

We are requesting a variance from SFCC §14-5.2 to allow for a pitched roof design on the improvements proposed to be constructed by the applicant the applicant to be constructed at 1596 and 1600 Upper Canyon Road.

## Exception Criteria Responses

- (i) Does not damage the character of the streetscape.

Applicant Response: The designs proposed for 1596 and 1600 are both a low profile pitch design and are located back from the streetscape with houses between the streetscape and the improvements. The designs will enhance the character of the streetscape and be harmonious with the historic aspect of the current streetscape with the existing neighborhood

- (ii) Prevents a hardship to the applicant or an injury to the public welfare.

Applicant Response: The pitched roof will provide better management of the winter weather conditions impact on the roof structure.

- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that the residents can continue to reside within the historic districts.

Applicant Response: The architectural styles of the existing neighborhood and the district include numerous pitched roofed homes. The applicant designed the pitched roof home with a low pitch to ensure heterogeneity while also honoring exiting architectural styles.

We began with a steeper pitch and to reduce the height of the home to the required height we both dropped the ceiling heights and the pitch to a lower slope pitch. The photos attached to the application of a similar home represents a low pitch and similar styles to the applicant's proposed improvements.

- (iv) Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

Applicant Response: The applicant is concerned with the location of this home on the north face of the sloping lot on Upper Canyon Road. Snow can remain on these lots for months at a time and freeze. This provides the perfect opportunity for roof leaks on flat roofs. The pitched roof will allow for the drainage of snow and water from the roof and provide the opportunity to recapture water from snow melt and rain and provide a sound roof system.

- (v) Are due to special circumstances which are not a result of the actions of the applicant.

Applicant Response: The location of the lot on the north face of the slope limits the roof options due to weather conditions. TPO roofs would be a possibility but shoveling of the roof and damage from freeze and thaw still presents a problem.

- (vi) Provide the least negative impact with the purpose of this section and set forth in Subsection 14-5.2 (A)(1)

Applicant Response: We believe that the pitched roof design is harmonious with the streetscape and the historic neighborhood. Pitched roof homes are dotted throughout the district and when done

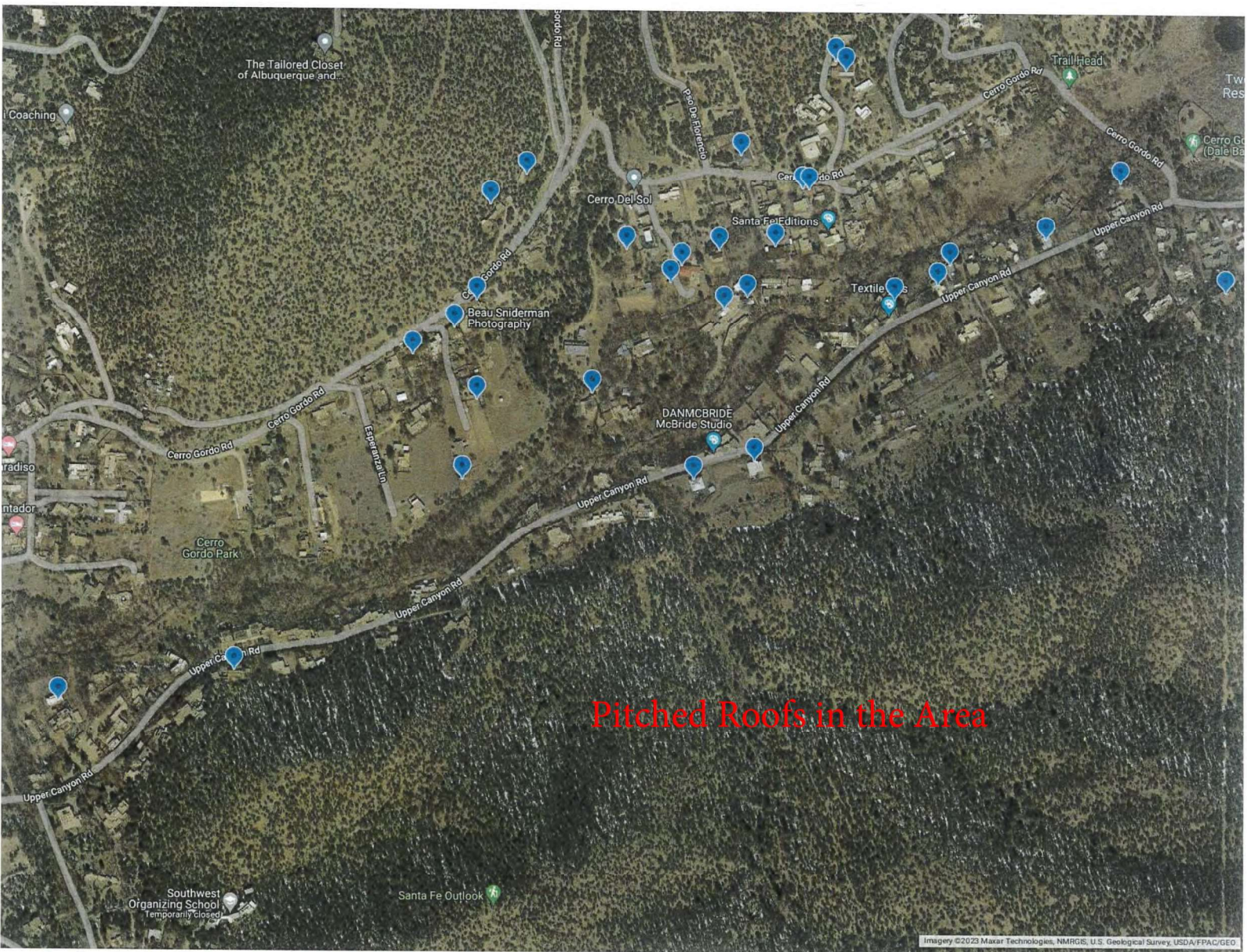
properly remind us of the architectural elements that were added as new materials became available in the past. The simplicity of this design will be a reminder of the beauty of the past.

Thank You

Doug McDowell  
Owners Agent

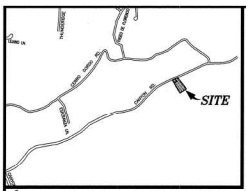






Pitched Roofs in the Area





VICINITY MAP SCALE 1"=2000'

**UTILITY COMPANIES**  
 THE UNDERSIGNED UTILITY COMPANIES HEREBY ACKNOWLEDGE THE EASEMENTS AS MARKED AND DESCRIBED ON THIS PLAN.

**PROFESSIONAL SERVICES**  
 Frank & Helen 7/11/2022 DATE

**NATURAL GAS SERVICES**  
 Frank & Helen 6-10-2022 DATE

**COMCAST CABLE SERVICES**  
 Frank & Helen 6-10-2022 DATE

**QUEST CORPORATION 4/4 1/2 CENTURILINK OC**  
 Frank & Helen 7/11/2022 DATE

This plat has been approved for assessment purposes only. The signing of this plat does not in any way guarantee (regardless of the additional

**UTILITY COMPANY NOTES**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

**PUBLIC SERVICE COMPANY OF NEW MEXICO (PSNM),** a New Mexico corporation, (PNE Electric) for installation, maintenance and service of overhead and underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical services.

**NEW MEXICO GAS COMPANY** for installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide gas services.

**QUEST CORPORATION 4/4 1/2 CENTURILINK OC** for the installation, maintenance and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide communication services.

**COMCAST** for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easements, with the right and privilege of going upon, over and across adjoining lands of Contractor for the purposes set forth herein and with the right to utilize the right of way and easement to extend service to, acquisition of easement, including all existing and new electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. To building sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structures shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code by continuation of solid structures adjacent to or near easements shown on plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

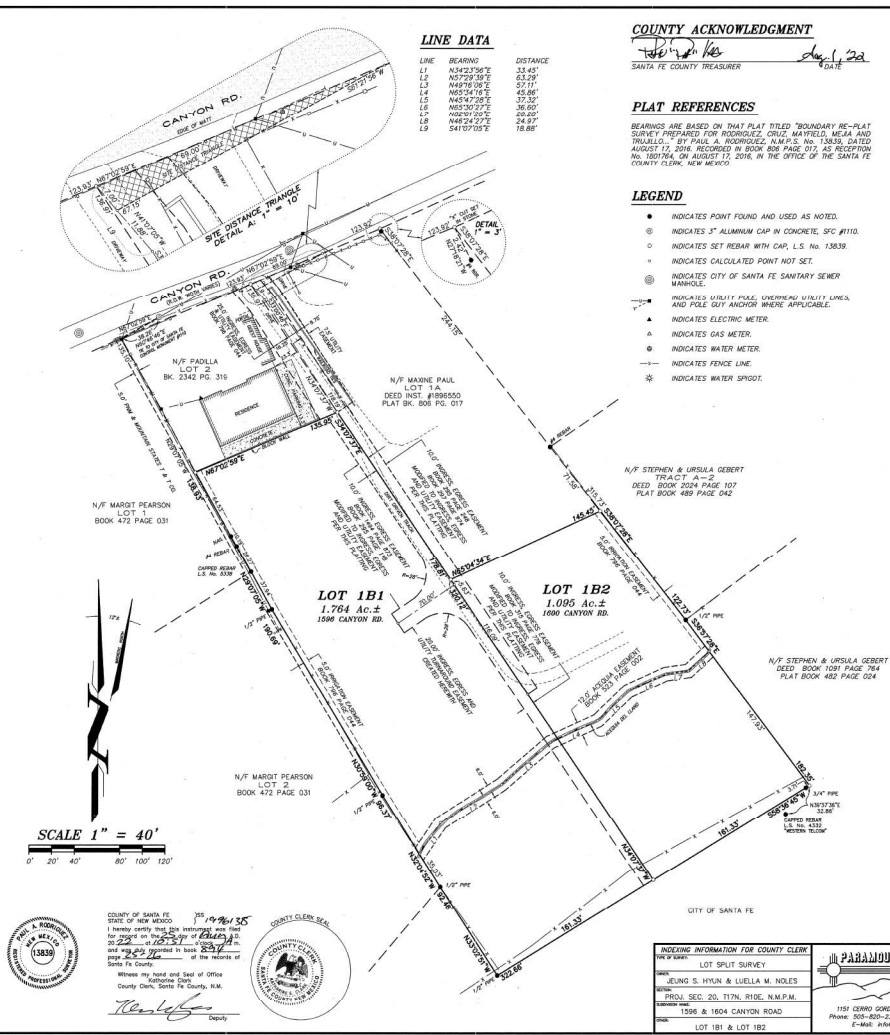
In approving this plat, Public Service Company of New Mexico (PSNM), New Mexico Gas Company (NMGCO) and Quest Corporation 4/4 1/2 Centurilink (QUEST) did not conduct a title search of the properties shown hereon. Consequently, PSNM, NMGCO and QUEST do not warrant or release any easement or easement rights which may have been granted by prior plat, report or other document and which are not shown on this plat.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON IS TRUE AND CORRECT. I FURTHER CERTIFY THAT THIS SURVEY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS. FIELD WORK PERFORMED ON DECEMBER 05, 2021.

Paul A. Rodriguez, N.M.P.S. No. 13636, DATE 05/25/2022

Witness my hand and Seal of Office this 19th day of May, 2022.  
 County Clerk, Santa Fe County, N.M.



**DEDICATION / AFFIDAVIT** 8941015

KNOW ALL PERSONS BY THESE PRESENTS, THAT THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) HAS/HAVE CAUSED TO BE REPLATED THE LANDS SHOWN HEREON, LYING AND BEING SITUATE WITHIN THE COUNTY OF SANTA FE, NEW MEXICO, ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND AN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S). THESE LANDS ARE WITHIN THE PLANNING AND PLATING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO. MAINTENANCE OF THE ACCESS EASEMENTS AS SHOWN HEREON IS TO BE THE RESPONSIBILITY OF THE LAND OWNER(S). AN EASEMENT IS HEREBY GRANTED FOR ALL EXISTING UTILITIES.

[Signatures]  
 STATE OF California )  
 COUNTY of Alameda ) ss  
 ON THIS 25th DAY OF June, 2022, THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY THE PERSON(S) WHOSE NAME(S) APPEAR ABOVE.

[Signature] 6/2/22 DATE  
 [Signature] 6/21/22 DATE  
 LUELLA M. NOLES

NOTARY PUBLIC COMMISSION EXPIRES 12-19-2025

**CITY OF SANTA FE REVIEW**

[Signature] 6/2/22 DATE  
 LAND USE CITY ENGINEER

[Signature] 7/11/2022 DATE  
 LAND USE CITY PLANNER

REVIEWED AND APPROVED BY THE SUMMARY COMMITTEE OF THE CITY OF SANTA FE AT ITS MEETING ON: [Blank] DATE  
 CASE No. 2022-4941

SUMMARY COMMITTEE CHAIR [Blank] DATE  
 SUMMARY COMMITTEE SECRETARY [Blank] DATE

**CITY NOTES & CONDITIONS**

THIS PROPERTY IS SUBJECT TO ALL RESTRICTIONS, RESERVATIONS, AND EASEMENTS OF RECORD WHICH PERTAIN.

PURSUANT TO SFCD 11.08.01, A CAPITAL IMPACT FEE MAY BE ASSESSED ON THESE LOTS. ANYONE INTERENDING TO BUILD SHOULD CONTACT CITY OF SANTA FE STAFF.

EACH LOT SHALL BE SERVED BY SEPARATE SEWER AND WATER SERVICE AT THE TIME OF DEVELOPMENT.

SEPARATE WATER SERVICE IS REQUIRED FOR EACH LEGAL LOT OF RECORD. AN AGREEMENT FOR INTERESTED SERVICE (AMS) WILL BE REQUIRED TO INSTALL NEW SERVICES.

NO PART OF THIS PROPERTY LIES WITHIN ANY DESIGNATED FLOOD ZONE ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL No. 35049D047E, DATED DECEMBER 01, 2012.

ALL NEW DEVELOPMENT SHALL COMPLY WITH ALL APPLICABLE REGULATIONS OF THE CURRENT LAND DEVELOPMENT CODE.

ALL FIRE DEPARTMENT ACCESS SHALL BE AN AVERAGE OF NO GREATER THAN A 10% GRADE THROUGHOUT.

FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20 FEET IN WIDTH ON ANY WITH ANY BUILDINGS THAT EXCEED 30 FEET IN HEIGHT AND NO LESS THAN 15 FEET WIDTH ON ALL OTHER ROADS.

ALL NEW CONSTRUCTION SHALL MEET THE 150 FEET DRIVEWAY REQUIREMENTS AS PER IFC OR AN EMERGENCY TURN-AROUND THAT MEETS THE IFC REQUIREMENTS SHALL BE PROVIDED.

FIRE DEPARTMENT SHALL HAVE 150 FEET DISTANCE TO ANY PORTION OF THE BUILDING ON ANY NEW CONSTRUCTION.

NEW DEVELOPMENT SHALL PROVIDE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER IFC.

PROVIDE FIRE SUPPRESSION TO ALL NEW RESIDENTIAL CONSTRUCTION AS SET FORTH BY THE IFC 2009 EDITION.

PROVIDE WATER TANK FOR FIRE SUPPRESSION SYSTEM THAT SATISFIES THE REQUIREMENTS OF THE IFC 2009 EDITION.

ALL DEVELOPMENT SHALL MEET ALL REQUIREMENTS SET FORTH BY THE IFC 2009 EDITION OR THE CODE ADOPTED BY THE GOVERNING BODY AT THE TIME OF SUBMITTING FOR PERMITS.

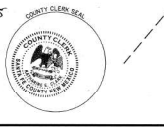
WATERMETER LOCATIONS SHALL BE DUE AT THE TIME OF CONNECTION TO THE CITY SEWER SYSTEM.

CITY APPROVAL OF THIS PLAT DOES NOT ALTER OR REMOVE ANY EASEMENTS, RESTRICTIONS OR RESERVATIONS OF RECORD PERTAINING TO THE LAND HEREIN DESCRIBED.

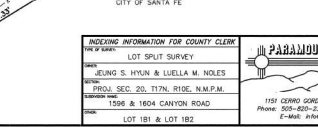
COUNTY OF SANTA FE  
 STATE OF NEW MEXICO  
 I hereby certify that the information on this plat was prepared by me or under my personal direction and control, and that the data shown hereon is true and correct. I further certify that this survey meets or exceeds the minimum requirements of the standards for land surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors. Field work performed on December 05, 2021.

Witness my hand and Seal of Office this 19th day of May, 2022.  
 County Clerk, Santa Fe County, N.M.

[Signature] Deputy



INDEXING INFORMATION FOR COUNTY CLERK  
 BOOK 806 PAGE 013  
 LOT SPLIT SURVEY  
 JUNG HYOON & LUELLA M. NOLES  
 PROJ. SEC. 20, T17N, R10E, N3PM, N.M.P.S. No. 13636  
 1586 & 1604 CANYON ROAD  
 LOT 1B1 & LOT 1B2

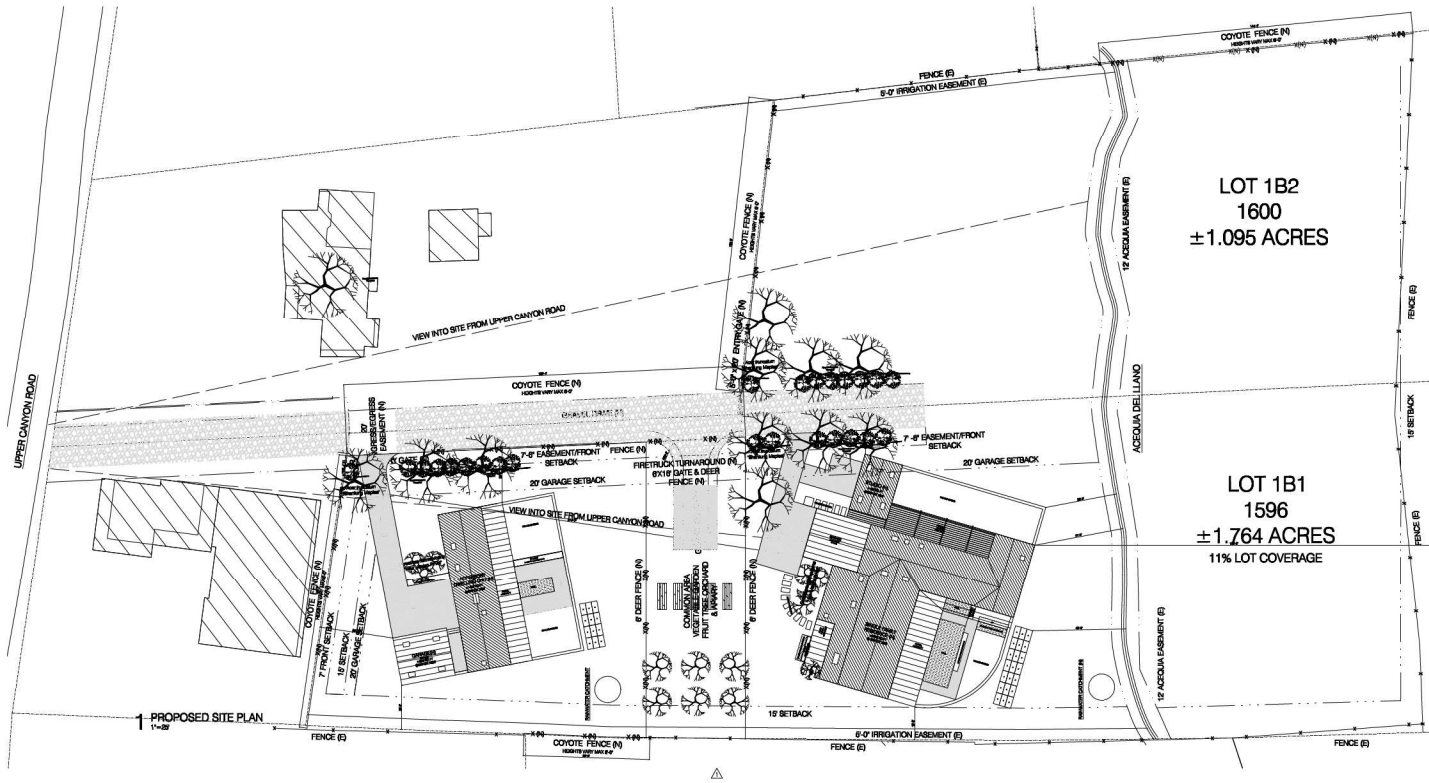


LOT SPLIT SURVEY PREPARED FOR  
 JUNG HYOON & LUELLA NOLES  
 OF LOT 1B.  
 WITHIN PROJ. SEC. 20, T17N, R10E, N3PM, N.M.P.S. No. 13636  
 1586 CANYON ROAD, CITY OF SANTA FE,  
 SANTA FE COUNTY, NEW MEXICO

SCALE: 1"=40' DATE: May 2022 P.A.S. P.A.S. 1482-4







**DRAWING INDEX**

T101	PROPOSED SITE PLAN DRAWING INDEX, SYMBOLS & LEGEND, PROJECT INFORMATION
T102	1596 SQ FOOTAGE CALCULATIONS
T103	1596 ADU SQ FOOTAGE CALCULATIONS
D100	1596 SLOPE ANALYSIS
D101	1596 PRODUCTIONS
D200	1596 NORTH & WEST OFFICE ELEVATIONS
D201	1596 SOUTH & EAST OFFICE ELEVATIONS
D202	1596 NORTH & WEST ADU ELEVATIONS
D203	1596 SOUTH & EAST ADU ELEVATIONS
A101	1596 PLAN
A102	1596 STUDIO & GARAGE PLANS
A103	1596 ADU PLAN
A201	1596 NORTH & WEST ELEVATIONS
A202	1596 SOUTH & EAST ELEVATIONS
A301	1596 NORTH & WEST ADU ELEVATIONS
A302	1596 SOUTH & EAST ADU ELEVATIONS
A401	1596 WINDOW & DOOR SCHEDULE



NO.	DATE	REVISION

**HISTORICAL REVIEW SUBMITTAL**

PHILIP LIND 16-2023-022 - 6 ADU  
 1596 Upper canyon road  
 Santa Fe, nm 87501  
 APN: 00607002

noles/  
 byun  
 Design LLC  
 100 - 10th St  
 Berkeley, CA 94702  
 510.535.9100

PROPOSED SITE PLAN DRAWING INDEX  
 SYMBOLS, LEGEND,  
 PROJECT INFORMATION

DATE: 08.11.2024

**1596 PROJECT INFORMATION**

LOT AREA:  
 ±1.764 ACRES  
 LOT COVERAGE:  
 ±3600 SQ FT SFR WITH A 586 SQ FT STUDIO TOTALLY ±4486  
 SQ FT OF LIVING AREA.  
 ±1460 SQ FT ADU  
 ZONING:  
 R-1/HISTORICAL REVIEW OVERLAY  
 BUILDING HEIGHTS:  
 14'-10" MAIN F/IS-18' ADU ABOVE GRADE MAX RIDGE LINE  
 9'-6" MAIN-6' ADU ABOVE GRADE MAX EAVES  
 (Proper grading and drainage to be provided at all grade cuts)  
 OFF STREET PARKING:  
 SFR: 2 CAR GARAGE  
 ADU: 2 CAR GARAGE

**PROJECT OWNERS:**  
 JEUNG S HYUN & LUELLA M NOLES  
 186 VICENTE ROAD  
 BERKELEY, CA 94705  
 510.590.2133  
 noles\_hyun@comcast.net

**CONTRACTOR:**  
 MCDOWELL FINE HOMES  
 DOUG MCDOWELL  
 1317 S CERRITO GORDO ROAD  
 SANTA FE, NM 87501  
 505.862.5238, MOBILE 505.690.9899  
 doug@mcdowellssantafe.com

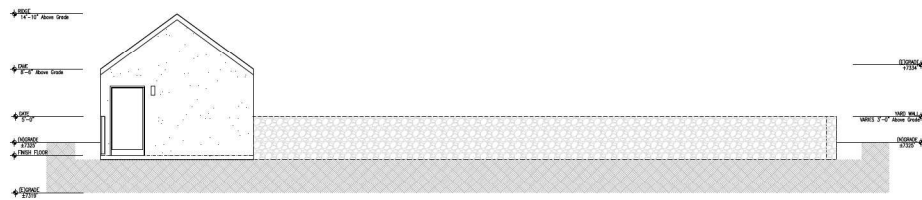
**SYMBOLS & LEGEND**

	TITLE		DRAWING TITLE		SETBACK
	BUILDING ELEVATION		WELL COVER		DOUBLE WALL OVEN
	ELEVATION MARK		RANGE		REFRIGERATOR
	CENTERLINE		WINE COOLER		UNDERCOUNTER
	NEWBORN & CLOUD		SINK		GARBAGE DISPOSAL
	EXISTING BUILDING		HOT WATER DISPENSER		WATER FILTER
	NEW BUILDING		DISHWASHER		WASHER
	DRIVEL DRIVE		DRYER		DOOR & WINDOW MARKERS
	VIEW LINE				
	PROPERTY LINE (E)				
	FENCE (F)				
	FENCE (P)				
	EASEMENT				





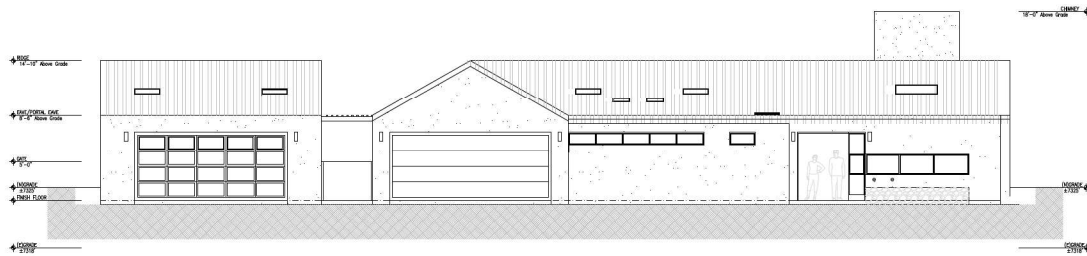
**NOTES:**  
 1. PROPER GRADING & DRAINAGE TO BE PROVIDED @ ALL GRADE CUTS



**3 ELEVATION STUDIO WEST: Down Canyon**  
 3/16" = 1'-0"



**2 ELEVATION WEST: Down Canyon**  
 3/16" = 1'-0"



**1 ELEVATION NORTH: Toward Canyon Road**  
 3/16" = 1'-0"

NO.	DATE	REVISION

**HISTORICAL REVIEW SUBMITTAL**

PHILIP LIND 16-2623-HC2 & ALU  
 1590 Upper Canyon Road  
 Santa Fe, NM 87501  
 APN: 00007002

notes/  
 byun  
 D&S, Inc. LLC  
 100 - 10th Street  
 Berkeley, CA 94710  
 510.533.2333

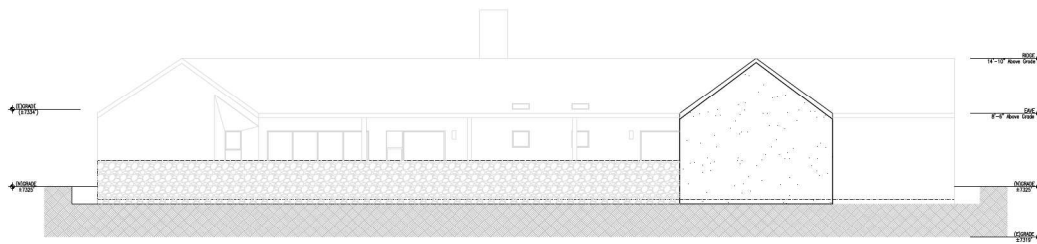


1590 NORTH & WEST GRADE ELEVATIONS

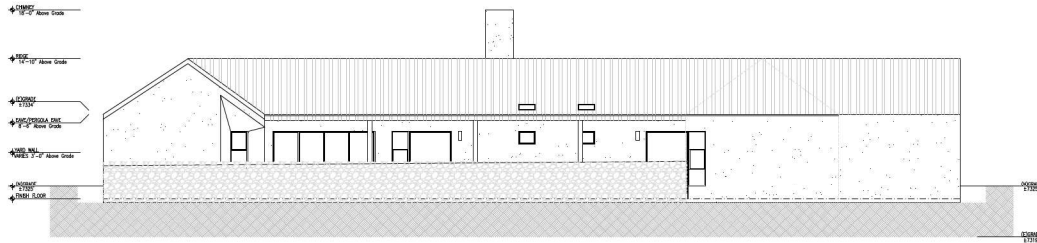
SCALE: 3/16" = 1'-0"  
 DATE: 08.11.2024

**C201**

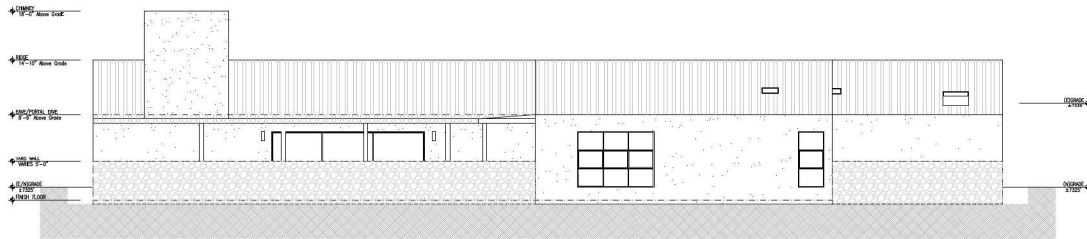
**NOTES:**  
 1. PROPER GRADING & DRAINAGE TO BE PROVIDED @ ALL GRADE CUTS



**3 ELEVATION STUDIO EAST: Up Canyon**  
 3/16"=1'-0"



**2 ELEVATION EAST: Up Canyon**  
 3/16"=1'-0"



**1 ELEVATION SOUTH: Toward Acequia**  
 3/16"=1'-0"

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PHED-2021-16-2021-NC-2 & ALU  
 1599 Upper Canyon Road  
 Santa Fe, NM 87501  
 APN: 02607002

notes/  
 by: n  
 Design LLC  
 100 - 10000 - 10000  
 Santa Fe, NM 87501  
 505.925.1000

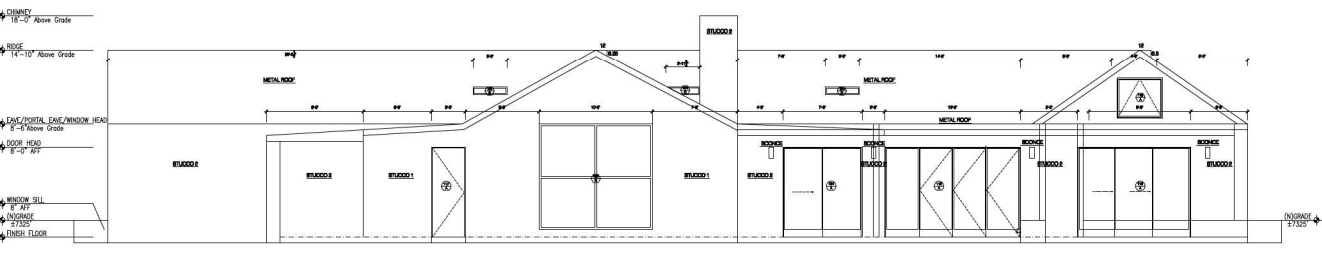


1599 SOUTH & EAST GRADE ELEVATIONS

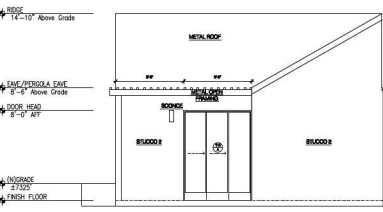
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 date: 08.11.2024



