



# AGENDA

HISTORIC DISTRICTS REVIEW  
BOARD  
JANUARY 23, 2024  
5:30 PM  
CITY COUNCIL CHAMBERS  
CITY HALL  
200 LINCOLN AVENUE

## PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/@cityofsantafe>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Join on Zoom:** <https://santafenm-gov.zoom.us/j/88931959374>

**By Phone:** 301 715 8592

**Webinar ID:** 889 3195 9374

**Written Public Comment:** Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

**C. APPROVAL OF MINUTES:**

1. January 9, 2024

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2023-007525-HDRB. 913 ½ Acequia Madre. (January 9, 2024)
2. 2023-007676-HDRB. 410 Camino Cabra (January 9, 2023)

**E. MATTERS FROM THE PUBLIC**

**F. STAFF COMMUNICATIONS**

**G. OLD BUSINESS**

**H. NEW BUSINESS**

1. 2024-007741-HDRB. 145 Washington Ave. Downtown and Eastside Historic District. Contributing. Nicole A. Ramirez Thomas, agent for the City of Santa Fe, owner, requests status review and designation of primary elevations for the Santa Fe Main Library. (Heather Lamboy, hllamboy@santafenm.gov)
2. 2023-007677-HDRB. 435 Calle la Paz. Downtown and Eastside Historic District. Contributing and non-statused. Martinez Architecture Studio, agent for Doug and Sarah Brown, owners, requests primary façade designation for the main residence and a historic status review with primary facade(s) designation, for the garage. (Lani McCulley, ljmcculley@santafenm.gov)

3. 2024-007730-HDRB. 1204 Canyon Rd. Downtown and Eastside Historic District. Non-Contributing. Gerald Valdez, agent for Fred and Josie Lucero, owners, proposes changes to cases #2020-001664-HDRB and #2022-005346-HDRB including portal, window, door, header, yardwall, retaining wall, exterior lighting, and other changes. An exception to 14-5.2 (E)(2)(b) to permit openings closer than 3' from the corner of the building. (Lani McCulley) **Postponed to February 13, 2024**
  
4. 2023-007720-HDRB. 365 Garcia St. Downtown and Eastside Historic District. Contributing. Richard Martinez, agent for Susan Ey, owner, requests a status review and primary façade designation(s). (Ramón J. Sarason, rjsarason@santafenm.gov)
  
5. 2023-007721-HDRB. 1047-A Camino San Acacio. Downtown and Eastside Historic District. Non-contributing, Autotroph Design, agent for Jason & Meghan Mercer, owners request a two story remodel addition of approx.1,185 sq. ft. on the south and west elevation, to height of 16'-9" where the maximum allowable is 16'-9" (Ramón Sarason)
  
6. 2024-007738-HDRB. 425 Apodaca Hill. Downtown and Eastside Historic District. Non-Contributing. Gayla Bechtol, agent for Paul Babcock and Anke Mihalas, owners, proposes to demolish the existing residence. (Heather Lamboy)
  
7. 2023-007722-HDRB. 912 Old Santa Fe Trl. Downtown and Eastside Historic District, non-contributing. Sunil Sakhalkar, agent for Annmari Gallagher & James Collins, owners, request remodel/renovation of approx. 1,290 sq. ft. To enclose existing carport on east elevation and addition of a portals on the north and south elevations with associated renovation treatments. (Ramón J. Sarason)

8. 2024-007742-HDRB. 60 E San Francisco St. (Santa Fe Arcade Building). Downtown and Eastside Historic District. Non-Contributing. Thom Ortiz, agent for Peters Corporation, requests a 2<sup>nd</sup> floor renovation of the north elevation, which includes door and window replacement. (Heather Lamboy)

**I. DISCUSSION ITEMS**

**J. MATTERS FROM THE BOARD**

**K. NEXT MEETING: Tuesday, February 13, 2024**

**L. ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.**

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**HISTORIC DISTRICTS REVIEW BOARD**  
**JANUARY 9, 2024**

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**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
JANUARY 9, 2024 – 5:30 PM**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:33 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

**1. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Ms. Cecilia Rios, Chair  
Mr. Anthony Guida, Vice Chair  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu  
Ms. Amanda Mather  
Mr. David Valdo

**MEMBERS ABSENT (EXCUSED)**

Ms. Madeleine Aguilar Medrano

**STAFF PRESENT:**

Ms. Heather Lamboy, Assistant Land Use Director  
Mr. Frank Ruybalid, Assistant City Attorney  
Mr. Gary Moquino, Historic Preservation Division Manager  
Paul Duran, Senior Planner  
Lani McCulley, Senior Planner

**OTHERS PRESENT**

Melissa Byers, Stenographer

**NOTE:** The Board packet for all agenda items is incorporated herewith by reference. The packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

**2. APPROVAL OF AGENDA**

Ms. Lamboy said the address was omitted on Item N under the Findings of Fact and Conclusions of Law, It should be 1369 Cerro Gordo Road.

**MOTION:** Member Guida moved, seconded by Member Valdo, to approve the agenda as amended.

**VOTE:** The motion passed by (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Mather and Valdo voting in favor and none voting against.

### **3. APPROVAL OF MINUTES:**

#### **1. December 12, 2023**

Member Biedscheid said on Page 5, the motion is described as a “motion to reconsider the case on Acequia Madre that was previously denied.” She suggested striking “that was previously denied.”

**MOTION:** Member Guida moved, seconded by Member Valdo, to approve the minutes of December 12, 2023, with the amendment to strike “that was previously denied” on Page 5.

**VOTE:** The motion passed by (5-0) roll call vote with Members Bienvenu, Guida, Mather, Valdo and Biedscheid voting in favor and none voting against.

### **4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

- a. 2023-006847-HDRB. 201 Montezuma Ave. (June 13, 2023)
- b. 2023-007020-HDRB. 425 Apodaca Hill (July 13, 2023)
- c. 2023-007073-HDRB. 220 Rodriquez St. (August 8, 2023)
- d. 2023-007314-HDRB. 918-D Acequia Madre (November 14, 2023)
- e. 2023-007399-HDRB. 1A Camino Pequeno (November 14, 2023)
- f. 2023-007468-HDRB. 826 Camino del Poniente (November 14, 2023)
- g. 2023-007402-HDRB. 912 Old Santa Fe Trl. (November 14, 2023)
- h. 2023-007432-HDRB. 771 W. Manhattan Ave. (November 14, 2023)
- i. 2023-007474-HDRB. 412 Camino Cabra (November 14, 2023)
- j. 2023-007360-HDRB. 1666 ½ Cerro Gordo Rd. (November 14, 2023)
- k. 2023-007428-HDRB. 600 Old Santa Fe Trl. (November 14, 2023)
- l. 2023-007552-HDRB. 50 Mt. Carmel Rd. (Fatima Building) (November 28, 2023)
- m. 2023-007411-HDRB. 135 Grant Ave. (November 28, 2023)
- n. 2023-007489-HDRB. 1369 Cerro Gordo Rd. (December 12, 2023)
- o. 2023-007576-HDRB. 303 Paseo de Peralta (December 12, 2023)
- p. 2023-007578-HDRB. 812 Gildersleeve St. (December 12, 2023)
- q. 2023-007604-HDRB. 367 Hillside Ave. (December 12, 2023)

- r. 2023-007490-HDRB. 1120 E. Alameda St. (December 12, 2023)
- s. 2023-007605-HDRB. 723 Old Santa Fe Trl. (December 12, 2023)

**MOTION:** Member Guida moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law for June 13, 2023, and July 13, 2023 (Items a and b).

**VOTE:** The motion passed by (5-0) roll call vote with Members Guida, Mather, Valdo, Biedscheid and Bienvenu, voting in favor and none voting against.

**MOTION:** Member Guida moved, seconded by Member Valdo to approve the Findings of Fact and Conclusions of Law for August 8, 2023 (Item c).

**VOTE:** The motion passed by (5-0) roll call vote with Members Mather, Valdo, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

**MOTION:** Member Guida moved, seconded by Member Valdo to approve the Findings of Fact and Conclusions of Law for November 14, 2023, and November 28, 2023 (Items d through m).

**VOTE:** The motion passed by (5-0) roll call vote with Members Valdo, Biedscheid, Bienvenu, Guida and Mather voting in favor and none voting against.

**MOTION:** Member Guida moved, seconded by Member Valdo to approve the Findings of Fact and Conclusions of Law for December 12, 2023 (Items n through s).

**VOTE:** The motion passed by (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Mather and Valdo voting in favor and none voting against.

## **5. MATTERS FROM THE PUBLIC**

David Rasch, former historic preservation planner, was concerned about the Soldier's Monument on the Plaza. He reviewed the Code related to the Board's authority pursuant to 14-2.6. The Board's authority is to review and approve or deny all applications for new construction, exterior alteration, and demolition of structures. The state tried to remove the Soldiers Monument also known as the Obelisk. The Board has not been part of negotiation about what to about the obelisk. He implored the Board to status the Soldier's Monument and the Plaza.

John Eddy said the question raised by Mr. Rasch was about determining status not what can be done to correct the situation. He said the Board has the authority to apply correct status to that site. He said many of the buildings on the Plaza have never been statused by this Board. As a result, they are vulnerable to the process of people coming to try to undermine a status that does not exist.

Stefanie Beninato said she wasn't sure that something that has been destroyed can be statused.

Ms. Beninato also discussed the Findings of Fact and Conclusions of Law that were approved this evening, some went back as far as June. Procedurally according to the City Attorney's Office if the Board has not adopted findings of fact by the 35<sup>th</sup> day after the final decision, then there is only 15 days after that 35<sup>th</sup> day to appeal. She brought that up because if someone is waiting for the Findings and Conclusions to be approved, they are past the 35 days and the appeal period has ended.

Ms. Beninato also brought up 604 Galisteo. She thinks it illustrates the danger of staff approval. Yes, they needed approval to repair a wall that had been run into, but it was not replaced in kind. Additionally, the window that was put back in is smaller and not of the same kind and a full portal/porch was placed on a primary façade.

## **6. STAFF COMMUNICATIONS**

Ms. Lamboy notified the Board that the City is applying for grants provided by the federal government. There is two million dollars available to the entire state for historic preservation projects. One project is for a resurvey of the downtown district which includes the downtown buildings around the plaza. Another request is to continue the work with the Main Library and the restoration of that building as well.

Ms. Lamboy also notified the Board that there is an emergency demolition request for 425 Apodaca Hill. Staff along with the Chief Building Official agreed. That case will be brought before the Board at the next meeting.

Ms. Lamboy said with reference to the demolition requests for the State buildings on Don Gaspar, it was anticipated those would be brought to the Board, however, those requests have been postponed indefinitely to assure public outreach has taken place. The process will be initial outreach by the state and its agent and then it will come back to the Board and the clock will start. There's a 60-day process in which there's an informational item that's presented to the Board, then the board provides comment and if necessary then the Board makes a recommendation for designation of a committee which would be a State/City committee and other parties as outlined by State statute to go over the design issues and address any potential

concerns. To save time, she asked the Board to designate two members to potentially serve on that committee. They can think about it and decide at the end of the meeting.

## 7. OLD BUSINESS

Chair Rios explained the appeal process. She also asked that public comments be limited to two minutes.

- a. **2023-007525-HDRB. 913 ½ Acequia Madre.** Downtown and Eastside Historic District. Contributing. Richard Martinez, agent for Jay Morton of the Morton Phillips Trust, owner, requests reconsideration of contributing historic status with primary façade designation. (Paul Duran)

Member Bienvenu said, as a point of order, it's his understanding, that there is a motion on the table that has been made and seconded. What is before the Board is the discussion and a vote on that motion.

Attorney Ruybalid referred to *Robert's Rules of Order*. He said when a motion to reconsider is adopted the effect is to the extent practical and with certain exceptions placed before the assembly. The original vote is cancelled and before any new vote on it is taken the question is open to debate. The motion on the table is:

**MOTION:** In Case 2023-007525-HDRB, 913½ Acequia Madre, Member Mather moved to make the building contributing with primary façade designation as the north and northeastern facades as identified on the façade diagram as 1 through 4. The motion was seconded by Member Valdo.

### **BACKGROUND AND SUMMARY**

913 ½ Acequia Madre is a single-family residence designated as contributing with the north and northeastern facades as primary to the Downtown and Eastside Historic District. The structure was built in 1940 on a 0.10-acre lot which totaled 1,702-square feet. The primary architectural design of the structure is a collaboration between Spanish-Pueblo revival and Santa Fe vernacular styles which includes adobe and concrete block for construction materials, a flat shedroof, wood and aluminum single-hung three over one and one over one windows.

The structure has undergone an evolution of construction and additions throughout time. The original core of the structure is the north and northeastern façades which contain the integrity of the historic districts standards as seen through the adobe wall construction and recessed three over one wood framed windows. These two façades were designated as primary on the November 28, 2023, HDRB hearing. The portal over the eastern façade entry way is most likely the first addition to the structure

around the 1950s. As construction continued, additions were made to the southern façade adding another room and garage by the 1970s. The clear and distinct evolution of the property can be observed through the construction material and design of the structure.

Previous HDRB cases include:

On November 28, 2023, Case No. 2023-007525-HDRB, 913 ½ Acequia Madre, came before the Board for status review with primary façade(s) designation. The Board's action moved to make the building contributing with primary façade designation as the north and northeastern facades as identified on the façade diagram as 1 through 4. The motion was seconded by Member Valdo.

Member Biedscheid offered a different opinion for the Board's consideration. She referred to the long east façade. Half of that was added in the 1970s. The original adobe 1950s building is there but also half of that is covered by the framed 1970s porch. She thought as a result, as noted in the HCPI report, the facade reads as more of a 1950 ranch style house which changes the sense of history associated with this house. The footprint is no longer the same and the additions clearly were not sensitive as evidenced by the result that this looks like a different style of house now. The motion passed by (2-1) roll call vote with Members Mather and Valdo voting in favor and Member Biedscheid, voting against.

#### **STAFF RECOMMENDATION**

Staff recommends the historic status of the structure be maintained as contributing with the north and northeastern facades as identified on the façade diagram 1 through 4 be maintained as primary, per 14-5.2(C) Designation of Significant and Contributing Structures and 14-5.2(E) Downtown and Eastside Design Standards.

Member Guida said that the applicant paid for John Murphy, a professional architectural historian, to do a write up on this property and make recommendations. He asked why staff's recommendation differed from Mr. Murphy's.

Mr. Duran said John Murphy did a great job on the HCPI and he recommended non-contributing because of the additions. Mr. Duran said he sees the core of the structure being maintained. He didn't see the core of that structure changing. As a matter of fact, he thinks things were added on to the core, but the core never changed and that is why the structure still holds its Integrity.

Member Guida said his concern is there's a district nomination. John Murphy is talking about the integrity of the structure. He agrees with John Murphy's assessment.

Chair Rios said not only is the building 50 years old, but it has integrity because of the footprint of the makeup of how it contributes to the district. Mr. Duran's recommendation contrasts with what the historian said. The Board has to read and listen to what the historian said, what staff has said and also other people who will be speaking this evening. The Board will have to make their own independent evaluation.

Member Biedscheid referred to the HCPI report wherein John Murphy says that this house now reads as more of a 1950s ranch style house and also indicates that the evolution of the house is evident, but that evolution of the house was done in a way that wasn't sensitive enough to retain what made it special to begin with. The style of the house has changed.

### **APPLICANT PRESENTATION**

Jay Morton, 913 ½ Acequia Madre, Santa Fe, NM, was sworn. He's the owner of the house. He bought the house a year ago to retire to the neighborhood. He's hoping to improve the house and be a member of the community. He is currently the Chair of the Paintings Council at the Getty in Los Angeles. He's hoping to work in museums in Santa Fe as well.

Richard Martinez, PO Box 925, Santa Fe, NM, was sworn in. He clarified that the lawyer stated at the last meeting that he (Mr. Martinez) said that the vote was not correct. He said the vote was illegal. The point was the matter was not well considered and so he asked for it to be reconsidered. He believes the house should not be contributing. He asked why stop evolution now? The historian recommended retaining the non-contributing status. He read into the record comments from neighbors who are in support of this application.

### **PUBLIC HEARING**

Bruce Catania, 919 Acequia Madre, Santa Fe, NM, was sworn in. He said he supports the applicant and the motion to reconsider.

John Eddy, 14 Avenida Campo Verde, Santa Fe, NM, was sworn. He supports staff who recognize the qualities and the importance of vernacular adaptation. Two of the three additions should remain within the contributing status of the house.

Stefanie Beninato, PO Box 1601, Santa Fe, NM, was sworn. She said the house should be given a contributing status. She supports staff's reasoning, there is a need to preserve.

Mr. Harski, 824 Canyon Road, Santa Fe, NM, was sworn. He and his wife have restored an adobe building. He said only a minimum amount of that house should be designated as contributing.

Kristin Fox, 2 East San Marcos Road, Santa Fe, NM, was sworn. She supported Mr. Martinez's recommendation that this be non-contributing.

### **BOARD DISCUSSION/ACTION**

**MOTION:** In Case 2023-007525-HDRB, 913½ Acequia Madre, Member Mather moved to make the building contributing with primary façade designation as the north and northeastern facades as identified on the façade diagram as 1 through 4. The motion was seconded by Member Valdo.

Member Biedscheid asked that the façade diagram be displayed so that everyone is aware of what is being voted on.

Member Guida confirmed that the motion was intended to elevate the status of the property to contributing and to designate 1, 2, 3 and 4 on the facade map, excluding the porch, as primary.

Member Bienvenu said he did not vote at the last meeting because he was acting chair. The HCPI by Mr. Murphy, at the behest of the applicant has been, in terms of its final conclusions and recommendations, as having greater weight than staff's view and judgment or of the Board's view and judgment. The HCPI allows the Board to reach measured and well-informed judgments and make the final determination. The Board is guided by staff's recommendation as well as the Board members own views. Staff's done an excellent job and he appreciated staff's thorough report in this matter. He clarified that contributing status does not mean renovation cannot occur. He said that there was no new information presented at this hearing.

Chair Rios said if something is designated contributing, then the applicant has the option to come before the Board with their application and if something is going to impact a primary façade, then an exception may be requested.

Member Guida said he agreed with Board comments about statusing not being a barrier. He noted that John Murphy's report is a professional recommendation. He agreed with John Murphy's recommendation.

**VOTE:** The motion passed by (3-2) roll call vote with Members Bienvenu, Mather and Valdo voting in favor and Members Guida and Biedscheid voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=9hmWBh8ejnY> (31:07 – 1:21:20)

## **8. NEW BUSINESS**

- a. **2023-007592-HDRB. 128 S. Capitol St.** – Motor Pool and Garage Buildings. Downtown and Eastside Historic District. Non-Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the motor pool and garage buildings. (Heather Lamboy)

**POSTPONED INDEFINITELY**

- b. **2023-007593-HDRB. 130 S. Capitol St.** Downtown and Eastside Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the Concha Ortiz y Pino building. (Heather Lamboy)

**POSTPONED INDEFINITELY**

- c. **2023-007595-HDRB. 402 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a duplex) and garage. (Heather Lamboy)

**POSTPONED INDEFINITELY**

- d. **2023-007596-HDRB. 406 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence) and garage. (Heather Lamboy)

**POSTPONED INDEFINITELY**

- e. **2023-007597-HDRB. 410 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General

Services Division, request demolition of the of the office building (previously a residence) and garage. (Heather Lamboy)

#### **POSTPONED INDEFINITELY**

- f. **2023-007598-HDRB. 414 Don Gaspar Ave.** Downtown and Eastside Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence). (Heather Lamboy)

#### **POSTPONED INDEFINITELY**

- g. **2023-007222-HDRB. 123 & 135 Grant Ave.** Downtown and Eastside Historic District. Non-contributing. JenkinsGavin, agent for the Georgia O’Keeffe Museum, owner, requests approval for a 56,000 sq. ft. museum building. An exception to 14-5.2(E) Downtown and Eastside Design Standards and 14-5.2(D)(1)(a)&(b) proposed alteration or new construction will cause an adjacent structure to lose significant status, and section 14-5.2 (D)(9)(e)&(f) scale and floor stepbacks. (Paul Duran)

#### **BACKGROUND & SUMMARY**

The structure at 123 Grant Ave, which was originally constructed as a Safeway grocery store, is listed as non-contributing to the Downtown & Eastside Historic District and the structure at 135 Grant Ave is the Otero-Bergere House and is significant to the Downtown & Eastside Historic the Otero-Bergere house has been converted to a commercial building for use as the Georgia O’Keeffe Research Center and administrative offices.

The former Safeway building at 123 Grant Ave was constructed in the Spanish Pueblo Revival architectural design style with rounded parapets, recessed doors and windows, and a large patio that wraps around the building with wooden corbels and viga elements. The property also includes a large parking lot with many large trees providing shade coverage for vehicles. The property has undergone multiple stages of use and development since before the establishment of Santa Fe in 1610. The predominate history for the Grant Avenue area in regard to the built environment is related to the Fort Marcy Military Reservation which was established during the American Territorial Period from 1850- 1912. In the early 1940s a Safeway grocery store was built. In the 1960s a new Safeway building was constructed at 123 Grant Avenue in the location where one of Fort Marcy’s officers’ quarters used to be located. The property has undergone previous alterations and maintenance but has generally maintained the same footprint as the Safeway store. The Otero-Bergere House property, which is the most intact remaining officer’s home from the Fort Marcy period,

has remained relatively unchanged with the exception of the exterior which was updated after 1912 to reflect the Spanish Pueblo Revival style that came to dominate Santa Fe after statehood.

Previous HDRB cases include:

In Case No. 2021-003830-HDRB. 123 Grant Avenue. Downtown and Eastside Historic District. Georgia O’Keeffe Museum, agent for 123-135 Grant LLC, owner, requests a historic status review of primary façade designation, if applicable, for a non-contributing structure. Staff recommended that the historic status of the structure remain non-contributing per Section 14-5.2(C)(2).

123 Grant Avenue is a 19,000 square foot non-residential structure constructed originally in 1966 as a downtown Safeway supermarket facing onto a 21,000 square foot asphalt parking lot. It currently has a non-contributing status. It was originally designed with a “generalized Pueblo Revival appearance” including a portal with wooden posts and corbels, although the actual storefront was a standard modern form, with large plate-glass windows and sliding doors. The building has seen extensive changes over the years, including the enclosing of the west-facing portal in 1983 and its reinstatement with a different design in 1993. In that year, the doors and windows were also changed in size and location. The landscaping and smaller structures also date from around 1993. The building’s use as a supermarket ended in 1993, when it was converted into offices. A more extensive history of the structure is given in the HCPI from June 2021.

The motion in Case No. 2021-003830-HDRB. 123 Grant Avenue, Member Roybal moved to approve per staff recommendation. The motion was seconded by Member Bienvenu. The motion passed by unanimous (4-0) roll call vote with Members Bienvenu, Guida, Katz, and Roybal voting in favor and none voting against.

The HDRB reviewed a preliminary version of the proposed museum building and site design on August 10, 2021, and gave feedback at that time.

In Case No. 2021-004123-HDRB. 123 Grant Avenue. Downtown and Eastside Historic District. Lorn Tryk, agent for 123-125 Grant, LLC, owner, proposes to demolish a non-contributing structure.

123 Grant Avenue is a 19,000 square foot non-residential structure constructed originally in 1966 as a downtown Safeway supermarket facing onto a 21,000 square foot asphalt parking lot. It currently has a non-contributing status. It was originally designed with a “generalized Pueblo Revival appearance” including a portal with wooden posts and corbels, although the actual storefront was a standard modern form, with large plate-glass windows and sliding doors. The building has seen

extensive changes over the years, including the enclosing of the west-facing portal in 1983 and its reinstatement with a different design in 1993. In that year, the doors and windows were also changed in size and location. The landscaping and smaller structures also date from around 1993. The building's use as a supermarket ended in 1993, when it was converted into offices.

A more extensive history of the structure is given in the HCPI from June 2021.

In Case # 2021-003830-HDRB, heard on July 13, 2021, the HDRB reviewed the historic status of the structure and retained its status as "non-contributing". The applicant requests approval to demolish the structure.

Staff recommended Per Section 14-5.2(C)(2)(a), Regulation of Significant and Contributing Structures, the structure is non-contributing. Per 14-3.14(G), the Demolition standards have been fulfilled.

Chair Rios said this building has gone through many changes. Lorn Tryk, 436 W. San Francisco St., was sworn in. He said a preliminary design was presented in August. They will be presenting the development plan to the Planning Commission on November 4, 2021, and return to this Board in the Spring. The archeology tests will be done in the next couple of weeks. There will be continuous monitoring during demolition, if approved, and the excavation.

The motion in Case No. 2021-004123-HDRB, 123 Grant Avenue, Member Bienvenu moved to approve, per staff's recommendation, for the reasons that the Board has considered the factors supporting 14-3.14(G) and finds that this structure is not of historical importance; not an essential part of a unique street section; and criteria has established that demolition is appropriate, despite the building being in good condition. Member Roybal seconded the motion.

The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

At the September 26, 2023, HDRB hearing the design of the new museum went before the board as an informational discussion item.

In Case No. 2023-007411-HDRB. 135 Grant Ave. Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O'Keeffe Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested.

135 Grant Avenue is the Otero-Bergere House and now houses the Georgia O’Keeffe Museum Administrative Offices. It is listed as a significant structure to the Downtown and Eastside Historic District. The property at 123 Grant Avenue is the former Safeway building and is designated as a non-contributing structure to the Downtown and Eastside Historic District. The white wooden picket fence on the western property line and the masonry stuccoed wall on the eastern and southern property line of the Otero-Bergere property, are contributing structures to the Downtown and Eastside Historic District.

The applicant proposed the following:

- 1) Demolition of the wall in order to allow for the construction of the new Georgia O’Keeffe Museum.
- 2) Alteration of the picket fence in order to improve site access and expand the public sidewalk along Grant Avenue.

The white wooden picket fence was constructed between the 1870s to 1880s at the time the Fort Marcy Military Reservation was active and initially served as a property boundary marker delineating the yard of one of the officer’s quarters. The wooden fence at 135 Grant Avenue has undergone renovations in 1912, the 1970s, and into the early 2000s.

The masonry stuccoed wall at 123 Grant Avenue was constructed pre-1958 and established the eastern and southern property boundaries on the north side of that property. The wall has undergone previous maintenance and construction between 1941 and the early 2000s as seen by the height variations on the east and south sides. The white wooden picket fence and the masonry stuccoed wall represent a historic reference point which is significant to the streetscape and contributes to the sense of place which is an essential part of the Grant Avenue streetscape and this part of the Downtown and Eastside Historic District where the Fort Marcy Military Reservation used to be.

Historic photographs show the white wooden picket fence surrounded the house on all sides and defined the property boundaries. The wooden picket fence heads varied in shapes and styles from spade to gothic and currently are a triangular shape. The white wooden picket fence shares the incorporation of a territorial architectural design uncommon to the historic downtown Santa Fe and specifically to Grant Avenue. After the Fort Marcy Military Reservation was decommissioned and New Mexico became a state, the Otero-Bergere house was remodeled in the Santa Fe Style but retained some Territorial period features, including the picket fence. Over time the lot has been encroached upon on the north side and east side. The west and south property lines remain intact even as the fence and wall have changed. The white wooden picket

fence has maintained a significant detail to the Grant Avenue streetscape and Downtown and Eastside Historic District.

Demolition of the stuccoed masonry wall that separates 123 from 135 Grant Avenue was approved by the HDRB on November 28, 2023, along with a 21-ft reduction in length of the white picket fence in front of 135 Grant Avenue.

The masonry stuccoed wall on the properties east and south sides was constructed between 1941 to 1958 and helps to establish and maintain the character of the space around the Otero-Bergere property. The initial construction was out of concrete cinder blocks and stuccoed over.

The exact date is uncertain; however, the wall is over 50-years old and was determined to have a contributing historic status. The height of the wall varies between 72" to 102" on the south side.

Staff did not find that all the exception criteria had been met but the Board found that they had upon further testimony. Staff recommended the application meet the standards of the code as written in 14-5.2(D) General Design Standards for all Historic Districts specific to 14-5.2(D)(1)(a) the status of a significant, contributing, or landmark status.

Chair Bienvenu confirmed that there are two proposals. There are two separate Code provisions that are in play. The Board needs to be cognizant of determining whether the criteria of those provisions have been met.

Member Mather asked if there was a plan for replacing the picket fence.

Mr. Duran said the applicant could respond to that.

Jennifer Jenkins of JenkinsGavin, 130 Grant Ave., Santa Fe, was sworn in on behalf of Georgia O'Keefe Museum. She shared a power point presentation which included:

- Project Location
- Existing Site Conditions
- Picket Fence – recognize uniqueness
- Site Wall constructed to block a grocery store parking lot
- Project Background
- Existing Site Plan
- Existing Elevations
- Site Access
- Picket Fence HCPI Findings
- Picket Fence Existing Conditions

- Plan for picket fence – originally they wanted to move it back. A vast majority of fence will remain where it is. They are proposing to remove a small segment of the fence by the cottonwood tree. That would open up the space for the health of the tree and improve the pedestrian experience
- Site access
- ADA Considerations – City won't allow a three-foot sidewalk
- Site Wall HCPI Findings and Conclusions
- Site Wall Existing Conditions
- Property Boundary Treatment
- Proposed Northwest Corner
- Grant Ave. Frontage – Existing
- Grant Ave Frontage – Proposed

Chair Bienvenu asked what the current length of the fence is.

Ms. Jenkins said 121 feet. They are proposing to remove 21 feet.

Chair Bienvenu said more than  $\frac{3}{4}$  of the picket fence will remain, part of what's being removed is obscured by the tree. He acknowledged that the picket fence is important. The question for the Board is if a removal of that portion is justified. The wall is a separate issue. It's not historic to either of the two properties.

Ms. Jenkins said the intent is to create open space.

Chair Bienvenu said he is appreciative of staff's endeavor to hang on to the history of this property. His concern is that they don't end up with two buildings that don't belong next to each other. The Plaza in the middle will help them.

Ms. Lamboy said the Board is dealing with a unique circumstance. The Board cannot consider what's being proposed considering the demolition. She reminded the Board there will need to be two motions.

Member Biedscheid said the percentage of the picket fence that's proposed for demolition is 17%. That is a very small concession. She pointed out that the Board has approved the demolition of historic walls and fences for far less worthy instances like parking access. In this case, an enhanced public entrance and garden space is a lot easier to justify.

Member Biedscheid confirmed that staff recommended two separate motions.

In Case No. 2023-007411-HDRB, 135 Grant Ave., regarding the white wood picket fence, Member Biedscheid stated that the staff report documents disagreement with all the demolition criteria as well as the exception criteria. She needed to address each

one in the motion to approve that removal. With respect to the demolition criteria the picket fence is of historical importance, however, the majority of the fence remains in place satisfying that criterion and representing a very negligible impact to the historical significance. Whether or not the demolition is an essential part of the streetscape, she would say yes and for the same reason that the vast majority of the picket fence remains, that criteria has been considered and is not impacted. The last criterion about the stability of the structure, as acknowledged by the staff report is that it's in a decent state of repair but that is not the reason for this. She noted that not all three criteria need to be met just considered in this process. Because the picket fence has been designated as contributing, the exception criteria applied first is to not damage the character of the district. Again, the removal of a portion of the picket fence represents a minimal impact to the character of this streetscape.

Certainly, the contributing features of the picket fence remain with the small removal of this portion. With respect to a hardship, the hardship of attempting to unify two previously separate properties requires an access point on the street. This additionally is complicated by the presence of a large cottonwood tree and pedestrian access are reasons enough to consider this to address a hardship to the applicant or injury to public welfare and the last criteria is to strengthen the heterogeneous character of the city by providing a full range of design options. The context of the reason for the request is the function of the property for this accommodation will add to the character of the city by supporting a thoughtful redesign and unification of the two properties.

With that she moved to approve the demolition of the 21 feet of picket fence in front of the Otero House. The motion was seconded by Member Valdo.

The motion passed by (3-0) roll call vote with Members Valdo, Biedscheid, Mather, and, voting in favor and none voting against.

In Case No. 2023-007411-HDRB. 135 Grant Ave., Member Biedscheid moved to approve the demolition of the stucco wall at the south end of the property. She went through the demolition criteria and the exception criteria to document a different conclusion than what is documented in the staff report. With respect to the demolition criteria, whether the structure is of historical importance, while the wall is designated as contributing, it is not historic material and its association with the former grocery store is not of historical importance. With respect to whether or not the structure is an essential part of the streetscape, as testimony from the applicant supports the east/west orientation of the wall contributes very little to Grant or Sheridan, so it is not an essential part of the streetscape and the state of repair is not relevant. It is of structural stability but that is not a relevant consideration in this case. With respect to the exception criteria, damage to the character of this to the district, removal of the wall will enhance the character of the district. It's not an attractive feature. It does not support character definition that we want to retain the CMU brick wall. With respect to

hardship, again unifying the two previously separate properties, providing a sensitive unification related to the functioning of the two together will be supported by demolition of the wall and with respect to strengthening the heterogeneous character of the district by considering full design options, again the new museum building can only move forward with the demolition of a wall that allows it to communicate with the other property that is also under the museum organization. There's really no way to unify the properties with the wall intact. She moved to approve the demolition of the stucco wall at 135 Grant Avenue. The motion was seconded by Member Mather.

The motion passed by (3-0) roll call vote with Members Biedscheid, Mather and Valdo voting in favor and none voting against.

Now, the applicant proposes the following exterior alterations:

- 1) Construct a 33-foot tall, one-story building which includes a basement in a stylized northern New Mexico convento style with the entrance of the building on the north side of the building facing the historic Bergere house.
- 2) One window is proposed on the north, east, south, and west elevations.
- 3) The proposed structure will be composed of heavy masses on the north, east, south, and west elevations, which will only be punctuated by entries and windows.
- 4) There will be a metal gate constructed on the Grant Ave streetscape, and a vehicular metal gate at the loading dock entry on the Sheridan Ave streetscape.

#### **STAFF RECOMMENDATION**

Staff does not find that all the exception criteria have been met for 14-5.2(E) Downtown and Eastside Design Standards, 14-5.2(D)(1)(b) "spaces that embody the status", and 14-5.2(D)(9)(e) & (f) scale and floor stepbacks. Staff recommends the applicant revise the design to meet the City of Santa Fe Code of Ordinances and re-submit the application when it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios said this is a Northern New Mexico Style Building.

Mr. Duran said he believes it is a mixture of Taos and Georgia O'Keefe's paintings. The design is incorporating much more mass. Something seen more in the missions and landscape.

Member Guida said in staff presentations he's used to hearing far more facts, not opinion. He saw a lengthy discussion of Mr. Duran's opinion on the status of the picket fence and the walls, etc. He did not see an articulation of what this Board's

previous reception was of the informational presentations from the applicant. He remembers both of those presentations were overwhelmingly well received by this Board.

Member Bienvenu confirmed that there are four exceptions the Board is being asked to consider.

### **APPLICANT PRESENTATION**

Cody Hartley, 217 Johnson, Santa Fe, NM was sworn. He was honored to present the design and continue the conversation that started several years ago. After 27 years of being an integral part of this community, he said they are honored to be on the verge of building a new museum.

Jennifer Jenkins, 130 Grant Avenue, Santa Fe, NM, was sworn. She shared the project timeline.

Devendra Contractor, 924 Shoofly Street, Santa Fe, NM, was sworn. He went over the design objectives and feels the design is complies with the City's Ordinance.

### **PUBLIC HEARING**

Jerry West, 6 Loma Oriente, Santa Fe, NM was sworn in. He spoke in favor of the application and said he was pleased to see this building being constructed with adobe.

Meridel Rubenstein, 2 Loma Oriente, was sworn. She spoke in favor of the application. She is a former O'Keefe scholar. Devendra's vision in the design is exactly what Ms. O'Keefe did with her paintings and it's what she learned from New Mexico style.

Jamie Clemens, 912 Hillcrest Drive, was sworn in. He spoke in favor of the application. He said he is the President and CEO of the Museum of New Mexico. The design is luscious in its simplicity and is a perfect fit for place and purpose.

Joe Simmons, 216 Barela Street, was sworn in. He spoke in support of the proposed design. He said the design meets the spirit, intent and letter of 14-5.2 of the Code. He does not agree with the staff's comments and opinion.

Shawn Evans, 1121 North Luna Circle, was sworn in. He is an architect and principal of Mass Design Group in Santa Fe. He spoke in support of the proposed design. He attended the previous hearings and noted that this project was well

received. The surprisingly hostile staff report reads as if this design is an outrageous modern intrusion.

Glen Erickson, 444 Galisteo, was sworn in. He is the Chapter President of Santa Fe AIA. He spoke in favor of the project. It's an authentic building in a historic district that is something to be very proud of.

Raymond Herrera, 379 Hillside Avenue, was sworn in. He spoke against the application because this building is inappropriate for this location.

Maria Elise, 401 Old Taos Highway, was sworn in. She spoke in support of the design. She said it resonates New Mexico and it's graceful.

James Rutherford, 403 Canyon Road, was sworn in. He said he enthusiastically supported this design.

Theresa Delgado, 128 Grant Avenue, was sworn in. She is a property manager for Buddy and Irene Roybal who own 128 and 130 Grant Avenue. The O'Keefe Museum is their neighbor. She spoke in support of the design. She believes the Museum will revitalize downtown Santa Fe.

Katherine Rivera, PO Box 363, was sworn in. She spoke in favor of the application and applauded the design. Her concern for the building, after it is built, is graffiti.

David Vogal, 401 Old Taos Highway, was sworn in. He said he had a deep appreciation for this project and its positive influence on Santa Fe. He supports the design.

Dana Heartstone, 8 Laurel Place, was sworn in. She said she taught design for about 27 years and one of the concepts that she loves the most is the idea of the elegance of simplicity. This design is the epitome of the elegance of simplicity, and it is so because of the way mass is used. She encouraged the Board to approve the project.

Richard Martinez, previously sworn, said he wasn't surprised with staff's recommendation. The aim of the Santa Fe Historic Code is to create harmony with the buildings that are nearby. Staff is charged with the literal interpretation of that Code. He fully supports the design of the museum.

Gayla Bechtol, 320 Aztec Street, was sworn in. She spoke in favor of the project. She said it's very evocative of our time and the controversies that we face in our world.

John Eddy, previously sworn, applauded Mr. Herrera for speaking the truth. He also appreciated all the articulation of the audience. He said the Board is tasked with reconciling Code and romance. He doesn't think the building is compliant with Code.

Joe Miguel DeSilva, 931 Shoefly, was sworn in. He said he was not sure what all the hubbub is about. He said we are lucky to have Devendra and Santa Fe will be lucky to have another one of his buildings.

Jamie Blosser, 1803 Montoya Road, was sworn in. She expressed her concern with staff's interpretation. She disagrees with comments about massing and scale. She commended the architect and the O'Keefe Board. As a public building, she's enthralled that this earthen architecture can bring us back. She thanked the Board for approving this important landmark.

John Utton, 675 Alto Street and 128 Grant Street, was sworn in. He wholeheartedly endorsed the beautiful structure.

Kristin Fox, 2 East San Marcos Road, previously sworn, spoke in support of the design. It is respectful of the surrounding buildings.

Stefanie Beninato, previously sworn, said she agrees with staff, Mr. Herrera and John Eddy that there are problems with the mass. She doesn't think it's harmonious with the streetscape.

Chair Rios thanked everyone for coming and expressing their opinions.

#### **BOARD DISCUSSION/ACTION:**

Member Guida said several of the exceptions that staff is asking the Board to consider may no longer be valid. One exception is district standards and style; another is loss of status, which he didn't believe is valid; then there's one on scale, which is one of those subordinate ones which he didn't think is valid; and setbacks. The remaining debate would be whether this project requires a style exception.

Member Bienvenu said the second, third and fourth exceptions are not required. The first exception is a closer call. Some of these issues are just subjective design responses as opposed to something that really violates the direct requirements of the Ordinance. The exception criteria should be addressed in the motion.

Member Biedscheid said with respect to the first design standards exception she couldn't pinpoint the problem other than to maybe say it's not harmonious which is something that is used both ways in these discussions. It's up to the Board to make

the decision. The Board could say it doesn't find this disharmonious and that an exception is not required.

Member Bienvenu said generally it's accurate to say there's nothing specific, other than general harmony. An exception would not be necessary.

**MOTION:** In Case 2023-007222-HDRB, 123 & 135 Grant Ave., Member Guida moved to approve the project as submitted, clarifying that the Board has found that no exceptions are required to approve this project and that the project, in terms of its design, is generally harmonious with District standards.

Member Biedscheid seconded the motion but added that the Board should clarify for the record why the Board disagrees with the need for exceptions in this case. Maybe not in terms of each criterion but at least each exception in general terms with the testimony that's been provided tonight and the applicants responses.

Member Guida amended his motion to include the following: In terms of the potential exceptions that were cited by staff, the first one was non-compliance with district standards. The discussion and presentations have satisfied the Board. Battered parapets are within the district standards and there is no cantilever in the design of the project. The articulation of masses generally is within the letter of the district standards. On the loss of status of the Otero-Berjere House, the Board finds that there is no loss of status in the design. There's also no requirement for matching of the style of the streetscape or of the building having to be a territorial style. On the other two exception criteria, scale and setbacks, generally those were dependent on the idea that the building was not compliant with district standards. It is, as the Board has determined on scale, it is harmonious with the streetscape. In terms of height and massing, it is well below the maximum allowable height. On the issue of setbacks that is a determination that the Board may make. The Board has determined that is not necessary.

Member Biedscheid seconded the modified motion.

Member Bienvenu requested a couple of potential additions. He asked if it could be added that Board made these findings, but they are specific to the project being presented and to the fact that this is a monumental public building devoted to a specific artist and that's part of the consideration. The Board wants to avoid setting a precedent for every single building that could come before the Board in the future. The

second friendly amendment would be that the metal gates be in the style like the existing gates of the current Georgia O’Keefe Museum, as was indicated by the applicant.

Member Guida accepted the friendly amendments.

**VOTE:** The motion passed by (5-0) roll call vote with Members Guida, Mather, Valdo, Biedscheid and Bienvenu voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=9hmWBh8ejnY> (1:21:20 – 4:34:40)

- h. **2023-007676-HDRB. 410 Camino Cabra.** Downtown and Eastside Historic District. Non-Contributing. Gayla Bechtol Architect, agent for Stephanie Fine, owner, requests a historic status review with primary facade(s) designation for a residential structure. (Lani McCulley)

### **BACKGROUND AND SUMMARY**

The residence at 410 Camino Cabra is a pre-1948 single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. It is known as the Alfredo and Juanita Carrillo House. The residence is an 876 sq. ft. square with a very pronounced 400 sq. ft. portal along the publicly visible, south and east elevations. The portal is 6’6” deep with wood posts supporting it, the roof is supported with vigas and holds a stuccoed parapet, and the flooring is concrete. The residence is flat roofed with earthtone cementitious stucco and is built concrete blocks.

The southern elevation has had all fenestrations altered in 1989 as part of case #H-89-124. This approval included the removal of the southern porch, construction of the portal in its’ current configuration, and the replacement of windows and doors.

The east elevation is fenestrated with windows indicative of the 1940s and ‘50s. These start at the south end, with a 3/1 wood sash, a non-historic wood door at the north serving as the formal entry to the home, and a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom.

The north elevation has minimal fenestration, consisting of a fixed wood window and an aluminum sliding unit.

The west elevation has a gutter along the roof to direct water away from the elevation as the structure meets the base of the hill along this side. The north end holds an older inswing wood casement window. The south end steps back 15” and has a standard steel combination window.

Stuccoed yard walls define the property's north and east edges. The northern wall holds a blue entry gate. A recent coyote fence traces the west property line. These walls and gates are part of the HDRB case H-04-064 and are not historic.

Of interest is a surviving section of Acequia de los Lopez, which runs along the north side of the property.

The property was owned by Francisco Roybal. The Carrillo's resided with Mr. Roybal on the property. In 1988, the property was inherited by Vicente Apodaca, Juanita's son from her first marriage. Vicente split the lot, previously addressed 1172 Camino San Acacio and readdressed the resulting lots as 410 and 412 Camino Cabra in 1985. Currently, the applicant requests confirmation of the status of the residential structure and they have provided a current HCPI from John Murphy. Mr. Murphy's review of the property indicates that he believes the residence should be designated as non-contributing. Reviewing the HCPI and the Historic Preservation Division files, staff agree with this assessment because the residence has had several non-historic alterations which have changed the original structure so that it no longer exists.

#### **STAFF RECOMMENDATION**

Staff recommends the historic status of the structure be retained as non-contributing, due to the 1990's non-contributing portal which obscures the visibility of the structure per 14-5.2(C) Designation of Significant and Contributing Structures.

Chair Rios asked if staff is indicating that the footprint of this building has changed significantly from the time it was built.

Ms. McCulley said not so much the footprint as the exterior fenestration and the portal that obscures it.

Chair Rios confirmed that has given it a different appearance.

Ms. McCulley said on the HCPI that John Murphy filled in, it looks like that southern portion, which is now enclosed, it used to be a porch but it looks like an enclosed porch area.

#### **APPLICANT PRESENTATION**

Gayla Bechtol, previously sworn, said the southern portal was enclosed after 1978, it appears it might have been part of the 1989 addition. She had nothing more to add.

## **PUBLIC HEARING**

There were no public comments.

## **BOARD DISCUSSION/ACTION**

**MOTION:** In Case 2023-007676-HDRB, 410 Camino Cabra, Member Biedscheid moved to designate the property as noncontributing, per staff's recommendation, because the structure is non-contributing as well as the yard walls and entry gate,. The motion was seconded by Member Guida

**VOTE:** The motion passed by (5-0) roll call vote with Members Mather, Valdo, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=9hmWBh8ejnY> (4:34:40 – 4:44:10)

- i. **2023-007675-HDRB. 918-D Acequia Madre.** Downtown and Eastside Historic District. Richard Martinez, agent for Chris Richter and Todd Davis, owners, requests addition of 2,557 sq. ft. addition on a contributing property. An exception is requested to Section 14-5.2(D)(2) (d) exceed 50% of the existing dimension of the primary facade and exceeding 50% of the original footprint. (Ramón J. Sarason)

## **POSTPONED PER APPLICANT REQUEST**

### **9. DISCUSSION ITEMS**

Attorney Ruybalid talked about Isaac Hamilton, a noted architect from his hometown of Trinidad, Colorado. He designed the front of the La Fonda Hotel and the New Mexico Museum of Art. He designed a building called the Temple Aaron in Trinidad. It's in remarkably good historic condition. Mr. Ruybalid is a long-standing member of the Friends of Historic Trinidad which supports the Trinidad Historical Society which has worked diligently to get that building on the National Register of Historic Places. Last month we received the delightful news that the Department of the Interior Historic Preservation Division has placed the Temple Aaron on the National Register of Historic Places.

## 10. MATTERS FROM THE BOARD

Member Biedscheid asked to follow up on appointing Board members to serve on the Committee related to the Don Gaspar State buildings. She wanted to know what decision causes that committee to go into effect.

Ms. Lamboy explained the one decision is if the Board does not find the design of the building acceptable. Generally, the standards are a little bit different for state capital outlay projects. It mostly talks about harmony and streetscape. It's possible that the Board may be able to handle this like the New Mexico School for the Arts. In that case a committee did not need to be established.

Member Guida nominated Member Biedscheid and Chair Rios nominated Member Bienvenu to be on the Committee if one is needed.

Member Biedscheid asked if the Board needs to do something about status on the Plaza that David Rasch brought up.

Ms. Lamboy said the Plaza is statused as a National Historic Landmark. She'll leave it up to the Board to determine whether it's considered important for the local jurisdiction to status it as well. She believes that the landmark status covers a lot of it.

Chair Rios asked how far does landmark status go in terms of the Board's jurisdiction.

Attorney Ruybalid said he will clarify that with Erin McSherry and report back to the Board.

Ms. Lamboy said the standards have some components of preservation.

Member Bienvenu asked about the monument, he said the Board can status structures not sites. His recollection is that the City Attorney's position was that only structures come before us. Her opinion was the monument was not a structure.

Ms. McCulley said in the past the Board has assigned status to bridges, cobblestones and significant trail markers.

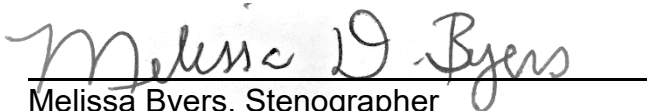
## 11. NEXT MEETING: Tuesday, January 23, 2024

## 12. ADJOURNMENT

**Motion:** Member Guida moved to adjourn the meeting at 10:37 pm. The motion was seconded by Member Biedscheid.

**Vote:** The motion passed by (5-0) roll call vote with Members Valdo, Biedscheid, Bienvenu, Guida and Mather, voting in favor and none voting against.

Submitted by:



Melissa Byers, Stenographer  
For Byers Organizational Support Services

Approved by:

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Cecilia Rios, Chair

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7525-HDRB**

**Address** – 913½ Acequia Madre

**Agent’s Name** – Richard Martinez

**Owner/Applicant’s Name** – Jay Morton of the Morton Phillips Trust

THIS MATTER, an application for status review, came before the Historic Districts Review Board (“Board”) for hearings on November 28, 2023, and January 9, 2024.

**BACKGROUND**

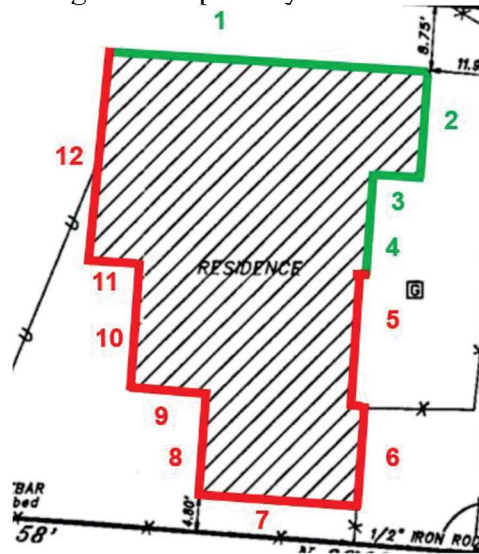
913½ Acequia Madre is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The Applicant requested the HDRB to review the structure’s historic status and to designate primary façades, if applicable. The Board first heard this matter and cast votes in a regularly scheduled meeting November 28, 2023. The Board voted in a regularly scheduled meeting December 12, 2023, to reconsider the application for status review. The reconsideration and a second vote took place January 9, 2024.

The structure, which totaled 1,702 square feet, was built in 1940 on a 0.10-acre lot. The primary architectural design is Spanish-Pueblo Revival style with an accretionary, vernacular construction, which includes adobe and concrete block for construction materials, a flat shed roof, and wood three-over-one windows. The structure has undergone an evolution of construction and additions throughout time. The original core of the structure is the north and northeastern façades, which embody the integrity of the Historic Districts standards as seen through the adobe wall construction and recessed three-over-one, wood-framed windows. These two façades are being recommended as primary.

The portal over the eastern façade entryway is most likely the first addition to the structure around the 1950s. As construction continued, additions were made to the southern façade, adding another room and garage by the 1970s. The clear and distinct evolution of the property can be observed through the construction material and design of the structure. John Murphey’s 2023 Historic Cultural Properties Inventory states, “the oldest portion of the house, the adobe, east-west Bedroom Wing at the north, is at least 80 years old. Its plain east and north elevations show original windows and reveal mostly an unaltered exterior appearance. To this were attached several additions, the most recent from c.1976, connecting the older home to a once free-standing garage. The composite development of the building gives it a ranch house appearance.”

Noting that the original massing of the house remains largely unaltered, and that some additions since its original construction in the 1940s were made more than 50 years ago and have acquired a historic significance in their own right, the Staff recommends a finding that the structure is contributing to the Downtown and Eastside Historic District. The Staff recommends that the unaltered sections of the house, which are the north and northeastern façades (1 through

4 on the attached diagram), be designated as primary:



### FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the application.
2. Historic Preservation Division Staff Recommendation: Staff recommended that the Board upgrade the historic status of the structure to contributing, with the north and northeastern façades, as identified on the façade diagram 1 through 4, be designated as primary, per SFCC Sections 14-5.2(C), Designation of Significant and Contributing Structures, and 14-5.2(E), Downtown and Eastside Design Standards.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately 50 years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the

- building’s architecture.
8. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
  9. In the Board’s regularly scheduled meeting on November 28, 2023, Board Member Amanda Mather moved to designate the structure “contributing,” voting in the affirmative on the motion, which passed by a vote of 2 to 1.
  10. In the Board’s regularly scheduled meeting on December 12, 2023, Member Mather moved for reconsideration of the Nov. 28 motion, and the Board voted 6 to 0 to reconsider the motion to designate the structure contributing.
  11. The Staff placed the application for status review on the regularly published Agenda for the Board meeting on January 9, 2024.
  12. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing January 9, 2024, the Board again finds that the structure meets the definition of a “contributing structure,” as recommended by the Staff.
  13. The Board finds that the north and northeastern façades are the primary elevations of the structure, façades 1 through 4 on the attached façade diagram, with the features that define the character of the structure’s architecture. The north and northeastern façades maintain the core integrity of the structure as seen through their originality, adobe construction material, and recessed three-over-one, wood-framed windows.
  14. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

### **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board upgrades the status of the structure to contributing.
4. The Board designates the following elevations of the main house as the primary façades: north and northeastern.

**IT IS SO ORDERED ON THIS 23rd DAY of JANUARY, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geralyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

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Frank Ruybalid  
Assistant City Attorney

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Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7676-HDRB**

**Address** – 410 Camino Cabra

**Agent’s Name** – Gayla Bechtol Architect, LLC

**Owner/Applicant’s Name** – Stephanie Fine

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 9, 2024.

**BACKGROUND**

The residence at 410 Camino Cabra is a pre-1948, single-family Spanish-Pueblo Revival style residence listed as non-contributing to the Downtown and Eastside Historic District. It is known as the Alfredo and Juanita Carrillo House. The residence is an 876-square-foot square with a very pronounced 400-square-foot portal along the publicly visible south and east elevations. The portal is 6’6” deep with wood posts supporting it, the roof is supported with vigas and holds a stuccoed parapet, and the flooring is concrete. The residence is flat roofed with earth-tone cementitious stucco and is built of concrete blocks. A surviving section of Acequia de los Lopez runs along the north side of the property.

The east elevation is fenestrated with windows indicative of the 1940s and ’50s. These start at the south end, with a three-over-one wood sash, a non-historic wood door at the north serving as the formal entry to the home, and a stock, steel combination window made of two casements, bracketing a fixed light topped with a transom. The north elevation has minimal fenestration, consisting of a fixed, wood window and an aluminum sliding unit. The west elevation has a gutter along the roof to direct water away from the elevation, as the structure meets the base of the hill along this side. The north end holds an older in-swing wood casement window. The south end steps back 15 inches and has a standard steel combination window.

The southern elevation has had all fenestrations altered in 1989 as part of Case # H-89-124. This approval included the removal of the southern porch, construction of the portal in its current configuration, and the replacement of windows and doors. Stuccoed yard walls define the property’s north and east edges. The northern wall holds a blue entry gate. A recent coyote fence traces the west property line. These walls and gates were approved in HDRB Case # H-04-064 and are not historic.

Currently, the applicant requests confirmation of the status of the residential structure, and they have provided a current HCPI from John W. Murphey. Mr. Murphey’s review of the property indicates that he believes the residence should be designated non-contributing. Reviewing the HCPI and the Historic Preservation Division files, the Staff agrees with this assessment because the residence has had several non-historic alterations which have changed the original structure so that its historic integrity is lost.

## **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be maintained as non-contributing, due to the 1990’s non-contributing portal which obscures the visibility of the structure per SFCC Sections 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “non-contributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “non-contributing structure,” as recommended by Staff. The Board finds that the historic integrity of the house has been lost due to substantial non-historic alterations.
11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

## **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation  
Case # 2023-7676-HDRB

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board maintains the historic status of the residence, including its yard walls and entry gate, as non-contributing.

**IT IS SO ORDERED ON THIS 23rd DAY of JANUARY, 2024, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning and Land Use

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**2024-007741-HDRB.** 145 Washington Ave. Downtown and Eastside Historic District. Contributing. Nicole A. Ramirez Thomas, agent for the City of Santa Fe, owner, requests status review and designation of primary elevations for the Santa Fe Main Library. (Heather Lamboy, [hllamboy@santafenm.gov](mailto:hllamboy@santafenm.gov))

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Façade diagram

### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

## **STAFF RECOMMENDATION:**

Staff recommends the historic status of the structure remain contributing, per 14-5.2(C) Designation of Significant and Contributing Structures and that façades 1, 2, 4, 5, 6, 7, 8, and 9 (all from the 1937 portions of the building) be designated as primary façades.

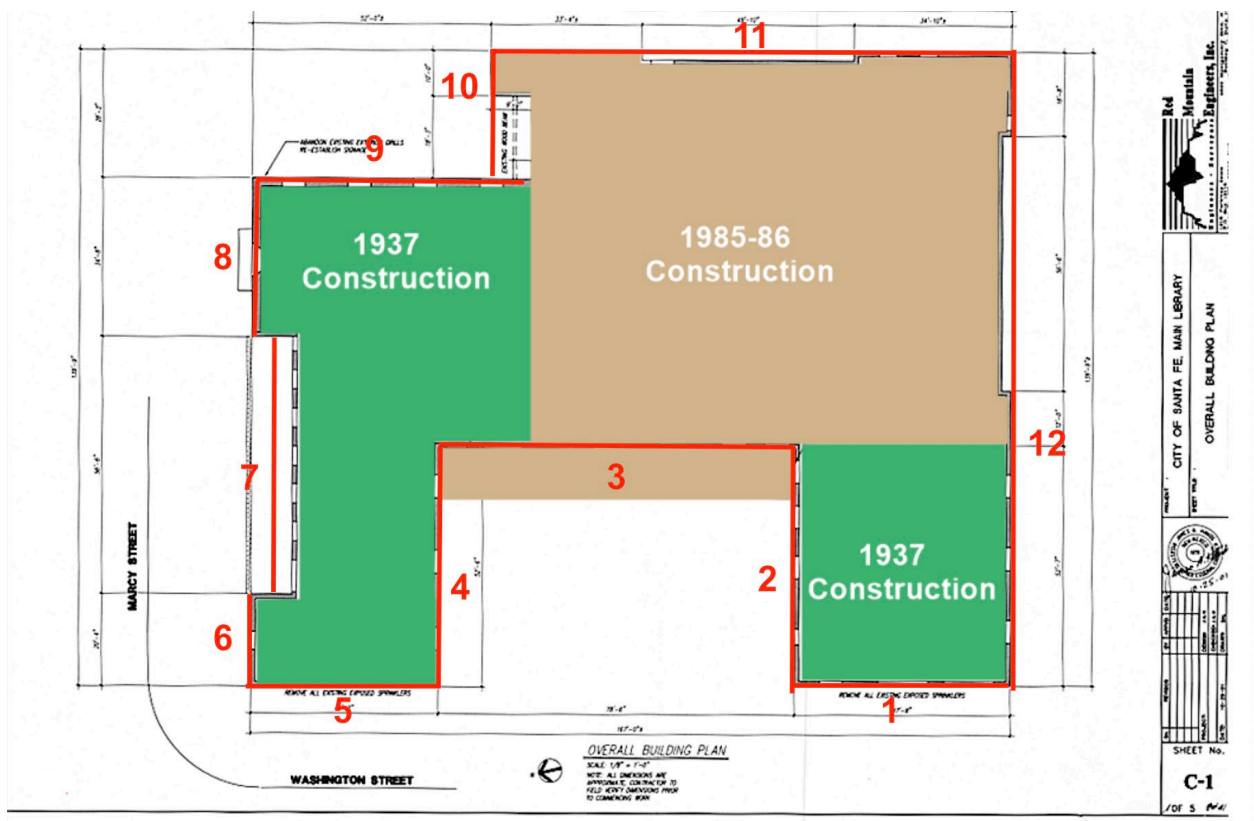
## **BACKGROUND & SUMMARY:**

The building at 145 Washington Avenue is the Santa Fe Main Public Library and is a contributing historic structure in the Downtown and Eastside Historic District. Prior to becoming the main library, the building was the location of the former City Hall and other government offices. It was designed by John Gaw Meem and was intended to house all of the City's government offices. The construction of the building was completed in 1937 with the use of New

Deal Public Works Administration grant money. By 1977, the City had outgrown the municipal building and City Hall moved to its current location at 200 Lincoln Avenue and other departments and divisions of the City moved to other locations across the city. After 1977 the building served as the Joseph Berardinelli Municipal Court Building until sometime in the early 1980s. After a significant renovation the building was re-opened in 1987 as the Main Library. A detailed HCPI form is provided for the Board’s review.

The building is 33,000 square foot, U-shaped building It retains two main masses from original building, though some of the historic material has been replaced over time. While fenestration and materials for replacement have changed a little since the original construction and a large addition was added to the center of the building remodel in the 1980s, the building retains its form and feel. It is distinctively Territorial Revival in its style, with the windows and doors exhibiting pediments and surrounds, the exterior walls have sharp corners, white beams and posts at the portals, the exterior is stucco, and brick coping caps the parapets. On the west elevation, the U-shape form is intact, and the style of the remodeled portions are sensitive to the building. The east and south elevations are the most impacted by the 1980s remodel. As examples of the retention of the historic character, the southwest corner retains the large opening of the fire apparatus although this is now windows rather than a garage door for a fire engine, and the north elevation retains the original City Council Chamber door. Overall, the building maintains its form and rhythm at the two 1937 masses.

Façade Diagram



## **RELEVANT CODE CITATIONS:**

### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

#### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

#### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

Attachment B  
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

43540

building threatened? yes	surveyed date <u>11/20/85</u> by <u>HMW</u>	county <u>SANTA FE</u>	ID no. <u>051610422</u>
field map <u>SFHD #1</u>	number <u>422</u>	UTM reference zone <u>12</u> easting <u>13</u> northing	
location description		city/town <u>SANTA FE</u>	
<u>145 135 (?) WASHINGTON.</u>		<del>land grant/reservation</del>	
<u>SE CORNER @ ALLEY</u>			
building name <u>BERARDINELLI BLDG (85) MUNICIPAL BLDG 1936</u>		legal description tnsp <u>   </u> N S range <u>   </u> E W sec <u>   </u> <u>   </u> <u>   </u>	
film roll by HMW no. <u>SFHD 16</u>	negative nos. <u>24</u>	loc. of neg. <u>HPB</u>	plan shape ..... ..... ..... ..... ..... ..... ..... ..... ..... .....



date of construction <u>1936 - 1937</u>	estimate <u>   </u> actual <u>   </u>
source <u>BUNTING - SANBORNS.</u>	
use present <u>   </u> residential	other <u>UNDER CONVERSION TO LIBRARY</u>
historic <u>   </u> residential	other <u>MUNICIPAL OFFICES.</u>
condition <input checked="" type="checkbox"/> excellent <u>   </u> good <u>   </u> fair <u>   </u> deteriorating	

architectural features	wall material/surface <u>stucco</u>
<u>flat roof with brick parapet, 20/20 and 12/12 DHWS</u> <u>w/pedimented lintels or flat cornices, wood doors</u> <u>w/pedimented lintels or sidelights &amp; transoms,</u> <u>portals on W-balustrade upper level, chamfered</u> <u>posts; window walls on ground floor E&amp;S</u> <u>are additions; multi-light wdws over wood</u> <u>wainscot on S end of W</u> <u>facade replace original</u> <u>garage doors.</u>	
comments <u>JGM, 1937</u>	

degree of remodeling <u>DWB</u>	<input checked="" type="checkbox"/> minor <input checked="" type="checkbox"/> moderate <input checked="" type="checkbox"/> major
describe:	
surroundings <u>COMMERCIAL stet</u>	
relationship to surroundings <input checked="" type="checkbox"/> similar <u>   </u> not similar	
district potential <u>   </u> yes <u>   </u> no	
significance <u>   </u> eligible <u>   </u> of <input checked="" type="checkbox"/> none	
if eligible, interest why? <u>NC-ALTER.</u>	<u>CONTRIBUTING</u>
associated buildings? <u>   </u> yes	what type?
if inventoried, list ID nos.	
see back? <u>   </u> yes	

Attachment B  
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H3540

building threatened? yes	surveyed date 11/20/85 by HMW	county <b>SANTA FE</b>	ID no. <b>051610422</b>
field map <b>SFHD #1</b>	number <b>422</b>	UTM reference easting northing zone 12 13	
location description <b>135 (?) WASHINGTON.</b> <b>SE CORNER @ ALLEY</b>		city/town <b>SANTA FE</b>	<del>land grant/reservation</del>
building name <b>BERARDINELLI BLDG (B5) MUNICIPAL BLDG 1936</b>	legal description tnsp <u>  </u> N S range <u>  </u> E W sec <u>  </u> <u>  </u> <u>  </u>		
film roll by HMW no. <b>SFHD 16</b>	negative nos. <b>24</b>	loc. of neg. <b>HPB</b>	plan shape ..... ..... ..... ..... ..... ..... ..... ..... ..... .....



date of construction  
**1936 - 1937**  
estimate    actual   

source  
**BUNTING - SANBORNS.**

use  
present residential  
other **UNDER CONVERSION TO LIBRARY**

historic residential  
other **MUNICIPAL OFFICES.**

condition  
 excellent    good  
   fair    deteriorating

degree of remodeling  
 minor    moderate  major  
describe:

surroundings  
**COMMERCIAL**

relationship to surroundings  
 similar    not similar

district potential  
   yes    no

significance  
   eligible    of  none  
interest  
if eligible, why? **NC ALTER.**

associated buildings?    yes  
what type?

if inventoried, list ID nos.

see back?    yes

.....

wall material/surface

architectural features

.....

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comments  
**JGM, 1937**

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# City of Santa Fe, New Mexico

## memo

**DATE:** August 17, 1992  
**TO:** Historic Design Review Board  
**FROM:** Mary Grzeskowiak, Urban Design Review Specialist  
**SUBJECT:** 145 Washington (City Library)

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Staff consultant conducted a site visit and performed research into archival materials to discover any additional information regarding the structure which is currently considered non-contributing on the City's Historic District Status Map.

This large Territorial Revival style municipal building has a flat roof with brick parapet. It varies from one to two stories and is basically U-shaped. Walls are stuccoed. Windows are typically 20-over-20 or 12-over-12 double hung wood with pedimented lintels or with simple flat cornices. Doors also have pedimented lintels and some have sidelights and transoms.

The main (west) elevation features a double-height portal with chamfered, simply detailed posts at both levels. The upper level features a wood balustrade.

This portal treatment is repeated along the east side of the building. However, at the lower level the portal is closed with a "window wall" with painted metal mullions of clearly modern vintage. This same window treatment is repeated on the south facade.

The building, now the Santa Fe public library, was designed as a municipal building by John Gaw Meem in 1936. Drawings from the architect's collection dated November 1936 are contained in the Meem Collection at the University of New Mexico library. Comparison of the building with these drawings shows that much of the building remains as originally designed, with a major addition on the east and a smaller one on the south. Specifically, the comparison is as follows:

Historic Design Review Board  
August 17, 1992  
Re: 145 Washington  
Page 2

**West (front) facade:** building appears as originally drawn with the exception that two large wood garage doors on the south end of this facade, in the portion of the building that was previously a fire station, have been replaced with windows over a wood wainscot. Visually, the size of the historic vehicular openings has been maintained through a compatible infill design.

**North facade:** as originally drawn.

**East facade:** the northern portion of this facade appears as originally drawn. However, an addition marks the southern two thirds of this facade. The addition is a one-story glass vestibule with framing, and a second-story stucco office addition. Above the vestibule is a second-story portal with the same balustrade detail as that on the main facade. Behind this portal, the windows and wall may be the original. The Sanborn Insurance map confirms that this portion of the building was added sometime after 1949. An aerial photograph from 1960 indicates that the addition took place after the photo was taken, that is, after 1960.

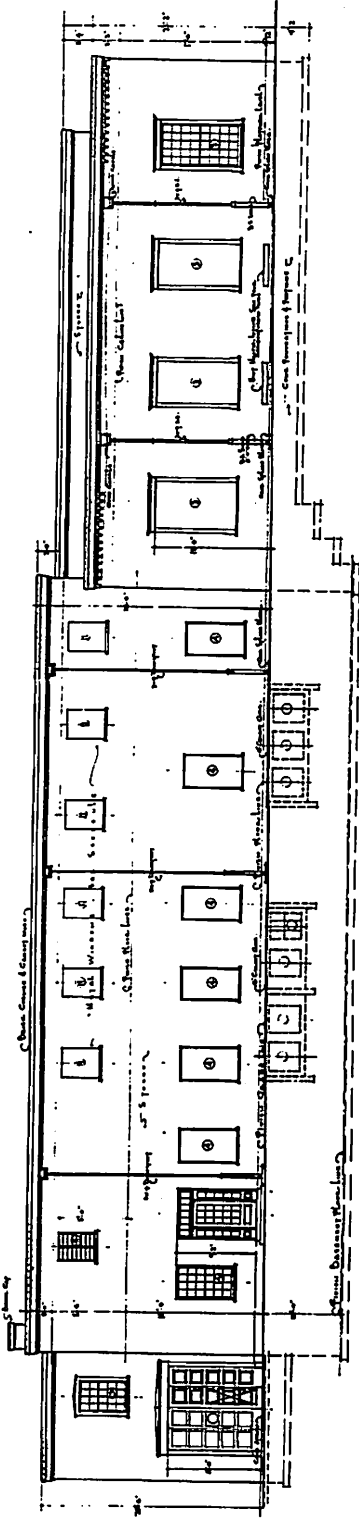
**South facade:** the western portion of this facade is as originally drawn. This section of the building was once a single-story fire station connected to the main building by the portales along the main west facade. An infill addition closed the south ends of the portales and created a glass vestibule similar to that on the east of the building. Also like the east side, what may be the original wall and windows are visible above the addition. The Sanborn Map indicates that this change was also made after 1949. The aerial photograph indicates that this addition also took place after 1960.

Although there have been two substantial additions to this building, the locations of the additions and the use of modern materials clearly differentiate the additions while maintaining the integrity of the main facade. The overall presence of historic building fabric and detailing and the presence of two almost unchanged facades on the most public sides of the building

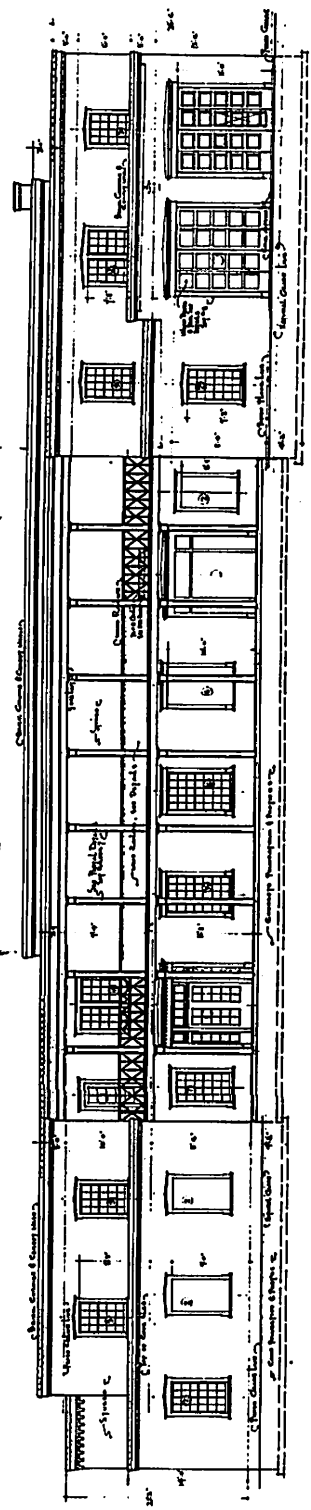
Historic Design Review Board  
Re: 145 Washington  
August 17, 1992  
Page 3

contribute to the integrity of the structure. This is also the work of Santa Fe's best known architect and is an excellent example of his style of building design.

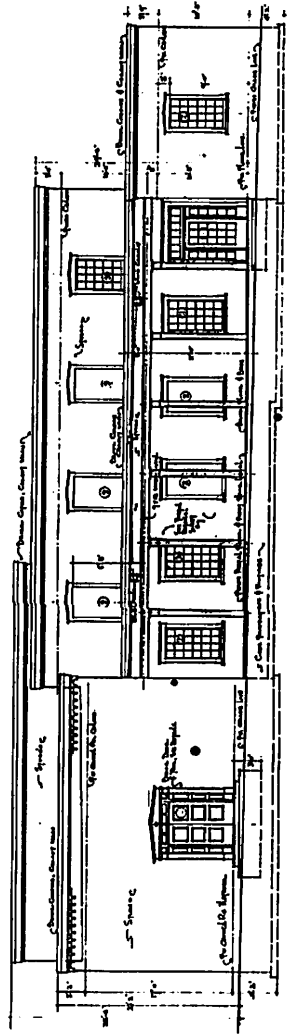
Staff recommends that the Board consider the building contributing in the Core Historic District.



EAST (REAR) ELEVATION · 8'-0"



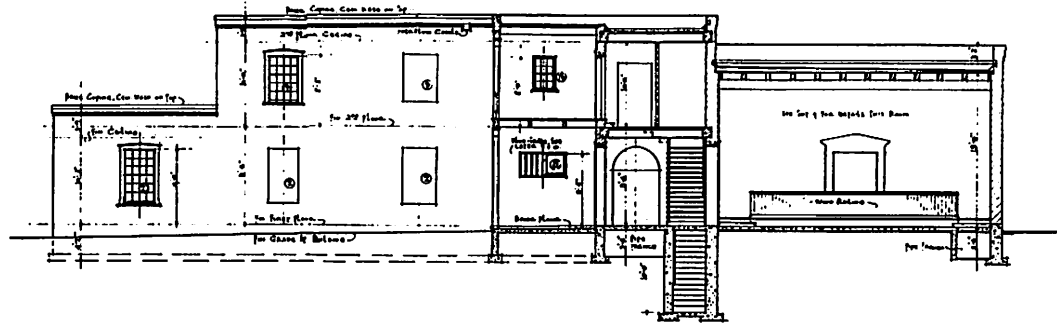
WEST (WASHINGTON ST.) ELEVATION · 8'-0"



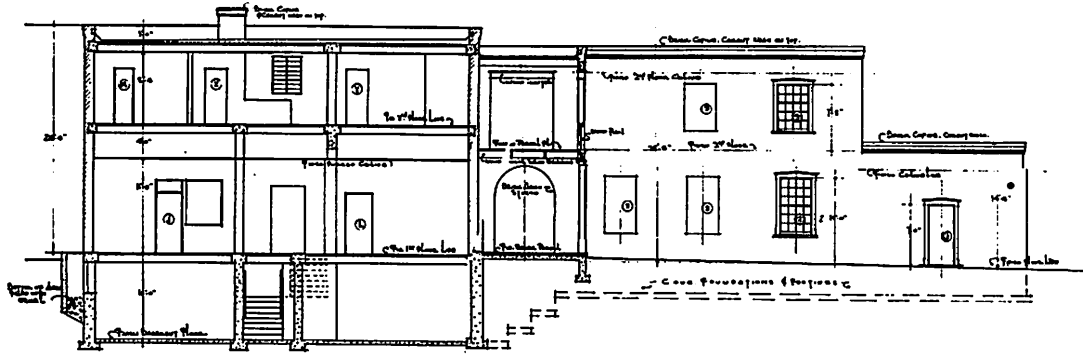
NORTH (MARCY ST.) ELEVATION · 4'-10"

	Drawn by JOHN GAW MEEM ARCHT.	P.W.A. PROJECT NO. 141405-F. D. MUNICIPAL BUILDING FOR THE CITY OF SANTA FE, NEW MEXICO.
	Checked by J. P. ALLI P.E.	JOHN GAW MEEM · ARCHITECT SANTA FE · NEW MEXICO

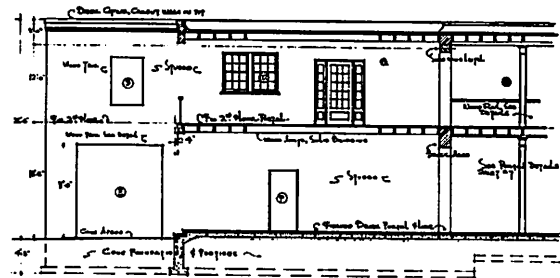
DOOR SCHEDULE			
MARK.	SIZE	TYPE	REMARKS
A	3'0" x 7'0"	1/2 Heavy glass	See Notes & Standard Detail, Sec. 7
B	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, Sec. 7, but with 1/2" P.S.
C	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
D	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
E	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
F	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
G	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
H	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
I	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
J	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
K	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
L	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
M	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
N	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
O	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
P	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
Q	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
R	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
S	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
T	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
U	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
V	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.
W	3'0" x 7'0"	1/2 Heavy glass	Same as Note B, but with 1/2" P.S. & 1/2" P.S.



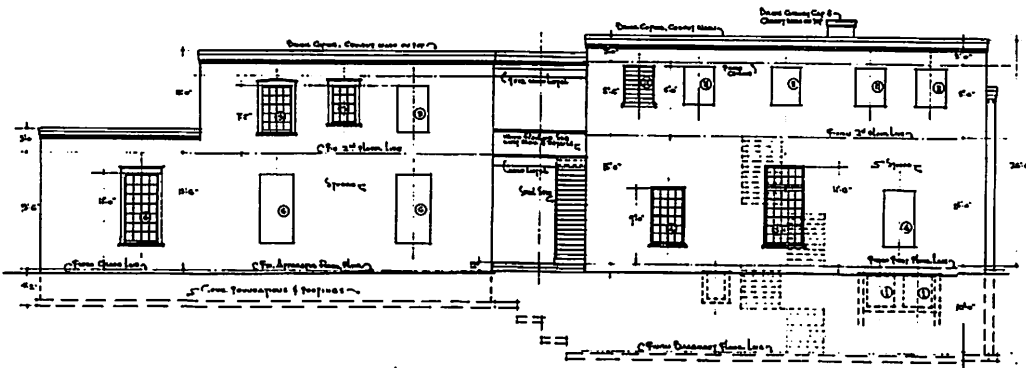
SECTION & ELEVATION ON LINE A-A  
Scale 1/8" = 1'-0"



SECTION & ELEVATION ON LINE B-B 1/8" = 1'-0"



SECTION & ELEVATION ON LINE C-C 1/8" = 1'-0"



SOUTH (NUSBAUM ST.) ELEVATION 1/8" = 1'-0"

	DESIGNED BY	JOHN GAW MEEM	P.W.A. PROJECT NO. N.M. 1035 - D <b>MUNICIPAL BUILDING</b> FOR THE CITY OF SANTA FE, NEW MEXICO. JOHN GAW MEEM, ARCHITECT SANTA FE, NEW MEXICO.	FILE NO.	256
	DRAWN BY	JOHN GAW MEEM		SHEET NO.	6
	CHECKED BY	JOHN GAW MEEM			
	DATE				

## MEEM'S ARCHITECTURAL CAREER

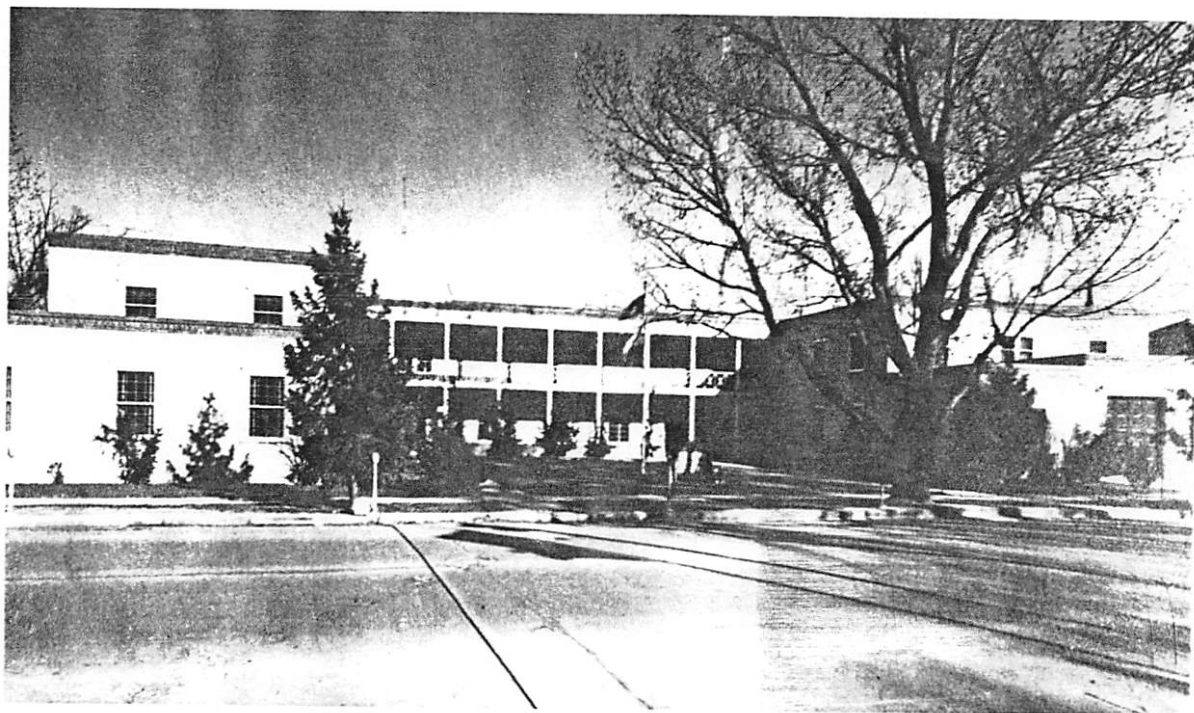


Figure 28. Santa Fe municipal building.

mory at Taos was built of adobe and along with Cristo Rey Church is one of the largest modern structures in the state constructed of that material. From 1939 date two important Santa Fe churches, Cristo Rey (see figs. 100, 101) and the First Presbyterian. Plans were drawn, but supervision of construction was not provided for two more churches, Santa Maria at McCarty's (1932) and Santo Tomas (1934) at Abiquiu (see figs. 91 and 97).

One of the most reassuring client-architect relationships that John Meem enjoyed in this period must have been that with the archbishop of Santa Fe, Rudolph Aloysius Gerken, who had been transferred to the archdiocese in 1933 after serving as bishop of Amarillo. After his

arrival he called Meem for a conference, stating that he had need of an advisor for architectural matters and that he hoped Meem would assist him in that capacity. Of immediate concern was a fair amount of renovation on the bishop's residence, which Meem agreed to attend to while the archbishop was in Rome for several months' stay, but soon there were other matters to consider: plans for churches in Shiprock, Parkview, and Albuquerque and several parochial schools and buildings, done by other architects, about which the archbishop was not confident. Through the years the list expanded to well over twenty projects. On these he wanted Meem's opinion concerning structural and architectural suitability, but as a matter of profes-

## CHAPTER THREE

say that it was Meem who first turned back for inspiration to that nineteenth-century New Mexican fashion. Representatives of this group of Territorial style homes are the Tilney house at 1014 Old Santa Fe Trail (1929; this house is really as much East Coast Late Georgian as it is New Mexican Territorial; fig. 27), Miss Isabel Eccles's charming small house on East de Vargas Street, the John Simms house of 1935 and Robert Nordhaus house of 1937, both on Rio Grande Boulevard in Albuquerque, Meem's own house on the western slope of Monte Sol (1937), the McLane house in Colorado Springs (1932), and two spectacular commissions for Ruth Hanna Simms at Los Poblanos Ranch: the main house (1932) and La Quinta (1935). These buildings along with the above Spanish-Pueblo designs were done under conditions and at a time which can never be duplicated, and they constitute John Meem's most appealing group of buildings.

### THE MIDDLE YEARS

The thirteen-year stretch 1929 through 1941 is what John Meem has called his "flowering or creative" period. The Laboratory of Anthropology and La Fonda established him as the most prominent architect in New Mexico, perhaps in the Southwest, and the firm managed to attract just the right amount of work, that is, enough to hold together an unusually capable and loyal office force of five or six but not so much that the designs had to be rushed or repeated. There were commissions for larger buildings than before, though residential work, including remodelings, still accounted for a substantial proportion of the work that came into the office (26 percent of the jobs listed on the office log for 1929-41 as opposed to 72 percent for 1924-28). Of the twenty new houses designed in this thirteen-year period, eleven

were Territorial and nine Spanish-Pueblo, indicating a growing preference for Territorial from the previous period when that style accounted for only three of the eighteen new houses built.

The increase in the size of the commissions can be accounted for by the fact that there was more institutional work, especially schools. For the most part these schools were private or federally sponsored, as opposed to the big municipal commissions which came later. It included eleven projects (additions included) for the Fountain Valley School in Colorado Springs between 1930 and 1941, two new and several remodeled buildings for the Indian School at Santa Fe (1931-36), a crafts building for Los Alamos Ranch School (1932), six new structures for the Sandia School in Albuquerque (1936-37), gymnasiums for the public school system in Las Vegas and for Western New Mexico University, the administration-library building for Highlands University (1935), and seven structures for the University of New Mexico, including the library and administration buildings. These last two works are among Meem's finest.

From this time also date a number of civic or quasi-civic commissions. In Santa Fe there were the municipal building (1936) (fig. 28), the courthouse (1938) (fig. 29), and the conversion of the Santa Fe Woman's Board of Trade clubhouse into what became the public library (1932). (This library was enlarged once again in the early 1960s by another architect.) In Taos the library-gallery wing of the Harwood Foundation was added in 1936, and for the state museum system he designed the delightful adobe museum at Kuaua (Coronado State Monument) across the Rio Grande from Bernalillo (fig. 30). The office designed armories for the National Guard in Clovis (1931) and Taos (1932) and did two extensive remodelings of the one in Santa Fe (1933, 1938). The ar-

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*First edition*

# JOURNAL NORTH

Anne Hillerman  
Wraps Up 1986

— Page 2

## Community Builds, Decorates, Moves Library

By Don Jones

JOURNAL STAFF WRITER

The Santa Fe Public Library's main branch on Washington Avenue used to be a quiet, slow-paced environment. But these days the place is harried as workers prepare to move — lock, stock and encyclopedia — across the street to a new \$4 million building.

The library has been closed to the public since Christmas Eve while its contents are packed for the first move since the Woman's Board of Trade and Library Association decided in 1907 that the territorial capital needed a free public library.

The city has spent about \$3.8 million renovating and expanding the nearby Berardinelli Building, the former City Hall and police station. Another \$150,000 was provided through individual and corporate donations.

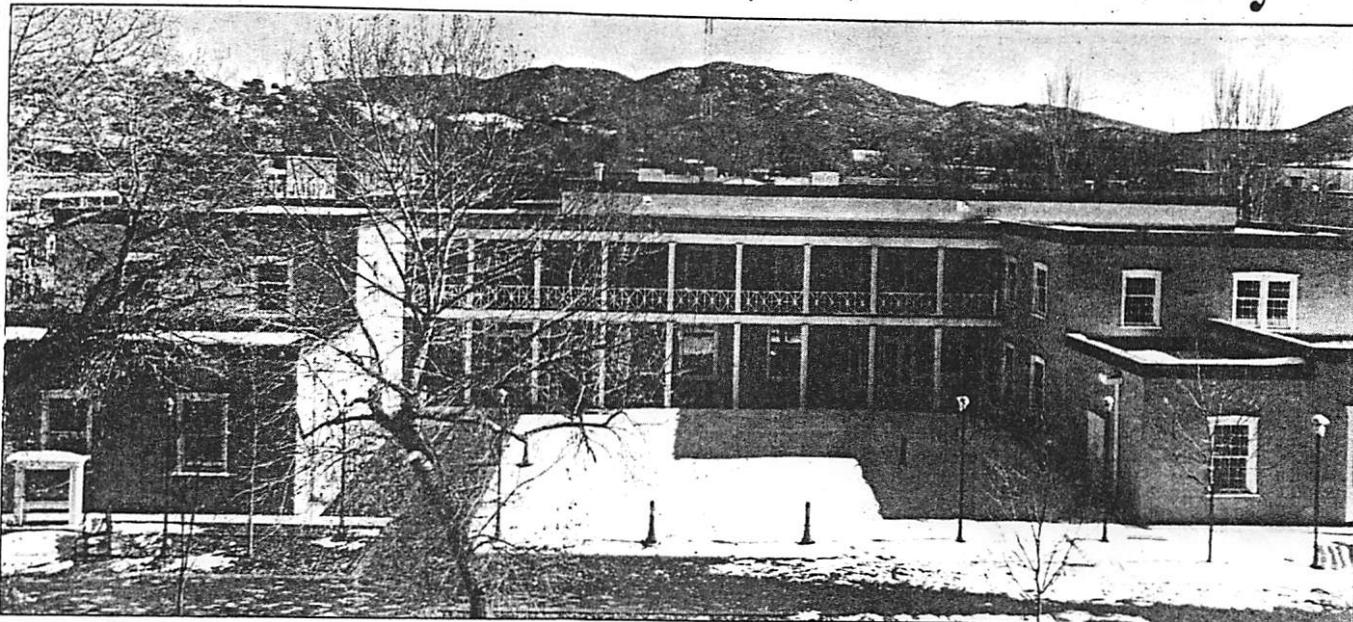
The resulting library will have 6,000 square feet of space, nearly three times the size of the old one.

The original library, built with ornate arched windows in an adobe facade, was renovated in 1932. Much-needed space was added during further renovations in the '60s.

But, said Library Services Director Marcy Litzenberg, "I would venture to say that probably as soon as the addition was added, it became obsolete."

The new facility is designed to last for 100 years. It will easily house the Main Library's collection of 120,000 volumes, including about 15,000 books in the Southwest collection.

To facilitate the transfer of books to the new library, a block-long "book Brigade" is planned Jan. 10.



JOURNAL PHOTO / BARBARAELEN KOCH

The new Santa Fe Public Library, with 36,000 square feet, is designed to meet the city's needs for the next 100 years.

During a four-hour period, Litzenberg hopes to move as many as 20,000 books to the new library.

The library staff did a test a week ago and Litzenberg said moving that many books that quickly is possible. Among those planning to take part in the book-passing brigade are Santa Fe Mayor Sam Pick, City Manager Tom Baca and city councilors, Litzenberg said.

Barring inclement weather, she expects up to 1,000 participants. Washington Avenue will be closed to traffic between Nausbaum and Marcy streets during the move.

A moving company will transport the remainder of the library's books and furniture. If all goes on schedule, the new library will open its doors Jan. 17.

Litzenberg estimated that a quarter of the new library's furnishings have been custom-made by local

craftsmen. Instead of employing one contractor to handle the entire project, library officials opted to involve as many local craftsmen as possible.

Although that might sound costly, Litzenberg said each craftsman has bent over backward to keep prices

down. They also got involved in a competition of sorts, each trying to outdo the other.

"Every person who got part of the contract for the custom work in this

MORE: See LIBRARY on PAGE 6

## Pace of Development Is Growing Issue

By Steve Terrell

JOURNAL STAFF WRITER

If there is an accurate sign of the times for Santa Fe today, the signs are "For Lease." Such announcements can be seen in nearly all

Although neighbors argued there were already too many shopping centers in Santa Fe, the City

Enormous supermarkets are becoming increasingly prevalent in Santa Fe. A California real estate development company last year began talking to the city Code Enforcement Department about plans for a new Safeway "super

## County Impressed With Jail Operation

By Chuck McCutcheon

but a few like Jimenez, left

USGS map - Santa Fe

David Kammer - John Goble

266 - 0586

Charlene Brown 265-6586

Richard Sestich - adv. planning ABQ

City Library - SF

~~Wednesday~~ Thursday 16th 10<sup>30</sup>

Ellen Schwartz  
Mary Ann Anders - partial buildings

Dir of Lib Services  
in SF

State Library

Joanna Werger - director - city  
library

first campaign promise — to wipe out the budget deficit. And it would have the bonus effect of also reducing the heavy threats against world peace that are being honed by the unhappy poking into the affairs of so many peoples of the world."

Austin started playing the tuba in the Santa Fe Concert Band more than two years ago. "I hadn't touched a mouthpiece in 54 years," he said. "It takes time to get back in practice and I don't have as much wind as I

plays concerts throughout the year. Members range in age from 18 to 79. "I'm undoubtedly the oldest," Austin said.

"We're all amateurs who have played somewhere before," Austin said. "It ain't the best band in town, I'm aware, but we all

enjoy it. After three years of study he was ordained.

"I expected to go to Japan as a missionary, but by that time it was 1937. They weren't sending us over there."

The young pastor's first job after seminary was ministering to students at Indiana

University. "I still have a lot of variety,"

When asked to what he attributed his longevity, Austin thought about it for a moment, shrugged and said, "I've always been interested in tomorrow and what I'm going to do."

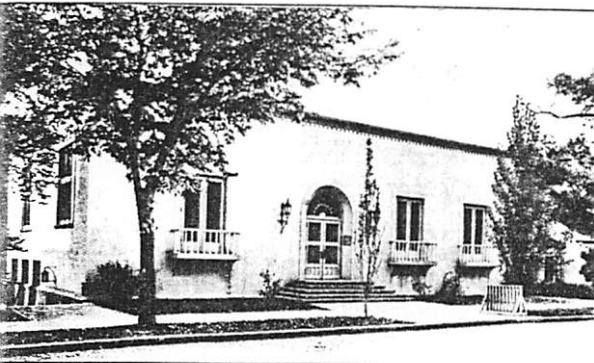


PHOTO COURTESY MUSEUM OF NEW MEXICO, NEGATIVE NO. 91339  
The library after being remodeled in 1932-33.

## Library Ready To Move

CONTINUED FROM PAGE 1

Building had a kind of turning on of creative energy," Litzenberg said.

Above the lobby, where the circulation and reference desks will be located, is a mezzanine and a huge skylight. The mezzanine will be used to exhibit art.

"One of our efforts was to identify what it makes a building have that Santa Fe feeling to it, and put it into this building," Litzenberg said. "So one of the things we've done is to vary the quality of space in the building. We have a great big monumental-looking lobby, and then you'll go to the more personal spaces — lower ceilings, most looking like they're in nooks and crannies."

To the right of the lobby is a long hallway leading to the magazine and periodical room. It will have custom shelving, and every table will have a brass reading lamp. So in that wing of the building will be non-fiction books.

The fiction section and the Southwest collection will be on the other end of the first floor, where the old carved beams of the former city council chambers were removed from the original structure. The council chairs will be upholstered in the new building.

The Benefactors' Gallery is in the stairwell leading to the second floor. On the wall, the ceramic tiles are being decorated with the names of patrons who have donated at least \$100 to the library fund. Litzenberg said there's still room for more donors and she'll gladly take a personal check

from those interested in being immortalized.

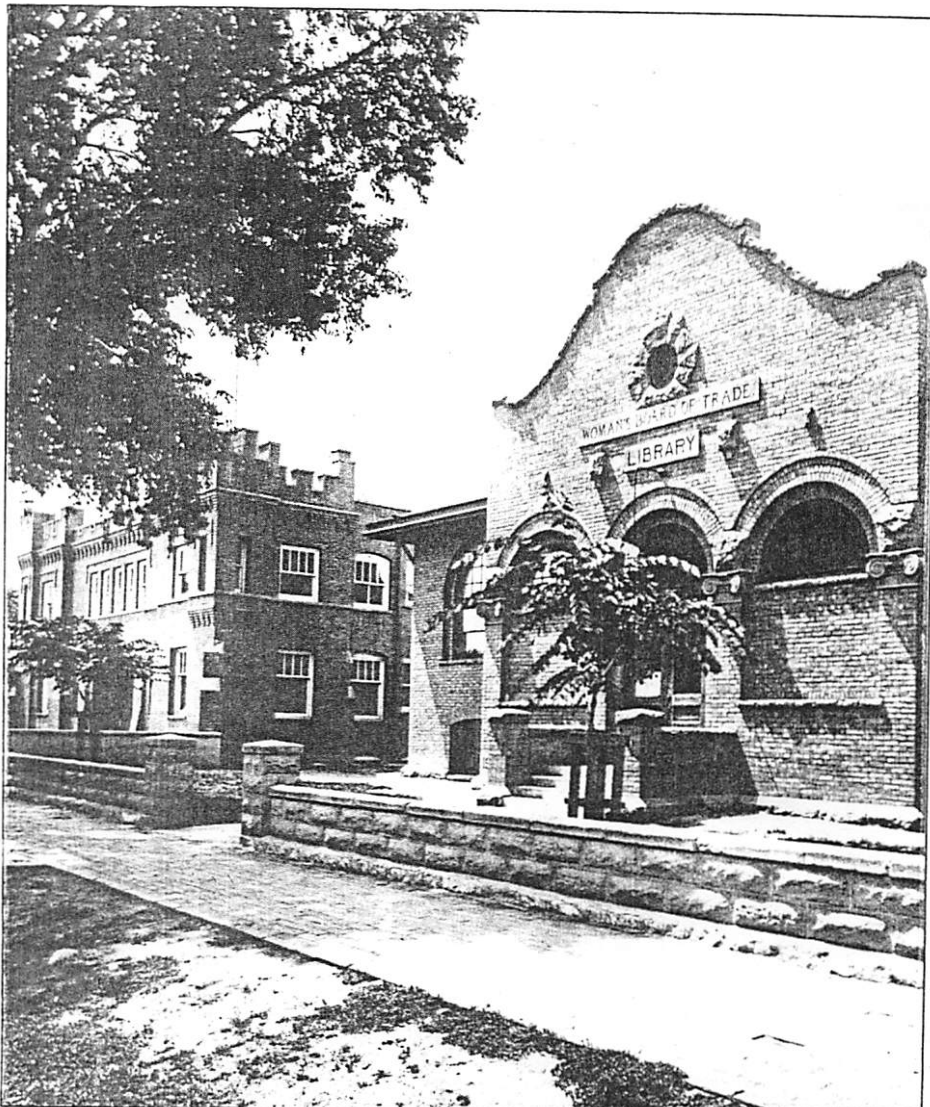
The second floor contains the Community Room, which is equipped with sophisticated projection equipment and lighting and a good sound system. Litzenberg said she hoped the room will eventually become a cable head for public access television. She added that for \$50,000, a benefactor can have the room named after anyone he chooses.

Across the hall is the Audio Visual Center. It has three public computers, typewriters and a graphics lab with dry-mount press, a laminating machine and basic lettering tools. Near the center is post-production room in which videos may be edited. Litzenberg estimated that the library has more than \$100,000 worth of equipment throughout the facility.

The Salad de los Niños, where the children's books will be located, is also on the second floor. It has neon lights over the entryway, plus a fireplace. The custom furniture is kid-sized and built to take punishment.

Also on that floor is the Emil and Elizabeth Pick Conference Room, whose benefactor is Mayor Pick and his brother Henry. The administrative offices are in the building's north wing on the second floor.

On Jan. 17, the library is having a full schedule of events celebrating the opening of the new library. Mayor Sam Pick will preside over the grand opening and ribbon cutting.



The original Santa Fe Public Library, circa 1912.

PHOTO BY JESSE L. NUSBAUM / COURTESY MUSEUM OF NEW MEXICO, NEGATIVE NO. 56603

# Santa Fe Public Library *John Arnold*

Opened  
Jan 17, 1987

~~Jan 17, 1987~~

Like many other urban areas, Santa Fe, New Mexico has undergone population shifts that required the building of a new branch in 1979 to serve the city's growing south side, while leaving the main library downtown in an aging and inadequate structure.

The downtown library was stuffed into an eighty-year-old building that long ago outgrew its space but money for an improved facility remained elusive. For years Santa Fe's main library users and its staff had to put up with the venerable but cramped institution as best they could.

That all changed last month, however, when the main library opened January 19 in a renovated structure only 121 steps north and across the street from the old building.

But this is not just any new library building. It's a completely remodeled version of a historic structure designed by the renowned Southwest architect John Gaw Meem. Formerly the Municipal Building, the new library building once housed the city hall, the jail, the police department, and the fire station.

Built in 1937 under the auspices of the Federal Emergency Administration of Public Works, the structure retains its historic exterior and looks much as it did almost fifty years ago. The interior, however, has undergone a major renovation and provides almost three times the space of the old library building (35,000 versus 13,000 square feet).

The \$3.87 million alteration was funded through Santa Fe's Community Improvement Project program, which receives a portion of the city's gross receipts (sales) tax. Thus, residents and visitors alike—anyone who

buys something in Santa Fe—funded the new library, which used the entire budget for construction and furnishings. That means none of the funds went to enhance the library's 120,000-volume collection, but a start was made in the form of book gifts presented to the library at its eightieth birthday party on January 24.

Library Services Director Marcy Litzenberg says the renovation project was the result of community pressure to replace the old library, which, in 1932, was converted through a John Gaw Meem-designed revival of the Santa Fe Women's Board of Trade clubhouse.

"The reason this new library exists is that five years ago we set out on a very calculated campaign" that included intense lobbying of city officials, Litzenberg said. "I think this is a perfect example of how community interest effectively focused can get a project done."

## Retaining the past

The building is a U-shaped structure, with the two legs of the U running from the back of the building lot toward the street. It has two main entrances, plus a back entrance off the parking lot. That in itself is a major attraction the old building lacked: the new library has thirty-five parking spaces—which are at a premium in the heart of Santa Fe—compared to zero for the old one. Although the library staff would have liked just one front entrance, it accepted two because to do otherwise would have compromised the integrity of John Gaw Meem's design, unthinkable in this city that treasures its unique urban landscape.

Santa Fe, the capital of New Mexico, is the second oldest city in the United States. Founded in 1610, it

has been ruled by Spain, Mexico, the Confederate States of America, and the United States. It lies at an altitude of 7,000 feet, nestled against the Sangre de Cristo Mountains that dominate the eastern skyline.

The impact of the city's vernacular adobe-style architecture and its sophisticated citizenry, which includes numerous artists, writers, musicians, and craftspeople, makes Santa Fe one of the most individual communities in the country. Indeed, it has been called this nation's most un-American city, not because of its attitude toward national policy, but due to its look and outlook.

