



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
NOVEMBER 14, 2023
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. OCTOBER 24, 2023

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. CONSIDERATION OF BILL NO. 2023-24 (Councilor Signe Lindell)
A Bill Amending SFCC 1987, Section 14-5.2, to Authorize the Historic Districts Review Board to Approve Additional Exceptions, Including Exceptions for Signs and Murals; and to Remove Certain Administrative Requirements for Land Use Staff Approvals and Disapprovals of Signs and Murals. (Heather Lamboy, Assistant Land Use Director: hllamboy@santafenm.gov)

Committee Review:

Governing Body (Introduced): 10/11/2023

Governing Body (Public Comment): 10/25/2023

Historic Districts Review Board: 11/14/2023

Quality of Life Committee: 11/15/2023

Public Works and Utilities Committee: 11/27/2023

Governing Body (Public Hearing): 12/13/2023

2. 2023-007314-HDRB. 918-D Acequia Madre. Downtown & Eastside Historic District. Richard Martinez agent for Christopher Richter & Todd Davis, owners, requests a status review and primary façade designations on a contributing property. (Ramón J. Sarason, rjsarason@santafenm.gov)
3. 2023-007399-HDRB. 1-A Camino Pequeno, Downtown & Eastside Historic District. No status. Courtenay Mathey, agent for Ann & Kevin Cooney, owners request historic status review and designation of primary facades (Ramón J. Sarason)
4. 2023-007468-HDRB. 826 Camino del Poniente. Downtown & Eastside Historic District. Non-contributing. Martinez Architecture Studio, agent for Larry Colton and John McCoy, owners, requests a historic status review with primary facade(s) designation, if applicable, for a residential structure. (Lani McCulley, LJMcCulley@santafenm.gov)
5. 2023-007402-HDRB. 912 Old Santa Fe Trl. Downtown & Eastside Historic District. No status. Sunil Sakhalkar agent for Annmari Gallagher/James Collins, owners, requests historic status review and designation of primary facades. (Ramón Sarason)
6. 2023-007432-HDRB. 771 W. Manhattan Ave. Westside-Guadalupe Historic District. Non-contributing residence, Raul Dominguez, agent for Robert Sisneros, owner, requests to remove asphaltic roof material and replace with metal roof, color rustic red. (Ramón Sarason)
7. 2023-007474-HDRB. 412 Camino Cabra. Downtown & Eastside Historic District. Non-contributing. Jon Dick, agent for Tom Wilmoth, owner, requests historic status review with primary façade(s) designation. (Paul Duran, paduran@santafenm.gov)
8. 2023-007490-HDRB. 1120 E. Alameda St. Downtown & Eastside Historic District. Contributing. Architectural Alliance, LLC, agent for Sam Gerberding and Amanda Crocker, owners, proposes to construct a 118 sq. ft. bedroom addition, a 431 sq. ft. portal, demolition of a portion of a

wall on a non-primary façade, and relocate the gate and fence. (Paul Duran) **REQUEST TO BE POSTPONED TO DECEMBER 12, 2023 HDRB HEARING**

9. 2023-007489-HDRB. 1369 Cerro Gordo Rd. Downtown & Eastside Historic District. Non-Contributing. Patrick McDowell, agent for J. Midyette, owner, proposes to alter a previous approval by constructing a 140 sq. ft. addition to a height of 12'-0" where the maximum allowable height is 14-7" on an accessory structure. (Lani McCulley) **REQUEST TO BE POSTPONED TO DECEMBER 12, 2023.**
10. 2023-007222-HDRB. 123 & 135 Grant Ave. Downtown and Eastside Historic District. JenkinsGavin, agent for the Georgia O'Keeffe Museum, owner, requests approval for a 56,000 sq. ft. museum building. The proposed height is 33'-0" and the permitted height is 33'-8" . (Paul Duran) **REQUEST TO BE POSTPONED TO NOVEMBER 28, 2023.**
11. 2023-007411-HDRB. 135 Grant Ave. Downtown and Eastside Historic District. Contributing. JenkinsGavin, agent for Georgia O'Keeffe Museum, owner, requests approval for two exceptions for the demolition and new construction of the existing white wood picket fence and demolition of the existing masonry stuccoed wall. An exception to Section 14-5.2(D)(1)(a) is requested. (Paul Duran) **REQUEST TO BE POSTPONED TO NOVEMBER 28, 2023.**
12. 2023-007360-HDRB. 1666 ½ Cerro Gordo Road. Downtown & Eastside Historic District. Contributing and Non-contributing. Denny Architects, agent for Clifford Ross and Jon Weaver, owners, proposes to demolish the portal and construct a 450 sq. ft. addition with a 150 sq. ft. portal to a height of 12'0" where the maximum allowable is 16'6" and a freestanding 400 sq. ft. carport to a height of 9'10". Two exceptions are requested, to exceed the 50% rule and to construct an addition within 10' of a primary façade (14-5.2(D)(2)(d)). (Lani McCulley)
13. 2023-007473-HDRB. 802 Don Cubero. Don Gaspar Area Historic District. Florian Griego, agent for Sarah Flores-Sievers, owner, requests a remodel consisting of replacement windows, on a contributing residence. (Ramón J. Sarason)

14. 2023-007428-HDRB. 600 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing. Souder Miller, agent for William Parker, owner, proposes to construct a 192 sq. ft. free standing shed. (Ramón Sarason)

15. 2023-007509-HDRB. 2024 HDRB Calendar Approval

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, November 28, 2023

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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OCTOBER 24, 2023

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
OCTOBER 24, 2023 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

1. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chair
Mr. Anthony Guida, Vice Chair
Ms. Madeleine Aguilar Medrano
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Ms. Amanda Mather
Mr. David Valdo

MEMBERS ABSENT (EXCUSED)

None

STAFF PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Mr. Frank Ruybalid, Assistant City Attorney
Gary Moquino, Historic Preservation Division Manager
Ramon Sarson, Senior Planner
Lani McCulley, Senior Planner

OTHERS PRESENT

Melissa Byers, Stenographer

NOTE: The Board packet for all agenda items is incorporated herewith by reference. The packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

2. APPROVAL OF AGENDA

Ms. Lamboy said that Items 8a, 8b and 8f are postponed to November 14, 2023.

MOTION: Member Guida moved, seconded by Member Biedscheid to approve the agenda as amended.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu, Guida, Mather and Valdo voting in favor and none voting against.

3. APPROVAL OF MINUTES:

a. September 26, 2023

MOTION: Member Bienvenu moved, seconded by Member Guida to approve the minutes of September 26, 2023.

VOTE: The motion passed by (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

4. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2023-6939-HDRB. 704 Camino Lejo
2. 2023-006940-HDRB. 641 Camino del Monte Sol
3. 2023-007087-HDRB. 161 S. Armijo Ln.
4. 2023-007164-HDRB. 717-B W. Manhattan Ave.
5. 2023-007165-HDRB. 551 Canyon Rd.
6. 2023-007214-HDRB. 407 W. Buena Vista St.

MOTION: Member Guida moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law.

VOTE: The motion passed by (6-0) roll call vote with Members Biedscheid, Guida, Mather, Valdo, Aguilar Medrano and Bienvenu voting in favor and none voting against.

5. MATTERS FROM THE PUBLIC

Stefanie Beninato spoke about the proposed text amendment for exceptions.

Adam Johnson poke about the proposed text amendment for exceptions.

6. STAFF COMMUNICATIONS

Ms. Lamboy referred to 2024 schedule of meetings that was handed out. It will come before the Board at the next meeting with the corrections to the meeting dates.

Ms. Lamboy introduced Rebekah Clouser, Planner Tech. She is a new staff member in Historic Preservation.

7. OLD BUSINESS

None

8. NEW BUSINESS

Chair Rios said that public comments would be limited to two minutes per speaker. She also explained the appeal process.

- a. Text Amendment Giving Authority for HDRB to Grant Exceptions to Section 14-5.2 ©(5)(b), Regulation of Significant and Contributing Structures in the Historic Districts, Exceptions, Design Standards and Signage, and 14-5.2 (D)(10), General Design Standards for All H Districts, Signs; Murals.

Postponed to November 14, 2023

- b. **2023-007314-HDRB. 918-D Acequia Madre.** Downtown & Eastside Historic District. Richard Martinez agent for Christopher Richter & Todd Davis, owners, requests a status review and primary façade designations on a contributing property. (Ramón J. Sarason)

Postponed to November 14, 2023

- c. **2023-007285-HDRB. 815 E. Palace # 30.** Downtown & Eastside Historic District. Non-Contributing. Jeff Williams, agent for Joseph Bracewell, owner, proposes to construct a 96 sq. ft. portal to a height of 9' -10" where the maximum allowable height is 15'-0". (Gary Moquino).

Staff Report:

The property at 815 E. Palace Avenue #30 is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The property is located within the Llano Compound on a private drive and is not publicly visible.

The single residence was built around 1979 when the compound was created. The HCPI is not specific to unit 30. The exterior and the interior walls are all constructed of adobe bricks with the exterior stucco being cementitious Adobe Brown. The residence has one portal on the north elevation.

The owner of the property indicates that the residence has had an extensive renovation, but the Historic Preservation Division has no records, possibly because it was an interior renovation as stated by the previous owner who was the president of the HOA of the compound.

Now, the applicant proposes to construct a 96 sq. ft. portal to height of 9'-10" where the maximum allowable height is 15', on the east elevation of the residence. The height of the new portal will be lower than the existing portal. The structure will be attached to the residence and will be constructed of post and beam with upright viga posts, rough sawn beams, corbels, with latillas on top and 2 concrete spot footings. The horizontal vigas will have oxidized copper caps and the perimeter flashing on the edge of the roof beams which will also be oxidized copper. The structure will not have a roof, it will have Latillas for shade on top of the beams.

The color of paint/stain on the wood will be adobe brown which will match the existing portal.

Staff Recommendation

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Applicant Presentation

Jeff Williams, 1341 Canyon Road, Santa Fe, was sworn. He had nothing to add.

Chair Rios said the porch gives some relief to the two-story building.

Public Hearing:

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn. She asked about the use of copper on the vigas.

John Eddy, 14 Avenida Campo Verde, Santa Fe, was sworn. He talked about the vigas and said pencil sharp vigas should be avoided.

Mr. Williams said the vigas would go straight up and will not be pencil sharp.

Board Discussion/Action:

Member Biedscheid confirmed with the applicant that the house your house currently has some oxidized copper caps on the other portal.

Motion: In Case 2023-007285-HDRB, 815 E. Palace # 30, Member Guida moved to approve as submitted. The motion was seconded by Member Aguilar Medrano

Vote: The motion passed by (6-0) roll call vote with Members Guida, Mather and Valdo Aguilar Medrano, Biedscheid, Bienvenu, voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHrk&t=2806s> (24:06 – 35:07)

- d. **2023-006965-HDRB. 847 E. Palace Ave.** Downtown & Eastside Historic District. Non-contributing. Lightfoot, Inc., agent for Chris Norris, owner, requests historic status review with primary façade(s) designation. (Paul Duran)

Staff Report:

The building at 847 E. Palace Ave is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The residence was built on a 1.142-acre lot as a single-story, four-bedroom 3,118 sq. ft. residence in 1940. The building was built in the Spanish Pueblo Revival style as identified with high rounded parapets and window recesses. The building is characteristic of its time to the Downtown and Eastside Historic District as seen through the thoughtful architectural design and construction. The west façade maintains the core adobe design elements. However, there has been a significant amount of remodeling done on the north, east, south, and west facades, with the additions of new doors and windows, a second story, a portal, and additional structures throughout the property built around 1982.

Staff Recommendation:

Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Chair Rios confirmed that there is nothing left from the 1940s building.

Member Bienvenu confirmed that this is a much later version of the green house and it has been modified.

Applicant Presentation:

Scott Cherry, 2351 Fox Road, Santa Fe, was sworn in. He agreed with staff's and John Murphy's reports.

Public Hearing:

Mr. Eddy, previously sworn, agreed with staff's recommendations.

Board Discussion/Action:

Motion: In Case 2023-006965-HDRB. 847 E. Palace Ave., Member Aguilar Medrano moved to approve the application as submitted which maintains the structure as non-contributing. The motion was seconded by Member Biedscheid

Vote: The motion passed by (6-0) roll call vote with Members Mather, Valdo, Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHRk&t=2806s> (35:07 – 45:52)

- e. **2023-007358-HDRB. 1062 Camino San Acacio.** Downtown & Eastside Historic District. Non-contributing. Praxis Design Build, agent for Gabriel and Mariam Browne, owners, requests a historic status review with primary facade(s) designation, if applicable, for two non-residential structures. (Lani McCulley)

The applicant was not present.

Motion: Member Biedscheid moved to have this case heard at the end of the agenda. The motion was seconded by Member Guida.

Vote: The motion passed by (6-0) roll call vote with Members Valdo, Aguilar Medrano, Biedscheid, Bienvenu, Guida and Mather voting in favor and none voting against.

- f. **2023-007399-HDRB. 1-A Camino Pequeno.** Downtown & Eastside Historic District. No status. Courtenay Mathey, agent for Ann & Kevin Cooney, owners request historic status review and designation of primary facades (Ramón J. Sarason)

Postponed to November 14, 2023.

- g. **2023-007357-HDRB. 616 1/2R Galisteo St.** Don Gaspar Area Historic District. Non-Contributing. Jamie Clements, agent for Belinda Kathleen McDonald Orr and John Peyton Orr, owners, requests demolition of a residential structure. (Lani McCulley)

Ms. McCulley noted that the owner is now the Museum of New Mexico which is the applicant.

Staff Report:

The building at 616 1/2R Galisteo Street is a 1,351 sq. ft. single-family residence listed as noncontributing to the Don Gaspar Area Historic District.

The property is landlocked with no legal access from either Paseo de Peralta or Galisteo Street.

The building known as the Hemmer House was constructed somewhere between 1935 and 1940 in the Spanish Pueblo Revival style with a front portal with header and wood slat ceiling on the east façade. The portal has a gable roof over it where the rest of the structure is a flat roof. The building is constructed of a combination of concrete block and adobe with a stucco finish in a cream color. There is a mix of windows including vinyl and wood with some fixed, casement, and double hung windows. Three exterior doors consist of two six-panel wood, and one nine panel wood and glass doors.

The applicant came before the HDRB for a status downgrade on September 12, 2023. The Board downgraded the property to non-contributing as due to the large number of changes to the building, it does not contribute to the Don Gaspar Area Historic District.

The applicant now requests to demolish the residence for life and safety reasons. No structure is planned to replace the residence. The owner plans a lot consolidation to merge the property with the lot at 1411 Paseo de Peralta. The owner might create a courtyard area on the lot in order to have it blend with the Paseo de Peralta property. The applicant has addressed the demolition criteria.

Staff Recommendation:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Area Historic District Design Standards.

Chair Rios confirmed with staff that building has mold on the inside and the building is not publicly visible.

Applicant Presentation:

Karl Sommer, PO Box 2476, Santa Fe, was sworn. He said the Applicant agrees with staff's recommendation.

Public Hearing:

Ms. Beninato, previously sworn, said she was sorry that the house has gone to such ruin and will be lost. She talked about the landscaping. At one point, the house could be accessed through the Foundation's driveway.

Board Discussion/Action:

Chair Rios said she's intrigued by the entryway. She confirmed there is no land surrounding this property.

Member Bienvenu said it's sad that this building fell into this state of disrepair.

Motion: In Case 2023-007357-HDRB. 616 1/2R Galisteo St., Member Bienvenu moved, consistent with staff's recommendation and the matters presented by the applicant and the state of the record presented, that pursuant to Section 14-3.14(G) all criteria for demolition have been established. Specifically:

Criteria 1, whether the structure is of historical importance. The structure was designated non-contributing and downgraded at a prior meeting of the Board, so that criteria is satisfied.

Criteria 2, whether the structure for which demolition is requested is an essential part of a unique street section. As noted, this is not publicly visible or has extremely minimal public visibility and therefore, it has been established that it is not an essential part of a unique street section.

Criteria 3, the state of repair or structural stability of the structure under consideration. The record establishes that the structure is in extremely poor shape as a public safety hazard.

For those reasons demolition is appropriate. The motion was seconded by Member Guida.

Vote: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu, Guida, Mather and Valdo voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHrk&t=2806s> (47:02 – 1:01:25)

- h. **2023-007400-HDRB. 120 Martinez St.** Downtown & Eastside Historic District. Contributing. Josephine Creange, owner, proposes demolition of the garage structure. (Ramón Sarason)

Staff Report:

120 Martinez St. is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The property includes a detached non-contributing garage that was approved for demolition in 1995. The expiration date for this demolition approval has expired.

Now, the applicant proposes the following exterior alterations:

- 1) Demolition of the detached garage.

Staff Recommendation:

Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. Staff recommends approval of the garage demolition as approved in H-95-184 and finds that the application complies with Section 14-3.14(G) Demolition of a Historic or Landmark Structure.

Chair Rios confirmed with staff that the demolition was recommended in 1995.

Applicant Presentation:

Josephine Creange, 120 Martinez St., Santa Fe, was sworn. She agreed with staff's recommendation.

Public Hearing:

Ms. Beninato, previously sworn, said this a demolition permit that was approved almost 30 years ago and the building is still standing today.

Chair Rios said it was 28 years ago and noted this is a new case.

Board Discussion/Approval:

Motion: In Case 2023-007400-HDRB, 120 Martinez St., Member Guida moved to approve the garage demotion in line with staff's recommendation. Member Biedscheid seconded the motion, noting that all demolition criterion had been met.

Vote: The motion passed by (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHrk&t=2806s> (1:01:25 – 1:06:57)

- i. **2023-007361-HDRB. 514 Camino Cabra.** Downtown & Eastside Historic District Contributing. Martinez Architecture Studio, agent for Jennifer Biedscheid, owner, proposes to construct a 200 sq. ft. addition to a height of 9'-6" where the maximum allowable is 14'-2", replace/repair windows and doors, replace a yardwall and pedestrian gate, install railings and ramp, and repair roof and brick coping. (Lani McCulley)

Member Biedscheid recused herself from the case.

Staff Report:

The residence at 514 Camino Cabra is a Territorial Revival style single-family residence designated as contributing to the Downtown and Eastside Historic District. The Historic Preservation Division (HPD) has no HCPI or HBI form on file. The County Assessor's office shows the dwelling was built in 1933; a garage was added in 1980. The defining characteristics of the property are the Territorial style porch, brick coping, the masonry along the base of the home, and wood surrounds on the windows.

According to previous case minutes, the rock portion of the yardwall appears to have been constructed in 1927 or 1928 and a portion of it might have been constructed in conjunction with Cristo Rey Church. Minutes from the previous cases also indicate that the living room addition was constructed on the southwest in the 1960's while the bedroom addition was constructed on the northwest in the 1970's. The portal on the north elevation was constructed in 2005.

On May 9, 2017, under case H-17-033A the Board designated the north and east elevations of the structure as primary. The portal on the north elevation was excluded because it is not a historic portal. North elevation (facade 2) excluding the non-historic portal, the east elevation of the house (facades 1 and 5), and the rock and adobe portions of the yardwall along the street front as primary.

On July 25, 2006, under case H-06-051, the Board approved to increase parapet heights in sections of the west, north, and south elevations and denied the use of the brick cap on the parapets. The HDRB also required that the slope of the roof be retained so that it would not exceed the existing east elevation parapet and allowed the existing historic brick coping parapets to remain.

Now, the applicant proposes the following exterior alterations:

- 1) Construct a 168 sq. ft. addition on the south elevation to extend the sunroom. Windows will match the other south elevation white wood windows.
- 2) Stucco in El Rey cementitious "suede" to match existing residence.
- 3) Replace window and doors on the south elevation. All windows will be white wood trim and columns.
- 4) Repair brick coping on the parapets and add a reddish-brown metal cap to protect the coping.
- 5) Install a ramp with a black metal railing at the existing entry portal on the north façade.
- 6) Remove part of the existing adobe and stone wall on the west side of the residence to create a driveway turn-around. The section to be removed is the north side of the wall and is not the contributing section of the wall.
- 7) Repair and paint existing windows as noted on the window assessment provided by RPA & Associates.

No exceptions are necessary for the work proposed to this Contributing building because the proposed additions, and the windows and doors to be replaced, are on non-primary façades.

Staff Recommendation:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Applicant Presentation:

Richard Martinez, PO Box 925, Santa Fe was sworn. He described the proposed project to the Board.

Chair Rios asked about the brick coping and how much of that would be covered by the metal cap.

Mr. Martinez indicated that the metal cap would protect the brick coping.

Chair Rios asked how the front wall would be held up.

Mr. Martinez said there's some thickness to the wall, about a foot and a half deep.

Member Bienvenu asked if the stucco over the brick was added when the metal cap was denied.

Mr. Martinez said maybe it predated that and it's been added to over the years to keep the water out,

Member Bienvenu said the stone wall is beautiful and looks to be significant for the neighborhood. He confirmed with Mr. Martinez that the adobe is non-historic.

Member Bienvenu said they are concerned about the historic contributing wall that goes up the driveway. He didn't know if an exception was needed to remove any of that wall.

Ms. McCully said the motion from the previous hearing states that the rock portion of the wall is the contributing portion of the wall. Staff's interpretation was it was only that which was along the street. At the field trip it was discussed that that's not normally how it's done, it's the entire wall so there was a question as to whether that northern part was part of the contributing structure.

Public Hearing:

Mr. Eddy, previously sworn, said he was glad the concerns have been raised about the parapet cap and the wall. He hopes the applicant can assure the Board that historic stone can be saved.

Ms. Beninato, previously sworn, said the walls are important to the character of the house and contribute to the streetscape.

Board Discussion/Action:

Motion: In Case 2023-007361-HDRB, 514 Camino Cabra, Member Guida moved to approve the project as submitted, noting the following: as stated by the Applicant: the metal coping that will go over the brick parapet on the visible side will only extend half a brick course over the top course of brick and will be color matched metal to that brick; the stucco coating that is currently on top of the brick will be removed as part of the rehabilitation of the parapet; the removal of a portion of mostly adobe and some stone base wall for the driveway turnaround will endeavor to do two things per the applicant: retain a thickness at the edge of the street facing wall so that the public is not presented with a thin edge of a wall but that there's a thickness to the end of the wall and that the applicant will endeavor to retain as much of the stone base as possible. Member Bienvenu seconded the motion with a friendly amendment to add that the applicant would endeavor to retain as much of the stone wall as is consistent with the needs for safe access.

Member Guida accepted the friendly amendment.

Vote: The motion passed by (5-0) roll call vote with Members Bienvenu, Guida, Mather, Valdo and Aguilar Medrano voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHRk&t=2806s> (1:06:57 – 1:44:15)

- j. **2023-007323-HDRB. 275 E. Alameda St.** Downtown & Eastside Historic District. Contributing. Rob Vadurro, agent for Cathedral School Partners, NM LLC, proposes to remodel the existing building and construct a 36' building. An exception to Section 14-5.2 (c)(9) is requested. (Paul Duran)

Member Biedscheid returned to the meeting.

Staff Report:

The structure at 275 E. Alameda St. is the Saint Francis Catholic School and is listed as a contributing structure to the Downtown and Eastside Historic District. The primary elevations, which were designated at the HDRB's July 12, 2022, hearing, are the east and south facades. The John Gaw Meem-designed school was built in 1960 at the southeast corner of E. Alameda St. and Paseo de Peralta. The building displays the Spanish Pueblo revival architectural design with high rounded parapets, depth in layered multistoried features, and wooden elemental characteristics. The school served approximately 300 students from prekindergarten to sixth grade but subsequently closed down in 2006. More recently the school housed the New Mexico School of the Arts, which moved to Sanbusco in 2016. The building has been relatively abandoned and has not served the general area sense this time.

Previous HDRB cases include:

Case #H-02-21. 275 E. Alameda Street. Downtown and Eastside Historic District. Noncontributing. Greg Allegretti Architects, agent for Catholic Archdiocese, proposes to construct a 1,680 sq. ft. portable gable roof classroom building behind school to a height of 12'. The motion passed by unanimous voice vote.

Case #H-05-225. 275 E. Alameda Street. Downtown and Eastside Historic District. Noncontributing. With the following conditions and alterations and that be that the, and I would make this to the new structures that are going to be built within the designated site. That there be no less than fifty-five percent of said structures that are single story, and the range of the single story would be from 16 to 22 feet; that no more than thirty percent of said structures be two story with a height range of 28 to 35 feet; and that no more than 15 percent of said structures be of a third story. And 42 feet be the limit of that. Three to one passed, approved with conditions.

Case #H-10-028A. 275 E. Alameda Street. Downtown and Eastside Historic District. Noncontributing. Upgrade the historic status to contributing and designate the south and east elevations as the primary facades. The motion passed unanimously.

Case #H-10-028B. 275 E. Alameda Street. Downtown and Eastside Historic District. Contributing. Per staff recommendations that the concrete walkway be earth toned and the handrail color the same as the existing stucco color. The motion passed unanimously.

Case #2022-005474-HDRB. 275 E. Alameda St., Member Larson moved to retain the contributing status per staff's recommendation, and found that the east and south elevations are primary, and per staff recommendation, to add the historic yard wall and south elevation as contributing due to retention of material and integrity and relation to the historic structure and detailing the character defining features of the horizontal massing of the building and continuous steel-casement window curtain wall with the lower profile of the buttressing as character defining along the east elevation. The motion was seconded by Member Bienvenu with a friendly amendment that consistent with staff's recommendation the north section of the east wall, the historic section, also be designated as contributing. Member Larson accepted the amendment as friendly. Member Guida added that in addition to the character defining elements mentioned by Member Larson, of note is the importance of this because of its association with Santa Fe architect John Gaw Meem and as a building representing an evolution of his style in the post war period.

Now, the applicant proposes the following exterior alterations:

- 1) The owner is requesting an exception to the nominal height restrictions to allow a building up to 36 feet tall (excluding, per code, mechanical screening and overruns).

The applicant has requested the height exception prior to submitting a development plan for the project. In order to determine whether the proposed development is feasible, the building height must be considered.

If this project is approved, the applicant will then submit a development plan for review and approval by the City of Santa Fe Planning Commission. If approved, the applicant will return to the HDRB for review and approval of the proposed design.

Staff Recommendation:

Staff finds that all the exception criteria have been met and recommends approval of the proposed height exception and finds that the application complies with Section 14-5.2(C)(5)(c) Exceptions, Height and further finds that the proposed height is compatible with other buildings within the streetscape.

Chair Rios confirmed that the Board is only considering a height exception.

Member Guida said he doesn't remember being asked to consider a height exception without reviewing the design.

Ms. Lamboy said the unique circumstance associated with this project is that it is regulated by both height and preservation standards as well as design standards.

Member Bienvenu said he's receptive to a height exception, however, there's no way to consider a 36' foot height without consideration of design.

Member Biedscheid agreed with the concerns of Members Guida and Bienvenu.

Applicant Presentation:

Andy Dutra, 106 Faith Way, Santa Fe was sworn. He explained the reasoning for approaching the Board in this manner. He said they understand they are coming back with the design, but the height exception allows them to proceed.

Member Guida said he understands what applicant is trying to do and is sympathetic to the amount of time and money that goes into the design process. He feels the City's process is not serving the applicant or the public in producing good projects. The City process is pushing design in the wrong direction.

Ms. Lamboy said this is an unusual situation in a Historic District. Staff felt it was important to deal with height issue first.

Member Guida said there have been informational sessions in other cases. In those cases, the Board recommended design feedback.

Ms. Lamboy said the Board could consider this as informational and postpone action.

Member Bienvenu asked if this could be an informational session.

Attorney Ruybalid said this could be an informational session or be postponed.

Chair Rios asked the Board members if they wanted to do a conditional approval on plans that they are not looking at.

The consensus of the Board was to consider this an informational session on this matter.

Public Hearing:

Mr. Eddy, previously sworn, said he thinks this is being handled the right way. It's unfortunate that this was not presented as an informational session. He's concerned about the height and massing. The impact would be considerable on this block.

Ms. Beninato, previously sworn, she agreed with Mr. Eddy's comments.

Board Discussion

Member Guida suggested staying below the tower. For the next presentation he would like to see more renderings. The entire expression of the building at this point doesn't speak to the building.

Member Aguilar Medrano she doesn't have an issue with the height. She said if there is going to be a yard wall, it's going to be a different pedestrian experience. The other thing that stood out to her is the colors. Her concern was having a light stucco color. She asked for a physical sample of colors.

Chair Rios said she was concerned about open space and what the percentage of lot coverage is.

Member Biedscheid said she didn't have issue with adding height.

Chair Rios asked about the murals.

Mr. Dutra said the one on Alameda is going to be preserved. On the inside they will keep as many as possible.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHRk&t=2806s> (1:44:15 – 3:03:48)

- k. **2023-007362-HDRB. 1150 Cristo Rey.** Downtown & Eastside Historic District. contributing. Martinez Architecture Studios, agent for Michael Vinson, owner, proposes to construct a 230 sq.ft. addition with an 86 sq. ft. portal to a height of 11'-0" where the maximum allowable is 16'6", and a 62 sq.ft. portal to a height of 11'-0" within 10 feet of the primary facade. An exception is requested to section 14-5.2(D)(2)(d). (Lani McCulley)

Staff Report:

The property at 1150 Cristo Rey is a single-family residence listed as contributing to the Downtown and Eastside Historic District and is part of the Tafoya compound which reached south to Camino San Acacio.

The residence is a New Mexico Vernacular style with a flat roof, stone parapets, two chimneys, and vinyl windows. There is a 1960's enclosed portal addition on the north façade, an attached carport on the southeast, and a 1980's western addition. The western side parapets of the structure appear to have been repaired at an unknown date as concrete obscures any stone in the parapet. All the windows were replaced to vinyl windows in 2009 under permit 2009-0058. The coyote fence courtyard area was permitted in 2010 under permit 2010-0781. The residence was most recently restuccoed in 2021.

There is a high stone wall with stone buttresses along the street frontage and an asphalt driveway. A stone retaining wall along the south property line matches the front yardwall and stone parapets. The western lot line is established with a stucco and wrought iron fence that matches the neighbors' lot. The further west portion of the lot has a mostly abandoned gravel driveway, the foundation for an abandoned guest house construction, and the retaining wall is constructed of railroad ties. The area is covered in vegetation.

The property came to the HDRB for designation of the primary facades on September 26, 2023. The HDRB designated the original southern end of the east façade excluding the non-historic windows, doors, and mechanical lines and equipment as the primary facade. The HDRB also designated the north and south stone retaining yard walls as contributing structures.

Now, the applicant proposes the following exterior alterations:

- 1) Construct a 230 sq. ft. addition to a height of 11'0" where the maximum allowable height is 16'6" on the western 1980's addition.
- 2) Construct a 86 sq. ft. portal on the north side of the new addition.
- 3) Construct a 62 sq. ft. portal on the northern entrance door on the east façade of the residence. An exception to construct within 10 feet of the primary façade is requested per Section 14-5.2(D)(2)(d).

Staff Recommendation:

Staff finds that all the exception criteria have been met, therefore staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(I) Westside-Guadalupe Historic District.

Applicant Presentation:

Mr. Martinez, previously sworn, said the additions are minimal. He read a letter of support into the record from Mr. John Tafoya, next door neighbor to Michael Vincent.

Member Bienvenu said the portal was designed with a substantial amount of stucco and doesn't seem consistent with anything else in the house. An exception is being requested because of the closeness to the primary façade. It would seem that you would want to minimize the appearance of portal because it seems dominating.

Mr. Martinez said the portal is shorter than the house itself. The stone extension on top of the parapets is not on the portal but it looks like it is. The intention is not to make an imposing portal.

Member Bienvenu said it's a very small portal without the parapet. It feels like there's something massive there. That's a dominant piece of massing.

Mr. Martinez said it's a calm portal as opposed to an exposed roof portal. It's a portal with a stuccoed parapet on top.

Member Guida said he understands Member Bienvenu's point. Perhaps the elevations are not doing full service to what the design intention is.

Public Hearing:

Mr. Eddy, previously sworn, he was also thrown by the portal as depicted. The massing on the stucco parapet is overkill. He thinks a shed roof might be a nice solution. A shed roof could be finished with saltillo gutter tile.

Ms. Beninato, previously sworn, said the stucco massing on the portal is overkill. She likes the idea of a simpler portal.

Board Discussion/Action:

Member Biedscheid said her opinion about the portal is the addition of the stucco serves to balance out the larger wood frame carport that's on the same façade. She also appreciated that the applicant reached out to the neighbor who has had such a history of the house.

Motion: In Case 2023-007362-HDRB, 1150 Cristo Rey, Member Biedscheid moved to approve the application as submitted noting that the exception criteria have been met, consistent with staff's assessment. The motion was seconded by Member Guida.

Vote: The motion passed by (4-2) roll call vote with Members Guida, Mather, Aguilar Medrano and Biedscheid voting in favor and Members Valdo and Bienvenu voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHrk&t=2806s> (3:03:48 – 3:24:26)

- e. **2023-007358-HDRB. 1062 Camino San Acacio.** Downtown & Eastside Historic District. Non-contributing. Praxis Design Build, agent for Gabriel and Mariam Browne, owners, requests a historic status review with primary facade(s) designation, if applicable, for two non-residential structures. (Lani McCulley)

Staff Report:

The property at 1062 Camino San Acacio consists of two non-residential structures that have no historic status in the Downtown and Eastside Historic District. The two structures were garages and workshops associated with the residences across the street. The two structures, the northern or lower building and the southern or upper building, are basic L-shaped forms built partially into the hillside.

The northern or lower building is an 853 sq. ft. adobe structure, with interior vigas. The building is stuccoed with capped parapets with a rowlocks pattern working as dentils. The roof slopes south to the gutter and is modified bitumen. The roof was recently redone along with replacing areas of the roof and installing new vigas and a concrete floor as approved under permit 2019-5288-EXTR. The garage on the east side of the north facade has swinging wood panels doors. To the west of the north façade is the only pedestrian entry to the building. The door is a stock ¼ glass unit with four raised panels. The west façade has a single four-lite non-historic in-swing casement window with a heavy concrete sill at the bottom of the window. The south elevation is partially dug into the slope and is divided evenly with two openings holding non-historic six-light casements windows and a non-historic overhang spanning the façade. The east façade is an empty wall.

The southern or upper building is a 755 sq. ft. adobe structure with a shed attachment on the east elevation. The north elevation of the building rises above grade on a mixed concrete and rubble foundation with the walls, reaching 3' above the ground and adobe walls covered with a gray scratch coat on top. The walls are mounted with a coping made of clay tile blocks and bricks.

Attached to the east side is the beginning of the shed. On the west elevation there are two wide garage doors and a window giving light to the office. While the opening is historic, the windows are not original. The two four-light fixed units are separated by a 1"x 6 ½" board acting as a mullion.

The west was given a scratch coat, and an overhang extends nearly 24" over the openings. The south elevation has exposed mostly uniform 7"x 3 ½" x 16" mud brick construction material laid in a typical pattern and adhered with mud mortar. There is a grouping of newer sash windows fitted into openings with a board mullion. A shallow overhang tops the wall. Rolled asphalt roofing wraps down over the façade roof.

The east façade is covered by a shed. The shed is constructed of a mix of wood materials and corrugated tin and is split into three divisions. North elevation of shed It sits on a rubble stone wall and reveals various wood surfaces, it has a south end has an opening framed by large rough beams.

Its structure sits on a mixed concrete and rubble foundation. Its roof is partially collapsed. The middle section has an east-sloping shed roof with openings that resemble animal pens. It has been recently reinforced by new 3 ½" x 9 ½" beams. The lower north section has a roof sloping in the same direction and erected over a rubble stone wall and has a single gate, sheltered by an overhang of 2'x4's. Based on the known use of the property, there is a high likelihood that the shed once enclosed animals.

There are no previous cases on file with the Historic Preservation Division.

The applicant requests a status review with primary façade designation if applicable of each of the two structures.

Staff Recommendation:

Staff recommends the historic status of the northern or lower structure be upgraded to a contributing structure with the north façade (N1 and N3) as the primary façade citing the adobe structure, original brick coping, and the historic doors; and the historic status of the southern or upper structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Member Bienvenu confirmed that buildings are not stasured.

Applicant Presentation:

Gabriel Browne, 1012 Marquez Place, Santa Fe, was sworn. He did not agree with staff's recommendations. He wants to develop the open part of the property for his family. They are hoping to get non-contributing status for both structures. Preserving the structures would be a hardship. There's never been water service on the property. They would like to add on to the west.

Member Guida said the structure contributes to the streetscape and holds a lot of history. The Board is not reviewing a design proposal this evening, however, in the future, he thinks the Board would be receptive to granting an exception to a design that considers the history of the building.

Member Bienvenu said having both of those two very rustic non-residential buildings on a single lot being designated as contributing would run counter to a lot of

our other goals such as having residences for people to live in. He thought the staff's proposal is a compromise point of view.

Member Biedscheid confirmed that N6 is a recommendation from management. This is an extremely small house. Three facades is overboard. The two facades that are recommended might be overkill.

Public Hearing:

Mr. Eddy, previously sworn, said these buildings have contributed to the historicity of San Acacio. Contributing is definitely appropriate for these buildings.

Board Discussion/Action

Motion: In Case 2023-007358-HDRB, 1062 Camino San Acacio, Member Guida moved to status the north structure as contributing with facades N1 and N3 as primary and to status the south building as non-contributing per staff's recommendation. Member Mather seconded the motion.

Vote: The motion passed by (6-0) roll call vote with Members Mather, Valdo Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

To view the entire recording of this presentation, **see** the YouTube video at: <https://www.youtube.com/watch?v=KhNABSaUHrk&t=2806s> (3:24:26 – 3:49:03)

9. DISCUSSION ITEMS

Ms. Lamboy said the RFP has been issued for the General Plan.

10. MATTERS FROM THE BOARD

Member Guida said he voted no on the Findings of Fact and Conclusions of Law because they were approved as a slate and he some concerns about the Grant Avenue case.

Member Biedscheid said she had concerns about the Findings of Fact and Conclusions of Law for the San Francisco Street case.

Attorney Ruybalid said the discussion was informative and he is happy to explain anything the Board has a question on.

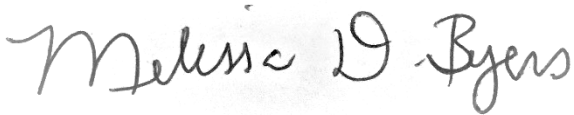
11. NEXT MEETING: Tuesday, November 14, 2023

12. ADJOURNMENT

MOTION: Member Guida moved to adjourn the meeting at 9:35 pm. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by (6-0) roll call vote with Members, Valdo, Aguilar Medrano, Biedscheid, Bienvenu, Guida and Mather voting in favor and none voting against.

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Approved by:

Cecilia Rios, Chair






City of Santa Fe, New Mexico

Memorandum



Date: October 6, 2023

To: Governing Body 

From: Rich Brown, Community Development Department Director
 Jason Kluck, Director, Planning & Land Use Department 
 Heather L. Lamboy, AICP, Assistant Director, Land Use Department 

RE: HDRB Authority to Grant Exceptions to Section 14-5.2 (C)(5)(b)

EXECUTIVE SUMMARY:

The Historic Districts Ordinance, Section 14-5.2 (C)(5), regarding design and signage standards, provides that the Historic Districts Review Board (HDRB) may recommend that the Governing Body approve exceptions. Per SFCC 14-5.2(C)(5)(b), all decisions by the HDRB on cases with exceptions to design and signage shall be in the form of a recommendation to the Governing Body. The Governing Body then approves or denies requested exceptions.

The proposed amendment to section 14-5.2 (C)(5) would provide HDRB the authority to grant design and signage exceptions. Currently, because the HDRB must recommend exceptions to the Governing Body, the review and approval period can take an additional 6-8 weeks. As there are standards regarding the HDRB membership, the board includes professionals in preservation and construction. As such, City staff recommend that the HDRB is best suited to consider exceptions to the ordinance. Additionally, per Section 14-2.6 (B), the Governing Body delegates authority to the HDRB regarding construction and preservation of buildings and structures in the historic districts. This amendment would align 14-5.2 (C)(5) on Exceptions with Section 14-2.6 (B) on delegation of authority. Lastly, this amendment will provide a quicker review of exceptions in the Historic Districts, which will serve the public as well as improve City Government function and efficiency.

The proposed amendment would also remove the requirement that City staff sign applications in Section 14-5.2 (D)(10), the section of code addressing “General Design Standards for all Districts” as they relate to signs and murals. The amendment would also remove the requirement that staff report application approvals and denials at HDRB meetings.

BACKGROUND:

Currently, Section 14-5.2(C)(5)(b) states the following:

Design Standards and Signage

The board may recommend exceptions to Subsections 14-5.2(D)(1-8, 10-11) and 14-5.2 (E) through (I) for construction or alterations within the historic district. The recommendation for exceptions shall be made to the governing body . Procedures for public notice and hearing before the governing body shall be as set forth in Section 14-3.6(B)(3). Exceptions are project specific and do not apply to the subject property in perpetuity. If approved by the governing body , the inspections and enforcement office shall accept and review an application for, and issue, as appropriate, a building permit.



City of Santa Fe, New Mexico

Memorandum



Land Use staff found that the Historic Districts Ordinance's 1957 originating language did not give the HDRB authority to grant exceptions. Then, in 1997 an amendment to the ordinance granted the HDRB authority to approve exceptions related to height (provided that the height did not exceed the allowable height prescribed by the Zoning Code and would not require a variance that would have to be granted by the Board of Adjustment). The 1997 amendment did not provide the HDRB authority to grant exceptions regarding design, preservation, and signage.

REQUESTED ACTION:

Land Use staff recommend amending Section 14-5.2(C)(5)(b) to give the HDRB authority to grant all exceptions, including exceptions for design and signage. Land Use staff also recommend amending Section 14-5.2 (D)(10) to remove the requirement for City staff to sign applications and to report application approvals and denials to the HBRD.

ATTACHMENTS:

Bill No. 2023-26
Fiscal Impact Report

[bracketed material] = delete

underscored material = new

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CITY OF SANTA FE, NEW MEXICO

BILL NO. 2023-26

INTRODUCED BY:

Councilor Signe Lindell

A BILL

AMENDING SFCC 1987, SECTION 14-5.2, TO AUTHORIZE THE HISTORIC DISTRICTS REVIEW BOARD TO APPROVE ADDITIONAL EXCEPTIONS, INCLUDING EXCEPTIONS FOR SIGNS AND MURALS; AND TO REMOVE CERTAIN ADMINISTRATIVE REQUIREMENTS FOR LAND USE STAFF APPROVALS AND DISAPPROVALS OF SIGNS AND MURALS.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF SANTA FE:

Section 1. Section 14-5.2 of SFCC 1987 (being Ord. No. 2004-26) is amended to read:

14-5.2 HISTORIC DISTRICTS

(A) General Provisions

(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly, and efficient growth and development of the city, it is deemed essential by the governing body that the

1 qualities relating to the history of Santa Fe, and a harmonious outward
2 appearance, which preserve property values and attract tourists and residents
3 alike, be preserved, some of these qualities being:

4 (a) The continued existence and preservation of historical areas and
5 buildings;

6 (b) The continued construction of buildings in the historic styles; and

7 (c) A general harmony as to style, form, color, height, proportion, texture
8 and material between buildings of historic design and those of more
9 modern design.

10 ...