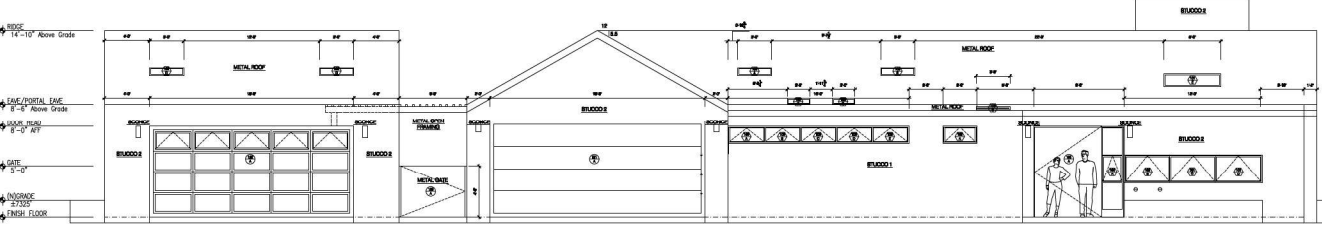
**C202**



**3 ELEVATION WEST: Down Canyon**  
1/4"=1'-0"



**2 ELEVATION NORTH 2: Toward Canyon Road**  
1/4"=1'-0"



**1 ELEVATION NORTH: Toward Canyon Road**  
1/4"=1'-0"

- CHIMNEY 15'-0" Above Grade
- DOOR/WINDOW HEAD 8'-0" AFF
- WINDOW SILL 7'-0" AFF
- WINDOW HEAD 5'-6" AFF
- WINDOW SILL 3'-0" AFF
- INVERSE 2'-0" AFF
- FINISH FLOOR

NO.	DATE	REVISION

**HISTORICAL REVIEW SUBMITTAL**

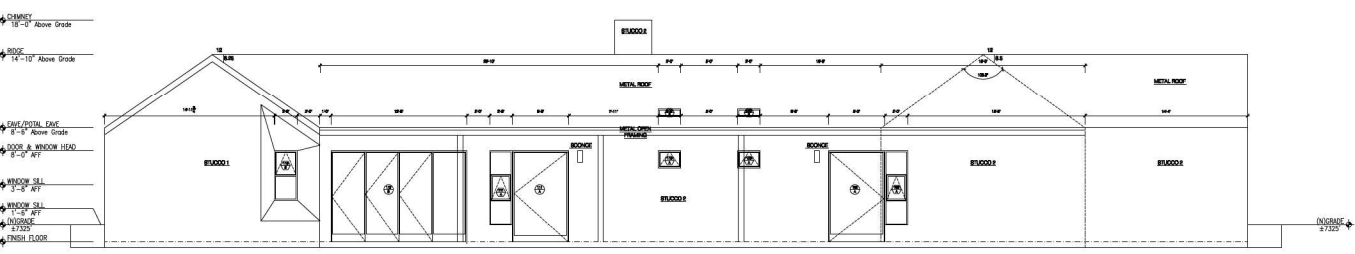
PREPARED FOR: RESIDENCE: BLACK  
1590 Upper canyon road  
Castle Co. NM 87601  
APRIL 2020/2022

notes/  
by: [Signature]  
DESIGN: T.L.C.  
100 Avenue Road  
Arroyo, CA 94705  
510.530.2833

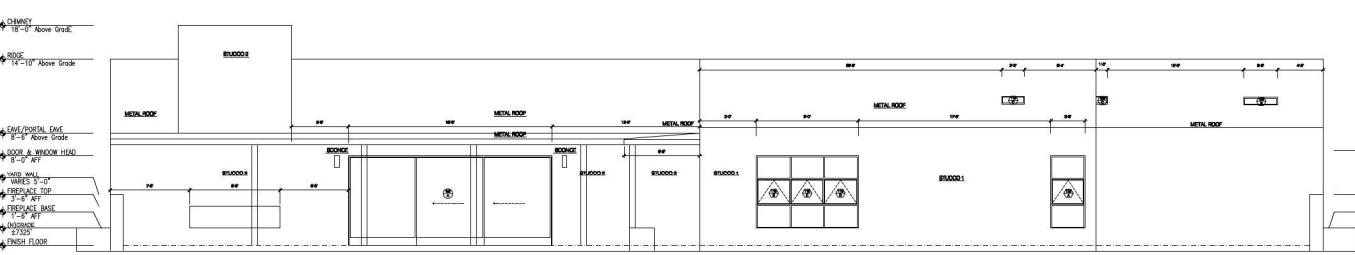
1590 NORTH & WEST ELEVATIONS

SCALE: 1/4"=1'-0"  
DATE: 08.11.2024

**A201**



2 ELEVATION EAST: Up Canyon  
1/4"=1'-0"



1 ELEVATION SOUTH: Toward Acequia  
1/4"=1'-0"

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PHENIX-128-13 16-2823-HC2 & ALU  
1598 upper canyon road  
santa fe, nm 87501  
APN: 09007002

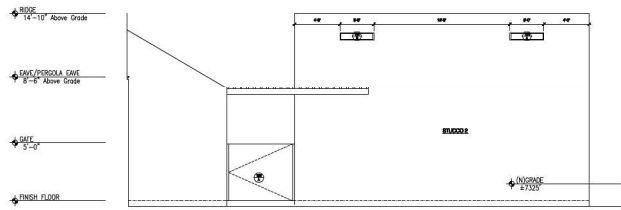
notes/  
bryn

**Design LLC**  
100 - 10000 - road  
santa fe, nm 87505  
513.5 510.2333 VORNEY PLAN

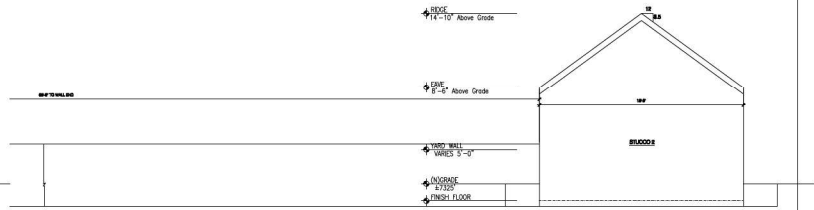
1598 SOUTH & EAST ELEVATIONS

scale:  
1/4"=1'-0"  
date: 08.11.2024

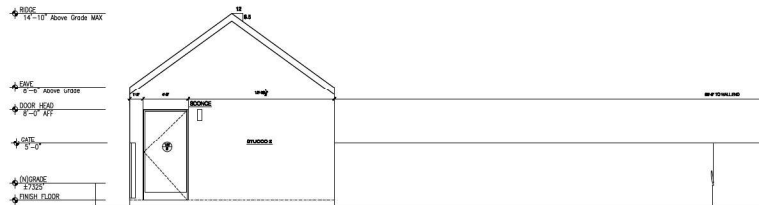
**A202**



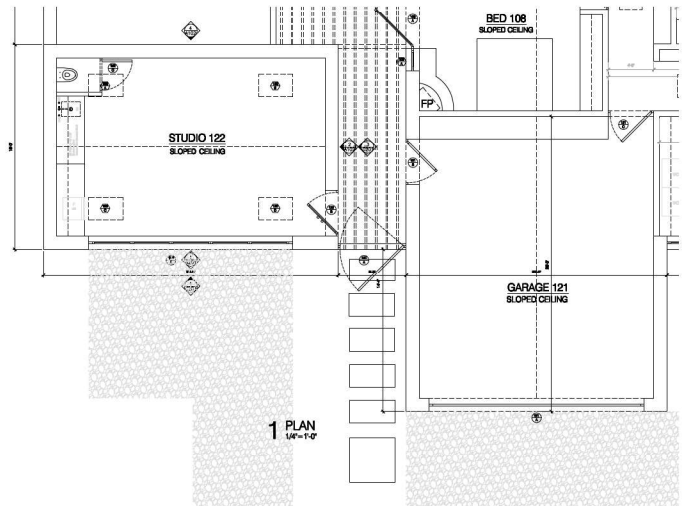
4 STUDIO ELEVATION SOUTH Toward Acequia  
1/4"=1'-0"



3 STUDIO ELEVATION EAST: Up Canyon  
1/4"=1'-0"



2 STUDIO ELEVATION WEST: Down Canyon  
1/4"=1'-0"



1 PLAN  
1/4"=1'-0"

LEGEND

- DAVE/PROSOLA CASE SLOPED CEILING
- RF REFERENCE
- UR UNDERCOUNTER
- S SINK
- GD GARBAGE DISPOSAL
- HWS HOT WATER DISPENSER

no.	date	revision

HISTORICAL REVIEW  
SUBMITTAL

PHILIP/LESLIE HENNINGER & ASSOCIATES  
1590 Upper Canyon Road  
Santa Fe, NM 87501  
APN: 99007002

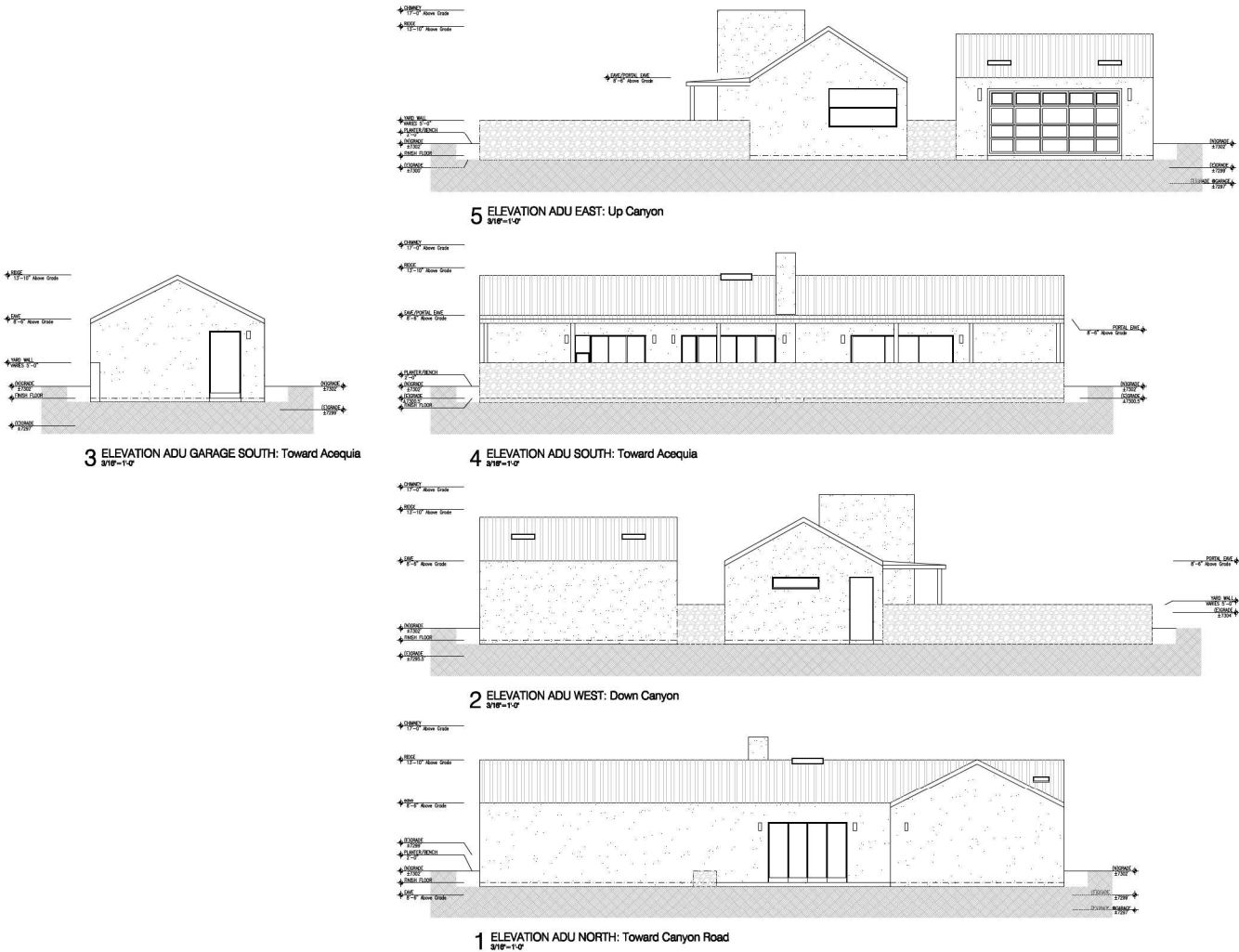
notes/  
by: **David J. Ginn, LLC**  
100 - 10000 - 10000  
10000 - 10000 - 10000  
10000 - 10000 - 10000  
WORTHY PLAN

1000 STUDIO (& GARAGE)  
PLANS  
& ELEVATIONS

scale:  
1"=1'-0"  
date:  
08.11.2024

**A102**





**NOTES:**  
1. PROPER GRADING & DRAINAGE TO BE PROVIDED @ ALL GRADE CUTS

NO.	DATE	REVISION

**HISTORICAL REVIEW SUBMITTAL**

PHENIX-12-13 16-2623-NC-2: 6 ADU  
1590 upper canyon road  
eastside lo, r/n 67601  
APN: 99007002

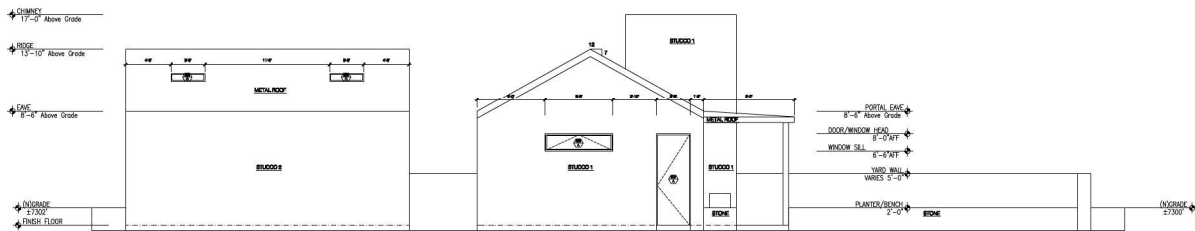
notes/  
by  
D&S, Inc. ILLC  
100 ... road  
Berkeley, CA 94705  
510.525.2333



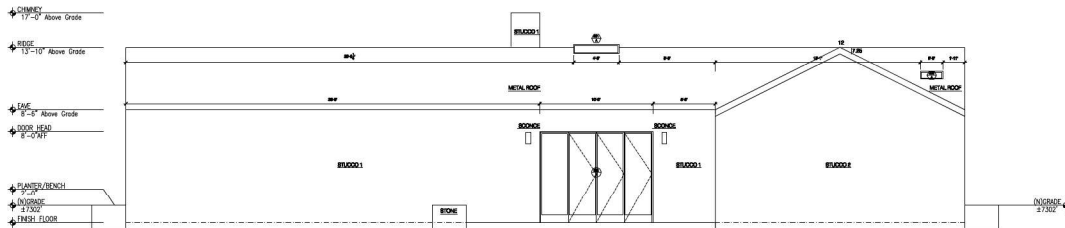
1590 NORTH, WEST, SOUTH & EAST  
ADU GRADE ELEVATIONS

Scale: 1/8" = 1'-0"  
DATE: 08.11.2024

**C203**



2 ELEVATION WEST: Down Canyon  
1/4"=1'-0"



1 ELEVATION NORTH: Toward Canyon Road  
1/4"=1'-0"

no.	date	revision

**HISTORICAL REVIEW  
SUBMITTAL**

PHASE 1B-13 H-2023-H-2: 6 ADU  
1598 upper canyon road  
east of rim 67501  
APN: 09007002

notes/  
bryn  
**Design** LLC  
100 - avenue road  
berkeley, ca 94705  
510.835.2333



WORK PLAN

1598 NORTH & WEST ADU ELEVATIONS

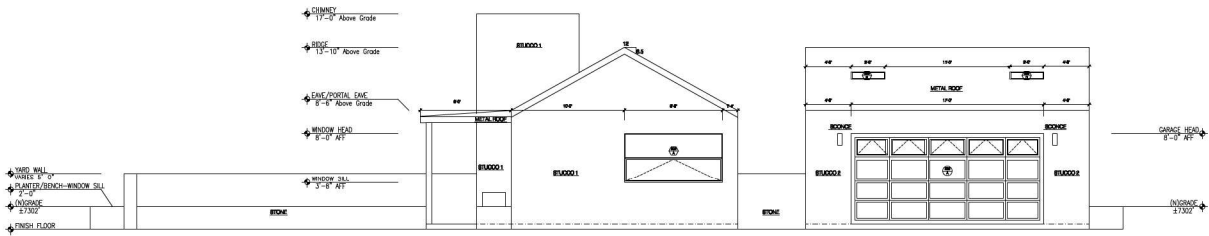
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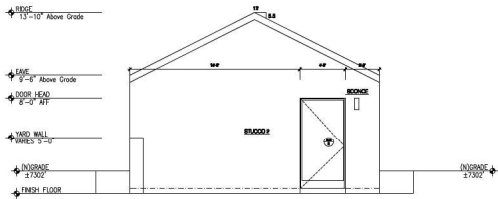
date:

08.11.2024

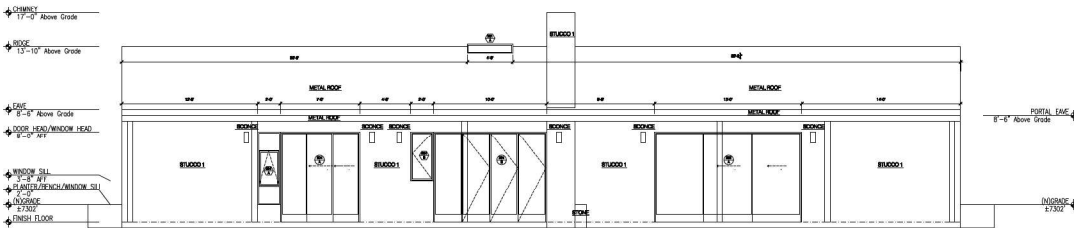
**A203**



**3 ELEVATION ADU & GARAGE EAST: Up Canyon**  
1/8"=1'-0"



**2 ELEVATION SOUTH ADU GARAGE: Toward Acequia**  
1/8"=1'-0"



**1 ELEVATION ADU SOUTH: Toward Acequia**  
1/8"=1'-0"

no.	date	revision

**HISTORICAL REVIEW  
SUBMITTAL**

PH18-128-13 18-2023-H2-2 & ADU  
1598 upper canyon road  
waste ls. rm 07601  
APN: 09007002

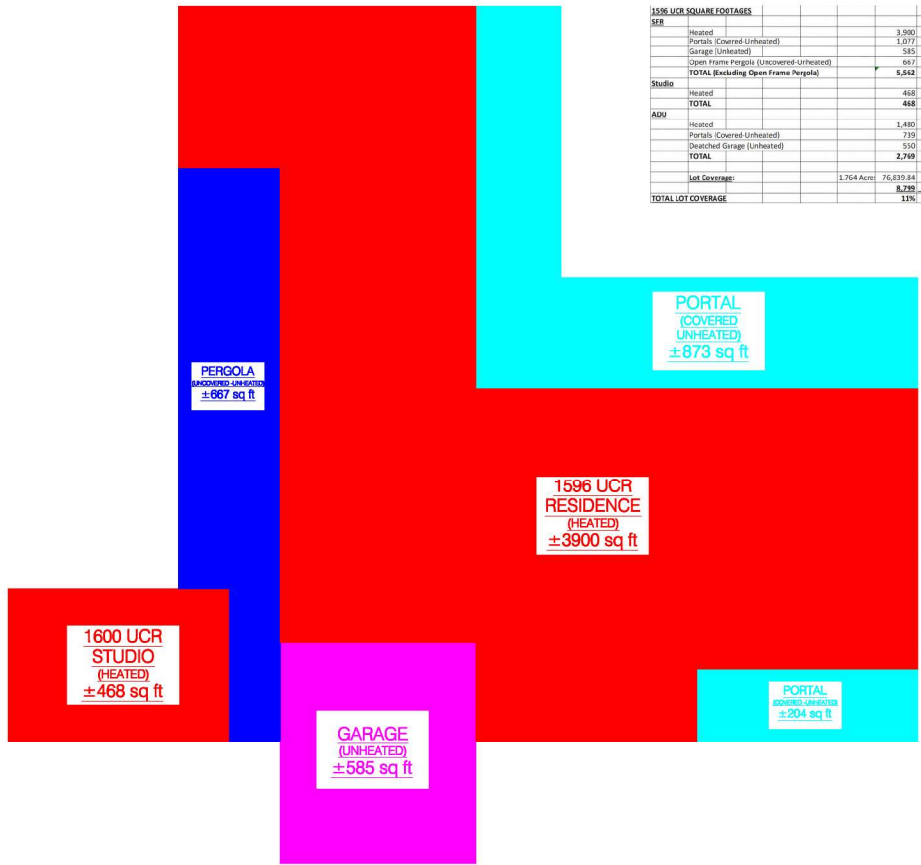
notes/  
bryn  
Dewi gm LLC  
100 - 10000 - road  
santa fe, nm 87505  
513.535.2333 VIGNY PLAN

1598 SOUTH & EAST ADU ELEVATIONS

scale:  
3/8"=1'-0"  
date: 08.11.2024

**A204**





1596 UCR SQUARE FOOTAGES					
<b>SFR</b>					
Heated		3,900	± 14%		
Portals (Covered/Unheated)		1,617	± 14%		
Garage (Unheated)		585	± 14%		
Open Frame Pergola (Uncovered/Unheated)		667	± 14%		
<b>TOTAL (Excluding Open Frame Pergola)</b>		<b>5,562</b>	<b>± 14%</b>		
<b>Studio</b>					
Heated		468	± 14%		
<b>TOTAL</b>		<b>468</b>	<b>± 14%</b>		
<b>ADU</b>					
Heated		1,480	± 14%		
Portals (Covered/Unheated)		739	± 14%		
Detached Garage (Unheated)		550	± 14%		
<b>TOTAL</b>		<b>2,769</b>	<b>± 14%</b>		
Lot Coverage:	1.764 Acres	76,839.84	± 14%		
<b>TOTAL LOT COVERAGE</b>		<b>8,799</b>	<b>± 14%</b>	<b>± 14% of Total of All Roof Area</b>	
					<b>13%</b>

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PHASE 2B-D 16-2023-H2-6 ADU  
 1596 upper canyon road  
 santa fe, nm 87501  
 APN: 09007002

notes/  
 byun  
 Design LLC  
 100 - 10000 - road  
 santa fe, nm 87505  
 513.938.2333

**1596 SQ FOOT CALCULATIONS**

scale:  
 1/4" = 1'-0"  
 date: 08.11.2024



ADU						
Heated					1,480	± sq ft
Portals (Covered-Unheated)					739	± sq ft
Detached Garage (Unheated)					550	± sq ft
<b>TOTAL</b>					<b>2,769</b>	<b>± sq ft</b>

no.	date	revision

**HISTORICAL REVIEW  
SUBMITTAL**

PROJECT: 1596 UCR ADU  
1596 upper canyon road  
esoto ls, nm 87501  
APN: 99007002

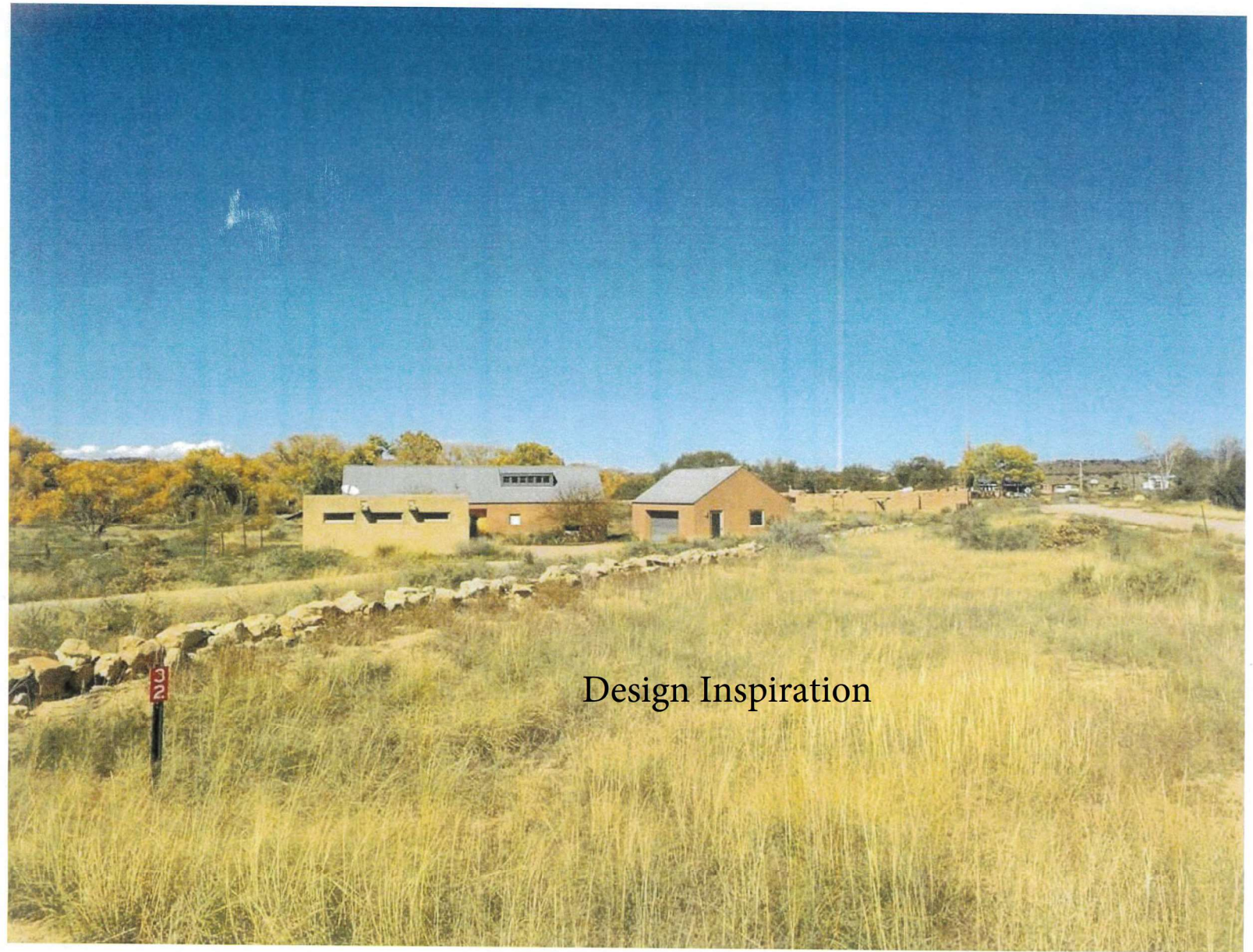
notes/  
byun  
Design, LLC  
100 - street - road  
berkeley, ca 94705  
916.833.2131



**1596 ADU SQ FOOT CALCULATIONS**

scale:  
1/8" = 1'-0"  
date: 08.11.2024





Design Inspiration

9/17/21, 8:53 AM

Photo - Google Photos



## Design Inspiration

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9/17/21, 8:53 AM

Photo - Google Photos



## Design Inspiration

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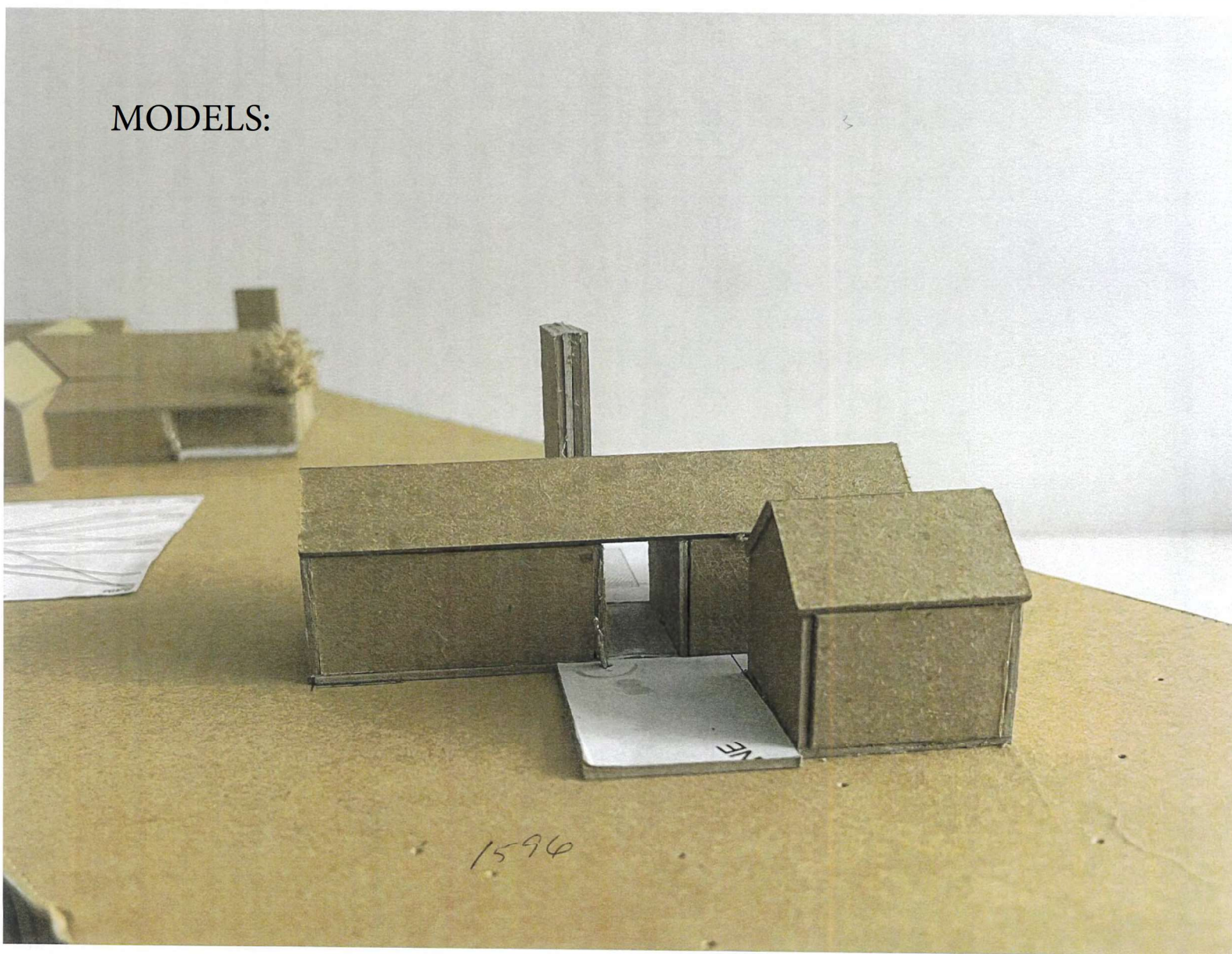
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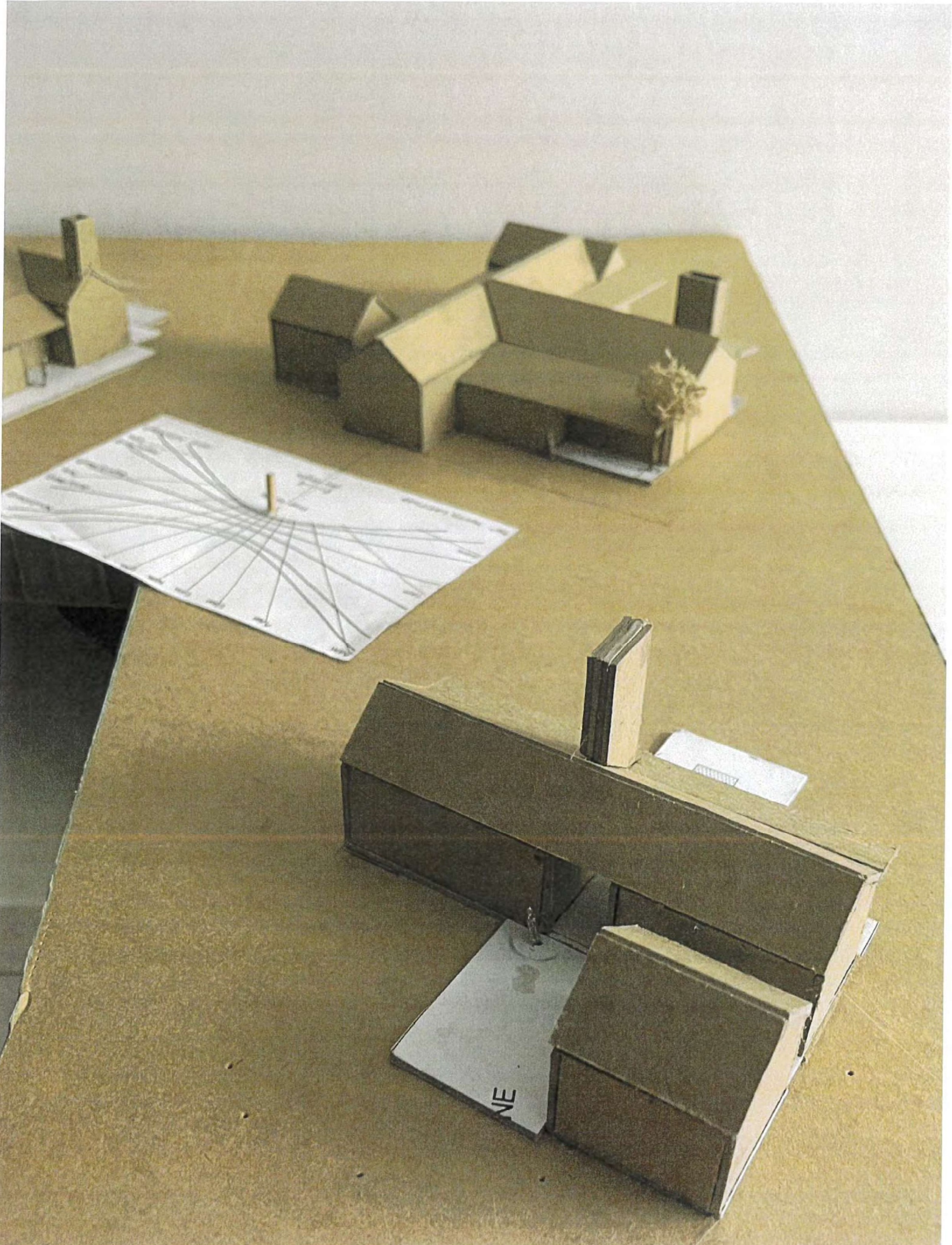