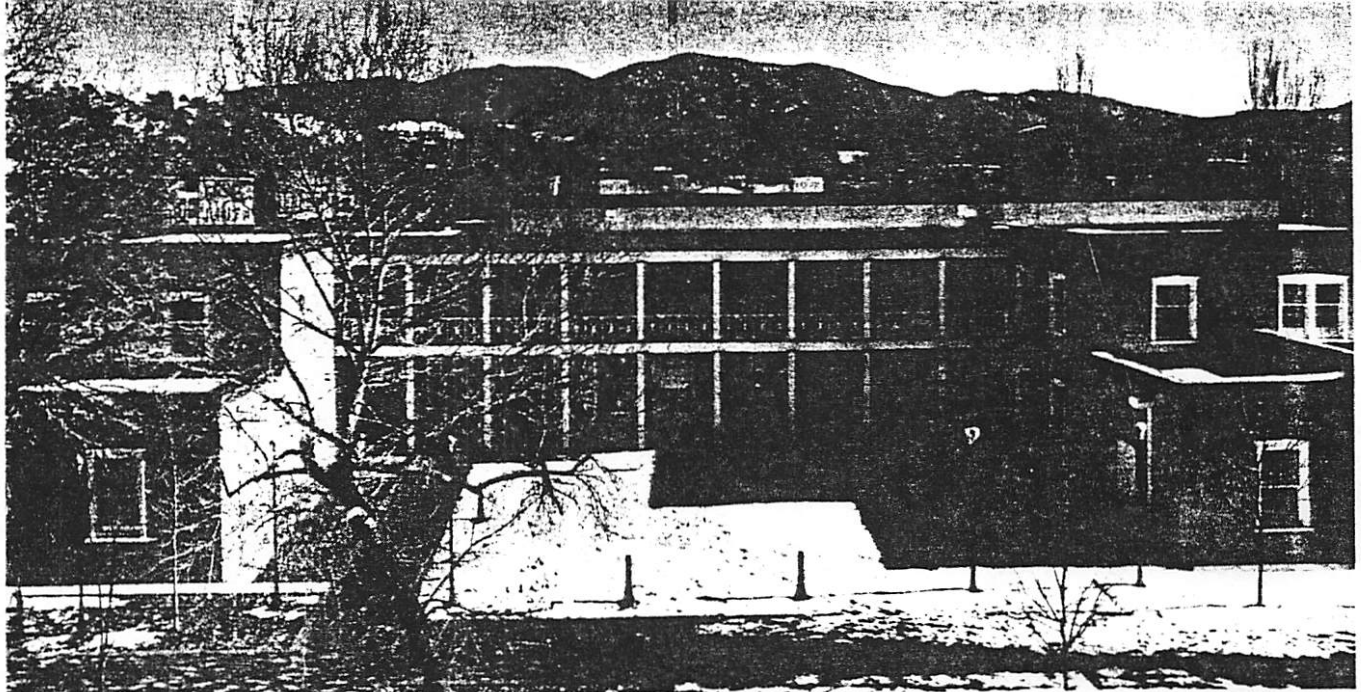
It wasn't always so, and during the 1920s a concerted effort was made to retain or regain as much of the local architecture—which takes its cue from the nearby Indian pueblos—as possible.

One of the leaders of this foresighted movement was John Gaw Meem, who came to Santa Fe seeking a cure for his tuberculosis, and who remained, eventually becoming an architect famous throughout the Southwest.

A result of the effort of Meem and a handful of others was a historic styles zone in and around the downtown area that permits only two types of architecture: pueblo and territorial, a modification of pueblo. Meem's public works project—number N.M. 1035-D—is the only territorial style building constructed through the federal program.

Although the historic zone requirements strictly limit building styles and height, Santa Fe recently has seen old structures being razed and replaced by buildings that meet the letter of the architectural codes, but are massive, rigid, and lacking in the special feeling of the old ones, such as the Meem-designed Municipal Building.

**John Arnold** is a writer who lives in Santa Fe, New Mexico.



The new home of the Santa Fe Public Library, presided over by the Sangre de Cristo mountains

Thus, Santa Feans are increasingly concerned about projects that alter or destroy older buildings, which, coupled with the overcrowded conditions of the former library, accounts for the level of local interest in the renovated structure.

"It was a challenge," Litzenberg said. "We definitely had to make compromises to conform to the restrictions. We never opposed the adaptive restoration of the building. We were always in favor of that choice, so that made the compromises easier."

And because this city has so many craftspeople, the library is a showcase for numerous custom-made features. "We wanted to give as much work to local artisans and craftspeople as possible," says Allen Schwartz, the main library director. Eight different craftspeople created furniture, shelves, and other items for the new building.

#### Improving on the old

Instead of concentrating on new services, Litzenberg said, the staff decided to improve ones that were heavily used at the old building.

"When you start designing a library you begin with a program," she said. "We gave some really hard thought about the services that we wanted to have in the new library. Rather than adding a whole bunch of new features, we decided we wanted to add to what we have.

"I think a library makes a big mistake by taking on too many things when it's the old standby the community wants. These days budgets are really tight so I think we're under an obligation to do what is best for the community."

One of the improvements was in the reference section. "Our reference area is really well used so we concentrated on that," Litzenberg said. "For a community of its size, Santa Fe has a lot of readers. We have a highly literate community and a sophisticated community and those two factors make for heavy library use. I really think our main library is a research library much more than a typical library." Indeed, more than half of Santa Fe's 55,000 citizens have been issued library cards.

The new building has three floors, including the basement, which is designated for use by the library's forty-

five paid staff members and into which the library—which has an annual budget of about \$700,000—will expand in the future.

The ground floor contains most of the adult services, and Schwartz says there's a good reason for that: several retirement homes are in and near downtown Santa Fe, and that means older people frequent the library. Having most of the adult services on the ground floor is one way to accommodate the elderly, Schwartz said. The new library is also accessible to the handicapped, a big change from the old one, which had no ramps or elevators and was, therefore, off limits to wheelchair users.

The library has a telecommunications device for the deaf, a new feature that will permit users who have units in their home to call the library and ask—through the printed word—about books, services and so on. Hearing impaired people can check out a portable TDD unit for temporary use, Schwartz said. And, he added, the library offers telecaptioning decoders for home use so hearing impaired patrons can watch captioned television programs.

Another new service, one that was

donated by a local ophthalmologist, is a video visual aid that enlarges the printed page for those with poor eyesight. The visual aid is in an area that includes new microform readers and printers, something missing in the old library.

**Crafted space**

The ground floor contains most of the books—the exception being the Children's Library on the second floor—and the southern wing houses the nonfiction collection. Fiction is in the northern wing.

In the south side, in a special room funded by Margaret Jaffee, a library volunteer, are the periodicals, on shelves designed by library staff and made by local craftspeople. Part of the nonfiction stacks and the periodicals room are in the bay where the fire trucks were parked, and the windows were custom made to maintain the look of a fire station's door.

Since the U-shaped design creates some blind spots, telephone jacks were installed in critical, out-of-sight areas. When lifted, the telephone automatically rings the front desk, and the system is designed to both provide service to users and act as a security device. A magnetic security system will lessen the theft hazards posed by having two entrances.

The ground floor also houses the Southwest Room, a collection of about 15,000 art books and valuable and rare books with a Southwest theme. The collection is in the old city council chamber, and this room, more than any other, retains the look and feel of John Gaw Meem's design. Its walls are lined with custom-made, glass-fronted, locked cabinets. Furniture in the room was made by locals who duplicated Meem-designed furniture at the Museum of Anthropology, one of five state museums in Santa Fe.

Another craftsman designed wrought iron table and floor lamps, and yet another built bookshelves, all of which enhance the look of the room, which has a twenty-foot high, wood-lined ceiling, complete with carved beams and a pair of Meem's original tin chandeliers. Two other chandeliers are exact duplicates of Meem's originals.

The first floor also has special niches for large print books and the Friends of the Library shop, which sells de-acquisitioned books and gift items.

Besides housing the Children's Library, the second floor contains administrative offices, including a staff lounge with kitchen facilities and a dining room.

The public exhibits area is in the mezzanine, overlooking the main entrance, and local artisans can book the space for a month at a time. Designating this second-floor space as a public gallery was not an afterthought.

"One of our original items on the program was that we wanted to have a public exhibit space," Litzenberg said. "With so many artists in Santa Fe, we felt this was necessary. We've already gotten enough people who are interested to fill the space for a whole year."

One of the special features of the new building, in a space formerly occupied by the city jail, is the Children's Library. It comes with a brand new slate-fronted fireplace, has a neon rainbow over the arched doors inside the room (outside neon lights are prohibited in Santa Fe's historic district), and sports a built-in puppet theater.

This room contains several custom-made features, including the fireplace screen and wrought iron fireplace tools with tops crafted in the likeness of animals found in the Southwest. Another treat is three handmade rocking chairs, carved

with either momma bear, papa bear, or baby bear. Other handcarved chairs carry out the Southwest animal theme.

Since Santa Fe has about 200 groups that utilize the library, Litzenberg said special attention was given to the new Community Conference Room, available to the public through a reservation system. The room is a high-tech facility with a motorized screen, various lighting levels, including television and video lighting, and kitchen space.

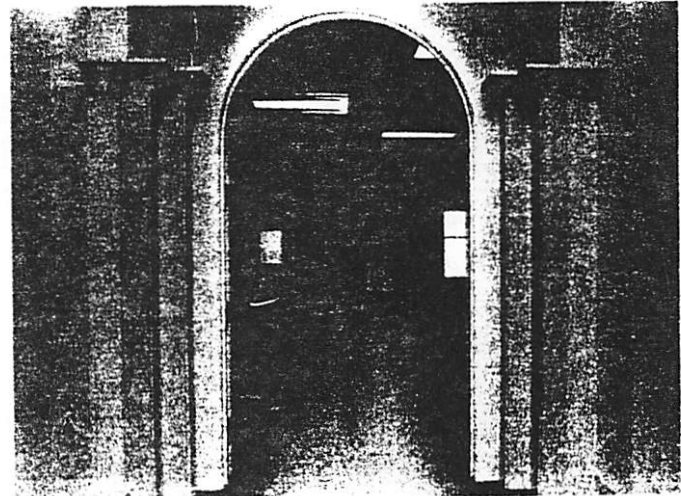
Other features on the second floor include a graphic laboratory with a drafting table, copy stand, dry mount press, and slide table. Three public typewriters have a room of their own, compared to the old library's lone typewriter squeezed between the copy machine and the stairs to the basement. A special personal computer room has been built, and users can sign up for time on an IBM or a Macintosh. A record room with ten work/listening stations, including a compact disc player, is near this computer-typing-graphics lab area, as is a new video editing room.

The basement contains the staff work space, and, to provide as much natural light as possible, light wells were created on part of the building's east- and south-facing walls.

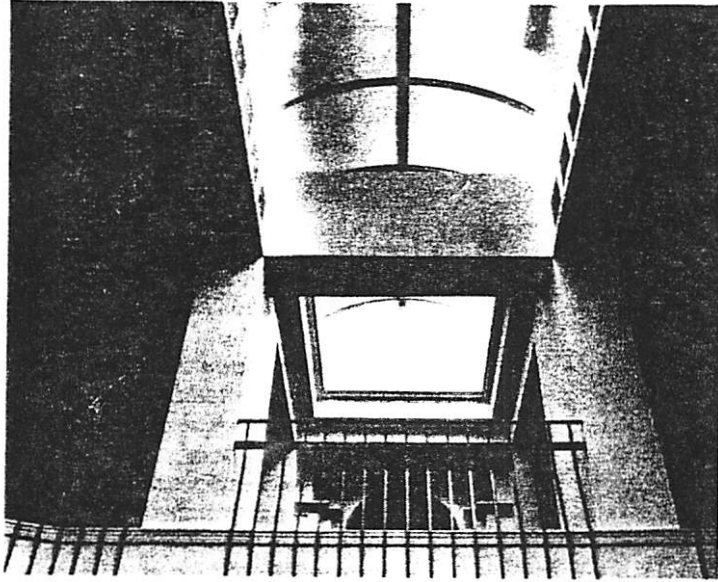
"It's a contemporary idea in a neo-classic building," Litzenberg says of the light wells, the work of project architect Kestutis Germanas, whom she lauds for his extra effort, including intensive research he did on John Gaw Meem-designed structures. "I

Barbaraellen Koch

The entrance to the children's room, complete with fireplace



Barbara Ellen Koch



Looking up to the mezzanine from the entrance foyer

don't think anyone has had as much communication as we had with the architects. I think architects often don't have such rapport during the design process."

Germanas said working on a Meem-designed building was a bonus. "I'm very grateful for the opportunity to put the building to adaptive reuse," he said. "I think we were successful in keeping the style. We all like it very much."

Herman Miller office system furniture in this area will provide flexible work stations, Litzenberg said. And, she added, "All the furniture that we've selected of the standard variety will be of outstanding quality," including compact mobile shelving for the periodicals storage room.

The basement also contains mens' and womens' locker and shower rooms for the staff.

Besides many of the stools, chairs, benches, shelves, cabinets, and the fireplace tools, both the reference and circulation desks on the ground floor were custom made, and the counter of each is covered with highly polished Apache gold travertine from a quarry about 100 miles southwest of Santa Fe.

Although not the work of local craftspeople, seven distinctive oxidized copper ceiling lights, each containing an amethyst crystal, were commissioned to be designed by New Yorker Jerry Van Deelen to fit the Santa Fe style.

Funds for the Southwest Room's furnishings were provided by the Friends of the Library, which raised about \$100,000 through its Buy a Tile program. Selling for \$100, these specially designed ceramic tiles are glazed with the donor's name and are installed in the Benefactor's Gallery along the stairway to the second floor.

Although it wasn't in place when the library opened, Litzenberg said a computerized check-out system should be online within six months. The archaic mechanical check-out system, and its concomitant problems, such as determining when books are overdue and notifying readers of overdues, will be a memory once the new system is in place.

"It looked to us that the best option was to buy software to hook into the city's computer," she said. "There's no question that this in the long run will improve services for the library."

On the wish list: A computerized catalog to replace the card catalog. This, Litzenberg says, is not out of the question but definitely is down the road.

#### The big move

Having about 25 percent of the library's 120,000 volumes checked out at any one time helped the moving process, and a professional mover was given the task to transport all the books and equipment to their new lo-

cation.

All but the children's books, that is. "Because of the community interest and the high visibility of the new library, we've gotten lots of volunteers who would like to help us move," Litzenberg said while standing in the new Children's Library. On January 10, a human chain of volunteers stretched from the old children's room, which was downstairs, across the street, through the front entrance, up the stairs, and into the new room, moving the children's books into their new home. Those who helped received a button reading "I had a moving experience at the library."

Not to be overlooked in the transition from the old, musty and cramped library—into which the state wants to expand since its history library is right next door—to the dazzling new building was the community celebration. Opening ceremonies included:

- A preview, by invitation-only showing of the new facility for craftspeople, architects, others who worked on the project, and those who donated more than \$500

- The obligatory ribbon-cutting ceremony featuring Santa Fe's mayor, followed by an open house complete with a variety of entertainment and refreshments

- A week-long series of evening programs.

The real kicker to the opening was the library's eightieth birthday party on January 24. The entire community was invited to the party, which featured local authors—Santa Fe has dozens—and people were urged to come dressed as their favorite literary character.

The entrance fee to the party was one book, and local book shops had a listing—akin to a bridal registry—containing those titles the library especially wanted to acquire. Those who didn't want to provide something from the registry were asked to donate a copy of their favorite book.

Litzenberg was especially interested in tallying the favorite-book donations, and considering Santa Fe's literate, sophisticated, and difficult-to-predict citizens, that could be quite an education in itself. ☐



# SANTA FE

Santa Fe County

**NEW MEXICO**

SANBORN MAP CO. NEW YORK

JAN. 1930

This map, covering properties and activities, is to be treated as confidential and not divulged. Espionage Act makes it a crime to divulge information relating to National Defense to prevent it from falling into the hands of the United States.

ALL RIGHTS RESERVED NO PART OF THIS MAP MAY BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM THE SANBORN MAP COMPANY.

Copyright 1930 by the Sanborn Map Co.

City limits and fire limits shown in this report are not guaranteed.

Parts over New Report of March, 1925, which is now void.

SANTA FE, N. MEX.

## NEW REPORT, March, 1942

POPULATION: 20,237

Prevailing Winds:—North and Northwest.

PAVING:—About 10 1/2 miles concrete.  
GRADES:—Slightly rolling.

### WATER FACILITIES

Private ownership. Sources from 8 reservoirs located east of Town. Upper (Grainfield Falls), capacity 530 acre feet, elevation 2,000' above Plaza; Lower, capacity 420 acre feet, elevation 250' above Plaza; Service basin, capacity 2,000,000 gallons, elevation 170' above Plaza. Gravity pressure direct into mains.

31 miles of 3" to 12" pipe, 127 double hydrants and 18 private hydrants. Average daily consumption 1,150,000 gallons. Domestic and fire pressure 80 lbs. at the Plaza.

### FIRE DEPARTMENT

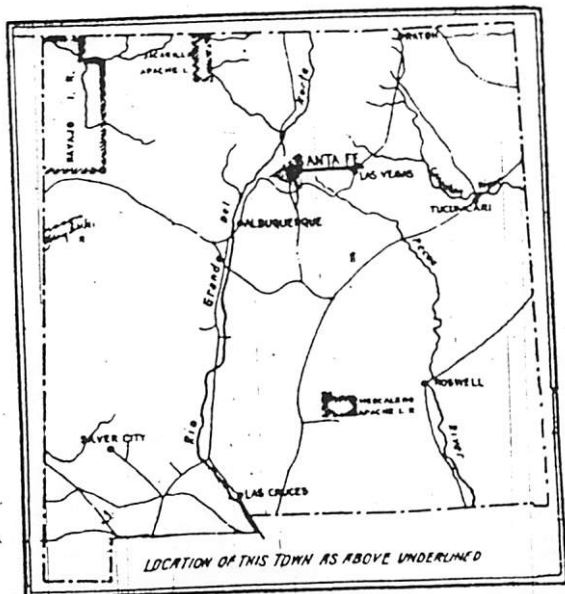
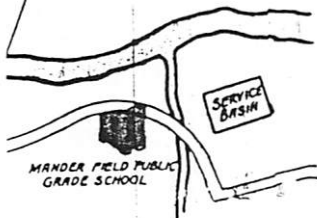
Volunteer. 1 chief, 1 assistant chief, 2 paid drivers and 21 volunteers. 1 station. 1 American-LaFrance 750 gallon pumper with 1,000' 2 1/2" hose and 40' of ladders. 1 American-LaFrance 500 gallon pumper with 100 gallon booster tank, 1,000' 2 1/2" hose and 45' of ladders. 1 American-LaFrance 500 gallon pumper with 100 gallon booster tank, 1,000' 2 1/2" hose, 300' 1 1/2" hose, 150' 1" hose and 40' of ladders. 1 American-LaFrance 100 gallon booster with 600' 2 1/2" hose and 40' of ladders. 500' 1 1/2" hose and 1,450' 2 1/2" hose in reserve.

To have new fire station corner of Hancock St. and Montezuma Ave. (Sheet 13).  
Fire alarm by telephone and siren.

### FIRE-RESISTIVE ROOFING ORDINANCE

Ordinance prohibits use of wooden shingle roofs in Fire Limits only.

City Limits 6 1/2 miles square.



**KEY**

FIRE WALL 6 IN. ASB. ROOF  
METAL CORNICE  
FIRE WALL 12 IN. ASB. ROOF  
WOOD CORNICE  
FIRE WALL 18 IN. ASB. ROOF  
FRAME PARTITION  
OPENING WITH IRON DOOR  
"STANDARD"  
IRON DOOR  
WINDOWS & IRON SHUTTERS  
WINDOW 1ST STORY  
WINDOWS 2<sup>ND</sup> & 3<sup>RD</sup> STORIES  
"Z" & "4"

STABLE (CB) CONCRETE BLOCK  
BUILDINGS COLORED YELLOW ARE FRAME  
RED BRICK  
BLUE STONE  
GRAY IRON  
BROWN FIRE PROOF

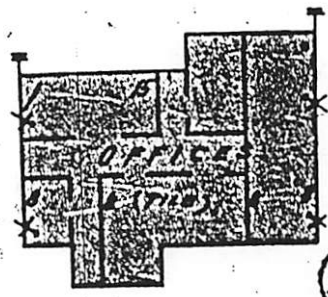
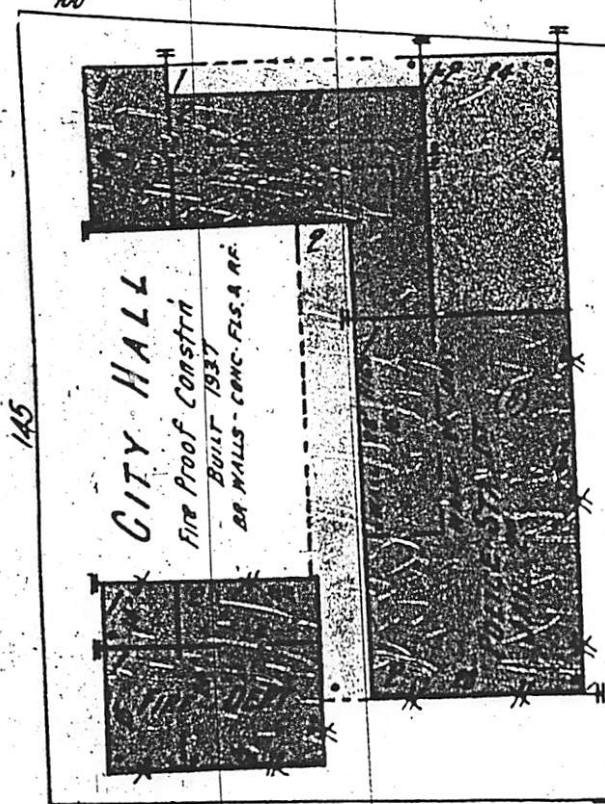
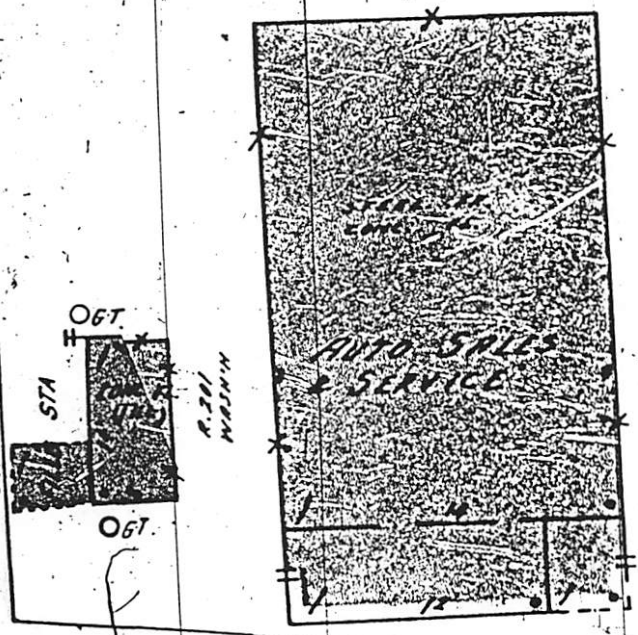
INDICATE RELATIVE HEIGHTS  
AUTOMATIC SPRINKLERS  
FIRE STATION AS SHOWN ON KEY MAP  
ALTERNATE STREET NUMBERS ARE ACTUAL  
CONSECUTIVE STREET NOS ARE ARBITRARY

CORRECTION RECORD				
REV. NO.	DATE OF CORRECTION	ATTACHED BY	BATE ATTACHED	
4	2/45	REPRINT		
3	8/48	Counts	2/2/49	

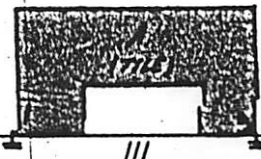
AV. WASHINGTON

D.H.

1930 sandborn  
w/ corrections  
up to 1949.



37



NUSBAUM  
UNPAVED

201

105

60

100

114

120

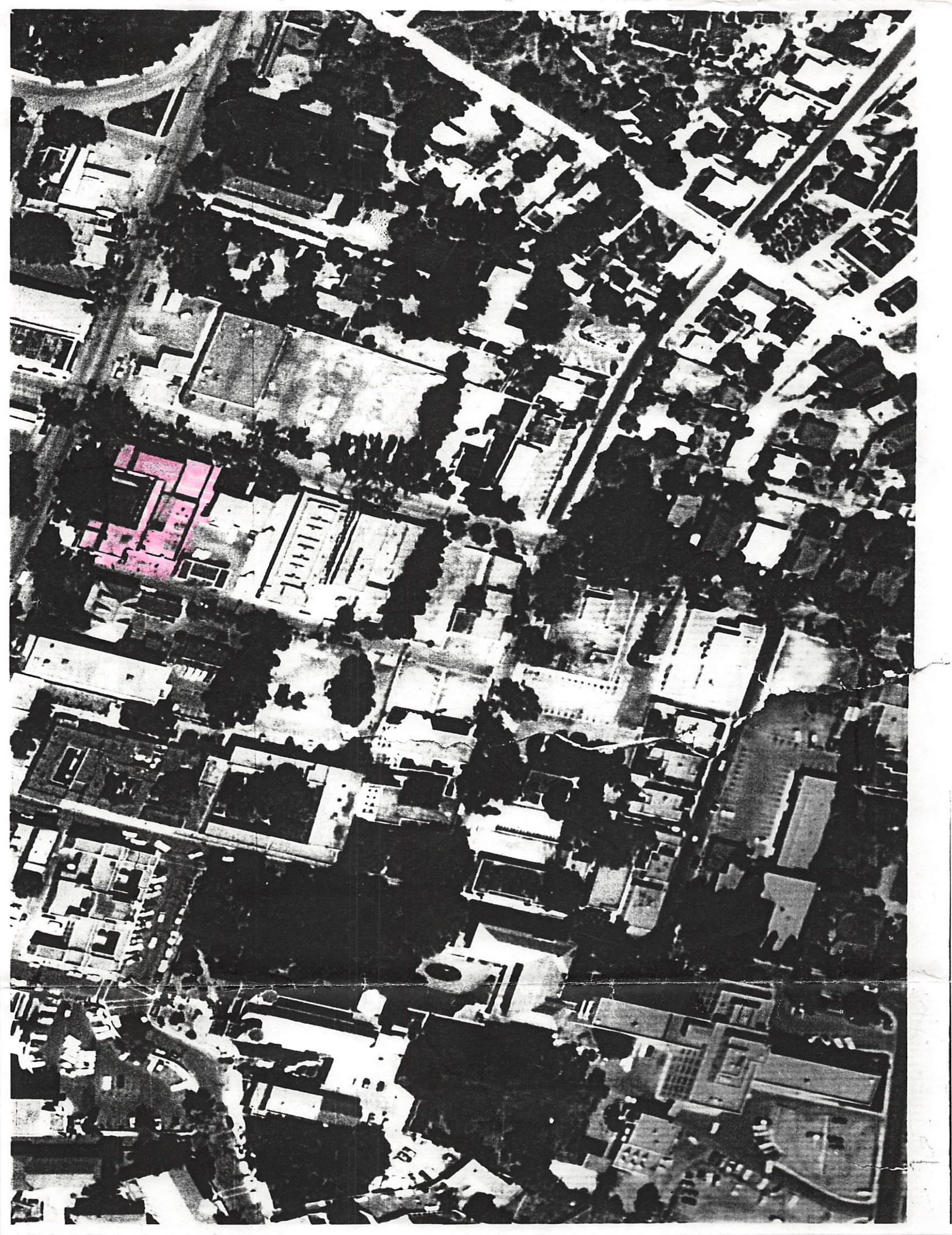
145

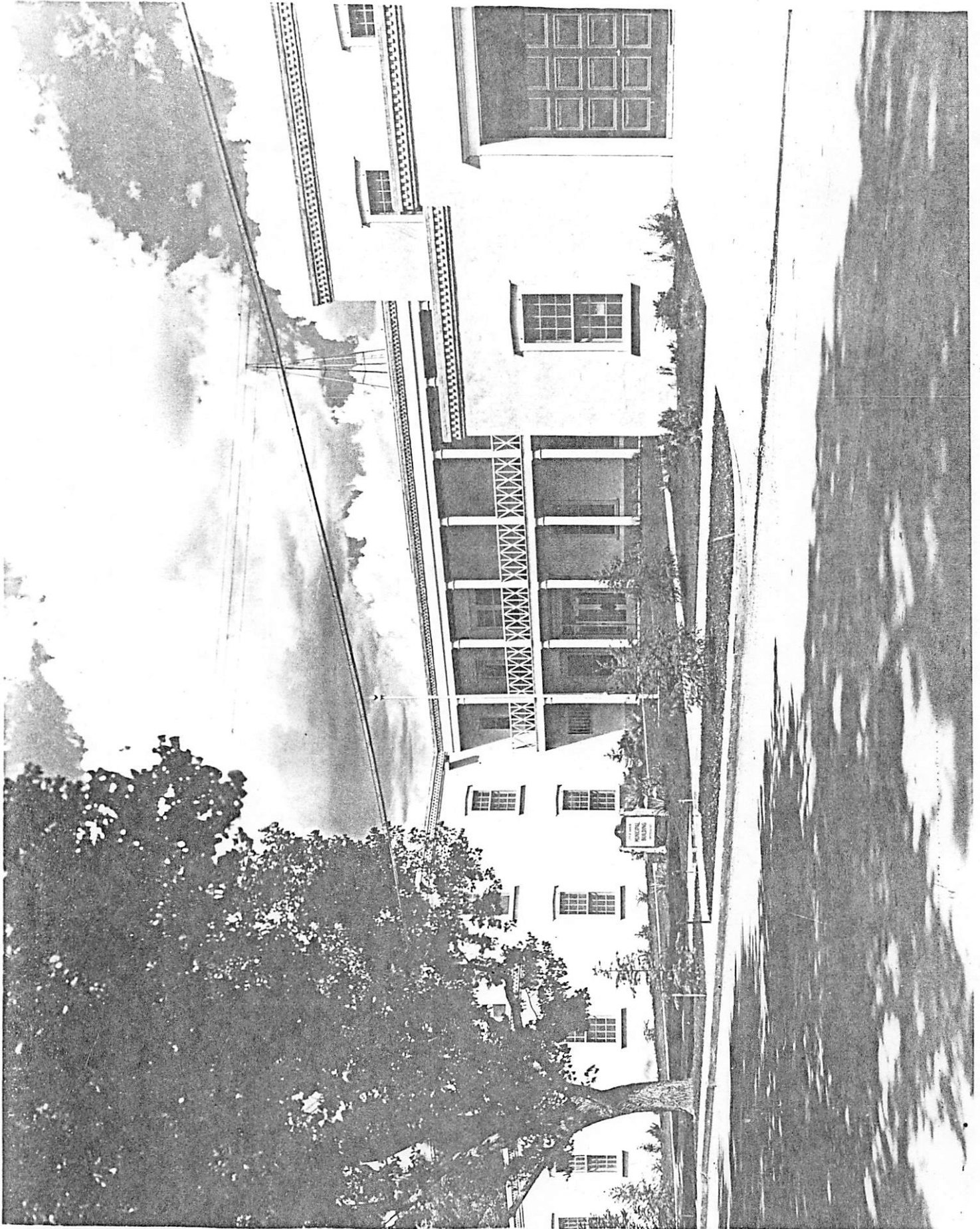
30'

123

100

2





1940s  
photo

# 51852

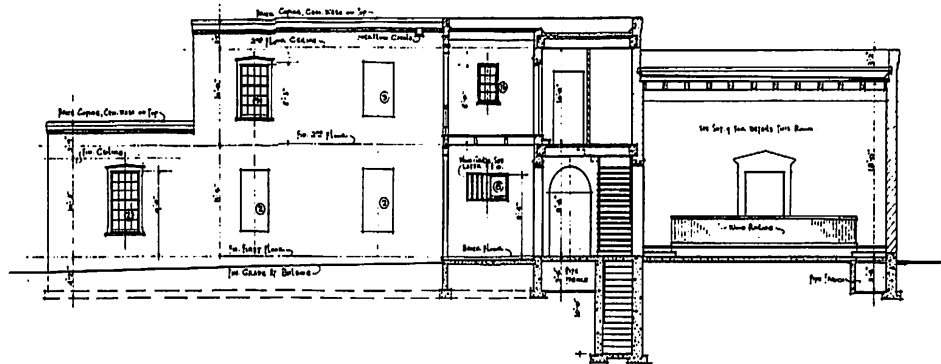
# 145 WASHINGTON STREET

WEST &  
SOUTH  
ELEVATIONS

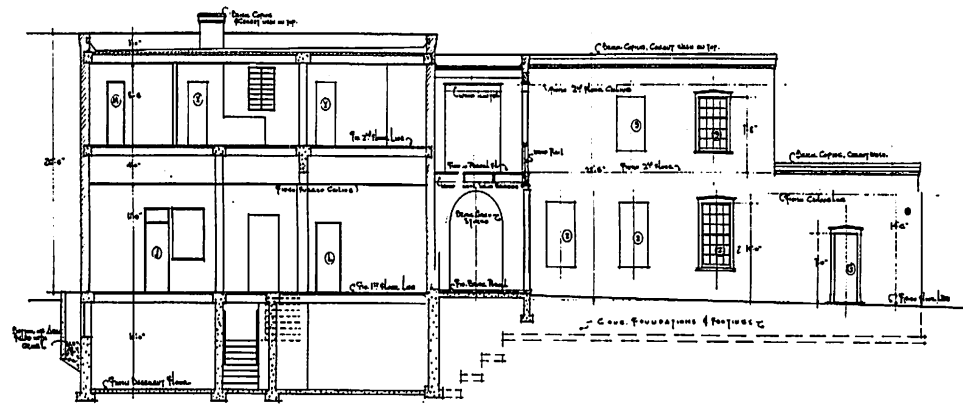


EAST  
ELEVATION

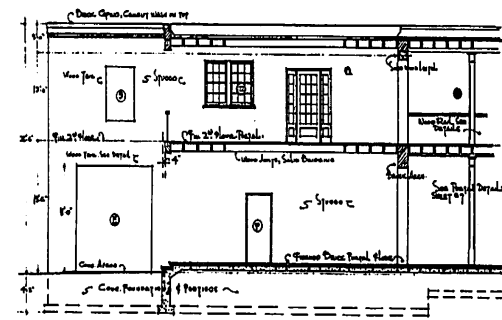
DOOR SCHEDULE			
MARK.	SIZE	TYPE	REMARKS
A	3'-0" x 7'-0" x 3/4"	1/2 LIGHT GLASS	See Notes & Thomson, Detail No. 7
B	3'-0" x 7'-0" x 3/4"	3 PANEL JAMB	See Notes & Thomson, Detail No. 7
C	3'-0" x 7'-0" x 3/4"	1/2 LIGHT GLASS	See Notes & Thomson, Detail No. 7
D	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
E	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
F	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
G	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
H	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
I	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
J	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
K	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
L	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
M	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
N	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
O	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
P	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
Q	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
R	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
S	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
T	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
U	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
V	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
W	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
X	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7
Y	3'-0" x 7'-0" x 3/4"	1/2	See Notes & Thomson, Detail No. 7



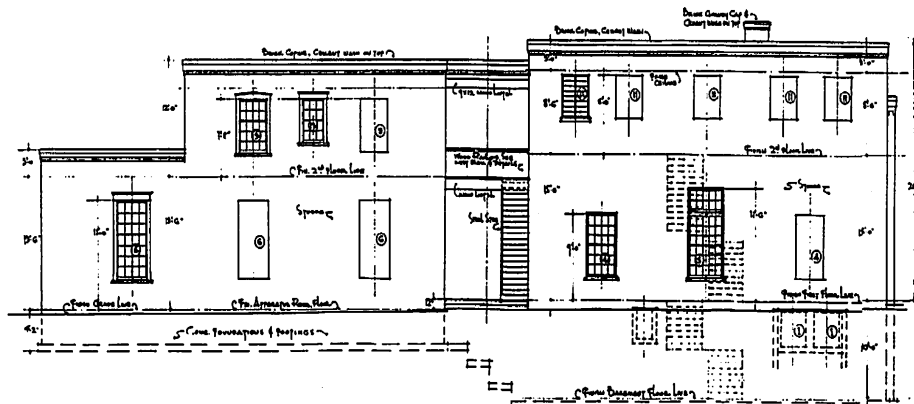
SECTION & ELEVATION ON LINE A-A  
SCALE: 1/8" = 1'-0"



SECTION & ELEVATION ON LINE B-B 1/4" = 1'-0"

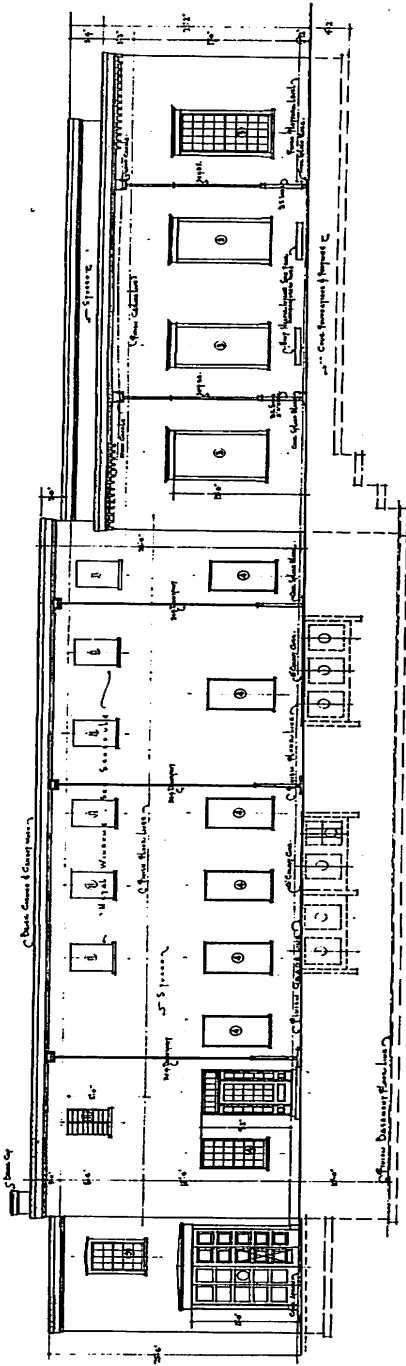


SECTION & ELEVATION ON LINE C-C 1/4" = 1'-0"

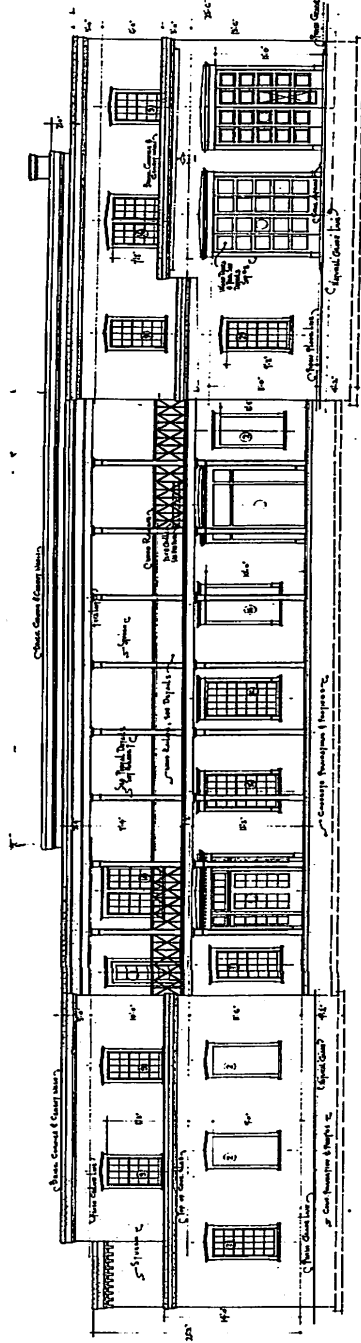


SOUTH (NUSSBAUM ST.) ELEVATION 1/8" = 1'-0"

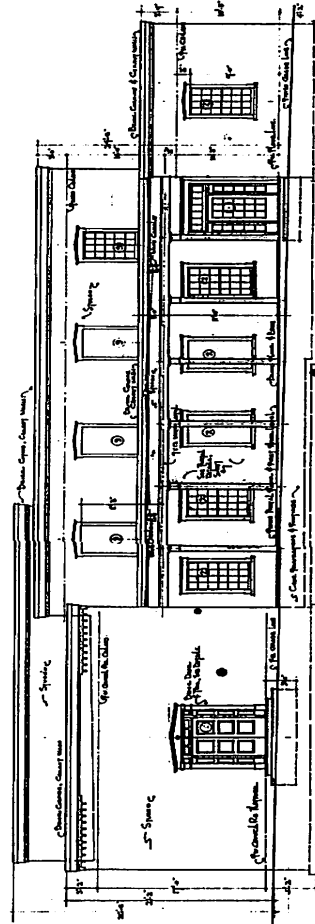
	DRAWN BY P.A.J.	PWA PROJECT NO. N.M. 1035-D <b>MUNICIPAL BUILDING</b> FOR THE CITY OF	FILE NO. <b>256</b>
	CHECKED BY D.A. 3/21	SANTA FE, NEW MEXICO	SHEET NO.
	APPROVED BY J.G.M.	<b>JOHN GAW MEEM ARCHITECT</b> SANTA FE, NEW MEXICO	<b>6</b>
	DATE MAY 24, 1930		



EAST (REAR) ELEVATION · 8'-110"



WEST (WASHINGTON ST.) ELEVATION · 8'-110"



NORTH (MARCY ST.) ELEVATION · 8'-110"

	DRAWN BY JOHN GAW MEEM	PROJECT NO. 14-1035-D
	CHECKED BY JOHN GAW MEEM	MUNICIPAL BUILDING FOR THE CITY OF SANTA FE, NEW MEXICO
ARCHITECT JOHN GAW MEEM	SANTA FE, N.M.	NEW MEXICO



January 23, 2024

**RE:  
Request for Adoption of the 2023 HCPI Form and Designation of Primary Elevations  
City of Santa Fe Main Library, 145 Washington Avenue. (CLG Grant #35-22-10035.10020)**

Dear HDRB,

The City of Santa Fe Facilities Division is working to preserve the Santa Fe Main Public Library at 145 Washington Avenue. The building has a historic status of “contributing” to the Downtown and Eastside Historic District.

The Facilities Division applied for a Certified Local Government Grant from the New Mexico Historic Preservation Division for FY22 and was awarded \$44,600.00 to conduct an exterior conditions assessment of the building. This project kicked off in May of 2023. The conditions assessment evaluates the exterior of the building to determine what work will need to be done to preserve the building. The assessment will be presented to the HDRB once it is completed, sometime in mid-2024.

One of the requirements of the conditions assessment included an HCPI form for the building. The HCPI form is included with this application for your review and adoption. There is no request for a historic status change.

A search of the City of Santa Fe Historic Preservation records found that the building does not have primary elevations designated. We are requesting the designation of primary elevation so that we may plan the future preservation projects for this important downtown building.

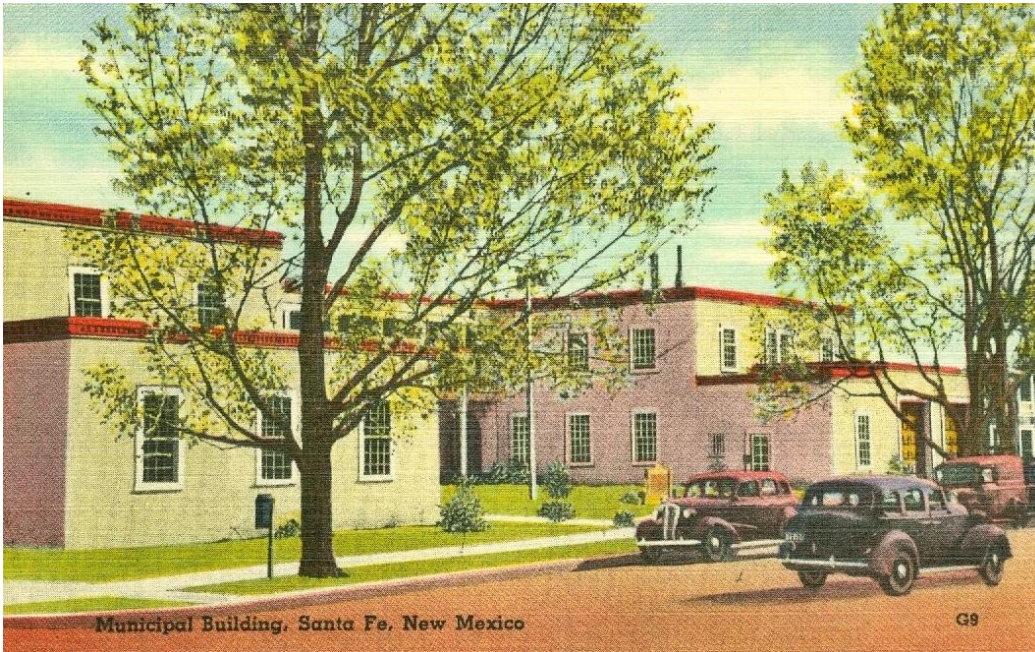
I submit this application on behalf of the City of Santa Fe as the Certified Local Government Coordinator managing the grant.

Thank you,

Nicole A. Ramirez Thomas  
Principal  
Wonderstone LLC

# **Santa Fe Municipal Building – Santa Fe Main Public Library**

## **Cultural Resources Evaluation**



**145 Washington Avenue  
Santa Fe, Santa Fe County, New Mexico  
Santa Fe County Assessor Parcel Number 910014876**

***Santa Fe Certified Local Government Project: #35-2210035.10020***

**September 15, 2023; Revised November 30, 2023**

Prepared by:

ARCHITECTURAL  
History Services  
John W. Murphey Architectural Historian  
2833 Plaza Verde  
Santa Fe, NM 87507

Prepared for:


Woven Architecture  
343 W. Manhattan Avenue  
1524 Paseo de Peralta  
Santa Fe, NM 87501



# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date of Form: September 15, 2023; November 30, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D <u>  </u>
<b>1. Name of property:</b>  Santa Fe Municipal Building - Santa Fe Main Public Library	<b>2. Location:</b>  145 Washington Avenue Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-3540  <b>4. County:</b> Santa Fe Parcel # 910014876
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> July 25 & 26, 2023		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: November 20, 1985 <input type="checkbox"/> No:		
<b>8. Name of Project:</b> CLG Status Evaluation		
<b>9. Lat/Long:</b> 35.6886382,-105.9369818		
<b>10. Photo Information:</b> John W. Murphey, photographer. <span style="float: right;">Photo 1: View of west elevation. Camera facing east. August 3, 2023.</span>		
<b>11. Brief Description of the Property:</b> Erected in 331 days under a New Deal grant, the former 1937 Santa Fe Municipal Building takes up the southeast corner of Washington Avenue and East Marcy Street. Designed by architect John Gaw Meem, it was planned to hold every function of city government. To do this, Meem selected a two-story, U-shaped form that segregated city government functions into discrete zones. The building continued in this until 1977 when city hall moved to its current location. A project in 1985-86 renovated the 50-year-old structure for a new use as the main location of the public library. The project reconstructed and/or built anew an area representing 75% of its ground floor footprint. Still, sections of the building show as original, and overall, the front façade looks similar to its historic appearance. <b><i>Continued on Page 5.</i></b>		
<b>12. Who uses the property?</b> Public Library		
<b>13. Construction Date:</b> Date: 1937; 1985-86, major renovation <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated <span style="margin-left: 20px;">Source: Project records and newspaper accounts</span>		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban <span style="margin-left: 20px;">If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Public</span>		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines may not be accurate*



**17. Surveyor:**  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)

For: Woven Architecture/City of Santa Fe,  
 CLG contract

**18. Owner (if known) and other knowledgeable people:**

Current owner: City of Santa Fe

19. Is Property Endangered?     Unknown  No  Yes    How?

20. Significance to Current Community:     Unknown  None  Low  Moderate  High  
 Describe:

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

**24. Supplemental Forms:**

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2  
 HCPI No. \_\_\_\_\_ District No. \_\_\_\_\_ NRHP \_\_\_\_\_ SRCP \_\_\_\_\_ Criteria   A   B   C   D

<b>1. Name of property:</b>  Santa Fe Municipal Building - Santa Fe Main Public Library	<b>2. Location:</b>  145 Washington Avenue Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-3540  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 25 & 26, 2023
--	---	--

**ARCHITECTURAL AND CONSTRUCTION DETAILS:**

<b>6. Visible Construction Material:</b>  <input type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Wood posts and trim	<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____  <b>8. Foundation:</b> <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input checked="" type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Gravel
---	--

**10. Window Types**

Operation	Material	Glazing	Number
Sash	Wood	8/12	Multiple
Sash	Wood	12/12	Multiple
Sash	Wood	12/16	Multiple
Sash	Wood	16/16	Multiple
Fixed	Wood	8 over Panel	4
Fixed – Window Wall	Steel	Multiple	2

**11. Door Types**

Type	Style	Material	Number
Single	Flush	Steel	1
Single	6-Panel	Wood	2
Single	10-Light	Wood	4
Single	1/2 -light & Panel	Wood	1
Double	3-Panel	Wood	1
Double	3-Panel w/sidelights	Wood	3
Double	10-10 w/ sidelights & transom	Wood	2
Double	Narrow Light	Wood	1

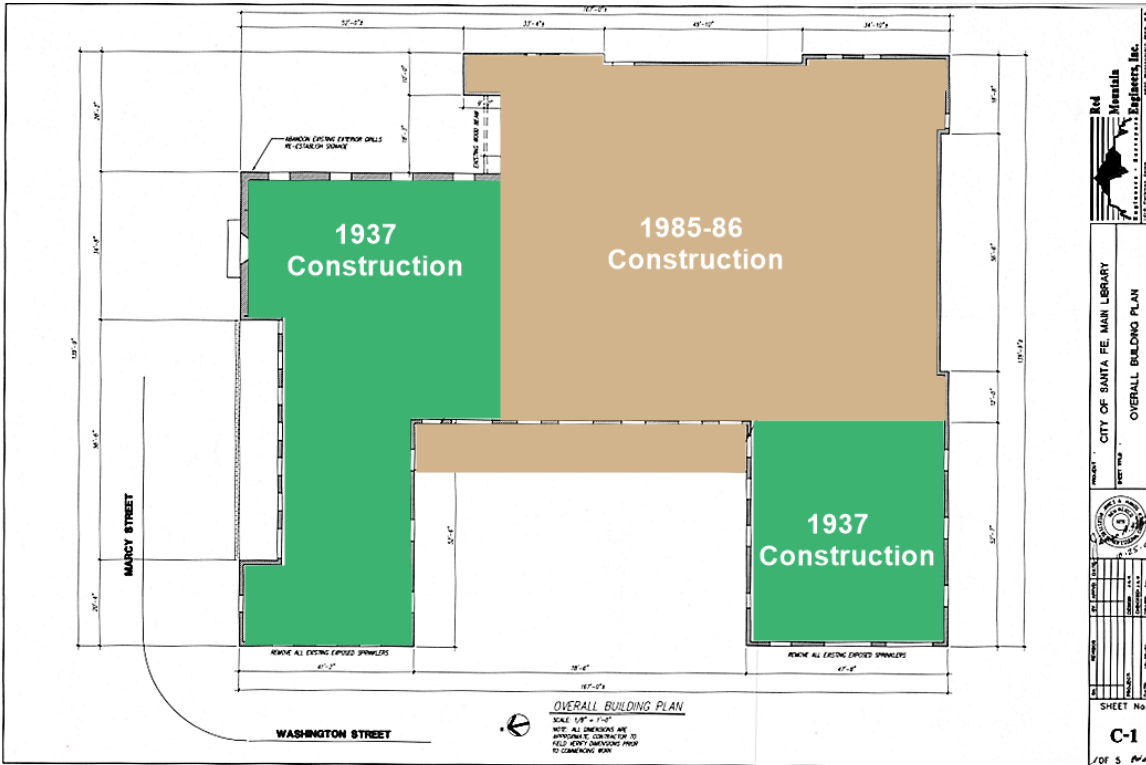
12. Chimneys <input checked="" type="checkbox"/> one, short stuccoed stack	13. Porches <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input checked="" type="checkbox"/> Full-Width <input type="checkbox"/> Wrap Portal and balcony
14. Other Significant Features N/A	
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  #1 Date: Early 1960s; two story addition at southeast corner; aerial photographs. #2 Date 1985-86; major renovation project; demolished and reconstructed majority of center block and 1960s addition; installed window wall sections, etc.	

**HCPI Detail Form (FORM 2)**

*(Continued from other side)*

<p>16. Primary Architectural Style <input type="checkbox"/> Not Applicable</p> <table border="0"> <tr> <td><input type="checkbox"/> Art Deco/Streamline Moderne</td> <td><input type="checkbox"/> Gothic Revival</td> <td><input type="checkbox"/> Mission Revival</td> <td><input type="checkbox"/> Pueblo</td> <td><input checked="" type="checkbox"/> Spanish-Pueblo Revival</td> </tr> <tr> <td><input type="checkbox"/> Bungalow/Craftsman</td> <td><input type="checkbox"/> International</td> <td><input type="checkbox"/> Neo-Classical</td> <td><input type="checkbox"/> Queen Anne</td> <td><input type="checkbox"/> Territorial</td> </tr> <tr> <td><input type="checkbox"/> Colonial Revival</td> <td><input type="checkbox"/> Italianate</td> <td><input type="checkbox"/> Northern NM</td> <td><input type="checkbox"/> Ranch</td> <td><input checked="" type="checkbox"/> Territorial Revival</td> </tr> <tr> <td><input type="checkbox"/> Folk Victorian</td> <td><input type="checkbox"/> Mediterranean</td> <td><input type="checkbox"/> Prairie</td> <td><input type="checkbox"/> Spanish-Colonial</td> <td><input type="checkbox"/> Tudor Revival</td> </tr> </table> <p>Notes: <input type="checkbox"/> Other: Vernacular</p>		<input type="checkbox"/> Art Deco/Streamline Moderne	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Mission Revival	<input type="checkbox"/> Pueblo	<input checked="" type="checkbox"/> Spanish-Pueblo Revival	<input type="checkbox"/> Bungalow/Craftsman	<input type="checkbox"/> International	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Territorial	<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Italianate	<input type="checkbox"/> Northern NM	<input type="checkbox"/> Ranch	<input checked="" type="checkbox"/> Territorial Revival	<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Mediterranean	<input type="checkbox"/> Prairie	<input type="checkbox"/> Spanish-Colonial	<input type="checkbox"/> Tudor Revival
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<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Italianate	<input type="checkbox"/> Northern NM	<input type="checkbox"/> Ranch	<input checked="" type="checkbox"/> Territorial Revival																	
<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Mediterranean	<input type="checkbox"/> Prairie	<input type="checkbox"/> Spanish-Colonial	<input type="checkbox"/> Tudor Revival																	
<p>17. Documents Available and Their Locations</p> <table border="0"> <tr> <td>Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a></td> <td>Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a></td> </tr> </table>		Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a>	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a>																		
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<p><b>SITE:</b></p>																					
<p>18. Attached or Associated Properties</p> <p>Are associated properties eligible for listing: N/A</p>																					

19. Site Plan: Graphic of construction phases of ground floor.  
 Base drawing courtesy Red Mountain.



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**Setting**

The Santa Fe Municipal Building stands near the west end of its 0.94 square lot, facing in the same direction. On the north runs East Marcy Street; on the west, Washington Avenue; on the south, Nusbaum Street; and on the east, a parking lot devoted to the building’s current use as a library. Commercial architecture surrounds the old building, some of it relatively recent. The building is now a diminished edifice, but when completed in 1937, it was the tallest structure in the area. With the construction of the First Interstate Bank Plaza in 1983 and other adjacent buildings, its stature has decreased. It encloses a small, landscaped area on its west façade that was originally planted in lawn. Historically called the courtyard, this space is essential to the building’s design and presentation to the street. A wide brick sidewalk courses along its west and south exposures. Two mature valley cottonwoods shade its façade.

**Building**

The building holds roughly 33,000 square feet,<sup>1</sup> spread over two floors and a basement. Its terraced massing lessens its bulk and gives visual interest to the façade and streetscape. It is made of hollow clay tile and concrete masonry units, finished with stucco, which, at the time of survey, was of several colors, including mustard.<sup>2</sup> A cornice of red bricks laid in stretcher and rowlock outlines the parapet on both floors. The cornice is one row more than what is depicted in Meem’s drawings. Many of its wood exterior members (posts, railings, window casings and sills) show weathering and deterioration.

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<sup>1</sup> This represents the Santa Fe County Assessor figure; the square footage is likely larger.

<sup>2</sup> Responding to complaints, the City of Santa Fe repainted the building in August 2023 in a uniform color and made cosmetic repairs to wood elements.

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## West – Primary

The west primary façade reveals the building’s plan and architectural inspiration. In form, it is a two-story center block flanked by stepped volumes. Together, these parts create a U-shaped plan. The façade introduces its architectural vocabulary, which mixes Native American forms and Territorial fenestration and trim.

At the center is the double portico block. Both floors are spanned by columned porticos or *portals* reconstructed in the 1980s (Photo 2). During the 1985-86 project, both floors were torn down and reconstructed with concrete masonry units. As part of this work, the porch columns were replaced. Meem had originally designed a modified Doric post with chamfered edges and a molded capital. Taking their place are square, chamfered posts with a simplified capital. This post style additionally ornaments the altered east and south elevations.

The ground floor served as the principal entry to the city hall and police department, and now the library (Photo 3). Its wall is fenestrated with tall, vertical openings reflecting the Territorial mode. At each end are entries holding double glass doors framed by glass sidelights and a transom (Photo 4). A molded frieze with dentil blocks surmounts the entries.

Between the entries are uniform 16/16 wood sash. Meem used these types of multi-light windows in 8/12, 12/12, 12/16, 16/16, and 20/20 patterns to reinforce the style and to bring natural light and fresh air into the offices. The windows are topped with colonial or pedimented head casing, referencing New Mexico’s territorial-era architecture. While the doors and glazing have been replaced, their overall design resembles Meem’s drawings.

The upper floor, once holding the jail, had only a window and a door. Demolished and rebuilt in 1985-86, it now has multiple doors and windows opening onto a balcony. These, like others in the building, are framed with Territorial casings.

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The adjacent south volume has large, fixed windows at the ground level (Photos 5 & 6). These filled in what were historically bays of the fire station. A construction photograph from 1985 shows sectional overhead doors topped the phrase “FIRE STATION NO. 1” in raised letters (Fig. 11). The wing now encloses library shelves and a reading area. The north volume appears to have original windows (Photo 7). Both wings have original wall construction.

### North

Fronting East Marcy Street, the north elevation is the least altered part of the building (Photo 7). Its long portico is lined with wood posts that match Meem’s drawings (Photo 8). At the west end stands a formal door, once opening to the office of the Santa Fe Chamber of Commerce (Photo 9). The door no longer functions for this purpose but helps preserve the façade’s historical association.

Marching eastward is a line of 12/12 wood sash with pedimented head casings (Photo 10). The window muntin profile is narrow and appears to be original — or a convincing reproduction. At the interior, they have 15” deep, slanting stools. They open with handles on the lower sash’s bottom rail and lock at the top rail. The upper story windows are uniform 8/12 sash with pedimented heads.

The blank wall of the northeast corner is interrupted by a formal entrance. It is placed centrally and holds double wood panel doors surmounted by a dentil course pediment (Photo 11). Historically, the doors gave access to a platform where the city council conducted business. The classically inspired doorway is the same as shown in Meem’s drawings.

### East

Looking onto the parking lot, the east elevation (with the exception of the former city council chamber) has been significantly changed. The changes started in the 1960s, with an addition, and increased during the 1985-86 renovation. The lower volume holding

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the former council chambers has four very tall, 20/20 wood windows. Now giving light to the Southwest Reading Room, these appear to be original and show exterior deterioration (Photo 12).

The council room connects with an east-west wall holding a loading dock (Photo 13). This area has Territorial-type windows and doors. The space is not original to the Meem design and appears, based on aerial photographs, to have been first introduced in the early 1960s and replaced during the 1985-86 renovation.

The impact of the 1985-86 project is more apparent rounding the corner with a view of the central block (Photos 14 and 15). The ground level originally had a wall with windows (Fig. 4). This area, which had already been added upon in the 1960s, was reworked in the 1980s, removing walls and replacing them with glass.

The long window walls were meant to daylight the lower level and basement. Called “enclosed portals” in the 1980s plan, the green metal framed structure extends from the ground to the ceiling and contains a storefront entry at the north end (Photo 16). Interestingly, wood posts are placed in front of it, fulfilling the portal aspiration (Photo 17).

Above, at the second story, is a balcony introduced in the 1980s (Photo 15). This space originally had a line of steel jail windows which were removed during demolition. Now fenestrated with Territorial windows and doors, it has a balcony similar to the west elevation.

The section at the southeast corner postdates Meem’s drawings (Photo 18)(Fig. 4). Its flat façade is seamed with expansion joints, suggesting it is recent. Like the rest of the building, it has symmetrically placed Territorial windows.

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## **South**

Little is known about the South elevation’s original appearance, as it wasn’t included in Meem’s drawings. The balance of it, however, has been altered at the ground level, with its long stretch of window wall (Photo 19). This feature was introduced in 1985-86 and, like the east elevation, involved removing exterior walls. The areas bookending the glazed wall are new spaces constructed of concrete masonry units.

The three openings at the west end of the elevation align with Meem’s floor plan. These hold tall 12/16 wood sash with colonial head casings (Photo 20). They historically provided light to the fire station’s apparatus room; similar multi-light Territorial windows penetrate the second story. Stepped cracking reveals this section is original and made of hollow clay tile.

## **Interior**

The 1980s demolition of the central block and southeast section allowed for a completely new floor plan. Gone were the jail cells and corridors of tightly packed offices. This is obvious with just a casual visit to the library.

After moving through double doors on the Washington Avenue side, the visitor enters an enclosed passage, an informal space holding a community bulletin board and racks of free magazines and reading material. The passage has the informality of a mud room.

Beyond a theft control barrier is a light-filled atrium area (Photo 21). The double-height space has a half-circle form and is floored with square tile. Filtered sunlight pours through a light well above (Photo 22). A dog-leg staircase at the right leads to the second floor, which reiterates the half-circle motif with steel railing (23). The remainder of the library is a mixture of new spaces and parts of the old city hall that have been repurposed for library shelving and reading areas.

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### **City Council Chamber/Southwest Reading Room**

Located in a separate room at the northeast corner, the former council chamber retains a high level of integrity along three of its walls, communicating the historic function of the space. It has a dark, calm feeling, conducive to its current use as a reading room and storage area of valuable Southwest books.

The rectangular room has a high ceiling with wood beams running in both directions (Photo 24). The built-up beams are boxed with fascia decorated with carved motifs Meem employed in other important commissions. For decorum, they are topped with uniform boards instead of rustic *latilla*. Suspended from the ceiling are decorative tin lamps (Photo 25). It is unclear if they are original, but they are reminiscent of lighting Meem used for spaces at the University of New Mexico. Meem, or one of his draftsmen, penciled a similar-looking lamp in one of the drawings.

The platform once used by the city council remains, but its railing has been replaced. The paneled door to the exterior also remains, with its bold denticulated pediment. Other decorative elements of the room have been removed or modified.

Beyond the entrance to the Southwest Room is a staircase leading to the second floor (Photo 26). The staircase, with its cement treads and wrought iron railing, is original to building.

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## Historical Overview

### Looking for a Permanent Home

When completed in late 1937, the Santa Fe Municipal Building represented potentially the first time the town’s government functions were under one roof since the colonial period. Built with a New Deal Public Works Administration (PWA) grant, it was designed to centralize city government operations in one building, including police and fire departments and the jail.

During the Spanish colonial period, town administration took place in the *cabildo*, where a town council administered the basic functions of government. As discussed in the Laws of the Indies, this office was to be erected “next to the main plaza” and designed “in a manner that would not embarrass the temple but add to its prestige.”<sup>3</sup> The location of Santa Fe’s *Casa de Cabildo* is not precise, but it is thought to have stood on the west side of the Plaza.

Following the American Conquest, Kearny’s forces took over the Palace of the Governors, using it as their headquarters. The building would also house the first iteration of an American form of town government. The idea of a city hall, separate from territorial government, would arrive only after Santa Fe was incorporated as its own city.

While a local charter in 1851 granted the power to incorporate, Santa Fe’s citizens never acted upon it, relying instead on an ad hoc form of governance.<sup>4</sup> The territorial laws of 1884 included a provision allowing all towns to incorporate, but many communities did

<sup>3</sup> Quoted in Dora P. Crouch, Daniel J. Garr, and Axel I. Mundigo, *Spanish City Planning in North America* (Cambridge: The MIT Press, 1982), 43-44.

<sup>4</sup> John W. Murphey, “Santa Fe Historic Context Study: 1610-1986,” (Historic context prepared for the City of Santa Fe, May 31, 2021, revised), 30-32.

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not have enough residents to meet the population requirement. Albuquerque, with its larger population, incorporated the following year.

Santa Fe boosters, including editors of the *New Mexican*, soon took up the incorporation campaign, with — at first — a reluctant citizenry. A liberal amendment to the law in 1891 made it easier for towns and villages to incorporate, and on June 2, 1891, Santa Fe’s citizenry voted in favor of a municipal government.

However, William T. Thornton — the first mayor under incorporation — and the newly elected city council had no place to meet. They instead gathered at each other’s places of business, starting with Thornton’s attorney’s office on East San Francisco Street.<sup>5</sup>

Newspaper accounts indicate the mayor and city council soon moved their operations to a building on San Francisco Street named Fireman’s Hall. Its precise location is unclear, but by the late 1890s, city staff were using it for their office. An 1897 notice from Charles B. Conklin, the city clerk, stated he maintained his office in the hall, where he issued dog licenses.<sup>6</sup> After Statehood, the council and city offices moved into the Santa Fe County Courthouse — a building designed by Rapp & Rapp on Palace Avenue in 1910.

### **City Hall No. 1**

The wandering city government soon relocated again, taking over what appears to be a later iteration of Fireman’s Hall located on East San Francisco Street, across from what would develop as La Fonda Hotel. The building, depicted on the 1913 Sanborn map, was a two-story brick structure with the fire department on the ground floor (Fig. 2).

In October 1916, the Santa Fe Fire Department Association — the private fire group that owned the building — donated the hall to Santa Fe with the agreement the city would take over its debt. “The City of Santa Fe now has a City Hall,” announced the *New*

<sup>5</sup> “Round About Town,” *Santa Fe New Mexican*, January 5, 1892, 4.

<sup>6</sup> “Dog Licenses,” *Santa Fe New Mexican*, April 24, 1897, 4.

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*Mexican*, emphasizing its significance and likely the first time the term “city hall” had ever been used for Santa Fe.<sup>7</sup>

The following year, the city began a campaign to move the two-story brick building to a new site. Headed by Mayor William G. Sargent, the selected location was a large lot on the corner of Washington Avenue and Marcy, which is shown on the 1912 King’s map to be owned by Sargent.

As indicated by the 1883 Sanborn map, the lot was mostly undeveloped, containing a garden and a three-room adobe near the street (Fig. 1). The move and renovation, which was calculated to cost \$10,000, was put to a vote at the general election on April 2, 1918, and passed. By the month’s end, a track down San Francisco Street was directing the 500-ton building to its new location.<sup>8</sup>

As observed on the 1930 Sanborn map, the relocated city hall stood near the north edge of the property (Fig. 3). A one-story entry porch spanned its front façade, and a wood frame garage stood at the rear. It contained the city’s fire department on the ground floor and government offices on the second. The police department was located elsewhere, in a building on Cathedral Place. Besides containing the functions of municipal government, the lot had a particular use during the fall as the location of the annual Zozobra burning.

### **A New Deal City Hall**

By 1935, the limitations of the repurposed firehouse were apparent. City staff had grown during the Great Depression, and city hall had run out of space. City officials began contemplating a new city hall in the spring of 1935, working with the New Deal Federal Emergency Relief Administration to identify a funding source to build it. They

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<sup>7</sup> “City of Santa Fe Now Has for Sure Enough City Hall,” *Santa Fe New Mexican*, October 7, 1916, 3. The author could find the term “city hall” in the context of Santa Fe used prior to this article.

<sup>8</sup> “Local Items,” *Santa Fe New Mexican*, April 22, 1918, 6.

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landed on the PWA, a public works initiative launched during the National Industrial Recovery Act of 1933.

A pump-priming program, the PWA sought to increase employment and stimulate business activity with large-scale public works projects: dams, reservoirs, sewage plants, and the like. Unlike the Works Progress Administration (WPA), it funded construction through a loan or grant to the recipient community. Santa Fe County had already harnessed the program to build a new courthouse, and nearly a dozen New Mexico communities would use it to erect new city halls or courthouses, all with jails.<sup>9</sup> Nationally, it would fund 629 courthouses and city halls.<sup>10</sup>

In August 1935, the city council voted to build a new municipal building using PWA funds. Under the agreement the PWA would provide a \$54,000 grant, with the city adding \$66,000, allowing for a \$120,000 project. The following year, voters approved a \$75,000 bond for that purpose. The federal agency approved the grant in October 1936.<sup>11</sup>

Architect John Gaw Meem (1894-1983) was tapped to design the building. He had already created a scheme for a combination city hall and library, which had been rejected by voters in 1932 because it included a jail in its basement.<sup>12</sup>

### Meem’s New Deal

At the beginning of the Great Depression, few professional architects were working in Santa Fe. John Gaw Meem had just started his career and operated out of a shed at

<sup>9</sup> David Kammer, “The Historic and Architectural Resources of the New Deal in New Mexico,” (Context statement prepared for the New Mexico Historic Preservation Division, 1994), Appendix

<sup>10</sup> Robert D. Leighninger, *Long-Range Public Investment: The Forgotten Legacy of the New Deal* (Columbia, S.C.: The University of South Carolina Press, 2007), 88 Table 6:2.

<sup>11</sup> Federal Emergency Administration of the Public Works, “Status of Non-Federal Allotted Projects, Region No. 5, New Mexico,” (January 3, 1940), 173.

<sup>12</sup> “To Submit,” *Santa Fe New Mexican*, June 8, 1933, 5.

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Sunmount Sanatorium. In private practice at the time were only Meem and Gordon F. Street, a one-time Meem associate.

The New Deal significantly changed architectural practice in Santa Fe. The vast amount of federal spending on building projects attracted new architects to the state, many of whom would stay after the depression. Locally, this significantly affected the city’s look and infrastructure. It would also seed architectural firms dominating Santa Fe’s architectural scene until the 1950s. Simultaneously, Santa Fe attracted more skilled out-of-state contractors who would bring a larger scale of operation than previously known.

Being in the private sector, Meem could not compete with the State Planning Board for work. The few Works Progress Administration projects Meem worked on were small-town armories. Meem instead found work with the PWA. The New Deal granting agency partnered with private firms, like his, and did not require work-relief labor. PWA projects were generally larger and demanded greater skill and construction expertise. Despite the economic downturn, Meem expanded his office with the PWA work and a small list of private commissions, including several country retreats.

Meem took a deep interest in the design of the new city hall. From project correspondence, it appears it was mainly his creation, with the drawings bearing his personal architectural stamp. The surviving correspondence shows that he was in constant communication with the contractors, suppliers, and government officials.

The letters and other sources indicate that he had great involvement during its construction, demanding specific dimensions for its front portal posts and other details. When the mayor and council city indicated they would not approve \$125 for columns that Meem insisted be better proportioned, the architect paid for them himself.<sup>13</sup>

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<sup>13</sup> “Meem Insists on Correctness in City Hall,” *Santa Fe New Mexican*, June 10, 1937, 1 & 4. This occurred after the building was under construction.

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## A Hybrid Design

First sketched in April 1936, Meem arrived at a hybrid exterior scheme, combining Pueblo-type stepped massing with Territorial symmetry and fenestration. It is unclear who wrote it, but within the project correspondence is a memo outlining the design rationale:

The building as designed reflects the basic forms and the modifications, thus reflecting the history of the region. The flat roofs and the balance of the masses, as distinguished from geometrical symmetry, are derived from the Indians; the plan around the court, or “placita” with adjoining porches or “portals” reflect Spain, and finally the brick cornice (used originally to protect adobe walls), the millwork and the subdivision of the plan, reflect the American occupation and our modern requirements.<sup>14</sup>

Facing west, the deep setback of the double portico and flanking terraced wings gave the feeling of order and authority without the typical symbolism of government from earlier periods. Meem had learned from the Public Welfare Building (1934), an earlier New Deal project, that Pueblo-style window arrangements were not conducive to an office setting and, therefore, used the Territorial vocabulary to create tall, vertically oriented windows.

Functionally, the building would hold every aspect of city government, reflecting a trend during the New Deal to centralize municipal operations. Meem selected a two-story, U-shaped plan that segregated city government functions into discrete zones, each with a separate entrance.

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<sup>14</sup> “Municipal Building for the City of Santa Fe,” no date, 1, Municipal Building, Santa Fe 1936 [File Number 256], General Correspondence, Box 19, Folder 2, John Gaw Meem Job Files, University of New Mexico Center for Southwest Research & Special Collections, University of New Mexico Center, Albuquerque, New Mexico. Hereafter, SFMB, Meem Job File 256.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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His design enclosed a fire station on the south wing, which on the ground floor contained a two-bay garage for four engines, an office, and work and recreation rooms. The firefighters’ quarters were upstairs, with five bedrooms, a living room, a kitchen, and a bath.<sup>15</sup>

The police department dominated the building’s central portion. Their zone included offices, a radio room, a magistrate courtroom (or “Police Court”) on the first floor, a 12-cell jail on the second floor, and a shooting range in the basement.

The north wing along Marcy Street enclosed a double-loaded office suite for several city offices and the Santa Fe Chamber of Commerce. Another peripatetic organization, the Chamber of Commerce, had been lodged in various locations — including, just prior, a much smaller building on Shelby Street.

The city council chamber, with its high, beamed ceiling and elevated seating, took up the northeast corner, and was designed to hold 150 people.

The second story, aside from the jail and firehouse quarters, was divided into city offices and later held the state headquarters of the Federal Housing Authority. Meem, assisted by staff architects Paul R. Hoover (1901-1956) and Truman J. Mathews (1900-1964), completed the drawings in late December 1936.

### **Construction**

Bidding for the project was advertised on December 6, 1936. The bid document called for four alternative proposals, which started with the least expensive construction, moving higher into a comprehensive building package.<sup>16</sup> The least costly, Group I-A, called for building the city hall, minus the jail and sidewalks, and allowed for unfinished

<sup>15</sup> This account represents information found in a c.1940 floor plan and newspaper articles, and somewhat differs from Meem’s original drawings. The following discussion of the building’s programming combines these three sources.

<sup>16</sup> “Welton Builders Next to the Lowest in City Hall Bidding,” *Santa Fe New Mexican*, January 9, 1937, 6.

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second-story offices. The most expensive, Group III, represented a complete project, including the jail, sidewalks, and a finished interior.

As a PWA project, it did not require hiring laborers on relief but specified that workers could not be paid less than minimum wage.<sup>17</sup> The advertisement stated that the Federal Emergency Relief Administration had the right to access and inspect all project and contract records. It additionally specified that the selected contractor had to be able to pay public liability and workers' compensation insurance. And importantly, the project had to be completed in no less than 270 consecutive days, or nine months.<sup>18</sup>

Six bidders submitted. The W. Frank Little Constriction Company of Amarillo was the highest at \$134,295 for the complete package.<sup>19</sup> The lowest, which had to be accepted under federal regulations, was Newstrom & Davis of Denver, which said they could complete the building for \$120,000. Other bidders, including the Lembke Company of Albuquerque and local contractors Welton Builders, also submitted. Newstrom & Davis, who had worked on PWA projects in Colorado, Utah, and Nebraska, were awarded the contract. The company was already in town working on the Wheelwright Museum.

Work began quickly on January 11 to tear down the old city hall. Two weeks later, only a pile of bricks remained.<sup>20</sup> But new construction soon found a foe with frozen ground. The impenetrable earth, as described in one news account, "caused a considerable delay," extending over three months.<sup>21</sup>

Warmer weather in spring permitted digging into the ground, but the contractors found that some soil was too soft to lay a foundation. It required going several feet deeper

<sup>17</sup> "Advertisements for Bids," 2, SFMB, Meem Job File 256.

<sup>18</sup> Ibid, 1.

<sup>19</sup> "Welton Builders Next to the Lowest in City Hall Bidding,"

<sup>20</sup> "Little Remains of City Hall," *Santa Fe New Mexican*, January 23, 1937, 1.

<sup>21</sup> "Work on City Hall Half Done," *Santa Fe New Mexican*, May 6, 1937, 1.

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than specified in the contract. By early May, the foundation had been laid, and the concrete slab between the first and second story was completed.<sup>22</sup>

### **Project Complications**

The city discovered it needed more money in the middle of the project. Rising construction costs led to a decision to shift all funds to the construction account, taking away money to be used for office furniture and equipment. The city raised a supplemental fund of \$10,664 and hoped the PWA would match it, replicating the original agreement. The fund targeted \$9,000 to furnish the council chamber, police court, and 20 offices. The federal government balked at the request, further tightening the project’s budget.<sup>23</sup> Meem donated a portion of his fee to the city to, in his own words, “enable the work to proceed.”<sup>24</sup>

The final piece of the project was the jail cells on the second floor. Newstrom & Davis had contracted with the Pauly Jail Building Company of St. Louis to design the cells. Established in 1856 — and still in business — the company created jail cell structures for city halls and courthouses across the country. The company had already worked in Santa Fe, designing cells for the Rapp & Rapp Santa Fe County Jail (1907-demolished) on Water Street.

In an interesting exchange between Meem and the company, the architect communicated the city’s needs for the jail. The jail required one “bandit-proof [cell] of the highest type of jail construction” and another cell that was padded, allowing the remaining to be of “ordinary construction.”<sup>25</sup> Always conscious of exterior appearances,

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<sup>22</sup> Ibid.

<sup>23</sup> “City Faces Deficit, Says Tax Head,” *Santa Fe New Mexican*, July 17, 1937, 8.

<sup>24</sup> John Gaw Meem, letter to Edward H. Oakley, March 10, 1937, SFMB, Meem Job File 256.

<sup>25</sup> John Gaw Meem, letter to the Pauly Jail Building Company, November 17, 1936, SFMB, Meem Job File 256.

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Meem requested that the steel security bars be placed inside “to make the jail portion as inconspicuous as possible.”<sup>26</sup>

By mid-November, the jail was complete, with only its painting remaining to be done, according to the newspaper.<sup>27</sup> However, a week after the article, Meem sent a letter to the contractor, listing across two pages several dozen items that needed to be completed or adjusted.<sup>28</sup>

Construction concluded on December 8, 1937. Sixty-one days late, and several thousand dollars over budget, the project was done.

### A Deep and Lasting Pride

The Santa Fe Municipal Building was dedicated before its completion on October 31, 1937. At the event — which was attended by over a thousand citizens — Dr. Charles A. Wheeler, president of the city council, remarked that the building represented a “history-making event,” which the city had “looked forward to for a long time.”<sup>29</sup> As expressed by city officials, the hope was that it would instill “every resident of the city may take a deep and lasting pride.”<sup>30</sup> The building later appeared in a government book highlighting notable PWA projects.<sup>31</sup>

As was its goal, the new municipal building housed every aspect of city government under one roof. It included offices for the mayor, city clerk, city attorney, city treasurer, city engineer, city marshal, city building inspector, city sanitary officer, city physician, and as discussed previously, the city fire and police departments. While officially

<sup>26</sup> Ibid.

<sup>27</sup> “Village Gossip,” *Santa Fe New Mexican*, November 11, 1937, 1.

<sup>28</sup> John Gaw Meem, letter to Newstrom & Davis, November 18, 1937, SFMB, Meem Job File 256.

<sup>29</sup> “New City Hall is Dedicated,” *Santa Fe New Mexican*, November 1, 1937, 1.

<sup>30</sup> “Ceremony of Dedication, City Hall, Santa Fe, New Mexico,” c. October 1937 pamphlet.

<sup>31</sup> C. W. Short and R. Stanley Brown, *Public Buildings: Architecture Under the Public Works Administration, 1933-39*. Reprint of 1939 edition (New York: Da Capo Press, Inc., 1986), 29.

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designated the Santa Fe Municipal Building, it was commonly called City Hall, and took on the address 139 Washington Avenue.

Cracks began to appear in this centralization when, just three years later, the planning commission found the fire department to be poorly located. It was, in their estimation, too far away from the growing southside. Fire engines heading south were often met with congestion around the Plaza.<sup>32</sup> In addition, the commission thought it practical to distribute the city’s four fire engines evenly around town. This resulted in relocating a portion of the firehouse in 1948 to a new freestanding building on Montezuma Avenue, designed by John Gaw Meem and Associates.

At some point between 1958 and 1966, as evidenced on aerial photographs, the building gained an addition (Figs. 9 & 10). The larger lot had already been filled with another government building on East Marcy, holding the State Fire Marshal office. Appended to its southeast corner, the two-story addition likely altered the design of the Meem building. The addition itself removed a small physician’s clinic facing Nusbaum Street. Still, the front of city hall remained unchanged (Fig. 8).

It continued to hold city hall for the next decade, still working as a centralized location of government operation. Then, in 1978, it took on a new direction. City Hall had moved out of the building into the old Santa Fe High School on Lincoln Avenue, where it remains.

### **A Jail, Two Courts, and a Library**

The former city hall was retitled the Joseph Berardinelli Municipal Court Building, honoring a longtime municipal judge.<sup>33</sup> It was remodeled in its interior to hold separate

<sup>32</sup> John W. Murphey, “301 Montezuma Avenue, Santa Fe Fire Station No. 2/Montezuma Building,” *New Mexico Historic Cultural Properties Inventory*, (September 2022).

<sup>33</sup> “Old City Hall Renamed,” *Santa Fe New Mexican*, February 3, 1978, A-12.

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areas for municipal and magistrate courts and an expanded police department. The building still housed the city’s jail and took on a new role to hold county inmates.

The Berardinelli Building served this purpose until the early 1980s when it was targeted for a different use — a centralized library. Since the early 1900s, the city’s main library had been in a building across the street. Designed in 1906 by Holt & Hart, Architects and Civil Engineers, it had been reworked by Meem with an addition. Nearly 80 years later, the Santa Fe Public Library had run out of space even after the remodeling and an addition. Conditions were so cramped that librarians could no longer shelve books and often had to hop over stacks of books to move around the library.<sup>34</sup>

After considering several locations — including Marian Hall, a two-story building attached to St. Vincents Hospital — the city selected the Berardinelli Building. But they immediately confronted a problem when a city attorney discovered a territorial-era law that the city would lose ownership of the original library if it no longer served that purpose.<sup>35</sup> Resolving the issue through the legislature, the city turned to raising funds to renovate the old city hall into a modern library. With escalating cost estimates, some called for the Berardinelli Building to be demolished, and to start anew. Complicating progress was the need to find new locations for the police department and the city-county jail.

The city council instead approved a renovation project in 1982, to be paid for with capital improvements funds. The project (C.I.P. Project No. 101) was advertised in July 1985, with Mimbres, Inc. awarded the contract. Incorporated in Albuquerque in 1973, the architectural, planning, and engineering group was headed by Arthur E. Trujillo, a well-connected Democratic politician who had served as Santa Fe’s mayor just three years prior. The firm had won many state contracts and specialized in educational

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<sup>34</sup> Peter Eichstaedt, “City Library Suffers from Old Problem,” *Santa Fe New Mexican*, March 28, 1982, A-3.

<sup>35</sup> “City Bill Gets Green Light,” *Santa Fe New Mexican*, March 2, 1983, 1.

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buildings. It is unclear who designed the renovation, but architects Kas Germanas and Joe Browning were associated with the firm at the time.

The \$4 million project commenced soon after, starting with tearing down the central block (Fig. 12). As discussed earlier, the renovation project involved significant changes to both the exterior and interior. With the former, a new balcony was introduced to the east elevation of the second floor where jail cells once stood. The east and south elevations, which represented new construction, received long sections of window walls to deliver light to reading areas and the basement.

Except for the former city council chamber, the entire interior was reworked. Floors had to be fortified to hold the weight of books, and a double-height atrium space was introduced at the front of the building.

The reworked building, dubbed the Main Library, opened in January 1987. It was 30,000 square feet larger (or more than three times the size) of the previous location across the street. It boasted many modern advances, light-filled areas, and even a cozy fireplace in the children’s section. The library services director, Marci Litzenberg, predicted, “It will be our main library for the next 100 years.”<sup>36</sup>

### **Appraisal of Significance**

Meem’s design of the Municipal Building was a gift to Washington Avenue — and to Santa Fe. Its balance was impeccable, if not stringent, and with its stepped massing it enclosed more space than seen from the street. The courtyard form and stepped façade were inviting, drawing citizens into the building to conduct their business. Its mixture of regional architectural influences was reassuring and did not demand respect, in contrast

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<sup>36</sup> Bob Quick, “Time is Nigh for Moving into the New City Public Library,” *Santa Fe New Mexican*, December 21, 1986, B-3.

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to the New Mexico Supreme Court Building — another PWA project built the same year after a design by Gordon F. Street. In many ways, the Municipal Building represents Vitruvius’ principles of firmness and utility.

Yet, this building has been added upon, partially demolished, and reconstructed.

The Main Library could be considered a successful adaptive reuse project. But there are infractions involved in the 1980s renovation that, when viewed through the lens of the Santa Fe Historic District Ordinance, tear away its success.

In basic terms, nearly 55% of the building’s gross footprint represents new construction completed in 1986. This includes the majority of its two-story core block and south elevation. Another preservation shibboleth is the false presentation of historical development. The east and west upper story façades give a false sense of historical design, having introduced new fenestration and (on the east) a balcony that was not present in 1937.

Viewed through this restrictive lens, the Municipal Building has lost integrity. By this token, the building would not be eligible under National Register Criterion C and would likely not contribute to the historic district for the same reason.

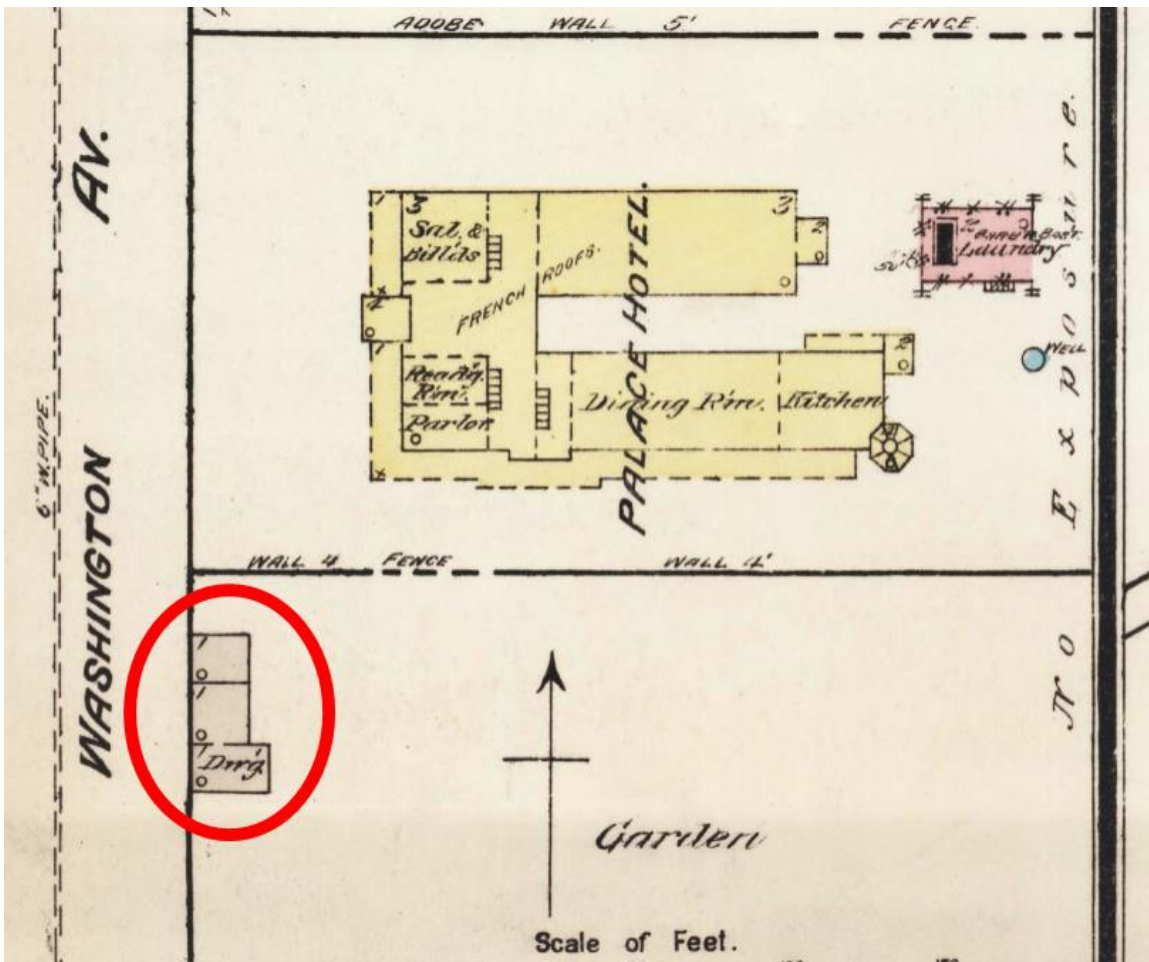
The Municipal Building, however, holds great importance to the history of the City of Santa Fe and the New Deal’s impact on its urban landscape. Looking at the building with National Register Criterion A in mind, it has sufficient integrity to communicate this history and significance.

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## Illustrations



**Figure 1: 1883 Sanborn Fire Insurance Company map showing adobe dwelling located at what is current northwest corner of property.**

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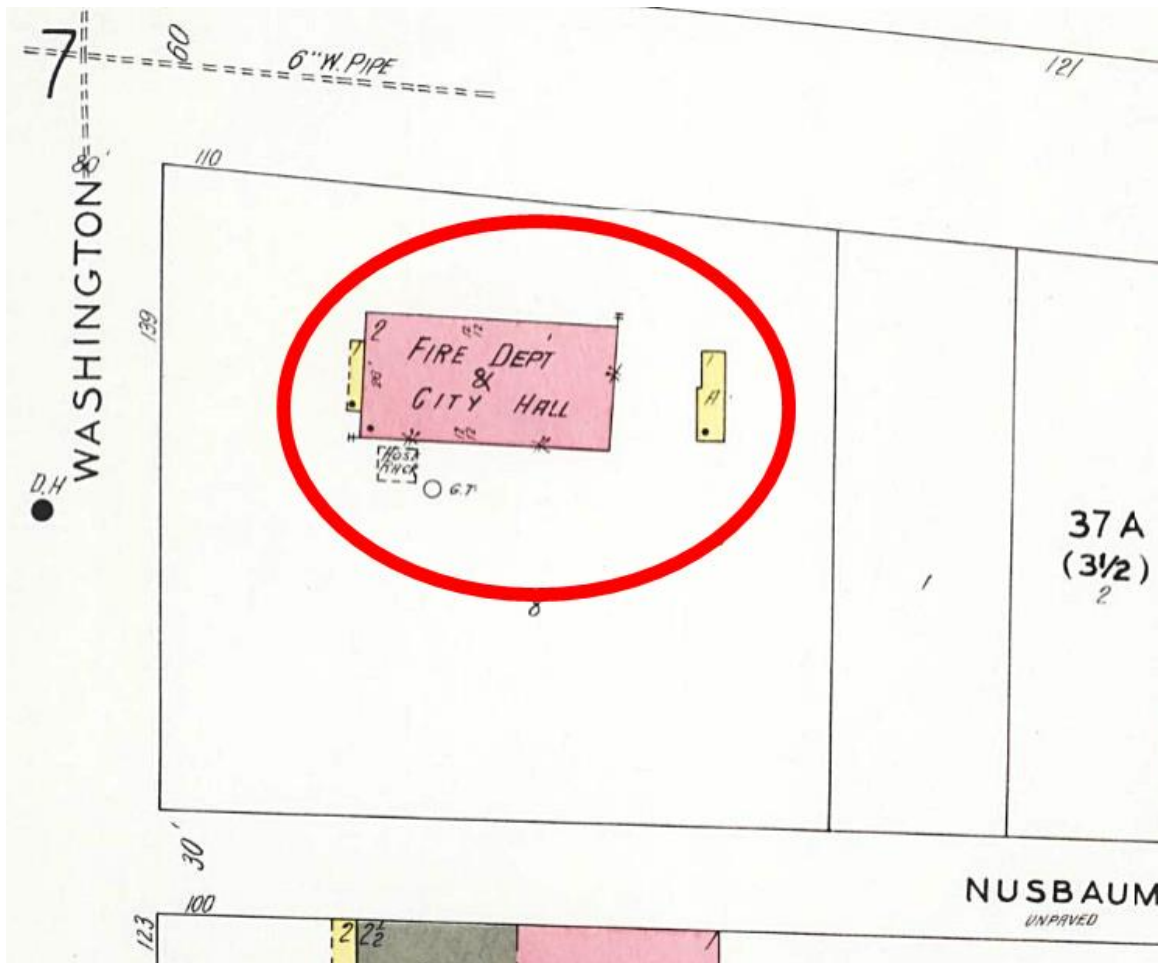


**Figure 2: 1913 Sanborn Fire Insurance Company map showing the Fire Hall on East San Francisco Street that would be physically relocated to the present site to become City Hall.**

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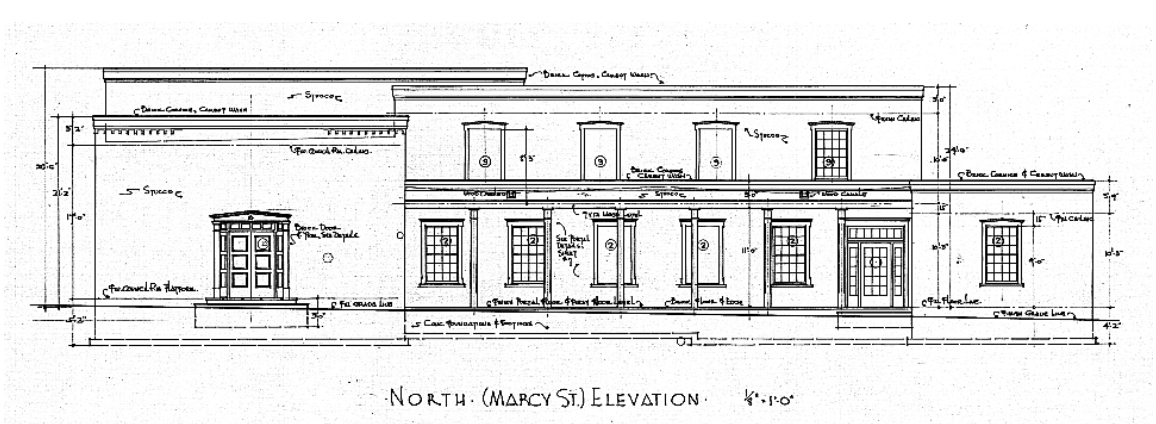
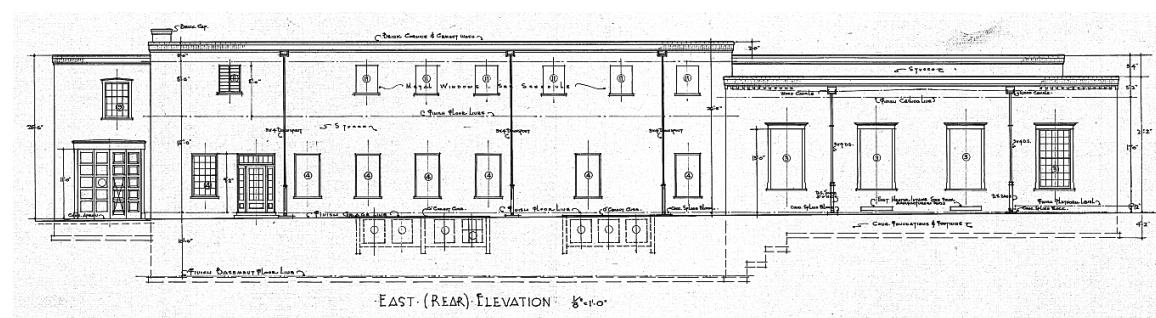
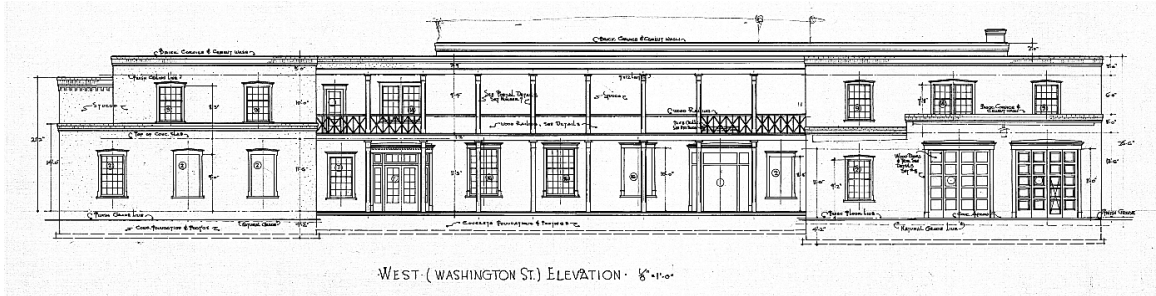


**Figure 3: 1930 Sanborn Fire Insurance Company map showing relocated Fire Hall.**

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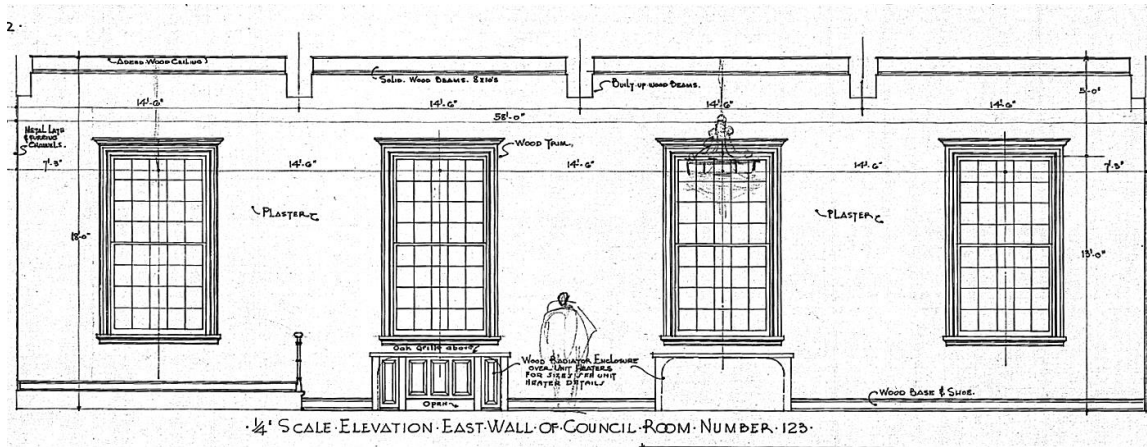


**Figure 4: Principal elevation drawings. Top, west, middle, north, bottom, east. December 23, 1936, Meem Job File 256. Courtesy University of New Mexico Center for Southwest Research & Special Collections, University of New Mexico Center, Albuquerque, New Mexico.**

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**Figure 5: Detail of City Council Chamber. December 23, 1936, Meem Job File 256. Courtesy University of New Mexico Center for Southwest Research & Special Collections, University of New Mexico Center, Albuquerque, New Mexico.**

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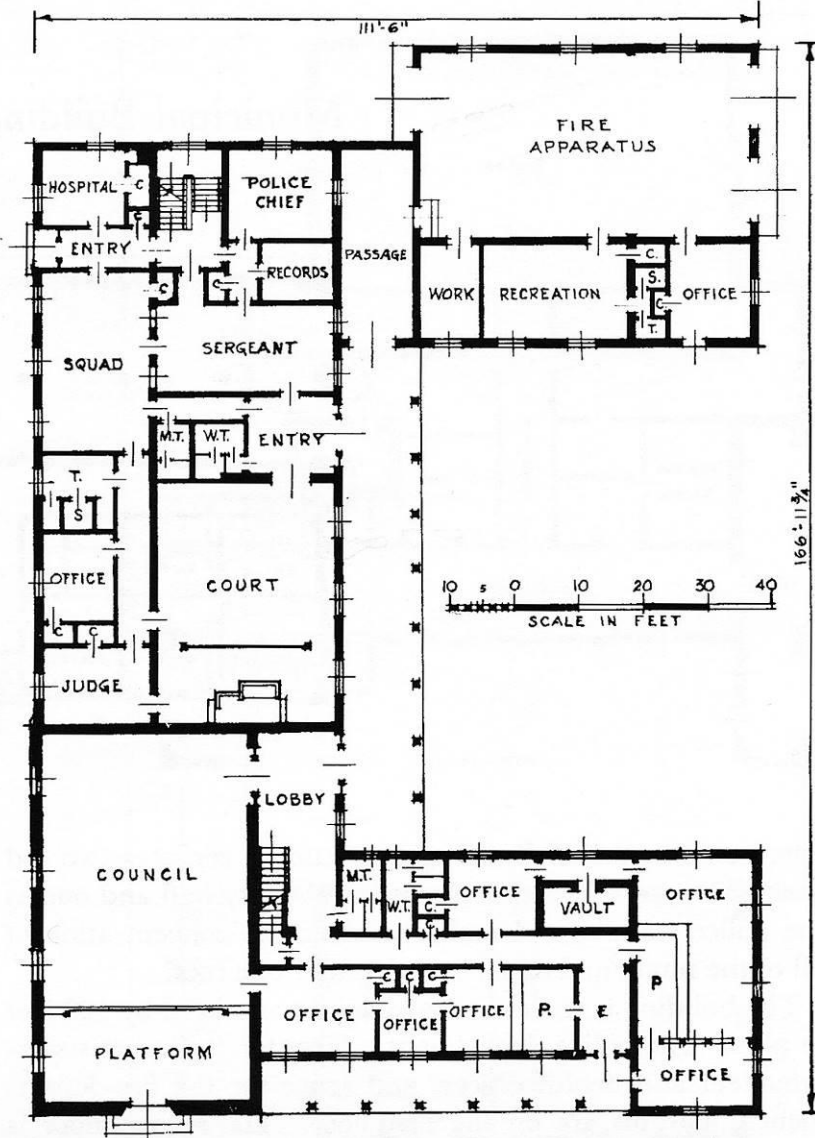


Figure 6: c. 1939 ground floor plan. Courtesy Da Capo Press.