11 **[OMITTED TEXT: Subsections 2-7 regarding Application to State of New Mexico,
12 Boundaries, Design of Buildings, Zoning District Regulations, Nonconforming Structures,
13 and Electric Facilities, are not impacted by the bill and are omitted for readability]**

14 **(B) Minimum Maintenance Requirements**

15 ...

16 **[OMITTED TEXT: Introductory sentence and following items 1-13 are not impacted
17 by the bill and are omitted for readability.]**

18 **(C) Regulation of Significant and Contributing Structures in the Historic
19 Districts**

20 (Ord. No. 2004-26)

21 ...

22 **[OMITTED TEXT: Subsections 1-4 regarding Purpose and Intent;
23 Designation of Significant Contributing, or Noncontributing Status within Historic
24 Districts; Review by Historic Districts Review Board Required; and Compliance with
25 General and Specific Design Standards Required are not impacted by the bill and are**

1 **omitted for readability.]**

2 (5) Exceptions

3 Staff shall determine ~~[whether]~~ if an exception to this section is required.

4 The historic board may grant or deny an exception to the regulations set
5 forth in this section provided that such exception does not exceed the
6 underlying zoning.

7 (a) Height

8 If the *applicant* requests approval of a height in the historic district
9 that exceeds the underlying zoning district requirement,
10 the *applicant* shall first receive an exception to this Section 14-5.2.
11 If approved by the historic board, the *applicant* shall proceed to the
12 board of adjustment or other applicable *city* body for consideration
13 of the proposed variance.

14 (b) Design Standards and Signage

15 ~~[The board may recommend exceptions to Subsections 14-5.2(D) (1-~~
16 ~~8, 10-11) and 14-5.2(E) through (I) for construction or alterations~~
17 ~~within the historic district. The recommendation for exceptions shall~~
18 ~~be made to the governing body. Procedures for public notice and~~
19 ~~hearing before the governing body shall be as set forth in Section 14-~~
20 ~~3.6(B)(3).] The board is the city administrative board reviewing and~~
21 granting or denying requests for exceptions from standards set forth
22 in 14-5.2(D) (1-8, 10, 11) and 14-5.2(E) through (I), for construction
23 or alterations within the historic districts, and in 14-8.10(H), for signs
24 in historic districts. When requesting exceptions, the applicant shall
25 use the procedures for public notice and hearing set forth

1 in Section 14-3.1(H), Notice Requirements, unless the *applicant* also
2 requests a variance to the underlying zoning. In such a case
3 the *applicant* for the H ordinance exception shall not be required to
4 publish a legal ad in the local newspaper. Exceptions
5 are *project* specific and do not apply to the subject *property* in
6 perpetuity. [~~If approved by the *governing body*, the inspections and~~
7 ~~enforcement *office* shall accept and review an *application* for, and~~
8 ~~issue, as appropriate, a *building permit*. The *applicant* for such~~
9 ~~exceptions shall conclusively demonstrate and]. In order to approve
10 an exception, t[~~F~~]he board shall make [a ~~positive~~] findings of fact
11 that the *applicant* conclusively demonstrated that requested [such]
12 exceptions comply with all the criteria listed as follows:~~

- 13 (i) Do not damage the character of the district;
- 14 (ii) Are required to prevent a hardship to the *applicant* or an
15 injury to the public welfare; and
- 16 (iii) Strengthen the unique heterogeneous character of the *City* by
17 providing a full range of design options to ensure that
18 residents can continue to reside within the historic districts.

19 (c) Height, Pitch, Scale, Massing, and Floor Stepbacks

20 The board is the *city* administrative board reviewing and granting or
21 denying requests for exceptions from regulations set forth in
22 Subsection 14-5.2(D)(9). When requesting exceptions
23 the *applicant* shall use the procedures for public notice and hearing set
24 forth in Section 14-3.6(B)(3), unless the *applicant* also requests a
25 variance to the underlying zoning. In such a case the *applicant* for the

1 H ordinance exception shall not be required to publish a legal ad in the
2 local newspaper. Exceptions are *project* specific and do not apply to
3 the subject *property* in perpetuity. The board may grant exceptions
4 and impose conditions thereon to Subsection 14-5.2(D)(9) for height
5 of *structures* within the historic districts as specified in Subsection 14-
6 5.2(D)(9)(a). [~~The applicant for such exceptions shall conclusively~~
7 ~~demonstrate and t~~] In order to approve an exception, the board shall
8 make [~~a positive~~] findings of fact that the applicant conclusively
9 demonstrated that requested [~~that such~~] exceptions comply with all the
10 criteria listed as follows:

- 11 (i) Do not damage the character of the *streetscape*;
- 12 (ii) Prevent a hardship to the *applicant* or an injury to the public
13 welfare;
- 14 (iii) Strengthen the unique heterogeneous character of the *city* by
15 providing a full range of design options to ensure that
16 residents can continue to reside within the historic districts;
- 17 (iv) Are due to special conditions and circumstances which are
18 peculiar to the land or *structure* involved and which are not
19 applicable to other lands or *structures* in the
20 related *streetscape*;
- 21 (v) Are due to special conditions and circumstances which are
22 not a result of the actions of the *applicant*; and
- 23 (vi) Provide the least negative impact with respect to the purpose
24 of this section as set forth in Subsection 14-5.2(A)(1).

1 ...

2 [OMITTED TEXT: Introductory sentence and subsections 1-9 regarding
3 General; Additions; Remodeling to Increase Height, Rooftop Appurtenances;
4 Porches and Portals; Windows, Doors, and Other Architectural Features; Roofs;
5 Surface Cleaning; and Archaeological Resources are not impacted by the bill and are
6 omitted for readability.]

7 (9) Height, Pitch, Scale, Massing and Floor Stepbacks

8 The height, pitch, scale, and massing of any structure in an historic district,
9 as defined in this section, shall be limited as provided for in this section,
10 unless further restricted within this chapter.

11 (a) Applicability

12 The following sections identify specific areas and specific projects
13 subject to this section. Planning and land use department staff
14 shall determine whether or not properties are included within this
15 section. (Ord. No. 2007-45 § 30; Ord. #2020-22, § 16)

16 (i) Specific Areas

17 A. The authority to limit the height of any structure, as
18 provided in this section, shall apply within the downtown
19 and eastside, Don Gaspar, historic transition, and
20 westside-guadalupe historic districts.

21 B. It shall also apply in the historic review district as
22 specified herein. This authority shall apply to the northern
23 and eastern portion of the historic review district as
24 illustrated on the referenced map attached hereto, * and
25 located in the city's planning and land use department.

1 Inclusive under this authority are all properties accessed
2 from Canyon Road, Camino Militar, Apodaca Hill,
3 Camino Ribera, Camino Cabra, Camino Santander,
4 Camino San Acacio, Camino del Monte Sol, Camino
5 Rancheros, Camino Ranchitos, Garcia Street, Old Santa
6 Fe Trail (to the Arroyo de los Chamisos crossing), and
7 Old Pecos Trail (to the southern boundary of the historic
8 review district) as they continue out of the downtown and
9 eastside historic district and terminate in the historic
10 review district. This authority shall also apply to all
11 properties accessed from public rights-of-way that are
12 located east of the western boundary of the historic review
13 district and north of the southern boundary of the historic
14 review district to the intersection of Camino Corrales and
15 Fort Union Drive. (Ord. No. 2007-45 § 30; Ord. #2020-
16 22, § 16)

17 **Editor's Note:** The map referenced herein adopted by
18 Ordinance No. 1983-69, as amended, is shown on the
19 official zoning map.

20 C. This authority shall also apply to properties accessed from
21 Camino Lejo, Mt. Carmel Road, and east to the
22 intersection of Camino de Cruz Blanca and Camino de
23 Cruz Blanca Norte, inclusive of Camino de Cruz Blanca
24 and Camino de Cruz Blanca Norte, and exclusive of
25 properties east of the intersection of Camino de Cruz

1 Blanca and Camino de Cruz Blanca Norte.

2 D. This limitation of applicability shall not affect the
3 authority of the Board with respect to significant or
4 contributing structures as provided in Subsections 14-
5 5.2(F), (G), and (H).

6 (ii) Project Types

7 Planning and land use department staff shall determine
8 the applicability of this section to individual projects and
9 the applicable streetscape as follows: (Ord. No. 2007-45
10 § 30; Ord. #2020-22, § 16)

11 A. If the project location is sited on a street which extends
12 linearly with no interruptions or truncations, the
13 streetscape shall include buildings , yard walls , and
14 fences on both sides of the street on which the proposed
15 building , yard wall , or fence is to be located, for a
16 distance of six hundred (600) feet measured from the
17 midpoint of the street facing façade(s) of the proposed
18 building , yard wall , or fence in both directions parallel
19 to the street centerline. See Illustration 14-5.2-1, "Linear
20 Street - No Interruptions or Truncations."

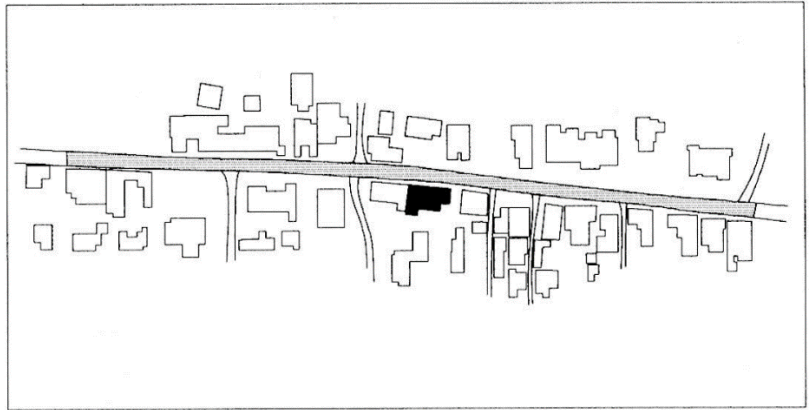


Illustration 14-5.2-1 Linear Street – No Interruptions or Truncation

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- B. If the streetscape is truncated by an intersecting block or a visual intrusion (such as a curve or turn in the streetscape) before the six hundred (600) feet is measured, the streetscape shall include all buildings, yard walls, or fences up to and including those which front the intersection or intrusion. See Illustration 14-5.2-2, "Truncation by an Intersecting Block or Visual Intrusion."

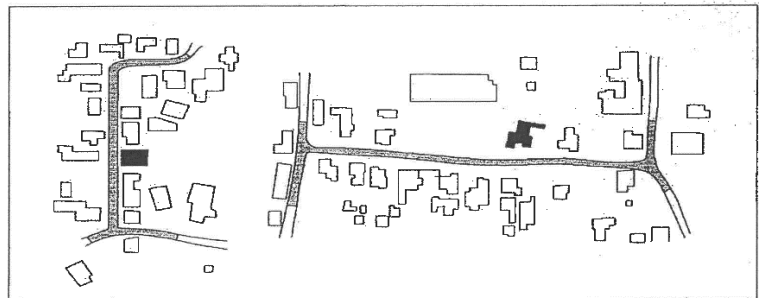


Illustration 14-5.2-2 Truncation by an Intersecting Block or Visual Intersection

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- C. If the proposed building, yard wall, or fence fronts more than one street, the streetscape on each street frontage as determined in Subsection (ii)A above shall be considered. See Illustration 14-5.2-3, "Frontage on More

1

than One Street." (Ord. No. 2002-37 § 24)

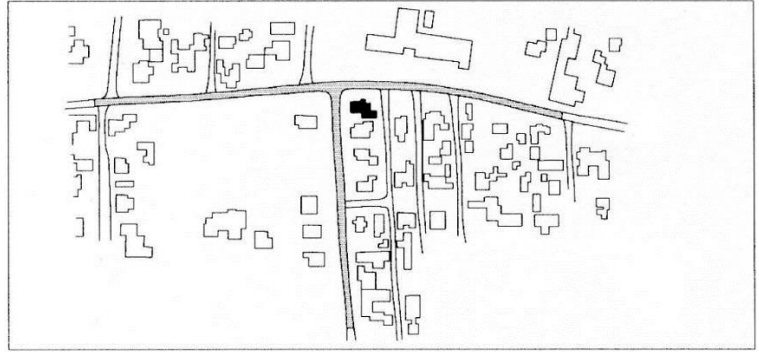


Illustration 14-5.2-3 Frontage on More than One Street

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- D. When the proposed building, yard wall or fence is located on a lot with no frontage on rights-of-way, the streetscape is defined by measuring a distance of three (300) feet in all directions beginning from the mid-point of the facade which contains the principal entrance of the building. The height of a proposed yard wall or fence shall not exceed the height of the tallest yard wall or fence within this streetscape. See Illustration 14-5.2-4, "Interior Lot with No Street Frontage."

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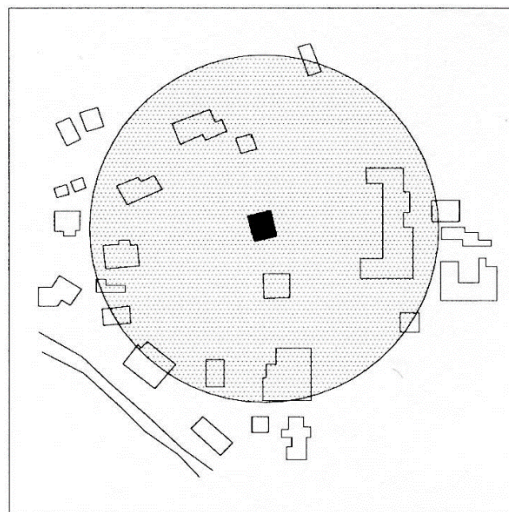


Illustration 14-5.2-4 Interior Lot with No Street Frontage

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E. When the proposed building , yard wall or fence faces a T- or a Y-intersection, the streetscape shall include buildings, yard walls, and fences as defined in Subsection (ii)(A) above and buildings, yard walls, and fences on both sides of the street creating the leg of the "T" or the arm of the "Y" for a distance of three hundred (300) feet parallel to the street centerline. See Illustrations 14-5.2-5, "Location at a "Y" Intersection," and 14-5.2-6, "Location at a "T" Intersection." (Ord. No. 2002-37 § 25)

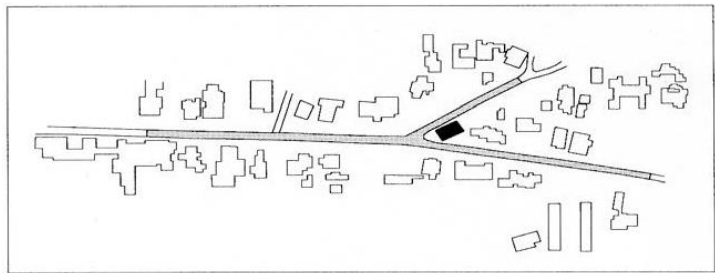


Illustration 14-5.2-5 Location at a "Y" Intersection

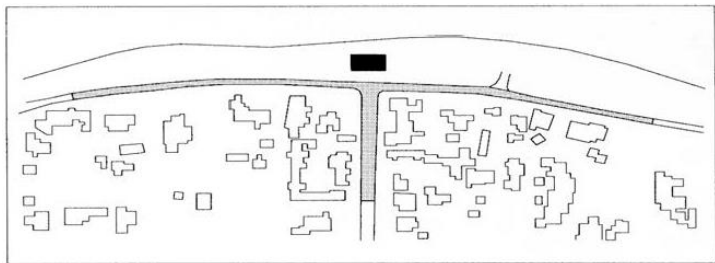


Illustration 14-5.2-6 Location at a "T" Intersection

F. When the proposed building, yard wall, or fence is located in a streetscape that includes no buildings, yard walls, or fences, the height of the proposed building shall not exceed sixteen (16) feet. Yard walls and fences in

1 this streetscape shall not exceed five (5) feet in height.

2 (b) Streetscape Standards

3 ...

4 [OMITTED TEXT: subsection numbers i-vi; and subsections c-f regarding
5 Height, Pitch, Scale, and Massing and Floor Stepbacks are not impacted by the bill
6 and are omitted for readability.]

7 (10) Signs; Murals

8 *Sign applications* and required submittals shall be reviewed by the
9 planning and land use department. Approval or disapproval shall be
10 indicated by the division on the *application* for the *building permit* and on
11 each of the required submittals. If a proposed mural does not meet the
12 criteria in the historic ordinance, an exception is required. [~~all of which~~
13 ~~shall be signed by the division staff assigned to the review. The division~~
14 ~~shall report approvals and disapprovals to the board at its next regular~~
15 ~~meeting as an informational item. Murals may be referred to the city arts~~
16 ~~board for an advisory recommendation]. (Ord. No. 2007-45 § 30; Ord.~~
17 #2020-22, § 16)

18 ...

19 [OMITTED TEXT: Subsection 11 regarding Walk Areas is not impacted by
20 the bill and is omitted for readability.]

21 (E) Downtown and Eastside Design Standards

22 ...

23 [OMITTED TEXT: Introductory sentence and subsections 1 and 2 regarding
24 Old Santa Fe Style and Recent Santa Fe Style are not impacted by the bill and are
25 omitted for readability.]

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(F) Historic Review District

...

[OMITTED TEXT: Subsections 1 and 2 regarding Applicability and District Standards are not impacted by the bill and are omitted for readability.]

(G) Historic Transition District

...

[OMITTED TEXT: Subsections 1-5 regarding Purpose, Applicability, District Standards, Final Review and Property Use and Zoning District are not impacted by the bill and are omitted for readability.]

(H) Don Gaspar Area Historic District

...

[OMITTED TEXT: Subsections 1 and 2 regarding District Standards and Walls; Fences; Solar Collectors Administration are not impacted by the bill and are omitted for readability.]

(I) Westside-Guadalupe Historic District

...

[OMITTED TEXT: Subsections 1 and 2 regarding District Standards and Walls; Fences; Solar Collectors; Administration are not impacted by the bill and are omitted for readability.]

(J) Creation of Historic Districts

...

[OMITTED TEXT: Introductory sentences and subsections 1-3 regarding Application, Preliminary Review and Hearing, Final Review and Hearings are not impacted by the bill and are omitted for readability.]

(K) Historic Compounds

1 ...

2 [OMITTED TEXT: Ordinance reference and subsections 1-5 regarding
3 Purpose and Intent; Identification of Historic *Compounds*; Board Review of
4 Existing Conditions Assessments and Historic *Compound Plans*; Standards
5 for the Rehabilitation, Demolition, Additions and New Construction in
6 Historic Compounds; and Survey, Recommendation, Approval of Historic
7 Compound Register and Effective Date are not impacted by the bill and are
8 omitted for readability.]

9 (L) Landmarks

10 ...

11 [OMITTED TEXT: Ordinance reference and subsection 1 regarding Official
12 Map of *Landmark Structures* and Procedures are not impacted by the bill and
13 are omitted for readability.]

14 (M) State Capital Outlay Projects

15 ...

16 [OMITTED TEXT: Ordinance reference and subsections 1-4 regarding
17 Purpose, Procedures, Design Standards, Demolition of Historic and
18 Landmark Structures; Minimum Maintenance Requirements are not
19 impacted by the bill and are omitted for readability.]

20 (N) County and Santa Fe Public Schools Capital Outlay Projects

21 ...

22 [OMITTED TEXT: Ordinance reference and subsections 1-4 regarding
23 Purpose, Procedures, Design Standards, and Demolition of Historic
24 *Landmark Structures*; Minimum Maintenance Requirements are not
25 impacted by the bill and are omitted for readability.]

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PASSED, APPROVED, and ADOPTED this _____ day of _____, 2023.

APPROVED AS TO FORM:

Erin McSherry
[Erin McSherry \(Oct 6, 2023 16:33 MDT\)](#)

ERIN K. McSHERRY, CITY ATTORNEY

FISCAL IMPACT REPORT

General Information:

(Check) Bill: Resolution: _____Short Title(s): Historic Ordinance Exception Approval Authority and Administrative RequirementsSponsor(s): Councilor Signe LindellReviewing Department(s): Planning and Land Use DepartmentStaff Completing FIR: Heather Lamboy Date: 7/10/2023 Phone: (505) 955-6598Reviewed by City Attorney: Erin McSherry Date: Oct 6, 2023
Erin McSherry (Oct 6, 2023 16:33 MDT)Reviewed by Finance Director: Emily K. Oster Date: Oct 6, 2023
Emily K. Oster (Oct 6, 2023 16:45 MDT)

Summary:

Under the current City code, exceptions to the Historic Districts Ordinance, Section 14-5.2, regarding design and signage standards, are recommended by the Historic Districts Review Board (HDRB) to the Governing Body. The Governing Body is then responsible for rendering a final decision to approve or deny requested exceptions.

This amendment's goal is to authorize the HDRB to grant design and signage exceptions.

The bill also amends Section 14-5.2 (D)(10), the section of code addressing "General Design Standards for all Districts" as they relate to signs and murals. Specifically, the amendment removes City staff's requirement to provide signatures on sign applications as well as the required reporting of application approvals and denials at HDRB meetings.

Departments Affected:

Planning and Land Use Department

Consequences of Not Enacting Legislation:

If this legislation is not adopted, the HDRB will continue to recommend approvals or denials for design and signage exceptions to the Governing Body. This would mean that the HDRB's authority to approve or deny exception requests will continue to be limited to proposed height in the Historic Districts.

Conflict, Duplication, Companionship, or Relationship to Other Legislation:

None.

Performance and Administrative Implications:

Enabling the HDRB to grant exceptions will result in a reduced caseload on Governing Body agendas and would mean that only appeals to exception approvals or denials would require Governing Body review. This will be a time-saving measure both for the Governing Body and staff. The bill would also remove the requirement for City staff to sign applications and report application approvals and denials to the HDRB at

its next regular meeting.

Fiscal Implications:

None.

Fiscal Impact

Check here if no fiscal impact

Expenditures

Expenditure Type	FYE __	FYE __	FYE __	Require BAR (Y/N)	Recurring (R) or Non-recurring (NR)	Fund	3-Year Total Cost
<u>Personnel and Benefits*</u>	\$ _____	\$ _____	\$ _____	_____	_____	_____	
<u>Capital Outlay</u>	\$ _____	\$ _____	\$ _____	_____	_____	_____	
<u>Contractual/</u>	\$ _____	\$ _____	\$ _____		_____	_____	
<u>Professional Services</u>							
<u>Operating</u>	\$ _____	\$ _____	\$ _____		_____	_____	\$ _____
<u>Total:</u>	\$ _____	\$ _____	\$ _____				\$ _____

* This includes all staff time associated with executing the job functions of the proposed legislation.

Expenditure Narrative:

Revenue

Revenue Type	FYE __	FYE __	FYE __	Recurring (R) or Non-recurring (NR)	Fund
General Fund	\$ _____	\$ _____	\$ _____	_____	_____
Special Revenue	\$ _____	\$ _____	\$ _____	_____	_____
CIP	\$ _____	\$ _____	\$ _____	_____	_____
Enterprise	\$ _____	\$ _____	\$ _____	_____	_____
Internal Service	\$ _____	\$ _____	\$ _____	_____	_____
Trust and Agency	\$ _____	\$ _____	\$ _____	_____	_____
Federal	\$ _____	\$ _____	\$ _____	_____	_____
Other	\$ _____	\$ _____	\$ _____	_____	_____
Total	\$ _____	\$ _____	\$ _____		

Revenue Narrative:

Signature:

Email: jmkluck@santafenm.gov

Signature:

Email: rdbrown@santafenm.gov

Signature:

Email: hllamboy@santafenm.gov

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

2023-007314-HDRB. 918-D Acequia Madre. Downtown & Eastside Historic District. Richard Martinez agent for Christopher Richter & Todd Davis, owners, requests a status review and primary façade designations on a contributing property.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan (from HCPI)
- Elevations (from HCPI)
- Photographs (from HCPI)
- Other: Door and Window assessment and Façade Diagram

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. Staff recommends the East and Eastern portion of the South elevation be designated as primary excluding non-historic windows and doors as described in the attached Historic Assessment NO. 918MAS-HA .

BACKGROUND & SUMMARY:

The residence at 918-D Acequia Madre is a single-family residence listed as contributing to the Downtown and Eastside. The pink adobe house sits on a little bluff overlooking a lane leading to a mix of old and new homes. Constructed likely in the late 1930s, it is situated near the end of the private dirt lane, approximately 470' south of Acequia Madre. There is no public visibility of the house from the road. It is arranged on a north-south axis, with its main façade facing east. In form, it is a flat-roofed rectangle with several trailing extensions. Based on aerial

photographs, it took its current footprint by at least 1957. The building is approximately 1,348 square feet and has a modest Pueblo Revival style.

In historic records the house has had two addresses – 411 Camino del Monte Sol and 918 Acequia Madre. The property has changed hands over time. An addition was added between 1948 and 1958; the original form of the house was rectangular. Both sections of the house have gained historic merit in their own right.

Now, the applicant requests the following:

- 1) Status Review
- 2) Primary Façade Designations.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe

effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and


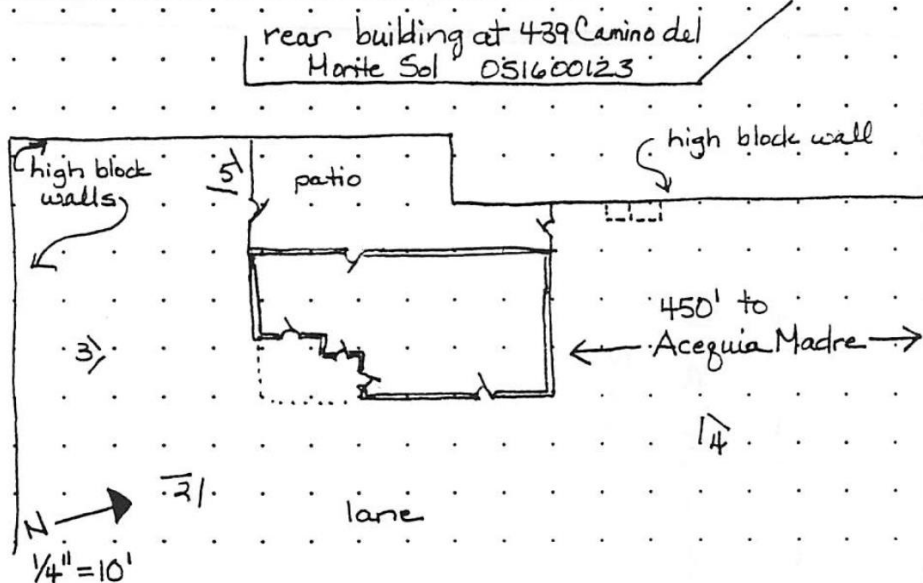
(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
 - (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
 - (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
 - (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
 - (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
 - (f) Flat roofs shall have not more than thirty (30) inches overhang.
-
- (i) Porches and portales are encouraged;
 - (j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

ADDRESS: <u>918D Acequia Madre</u>		ID NUMBER: <u>051600274</u>	
		BUILDING NAME:	
IDENTIFICATION	UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u>	LEGAL DESCRIPTION: TNSP <u>17</u> N R RANGE <u>10</u> E R SEC <u>30</u> NW 1/4 <u>SE</u> 1/4	
	FIELD MAP <u>Santa Fe Historic Structures Survey No. 2, 1983-85</u>		
	DATE OF CONSTRUCTION: <u>1900</u> ESTIMATE <u>1930</u> ACTUAL <i>Trudy Lawler</i>		
	SOURCE(S) <i>Eleanor Bove Ortiz</i> <i>Cennie Ortiz Gonzales</i>		
ARCHITECTURAL STYLE: <u>Spanish Pueblo Vernacular</u>	PHOTO	#2 east elevation	
USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____	BUILDING DATA	SURROUNDINGS: <u>residential</u>	
RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S) _____			
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR	SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/> ELIGIBLE <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
EXPLAIN:		LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input checked="" type="checkbox"/> ELIGIBLE	
OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED		LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		

ARCHITECTURAL AND LANDSCAPE FEATURES	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
	BUILDING WALLS	stucco	
	FOUNDATIONS	concrete visible, east	
	DOORS	wood panel with upper lights, french - all have wood screens; wood carved with	screens sagging
	WINDOWS	6-light casement; 4-light casement; trios of 8-light casement; 3/1 D.H.W.; large single	light, north; windows recessed in wood frames
	PORTALES	metal over wood 1x4s	gutter along roof, east & west
	CANALES		
	PORCHES		
	BALCONIES	flat with battered parapet overhang along west and above door, east	patching evident on roof
	ROOFS		
	COURTYARDS		
	FENCES/WALLS		
	ARCH. DETAILS	tile chimney, some visible viga ends	metal flue
OTHER			
COMMENTS	House retains many original details. Overall good condition.		

ADDITIONAL PHOTOGRAPHS



#3 south elevation



#5 west elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION

ADDRESS

918D Acequia Madre

ID NUMBER

051600274

SURVEYED/RESEARCHED

DATE 5/5/92 BY DB



#4 north elevation

IDENTIFICATION	ADDRESS 918D Acequia Madre	ID NUMBER 051600374
		SURVEYED/RESEARCHED DATE 5/5/92 BY DB

Interview with owner, Trudy Lawler, May 1992, by DB
Lawler says abstracts show ownership changing from Garcia to Juan Lucero in 1887, to Jose Garcia in 1902 (now includes land and "real estate"), and to Seferino Vigil in 1912.

This is the largest of four houses along the lane which are owned by the Lawlers (918A, B, C, D). It is about 1300 sf, 2 bedrooms. When the Lawlers bought it, it had no bathroom or running water. No building additions were made, but the house was renovated internally to add a bath, hall, and closet. Plumbing and heating were added. This was done in 1968.


This house does not appear to have been surveyed before and does not appear on previous maps.

Interview with Eleanor Bove Ortiz and Connie Ortiz Gonzales, July 1992, by Corinne Sze. Their great-grandparents, Seferino and Margarita Vigil, owned this property and land north to Acequia Madre. House was built by/for Magdalena Sena, probably before 1930s. House was "humbler" but Ortiz and Gonzales don't know of major alterations.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form August 11, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Magdalena Sena-Ortiz House	2. Location: 918 D Acequia Madre (Unit D) Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-135 4. County: Santa Fe Parcel # 11309952
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: July 25, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: May 5, 1992 <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.677393,-105.9246511		
10. Photo Information; John W. Murphey, photographer.		Photo 1: South elevation, facing northwest.
11. Brief Description of the Property: The pink adobe house sits on a little bluff overlooking a lane leading to a mix of old and new homes. Constructed likely in the late 1930s, it is situated near the end of the private dirt lane, approximately 470' south of Acequia Madre. There is no public visibility of the house from the road. It is arranged on a north-south axis, with its main façade facing east. In form, it is a flat-roofed rectangle with several trailing extensions. Based on aerial photographs, it took its current footprint by at least 1957. The building is approximately 1,348 square feet and has a modest Pueblo Revival style. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: Before c.1936-37 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: City directories and census enumerations		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com

For: Current owner:

18. Owner (if known) and other knowledgeable people:

Current owner: Christopher Richter and Todd Davis

N/A

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing No Status
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																									
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: contrapared Materials: <input checked="" type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																					
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Sash</td><td>Wood</td><td>1/1</td><td>1</td></tr> <tr><td>Sash</td><td>Wood</td><td>3/1</td><td>1</td></tr> <tr><td>Sash, Barn</td><td>Wood</td><td>4</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>6</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>8</td><td>6</td></tr> <tr><td>Fixed</td><td>Wood</td><td>1</td><td>1</td></tr> <tr><td>Fixed [?]</td><td>Wood</td><td>1-1</td><td>1</td></tr> </tbody> </table>				Operation	Material	Glazing	Number	Sash	Wood	1/1	1	Sash	Wood	3/1	1	Sash, Barn	Wood	4	1	Casement	Wood	6	1	Casement	Wood	8	6	Fixed	Wood	1	1	Fixed [?]	Wood	1-1	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>1/4 Light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>1/2 Light</td><td>Wood</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>Decorative</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>15 Light</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	1/4 Light	Wood	1	Single-Leaf	1/2 Light	Wood	2	Single-Leaf	Decorative	Wood	1	Single-Leaf	15 Light	Wood	1
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12. Chimneys <input checked="" type="checkbox"/> N/A				13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																					
14. Other Significant Features N/A																																																									
15. Modifications: <input type="checkbox"/> No known modifications #1 Date: Unknown; change of north window; material and visual evidence.																																																									

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

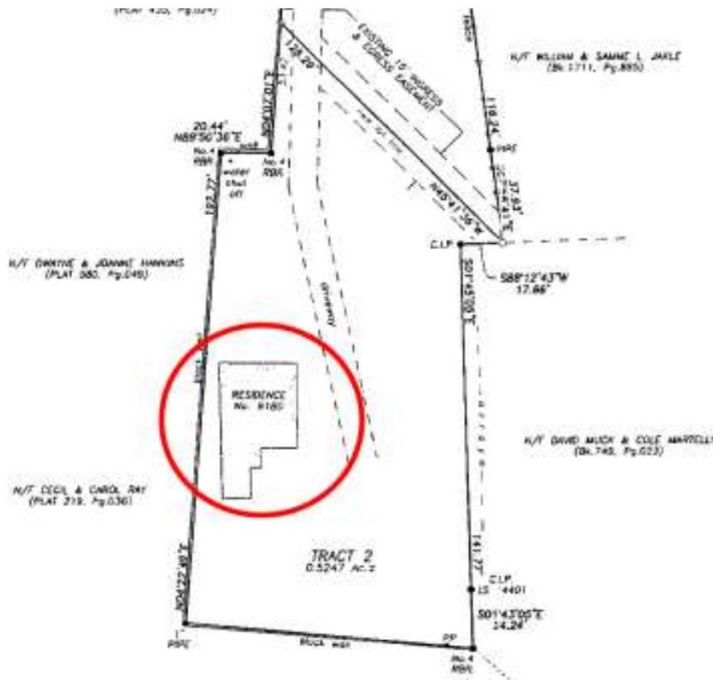
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
--	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of lot line adjustment survey, 2013. Courtesy All Terrain Surveying Co.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____	___NRHP ___SRCP Criteria __A__B__C__D
1. Name of property: Magdalena Sena-Ortiz House	2. Location: 918 D Acequia Madre (Unit D) Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-135 4. County: Santa Fe 5. Date of Survey: July 25, 2023

Architectural Description Continued

East

The strongest elevation is the east side, facing a mature apricot tree (Photos 3 & 4). This elevation is distinguished by its play of volumes, lending interest to an otherwise vernacular structure.

The largest piece of the composition is a roughly 34' long wall creating the north end (Photo 4). This may be the oldest portion of the house. The wall is divided into two window openings and an entry. The openings hold older-looking grouped wood casements (Photo 5). The windows have narrow muntins holding single-pane glass. They are set deep in the adobe wall and highlighted with bullnose reveals. The front door looks handmade with its folkloric pattern of vertical elements (Photo 6). A shallow wood overhang carrying a gutter sits above it and creates a shadow. Visible on the ground is a raised concrete berm, or *contra cimiento*, supporting the walls. This section is made of double adobe.

Attached to this block at the south are two smaller volumes set back from the main wall plane (Photo 3). These cubic spaces each have a wood panel door topped with glass (Photo 7). Their wall material is unknown but they were in place by 1958 (Fig. 5).

South

The south elevation represents the additions mentioned above (Photos 8-10). Starting at the east, there is a modern nine-light wood window looking into the kitchen, followed by a newer glass door opening to the same space (Photo 9). This elevation edges a small concrete patio. The two additions each have an opening fitted with a single-light, wood sash window. Differing from the windows in the main block, they are set near the edge of the wall and are framed with simple casings (Photo 10).

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North

Blending in with a meadow, the north elevation has the least articulation (Photo 11). Based on a subtle pitch at the roofline, it likely represents an extension of the original block. The flat façade contains two openings, with the left holding a paired 3/1 wood

sash, and a fixed glass window on the right which does not meet code (Photo 12). This window, like the other assumed additions, is set close to the wall plane. The right or west side has a section of contra cimientto, also suggesting that it is of a different origin. The right or west side has a section of contra cimientto, also suggesting that it is of a different origin.

West

Arranged close to a tall block wall, the west elevation has the feeling of an alley (Photo 13). The various additions to the house are apparent when looking across the elevation as there are at least four roof heights and a mix of window types. The section at the north has two openings containing 1/1 and 3/1 sash windows (Photo 14). The bottom of the wall terminates with a line of contra cimientto rising a few inches above grade. This section ends with an opening containing a ¾ light wood door.

Beyond the door to the south begins another section sitting on a taller concrete berm and set back a few inches. This section has a 3/1 sash unit and a sliding window, both made of wood (Photo 13). Different pieces of wood overhang follow the roofline, carrying a metal gutter that drains at each end.

Based on the 1992 survey, the adjacent side yard was floored with flagstone.

Interior

Interior

The interior, made of six compact rooms, reveals typical vernacular construction. The rooms have a mix of viga-and-board and plastered ceilings. The plastered walls are painted white with the occasional carved-out *nicho*. The living room has non-historic

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red-orange brick flooring, which continues into the kitchen. Other rooms have a variety of wood floors. Older five-panel wood doors are found throughout.

Historical Overview

Wrong Name, Wrong Address

Sometimes it starts with a wrong name, sometimes a wrong address.

On May 5, 1992, Deborah Wonn Butcher, a City of Santa Fe planner, made a site visit to the subject property. On what appears to have been an overcast day (the forecast called for showers), Butcher dutifully recorded each side of the building, which at that time was owned by Trudy Lawler, a local realtor.

At the back of the survey form, handwritten in ink, Butcher made notes of her interview (presumably at the site) with Lawler.

The notes help lay out the basic history of the parcel. Commenting on abstracts in Lawler’s possession, Butcher wrote that the property changed ownership from “Garcia to Juan Lucero in 1887, to Jose Garcia in 1902 (now includes land and ‘real estate’) and to Sefarino [sic.] Vigil in 1912.”¹

Trudy Lawler died in 2011, and it is unclear where the abstracts ended up. The County of Santa Fe claims to have no background on the property. While the 1912 “King’s” map cuts off just east of Camino del Monte Sol, the name “Seferino Vigil” is attached to the subject property, which was much larger at the time (Fig.1).

At the bottom of the notes, written in smaller handwriting to fit on the page, Butcher referenced an interview conducted in July 1992 by Corinne Sze with Eleanor Bove Ortiz and Connie Ortiz Gonzales. There is no indication of how these women are related to

¹Deborah Butcher, “918 D Acequia Madre,” New Mexico Historic Building Inventory form (May 5, 1992), no page.

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each other or the property, but Butcher wrote that the subject house was “built by/for Magdalena Sena, probably before the 1930s.”²

Both Eleanor Bove Ortiz and Consuelo “Connie” O. Gonzales have passed. And so has Magdalena Sena. But who was Magdalena Sena?

The name, at the time, was common. With its origin in the Bible, Magdalena — referencing Mary Magdalene — was given to many young women born into Catholic families. Searching through census enumerations for the 1930s, numerous Magdalena (or Mary) Senas surfaced. They live in Santa Fe; they live in Agua Fria; they live on farms nearby. But not one is listed as living off Acequia Madre.

Butcher failed to note — or didn’t know — that the Magdalena associated with this property had been married and taken on the name Ortiz. And that the house itself started with a completely different address.

The Shepherd’s Wife

Magdalena Sena was born in Santa Fe in 1897. The 1910 census finds the 13-year-old girl living with her parents on “De Vargas,” presumably DeVargas Street, in the old Barrio Analco neighborhood south of the river.³ Her father, Ramon, 45, was a laborer, “working out,” meaning he was employed on a farm. FN Her mother, Maria, 40, kept house. Magdalena was the third youngest of eight children, ages 9 to 26. Magdalena, her father, and three siblings could speak English; the rest communicated in Spanish. The entire household could read and write.

Six years later, Magdalena was married. She married Pablo Ortiz, a local boy three years her senior.⁴ Pablo, whose father’s name was also Ramon, had grown up in the Upper Canyon, a farming tract straddling the Santa Fe River between today’s Upper Canyon and Cerro Gordo roads.⁵ His father farmed and likely raised sheep, as was common in the time and vicinity. Pablo himself is later identified as a shepherd.

² Ibid.

³ U.S. Census Bureau, Year: 1910, Census Place, Santa Fe Ward 1, Santa Fe, New Mexico; Roll: T624_918; Page: 5b; Enumeration District: 0223; FHL microfilm: 1374931.

⁴ “Local Items,” *Santa Fe New Mexican*, June 10, 1916, 8.

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According to the 1920 census, they rented a home at 530 Buena Vista Avenue.⁶ The household then included Pablo, 26, Magdalena, 23, and two children: Eusevio (a name of Greek origin meaning devout or pious), 1½, and Andre, five months. FN They would lose an infant daughter, Socorra, two years later.

The young family disappeared from public records in the early 1930s. They don't appear in the 1930 federal census or city directories. This could be for a number of reasons. Some young men were employed in New Deal work-relief programs, which moved them to remote regions. Others worked at lumber mills, mines, or farms outside the area.
Two Addresses One House

The family reappears in the late 1930s living in a house on Camino del Monte Sol, one of the most significant Eastside roads at the time. The road was formerly called Telephone, indicating that it hosted the telephone line between the town and Sunmount Sanatorium. It also worked as a primary north-south spine from which little lanes trailed off, connecting to acequia-irrigated tracts.

City directories continued to show the family residing at 411 Camino del Monte Sol through the mid-1940s. Pablo is indicated to be the owner of the land adjacent to Antonio Ortiz, who also owns his land.⁷ Then the couple disappears again.

As happened in the Great Depression, disappearances from city directories could result from people taking on military service or work outside of New Mexico. Like many communities across the country, the Santa Fe area experienced significant disruptions during World War II. Mobilization and the draft removed nearly 10% of its male population, as hundreds of young men were shipped off to serve overseas. Some would never return. War work on West Coast led to a diaspora for the local Hispanic population as many established new home hearths.

⁵ U.S. Census Bureau, Year: 1900, Census Place, Upper Santa Fe, Santa Fe, New Mexico; Roll: 1002; Page: 4; Enumeration District: 0119.

⁶ U.S. Census Bureau, Year: 1920, Census Place, Santa Fe, Santa Fe, New Mexico; Roll: T625_1080; Page: 15B; Enumeration District: 127.

⁷ Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1938 (El Paso: Hudspeth Directory Company, 1938), 167. The 411 Camino del Monte Sol address does not appear in 1936 directory; 1937 directory is missing.

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Whatever may be the case, Pablo’s name fades from public records, with Magdalena now identified as a widow.⁸

While missing in the 1950 census, other sources show that Magdalena continued to live at 411 Camino del Monte Sol and is indicated to be the home’s owner. Now in her 50s, Magdalena reentered the work world as kitchen help at Jan’s, a café on West Marcy Street. In 1954, she and her son Eusevio hired local surveyor James C. Harvey to record the family property.⁹

In 1958, Magdalena placed an ad in the *Santa Fe New Mexican* to sell her home. First appearing in April and running on and off for several years, it read: “6-room adobe home – 411 Camino del Monte Sol. Magdalena S. Ortiz. Dial 3-5726.”¹⁰

The 14-word advertisement is significant, as it is the first piece of information to connect Sena to the house discussed between Corinne Sze, Connie Ortiz Gonzales, and Eleanor Bove Ortiz 34 years later.

It becomes clearer the following year when the same ad, with slightly different wording, offers the same house using a different address: 918 Acequia Madre.¹¹ At this point, 411 Camino del Monte Sol vanishes from public records.

Sena continued to run the ad, now specifying its two-acre site, until July 1962. This acreage aligns with a City of Santa Fe parcel of the late 1950s associating it with the subject house (Fig. 2). After this, Magdalena Ortiz Sena vanishes.