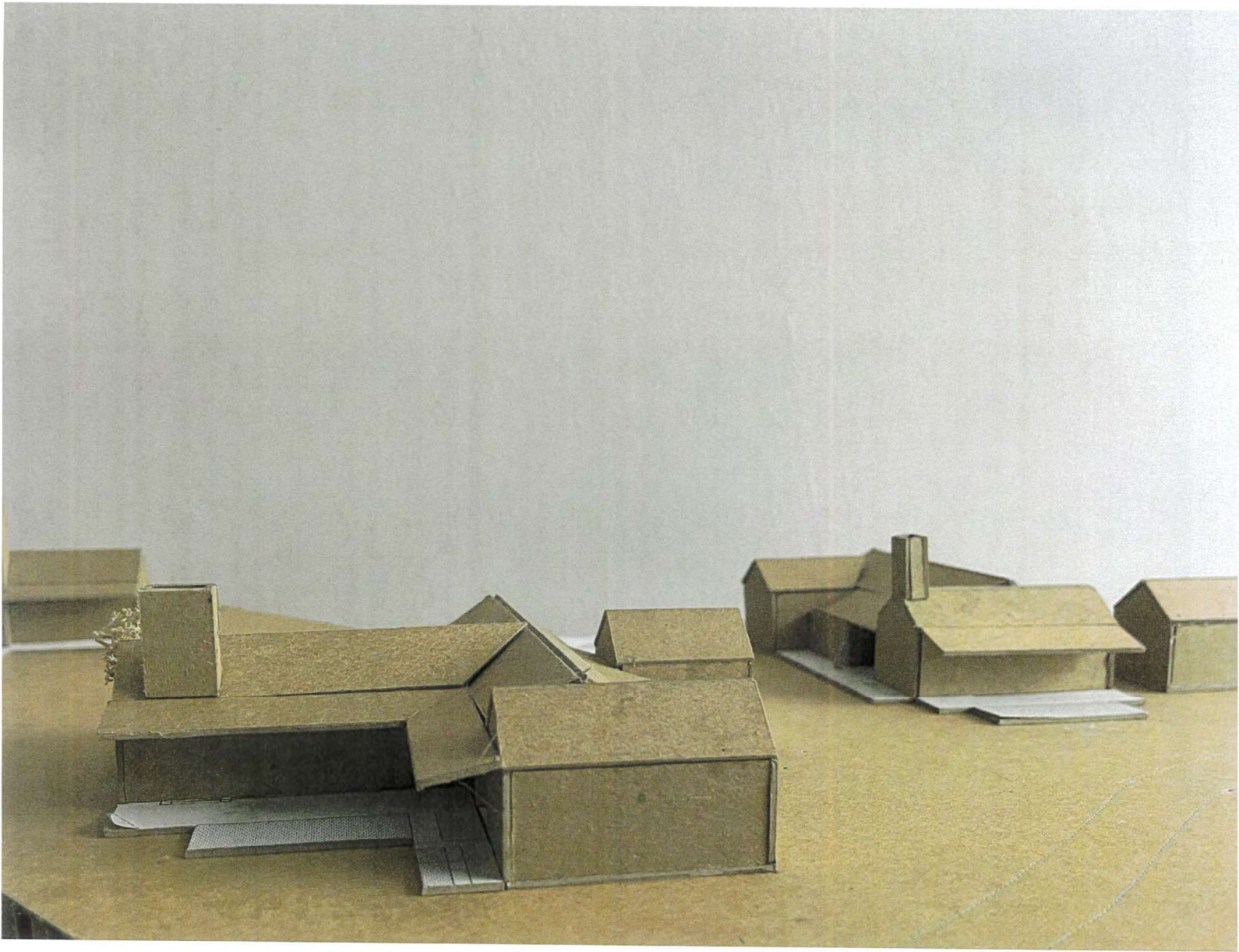
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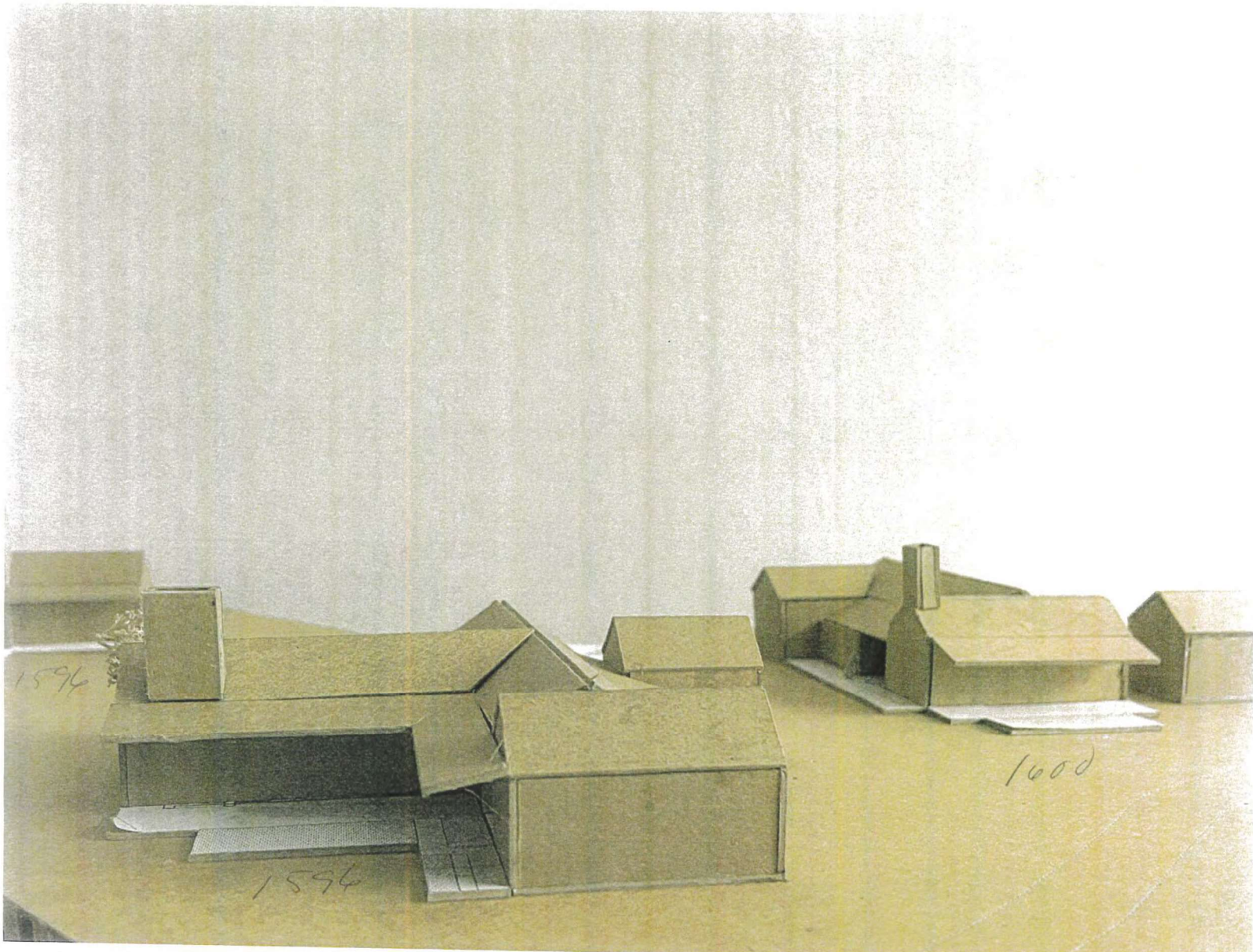
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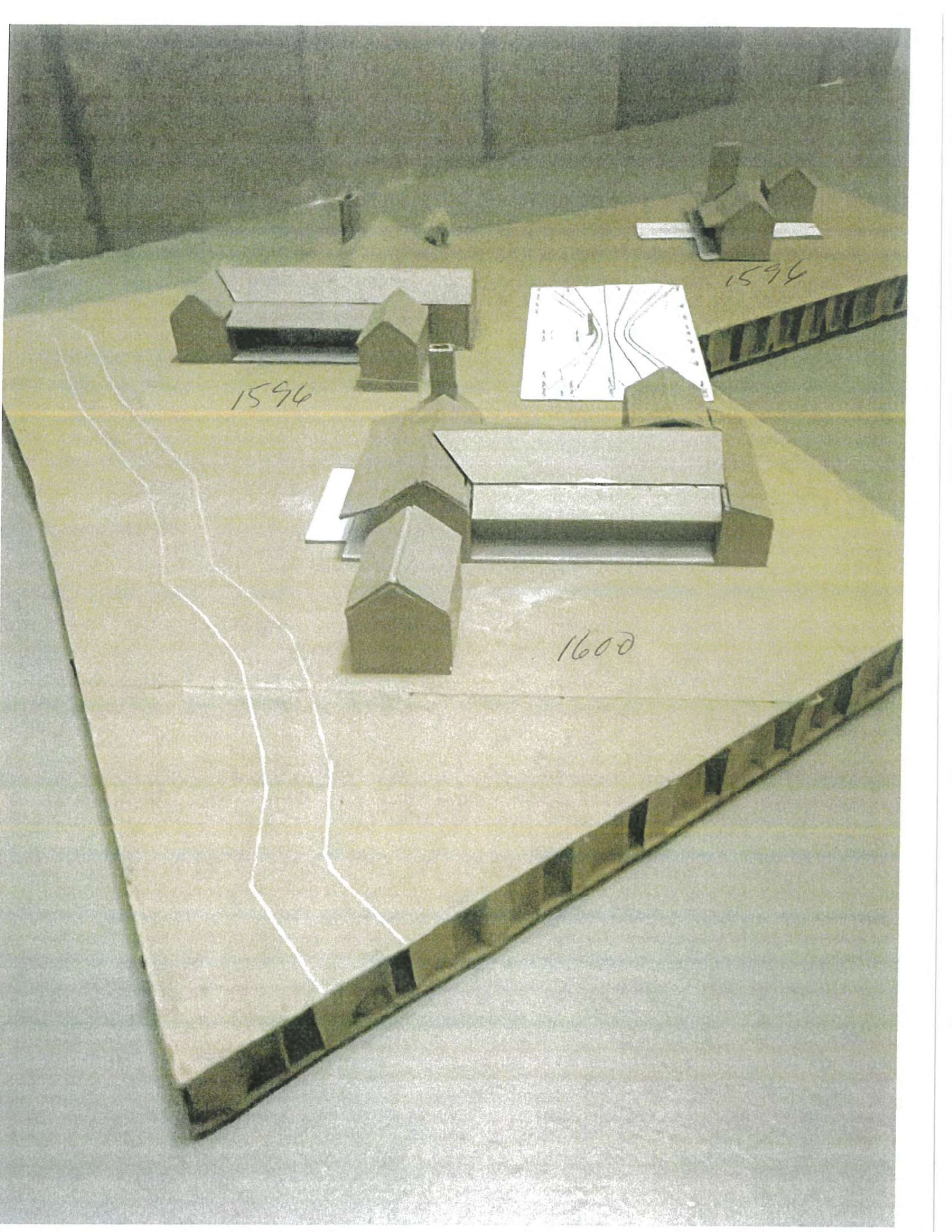




1600

1594

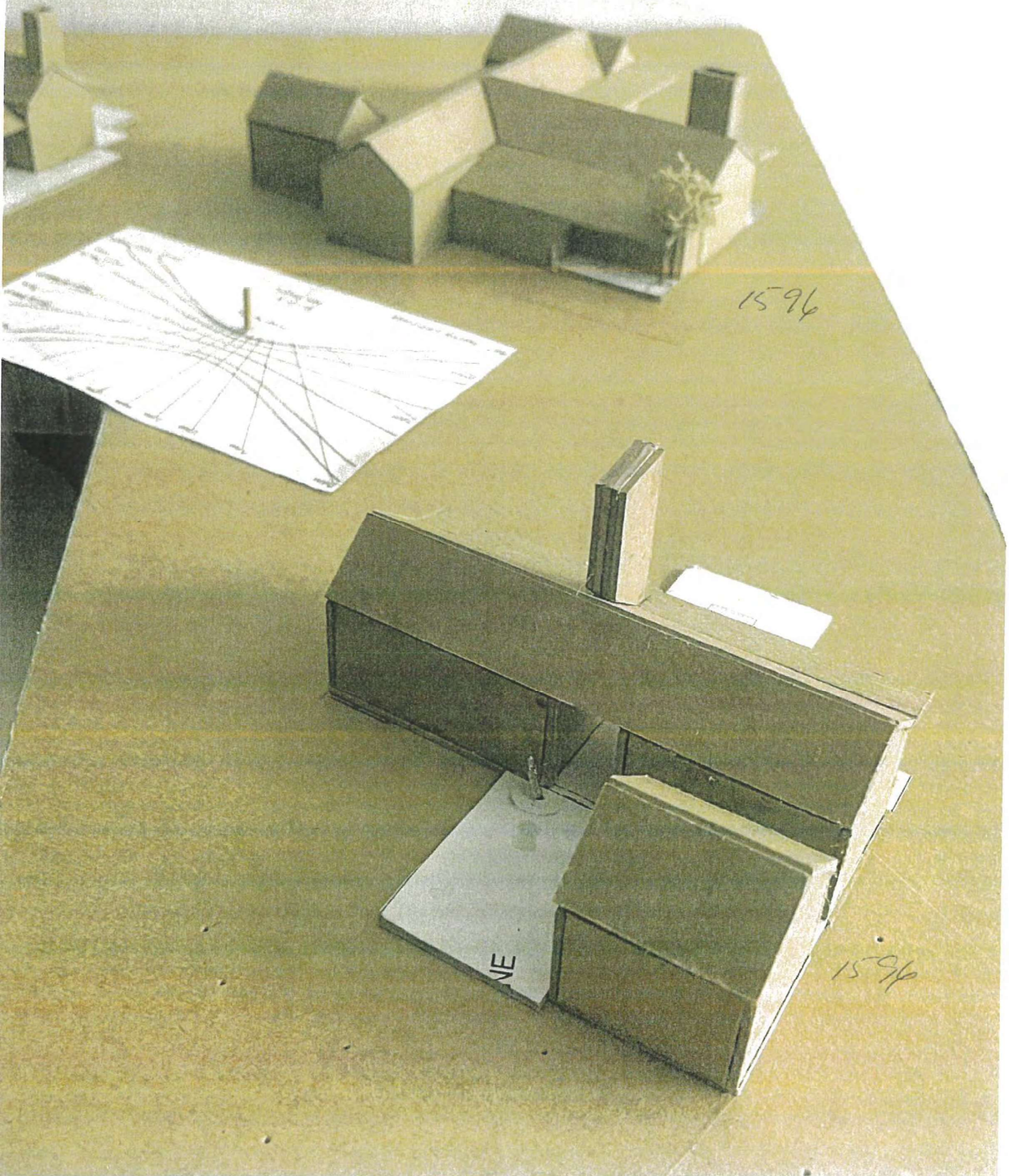
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1594

1594

1600



1596

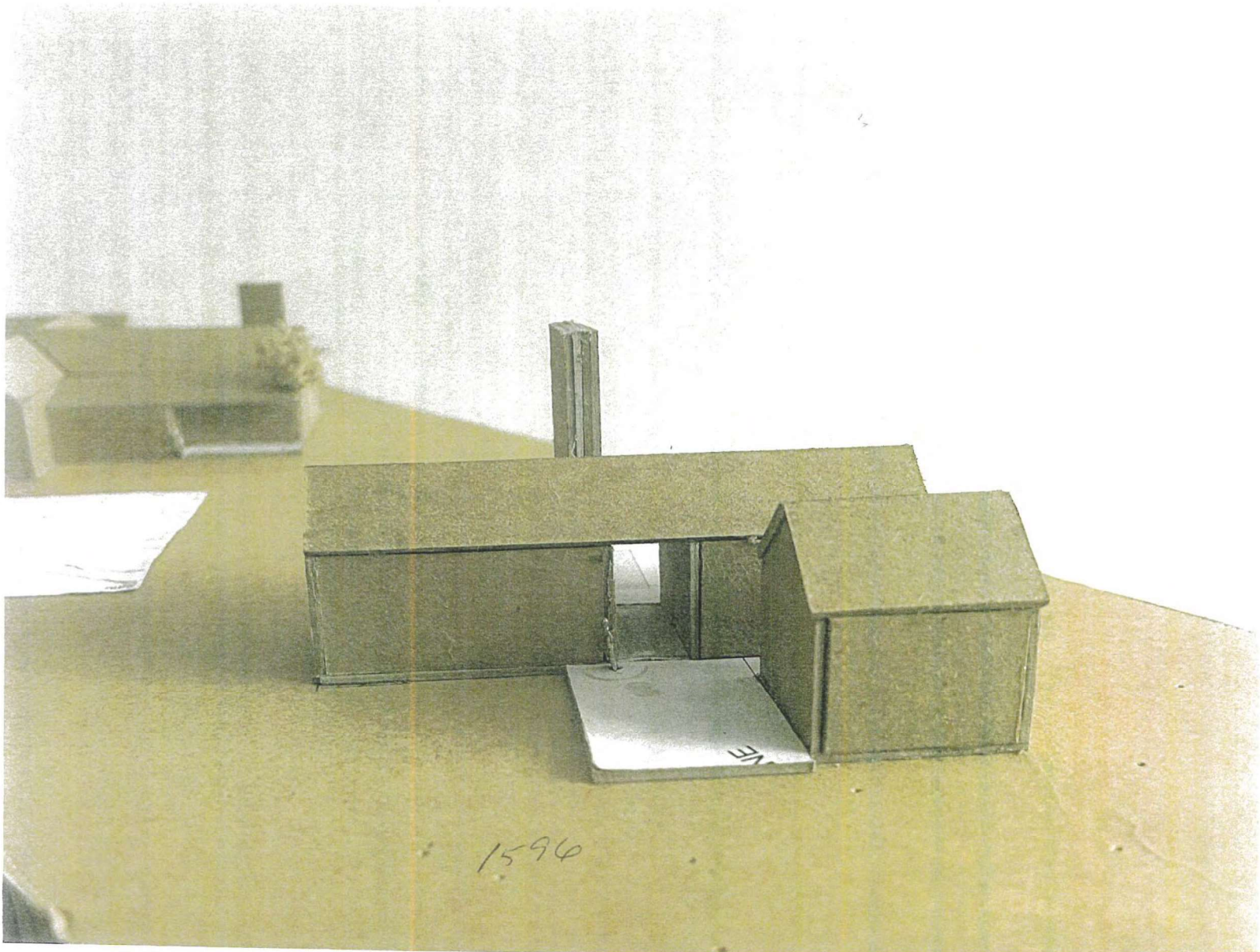
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NE

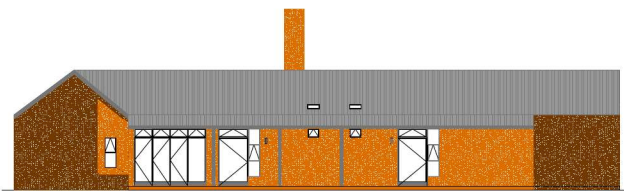








1594



**4 ELEVATION EAST**  
1/8"=1'-0"



**3 ELEVATION SOUTH**  
1/8"=1'-0"



**2 ELEVATION WEST**  
1/8"=1'-0"



**1 ELEVATION NORTH**  
1/8"=1'-0"


**HISTORICAL REVIEW  
SUBMITTAL**

**PROPOSED RESIDENCE**  
1666 upper canyon road  
Santa Fe, nm 87501  
APN: 86307302

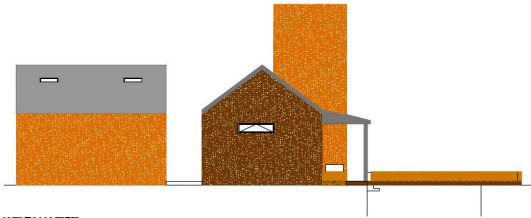
notes/  
hyun  
**Design, LLC**  
100 charles road  
berkeley, ca 94705  
916.555.2122



1/8"=1'-0"  
**HATCHED ELEVATIONS**  
scale: 1/8"=1'-0"  
date: 10.31.2022

**H202**

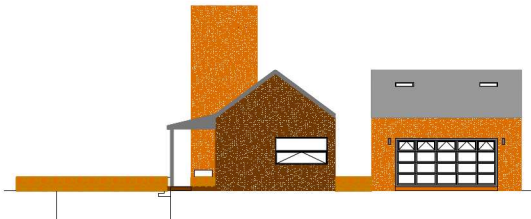
**4 ELEVATION WEST**  
1/8"=1'-0"



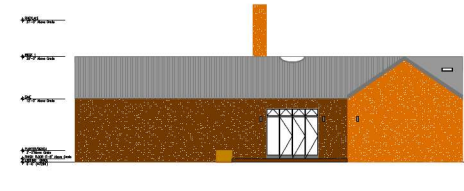
**3 ELEVATION SOUTH**  
1/8"=1'-0"



**2 ELEVATION EAST**  
1/8"=1'-0"



**1 ELEVATION NORTH**  
1/8"=1'-0"




**HISTORICAL REVIEW  
SUBMITTAL**

**PROPOSED RESIDENCE**  
1666 upper canyon road  
Santa Fe, nm 87501  
APN: 86307802

noles/  
hyun  
**Design, LLC**  
100 Alameda Road  
Berkeley, CA 94702  
916.995.9133



**1666 ADU  
HATCHED ELEVATIONS**  
scale:  
1/8"=1'-0"  
date:  
10.31.2022

**H203**



# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2023-006565--HDRB

**Project Description:** 2023-006565-HDRB. 1600 Canyon Rd. Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,200 sq. ft. single family residence with 756 sq. ft. of portals, a 515 sq. ft. attached garage, and 460 sq. ft. pergola, and a freestanding 520 sq. ft. studio to the maximum allowable height of 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed.

**Project Location(s):** 1600 CANYON RD  
Santa Fe, NM 87501

**Contacts:**

Property Owner: JEUNG LUELLA HYUN & NOLES  
165 VICENTE RD  
BERKELEY, CA 94705

NOLES\_HYUN@COMCAST.

Applicant: DOUGLAS MCDOWELL  
PO BOX 1567  
SANTA FE , NM 87504

doug@mcdowellsantafe.com

**Historic District:** HD: Historic Review, HD: Downtown And Eastside

**Historic Building Status:**

Non-Statused: False      Non-Contributing: False      Contributing:      Significant/Landmark:

**Primary Elevations:**

**Publicly Visible Facade-East:**

**Publicly Visible Facade-North:**

**Publicly Visible Facade-South:**

**Publicly Visible Facade-West:**

**Historic District Inventory Number:** NA

**Year of Construction:**

**Project Type:** New Construction

**Historic Building Name:**

# City of Santa Fe, New Mexico

# memo

**DATE:** April 9, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Lani McCulley, Senior Planner, Historic Preservation Division

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**2023-006565-HDRB. 1600 Canyon Rd. Historic Review Historic District.** McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 3,200 sq. ft. single family residence with 756 sq. ft. of portals, 515 sq. ft. attached garage, 460 sq. ft. pergola, and a 520 sq. ft. freestanding studio to the maximum allowable height of 14'-10". An exception to Section 14-5.2(D)(9)(d) is requested to construct a pitch where a pitch is not allowed.

## REFERENCE ATTACHMENTS (Sequentially):

### **CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [Height & Pitch Calculations]

### **APPLICANT SUBMITTALS**

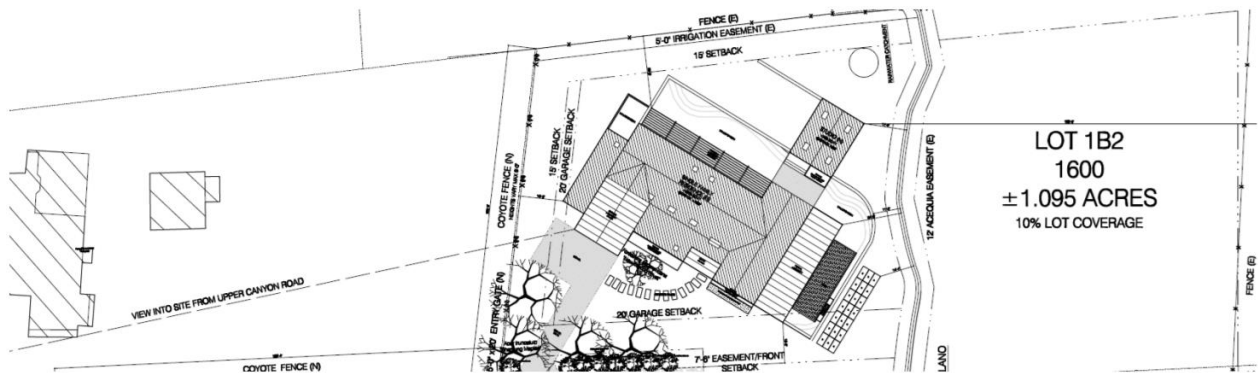
- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: [Exception Criteria]

## STAFF RECOMMENDATION:

Staff does not find that the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff finds that most of the design meets the district standards and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all Historic Districts, and Section 14-5.2(F) Historic Review Historic District Design Standards.

## **BACKGROUND & SUMMARY:**

1600 Canyon Road is a 1.095-acre vacant lot in the Historic Review Historic District.



The applicant proposes to construct:

### Main Residence:

1. A 3,200 Sq. Ft. ranch style single-family residence with a 515 sq. ft. attached garage to the maximum allowable height of 14'-10". The roof will be pitched with graphite-gray double standing seam roofing. An exception to construct a pitched roof where one is not allowed is requested (SFCC 14-5.2(D)(9)(d)). The Historic Review District states the following: In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure." Windows and doors do not appear to be inset to comply with this standard.
2. A 98 sq. ft. entry portal will be located on the southeast side of the residence.
3. A 658 sq. ft. portal will be located on the southwest side of the residence.
4. A 460 sq. ft. open roof pergola built of 6" x 6" metal cross columns with 4" x 4" tee beams and 2" x 4" steel tubes in Prismatic Powders PSB 8165 Motte Gravel Gray to match standing-seam roofing on the northeast side. The pergola will not be publicly visible.
5. Windows and doors will be fixed and awning aluminum windows and doors as manufactured in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing. The windows and doors will be single lite windows.
6. Garage door will be aluminum folding door in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing.
7. The house will have 8 skylights in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing. As the roofs are pitched roofs, the applicant is proposing a low-profile skylight to be flush with the roofing material.
8. Exterior Lighting on the residence will be 6"x12" LED Aluminum cylinder downlight. Prismatic Powders PSB 8165 Matte Gravel to match roofing.
9. Stucco colors will include cementitious La Habra la Luz 125 and Buckskin 106 and will be applied on alternating walls.

Studio:

10. A 520 sq. ft. studio to the maximum allowable height of 14'-10". The roof will be pitched with graphite-gray double standing seam roofing.
11. An aluminum sectional garage door with operable windows with frosted glass in Prismatic Powders PSB 8165 Matte Gravel Gray will be on the north elevation.
12. The studio will have 4 skylights in Prismatic Powders PSB 8165 Matte Gravel Gray to match roofing.
13. Exterior Lighting in the studio will be 6"x12" LED Aluminum cylinder downlight. Prismatic Powders PSB 8165 Matte Gravel to match roofing.
14. Stucco colors will include cementitious La Habra la Luz 125 and Buckskin 106 and will be applied on alternating walls.

Site:

15. There will be a swimming pool of concrete and tile with Hydroxyl-Based Advanced Oxidation Processes, automatic, retractable covers, and pool Alarms, and 6" wide rectangular metal waterspouts and pool fillers in satin black on the southeast and Marine grade stainless steel outdoor shower w/foot washer.
16. A ground mounted solar array will be located to the southeast of the main residence.
17. Other features will include an exterior stone fireplace, planters, and water features which will include recirculating water features, rainwater catchment system, and Cup or chain style rain chains in place of downspouts in Dark Bronze or Black depending on manufacturer.
18. The property perimeter will have a 6'-0" high coyote fence with a 4'x16' metal entry vehicle gate at the driveway for the guest house.
19. A 4' x 20' vehicle gate will cross the access easement for access to the main residence.
20. The driveway, patio, and walkway surfaces will be Santa Fe Brown 3/4"-7/8" gravel and French Gray pavers.

Slope cuts have been preliminarily reviewed by the Terrain Management Team.

All structures will be set back from the Acequia del Llano per a condition set by the Archaeological Review Committee and the Terrain Management Team.

**EXCEPTION CRITERIA AND RESPONSES:**

Exception to Section 14-5.2(D)(9)(d) to construct a pitch where one is not allowed.

(i) *Does not damage the character of the streetscape.*

Applicant Response: The designs proposed for 1596 and 1600 Canyon are both a low-profile pitch design and are located back from the streetscape with houses between the streetscape and the improvements. The designs will enhance the character of the streetscape and be harmonious with the historic aspect of the current streetscape with the existing neighborhood.

Staff Response: Staff disagrees with this response. While this property is in the Historic Review District it is adjacent to the Downtown and Eastside Historic District and Canyon Road which houses mostly flat roofs and a few lower pitched roofs. The pitch on this design is a 70.33% pitch or an 8:12 pitch which is considered a high-pitched roof.



(ii) *Prevents a hardship to the applicant or an injury to the public welfare.*

Applicant Response: The pitched roof will provide better management of the winter weather conditions' impact on the roof structure.

Staff Response: Staff do not agree with this response. Roof maintenance is critical for maintaining a residence, but the applicant does not address how a pitched roof prevents hardship to the applicant or the public welfare. Santa Fe has mostly flat roof houses which are maintained in inclement weather. Furthermore, the Historic District design standards further the public interest in order to provide a predictable design vocabulary for this area as well as maintain the character of the historic district.

(iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that the residents can continue to reside within the historic districts.*

Applicant Response: The architectural styles of the existing neighborhood and the district include numerous pitched roofed homes. The applicant designed the pitched roof home with a low pitch to ensure heterogeneity while also honoring exiting architectural styles.

We began with a steeper pitch and to reduce the height of the home to the required height we both dropped the ceiling heights and the pitch to a lower slope pitch. The photos attached to the application of a similar home represent a low pitch and similar styles to the applicant's proposed improvements.

Staff Response: Staff do not agree with this response. While there are pitched roofs around Canyon Road, this streetscape along Canyon Road only consists of 15.8% pitched roofs. There are no pitched roof in the radial calculation. Therefore, pitched roofs at this location do not lend to the unique heterogeneous character of Upper Canyon Road nor to the city.

*(iv) Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.*

Applicant Response: The applicant is concerned with the location of this home on the north face of the sloping lot on Upper Canyon Road. Snow can remain on these lots for months at a time and freeze. This provides the perfect opportunity for roof leaks on flat roofs. The pitched roof will allow for the drainage of snow and water from the roof and provide the opportunity to recapture water from snow melt and rain and provide a sound roof system.

Staff Response: Staff disagree with this response. While there are advantages to pitched roofs in inclement weather and for longevity, this parcel does not differ from the other parcels in the area. The other parcels have flat roofed homes and are capable of maintenance in inclement weather.

*(v) Are due to special circumstances which are not a result of the actions of the applicant.*

Applicant Response: The location of the lot on the north face of the slope limits the roof options due to weather conditions. TPO roofs would be a possibility but shoveling of the roof and damage from freeze and thaw still presents a problem.

Staff Response: Staff disagree with this response. The long, narrow, and sloping site, weather conditions, the historic area, and the locations available for the residence are like other lots in the area. When the applicant purchased the lots these conditions were extant and they were aware of the associated design impacts.

*(vi) Provide the least negative impact with the purpose of this section and set forth in Subsection 14-5.2 (A)(1).*

Applicant Response: We believe that the pitched roof design is harmonious with the streetscape and the historic neighborhood. Pitched roof homes are dotted throughout the district and when done properly remind us of the architectural elements that were added as new materials became available in the past. The simplicity of this design will be a reminder of the beauty of the past.

Staff Response: Staff does not agree with this response; the design with a lower slope would create a less severe difference between the historic Santa Fe styles with flat roofs but this slope is a higher slope.

### **RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

#### Building Height:

##### 14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

The height, pitch, scale, and massing of any structure in an historic district, as defined in this section, shall be limited as provided for in this section, unless further restricted within this chapter.

- (c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

#### (d) Pitch

If the determined streetscape includes over fifty percent of buildings with pitched roofs, the proposed building may have a pitched roof. A pitched roof is defined as a gable, shed, or hipped roof. The pitch of the roof shall match the predominant pitch extant in the streetscape.

### (F) Historic Review District

#### (1) Applicability

(a) The division shall review and approve or deny all *applications* for new construction, exterior alteration, and demolition of *structures* in the historic review district in accordance with the standards set forth in this section.

(b) The historic districts review board shall review and approve or deny new construction of commercial, *residential* multi-unit, public *structures*, and those *structures* requiring the Board's review as specified in Subsection 14-5.2(D)(9)(a). Approval, disapproval, or referral shall be indicated by the division on the *application* for the *building permit* and on each of the required submittals, all of which shall be signed by the division staff assigned to the review.

#### (2) District Standards

(a) The following structural standards shall be complied with whenever exterior features of *buildings* and other *structures* subject to public view from any public *street*, way, or other public place are erected, altered, or demolished:

- (i) Slump block, stucco, or stone shall be used as exterior *wall* materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry *units* or unstuccoed cement shall not be used as exterior *wall* materials; and
- (ii) The color of stuccoed *buildings* shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and *portals* may be emphasized by the use of white or other colors or materials.

Painting of *buildings* with bold repetitive patterns or using *buildings* as signs is prohibited.

(b) It is intended that *buildings* be designed to be "wall dominated". "Wall dominated" means that the *building's* geometry is more defined by *walls* than by roofs. *Buildings* with flat, gabled, shed, and *hipped roofs* can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and *hipped roofs* are only allowed if sufficient evidence is provided by the *applicant* showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related *streetscape*, as viewed when standing in the public *street* in front of the site. The height of the roof above the *wall* shall be no greater than the height of the *walls*. Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.

(c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large, glazed areas on south-facing *walls* for trombe *walls* or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public *street*, way, or other public place, solar equipment shall be screened as follows:

- (i) Raising the parapet;
- (ii) Setting back from the edge of the roof;
- (iii) Framing the collector with wood;
- (iv) In pitched roofs, by integrating the collector into the pitch;
- (v) In ground solar collectors by a *wall* or vegetation;
- (vi) In *wall* collectors or *greenhouses* , by enclosing by end or other *walls* ;
- (vii) Other means that screen the collector or integrate it into the overall *structure* . Non-glare materials shall be used in solar collectors.

(d) Roof-mounted mechanical, electrical and telephone equipment and other obtrusive *structures* shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment or other appropriate means. The equipment shall be of a low profile to minimize the *screening* problem.

(e) No cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in freestanding *walls* .

(f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that *structures* be designed to appear essentially as *structures* with massive *walls* which are defined as being built or appearing to be built of *adobe* construction, *wall* thickness appearing massive in relation to *wall* height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the *structure* . Solid *wall* space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing *walls* for solar equipment as provided in Subsection (F)(2)(c) of this section and under *portales*. The mass elements that make up the *building* composition shall appear as single blocks. *Buildings* with ground coverage of over twenty thousand 20,000 square feet and over one *story* shall be designed to appear more as an aggregation of smaller " *building* blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)

(g) *Walls* and fences visible from the *street* shall be built of brick, *adobe* , rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar

materials. *Walls* of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the *wall* or fence is not visible from the *street* .

(h) When parking spaces are required for commercial or multi-family *residential buildings* , they shall be placed to the rear or side of the *building* . When parking areas are visible from the *street* , they shall be screened from view by *walls* , fences, vegetation, planters, earth berms, or other means.

# WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

**Purpose and intent:** These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structure(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

## **SCALE:**

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and niches at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

## **SETBACK:**

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

#### **MATERIAL, TEXTURE AND COLOR:**

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

#### **GATES:**

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

#### **LANDSCAPING (Suggested Options)**

Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		Site Address:
Date Submitted: <u>02/14/2023</u>		<u>1600 Canyon Road</u>
Property Owner of Record: <u>Jung Hyun &amp; Luella M. Ndes</u>		Proposed Construction Description:
Applicant/Agent Name: <u>Doug McBowen</u>		<u>See Attached</u>
Contact Person Phone Number: <u>951-690-9999</u>		TOTAL ROOF AREA: <u>See Attached (3' See below)</u>
Zoning District: <u>R-1</u>		Lot Coverage: <u>10.46 %</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>Historic Design Review</u>		Setbacks: Proposed Front: <u>16' 8"</u> Minimum: <u>7' 20'</u> to garage 2 <sup>nd</sup> Front? _____ Proposed Rear: <u>29' 8"</u> Minimum: <u>15'</u> Proposed Sides: <u>L168' R18' 3"</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed <u>14' 10"</u> Maximum Height: <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: <u>N/A</u> Proposed <u>3</u> Accessible <u>NA</u> Minimum: <u>3</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <u>N</u> <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: <u>N/A</u> Proposed: _____ Minimum: <u>NA</u> ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes _____		

\* Requires an additional review conducted by Technical Review Division.

\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Jung S. Hyun & Luella M. Ndes PRINT NAME  OWNER  APPLICANT  AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]  
SIGNATURE

02/14/2023  
DATE

### To Be Completed By City Staff:

#### Additional Agency Review if Applicable:

Case no. 2024-007964

- Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_
- Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_
- Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Notes: \_\_\_\_\_

#### Zoning Approval:

Preliminary Approval  with conditions  Rejected

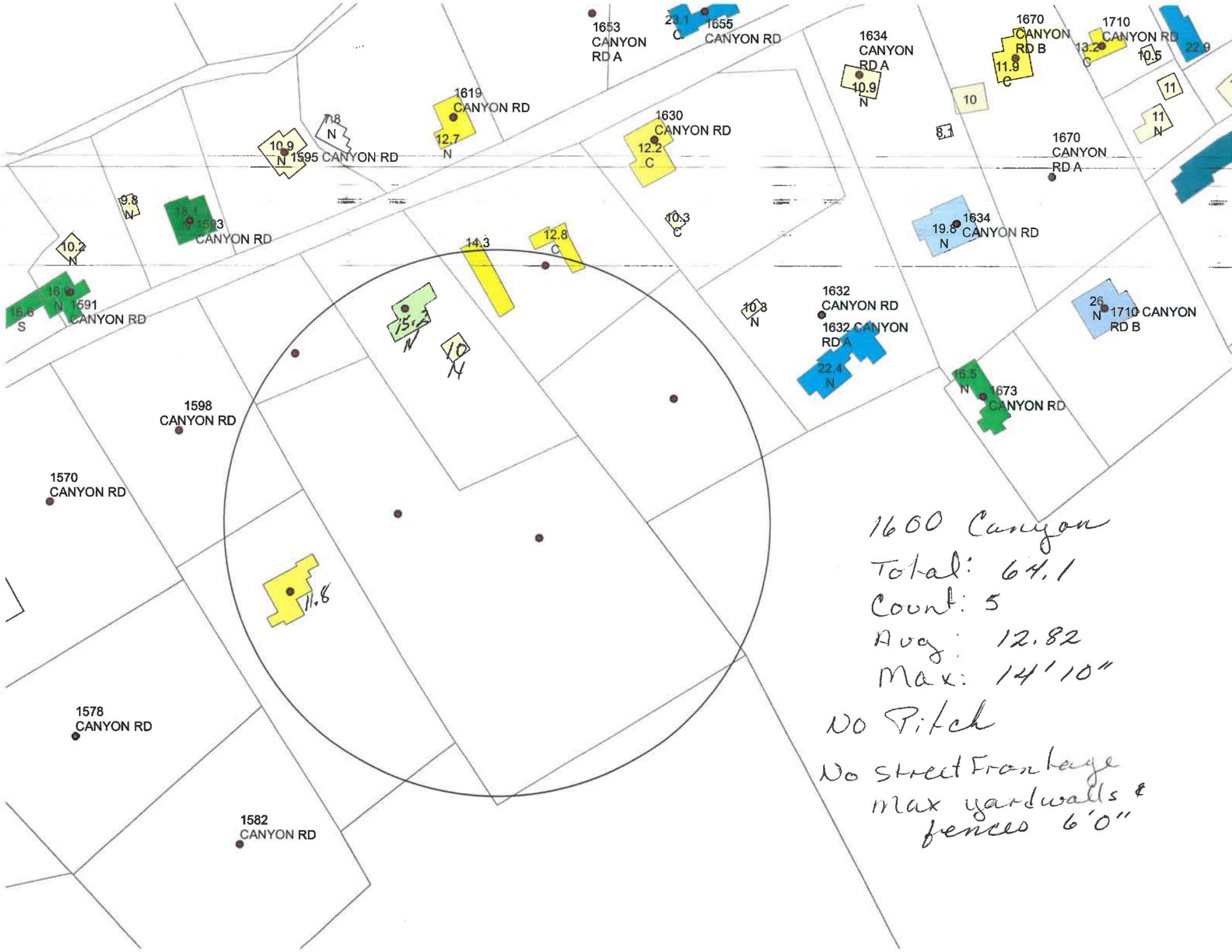
Comments/Conditions: Legal lot of record provided. Height meets 10' step back requirements. Proposed fence max height 6'.

Front setback to primary unit 16' 8" and 20' to house at driveway. Parking provided on 20' driveway and one space in garage.

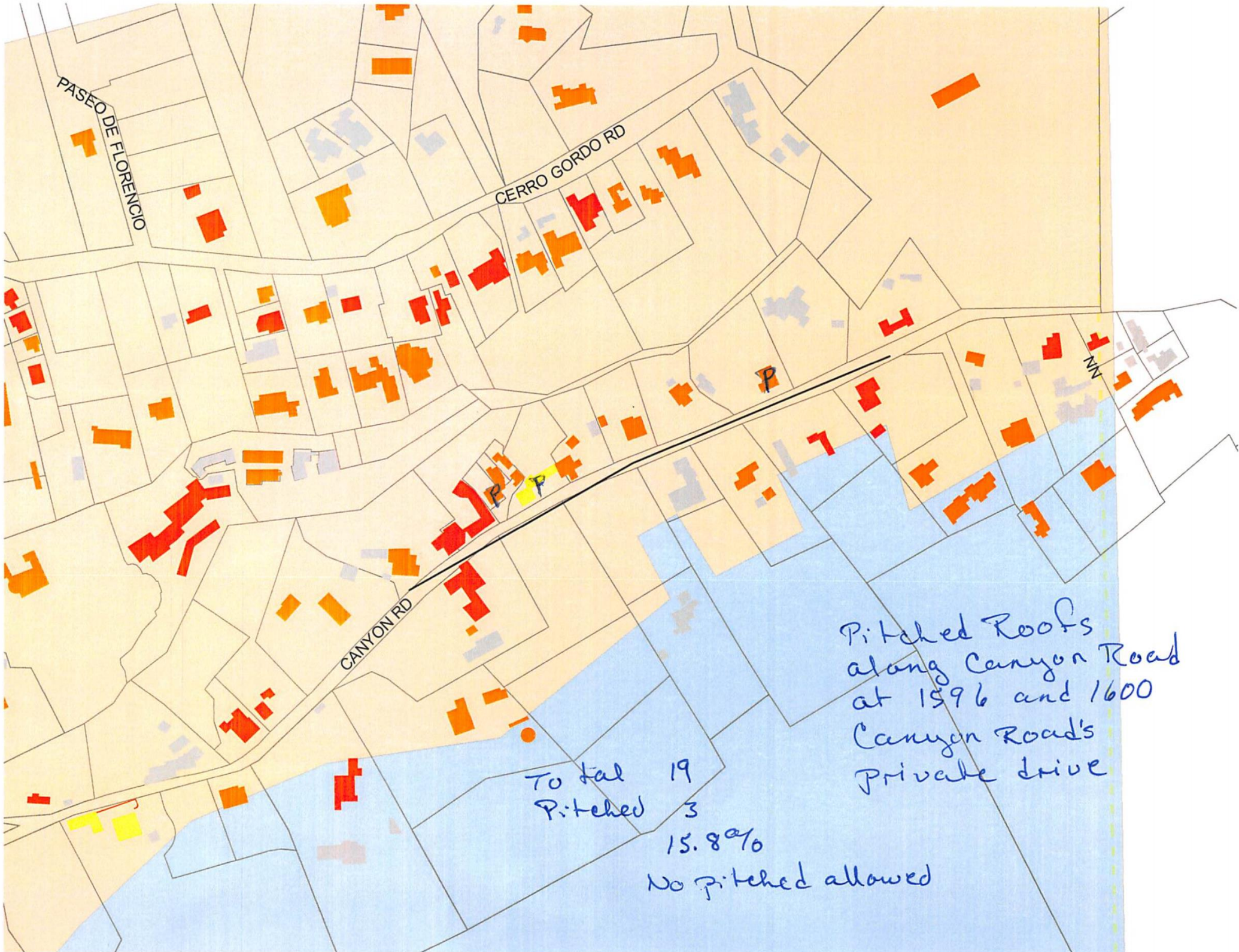
REVIEWER: Carly Venditti

Carly Venditti

DATE: 3 / 4 / 2024



1600 Canyon  
 Total: 64.1  
 Count: 5  
 Avg: 12.82  
 Max: 14'10"  
 No Pitch  
 No Street Frontage  
 max yardwalls &  
 fences 6'0"



# HDRB PROPOSAL WORK/LETTER 1600 CANYON ROAD

## Proposed Construction Description:

New construction on a 1.095 Acre vacant lot of a Single Story ±3200 sq. ft. SFR w/ a ±520 sq ft Studio.

### Total Roof Area

<b>SFR:</b>	<b>±3,200 sq ft</b>
Covered Portal Roofs	±756 (Unheated)
Attached Garage	±515 (Unheated)
<b><u>TOTAL:</u></b>	<b><u>±4,471 sq ft of Roof Area</u></b>

<b>Studio:</b>	<b>±520 sq ft</b>
<b><u>TOTAL:</u></b>	<b><u>±520 sq ft of Roof Area</u></b>

**Lot Coverage:** 1.095 Acres = ±47,698.2 sq ft Lot  
±4,991 sq ft Total of All Roof Areas

**Total Lot Coverage** ±10%

### Setbacks:

Proposed Fronts	Minimum 7'-6" (from Access Easement)
SFR	±16'-8"
Studio	±75'-0"
Proposed Garage	Minimum 20'-0" (from Access Easement)
SFR's	±44'-0" (Attached)
Proposed Rears	Minimum 15'-0"
SFR	±29'-8"
Studio	±33'-11"
Proposed Sides	Minimum 15'-0"
<b>L (South)</b>	
SFR	±177'-4"
Studio	±168'-5"
<b>R (North)</b>	
SFR	±18'-3"
Studio	±108'-5"

**Heights:** Maximum 14'-10" (Regulated by Historic Districts Ordinance)

**Ridge Height All** **14'-10" MAX from Grade** (Proper grading and drainage to be provided at all grade cuts)

## **PRODUCT SHEETS for HDRB**

### **EXTERIOR**

#### **SITE**

##### **1. Driveway Gravel**



*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable base of filter fabric and sand

##### **2. Gates**



One 5' x 20' utility gate shall have squared corners without sharp edges and are made of extremely durable but smooth square steel tubing with universal quick-pin latch system. Posts made of same material.

##### **3. Fencing**



Varying heights with a Maximum of 6' above grade constructed of a combination of un-peeled cedar, juniper, aspen and/or spruce.

##### **4. Patio Surfaces**



*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable of filter fabric and sand base with open joints between 1'x2' precast concrete smooth finish French Gray pavers

##### **5. Walkway 1**



*Santa Fe Brown 3/4\"-7/8\"* gravel from Southwest Landscaping Materials over permeable sand base between varying sizes of smooth finish French Gray pre cast concrete pavers

**6. Walkway 2**



*Santa Fe Brown 3/4\"-7/8\" gravel from Southwest Landscaping Materials over permeable sand base*

**7. Planters**



**8. Water Features**



**9. Fire pits**



**10. Fountain Spouts/Pool Fillers**



6\"W, See drawings for depths. Rectangular metal water spouts/pool fillers *Moseli* as manufactures by Majestic or equal. Satin black as per manufacturer.

**11. Outdoor Shower Fixtures**



Marine grade stainless steel outdoor shower w/foot washer as manufactured by Bondi or equal.

**BUILDING**

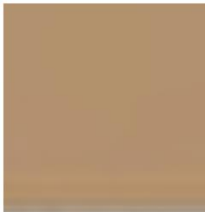
**1. Stucco 1**



La Luz  
125 (20)

**El Rey** *La Luz* 125 (20) ALT *Adobe* 116 (24)

**2. Stucco 2**



Buckskin  
106 (35)

**El Rey** *Buckskin* 106 (35) ALT *Kokanee* 108 (54)



**3. Garage Doors 1**



Sizes as shown on drawings. Aluminum sectional doors as manufactured by Overhead, Clopay, *Amarr* or equal. Prismatic Powders *PSB 8165 Matte Gravel Grey* to match roofing..

**4. Garage Doors 2**



Sizes as shown on drawings. Aluminum folding garage doors with operable windows as manufactured by *Amarr* or equal. Frosted glass with Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing

**5. Windows & Doors**



Sizes and operations as shown on drawings. Aluminum windows and doors as manufactured by Bonelli or equal. Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**6. Roofing, Gutters & Snow Guards**



prePATINA graphite-gray double standing seam roofing w/internal gutter system and accessories as manufactured by Rheinzink or equal

**7. Rain chains**



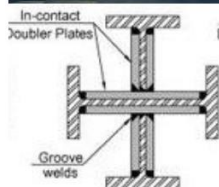
Cup or chain style

rain chains in place of downspouts *Toh L or Hamon* as manufactured by SEO or equal. Dark Bronze or Black per manufacturer.

**8. Skylights**

Sizes as indicated on drawings. Fixed and operable skylights as manufactured by Velux or equal. Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

**9. Portals**



6" x 6" metal cross columns with 4" x 4" tee beams Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing. Roofing material same as main structure.

## 10. Pergolas



6" x 6" metal cross columns with 4" x 4" tee beams and 2" x 4" steel tubes Prismatic Powders *PSB 8165 Matte Gravel Gray* to match roofing.

## 11. Exterior Sconces



6"x12" LED Aluminum cylinder downlight. Prismatic Powders *PSB 8165 Matte Gravel* to match roofing.

## 12. Solar panels



See C1010 for location. Ground mounted solar panels.

## Variance Request

We are requesting a variance from SFCC §14-5.2 to allow for a pitched roof design on the improvements proposed to be constructed by the applicant the applicant to be constructed at 1596 and 1600 Upper Canyon Road.

## Exception Criteria Responses

- (i) Does not damage the character of the streetscape.

Applicant Response: The designs proposed for 1596 and 1600 are both a low profile pitch design and are located back from the streetscape with houses between the streetscape and the improvements. The designs will enhance the character of the streetscape and be harmonious with the historic aspect of the current streetscape with the existing neighborhood

- (ii) Prevents a hardship to the applicant or an injury to the public welfare.

Applicant Response: The pitched roof will provide better management of the winter weather conditions impact on the roof structure.

- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that the residents can continue to reside within the historic districts.

Applicant Response: The architectural styles of the existing neighborhood and the district include numerous pitched roofed homes. The applicant designed the pitched roof home with a low pitch to ensure heterogeneity while also honoring exiting architectural styles.

We began with a steeper pitch and to reduce the height of the home to the required height we both dropped the ceiling heights and the pitch to a lower slope pitch. The photos attached to the application of a similar home represents a low pitch and similar styles to the applicant's proposed improvements.

- (iv) Are due to special circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

Applicant Response: The applicant is concerned with the location of this home on the north face of the sloping lot on Upper Canyon Road. Snow can remain on these lots for months at a time and freeze. This provides the perfect opportunity for roof leaks on flat roofs. The pitched roof will allow for the drainage of snow and water from the roof and provide the opportunity to recapture water from snow melt and rain and provide a sound roof system.

- (v) Are due to special circumstances which are not a result of the actions of the applicant.

Applicant Response: The location of the lot on the north face of the slope limits the roof options due to weather conditions. TPO roofs would be a possibility but shoveling of the roof and damage from freeze and thaw still presents a problem.

- (vi) Provide the least negative impact with the purpose of this section and set forth in Subsection 14-5.2 (A)(1)

Applicant Response: We believe that the pitched roof design is harmonious with the streetscape and the historic neighborhood. Pitched roof homes are dotted throughout the district and when done

properly remind us of the architectural elements that were added as new materials became available in the past. The simplicity of this design will be a reminder of the beauty of the past.

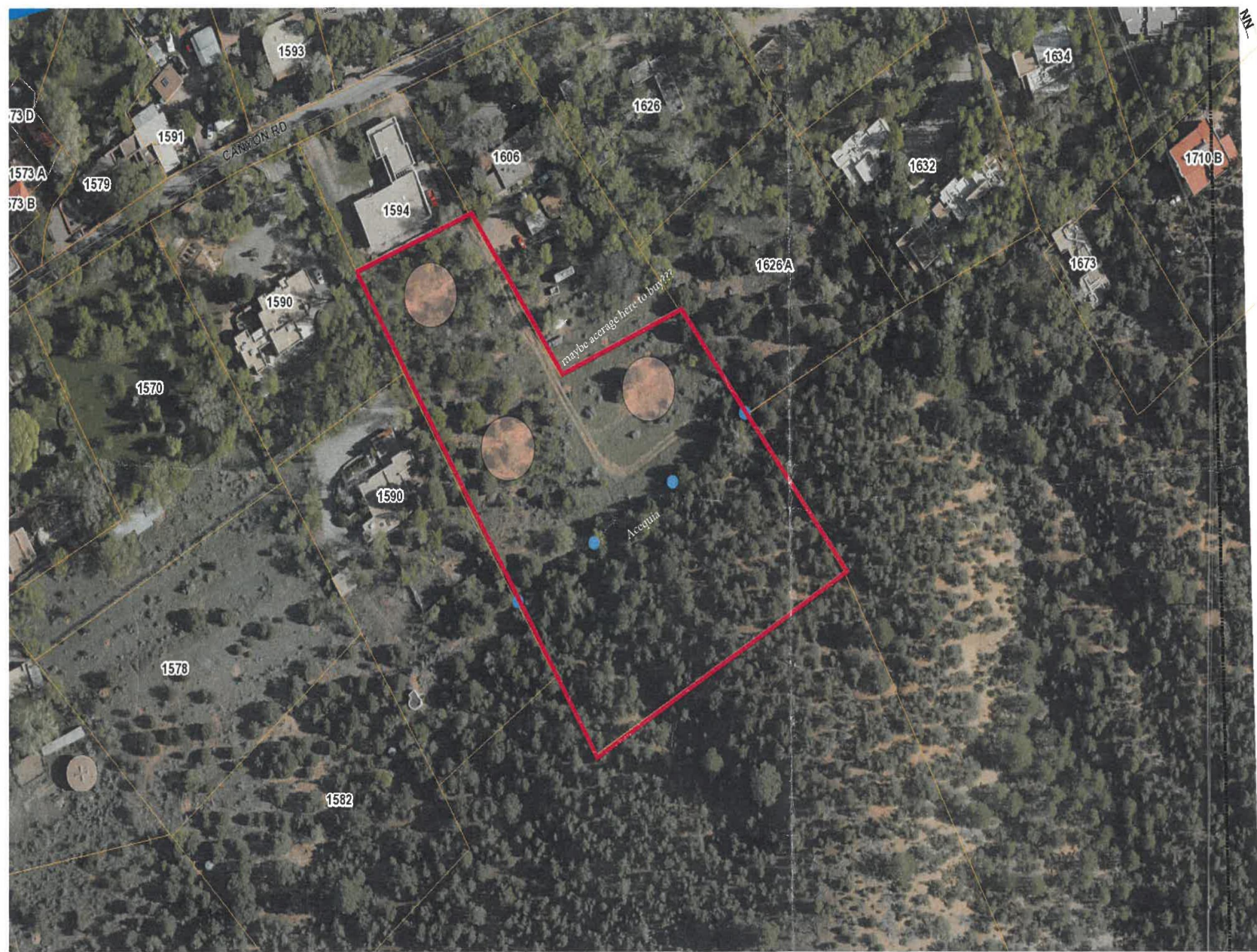
Thank You

Doug McDowell  
Owners Agent



Upper Canyon Rd

Upper Canyon









**LEGEND**

- ★ INDICATES POINT FOUND AND USED AS NOTED.
- ⊙ INDICATES 3" ALUMINUM CAP IN CONCRETE, SFC MONUMENT #1110.
- INDICATES SET REBAR WITH CAP, L.S. No. 13839.
- INDICATES CALCULATED POINT NOT SET.
- ⊙ INDICATES CITY OF SANTA FE SANITARY SEWER MANHOLE.
- ⚡ INDICATES UTILITY POLE, OVERHEAD UTILITY LINES, AND POLE GUY ANCHOR WHERE APPLICABLE.
- ▲ INDICATES ELECTRIC METER.
- △ INDICATES GAS METER.
- ⊙ INDICATES WATER METER.
- INDICATES FENCE LINE.
- \* INDICATES WATER SPIGOT.
- ~7000~ INDICATES INDEX CONTOUR AND ELEVATION.
- x7000 INDICATES SPOT ELEVATION.
- ▨ INDICATES SLOPES BETWEEN 0% AND 20%.
- ▨ INDICATES SLOPES BETWEEN 20% AND 30%.
- ▨ INDICATES SLOPES OVER 30%.
- INDICATES MAN-MADE DISTURBED AREAS CAUSED BY TERRACING AND LEVELING LAND FOR IRRIGATION AND OR PARKING OR DRIVEWAY CUTS.

**LEGEND**

- ▨ EXISTING BUILDING
- ▨ NEW BUILDING

**NOTE:**  
 PERCENTAGE OF FOOTPRINT ON ±20% NATURAL SLOPE  
 Main Residence: 25% ON ±20% Natural Slope  
 Studio: 26% ON ±20% Natural Slope



N/F STEPHEN & URSULA GEBERT

N/F SCHEPPS UPPER CANYON LLC TRACT A-2

N/F PAUL MAXINE LOT 1A

**LOT 1B2**  
**1600**  
**±1.095 ACRES**  
**10% LOT COVERAGE**

**LOT 1B1**  
**1596**  
**±1.764 ACRES**

10.0' INGRESS, EGRESS EASEMENT BOOK 295 PAGE 248 BOOK 297 PAGE 974 MODIFIED TO INGRESS, EGRESS AND UTILITY EASEMENT PER THIS PLATTING

10.0' INGRESS, EGRESS EASEMENT BOOK 1494 PAGE 871 BOOK 1295 PAGE 118 MODIFIED TO INGRESS, EGRESS AND UTILITY EASEMENT PER THIS PLATTING

10.0' INGRESS, EGRESS EASEMENT BOOK 1315 PAGE 778 MODIFIED TO INGRESS, EGRESS AND UTILITY EASEMENT PER THIS PLATTING

20.00' INGRESS, EGRESS AND UTILITY TURNAROUND EASEMENT CREATED HEREWITH

12.0' ACCESSION EASEMENT BOOK 923 PAGE 002

**1 SLOPE ANALYSIS**  
 1"=20'

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
 1600 upper canyon road  
 santa fe, nm 87501  
 APN: 99311944

noles/  
 hyun  
**Design LLC**  
 165 vicente road  
 berkeley, ca 94705  
 510.590.2133



**100% SLOPE ANALYSIS**



scale:  
**1"=20'**  
 date:  
 03.11.2024

**C100**

**Driveway Gravel**



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**Fencing**



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**Walkway 2**



Santa Fe Brown 3/4\"-7/8\" gravel from Southwest Landscaping Materials over permeable sand base

**Planters**



**Water Features**



**Fire pits**



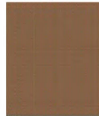
**Fountain Spouts/Pool Fillers**



6\"/>

**Outdoor Shower Fixtures**

**Stucco 1**



La Luz 125 (20)

El Rey La Luz 125 (20) ALT Adobe 116 (24)

**Stucco 2**



Buckskin 106 (35)

El Rey Buckskin 106 (35) ALT Kokanee 108 (54)



**Garage Doors 1**



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**Roofing, Gutters & Snow Guards**



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**Rain chains**

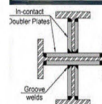


Cup or chain style rain chains in place of downspouts *Toh L* or *Hamon* as manufactured by SEO or equal. Dark Bronze or Black per manufacturer.