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**Figure 7: c.1939 photograph of north and west elevations. Da Capo Press.**

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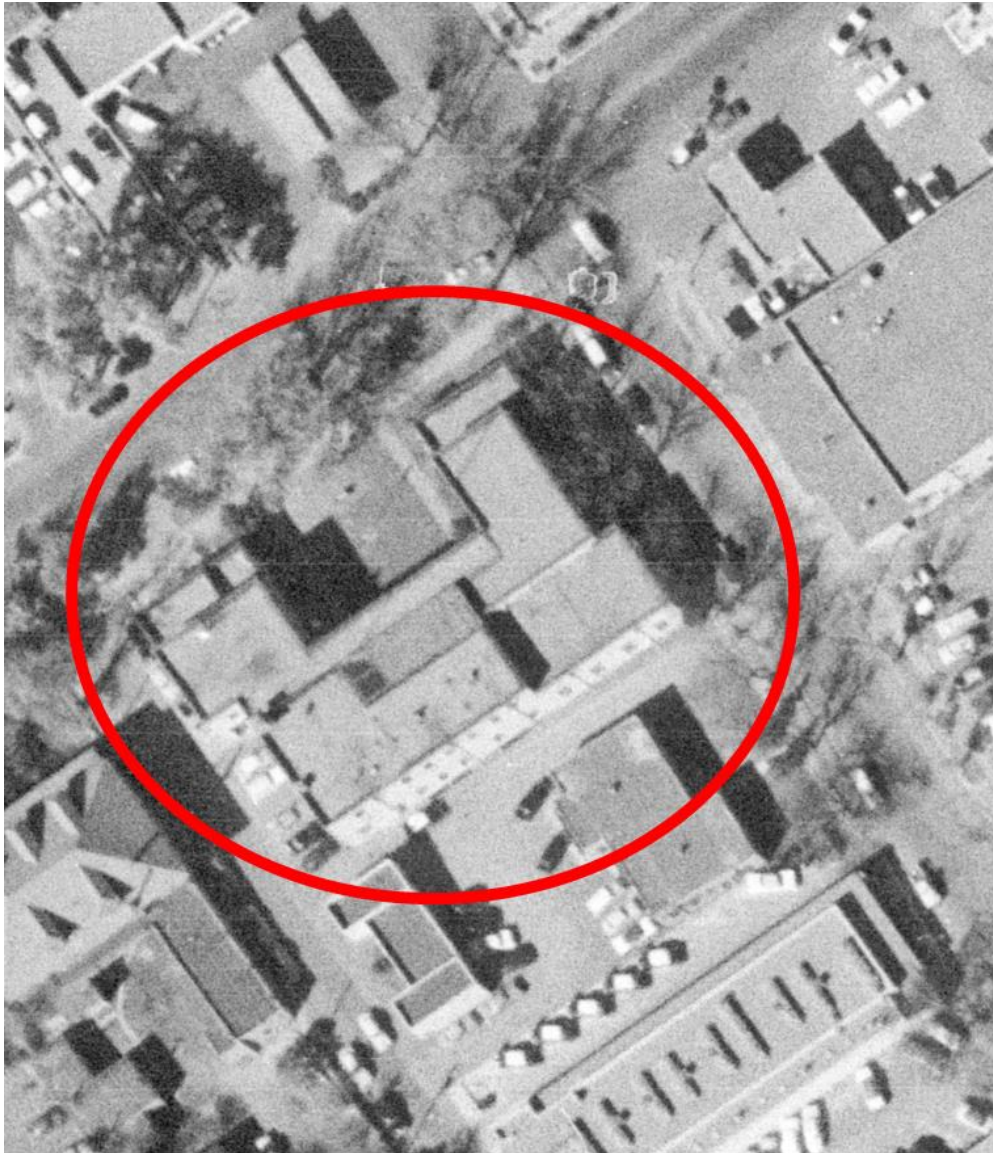


**Figure 8: c.1950s photograph of façade. Author’s collection.**

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<b>3. Local Reference Number:</b> Santa Fe ID: H-3540	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> July 25 & 26, 2023	



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria A B C D	
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**Figure 9: 1958 aerial photograph. Note the original window pattern across the east elevation.**



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HCPI No. _____	District No. _____      NRHP    SRCP    Criteria    A   B   C   D	
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**Figure 10: 1966 aerial photograph. Note two-story addition attached to southeast corner.**



**Figure 11: Extant fire station bays. Note on left, the building's center block has been mostly removed. Construction photographs, November 11, 1985. Courtesy City of Santa Fe.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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		<b>4. County:</b> Santa Fe
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**Figure 12: Demolition of center block and 1960s southeast corner addition. Construction photographs, November 11, 1985. Courtesy City of Santa Fe.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 25 & 26, 2023			

## Survey Photographs

(All images taken by John W. Murphey, July-August, 2023)



**Photo 2: West (front) façade. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Photo 3: West (front) façade, portico. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Santa Fe Municipal Building - Santa Fe Main Public Library	<b>2. Location:</b>  145 Washington Avenue Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-3540			
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		<b>5. Date of Survey:</b> July 25 & 26, 2023			



**Photo 4: West (front) façade, north entry. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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**Photo 5: West (front) façade, south wing. Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 6: West (front) façade, south wing, former fire station bays. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 25 & 26, 2023			



**Photo 7: West (front) façade, north wing and north elevation. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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**Photo 8: North elevation, portico. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 9: North elevation, entry. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 10: Window details.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>5. Date of Survey:</b> July 25 & 26, 2023



**Photo 11: North elevation, former entrance to City Council Chamber. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: July 25 &amp; 26, 2023</b>			



**Photo 12: Window details.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 13: East elevation. 1980s loading dock area (center); former City Council Chamber (right). Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 14. East elevation. Area left of white area is 1980s construction. Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 15: East elevation. Two-story center block represents 1980s construction. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 16: East elevation window wall and entry. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Photo 17: East elevation, window and wall post. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP _____	SRCP _____
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**Photo 18: Southeast corner. Camera facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 19. South elevation. Area at center is 1980s construction. Camera facing northwest.**

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**Photo 20: East elevation, southwest corner, representing original construction. Camera facing northeast.**

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**Photo 21: Ground floor circulation area. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 22: Double-height space and skylight. Camera facing up.**

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**Photo 23: Second story gallery. Camera facing northwest.**

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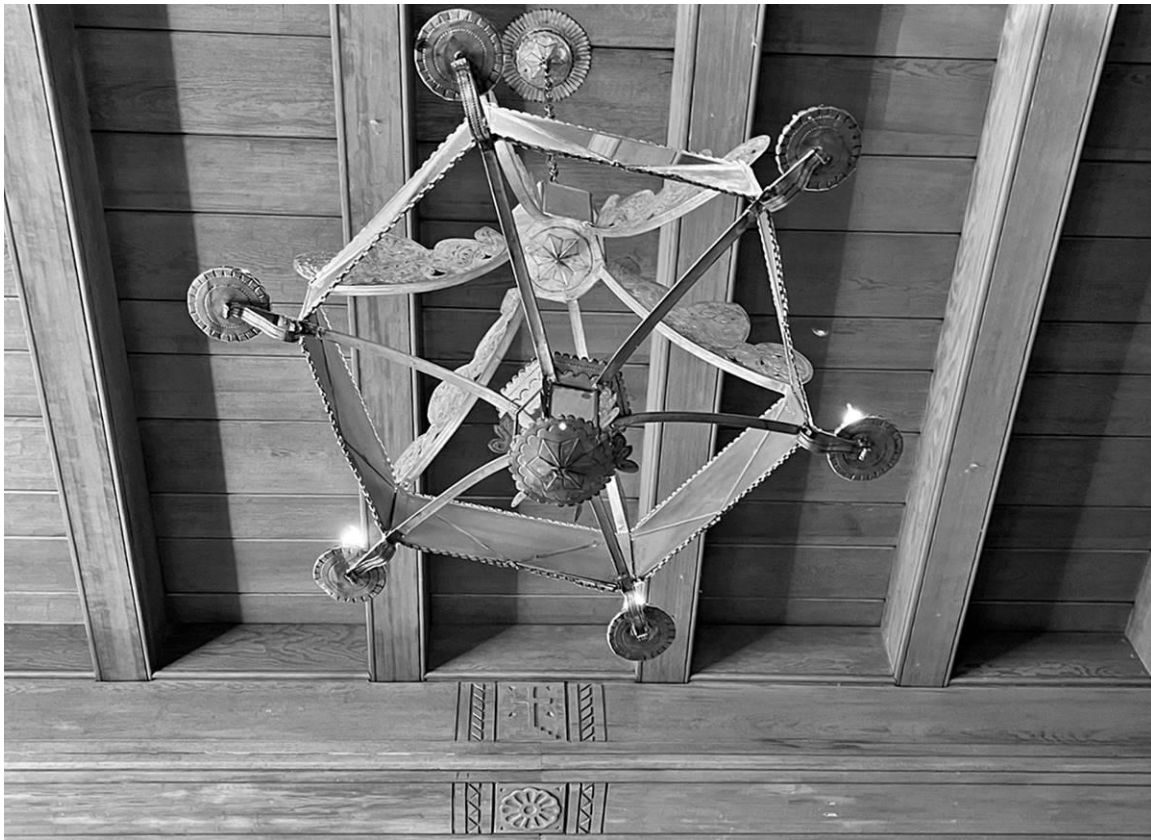


**Photo 24: Ground floor, Southwest Reading Room, formerly the City Council Chamber. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 25: Ground floor, Southwest Reading Room, formerly the City Council Chamber, tin lamp. Camera facing up.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 26: Original 1937 staircase. Camera facing up.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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## Appendix I: Project Details

### Santa Fe Municipal Building, 1937

**Federal Emergency Administration of the Public Works No. N.M. 1035-D**

#### Project Timeline

- December 5, 1936 – Bids open on bond issue
- December 23, 1936 – Building plans completed
- January 8, 1937 – Newstrom & Davis bid accepted
- January 8, 1937 - Federal Emergency Administration of Public Works contract awarded
- January 11, 1937 – Work commences
- October 31, 1937 – Opening ceremony
- November 19, 1937 – City Council accepts building
- December 8, 1937 – Work completed

#### Project Team

- Architect: John Gaw Meem
- General Contractor: Newstrom & Davis, Denver
- Roofing: Standard Roof Company, Albuquerque
- Plumbing and Heating: Butter and Foley Plumbing and Heating Company, Santa Fe
- Electrical: Prokosh Electric Company, Santa Fe
- Jail Design: Pauly Jail Building Company, St. Louis
- Painting and Decoration: T. O. Coleman, Denver
- Flooring: Broome Furniture Company, Santa Fe
- Lumber and Materials: Empire and Big Joe Company Lumber Company, Santa Fe

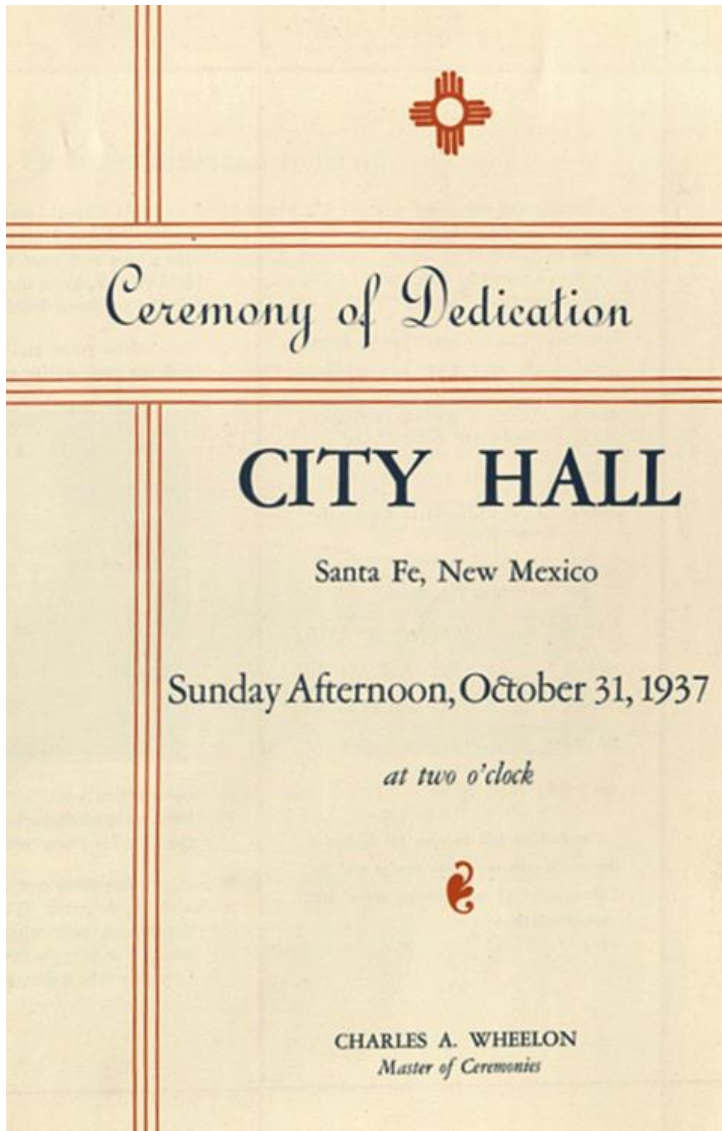
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**Project Costs**

\$130,744.89, total cost  
 \$129,501.00, project cost  
 \$121,028.37, construction cost  
 \$7,260.00, architect's fee





# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2023-007677--HDRB

**Project Description:** 2023-007677-HDRB. 435 Calle la Paz. Downtown and Eastside Historic District. Contributing and non-stated. Martinez Architecture Studio, agent for Doug and Sarah Brown, owners, requests primary façade designation for the main residence and a historic status review with primary facade(s) designation, for the garage.

**Project Location(s):** 435 CALLE LA PAZ  
Santa Fe, NM 87505

**Contacts:**

Property Owner: Doug and Sarah Brown

studio@martinezarch.com

**Historic District:** HD: Downtown And Eastside

**Historic Building Status:**

Non-Statued:                      Non-Contributing:                      Contributing: True                      Significant/Landmark:

**Primary Elevations:**

**Publicly Visible Facade-East:** Yes

**Publicly Visible Facade-North:**

**Publicly Visible Facade-South:** Yes

**Publicly Visible Facade-West:** Yes

**Historic District Inventory Number:** H642

**Year of Construction:** by 1938

**Project Type:** Historic Status Review

**Historic Building Name:** Moya House

# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Lani McCulley, Senior Planner, Historic Preservation Division

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**2023-007677-HDRB. 435 Calle la Paz.** Downtown & Eastside Historic District. Contributing and non-statused. Martinez Architecture Studio, agent for Doug and Sarah Brown, owners, requests primary façade designation for the contributing residential structure and a historic status review with primary facade(s) designation, if applicable, for a non-statused accessory structure.

#### **REFERENCE ATTACHMENTS (Sequentially):**

##### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [façade map]

##### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [2023 HCPI]

#### **STAFF RECOMMENDATION:**

Staff recommends the primary façade of the residential structure be the south façade of the 1939 structure, façade 9, including the portal due to it being an unaltered portion of the original historic structure with architectural features such as the boxed beams with a tongue-and-groove ceiling and that the garage structure be designated as contributing with the west street facing façade, façade G4, as primary based on the proof of the viga framework, brick cornice on the roof, and adobe structure per 14-5.2(C) Designation of Significant and Contributing Structures.

#### **BACKGROUND & SUMMARY:**

The property at 435 Calle la Paz is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The residence is currently 1,927 sq. ft. with a 1930s original portion and a 680 sq. ft. 1969 addition. The residence is constructed of adobe, hollow clay tile, and frame

(1969 addition) and has a deteriorated stucco brocade finish. The residence has two main entrances. There is one at the northwest corner and one on the south façade of the original building. The entrance on the south opens to a gravel yard and is graced with a well-proportioned portal. The entrance on the northwest corner is stuck behind the garage and was created as part of the 1969 addition work as there previously were windows in this facade. All windows are aluminum slider windows installed as part of the 1969 addition construction.

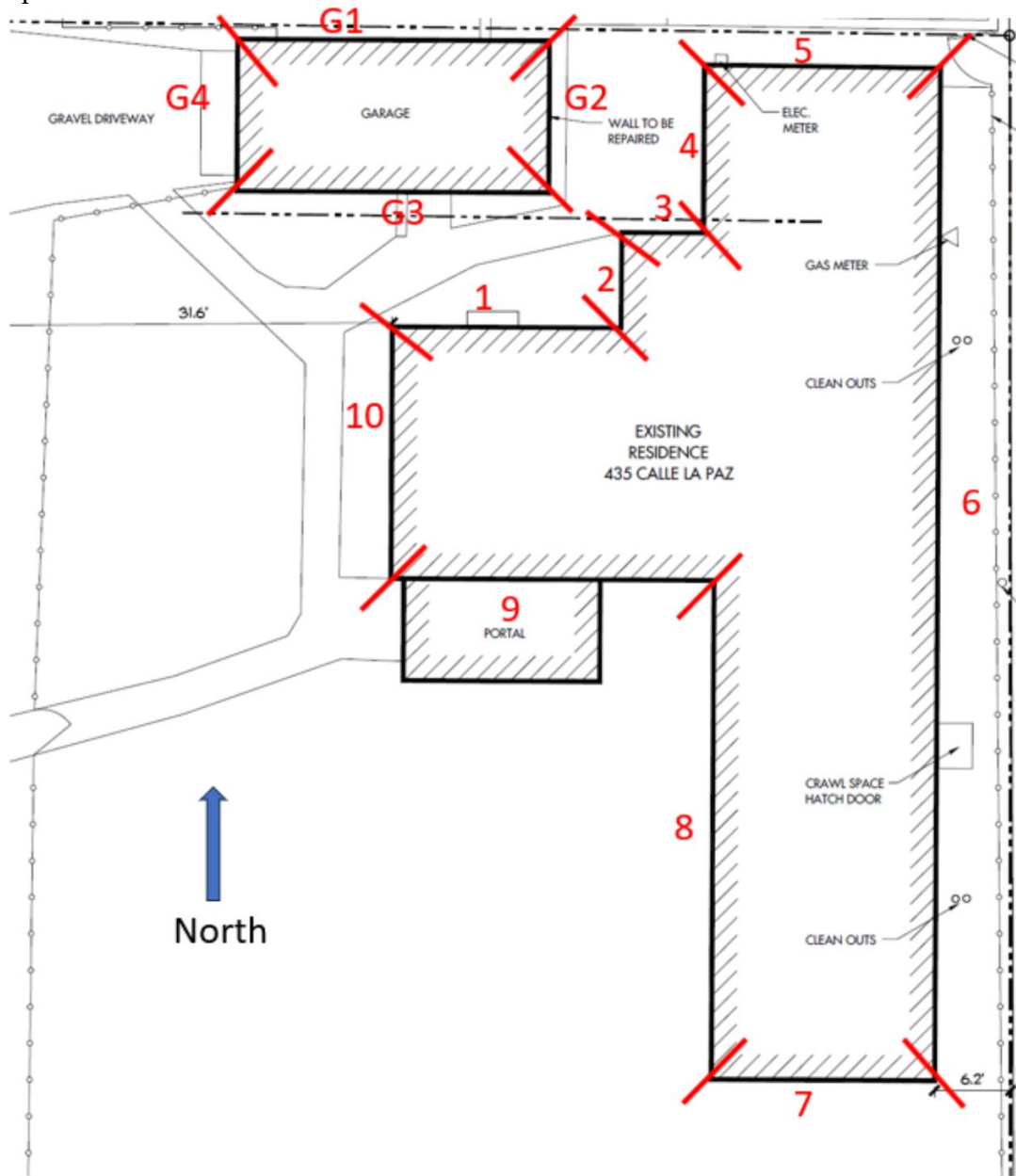


The 1969 addition resulted in significant changes to the older home. These involved across the exterior, replacing all the older wood multi-light sash windows with aluminum sliding units. The change of windows resulted in new fenestration added to the east elevation, removing the front door, and shifting it to another location. In addition, several rooms in the older adobe portion were reworked, and a bump-out closet was removed. The entire house was covered with brocade stucco, which was popular at the time.

Positioned near the northwest corner of the lot and facing west stands a deteriorating 288 sq. ft. adobe one-car garage. The garage is about 38” from the north property wall. It has a modern metal overhead door which was installed as part of the 1969 remodel. A brick cornice with a header-rowlock-stretcher-header pattern crowns its roof. There are remnants that suggest a viga framework. An old wood panel door provides pedestrian entrance on the south façade. A concrete floor and plaster to the walls were added in the 2000s.

Currently, the applicant is requesting primary façade designation for the residential structure and status review with primary façade designation, if applicable, for the garage structure.

Façade Map:



## **RELEVANT CODE CITATIONS:**

### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture, and material between buildings of historic design and those of more modern design.

### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

#### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

### 14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period, or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

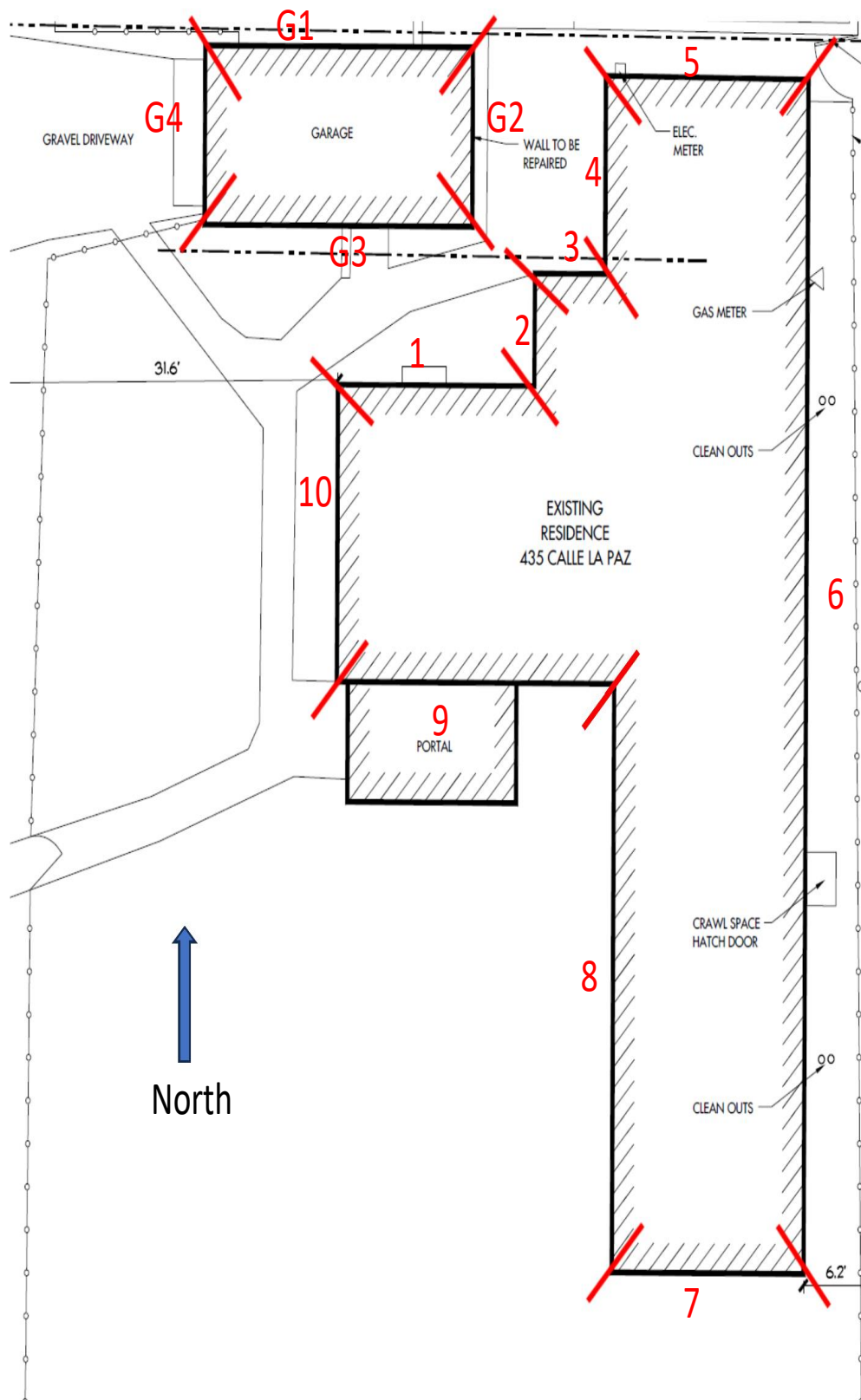
- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
  - (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
  - (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
  - (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
  - (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and
- (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Garage  
Recommended  
Primary  
West G4

Main Residence:  
Recommended  
Primary  
South façade 9  
including portal



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

H642

ADDRESS: 435 Calle la Paz Camino del Monte Sol National Historic District		ID NUMBER: 051600052
UTM REFERENCE EASTING NORTHING ZONE 12 13		LEGAL DESCRIPTION: TNSP <u>17</u> N <u>3</u> RANGE <u>9</u> E <u>3</u> SEC <u>30</u> NW <u>1/4</u> <u>NW</u> 1/4
IDENTIFICATION	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85	
	DATE OF CONSTRUCTION: _____ ESTIMATE <sup>by</sup> <u>1938</u> ACTUAL	
	SOURCE(S) <u>city directory</u>	
BUILDING DATA	ARCHITECTURAL STYLE: Spanish/Pueblo Revival/ Territorial Revival	PHOTO #14 south elevation
	USE:  HISTORIC: <u>residential</u> OTHER _____  PRESENT: <u>residential</u> OTHER _____	
	SURROUNDINGS: . residential	
	RELATIONSHIP TO HISTORIC SURROUNDINGS:  <input checked="" type="checkbox"/> SIMILAR _____ NOT SIMILAR	
SIGNIFICANCE	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES _____ NO	SITE PLAN 
	WHAT TYPE? <u>garage</u> IF INVENTORIED, LIST ID NUMBER(S)	
	DEGREE OF REMODELING: _____ MINOR <input checked="" type="checkbox"/> MODERATE _____ MAJOR	
SIGNIFICANCE	EXPLAIN: <u>modern aluminum sliding windows</u>	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES _____ NO _____ ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING _____ NON-CONTRIBUTING  LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES _____ NO _____ ELIGIBLE <u>Contributing</u> LOCAL DESIGNATION: <u>Core</u> _____ HISTORIC DISTRICT _____ SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING _____ NON-CONTRIBUTING LOCAL LANDMARK _____ YES _____ NO
	OVERALL CONDITION: _____ EXCELLENT <input checked="" type="checkbox"/> GOOD _____ FAIR _____ DETERIORATED	
BUILDING THREATENED? _____ YES <input checked="" type="checkbox"/> NO		

SURVEYED 8/91 BY DB/MG

NEGATIVES WITH NMHPD ROLL # MG8 NEG # 14 TO 19

ARCHITECTURAL AND LANDSCAPE FEATURES

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	stucco	
FOUNDATIONS	not visible	
DOORS	T&G, wood panel, metal screens	
WINDOWS	aluminum sliders	aluminum sliders
PORTALES		
CANALES		
PORCHES	stucco posts, T&G over square beams	
BALCONIES		
ROOFS	flat with plain parapet & flat with narrow overhang &	exposed rafters, brick parapet on garage
COURTYARDS		
FENCES/WALLS	wire, chain link	
ARCH. DETAILS		
OTHER		

**COMMENTS** Survey plat 1930 shows no improvements. Number first appears 1938. Garage is stylistically similar to 433. This and proximity indicate that it may at one time have been associated with 433.

ADDITIONAL PHOTOGRAPHS



#19 east elevation



#18 garage - west

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION	ADDRESS 435 Calle la Paz Camino del Monte Sol National Historic District	ID NUMBER 051600052
		SURVEYED/RESEARCHED
		DATE 8/91 BY DB



#16 north elevation

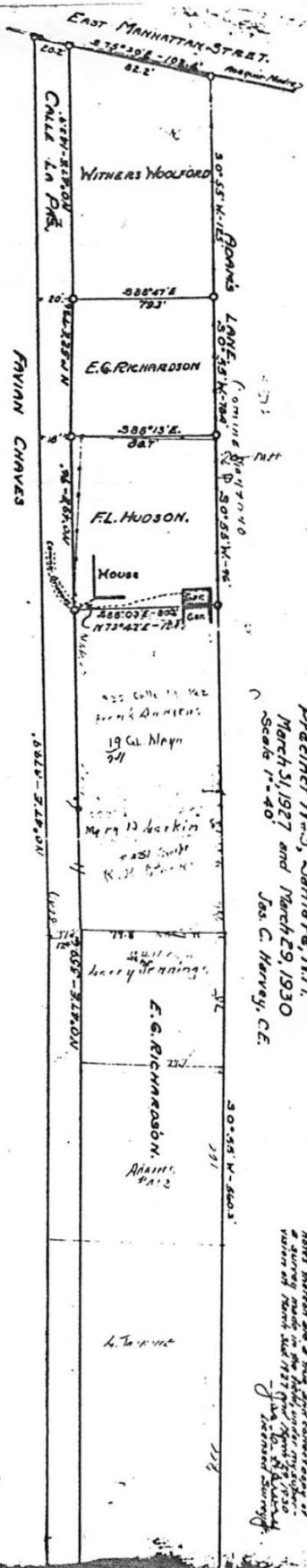


#15 west facade of north wing



#17 from northwest

123-4151-1-2-3-4-5-6-7-8-9-10-11-12-13-14-15-16-17-18-19-20-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100



**TRACT of LAND**  
 SURVEYED FOR  
**E.G. RICHARDSON**  
 Precinct No. 5, Santa Fe, N.M.  
 March 31, 1927 and March 29, 1930  
 Scale 1" = 40'  
 Jas. C. Harvey, C.E.

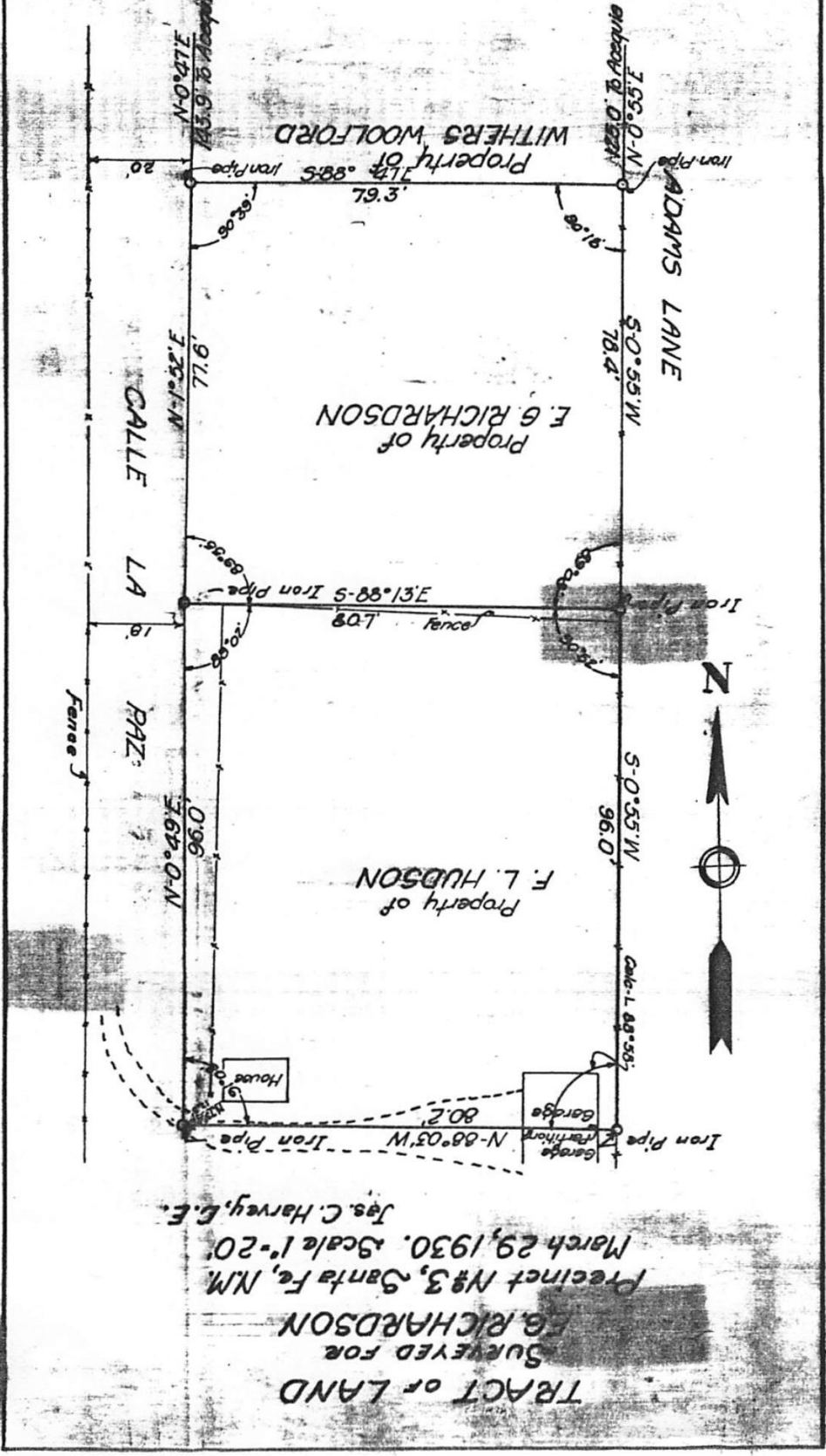
**AMENDED CERTIFICATE**  
 The from Northwest corner by of EL HUDSON in the following N 75° 52' 7" E 77.0 ft.  
 Hence N 75° 52' 7" E 77.0 ft. to N 75° 52' 7" E 77.0 ft. to N 75° 52' 7" E 77.0 ft. to N 75° 52' 7" E 77.0 ft.  
 and on known streets. The above is true and correct to the best of my knowledge  
 and belief. Dated March 19th 1960.  
 James C. Harvey

**CERTIFICATE**  
 I have examined the plat  
 notes and a true and correct copy  
 of a survey made in the field by James C. Harvey  
 and from the notes and plat I have  
 prepared this certificate.

AMID. AR-14

AR-142.

**CERTIFICATE**  
 I hereby certify that this plat  
 and the field notes thereon are  
 true and correct copies of the  
 made in the field under my  
 supervision on March 29, 1930.  
 J. C. Harvey



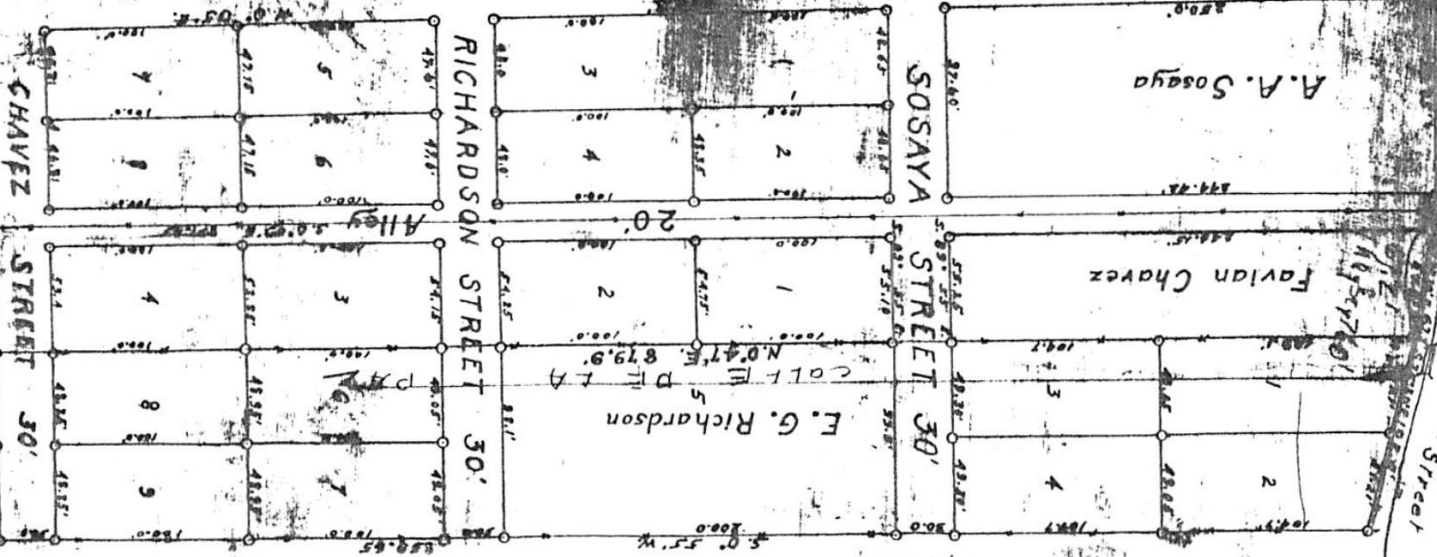
**TRACT OF LAND**  
 SURVEYED FOR  
 E. G. RICHARDSON  
 Precinct No. 3, Santa Fe, N.M.  
 March 29, 1930. Scale 1"=20'  
 J. C. Harvey, D.E.

Verdine

I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
 My Comm. Expires 12/31/2012  
 J. Q. Adams  
 Surveyor  
 License No. 12345

Mrs. E. J. Foyas

4<sup>th</sup> San Antonio Street


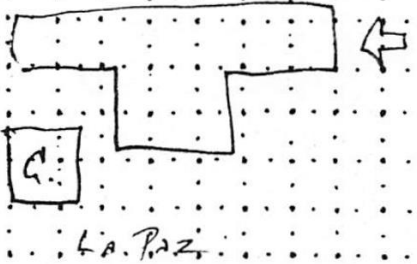


J. Q. Adams

True North

TRACT OF LAND  
 SURVEYED BY  
 J. Q. ADAMS

Attachment B  
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes		surveyed date 7-6-83 by <u>m b</u>	county <u>Santa Fe</u>	ID no. <u>0516 00052</u>
field map <u>Santa Fe, N.M.</u>		number <u>1</u>	UTM reference easting zone 12 13	
location description <u>435 La Paz</u>			city/town <u>Santa Fe</u>	
			land grant/reservation	
building name		legal description tnsp <u>17 N</u> range <u>9 E</u> sec <u>30</u> NW $\frac{1}{2}$ NW $\frac{1}{2}$		
film roll by <u>m</u> no. <u>4</u>	negative nos. <u># 2</u>	loc. of neg. <u>HPB</u>	plan shape	
				
			<u>La Paz</u>	
			date of construction <u>1944</u> estimate _____ actual _____	
			source <u>Postcard 1944 Directory</u>	
			use	
			present <u>residential</u>	
			other _____	
			historic <u>residential</u>	
			other _____	
			condition	
			_____ excellent <input checked="" type="checkbox"/> good	
			_____ fair _____ deteriorating	
style <u>Spanish</u> <u>Pueblo</u> <u>Vernacular</u>		foundation material <u>N.V.</u>		
		wall material/surface <u>Stucco</u>		
architectural features <u>Windows - aluminum casement</u>			degree of remodeling	
			<input checked="" type="checkbox"/> minor _____ moderate _____ major	
			describe:	
			surroundings <u>Residential</u>	
			relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
			district potential <input checked="" type="checkbox"/> yes <input checked="" type="checkbox"/> no	
			significance _____ eligible <input checked="" type="checkbox"/> of _____ none	
			if eligible, interest	
comments <u>Garage Territorial &amp; may be assoc w</u> <u>#433 La Paz</u>			why? <u>Compatible stylistically</u>	
			associated buildings? <input checked="" type="checkbox"/> yes	
			what type? <u>Garage</u>	
			if inventoried, list ID nos.	
			see back? _____ yes	

Streetscape

wall  
 hedge  
 wire fence  
 wood fence  
 landscape  
 street trees  
 stone curb  
 0 setback  
 acquila

A R C H I T E C T U R E  
M A R T I N E Z  
S T U D I O P C

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504  
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

**STATUS REVIEW – Calle La Paz Residence**

**435 Calle La Paz**

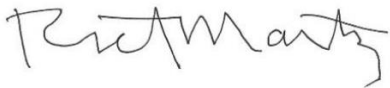
November 22, 2023

Downtown/Eastside Historic District, Contributing status

**EXISTING CONDITIONS:**

On behalf of the property owners, Doug and Sarah Brown, the attached application requests a status review and primary elevation designation of the above-referenced property.

Sincerely,




Richard Martinez  
Martinez Architecture Studio PC

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

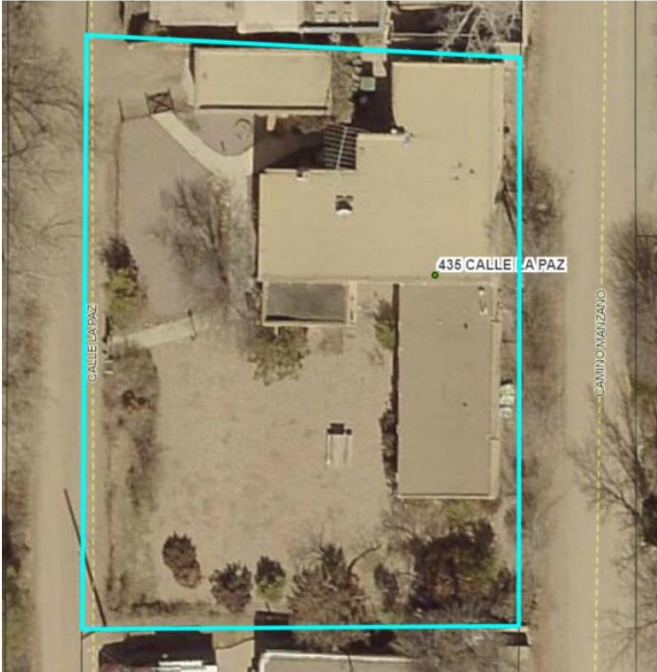
Date of Form: November 2, 2023; Revised November 8, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Lawson Property/ Guadalupe and Frances Moya House	<b>2. Location:</b>  435 Calle la Paz Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-642  <b>4. County: Santa Fe</b> Parcel # 11805312
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 2 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> October 11, 2023		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: July 6, 1983; 1991 <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Evaluation		
<b>9. Lat/Long:</b> 35.6790079,-105.9294564		
<b>10. Photo Information:</b> John W. Murphey, photographer.      Photo 1: Combined south elevation, facing northeast.		
<b>11. Brief Description of the Property:</b>  The house at 435 Calle la Paz is essentially made of two parts: a compact L-shaped dwelling constructed in the 1930s, and a shoebox extension (a bedroom wing) which was added in 1969 (Photo 1)(Fig. 1). Together, the home holds about 1,927 square feet under a single roof. The composite house has three bedrooms, two baths, and the usual arrangement of domestic spaces. It is made of adobe, hollow clay tile, and frame and has a deteriorated stucco brocade finish. All windows are aluminum and of a sliding operation. The property includes an adobe one-car garage topped with a brick cornice.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> Date Late 1930s with 1969 south Bedroom Wing Addition <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated    Source: city directories, deeds, aerial photographs, and newspaper notice of building permit		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban    If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines may not be accurate*



**17. Surveyor:**  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
 John@archhistoryservices.com

For: Martinez Architecture Studio PC

**18. Owner (if known) and other knowledgeable people:**

Current owner: Douglas S. and Sarah B. Brown  
 Revocable Trust

Margaret (Moya) Beckman

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing: House  Non-contributing  No Status: Garage  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

**24. Supplemental Forms:**

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																							
		NRHP	SRCP	Criteria	A B C D																																				
<b>1. Name of property:</b>  Lawson Property/ Guadalupe and Frances Moya House		<b>2. Location:</b>  435 Calle la Paz Downtown and Eastside Historic District - Santa Fe		<b>3. Local Reference Number:</b> Santa Fe ID: H-642																																					
				<b>4. County:</b> Santa Fe																																					
				<b>5. Date of Survey:</b> October 11, 2023																																					
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																									
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input checked="" type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame				<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____																																					
				<b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																																					
				<b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed <input type="checkbox"/> Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																					
<b>10. Window Types</b> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="font-size: small;">Operation</th> <th style="font-size: small;">Material</th> <th style="font-size: small;">Glazing</th> <th style="font-size: small;">Number</th> </tr> </thead> <tbody> <tr> <td style="font-size: small;">Sliding</td> <td style="font-size: small;">Aluminum</td> <td style="font-size: small;">1-1</td> <td style="font-size: small;">12</td> </tr> <tr> <td style="font-size: small;">Combination</td> <td style="font-size: small;">Aluminum</td> <td style="font-size: small;">1C-1F-1C</td> <td style="font-size: small;">4</td> </tr> </tbody> </table>				Operation	Material	Glazing	Number	Sliding	Aluminum	1-1	12	Combination	Aluminum	1C-1F-1C	4	<b>11. Door Types</b> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="font-size: small;">Type</th> <th style="font-size: small;">Style</th> <th style="font-size: small;">Material</th> <th style="font-size: small;">Number</th> </tr> </thead> <tbody> <tr> <td style="font-size: small;">Single-Leaf</td> <td style="font-size: small;">Solid w/ Vision Lights</td> <td style="font-size: small;">Wood</td> <td style="font-size: small;">1</td> </tr> <tr> <td style="font-size: small;">Single-Leaf</td> <td style="font-size: small;">Plank</td> <td style="font-size: small;">Wood</td> <td style="font-size: small;">1</td> </tr> <tr> <td style="font-size: small;">Single-Leaf</td> <td style="font-size: small;">Solid w/Vents</td> <td style="font-size: small;">Wood</td> <td style="font-size: small;">1</td> </tr> <tr> <td style="font-size: small;">Single-Leaf</td> <td style="font-size: small;">Five-Panel</td> <td style="font-size: small;">Wood</td> <td style="font-size: small;">1</td> </tr> <tr> <td style="font-size: small;">Overhead</td> <td style="font-size: small;">Garage-Paneled</td> <td style="font-size: small;">Metal</td> <td style="font-size: small;">1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Solid w/ Vision Lights	Wood	1	Single-Leaf	Plank	Wood	1	Single-Leaf	Solid w/Vents	Wood	1	Single-Leaf	Five-Panel	Wood	1	Overhead	Garage-Paneled	Metal	1
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<b>12. Chimneys</b> <input checked="" type="checkbox"/> 1, partial exterior, north elevation				<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																					
<b>14. Other Significant Features</b> N/A																																									
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  #1 Date: 1969; 680-square-foot Bedroom Wing Addition; aerial photographs and published building permit #2 Date: Unknown, c.1969; wholesale replacement of windows on Older House with aluminum sliding units; visual and material evidence #3 Date: Unknown; replacement of garage door with modern unit; visual and material evidence																																									

**16. Primary Architectural Style**           Not Applicable

- |   |                            |                             |                              |  |
|---|----------------------------|-----------------------------|------------------------------|--|
| <u>    </u> Art Deco/Streamline Moderne | <u>    </u> Gothic Revival | <u>    </u> Mission Revival | <u>    </u> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <u>    </u> Bungalow/Craftsman          | <u>    </u> International  | <u>    </u> Neo-Classical   | <u>    </u> Queen Anne       | <u>    </u> Territorial                                    |
| <u>    </u> Colonial Revival            | <u>    </u> Italianate     | <u>    </u> Northern NM     | <u>    </u> Ranch            | <u>    </u> Territorial Revival                            |
| <u>    </u> Folk Victorian              | <u>    </u> Mediterranean  | <u>    </u> Prairie         | <u>    </u> Spanish-Colonial | <u>    </u> Tudor Revival                                  |

Notes:      Other: Vernacular

**17. Documents Available and Their Locations**

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

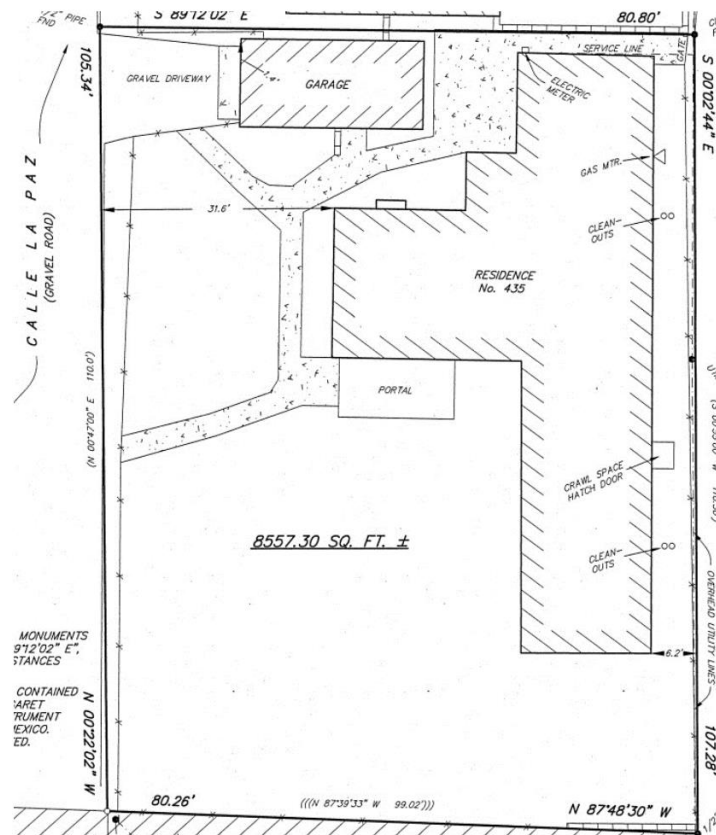
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

**SITE:**

**18. Attached or Associated Properties**

Are associated properties eligible for listing: N/A

**19. Site Plan: Portion of October 2023 survey plat. Courtesy Del Rio Surveys, Inc.**



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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## Architectural Description Continued

### Setting

The two-part house sits on a rectangular lot between Camino Manzano and Calle la Paz, south of Acequia Madre. It faces in two directions (south and west) with its address attached to the Calle la Paz orientation. It is tucked into the northeast corner of the lot, with the north wall of the garage appearing to be partially in the neighboring property. This is likely because both properties were once under the same ownership.

The remainder of the lot is covered with gravel. Aerial photographs and an earlier survey indicate this was once a landscaped area with lawn and shrubs, and was the pride of its former owner, Guadalupe Moya. Surviving plantings include Oregon grape, roses, and small peach and apple trees. Low fences trace the east and west edges of the property. The woven wire structure at the west is vintage, though it does not rise to Contributing status.

The house has two main façades: the northwest corner of the older home and the south façade of what may have been an earlier addition (Photo 3). The latter looks onto the gravel yard and is graced with a well-proportioned portal (Photo 4). The former seems cramped and dark, stuck behind the garage. This entry is not original; it was made in 1969.<sup>1</sup>

### Older House

#### West Elevation

Starting at the northwest and moving counterclockwise, one first encounters the front door to the older home (Photo 5). It is approached by a concrete path curving along the south side of the garage. The opening where the door stands once contained a window. The short entrance façade is prosaic, consisting of a single window and a door, both set

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<sup>1</sup> Margaret (Moya) Beckman, telephone conversation with John W. Murphey, November 1, 2023. Beckman is the daughter of the Guadalupe and Frances Moya and grew up in the house. Her memories and experience are important to understanding its evolution.

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deeply (about 10½”) in the wall. The window is a standard aluminum sliding unit. Similar aluminum windows are found throughout the house. These were installed in 1969 as part of the renovation. The work included introducing new window openings where there was no fenestration prior.<sup>2</sup> The adjoining door is a period faux-plank unit with three vision lights. The door was installed as part of the 1969 renovation.<sup>3</sup>

The entry façade, with its raftered overhang, seems of a different age, and its likely adobe construction suggests it may be the oldest piece of the house.

The adjoining north elevation is of two different heights. A bump-out holding the kitchen joins awkwardly with the rest of the north side of the building (Photo 6). The original entry to the house stood along the north side of this extension. It was removed in 1969 during the renovation.<sup>4</sup>

Beyond this, to the west, the wall has an exterior stuccoed chimney flanked by medium-sized aluminum windows (Photo 7). The windows along this section are arranged about 3½” to 4” deep in the wall. This section, by its window depth, may be hollow clay tile and probably younger than the adobe core of the building.<sup>5</sup>

### West

The short west elevation contains two tall openings holding aluminum sliding windows (Photo 8).

### South

Moving east stands the more formal entry to the home. A roughly 128-square-foot portal shelters the entry (Photo 9). Set above grade, it has a concrete floor and modern decking consisting of boxed beams with a tongue-and-groove ceiling. At its center is a plank wood door bracketed by aluminum windows (Photo 10). Situated east of the portal is a long aluminum combination looking into the living room (Photo 11). Beyond the window begins the Bedroom Wing Addition.

<sup>2</sup>Ibid.

<sup>3</sup>Ibid.

<sup>4</sup>Ibid.

<sup>5</sup>Ibid.

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### **Bedroom Wing Addition**

Erected in 1969, the addition is a long rectangle volume appended to the older home at a right angle (Photos 1 & 2). The frame addition has great uniformity and reveals the fenestration of its period. The bedrooms have typical “high” privacy windows, with a sill height 66” above grade (Photo 12).

### **East Elevation**

The long east elevation along Camino Manzano combines the addition with the older home. Stretching 81’, it has a single wall plane, though parapet heights show variation (Photo 13).

The south end encloses the bedroom addition. These rooms have aluminum units arranged about 3½” deep into the wall (Photo 14). Behind them are large bedrooms with sliding door closets and textured ceilings and a bathroom. Midway along the elevation is an extremely weathered door (Photo 15).

### **Older House**

About 40’ north of the southeast corner begins the older portion of the home (Photo 16). The windows, like those at the west elevation of the older section, are arranged about 10½” deep in the wall (Photo 17). Some of these window openings were created during the 1969 project and are not original. Before the renovation, the southeast corner of the Older House had a bumped-out closet that, because of its chill in the winter, the family called “Siberia.”<sup>6</sup> The addition also removed an outdoor barbeque area.

### **North Elevation**

The space between the north elevation and the north property wall creates a narrow passage (Photo 18). This elevation has no openings.

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<sup>6</sup> Ibid.

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## Garage

Positioned near the northwest corner of the lot is a deteriorating one-car garage. Constructed of adobe, the roughly 288-square-foot structure faces west and stands about 38” from the north property wall. It has a modern metal overhead door, but in many other ways it seems older than the house (Photo 19). A brick cornice with a header-rowlock-stretcher-header pattern crowns its roof. Ghosting across its west façade suggests it has a viga framework. An old wood panel door gives entry from the south (Photo 20). The garage was updated in the 2000s when Guadalupe Moya traded a pickup truck with two men who agreed to pave the garage floor with concrete and plaster its walls.<sup>7</sup>

## **Historical Overview**

Likely constructed in the late 1930s as a rental, the house went through several owners before being purchased in 1960 by the Moya family. The Moyas reworked the house, adding the Bedroom Wing Addition. It remained in this family’s ownership until recently.

## **Subdividing Farm Lots**

The long, narrow lots south of Acequia Madre began as irrigated fields and were later transformed into small subdivisions. Camino Manzano started as an apple orchard operated by Jacob W. Waffensmith (Waffenschmidt), an Ohio-born physician.<sup>8</sup> Waffensmith built his home at 415 Camino Manzano, which — judging by the 1912 King’s map — is the oldest house in the area (Fig 2).

John Q. Adams acquired Waffensmith’s orchard and created the Los Arboles Subdivision in 1927 by breaking up the land into residential lots. Adams joined other investors and builders (including prominent real estate speculator Harry Dorman) in purchasing

<sup>7</sup> Ibid.

<sup>8</sup> “415 Camino Manzano, Joseph and Helen Flynn House and Associated Buildings, Santa Fe, Santa Fe County, New Mexico,” New Mexico Historic Cultural Properties Inventory 1 & 2. Prepared for Hoopes + Associates, Architects, Ltd. Co., August 29, 2017; revised September 13, 2017

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former Hispanic agricultural long lots along the mother ditch to convert them into residential developments.

Agustin A. Sosaya, a small-time home builder, was one of these. He and Faivan Chavez worked with E. G. Richardson, who owned the subject parcel<sup>9</sup>, to subdivide the area between San Antonio and Camino Manzano streets in 1927 into rectangular residential lots.<sup>10</sup> Sosaya would later build a picturesque enclave of Pueblo and Territorial homes along San Antonio Street.<sup>11</sup>

### The Richardson-Lawson Land

A deed from 1928 shows that E. G. Richardson sold the subject parcel to Frank Lawson Hudson and his wife Alma Hudson.<sup>12</sup> Both males in the transaction hailed from the South and worked for the post office.

The 1930 census places Hudson, a Mississippi-born postal clerk, in the area but does not give an address.<sup>13</sup> Calle la Paz had yet to become a street, and residents along the dirt road were assigned an Acequia Madre address for their mail. This is borne out in the city directory of the same year, which gives the location of Lawson’s home as “h1 rear 716 Acequia Madre.”<sup>14</sup> The census shows Frank, then 29, living in a house he owned with Alma, 31, and his mother, Mrs. James L. Hudson, 64.

Subsequent directories place Hudson on what is assumed to be a home on the adjacent lot new addressed 433. While given the name Calle de la Paz, houses were still without

<sup>9</sup> The King’s map indicates that the long strip of land containing the current parcel was then owned by the Christian Brothers, a Roman Catholic male order in charge of educational instruction, who established St. Michael’s High School.

<sup>10</sup> James C. Harvey, “Tract of Land Subdivided for A. A. Sosaya, Favian Chavez, E. G. Richardson, Precinct #3, Santa Fe, N. M. [subdivision plat map],” March 31, 1927.

<sup>11</sup> John W. Murphey, “The Stone House,” Historic Santa Fe Register of Properties Worthy of Preservation – Full Application Form,” November 6, 2022, 13.

<sup>12</sup> Agreement, E. G. and Ethel M. Richardson, to Frank L. and Alm D. Hudson, recorded January 2, 1929, Book V/Page 115, 1929036716.

<sup>13</sup> U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 7B; Enumeration District: 0003; FHL microfilm: 2341134.

<sup>14</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1930 (El Paso: Hudspeth Directory Company, 1930), 105. As the lane developed, it became house number 2.

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addresses. Addresses first appeared in 1938.<sup>15</sup> Mrs. A. L. Davidson, a renter and probably a widow, lived at 435. It is safe to assume that Hudson built the house on his adjoining land as an income-generating venture.

Attorney Frank Andrews, Jr. and his family lived in 435 during the 1940s. Born in 1915, Andrews attended Santa Fe High School and later the University of Colorado, Boulder, where he received his law degree in 1938. The 1940 census recorded him at 435 Calle la Paz, a house he owned and which was valued at \$5,000.<sup>16</sup> The household included his wife, Elizabeth, and young son, Frank Andrews III. During the early 1940s, Andrews served as the assistant district attorney. He joined the FBI during the war, leaving Santa Fe.<sup>17</sup> In 1945, he returned to the city and his Calle la Paz home and began a law practice with attorney Samuel Z. Montoya (Fig. 3).

### Park People

Andrews deeded the property in 1949 to husband and wife Harry and Iva Boatright.<sup>18</sup> Harry Boatright would head the Southwest Monuments Association, a non-profit organization started in 1938 to assist national parks in the Southwest.

Five years later, the Boatrights sold the property to Thomas B. Onstott and his wife, Margaret.<sup>19</sup> Thomas, a former military officer and archaeologist, worked for the National Park Service regional office on Old Santa Fe Trail. As part of his duties, he oversaw archaeological investigations at Bandelier National Monument. All during this time, the house retained its original form, as evidenced by a 1958 aerial photograph (Fig. 4).

The Onstotts sold their Calle la Paz home in 1960, after Thomas rejoined the military. They moved to El Paso, where he served as Lieutenant Colonel at the Air Defense Center

<sup>15</sup> Ibid., 1938, 249.

<sup>16</sup> U.S. Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 61B; Enumeration District: 25-5A.

<sup>17</sup> "Santa Fe Attorney, Frank Andrews, Dies in Mexico," *Santa Fe New Mexican*, January 12, 1981, 9.

<sup>18</sup> Warranty Deed, Frank and Elizabeth S. Andrews, Harry B. and Iva M. Boatright, recorded November 28, 1949, Book 43/Page 39, 1949095567.

<sup>19</sup> Warranty Deed, Harry B. and Iva Marie Boatright, to Thomas B. and Margaret F. Onstott, recorded June 20, 1958, Book 145/Page 219, 228663.

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at Fort Bliss until his retirement in 1969.<sup>20</sup> The house was deeded to Guadalupe and Frances Moya, whose descendants would own the property until October 2023.

### The Moyas

Born in 1923, Guadalupe Leopoldo Moya grew up on Canyon Road. His father, Ignacio, worked as a janitor at the Blatt building on the Plaza.<sup>21</sup> Guadalupe (popularly Lupe) had trained as an electrician. Before the war, Moya was in Los Alamos working as an apprentice electrician for the Stetson Electric Company, a commercial electrical contractor based in Los Angeles.<sup>22</sup> Given the timing and location, he may have been working on the Manhattan Project.

During World War II, he enlisted in the Air Force and was stationed in England, where he served in an ordnance company attached to a B-24 Liberator unit.<sup>23</sup> He worked on maintaining the bombers, and once serviced a bomber commanded by Brig. Gen. James M. Stewart – otherwise known as the actor Jimmy Stewart.<sup>24</sup> Moya was promoted to staff sergeant and left the service with six Bronze Stars.

After the war, he returned to Santa Fe and lived with his parents on Canyon Road, working as an electrician.<sup>25</sup> On May 19, 1951, he married Frances M. Cruz, a native of Mora who was employed at the State Bureau of Revenue. The couple initially lived in a one-bedroom apartment at 646 Canyon Road, close to his parents and uncles. As the family grew with the children, the apartment became untenable. As recalled by a daughter, Margaret Beckman, the parents lived in the only bedroom with their son, while the two daughters had to share the living room. Entertaining was out of the question.<sup>26</sup>

<sup>20</sup>“Set Bliss Retirement Parade,” *El Paso Times*, April 24, 1969, 4-C.

<sup>21</sup>“650 Canyon Road, Ignacio J. and Robert A. Moya Property: Shed, Santa Fe, Santa Fe County, New Mexico,” New Mexico Historic Cultural Properties Inventory 1 & 2. Prepared for Patrick Rayes Family Partnership LTD, February 8, 2023.

<sup>22</sup>“With 8th AAF,” *Santa New Mexican*, October 24, 1944, 4.

<sup>23</sup>Ibid.

<sup>24</sup>Margaret (Moya) Beckman, telephone conversation.

<sup>25</sup>U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 61; Enumeration District: 26-5.

<sup>26</sup>Ibid.

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The parents began to look for new quarters, and Guadalupe, with some familiarity with Calle la Paz (he had done garden work for a man at the end of the lane named Tamme), found the home. It was graced with many trees, including a large flowering crabapple that grabbed Frances’ heart.<sup>27</sup>

Their daughter Margaret recalled that she and her sister “were happy to get a house with our own bedroom and more than a tiny kitchen.”<sup>28</sup> They received a deed to the property on September 20, 1960.<sup>29</sup> Frances, who had been a homemaker up until this point, went back work to help with the mortgage, taking a job with the I.R.S.

Despite the two daughters leaving for college and freeing up a room, Guadalupe and Frances wanted to grow their home. They initially worked with an architect to design a two-story addition but felt it would be difficult to build given height restrictions.<sup>30</sup> They went instead with a long bedroom wing. The addition allowed them to remove a bedroom that was originally near the kitchen, giving them more room to entertain.

The project was permitted in September 1969 and likely constructed over the fall and into the winter.<sup>31</sup> The frame addition created large bedrooms typical of the period with long closets accessed by sliding doors. It also gave them an up-to-date bathroom. Windows were placed high above the floor for privacy and to give additional wall space for furniture.

The addition resulted in significant changes to the older home. These involved across the exterior, replacing all the older wood multi-light sash windows with aluminum sliding units. The change of windows resulted in new fenestration added to the east elevation, removing the front door, and shifting it to another location. In addition, several rooms in the older adobe portion were reworked, and a bump-out closet was removed. The entire house was covered with brocade stucco, which was popular at the time.

<sup>27</sup> Margaret (Moya) Beckman, telephone conversation.

<sup>28</sup> Ibid.

<sup>29</sup> Warranty Deed, Thomas B. and Margaret F. Onstott, to Guadalupe L. and Frances C. Moya, recorded September 20, 1960, Book 170/Page 393, 243111.

<sup>30</sup> Margaret (Moya) Beckman, telephone conversation.

<sup>31</sup> “Hagman Issues Permit,” *Santa Fe New Mexican*, September 14, 1969, 8.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
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Guadalupe and Frances could now entertain family and friends. Reflecting on the addition, daughter Margaret, recalling their love for entertaining, said the “walls seemed to expand because of their hospitality.”<sup>32</sup>

Frances M. Moya died in 2007, at age 78. Guadalupe followed a few years later, passing away in 2010. He was 87. Both were members of Cristo Rey Church.

### Evaluation of Historical Status

With the bedroom addition less than 50 years old at the time (it was 14 years old), it is unclear why the house was designated Contributing in 1983 and reaffirmed again in 1991. The surveyor at the time didn’t understand the significant changes to the adobe portion’s fenestration, including the creation of new window openings and the shift of the original front door. Be that as it may, the entire house is now over 50 years old, meeting the minimum threshold for Contributing status.

The recommendation is to maintain Contributing status, suggesting that the south façade of the original house, holding the portal, be designated the primary façade. The other elevations are of less interest or represent the late 1960s makeover of the home. The garage is recommended for an upgrade to Contributing status, suggesting the west elevation as the primary façade.

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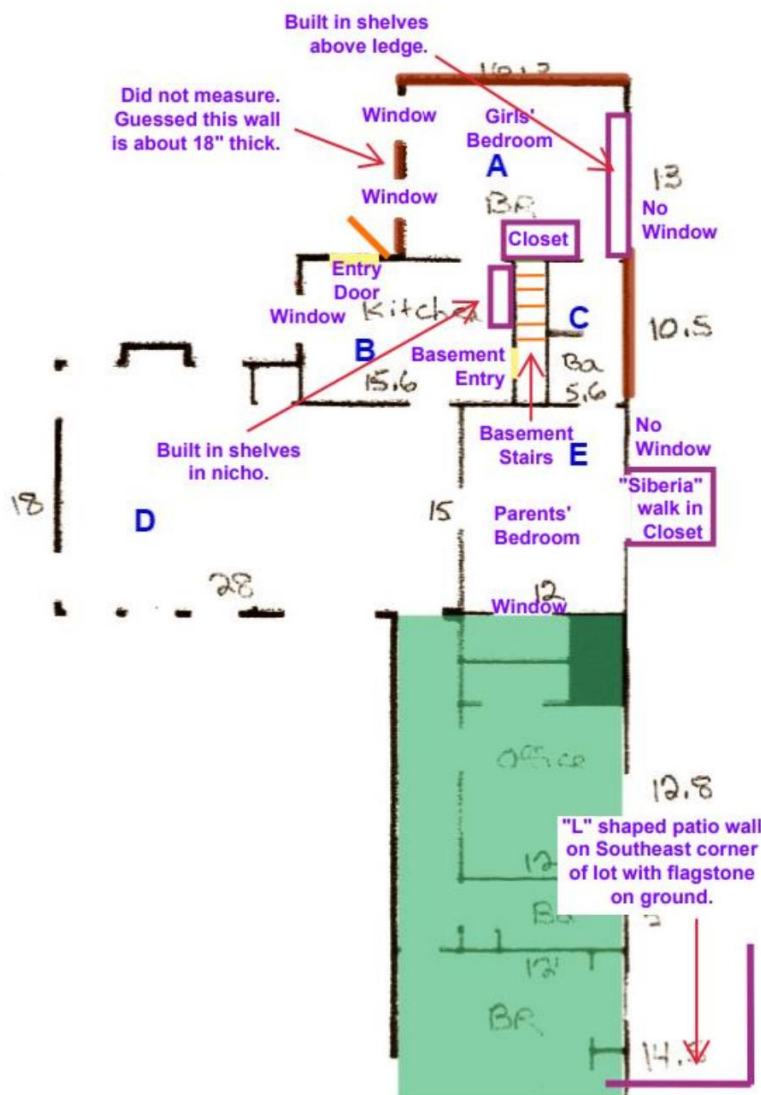
<sup>32</sup> Margaret (Moya) Beckman, telephone conversation.

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## Illustrations



**Figure 1: Illustration of changes to the Older House, prepared by Dale Beckman based on the memory of Margaret (Moya) Beckman.**

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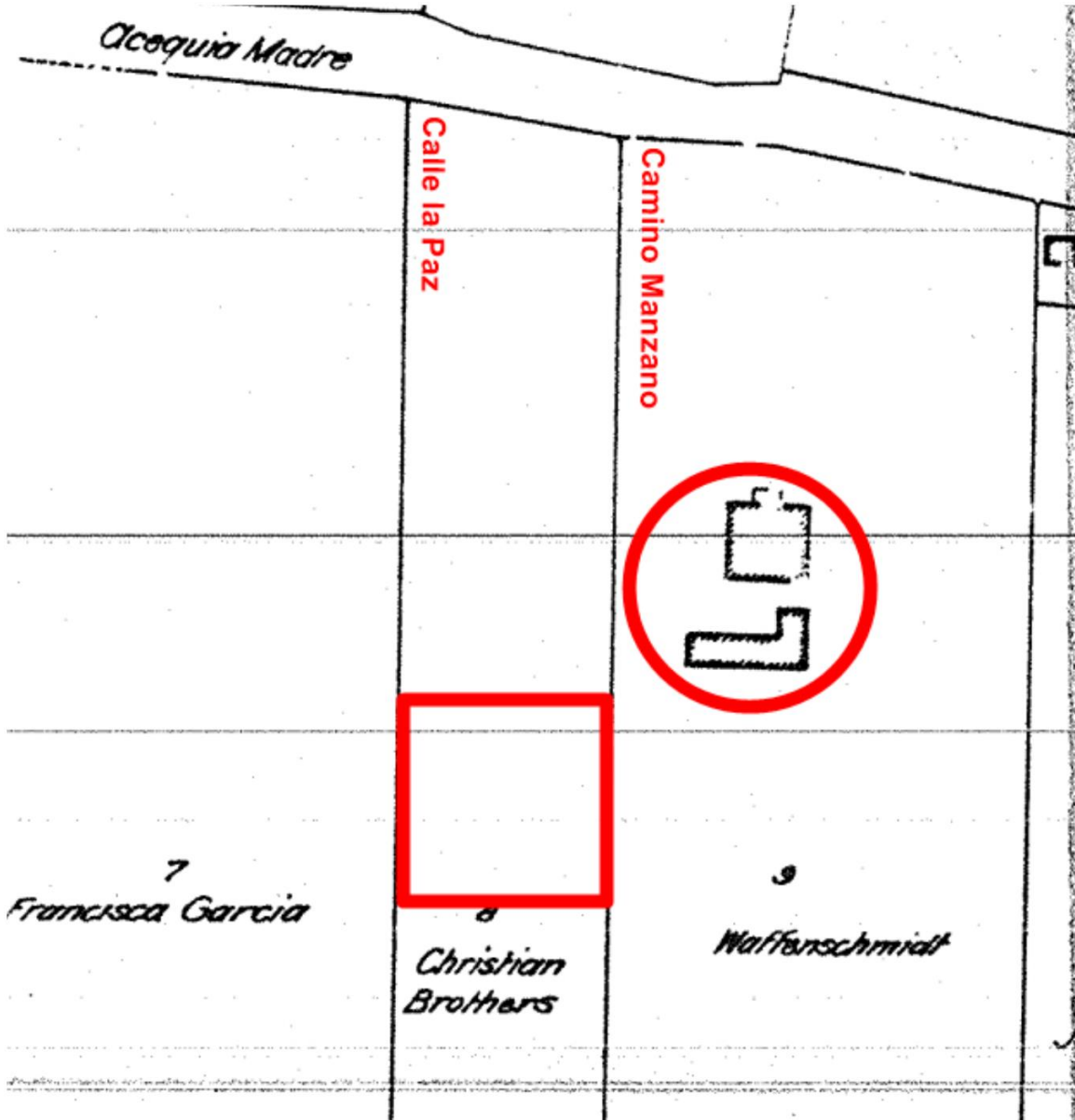


Figure 2: N. L. King, "Map of the City of Santa Fe," 1912.  
 Jacob W. Waffensmith (Waffenschmidt) House circle; subject parcel highlighted.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Figure 3: October 25, 1948, aerial photograph.**

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**L-plan of Older House evident with potentially a porch on the east elevation. The South elevation entry portal is not discernible.**



**Figure 4: November 10, 1958, aerial photograph. Older House highlighted. Note presence south elevation entry portal.**

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**Figure 5: May 2, 1966, aerial photograph.**  
Older House highlighted. Note presence of porch at southeast corner.

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**Figure 6: May 11, 1973, aerial photograph.  
Bedroom Wing Addition present.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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## Survey Photographs

(All images taken by John W. Murphey, on October 11, 2023, unless otherwise noted)



**Photo 2: Original Older House, with 1969 Bedroom Wing Addition. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 3: Entry to Older House. Camera facing east.**

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**Photo 4: South elevation entry portal. Camera facing north.**

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**Photo 5: Old House. West elevation entry. Camera facing east.**

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**Photo 6: Older House. West and partial north elevation. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 7: Older House. North elevation. Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 8: Older House. West elevation. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 9: Older House. South elevation entry portal. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 10: Older House. South elevation entry portal. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 11: Older House. South elevation living room window. Camera facing north.**

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**Photo 12: Bedroom Wing Addition. South elevation. Camera facing north.**

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**Photo 13: East elevation. Camera facing northwest.**

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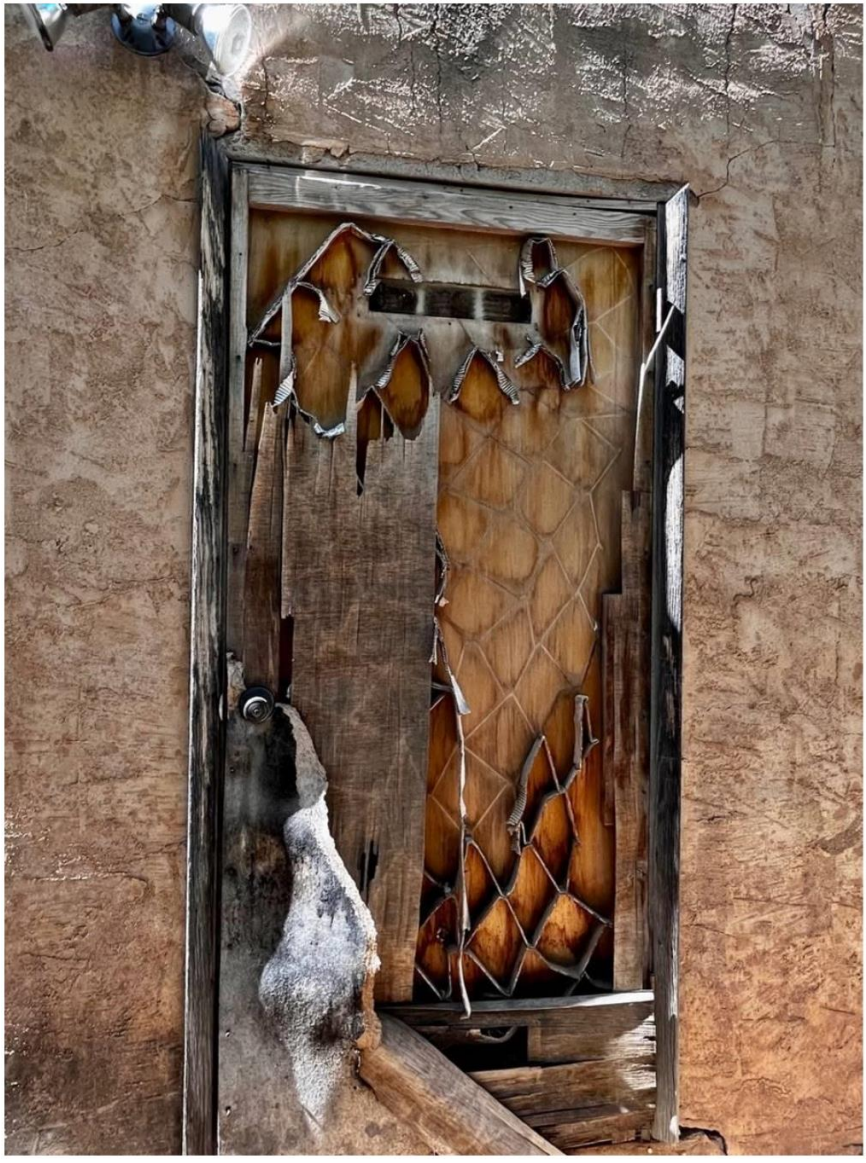


**Photo 14: East elevation at Bedroom Wing Addition. Camera facing west.**

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**Photo 15: East elevation at Bedroom Wing Addition. Camera facing northwest.**

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**Photo 16: East elevation. Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 17. East elevation at Older House. These are openings created in 1969. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 18: Older House. North elevation. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 19: Garage. West elevation. Camera facing east.**

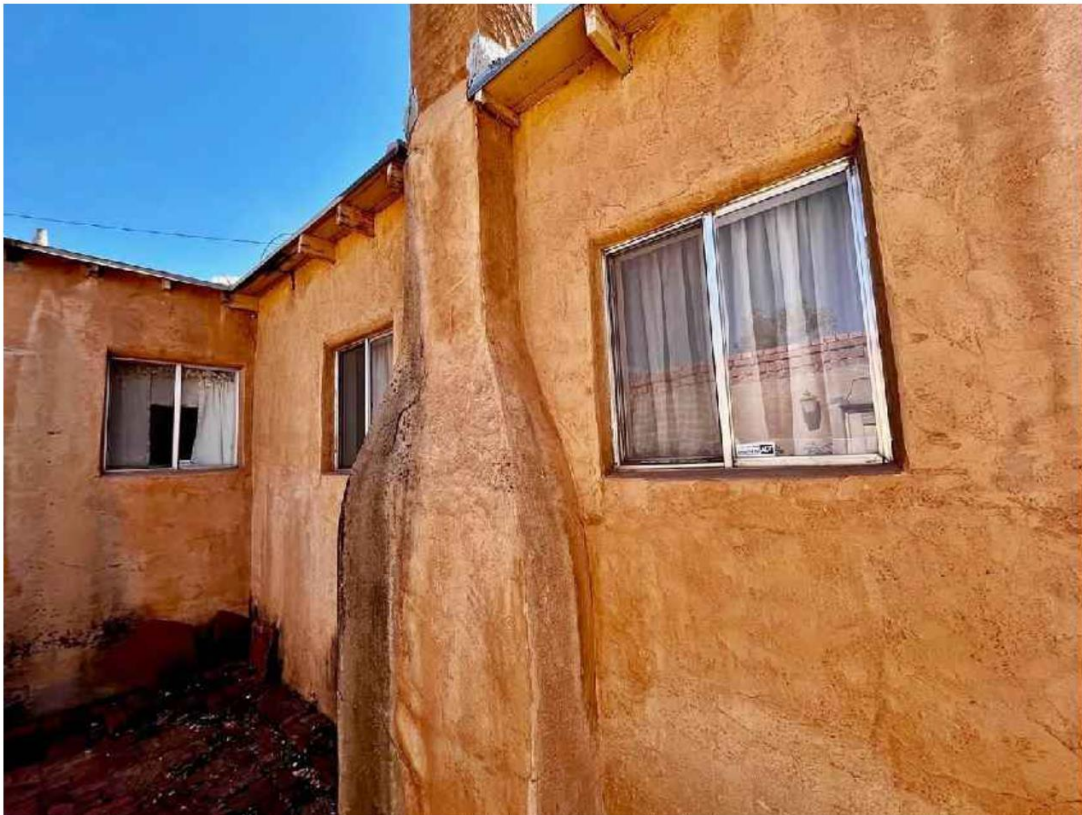
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**Photo 20: Garage. South elevation. Camera facing northeast.**



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

CALLE LA PAZ RESIDENCE  
435 CALLE LA PAZ  
SANTA FE, NEW MEXICO

HOUSE  
NORTH ELEVATION  
NOVEMBER 22, 2023



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

CALLE LA PAZ RESIDENCE  
435 CALLE LA PAZ  
SANTA FE, NEW MEXICO

EAST ELEVATION  
NOVEMBER 22, 2023



HOUSE SOUTH AND PARTIAL WEST ELEVATION



SOUTH GARAGE ELEVATION

MARTINEZ  
ARCHITECTURE  
STUDIO PC

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505-989-4958 studio@martinezarch.com

CALLE LA PAZ RESIDENCE  
435 CALLE LA PAZ  
SANTA FE, NEW MEXICO

SOUTH ELEVATION  
NOVEMBER 22, 2023



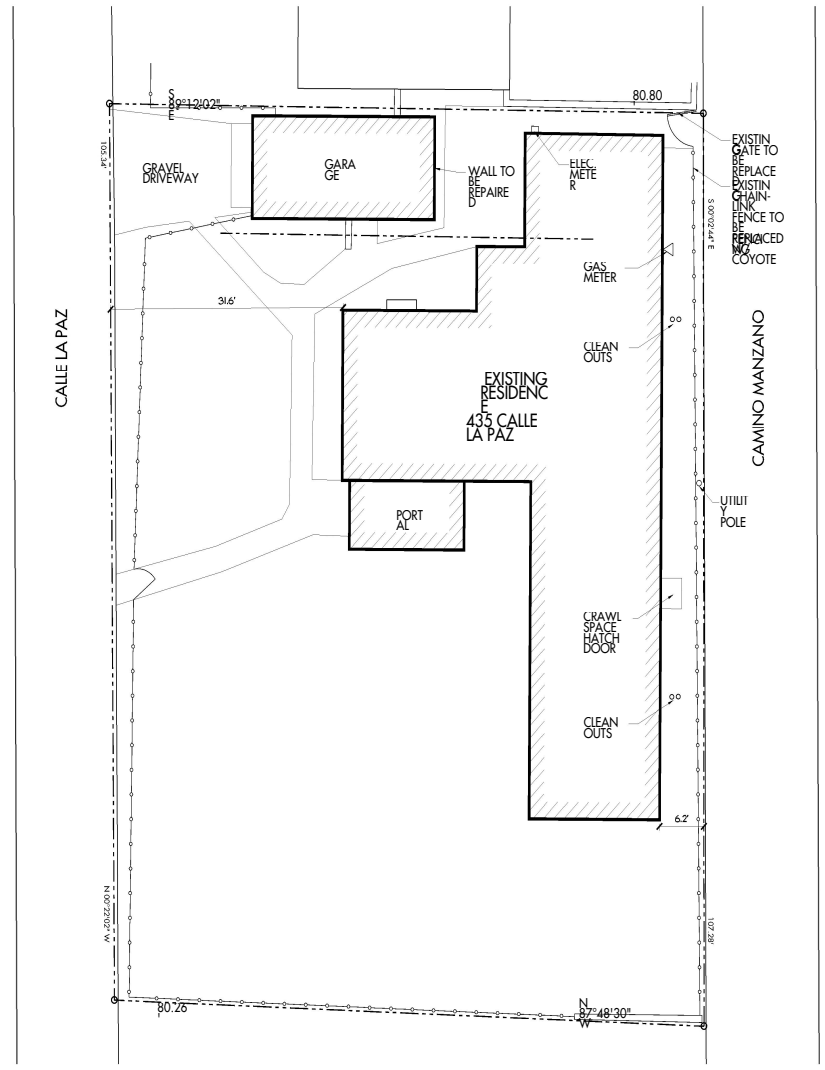
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505-989-4958 studio@martinezarch.com

CALLE LA PAZ RESIDENCE  
435 CALLE LA PAZ  
SANTA FE, NEW MEXICO

WEST ELEVATION  
NOVEMBER 22, 2023

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1 EXISTING SITE PLAN  
 A-10 SCALE 1/8" = 1'-0" 

MARTINEZ  
 ARCHITECTURE  
 STUDIO PC  
 1524 PASEO DE PERALTA, SANTA FE  
 505.989.4956 studio@martinezrich.com

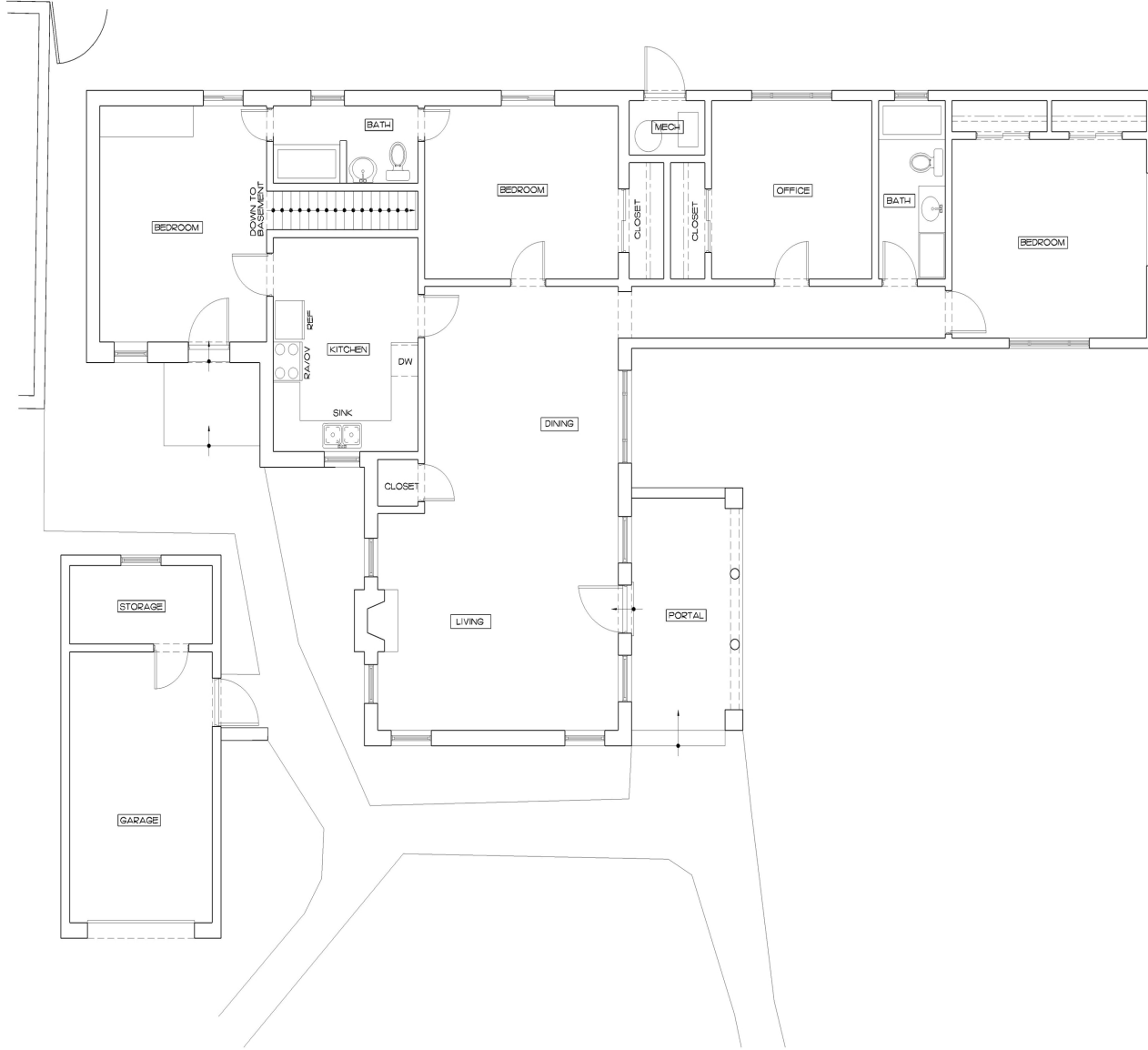
LA PAZ RESIDENCE  
 435 CALLE LA PAZ  
 SANTA FE, NEW MEXICO

NOVEMBER  
 22, 2023

EXISTING  
 SITE PLAN

SET  
 # 317 LA  
 PAZ

A  
 1.  
 0



1 EXISTING FLOOR PLAN  
 A-2.0 SCALE 1" = 10'-0" NORTH

MARTINEZ  
 ARCHITECTURE  
 STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
 505.989.4956 studio@martinezrich.com

LA PAZ RESIDENCE  
 435 CALLE LA PAZ  
 SANTA FE, NEW MEXICO

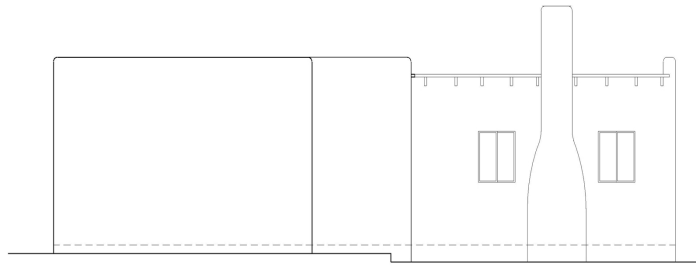
NOVEMBER  
 22, 2023

EXISTING  
 FLOOR  
 PLAN

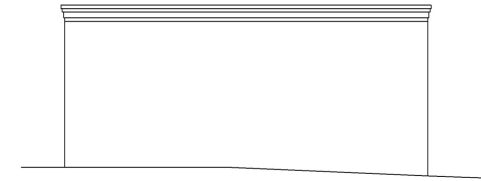
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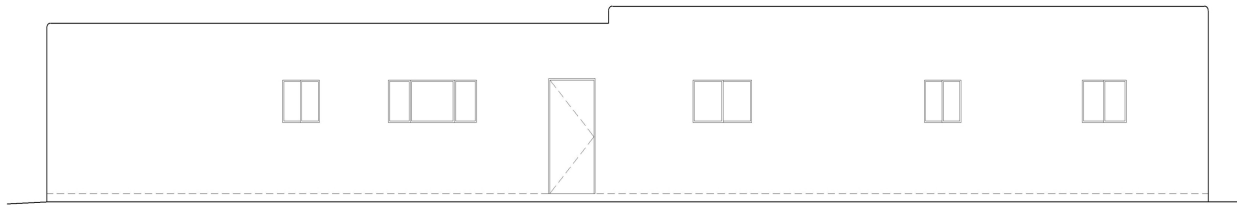
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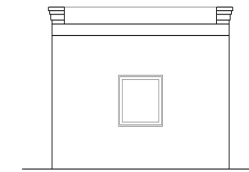
1 EXISTING NORTH HOUSE ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



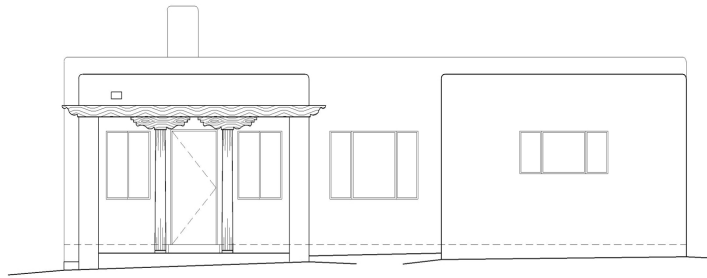
5 EXISTING NORTH GARAGE ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



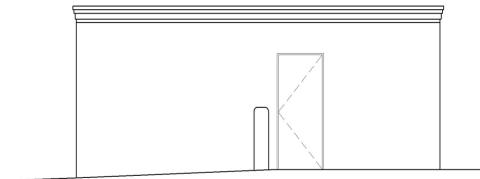
2 EXISTING EAST ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



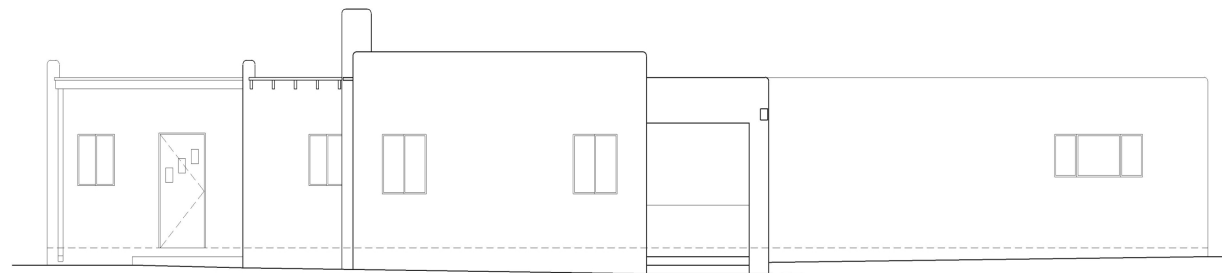
6 EXISTING EAST GARAGE ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



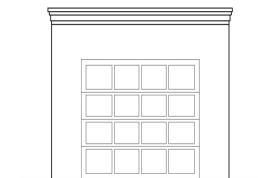
3 EXISTING SOUTH ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



7 EXISTING SOUTH GARAGE ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



4 EXISTING WEST ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



8 EXISTING WEST GARAGE ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"

MARTINEZ  
ARCHITECTURE  
STUDIO PC  
1524 PASEO DE PERALTA, SANTA FE  
505.989.4956 studio@martinezbich.com

LA PAZ RESIDENCE  
435 CALLE LA PAZ  
SANTA FE, NEW MEXICO

NOVEMBER  
22, 2023

EXISTING  
EXTERIOR  
OR  
ELEVATIONS

A  
3.0  
SET  
# 317 LA  
PAZ

Z:\2023\7 - La Paz\Current Drawings\2317 - La Paz\_231120.dwg, 11/22/2023 11:45:43 AM, AutoCAD IPX (General Documentation).pc3

# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Ramón J. Sarason, Senior Planner, Historic Preservation Division

---

**2023-007720-HDRB.** 365 Garcia St. Downtown & Eastside Historic District, contributing, Richard Martinez, agent for Susan Ey, owner, requests a status review and primary façade designation(s). (Ramón J. Sarason, rjsarason@santafenm.gov)

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Window Assessment - #200823-HA, Façade Diagram

## **STAFF RECOMMENDATION:**

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures and 14-5.2(E) Downtown and Eastside Design Standards. Staff further recommends that facades, F-1 and F-2 as identified in the attached façade diagram be designated as primary, and the south site wall be designated as contributing.

## **BACKGROUND & SUMMARY:**

365 Garcia St. is a single-family residence in the vernacular style listed as contributing to the Downtown and Eastside Historic District. The house at 365 Garcia Street which is — a five-room, apartment-like dwelling is intimately connected to an older home on the adjoining property to the north. It began as an extension to this older house and was likely constructed in

the 1930s, and then came to its own in the 1950s, taking on its current footprint after 1978. While now its own house, with a separate address, 363 Garcia St. and 365 Garcia St. still share an interior wall.

Now, the applicant requests a status review and primary façade designations.

### **RELEVANT CODE CITATIONS:**

#### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

#### Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

#### Windows & Doors:

##### 14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
  - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
  - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
  - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

#### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

##### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

#### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which

case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

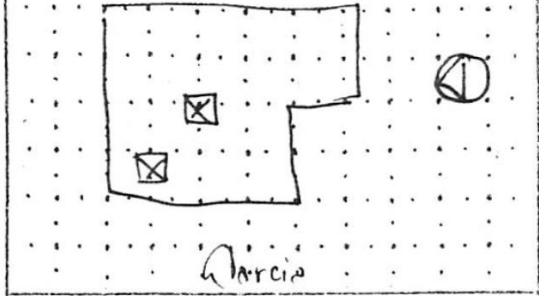
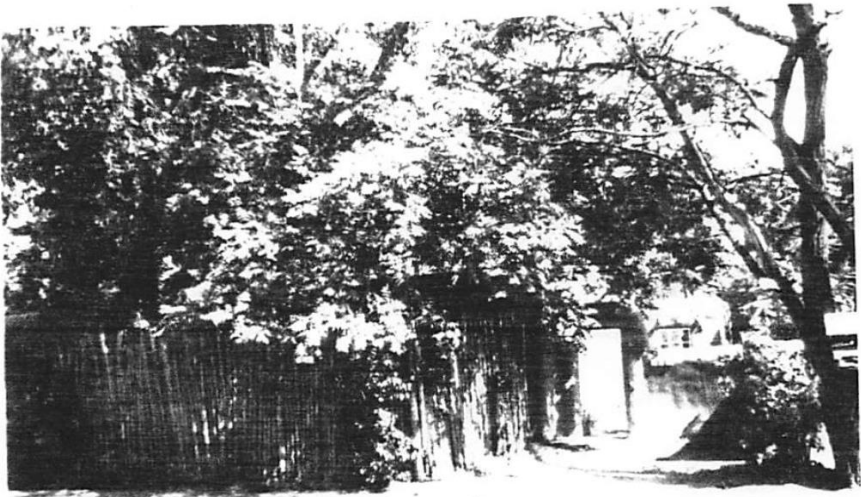
Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

building threatened? yes	surveyed date 2-10-84 by mb	county Santa Fe	ID no. 05161166
field map SFHD	number 3-1166	UTM reference easting northing zone 12 13	

location description 365 Garcia	city/town Santa Fe
land grant/reservation	

building name	legal description twp N S range E W sec
film roll by mb no. 7	negative nos. 26
loc. of neg. (HP)	plan shape



date of construction 1920-27 estimate	actual
source Bus Direc	

use	present residential
other	historic residential
other	

condition	___ excellent	<input checked="" type="checkbox"/> good
	___ fair	___ deteriorating

degree of remodeling	<input checked="" type="checkbox"/> minor	___ moderate	___ major
describe:			

surroundings	Res
relationship to surroundings	<input checked="" type="checkbox"/> similar ___ not similar

district potential	___ yes ___ no
--------------------	----------------

significance	___ eligible <input checked="" type="checkbox"/> of ___ none
if eligible, interest	why? contrib

associated buildings?	___ yes ___ no
what type?	

if inventoried, list ID nos.	
------------------------------	--

see back?	___ yes
-----------	---------

style Pueblo Revival	foundation material NV
	wall material/surface Adobe/Stucco

architectural features Roof - flat, moulded parapet, 2 chimneys, 1 mtl flue
--

Windows - 4 x 8 lite wd casmt, white
--------------------------------------


Door - NV
-----------

comments
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# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: October 30, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095  <b>4. County: Santa Fe</b> Parcel #
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: property/yard wall <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> October 14, 2023		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: February 2, 1984 (HBI) <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Evaluation		
<b>9. Lat/Long:</b> 35.680700, -105.933048		
<b>10. Photo Information:</b> John W. Murphey, photographer. Photo 1: View of west and south elevations from sidewalk. Camera facing northeast.		
<b>11. Brief Description of the Property:</b>  The house at 365 Garcia Street — a five-room, apartment-like dwelling — is intimately connected to an older home on the adjoining property to the north. It began as an extension to this older house, probably made in the 1930s, and then came to its own in the 1950s, taking on its current footprint after 1978 (Fig. 1). While now its own house, with a separate address, they still share an interior wall.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> Date: c. late 1930s, with additions to present era <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and city directories		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines may not be accurate*



17. Surveyor:  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)

For: Martinez Architecture Studio PC

18. Owner (if known) and other knowledgeable people:

Current owner: Susan L. Ey

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status: property/yard wall  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																															
		NRHP _____	SRCP _____	Criteria	A B C D																																												
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		<b>4. County:</b> Santa Fe																																															
		<b>5. Date of Survey:</b> October 14, 2023																																															
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																																	
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____																																													
				<b>8. Foundation:</b> <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: east area, based on vented crawl space Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																																													
				<b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																													
<b>10. Window Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Casement</td><td>Wood</td><td>2-2</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>4-4</td><td>2</td></tr> <tr><td>Casement/Fixed</td><td>Wood</td><td>4C-8F-8F-4C</td><td>1</td></tr> <tr><td>Casement/Fixed</td><td>Wood</td><td>4C-8F</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>6-6</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>16</td><td>1</td></tr> <tr><td>Hopper or Awning</td><td>Wood</td><td>1</td><td>1</td></tr> </tbody> </table>				Operation	Material	Glazing	Number	Casement	Wood	2-2	1	Casement	Wood	4-4	2	Casement/Fixed	Wood	4C-8F-8F-4C	1	Casement/Fixed	Wood	4C-8F	2	Casement	Wood	6-6	1	Fixed	Wood	16	1	Hopper or Awning	Wood	1	1	<b>11. Door Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Solid w/Decorative Light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Plank</td><td>Wood</td><td>1`</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Solid w/Decorative Light	Wood	1	Single-Leaf	Plank	Wood	1`
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Casement	Wood	2-2	1																																														
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Casement/Fixed	Wood	4C-8F-8F-4C	1																																														
Casement/Fixed	Wood	4C-8F	2																																														
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Single-Leaf	Solid w/Decorative Light	Wood	1																																														
Single-Leaf	Plank	Wood	1`																																														
<b>12. Chimneys</b> <input checked="" type="checkbox"/> three, short, stuccoed stacks at corners				<b>13. Porches</b> <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																													
<b>14. Other Significant Features</b> N/A																																																	
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  #1 Date: c. 1970s-2000s; addition built on south and east elevations; aerial photographs; visual and material evidence																																																	

**16. Primary Architectural Style**       Not Applicable

- |  |   |  |   |   |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial            |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival          |

Notes:  Other: Vernacular

**17. Documents Available and Their Locations**

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

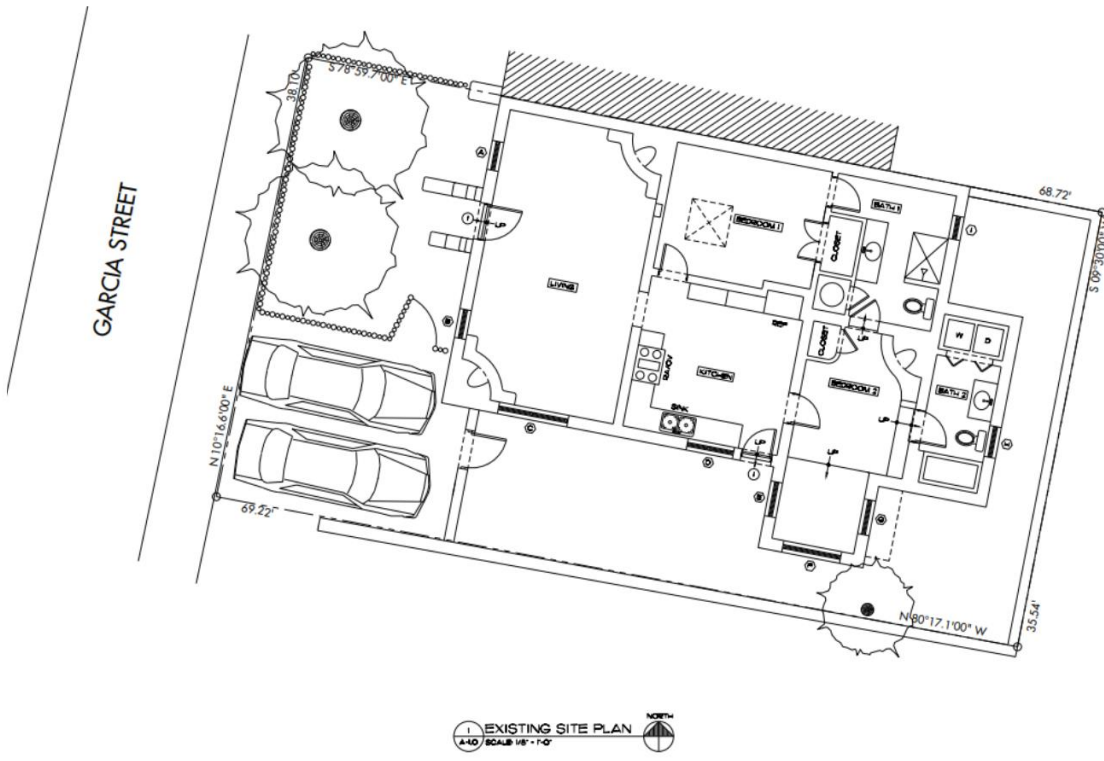
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

**SITE:**

**18. Attached or Associated Properties**

Are associated properties eligible for listing: N/A

**19. Site Plan: 2023 Site and Floor Plan. Courtesy Martinez Architecture Studio PC.**



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: October 14, 2023</b>			

## Architectural Description Continued

### Setting

Both houses are partially obscured from view by walls and fences (Photo 2). The subject house, an approximately 1,168-square-foot flat-roof structure, is mostly hidden by a 6' coyote fence. Behind the barrier is a brick courtyard dominated by a mature Siberian elm. This is the formal entrance. The south side of the lot is gravel and used for parking and a side yard. An aerial from 1968 (Fig. 6) shows the area used entirely for parking with cars stacked two deep — something that could not be accomplished now because of a yard wall and an addition. The back side of the lot is a narrow area created by the house and the east property wall.

