



# AGENDA

HISTORIC DISTRICTS REVIEW  
BOARD  
NOVEMBER 28, 2023  
5:30 PM  
CITY COUNCIL CHAMBERS  
CITY HALL  
200 LINCOLN AVENUE

## PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Join on Zoom:** <https://santafenm-gov.zoom.us/j/81633973427>

**By Phone:** 301 715 8592

**Webinar ID:** 816 3397 3427

**Written Public Comment:** Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

**C. APPROVAL OF MINUTES:**

1. November 14, 2023

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2023-006503-HDRB. 1243 Canyon Rd. (Heard September 12, 2023)
2. 2023-007140-HDRB. 1369 Cerro Gordo Rd. (Heard September 12, 2023)

**E. MATTERS FROM THE PUBLIC**

**F. STAFF COMMUNICATIONS**

**G. OLD BUSINESS**

**H. NEW BUSINESS**

1. 2023-007552-HDRB. 50 Mt. Carmel Rd. Historic Review Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agent for Santa Fe RC2,LLC c/o Modern Elder Academy, proposes to replace non-historic doors on the south and west primary facades. (Heather Lamboy, [hllamboy@santafenm.gov](mailto:hllamboy@santafenm.gov))
2. 2023-007525-HDRB. 913 ½ Acequia Madre. Downtown and Eastside Historic District. Non-contributing. Richard Martinez, agent for Jay Morton of the Morton Phillips Trust, owner, requests historic status review with primary façade(s) designation. (Paul Duran, [paduran@santafenm.gov](mailto:paduran@santafenm.gov))

3. 2023-007411-HDRB. 135 Grant Ave. Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O’Keeffe Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested. (Paul Duran).
  
4. 2023-007222-HDRB. 123 & 135 Grant Ave. Downtown and Eastside Historic District. JenkinsGavin, agent for the Georgia O’Keeffe Museum, owner, requests approval for a 56,000 sq. ft. museum building. The proposed height is 33’-0” and the permitted height is 33’-8” . (Paul Duran) **REQUEST TO BE POSTPONED TO JANUARY 9, 2023**

**I. DISCUSSION ITEMS**

**J. MATTERS FROM THE BOARD**

**K. NEXT MEETING: Tuesday, December 12, 2023**

**L. ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk’s office at 955-6521, five (5) working days prior to meeting date.**

**SUMMARY INDEX**  
**HISTORIC DISTRICTS REVIEW BOARD**  
**NOVEMBER 14, 2023**

<b>ITEM</b>	<b>ACTION TAKEN</b>	<b>PAGE(S)</b>
Call to Order	5:30 pm	3
Roll Call	Quorum Present	3
Approval of Agenda	Approved as Amended	4
Approval of Minutes October 24, 2023	Approved "	4
Approval of Findings & Conclusions	None	4
Matters from the Public	Comments	4-5
Staff Communications	Comments	5
Old Business	None	5
New Business Text Amendment	Recommended Approval with Amendments	5-7
2023-007314-HDRB 918-D Acequia Madre	Maintain Contributing Status	7-9
2023-007399-HDRB 1-A Camino Pequeno	Non-Contributing Status	9-11
2023-007468-HDRB 826 Camino del Poniente	Contributing Status with North Façade as Primary with Exclusions	11-13
2023-007402-HDRB 912 Old Santa Fe Trl.	Non-Contributing Status	13-14
2023-007432-HDRB 771 W. Manhattan Ave	Tabled to End of Agenda	15
2023-007474-HDRB 412 Camino Cabra	Contributing Status with Primary Façade being the East Elevation	15-17

2023-007490-HDRB 1120 E. Alameda St.	Postponed to December 12, 2023	17
2023-007489-HDRB 1369 Cerro Gordo Rd.	Postponed to December 12, 2023	17
2023-007222-HDRB 123 & 135 Grant Ave.	Postponed to November 28, 2023	17-18
2023-007411-HDRB 135 Grant Ave.	Postponed to January 9, 2023	18
2023-007360-HDRB 1666 ½ Cerro Gordo Road	Approved Noting Exception Criteria have been Met	18-21
2023-007473-HDRB 802 Don Cubero	Tabled	21-24
2023-007428-HDRB 600 Old Santa Fe Trail	Approved with Conditions	24-26
HDRB 2024 Meeting Calendar	Approved	26
2023-007432-HDRB 771 W. Manhattan Ave.	Approved with Condition	26-28
Discussion Items	Comments	28
Matters from the Board	Comments	28
Next Meeting	Tuesday, November 28, 2023	28
Adjournment	9:15 pm	29

**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
NOVEMBER 14, 2023 – 5:30 PM**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Anthony Guida, Vice Chair, on the above date at approximately 5:35 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

**A. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Mr. Anthony Guida, Vice Chair  
Ms. Madeleine Aguilar Medrano  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu  
Ms. Amanda Mather  
Mr. David Valdo

**MEMBERS ABSENT (EXCUSED)**

Ms. Cecilia Rios, Chair

**STAFF PRESENT:**

Ms. Heather Lamboy, Assistant Land Use Director  
Mr. Frank Ruybalid, Assistant City Attorney  
Gary Moquino, Historic Preservation Division Manager  
Paul Duran, Senior Planner  
Lani McCulley, Senior Planner Ramon Sarson, Senior Planner

**OTHERS PRESENT**

Melissa Byers, Stenographer

**NOTE: The Board packet for all agenda items is incorporated herewith by reference. The packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.**

## **B. APPROVAL OF AGENDA**

Ms. Lamboy said that Items H8 and H9 are postponed to December 12, 2023, Item H10 is postponed to November 28, 2023 and Item H11 is postponed to January 9, 2024.

**MOTION:** Member Biedscheid moved, seconded by Member Aguilar Medrano to approve the agenda as amended.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu, Mather and Valdo voting in favor and none voting against.

## **C. APPROVAL OF MINUTES:**

1. October 24, 2023

Member Bienvenu said he and other Board members would like the minutes to contain more information because it is helpful to have a record of the discussion.

Ms. Lamboy noted that City Clerk left the City. She will reach out to the Interim City Clerk to express the concerns of the Board.

**MOTION:** Member Bienvenu moved, seconded by Member Aguilar Medrano to approve the minutes of October 24, 2023.

**VOTE:** The motion passed by (5-0) roll call vote with Members Biedscheid, Bienvenu, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

## **D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

None

## **E. MATTERS FROM THE PUBLIC**

Adam Johnson, Executive Director, of Old Santa Fe Association said he agreed that there needs to be more extensive minutes. He also commented about demolition of buildings and what will replace them.

Richard Martinez said one of the projects that the Board had to go to City Council for exceptions approval. He is concerned that the case had not been scheduled.

**F. STAFF COMMUNICATIONS**

None

**G. OLD BUSINESS**

None

**H. NEW BUSINESS**

Chair Guida explained the appeal process.

**1. CONSIDERATION OF BILL NO. 2023-24 (Councilor Signe Lindell)**

A Bill Amending SFCC 1987, Section 14-5.2, to Authorize the Historic Districts Review Board to Approve Additional Exceptions, Including Exceptions for Signs and Murals; and to Remove Certain Administrative Requirements for Land Use Staff Approvals and Disapprovals of Signs and Murals. (Heather Lamboy, Assistant Land Use Director)

**EXECUTIVE SUMMARY**

The Historic Districts Ordinance, Section 14-5.2 (C)(5), regarding design and signage standards, provides that the Historic Districts Review Board (HDRB) may recommend that the Governing Body approve exceptions. Per SFCC 14-5.2(C)(5)(b), all decisions by the HDRB on cases with exceptions to design and signage shall be in the form of a recommendation to the Governing Body. The Governing Body then approves or denies requested exceptions.

The proposed amendment to section 14-5.2 (C)(5) would provide HDRB the authority to grant design and signage exceptions. Currently, because the HDRB must recommend exceptions to the Governing Body, the review and approval period can take an additional 6-8 weeks. As there are standards regarding the HDRB membership, the board includes professionals in preservation and construction. As such, City staff recommend that the HDRB is best suited to consider exceptions to the ordinance. Additionally, per Section 14-2.6 (B), the Governing Body delegates authority to the HDRB regarding construction and preservation of buildings and structures in the historic districts. This amendment would align 14-5.2 (C)(5) on Exceptions with Section 14-2.6 (B) on delegation of authority. Lastly, this amendment will provide a quicker review of exceptions in the Historic Districts, which will serve the public as well as improve City Government function and efficiency.

The proposed amendment would also remove the requirement that City staff sign applications in Section 14-5.2 (D)(10), the section of code addressing “General Design

Standards for all Districts” as they relate to signs and murals. The amendment would also remove the requirement that staff report application approvals and denials at HDRB meetings.

Chair Guida confirmed that the Board will be providing a recommendation to the Governing Body.

Member Bienvenu said the revision should be limited to only resolving the awareness that developed that the Board had been approving exceptions and not making recommendations to the Governing Body.

Vice Chair Guida agreed that this should be a simple change.

### **PUBLIC HEARING**

Adam Johnson of the Old Santa Fe Association supports staff approvals if there is oversight. In the future he would recommend that any staff approvals should have a mechanism that the Board is overseeing those. He agrees that the Board should recommend the most simplified text amendment,

John Lacava asked if exceptions to setbacks come before the Board.

Vice Chair Guida said setbacks are not the purview of the Board.

Ms. Lamboy said that’s under the purview of the Board of Adjustment.

### **BOARD DISCUSSION/ACTION:**

Vice Chair Guida said the Board has been clear on their direction on this. He also voiced the concern of applicants who have had the legal process changed and been penalized unnecessarily. He is in favor of getting this done.

Member Biedscheid asked about pending approvals.

Ms. Lamboy said the effective date of an ordinance is 30 days after it’s approved. The cases that will be heard after January 13, 2024, the Board will have the full authority to approve exceptions.

**MOTION:** Member Bienvenu moved that the Board strongly recommend to the Governing Body that the following proposed changes be made to the Ordinance and the remaining proposed changes not be made to the ordinance for all reasons articulated. In Subsection 5(B) Design Standards and Signage, the Board would recommend that all of those

proposed changes be made, other than the language in the clause and in 14-8.10(H) for signs in historic districts, that would be not accepted; and that the language altering the last sentence prior to the subparagraphs that begins “the applicant for such exceptions shall conclusively demonstrate....” that no changes be made to that sentence as well then the reference to 14-3.6(B)(3) be changed to 14-3.1(H); and that the remaining proposed changes not be made to that section and that no other changes be made as proposed. The motion was seconded by Member Biedscheid.

Member Bienvenu said for clarification that he would convey, if the Board so agrees to this motion, this is not intended to disagree with any of the substantive proposals, it's just that the Board strongly feels this is not the time or place to be making those piecemeal amendments but they should be considered in the context of the larger amendment to Land Development Code.

**VOTE:** The motion passed by (5-0) roll call vote with Members Bienvenu, Mather, Valdo, Aguilar Medrano and Biedscheid voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (9:51 – 42:14)

2. **2023-007314-HDRB. 918-D Acequia Madre.** Downtown & Eastside Historic District. Richard Martinez agent for Christopher Richter & Todd Davis, owners, requests a status review and primary façade designations on a contributing property. (Ramón J. Sarason)

**Staff Report:**

The residence at 918-D Acequia Madre is a single-family residence listed as contributing to the Downtown and Eastside. The pink adobe house sits on a little bluff overlooking a lane leading to a mix of old and new homes. Constructed likely in the late 1930s, it is situated near the end of the private dirt lane, approximately 470’ south of Acequia Madre. There is no public visibility of the house from the road. It is arranged on a north-south axis, with its main façade facing east.

In form, it is a flat-roofed rectangle with several trailing extensions. Based on aerial photographs, it took its current footprint by at least 1957. The building is approximately 1,348 square feet and has a modest Pueblo Revival style.

In historic records the house has had two addresses – 411 Camino del Monte Sol and 918 Acequia Madre. The property has changed hands over time. An addition was

added between 1948 and 1958; the original form of the house was rectangular. Both sections of the house have gained historic merit in their own right.

Now, the applicant requests the following:

- 1) Status Review
- 2) Primary Façade Designations.

### **Staff Recommendation**

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. Staff recommends the East and Eastern portion of the South elevation be designated as primary excluding non-historic windows and doors as described in the Historic Assessment NO. 918MAS-HA.

Member Bienvenu asked what the recommendation is for the primary façade.

Mr. Sarson confirmed it was the entire east elevation.

Member Aguilar Medrano asked which doors and windows are not historic on the east façade are non-historic.

Mr. Sarson referred to the historic assessment that has diagrams of specifically what the doors and windows are and associated locations and whether they are historic or non-historic.

### **Applicant Presentation**

Richard Martinez, 1524 Paseo de Peralta, Santa Fe, was sworn. He said he was unprepared to discuss the proposed primary façade because it was not published that way. In general, primary facades mean development or addition on that side is not allowed and makes it difficult to add on to a house. This house was originally off Monte del Sol. The rear façade was the front façade. The house was originally without plumbing. Given that the back was the front of the house, originally, it is apparent that the historic doors and windows were added in a self-conscious way because they don't match. He referred to the east façade of the house. The door is beautiful, it has spindles and cut wood in a pattern. He thinks it's the most historic façade. He asked that the overhang not be part of the historic part of the house because the roof drainage should be addressed. The eastern façade is off the kitchen. The kitchen façade is not publicly visible. He proposed that only the Eastern side of the house that is in front of the kitchen and the living room be primary and pointed to the side that should not be made primary because it's not publicly visible and it would preclude any design elements to be added.

## **Public Hearing:**

There were no public comments.

## **Board Discussion/Action:**

**Motion:** In Case 2023-007314-HDRB, 918-D Acequia Madre, Member Biedscheid moved to maintain the contributing status of this building and designate the longest portion of the Eastern façade, which is consistent with the HCPI report, which indicates that this may be the oldest portion of the house, it's roughly 34-inch-long wall as primary and no other facades as primary and including the historic windows A and B on this facade and excluding the non-historic overhang and door #3 on that facade as well as all historic doors and windows. The motion was seconded by Member Aguilar Medrano with clarification that door #1 is non-historic but it's interesting because it's hand carved. She asked if that was excluded.

Member Biedscheid said she was trying to follow the window and door assessments, which indicates that is non-historic.

Mr. Martinez said it's non-historic but character defining.

Member Aguilar Medrano said if it wasn't included in the exclusions and it's on the primary façade, then it would be protected.

Member Biedscheid agreed and confirmed she was just excluding the overhang and historic windows.

Member Aguilar Medrano confirmed that she seconded and stated that both windows (A and B) on that façade are historic, and she didn't think there needed to be language to exclude them.

Member Biedscheid confirmed.

**Vote:** The motion passed by (5-0) roll call vote with Members Mather, Valdo, Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (42:14 – 1:00:12)

3. **2023-007399-HDRB. 1-A Camino Pequeno**, Downtown & Eastside Historic District. No status. Courtenay Mathey, agent for Ann & Kevin

Cooney, owners request historic status review and designation of primary facades (Ramón J. Sarason)

**Staff Report:**

1-A Camino Pequeno is a single-family residence listed as not-resurveyed in the Downtown and Eastside Historic District. Constructed in 1973 as a mother-in-law unit is a stucco-on-frame building. The dwelling is roughly square in footprint and encloses 1,178 square feet: two bedrooms, one bath, a living room, and a kitchen. The recent Santa Fe style home shows a mix of Pueblo and Territorial revival themes with a modern style cantilevered entrance portal to the south and north. Most windows are original to construction date and feature territorial style pedimented treatment.

Now, the applicant requests the following to determine future renovations:

- 1) Status review and designations of primary facades.

**Staff Recommendation**

Staff recommends the historic status of the structure be designated as Contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Staff further recommends the South and East facades be designated as primary.

Vice Chair Guida confirmed that staff's recommendation is contrary to the HCPI report.

**Applicant Presentation**

Ann Cooney, 1-A Camino Pequeno, Santa Fe, was sworn, said she did not agree with staff's recommendation. There's a big difference between the HCPI and what staff is recommending. She's not sure it rises to the level of being historic.

Vice Chair Guida said he's dismayed by the idea that just because something meets a 50-year mark it would be designated as contributing to the Downtown & Eastside Historic District. It's the District that is a recognized historic resource. It's not to dismiss a building because it's old but it's to determine whether a building is contributing to the district because it is part of its period of significance or it's a comment on its periods of significance or it somehow changes the district in an important historic way.

Member Aguilar Medrano said it's difficult hearing these cases separate from the design. She said the applicant mentioned that this house used to be a guest house and it feels divorced from the primary. She asked if her intent going forward is to make

it more in harmony with what once was the primary house or because now it's separated will the renovation have it stand on its own and separate from house.

Ms. Cooney said they would like it to look like the 1973 plans which she thinks is more beautiful and more appealing than what got constructed.

Member Bienvenu said on the general concept, the plans themselves were more striking than the house. Given that this house is almost 50 years, it's an extremely modest house, he doesn't see it as contributing. He commended staff's zealously into looking into this as a potential contributing structure.

### **Public Hearing:**

Elizabeth West, 318 Sena Street, Santa Fe, was sworn. She said there's an opportunity to do the right thing by not calling it contributing.

### **Board Discussion/Action:**

Member Biedscheid thanked the applicant for having the HCPI completed. That is very helpful to the Board.

**Motion:** In Case 2023-007399-HDRB. 1-A Camino Pequeno, Member Biedscheid moved to designate the status as non-contributing consistent with HCPI report. The motion was seconded by Member Bienvenu.

**Vote:** The motion passed by (5-0) roll call vote with Members Valdo, Aguilar Medrano, Biedscheid, Bienvenu and Mather voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (1:00:12 – 1:15:29)

4. **2023-007468-HDRB. 826 Camino del Poniente.** Downtown & Eastside Historic District. Non-contributing. Martinez Architecture Studio, agent for Larry Colton and John McCoy, owners, requests a historic status review with primary facade(s) designation, if applicable, for a residential structure. (Lani McCulley)

### **Staff Report:**

The residence at 826 Camino del Poniente is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure is a Territorial Revival style residence and is a simple rectangle. The south was most likely

historically an entrance however, with the enclosure of the porch the main entrances are now to the north and the east.

### **Property History:**

According to the 1991 historic building inventory form, the structure is believed to be built in the 1930s, however it first appeared in the city directory in 1951. It was originally a guest house for the property located at 828 Camino del Poniente and was owned by the author, Elizabeth De Huff. There is some evidence that the residence was used as a school sometime prior to 1991.

The north and east elevation architecture is simple and unchanged.

A garage was constructed on the north and west elevations sometime prior to the 1983 survey though the date of construction has not been confirmed. Since the 1991 survey and prior to the 2000 case, the screened porch on the south elevation was enclosed. No historic case or permit was found for this enclosure of the porch. The staff wrote, "Staff believes the north elevation's simplicity and original window and door configuration exemplify the building's architecture."

The property owner started a case, H-00-030A&B, in 2000 to request a status review and some remodel including additions. The case was postponed from the March 14, 2000, agenda and never came back to the HDRB for the status review. However, the staff report from 2000 shows that the staff felt that the structure should be listed as a contributing structure to the Downtown and Eastside Historic District and recommended the north and east facades as primary noting a portal had been enclosed on the south elevation. Given that the south elevation porch was enclosed, and the garage was added to the west elevation, and neither is historic, staff agrees that these elevations should not be considered primary.

### **Current Application:**

The applicant requests a status review with primary façade designation, if applicable.

### **Staff Recommendation**

Staff recommends the historic status of the structure be designated as contributing citing that the structure is a prime example of Territorial Revival style and recommends the north and east facades as primary citing that both facades are simple and unchanged since the structure was constructed per 14-5.2(C) Designation of Significant and Contributing Structures.

### **Applicant Presentation**

Richard Martinez, previously sworn, said he agrees that the house should be contributing. He commented that facades may be simple, but they are not unchanged.

The north façade that faces the street has had windows replaced at least twice and should be replaced again. The east façade, perpendicular to the street should not be primary because the front is on that façade and the front door is unprotected and should have an entry portal. On the east side of the lot there is a possibility where changes and additions can be made. He proposed that the north elevation be the primary façade.

### **Public Hearing:**

Lawrence Colton was on Zoom, however, could not be heard.

Mr. Martinez said Mr. Colton is one of the owners of the house who wanted to express the beauty of the house. His intention is to enhance that beauty and not to distract in any way from the historic designation of this house and for the house to be a contribution to the streetscape.

### **Board Discussion/Action:**

**Motion:** In Case 2023-007468-HDRB. 826 Camino del Poniente, Member Bienvenu moved that historic status be contributing and the primary façade be the north façade, excluding the non-historic elements. The motion was seconded by Member Aguilar Medrano. She asked about excluding the north facade of the 1980s garage addition.

Member Bienvenu confirmed that would not be primary.

**Vote:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu, Mather and Valdo voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (1:15:29 – 1:33:01)

5. **2023-007402-HDRB. 912 Old Santa Fe Trl.** Downtown & Eastside Historic District. No status. Sunil Sakhalkar agent for Annmari Gallagher/James Collins, owners, requests historic status review and designation of primary facades. (Ramón Sarason)

### **Staff Report:**

912 Old Santa Fe Trail is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure straddles the Downtown and Eastside Historic District and the Historic Review Historic District, as such the structure falls under the more restrictive code guidelines in the Downtown and

Eastside Historic District. The architectural style is mid-modern, estimated construction date is in the late 1950's. Documentational research shows no significant improvements or alterations.

Now, the applicant now requests status review and primary façade designations to inform future renovations.

### **Staff Recommendation**

Staff recommends the historic status of the structure remain as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

### **Applicant Presentation**

Sunil Sakhalkar of Santa Fe was sworn. He agreed with Ramon's assessment of the structure.

### **Public Hearing:**

There were no public comments.

### **Board Discussion/Action:**

Vice Chair Guida asked why staff was recommending non-contributing status.

Mr. Sarason said it hardly has any street presence on Old Santa Fe Trail and there is hardly public visibility. The other reason, aside from the brick chimney and this articulation of the entry porch itself the building is basically unarticulated and indistinctive.

Vice Chair Guida said this is a building that has integrity and they could have discussion about whether 1950s infrastructure is relevant. He was advocating for a more thoughtful approach.

**Motion:** In Case 2023-007402-HDRB. 912 Old Santa Fe Trl., Member Bienvenu moved that the Board adopt the recommendation of staff and based on the reasoning set forth by staff that the historic status be designated as non-contributing. The motion was seconded by Member Aguilar Medrano.

**Vote:** The motion passed by (5-0) roll call vote with Members Biedscheid, Bienvenu, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (1:33:01 – 1:46:26)

6. **2023-007432-HDRB. 771 W. Manhattan Ave.** Westside-Guadalupe Historic District. Non-contributing residence, Raul Dominguez, agent for Robert Sisneros, owner, requests to remove asphaltic roof material and replace with metal roof, color rustic red. (Ramón Sarason)

The applicant was not present.

**Motion:** In Case 2023-007432-HDRB, 771 W. Manhattan Ave., Member Aguilar Medrano moved that the case be heard and the end of agenda. The motion was seconded by Member Beidscheid.

**Vote:** The motion passed by (5-0) roll call vote with Members Bienvenu, Mather, Valdo, Aguilar Medrano and Biedscheid voting in favor and none voting against.

7. **2023-007474-HDRB. 412 Camino Cabra.** Downtown & Eastside Historic District. Non-contributing. Jon Dick, agent for Tom Wilmoth, owner, requests historic status review with primary façade(s) designation. (Paul Duran)

**Staff Report:**

412 Camino Cabra is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure was built in 1950 on a 0.147-acre lot and totaled 734 square feet. The structure was built in a modest Santa Fe vernacular style with an L-shaped form constructed out of masonry block, metal casement windows, and a wooden flat roof. A portal wraps around the northeastern façade comprised of wooden viga beams and corbels. Two alterations occurred after 1978, which includes the addition of a portal on the east elevation and a closet addition on the west elevation, but the core of the structure remains intact.

The structure, and a previous older adjacent structure which has since been demolished, was constructed by the Lucrecio Roybal family. One of the sons, Frank Roybal, resided on the property after returning from World War II and is the one that constructed the residence. Frank worked for Allen Stamm's home construction company.

Staff recommends a contributing status due to the relatively minor changes to the building over time. Staff further recommends designating the east elevation (including façade 4 and excluding the portal) as well as the "orphan wall" between the subject building and the adjacent building to the west that hints at the history that once another house existed on the site.

A previous Historic Cultural Properties Inventory (HCPI) form was completed in 1984. The structure was given non-contributing status because it did not meet the 50-year historic threshold. The structure is now 73-years old and meets the historic threshold to be designated as contributing to the Downtown and Eastside Historic District.

### **Staff Recommendation**

Staff recommends the historic status of the structure be upgraded to contributing with the east façades designated as number four and the southwestern wall designated as nine in the façade diagram as primary, per 14-5.2(C) Designation of Significant and Contributing Structures.

Vice Chair Guida confirmed that staff's recommendation differs from John Murphy's.

Member Aguilar Medrano acknowledged that staff is excluding the portal on the east façade. She asked about the blue fence that surrounds it and if it could be called out as non-conforming, even though it's not being included in the façade.

Ms. Lamboy said it complies with zoning regulations with reference to fencing. As to non-conforming to our ordinance, when it is this low, she didn't know that it could be argued that it would be non-conforming.

Member Biedscheid confirmed with Mr. Duran that Façade 9 is the wall which is described in the HCPI as a possible remnant of a former building. She said it seems unusual to designate a building remnant as contributing. She said she might disagree that the Board would designate that as something that has to be preserved.

### **Applicant Presentation**

Jon Dick, 112 Camino Escondido, Santa Fe, was sworn. He said he didn't agree with staff's recommendation. He agrees with John Murphy's HCPI report that indicates that the east facade be primary. The South facade is on a very narrow Street half of which is concealed by a garden wall.

Vice Chair Guida confirmed with the applicant that he agreed that John Murphy's recommendation of this kind of east projecting facade is what captures the character defining elements of the house.

### **Public Hearing:**

John Lacava, 1163 Camino San Acacio, Santa Fe, was sworn. He said he lives next door. There doesn't seem to be a question that it's going to be designated

contributing, it's just arguing about the façade. His concern was about the setback of the wall and if there is an addition that it would be within five feet of his walls.

**Board Discussion/Action:**

**Motion:** In Case 2023-007474-HDRB, 412 Camino Cabra, Member Biedscheid moved to designate the property as contributing with the primary façade designated as the east elevation projection of the living room, consistent with the HCPI report. The motion was seconded by Member Mather.

Member Bienvenu confirmed with staff that it was designated as Number 4 on the diagram.

Member Biedscheid said for clarification it was Façade Number 4 on the façade map,

**Vote:** The motion passed by (5-0) roll call vote with Members Mather, Valdo, Aguilar Medrano, Biedscheid Bienvenu, voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (1:47:47 – 2:02:48)

8. **2023-007490-HDRB. 1120 E. Alameda St.** Downtown & Eastside Historic District. Contributing. Architectural Alliance, LLC, agent for Sam Gerberding and Amanda Crocker, owners, proposes to construct a 118 sq. ft. bedroom addition, a 431 sq. ft. portal, demolition of a portion of a wall on a non-primary façade, and relocate the gate and fence. (Paul Duran)

POSTPONED TO DECEMBER 12, 2023

9. **2023-007489-HDRB. 1369 Cerro Gordo Rd.** Downtown & Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owner, proposes to alter a previous approval by constructing a 140 sq. ft. addition to a height of 12'-0" where the maximum allowable height is 14'-7" on an accessory structure. (Lani McCulley)

POSTPONED TO DECEMBER 12, 2023

10. **2023-007222-HDRB. 123 & 135 Grant Ave.** Downtown and Eastside Historic District. JenkinsGavin, agent for the Georgia O'Keeffe Museum, owner, requests approval for a 56,000 sq. ft. museum building. The

proposed height is 33'-0" and the permitted height is 33'-8" . (Paul Duran)

POSTPONED TO NOVEMBER 28, 2023.

11. **2023-007411-HDRB. 135 Grant Ave.** Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O’Keeffe Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested. (Paul Duran)

POSTPONED TO JANUARY 9, 2024.

12. **2023-007360-HDRB. 1666 ½ Cerro Gordo Road.** Downtown & Eastside Historic District. Contributing and Non-contributing. Denny Architects, agent for Clifford Ross and Jon Weaver, owners, proposes to demolish the portal and construct a 450 sq. ft. addition with a 150 sq. ft. portal to a height of 12’0” where the maximum allowable is 16’6” and a freestanding 400 sq. ft. carport to a height of 9’10”. Two exceptions are requested, to exceed the 50% rule and to construct an addition within 10’ of a primary façade (14-5.2(D)(2)(d)). (Lani McCulley)

Member Bienvenu recused himself from this case.

Ms. McCulley handed out a rebuttal document provided by the Applicant which is attached hereto as Exhibit “1”.

**Staff Report:**

The property at 1666 ½ Cerro Gordo is a single-family residence with three structures: two listed as contributing and one as non-contributing to the Downtown and Eastside Historic District. The northern structure is a contributing garage with a stone base and is not a part of this application.

Further down the hill to the south are the two residential structures. The eastern structure which will be referred to as Building A is non-contributing and sits further south than the western structure. The western structure which will be referred to as Building B is a contributing structure with the northern façade of the original structure designated as primary.

**Property History:**

Building A was listed as contributing until 1999 when under case H-99-004 its’ status was downgraded to non-contributing. This case approved the construction of a portal

to connect the Building A's northern façade to the contributing (Building B) structure's east façade, altering the picture window on Building A to be replaced with French doors, removal of the frame protruding from around front door of Building A and on Building B alter the window opening to install French doors.

In 2001, under case H-01-067 a 485 sq. ft. addition in Spanish-Pueblo Revival style was allowed to be constructed on the western elevation of the Building B. The HDRB did require a 10' setback and a 10' separation from the primary northern façade which created the "u" shape of the structure.

### **Current Application:**

Now, the applicant proposes the following exterior alterations:

- 1) Demolish the 1999 portal on the eastern elevation of the contributing structure.
- 2) Construct a 450 sq. ft. addition on the eastern elevation of the contributing structure to connect to the northern elevation of the non-contributing structure. Two exceptions are requested:
  - a. To exceed 50% of the historic footprint per section 14-5.2(D)(2)(d).
  - b. To construct an addition within 10' of the primary façade per section 14-5.2(D)(2)(d).
- 3) Construct a 150 sq. ft. portal addition on the eastern elevation of the new addition and the north elevation of the non-contributing structure.
- 4) Construct a freestanding 400 sq. ft. carport on the northeast portion of the property.

### **Summary of square footage:**

**Contributing structure existing sq. ft. 460.**

**50% of contributing structure: 230 sq. ft.**

**Non-contributing additions total: 1,950 sq. ft.**

2001 addition 485 sq. ft.

1999 Portal 300 sq. ft. (to be removed so excluded from total)

Eastern non-contributing structure 675 sq. ft.

Rear portal non-contributing structure 190 sq. ft.

New addition 450 sq. ft.

New portal 150 sq. ft.

The applicant has requested two exceptions to exceed 50% of the historic footprint and to construct within 10' of the primary façade per section 14-5.2(D)(2)(d).

### **Staff Recommendation**

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the

application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

### **Applicant Presentation**

Margaret Denny and Ken Payson 755 Acequia Madre, Santa Fe, were sworn.

Mr. Payson said the owners have lived in the neighborhood for a long time. He went over the rebuttal document that was submitted to staff and attached hereto as Exhibit "1".

Ms. Denny said they were originally advised by staff that if downgraded to non-contributing status this project would be fine. Then they were further advised by staff that it would be a better idea to try to go for exceptions because what Ms. McCulley stated was that the Board and the staff don't like to lose a contributing structure. In the applicant's view the primary facade is what remains of that contributing structure based on previously approved additions, west and east and that's still not going to be touched so they went ahead and applied for the exceptions. Ms. McCulley was unconvinced by the applicant's arguments, so they came back with what they consider is the reasonableness of this addition for this particular property and the lot coverage is well within the normal for that neighborhood.

Vice Chair Guida said it's an interesting question one would hope that alterations to a property that are approved by this Board and compliant with the Code, even with exceptions, that those approved additions, if executed correctly, would not diminish the status of the property.

Member Aguilar Medrano asked if they considered the option of reducing the size of the living room by roughly three feet that way only one exception would be needed.

Ms. Denny said the main reason for that was because if they were to go 10 feet back they would have to change the openings.

Member Biedscheid said she'd be in favor of granting both exceptions based on the rationale that the applicant hand shared with the Board.

### **Public Hearing:**

Mary Ray Kate, 1677 Cerro Gordo, was affirmed. The improvements made by current owners were improvements. She's looked at the plans and it will improve the appearance of the neighborhood.

Vice Chair Guida said the setback issue is easier to grant. The 50% rule is funny because it keeps coming back. The question is whether the addition overwhelms an existing contributing structure.

Ms. Denny commented that 50% creates a hardship.

Attorney Ruybalid read the 50% rule from the Code.

### **Board Discussion/Action:**

**Motion:** In Case 2023-007360-HDRB, 1666 ½ Cerro Gordo Road, Member Biedscheid moved to approve the application noting that the exception criteria for both exceptions have been met by the written and spoken testimony by the applicants; noting that the proposed addition matches the external dimensions of the existing portal minimizing the impact of the increased space which is already occupied by an open air portal; the hardship criteria has been met in addressing very limited small original historic space with a minimal connection that provides a livable space connecting the two buildings; and also the hardship is that the property contains two small buildings and that this connection is a reasonable way to respect what is an existing condition without touching the primary facade and then she also noted that this does seem to be the least negative impact act with respect to options available for increasing the size of the house. The motion was seconded by Member Mather.

**Vote:** The motion passed by (3-1) roll call vote with Members Aguilar Medrano, Biedscheid and Mather voting in favor and Member Valdo voting against.

Vice Chair Guida noted that exceptions would need to go to Council for approval.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (2:02:48 – 2:32:21)

13. **2023-007473-HDRB. 802 Don Cubero.** Don Gaspar Area Historic District. Florian Griego, agent for Sarah Flores-Sievers, owner, requests a remodel consisting of replacement windows, on a contributing residence. (Ramón J. Sarason)

### **Staff Report:**

Sitting on a corner lot in the Don Gaspar Area Historic District, 802 Don Cubero Avenue was constructed in the 1920s and altered some 80 years later. The hollow pentile house faces east onto Don Cubero with a modestly scaled porch. The mixed

Spanish Eclectic and Pueblo Revival building encloses roughly 2,942 square feet including a finished basement. The property includes low street walls, a non-historic carport, and an original two-car garage. The house and garage are contributing to the Don Gaspar Historic District.

In Historic Districts Review Board case # 2023-007313-HDRB the Board designated the structure retain contributing status and the north and east facades of the main residence and the north façade of the original garage be designated as primary. The Board also designated the north and east site walls as contributing.

Now, the applicant proposes the following exterior alterations:

- 1) Replace 21 non-historic windows at 802 Don Cubero Ave with Simonton 6200 series. Colonial style with inside grilles, white vinyl duo-pane single-hung on the main floor and small sliding windows in the basement.
- 2) The color of stucco repair will match the current house, which is STO in Pueblo 01005.

The proposed replacement windows will not replicate the style of the windows that historically existed on the house. The August 1982 Historic Cultural Properties Inventory Form includes a photograph that reflects the historic windows on the house. The windows were divided lite wood windows and have a very different character of the current windows. It is also possible that the window openings were also changed in size with the installation of the windows in the 1990s. The proposed replacement windows may threaten the historic contributing status of the building.

