



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
DECEMBER 12, 2023
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. November 28, 2023

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2023-007231-HDRB. 624 Garcia St. (September 12, 2023)
2. 2023-007315-HDRB. 551 Canyon Rd. (September 26, 2023)
3. 2023-007286-HDRB. 1150 Cristo Rey St. (September 26, 2023)
4. 2023-007313-HDRB. 802 Don Cubero Ave. (September 26, 2023)
5. 2023-007285-HDRB. 815 E. Palace Ave. # 30 (October 24, 2023)
6. 2023-006965-HDRB. 847 E. Palace Ave. (October 24, 2023)
7. 2023-007358-HDRB. 1062 Camino San Acacio (October 24, 2023)
8. 2023-007357-HDRB. 616 ½ R Galisteo St. (October 24, 2023)
9. 2023-007400-HDRB. 120 Martinez St. (October 24, 2023)
10. 2023-007361-HDRB. 514 Camino Cabra (October 23, 2023)

11. 2023-007362-HDRB. 1150 Cristo Rey St. (October 24, 2023)

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. 2023-007592-HDRB. 128 S. Capitol St. – Motor Pool and Garage Buildings. Downtown and Eastside Historic District. Non-Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the motor pool and garage buildings. (Heather Lamboy, hllamboy@santafenm.gov) **POSTPONED TO JANUARY 9, 2024**

2. 2023-007593-HDRB. 130 S. Capitol St. Downtown and Eastside Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the Concha Ortiz y Pino building. (Heather Lamboy) **POSTPONED TO JANUARY 9, 2024**

3. 2023-007595-HDRB. 402 Don Gaspar Ave. Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a duplex) and garage. (Heather Lamboy) **POSTPONED TO JANUARY 9, 2024**

4. 2023-007596-HDRB. 406 Don Gaspar Ave. Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence) and garage. (Heather Lamboy) **POSTPONED TO JANUARY 9, 2024**
5. 2023-007597-HDRB. 410 Don Gaspar Ave. Downtown and Eastside Historic District. Contributing (office and garage buildings). Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the of the office building (previously a residence) and garage. (Heather Lamboy) **POSTPONED TO JANUARY 9, 2024**
6. 2023-007598-HDRB. 414 Don Gaspar Ave. Downtown and Eastside Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agents for the State of New Mexico General Services Division, request demolition of the office building (previously a residence). (Heather Lamboy) **POSTPONED TO JANUARY 9, 2024**
7. 2023-007489-HDRB. 1369 Cerro Gordo Rd. Downtown and Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owner, proposes to alter a previous approval by constructing a 140 sq. ft. addition to a height of 12'-0" where the maximum allowable height is 14'-7" on an accessory structure. (Lani McCulley, LJMcCulley@santafenm.gov)
8. 2023-007576-HDRB. 303 Paseo de Peralta. Downtown and Eastside Historic District. Non-contributing. Lloyd and Associates Architects, agent for Mountain Spirit, owner, requests approval for the removal of an exterior stairwell and yard wall to be replaced with an approximate 100 sq. ft. enclosed storage space with parapet. (Paul Duran, paduran@santafenm.gov)
9. 2023-007578-HDRB. 812 Gildersleeve. Don Gaspar Area Historic District. Greg Reid, agent for Terrance Duncan, owner, requests an 85 sq. ft. addition on the south elevation, conversion of garage to heated

living space, a second-story balcony on the west elevation, window replacement, and associated renovation treatments. (Ramón J. Sarason, rjsarason@santafenm.gov)

10. 2023-007604-HDRB. 367 Hillside Ave. Downtown and Eastside Historic District. Contributing. Christopher Purvis, agent for David Gardner, owner, requests approval for an exterior remodel including a new roof, doors, windows, stucco and paint. (Paul Duran)
11. 2023-007490-HDRB. 1120 E. Alameda St. Downtown and Eastside Historic District. Contributing. Architectural Alliance, LLC, agent for Sam Gerberding and Amanda Crocker, owner, requests approval for an 118 sq. ft. addition to a primary façade, a 431 sq. ft. portal on the south elevation, relocate an existing gate and coyote fence, stucco new addition with cementitious stucco in “Desert Rose” to match existing, new windows, doors, and paint with turquoise to match existing wood trim. An exception is requested to section 14-5.2(D)(2)(d) to construct an addition within 10’ of a primary facade. (Paul Duran)
12. 2023-007605-HDRB. 723 Old Santa Fe Trail. Downtown and Eastside Historic District. Christophe Eagleton, owner, requests status review and primary façade designations. (Ramón J. Sarason)
13. 2023-006492-HDRB. 650A Old Santa Fe Trail. Downtown and Eastside Historic District. Contributing. Jamison Brown, owner, requests approval for a two-story, 22’ high, 600 sq. ft. addition on the south and west elevations, and a portal addition on the south elevation. Maximum permitted height is 16’-0”. Exceptions requested to Section 14-5.2(D)(9) to exceed maximum permitted height and Section 14-5.2(D)(2)(d) for a portal addition within 10’ of a primary façade. (Ramon Sarason) **POSTPONED TO JANUARY 9, 2024**

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, January 9, 2024

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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HISTORIC DISTRICTS REVIEW BOARD
NOVEMBER 28, 2023

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
NOVEMBER 28, 2023 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by John Bienvenu, Acting Chair, on the above date at approximately 5:35 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Jennifer Biedscheid (Via Zoom)
Mr. John Bienvenu
Ms. Amanda Mather (Via Zoom)
Mr. David Valdo

MEMBERS ABSENT (EXCUSED)

Ms. Cecilia Rios, Chair
Mr. Anthony Guida, Vice Chair
Ms. Madeleine Aguilar Medrano

STAFF PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Mr. Frank Ruybalid, Assistant City Attorney
Gary Moquino, Historic Preservation Division Manager
Paul Duran, Senior Planner

OTHERS PRESENT

Melissa Byers, Stenographer

NOTE: The Board packet for all agenda items is incorporated herewith by reference. The packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Chair Bienvenu said that Item 4 on the published agenda notes that the case is postponed to January 9, 2024.

MOTION: Member Biedscheid moved, seconded by Member Valdo, to approve the agenda as published.

VOTE: The motion passed by (3-0) roll call vote with Members Biedscheid, Mather and Valdo voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. November 14, 2023

Member Biedscheid requested that the following changes be made to the minutes:

- On Page 9, in the motion, first paragraph the middle of that paragraph reads, “34-inch-long wall as primary and no other facades as primary” she asked that the rest of the sentence be stricken and replaced with “excluding non-historic overhang as well as all non-historic doors and windows.”
- In the fifth paragraph of the of the motion, just correct the reference. It incorrectly references historic windows. It should say “she was just excluding the overhang and non-historic windows and doors”.
- On Page 20, the last paragraph of the applicant's presentation, replace the word “hand” with “had”.

MOTION: Member Biedscheid moved, seconded by Member Valdo, to approve the minutes of November 14, 2023, as amended.

VOTE: The motion passed by (3-0) roll call vote with Members Mather, Valdo and Biedscheid voting in favor and none voting against.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2023-006503-HDRB. 1243 Canyon Rd. (Heard September 12, 2023)
2. 2023-007140-HDRB. 1369 Cerro Gordo Rd. (Heard September 12, 2023)

MOTION: Member Biedscheid moved, seconded by Member Valdo to approve the Findings of Fact and Conclusions of Law.

VOTE: The motion passed by (3-0) roll call vote with Members Valdo, Biedscheid and Mather voting in favor and none voting against.

E. MATTERS FROM THE PUBLIC

Ms. Stefanie Beninato said she noticed that there is an addition at 604 Galisteo which is a contributing building. She doesn't remember seeing any notice of an HDRB meeting on that addition.

F. STAFF COMMUNICATIONS

Ms. Lamboy said that the deadline for general plan proposals was on this date and four proposals were received. The next step is the evaluation and selection process.

G. OLD BUSINESS

None

H. NEW BUSINESS

Chair Bienvenu explained the appeal process.

1. **2023-007552-HDRB. 50 Mt. Carmel Rd.** Historic Review Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agent for Santa Fe RC2,LLC c/o Modern Elder Academy, proposes to replace nonhistoric doors on the south and west primary facades. (Heather Lamboy)

BACKGROUND & SUMMARY

The Mt. Carmel campus offers a rich history that exemplifies an evolution of uses while maintaining the historic character. The campus has many different buildings that have served a variety of purposes over the years.

The first use of the property was the Sunmount Tent City, which was established in 1902 to serve the "lungers," people moving to the west from the east in order to recover from tuberculosis with the help of Santa Fe's dry climate. When the tent city was on the verge of collapse, Dr. Frank Mera and his brother Harry bought the tent city and improved the campus, rebranding it as Sunmount Sanitorium. One of the first buildings on the site is now part of the Carmelite Monastery and is on the western portion of the site. Next the Santa Maria building was constructed due to the expanding number of patients at the sanitorium.

Sunmount closed its doors in 1937 and the main buildings were renovated by John Gaw Meem (who had been a patient at Sunmount and became a noted Santa Fe architect) and Frank Mera and reopened as the Santa Fe Inn. The Inn was short-lived

and in 1944 the US Army requisitioned the property for additional space for the Bruns Army Hospital, which had run out of room at its facility on the current-day Midtown campus.

After the war the Archdiocese of Santa Fe purchased the property for use as a seminary, which eventually became the home for the Santa Fe Order of Carmelite Sisters. Many of the original buildings of the sanitorium were reused, as well as 2 others constructed – a high school building as well as the chapel. Many of the buildings on the campus are a physical record of the time, place and use, and relate to significant events and people in the history of Santa Fe.

The Fatima Building is illustrative of the evolution of the campus over time. The building was designed by Meem, Zehner, Holien and Associates in 1951 or 1952, and it represents the continuing involvement of John Gaw Meem in the development of Mt. Carmel. As such, the building is representative of significant persons in Santa Fe's history, and is representative of the institutional styles used, including the aluminum windows. As such, staff recommended the building be designated as contributing. On July 26, 2022, the HDRB designated the Fatima Building as contributing to the Historic Review Historic District, and the south and west elevations were designated as primary.

A door and window assessment was conducted and the doors that are proposed to be replaced were installed in the 1980s. The applicant is proposing replacing the doors with the proposed door design matching the original door design utilized when the building was originally designed. In addition to the replacement on the south and west primary elevations, the applicant proposes that non-historic doors be replaced on the non-primary façade on the east elevation as well.

STAFF RECOMMENDATION

Staff recommends approval of the proposed door replacement on the Fatima Building and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and Section 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts.

APPLICANT PRESENTATION

Lisa Gavioli of JenkinsGavin, 130 Grant Ave., Santa Fe, was sworn. She introduced the design team and said she was there on behalf of the Modern Elder Academy. She went over the various cases that have come before the Board and the statuses of the buildings. She referenced the primary facades. She showed which doors are being requested to be replaced.

PUBLIC HEARING

John Eddy, 14 Avenida Campo Verde, Santa Fe, was sworn. He was curious if there's a detailed depiction of what the doors will look like. He asked if there are other doors that are original to the property that these doors will match.

Ms. Gavioli said she didn't believe there are any existing doors of that design. But they do believe that the proposed design replicates the historic design and is completely appropriate for this 1950s building.

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn. She said from what she sees of the drawings, the doors do not look as busy as they look in the proposed drawings. She thinks these will be an improvement over the existing doors.

BOARD DISCUSSION/ACTION:

MOTION: In Case 2023-007552-HDRB, 50 Mt. Carmel Rd., Member Biedscheid moved to approve the replacement of the doors consistent with the documented original design drawings. The motion was seconded by Member Valdo.

Chair Bienvenu explained that three Board members are absent, but a quorum of the Board is present. He confirmed with Attorney Ruybalid that the *City of Santa Fe Rules and Procedures for City Committees* provides that the vote of a majority of the members present shall decide any question. The City Attorney's Office interprets that provision to mean that a majority of the members present need to vote. So, in this case, since there are four members present, in order to have a valid vote, the vote will be determined by a majority of the three voting members.

Attorney Ruybalid confirmed that is correct under *Robert's Rules of Order* as well as common law and general rules of statutory construction. The fact that the Board chair is present but cannot vote does not count as a fourth member. The count is made among the voting members only.

VOTE: The motion passed by (3-0) roll call vote with Members Biedscheid, Mather and Valdo voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=w7jFk6xyqzU> (8:35 through 27:18)

2. **2023-007525-HDRB. 913 ½ Acequia Madre.** Downtown and Eastside Historic District. Non-contributing. Richard Martinez, agent for Jay Morton of the Morton Phillips Trust, owner, requests historic status review with primary façade(s) designation. (Paul Duran)

BACKGROUND & SUMMARY

913 ½ Acequia Madre is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure was built in 1940 on a 0.10-acre lot which totaled 1,702-square feet. The primary architectural design of the structure is a collaboration between Spanish-Pueblo revival and Santa Fe vernacular styles which includes adobe and concrete block for construction materials, a flat shed-roof, wood and aluminum single-hung three over one and one over one windows.

The structure has undergone an evolution of construction and additions throughout time. The original core of the structure is the north and northeastern façades which contain the integrity of the historic districts standards as seen through the adobe wall construction and recessed three over one wood framed windows. These two façades are being recommended as primary. The portal over the eastern façade entry way is most likely the first addition to the structure around the 1950s. As construction continued, additions were made to the southern façade adding another room and garage by the 1970s. The clear and distinct evolution of the property can be observed through the construction material and design of the structure.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be upgraded to contributing with the north and northeastern facades as identified on the façade diagram 1 through 4 be designated as primary, per 14-5.2(C) Designation of Significant and Contributing Structures and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Bienvenu asked if the building is currently stasured.

Mr. Duran said in 1983 it was given a noncontributing status.

APPLICANT PRESENTATION

Richard Martinez, 1524 Paseo de Peralta, Santa Fe, was sworn. He said the house should not be upgraded from non-contributing to contributing. The clear and distinct evolution of the property can be observed through the construction material and design of the structure. In other words, the significance of this building is that it's been changed, and it has evolved over time. He asked why stop that evolution now by elevating this to contributing? John Murphy's report recommends it be maintained as non-contributing. He hasn't had a window report done because it's obvious the windows need to be replaced.

Member Mather confirmed with Mr. Duran that staff is recommending that the north facing facade and the east facing facade are the facades being recommended as contributing. She asked how much of that can be seen from the street.

Mr. Duran said northeastern façade can be seen from the street. The north abuts the street, you can get a glimpse of it from the street.

PUBLIC HEARING

Ms. Beninato, previously sworn, said the streetscape is distinctive from the house. If walking along the street, the whole side can be seen. Most additions happened before 1973. She said the staff recommendation should be upheld.

Mr. Martinez said the recommendation from the historian is to maintain the noncontributing status. Regardless of the recommendation from staff, the historian has recommended noncontributing status.

BOARD DISCUSSION/ACTION:

MOTION: In Case 2023-007525-HDRB, 913½ Acequia Madre, Member Mather moved to make the building contributing with primary façade designation as the north and northeastern facades as identified on the façade diagram as 1 through 4. The motion was seconded by Member Valdo.

Member Biedscheid offered a different opinion for the Board's consideration. She referred to the long east façade. Half of that was added in the 1970s. The original adobe 1950s building is there but also half of that is covered by the framed 1970s porch. She thought as a result, as noted in the HCPI report, the facade reads as more of a 1950 ranch style house which changes the sense of history associated with this house. The footprint is no longer the same and the additions clearly were not sensitive as evidenced by the result that this looks like a different style of house now.

VOTE: The motion passed by (2-1) roll call vote with Members Mather and Valdo voting in favor and Member Biedscheid, voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=w7jFk6xyqzU> (27:18 through 48:47)

3. **2023-007411-HDRB. 135 Grant Ave.** Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O'Keeffe

Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested. (Paul Duran).

BACKGROUND & SUMMARY

135 Grant Avenue is the Otero-Bergere House and now houses the Georgia O'Keeffe Museum Administrative Offices. It is listed as a significant structure to the Downtown and Eastside Historic District. The property at 123 Grant Avenue is the former Safeway building and is designated as a non-contributing structure to the Downtown and Eastside Historic District. The white wooden picket fence on the western property line and the masonry stuccoed wall on the eastern and southern property line of the Otero-Bergere property, are contributing structures to the Downtown and Eastside Historic District.

The applicant is proposing the following:

- 1) Demolition of the wall in order to allow for the construction of the new Georgia O'Keeffe Museum.
- 2) Alteration of the picket fence in order to improve site access and expand the public sidewalk along Grant Avenue.

The white wooden picket fence was constructed between the 1870s to 1880s at the time the Fort Marcy Military Reservation was active and initially served as a property boundary marker delineating the yard of one of the officer's quarters. The wooden fence at 135 Grant Avenue has undergone renovations in 1912, the 1970s, and into the early 2000s.

The masonry stuccoed wall at 123 Grant Avenue was constructed pre-1958 and established the eastern and southern property boundaries on the north side of that property. The wall has undergone previous maintenance and construction between 1941 and the early 2000s as seen by the height variations on the east and south sides. The white wooden picket fence and the masonry stuccoed wall represent a historic reference point which is significant to the streetscape and contributes to the sense of place which is an essential part of the Grant Avenue streetscape and this part of the Downtown and Eastside Historic District where the Fort Marcy Military Reservation used to be.

Historic photographs show the white wooden picket fence surrounded the house on all sides and defined the property boundaries. The wooden picket fence heads varied in shapes and styles from spade to gothic and currently are a triangular shape. The white wooden picket fence shares the incorporation of a territorial architectural design uncommon to the historic downtown Santa Fe and specifically to Grant Avenue. After

the Fort Marcy Military Reservation was decommissioned and New Mexico became a state, the Otero-Bergere house was remodeled in the Santa Fe Style but retained some Territorial period features, including the picket fence. Over time the lot has been encroached upon on the north side and east side. The west and south property lines remain intact even as the fence and wall have changed. The white wooden picket fence has maintained a significant detail to the Grant Avenue streetscape and Downtown and Eastside Historic District.

The masonry stuccoed wall on the properties east and south sides was constructed between 1941 to 1958 and helps to establish and maintain the character of the of the space around the Otero-Bergere property. The initial construction was out of concrete cinder blocks and stuccoed over.

The exact date is uncertain; however, the wall is over 50-years old and was determined to have a contributing historic status. The height of the wall varies between 72” to 102” on the south side.

Previous cases include:

In 1999, the Otero-Bergere House was designated as significant to the Downtown and Eastside Historic District by the HDRB.

In 2000, the HDRB approved maintenance and repair of the fence in kind.

In 2021, the former Safeway building at 123 Grant Avenue was designated as “noncontributing” by the HDRB in a status review hearing. The HDRB approved demolition of this existing building and associated parking lot and kiosk on September 14, 2021.

At the September 12, 2023, HDRB hearing, the picket fence and masonry wall received contributing status with a 3-2 vote from Board members.

STAFF RECOMMENDATION

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends the application meet the standards of the code as written in 14-5.2(D) General Design Standards for all Historic Districts specific to 14-5.2(D)(1)(a) the status of a significant, contributing, or landmark status.

Chair Bienvenu confirmed that there are two proposals. There are two separate Code provisions that are in play. The Board needs to be cognizant of determining whether the criteria of those provisions have been met.

Member Mather asked if there was a plan for replacing the picket fence.

Mr. Duran said the applicant could respond to that.

APPLICANT PRESENTATION

Jennifer Jenkins of JenkinsGavin, 130 Grant Ave., Santa Fe, was sworn in on behalf of Georgia O’Keefe Museum. She shared a power point presentation which included:

- Project Location
- Existing Site Conditions
- Picket Fence – recognize uniqueness
- Site Wall constructed to block a grocery store parking lot
- Project Background
- Existing Site Plan
- Existing Elevations
- Site Access
- Picket Fence HCPI Findings
- Picket Fence Existing Conditions
- Plan for picket fence – originally they wanted to move it back. A vast majority of fence will remain where it is. They are proposing to remove a small segment of the fence by the cottonwood tree. That would open up the space for the health of the tree and improve the pedestrian experience
- Site access
- ADA Considerations – City won’t allow a three-foot sidewalk
- Site Wall HCPI Findings and Conclusions
- Site Wall Existing Conditions
- Property Boundary Treatment
- Proposed Northwest Corner
- Grant Ave. Frontage – Existing
- Grant Ave Frontage – Proposed

Chair Bienvenu asked what the current length of the fence is.

Ms. Jenkins said 121 feet. They are proposing to remove 21 feet

Chair Bienvenu said more than $\frac{3}{4}$ of the picket fence will remain, part of what’s being removed is obscured by the tree. He acknowledged that the picket fence is important. The question for the Board is if a removal of that portion is justified. The wall is a separate issue. It’s not historic to either of the two properties.

Ms. Jenkins said the intent is to create open space.

Chair Bienvenu said he is appreciative of staff's endeavor to hang on to the history of this property. His concern is that they don't end up with two buildings that don't belong next to each other. The Plaza in the middle will help them.

Ms. Lamboy said the Board is dealing with a unique circumstance. The Board cannot consider what's being proposed considering the demolition. She reminded the Board there will need to be two motions.

Member Biedscheid said the percentage of the picket fence that's proposed for demolition is 17%. That is a very small concession. She pointed out that the Board has approved the demolition of historic walls and fences for far less worthy instances like parking access. In this case, an enhanced public entrance and garden space is a lot easier to justify.

PUBLIC HEARING

Mr. Eddy, previously sworn, said what's at heart is the intent of unification of these two properties that have been disassociated. He likes that they are planning to terminate a little bit of the picket fence. He doesn't see the larger stucco wall as a great loss. He likes the wall that comes down 15 feet with a banco on it. The onus is on the City to keep the cottonwood alive.

Richard Martinez, previously sworn, said the wall between the properties served a function that it no longer serves. The museum and Otero house are in dialogue with each other.

Ms. Beninato, previously sworn, said she's more in the line of staff's recommendation of not granting demolition.

BOARD DISCUSSION/ACTION:

Member Biedscheid confirmed that staff recommended two separate motions.

MOTION: In Case 2023-007411-HDRB, 135 Grant Ave., regarding the white wood picket fence, Member Biedscheid stated that the staff report documents disagreement with all the demolition criteria as well as the exception criteria. She needed to address each one in the motion to approve that removal. With respect to the demolition criteria the picket fence is of historical importance, however, the majority of the fence remains in place satisfying that criterion and representing a very negligible impact to the historical significance. Whether or not the demolition is an essential part of the streetscape, she would say yes and for the same

reason that the vast majority of the picket fence remains, that criteria has been considered and is not impacted. The last criterion about the stability of the structure, as acknowledged by the staff report is that it's in a decent state of repair but that is not the reason for this. She noted that not all three criteria need to be met just considered in this process. Because the picket fence has been designated as contributing the exception criteria applied first is to not damage the character of the district. Again, the removal of a portion of the picket fence represents a minimal impact to the character of this streetscape. Certainly, the contributing features of the picket fence remain with the small removal of this portion. With respect to a hardship, the hardship of attempting to unify two previously separate properties requires an access point on the street. This additionally is complicated by the presence of a large cottonwood tree and pedestrian access are reasons enough to consider this to address a hardship to the applicant or injury to public welfare and the last criteria is to strengthen the heterogeneous character of the city by providing a full range of design options. The context of the reason for the request is the function of the property for this accommodation will add to the character of the city by supporting a thoughtful redesign and unification of the two properties. With that she moved to approve the demolition of the 21 feet of picket fence in front of the Otero House. The motion was seconded by Member Valdo.

VOTE: The motion passed by (3-0) roll call vote with Members Valdo, Biedscheid, Mather, and, voting in favor and none voting against.

MOTION: In Case 2023-007411-HDRB. 135 Grant Ave., Member Biedscheid moved to approve the demolition of the stucco wall at the south end of the property. She went through the demolition criteria and the exception criteria to document a different conclusion than what is documented in the staff report. With respect to the demolition criteria, whether the structure is of historical importance, while the wall is designated as contributing, it is not historic material and its association with the former grocery store is not of historical importance. With respect to whether or not the structure is an essential part of the streetscape, as testimony from the applicant supports the east/west orientation of the wall contributes very little to Grant or Sheridan, so it is not an essential part of the streetscape and the state of repair is not relevant. It is of structural stability but that is not a relevant consideration in this case. With respect to the exception criteria, damage to the character of this to the district, removal of the wall will enhance the character of the district. It's not an attractive feature. It does not support character definition that we want to retain the CMU brick wall. With respect to hardship, again unifying

the two previously separate properties, providing a sensitive unification related to the functioning of the two together will be supported by demolition of the wall and with respect to strengthening the heterogeneous character of the district by considering full design options, again the new museum building can only move forward with the demolition of a wall that allows it to communicate with the other property that is also under the museum organization. There's really no way to unify the properties with the wall intact. **She moved to approve the demolition of the stucco wall at 135 Grant Avenue.** The motion was seconded by Member Mather.

VOTE: The motion passed by (3-0) roll call vote with Members Biedscheid, Mather and Valdo voting in favor and none voting against.

To view the entire recording of this hearing, **see** the YouTube video at: <https://www.youtube.com/watch?v=w7jFk6xyqzU> (48:47 through 2:00:29)

4. **2023-007222-HDRB. 123 & 135 Grant Ave.** Downtown and Eastside Historic District. JenkinsGavin, agent for the Georgia O’Keeffe Museum, owner, requests approval for a 56,000 sq. ft. museum building. The proposed height is 33’-0” and the permitted height is 33’-8” . (Paul Duran)

POSTPONED TO JANUARY 9, 2024

I. DISCUSSION ITEMS

None

J. MATTERS FROM THE BOARD

Chair Bienvenu asked what the procedure is for the public to bring issues to the attention of the City. As a Board member he notices things around town. He’s cognizant that staff is busy. He asked for guidance about what should be done if some has a concern.

Ms. Lamboy said with reference to concerns of the public, staff is willing to help. Concerns can be sent to a general email at historicpreservation@santafenm.gov. Staff checks that daily.

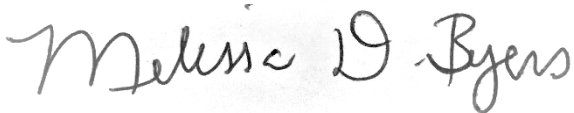
11. NEXT MEETING: Tuesday, December 12, 2023

12. ADJOURNMENT

Motion: Member Valdo moved to adjourn the meeting at 7:40 pm. The motion was seconded by Member Mather.

Vote: The motion passed by (3-0) roll call vote with Members Mather, Valdo and, Biedscheid, voting in favor and none voting against.

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Approved by:

Cecilia Rios, Chair

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7231-HDRB

Address – 624 Garcia St. (previously listed as 621 or 623-D Garcia St.)

Agent’s Name – Liaison Planning Services

Owner/Applicant’s Name – Parks Construction Management Services, LLC

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 12, 2023.

BACKGROUND

The property at 624 Garcia St. is a vacant lot in the Downtown and Eastside Historic District. The property is located to the east of the Las Placitas Compound on a private drive and has no visibility from the Garcia Street public thoroughfare. The lot was created in 2022 as a result of a lot-split from the property directly to the west.

The Applicant proposes to construct a 3,550-square-foot Territorial-style residential structure to a height of 14’7”, where the maximum allowable height is 14’11”. The design details include:

South Elevation:

- 1) Non-reflective sloped metal roof over a 60-square-foot entry portal.
- 2) True divided-lite 2 over 4 lite on a ¾-lite entry door.
- 3) True divided-lite 8’0” tall by 5’6” wide window with dentil board.
- 4) Two-car garage entrance with metal overhead door with embossed wood-grain finish, lites in the top panel and dentil board.
- 5) Decorative metal zaguan courtyard gate with stucco surround; full height of the structure at 9’3” with a header and exterior lighting.
- 6) A 5’0” stucco yard wall around the entry.
- 7) A 5’0” coyote fence trash enclosure to the east of the garage.
- 8) Wood pedestrian gate at 3’6” tall to the east of the garage that leads to side yard and is located to the north of the trash enclosure.

West Elevation:

- 1) A 102-square-foot patio with painted wood trellis with dentil board and exposed wood beams.
- 2) Two 2 over 4 true divided-lite windows, a 2 over 3 true divided-lite window, and two true divided-lite double doors.

North Elevation:

- 1) A 287-square-foot portal with painted Territorial-style wood columns, dentil board and exterior fireplace.
- 2) A 116-square-foot patio with a wood trellis with dentil board and exposed wood beams

that have decorative end cuts and metal flashing at the top. Trellis will be finished to match the beams.

- 3) Stacked stone 5'0" retaining wall.
- 4) A 2 over 4 true divided-lite window, a double 2 over 4 true divided-lite window, and a double door and triple door each with true divided lites and exterior lighting.

East Elevation:

- 1) Five 2 over 4 true divided-lite windows, and one double 2 over 4 true divided-lite window.
- 2) Exterior stairs with black steel handrail.

Roof:

- 1) Main structure roofing material will be membrane.
- 2) Canales will be cut in the parapets.
- 3) Parapet height at approximately 18".
- 4) Three skylights of various sizes.
- 5) Roof-mounted mechanical equipment behind parapet.

Exterior Finishes:

- 1) Stucco in Sto synthetic "Pecos".
- 2) Window and patio door cladding color will be Sierra Pacific windows "White 001".
- 3) Exterior paint color for the Territorial-style window trim, portal columns, dentil frieze, trellis beams, and miscellaneous trim in Sherwin Williams SW 9541 "White Snow" semi-gloss.
- 4) Garage door color in Sherwin Williams SW 9541 "White Snow" semi-gloss.
- 5) Entry walks and portal flooring to be recycled-brick "Desert Mirage" blend.
- 6) Zagan entry gate in "Weathered Steel".
- 7) Progress lighting LED Lantern P 6069-3130 K 9 black.
- 8) Driveway in stained concrete "Buckskin".

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the construction as set forth in the Application, described in the Background section, above, and as recommended by Staff.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7315-HDRB

Address – 551 Canyon Rd.

Agent’s Name – Richard Martinez

Owner/Applicant’s Name – Weird Hall, LLC

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 26, 2023.

BACKGROUND

The building at 551 Canyon Rd. is a studio and apartment in the Downtown and Eastside Historic District. The historic status of the building was upgraded to significant (excluding the non-historic windows on the north and east Elevations) at the September 12, 2023, HDRB hearing, Case # 2023-7165-HDRB. The Applicant now proposes various alterations, none of which affect the historic footprint of the house.

Erected in 1945, the roughly 1,560-square-foot adobe structure has only three rooms. Located down a gravel alley behind El Zaguán, this is a low-profile building that once held a studio and a gallery run by artist and printmaker Dorothy Newkirk Stewart. Stewart ingeniously used the tiny patch of sloping land to build a compact working space for her creative life. Two older skylights rising from the roof are the only clue to this historic use.

The Applicant proposes the following exterior alterations:

1. Replace the non-historic existing windows (windows E, F, G, H and I) with insulated-glass, wood windows painted to match the remaining historic windows and door (windows A, B and D, and door C).
2. Restore the historic skylights, replace the wire glass with insulated glass, and replace the roof.
3. Install a new ground-mounted, mini-split HVAC system on the east elevation.
4. Construct a new stairway at the west entry courtyard, with stonework to match the existing and that meets all the current regulations, but does not butt into the mud-plastered walls.
5. All finishes will match the existing finishes. All City of Santa Fe building codes and regulations will be met.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

2. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts, 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown & Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report, and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1-5 as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7286-HDRB

Address – 1150 Cristo Rey St.

Agent’s Name – Martinez Architecture Studio, P.C.

Owner/Applicant’s Name – Michael Vinson

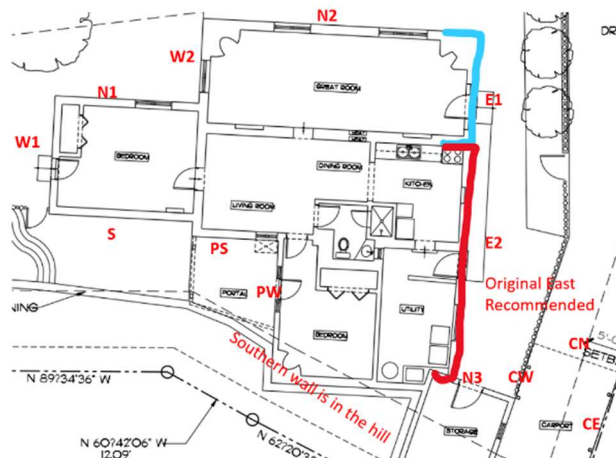
THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 26, 2023.

BACKGROUND

The property at 1150 Cristo Rey St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District and is part of the Tafoya compound which reached south to Camino San Acacio. At this hearing, the Applicant is requesting primary façade designation on this contributing residential structure. The residence is a New Mexico vernacular style with a flat roof, stone coping adorning parapets atop adobe walls, two chimneys, and vinyl windows. The east façade holds a ceramic tile panel. There is a stone, buttressed retaining wall along the street frontage and a stone retaining wall along the south property line.

Although early construction on this residence took place in the 1930s, the street-facing, north façade prominently features an enclosed portal addition, believed to be from the late 1960s, currently referred to as the Great Room. An attached carport was constructed at an unknown later date. The western side parapets of the structure appear to have been repaired at an unknown date, as concrete obscures any stone in the parapet. All the original windows were replaced with vinyl windows in 2009 under permit 2009-0058. The coyote fence courtyard area was permitted in 2010 under permit 2010-0781. The residence was most recently restuccoed in 2021.

The Staff recommended that, due to the unique feature of the stone-treated parapets, the primary façade of the structure should be the original eastern façade of the residence (E2 in the diagram below), which excludes the enclosed portal Great Room on the northernmost end and the non-historic windows.



FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended that due to the unique feature of the stone-treated parapets, the primary façade of the structure be the original eastern façade of the residence, which excludes the enclosed portal on the northernmost end and the non-historic windows, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “non-contributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by Staff.
10. The Board finds that the original east façade is the primary elevation of the structure with the features that define the character of the structure’s architecture, excluding the northernmost part which is the exterior of the Great Room. The stone parapet and the stone retaining walls at the north and south of the property, which are indicative of the original Tafoya Compound, are defining characteristics of the residence and neighborhood and should be retained.
11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board confirms the contributing status of the property.
4. The Board designates the following elevation of the main residence as the primary façade: the southernmost part of the east façade, which excludes the 1960s enclosed portal Great Room addition, and excludes the non-historic windows and doors, and the electrical and gas components.
5. The Board designates the northern street-frontage retaining yard wall with its buttresses and the southern property retaining yard wall as contributing structures.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7313-HDRB

Address – 802 Don Cubero Ave.

Agent’s Name – Florian Griego

Owner/Applicant’s Name – Sarah Flores-Sievers

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 26, 2023.

BACKGROUND

Sitting on a corner lot in the Don Gaspar Area Historic District, 802 Don Cubero Ave. was constructed in the 1920s and altered with window opening sizes, window and sill replacements some 80 years later. The hollow pentile house with a modestly scaled porch faces east onto Don Cubero Avenue, with its north side toward West Buena Vista Street. The house and garage (excluding a gabled carport addition) are designated as contributing to the Don Gaspar Area Historic District, as listed in a 1982 New Mexico Historic Building Inventory.

The mixed Spanish Eclectic and Pueblo Revival building encloses roughly 2,942 square feet, including a finished basement. The property has low street walls. The two-car garage was built at the same time as the house, and the large carport – larger and taller than the garage – added later. The Historic Districts Review Board confirmed the contributing status of the original garage in a hearing November 10, 2015. See Case # H-15-098.

The Applicant now requests the following:

1. Status review to determine possible future renovations.
2. Primary façade designations.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the main residence and garage be maintained as contributing, per SFCC Sections 14-5.2(C), Designation of Significant and Contributing Structures. Staff recommended that the street walls that define the east and north frontage of the property also be designated as contributing. Staff recommends that the following façades be designated as primary: The east façade of the main residence facing Don Cubero Avenue, the north façade of the main residence facing West Buena Vista Street (excluding the non-historic

windows on both façades), and the north-facing portion of the garage (excluding the non-historic carport addition).

3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by Staff.
10. The Board finds that the north and east façades of the main structure (excluding the non-historic windows), and the north elevation and doors of the original garage, are the elevations with the features that define the character of the structure’s architecture.
11. The Board further finds that the low stuccoed walls at the north and east property lines are features that define the character of the structure’s architecture (excluding, on the north side, the driveway gate and augmented height at the driveway gate and to the west).
12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board maintains the contributing status of the main structure and original garage.
4. The Board designates the following elevations of the main residence as its primary façades: the east and north facades, excluding the non-historic windows.
5. The Board designates the following elevations of the original garage as its primary façade: the north façade, including the garage doors, but excluding the gabled carport addition.

6. The Board designates the yard walls along the east and north property lines as contributing structures, excluding the north-facing driveway gate and excluding the extra height added on both sides of the gate and to the westernmost end of the wall.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7285-HDRB

Address – 815 E. Palace Ave., Unit 30

Agent’s Name – Jeff Williams

Owner/Applicant’s Name – Joseph & Peggy Bracewell

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The property at 815 E. Palace Ave., # 30, is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The property is located within the Llano Compound on a private drive and is not visible from a public thoroughfare. The single residence was built around 1979 when the compound was created. The exterior and the interior walls are all constructed of adobe bricks with the exterior stucco being cementitious Adobe Brown. The residence has one portal on the north elevation. The owner of the property indicates that the residence has had an extensive renovation, but the Historic Preservation Division has no records, possibly because it was an interior renovation, as stated by the previous owner who was the president of the HOA of the compound. The HCPI for the former Edward Safford House at 815 E. Palace Ave. is not specific to Unit 30.

The Applicant now proposes to construct a 96-square-foot portal to height of 9’10” where the maximum allowable height is 15’, on the east elevation of the residence. The height of the new portal will be lower than that of the existing portal. The structure will be attached to the residence and will be constructed of post and beam with upright viga posts, rough sawn beams, corbels, with latillas on top and two concrete spot footings. The horizontal vigas will have oxidized copper caps and the perimeter flashing on the edge of the roof beams which will also be oxidized copper. The structure will not have a roof -- it will have latillas for shade on top of the beams. The color of paint/stain on the wood will be adobe brown which will match the existing portal.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown & Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the proposed portal addition as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-6965-HDRB

Address – 847 E. Palace Ave.

Agent’s Name – Lightfoot, Inc.

Owner/Applicant’s Name – Chris Norris

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The building at 847 E. Palace Ave. is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. Lightfoot, Inc., agent for Chris Norris, owner, requests historic status review with primary façades designation. The residence was built as a single-story, four-room house in 1940. The west façade maintains the core adobe design elements. However, there has been significant remodeling on all facades, new doors and windows, a second story, a portal, and additional structures throughout the property built around 1982. The building was built in the Spanish Pueblo Revival style, as identified with high rounded parapets and window recesses, characteristic of its time to the Downtown and Eastside Historic District.

In a September, 2023, Historic Cultural Properties Inventory, Architectural Historian John W. Murphey described it as a compound mass structure made of the original one-story adobe building, a two-story block addition, an attached greenhouse, a few non-historic ancillary structures, and non-historic perimeter walls. The older square-shaped adobe house is still there, but only two of its original openings have survived. The height and bulk of the 1980s addition towers over the older home. Its flat north wall is penetrated with a few non-divided, standard push-out casement windows found throughout the addition.

The south façade combines the older home and a solar greenhouse, spanning nearly 30 feet. It originally had angled glass on the roof, which has since been removed. The greenhouse was reduced to create a bedroom, and since has been converted into a light-filled dining room. The composite building is too young to meet the minimum threshold of contributing status. While long-time residents William and Susan Yanda were influential in the solar movement, this house was acquired later in their careers and was not built to demonstrate solar principles. The element most connected to the solar movement – the attached greenhouse – has been altered in both length and design. For these reasons, the recommendation is to maintain non-contributing status for the house and to assign the same designation to the other features of the site.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be maintained as non-contributing, per SFCC Sections 14-5.2(C), Designation of Significant and Contributing Structures.
3. This review is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. This review is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure does not meet the definition of a “contributing structure” or “significant structure.”
11. The Board finds that the structure has undergone significant changes throughout its existence, much of it is less than 50 years old, it no longer has features that define the character of the original core structure’s architecture, and it has insufficient historic integrity to qualify as a contributing or significant structure.
12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the structure as non-contributing.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn F. Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7358-HDRB

Address – 1062 Camino San Acacio

Agent’s Name – Praxis Design Build

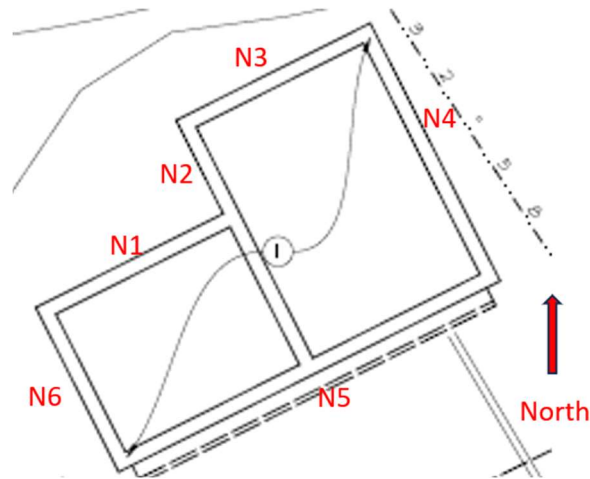
Owner/Applicant’s Name – Gabriel and Mariam Browne

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The property at 1062 Camino San Acacio consists of two non-residential structures that have no historic status in the Downtown and Eastside Historic District. The two structures – a lower, northern building and an upper, southern building – are basic L-shaped forms built partially into the hillside, which served as garages and workshops for residences across the street. There are no previous cases about this property on file with the Historic Preservation Division. The Applicant requests a status review with primary façade designation, if applicable, of each of the two structures.

The north building is an 853-square-foot adobe, with interior vigas, stuccoed with capped parapets in a rowlock pattern working as dentils. The modified bitumen roof slopes south to the gutter, and recently was redone, with an area of it replaced. New vigas and a concrete floor were installed, as approved under permit 2019-5288-EXTR. The garage on the easternmost end of the north façade has swinging wood panel doors. To the west of the north façade is the only pedestrian entry to the building. The west face has a non-historic, single, four-lite in-swing casement window with a heavy concrete sill at the bottom. The south elevation is partially imbedded in the slope and is divided evenly, with two openings holding non-historic, six-lite casement windows and a non-historic overhang spanning the façade. The east façade is an empty wall. The façades designation of the northern building is shown in this diagram:



The south building is a 755-square-foot adobe structure with a shed attachment on the east elevation. The north elevation rests on a mixed concrete and rubble foundation with the foundation walls rising 3 feet above grade, and adobe walls covered with a gray scratch coat on top. The walls are mounted with a coping made of clay tile blocks and bricks. On the west elevation are two wide garage doors and a window. While the opening is historic, the window is not original. The west has a scratch coat, and an overhang extending nearly 24” over the wall. The south elevation has exposed, mostly uniform, mud brick material laid in a typical pattern and adhered with mud mortar. There is a grouping of newer sash windows fitted into openings with a board mullion. Rolled asphalt roofing wraps down over the façade roof.

The east façade is covered by a shed constructed of a mix of wood materials and corrugated tin and is split into three divisions. The north elevation of the shed sits on a rubble stone wall and reveals various wood surfaces. Its structure sits on a mixed concrete and rubble foundation. Its roof is partially collapsed. The middle section has an east-sloping shed roof with openings that resemble animal pens. It has been recently reinforced by new beams. The lower north section is erected over a rubble stone wall and has a single gate, sheltered by an overhang. Based on the known use of the property, there is a high likelihood the shed once housed animals.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the north structure be upgraded to contributing with the north façades (N1 and N3) as primary; and the historic status of the south structure maintained as non-contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design

qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”

8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the north structure meets the definition of a “contributing structure,” as recommended by Staff, based on the architectural features, original door openings, original brick coping, adobe construction and historic integrity.
11. The Board finds that the north-facing elevations are the primary façades of the north structure, for their adobe construction, original brick coping and historic doors, which are features that define the character of the structure’s architecture.
12. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the south structure meets the definition of a “non-contributing structure,” as recommended by Staff. The Board finds that the historic integrity of the south structure has been eroded by multiple alterations over a long period.
13. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the historic status of the northern structure as contributing.
4. The Board designates the following elevations of the north structure as its primary façades: north-facing facades N1 and N3.
5. The Board designates the historic status of the southern structure as non-contributing.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geralyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7357-HDRB

Address – 616½-R Galisteo St.