Subsequent news accounts of police reports indicate trouble at 918 Acequia Madre in the following years. Young men with the Ortiz surname are arrested for theft and even implicated in manslaughter.

⁸ Ibid., (1953), 280.

⁹ James C. Harvey, “Tracts of Land Surveyed for Magdalena Sena de Ortiz and Eusevio Ortiz,” November 9, 1954. The Santa Fe Clerk’s Office stated they did not have a copy of the survey; the City of Santa Plat Department did not respond to multiple email requests requesting a copy of the plat.

¹⁰ “Houses for Sale,” *Santa Fe New Mexican*, April 29, 1958, 13.

¹¹ “Real Estate,” *Santa Fe New Mexican*, June 13, 1959, 13.

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The Realtor

On that May afternoon in 1992, Deborah Butcher made notes on the house’s condition when Trudy Lawler bought it. The year of purchase was not identified. Lawler said it was rough in condition with no running water or a toilet.¹²

Lawler, born Gertrude Ann Edelhuber, had grown up in Arkansas, where she met her future husband, Joseph Lawler II, an attorney. They moved to Santa Fe in 1945. In the 1960s, she got into real estate, working for the Roadrunner Agency — a realty company run by women. It was during this period, as Butcher notes, that the Lawlers worked on Sena’s former home.

They renovated it internally, adding plumbing, a bath, a hall, and a closet.

No additions were made, according to Lawler. This is borne out through a review of aerial photographs (Figs. 5 & 6.

It is unclear how the Lawlers used the Sena-Ortiz home, but a “D” was added to the 918 Acequia Madre address in 1988. From that point on, it became a rental.

Outliving her husband, Gertrude “Trudy” Lawler died on February 3, 2011, at 90. After her death, the house, and the rest of the property which held other little houses clumping along a lane off Acequia Madre, went out of the Lawler’s ownership, becoming separate properties.

¹² Butcher, “918 D Acequia Madre,” no page.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i> HCPI No. _____ District No. _____ <input type="checkbox"/> NRHP <input type="checkbox"/> SRCP Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D		
1. Name of property: Magdalena Sena-Ortiz House	2. Location: 918 D Acequia Madre (Unit D) Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-135 4. County: Santa Fe 5. Date of Survey: July 25, 2023

Evaluation of Historical Status

Likely erected in the late 1930s, the house has experienced no significant exterior alterations after 1958, as evidenced by aerial photographs. The composite east elevation has the most character and architectural interest. The recommendation is to maintain Contributing status and designate the east elevation – or portions of it – as the primary façade.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe
		5. Date of Survey: July 25, 2023

Illustrations

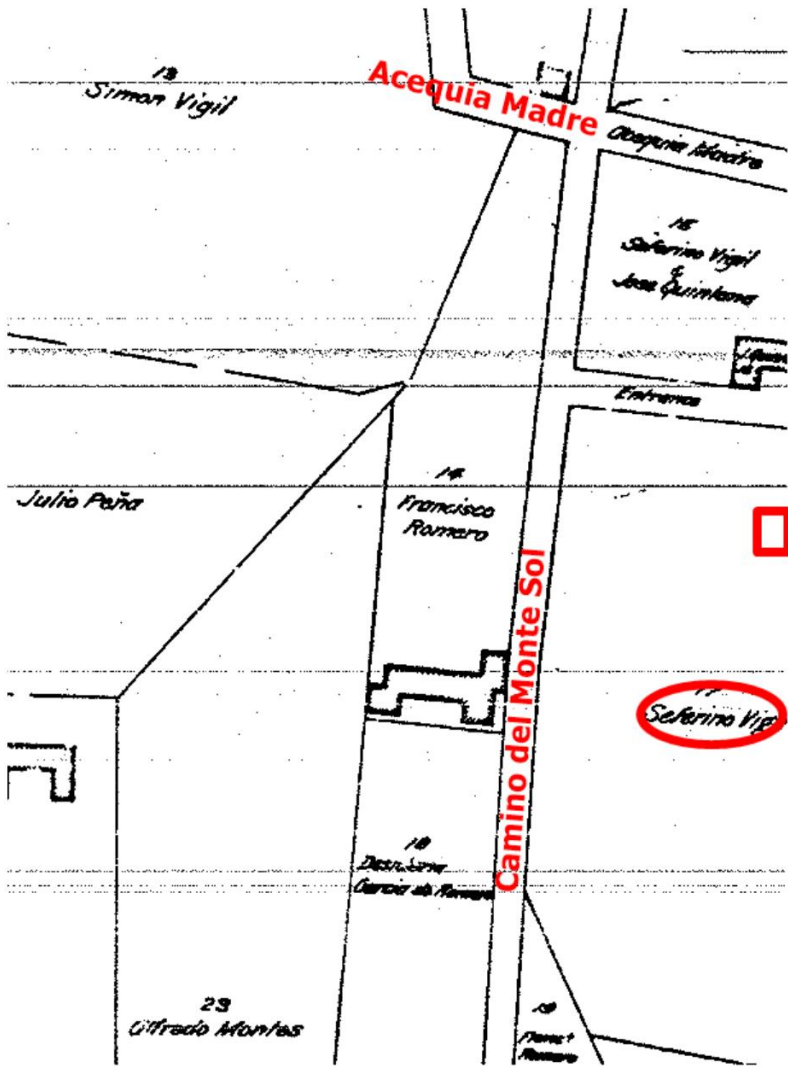


Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.
 Box indicates proximate location of future subject house.

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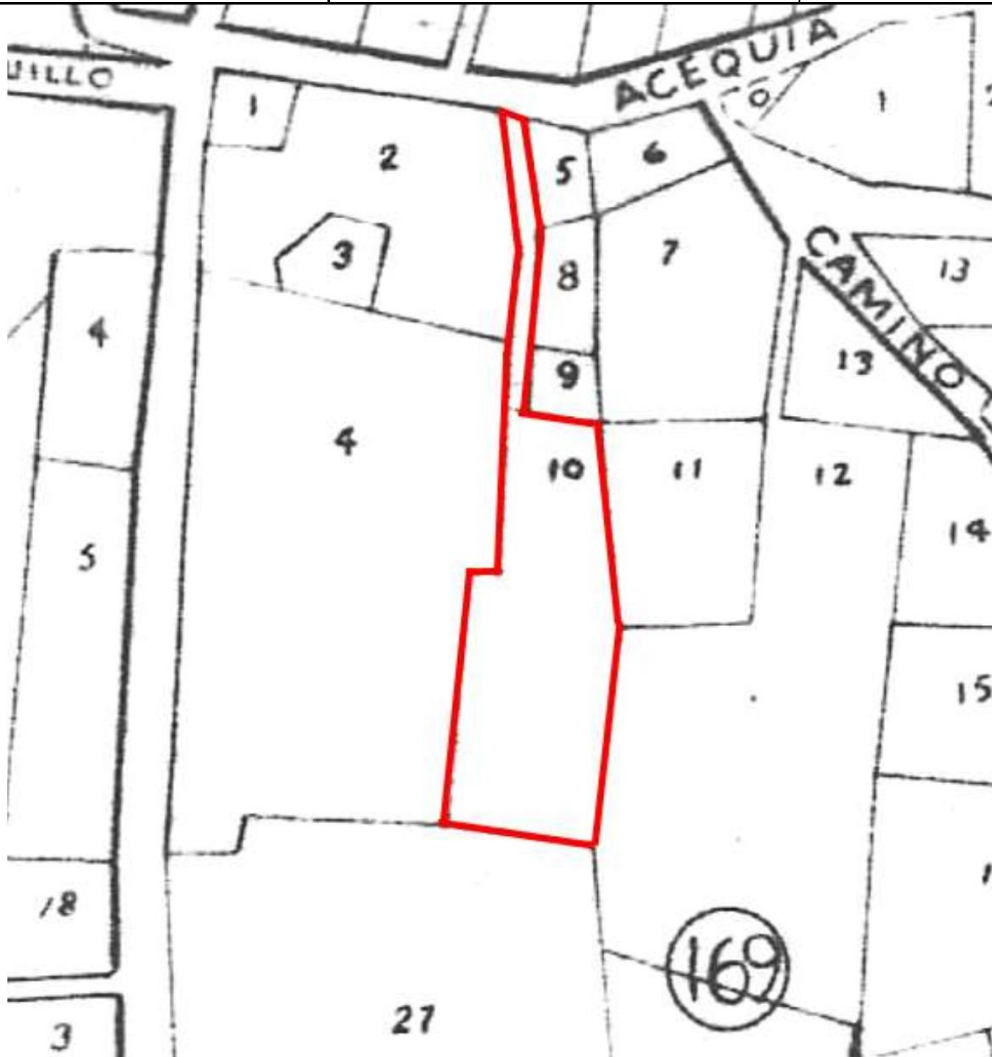


Figure 2: Scanlon-Erwin & Associates, "Block and Parcel Map of Santa Fe," 1957. The assumption is that Lot 10 represents the land James C. Harvey surveyed in 1954.

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Figure 3: c.1936-37, aerial photograph. United States Soil Conservation Service, Sheet # 1009. Circled area may be subject house.



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Figure 4: October 25, 1948, aerial photograph.
 Note house footprint only appears to be square at the time.



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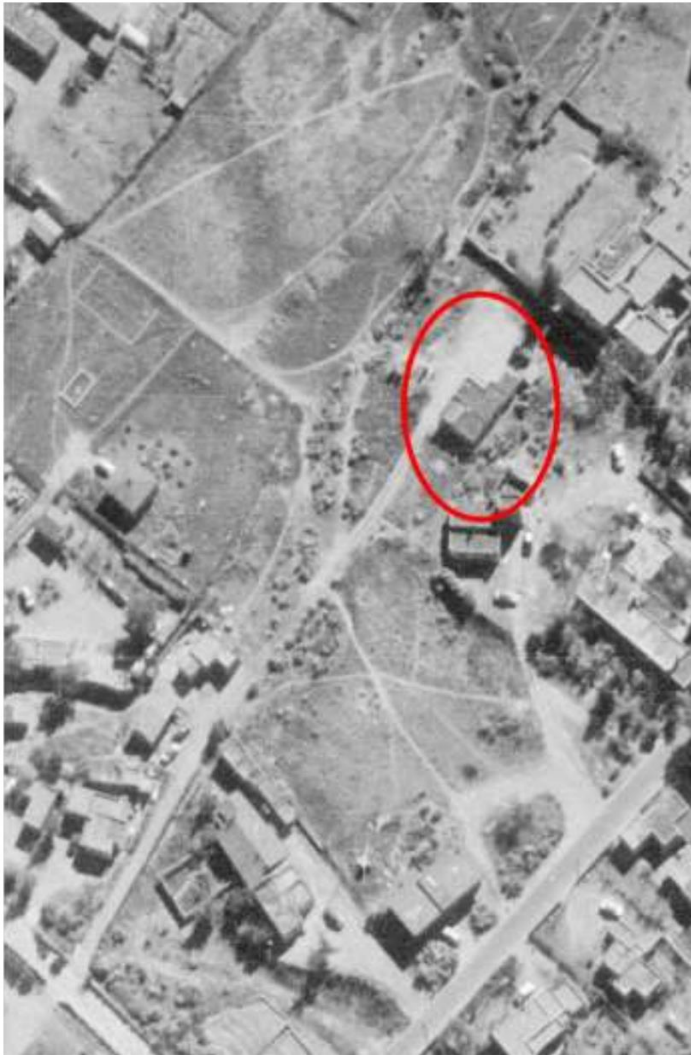


Figure 5: November 10, 1958, aerial photograph. House and context.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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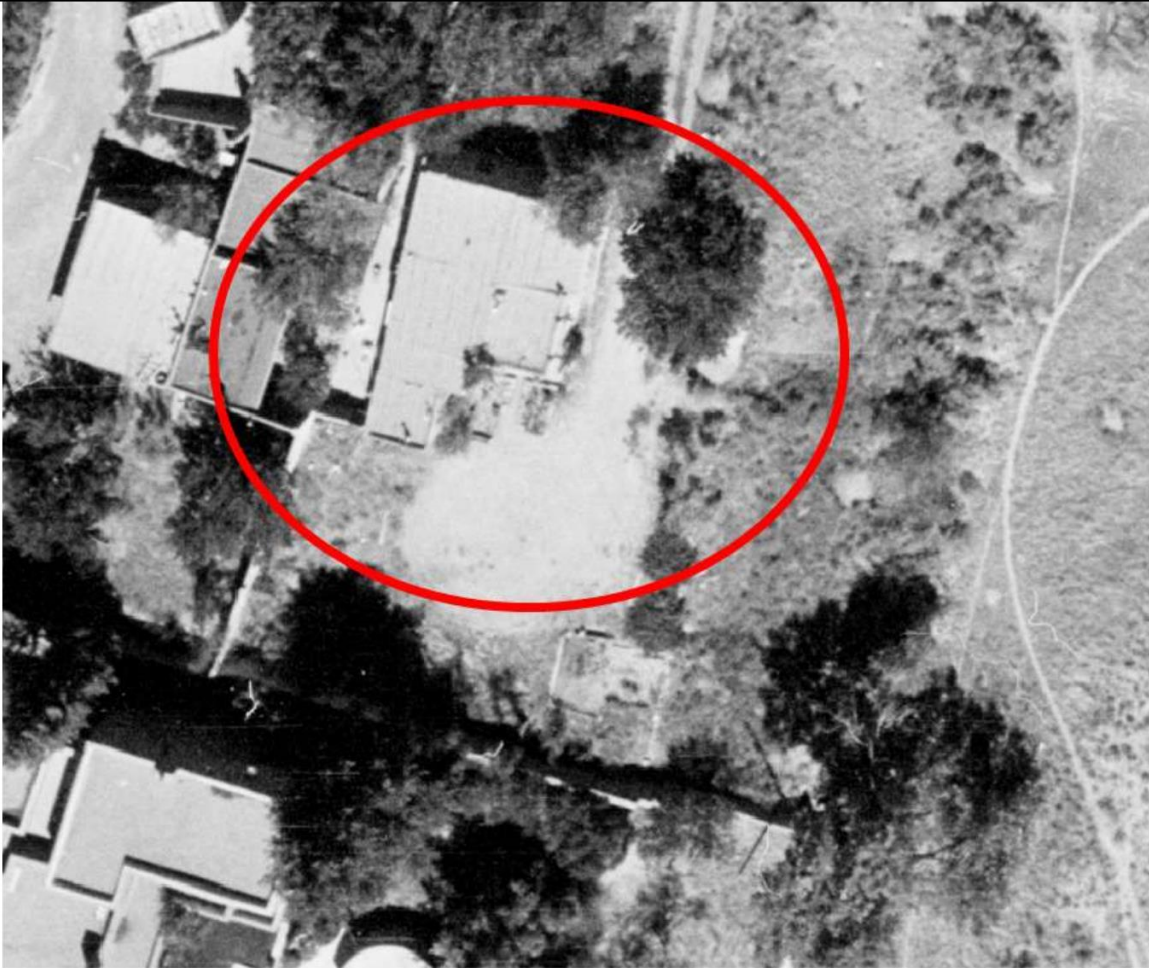


Figure 6: September 11, 1978, aerial photograph.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Survey Photographs

(All images taken by John Murphey, July 25, 2023)



Photo 2: Setting. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 3: East elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 4: East elevation, assumed core block. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 5: East elevation, assumed core block, casement windows. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 6: East elevation, assumed core block, entry door. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Photo 7: East elevation, assumed addition, door. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 8: South elevation, assumed additions at left. Camera facing northwest.

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Photo 9: South elevation, assumed core block. Camera facing north.

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Photo 10: South elevation, assumed addition. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 11: North elevation. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 12: North elevation, assumed addition, window. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 13: North elevation. Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 14: West elevation, typical window with screen. Camera facing east.



**CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION**

1. Applicant Information (to be completed by the Applicant)

Date: 07/24/2023 Location of Project: 918D Acequia Madre
Applicant Name: Martinez Architecture Studio PC
Phone: 505-989-4958 Email: studio@martinezarch.com
Property Owner Name: Chris Richter and Todd Davis
Phone: 505-989-4958 Email: studio@martinezarch.com
Proposed Work: Status Review

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____
Date Assigned: _____ PAR No.: _____
Date of Site Visit: _____ Time: _____
Historic District: _____
Historic Status: _____
Primary Elevations: _____
Previous HDRB and Admin Cases: _____

	Yes	No
Archaeological compliance required?	<input type="checkbox"/>	<input type="checkbox"/>

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santafenm.gov/historic_preservation.

Application Submittal Date: 8/14/2023

Desired Hearing Date: 9/12/2023

Project Type:

Status

New Construction

Sq. Ft. of project: _____

Primary Elevation Designation

Remodel

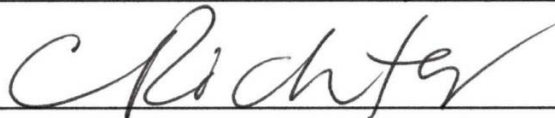
Sq. Ft. of project: _____

Construction Cost: N/A

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Chris Richter

Signature 

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

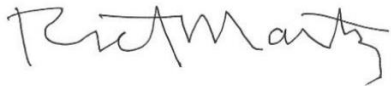
TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

STATUS REVIEW – Richter-Davis House
918D Acequia Madre
August 14, 2023
Downtown/Eastside Historic District, Contributing status

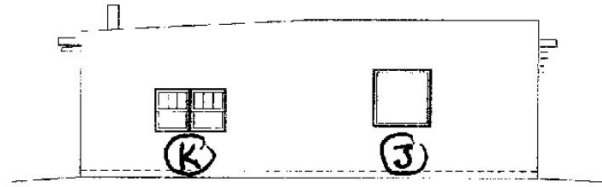
EXISTING CONDITIONS:

On behalf of the property owners, Christopher Richter and Todd Davis, the attached application requests a review of the status designation and the selection of primary facades of the above referenced property. See attached Historic Report and Window Assessment.

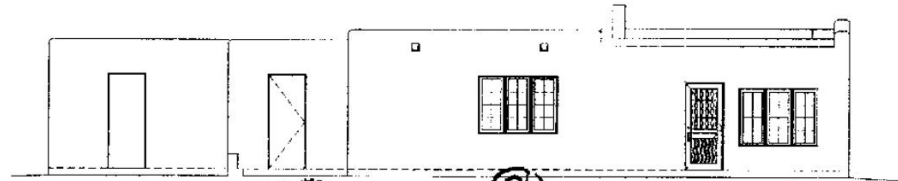
Sincerely,



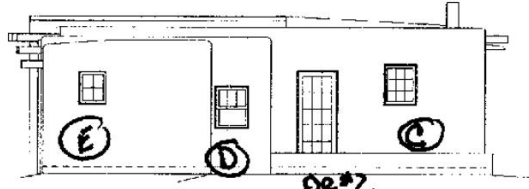
Richard Martinez
Martinez Architecture Studio PC



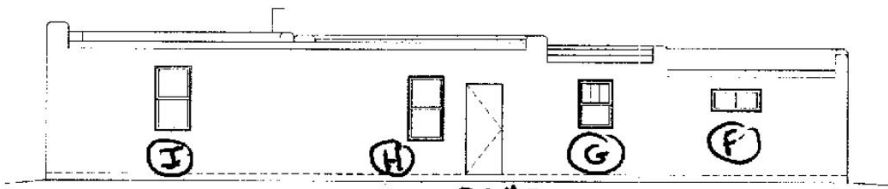
EXISTING NORTH ELEVATION
A-30 / SCALE 1/4" = 1'-0"



EXISTING EAST ELEVATION
A-30 / SCALE 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
A-30 / SCALE 1/4" = 1'-0"



EXISTING WEST ELEVATION
A-30 / SCALE 1/4" = 1'-0"

LEGEND
EXTERIOR ELEVATIONS

EXISTING

NEW

GRAPHIC SCALE 1/4" = 1'-0"

MARTINEZ
ARCHITECTURE
STUDIO PC
1824 PASCO DE PERA - I.A. SANTA FE
3008 8th - 4053 - 4008 @ MARTINEZ.AR

RICHTER RENOVATION
9180 ACEQUIA MADRE
SANTA FE, NM

APRIL 3, 2005

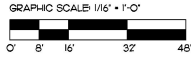
EXISTING &
PROPOSED
EXTERIOR
ELEVATIONS

A
3.0

SET #
RCHTR - 2301



1 EXISTING SITE PLAN
A-10 / SCALE 1/16\"/>



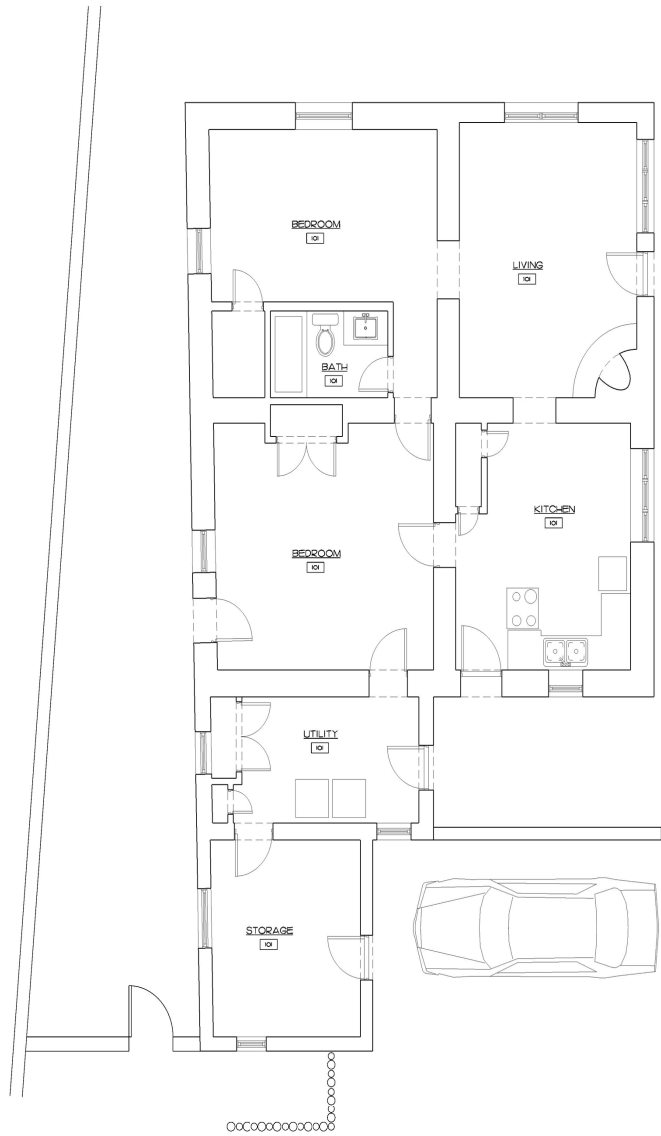
MARTINEZ
ARCHITECTURE
STUDIO PC
1524 PASEO DE PERALTA, SANTA FE
505.989.4958 studio@martinezrich.com

RICHTER-DAVIS HOUSE
918D ACEQUIA MADRE
SANTA FE, NM

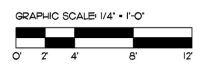
AUGUST
14, 2023

EXISTING
SITE PLAN

A
1
O
SET
RICHTER-DAVIS
- 2304



1 EXISTING FLOOR PLAN
 A-20 SCALE: 1/4" = 1'-0" NORTH



MARTINEZ
 ARCHITECTURE
 STUDIO PC
 1524 PASEO DE PERALTA, SANTA FE
 805-989-4958 studio@martzinezbich.com

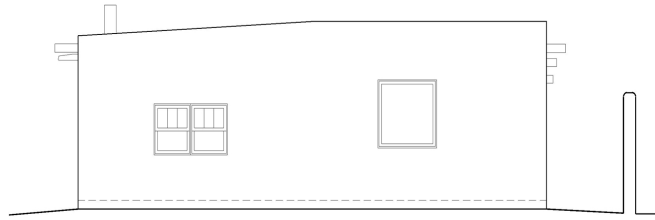
RICHTER-DAVIS HOUSE
 918D ACEQUIA MADRE
 SANTA FE, NM

AUGUST
 14, 2023

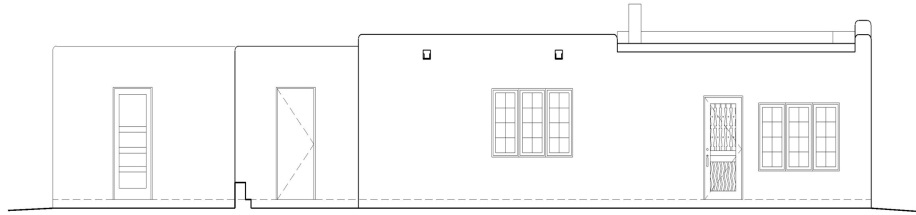
EXISTING
 FLOOR
 PLAN

A
 2.
 0
 SET
 RICHTER-DAVIS
 - 2301

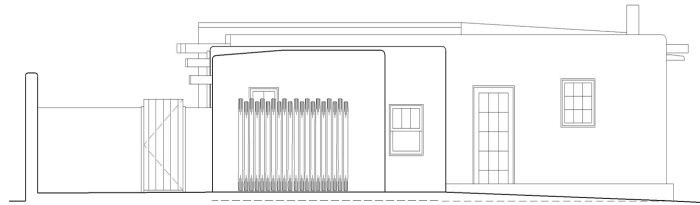
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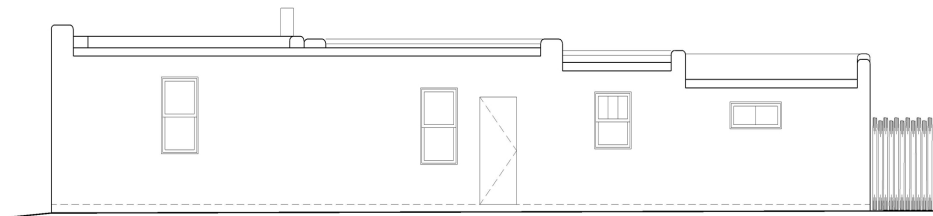
1 EXISTING NORTH ELEVATION
A-30 SCALE 1/4" = 1'-0"



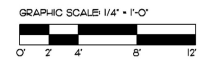
3 EXISTING EAST ELEVATION
A-30 SCALE 1/4" = 1'-0"



1 EXISTING SOUTH ELEVATION
A-31 SCALE 1/4" = 1'-0"



3 EXISTING WEST ELEVATION
A-31 SCALE 1/4" = 1'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC
1524 PASEO DE PERALTA, SANTA FE
505.989.4956 studio@martinezrich.com

RICHTER-DAVIS HOUSE
918D ACEQUIA MADRE
SANTA FE, NM

AUGUST
14, 2023

EXISTING
EXTERIOR
OR
ELEVATIONS

A
3.0

SET

RICHTER-DAVIS
- 2301

Z:\2301 - Richter-Davis Renovation\Current Drawings\2301 - Richter-Davis_230814.dwg, 8/14/2023 10:19:22 AM, AutoCAD PDF (General Documentation).pc3

RPA & Associates

805 E. Irving Ave. NW Los Ranchos de Albuquerque, NM 87114
 P.O. Box 10328 Albuquerque, NM 87108
 Email: rpa@rpa.com
 Phone: 505.790.1000
 1000 Martinez Architecture Studio
 10000 Paseo del Arroyo, NE Albuquerque, NM 87111
 Email: rpa@rpa.com
 Phone: 505.790.1000
 87501



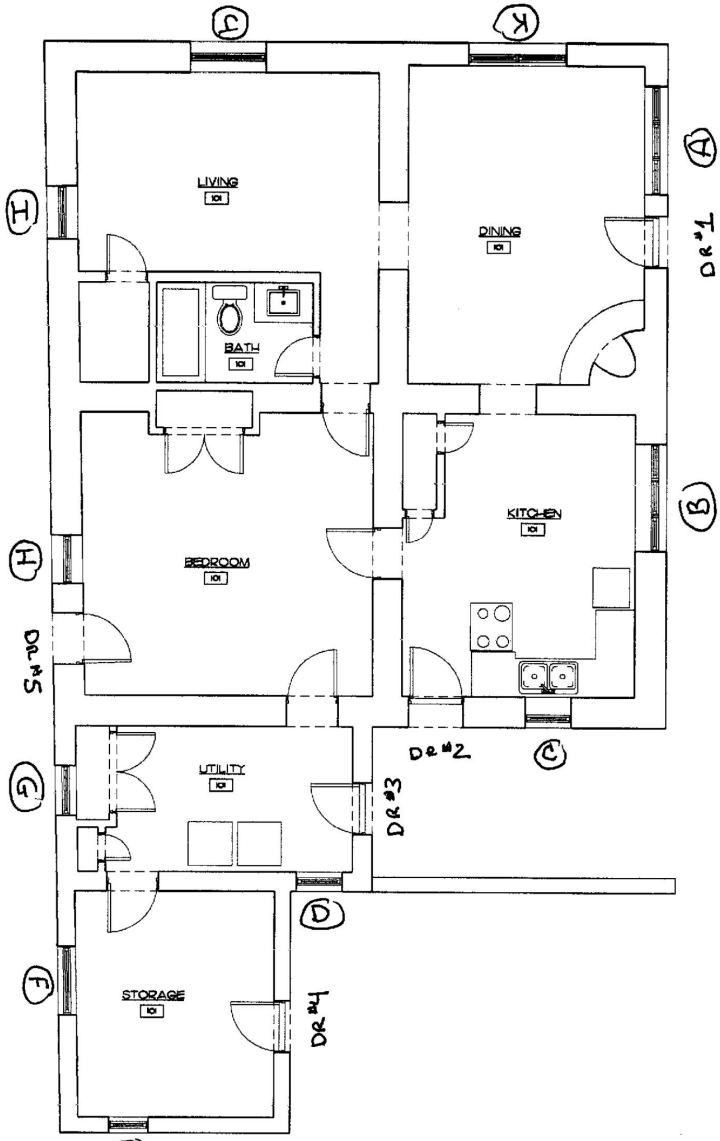
JOB	PAT
918 Acequia Madre Unit D	04-06-2023

LOCATI ON	DESCRIPT ION
A - EAST	64 x 46 LSR INSWING CASEMENT 2W4H
DR#1 - EAST	31 x 78 RH
CUSTOM DOOR	64 x 46 LSR INSWING
P - EAST	64 x 46 LSR INSWING CASEMENT 2W4H
SOUTH	30 x 37 L INSWING
DR#2 - SOUTH	30 x 37 L INSWING CASEMENT 3W3H SIMPSON
DOOR 3W3H	(1990's)
DR#3 - EAST	29 x 78 RH
DOOR 1-LT	4-PANEL
SOUTH	HUNG 25 DOUBLE
DR#4 - EAST	30 x 78 RH
DOOR 1-LT	3-PANEL
SOUTH	67 x 29 INSWING CASEMENT BARN SASH (1990's)
F - WEST	AWNING 2W1H
DR#5 - WEST	28 x 35 DOUBLE
RW HATCH DOOR	HUNG 1-LT 3W1H
WEST	26 x 68
WEST	28 x 35 DOUBLE
J - WEST	HUNG 171
NORTH	28 x 34 DOUBLE
NORTH	HUNG 1-LT 3W1H
NORTH	39 x 42 FIXED
NORTH	29 OPPTD GLASS DOUBLE
NORTH	HUNG 1-LT 3W1H

In closing, my professional opinion is Windows A, B, D, F, G & Door #3 are all historic and restorable, except window D & Door #3. The window (D) and door (#3) mentioned have more than 40% rot. All other items are non-historic.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Ra-N.*
Patterson _____



1 EXISTING FLOOR PLAN
A-20 SCALE 1/4" = 1'-0" NORTH

COD	CONDITION AND INTEGRITY CODES
P = PREMIUM	EXTERIOR FINISHES AND SASH, FRAME, AND CASING MEMBER IN PREMIUM OR VERY GOOD CONDITION. PUTTY GLAZING INTACT. ONLY COSMETIC TOUCH-UP, IF NEEDED.
S = SATISFACTORY	EXTERIOR FINISHES FADING AND WORN IN PLACES BUT STILL ADHERED TO THE WINDOW MEMBERS. PUTTY GLAZING CRACKING BUT INTACT AND ALL SASHES, FRAMES, AND CASING MEMBER WITH LESS THAN 30% - 40% DETERIORATION.
F = FAIR	EXTERIOR FINISHES HAVE CRACKED & PEELED. MISSING TO BARE SURFACE. PUTTY GLAZING CRACKING AND MISSING IN 30% - 40% OF THE SASHES. ALL SASHES, FRAMES, AND CASINGS HAVE SOME MEMBERS 30% - 40% COMPLETELY DETERIORATED.
U = UNSATISFACTORY	EXTERIOR FINISHES HAVE COMPLETELY DETERIORATED. PUTTY GLAZING MOSTLY MISSING. ALL SASHES, FRAMES, AND CASING MEMBERS HAVE MORE THAN 30% - 40% DETERIORATION, BEYOND REPAIR.

NOTE
S:

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Ramón Sarason, Senior Planner, Historic Preservation Division

Case # 2023-007399-HDRB. 1-A Camino Pequeno, Downtown & Eastside Historic District. No status. Courtenay Mathey, agent for Ann & Kevin Cooney, owners request historic status review and designation of primary facades.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan (included in the HCPI)

Elevations (included in the HCPI)

Photographs (included in the HCPI)

Other: Façade diagram

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be designated as Contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Staff further recommends the South and East facades be designated as primary.

BACKGROUND & SUMMARY:

1-A Camino Pequeno is a single-family residence listed as not-resurveyed in the Downtown and Eastside Historic District. Constructed in 1973 as a mother-in-law unit is a stucco-on-frame building. The dwelling is roughly square in footprint and encloses 1,178 square feet: two bedrooms, one bath, a living room, and a kitchen. The recent Santa Fe style home shows a mix of Pueblo and Territorial revival themes with a modern style cantilevered entrance portal to the south and north. Most windows are original to construction date and feature territorial style pedimented treatment.

Now, the applicant requests the following to determine future renovations:

- 1) Status review and designations of primary facades.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair or structural stability of the structure under consideration.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Ramón J. Sarason, Senior Planner
Historic Preservation Staff
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501
(by email; rjsarason@santafenm.gov)

Ann and Kevin Cooney
1A Camino Pequeño
Santa Fe, NM 87501

10 September 2023

Dear Ramón,

Attached please find the HCPI for our home at 1A Camino Pequeño. The report was written by John Murphey, who has completed many other HCPIs for homes on the Historic East Side of Santa Fe and is recommending that the current Non-Contributing status be maintained.

I will be presenting a summary of his report and will answer any questions from the Historic Division Review Board at their meeting on October 24, 2023.

Thank you for your field visit to the house in July and for all the assistance you have given us.

Best regards,




Ann M. Cooney
aamaest@gmail.com
303-324-6948

Attachment: Historic Cultural Properties Inventory (HCPI) for 1A Camino Pequeño, by John Murphey

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)


Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: September 8, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
1. Name of property: Mary Kuziel House - Guesthouse	2. Location: 1 Camino Pequeño A Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: N/A 4. County: Santa Fe Parcel # 910006111
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: July 27, August 1 and 3, 2023		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input checked="" type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.680834, -105.916795		
10. Photo Information: John Murphey, photographer. Photo 1: View front (south) and east elevations, facing northwest.		
11. Brief Description of the Property: Tucked along Camino Pequeño is a stucco-on-frame building constructed in 1973 as a mother-in-law unit. The dwelling, approximating a tract house, is roughly square in footprint and encloses 1,178 square feet: two bedrooms, one bath, a living room, and a kitchen. The home shows a mix of Pueblo and Territorial revival themes. It is without distinction. The property does not have any other structures. <i>Continued on Page 5.</i>		
12. Who uses the property?		
13. Construction Date: Date: 1973 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: drawing and family memory		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)	
	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 John@archhistoryservices.com</p> <p>For current owner: Kevin P. and Ann M. Cooney</p>
<p>Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p>	<p>18. Owner (if known) and other knowledgeable people:</p> <p>Current owner: Kevin P. and Ann M. Cooney</p> <p>Martin Kuziel</p>
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input type="checkbox"/> Contributing <input checked="" type="checkbox"/> Non-contributing <input type="checkbox"/> No Status Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Downtown and Eastside Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																															
6. Visible Construction Material: <table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> Adobe</td> <td><input type="checkbox"/> Brick</td> <td><input type="checkbox"/> Composition</td> <td><input type="checkbox"/> Concrete: Block</td> </tr> <tr> <td><input type="checkbox"/> Concrete: Cast Stone</td> <td><input type="checkbox"/> Concrete: Poured</td> <td><input type="checkbox"/> Earth Plaster</td> <td><input type="checkbox"/> Masonry: Simulated</td> </tr> <tr> <td><input type="checkbox"/> Metal: Corrugated</td> <td><input type="checkbox"/> Metal: Structural Siding</td> <td><input type="checkbox"/> Metal: V-Crimp</td> <td><input type="checkbox"/> Stone: Random Ashlar</td> </tr> <tr> <td><input type="checkbox"/> Stone: Random Coursed</td> <td><input type="checkbox"/> Stone: River Rock</td> <td><input type="checkbox"/> Stone: Rusticated</td> <td><input type="checkbox"/> Stone: Tabular</td> </tr> <tr> <td><input checked="" type="checkbox"/> Stucco:</td> <td><input type="checkbox"/> Tile: Clay</td> <td><input type="checkbox"/> Vinyl Siding</td> <td><input type="checkbox"/> Wood: Board and Batten</td> </tr> <tr> <td><input type="checkbox"/> Wood: Horizontal Siding</td> <td><input type="checkbox"/> Wood: Jacal</td> <td><input type="checkbox"/> Wood: Log</td> <td><input type="checkbox"/> Wood: Shingle</td> </tr> <tr> <td><input type="checkbox"/> Wood: Tongue and Groove</td> <td colspan="3"><input type="checkbox"/> Other:</td> </tr> </table>			<input type="checkbox"/> Adobe	<input type="checkbox"/> Brick	<input type="checkbox"/> Composition	<input type="checkbox"/> Concrete: Block	<input type="checkbox"/> Concrete: Cast Stone	<input type="checkbox"/> Concrete: Poured	<input type="checkbox"/> Earth Plaster	<input type="checkbox"/> Masonry: Simulated	<input type="checkbox"/> Metal: Corrugated	<input type="checkbox"/> Metal: Structural Siding	<input type="checkbox"/> Metal: V-Crimp	<input type="checkbox"/> Stone: Random Ashlar	<input type="checkbox"/> Stone: Random Coursed	<input type="checkbox"/> Stone: River Rock	<input type="checkbox"/> Stone: Rusticated	<input type="checkbox"/> Stone: Tabular	<input checked="" type="checkbox"/> Stucco:	<input type="checkbox"/> Tile: Clay	<input type="checkbox"/> Vinyl Siding	<input type="checkbox"/> Wood: Board and Batten	<input type="checkbox"/> Wood: Horizontal Siding	<input type="checkbox"/> Wood: Jacal	<input type="checkbox"/> Wood: Log	<input type="checkbox"/> Wood: Shingle	<input type="checkbox"/> Wood: Tongue and Groove	<input type="checkbox"/> Other:			7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____
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<input type="checkbox"/> Wood: Tongue and Groove	<input type="checkbox"/> Other:																														
			8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: CMU Notes																												
			9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Gravel																												
10. Window Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Double-Hung</td> <td>Wood</td> <td>1/1*</td> <td>9</td> </tr> <tr> <td>Single-Hung</td> <td>Vinyl</td> <td>1/1*</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Vinyl/Metal</td> <td>1*</td> <td>4</td> </tr> </tbody> </table> <p style="font-size: x-small;">* include affixed grids of different light patterns</p>		Operation	Material	Glazing	Number	Double-Hung	Wood	1/1*	9	Single-Hung	Vinyl	1/1*	1	Casement	Vinyl/Metal	1*	4	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>French</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Panel	Wood	1	Double	French	Wood	1
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Double	French	Wood	1																												
12. Chimneys <input checked="" type="checkbox"/> one, stucco-clad at east wall		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap Unsupported canopy, 2																													
14. Other Significant Features N/A																															
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications #1 Date: Post-1973; replacement of several windows and back doors; visual and material evidence																															

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Ranch – combination Pueblo/Territorial

17. Documents Available and Their Locations

Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605
<https://www.santafenm.gov/land-use/historic-preservation>

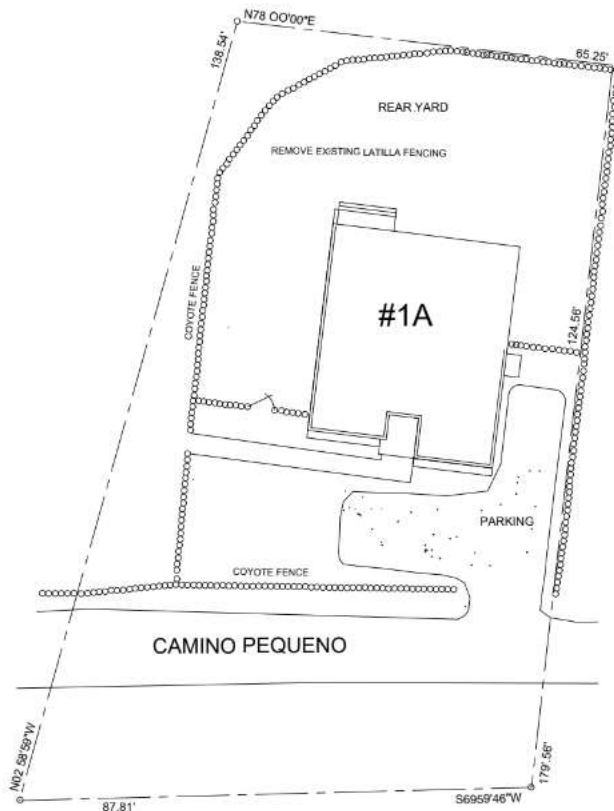
Archaeological Records Management Section
Laboratory of Anthropology
708 Camino Lejo
Santa Fe, NM 87501
(505) 476-1320
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No.

19. Site Plan: Current site plan.



SANTA FE RIVER

 **EXISTING SITE PLAN**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
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		4. County: Santa Fe			
		5. Date of Survey: July 27, August 1 and 3, 2023			

Setting

The house sits along the north side of Camino Pequeño, an unimproved private gravel lane edging along the Santa Fe River (Photo 2). It is part of a 0.2-acre lot that extends across the road. It is surrounded by a tall coyote fence, separating it from its primary home (a house now on a separate property at 1 Camino Pequeño). The land is in a floodplain, covered with typical riparian plants along with invasive elms. A few relict shrubs are planted in the front yard, including juniper, hawthorn, and Oregon grape. Otherwise, landscaping is minimal.

House

The tract-like house faces south onto the Camino Pequeño. It is approached from the west by a brick path leading to the entry vestibule (Photo 3). It rests 18" above grade on a concrete block foundation. It is made of 1½" x 3½" stud frame construction. The walls are clad with a three-coat stucco, with ¼" brown finish coat. The roof is graveled.

South – Façade

The façade is divided into three openings. Beginning at the west is a pair of 6/6 wood sash placed in a Territorial Revival frame with a center mullion (Photo 4). The windows are Andersen Narroline double-hung, single-light units with "snap-in" Perma-Fit grids to give a divided light appearance (Fig. 1). Andersen developed these factory-primed frame-and-sash sets in 1962 as a lightweight, low-cost window.¹ They offered easy operation with built-in handles and PVC sash runs, and included an option for window "grilles." Composed of injection molded acrylic pieces, the three-dimensional grids were snapped into the inside frame with sockets (Photo 5).