### **Staff Recommendation**

Staff does not recommend approval of the proposed project and finds that the application does not comply with Section 14-5.2(D)(5)(a)(i) General Design Standards for all Historic Districts and Section 14-5.2(D)(5) Windows, Doors, and Other Architectural Features. The windows in the 1982 Historic Building Inventory Form, which were the original historic windows, show wood divided lite windows.

In the 1990s wholesale replacement of the windows with aluminum sliders occurred. Staff was not able to find these replacements were permitted in the available records.

Vice Chair Guida asked Mr. Sarason what it would take to satisfy the design standards.

Mr. Sarason said he would like to see windows with divided lights.

Member Aguilar Medrano asked about the vehicular and pedestrian gates and asked Mr. Sarason if he found a record of why they are solid metal.

Mr. Sarason said he could not find any record approving the metal gates.

**Applicant Presentation**

Sarah Flores-Sievers, 802 Don Cubero, was sworn. She said she needs to replace 27 windows. She already purchased the windows, and they are in storage. The current windows leak and she worries about interior damage, She is hoping to install the windows before winter,

Member Bienvenu asked if she had knowledge as to the removal of the original historic windows.

Ms. Flores-Siever said they bought the house with the slider windows.

Member Bienvenu asked about the metal gates.

Ms. Flores-Sievers said they were not informed they were in the historic district. The gates were installed in 2008.

Member Bienvenu asked if approval was given for the gate.

Mr. Sarason said he looked for a building permit and he was unable to find any document.

Ms. Lamboy said if there is something that was added without permission, the applicant would be required to come back to the Board.

Member Bienvenu asked that be followed up on. The gates are not harmonious with the district.

**Public Hearing:**

No public comment

**Board Discussion/Action:**

**Motion:** In Case 2023-007473-HDRB, 802 Don Cubero, Member Aguilar Medrano moved to approve the submittal under the condition that the applicant submit a new window type to staff that more closely mimics the historic windows with true divided lights. The applicant has the option in regard to material, they will not be required to be wood, except

on the primary façade, they will be required to be wood. Member Mather seconded the motion.

Member Biedscheid said she feels like this is a different proposal. She would be more comfortable with a postponement.

Member Aguilar Medrano withdrew her motion.

Member Biedscheid wanted to hear from the applicant about what's possible here and if the applicant agrees with the condition that the windows on the primary facade be true divided light wood windows with the remainder being true divided light but with possibly another more affordable material such as metal clad wood

Ms. Flores said wood windows are more expensive. She doesn't want two different kinds of windows.

Florian Griego, 9245 uh South Farmer Avenue, Tempe, Arizona was sworn. He clarified that for the options available, they do not have a wood exterior window option. Wood windows are either vinyl clad, or metal clad. The proposed cost would be doubled.

**Motion** In Case 2023-007473-HDRB, 802 Don Cubero, Member Bienvenu moved that the case be tabled and reset for a date certain for a resubmission meeting for window proposals that meet the consideration set by the Board this evening. Member Biedscheid seconded the motion.

**Vote:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu, Mather and Valdo voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (2:32:21 – 3:03:26)

14. **2023-007428-HDRB. 600 Old Santa Fe Trail.** Downtown & Eastside Historic District. Non-contributing. Souder Miller, agent for William Parker, owner, proposes to construct a 192 sq. ft. free standing shed. (Ramón Sarason)

**Staff Report:**

The 0.328-acre property was first built in 1900 and included a 5,209 square foot building and a 1,144 square foot canopy. Aerial photography from New Mexico Department of Transportation indicate the Old Trail Garage site was a retail fuel facility

since at least 1958 to removal of the underground storage tanks in April 2009. The property is currently operated as an automobile repair shop.

Now, the applicant proposes the following exterior alterations:

1) The construction of a temporary remediation shed (expected duration 3-5 years), 12 feet wide by 16 feet long (192 square feet) and 12 feet high (2,304 cubic feet). The shed will be constructed of 8-inch-thick concrete masonry units (CMU) with a wood frame and metal flat panel roof. The shed is to be of masonry construction to mitigate potential noise impacts to the adjacent residences. The exterior of the CMU will be finished with mud plaster (color Light Adobe 4023 or Sandalwood 4003 by Sika USA®) to match the existing Old Trail Garage building. There will be one entrance door, a garage style door (to allow equipment units to be installed), and an exhaust stack (14 feet high) for treated effluent to meet air quality and noise ordinance requirements. Stormwater and snowmelt from the roof will drain to gutters which then drain to the edge of the parking lot, similar to the existing building. There are no windows, fencing, or gates associated with the shed.

### **Staff Recommendation**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Staff recommends that, upon completion of the remediation project, the shed and equipment be removed. The structure is intended to be project-specific and temporary in nature. Should the applicant want to retain the building, it will have to be reviewed and approved by the Historic Districts Review Board.

### **Applicant Presentation**

Scott McKendrick, 5454 Denise, Albuquerque, was sworn. He said the site is a historic leaky underground storage tank site contaminant. Of concern at the site is volatile organic HRS. It's critically important that this shed be allowed to be built to ensure protection of human health and the environment. This facility is regulated by the New Mexico Environment Department. Traditionally once the remediation is complete and the site is ready to receive no further action status, they remove the structure most of the time. If the Board has the option to condition the approval that the building be removed, he would be amendable to that.

Vice Chair Guida confirmed that the color of stucco would be the same as the main building and the pull up door and main door are able to be painted.

### **Public Hearing:**

There were no public comments.

### **Board Discussion/Action:**

**Motion:** In Case 2023-007428-HDRB, 600 Old Santa Fe Trail., Member Bienvenu moved that the application be approved as submitted noting that in addition, the applicant has represented that it will be cementitious stucco to match the existing gas station building and that the doors will also will be painted to match; and that the approval is conditioned on the understanding that this structure will be removed as soon as the remediation is completed and the authority is given for removal and that if it has not been removed by five years from the date of approval that the applicant will return to the Board for the Board to decide how to proceed. The motion was seconded by Member Aguilar Medrano.

**Vote:** The motion passed by (5-0) roll call vote with Members Biedscheid, Bienvenu, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (3:03:26 – 3:16:41)

#### 15. 2023-007509-HDRB. 2024 HDRB Calendar Approval

**Motion:** In Case 2023-0074509-HDRB, Member Biedscheid moved to approve the 2024 HDRB meeting calendar. The motion was seconded by Member Aguilar Medrano.

**Vote:** The motion passed by (5-0) roll call vote with Members Bienvenu, Mather, Valdo, Aguilar Medrano and Biedscheid voting in favor and none voting against.

#### 6. **2023-007432-HDRB. 771 W. Manhattan Ave.** Westside-Guadalupe Historic District. Non-contributing residence, Raul Dominguez, agent for Robert Sisneros, owner, requests to remove asphaltic roof material and replace with metal roof, color rustic red. (Ramón Sarason)

### **Staff Report:**

The building at 771 W Manhattan is a single-family residence listed as non-contributing to the Westside-Guadalupe Historic District. The Historic Districts Inventory Form states that the building was constructed post-1945; staff has done some research on historic aerials of Santa Fe In the 1981 aerial, the site is vacant.

By 1985 the home was constructed. It appears to be of frame or CMU construction, has a pitched roof with rust-colored asphalt shingles, and anodized metal windows.

Now, the applicant proposes the following exterior alterations:

1) Replacement of the existing asphalt shingles with a Propanel roof with “Crimson Red” color, which will be similar to the existing accent color on the house as well as the existing shingles.

### **Staff Recommendation**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(I) Westside-Guadalupe Design Standards.

Vice Chair Guida asked Mr. Sarason if he had discussed with the applicant about replacing the roof material in kind with asphalt shingles.

Mr. Sarason said his understanding is that the owner prefers the superior weathering and long-term life of the pro panel as opposed to the asphalt.

Member Aguilar Medrano asked if the finish is matte or shiny.

Mr. Sarason said it's not shiny and he wouldn't call it matte either.

Member Aguilar Medrano asked about the color because there seems to be another option for red. It was called rustic red which is a little bit more muted. Whereas the red they're proposing is described as bright red. She asked if Mr. Sarason ever talked to them about potentially using the rustic red as an alternative.

Mr. Sarason said he believes the applicant would be willing to substitute that color.

### **Applicant Presentation**

Raul Dominguez, 3509 Jon Kim Lane, Santa Fe, was sworn.

Vice Chair Guida asked about the color.

Mr. Dominguez said the color choice was generally from the owner. But he would be willing to change the color at the Board's request.

### **Public Hearing:**

There were no public comments.

### **Board Discussion/Action:**

**Motion:** In Case 2023-007432-HDRB. 771 W. Manhattan Ave., Member Aguilar moved to approve the application with the condition that the applicant uses rustic red as the shade of red rather than crimson red. The motion was seconded by Member Biedscheid.

**Vote:** The motion passed by (5-0) roll call vote with Members Mather, Valdo, Aguilar Medrano and Biedscheid Bienvenu, voting in favor and none voting against.

Member Bienvenu noted that this could have been a different outcome if this were a contributing structure.

To view the entire recording of this item, **see** the YouTube video at: <https://www.youtube.com/watch?v=kTowXumR29o> (3:17:55 – 3:26-36)

### **I. DISCUSSION ITEMS**

Ms. Lamboy updated the Board on the General Plan Update and noted that there are lots of firms interested in working on that. She also provided a brief update on the Land Use Code update. update..

### **J. MATTERS FROM THE BOARD**

Member Bienvenu asked about the tennis courts at St. John's College. He asked if this came to staff for administrative approval.

Ms. Lamboy said it did come for administrative approval and screening is not permitted.

Mr. Moquino said he would check it out when he does the inspection.

Vice Chair Guida talked about staff reporting administrative approvals to the Board. They are a citizens Board and are not required to check the homework of staff. He doesn't think staff needs to be policed in that regard. He said in light of these different roles, it will benefit staff and the Board have training on historic preservation.

Member Bienvenu said on the issue of staff recommendations versus Mr. Murphy's, he thinks Mr. Murphy's HCPI's are informative.

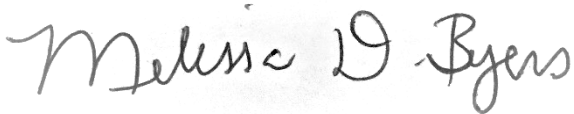
**11. NEXT MEETING:** Tuesday, November 28, 2023

## 12. ADJOURNMENT

**Motion:** Member Aguilar Medrano moved to adjourn at 9:15 pm. The motion was seconded by Member Mather.

**Vote:** The motion passed by (5-0) roll call vote with Members Valdo, Aguilar Medrano, Biedscheid, Bienvenu and Mather ,voting in favor and none voting against.

Submitted by:



---

Melissa Byers, Stenographer  
For Byers Organizational Support Services

Approved by:

---

Cecilia Rios, Chair

11/14/23

**1666 ½ Cerro Gordo Road – Additional comments for HDRB consideration**

**EXHIBIT 1  
HDRB MEETING  
11/14/2023**

### **1. Exceptions vs. Contributing Status:**

After initial review of this proposed living room addition, staff recommended that the owners submit requests for the two exceptions in question, rather than ask for the existing 460 sq.ft. 'contributing' portion to be downgraded to 'non-contributing.' As explained to the owners, this recommendation reflected staff's current reluctance to 'lose' contributing structures by downgrading their status.

Interestingly, the HDRB has previously approved the substance of these same two exceptions (to reduce step back from the primary façade, and to exceed the 50% rule) to this same 'contributing' structure. The first, allowing the step back from the primary façade, was approved in 1999, with the addition of a 300 sq.ft. portal to the East side of the structure, with a 7'-3" primary facade setback. The currently proposed project asks to maintain that 7'-3" setback, which has been in place for 23 years.

The second, approved in 2001, was to add a 485 sq.ft. addition to the West side of the 460 sq.ft. 'contributing' structure- a more than 100% addition. The proposed 450 sq. ft. living room addition is less than that.

The only remaining untouched exterior element of this 'contributing' structure is the Primary (North) façade, which will continue to remain unaffected by this proposed addition.

If these requested exceptions are denied, we would request the HDRB to consider downgrading the status of this structure to 'noncontributing', reflecting the impact of the previously approved changes to that portion of the residence. A 'noncontributing' status would enable the owners to meet all H-board requirements for their very reasonable addition.

### **2. Lot Coverage**

The 40% lot coverage rule would allow 5,300 sq.ft. of roofed area (lot coverage) on this property. The proposed addition along with the proposed carport will bring the total roofed area to 3,356 sq.ft. – from 20% to a little more than 25% lot coverage. (This includes a 400 sq.ft open carport and 354 sq.ft. of portales.) Given the topography and shape of the lot, the proposed living room addition is on the only remaining buildable spot on this property. The other unbuilt areas are on steep slopes, narrow widths, or both, and are unsuitable for development.

The average lot coverage in the immediate area of this property (3 homes to each side) is approximately 25% - very close to what these owners have proposed.

### **3. Floor Area**

This 1,658 sq.ft. home contains two bedrooms, a home office, a small dining room and kitchen, and two modest bathrooms. There isn't an interior living room. Staff's suggestion of enclosing the existing 1999 portal wouldn't meet the needs of the owners, and would require constructing a new floor slab, foundation, adding insulation and finding a way of providing heat to this portion of the home. It would simply be an expensive wide hallway.

The average home size (interior, heated floor area) on the 6 neighboring properties is 3,365 sq.ft. If this addition is approved, the floor area of this home will be 2,108 sq.ft., one third less than surrounding properties. We feel that this is also a compelling reason to allow this project to go forward as designed.

#### **4. Preserve Property Values**

In code section 14.5.2 (A) (1), under the heading of 'General Purpose,' the code states that the Historic Districts ordinance endeavors to 'preserve property values.' We believe that strict adherence to the ordinance, based on the 'contributing' status of Building B, would have the opposite effect on this property.

The owners, both over 65, plan to age in place on this property. After living for many years with the inconvenience of a 2-part disconnected house, the owners wish to improve their property for their safety and comfort, and in anticipation of their future needs. (They are anticipating having a family member or live-in help move in in the future.) Granting the exceptions to allow this project to go forward as designed would enable these owners to complete the natural evolution of their home.

Based on staff recommendations, the owners wouldn't be able to create a home with a comfortable living room and complete interior access. The improvements they seek meet their long-term health and safety concerns, and also reflect contemporary living standards, thereby preserving property values.

Staff response to criteria (v.) of Exception #2 states *"He is the applicant that requested the 1999 portal addition rather than an enclosed addition. Therefore, the property's current conditions are a result of the owners' actions."* The 1999 portal project was aligned with the owners resources at that time. It was never considered an ideal solution, or 'action,' as staff's response implies. Staff's response fails to acknowledge that over time property owners may have more resources at their disposal than they did decades earlier.

Many homes in the area are far larger and take up more of the allowable 40% lot coverage. Approval of this proposed addition would enable the owners to have a still modest home more aligned with the other neighboring properties and with current living standards.

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-6503-HDRB**

**Address** – 1243 Canyon Rd.

**Agent’s Name** – Martinez Architecture Studio

**Owner/Applicant’s Name** – Price Lind Holdings

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 12, 2023.

**BACKGROUND**

The property at 1243 Canyon Rd. has a single-family adobe main residence in the Spanish Pueblo Revival style that is listed as non-contributing, and a hollow-core ceramic tile guest house in the Spanish Pueblo Revival style that is listed as contributing, in the Downtown and Eastside Historic District. The main residence was originally constructed in 1932-1933 and has been significantly altered from 1992 through 2000. The guest house was constructed in 1950, a concrete masonry addition was constructed on the west elevation in 1988, and all windows were replaced at an unknown date prior to 2004.

On November 30, 2004, the HDRB held a status review for the property under case H-04-161A. The HDRB downgraded the main residence from contributing to non-contributing and upgraded the status of the guesthouse from non-contributing to contributing.

On September 8, 2020, under Case # 2020-2421-HDRB the HDRB approved partial demolition, new additions, and window replacements on the main residence. May 26, 2021, under Case # 2021-3674-ADMIN an administrative approval was issued granting changes to the HDRB case for the main residence and guest house. A construction permit for this work was issued in 2020 and revised in 2021.

On July 27, 2021, under Case # 2021-3907-HDRB, the HDRB approved construction of new gates and a 550-square-foot garage to the east side of the property, and alterations to the existing garage on the west side of the property. No construction permit has been issued for this approval yet.

Now, the applicant proposes alteration to the design of the west garage by changing it to an exercise room and open carport, and minor alterations to the main residence and east garage approvals. To the previously approved drawings from Case # 2020-2421-HDRB and the administrative approval Case # 2021-3674-ADMIN, these changes are being requested as a change during construction:

**Main Residence:**

- A square 2’x2’ awning window (G) was added to the closet to allow for more light on the north elevation. See 2/A-3.0.

- Window (W) was added to the hall, which is under an existing portal on the north elevation. The laundry closet was made smaller to accommodate this window. See 2/A-3.0.
- The portal/overhang addition on the north elevation at the master bedroom sitting area has been eliminated (4). See 2/A-3.0.
- The fixed door panel (#13) on the east elevation has been changed to a window. See 4/A-3.0.
- The corbels under the vigas (2) that stick out from the entry portal addition on the east elevation have been eliminated. See 4/A-3.0.
- The steps in the courtyard on the west elevation have been re-configured and a planter has been added (2-3). See 1/A-2.1.

West Garage:

- Reconfigure from a two-car garage to a single carport with an exercise room by enclosing the southern half of the unit.
- Altering the openings of this southern half to include a smaller window, instead of an overhead door, on the west, and a window and door opening on the north, under the carport.
- On the northern half, remove the previously planned walls on the northern and western sides to create an open carport for a single vehicle.
- Reconfigure the layout of the northern portal.
- Eliminate the yardwall and gate between the carport and walkway to the pool.
- Install a gate between the pool stairs and the bathroom doorway.
- Install a stacked stone planter wall to the east of the carport and exercise room building.
- Alter the swing of the gate to the south of the exercise room to swing toward the stairs.

The following are changes to the previously approved drawings from Case # 2021-3907-HDRB:

East Garage:

- The small portal and door on the west elevation of the east garage have been moved south on the west elevation, the portal has decreased in size, and the buttress has been eliminated. See 4/A-3.2.
- The yard wall has been reconfigured to avoid removal of a tree.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC

requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves all 16 project changes as set forth in the Application, and as recommended by Staff.

**IT IS SO ORDERED ON THIS 28th DAY of NOVEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn F. Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-7140-HDRB**

**Address** – 1369 Cerro Gordo Rd.

**Agent’s Name** – Patrick D. McDowell

**Owner/Applicant’s Name** – J. Nold Midyette

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 12, 2023.

**BACKGROUND**

The property at 1369 Cerro Gordo Rd. is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The closest building on the lot to Cerro Gordo Road is approximately 300 feet down a gated and locked private drive.

The property has four buildings: a primary residence with a guest house on the west side of the property, a secondary residence with garage on the east side of the property, and a workshop with carport to the north of the secondary residence located on the east side of the property. All structures on the property are listed as non-contributing and are referred to as non-contributing in all HDRB cases since 2016. However, no status review of the property is on record, and the Historic Preservation office has no inventory for the property. However, given that substantial and multiple additions have been made since 2016, which shows in case summaries and photos from case packets, Staff determined that the property continues to be a non-contributing property.

The shop with carport is the focus of this case. The shop is adobe and was most likely constructed as one of the original structures on the property in 1932. An addition to the shop was built on the north side at an unknown date, but is historic. The carport is a much later addition to the shop. The carport is constructed out of scrap materials including boards, latillas, concrete, and old clay tiles salvaged from other properties. The Applicant believes that the carport was added sometime in the late 1970s.

Now, the applicant proposes the following exterior alterations:

1. Enclose the existing carport and alter its design by removing the tile roof, raising the roofline, redirecting the slope to the east, and installing a parapet, a TPO roof, canales on the east elevation, install viga tails and beams with patina covers on the west elevation, and match the garage doors to the other property garage doors. The height of the garage will match the shop portion of the building at a height of 14’4”.
2. Install a concrete foundation where none exists in the carport/garage.
3. Repair and clean up existing windows on the south and north elevations. The windows

will remain and be repaired. The wood encasing the windows will be stained to match the residence's darker brown, natural wood color.

4. The full structure (shop and garage) will have stucco applied using El Rey cementitious "Adobe" stucco.
5. Install a viga-topped portal roof at the center door of the structure on the west elevation. The header above the door will be removed.
6. Install double doors at the shop building. The shop currently has two windows with headers on the north end of the west elevation. These will be removed, and the wall infilled to fit the double doors with header.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1-6 as set forth in the Application, as recommended by Staff.

**IT IS SO ORDERED ON THIS 28th DAY of NOVEMBER, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Geraldyn F. Cardenas  
Interim City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

# City of Santa Fe, New Mexico

# memo

**DATE:** November 28, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning & Land Use Department

---

**2023-007552-HDRB. 50 Mt. Carmel Rd, Fatima Building.** Historic Review Historic District. Contributing. Lisa Gavioli, JenkinsGavin, Inc., agent for Santa Fe RC2, LLC c/o Modern Elder Academy, proposes to replace non-historic doors on the south and west primary facades.

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Door Assessment  
Original Fatima Plans

## **STAFF RECOMMENDATION:**

Staff recommends approval of the proposed door replacement on the Fatima Building and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and Section 14-5.2(C), Regulation of Significant and Contributing Structures in the Historic Districts.

## **BACKGROUND & SUMMARY:**

The Mt. Carmel campus offers a rich history that exemplifies an evolution of uses while maintaining the historic character. The campus has many different buildings that have served a variety of purposes over the years.

The first use of the property was the Sunmount Tent City, which was established in 1902 to serve the “lungers,” people moving to the west from the east in order to recover from tuberculosis with the help of Santa Fe’s dry climate. When the tent city was on the verge of collapse, Dr. Frank Mera and his brother Harry bought the tent city and improved the campus, rebranding it as Sunmount

Sanitorium. One of the first buildings on the site is now part of the Carmelite Monastery and is on the western portion of the site. Next the Santa Maria building was constructed due to the expanding number of patients at the sanitorium.

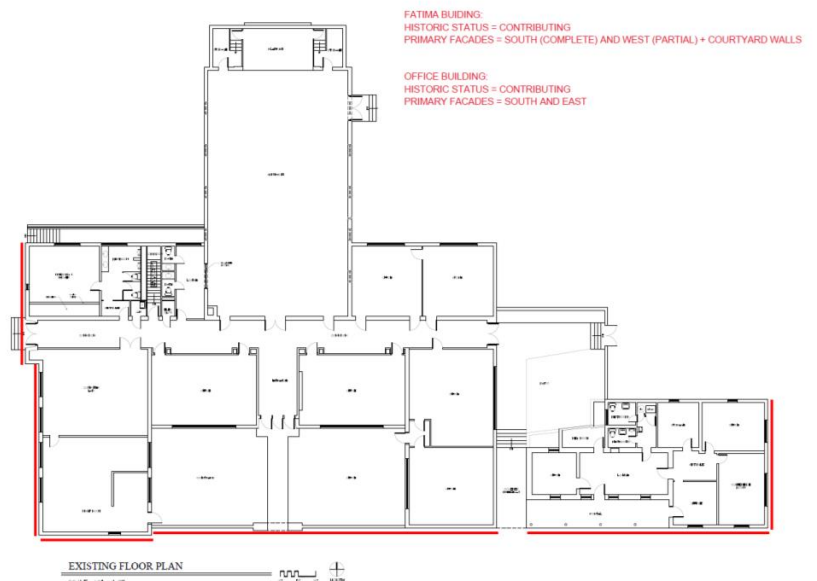
Sunmount closed its doors in 1937 and the main buildings were renovated by John Gaw Meem (who had been a patient at Sunmount and became a noted Santa Fe architect) and Frank Mera and reopened as the Santa Fe Inn. The Inn was short-lived and in 1944 the US Army requisitioned the property for additional space for the Bruns Army Hospital, which had run out of room at its facility on the current-day Midtown campus.

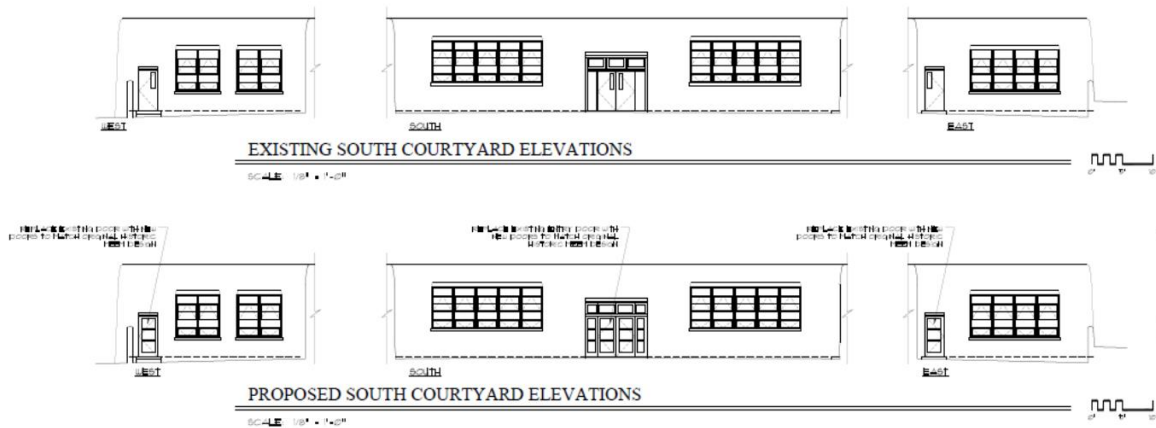
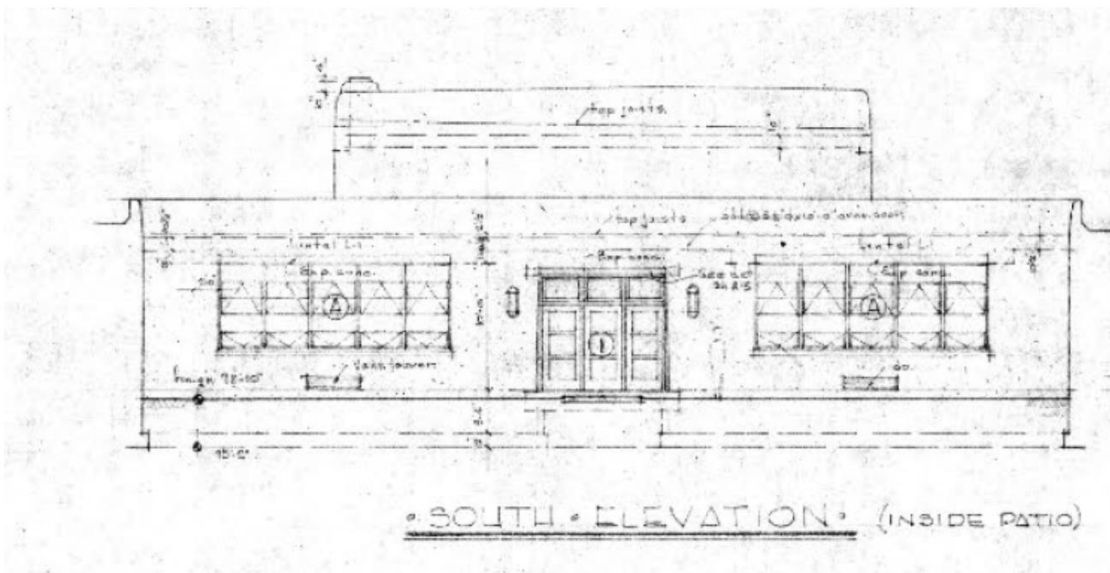
After the war the Archdiocese of Santa Fe purchased the property for use as a seminary, which eventually became the home for the Santa Fe Order of Carmelite Sisters. Many of the original buildings of the sanitorium were reused, as well as 2 others constructed – a high school building as well as the chapel. Many of the buildings on the campus are a physical record of the time, place and use, and relate to significant events and people in the history of Santa Fe.

The Fatima Building is illustrative of the evolution of the campus over time. The building was designed by Meem, Zehner, Holien and Associates in 1951 or 1952, and it represents the continuing involvement of John Gaw Meem in the development of Mt. Carmel. As such, the building is representative of significant persons in Santa Fe's history, and is representative of the institutional styles used, including the aluminum windows. As such, staff recommended the building be designated as contributing. On July 26, 2022, the HDRB designated the Fatima Building as contributing to the Historic Review Historic District, and the south and west elevations were designated as primary.

A door and window assessment was conducted and the doors that are proposed to be replaced were installed in the 1980s. The applicant is proposing replacing the doors

with the proposed door design matching the original door design utilized when the building was originally designed. In addition to the replacement on the south and west primary elevations, the applicant proposes that non-historic doors be replaced on the non-primary façade on the east elevation as well.





**RELEVANT CODE CITATIONS:**

**Section 14-5.2(A)(1) General Purpose**

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

**14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts**

**(1) Purpose and Intent**

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

**14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

**14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

### To Be Completed By Applicant:

Date Submitted: 11/7/2022

Property Owner of Record: Santa Fe RC2, LLC

Applicant/Agent Name: JenkinsGavin, Inc.

Contact Person Phone Number: (505) 820-7444

Zoning District: R-2

- Overlay:
- Escarpment
  - Flood Zone\*
  - Other: Historic Review District

### Submittals Reviewed with PZR:

- Legal Lot of Record
- Development Plan
- Building Plans
- Existing Site Plan
- Proposed Site Plan
- Elevations

### Supplemental Zoning Submittals Required for Building Permit:

- Zero Lot Line Affidavit

### Access and Visibility:

- Arterial or Collector\*\*
- Visibility Triangle Required

### Use of Structure:

- Residential
- Commercial Type of Use: "Colleges & Universities, Residential" - Special Use Permit Application In Review

Terrain:  30% slopes N/A

\* Requires an additional review conducted by Technical Review Division.

\*\* Requires an additional review conducted by the Traffic Engineering Division.

### Site Address:

50 Mount Carmel Rd

### Proposed Construction Description:

Renovations to Existing Buildings + Construction of New Building

TOTAL ROOF AREA: 55,173 sq. ft. (new = 11,696 sq. ft.)

Lot Coverage: 71.9 %

Open Space Required: 25%

### Setbacks:

Proposed Front: 55 ft Minimum: 7 ft. 2nd Front? \_\_\_\_\_

Proposed Rear: 75 ft Minimum: 15 ft.

Proposed Sides: L 5 ft R 28 ft Minimum: 5 ft. (L - from proposed lot line at parking lot tract)

Height: Proposed 18-ft 2-in

Maximum Height: 22-ft 1-in or

Regulated by Historic Districts Ordinance

Regulated by Escarpment District

### Parking Spaces:

Proposed 72 Accessible 4

Minimum: 65 (per Parking Demand Study)

### Bicycle Parking\*\*:

Proposed: 12 Minimum: 10

\*\* Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lisa Gavioli, JenkinsGavin, Inc.

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

*Lisa Gavioli*

SIGNATURE

11/7/2022

DATE

### To Be Completed By City Staff:

2022-006098-PAR

### Additional Agency Review if Applicable:

- Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_
- Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_
- Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Notes: \_\_\_\_\_

### Zoning Approval:

Preliminary Approval  with conditions  Rejected

Comments/Conditions: \_\_\_\_\_

submitted as currently designed or the H

office.


REVIEWER: *Lani J McCulley*

DATE: 11 / 09 / 2022

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

## Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria A B C D		
<b>1. Name of Property:</b> Fatima (School) Sunmount Sanatorium / Immaculate Heart of Mary Campus	<b>2. Location:</b> 50 Mt Carmel Road Santa Fe 87505	<b>3. Local Reference Number:</b> 16004613 (City of Santa Fe parcel ID number)
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Site <input type="checkbox"/> Object		<b>4. County</b> Santa Fe
<b>6. Date of Survey:</b> 05 / 17 / 2022	<b>Photo:</b> 	
<b>7. Previous Survey Date(s):</b> / / <input checked="" type="checkbox"/> No previous survey		
<b>8. Name of Project:</b>  Modern Elder Academy – Sunmount Campus 2022 Survey		
<b>9. UTM</b> Zone: 13S Easting: 416834.67 Northing: 3947679.97		
<b>10. Photo Information</b> Roll #: _____	<b>Negative Location:</b> DIGITAL FILE <b>Frame #:</b> _____	<b>View of:</b> South Elevation
<b>11. Brief Description of the Property:</b> One story symmetrical irregular plan building with south-facing entrance within a three-part elevation - with a projecting-block each side of a recessed entry courtyard - marked by a stepped entry gate in a partial-height wall. The building and courtyard walls are covered in medium-earth-toned cementitious stucco. The building has a flat roof and parapets, with a double-height auditorium / recreational space at the north. The tall mass in the rear (north) has one small interior chimney at the elevated section, on the southwest. Projecting canals provide roof drainage. Windows are ganged 4 or 5-light aluminum, with top and bottom windows awning style for ventilation, in bullnosed openings with latte painted exposed lintels and concrete sills. One window at the northwest has a metal security grille over the opening, with a multi-cross and zia motif. One window at the north on the west elevation has applied plank bars. Doors are single and double-leaf latte-painted metal doors, with and without partial lites, with exposed lintels. The main front entry door has sidelights and a transom. Some doors have multi-lite transoms. Two decorative tin sconces decorate the entrance. Pathways in the entry court are brick.		
<b>12. Who uses the property?</b> The property is currently owned by the Modern Elder Academy and used by the Santa Fe Photographic Workshops.		
<b>13. Construction Date:</b> Dates: 1951/1952 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated <b>Source:</b> Project files at the Center for Southwest Research		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban <b>If Urban:</b> <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar <b>Comments:</b> The facility is located adjacent to St. John's College, the Carmelite monastery, and Sandia Prep, and across from the National Park Service headquarters, in an "academic and spiritual village" at the base of Sun Mountain, and surrounded by single family homes on large plots as well as some attached condo-type units.		



**Historic Cultural Properties Inventory (HCPI) Continuation Sheet**  
**Historic Preservation Division, New Mexico Department of Cultural Affairs**

For HPD Office use only: HCPI No.		District No.
<b>1. Name of property:</b>  Fatima (School) Sunmount Sanatorium / Immaculate Heart of Mary Campus	<b>2. Location:</b>  50 Mt Carmel Road Santa Fe 87505	<b>3. Local Reference Number:</b> 16004613 (City of Santa Fe parcel ID number)
		<b>4. County</b> Santa Fe
		<b>5. Date of Survey:</b> 5/17/2022

(continued from HCPI Form 1, Page 1, Item 11)



Figure 3. West Elevation – south half

(continued next page)

Historic Preservation Office, New Mexico Department of Cultural Affairs



Figure 4. West Elevation – north half + North Elevation of Auditorium



Figure 5. Rear Courtyard at Northeast

(continued next page)



Figure 6. Entry Courtyard detail



Figure 7. Security Bars at South



JENKINSGAVIN  
LAND USE | PROJECT MANAGEMENT

October 16, 2023

Heather Lamboy, Planning and Land Use Department Deputy Director  
Historic Preservation Division  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87501

**RE: Modern Elder Academy, 50 Mt. Carmel Road  
Proposed Door Replacements at Fatima Building**

Dear Heather,

This letter is submitted on behalf of Modern Elder Academy / Santa Fe RC2, LLC (“Applicant”) in application to the Historic Districts Review Board (“HDRB”) for review of proposed door replacements at the Fatima Building located at 50 Mt. Carmel Road (the “Property”). In July 2022, the HDRB assigned historic status for all existing structures on the Property, and primary facades were designated. In January 2023, the Board of Adjustment approved a Special Use Permit for the Property, in order to add one new building to support the continued educational use of the former Immaculate Heart of Mary Retreat Center and its adaptive reuse as the Sunmount Campus of the Modern Elder Academy. Now, the Applicant proposes door replacements at the Fatima Building – a contributing structure.