Agent’s Name – Museum of New Mexico Foundation

Owner/Applicant’s Name – Museum of New Mexico Foundation

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The building at 616½-R Galisteo St. is a 1,351-square-foot, single-family residence listed as non-contributing to the Don Gaspar Area Historic District. The building, known as the Hemmer House, was constructed somewhere between 1935 and 1940 in the Spanish Pueblo Revival style, with a front portal with header and wood-slat ceiling on the east façade. The portal has a gabled roof over it where the rest of the structure has a flat roof. The building is constructed of a combination of concrete block and adobe with a stucco finish. There is a mix of windows including vinyl and wood with some fixed, casement, and double-hung windows. Three exterior doors consist of two six-panel wood doors, and one nine-panel wood and glass door.

The Applicant came before the HDRB for a status downgrade September 12, 2023. The Board downgraded the historic status of the property to non-contributing due to the large number of changes to the building. See Case # 2023-7090-HDRB. The Applicant now requests to demolish the residence for life and safety reasons. No structure is planned to replace the residence. The owner plans a consolidation to merge the property with the lot at 1411 Paseo de Peralta, where its offices are located. The owner might create a courtyard area on the lot to have it blend with the Paseo de Peralta property.

The Applicant has addressed the demolition criteria:

(a) Whether the structure is of historical importance: According to a recent Historical Cultural Property Index (HCPI), the property in question is not of historical significance or great artistic value. The Historic Districts Review Board made a unanimous decision to downgrade the structure from contributing to non-contributing building at its Dec. 12, 2023, meeting. The Staff agrees with this response.

(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front: 616½-R Galisteo St. is not visible from any public thoroughfare. Galisteo Street is approximately 175 feet to the east, and Paseo de Peralta is approximately 145 feet to the north. The Staff agrees with this response. The owners of the property are not seeking to rebuild on the site of the building being demolished.

(c) The state of repair or structural stability of the structure under consideration: The structure is substantially deteriorated and is a public health and safety hazard. According to Ed Crocker, a licensed general contractor and certified archaeological monitor who inspected the

building in 2021, the original adobe wall appears to have failed and was replaced with CMU block, poorly laid and not reinforced. A large portion of one CMU-block wall has failed, probably from moisture saturation at the adobe base, and another block wall is considerably out of plane. The wooden floors and support joists require removal and replacement, and the ceilings and the truss framing of the roof require sistering and blocking to meet code. All utilities require complete replacement. The Staff agrees with this assessment.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed demolition and finds that the application complies with SFCC Section 14-3.14(C), Demolition of Historic or Landmark Structure.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
5. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction, exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
6. Staff provided to the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
7. Under SFCC Sections 14-2.6(C)(1) and 14-5.2(A)(1), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed demolition in a historic district in accordance with the standards and procedures set out in SFCC Sections 14-3.14 and 14-5.2.
8. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance, whether the structure is an essential part of a unique street section/block front, whether the street section/block front will be reestablished by a proposed new structure, and the state of repair and structural stability of the structure.
9. Pursuant to SFCC Section 14-3.14(G)(1), and based on the Staff’s Report, and the exhibits and testimony presented at the hearing, the Board finds that:
 - (a) the structure is not of historical importance, and it has been designated a non-contributing structure;
 - (b) the structure is not an essential part of a unique street section or block front, and has no frontage on a public thoroughfare, and this street section or block front will not be reestablished by a proposed structure; and
 - (c) the Board finds that the structure under consideration is not structurally sound and is in a deteriorated state that causes life and safety issues.

10. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.
11. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that the Applicant has demonstrated that the applicable criteria support demolition.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the application as follows:

1. The Board has the authority to review and approve the application.
2. The Board approves the application to demolish the structure.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7400-HDRB

Address – 120 Martinez St.

Agent’s Name – N/A

Owner/Applicant’s Name – Josephine Creange

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

120 Martinez St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The property includes a detached, non-contributing garage that is in poor condition. Santa Fe Building Inspector Bobby Padilla inspected the garage June 21, 2023, and reported that the structure appears to have no foundation and only a partial footing. It has no electricity or plumbing, and its entire roof is missing. The walls are adobe, and are deteriorating because the stucco, which has no wire reinforcement, is cracking and breaking off, exposing the adobe to the weather. The Applicant proposes demolition of the detached garage. The Staff recommends approval of the demolition.

In a hearing December 12, 1995, the Historic Design Review Board approved an application to demolish the garage. See Case # H-95-184. A planner for the City Inspections and Enforcement Division reported in conjunction with that case that the structure was in poor condition, had not been maintained in accordance with the Uniform Building Code, and the roof needed replacement. The Staff recommended approval of the demolition in 1995. The expiration date for the 1995 demolition permit expired, but the demolition did not take place.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended approval of the garage demolition as previously approved in Case # H-95-184 and finds that the application complies with SFCC Section 14-3.14(G), Demolition of a Historic or Landmark Structure.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).

5. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
6. Staff provided to the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
7. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance, whether the structure is an essential part of a unique street section/block front, whether the street section/block front will be reestablished by a proposed new structure, and the state of repair and structural stability of the structure.
8. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is not of historical significance.
9. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structure is not an essential part of a unique street section or block front and that this street section or block front will not be reestablished by a proposed structure.
10. Pursuant to SFCC Section 14-3.14(G)(1)(c), the Board finds that the structure under consideration is in poor condition and is structurally unstable.
11. Based on the Staff Report and exhibits, information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.
12. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that the Applicant has demonstrated that all of the demolition criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application to demolish the non-contributing garage.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios Chair

Date

FILED:

Geraldyn F. Cardenas, Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid, Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7361-HDRB

Address – 514 Camino Cabra

Agent’s Name – Martinez Architecture Studio, P.C.

Owner/Applicant’s Name – Jennifer Biedscheid

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The residence at 514 Camino Cabra is a Territorial Revival style single-family residence designated as contributing to the Downtown and Eastside Historic District. The defining characteristics of the property are the Territorial style porch, brick coping, masonry along the base of the home, and wood surrounds on the windows. According to previous case minutes, the rock portion of the yardwall appears to have been constructed in 1927 or 1928, and a portion of it might have been constructed in conjunction with Cristo Rey Church. Minutes from previous cases also indicate that the living room addition was added on the southwest in the 1960s while the bedroom addition was added on the northwest in the 1970s. The current owners added the portal on the north elevation after they bought the house in 2005.

The Historic Preservation Division has no Historic and Cultural Properties Inventory or Historic Building Inventory on file. The County Assessor’s office shows the dwelling was built in 1933; a garage was added in 1980. July 25, 2006, in Case # H-06-051, the Board approved an application to increase parapet heights in sections of the west, north and south elevations, and denied the use of the brick cap on the parapets. The HDRB also required that the slope of the roof be retained so that it would not exceed the existing east elevation parapet, and allowed the existing historic brick-coping parapets to remain. May 9, 2017, in Case # H-17-033A, the Board designated the north and east elevations of the structure as primary. The portal on the north elevation was excluded because it is not historic. The Board also designated the rock and adobe portions of the yardwall along the street front as primary.

The Applicant now proposes the following exterior alterations:

- 1) Construct a 168-square-foot addition on the south elevation to extend the sunroom; windows will match the other white wood windows on the south elevation.
- 2) Stucco in El Rey cementitious “suede” to match the existing residence.
- 3) Replace windows and doors on the south elevation; all windows will be white wood trim and columns.
- 4) Repair brick coping on the parapets and add a reddish-brown metal cap to protect the coping (which requires removal of the stucco coating on top of the brick);
- 5) Install a ramp with a black metal railing at the existing north façade entry portal.
- 6) Remove part of the existing adobe and stone wall on the east side of the residence to create a driveway turn-around; the section to be removed is the north side of the wall and

is not the contributing section of the wall.

- 7) Repair and paint existing windows as noted on the window assessment provided by RPA & Associates.

No exceptions are necessary for the work proposed to this contributing building because the proposed additions, and the windows and doors to be replaced, are on non-primary façades.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided to the Board a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and recommends a finding that the application complies with SFCC Section 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. No SFCC Section 14-5.2(C)(5)(b) exceptions are required because no historic materials will be removed from primary façades and the only addition to the footprint of the house will be on a non-primary façade more than 10 feet from a primary façade.
9. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
10. The information contained in the Staff Report and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
11. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1-7 as set forth in the Application, as recommended by Staff, with the following additional conditions:
 - a. The metal cap over the brick coping visible from the public thoroughfare will only extend no more than half the thickness of the top layer of brick and will be color matched to that brick;
 - b. Removal of a portion of adobe and stone base wall for the driveway turnaround shall retain a thickness at the edge of the street-facing wall so that a thin edge of a wall is not apparent from the public thoroughfare; and
 - c. The Applicant shall endeavor to retain as much of the stone base wall along the driveway as possible, consistently with the need for safe access.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geralyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-7362-HDRB

Address – 1150 Cristo Rey St.

Agent’s Name – Martinez Architecture Studio, P.C.

Owner/Applicant’s Name – Michael Vinson

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 24, 2023.

BACKGROUND

The property at 1150 Cristo Rey St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District, and is part of the Tafoya compound which reached south to Camino San Acacio. The residence is a New Mexico vernacular style with a flat roof, stone parapets, two chimneys, and vinyl windows. There is a 1960s enclosed portal “Great Room” addition on the north façade, and a 1980s addition on the west façade.

The property came before the HDRB for designation of the primary facades September 26, 2023. See Case # # 2023-7286-HDRB. The HDRB designated the original, southernmost end of the east elevation as the primary façade, excluding the 1960s enclosed-portal Great Room addition, the non-historic windows and doors, and the electrical and gas components. The HDRB also designated the northern street-frontage retaining yard wall with its buttresses, and the southern property retaining yard wall, as contributing structures.

The Applicant now proposes the following exterior alterations:

- 1) Construct a 230-square-foot addition to a height of 11’0” where the maximum allowable height is 16’6” on the western 1980s addition.
- 2) Construct an 86-square-foot portal on the north side of the new addition.
- 3) Construct a 62-square-foot portal on the northern entrance door on the east façade of the residence. An exception to construct within 10 feet of a primary façade is requested, per SFCC Section 14-5.2(D)(2)(d).

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended a finding that all the exception criteria have been met, therefore the Staff recommended approval of the application, as it complies with SFCC Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(E), Downtown & Eastside Historic District.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(d), additions to contributing, significant or landmark structures must be set back a minimum of 10 feet from any primary façade.
9. The Applicant proposes to construct a portal addition on the east façade within ten (10) feet of the primary façade. Staff determined that an exception to SFCC Section 14-5.2(D)(2)(d) would be required for approval of the Application, and the Applicant requested an exception.
10. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
11. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's finding that the Applicant has conclusively demonstrated that all exception criteria have been met.
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because the portal is small relative to the east elevation, is below the roof line of the primary façade, and is consistent with Downtown and Eastside Historic District design standards.
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare because it will prevent safety hazards and facilitate ingress to and egress from the structure; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts because there is no other place on this structure to locate a front entry door and entry portal without disturbing the primary façade or the contributing yard wall.
12. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1-3 as set forth in the Application, as recommended by Staff.
3. The Board grants the exception requested in the Application.

IT IS SO ORDERED ON THIS 12th DAY of DECEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Geraldyn Cardenas
Interim City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2023-007489--HDRB

Project Description: 2023-007489-HDRB. 1369 Cerro Gordo Rd. Downtown & Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owner, proposes to alter a previous approval by constructing a 140 sq. ft. addition to a height of 12'0" where the maximum allowable height is 14-7" an accessory structure.

Project Location(s): 1369 CERRO GORDO RD
Santa Fe, NM 87501

Contacts:

Applicant: Patrick D McDowell
PO Box 28249
Santa Fe, NM 87592

pmcdowell626@gmail.com

Property Owner: J Nold Midyette
1369 CERRO GORDO
SANTA FE , NM 87505

jnoldmidyette@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: NA

Year of Construction: circa 1990

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: December 12, 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2023-007489-HDRB. 1369 Cerro Gordo Rd. Downtown & Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owner, proposes to alter a previous approval by constructing a 140 sq. ft. addition to a height of 12'0" where the maximum allowable height is 14-7" on an accessory structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [previous cases & administrative
approvals]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

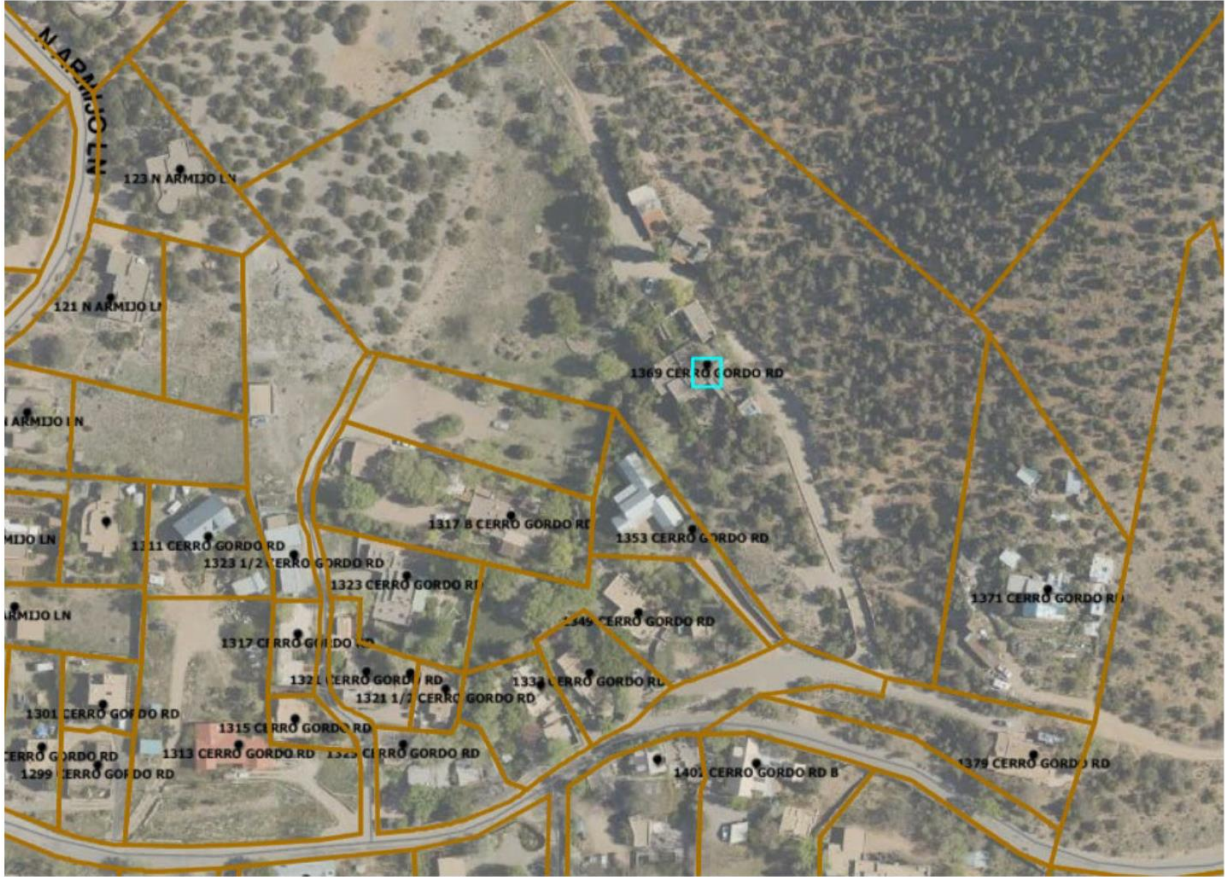
Other:

STAFF RECOMMENDATION:

Staff recommends approval of the application as it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The property at 1369 Cerro Gordo Road is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The closest building on the lot to Cerro Gordo Road is approximately 300 feet down the gated and locked private drive.

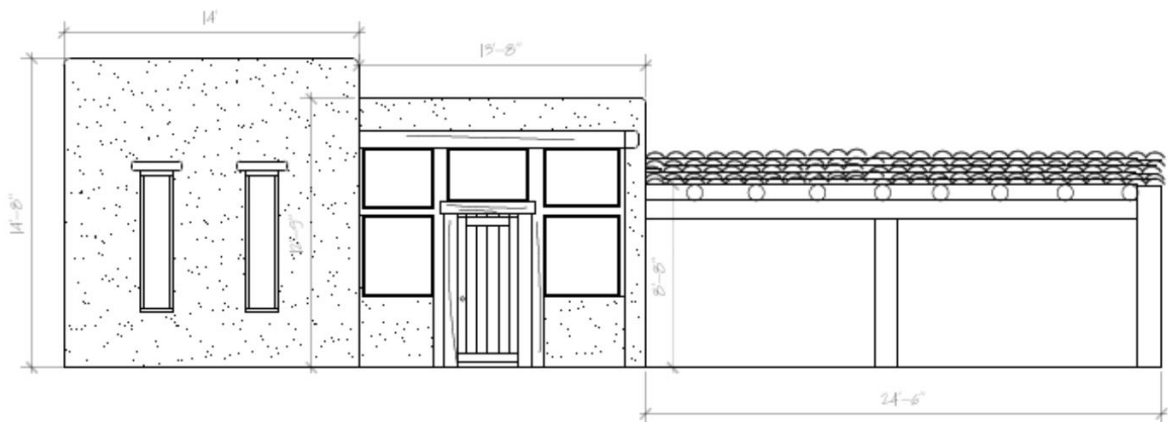


The property has 4 buildings, a primary residence with a guest house on the west side of the property, a secondary residence with garage on the east side of the property, and a workshop with carport to the north of the secondary residence located on the east side of the property. All structures on the property are listed as non-contributing and are referred to as non-contributing in all cases since 2016. However, no status review of the property is on record. The Historic Preservation office has no historic inventory form for the property.

The shop and carport structure are not mentioned in previous cases though photos show them in their early 2023 layout. Given the amount of work done on the property since 2016, Staff determined that the property continues to be a non-contributing property and is not in need of a status review.



The shop with carport is the focus of this case. The shop is adobe and was most likely constructed as one of the original structures on the property in 1932. An addition to the shop was built on the north side at an unknown date but appears to be historic. The applicant believes that the carport was added sometime in the late 1970s. It is constructed out of scrap materials including boards, latillas, concrete, and old clay tiles salvaged from other properties.



West Elevation - Existing

Most recently, under case 2023-007140-HDRB the HDRB approved exterior alterations to the shop with carport structure including installing a foundation and converting the carport to a garage, repairing and cleaning windows on the south and north elevations, installing a viga topped portal roof at the center door of the original portion of the structure, and installing double doors at the shop building on the north end of the structure.

Now the applicant requests to alter the previous approval by constructing a 140 sq. ft. addition to a height of 12'0" where the maximum allowable height is 14'7" on the west façade of the historic addition on the north side of the shop with carport structure.



RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns.

Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and

(f) Flat roofs shall have not more than thirty (30) inches overhang.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>3.21.23</u>	<u>1369 Camino Arroyo Rd Santa Fe NM 87501</u>	
Property Owner of Record: <u>J Noid Midyette</u>	Proposed Construction Description:	
Applicant/Agent Name: <u>Patricia McDowell</u>	<u>Renovate Carport</u>	
Contact Person Phone Number: <u>(505) 629-6673</u>	TOTAL ROOF AREA:	
Zoning District: <u>R-1</u>	Lot Coverage: _____%	<input type="checkbox"/> Open Space Required: <u>NA</u>
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>Downtown and historic, eastside</u>	Setbacks:	Proposed Front: <u>447</u> Minimum: <u>7</u> 2 nd Front? _____ Proposed Rear: <u>250</u> Minimum: <u>13</u> Proposed Sides: <u>140 R 51</u> Minimum: <u>5</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>13'5"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		
Use of Structure: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes <u>None</u>		

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Patricia McDowell [] OWNER [x] APPLICANT [] AGENT
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE _____

To Be Completed By City Staff: 2023-006624-PAR

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: Stephanie Perera DATE: 3/31/23

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

29.8
N

15
N 123 N ARMILLO LN

1369
Cerro Gordo Rd.

15 N

17.5 N

10.1 N

25 N

12.5

15
10.1

25.1

12.55

25.1

max.
ht.
14' 7"

15.9
N

1311 CERRO
GORDO RD

1321 CERRO
GORDO RD

11.7
C

10.1

1323 CERRO
GORDO RD

16.3
N

1317 B
CERRO
GORDO RD

1353 CERRO
GORDO RD

12.8
N

1315 CERRO GORDO RD

11.3
C

1325 CERRO
GORDO RD

13.4
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16.6
C 1313 CERRO
GORDO RD

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10 N

CAMINO DE LAS LOMAS

1333 CERRO
GORDO RD

8.9
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14.5
C

8.5
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20.3
C

18.2
C

1349
CERRO
GORDO RD

10.1
N

CERRO GORDO RD

1402 CERRO
GORDO RD

28.4
C

21.6
1402 CERRO
GORDO RD B

1379 CERRO GORDO RD

19.4
N

1371 CERRO
GORDO RD

24
N

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
2023-007140-HDRB
Remodel
1369 Cerro Gordo Road**



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2023-007140--HDRB

Project Description: 2023-007140-HDRB. 1369 Cerro Gordo Rd. Downtown & Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owners, proposes to raise the height from 11'6" to the maximum allowable height of 14-7" and change its' roofline and roof material, stucco, and install garage and pedestrian doors on a carport and storage structure.

Project Location(s): 1369 CERRO GORDO RD
Santa Fe, NM 87501

Contacts:

Applicant: Patrick D McDowell
868 E Palace AVE
Santa Fe, NM 87501

patrick@mcdowellfinehomes.c

Property Owner: J Nold Midyette
1369 CERRO GORDO
SANTA FE , NM 87505

jnoldmidyette@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: NA

Year of Construction: circa 1990

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 12, 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

Case # 2023-007140-HDRB

Address: 1369 Cerro Gordo Road
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [previous cases & administrative
approvals]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

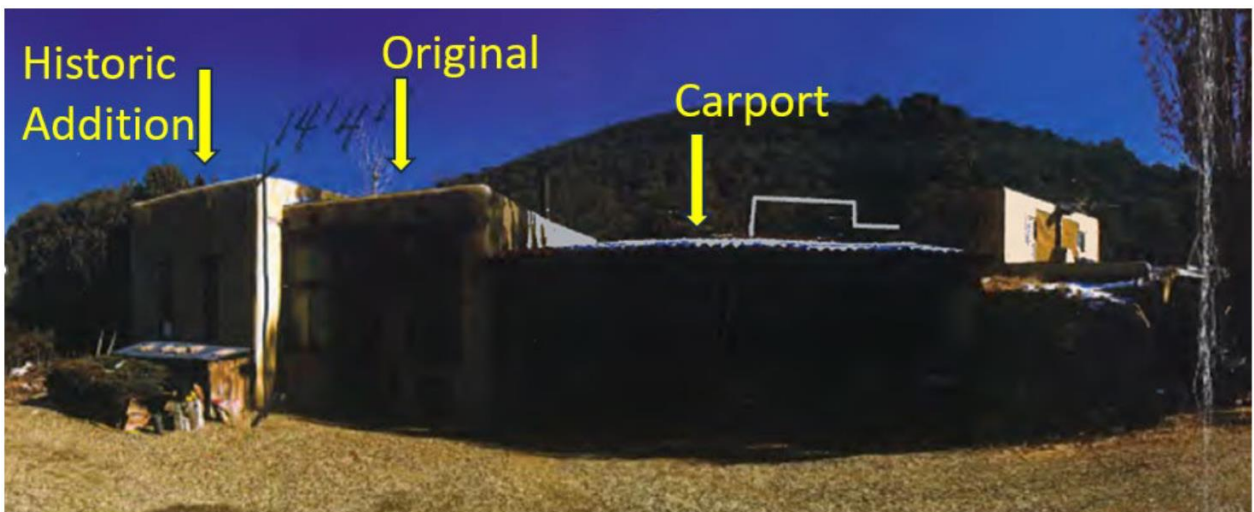
Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

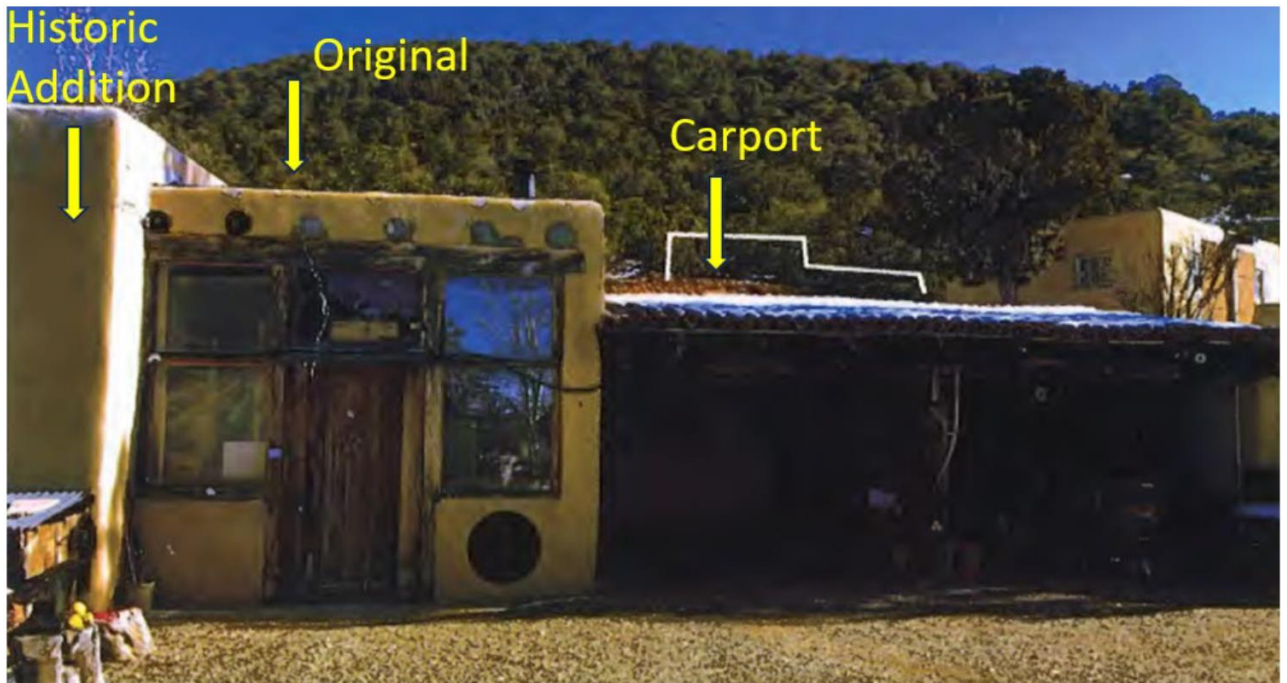
BACKGROUND & SUMMARY:

The property at 1369 Cerro Gordo Road is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The closest building on the lot to Cerro Gordo Road is approximately 300 feet down the gated and locked private drive.



The shop with carport is the focus of this case. The shop is adobe and was most likely constructed as one of the original structures on the property in 1932. An addition to the shop was built on the north side at an unknown date but is historic. The carport is a much later addition to the shop. The carport is constructed out of scrap materials including boards, latillas, concrete, and old clay tiles salvaged from other properties. The applicant believes that the carport was added sometime in the late 1970s.





The property has been before the HDRB on several occasions since 2016.

An addition of 1,760 sq. ft. was approved on the main residence on June 28, 2016 under case H-16-038B along with pilasters, metal gates, and raising the yardwalls along the driveway to 6' on the west and 6' over a 4' retaining wall for a total of 10' along the east.

A 1,250 sq. ft. two car garage addition in Spanish Pueblo Revival style and a yardwall and pedestrian arch were approved at the secondary residence (referred to as the studio in previous cases) on November 14, 2017, under case H-16-038C. In 2019, under case 2019-001519-HDRB the H-16-038C case was amended to raise the height of the freestanding garage from 13'6" to 17'6" where the maximum allowable height is 14'7". The exception request to raise the height was a result of issues with the slope of the property.

An addition of 260 sq. ft. with a portal, installation of windows and a patio at the primary residence and a 148 sq. ft. portal addition and a gate entry and yardwall realignment, hardscaping and exterior lighting at the guest house were approved under case 2020-002820-HDRB.

The property has also been approved for yardwalls, fences, vehicle, and pedestrian gates administratively in 2009 and 2017. In 2020, the previously approved case 2020-002820-HDRB0733 was changed slightly through an administrative approval.

Now, the applicant proposes the following exterior alterations:

1. Enclose the existing carport and alter its design by removing the tile roof, raising the roofline, redirecting the slope to the east, and installing a parapet, a TPO roof, canales on the east elevation, install viga tails and beams with patina covers on the west elevation, and match the garage doors to the other property garage doors. The height of the garage will match the shop portion of the building at a height of 14'4"

2. Install a concrete foundation where none exists in the carport/garage.
3. Repair and clean up existing windows on the south and north elevations. The windows will remain and be repaired. The wood encasing the windows will be stained to match the residences darker brown natural wood color.
4. The full structure (shop and garage) will have stucco applied using El Rey cementitious “Adobe” stucco.
5. Install viga topped portal roof at the center door of the structure on the west elevation. The header above the door will be removed.
6. Install double doors at the shop building. The shop currently has two windows with headers on the north end of the west elevation. These will be removed, and the wall infilled to fit the double doors with header.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in

other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old

Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
(f) Flat roofs shall have not more than thirty (30) inches overhang.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>3.21.23</u>	<u>1369 Camino Arroyo Rd Santa Fe NM 87501</u>	
Property Owner of Record: <u>J Noid Midyette</u>	Proposed Construction Description:	
Applicant/Agent Name: <u>Patricia McDowell</u>	<u>Renodel Carport</u>	
Contact Person Phone Number: <u>(505) 629-6673</u>	TOTAL ROOF AREA:	
Zoning District: <u>R-1</u>	Lot Coverage: _____%	<input type="checkbox"/> Open Space Required: <u>NA</u>
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>Downtown and historic, eastside</u>	Setbacks:	Proposed Front: <u>447</u> Minimum: <u>7</u> 2 nd Front? _____ Proposed Rear: <u>250</u> Minimum: <u>13</u> Proposed Sides: <u>140 R 51</u> Minimum: <u>5</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>13'5"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		
Use of Structure: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes <u>None</u>		

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Patricia McDowell [] OWNER [x] APPLICANT [] AGENT
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE _____

2023-006624-PAR

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: Stephanie Perera DATE: 3/31/23

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

29.8
N

15
N 123 N ARMILLO LN

1369
Cerro Gordo Rd.

15 N

17.5 N

10.1 N

25 N

12.5

15
10.1

25.1

12.55

25.1

max.
ht.
14' 7"

15.9
N

1311 CERRO
GORDO RD

1321 CERRO
GORDO RD

11.7
C

10.1

1323 CERRO
GORDO RD

16.3
N

1317 B
CERRO
GORDO RD

1353 CERRO
GORDO RD

12.8
N

1315 CERRO GORDO RD

11.3
C

1325 CERRO
GORDO RD

13.4
C

1313 CERRO
GORDO RD

16.6
C

10.9
C

10 N

1333 CERRO
GORDO RD

8.9
C

8.5
C

14.5
C

20.3
C

18.2
C

CERRO GORDO RD

1402 CERRO
GORDO RD

28.4
C

1402 CERRO
GORDO RD B

21.6
C

1379 CERRO GORDO RD

19.4
N

1371 CERRO
GORDO RD

24
N

CAMINO DE LAS LOMAS

July 27th, 2023
Ms., Lain Mcculley
Historic Preservation Division
City of Santa Fe New Mexico

Site Address: 1369 Cerro Gordo Rd, Santa Fe, New Mexico

Dear Ms., Mcculley,

We are submitting this application to enclose a Carport in to a garage and change the Roof Line on a Property where all other structures on the property have been recently under construction and restored.

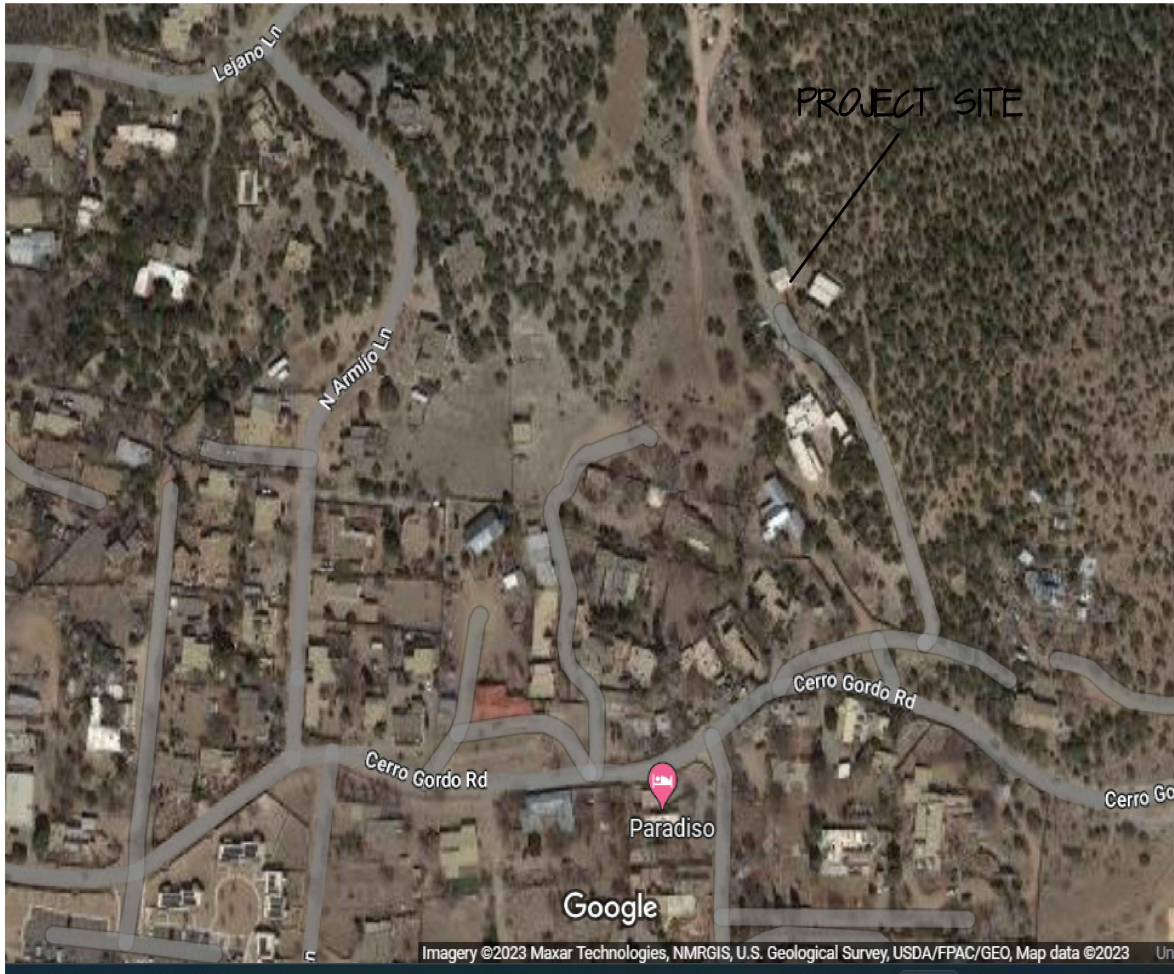
The Carport is a building that is a covered parking area and a shop for the property the roof was installed roughly 35 years ago, and was deemed non contributing in a 2016 HDRB submittal of the property.

The Owner Mr., Midyette is proposing to remove the tile roof that is not in keeping with the style of the area or the structures on the property, raise the parapet line to match the height of the conjoining roof line, install a TPO roof and canals to the Rear of the building and catch the water as done with the two other roof lines that are apart of the structure. In addition add viga tails and beams to match the design of the structures on property and match the two garage doors.

The windows that exist will stay but we will clean up the existing wood and stain to match existing stain on main house,
The stucco will be a cementious El Rey Adobe this will also match all restored structures on the property.

We also ask to install a pair of double doors to the shop building for access, as this will be used for tools to maintain the property and its beauty

We appreciate your time and consideration



CONSTRUCTION NOTES

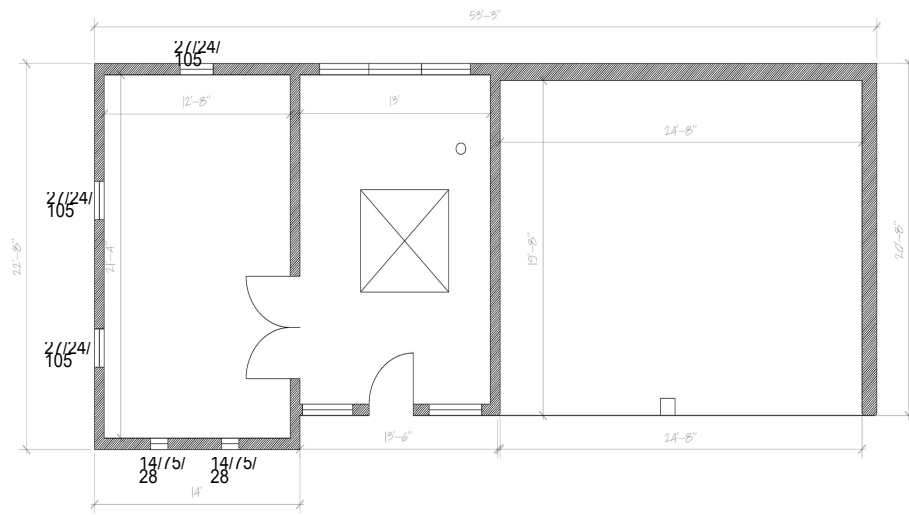
PLANS ARE SCHEMATIC IN NATURE
 CONTRACTOR SHALL CONFIRM ALL
 MEASUREMENTS IN FIELD. PROJECT
 ENGINEER SHALL APPROVE ANY
 CHANGES.

ALL CONSTRUCTION SHALL COMPLY
 WITH THE 2015 IRC.