At the center of the composition is a deep, dark entry leading to the front door (Photo 6). The opening holds a raised wood panel door flanked by single-glass sidelights. The original drawing for the house called for divided sidelights over a panel dado (Fig.2). The 38-square-foot space has a brick floor and painted plywood ceiling. An unsupported,

¹ Andersen Corporation, "Product Features and History," 37, www.andersenwindows.com/-/media/aw/files/technical-docs/parts-catalog/partscatalog-windows-patiodoors-producthistory-features--400series--200series.pdf.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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non-compliant canopy shelters it. This, too, differs from the drawing, which showed a much more refined canopy with a molded frieze. Instead, the house got a boxed fascia overhang.

The third element is a slight projection of the wall plane enclosing the living room. Bumping out 28", it has a single, 1/1 wood sash window missing its grid. Like the other window, it sits in a wood frame crowned by a pedimented head casing.

East

The east elevation has two openings and a chimney (Photo 7). A bank of four casement windows gives light to the living room (Photo 8). The vinyl and aluminum units appear to be replacements and do not match the original drawing (Fig. 3). The double-hung window in the bedroom has an 8/8 grid. Both are trimmed with Territorial Revival casings.

North

The back side of the house faces a small yard. It is fenestrated with two openings, including a smaller sized window at the secondary bedroom and French Doors opening to the primary bedroom (Photo 9). The 15-light doors are replacements, which were originally on the drawing as two 10-light doors (Fig. 4). An unsupported canopy extends over the entry. It projects 32" from the wall and is faced with wood fascia.

West

The west elevation has the most fenestration, having four windows placed in the primary bedroom, bathroom, and kitchen (Photo 10). Like other windows in the house, they are wood double-hung in Territorial type casings except at the bathroom. The opening at the bathroom was reduced in size and now holds a modern sash window (Fig. 5 & Photo 11).

Interior

The compact interior is arranged into almost an apartment floor plan. Finishes are minimal and confined to the living room, which has a dark stained square beam and

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diagonal board ceiling, and a raised “beehive” fireplace similar to those found in houses built by Allen Stamm (Photo 12). The other rooms have painted gypsum board walls and ceilings.

Historical Overview

Summary

The building came about in 1973 as a guesthouse for the primary home at 1 Camino Pequeño. It was designed by Frank J. Kuziel, an artist and draftsman, for his mother, Mary Kuziel, who lived in the guesthouse for a short time before moving to La Residencia. It then became a rental and now is in private ownership on a parcel no longer associated with the primary home.

Place Context

Low-lying areas along the Santa Fe River were not suitable for housing until flood control mitigation arrived, starting in the 1930s, with the Civilian Conservation Corps’ fortification of the river’s banks. Before that, low-lying acreage was put into agricultural use. The 1914-17 hydrographic survey shows the area of future Camino Pequeño as raw land and small parcels planted with wheat and corn (Fig. 6). The map indicates Beatrice Vigil as the owner of the future homesite. Vigil shares the name of a daughter of Simon Vigil, who owned considerable property in the area. Nearly 50 years later, Beatrice Vigil’s land was still undeveloped (Figs. 8 & 9). In 1970, Frank J. Kuziel, a Yale-trained artist, purchased it to build a house. His mother, Mary Kuziel, would move into a nearby guesthouse three years later.

The Kuziels

Born on January 20, 1919, Frank Joseph Kuziel was the son of Polish immigrants. His father, Martin Kuziel, had arrived in the United States in 1911, sailing across the Atlantic

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from Antwerp.² He had left his home in Nowy Sącz, a city in southern Poland, alone, as his wife, Mary, had immigrated earlier. They settled in New Haven, Connecticut, where Martin worked in a steel mill.³ Frank was the third youngest of five children, all born in Connecticut. He attended local schools and entered Yale University, where he graduated with a BFA in 1943. Three years prior, his mother brought an “alienation of affections” suit against his father, alleging he abandoned her.⁴

In 1946, Frank married Isabel Sinclair Cannon, whom he met while she sketched on the Yale Green.⁵ Nearly ten years younger, Isabel grew up in North Branford, Connecticut, where her father worked as an insurance agent. Her father would die when she was young.

Frank and Isabel discovered Santa Fe through a magazine article about the city’s art scene. Frank first ventured there in 1949, returning in 1950 with Isabel to live at Lischke apartments off Siringo Road.⁶ Evelyn Lischke — a weaver and widow of Polish American Frank Lischke — owned the old Siringo Ranch and rented some of its rooms. The Kuziels later moved to a rental on Agua Fria Road. Frank’s first job was working as a clerk at a lumberyard.⁷ But he and Isabel soon left New Mexico, returning east. They returned in the mid-1950s, living at the Laboratory of Anthropology where Isabel worked as a department custodian. She gave birth to her daughter, Wanda, in the lab’s living quarters.⁸

Frank was a portraitist and his work was shown at private galleries around town. In the early 1960s, he began working as a draftsman for homebuilder Allen Stamm (Fig. 7).⁹ In

² National Archives at Boston; Waltham, Massachusetts; ARC Title: Petitions and Records of Naturalization for New Haven, 4/1911-1992; NAI Number: 6050435; Record Group Title: Records of District Courts of the United States, 1685-2009; Record Group Number: Rg 21.

³ U.S. Census Bureau, Year: 1930; Census Place, New Haven, New Haven, Connecticut; Page: 1A; Enumeration District: 0037; FHL microfilm: 2340010.

⁴ “Twelve Meriden Lawsuits Listed in County Court,” *Meridien Record* (Meridien, Connecticut), May 8, 1940, 7.

⁵ “Isabel Sinclair Cannon Kuziel [obituary],” *Santa Fe New Mexican*, May 23, 2021, C-2.

⁶ “Artists’ Activities in Our New Mexico,” *Santa Fe New Mexican*, July 16, 1950, 12.

⁷ U.S. Census Bureau, National Archives at Washington, DC, Washington, D.C., Seventeenth Census of the United States, 1950; Year: 1950; Census Place: Agua Fria, Santa Fe, New Mexico; Roll: 3579; Page: 17; Enumeration District: 26-42.

⁸ 1953 “Laboratory Baby,” *Santa Fe New Mexican*, February 1, 1953, 16

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1963, he taught art at the newly opened Santa Fe School of Fine Arts on Canyon Road and later at Santa Fe Prep. He had previously instructed high school and adult art classes in New York and Connecticut.¹⁰

Kuziel continued to exhibit his art around town. Reviewing an open invitational show at the Fine Arts Museum, Helen Peterson, the art columnist for the *New Mexican*, wrote that his “Mother and Child” painting was “not one of his most effective works.”¹¹ In the next line, Putman praised fellow Polish American Josef Bakos’ “Ocean Fog” as a “poem of sails and sea.” His biggest break came with a portrait of Senator Dennis Chavez. Kuziel doesn’t seem to have reached the pantheon Santa Fe artists; none of his work is held in the permanent collection of the New Mexico Museum of Art.¹²

After living in different places, including Albuquerque, the Kuziels settled on Camino Pequeño, a hidden enclave of rustic houses, acquiring over an acre of raw land (Fig. 8 & 9). James Wing, an artist and woodworker, probably pioneered the settlement in the late 1950s with his hand-built studio home. The Kuziels built their own home at the foot of the private lane, on land that would be given the address 1 Camino Pequeño. It was designed by Frank and constructed by the family.¹³

On April 7, 1973, Frank Kuziel prepared a set of drawings for another building titled the “Guest House.” For the most part it depicted the house in place today, a stucco-on-frame compact ranch house ornamented with a few Territorial touches. A contract indicates that his mother, Mary Kuziel, paid for its construction. She was still residing in Connecticut.¹⁴ A local firm, AAA Construction Company, built the five-room house for \$19,947.00. The short-lived firm, located in the old Allen Stamm office on Osage Avenue, may have had a connection with the homebuilder’s company. It was completed in the early summer of 1973.¹⁵

⁹ “When You Buy a Stamm Home Design is Your Bonus Value [advertisement],” *Santa Fe New Mexican*, August 19, 1962, 22.

¹⁰ “Faculty Announced for SF Prep,” *Santa Fe New Mexican*, June 27, 1963, 11.

¹¹ Helen Peterson, “About the Arts,” *Santa Fe New Mexican, Pasatiempo*, January 20, 1963, 2.

¹² Ruth LaNore, email communication to John Murphey, September 7, 2023 (LaNore is the Head of Registration and Collections for the New Mexico Museum of Art).

¹³ Erica Kuziel, telephone conversation with Ann Maest, based on questions posed by John Murphey, August 27, 2023. Erica is the wife of Martin Kuziel, son of Frank and Isabel Kuziel.

¹⁴ “Contract of Sale,” typed contract, c. May 1973. In the collection of the homeowner.

¹⁵ Erica Kuziel, telephone conversation.

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Mary lived in the guesthouse for a few years, later moving to La Residencia nursing home. She died in 1987 and is buried in West Haven, Connecticut. It was then used by Frank and Isabel’s children and their spouses and later became a rental. It gained its current address (1 A) around 2012. ¹⁶

Frank Joseph Kuziel passed in 2009, followed by his wife Isabel Sinclair Cannon Kuziel in 2021. The property then moved out of family ownership.

Evaluation of Historical Status

Despite meeting the minimum threshold for Contributing status as a property 50 years old, the house has no architectural significance or historical associations.

For this reason, the recommendation is to maintain Non-Contributing status to the Downtown and Eastside Historic District

¹⁶ The house was given the new address potentially as early as 2003, but it didn’t appear in city directories until 2012.

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Illustrations

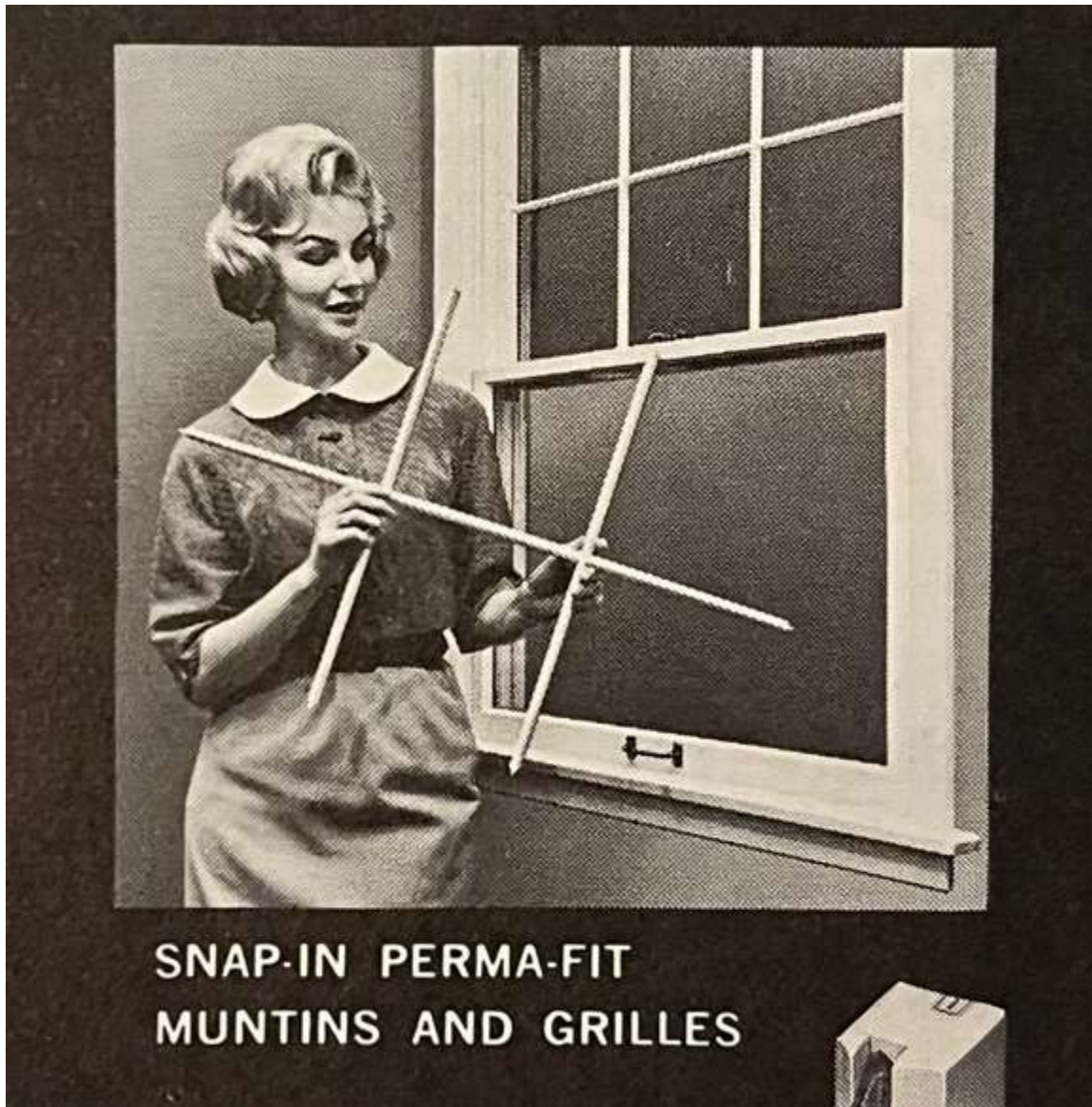


Figure 1: Illustration from Andersen windows in SANBUSCO catalog. Author's collection.

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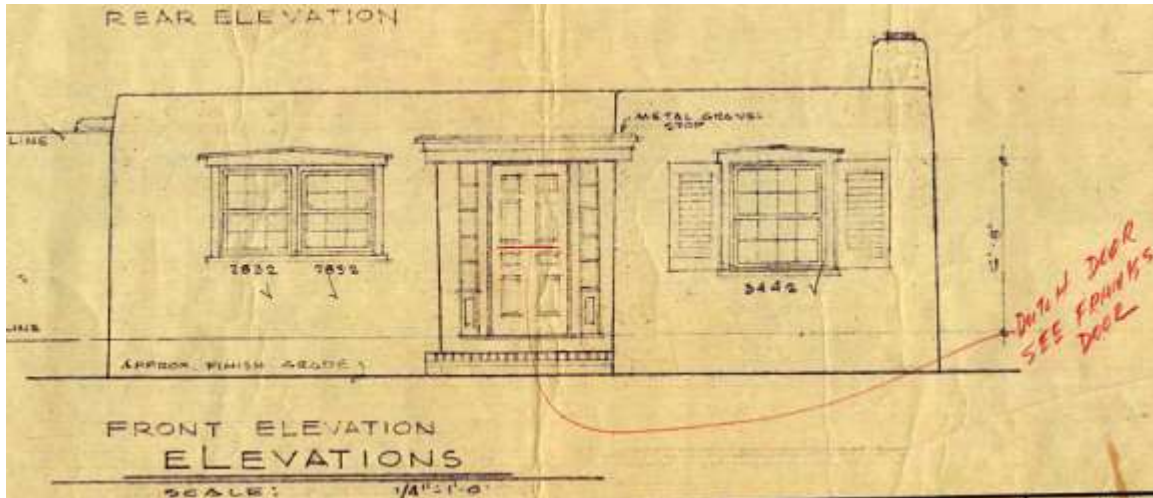


Figure 2: South elevation. April 7, 1973, drawing. Frank J. Kuziel. In homeowner's collection.

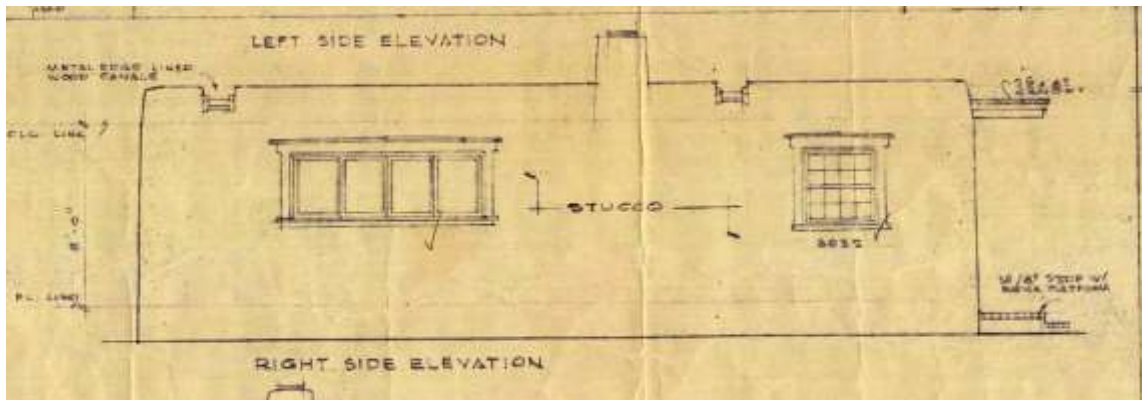


Figure 3: East elevation. April 7, 1973, drawing. Frank J. Kuziel. In homeowner's collection.

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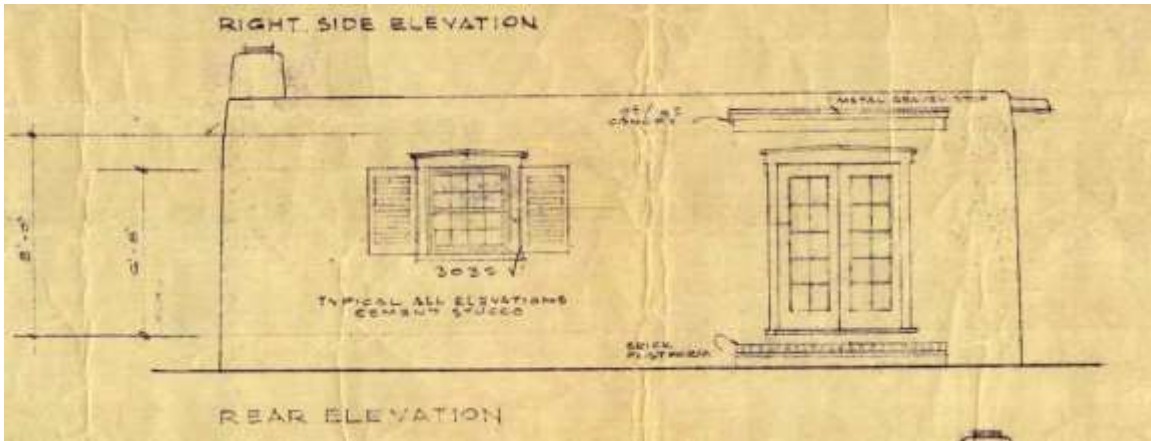


Figure 4: North elevation. April 7, 1973, drawing. Frank J. Kuziel. In homeowner's collection.

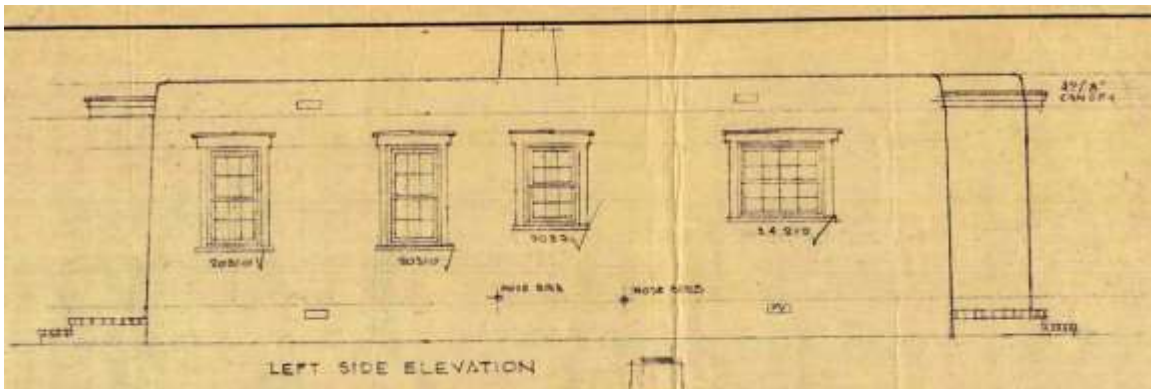


Figure 5: West elevation. April 7, 1973, drawing. Frank J. Kuziel. In homeowner's collection.

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**Figure 6: Portion of 1914-17 hydrographic survey map.
Approximate location of future house circled.**

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Figure 7: Frank J. Kuziel, as draftsman for Allen Stamm, 1962.
Courtesy Santa Fe New Mexican.

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Figure 8: September 25, 1960, aerial photograph. Approximate location of future house circled.

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**Figure 9: May 5, 1966, aerial photograph.
Approximate location of future house circled.**

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Survey Photographs

(All images taken by John Murphey, July 27, 2023, unless otherwise noted)



Photo 2: Camino Pequeño sign. Camera facing northeast. August 3, 2023.

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Photo 3: South (front) façade. Camera facing north.

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Photo 4: Andersen Narroline windows. Front façade. Camera facing north.

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Photo 5: Andersen Narroline windows showing snap-in socket. Camera facing down. August 3, 2023.

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Photo 6: South elevation, entry. Camera facing north.

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Photo 7: South and east elevations. Camera facing northwest.

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Photo 8: East elevation, casement windows. Camera facing west.

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Photo 9. North elevation. Camera facing southwest.

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Photo 10: West elevation. Camera facing southeast.

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Photo 11: West elevation, replacement window at bathroom. Camera facing east.

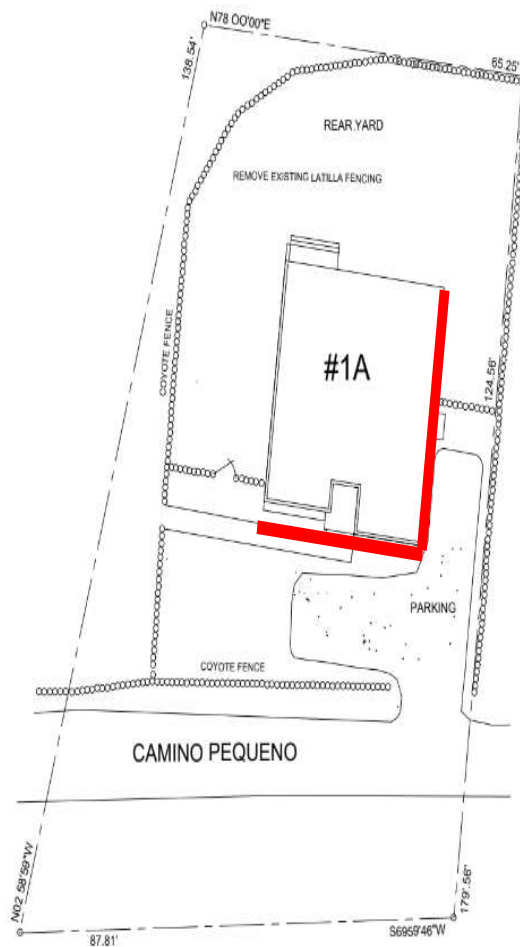
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Photo 12. Living Room. Camera facing north.



SANTA FE RIVER

EXISTING SITE PLAN

Proposed Primary Facades



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2023-007468--HDRB

Project Description: 2023-007468-HDRB. ADDRESS. Downtown & Eastside Historic District. Non-contributing. Martinez Architecture Studio, agent for Larry Colton and John McCoy, owners, requests a historic status review with primary facade(s) designation, if applicable, for a residential structure.

Project Location(s): 826 CAMINO DEL PONIENTE B
Santa Fe, NM 87505

Contacts:

Property Owner: Larry Colton
826 CAMINO DEL PONIENTE B
Santa Fe, NM 87505

Applicant: Martinez Architecture Studio PC
P. O. Box 925
Santa Fe, NM 87504

studio@martinezarch.com

Property Owner: John McCoy
826 Camino del Poniente
Santa Fe, NM 87505

johnmccoyps@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North:

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West:

Historic District Inventory Number: H-773

Year of Construction: 1951

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 14 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

2023-007468-HDRB. 826 Camino del Poniente. Downtown & Eastside Historic District. Non-contributing. Martinez Architecture Studio, agent for Larry Colton and John McCoy, owners, requests a historic status review with primary facade(s) designation, if applicable, for a residential structure.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [previous cases]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be redesignated as contributing citing that the structure is a prime example of Territorial Revival style and recommends the north and east facades as primary citing that both facades are simple and unchanged since the structure was constructed per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

The residence at 826 Camino del Poniente is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure is a Territorial Revival style residence and is a simple rectangle. The south was most likely historically an entrance however, with the enclosure of the porch the main entrances are now to the north and the east.



Property History:

According to the 1991 historic building inventory form, the structure is believed to be built in the 1930s, however it first appeared in the city directory in 1951. It was originally a guest house for the property located at 828 Camino del Poniente and was owned by the author, Elizabeth De Huff. There is some evidence that the residence was used as a school sometime prior to 1991.

The north and east elevation architecture is simple and unchanged.

A garage was constructed on the north and west elevations sometime prior to the 1983 survey though the date of construction has not been confirmed. Since the 1991 survey and prior to the 2000 case, the screened porch on the south elevation was enclosed. No historic case or permit was found for this enclosure of the porch. The staff wrote, “Staff believes the north elevation's simplicity and original window and door configuration exemplify the building's architecture.”



The property owner started a case, H-00-030A&B, in 2000 to request a status review and some remodel including additions. The case was postponed from the March 14, 2000, agenda and never came back to the HDRB for the status review. However, the staff report from 2000 shows that the staff felt that the structure should be listed as a contributing structure to the Downtown and Eastside Historic District and recommended the north and east facades as primary noting a porch had been enclosed on the south elevation. Given that the south elevation porch was enclosed, and the garage was added to the west elevation, and neither is historic, staff agrees that these elevations should not be considered primary.

Current Application:

The applicant requests a status review with primary façade designation, if applicable.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

- (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material

as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark

- earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

4773

ADDRESS: 826 Camino del Poniente
Camino del Monte Sol National Historic District

ID NUMBER: 051600099

BUILDING NAME:

UTM REFERENCE EASTING NORTHING
ZONE 12 13

LEGAL DESCRIPTION:
TNSP 17 N 3 RANGE 10 E 3 SEC 30 NW 1/4 NW 1/4

IDENTIFICATION

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:
1930s ESTIMATE 1951* ACTUAL

SOURCE(S) city directory (see note)

ARCHITECTURAL STYLE:
Territorial Revival

USE:

HISTORIC: residential

OTHER _____

PRESENT: residential

OTHER _____

BUILDING DATA

SURROUNDINGS:
residential

RELATIONSHIP TO HISTORIC SURROUNDINGS:
 SIMILAR NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:
 YES NO

WHAT TYPE?

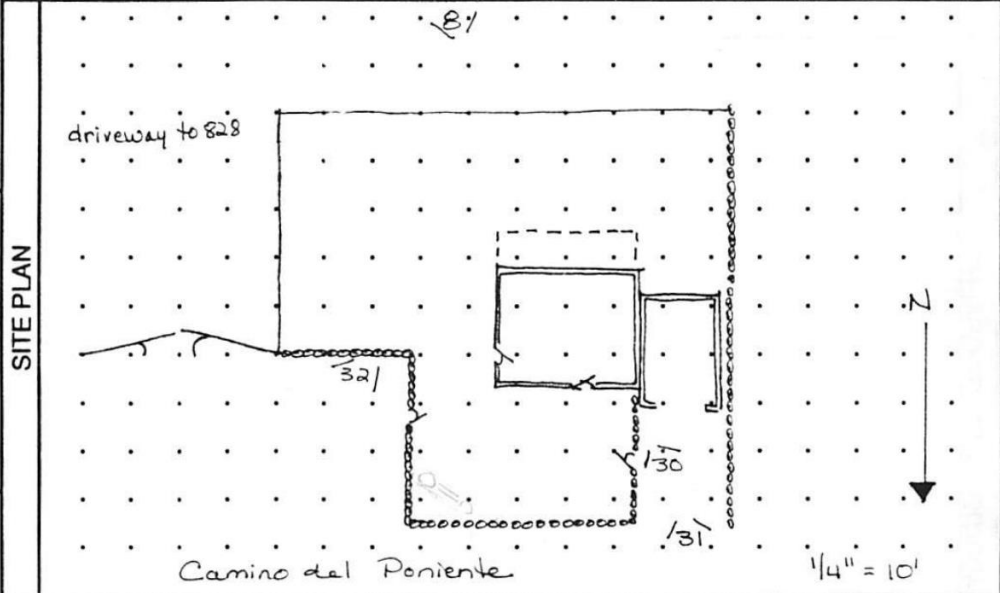
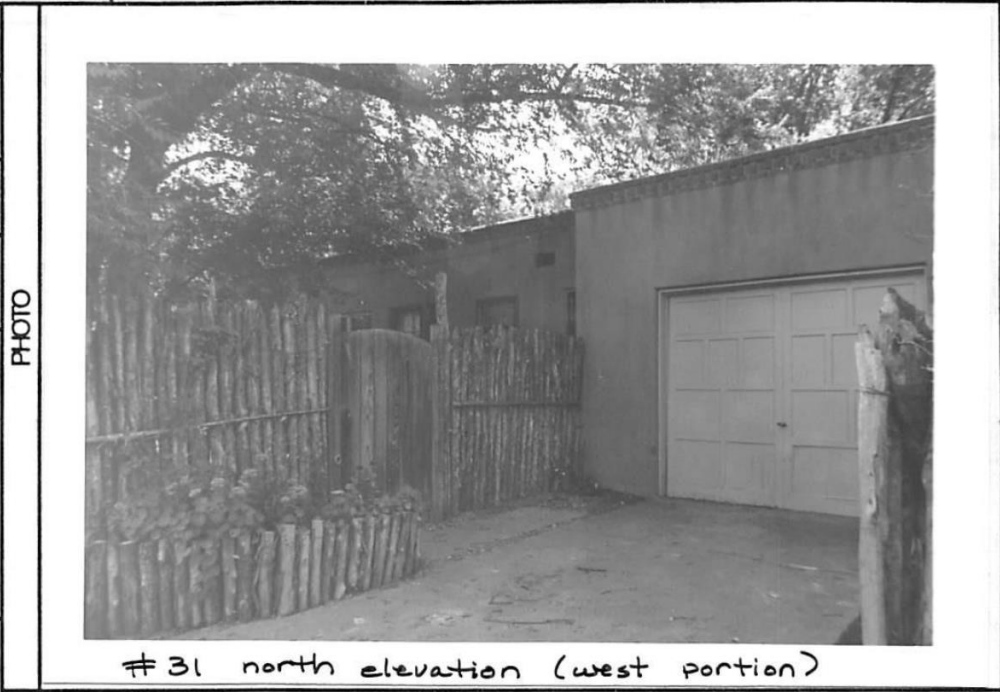
IF INVENTORIED, LIST ID NUMBER(S)

DEGREE OF REMODELING:
 MINOR MODERATE
 MAJOR

EXPLAIN:

OVERALL CONDITION:
 EXCELLENT GOOD
 FAIR DETERIORATED

BUILDING THREATENED?
 YES NO



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?
 YES NO ELIGIBLE
 CONTRIBUTING NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?
 YES NO ELIGIBLE Non-Contributing

LOCAL DESIGNATION: Core _____ HISTORIC DISTRICT
 SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

LOCAL LANDMARK YES NO

SURVEYED 9/91 BY DB

NEGATIVES WITH NMHPD ROLL # 12 NEG # 30 TO 32
ROLL 13 # 8

ARCHITECTURAL AND LANDSCAPE FEATURES

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	stucco	
FOUNDATIONS	not visible	
DOORS	wood panel with small lights; single garage door	storm doors
WINDOWS	1/1 D+W	anodized aluminum sliders over old windows, also some storm windows
PORTALES		
CANALES	wood with metal	
PORCHES	screened porch along S-slender posts, cornice	
BALCONIES		
ROOFS	flat with brick coping	
COURTYARDS		
FENCES/WALLS	coyote fence, north & sides, stucco wall south	
ARCH. DETAILS	small metal vents near roofline	
OTHER		

COMMENTS May have been part of 828 Camino del Poniente before 1951. 828 was built by 1932. Dog bites - photos over/through fences.

ADDITIONAL PHOTOGRAPHS



#30 north elevation (east portion)



#32 partial east elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

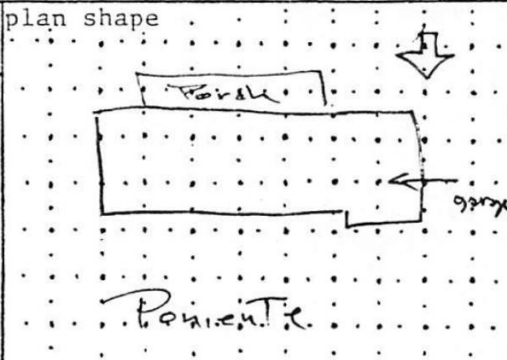
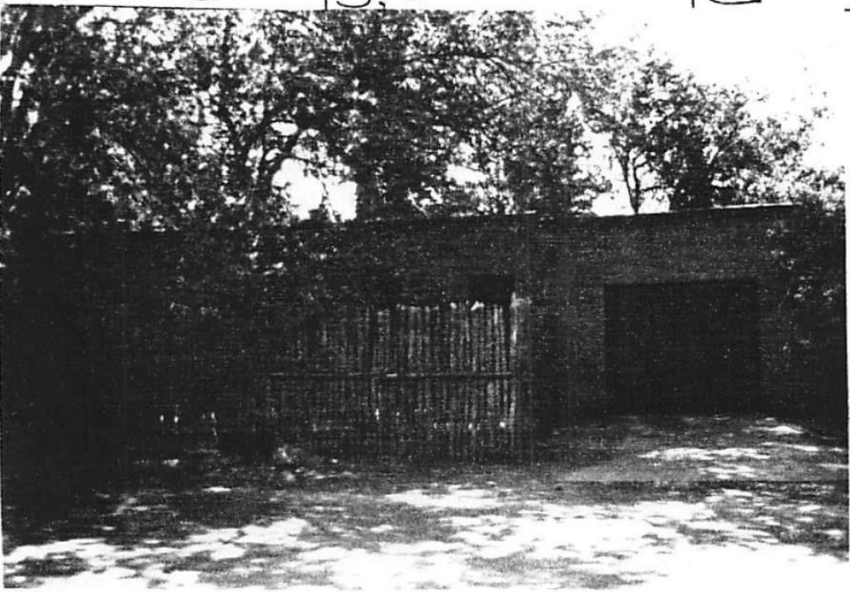
ADDRESS 826 Camino del Poniente
Camino del Monte Sol National Historic District

ID NUMBER
051600099
SURVEYED/RESEARCHED
DATE 9/91 BY DB



#8 roofline, south

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 8-6-83 by mb	county Santa Fe	ID no. 051600099
field map Santa Fe, New Mexico	number 1	UTM reference easting northing zone 12 13	
location description 826 Poniente		city/town Santa Fe	
		land grant/reservation	
building name		legal description t17 N 1 range 10 E sec 30 NW 1/4 NW 1/4	
film roll by mb no. 6	negative nos. 5, 6	loc. of neg. MPB	plan shape 
		date of construction 1930s estimate _____ actual _____	
		source Shows in 1982 Dir. Appraisals	
		use present residential other _____ historic residential other _____	
		condition ____ excellent <input checked="" type="checkbox"/> good ____ fair _____ deteriorating	
style Territorial Revival		degree of remodeling <input checked="" type="checkbox"/> minor _____ moderate _____ major describe:	
foundation material Not vis			
wall material/surface Stucco			
architectural features Detail cornice Pine wall Windows 1 wood dbl hung - Ben trim - brick sills Door 4 solid panel Casals wood		surroundings Residential	
		relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
		district potential <input checked="" type="checkbox"/> yes _____ no	
		significance ____ eligible <input checked="" type="checkbox"/> of _____ none if eligible, interest	
comments wall hedge wire fence wood fence landscape street trees stone curb O set back → cequia		why?	
		associated buildings? _____ yes what type?	
		if inventoried, list ID nos.	
		see back? _____ yes	

11-15-83

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

H 774

ADDRESS: 828 Camino del Poniente
Camino del Monte Sol National Historic District

ID NUMBER: 051600100

774.1

BUILDING NAME:

IDENTIFICATION

UTM REFERENCE EASTING NORTHING

ZONE 12 13

LEGAL DESCRIPTION:

TNSP 17 N 3 RANGE 10 E SEC 30 NW 1/4 NW 1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:

ESTIMATE 1932 ACTUAL
SOURCE(S) city directory

ARCHITECTURAL STYLE:
Territorial Revival

USE:

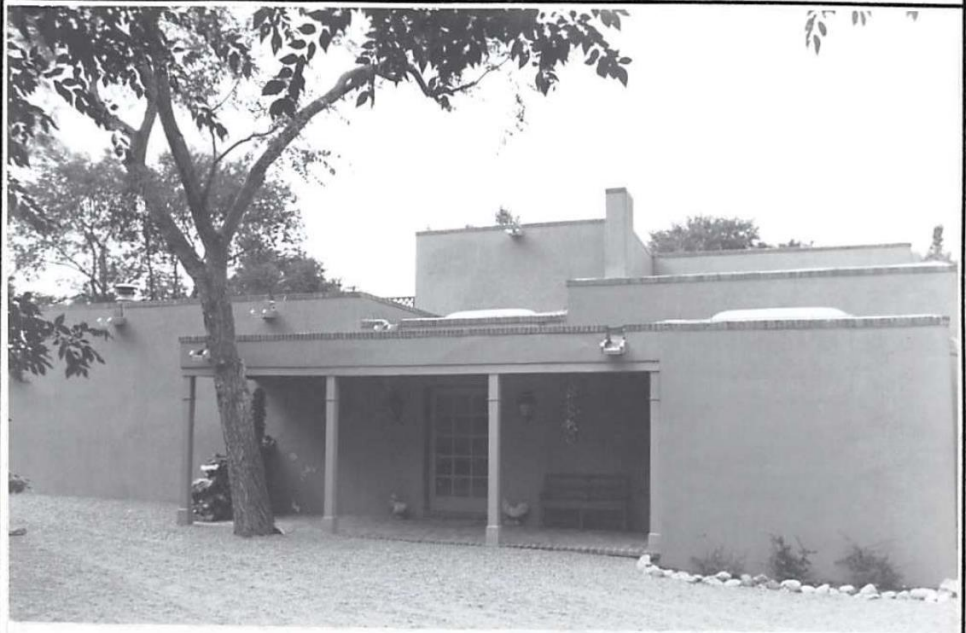
HISTORIC: residential

OTHER see notes

PRESENT: residential

OTHER

PHOTO



#2 east elevation

BUILDING DATA

SURROUNDINGS:
residential

RELATIONSHIP TO HISTORIC SURROUNDINGS:

SIMILAR NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES NO

WHAT TYPE? 2 cottages

IF INVENTORIED, LIST ID NUMBER(S)

DEGREE OF REMODELING:

MINOR MODERATE

MAJOR

EXPLAIN: addition to S & portal S

OVERALL CONDITION:

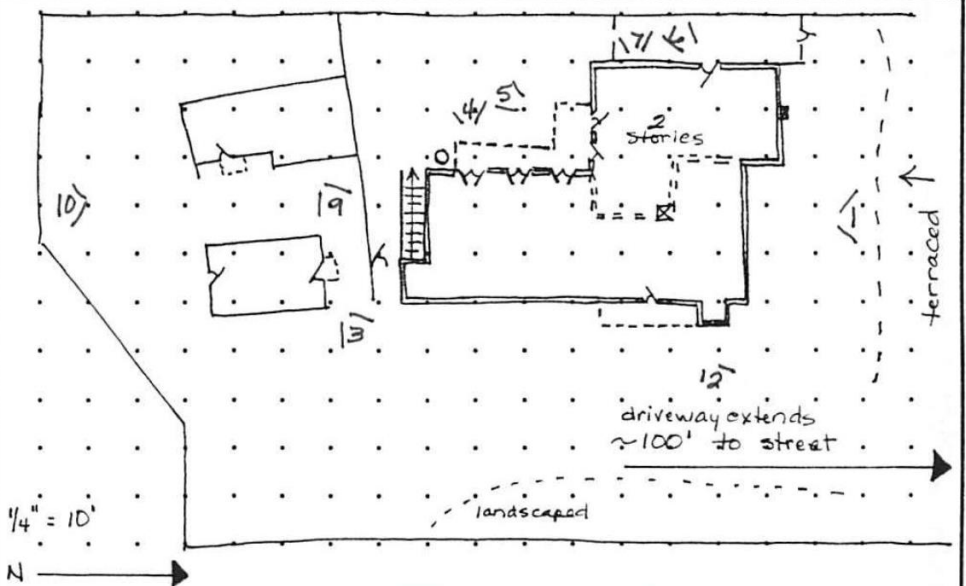
EXCELLENT GOOD

FAIR DETERIORATED

BUILDING THREATENED?

YES NO

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES NO ELIGIBLE

CONTRIBUTING NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES NO ELIGIBLE Contributing

LOCAL DESIGNATION: Core HISTORIC DISTRICT

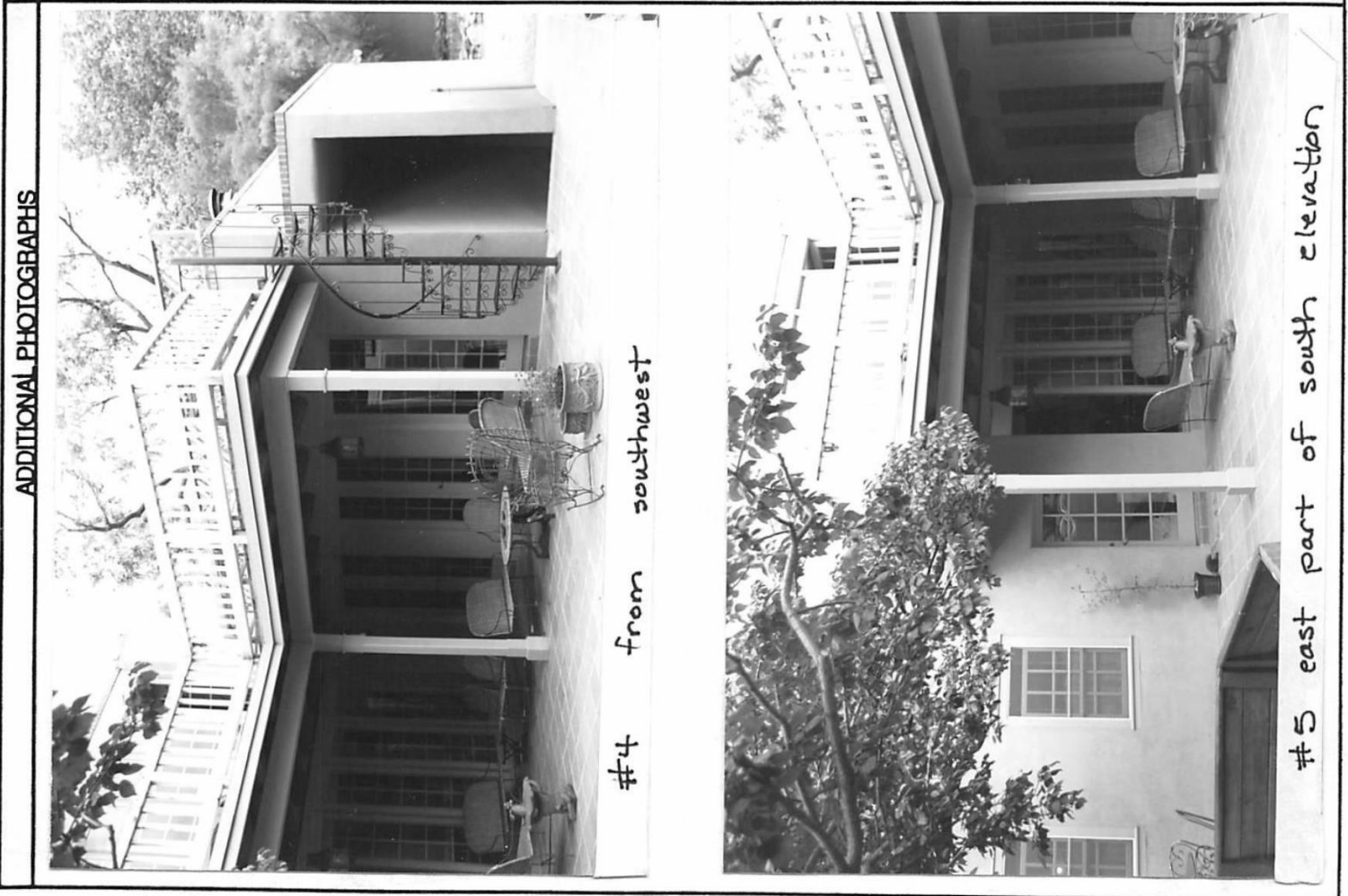
SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

LOCAL LANDMARK YES NO

SURVEYED 9/91 BY DB

NEGATIVES WITH NMHPD ROLL # 11 NEG # 1 TO 10

	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
ARCHITECTURAL AND LANDSCAPE FEATURES	BUILDING WALLS	stucco	
	FOUNDATIONS	not visible	
	DOORS	grouped french, tall multi-light steel casement, single french	
	WINDOWS	6x6 & 9x9 DHWs in trios and alone, with painted frames;	one large fixed light to portal; 14-light fixed along S wall (one panel is door)
	PORTALES	east - chamfered posts with bases, square beam, plank ceiling	over vigas (not projecting). South - chamfered posts, square beam, plank ceiling, balcony.
	CANALES	wood/tin	
	PORCHES		
	BALCONIES	over rear portal - simple wood balustrade	portal & balcony are new within last 2 years
	ROOFS	flat with simple brick parapet	
	COURTYARDS		
	FENCES/WALLS	stucco yard walls	
	ARCH. DETAILS	masonry fireplaces	
	OTHER	basement stairs from patio, S; circular stair to balcony	2 frame cottages at rear (south) - shed roof w/ exposed rafters, mixed windows
COMMENTS	Windows are new within last 2 years - replaced aluminum sliders throughout.		