The ±12.41-acre Property is located at the terminus of Mt. Carmel Road in the Historic Review District. On the north, there is street frontage along Camino de Cruz Blanca. Access to the Property is gained via Mt. Carmel Road, which runs east-west from Camino del Monte Sol, terminating in a private drive on the Property. The Property is adjacent to the parcel at 49 Mt. Carmel Road, which remains under the ownership and occupation of the Discalced Carmelite Nuns of Santa Fe.

Historical Background

The collection of buildings located on the Property are associated with historical use of the site as the Sunmount Sanatorium, the Santa Fe Inn, and the Immaculate Heart of Mary Seminary and Retreat Center. The Property sits on relatively flat land at the base of Sun Mountain. The site slopes gently toward the Arroyo del los Chamisos to the south, which roughly aligns with the southern property line. The existing buildings on the Property were constructed between c. 1900 and 1962. More detail on the Fatima Building can be found in the attached timeline and HCPI form.

As stated above, the HDRB reviewed historic status and designated primary facades for all existing structures on the property. Historic status and primary facades for the Fatima Building are depicted on an attached exhibit. A summary of dates of construction and modification,

notable architects involved in design, and historic status assignments is provided below for Fatima Hall, for which door replacements are proposed in this application:

<b>Building Name</b>	<b>Dates of Construction / Modification</b>	<b>Designed by</b>	<b>Historic Status &amp; Primary Facades</b>
Fatima Hall	<ul style="list-style-type: none"><li>• 1952 as high school for IHM Seminary</li></ul>	<ul style="list-style-type: none"><li>• 1952 original design by Meem, Zehner, Holien and Associates</li></ul>	Contributing  South and West (partial) Primary

### Proposed Door Replacements

A renovation program focused on maintenance and repair was approved administratively for the Fatima Building on the subject property earlier this year. Over the course of refining the renovation program, the Applicant has determined that it would be most advantageous to the restoration of the building to replace the existing non-historic exterior doors on the building to match the design of the doors in the original design plans (see attached). Some of these doors are located on the south and west primary facades and as a result must be reviewed by the HDRB, per guidance from staff. A door assessment was conducted and that documents the existing doors painted wood doors with diamond wire float glass date to the late 1980s. Photos of the existing doors are included in this assessment, and the proposed door design in the attached plan set matches those in the original elevation drawings (see attached).

Please let me know if you have any questions or require any additional information.

Sincerely,



Lisa Gavioli  
Senior Project Manager  
**JENKINSGAVIN, INC.**

### Attachments:

- 1) Historic Districts Application Form
- 1a) Authorization Form
- 2) Vicinity Aerial
- 3) PZR Form – MEA Sunmount Campus (2022)
- 4) Photos of Existing Fatima Building
- 5) Historic Status and Primary Façade Designations – Fatima Building
- 6) Historical Timeline
- 6a) HCPI Form – Fatima Building
- 6b) Original Elevation Drawings – Fatima Hall
- 7) Door Assessment – Fatima Building South Courtyard (Typical)
- 8) Fatima Building HDRB Plan Set – October 2023



GARCIA ST

CAMINO RANCHEROS

CAMINO SAN ACACIO

CALLECITA MERA

CALLE ROMOLO

CAMINO CABRA

CALLE PICACHO

CALLE DEL RESPLANDOR

CAMINO MIRADA

CAMINO RANCHEROS

CAMINO DEL MONTE SOL

CAMINO DE CRUZ BLANCA

MOUNT CARMEL RD

CAMINO PINONES

OLD SANTA FE TRAIL

CAMINO LEJO

## Historical Timeline – 50 Mt. Carmel Road

1890-1940 Sanatorium Movement Period of Significance (decline begins during Depression)

Between 70 and 90% of US and Europe is TB positive at some point. Consumption is the single biggest killer in the US, killing 1/5. There is no cure, and barely any treatment. The best bet is to find a place with a climate “like Davos” (the European equivalent of NM and it’s top TB resort), where patients can take in fresh air, rest, and good food.

1868’s - 1912 Concerted effort in NM to attract well-off Anglos to entice statehood.

Good timing, as TB brought the well-educated, artists, professionals, academics, writers, politicians, and business people. Many stayed. This becomes a story about migration. Many have to live in tents because there is either not enough money or no rooming house with a space. Fresh air, however, is considered a good treatment for TB, and is part of the first approach used, called “Heroic Therapy” - where people live and work hard in rough, exposed conditions... which leads to our ranching (for people who wanted to try and stay) and dude ranching (for short term visitors) traditions. “They came to heal and stayed to paint.”

TB Transplants to NM: Billy the Kid (his mom had TB); 1904 Carlos Vierra was the 1<sup>st</sup> artist to arrive (from NYC. Pecos ranch, then St Vincents. He opened a photog studio on the plaza and started painting after he got well. He started his quintessential house in 1918.); Kaune (businessman/grocer); Gormley (who had a store on Canyon Road); 1912 Gerald Cassidy (Born in KY. Came from NYC. comes from curing in ABQ, and in 1915 is the first artist to buy a house on Canyon Road); 1913 Sheldon Parsons (from NYC. famous for portraits of Pres. McKinley and Susan B Anthony but becomes a landscapist here. Daughter Sara would marry artist Victor Higgins of Taos.); Edgar Hewitt (whose wife Cora had TB and was treated before her passing at St. Vincents); Kenneth Chapman (Trained at Art Inst Chicago. Came from Milwaukee. Las Vegas curer, met Hewitt, who was head of NM Normals College)

1900

- Establishment of Sunmount tent city in the “southeast corner of the city” by Mayor A. R. Gibson. The facility was modeled on California’s Coronado Beach. It

was envisioned as a suburb of the city, with lots sold for tents and eventually homes. In 1904, it had 50 tents.

- Current office building possibly built at this time, likely as stables or residence.

1906

- Tent city goes out of business, Drs. Frank and Harry Mera purchase the property, after Frank visits Santa Fe in 1903. Reopens in September.
- Begin process of replacing tents with cottages, as Frank Mera doesn't believe the harsh reality of living in tents through Santa Fe winters is ideal.
- Some simple frame buildings were constructed with pitched shingle roofs. Most were demoed in later renovations in favor of the romanticized regional style ushered in by Rapp, Meem, Vierra, Nusbaum, Mera, Hewitt, and their contemporaries.
- Brochures sell Sunmount on its horseback riding, camping trips, croquet, and billiards.
- Supposedly 100% of (early TB) patients who stay 3 month or more are cured.
- BY 1908, no more tents are allowed to be erected by lungers in SF.

1914

- First Sanatorium building built (“West Building”, now part of Carmelite monastery); designed by Isaac Rapp. Combined with the cottages, Sunmount can accommodate 30 patients. It's slightly more expensive than St. Vincents, so it draws a different crowd – one with more money and time.
  - This was Rapp's third attempt to create a model for Spanish Pueblo Revival Architecture, after the 1911 Elk's Club and the 1913 Gross Kelly Warehouse. These, before the beloved 1915 Panama-California Expo's precursor of the 1917 NM Museum of Art (which was a replica of a 1908 warehouse building in CO, a surprisingly faithful replica of the Acoma church and convent.)
  - Unlike Vierra, Chapman, Mera, Nusbaum, and the other avocational designers... EVEN MEEM, Rapp was an extremely gifted and well-versed and trained architect, and while he was known for his Beaux Arts works in NM, he did *\*all\** kinds of buildings. He designed in unusual European styles the vast majority of his peers would never even attempt.
  - Rapp also designed St. Vincents Sanitorium in 1910, however, not in the new style. It can house 75 patients.

1919

- Official establishment of Sunmount Sanatorium, after Dr. Frank Mera returns from service as an army doctor in Texas during WWI / Spanish Flu epidemic. The hospital was proudly run with no government funding.
- Unknown date: Mera becomes known for curing childhood and bone TB.

1920

- By 1920, 10% of New Mexico's population were health-seekers.
- “Sanitorium East” building constructed by I.H. Rapp, Rapp, and Hendrickson.
- John Gaw Meem becomes a patient at Sunmount in Spring 1920, as Rapp’s second (east) building is being designed (drawings done in May), and would spend 18 months there, watching it be built. Mera introduces JGM to Rapp as well as fellow Portuguese speaker Carlos Vierra, who would become a mentor of sorts. JGM learns he has a gift for sketching architecture when he becomes involved in 1921 with the Committee (later Society) for the Restoration and Preservation of NM Mission Churches. Leaves 1922 to go to architecture school in Denver.
  - Rapp closes his firm in 1921 and leaves SF after the deaths of two of his partners. This leaves a gaping design hole.
- After building phase, Dr. Harry Mera and his family leave Sunmount when he is named Curator of the Laboratory of Anthropology.

1924

- John Gaw Meem returns to Sunmount after 16 months of hard work / architecture school resulted in relapse. He recovers quickly.
  - Meem establishes firm of Meem and McCormick in “shack” on the property, begin developing additions and renovations of residences throughout Santa Fe.

1927

- The Old Santa Fe Association is born at Sunmount, in response to plans by the Texas Chapter of the National Federation of Club Women to buy property around the sanatorium and turn it into a southwest Chautauqua.

1929-1939

- The Great Depression.

- Meem becomes deeply involved with New Deal projects throughout the state.

1937-8

- December 1, 1937 Sanatorium closes.
- June 1, 1938 Santa Fe Inn remodel done. The venture only lasts a few years.
  - Meem partners with Dr. Mera and designs the remodel. 2nd time Meem renovated Rapp's signature Spanish-Pueblo Revival buildings, after the La Fonda in 1929.
  - The portale and gate are added.
  - Tennis court added.

1940s

- Streptomycin is discovered to cure TB.

1944

- Army requisitions empty Sanatorium to serve as auxiliary space for Bruns hospital during WWII.

1946

- Roman Catholic Archdiocese of Santa Fe purchases the property and renovates buildings to become a six-year seminary, and later, also a home for the Santa Fe order of Carmelite Sisters (est. 1945). At the time, the property consists of 17 acres, 2 large buildings, 3 small buildings, athletic field, and tennis courts.

1952

- Construction of high school building (Fatima); designed by Meem, Zehner, Holien, and Associates. Holien designs, Zehner does CA, JGM oversees.

1961

- Drawings completed by McHugh and Hooker, Bradley P. Kidder and Associates for new buildings for the Immaculate Heart of Mary Seminary to include San Juan – a high school dormitory, San Miguel – the priests' residence, a distinctive modern Santa Fe style chapel with stunning Byzantine style mosaics by Dean Holt 1964, and remodeling of Santa Maria / Main Building as a residence hall.

1962

- Grand opening of Immaculate Heart of Mary Seminary

1993

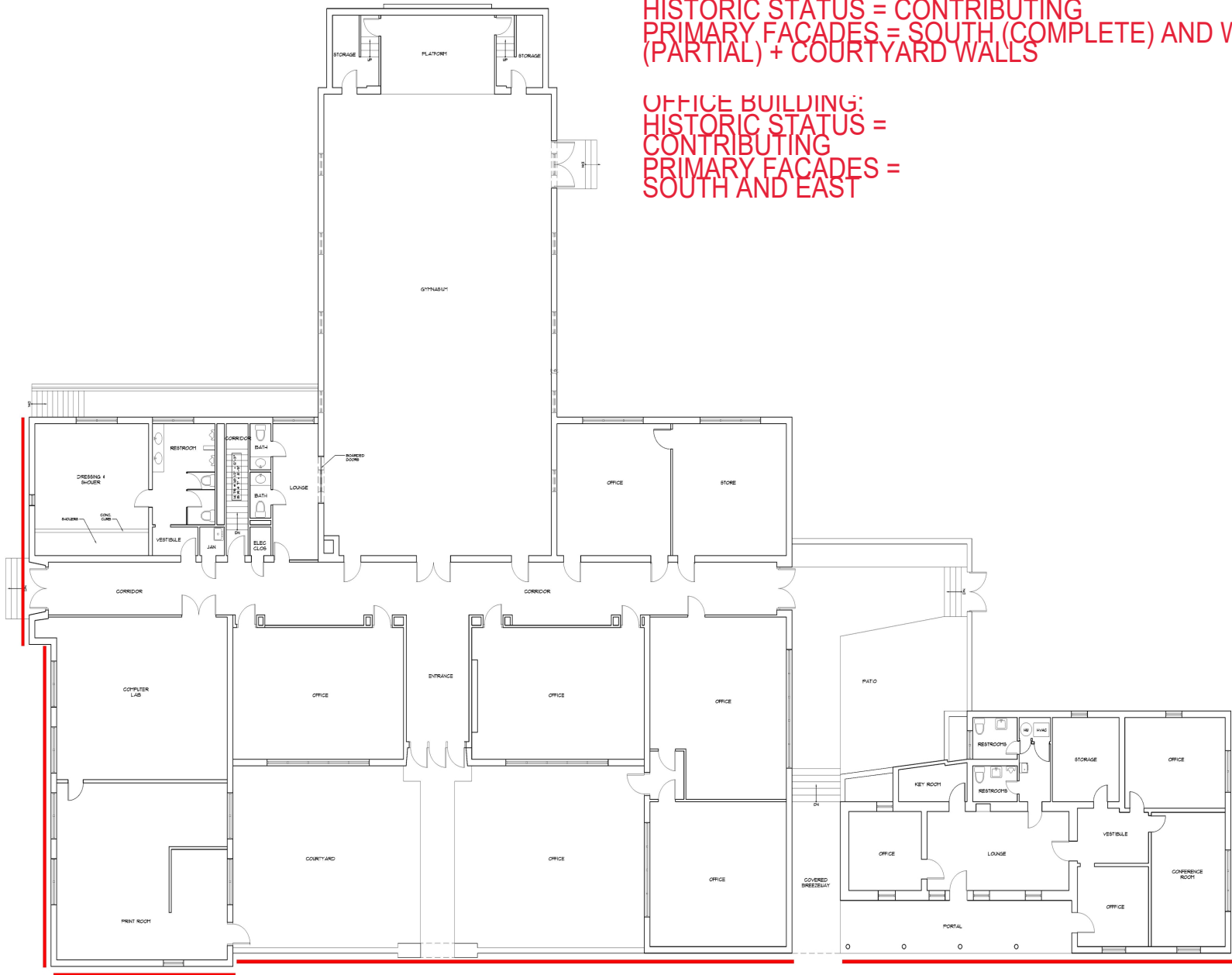
- Site becomes Immaculate Heart of Mary Retreat Center

2022

- Site is purchased by Modern Elder Academy for retreat center.

**FATIMA BUILDING:  
HISTORIC STATUS = CONTRIBUTING  
PRIMARY FACADES = SOUTH (COMPLETE) AND WEST  
(PARTIAL) + COURTYARD WALLS**

**OFFICE BUILDING:  
HISTORIC STATUS = CONTRIBUTING  
PRIMARY FACADES = SOUTH AND EAST**



**EXISTING FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



ARCHITECTURAL  
LINE  
612 OLD SANTA FE  
TRAIL  
SANTA FE - NEW  
MEXICO 87501  
PHONE 505-988-  
5269  
WEBSITE  
www.archline.com

DO NOT SCALE  
DISTANCES OR TO  
VERIFY  
ALL EXISTING  
CONDITIONS AND  
DIMENSIONS - NOTIFY  
ARCHITECT  
OF ANY  
CHANGES  
THIS DRAWING IS THE PROPERTY OF  
ARCHITECTURAL LINE AND IS NOT TO BE  
REPRODUCED OR USED FOR ANY OTHER  
PROJECT WITHOUT THE WRITTEN  
CONSENT OF ARCHITECTURAL LINE  
CONSTRUCTION

REVISION/SUBMISSION	DATE

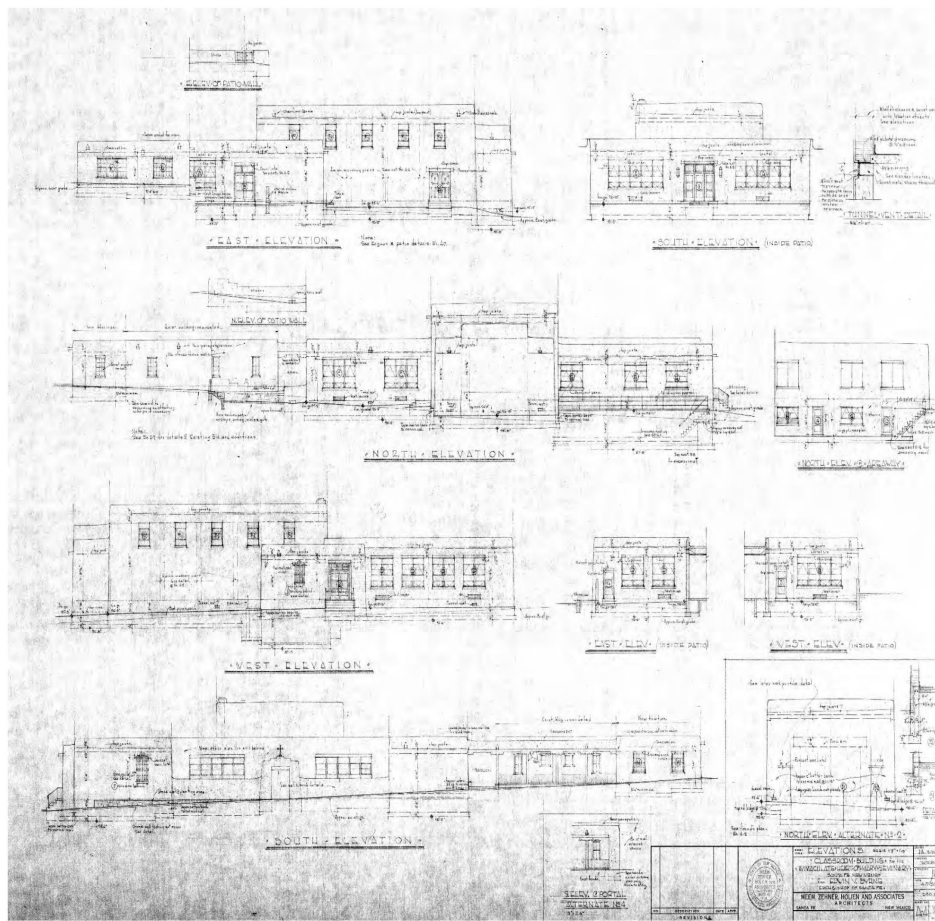
STAMP

PROJECT  
TITLE  
**MEASUNMO  
UNT  
FATIMA  
&  
MAIN  
OFFICE**  
4 & 5th St.  
Carmel Road  
Santa Fe,  
NM

PROJECT NO. 22-06  
CHECKED BY E.E. DATE 06/10/22  
DRAWN BY HR. DATE 06/10/22  
SHEET TITLE

AXIS11  
AG  
FOR  
PLAN  
SHEET NO. **13**

Architect  
drawings,  
Fatima Hall.  
Meem,  
Zehner, Holien  
& Associates,  
1952.





In closing, my professional opinion is that Doors # 1, 2 and 3 are non-historic doors. The jambs/frames are the only historic items of the 3 units. If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Re-N.*  
*Patterson* \_\_\_\_\_

RPA & ASSOCIATES | WINDOW & DOOR CONDITION AND INTEGRITY CODES

COD	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION. PUTTY GLAZING INTACT. ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS. PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% - 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE. PUTTY GLAZING CRACKING AND MISSING IN 30% - 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% - 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED. PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTE  
S:

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & GRADE CODE	HISTORIC/NON-HISTORIC - AGE
SOUTH – DR #1	120" x 108" DOUBLE HUNG DOOR AND WOOD TRANSOM/WOOD SIDE LIGHT, WOOD JAMB AND DIAMOND WIRE FLOAT GLASS	S	NON-HISTORIC – DOORS, GLASS AND TRIM 1980's, GLASS FROM THE LATE 1980's DIAMOND WIRE FLOAT GLASS W/ MOULDING /GLASS STOP FROM THE LATE 1980's (SLIGHTLY BOUNDED) ARE THE ONLY HISTORIC ITEMS.
WEST – DR #2	36 x 80 - LH OUTSWING SINGLE WOOD DOOR IN JAMBS	S	NON-HISTORIC – DOORS, GLASS AND TRIM 1980's, GLASS FROM THE LATE 1980's DIAMOND WIRE FLOAT GLASS W/ MOULDING /GLASS STOP FROM THE LATE 1980's (SLIGHTLY BOUNDED) ARE THE ONLY HISTORIC ITEMS.
EAST – DR #3	36 x 80 LH – OUTSWING SINGLE WOOD DOOR IN JAMBS	S	NON-HISTORIC – DOORS, GLASS AND TRIM 1980's, GLASS FROM THE LATE 1980's DIAMOND WIRE FLOAT GLASS W/ MOULDING /GLASS STOP FROM THE LATE 1980's (SLIGHTLY BOUNDED) ARE THE ONLY HISTORIC ITEMS.

NOTE  
SEE ATTACHED SPEC. SHEET FOR GLASS AND ATTACHED PHOTOS FROM THE SITE.











**Project**

**Team:**

Own  
Modern Elder Academy  
49 & 50 Mt. Carmel Road  
Santa Fe, NM  
Architect:  
Architectural Alliance, LLC  
612 Old Santa Fe Trail  
Santa Fe, NM  
Landscape Architect:  
Surrundings  
101st Pasco Dr  
Santa Fe, NM  
87501  
Phone: 505-245-4545

Interior Designer:  
French & French Interiors  
224 W. Manhattan Ave.  
Santa Fe, NM  
87501  
Phone: 505-782-7737

Construction Manager:  
SARCON  
2044 Galisteo St. Ste. 1  
Santa Fe, NM  
87501  
Phone: 505-474-4700  
Jenkins Grant  
Avenue Ste 101  
Santa Fe NM  
87501  
Phone: 505-420-7444

Engineer:  
Design Enginuity  
1421 Luisa Street  
Santa Fe NM  
87501  
Phone: 505-780-1156

Engineer:  
Kintner  
Kintner Blvd  
N.E. Suite D  
Albuquerque, NM  
87110  
Phone: 505-780-0800

Construction Mgmt:  
2420 W. 26th Ave.  
Suite D-360  
Denver, CO  
80211  
Phone: 303-426-7028  
McCloy Land Surveying  
150 Central Park Square  
Los Alamos, NM 87544  
505-321-7404



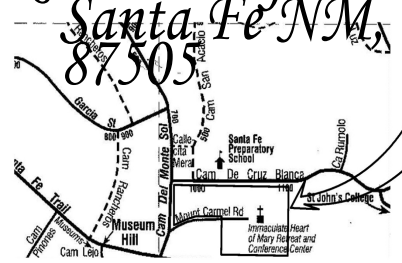
NV15



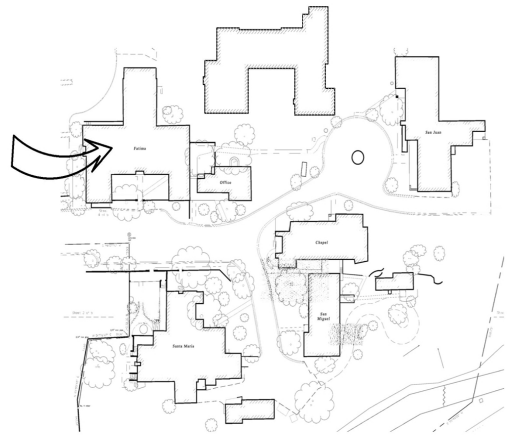
DO NOT SCALE DRAWINGS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT OF ANY

THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURAL ALLIANCE, INC. AND ARE NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY WRITTEN AGREEMENT WITH ARCHITECTURAL ALLIANCE LLC © 2023

# Fatima MEA - Sunmount



Vicinity Map



Site Plan Reference

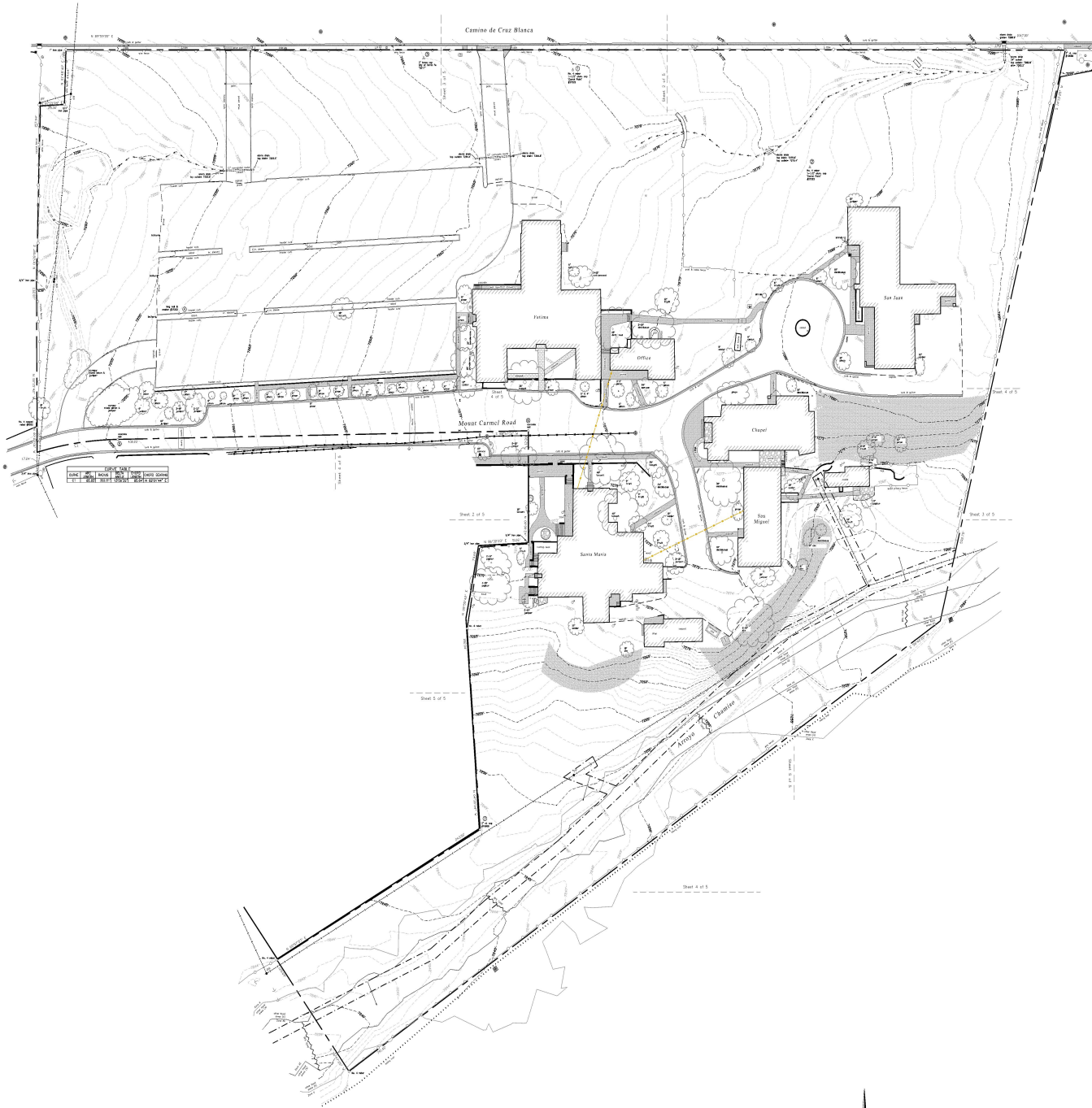


**Drawing Index**

- C- COVER SHEET
- 0- EXISTING SITE PLAN
- 1- PROPOSED SITE PLAN
- A- EXISTING FLOOR PLANS
- A-2.1- PROPOSED FLOOR PLANS - ORIGINALLY APPROVED BY HDRB
- A- PROPOSED FLOOR PLANS - REVISED
- A- EXISTING & PROPOSED ELEVATIONS
- A- EXISTING & PROPOSED ELEVATIONS
- A- EXISTING & PROPOSED ELEVATIONS

HDRB DRAWINGS: OCTOBER 2, 2023 ARCHITECT'S PROJECT #22-06

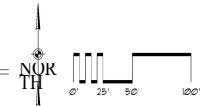
ME A - 50 Mt. Carmel Rd. - Fatima



**SYMBOLS**

- Boundary
- - - Index Contour
- Contour
- ~ Base Flood Elevation (BFE)
- Back Wall (unless otherwise noted)
- Sewer
- Electric Line (gas/lt)
- Survey Marker Found
- △ Control Point
- Street Sign
- Sign
- MB Mail Box
- ICV Irrigation Control Valve
- ⊙ Water Meter
- ⊙ Water Valve
- ⊙ Fire Hydrant
- ⊙ Water Spigot
- ⊙ Gas Riser
- ⊙ Telephone Box
- ⊙ Power Pole
- Pole Anchor
- ⊙ Light Pole
- ⊙ Electric Box
- ⊙ Sewer Manhole
- ⊙ Sewage Pump
- ⊙ Sewer Clean Out
- Tree (as noted)
- ▨ Building
- ▨ Concrete
- ▨ Brick Pavers
- ▨ Flagstone
- ▨ Normside Slope

**EXISTING SITE PLAN**



**DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT**

THESE DRAWINGS ARE THE PROPERTY OF ARCHITECTURAL ALLIANCE. NO REUSE OR REPRODUCTION OF ANY PART OF THIS PROJECT WITHOUT WRITTEN PERMISSION FROM ARCHITECTURAL ALLIANCE.

NO DIVISION/SUBMISSION STAMP

PROJECT TITLE  
**M|E|A SUNMOUNT**

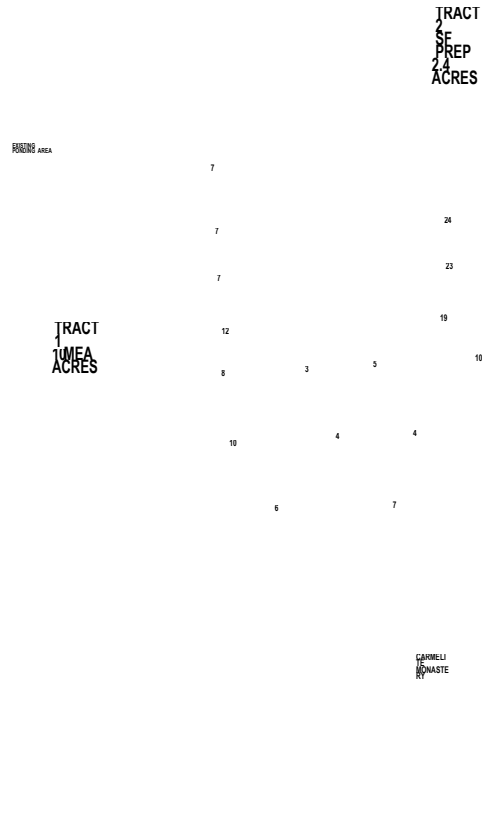
49 & 50 Mt. Carmel Road Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY E.E. DATE 11/03/22

DRAWN BY HR. DATE 11/03/22

EXISTING SITE PLAN  
SHEET NO. **1**



TRACT  
2  
ME  
PREP  
2.4  
ACRES

TRACT  
1  
ME  
PREP  
2.4  
ACRES

- MATERIALS NOTES:**
- 01 - PARKING SPOTS, (1) VAN ACCESSIBLE
  - 02 - LARGE SWING PLATE STORMWATER ACEQUIA
  - 04 - EXISTING WELL HEAD
  - 05 - PROPOSED GATE ENTRANCE OVER STORMWATER ACEQUIA
  - 06 - REFER TO CIVIL DRAWINGS FOR STAFFING EMERGENCY ACCESS
  - 07 - REPRESENT HISTORIC ROAD CURB
  - 011 - 42" TALL STUCCO WALL TO SCREEN CONDENSER UNIT

**LINE LEGEND:**

- PROPERTY LINE
- SETBACK

**SITE DATA**  
 TRACT 1:  
 ZONING: R2 (RESIDENTIAL, 2 DU/ACRE)  
 OVERLAY: HISTORIC REVIEW SPEC TRACT USECC § 14-5.2)  
 PERMITTED: Universities, Residential" (SFCC Table 14-6.1-1)  
 LOT  
 EXISTING Building Footprint Area = 43,477 sq. ft.  
 PROPOSED Building Footprint = 173  
 Maximum Allowable Lot Coverage = 40% (SFCC Table 14-7.2.1)  
 Coverage = %

**BUILDING** Allowable = 22 ft-1 in (SECCS 14-5.2(D)(9))  
 Proposed Maximum Building Height: 8 FT  
**SETBACKS:** (SFCC Table 14-7.2-1)  
 Frontage Setback: 7 feet  
 Side Setback: 5 feet  
 Adjoining Setback: 25 feet from top of bank plus depth (SFCC § 14-8.2(D)(4)(e))  
 PARKING  
 Required Parking = 65 spaces, per Parking Demand Analysis  
 TRACT 1 Provided Parking = 72 spaces (MEA Parking Lot)  
 TRACT 2 Provided Parking = 124 spaces (SF Prep Parking Lot / MEA Overflow Parking)  
 TRACT 1 Required Bicycle Parking = 10  
 TRACT 1 Required Open Space = 25% of Site Area (SFCC Table 14-5.2(D)(5))  
 TRACT 1 Provided Open Space = 6.84 acres (68.4%)

HISTORIC DISTRICT REVIEW REVISION RATE

NOT FOR CONSTRUCTION

Duplication or reproduction by any means without written consent of Surroundings Studio LLC is a violation of federal and international law. The information contained on this document is the intellectual property of Surroundings Studio LLC and all rights thereto are reserved. For exceptions, refer to the Surroundings Studio LLC Contract Provisions.