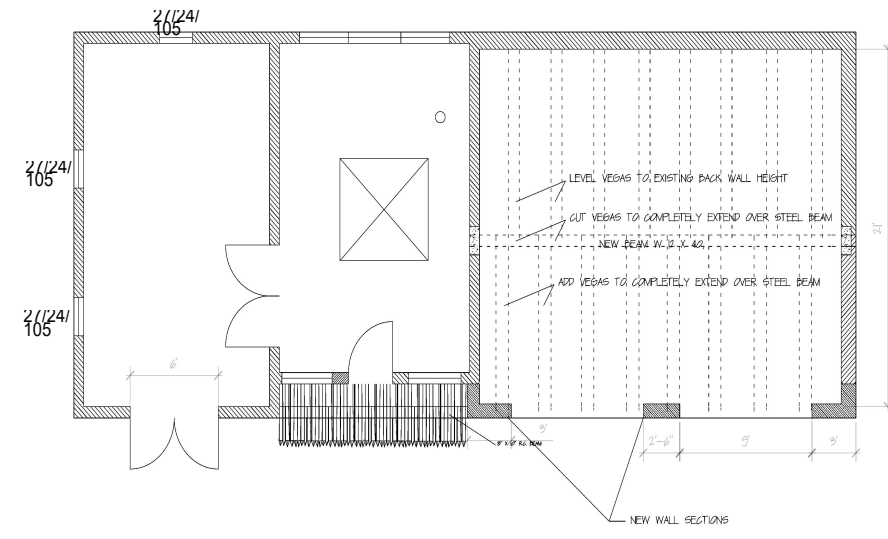
DIRECTIONS TO 1369 CERRO GORDO
 ROAD:

FROM PASEO DEL PERALTA, TURN
 EAST ONTO WEST ALAMEDA STREET
 GO 0.8 MILES; TURN LEFT ONTO
 CERRO GORDO ROAD FOR 2.2 MILES;
 1369 IS ON THE LEFT

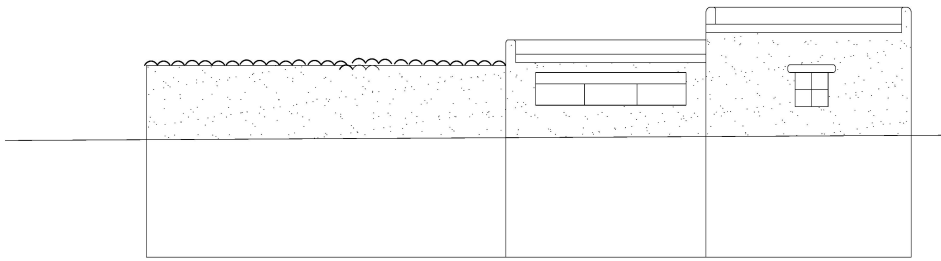
BEAM
LOAD
 $21' \times 25' \times 15' \times 5 =$
 $11,812 \text{ LB}$
 $\text{L}/\text{A} = 49.31 \text{ LB}/\text{ft}^2 = 0.83$
 IN DEFLECTION



EXISTING FLOOR PLAN



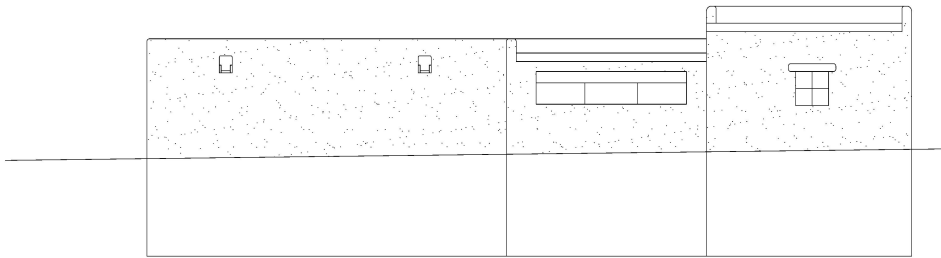
PROPOSED FLOOR PLAN



○ East Elevation
Existing



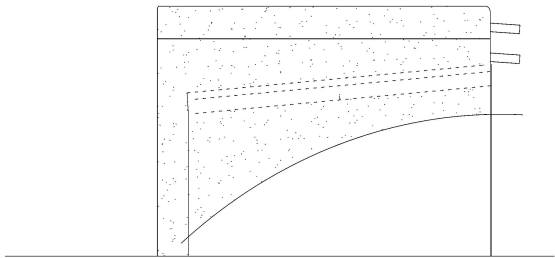
○ West Elevation
Existing



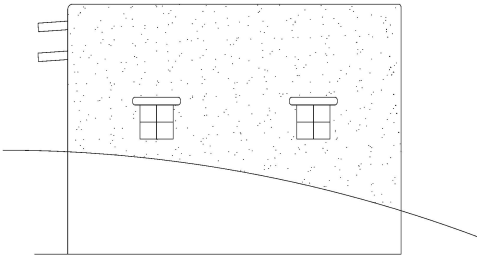
○ East Elevation -
PROPOSED



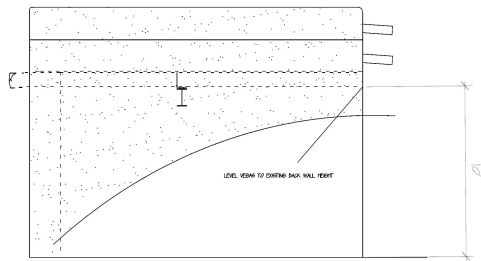
○ West Elevation -
PROPOSED



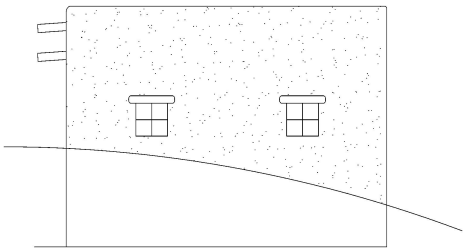
○ South Elevation



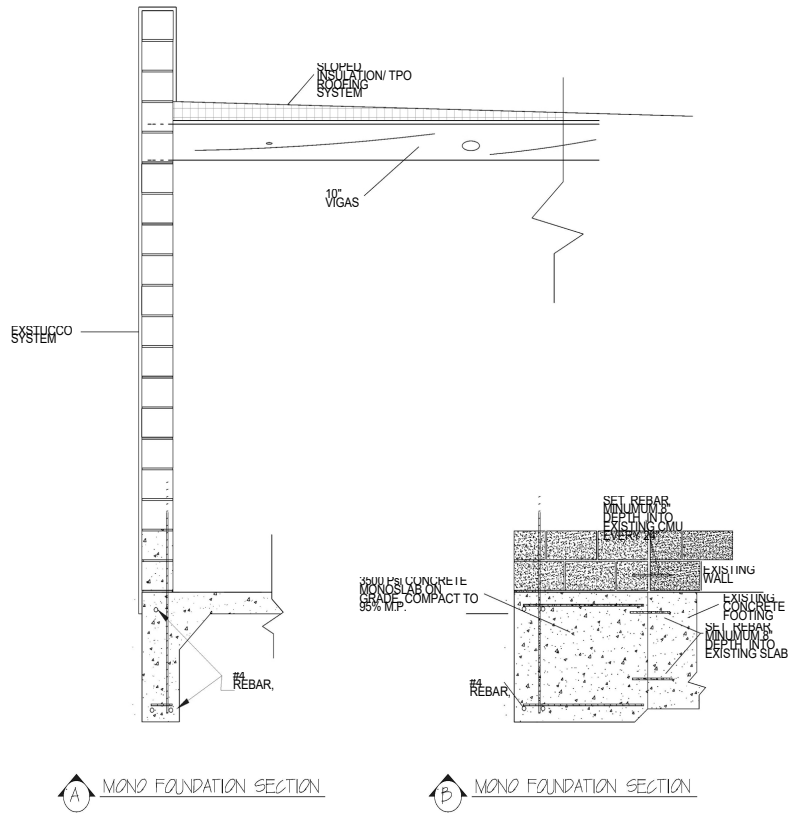
○ North Elevation



○ South Elevation

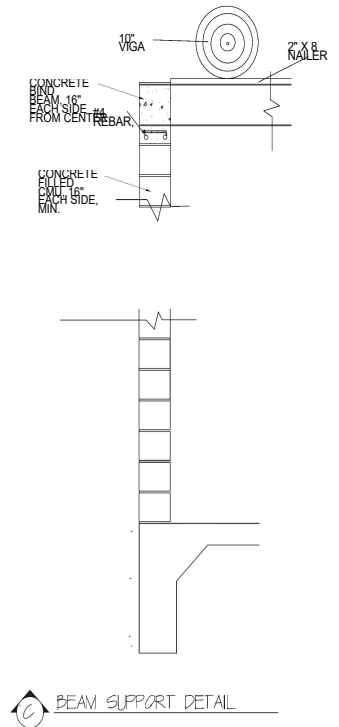


○ North Elevation



A MONO FOUNDATION SECTION

B MONO FOUNDATION SECTION

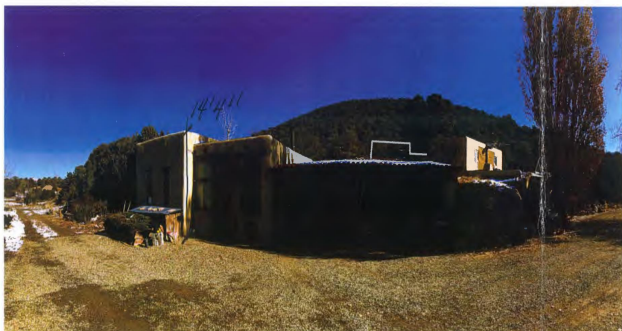


C BEAM SUPPORT DETAIL

RECEIVED

DEC 17 2019

BY: _____



MCDOWELL FINE HOMES
SINCE 1976
P.O. BOX 41567 SANTA FE, NM 87504 505.982.2528

AGENT TITLE

AGENT NAME

City of Santa Fe, New Mexico

**Historic
Districts
Review
Decision
12, 2023
2023-
007489-
1569 Rorro
Gopple Road
Submittal
Remodel**

10/12/2023
Historical Preservation Division
ATTN: Ms. Lani McCulley
City of Santa Fe New Mexico

Site Address: 1369 Cerro Gordo Rd, Santa Fe, NM 87501

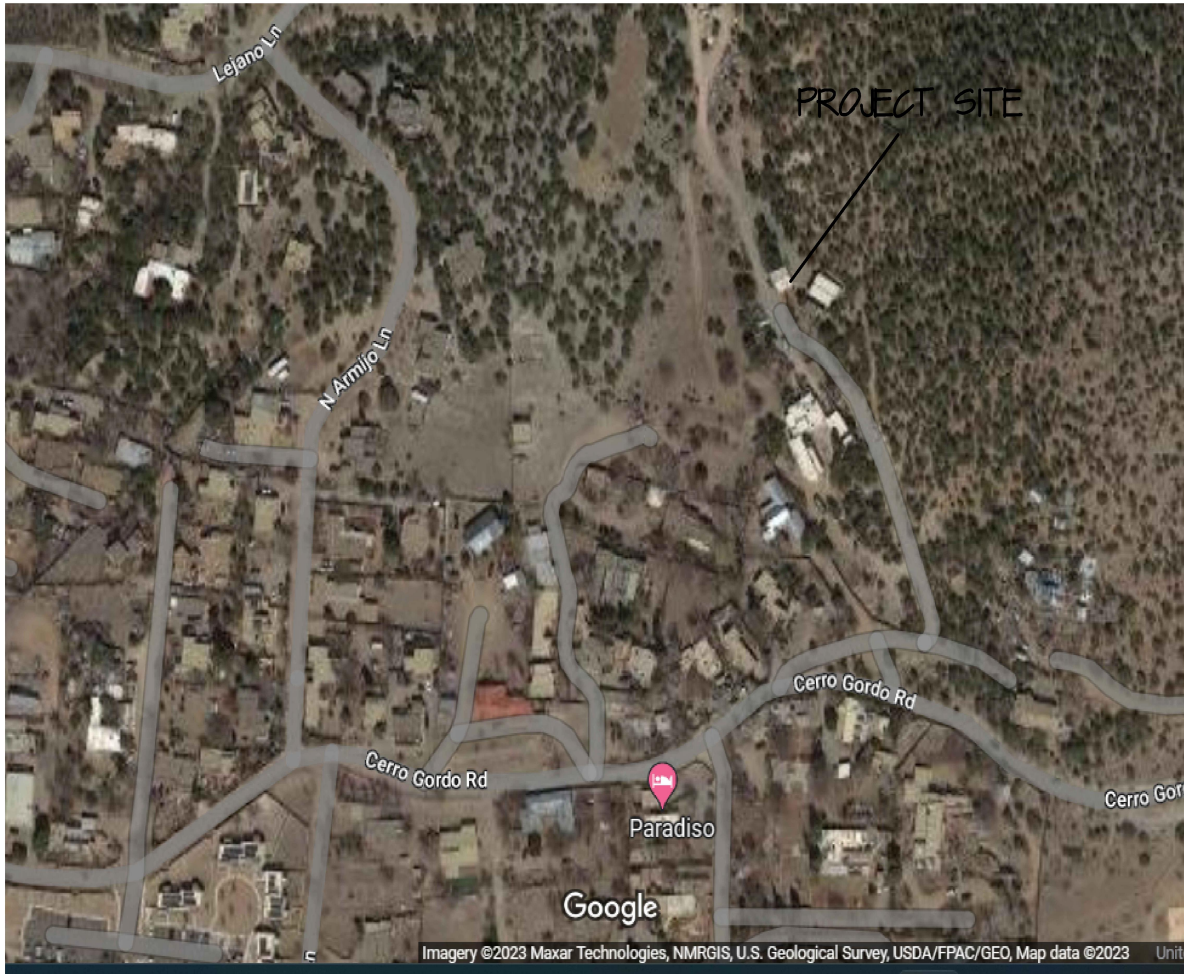
Dear Ms. McCulley,

We are submitting this Application to build an open storage area off of the Shop. This Storage area will be open on one side and have a double Door on the other. The Storage will be constructed to match the existing Garage and Shop.

The Doors we propose to use are an old wood double door with 4 Panels on each door. And the window is Sierra Pacific greenish color fixed window to match all the windows that were used on the garage addition and Main home restoration.

The Stucco color will be cementitious Adobe to match the Existing structures. And the stain will be the same Pecan we used on garage and main home.

Thank you for your time and consideration



CONSTRUCTION NOTES

PLANS ARE SCHEMATIC IN NATURE
 CONTRACTOR SHALL CONFIRM ALL
 MEASUREMENTS IN FIELD.

ALL CONSTRUCTION SHALL COMPLY
 WITH THE 2015 IRC.

DIRECTIONS TO 1369 CERRO GORDO
 ROAD:

FROM PASEO DEL PERALTA, TURN
 EAST ONTO WEST ALAMEDA STREET
 GO 0.8 MILES; TURN LEFT ONTO
 CERRO GORDO ROAD FOR 2.2 MILES;
 1369 IS ON THE LEFT

2023

JOB NO.
 2320

CARPENT REPAIR & REMODEL
 1369 CERRO GORDO RD
 SANTA FE, NM 87501

CONSTR. DOCUMENTS

CONTENTS:

COVER

DRAWN:
 FR

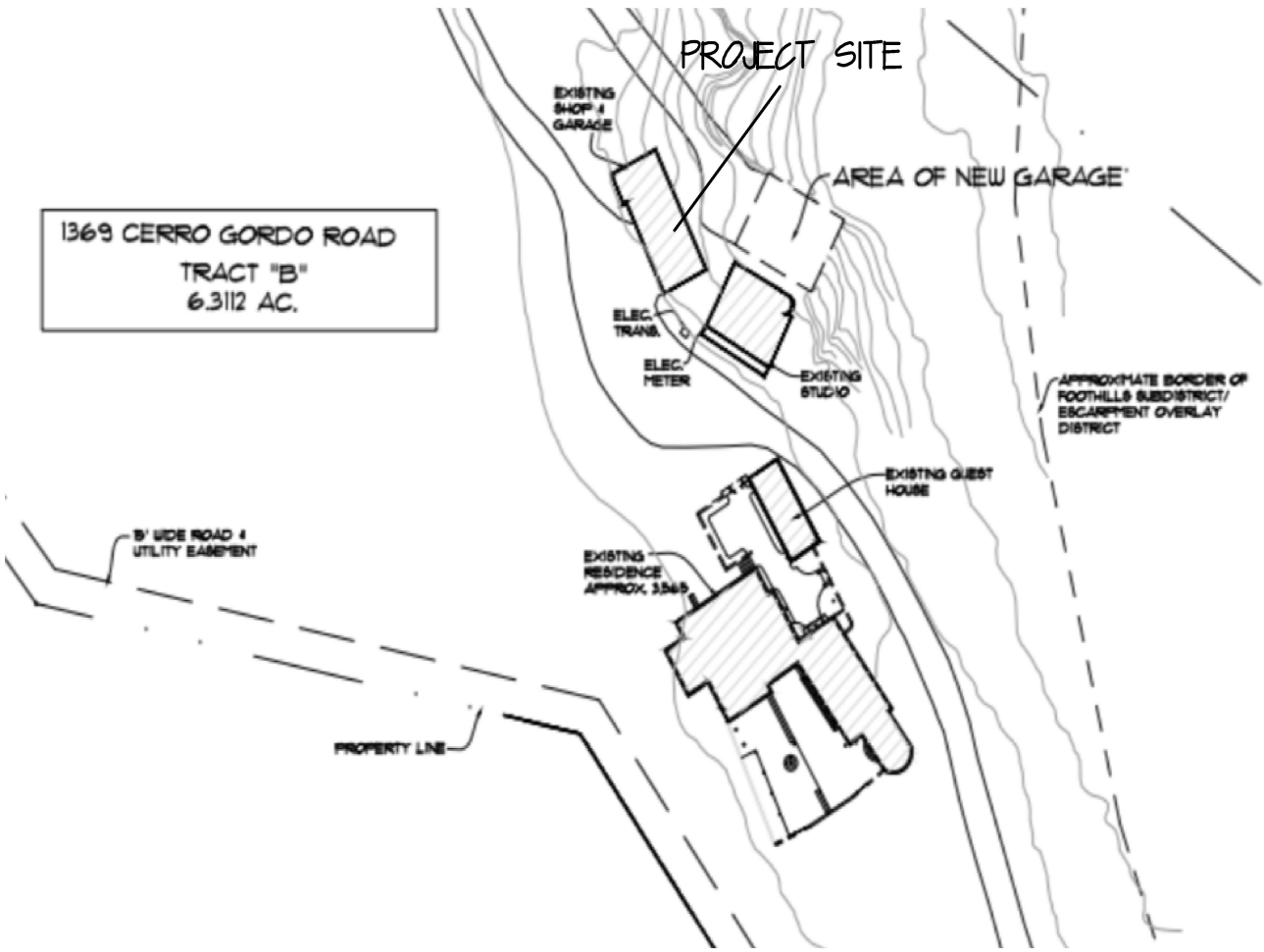
CHECKED:
 JNM

ISSUE RECORD:
 REVISED 10/1/2023

DATE:
 07-27-2020

SHEET NO.:

C-1



2023
JOB NO.
2320

CARPENT REPAIR & REMODEL
1369 CERRO GORDO RD
SANTA FE, NM 87501

CONSTR. DOCUMENTS

CONTENTS:

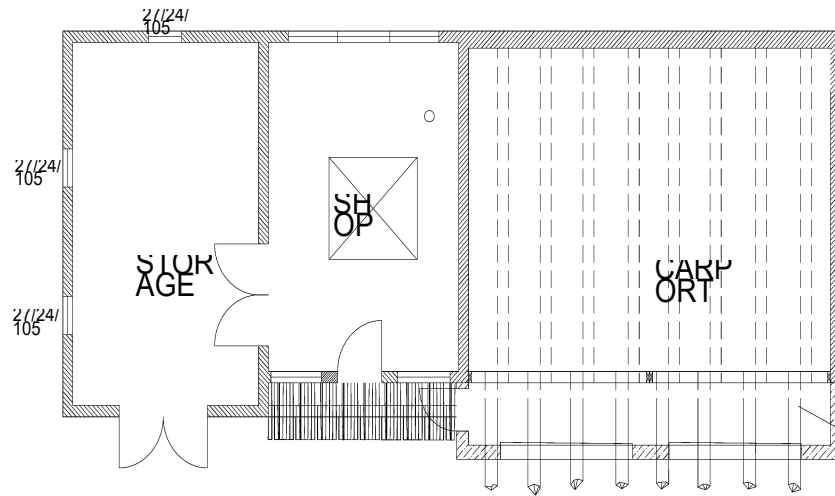
Site Plan

DRAWN: FR
CHECKED: JNM
ISSUE RECORD:
REVISED 10/1/2023

DATE:
07-27-2020

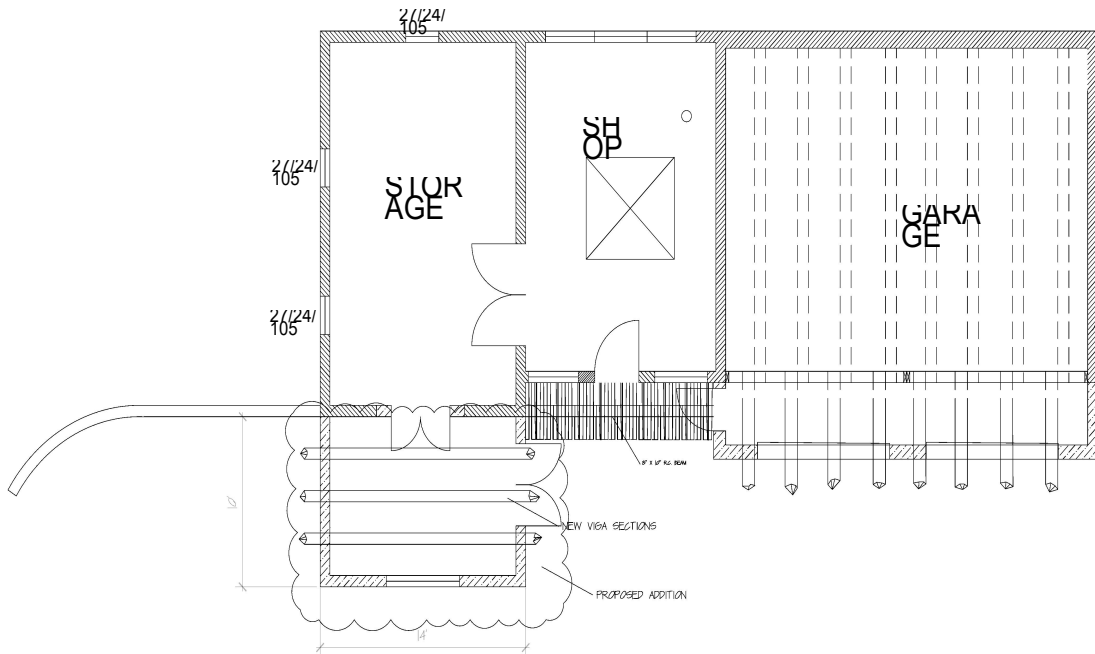
SHEET NO:

C-2



REVISION #2
10.24.20
23

EXISTING FLOOR PLAN



PROPOSED FLOOR PLAN

2023

JOB NO. 2320

CARPORT REPAIR & REMODEL
1368 CERRO GORDO RD
SANTA FE, NM 87501

CONSTR. DOCUMENTS

CONTENTS

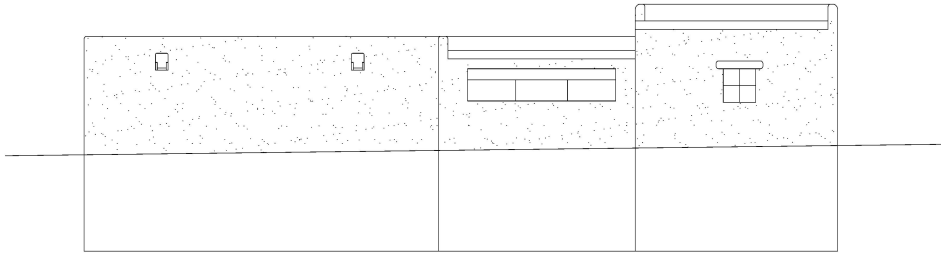
FLOOR PLAN

DRAWN: FR
CHECKED: JNM
ISSUE RECORDED:
REVISED: 10/1/2023

DATE: 07-27-2020

SHEET NO.:

A-1R

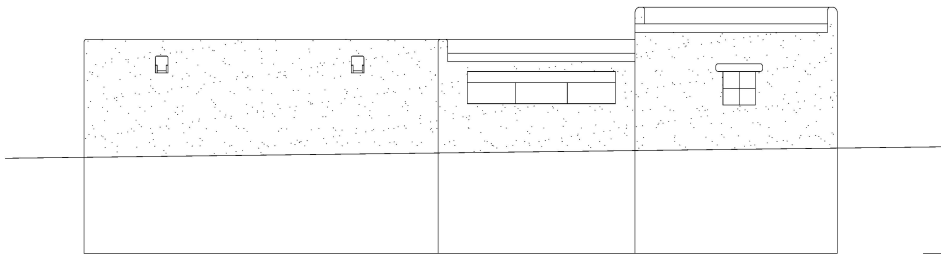


East Elevation - Existing



West Elevation - Existing

REVISION #2
10.24.20
23-



East Elevation - PROPOSED



West Elevation - PROPOSED

2023

JOB NO.
2320

CARPORIT REPAIR & REMODEL
1369 CERRO GORDO RD
SANTA FE, NM 87501

CONSTR. DOCUMENTS

CONTENTS:

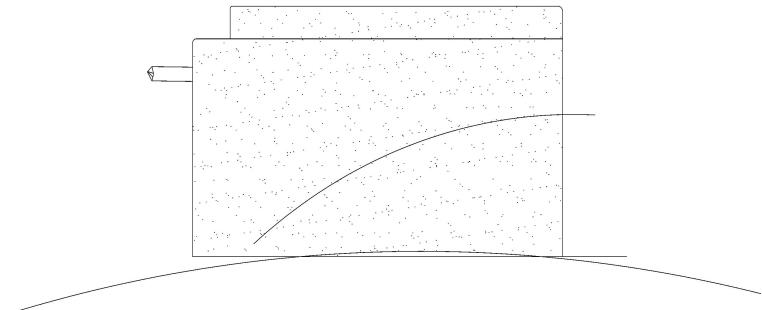
ELEVATIONS

DRAWN: PR
CHECKED: JNM
ISSUE RECORD:
REVISED: 10/1/2023

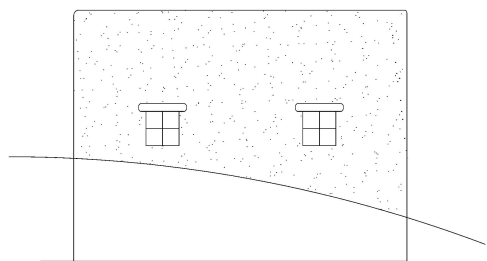
DATE:
07-27-2020

SHEET NO:

A-2

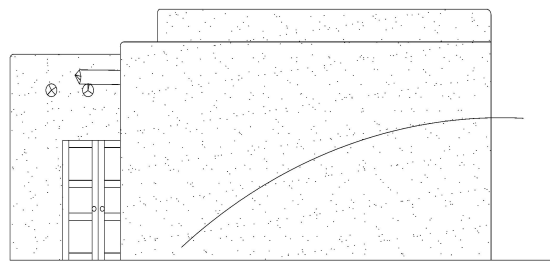


○ South Elevation -
EXISTING

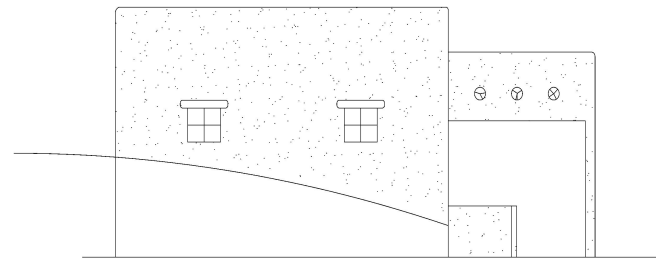


○ North Elevation -
EXISTING

REVISIO
N #2
10.24.20
23-



○ South Elevation-
PROPOSED



○ North Elevation-
PROPOSED



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-007576-HDRB. 303 Paseo de Peralta. Downtown and Eastside Historic District. Non-contributing. Lloyd and Associates Architects, agent for Mountain Spirit, owner, requests approval for the removal of an exterior stairwell and yard wall to be replaced with an approximate 100 sq. ft. enclosed storage space with parapet.

Case number: 2023-007576-HDRB
Project Type: Remodel

PROJECT LOCATION (S): 303 Paseo de Peralta

PROJECT NAMES:

OW – Mountain Spirit Integrative Medicine, 303 Paseo de Peralta, Santa Fe, NM 87501 (505-988-2449)

AP – Lloyd and Associates Architects, 740 St. Michaels Dr., Santa Fe, NM 57505 (505-988-9789)

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____NA_____

YEAR OF CONSTRUCTION _____1986_____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME Mountain Spirit Integrative Medicine

City of Santa Fe, New Mexico

memo

DATE: December 12, 2024
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2023-007576-HDRB. 303 Paseo de Peralta. Downtown and Eastside Historic District. Non-contributing. Lloyd and Associates Architects, agent for Mountain Spirit, owner, requests approval for the removal of an exterior stairwell and yard wall to be replaced with an approximate 100 sq. ft. enclosed storage space with parapet.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

303 Paseo de Peralta is a commercial building listed as non-contributing to the Downtown and Eastside Historic District. The 3,403 square-foot main structure was built in 1986 on a 0.19-acre lot. The structure resides on the northern end of the intersection of Paseo de Peralta, Rosario Blvd., Griffin St., and east of Rio Grande Ave. The structure is a two-story structure built in a

modern recent Santa Fe style as can be observed by the high rounded parapets and cementitious stucco.

A previous administrative approval was granted in 2022 for Case No. 2022-006069-ADMIN, for the replacement of mulled wood metal clad casement windows with simulated divided lite windows.

Now, the applicant proposes the following exterior alterations:

- 1) Removal of the existing exterior stairs and modification of the exterior wall and parapet to create a small storage room inside the building. The existing stairs are composed of a rusted steel structure with concrete pans that are dilapidated to the point of being a safety hazard and are currently unusable to the public. This area of the building is also creating an issue of moisture intrusion that multiple contractors have been unable to repair.
- 2) Remove the angled yard wall/parapet that forms the guardrail for the south side of the exterior stairs as well as the exterior stairs themselves and create a small utility closet in the area where the stairs were. By code the second floor of this space only requires one exit, presently the second floor has two exits as another exit exists on the north side of the building.
- 3) The new storage space would include a parapet that would complete the rectangle that that is currently void space with the stair and angled line of the parapet.
- 4) Several bollards will be added to the property to protect the building.
- 5) Addition of metal downspouts to the existing canals.
- 6) In-filling some sections of grade with concrete paving to mitigate on-going moisture issues on the property.

RELEVANT CODE CITATIONS:

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>10/31/2023</u></p> <p>Property Owner of Record: <u>Resourceful Medical Suites LLC</u></p> <p>Applicant/Agent Name: <u>Lloyd & Associates Architects</u></p> <p>Contact Person Phone Number: <u>605)795-5167</u></p>	<p>Site Address: <u>303 Paseo De Peralta</u></p> <p>Proposed Construction Description: <u>Two additions of storage space in an area roofed but not enclosed (under a portal)</u></p> <p>TOTAL ROOF AREA: 1,990SF</p>
<p>Zoning District: <u>C1PUD</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>Downtown and East-side HD</u></p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: <u>Medical Offices</u></p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p>	<p>Lot Coverage : <u>24</u> % <input checked="" type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: _____ Minimum: <u>10 ft.</u> 2nd Front? _____ Proposed Rear: _____ Minimum: <u>10 ft.</u> Proposed Sides: L _____ R _____ Minimum: <u>5 ft.</u></p> <p>Height: Proposed <u>10'-6" Existing</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: <u>Existing</u> Proposed <u>9 ex.</u> Accessible <u>1 ex.</u> Minimum: <u>9 ex.</u></p> <p>Bicycle Parking**: Proposed: <u>0</u> Minimum: <u>0</u> ** Commercial Requirement</p>

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lloyd & Associates Architects (Sheb Mirando) [OWNER APPLICANT AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Sheb Mirando 11/01/2023

SIGNATURE DATE

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable:</p> <p><input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: <u>Stephanie Perea</u> DATE: <u>11/16/23</u></p>	<p style="font-size: large; font-weight: bold;">2023-007546-PAR</p>
--	---

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Lloyd & Associates

A R C H I T E C T S

August 28, 2023

Heather Lamboy

Assistant Director, Planning & Land Use

City of Santa Fe Historic Preservation Div.

P. O. Box 909

Santa Fe, NM 87501

Re: Work Request at 303 Paseo De Peralta, Santa Fe NM

Dear Heather,

Proposed Scope of work:

On behalf of the owners, we are requesting removal of the existing exterior stairs and modification of the exterior wall and parapet to create a small storage room inside the building. The existing stairs are composed of a rusted steel structure with concrete pans that are dilapidated to the point of being a safety hazard and are currently unusable to the public. This area of the building is also creating an issue of moisture intrusion that multiple contractors have been unable to repair. The owner would like to remove the angled yard wall/parapet that forms the guardrail for the south side of the exterior stairs as well as the exterior stairs themselves and create a small utility closet in the area where the stairs were. By code the second floor of this space only requires one exit, presently the second floor has two exits as another exit exists on the north side of the building. The new storage space would include a parapet that would complete the rectangle that that is currently void space with the stair and angled line of the parapet. Several Bollards will be added to the property to protect the building as well as adding metal downspouts to the existing canals and in-filling some sections of grade with concrete paving to mitigate on-going moisture issues on the property.

Proposed Improvement to the District:

The property is rightly designated as not contributing to the district. One reason for this is that the property mixes some elements of Historic Santa Fe Style, New Santa Fe Style and High Modernist elements that are not particularly compatible with Santa Fe style. LAA believes the exposed stair and angled parapet that are proposed to be removed are particularly uncharacteristic of Santa Fe Style and their removal brings this property closer to the Santa Fe Style prescribed in the district.

Massing and Height:

The proposed work would align with the height of the existing parapet (approximately 10'-6" above the existing grade of the parking lot).

Finishes and Materials

The proposed walls and parapet would be stucco finishes to match existing which was approved earlier in the year in administrative approval to be a custom mix of El Rey La Luz and Cottonwood, which matches that used at the Eldorado hotel. The new bollards will be raw steel with an oiled finish. The proposed downspouts will be

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A R C H I T E C T S

painted to match the stucco. The new concrete will be integrally colored to match the paving on site (Davis Color “Adobe”).

Our application Consists of the following:

- 1- This application letter.
- 2- Historic application
- 3- Site Photo's
- 4- Photo Edit of area of work.
- 5- Drawings

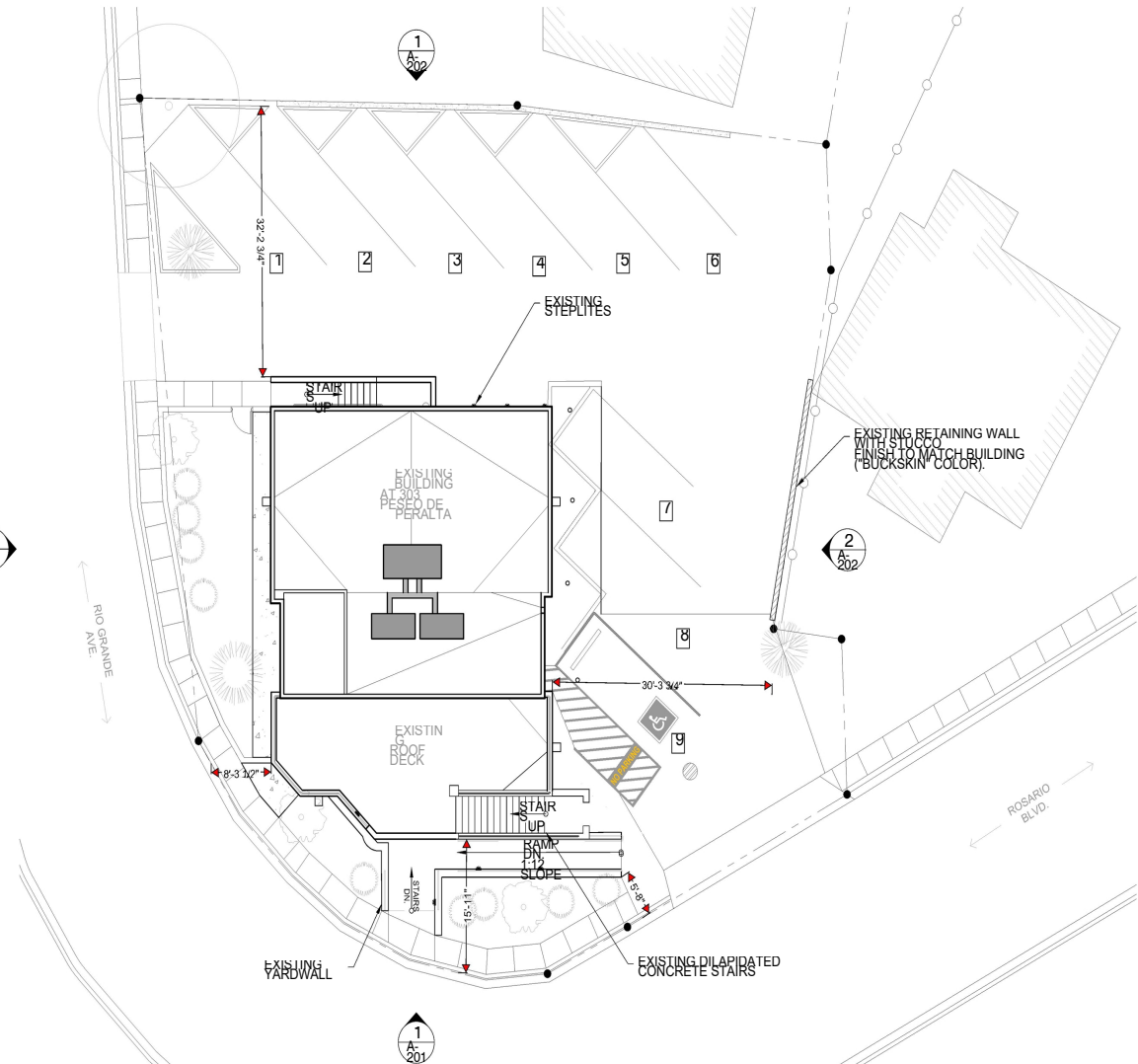
Thank you very much for the time and consideration given to our request. Please let us know if you have any questions or need any further information from us.

Regards,

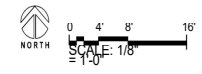
Sheb Mirando,(Lloyd & Associates Staff)

Wayne Lloyd, AIA (President Lloyd & Associates Architects)

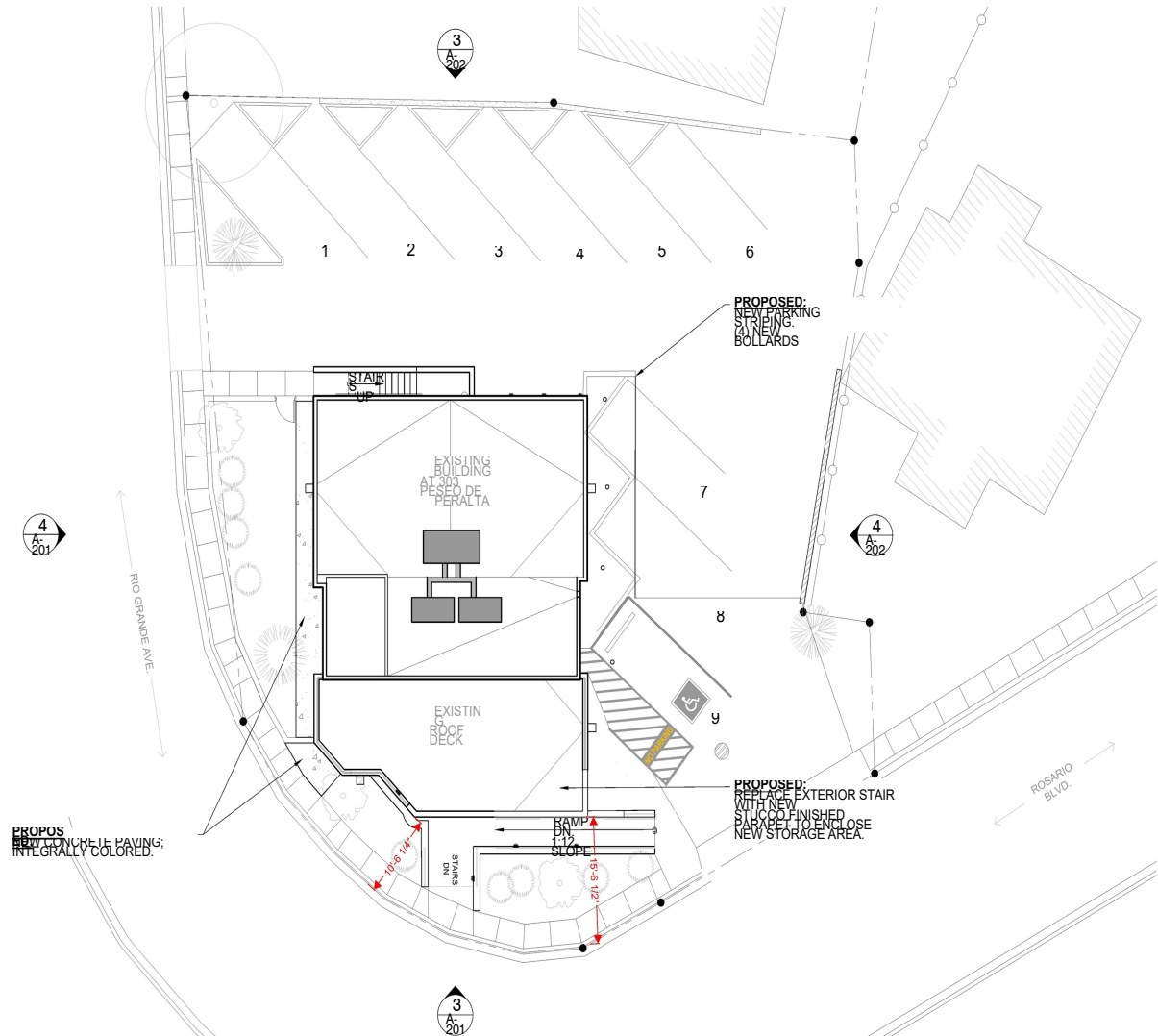
Underlying Zoning C-1PUD
 Overlay Zoning: Downtown & East-side Historic District
 Lot Size: 8,320SF / 191 Acres
 Roofed Area: 1,990SF
 Floor Area: 24%
 1 SPACE PER 700 SF OF NET AREA FOR MEDICAL OFFICES
 1 SPACE PER 350 SF OF NET REA FOR OFFICE AREA
 $1,250 / 200 = 6$ SPACES REQUIRED: 850 / 350 = 3 SPACES REQUIRED
 850 + 3 SPACES TOTAL 1 ADA SPACE REQUIRED (IBC CHAPTER 3)
 EXISTING BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5)
 BUILDING AREA EXISTING TYPE OF CONSTRUCTION (IBC CHAPTER 6)
 TYPE V-A (EXISTING)



1 EXISTING SITE PLAN
 1/8" = 1'-0"



Underlying Zoning C-1(P)U
 Overlay Zoning: Downtown & East-side Historic District
 Lot Size: 6,32USF / 191 Acres
 Roofed Area: 1,990SF
 Net (0) Use: 24%
 1,750 SF OF NET AREA FOR MEDICAL OFFICES
 1 SPACE PER 380 SF OF NET REA FOR OFFICE AREA
 1,250 / 200 = 6 SPACES REQUIRED; 850 / 350 = 3 SPACES REQUIRED
 USE AND OCCUPANCY (TOTAL 1 ADA SPACE REQUIRED)
 EXISTING BUILDING HEIGHTS AND ADAS (IBC CHAPTER 5)
 BUILDING AREA: EXISTING
 TYPE OF CONSTRUCTION (IBC CHAPTER 6)
 TYPE V-A (EXISTING)



1 PROPOSED SITE PLAN
 1/8" = 1'-0"

Date: 06-20-2022

Revised:

Drawn by: G
 Checked by: M

Sheet Title: PROPOSED SITE PLAN

Job Number: 2022-13

Sheet No.:

E
D
C
B
A

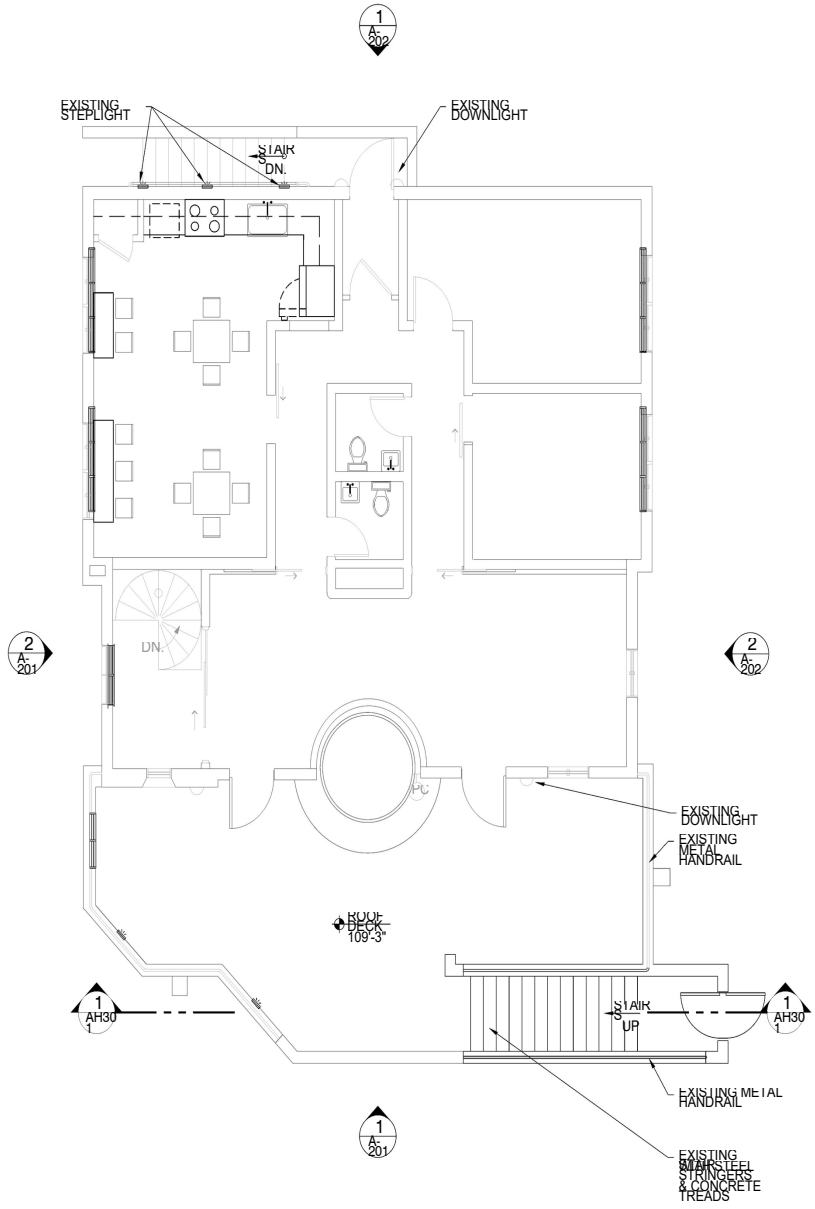
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2

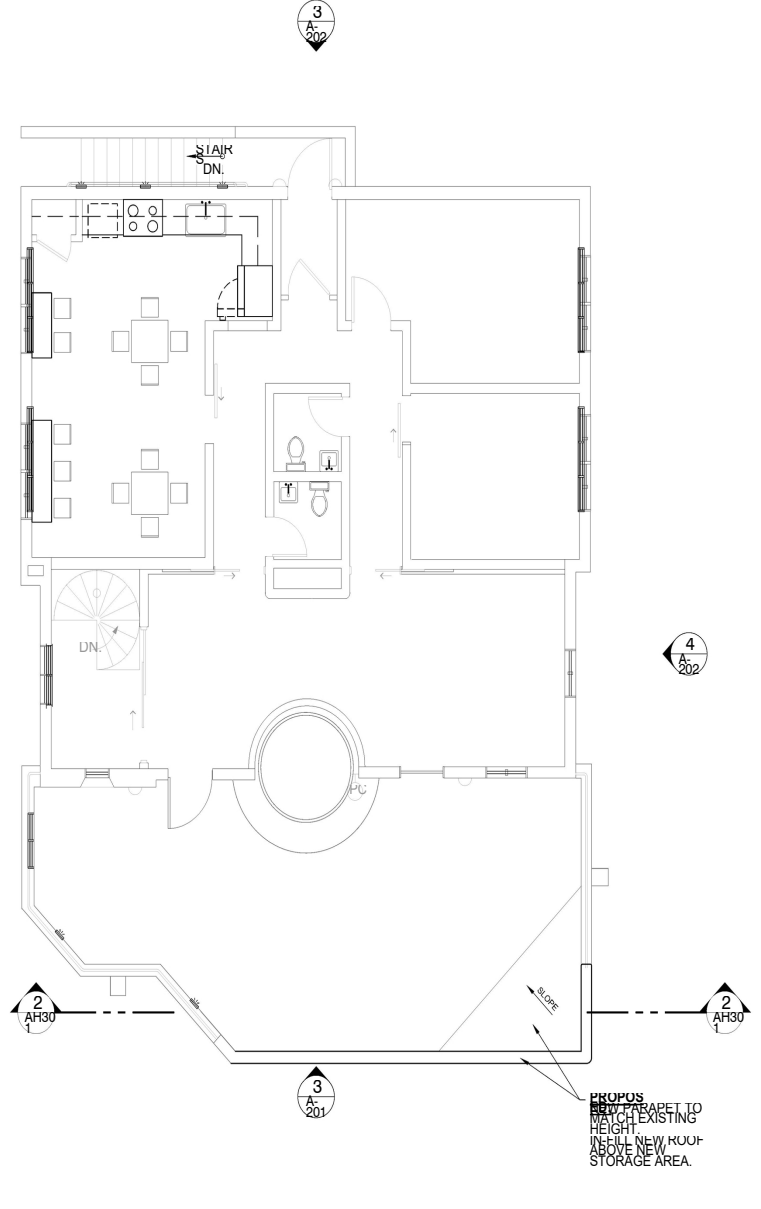
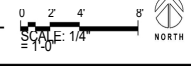
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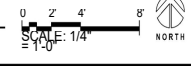
5