### West Elevation

The west elevation, once facing directly onto the street, has a central opening holding a modern door flanked by tall windows (Photos 2 & 3). The blue wood frame windows are not original but likely represent the casements that once stood in the slots. They sit back approximately 4" in an opening with angled reveals. They are placed on a low sill at the same header height as the door (Photo 3).

Oddly stepped walls channel the visitor to the front door (Photo 4). The door is modern and ornamented with a leaded glass scene of a woman in a flowing white gown, with her back turned to the street. Above the entry is a tiled canopy which is not historic. The door leads to a sizable undivided room (the largest room of the house) spanned with vigas (Photo 6). This room feels like a *sala* and may represent the first piece of construction.

### South Elevation

Facing the parking area and side yard, the south elevation is the longest side of the house (Photos 7 & 9). It soaks up solar heat and reveals the home's evolution through changes in parapet heights and window depths. A set of wooden casements gives light to the sala or living room (Photo 8). These, like others around the house, are not original. They sit about 8" from the wall, with their sills close to the ground.

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The next piece, signaled by a drop in parapet height, is the kitchen (Photo 9). This room also has paired wood casements and is accessed from the outside by a faux plank door (Photo 10).

Turning at a right angle is a sitting room extension of the second bedroom (Photo 11). This roughly 63-square-foot space is scaled like a playhouse. It has similar multi-light wood windows but is situated closer (3") to the exterior wall. Its south face has a large 16-light window; the east side has a canopy over a pair of casements. Based on aerial photographs, this piece likely came about in the 1970s (Figs. 7 & 8).

### **East Elevation**

Equally not original is the long south portion of the east elevation. This space, holding the bathroom, is mostly a windowless solid wall (Photo 12). Set back about 7' from the east wall is a lower shed-roof area containing the bathroom for the primary bedroom (Photo 13). This space, judging from interior demolition, is partially made of concrete block construction (Photo 14). It has one small wood window.

### **North Elevation**

As stated earlier, the elevation shares a wall with its neighbor and has no fenestration.

### **Interior**

Aside from the main sala room, the other four rooms show a variety of construction, many with simple rafter-and-board ceilings, giving them a feeling of a porch.

### **Yard Walls**

A stuccoed yard wall runs along the south side of the property. It measures approximately 55" in height with a 6" thickness (Photo 15). From aerial photographs, it appears to be historic. Other elements connected to the wall, including the west wall and entry arch (Photo 1), are not historic.

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### Historical Overview

At 10:00 a.m. on July 23, 1940, members of the Vigil family gathered at the front door of the Santa Fe County Courthouse to buy back their home.

With their father's death, they had fallen into debt to the City of Santa Fe for taxes (or a sewer assessment) for Garcia Street, where their home stood. Facing many debtors, the city had launched a multi-defendant court case that year (Case #16901), seeking to claw back revenue. In many instances, debtors were given notice that their homes would be up for auction under a master's sale. These sales ran throughout the summer.

The Vigils owed the city a total of \$209.89, which included the unpaid taxes or assessments, accrued interest, and attorney fees.<sup>1</sup> The City of Santa Fe acquired the property on that July morning, but — in less than a year — ended up giving Genoveva Vigil and her son Antonio Vigil a quitclaim deed, allowing them to remain at the property.<sup>2</sup>

With this settled, the lot on the east side of Garcia Street would evolve into a two-family home, divided only by a shared wall. These would eventually become distinct dwellings, with 365 Garcia Street, the subject of this survey, emerging as its own distinct house.

### Garcia Street

The Garcia family, for whom the street is named, once owned the greater surrounding area. The 1892 Gaynor map shows the land containing the current parcel owned by “F. Garcia,” likely a family member (Fig. 2). With greater detail, the 1912 King’s map identified the lot (Lot 53) owned by Francisco Garcia y Castillo (Fig. 3). This may be the same Garcia indicated on the Gaynor map 20 years earlier. Essential to this study is the rectangular north-south dwelling sitting on the lot. It is likely the historic core of the home to the north of the subject home, at 363 Garcia Street.

<sup>1</sup> “Legal Notice,” Santa Fe New Mexican, July 15, 1940, 8.

<sup>2</sup> Quitclaim Deed, City of Santa Fe to Mrs. Victor Vigil and Antonio Vigil, recorded October 6, 1948, Book 37/Page 423, 1948090635. Deed was made in 1941.

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Born in c.1840, Francisco Garcia married Atilana (sometimes Atelana) Sandoval in the late 1880s. The 1900 census places them living in Cañoncito, where Francisco worked as a farmer.<sup>3</sup> Typical of their generation, neither Francisco nor Atilana could speak English. Francisco appears to have died in the 1910s, probably after the publication of the King’s map. By the 1920s, the house at 363 Garcia was owned by the Vigil family.<sup>4</sup>

### The Vigils

The 1930 census recorded the household consisting of Victor, 52, his wife Genoveva Garcia, 48, two children (Guadalupe, 30, and Antonio, 29), and a one-year-old grandson, Roberto, residing at 363 Garcia.<sup>5</sup> Victor was a ranch hand for a sheep operation, while Antonio (later Anthony) worked at the Closson & Closson filling station on Don Gaspar. The father died in 1936 — likely leaving the family in a difficult situation, given that his death occurred in the middle of the Great Depression.

### A Separate House

Before the county master’s sale, it appears Anthony built onto the original family home, probably creating the volume in the current house, closest to the street. He is shown in the 1938 city directory, living in this dwelling with the address of 365 Garcia Street.<sup>6</sup> After marrying Mary Silva, he would build out the original attachment to the family dwelling, creating a more extensive, independent home. This growth was premised on a 1950 deed in which his mother and sister gave him the south half of the family property.<sup>7</sup>

<sup>3</sup> U.S. Census Bureau, Year: 1900; Census Place: Cañoncito, Santa Fe, New Mexico; Roll: 1002; Page: 5; Enumeration District: 0122.

<sup>4</sup> The Vigils are indicated to be living on Garcia Street in the 1920 census, but no address is provided.

<sup>5</sup> U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 8B; Enumeration District: 0003; FHL microfilm: 2341134.

<sup>6</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1938 (El Paso: Hudspeth Directory Company, 1938), 264.

<sup>7</sup> Quitclaim Deed, Guadalupe Vigil and Genoveva G. Vigil, to Antonio and Mary Vigil, husband and wife, recorded February 9, 1951, Book 55/Page 448, 1951102136.

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The same year, the census recorded the small household living in the now separate home at 365 Garcia. It included Antony, 49, now going by Tony, who worked as a truck driver for the city, and Mary, 48, who was keeping house.<sup>8</sup>

### Tony and Mary

Newspaper articles give a sense of the couples’ political affiliations and personalities. In a 1962 controversy over the proposed rezoning of a neighborhood market, Tony went after the Old Santa Fe Trail Association, who opposed it, with nativist anger. In a letter to the editor published in the *New Mexican*, he complained about outsiders stealing “our culture,” leveling his anger at “johnny-come-latelys who now tell us how we must build in our houses to cater to a tourist trade curious to see the same houses which were built by OUR people.”<sup>9</sup>

In a hearing on the same topic a year later, Mary chimed in, again going after “outsiders” and their undue influence.<sup>10</sup> (Of course, they both had valid concerns and would be horrified at how things turned out). In 1964, Tony, a Republican, ran unsuccessfully for county assessor.

Beginning in the 1960s, the couple began spending time in Concord, California (east of San Francisco), where Mary had children from a previous marriage. They eventually relocated to the Bay Area in 1971. Antonio Vigil died in Concord in 1973 and is buried at the Queen of Heaven Catholic Cemetery in nearby Lafayette.<sup>11</sup>

By then, their home on Garcia Street had been turned into a rental. Three years after Tony’s death, Mary, then the sole owner of the property, deeded it to Charles A. Schelberg, a tenant.<sup>12</sup> It remained a rental, with various tenants, for over four decades.

<sup>8</sup> 1950 U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1.950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 74; Enumeration District: 26-5.

<sup>9</sup> “OSFA Stand Blasted [letter to the editor],” *Santa Fe New Mexican*, March 4, 1962,

<sup>10</sup> Quoted in “Grocery Store Issue Embroils SF,” *Santa Fe New Mexican* 1963, January 10, 1963, 2.

<sup>11</sup> “Vigil [obituary],” *Concord Transcript*, April 6, 1973, 11.

<sup>12</sup> Warranty Deed, Mary S. Vigil, widow, to Charles A. Schelberg, recorded April 27, 1978, Book 362/Page 385, 1978419306.

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### Evolution of Footprint

Aerial photographs capture the growth of the home’s footprint, but the exact sequence of additions is not entirely clear. A flyover from 1958 shows the current living room and kitchen areas in place (Fig. 4). The large tree at the back of the lot might suggest the home had not been built so close to the east property wall at the time. A 1966 aerial may imply that the east bathroom had not been constructed (Fig. 5). A 1973 overhead image shows different roof planes and fenestration along the east elevation, again advancing that the east bathroom had not been built (Fig. 7). This section of the house is still unclear on a 1978 aerial, but by now, the sitting room extension on the south elevation was in place (Fig. 8).

A 1999 real estate listing may hold an essential clue to the home’s later development, especially regarding east elevation and the second bathroom. At the time, the house — really an apartment — was listed as containing one bedroom and 1¾ baths.<sup>13</sup> Nine years later, it had grown, according to a similar ad, into two bedrooms and two bathrooms.<sup>14</sup>

### Evaluation of Historical Status

The house is currently Contributing to the Downtown and Eastside Historic District. Identified alterations and lingering questions about the building’s east elevation should remove these areas for Contributing status.

With this in mind, the recommendation is to maintain Contributing status and suggest the west elevation and west end of the south elevation (representing the sala kitchen spaces areas) be assigned primary façades. The south property/yard wall appears historic and is recommended for Contributing status.

<sup>13</sup> “Houses Unfurnished,” *Santa Fe New Mexican*, August 8, 1999, 1-22.

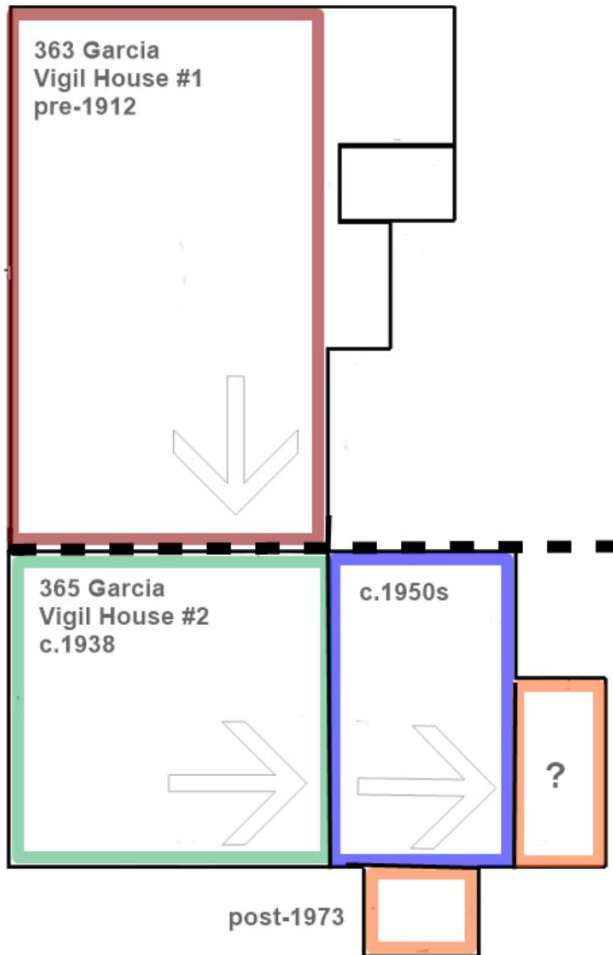
<sup>14</sup> “Houses Unfurnished,” *Santa Fe New Mexican*, May 14, 2008, E-2. A search of the HDRB case database did not find a project for this address. This may explain the anomaly of the east elevation, as compared with aerial photographs. In addition, interior partitioning of spaces may have increased the room count.

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## Illustrations



**Figure 1: Inferred footprint expansion.**

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Figure 2: P. C. Gaynor, "Map of Santa Fe," 1892.  
 F. Garcia property highlighted.

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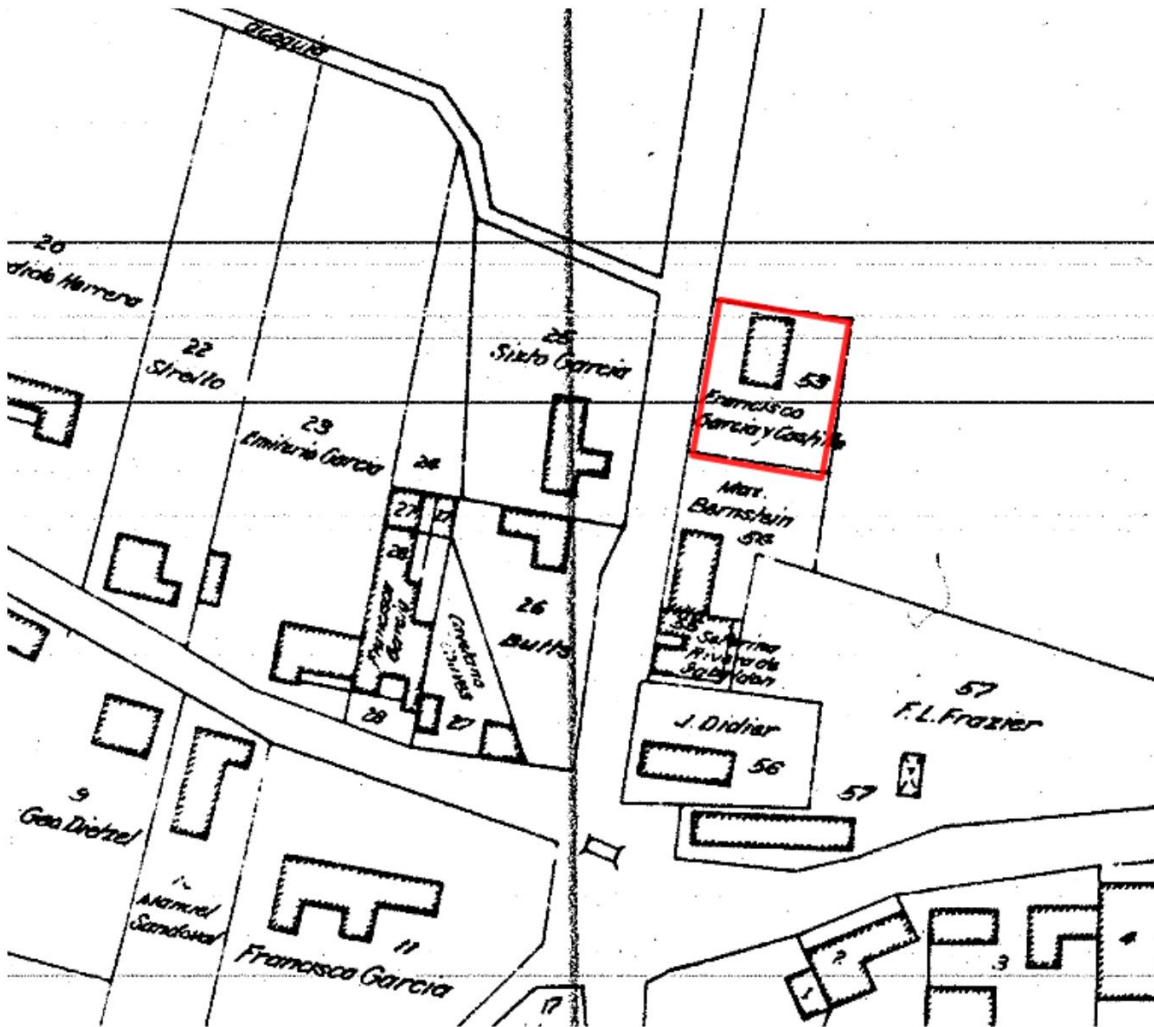
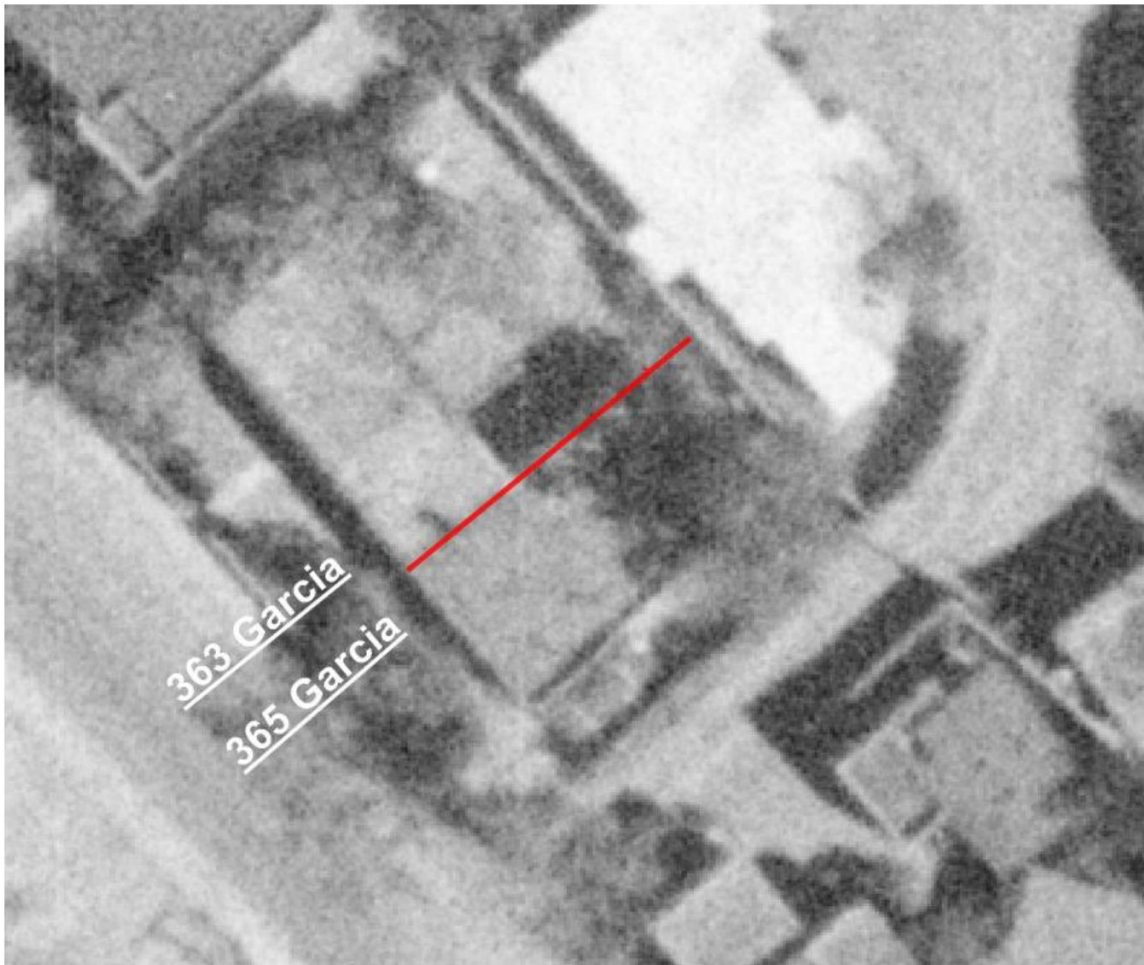


Figure 3: N. L. King, "Map of the City of Santa Fe," 1912. Francisco Garcia y Castillo property highlighted.

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**Figure 4: November 10, 1958, aerial photograph.  
 Note large tree in backyard.**

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**Figure 5: May 2, 1966, aerial photograph.**

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**Figure 6: February 2, 1968, aerial photograph.  
Note stacked cars.**

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**Figure 7: May 11, 1973, aerial photograph.**  
**Note different composition of east elevation and absence of south elevation extension.**

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**Figure 8: September 11, 1978, aerial photograph.**  
**Note presence of south elevation extension and different composition of east elevation.**



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## Survey Photographs

(All images taken by John W. Murphey, on October 14, 2023, unless otherwise noted)



**Photo 2: 363 and 365 Garcia Street. Street view. Camera facing east.**

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**Photo 3: West elevation. Camera facing northeast.**

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**Photo 4: West elevation. North end where house shares a wall with 363 Garcia. Camera facing east.**

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**Photo 5: West elevation. Entry. Camera facing east.**

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**Photo 6: Sala or living room. Camera facing southeast. October 11, 2023.**

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**Photo 7: South elevation. West end representing sala/living room area. Camera facing northeast.**

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**Photo 8: South elevation. Window at sala/living room area. Camera facing north.**

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**Photo 9: South elevation. Kitchen area at right. Camera facing northwest.**

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**Photo 10: South elevation. Door to kitchen. Camera facing north.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 14, 2023			

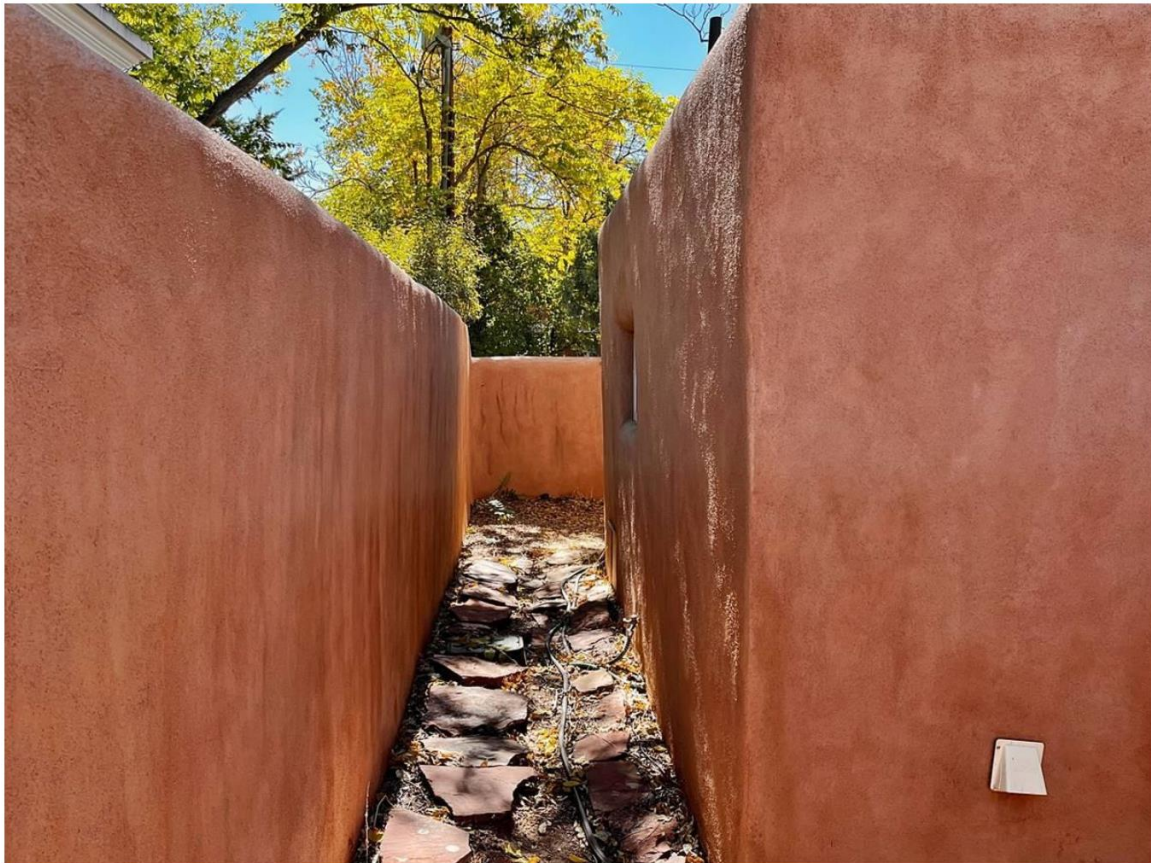


**Photo 11: South elevation. Non-historic extension. Camera facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  <b>Anthony and Mary Vigil House</b>	<b>2. Location:</b>  <b>365 East Garcia Street                      Downtown and Eastside Historic District                      - Santa Fe</b>	<b>3. Local Reference Number:</b> <b>Santa Fe ID: H-2095</b>			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: October 14, 2023</b>			



**Photo 12: East elevation. Right area represents probable non-historic bathroom extension. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 14, 2023			



**Photo 13: East elevation. Bathroom. Camera facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 14, 2023			



**Photo 14: Bathroom. Camera facing east. October 11, 2023.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Anthony and Mary Vigil House	<b>2. Location:</b>  365 East Garcia Street Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2095			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 14, 2023			



**Photo 15: South property/yard wall. Camera facing north.**



## CITY OF SANTA FE HISTORIC PRESERVATION DIVISION HISTORIC DISTRICTS APPLICATION

### 1. Applicant Information (to be completed by the Applicant)

Date: 10/30/2023 Location of Project: 365 Garcia Street

Applicant

Name: Martinez Architecture Studio PC

Phone: 505-989-4958 Email: studio@martinezarch.com

Property Owner

Name: Susan Ey

Phone: 505-989-4958 Email: studio@martinezarch.com

Proposed Work:

We are requesting a status review.

### 2. Property and Project Information (to be completed by HPD Staff)

Case Planner: \_\_\_\_\_

Date Assigned: \_\_\_\_\_ PAR No.: \_\_\_\_\_

Date of Site Visit: \_\_\_\_\_ Time: \_\_\_\_\_

Historic District: \_\_\_\_\_

Historic Status: \_\_\_\_\_

Primary Elevations: \_\_\_\_\_

Previous HDRB and Admin Cases: \_\_\_\_\_

	Yes	No
Archaeological compliance required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: \_\_\_\_\_

Date of Follow-Up with Applicant: \_\_\_\_\_

### 3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at [https://www.santafenm.gov/historic\\_preservation](https://www.santafenm.gov/historic_preservation).

Application Submittal Date: 10/30/2023

Desired Hearing Date: 11/14/2023

Project Type:

Status

New Construction

Sq. Ft. of project: \_\_\_\_\_

Primary Elevation Designation

Remodel

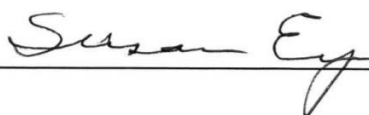
Sq. Ft. of project: 1,250 SF

Construction Cost: \_\_\_\_\_

### AFIDAVIT AUTHORIZING AGENT/APPLICANT

*As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.*

Print Name Susan Ey

Signature 

A R C H I T E C T U R E  
M A R T I N E Z  
S T U D I O P C

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504  
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

**STATUS REVIEW – Ey Residence**

**365 Garcia Street**

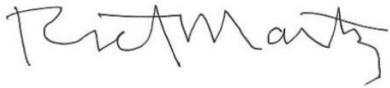
October 30, 2023

Downtown/Eastside Historic District, Contributing status

**EXISTING CONDITIONS:**

On behalf of the property owners, John and Susan Ey, the attached application requests a status review of the above referenced property.

Sincerely,



Richard Martinez  
Martinez Architecture Studio PC

# RPA & Associates

PRESERVING OUR HISTORY

508 Ortega Rd NW Los Ranchos de Albuquerque, NM 87114  
P.O. Box 10328 Albuquerque, NM 87184  
505-379-7900  
rpahistoric@gmail.com

TO MARTINEZ ARCHITECTURE STUDIO PC  
1524 PASEO DE PERALTA  
SANTA FE, NM 87501  
(505) 989-4958  
studio@martinezarch.com

## HISTORIC ASSESSMENT NO. 200823 -HA



JOB	DATE
365 GARCIA STREET, SANTA FE, NM 87501	08/17/2023

LOCATION	DESCRIPTION
<u>WEST</u>	
A	29 x 61 LR INSWING CASEMENT 1W4H
DR #1	36 x 80 LH INSWING DOOR SC LUJAN
B	29 x 61 LR INSWING CASEMENT 1W4H
<u>SOUTH</u>	
C	69 x 52 LSSR INSWING CASEMENT 1W4H/2W4H/2W4H/1W4H
D	49 x 38 LR INSWING CASEMENT 2W3H
DR #2	31 x 71 RH INSWING DOOR PLANK DOOR
<u>WEST</u>	
E	34 x 57 LS INSWING CASEMENT 1W4H/2W4H
<u>SOUTH</u>	
F	46 x 56 4W4H FIXED
<u>EAST</u>	
G	34 x 57 SR INSWING CASEMENT 2W4H/1W4H
H	31 x 23 AWNING V WHITE CLAD/WOOD 1-LT
I	23 x 32 LR INSWING CASEMENT 1W2H

In closing, my professional opinion is that Windows A, B, C, D, E, F, G & I are historic, however the sashes have been modified with an additional piece of glass and stop. This modification makes the windows impossible to repair to a historic appearance. The sashes would have to be replaced. The jambs on the windows are historic, however the jambs also have rot and decay because of not being flashed properly, and the sills have been covered over with various re-stuccoing; allowing moisture into the walls. To fix the flashing issue the jambs would need to be removed and in my professional opinion, the jambs would be damaged beyond repair in the process of removal. It is of great importance to have proper window flashing to preserve the integrity of the walls. Both sashes and jambs should be replaced in like and kind.

Window H is clad/wood, non-historic. Doors 1 and 2 are from the years 1998-2000, not fitting the criteria to be considered historic.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Re N. Patterson* \_\_\_\_\_



SOUTH & EAST ELEVATION



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

KEY RESIDENCE  
365 GARCIA STREET  
SANTA FE, NEW MEXICO

EAST ELEVATION  
OCTOBER 30, 2023



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

EY RESIDENCE  
365 GARCIA STREET  
SANTA FE, NEW MEXICO

SOUTH ELEVATION  
OCTOBER 30, 2023



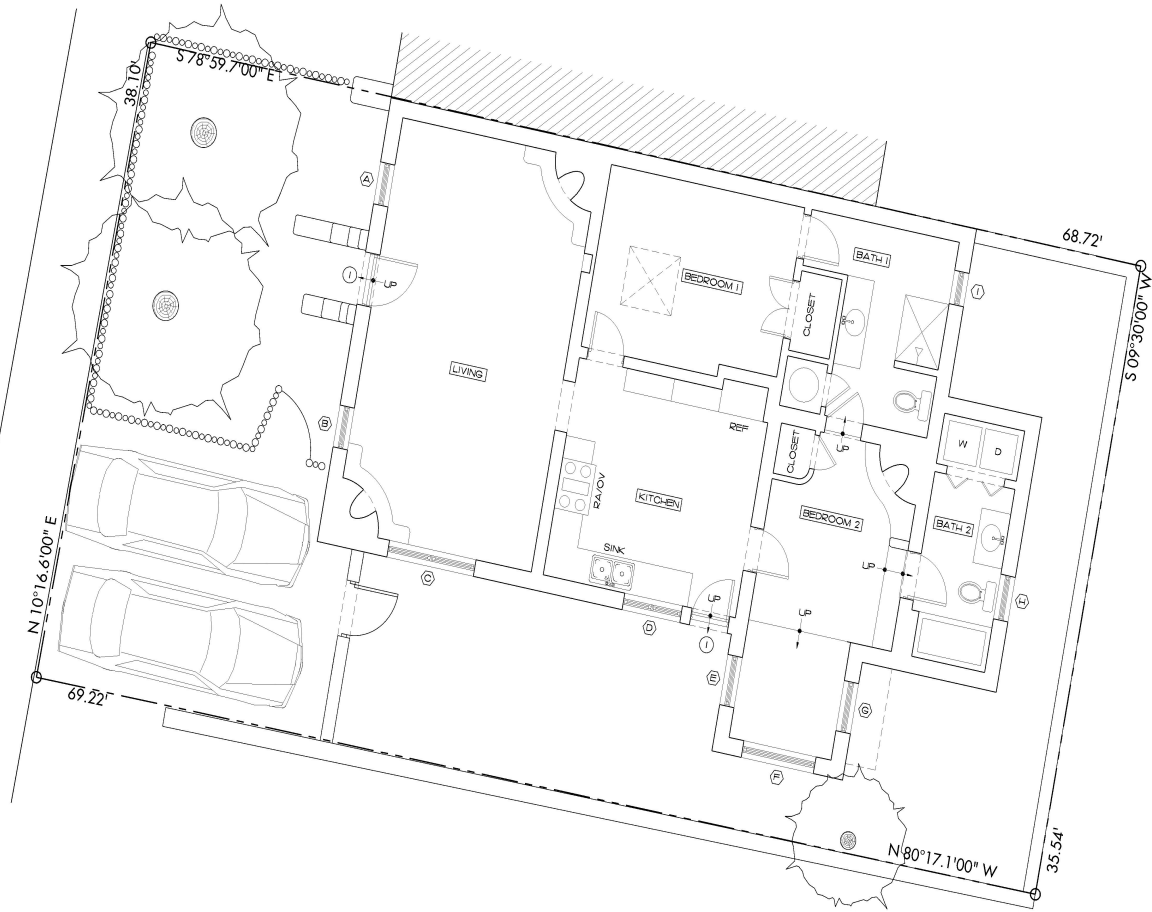
MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

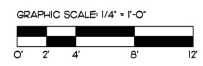
EY RESIDENCE  
365 GARCIA STREET  
SANTA FE, NEW MEXICO

WEST ELEVATION  
OCTOBER 30, 2023

GARCIA STREET



1 EXISTING SITE PLAN  
A-1.0 SCALE 1/4" = 1'-0" NORTH



MARTINEZ  
ARCHITECTURE  
STUDIO PC  
1524 PASEO DE PERALTA, SANTA FE  
505.989.4958 studio@martinezrich.com

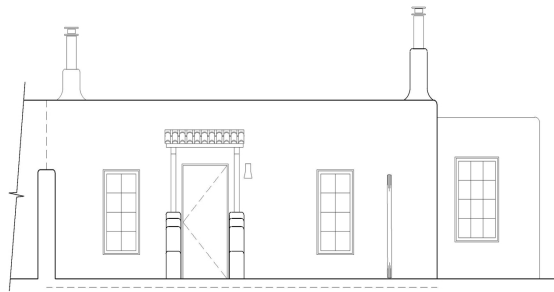
EY RESIDENCE  
365 GARCIA STREET  
SANTA FE, NEW MEXICO

OCTOBER  
30, 2023

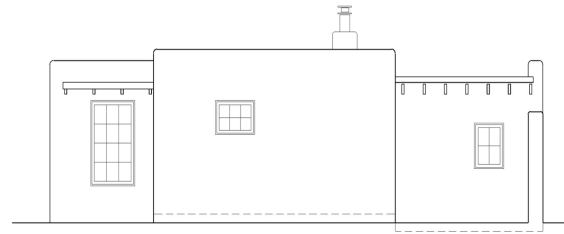
EXISTING  
SITE PLAN  
W/ FLOOR  
PLAN

1.0  
SET  
#365  
RESIDENCE

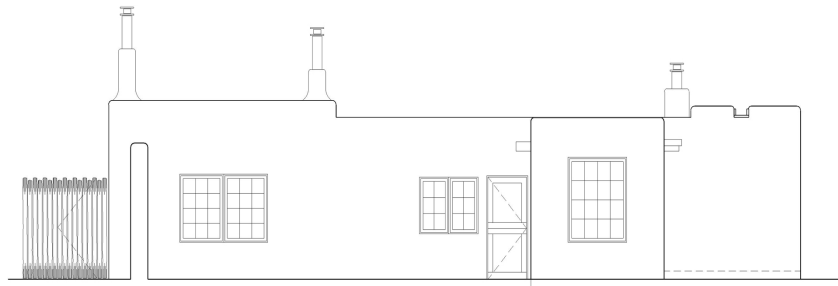
Z:\2316 - Ey Residence\Current Drawings\2316 - Ey Residence\A-1.0.dwg, 10/26/2023 2:38:18 PM, AutoCAD PDF (General Documentation).lsp



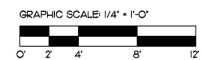
1 EXISTING WEST ELEVATION  
A-30 SCALE 1/4" = 1'-0"



2 EXISTING EAST ELEVATION  
A-30 SCALE 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION  
A-30 SCALE 1/4" = 1'-0"



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA, SANTA FE  
505.989.4956 studio@martinezrich.com

EY RESIDENCE  
365 GARCIA STREET  
SANTA FE, NEW MEXICO

OCTOBER  
30, 2023

EXISTING  
EXTERIOR  
OR  
ELEVATIONS

A  
2.  
0

SET  
#365  
EY RESIDENCE

Z:\2316 - Ey Residence\Current Drawings\2316 - Ey\_231026.dwg, 10/26/2023 2:38:22 PM, AutoCAD PDF (General Documentation).lwp

GARCIA STREET



F-1  
F-2  
F-3  
F-4  
F-5  
F-6  
F-7  
F-8  
F-9

South  
Site  
Wall

Proposed  
Primary Facades  
Proposed  
Contributing Site  
Wall

EXISTING SITE PLAN  
1/4" = 1'-0" NORTH

# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Ramón J. Sarason, Senior Planner, Historic Preservation Division

---

**2023-007721-HDRB.** 1047-A Camino San Acacio. Downtown and Eastside Historic District. Non-contributing, Autotroph Design, agent for Jason & Meghan Mercer, owners request a two story remodel addition of approx. 1,185 sq. ft. on the south and west elevation, to height of 16'-9" where the maximum allowable is 16'-9".

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Color board with materials

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## BACKGROUND & SUMMARY:

1047-A Camino San Acacio (The Round House, Dunham/Boehm House) is a single-family residence and adjoining guest house listed as non-contributing to the Downtown and Eastside Historic District in the vernacular architectural style (or as described the 2023/07/28 HCPI: "Hippie"/Pueblo (on the consumerist end of the trend)". Sitting at the bottom of a dirt lane like a little stucco drum is the 1978 Round House with its guesthouse and addition. The circular piece

is constructed of concrete masonry units, with the exterior built up to make it look like adobe. Attached to the circle, almost like a wrench, is a lower section holding a former studio and guesthouse. A recent apartment at the east end terminates the one-story block.

Now, the applicant proposes the following exterior alterations:

**At the Previous 2018 Addition – Proposed Remodel:**

1. At east façade, add a new appx. 21'-9" W x 14'-8" D wood trellis structure with latillas at the exterior of the existing Kitchen. Height from finished floor to bottom of beam = 9'-2". All wood to be painted with Sherwin Williams "Spice Chest 3513" semi-transparent stain.
2. New 1'-11"H parapet extension to create a stepped façade look. New overall height from natural grade to new extended top of parapet = 15'-11" at lowest grade (east wall).
3. Add a new framed wall bump-out at the northeast corner of the existing Kitchen with no roof for Barbeque grill. Height from natural grade to top of parapet = 14'-0" to match existing north wall parapet height within 10'-0" setback.
4. (2) New Parapet wall with drainage openings added on top of roof the first is at 6'-4" inset from the existing north wall to maintain 10'-0" setback of max. 14'-0" parapet height along north facade, aligning with Barbeque grill lower bump-out & the Second at 5'-0" inset from the existing south wall. Both are for stepped massing purposes.
5. Remove (2) existing 3'-0"W x 5'-6"H windows on the East façade at the existing Living Area (at new Kitchen sink) and replace with (3) 3'-0"W x 5'-6"H Andersen Architectural Series wood aluminum-clad window mullied together with divide lites, one continuous wood lintel above, and a sill at 3'-0" above the finished floor.

**At the Entire Building Exterior:**

6. Re-stucco entire home in El Rey color "La Luz" (125) with "light sand" finish.
7. Window exterior aluminum-cladding to be Andersen Windows "Slate" (DC-132) color.
8. Paint all doors & lintels with Sherwin-Williams custom color "K43T54" to match the Andersen Windows wood aluminum-clad color "Slate" (DC-132).
9. Paint for all wood elements, such as columns, beams, and latillas with Sherwin Williams "Spice Chest 3513" semi-transparent stain.
10. Coyote fencing and gates to be natural color and finish.

**Exterior Landscape Improvements:**

11. Demolish all existing sidewalks and porch floor hardscaping.
12. Demolish existing coyote fencing at head-end of Parking Area and along north property line.
13. Add a new appx. 23'-6" W x 8'-0"H stucco Yard Wall at head of Parking Area in lieu of 23'-6"W x 6'-0"H coyote fence and gate. New Yard Wall to have custom wood gate with gate opening edged with flush-set 6"x6" decorative wall tiles, a custom ceramic wall sconce and door handle (made by a previous owner and matching other existing exterior wall sconces and existing front door handle), and new ceramic flush-set address numbers. Wood gate painted Sherwin Williams "Spice Chest 3513" semi-transparent stain.
14. Proposed appx. 8'-11" W x 5'-4" D x 8'-0"H Bike Shed on opposite side of Yard Wall described above. Stucco walls on (3) sides of Bike Shed will support an in-set (lower than wall) metal shed roof, hidden on the inside of the yard wall. Height of beam supporting front of roof = 6'-11" AFF.
15. New flagstone hardscape at Entry Gate, Front Entry Patio, and Bike Shed to be 1" lower than Hogan finished floor.

16. New flagstone steps to get down to natural grade at Front Entry Patio where exterior Seating Area with a water feature is to be developed.
17. New flagstone hardscape Walkway from new coyote fence gate at east side of Parking Area extending to proposed Kitchen.
18. New flagstone hardscape Patio at east side of 2018 Addition near Kitchen to be 1" lower than adjacent interior finished floor, with 22'-9" L x 18"H x 20" D Banco with retaining wall seat back.
19. New 13'-9" W x 5'-0"H coyote fence with 6'-0" W coyote fence double-gate located on the southwest of Hogan for uncovered exterior storage area.
20. New 13'-2" W x 5'-0"H stucco yard wall with 6'-0" W x 5'-0"H coyote fencing double-gate to separate parking area and south-facing front yard.
21. New Hot Tub and Cold Plunge added at existing Deck in southeast corner of property.
22. New 5'-1" W x 6'-0"H stucco Yard Wall nook space near existing Deck.
23. (3) new 5'-0" W x 3'0" D x 18"H Raised Planter Beds in front of south façade of the 2018 Addition made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
24. At SE corner of house, add new Seating Area 7'-7" W x 8'-3" D L-shaped Banco with appx. 3'-8" Diam. Firepit. L-shaped Banco to be made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
25. New Retaining Rock Walls to define useable spaces, provide planted areas, and retain earth in areas that need it. Heights vary but shall not exceed 4'-0" H. Walls made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
26. New 6'-0"H coyote fence to replace existing 6'-0"H dilapidated coyote fence along the north property line.

### **RELEVANT CODE CITATIONS:**

#### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

##### (2) Recent Santa Fe Style


Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date of Form: September 8, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D		
<b>1. Name of property:</b>  The Round House Dunham/Boehm House	<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: N/A  <b>4. County: Santa Fe</b> Parcel # 18000114
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> July 28, 2023		
<b>7. Previous Survey Date(s):</b> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Evaluation		
<b>9. Lat/Long:</b> 35.677750, -105.920331		
<b>10. Photo Information</b> John Murphey, photographer. <span style="float: right;">Photo 1: View south elevation. Camera facing northeast.</span>		
<b>11. Brief Description of the Property:</b>  Sitting at the bottom of a dirt lane like a little stucco drum is the 1978 Round House with its guesthouse and addition (Photos 1 & 2). The circular piece is constructed of concrete masonry units, with the exterior built up to make it look like adobe. Attached to the circle, almost like a wrench, is a lower section holding a former studio and guesthouse. A recent apartment at the east end terminates the one-story block.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> Date: Before 1978 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and real estate listings		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input type="checkbox"/> Similar <input checked="" type="checkbox"/> Dissimilar Comments: N/A		

# HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
parcel lines are not accurate

17. Surveyor:  
(your name, address, telephone number, and any group affiliation)

John W. Murphey  
Architectural Historian  
Architectural History Services  
505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)

For current owner: Jason C. and Meghan S. Mercer/autotroph

18. Owner (if known) and other knowledgeable people:

Current owner: Jason C. and Meghan S. Mercer

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
If yes:  State  National  
If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
If yes:  Significant  Contributing  Non-contributing  No Status  
Per City of Santa Fe official designation map  
If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>																									
		NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D																								
<b>1. Name of property:</b>  The Round House Dunham/Boehm House	<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: N/A	<b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 28, 2023																								
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																											
<b>6. Visible Construction Material:</b>  <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: CMU; latilla		<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input checked="" type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____  <b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Asphalt																									
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casements</td> <td>Wood</td> <td>1, single &amp; grouped</td> <td>app. 27</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>1</td> <td>app. 6</td> </tr> </tbody> </table> Note: Based on visibility and access during survey		Operation	Material	Glazing	Number	Casements	Wood	1, single & grouped	app. 27	Fixed	Wood	1	app. 6	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Narrow Lite</td> <td>Wood</td> <td>3</td> </tr> <tr> <td>Single-Leaf</td> <td>Full Light</td> <td>Wood</td> <td>2</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Narrow Lite	Wood	3	Single-Leaf	Full Light	Wood	2
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Type	Style	Material	Number																								
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Single-Leaf	Full Light	Wood	2																								
<b>12. Chimneys</b> <input checked="" type="checkbox"/> 2, short stucco-clad stacks		<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																									
<b>14. Other Significant Features</b> N/A																											
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  <b>#1 Date:</b> c.2018-19, demolition of carport and guesthouse to construct addition; HDRB records, drawings, and aerials																											

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |   |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial            |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival          |

Notes:  Other: "Hippie"/Pueblo (on the consumerist end of the trend)

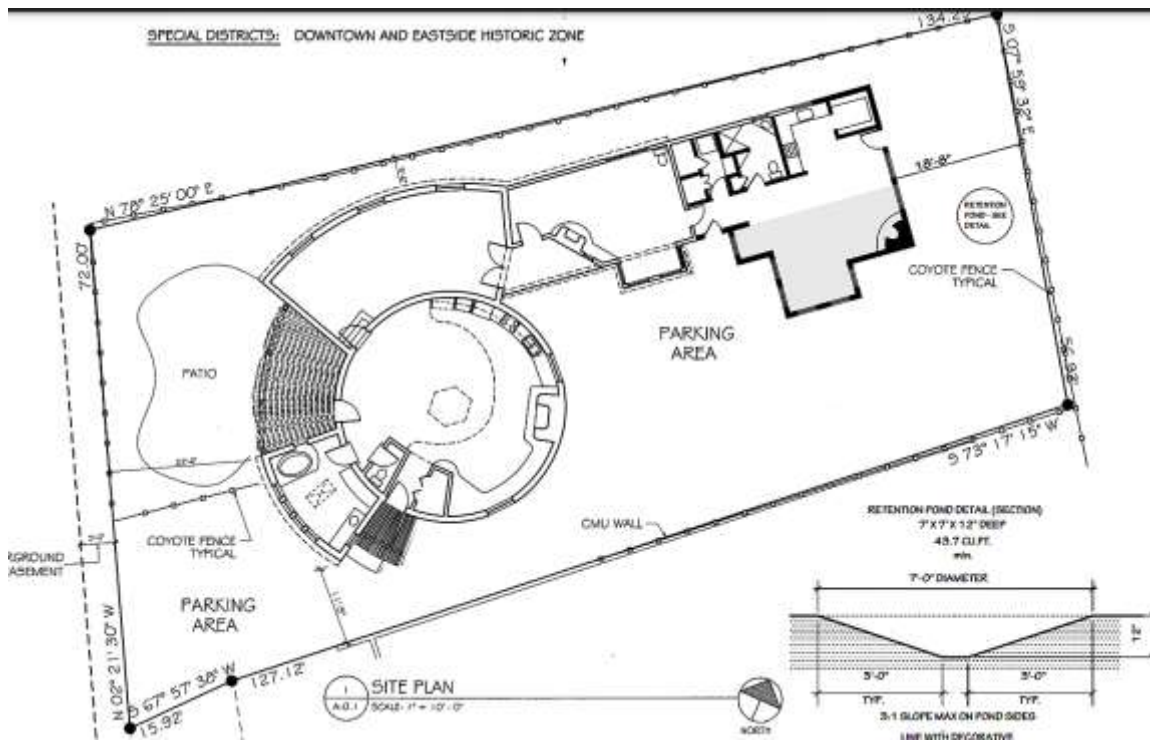
17. Documents Available and Their Locations

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: 2018 site plan, courtesy Marc Natkin.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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## Architectural Description Continued

The public entrance to the round portion is through a narrow door at the southwest. The center has a strip-like light flanked by a vertical band of hand-made tiles, many containing what appears to be an eye motif (Photo 3). Shading the entrance is a simple wood structure made of fanned *latillas* resting on a wood ledger and beam. The *latillas* cast dramatic shadows in the morning light (Photo 4).

Moving around the circle clockwise, next is a lower, curving room which holds a bathroom. (Photo 5). The space has splayed ceiling beams topped with rough boards. A hole is cut between two of the beams for an angled skylight. The room, like the older portion of the building, is fenestrated with store-bought windows. This compromise standard manufactured insulated casements. The single or grouped windows are set back a few inches in the wall.

Moving northeast beyond the bathroom, the wall cuts back to create an indented patio (Photo 6). The space is shaded with a similar ramada-type porch and floored with brick. Three brick steps lead to a wood door with two narrow vertical lights.

The wall projects out again to enclose a former art studio. This space, partially rebuilt in the 1990s, has a uniform arrangement of openings containing grouped casements (Photo 7). The small buttresses likely represent part of the work to stabilize the wall. Beyond the studio, moving in an eastward fashion, are the guesthouse and an addition constructed in the late 2010s. At this point, the building turns to a rectilinear plan and is fenestrated with similar single-light windows (Photo 8).

Back at the front entry, moving counterclockwise, are a few isolated grouped wood casements (Photo 9). Turning northwest, the round portion blends into the former studio and guesthouse.

## Interior

The most notable feature of the Round House is its central circular room. The space, paved with a brick floor, has white-washed curved walls and a hogan-like ceiling (Photo 10). The ceiling, with its dodecagon structure and tightly packed wood poles, is reminiscent of several local handbuilt hogan-inspired houses, including Dennis Culver's

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“Round House” (no date) and George and Lynette Wooliver’s “Ceremonial Spirit” (1973). Drawing light into the room is an octagonal dome. Looking over the room is a fluid-shaped sleeping loft outlined with a wood lighting-pattern railing. This feature draws inspiration from Frank Lloyd Wright’s “Solar Hemicycle” (1943-44) and locally, David Wright’s “Sunscoop” (1974), which both employed mezzanine living lofts. However, Round House’s clean deployment of these devices seems more mainstream.

**Guesthouse and Addition**

The former guesthouse is a flat-roof, rectangular volume clad with buckskin-color stucco. This structure once extended further east with a bathroom and attached carport, which were removed for the addition. The visitor is drawn into the guesthouse by an inverted V-shaped porch leading to the front door (Photo 11). Like those at the round portion, the door is a slender wood unit with a vertical center light. A pair of paneled wood swinging doors to the west open to the studio.

Beyond the porch, to the east, is a shallow bumpout once enclosing a sleeping platform (Photo 12). The space, with its reverse-angle shed roof, recalls mid-1970s solar design. It is fenestrated with the same wood windows found elsewhere in the house.

Beyond this, the roof jumps up in height, signaling the recent addition (Photo 13). The ten-sided volume — with its raised parapets, crisp edges, and block-like massing — differs from the older building but blends in with its undivided light vertical windows and brown stucco (Photo 14).

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## Historical Overview

### A Round House

The circular house — from the Maasai thatched dwelling in Tanzania to Frank Lloyd Wright’s Lykes Residence (1959) jutting out from a mountain in Phoenix — captures the imagination. But though circle is a familiar shape in traditional Pueblo architecture, it has had little application in Santa Fe, a town of cubic, terraced masses.

Frank Applegate first explored it with his “El Torreón” (1930), a two-story adobe-on-brick residence built on El Caminito. The cylindrical shape had its most impressive and visible application with the New Mexico State Capitol (the Roundhouse)(1964-66), designed by Kruger and Associates to represent a hogan and the spokes of the Zia symbol.

The hexagon and circle are common shapes in nature and became a central idea of organic architecture. Circular forms experienced a renaissance during the handbuilt hippie period when builders appropriated the kiva and hogan to inspire home construction. John and Georgie McGowan’s “Pit House” (1974-75) off Zia Road was built underground to look like a kiva and garnered national attention. Nearer was George and Lynette Wooliver’s “Ceremonial Place” on Upper Canyon, with one room designed to look like a hogan (Fig.1 ).

One of the untutored designers of this era is likely responsible for the Round House.<sup>1</sup> But the origin of the Round House is unclear. No one seems to recall seeing it being built or the name of an architect or builder.<sup>2</sup> The best information indicates that it was constructed in 1978 for a potter who lent some of her craft – tiles and blocks – to its ornamentation.<sup>3</sup>

<sup>1</sup> The name reflects how it was described in real estate ads as the “Round House.”

<sup>2</sup> The author reached out to architect David Wright and builder Walter Drew, both prominent in the solar adobe period, and neither knew of the house. The author additionally contracted a later owner of Walter Drew’s one-time office on Camino San Acacio — a space once rented by Judy Blume — and he had no knowledge of the Round House. The author additionally contacted the most recent architects involved with the house: Richard Martinez and Marc Natkin.

<sup>3</sup> Elizabeth Dunham, telephone interviews with John Murphey, July 29 and September 7, 2023. Dunham’s memories and stories informed much of the following text and are not cited hereafter.

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## The Dirt Road

It sits at the bottom of a dirt lane off Camino San Acacio. Camino San Acacio — originally San Acacio Road — developed through a string of houses along its north side. It meandered along a ridge above Acequia de Los Lopez, an ancient irrigation ditch, watering corn, alfalfa, wheat, oats, and beans along its two-mile course. Families built their homes on the ridge, forming a row. The south side of the road, composed of a slope of Talaya Hill, served as uplands. Here, goats and sheep wandered the hillside. The top of the hill was crowned by Talaya Hill Reservoir, a basin built in the 1890s to collect rainwater for fire suppression and to supplement the city’s drinking water.

Soon, informal neighborhoods began to develop on the downslope north of the road. These were grouped along narrow family plots. Historic maps attach the names Gallegos, Sena, Del Ora, and others to these lots. Running down the center of the lots, the families built crude roads. The one holding the subject house has refused to take on a name.

The name that surrounded the future Round House was Vigil. This family name — perhaps associated with Santos Vigil, who owned a large tract in the area — was omnipresent along the unnamed lane. In the mid-1970s, just before the Round House took form, several people named Vigil who were likely all interrelated lived in four separately addressed houses near the top of the lane.<sup>4</sup>

On a 1973 aerial photograph, the lot holding the circular home was undeveloped raw land (Fig. 2). It was covered with scrub and crisscrossed by dirt paths. The road had not yet moved that far downhill, and homes in the area were accessed from Camino Cerrito or Canyon Road.

One home appearing on the aerial could be important. The lot just north of the empty parcel has a building with an intriguing footprint. It contains a basic rectangular box, but connected to it by a stubby arm is an octagonal room capped with a cupola. The name attached to the property is George Wooliver.

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<sup>4</sup> A 1992 survey plat shows that Susan Vigil owned the adjacent “B” tract and, therefore, may have owned the subject property.

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## Very Unusual

The second owner of the Round House does not have a clear grasp of the history of the house before she lived there. Elizabeth Dunham owned it for 17 years beginning in the early 1980s. She recalls hearing that it was built by a “small group” of local builders, who took a long time to erect it. And then that a female realtor lived in it for free before it was sold to a couple from the East Coast who used it as a summer home.

Her memory aligns with newspaper ads in summer of 1978. Listed by Sargent Realty, an advertisement in July invited inspection of a round house and guesthouse under construction. The home, with a north-facing studio, carport, and hot tub, was declared “very unusual.”<sup>5</sup> No address was provided. But its selling points (north studio, hot tub, guesthouse, carport) indicate likely it was the house Dunham acquired.

And so does a 1978 aerial view. The aerial, taken in September, shows a circular building with an arc across its north side and a rectangular guesthouse and carport extending out like a handle (Fig. 3). A careful look at the photo shows what appears to be piles of construction material on the adjacent lot, which was then part of the property.

## Dunham’s House

Seeking a new life after a divorce, Dunham came out from Newton, Massachusetts, and fell into Santa Fe’s early 1980s Bohemian milieu. She had already scouted New Mexico, coming out in 1979 and 1980 for visits to the Lama Foundation, where she studied under Ram Dass, exploring Islam.

The Harvard-educated artist got a job with Katie Peters and would soon direct Peters’ Sena Plaza Galleries. She acquired the Round House for \$60,000 in 1982, which she calls “a magical year.” Dunham would do much to develop its patio and garden. She painted in the studio, slept in the loft, rented the guesthouse to help pay her mortgage. In 1990, avant-garde composer John Cage would spend a night in the loft after a performance at the gallery.

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<sup>5</sup> “Round House with Guesthouse [real estate ad],” *Santa Fe New Mexican*, July 17, 1978, B-9.

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Dunham quickly learned of the home’s quirks. Things didn’t shut correctly; sometimes there was no heat. Thinking about it later, she said that whoever built it “didn’t know what they were doing,” concluding, “that was Santa Fe then.” But the quirks became oppressive when, well into her ownership, she learned the building was sliding off its foundation. This required an expensive intervention involving a \$50,000 loan.

Dunham did not want to leave but could no longer afford the house. She had gained a neighborhood where writer Judy Blume was her next-door neighbor, and people casually walked down the lane to get to Canyon Road. The community was still Hispanic-dominant, and people would stop and talk and exchange stories.

She listed the house in 1999 at \$360,000 and sold it to Christopher H. Boehm, an anthropologist specializing in primatology. She was annoyed when Boehm stuck his last name, with a series of adhesive capital letters, on a new, larger mailbox on Camino San Acacio. Things were changing.

### **He Worked with Jane**

Boehm, who had worked for Jane Goodall and once directed her research center in California, moved into the house and became a part-time Santa Fean. Over the years, he continued to live in Los Angeles where he taught at the University of Southern California.<sup>6</sup> But the purchase of the Round House was something of a homecoming. While born in Cumberland, Maryland, Boehm grew up — or so he claimed — in Santa Fe, where his father taught at the Montecito School in the late 1940s.<sup>7</sup>

The Round House likely had significance for the anthropologist, who in 1951, on a hitchhiking trip from Antioch College, stumbled upon a Hopi snake ceremony. What he called a “culture shock” led to his career.<sup>8</sup> The house, with its hogan-like form, likely reinforced his worldview. He may have written *Moral Origins: The Evolution of Virtue*,

<sup>6</sup> Margaret Crable, “Anthropologist Christopher Boehm Explored Human Conflict and Moral Origins,” March 4, 2022, University of Southern California, Dornsife, College of Letters, Arts and Sciences, <https://dornsife.usc.edu/news/stories/remembering-christopher-boehm>.

<sup>7</sup> Based on a search of newspapers, public records, and city directories, there is no indication that Boehm’s parents lived in Santa Fe before or after the late 1940s.

<sup>8</sup> Crable, “Anthropologist Christopher Boehm.”

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*Altruism, and Shame* (2012), his best-known book, from the house. He mentions his Santa Fe home once in the book, using his “dry garden” to illustrate natural selection.

Based on newspaper accounts, his presence in Santa Fe seems infrequent — or he kept a quiet life — with only a few advertisements for the occasional reading or lecture. Boehm died on November 23, 2021, at age 90. There was no newspaper obituary.

### Changes

Before he died, Boehm attempted to make a few changes to the guesthouse. Working with local architect Richard Martinez, the journey began in 2011 with a proposal to enclose the carport and replace the Round House’s cupola windows.<sup>9</sup> (See Figures 4 through 6 for the pre-addition floor and site plan). The carport was a stylish shed-roof structure at the east end of the guesthouse, connected to its bathroom. It was unused for its intended purpose and collected clutter (Fig. 7).

In the original 2011 scheme, the carport would get a flat roof and solid walls. It evolved over a year into a project to demo the carport and create a 1,372-square-foot shed-roof addition in its place. The Board approved the addition but stipulated the cupola replacement windows had to meet the 30” rule. The project stalled, and Martinez returned to the Board in 2016 with a smaller addition and a separate garage. As before, the Board approved it.

While it seems, some work had taken place, a different architect submitted a different project in 2018.<sup>10</sup> The addition would now have undivided light windows to match the units of the original home and be smaller in size.

Built where the carport once stood, it (to be used briefly by Boehm’s caretakers) was constructed as a cubic volume fenestrated with tall, undivided light windows and doors, and capped with a flat roof. The Round House, for its part, remained the same.

<sup>9</sup> The following discussion is based on a review of drawings and Board minutes from 2011, 2012, 2016, and 2018. The final project was approved under Case # H-16-052.

<sup>10</sup> Richard Martinez, email communication with John Murphey, September 8, 2023; Marc Natkin, telephone conversation with John Murphey, September 8, 2023.

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## Evaluation of Historical Status

While of an interesting form and design, the Round House was constructed after the 50-year mark and completed five years after that in 1978. It, therefore, does not meet the minimum threshold of Contributing status. In addition, a project in 2018-19 removed a portion of the original construction, that of a shed-roof carport, which appears to have been an integral feature of the original building.

For these reasons, the recommendation is to designate 1047 Camino San Acacio A Noncontributing to the Downtown and Eastside Historic District.

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## Illustrations

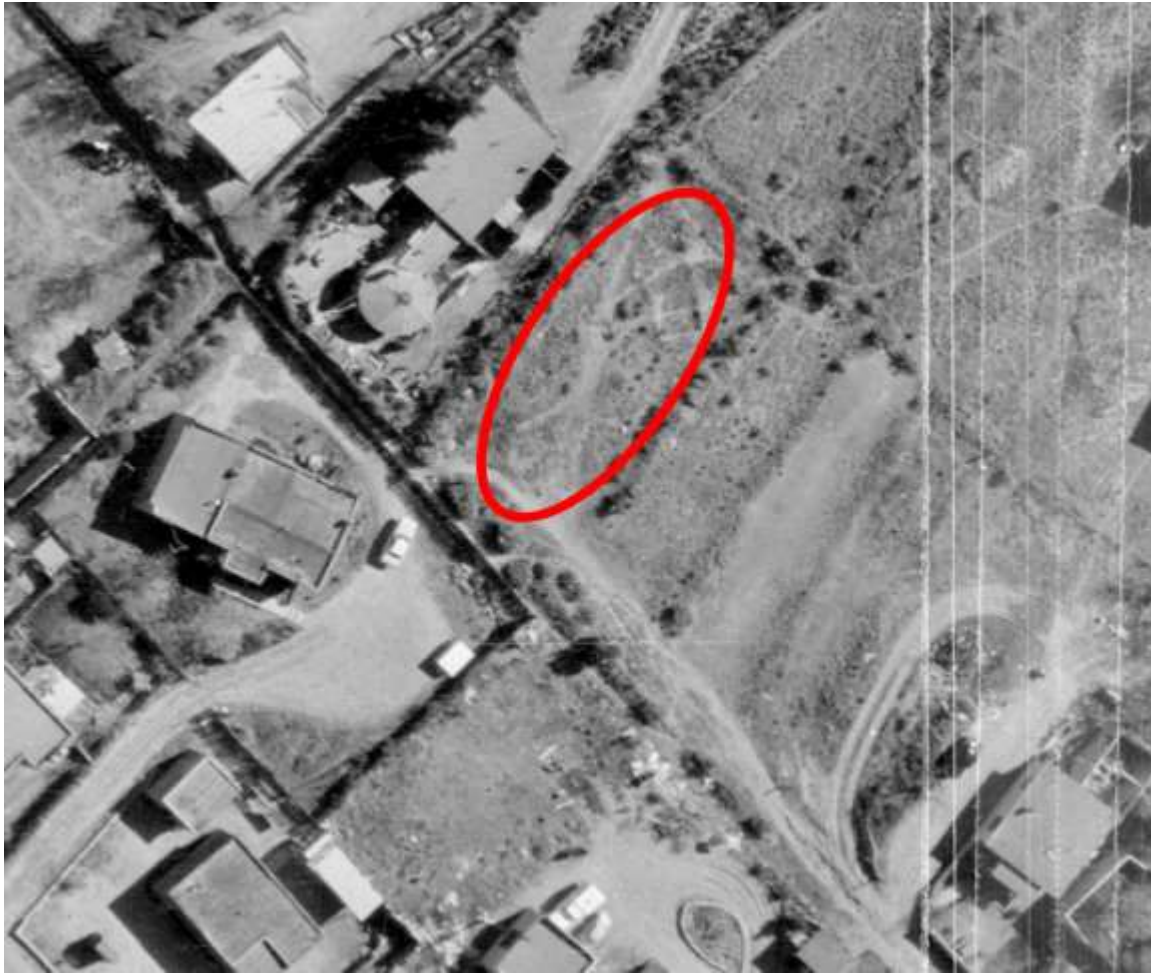


**Figure 1: George and Lynette Wooliver’s “Ceremonial Place” (c.1973). Courtesy Wayne McCall.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP _____	SRCP _____
		Criteria A B C D	
<b>1. Name of property:</b>  The Round House Dunham/Boehm House	<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: N/A	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 28, 2023	



**Figure 2: May 1, 1973, aerial photograph. Subject property circled. Note circular structure to north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
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		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 28, 2023	



**Figure 3: September 11, 1978, aerial photograph. Subject property circled. Note original form and construction material at south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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<b>1. Name of property:</b>  The Round House Dunham/Boehm House		<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe				<b>3. Local Reference Number:</b> Santa Fe ID: N/A				
						<b>4. County: Santa Fe</b>				
						<b>5. Date of Survey: July 28, 2023</b>				

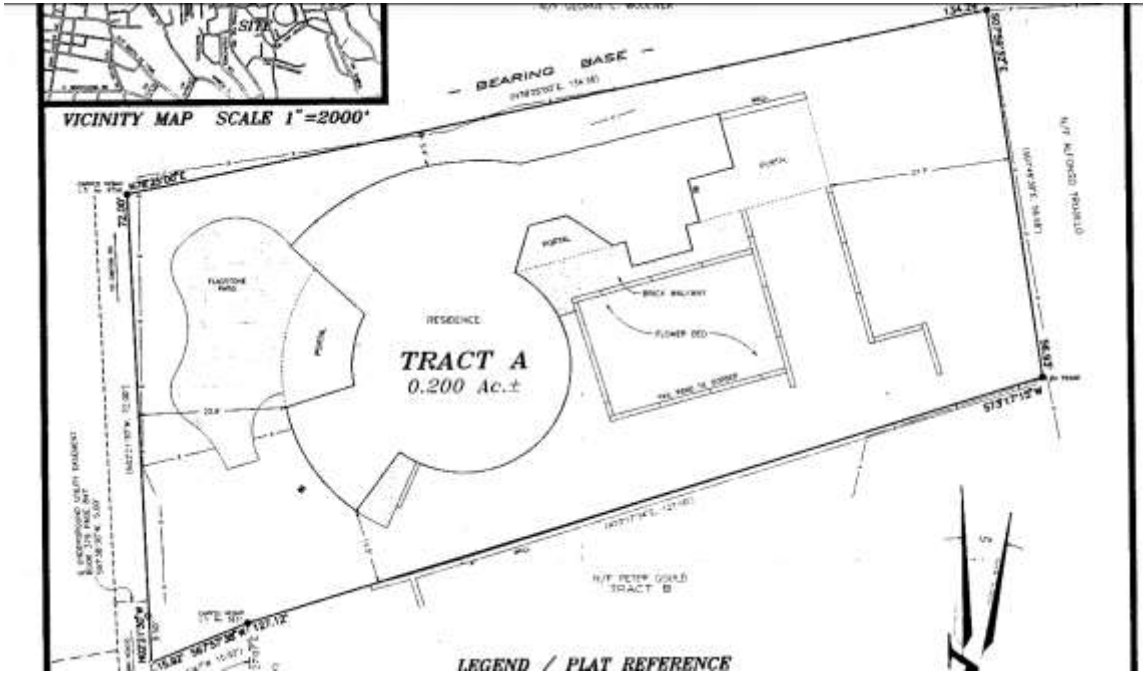


Figure 4: Survey plat, 1999. Courtesy Paramount Surveys, Inc.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>				
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					<b>4. County:</b> Santa Fe	
					<b>5. Date of Survey:</b> July 28, 2023	

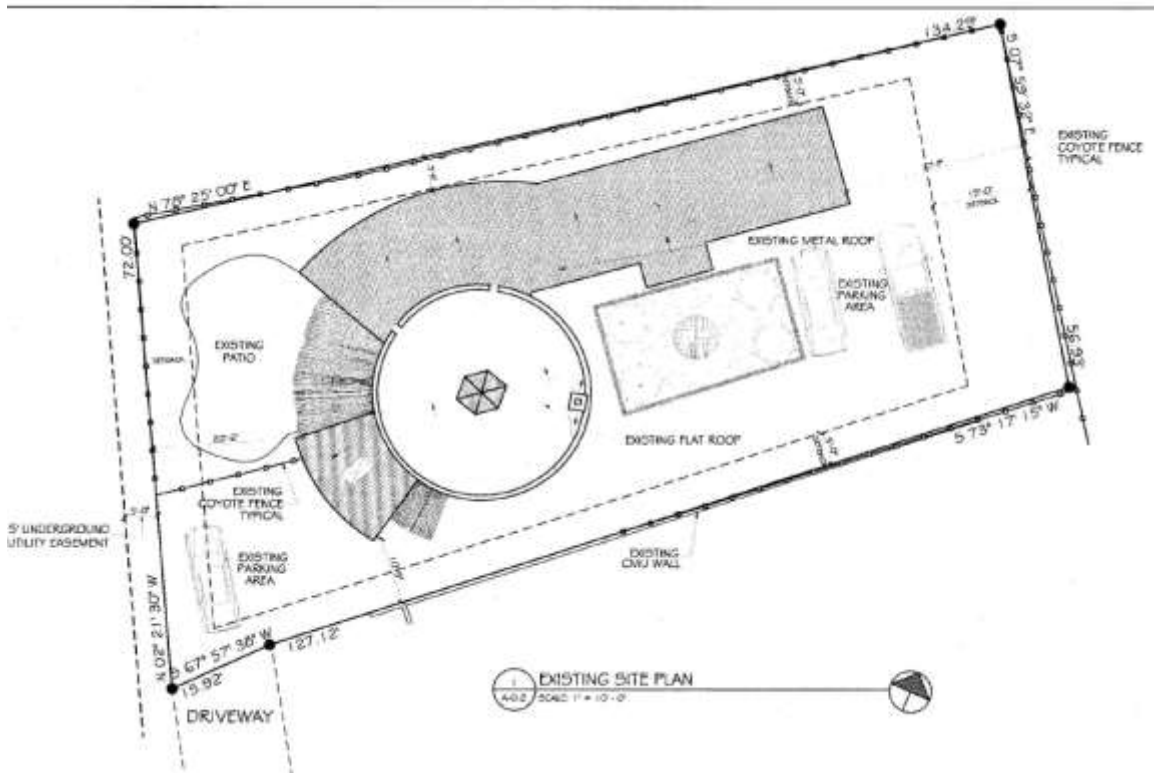


Figure 5: 2012 existing site plan. Courtesy Martinez Architecture Studio PC.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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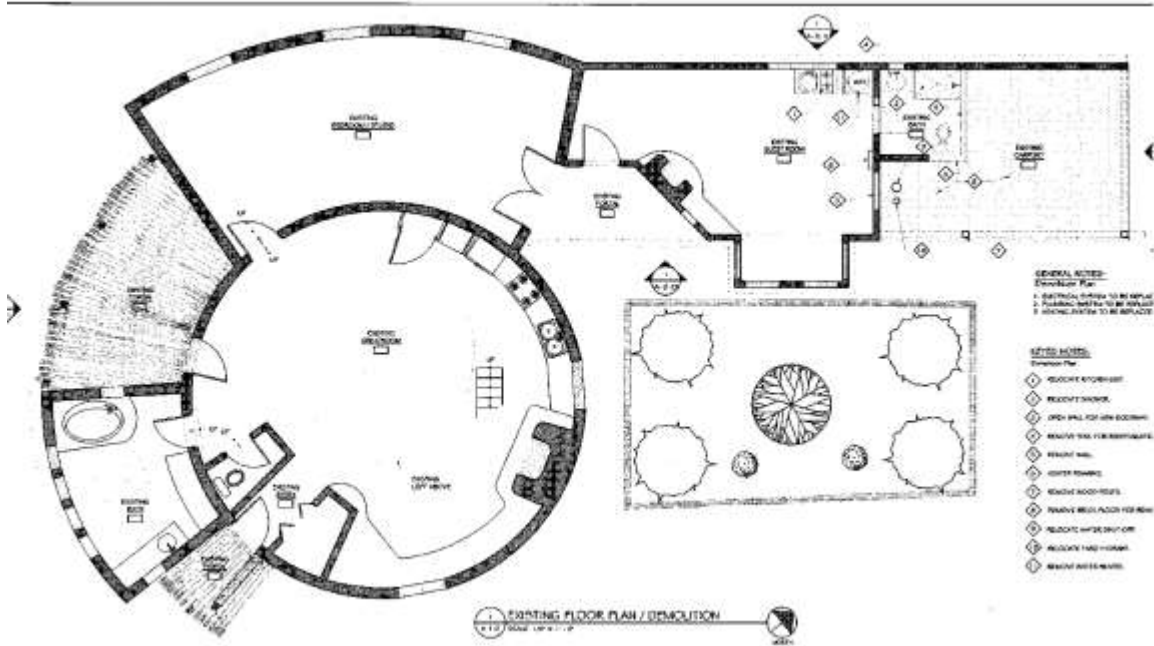


Figure 6: 2012 existing floor plan. Courtesy Martinez Architecture Studio PC.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  <b>The Round House Dunham/Boehm House</b>	<b>2. Location:</b>  <b>1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe</b>	<b>3. Local Reference Number:</b> <b>Santa Fe ID: N/A</b>
		<b>4. County: Santa Fe</b>
		<b>5. Date of Survey: July 28, 2023</b>



**Figure 7: Carport demolished for addition. Courtesy Martinez Architecture Studio PC.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 28, 2023			

## Survey Photographs

(All images taken by John Murphey, July 28, 2023)

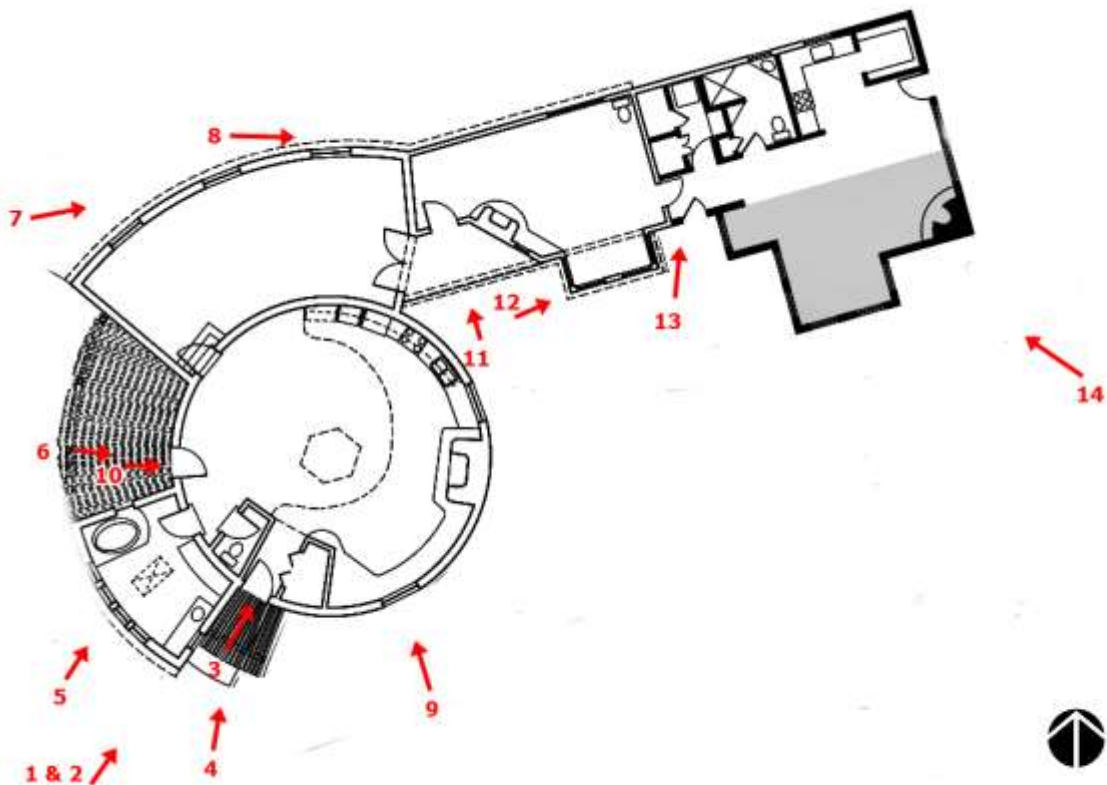


Photo Angle Map. Base drawing courtesy Marc Natkin.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: July 28, 2023</b>			



**Photo 2: Round House and setting. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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**Photo 3: Front entry. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 4: Front entry. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>5. Date of Survey:</b> July 28, 2023	



**Photo 5: Bumpout holding bathroom. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>1. Name of property:</b>  The Round House Dunham/Boehm House	<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: N/A			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: July 28, 2023</b>			



**Photo 6: Back entrance. Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
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<b>3. Local Reference Number:</b> Santa Fe ID: N/A	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> July 28, 2023	



**Photo 7: Former studio area. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
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**Photo 8: Former studio, guesthouse, and addition. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Photo 9: South side. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 28, 2023			



**Photo 10: Round House interior. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 28, 2023			



**Photo 11: Guesthouse entry. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  The Round House Dunham/Boehm House	<b>2. Location:</b>  1047 Camino San Acacio A Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: N/A  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 28, 2023



**Photo 12: Guesthouse, former sleeping area. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 28, 2023			



**Photo 13: Juncture of guesthouse and addition. Camera facing up.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 28, 2023			



**Photo 14: Addition, south and east elevations. Camera facing northwest.**



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>	Site Address:
Date Submitted: <u>10-10-2023</u>	<u>1047 A CAMINO SAN ACACIO, SANTA FE, NM</u>
Property Owner of Record: <u>JASON &amp; MEGHAN MERCER</u>	Proposed Construction Description:
Applicant/Agent Name: <u>KRISTINA OLIVENT, ARCHITECT</u>	<u>INTERIOR RENOVATIONS THROUGHOUT, 87505</u> <u>2<sup>nd</sup> Story Addition, 3 EXTERIOR TRELLIS ADDITIONS</u>
Contact Person Phone Number: <u>(505) 216-7565</u>	TOTAL ROOF AREA: Exist = 2,311SF, Prop = 4265F
Zoning District: <u>Residential, R-5</u>	Lot Coverage: <u>32</u> % □ Open Space Required: _____
Overlay: □ Escarpment _____ □ Flood Zone* _____ <input checked="" type="checkbox"/> Other: <u>DOWNTOWN/EASTSIDE HISTORIC DISTRICT</u>	Setbacks: Proposed Front: <u>7'-0"</u> Minimum: <u>7'</u> 2 <sup>nd</sup> Front? <u>7'-0"</u> Proposed Rear: <u>N/A</u> Minimum: <u>N/A</u> Proposed Sides: <u>L5' R 5'</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations <u>(COMBINED)</u>	Height: Proposed <u>16'-9"</u> Maximum Height: <u>16'-9"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance □ Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: □ Zero Lot Line Affidavit	Parking Spaces: <u>(Existing)</u> Proposed <u>2</u> Accessible _____ Minimum: <u>2</u>
Access and Visibility: □ Arterial or Collector** □ Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>
Use of Structure: <input checked="" type="checkbox"/> Residential □ Commercial Type of Use: _____	
Terrain: □ 30% slopes _____	

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

KRISTINA OLIVENT, ARCHITECT [□ OWNER  APPLICANT □ AGENT]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Kristina Olivent 10/10/2023  
SIGNATURE DATE

<p><b>To Be Completed By City Staff:</b></p> <p><b>Additional Agency Review if Applicable:</b></p> <p>□ Escarpment Approval by _____ Date: ___/___/___</p> <p>□ Flood Plain Approval by _____ Date: ___/___/___</p> <p>□ Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p><b>Zoning Approval:</b></p> <p><input checked="" type="checkbox"/> Preliminary Approval □ with conditions □ Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: <u>Stephanie Perera</u> DATE: <u>11/14/23</u></p>	<p style="font-size: 24pt; font-weight: bold;">2023-007580-PAR</p>
---	--

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



# **HISTORIC DESIGN REVIEW PROPOSAL LETTER**

PROJECT: Mercer Residence – Hogan Haus  
ADDRESS: 1047A Camino San Acacio, Santa Fe, New Mexico 87505  
FROM: Alexander Dzurec, Architect, on behalf of Jason & Meghan Mercer  
DATE: November 28, 2023

## **Architectural History**

The house at 1047A Camino San Acacio in Santa Fe, New Mexico was constructed in 1978. In 1979, Donald and Leilani Hillman purchased the home and became its first owners. It is believed that Leilani was a ceramic artist who was responsible for adding many of the home's unique details, such as its custom ceramic light sconces, decorative tiles, and door handles.

The house style is an eclectic mix of elements, described as “hippie adobe” in a 2012 HDRB hearing. The original split-level structure includes the Hogan (circular) portion of the building constructed of concrete masonry units with the exterior built up to look like adobe, and a cupola skylight in the center. Two lower curved structures are attached to the Hogan's sides, one to the west with a Bathroom / Laundry Room, and another space to the north houses an Art Studio. To the east, a rectangular portion of the structure called the Guesthouse with a Bedroom and Bathroom is also attached to the Hogan. Further to the east, there was a Carport open to the east and south and enclosed by the Guesthouse on the west and a framed wall on the north. The home is split-level via a change in floor levels and a Loft.

In 1983, Elizabeth Dunham, an artist and gallery director, bought the home from the Hillmans. She created paintings in the home's Art Studio, slept in the Loft, and rented out the Guesthouse to help pay her mortgage. In 1990, she made some necessary modifications to stabilize the foundation due to structural failures, which included adding low wall buttresses at the north wall of the Art Studio.

In 1999, Dunham sold the home to an anthropologist, Christopher Boehm, who had worked with Jane Goodall, directing her research center in California. Over the years, Boehm made several attempts to add onto the house. Each attempt was stalled and never completed. However, in 2018, he received approval to build a small Addition where the Carport once stood. The Addition was intended for his caretaker. It included a new Living Area, Dining Area, Kitchen, Utility Room, and Bathroom. The 2018 Addition was seldom used, and in 2021 Boehm passed away at the age of 90.

This property's lot configuration is irregular, with an unusual location at the dead-end of a long Shared-Access Driveway off Camino San Acacio. A string of houses share the same dirt Driveway for the sole access to their properties. Unique from the other lots along this Driveway, this property is at the dead-end and fronts onto an existing Pedestrian Walkway/Paseo easement. This Paseo provides the primary pedestrian access point for the neighborhood to reach the local church, school, and park to the north. These peculiarities affect the property's functionality, giving the property (2) "fronts" -- one facing the Driveway and one facing the Pedestrian Walkway. Currently, the house even has (2) Front Doors off the circular Hogan, one facing the Driveway and one facing the Pedestrian Walkway easement.

### **Proposed Changes**

The current owners, Jason Mercer and Meghan Davis-Mercer bought the home in 2023. As a family of five, including their three young elementary school-aged children, they will be the largest family to have ever lived in the home. The Mercers need to remodel the house to meet their family's basic practical needs, while still maintaining and honoring the home's unique and eclectic "Hippie Adobe" characteristics. The Mercers also wish to improve the landscape surrounding their home to include new Gardens and Outdoor Living Areas that will allow the family to maximize their engagement outdoors. Please see the itemized list below for the Proposed Changes.

#### **At the Existing Hogan – Proposed Addition of a small Entry Foyer:**

1. Add a 76 SF curved Entry Foyer to the west elevation of the Hogan at the existing 1<sup>st</sup> front door, which faces the pedestrian paseo.
  - a. At the new Entry Foyer, install a new custom 3'-0" W x 6'-8" H wood Entry Door with 12" sidelights on each side, painted with Sherwin Williams Custom "K43T54" color which matches the window clad color.
  - b. Two handmade ceramic sconces, to be installed on either side of the new Entry Door will be the same sconces as those already used on the existing building exterior, created by a previous owner who was a ceramic artist.
  - c. Reuse the existing Front Door Handle which was created by a previous owner who was a ceramic artist.
2. At the west façade, add a new 21'-0" W x 5'-10" D wood trellis structure with latillas to the exterior of the new Entry Foyer. Height from finished floor to bottom of beam = 6'-8". All wood to be painted with Sherwin Williams "Spice Chest 3513" semi-transparent stain.
3. Infill the existing 2<sup>nd</sup> front door with a new 2'-0" W x 5'-6" H casement window Andersen Architectural Series wood windows with a wood lintel and a sill 1'-4" above finished floor. The wood lintel will match the shape and profile of the existing remaining wood window in the Hogan. The new window will be painted to match the others, using the color indicated at the end of this document. The existing exterior small trellis and low wall associated with this 2<sup>nd</sup> front door will be removed to avoid "signaling" a 2<sup>nd</sup> front entry, and to instead direct visitors to the existing/new 1st front door entry to the west (facing the pedestrian paseo) with its new Entry Foyer and Trellis, described above.
4. Infill the existing Hogan window to the east which will be covered by the new split-level Addition, described below.

5. At south façade, add an exterior stone base cladding to the bottom of the stucco wall at grade appx. 1'-2"H made from site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.

**At the Existing Art Studio – Proposed Bedrooms 2 & 3:**

1. Remove (3) existing windows and install (2) new 8'-0" W x 3'-4"H triple casement/fixe Andersen Architectural Series wood aluminum-clad windows with single, continuous wood lintels above, each centered on a new bedroom, with a 3'-0" sill above finished floor.

**At the Existing Guest House – Proposed Split-Level Addition:**

1. Demolish the existing center portion of the house including its walls, floor, and roof.
2. Build a new foundation slab to match the split-level's lower finished floor height of existing Art Studio, Guesthouse, and 2018 Addition.
3. Build a 689 SF footprint split-level Addition in the place of the previous 305 SF demolished middle portion of the house. The difference between the existing and new footprints represents a net gain of 384 SF at this Addition. The upper level of the Addition is 496 SF. The total area of the Addition, including both the lower and upper levels = 1,185 SF. The proposed new max. height from natural grade to the top of the parapet on the south wall = 16'-9", which is the max. allowable height per historic review.
4. There are windows on (3) of the Addition's exterior walls, which are described as follows:
  - a. North – New exterior north wall to be inset appx. 3'-0" from previous addition North wall to meet 10'-0" setback for second story height restrictions. At the lower level, add (1) new 5'-0" W x 5'-0"H double casement window and (1) new 2'-0" W x 13'-6"H fixed window with wood lintels above and sills 1'-6" above finished floor. Both windows will be Andersen Architectural Series wood aluminum clad. At upper level, add (1) new 5'-0" W x 5'-0"H double casement Andersen Architectural Series wood aluminum-clad window with wood lintel above and a sill 1'-6" above finished floor.
  - b. East – New exterior east wall at upper level only. Add (3) 2'-0" W x 2'-0"H wood aluminum-clad windows with wood lintels and sills at 5'-0" AFF.
  - c. South – New exterior south wall at the lower level to have a new single 3'-0"W x 6'-8"H wood aluminum-clad full-lite glass patio door with a wood lintel above, an adjacent new 12'-0"W x 6'-8"H custom window with divided lites and a wood lintel above, and (3) 2'-0"W x 3'-9"H casement Andersen Architectural Series wood aluminum-clad windows with wood lintels above and 2'-8" sills above the finished floor. The curved portion of the southern wall to have an appx. 1'-2"H stone wall base cladding at grade made of site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks. At the upper level, new 5'-0"W x 6'-8"H full-lite patio double doors to access new 20'-8"W x 4'-3"D wood Deck, and (3) 2'-0"W x 3'-9"H casement Andersen Architectural Series wood aluminum-clad windows with wood lintels above and 2'-8" sills above the finished floor. At the upper level, add a new appx. 11'-2" W x 4'-3" D wood trellis structure with latillas above the Deck described above. Height from upper-level finished floor to bottom of beam = 7'-2 1/2". The southern wall of the upper-level Addition will also have a chimney at the

corner. All wood to be painted with Sherwin Williams “Spice Chest 3513” semi-transparent stain.

- d. A new sunken patio under Deck described above lined with appx. 1'-9"H retaining walls made from site-collected smooth medium-sized river rocks. Height from Finished floor to bottom of beam = 6'-10".

**At the Previous 2018 Addition – Proposed Remodel:**

1. At east façade, add a new appx. 21'-9" W x 14'-8" D wood trellis structure with latillas at the exterior of the existing Kitchen. Height from finished floor to bottom of beam = 9'-2". All wood to be painted with Sherwin Williams “Spice Chest 3513” semi-transparent stain.
2. New 1'-11"H parapet extension to create a stepped façade look. New overall height from natural grade to new extended top of parapet = 15'-11" at lowest grade (east wall).
3. Add a new framed wall bump-out at the northeast corner of the existing Kitchen with no roof for Barbeque grill. Height from natural grade to top of parapet = 14'-0" to match existing north wall parapet height within 10'-0" setback.
4. (2) New Parapet wall with drainage openings added on top of roof the first is at 6'-4" inset from the existing north wall to maintain 10'-0" setback of max. 14'-0" parapet height along north facade, aligning with Barbeque grill lower bump-out & the Second at 5'-0" inset from the existing south wall. Both are for stepped massing purposes.
5. Remove (2) existing 3'-0"W x 5'-6"H windows on the East façade at the existing Living Area (at new Kitchen sink) and replace with (3) 3'-0"W x 5'-6"H Andersen Architectural Series wood aluminum-clad window mulled together with divide lites, one continuous wood lintel above, and a sill at 3'-0" above the finished floor.

**At the Entire Building Exterior:**

1. Re-stucco entire home in El Rey color “La Luz” (125) with “light sand” finish.
2. Window exterior aluminum-cladding to be Andersen Windows “Slate” (DC-132) color.
3. Paint all doors & lintels with Sherwin-Williams custom color "K43T54" to match the Andersen Windows wood aluminum-clad color “Slate” (DC-132).
4. Paint for all wood elements, such as columns, beams, and latillas with Sherwin Williams “Spice Chest 3513” semi-transparent stain.
5. Coyote fencing and gates to be natural color and finish.

**Exterior Landscape Improvements:**

1. Demolish all existing sidewalks and porch floor hardscaping.
2. Demolish existing coyote fencing at head-end of Parking Area and along north property line.
3. Add a new appx. 23'-6" W x 8'-0"H stucco Yard Wall at head of Parking Area in lieu of 23'-6"W x 6'-0"H coyote fence and gate. New Yard Wall to have custom wood gate with gate opening edged with flush-set 6"x6" decorative wall tiles, a custom ceramic wall sconce and door handle (made by a previous owner and matching other existing exterior wall sconces and existing front door handle), and new ceramic flush-set address numbers. Wood gate painted Sherwin Williams “Spice Chest 3513” semi-transparent stain.
4. Proposed appx. 8'-11" W x 5'-4" D x 8'-0"H Bike Shed on opposite side of Yard Wall described above. Stucco walls on (3) sides of Bike Shed will support an in-set (lower than wall) metal

corrugated shed roof, hidden on the inside of the yard wall. Height of beam supporting front of roof = 6'-11" AFF.

5. New flagstone hardscape at Entry Gate, Front Entry Patio, and Bike Shed to be 1" lower than Hogan finished floor.
6. New flagstone steps to get down to natural grade at Front Entry Patio where exterior Seating Area with a water feature is to be developed.
7. New flagstone hardscape Walkway from new coyote fence gate at east side of Parking Area extending to proposed Kitchen.
8. New flagstone hardscape Patio at east side of 2018 Addition near Kitchen to be 1" lower than adjacent interior finished floor, with 22'-9" L x 18"H x 20" D Banco with retaining wall seat back.
9. New 13'-9" W x 5'-0"H coyote fence with 6'-0" W coyote fence double-gate located on the southwest of Hogan for uncovered exterior storage area.
10. New 13'-2" W x 5'-0"H stucco yard wall with 6'-0" W x 5'-0"H coyote fencing double-gate to separate parking area and south-facing front yard.
11. New Hot Tub and Cold Plunge added at existing Deck in southeast corner of property.
12. New 5'-1" W x 6'-0"H stucco Yard Wall nook space near existing Deck.
13. (3) new 5'-0" W x 3'0" D x 18"H Raised Planter Beds in front of south façade of the 2018 Addition made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
14. At SE corner of house, add new Seating Area 7'-7" W x 8'-3" D L-shaped Banco with appx. 3'-8" Diam. Firepit. L-shaped Banco to be made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
15. New Retaining Rock Walls to define useable spaces, provide planted areas, and retain earth in areas that need it. Heights vary but shall not exceed 4'-0" H. Walls made either of stucco or site-collected smooth medium-sized river rocks which will match the existing site walls also made from site-collected smooth medium-sized river rocks.
16. New 6'-0"H coyote fence to replace existing 6'-0"H dilapidated coyote fence along the north property line.

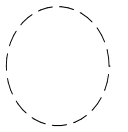


**HOGAN HAUS**

A Private Residence  
 1047-A Camino San Acacio, Santa Fe, NM 87505

PROJECT #: 2311  
 PROJECT ISSUE DATE: 11.28.2023

CONSULTANT:



No.	Description	Date

**OVERALL SITEPLAN**

**AS-100**

NOTE: THIS MAP WAS DOWNLOADED FROM <https://scomaps.santafecountynm.gov/mapsvc/apps/webappviewer/index.html?id=dea8fce5092468883ca0d691852bcd> ON NOVEMBER 20, 2023. AUTOTROPH DESIGN EXTENDED THE BLUE LINES INDICATING THE SHARED ACCESS DRIVEWAY TO REACH 1047 A. THIS ERROR WAS CORRECTED TO BE CONSISTENT W/ ACTUAL CONDITIONS AND THE EASEMENT INDICATED ON THE SURVEY.