**Skylights**

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**Portals**



6\"/>

**Pergolas**



6\"/>

**Exterior Sconces**



6\"/>

**Solar panels**



See C1010 for location. Ground mounted solar panels


**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
1600 Upper Canyon Road  
Santa Fe, NM 87501  
APN: 99311944

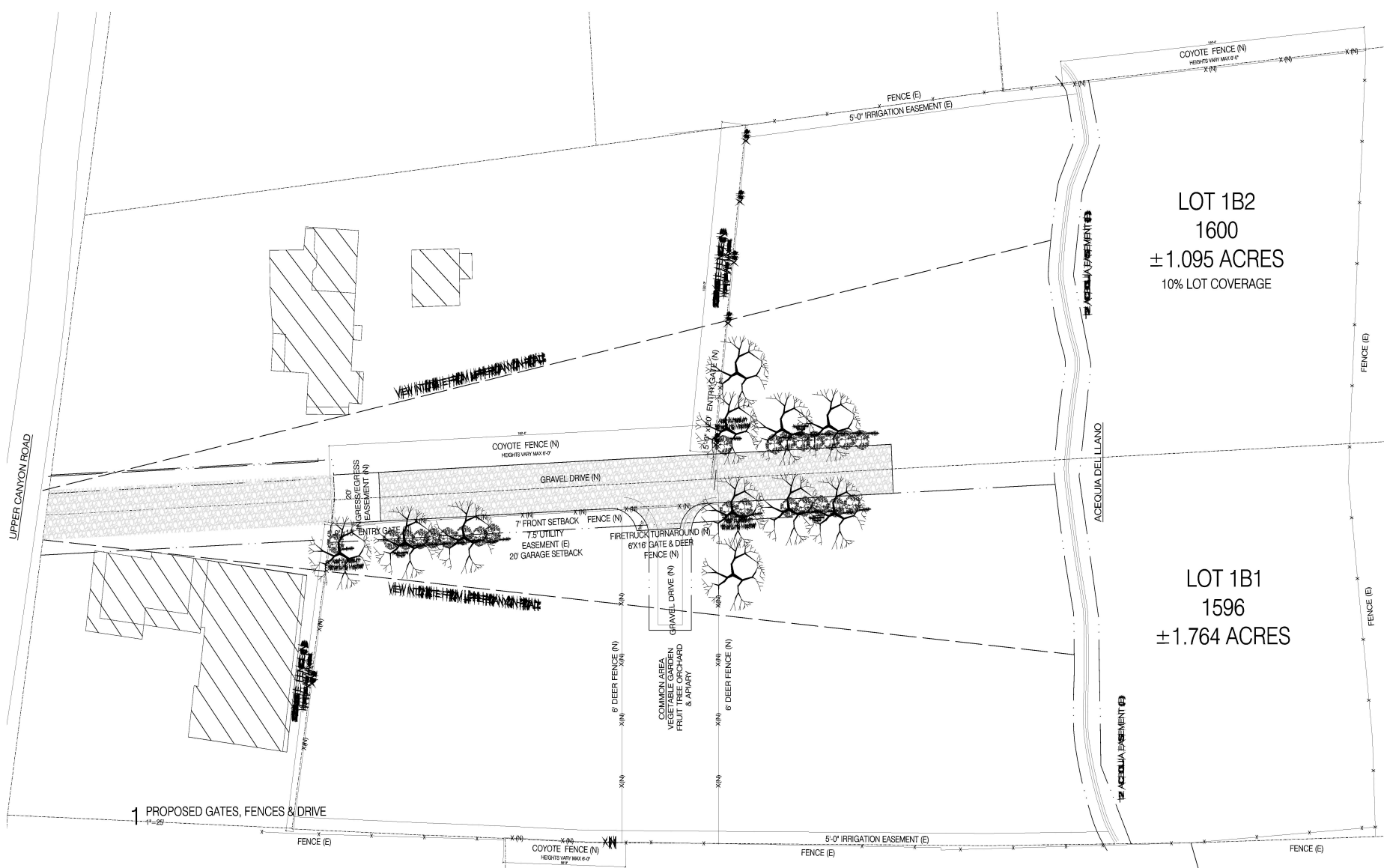


**1600 UPPER CANYON**

DATE: NTS

03.11.2024

**C102**



**DRAWING INDEX**

T101	PROPOSED GATES, FENCES & DRIVE DRAWING INDEX SYMBOLS & LEGEND, PROJECT INFORMATION
T102	1600 SQ FT FOOTAGE CALCULATIONS
C100	1600 SITE ANALYSIS
C101	1600 PROPOSED SITE PLAN
C102	1600 PRODUCTS
C201	1600 WEST ASOUTH GRADE ELEVATIONS
C302	1600 NORTH/EAST GRADE ELEVATIONS
A101	1600 FLOOR PLAN
A102	1600 STUDIO PLAN & ELEVATIONS
A201	1600 WEST & SOUTH ELEVATIONS
A202	1600 NORTH & EAST ELEVATIONS
A801	1600 DOOR & WINDOW SCHEDULES



no.	date	revision

**HISTORICAL REVIEW  
SUBMITTAL**

PROPOSED RESIDENCE  
1600 upper canyon road  
santa fe, nm 87501  
APN: 99311944

noles/  
hyun  
**Design LLC**  
165 Vicente road  
Berkeley, ca 94705  
510.590.2133

PROPOSED GATES, FENCES & DRIVE  
DRAWING INDEX,  
SYMBOLS & LEGEND,  
PROJECT INFORMATION

**1600 PROJECT INFORMATION**

LOT AREA:  
±1.095 ACRES  
LOT COVERAGE:  
±3200 SQ FT SFR WITH A 520 SQ FT STUDIO TOTAL ±3730 SQ  
FT OF LIVING AREA.  
ZONING:  
R-1/HISTORICAL REVIEW OVERLAY  
BUILDING HEIGHT:  
14'-10" ABOVE GRADE MAX RIDGE LINE  
9'-6" ABOVE GRADE MAX EAVES  
(Proper grading and drainage to be provided at all grade outs)  
OFF STREET PARKING:  
2 CAR GARAGE










**PROJECT OWNERS:**  
JEUNG S HYUN & LUELLA M NOLES  
165 VICENTE ROAD  
BERKELEY, CA 94705  
510.590.2133  
noles\_hyun@comcast.net

**CONTRACTOR:**  
MCDOWELL FINE HOMES  
DOUG MCDOWELL  
1317 B CERRO GORDO ROAD  
SANTA FE, NM 87501  
505.982.5238, MOBILE 505.690.9999  
doug@mcdowellssantafe.com

**SYMBOLS & LEGEND**

1 TITLE 1/8"=1'-0"	DRAWING TITLE	
	BUILDING ELEVATION	
	ELEVATION MARK	
	CENTERLINE	
	REVISION# & CLOUD	
	EXISTING BUILDING	
	NEW BUILDING	
	GRAVEL DRIVE	
	VIEW LINE	
	PROPERTY LINE (E)	
	FENCE (E)	
	FENCE (N)	
	EASEMENT	

**LEGEND**

-  EXISTING BUILDING
-  NEW BUILDING
-  GRAVEL DRIVE (N)
-  VIEWLINE
-  PROPERTY LINE (E)
-  FENCE (E)
-  FENCE (N)
-  EASEMENT
-  SETBACK



**LOT 1B2**  
**1600**  
 ±1.095 ACRES  
 10% LOT COVERAGE

**LOT 1B1**  
**1596**  
 ±1.764 ACRES


**HISTORICAL REVIEW  
 SUBMITTAL**

PROPOSED RESIDENCE  
 1600 upper canyon road  
 santa fe, nm 87501  
 APN: 99311944

niclas/  
 hyun  
**Design LLC**  
 165 Wicker Road  
 Berkeley, CA 94705  
 510.590.2133



**VIGNETTE PLAN**


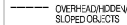
**PROPOSED SITE PLAN**

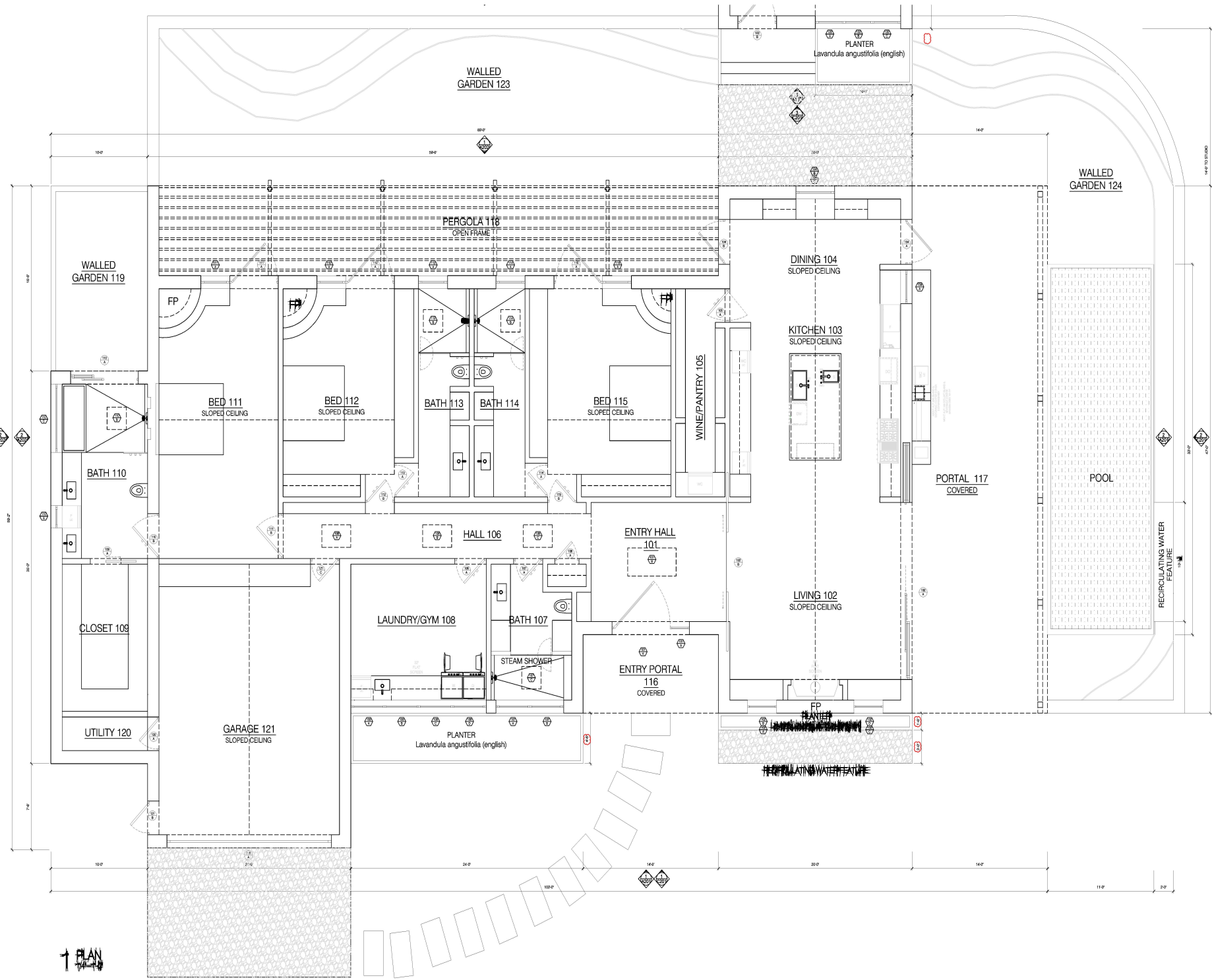
SCALE  
 1" = 50'  
 NAD83



**1 PROPOSED SITE PLAN**

**LEGEND**

-  GRAVEL
-  OVERHEAD/HIDDEN/ SLOPED OBJECTS
- WO WALL OVEN
- DO DOUBLE WALL OVEN
- R RANGE
- F REFRIGERATOR
- WC WINE COOLER
- UC UNDERCOUNTER
- S SINK
- GD GARBAGE DISPOSAL
- HWD HOT WATER DISPENSER
- WF WATER FILTER
- DW DISHWASHER
- W WASHER
- D DRYER




**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
 1600 upper canyon road  
 santa fe, nm 87501  
 APN: 99311944

**niclas/kyun design LLC**  
 165 W. coker road  
 berkley, ca 94705  
 510.590.2133



**VIGNETTE PLAN**

**FLOOR PLAN**

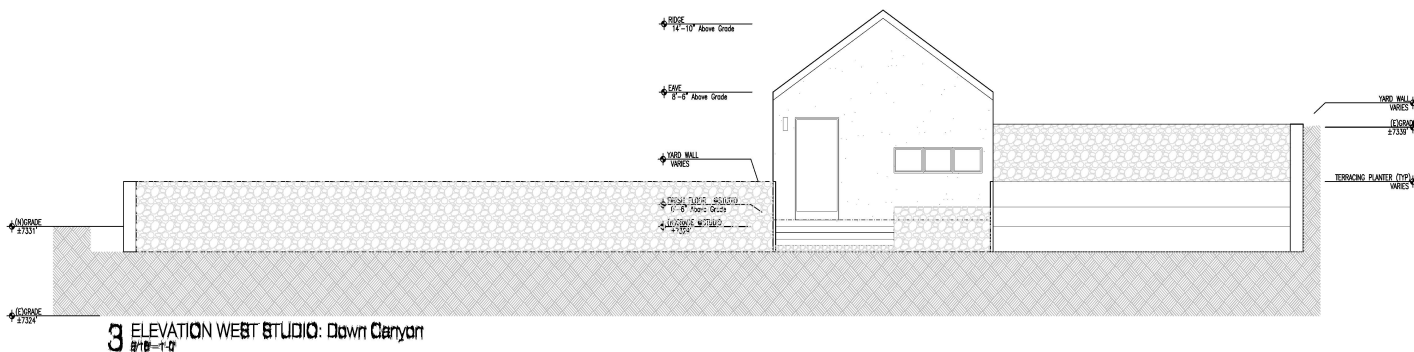


**A101**

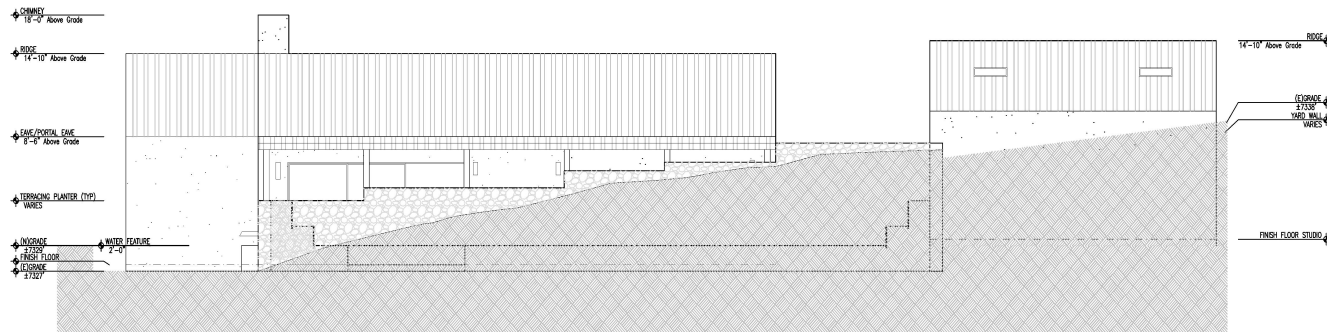
03.11.2024

1 PLAN

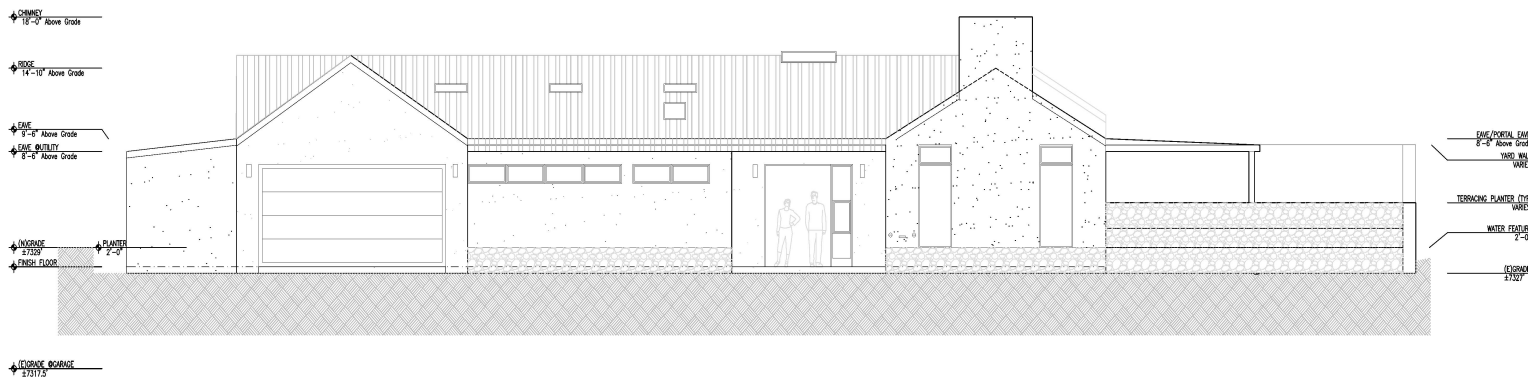
**NOTES:**  
 1. PROPER GRADING & DRAINAGE TO BE PROVIDED @ ALL GRADE CUTS



**3 ELEVATION WEST STUDIO: Down Canyon**  
 #110-1-Q



**2 ELEVATION SOUTH: Toward the Acequia**  
 #110-1-Q



**1 ELEVATION WEST: Down Canyon**  
 #110-1-Q

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
 1600 Upper Canyon Road  
 Santa Fe, NM 87501  
 APN: 99311944

noles/  
 hyun  
 Design LLC  
 165 Vicente Road  
 Berkeley, CA 94702  
 S I O 'S '9 D 2133



**1600 WEST WITH STAIRS ELEVATION**

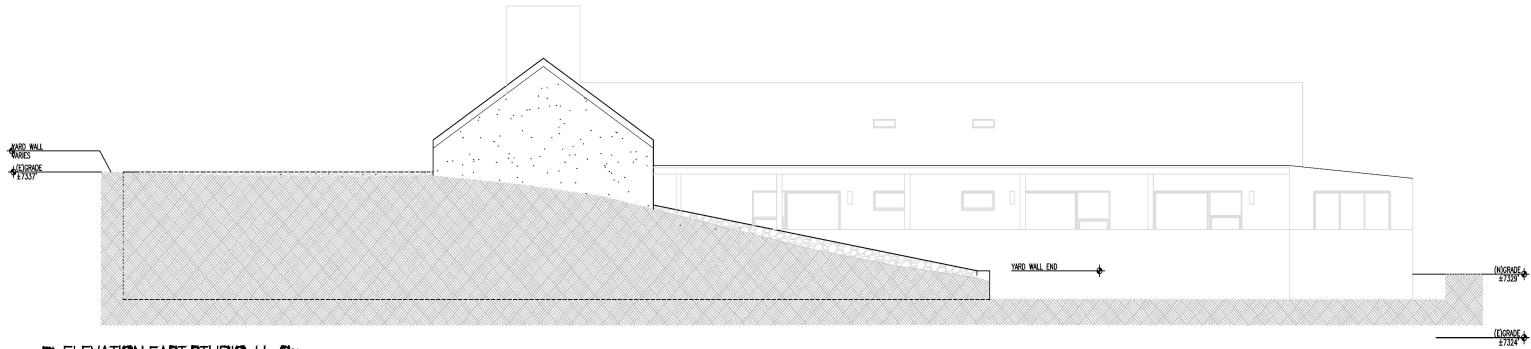
scale:  
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 date:



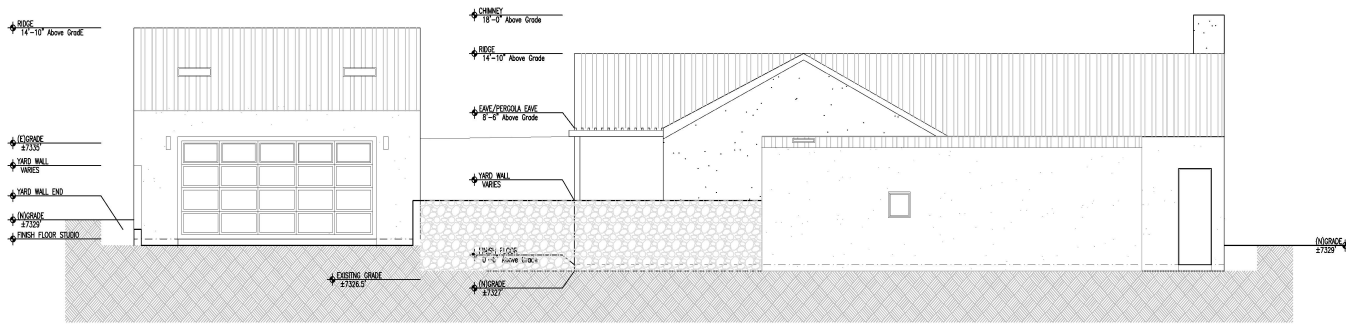
03.11.2024



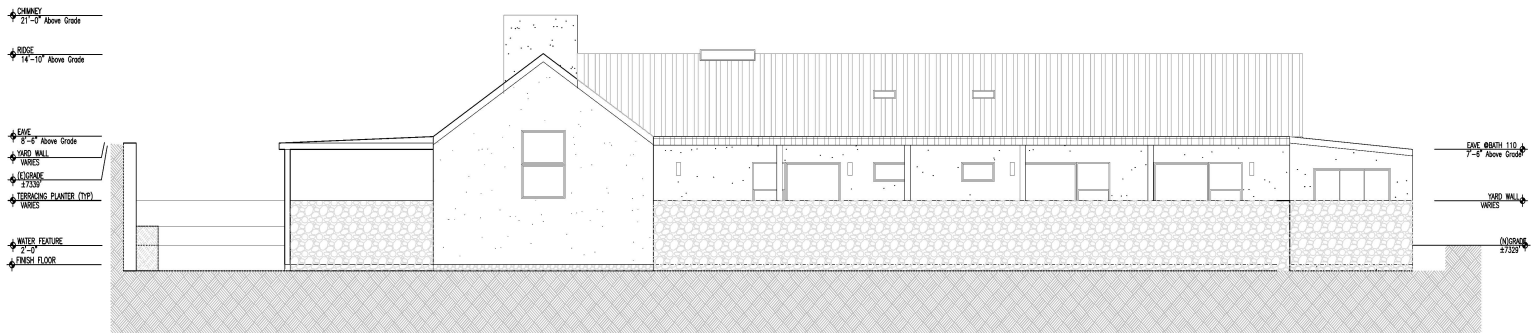
**NOTES:**  
 1. PROPER GRADING & DRAINAGE TO BE PROVIDED @ ALL GRADE CUTS



**3 ELEVATION EAST STUDIO: Up Canyon**  
 8/18-1-2



**2 ELEVATION NORTH: Toward Canyon Road**  
 8/18-1-2



**1 ELEVATION EAST: Up Canyon**  
 8/18-1-2

no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
 1600 upper canyon road  
 santa fe, nm 87501  
 APN: 99311944

noles/  
 hyun  
 Design LLC

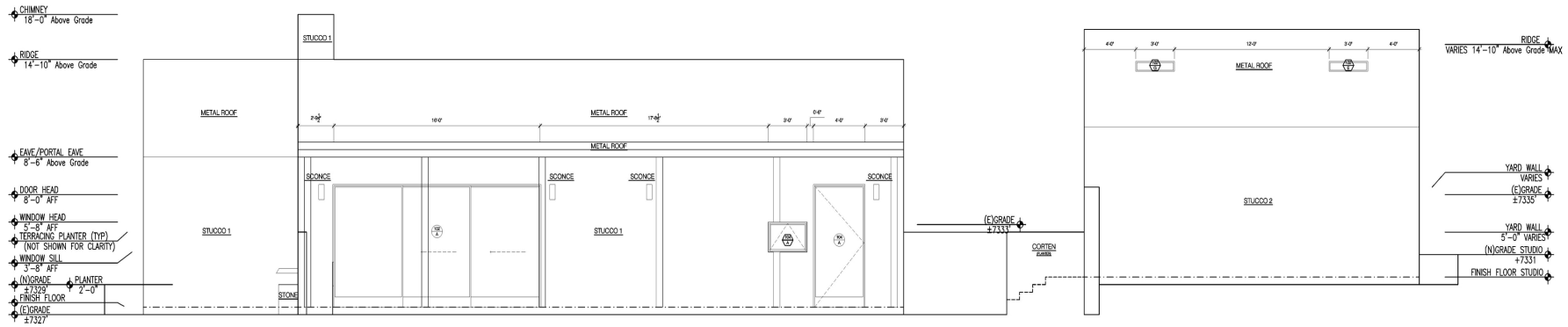
165 vicente road  
 berkeley, ca 94702  
 510.590.2133



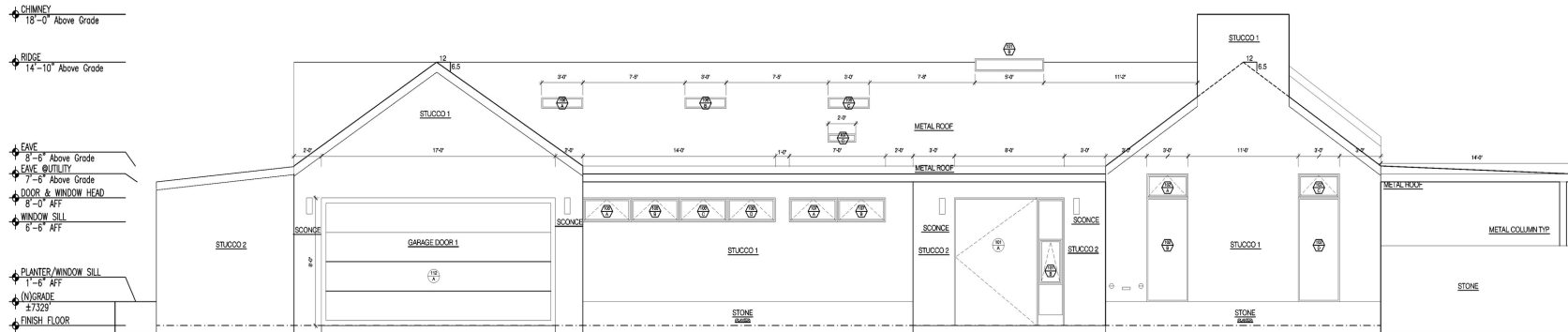
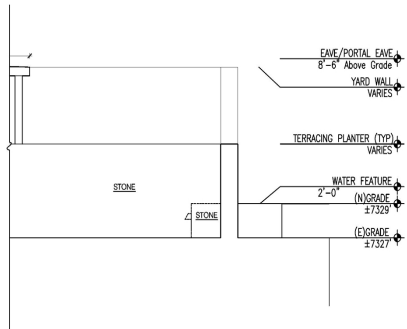
**1600 UPPER CANYON ROAD ELEVATION**

scale:  
 1/8" = 1'-0"  
 date:  
 03.11.2024





**2 ELEVATION SOUTH: TOWER 14-18**



**1 ELEVATION WEST: DOWN CANYON 14-18**


**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
1600 Upper Canyon Road  
Santa Fe, NM 87501  
APN 99311944

niclar/  
tyun  
design LLC  
165 Wacker Road  
Berkeley, CA 94705  
510.590.2133

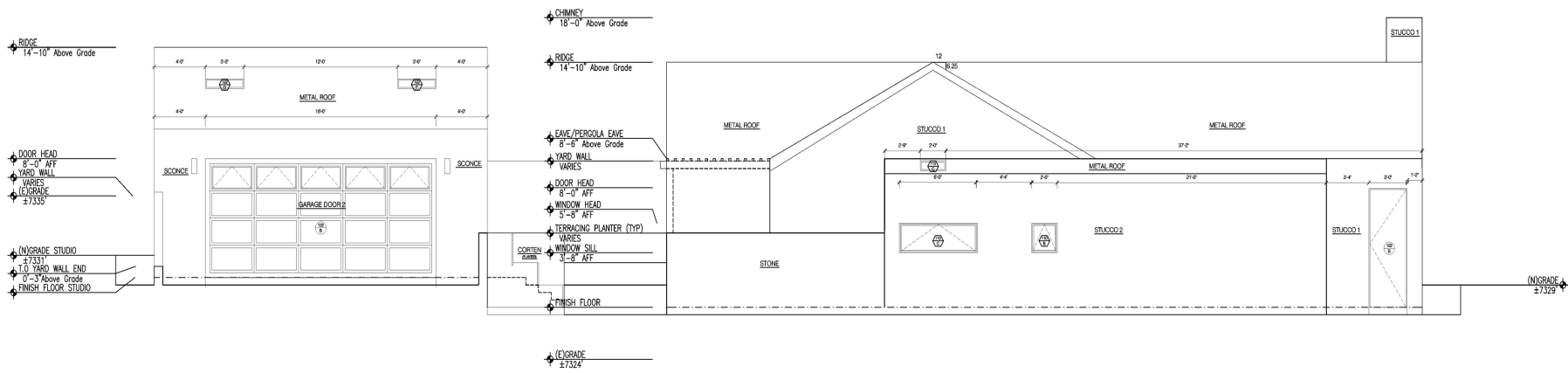
VIGNETTE PLAN

**180 WEST TOWER ELEVATION**

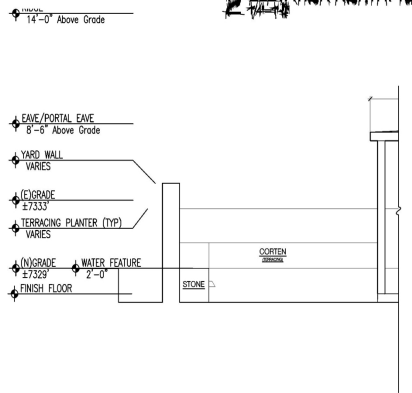
DATE: 1-1-24  
SCALE: 1/8" = 1'-0"

03.11.2024

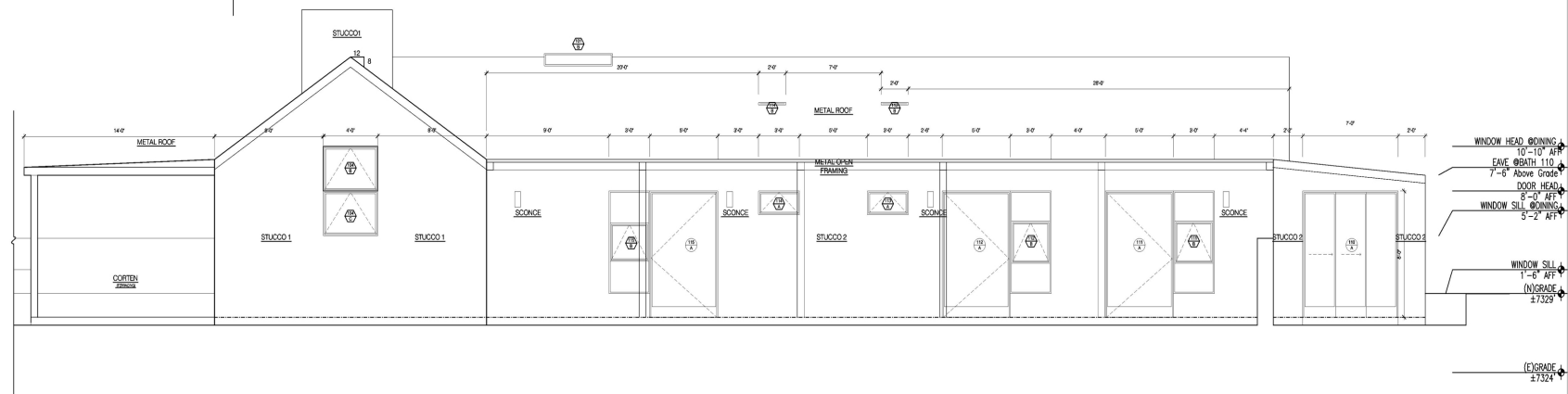
**AROI**



**ELEVATION NORTH: Toward Canyon Floor**



**ELEVATION EAST: Up Canyon**



no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
1600 upper canyon road  
santa fe, nm 87501  
APN: 99311944

notes/  
hyun  
**Design** LLC  
185 vicente road  
berkeley, ca 94702  
510.599.2133