2 EXISTING SECOND FLOOR PLAN
1/4"=1'-0"



1 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"



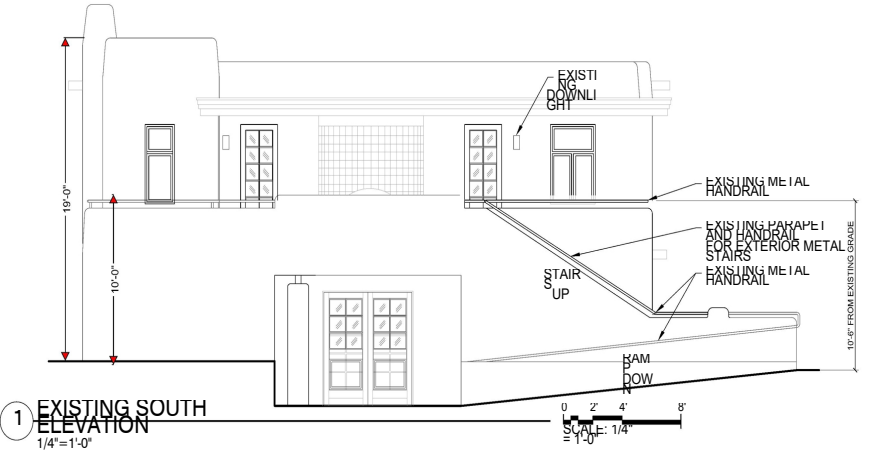
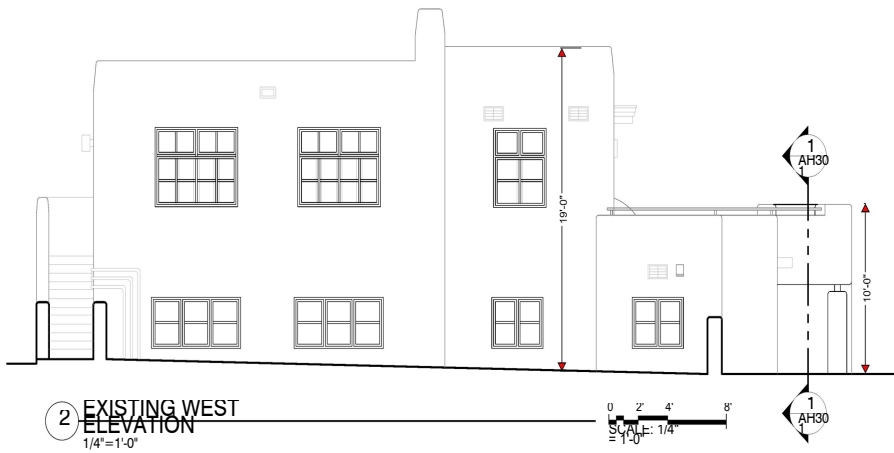
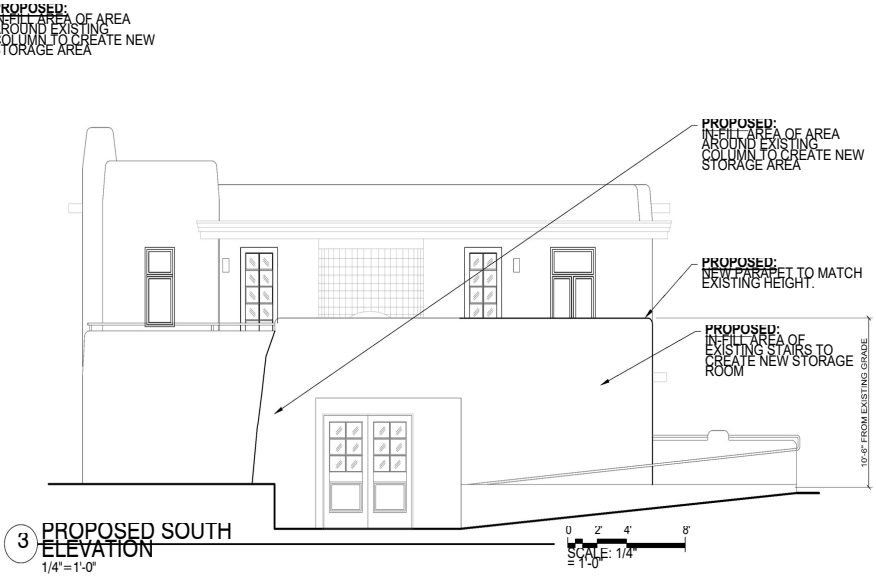
Date: 06-20-2022
Revised:

Drawn by: GM
Checked by:

Sheet Title: EXISTING & PROPOSED SECOND FLOOR PLANS

Job Number: 2022-13

Sheet No: AH102



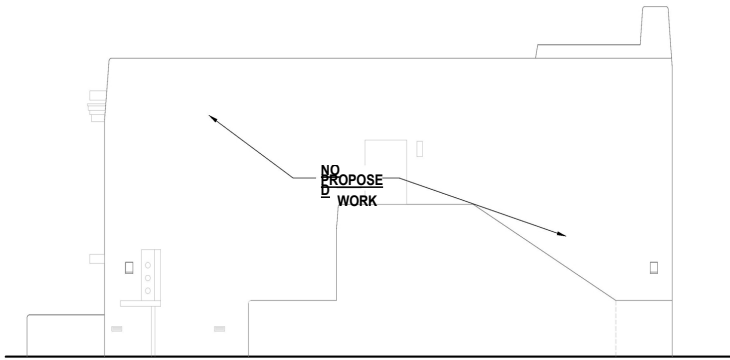
Date: 06-20-2022

Drawn by: G
Checked by: M

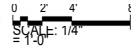
Sheet Title: SOUTH & WEST PROPOSED EXTERIOR ELEVATIONS

Job Number: 2022-13

Sheet No: AH2 01



4 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

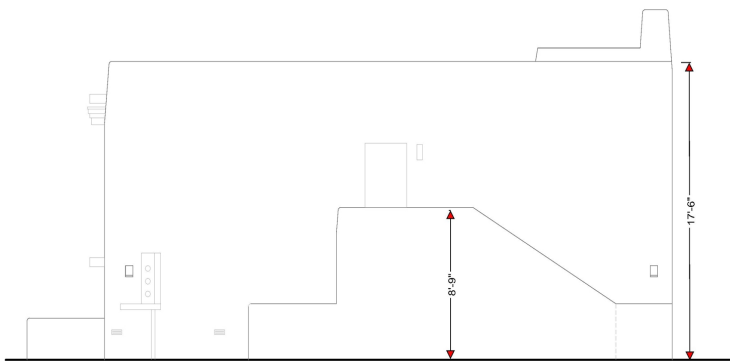
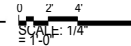


PROPOSED:
NEW PARAPET
TO MATCH
EXISTING
HEIGHT.

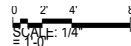
PROPOSED:
REINFORCE UP
EXISTING
STAIRS TO
CREATE NEW
STORAGE ROOM



3 PROPOSED EAST ELEVATION
1/4" = 1'-0"

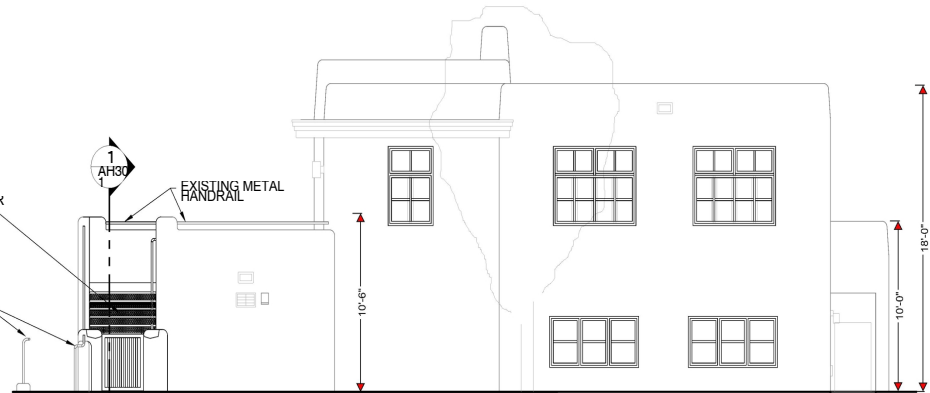


1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

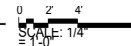


EXISTING STAIR
WITH STEEL
STRINGERS
& CONCRETE
TREADS

EXISTING
METAL
HANDRAIL

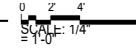


2 EXISTING EAST ELEVATION
1/4" = 1'-0"

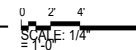




2 PROPOSED SECTION THROUGH NEW STORAGE SPACES



1 EXISTING EAST ELEVATION



Date: 06-20-2022

Revised:

Drawn by: G
 Checked by: M

Sheet Title: EXISTING & PROPOSED ELEVATIONS

Job Number: 2022-13

Sheet No: AH202



SOUTH ELEVATION

Lloyd & Associates Architects

Application to HDRB

303 PASEO DE PERALTA



INSPIRE ELEVATION
ELEVATION

Lloyd & Associates Architects

Application to HDRB

303 PASO DE PERALTA



WEST ELEVATION
ELEVATION

Lloyd & Associates Architects

Application to HDRB

303 PASEO DE PERALTA



EAST ELEVATION
ELEVATION

Lloyd & Associates Architects

Application to HDRB

300 PASEO DE FERALTA



NORTH ELEVATION
PROPOSED VENT 1

Lloyd & Associates Architects Application to HDRB

303 PASEO DE PERALTA

NORTH ELEVATION
PROPOSE VENT 2

303 PASEO DE PERALTA

Lloyd & Associates Architects Application to HDRB





WEST ELEVATION
PROPOSED VENT LOCATION

Lloyd & Associates Architects Application to HDRB

303 PASEO DE PERALTA



RAILING AT RAMP ALL ON TOP OF WALL
RELOCATE ON TOP OF WALL

Lloyd & Associates Architects Application to HDRB

303 PASEO DE PERALTA



STAIRS LIFTED
REPLACED

Lloyd & Associates Architects

Application to HDRB

303 PASEO DE PERALTA



STUCCO MATCHING ON YARD WALLS &
HANDRAILS TO BE RELOCATED

Lloyd & Associates Architects

Application to HDRB

303 PASEO DE PERALTA



SILVER
LITE

Lloyd & Associates Architects Application to HDRB

303 PASEO DE PERALTA

STUDIO PATCHING
PATCHING

Lloyd & Associates Architects

Application to HDRB

303 PASEO DE PERALTA



City of Santa Fe, New Mexico

memo

DATE: December 12, 2023
TO: Historic Districts Review Board Members
FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

Case # 2023-007578-HDRB

Address: 812 Gildersleeve St.

Historic Status: Contributing

Historic District: Don Gaspar Area Historic District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

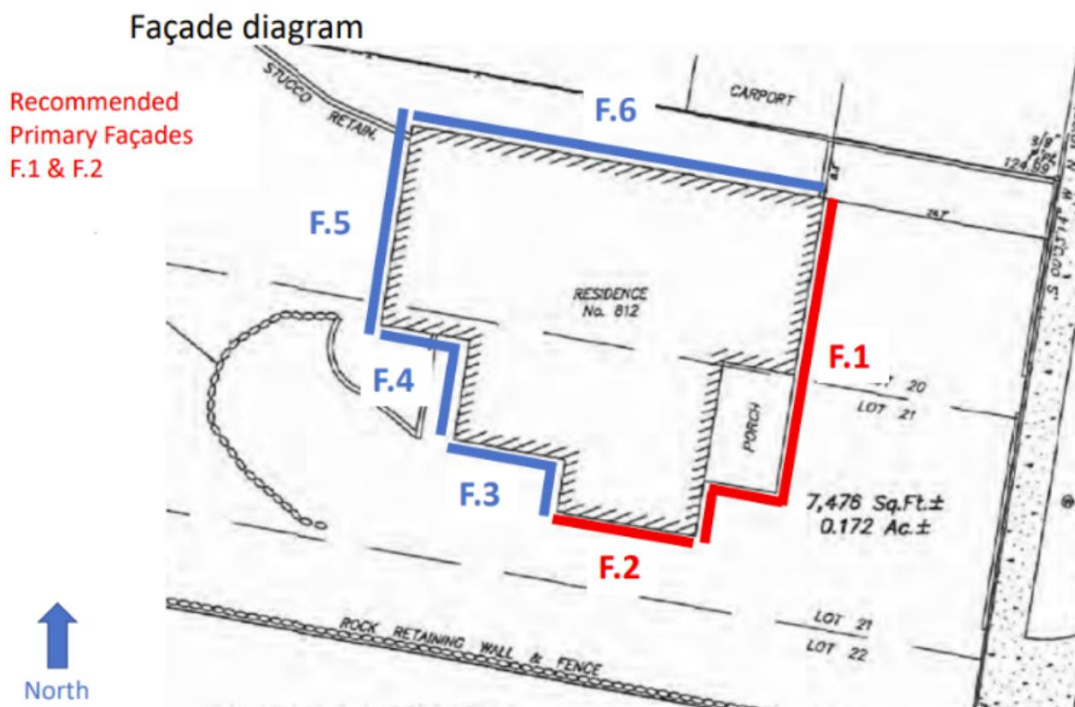
STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Area Historic Design Standards. The Staff does not find that an exception is necessary for these renovations since no historic materials will be removed from primary façades; the work on the primary façades are repairs, not replacement; and the only addition to the footprint of the house will be on a non-primary façade and more than 10 feet from a primary façade.

BACKGROUND & SUMMARY:

812 Gildersleeve St. is a single-family residence listed as contributing to the Don Gaspar Area Historic District. Erected around 1937, the Alice and Dale Bullock House is located on the west side of Gildersleeve Street in the Don Gaspar Area Historic District. The house, constructed of hollow clay tile, presents a modest Pueblo Revival appearance, with its façade and part of its south elevation the most characteristic of the style. The remaining elevations show lesser attention to design. The house is unique in the district for its partially excavated two-car garage, tucked below the ground floor at the rear of the home.

In case #2023-6854-HDRB heard before the Historic Districts Review Board on June 13, 2023, the board confirmed the status as contributing and designated the primary elevations as: east street-facing façade (F.1), and a portion of the south façade (F.2), excluding the wrought iron security grilles on these primary façades, and designating the east, street-facing yard wall as contributing.



Now, the applicant proposes the following exterior alterations:

- 1) All existing wood windows will be repaired as needed. They will be refinished with a similar semi-solid dark brown stain. Other exterior wood elements will be repaired and stained to match windows.
- 2) Recreating the damaged and missing wood window surround and shutters at the front bedroom window.
- 3) All exterior walls will be repaired and finish with a cementitious stucco (Buckskin from El Rey).
- 4) A new wood gate will be installed on the existing gate jambs at the front yard wall. This gate will replicate the design of the woodfront window shutters, and match the stain color of the windows.
- 5) Adding a 85 square feet kitchen addition in place of the existing back door and concrete bridge and steps. This addition will extend down to the basement level, replacing the current railroad tie retaining wall to create a more contained service entrance to the downstairs Laundry room.
- 6) Repair a pair of double hung windows with French Doors leading to a stone walled, wood decked patio facing south.
- 7) Convert the lower level garage to a new Den with a pair of French Doors leading out to a flagstone patio.
- 8) Replace the shingle eyebrow roof overhang above the garage doors with new wood balcony and railing off the Primary Bedroom.
- 9) The North elevation, remove one small window, and moving another window to create a balance arrangement along that facade.
- 10) The back bathroom will be removed as part of the Kitchen remodel. A new bathroom will be built in the basement to create a Guest suite. A window well in that guestroom will be extended down in order to meet current egress requirements for bedrooms.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all façades of significant and landmark structures and for the primary façades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair or structural stability of the structure under consideration.

14-5.2(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, stone, or wood shall be used as exterior wall materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials. The painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using building as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- (b) Roof forms including but not limited to flat, gabled, shed, and hipped roofs are allowed. Folded plate or hyperbolic roofs are not allowed.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, greenhouses, garden rooms, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened by the following methods:

- (i) raising the parapet;
- (ii) setting back from the edge of the roof;
- (iii) framing the collector with wood;
- (iv) in the case of pitched roofs, by integrating the collector into the pitch;
- (v) in case of ground solar collectors by a wall or vegetation;
- (vi) in the case of wall collectors by enclosing by end or other walls;
- (vii) other means that screen the collector or integrate it into the overall structure.

Non-glare materials shall be used in solar collectors.

- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems.
- (e) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in view from any public street, way, or other public place.
- (f) Greenhouses. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and the greenhouses made from enclosed porches or portales shall maintain the shape of the porch or portal.
- (g) For residential uses, paving with asphalt or parking is not allowed in the front yard except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front yards are required to be landscaped, and no required front yard shall be used for off-street parking.
- (i) As a condition of any rezoning all applicants shall provide evidence of sufficient off street parking and an intent to maintain the architectural integrity of the existing building or to conform to the architectural style of the district if constructing a building on a vacant lot.


(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: May 12, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2180 4. County: Santa Fe Parcel # 10330496
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: 4 <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: April 21, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: July 1982 <input checked="" type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6764787,-105.9414142		
10. Photo Information: Robyn Powell, photographer. Photo 1: View of east elevation, facing northwest. March 29, 2023.		
11. Brief Description of the Property: Erected around 1937, the Alice and Dale Bullock House is located on the west side of Gildersleeve Street in the Don Gaspar Area Historic District. It sits back from the street at the same setback as its neighbors. This reflects its origin as a latecomer to the Buena Vista Addition, a gridiron plat laid out in the 1880s (Fig 1). The house, constructed of hollow clay tile, presents a modest Pueblo Revival appearance, with its façade and part of its south elevation the most characteristic of the style. The remaining elevations show lesser attention to design. The house is unique in the district for its partially excavated two-car garage, tucked below the ground floor at the rear of the home. <i>Continued on Page 5.</i>		
12. Who uses the property? Empty		
13. Construction Date: Date: c.1937 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photograph, city directories and newspaper accounts		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Giulia Caporuscio

For: Terrence Duncan/Plan A
Architecture

18. Owner (if known) and other knowledgeable people:

Current owner: Terrence
Duncan

Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing No Status
Per City of Santa Fe official designation map
If 'yes', what is the name of the district? State National City of Santa Fe:
Don Gaspar Area Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe																																							
		5. Date of Survey: April 21, 2023																																							
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																									
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input checked="" type="checkbox"/> Stone: retaining wall Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																					
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Double-Hung</td> <td>Wood</td> <td>6/6</td> <td>19</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>6</td> <td>2</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>30</td> <td>2</td> </tr> <tr> <td>Cellar</td> <td>Wood</td> <td>Various</td> <td>9</td> </tr> </tbody> </table> Note: Based on visibility and access during survey				Operation	Material	Glazing	Number	Double-Hung	Wood	6/6	19	Casement	Wood	6	2	Fixed	Wood	30	2	Cellar	Wood	Various	9	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Plank</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>1/2-Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Garage</td> <td>Sect.</td> <td>Wood</td> <td>2</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Plank	Wood	1	Single-Leaf	1/2-Light	Wood	1	Garage	Sect.	Wood	2
Operation	Material	Glazing	Number																																						
Double-Hung	Wood	6/6	19																																						
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Single-Leaf	1/2-Light	Wood	1																																						
Garage	Sect.	Wood	2																																						
12. Chimneys <input checked="" type="checkbox"/> N/A				13. Porches <input checked="" type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																					
14. Other Significant Features N/A																																									
15. Modifications: <input checked="" type="checkbox"/> No known modifications																																									

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |
- Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

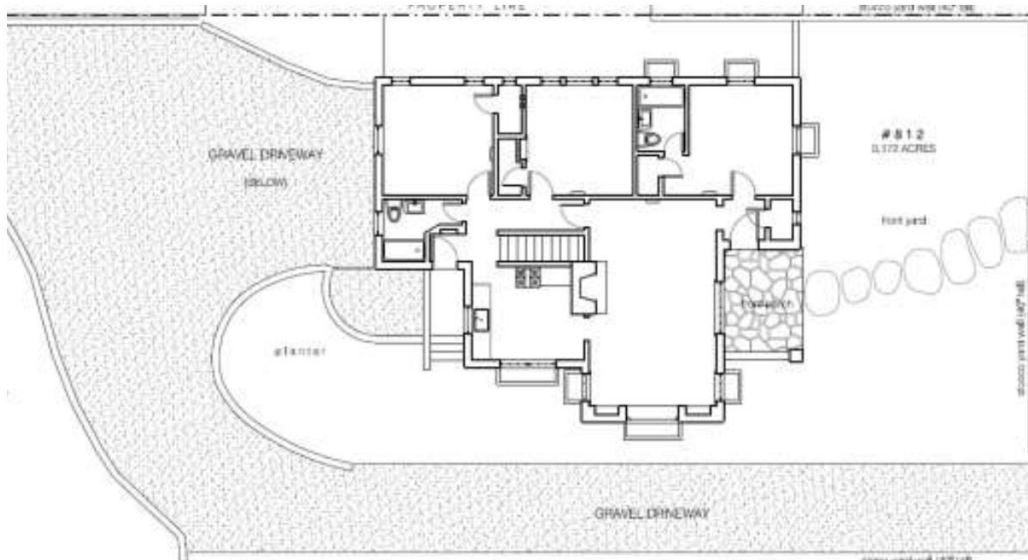
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of site plan. Courtesy Plan A Architecture.



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Architectural Description Continued

Setting

The house occupies a roughly 0.17-acre lot that backs onto what was historically an alley but has been filled in with homes (Photo 2). It sits near the front of the lot, facing what was once a lawn. Low stuccoed walls on the east and north define the front yard. A gravel driveway edges along the south side of the home, dipping down to reach a parking court and the garage. An old stone retaining wall follows the transition between the two levels (Photo 3). Landscaping is minimal, consisting of a few relict trees and shrubs.

House

The house is approximately 2,466 square feet, enclosing five bedrooms and three baths. The unusually large number of rooms for a house of this period reflects that a good portion of the basement is used as a living area. The house not been occupied for years, and is poor shape.

East – Front Elevation

The house presents an unpretentious Pueblo Revival composition of a long wall broken up with a recessed portal at a step-back at the living room (Photo 2). The façade shows irregular fenestration with a tall 30-light window at the porch, flanked by more conventional 6/6 wood sash units. These types of windows, arranged individually or in groups, are found throughout the house and, except for a few, are all covered by steel grilles (Photo 4). The window at the north end of the façade is notable for its Territorial pediment header and brick sill. Below is a lightwell for the basement. These are found on all but the west elevation. The other windows have Pueblo-type wood headers and no sills. The windows sit mid-wall with a straight reveal, indicating the home’s tile construction. Ghostings of removed vigas stitches across the portal and living room

South

The south side begins with the porch, which shelters a wood “plank” entry door covered by a steel security plate. Like the porch, a sizeable 30-light window defines the next

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section containing the living room (Photo 5). Set back from this living room is the kitchen, fenestrated with grouped 6/6 windows. Beyond, at another step back, is a space holding a bathroom and bedroom (Photo 6). The wall has an entry holding an older wood door approached by concrete steps.

West

The aforementioned two-car garage occupies the west elevation at the basement level (Photo 7). It has two wood sectional rollup doors that, by their width and design, post-date the home’s construction. A garage of this design is unusual — especially for the 1930s — and would have involved excavating the slope. Above is a plain wall penetrated by two 6/6 wood sash windows and bracketed by firewalls. Its construction and finish are different from the house and may suggest an earlier addition. Rounding the southwest is a little patio with a wood door giving entry to the garage and basement.

North

The north elevation, facing directly onto its neighbor, is unusual for the number of windows (Photo 8). The undistinguished façade has seven windows, all arranged at the same header height as a conventional home (Photo 9). Below the windows are intermittent cellar windows, delivering sunlight to the basement.

Interior

The interior was not accessible during the survey, but its floor plan, design, and finishes are known through real estate photographs and architectural documents. The large living room most expresses the Pueblo Revival style with its stout, stained vigas. Differing from the style is a center-wall fireplace and built-in bookshelves. Both bathrooms have vintage fixtures and tiling.

Walls

Aside from the stone retaining structure, there is a low stuccoed wall across the front yard. This 45” high x 10” thick wall appears in aerial photographs (Figs. 3-5) and contributes to the character of the property. Additional stone retaining walls define the property’s north and south perimeter at the rear (Photo 10). A third stone retaining wall

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snakes across the west part of the property. Each consists of loosely arranged, unworked stones in a bed of sludgy cement mortar. While likely historic, the retaining walls are more of an archaeological interest than a design element of the house and its landscaping.

Historical Overview

The Buena Vista Addition

Following the railroad additions of the early 1880s, development in Santa Fe shifted to the southeast with the construction of the new capitol. Though the capitol building would burn down in May 1892, its short presence stirred development. The *Santa Fe New Mexican* crowed that there were over \$800,000 in real estate transactions in the new district, with “investment of more than \$100,000 of eastern capital sufficiently indicat[ing] the confidence which outsiders have in Santa Fe’s future.”¹

Investors from the east — mainly Atchison, Topeka, and Santa Railway stockholders such as George W. Morse of New York and William S. Houghton of Boston — blindly invested in the speculative subdivisions in the South Capitol area. Houghton’s name is still part of the landscape.

Born in 1816 in Boxboro, Massachusetts, William Stevens Houghton came from a prominent family and made his own fortune in the wholesale boot and shoe business.² Later, he invested in railroads, including the Santa Railway. He purchased land along the railroad corridor in Kansas and other locations. In Santa Fe, he acquired several lots that would be used to expand Fairview Cemetery.³

Throughout the 1880s, Houghton worked with local agents — principally attorney William M. Berger — to buy land in the Buena Vista Hill area which would form the

¹“Highland Addition Sale,” *Santa Fe Daily New Mexican*, October 22, 1887, 4.

²New England Historical Society, *Memorial Biographies of the New England Historic Genealogical Society, Volume IX* (Boston 1908: The Society, 1908),171.

³Corinne P. Sze, “Fairview Cemetery,” National Register of Historic Places nomination, 2004, Section 8, 21.

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Buena Vista Addition. It would become one of the largest subdivisions in the new capitol neighborhood.

Laid out by Philadelphia native William White in c.1887, the Buena Vista Addition consisted of a tight urban grid. It was arranged over the sloping topography as either square or rectangular blocks (Fig. 1). The subject house sits on Block 6, a block made of narrow 25' x 125' lots which back onto a wide alley. Prospective homeowners had to purchase multiple — sometimes up to four — lots for sufficient room to erect a house and still have a yard.

William S. Houghton died in 1894. His interest in the Buena Vista Addition and his many other Santa Fe holdings went to his son. The subdivision came up for auction several times subsequently. Like many boom-type subdivisions, it did not flourish, and most of its secondary streets were lined with vacant lots. Finally, in 1926, Nathan Stern — heir to a New York jewelry fortune — bought Buena Vista Addition's remaining lots and several other subdivisions in the area.⁴

Forming the Santa Fe Holding Company, Stern and fellow investors quickly worked to sell off the remaining land. Still, growth was sluggish. This is evident on the 1930 Sanborn Fire Insurance map, which reflects that there was not enough growth in the addition to have map coverage south of Berger Street.

812 Gildersleeve

Based on city directories, and other sources, the house was likely around 1937, when home construction began to pick up near the end of the Great Depression. Its appearance fits this period and it could have been constructed by several then-prominent Santa Fe homebuilders.

Ben D. Luchini was its first owner. Luchini, the state chairman of the New Mexico Democratic Party, lived in the home with his wife Margaret, two children, two of his brothers, and a cousin.⁵ This would suggest the basement was being used then as living

⁴ "Santa Fe Holding Company Acquires 700 Acres of Land," *Santa Fe New Mexican*, June 29, 1926, 5.

⁵ U.S. Census Bureau, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 8B; Enumeration District: 25-9B.

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space. They lived in the house only for a few years before moving to Albuquerque. It then went to rental status, occupied for a time by Malcolm Heffelman, an executive with the New Mexico Power Company, and his wife, Lucille.⁶

Alice’s House

The home’s most important historical association lies with Alice Bullock, a well-known local author and amateur historian, and folklorist (Fig. 2). Bullock’s most productive years are associated with her time at the home.

Alice Lowe Bullock was born on July 4, 1904, in Buck, a small town in the Indian Territory of Oklahoma. Her father, Richard Lowe, worked in a coal mine in nearby Pittsburg.⁷ The family relocated to Colfax County in 1912, settling in Gardiner, another coal mining community. Alice spent her childhood in coal camps, shuffling from one-room schoolhouse to another.⁸ She attended high school in Raton and graduated from New Mexico Highlands University with a BA in Education. She got married in 1925 and soon got divorced. She remarried ten years later to Dale C. Bullock, a Colorado native and editor of the *Raton Daily Range*. The couple would later buy the newspaper.⁹

They moved to Santa Fe in 1941, following Dale’s purchase (as a half-owner) of The Rydal Press, a private book publisher on Canyon Road. Started by Walter L. Goodwin, Jr., in 1933, it printed limited editions of work of local poets (Alice Corbin Henderson, Peggy Pond Church). Originally based in Tesuque, the small publishing company came to prominence with its 1934 publication of Frieda Lawrence’s *‘Not But the Wind...’*, recounting her life D. H. Lawrence. Under Bullock and co-owner Gordon Stevenson, it changed its focus to Southwest history and culture, publishing everything from New Mexican cookbooks to biographies on Billy the Kid.

⁶ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1944 (El Paso: Hudspeth Directory Company, 1944), 65 and 149.

⁷ U.S. Census Bureau, 1910: Census Place: Alderson, Pittsburg, Oklahoma; Roll: T624_1269; Page: 13b; Enumeration District: 0210; FHL microfilm: 13752.

⁸ Cheryl Wittenauer, “Alice Bullock, Writer of New Mexico Life, Dies at 82,” *Santa Fe New Mexican*, April 18, 1986, C-1.

⁹ “New Mexico Author Dies,” *Cimmaron News*, May 2, 1981, 1.

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From city directories, the Bullocks appear to have moved into the Gildersleeve house in the late-1940s. Alice soon took a position as a public-school teacher. She had taught in small schools in Colfax, Union, and Mora counties earlier, and could easily move around the world of education, later becoming the executive secretary of the New Mexico Department of Education.¹⁰ She purchased a downtown dress shop, naming it Bullocks, where she sold fashionable women’s attire for several years.

Alice emerged as a writer, publishing her first piece of short fiction in 1952. These were mostly Western pieces she published under the pseudonym Bill Bullock.¹¹ Under her name she penned dozens of letters under her name to the editor of various science fiction pulp magazines, praising or criticizing specific articles, artwork, and editing.

Dear Samuel Mines: We hate to lose Sam Mer-win, Jr., but to you — welcome to the editorship of STARTLING from a fan fence post. Sam Merwin was fine, which makes your job tougher. It’s much easier to follow a bum on any job, but even so we selfishly wish you the best. Editing is serious for the reader too — it either increases, maintains or decreases our personal pleasure in reading.¹²

In the 1960s, Alice turned her attention to local history. She traveled throughout Northern New Mexico, collecting stories and folklore about mines, small towns, and villages. This resulted in articles published in *New Mexico* magazine and the *Santa Fe New Mexican*.

Bullock would later turn her research into books. These include her first book, *Living Legends of the Santa Fe Country* (1970), and later, *Mountain Villages* (1973), both published by Sunstone Press. During the same time, she worked as the book editor for the *Pasatiempo*.

The busy writer and publisher also had a family. In the home on Gildersleeve, she and Dale raised two daughters, Carlotta and Patricia, and for a time Alice’s mother was part

¹⁰ Ibid.

¹¹ Ibid.

¹² Alice Bullock, “Female Fantassin,” *Startling Stories*, Vol. 2, No. 5 (March 1952), 131.

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of the household.¹³ The home was the scene of large Fiesta parties and family get-togethers. But it also held the quotidian functions of everyday life. Alice Lowe Bullock died in 1986, at age 82, a year after being designated a Santa Fe Living Treasure.

Dale remained in the house for almost another decade, keeping busy with his work with the Santa Fe Rotary and the Fiesta Council. In 1994 he died at 83, after several strokes.¹⁴ The house was sold in the 1990s, and for many years sat empty.

Evaluation of Historical Status

The house presents a representative ideal of the Pueblo Revival style of the 1930s. It is more significant for its association with writer Alice Bullock, who spent her productive years in the home. For these reasons, the recommendation is to make it Contributing to the Don Gaspar Area Historic District, with the east elevation and a portion of the south elevation (representing the living room) as the primary facades. The recommendation includes adding the front stucco wall as a contributor.

¹³ U.S. Census Bureau, Seventeenth Census of the United States, 1950; Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 34; Enumeration District: 26-22.

¹⁴ Don Jones, "Journalist-Publisher Dies," *Santa Fe New Mexican*, June 28, 1994, B-1.

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Illustrations



Figure 1: "Buena Vista Addition to the City of Santa Fe, New Mexico," c. 1887. Subject lot highlighted.

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Photo by Bob Dimery

Figure 2: Undated photograph of Alice Bullock.

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Figure 3: November 10, 1958, aerial photograph.

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Figure 4: February 2, 1968, aerial photograph.

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Figure 5: May 11, 1973, aerial photograph.

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Survey Photographs

(All images were taken by Giulia Caporuscio, on April 21, 2023, unless otherwise noted, and edited by John W. Murphey).



Photo 2: East elevation. Camera facing northwest.

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Photo 3: Driveway and west elevation. Camera facing northeast.

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For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe
3. Local Reference Number: Santa Fe ID: H-2180	
4. County: Santa Fe	
5. Date of Survey: April 21, 2023	



Photo 4: Windows. Top, window at portal; bottom, grouped windows at living room and kitchen.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe		3. Local Reference Number: Santa Fe ID: H-2180		
		4. County: Santa Fe			
		5. Date of Survey: April 21, 2023			



Photo 5: South elevation. Living room (right), kitchen (left). Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>						
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D					
1. Name of property: Alice and Dale Bullock House	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px; vertical-align: top;">2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe</td> <td style="padding: 5px; vertical-align: top;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-2180</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: April 21, 2023</td> </tr> </table> </td> </tr> </table>	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-2180</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: April 21, 2023</td> </tr> </table>	3. Local Reference Number: Santa Fe ID: H-2180	4. County: Santa Fe	5. Date of Survey: April 21, 2023
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3. Local Reference Number: Santa Fe ID: H-2180						
4. County: Santa Fe						
5. Date of Survey: April 21, 2023						



Photo 6: South elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>						
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D					
1. Name of property: Alice and Dale Bullock House	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px; vertical-align: top;">2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe</td> <td style="padding: 5px; vertical-align: top;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-2180</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: April 21, 2023</td> </tr> </table> </td> </tr> </table>	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID: H-2180</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: April 21, 2023</td> </tr> </table>	3. Local Reference Number: Santa Fe ID: H-2180	4. County: Santa Fe	5. Date of Survey: April 21, 2023
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3. Local Reference Number: Santa Fe ID: H-2180						
4. County: Santa Fe						
5. Date of Survey: April 21, 2023						



Photo 7: West elevation. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe		3. Local Reference Number: Santa Fe ID: H-2180		
		4. County: Santa Fe			
		5. Date of Survey: April 21, 2023			



**Photo 7: North elevation oblique. Camera facing southwest.
Notice window wells on both elevations and tall basement windows on the north side.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2180			
		4. County: Santa Fe			
		5. Date of Survey: April 21, 2023			



Photo 9: North elevation as viewed neighboring property. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Alice and Dale Bullock House	2. Location: 812 Gildersleeve Street Don Gaspar Area Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2180			
		4. County: Santa Fe			
		5. Date of Survey: April 21, 2023			



Photo 10: Perimeter stone retaining walls. Camera facing south.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:

Date Submitted: 11-7-23
 Property Owner of Record: Terrence Duncan
 Applicant/Agent Name: Plan A Architecture
 Contact Person Phone Number: (505) 820-1460

Site Address: 812 Gildersleeve Street
 Proposed Construction Description: Remodel of Existing Single Family Residence
 1469 sq.ft.

Zoning District: Residential (R-21)
 Overlay: Escarpment
 Flood Zone*
 Other: _____

TOTAL ROOF AREA: _____
Lot Coverage: 19 %
 Open Space Required: _____

Submittals Reviewed with PZR:
 Legal Lot of Record Development Plan Building Plans
 Existing Site Plan Proposed Site Plan Elevations

Setbacks:
 Proposed Front: 25' Minimum: 7'
 2nd Front? _____
 Proposed Rear: 54' Minimum: 5'
 Proposed Sides: L 16' R 7' Minimum: 5'

Supplemental Zoning Submittals Required for Building Permit:
 Zero Lot Line Affidavit

Height: Proposed no change - 21' backyard
 Maximum Height: 24' or
 Regulated by Historic Districts Ordinance
 Regulated by Escarpment District

Access and Visibility: Arterial or Collector**
 Visibility Triangle Required

Parking Spaces:
 Proposed 2 Accessible _____
 Minimum: _____

Use of Structure: X
 Residential Type of Use: _____

Bicycle Parking:**
 Proposed: _____ Minimum: _____
 ** Commercial Requirement

Terrain: none

Zoning Approval: 30% slopes
 Preliminary Approval with conditions
 Rejected
 * Requires an additional review conducted by the Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Greg C Reid - Plan A Architecture [OWNER APPLICANT AGENT]
PRINT NAME

_____ hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
 SIGNATURE

11-7-23
 DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

- Escarpment Approval by _____ Date: ___/___/___
- Flood Plain Approval by _____ Date: ___/___/___
- Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Carly Venditti

Carly Venditti

11 8 23

REVIEWER: _____ DATE: ___/___/___

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

November 7, 2023

Mr. Ramon Sarason
Historic Preservation Division
200 Lincoln Avenue
Santa Fe, New Mexico 87501

**Re: 812 Gildersleeve Street
Don Gaspar Area Historic District**

Dear Ramon and Board Members:

We respectfully submit the attached documents for the restoration of the house at 812 Gildersleeve Street. This house has been left vacant for decades and is in poor condition. It is in need of much remedial maintenance and repairs to become habitable again.

The property owner, Terrence Duncan, is committed to maintaining the 1930's appearance and character of this house in the South Capital neighborhood. He does wish to incorporate a few upgrades to the kitchen, master suite, and basement so he can live a little more comfortably there.

The modest Pueblo Revival style house was built in 1937 on a .17 acre property. Though the roofed area is only 1,384 square feet, the main level and full basement level equate to 2,466 square feet.

The house is Contributing to the district. The east facing Front elevation and the southeast corner of the Living side elevation are the Primary Facades, with the front yard wall as a contributor.

All existing wood windows will be repaired as needed. They will be refinished with a similar semi-solid dark brown stain. Other exterior wood elements will be repaired and stained to match windows.

All exterior wall will be repaired and finish with a cementitious stucco (Buckskin from El Rey).

A new wood gate will installed on the existing gate jambs at the front yard wall. This gate will replicate the design of the wfront window shutters, and match the stain color of the windows.

In addition to maintenance, work proposed at this property includes:

- Recreating the damaged and missing wood window surround and shutters at the front bedroom window.
- Adding a 85 square feet kitchen addition in place of the existing back door and concrete bridge and steps. This addition will extend down to the basement level, replacing the current railroad tie retaining wall to create a more contained service entrance to the downstairs Laundry room.

- Repair a pair of double hung windows with French Doors leading to a stone walled, wood decked patio facing south.
- Convert the lower level garage to a new Den with a pair of French Doors leading out to a flagstone patio.
- Replace the shingle roof overhang above the garage doors with new wood balcony and railing off the Primary Bedroom. This balcony also provides cover above the new double doors in the new Den below.
- The North elevation remains the same, except for removing one small window, and moving another window to create a balance arrangement along that facade.
- The back bathroom is removed as part of the Kitchen remodel. A new bathroom will be built in the basement to create a Guest suite. A window well in that guestroom will be extended down in order to meet current egress requirements for bedrooms.

Thank you for your consideration in reviewing these documents. Please call me if you have any questions regarding this submittal. We look forward to hearing from you.

Sincerely,

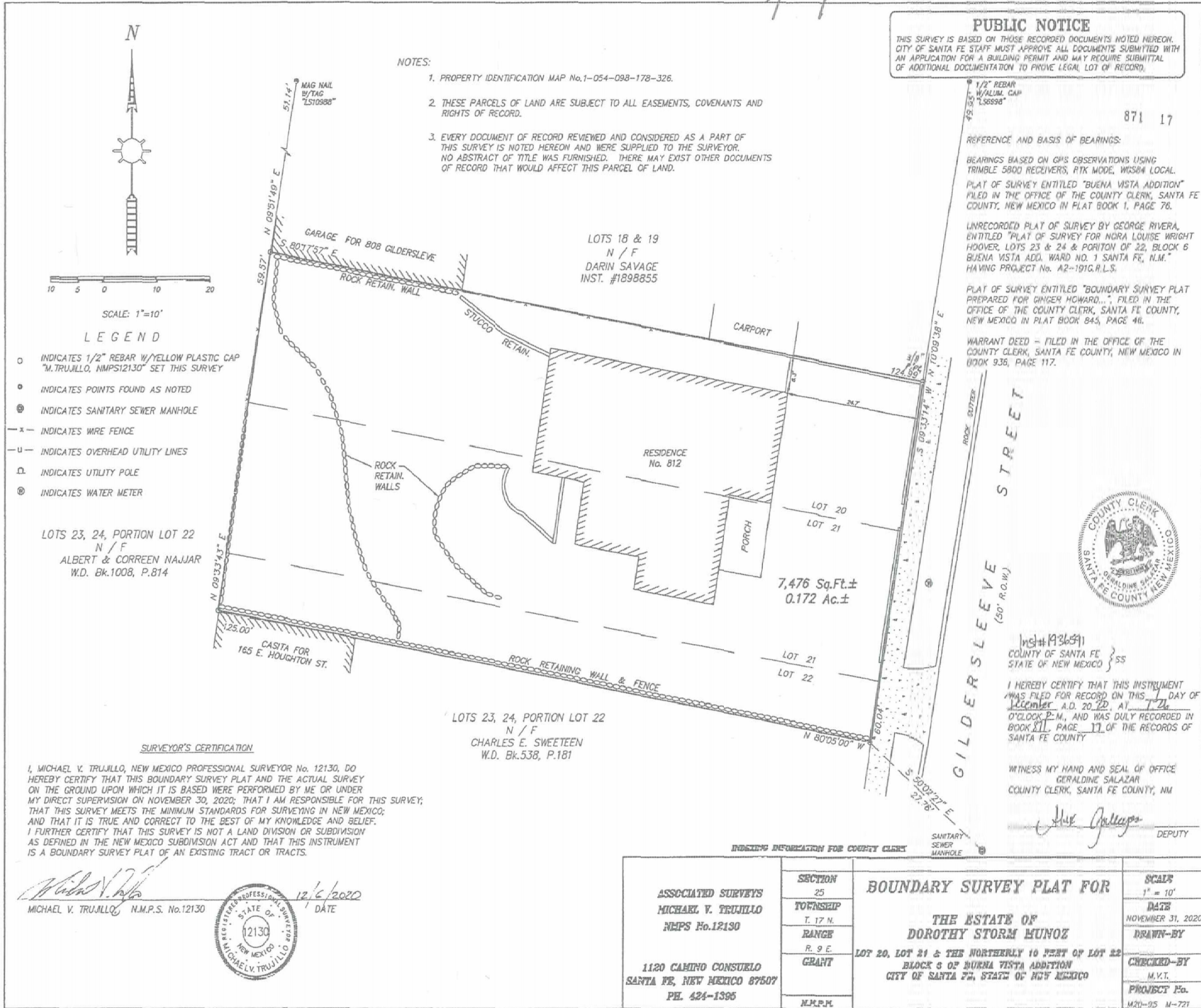
A handwritten signature in black ink, appearing to read "Greg C Reid". The signature is fluid and cursive, with a large, stylized initial "G" and "R".