IDENTIFICATION	ADDRESS 828 Camino del Poniente Camino del Monte Sol National Historic District	ID NUMBER 051600100
		SURVEYED/RESEARCHED
		DATE 9/91 BY DB

This house is not visible from Camino del Poniente or from Camino del Monte Sol. It is behind 826 Camino del Poniente and is accessed by a long driveway to the east of that house. Entry is through a large, powered, wrought iron gate. The house is situated on the upper terrace of a very large lot and faces east, toward the backs of homes on Camino del Monte Sol.

The original portion of the house is along the north. The downstairs interior is a huge room lighted by large windows and with high ceilings. At the west end is a smaller room now used as a library. The present owner, Mrs. Gilbert, has owned the home for two years. She has been told that the house was once a school and that the large room was a classroom. This owner replaced most of the windows, which were aluminum sliders, with double-hung windows. She also added the section to the south, which consists of a large dining room and an L-shaped porch with balcony. She states that other portions of the house including the second story were original. Two cottages at the rear of the property are believed to be no more than 20 years old.

City directories show that between 1932 and 1940 the house belonged to Elizabeth Dettuff, author. The directories do not indicate that the building was used as a school, however the architect who supervised the recent renovation, Tom Lechner, told the family that this was true.

Pat Smiley, who works for Mrs. Gilbert, says that 826 was once part of this property. A 1945 plat shows the Dettuff property extending north into that lot.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 828 Camino del Poniente
Camino del Monte Sol National Historic District

ID NUMBER 051600100

SURVEYED/RESEARCHED
DATE 9/91 BY DB



#6 north part of west elevation



#7 south part of west elevation



#1 north elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 828 Camino del Poniente
Camino del Monte Sol National Historic
District

ID NUMBER
051600100

SURVEYED/RESEARCHED
DATE 9/91 BY DB



#3 east cottage from NE



#9 east side of west cottage



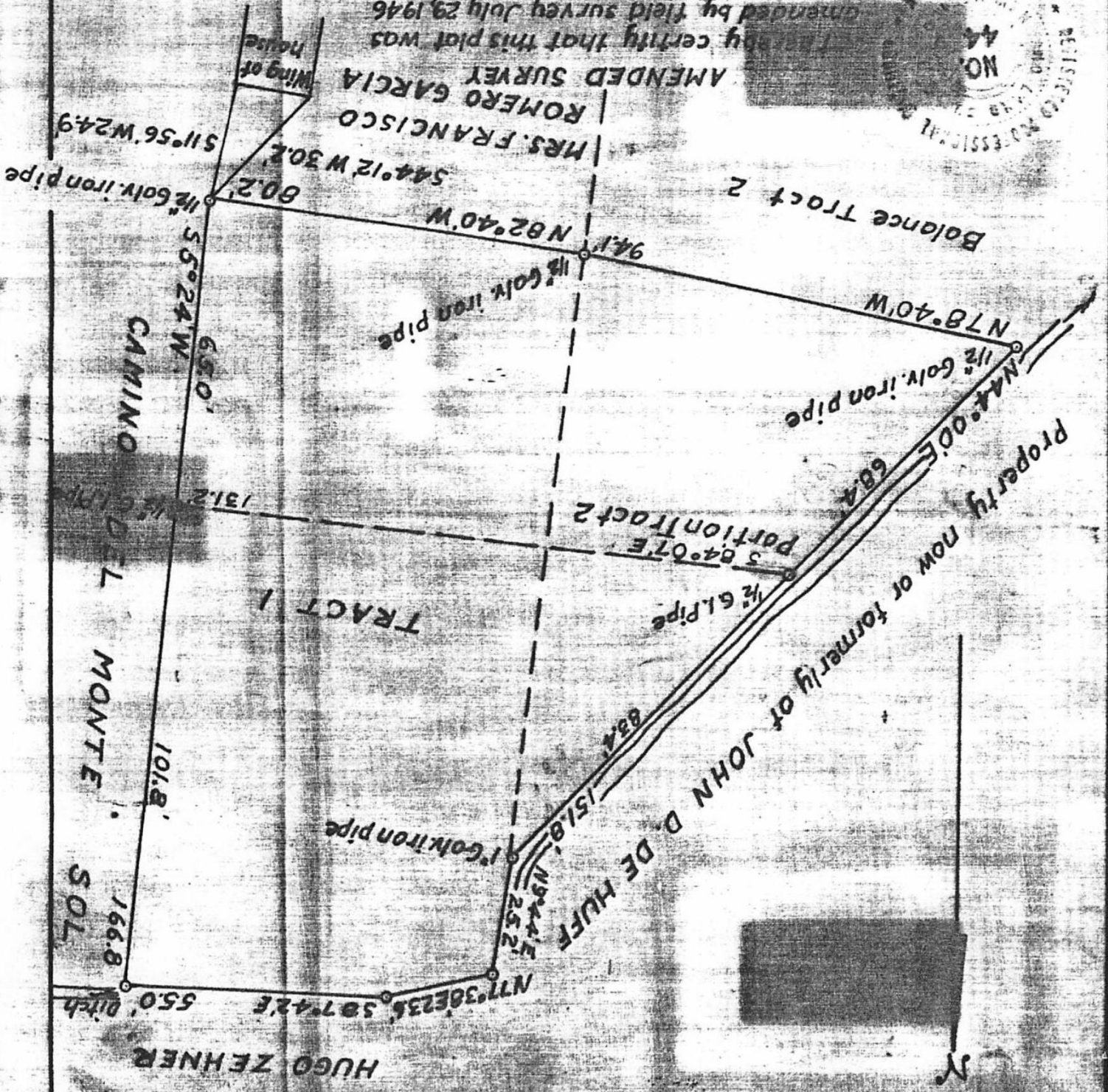
#10 cottages, south

TRACT OF LAND SURVEYED FOR ALTA B. APPELGATE ESTATE PRECINCT 3 ~ SANTA FE, N.M. Jan. 11th, 1945 ~ Scale 1"=30'

CERTIFICATE
I hereby certify that this plat and the field notes thereon are a true and correct copy of a survey made by me in the field Jan. 11th, 1945
Joa. C. Harvey



AMENDED SURVEY
I hereby certify that this plat was amended by field survey July 29, 1946 by running line shown on plat as heavy dotted, for George W. Olcott.
Joa. C. Harvey



BL-4192



1



2

NORTH - NAF



3



4

Casett H-89-289.
828 Cm. del Poniente



5

SOUTH / WEST
NPV CTYARD



6

SOUTH - NPV
CTYARD

South Elevation - Site of Addition



H-83-58

828 CAMINO DEL PONIENTE

North Elevation From Driveway



Elevation of House and Addition East Side

City of Santa Fe, New Mexico

memo

DATE: August 31, 1992
TO: Historic Design Review Board
FROM: Mary Grzeskowiak, Urban Design Review Specialist
SUBJECT: 828 Camino del Poniente

In response to a request from the owner, Gail Gilbert, staff consultant reviewed the Historic Building Inventory Form for this building to confirm the status of associated buildings on the site, which are currently considered contributing on the City's Historic District Status Map. Ms. Gilbert pointed out that the associated buildings were both less than 20 years old and therefore did not qualify for contributing status.

The main house on this property is a large Territorial Revival style house with flat roof and brick coping, wood double-hung windows, and a front portal with simple classical detailing. Although additions have been made to the rear of the house, much of the historic detail is intact.

The associated buildings are two small cottages that were constructed within the past 20 years. One cottage has a shed roof with overhang and exposed rafters. The other cottage has a flat roof with parapet. Windows vary in style from one-over-one hung to aluminum sliders.

On review of the survey form, consultant confirmed that while the main house was listed as contributing, the two small cottages at the rear of the lot were noted as being non-contributing by virtue of age. This information was incorrectly transcribed during creation of the status map. The map should be corrected to show that the cottages are non-contributing.

Staff recommends the Board consider the associated buildings at 828 Camino del Poniente non-contributing in the Core Historic District.

OFFICIAL HISTORIC DISTRICT MAP

BUILDING STATUS QUERY

NOTE: If you have questions about the status of your building as shown on the enclosed map, or wish to testify at the public hearing of the Historic Design Review Board on August 31, 1992, please complete this query sheet and deliver it to Mary Grzeskowiak at the City Zoning Division, first floor, City Hall by August 14, 1992. She will make an appointment to discuss the building's status with you.

I. Property Owner Information

Name: GAIL GILBERT
Mailing Address: 828 Camino del Poniente
Santa Fe, NM 87501
Telephone No.: Home: 986-0920 Business: 986-9105

II. Historic Property Address (if different than above)

Street Address: _____
Map Number ? ~~100~~ Structure Number from Map 100
Area # 8

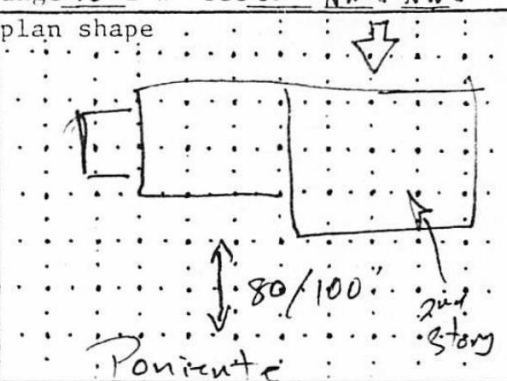
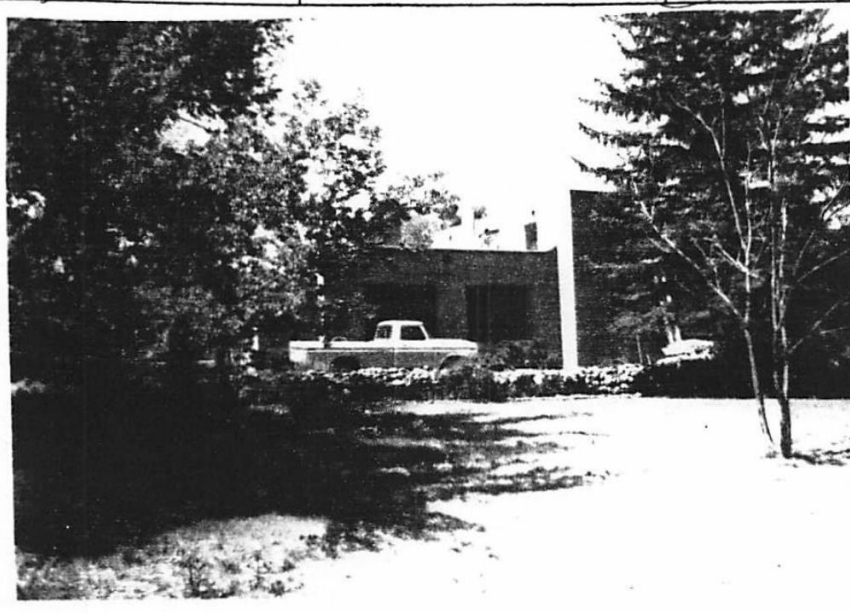
III. Query

1. If you have information showing that the status of your structure as shown on the attached map may be incorrect, please describe that information below.

The main house does in fact qualify
as an historic structure; however,
the smaller structures on the property
are definitely not in anyway
historic. They are not old, not more
than 20 years. I'd very much like
to ask you a couple of questions.
Please call me. Thank you. query

Gail Gilbert

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes		surveyed date 8-6-83 by mb	county Santa Fe	ID no. 051600100
field map Santa Fe, New Mexico		number 1	UTM reference easting zone 12 13	
location description 828 Poniente			city/town Santa Fe	
			land grant/reservation	
building name		legal description tnsp 17 N 5 range 10 E sec 30 NW 1/4 NW 1/4		
film roll by mb no. 6	negative nos. 7	loc. of neg. HPB	plan shape ↓ 	
			date of construction Per 1932 estimate _____ actual _____	
			source City Directories	
			use present residential other _____ historic residential other _____	
			condition ____ excellent <input checked="" type="checkbox"/> good ____ fair _____ deteriorating	
			degree of remodeling ____ minor <input checked="" type="checkbox"/> moderate _____ major	
style Territorial Revival			foundation material Not vis	
			wall material/surface Stucco	
architectural features Brick coping — no dentil Windows — 4 double hung, low pediment, in. trim 2 masonry chimneys			describe: Being undertaken now	
			surroundings Residential	
			relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
			district potential <input checked="" type="checkbox"/> yes _____ no	
			significance ____ eligible <input checked="" type="checkbox"/> of _____ none	
			if eligible, interest why?	
comments wall hedge wire fence wood fence landscape street trees stone curb O set back acacia			associated buildings? _____ yes	
			what type?	
			if inventoried, list ID nos.	
			see back? _____ yes	

Street scene

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

**Previous Case
H-00-030 A & B
Status Review with
Remodel
826 Camino del Poniente**

MARCH 20, 2000

TO:

Historic Design Review Board,

I am withdrawing my property at
826 Camino de PONTRE from the agenda
of the March 28th meeting.

Thank you,

Shelley Smith

989-3836

826 Camino de PONTRE

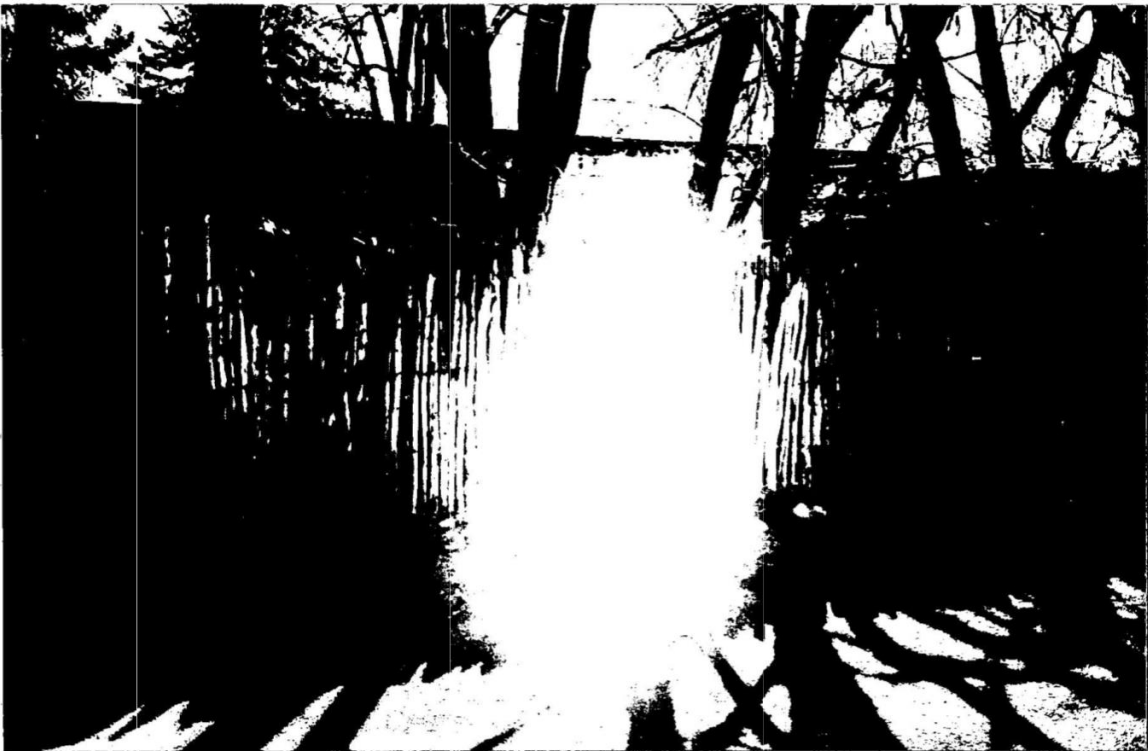
SIF., N.M.,

87501

● 826 Camino del Poniente ● H-00-30



North elevation, from inside coyote fence

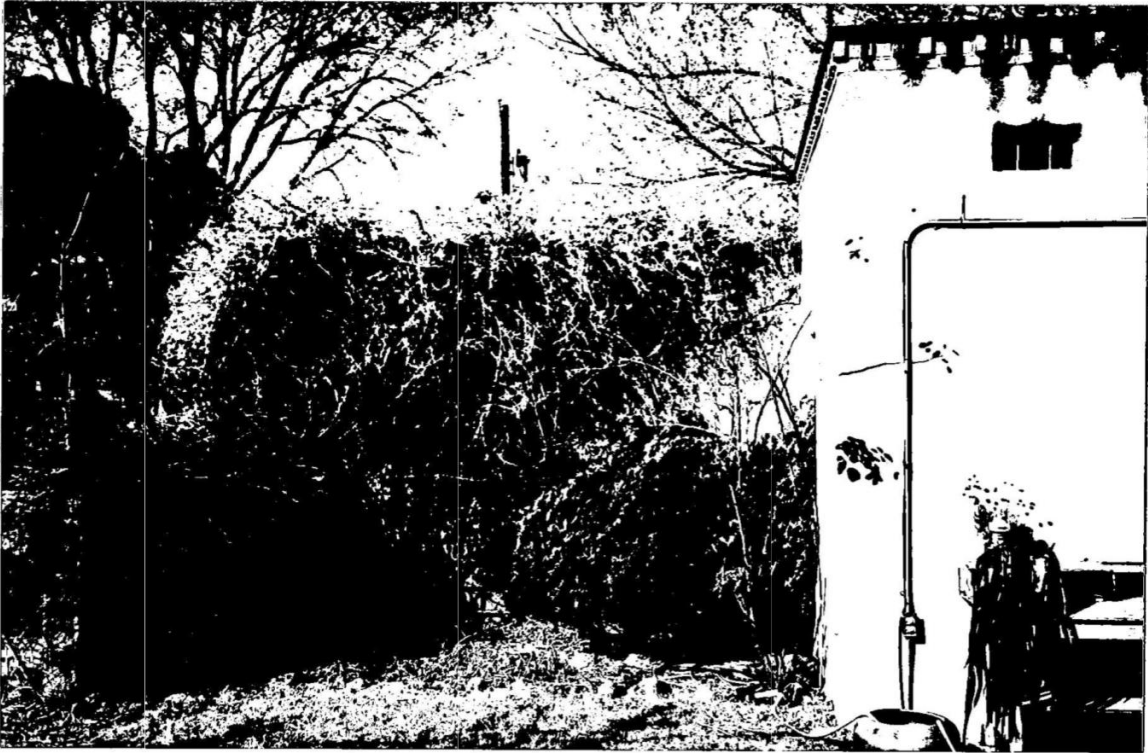


North elevation from street, outside fence

1.

826 Poniente

H-00-30



South elevation, west end and garage



West elevation, garage

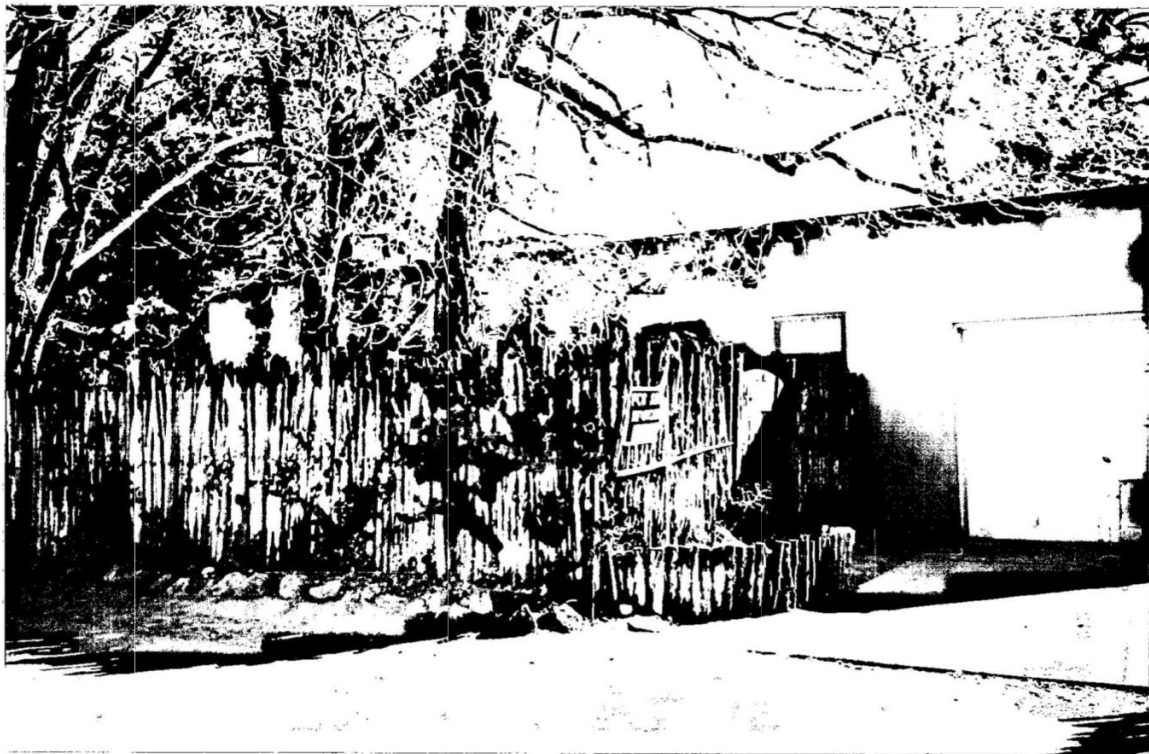
2.

026 Camino del Poniente
streetscapes

H-00-30



North elevation west end of garage
neighbor fence at right



North elevation from street, outside fence

3.

826 Camino del Poniente H-00-30



South elevation, east end



South elevation, west end

4.

826 Camino del Poniente H-00-30



East elevation, north end



East elevation, south end & sun porch

5.

City of Santa Fe, New Mexico

memo

DATE: March 14, 2000
TO: Historic Design Review Board Members
VIA: Anne Condon, Planning and Land Use Department Director *AMC*
Cyrus Samii, Planning Team Leader *CS*
FROM: Angela Schackel, Historic Districts Case Planner *AS*

ITEM & ISSUE:

CASE #H-00-30a&b

ADDRESS 826 Camino del Poniente
Historic Status Non-contributing
Historic District Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Case Synopsis
 District Standards
 State Historical Survey Sheet
 Other

APPLICANT SUBMITTALS

Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

STAFF RECOMMENDATION:

Staff reminds the board that two motions are required in this case. Based on the age and relatively minor alterations, as well as its likely historical association with 828 Camino Poniente, staff recommends that the structure be re-designated "contributing."

With respect to the design proposal, staff recommends approval only of the proposed southwest elevation addition based on staff's opinion that the north and east elevations are primary facades.

As a primary facade, the north elevation cannot be added onto. With respect to the east elevation (another primary façade) proposed window replacement, staff recommends that the window be repaired or replaced in kind unless historical documentation is provided that demonstrates that the window is a modern replacement (Section 14-70.73E1a SFCC 1987).

Staff recommends approval of the addition of an overhang (i.e. without vertical supports) over the east elevation door but cannot recommend approval of a portal. In previous cases, the board has considered portals additions for purposes of the code but did not include overhangs in the definition.

Given that the majority of the proposal hinges upon which of the building's sides are primary facades (assuming the structure is "contributing"), staff defers to the field trip for the board to consider and determine which are, in fact, primary facades. In any event, given the scope of the current proposal and depending on which facades the board considers primary, staff recommends that the board appoint an advisory group to work with the applicant towards compliance with the code.

BACKGROUND & SUMMARY:

Historic Status

According to the 1991 historic building inventory form, the structure is believed to be built in the 1930s, however it first appeared in the city directory in 1951. The surveyor noted that the building is believed to have been a guesthouse for property to the south with the address of 826 Camino del Poniente. The survey sheet for 828 Camino del Poniente states that between 1932 and 1940 the house (828) belonged to Elizabeth DeHuff, author. The directories do not indicate that the house was used as a school, but the architect who supervised its 1991 renovation told the family that this was true. Someone who worked for the resident in 1991 said that 826 was once part of the property. The plat in the packet shows the 828 property extending north to the subject (826) property.

A garage was believed to have been added but appears on the 1983 survey form, so no one has confirmed its age. Since the updated 1991 survey, the screened porch on the south elevation has been glassed in. Based on current information, no other alterations to this structure have been made.

Design Proposal

The applicant proposes to add onto the north, east, and southwest corner elevations. The additions are the same style of the existing house: territorial revival; the heights match that of existing (between 11' – 12'). New windows will be true divided lite double-hung off-white.

The applicant also proposes to add an overhang (although referred to in the proposal letter as a portal) over the existing east elevation. As well, she proposes to replace the existing south end window on the east elevation with an aluminum clad wood window. From the plans, the applicant also proposes to replace the garage door, although details about its replacement were not provided.

As staff believes the structure merits a "contributing" status, staff has several concerns with the historic preservation standards as they apply to current proposal. Namely, additions are not permitted to primary facades (Section 14-70.73B3 SFCC 1987). Staff believes that the north and east elevations are primary facades as "one or more principal faces or elevations of a structure with features that define the character of the structure's architecture"

(Section 14-70.4 *Definitions* SFCC 1987). The building is a simple rectangle with a portal that was once screened in and is now glassed in.

Staff believes the north elevation's simplicity and original window and door configuration exemplify the building's architecture. While historically the south elevation may have been an entry, the changes to the historic porch and reorientation of the building to the north street (Camino Poniente) lead staff to conclude that the north elevation should not be altered or added onto, and, further, that it would erode the historic character of the district.

The east elevation remains the entry to the house and its architecture is similarly simple and unchanged. As the porch has undergone alterations and the garage was added, staff believes that the south and west elevations are not primary.

On a site visit with the applicant staff suggested that the applicant consider *detached* structures as the lot allows. If an addition is desired, staff recommends only adding onto the southwest corner. Section 14-70.73B4 SFCC 1987 states that "to the extent architecturally practicable, new additions shall be attached to any existing non-historic portion of structures instead of attaching them to the historic portion."

By staff calculation based on the drawings provided,

- Total square footage of the existing footprint is 1,605;
- Fifty percent of the existing footprint is **803** square feet (Section 14-70.73B4 SFCC 1987);
- The **proposed** total square footage is **759** square feet.

Further, Section 14-70.73A SFCC 1987 states that "the status of a contributing structure shall be retained and preserved. If the proposed alteration will cause the structure to lose its contributing status, the application shall be denied."

The applicant has indicated on the application form that she met with the appropriate representative of the city's zoning staff.

Proposal submitted to Historic Design Review Board
by Renette Finley, prospective buyer,
and Shelly Smith, present owner, of
826 Camino del Poniente, Santa Fe, NM

This project consists of partially remodeling and making additions to the house at 826 Camino del Poniente. We both very much like the design of the house and have made these plans to maintain the integrity of this design consistent with remodeling to make additions desired by the prospective new owner.

We propose that the living room, bedroom, and sun porch of the present house will be pretty much left as is inside, whereas the kitchen, bathroom and utility areas will be changed considerably.

Two minor changes are proposed to the exterior on the eastside. These are in addition to the expansion of the floor plan, to be discussed later. First, a small portal roof would be added over the front door. Second, the one metal window in the living room would be replaced with a Hurd aluminum-clad wood window; this would be off-white, double hung, and with true divided light. Please note that we propose to use this type of window exclusively in the rooms to be added.

For the addition, the north side of the house, which includes the kitchen, bathroom, utilities and laundry, would be extended outwards to provide a dining room, pantry and storage space. The new exterior would resemble the old, both with Territorial brick trim at the top and stucco of the original color (same shade as at present but somewhat lighter since the original has darkened with age). True divided light windows, as described above, would be used.

At the southwest corner behind the garage a second bathroom and an office would be added, again, in the same Territorial style as the original and with wood, divided-light windows. This room would open on the existing enclosed sun porch.

Concerning the architectural history, 826 Camino del Poniente was built in 1951 as a guest house for 828 Camino del Poniente. The original guest house consisted of a living room, kitchen, bedroom, bath and maybe a garage. Subsequent changes include enclosing the south portal to create a sun porch, demolition of the courtyard wall, and replacement of the "wooden double-hung windows with brown trim." Quotes refer to the New Mexico Building Inventory dated 1991. All of these changes have occurred since the inventory.

Respectfully submitted,
Feb. 21, 2000



Renette Finley
710 Gildersleeve St.
Santa Fe, NM 87501
(505) 982-8199



Shelley Smith
826 Camino del Poniente
Santa Fe, NM 87501
(505) 989-3836

City of Santa Fe, New Mexico

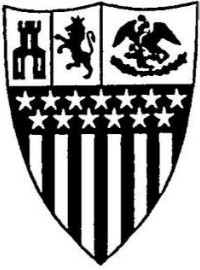
**Historic Districts Review
Board**

Previous Case

H-92-159

Remodel

826 Camino del Poniente



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:
Larry A. Delgado, Dist. 1
Debbie Jaramillo, Dist. 1
Steven G. Farber, Dist. 2
Ouida MacGregor, Dist. 2

Councilors:
Frank Montaño, Dist. 3
Art Sanchez, Dist. 3
Peso Chavez, Dist. 4
Phil Griego, Mayor Pro Tem
Dist. 4

Case #H 92-159 Meeting Date October 26, 1992

Project Address 826 Camino del Poniente District Core

Agent Goering Custom Builders Address Rt. 3 Box 109K Phone 983-6616

Owner Ellen Zink Address 826 Camino del Poniente Phone 982-6175

PUBLICLY VISIBLE FACADES: NORTH SOUTH EAST WEST

HISTORICAL SIGNIFICANCE: NUMBER 99 AREA NO. AGE c.1948

SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

SURVEY SHEET ATTACHED SURVEY SHEET NOT AVAILABLE NOT SURVEYED

APPROVAL REQUIREMENTS: NEW CONSTRUCTION EXTERIOR RENOVATION

DEMOLITION BASAL SQUARE FOOTAGE

PROPOSAL: Addition on north elevation.

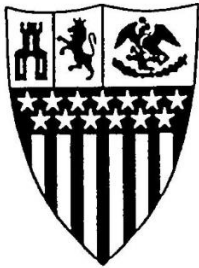
BOARD ACTION

This is to certify that the Historic Design Review Board at their meeting on October 26, 1992, acted on the above referenced case. The decision of the Board was to approve, conditionally approve, table, deny your request. You shall make part of your Building Permit application any conditions imposed by the Board which are listed as follows: This approval applies to the revised drawings submitted at the HDRB meeting.

For further information please call 984-6657.

Sincerely,
Mary J. Grzeskowiak
Mary Grzeskowiak
Urban Design Review Specialist

NOTE: BUILDING PERMITS FOR HDRB APROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST. (SFCC 1987, SECTION 7-1.6)



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Sam Pick, Mayor

Isaac J. Pino, City Manager

Councilors:

Larry A. Delgado, Dist. 1

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Peso Chavez, Dist. 4

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SURVEY SHEET ATTACHED SURVEY SHEET NOT AVAILABLE NOT SURVEYED

APPROVAL REQUIREMENTS: NEW CONSTRUCTION EXTERIOR RENOVATION

DEMOLITION BASAL SQUARE FOOTAGE

PROPOSAL: Addition on north elevation.

BOARD ACTION

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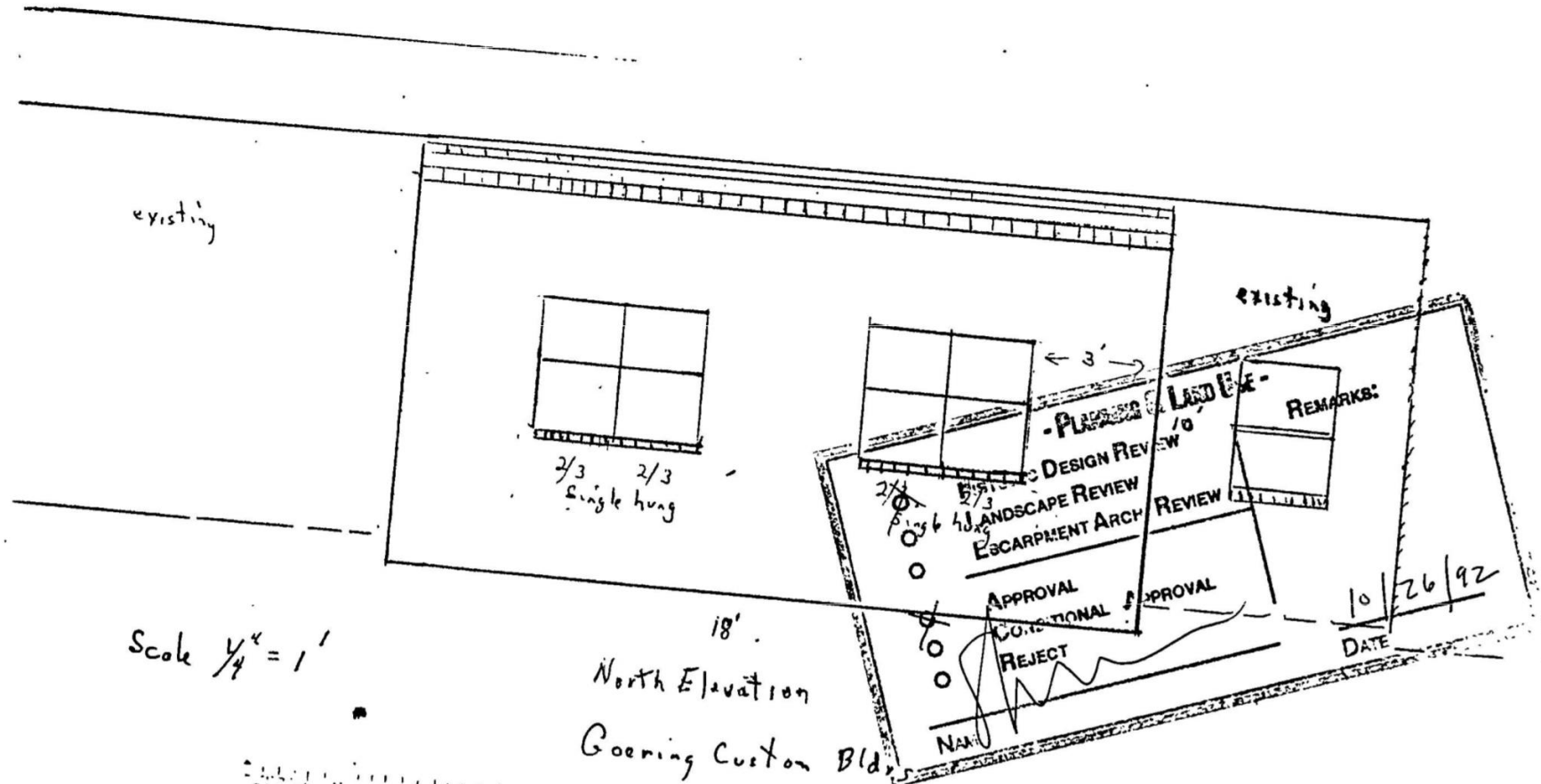
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Sincerely,

Mary Grzeskowiak
Urban Design Review Specialist

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rec'd
10/26/92



Scale $\frac{1}{4}'' = 1'$

North Elevation
Goering Custom Bldg

existing

existing

City of Santa Fe, New Mexico

memo

DATE: October 26, 1992

TO: Historic Design Review Board Members

FROM: Mary Grzeskowiak, Urban Design Review Specialist

CASE #H- 92-159 ADDRESS 826 CAMINO DEL PONIENTE

REFERENCE ATTACHMENTS (Chronologically):

CITY SUBMITTALS	APPLICANT SUBMITTALS
<input type="checkbox"/> Case Synopsis	<input checked="" type="checkbox"/> Proposal Letter
<input checked="" type="checkbox"/> District Guidelines	<input checked="" type="checkbox"/> Vicinity Map
<input checked="" type="checkbox"/> State Historical Survey Sheet	<input checked="" type="checkbox"/> Site Plan/Floor Plan
<input type="checkbox"/> Minutes of _____	<input checked="" type="checkbox"/> Photographs
<input type="checkbox"/> Other _____	<input checked="" type="checkbox"/> Elevations
	<input type="checkbox"/> Other _____

STAFF RECOMMENDATIONS:

The applicant has submitted illustrations which depict a territorial revival designed 18'x9' kitchen addition on the north (front) of the building. Other than the windows being located less than 3 ft. from the building's/addition's outside corners, and therefore not in keeping with SFCC 14-70.9 (C) (2), staff has no concerns.

1. OLD HISTORIC DISTRICT

(Section 14-70.9, SFGC 1987; pgs. 1636 - 1639)

The Board reviews publicly visible projects, such as new construction, additions, renovations, remodeling, and demolitions of roofed structures.

Staff reviews not publicly visible roofed structures, as mentioned above. Staff also reviews signs and miscellaneous structures (including walls/fences, non-roofed structures, repainting and stucco colors), that are publicly visible or not.

Buildings are required to be designed in the "Santa Fe Style", defined as including both the Pueblo Spanish and Territorial vernaculars. Briefly, the design regulations state that no glass panes may be greater than 30 inches in any dimension (except under portals); that doors and windows can constitute no more than 40 percent of any facade, and that no window or door can be closer than three (3) feet to the outside edge of any facade. A building's massing, color and proportion must be characteristic of adobe construction, even if made in frame/stucco or block/stucco. Pitch roofs are allowed, but must meet certain tests; ask for Resolution 88 for specifics.

14-70.9 Standards; Downtown and Eastside.

G.C.C.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, (few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed porch or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by laser porches, exterior porches, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden kanals, architraves and cornices, which, as well as doors, are frequently curved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls.

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space

LAND DEVELOPMENT

114.7

under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations.

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection.

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installations of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts.

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible provided that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Except Santa Fe style attempts to achieve harmony with historic buildings by recreation of a similarity of materials, color, proportions, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements.

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for floors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade.

(3) No cornices shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below.


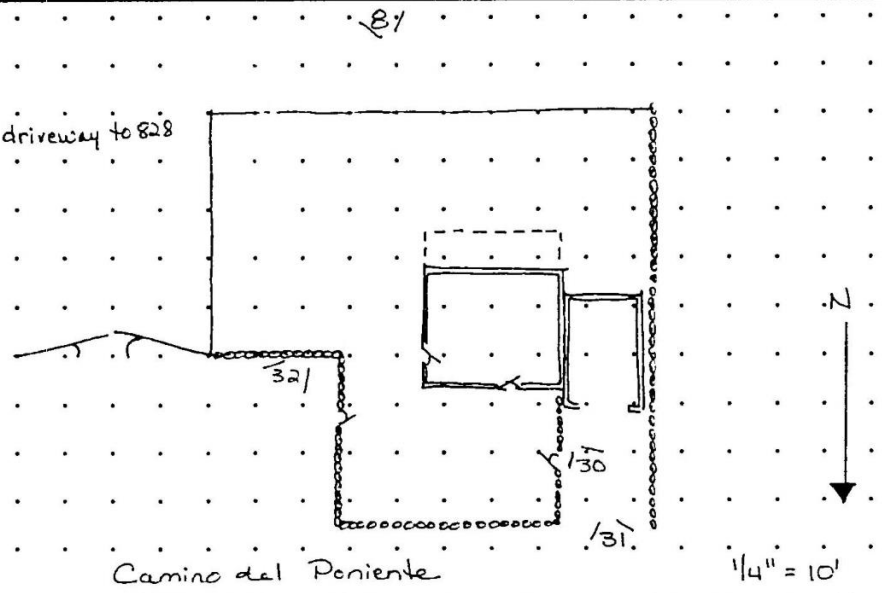
(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of

the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits.