**VIGNETTE PLAN**

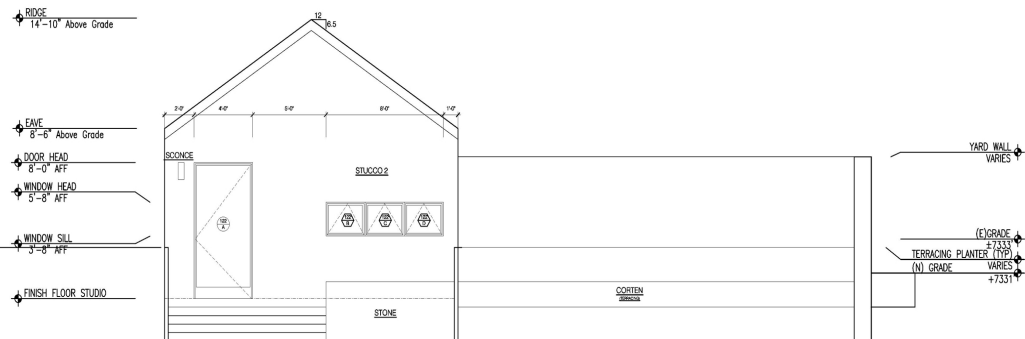
**1800 EAST @ NORTH ELEVATION**

scale: **1/4"=1'-0"**  
date: 03.11.2024

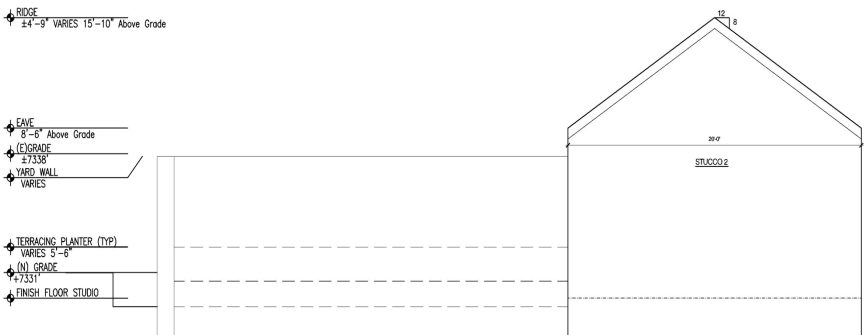
**ARO B**

LEGEND

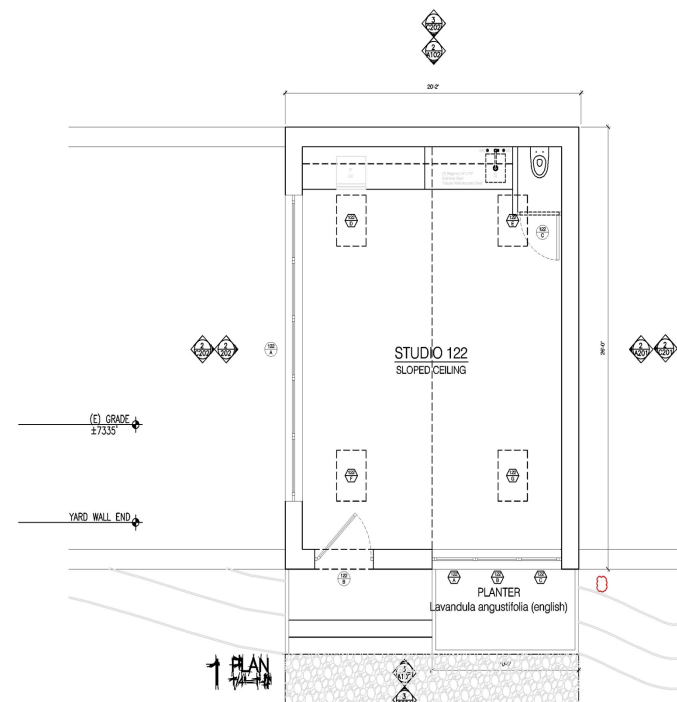
- OVERHEAD/HIDE/ SLOPED OBJECTS
- F REFRIGERATOR
- UC UNDERCOUNTER
- S SINK
- GD GARBAGE DISPOSAL
- HWD HOT WATER DISPENSER



3 STUDIO ELEVATION WEST: Down Canyon  
1/4" = 1'-0"



2 STUDIO ELEVATION EAST: Up Canyon  
1/4" = 1'-0"



1 PLAN  
1/4" = 1'-0"


HISTORICAL REVIEW SUBMITTAL

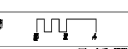
PROPOSED RESIDENCE  
1600 upper canyon road  
santa fe, nm 87501  
APN: 99311944

nicolas/tyun  
design LLC  
165 Wacker Road  
Berkeley, CA 94702  
510.590.2133



1600 UPPER CANYON ROAD  
EAST/WEST ELEVATIONS

DATE: 3-1-24  
SCALE:



03.11.2024



EXTERIOR WINDOW SCHEDULE - UPPER CANYON PROJECT

NO.	ROOM	TYPE	MATERIAL	HEIGHT	WIDTH	DEPTH	FRAME				NOTES					
							FINISH	GLAZING	SHADE	OTHER						
102A	Living 102	ext	AA	GL	1A	16'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
104A	Dining 104	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
104B	Dining 104	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
110A	Bath 110	ext	AA	GL	1B	7'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required
111A	Bed 111	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
112A	Bed 112	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
115A	Bed 115	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required
121A	Garage 121	ext	AA	AA	na	17'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
121B	Garage 121	ext	HM	HM	na	3'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
122A	Studio 122	ext	AA	GL	1B	18'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
122B	Studio 122	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required

**Frame Types**  
 AA Grey Anodized Aluminum  
 HM Hollow Metal  
 SW Solid Core Wood  
 S Steel

**Glazing Types**  
 1A Clear Tempered/Insulated Glass  
 1B Translucent Tempered/Insulated Glass

**Saddle Types**  
 AA Grey Anodized Aluminum  
 C Precast Concrete  
 SS Stainless Steel  
 W Wood

**Shade Types**  
 M1 MechOShade® Thermovest® Silver Birch 5%  
 M2 MechOShade® Thermovest® Silver Birch 3%  
 M3 MechOShade® Dual Shades:  
 "Eclipse" Silver Birch Out &  
 Thermovest® Silver Birch 3%

\* Consult Manf. for Assembly Details  
 - TBD

NOTE: ALL GLAZING SHALL BE LOW-E3

EXTERIOR WINDOW SCHEDULE - UPPER CANYON PROJECT

NO.	ROOM	TYPE	MATERIAL	HEIGHT	WIDTH	DEPTH	FRAME				NOTES					
							FINISH	GLAZING	SHADE	OTHER						
102A	Living 102	ext	AA	GL	1A	16'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
104A	Dining 104	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
104B	Dining 104	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
110A	Bath 110	ext	AA	GL	1B	7'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required
111A	Bed 111	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
112A	Bed 112	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	na	-	● Fire Rated Assembly as Required
115A	Bed 115	ext	AA	GL	1A	5'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required
121A	Garage 121	ext	AA	AA	na	17'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
121B	Garage 121	ext	HM	HM	na	3'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
122A	Studio 122	ext	AA	GL	1B	18'-0"	8'-0"	2"	*	*	AA	na	na	na	-	● Fire Rated Assembly as Required
122B	Studio 122	ext	AA	GL	1A	4'-0"	8'-0"	2"	*	*	AA	M1	●	●	-	● Fire Rated Assembly as Required

**Frame Types**  
 AA Grey Anodized Aluminum  
 HM Hollow Metal  
 SW Solid Wood  
 S Steel

**Glazing Types**  
 1A Clear Tempered/Insulated Glass  
 1B Translucent Tempered/Insulated Glass  
 1C Gray Tinted Tempered-Over-Laminate Insulated Glass

**Saddle Types**  
 AA Grey Anodized Aluminum  
 C Precast Concrete  
 DW Drywell  
 GS Quartz Stone  
 SS Stainless Steel  
 W Wood

**Shade Materials**  
 M1 MechOShade® Thermovest® Silver Birch 5%  
 M2 MechOShade® Thermovest® Silver Birch 3%  
 M3 MechOShade® Dual Shades:  
 "Eclipse" Silver Birch Out &  
 Thermovest® Silver Birch 3%

\* Consult Manf. for Assembly Details  
 - TBD

NOTE: ALL GLAZING SHALL BE LOW-E3


HISTORICAL REVIEW SUBMITTAL

PROPOSED RESIDENCE  
 1600 Upper Canyon Road  
 Santa Fe, NM 87501  
 APN 99311944

HOBAS/RYUN DESIGN LLC  
 165 W. Center Road  
 Berkeley, CA 94702  
 510.590.2133  
 VISION PLAN

EXTERIOR WINDOW SCHEDULE

SCALE 1" = 20'

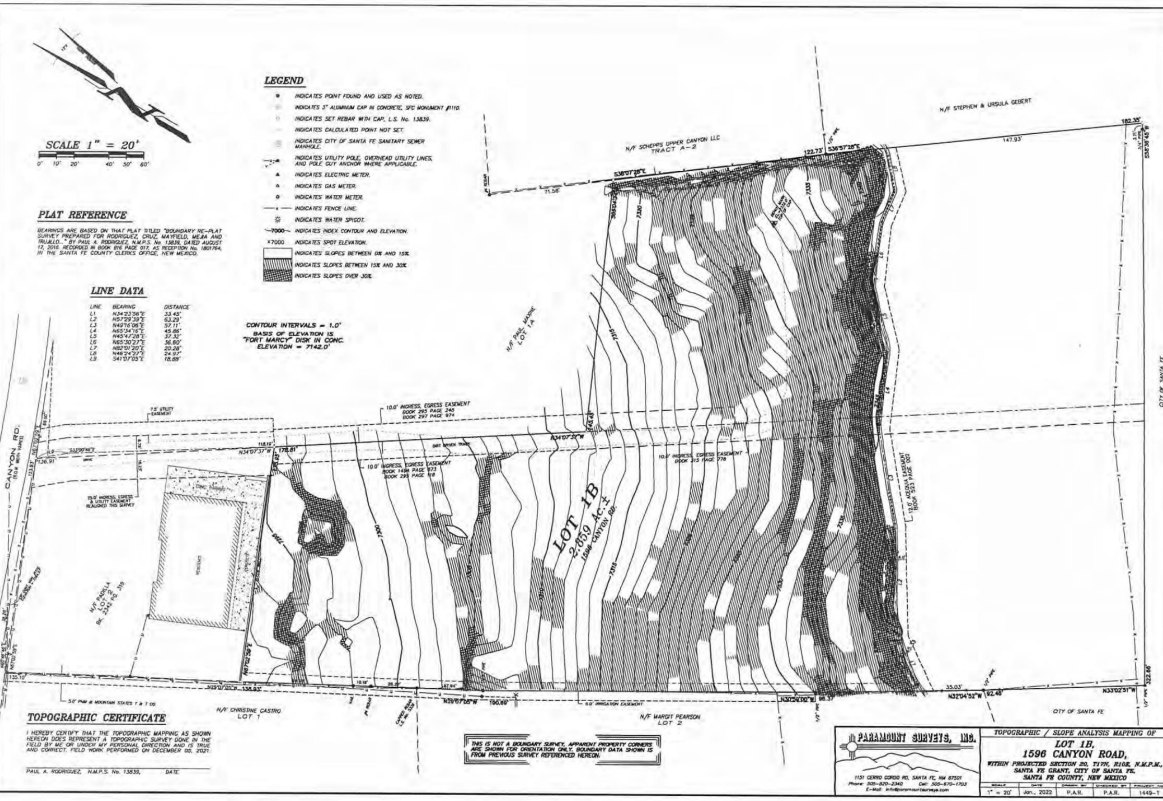
**PLAT REFERENCE**  
 BEARINGS AND DISTANCES ON THIS PLAT TO ADJACENT SURVEY PLATS WERE OBTAINED FROM RECORDS OF THE COUNTY CLERK'S OFFICE, SANTA FE COUNTY, NEW MEXICO.

**LINE DATA**

LINE	BEARING	DISTANCE
L1	N 89° 52' 30" E	52.25'
L2	N 89° 52' 30" E	52.25'
L3	N 89° 52' 30" E	52.25'
L4	N 89° 52' 30" E	52.25'
L5	N 89° 52' 30" E	52.25'
L6	N 89° 52' 30" E	52.25'
L7	N 89° 52' 30" E	52.25'
L8	N 89° 52' 30" E	52.25'
L9	N 89° 52' 30" E	52.25'

- LEGEND**
- INDICATES POINT FOUND AND USED AS NOTED.
  - INDICATES 2" ALUMINUM CAP IN CONCRETE, 5/8" MONUMENT #110.
  - INDICATES SET BEARING WITH CAP, I.S. IN 1988.
  - INDICATES CALCULATED POINT NOT SET.
  - INDICATES CITY OF SANTA FE SANITARY SUMP MANHOLE.
  - INDICATES UTILITY POLE, OVERHEAD UTILITY LINES AND PILE SET ANCHOR BENCH APPROXIMATE.
  - INDICATES ELECTRIC METER.
  - INDICATES GAS METER.
  - INDICATES WATER METER.
  - INDICATES FENCE LINE.
  - INDICATES WATER SPRING.
  - INDICATES BENCH CONTOUR AND ELEVATION.
  - INDICATES SLOPES BETWEEN 88 AND 100.
  - INDICATES SLOPES BETWEEN 100 AND 105.
  - INDICATES SLOPES BETWEEN 105 AND 110.
  - INDICATES SLOPES OVER 110.

CONTOUR INTERVALS = 1.0'  
 BASIS OF ELEVATION IS  
 "TORT MOUNTAIN" CORNER BY CORNER  
 ELEVATION = 7142.0'



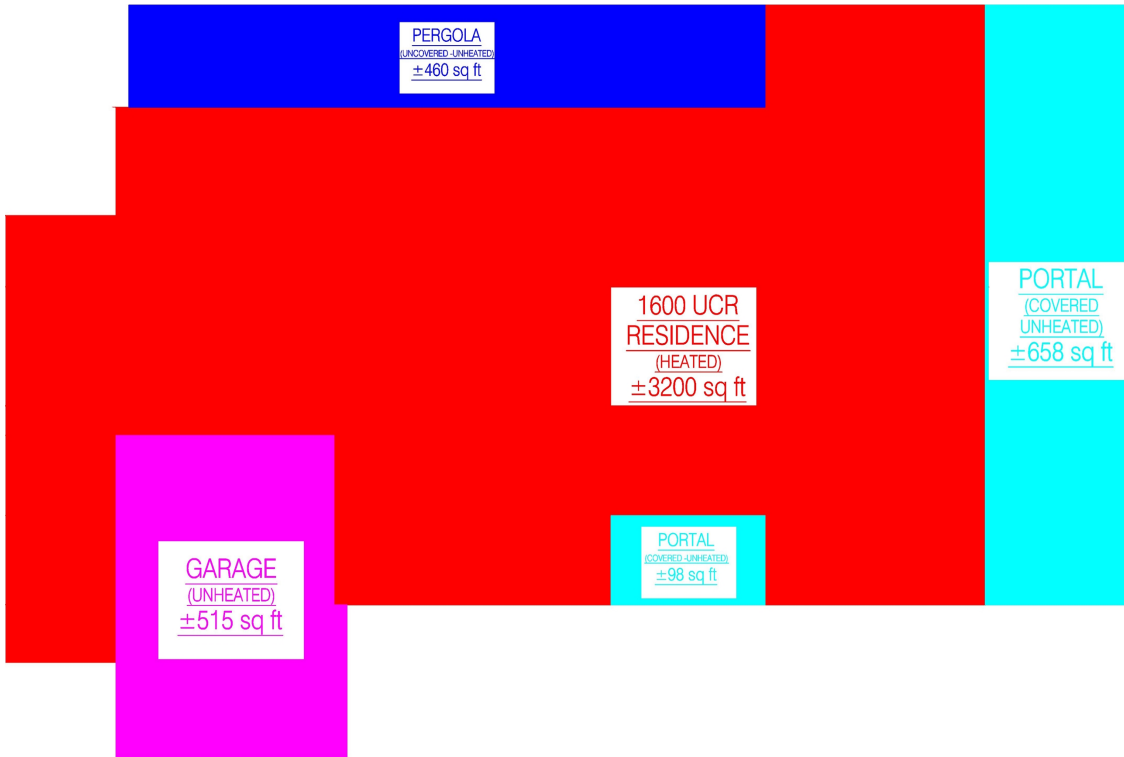
**TOPOGRAPHIC CERTIFICATE**  
 I HEREBY CERTIFY THAT THE TOPOGRAPHIC MAPPING AS SHOWN HEREON WAS PERFORMED BY TOPOGRAPHIC SURVEYING IN THE FIELD BY ME OR UNDER MY PERSONAL SUPERVISION AND IT IS TRUE AND CORRECT. FIELD WORK PERFORMED ON DECEMBER 10, 2017.  
 PAUL A. RODRIGUEZ, SURV. NO. 13831, DATE

THIS IS NOT A GUARANTEED SURVEY. APPROXIMATE PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. MEASUREMENT DATA SHOWN IS FROM PERIODS CLOSEST REFERENCED HEREON.

**PARALLAMOUNT SURVEYS, INC.**  
 1000 SOUTH BROADWAY, SUITE 100, ALBUQUERQUE, NM 87102  
 505-263-0000 FAX 505-263-0001  
 www.parallamont.com

**TOPOGRAPHIC / SLOPE ANALYSIS MAPPING OF LOT 1B, 1596 CANYON ROAD, WITHIN UNINCORPORATED SECTION 26, T17N, R10E, N.M.P.M., SANTA FE COUNTY, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO**  
 DATE: 12/10/17  
 BY: [Signature] SURV. NO. 13831 P.A.C. P.A.S. 1418-11

1600 UCR SQUARE FOOTAGES						
<b>SFR</b>						
Heated						3,200 ± sq ft
Portals (Covered-Unheated)						756 ± sq ft
Garage (Unheated)						515 ± sq ft
Open Frame Pergola (Uncovered-Unheated)						460 ± sq ft
<b>TOTAL (Excluding Open Frame Pergola)</b>						<b>4,471 ± sq ft of Roof Area</b>
<b>Studio</b>						
Heated						520 ± sq ft
<b>TOTAL</b>						<b>520 ± sq ft</b>
<b>Lot Coverage:</b>					1.095 Acres = 47,698.2 ± sq ft	
						<b>4,991 ± sq ft Total of All Roof Area</b>
<b>TOTAL LOT COVERAGE</b>						<b>±10%</b>



no.	date	revision

**HISTORICAL REVIEW SUBMITTAL**

PROPOSED RESIDENCE  
 1600 upper canyon road  
 santa fe, nm 87501  
 APN: 99311944

notes/  
 hyun  
**Design LLC**  
 165 vicente road  
 berkeley, ca 94702  
 510.590.2133

**1600 UCR SUBMITTAL**

scale:  
  
 date:

03.11.2024



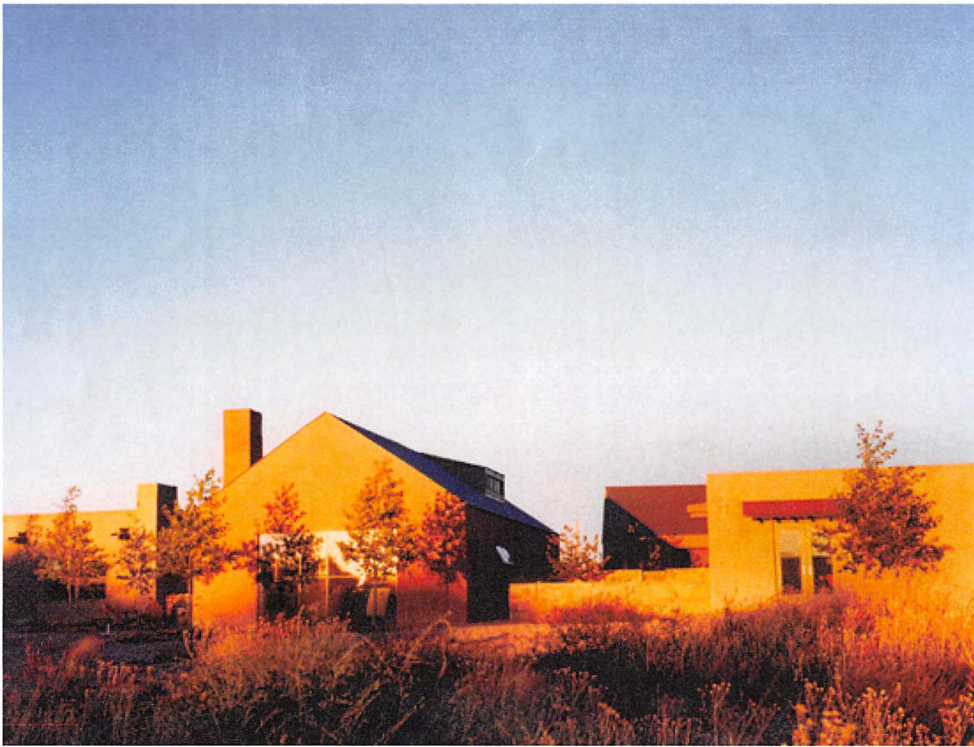




Design  
Inspiration



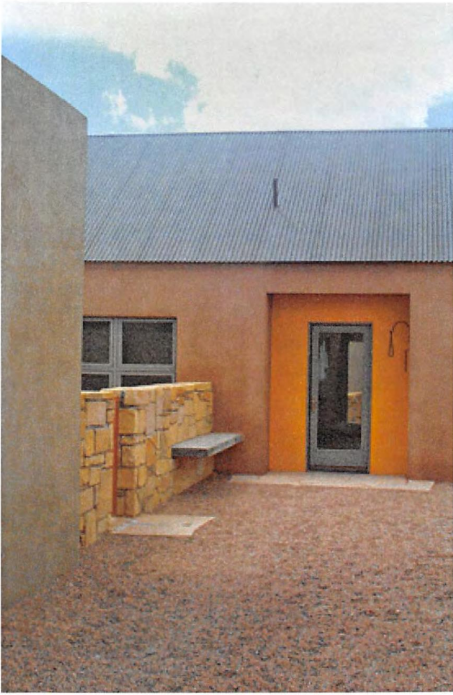
# Design Inspiration



# Design Inspiration

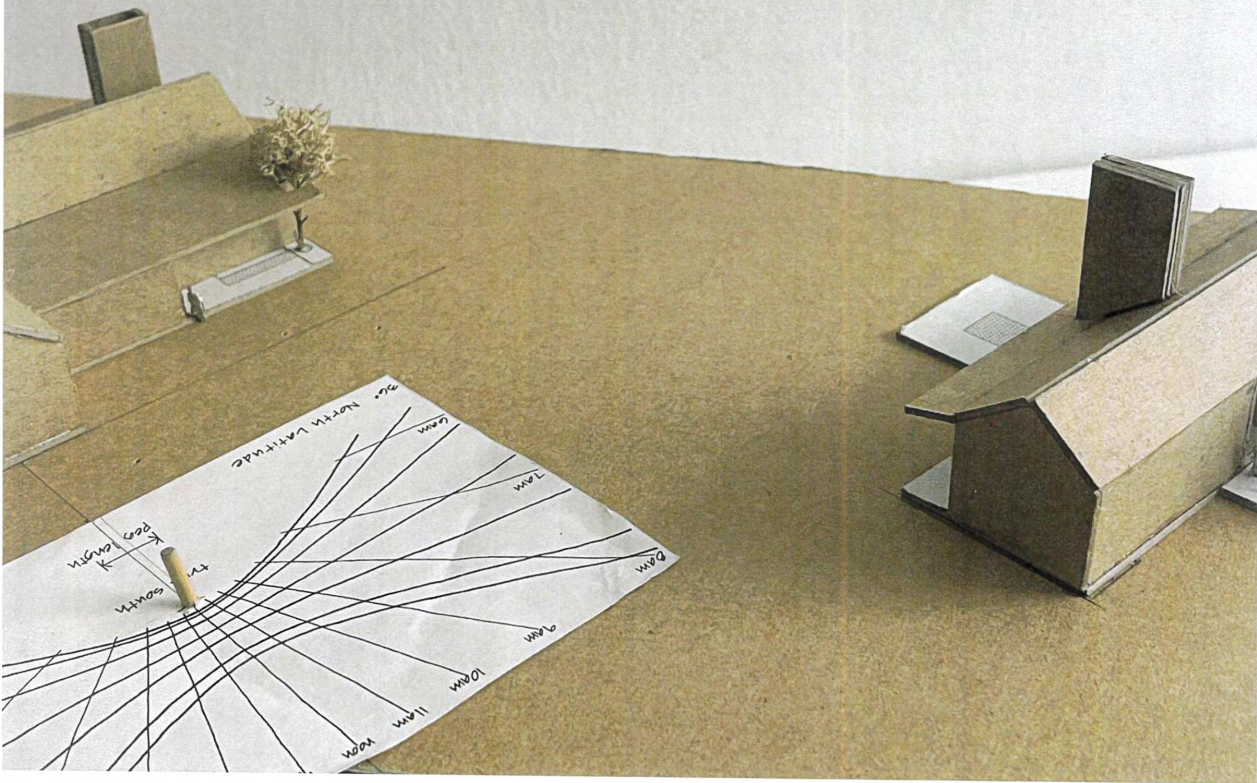


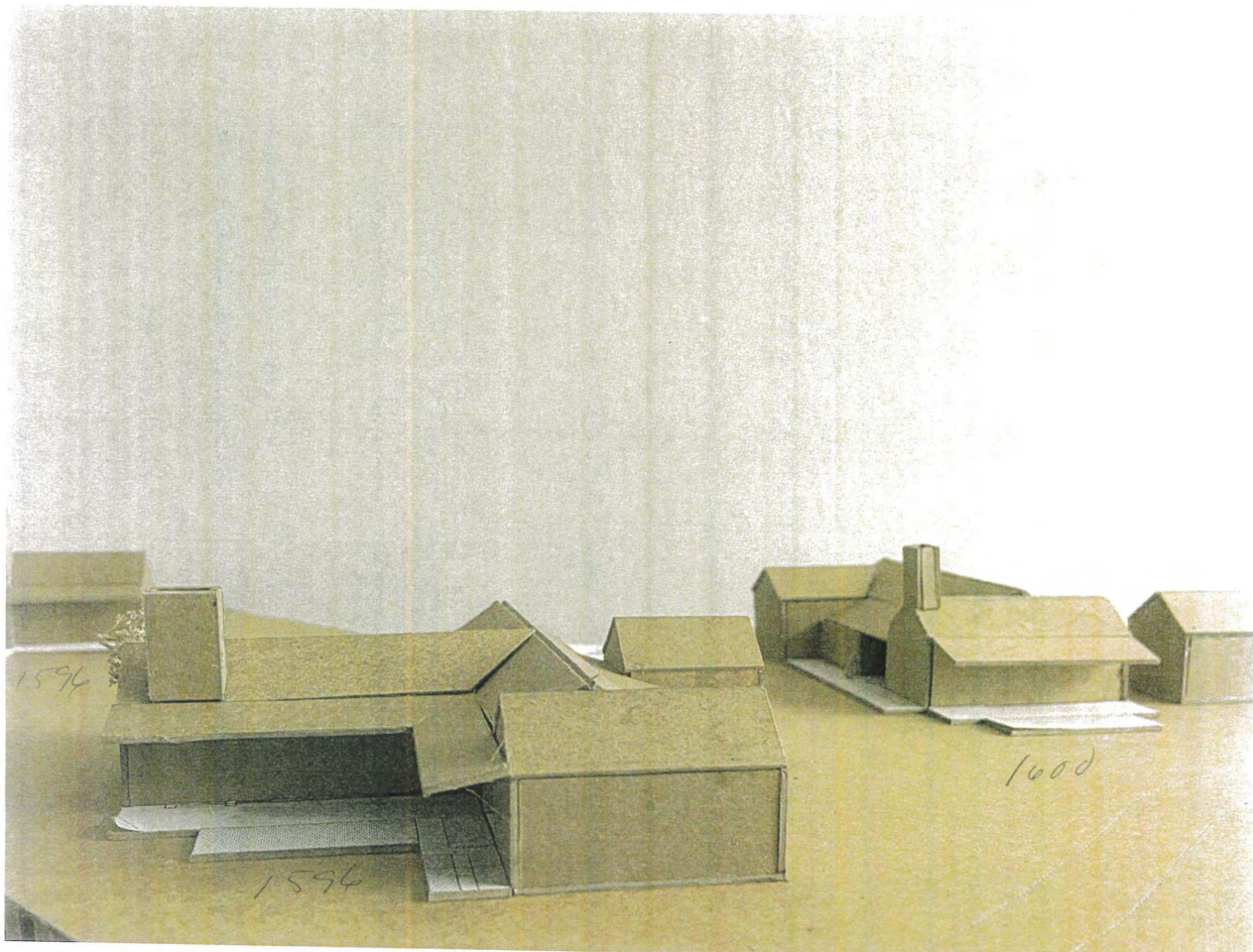
# Design Inspiration

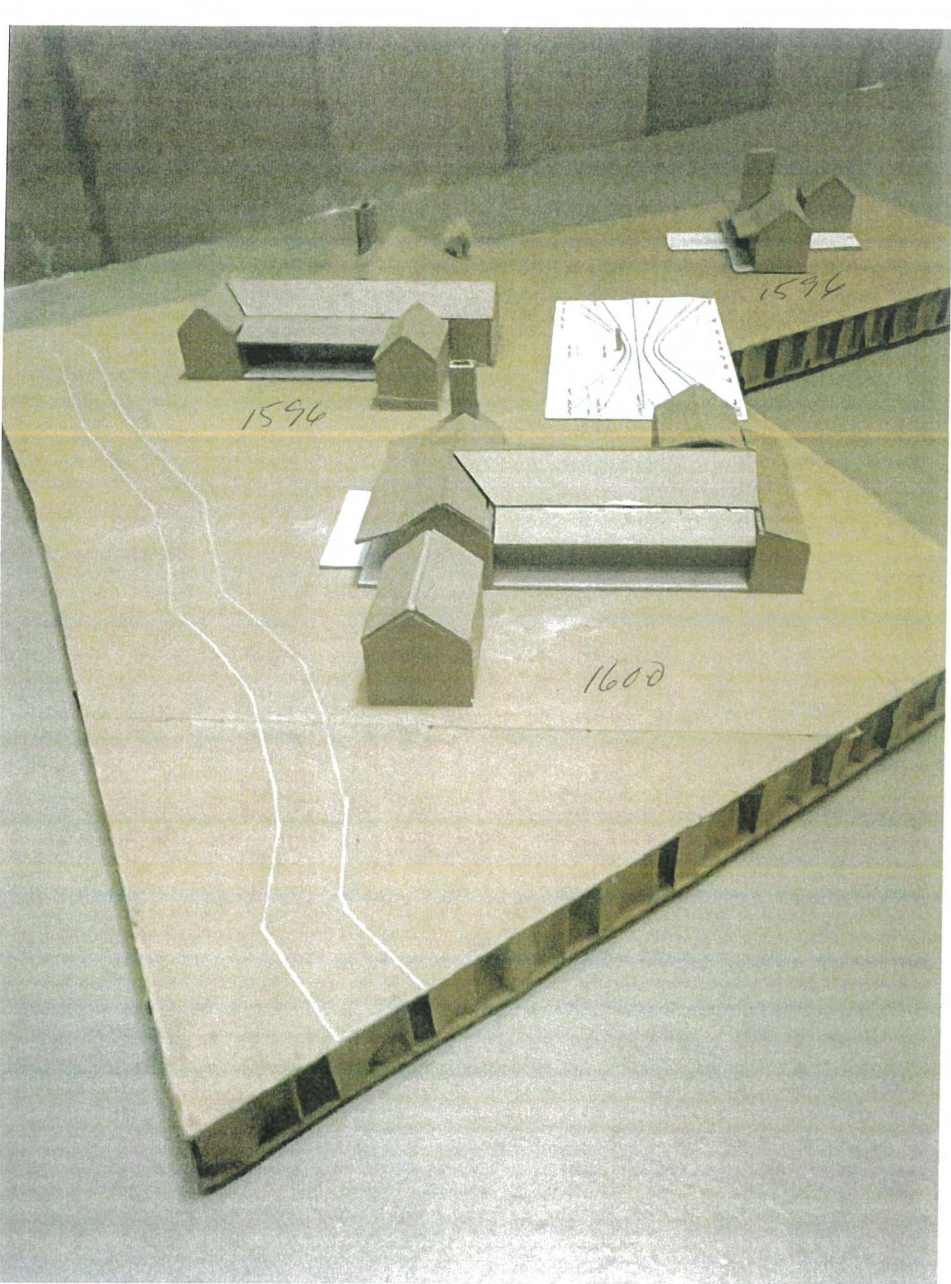


# Design Inspiration

Models:









4 ELEVATION  
NORTH  
18-107

3 ELEVATION  
EAST  
18-107

2 ELEVATION  
SOUTH  
18-107

1 ELEVATION  
WEST  
18-107

NO. 2511  
DATE  
ADD 5 METERS  
TO THE  
TOP  
OF

HISTORICAL  
RESUBMITTED  
TERMS  
ED

PROPOSED  
RESIDENCE  
1600 upper  
@ Von road  
87501

no  
107  
18-107  
18-107  
18-107

VICINI  
□ □

1600 HATCHED  
ELEVATIONS

scale  
1" = 10'  
03.11.20  
23

H20  
01



# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2024-007994--HDRB

**Project Description:** 2024-007994-HDRB. 1072 Camino San Acacio. Downtown and Eastside Historic District. Non-contributing. Jacob Kaltenbach and Norah Tullman-Kaltenbach, agents/owners, propose to construct a 79 sq. ft. addition to a height of 11'-4", 265 sq. ft. shed at a height of 11'-7" where the maximum allowable height is 16'-3", reconstruct an existing trellis, and relocate 6'-0" high interior yardwalls.