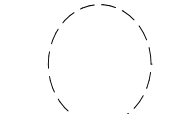


**HOGAN HAUS**

A Private Residence  
 1047-A Camino San Acacio, Santa Fe, NM 87505

PROJECT #: 2311  
 PROJECT ISSUE DATE: 11.28.2023

CONSULTANT:



No.	Description	Date

**ENLARGED EXISTING & PROPOSED SITE PLANS**

**AS-101**

**GENERAL SITE PLAN NOTES**

ZONING DISTRICT: RESIDENTIAL R-5 AND DOWNTOWN EASTSIDE HISTORIC OVERLAY

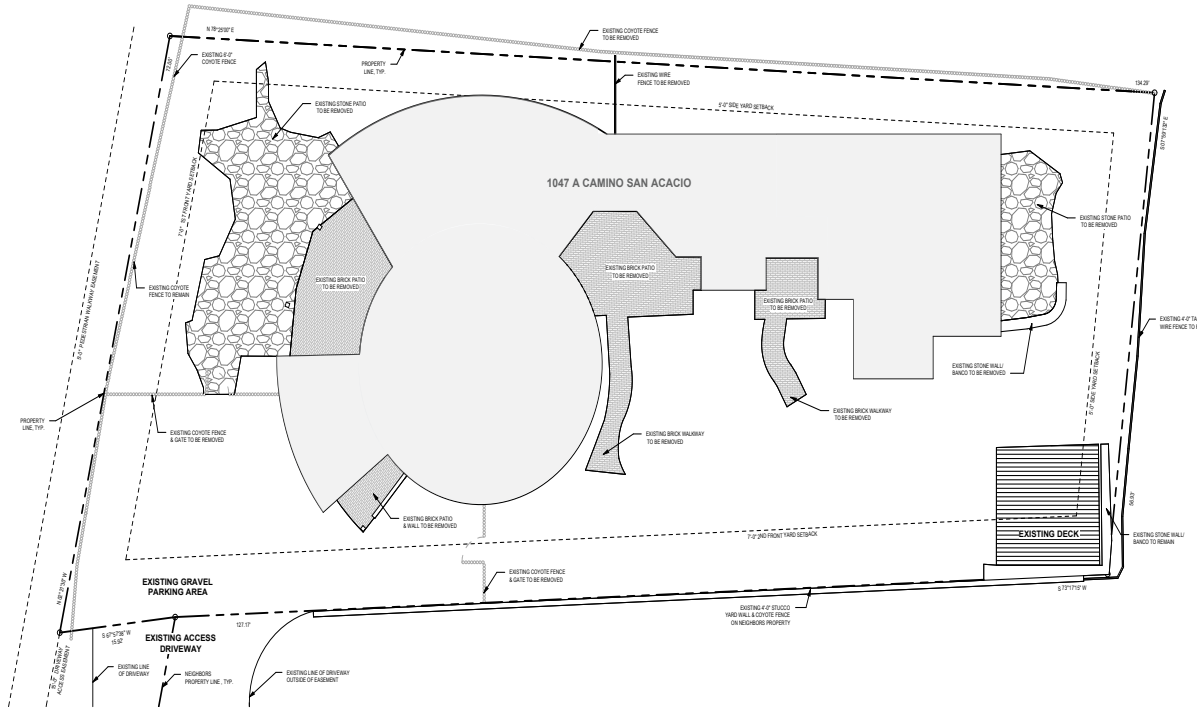
LOT AREA: 8686.56 SF  
 TOTAL BUILDING FOOTPRINT ON SITE: 3,222 SF  
 APPROXIMATE LOT COVERAGE = 37%

**AREA CALCULATIONS**

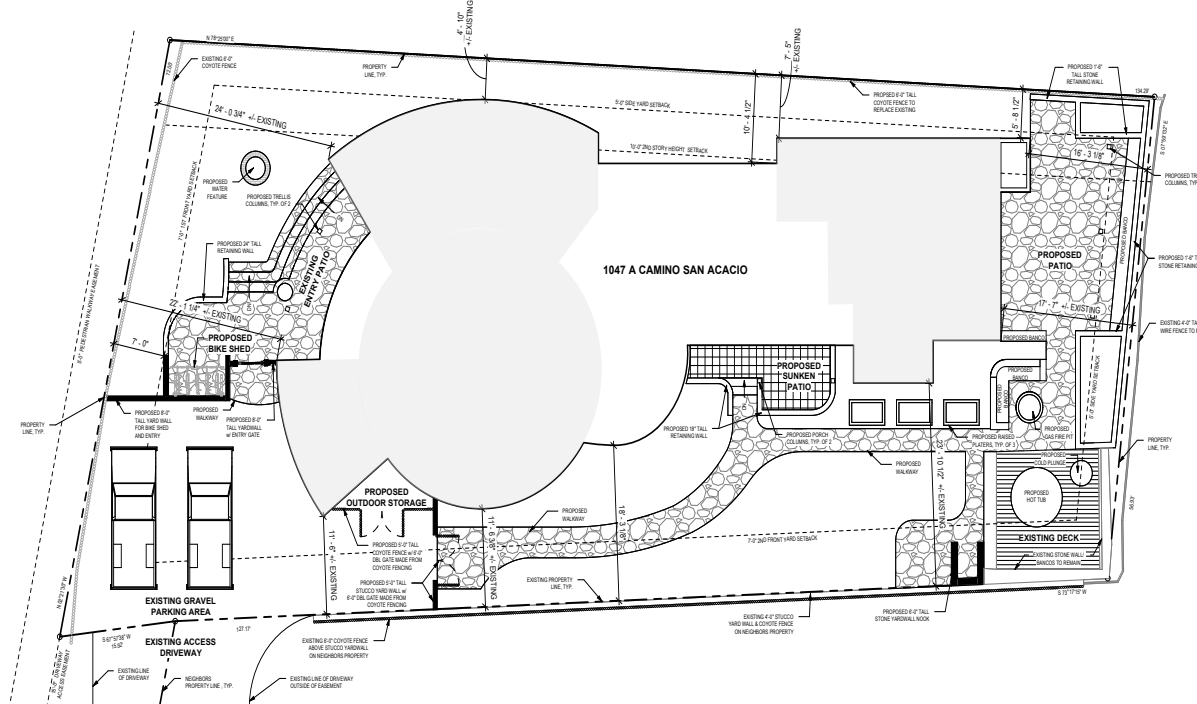
EXISTING BUILDING AREA	= 2,533 SF
DEMOLISHED AREA	= 305 SF
EXISTING BUILDING AREA TO REMAIN	= 2,228 SF
PROPOSED HEATED LOWER LEVEL ADDITION	= 689 SF
PROPOSED HEATED UPPER LEVEL ADDITION	= 496 SF
PROPOSED PORCH/TRELLIS ADDITION	= 710 SF
TOTAL PROPOSED ADDITION	= 1,895 SF
TOTAL PROPOSED BUILDING AREA	= 4,123 SF

**PLAN LEGEND**

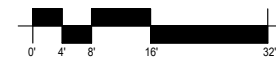
- EXISTING PARTITION / ELEMENT / CONSTRUCTION TO REMAIN
- NEW PARTITION / ELEMENT / CONSTRUCTION TO BE ADDED
- PROPERTY LINES
- SETBACK/ EASEMENT LINES
- EXISTING RESIDENCE
- PROPOSED RESIDENCE



**2 EXISTING SITE PLAN**  
 1/8" = 1'-0"



**1 PROPOSED SITE PLAN**  
 1/8" = 1'-0"

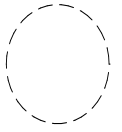


**HOGAN HAUS**

A Private Residence  
 1047-A Camino San Acacio, Santa Fe, NM 87505

PROJECT #: 2311  
 PROJECT ISSUE DATE: 11.28.2023

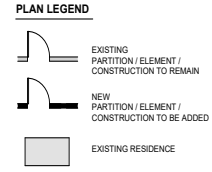
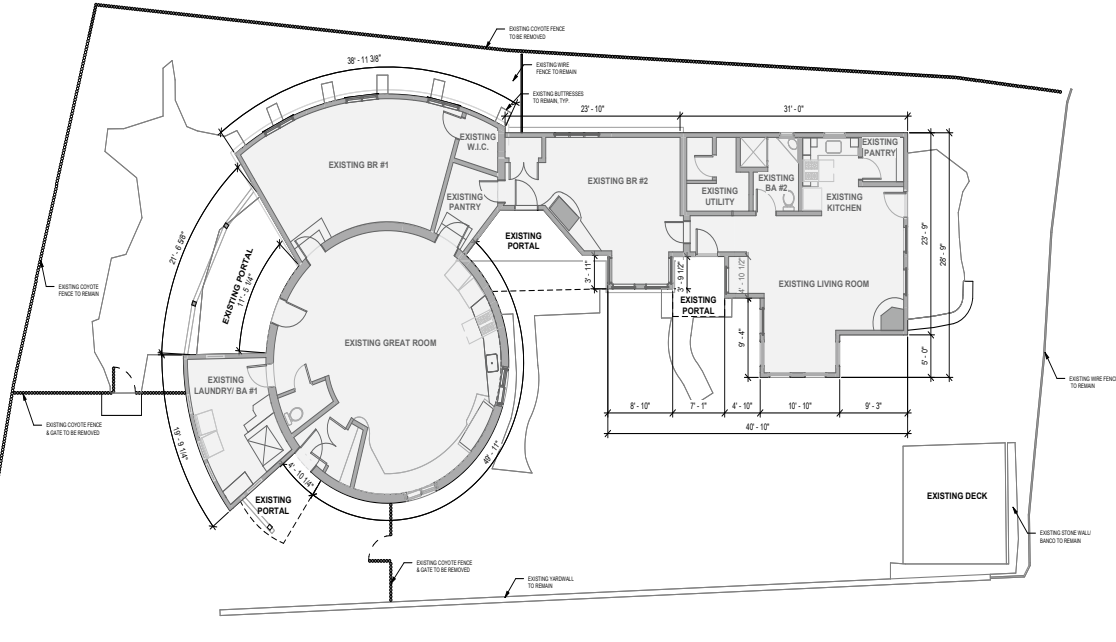
CONSULTANT:



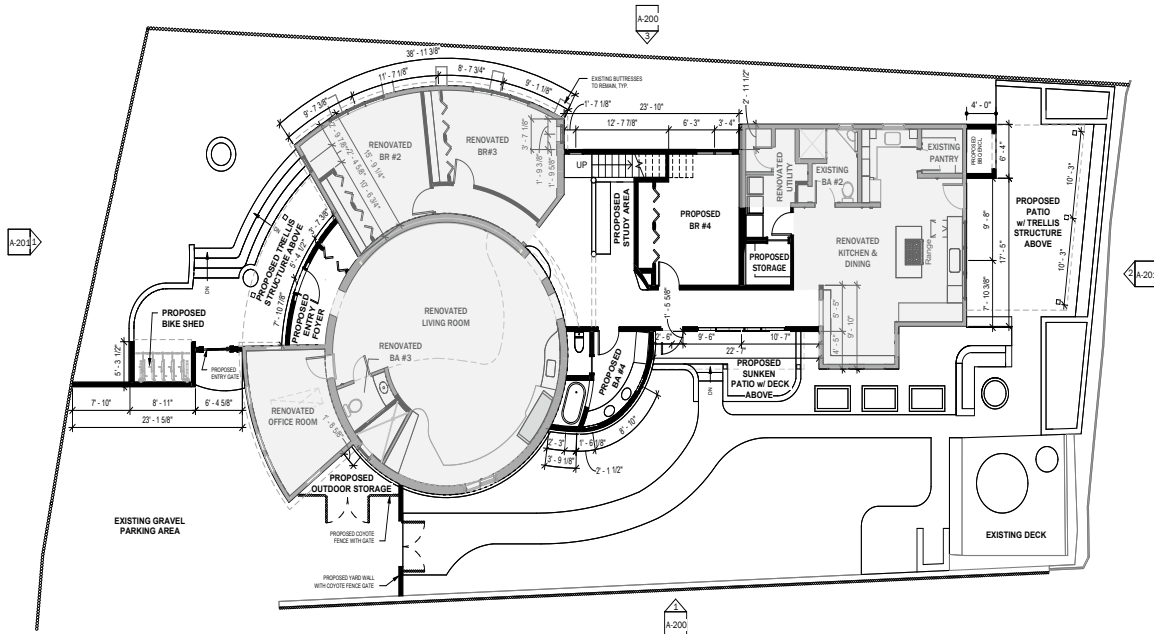
No.	Description	Date

EXISTING/PROPOSED  
 LOWER LEVEL FLOOR PLANS

**A-101**



2 EXISTING LOWER LEVEL FLOOR PLAN  
 1/8" = 1'-0"



1 PROPOSED LOWER LEVEL FLOOR PLAN  
 1/8" = 1'-0"





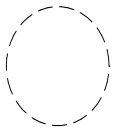


# HOGAN HAUS

A Private Residence  
 1047-A Camino San Acacio, Santa Fe, NM 87505

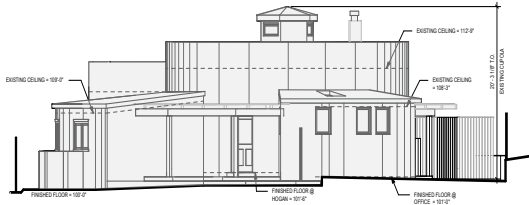
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 PROJECT ISSUE DATE: 11.28.2023

CONSULTANT:

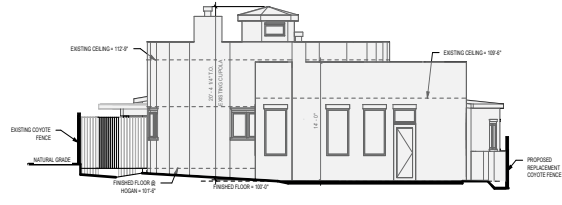


No.	Description	Date

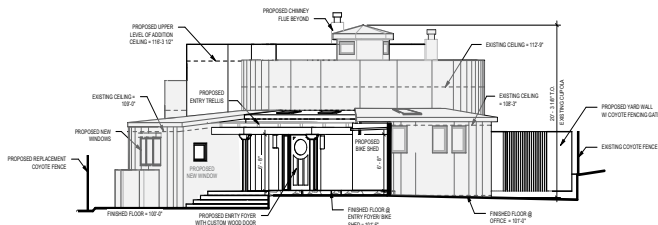
EXISTING & PROPOSED  
 WEST/ EAST ELEVATIONS



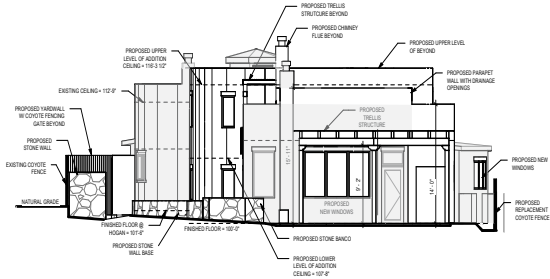
3 EXISTING WEST ELEVATION  
 1/8" = 1'-0"



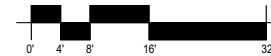
4 EXISTING EAST ELEVATION  
 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION  
 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION  
 1/8" = 1'-0"







1047 A Camino San Acacio - Entry of Access Driveway as seen from Camino San Acacio



1047 A Camino San Acacio - 1/3 of the Way Down the Access Driveway



Pedestrian Paseo  
Easement

1047 A Camino San Acacio - 2/3 of the Way Down the Access Driveway



1047 A Camino San Acacio - Looking East from Parking Area Showing Neighbor's House to South



1047 A Camino San Acacio- South Elevation from South West Corner



1047 A Camino San Acacio- Looking East at Yard Gate



1047 A Camino San Acacio- Partial South Elevation



1047 A Camino San Acacio- South Elevation at Guest House



1047 A Camino San Acacio- South Elevation at 2018 Addition Entrance



1047 A Camino San Acacio- South East Corner



1047 A Camino San Acacio- East Elevation



1047 A Camino San Acacio- North East Corner



1047 A Camino San Acacio- North Elevation at 2018 Addition



1047 A Camino San Acacio- North Elevation at 2018 Addition



1047 A Camino San Acacio- North Elevation at Existing Guest House



1047 A Camino San Acacio- North Elevation at Art Studio Looking East



1047 A Camino San Acacio- North Elevation at Art Studio



1047 A Camino San Acacio- North West Corner at Art Studio



1047 A Camino San Acacio- West Elevation at 1st Front Door

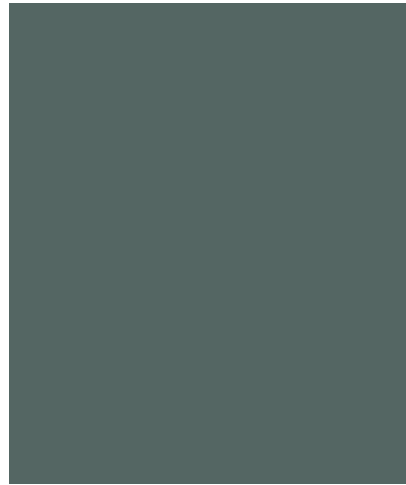


1047 A Camino San Acacio- West Elevation at Laundry/ 2nd Front Door

# PROPOSED EXTERIOR FINISHES



El Rey - 106 "Buckskin",  
Light Sand texture  
Stucco for Entire House



Andersen - "Slate"  
Aluminum  
Windows & Door Clad



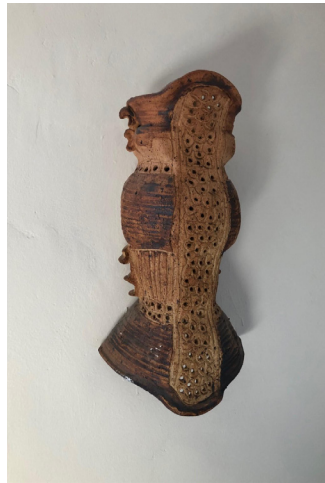
Sherwin Williams - "K43T54"  
Custom Match to Anders-  
en Slate - Existing Window  
Frames & Doors



Sherwin Williams - "Spice  
Chest SW 3513" Stain for all  
exterior wood - lintels col-  
umns, beams, and latillas



Site-Collected Rock for wall  
base and site retaining walls



Handmade Ceramic Wall Sconce &  
Door Handles to be used at Front Door  
and Front Gate



La Fuente Tile-  
"Flor Abierto"  
Accent Tile Around Entry Gate



La Fuente Tile- "Talave-  
ra House Numbers: Fall  
Flowers" at Entry Gate

# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning & Land Use

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**2024-007738-HDRB.** 425 Apodaca Hill. Downtown and Eastside Historic District. Non-Contributing. Gayla Bechtol, agent for Paul Babcock and Anke Mihalas, owners, proposes to demolish the existing residence.

#### **REFERENCE ATTACHMENTS (Sequentially):**

##### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

**Other:** CBO Structural Report

##### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

**Other:** Engineer's Structural Report

#### **STAFF RECOMMENDATION:**

Staff recommends the approval of the proposed demolition of the structure, as all criteria of Section 14-3.14, Demolition of Historic or Landmark Structure, have been met.

#### **BACKGROUND & SUMMARY:**

The structure at 425 Apodaca Hill is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. Only July 13, 2023, after review of an updated HCPI, the HDRB decided to retain the non-contributing status for the structure. The structure was originally constructed in the 1930s and has been altered many times over the years. Various rooms have been added to the house according to family need.

As noted by the structural reports submitted by the applicant as well as the report by Bobby Padilla, the Chief Building Official for the City, the structure is not sound and presents a danger for anyone who enters. Due to this concern, staff reported to the HDRB at the January 9, 2024, meeting that a demolition permit would be released on the basis of the threat to public health, safety and welfare.

Before the HDRB can grant approval or denial of a demolition request, the following must be provided per Section 14-3.14(C).

*(C) Staff Review and Report*

*Before granting approval or denial to a demolition request, the land use director shall provide the following information on the structure under consideration.*

- (1) A report on the historic or architectural significance of the structure;*
- (2) A report from the city building inspector on the state of repair and structural stability of the structure;*
- (3) If the structure is more than seventy-five years old, and the entire project of which demolition is a part requires an archaeological clearance permit, a report from the land use director on whether the demolition would damage possible archaeological artifacts; and*
- (4) Other information as requested by the HDRB or governing body.*

In response to these criteria: (1) the update and review of the HCPI in July 2023 determined that the building had been significantly changed over time and therefore did not warrant a historically contributing status; (2) reports have been provided by both staff and the applicant regarding structural stability of the structure; and (3) at this time no new construction has been proposed on the site. The area of demolition is less than the 2,500 square feet that would trigger an archaeological review for the demolition.

**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

- (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.


#### 14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair or structural stability of the structure under consideration.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date: April 9, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number</b> Santa Fe ID: Unknown  <b>4. County: Santa Fe</b> Parcel # 12869760
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> March 11, 2023		
<b>7. Previous Survey Date(s):</b> <input type="checkbox"/> Yes: Unknown <input type="checkbox"/> No:		
<b>8. Name of Project: Status Evaluation</b>		
<b>9. Lat/Long:</b> 35.676336,-105.9125673		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. Photo 1: View of west elevation (front), facing northeast.		
<b>11. Brief Description of the Property:</b>  Located midway up Apodaca Hill on the east side of the road is a small stucco-clad adobe house that the County of Santa Fe has designated vacant. The 1,354-square-foot, single-story structure is made of a central box with one visually-dominant addition and other additions hidden in the home's footprint (Fig. 1). It sits on a 0.16-acre rectangular lot with no other structures aside from a small family grotto. The flat-roof house leans toward the vernacular but includes a few modest Pueblo Revival features. It is in rough shape, with damaged interior walls resulting from substantial moisture invasion.		
<b>12. Who uses the property?</b>		
<b>13. Construction Date:</b> Date: c.1936 with additions <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: Valdez family memory		
<b>14. Setting:</b> <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



17. Surveyor:  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporuscio

For: Current owner: Mihalas, Anke & Et al

18. Owner (if known) and other knowledgeable people:

Current owner: Mihalas, Anke & Et al

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D																				
<b>1. Name of property:</b>  Carlos and Anita Valdez House		<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe		<b>3. Local Reference Number</b> Santa Fe ID: Unknown  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> March 11, 2023																				
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																								
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				<b>7. Number of Stories:</b> <u>  </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____  <b>8. Foundation:</b> <u>  </u> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u>  </u> Other: Notes  <b>9. Roof:</b> <u>  </u> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: <input checked="" type="checkbox"/> Pumice																				
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>6</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Sliding	Aluminum	1-1	6	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Glass &amp; Panel</td> <td>Wood</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>Solid</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>			Type	Style	Material	Number	Single-Leaf	Glass & Panel	Wood	2	Single-Leaf	Solid	Wood	1
Operation	Material	Glazing	Number																					
Sliding	Aluminum	1-1	6																					
Type	Style	Material	Number																					
Single-Leaf	Glass & Panel	Wood	2																					
Single-Leaf	Solid	Wood	1																					
<b>12. Chimneys</b> <input checked="" type="checkbox"/> N/A		<b>13. Porches</b> <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																						
<b>14. Other Significant Features</b> N/A																								
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <u>  </u> <input type="checkbox"/> No known modifications  <b>#1 Date:</b> Before c.1960; several room-block additions; aerial photographs and family memory <b>#2 Date:</b> c.1980s; rebuilding of roof; tear down and reconstruction of select walls; replacement of windows and widening of openings; family memory <b>#3 Date:</b> c.1994; replacement of two windows; re-stucco; family memory																								

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |   |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial            |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival          |

Notes:  Other: Vernacular

17. Documents Available and Their Locations

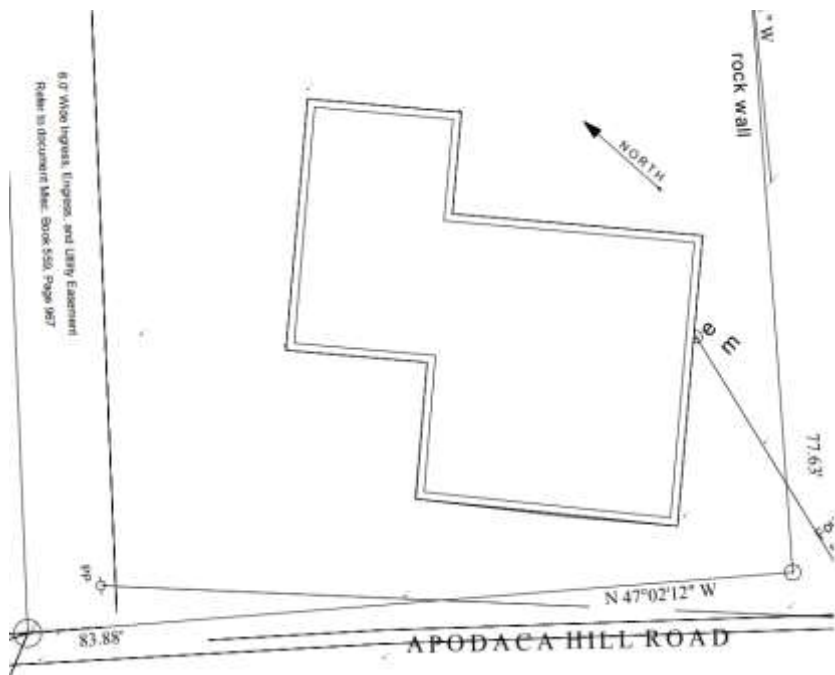
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a>	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a>
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**SITE:**

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of Site Plan, 2023. Courtesy A. Christopher Purvis.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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## Architectural Description Continued

### Front (West) Elevation

Based on an aerial photograph, the front west) elevation may represent a later addition in place by 1960 (Fig. 3). It presents a primarily blank wall penetrated by a single aluminum sliding window likely installed in the 1990s (Photos 2 & 7).<sup>1</sup> Similar windows, added at the same time and earlier in the 1980s, are found throughout the house. Set back from this volume by approximately 14' is another cubic structure that may be the original home (Photo 3). Its street-facing façade contains a single door. While damaged, the glass-and-panel wood door is of an older vintage.

### North

Facing a dirt lane, the north elevation similarly has little fenestration (Photo 4). The probable addition at the front has a solid wood door that (from family memory) replaced an earlier smaller door, with the opening widened to hold the new unit (Photo 3).<sup>2</sup> The potentially older section has a single sliding aluminum window installed in the 1990s. Adjacent to the window is a rusted stove pipe, cresting over the roof/

### East

The east elevation shows what is assumed to be the older building with a bump-out at the northeast containing a bathroom with a small aluminum sliding window (Photo 5). The remainder of the elevation has c.1980s-90s sliding windows and an older glass-and-panel wood door approached by cement steps (Photo 6).The roof drains over this wall through recent wood gutter canals.

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<sup>1</sup> Paul Babcock, Telephone conversation with John W. Murphey, March 22, 2023. Babcock is the grandson of Carlos and Anita Valdez, and a part owner of the property.

<sup>2</sup> Ibid.

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## South

The south side of the house repeats the recent aluminum windows and shows an exposed concrete foundation (Photo 7).

## Interior

The interior has a floor plan of six cube-like rooms that, with forensic examination of the walls, might reveal a traditional accretionary pattern of expansion (Fig. 1). This might be complicated as several walls were reconstructed in the c.1980s. In addition, areas are affected by moisture penetration with sections of delaminated plaster (Photo 8). In some sections, walls have failed, with melted adobes sloughed to the floor (Photo 9).

## Historical Overview

Historically positioned between the former Talaya Hill Grant and the James Donavant estate, settlement of the Apodaca Hill area emerged through a series of land transfers and ended up in the hands of Augustin Mora.<sup>3</sup> Named after Emitterio Apodaca, who owned a large portion of the ridge, Apodaca Hill started with a meandering dirt road moving up the hill from Canyon Road along the east side of Arroyo de los Marsas. The initial settlement began at the base of the hill and would be known for many years as the location of Manuel Apodaca’s blacksmith shop.<sup>4</sup>

The informal settlement was identified as part of Canyon Road, with houses assigned addresses attached to that street (starting at 1210 and ending at 1228). Dotted along

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<sup>3</sup> Valentin Valdez, *Mi Vida en Santa Fé* (Santa Fe: Valentin Valdez, 2<sup>nd</sup> ed., 2011), 11. Valdez is the son of Carlos Valdez, and helped his father build the subject house.

<sup>4</sup> The following historical overview represents archival and public records research conducted by the author for this and previous HCPIs on Apodaca Hill, using Valdez family history with sources including the above-cited book and telephone conversations with Paul Babcock and Carlos Valdez, Jr., grandsons of Carlos and Anita Valdez, the original homeowners.

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the dirt road were homes occupied by the Apodaca, Valdez, Gonzalez, Rivera, and Armijo families. The house under study was first given the address 1220 Canyon Road — which stuck until the late 1950s when it was assigned a new address of 425 Apodaca Hill.

### **Carlos and Anita Valdez**

From census enumerations, city directories, and family memory, the home can be traced to Carlos Valdez, a native of Mora County who married into the Armijo family.

Born in 1898, Carlos married Anita Armijo, who was the granddaughter of Emiterio and Rosario Apodaca. The 1930 census finds the couple living on Talaya Hill, with a household including four children aged two to six.<sup>5</sup> Carlos is indicated to own his home valued at \$600. This value suggests a small structure but is a higher value than for the homes of adjacent neighbors for the subject property. It is unclear if the enumerated property represented the subject home, as no address was given. Carlos worked as a laborer at a private residence, suggesting he may have been a gardener or grounds caretaker. His son Valentin recalled that Carlos built the house around 1936.<sup>6</sup>

The next census places the family again in the Talaya Hill/Canyon Road area, but with no address provided. At this point Valdez was employed by the WPA, as were several men on the hill.<sup>7</sup>

The land around the house — without an acequia and teetering on a ridge between an arroyo and a hill — did not support agriculture. Carlos, who often worked on a farm in Colorado, rented small patches of land to grow food. These patches, called *milpas*, spread around what would become St. John’s College. They were organized in a

<sup>5</sup> U.S. Census Bureau, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 16A; Enumeration District: 0003; FHL microfilm: 2341134.

<sup>6</sup> Valdez *Mi Vida en Santa Fé*, 11.

<sup>7</sup> U.S. Census Bureau, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 6A; Enumeration District: 25-5B.

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sharecropping fashion, under which Carlos shared a percentage of the harvest with the landowner.<sup>8</sup> Like many families on the hill, the family kept goats (for milk and meat), horses, and donkeys. Carlos’s sons Manuel and Valentin herded the goats into the foothills and the national forest to graze.<sup>9</sup> Valentin later recalled goat herding affected his school attendance, resulting that he only spoke Spanish as a youngster.<sup>10</sup>

There was no municipal water service and Apodaca Hill families were required to dig wells along the arroyo. The Valdez well was approximately 200' from the house, and family members hauled up water for drinking, bathing, and laundry.<sup>11</sup>

The census of 1950 provides the clearest picture of the Valdez home and the family composition during the historic period. The enumerators recorded Carlos, then 53, and Anita, 46, living at 1220 Canyon Road.<sup>12</sup> The family had grown to nine children (ages five to 27) living under the same roof. Carlos now worked for a contracting firm, as did his eldest son, Valentin, and a younger son, Jose Feliciano. Family members recall that the house evolved in size to hold the expanding family.

They were surrounded by neighbors who were fellow working-class, native Hispanics. Ezequiel Perea, a neighbor, was a pipefitter for Southern Union Gas; Manuel Gonzales, a carpenter; and Juan B. Anaya, down the road, did finish work for home builder Allen Stamm. Robert J. Babcock, a car salesman, was the only Anglo on the hill in the 1950s and had married into the Valdez family.<sup>13</sup>

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<sup>8</sup> Carlos Valdez, Jr., Telephone conversation with John W. Murphey, March 30, 2023. Valdez is the son of Valentin Valdez, and the grandson of Carlos and Anita Valdez.

<sup>9</sup> Valdez, *Mi Vida en Santa Fé*, 21; 78-79.

<sup>10</sup> *Ibid.*, 21.

<sup>11</sup> Valdez, Jr., Telephone conversation.

<sup>12</sup> U.S. Census Bureau, Seventeenth Census of the United States, 1950; Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 7; Enumeration District: 26-4.

<sup>13</sup> Hudspeth Directory Company, *Santa Fe City Directory, 1953* (El Paso: Hudspeth Directory Company, 1953), 232; 344; John W. Murphey, “421 Apodaca Hill, Manuel and Celia Gonzales House,” Historic Cultural Properties Inventory, Santa Fe,” November 9, 2012, 2.

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The name of the road changed to Apodaca Hill in the late 1950s. This likely coincided with the extension of city sewerage. The houses along Apodaca Hill were renumbered and given addresses starting at 400; however, the households continued to receive mail at 1218 Canyon Road, the site of Manuel Apodaca’s home and blacksmith shop. The subject house got its new designation (425 Apodaca Hill) by 1959.

A newspaper account from the same year captures the still-rural character of the hill — with modernity nearing its edges. The brief article covered the escape of Carlos’s white horse, which had become trapped in a cattleguard at the nearby Carmelite monastery, requiring rescue from a city crew using a bulldozer.<sup>14</sup> Carlos would later write a letter to the editor, complaining about howling packs of dogs on the hill which kept him awake at night and had ruined his vegetable garden.<sup>15</sup>

Most of the children eventually left, with one son dying on the property in 1980. Carlos Valdez passed away in the home three years later at 84. He left his wife Anita, eight surviving children, 27 grandchildren, and 13 great-grandchildren.<sup>16</sup> Anita, who was mostly bedridden by this time, was cared for by her daughter, Clorinda, who remained at home.<sup>17</sup> Eddie, Anita’s youngest son, later moved back into the house after a divorce. It was during that time that it received its major alterations.

According to the current owner, Paul Babcock, a grandson of Carlos and Anita, the house’s structural integrity had deteriorated.<sup>18</sup> At some point in the 1980s, the family worked together to shore up its walls and replace the roof. The project, according to Babcock and another family member who worked on it, involved removing the existing roof and roof structure and replacing it with a system of standard joists and new vigas.<sup>19</sup> The roof was completed with rigid foam insulation and pumice.

<sup>14</sup> “Trapped Horse,” *Santa Fe New Mexican*, December 14, 1959, 2.

<sup>15</sup> “Save Garden,” *Santa Fe New Mexican*, July 21, 1974, D-8.

<sup>16</sup> “Valdez, Carlos, 84,” *Santa Fe New Mexican*, February 11, 1983, 5.

<sup>17</sup> Babcock, Telephone conversation.

<sup>18</sup> *Ibid.*

<sup>19</sup> *Ibid.*, Valdez, Jr., Telephone conversation.

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Because of water damage, several of the adobe walls were torn down and replaced in kind. The work involved placing a concrete bond beam on top of the adobe walls. Reinforced with rock instead of tie rods, the bond beams would later cause problems. The project also replaced doors and windows. According to Babcock, most of the existing window openings were widened to accommodate the new sliding units. This appears to be borne out when observing the window openings across the southwest, northeast, southeast, and possibly the northwest elevations. Babcock recalled one door opening was widened slightly for a new unit.

In the early 1990s, the house received additional improvements using a loan from Neighborhood Housing Services (the predecessor of Homewise).<sup>20</sup> Commenced in c.1994, it financed the large window facing Apodaca Hill and a smaller window at the back bedroom, and a re-stuccoing of the dwelling.<sup>21</sup>

As the area is distant from a highway, only two known aerial photographs cover it. The earliest, from 1948, shows what appears to be a north-south oriented rectangle, potentially representing the back part of the home (Fig. 2). An aerial dating to 1960 captures what is on the ground today, indicating the current footprint is over 50 years old (Fig. 4).

## Evaluation of Historical Status

<sup>20</sup> A home renovation loan was issued in 1994 and paid off in 2009. According to Homewise, no paperwork survives. John W. Murphey, Telephone communication with Homewise, Santa Fe, March 27, 2023.

<sup>21</sup> Paul Babcock, Email communication to John W. Murphey, April 7, 2023.

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Despite being more than 50 years old, the minimum threshold for Contributing status, the house experienced a recent renovation that appears — from family memory and observation — to have changed its original fenestration. This not only included replacing older windows, but also widening openings to accommodate modern, horizontal sliding units. Adding to this is the structure’s advanced deteriorated condition.

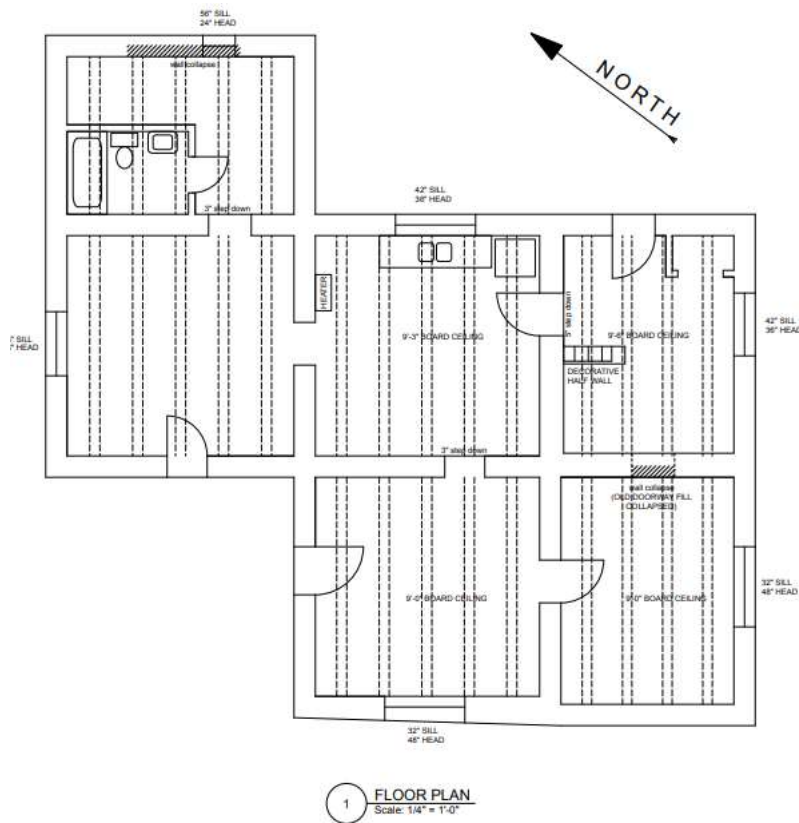
For these reasons, the recommendation is to maintain Noncontributing status for the house.

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### Illustrations

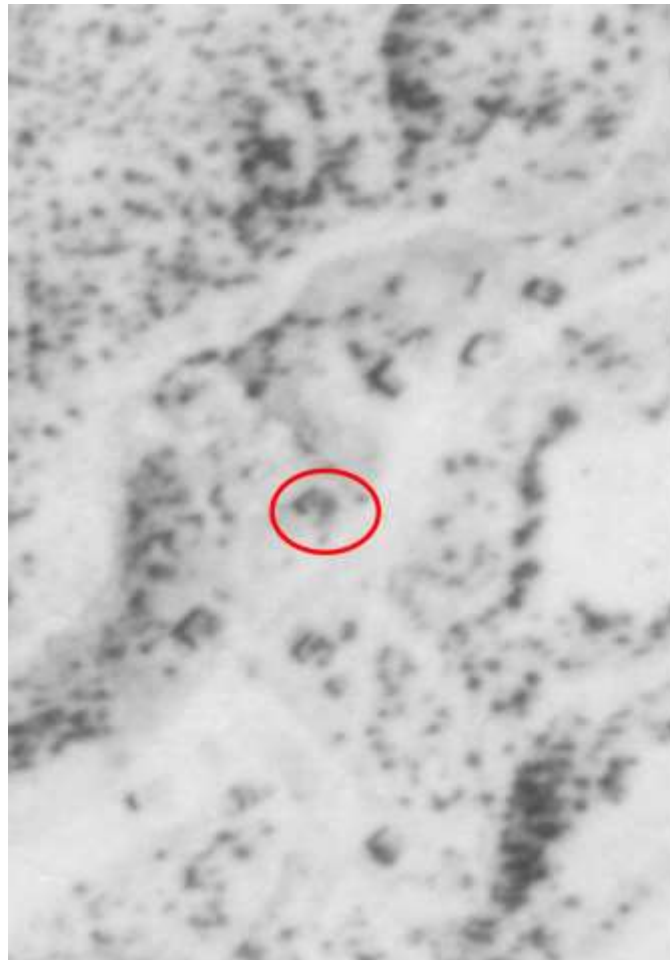


**Figure 1: Floor Plan, 2023. Courtesy A. Christopher Purvis.**

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**Figure 2: October 25, 1948, aerial photograph.  
Probable earlier iteration of home circled.**

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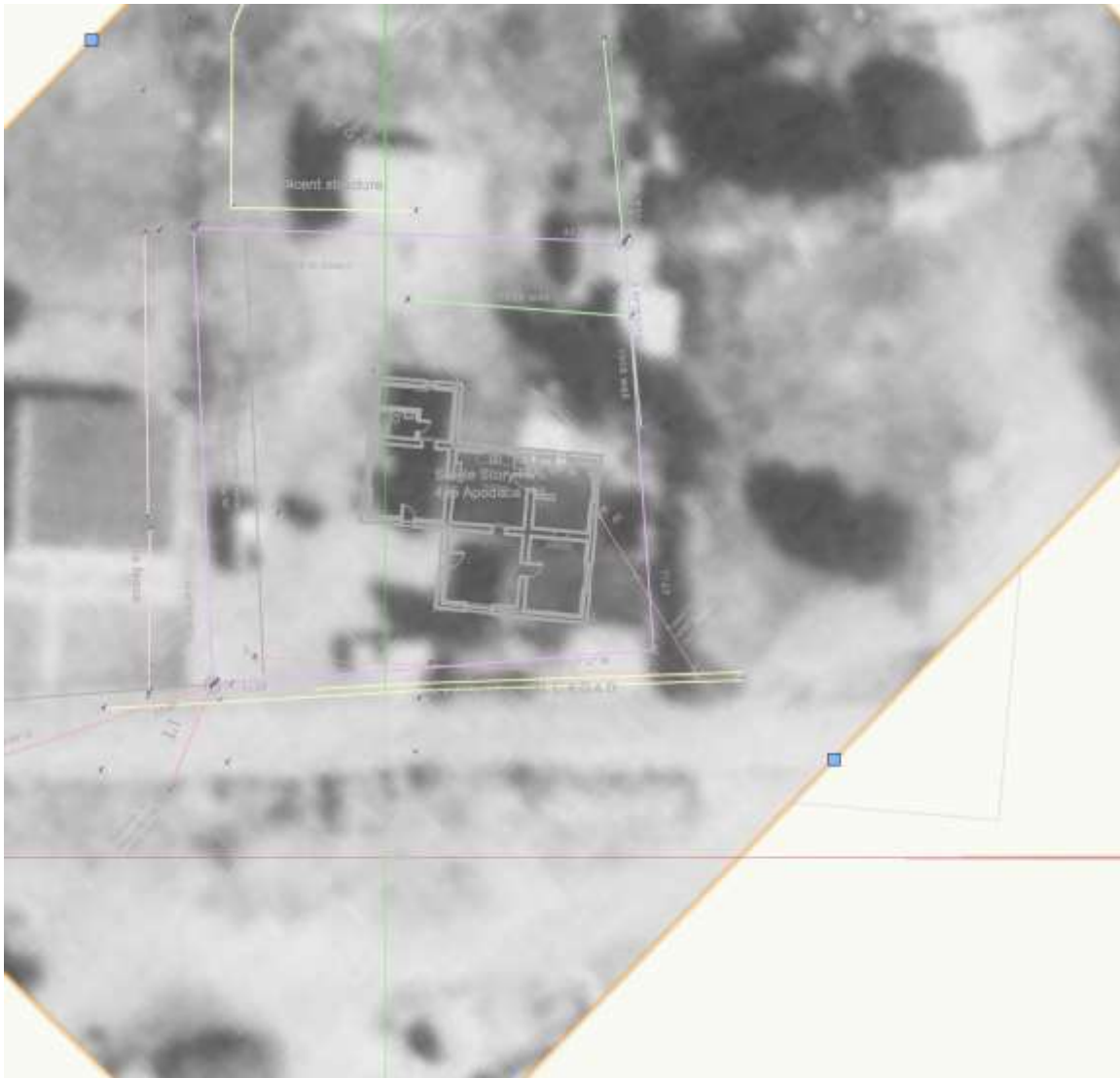


**Figure 3: September 25, 1960, aerial photograph.**

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**Figure 4: September 25, 1960, aerial photograph with floor plan overlaid.  
Courtesy A. Christopher Purvis.**

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## Survey Photographs

(All images taken by Giulia Caporuscio, March 11, 2023, unless otherwise noted).



**Photo 2: Façade taken from street centerline. Camera facing northeast.**

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**Photo 3: Rear section of west elevation (left); north elevation of front section (right). Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe
	<b>3. Local Reference Number</b> Santa Fe ID: Unknown
	<b>4. County:</b> Santa Fe
	<b>5. Date of Survey:</b> March 11, 2023



**Photo 4: North elevation. Camera facing southeast.**

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<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe
	<b>3. Local Reference Number</b> Santa Fe ID: Unknown
	<b>4. County:</b> Santa Fe
	<b>5. Date of Survey:</b> March 11, 2023



**Photo 5: East elevation, bathroom bump-out at right. Camera facing southwest.**

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<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe
<b>3. Local Reference Number</b> Santa Fe ID: Unknown	<b>4. County: Santa Fe</b>
<b>5. Date of Survey: March 11, 2023</b>	



**Photo 6: East elevation. Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe
<b>3. Local Reference Number</b> Santa Fe ID: Unknown	<b>4. County:</b> Santa Fe
<b>5. Date of Survey:</b> March 11, 2023	



**Photo 7: West and south elevations. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria A B C D
<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number</b> Santa Fe ID: Unknown	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> March 11, 2023	



**Photo 8: Interior damage.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Carlos and Anita Valdez House	<b>2. Location:</b>  425 Apodaca Hill Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number</b> Santa Fe ID: Unknown		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> March 11, 2023			



**Photo 9: Interior damage.**

# City of Santa Fe, New Mexico

# memo

## Historic Inspection Report

**DATE:** 6/8/2022

**TO:** Carly Piccarello,  
Division Manager  
Historic Preservation

**FROM:** Bobby Padilla, *B.P.*  
Building Official, Division Manger  
Inspections

**ITEM & ISSUE**  
425 Apodaca, Santa Fe NM

### BACKGROUND & SUMMARY

An inspection was performed on May 20<sup>th</sup>, 2022 at the above mentioned address regarding the condition of the structure. The walls are constructed of adobe and the roof is constructed with vigas. The structure has substantial structural issues caused by the roof that has been taking on water for long duration of time causing mold and deterioration of the walls and roofing, the stucco system is also showing signs of delaminating from the exterior walls.

The overall condition of the structure is in poor condition.

Should you have any questions pertaining to this matter, please feel free to contact me at 955-6503.

Thank you,



18 January 2024

Ms. Heather Lamboy  
and the  
Historic Preservation Division  
City of Santa Fe

RE: Demolition of 425 Apodaca Hill

Dear Ms. Lamboy and HDRB,

The structure at 425 Apodaca Hill is a single-family residence listed as non-contributing to the Downtown and Eastside Historic district. The structure was originally constructed in the 1930's and renovated many times over the years and has deteriorated beyond repair. The owner, Paul Babcock, the grandson of the last occupant of the building, would like to build a new Santa Fe Style home on the property after the demolition.

Sincerely,

Gayla Bechtol, AIA



## Luchini Trujillo Structural Engineers, Inc.

July 12, 2023

Paul & Katharina Babcock  
438-B Apodaca Hill  
Santa Fe, NM 87501

Re: Residence @ 425 Apodaca Hill, Santa Fe, NM

Dear Paul,

This letter is to acknowledge that I conducted a site visit on June 29, 2023. The purpose of the site visit was to observe the existing condition of the residence and provide an overall opinion regarding its structural integrity. A floor plan has been provided by A. Christopher Purvis Architects and was dated March 11, 2023.







The structure is a single-family, single-story residence. Structural discrepancies and items of concern were observed during the site visit as follows:

1. Roof Framing

Roof framing consisted of timber viga framing spanning to load bearing adobe walls. The vigas supported planking that spanned between the viga members. Heavy amounts of staining due to moisture intrusion due to failure of the roof covering systems were observed consistently throughout the residence. Additionally, several roof framing support walls had collapsed and allowed the roof framing members to become sloped and create conditions that allow accumulation of moisture to occur at the roof level (ponding). This condition is concerning in that progressive loading of the roof framing can occur as rain falls or melt water from snow accumulates. The roof framing is susceptible to collapse as it cannot safely support the ponding conditions that exist.





2. Bearing Walls and Foundations

It was observed that all the walls of the structure are constructed with adobe masonry and utilize a concrete bond beam at the top. The interior of the walls is finished with plaster, and it was observed that almost every wall segment had been subjected to moisture intrusion. The moisture intrusion has caused the plaster to exhibit varying degrees of spalling, cracking, and delamination (broken bond to the wall). Additionally, the portions of exposed adobe walls appeared to be subjected to cycles of wetting and drying. The exposure to moisture has deteriorated the integrity of the adobes themselves and the masonry joints.





3. Foundations

Portions of the foundation were exposed at the exterior perimeter. It appears that the adobe walls are supported with the use of rubble type foundation stem walls. The interior floors are framed and likely bearing with pocketed joists into the observed stem walls. The foundations appear to have become exposed due to erosion of the soils at the perimeter. This condition makes the building susceptible to differential movement due to insufficient bearing area and/or exposure to frost heave. Stair step cracking through the adobe walls was observed in this area; this is an indicator that foundation differential movement has already occurred.





4. Wood Floor Framing

The wood framed interior floor was covered with 1.5" to 2" thick MDX type floor sheathing. Moisture that had infiltrated through the roof flowed onto the floor sheathing and into the floor framing area. It was observed that the floor sheathing was cupped and not attached to the supporting floor framing. Floor framing appears to have been affected by the moisture intrusion. Although the condition of the floor framing could not be observed, it is likely that they have sustained some loss of structural capacity due to the amount of moisture intrusion. It is common for these types of framed floors to have intermediate supports with concrete or wood blocking directly supported by the soils at the bottom of the crawl space. In this case, it is likely that the supports have settled due to the cycles of wetting/drying of moisture infiltration.





#### 5. Retaining Wall

A stone masonry retaining wall exists at the north-east side of the property. The stone masonry was retaining approximately 4 feet. Foundations and steel reinforcing bars were not observed and likely don't exist on this wall. The horizontal offset along the wall alignment was indicative of sliding failure of this wall.



### Analysis and Recommendations

Overall, the residence is in poor condition. The structural deficiencies outlined herein make this structure a hazard and danger to the public. The building should remain unoccupied until either temporary shoring is installed, or the hazards are removed.

The roof framing has likely sustained dry rot at the bearing (within the adobe walls) due to the high levels of moisture intrusion. Additionally, the bearing walls have reduced capacity due to partial or full collapse. The roof framing is susceptible to collapse during a wind event or the accumulation of any moisture (including snow) on the roof. If the building is to be salvaged, replacement of all the roof framing and decking would likely be necessary. Additionally, it is very likely that most of the adobe walls are unstable due to deterioration from moisture intrusion. Voids created within the adobe walls by flowing roof water will reduce the structural capacity to safely support roof dead, live, and snow loads.

All the floor framing in the residence will need to be replaced. During the replacement, it will be necessary to protect the framing from moisture intrusion. It's likely that the floor framing is pocketed into the cobble foundation and/or a perimeter support beam on wooden blocks exists. Replacement of this support system is not allowed by current code standards and a repair option would include excavation to create a crawl space and allow for deeper framing and spot footings. Alternatively, a replacement for the floor framing could consist of a concrete slab on grade. In that case, it may be necessary to compact the existing soils prior to placement (subject to approval of this method by a geotechnical engineer). The compaction process could induce more cracks into the adobe walls and/or finishes.



The retaining wall at the north-east side of the property has exhibited signs of sliding failure due to the horizontal offset of wall alignment. No foundation or reinforcing bars could be observed on the wall to prevent individual stones from sliding and 'tying' the wall together. The wall condition is a hazard and is susceptible to collapse.

### **Code Analysis**

This structure is under the jurisdiction of the City of Santa Fe Land Use Department. Currently the department utilizes the 2015 New Mexico Administrative Building Code. A review of the 2015 International Residential Building Code (IRC, as amended) and the 2015 International Existing Building Code (IEBC, as amended) was completed.

In the IRC, Section J501.4 outlines requirements that structural elements found to be unsound or dangerous be made to comply with the applicable requirements of the code. New installations shall not create a dangerous condition. Replacement of all the roof and floor framing would define the work as an 'extensive alteration', in accordance with Section AJ501.3. The alteration would then have to meet the reconstruction requirements of the code.

In the IEBC, Chapter 5 of the code indicates that replacing the entire roof and floor framing would be considered a 'substantial structural alteration' because the total affected area constitutes more than 30% of the total floor and roof areas of the building. In this level of alteration, Section 907.4.2 would require that the lateral load-resisting system comply with the 2015 International Building Code (IBC) requirements (though some reductions to horizontal forces are allowed in this alteration section).

### **Feasibility of Executing Code Requirements**

Based on the site-specific spectral acceleration values, this office has determined that the building needs to meet the code design requirements outlined for a Seismic Design Category D. The existing walls are unreinforced adobe masonry; these types of walls are not allowed to act as a lateral force resisting system in this seismic design category as they are non-ductile. In addition, the walls cannot resist out of plane forces due to wind pressure on the walls (based on current code standards).

A conventional foundation system was not observed to exist. Besides the inability to distribute vertical loading over a rigid strip footing, the foundation system is critical to resist building and component overturning forces. A retrofit to install a foundation system below this structure would require temporary shoring of the existing walls and excavation below them. It is my opinion that the walls would be unable to resist additional damage due to vibrations and likely sustain more structural damage during that installation. A retrofit may not be possible.



**Summary and Conclusion**

It is my opinion that an effort to restore or repair this structure is not feasible. Replacement of all horizontal framing, vertical load bearing walls, and the installation of a foundation system would require so much removal of the existing structure that the undertaking can no longer be considered a restoration, but a replacement. That is, no portions of the existing structure can remain in place to meet building code requirements.

The conclusions and opinions stated are based on our understanding of the facts and evidence stated herein. No warranties, expressed or implied, are intended to be made. Should additional facts or evidence become available pertaining to this project, we reserve the right to review that information and revise opinions when appropriate.

Recommendations provided herein are conceptual in scope and are for use in planning and estimating costs only. The services of a licensed professional experienced in this industry should be acquired to engineer and design the exact structural requirements. Other methods for these repairs may also be available and appropriate.

Please note that Luchini Trujillo Structural Engineers, Inc. has provided structural consultation for only those items described in this letter and assumes no responsibility for the structural adequacy of any other members or systems in this project.

Please contact me if you have any questions or require additional information.

Respectfully,

Eric D. Trujillo, P.E.



# City of Santa Fe, New Mexico

# memo

**DATE:** January 23, 2024  
**TO:** Historic Districts Review Board Members  
**FROM:** Ramón J. Sarason, Senior Planner, Historic Preservation Division

---

**2023-007722-HDRB.** 912 Old Santa Fe Trail. Downtown and Eastside Historic District, non-contributing. Sunil Sakhalkar, agent for Annmari Gallagher & James Collins, owners, request remodel/renovation of approx. 1,290 sq. ft. To enclose existing carport on east elevation and addition of a portal on the north and south elevations with associated renovation treatments.

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Color Board with Materials

## **STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

912 Old Santa Fe Trail is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure straddles the Downtown and Eastside Historic District and the Historic Review Historic District, as such the structure falls under the more restrictive code guidelines in the Downtown and Eastside Historic District. The architectural

style is mid-modern, estimated construction date is in the late 1950's. Documentational research shows no significant improvements or alterations.

In Case #2023-007402-HDRB, heard on November 14, 2023, the decision of the board was to maintain the historic status as non-contributing.

Now, the applicant proposes the following exterior alterations:

- 1) Enclose the existing carport by adding walls between existing structural columns. The walls will be wood frame construction with exterior stucco finish. Color of the stucco under consideration - STO 01011 Tumbleweed 280-B3 or ER115 Cottonwood 280-B3 (samples attached).
- 2) Two new windows and two new doors by Sierra Pacific- Vinyl 8000 Designer Series. Color- White
- 3) New entry portal on the North (front) side. Wood frame construction. Painted finish- color- Sherwin-Williams SW 7012 Creamy (sample attached). Portal floor to be concrete slab.
- 4) New Portal/ Trellis on the South (Back) side of the house. Wood frame construction. Painted finish — Color- Sherwin-Williams SW 7012 Creamy (sample attached). Portal floor to be concrete slab to match the existing slabs.
- 5) A new guard wall at the existing stairs going to the existing basement. Now there is a small curb with wooden rail. The wall will be CMU over the existing concrete curb. Height will be 3 ft from the adjacent finish grade. Stucco finish with color to match the rest of the house.
- 6) Roofing repair work as required after adding the new portal roof.

#### **RELEVANT CODE CITATIONS:**

##### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

##### Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

## Windows & Doors:

### 14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
  - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
  - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
  - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

## 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

## 14-5.2(E) Downtown and Eastside Design Standards

### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. \_\_\_\_\_ District No. \_\_\_\_\_  NRHP  SRCP Criteria:  A  B  C  D

<b>1 Name of Property</b> <small>(Historic and/or current name for property)</small>	<b>2 Location</b> <small>(Address or description of location)</small>	<b>3 Local Reference Number</b>
	912 OLD SANTA FE TRAIL	County Santa Fe

**5 Property Type**

Building  Structure  
 Site  Object

**6 Date of Survey**

5 / 16 / 02

**7 Previous Survey Date(s)**

\_\_\_ / \_\_\_ / \_\_\_

No previous survey

**8 Name of Project**

**9 UTM**

Zone     
 Easting     
 Northing   



**10 Photo Information**

Roll #:   7   Negative Location: HPD View of: NORTH  
 Frame #: 24 27 29 30 32 33 CD#4 24 27 29 30 32 33 R7 27 CD#4 27

**11 Brief Description of the Property** (What is it?)

SIMPLE MODERNIST HOUSE WITH OVERHANGS ALL SIDES THAT IS DWARFED AND HIDDEN BY EVERGREEN TREES. GRAVEL DRIVE AND NO WALL AT STREET.

**12 Who Uses the Property?** (Current and historic users and uses made of property. Indicate cultural affiliation of users.)

**13 Construction Date**

Date: 1950s  Known  Estimated Source:

**14 Setting**

Suburban  Rural  Village  Urban If Urban:  Commercial  Industrial  Residential  Public

**15 Relationship to Surroundings**  Similar  Dissimilar

Comments:

Continued on other side

Historic Preservation Division, New Mexico Office of Cultural Affairs

**16 Additional Perspective** (Photo, drawing, footprint, etc.; Indicate north arrow when possible.)



**Notes:** (If photo, include photo information, as in #10.) R7 29 SOUTH CD#4 29

**7 Surveyor**  
 (Your name, address, telephone number, and any group affiliation.)  
 Catherine Colby  
 906 Don Miguel Pl.  
 Santa Fe, NM 87505

**8 Owner (if known) and Other Knowledgeable People**  
 (Provide contact information for persons known or believed to have information about property.)

**19 Is Property Endangered?**  Unknown  No  Yes How?

**20 Significance to Current Community**  Unknown  None  Low  Moderate  High

Describe:

**21 Other Significance or Information of Interest** (Such as historical, legendary, structural, former ownership, etc.)

**22 National or State Register** (See instructions for eligibility criteria.)  
 Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why?

**23 National or State Historic District**  
 Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Contributing  Non-Contributing  Unknown  
 If 'yes,' what is name of district? HISTORIC REVIEW  State  National

**24 Supplemental Forms**  None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: PHOTOS & SITEPLAN

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Office of Cultural Affairs >>>>Please complete HCPI FORM 1 before completing Form 2<<<<<

For HPD Office use only: HCPI No. District 3 Local Reference Number

1 Name of Property (Historic and/or current name for property) 2 Location (Address or description of location) 4 County SANTA FE 5 Date of Survey 5/02

912 OLD SANTA FE TRAIL

## ARCHITECTURAL AND CONSTRUCTION DETAILS

6 Visible Construction Material

Adobe  Brick  Composition  Concrete: Block

Concrete: Cast Stone  Concrete: Poured  Earth Plaster  Masonry: Simulated

Metal: Corrugated  Metal: Structural Siding  Metal: V-Crimp  Stone: Random Ashlar

Stone: Random Coursed  Stone: River Rock  Stone: Rusticated  Stone: Tabular

Stucco  Tile: Structural Clay  Vinyl Siding  Wood: Board & Batton

Wood: Horizontal Siding  Wood: Jacal  Wood: Log  Wood: Shingle

Wood: Tongue & Groove  Other: \_\_\_\_\_

Notes:

7 Number of Stories  Not Applicable

Number:  1  1 1/2  2  2 1/2 Other: \_\_\_\_\_

8 Foundation  Not Applicable

Not Visible  None  At Grade  Above Grade  Raised

Materials:  Concrete  Stone Other: \_\_\_\_\_

Notes:

9 Roof  Not Applicable

Shape:  Flat  Gabled  Hipped  Pyramidal

Shed  Other: \_\_\_\_\_

Pitch:  None  Low  Medium  Steep

Features:  Eave  Parapet

Materials:  Asphalt  Composition: Shingle  Composition: Roll

Earth  Metal: Corrugated  Metal: Pressed

Metal: Standing Seam  Metal: V-Crimp

Tile: Terra Cotta  Wood: Shingle

Other: \_\_\_\_\_

10 Windows (Describe operation, materials, and glazing patterns of those windows on main or street facing elevation and other notable windows.)

Not Applicable

Operation	Material	Glazing	Number
SLIDING	METAL	1/1/1	3

Notes:

11 Doors (Describe type, style, and material of those doors on main or street facing elevation and other notable doors.)

Not Applicable

Type	Style	Material	Number
------	-------	----------	--------

Notes:

12 Chimneys (Describe whether interior or exterior and material)

INTERIOR

13 Porches  Not Applicable

Type:  Entry  Partial-Width  Full-Width  Wrap

14 Other Significant Features (Unique or outstanding features; Describe)

15 Modifications (For each modification, indicate the source of the modification date stated. If it is your own, write "surveyor." If prior survey, give date of survey.)

No known modifications

1. \_\_\_\_\_ Date: \_\_\_\_\_  Known  Estimated Source: \_\_\_\_\_

2. \_\_\_\_\_ Date: \_\_\_\_\_  Known  Estimated Source: \_\_\_\_\_

Continued on other side

HCPI Detail Form (FORM 2)

(Continued from the other side)

Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Primary Architectural Style

Not Applicable

Art Deco/Streamline Moderne

Gothic Revival

Mission Revival

Pueblo

Spanish-Pueblo Revival

Bungalow/Craftsman

International

Neo-Classical

Queen Anne

Territorial

Colonial Revival

Italianate

Northern New Mexico

Ranch

Territorial Revival

Folk Victorian

Mediterranean

Prairie

Spanish-Colonial

Tudor Revival

Notes:

Other: SIMPLIFIED MODERNIST

17 Documents Available and Their Locations

(Plans, histories, oral histories, maps, aerial photos, bibliographical references, etc.)

SITE

18 Attached or Associated Properties

(List & describe. Indicate whether surveys exist for these and provide survey numbers, if known.)

Are associated properties eligible for listing?

19 Site Plan

SEE  
CONTINUATION  
SHEET

Please Include:

- Footprint of building
- Porches and balconies
- Major landscape features
- North arrow
- Associated properties
- Walls, fences, gates
- Nearby roads
- Driveways

Notes:

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

Local Reference Number \_\_\_\_\_

1 Name of Property \_\_\_\_\_

(Historic and/or current name for property)

2 Location \_\_\_\_\_

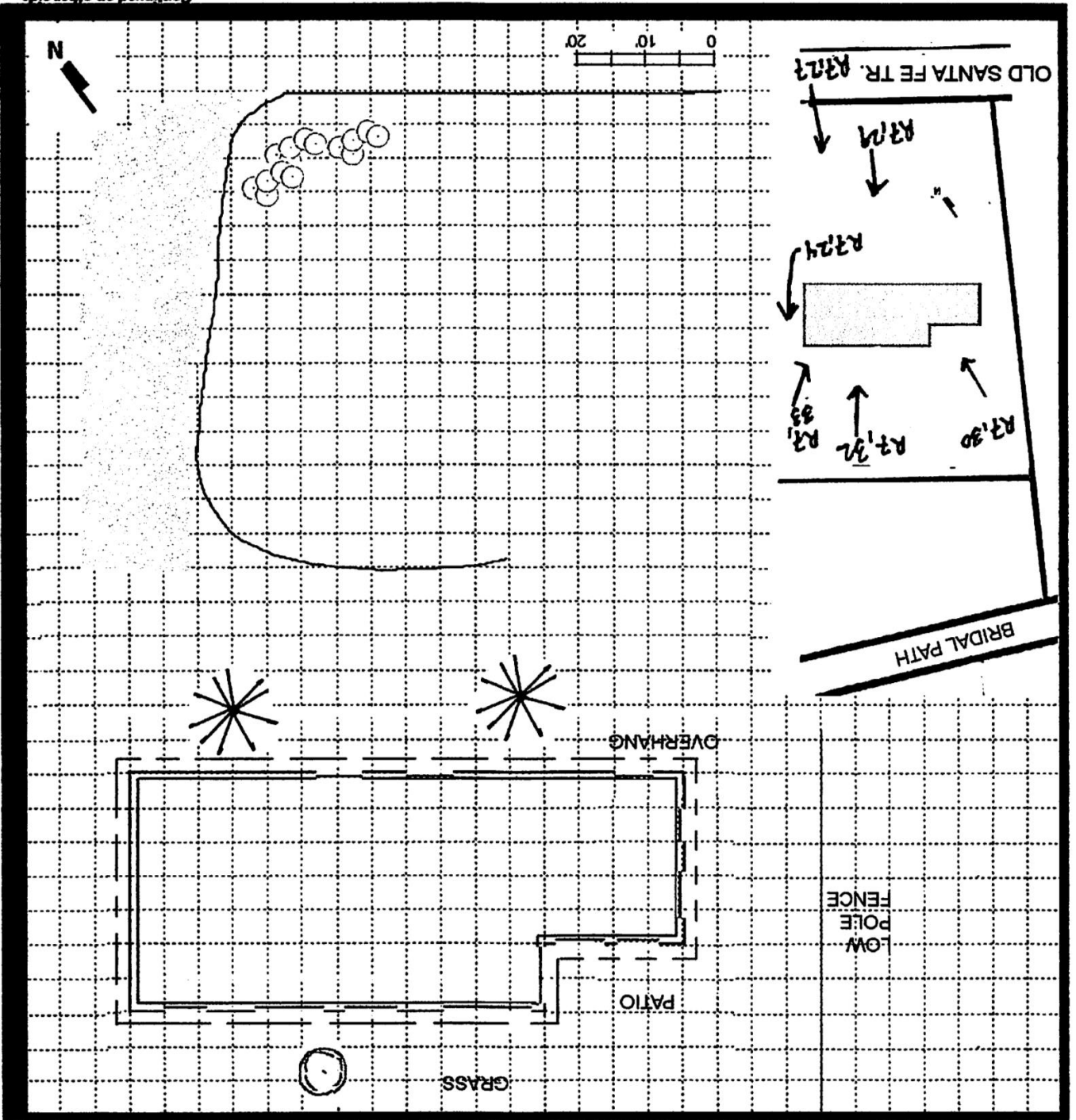
(Address or description of location)

SANTA FE

4 County \_\_\_\_\_

5 Date of Survey \_\_\_\_\_

5/02



Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No.

District No.

3 Local Reference Number

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

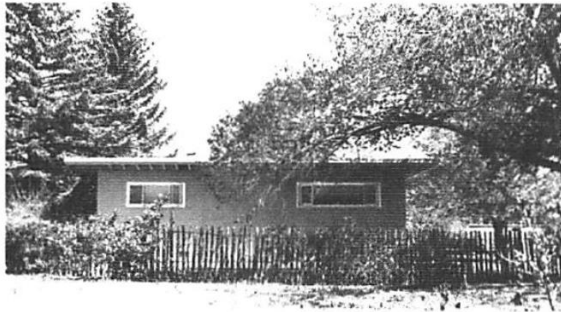
4 County

SANTA FE

5 Date of Survey

5/02

912 OLD SANTA FE TRAIL



R7 24 NORTH CD#4 24



R7 27 NORTH CD#4 27



R7 29 SOUTH CD#4 29



R7 30 SOUTH CD#4 30



R7 32 WEST CD#4 32



R7 33 WEST CD#4 33

Continued on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

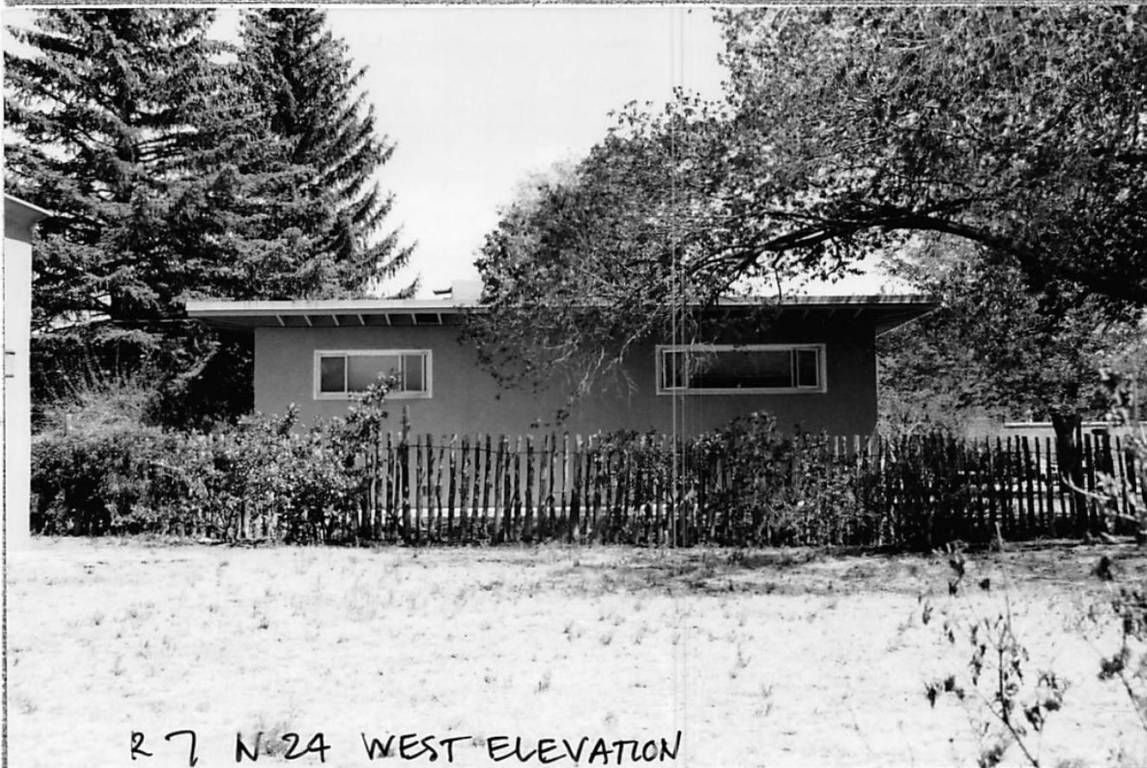
2 Location (Address or description of location)

4 County \_\_\_\_\_

5 Date of Survey \_\_\_\_\_

SANTA FE

5/02



R 7 N 24 WEST ELEVATION



R 7 N 32 WEST ELEVATION

ed on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property

(Historic and/or current name for property)

2 Location

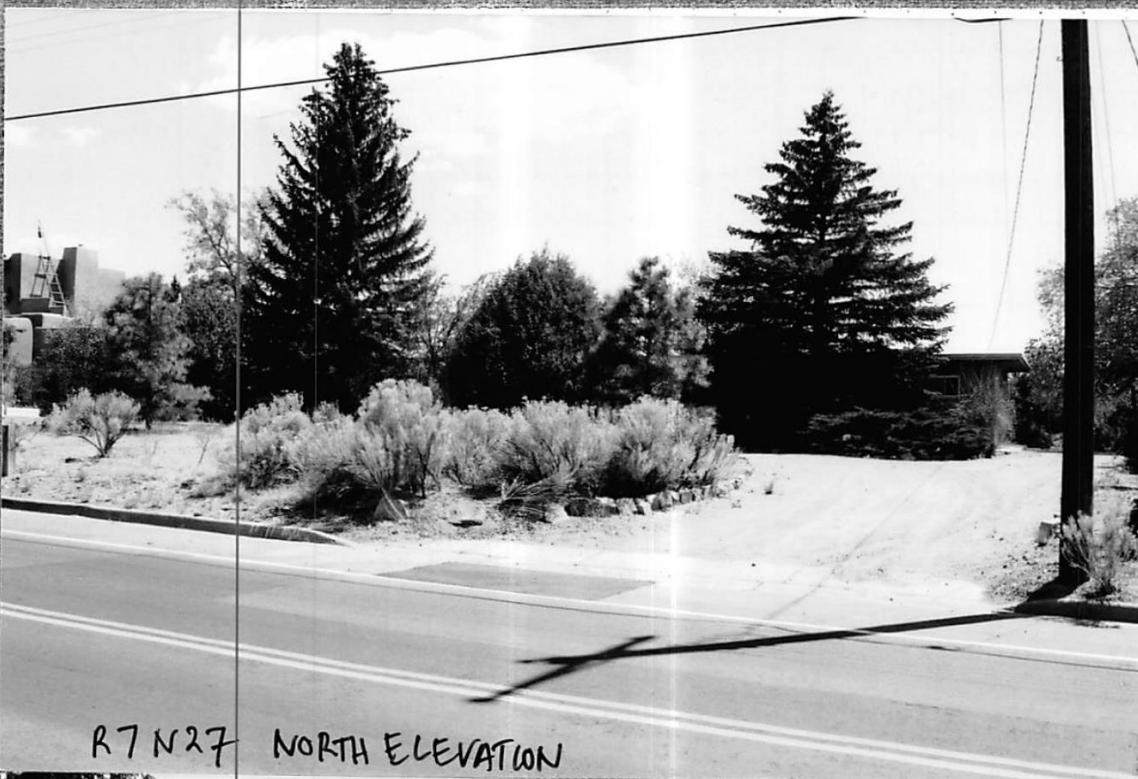
(Address or description of location)

4 County

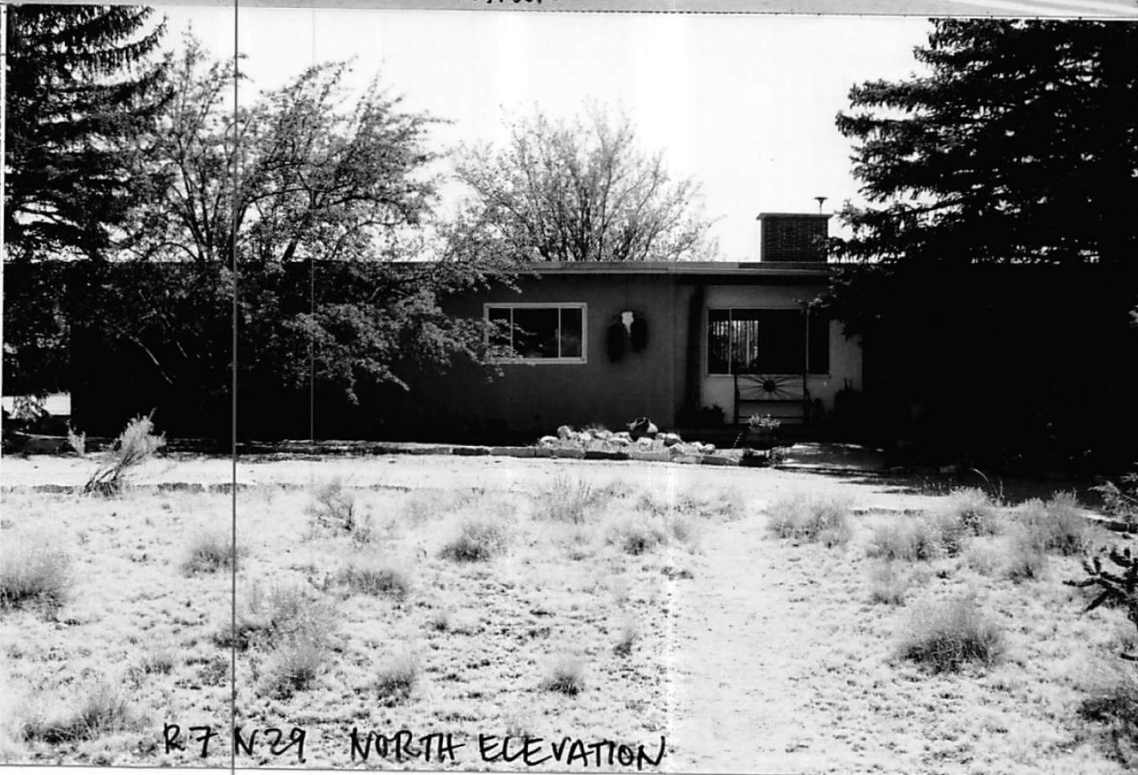
SANTA FE

5 Date of Survey

5/02



R7 N27 NORTH ELEVATION



R7 N29 NORTH ELEVATION

used on other side

# Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. \_\_\_\_\_

District No. \_\_\_\_\_

3 Local Reference Number \_\_\_\_\_

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County \_\_\_\_\_

SANTA FE

5 Date of Survey \_\_\_\_\_

5/02

912 OLD SANTA FE TRAIL



used on other side



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

### To Be Completed By Applicant:

Date Submitted: 12.12.23  
 Property Owner of Record: Annmari Gallagher/ James Collins  
 Applicant/Agent Name: Sunil Sakhalkar/ Atelier CulDsak  
 Contact Person Phone Number: ( ) - 505 310-1884

Site Address:  
 912 old santa fe trail, santa fe NM 87501  
 Proposed Construction Description:  
 Add new portals; enclose existing carport; new yard wall  
 3534 sq ft including overhangs/ portals

Zoning District: R3  
 Overlay:  Escarpment  
 Flood Zone\*  
 Other: \_\_\_\_\_

**TOTAL ROOF AREA:**  
 Lot Coverage : 8.6 %  
 Open Space Required: \_\_\_\_\_

Submittals Reviewed with PZR:  
 Legal Lot of Record  Development Plan  Building Plans  
 Existing Site Plan  Proposed Site Plan  Elevations

**Setbacks:**  
 Proposed Front: 87 ft Minimum: 7 ft  
 2<sup>nd</sup> Front? \_\_\_\_\_  
 Proposed Rear: 160 ft Minimum: 15 ft  
 Proposed Sides: L35 ft R18 ft Minimum: 5 ft

Supplemental Zoning Submittals Required for Building Permit:  
 Zero Lot Line Affidavit

**Height:** Proposed \_\_\_\_\_  
 Maximum Height: 24' \_\_\_\_\_ or  
 Regulated by Historic Districts Ordinance  
 Regulated by Escarpment District

Access and Visibility:  Arterial or Collector\*\*  
 Visibility Triangle Required

**Parking Spaces:**  
 Proposed 2  
 Accessible NA  
 Minimum: 2

Use of Structure:  Residential  
 Commercial Type of Use: \_\_\_\_\_

**Bicycle Parking\*\*:**  
 Proposed: NA  
 Minimum: NA  
 \*\* Commercial Requirement

Terrain:  30% slopes \_\_\_\_\_

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

\_\_\_\_\_ PRINT NAME  
 hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.  
 \_\_\_\_\_ 12.12.23  
 SIGNATURE DATE

### To Be Completed By City Staff:

**Additional Agency Review if Applicable:**  
 Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Notes: \_\_\_\_\_

**Zoning Approval:**  
 Preliminary Approval  with conditions  Rejected  
 Comments/Conditions: \_\_\_\_\_

REVIEWER: Carly Venditti DATE: 12/21/2023

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

December 21, 2023

Ramon Sarason  
Senior Planner  
Historic Preservation Division, City of Santa Fe

RE: Request for Administrative Approval  
Case #

Dear Ramon and the Historic Design Review Board members

Project address: 912 Old Santa Fe Trail, Santa Fe NM 87505  
Project Scope: Enclose existing carport, Add new portals and re-stucco the building

The current residence went under HDRB status review on November 14, 2023. The status has been determined as non-contributing structure. We are submitting the following documents for your review and administrative approval.

We are proposing the following:

1. Enclose the existing carport by adding walls between existing structural columns. The walls will be wood frame construction with exterior stucco finish. Color of the stucco under consideration - STO 01011 Tumbleweed 280-B3 or ER115 Cottonwood 280-B3 (samples attached).
2. We are proposing two new windows and two new doors by Sierra Pacific- Vinyl 8000 Designer Series. Color- White.
3. We are proposing new entry portal on the North (front) side. Wood frame construction. Painted finish- color- Sherwin-Williams SW 7012 Creamy (sample attached). Portal floor to be concrete slab.
4. We are proposing new Portal/ Trellis on the South (Back) side of the house. Wood frame construction. Painted finish – Color- Sherwin-Williams SW 7012 Creamy (sample attached). Portal floor to be concrete slab to match the existing slabs.
5. We are proposing a guard wall at the existing stairs going to the existing basement. At the moment there is a small curb with wooden rail. The wall will be CMU over the existing concrete curb. Height will be 3 ft from the adjacent finish grade. Stucco finish with color to match the rest of the house.
6. We are proposing roofing repair work as required after adding the new portal roof.

List of Drawings/ Documents attached: Date 12.21.2023

Application form  
Approved PZR (preliminary zoning review) application  
Proposal letter (this document)  
Photographs  
Exterior finishes

AS-1	Site plan
AD-1	Existing Floor plan
A-1	Proposed Floor Plan
A-2	Existing and Proposed Exterior elevations
A-3	Existing and Proposed Exterior elevations 3-D sketches to illustrate proposed work.

Please let us know if you need any additional information.

Regards,



Sunil Sakhalkar

revisions

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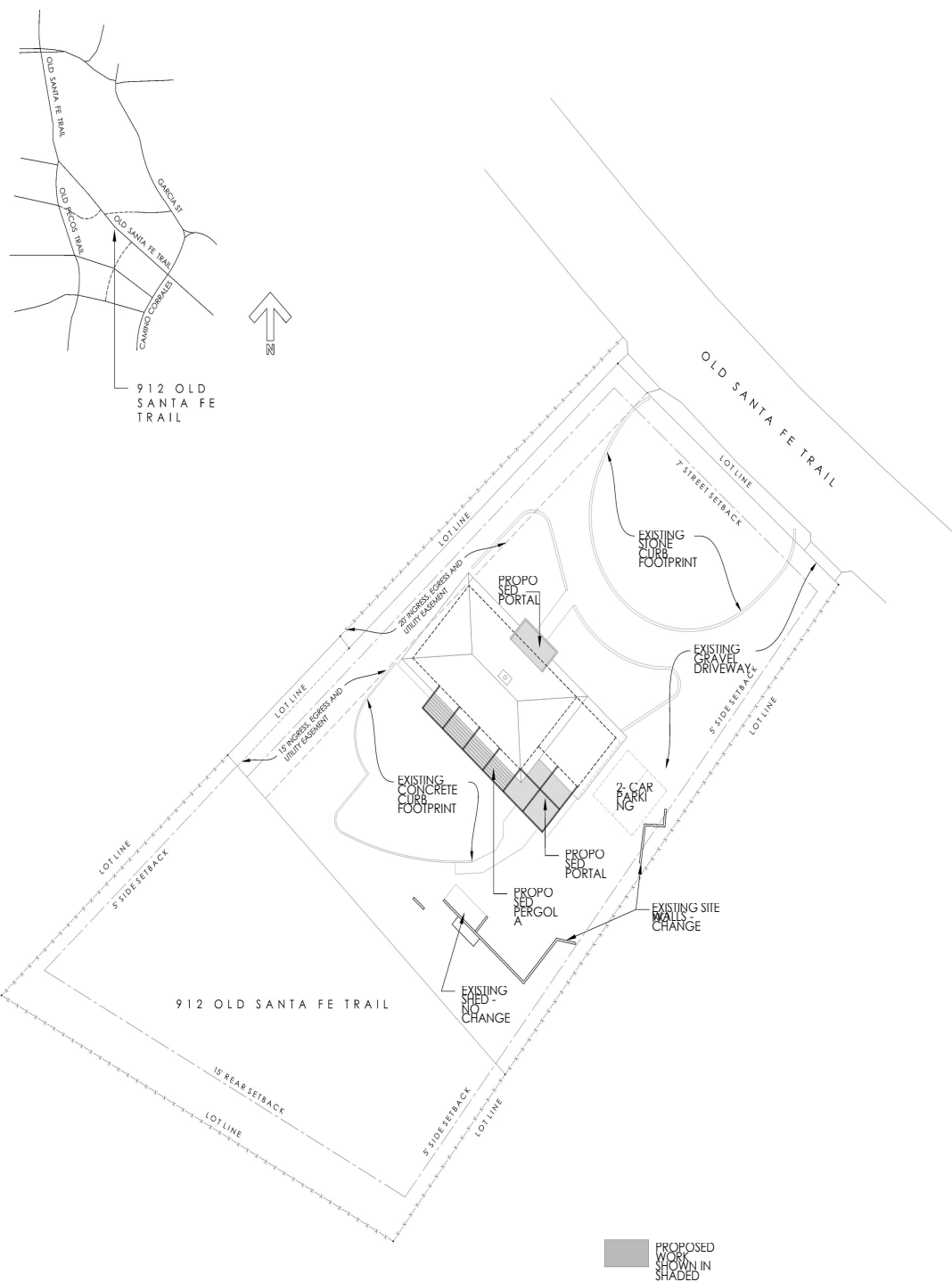
# Gallagher Collins Residence

912 Old Santa Fe Trail Santa Fe, NM-87505

ateller  
Culdsak  
(505)  
811-1884  
2023

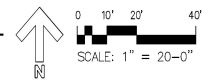
scale as  
shown  
Site Plan

AS  
-1

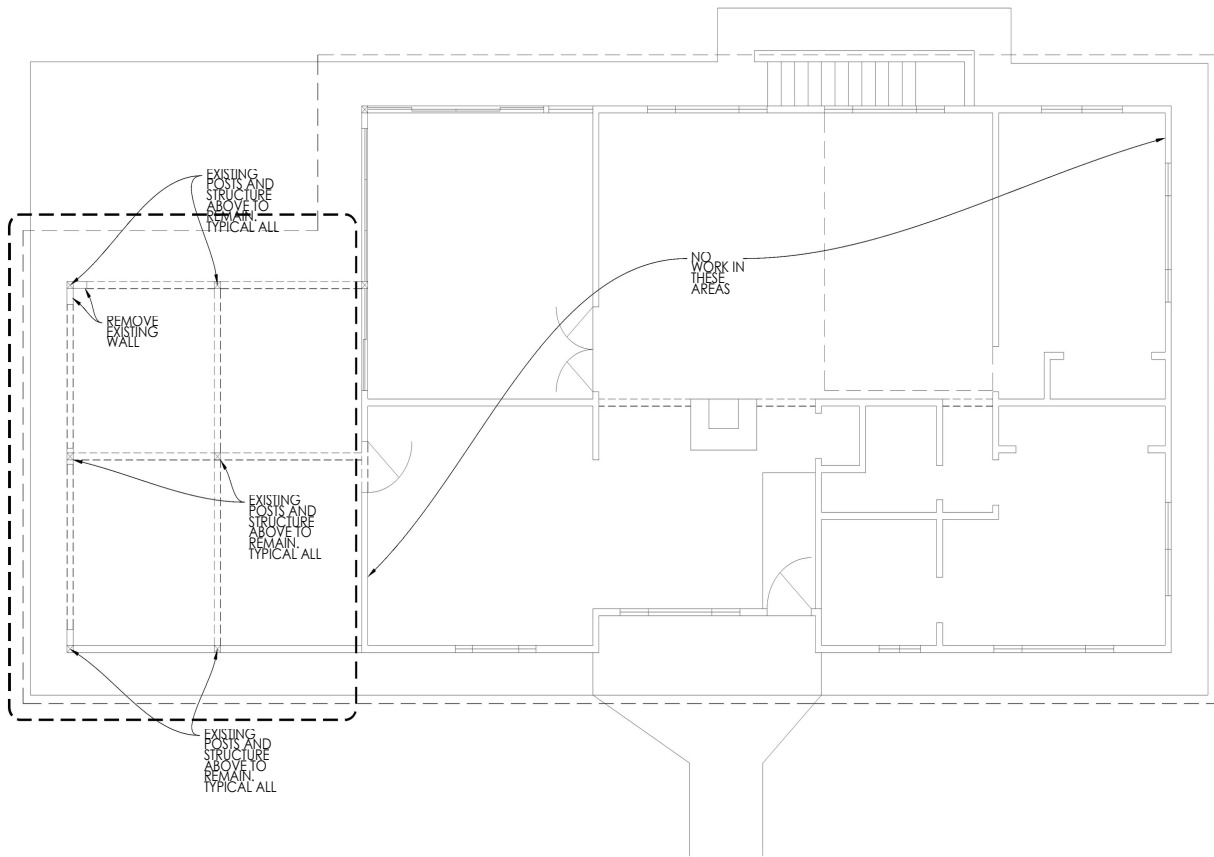


PROPOSED WORK SHOWN IN SHADED

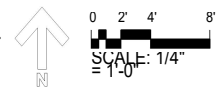
1 SITE PLAN  
SCALE: 1" = 20'-0"



revisions



① FLOOR PLAN - EXISTING AND DEMOLITION  
SCALE: 1/4" = 1'-0"



Gallagher Collins Residence  
912 Old Santa Fe Trail Santa Fe, NM-87505

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Culdsak  
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811-1884  
2023  
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revisions

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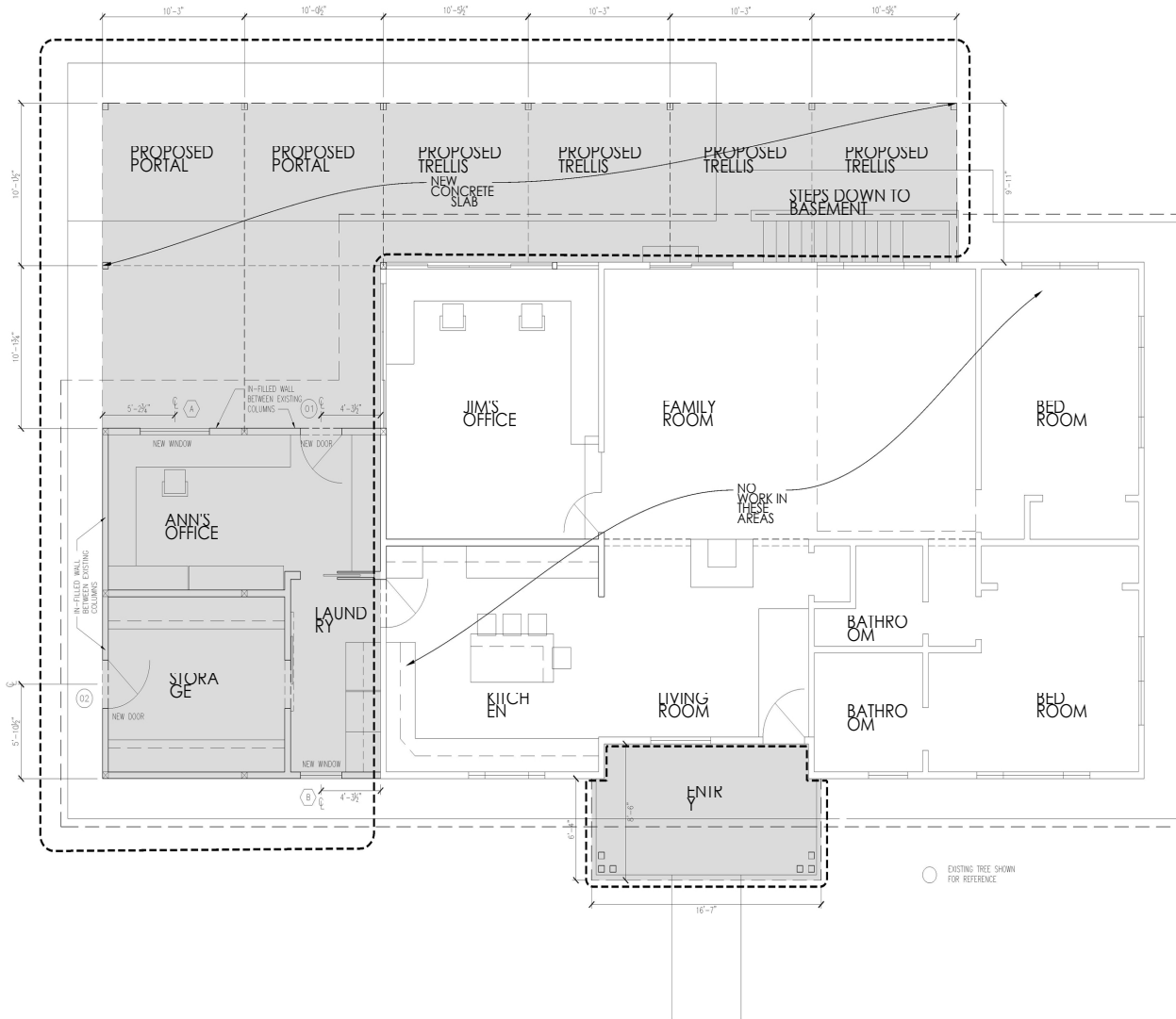
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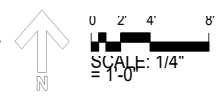


# Gallagher Collins Residence

912 Old Santa Fe Trail Santa Fe, NM-87505

PROPOSED WORK SHOWN IN SHADED

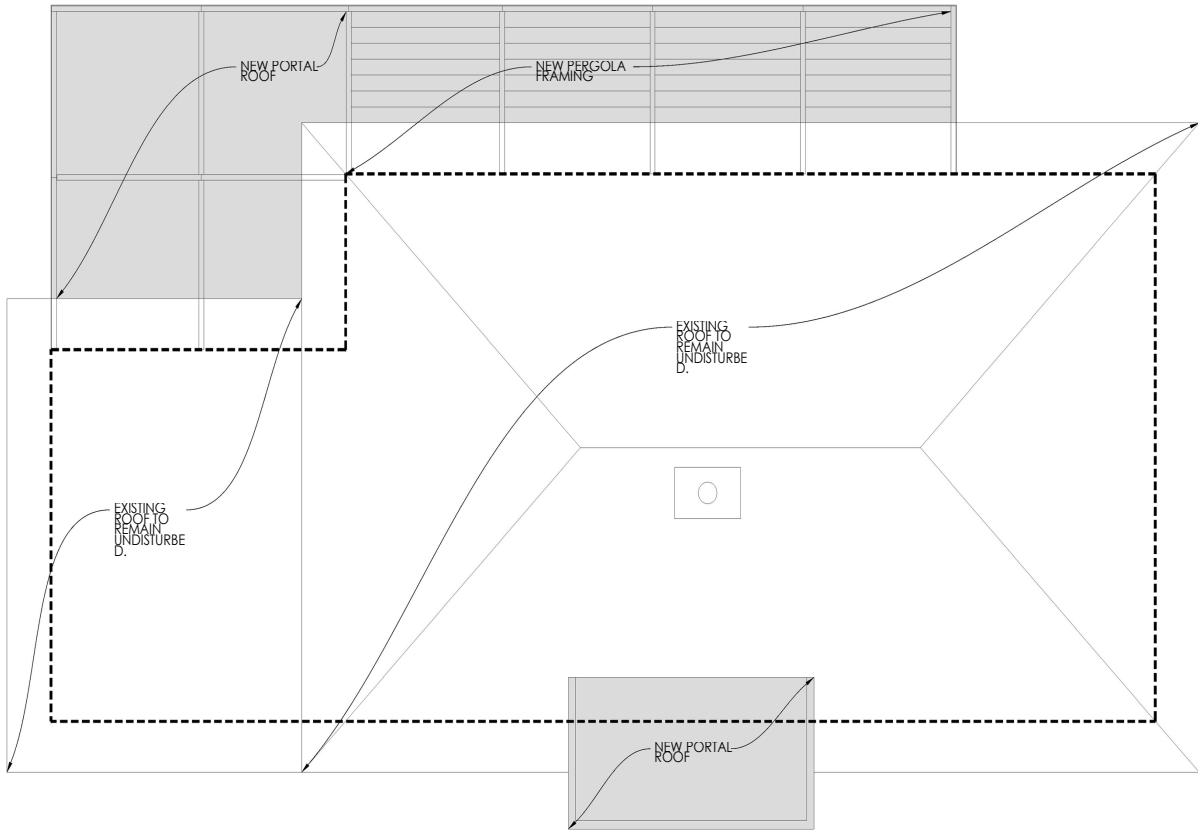
1 FLOOR PLAN - NEW WORK



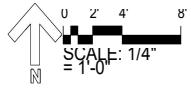
ateller iic  
Culdsak  
(505)  
811-1284  
2023

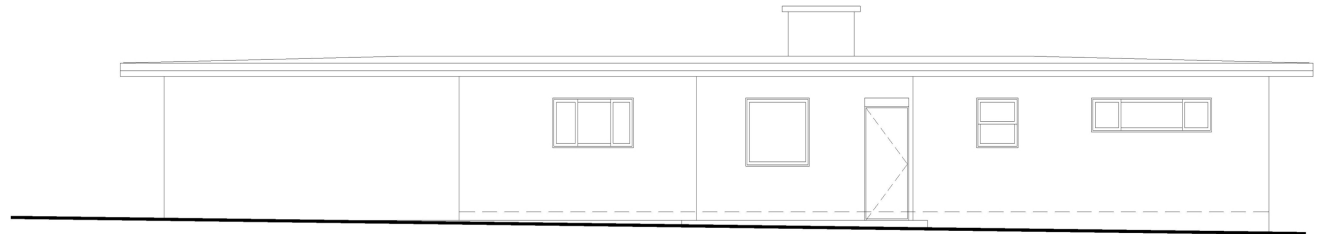
scale as shown  
New Work

A-1

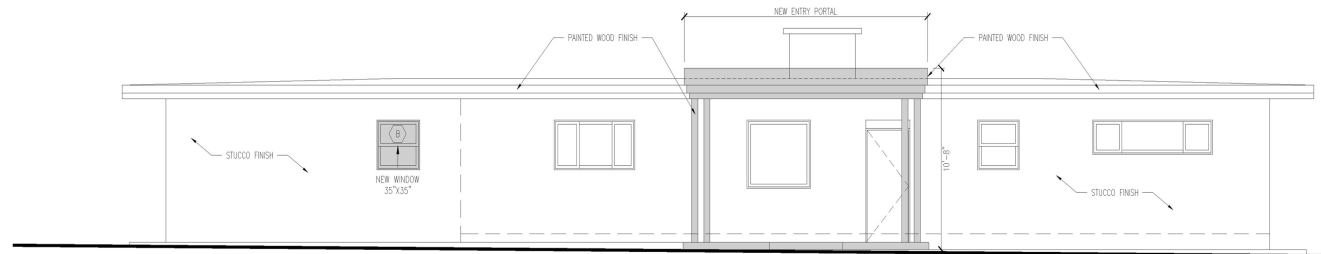
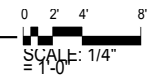


 PROPOSED WORK SHOWN IN SHADED  
**1 ROOF PLAN - NEW WORK**  
 SCALE: 1/4" = 1'-0"

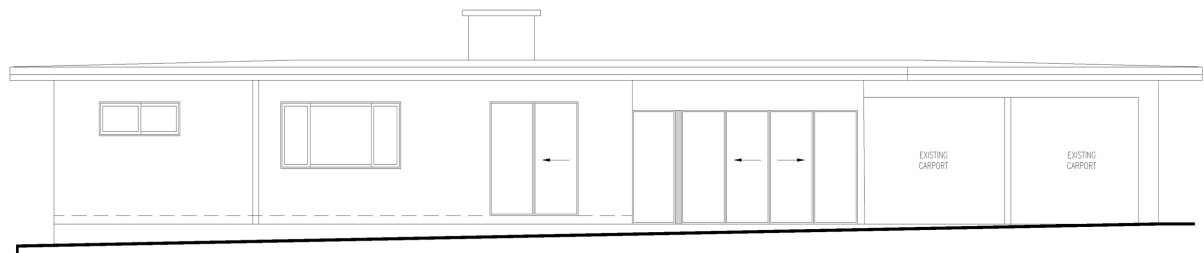
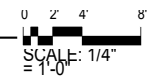




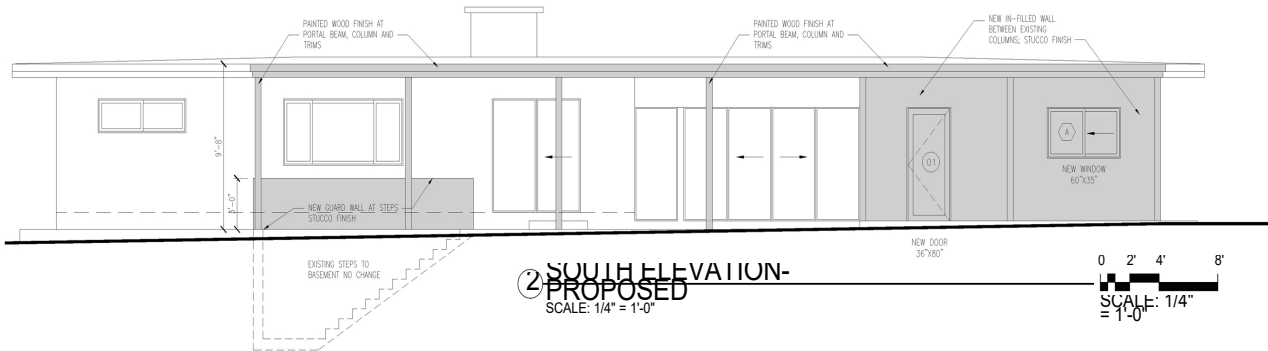
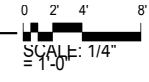
① NORTH ELEVATION-EXISTING



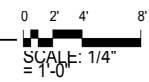
② NORTH ELEVATION-PROPOSED



③ SOUTH ELEVATION-EXISTING



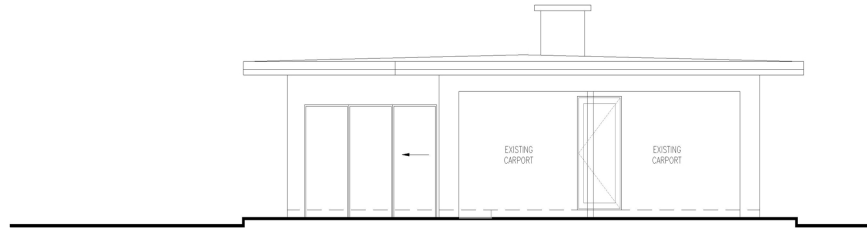
④ SOUTH ELEVATION-PROPOSED



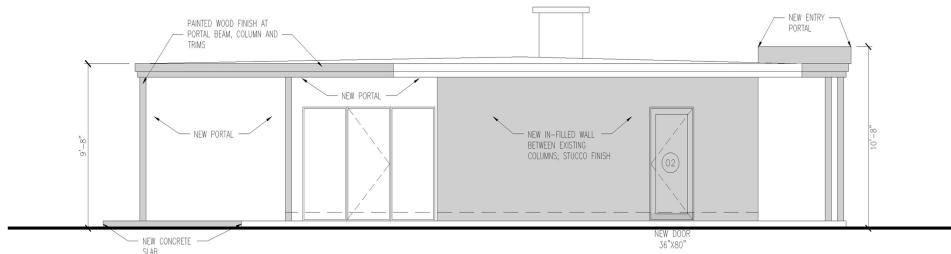
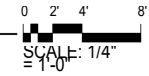
STUCCO UNDER  
 COLOR CONSIDERATION  
 TUMBLEWEED 280-B3  
 NO. 115  
 BERN WILLIAMS  
 SW7012 CREAMY  
 PROPOSED  
 WORK  
 SHOWN IN  
 SHADED

Gallagher Collins Residence  
 912 Old Santa Fe Trail Santa Fe, NM-87505

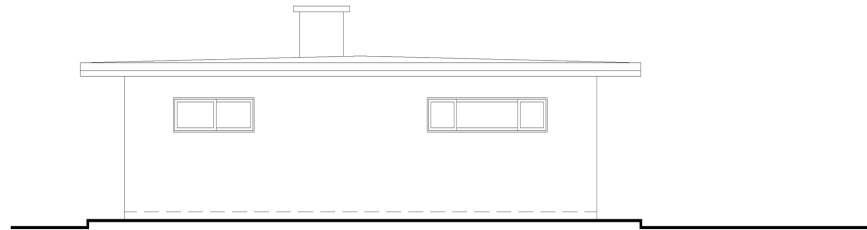
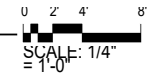
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 (505)  
 875-1284  
 2023  
 scale as  
 shown  
 Elevations



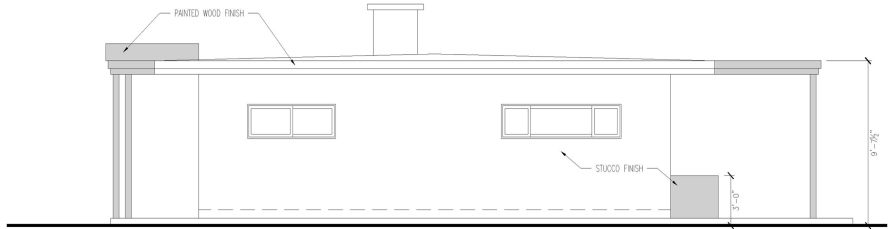
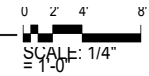
① EAST ELEVATION-EXISTING



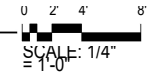
② EAST ELEVATION-PROPOSED



③ WEST ELEVATION-EXISTING



④ WEST ELEVATION-PROPOSED  
SCALE: 1/4" = 1'-0"



STUCCO COLORS  
 UNDER CONSIDERATION:  
 TUBALFEEED 280-B3  
 HERRON WOODS 180-  
 887012 CREAMY

PROPOSED WORK SHOWN IN SHADED















Stucco Color  
Alternate 1  
STC EMI 15 Cottonwood  
280-B3



Stucco Color  
Alternate 2  
STC 01011 Tumbleweed  
280-B3

SW 7012  
Creamy

NA 12



Trim  
color:  
Sherwin Williams SW 7012  
Creamy

# City of Santa Fe, New Mexico

# memo

DATE: January 23, 2024

TO: Historic Districts Review Board Members

FROM: Heather Lamboy, Assistant Director, Planning & Land Use Department

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**2024-007742-HDRB. 60 E San Francisco St. (Santa Fe Arcade Building).** Downtown and Eastside Historic District. Non-Contributing. Thom Ortiz, agent for Peters Corporation, requests a 2nd floor renovation of the north elevation, which includes door and window replacement.

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

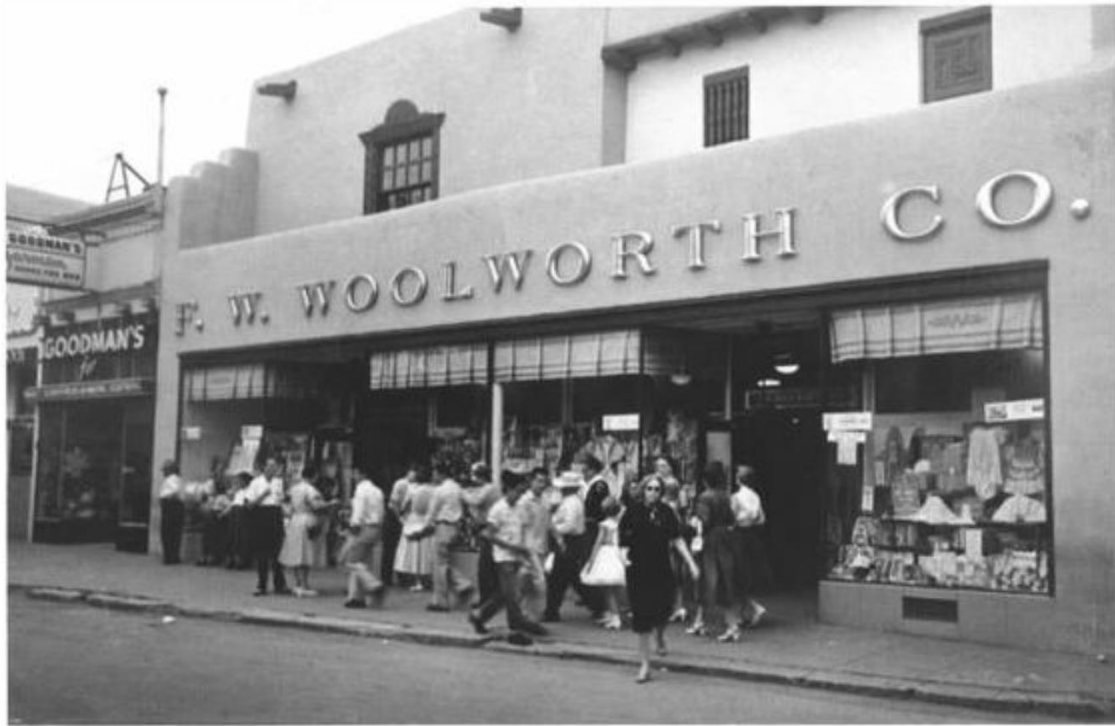
**STAFF RECOMMENDATION:**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

**BACKGROUND & SUMMARY:**

The structure at 60 E San Francisco Street was previously occupied by the Woolworth's building, which initially was located in the current Five and Dime space in 1935. Over time, Woolworth expanded eastward to include two additional lots. John Gaw Meem designed the Pueblo-style storefront at that time. With the late 1960's addition of portales around the Santa Fe Plaza, Woolworth's declined to participate due to the inset portal that was already part of the Meem-designed façade.

Evolution of the building:



**Figure 1 Woolworth before Expansion**



**Figure 2 Evolution of Woolworth - Expansion 1960s**



Figure 3 1960s Woolworth Building with Portal



Figure 4 Late 1970s Woolworth Building



**Figure 5 1998 Photo - Five & Dime Case**



**Figure 6 Google Street View - May 2019**

As illustrated by the photographs above, a series of changes have been made to the facades that are associated with the circa-1950s Woolworth building, including changes made in 2002-2003 that can be seen currently on the building's façade.

Now, the applicant proposes the following exterior alterations:

- 1) In order to accommodate another restaurant use on the top floor of the Santa Fe Arcade building, the applicant proposes adding inset portales on the north elevation. Windows will be divided lite windows; the applicant will retain the existing French doors and transom windows on the eastern portion of the façade.