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles, except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic and

(6) Flat roofs shall have not more than thirty inches (30") overhang.
(Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

ADDRESS: 826 Camino del Poniente Camino del Monte Sol National Historic District		ID NUMBER: 051600099		
		BUILDING NAME:		
IDENTIFICATION	UTM REFERENCE EASTING NORTHING ZONE 12 13	LEGAL DESCRIPTION: TNSP <u>17</u> N RANGE <u>10</u> E SEC <u>30</u> NW 1/4 NW 1/4		
	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85			
	DATE OF CONSTRUCTION: 1930s ESTIMATE 1951* ACTUAL			
SOURCE(S) city directory (see note)	<p># 31 north elevation (west portion)</p>			
ARCHITECTURAL STYLE: Territorial Revival				
USE:	<p>PHOTO</p>			
HISTORIC: <u>residential</u>				
OTHER _____				
PRESENT: <u>residential</u>	<p>SITE PLAN</p>			
OTHER _____				
SURROUNDINGS: residential				
BUILDING DATA	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR			
	ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
	WHAT TYPE?			
	IF INVENTORIED, LIST ID NUMBER(S) _____			
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR	<p>SIGNIFICANCE</p>			
EXPLAIN:				
OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED				
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input type="checkbox"/> CONTRIBUTING <input checked="" type="checkbox"/> NON-CONTRIBUTING	LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE Non-Contributing	LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input checked="" type="checkbox"/> NON-CONTRIBUTING	LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO

SURVEYED 9/91 BY DR

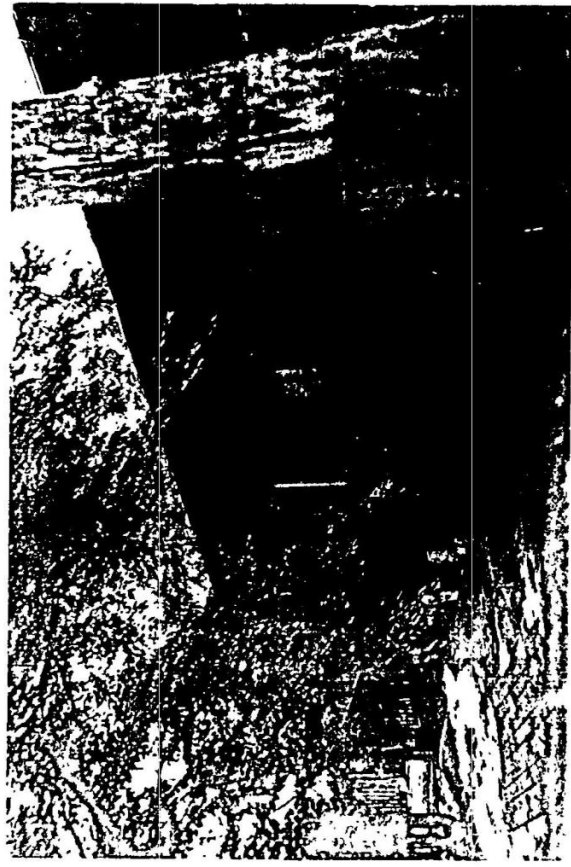
NEGATIVES WITH NMHPD ROLL # 12 NEG # 30 TO 32
ROLL 13 # 8

ARCHITECTURAL AND LANDSCAPE FEATURES

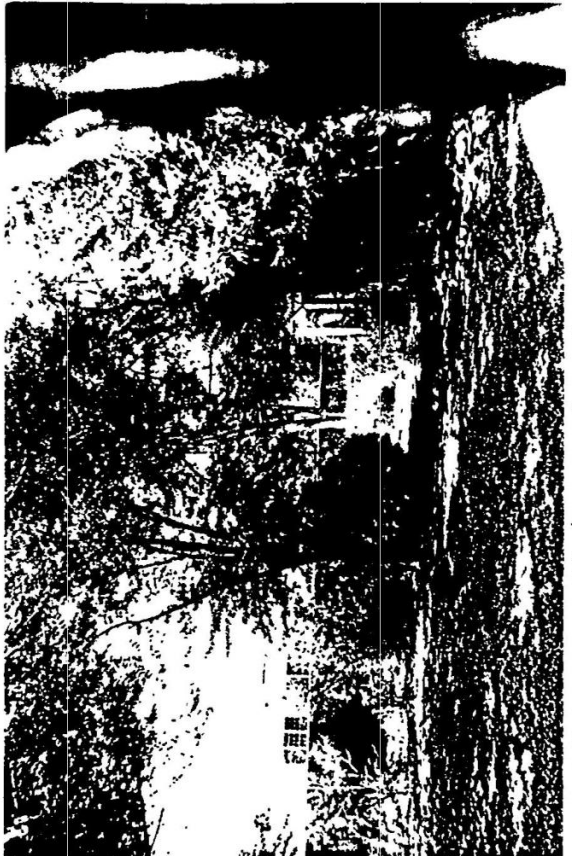
FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	stucco	
FOUNDATIONS	not visible	
DOORS	wood panel with small lights; single garage door	storm doors
WINDOWS	1/1 D+W	anodized aluminum sliders over old windows, also some storm windows
PORTALES		
CANALES	wood with metal	
PORCHES	screened porch along S-slender posts, cornice	
BALCONIES		
ROOFS	flat with brick coping	
COURTYARDS		
FENCES/WALLS	coyote fence, north & sides, stucco wall south	
ARCH. DETAILS	small metal vents near roofline	
OTHER		

COMMENTS May have been part of 828 Camino del Poniente before 1951. 828 was built by 1932. Dog bites - photos over/through fences.

ADDITIONAL PHOTOGRAPHS



#30 north elevation (east portion)



#32 partial east elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 826 Camino del Poniente
Camino del Monte Sol National Historic District

ID NUMBER
051600099

SURVEYED/RESEARCHED
DATE 9/91 BY DB



#8 roofline, south

9-23-92

To Whom: It May Concern:

The single family dwelling located at 826 Camino del Poniente was built as a guest house for the larger dwelling located behind it at 828 Camino del Poniente. The date of construction is approximately 1948. It is 1000 square feet and contains one bedroom and one bath. Construction is "pen-tile" with stucco exterior. The style is Territorial.

The proposed addition would enlarge the kitchen. It will contain approximately 162 square feet. It will match exactly the existing structure in style, color, ~~window~~ window size and roof line.

Ellen Fink

9-23-92

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The single family dwelling located at 826 Camino del Poniente was built as a guest house for the larger dwelling located behind it at 828 Camino del Poniente. The date of construction is approximately 1948. It is 1000 square feet and contains one bedroom and one bath. Construction is "per-tile" with stucco exterior. The style is Territorial.

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ELLEN FINK

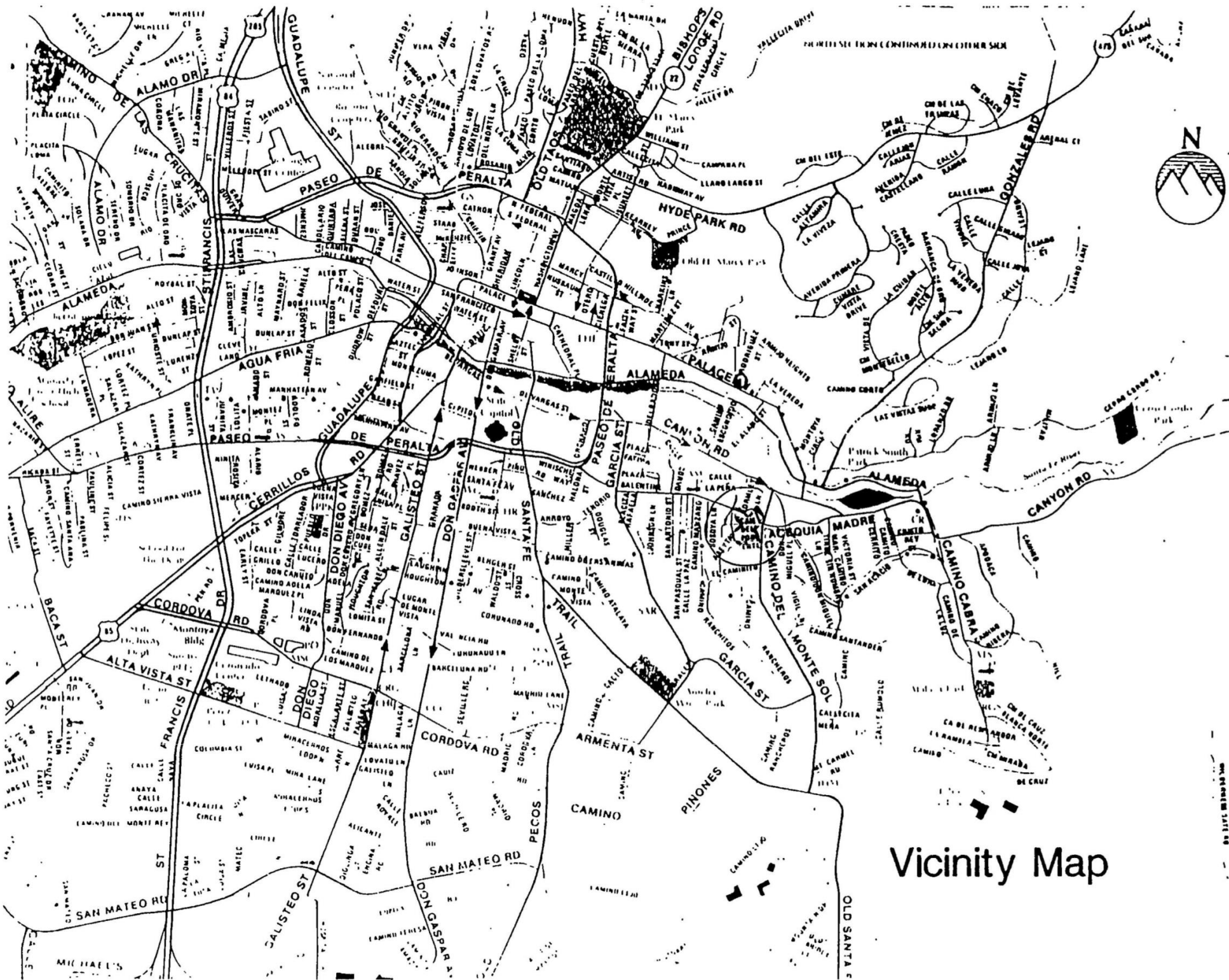


EXHIBIT D

Vicinity Map

70 504 1051
 1000
 ON OR QUIN STATE 88
 LOS ANGELES



Location on existing where addition will
be attached -



View from Street
North View



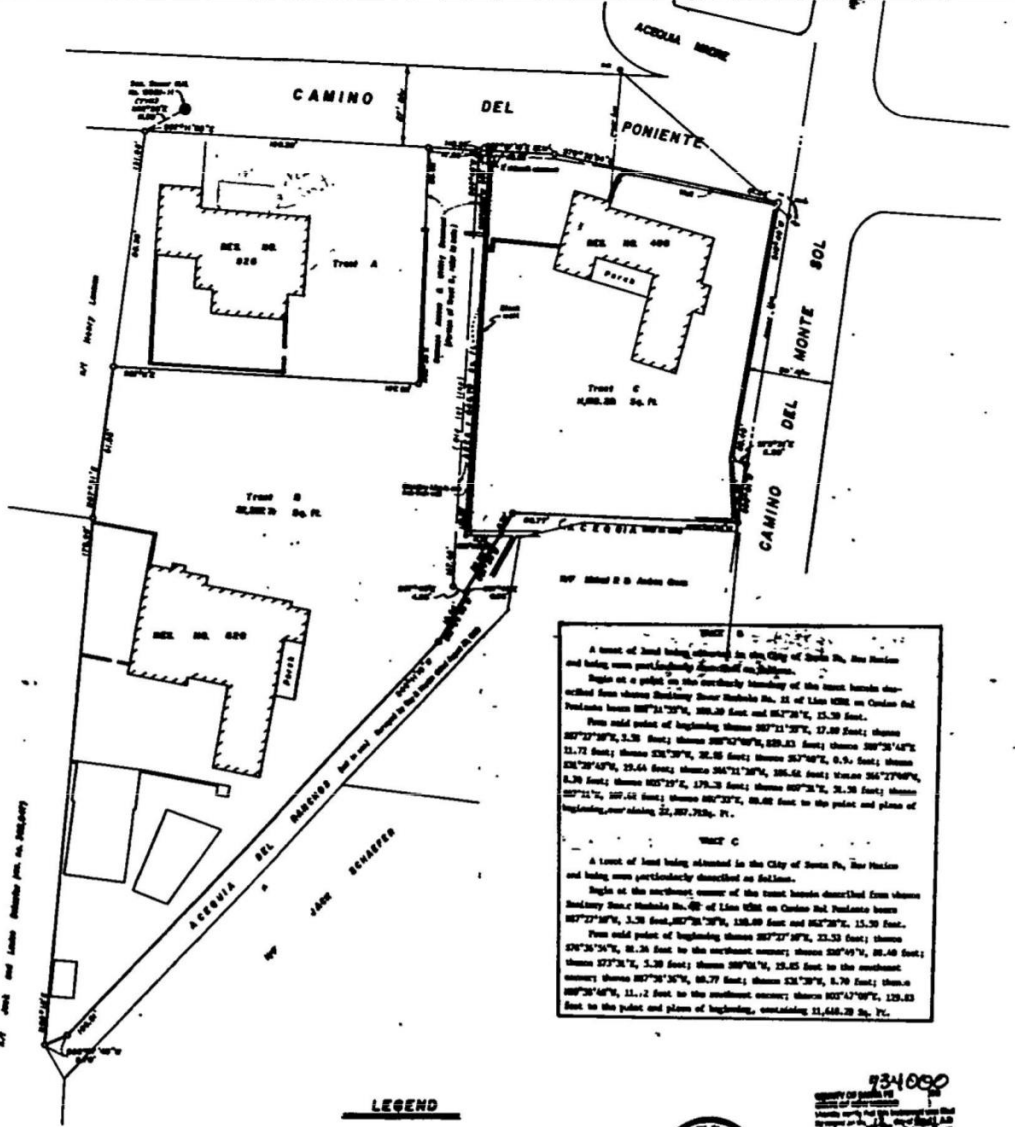
Existing (addition to be attached)



Existing



VICINITY MAP



AFFIDAVIT

STATE OF NEW MEXICO, COUNTY OF SANTA FE... I, the undersigned, being duly sworn, depose and say that the foregoing plat is a true and correct copy of the original plat...

Signature of Stephen M. Rosenthal, Justice of the Peace, and Gail Gore Gilbert, Notary Public.

NOTARY PUBLIC seal for Gail Gore Gilbert, Santa Fe, N.M.

WITNESSES: A tract of land being situated in the City of Santa Fe, New Mexico and being more particularly described as follows. WITNESS A: Right of a portion of the westerly boundary of the tract...

LEGEND

- INDICATED POINTS FOUND IN PLACE THIS SERVICE.
• INDICATED LOT BOUNDARIES BY THIS SERVICE.
• BOUNDARY OF SURVEY IN CASE FROM A PLAN OF SURVEY...



734050
COUNTY CLERK
SANTA FE COUNTY, NEW MEXICO
Christina Chavez

SCALE 1"=50'
THE UNDERSIGNED ENGINEERS HEREBY CERTIFY THAT THE LOT LINE ADJUSTMENT AS SHOWN HEREON IS WITHIN THE LIMITS OF THE CORNER AND IS IN ACCORDANCE WITH ALL THE REQUISITE LAWS AND ORDINANCES AND DOES FURTHER INDICATE EASEMENTS AND/OR RIGHT-OF-WAY AS INDICATED THEREON AND HEREBY GUARANTEE FOR COSTING UTILITY.

CITY REVIEW:
Signature of City Engineer, dated 9-13-91.
Signature of City Engineer, dated 9-13-91.

UTILITY COMPANIES:
Signature of Public Service Company, dated 9-5-91.
Signature of Public Service Company, dated 9-5-91.
Signature of Public Service Company, dated 9-5-91.

LOT LINE ADJUSTMENT FOR
GAIL GORE GILBERT, 408 Camino Del Poniente & STEPHEN M. ROSENTHAL, Justice of the Peace, 408 Camino Del Monte Sol, Santa Fe, New Mexico

North side

Window

Window

proposed addition
to enlarge kitchen

Exterior
door →

Dressing Room

BATH

Kitchen

utility

closet

Bedroom

closet

Living Room

Window

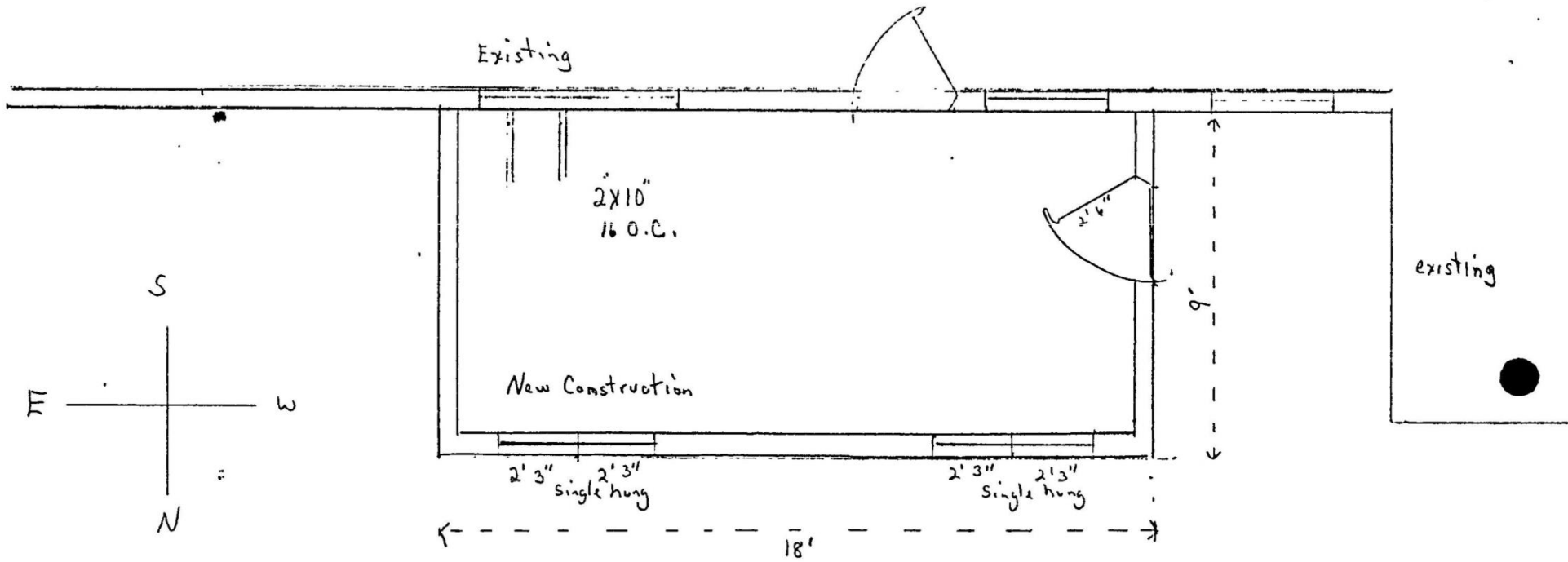
exterior
door

dining room

Scale
square = 1 foot
1/8" = 1'

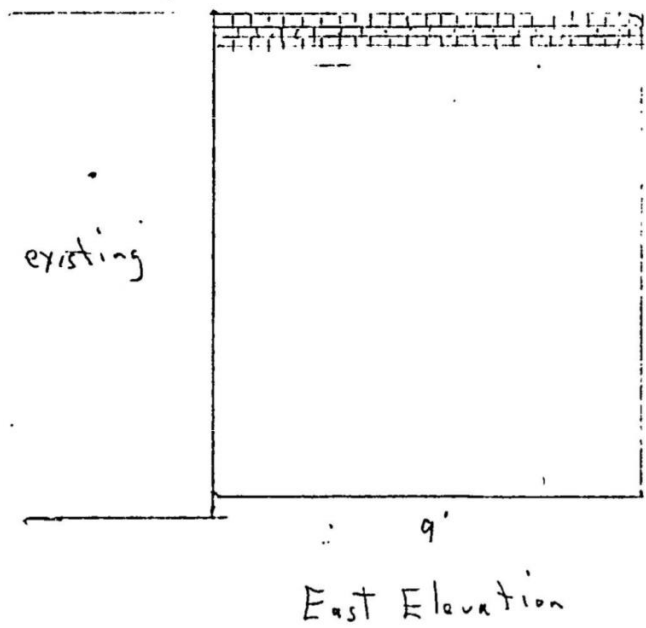
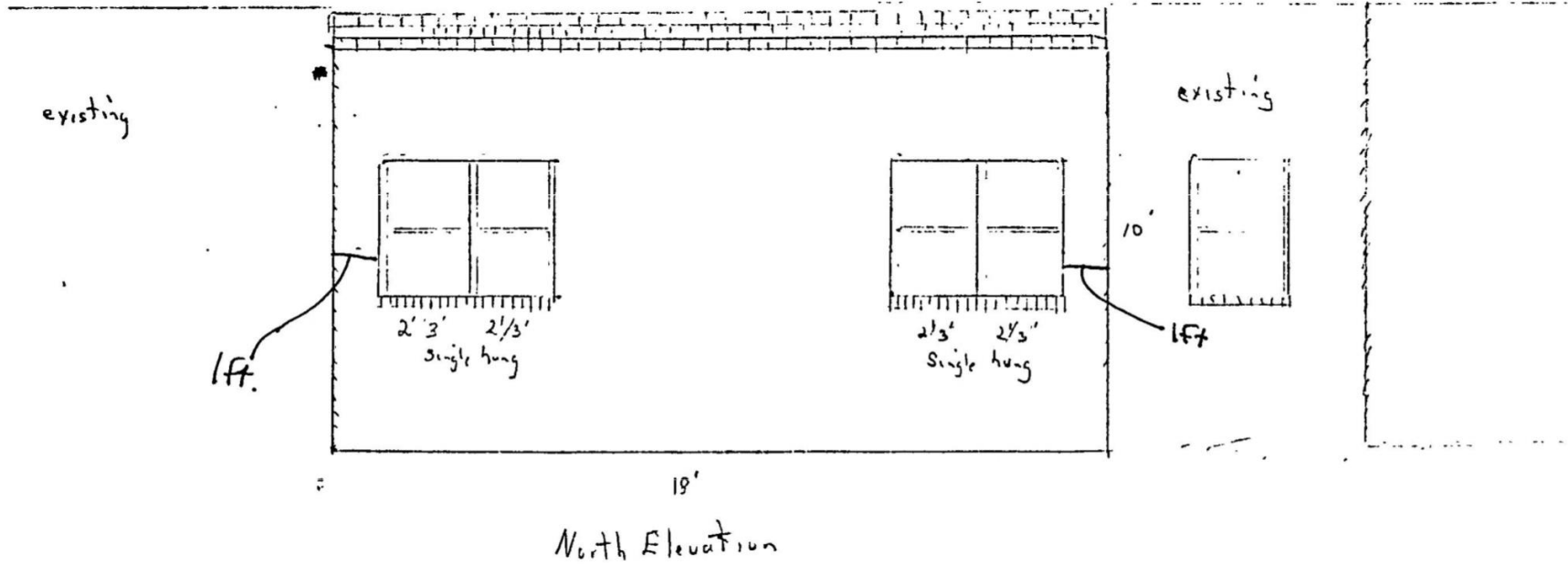
WEST

Name _____

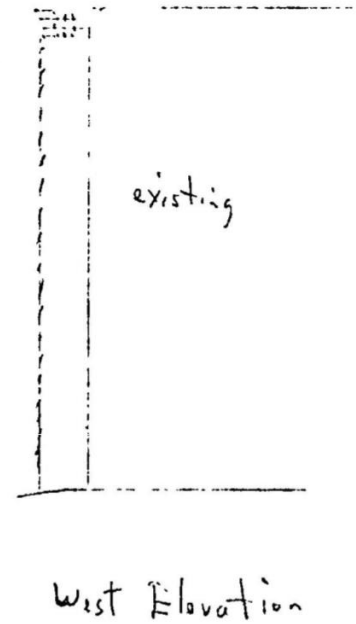


Scale $\frac{1}{4}'' = 1'$

Floor Plan



1/4" = 1'





City of Santa Fe, New Mexico

**HISTORIC PRESERVATION SECTION
OF THE PLANNING DIVISION**

To: Building Permit Office

From: David A. Rasch, Section Head DR
Marissa C. Barrett, Case Planner
Gary S. Moquino, Inspector

Date: 6.14.06

The work proposed at 826 Cam. ^{del Poniente} Poniente does not need to go to the Historic Design Review Board for review. Please allow the applicant to submit for building permit review. The permit shall be routed for review by Historic Design Review Board staff in the Planning Division.

Proposed Work:

6' high stuccoed masonry wall
with 6' high irregular-top cogote
fences on both sides of wall

Thank You.

and cogote pedestrian gate.

May have grilled window openings.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

November 14, 2023

2023-007468-HDRB

Applicant Submittal

Status Review

826 Camino del Poniente

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

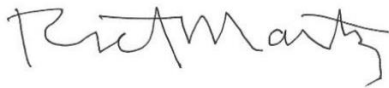
TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

STATUS REVIEW – Colton-McCoy Residence
826 Camino Del Poniente
October 13, 2023
Downtown/Eastside Historic District, Non-Contributing status

EXISTING CONDITIONS:

On behalf of the property owners, Larry Colton and John McCoy, the attached application requests a status review of the above referenced property.

Sincerely,



Richard Martinez
Martinez Architecture Studio PC

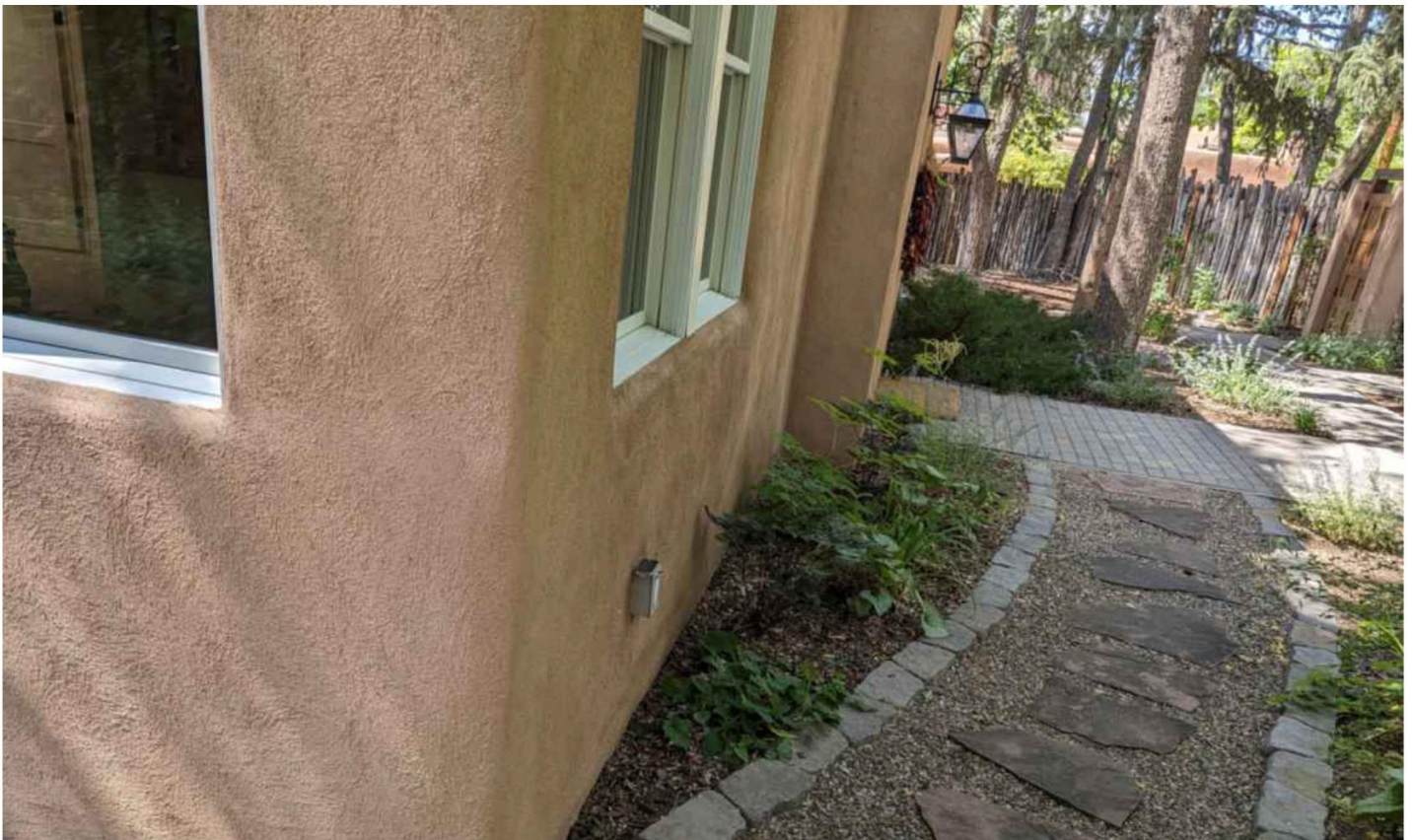


MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

NORTH ELEVATION
OCTOBER 16, 2023



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

EAST ELEVATION
OCTOBER 16, 2023



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ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

SOUTH ELEVATION
OCTOBER 16, 2023

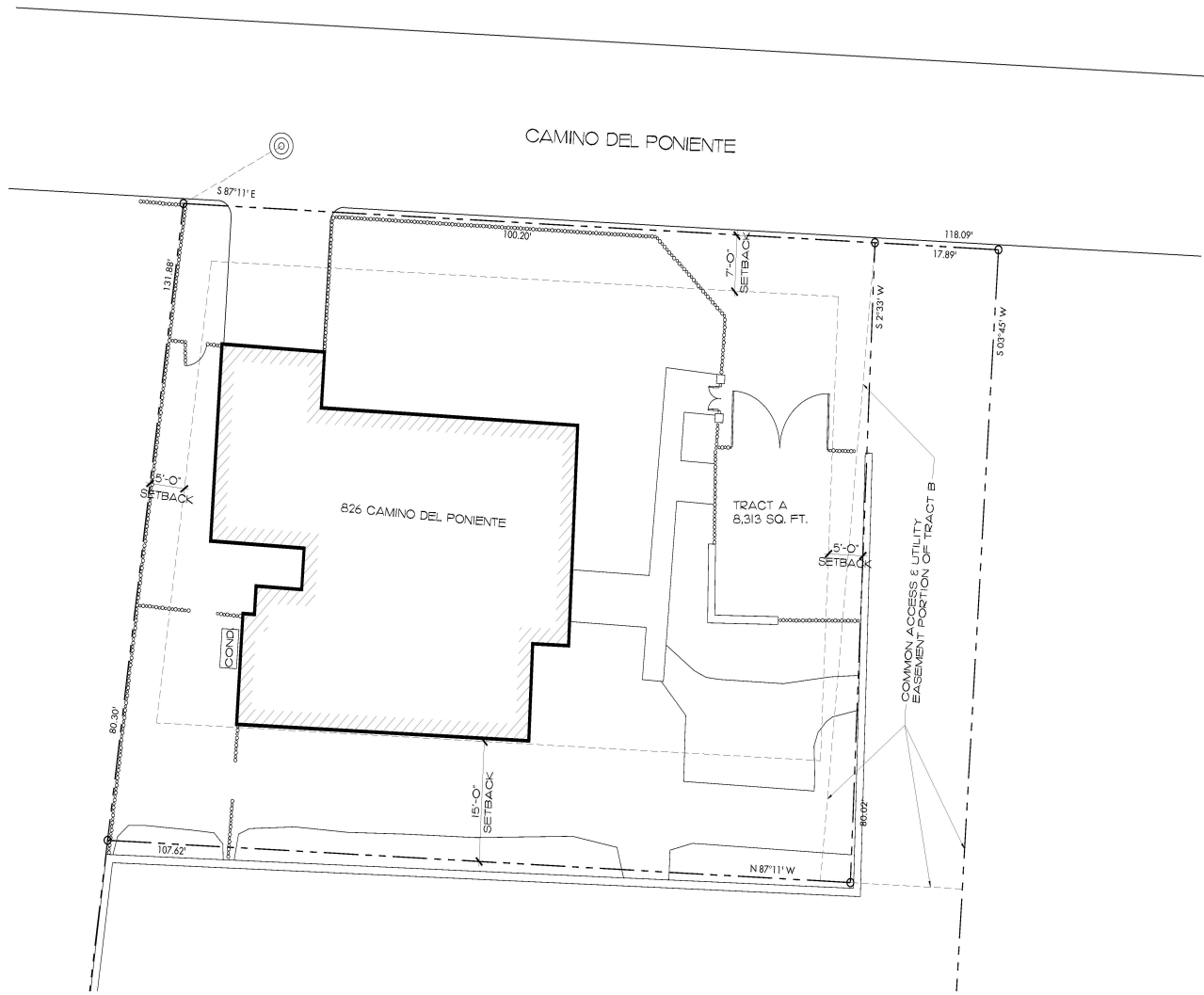


MARTINEZ
ARCHITECTURE
STUDIO PC

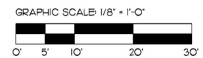
1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

WEST ELEVATION
OCTOBER 16, 2023



1 EXISTING SITE PLAN
A-10 SCALE 1/8" = 1'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505.989.4956 studio@martinezrich.com

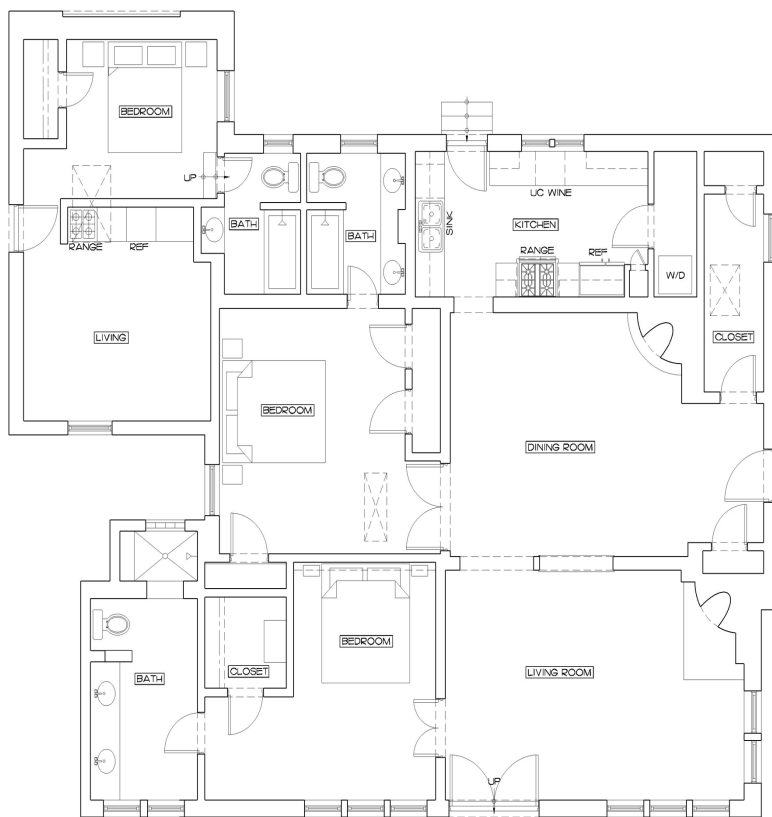
COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

OCTOBER
13, 2023

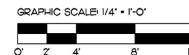
EXISTING
SITE PLAN

A
1.
0
SET
23/23 COLTON-MCCOY

Z:\2023-2-Colton-McCoy-Addison\Current Drawings\A-10-13-2023-1-15-25 PM_ArchCAD.rvt (General Documentation).pc3



1 EXISTING FLOOR PLAN
 A-2.0 SCALE: 1/4" = 1'-0" NORTH



MARTINEZ
 ARCHITECTURE
 STUDIO PC
 1524 PASEO DE PERALTA, SANTA FE
 505.989.4958 studio@martinezbich.com

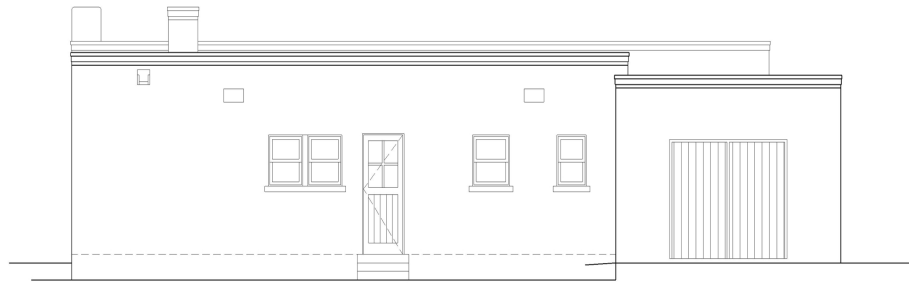
COLTON-MCCOY
 826 CAMINO DEL PONIENTE
 SANTA FE, NEW MEXICO

OCTOBER
 13, 2023

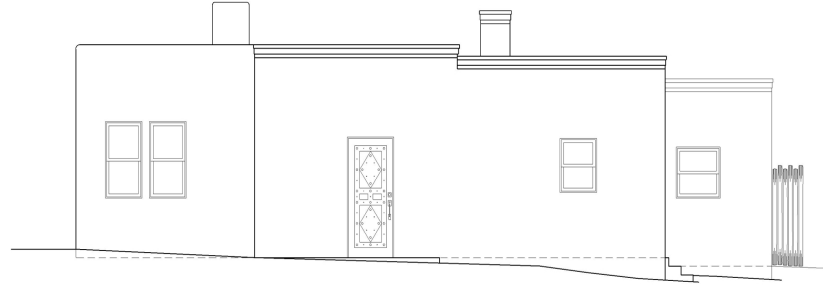
EXISTING
 FLOOR
 PLAN

A
 2.0
 SET
 23.02 - COLTON-MCCOY

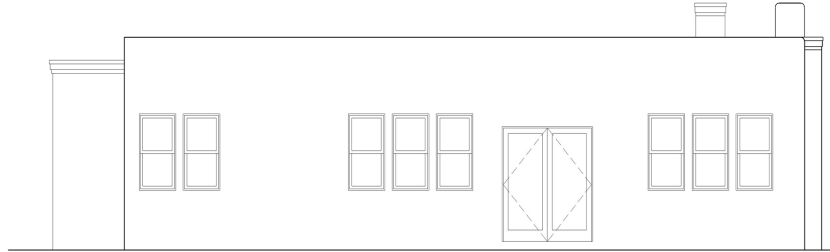
Z:\2023- Colton-McCoy-Addison\Covered Drawings\0312 - Colton-McCoy_231013.dwg, 10/13/2023 1:52:29 PM, AutoCAD Plot (General Documentation).pc3



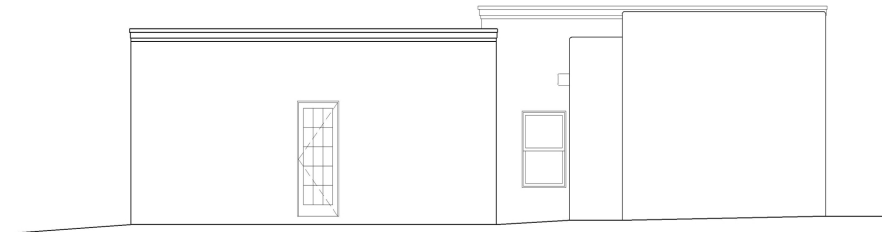
1 EXISTING NORTH ELEVATION
A-30 SCALE 1/4" = 1'-0"



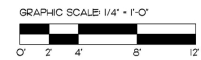
2 EXISTING EAST ELEVATION
A-30 SCALE 1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
A-30 SCALE 1/4" = 1'-0"



4 EXISTING WEST ELEVATION
A-30 SCALE 1/4" = 1'-0"



MARTINEZ
ARCHITECTURE
STUDIO PC
1524 PASEO DE PERALTA SANTA FE
505.989.4958 studio@martinezrich.com

COLTON-MCCOY
826 CAMINO DEL PONIENTE
SANTA FE, NEW MEXICO

OCTOBER
13, 2023

EXISTING
EXTERIOR
OR
ELEVATIONS

A
3.0
SET
2302-COLTON-
MCCOY

Z:\2023-2-Colton-McCoy-Addition\Current Drawings\30312-Colton-McCoy_231013.dwg, 10/13/2023 1:52:34 PM, AutoCAD Plot (General Documentation).pc3

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

Case # 2023-007402-HDRB

Address: 912 Old Santa Fe Trail

Historic Status: Non-Contributing

Historic District: Downtown and Eastside Historic District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure remain as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

912 Old Santa Fe Trail is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure straddles the Downtown and Eastside Historic District and the Historic Review Historic District, as such the structure falls under the more restrictive code guidelines in the Downtown and Eastside Historic District. The architectural style is mid-modern, estimated construction date is in the late 1950's. Documentational research shows no significant improvements or alterations.

Now, the applicant now requests status review and primary façade designations to inform future renovations.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less

than eight (8) inches thick and that geometrically straight façade lines are avoided.

Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP SRCP Criteria: A B C D

1 Name of Property <small>(Historic and/or current name for property)</small>	2 Location <small>(Address or description of location)</small>	3 Local Reference Number
	912 OLD SANTA FE TRAIL	County Santa Fe

5 Property Type

Building Structure
 Site Object

6 Date of Survey

5 / 16 / 02

7 Previous Survey Date(s)

___ / ___ / ___

No previous survey

8 Name of Project

9 UTM

Zone

Easting

Northing



10 Photo Information

Roll #: 7 Negative Location: HPD View of: NORTH
 Frame #: 24 27 29 30 32 33 CD#4 24 27 29 30 32 33 R7 27 CD#4 27

11 Brief Description of the Property (What is it?)

SIMPLE MODERNIST HOUSE WITH OVERHANGS ALL SIDES THAT IS DWARFED AND HIDDEN BY EVERGREEN TREES. GRAVEL DRIVE AND NO WALL AT STREET.

12 Who Uses the Property? (Current and historic users and uses made of property. Indicate cultural affiliation of users.)

13 Construction Date

Date: 1950s Known Estimated Source:

14 Setting

Suburban Rural Village Urban If Urban: Commercial Industrial Residential Public

15 Relationship to Surroundings Similar Dissimilar

Comments:

Continued on other side

Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Additional Perspective (Photo, drawing, footprint, etc.; Indicate north arrow when possible.)



7 Surveyor
(Your name, address, telephone number, and any group affiliation.)
Catherine Colby
906 Don Miguel Pl.
Santa Fe, NM 87505

8 Owner (if known) and Other Knowledgeable People
(Provide contact information for persons known or believed to have information about property.)

Notes: (If photo, include photo information, as in #10.) R7 29 SOUTH CD#4 29

19 Is Property Endangered? Unknown No Yes How?

20 Significance to Current Community Unknown None Low Moderate High

Describe:

21 Other Significance or Information of Interest (Such as historical, legendary, structural, former ownership, etc.)

22 National or State Register (See instructions for eligibility criteria.)

Is this property individually listed on a historic register? Unknown No Yes

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why?

23 National or State Historic District

Is this property in a historic district? Unknown No Yes

If yes: Contributing Non-Contributing Unknown

If 'yes,' what is name of district? HISTORIC REVIEW State National

24 Supplemental Forms None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: PHOTOS & SITEPLAN

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Office of Cultural Affairs >>>>Please complete HCPI FORM 1 before completing Form 2 <<<<<

For HPD Office use only: HCPI No. District 3 Local Reference Number

1 Name of Property (Historic and/or current name for property) 2 Location (Address or description of location) 4 County SANTA FE 5 Date of Survey 5/02

ARCHITECTURAL AND CONSTRUCTION DETAILS

6 Visible Construction Material

Adobe Brick Composition Concrete: Block

Concrete: Cast Stone Concrete: Poured Earth Plaster Masonry: Simulated

Metal: Corrugated Metal: Structural Siding Metal: V-Crimp Stone: Random Ashlar

Stone: Random Coursed Stone: River Rock Stone: Rusticated Stone: Tabular

Stucco Tile: Structural Clay Vinyl Siding Wood: Board & Batton

Wood: Horizontal Siding Wood: Jacal Wood: Log Wood: Shingle

Wood: Tongue & Groove Other: _____

Notes:

7 Number of Stories Not Applicable

Number: 1 1 1/2 2 2 1/2 Other: _____

8 Foundation Not Applicable

Not Visible None At Grade Above Grade Raised

Materials: Concrete Stone Other: _____

Notes:

9 Roof Not Applicable

Shape: Flat Gabled Hipped Pyramidal

Shed Other: _____

Pitch: None Low Medium Steep

Features: Eave Parapet

Materials: Asphalt Composition: Shingle Composition: Roll

Earth Metal: Corrugated Metal: Pressed

Metal: Standing Seam Metal: V-Crimp

Tile: Terra Cotta Wood: Shingle

Other: _____

10 Windows (Describe operation, materials, and glazing patterns of those windows on main or street facing elevation and other notable windows.)