MEA SUNMOUNT CARMEL RD. SANTA FE, 87505

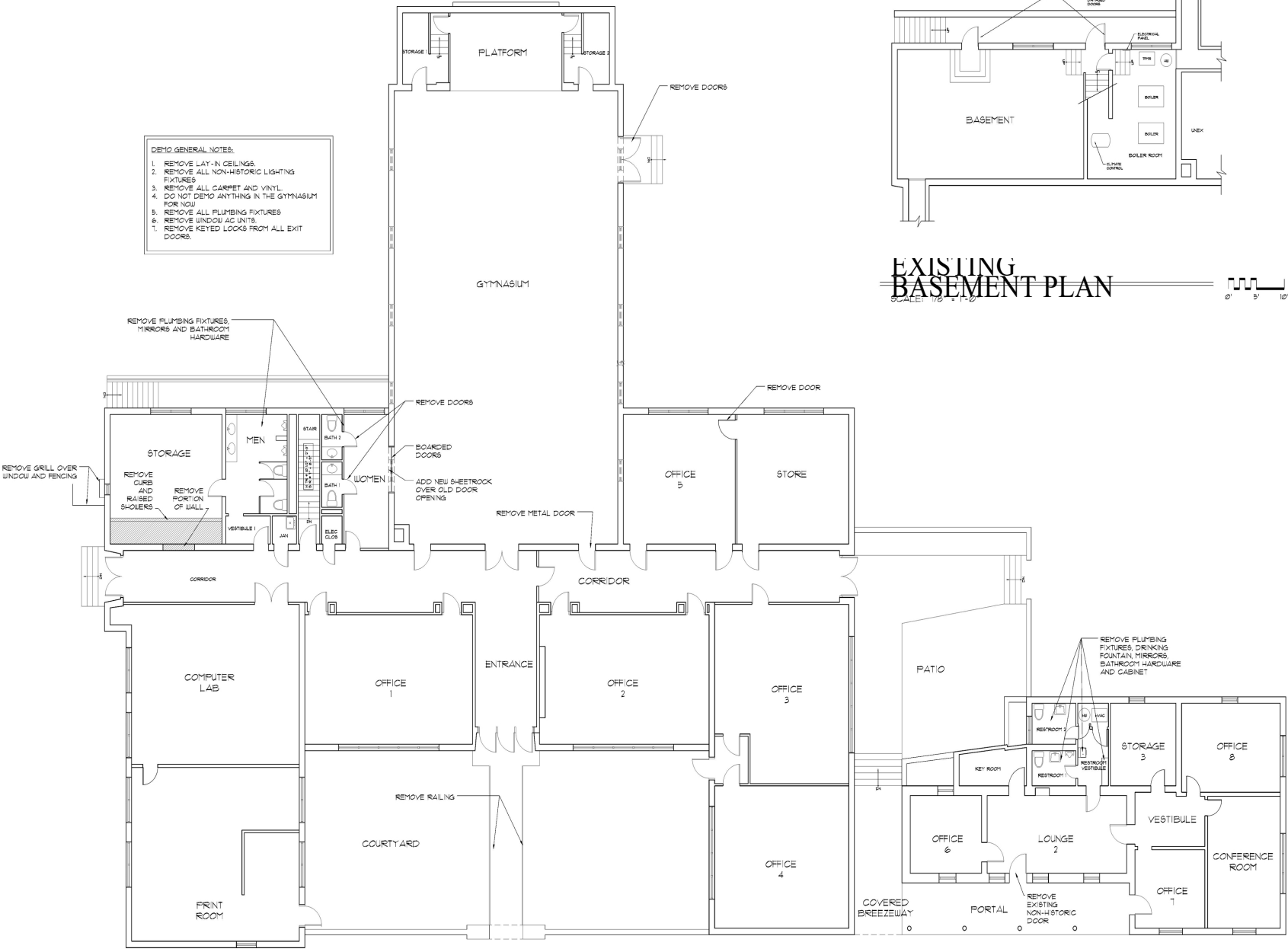
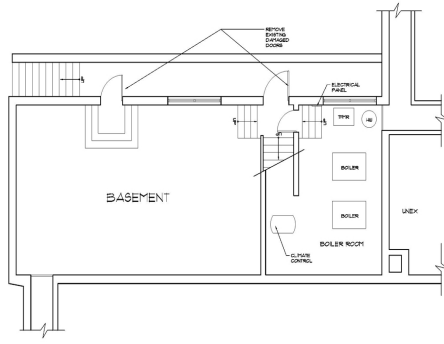
SCALE: AS SHOWN  
 PROJECT: NOVEMBER 2022  
 DRAWN BY: AT

PROPOSED SITE PLAN 2

SCALE: 1"=20'

SHEET: 7 OF 15

- DEMO GENERAL NOTES:
1. REMOVE LAY-IN CEILING.
  2. REMOVE ALL NON-HISTORIC LIGHTING FIXTURES.
  3. REMOVE ALL CARPET AND VINYL.
  4. DO NOT DEMO ANYTHING IN THE GYMNASIUM FOR YOU.
  5. REMOVE ALL PLUMBING FIXTURES.
  6. REMOVE WINDOW AC UNITS.
  7. REMOVE KEYED LOCKS FROM ALL EXIT DOORS.



DO NOT SCALE DISTANCES OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON COMMENCEMENT OF CONSTRUCTION

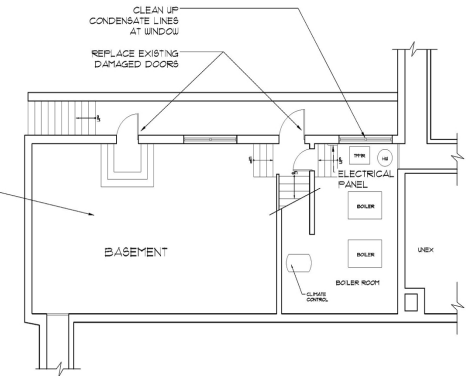
NO REVISION/SUBMISSION STAMP

PROJECT TITLE  
**M|E|A SUNMOUNT**  
**FATIM A & MAIN OFFICE**  
612 Old Santa Fe Trail, Santa Fe, NM

PROJECT NO. 22-06  
CHECKED BY DATE 11/04/06  
DRAWN BY DATE 11/04/06

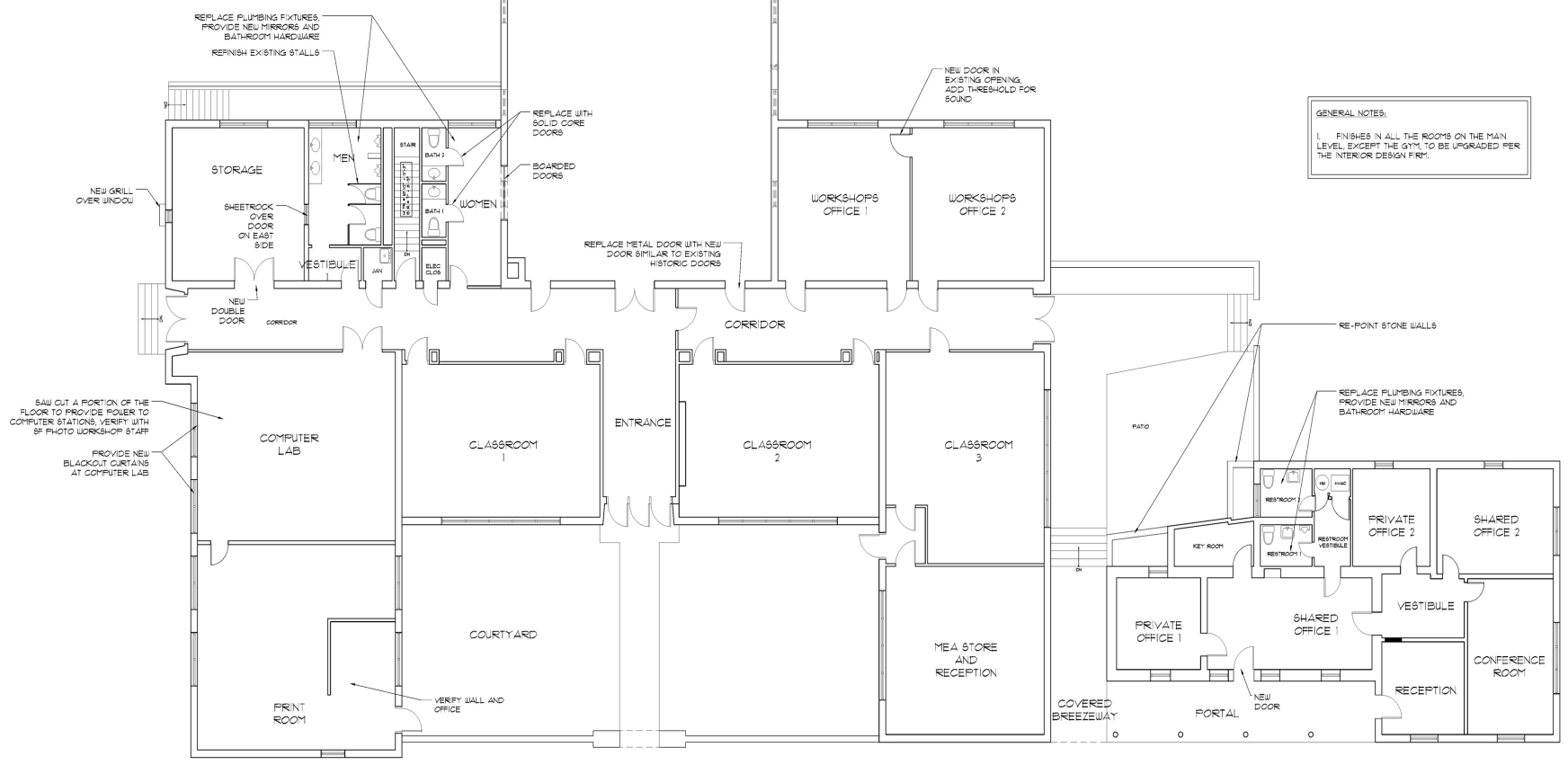
SHEET TITLE  
**FLOOR PLAN**  
SHEET NO. **A**

- GENERAL NOTES:**
1. NEW TILE/BROCK FLOORS PER FINISH SCHEDULE.
  2. PATCH AND PAINT WALLS PER FINISH SCHEDULES.
  3. RE-STAIN ALL WOOD DOORS AND TRIM.
  4. REPLACE ALL NON-HISTORIC LIGHTING FIXTURES.
  5. MOVE ELECTRICAL CONDUIT INTO WALLS IF POSSIBLE.
  6. ADD BASEBOARD PER FINISH SCHEDULES.
  7. ADD AIR CONDITIONING.
  8. REFURBISH EXISTING HEATING SYSTEM IF POSSIBLE.
  9. REPLACE ALL CEILING FANS WITH NEW FIXTURES.
  10. PROVIDE ALLOWANCE FOR IT AND ELECTRICAL RELATED INFRASTRUCTURE.
  11. UPDATE FIRE ALARM AS REQUIRED.
  12. REPAIR ALL WINDOWS AND DOORS AS REQUIRED. REPLACE ALL BROKEN AND MISSING GLAZING.
  13. VERIFY LOCATIONS OF BUILT IN PROJECTION SCREENS IN COMPUTER LAB AND CLASSROOMS.
  14. FIXED CONCRETE WALKWAYS AND PORTALS AS REQUIRED.
  15. CLEAN AND ENSURE ALL EXTERIOR DRAINS ARE OPERABLE.
  16. ALL EXTERIOR LIGHTING TO BE ON PHOTO-CELL.
  17. REPLACE HOT WATER HEATERS IF REQUIRED.
  18. UPDATE FIRE ALARM AS REQUIRED.
  19. PROVIDE PANIC HARDWARE AT EXIT DOORS.



**EXISTING BASEMENT PLAN**  
SCALE: 1/8" = 1'-0"  
0' 5' 10' NORTH

- GENERAL NOTES:**
1. FINISHES IN ALL THE ROOMS ON THE MAIN LEVEL EXCEPT THE GYM TO BE UPGRADED PER THE INTERIOR DESIGN FIRM.



**PROPOSED FLOOR PLAN - ORIGINALLY APPROVED BY HDRB**  
SCALE: 1/8" = 1'-0"  
0' 5' 10' NORTH

612 OLD SANTA FE TRAIL  
SANTA FE, NEW MEXICO 87505  
PHONE: 505-988-5269  
WEBSITE: www.archallinc.com

**DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT**

THIS DRAWING IS THE PROPERTY OF ARCHITECTS AND ENGINEERS OF THIS PROJECT. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT FOR CONSTRUCTION.

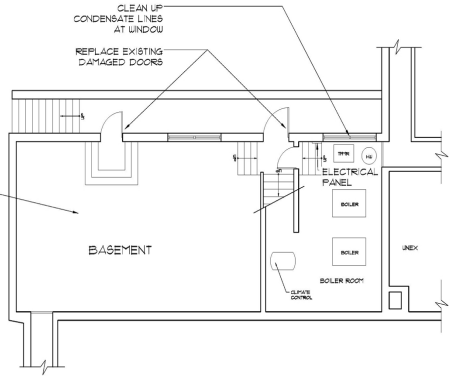
NO DIVISION/SUBMISSION DATE  
FOR STAMP

PROJECT TITLE  
**M|E|A SUNMOUNT**  
**FALL MA**  
50 Mt. Carmel Road BLDG. A Santa Fe, NM

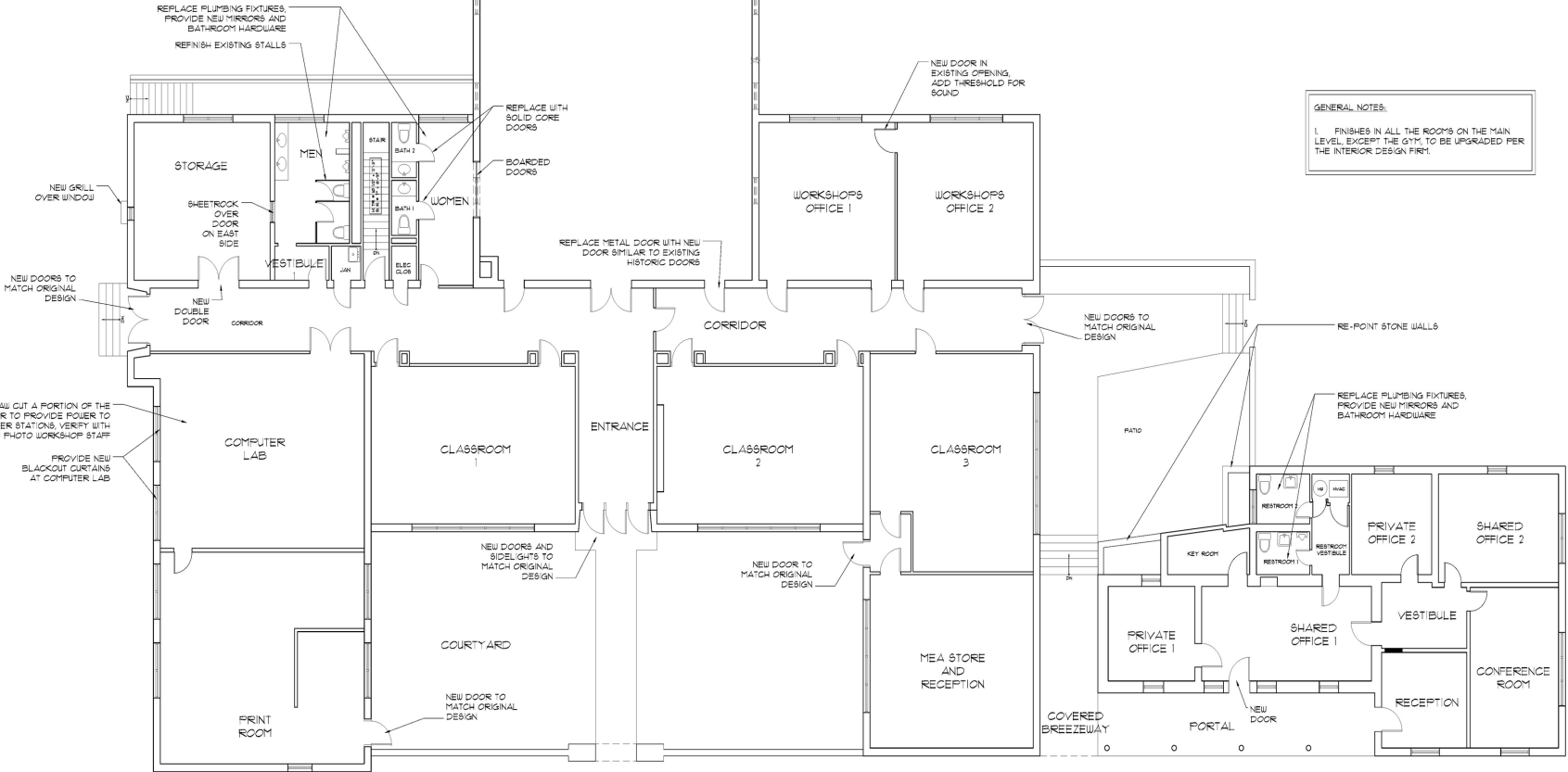
PROJECT NO. 22-06  
CHECKED BY E E DATE 10/02/23  
DRAWN BY PLH DATE 10/02/23

PROPOSED PLAN  
ORIGINALLY APPROVED BY HDRB  
**2.1**

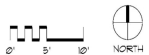
- GENERAL NOTES:**
1. NEW TILE BRICK FLOORS PER FINISH SCHEDULE.
  2. PATCH AND PAINT WALLS PER FINISH SCHEDULES.
  3. RE-STAIN ALL WOOD DOORS AND TRIM.
  4. REPLACE ALL NON-HISTORIC LIGHTING FIXTURES.
  5. MOVE ELECTRICAL CONDUIT INTO WALLS IF POSSIBLE.
  6. ADD BASEBOARD PER FINISH SCHEDULES.
  7. ADD AIR CONDITIONING.
  8. REFURBISH EXISTING HEATING SYSTEM IF POSSIBLE.
  9. REPLACE ALL CEILING FANS WITH NEW FIXTURES.
  10. PROVIDE ALLOWANCE FOR IT AND ELECTRICAL RELATED INFRASTRUCTURE.
  11. UPDATE FIRE ALARM AS REQUIRED.
  12. REPAIR ALL WINDOWS AND DOORS AS REQUIRED. REPLACE ALL BROKEN AND MISSING GLAZING.
  13. VERIFY LOCATIONS OF BUILT IN PROJECTION SCREENS IN COMPUTER LAB AND CLASSROOMS.
  14. FIXED CONCRETE WALKWAYS AND PORTALS AS REQUIRED.
  15. CLEAN AND ENSURE ALL EXTERIOR DRAINS ARE OPERABLE.
  16. ALL EXTERIOR LIGHTING TO BE ON PHOTO-CELL.
  17. REPLACE HOT WATER HEATERS IF REQUIRED.
  18. UPDATE FIRE ALARM AS REQUIRED.
  19. PROVIDE PANIC HARDWARE AT EXIT DOORS.



- GENERAL NOTES:**
1. FINISHES IN ALL THE ROOMS ON THE MAIN LEVEL, EXCEPT THE GYM, TO BE UPGRADED PER THE INTERIOR DESIGN FIRM.



**PROPOSED FLOOR PLAN - ORIGINALLY APPROVED BY HDRB**  
SCALE: 1/8" = 1'-0"



**DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT**

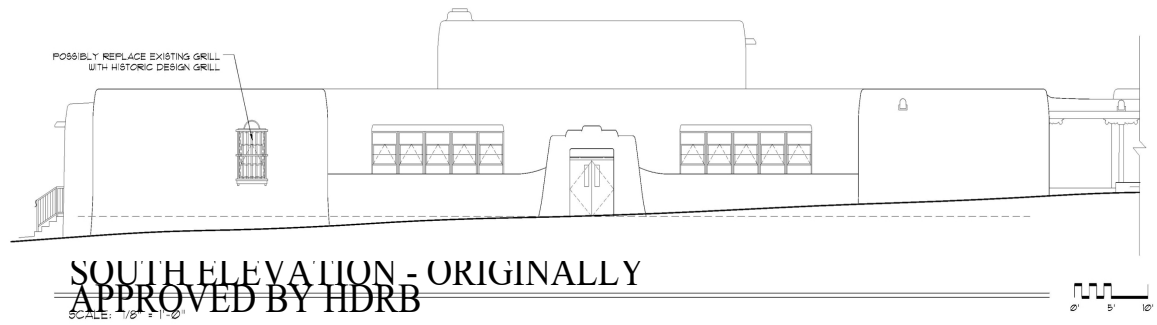
THIS IS AN ILLUSTRATION OF THE PROPERTY OF ARCHITECTS. ANY CHANGES, MODIFICATIONS, OR ALTERATIONS TO THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE CLIENT.

NO REVISION/SUBMISSION DATE  
STAMP

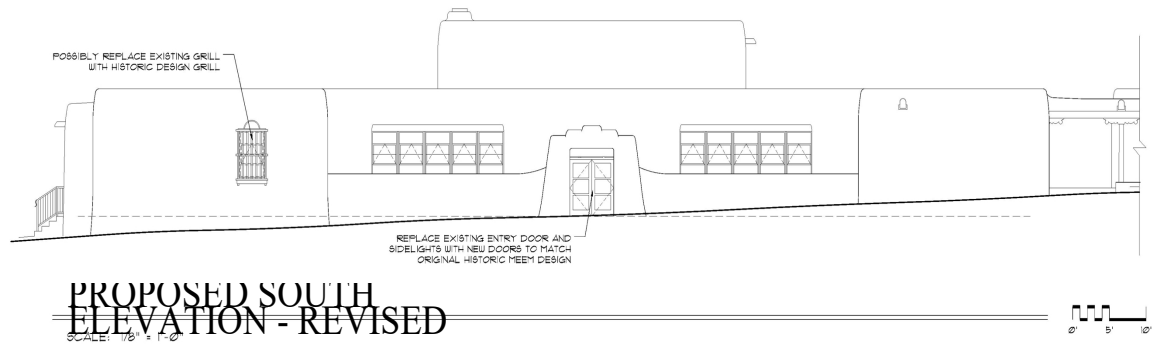
PROJECT TITLE  
**M|E|A SUNMOUNT**  
**FALL MA**  
50 Mt. Carmel Road BLDG. A  
Santa Fe, NM

PROJECT NO. 22-06  
CHECKED BY EE DATE 10/02/23  
DRAWN BY DLH DATE 10/02/23

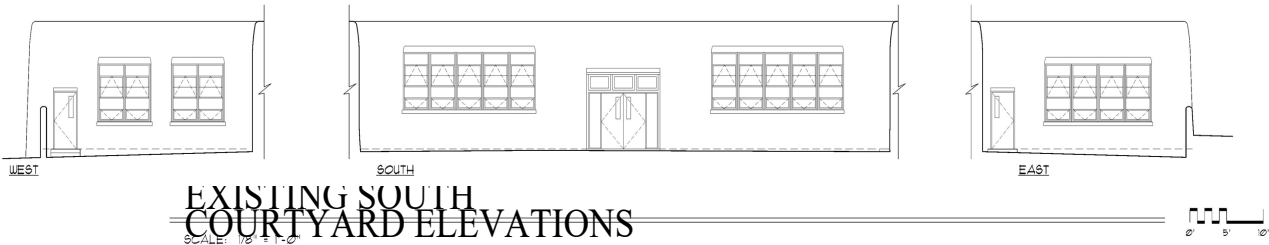
PROPOSED FLOOR PLAN  
**REVISE**  
**2.2**



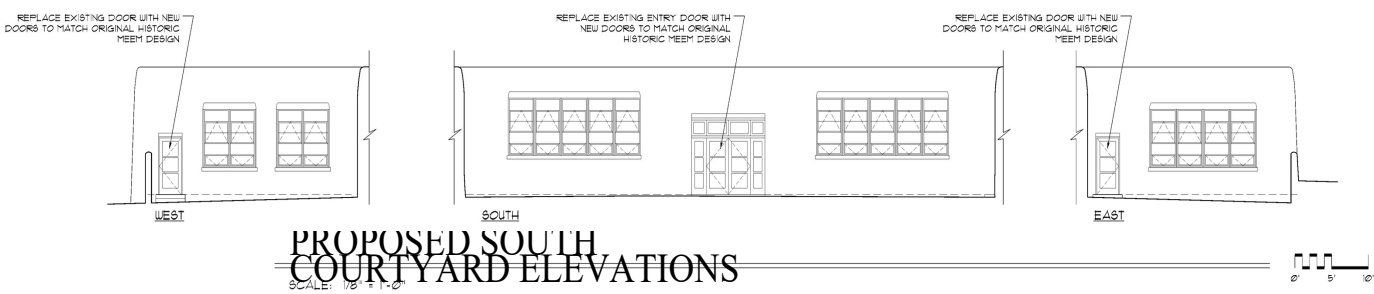
**SOUTH ELEVATION - ORIGINALLY APPROVED BY HDRB**  
 SCALE: 1/8" = 1'-0"



**PROPOSED SOUTH ELEVATION - REVISED**  
 SCALE: 1/8" = 1'-0"



**EXISTING SOUTH COURTYARD ELEVATIONS**  
 SCALE: 1/8" = 1'-0"



**PROPOSED SOUTH COURTYARD ELEVATIONS**  
 SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
1. PROVIDE NEW STUCCO COLOR COAT OVER SKIM COAT ON BASECOAT w/ FIBERGLASS MESH TYPICAL. VERIFY w/ CONTRACTOR.
  2. REPAIR CANALES AS REQUIRED.
  3. REFURBISH/REPLACE/REPAINT ALL EXTERIOR WOOD TRIM.
  4. REFURBISH HISTORIC LIGHTING.
  5. REPLACE EXISTING SECURITY LIGHTING.
  6. RE-SLOPE ALL GRADES A MINIMUM OF 6" DOWN, 5' AWAY FROM FOUNDATIONS.

DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT OF ANY DISCREPANCIES. THIS IS THE PROPERTY OF ARCHITECT. ANY REVISIONS TO THIS PROJECT SHALL BE IN WRITING AND NOT BE CONSIDERED FOR CONSTRUCTION.

NO. DATE  
 REVISION/SUBMISSION DATE  
 STAMP

PROJECT TITLE  
**M|E|A**  
**SUNMOUNT**  
 FALL  
 MA  
 50 Mt. Carmel Road BLDG. A  
 Santa Fe, NM

PROJECT NO. 22-06  
 CHECKED BY EE DATE 10/02/23  
 DRAWN BY PLH DATE 10/02/23  
 SHEET TITLE

ESTIN  
 &  
 PROPOSED  
 ELEVATIONS  
 SHEET NO. 3

612 OLD SANTA FE  
TRAIL  
SANTA FE - NEW  
MEXICO 87505  
TEL: 505-988-  
5269  
WEBSITE  
www.archallinc.com



**WEST ELEVATION - ORIGINALLY  
APPROVED BY HDRB**

SCALE: 1/8" = 1'-0"



**PROPOSED WEST  
ELEVATION**

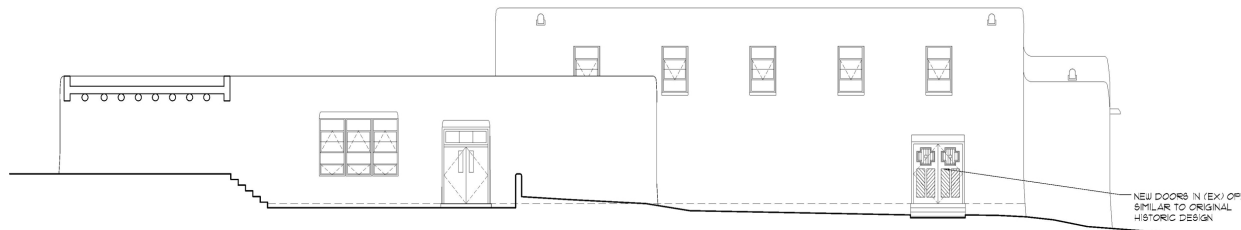
SCALE: 1/8" = 1'-0"



1. PROVIDE NEW STUCCO COLOR COAT OVER 3CM COAT ON BASECOAT W/ FIBERGLASS MESH TYPICAL VERIFY W/ CONTRACTOR
2. REPAIR CANALES AS REQUIRED.
3. REPAIR/REPLACE/REPAINT ALL EXTERIOR WOOD TRIM.
4. REFURBISH HISTORIC LIGHTING
5. REPLACE EXISTING SECURITY LIGHTING
6. RE-SLOPE ALL GRADES A MINIMUM OF 6" DOWN, 5' AWAY FROM FOUNDATIONS.

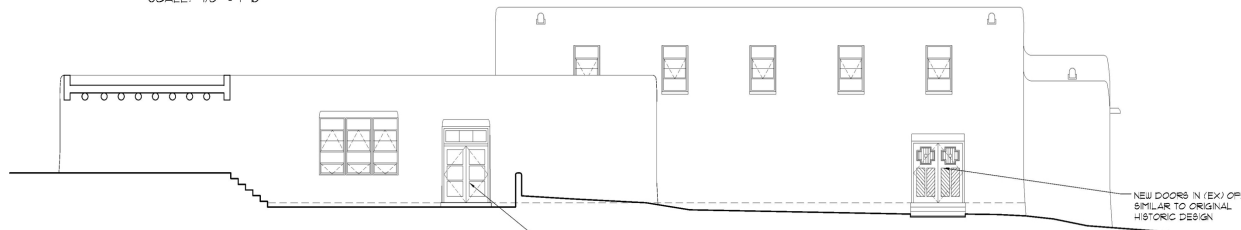
**DO NOT SCALE  
DISTANCE OR TO  
VERIFY  
ALL EXISTING  
CONDITIONS AND  
DIMENSIONS - NOTIFY  
ARCHITECT  
IF ANY  
DISCREPANCIES  
ARE FOUND. THE PROPERTY OF  
ARCHITECTS OF THIS PROJECT  
IS NOT BEING CONSTRUCTED**

NO. \_\_\_\_\_ DATE \_\_\_\_\_  
REVISION/SUBMISSION  
BY \_\_\_\_\_  
STAMP



**EAST ELEVATION - ORIGINALLY  
APPROVED BY HDRB**

SCALE: 1/8" = 1'-0"



**PROPOSED EAST  
ELEVATION**

SCALE: 1/8" = 1'-0"



PROJECT  
TITLE  
**M|E|A**  
SUNMOUNT

FALL  
MA

50 Mt. Carmel  
Road BLDG. A  
Santa Fe, NM

PROJECT NO. 22-06

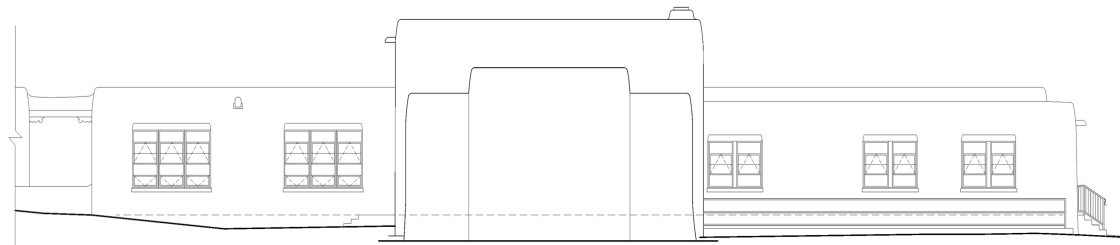
CHECKED BY E.E. DATE 10/02/23

DRAWN BY R.D.L.H. DATE 10/02/23

SHEET TITLE

**ESTHIN  
C  
PROPOSED  
ELEVATIONS**  
SHEET NO. 4

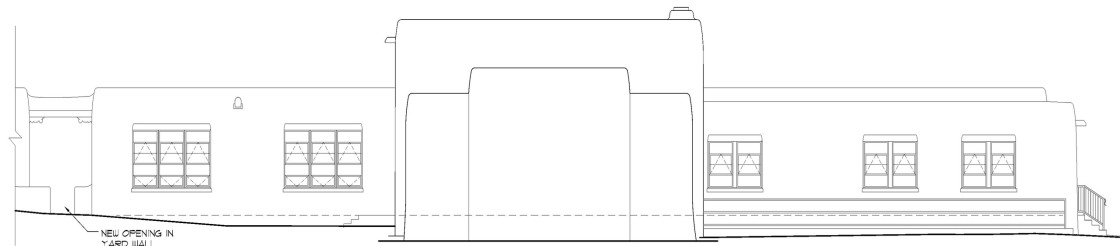
612 OLD SANTA FE TRAIL  
SANTA FE - NEW MEXICO 87501  
PHONE: 505-988-5269  
WEBSITE: www.archallinc.com



EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



- GENERAL NOTES:
1. PROVIDE NEW STUCCO COLOR COAT OVER SKIM COAT ON BASECOAT w/ FIBERGLASS MESH TYPICAL. VERIFY w/ CONTRACTOR
  2. REPAIR CAVALLES AS REQUIRED
  3. REFURBISH/REPLACE/REPAINT ALL EXTERIOR WOOD TRIM
  4. REFURBISH HISTORIC LIGHTING
  5. REPLACE EXISTING SECURITY LIGHTING
  6. RE-SLOPE ALL GRADES A MINIMUM OF 6" DOWN, 5' AWAY FROM FOUNDATIONS.



PROPOSED NORTH ELEVATION - REVISED  
SCALE: 1/8" = 1'-0"



DO NOT SCALE DRAWINGS OR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS - NOTIFY ARCHITECT

THIS DRAWING IS THE PROPERTY OF ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ARCHITECT.

NO REVISION/SUBMISSION DATE

STAMP

PROJECT TITLE



FALL MA

50 Mt. Carmel Road BLDG. A Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 10/02/23

DRAWN BY DLH DATE 10/02/23

SHEET TITLE



SHEET NO. 5

Fatima  
Building  
Photos

Fatima Building  
South Elevation



Fatima Building East  
Elevation (north side)



Fatima Building West  
Elevation (north side)



Fatima Building West  
Elevation (south side)





# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** 2023-007525-HDRB. 913 ½ Acequia Madre. Downtown and Eastside Historic District. Non-contributing. Richard Martinez, agent for Jay Morton of the Morton Phillips Trust, owner, requests historic status review with primary façade(s) designation.

Case number: 2023-007525-HDRB  
Project Type: Status review with primary façade(s) designation

**PROJECT LOCATION (S):** 913 ½ Acequia Madre

**PROJECT NAMES:**

OW – Morton Phillips Trust, Jay Morton or Mike Phillips, 913 ½ Acequia Madre, Santa Fe, New Mexico, 87501

AP – Richard Martinez, 1524 Paseo de Peralta, Santa Fe, New Mexico, 87501 505-989-4958 studio@martinezarch.com

**PROJECT DATA:**

**HISTORIC DISTRICT**

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

**HISTORIC BUILDING STATUS**

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

**PRIMARY ELEVATIONS:** North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER   H-90  

YEAR OF CONSTRUCTION   1940  

**PROJECT TYPE**

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME Edward and Maria Elisa Roybal House

# City of Santa Fe, New Mexico

# memo

**DATE:** November 28, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Paul A. Duran, Senior Planner, Historic Preservation Division

---

**2023-007525-HDRB. 913 ½ Acequia Madre.** Downtown and Eastside Historic District. Non-contributing. Richard Martinez, agent for Jay Morton of the Morton Phillips Trust, owner, requests historic status review with primary façade(s) designation.

## **REFERENCE ATTACHMENTS (Sequentially):**

### **CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Primary Façade Diagram

### **APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

## **STAFF RECOMMENDATION:**

Staff recommends the historic status of the structure be upgraded to contributing with the north and northeastern facades as identified on the façade diagram 1 through 4 be designated as primary, per 14-5.2(C) Designation of Significant and Contributing Structures and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

913 ½ Acequia Madre is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure was built in 1940 on a 0.10-acre lot which totaled 1,702-square feet. The primary architectural design of the structure is a collaboration between Spanish-Pueblo revival and Santa Fe vernacular styles which includes adobe and concrete block

for construction materials, a flat shed-roof, wood and aluminum single-hung three over one and one over one windows.

The structure has undergone an evolution of construction and additions throughout time. The original core of the structure is the north and northeastern façades which contain the integrity of the historic districts standards as seen through the adobe wall construction and recessed three over one wood framed windows. These two façades are being recommended as primary. The portal over the eastern façade entry way is most likely the first addition to the structure around the 1950s. As construction continued, additions were made to the southern façade adding another room and garage by the 1970s. The clear and distinct evolution of the property can be observed through the construction material and design of the structure.