When John Gaw Meem designed the second-story façade for Woolworth’s in the 1960s, it was similar to the La Castrense building, which contained the military chapel as prescribed by the Leyes de las Indias of 1517. Much of the façade has been modified over the years. The proposed design changes will highlight the Castrense building’s unique history; the buildings contained in the Woolworth building footprint are long gone and the subsequent renovation treatments have significantly affected the character of the Woolworth building’s 1960s design.



### **RELEVANT CODE CITATIONS:**

#### **14-5.2(A)(1) General Purpose**

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

#### **14-12 Noncontributing Structure:**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### **14-5.2(E) Downtown and Eastside Design Standards**

##### **(1) Old Santa Fe Style**

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and

the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

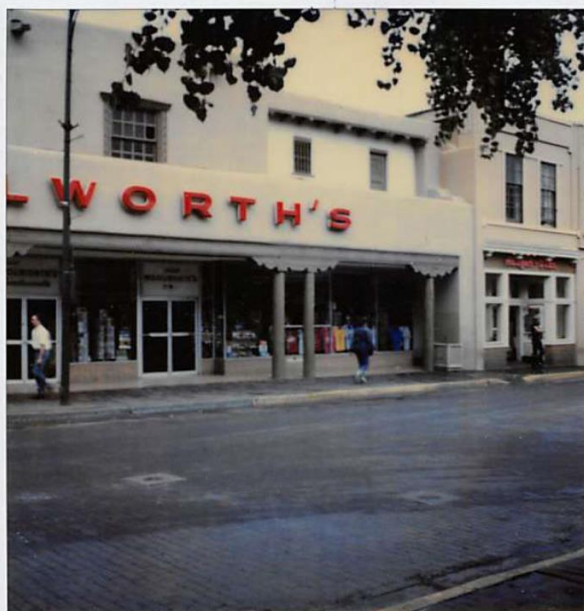
Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



H-86-164

58 EAST SAN FRANCISCO STREET

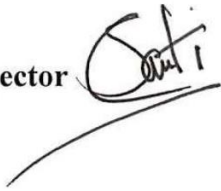


# City of Santa Fe, New Mexico

# memo

**DATE:** October 26, 2000

**TO:** James M. Hewat, Historic Preservation Planner

**FROM:** Phil Santistevan, Historic Districts Construction Inspector 

**RE:** 58 E. San Francisco (Old Woolworth's)

---

On October 26, 2000 an on-site inspection was conducted at 58 E. San Francisco as per your request. The purpose of this inspection was to determine the overall condition of the old Woolworth structure.

## THE FOLLOWING CONDITIONS EXIST:

- 1) The structure is constructed of masonry block, poured concrete, wood frame, concrete and rock walls, metal bar joists, metal (iron) beams, metal roof ceiling assemblies and stone footing and foundation. The structure does not meet minimum general construction, mechanical and plumbing minimum standards or electric code standards.
- 2) FOOTING-FOUNDATION  
The footings-foundation assemblies do not meet current minimum code standards. The foundation-footing assemblies are of stone and rock rubble with concrete reinforcement during the many years of occupancy.
- 3) WALLS  
The walls are constructed of a mixture of masonry and stone concrete reinforcement during the years of use, and wrap around wood frame reinforcement. The walls assemblies do not meet minimum code standards as evidenced due to the various sections of reinforcements to the wall and especially in the basement, due to the footing foundation assemblies which will need to be underpinned with reinforced concrete poured to stabilize the foundation especially if any additional weight is added to the present structure.

**Memo to:** James M. Hewat, Historic Preservation Planner  
**From:** Phil Santistevan, Historic Districts Construction Inspector  
**Date:** October 26, 2000  
**Re:** 58 E. San Francisco  
**Page:** 2

---

4) ROOF

The system is a metal ceiling built up roof assembly with a combination of metal trusses, make shift frame truss system, iron beams and wood frame with steel upright structural members, at various spans and centers. The system does not meet minimum code standards. The roof assembly has been renovated at intervals which is evident due to the make shift structural reinforcement with mixed materials and bracing. The roof assembly should be brought up to current code specification with all combustible structural members replaced and engineered with noncombustible construction materials.

5) BASEMENT FLOOR CEILING ASSEMBLY

The floor ceiling assembly is of wood frame and sheathing with 2'x 12" joists 2' on center and 1'x 4" cross bracing (supporting floor ceiling assembly). The beams of various spans and centers are triple 2" x 12" frame and metal truss system which was retrofitted for bracing reinforcement of floor ceiling assembly, the system does not meet minimum code standards. The floor ceiling assembly needs to be structurally engineered for current and future bearing load factors, including removing combustible materials and replacing with non-structural materials.

6) EVALUATION

Current code compliance for non-structural interior renovations will need to meet The 1997 Uniform Building Code specifications and Standards in accordance with future occupancy or mixed occupancy including potential mini-mall code specifications where applicable.

7) ATTACHMENTS

Site photographs

58 E. San Francisco



58 E. SAN FRANCISCO  
1ST Floor Ceiling Assy  
10/26/00



10/26/00  
58 E. SAN FRANCISCO  
10/26/00 WOOD FRAME  
MAKE SHIRT TRUSS ASSY  
CEILING ASSY 1ST FLOOR



58 E. SAN FRANCISCO  
1ST Floor Ceiling Assy  
10/26/00



58 E. SAN FRANCISCO  
1ST Floor Ceiling Assy  
10/26/00

58 E. San Francisco



Basement



58 E. SAN FRANCISCO  
10/26/00 Basement



58 E. SAN FRANCISCO  
10/26/00  
1st Floor wall



58 E. SAN FRANCISCO  
10/26/00 MASONRY  
wall ASSY WITH OLD  
MECHANICAL PART. 10/26/00



58 E. SAN FRANCISCO  
10/26/00 Basement

58 E. SAN FRANCISCO



58 E. SAN FRANCISCO  
1ST FLOOR WOOD SHEATHING  
10/26/00



58 E. SAN FRANCISCO  
10/26/00  
1ST FLOOR - Ground Floor



58 E. SAN FRANCISCO  
1ST FLOOR Ceiling  
ASSY. - Ground Floor



58 E. SAN FRANCISCO  
10/26/00  
Basement

58 E. SAN FRANCISCO



58 E. SAN FRANCISCO  
10/26/00 Basement



58 E. SAN FRANCISCO  
10/26/00 Basement



58 E. SAN FRANCISCO  
10/26/00 Basement

58 E. San Francisco



58 E. SAN FRANCISCO  
10/26/00 1ST Floor  
Ceiling assy WOOD FRAME



58 E. SAN FRANCISCO  
1ST Floor Ceiling  
ASSY



58 E. SAN FRANCISCO  
10/26/00 BASEMENT



58 E. SAN FRANCISCO  
10/26/00 BASEMENT

58 E. San Francisco



10/26/00 58 E. SAN FRANCISCO  
1ST Floor Ceiling ASSY



58 E. SAN FRANCISCO  
10/26/00  
BASEMENT



# City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montaña, Mayor Pro Tem, Dist. 3  
Patti J. Bushee, Dist. 1  
Larry A. Delgado, Dist. 1  
Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2  
Art Sanchez, Dist. 3  
Peso Chavez, Dist. 4  
Amy Manning, Dist. 4

Project description . : STOREFRONT REMODEL N ELEV/DOOR S ELEV  
Project number . . . : 97- 10100168  
Case Number . . . . . : H-97-147  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . : 09/24/97

PROJECT LOCATION(S) : 58 East San Francisco Street

**PROJECT NAMES:**

OW- UTBW L. L. C. 126 East De Vargas Street  
Santa Fe, NM 87501

AP- Martinez, Richard 210 East Marcy  
Santa Fe, NM 87501 (505) 9894958

**BOARD ACTION**

This is to certify that the Historic Design Review Board at its meeting on October 14, 1997, acted on the above referenced case. The decision of the Board was to conditionally approve your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows: Signage shall be centered on the parapet.

For further information please call 984-6808.

Sincerely,

Mary Grzeskowiak  
Historic Preservation Planner

Heather Pierson  
Historic Districts Case Planner

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF ITS DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.



# City of Santa Fe, New Mexico

Project description . : STOREFRONT REMODEL N ELEV/DOOR S ELEV  
Project number . . . : 97- 10100168  
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Santa Fe, NM 87501

AP- Martinez, Richard 210 East Marcy  
Santa Fe, NM 87501 (505) 9894958

**PROJECT DATA**

HISTORICAL DISTRICT	DOWNTOWN AND EASTSIDE
HISTORIC BUILDING STATUS	NON-CONTRIBUTING
PUBLICLY VISIBLE FACADE-EAST	N
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	Y
PUBLICLY VISIBLE FACADE-WEST	N
HISTORIC DIST SURVEY NUMBER	32250
YEAR OF CONSTRUCTION	1880'S W/1939,1949,1968 REMODEL
PROJECT TYPE (NEW, ADD, ETC.)	STOREFRONT
USE, EXISTING	COMMERCIAL
USE, PROPOSED	COMMERCIAL
HISTORIC BUILDING NAME	WOOLWORTH'S

# City of Santa Fe, New Mexico

# memo

DATE: 14 October 1997  
TO: Historic Design Review Board Members  
VIA: Anne M. Condon, Planning Division Team Leader  
Mary Grzeskowiak, Historic Preservation Planner  
FROM: Heather L. Pierson, Historic Districts Case Planner

*AMC*  
*MG*  
*HP*

## ITEM & ISSUE

CASE #H- 97-147 ADDRESS 58 East San Francisco Street

## REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Standards	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Elevations
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Photographs
	<input checked="" type="checkbox"/> Other <u>Historic Photos</u>

## STAFF RECOMMENDATION

Staff acknowledges the standards for architectural design in the Downtown and Eastside Historic District have been met and recommends approval.

## BACKGROUND & SUMMARY

The applicant has provided illustrations for a storefront remodel on the north elevation and the insertion of a door on the south elevation. The applicant states that the current Woolworth building occupies three lots. The subject site is the location of the original Woolworth store in 1935 (photographic documentation is provided). In 1939 the store was enlarged to the east of the subject site and then expanded to its current size in the 1960's.

The storefront will be remodeled to include pedestrian doors and new storefront glass. The new storefront framing will be bronze in color, and the lower panels of the storefront glass will be opaque red to match the existing F.W. Woolworth Co. sign and new signage. The door proposed on the south elevation will have the same bronze aluminum and glass treatment as the north elevation storefront. A portal will accentuate this elevation.

**14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.**

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canals or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

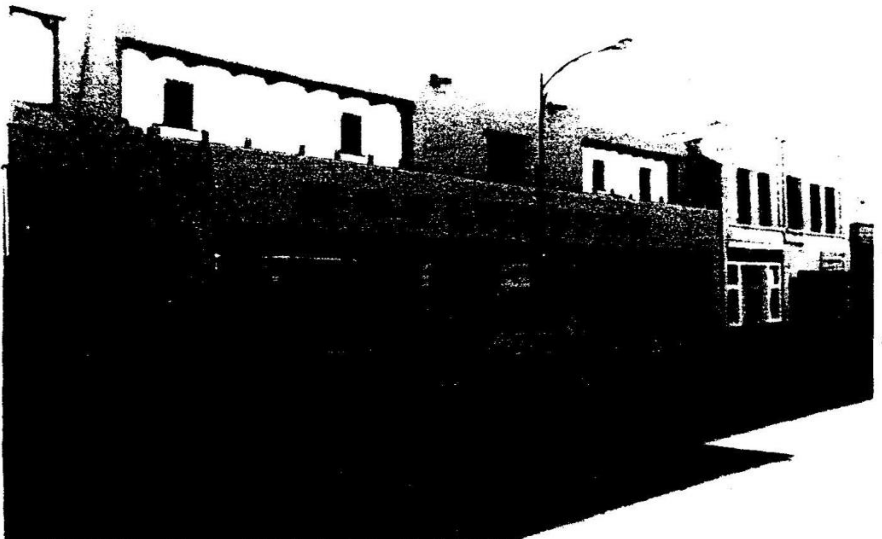
(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complementary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFC 1981, §3-29-4)

aiding threatened? yes	surveyed date 11/85 by HMW	county SANTA FE	ID no. 051610472
field map SFHD # 1	number 472	UTM reference easting northing zone 12 13	
location description SB E. SAN FRANCISCO		city/town SANTA FE	
building name WOOLWORTH'S		legal description tensp N S range E W sec 1/2 1/2	
film roll by HMW no. SFHD# 18	negative nos. 29	loc. of neg. HPB	plan shape



date of construction estimate 1880's actual 1939, 49
source
use present residential other COMM
historic residential other COMM.
condition ___ excellent ___ good ___ fair ___ deteriorating
degree of remodeling ___ minor ___ moderate /major
describe: 1939/49 REMODELS.
surroundings COMM
relationship to surroundings /similar ___ not similar
district potential ___ yes ___ no
significance ___ eligible ___ of /none
if eligible, interest why? NO ALTERATIONS
associated buildings? ___ yes what type?
if inventoried, list ID nos.
see back? ___ yes

plyic	wall material/surface
S. P. REV.	
architectural features	
comments J. G. MERR REMODEL OF 3 EARLIER BLDGS.	

R I C H A R D M A R T I N E Z  
B U I L D I N G D E S I G N  
2 1 0 E A S T M A R C Y S T R E E T 5 0 5 - 9 8 9 - 4 9 5 8  
P O S T O F F I C E B O X 9 2 5 S A N T A F E N E W M E X I C O 8 7 5 0 4

Historic Design Proposal  
58 East San Francisco St.  
Santa Fe, New Mexico  
Downtown Historic District  
Plaza / San Francisco Subdistrict

The current Woolworth building occupies three lots. The westernmost of these lots is the site of this proposal. This lot was the site of the original Woolworth store which can be seen in the attached photograph dated 1935. In 1939 the store was enlarged into the lot to the east, and in the 1960's the store was enlarged again to its present size. 58 East San Francisco, the original site, has remained in separate ownership from the other parts of the building. Earl and Deborah Potter and Mike Collins, the current Woolworth's manager, have formed UTBW (Used To Be Woolworth's) LLC and entered into a long-term lease with the owner. they will preserve this part as a Five and Dime General Store and to continue to provide the services Woolworth's offered with current Woolworth's employees.

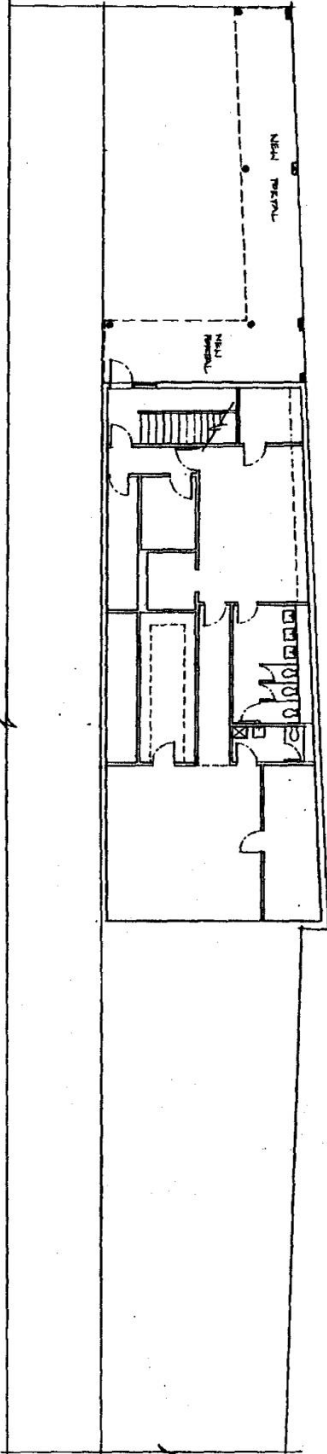
The remodeling is very simple. The San Francisco facade receive only new signage and new storefront frames and glass in the same location under the existing portal. This storefront will be a bronze color, will extend from ceiling to floor, and will provide two 3'-0" by 7'-0" entrance doors. The lower panels of the storefront will be opaque, muted red to match the existing signage. The new signage will be in a typeface that closely matches the first F. W. Woolworth Co. sign. The colors will be a red to match the existing sign and gold.

The Water Street facade will receive the same sign as the San Francisco side, a new bronze aluminium and glass entrance door and an entry portal in the syle of one on San Francisco Street. With these exceptions the existing facades will remain as they are.

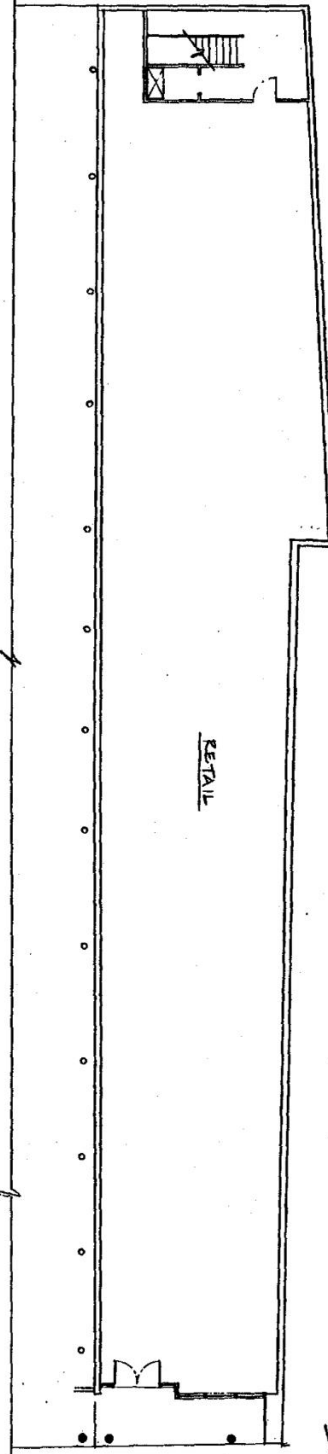


WATER ST

Basement/Planning Plan  
Scale: 1/8" = 1'-0"



FIRST FLOOR PLAN  
Scale: 1/8" = 1'-0"



SAN FRANCISCO ST



FLOOR PLANS

DATE: 06/01/01  
DRAWN BY: RDM

50 EAST SAN FRANCISCO ST.  
SANTA FE, NEW MEXICO

RICHARD MARTINEZ

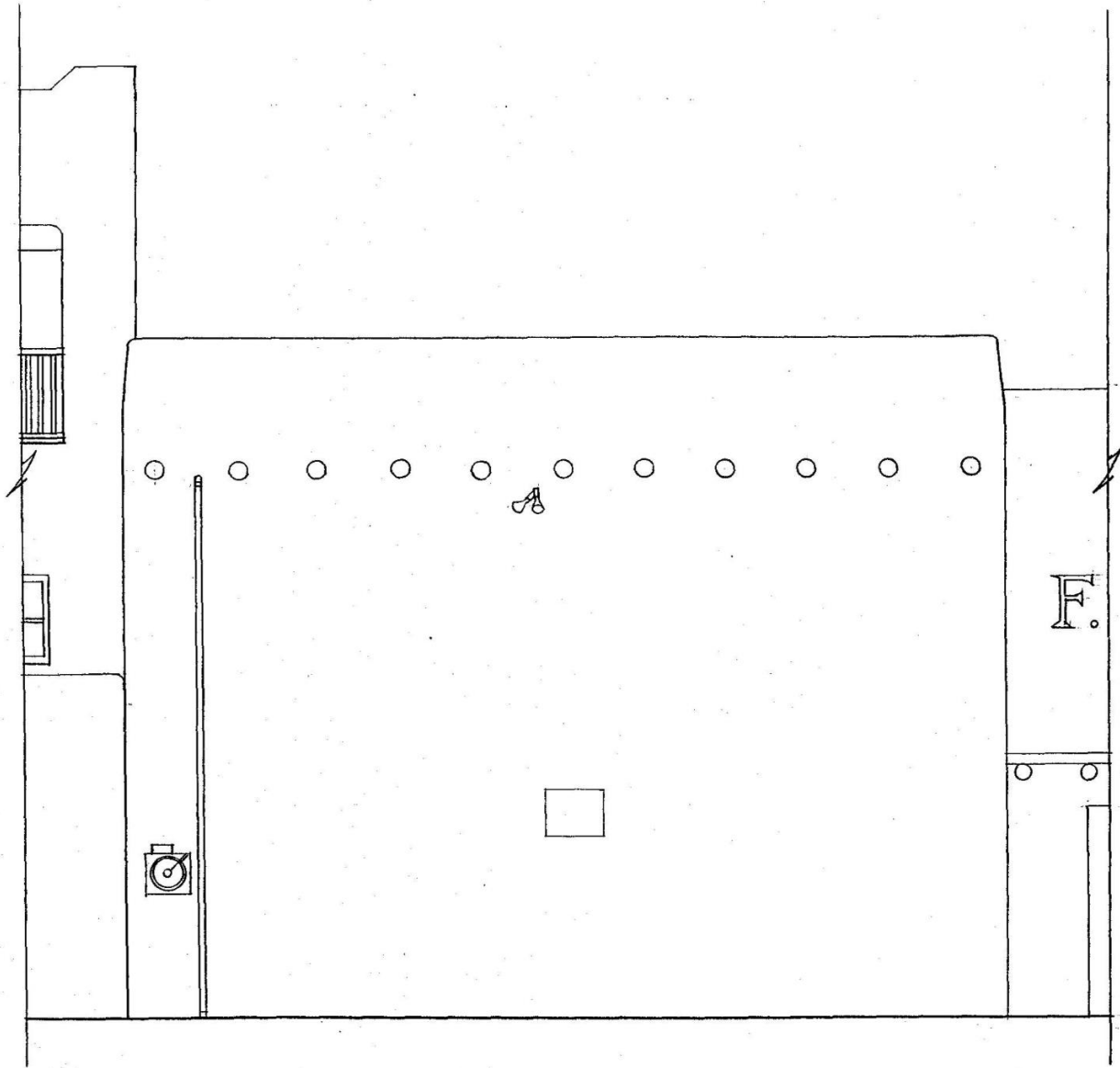
SANTA FE NEW MEXICO 505-989-4958



NORTH ELEVATION

SCALE 1/4" = 1'-0"

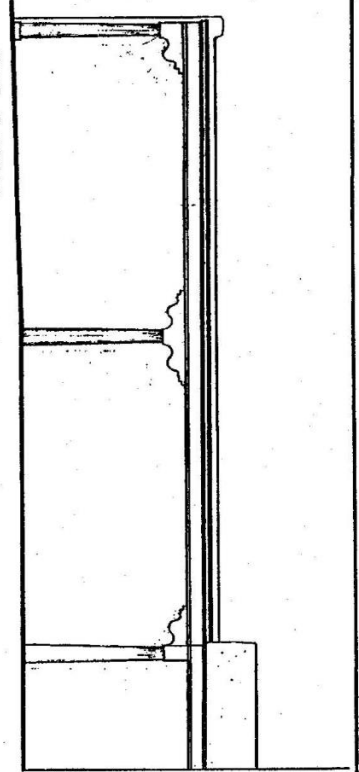
EXISTING ELEVATION  
58 EAST SAN FRANCISCO, SANTA FE  
RICHARD MARTINEZ BUILDING DESIGN



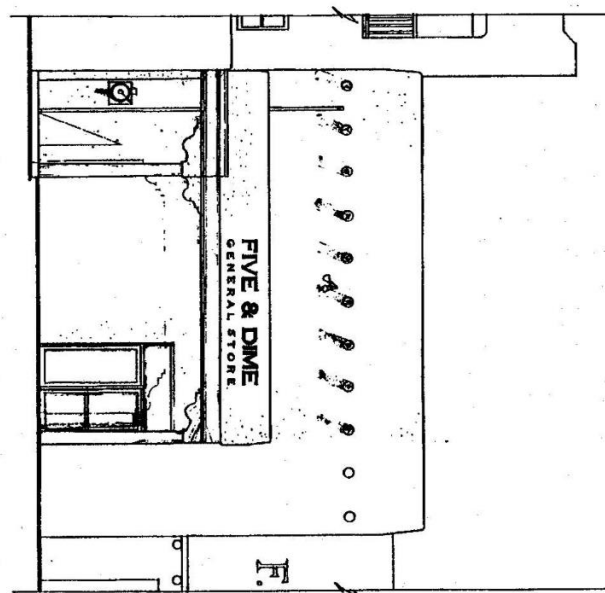
SOUTH ELEVATION

SCALE 1/4" = 1'-0"

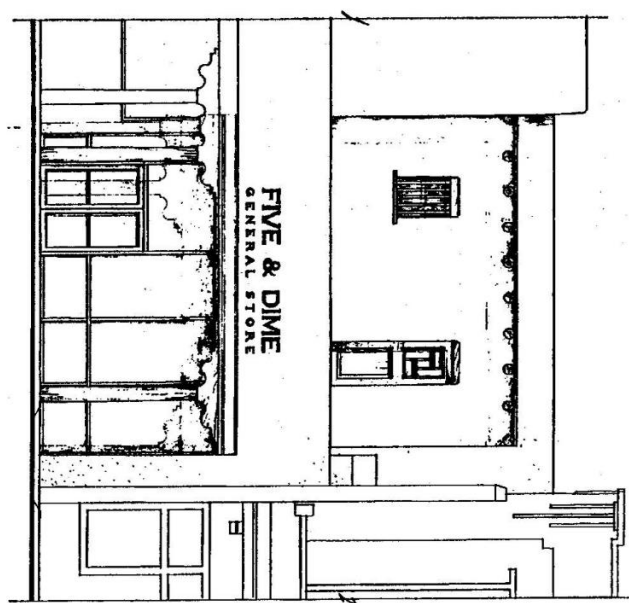
EXISTING ELEVATION  
83 EAST SAN FRANCISCO, SANTA FE  
RICHARD MARTINEZ BUILDING DESIGN



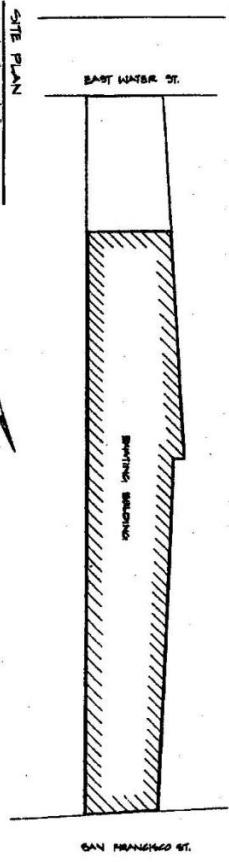
EAST ELEVATION  
SCALE 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



NORTH ELEVATION  
SCALE 1/4" = 1'-0"



SITE PLAN  
SCALE 1" = 50'-0"



PLAZA

SITE PLAN  
ELEVATIONS

DATE: 05/11/11

95 EAST SAN FRANCISCO ST  
SANTA FE, NEW MEXICO

RICHARD MARTINEZ  
SANTA FE NEW MEXICO 505-989-4958



- SAN FRANCISCO STREET FACADE -  
58 EAST SAN FRANCISCO STREET

H-97-147



- WATER STREET FACADE -  
58 EAST SAN FRANCISCO STREET

H-97-147

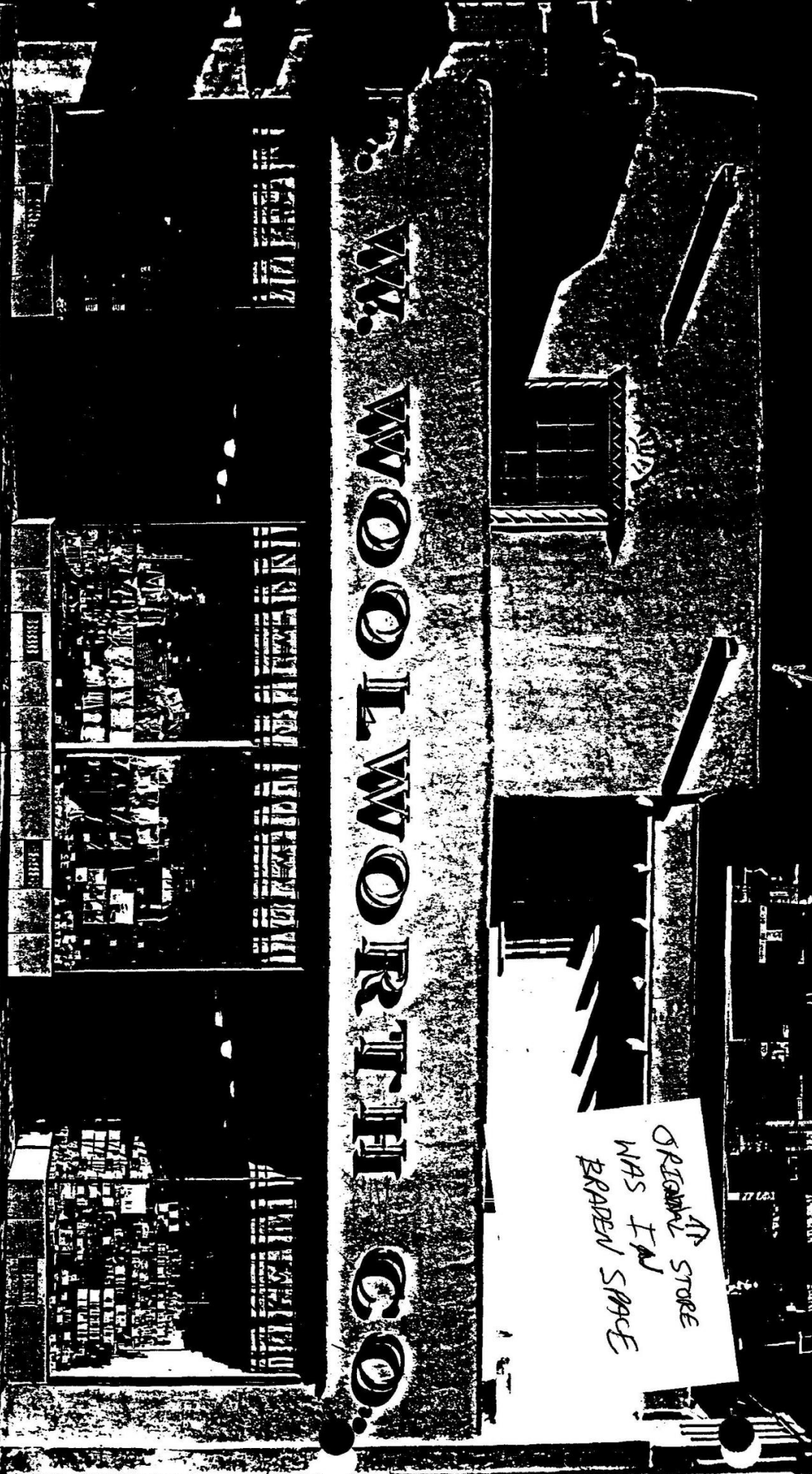
STORE # 1966  
SANTA FE, N.M.  
ORIGINAL STORE 1935

ENLARGED STORE 1939



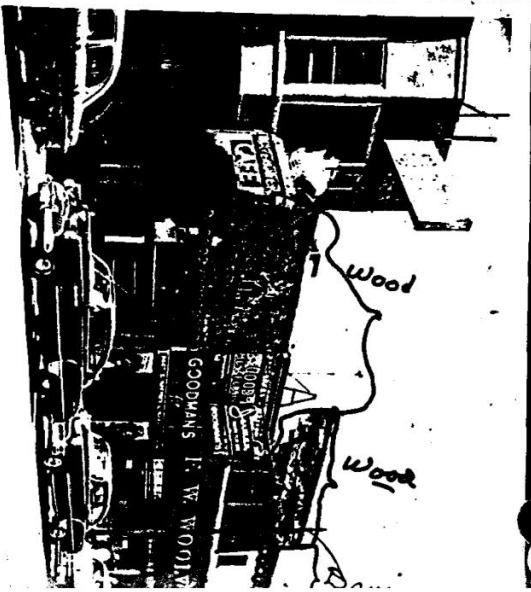
↑ ORIGINAL STORE  
WAS IN  
BRADEN SPACE

W. WOOLWORTH CO.



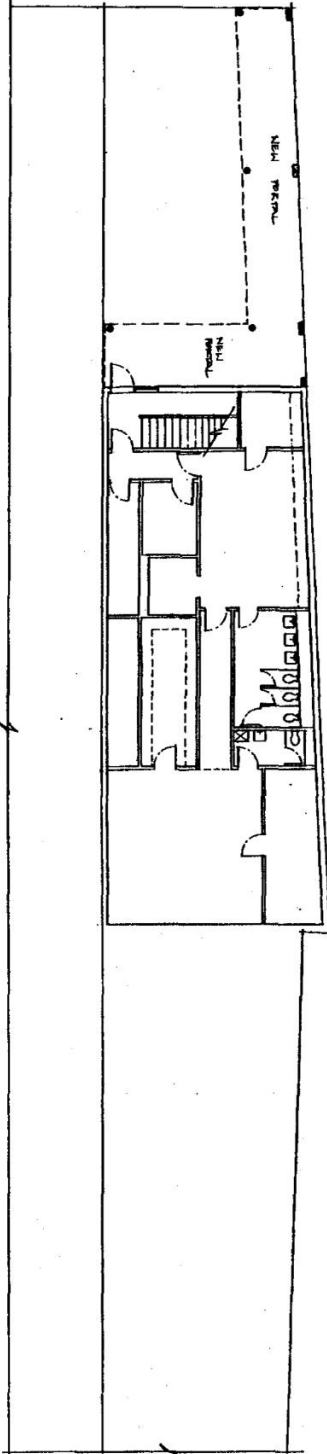


STORE #1966 SANTA FE, N.M.  
1960

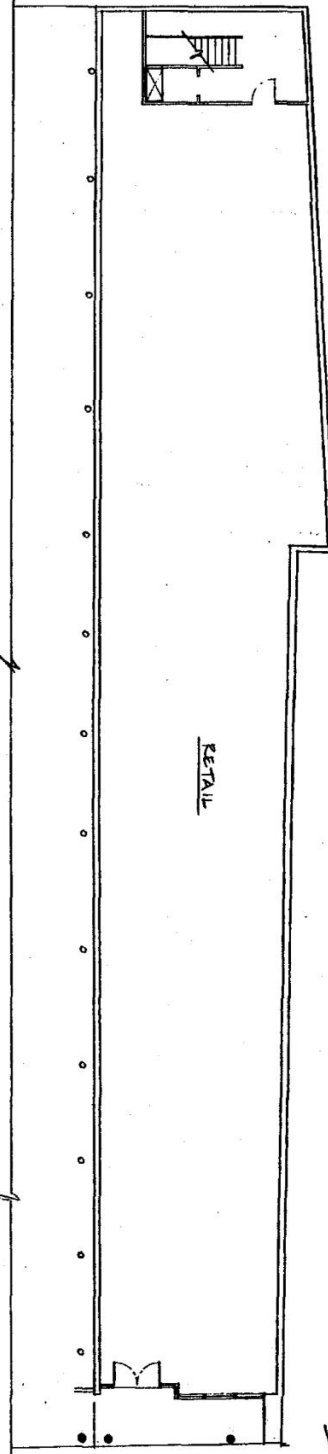


WATER ST.

Basement/Previous Plan  
Scale: 1/8" = 1'-0"



First Floor Plan  
Scale: 1/8" = 1'-0"



SAN FRANCISCO ST.



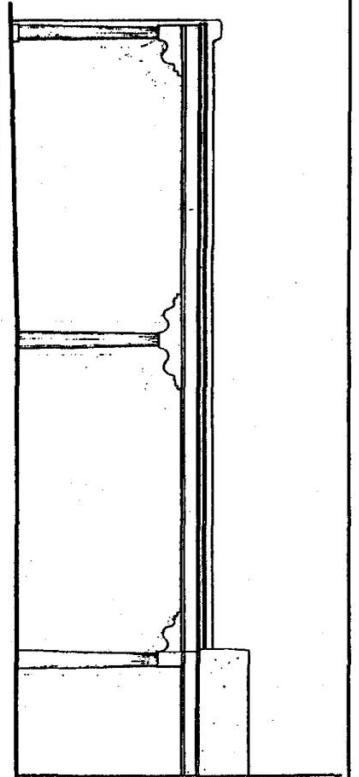
FLOOR PLANS

DATE: 04/19/75  
BY: R.M.

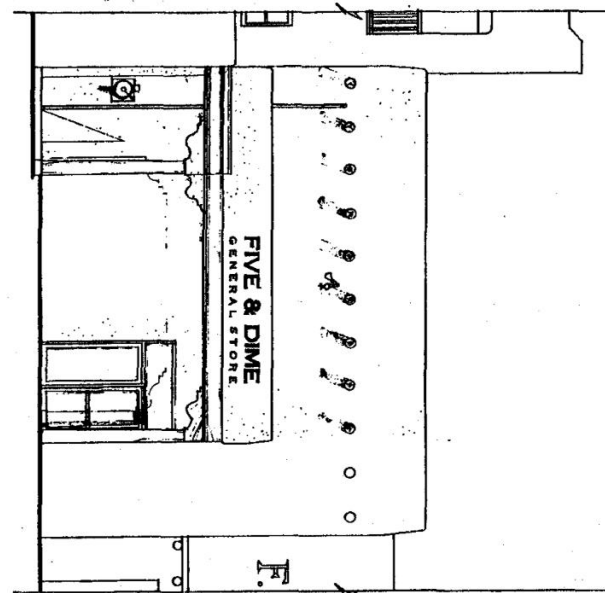
55 EAST SAN FRANCISCO ST.  
SANTA FE, NEW MEXICO

**RICHARD MARTINEZ**

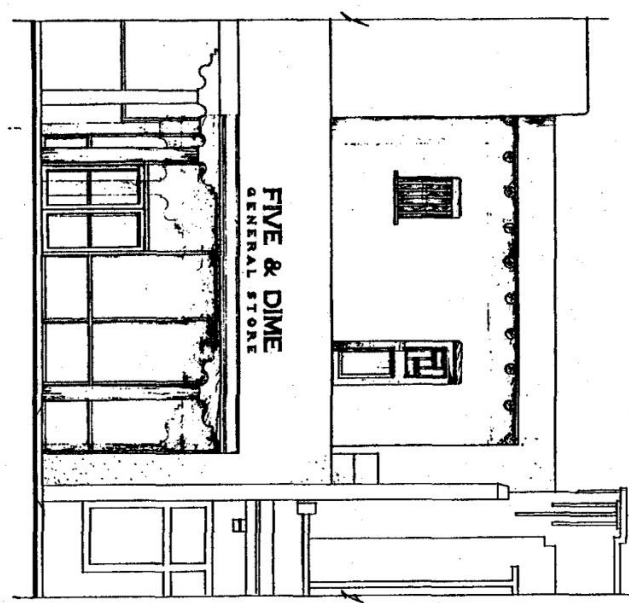
SANTA FE NEW MEXICO 505-889-4858



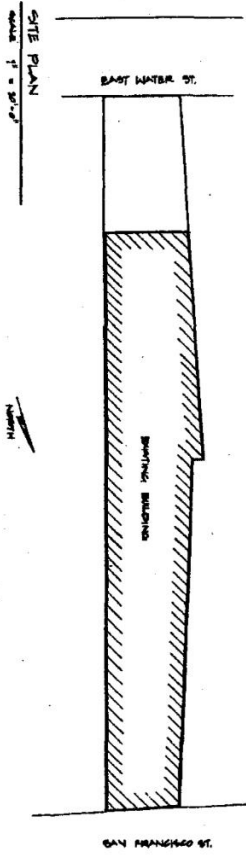
EAST ELEVATION  
SCALE 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE 1/4" = 1'-0"



NORTH ELEVATION  
SCALE 1/4" = 1'-0"



SITE PLAN  
SCALE 1" = 30'-0"

PLAZA

<p>SITE PLAN and ELEVATIONS</p>	<p>DATE: 08.08.07 REV: 08/07/07</p>	<p>65 EAST SAN FRANCISCO ST SANTA FE, NEW MEXICO</p>	<p>RICHARD MARTINEZ SANTA FE NEW MEXICO 505-989-4958</p>
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- WATER STREET FACADE -  
58 EAST SAN FRANCISCO STREET

H-97-147



- SAN FRANCISCO STREET FACADE -  
58 EAST SAN FRANCISCO STREET

H-97-147

EXHIBIT (C)

HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval ( ) Final Approval

Project Location: 50 EAST SAN FRANCISCO STREET

Owner: UTBW L.L.C. Phone: \_\_\_\_\_

Address: 126 EAST DE VARGAS City, State, Zip Code: SANTA FE, N.M. 87501

Applicant: RICHARD MARTINEZ Phone: 989-4958

Address: 210 EAST MARLY City, State, Zip Code: SANTA FE, N.M. 87501

Project Proposal: REMODEL

New Construction: Single-Family Residence ( ) Commercial   
Multi-Family Residence ( )

Other Construction: Demolition ( ) Remodel  Addition ( ) Residential ( )  
Sign(s)  Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? MARY GRESKOMIAK Date? SEPT. 5, '97.

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes ( ) No

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?  
\_\_\_\_\_

What is the proposed height as illustrated in your project? \_\_\_\_\_

Have you met with the appropriate Zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes ( ) No ( )

If yes, who? \_\_\_\_\_ Date? \_\_\_\_\_

**If you have not met with Zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.**

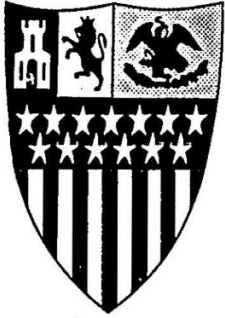
I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

  
Signature of Applicant or Owner

Sept 24 97  
Date



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

Dr. Mike Mier, City Manager

---

Councilors: Art Sanchez, Mayor Pro Tem, Dist. 3      Molly Whitted, Dist. 2  
 Patti J. Bushee, Dist. 1      Frank Montaño, Dist. 3  
 Jimmie Martinez, Dist. 1      Peso Chavez, Dist. 4  
 Cristopher Moore, Dist. 2      Carol Robertson Lopez, Dist. 4

Project description . . : ADD S ELE INC HT TO 32'4", STRFT HT=32'4"  
 Project number . . . . : 98- 10100082  
 Case Number . . . . . : H-98-78  
 Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
 Application date . . . : 03/25/98

PROJECT LOCATION(S) : 58 E San Francisco St  
 60 E San Francisco St

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen      P.O. Box 908  
 Santa Fe, NM 87504      (505) 9889789

AP- Lloyd & Tryk Architects      301 N. Guadalupe  
 Santa Fe, NM 87501      (505) 9889789

**BOARD ACTION**

This is to certify that the Historic Design Review Board at their meeting on May 26, 1998, acted on the above referenced case. A preliminary, conceptual approval was granted. On San Francisco Street, the first story portal must be deleted and the second-story portal shall be further detailed. The glazing on both Water and San Francisco Street elevations shall be reduced and detailed with horizontal and vertical divisions.

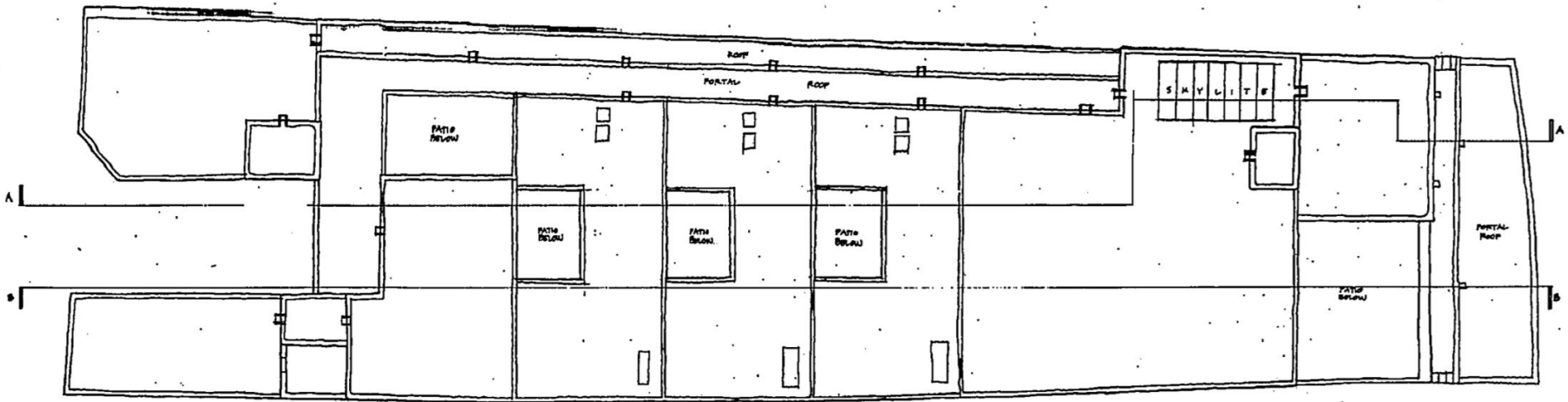
For further information please call 984-6808.

Sincerely,

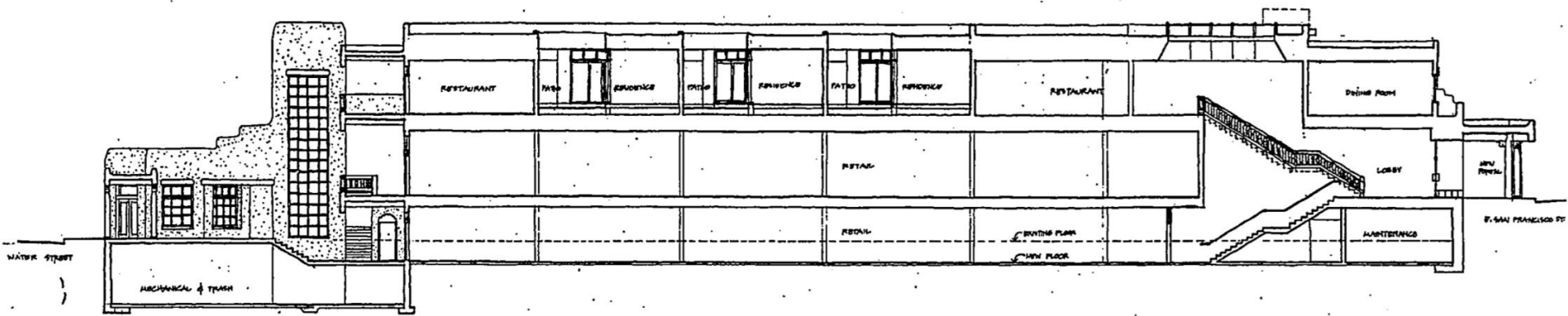
Heather L. Pierson  
Historic Districts Case Planner

Note: BUILDING

PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.



1  
A-4  
ROOF PLAN  
1/8" = 1'-0"



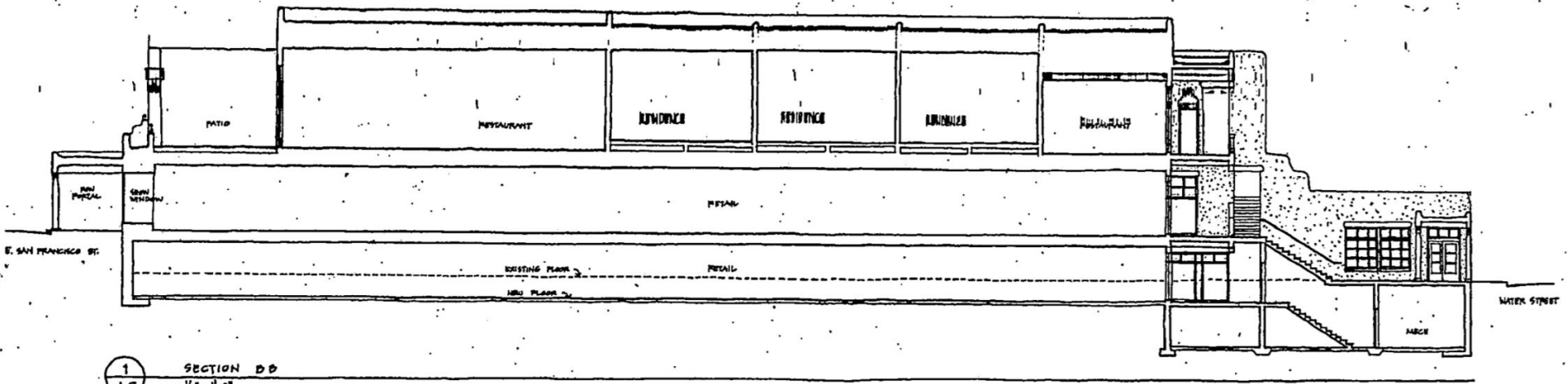
2  
A-4  
SECTION AA  
1/8" = 1'-0"

previous - 4/14/98

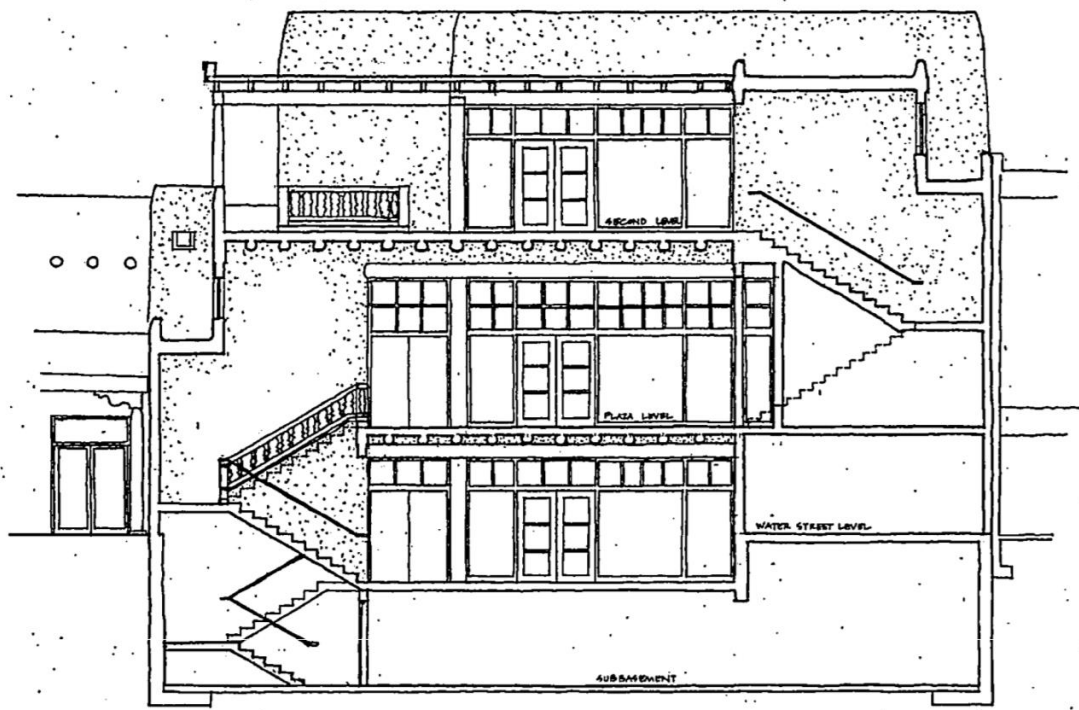
McHugh-Lloyd-Tryk  
ARCHITECTS  
100 CHANDLER BLDG  
SANTA FE, N.M. 87501  
TELEPHONE 505-988-5727 FAX 505-988-1144

WOOLWORTHS  
SANTA FE  
NEW MEXICO

Drawn By	20 MAR 1998
Checked By	
Job Number	4714
Sheet Title	ROOF PLAN SECTIONS
Sheet No.	A-4



1 SECTION DD  
1/4" = 1'-0"



2 SECTION CC  
1/4" = 1'-0"

McHugh & Lloyd, Trk  
 ARCHITECTS  
 1000 BAY STREET, SUITE 100  
 SAN FRANCISCO, CALIFORNIA 94109  
 TEL: 415.774.1111 FAX: 415.774.1112

WOODWORTH'S  
 SANTA FE  
 NEW MEXICO

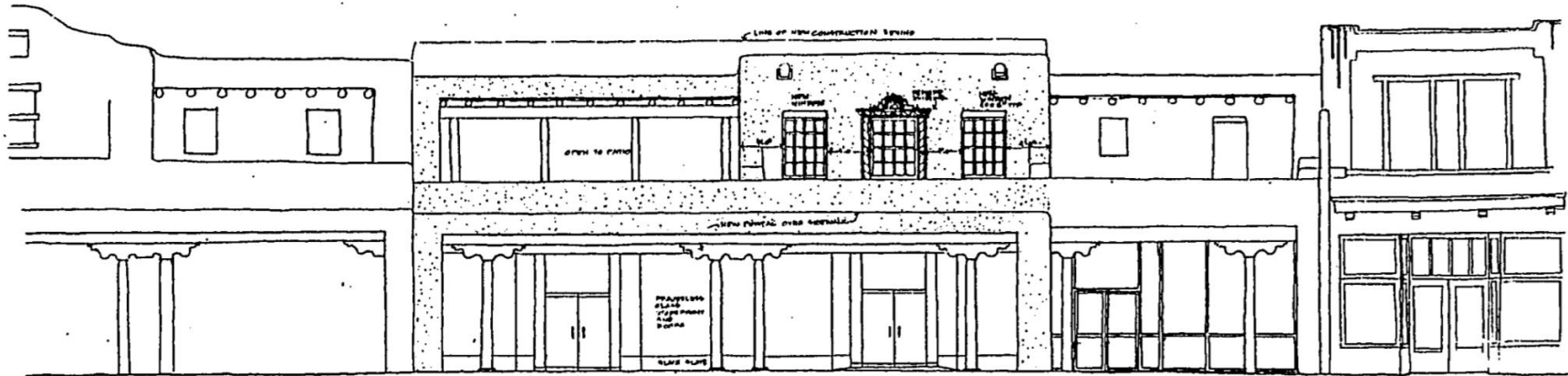
Date: 30 MAR 1996  
 Drawn by:  
 Checked by:  
 Job Number: 9714  
 Sheet Title: SECTIONS  
 Sheet No.:

A-5

WOODWORTH'S - ALIAD



1 WATER STREET ELEVATION  
 1/4" = 1'-0"



2 PLAZA ELEVATION  
 1/4" = 1'-0"

previous 4/14/98

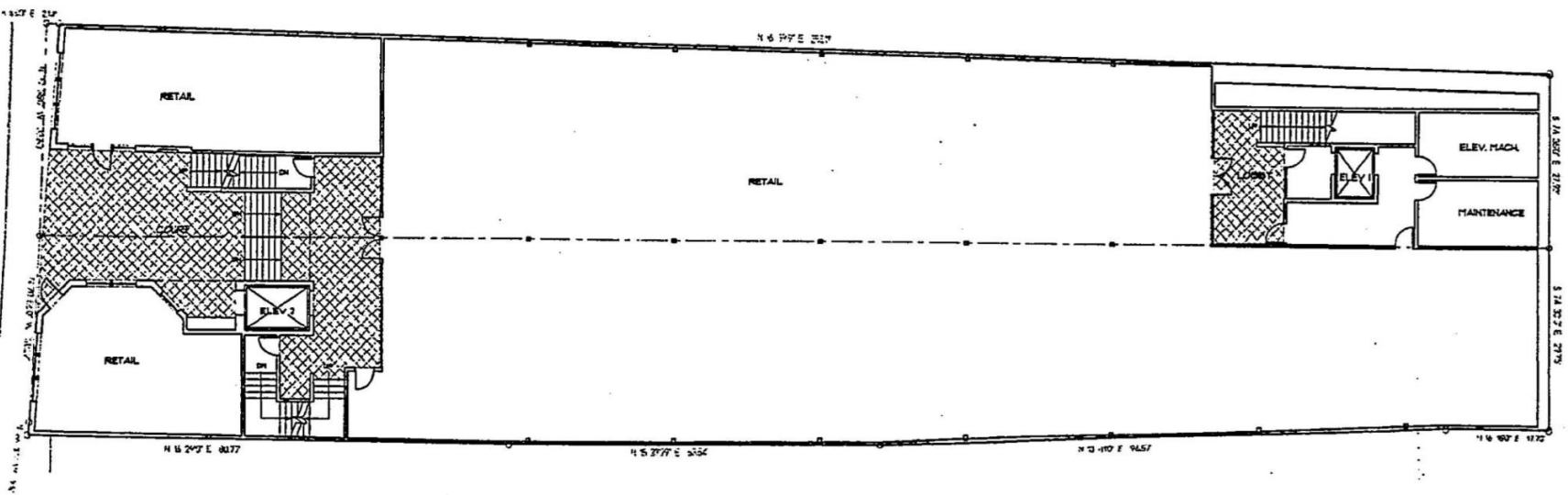
McHugh Lloyd Trisk  
 ARCHITECTS  
 100 N. CHAMBERLAIN, SUITE 100  
 SANTA FE, NEW MEXICO 87501  
 TEL: 505/833-7777 FAX: 505/833-7778

WOOLWORTHS

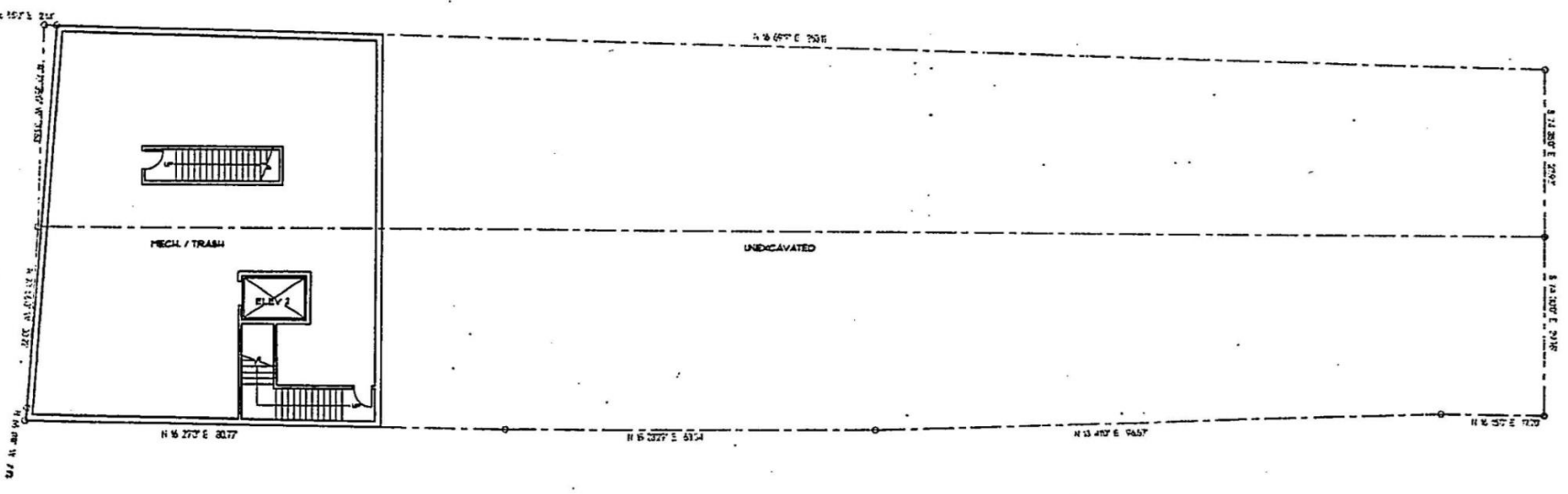
SANTA FE, NEW MEXICO

25 SHEETS  
 SHEET NO. 1714  
 ELEVATIONS

A-3



WATER STREET LEVEL FLOOR PLAN

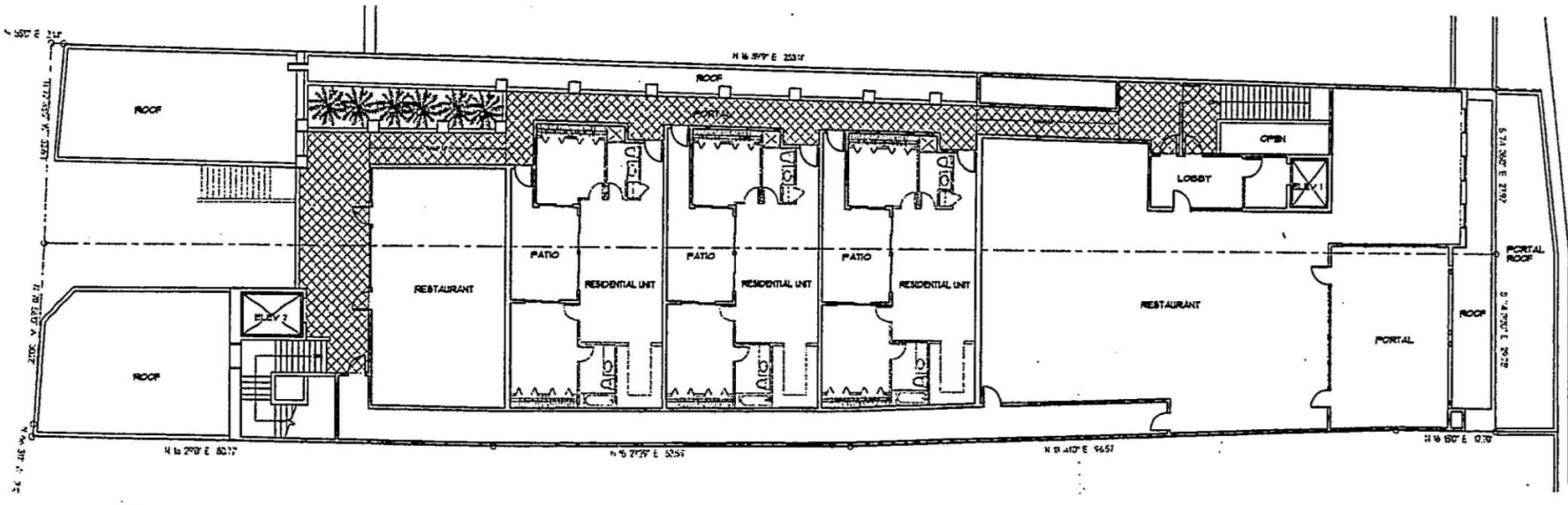


SUB-BASEMENT LEVEL FLOOR PLAN

Lloyd and Tryk  
 ARCHITECTS  
 344 NORTH CALIFORNIA AVENUE, SUITE 201  
 SANTA FE, NEW MEXICO 87501  
 TELEPHONE: 505-833-1146 FAX: 505-833-1144

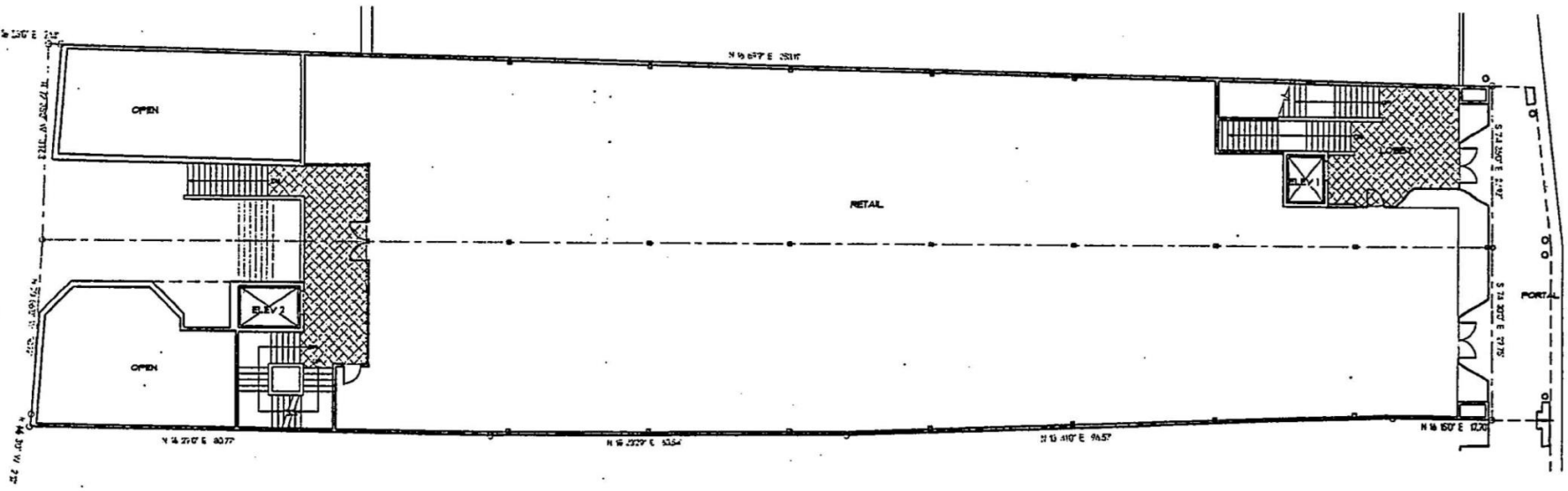
60 EAST SAN FRANCISCO STREET  
 SANTA FE  
 NEW MEXICO

Date	15 MAY 1988
Series	
Drawn by	
Checked by	
Job Number	5714
Scale	
Sheet No.	FLOOR PLANS
Scale	1/8" = 1'-0"
Drawn by	



UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"



PLAZA LEVEL FLOOR PLAN

1/8" = 1'-0"

Lloyd and Tryk  
 301 NORTH CALIFORNIA STREET, 9TH FLOOR  
 SAN FRANCISCO, CALIF. 94104  
 TELEPHONE: 375-1881 FAX: 375-1884-1184

60 EAST SAN FRANCISCO STREET  
 SANTA FE  
 NEW MEXICO

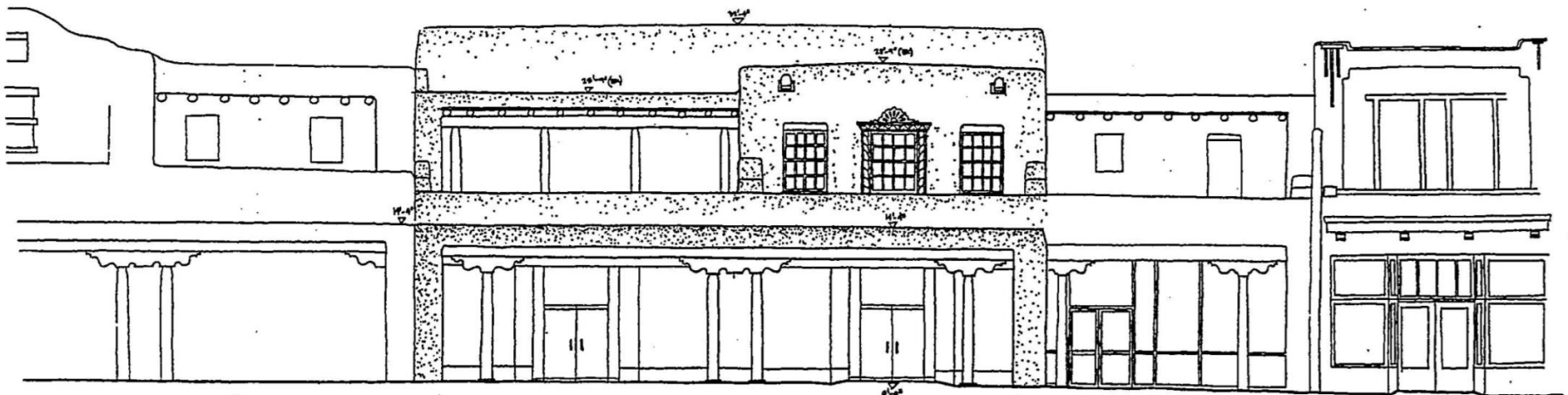
Date: 13 MAY 1988  
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 Checked by:  
 Job Number: 9714  
 Title: FLOOR PLANS

1/8" = 1'-0"  
 A-2



WATER STREET ELEVATION

1/4" = 1'-0"



PLAZA ELEVATION

1/4" = 1'-0"

Date: 2 MAY 1978

Sheet:

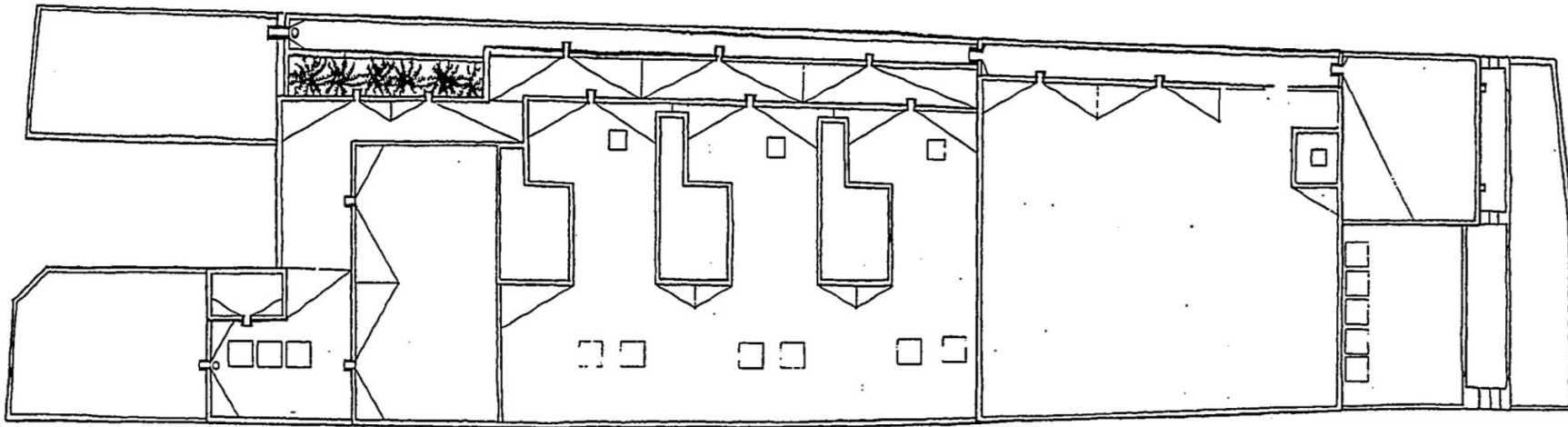
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Job Number: 9114

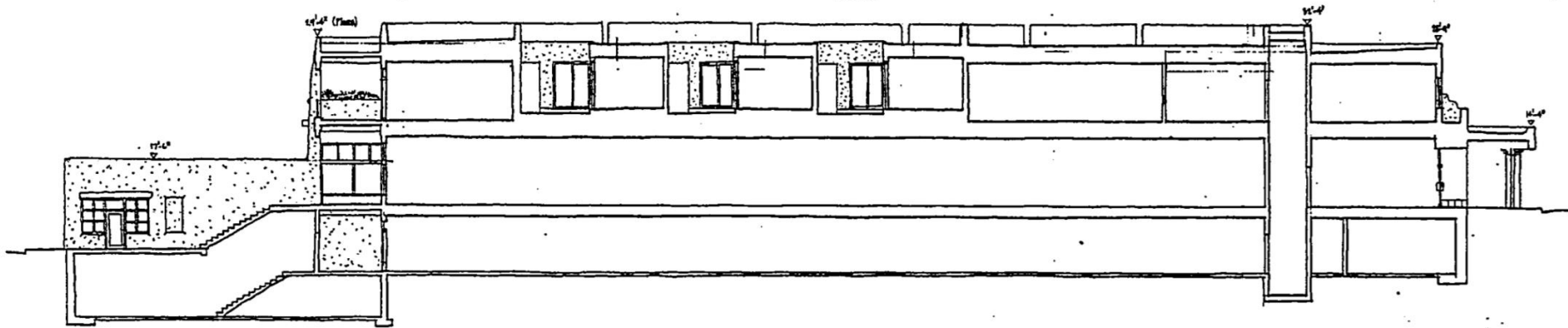
Sheet Title:  
 ELEVATIONS

Scale:



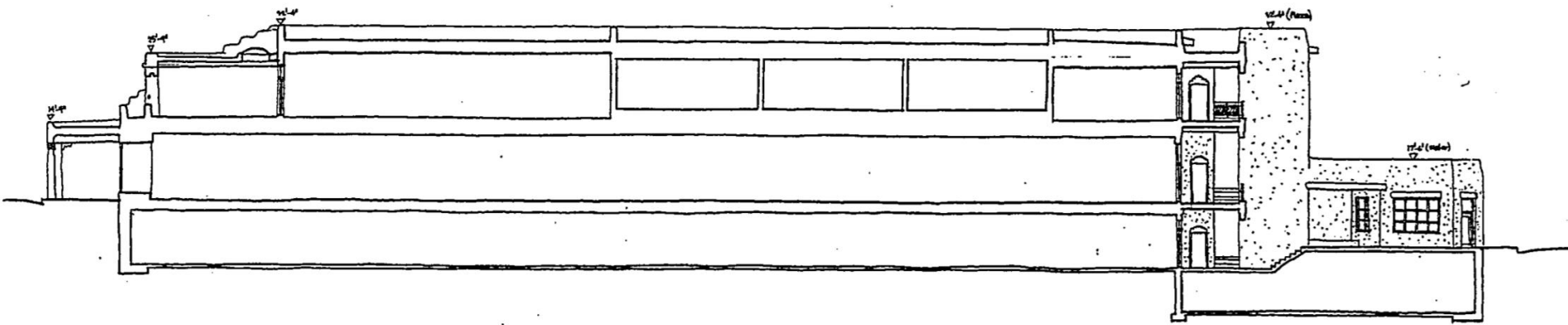
ROOF PLAN

1/8" = 1'-0"



SECTION LOOKING WEST

1/8" = 1'-0"



SECTION LOOKING WEST

1/8" = 1'-0"

McHugh-Lloyd-Tryk  
ARCHITECTS  
2014 CALIFORNIA STREET, 2ND FLOOR  
SAN FRANCISCO, CALIF. 94109  
TELEPHONE 392-8878

**60 EAST SAN FRANCISCO STREET**

NEW MEXICO  
SANTA FE

Date: 15 MAY 1946

Drawn by:

Checked by:

Job Number: 9714

Sheet Title: ROOF PLAN SECTIONS

Sheet No: A-4







ADMINISTRATIVE  
OFFICES

↑  
PUSH



# City of Santa Fe, New Mexico

# memo

DATE: 12 May 1998  
TO: Historic Design Review Board Members  
VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
FROM: Heather L. Pierson, Acting Historic Preservation Planner *HP*

## ITEM & ISSUE:

CASE #H- 98-78

ADDRESS 58-60 East San Francisco Street

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of 4/14/98 HDRB
- Other Staff Height Calculations

### APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

## STAFF RECOMMENDATION:

Staff acknowledges the standards for architectural design have been met. Relative to height, the proposed building's height on East San Francisco Street is within the allowable height of 32'4" (Section 14-70.20 SFCC 1987). The one-story massing at Water Street is within the allowable height of 24'5" (Section 14-70.20 SFCC 1987). Staff defers to the HDRB as to whether the applicant has appropriately addressed the concerns raised at the last meeting (Section 14-70.12F SFCC 1987).

## BACKGROUND & SUMMARY:

The applicant has provided revised illustrations for preliminary review of the following renovation treatments at the subject property: the addition of height and associated finished floor modifications, an addition on the south elevation, the addition of a portal over city right-of-way as a continuation of the existing portales along East San Francisco street, a storefront remodel on the north elevation, the insertion of two windows on the second story of the existing north elevation, and associated interior renovation treatments. This case was postponed for consideration by the HDRB at the April 14, 1998 meeting due to concerns with the proposed design of the Water Street façade and the San Francisco Street portal, and further postponed to this meeting at the applicant's request. The project is not called 60 East San Francisco Street.

**58-60 East San Francisco Street**  
**Case #H-98-78**  
**Page 2 of 2**

In addition to the city's New Mexico Historic Building Inventory form, the applicant has submitted the following information:

Woolworth's was opened in a small brick building on the plaza in 1935. In 1939, Woolworth's expanded eastward and combined the existing building with an adjacent building. John Gaw Meem designed a Spanish Pueblo Revival façade at this time. In 1965, Woolworth's expanded further to the east and demolished an existing building to make way for an addition. At this time, the storefront designed by Meem was demolished and a new recessed storefront was created. The recessed storefront aided in the creation of a portal. In 1967, Woolworth's declined participation in the plaza portal construction citing the existing portal. [Historic photographs documenting this evolution will be provided at the meeting]

The applicant states that he would like to return the Woolworth storefront to the same character as that of the 1939 John Gaw Meem design.

The allowable height on East San Francisco Street is 32'4" and Water Street is 24'5" (Section 14-70.20 SFCC 1987). The applicant proposes raising the parapet height to 32'4". The natural grade slopes along the line of the building from San Francisco Street to Water Street. The approximate change in grade is 8 feet. On Water Street, the applicant has proposed one-story massing at the street, which will eventually step upward to meet the second and third levels. A model will be provided at the meeting to illustrate massing and the proposed building's relationship with other buildings in the streetscape.

The applicant has addressed the concerns of the HDRB relative to the architectural character of the Water Street façade and the placement of the elevator shaft on that elevation. No changes have been made to the San Francisco Street façade with the exception of the insertion of skylights in the second-story portal.

#### 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations;

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)



Present and sworn was Richard Martinez, 210 E Marcy, who said he was happy to bring a pitched roof home to the Board for review. He shared another rendering with the Board.

Mr. Earnest asked if this project was in lieu of the another studio which had been planned for the property. Mr. Martinez explained that the owners of the property had married, and that they would only be building this studio, and not the one which had been previously submitted to the Board by Judy Wright.

Mr. Earnest asked about the glass doors on the south elevation. Mr. Martinez said that they were proposing to use a large rolling wooden door, adding that it was under a 15 foot deep portal. He explained that the artist using the space has very large pieces to get in and out.

Mr. Earnest said the three windows on the west elevation did not fit into any vocabulary he had, saying it was not northern New Mexico style, but that he liked the idea.

Ms. Rios asked if there was a window above the porch. Mr. Martinez explained that the drawings show a vent at this location.

Mr. Padilla asked about the skylights. Mr. Martinez said they would be non-venting, flat, glass skylights. Mr. Padilla asked if they could be seen from the street, and Mr. Martinez said he did not believe they would be.

Mr. Padilla asked about the sliding door. Mr. Martinez said it slid in one direction, and remained under the portal. In further response, he said the door was one panel.

There were no speakers from the public regarding this case.

Ms. Rios moved for approval of Case #H-98-77 as submitted. Mr. Earnest seconded the motion, which passed by unanimous voice vote.

13. **Case #H-98-78. 58-60 East San Francisco Street (Woolworth's). Downtown and Eastside Historic District. Non-Contributing. Lloyd & Tryk Architects, agents for Gerald and Kathleen Peters, request a preliminary review of a renovation to include increase height to 32'4" at center of building, additions on the south elevation, the insertion of**

**two windows and storefront remodel on the north elevation, associated renovation treatments. (Allowable Height = 32'4")**

Ms. Pierson presented the staff report [Attached as Exhibit R.] She added that several staff members, including zoning officials, had met on the site. She said that the proposed project was within the allowable height. She said that small changes may need to come back to the Board, but that the overall concern related to height had been addressed.

Ms. Pierson reminded the applicant that archeological reconnaissance was required.

Present and sworn were Allan Baer and Wayne Lloyd, 301 N Guadalupe. Mr. Lloyd said they were delighted to be working on a project for the Plaza, and understood the importance of the building. He said they had done a fair amount of research related to the history of the building.

Mr. Baer displayed some photographs, saying the earliest was from 1897 or 1898, with the latest photo being from 1965. He said most faced up San Francisco Street toward the Cathedral. He said the Hilltop Fur Company built a two story brick building in 1892, pointing out the iron cornices and a large glass storefront. He described other features in the photographs, saying one showed the street in 1900, pointing out the enormous stone work on a building down the street. He said the building changed hands sometime after the turn of the century with a tin warehouse on Water Street. He said in 1939 two of the buildings were combined with a new front façade.

Mr. Baer provided more recent history regarding ownership, and pointed out several changes which had occurred to the building over the years. He concluded by displaying a photo of the existing building to show how the two story Plaza building impacts San Francisco Street.

Mr. Lloyd displayed a model of the project, and he and Mr. Baer pointed out different details, including streets, windows, entries, and the portal.

Mr. Baer pointed out the portion of the building which would not be increased in height over the existing parapet, saying that it would not be increased in height except where they saw the story poles on the site visit: 15 feet behind the original building.

Mr. Earnest commented that this was a great challenge to maintain the streetscape. He said he was the draftsman for the portal which was built in the 1960's. He said Mr. Meem had not known the best place to end the portal because they did not want it to be too much. He said he had a problem with the portal because of the streetscape. He said that the photos show that the entrance to the building was always open.

Mr. Earnest also expressed concern about the upstairs portion of the building. He said he had no problem with the two openings, but the portal seemed to unbalance the architecture of the building. He mentioned the skylights.

Mr. Earnest said the massing and stepping of the one-story was handled nicely, but there were details which they should talk about. He again questioned the design of the second story portal.

Mr. Thompson said he thought the whole building was handsome with the exception of the elevator shaft, which sticks out like a sore thumb. He noted that the applicant had said the windows on Water Street would be divided. He asked if the proposed height would be lower than the buildings to the east and Mr. Tryk agreed. Mr. Thompson commented that the only building on the Plaza which is taller than their proposed building is La Fonda. Mr. Baer agreed, saying La Fonda was 7 feet taller than the proposed building.

Mr. Padilla asked if the story poles they had seen were within the allowable height. Ms. Pierson said they were within the allowable height of 32 feet, 4 inches on the Plaza side. She said that because of the 8 foot change in grade, the Water Street side was well below the allowable height of 24 feet, 5 inches. She explained that the story poles showed the 32 foot, 4 inch height on the Plaza side.

Mr. Padilla said he did not like the portal, and where it stops. He said it completely changed the San Francisco Street elevation, and thus the streetscape. Mr. Lloyd said he thought Mr. Meem's original intent was to have the portal this way, and acknowledged Mr. Earnest's personal experience.

Mr. Padilla expressed concern about the outdoor dining area, saying it was heavy and dark.

Mr. Baer said that if they removed the portal they would have a storefront, not under a portal, which would require them to use 30 inch glazing. He said this was a serious issue.

In response to the Chair, Ms. Pierson said that the glazing could not exceed 30 inches if it were not under the portal, unless the applicant applied for and got an exception from City Council.

Mr. Thompson said he thought the portal absolutely should be there, saying it was a much more natural place to have the portal end as was proposed than what exists.

Ms. Rios said it was clear that the San Francisco side did not have as big an impact as the Water Street side. She questioned if a model without a portal could be provided, saying she was unsure about the portal, and this would help her in her determination. She said there would now be a building on the Water Street side where there has been parking. She commented that she wished the building was not so tall, saying the story poles appeared taller than anything else.

Mr. Lloyd said that they had not wanted to completely fill it in.

Mr. Thompson asked the distance between the support poles, and Mr. Lloyd said they were 7 feet. Mr. Thompson asked if there could be several of them, rather than just one to make it look more like a portal.

Mr. Thompson commented that the dining terrace on the San Francisco looked dark and suggested raising the parapet and placing skylights there. Ms. Pierson said they could not be visible from San Francisco street.

Chair Seth called a brief recess to give the public the opportunity to review the renderings and the model.

Chair Seth commented that she was surprised there were not more members of the public here to comment on such a significant project on the Plaza. She said it was helpful to get feedback from the public.

Present and previously sworn was Richard Martinez, 210 E Marcy. He said that the columns in front of their building were not symmetrical because of the location of the storefront. He said he liked the way the façade steps back on

Water Street, but that there was a lot going on and it seemed like a cheap interpretation of the façade in this area.

Chair Seth noted for the record that Mr. Martinez was the architect for the five and dime project next door.

Ms. Rios asked Mr. Martinez what he thought the impact of the proposed porch was on the storefront of the five and dime. Mr. Martinez said he had not gotten feedback from the owners in this regard, but architecturally, he would prefer that it not be extended, because it visually places their storefront off the street. He said that the portal narrows at the end, which is comfortable.

Present and sworn was Sara Melton, 408 Sosoya Lane. She said visually, the portal helps the façade. She said it would be helpful if the second story façade of the building to the west was shown on the model, because it affects the balance of the portal. She said it gave a reason for extending the portal as far as shown. Chair Seth noted that it was shown on the elevation drawings.

Ms. Melton expressed concern with the change of the pattern of the east portion of second story façade, saying it changes the pattern and balance, which is a problem. She said even though the parapet is 25 feet behind the front façade parapet, it still forms a very definite line when viewed from the other side of the Plaza.

Ms. Melton said buildings which have second story railing and balconies are usually territorial style, and that post and lintel pueblo style portals on second and third stories were inventing a new architectural vocabulary. She noted this was proposed for the Water Street side. She asked if a design change to have them more like balconies would be better.

Ms. Melton continued by questioning the need for the stepping on the east side of the Water Street parapet. She said the fabric on Water Street was tenuous and it was difficult to know what will work today and tomorrow.

Mr. Thompson said that the Packards building and La Fonda have lots of second story open areas which are very much the same as what was being proposed. Ms. Melton disagreed.

Present and sworn was James Greer, 520 Calle Codail. He asked if they were asking for a variance for the height on Water Street at the elevator shaft.

Mr. Lloyd said they were not. Mr. Greer asked for elaboration, and the Chair explained that it was within the allowable height. Mr. Greer said the elevator shaft was higher than the building. Ms. Pierson added that elevator structures are not included in the height calculations.

Mr. Greer said the front of the building did conform with Santa Fe style or the rest of the buildings in the area, and was more of a new style. He asked the architect to address this. He began questioning the architect about the number of parking spaces. The Chair explained that this was not an issue for the HDRB to address and suggested he contact other staff.

Mr. Greer asked the applicant again how many residences there were and where they would park. Mr. Lloyd said there were four and showed the location of parking. In further response to Mr. Greer, Mr. Lloyd explained that they would put it out for regular City trash service.

Mr. Greer said trash collection is really a problem downtown. Chair Seth again explained this was not under this Board's purview, and suggested that the speaker contact his City Councilor to note this concern.

Present and sworn was Raymond Herrera, 379 Hillside Avenue, who said he had concerns with the streetscape and wished it did not have to be addressed piecemeal. He said he objected to having an open air restaurant on the Plaza.

Mr. Herrera said the Water Street side had been going through changes for years even though it was becoming as important to the City as San Francisco Street. He said years ago, no one had focused on the architecture on Water Street. He said the area to the back side could be used for parking or loading and was becoming more hodge podge. He said they could set a precedent for adjacent buildings if they allowed this proposal. He said he hoped they could do something better.

Present and sworn was David Tighe, Box 92228, who thanked the architect for providing the history on the building. He said he was in favor of the front portal, saying it brought continuity to the street and that he had always thought the Plaza was never finished because the portal did not extend on the entire San Francisco Street side.

Mr. Tighe said that he had studied John Gaw Meem's and Nusbaum's buildings, giving two examples which had second story outdoor seating areas.

He acknowledged Mr. Herrera's point of view, saying that the industrial look to Water Street brings a pueblo revival style to the street which he liked. He questioned if they had considered a lift rather than a elevator shaft, saying that the addition of portal posts and vigas would keep it looking very industrial.

The applicants declined cross examination of each speaker.

Mr. Lloyd asked the Board to remember that they had not conducted as much research for the Water Street side, agreeing that it had an industrial look and that people thought of it as hodge podge. He said it was hard to focus on the style, considering the changes which had occurred and asked direction from the Board.

Mr. Lloyd said he had heard comments both for and against the portal as proposed, but that they met the requirements of the ordinance.

Chair Seth noted that the ordinance also regulates the streetscape, and that this was an issue which was up to interpretation.

Mr. Lloyd said there were numerous second story pueblo portals or deck areas.

Chair Seth asked for comment from the Board, especially related to the Water Street side and the portal on San Francisco.

Mr. Thompson said he was interested in Mr. Herrera's comments about Water Street, saying that an interesting change had taken place on Water Street, saying that the only industrial look left between Sandoval and Shelby is the back of the subject property. He supported the proposal with the exception of the elevator shaft. He said that he thought the proposal for the Water Street side fit in better than what exists.

Chair Seth noted that they had received a letter from Greer Enterprises, which she read for the record. [A copy is attached to these minutes as Exhibit S.]

Mr. Padilla said he was not sure he agreed that the portal should be built as proposed, but that he liked the setback on the back of the building. He said it was obvious that something should be done for the elevator shaft. He said that the comments regarding how refuse would be contained were good comments.

He said that the symmetry of portal on the second floor San Francisco side should be maintained in some way.

Ms. Rios admitted that her mind was all jumbled up after hearing all the comments. She expressed concern that the building needed to work well with the five and dime next door. She said that the pictorial history indicated that the storefront changed as ownership changed, and asked if this proposal was continuing that. She said that she had not made up her mind about the porch.

Ms. Rios noted she had grown up on Water Street, saying that she had never considered it industrial, but it was the exit for the buildings. She said it was very different than it was even 15 years ago. She agreed that the only building which remained as it was when she was growing up was the back of Woolworth's. She asked that this side be kept simple, with minimal impact.

Mr. Earnest said he had nothing to add.

Chair Seth said she was also concerned about the skylight. Mr. Lloyd said they would address this.

Chair Seth noted that the applicant was requesting preliminary approval, noting that they would be reviewing the project again. Mr. Earnest said he wanted assurance that the concerns would be addressed.

Chair Seth asked if the applicant would be willing to have his case postponed while they address the issues. Mr. Lloyd said he would rather have conditional, preliminary approval than to have the case postponed. He said their willingness to work on issues had been proven in the past, and that he had kept a list of the concerns. He acknowledged that he did not know what to do with the portal.

Ms. Pierson said that administratively, it would be better to have the case postponed, saying there could be a conflict later about what was acceptable.

Chair Seth said that there were major changes to be made to the design of the Water Street side. Mr. Lloyd said that preliminary approval did not require them to be committed to much of anything related to the changes which had been discussed.

Mr. Earnest moved to postpone Case #H-98-78 until May 12, 1998. Ms. Rios seconded the motion, which passed by majority voice vote, with Mr. Earnest, Mr. Padilla, Ms. Rios and Mr. Earnest voting in favor of the motion, and Mr. Thompson voting against the motion.

13. Case #H-98-79. 521 Halona Street. Downtown and Eastside Historic District. Contributing. David M. Tighe/Tighe Const. Inc., agent for Fred Jahnig and Harvey Delano proposes wholesale window and door replacement.

Ms. Pierson presented the staff report [Attached as Exhibit T.]

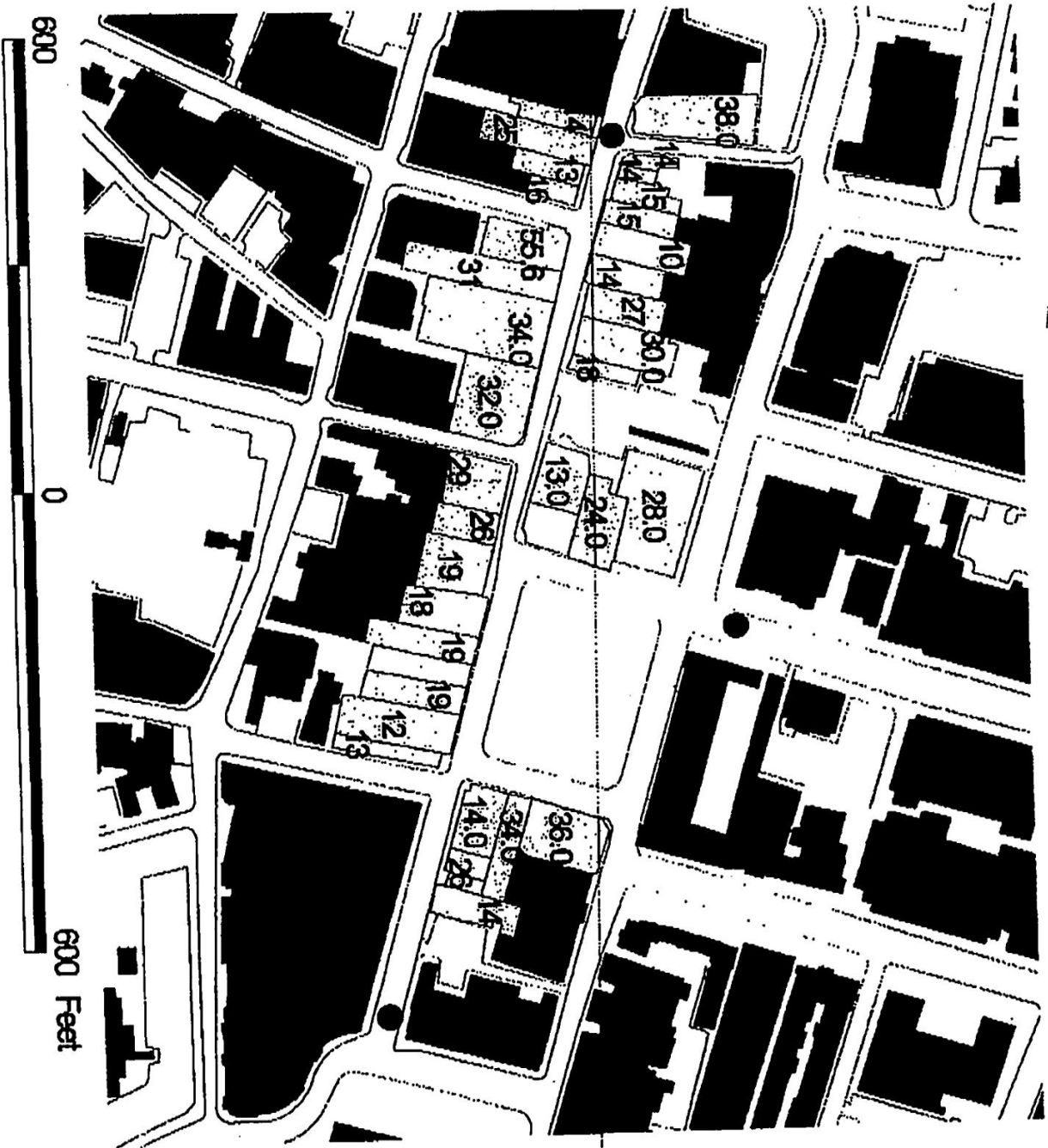
Present and previously sworn was David Tighe, P.O. Box 9228. He said he had spent years in Santa Fe dealing with this problem, saying they had rebuilt 80 sashes and window frames at #2 Cerro Gordo. He said they would only be replacing the window sashes and door panels, with simulated divided lites in the same window patterns. He said the frames will thus be preserved.

Mr. Earnest asked if they were replacing the sashes exactly as they exist. Mr. Tighe said they would be using insulated Pozzi windows with three over four mullions, which were similar to the existing windows. Mr. Earnest asked if they would consider true-divided-lite windows. Mr. Tighe said they would have the same problems which they have now in that the sashes in true-divided-lite windows would eventually fail, and the next time they did, someone may just get rid of them.

In further response to Mr. Earnest, Mr. Tighe said the sashes would work the same way that they do now, that they would be using the same hinges, and that the operating hardware on the double hung windows would be vinyl guides. He said the only other alternative would require removing the frames, and replastering, which added expense.

Mr. Earnest asked about the double hung windows, and Mr. Tighe described them and the process of rebuilding the windows. Mr. Earnest commented on the process, noting the number of parts being replaced, and said that in his mind it was the same as replacing the windows, which was not allowed by code.

# Streetscape: Woolworth Building



Allowable Height = 24'-1"

STAFF NOTE:  
 Upon further research  
 of applicant, it appears  
 some GIS data is incorrect.  
 The firm - Williams  
 data was not used  
 by staff.



Hand,  
 Allowable Height = 32'-4"

PLAZA FACADE HEIGHT

58 B San Francisco  
62

Block	City Building Number	HDRB	Smith Williamson	Notes	
Plaza East	Catron Block (2715)	36	42.2		
	2839	34	33.1		
	Packards (2874)	14	17.3		
Plaza West	1st National (2561)	28	26.9		
	2681	24	23.8		
	Ore House (2756)			25.6 as surveyed; not on HDRB map; originally built as hotel?	
North Side of San Francisco	Lensic (2472)	38	52.6	At peak over entrance, mid point of facade	
	2585	14	17.4		
	2622	14	17.3		
	2581	15	17.3		
	2586	15	15.2		
	2574	10	19.2		
	2611	14	32.2		
	2609	27	34		
	2590	30	33.6		
	2655	18	19.4		
	2731	13	15.9		
		Ore House (2756)			25.6 as surveyed; not on HDRB map; originally built as hotel?
		Plaza			Not included
		Packards (2874)	14	22.1	
		2911		18.4	2911 & 2924 are 1 building on HDRB map
	2924	26	24.9		
	2774	14	17		
	Old Post Office (2812)			Not included	
South Side of San Francisco	Tia Sophia (2709)	14	16.9		
	2707	25	27.8		
	2729	13	16.8		
	2741	16	18.7		
	2761	55.6	31		
	2776	31	39.8		
	2804	34	35		
	2820	32	31.9		
	2861	29	30.2		
	2875	26	31.3		
	2884	19	28.9	Woolworth Building	
	2899	18	30.8		
	2922	19	35.7		
	2930	19	39.5	2930 & 2939 are 1 building	
	2939				
2952	12	16.7			
2983	13	16.6			
	La Fonda (3022)			Not included	
Average		22.1	26.3	Plaza Facade Average	
Allowable		24.1	28.3	Plaza Facade Allowable Height	
		28.1	32.3	Allowable with Sloping Site	

March 26, 1998

Heather Pierson  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909

*RE: WOOLWORTH'S HDRB SUBMITTAL  
ARCHITECT'S PROJECT #97-14*

Dear Heather:

We are pleased to submit to the HDRB this application for preliminary approval of proposed additions and alterations to Lots 7 and 8, Block 9 of Kings Map, which constitute the eastern two thirds of the former Woolworth building.

The functional scope of the project includes:

- Creating a new sub-basement for mechanical equipment and trash at Water Street side of the property;
- Lowering existing basement floor level to provide adequate height for retail space;
- Developing Plaza level entry lobby accessing all floor levels;
- Creating new Courtyard entry at the Water Street level accessing all floors, as well as two small separate retail spaces;
- Expanding existing Plaza level retail floor; and
- Expanding existing second floor for mixed-use development including commercial and residential:

For HDRB review the work is as follows:

- Creating new Water Street facade(s);
- Remodeling the existing Plaza facade; and
- Adding a new portal over the public right-of-way as a continuation of the existing portals along E. San Francisco Street.

**A I A**

March 26, 1998

Page 2 of 2

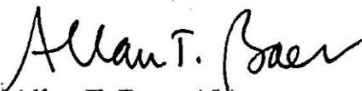
Although known as the Woolworth building, it is significant that the company has never owned any of the three lots or structures. The eastern lots 7 & 8 consist of the center and left portions of the existing building and are in one ownership; the western or right portion, Lot 9, soon to be known as the Five and Dime building, is in another ownership. A brief chronology of Woolworth's history and its impact on the building fabric follows:

- 1935 Woolworth's opened in Lot 9 in one-story leased brick building built sometime between 1902 and 1908.
- 1939 Woolworth's expanded eastward into Lot 8 combining its existing building with a two story brick structure, built in 1880, formerly occupied by Wood-Davis hardware. To create a unified appearance for the 2-building store, Woolworth's constructed a Pueblo facade designed by John Gaw Meem. The first floor of this version featured plate glass show windows at the property line with recessed entry doors. The second level retained the second floor room on Lot 8 and matched the height with a false front on Lot 9.
- 1965 Woolworth continued to expand eastward, demolishing the building on Lot 7 and erecting a new structure on Lot 7 which wrapped around the back of Lots 8 and 9. The facade was made symmetrical with a false front on the second level of Lot 7. At this time the show windows designed by Meem were demolished and storefront was recessed creating an inset portal across all three lots.
- 1967 Woolworths declined to participate in the portal construction project over the public right-of-way on E. San Francisco Street citing their existing inset portal.
- 1997 Woolworths closed and the properties were separated, with the Five and Dime occupying Lot 9 and this project on Lots 7 and 8.

We are confident that the changes we are proposing for the Plaza facade respect both the existing context created by the Woolworth development history and the equally real context of property ownership and separate buildings exposed by Woolworth's closing. Significantly we propose constructing a portal on the public-right-of-way to unify the two parcels in this project, eliminating the inset portal and returning to show windows much closer to the 1939 Meem design.

On Water Street the new development will fill in an unattractive and pedestrian unfriendly parking lot with the activity of new shops and an entry court to the building. Intensifying retail and strengthening the built edge of the street is an explicit goal of the BCD Alameda Street subdistrict zoning.

Sincerely,

  
Allan T. Baer, AIA

cc: Wayne S. Lloyd, AIA



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

---

Councilors: Art Sanchez, Mayor Pro Tem, Dist. 3                      Molly Whitted, Dist. 2  
Patti J. Bushee, Dist. 1    Frank Montaño, Dist. 3  
Jimmie Martinez, Dist. 1    Peso Chavez, Dist. 4  
Cristopher Moore, Dist. 2    Carol Robertson Lopez, Dist. 4

Project description . . : ADD S ELE INC HT TO 32'4",STRFT HT=32'4"  
Project number . . . . : 98- 10100082  
Case Number . . . . . : H-98-78  
Project type . . . . . : HISTORIC DESIGN REVIEW BOARD  
Application date . . : 03/25/98

PROJECT LOCATION(S) : 58 E San Francisco St  
60 E San Francisco St

**PROJECT NAMES:**

OW- Peters, Gerald & Kathleen    P.O. Box 908  
Santa Fe, NM 87504    (505) 9889789

AP- Lloyd & Tryk Architects    301 N. Guadalupe  
Santa Fe, NM 87501    (505) 9889789

BOARD ACTION

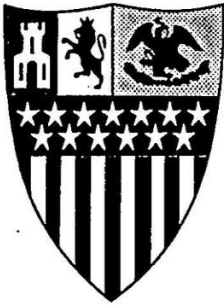
This is to certify that the Historic Design Review Board at their meeting on April 14, 1998, acted on the above referenced case. The decision of the Board was to postpone your request. The Historic Design Review Board expressed concern with the Water Street facade and the proposed portal on San Francisco Street. The resubmittal dedline is 5/1/98 for the 5/12/98 HDRB Meeting.

For further information please call 984-6808.

Sincerely,

Heather L. Pierson  
Historic Districts Case Planner

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6). PLEASE PROVIDE COPIES OF THIS LETTER WHEN SUBMITTING FOR BUILDING PERMIT.



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

Dr. Mike Mier, City Manager

Councilors: Art Sanchez, Mayor Pro Tem, Dist. 3

Molly Whitted, Dist. 2

Patti J. Bushee, Dist. 1

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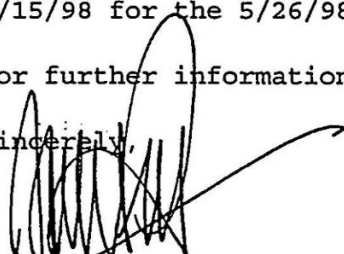
BOARD ACTION

This is to certify that, at the applicant's request, this proposal was postponed to the 5/26/98 Historic Design Review Board meeting.