Not Applicable

Operation	Material	Glazing	Number
SLIDING	METAL	1/1/1	3

Notes:

11 Doors (Describe type, style, and material of those doors on main or street facing elevation and other notable doors.)

Not Applicable

Type	Style	Material	Number
------	-------	----------	--------

Notes:

12 Chimneys (Describe whether interior or exterior and material)

INTERIOR

13 Porches Not Applicable

Type: Entry Partial-Width Full-Width Wrap

14 Other Significant Features (Unique or outstanding features; Describe)

15 Modifications (For each modification, indicate the source of the modification date stated. If it is your own, write "surveyor." If prior survey, give date of survey.)

No known modifications

1. _____ Date: _____ Known Estimated Source: _____

2. _____ Date: _____ Known Estimated Source: _____

Continued on other side

HCPI Detail Form (FORM 2)

(Continued from the other side)

Historic Preservation Division, New Mexico Office of Cultural Affairs

16 Primary Architectural Style

Not Applicable

Art Deco/Streamline Moderne

Gothic Revival

Mission Revival

Pueblo

Spanish-Pueblo Revival

Bungalow/Craftsman

International

Neo-Classical

Queen Anne

Territorial

Colonial Revival

Italianate

Northern New Mexico

Ranch

Territorial Revival

Folk Victorian

Mediterranean

Prairie

Spanish-Colonial

Tudor Revival

Notes:

Other: SIMPLIFIED MODERNIST

17 Documents Available and Their Locations

(Plans, histories, oral histories, maps, aerial photos, bibliographical references, etc.)

SITE

18 Attached or Associated Properties

(List & describe. Indicate whether surveys exist for these and provide survey numbers, if known.)

Are associated properties eligible for listing?

19 Site Plan

SEE
CONTINUATION
SHEET

Please Include:

- Footprint of building
- Porches and balconies
- Major landscape features
- North arrow
- Associated properties
- Walls, fences, gates
- Nearby roads
- Driveways

Notes:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No. _____

District No. _____

3 Local Reference Number _____

1 Name of Property *(historic and/or current name for property)*

2 Location *(Address or description of location)*

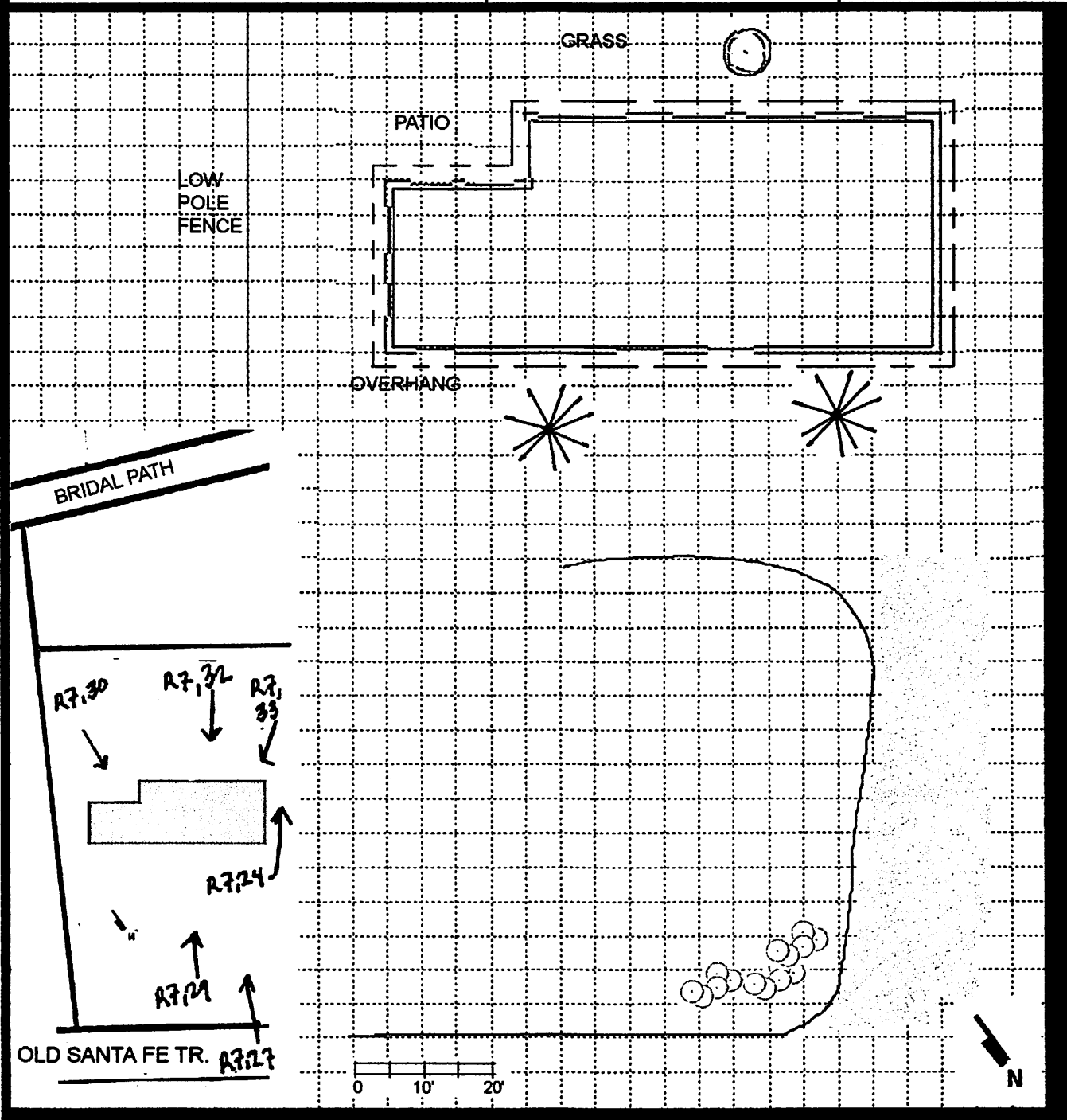
4 County _____

SANTA FE

5 Date of Survey _____

5/02

912 OLD SANTA FE TRAIL



Continued on other side

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No.

District No.

3 Local Reference Number

1 Name of Property *(Historic and/or current name for property)*

2 Location *(Address or description of location)*

4 County

SANTA FE

5 Date of Survey

5/02

912 OLD SANTA FE TRAIL



R7 24 NORTH CD#4 24



R7 27 NORTH CD#4 27



R7 29 SOUTH CD#4 29



R7 30 SOUTH CD#4 30



R7 32 WEST CD#4 32



R7 33 WEST CD#4 33

Continued on other side

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. _____

District No. _____

3 Local Reference Number _____

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County _____

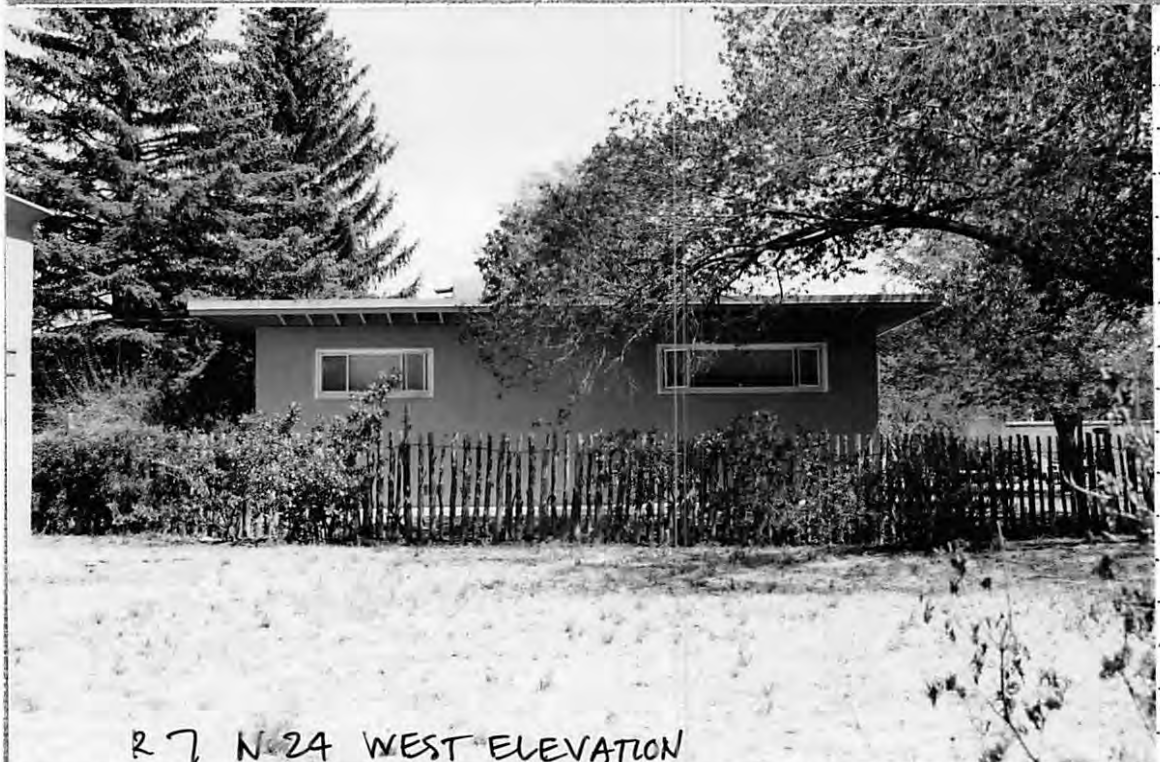
SANTA FE

5 Date of Survey _____

5/02

37 A. D. H. Z. Q. J. O. J. H. A. S. T. Y.

912 OLD SANTA FE
510 TRAIL



R 7 N 24 WEST ELEVATION



R 7 N 24 WEST ELEVATION

ed on other side

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only

HCPI No. _____

District No. _____

3 Local Reference Number _____

1 Name of Property (Historic and/or current name for property)

2 Location (Address or description of location)

4 County _____

SANTA FE

5 Date of Survey _____

5/02



used on other side

Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only:

HCPI No.

District No.

3 Local Reference Number

1 Name of Property *(Historic and/or current name for property)*

2 Location *(Address or description of location)*

4 County

SANTA FE

5 Date of Survey

5/02

912 OLD SANTA FE TRAIL



used on other side

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING SUMMER OF 2002.
RESULTS OF THE SURVEY AS REFLECTED ON
THE ATTACHED HAVE NOT BEEN ADOPTED BY
THE HISTORIC DESIGN REVIEW BOARD. IT
SHOULD BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
11/04.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**











City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Assistant Director, Planning & Land Use

2023-007432-HDRB. 771 W. Manhattan Ave. Westside-Guadalupe Historic District. Non-contributing residence, Raul Dominguez, agent for Robert Sisneros, owner, requests to remove asphaltic roof material and replace with metal roof, color rustic red.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Roof Material Sample

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(I) Westside-Guadalupe Design Standards.

BACKGROUND & SUMMARY:

The building at 771 W Manhattan is a single-family residence listed as non-contributing to the Westside-Guadalupe Historic District. The Historic Districts Inventory Form states that the building was constructed post-1945; staff has done some research on historic aerials of Santa Fe. In the 1981 aerial, the site is vacant.



Figure 1 1981 Aerial – Vacant Lot

By 1985 the home was constructed. It appears to be of frame or CMU construction, has a pitched roof with rust-colored asphalt shingles, and anodized metal windows.

Now, the applicant proposes the following exterior alterations:

- 1) Replacement of the existing asphalt shingles with a Propanel roof with “Crimson Red” color, which will be similar to the existing accent color on the house as well as the existing shingles.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(I) Westside-Guadalupe Historic District

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone, shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- (b) The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation;
- (c) Roof form, slope, and shape. It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;
- (d) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors, by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- (f) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of

unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;

(g) Greenhouses


(h) Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and that greenhouses made from enclosed porches or portales maintain the shape of the porch or portal;

(i) Porches and portales are encouraged;

(j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

building threatened? yes	surveyed date 8/7/85 by HMW	county SANTA FE	ID no. 051613676
field map SFHD # 7	number 676	UTM reference zone 12 13	easting northing
location description 771 W. MANHATTEN (on AMADO)		city/town SANTA FE	
		land grant/reservation	
building name	legal description tnsp <u> </u> N S range <u> </u> E W sec <u> </u> <u> </u> <u> </u>		
film roll by HMW no. SFHD # 14	negative nos. 21	loc. of neg. HPB	plan shape
		date of construction estimate <u>P45</u> actual	
		source	
		use present residential other _____	
		historic residential other _____	
style	foundation material	condition ___ excellent ___ good ___ fair ___ deteriorating	
	wall material/surface	degree of remodeling ___ minor ___ moderate ___ major	
architectural features		describe:	
		surroundings <u>PES</u>	
		relationship to surroundings ___ similar <input checked="" type="checkbox"/> not similar	
		district potential ___ yes ___ no	
		significance ___ eligible ___ of <input checked="" type="checkbox"/> none	
comments		if eligible, interest why? <u>NC</u>	
		associated buildings? ___ yes	
		what type?	
		if inventoried, list ID nos.	
		see	

Oct. 27, 2023

I, Robert Sisneros, give my permission to have the shingles removed and new propanel put on the roof at 771 West Manhattan Ave, Santa Fe, NM.

Rob Sisneros

Dominguez R&R

Proposal

Date: June 26, 2023

EMAIL: dominguezr_r@yahoo.com

Phone: (505)204-2732 (505)316-4161



To: Robert Sisneros

We hereby submit an estimate and specifications for: **New Pro-Panel Roofing System**

Roof Permit- \$300

Removal of current existing Shingles Roof- \$1,410

- Tear off existing roof down to the frame
- All waste will be disposed by us

Ice and Water Shield- \$1,410

- Cover exposed Frame with underlayment for Roof Protection

New Pro-Panel Roofing System- \$11,280 (Pro-Panel will be color of choice from samples provided)

- First we will Install new Eave Trim over underlayment
- Then we Install new Metal Panels on entire roof
- On sided we will cover Metal Panels with Gables
- Then on top we will cover Metal Panels with Ridge Cap
- All Pipes and vents will be properly sealed
- This will include a 10 year warranty once job has been completed

Subtotal- \$14,400

Tax- \$1,224

Total= \$15,624

50% DOWN PAYMENT DUE AT TIME OF PROPOSAL ACCEPTANCE

**THE PRICE OF THE JOB IS NOT BASED ON THE HOURS WORKED OR THE NUMBER OF MEN WORKING!
PRICE IS CALCULATED ON SIZE OF ROOF AND NUMBER OF PENETRATIONS**

IF PROPOSAL IS ACCEPTABLE PLEASE SIGN & RETURN VIA FAX, E-MAIL, OR MAIL ALONG WITH BILLING INFORMATION. PROJECT WILL NOT BE SCHEDULED UNTIL WE RECEIVE SIGNED PROPOSAL

Payment is to be made as follows: DUE IN FULL UPON COMPLETION OF WORK

OFFER OF PROPOSAL

All material is guaranteed to be specified. All work is to be completed in a professional manner according to standard practices. Any alteration or deviation from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate.

Note: this proposal may be withdrawn by us if not accepted in writing within thirty (30) days.

Authorized Signature:

Date:

ACCEPTANCE OF PROPOSAL

The above specifications, terms and conditions of this proposal are hereby accepted. You are authorized to do the work set forth herein. Payment will be made as stated above

Authorized Signature:

Date:



Metal Center

METAL ROOFING SUPPLY

3501 Pan American Freeway NE • Albuquerque, NM 87107 • 505-717-2224 • www.metalcenterusa.com
sales@metalcenterusa.com



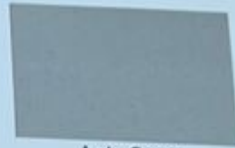
Light Stone



Cocoa Brown



Charcoal



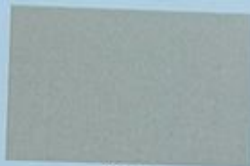
Ash Gray



Rustic Red



Hawaiian Blue



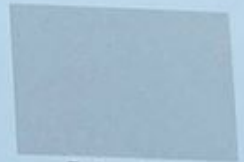
Ivory



Saddle Tan



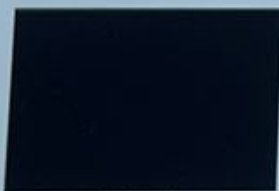
Evergreen



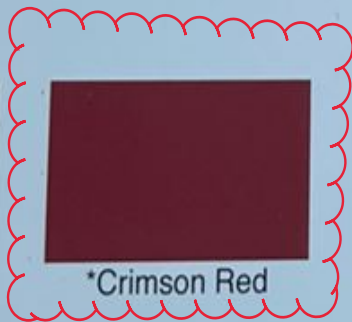
Polar White



Galvalume



*Black



*Crimson Red



*Matte Black



*Gallery Blue



*Colony Green



*Copper Metallic



*Burnished Slate

***Denotes A Premium Color**
Note: Color samples may vary from the actual coated product.
Please obtain actual metal samples for color approval.



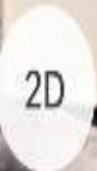
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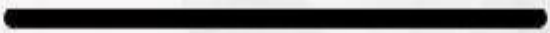






Google

(35°41'01"N 105°57'07"W) 1 mi





CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-007474-HDRB. 412 Camino Cabra. Downtown & Eastside Historic District. Non-contributing. Jon Dick, agent for Tom Wilmoth, owner, requests historic status review with primary façade(s) designation.

Case number: 2023-007474-HDRB
Project Type: Status review with primary façade(s) designation

PROJECT LOCATION (S): 412 Camino Cabra

PROJECT NAMES:

OW – Tom Wilmoth, 412 Camino Cabra, Santa Fe, NM 87505
402-475-7080 tom@bwjlawgroup.com

AP – Jon Dick, 1512 Pacheco St., Santa Fe, NM, 87505
505-820-7200 jon@archaeoarchitects.com

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER H-051611615

YEAR OF CONSTRUCTION 1950

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME Francisco Roybal House

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Paul Duran, Senior Planner, Historic Preservation Division

2023-007474-HDRB. 412 Camino Cabra. Downtown & Eastside Historic District. Non-contributing. Jon Dick, agent for Tom Wilmoth, owner, requests historic status review with primary façade(s) designation.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Primary Façade Diagram

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be upgraded to contributing with the east façade designated as number four and the southwestern wall designated as nine in the façade diagram as primary, per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

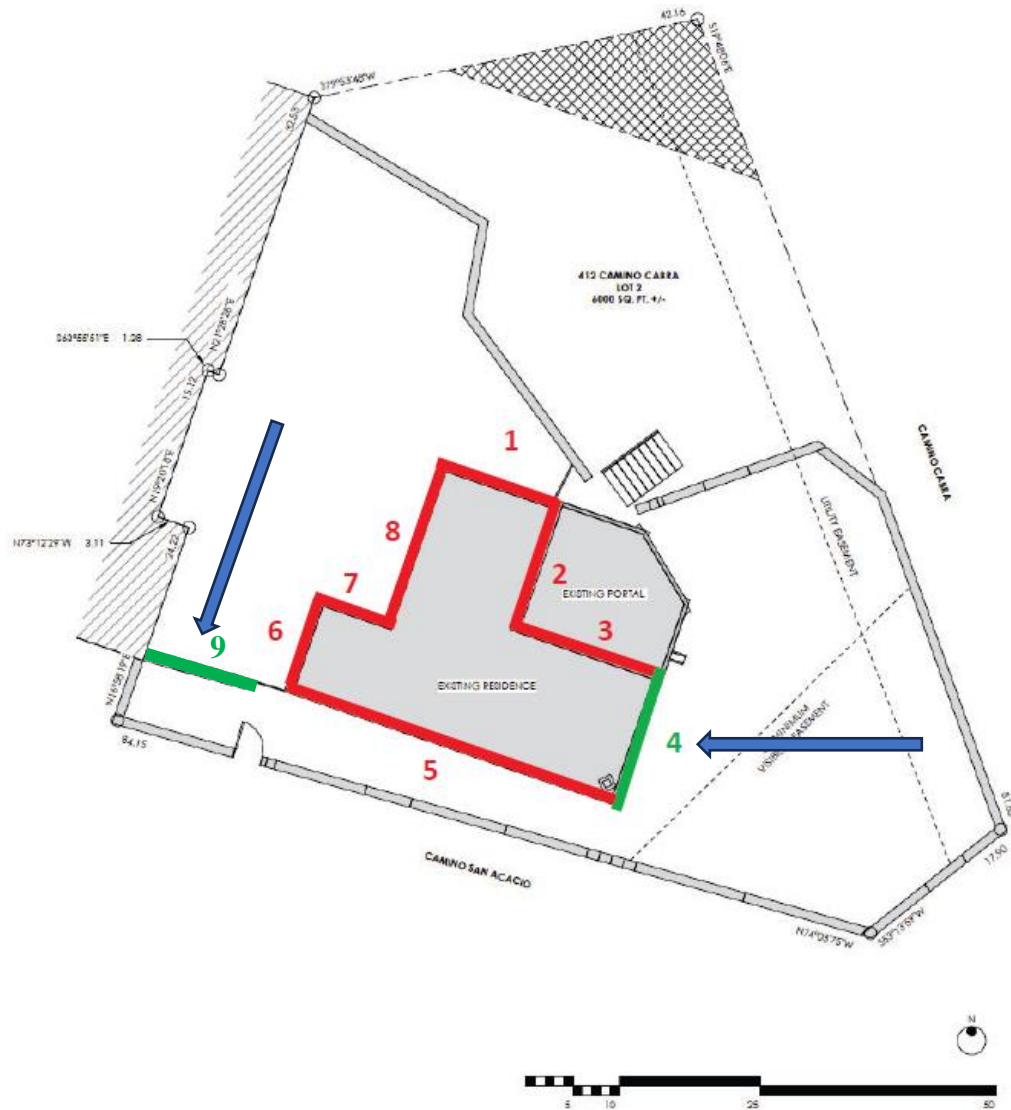
412 Camino Cabra is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The structure was built in 1950 on a 0.147-acre lot and totaled 734 square feet. The structure was built in a modest Santa Fe vernacular style with an L-shaped form constructed out of masonry block, metal casement windows, and a wooden flat roof. A portal wraps around the northeastern façade comprised of wooden viga beams and corbels. Two

alterations occurred after 1978, which includes the addition of a portal on the east elevation and a closet addition on the west elevation, but the core of the structure remains intact.

The structure, and a previous older adjacent structure which has since been demolished, was constructed by the Lucrecio Roybal family. One of the sons, Frank Roybal, resided on the property after returning from World War II and is the one that constructed the residence. Frank worked for Allen Stamm's home construction company.

Staff recommends a contributing status due to the relatively minor changes to the building over time. Staff further recommends designating the east elevation (including façade 4 and excluding the portal) as well as the "orphan wall" between the subject building and the adjacent building to the west that hints at the history that once another house existed on the site.

A previous Historic Cultural Properties Inventory (HCPI) form was completed in 1984. The structure was given non-contributing status because it did not meet the 50-year historic threshold. The structure is now 73-years old and meets the historic threshold to be designated as contributing to the Downtown and Eastside Historic District.



RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

Building threatened by _____ recorded _____ by _____ County _____ No. _____
date 29-XI-84 by _____ Santa Fe 051611615

Building number SFND-6-1615 Building reference zone 12 13 ending _____ northing _____

Location description
412 CABRA

City/Town Santa Fe
Land grant/reservation _____

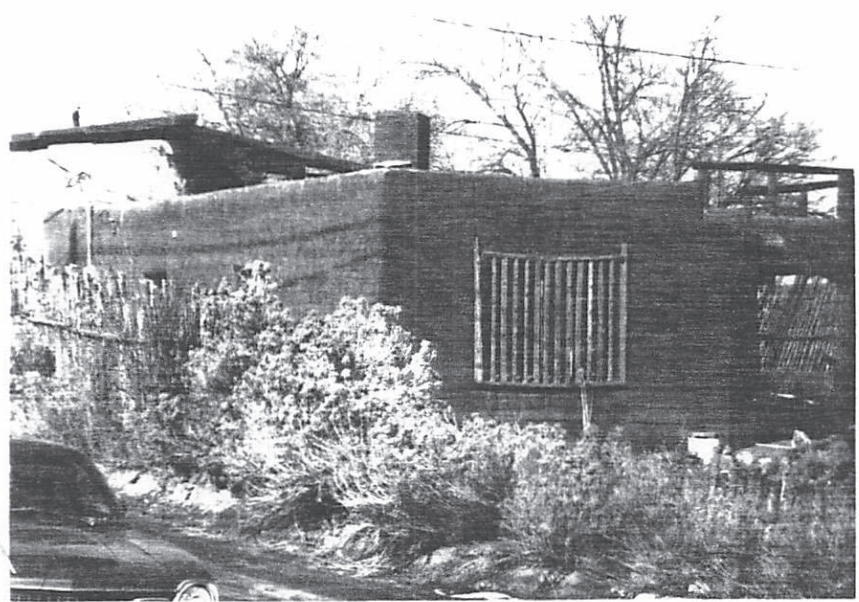
Building name _____

Legal description
Twp _____ N S Range _____ E W Sec _____

Roll no. 21

Negative nos. 33

Map of map _____
Plan sheets _____



Date of construction
P estimate _____ actual _____
Source _____

Use
Present residential
Other _____
Historic residential
Other _____

Condition
Excellent _____ good _____
Fair _____ deteriorating _____

Style _____

Foundation material _____
Wall material/surface _____

Degree of remodeling
Minor _____ moderate _____ major _____
Describe: _____

Architectural features _____

Surroundings R-
Relationship to surroundings
X similar _____ not similar _____
District potential
yes _____ no _____

Significance
eligible _____ of X none _____
interest _____
If eligible, interest _____
why? _____


Comments _____

Associated buildings? _____ yes _____
what type? _____
If inventoried, list ID nos. _____
see back? _____ yes _____

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: October 13, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: H-051611615 (old district #)
5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: multiple walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: September 21, 2023 October 4, 2023		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: November 29, 1984 <input checked="" type="checkbox"/> No:		
8. Name of Project: HDRB Status Evaluation		
9. Lat/Long: 35.6778018,-105.9165547		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of east elevation, facing northwest. Sept. 21, 2023.		
11. Brief Description of the Property: Likely constructed in 1949-50, the subject house sits on a roughly triangular lot on the corner of Camino San Acacio and Camino Cabra. It is historically associated with the former street and was once part of the Roybal family compound. It shares exterior ornamentation with another house at 410 Camino Cabra which was historically under the same ownership. The block-constructed, flat-roof, L-plan home has a vernacular feel and shows its construction era with standard casement windows. The tiny 722-square-foot home holds two bedrooms, a living room, a kitchen, and a bathroom.		
<i>Continued on Page 5.</i>		
12. Who uses the property?		
13. Construction Date: Date: c.1949-1950 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and city directory entries		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporuscio

For current owner: Wilmoth-Lundine Family Trust

18. Owner (if known) and other knowledgeable people:

Current owner: Wilmoth-Lundine Family Trust

John Tafoya, Ernestina Tafoya, and Robert Martinez

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing Non-contributing: house No Status: walls
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2
 HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria A B C D

1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615
		4. County: Santa Fe
		5. Date of Survey: September 21, 2023 October 4, 2023

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: ___ Adobe ___ Brick ___ Composition ___ Concrete: Block ___ Concrete: Cast Stone ___ Concrete: Poured ___ Earth Plaster ___ Masonry: Simulated ___ Metal: Corrugated ___ Metal: Structural Siding ___ Metal: V-Crimp ___ Stone: Random Ashlar ___ Stone: Random Coursed ___ Stone: River Rock ___ Stone: Rusticated ___ Stone: Tabular ___ Stucco: ___ Tile: Clay ___ Vinyl Siding ___ Wood: Board and Batten ___ Wood: Horizontal Siding ___ Wood: Jacal ___ Wood: Log ___ Wood: Shingle ___ Wood: Tongue and Groove ___ Other: CMU	7. Number of Stories: ___ N/A Number: ___ 1 ___ 1 1/2 ___ 2 ___ 2 1/2 Other: _____ 8. Foundation: ___ N/A ___ x Not visible ___ None ___ At Grade ___ Raised: Materials: ___ x Concrete: used as support ___ Stone Other: Notes 9. Roof: ___ N/A Shape: ___ x Flat ___ Gabled ___ Hipped ___ Pyramidal ___ Shed Other: Pitch: ___ None ___ Low ___ Medium ___ Steep Features: ___ Eave: ___ Parapets Materials: ___ x Asphalt and tar ___ Earth ___ Composition shingle ___ Metal: Pressed ___ Composition Roll ___ Metal: Corrugated ___ Metal: Standing Seam ___ Metal: V- Crimp: Red Panel ___ Tile: Terra Cotta ___ Wood: Shingle Other:
---	--

10. Window Types <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Steel</td> <td>2</td> <td>1</td> </tr> <tr> <td>Casement</td> <td>Steel</td> <td>4: 3C, 1T</td> <td>2</td> </tr> <tr> <td>Casement</td> <td>Steel</td> <td>6: 3C, 3F</td> <td>4</td> </tr> <tr> <td>Combination</td> <td>Steel</td> <td>16: 3C, 6F, 3C, 4T</td> <td>1</td> </tr> </tbody> </table>	Operation	Material	Glazing	Number	Casement	Steel	2	1	Casement	Steel	4: 3C, 1T	2	Casement	Steel	6: 3C, 3F	4	Combination	Steel	16: 3C, 6F, 3C, 4T	1	11. Door Types <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>15-light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>4-light/3-panel</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>3-panel</td> <td>Wood</td> <td>1, ext. gate</td> </tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	15-light	Wood	1	Single-Leaf	4-light/3-panel	Wood	1	Single-Leaf	3-panel	Wood	1, ext. gate
Operation	Material	Glazing	Number																																		
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Single-Leaf	15-light	Wood	1																																		
Single-Leaf	4-light/3-panel	Wood	1																																		
Single-Leaf	3-panel	Wood	1, ext. gate																																		

12. Chimneys ___ x ___ 1, interior, short stucco-clad stack	13. Porches ___ x ___ N/A Type: ___ Entry ___ x Partial-Width* ___ Full-Width ___ Wrap * post-1978, three-sided porch over brick patio
--	---

14. Other Significant Features N/A

15. Modifications: ___ x ___ No known modifications

#1 Date: Post-1978; installation of app. 220 SF porch over brick patio; aerial photographs and visual evidence
#2 Date: Post-1978; app. 88 SF closet addition at southwest corner; aerial photographs and visual evidence

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

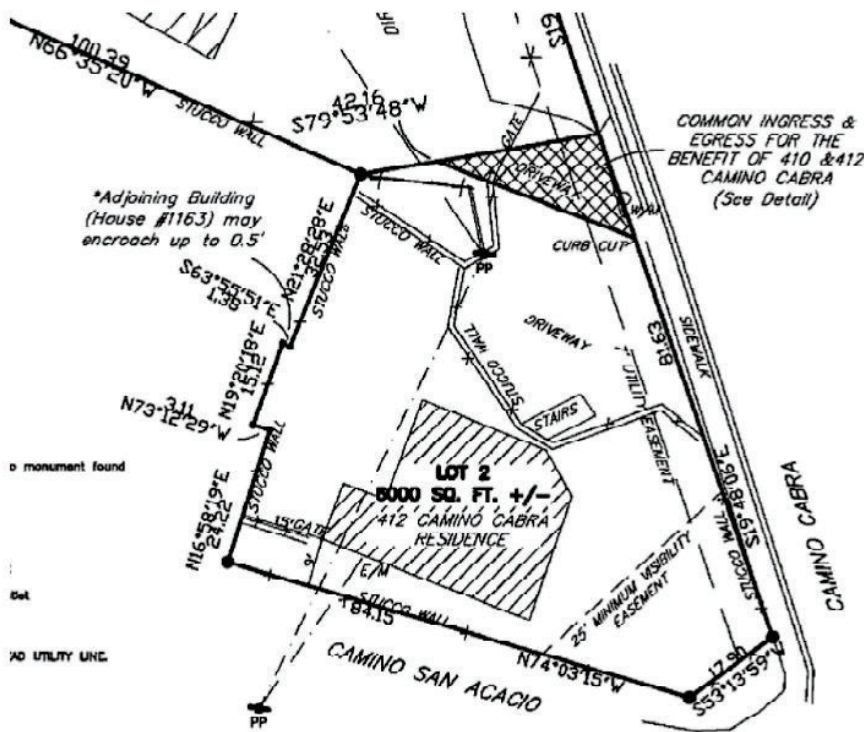
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
--	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing:

19. Site Plan: Portion of 1985 survey plat. Courtesy Rio Embudo Surveying Company.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615			
		4. County: Santa Fe			
		5. Date of Survey: September 21, 2023 October 4, 2023			

Architectural Description Continued

Setting

The house rests on a graded pad above a gentle slope overlooking Camino Cabra and across to Apodaca Hill, with Cerro Gordo in the distance. The house site is mostly level and comprised of packed earth and walkways. Landscaping is minimal. The backyard is dirt and potentially represents the footprint of an adjacent demolished dwelling. It is approached from Camino Cabra by a series of concrete steps scaling up the slight slope (Photo 2). The stairs meet a porch and fence added to the house after 1978 (Figs. 7 & 8).

House

East Elevation

The relative east elevation, facing Camino Cabra, could be considered the primary façade. Its small projection at the living room has the most interest of all the elevations. This wall is dominated by a 16-light steel combination window, the only view window of the home (Photo 3). The unit consists of a central eight-light fixed panel flanked by three light casements and crowned by a four-light transom. It is the largest window in the house. Similar but smaller steel windows penetrate each elevation (Photo 13). They sit in bullnose openings at different setbacks from the wall.¹

Porch

Erected in the early 1980s, the aforementioned porch or covered patio runs along a large portion of the east façade (Photos 1 & 2). It is made of undersized vigas resting against a wood ledger supported by stucco pilasters (Photos 4 & 5). A wooden plate held up by round posts carries the vigas to the exterior. The lightning motif post corbels are precut pieces assembled with screws (Photo 6). A dog-eared board fence painted blue encloses the space (Photo 7). The three-sided 200-square-foot porch added new mass and affected the overall design of the building.

¹ For example, the window at the kitchen depth from the wall is 4" on the left and 6" on the right.

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The porch shelters two entries to the house. The left opening holds a 15-light wood door, giving access to the living room (Photo 5). Four-light exterior-hinge steel casements bracket the door. To the right, a four-light and three-panel wood unit leads to the kitchen. (Photo 8).

North Elevation

The north side incorporates part of the porch and a wall enclosing the kitchen (Photo 9). The short elevation has a single steel casement window.

West Elevation

Facing the backyard, the back side of the building shows drainage and settlement interventions (Photo 10). The roof drains over this side of building. An 8" wood overhang traces the parapet; it carries a new gutter that delivers water into a rock-lined inlet. Much of the house is girded by a low concrete wall or *contra cimientos*. The sections, 3½" thick and at different heights, appear to be recent.

The original portion of the dwelling has one small steel casement at the bathroom. A post-1978 addition forms the southwest corner (Photo 11)(Fig. 7). This roughly 88-square-foot space holds a closet and has no openings.

South Elevation

A stuccoed street wall borders a narrow side yard along Camino San Acacio (Photo 12). The house façade behind it is an unadorned wall fenestrated with two identical openings at the living room and bedroom (Photo 13). They hold uniform six-light steel casements.

Interior

The interior was observed through windows. The principal space is the living room. Rectangular Styrofoam beam vigas span the room (Photo 14). These are topped with simulated wood flooring. Square ceramic tiles cover the floor; the walls are plastered

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and painted. A painted brick *horno* fireplace sits at the southeast corner. The remaining rooms show modest trim. The dividing walls are frame.

Evolution of House Footprint

The earliest aerial photograph from 1951 reveals an L-plan footprint (Fig. 4). The dwelling maintained this shape through at least 1978. Afterward, the covered patio was added along with the bump-out at the southwest corner.

Perimeter Walls

Yard and street walls define the property’s boundary. These uniformly consist of stuccoed block structures of various heights. Based on aerial imagery and past Board cases, most are recent vintage and all postdate 1984 (Fig. 8).

Remnant Walls

Along Camino San Acacio stands a picturesque wood panel door painted blue (Photo 15). Attached to its west end is a wall representing the remnants of what appears to be a separate dwelling that was torn down.² All that is left is the wall with an opening holding empty window frames (Photo 16).

² A 1960 aerial (Fig.6) indicates a rectangular building stood west of the subject house. The footprint of this building appears to be missing in the space between 1163 Camino San Acacio and 410 Camino Cabra. The assumption is that this building was torn down and represents the orphaned wall at the property’s southwest corner. A neighbor recalled that a house stood in this position. John Tafoya, telephone conversation with John W. Murphey, October 4, 2023. Tafoya group up in the area and lives on Cristo Rey Street.

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Historical Overview

Camino Cabra

Slow to develop until the 1940s, Camino Cabra (or Goat Road) sat outside town limits, far away from major settlement around the Plaza (Fig. 1). The area’s poor soil and distance from the Santa Fe River and attendant acequias retarded development for decades. In contrast, most of the Eastside was on municipal water and sewerage by the late 1950s. Initial construction consisted of several flat-roof houses on the east side of the road south of Camino San Acacio.

The informal road and adjacent arroyo to the east (Arroyo de Las Cabras) were likely named for the goats that once wandered the hillsides. Like its namesakes, it rambled up and over the hill, reaching a ford across Arroyo de los Chamisos to the south. For decades, it remained unpaved and was only improved in the mid-1970s after complaints from parents and teachers at East Side Elementary (now Rio Grande School).

The Roybal Family

The house originates with the Roybal family, who owned land bordering Camino San Acacio and Camino Cabra. From census data, the family, headed by Lucrecio Roybal, appears to have moved to Santa Fe in the early 1920s from San Miguel County, where Lucrecio worked in the mines.³ A 1924 deed, written in Spanish, indicates that he and his wife Andreita acquired land from Apolonio and Julianita Lujan along Talaya Hill, the name by which this area was historically known.⁴ Apolonio is indicated on an earlier map, owning a large swath of land, including the future intersection of Camino San Acacio and Camino Cabra. (Fig. 2).

³ United States Census Bureau, Year: 1920; Census Place: San Antonio, San Miguel, New Mexico; Roll: T625_1079; Page: 15A; Enumeration District: 183.

⁴ Warranty Deed (Spanish), Apolonio Lujan and Julianita de Lujan, husband and wife, to Lucrecio Roybal and Andrea Roybal, husband and wife, recorded February 18, 1924, Book 201/Page 13, 264943.

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A portion of the Roybal land was deeded in 1949 to the oldest son, Jacobo.⁵ Following Lucrecio’s death in 1953, another section was given to the youngest son, Francisco. Francisco would have a direct connection to the subject building (Fig. 5).⁶

Born in 1924 in Santa Fe, Francisco (sometimes called Francis, Frank, or Franky) grew up in the Roybal home, which appears to have been adjacent to the current house. This home was identified as 1172 San Acacio, an address that would also be applied to the present house and to the home at 410 Camino Cabra.⁷

The household in 1940 included his father, then 59, mother, 57, brother Jack, a grandson, and a niece.⁸ The grandson, Vicente Apodaca, was his sister Juanita Carrillo’s son from an earlier marriage. Juanita and her husband Alfredo Carrillo lived in the house at 410 Camino Cabra. Years later, Apodaca would own both properties.

Francisco would leave his parents’ home in 1942 to fight in the war. Stationed in Tennessee, he was shipped to the Pacific Theatre and served in the Philippines⁹ where he earned a Victory Medal and a Philippine Liberation Bronze Arrowhead.¹⁰ The latter recognized that he had helped liberate the country from Japanese occupation. The involvement in the Philippines, especially the tragic Bataan Death March, played a

⁵ Warranty Deed, Andreita G. Roybal and Lucrecio Roybal, husband and wife, to Jacobo G. Roybal, recorded April 7, 1949, Book 40/Page 62, 1949092748.

⁶ Warranty Deed, Andreita G. Roybal and Lucrecio Roybal, husband and wife, to Francisco Roybal, recorded March 19, 1953, Book 69/Page 318, 1953112548.

⁷ In city directories from the 1940s to 1970, 1172 San Acacio is applied to two households: one representing Francisco Roybal and the other his sister Juanita and her husband, Alfredo Carrillo. The latter property is understood to be today’s 410 Camino Cabra. There was also a “1/2” unit recorded to be occupied by his father and mother, later mother, and another individual named Marcell Cardoza, who appears to be a widow. It is unclear where the “1/2” unit stood. It could have been proximate or attached to the current house.

⁸ United States Census Bureau, Year: 1940; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 12B; Enumeration District: 25-5B.

⁹ Santa Fe [column],” *Santa Fe New Mexican*, December 1, 1943,

¹⁰ New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Sub series: Military Discharges; Box Number: 16632; Box Title: Military Discharges Romero – Rushing.

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dominant part in the state’s experience during World War II. Roybal was a lifetime member of V.F.W. Post #401, Albuquerque, and American Legion Post #69, Alameda.¹¹

Roybal returned to the United States in December 1945, arriving on January 17, 1946. Soon after moving back to Santa Fe, he married Grace Dean, a local girl.¹² They moved into the Roybal home at 1172 San Acacio. What happened is unclear, but Francisco and Grace disappeared from city directories soon after. Grace appears to have moved to Los Angeles and likely divorced Roybal. She would later return to Santa Fe and remarry.

Frank, as he was going by now, also returned to Santa Fe, taking up residence at the San Acacio home. He worked for Allen Stamm’s home construction company and may have acquired the steel casement windows through that connection. By 1951, as evidenced by an aerial photograph, the home was in place (Figs. 3 &4).

City directories through the early 1970s reveal that he lived in the home without a spouse. A deed from 1971 implies that he deeded the property, including the house, to his nephew Vicente Apodaca.¹³ Frank’s mother, Andreita, continued to live on the property until she passed away in 1974 at age 90. A neighbor remembers her dressing conservatively in the old style, all in black.¹⁴

Frank lived in the corner house for a few more years before moving permanently to Albuquerque. Francisco Roybal died in Albuquerque in 1991.¹⁵ He was 67. Vicente Apodaca then took possession of the property, including the house at 410 Camino Cabra. He turned 412 into a rental. A neighbor recalled that it was leased to several single men over the years, including a computer artist who demanded silence.¹⁶

¹¹ “Roybal, Francis, 67 [obituary],” *Santa Fe New Mexican*, August 10, 1991, A-6.

¹² “Marriage Licenses,” *Santa Fe New Mexican*, April 9, 1946, 3.

¹³ Warranty Deed, Francisco Roybal to Vicente Apodaca, recorded January 25, 1971, Book 277/Page 870, 329694.

¹⁴ John Tafoya, telephone conversation with John W. Murphey. Also assisting with local history was Ernestina Tafoya, who grew up on Camino San Acacio, two houses down from the subject property.

¹⁵ “Roybal, Francis, 67 [obituary].”

¹⁶ Robert Martinez, in-person conversation with John W. Murphey, October 4, 2023. Martinez, a neighbor, lives on Camino San Acacio. Apparently, the artist was upset by the noise produced by the annual tradition of winter wood cutting.