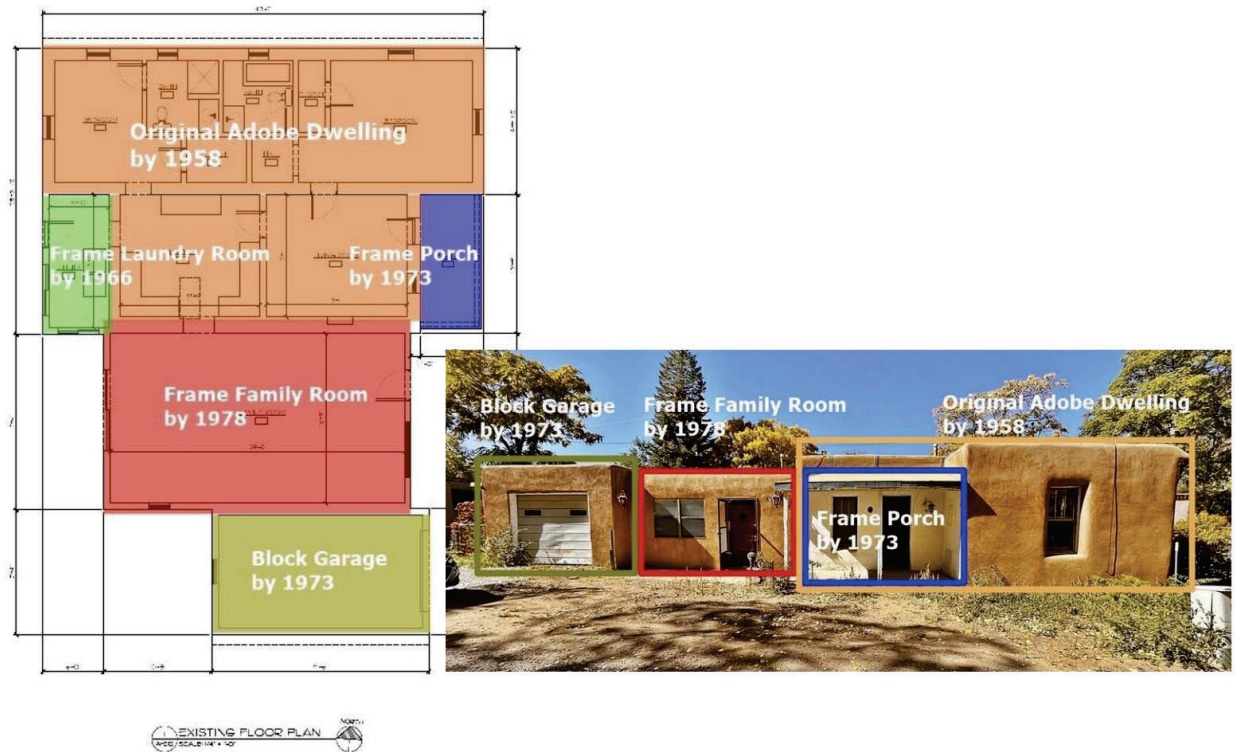
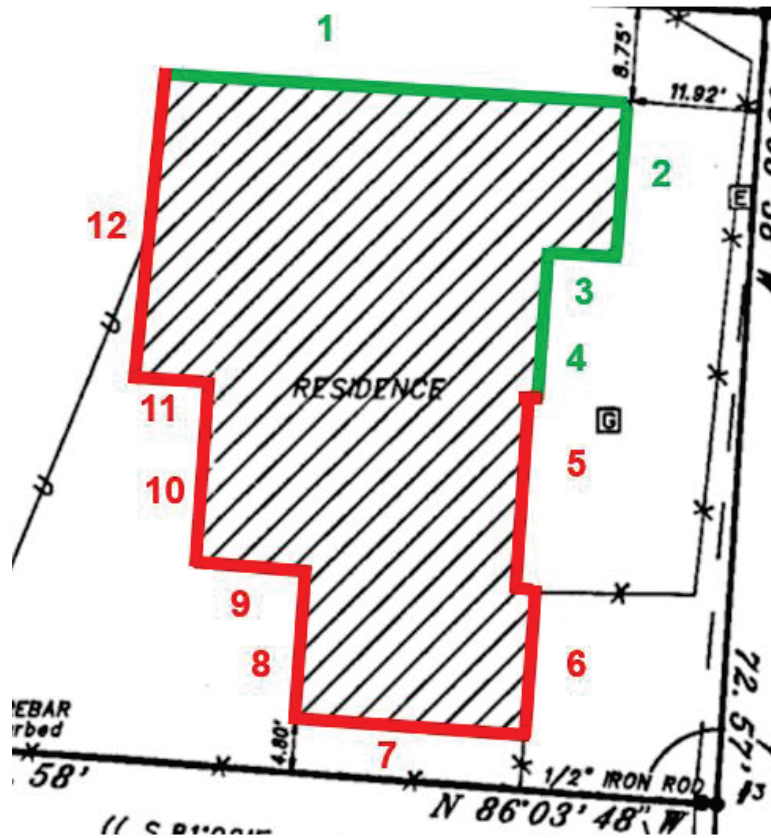


Figure 1: Study of footprint development based on aerial photographs.



**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;

- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

#### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

#### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and

cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style


Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

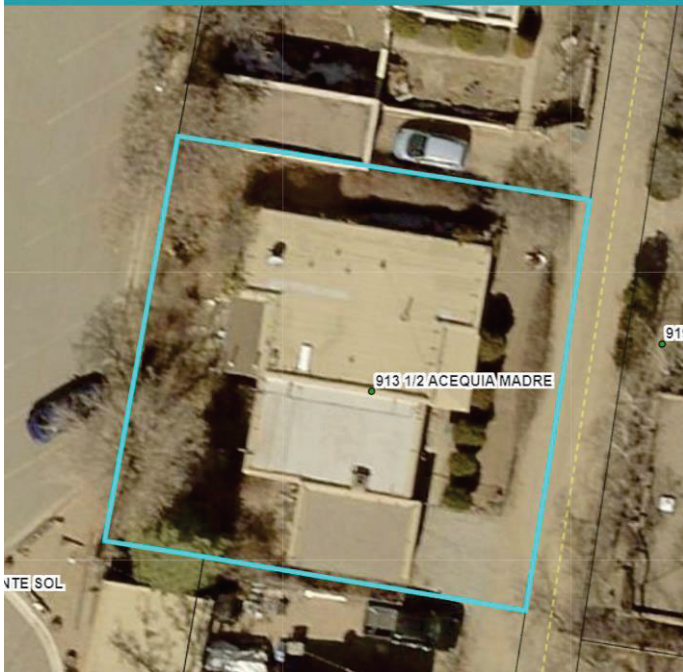
Date of Form: October 25, 2023 – F.

For HPD Office use only:		
HCPI No.	District No.	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
1. Name of property:  Edward and Maria Elisa Roybal House	2. Location:  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-90  4. County: Santa Fe Parcel # 12324224
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: October 17, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 14, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6794747,-105.9248867		
10. Photo Information: John W. Murphey, photographer. Photo 1: View of east elevation, facing northwest.		
11. Brief Description of the Property:  Midway down a short gravel lane between Acequia Madre and Canyon Road stands a building that looks almost misplaced. A long, one-story flat roof dwelling, it first gives the impression of a 1950s ranch house (Photo 1). But further inspection and a review of archival material indicate that this is an illusion. The house, instead, is a composite of several building campaigns, beginning in the late 1930s and ending in the late 1970s (Fig. 1). This evolution is readable from its front (east) façade with the change of wall planes, parapet heights, and different doors and windows.  <i>Continued on Page 5.</i>		
12. Who uses the property? Residence – not-in-use		
13. Construction Date: Date: c.1939-40 with additions made through c.1976 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs, city directories, deeds		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

**16. Additional Perspective:** (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



**17. Surveyor:**  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)

For: Matinez Architecture Studio PC

**18. Owner (if known) and other knowledgeable people:**

Current owner: Morton Phillips Trust

**19. Is Property Endangered?**     Unknown     No     Yes    How?

**20. Significance to Current Community:**     Unknown     None     Low     Moderate     High  
 Describe: Unknown

**21. Other Significance or Information of Interest:** (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

**22. National or State Register:**

Is this property individually listed on a historic register?     Unknown     No     Yes  
 If yes:     State     National  
 If 'no' or unknown, do you think this property is eligible for listing?     No     Yes  
 Why? See Evaluation of Historical Status

**23. National or State Historic District: City of Santa Fe**

Is this property in a historic district?     Unknown     No     Yes  
 If yes:     Significant     Contributing     Non-contributing     No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?     State     National     City of Santa Fe:  
 Downtown and Eastside Historic District

**24. Supplemental Forms:**

None     HCPI Detail Form (FORM 2)     Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																																			
		NRHP _____ SRCP _____	Criteria A B C D																																		
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90	<b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> October 17, 2023																																		
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																					
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____  <b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed <input type="checkbox"/> Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input checked="" type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																			
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>3/1</td> <td>6</td> </tr> <tr> <td>Single-Hung</td> <td>Aluminum</td> <td>1/1</td> <td>5</td> </tr> <tr> <td rowspan="2">Sliding</td> <td rowspan="2">Aluminum</td> <td>1-1 and</td> <td>1</td> </tr> <tr> <td>1-F-1</td> <td>1</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	3/1	6	Single-Hung	Aluminum	1/1	5	Sliding	Aluminum	1-1 and	1	1-F-1	1	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Plank w/ 3 Lights</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>½-Light, 4 Panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>15-Panel w/ 1 Light</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Plank w/ 3 Lights	Wood	1	Single-Leaf	½-Light, 4 Panel	Wood	1	Single-Leaf	15-Panel w/ 1 Light	Wood	1
Operation	Material	Glazing	Number																																		
Single-Hung	Wood	3/1	6																																		
Single-Hung	Aluminum	1/1	5																																		
Sliding	Aluminum	1-1 and	1																																		
		1-F-1	1																																		
Type	Style	Material	Number																																		
Single-Leaf	Plank w/ 3 Lights	Wood	1																																		
Single-Leaf	½-Light, 4 Panel	Wood	1																																		
Single-Leaf	15-Panel w/ 1 Light	Wood	1																																		
<b>12. Chimneys</b> <input checked="" type="checkbox"/> N/A, removed		<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																			
<b>14. Other Significant Features</b> N/A																																					
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  #1 Date: c.1940-1976; Multiple additions; aerial photograph and visual and material evidence; see Figure 1.																																					

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |  |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial                       |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival               |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival                     |

Notes:  Other: Vernacular

17. Documents Available and Their Locations

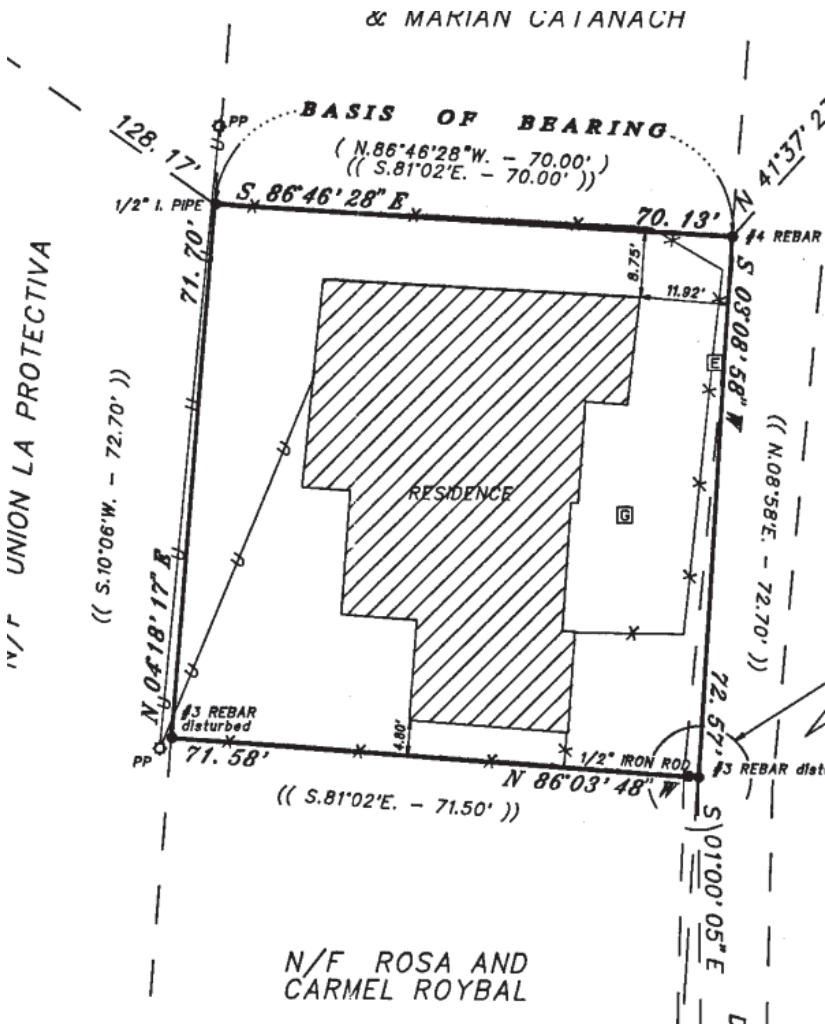
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a>	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a>
--	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Portion of 1994 survey plat. Courtesy L.A.S.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			

## Architectural Description Continued

### Setting

The house is situated along a graveled dirt lane coursing between former agricultural fields filled in over the years with houses. Given the narrow depth of the lots, the subject house — along with other homes on the lane — is oriented parallel to the road. Their long façades have the appearance of a much larger home. This house is associated with the property immediately to the south, which holds the former Carmen and Rosa Roybal home. It is minimally landscaped with a few concrete paths, a gravel driveway, and a specimen fir tree at the southwest corner. The property has invasive plants, including a mature Tree of Heaven on the north property line. Aside from the house, there are no other structures on the lot.

### House

Comprising roughly 1,786 square feet, the house shows at least five distinct building phases. The older core is adobe, with frame and block additions tacked onto the west and south exposures. With the exception of the back Laundry Room, each addition has a Pueblo Revival appearance, with earthtone stucco walls, rounded parapets, and flat roofs. The different types of windows along the house speak to each distinct type of construction.

### East Elevation

Facing the lane, the east elevation is the most articulated side of the building and reveals the various construction eras (Photos 1 & 2).

### Garage

Starting at the south end is a boxy one-car garage built between 1966 and 1973. It is the second-youngest piece of the house and was freestanding until around 1976. The block structure has tall parapets over its east and west elevations, with its roof draining to the south (Photo 3). A metal overhead door opens to a space once holding a car.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property:  Edward and Maria Elisa Roybal House	2. Location:  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-90			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2023			

## Family Room

Attached to the north and set back by 20" and at a lower height is the youngest piece of the house (Photo 4). Erected around 1976, the roughly 510 square-foot rectangle is constructed of frame on a concrete slab. Its façade has double aluminum sash windows and a decorative wood door. The interior is one large open space stripped to the studs (Photo 5). It once had a brick fireplace across its south wall.

## Entry/Living Room/Kitchen

Moving northward, the wall plane pushes out 12" with a separate volume enclosing the Entry, Living Room, and Kitchen. Marked by a hipped porch, it served as the historic entry to the home (Photo 6). The roughly 84-square-foot porch is made of conventional lumber and is painted white (Photo 7). Based on an aerial photograph, it postdates 1958 (Fig. 6). Its wall is penetrated with an opening holding a 3/1 sash wood window and an entry. The entry has a faux plank door with three vision lights (Photo 8). Next to the door is a medallion with a raised impression of Nuestra Señora de Guadalupe, asking her to protect the family (Photo 9). This part of the building is adobe and represents early construction.

## Bedroom Wing

The last piece, a long, east-west rectangle, is likely the oldest piece of the house. It bumps out 68" from the entry area and is made of adobe (Photo 10). It holds three rooms, including the remnant of a bathroom. A tall 3/1 single-hung sash window sits like a guillotine at the center of its east façade (Photo 11). The window stands back 10" from the exterior wall.

## North Elevation

The unadorned north elevation has windows at each room (Photos 12 & 13). Like the façade, they are tall 3/1 wood sash set deep in the adobe (Photo 14). Near the west end is a much smaller opening with a 1/1 aluminum sash window venting a bathroom. A strip of *contra cimienta* runs along the base of the wall. It works as a support or as a water table, protecting the wall from water draining above.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: October 17, 2023</b>			

Behind the wall are three square rooms. Currently gutted, the space’s construction is readily visible (Photo 15). It has exterior adobe walls with interior frame partitions. The floor (now removed) rested on rough-sawn dimensional joists nailed to intermediate posts and supported at the edges by beams. The roof decking and ceiling construction are standard, consisting of crude framing of rough-sawn plates, joists, and rafters. These point to the original dwelling’s inferred construction date of the late 1930s.

### **West Elevation**

Facing a cramped backyard, the west elevation shares the same evolution as the façade but with a rougher presentation (Photo 16).

It begins at the north with a solo 3/1 window at the Bedroom Wing (Photo 13). To the south is a shed-roof frame addition that appears to have been a laundry room (Photos 17 & 18). Aluminum windows on its west and south walls bring light to the room. A wood-panel-and-glass door gives access to this space and the back of the house. Constructed at some point between 1958 and 1966, the shed-roof attachment covers the entire portion of the portion Entry/Living Room/Kitchen section of the house.

The south end of the elevation represents the more recent pieces of the home: frame and block additions built in the 1970s. The Family Room wall holds a shattered sliding patio door (Photo 19). The Garage is set back 10’ and has a single sliding aluminum window (Photo 20).

### **South Elevation**

The south wall of the Garage has no openings.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: October 17, 2023</b>			

### Historical Overview

With its core likely built in the late 1930s, what was originally a small rental house expanded over time, becoming the home of Edward and Elisa Roybal in the 1960s. This family would own it up until its recent sale.

The house sits on one of many narrow lots between Canyon Road and the mother acequia. Historically, as shown on older maps, these lots were associated with homes fronting Canyon Road. Hydrographic maps from the 1910s show the lots planted in corn and alfalfa (Fig. 2). The agricultural plots, some less than 50' in width, began to be sold off in the 20th century. Some emerged as family compounds with multiple dwellings. Like this particular lot, some remained mostly undeveloped until after the war.

A 1930 plat indicates the subject parcel and several lots along the lane were owned by the Trujillo family: Clarita R. Trujillo, the presumed widow of Antonio Trujillo, and her children (Fig. 3). Carmel Roybal, a utility worker, owned a lot on the south half of the west side of the lane. His family is directly associated with the subject property.

### The Roybals

Born in 1897 in the village of Santa Cruz near Española, Carmel Bernardino Roybal initially worked as a miner in Colorado. Moving to Santa Fe, he found employment with the Public Service Company of New Mexico (PNM), likely at their power plant on Water Street. The 1930-31 Santa Fe city directory is the first to place Roybal on the land.<sup>1</sup> By 1932, his property was assigned the 913 Acequia Madre address.<sup>2</sup>

Carmel and his wife, Rosa, owned a house on the lane, the property to the south. The 1940 census indicates the household included eight children between the ages of five months and sixteen.<sup>3</sup> The census and a city directory of the same year record a separate household adjacent to the home with the address 913½ Acequia Madre.<sup>4</sup> This property

<sup>1</sup> Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1930-31* (El Paso: Hudspeth Directory Company, 1931), 207.

<sup>2</sup> *Ibid.*, (1932), 179.

<sup>3</sup> U.S. Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 1A; Enumeration District: 25-5B.

<sup>4</sup> Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1940* (El Paso: Hudspeth Directory Company, 1940), 290.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A   B   C   D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: October 17, 2023</b>			

was a rental and at the time was leased by Clarence Fields. Fields was the chief engineer for PNM and must have known Roybal, his assumed landlord, through a work connection. The Missouri-born engineer lived in the rental with his wife, Glennie, and three young children.<sup>5</sup>

City directories show that 913½ remained rented through the early 1960s. Tenants included salesmen, local photographer Hilliard Crown, and painter Louie Ewing (1908-1983).<sup>6</sup> After Ewing left, the rental turned into a home.

### **Edward and Elisa Roybal House**

Carmel and Rosa’s sixth oldest child, Edward F. Roybal, was born in 1934, soon after his parents moved onto the former farmland. He grew up along the lane and attended Santa Fe High School. At the outbreak of the Korean War, he enlisted in the U.S. Airforce. He was assigned to the 3276th Crypto School Squadron, reaching the rank of Airman Third Class.<sup>7</sup>

In 1966, while visiting Mexico City, he met Maria Elisa A. Ruiz, a Mexican national. Born in León, a colonial town of Guanajuato, Ruiz was trained as an accountant and had worked as a teacher.<sup>8</sup> The couple married that year in Mexico City and moved to the home property off Acequia Madre in Santa Fe.

Here, Edward and Maria Elisa settled into the former rental home. Aerial photographs depict how they altered and expanded upon the original dwelling. The house that had consisted of two adjacent rectangles in 1958 (Fig. 5) had grown slightly by 1966 to include the shed-roof laundry at the west and a patio at the front door (Fig. 6). By 1973, the porch at the front door was in place, along with a free-standing garage to the south (Fig. 7).

<sup>5</sup> U.S. Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico.

<sup>6</sup> Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1960* (El Paso: Hudspeth Directory Company, 1960), 4.

<sup>7</sup> “Edward F. Roybal,” *Santa Fe New Mexican*, February 7, 1955, 10; Santa Fe National Cemetery headstone.

<sup>8</sup> “Maria Elisa A. Roybal [obituary],” *Santa Fe New Mexican*, September 19, 2021, C-3.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			

At some point between 1976<sup>9</sup> and 1978, a large family room was built between the old house and the garage, joining the two together into its current footprint Fig. 8).

A uniquely American concept, the family or recreation room emerged after World War II as an informal space where the immediate family could relax and play games in an area larger and less formal than a living room. Interestingly, the Roybal family was small, consisting of Edward, Maria Elisa, and a single daughter, also named Elisa.

In 2018, Edward F. Roybal, the Korean War veteran, died. He was 84.<sup>10</sup> Maria Elisa continued to live in the house off Acequia Madre for a few more years before she passed away in 2021 at age 86.<sup>11</sup> Both are buried at Santa Fe National Cemetery.

## Evaluation of Historical Status

The oldest portion of the house, the adobe, east-west Bedroom Wing at the north, is at least 80 years old. Its plain east and north elevations show original windows and reveal mostly an unaltered exterior appearance. To this were attached several additions, the most recent from c.1976, connecting the older home to a once free-standing garage. The composite development of the building gives it a ranch house appearance.

Given the recent extensions and the fact that they represent a good deal of the house's square footage, the footprint, the recommendation is to maintain Noncontributing status to the Downtown and Eastside Historic District.

<sup>9</sup> "Historic Panel to Meet," *Santa Fe New Mexican*, July 18, 1976, 17. This notice references a large one-room addition, seemingly describing the Family Room.

<sup>10</sup> "Edward F. Roybal [obituary]," *Santa Fe New Mexican*, December 16, 2018, C-2.

<sup>11</sup> Maria Elisa A. Roybal."

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			

## Illustrations



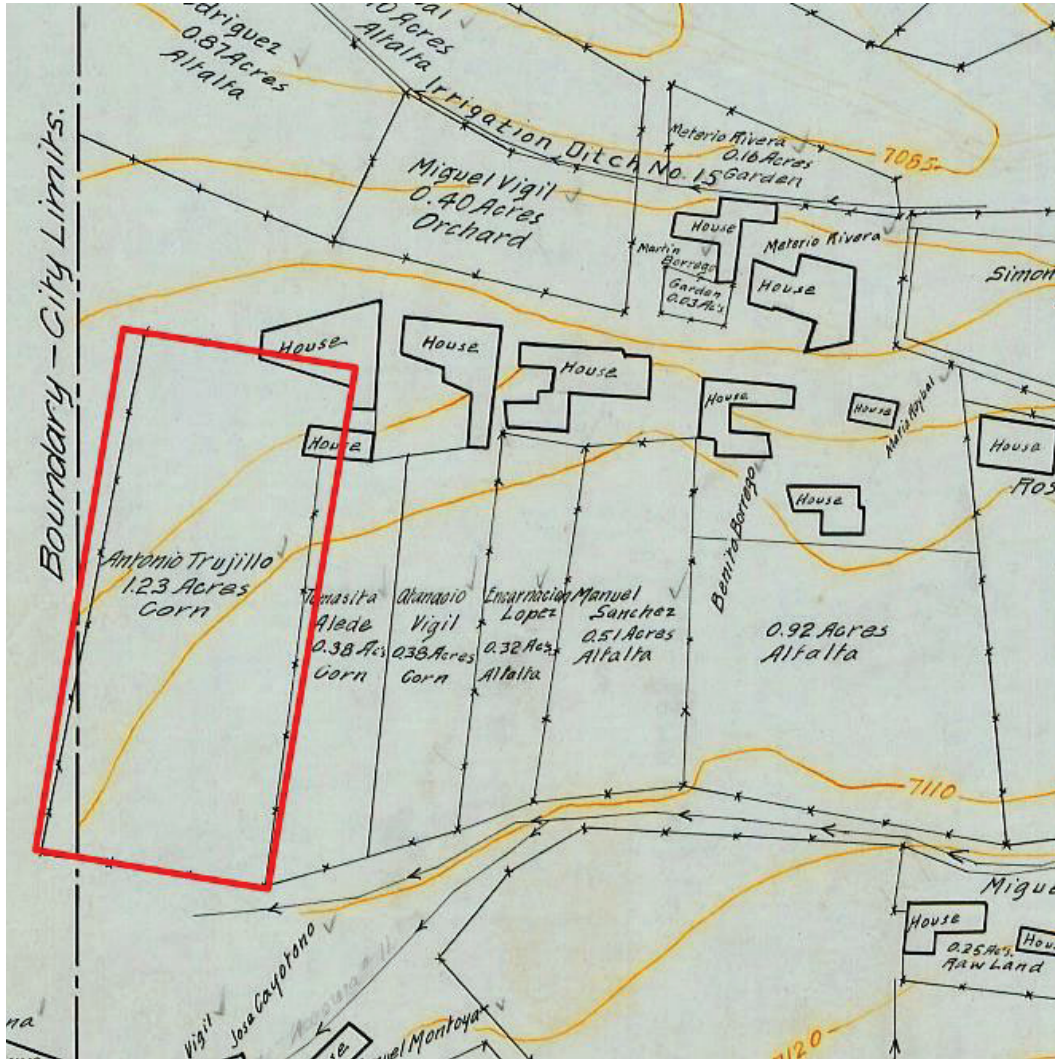
EXISTING FLOOR PLAN  
 ARCH. SCALE: 1/4" = 1'-0"  
 MOORE

**Figure 1: Study of footprint development based on aerial photographs.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		Criteria    A    B    C    D			
HCPI No.	District No.	NRHP	SRCP		
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe		<b>3. Local Reference Number:</b> Santa Fe ID: H-90		
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



**Figure 2: State Engineer’s Office, “Santa Fe Hydrological Survey,” [series of maps] (Santa Fe: State Engineer’s Office, 1914 (1919). The highlighted area likely represents the farm plot which evolved into the subject residential area.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP	SRCP	Criteria	A	B	C	D
1. Name of property:  Edward and Maria Elisa Roybal House		2. Location:  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe				3. Local Reference Number: Santa Fe ID: H-90				
						4. County: Santa Fe				
						5. Date of Survey: October 17, 2023				

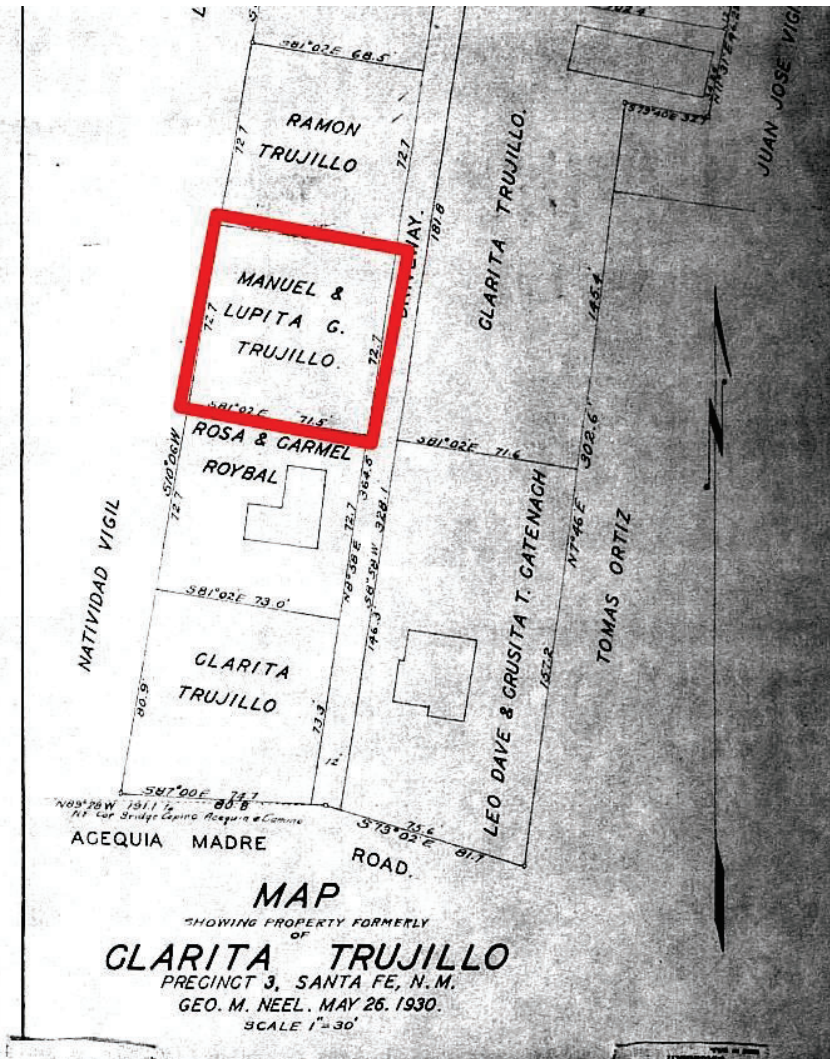


Figure 3: Plat (Showing Property Formerly of Clarita Trujillo), May 30, 1930, Book 2/Page 266, P-1189986. Highlighted area represents the subject property. Note there is no building present.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>								
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A	B	C	D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90						
		<b>4. County:</b> Santa Fe						
		<b>5. Date of Survey:</b> October 17, 2023						



Figure 4: October 25, 1948, aerial photograph.  
The circled area indicates a structure on the property.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			

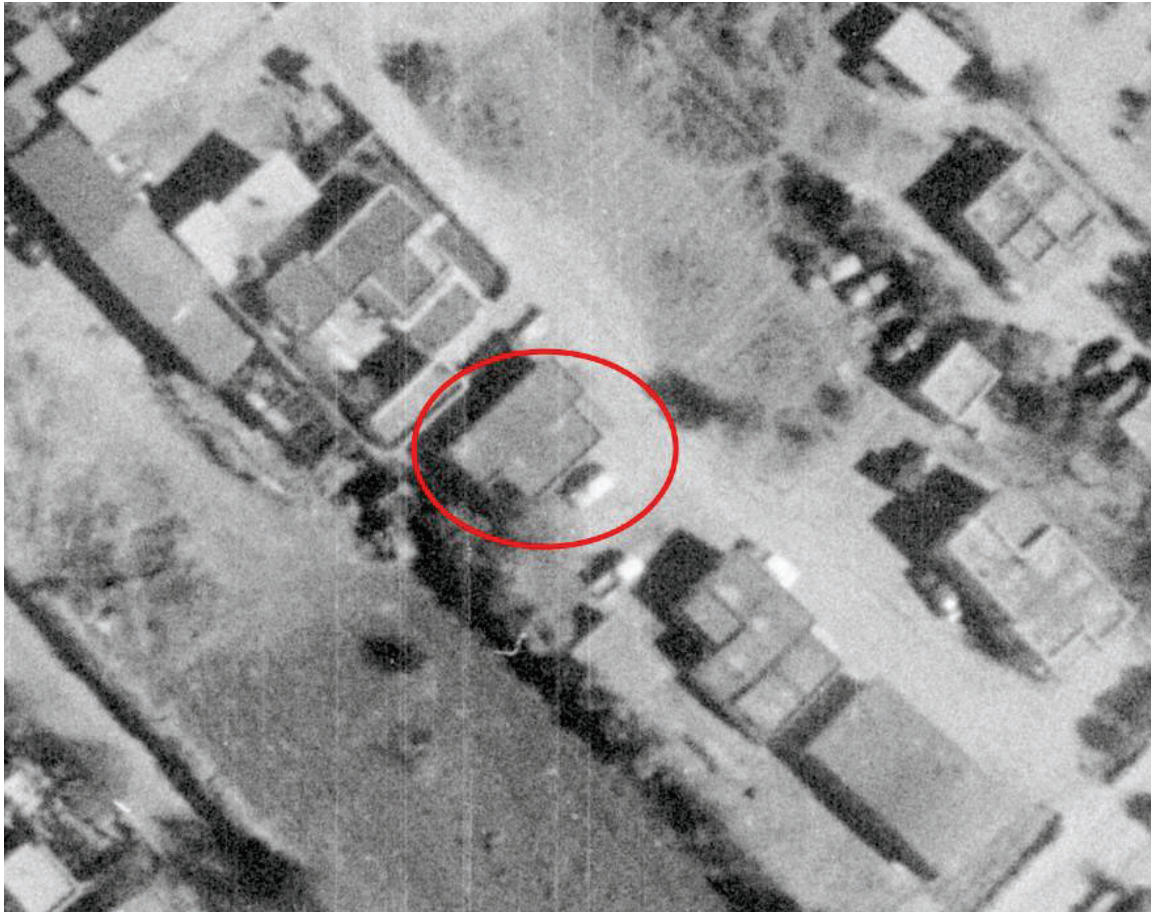


Figure 5: November 10, 1958, aerial photograph.  
Note configuration of original adobe dwelling.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>								
HCPI No.	District No.	NRHP	SRCP	Criteria	A	B	C	D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90						
		<b>4. County:</b> Santa Fe						
		<b>5. Date of Survey:</b> October 17, 2023						



**Figure 6: May 2, 1966, aerial photograph.**  
The arrow points to the current porched area. This could be a patio or a different roofed structure. It is inconclusive.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Figure 7: May 11, 1973, aerial photograph.**  
**Note presence of Laundry Room, Porch, and freestanding Garage. Note absence of Family Room.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2					
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D			
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90					
		<b>4. County:</b> Santa Fe					
		<b>5. Date of Survey:</b> October 17, 2023					



Figure 8: September 11, 1978, aerial photograph.  
Note presence of Family Room.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i> NRHP _____ SRCP _____ Criteria A B C D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 17, 2023	

## Survey Photographs

(All images taken by John W. Murphey, on October 17, 2023.)