Greg C Reid, AIA
Plan A Architecture, LLC



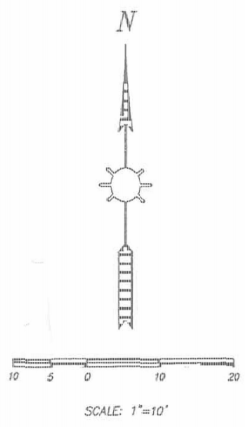
OK AE
with aff
3/22/22

SWR 220278



PUBLIC NOTICE
THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

- NOTES:
1. PROPERTY IDENTIFICATION MAP No.1-054-098-178-326.
 2. THESE PARCELS OF LAND ARE SUBJECT TO ALL EASEMENTS, COVENANTS AND RIGHTS OF RECORD.
 3. EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON AND WERE SUPPLIED TO THE SURVEYOR. NO ABSTRACT OF TITLE WAS FURNISHED. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL OF LAND.



- LEGEND**
- INDICATES 1/2" REBAR W/YELLOW PLASTIC CAP "M. TRUJILLO, N.M.P.S.12130" SET THIS SURVEY
 - INDICATES POINTS FOUND AS NOTED
 - ⊙ INDICATES SANITARY SEWER MANHOLE
 - x- INDICATES WIRE FENCE
 - u- INDICATES OVERHEAD UTILITY LINES
 - INDICATES UTILITY POLE
 - ⊙ INDICATES WATER METER

LOTS 23, 24, PORTION LOT 22
N / F
ALBERT & CORREEN NAJJAR
W.D. Bk.1008, P.814

LOTS 23, 24, PORTION LOT 22
N / F
CHARLES E. SWEETEN
W.D. Bk.538, P.181

SURVEYOR'S CERTIFICATION

I, MICHAEL V. TRUJILLO, NEW MEXICO PROFESSIONAL SURVEYOR No. 12130, DO HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION ON NOVEMBER 30, 2020; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Michael V. Trujillo
MICHAEL V. TRUJILLO N.M.P.S. No.12130
12/6/2020 DATE

871 17

REFERENCE AND BASIS OF BEARINGS:
BEARINGS BASED ON GPS OBSERVATIONS USING TRIMBLE 5800 RECEIVERS, RTK MODE, WGS84 LOCAL. PLAT OF SURVEY ENTITLED "BUENA VISTA ADDITION" FILED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 1, PAGE 78.
UNRECORDED PLAT OF SURVEY BY GEORGE RIVERA, ENTITLED "PLAT OF SURVEY FOR NORA LOUISE WRIGHT HOOVER, LOTS 23 & 24 & PORTION OF 22, BLOCK 6 BUENA VISTA ADD. WARD NO. 1 SANTA FE, N.M." HAVING PROJECT No. A2-191C.R.L.S.
PLAT OF SURVEY ENTITLED "BOUNDARY SURVEY PLAT PREPARED FOR DWYER HOWARD," FILED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN PLAT BOOK 845, PAGE 46.
WARRANT DEED - FILED IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO IN BOOK 936, PAGE 117.



Inst # 1936591
COUNTY OF SANTA FE
STATE OF NEW MEXICO } 55
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS 17th DAY OF December, A.D. 2022, AT 12:00 O'CLOCK P.M., AND WAS DULY RECORDED IN BOOK 111, PAGE 17 OF THE RECORDS OF SANTA FE COUNTY

WITNESS MY HAND AND SEAL OF OFFICE
GERALDINE SALAZAR
COUNTY CLERK, SANTA FE COUNTY, NM
Geraldine Salazar DEPUTY

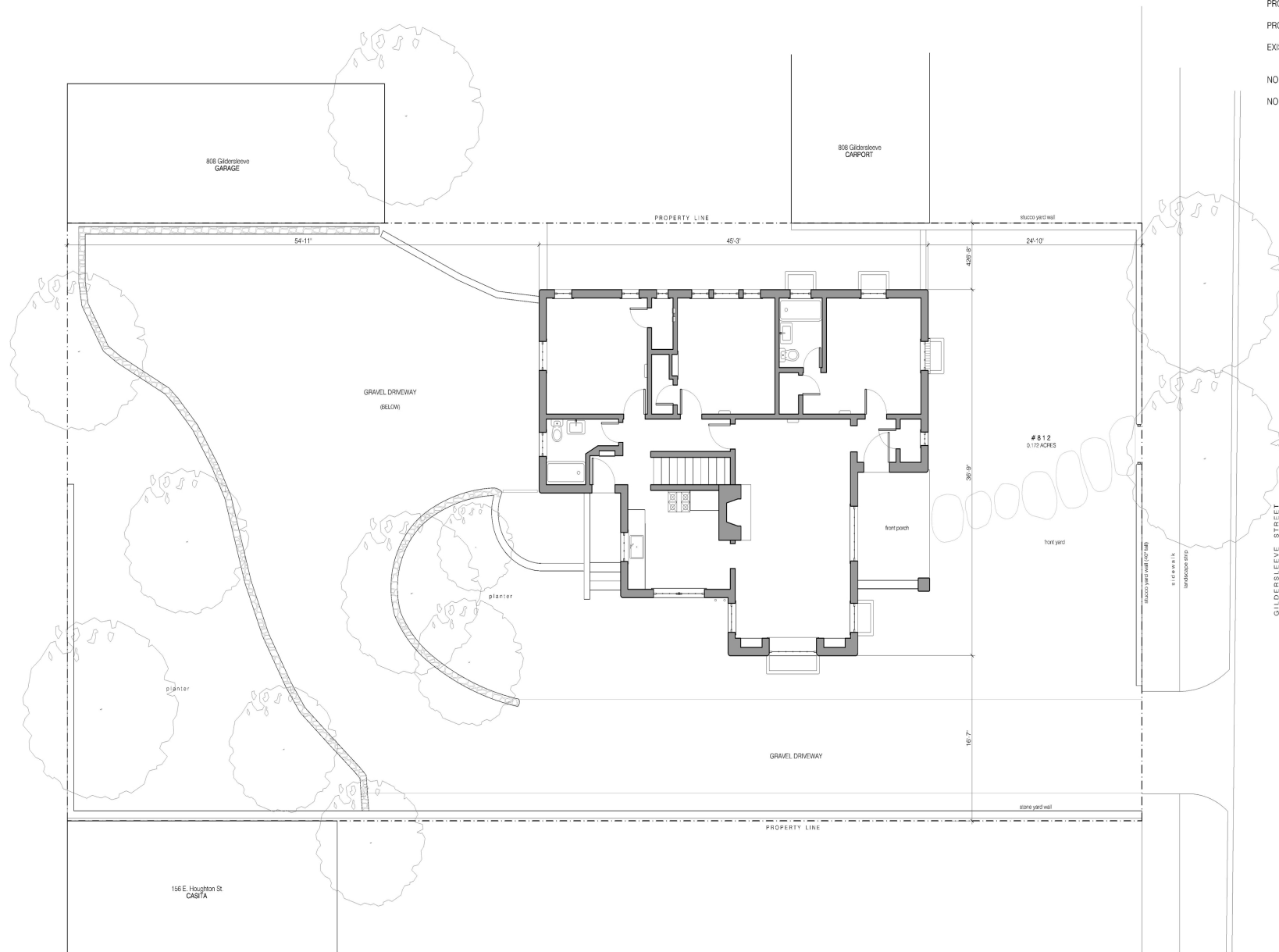
ASSOCIATED SURVEYS MICHAEL V. TRUJILLO N.M.P.S. No.12130 1120 CAMINO CONSTUELO SANTA FE, NEW MEXICO 87507 PH. 424-1395	SECTION 25	BOUNDARY SURVEY PLAT FOR THE ESTATE OF DOROTHY STORM MUNOZ LOT 20, LOT 21 & THE NORTHERLY 10 FEET OF LOT 22 BLOCK 6 OF BUENA VISTA ADDITION CITY OF SANTA FE, STATE OF NEW MEXICO	SCALE 1" = 10'
	TOWNSHIP T. 17 N.		DATE NOVEMBER 31, 2020
	RANGE R. 9 E.		DRAWN-BY
	GRANT		CHECKED-BY M.V.T.
	N.M.P.S.		PROJECT No. M20-25 M-721

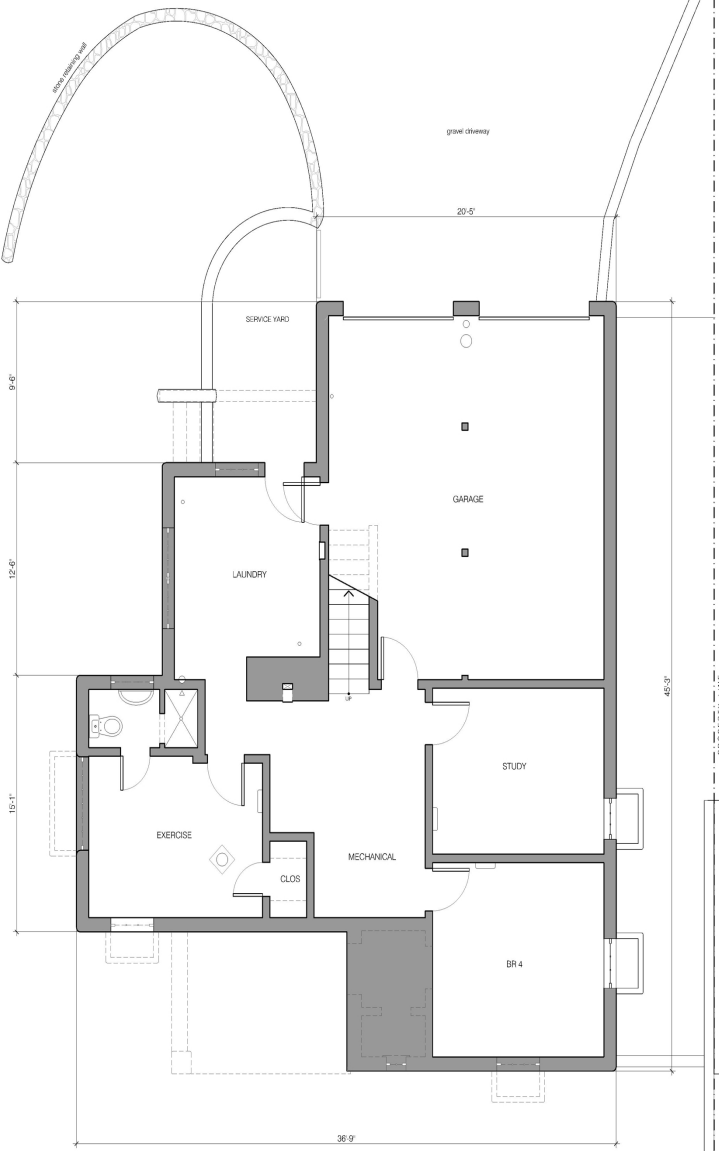
NOTES

812 GILDERSLEEVE STREET
SOUTH CAPITAL

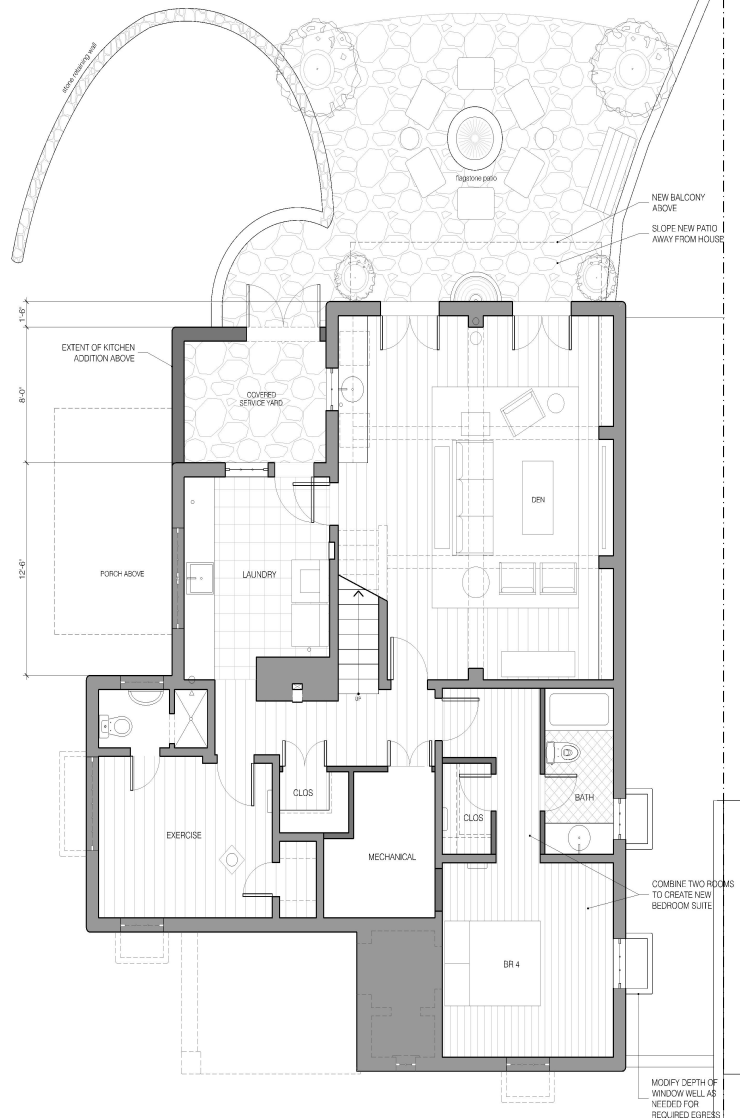
ZONING	R-21
LOT AREA	7476 sq. ft.
EXISTING ROOFED AREA	1384 sq. ft.
PROPOSED ADDITION	85 sq. ft.
PROPOSED ROOFED AREA	1469 sq. ft.
EXISTING BUILDING HEIGHT	13' front 21' back

NO CHANGE IN HEIGHT PROPOSED
NO CHANGE TO STREET YARD WALL





EXISTING BASEMENT LEVEL
1240 sq.ft.



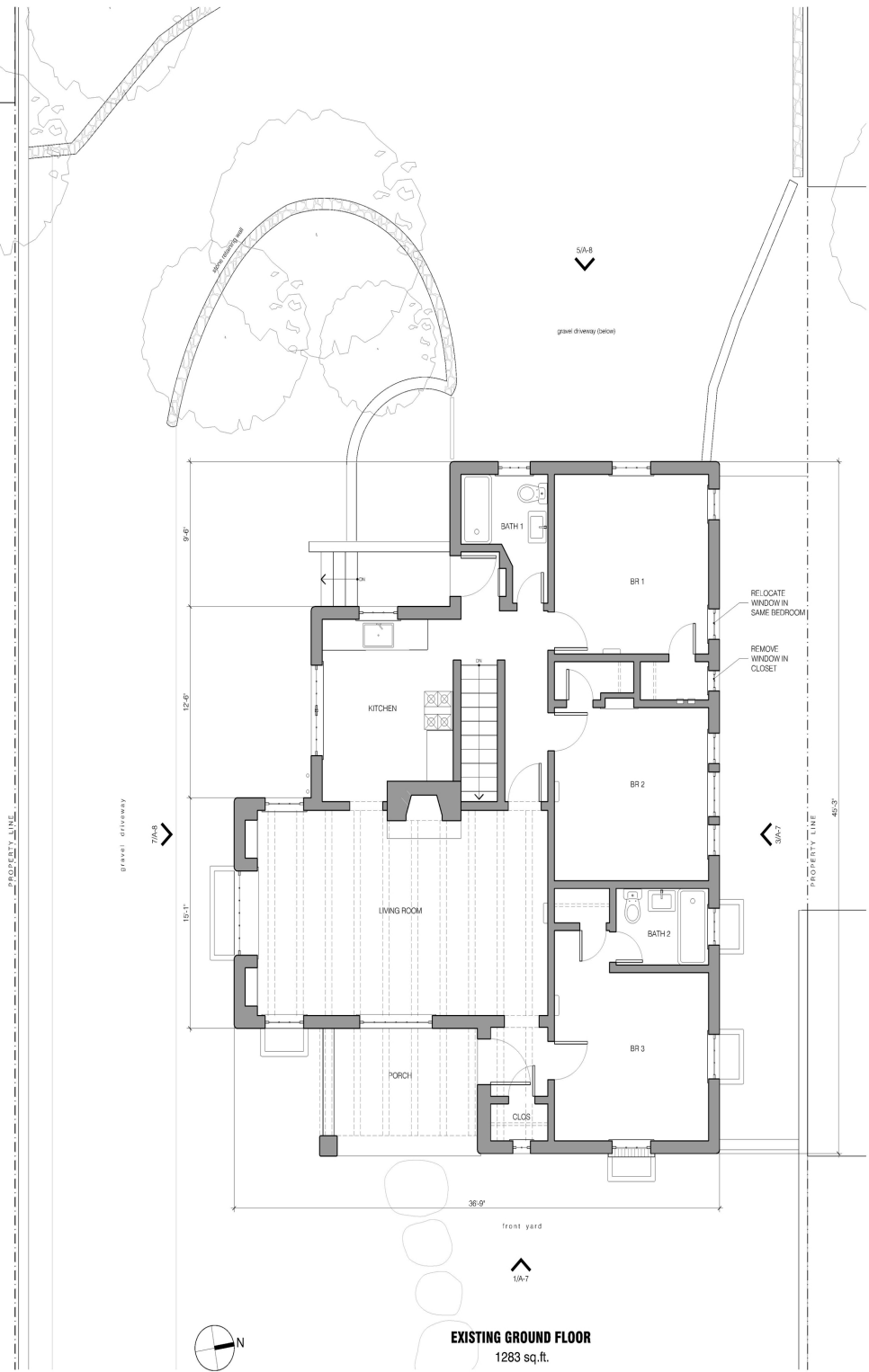
PROPOSED BASEMENT LEVEL
1240 sq.ft.



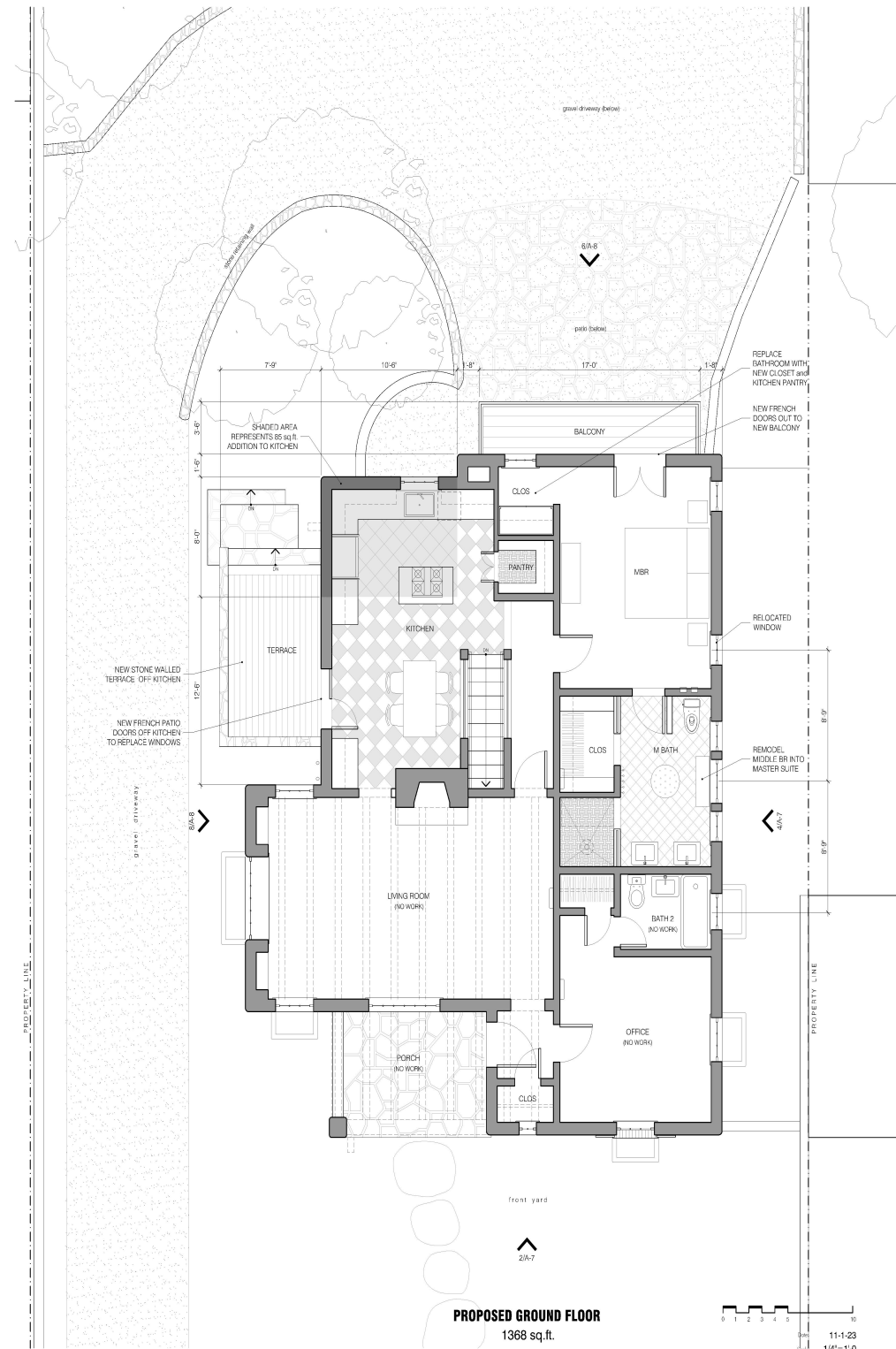
BASEMENT LEVEL PLANS
812 GILDERSLEEVE STREET
Santa Fe, New Mexico



BASEMENT LEVEL
A-5

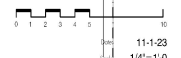


EXISTING GROUND FLOOR
1283 sq.ft.



PROPOSED GROUND FLOOR
1368 sq.ft.

GROUND FLOOR PLANS
812 GILDERSLEEVE STREET
Santa Fe, New Mexico



NOTES

- HOUSE TO BE RE-STUCCOED WITH CEMENTIOUS 'BUCKSKIN' by EL REY
- WHITE PAINTED STUCCO BELOW FRONT PORTAL TO BE REPLICATED
- WOOD WINDOWS and HEADERS TO BE REPAIRED AS NEEDED and REFINISHED WITH EXTERIOR SEMI-SOLID STAIN 'HAWTHORN' by SHERWIN WILLIAMS
- PROPOSED SIDEWALK GATE TO BE SINGLE WOOD PANEL MATCH HEIGHT OF WALL MATCH WINDOW STAIN COLOR

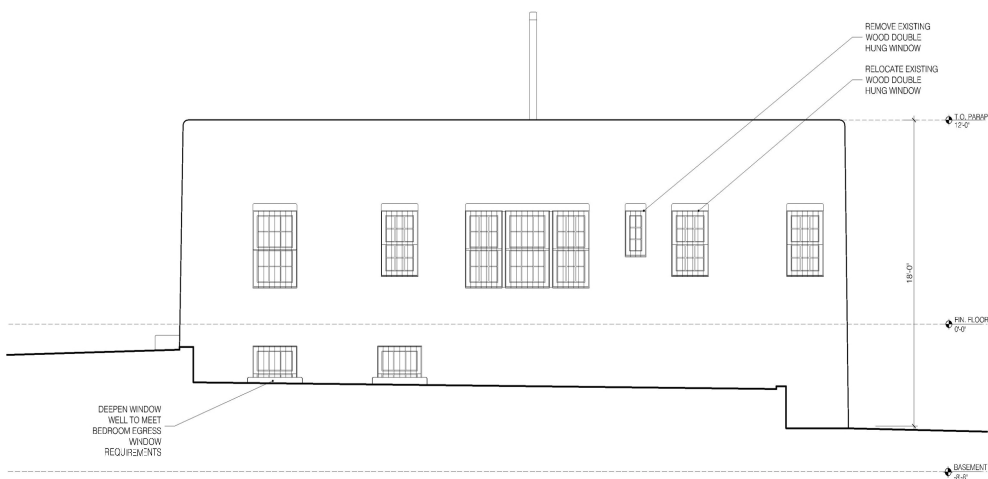


4 PROPOSED SIDE ELEVATION - NORTH

DEEPEN WINDOW WELL TO MEET BEDROOM EGRESS WINDOW REQUIREMENTS

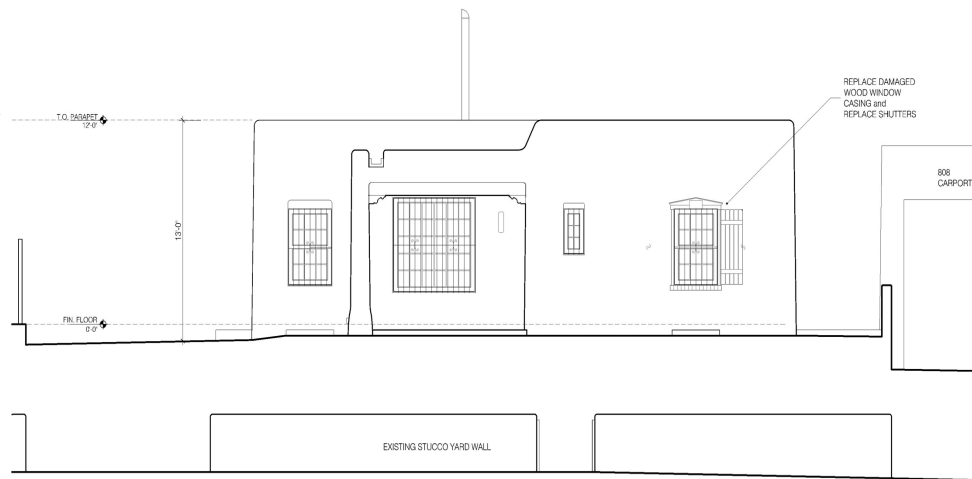


2 PROPOSED FRONT ELEVATION - EAST



3 EXISTING SIDE ELEVATION - NORTH

DEEPEN WINDOW WELL TO MEET BEDROOM EGRESS WINDOW REQUIREMENTS

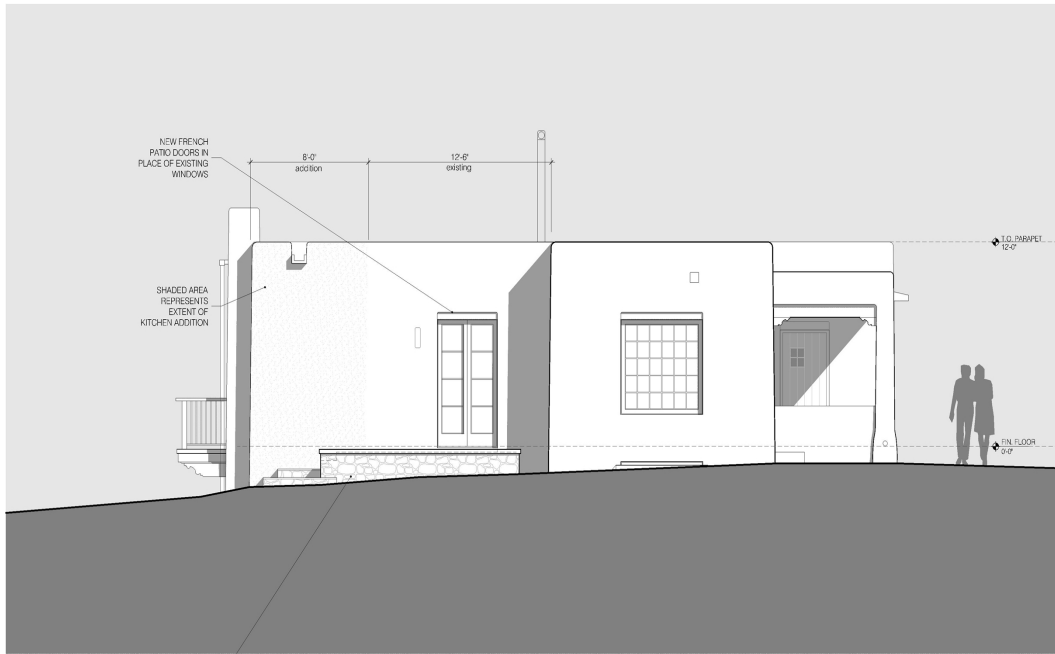


1 EXISTING FRONT ELEVATION - EAST



Date: 11-1-23
Scale: 1/4"=1'-0"

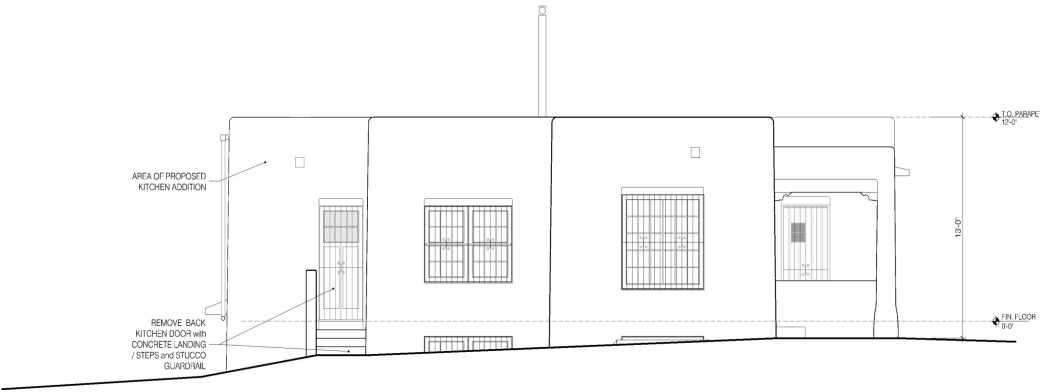
**ELEVATIONS
A-7**



8 PROPOSED SIDE ELEVATION - SOUTH



6 PROPOSED BACK ELEVATION - WEST



7 EXISTING SIDE ELEVATION - SOUTH



5 EXISTING BACK ELEVATION - WEST



Date: 11-1-23
Scale: 1/4"=1'-0"



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-007604-HDRB. 367 Hillside Ave. Downtown and Eastside Historic District. Contributing. Christopher Purvis, agent for David Gardner, owner, requests approval for an exterior remodel including a new roof, doors, windows, stucco and paint.

Case number: 2023-007604-HDRB
Project Type: Remodel

PROJECT LOCATION (S): 367 Hillside Avenue

PROJECT NAMES:

OW – David Gardner, 367 Hillside Avenue, Santa Fe, NM 87501

AP – Christopher Purvis, 518 Old Santa Fe Trail St. 1 PMB 373, Santa Fe, NM 87505 (505-982-5461)

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____2326_____

YEAR OF CONSTRUCTION _____1860_____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME Jacobo and Lita Gallegos House

City of Santa Fe, New Mexico

memo

DATE: December 12, 2024
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2023-007604-HDRB. 367 Hillside Ave. Downtown and Eastside Historic District. Contributing. Christopher Purvis, agent for David Gardner, owner, requests approval for an exterior remodel including a new roof, doors, windows, stucco and paint.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

367 Hillside Avenue is a single-family residence listed as contributing to the Downtown and Eastside Historic District with the south and west facades designated as primary. The 1,432 square-foot structure was built in 1860 on a 0.35-acre lot. The original structure was a two-bedroom quintessential Spanish Pueblo vernacular architectural design which comprised of

adobe construction material, viga beams, recessed windows, and a flat roof. The property has had some additions including a stand-alone garage built in 1978.

In 2018, 367 Hillside Avenue went before the HDRB for status review with primary façade(s) designation in Case No. H-18-039A. The structure received a contributing status with the south and the west designated as primary except the windows and doors.

In 2019, an administrative approval was given in Case No. 2019-001012-ADMIN, for the new construction of a 3' coyote fence, a 6' by 6' deep trash enclosure with 3' high coyote fence enclosure, and a gate to match the design to enclose the trash area.

Now, the applicant proposes the following exterior alterations:

- 1) Replace the non-compliant aluminum sash with barn sash style casement windows to be aluminum clad dark brown as indicated on the plans (painted wood) and rebuild the doors that will require it in a matching style.
- 2) We also request minor changes to the Structure related to the stabilization of the rear (North) wall keeping the footprint and opening location but rebuilding the caved in adobe wall with CMU.
- 3) Re-roof the structure with Modified Bitumen Roofing adding approximately 6" of insulation to the roof to improve livability and to cure the roof drainage issues this will mean that we need to add approximately 6 inches to the existing parapet the maximum height will be 12'-0".
- 4) Re-stucco the structure matching the current color El Rey Cementitious Adobe (adding 2" of rigid board insulation under the new stucco).
- 5) Remove the aluminum sunshade on the West elevation.
- 6) The current home is 1700 Square feet divided into 3 units. The applicant proposes lowering the floor of the rear unit 12" to make it habitable (7'6" ceilings) and incorporating the "shop/studio" on the southeast side into other apartment. All new windows shall be brown clad insulated TDL casements. New or rebuilt exterior doors shall be simple 4panel and or TDL glass pine painted Azure Tide (blue).

RELEVANT CODE CITATIONS:

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts
14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;

- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and


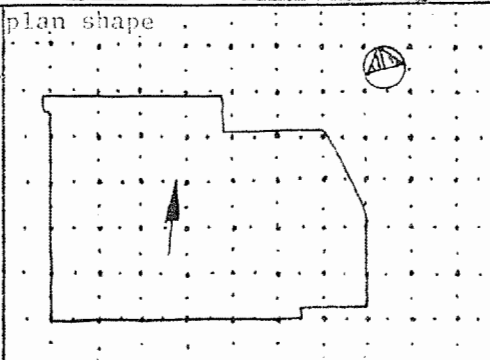

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

112326

building threatened? <input checked="" type="checkbox"/>	surveyed date 9/20/84 by SL	county SANTA FE	ID no. 051612105
field map SFHD #2	number 2105	UTM reference zone 12 13	easting northing
location description 367 HILLSIDE AVE.		city/town SANTA FE	
		land grant/reservation	
building name		legal description tnsp N S range E W sec	
film roll by SL no. 38	negative nos. 10	loc. of neg. HPB	plan shape
			
			date of construction Pre '20 estimate _____ actual source
			use present <input checked="" type="checkbox"/> residential other _____ historic <input checked="" type="checkbox"/> residential other STORE
			condition _____ excellent _____ good _____ fair <input checked="" type="checkbox"/> deteriorating
NMUV ? wall material/surface ADOBE/STUCCO		degree of remodeling _____ minor <input checked="" type="checkbox"/> moderate _____ major describe: add. 25 yrs ago	
architectural features flat parapet concealing low shed to N w/ expos'd eave		surroundings RESIDENTIAL	
		relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
		district potential <input checked="" type="checkbox"/> yes _____ no	
W: alum. sliding, 4 lit casemt, D: solid w/ 4 lits,  , french		significance _____ eligible _____ of <input checked="" type="checkbox"/> none if eligible, interest why? nc. alt.	
comments		associated buildings? _____ yes what type? if inventoried, list ID nos.	
		see back? _____ yes 5	

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 2326 (1984 survey number)			4. County: Santa Fe			
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object								
6. Date of Survey: March 3, 2018								
7. Previous Survey Date(s): <input type="checkbox"/> Yes: Sept. 20, 1984 <input type="checkbox"/> No:								
8. Name of Project: HDRB status review								
9. Lat/Long: 35.687443, -105.930919								
10. Photo Information		View of South (elevation), facing northwest, March 20, 2018.						
11. Brief Description of the Property: Sitting back from the sidewalk, and partially built into the hillside, is a historic adobe dwelling with its earliest sections likely predating statehood. In form, the vernacular house is a series of rectangular room blocks, which, through additions over the years, has taken on an L-shaped composition. Spread over 1,432 square feet, it holds two bedrooms. The house faces the street with an unarticulated façade penetrated with a few windows and doors. The windows of the house have been almost universally replaced with aluminum sliding units. The older door and window combination at the east end of the building — the best preserved — historically opened into a store which occupied this part of the building for nearly five decades. Secondary entrances are strung along the west elevation, accessing the main dwelling and historically an efficiency apartment. These consist of three older wood doors in various stages of decay. <i>Continued on Page 5.</i>								
12. Who uses the property? Residence								
13. Construction Date: Unknown Date: Earlier demolished or reconstructed portion, pre-1912; majority of massing pre-1969 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: maps and aerial photographs								
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public								
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A								

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source:
Google Imagery, 2018



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
FirstLight Consulting
505-577-7593
firstlightconsulting@gmail.com

w/Agave Consulting and Sharon Joyce

For: 2017 Hillside Partners, LLC

18. Owner (if known) and other knowledgeable people:

Owner: 2017 Hillside Partners, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown* No Yes It is unclear if this is a Contributing resource to the Santa Fe Historic District, listed on the New Mexico State Register Cultural of Properties.

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing No Status
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

Recommended Contributing Structure to the Downtown and Eastside Historic District, March 28, 2018

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2					
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1. Name of property: Jacobco and Lita Gallegos House		2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A			
				4. County: Santa Fe			
				5. Date of Survey: March 3, 2018			
ARCHITECTURAL AND CONSTRUCTION DETAILS:							
6. Visible Construction Material:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____			
<input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____			
				9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: _____ Pitch: <input checked="" type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____			
10. Windows <input checked="" type="checkbox"/> N/A			11. Doors <input type="checkbox"/> N/A				
Operation	Material	Glazing	Number	Type	Style	Material	Number
Sliding	Metal/Aluminum	1-1	6	Single-Leaf	Panel	Wood	1
Fixed	Wood	Single	1	Single-Leaf	3/4-Glass	Wood	1
Barn Sash	Wood	Various	1	Single-Leaf	1/2-Glass	Wood	1
Unknown	Unknown	Unknown	1	Single-Leaf	Solid	Wood	2
12. Chimneys N/A (describe whether interior or exterior and material)				13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap			
14. Other Significant Features N/A							
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications							
#1Date: Post-1912; additions; Sanborn Fire Insurance Map.							
#2Date: Post-1930; additions; Sanborn Fire Insurance Map.							
#3Date: Post-1948; additions; Sanborn Fire Insurance Map and aerial photograph.							
#4Date: Unknown; installation of aluminum sliding windows; visual and material evidence.							

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Site Plan: N/A. Santa Fe Assessor Parcel Boundary.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>				Criteria A B C D			
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A				4. County: Santa Fe			
		5. Date of Survey: March 3, 2018							

Architectural Description Continued

The most complicated elevation is along the north exposure. Partially dug into the hill, it reveals a number of bumps and accretions. Similar to the other façades, for the most part it is fenestrated with more recent aluminum windows, all in a state of deterioration.

The east elevation, paralleling a driveway up the hill, has a rounded wall at its northeast corner. It holds a single wood-frame fixed window, likely dating to the grocery store era.

The house reveals several layers of stucco, with the most recent a cementitious cork float finish. The roof drains to the north with a canale and trough directing water over the east and west edges. Shallow parapets outline its perimeter. It is covered with rolled asphaltic paper, which haphazardly carries over the north elevation. Multiple vents penetrate its surface, suggesting that it historically held several living units.

Based on the 1912 King's map, it is likely that a section of house fronting the sidewalk predates statehood. This double-adobe walled portion, used partially as a residence and store, received a number of additions that brought it to its current footprint before 1968.

The house is an example of the vernacular production of the Spanish-Pueblo Revival style. It is in poor shape, with its basic massing the only aspect retaining historic integrity.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Historical Overview

Hillside Avenue

Hillside Avenue emerged in the late 19th century as a meandering road along base of Fort Marcy. On the 1897-98 William White map of Santa Fe, it is pictured as starting at the west on Washington Avenue, then snaking in a southeast direction around the hillside before terminating at Arroyo Saiz (Figure 1).

It was called Thornton Avenue at the time, probably in reference to former governor William T. Thornton, who owned the large parcel of land on the hillside above. Thornton worked as a syndicate with fellow attorney and former governor L. Bradford Prince, acquiring and selling land and financing mining operations. The meandering road was later renamed Loma Avenue.

The avenue paralleled the wider, grander Palace Avenue to the south. Dating back to colonial times, *Palacio Avenida* expanded in the 1870s to Arroyo Saiz. In 1887, as the new courthouse was being constructed, the avenue was again extended, this time to a point east of the Fischer Brewery, near today's La Vereda Norte. The extension of Palace Avenue resulted in further development eastward, which undeniably influenced Hillside Avenue, as it had also been extended across Arroyo Saiz by this time.

By 1912, several substantial houses had been constructed near the west end of Hillside Avenue. These were large, rambling homes facing a triangular park, currently Thomas Macaione Park. Beyond these homes, the north side of the avenue was populated with much smaller, rectangular and L-shaped dwellings placed close to the street (Figure 2). Many of these were grouped in tight compound-like clusters, signaling probable Hispanic origin.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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367 and 369 Hillside

The first graphic indication of the house is most likely the small box-like building depicted on the 1912 King's map of Santa Fe (Figure 2). By the time of its appearance on the 1930 Sanborn Fire Insurance map, it had expanded in footprint, taking on an L-shaped form with an addition at its northeast corner (Figure 3). The map identifies the building as a store.

Property Owners

It is unclear who historically owned the underlying property, as different sources suggest multiple owners with different surnames.ⁱ

At the time of the 1930 Sanborn map, the property was addressed 369 Hillside Avenue, and owned by Jose (Joseph) Ronquillo. Joseph and his wife Irene lived in the house with their daughter Rosina. Married just two years, Joseph worked as a bus driver for Bishop's Lodge,ⁱⁱ while Irene stayed at home and managed the Pick N Pay No 2 grocery at the 369 Hillside address.ⁱⁱⁱ The store was one of five in a small Pick N Pay chain of groceries. At the time, there were over 50 grocery stores spread across Santa Fe, many run by Hispanic families.

Mention of the Ronquillos and the Pick N Pay grocery in the newspaper tapered off after 1931. In 1932, Abelino Gomez and his daughters Nellie and Lita were living at 369 Hillside. Two other couples (the Gonzalez and Ortega families) were identified in city directories as residing on the property, suggesting either interrelated families or the existence of dwellings not shown on maps.

Jacobo and Lita Gallegos

By the mid-1930s, the property, representing both addresses, came under the ownership of the Gallegos family, and would be in their care for many decades.

In c.1933, Jacobo J. and Lita P. Gallegos moved from a rental on Ambrosia Street to the Hillside Avenue location. Lita was the daughter of Francisquita and Vivian Padilla, and had grown up on Hillside Avenue in an adobe several houses to the east. The couple brought with them Jacobo's parents, Santiago and Virginia Gallegos, who lived in a small house next door to the west which was later assigned the address 367 ½ Hillside Avenue. Lita's parents appeared to have lived on the property as well.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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As before, city directory entries show the property having multiple inhabitants, suggesting again extended family or the presence of rental units. Besides the two sets of parents, Rafael and Ada Herrera and Pedro Ortega are listed in a 1934 city directory as living on the property.