If any additional information is to be provided, submit by 12noon 5/15/98 for the 5/26/98 HDRB.

For further information please call 984-6808.

Sincerely,

  
Heather L. Pierson  
Historic Districts Case Planner

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# City of Santa Fe, New Mexico

# memo

DATE: 12 May 1998  
TO: Historic Design Review Board Members  
VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
FROM: Heather L. Pierson, Acting Historic Preservation Planner *HP*

## ITEM & ISSUE:

CASE #H- 98-78

ADDRESS 58-60 East San Francisco Street

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of 4/14/98 HDRB
- Other Staff Height Calculations

### APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

## STAFF RECOMMENDATION:

Staff acknowledges the standards for architectural design have been met. Relative to height, the proposed building's height on East San Francisco Street is within the allowable height of 32'4" (Section 14-70.20 SFCC 1987). The one-story massing at Water Street is within the allowable height of 24'5" (Section 14-70.20 SFCC 1987). Staff defers to the HDRB as to whether the applicant has appropriately addressed the concerns raised at the last meeting (Section 14-70.12F SFCC 1987).

## BACKGROUND & SUMMARY:

The applicant has provided revised illustrations for preliminary review of the following renovation treatments at the subject property: the addition of height and associated finished floor modifications, an addition on the south elevation, the addition of a portal over city right-of-way as a continuation of the existing portales along East San Francisco street, a storefront remodel on the north elevation, the insertion of two windows on the second story of the existing north elevation, and associated interior renovation treatments. This case was postponed for consideration by the HDRB at the April 14, 1998 meeting due to concerns with the proposed design of the Water Street façade and the San Francisco Street portal.

In addition to the city's New Mexico Historic Building Inventory form, the applicant has submitted the following information:

**58-60 East San Francisco Street**  
**Case #H-98-78**  
**Page 2 of 2**

Woolworth's was opened in a small brick building on the plaza in 1935. In 1939, Woolworth's expanded eastward and combined the existing building with an adjacent building. John Gaw Meem designed a Spanish Pueblo Revival façade at this time. In 1965, Woolworth's expanded further to the east and demolished an existing building to make way for an addition. At this time, the storefront designed by Meem was demolished and a new recessed storefront was created. The recessed storefront aided in the creation of a portal. In 1967, Woolworth's declined participation in the plaza portal construction citing the existing portal. [Historic photographs documenting this evolution will be provided at the meeting]

The applicant states that he would like to return the Woolworth storefront to the same character as that of the 1939 John Gaw Meem design.

The allowable height on East San Francisco Street is 32'4" and Water Street is 24'5" (Section 14-70.20 SFCC 1987). The applicant proposes raising the parapet height to 32'4". The natural grade slopes along the line of the building from San Francisco Street to Water Street. The approximate change in grade is 8 feet. On Water Street, the applicant has proposed one-story massing at the street, which will eventually step upward to meet the second and third levels. A model will be provided at the meeting to illustrate massing and the proposed building's relationship with other buildings in the streetscape.

The applicant has addressed the concerns of the HDRB relative to the architectural character of the Water Street façade and the placement of the elevator shaft on that elevation. No changes have been made to the San Francisco Street façade with the exception of the insertion of skylights in the second-story portal.

# City of Santa Fe, New Mexico

# memo

DATE: 14 April 1998  
TO: Historic Design Review Board Members  
VIA: Anne M. Condon, Planning Division Team Leader *AMC*  
FROM: Heather L. Pierson, Acting Historic Preservation Planner *HP*

## **ITEM & ISSUE:**

CASE #H- 98-78

ADDRESS 58-60 East San Francisco Street

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

- Case Synopsis
- District Standards
- State Historical Survey Sheet
- Minutes of \_\_\_\_\_
- Other Staff Height Calculations

### **APPLICANT SUBMITTALS**

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other \_\_\_\_\_

## **STAFF RECOMMENDATION:**

Staff acknowledges the standards for design have been met with the exception of the glazing on the elevator structure (Section 14-70.9B SFCC 1987 and Section 14-70.9C2 SFCC 1987). Relative to height, the proposed building's height on East San Francisco Street is within the allowable height of 32'4" (Section 14-70.20 SFCC 1987). The one-story massing at Water Street is within the allowable height of 24'5" (Section 14-70.20 SFCC 1987). Staff defers to the HDRB as to whether the additional height is of a compatible scale with the existing building and other buildings in the streetscape (Section 14-70.20B4 SFCC 1987).

## **BACKGROUND & SUMMARY:**

The applicant has provided illustrations for preliminary review of the following renovation treatments at the subject property: the addition of height and associated finished floor modifications, an addition on the south elevation, the addition of a portal over city right-of-way as a continuation of the existing portales along East San Francisco street, a storefront remodel on the north elevation, the insertion of two windows on the second story of the existing north elevation, and associated interior renovation treatments.

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**58-60 East San Francisco Street**  
**Case #H-98-78**  
**Page 2 of 2**

Woolworth's was opened in a small brick building on the plaza in 1935. In 1939, Woolworth's expanded eastward and combined the existing building with an adjacent building. John Gaw Meem designed a Spanish Pueblo Revival façade at this time. In 1965, Woolworth's expanded further to the east and demolished an existing building to make way for an addition. At this time, the storefront designed by Meem was demolished and a new recessed storefront was created. The recessed storefront aided in the creation of a portal. In 1967, Woolworth's declined participation in the plaza portal construction citing the existing portal. [Historic photographs documenting this evolution will be provided at the meeting]

The applicant states that he would like to return the Woolworth storefront to the same character as that of the 1939 John Gaw Meem design.

The allowable height on East San Francisco Street is 32'4" and Water Street is 24'5" (Section 14-70.20 SFCC 1987). The applicant proposes raising the parapet height to 32'4". The natural grade slopes along the line of the building from San Francisco Street to Water Street. The approximate change in grade is 8 feet. On Water Street, the applicant has proposed one-story massing at the street, which will eventually step upward to meet the second and third levels. A model will be provided at the meeting to illustrate massing and the proposed building's relationship with other buildings in the streetscape.

Relative to design standards, Staff has concern that the glazing on east elevation of the elevator structure is not characteristic of Spanish-Pueblo Revival style (Section 14-70.9B SFCC 1987 and Section 14-70.9C2 SFCC 1987). Staff presumes the proposed skylight will not project above the line of the parapet as it is not reflected on the elevation drawings (Section 14-70.9B4 SFCC 1987).

# Lloyd and Tryk

A R C H I T E C T S

March 26, 1998

Heather Pierson  
City of Santa Fe  
P.O. Box 909  
Santa Fe, NM 87504-0909

*RE: WOOLWORTH'S HDRB SUBMITTAL  
ARCHITECT'S PROJECT #97-14*

Dear Heather:

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The functional scope of the project includes:

- Creating a new sub-basement for mechanical equipment and trash at Water Street side of the property;
- Lowering existing basement floor level to provide adequate height for retail space;
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- Creating new Courtyard entry at the Water Street level accessing all floors, as well as two small separate retail spaces;
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For HDRB review the work is as follows:

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- Remodeling the existing Plaza facade; and
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A I A

March 26, 1998

Page 2 of 2

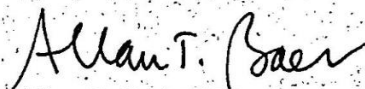
Although known as the Woolworth building, it is significant that the company has never owned any of the three lots or structures. The eastern lots 7 & 8 consist of the center and left portions of the existing building and are in one ownership; the western or right portion, Lot 9, soon to be known as the Five and Dime building, is in another ownership. A brief chronology of Woolworth's history and its impact on the building fabric follows:

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We are confident that the changes we are proposing for the Plaza facade respect both the existing context created by the Woolworth development history and the equally real context of property ownership and separate buildings exposed by Woolworth's closing. Significantly we propose constructing a portal on the public-right-of-way to unify the two parcels in this project, eliminating the inset portal and returning to show windows much closer to the 1939 Meem design.

On Water Street the new development will fill in an unattractive and pedestrian unfriendly parking lot with the activity of new shops and an entry court to the building. Intensifying retail and strengthening the built edge of the street is an explicit goal of the BCD Alameda Street subdistrict zoning.

Sincerely,

  
Allan T. Baer, AIA

cc: Wayne S. Lloyd, AIA



# City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

Dr. Mike Mier, City Manager

Councilors: Art Sanchez, Mayor Pro Tem, Dist. 3

Molly Whitted, Dist. 2

Patti J. Bushee, Dist. 1

Frank Montañó, Dist. 3

Jimmie Martinez, Dist. 1

Peso Chavez, Dist. 4

Cristopher Moore, Dist. 2

Carol Robertson Lopez, Dist. 4

24 June 1998

Lynne Sebastian, Ph.D.  
State Historic Preservation Officer  
New Mexico Office of Cultural Affairs  
Historic Preservation Division  
La Villa Rivera Building, 3<sup>rd</sup> Floor  
228 East Palace Avenue  
Santa Fe, NM 87501

Dear Dr. Sebastian:

As you may know, the Woolworth building has been an integral part of the cultural and physical landscape of the Santa Fe Plaza for most of this century. Because of the end to the "Five and Dime" era, Woolworth stores across the nation are closing their doors for the last time. Must to the chagrin of many Santa Fe residents, the Santa Fe store is no exception.

The Historic Design Review Board (HDRB) recently reviewed an application for the renovation of the eastern two-thirds of the subject (non-contributing) building at 60 East San Francisco Street. The proposal included the addition of 4 feet to the overall height of the building (stepped back from the existing street façade), additions on the south elevation, and associated interior renovation treatments. The proposed building will remain in the Spanish-Pueblo Revival Style. Minutes of the HDRB comments have been attached to inform you of the concerns of the HDRB (Exhibit A).

As a Certified Local Government (CLG), the City of Santa Fe would like to request technical assistance on the matter of appropriate treatment of the prominent East San Francisco streetscape. As the Plaza is the cultural and physical heart of the community, the HDRB wants to carefully consider any changes to the Plaza area in order to retain its historic integrity.

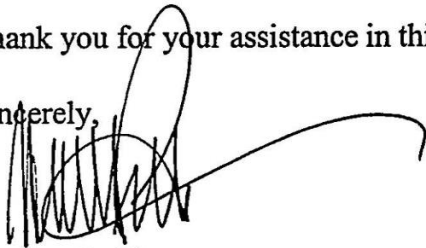
I have attached the proposal drawings for your review (Exhibit B). The city requests assistance in the review of this application with attention to the preservation of the historic streetscape and character of the plaza area.

**Technical Assistance Request-Woolworth's**  
**Page 2 of 2**

If you have any questions or comments, feel free to contact me at 984-6809.

Thank you for your assistance in this matter.

Sincerely,

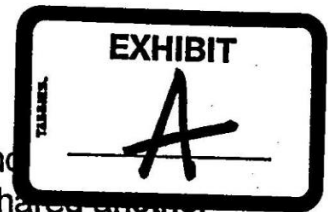
A handwritten signature in black ink, appearing to read 'Heather L. Pierson', with a long, sweeping horizontal stroke extending to the right.

Heather L. Pierson  
Historic Preservation Planner

cc: Mariano "Buddy" Lucero, Acting Planning Division Team Leader  
Wayne Lloyd, Principal, Lloyd and Tryk Architects  
Dorothy Victor, Certified Local Government Coordinator  
File #H-98-78 & CLG

Attachments

C:\hlp\clg\woolwrth.let



Present and sworn was Richard Martinez, 210 E Marcy, who was happy to bring a pitched roof home to the Board for review. He shared another rendering with the Board.

Mr. Earnest asked if this project was in lieu of the another studio which had been planned for the property. Mr. Martinez explained that the owners of the property had married, and that they would only be building this studio, and not the one which had been previously submitted to the Board by Judy Wright.

Mr. Earnest asked about the glass doors on the south elevation. Mr. Martinez said that they were proposing to use a large rolling wooden door, adding that it was under a 15 foot deep portal. He explained that the artist using the space has very large pieces to get in and out.

Mr. Earnest said the three windows on the west elevation did not fit into any vocabulary he had, saying it was not northern New Mexico style, but that he liked the idea.

Ms. Rios asked if there was a window above the porch. Mr. Martinez explained that the drawings show a vent at this location.

Mr. Padilla asked about the skylights. Mr. Martinez said they would be non-venting, flat, glass skylights. Mr. Padilla asked if they could be seen from the street, and Mr. Martinez said he did not believe they would be.

Mr. Padilla asked about the sliding door. Mr. Martinez said it slid in one direction, and remained under the portal. In further response, he said the door was one panel.

There were no speakers from the public regarding this case.

Ms. Rios moved for approval of Case #H-98-77 as submitted. Mr. Earnest seconded the motion, which passed by unanimous voice vote.

13. **Case #H-98-78. 58-60 East San Francisco Street (Woolworth's). Downtown and Eastside Historic District. Non-Contributing. Lloyd & Tryk Architects, agents for Gerald and Kathleen Peters, request a preliminary review of a renovation to include increase height to 32'4" at center of building, additions on the south elevation, the insertion of**

**two windows and storefront remodel on the north elevation, associated renovation treatments. (Allowable Height = 32'4")**

Ms. Pierson presented the staff report [Attached as Exhibit R.] She added that several staff members, including zoning officials, had met on the site. She said that the proposed project was within the allowable height. She said that small changes may need to come back to the Board, but that the overall concern related to height had been addressed.

Ms. Pierson reminded the applicant that archeological reconnaissance was required.

Present and sworn were Allan Baer and Wayne Lloyd, 301 N Guadalupe. Mr. Lloyd said they were delighted to be working on a project for the Plaza, and understood the importance of the building. He said they had done a fair amount of research related to the history of the building.

Mr. Baer displayed some photographs, saying the earliest was from 1897 or 1898, with the latest photo being from 1965. He said most faced up San Francisco Street toward the Cathedral. He said the Hilltop Fur Company built a two story brick building in 1892, pointing out the iron cornices and a large glass storefront. He described other features in the photographs, saying one showed the street in 1900, pointing out the enormous stone work on a building down the street. He said the building changed hands sometime after the turn of the century with a tin warehouse on Water Street. He said in 1939 two of the buildings were combined with a new front façade.

Mr. Baer provided more recent history regarding ownership, and pointed out several changes which had occurred to the building over the years. He concluded by displaying a photo of the existing building to show how the two story Plaza building impacts San Francisco Street.

Mr. Lloyd displayed a model of the project, and he and Mr. Baer pointed out different details, including streets, windows, entries, and the portal.

Mr. Baer pointed out the portion of the building which would not be increased in height over the existing parapet, saying that it would not be increased in height except where they saw the story poles on the site visit: 15 feet behind the original building.

Mr. Earnest commented that this was a great challenge to maintain the streetscape. He said he was the draftsman for the portal which was built in the 1960's. He said Mr. Meem had not known the best place to end the portal because they did not want it to be too much. He said he had a problem with the portal because of the streetscape. He said that the photos show that the entrance to the building was always open.

Mr. Earnest also expressed concern about the upstairs portion of the building. He said he had no problem with the two openings, but the portal seemed to unbalance the architecture of the building. He mentioned the skylights.

Mr. Earnest said the massing and stepping of the one-story was handled nicely, but there were details which they should talk about. He again questioned the design of the second story portal.

Mr. Thompson said he thought the whole building was handsome with the exception of the elevator shaft, which sticks out like a sore thumb. He noted that the applicant had said the windows on Water Street would be divided. He asked if the proposed height would be lower than the buildings to the east and Mr. Tryk agreed. Mr. Thompson commented that the only building on the Plaza which is taller than their proposed building is La Fonda. Mr. Baer agreed, saying La Fonda was 7 feet taller than the proposed building.

Mr. Padilla asked if the story poles they had seen were within the allowable height. Ms. Pierson said they were within the allowable height of 32 feet, 4 inches on the Plaza side. She said that because of the 8 foot change in grade, the Water Street side was well below the allowable height of 24 feet, 5 inches. She explained that the story poles showed the 32 foot, 4 inch height on the Plaza side.

Mr. Padilla said he did not like the portal, and where it stops. He said it completely changed the San Francisco Street elevation, and thus the streetscape. Mr. Lloyd said he thought Mr. Meem's original intent was to have the portal this way, and acknowledged Mr. Earnest's personal experience.

Mr. Padilla expressed concern about the outdoor dining area, saying it was heavy and dark.

Mr. Baer said that if they removed the portal they would have a storefront, not under a portal, which would require them to use 30 inch glazing. He said this was a serious issue.

In response to the Chair, Ms. Pierson said that the glazing could not exceed 30 inches if it were not under the portal, unless the applicant applied for and got an exception from City Council.

Mr. Thompson said he thought the portal absolutely should be there, saying it was a much more natural place to have the portal end as was proposed than what exists.

Ms. Rios said it was clear that the San Francisco side did not have as big an impact as the Water Street side. She questioned if a model without a portal could be provided, saying she was unsure about the portal, and this would help her in her determination. She said there would now be a building on the Water Street side where there has been parking. She commented that she wished the building was not so tall, saying the story poles appeared taller than anything else.

Mr. Lloyd said that they had not wanted to completely fill it in.

Mr. Thompson asked the distance between the support poles, and Mr. Lloyd said they were 7 feet. Mr. Thompson asked if there could be several of them, rather than just one to make it look more like a portal.

Mr. Thompson commented that the dining terrace on the San Francisco looked dark and suggested raising the parapet and placing skylights there. Ms. Pierson said they could not be visible from San Francisco street.

Chair Seth called a brief recess to give the public the opportunity to review the renderings and the model.

Chair Seth commented that she was surprised there were not more members of the public here to comment on such a significant project on the Plaza. She said it was helpful to get feedback from the public.

Present and previously sworn was Richard Martinez, 210 E Marcy. He said that the columns in front of their building were not symmetrical because of the location of the storefront. He said he liked the way the façade steps back on

Water Street, but that there was a lot going on and it seemed like a cheap interpretation of the façade in this area.

Chair Seth noted for the record that Mr. Martinez was the architect for the five and dime project next door.

Ms. Rios asked Mr. Martinez what he thought the impact of the proposed porch was on the storefront of the five and dime. Mr. Martinez said he had not gotten feedback from the owners in this regard, but architecturally, he would prefer that it not be extended, because it visually places their storefront off the street. He said that the portal narrows at the end, which is comfortable.

Present and sworn was Sara Melton, 408 Sosoya Lane. She said visually, the portal helps the façade. She said it would be helpful if the second story façade of the building to the west was shown on the model, because it affects the balance of the portal. She said it gave a reason for extending the portal as far as shown. Chair Seth noted that it was shown on the elevation drawings.

Ms. Melton expressed concern with the change of the pattern of the east portion of second story façade, saying it changes the pattern and balance, which is a problem. She said even though the parapet is 25 feet behind the front façade parapet, it still forms a very definite line when viewed from the other side of the Plaza.

Ms. Melton said buildings which have second story railing and balconies are usually territorial style, and that post and lintel pueblo style portals on second and third stories were inventing a new architectural vocabulary. She noted this was proposed for the Water Street side. She asked if a design change to have them more like balconies would be better.

Ms. Melton continued by questioning the need for the stepping on the east side of the Water Street parapet. She said the fabric on Water Street was tenuous and it was difficult to know what will work today and tomorrow.

Mr. Thompson said that the Packards building and La Fonda have lots of second story open areas which are very much the same as what was being proposed. Ms. Melton disagreed.

Present and sworn was James Greer, 520 Calle Codail. He asked if they were asking for a variance for the height on Water Street at the elevator shaft.

Mr. Lloyd said they were not. Mr. Greer asked for elaboration, and the Chair explained that it was within the allowable height. Mr. Greer said the elevator shaft was higher than the building. Ms. Pierson added that elevator structures are not included in the height calculations.

Mr. Greer said the front of the building did conform with Santa Fe style or the rest of the buildings in the area, and was more of a new style. He asked the architect to address this. He began questioning the architect about the number of parking spaces. The Chair explained that this was not an issue for the HDRB to address and suggested he contact other staff.

Mr. Greer asked the applicant again how many residences there were and where they would park. Mr. Lloyd said there were four and showed the location of parking. In further response to Mr. Greer, Mr. Lloyd explained that they would put it out for regular City trash service.

Mr. Greer said trash collection is really a problem downtown. Chair Seth again explained this was not under this Board's purview, and suggested that the speaker contact his City Councilor to note this concern.

Present and sworn was Raymond Herrera, 379 Hillside Avenue, who said he had concerns with the streetscape and wished it did not have to be addressed piecemeal. He said he objected to having an open air restaurant on the Plaza.

Mr. Herrera said the Water Street side had been going through changes for years even though it was becoming as important to the City as San Francisco Street. He said years ago, no one had focused on the architecture on Water Street. He said the area to the back side could be used for parking or loading and was becoming more hodge podge. He said they could set a precedent for adjacent buildings if they allowed this proposal. He said he hoped they could do something better.

Present and sworn was David Tighe, Box 92228, who thanked the architect for providing the history on the building. He said he was in favor of the front portal, saying it brought continuity to the street and that he had always thought the Plaza was never finished because the portal did not extend on the entire San Francisco Street side.

Mr. Tighe said that he had studied John Gaw Meem's and Nusbaum's buildings, giving two examples which had second story outdoor seating areas.

He acknowledged Mr. Herrera's point of view, saying that the industrial look to Water Street brings a pueblo revival style to the street which he liked. He questioned if they had considered a lift rather than a elevator shaft, saying that the addition of portal posts and vigas would keep it looking very industrial.

The applicants declined cross examination of each speaker.

Mr. Lloyd asked the Board to remember that they had not conducted as much research for the Water Street side, agreeing that it had an industrial look and that people thought of it as hodge podge. He said it was hard to focus on the style, considering the changes which had occurred and asked direction from the Board.

Mr. Lloyd said he had heard comments both for and against the portal as proposed, but that they met the requirements of the ordinance.

Chair Seth noted that the ordinance also regulates the streetscape, and that this was an issue which was up to interpretation.

Mr. Lloyd said there were numerous second story pueblo portals or deck areas.

Chair Seth asked for comment from the Board, especially related to the Water Street side and the portal on San Francisco.

Mr. Thompson said he was interested in Mr. Herrera's comments about Water Street, saying that an interesting change had taken place on Water Street, saying that the only industrial look left between Sandoval and Shelby is the back of the subject property. He supported the proposal with the exception of the elevator shaft. He said that he thought the proposal for the Water Street side fit in better than what exists.

Chair Seth noted that they had received a letter from Greer Enterprises, which she read for the record. [A copy is attached to these minutes as Exhibit S.]

Mr. Padilla said he was not sure he agreed that the portal should be built as proposed, but that he liked the setback on the back of the building. He said it was obvious that something should be done for the elevator shaft. He said that the comments regarding how refuse would be contained were good comments.

He said that the symmetry of portal on the second floor San Francisco side should be maintained in some way.

Ms. Rios admitted that her mind was all jumbled up after hearing all the comments. She expressed concern that the building needed to work well with the five and dime next door. She said that the pictorial history indicated that the storefront changed as ownership changed, and asked if this proposal was continuing that. She said that she had not made up her mind about the porch.

Ms. Rios noted she had grown up on Water Street, saying that she had never considered it industrial, but it was the exit for the buildings. She said it was very different than it was even 15 years ago. She agreed that the only building which remained as it was when she was growing up was the back of Woolworth's. She asked that this side be kept simple, with minimal impact.

Mr. Earnest said he had nothing to add.

Chair Seth said she was also concerned about the skylight. Mr. Lloyd said they would address this.

Chair Seth noted that the applicant was requesting preliminary approval, noting that they would be reviewing the project again. Mr. Earnest said he wanted assurance that the concerns would be addressed.

Chair Seth asked if the applicant would be willing to have his case postponed while they address the issues. Mr. Lloyd said he would rather have conditional, preliminary approval than to have the case postponed. He said their willingness to work on issues had been proven in the past, and that he had kept a list of the concerns. He acknowledged that he did not know what to do with the portal.

Ms. Pierson said that administratively, it would be better to have the case postponed, saying there could be a conflict later about what was acceptable.

Chair Seth said that there were major changes to be made to the design of the Water Street side. Mr. Lloyd said that preliminary approval did not require them to be committed to much of anything related to the changes which had been discussed.

Mr. Earnest moved to postpone Case #H-98-78 until May 12, 1998. Ms. Rios seconded the motion, which passed by majority voice vote, with Mr. Earnest, Mr. Padilla, Ms. Rios and Mr. Earnest voting in favor of the motion, and Mr. Thompson voting against the motion.

13. Case #H-98-79. 521 Halona Street. Downtown and Eastside Historic District. Contributing. David M. Tighe/Tighe Const. Inc., agent for Fred Jahnig and Harvey Delano proposes wholesale window and door replacement.

Ms. Pierson presented the staff report [Attached as Exhibit T.]

Present and previously sworn was David Tighe, P.O. Box 9228. He said he had spent years in Santa Fe dealing with this problem, saying they had rebuilt 80 sashes and window frames at #2 Cerro Gordo. He said they would only be replacing the window sashes and door panels, with simulated divided lites in the same window patterns. He said the frames will thus be preserved.

Mr. Earnest asked if they were replacing the sashes exactly as they exist. Mr. Tighe said they would be using insulated Pozzi windows with three over four mullions, which were similar to the existing windows. Mr. Earnest asked if they would consider true-divided-lite windows. Mr. Tighe said they would have the same problems which they have now in that the sashes in true-divided-lite windows would eventually fail, and the next time they did, someone may just get rid of them.

In further response to Mr. Earnest, Mr. Tighe said the sashes would work the same way that they do now, that they would be using the same hinges, and that the operating hardware on the double hung windows would be vinyl guides. He said the only other alternative would require removing the frames, and replastering, which added expense.

Mr. Earnest asked about the double hung windows, and Mr. Tighe described them and the process of rebuilding the windows. Mr. Earnest commented on the process, noting the number of parts being replaced, and said that in his mind it was the same as replacing the windows, which was not allowed by code.

1. Case #H-98-78. 58-60 East San Francisco Street (Woolworth's). Downtown and Eastside Historic District. Non-Contributing. Lloyd & Tryk Architects, agents for Gerald and Kathleen Peters, request a preliminary review of revisions to renovation to include increase height to 32' 4" at center of building, additions on the south elevation, the insertion of two windows and storefront remodel on the north elevation, associated renovation treatments. (Allowable Height = 32'4")

Ms. Pierson presented the staff report. [Attached as Exhibit A.]

Present and sworn were Wayne Lloyd and Allan Baer, 301 N. Guadalupe. They displayed a model of the project. Mr. Lloyd said that the changes to the design addressed both what they felt was of architectural importance and a response to the feedback they had received. He said the comments on the Water Street façade were that it was a little more complex than it needed to be. He said they had moved it and incorporated it into the massing of the eastern portion of the building to simplify the south façade.

Mr. Lloyd said they had done further research on Water Street and offered what he said was a 1928 photograph to the Board and staff for their review. He said that although it could be considered industrial, they did not believe the entire street was this way.

Mr. Lloyd then addressed the San Francisco side of the building. He said they had removed the skylight and were proposing a clerestory window on the west side to allow light into the stairway instead. He showed the Board some additional photographs, which he said were examples of traditional Pueblo second floor portals. He said they were photos of the Museum of Fine Arts, Packards, and a residence on Hillside Avenue.

Mr. Lloyd said they were adding two windows besides the existing windows, and said the photographs showed a precedent for this.

Mr. Lloyd said the most controversial portion of the project related to the portal they wanted to add to the front of the building. He said that 100% of the buildings east to the end of the block had a portal and that 80% of those west to Sandoval had portals. He said that some were as narrow as four feet, which was 30% narrower than what they were proposing on the short side and 50% narrower than what they were proposing on the east side. He said that in a four block area,

approximately 90% of the buildings had portals, saying that a portal would complete this section of the streetscape and give an identity to the building.

Mr. Lloyd said these were the changes. He said they also had an original John Gaw Meem drawing of the building, showing the portal. Mr. Earnest reviewed the drawing.

Chair Seth questioned how the applicant defined the term, portal. Mr. Lloyd said that he had included any area under which someone could walk when making his calculations.

Ms. Rios asked if they were proposing to raise the height of the second story on the San Francisco side of the building. Mr. Baer said they were not, but that it was existing at 28' 9". He clarified that the wings flanking the central building were the same height.

Mr. Padilla noted that the previous submittal showed the elevator penthouse two feet above the parapet line, and said it was now in line with the parapet line. Mr. Baer explained that the elevator over ride was now within the proposed height. Mr. Lloyd said it was slightly higher. Mr. Baer explained that the height of the elevator was kept at 32' 4", and that the roof was slightly lower than that.

Mr. Earnest noted that the staff report said the allowable height for the Water Street side is 24' 5", and the allowable height on the San Francisco side is 32' 4". He asked if the elevator was now 32' 4". Ms. Pierson clarified that the allowable height excludes elevator penthouses as defined in section 14-70.4.

Mr. Earnest asked if the window fenestrations on the Water Street side was different on the displayed drawings than those in his packet. Mr. Lloyd said they should be the same. Mr. Earnest said that there is highly detailed railings and large sheets of glass without divisions. Mr. Baer agreed, saying they were under the portal. Mr. Earnest commented that it seemed like three different buildings which had been done in phases. Mr. Baer said they could look at these details.

Chair Seth noted that this was preliminary approval, and that these details would come back later for their review.

Mr. Thompson asked the existing height on the Water Street side, or how much higher the proposed building would be. Mr. Baer said that the proposed building would be 16 feet higher than what exists.

Mr. Padilla asked if the allowable height on Water Street was 24' 5". Ms. Pierson agreed. Mr. Padilla said he saw an elevation height on the Water Street side of 29' 4". Mr. Baer responded that this was correct, and that it was a continuation of the building.

Ms. Pierson explained that they had discussed how they deal with connecting a building where there is such a huge change in grade. She said that there was an eight foot change of grade. She said the ordinance allows adding another four feet to the allowable height when there is a two foot change of grade. She said the question was where the building should be divided in order to keep the finished floor the same. She said she had encouraged the applicants to try to keep the second and third story massings as far away from Water Street as possible. She said it was her opinion that the significant amount of one-story massing on the Water Street side helps to make it pedestrian friendly and met the intent of the ordinance.

Mr. Baer said they had tried to match the height of the adjacent building, and they were not that much higher. Mr. Lloyd said that it was a matter of the point where they stopped the height from the San Francisco Street side, saying they had increased the height to make up for the height they lost by having the other portions of the building lower.

Mr. Padilla expressed concern about allowing a height over the allowable height. Mr. Lloyd said the 1928 building was a full two story building. He said they tried to get a sense of entry from the Water Street side. Chair Seth commented that a sheer 24 foot height would be problematic.

Mr. Thompson asked if it was necessary to have so much plate glass on the ground floor of the San Francisco Street side, saying the glass on the Water Street side did not seem as prominent. Mr. Lloyd said this is what is there now.

Ms. Rios said she understood the reason for the increased height on the Water Street side, but asked if it was in violation of the ordinance. Noting that there were two street façades for this building, Ms. Pierson said she felt the applicant had met the intent of the ordinance by keeping the height at 16 feet for 17 feet, 6 inches, then stepping up. She said they could have proposed to split

the lot and build two buildings, 24' 5" on Water Street and 32' 4" for the other building.

A brief recess was taken at this time to allow the public the opportunity to review the renderings and the model.

Present and sworn was Sara Melton, 408 Sosoya Lane. She said the balance of the Water Street façade had been improved by moving some of the elements around. Referring to the San Francisco Street side, she asked if the view would be of the current roof line or of the increased height behind it when viewed from the Palace of the Governors across the Plaza. Mr. Baer said they could see the top of the story poles for about 3/4 of the distance along the Palace of the Governors.

Ms. Melton said it was visually important to retain the existing roof line as what one would see. She said the photographs showing second story portals have a different sense of enclosure, because they do not just have portal posts above, but more massing and weight. She said she wondered if this could be explored.

Present and sworn was Ray Dewey, 1557 Canyon Road. He said he had been a downtown merchant for about 25 years and that they managed the Guarantee Building for the Silva family. He said that they had done a feasibility study for the five and dime, so he was familiar with the concerns for the building. He complimented the owner for choosing the high quality planner and architect. He said his concern was the amount of glass on the Plaza, saying that it should be minimized. He said he was concerned with who was going into the building, acknowledging that this was not the Board's concern. He complimented the people who put in the five and dime.

Present and sworn was James Greer, 520 Calle Cuedo. He said the owner and architect had done a great job, but that he had two concerns. He said the first was the height, questioning if any of the Board members had seen the story pole on the Water Street side of the building. He said that it was a lot taller than the other buildings. He said his second concern was about the extension of the front part of the building. He asked if they were trying to preserve the historic buildings downtown, or if they were trying to change the image of downtown. He said if they were trying to preserve the historic buildings, they should try to coordinate with what exists there now. He said this building looks good, but it is a little massive.

Chair Seth commented that the Board had gone on a field trip at noon and saw the site.

The applicants declined cross examination of each of the speakers.

Mr. Earnest said he had not yet dealt with the San Francisco Street side. He said the public comments were good. He said the eyebrow over the second story portal was timid compared to the other examples provided by the applicant. He said he thought this could be corrected by adjusting the column and adding some meat to the eyebrow.

Mr. Earnest said he had gone and looked at the portal at Woolworth's, and said they had gotten along for a long time without a portal, and he thought they could continue to do so. He said the streetscape was important, and he was still concerned about this part of the proposal. He said there were some details which still needed some work.

Ms. Rios said that a project of this size downtown always draws a lot of attention. She said that for a long time, they have seen nothing on the Water Street size, and now, all the sudden, they see a large, imposing building. She said that architects appearing before them they need to be sensitive to the history of the area. She suggested they reduce the height on the Water Street side.

Ms. Rios said the addition of a porched area was introducing a new element to the San Francisco Street side, which would have a negative impact on the street. She said they should have the least amount of impact as possible in this area of downtown. She said they should not introduce too many elements, and should keep it simple and low impact. She suggested eliminating the second story portal on San Francisco Street side. She said she leaned toward not having a first story portal. She said it was dark under the portal, and that the applicants may be doing themselves a disservice.

Chair Seth asked staff if she would further address the height on Water Street. Ms. Pierson clarified that her opinion was that the façade which directly affects Water Street is the one-story elements which fronts Water Street. She said the height, although higher than what is allowed, is a continuation of the height of the building on San Francisco Street. She said this is a unique site because there were two street façades on opposite sides of the same building (not on a corner), which was not really contemplated when the height ordinance was approved.

Chair Seth reiterated that this was preliminary approval, so they should consider the style, height, and footprint.

Ms. Rios asked the detailing for the railing on the Water Street side. Mr. Lloyd said it was a zig zag pattern in white board. Chair Seth said this detail would come back for review.

Mr. Earnest said they had been told they needed to deal with the issue of this type of grade change when they were reviewing the height ordinance. He said he thought it had been sensitively addressed, but that the massing and details needed attention. He said it was not possible to set a standard to deal with the grade difference. He said he did not see any problems too big to deal with.

Chair Seth reiterated the expressed concerns to include the first story portal on San Francisco Street, the second story portal on San Francisco Street, the glazing on San Francisco Street, and the height and glazing on Water Street.

Mr. Lloyd said that while this space is now vacant, there used to be a two story building at this location. He said they were trying to keep the design simple and that they could adjust the first story portal, but that it was important.

Mr. Earnest said he did not agree that the first story portal was necessary to the design of the building.

Mr. Thompson asked what was visible under the second story portal. Mr. Lloyd said it was not yet well detailed. Mr. Baer said it was 25 feet deep, and would be used as outdoor dining. He said there would be French doors there, and that they would have to raise the parapet if they were to increase the eyebrow. He said the old post office was a precedent for this feature.

Mr. Thompson asked the purpose of the latillas. Mr. Baer said they were fake latillas. The Chair asked that they hold their discussion about the details until the next review of the project.

Mr. Thompson said that the portal would be a great addition, saying it would finish up the Plaza. He said that he wished the amount of glazing could be reduced. He asked if the glass extended further to the sidewalk than it does on the Woolworth's. Mr. Baer agreed.

Ms. Rios suggested polling the members on the issues of portals and glazing on San Francisco Street, and the amount of glazing of Water Street. An informal vote was taken on these issues, the results being too unclear to accurately record.

Mr. Earnest moved to grant preliminary approval of Case #H-98-78 subject to the following conditions:

1. The first story portal on the San Francisco Street side be deleted and;
2. The details on the second story portal be simplified and be provided in more detail and;
3. The glass and glazing be reduced and divided on both the San Francisco and Water Street side.

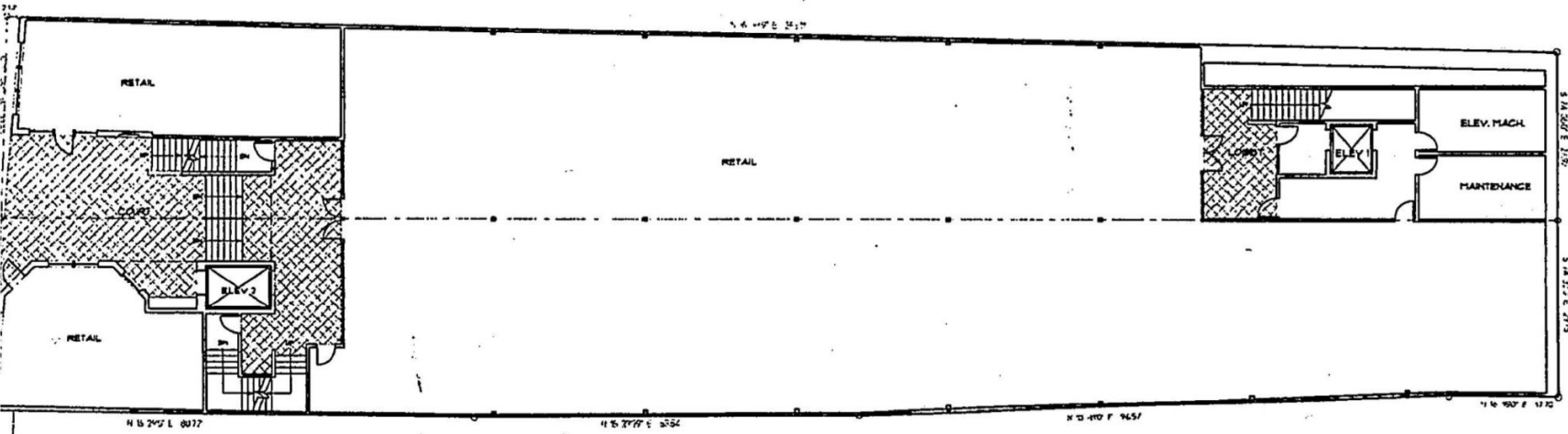
Mr. Padilla seconded the motion, which passed by majority voice vote, with Mr. Padilla and Mr. Earnest voting in favor of the motion and Mr. Thompson and Ms. Rios voting against the motion. Chair Seth voted in favor of the motion, breaking the tie.

Mr. Thompson said he voted against the motion because it included eliminating the first story portal. Ms. Rios said she voted against the motion because she wanted them to eliminate the second story portal as well.

2. Case #H-98-88. 620 Paseo De La Cuma. Outside District (Landmark). John Helgeson, agent for John Smallwood, proposes a detached garage structure.

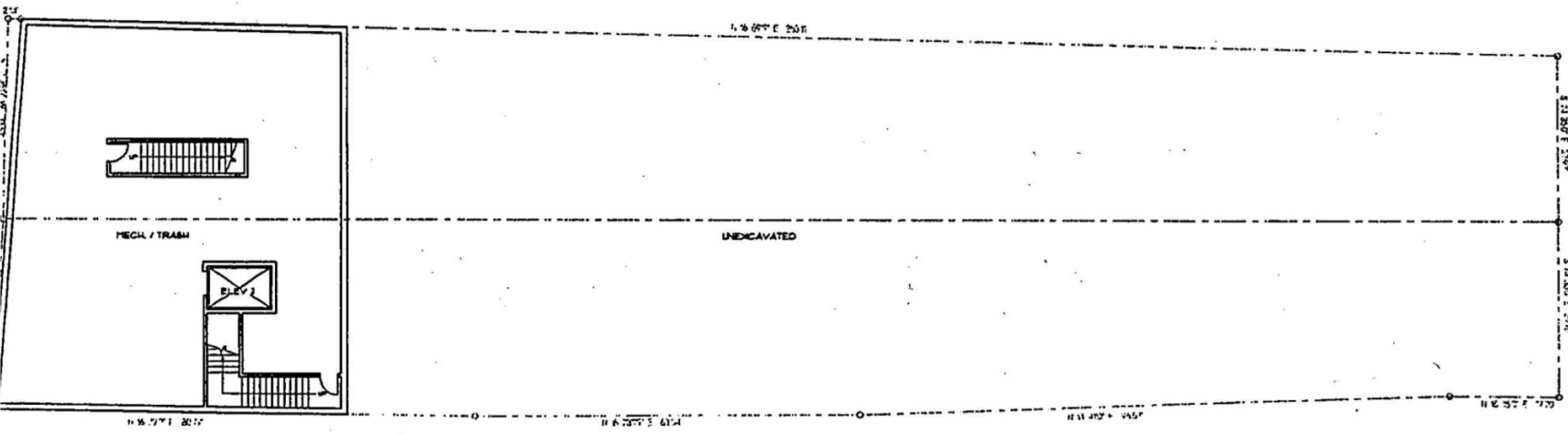
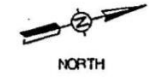
Ms. Pierson presented the staff report. [Attached as Exhibit B.] She clarified that the overall height of the garage was previously 17 feet from grade on the south elevation and is now is 14 feet from grade. She said that, because the grade slopes, the height is 13' 6" from grade on the north elevation and 12' from grade on the west elevation.

Present and sworn was Richard Martinez, 612 E Marcy. He said the owners had agreed to the modifications suggested by the subcommittee. He said they were matching the details of the existing addition and reiterated that they



WATER & STREET LEVEL FLOOR PLAN

1/8" = 1'-0"



SUB-BASEMENT LEVEL FLOOR PLAN

1/8" = 1'-0"



Lloyd and Tryk  
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 TELEPHONE 505-833-9788 FAX 505-833-1144

60 EAST SAN FRANCISCO STREET  
 SANTA FE  
 NEW MEXICO

Scale: 1/8" = 1'-0"

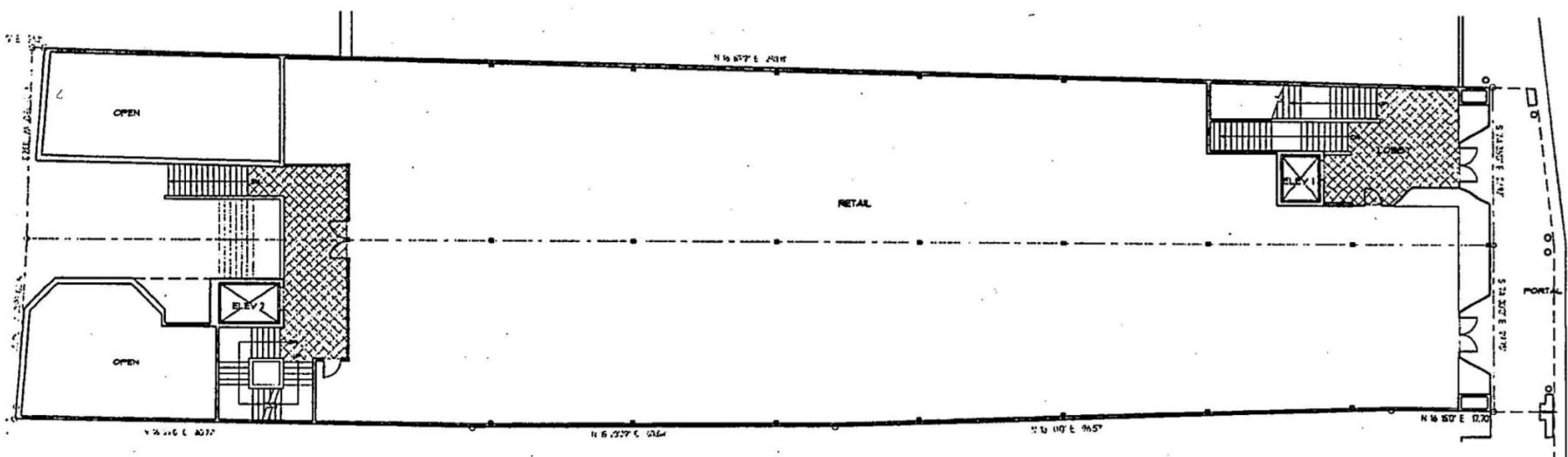
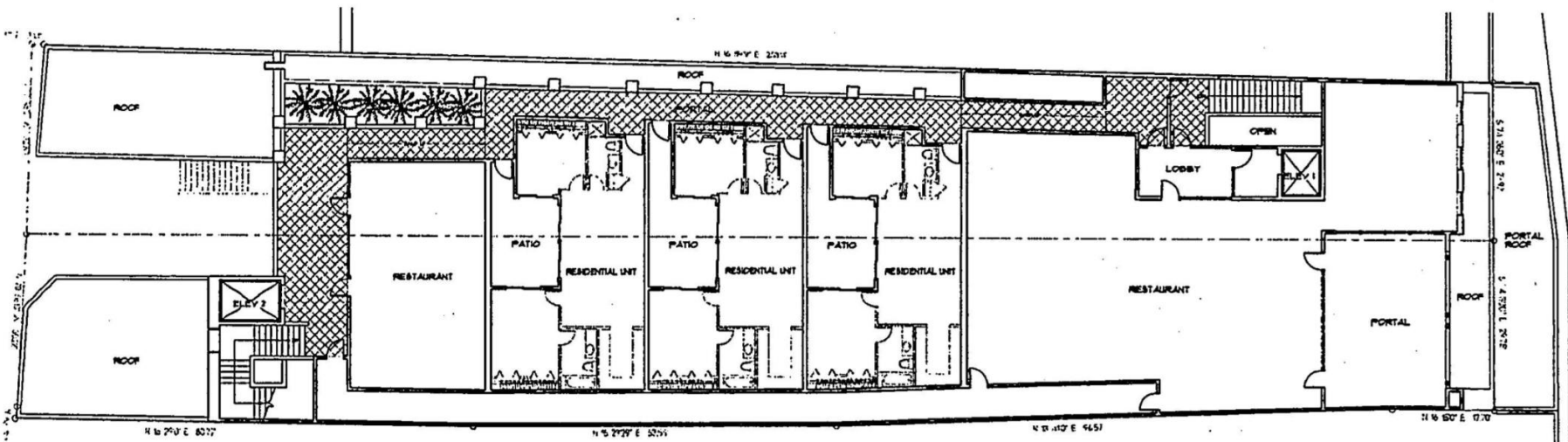
Drawn by: TASSIER  
 Checked by: 9714

Scale: 1/8" = 1'-0"

Scale: 1/8" = 1'-0"



A-1

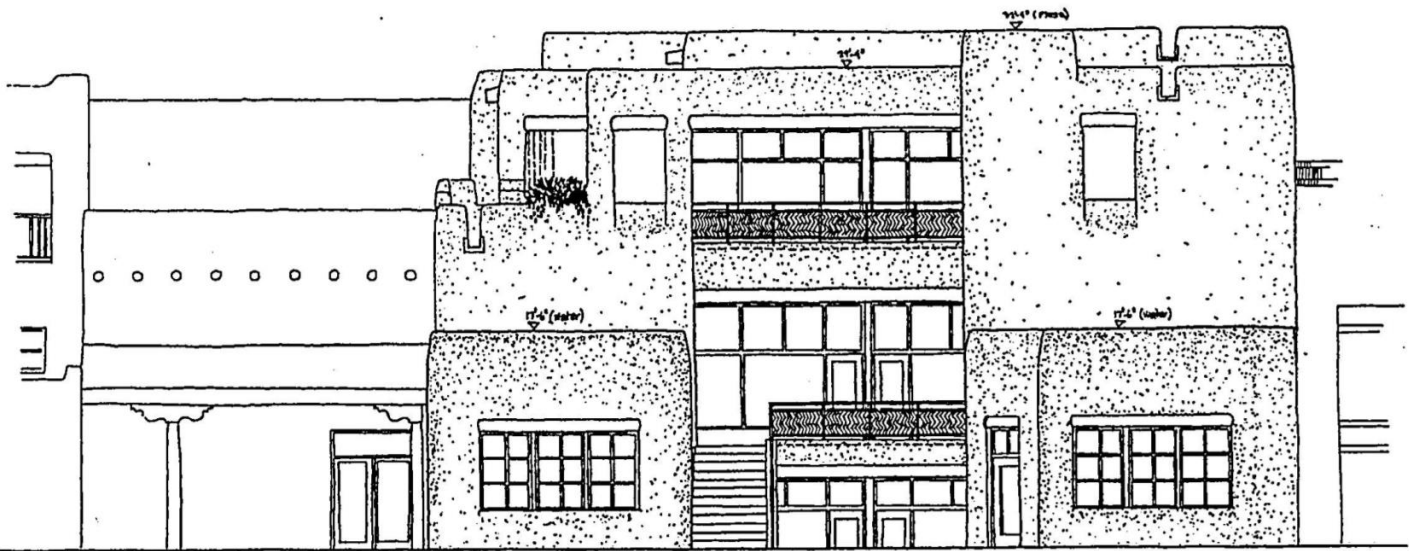


Lloyd and Tryk  
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 261 NORTH CALIFORNIA AVENUE, SUITE 201  
 SANTA FE, NEW MEXICO 87501  
 TELEPHONE: 505-466-1999 FAX: 505-466-1116

60 EAST SAN FRANCISCO STREET  
 NEW MEXICO  
 SANTA FE

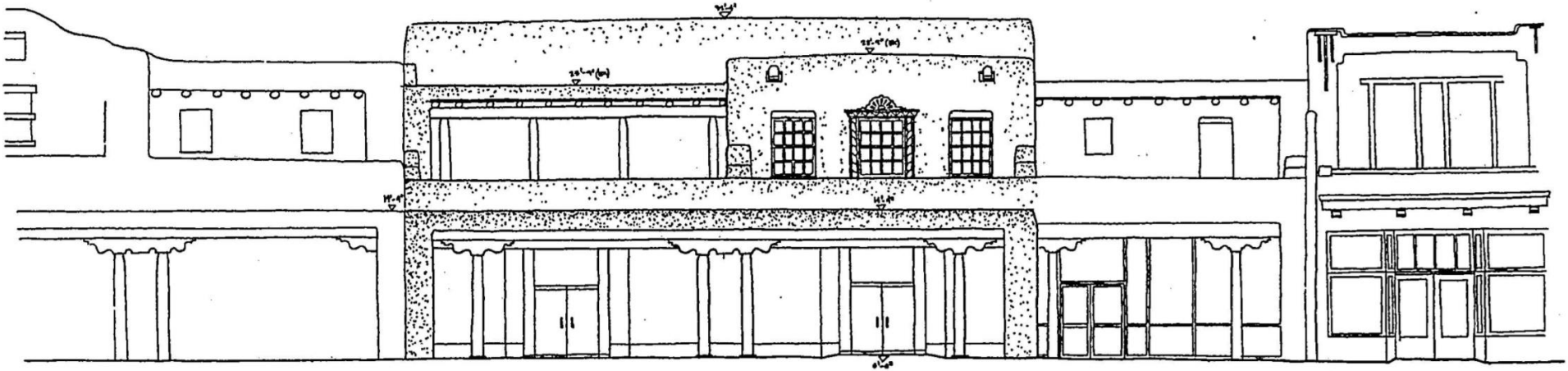
Date: 15 MAY 1998  
 Drawn by:  
 Checked by:  
 Job No: 9714  
 Name of:  
 FLOOR PLANS

1/8" = 1'-0"  
 A-2



WATER STREET ELEVATION

1/4" = 1'-0"



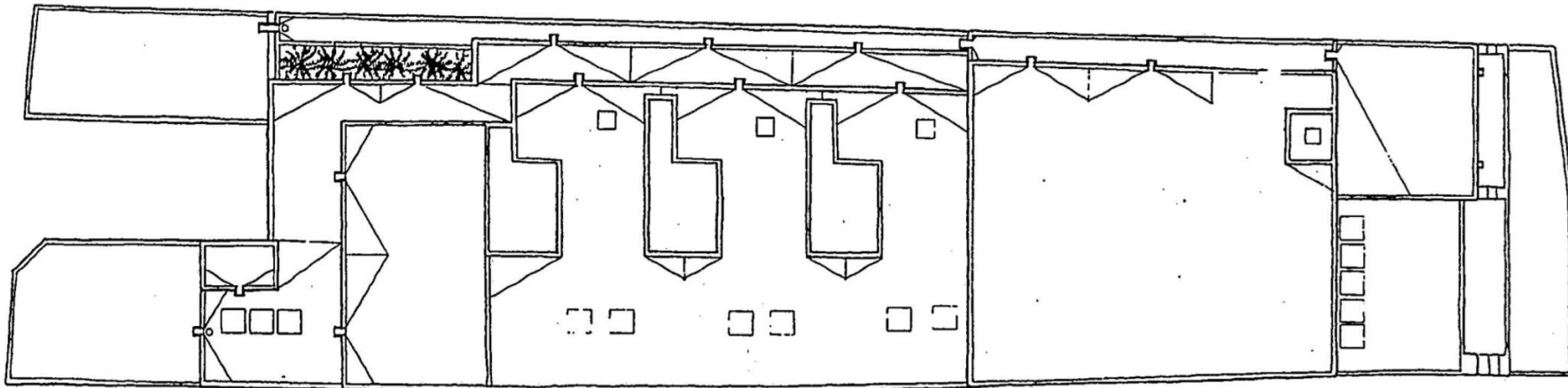
PLAZA ELEVATION

1/4" = 1'-0"

McHugh-Lloyd-Trak  
ARCHITECTS  
301 N. CALIFORNIA STREET, 2ND  
FLOOR, SAN FRANCISCO, CALIF. 94104  
TELEPHONE 392-7700 FAX 392-9446

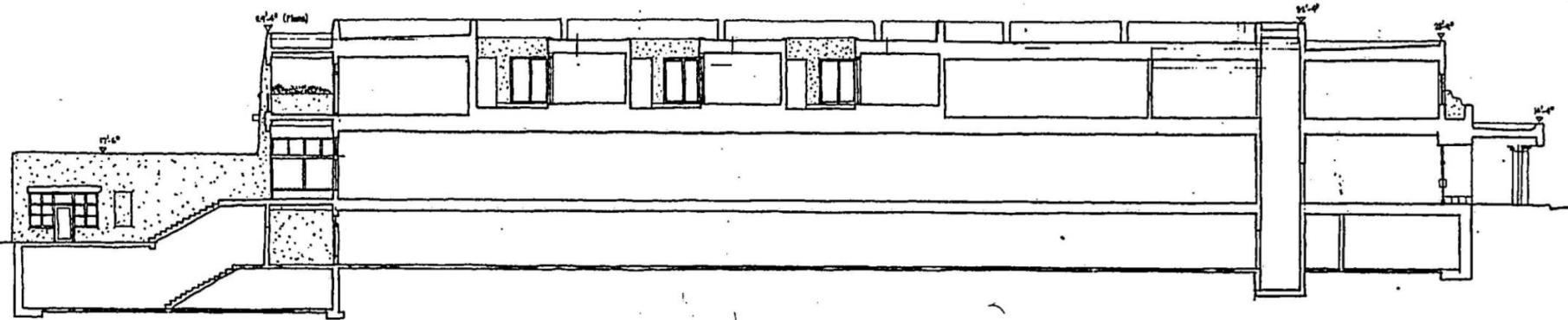
60 EAST SAN FRANCISCO STREET  
SANTA FE NEW MEXICO

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 Show Title: ELEVATIONS  
 Sheet No.: A-3



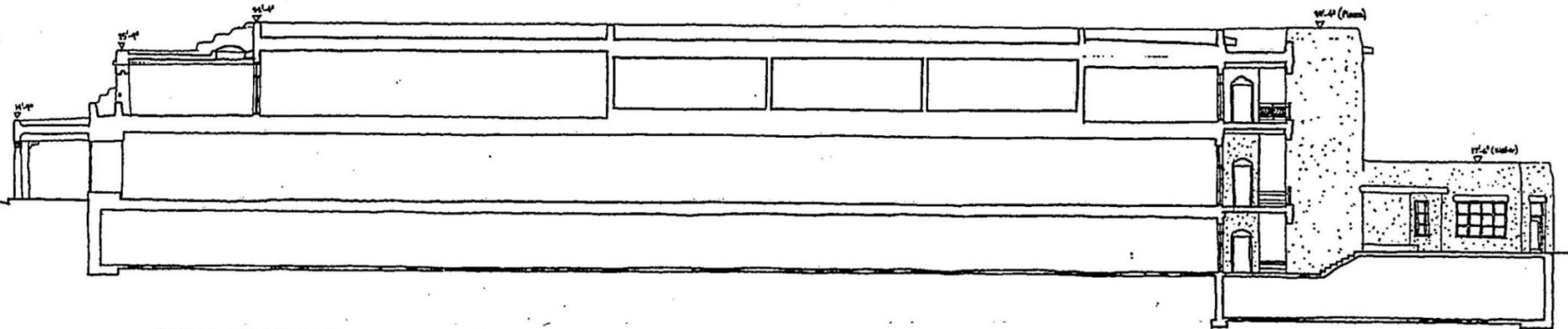
ROOF PLAN

1/8" = 1'-0"



SECTION LOOKING WEST

1/8" = 1'-0"



SECTION LOOKING WEST

1/8" = 1'-0"

McHugh-Lloyd-Tink  
**A R C H I T E C T S**  
 201 N. CALIFORNIA STREET, SAN  
 FRANCISCO, CALIF. 94102  
 TELEPHONE 392-5175

**60 EAST SAN FRANCISCO STREET**  
 SANTA FE  
 NEW MEXICO

Date: 15 MAY 1966

Revised:

Drawn By:

Checked By:

Job Number: 9714

Sheet Title:

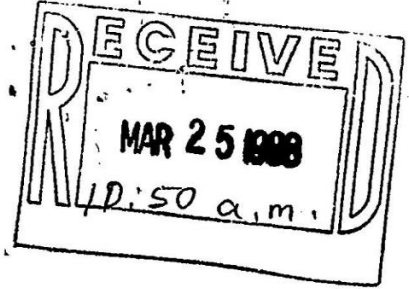
**ROOF PLAN  
 SECTIONS**

Sheet No.:

Scale:

**A-4**

EXHIBIT (C)



HISTORIC DESIGN REVIEW BOARD APPLICATION FORM

Application Type: Preliminary Approval  Final Approval ( )

Project Location: 58-60 E. SAN FRANCISCO STREET

Owner: GERALD & KATHLEEN PETERS Phone: 988-9789

Address: PO BOX 908 City, State, Zip Code: SANTA FE NM 87504

Applicant: LLOYD & TRYK ARCHITECTS Phone: 988-9789

Address: 301 N. GUADALUPE City, State, Zip Code: SANTA FE NM 87501

Project Proposal: ALTERATIONS & ADDITIONS TO LOTS 7 & 8 OF BLOCK 9 "WOOLWORTHS"

New Construction: Single-Family Residence ( ) Commercial  MIXED USE Multi-Family Residence

Other Construction: Demolition  Remodel  Addition  Residential  Sign(s) ( ) Wall/Fence ( ) Antenna ( )

Have you met with a Historic Districts Case Planner for a preapplication visit? Yes  No ( )

If yes, who? ANNE CONDON Date? 3/24/98

Does the project include multi-story new construction or an addition which will increase the height of the subject building? Yes  No ( )

If yes, what is the appropriate streetscape height (as determined during your preapplication visit)?

Plaza: 28'-4" + 4' for sloping = 32'-4" ; Water St. 24'-5" site

What is the proposed height as illustrated in your project? 32'-4" PLAZA 16'-6" WATER STREET

Have you met with the appropriate Zoning staff in the Permit and Development Review Division to determine that your project conforms with the city's zoning standards? Yes  No ( )

If yes, who? GILBERT CATANACH Date? 3/24/98

If you have not met with Zoning staff, please do so prior to submitting for HDRB review. All cases must comply with zoning requirements prior to review by the HDRB. Meeting with staff prior to the HDRB review will aid in expediting the permit process. Call 984-6571 for more information on required zoning.

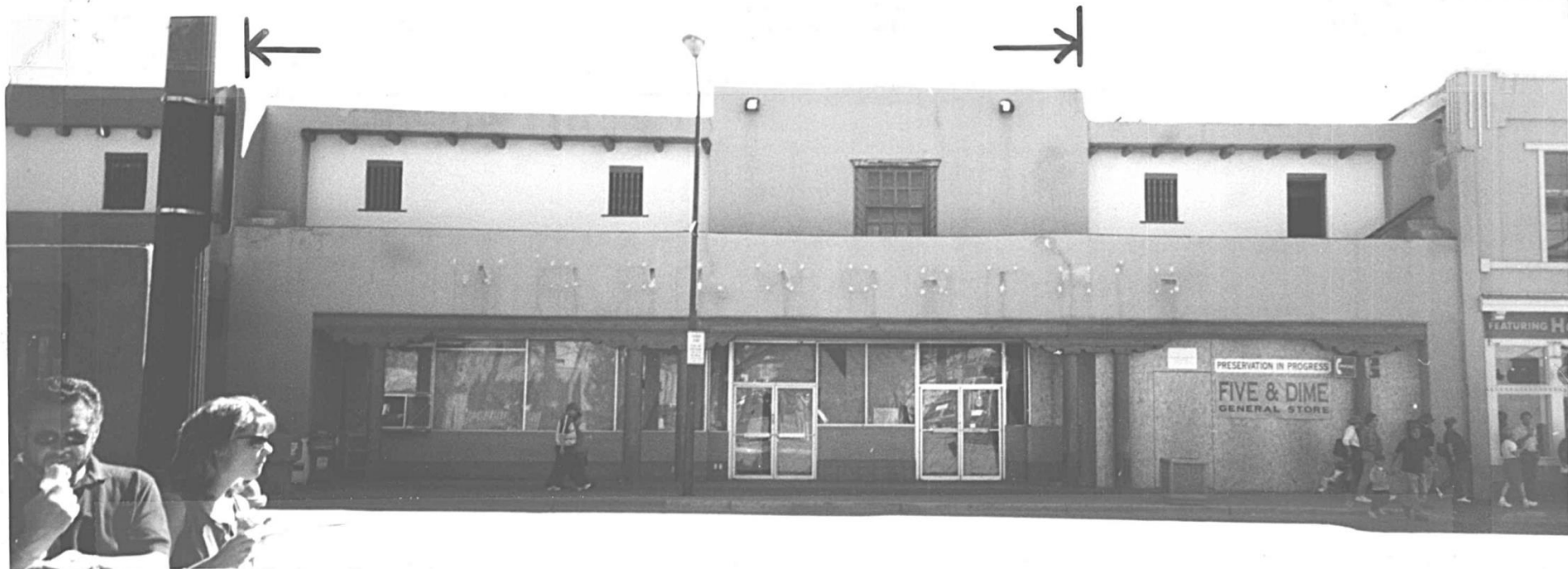
I certify that the documents submitted for Historic Design Review meet the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

Signature of Applicant or Owner: [Handwritten Signature]

Date: 3/25/98



E. SAN FRANCISCO STREET



WATER STREET

H-98-78 58-60 E. SAN FRANCISCO ST.



# City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

Larry A. Delgado, *Mayor*  
Jim Romero, *City Manager*

## *Councilors:*

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4  
Patti J. Bushee, Dist. 1  
David Pfeffer, Dist. 1  
Karen Heldmeyer, Dist. 2  
Rebecca Wurzbarger, Dist. 2  
Miguel M. Chavez, Dist. 3  
David Coss, Dist. 3  
Matthew E. Ortiz, Dist. 4

Project description : RHB ELV/RMV STRWL/RDENT PRTL HGT/STBKS  
Project number : 02-10100105  
Case number : H-02-104  
Project type : HISTORIC DESIGN REVIEW BOARD

**PROJECT LOCATION (S):** 60 EAST SAN FRANCISCO  
**HISTORIC DISTRICT:** DOWNTOWN & EASTSIDE

## **PROJECT NAMES:**

OW - Santa Fe Prop. Development Corp.  
Santa Fe, NM 87505

4056 Cerrillos Road  
505-424-9081

AP - Thomas krahen burhl & Truett Roberts  
Dallas, TX 75201

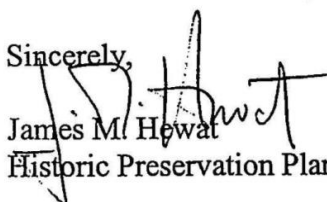
109 Stone Place  
214-855-9344

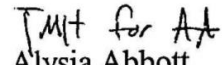
## **BOARD ACTION**

This is to certify that the Historic Design Review Board (HDRB) at their meeting on August 20, 2002, acted on the above referenced case. The decision of the board was to approve your request as submitted.

For further information please call 955-6605.

Sincerely,

  
James M. Hewat  
Historic Preservation Planner

  
Alysia Abbott  
Historic Preservation Planner

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). **PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.**

*"Committed to our community, and making a difference"*



# City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

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**PROJECT LOCATION (S): 60 EAST SAN FRANCISCO**  
**HISTORIC DISTRICT: DOWNTOWN & EASTSIDE**

## **PROJECT NAMES:**

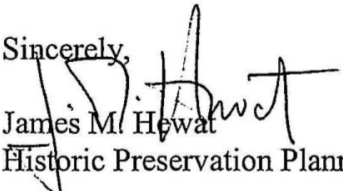
OW - Santa Fe Prop. Development Corp. Santa Fe, NM 87505	4056 Cerrillos Road 505-424-9081
AP - Thomas krahen burhl & Truett Roberts Dallas, TX 75201	109 Stone Place 214-855-9344

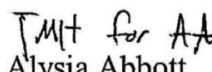
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*"Committed to our community, and making a difference"*

CASE OVERVIEW

Project# H-02-104

Project Address 60 EAST SAN FRANCISCO ST

Proposal ~~At~~ Propose changes, Taprenovally  
approved rehabilitation of Water Street  
San Francisco Street alterations including removal  
of extra stairwell, reduction of portal

PROJECT DATA

Historic District: DOWNTOWN <sup>GENST</sup> Historic Status: Non-Contributing

Historic Visible Façade: E W (N) (S)

Historic District Survey Number: \_\_\_\_\_

Year of Construction: \_\_\_\_\_

Project Type (New, Add, Etc.) ~~REPAIR~~ ADDITION

Use, Existing: COMMERCIAL

Use, Proposed: COMMERCIAL

Historic Building Name: WOLCOTT'S

Project #: 02-10100 Date of Appl: 7/31/02

Project Description: \_\_\_\_\_

Owner: Santa Fe Properties Devel. Corp Phone: (505) 424-9081

Address: 4056 Cerillos Rd

City, State, Zip: Santa Fe, NM 87505

Applicant: Thomas Krahen Buhl/Truett Roberts Phone: (214) 855-934

Address: 109 Stone Place

City, State, Zip: Dallas, TX 75201

# PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted 7-24-02  
Property Owner of Record SANTA FE PROPERTIES DEVEL. CORP.  
Applicant Name THOMAS K. RATHENBUHL / MICHAEL DUTY Phone 214-855-9344  
505-989-8882  
Site Address 600 EAST SAN FRANCISCO  
Proposed Construction MODIFICATIONS TO APPROVED & PERMITTED PLANS.  
HDRS approval req'd. -

TO BE COMPLETED BY STAFF:

Zoning District BCD Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Permitted Use:  Section # 14-6.1(B) 14-7.1(A)  
Accessory Use:  Section # \_\_\_\_\_  
Special Exception:  Case # \_\_\_\_\_  
Variance:  Case # \_\_\_\_\_  
Prohibited Use:  Section # \_\_\_\_\_

~~Setbacks:  
(Front) Provided \_\_\_\_\_ Minimum \_\_\_\_\_ (Rear) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
(Left Side) Provided \_\_\_\_\_ Minimum \_\_\_\_\_ (Right Side) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
(Special Yard) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
Density: \_\_\_\_\_ Open Space: \_\_\_\_\_  
Lot Size: \_\_\_\_\_ Total Roof Area: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Height: \_\_\_\_\_ Wall Requirement: \_\_\_\_\_  
Parking: # Required \_\_\_\_\_ # Provided \_\_\_\_\_ Maneuverability \_\_\_\_\_  
Other District Requirements: \_\_\_\_\_~~

Preliminary Approved   
Preliminary Approval w/ Conditions   
Preliminary Rejection

Comments: Modifications to previously approved plans do not raise  
any zoning issues  
Reviewer PHIL SHAFER Date 7/24/02

# City of Santa Fe, New Mexico

# memo

**DATE:** 20 August 2002  
**TO:** Historic Design Review Board Members  
**VIA:** Sandra Aguilar, Planning and Land Use Director  
Cyrus Samii, Planning Division Team Leader  
**FROM:** Alysia Abbott, Historic Preservation Planner



---

**ITEM & ISSUE:**

CASE # H-02-104

ADDRESS  
Historic Status  
Historic District

60 East San Francisco  
Non-contributing  
Downtown & Eastside

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- Case Synopsis
- District Standards
- State Historic Survey Sheet
- Other:

**APPLICANT SUBMITTALS**

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Preliminary Zoning Review Sheet

**STAFF RECOMMENDATION:**

Staff believes that the proposed changes to the approved plans for both the San Francisco and Water Street elevations meet the Design Guidelines for Changes to Non-contributing Buildings in the Downtown & Eastside Historic District. As such, staff recommends approval of the project.

**BACKGROUND & SUMMARY:**

Over the last several years the applicant has received approval from the HDRB for changes to the non-contributing building at 60 E. San Francisco. These approvals include rehabilitation of the Plaza Elevation, changes to the Water Street Elevation, and a height increase (H-98-143), More alterations to the Plaza elevation (H-99-35), and finally demolition of more than 50% of the remaining portion of the building (H-00-148). At this time the applicant proposes to make changes to the approved plans for the Water Street elevation (H-98-143) and the Plaza elevation (H-99-35).

Proposed changes to the previously approved Water Street plan include reduction of the entrance portal from three to two stories, with the removal of the exterior steps going down below Water Street. The exterior stair going to the Plaza level is also being eliminated. The elevator shaft visible from Water Street in original plans has been moved to the interior of the building. Finally, the entire elevation is moved west toward Water Street (street level by 24" and the upper level by 15'8").

Proposed changes to the previously approved San Francisco Street plan include reduction in width of two windows and the inclusion of a second row of transom lights under portal. Finally, the entire elevation is moved west away from San Francisco Street (the plaza level by 22'4", the second level by 13'4")

## 14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces, under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

■ THOMAS KRÄHENBÜHL, TRUETT ROBERTS, ARCHITECTS PLLC

109 Stone Place, Suite 203  
DALLAS TEXAS 75201  
PHONE (214) 855-9344  
FAX (214) 855-9346

July 30, 2002

Alicia Abbot  
Historical Design Review Board  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, New Mexico 87501

Re: 60 East San Francisco

Dear Alicia:

We are submitting a modification to the design of both, the Water Street and the Plaza elevation of 60 East San Francisco (old Woolworth location) for review by the Historic Design Review Board. This project was originally approved by HDRB, and the project is permitted for construction. Demolition and construction are proceeding under current approved design.

The owner recently decided to engage the services of a new architectural team on this project, and directed the new team to continue the project development process and to review all aspects of the construction documents. The new architect of record is Thomas Krähenbühl, Truett Roberts, Architects PLLC. In addition, Duty and Germanas, Architects Inc. will be assisting Mr. Krähenbühl in the completion of the project.

In the course of the complete review, the team examined the comments of Board members during the approval process. While the majority of the discussion with the HDRB took place relative to the Plaza elevation, there were some concerns expressed by board members about the design of the Water Street elevation. The new design team is suggesting some modifications, which enhance the Water Street elevation and which address some of the prior Board comments. These comments centered on the elevator shaft and its visibility from the street, and on the height of the entrance portal. In addition, economic, functional and urban considerations lead to an increase of the volume of the building on the Water Street side.

In an attempt to adjust the design and address these issues, we are presenting modifications to the Water Street elevation for HDRB consideration. The modifications include:

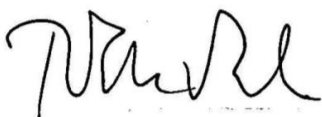
1. The Plaza Level and the Upper Level are pulled forward and are closer to Water Street. On the east side, the Plaza Level is pulled forward by 22'-4", the Upper Level by 13'-4"; on the west side, the Plaza Level is pulled forward by 24'-0", the Upper Level by 15'-8". This proposed change results in a bigger volume of the building, yet in slightly less overall net leasable space than in the current approved plans (31,401 SF approved, new design 31,046 SF).
2. The elevator shaft has been moved to the center of the building and is no longer visible from the street.
3. The Water Street entrance portal has been reduced from a 3-story element to a 2-story element. The parapet of the balcony on the Upper Level consists of a solid wall.
4. The exterior steps on the Water Street side down to the entrance on the lower level of the building have been moved to the inside of the building.
5. The exterior stairway up to the Plaza level has been deleted.
6. The width of the entrance passageway has been reduced by the width of the deleted exterior stairway, from 20'-6" to 15'-0".
7. On the Water Street end of the Plaza and Upper Level plan, retail and office space has been moved to where the balcony used to be as part of the surround of the old elevator shaft and to allow the stairs to be interior. This change explains in part the increased volume of the building.

We believe these modifications will improve the elevations and directly address aspects of design as commented on previously by board members. This modification also results in an improvement to the design in the way it relates to the adjoining structures and, in that regard, appears to improve the streetscape. Again, none of these changes increase the amount of retail or office space over that which was approved.

In addition to the modifications to the Water Street elevation, the design team is also proposing minor adjustments to glass, window and door sizes on the Plaza elevation. In each case it is proposed to make the glass, window and door sizes smaller, which will improve the appearance of that façade.

We will meet with staff to review these proposed modifications, and we are available to submit any additional information required. It is our hope that both Board and staff will find these improvements worth of inclusion in the project.

Sincerely,



Thomas Krähenbühl



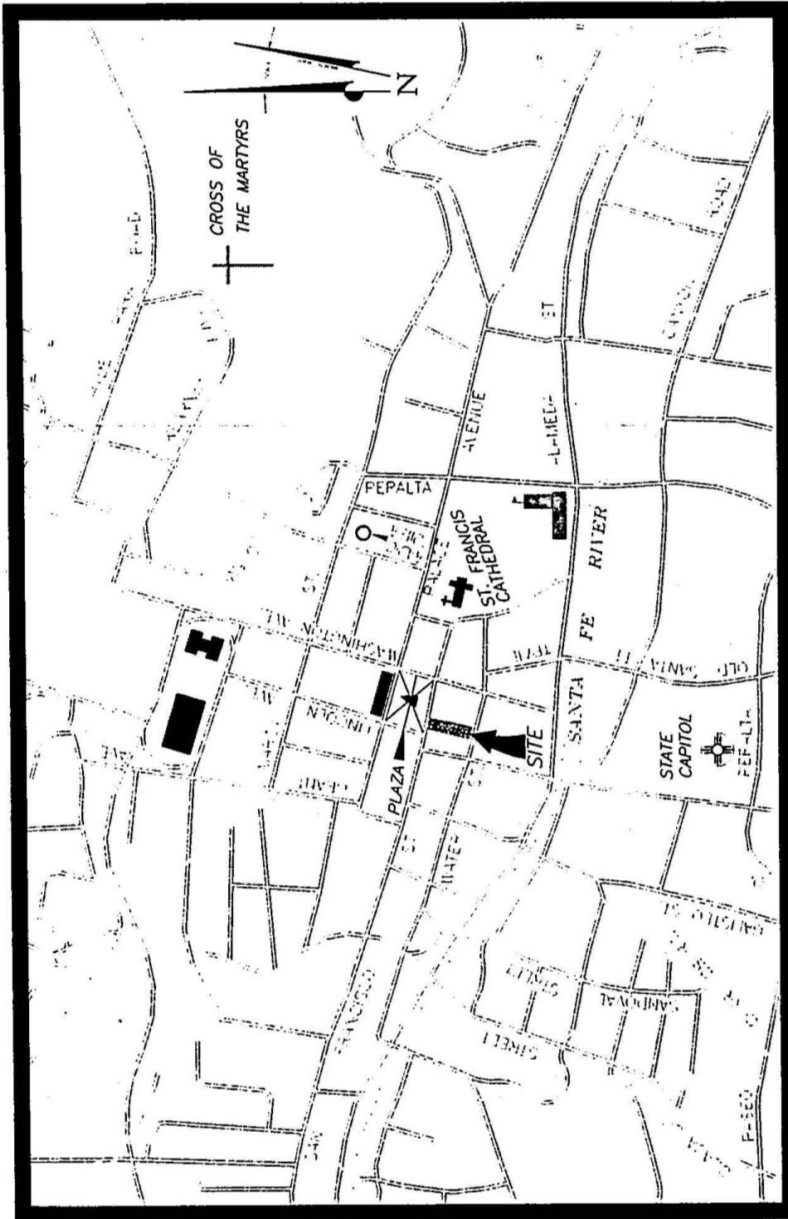
O. Michael Duty

60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
Santa Fe, NM 87505  
505 424-9081

ARCHITECT:  
Thomas Krahenbuhl  
Truett Roberts, PLLP  
1925 San Jacinto  
Dallas, Texas, 75201  
214.207.7987 tk  
214.855-9344 tr  
214.855-9346 fax  
Truett Roberts NM Registration  
Number 3820, exp 12/31/03

ASSOCIATED ARCHITECT:  
Duty & Germanas Architects, Inc.  
1233 Paseo de Peralta  
Santa Fe, NM 87505  
505 989-8882  
505 989-9088 fax

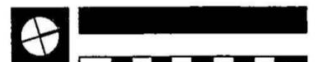


NOT FOR CONSTRUCTION

ISSUED: 7.22.02  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# 2 0 0 0 8

VICINITY MAP

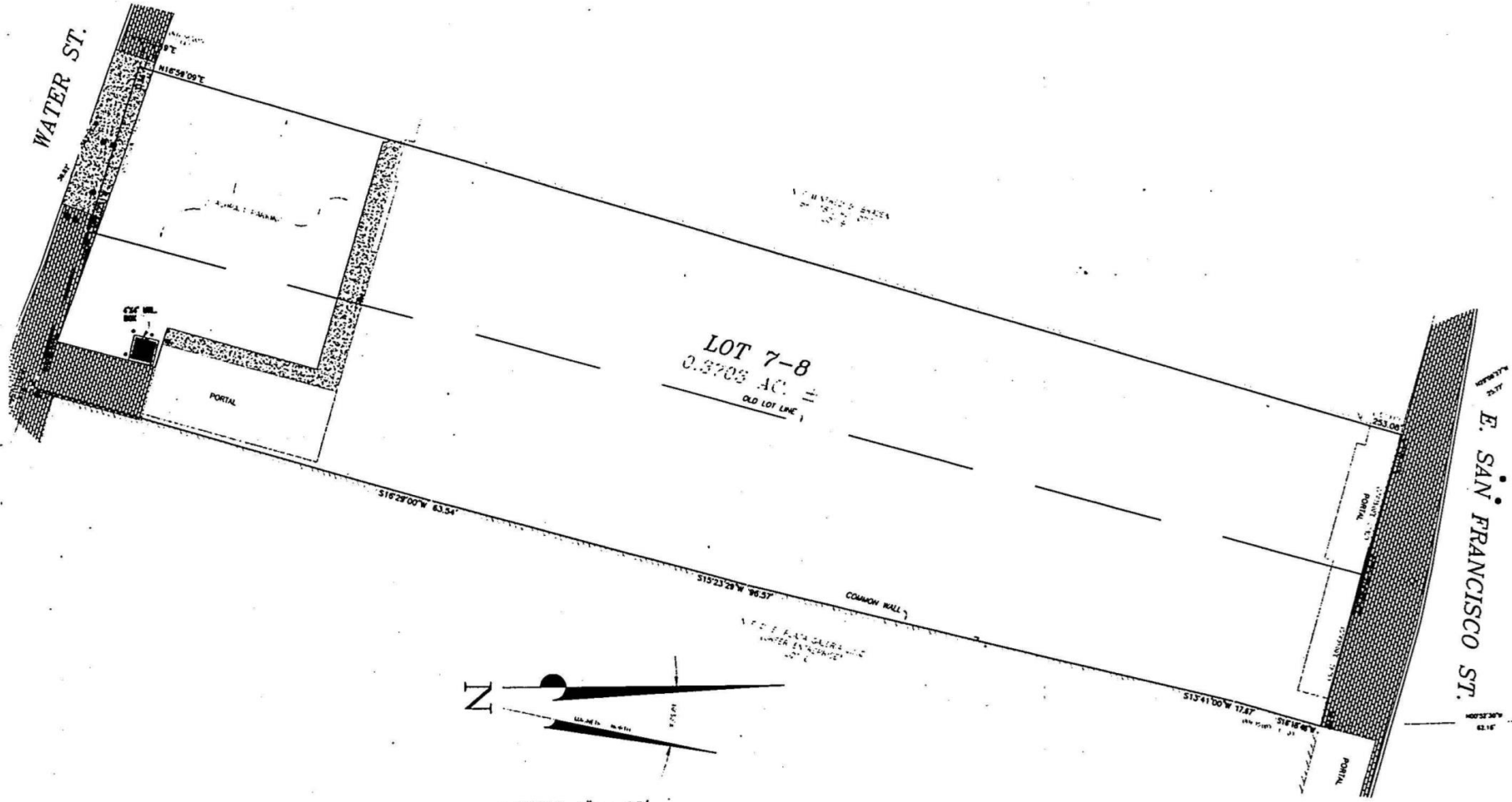


60 EAST SAN FRANCISCO STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
Santa Fe, NM 87505  
505 424-9081

ARCHITECT:  
Thomas Krahenbuhl  
Truett Roberts, PLLP  
1925 San Jacinto  
Dallas, Texas, 75201  
214.207.7987 tk  
214.855-9344 tr  
214.855-9346 fax  
Truett Roberts NM Registration  
Number 3820, exp 12/31/07

ASSOCIATED ARCHITECT:  
Duty & Germanas Architects, Inc.  
1233 Paseo de Peralka  
Santa Fe, NM 87505  
505 989-8882  
505 989-9088 fax



SCALE 1" = 10'  
0' 10' 20' 30'

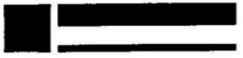
NOT FOR CONSTRUCTION

ISSUED: 7.22.02


# 2 0 0 0 8

A0.02

SITEPLAN



60 EAST SAN FRANCISCO STREET  
 SANTA FE, NEW MEXICO 87501

OWNER:

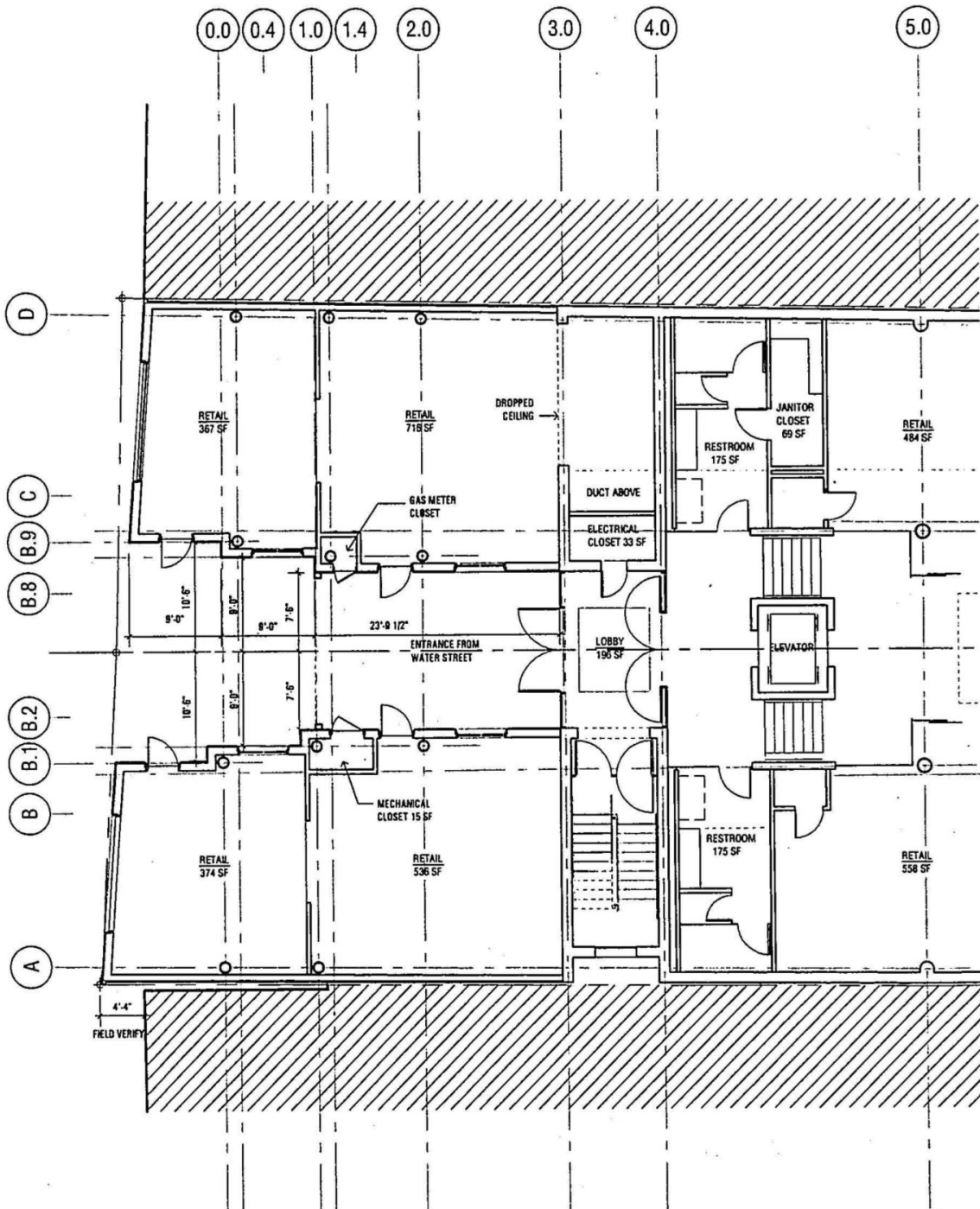
Santa Fe Properties  
 Development Company  
 4056 Cerrillos Road  
 Santa Fe, NM 87505  
 505 424-9081

ARCHITECT:

Thomas Krahenbuhl  
 Truett Roberts, PLLP  
 1925 San Jacinto  
 Dallas, Texas, 75201  
 214.207.7987 tk  
 214.855-9344 tr  
 214.855-9346 fax  
 Truett Roberts NM Registration  
 Number 3820, exp 12/31/03

ASSOCIATED ARCHITECT:

Duty & Germanas Architects, Inc.  
 1233 Paseo de Peralta  
 Santa Fe, NM 87505  
 505 989-8882  
 505 989-9088 fax



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ISSUED: 7.29.02

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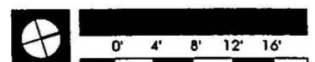
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# 2 0 0 0 8

1.01  
 WATERSTREET PLAN



60 EAST SAN FRANCISCO STREET  
SANTA FE, NEW MEXICO 87501

OWNER:

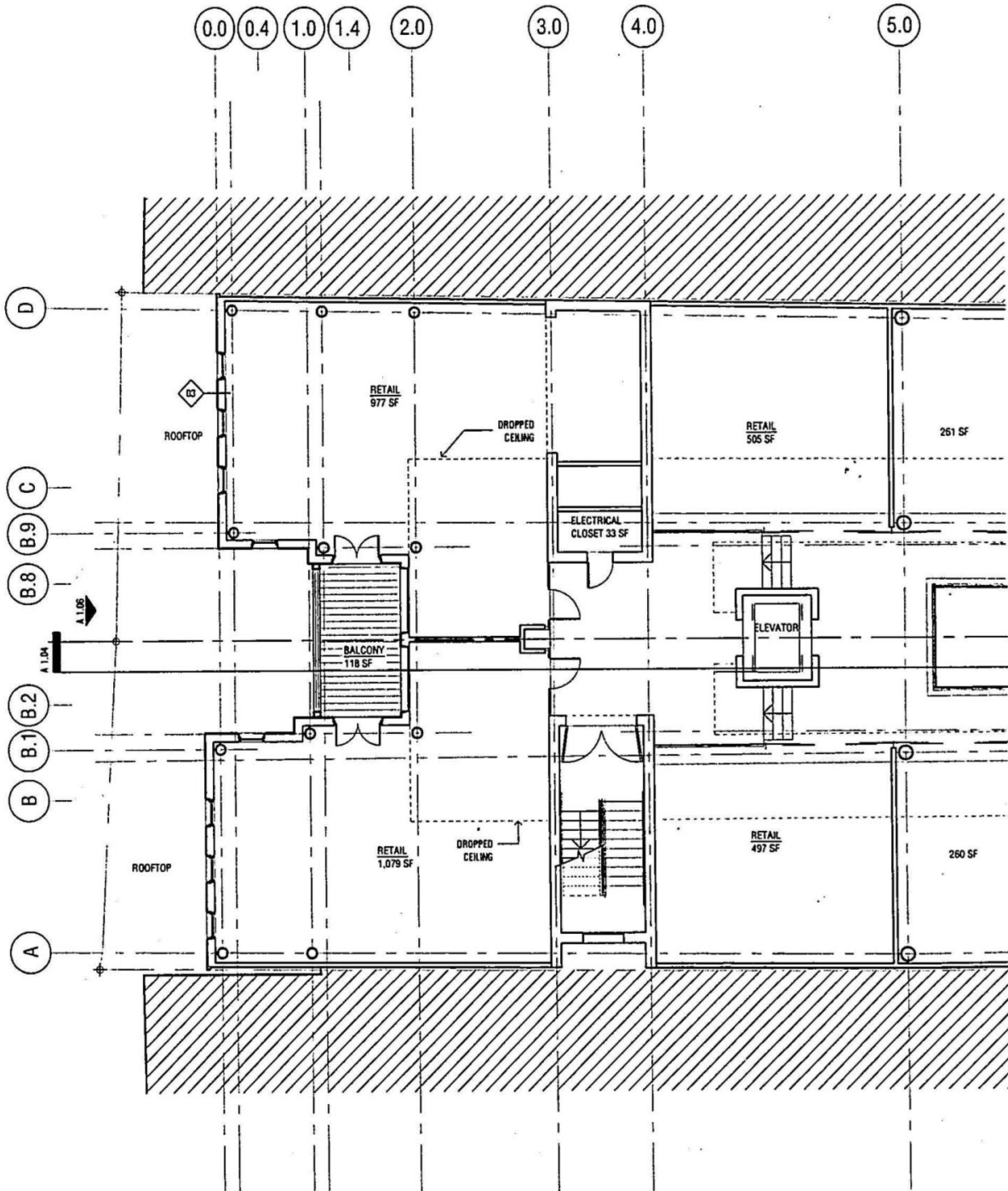
Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
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505 424-9081

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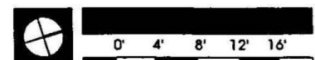


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# 2 0 0 0 8

A1.02  
PLAZA PLAN



60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:

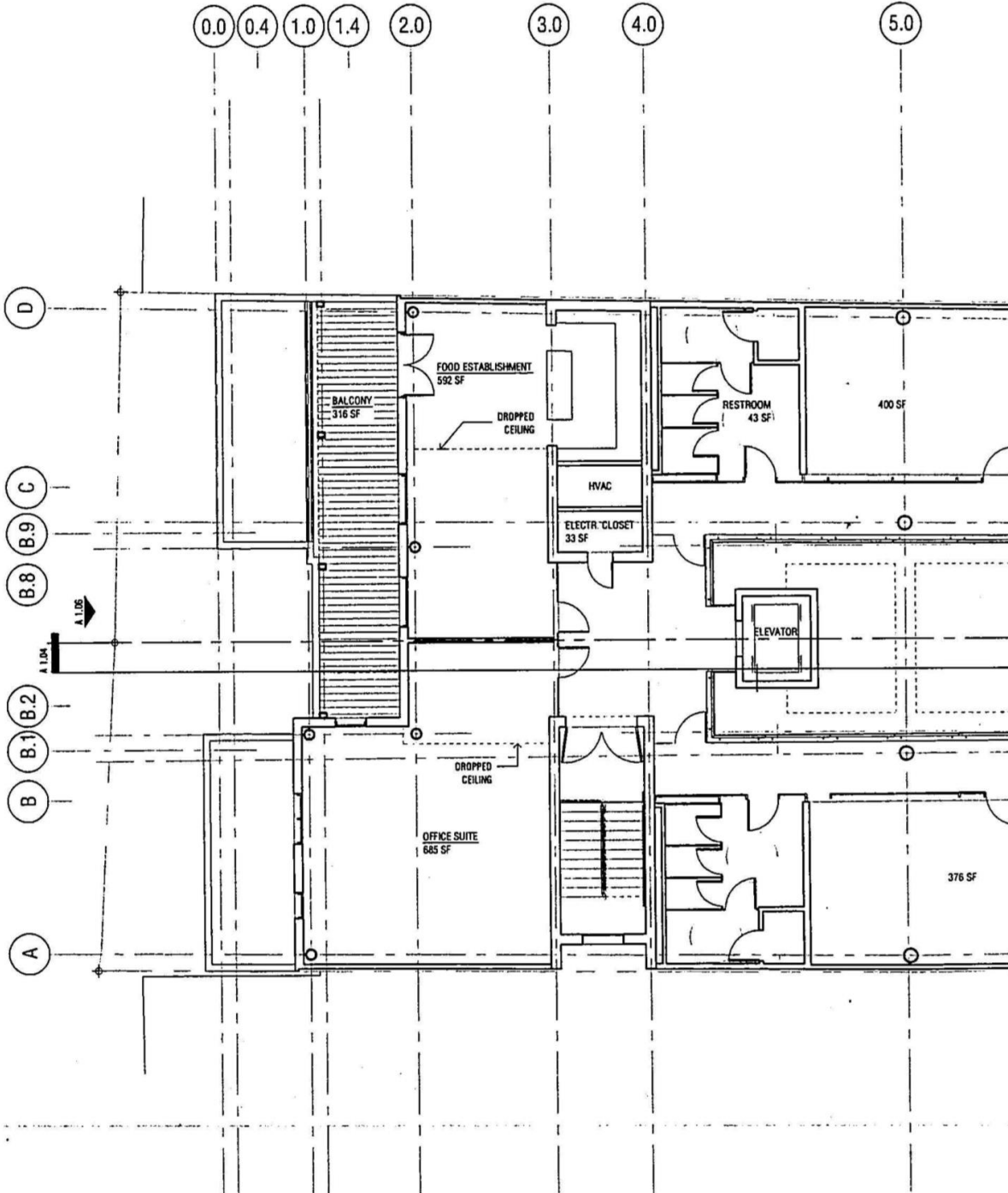
Santa Fe Properties  
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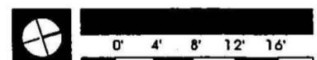


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A1.03  
UPPER PLAN

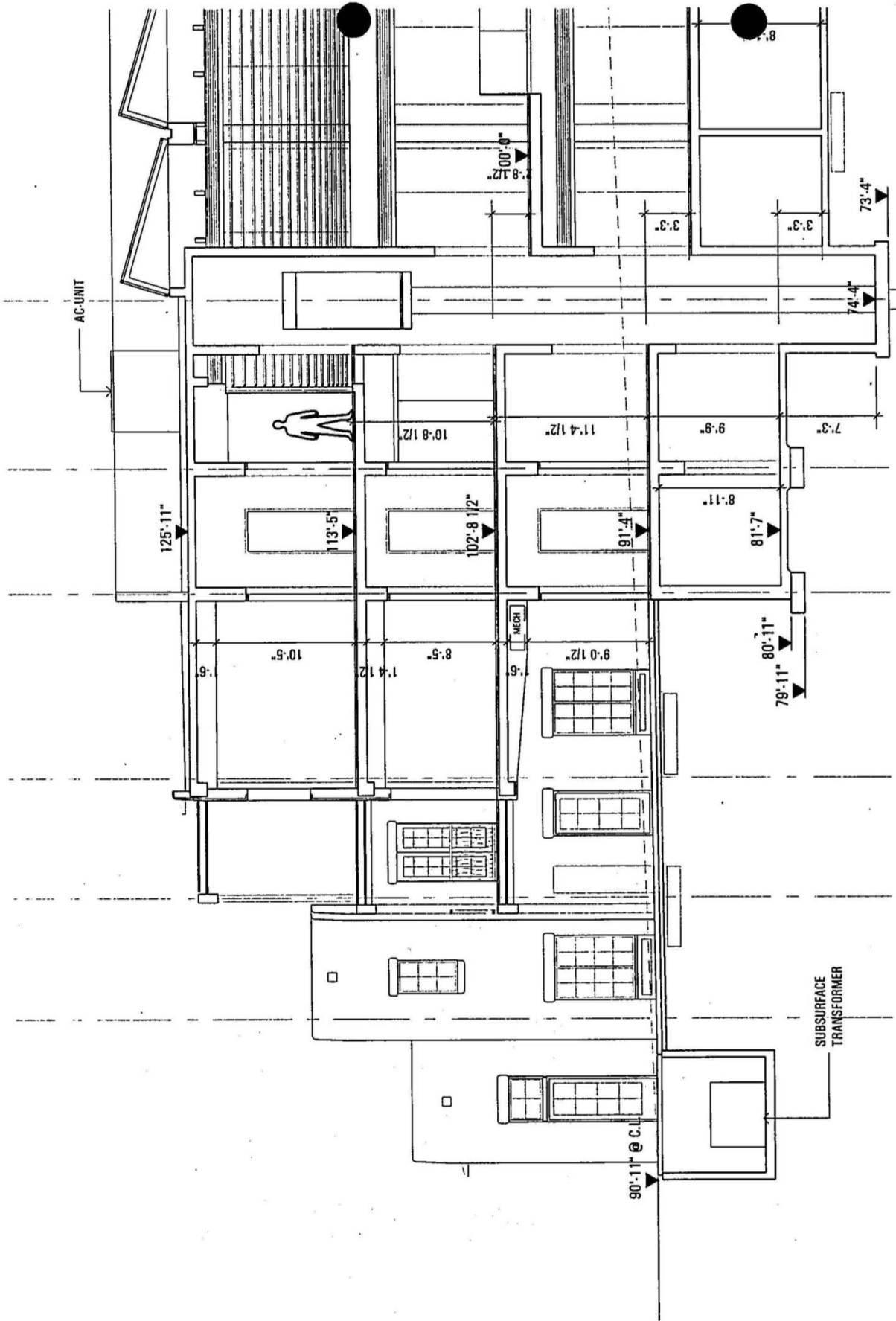


60 EAST SAN FRANCISCO STREET  
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# 2 0 0 0 8

A1.04  
 SECTION 1

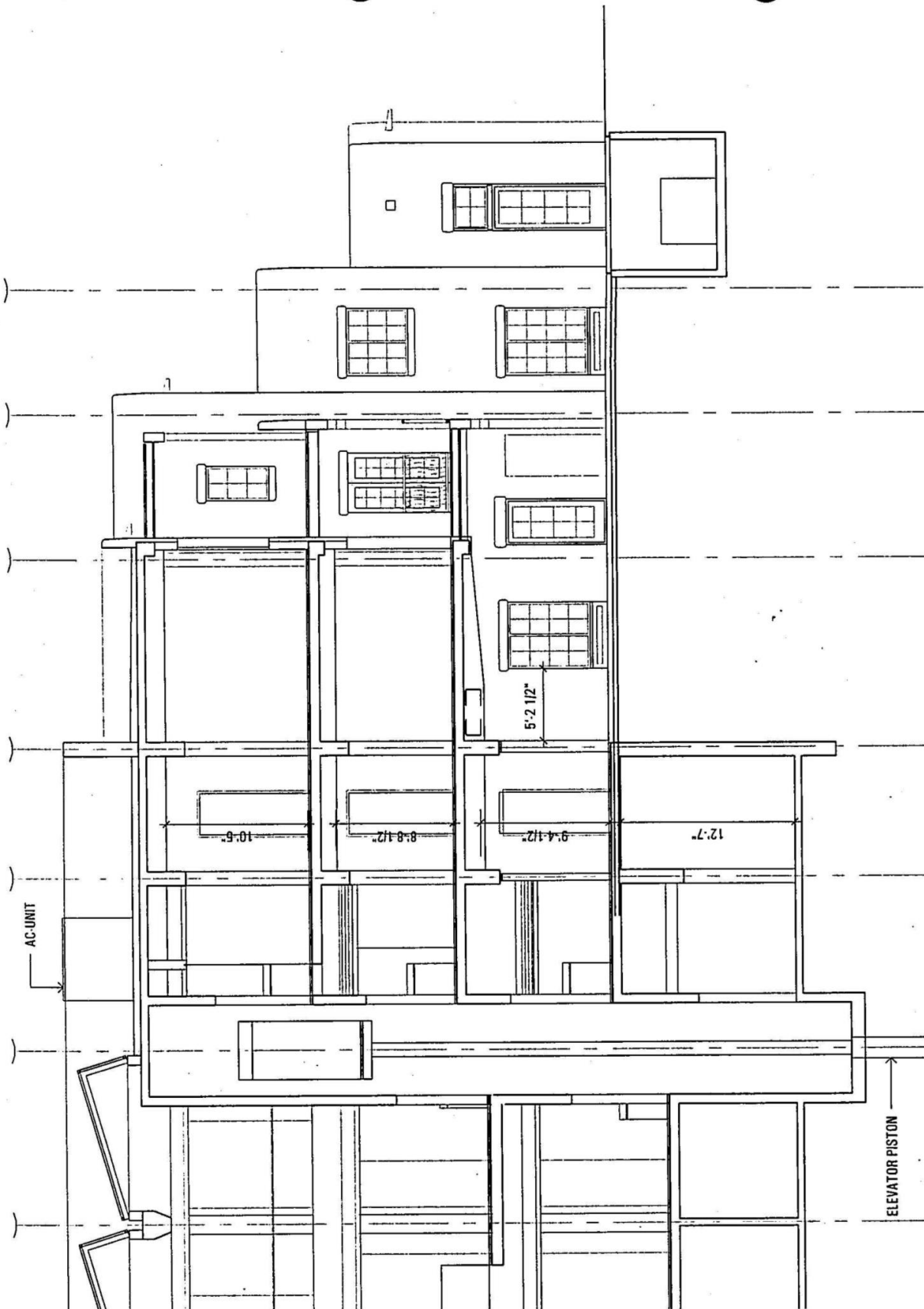


60 EAST SAN FRANCISCO  
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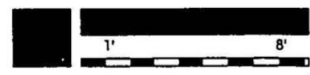
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# 2 0 0 0 8