**Project Location(s):** 1072 CAMINO SAN ACACIO  
Santa Fe, NM 87505

**Contacts:**

Applicant: Jacob Kaltenbach  
1072 Camino San Acacio  
Santa Fe, NM 87505-5955

TULYAK@EARTHLINK.NET

Property Owner: Jacob Kaltenbach  
1072 Camino San Acacio  
Santa Fe, NM 87505-5955

TULYAK@EARTHLINK.NET

**Historic District:** HD: Downtown And Eastside

**Historic Building Status:**

Non-Statused:                      Non-Contributing:    Yes                      Contributing:                      Significant/Landmark:

**Primary Elevations:**

**Publicly Visible Facade-East:**

**Publicly Visible Facade-North:** Yes

**Publicly Visible Facade-South:**

**Publicly Visible Facade-West:** Yes

**Historic District Inventory Number:** 1984

**Year of Construction:** 1982 or 1983

**Project Type:** Remodel

**Historic Building Name:**

# City of Santa Fe, New Mexico

# memo

**DATE:** April 9, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Lani McCulley, Senior Planner, Historic Preservation Division

---

**2024-007994-HDRB. 1072 Camino San Acacio. Downtown and Eastside Historic District. Non-contributing.** Jacob Kaltenbach and Norah Tullman Kaltenbach, agents/owners, propose to construct a 79 sq. ft. addition to a height of 11'-4", 265 sq. ft. shed at a height of 11'-7" where the maximum allowable height is 16'-3", reconstruct an existing trellis, and relocate a 6-0" high interior yardwalls.

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: [height calculation]

### **APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## **STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

The single-family residence located at 1072 Camino San Acacio is listed as non-contributing to the Downtown and Eastside Historic District. The 1,385 sq. ft. two-story residence was designed in 1981 (see attached architectural drawings) constructed in 1982 or 1983 in a recent Santa Fe style to a height of 20'5" and features a shed roof, partial firewall parapets, an integrated garage,

and a passive solar design including a Trombe wall on the south elevation. The residence is accessed via a private driveway and is located approximately 110' south of Camino San Acacio. The building is approximately 12 feet higher than the Camino San Acacio street grade.

In 1996 under case H-96-057, the HDRB approved the construction of a 662 sq. ft. Spanish-Pueblo style guesthouse on the northern portion of the property adjacent to Camino San Acacio. No other cases were found in Historic Preservation Division records. Additionally, the property contains a garden shed and a storage shed.

The applicant proposes the following exterior alterations:

1. Construct a 79 sq. ft. addition on the north elevation to a height of 11'-4" where the maximum allowable height is 16'-3" to the main residence. Two painted wood casement windows on the north side of the addition will match the existing window trim paint in Dunn-Edwards "Blue Spruce". The door will be stained wood in Penofin "Brazilian Rosewood" and are casement divided-lite windows.
2. Reconstruct the existing trellis adjacent to the proposed addition on the north elevation.
3. Relocate a section of the 6'-0" high stuccoed yard wall on the north side of the residence including a stained wood pedestrian gate in Penofin "Brazilian Rosewood".
4. Stucco the residence using the current STO synthetic in "Suede".

The applicant also proposes the following:

5. Construct a detached 265 sq. ft. shed to a height of 11'-7" to the south of the residence. The shed will feature a single-hung vertical wooden sliding window and a flush metal single utility door in Dunn-Edwards "Blue Spruce", and a custom double-swinging-stained wooden door with lites Penofin "Brazilian Rosewood". The shed will be stuccoed in Sto synthetic "Suede".

## **RELEVANT CODE CITATIONS:**

### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the Historic district.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

##### (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;

- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

# WALL AND FENCE GUIDELINES SANTA FE HISTORIC DISTRICTS

[ADOPTED 24 AUGUST 1999]

**Purpose and intent:** These guidelines are offered to promote continuity and harmony of design elements that comprise streetscape in the Santa Fe Historic Districts, including, but not limited to walls, fences, open space and landscaping and their connectivity to the primary structures(s) on the property and the physical character of the street or public façade of the property. These guidelines are consistent with the purpose and intent, and standards in the Historic Districts Ordinance [Section 14-70 SFCC 1987].

## **SCALE:**

Walls should not extend for more than 50 feet in a single, horizontal plane without a plane change of at least one foot.

Wall heights should modulate a minimum of 8 inches, or one block course, at least every 25'.

Walls should include openings such as gates, windows and niches at appropriate intervals.

Walls and fences in excess of 4 feet in height and having street frontage or visibility shall be brought to the HDRB for review and approval prior to submission for building permit review. Where there is a conflict between this guideline and the allowable height as calculated under Section 14-70.20 SFCC 1987, the latter shall prevail. [This supersedes the HDRB's 8/13/96 policy requiring the same for walls or fences in excess of 3 feet in height. It encourages the construction of lower privacy walls that still allow the structure on the site to make a contribution to the streetscape, and provide for a view shed into the property. This is recommended in response to the proliferation of inappropriately high yard walls that have been and are being constructed throughout the city's historic districts, causing an impact on the historic and visual character of the historic districts.]

Wall heights should be carefully regulated by the HDRB standards as calculable for the particular streetscapes [Section 14-70.20 SFCC 1987]; and should be restricted so as not to increase the allowable height for the streetscape by more than 20%.

Solid fences should be stepped back and modulated the same as walls.

Fences with fenestration, such as coyote fences, may continue in an unrestricted horizontal distance at the same height and in the same horizontal plane.

## **SETBACK:**

Unfenestrated walls and fences (e.g. cedar stake, ponderosa slat) should setback from the front property line an average of 1 foot for every 10 feet of horizontal length of the wall. This could be accomplished in a single plane or with step backs as outlined above.

Open fences (e.g. wire and post, picket) or fenestrated fences (e.g. coyote) may be constructed without setback at the front property line, unless otherwise regulated by the underlying zoning.

Walls with openings comprising 20% of the surface area of a single plane may be constructed at the property line, unless restricted by the underlying zoning.

Side or rear walls or fences may be constructed at the property line as per that allowed by the underlying zoning.

Walls or fences within existing compounds should be restricted to privacy barriers to enclose courtyards, parking and private areas; and should be connected to and not extend more than 25 feet from the main structure. However, walls or fences should not be connected to significant structures. Desired connections may be made to significant structures by way of other means [e.g. Landscaping]. These treatments will help maintain traditional compound common elements, such as open space and the ability to communicate with neighbors, and therefore assist in the preservation of the character of existing compounds.

#### **MATERIAL, TEXTURE AND COLOR:**

Walls should be predominantly of the same material, texture and color as the main structure(s) to be located on the property, or may be of material indigenous or traditional for the area such as river rock, limestone, flagstone or slate.

Fences should be of the material, texture and color of fences typical of the existing streetscape or design vernacular if applicable to a particular H-District or streetscape.

#### **GATES:**

Vehicular gates should be permitted only at entrances to private driveways or compounds and set back in accordance with the underlying zoning.

Vehicular gating of subdivisions or other large-scale developments is strongly discouraged, and may be prohibited [See City of Santa Fe 1999 General Plan].

Gates should be designed to complement the wall or fence treatment containing them with respect to scale, height, material, texture and color. Fenestrated gates should be encouraged as opposed to solid gates.

#### **LANDSCAPING (Suggested Options)**

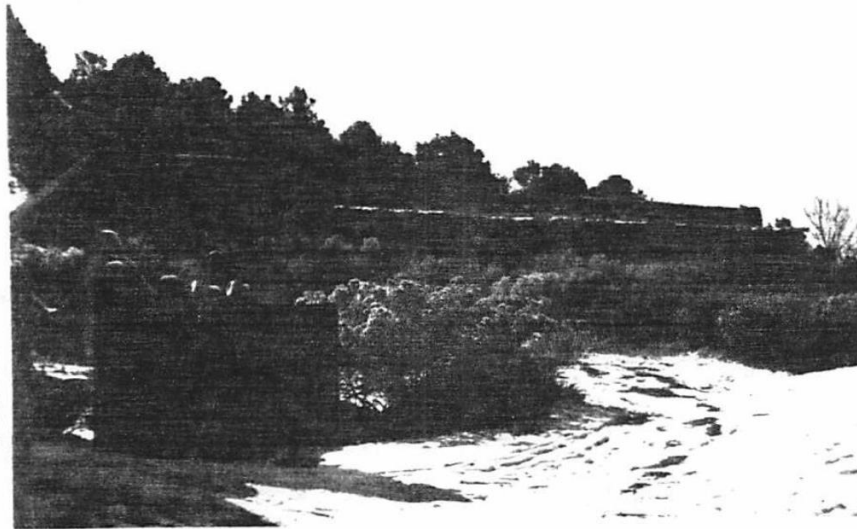
Walls and fences in excess of 50' in length should install landscaping along the exterior façade within the suggested setback or step back.

Landscaping on top of or over a wall is encouraged to provide for additional screening if desired from the interior of the property.

Terracing of walls is encouraged and should be landscaped.

The use of native, drought resistant plant material is encouraged in all wall, fence or terrace landscaping.

Building threatened by	surveyed date	county	town
fire	27-XI-84	Santa Fe	051611602
erial photo number		E-W reference zone	easting northing
SFHD-6-1602		12 13	
Location description		city/town	
1072 San Acacio		Santa Fe	
building name		legal description	
		Twp. N S range E W sec	
U.S. roll no.	negative nos.	pos. or neg.	plan shape
by "b" no. 21	20		



date of construction	estimate	actual
P		
source		
use		
present	residential	
other		
historic	residential	
other		
condition		
excellent	good	
fair	deteriorating	
degree of remodeling		
minor	moderate	
major		
describe:		

style	foundation material
wall material/surface	

architectural features
comments

surroundings
relationship to surroundings
X similar not similar
historic potential
yes no
significance
eligible of X none
if eligible, interest
why? N C DATE
associated buildings? yes
what type?
if inventoried, list ID nos.
see back? yes



# Preliminary Zoning Review Worksheet

## City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>	Site Address:
Date Submitted: <u>02/13/2024</u>	<u>1072 CAMINO SAN ACACIO</u>
Property Owner of Record: <u>JACOBS A. KALTENBACH / NORA H TULLMAN - KALTENBACH</u>	Proposed Construction Description:
Applicant/Agent Name: <u>TULLMAN - KALTENBACH</u>	<u>79 SF ADDITION AND 265 SF STORAGE SHED</u>
Contact Person Phone Number: ( ) - <u>505 316 4262</u>	TOTAL ROOF AREA: <u>2531 SF</u>
Zoning District: <u>R5</u>	Lot Coverage: <u>24.4 %</u>
Overlay: <input type="checkbox"/> Escarpment _____	<input type="checkbox"/> Open Space Required: _____
<input type="checkbox"/> Flood Zone*	Setbacks: <u>NO CHANGES</u>
<input checked="" type="checkbox"/> Other: <u>DOWNTOWN/EAST SIDE HD</u>	Proposed Front: <u>20'</u> Minimum: <u>20'</u>
Submittals Reviewed with PZR:	2 <sup>nd</sup> Front? _____
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Proposed Rear: <u>5'</u> Minimum: <u>5'</u>
Supplemental Zoning Submittals Required for Building Permit:	Proposed Sides: <u>L 5' R 5.75'</u> Minimum: <u>5'</u>
<input type="checkbox"/> Zero Lot Line Affidavit	Height: Proposed <u>11' 4"</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	Maximum Height: <u>24'</u> or
<input type="checkbox"/> Visibility Triangle Required	<input type="checkbox"/> Regulated by Historic Districts Ordinance
Use of Structure: <input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Regulated by Escarpment District
<input type="checkbox"/> Commercial Type of Use: _____	Parking Spaces:
Terrain: <input type="checkbox"/> 30% slopes _____	Proposed <u>6</u> Accessible <u>NA</u>
	Minimum: <u>3</u>
	Bicycle Parking**:
	Proposed: _____ Minimum: _____
	** Commercial Requirement

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JACOBS A. KALTENBACH / NORA H TULLMAN - KALTENBACH (PRINT NAME)  OWNER  APPLICANT  AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE: [Signature] DATE: 02/13/2024

<b>To Be Completed By City Staff:</b>	Case No. 2024-007931
<b>Additional Agency Review if Applicable:</b>	
<input type="checkbox"/> Escarpment Approval by _____ Date: <u>  /  /  </u>	
<input type="checkbox"/> Flood Plain Approval by _____ Date: <u>  /  /  </u>	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u>  /  /  </u>	
Notes: _____	
<b>Zoning Approval:</b>	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>Legal lot of record provided, rear setback 5' to accessory structure</u>	
REVIEWER: <u>Carly Venditti</u> <u>[Signature]</u>	DATE: <u>2/22/24</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

MAX ALLOWABLE  
BUILDING HEIGHT  
1068 - 1072  
CAMINO SAN ACACIO

16'3"

Victoria St

Camino

Camino

Cristo Rey

Cerito

Delora

Acacio

13.1

13.6

14.6

17.5

17.3

11.0

14.1

13.9

15.3

10.9

11.5

20.4

20.3

13.4

11.4

12.3

19.8

17.7

17.2

26.7

24.2

15.1

17.5

13.0

13.1 17.5  
14.6 11.0  
13.9 14.1  
15.3 11.5  
13.4 10.9  
11.4 20.4  
12.3 17.7  
17.2

= Σ 214.3

÷  
15  
-----  
14' 3"  
+ 20  
-----  
16' 3"

**Jacob Ansel Kaltenbach**  
**Norah Tullman-Kaltenbach**  
1072 Camino San Acacio  
Santa Fe, NM 87505  
Tel: 505-316-4262  
Email: tulyak@earthlink.net

8 March, 2024

To: Historic Design Review Board (HDRB), City of Santa Fe  
Re: Project Proposal Letter

The project location is 1072 Camino San Acacio. The proposed project constitutes two parts:

- (1) a small addition of 79 square feet to the interior space and footprint of the main house,
- (2) the construction of a new 265-square-foot storage shed on the southside (back yard) of the main house.

- The site address is not in the escarpment zone. Neither structure will encroach on required setbacks. Please see PZR approval attached.

The main house, a non-contributing structure designed in 1981 and completed in 1982 on a previously empty lot, features a shed roof, integral garage, Territorial design accents, and a passive solar design including a Trombe wall on the southside. Please see attachments for details of the original elevations and final approval stamp from the original blueprints.

A casita now using the address 1072A Camino San Acacio was built in the lower north yard of the same lot in 1996.

The main house was built by the applicant's grandparents as their home in 1981-1982. The present owner/applicants did not acquire the property until 2020. At an unknown date between 1997 and 2019, interim owners started but did not complete a conversion of the garage. That previous garage space is now in use as a home office and occasional guest room.

The small addition to the main building, with a height of 11'6" from finished grade and closely following the footprint of an existing exterior trellis structure, has the following goals:

- (1) removal of the old garage door and better aesthetic integration of the building façade, including Territorial design accents;
- (2) creating interior access to the previous garage space via the lower-level hallway;
- (3) replacement of the western section of the dilapidated trellis along the northside. The eastern section of the wooden trellis structure will simply be rebuilt.

Two new painted wood casement windows on the north side of the addition will match the existing window trim paint (Dunn-Edwards "Blue Spruce"). The new main building door, which

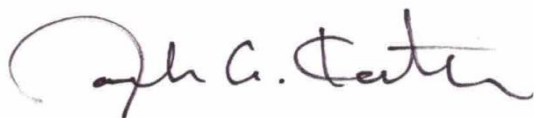
will be inside the yard wall, will be stained wood (Penofin "Brazilian Rosewood") with multiple lites.

The existing section of the stuccoed yard-wall adjoining the renovation, including a stained wooden gate (Penofin "Brazilian Rosewood"), will move out approximately 10 ft. from its current location towards the driveway (access road), and the existing two parking spaces at that location will be reduced from two to one. A total of six parking spaces will be available on the property per the revised site plan, including spaces on the southside and in front of the casita adjoining Camino San Acacio.

The proposed storage shed will be constructed in the back yard of the main house, on the south side. The proposed back wall of the shed will follow the existing curved shape of the retaining wall that defines the current parking area. This curved wall will not be visible from the street or driveway (access road). The west side of the storage shed, facing the driveway (access road), will feature a height of 8'9" from finished grade, and the east side of the shed facing into the yard will feature an average height of 11'3" (due to a sloping finished grade on that side). The storage shed will have a single-hung vertical wooden sliding window and a flush metal single utility door on the south side (including lites), both Dunn-Edwards "Blue Spruce, as well as a custom double-swinging-stained wooden door (also including lites and Penofin "Brazilian Rosewood") on the west side facing the driveway (access road).

The addition, storage shed, and replaced yard wall will be constructed using a combination of concrete block and frame (like the existing main building) and will be clad in stucco using the existing color on the property: STO "Suede".

Regards



Jacob Anshel Kaltenbach



Norah Tullman-Kaltenbach

(Owners/Applicants)

SINGLE -  
 WITH ADDED LITES

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1/2 (622)	2 - 2 1/2 (673)	2 - 4 1/2 (723)	2 - 6 1/2 (774)	2 - 8 1/2 (825)	3 - 1/2 (927)	3 - 4 1/2 (1028)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (685)	2 - 5 (736)	2 - 7 (787)	2 - 9 (838)	3 - 1 (939)	3 - 5 (1041)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)	2 - 4 (711)	2 - 6 (762)	2 - 8 (812)	3 - 0 (914)	3 - 4 (1016)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)	1 - 10 13/64 (564)	2 - 0 13/64 (615)	2 - 2 13/64 (666)	2 - 6 13/64 (767)	2 - 10 13/64 (869)

1 - 1 3/8 (339)										
1 - 1 5/8 (346)										
1 - 1 7/8 (353)										
1 - 1 3/8 (350)										
1 - 1 5/8 (441)										
1 - 1 7/8 (447)										
1 - 1 5/8 (498)										
1 - 1 7/8 (485)										
1 - 1 1/8 (434)										
1 - 1 1/8 (434)										
0 - 9 21/64 (237)										
0 - 9 21/64 (237)										
0 - 11 21/64 (288)										
0 - 11 21/64 (288)										
1 - 1 1/8 (533)										
1 - 1 5/8 (600)										
1 - 1 7/8 (637)										
1 - 1 1/8 (533)										
1 - 1 5/8 (701)										
1 - 1 7/8 (688)										
1 - 9 21/64 (542)										
2 - 3 3/8 (695)										
2 - 3 5/8 (701)										
2 - 3 1/8 (688)										
2 - 7 3/8 (796)										
2 - 7 5/8 (803)										
2 - 7 1/8 (780)										
2 - 11 3/8 (898)										
2 - 11 5/8 (904)										
2 - 11 1/8 (882)										
2 - 5 21/64 (745)										
2 - 5 21/64 (745)										
3 - 3 3/8 (1000)										
3 - 3 5/8 (1006)										
3 - 3 1/8 (883)										
2 - 9 21/64 (847)										

Details and Elevations not to scale.

- Marvin exclusive wash mode is not available on Ultimate Awnings, Ultimate Casement Round Tops or Ultimate Casement Windows less than 20" in width.
- Ultimate Casement Push Out not available in frame size heights less than 15 1/8"
- For units with a tall bottom rail, reduce the DLO height by 1 1/2".

E These windows meet national Egress codes for fire evacuation.  
 Local codes may differ.

T For safety and/or code requirements, Marvin recommends tempered glass in all units with a frame size height of 71 1/8" or larger and units with a frame size of 25.2 ft² and larger.

Please consult your local Marvin representative for more information.  
 For further details and drawings visit the 'Tools and Documents' section at [Marvin.com](http://Marvin.com).

Ultimate Casement: UCA  
 Ultimate Casement Push Out:UCAPO

CASEMENT / CASEMENT PUSH OUT

DOUBLE -

WITH LITES

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1/2 (622)	2 - 2 1/2 (673)	2 - 4 1/2 (723)	2 - 6 1/2 (774)	2 - 8 1/2 (825)	3 - 1/2 (927)	3 - 4 1/2 (1028)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (685)	2 - 5 (736)	2 - 7 (787)	2 - 9 (838)	3 - 1 (939)	3 - 5 (1041)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)	2 - 4 (711)	2 - 6 (762)	2 - 8 (812)	3 - 0 (914)	3 - 4 (1016)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)	1 - 10 13/64 (564)	2 - 0 13/64 (615)	2 - 2 13/64 (666)	2 - 6 13/64 (767)	2 - 10 13/64 (869)

3 - 7 3/8 (1101)										
UCA1644	UCA1844	UCA2044	UCA2444	UCA2644	UCA2844	UCA3044 E	UCA3244 E	UCA3644 E	UCA4044 E	
3 - 7 5/8 (1106)										
UCA1648	UCA1848	UCA2048	UCA2448	UCA2648	UCA2848 E	UCA3048 E	UCA3248 E	UCA3648 E	UCA4048 E	
3 - 11 3/8 (1203)										
UCA1648	UCA1848	UCA2048	UCA2448	UCA2648	UCA2848 E	UCA3048 E	UCA3248 E	UCA3648 E	UCA4048 E	
3 - 11 5/8 (1209)										
UCA1654	UCA1854	UCA2054	UCA2454	UCA2654	UCA2854 E	UCA3054 E	UCA3254 E	UCA3654 E	UCA4054 E	
3 - 11 7/8 (1196)										
UCA1656	UCA1856	UCA2056	UCA2456	UCA2656	UCA2856 E	UCA3056 E	UCA3256 E	UCA3656 E	UCA4056 E	
3 - 11 1/8 (1198)										
UCA1656	UCA1856	UCA2056	UCA2456	UCA2656	UCA2856 E	UCA3056 E	UCA3256 E	UCA3656 E	UCA4056 E	
3 - 5 21/64 (1050)										
UCA1660	UCA1860	UCA2060	UCA2460	UCA2660	UCA2860 E	UCA3060 E	UCA3260 E	UCA3660 E	UCA4060 E	
4 - 5 3/8 (1355)										
UCA1664	UCA1864	UCA2064	UCA2464	UCA2664	UCA2864 E	UCA3064 E	UCA3264 E	UCA3664 E	UCA4064 E	
4 - 5 5/8 (1362)										
UCA1664	UCA1864	UCA2064	UCA2464	UCA2664	UCA2864 E	UCA3064 E	UCA3264 E	UCA3664 E	UCA4064 E	
4 - 5 7/8 (1349)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
3 - 11 21/64 (1202)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 7 3/8 (1406)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 7 5/8 (1412)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 11 3/8 (1508)										
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4 - 11 5/8 (1514)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 11 7/8 (1501)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 11 1/8 (1455)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 3 3/8 (1609)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 3 5/8 (1616)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 3 7/8 (1603)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
4 - 9 21/64 (1456)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 11 3/8 (1812)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 11 5/8 (1819)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	
5 - 11 7/8 (1806)										
UCA1672 T	UCA1872 T	UCA2072 T	UCA2472 T	UCA2672 T	UCA2872 ET	UCA3072 ET	UCA3272 ET	UCA3672 ET	UCA4072 ET	

# CASEMENT / CASEMENT PUSH OUT

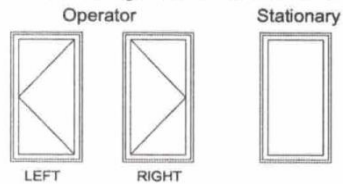
MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1/2 (622)	2 - 2 1/2 (673)	2 - 4 1/2 (723)	2 - 6 1/2 (774)	2 - 8 1/2 (825)	3 - 1/2 (927)	3 - 4 1/2 (1028)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (685)	2 - 5 (736)	2 - 7 (787)	2 - 9 (838)	3 - 1 (939)	3 - 5 (1041)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)	2 - 4 (711)	2 - 6 (762)	2 - 8 (812)	3 - 0 (914)	3 - 4 (1016)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)	1 - 10 13/64 (564)	2 - 0 13/64 (615)	2 - 2 13/64 (666)	2 - 6 13/64 (767)	2 - 10 13/64 (869)

6 - 5 3/8 (1965)										
	UCA1678 T	UCA1878 T	UCA2078 T	UCA2478 T	UCA2678 T	UCA2878 ET	UCA3078 ET	UCA3278 ET	UCA3678 ET	UCA4078 ET
UCAPO1678 T	UCAPO1878 T	UCAPO2078 T	UCAPO2478 T	UCAPO2678 T	UCAPO2878 ET	UCAPO3078 ET	UCAPO3278 ET	UCAPO3678 ET	UCAPO4078 ET	
6 - 11 3/8 (2117)										
	UCA1684 T	UCA1884 T	UCA2084 T	UCA2484 T	UCA2684 T	UCA2884 ET	UCA3084 ET	UCA3284 ET	UCA3684 ET	UCA4084 ET
UCAPO1684 T	UCAPO1884 T	UCAPO2084 T	UCAPO2484 T	UCAPO2684 T	UCAPO2884 ET	UCAPO3084 ET	UCAPO3284 ET	UCAPO3684 ET	UCAPO4084 ET	
6 - 5 1/8 (1956)										
	UCA1692 T	UCA1892 T	UCA2092 T	UCA2492 T	UCA2692 T	UCA2892 ET	UCA3092 ET	UCA3292 ET	UCA3692 ET	UCA4092 ET
UCAPO1692 T	UCAPO1892 T	UCAPO2092 T	UCAPO2492 T	UCAPO2692 T	UCAPO2892 ET	UCAPO3092 ET	UCAPO3292 ET	UCAPO3692 ET	UCAPO4092 ET	
6 - 11 1/8 (2111)										
	UCA1696 T	UCA1896 T	UCA2096 T	UCA2496 T	UCA2696 T	UCA2896 ET	UCA3096 ET	UCA3296 ET	UCA3696 ET	
UCAPO1696 T	UCAPO1896 T	UCAPO2096 T	UCAPO2496 T	UCAPO2696 T	UCAPO2896 ET	UCAPO3096 ET	UCAPO3296 ET	UCAPO3696 ET		
6 - 5 21/64 (1812)										
	UCA1678 T	UCA1878 T	UCA2078 T	UCA2478 T	UCA2678 T	UCA2878 ET	UCA3078 ET	UCA3278 ET	UCA3678 ET	UCA4078 ET
UCAPO1678 T	UCAPO1878 T	UCAPO2078 T	UCAPO2478 T	UCAPO2678 T	UCAPO2878 ET	UCAPO3078 ET	UCAPO3278 ET	UCAPO3678 ET	UCAPO4078 ET	

## Construction Details

Casements available as an operator or stationary.

L or R handing determined from exterior.



## CASEMENT STANDARD OPERATION AS VIEWED FROM THE OUTSIDE



Door

Masonry Opening	1-8 11/32 (517)	2-1 15/16 (659)	2-7 15/16 (811)	2-9 15/16 (862)	3-1 15/16 (946)	3-7 15/16 (1116)
Rough Opening	1-8 27/32 (529)	2-2 7/16 (672)	2-8 7/16 (824)	2-10 7/16 (875)	3-2 7/16 (976)	3-8 7/16 (1129)
Frame Size	1-7 27/32 (504)	2-1 7/16 (646)	2-7 7/16 (799)	2-9 7/16 (849)	3-1 7/16 (951)	3-7 7/16 (1103)
Glass Size	12 3/4" (324)	14 27/32" (377)	20 27/32" (529)	22 27/32" (580)	26 27/32" (682)	32 27/32" (834)

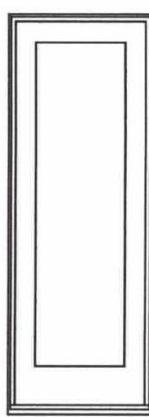
6-10 1/4 (2089)  
 6-10 1/2 (2096)  
 6-10 (2083)  
 67 35/64" (1716)



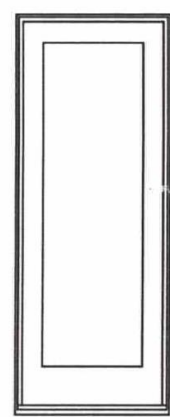
UIFDSL2 1668  
 UIFD2.25SLG2 1668



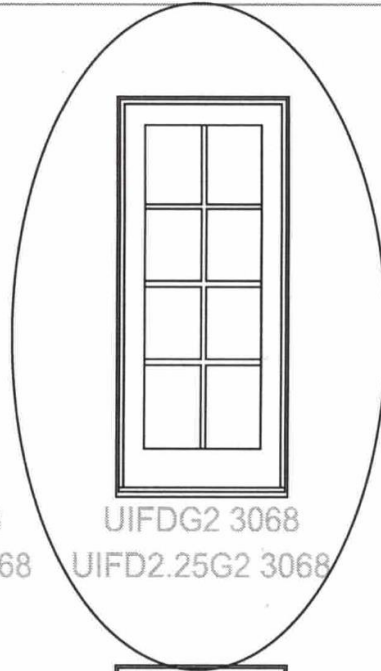
UIFDG2 2068  
 UIFD2.25G2 2068



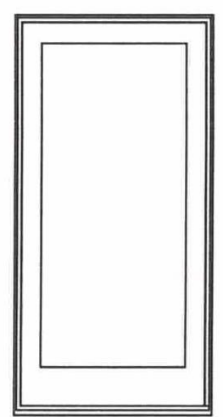
UIFDG2 2668  
 UIFD2.25G2 2668



UIFDG2 2868  
 UIFD2.25G2 2868



UIFDG2 3068  
 UIFD2.25G2 3068

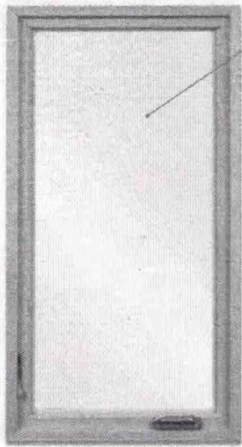


UIFDG2 3668  
 UIFD2.25G2 3668



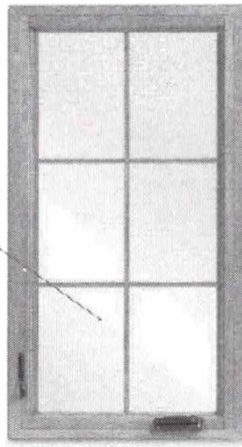
## FULL FRAME OR NARROW FRAME

The Ultimate Casement and Ultimate Casement Narrow Frame windows are the most versatile and innovative casement windows ever produced. Ultimate Casement styles feature concealed multi-point locks, a patented Wash Mode, and durable hardware that operates smoothly even at the largest sizes.



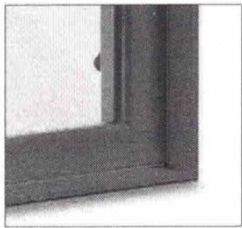
### ULTIMATE CASEMENT

A recessed sash for a traditional look, plus a full jamb, offers design flexibility for new construction or full frame replacement.