A Snapshot of Family

The 1940 federal census takers found Jacobo and Lita, with their three children, Jake, Jr., Francis and Ramon (Raymond) living in the house. Jacobo, popularly called Jake and Jacob, owned the house, which was valued at \$2,000. Jake and Lita were surrounded by families with both Anglo and Spanish surnames, of a similar economic bracket.

Jake was 31 and worked as a builder; Lita, 28, was a homemaker.^{iv} He had completed two years of high school; Lita finished her schooling at 8th grade. Despite still being in the throes of the Depression, Jake had worked 52 weeks in 1939, earning a solid income of \$1,400. Lita, answering a supplementary questionnaire, told the census takers that she did not have a social security number, and was unpaid for her household work.

Jake and Lita welcomed the birth of another child, Dolores, in the early 1940s. In 1968, Dolores married Raymond Herrera, known to many Santa Feans as a neighborhood preservationist; the couple lives a few houses down at 379 Hillside. During the war, Jake Sr. served in the Navy in the Philippines. His son Jake Jr. followed his father's example by enlisting in the same branch in 1950, where he was a pilot in a helicopter squadron stationed in San Diego.^v

After the war, Jake Sr. worked for the U.S. Postal Service, and later as a clerk for the New Mexico State Highway Department, retiring from both agencies.

Lita P. Gallegos passed away on March 31, 1983. Jacobo J. Gallegos died less than a year later on July 2, 1984, at 75, of a heart attack.^{vi} Both are buried at Santa Fe National Cemetery. With their deaths, the house at 367 Hillside became a rental unit.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Evolution of the Gallegos House

In the years since the 1930 census, the house expanded with additions, while the store minimized in size. The 1948 Sanborn map depicts the altered footprint (Figure 4). The addition is an L-shaped structure attached to the north side of the building. Construction may have eliminated the foot of original “L” revealed on the 1930 map.

The addition appears to have functioned as a rental. A 1952 advertisement in the *Santa Fe New Mexican* lists 369 Hillside as a one-bedroom apartment, with living room, kitchen, bathroom, and garage, available for \$75 month.^{vii} By the late 1950s, son Raymond and his wife Josie had moved into the house, and in the coming years, they would raise several children there.

The building holding the combined addresses assumed its present footprint by at least 1969, as indicated on aerial photograph of that year (Figure 5).^{viii} Additional alterations appear to be confined to the aluminum windows and probable rearrangement of interior space.

Evaluation of Historical Status

While not possessing architectural significance, a portion of the house may predate statehood. Further, its current massing was established more than 50 years ago, and has experienced little change since then. The dwelling is representative of vernacular Hispanic architecture, and contributes to the immediate streetscape as well as the larger historic district. For these reasons, the recommendation is to designate 367 Hillside Avenue a Contributing Structure to the Downtown and Eastside Historic District.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
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Illustrations



Figure 1: Portion of 1897-98 map showing general location of house.
 Source: William White, "Map Showing Owners of Land within Santa Fe Grant Outside of Santa Fe City Limits," 1897-98.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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						4. County: Santa Fe					
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Figure 2: Portion of 1912 map with arrow indicating potential existence of earlier home.

Source: N. L. King, "King's Official Map of the City of Santa Fe, New Mexico," 1912.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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					4. County: Santa Fe				
					5. Date of Survey: March 3, 2018				

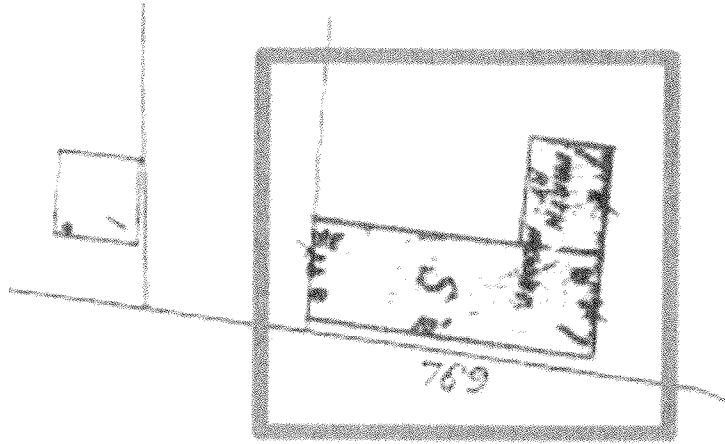


Figure 3: Portion of 1930 Sanborn Fire Insurance Map showing footprint of house.

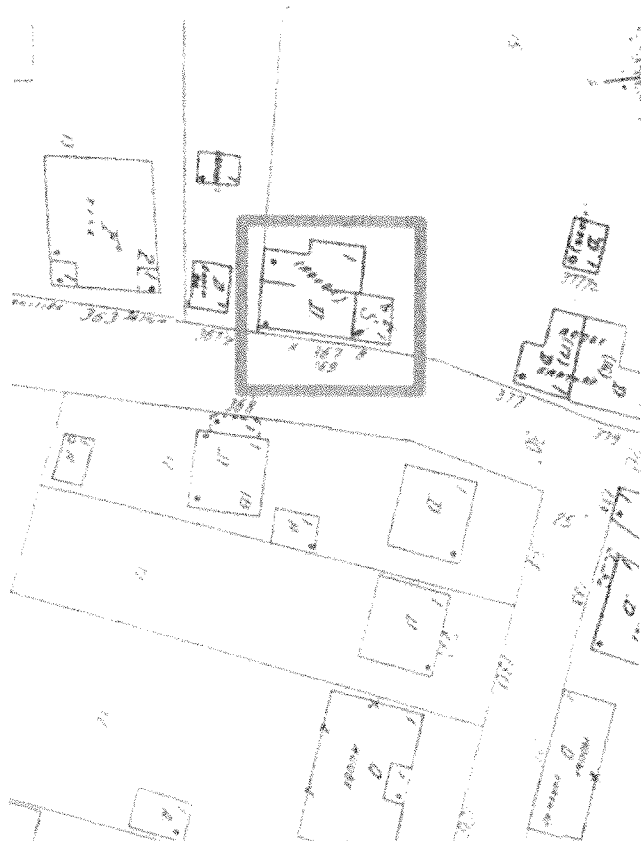


Figure 4: Portion of 1948 Sanborn Fire Insurance Map showing evolved footprint of house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>				NRHP SRCP Criteria A B C D			
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A				4. County: Santa Fe			
		5. Date of Survey: March 3, 2018							



Figure 5: Portion February 27, 1969 aerial photograph showing footprint currently in place.
Courtesy New Mexico Department of Transportation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
District No.	NRHP	SRCP	Criteria A B C D		
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A		
			4. County: Santa Fe		
			5. Date of Survey: March 3, 2018		

Survey Photographs



**Photo 1: South and east elevations, facing northwest.
Two-story portion of 367 ½ Hillside visible in background.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 2: East elevation, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 3: west elevation, facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		Please complete HCPI FORM 1 before completing FORM 2 NRHP SRCP Criteria A B C D			
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 4: West elevation, facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 5: North elevation, facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 6: West end of north elevation, facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 7: Middle section of north elevation, facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Jacobo and Lita Gallegos House	2. Location: 367 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 8: East end of north elevation, facing southeast.

End Notes

- ⁱ Several sources suggest Pedro Ortega owned the underlying property.
- ⁱⁱ Jose Ronquillo worked for many years as Amelia Hollenback's personal driver. The Ronquillos lived in her John Gaw Meem designed house for nearly 30 years; *Santa Fe New Mexican*, September 23, 2001, 21
- ⁱⁱⁱ United States Federal Census, 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 13A; Enumeration District: 0014.
- ^{iv} United States Federal Census, 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 5B; Enumeration District: 25-20B.
- ^v *Santa Fe New Mexican*, September 18, 2008, C-2.
- ^{vi} *Ibid.*, July 3, 1984, 4.
- ^{vii} *Ibid.*, March 20, 1952, 31.
- ^{viii} A 1967 aerial photograph shows roughly the same massing footprint that is in place today.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria A B C D	
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue <i>Downtown and Eastside Historic District</i>
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object	3. Local Reference Number: Santa Fe ID #: H2325 (1984 number)
6. Date of Survey: March 3, 2018	4. County: Santa Fe
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: <input type="checkbox"/> No:	
8. Name of Project: HDRB status review	
9. Lat/Long: 35.687443, -105.930919	
10. Photo Information	
10. Photo Information <i>View of South (elevation), facing northeast.</i>	
11. Brief Description of the Property: <p>Scaling up the hillside, the 1,725-square-foot residence, constructed in the c.1980s, is a study of building on a limited site. The original, and most likely demolished or reconstructed section, is the little box behind a wall fronting the street. The front of the box is penetrated with a large, modern multi-light window and a door sheltered by a parapet-type portal. Stepping up the slope are four connected volumes, each at a successively taller height. The composition is terminated with a two-story mass holding a bedroom and a one-bay garage. Medium height parapets outline the cube-like volumes. The gravel-covered roofs drain to the west through wood trough canales, spilling into a concrete channel. The combined volumes are fenestrated with modern, metal, false mullion windows and manufactured wood doors. Rustic style wood lintels crown the openings. Cementitious stucco encloses the house. The stucco is lightly textured in a buckskin finish. A low stuccoed block wall runs parallel to the sidewalk, turning north to connect with the residence next door (367 Hillside). Of modern origin, the house is an example of the Recent Santa Fe Style.</p>	
12. Who uses the property? Residence	
13. Construction Date: Unknown Date: Earlier demolished or reconstructed portion, pre-1912; majority of new massing, c.1988 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: maps and aerial photographs and 1988 H-Board photographs	
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public	
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar	
Comments: N/A	

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source:
Google Imagery, 2018

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
FirstLight Consulting
505-577-7593
firstlightconsulting@gmail.com

w/Agave Consulting and Sharon Joyce

For: 2017 Hillside Partners, LLC

18. Owner (if known) and other knowledgeable people:

Owner: 2017 Hillside Partners, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing No Status
Per City of Santa Fe official designation map.
If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

**Recommended
Noncontributing Structure to
the Downtown and Eastside
Historic District, March 28,
2018**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																			
		NRHP	SRCP	Criteria	A B C D																																
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 1/2 Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe 5. Date of Survey: March 3, 2018																																			
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																					
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: Frame				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____ 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input checked="" type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Gravel																																	
10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Operation</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Glazing</th> <th style="width: 40%;">Number</th> </tr> </thead> <tbody> <tr> <td>Double-Hung*</td> <td>Metal</td> <td>4/4</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Double-Hung*</td> <td>Metal</td> <td>6/6</td> <td style="text-align: center;">7</td> </tr> <tr> <td>Double-Hung*</td> <td>Metal</td> <td>12/12</td> <td style="text-align: center;">1</td> </tr> </tbody> </table> *Exact operation unknown			Operation	Material	Glazing	Number	Double-Hung*	Metal	4/4	1	Double-Hung*	Metal	6/6	7	Double-Hung*	Metal	12/12	1	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Type</th> <th style="width: 20%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 40%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Panel</td> <td>Wood</td> <td style="text-align: center;">2</td> </tr> <tr> <td>Single-Leaf</td> <td>Flush/Solid</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Garage</td> <td>Sectional</td> <td>Metal</td> <td style="text-align: center;">1</td> </tr> </tbody> </table>			Type	Style	Material	Number	Single-Leaf	Panel	Wood	2	Single-Leaf	Flush/Solid	Wood	1	Garage	Sectional	Metal	1
Operation	Material	Glazing	Number																																		
Double-Hung*	Metal	4/4	1																																		
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Double-Hung*	Metal	12/12	1																																		
Type	Style	Material	Number																																		
Single-Leaf	Panel	Wood	2																																		
Single-Leaf	Flush/Solid	Wood	1																																		
Garage	Sectional	Metal	1																																		
12. Chimneys N/A (describe whether interior or exterior and material)			13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																		
14. Other Significant Features N/A																																					
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications																																					
#1 Date: post 1930; addition across rear; 1930 Sanborn Fire Insurance Map #1 Date: post-1969, c.1988; multiple additions and probable demolition and/or major reconstruction of earlier front portion; maps, aerial photographs and visible and material evidence.																																					

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other: Recent Santa Fe Style

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Site Plan: N/A. Santa Fe Assessor Parcel Boundary.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>					
		NRHP	SRCP	Criteria A B C D			
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A					
		4. County: Santa Fe					
		5. Date of Survey: March 3, 2018					

Historical Overview

Hillside Avenue

Hillside Avenue emerged in the late 19th century as a meandering road along the base of Fort Marcy. On the 1897-98 William White map of Santa Fe, it is pictured as starting at the west on Washington Avenue, then snaking in a southeast direction around the hillside before terminating at Arroyo Saiz (Figure 1).

It was called Thornton Avenue at the time, probably in reference to former governor William T. Thornton, who owned the large parcel of land on the hillside above. Thornton worked as a syndicate with fellow attorney and former governor L. Bradford Prince, acquiring and selling land and financing mining operations. The meandering road was later renamed Loma Avenue.

The avenue paralleled the wider, grander Palace Avenue to the south. Dating back to colonial times, *Palacio Avenida* expanded in the 1870s to Arroyo Saiz. In 1887, as the new courthouse was being constructed, the avenue was again extended, this time to a point east of the Fischer Brewery, near today's La Vereda Norte. The extension of Palace Avenue resulted in further development eastward, which undeniably influenced Hillside Avenue, as it had also been extended across Arroyo Saiz by this time.

By 1912, several substantial houses had been constructed near the west end of Hillside Avenue. These were large, rambling homes facing a triangular park, currently Thomas Macaione Park. Beyond these homes, the north side of the avenue was populated with much smaller, rectangular and L-shaped dwellings placed close to the street (Figure 2). Many of these were grouped in tight compound-like clusters, signaling probable Hispanic origin.

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District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe 5. Date of Survey: March 3, 2018				

Property Owners

It is unclear who historically owned the underlying property, as different sources suggest multiple owners with different surnames.ⁱ

By the mid-1930s, the property came under the ownership of the Gallegos family, and would be in their care for many decades.

In c.1933, Jacobo J. and Lita P. Gallegos moved from a rental on Ambrosia Street to the Hillside Avenue location containing this and a larger house now addressed as 367. Lita was the daughter of Francisquita and Vivian Padilla, and had grown up on Hillside Avenue in an adobe several houses to the east. The couple brought with them Jacobo's parents, Santiago and Virginia Montoya de Gallegos, who moved into the subject property. Lita's parents also appear to have lived on the property.

The elderly couple was recorded in the 1940 federal census. Santiago, 74, identified himself as a farmer, but was indicated to have no income and unable to work.ⁱⁱ Virginia, a homemaker, was 68.

Virginia Montoya de Gallegos died in 1941, at age 70.ⁱⁱⁱ Santiago seems to have moved out soon after. Mary Padilla, Lita Gallegos's sister and an employee of St. Vincent's Hospital, moved into the small house and lived there for many years.

Evolution of House

The first visual indication of the house is most likely the small square box shown on the 1912 King's map of Santa Fe (Figure 2). Situated immediately west of the future Gallegos house, the dwelling was considerably smaller than the combined store and residence, and may have contained only one room.

The 1948 Sanborn map shows the house with roughly the same footprint (Figure 4). To the north is an even smaller dwelling, perhaps accounting for one of the rental units on the property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Nearly 20 years later, the house had grown with a rectangular mass across its rear elevation (Figure 5). At a lower height, this CMU addition continued the basic form of the older building but with a flat roof. On the aerial photo, the older portion facing the street appears to have a shed roof.

At some point after 1969, the original dwelling received a massive addition across its north elevation. Reportedly built under the ownership of Lucille Romero,^{iv} it nearly tripled the length and size of the original building with several one-story accretions. The expansion included a two-story component containing a garage.

These post-1969 additions changed the basic footprint from a compact rectangle to a much larger L-shaped form.

The addition also altered, if not demolished, the original street-facing portion of the property. A 1988 H-Board case photograph shows a much different façade than is in place today (Figure 6). At that time, the front portion of the house had a shed roof and a different arrangement of windows and doors. Constructed at a lower height with a stuccoed parapet entry, the current façade appears to be a completely different structure. Equally, the heavy rustic lintels over the window and door openings are of a more recent vintage. Supporting this, a 1999 real estate advertisement for the combined property characterized 367 ½ as “fairy new” in construction.^v

Evaluation of Historical Status

Experiencing several major alterations, including additions which have tripled the size of what may have been the original dwelling, the recommendation is to maintain 367 ½ Hillside Avenue’s Noncontributing status to the Downtown and Eastside Historic District.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP	SRCP	Criteria					
				A	B	C	D		
1. Name of property: Santiago and Virginia Montoya House Storage Building	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A							
		4. County: Santa Fe							
		5. Date of Survey: March 3, 2018							

Illustrations



Figure 1: Portion of 1897-98 showing location of house.
 Source: William White, "Map Showing Owners of Land within Santa Fe Grant Outside of Santa Fe City Limits," 1897-98.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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				4. County: Santa Fe	
				5. Date of Survey: March 3, 2018	



Figure 2: Portion of 1912 map with arrow indicating potential existence of earlier home.

Source: N. L. King, "King's Official Map of the City of Santa Fe, New Mexico," 1912.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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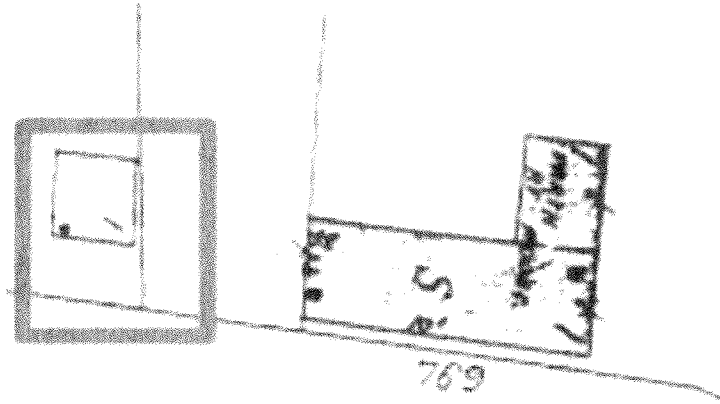


Figure 3: Portion of 1930 Sanborn Fire Insurance Map showing footprint of house.

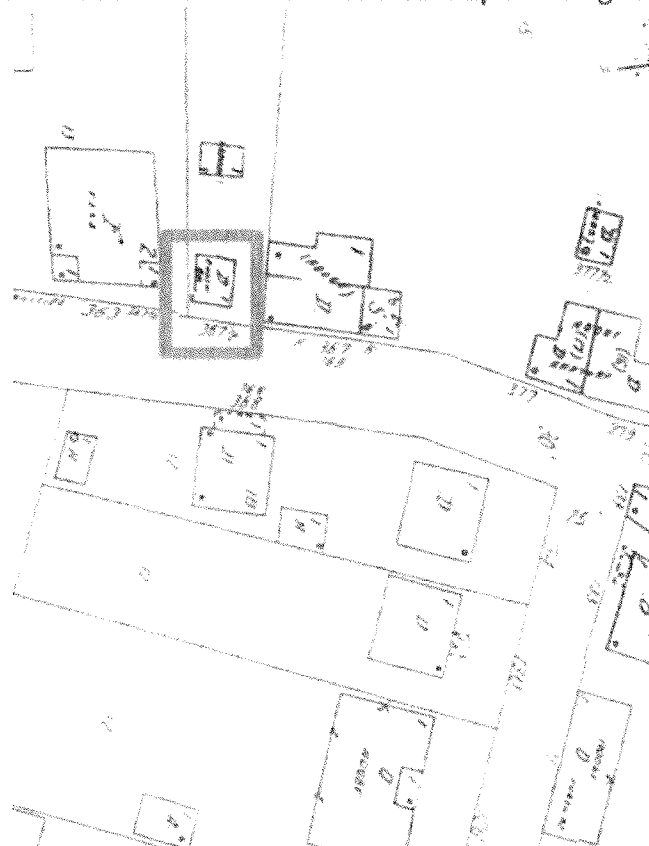


Figure 4: Portion of 1948 Sanborn Fire Insurance Map showing footprint of house.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
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		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Figure 5: Portion February 27, 1969 aerial photograph showing rear addition and shed roof of older section. Courtesy New Mexico Department of Transportation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



③

Figure 6: Photo from 1988 H-Board Case# H-88-350
 showing front of house with a shed roof and centered door.
 Courtesy City of Santa Fe Historic Preservation Division.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Santiago and Virginia Montoya House		2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A	
				4. County: Santa Fe	
				5. Date of Survey: March 3, 2018	

Survey Photographs



**Photo 1: View of 367 ½ (left) and 367 (right), facing north.
 Two-story portion of 367 ½ visible in background.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Santiago and Virginia Montoya House		2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A	
				4. County: Santa Fe	
				5. Date of Survey: March 3, 2018	



Photo 2: South (front) elevation, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No.		Please complete HCPI FORM 1 before completing FORM 2				District No.			
		NRHP	SRCP	Criteria					
				A	B	C	D		
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A							
		4. County: Santa Fe							
		5. Date of Survey: March 3, 2018							



Photo 3: East elevation, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2				
		NRHP	SRCP	Criteria A B C D		
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A				
		4. County: Santa Fe				
		5. Date of Survey: March 3, 2018				



Photo 4: East elevation, facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 5: West elevation, facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: March 3, 2018			



Photo 6: West elevation, facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. District No.		Please complete HCPI FORM 1 before completing FORM 2				
		NRHP	SRCP	Criteria A B C D		
1. Name of property: Santiago and Virginia Montoya House	2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A				
		4. County: Santa Fe				
		5. Date of Survey: March 3, 2018				



Photo 7: South and east elevations of two-story portion, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No.		<i>Please complete HCPI FORM 1 before completing FORM 2</i>				District No.				NRHP				SRCP				Criteria				A				B				C				D			
1. Name of property: Santiago and Virginia Montoya House		2. Location: 367 ½ Hillside Avenue Santa Fe: <i>Downtown and Eastside Historic District</i>						3. Local Reference Number: Santa Fe ID #: N/A						4. County: Santa Fe						5. Date of Survey: March 3, 2018																	



Photo 8: North and west elevations two-story portion, facing southeast.

End Notes

ⁱ Several sources suggest Pedro Ortega owned the underlying property.

ⁱⁱ United States Federal Census, 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 5B; Enumeration District: 25-20B.

ⁱⁱⁱ *Santa Fe New Mexican*, August 18, 1941, 5.

^{iv} Ray Herrera, telephone conversation with John Murphey, March 17, 2018.

^v *Santa Fe New Mexican*, December 12, 1999, 1-13.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant: Date Submitted: <u>10/31/23</u> Property Owner of Record: <u>HILLSIDE PARTNERS LLC</u> Applicant/Agent Name: <u>CHRISTOPHER PURVIS</u> Contact Person Phone Number: <u>(505) 9825461</u>	Site Address: <u>367 HILLSIDE</u> Proposed Construction Description: <u>RESTABILITATION NEW WINDOW & DR</u> TOTAL ROOF AREA: <u>3370 sq ft</u>
Zoning District: <u>RC-8</u> Overlay: <input checked="" type="checkbox"/> Escarpment <u>FOOTHILLS?</u> <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ Terrain: <input checked="" type="checkbox"/> 30% slopes _____	Lot Coverage: <u>22</u> % <input type="checkbox"/> Open Space Required: _____ Setbacks: <u>EX 45'</u> Proposed Front: _____ Minimum: <u>7'</u> <u>EX 2nd Front?</u> Proposed Rear: <u>105'</u> Minimum: <u>15'</u> Proposed Sides: <u>L 30' R 70'</u> Minimum: <u>5'</u> Height: Proposed <u>EX 12'-0"</u> Maximum Height: <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District Parking Spaces: Proposed <u>EX 5</u> Accessible _____ Minimum: <u>4</u> Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

CHRISTOPHER PURVIS (PRINT NAME) OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature] 10/31/23
 SIGNATURE DATE

To Be Completed By City Staff: Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ Notes: _____ Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval with conditions <input type="checkbox"/> Rejected Comments/Conditions: <u>Approval upon condition that ADU within 1700 square foot residence is converted back to bedroom and kitchen is removed to meet density requirements.</u> REVIEWER: <u>Carly Venditti</u> <u>Carly Venditti</u> DATE: <u>11/8/23</u> Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	
--	--

A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board
City of Santa Fe
City Hall
Santa Fe NM 87501

Tuesday, November 14, 2023

RE: 367 Hillside

Enclosed copies

A-1 Site Plans Existing and Proposed	10/30/23
A-2 Floor Plans Existing and Proposed	10/30/23
A-3 Elevations Existing and Proposed	10/30/23
Photographs of Elevations	

Dear Paul Duran and
Members of the Historic Districts Review Board

In the Previous Case 18-039A it was established that 367 Hillside avenue was Contributing Structure with South and West Elevations Primary . We understand that the existing openings were included but not the windows or doors that fill those openings . As such we propose to replace the non compliant aluminum sash with barn sash style casement windows to be aluminum clad dark brown as indicated on the plans (painted wood) and rebuild the doors that will require it in a matching style. Also we propose the following there changes

- 1)We also request minor changes to the Structure related to the stabilization of the rear (North) wall keeping the footprint and opening location but rebuilding the caved in adobe wall with CMU
- 2) Re roof the structure with brai Modified Bitumen Roofing adding approximately 6” of insulation to the roof to improve livability and to cure the roof drainage issues this will mean that we need to add approximately 6 inches to the existing parapet the maximum height will be 12’-0”
- 3) Re stucco the structure matching the current color El Rey Cementitious Adobe (adding 2” of rigid board insulation under the new stucco)
- 4) Remove the aluminum sun shade on the West elevation

The current home is 1700 Square feet divided into 3 units we are proposing Lowering the floor of the rear unit 12” to make it habitable (ie 7’6” ceilings) and incorporating the “shop/studio” on the south east side into other apartment. All new windows shall be brown clad insulated TDL casements. New or rebuilt exterior doors shall be simple 4panel and or TDL glass pine painted Azure Tide (blue).

Please call if you have any questions on the project 982-5461

Sincerely,



Christopher Purvis.

A. CHRISTOPHER PURVIS ARCHITECTS

Exterior stucco color El Rey adobe

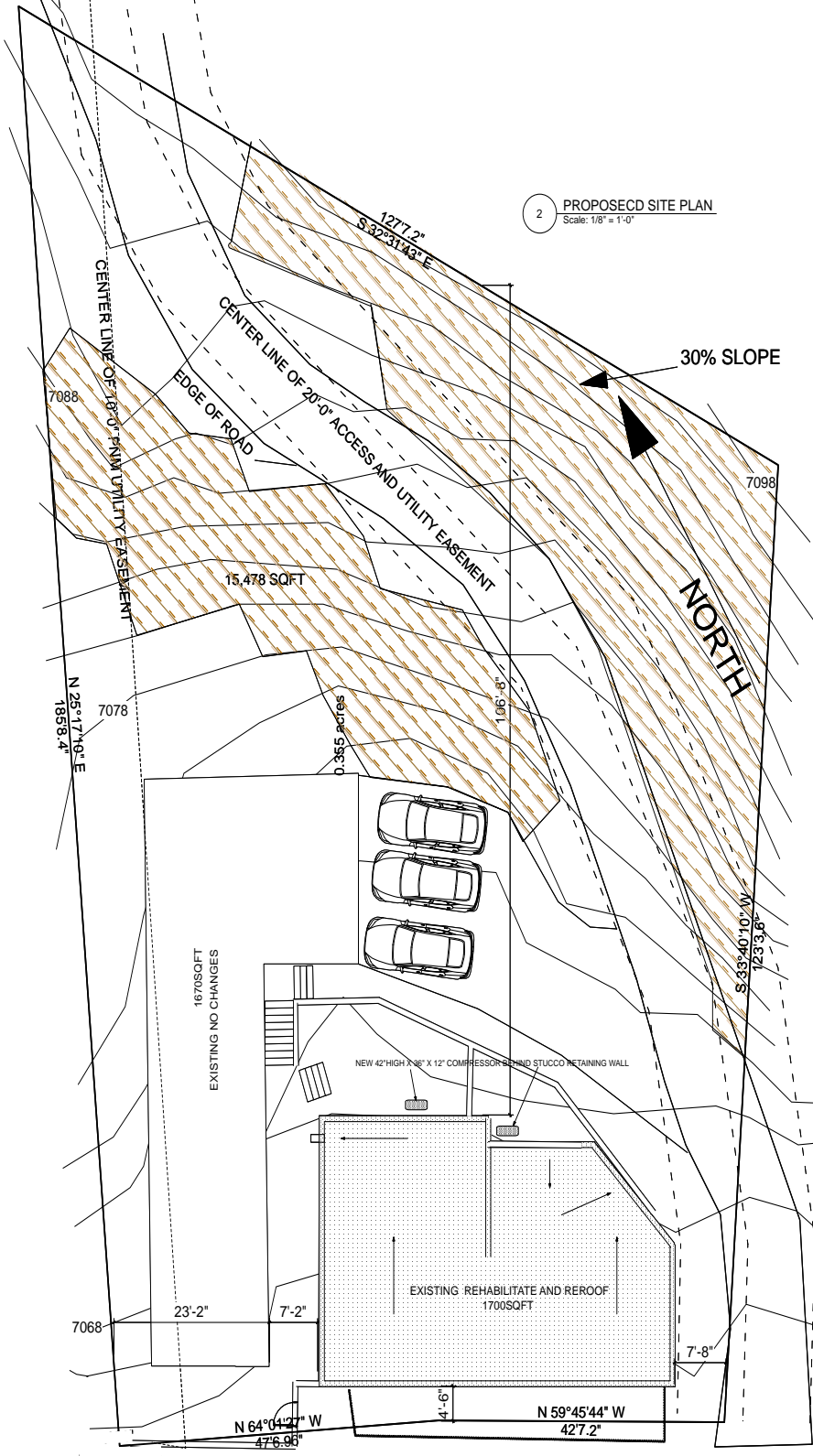
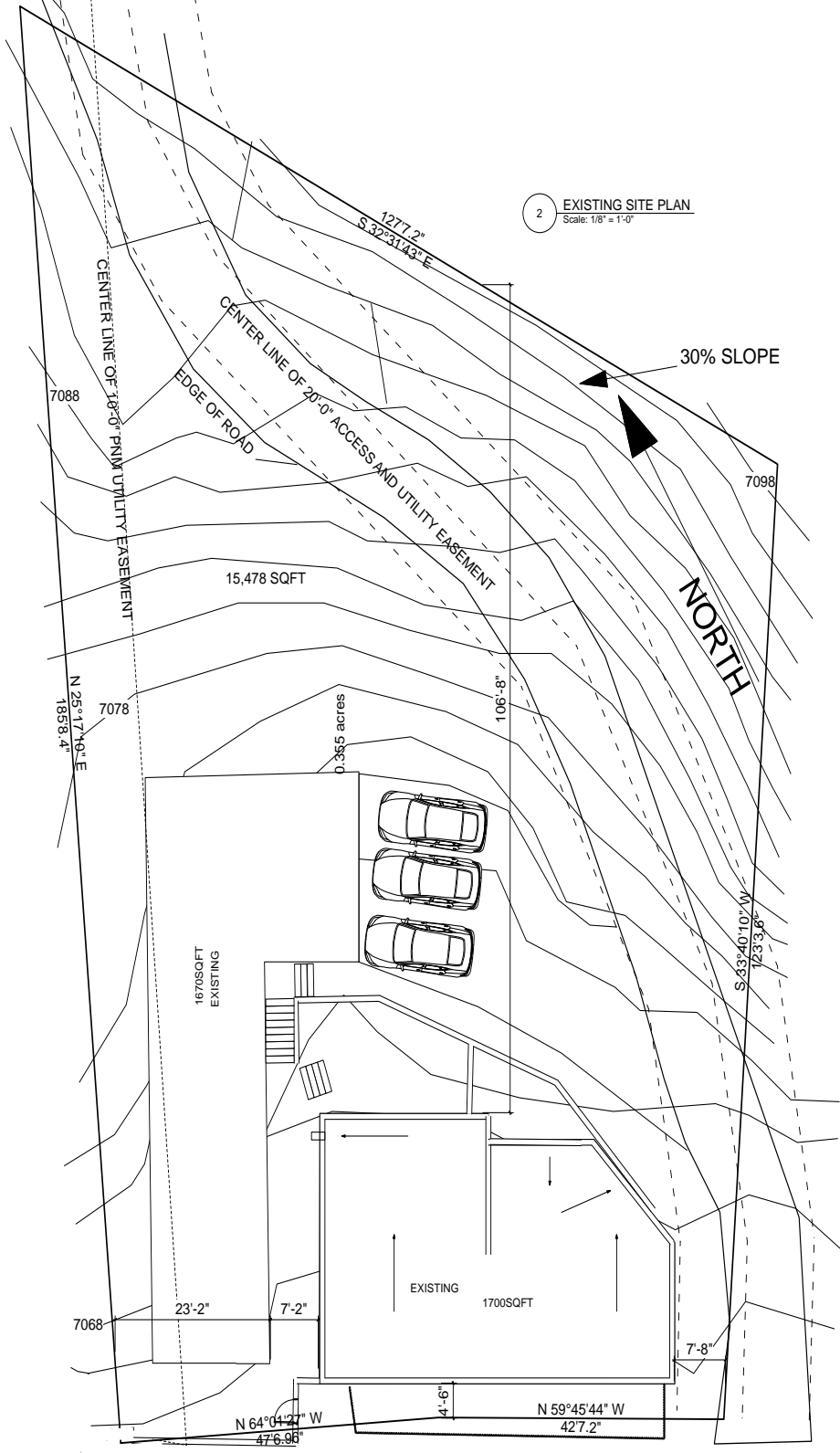


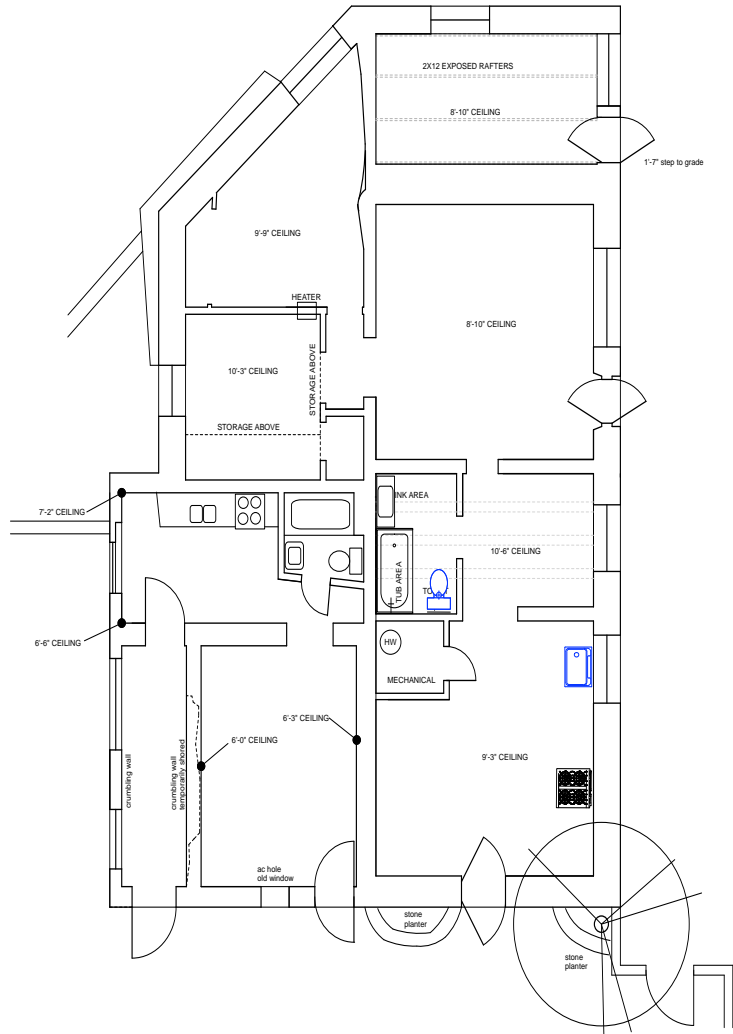
Pella Clad Color Brown (portobello)



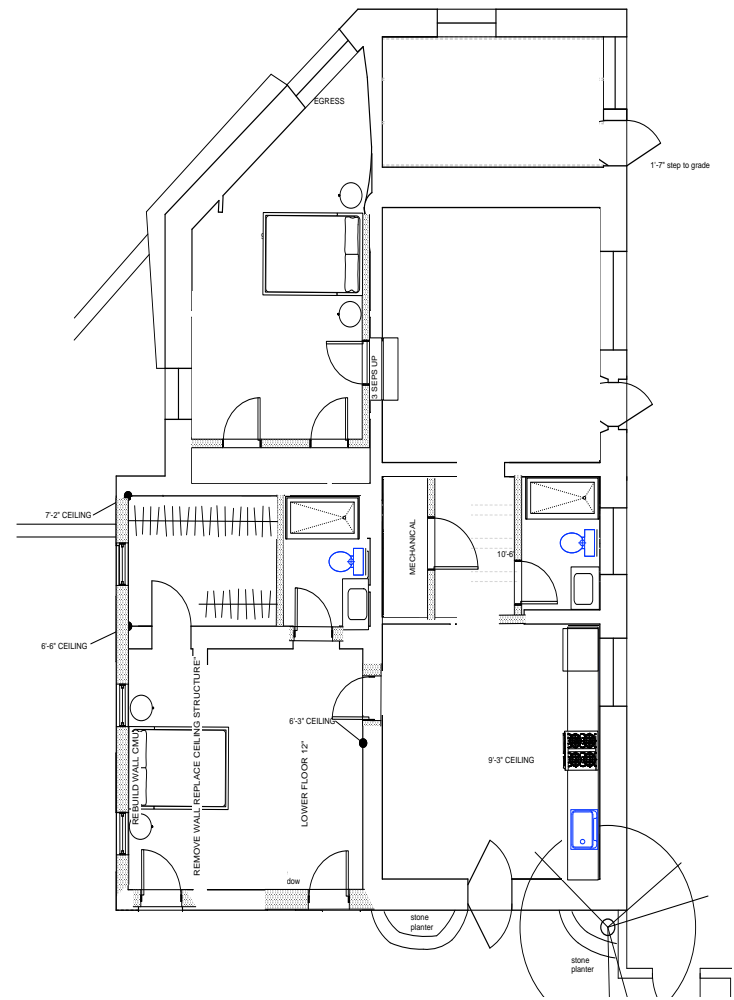
Door Color Blue (Sherwin Williams Azure Tide)



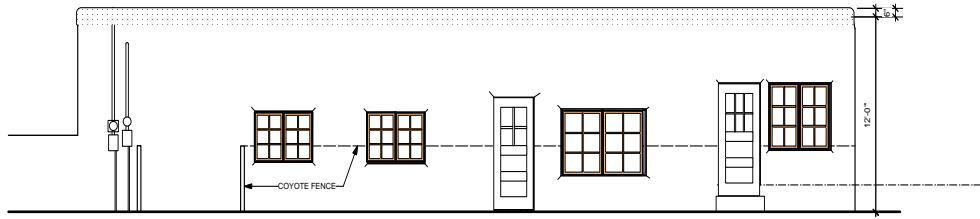




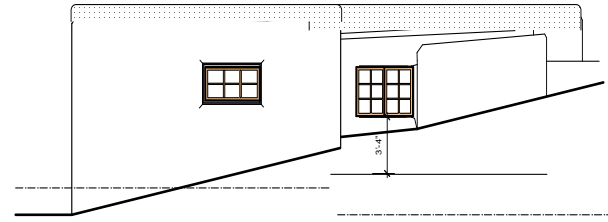
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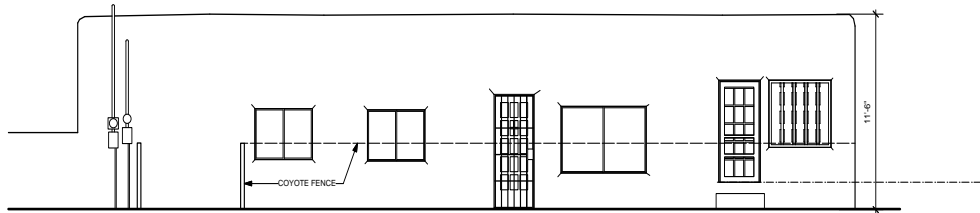
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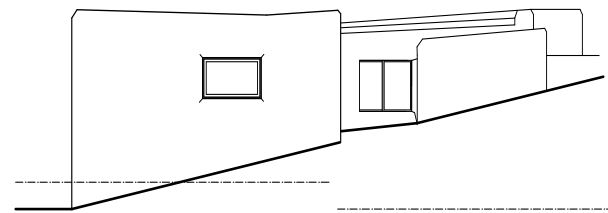
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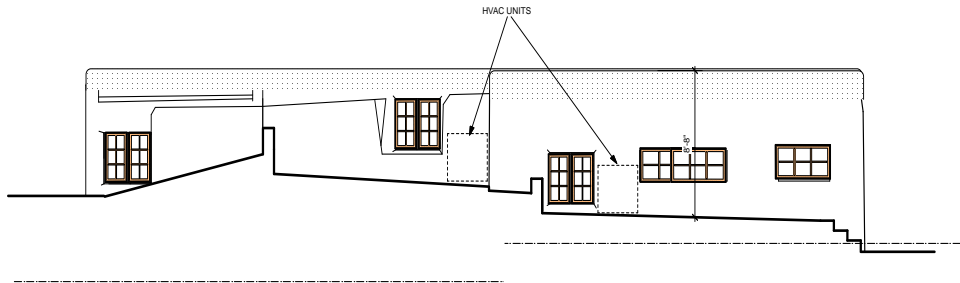
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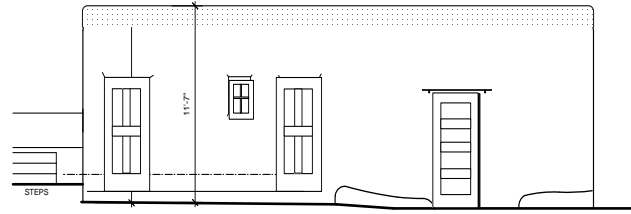
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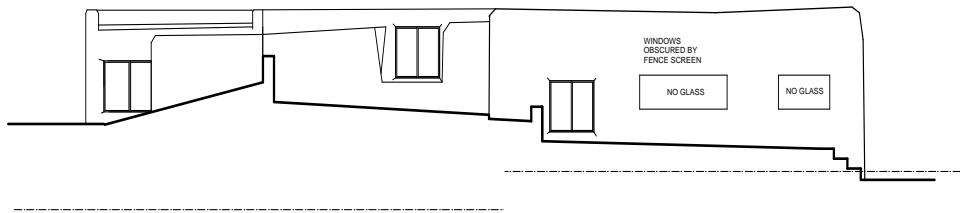
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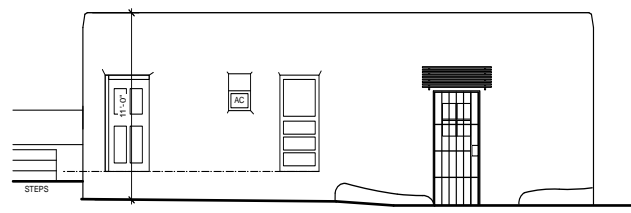
2 NORTH PROPOSED ELEVATIONS
Scale: 1/4" = 1'-0"



2 WEST PROPOSED ELEVATIONS
Scale: 1/4" = 1'-0"



2 NORTH EXISTING ELEVATIONS
Scale: 1/4" = 1'-0"



2 WEST EXISTING ELEVATIONS
Scale: 1/4" = 1'-0"



367 HILLSIDE WEST ELEVATION



367 HILLSIDE NORTH ELEVATION



367 HILLSIDE SOUTH ELEVATION



367 HILLSIDE EAST ELEVATION





CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-007490-HDRB. 1120 E. Alameda St. Downtown & Eastside Historic District. Contributing. Architectural Alliance, LLC, agent for Sam Gerberding and Amanda Crocker, owners, proposes to construct a 118 sq. ft. bedroom addition, a 431 sq. ft. portal, demolition of a portion of a wall on a non-primary façade, and relocate the gate and fence.