**Photo 2: Full east façade. Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i> NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> October 17, 2023	



**Photo 3: East façade, Garage (c.1966-1973). Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Photo 4: East façade, Family Room (c.1976). Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2		
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90		
		<b>4. County:</b> Santa Fe		
		<b>5. Date of Survey:</b> October 17, 2023		



Photo 5: Family Room interior. Camera facing west.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Photo 6: East façade, Porch (c.1966-1973). Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2					
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D			
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90					
		<b>4. County:</b> Santa Fe					
		<b>5. Date of Survey:</b> October 17, 2023					



Photo 7: Porch, decking. Camera facing south.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



**Photo 8: East façade, entry. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



**Photo 9: Virgin of Guadalupe protection medallion. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe
<b>3. Local Reference Number:</b> Santa Fe ID: H-90	<b>4. County:</b> Santa Fe
<b>5. Date of Survey:</b> October 17, 2023	

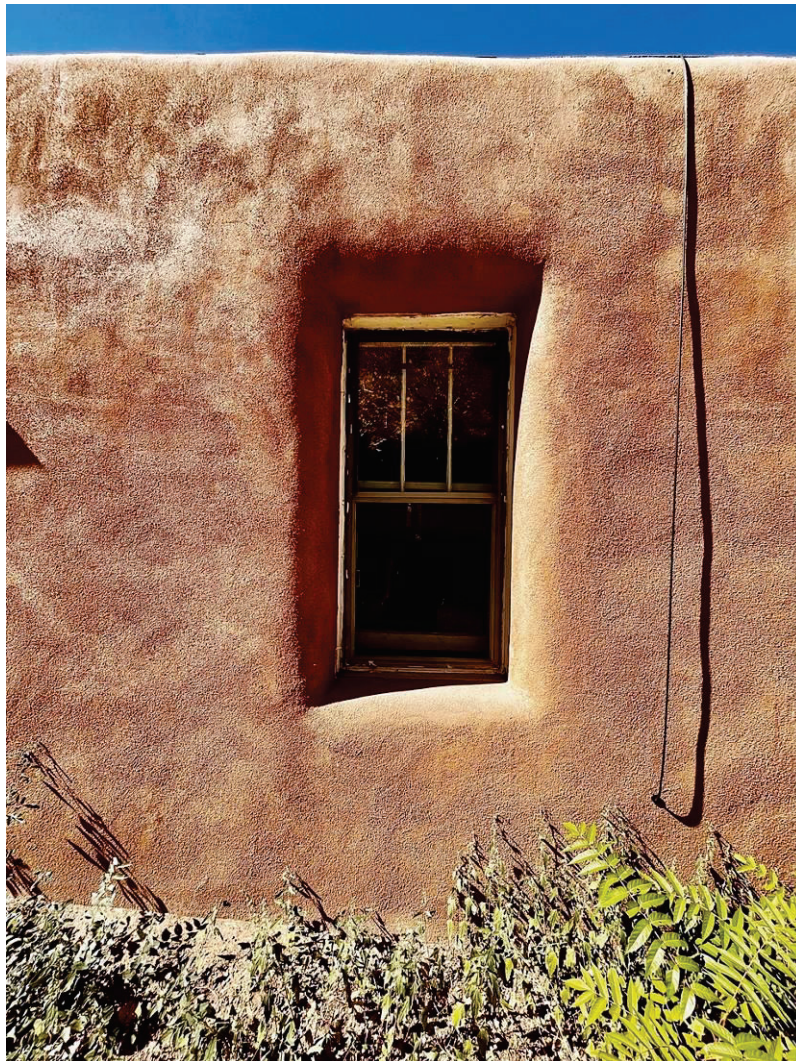


**Photo 10: East façade, older portion of home (c.1939-1958). Bedroom Wing at right. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



**Photo 11: East façade, window at Bedroom Wing. Camera facing west.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> October 17, 2023



**Photo 12: East and north elevations of Bedroom Wing. Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Photo 13: North and west elevations of Bedroom Wing. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			

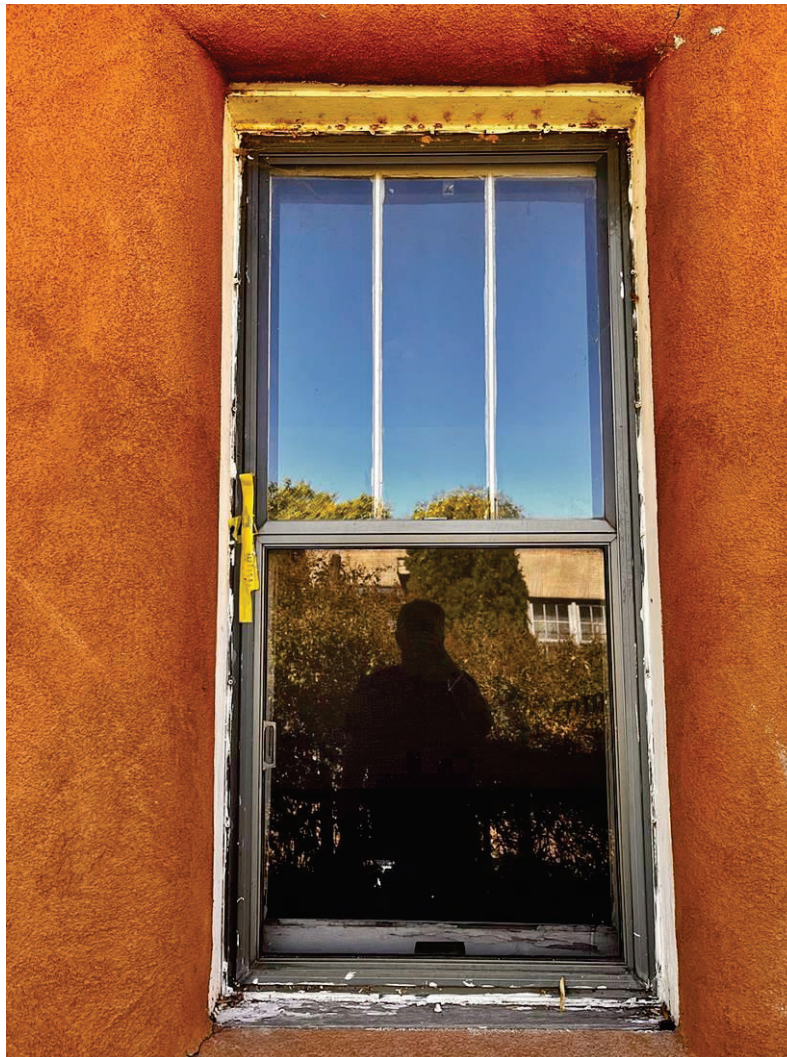


Photo 14: North elevation, Bedroom Wing, window. Camera facing south.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2					
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D			
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90					
		<b>4. County:</b> Santa Fe					
		<b>5. Date of Survey:</b> October 17, 2023					



Photo 15: Bedroom Wing interior. Camera facing east.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



Photo 16: Full west elevation. Camera facing northeast.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Photo 17: West elevation, Laundry Room (c.1958-1966) at center. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> October 17, 2023



**Photo 18: Laundry Room interior. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> October 17, 2023



**Photo 19: West elevation, Family Room (c.1976). Camera facing east.**

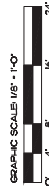
# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Edward and Maria Elisa Roybal House	<b>2. Location:</b>  913½ Acequia Madre Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-90			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> October 17, 2023			



**Photo 20: West elevation, Garage (c.1966-1973). Camera facing east.**



SET #  
2314 - MORTON-PHILLIPS

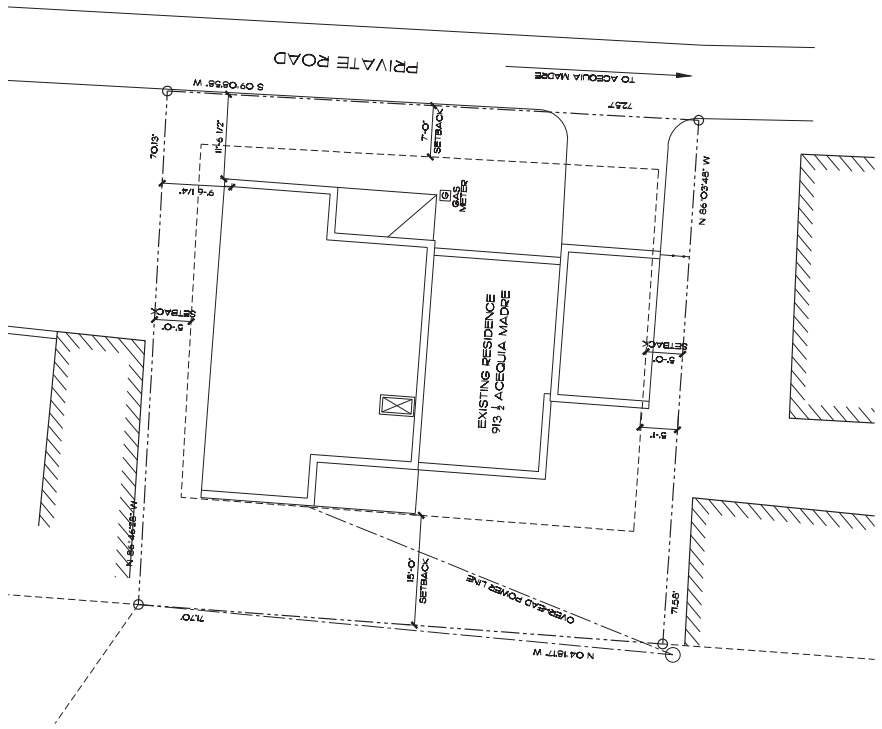
A  
1.0

EXISTING &  
PROPOSED  
SITE PLAN

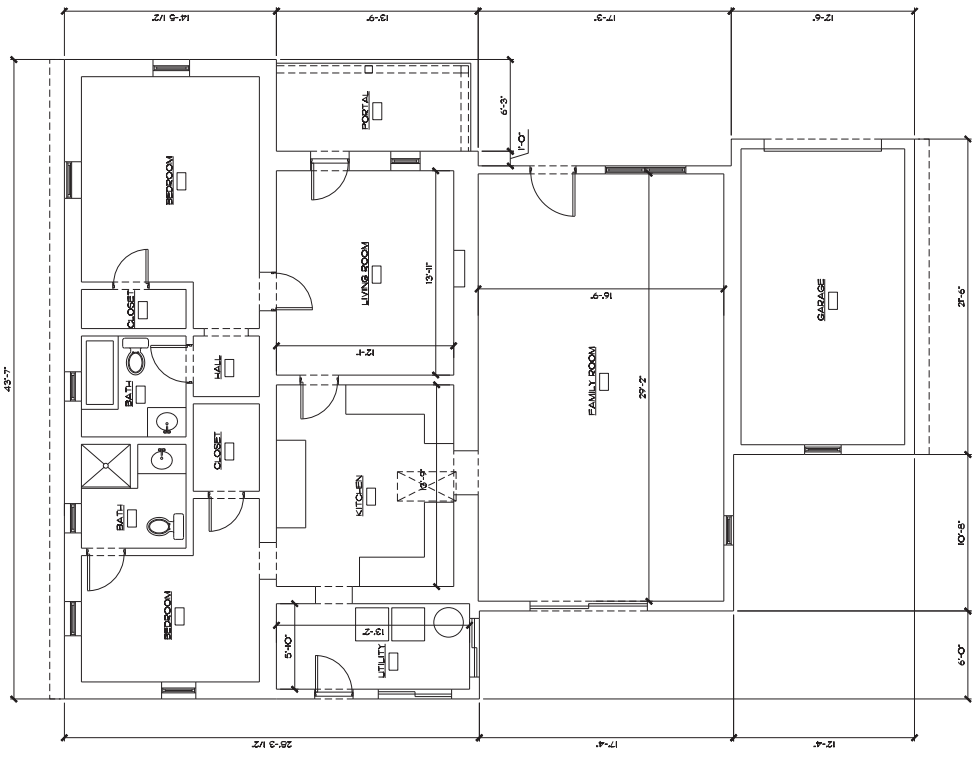
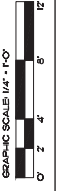
OCTOBER 16, 2023

MORTON-PHILLIPS  
913 7<sup>th</sup> ACEQUIA MADRE  
SANTA FE, NEW MEXICO

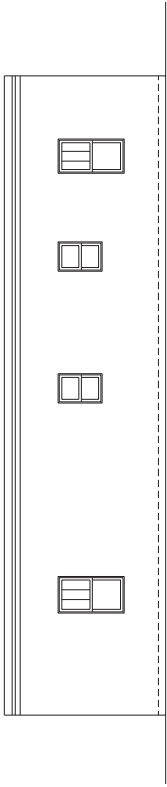
MARTINEZ  
ARCHITECTURE  
ARCHITECTURE  
STUDIO PC  
1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com



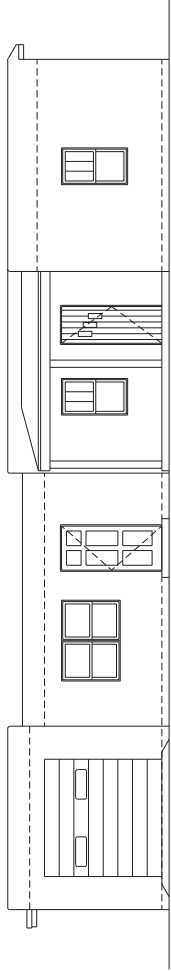
1 EXISTING SITE PLAN  
A-10 SCALE 1/8" = 1'-0"



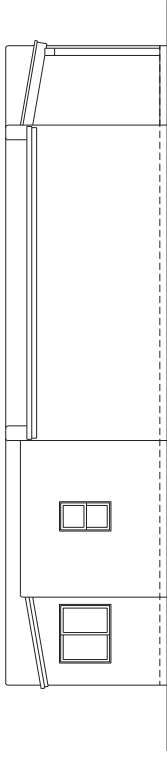
1 EXISTING FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
NORTH



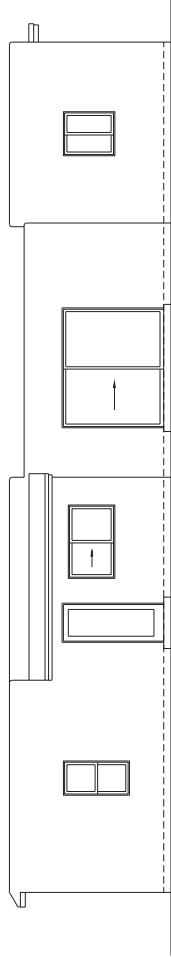
1 EXISTING NORTH ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



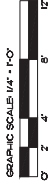
2 EXISTING EAST ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"



4 EXISTING WEST ELEVATION  
A-3.0 SCALE 1/4" = 1'-0"





MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

MORTON-PHILLIPS RESIDENCE  
913 ½ ACEQUIA MADRE  
SANTA FE, NEW MEXICO

EAST ELEVATION  
OCTOBER 16, 2023



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

MORTON-PHILLIPS RESIDENCE  
913 ½ ACEQUIA MADRE  
SANTA FE, NEW MEXICO

NORTH ELEVATION  
OCTOBER 16, 2023



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

MORTON-PHILLIPS RESIDENCE  
913 ½ ACEQUIA MADRE  
SANTA FE, NEW MEXICO

SOUTH ELEVATION  
OCTOBER 16, 2023



MARTINEZ  
ARCHITECTURE  
STUDIO PC

1524 PASEO DE PERALTA SANTA FE  
505-989-4958 studio@martinezarch.com

MORTON-PHILLIPS RESIDENCE  
913 ½ ACEQUIA MADRE  
SANTA FE, NEW MEXICO

WEST ELEVATION  
OCTOBER 16, 2023



# CITY OF SANTA FE, NEW MEXICO

**PROJECT DESCRIPTION:** 2023-007411-HDRB. 135 Grant Ave. Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O’Keeffe Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested.

Case number: 2023-007411-HDRB  
Project Type: HDRB

**PROJECT LOCATION (S):** 135 Grant Ave

**PROJECT NAMES:**

OW – Georgia O’Keeffe Museum, 135 Grant Ave., Santa Fe, NM 87501

AP – JenkinsGavin, 130 Grant Ave. STE #101, Santa Fe, NM 87501

**PROJECT DATA: (The below information is located under the additional information General Tab)**

**HISTORIC DISTRICT**

Don Gaspar Area  Downtown and Eastside  Historic Review  Transition  Westside-Guadalupe

**HISTORIC BUILDING STATUS**

Non-Statused  Non-Contributing  Contributing  Significant  Landmark  N/A

**PRIMARY ELEVATIONS:** North  South  West  East  N/A

PUBLICLY VISIBLE FACADE-EAST Yes  No

PUBLICLY VISIBLE FACADE-NORTH Yes  No

PUBLICLY VISIBLE FACADE-SOUTH Yes  No

PUBLICLY VISIBLE FACADE-WEST Yes  No

HISTORIC DISTRICT INVENTORY NUMBER H-2241

YEAR OF CONSTRUCTION 1883/1941

**PROJECT TYPE**

Status  Primary Elevations  Remodel  Demolition  New  Other \_\_\_\_\_

USE, EXISTING Residential  Non-Residential  Vacant

USE, PROPOSED Residential  Non-Residential

HISTORIC BUILDING NAME Otero-Bergere House

# City of Santa Fe, New Mexico

# memo

**DATE:** November 28, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Paul Duran, Senior Planner, Historic Preservation Division

---

**2023-007411-HDRB. 135 Grant Ave.** Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O’Keeffe Museum, owner, requests approval for two exceptions for the demolition and alteration of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested.

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

**STAFF RECOMMENDATION:**

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends the application meet the standards of the code as written in 14-5.2(D) General Design Standards for all Historic Districts specific to 14-5.2(D)(1)(a) the status of a significant, contributing, or landmark status.

**BACKGROUND & SUMMARY:**

135 Grant Avenue is the Otero-Bergere House and now houses the Georgia O’Keeffe Museum Administrative Offices. It is listed as a significant structure to the Downtown and Eastside Historic District. The property at 123 Grant Avenue is the former Safeway building and is

designated as a non-contributing structure to the Downtown and Eastside Historic District. The white wooden picket fence on the western property line and the masonry stuccoed wall on the eastern and southern property line of the Otero-Bergere property, are contributing structures to the Downtown and Eastside Historic District.

The applicant is proposing the following:

- 1) Demolition of the wall in order to allow for the construction of the new Georgia O’Keeffe Museum.
- 2) Alteration of the picket fence in order to improve site access and expand the public sidewalk along Grant Avenue.

The white wooden picket fence was constructed between the 1870s to 1880s at the time the Fort Marcy Military Reservation was active and initially served as a property boundary marker delineating the yard of one of the officer’s quarters. The wooden fence at 135 Grant Avenue has undergone renovations in 1912, the 1970s, and into the early 2000s.



Figure 11: Otero-Bergere House, 1873. Timothy H. O’Sullivan, photographer. Source: Still Picture Records Section, Special Media Archives Services Division, National Archives and Records Administration, College Park, Maryland.

The masonry stuccoed wall at 123 Grant Avenue was constructed pre-1958 and established the eastern and southern property boundaries on the north side of that property. The wall has undergone previous maintenance and construction between 1941 and the early 2000s as seen by the height variations on the east and south sides. The white wooden picket fence and the masonry stuccoed wall represent a historic reference point which is significant to the streetscape and contributes to the sense of place which is an essential part of the Grant Avenue streetscape and this part of the Downtown and Eastside Historic District where the Fort Marcy Military Reservation used to be.

Historic photographs show the white wooden picket fence surrounded the house on all sides and defined the property boundaries. The wooden picket fence heads varied in shapes and styles from spade to gothic and currently are a triangular shape. The white wooden picket fence shares the incorporation of a territorial architectural design uncommon to the historic downtown Santa Fe and specifically to Grant Avenue. After the Fort Marcy Military Reservation was decommissioned and New Mexico became a state, the Otero-Bergere house was remodeled in the Santa Fe Style but retained some Territorial period features, including the picket fence. Over time the lot has been encroached upon on the north side and east side. The west and south property lines remain intact even as the fence and wall have changed. The white wooden picket fence has maintained a significant detail to the Grant Avenue streetscape and Downtown and Eastside Historic District.

The masonry stuccoed wall on the properties east and south sides was constructed between 1941 to 1958 and helps to establish and maintain the character of the of the space around the Otero-Bergere property. The initial construction was out of concrete cinder blocks and stuccoed over. The exact date is uncertain; however, the wall is over 50-years old and was determined to have a contributing historic status. The height of the wall varies between 72” to 102” on the south side.

Previous cases include:

In 1999, the Otero-Bergere House was designated as significant to the Downtown and Eastside Historic District by the HDRB.

In 2000, the HDRB approved maintenance and repair of the fence in kind.

In 2021, the former Safeway building at 123 Grant Avenue was designated as “noncontributing” by the HDRB in a status review hearing. The HDRB approved demolition of this existing building and associated parking lot and kiosk on September 14, 2021.

At the September 12, 2023, HDRB hearing, the picket fence and masonry wall received contributing status with a 3-2 vote from Board members.

### **DEMOLITION CRITERIA AND RESPONSES:**

In reviewing demolition requests, SFCC §14-3.14(G)(1) states that the following criteria must be considered:

*(a) Whether the structure is of historical importance;*

Applicant Response: As the HCPI addendum for the Otero-Bergere House demonstrates, the white picket fence at the Grant Avenue streetscape is constructed largely of non-historic materials and that the design of the existing fence differs substantially from its historic precedent. That said, the Applicant agrees with the HDRB that the look of the white picket fence is important to maintain in the Grant Avenue streetscape, and the proposal is to remove approximately 21 feet of the existing length of the fence in order to expand the sidewalk, provide more ease of entry into the new Georgia O’Keeffe Museum campus, and to create

more passable space around a mature and significant Cottonwood tree along Grant Avenue in front of the property.

With regards to the stuccoed CMU site wall at the south property line, the HCPI also demonstrates that the majority of the wall is constructed of non-historic material and that its design has substantially been altered since its original construction. Like the previously approved demolition of the former Safeway building and parking lot, the demolition of the site wall is needed in order to create space for the construction of the new museum. The Applicant requests that the HDRB act in accordance with its previous rulings on the Safeway building and acknowledge the greater importance of a new cultural asset in downtown Santa Fe over the preservation of an extensively modified site wall.

Staff Response: As the HCPI survey form states, the white wooden picket fence was constructed in the 1870s when Grant Avenue was established. Historical photos from the late 19<sup>th</sup> and early 20<sup>th</sup> century show that the picket fence served as a property boundary marker for all the officer quarters built on Grant Avenue. Repair and maintenance on the wooden fences has occurred throughout time and historic materials are present as shown in the HCPI survey form. The HDRB has given approval in past cases for maintenance and repair be allowed as long as the materials and paint be “in kind”. Beyond the argument of historic material, the applicant is requesting to alter the space that embodies the significant structure at 135 Grant Avenue. The degree to which alteration and removal of a contributing feature which is a historical boundary marker that embodies a defining historical event in Santa Fe for a cottonwood tree and pedestrian foot traffic should be closely considered by the Board. The current sidewalk provides the necessary Americans with Disabilities Act (ADA) requirements for pedestrian foot traffic and care for the cottonwood tree while not impeding on the development of the proposed Georgia O’Keeffe Museum. To alter the fence line means that the streetscape changes and that the historic yard space around the house is altered as well.

The stuccoed CMU site wall demarcates a historic property boundary. The location of the wall was originally a white wooden picket fence but was removed and replaced by a CMU wall between 1941 to 1958. The date of initial construction is unknown but most likely associated with the construction of the Safeway building in the early 1940s as discussed in the HCPI survey form. The wall serves to define the southern boundary of the yard of the Otero-Bergere house, the space that embodies the significant structure. Removal of the site wall can adversely affect the historic gardens and property at 135 Grant Avenue.

*(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure ; and*

Applicant Response: As stated above, the Applicant feels that the reduction of the existing picket fence at 135 Grant Ave by approximately 21 feet to the southwest corner of that property will not diminish the look and feel of the historic Grant Avenue streetscape, as documented by historic photographs presented in the HCPI.

The stuccoed CMU wall that runs E-W along the south property line has very little if any

visual impact on the existing streetscape. Its purpose was to divide two properties that are now being made into a unified campus and a valuable cultural amenity. As a result, the value of its demolition to cultural preservation and education in Santa Fe is far greater than its retention in the Grant Avenue streetscape.

Staff Response: The picket fence is an essential part of a unique street section and block front. The CMU wall is also essential to the streetscape in that it helps maintain the space that embodies the historic structure at 135 Grant Avenue and which is the only such space still extant from the American Territorial period in downtown Santa Fe. The wooden picket fence is an essential element in the Grant Avenue streetscape. Reducing the fence by 21-feet will adversely impact the Grant Avenue streetscape which is known for the presence of white wooden picket fences. The re-establishment of new materials such as a steel metal gate and fence are the greatest concerns. By removing a historically contributing feature that has been a prominent element along the Grant Avenue streetscape for over 150 years does not show that the applicant has taken every measure possible to promote the historic identity of the Downtown and Eastside Historic District or the Grant Avenue streetscape.

The CMU site wall has a strong physical and visual presence on Grant Avenue and Sheridan Avenue. The site wall may not be aesthetically pleasing nor is it displeasing. It is a common historic property boundary marker which can be observed throughout the Downtown and Eastside Historic District and the Grant Avenue streetscape. The wall preserves the historic gardens at the Otero-Bergere House from outside influences and protects the property in ways a CMU site wall should. Again, the greatest concerns of removing the site wall are the adverse impacts from the public to the historic garden and protection from unwarranted influences. As well as re-establishing the historic property boundary marker with materials such as a metal gate and fence that are not within keeping with the Downtown and Eastside Historic District code and Grant Avenue streetscape. However, if the applicant proposed to re-establish the historic property boundary marker with a low standing CMU wall, would create an aesthetically pleasing and inviting feel to the area which embodies the Grant Avenue streetscape.

*(c) The state of repair and structural stability of the structure under consideration.*

Applicant Response: Both the picket fence and the E-W wall are in a decent state of repair and structural stability. The justification for the request for alteration of the fence and for the demolition of the E-W wall are not based in damage or deterioration but in improving site access and allowing for the evolution of the property to support the creation of the new Georgia O’Keeffe Museum campus at 123 and 135 Grant Avenue.

Staff Response: The picket fence and the CMU site wall are in relatively good condition and structurally stable and do not pose a threat to the safety of the public. A greater concern is by altering the picket fence and demolishing the site wall will impact the Otero-Berger House and property which will adversely impact a significant property to the Downtown and Eastside Historic District.

## **EXCEPTION CRITERIA AND RESPONSES:**

### Exception

An exception is requested to SFCC §14-5.2(D)(1)(a) to alter a contributing fence and remove a contributing wall. The exception criteria as specified in §14-5.2(C)(5)(b) are as follows:

*(i) Do not damage the character of the district;*

Applicant Response: The proposed alteration of the white picket fence at the Grant Avenue streetscape will not damage the character of the district, as this character will be retained by the preservation of the vast majority of the existing fence. Furthermore, the demolition of the E-W site wall along the south property line will have no impact on the character of the district, as the wall is barely noticeable in its existing condition, and its removal will allow the construction of the new Georgia O’Keeffe Museum and campus adjacent to the existing Research Center at the Otero-Bergere House. The character of the district will be greatly enhanced by the construction of this important cultural amenity.

Staff Response: Staff does not believe the Grant Avenue streetscape is strengthened by the alteration and demolition of the fence and wall. Staff’s evaluation of the applicant’s response is the impacts of altering the historically contributing fence and demolishing the wall will adversely impact the Grant Avenue streetscape which we are trying to preserve. Staff does not believe the criterion has been met to warrant an exception.

The present location of the western fence establishes the Grant Avenue streetscape and is a historic boundary marker. The alteration of the fence from its present location will adversely impact the streetscape by taking the presence of the fence away from Grant Avenue, removing a historic property line, creating a false narrative of the streetscape, and neglecting the historic garden at the Georgia O’Keeffe Administration Offices. Due to the adverse impact of altering the fence’s current location, staff does not recommend the current fence be altered.

The present location of the southern site wall provides the Georgia O’Keeffe Administration Offices a clear break from the parking lot to the south and encloses and encapsulates the historic garden. The wall is a historic boundary marker and separates the two properties quite distinctly. Staff does not recommend the removal of the wall, however, if the wall is to be demolished staff highly recommends that it be replaced with a low standing CMU wall which is reminiscent to what was established historically.

*(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;*

Applicant Response: The alteration of the white picket fence at the Otero-Bergere House will allow for the existing fence to remain an important part of the Grant Avenue streetscape while also enhancing the public realm by expanding the sidewalk, improving access to the new museum campus, and allowing for requisite ADA compliance in terms of navigable space around the sizable historic cottonwood tree along Grant Avenue in front of the property. In this way, the exception is required to prevent both a hardship to the Applicant and injury to the public welfare.

The exception to demolish the E-W site wall is necessary to prevent the hardship of blocking

the construction of the proposed Georgia O’Keeffe Museum by the Applicant. It was the clear intent of the HDRB in 2021 to approve the demolition of the associated Safeway building in order to make way for the construction of the new museum. At that time, the HDRB had seen the preliminary design of the museum and were aware that the site wall would need to come down in order to proceed with construction of the museum. At the present stage, to halt the construction of the museum in order to preserve a site wall would be incongruous with the HDRB’s ruling on previous cases and would cause an injury to the public welfare of not allowing the creation of a new museum, education and curation facility for the world-renowned collections of the Georgia O’Keeffe Museum.

Staff Response: Staff believes the Grant Avenue streetscape will be impacted adversely and is threatened by the alteration and demolition of the fence and wall. ADA compliance is currently met by the City of Santa Fe. The current public welfare are not injured in any way, and it could be argued that by taking down the wall, it is more likely to see injuries to the public welfare and the Otero-Bergere House and garden. Staff does not believe the criterion has been met to warrant an exception.

The alteration of the existing fence is not in keeping with preserving the Grant Avenue streetscape which is what is critically important. There are no properties on Grant Avenue where there is not a clear boundary marker such as a fence or wall for properties who currently have a yard. The current fence does not impact ADA accessibility. By altering the fence there is still a concrete footer at the base of the fence which is raised above ground-surface and would need to be removed as well. The current sidewalk well exceeds the ADA requirements. The historic garden on the property will be impacted adversely which will also impact the streetscape.

The demolition of the southern site wall will adversely impact a historic property boundary marker and the historic garden. The wall currently separates two distinctly different properties. The wall serves as a buffer from motor vehicle and pedestrian traffic and keeps the garden in a state of peace and tranquility. The previous HDRB case in 2021 gave approval to what was presented to them and did not assume anything other than what was presented. The HDRB reviews what staff presents for the applicant. If the wall must be demolished for the proposed museum, then staff highly recommends that a low standing CMU wall re-establish the historic southern property boundary. This would open up the museum to the garden, give a space for people to congregate, and strengthen the embodiment of the Grant Avenue streetscape, while also bringing the property boundary back to its historically intended form. The current public welfare is not impacted by the wall. In fact, the wall provides the Georgia O’Keeffe Administration Offices a solid structure from undesirables entering in the property and threatening the people and material inside the offices.

*(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Applicant Response: Over the last several years, the Georgia O’Keeffe Museum Building Committee and design team has considered every possible design option for the new museum and adjacent gardens at 123 and 135 Grant Avenue. Granting the exception will allow the best of these design options to move forward for design review and development approvals.

Allowing this site to evolve into the new Georgia O’Keeffe Museum campus will improve the character of the district, will enhance economic development in the historic downtown, and will have incalculably positive impacts on the residents and visitors of Santa Fe’s historic core.

Staff Response: Staff does not believe the picket fence and site wall impact the design of the new museum and believe they are two separate structures. The criteria has not been met and in fact adversely impacts the Grant Avenue streetscape. Staff believes the preservation of the fence and wall preserves the Grant Avenue streetscape and does not affect the design of the proposed new museum. The proposed alteration and demolition of the fence and wall will adversely impact the Grant Avenue streetscape insurmountably. Grant Avenue is the only street in the Downtown and Eastside Historic District with picket fences along the streetscape. By altering the historic fence will change the essence Grant Avenue embodies. The change of the fence will adversely impact the historic garden which will impact the Grant Avenue streetscape which we are required to preserve. There are no other properties on Grant Avenue with fences and yards not serving as property boundary markers. The wall serves the Georgia O’Keeffe Administration Offices as a property boundary marker and buffer from adverse impacts to the garden and the Otero-Bergere house. If it is to be demolished, staff proposes a low standing CMU stuccoed wall which will embrace the Grant Avenue streetscape and re-establish what was there historically. The Grant Avenue streetscape is established and to take away from what has been established would impact the streetscape and the Downtown and Eastside Historic District adversely.

### **RELEVANT CODE CITATIONS:**

#### 14-3.14 Demolition of Historic or Landmark Structure

##### (A) Summary of Procedure

- (1) Upon receiving an application for demolition of a structure within the historic districts the HDRB shall, within sixty-five calendar days from the date of application, either grant or deny the application. Ordinarily, the HDRB will act on an application for demolition at its next regular meeting, if the application is submitted in proper form at least seven days before its next regular meeting; however, the HDRB may use the entire sixty-five day time period if the HDRB, on motion duly passed, determines such delay is necessary.
- (2) Upon receiving an application for demolition of a landmark structure the HDRB shall, within sixty-five calendar days from the date of application, make a recommendation to the governing body to either grant or deny the application.

##### (B) Hearing Required

- (1) In all applications involving the demolition of a structure, provision shall be made for a hearing, as set forth in the preceding section.
- (2) The HDRB or governing body, as applicable, shall restrict its review to a consideration of whether the application will be in conformity with the standards established by this section.
- (3) Notice of the time and place for each hearing shall be sent in writing to each applicant.
- (4) An agenda of the HDRB shall be sent to all groups requesting notification and copies of meeting agendas, as set forth in the officially adopted neighborhood planning policies.
- (5) On-site notice, by a sign of proposed demolition and of the time, date and place of the HDRB or governing body review shall be posted by the city on the affected property fourteen days prior to HDRB or governing body review of application for demolition.

Such notice shall be prominently displayed, visible from a public street and securely placed on the property.

(C) Staff Review and Report

Before granting approval or denial to a demolition request, the land use director shall provide the following information on the structure under consideration.

- (1) A report on the historic or architectural significance of the structure;
- (2) A report from the city building inspector on the state of repair and structural stability of the structure;
- (3) If the structure is more than seventy-five years old, and the entire project of which demolition is a part requires an archaeological clearance permit, a report from the land use director on whether the demolition would damage possible archaeological artifacts; and
- (4) Other information as requested by the HDRB or governing body.

(F) Denial of Demolition Request

A determination that the structure should not be demolished shall impose a duty on the owner or other persons having legal custody and control to immediately take the action required under Section 14-5.2(B) (Minimum Maintenance Requirements).

(G) Standards

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair and structural stability of the structure under consideration.
- (2) In determining whether a request for demolition of a landmark structure should be approved or denied, the HDRB and governing body shall consider the following:
  - (a) The historical importance of the structure; and
  - (b) The state of repair and structural stability of the structure.

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995

ADDRESS: 135 Grant

ID NUMBER: 0516 10069

BUILDING NAME: A.M. Bengere house

UTM REFERENCE EASTING NORTHING  
ZONE 12 13

LEGAL DESCRIPTION:

SANTA FE ID NUMBER: H 2241

TNSP 17 (N) S RANGE 9 (E) W SEC 24 SW 1/4 NE 1/4

FIELD MAP Santa Fe Historic Structures Survey, 1983-85/1992

DATE OF CONSTRUCTION:  
ESTIMATE 1870s/1926 ACTUAL  
SOURCE(S) NR nomination

ARCHITECTURAL STYLE:  
Territorial / Span. Pueblo Rev.

USE:

HISTORIC: residential

OTHER

PRESENT: residential

OTHER

SURROUNDINGS:  
Commercial/  
residential

RELATIONSHIP TO HISTORIC SURROUNDINGS:

SIMILAR  NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES  NO

WHAT TYPE? garage (attached)

IF INVENTORIED, LIST ID NUMBER(S)

DEGREE OF REMODELING:

MINOR  MODERATE

MAJOR garage collapsed -  
EXPLAIN: rebuilt

OVERALL CONDITION:

EXCELLENT  GOOD

FAIR  DETERIORATED

BUILDING THREATENED?