### ULTIMATE CASEMENT NARROW FRAME

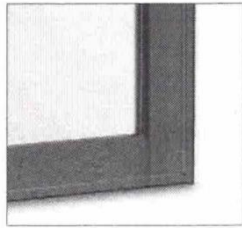
A flush sash to the exterior and narrow jamb depth make this window an easy choice for frame-in-frame replacement or more contemporary new construction applications.



ULTIMATE CASEMENT EXTERIOR WITH 4 3/4" FULL JAMB

### JAMBS + PROFILES

The Ultimate Casement has a recessed sash for a traditional or historic look. The Ultimate Casement Narrow Frame has a flush-to-frame sash for a contemporary look.



ULTIMATE CASEMENT NARROW FRAME EXTERIOR WITH 2 3/4" NARROW JAMB

**1072 Camino San Acacio**



1072 Camino San Acacio, North elevation (left side). View from private yard. This section of the wooden trellis will be repaired/replaced with same.



1072 Camino San Acacio, North elevation (right side). View from driveway (access road). 79 sf addition will be visible here, replacing right (west) end of wooden trellis. Yard-wall and gate will move out 10 feet and this parking area will reduce from two spaces to one.

**1072 Camino San Acacio**



1072 Camino San Acacio, West elevation. View from driveway (access road). Addition will replace trellis at bottom left.



1072 Camino San Acacio, South elevation. View from private yard. No proposed changes.

**1072 Camino San Acacio**



1072 Camino San Acacio, North view of the lot with casita as seen from Camino San Acacio. No proposed changes.



1072 Camino San Acacio, Northwest view of the lot as seen from Camino San Acacio and driveway (access road). Addition will be visible at northwest corner of main house.

**1072 Camino San Acacio**



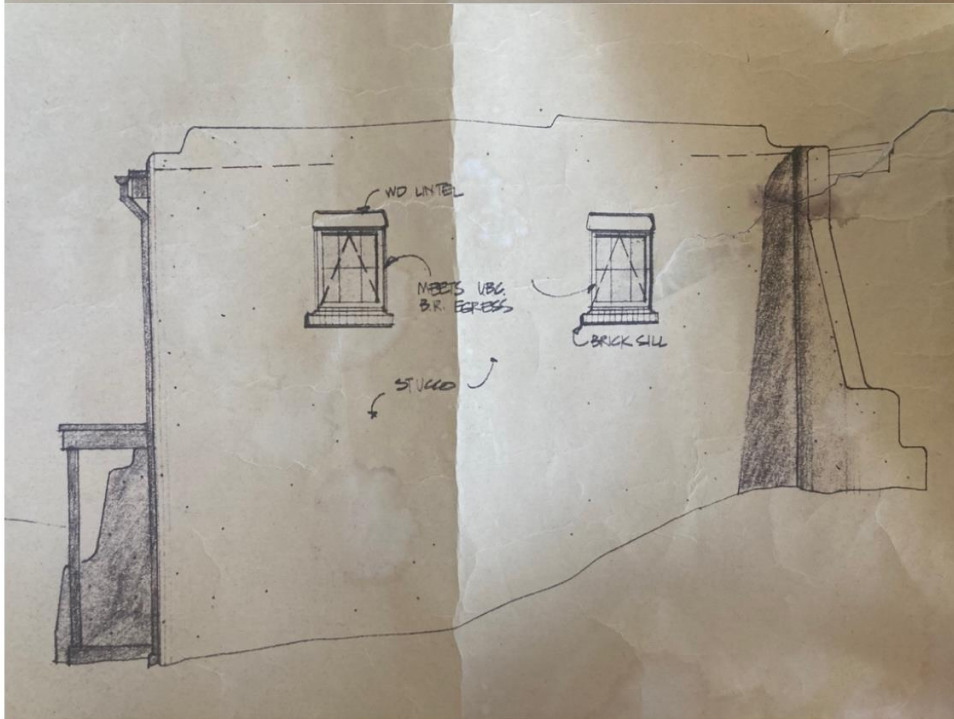
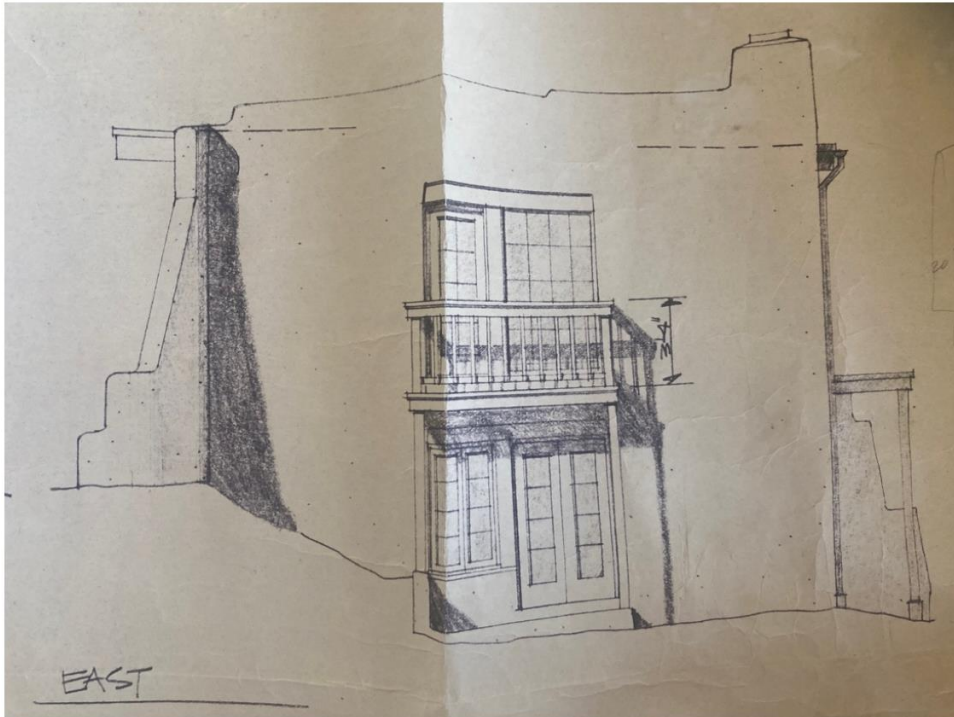
1072 Camino San Acacio, view from private yard of parking area and retaining wall where proposed storage shed will be located. Facing south. Only west elevation of shed (and not curved wall) will be visible from driveway (access road).



1072 Camino San Acacio, East elevation of main house. No proposed changes.

1072 Camino San Acacio

For historical reference only: elevation details from original 1981 plans



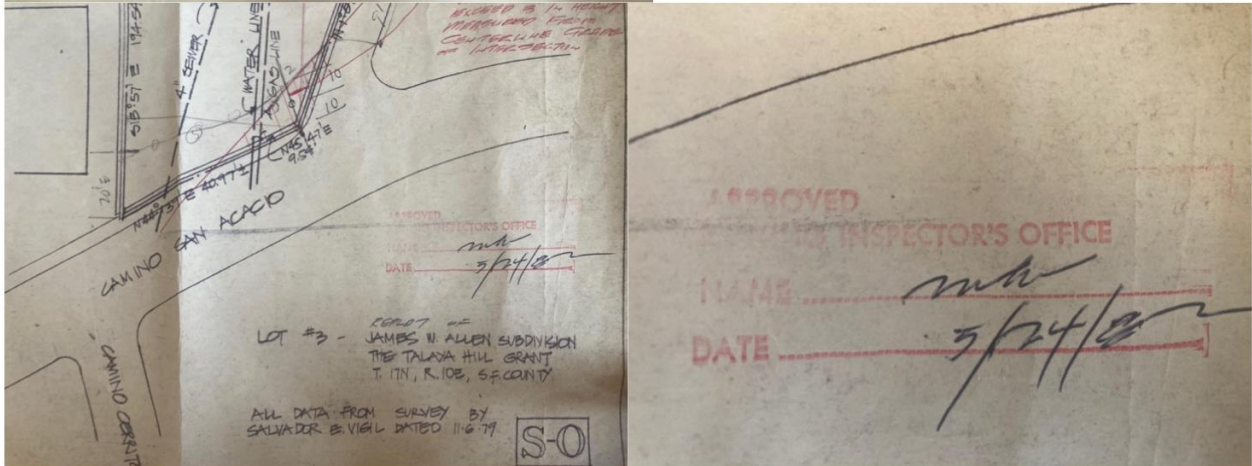
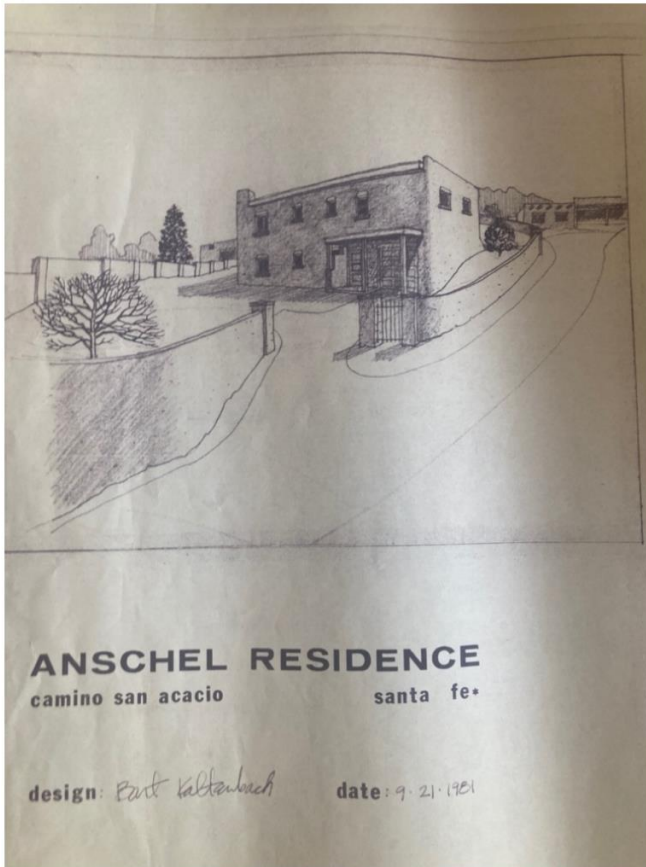
1072 Camino San Acacio

For historical reference only: elevation details from original 1981 plans



1072 Camino San Acacio

For historical reference only: elevation details from original 1981 plans



1072 Camino San Acacio  
Colors: existing and proposed



Stucco color: STO "Suede"

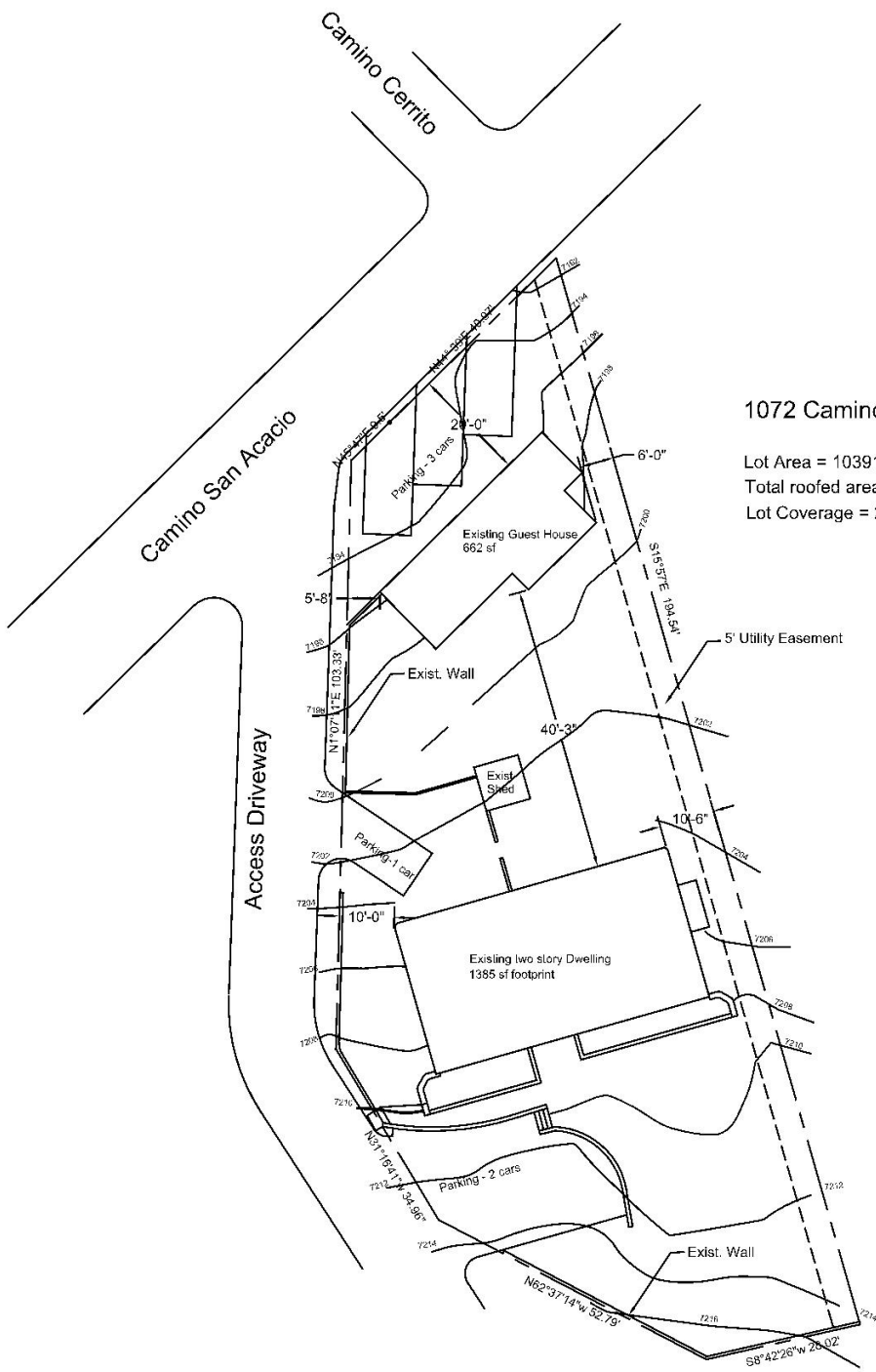


Wood stain: Premium Blue Label Penofin, "Brazilian Rosewood"



Window trim paint (left): Dunn-Edwards "Blue Spruce"



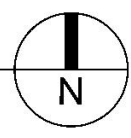
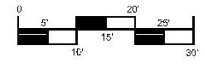


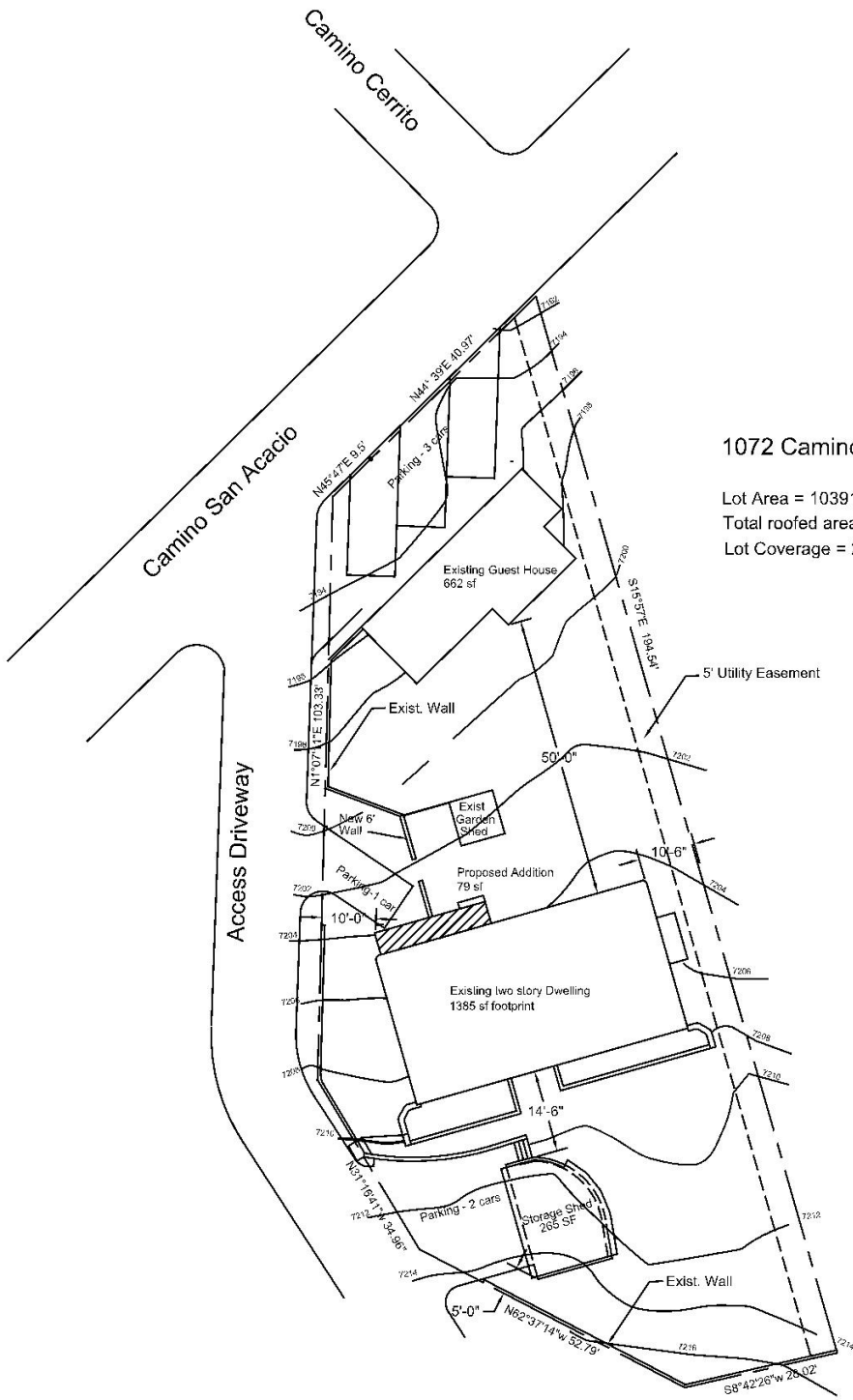
1072 Camino San Acacio

Lot Area = 10391 sf  
 Total roofed area = 2147 sf  
 Lot Coverage = 20.66%

Existing Site Plan  
 1072 Camino San Acacio

1"=10'-0"

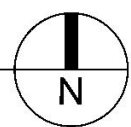
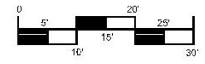


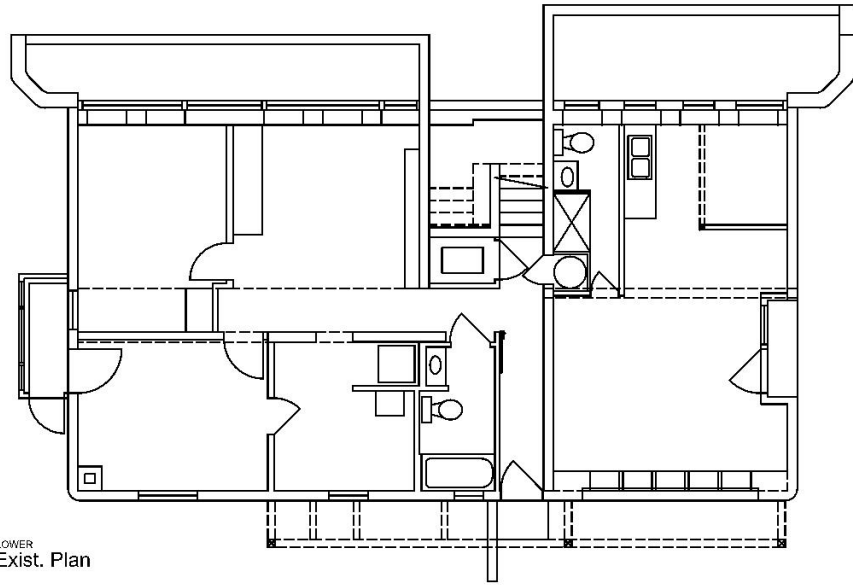


1072 Camino San Acacio  
 Lot Area = 10391 sf  
 Total roofed area = 2531 sf  
 Lot Coverage = 24.4%

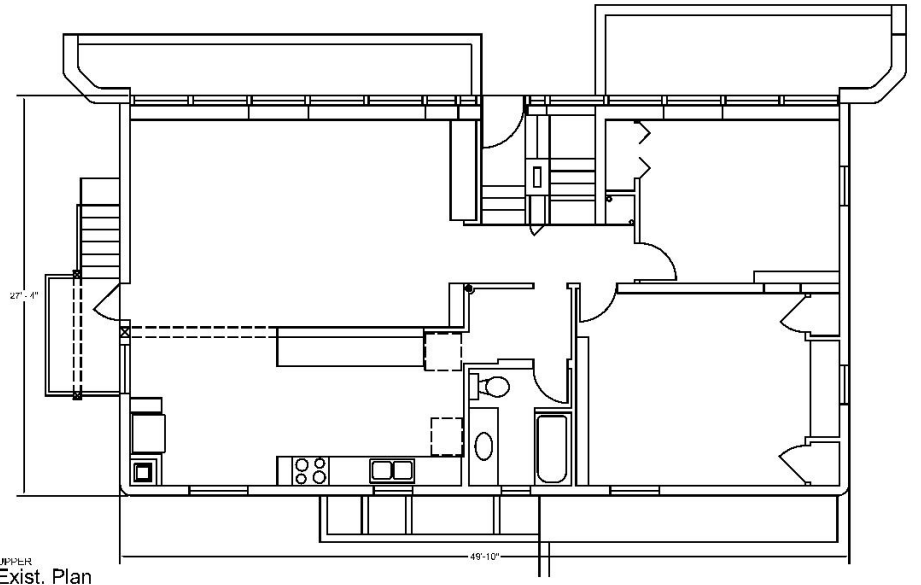
1072 Camino San Acacio

1"=10'-0"

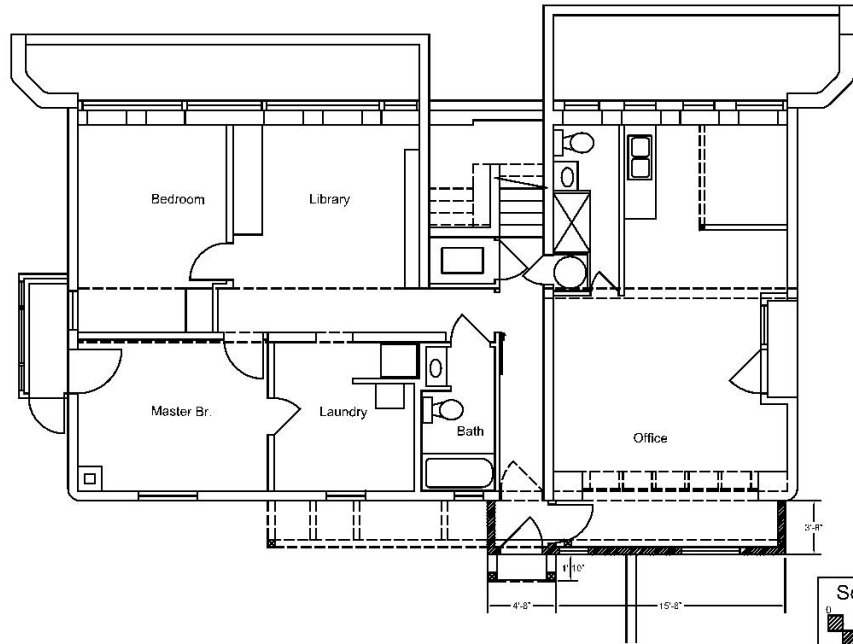




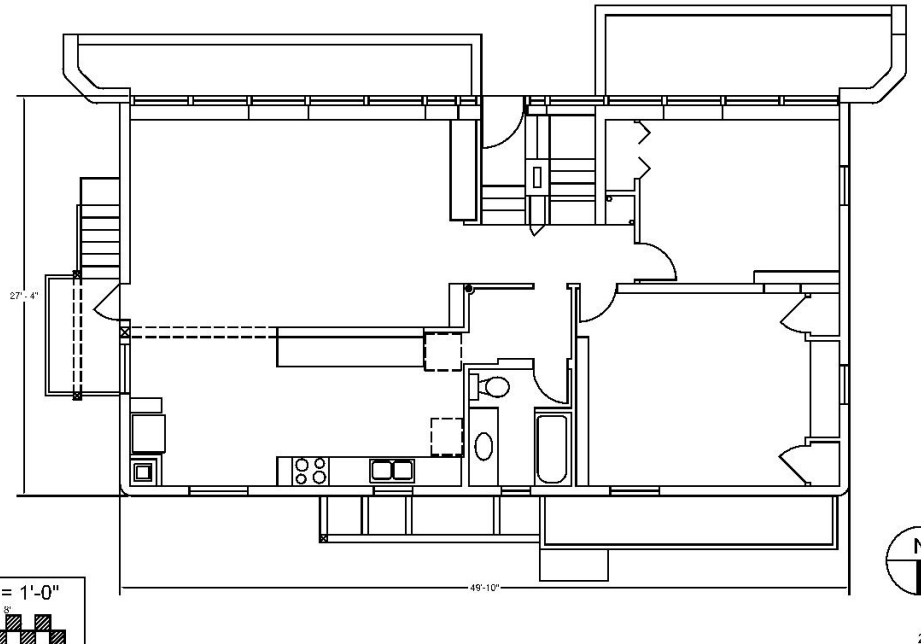
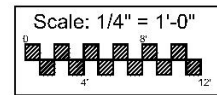
LOWER  
Exist. Plan



UPPER  
Exist. Plan

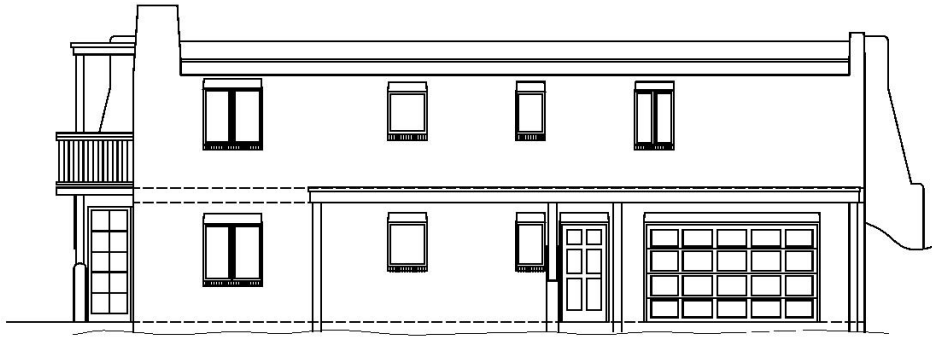


LOWER  
Proposed Plan



UPPER  
Proposed Plan

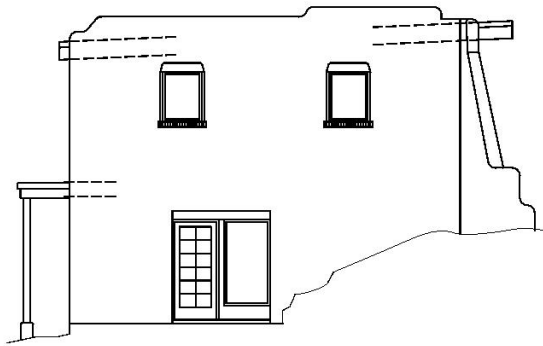




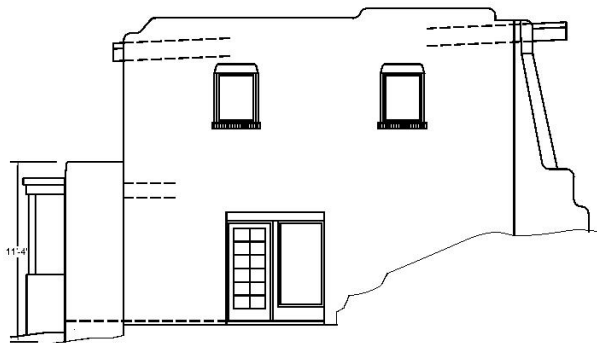
Existing North Elevation



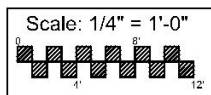
Proposed North Elevation



Existing West Elevation



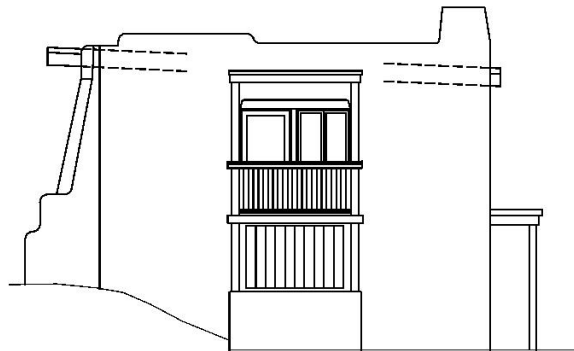
Proposed West Elevation



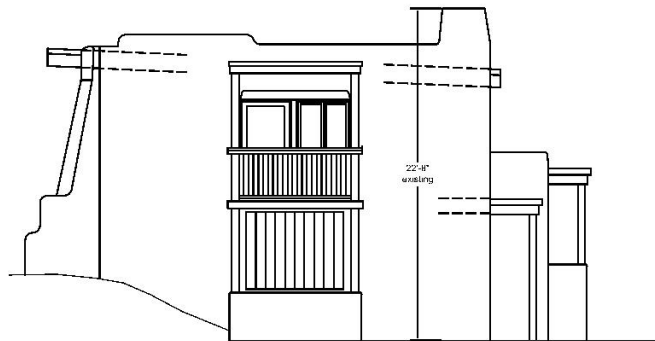
Stucco is STO "Suede"



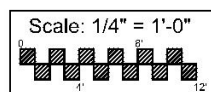
Existing South Elevation - No change



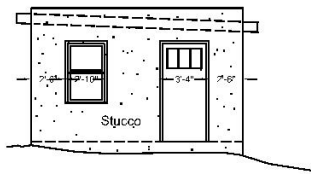
Existing East Elevation



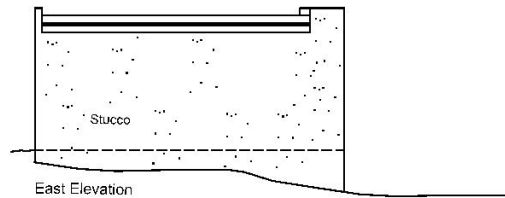
Proposed East Elevation



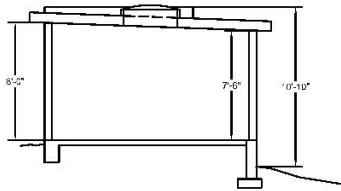
Stucco is STO "Suede"



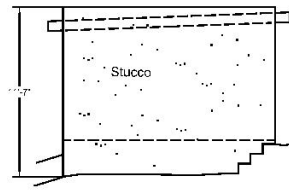
South Elevation



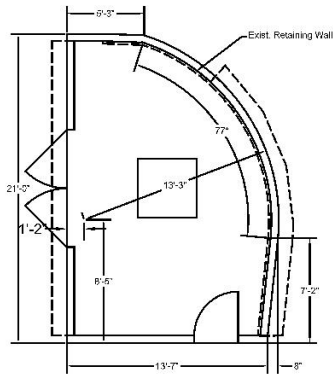
East Elevation



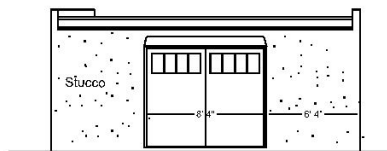
Section



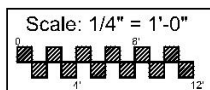
North Elevation



Storage Shed  
265 SF



West Elevation



Stucco is STO "Suede"