Case number: 2023-007490-HDRB
Project Type: Status Review

PROJECT LOCATION (S): 1120 E. Alameda St.

PROJECT NAMES:

OW – Sam Gerberding and Amanda Crocker, 1120 E. Alameda St., Santa Fe, New Mexico 87501
505-603-4721 gm@innofthegovernors.com

AP – Jason Herrera, 612 Old Santa Fe Trail Santa Fe, New Mexico 87505
505-988-5269 www.archallinc.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____NA_____

YEAR OF CONSTRUCTION _____1936_____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED

Residential **X**

Non-Residential

HISTORIC BUILDING NAME

Marie DeVille House

City of Santa Fe, New Mexico

memo

DATE: December 12, 2023
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

2023-007490-HDRB. 1120 E. Alameda St. Downtown and Eastside Historic District. Contributing. Architectural Alliance, LLC, agent for Sam Gerberding and Amanda Crocker, owner, requests approval for a 118 sq. ft. addition to a primary façade, a 431 sq. ft. portal on the south elevation, relocate an existing gate and coyote fence, stucco new addition with cementitious stucco in “Desert Rose” to match existing, new windows, doors, and paint with turquoise to match existing wood trim. An exception is requested to section 14-5.2(D)(2)(d) to construct an addition within 10’ of a primary facade.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1120 E. Alameda St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District with the north and east facades designated as primary. The main structure was built around 1930 on a 0.2-acre lot. The structure initially encompassed approximately 1,470-square feet which includes a bedroom, a bathroom, and other open spaces. The house is characteristically designed in the quint essential Santa Fe vernacular style constructed with adobe brick and is rectangular in shape with a corrugated steel roof. The house also has a cellar which is accessed from the interior. The house and cellar are finished in cementitious stucco and display mixtures of fenestration.

The structure was initially used in the early to mid-1930's as identified on aerial maps as an agricultural field house. It has been noted by previous homeowners that there were no utilities installed in the structure until the 1950's. The house was owned by several renowned artists in the Southwest. The house underwent several remodels throughout time with the installation of utilities, a cellar (unknown when it was built), and roof repair. A high wall separates the residence from the park on the north, east, and west elevations and a coyote fence on the south elevation. Material of the wall is unknown however is covered by cementitious stucco.

Previous HDRB cases include:

- 1) 2023-006569-HDRB. On April 25, 2023, the HDRB designated the structure as contributing to the Downtown and Eastside Historic District and designated the north and the east as the primary facades.

Now, the applicant proposes the following exterior alterations:

- 1) Adding a 118-square foot bedroom addition on south elevation.
- 2) The addition will be 10'-6" in height and will match the pitch of the roof at that location of the existing roof.
- 3) Adding a 431-square foot portal on the south elevation. The portal will be 10'-6" in height and will match the pitch of the roof at that location of the existing roof. Posts and exposed beams at portal will have a linseed oil finish.
- 4) Relocate an existing gate and coyote fence on the eastern edge of the property.
- 5) The stucco on the new addition will be El Rey stucco color "Desert Rose" to match the existing color.
- 6) Adding (2) new wood interior/wood exterior 3'-0" x 4'-0" divided light windows on the south elevation of addition.
- 7) Adding (1) new wood interior/wood exterior 5'-0" x 4'-0" divided light window on the east elevation of addition.
- 8) Adding (1) new 6'-8" x 2'-10" wood door on south elevation of new addition.
- 9) Wood trim color on new addition to be turquoise to match existing wood trim on existing residence.

Exception Requested: Build partially within the setback adjacent to a designated primary facade

The following exception will address the criteria set forth in Historic Districts 14.5.2 (C)(5)(b) and Historic Landmarks, Design Standards.

- (i) Do not damage the character of the streetscape

Applicant Response: The primary addition is on a non-primary elevation and the extension of a small existing room. Its public visibility is minimal at best and probably can't be seen from the public way. For these reasons the addition will not damage the character of the streetscape.

Staff Response: Staff believes the addition to the east façade extending to the south does not damage the character of the streetscape or the primary façade. It allows for growth to the property and the residents who reside there.

- (ii) Prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: If we can't extend the small existing room, we cannot create a bedroom for the owner's son. This would be a hardship as an addition somewhere else would not be possible.

Staff Response: Staff understands the concerns of the residents and believes the 118' square foot addition will allow the space necessary for their family. The 118' square foot addition is less than 50 percent of the historic footprint and is in keeping with the code.

- (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: The proposed small addition of 118 SF to the house will be in the style of the existing home which is vernacular which was confirmed by the HDRB. Our addition, which shares the vernacular style, will strengthen the unique heterogenous character of the streetscape.

Staff Response: Staff believes the addition will not adversely impact the Historic Downtown and Eastside Historic District. The design compliments the current house thoughtfully and gives the house the needed space for the residents to grow.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and

material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

(a) Each structure to be recognized as a physical record of its time, place, and use.

Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;

(b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;

(c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and

(d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except

to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:


- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under

- portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date: February 10, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Marie DeVile House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe Parcel # 10662900
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: 1 <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: January 24, 2023		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input checked="" type="checkbox"/> No:		
8. Name of Project: HDRB Status Review		
9. Lat/Long: 35.679934, -105.919029		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east elevation (public view), facing southeast.		
11. Brief Description of the Property: Possibly originally an agricultural structure, the current dwelling encloses roughly 1,470 square feet which includes a bedroom, a bathroom, and other necessary spaces. Built of adobe, it is rectangular in plan and capped with a shed roof. This roof has a low, almost imperceptible gabled crimp with different roof pitches at its north exposure. The roof extends over the walls on rafters and is trimmed with wide fascia board, giving it a pronounced modern look. The house sits over a rubblestone cellar accessed from the interior. It is finished with cementitious stucco and displays an odd mixture of fenestration.		
Continued on Page 5.		
12. Who uses the property? Residence		
13. Construction Date: Date: Before 1959 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: city directories and aerial photographs		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
 John@archhistoryservices.com
 w/ Giulia Caporuscio

For: Current owner: Amanda Crocker and Sam Gerberding

18. Owner (if known) and other knowledgeable people:

Current owner: Amanda Crocker and Sam Gerberding

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status: house and wall
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP	SRCP	Criteria	A B C D
1. Name of property: Marie DeVile House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID # N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:	7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input checked="" type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed <input type="checkbox"/> Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: Tri-ply built up membrane <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:
--	---

10. Window Types

Operation	Material	Glazing	Number
Single-Hung	Wood	1/1	1
Casement	Wood	4	1
Casement	Wood	6	1
Casement	Wood	12	1
Sliding	Wood	2-4 sash	2
Sliding	Wood	2-8 sash	3
Fixed	Wood	9	2
Fixed	Wood	Multiple – Sun Room	1

Note: Based on visibility and access during survey

11. Door Types

Type	Style	Material	Number
Single-Leaf	3/4-Glass	Wood	1
Single-Leaf	“Territorial”	Wood	1

12. Chimneys N/A
 One, interior roof

13. Porches N/A
 Type: Entry Partial-Width Full-Width Wrap

14. Other Significant Features N/A

15. Modifications: No known modifications

#1 Date: Unknown; probable change of roof form, additions to south elevation; visual and physical evidence

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: No Style/Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

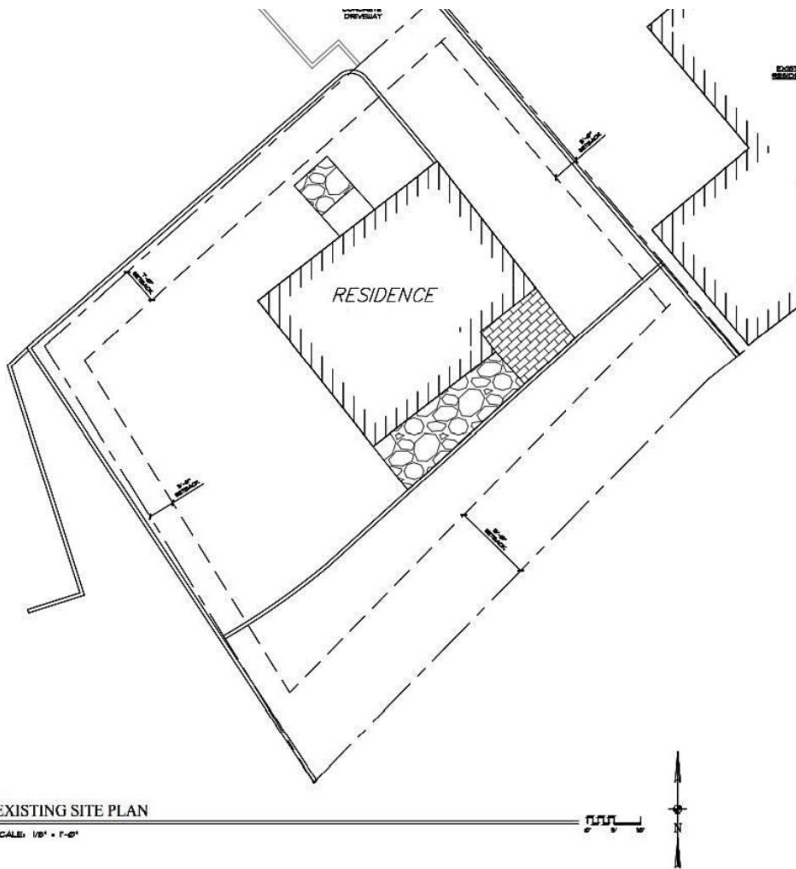
Archaeological Records Management Section
Laboratory of Anthropology
708 Camino Lejo
Santa Fe, NM 87501
(505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Existing Site Plan, courtesy Architectural Alliance



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Architectural Description Continued

Setting

Although this little adobe building surrounded by a high wall is approached by driving over a bridge and through Monsignor Patrick Smith Park, it predates the recreation area. The parcel holding the house actually lies between the Acequia Madre and the park.

Historically the area was farmed by the Vigil family (descendants of Simon Vigil Sr.¹) and appeared on the 1914-19 hydrographic map as plowed ground without buildings (Figure 1). Development occurred on the south side of the acequia with adobe homes lining the ditch.

The tract of relict farmland proved desirable for a recreational area, and the City of Santa Fe first improved it as a playfield called Canyon Road Park. Beginning in the late 1960s, using federal grant monies, more intense development occurred with the installation of a sprinkler system, paved parking, and playground equipment. Around this time, the park was named after Patrick Glynn Smith, a pastor at Cristo Rey Church.

North

Its principal façade faces northwest and is obscured from the public by a high privacy wall separating the house from the park. The flat façade has a few openings of no particular pattern (Photo 2). They consist of a small door west of the roof peak and three windows of different sizes and operations. The largest is a fixed nine-light wood unit placed near the east end. The remaining two windows are wood casements of different light configurations. The narrow wood door has obscure glass and looks something like an office door from the 1910s. It is set deep in the wall and framed by a turquoise-painted surround (Photo 3).

¹ Vigil, a Civil War veteran and politician, owned extensive land along Canyon Road and operated a dance hall on the same street.

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West

The same sizeable nine-light window repeats along the west elevation, another irregularly fenestrated wall marked with a bump-out under a separate roof (Photos 5-6).

South

The south elevation, facing the old Acequia Madre, has two projections sitting under different roofs (Photos 7 & 8). The west section — holding a reading room, closet, and bathroom — has wood casements and sliding units set into the wall (Photo 9). The taller holds a former sunroom at the southeast corner with a bank of glazing resting on a low wall (Photo 8). A “Territorial” door (a wood unit with two arched glass panels) stands at its center (Photo 10).

East

The east elevation, the side of the building visible to the public, is a solid wall penetrated once with a strip of sliding wood windows (Photo 11).

Wall

The tall perimeter is of recent vintage, meant to separate the house from the park (Photo 12).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Historical Overview

The first indication of the house appears in the 1959 city directory, placing it under the ownership of Mark and Marie Gross.² They soon divorced, and Marie Gross has the strongest historical association with the house.

Marie Gross was born on July 31, 1923, in Nevada County, California, as Marie DeVille. Her father, Edwin George DeVille, was an artist who supported himself as a sign painter. The Wisconsin-born artist had studied with famed Western painter Charles M. Russell in Montana and had worked for a time painting for Hollywood studios.³

Her mother, Mae Allendale, grew up on a ranch in California. Both were attracted to the Southwest, moving to the region in the late 1920s to paint. Edwin later went by E. George deVille.

He and Mae painted scenes of desert landscapes and Native Americans. They lived as itinerants, with the 1930 census recording them residing in a Route 66 tourist court in Gallup.⁴ They had hoped to sell their oil paintings, but in the throes of the Great Depression, no one was buying.⁵ During this challenging period, the couple did odd jobs, creating temporary signage for grocery stores and other non-celebrated work.

Observing traditional Navajo sandpainters, Mae hit on the idea of making the art form permanent. She experimented with techniques, and started using a transparent liquid adhesive to fix the sand.⁶ The idea was simple but revolutionary, launching a new medium used by Anglos and Native Americans to this day.

² Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1959 (El Paso: Hudspeth Directory Company, 1959), 7.

³ Nancy J. Parezo, *Navajo Sandpaintings: From Religious Act to Commercial Art* (Tucson: University of Arizona Press, 1983), 101.

⁴ U.S. Census Bureau, Year: 1930, Census Place: Gallup, McKinley, New Mexico; Page: 10B; Enumeration District: 0004; FHL microfilm: 2341131.

⁵ G. Carpenter Baker, "They Borrowed Their Art from the Ancients," *Desert Magazine* (November 1940), 11.

⁶ Parezo, *Navajo Sandpaintings: From Religious Act to Commercial Art*, 101-102.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Mae recreated Navajo designs using pieces of cinnabar, azurite, lapis lazuli, and other minerals she ground down by hand. Her husband, who was initially dubious of the method, soon employed it to “paint” landscapes and even created an elaborate scene of the Last Supper. The work became so popular that Paramount Studios released a short film in 1939 highlighting it (Figure 2).

Marie grew up in this environment, tagging along with her parents as they produced sandpaintings to sell at the Painted Desert and other tourist spots along Route 66. But she, herself, claimed to have no artistic proclivity.⁷ At seventeen, she won the “Miss Gallup of 1940” beauty contest;⁸ her parents divorced the same year.

Six years later, Marie married the manager of a small trucking business based out of St. Johns, Arizona.⁹ This marriage was short-lived, with Marie getting hitched again a few years later to Mark Gross. Gross worked for his family (Gross, Kelly & Company) at their Gallup location. He later became a salesman for the Bernard Food Company, moving the couple to Las Vegas, New Mexico.

They relocated to Santa Fe in the 1950s, likely purchasing the subject property around the time it first appeared in the city directory. Their marriage didn’t last long, and Marie soon lived on the property alone. She worked for the Lyle Watkins Adjustment Company on West San Francisco Street. Newspaper accounts show that she was robbed at least once and, in 1968, complained to the police about noise coming from the park.¹⁰

Marie married for a third time in 1969, exchanging vows with Don Varenhorst, a Chicago native and a state highway department employee. They lived in the East Alameda house for a short time, but, as recalled by the next owner, the proximity of the park drove them away.¹¹ They bought a piece of land together at Sunlit Hills, building a new house by hand — along with friends and a small crew — working on it during weekends.¹² In

⁷ Donald Varenhorst, telephone conversation with John W. Murphey, February 7, 2023. Varenhorst is Marie’s third husband, and lives in Farmington, New Mexico.

⁸ “Miss DeVille is 1940 Beauty Queen,” *Gallup Independent*, August 30, 1940, 7.

⁹ “Waite-DeVille,” *Gallup Independent*, October 8, 1946, 4.

¹⁰ “Santa Fe Today: Police Blotter,” *Santa Fe New Mexican*, June 27, 1968, 11.

¹¹ Alex Crocker, telephone conversation with John W. Murphey, February 3, 2023. Crocker is the home’s previous owner, buying the house in c.1974.

¹² Varenhorst, telephone conversation with John W. Murphey.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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1973, they moved to Chama, where they managed the Spruce Lodge for some years. Marie died five years ago; Don is 85 and lives in Farmington.

Origin of House

The address, 1120 East Alameda, first appears in city directories in the late 1950s. This is not unusual in Santa Fe, as dwellings were sometimes given new addresses or even different street locations as the city changed. However, reviewing city directories from the 1940s to the 1950s, the house does not connect with a proximate Canyon Road address as a “rear” or “back” dwelling. Nor does it associate with a house across the Alameda.

The house — or perhaps an earlier agricultural structure — seems to show on a 1936 Soil Conservation Service aerial and again on a flyover from 1948 (Figures 3 & 4). From the aerials, it stands in isolation with no apparent site development or trees. Marie’s third husband recalled that it originally had no water or sewer connection, supporting the hunch that it may have been formerly a non-residential structure.¹³

Additionally, the second-to-last owner heard that its cellar had been used historically to process grapes.¹⁴ While each piece of information is inconclusive, a tentative conclusion may be drawn that the building didn’t become a dwelling until the late 1950s.

¹³ Ibid.

¹⁴ Crocker, telephone conversation with John W. Murphey.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Evaluation of Historical Status

The origin of the building is obscure; it is indisputable, however, that a dwelling addressed 1120 East Alameda stood here in the late 1950s.

Its architecture seems primitive and does not adhere to a recognized Santa Fe style. With its south side consistently obscured by trees in aerials, it is impossible to understand when the additions came about. Sitting under different roofs, they are likely not part of the original adobe structure.

For these reasons, the recommendation is to designate the house and wall Noncontributing structures to the Downtown and Eastside Historic District.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Illustrations

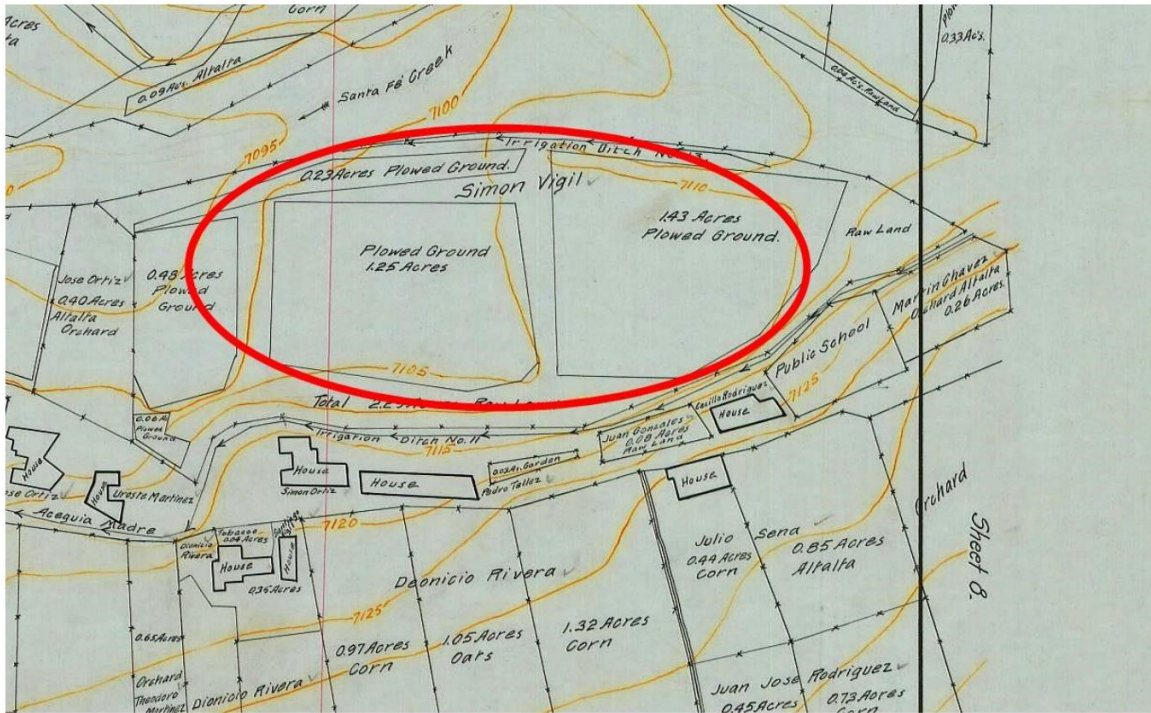


Figure 1: Showing location of future Monsignor Patrick Smith Park.
 Source: State Engineer's Office, "Santa Fe Hydrographic Survey," [series of maps]
 (Santa Fe: State Engineer's Office, 1914 (1919), Sheet 9.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Figure 2: Images clipped from 1939 short film of Mae Allendale working on sandpainting.

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**Figure 3: c.1936, Santa Fe County, #1009.
Soil Conservation Service.
Building circled.
Note fields at west still under cultivation.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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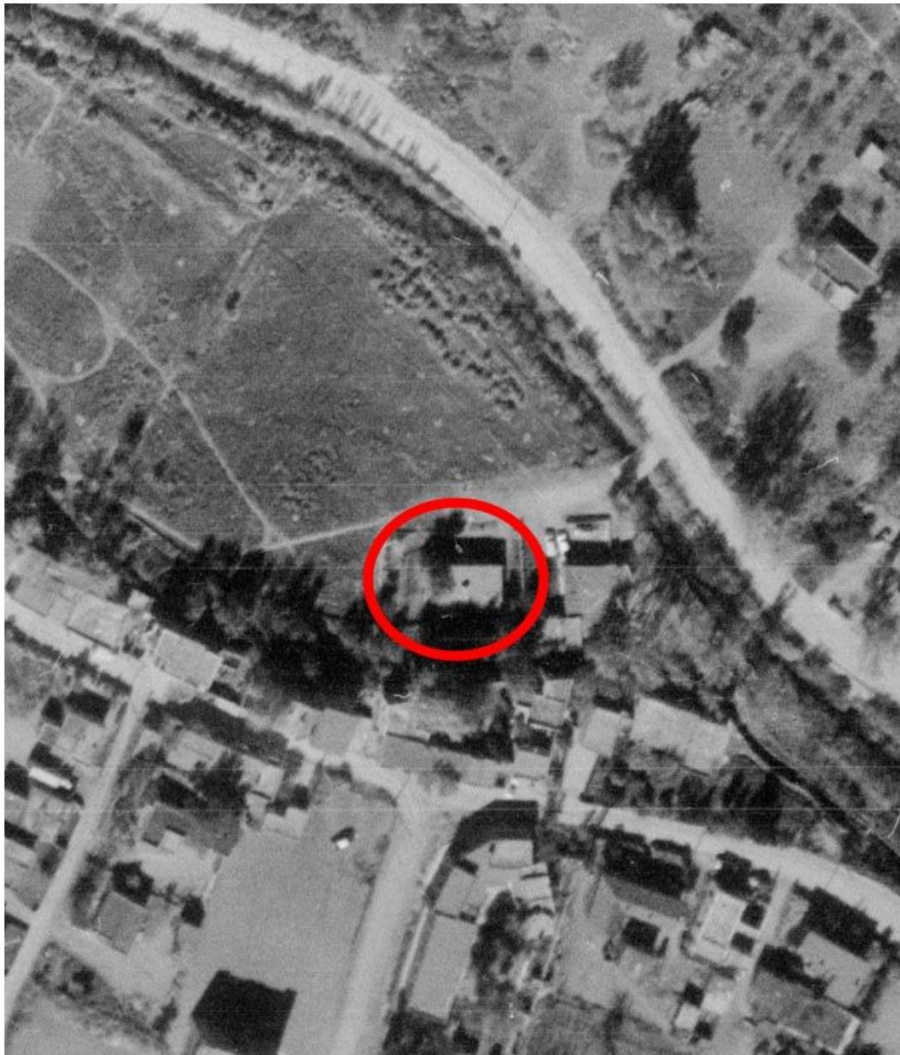


**Figure 4: October 25, 1948, aerial photograph.
Building circled.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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**Figure 5: November 10, 1958, aerial photograph.
Building circled.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Figure 6: May 11, 1973, aerial photograph.
Building circled.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Survey Photographs

(All images taken by Giulia Caporuscio, January 24, 2023, unless otherwise noted)



Photo 2: Front (north) façade. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 3: Front door. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 4: North and partial west elevations. Camera facing southeast.

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		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 5: West elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 6: West elevation. Example of nine-light window. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 7: South elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 8: South elevation. Sun Room at right. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 9: South elevation. West section. Windows. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 10: South elevation. Sun Room. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 11: East elevation. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Marie DeVille House	2. Location: 1120 East Alameda Street Downtown and Eastside Historic District Santa Fe	3. Local Reference # Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: January 24, 2023			



Photo 12: Perimeter Wall. Camera facing northwest.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted:	1120 East Alameda, Santa Fe, NM, 87501
Property Owner of Record: Sam Gerberding & Amanda Crocker	Proposed Construction Description:
Applicant/Agent Name: Amanda Crocker	Addition of bedroom and bathroom
Contact Person Phone Number: (505) 920 5044	TOTAL ROOF AREA: 1,724 sq. ft.
Zoning District: <u>Historic East Side</u>	Lot Coverage: <u>18</u> % Open Space Required: <u>40</u> %
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: <u>7/20</u> Minimum: <u>7/20</u> 2 nd Front? _____ Proposed Rear: <u>15</u> Minimum: <u>15</u> Proposed Sides: L <u>5</u> R <u>5</u> Minimum: <u>5</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record .. Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>10'-9"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed <u>N/A</u> Accessible _____ Minimum: <u>2</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: <u>N/A</u> Minimum: <u>N/A</u> ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes <u>NA</u>	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Jason Herrera [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE [Signature] DATE 11/17/22

To Be Completed By City Staff:	
<u>Additional Agency Review if Applicable:</u>	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>Stephanie Perea</u>	DATE: <u>11/30/22</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet. <u>2022-006163-PAR</u>	



November 20, 2023

VIA HAND DELIVERY

City of Santa Fe
Historic District Review Board
200 Lincoln
Santa Fe, NM 87501
Attn: To whom it may concern

RE: 1120 E. Alameda – Proposed new 118 SF addition on designated primary facade

Reference # 2023-006569-HDRB

The purpose of this application is to address the following items.

1. Describe in detail the work being proposed on 1120 E. Alameda
2. Describe how the new addition will have little to no impact on the designated primary façade.

Dear Board Members:

Attached are the documents needed for the board to review an addition to a contributing structure to an existing single-family residence located at 1120 E. Alameda in the historic east side district. We are providing photos and the following list of proposed work on the house. We are requesting an exception to build within the setback adjacent to a designated primary façade.

List of changes include:

- Adding a 118 SF bedroom addition on south elevation.
- The addition will be 10'-6" in height and will match the pitch of the roof at that location of the existing roof.
- Adding a 431 SF portal on the south elevation
- The portal will be 10'-6" in height and will match the pitch of the roof at that location of the existing roof.
- Posts and exposed beams at portal to have a linseed oil finish.
- Relocate an existing gate and coyote fence.
- The stucco on the new addition will be El Rey stucco color Desert Rose to match the existing color.
- Adding (2) new wood interior/wood exterior 3'-0" x 4'-0" windows on the south elevation of addition.

- Adding (1) new wood interior/wood exterior 5'-0" x 4'-0" window on the east elevation of addition.
- Adding (1) new 6'-8" x 2'-10" wood door on south elevation of new addition.
- Wood trim color on new addition to be turquoise to match existing wood trim on existing residence.

Exception Requested – Build partially within the setback adjacent to a designated primary facade

The following exception will address the criteria set forth in Historic Districts 14.5.2 (C)(5)(b) and Historic Landmarks, Design Standards.

(i) Do not damage the character of the streetscape

Response:

The primary addition is on a non-primary elevation and the extension of a small existing room. Its public visibility is minimal at best and probably can't be seen from the public way. For these reasons the addition will not damage the character of the streetscape.

(ii) Prevent a hardship to the applicant or an injury to the public welfare

Response:

If we can't extend the small existing room, we cannot create a bedroom for the owner's son. This would be a hardship as an addition somewhere else would not be possible.

(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response:

The proposed small addition of 118 SF to the house will be in the style of the existing home which is vernacular which was confirmed by the HDRB. Our addition, which shares the vernacular style, will strengthen the unique heterogeneous character of the streetscape.

We have provided the action letter from the board's determination on the building's historical status and primary facade designation and feel we are within the historic codes with this exception to proceed with the following proposed work.

Thank you for your time and review. Please contact us if you have any questions.

Sincerely,



Eric Enfield, AIA
ARCHITECTURAL ALLIANCE, INC.
Cc: Sam and Amanda Gerberding
File



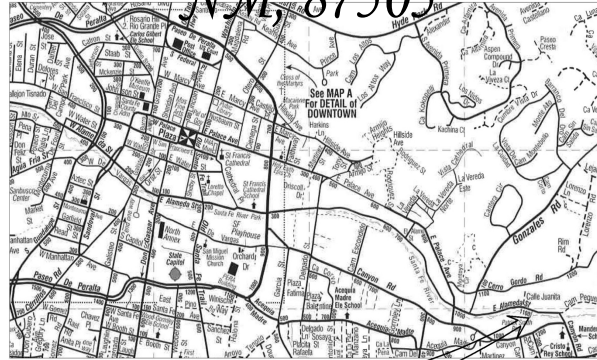
El Rey Stucco Color Desert Rose



Trim color Turquoise to match existing wood trim on primary facades
Historic Districts and Historic Landmarks
Height, Pitch, Scale, Massing, and Floor Stepbacks Exception Criteria

ADDITION TO RESISTIVE FENCE

1120 E. Alameda St.
Santa Fe
NM, 87505



SITE

Building Code Information

2015 IRC SINGLE FAMILY HOME

ZONING: RA-C
CONSTRUCTION TYPE: V-A
HISTORIC DISTRICT: Downtown and Eastside
9,745 SQ. FT.

SETBACKS: FRONT= 7'-0" (20'-0" @ GARAGE FACING STREET)
REAR= SINGLE STORY= 5'-0" @ 15'-0"

PARKING REQUIREMENTS: (2) PER RESIDENCE, (2 PROVIDED) ALLOWABLE

BUILDING HEIGHT: 24'-0"

Drawing Index

- C-0 COVER SHEET
- C-1 EXISTING SITE PLAN
C-2 PROPOSED SITE PLAN
- A-1 EXISTING FLOOR PLAN
A-2 PROPOSED FLOOR PLAN
A-3 EXISTING AND PROPOSED ELEVATIONS
- A-4 EXISTING AND PROPOSED ELEVATIONS

Vicinity Map



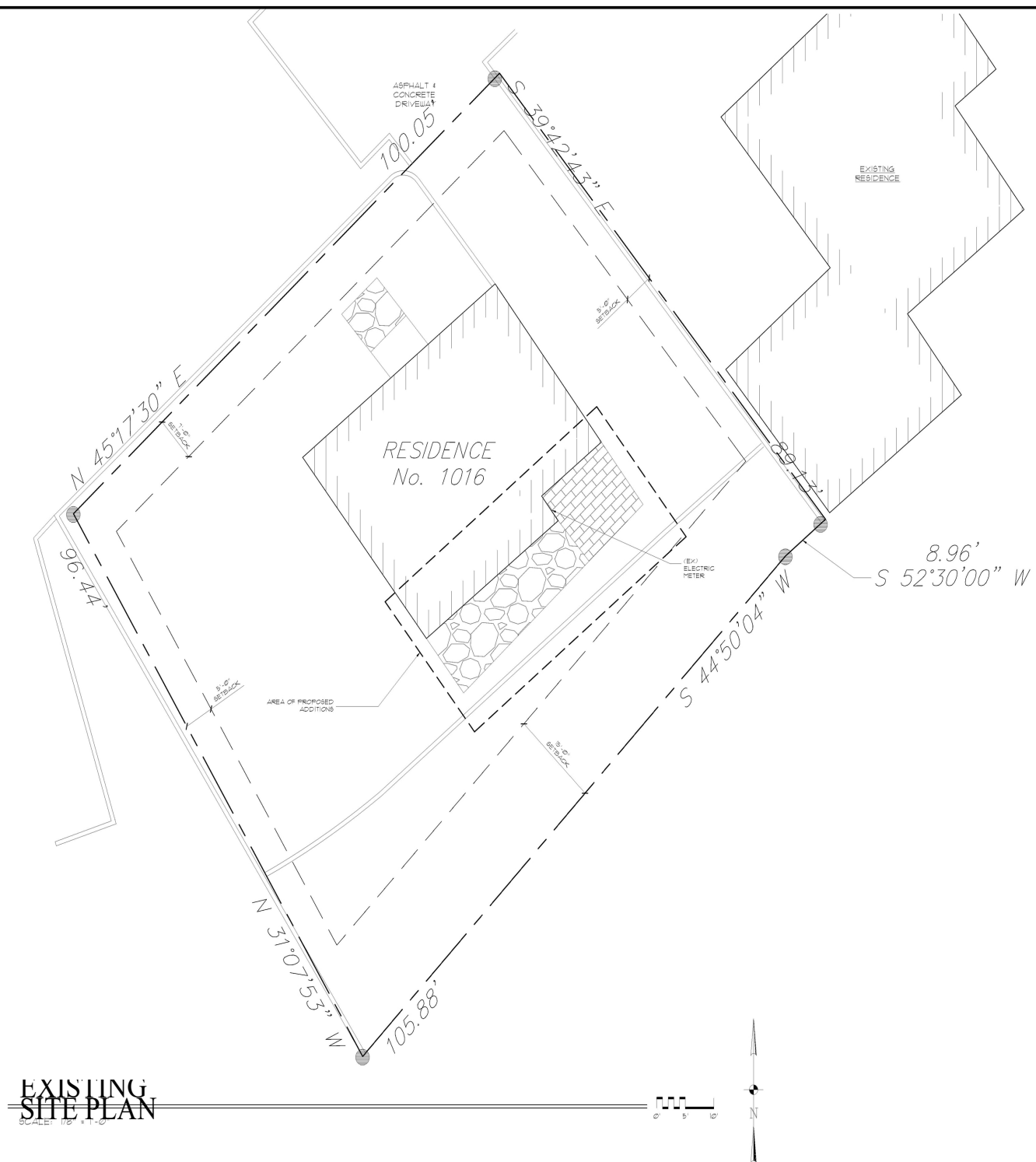
ARCHITECTURAL ALLIANCE LLC
612 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87509
PHONE: 505-988-1988
FAX: 505-988-1989
WEBSITE: www.archallinc.com

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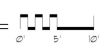
DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT PRIOR TO BEGINNING CONSTRUCTION

HDRB/SCHEMATIC SET
DRAWINGS DATED:
OCTOBER 11, 2023
ARCHITECT'S PROJECT NUMBER 20-17

1120 E. ALAMEDA ST.



**EXISTING
SITE PLAN**



ARCHITECTURAL
ALLIANCE
L.L. NG
612 OLD SAN ANTONIO
FRANKLIN, NEW MEXICO 87505
TEL: 505-865-9888
FAX: 505-865-9888
WEBSITE: www.archalliance.com

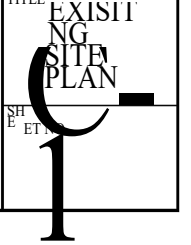
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VERIFY
ALL EXISTING
CONDITIONS AND
DIMENSIONS - NOTIFY
ARCHITECT
IF ANY
DISCREPANCIES ARE NOTICED
OR DISCOVERED DURING THIS PROJECT
OR BEGINNING
CONSTRUCTION

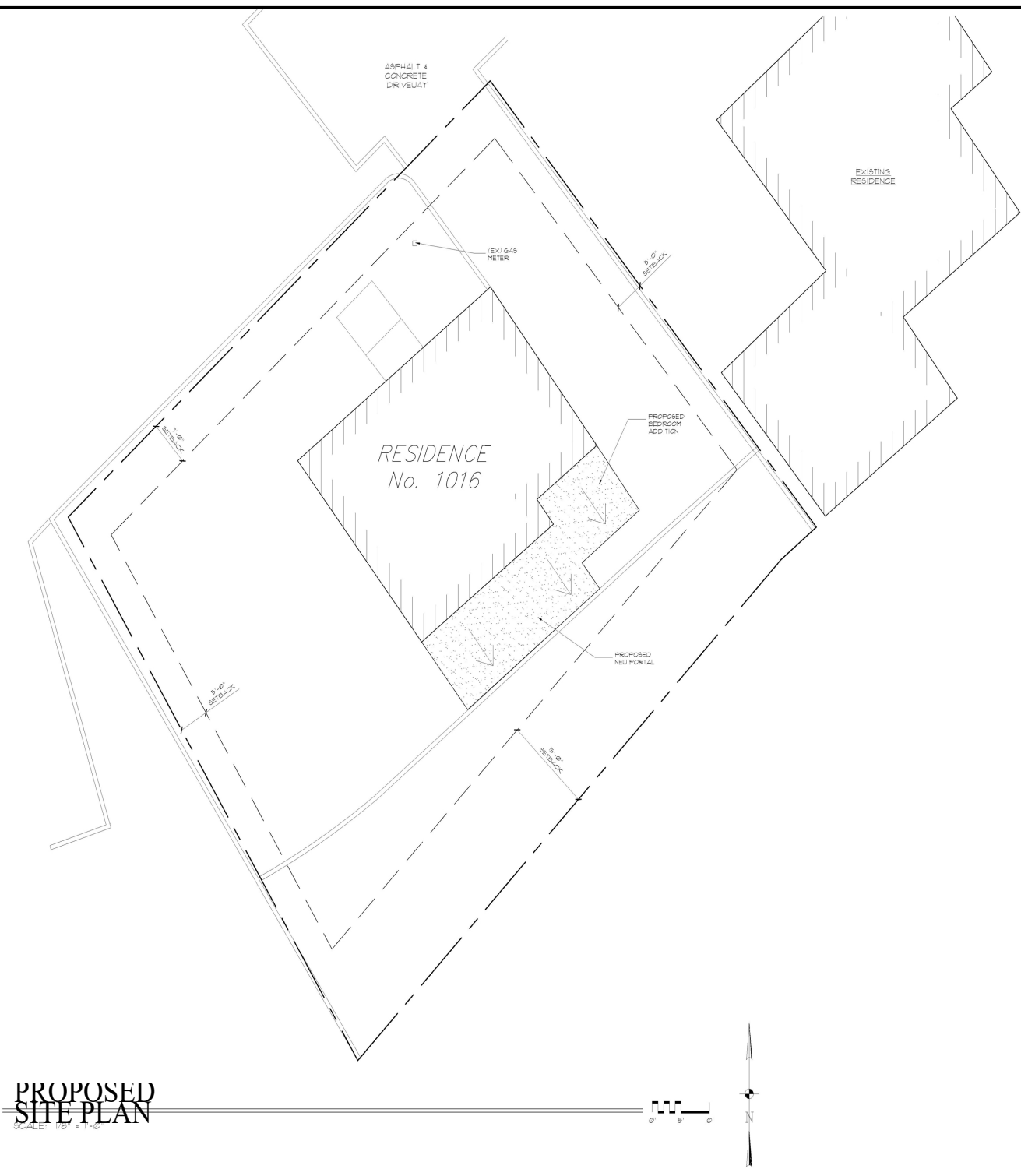
NO.	REVISION/SUBMISSIONS	DATE

PROJECT
TITLE
**ALAMEDA ST.
REMODEL**

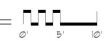
1120 EAST
ALAMEDA ST.
TESUQUE, NM

PROJECT NO.	20-17
CHECKED BY	EE
DATE	03/23/21
DRAWN BY	JH
DATE	03/23/21
SHEET TITLE	EXISTING SITE PLAN





**PROPOSED
SITE PLAN**
SCALE: 1/8" = 1'-0"



ARCHITECTURAL
ALLIANCE
1120 EAST ALAMEDA ST.
TESUQUE, NM 87558
TEL: 505-605-9888
WWW.ARCHALLIANCE.COM

DO NOT SCALE
DRAWING OR TO
VERIFY
ALL EXISTING
CONDITIONS AND
DIMENSIONS- NOTIFY
ARCHITECT
IF ANY DISCREPANCIES
ARE FOUND PRIOR TO
CONSTRUCTION

NO.	REVISION/SUBMISSIONS	DATE

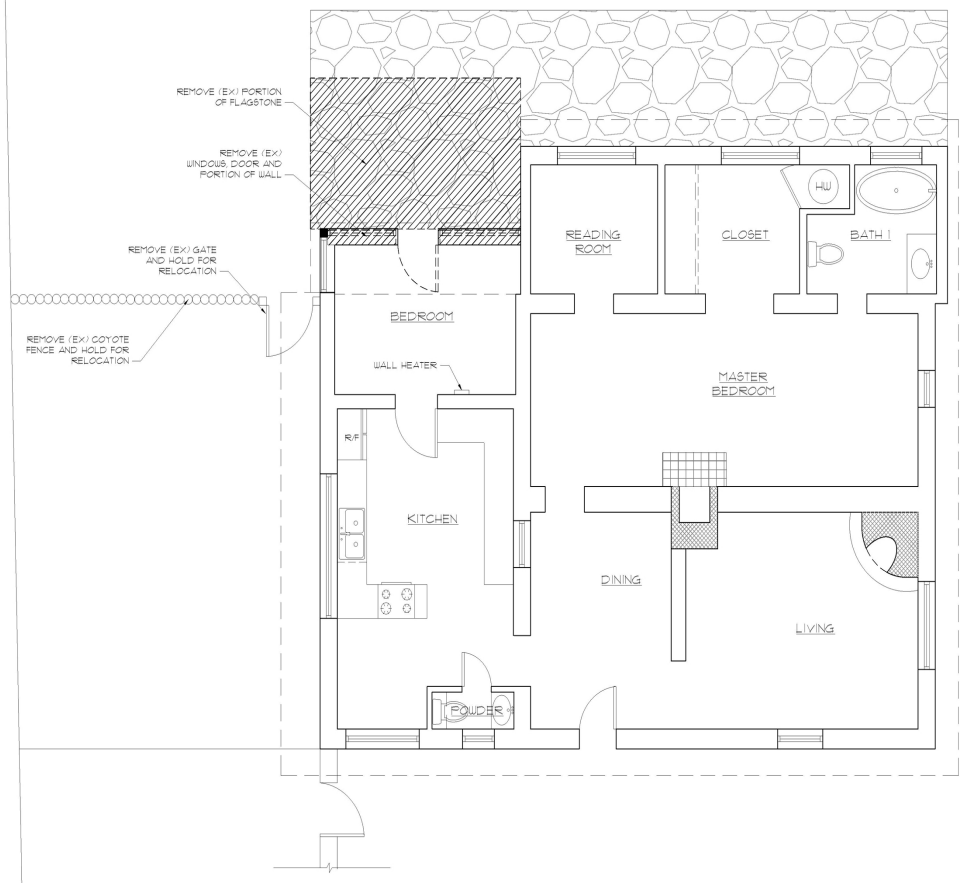
PROJECT
TITLE
**ALAMEDA ST.
REMODEL**

1120 EAST
ALAMEDA ST.
TESUQUE, NM

PROJECT NO.	20-17
CHECKED BY	EE
DATE	03/23/21
DRAWN BY	JH
DATE	03/23/21
SHEET TITLE	PROPOSED SITE PLAN

**PROPOSED
SITE PLAN**
SHEET
2

GENERAL NOTES:
1) PRIOR TO REMOVAL, CONFIRM IF WALLS/OPENINGS ARE LOAD BEARING AND SHORE UP AS REQUIRED.
2) CONFIRM ITEMS TO BE RETAINED OR REUSED PRIOR TO REMOVAL.
4) PRIOR TO BEGINNING DEMOLITION, VERIFY SCOPE WITH OWNER.