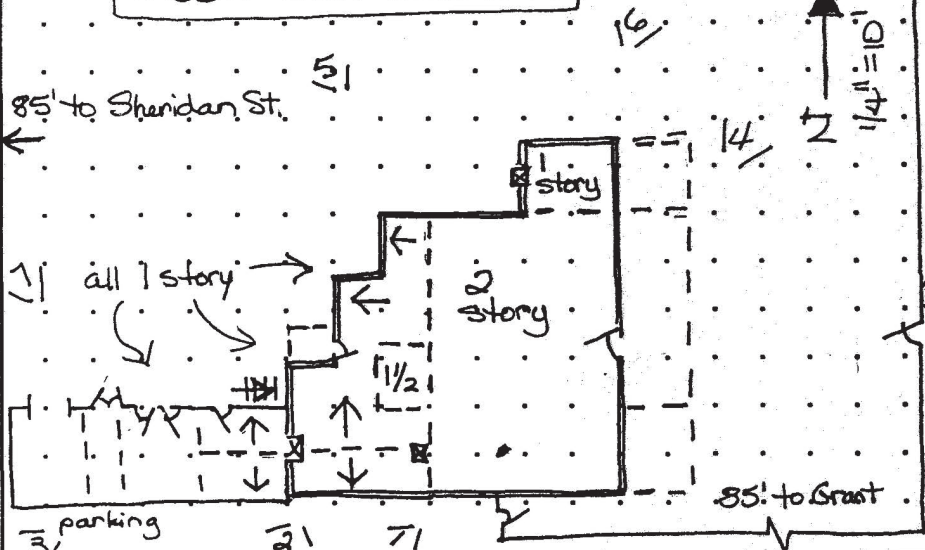
See comments  
 YES  NO

PHOTO



BUILDING DATA

#36A west elevation



SITE PLAN

SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES  NO  ELIGIBLE

CONTRIBUTING  NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES  NO  ELIGIBLE

LOCAL DESIGNATION: Downtown & Eastside HISTORIC DISTRICT

SIGNIFICANT  CONTRIBUTING  NON-CONTRIBUTING

LOCAL LANDMARK  YES  NO

137

SURVEYED 7/95 BY

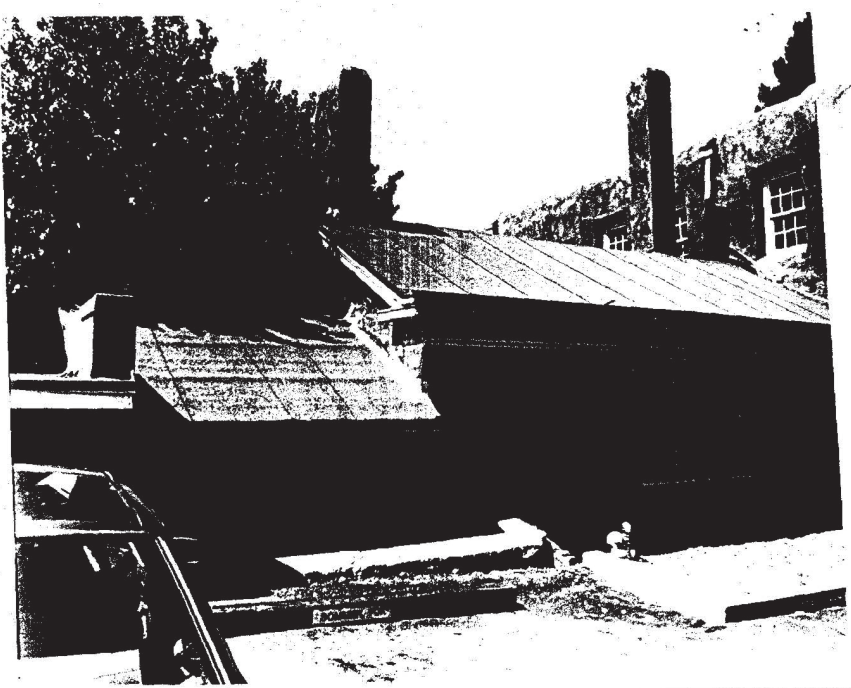
NEGATIVES WITH NMHPD ROLL # DB10 NEG # 1 TO 7  
DB9 36A

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ROOFS & DRAINS	W portion flat 2 story w/ some projecting vigas, stepped parapet E - pitched gable w/ wood fascia, asphalt roofing
BUILDING WALLS	adobe 1st story, pentite 2nd story - brown stucco, slightly battered, porch walls white brown wainscot
FOUNDATIONS	adobe on river rock
DOORS	W - wood panel with sidelights over panels, wood beam, 6 light transom; E - wood panel with 1 upper light; Storage & garage wing - wood panel, panel w/ 4 lights, plank
WINDOWS	6/6 wood DHWS 2nd story N & E, wood 8 light casement 2nd floor S & W, large 2/2 wood DHWS with shutters 1st floor W, wood 6/6 large DHWS 1st floor S, paired 6 & 8 light casmt
PORCHES OR PORTALES	W - projecting wood porch with large square posts & beams, plank ceiling & floor, large stucco corner piers, spindle balustrade upper, <del>X</del> balustrade lower; wood pergola S
BALCONIES	balcony over W porch has wood pergola, balustrade
COURTYARDS	
FENCES/WALLS	white picket fence W, stucco walls S & E around grounds
ARCH. DETAILS	territorial cornices on E portion; wood window frames; tall masonry chimneys on E & S; few window grilles
OTHER	connected to flat roofed storage rooms, & garage NE garage collapsed & was recently rebuilt
COMMENTS	Spanish-Pueblo Revival renovation in 1926 changed pitched to flat 2 story & added sunporch, but the house retains much of

ADDITIONAL PHOTOGRAPHS

its Territorial character. Its historic setting is almost entirely gone but the grounds act as a buffer on 3 sides. The building to the north is encroaching by raising and paving its parking lot, causing water to stand against the walls of the building.



#2 N center with raised parking lot

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	135 Grant	ID NUMBER: 0516 10069
			SANTA FE ID NUMBER: H2241
			SURVEYED/RESEARCHED
			DATE 7/95 BY DB

The house at 135 Grant is an important survivor of the U.S. Occupation & Territorial period in Santa Fe. One of two remaining officers' houses built in the 1870s as part of the Fort Marcy Military Reservation, this house retains much of its original fabric.

The Spanish Pueblo Revival renovation and addition, which occurred in 1926, seems to have been done for practical more than stylistic reasons. Additional space was created especially on the second floor by the replacement of the pitched roof with a flat one - thus the family created additional living area using the prevailing style. This kind of addition is common in New Mexico.

The present owner says that, other than maintenance, the only changes during the past several years involve the garage, which was rebuilt at a cost of approx. \$30,000 when it collapsed due to water damage, and enclosure of the adjacent space for storage. This space had, until then, housed a privy.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION

ADDRESS

135 Grant

ID NUMBER: 0516 10069

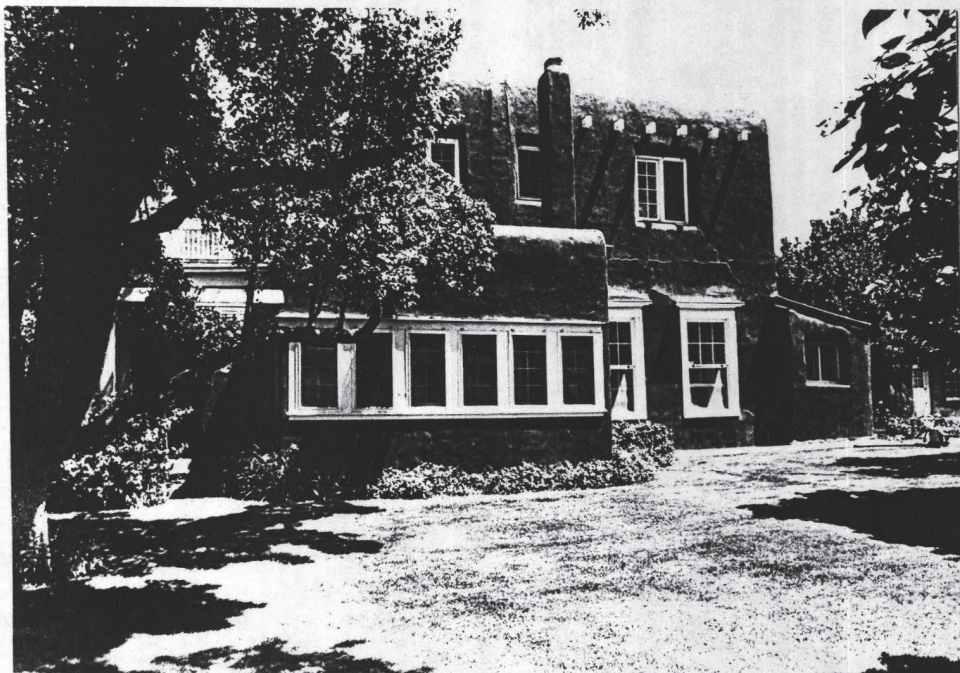
SANTA FE ID NUMBER: H2241

SURVEYED/RESEARCHED

DATE 7/95 BY DB



#4 west elevation



#6 south elevation

140

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION

ADDRESS

135 Grant

ID NUMBER: 0516 10069

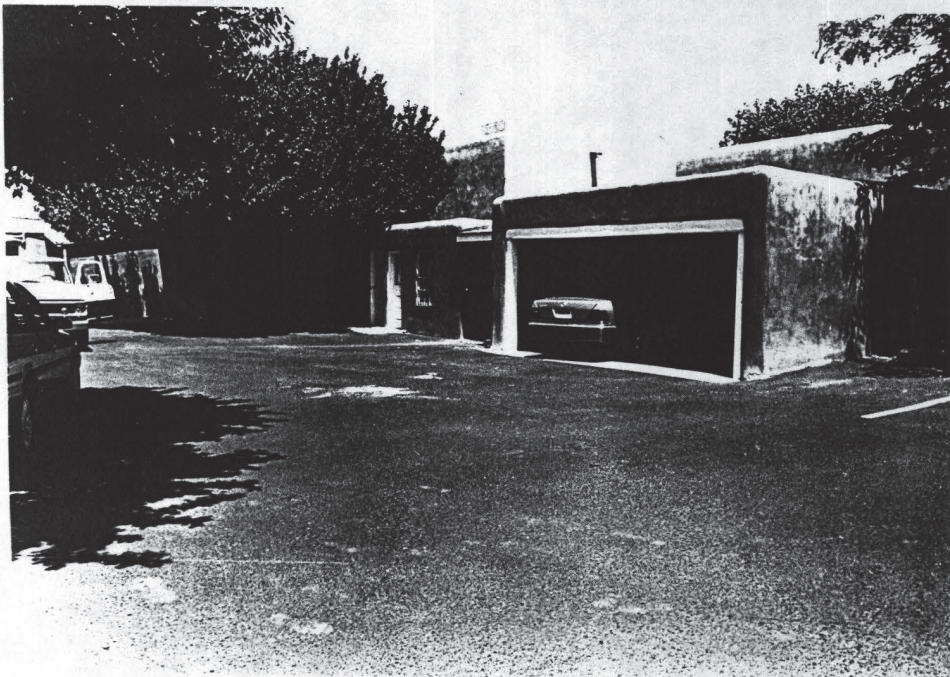
SANTA FE ID NUMBER: H2241

SURVEYED/RESEARCHED

DATE 7/95 BY DB



# 5 east elevation



# 7 garage/storage from SE

141

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION

ADDRESS

135 Grant

ID NUMBER: 0516 10069

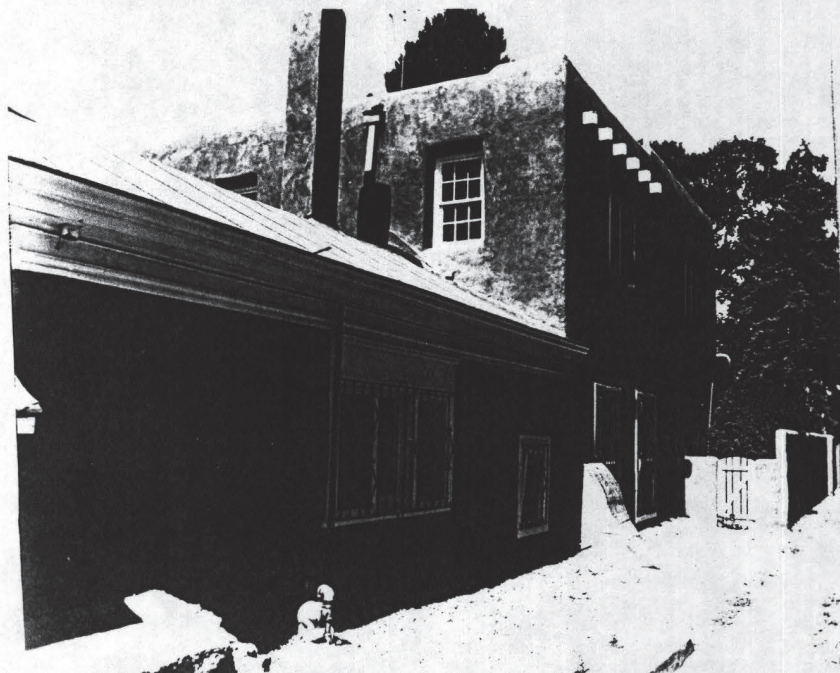
SANTA FE ID NUMBER: H2241

SURVEYED/RESEARCHED

DATE 7/95 BY DB



#3 From NE



#1 N, W end

142

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

## ADDENDUM

**Otero-Bergere House: Fence and Wall**  
**135 Grant Avenue, Santa Fe, New Mexico (APN# 10248320)**  
 John W. Murphey Architectural History Services, August 10, 2023



Figure 1: Panel of White Picket Fence. July 12, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 2: Parcel aerial.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			

### **Current Historical Designation**

The property holding the fence and wall is listed on the National Register of Historic Places as the Alfred M. Bergere House (NRIS 75001166) and designated a Significant Structure in the Santa Fe Downtown and Eastside Historic District. Neither the fence nor the wall has been formally evaluated for City of Santa Fe Contributing Status.

### **Addendum Background**

A review of 1990s plat maps and other records determined that the so-called East-West Wall separating the former Safeway and Otero-Bergere House properties belonged to the latter property.<sup>1</sup> Following this discovery, the project proponents and the City of Santa Fe Historic Preservation Division agreed that the wall and a separate fence on the Otero-Bergere property would be considered for status independent of the Safeway Building.<sup>2</sup> City staff advised that the fence and wall status could attach to the existing Historic Building Inventory for the Otero-Bergere House, with the focus only on the history of the wall and fence.

### **Property Capsule History**

The land on which the Otero-Bergere House stands was historically part of the royal presidio, a military fortification that protected Santa Fe during the colonial period. Following American Occupation, it developed into the Fort Marcy Military Reservation.<sup>3</sup>

<sup>1</sup> Colin T. Cameron, telephone conversation with Georgia O’Keeffe Museum project team and June 21, 2021, email to Daniel Hernandez et al.

<sup>2</sup> March 24, 2021, Zoom meeting with City of Santa Fe staff, and Daniel L. Schwab email communication to John Murphey, May 18, 2021.

<sup>3</sup> The following history is taken from John W. Murphey, “Safeway No. 921, Georgia O’Keeffe Education Annex,” New Mexico Historic Properties Inventory form, June 13, 2021.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			

The first iteration of the house — one of six Officers’ Quarters — began in 1870 with construction of a quarried stone foundation. Like fort structures from the Spanish period, it was constructed of adobe. Unlike these, it had a Georgian central passage plan and a flow of separate rooms in a parlor, dining, chamber, and kitchen configuration. It included additional rooms in an ell at the rear and bedrooms on an upper story accessed by stairs in the hall. The one-and-half-story cross-gabled plan and its placement back from the street made it distinctive. The officers’ houses were likely the first American-plan homes erected in Santa Fe. Part of the fort landscape included a picket fence delineating each home’s front, side and rear lot lines.

The house served as military housing until around 1904, after which it became a private residence owned at various times by the Baca, Luna, Otero, and Bergere families. In c.1924, during Eduardo Otero’s ownership, it was transformed into a Pueblo Revival-style residence. Nina Otero is thought to have overseen the work.

After 1976, following the death of Anita Bergere and Mary Kennedy, an attorney named Harry Bigbee acquired the property and used the house for his law practice. In 2001, the Georgia O’Keeffe Museum renovated the building, transforming it into the Research Center.

**Picket Fence**

A long, white picket fence edges the front of the Bergere-Otero House and marks the boundary between the private yard and the public right-of-way (Fig.3). Reconstructed and repaired in 2000-2001, it may incorporate elements of an earlier fence.

Its basic construction consists of 8’ sections of staves or pickets nailed to rails, which are, in turn, supported by posts. Each panel contains 19 pickets. The pickets — 3’ high, 3½” wide, and ½” thick — are spaced 2” apart. They taper at the top to a squared-off point (Fig. 4).

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			

The framework is made of ½” x 3½” wood rails joining interval posts. The top rails lap across the posts with angled mitered joints; the bottom rails tie into the posts with dados (Fig. 5). The pickets are affixed to the frame by two round-head machine nails spaced 1” apart (Fig. 6). A few staves show a different nailing pattern, with smaller finish-type nails spaced 2” apart.

The ½” x 4 ¾” posts are located on the interior and are not visible from the outside. The fence is bolstered by a concrete base or curb, measuring 8½” across and 13½” high (Fig. 7). This element brings the fence’s height to approximately 46” above the sidewalk.

Toward the north end is an opening holding a gate (Fig. 8). The entrance, made of the same pickets, is framed by square wood posts. The 11½” x 11½” posts are faced with boards and topped with a similar mitered capital. These may be older and survived the 2000-2001 reconstruction. The 4’-wide gate has a Z-braced frame and opens with newer butt hinges.

The fence reveals two types of paint layering, potentially suggesting the age of its members. A majority of the pickets and some rails show only one layer of white paint at wear points (Fig. 9). Other members (mostly rails) reveal multiple layers of paint (Fig. 10).

## History

Based on photographs from the 1870s and ‘80s, wood picket fences defined the Fort Marcy Reservation, being located along the street and on the sides and backs of the individual house lots. While there are no images of the front of the Otero-Bergere House from this period (Figs. 11 & 12), photographs of the officers’ housing on Lincoln Avenue show a similar fence design (Fig. 13). The picket heads are of various shapes, some closer to a spade or Gothic point (Fig. 14); they rested directly on the ground or on a bottom plate.<sup>4</sup>

---

<sup>4</sup> Newspaper accounts of the period present the arrival of the picket fence as an act of progress. As example, in 1883, a short piece in the *New Mexican* cheers the replacement of an “old unsightly wire fence” with a “neat picket fence, painted white.”

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

The clearest historic images of a fence at the front of the property are photographs taken at the house in 1912 for the wedding party of Estella Bergere and Aldo Leopold (Figs. 15 & 16). Though the fence is situated in the background, enlarging and cropping the images gives a good sense of its design at the time. Later photographs of the house continue to show a picket fence at the front of the property.

The most critical image for this study is a photograph taken of a portion of the gate area on October 28, 1976 (Fig. 17). The picture shows a fence that is different from the type seen in the Leopold wedding pictures and the structure that is in place currently. As shown in the photograph, the pickets have a pointed head and are arranged at a wider spacing than currently. There are also more pickets between the posts. In the picture, moving south from the gate, there are 22 staves before the image is cropped. While the bottom rail is not visible, the top rail appears on the exterior side of the fence.

### 2000 HDRB Case

This or another fence came under consideration by the Board in 2000. Architect Greg Allegretti, who was the local associate for Gluckman Mayner Architects, designers of the Georgia O’Keeffe Museum and Research Center, came before the Board with a proposal to replace a picket fence. Representing the client’s wishes, Allegretti initially proposed a solid wall. This was discouraged by HDRB staff, leading to a revised proposal to replace the fence with a new picket structure.<sup>5</sup>

The revision included replacing the existing wood gate posts with stuccoed concrete “pilasters.” The design was based on a schematic drawing prepared by Gluckman Mayner (Fig 18). At the November 14, 2000 HDRB hearing, the Board reviewed the fence replacement under Case #H-09-149. Following a discussion of its design, member Randall Bell made a motion “to

---

<sup>5</sup> Greg Allegretti, telephone conversation with John Murphey, July 7, 2021. Allegretti characterized the work as a construction/reconstruction project.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

renovate the fence as is and replace in kind as needed” instead of replacing it.<sup>6</sup> After further consideration, the Board voted unanimously “To renovate the existing fence as is, replacing material in kind where necessary, to retain or replace the base as necessary, and keeping the fence white.”<sup>7</sup>

It is unclear what occurred after HDRB approval. The Wolf Corporation oversaw its reconstruction. The company's files identify the project as “repaired to match existing.”<sup>8</sup>

The conclusion is that the fence was repaired and reconstructed, which included introducing new wood members. However, the current structure more closely resembles the 2000 drawing than the fence that stood in 1976. In this way, it is essentially a reconstruction following the Gluckman Mayner design.

### Evaluation of Status

While a wood picket fence has defined the west edge of the property for over 100 years, the current structure, based on a 1976 photograph and an examination of existing materials and design, is not historic. Evidence indicates that the earlier structure was replaced to a great extent in the 2000-2001 project. Its design did not follow the earlier fence, but a design created by the architect. Consisting of a mix of new and older members, recast in a new design, it does not meet the threshold for Contributing status.

The recommendation is to designate the white picket fence a Noncontributing Structure to the Downtown and Eastside Historic District.

<sup>6</sup> “Minutes of the City of Santa Fe Historic Design Review Board,” November 14, 2000, 19.

<sup>7</sup> Ibid.

<sup>8</sup> Susan Martinez, Wolf Corporation, telephone conversation with John Murphey, July 19, 2023.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			

## East-West Wall

Separating the Otero-Bergere House and Safeway properties is a 272' long solid wall. The stuccoed wall shows considerable variety in height, measuring at different points between roughly 72" and 102." As observed in a 1976 photograph coupled with physical evidence, the variations in height likely represent additions to an older, shorter wall.

Starting at the east end, which ties into a street wall along Sheridan Avenue, the "East Section" maintains a 72" height as it parallels the former Safeway building (Fig. 19). Aesthetic issues on the Otero-Bergere side, and a lack of adequate space on the Safeway exposure (Fig. 20), prevented the consultant from penetrating this section. Its construction is unclear. The section has pilasters on the Otero-Bergere side, potentially from older construction or an intervention.

After this roughly 110'-long section, the wall jumps to 102" high at the "Middle Section" (Fig. 21). Moving westward through a series of steps, it lowers to 72" and then steps up again to 86½" (Fig. 22). The wall terminates at Grant Avenue, tying into a lower cross wall dating to the Safeway era (Fig. 23).

Examination of the wall on the Otero-Bergere side revealed multiple layers of stucco. A fissure crack showed the currently painted stucco adhered by fiberglass meshing, covering an earlier cementitious salmon-color stucco (Fig. 24).

To understand the composition of the lower and assumed older wall west of the Safeway building, six penetrations were made at a position of 12" above grade. Removing layers of stucco and using a mason's tool revealed CMU hollow block construction (Fig. 25). The blocks were reminiscent of property walls erected in Santa Fe's subdivisions in the 1950s and '60s.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

## History

The history of the East-West Wall is unclear. Anecdotal evidence suggests a wood picket fence separated the properties until the first Safeway building was constructed in 1941. A November 10, 1958 aerial photograph shows a wall running the length of the property (Fig. 26). By its shadow, it seems to be taller than the adjacent parked cars. This structure continues to appear in later aerials (Fig. 27). Physical and visual evidence indicates this wall was added upon in height, sometimes to a significant extent (Fig 28).

## Evaluation of Status

The origin of the lower portion of the wall is unclear. However, penetrations indicated that, at least west of the Safeway building, it is of CMU block construction — a common postwar building material. Visual and physical evidence shows that this earlier structure was significantly built up in height and further altered with new stucco applications.

The recommendation is to designate the East-West Wall a Noncontributing Structure to the Downtown and Eastside Historic District.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____	SRCP _____
		Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	

## Figures



Figure 3: White picket fence. July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>					
		NRHP	SRCP	Criteria			
				A	B	C	D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241					
		<b>4. County:</b> Santa Fe					
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022					



Figure 4: Picket head. Apparent cut line circled. July 25, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			



Figure 5: Dado connection. July 25, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 6: Two-nail pattern on picket. July 25, 2023, John W. Murphey.  
 Note multiple layers of paint on top rail.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 5: Concrete curb or base. July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 6: Gate. July 25, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	



Figure 7: Top rail with only one layer of paint. July 25, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			



Figure 8: Top rail with multiple layers of paint. July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP	SRCP
		Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	



Figure 11: Otero-Bergere House, 1873. Timothy H. O’Sullivan, photographer. Source: Still Picture Records Section, Special Media Archives Services Division, National Archives and Records Administration, College Park, Maryland.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 12: Crop and blowup of Figure 11.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 13: Officers' Quarters, Lincoln Avenue, c.1880-82. William Henry Jackson, photographer. Source: Negative #001723, Palace of the Governors Photo Archives, New Mexico History Museum, Santa Fe, New Mexico.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 14: Headquarters Building, c.1880-82. William Henry Jackson, photographer.  
 Source: Negative # 001723, Palace of the Governors Photo Archives, New Mexico History Museum, Santa Fe, New Mexico.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 15: Cropped image of Otero-Leopold wedding party photograph, 1912. Source: The Aldo Leopold Archives, University of Wisconsin, Madison.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 16: Cropped image of Otero-Leopold wedding party photograph, 1912. Source: The Aldo Leopold Archives, University of Wisconsin, Madison.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 17: Otero-Bergere House with front gate and fence, October 28, 1976. 135 Grant Avenue Family Album. Source: Private Collection. Image courtesy of the Georgia O’Keeffe Museum, Santa Fe, New Mexico.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

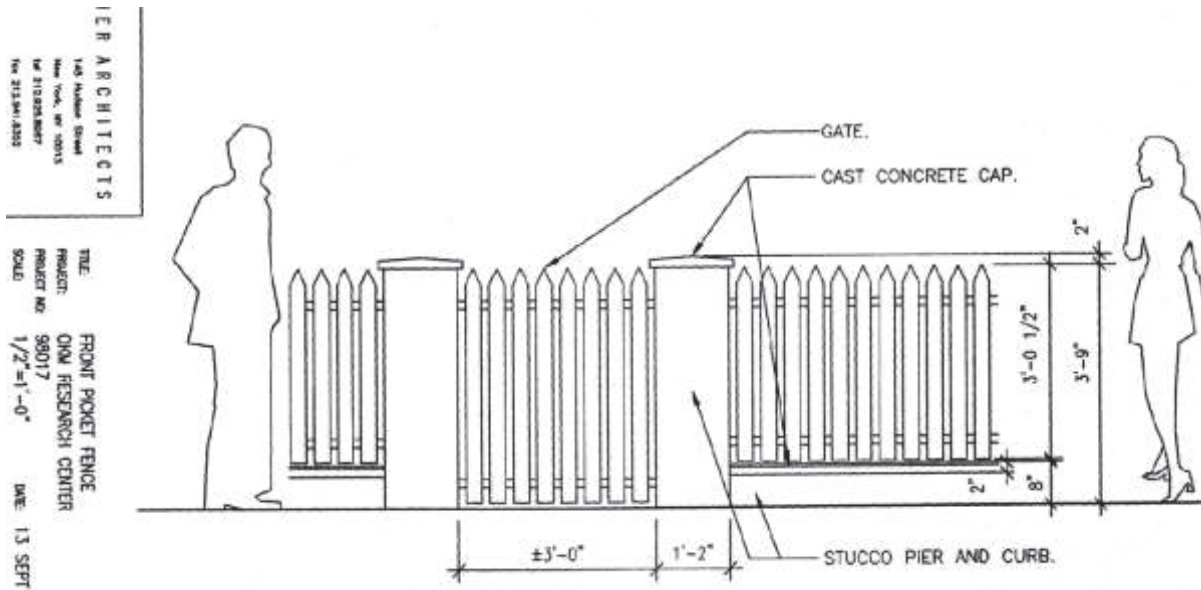


Figure 18: Picket design submitted in HDRB application, 2000. Gluckman Mayner Architects.  
 Source: City of Santa Fe.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	



Figure 19: "East Section." July 2, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 9: “East Section,” south elevation, left, Safeway Building, right.  
 July 2, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	



Figure 21: “Middle Section,” showing increase in height. July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 102: "West Section." July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 23: “West Section” terminus. July 2, 2023, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			



Figure 24: Delamination of “Middle Section,” showing multiple stucco applications.  
 July 2, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP	SRCP
		Criteria	
		A	B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241	
		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022	



Figure 25: Test bore #4, “Middle Section,” showing CMU construction. August 4, 2021, John W. Murphey.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022

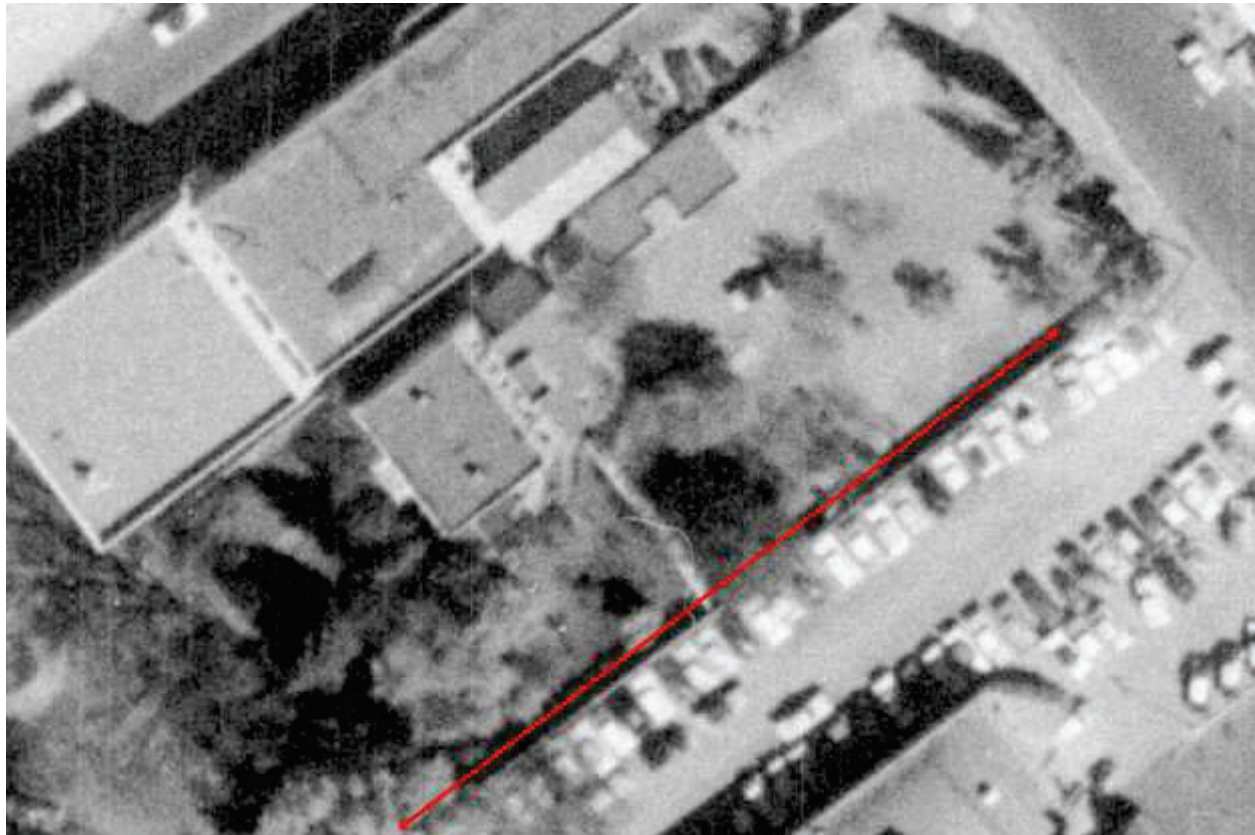


Figure 26: November 10, 1958, aerial photograph. Source: New Mexico Department of Transportation. A wall is visible.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022



Figure 27: May 1, 1973, aerial photograph. Source: New Mexico Department of Transportation. A wall is visible.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
<b>1. Name of property:</b>  Otero-Bergere House Fence and Wall	<b>2. Location:</b>  135 Grant Avenue Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID: H-2241			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> July 2, 2021; July 7, 2021; July 12, 2021; August 4, 2021; July 25, 2022			



Figure 28: East-West Wall and fireplace, October 28, 1976. 135 Grant Avenue Family Album. Source: Private Collection. Image courtesy of the Georgia O’Keeffe Museum, Santa Fe, New Mexico. Note that the wall appears to be added upon in height.

###



**JENKINSGAVIN**  
LAND USE | PROJECT MANAGEMENT

September 11, 2023  
(revised October 27, 2023)

Paul Duran, Senior Planner, Historic Preservation Division  
Heather Lamboy, Assistant Director, Planning and Land Use Department  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87501

**RE: Demolition of E-W Wall and Replacement/Relocation of Picket Fence  
135 Grant Avenue (Otero-Bergere House)**

Dear Paul and Heather,

This letter is submitted on behalf of 123-135 Grant, LLC / Georgia O’Keeffe Museum (“Applicant”) in application to the Historic Districts Review Board (“HDRB”) for demolition of a stuccoed masonry site wall and alteration of a white picket fence located at 135 Grant Avenue (the “Property”). Also included in this request is an exception to alter a contributing site wall and fence, per SFCC §14-5.2(D)(1)(a).

The ±0.767-acre property is the site of the significant Otero-Bergere House, located in the Downtown and Eastside Historic District. To the north at 201 West Marcy Street sits the Education Center for the Museum, and to the south at 123 Grant Avenue is the former Safeway building (to be demolished) and the site of the new museum building. The west side of the property is the Grant Avenue frontage, and the east side of the property is the Sheridan Street frontage.

Project Background

The former Safeway building at 123 Grant Avenue was designated as “noncontributing” by the HDRB in a status review hearing on July 13, 2021, and the HDRB approved demolition of this existing building and associated parking lot and kiosk on September 14, 2021. At that time, Historic Preservation Division staff requested that the Applicant provide an addendum to the HCPI for the Otero-Bergere House at 135 Grant Avenue to request historic status review of walls and fences prior to any demolition or alteration of site walls and fences that may be needed for the proposed new museum building and site improvements at 123 and 135 Grant Avenue. On September 12, 2023, the Applicant presented such an addendum and requested historic status determinations by the HDRB for the white picket fence on the Grant Avenue frontage at the Otero-Bergere House and the masonry wall that runs east-west along the south property line of the property at 135 Grant Avenue. The present application accordingly includes requests for demolition of the wall in order to allow for the construction of the new Georgia O’Keeffe Museum and for alteration of the picket fence in order to improve site access and expand the public sidewalk along Grant Avenue.

### Historic Status

As described in the attached HCPI addendum, wooden picket fences were components of the historic built environment associated with the former Fort Marcy's officer's quarters, to which time period the Otero-Bergere house dates. There is a photo from a 1912 wedding on the property in which a white picket fence can be seen, indicating that a white picket fence was at one point in time part of the historic site. That said, the existing fence is not constructed of historic materials or in the same design as the historic fence depicted in the 1912 photo. When the HDRB reviewed the fence in 2000, the HDRB permitted the replacement of the fence in-kind to match a 1976 photo. As a result of the picket fence not being constructed of historic materials and the design not matching that in historic photos, the HCPI recommended non-contributing status. However, on September 12, 2023, the HDRB designated the fence to be a contributing structure in case 2023-7221-HDRB, in acknowledgement that a white picket fence in this location is character-defining for the Grant Avenue streetscape.

The east-west masonry wall was also evaluated for historic integrity. A low stuccoed CMU wall was constructed between the time of the construction of the original Safeway building at 123 Grant Avenue and 1958 when an aerial image shows the low parking lot wall. However, the HCPI recommended non-contributing status as a result of substantial alterations over time such that the majority of the existing wall is non-historic material. On September 12, 2023, the HDRB designated the wall a contributing structure in Case 2023-7221-HDRB, although their reasons for such a designation were not made clear, especially given the HDRB's former actions in designating the associated former Safeway Building at 123 Grant Ave noncontributing and approving its demolition in 2021.