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SECTION 2

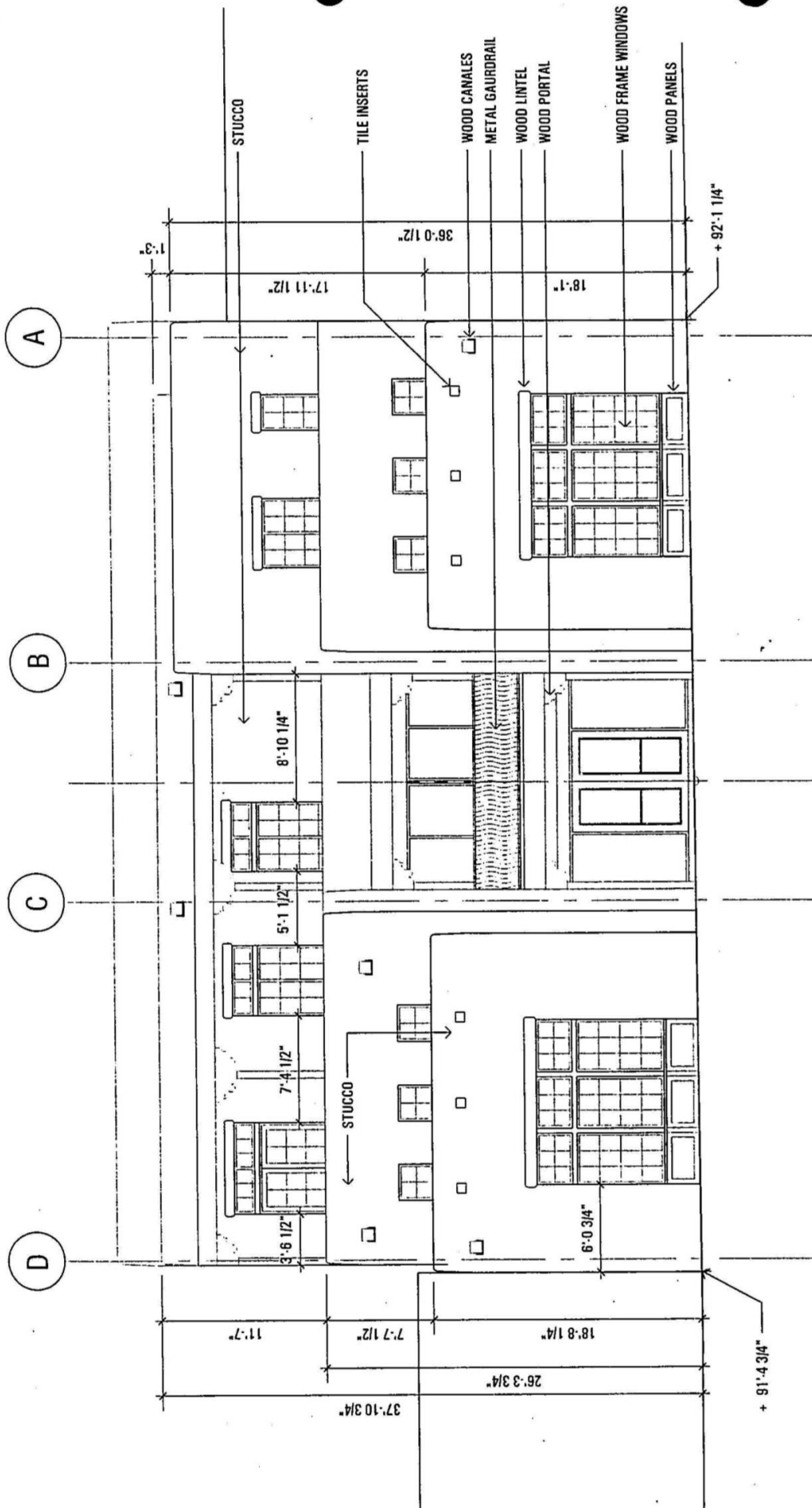


60 EAST SAN FRANCISCO STREET  
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# 2 0 0 0 8

A1.06

WATER STREET ELEVATION



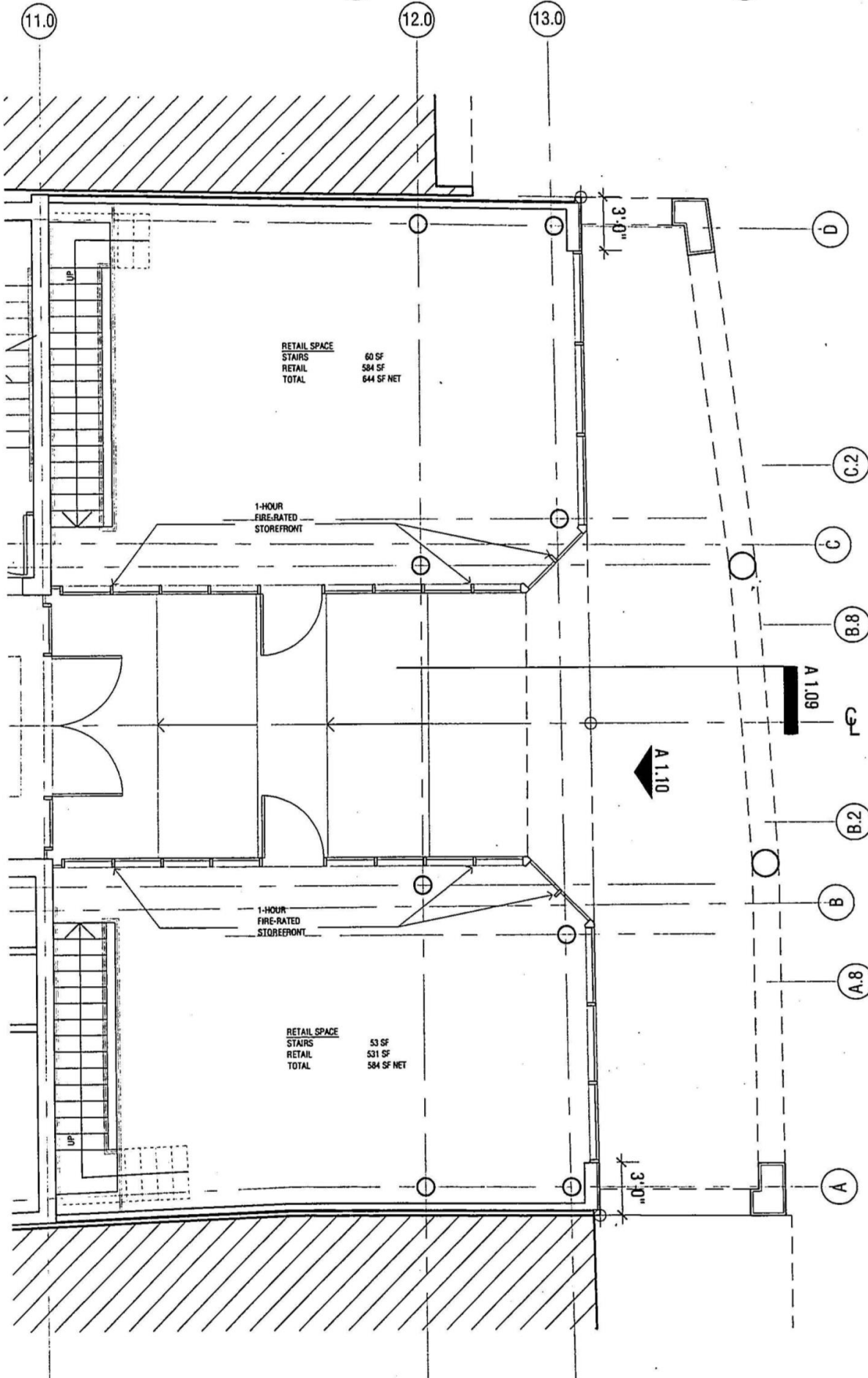


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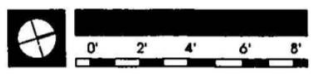
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# 2 0 0 0 8

**A1.08**  
PLAZA LEVEL PLAN  
SCALE 1/8" = 1'-0"



60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:

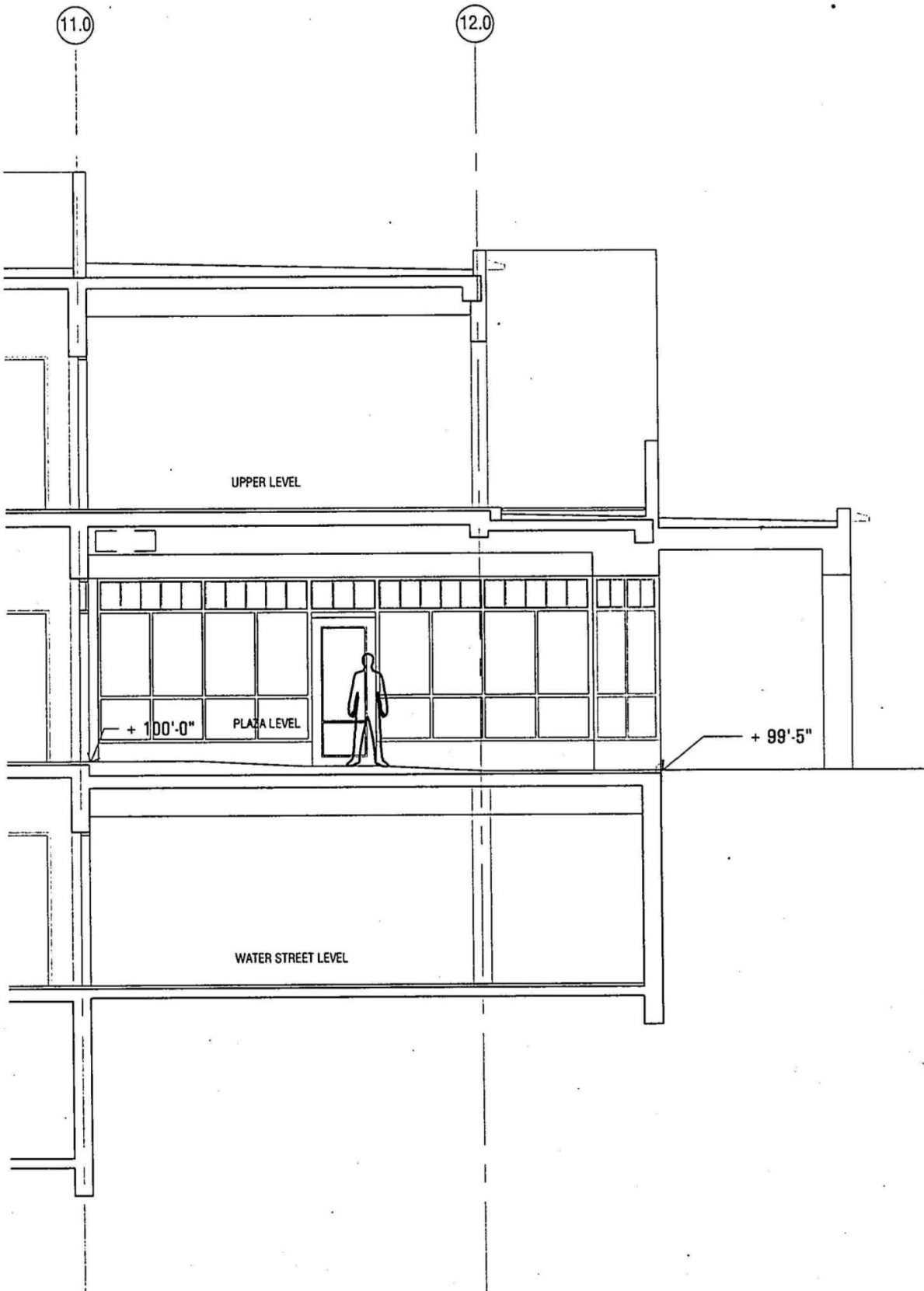
Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
Santa Fe, NM 87505  
505 424-9081

ARCHITECT:

Thomas Krahenbuhl  
Truett Roberts, PLLP  
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505 989-9088 fax

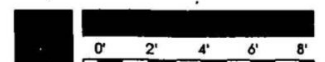


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# 2 0 0 0 8

A1.09  
PLAZA SECTION  
SCALE 1/8" = 1'-0"

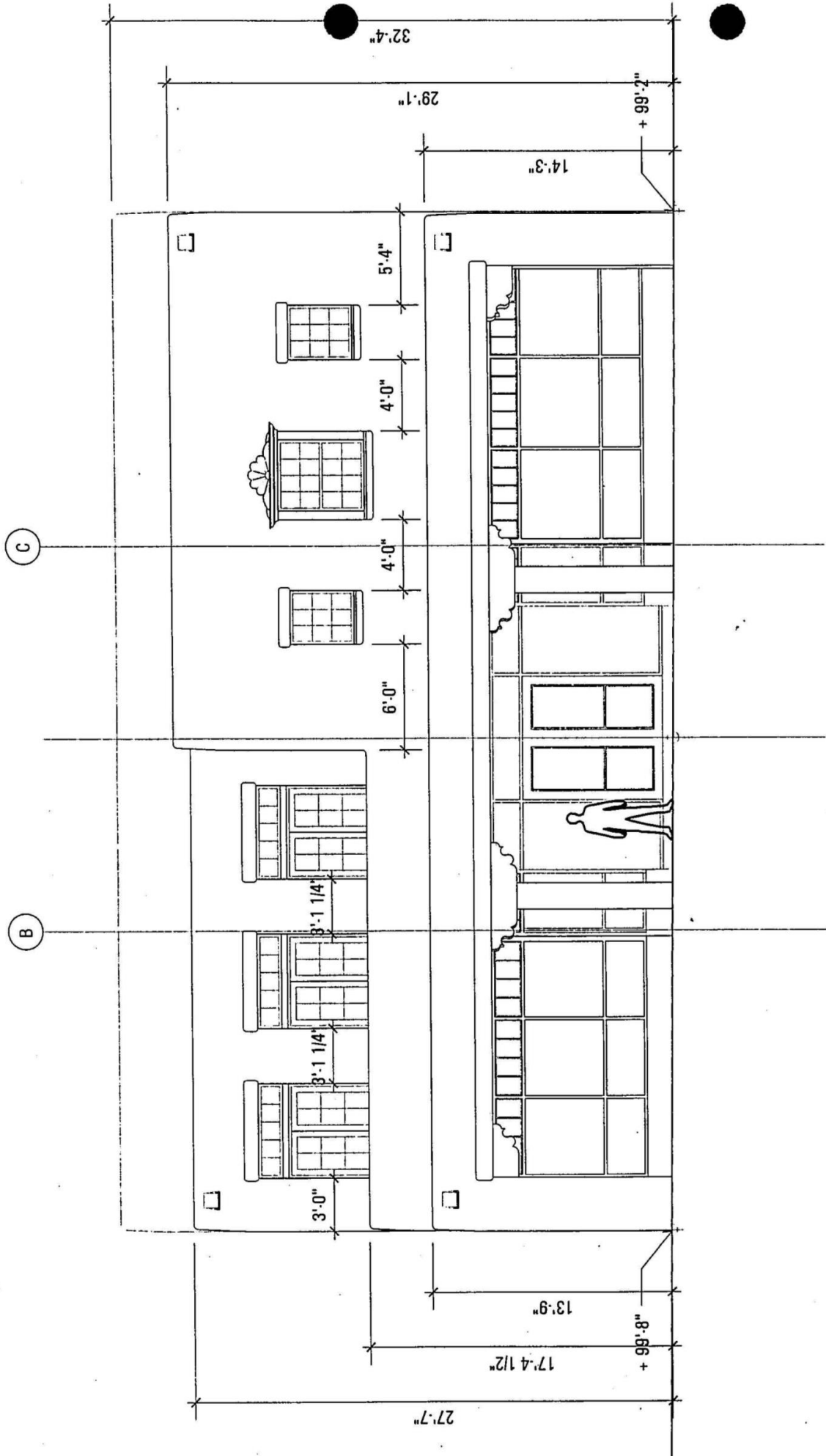


60 EAST SAN FRANCISCO STREET  
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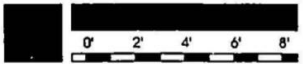
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# 2 0 0 0 8

A1.10  
 PLAZA ELEVATION  
 SCALE 1/8" = 1'-0"

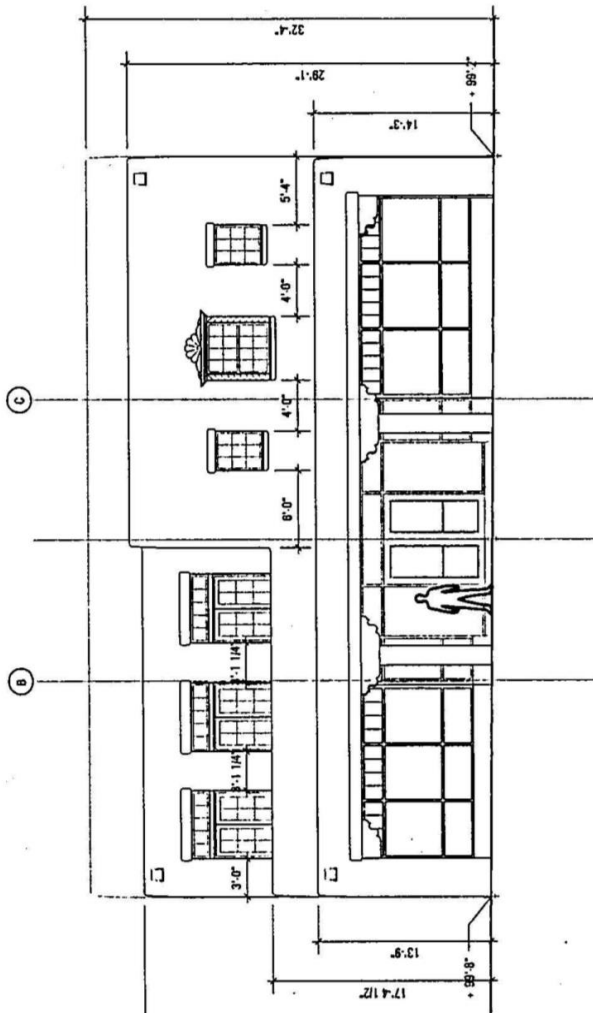
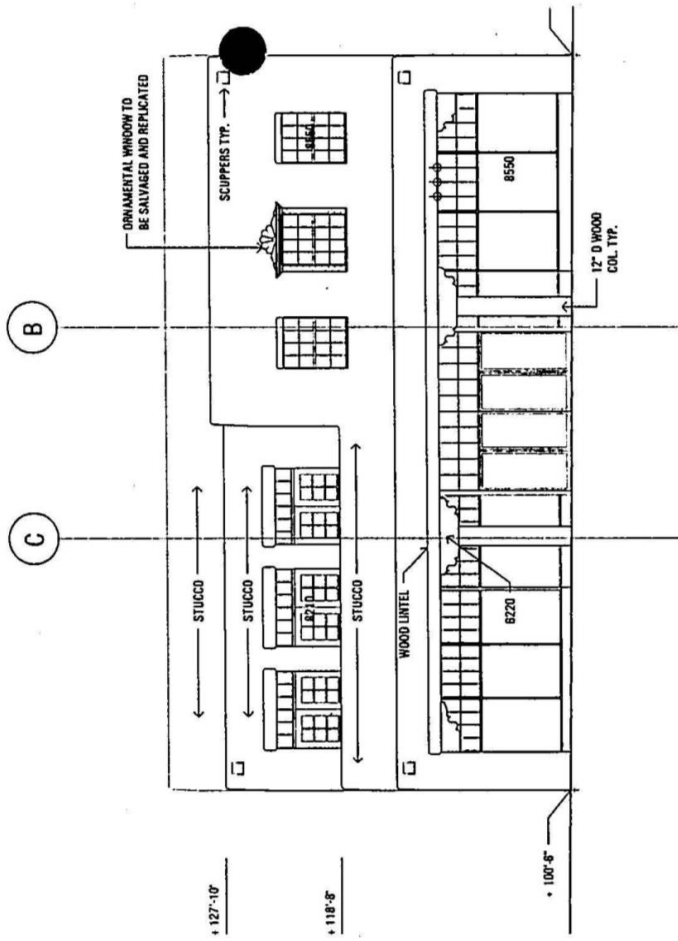


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NOT FOR CONSTRUCTION

ISSUED: 7.22.02

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# 2 0 0 0 8

A1.11  
 PLAZA ELEVATIONS  
 APPROVED VS. PROPOSED

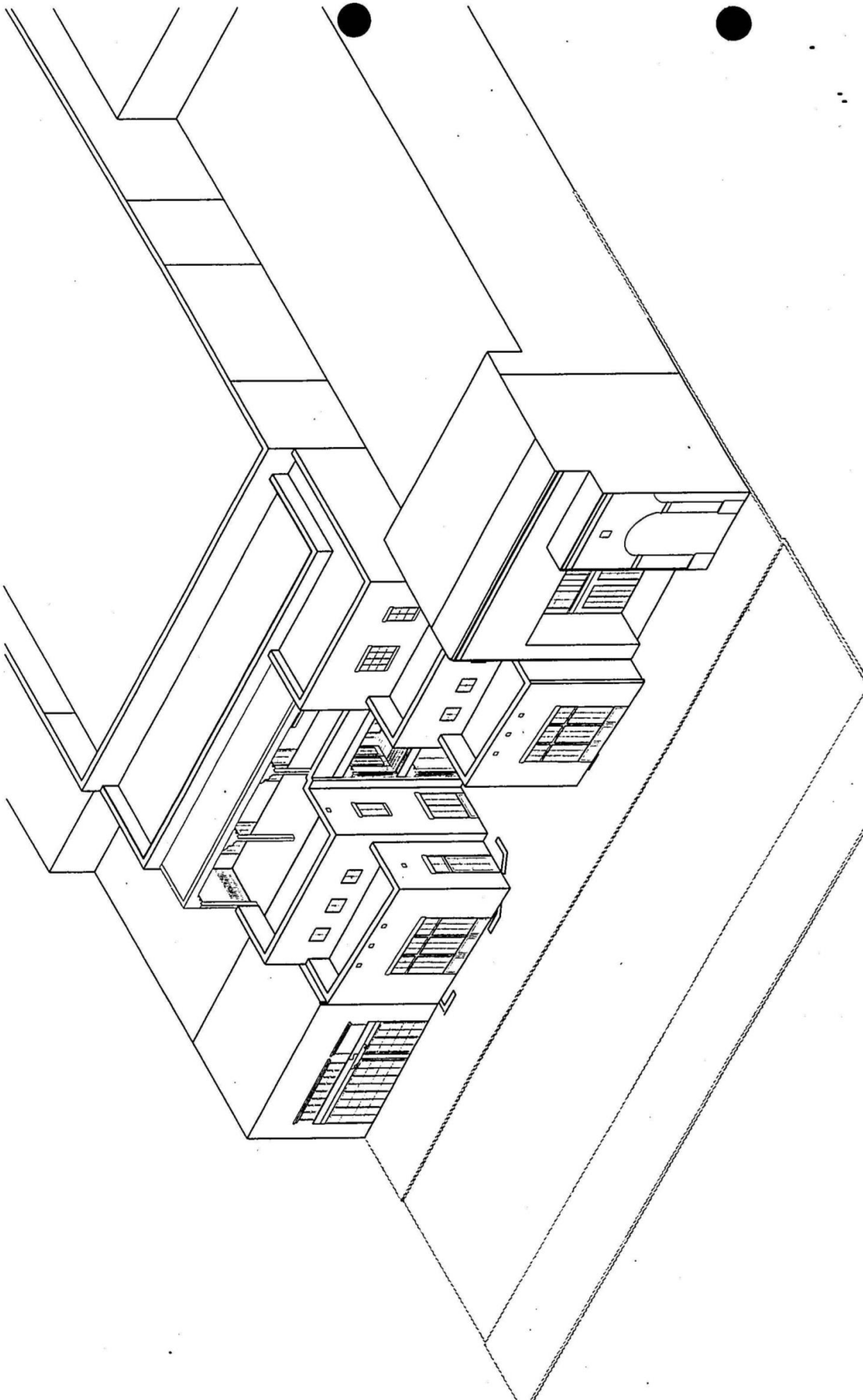
N.T.S.

60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
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505 989-9088 fax



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# 2 0 0 0 8

Waterstreet View #1  
Proposed

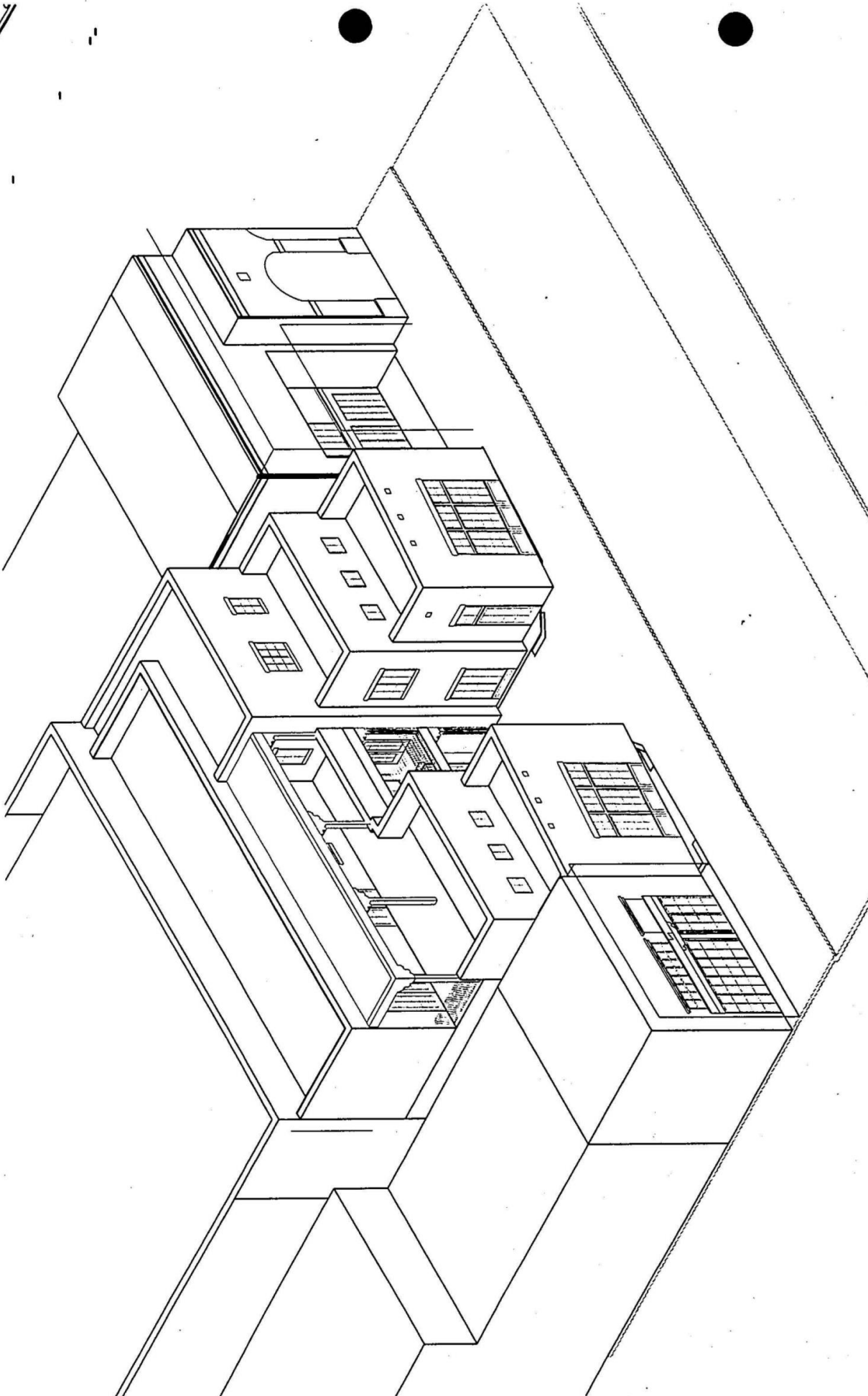


60 EAST SAN FRANCISCO  
STREET  
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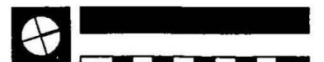


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# 2 0 0 0 8

Waterstreet View #2  
Proposed

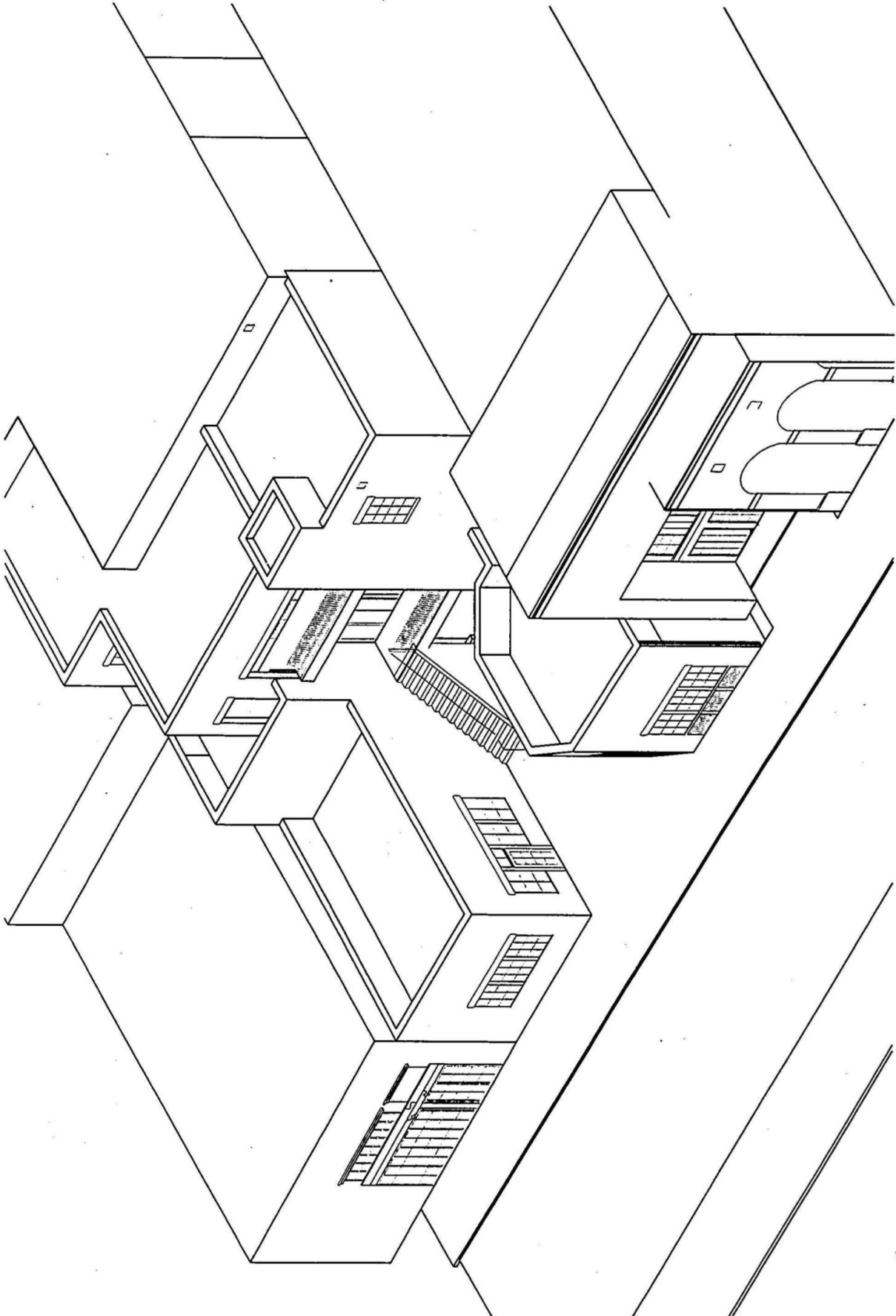


60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

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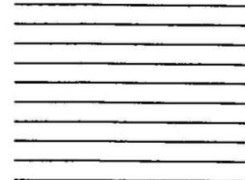
ARCHITECT:  
Thomas Krahenbuhl  
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214.207.7987 tk  
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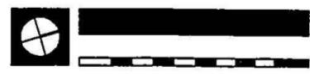
NOT FOR CONSTRUCTION

ISSUED: 7.22.02



# 2 0 0 0 8

Waterstreet View #3  
Approved

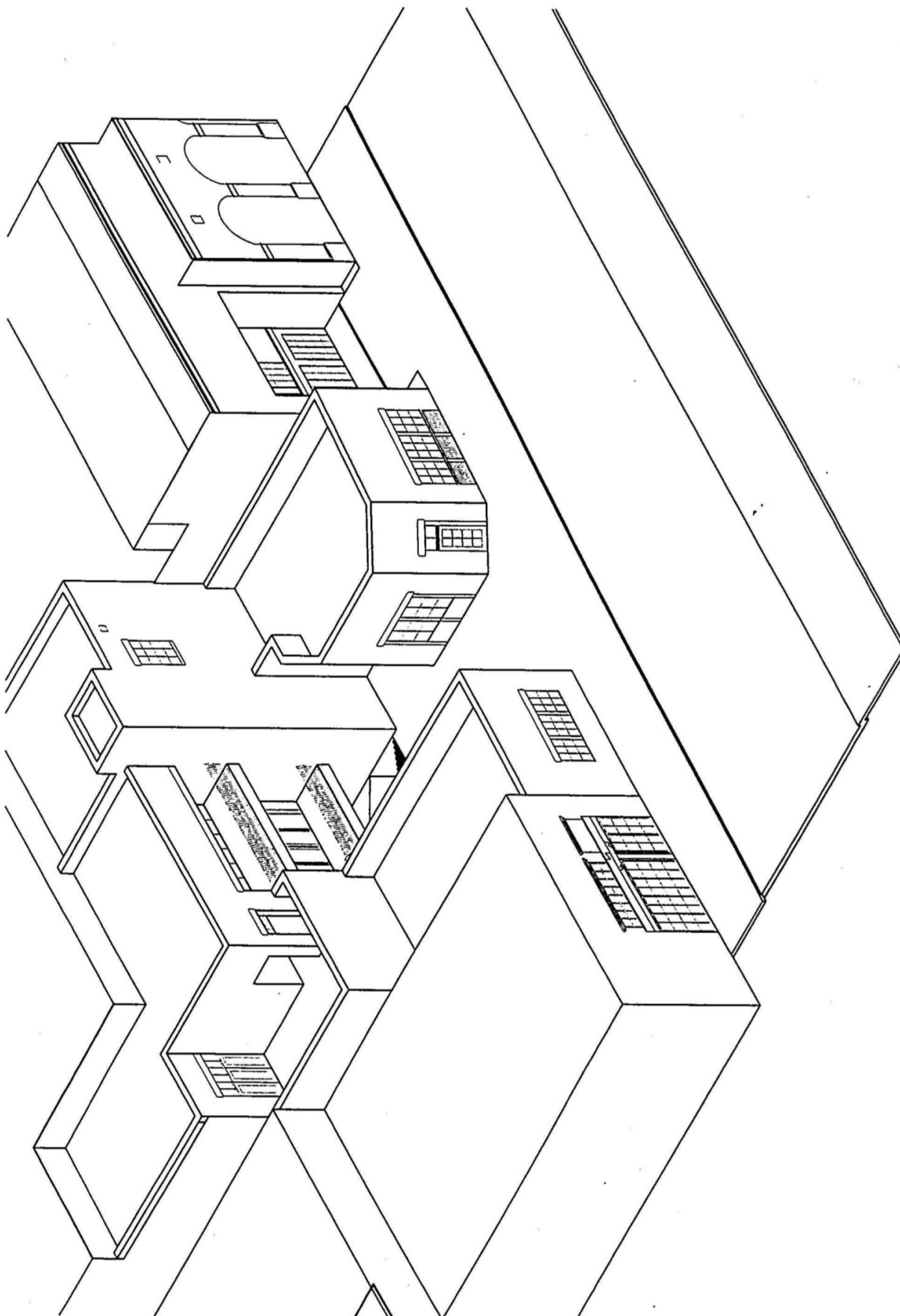


60 EAST SAN FRANCISCO  
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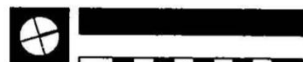
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# 2 0 0 0 8

Waterstreet View #4

Approved

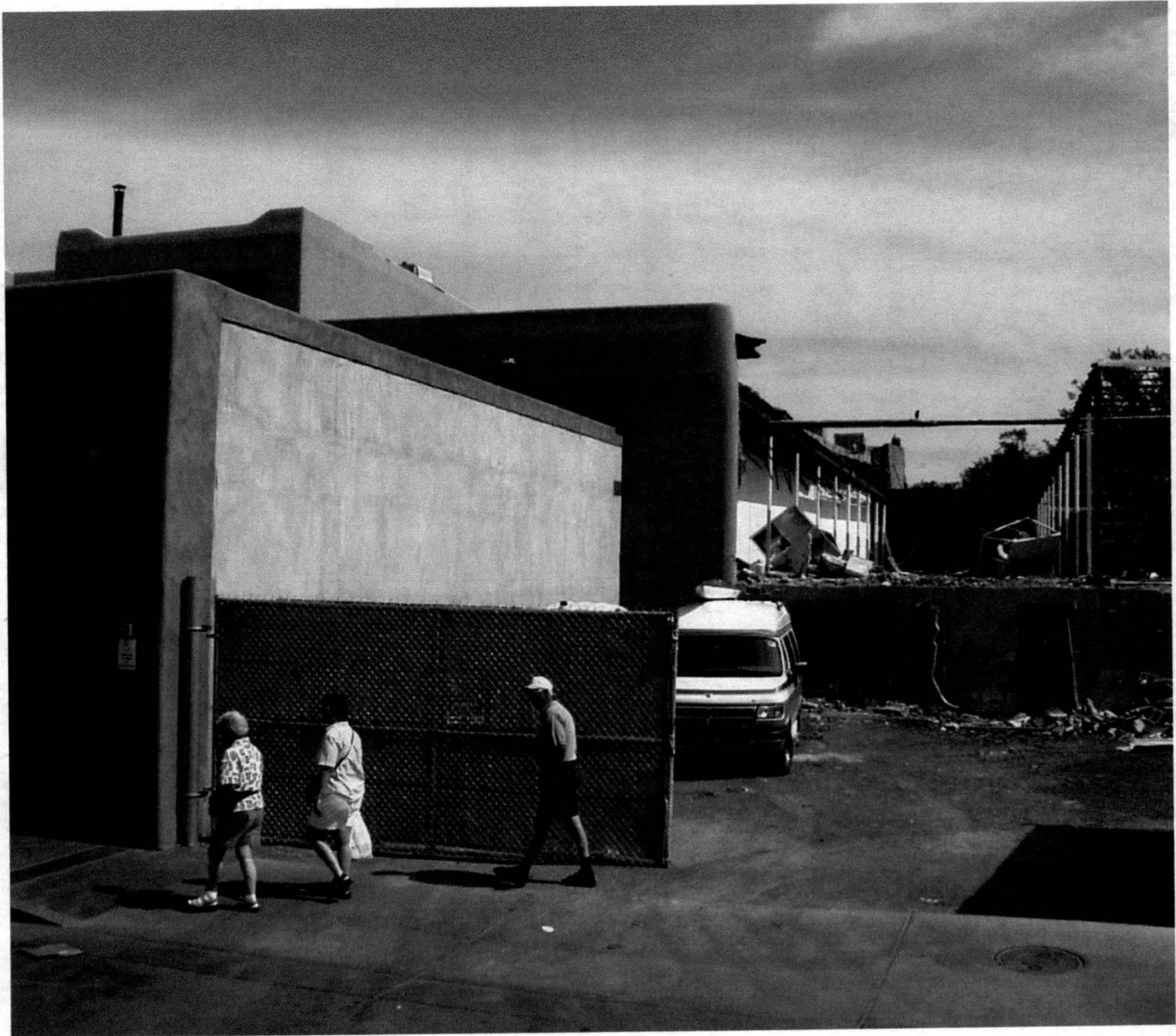




WATER STREET @ PROJECT SITE



SE. CORNER OF PROJECT SITE



SW CORNER OF PROJECT SITE



SE CORNER OF PROJECT SITE

# PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted 7-24-02  
Property Owner of Record SANTA FE PROPERTIES DEVEL. CORP.  
Applicant Name THOMAS K. RATHENBUHL / MICHAEL DUTY Phone 214-855-9344  
505-989-8882  
Site Address 600 EAST SAN FRANCISCO  
Proposed Construction MODIFICATIONS TO APPROVED & PERMITTED PLANS.  
HDRS approval req'd. -

TO BE COMPLETED BY STAFF:

Zoning District BCD Subdivision \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_  
Permitted Use:  Section # 14-6.1(B) 14-7.1(A)  
Accessory Use:  Section # \_\_\_\_\_  
Special Exception:  Case # \_\_\_\_\_  
Variance:  Case # \_\_\_\_\_  
Prohibited Use:  Section # \_\_\_\_\_  
Setbacks:  
(Front) Provided \_\_\_\_\_ Minimum \_\_\_\_\_ (Rear) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
(Left Side) Provided \_\_\_\_\_ Minimum \_\_\_\_\_ (Right Side) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
(Special Yard) Provided \_\_\_\_\_ Minimum \_\_\_\_\_  
Density: \_\_\_\_\_ Open Space: \_\_\_\_\_  
Lot Size: \_\_\_\_\_ Total Roof Area: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Height: \_\_\_\_\_ Wall Requirement: \_\_\_\_\_  
Parking: # Required \_\_\_\_\_ # Provided \_\_\_\_\_ Maneuverability \_\_\_\_\_  
Other District Requirements: \_\_\_\_\_

Preliminary Approved   
Preliminary Approval w/ Conditions   
Preliminary Rejection

Comments: Modifications to previously approved plans do not raise  
any zoning issues  
Reviewer PHIL SHAFER Date 7/24/02

60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

**OWNER:**

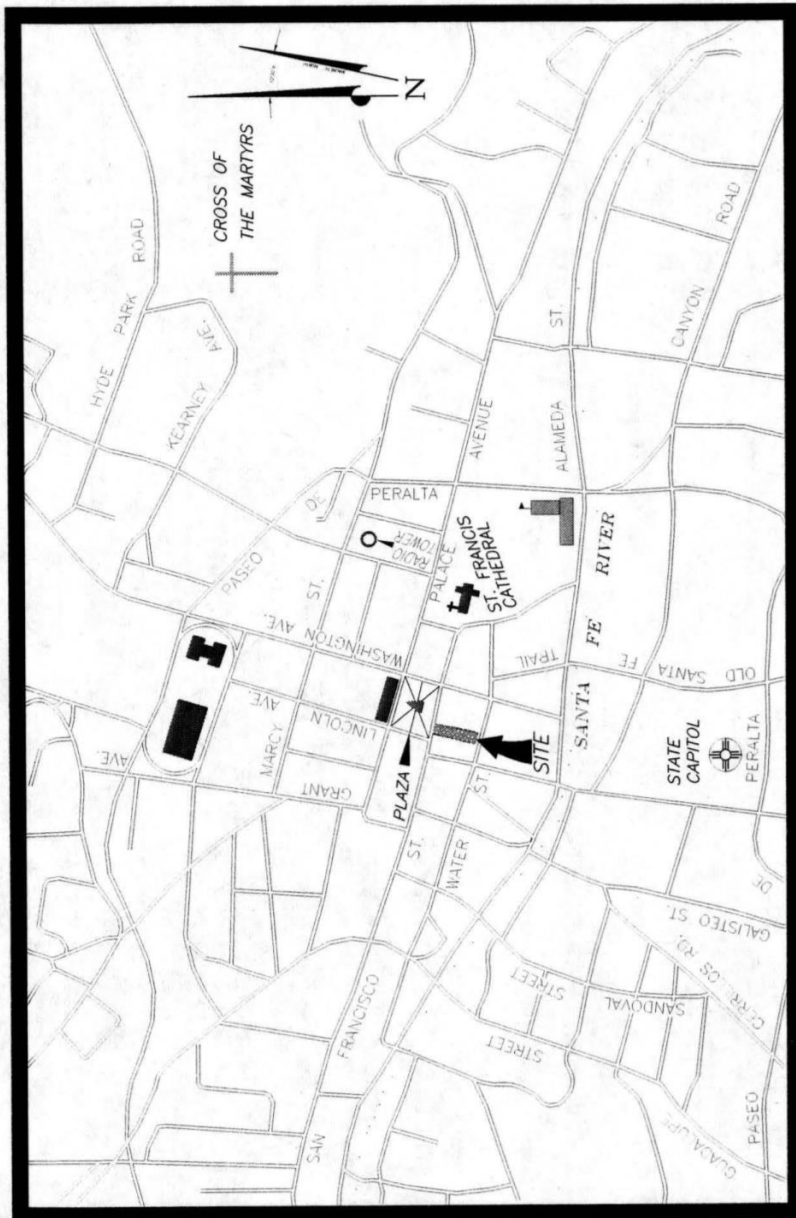
Santa Fe Properties  
Development Company  
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**ARCHITECT:**

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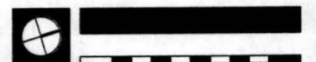
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\_\_\_\_\_

# 2 0 0 0 8

VICINITY MAP



60 EAST SAN FRANCISCO STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
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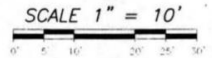
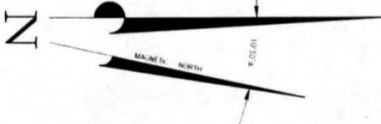
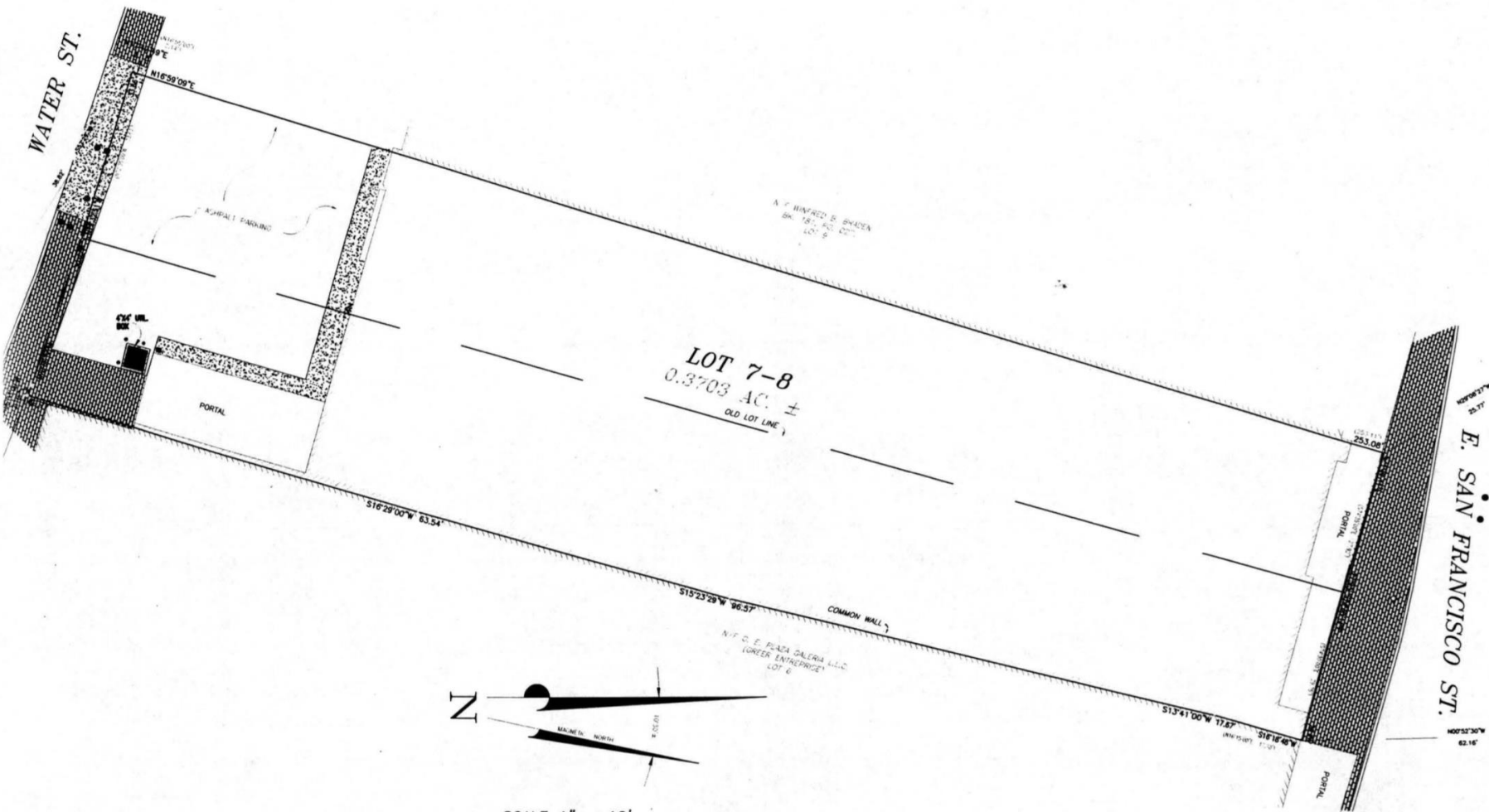
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ISSUED: 7.22.02

# 2 0 0 0 8

A0.02  
SITEPLAN



WATER ST.

E. SAN FRANCISCO ST.

LOT 7-8  
0.3703 AC ±  
OLD LOT LINE

COMMON WALL

PORTAL

ASPHALT PARKING

S16°29'00" W 63.54'

S15°23'28" W 96.57'

S13°41'00" W 12.67'

S25°3'00" W 253.00'

N00°52'30" W 62.16'

N 1/4 D. E. PEADA GALERIA LLC  
(FORMER ENFRANCISCO)  
LOT 6

N 1/4 WILFRED B. SHADEN  
BK 188-1 PG. 127  
LOT 9

44  
44  
44



60 EAST SAN FRANCISCO STREET  
SANTA FE, NEW MEXICO 87501

OWNER:

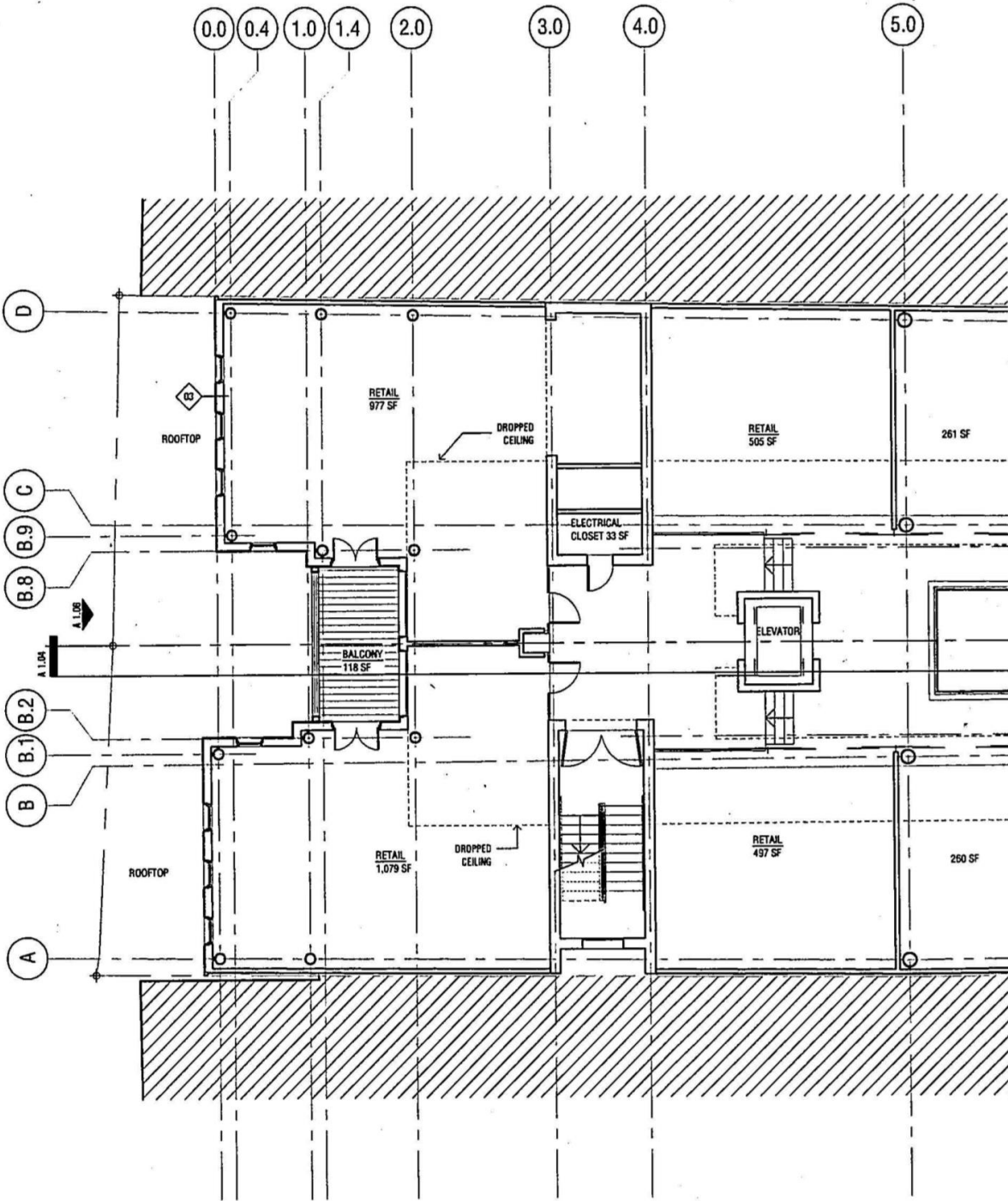
Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
Santa Fe, NM 87505  
505 424-9081

ARCHITECT:

Thomas Krahenbuhl  
Truett Roberts, PLLP  
1925 San Jacinto  
Dallas, Texas, 75201  
214.207.7987 tk  
214.855-9344 tr  
214.855-9346 fax  
Truett Roberts NM Registration  
Number 3820, exp 12/31/03

ASSOCIATED ARCHITECT:

Duty & Germanas Architects, Inc.  
1233 Paseo de Peralta  
Santa Fe, NM 87505  
505 989-8882  
505 989-9088 fax

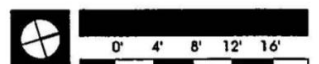


NOT FOR CONSTRUCTION

ISSUED: 7.29.02


# 2 0 0 0 8

A1.02  
PLAZA PLAN

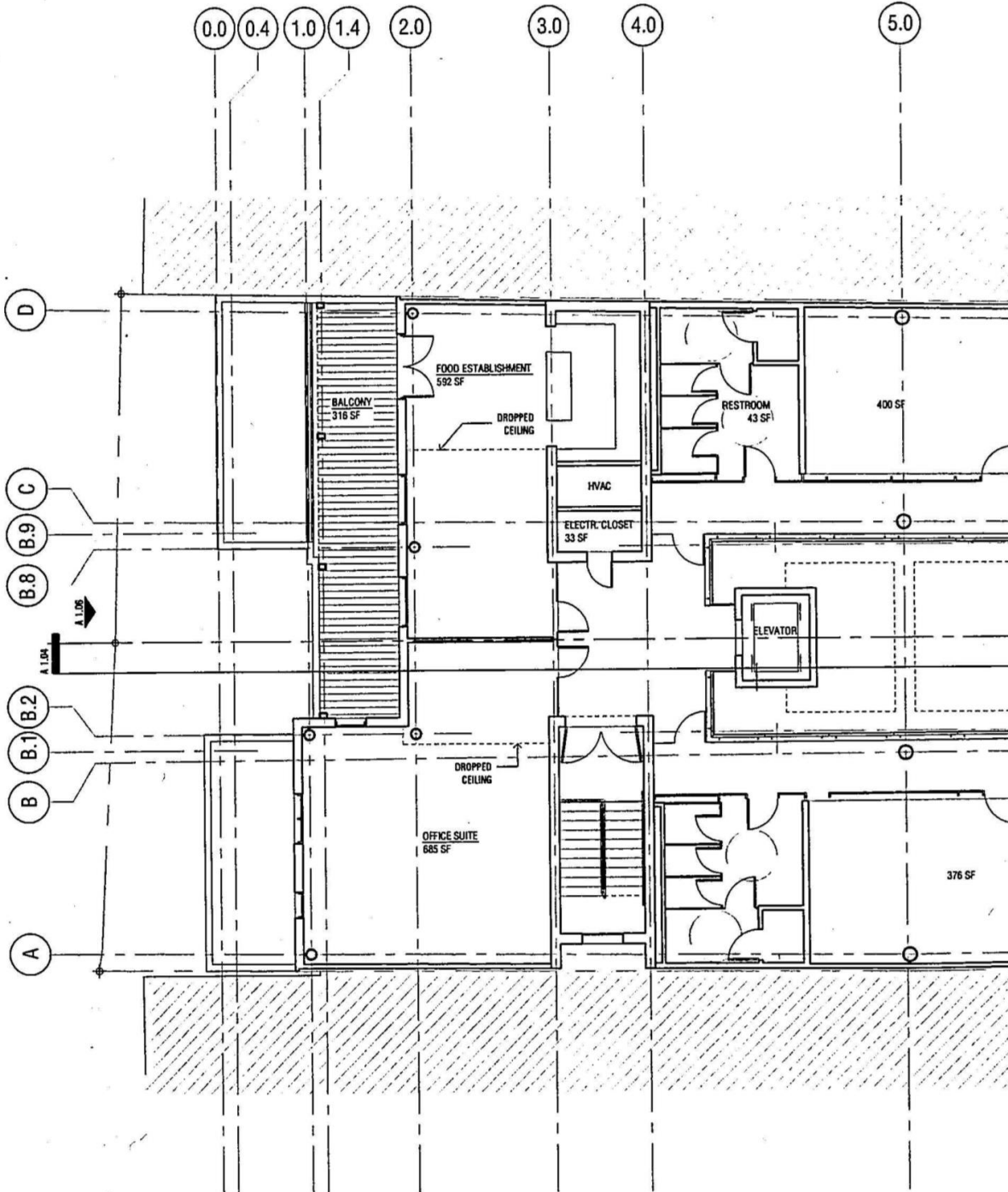


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Santa Fe, NM 87505  
505 989-8882  
505 989-9088 fax



NOT FOR CONSTRUCTION

ISSUED: 7.29.02

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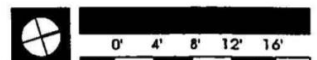
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A1.03  
UPPER PLAN



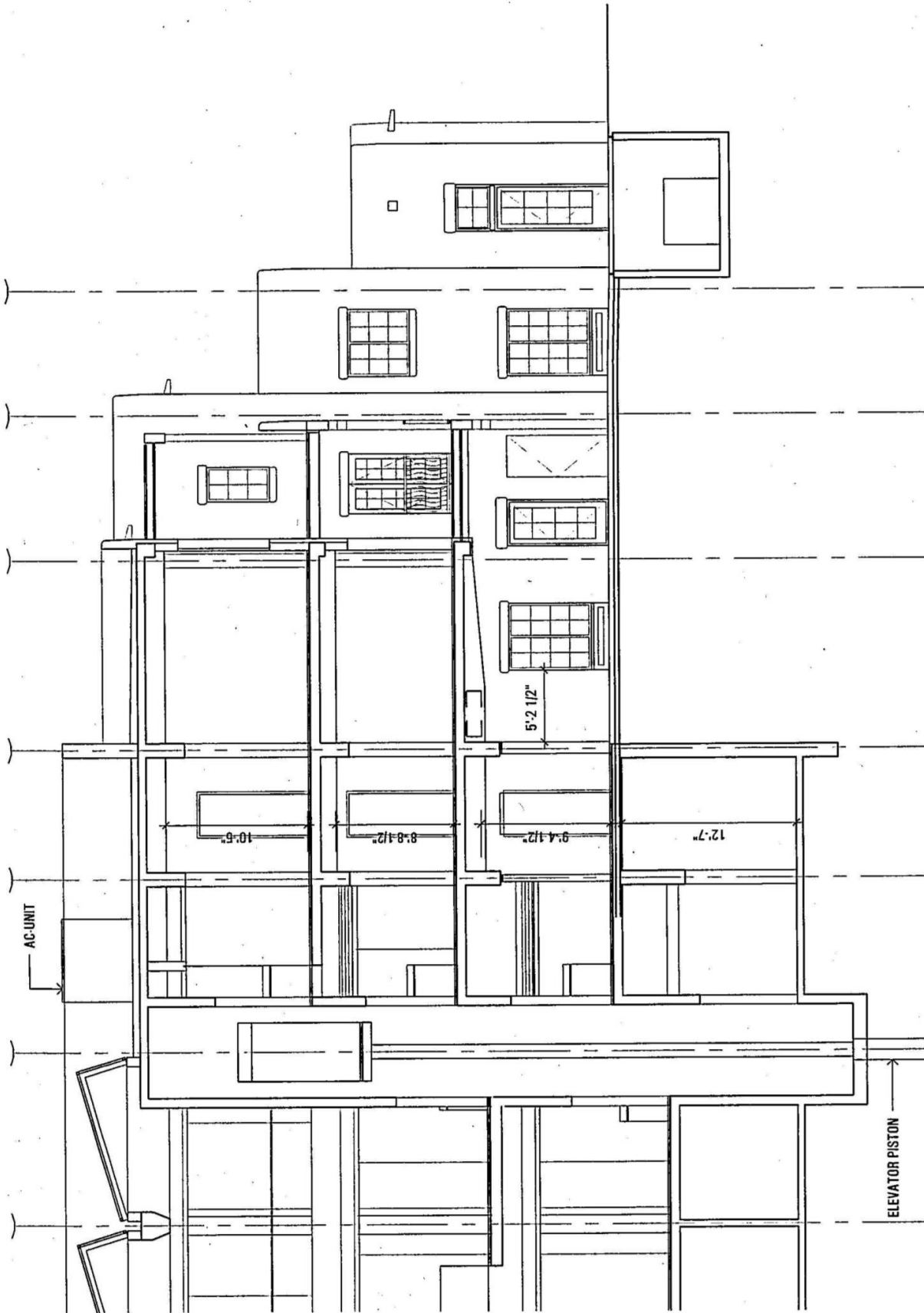


60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
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Development Company  
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Santa Fe, NM 87505  
505 424-9081

ARCHITECT:  
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Santa Fe, NM 87505  
505 989-8882  
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ISSUED: 7.29.02


# 2 0 0 0 8

A1.05  
SECTION 2



60 EAST SAN FRANCISCO STREET  
 SANTA FE, NEW MEXICO 87501

OWNER:

Santa Fe Properties  
 Development Company  
 4056 Cerrillos Road  
 Santa Fe, NM 87505  
 505 424-9081

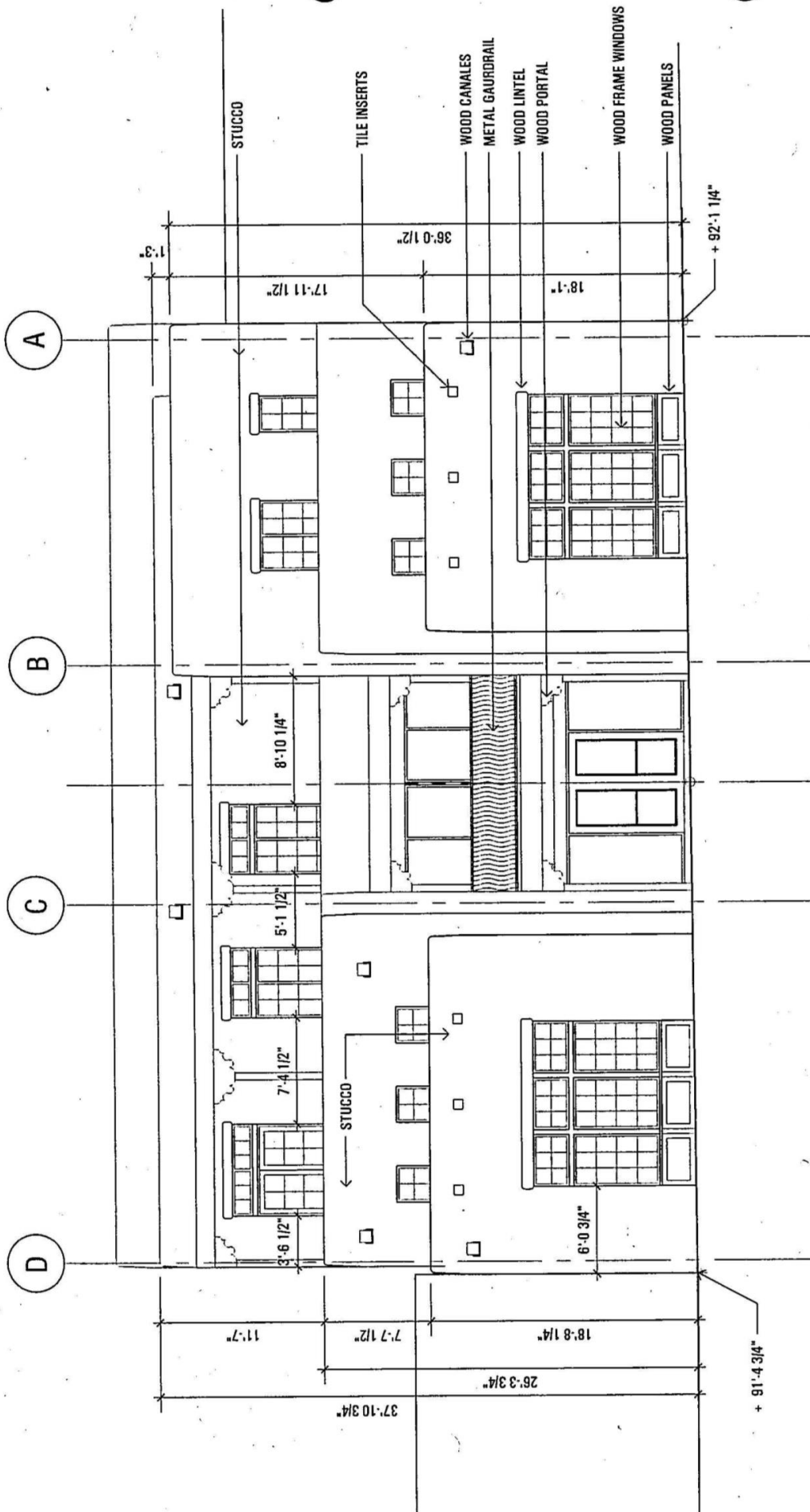
ARCHITECT:

Thomas Krahenbuhl  
 Truett Roberts, PLLP  
 1925 San Jacinto  
 Dallas, Texas, 75201  
 214.207.7987 tk  
 214.855-9344 tr  
 214.855-9346 fax

Truett Roberts NM Registration  
 Number 3820, exp 12/31/03

ASSOCIATED ARCHITECT:

Duty & Germanas Architects, Inc.  
 1233 Paseo de Peralta  
 Santa Fe, NM 87505  
 505 989-8882  
 505 989-9088 fax



NOT FOR CONSTRUCTION

ISSUED: 7.29.02

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A1.06

WATERSTREET ELEVATION

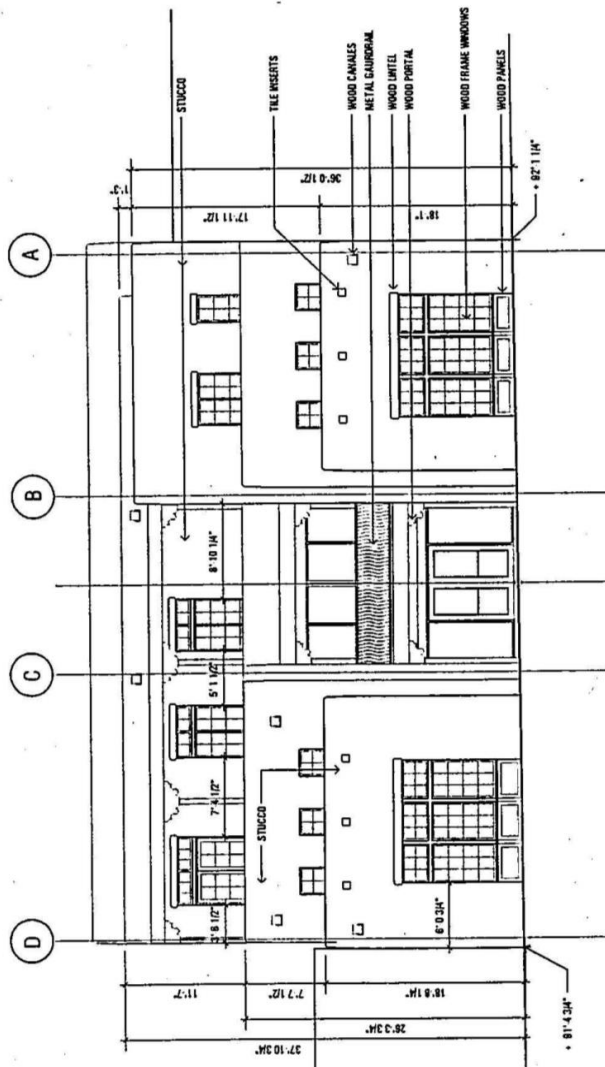
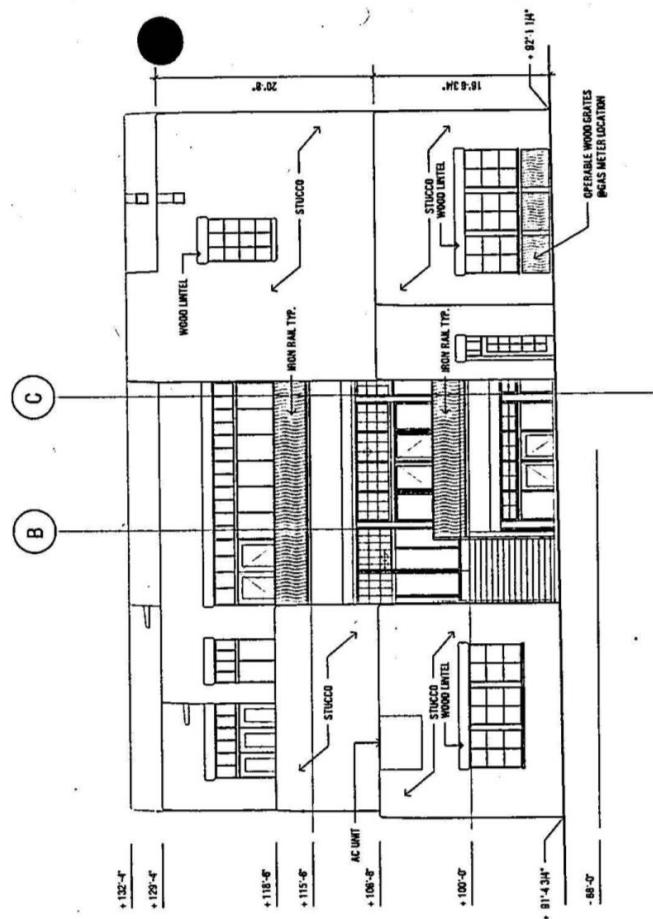


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 1233 Paseo de Peralta  
 Santa Fe, NM 87505  
 505 989-8882  
 505 989-9088 fax



NOT FOR CONSTRUCTION

ISSUED: 7.29.02

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A1.07

WATERSTREET ELEVATIONS  
 APPROVED VS. PROPOSED

N.T.S.

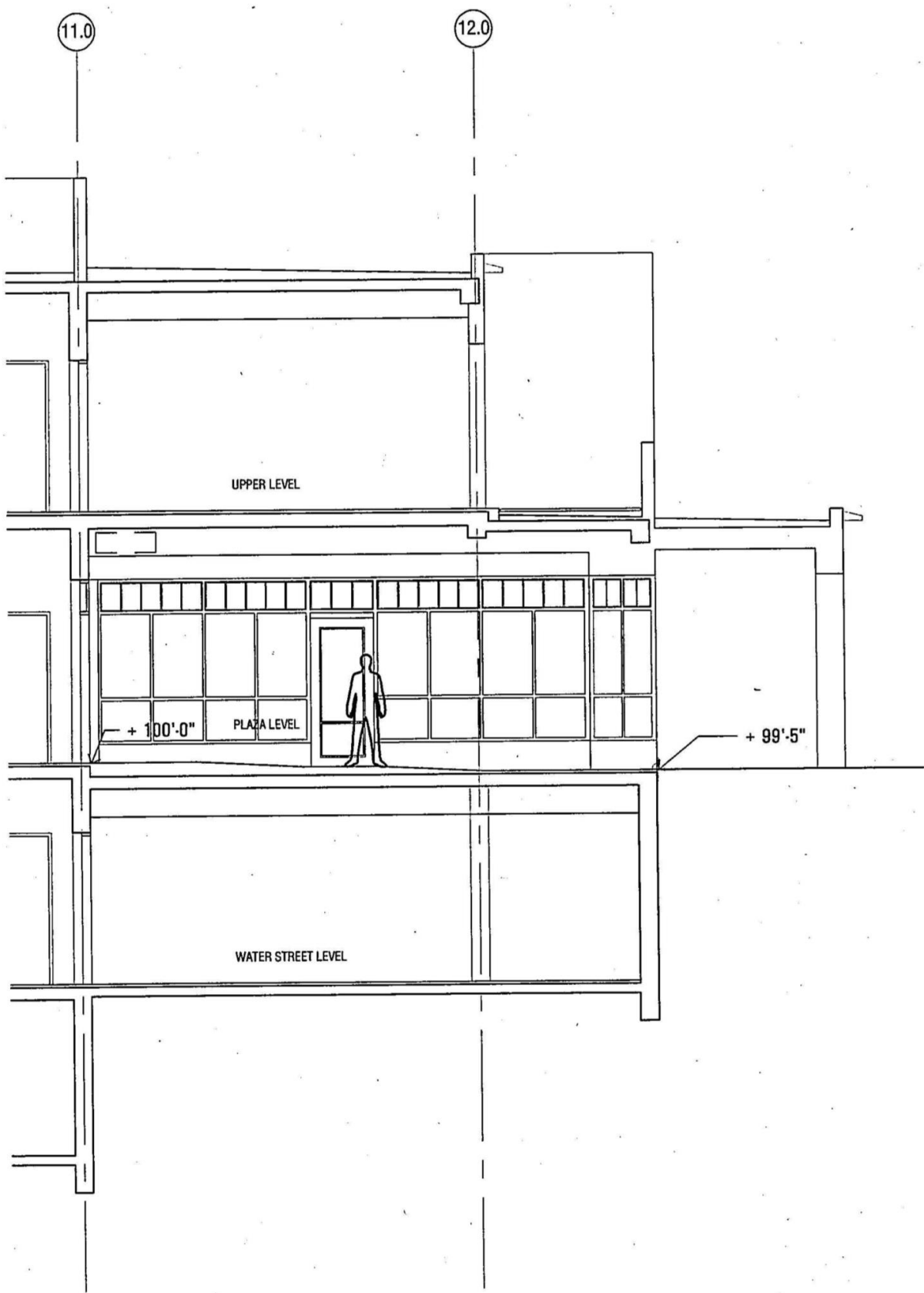


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Santa Fe, NM 87505  
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505 989-9088 fax

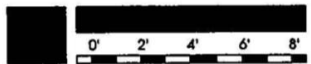


NOT FOR CONSTRUCTION

ISSUED: 7.22.02  
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**A1.09**  
PLAZA SECTION  
SCALE 1/8" = 1'-0"

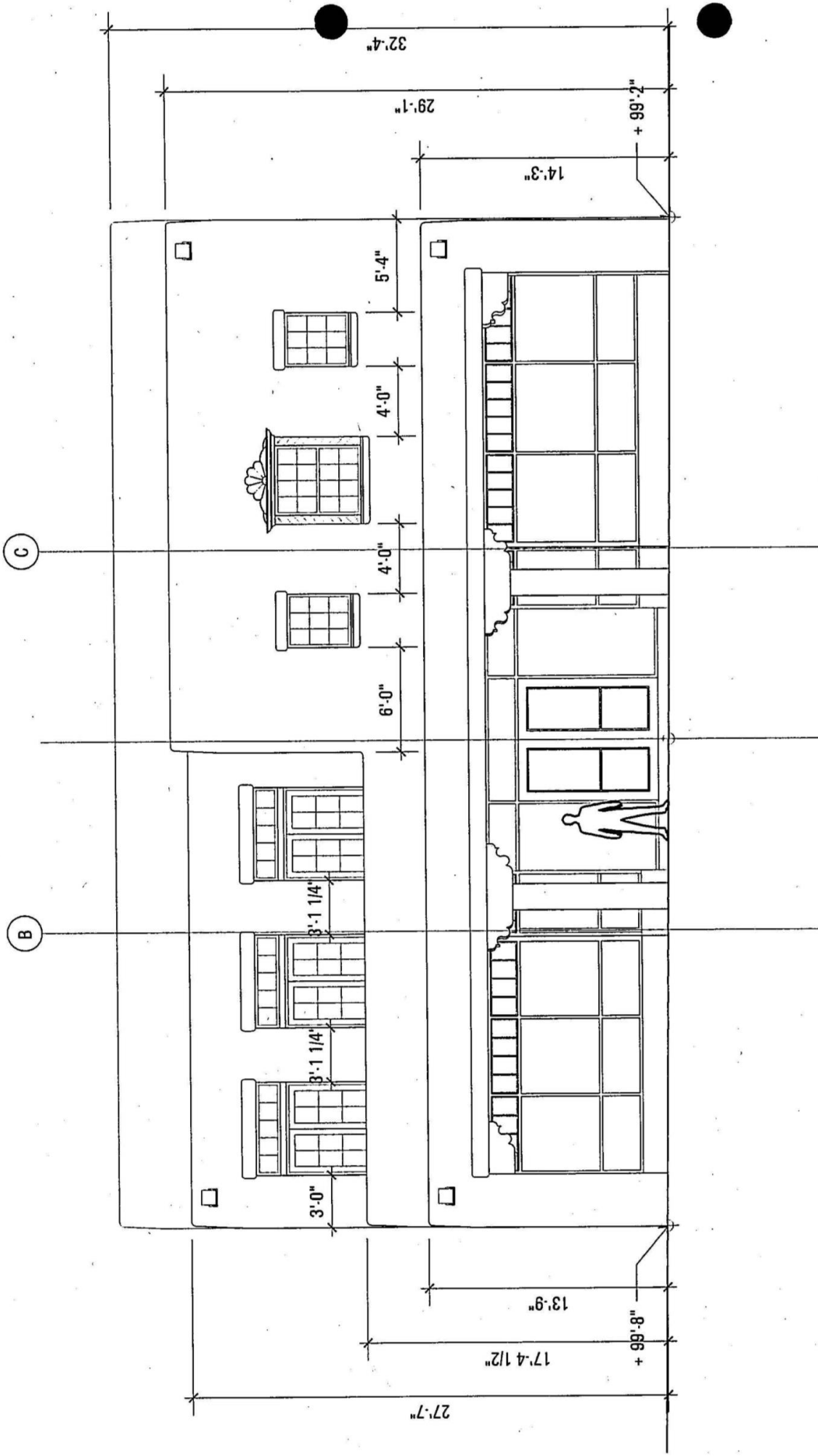


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 Santa Fe, NM 87505  
 505 989-8882  
 505 989-9088 fax



NOT FOR CONSTRUCTION

ISSUED: 7.22.02

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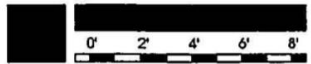
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A1.10  
 PLAZA ELEVATION  
 SCALE 1/8" = 1'-0"

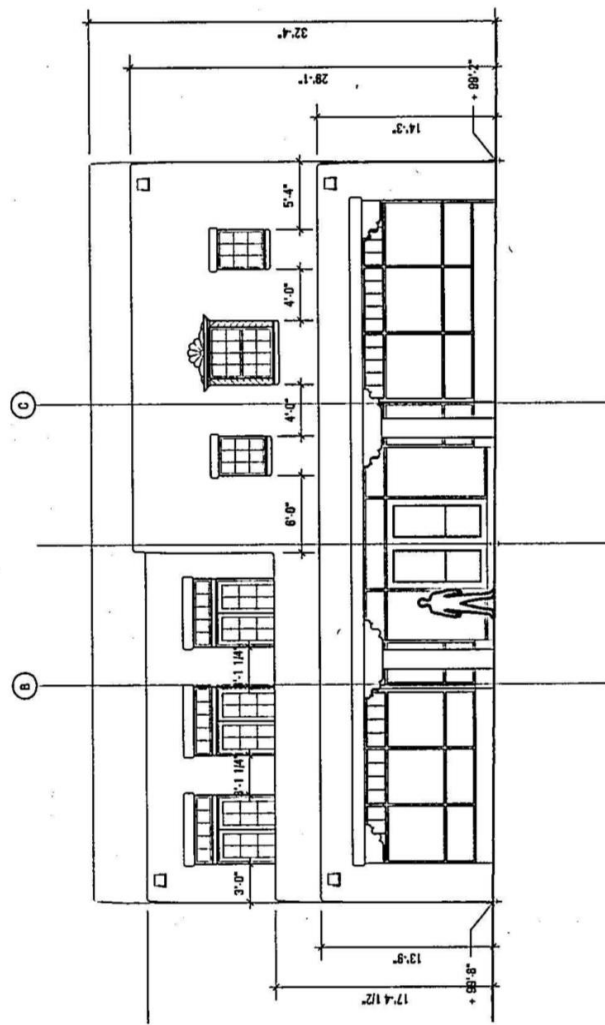
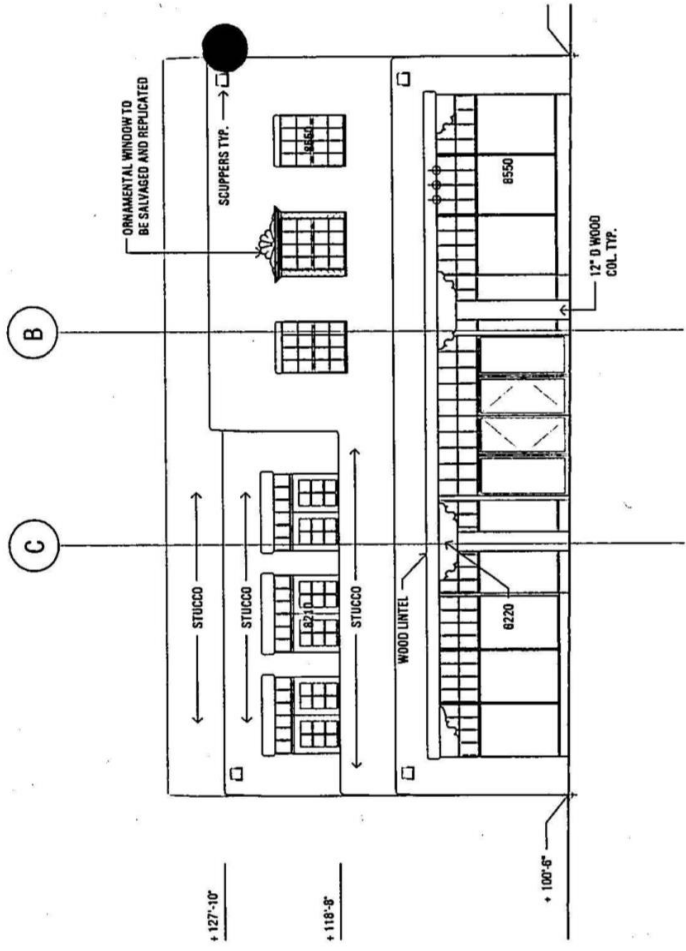


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ARCHITECT:  
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NOT FOR CONSTRUCTION

ISSUED: 7.22.02

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# 2 0 0 0 8

A1.11  
 PLAZA ELEVATIONS  
 APPROVED VS. PROPOSED

N.T.S.

60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

**OWNER:**

Santa Fe Properties  
Development Company  
4056 Cerrillos Road  
Santa Fe, NM 87505  
505 424-9081

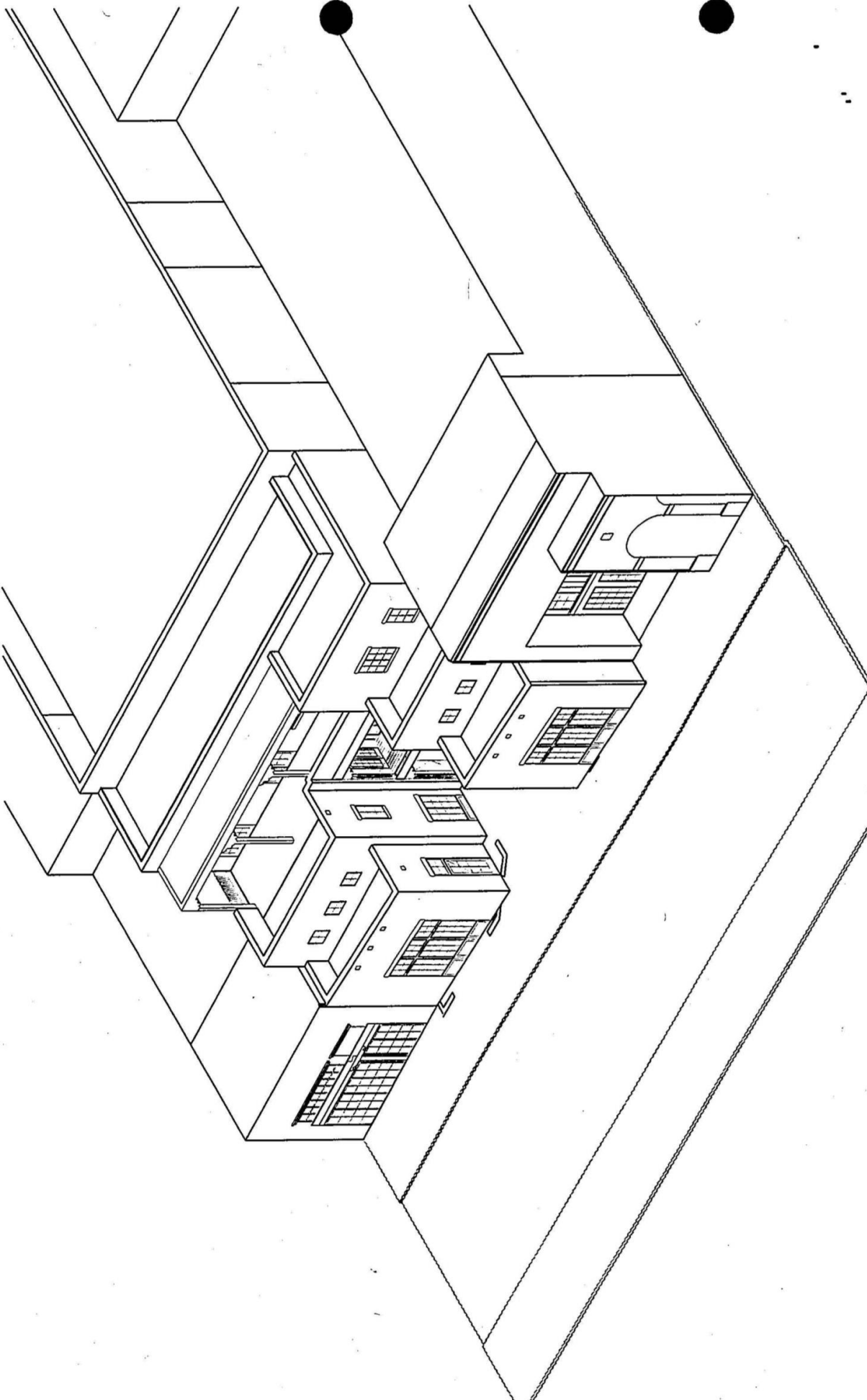
**ARCHITECT:**

Thomas Krahenbuhl  
Truett Roberts, PLLP  
1925 San Jacinto  
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214.207.7987 tk  
214.855-9344 tr  
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NOT FOR CONSTRUCTION

ISSUED: 7.22.02

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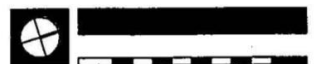
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# 2 0 0 0 8

Waterstreet View #1

Proposed

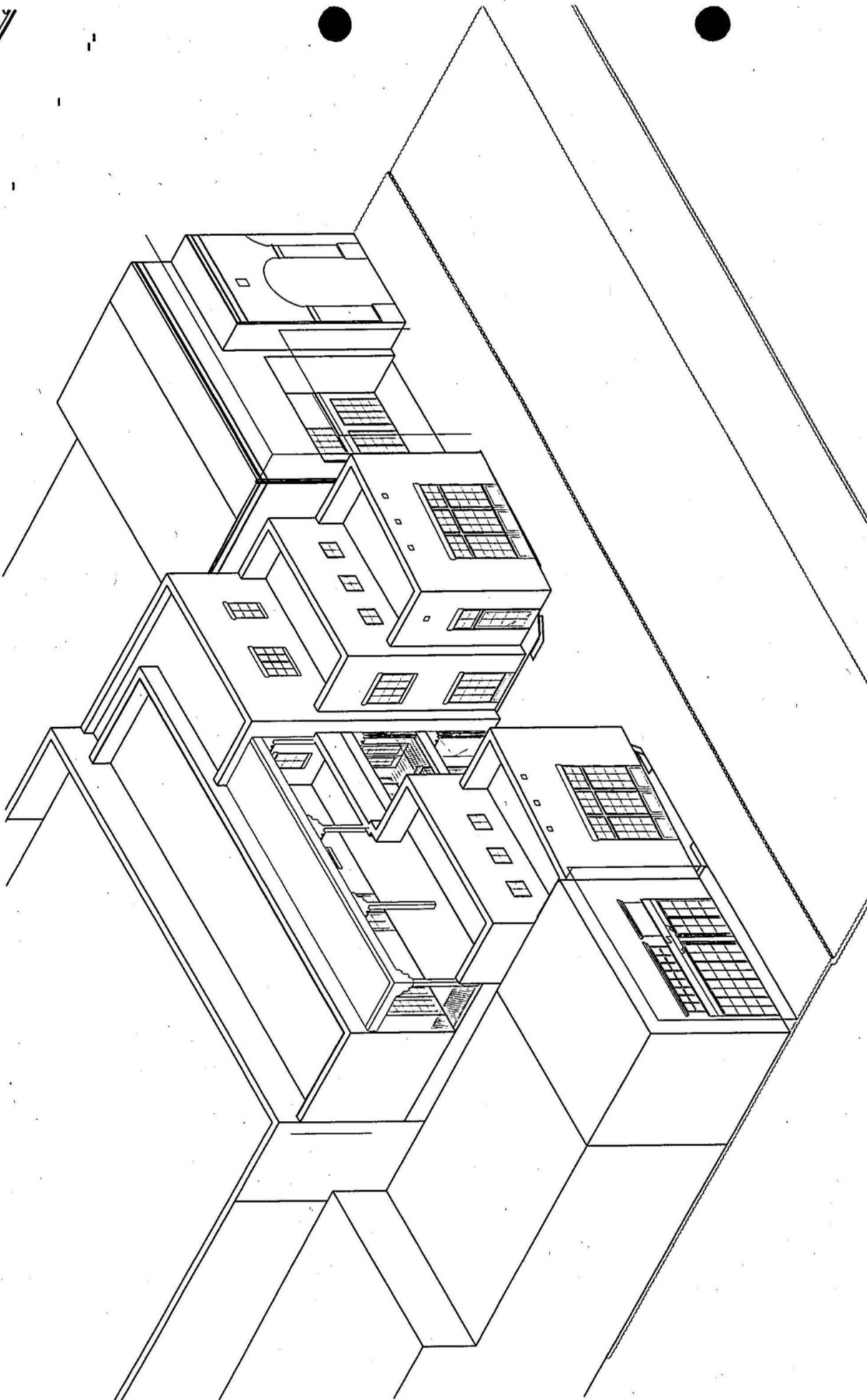


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SANTA FE, NEW MEXICO 87501

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1233 Paseo de Peralta  
Santa Fe, NM 87505  
505 989-8882  
505 989-9088 fax



NOT FOR CONSTRUCTION

ISSUED: 7.22.02  
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Waterstreet View #2  
Proposed



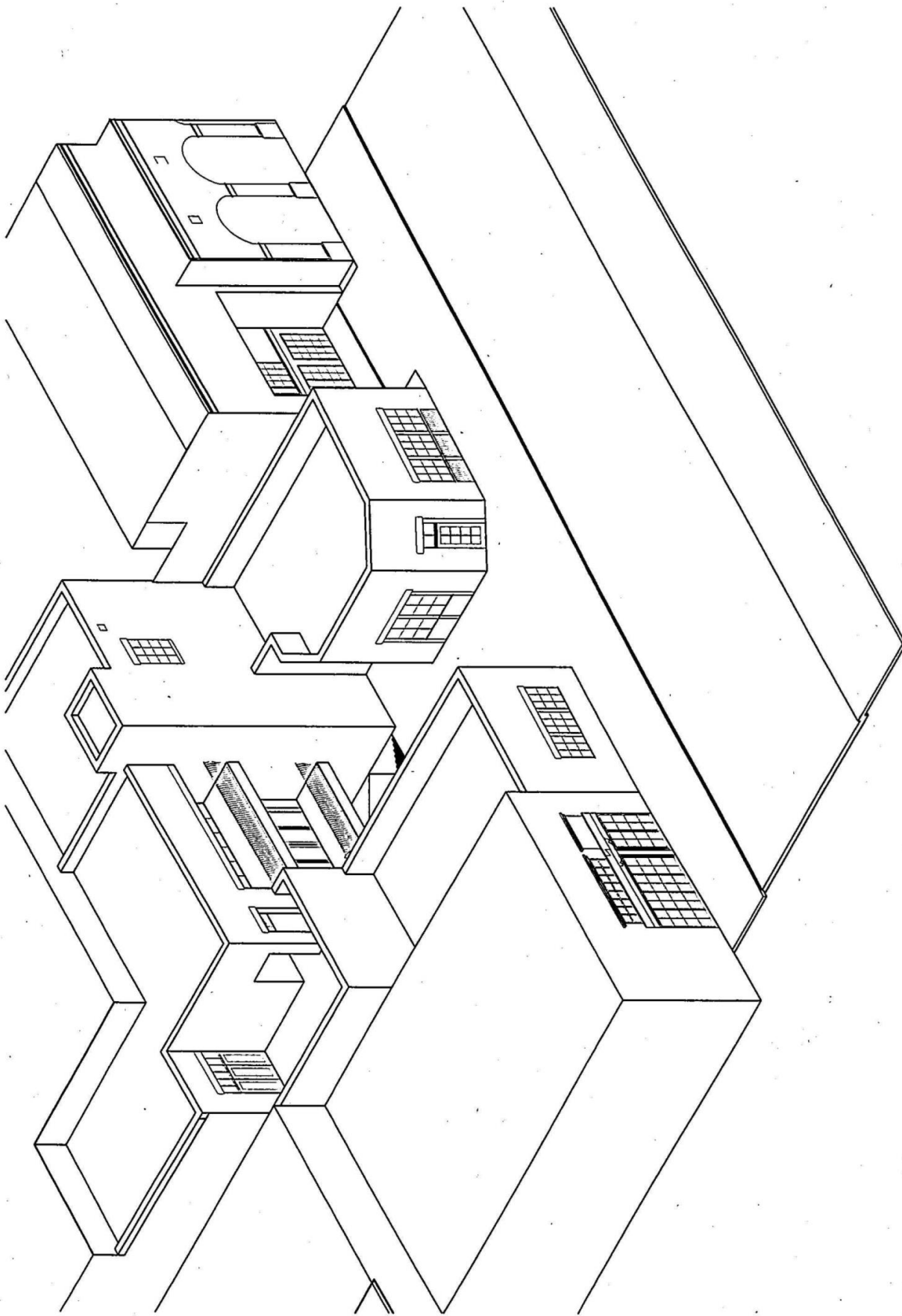


60 EAST SAN FRANCISCO  
STREET  
SANTA FE, NEW MEXICO 87501

OWNER:  
Santa Fe Properties  
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ARCHITECT:  
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214.207.7987 tk  
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505 989-8882  
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NOT FOR CONSTRUCTION

ISSUED: 7.22.02

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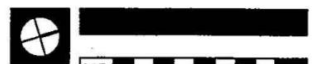
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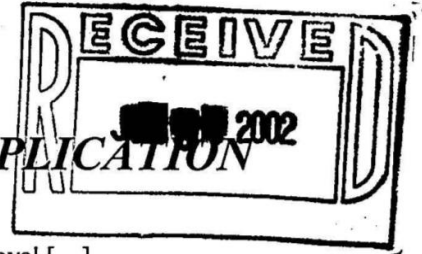
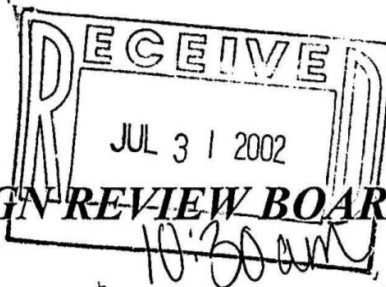
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Waterstreet View #4

Approved





# HISTORIC DESIGN REVIEW BOARD APPLICATION

APPLICATION TYPE: Preliminary Approval [ ] Final Approval [ ]

PROJECT LOCATION: 60 EAST SAN FRANCISCO STREET

PROJECT PROPOSAL: MODIFICATIONS TO APPROVED PLANS

CONSTRUCTION COST: \$ \_\_\_\_\_ FEE: \$ \_\_\_\_\_ + \$20 Poster Cost = \$ 1000

CONST. COST UNCHANGED

OWNER: SANTA FE PROP. DEVEL. CORP PHONE#: 505-424-9081

OWNER ADDRESS: 4056 CERRILLOS ROAD SF, NM 87505

CITY, STATE, ZIP CODE: SF NM 87505

APPLICANT: THOMAS KRAHENBUHL + TRUETT ROBERTS PHONE#: 214-855-9344

ADDRESS: 109 STONE PLACE

CITY, STATE, ZIP CODE: DALLAS, TX 75201

LOCAL ARCHITECT: MICHAEL DUTY 505-989-8882

NEW CONSTRUCTION:  
Single-Family Residence [ ] Commercial  Multi-Family Residence [ ]

OTHER CONSTRUCTION: UNDERWAY  
Demolition  Remodel [ ] Addition [ ] Residential [ ] Signs [ ]  
Wall/Fence [ ] Antenna [ ]

PREAPPLICATION MEETING: Date: 7-22-02 Case Planner: ALICIA ARMOT

PRELIMINARY ZONING REVIEW: Date: 7-24-02 Planner: PHIL SHAFER  
(Preliminary Zoning Review Form must be submitted with proposal)

## HEIGHT CALCULATION

Does the project include multi-story new construction or an addition which will increase the height of the subject building:  
YES [ ] NO

If yes, what is the appropriate streetscape height as determined during your pre-application visit? \_\_\_\_\_

What is the proposed height as illustrated in your project? 37-10<sup>3</sup>/<sub>4</sub>"

I certify that the documents submitted for the Historic Design Review Board meeting meets the minimum standards set forth in the Historic Districts Ordinance, Section 14-70 Santa Fe City Code 1987. Failure to meet these standards may result in rejection of my application. I also certify that I have met with a representative of the city's Zoning staff and verified the attached proposal is in compliance with the city's zoning requirements.

I agree to post notice of the proposed project on the site seven (7) days prior to the Historic Design Review Board meeting.

I am aware that a decision of the HDRB may be appealed by any aggrieved party within seven (7) days of the decision.

[Signature]  
Signature of Applicant/Owner

07/23-02  
Date



CITY OF SANTA FE HISTORIC PRESERVATION DIVISION  
HISTORIC DISTRICTS APPLICATION

1. Applicant Information (to be completed by the Applicant)

Date: 11/10/2023 Location of Project: 40 E. SAN FRANCISCO ST.

Applicant (SANTA FE ARCADE)

Name: WILLIAM KLEINSCHMIDT ARCHITECT

Phone: 505-761-0000 Email: BILL@WK-ARCHITECT.COM

Property Owner

Name: PETERS CORPORATION

Phone: 505-424-9081 Email: QUINN@COYOTELAIFE.COM

Proposed Work:

2ND FLOOR FACADE RENOVATION (NORTH-FACING ELEVATION)  
STRAIGHTEN OUT WALL, REPLACE DOORS & WINDOWS,  
WALL HEIGHT TO REMAIN THE SAME, DECK & RAILING  
TO REMAIN AS IS.

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: \_\_\_\_\_

Date Assigned: \_\_\_\_\_ PAR No.: \_\_\_\_\_

Date of Site Visit: \_\_\_\_\_ Time: \_\_\_\_\_

Historic District: \_\_\_\_\_

Historic Status: \_\_\_\_\_

Primary Elevations: \_\_\_\_\_

Previous HDRB and Admin Cases: \_\_\_\_\_

Archaeological compliance required? Yes  No

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: \_\_\_\_\_

Date of Follow-Up with Applicant: \_\_\_\_\_

**3. HDRB Application Section (to be completed by Applicant)**

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at [https://www.santafenm.gov/historic\\_preservation](https://www.santafenm.gov/historic_preservation).

Application Submittal Date: 11/10/2023

Desired Hearing Date: AS SOON AS POSSIBLE

Project Type:

Status

NON-CONTRIBUTING

New Construction

Primary Elevation Designation

NORTH

Remodel

Sq. Ft. of project: ~~500 S.F.~~

Sq. Ft. of project: 500 S.F.

Construction Cost: \$250,000

**AFIDAVIT AUTHORIZING AGENT/APPLICANT**

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Ronan Steinhilber

Signature 

Area of Proposed  
Facade  
Renovation

Existing  
deck  
to remain

Upper Floor  
Overall Plan  
60 E. San  
Francisco St.  
(Santa Fe  
Arcade)

North

Construct  
New  
Wall

Area of  
Proposed  
Facade  
Renovation

Existing  
Wall  
to  
Remain  
and be  
Repaired

New  
Portal  
Wall in  
Existing  
Wall

Existing Upper  
Plan  
60 E. San  
Francisco St.  
(Santa Fe  
Arcade)

North

Area of  
Proposed  
Facade  
Renovation

New  
Exterior  
Wall  
Location

Port  
al  
Wall

New  
Exterior  
Doors  
and  
Openable  
Panels

Proposed Upper  
Plan  
60 E. San  
Francisco St.  
(Santa Fe  
Arcade)

Nort  
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60 E. San Francisco  
St.  
(Santa Fe  
Arcade)

Existin  
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Facad  
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60 E. San Francisco  
St.  
(Santa Fe  
Arcade)

Propose  
d  
Facade

Wall Height  
Remain the  
Same

New Exterior  
Doors  
and Openable  
Panels

New Exterior  
Wall  
Envelope Set  
Back New  
Portal  
Wall

No Changes  
to  
Lower  
Facade,  
Deck or  
Railings