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



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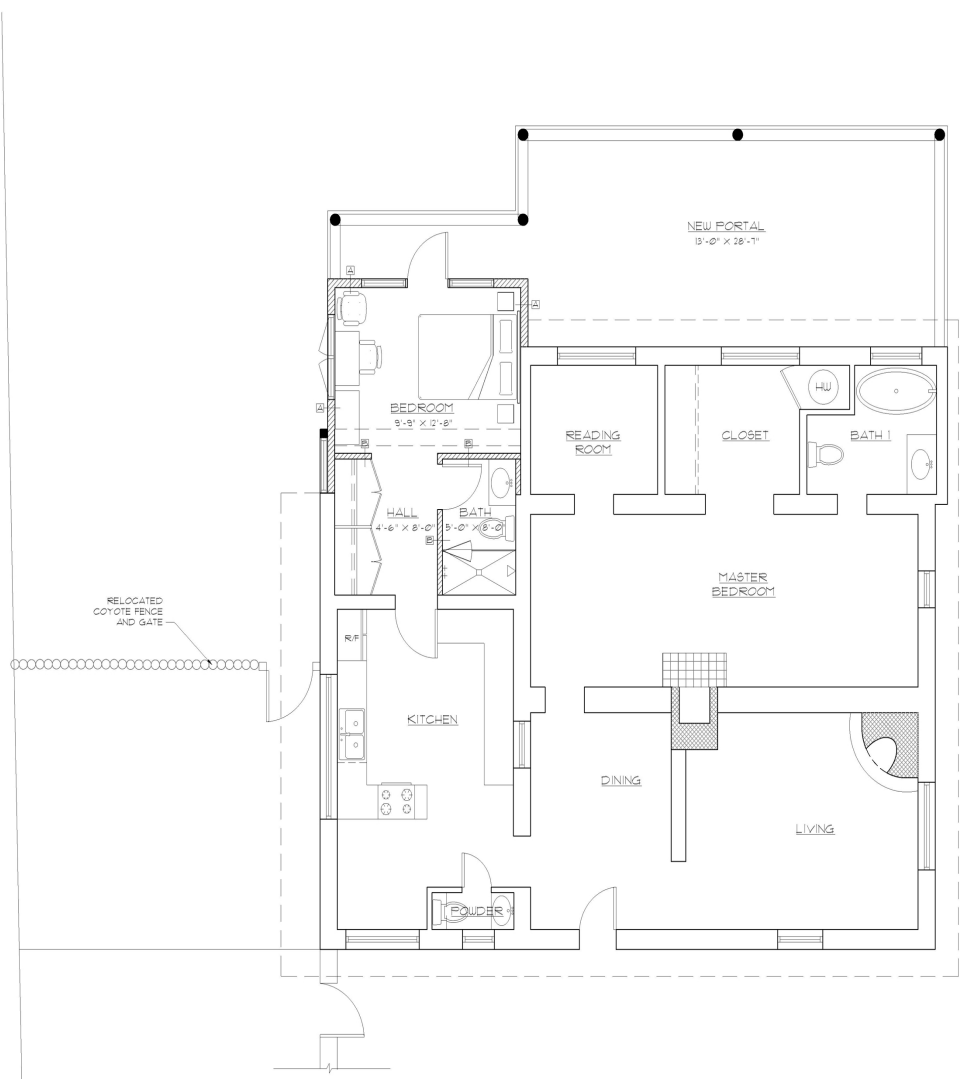
NO.	REVISION/SUBMISSIONS	DATE

PROJECT TITLE
E. ALAMEDA ADDITION

1120 E. ALAMEDA
SANTA FE, NM

PROJECT NO.	20-17
CHECKED BY	EE
DATE	03/23/21
DRAWN BY	JH
DATE	03/23/21
SHEET TITLE	EXISTING FLOOR PLAN

EXISTING FLOOR PLAN
SHEET NO. **1**



SQUARE FOOTAGES:	
(EX) HEATED:	1426 SQ. FT.
PROPOSED HEATED:	118 SQ. FT.
TOTAL HEATED:	1544 SQ. FT.
TOTAL NEW PORTALS:	431 SQ. FT.
TOTAL ROOFED:	1989 SQ. FT.

WALL TYPES:	
▤	2x6 EXTERIOR FRAME WALL
▥	2x4 INTERIOR FRAME WALL
□	EXISTING WALLS
▨	NEW WALLS

PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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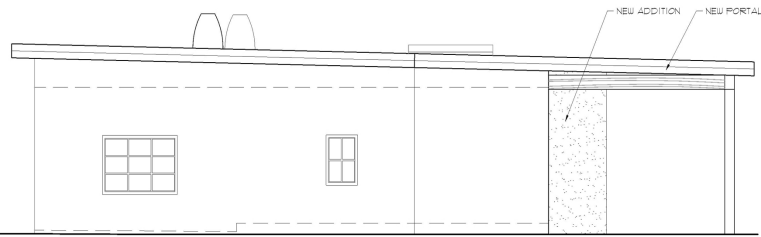
NO.	REVISION/SUBMISSIONS	DATE

PROJECT TITLE
E. ALAMEDA ADDITION

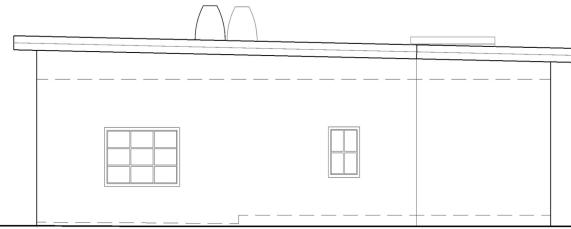
1120 E. ALAMEDA SANTA FE, NM

PROJECT NO.	20-17
CHECKED BY	EE
DRAWN BY	JH
DATE	09/19/23
SHEET TITLE	PROPOSED FLOOR PLAN

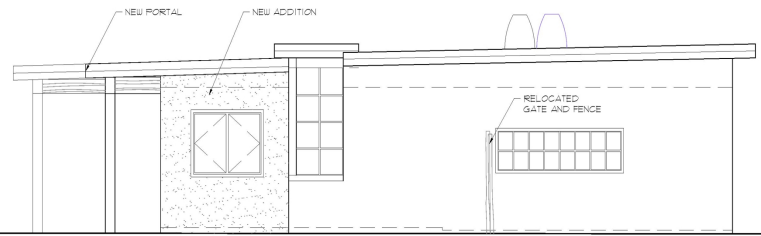
PROPOSED FLOOR PLAN
SHEET NO. **2**



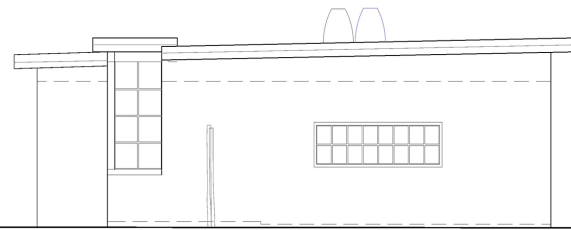
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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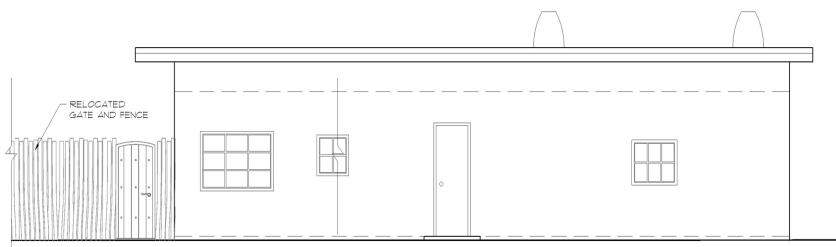
NO.	REVISION/SUBMISSIONS	DATE

PROJECT TITLE
**E. ALAMEDA
DA
ADDITI
ON**

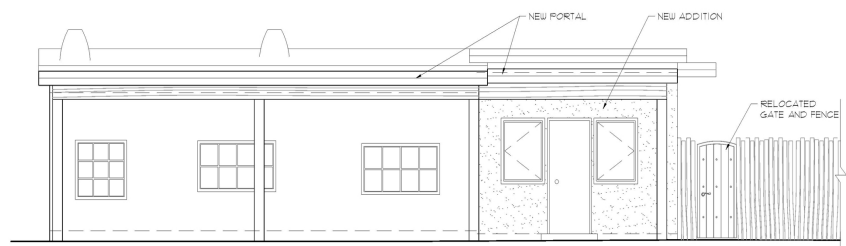
1120 E. ALAMEDA
SANTA FE,
NM

PROJECT NO.	20-17
CHECKED BY	EE
DATE	03/23
DRAWN BY	JH
DATE	03/23
SHEET TITLE	E 21

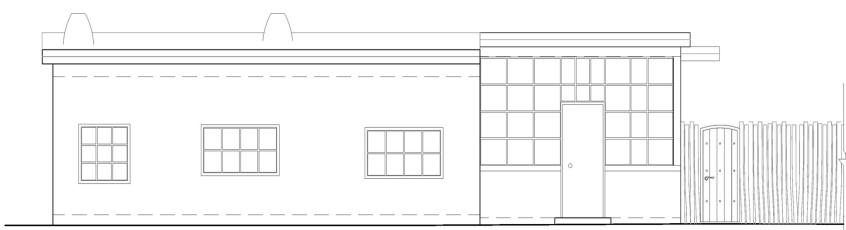
EXISTING AND PROPOSED
ALAMEDA
SANTA FE, NM



EXISTING NORTH
ELEVATION - NO CHANGE
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH
ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH
ELEVATION
SCALE: 1/4" = 1'-0"

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VERIFY
ALL EXISTING
CONDITIONS AND
DIMENSIONS. NOTIFY
ARCHITECT

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NO.	REVISION/SUBMISSIONS	DATE

PROJECT TITLE
**E. ALAMEDA
DA
ADDITI
ON**

1120 E. ALAMEDA
SANTA FE,
NM

PROJECT NO.	20-17
CHECKED BY	EE E 03/23
DRAWN BY	JH E 03/23
SHEET TITLE	E 21

EXISTING
AND
PROPOS
ED
ELEVATIONS

1120 E.
Alameda
Historic Landmark Review
Board Photographs



West
Elevation

ARCHITECTURE
N C I A
LLC
612 OLD SANTA
BARBARA, NEW
MEXICO 87505
Telephone: 505-983-
WEEKS 4814-986-1270
www.architainc.com

1120 E.
Alameda
Historic Landmark Review
Board Photographs



Partial South
Elevation

ARCHITECTURE
ALC LLC
611 OLD SANTA
FE AVENUE, NEW
MEXICO 87505
Telephone: 505-988-
1270
www.archallnc.com



Partial, South
Elevation

ARCHITECTURE
ALAMEDA
LLC
612 OLD SANTA
ANITA ROAD, NEW
MEXICO 87205
Telephone: 505-988-
1297
WEB: www.archallmc.com



Partial East
Elevation

ARCHITECTURE
ALAMEDA
LLC
617 OLD SANTA
SANTA FE AVENUE
MEXICO 87503
PHONE: 505-988-
1270
WWW.ARCHITECTURE.COM



Partial East
Elevation

ARCHITECTURE
ALAMEDA
LLC
612 OLD SANTA
ANTONIO, NEW
MEXICO 87501
Telephone 505-988-
W390R05-986-1270
www.architme.com

1120 E.
Alameda
Historic Alameda Review
Board Photographs



Partial Northeast
Elevation

ARCHITECTURAL
ALVIA
N C L E C
612 OLD SANTA
ANITA DRIVE NEW
MEXICO 87405
Telephone 505-988-
4450
WEB: 505-986-1270
www.archalinc.com

1120 E.
Alameda
Historic Alameda View
Board Photographs



Partial North
Elevation

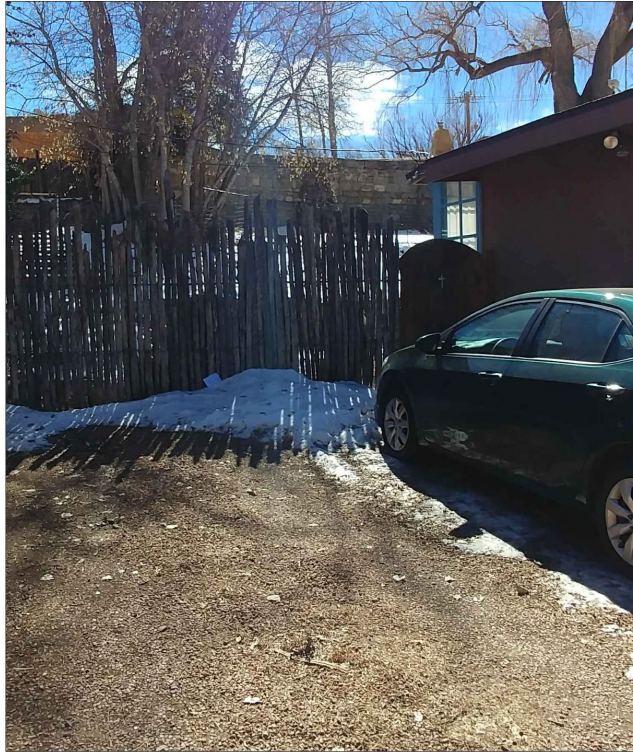
ARCHITECTURAL
N L V I A
N C LLC
612 OLD SANTA
ANITA RD. NEW
MEXICO 87508
Telephone: 505-988-
1454
WEBSITE: 505-988-1270
www.archninc.com

1120 E.
Alameda
Historic Alameda
Board Photographs



Partial Northwest
Elevation

ARCHITECTURE
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N C L E C
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ANITA ROAD NEW
MEXICO 87105
Telephone 505-988-
4454
WEB: 505-986-1270
www.archalinc.com



Existing Fence
and Gate

City of Santa Fe, New Mexico

memo

DATE: December 12, 2023

Historic Districts Review Board Members

FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

Case # 2022-007605-HDRB

Address: 723 Old Santa Fe Trail

Historic Status: not-resurveyed

Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan (from HCPI)

Elevations

Photographs (from HCPI)

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

723 Old Santa Fe Trail is a single-family residence, status not-resurveyed, in the Downtown and Eastside Historic District. The house is a small dwelling consisting of two to three bedrooms, a living room, kitchen, bathroom, closet, and an attached shanty. It is L-shaped, with recent additions attached to its west wall. Its primary materials are cement stucco walls, wood and aluminum doors and windows, concrete and ceramic interior tiles, and flagstone patio paving. The building is currently covered with synthetic paint in a red tone. It is purely vernacular, built crudely and with recent rough extensions.

Now, the applicant proposes the following:

- 1) Status review and designation of primary facades.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair or structural stability of the structure under consideration.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:


- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: October 23, 2023 – F

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Ramón and Anita Garcia House	2. Location: 723 Old Santa Fe Trail Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-2800 4. County: Santa Fe Parcel # 10852736
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: walls, 2 <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: October 6, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: September 14, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6766587,-105.9366203		
10. Photo Information: John W. Murphey, photographer. Photo 1: View of courtyard and west elevation. Camera facing southeast.		
11. Brief Description of the Property: The house at 723 Old Santa Fe Trail is a small dwelling consisting of two to three bedrooms, a living room, kitchen, toilet, closet, and an attached shanty. It was the home of a shoeshine man and his family, and later his grandson. In 1950, ten people lived in the small house. It is L-shaped, with recent additions attached to its west wall. Its primary materials are cement stucco walls, wood and aluminum doors and windows, concrete and ceramic interior tiles, and flagstone patio paving. The building is currently covered with synthetic paint in an oddly Oaxacan red tone. It is purely vernacular, built crudely and with recent rough extensions.		
<i>Continued on Page 5.</i>		
12. Who uses the property? Residence – not in use		
13. Construction Date: Date: Before c.1942-43, with additions <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: deeds and city directories		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate

17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com

For: Christophe Eagleton

18. Owner (if known) and other knowledgeable people:

Current owner: Christophe Eagleton



19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																											
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Flagstone at patio		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised, but not visible Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: BRAI																																									
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>3/1</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Wood</td> <td>6</td> <td>1</td> </tr> <tr> <td>Single-Hung</td> <td>Aluminum</td> <td>1/1</td> <td>5</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>3</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>1</td> <td>1</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	3/1	1	Casement	Wood	6	1	Single-Hung	Aluminum	1/1	5	Sliding	Aluminum	1-1	3	Fixed	Wood	1	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>9-Light, 1-Panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>6-Panel</td> <td>Metal</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Full Light</td> <td>Wood</td> <td>2</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	9-Light, 1-Panel	Wood	1	Single-Leaf	6-Panel	Metal	1	Single-Leaf	Full Light	Wood	2
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12. Chimneys <input checked="" type="checkbox"/> <input type="checkbox"/> N/A		13. Porches <input checked="" type="checkbox"/> <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap Non-historic canopy at post-1978 porch conversion																																									
14. Other Significant Features N/A																																											
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: pre-1958; likely addition of the foot section of the L; visual and material evidence. #2 Date: Post-1978; enclosure and reconstruction of west porch and addition of shanty; aerial photographs and visual and material evidence. #3 Date: Unknown: replacement of original windows and doors on older, north-south section; visual and material evidence.																																											

16. Primary Architectural Style Not Applicable

- | | | | | |
|---|----------------------------|-----------------------------|------------------------------|------------------------------------|
| <u> </u> Art Deco/Streamline Moderne | <u> </u> Gothic Revival | <u> </u> Mission Revival | <u> </u> Pueblo | <u> </u> Spanish-Pueblo Revival |
| <u> </u> Bungalow/Craftsman | <u> </u> International | <u> </u> Neo-Classical | <u> </u> Queen Anne | <u> </u> Territorial |
| <u> </u> Colonial Revival | <u> </u> Italianate | <u> </u> Northern NM | <u> </u> Ranch | <u> </u> Territorial Revival |
| <u> </u> Folk Victorian | <u> </u> Mediterranean | <u> </u> Prairie | <u> </u> Spanish-Colonial | <u> </u> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

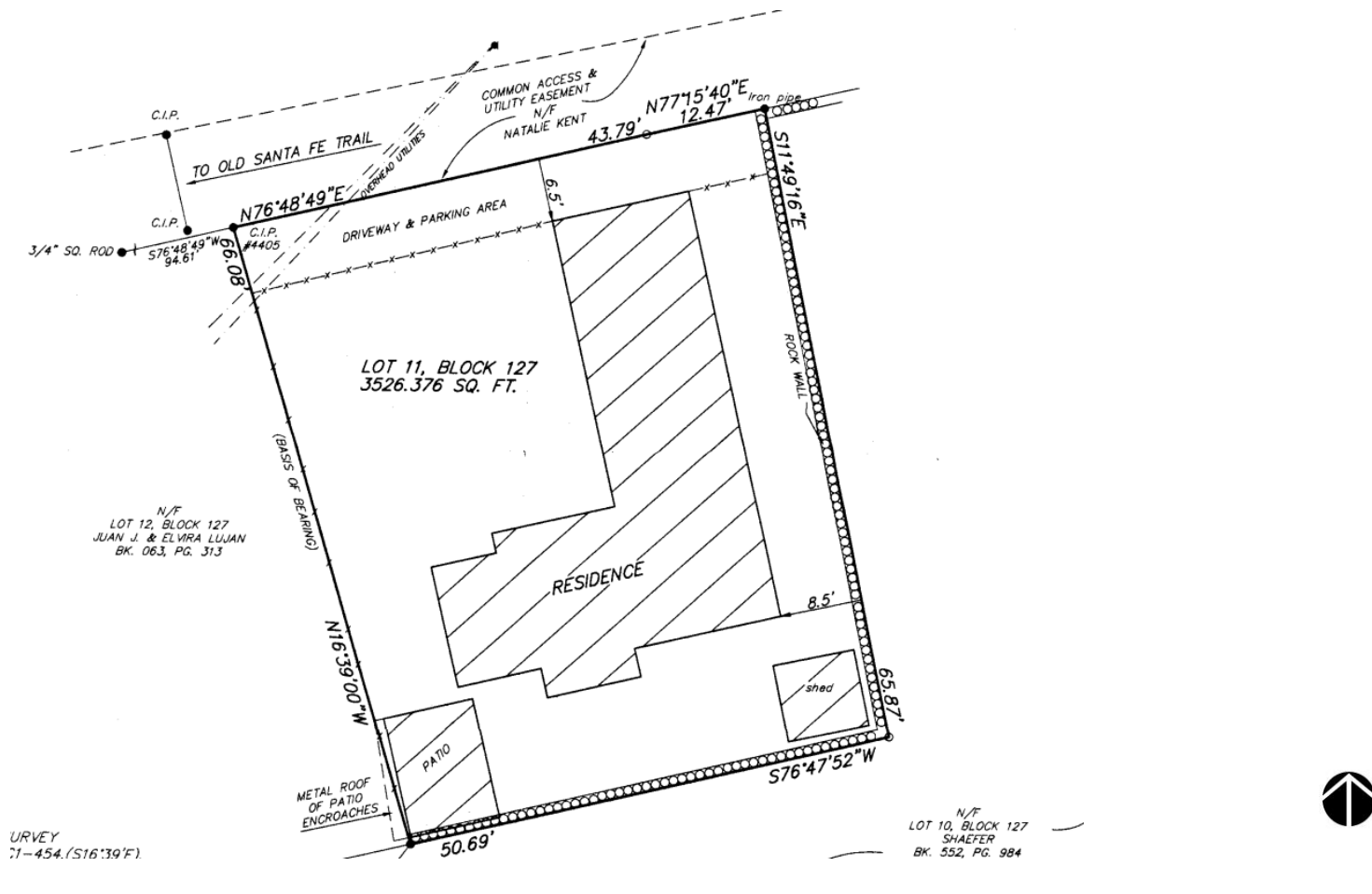
Archaeological Records Management Section
 Laboratory of Anthropology
 708 Camino Lejo
 Santa Fe, NM 87501
 (505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of 1996 survey plat. Courtesy XYZ Surveying and Drafting.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
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		4. County: Santa Fe			
		5. Date of Survey: October 6, 2023			

Architectural Description Continued

Setting

The house sits about 100' east of Old Santa Fe Trail, along a private, 16-wide, dead-end dirt lane. It was built in the early 1940s on land once owned by Juan Lucero, whose home still fronts Old Santa Fe Trail and is occupied by a descendant. The subject house takes up most of its 0.9-acre lot, leaving only the northwest corner as a front yard and parking area (Photo 1). This space is lined with large reddish flagstones. Landscaping is minimal, comprising the flagstone patio, a tumbled-down board fence, and a tall Siberian elm. The east and south property lines are edged with rubble stone walls of historic vintage. An east side yard is used as parking; an open area at the back is undeveloped.

House

The dwelling, which holds about 1,070 square feet, appears to result from several construction phases. Through these it took on an L shape, with a shanty extension at the southwest corner (Photo 1). The presumably oldest piece is the north end of the stem of the L, which represents the original two-to-three room adobe. This piece is a narrow rectangular volume holding three connected square rooms. Attaching this to the west is the foot of the L, containing the kitchen and living room. Based on aerial photographs, the kitchen section was in place by 1958. Appending to the kitchen at the west is a crude frame porch enclosure, which appears to post-date 1978, and an shanty extension. The floor of the older portion sits about 18" above grade. This section is adobe and plastered with a ¼" pigmented cement coat, currently painted red.

North and West Elevations

The north elevation begins at the older rectangular volume with a large opening holding a non-historic fixed window (Photo 2). Moving counterclockwise to the west side, one encounters an entry containing a modern 9-light wood door. A concrete step below is marked with "8/16/67," which may indicate the date the entry was created. This door opens to the northernmost of the three connected rooms.

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Moving south is a 3/1 single-hung wood sash window (Photo 3). This type of standard window is found in a few openings in the older portion of the home (Photo 13). The windows have 3/8" wide molded muntin. They are in poor condition, with some of the lower sashes removed. This window sits about 3" back from the wall. It has a bullnose reveal and is terminated with a brick sill. A modern metal door stands at the south end of the older volume (Photo 4). Radial concrete steps approach it with one marked "Nov. 11, 1950."

The north elevation of the foot has a single opening at the kitchen. It holds two small 1/1 aluminum sash windows (Photo 5). The window is at a different position than the 3/1 window but has the same brick sill.

West of the window stands a full-light door, leading to an entry hall, consisting of a roughly 120-square-foot frame porch enclosure (Photo 6). Its west elevation is fenestrated with paired aluminum sliding windows topped with wood clerestories (Photo 7). A frame and plywood shanty is attached at the southwest corner and accessed by double glass doors (Photo 7).

South Elevation

The shanty space, more of an improvised porch, is made of wood pallets, pieces of OSB, plastic sheets, wood latticing, and a quilt. It shelters two refrigerators and an outdoor stove (Photo 8). It appears to have worked as an outdoor gathering area. The space is approached from the west elevation of the house through a modern full-light door. The south side of the porch enclosure has a single aluminum sliding window (Photo 9).

The remainder of the elevation consists of a small opening at the kitchen and another at the bathroom (Photo 10). Both have non-historic windows at different positions in the wall. The elevation pushes out at one point, and this, along with the various window depths, suggests the two pieces are of a different age.

East Elevation

The long, east elevation faces a side yard used for parking (Photos 1 & 14). It contains a few openings, with a window at each of the three connected rooms. The southernmost room receives light from two aluminum sash flanking an older wood casement (Photo

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12). These sit deeper in the wall than other windows and have a slanted concrete sill. To the north are two openings with 3/1 wood sash, with one holding an AC unit (Photo 13). These, like others throughout the house, are protected by storm units. Unlike the more publicly visible west elevation, they do not have brick sills.

Interior

The first room entered, now from the main entrance, is the post-1978 entry hall (Photo 15). This space has the feeling of an enclosed porch (Photo 16). Moving east is the kitchen, a small square room topped with an overly rustic *viga* and *latilla* ceiling (Photo 17).

Moving through a doorless passage that has the feel of an exterior opening, one encounters the southernmost of the connected rooms. To the right (south) are a bathroom and closet created by frame walls. The south room measures roughly 11'-11" x 12'-7" with a 7'-8" ceiling height. Its north wall has a central passage flanked by *nichos* (Photo 18).

The remaining rooms, potentially representing an original two-room dwelling, are also square and of slightly different dimensions and ceiling heights. All three are connected through a central opening and have similar cement tile floors. The middle room, the smallest of them, has tile continuing up the walls at the northeast corner for a stove (Photo 19). The northernmost room has a crude arched entry (Photo 20). The walls of each room are finished with traditional plaster over the adobe and painted in various colors. The ceilings are also plastered.

Property Walls

The east and south and property lines are defined by low stone walls, with several sections working as retaining. The east wall is made of arroyo cobble and pieces of penitentiary brick and clinker (Photos 21 & 22). It ranges in height from 38" to 50" and serves in a retaining capacity. The south wall is of a different composition — mostly stone — and moves between 30" and 36" in height (Photo 23). Both walls are approximately 10" thick. The walls show vernacular construction and what appears to be repurposed building material.

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Historical Overview

Looking over Old Santa Fe Trail near its intersection with Old Pecos Trail is a historic house fronting the old path of commerce that was once named College Street. This house at 727 Old Santa Fe Trail was historically tied to the Lucero family and is indicated as the only dwelling on the roughly 0.9-acre lot depicted on the 1912 King’s map (Fig. 1). Over the course of several decades, the lot was filled in with new housing, including the subject dwelling: the Ramón and Anita Garcia House.

Juan Lucero and his wife, Euphemia, owned the parcel shown on the King’s map. The 1930 federal recorded Juan and Euphemia living in the house which was then addressed 727 College Street.¹ Juan, 62, was still working and noted to be doing “odd jobs,” a designation shared with many of his male neighbors. The household included granddaughters Antonia and Carmel and a grandson, José. While still in their teens, the granddaughters worked as servants in private homes. The house was valued at \$1,500. Juan L. Lucero died at the home in 1932. The funeral procession left the house and walked down College Street to the cathedral for his service.²

Euphemia, now a widow, began selling pieces of the property. Based on a Spanish warranty deed, she sold the subject lot in 1936 to Santiago Lopez and his wife, Julia.³ There is no indication that the couple lived on the property, with city directories recording their home on Garcia Street.⁴ Six years later, Lopez deeded the land to Ramón Garcia y Sandoval. The deed’s description does not indicate that a house stood on the property.⁵

¹ U.S. Census Bureau, Year: 1930; Census Place: Santa Fe, Santa Fe, New Mexico; Page: 8A; Enumeration District: 0004; FHL microfilm: 2341134.

² “Juan L. Lucero [obituary],” *Santa Fe New Mexican*, August 18, 1932, 6.

³ Documento Garantizado (Spanish language deed), Eufemia R. Lucero [widow], to Santiago L. Lopez and wife, recorded August 1, 1936, Book P-6, Page 153, 1936051143.

⁴ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1938 (El Paso: Hudspeth Directory Company, 1938), 130.

⁵ Warranty Deed, Santiago Lopez [and wife], to Ramon Garcia y Sandoval et al, recorded December 10, 1942, Book 22, Page 494, 1942069997.

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Garcia ran the Paris Shoe Shine Parlor at 123½ West San Francisco Street, and appears to have built a home on the property for his family. The 1944 city directory is the first to have the address 723 College, suggesting it was built between 1942 and that year.⁶

Garcia was born in Pojoaque in 1893 to José de la Cruz Garcia and Mary Victoria Garcia. The family moved to Santa Fe soon after. One son, Juan, became a barber; the other son, Ramón, opened a shoeshine stand. Both brothers worked downtown. Garcia had been leasing a house with his wife, Anita Padilla y Garcia, at 628 College Street.⁷ Anita had grown up on the street.

City directories capture the house at 723 occupied by a growing family. This included Ramón and Anita, as well their children, Juanita, Angelina, Eulogia, and Ramón, Jr., who worked with his father at the shoeshine shop.

Juanita, a clerk for the highway department, married in November 1945, James Andermann (sometimes Anderman), a Louisiana-born Army sergeant.⁸ The couple had met while James was recovering from malaria, probably at Bruns Hospital on Cerrillos Road. The newlyweds initially lived at 723, which may have resulted in a new entrance to the home and, possibly, an addition.

The 1950 census — the only one available for the household — recorded the dual family in detail.⁹ It included Ramón, then 56, Anita, 57, and daughter Eulogia, 16. The other part of the household contained Juanita and three children, aged two to three. Of these, Rodney would be the last to own the family home. Rounding out the multi-generation household was Jim, 27, who worked as a clerk at a lumberyard. While not recorded on that day, James was still part of the household. With that in mind, in the early 1950s the house held ten individuals.

⁶ Ibid., (1944), 133.

⁷ U.S. Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 16A; Enumeration District: 25-6A.

⁸ “Juanita Garcia is Bride of J. J. Andermann,” *Santa Fe New Mexican*, November 5, 1945, 2.

⁹ U.S. Census Bureau, National Archives at Washington, DC; Washington, D.C.; Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Page: 32; Enumeration District: 26-20.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Like his father-in-law, James trained as a barber with a chair at the Guadalupe Barbershop on Aztec Steet. He and Juanita would later move out of the house into an Allen Stamm tract home in Casa Alegre.¹⁰

Ramón, Anita, and various members would continue living in College Street — later Old Santa Fe Trail — home for several decades.

Ramón Garcia y Sandoval died in 1972 at the V.A. Hospital in Albuquerque. He was 80.¹¹ Anita lived on for another sixteen years. She represented a traditional generation, being a member of the St. Francis Cathedral Alter Society and Union Protectiva Feminina, the female branch of La Union Protectiva. Anita Padilla Garcia died in 1988 at age 96. She left 18 grandchildren and the same number of great-grandchildren.¹²

Two years before her death, Anita transferred the property to her oldest child, Juanita Andermann.¹³ The quitclaim deed described it as containing a five-room house with one bath. This description reflects the current number of rooms in the house. In 1996, Juanita deeded the property to her son, Rodney Andermann, who was already living in the house.¹⁴ Rodney, who was a newspaper carrier for The New Mexican, resided in the home until recently and released the mortgage on the property in September 2023.

Evolution of Footprint and Integrity

Early aerial imagery (1948 and 1951) is of no use because of tree cover. The 1958 flyover was the first to capture the house and its full footprint (Fig. 2). The image shows the north-south volume, likely representing the original home with a short arm at the west. An aerial photograph 30 years later reveals the same footprint with the addition of a porch at the west (Fig.3). The 1978 image shows what appears to be an open porch.

¹⁰ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1957 (El Paso: Hudspeth Directory Company, 1957), 111.

¹¹ “Garcia, Ramon, 80 [obituary],” *Santa Fe New Mexican*, August 20, 1972, 8.

¹² “Garcia, Anita Padilla, 96 [obituary],” *Santa Fe New Mexican*, November 8, 1988, 4.

¹³ Quitclaim Deed, Anita P. Garcia, to Juanita G. Anderman, recorded November 5, 1984, Book 504/Page 879, 1984554505.

¹⁴ Warranty Deed, Juanita G. Andermann, to Rodney Andermann, recorded November 1, 1996, Book 1319, Page 891, 964238.

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Either as part of additions and/or alterations to the house, non-historic doors and windows were added along each of its six sides.

Evaluation of Historical Status

Despite a portion of the building being 80 years old, the overall structure, with its recent additions and alterations, does not merit Contributing status due to cumulative integrity loss. For this reason, the recommendation is to maintain Non-Contributing status to the Downtown and Eastside Historic District. The stone walls are interesting for their rough, folk construction but do not rise to the level of Contributing status.

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Illustrations

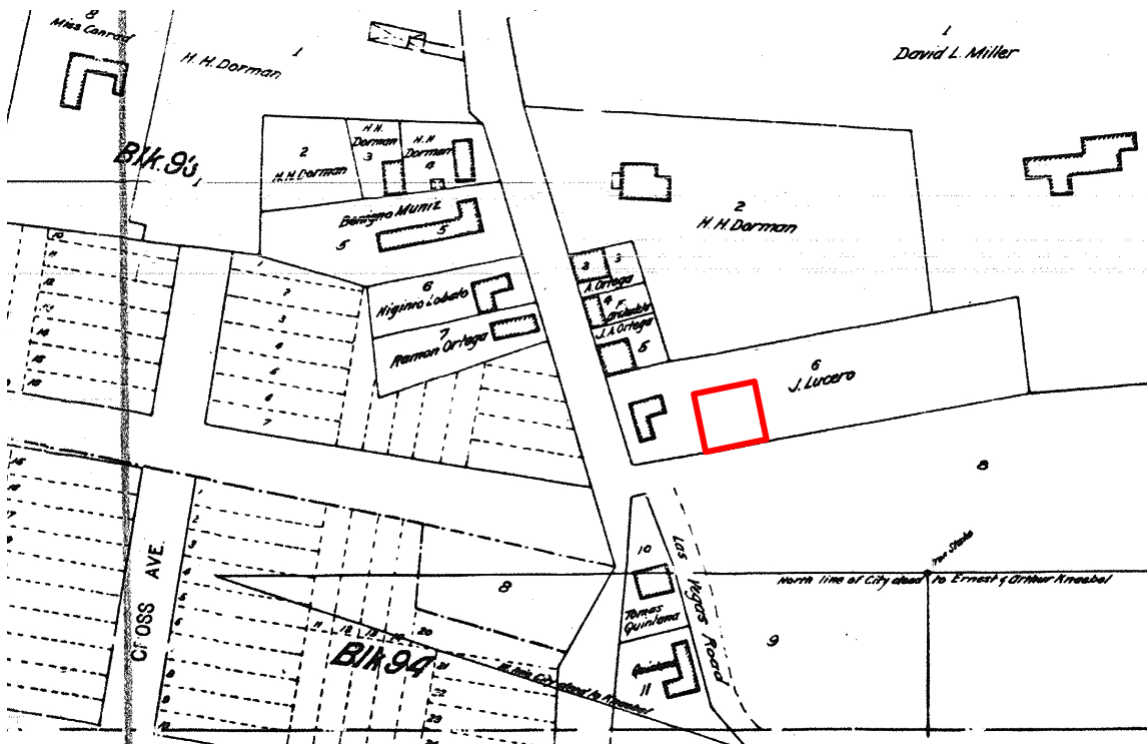


Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.
 Red box indicates location of future house.

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**Figure 2: November 10, 1958, aerial photograph.
Note multiple roof planes and absence of west porch.**

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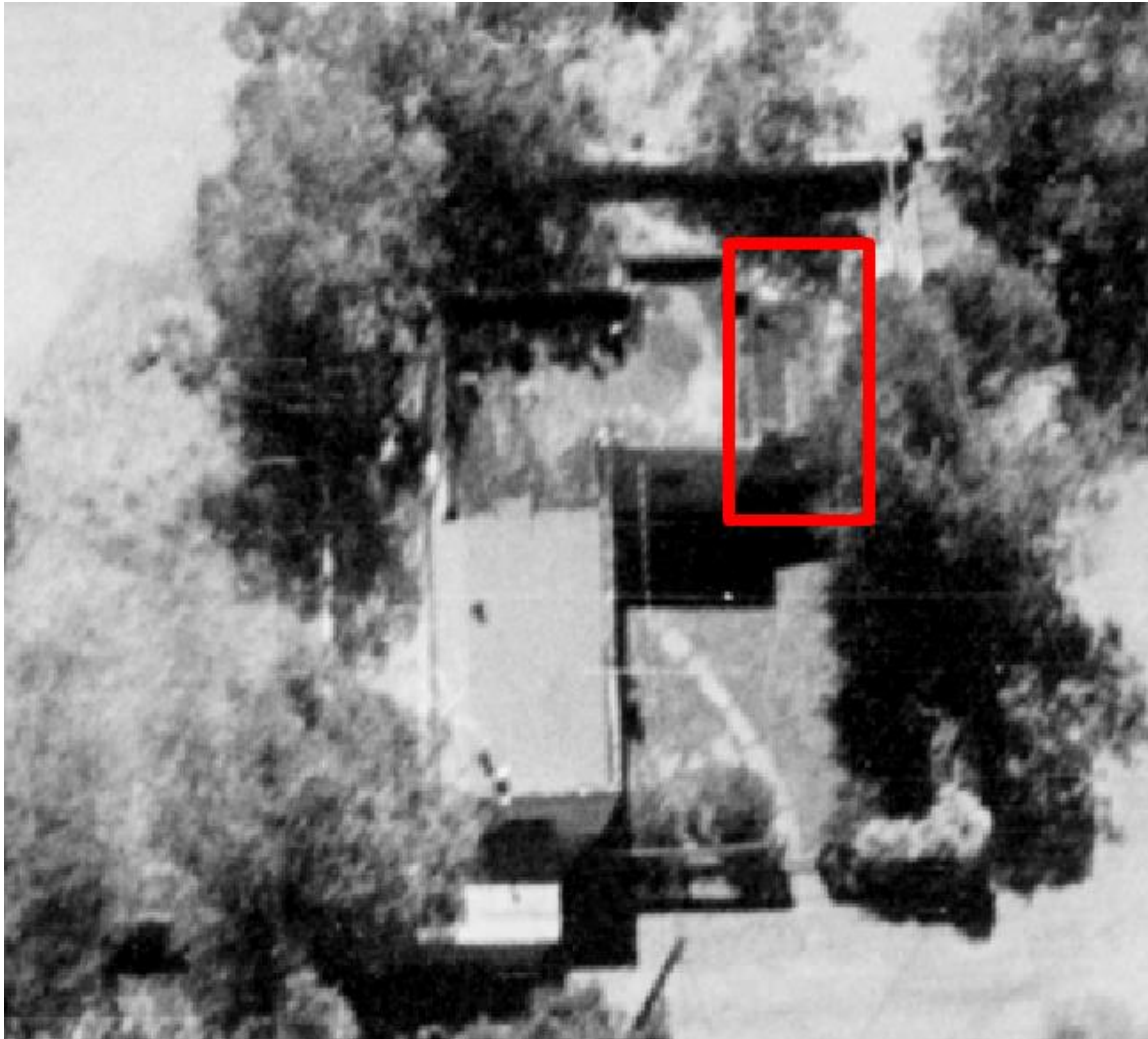


Figure 3: September 11, 1978, aerial photograph.
Note open configuration of porch.



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Survey Photographs

(All images taken by John W. Murphey on October 6, 2023, unless otherwise noted)



Photo 2: North elevation, older portion of building. Camera facing south.

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Photo 3: West elevation of older portion of building. Camera facing east.

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Photo 4: West elevation of older portion of building. Camera facing northeast.

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Photo 5: North elevation of foot of L. Camera facing south.

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Photo 6: North and west elevations of post-1978 porch enclosure. Entry to shanty at right. Camera facing southeast.

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Photo 7: West elevation post-1978 porch enclosure (left); shanty (center). Camera facing south.

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Photo 8: Shanty. Camera facing south.

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Photo 9: South elevation of post-1978 addition. Camera facing north.

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Photo 10: South elevation; kitchen (left); bathroom (right). Camera facing north.

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**Photo 11: Partial east elevation. Camera facing northwest.
 Note change in parapet height and window pattern and placement.**

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Photo 12: East elevation. Window at south room. Camera facing west.

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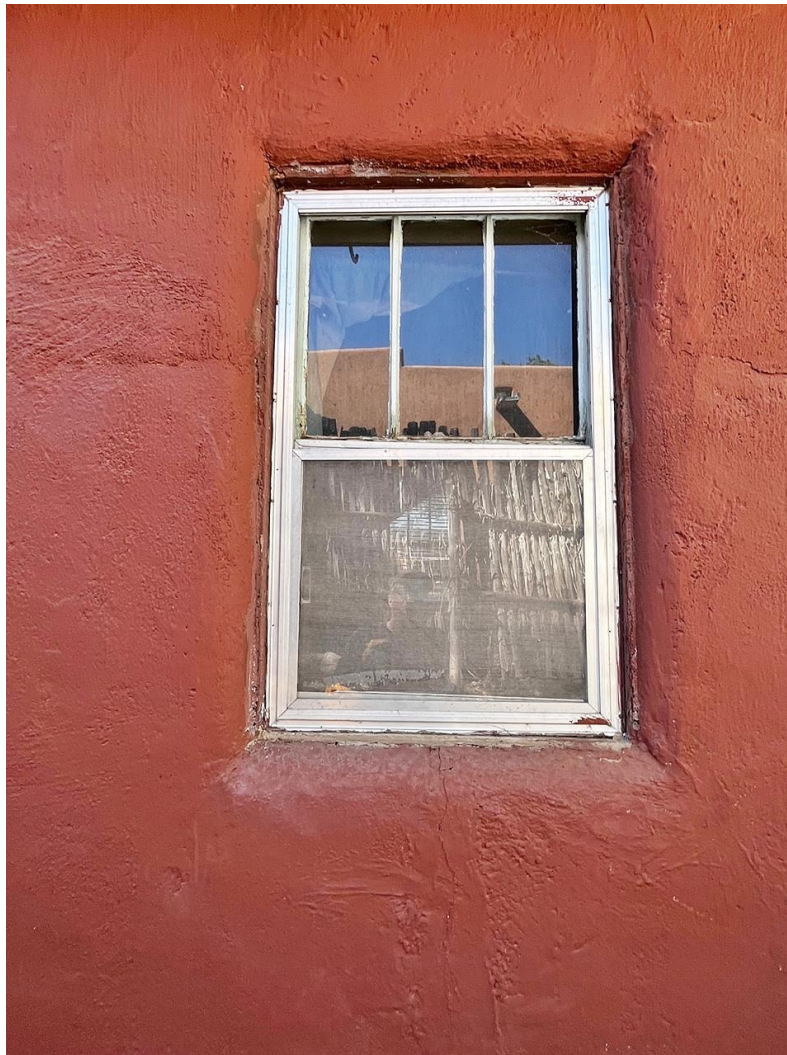


Photo 13: East elevation. Window at middle room. Camera facing west.

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Photo 14: East elevation. Camera facing southwest.

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Photo 15: Post-1978 porch enclosure. Camera facing south.

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Photo 16: Wall between post-1978 addition and kitchen. Camera facing east.

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Photo 17: Kitchen. Camera facing east.

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Photo 18: South room. Camera facing north.

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Photo 19: Middle room. Camera facing northeast.

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Photo 20: North room. Camera facing south.

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Photo 21: East property wall. Camera facing east.

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Photo 22: East property wall, detail. Camera facing east.

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Photo 23: South property wall. Camera facing southeast.

SARASON, RAMON J.

From: Christophe Eagleton <christophe.eagleton@gmail.com>
Sent: Monday, December 4, 2023 2:27 PM
To: SARASON, RAMON J.
Subject: 723 Old Sant Fr Trail - Status Review

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I owner of 723 Old Sante Fe Trail, Sante Fe NM 87505 am requesting a status review and primary facades designations.

Christophe Eagleton
303.667.8807

723 Old Santa Fe Trl
Santa Fe NM 87505