### Demolition Approval Criteria

In reviewing demolition requests, SFCC §14-3.14(G)(1) states that the following criteria must be considered:

*(a) Whether the structure is of historical importance;*

**Applicant Response:** As the HCPI addendum for the Otero-Bergere House demonstrates, the white picket fence at the Grant Avenue streetscape is constructed largely of non-historic materials and that the design of the existing fence differs substantially from its historic precedent. That said, the Applicant agrees with the HDRB that the look of the white picket fence is important to maintain in the Grant Avenue streetscape, and the proposal is to remove approximately 21 feet of the existing length of the fence in order to expand the sidewalk, provide more ease of entry into the new Georgia O'Keeffe Museum campus, and to create more passable space around a mature and significant Cottonwood tree along Grant Avenue in front of the property.

With regards to the stuccoed CMU site wall at the south property line, the HCPI also demonstrates that the majority of the wall is constructed of non-historic material and that its design has substantially been altered since its original construction. Like the previously approved demolition of the former Safeway building and parking lot, the demolition of the site wall is needed in order to create space for the construction of the new museum. The Applicant requests that the HDRB act in accordance with its previous rulings on the Safeway building

and acknowledge the greater importance of a new cultural asset in downtown Santa Fe over the preservation of an extensively modified site wall.

*(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure ; and*

**Applicant Response:** As stated above, the Applicant feels that the reduction of the existing picket fence at 135 Grant Ave by approximately 21 feet to the southwest corner of that property will not diminish the look and feel of the historic Grant Avenue streetscape, as documented by historic photographs presented in the HCPI.

The stuccoed CMU wall that runs E-W along the south property line has very little if any visual impact on the existing streetscape. Its purpose was to divide two properties that are now being made into a unified campus and a valuable cultural amenity. As a result, the value of its demolition to cultural preservation and education in Santa Fe is far greater than its retention in the Grant Avenue streetscape.

*(c) The state of repair and structural stability of the structure under consideration.*

**Applicant Response:** Both the picket fence and the E-W wall are in a decent state of repair and structural stability. The justification for the request for alteration of the fence and for the demolition of the E-W wall are not based in damage or deterioration but in improving site access and allowing for the evolution of the property to support the creation of the new Georgia O’Keeffe Museum campus at 123 and 135 Grant Avenue.

#### Exception

An exception is requested to alter a contributing site wall and fence, per SFCC §14-5.2(D)(1)(a). The exception criteria as specified in §14-5.2(C)(5)(b) are as follows:

*(i) Do not damage the character of the district;*

**Applicant Response:** The proposed alteration of the white picket fence at the Grant Avenue streetscape will not damage the character of the district, as this character will be retained by the preservation of the vast majority of the existing fence. Furthermore, the demolition of the E-W site wall along the south property line will have no impact on the character of the district, as the wall is barely noticeable in its existing condition, and its removal will allow the construction of the new Georgia O’Keeffe Museum and campus adjacent to the existing Research Center at the Otero-Bergere House. The character of the district will be greatly enhanced by the construction of this important cultural amenity.

*(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;*

**Applicant Response:** The alteration of the white picket fence at the Otero-Bergere House will allow for the existing fence to remain an important part of the Grant Avenue streetscape while also enhancing the public realm by expanding the sidewalk, improving access to the new museum campus, and allowing for requisite ADA compliance in terms of navigable space

around the sizable historic cottonwood tree along Grant Avenue in front of the property. In this way, the exception is required to prevent both a hardship to the Applicant and injury to the public welfare.

The exception to demolish the E-W site wall is necessary to prevent the hardship of blocking the construction of the proposed Georgia O’Keeffe Museum by the Applicant. It was the clear intent of the HDRB in 2021 to approve the demolition of the associated Safeway building in order to make way for the construction of the new museum. At that time, the HDRB had seen the preliminary design of the museum and were aware that the site wall would need to come down in order to proceed with construction of the museum. At the present stage, to halt the construction of the museum in order to preserve a site wall would be incongruous with the HDRB’s ruling on previous cases and would cause an injury to the public welfare of not allowing the creation of a new museum, education and curation facility for the world-renowned collections of the Georgia O’Keeffe Museum.

*(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

**Applicant Response:** Over the last several years, the Georgia O’Keeffe Museum Building Committee and design team has considered every possible design option for the new museum and adjacent gardens at 123 and 135 Grant Avenue. Granting the exception will allow the best of these design options to move forward for design review and development approvals. Allowing this site to evolve into the new Georgia O’Keeffe Museum campus will improve the character of the district, will enhance economic development in the historic downtown, and will have incalculably positive impacts on the residents and visitors of Santa Fe’s historic core.

Please let me know if you have any questions or require any additional information.

Sincerely,



Lisa Gavioli  
Senior Project Manager

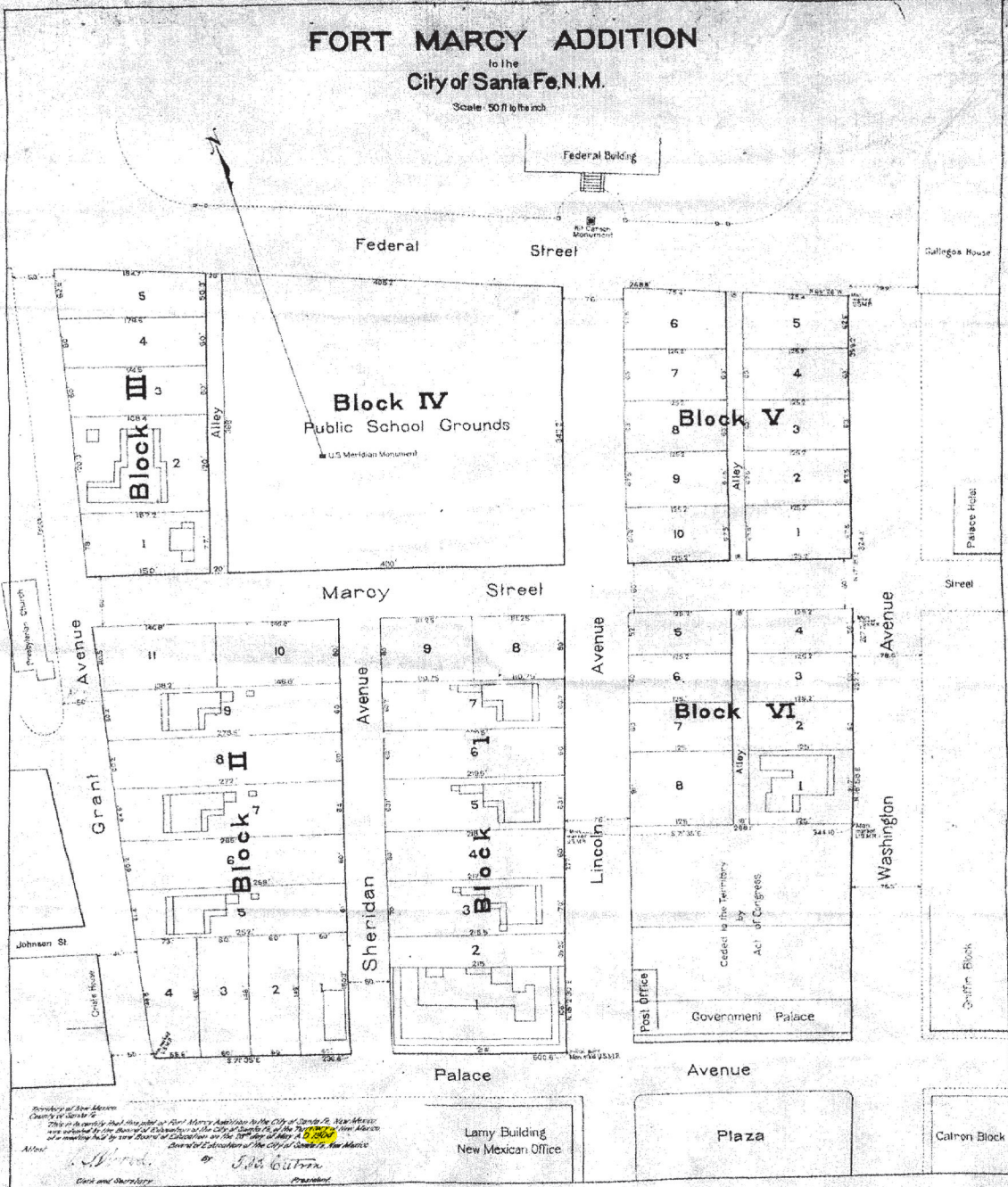
- Attachments:
- 1) HDRB Application Form
  - 2 Letter of Owner Authorization
  - 3) Lot of Record Documentation
  - 4) HCPI, 135 Grant – Bergere House (1995)
  - 5) HCPI Addendum, 135 Grant Ave (picket fence and E-W wall only)  
\* *Historic Aerials, Photos and Drawings of the Property included.*
  - 6) Wall and Fence Photos
  - 7) Wall and Fence Drawings – Existing Conditions
  - 8) GOKM Proposed Site Plan and Grant Ave Fence Elevations



# FORT MARCY ADDITION

to the  
City of Santa Fe, N.M.

Scale: 50 ft to the inch



Boundary of New Mexico  
County of Santa Fe  
This plat is hereby filed as part of the Fort Marcy Addition in the City of Santa Fe, New Mexico,  
and is subject to the approval of the Board of Commissioners of the City of Santa Fe, New Mexico,  
and is subject to the approval of the Board of Commissioners of the County of Santa Fe, New Mexico,  
and is subject to the approval of the Board of Commissioners of the State of New Mexico.

Attest:  
*[Signature]* Clerk and Secretary  
*[Signature]* President

*Handwritten notes:*  
 62  
 11-11-1911  
 Kennedy  
 L. J. J. J.

355011

# Plat of Survey for Poohbah, Inc.

On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe Santa Fe County, New Mexico. 123 Grant Avenue



VICINITY MAP



SCALE: 1" = 30'

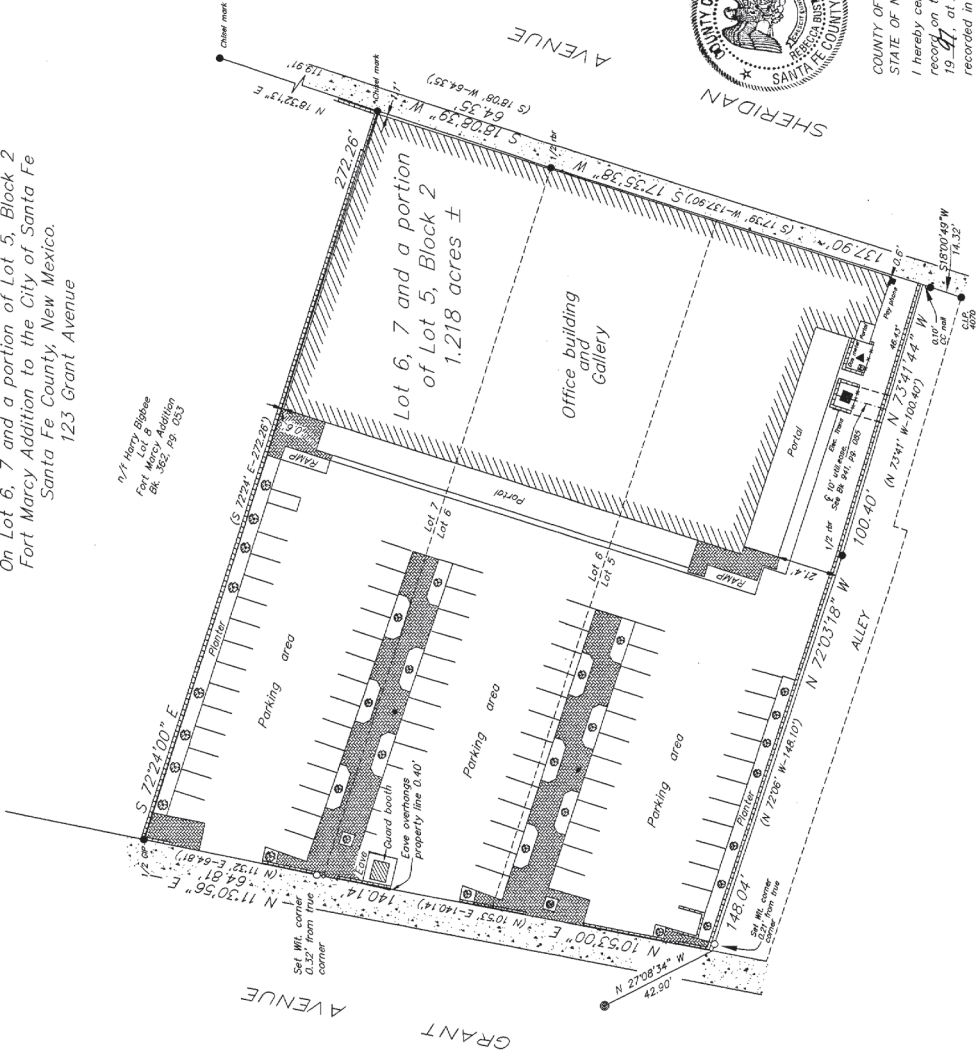


**LEGEND**

- Sanitary sewer manhole
- Points found and used as noted
- 1/2" Capped iron pin set this survey
- Power poles
- Fences
- Walls
- Concrete

**NOTES**

- 1.) Basis of bearing for this survey was taken from north boundary of Lot 7, Block 2, Fort Marcy Addition by I.E. Scanlon and Associates dated April 12, 1966.
- 2.) Bearings and distances in parenthesis are from a the above noted plat.
- 3.) Subject to all easements, restrictions and reservations of record.
- 4.) FIRM Panel Number, 350070-0005-B, Zone "C". Tract does not lie within a designated 100 year flood plain area.



COUNTY OF SANTA FE  
STATE OF NEW MEXICO  
I hereby certify that this instrument was filed for record on the 31st day of December, A.D. 1994, at 11:46 o'clock P.M., and was duly recorded in Book 3550, Page 011 of the records of Santa Fe County.

Witness my Hand and Seal of Office  
REBECCA BUSTAMANTE  
County Clerk, Santa Fe County, New Mexico

*David E. Cooper*  
Deputy

SIFERRA LAND SURVEYING	
#B APACHE RIDGE	SANTA FE, NM 466-4932
Project No. C-0481296	Dwg. DEC Ck. ACC
	File: 999 Bk. 40
INDEXING INFORMATION FOR COUNTY CLERK	
NAME	LOCATION
POOBAH, INC	Sec. 24 T. 17 N. R. 9 E Fort Marcy

**SANTA FE COUNTY PUBLIC NOTICE**

The Santa Fe County Land Use Administrator has not reviewed this plat of survey before its filing in the Office of the County Clerk. This plat is not being filed for the purpose of creating a subdivision. The plat is being filed for the purpose of creating a plat for the purpose of "Deed" and "Title" as defined in the Santa Fe County Land Use Development Code, Extraterritorial Zoning Ordinance or Extraterritorial Subdivision Regulations. This statement does not in any way represent official county approval of this plat.



I, David E. Cooper, a duly registered Professional Surveyor in the State of New Mexico hereby certify that this plat represents an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

*David E. Cooper*  
December 31, 1996  
P.S. No. 9052  
Santa Fe, NM

8 Apache Ridge Road  
Santa Fe, NM



WARRANTY DEED

1338534

HARRY L. BIGBEE, a single man, for consideration paid, grants to JEFFREY I. FORNACIARI, as a nominee, whose address is Post Office Box 2068, Santa Fe, New Mexico 87504-2068, the following described real estate in the city and county of Santa Fe, New Mexico

Lots 8 and 9, Block 2, Fort Marcy Addition, within projected Section 24, T17N, R9E, NMPM, Santa Fe County, N M., being described as follows

Beginning at the southwest corner, from which the center of sanitary sewer manhole cover No. A4G-23 in Grant Ave. bears N45°50'W, 37.93 feet,

Thence from said point of beginning N11°03'22"E, 120.38 feet, thence S72°28'26"E, 285.94 feet; thence S17°35'05"W, 119.96 feet, thence N72°24'02"W, 272.25 feet to the point of beginning, and as shown by Boundary Survey prepared for Harry L. Bigbee by Gary E. Dawson, NMPS 7014, dated 6 Dec. 1996, and recorded in the office of the County Clerk, Santa Fe, N M., in Book 352, Page 048,

Subject to restrictions, reservations, limitations, easements and conditions of record and zoning ordinances, taxes and city or county assessments not yet due and payable,

with warranty covenants

Witness my hand and seal, this 13<sup>th</sup> day of January, 1997.

  
\_\_\_\_\_  
HARRY L. BIGBEE, a single man

SFA# 96121841

WARRANTY DEED

1381592

H. P. ENTERPRISES, LTD., A N.M. LIMITED PARTNERSHIP

for consideration paid, grant

to BSF FOUNDATION, A TEXAS NOT FOR PROFIT CORPORATION

whose address is

the following described real estate in SANTA FE County, New Mexico:

Lots 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition, as shown and delineated on plat of survey entitled "Plat of Survey for Poohbah, Inc. On Lot 6, 7 and a portion of Lot 5, Block 2 Fort Marcy Addition to the City of Santa Fe, Santa Fe county, New Mexico. 123 Grant Avenue", prepared by David E. Cooper, P.S. No. 9052, dated December 31, 1996, bearing Project No. C-0481296. Filed for record January 31, 1997, as Document No. 972,576, appearing in Plat Book 355 at page 011, records of Santa Fe County, New Mexico.

SUBJECT TO: SEE ATTACHED EXHIBIT "A"

with warranty covenants.

WITNESS it's hand and seal this 4th day of February, 1997.

H. P. ENTERPRISES, LTD. (Seal)

By: RUDOLPH B. SACKS JR. VICE-PRESIDENT OF P, P & P, INC., GENERAL PARTNER OF H.P. ENTERPRISES, LTD.

ACKNOWLEDGEMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO ) ) SS. This instrument was acknowledged before me on February 04, 1997 by (name(s) of person(s))



ACKNOWLEDGEMENT FOR CORPORATION

STATE OF NEW MEXICO ) ) SS. COUNTY OF SANTA FE ) This instrument was acknowledged before me on February 04, 1997 by RUDOLPH B. SACKS JR. (Name of Officer)

VICE-PRESIDENT of P, P & P, INC., GENERAL PARTNER OF H.P. ENTERPRISES, LTD. (Name of Corporation Acknowledging)

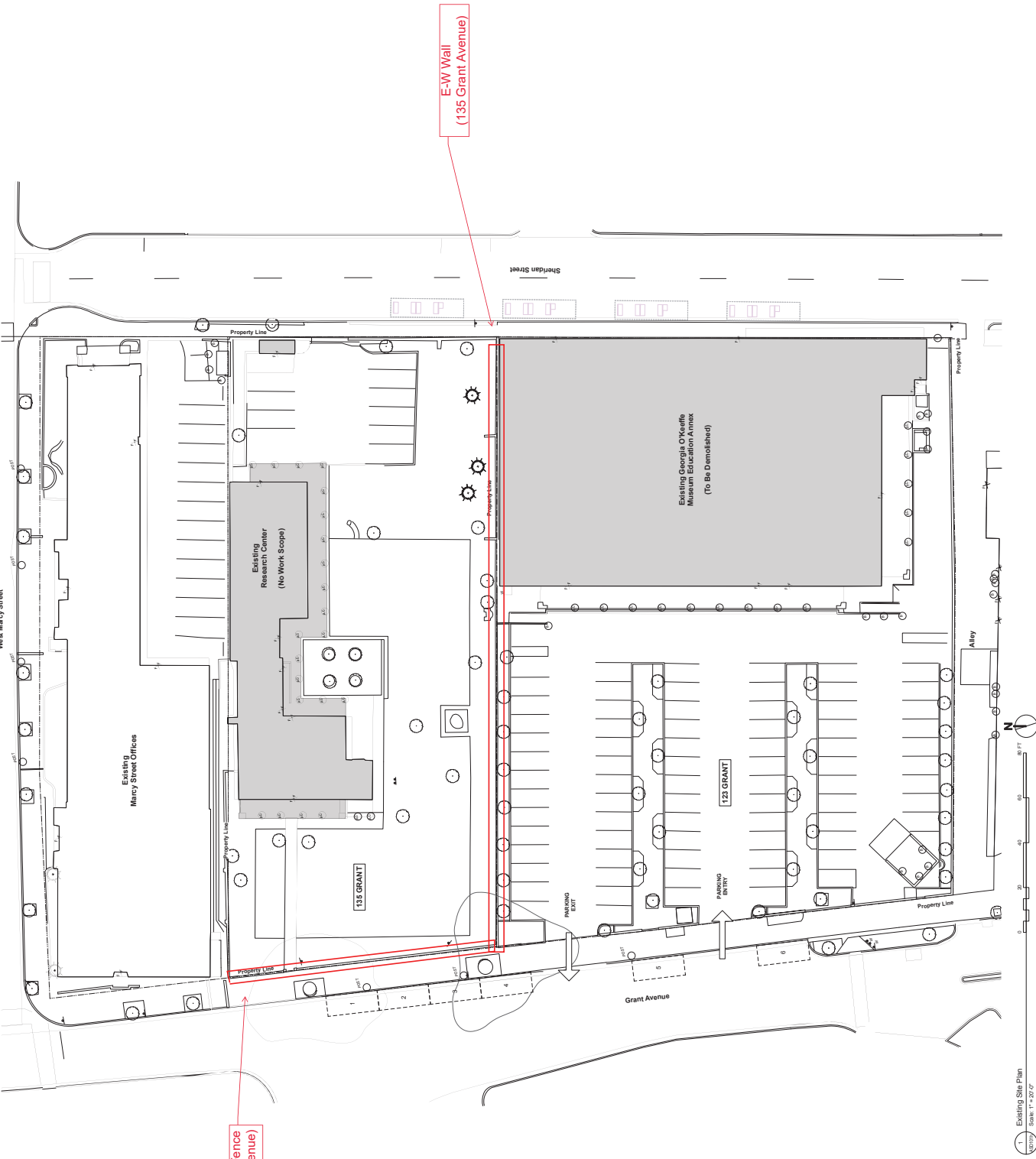
a corporation, on behalf of said corporation.

My commission expires (Seal) Notary Public

FOR RECORDER'S USE ONLY COUNTY OF SANTA FE ) SS 9861582 STATE OF NEW MEXICO I hereby certify that this instrument was filed for record on the 12 day of June A.D. 1997 at 3:02 o'clock P.M. and was duly recorded in book 1381 page 592-594 of the records of Santa Fe County.

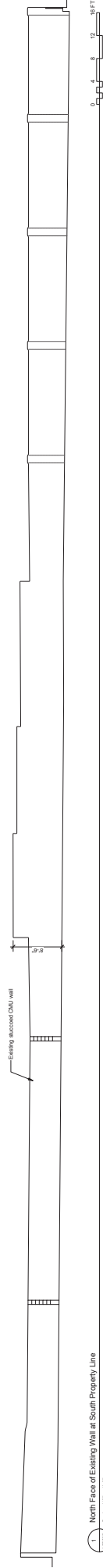
Witness my Hand and Seal of Office Rebecca Bustamante County Clerk, Santa Fe County, N.M.

Veronica Clayton Deputy

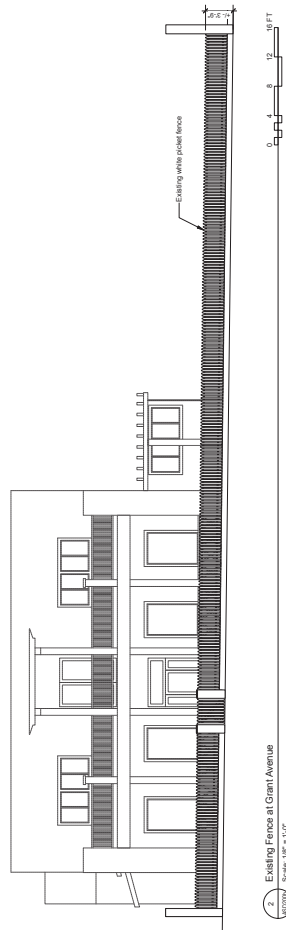


White Picket Fence  
(135 Grant Avenue)

E-W Wall  
(135 Grant Avenue)



1 North Face of Existing Wall at South Property Line  
Scale: 1/8" = 1'-0"



2 Existing Fence at Grant Avenue  
Scale: 1/8" = 1'-0"

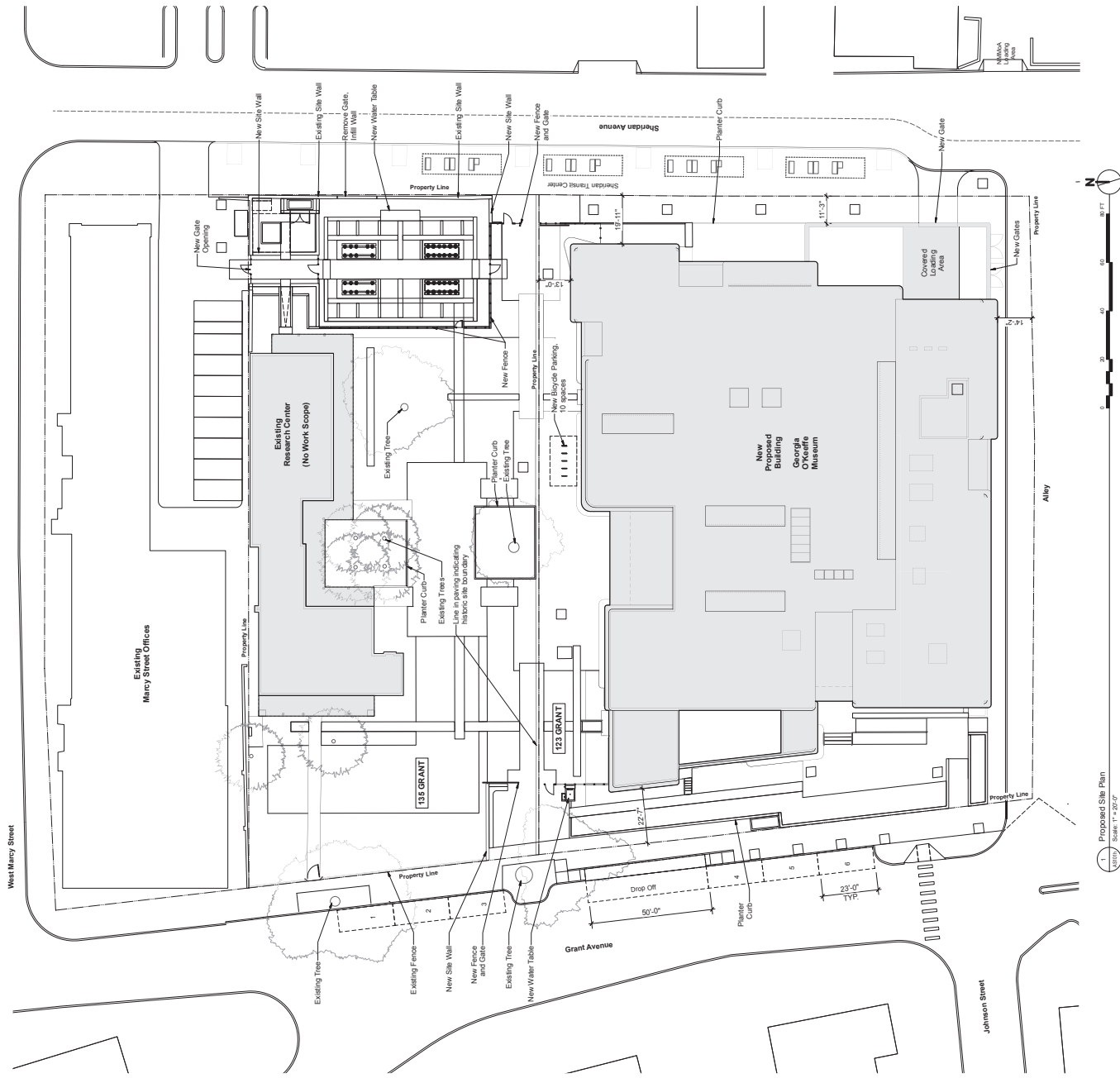
DATE	ISSUE
<p> <b>GEORGIA O'KEEFE MUSEUM</b>  <b>Design Development</b>          123 Grant Avenue, Santa Fe, NM 87501       </p>	
<p> <b>dnc</b>  <b>architects</b>          924-A Shoofly Street, Santa Fe, NM 87505          pn1503255-4033       </p>	
<p>         Approved: M. 2023          Approved by: _____          Date: _____       </p>	<p>         Checked by: _____          Date: _____       </p>
<p>         COOR: ASD200h Site Plan.vmx          10/08 Schenck&amp;Dunn          Sheet Title: Fence and Wall Elevation       </p>	
<p> <b>ASD200h</b> </p>	
<p>         Sheet: _____          Date: 10/08/23       </p>	<p>         of _____       </p>

NOT FOR CONSTRUCTION

**dnc**  
architects  
924-A Shoofy Street, Santa Fe, NM 87505  
PH: 505.255.4033

**GEORGIA O'KEEFE MUSEUM**  
HDRB Design Review  
123 & 135 Grant Avenue, Santa Fe, NM 87501

Date: \_\_\_\_\_  
Scale: 1" = 20'-0"  
Sheet: AS101h of \_\_\_\_\_  
Project: Proposed Site Plan  
Client: HDRB  
Drawing No: HDRB Schematic Drawings  
Project No: AS101h  
Date: October 26, 2023



Proposed Site Plan  
Scale: 1" = 20'-0"

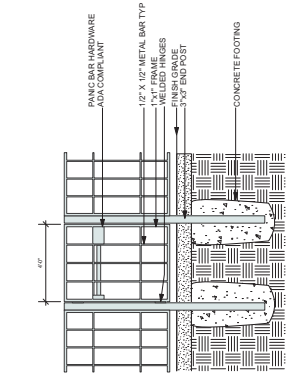
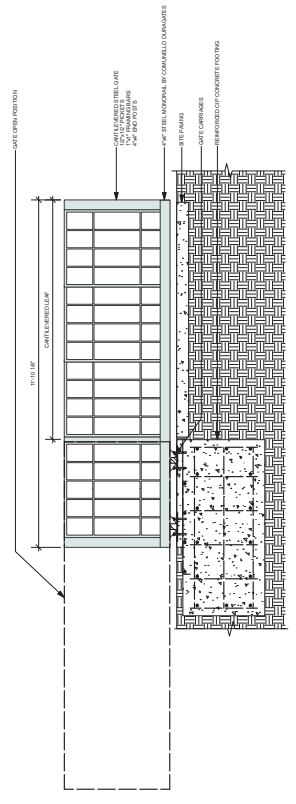
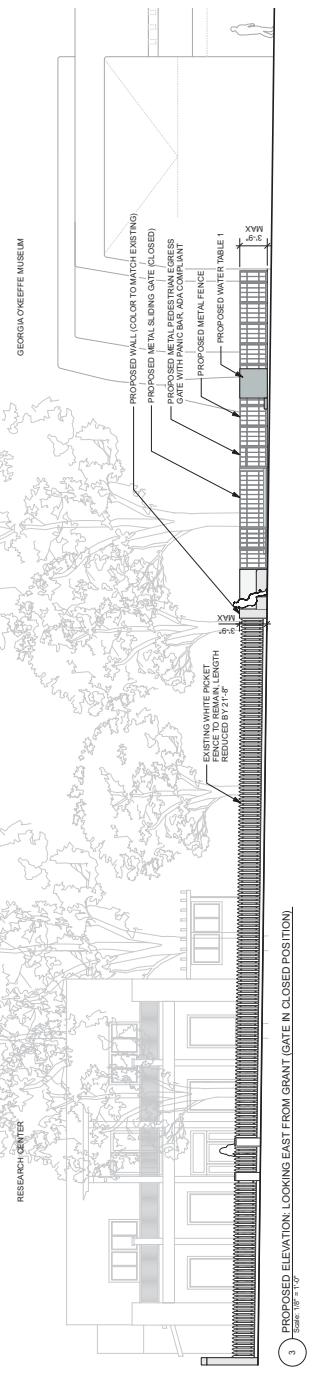
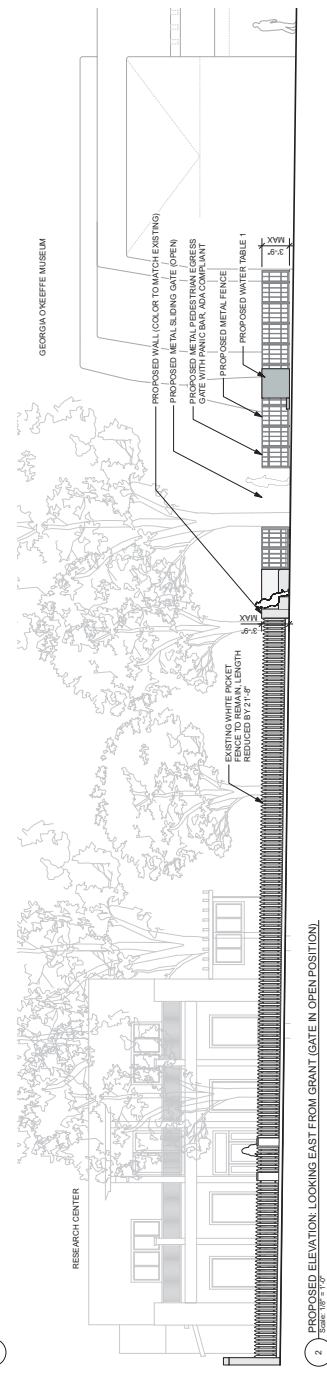
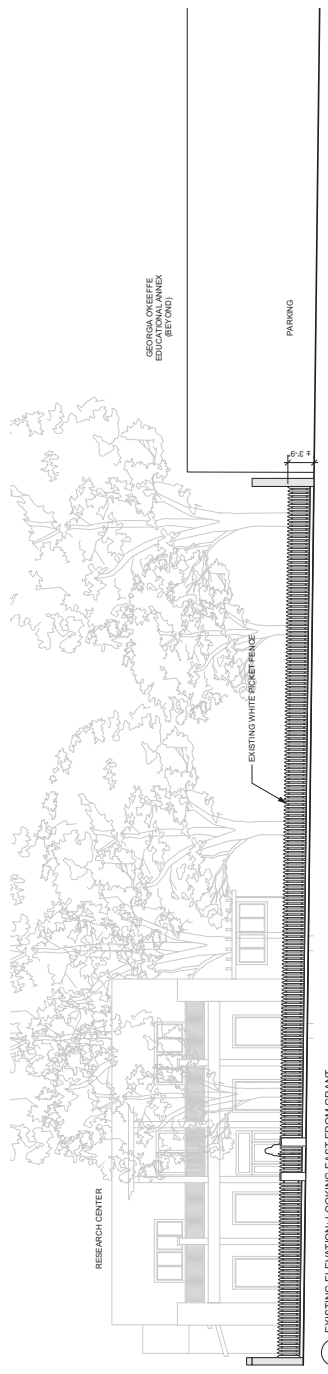
NOT FOR CONSTRUCTION

REED-HILDERBRAND LANDSCAPE ARCHITECTURE  
 33 Whitney Avenue  
 New York, NY 10017  
 P: 212 693-0022  
 www.reedhilderbrand.com

GEORGIA O'KEEFE MUSEUM  
 123 Grant Avenue, Santa Fe, NM 87501  
 HDRB Design Review  
 10/06/24, 2023

dnca architects  
 924-A Shoofy Street, Santa Fe, NM 87505  
 PH: (505) 255-4033

GEORGIA O'KEEFE MUSEUM  
 123 Grant Avenue, Santa Fe, NM 87501  
 HDRB Design Review  
 10/06/24, 2023





135 Grant Ave – White Picket Fence Overview from Grant Ave



135 Grant Ave – White Picket Fence



135 Grant Ave – White Picket Fence



135 Grant Avenue – E-W Wall (North side, View facing South)



135 Grant – E-W Wall (South side, View facing North)



135 Grant – E-W Wall (South side, West end)