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Evaluation of Historical Status

The house meets the minimal criteria of being 50 years of age. It has experienced two alterations (the porch and southwest bump-out) but has otherwise retained the core L-plan and original fenestration.

For these reasons, the recommendation is to upgrade its status to Contributing status and suggest the east elevation projection at the living room be designated the primary façade.

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Illustrations

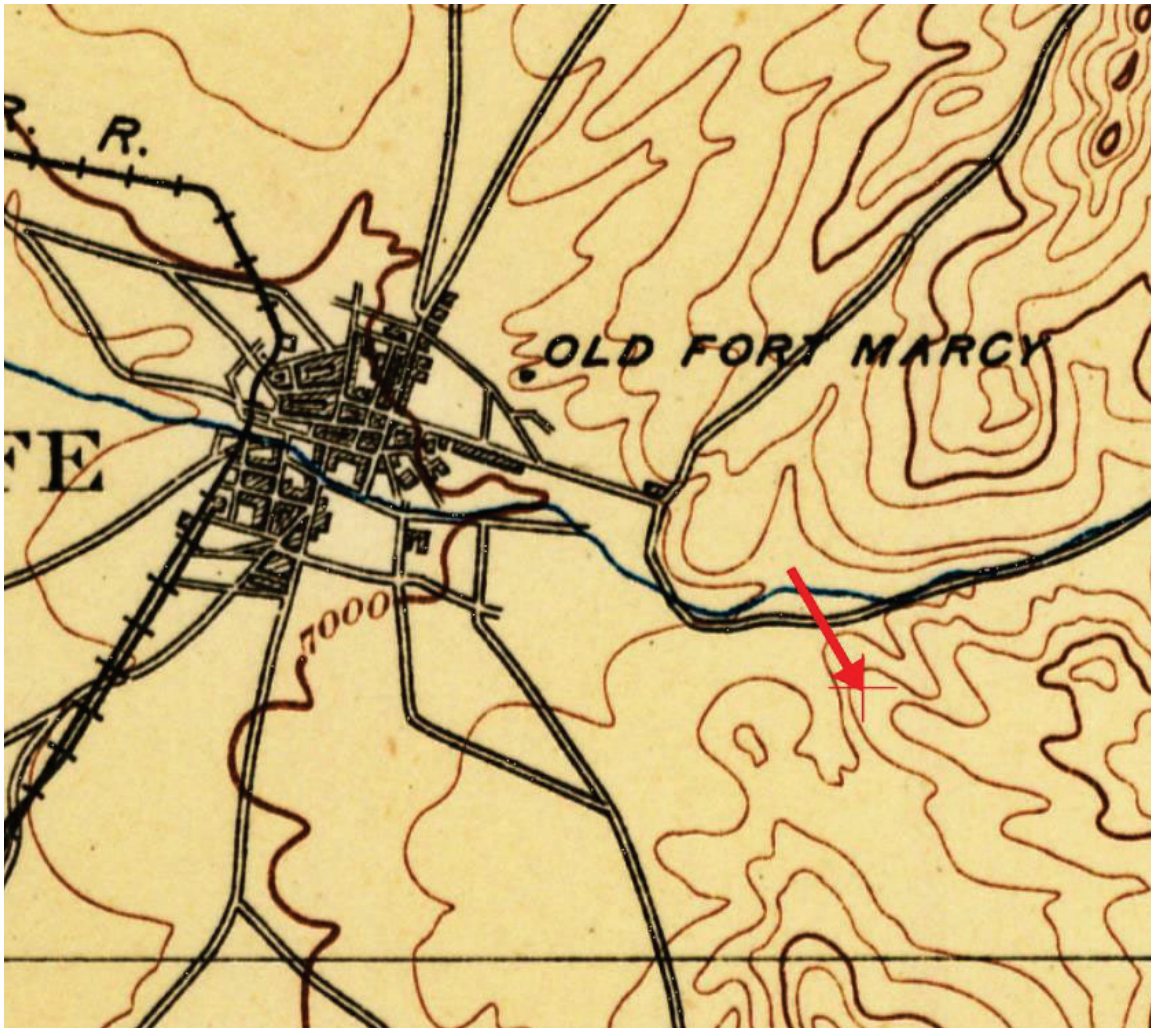


Figure 1: Approximate location of future house.
 A. H. Thompson, "Santa Fe, N.M.," USGS topographical map, scale 1:125,000, March 1894.

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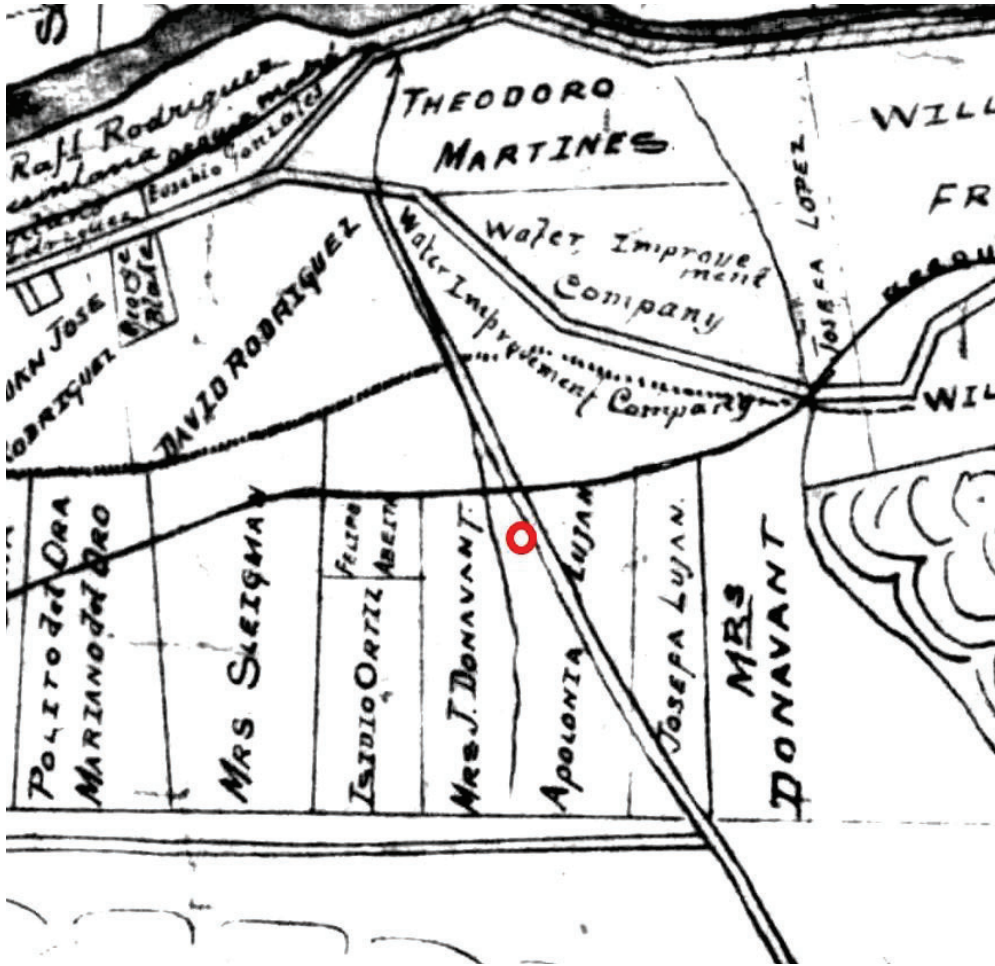


Figure 2: Approximate location of future house.
 William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits,"
 1897-98.

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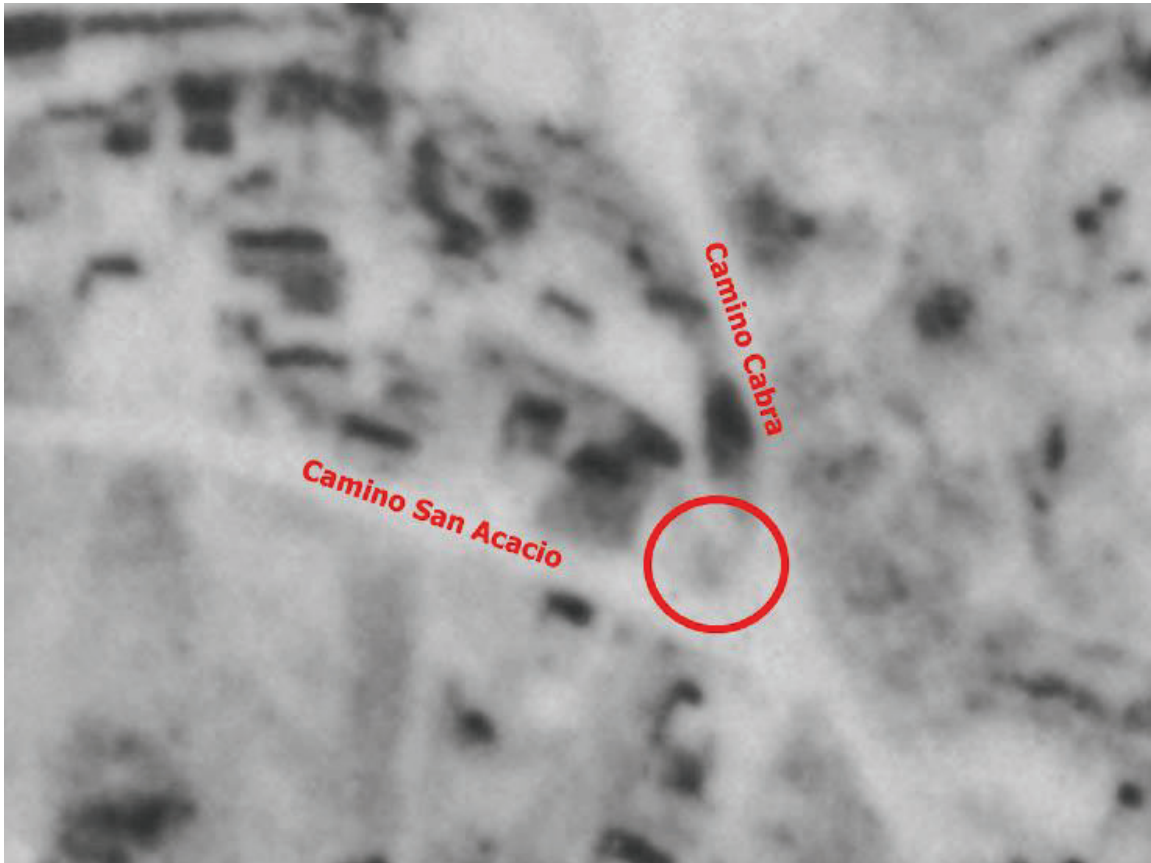


Figure 3: October 25, 1948, aerial photograph.
 There does not appear to be a building on the subject lot.

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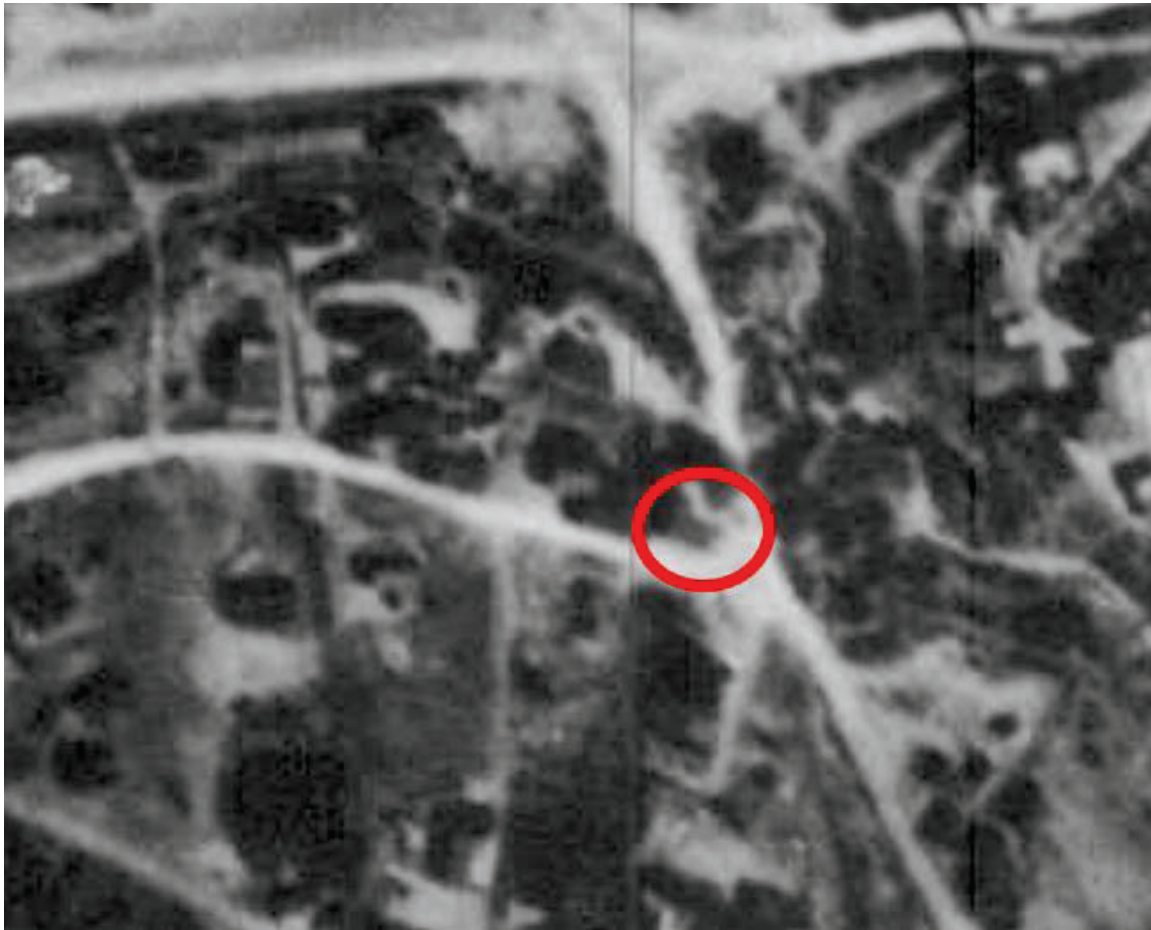


Figure 4: May 26, 1951, aerial photograph.
 An L-shaped building is visible.

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Figure 5: Subdivision of Roybal land. Lot 18 represents subject property. Scanlon-Erwin & Associates, "Block and Parcel Map of Santa Fe," 1957.

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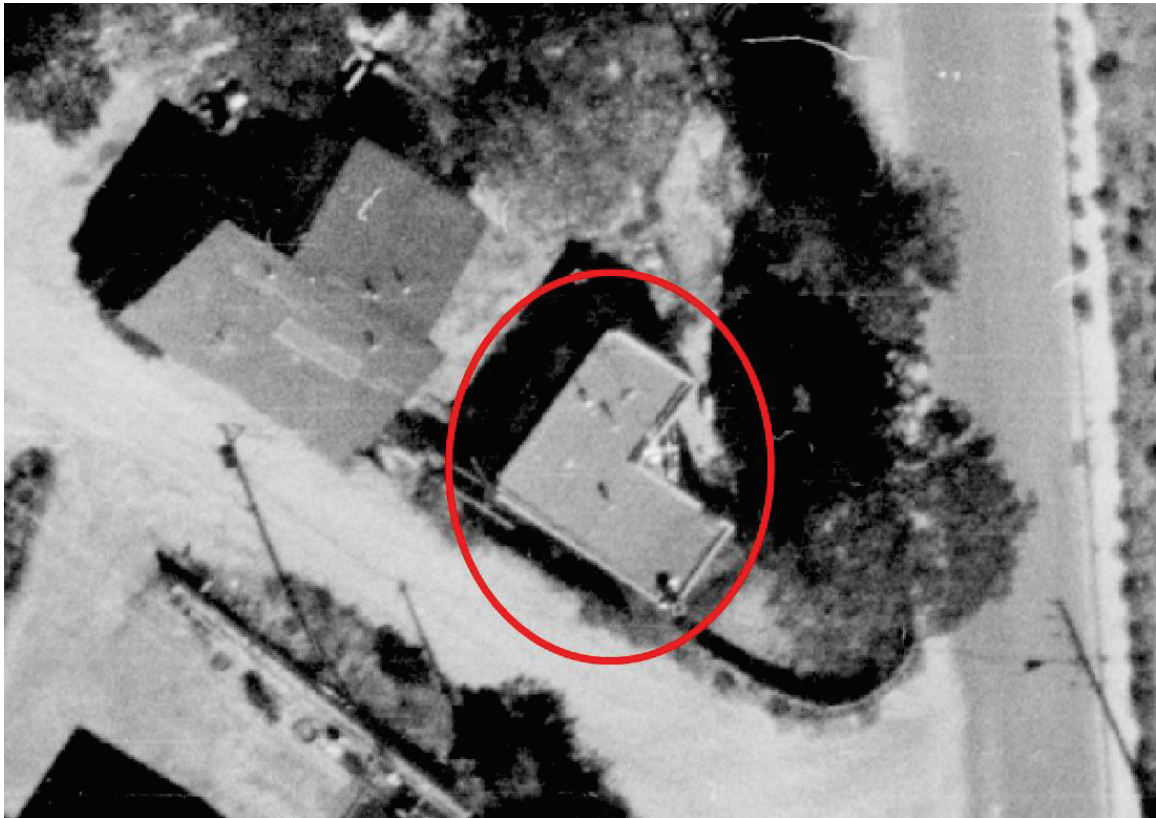


**Figure 6: September 25, 1960, aerial photograph.
 Note rectangular building left of subject house.**

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**Figure 7: September 11, 1978, aerial photograph.
 Note absence of porch and closet addition.**

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Figure 8: November 29, 1984, HBI survey photograph.
 Note absence of stuccoed yard walls and fence at porch.

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Survey Photographs

(All images taken by Giulia Caporuscio, September 21, 2023, or John W. Murphey, October 4, 2023, unless otherwise noted)



Photo 2: East and north elevations. Camera facing southwest. October 4, 2023, JWM.

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Photo 3: East elevation, living room window. Camera facing northwest. October 4, 2023, JWM.

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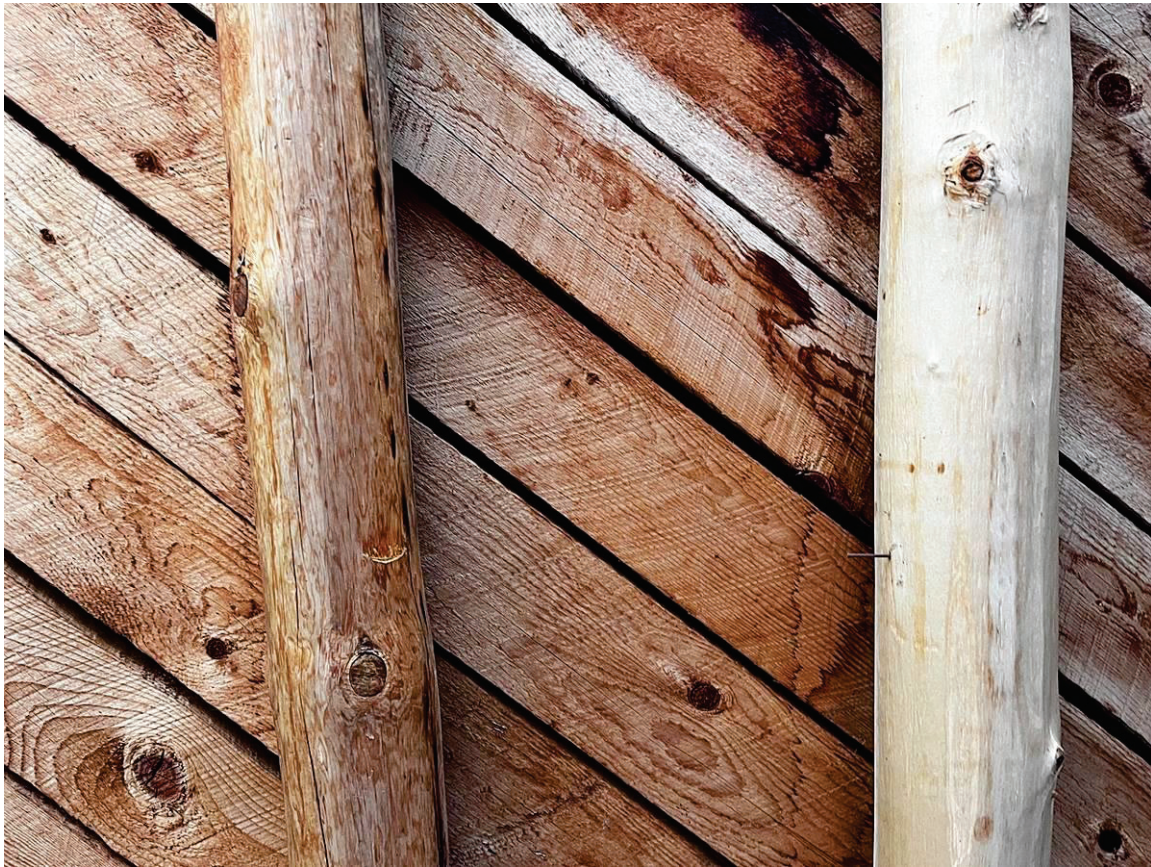


Photo 4: Porch decking. Camera facing up. October 4, 2023, JWM.

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Photo 5: East elevation. Porch supports and entry door to living room. Camera facing northwest. October 4, 2023, JWM.

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Photo 6: Porch corbel. Camera facing up. October 4, 2023, JWM.

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Photo 7: Porch flooring and fence. Camera facing northeast. October 4, 2023, JWM.

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Photo 8. South elevation. Entry door to kitchen. Camera facing northwest. October 4, 2023, JWM.

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Photo 9: North elevation. Camera facing southwest. September 21, 2023, GC.

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Photo 10: North and west elevations. Closet addition at right. Camera facing southeast. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe
3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615	4. County: Santa Fe
5. Date of Survey: September 21, 2023 October 4, 2023	



Photo 11: West elevation. Closet addition at right. Camera facing northeast. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>	
		NRHP _____	SRCP _____
		Criteria A B C D	
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615	
		4. County: Santa Fe	
		5. Date of Survey: September 21, 2023 October 4, 2023	



Photo 12: South elevation. Camera facing northeast. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP	SRCP
		Criteria A B C D	
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615	4. County: Santa Fe
		5. Date of Survey: September 21, 2023 October 4, 2023	



Photo 13: South elevation. Casement window at living room. Camera facing north. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615			
		4. County: Santa Fe			
		5. Date of Survey: September 21, 2023 October 4, 2023			



Photo 14: Living room. Camera facing southwest. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe
3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615	4. County: Santa Fe
5. Date of Survey: September 21, 2023 October 4, 2023	



Photo 15: Blue gate and orphan wall. Camera facing southwest. October 4, 2023, JWM.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Francisco Roybal House	2. Location: 412 Camino Cabra Downtown and Eastside Historic District - Santa Fe	3. Local Reference Number: Santa Fe ID: Santa Fe ID: H-051611615			
		4. County: Santa Fe			
		5. Date of Survey: September 21, 2023 October 4, 2023			



Photo 16: Orphan wall and south elevation of house. Camera facing northeast. October 4, 2023, JWM.



A R C H A E O
architects

1512 Pacheco Street
A105
Santa Fe, New Mexico 87505
505.820.7200

November 1, 2023

City Of Santa Fe Historic Preservation Division

My client, Tom Wilmoth, is requesting a status review for his property located at 412 Camino Cabra. He employed John Murphy to perform an Historic Cultural Properties Inventory, which is included as part of the application.

Thank you,

Jon Dick, AIA



**WILMOTH RESIDENTIAL
 ADDITION**

412 CAMINO CABRA
 SAN JUAN ACACIO

Project Number : 2305

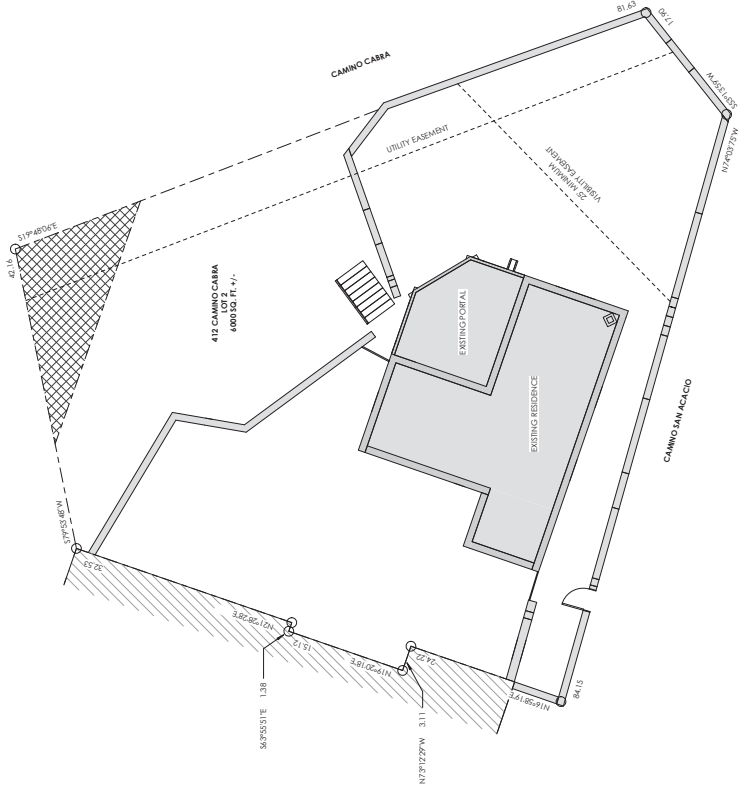
Scale : 1/8" = 1'-0"

Date : 10.31.23

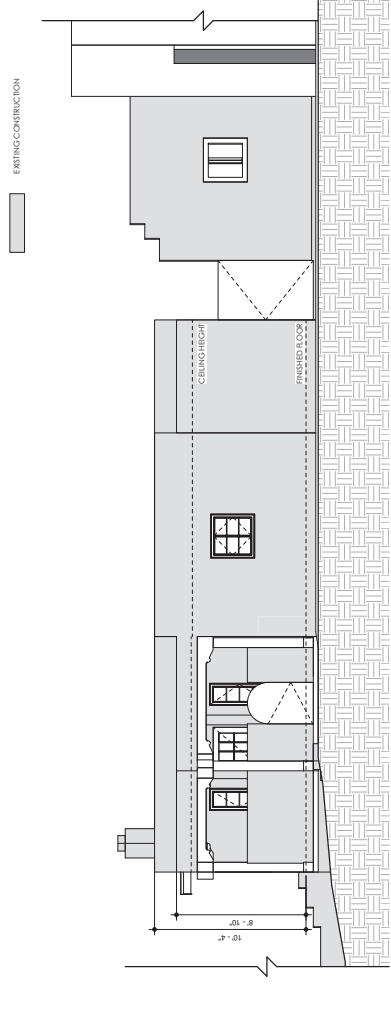
Drawing Title :
**EXISTING SITE
 PLAN**

Sheet Number :

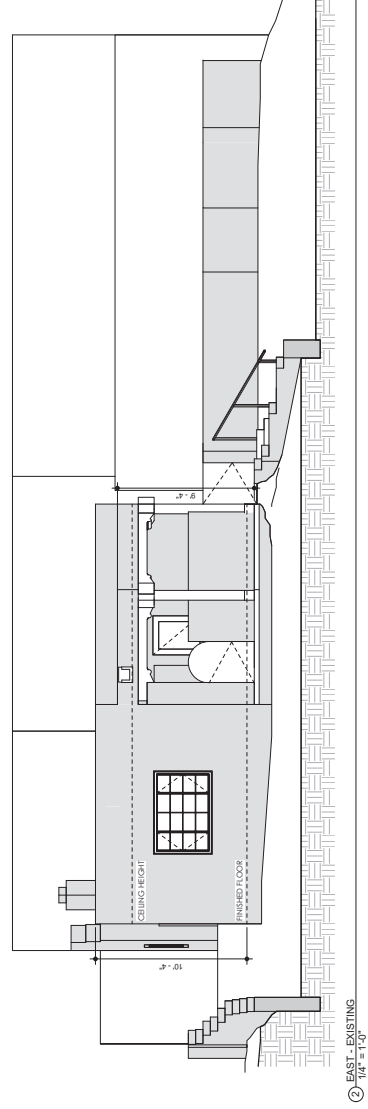
H-1.01



① EXISTING SITE PLAN
 1/8" = 1'-0"



1 NORTH - EXISTING
1/4" = 1'-0"



2 EAST - EXISTING
1/4" = 1'-0"

**WILMOTH RESIDENTIAL
 ADDITION**

412 CAMINO CIBOLA
 SAN FATE, NM 87605

Project Number : 2305

Scale : 1/4" = 1'-0"

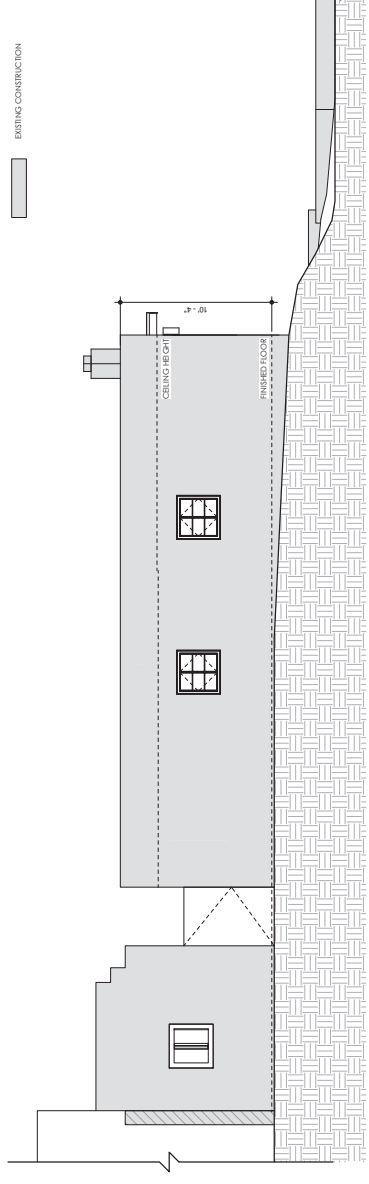
Date : 10.31.23

Drawing Title :

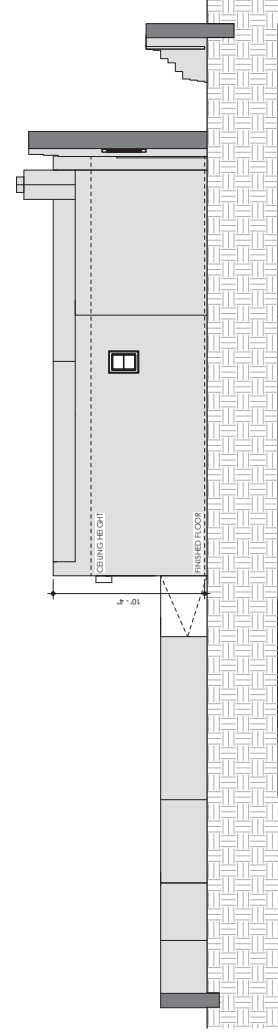
**EXISTING
 ELEVATIONS**

Sheet Number :

H-1.02



① SOUTH - EXISTING
 1/4" = 1'-0"



② WEST - EXISTING
 1/4" = 1'-0"

**WILMOTH RESIDENTIAL
 ADDITION**

412 CAMDEN CIRCLE
 SANITARY ENGINEERING

Project Number : 2395
 Scale : 1/4" = 1'-0"
 Date : 10.31.23

Drawing Title :

**EXISTING
 ELEVATIONS**

Sheet Number :

H-1.03





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2023-007360--HDRB

Project Description: 2023-007360-HDRB. 1666 ½ Cerro Gordo Road. Downtown & Eastside Historic District. Contributing and Non-contributing. Denny Architects, agent for Clifford Ross and Jon Weaver, owners, proposes to demolish the portal and construct a 450 sq. ft. addition with a 150 sq. ft. portal to a height of 12'0" where the maximum allowable is 16'6" and a freestanding 400 sq. ft. carport to a height of 9'10". Two exceptions are requested, to exceed the 50% rule and to construct an addition within 10' of a primary façade (14-5.2(D)(2)(d)).

Project Location(s): 1666 CERRO GORDO RD 1/2
Santa Fe, NM 87501

Contacts:

Property Owner: CLIFFORD ROSS & JON WEAVER
1666 1/2 CERRO GORDO RD 1/2
SANTA FE, NM 87501

JONSWEAVER@GMAIL.CO

Applicant: PAYSON-DENNEY ARCHITECTS
755 Acequia Madre ST
SANTA FE, NM 87505

kpaysonnn@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: Non-Contributing: Contributing: True Significant/Landmark:

Primary Elevations:

Publicly Visible Facade-East:

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: NA

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

Case # 2023-007360-HDRB

Address: 1666 ½ Cerro Gordo Road
Historic Status: Contributing/Non-Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [previous cases]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: [Exception Criteria]

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

The property at 1666 ½ Cerro Gordo is a single-family residence with three structures: two listed as contributing and one as non-contributing to the Downtown and Eastside Historic District. The northern structure is a contributing garage with a stone base and is not a part of this application. Further down the hill to the south are the two residential structures. The eastern structure which will be referred to as Building A is non-contributing and sits further south than the western

structure. The western structure which will be referred to as Building B is a contributing structure with the northern façade of the original structure designated as primary.

Figure 1: location of property on Cerro Gordo Road:

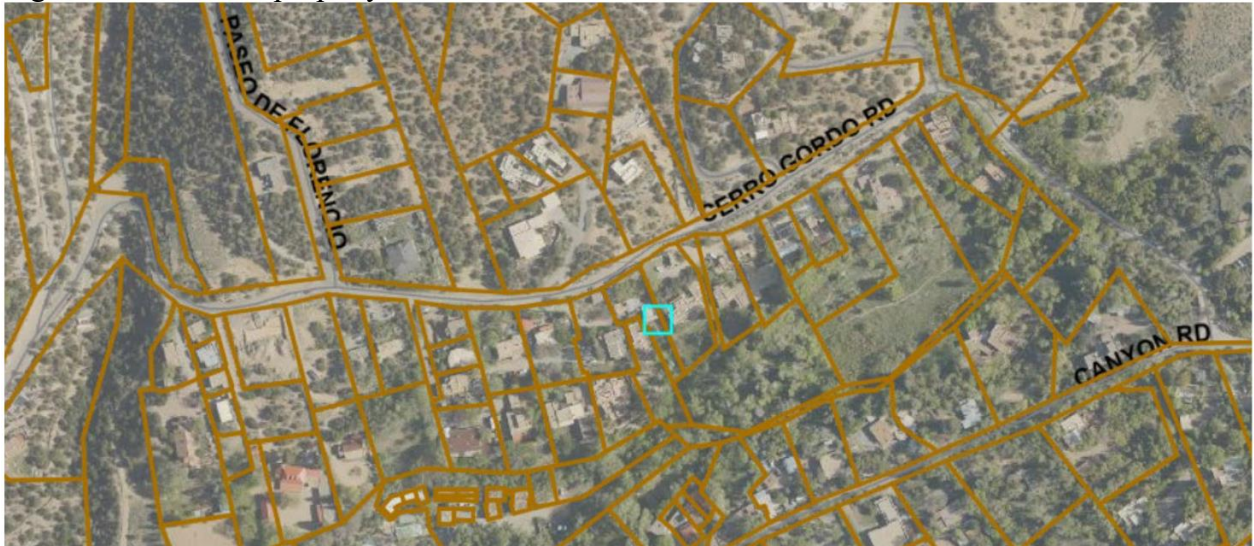


Figure 2: Structures of the property:



Property History:

Building A was listed as contributing until 1999 when under case H-99-004 its' status was downgraded to non-contributing. This case approved the construction of a portal to connect the Building A's northern façade to the contributing (Building B) structure's east façade, altering the picture window on Building A to be replaced with French doors, removal of the frame protruding

from around front door of Building A and on Building B alter the window opening to install French doors.

In 2001, under case H-01-067 a 485 sq. ft. addition in Spanish-Pueblo Revival style was allowed to be constructed on the western elevation of the Building B. The HDRB did require a 10' setback and a 10' separation from the primary northern façade which created the “u” shape of the structure.



Current Application:

Now, the applicant proposes the following exterior alterations:

- 1) Demolish the 1999 portal on the eastern elevation of the contributing structure.
- 2) Construct a 450 sq. ft. addition on the eastern elevation of the contributing structure to connect to the northern elevation of the non-contributing structure. Two exceptions are requested:
 - a. To exceed 50% of the historic footprint per section 14-5.2(D)(2)(d).
 - b. To construct an addition within 10' of the primary façade per section 14-5.2(D)(2)(d).
- 3) Construct a 150 sq. ft. portal addition on the eastern elevation of the new addition and the north elevation of the non-contributing structure.
- 4) Construct a freestanding 400 sq. ft. carport on the northeast portion of the property.

Summary of square footage:

Contributing structure existing sq. ft. 460.

50% of contributing structure: 230 sq. ft.
Non-contributing additions total: 1,950 sq. ft.

2001 addition 485 sq. ft.
1999 Portal 300 sq. ft. (to be removed so excluded from total)
Eastern non-contributing structure 675 sq. ft.
Rear portal non-contributing structure 190 sq. ft.
New addition 450 sq. ft.
New portal 150 sq. ft.

The applicant has requested two exceptions to exceed 50% of the historic footprint and to construct within 10' of the primary façade per section 14-5.2(D)(2)(d).

EXCEPTION CRITERIA AND RESPONSES:

Exception 1:

Exception to Section 14-5.2(D)(2)(d): Applicant requests an exception to construct an addition on a contributing structure which exceeds the 50% footprint rule:

(i) *Do not damage the character of the district*

Applicant Response: There are currently three small buildings on the property. From Cerro Gordo Road, the only easily visible building on the property is the existing historic garage/storage structure. Due to the steep slope away from the street, a viewer would need to trespass onto this property or lean over the fence to see the other existing or proposed structures, which sit approximately 10 – 12' below street level.

The streetscape will not be damaged by this proposed addition. There exists an 8' tall historic wall separating the Contributing portion from the addition. This wall extends an additional 16' north of the primary (north) façade towards the street. This existing historic wall, compounded with the drop in ground plane and existence of established tree cover between the street and the proposed addition, creates a visual barrier that makes seeing the existing contributing structure and the proposed new addition from the street at the same time nearly impossible. Furthermore, the only built element on this property that is directly visible from the street is the existing historic garage, which is separate from and not affected by the proposed addition. The primary façade of the contributing structure is set back about 54 feet from the street. The façade of the addition will be approximately 61 feet from the street. As previously mentioned, both structures are well below the street level.

Staff Response: Staff agrees with this response. The property is below the street and is obscured from view. The impact to the streetscape would be minimal since it is obscured as it exists presently.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The hardship here is that the code only allows a maximum of a 50% addition (interior space) to an existing contributing structure. Some contributing structures in the district may be much larger than this 477 sq. ft. structure and limiting an addition to 50% of existing area

might not create a hardship. However, in this case, an already small home would only be allowed to add 238 sq. ft. of additional square footage, which is inadequate for the applicant's needs and current living standards.

The proposed floor area of the completed structure will add up to 2,108 sq. ft. of interior living space. The existing and completed residence will contain 2 bedrooms and 2 bathrooms.

Staff Response: Staff disagrees with this response. The applicant purchased the property with two separate small buildings and has made those two small structures work for him since 1996. Staff does agree that accessing the second home, especially when elderly, is best through an interior space for safety from falls.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: This is already a unique property, with existing structures containing elements of Pueblo, Territorial and other vernacular styles. The character of this home is that it appears as a group of small structures creating a "compound" feel. Each of the elements of this group are small – between 294 and 696 sq. ft. The proposed 450 sq. ft. living room addition, which has been designed to be articulated from the existing building elements, will enhance that heterogenous character.

Staff Response: Staff disagrees with this response. A large addition will connect all the buildings and eliminate the feel of the group of small structures and the compound feel of the property. The property would then be overwhelmed with a single large building.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

Applicant Response: There exist two special circumstances peculiar to this structure. The first is that the home as purchased by applicant was originally two separate structures. The applicant wishes to connect the structures via interior space so that they may enjoy the benefit of a home in which all interior spaces can be accessed without having to go outside. The second is that the contributing portion is very small and meeting the 50% addition threshold would not allow construction of a suitable addition to achieve this goal.

Staff Response: Staff agrees with this response; however, this criterion is not required for this design exception. The separate buildings do create a hazard and major inconvenience of exiting the residence to enter the next portion of the residence. Since both structures are being utilized as a single residence rather than as two small residences.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Applicant Response: The two original portions of this residence have existed since long before the applicant purchased the property. The applicant is working with the lot space that is available to them to create a home where all areas can be accessed without having to go outside.

Staff Response: Staff partially agrees with this response, however, this criterion is not required for this design exception. There is a unique layout to the property so that there is no space for expansion to the east, south, or west of the property. Any addition on this property, will have to be located to the east of the contributing structure and north of then non-contributing structure on the property.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Applicant Response: This exception will provide the least negative impact to accomplish the goal of creating a single contiguous home from separate existing smaller structures thus facilitating the beneficial use of existing buildings in the historic area. Interestingly, this project follows the incremental, as needed adding on of rooms that is characteristic of the evolution of traditional family compounds in this district. The design and detailing of the proposed addition will meet the spirit and letter of the code as stated in section 14-5.2(A) (1) (c):

General Purpose Historic Provisions. The general harmony as to style, form, color, height, proportion, texture and material between the proposed new addition and the existing structures on the property will be maintained. The detailing of the addition will be distinct but compatible with the applicable historic requirements for an addition with the exception of meeting the 10-foot stepback from the primary façade, or the maximum of 50% addition to a contributing structure.

Staff Response: Staff disagrees with this response, however, this criterion is not required for this design exception. The goal is to provide the least negative impact which would be to enclose the existing non-contributing portal as it is in order to create interior access to each building. While the applicant is adding onto the structure in a historic manner of incremental additions, the 450 sq. ft. addition is not the least negative impact for an addition.

Exception 2:

Exception to Section 14-5.2(D)(2)(d): Applicant requests an exception to construct an addition within 10' of a primary facade:

(i) Do not damage the character of the district

Applicant Response: There are currently three small buildings on the property. From Cerro Gordo Road, the only easily visible building is the existing historic garage/storage structure. Due to the steep slope away from the street, a viewer would need to trespass onto this property or lean over the fence to see the other two existing structures or proposed addition, which sit approximately 10–12' below street level.

In 1999, the HDRB approved a new portal in the location of the proposed addition with a +/- 7'-3" step back. The streetscape will not be damaged by this new structure with the identical step

back since there is an existing >8' tall historic wall separating the two structures which extends an additional 16' north towards the street. Further, the ground plane drops significantly on the proposed addition side of this wall. This existing historic wall, compounded with the drop in ground plane and existence of established tree cover between the street and the proposed addition, creates a visual barrier that makes it nearly impossible to see the existing contributing structure and the proposed new addition from the street at the same time. See attached photos in 'Views from Public Right of Way' document.

Staff Response: Staff agrees with this response. The existing condition of the house is an addition within 10' of the primary façade, while the mass of the portal is much smaller than that of the proposed addition, it has been an existing condition since 1999.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: In its present configuration, the house comprises two separate structures linked by an open-air portal. Currently the applicant must go outside to access one part of the home from the other. Applicant intends to age in place in this home where they have lived in since 1997. The purpose of this addition is to create an interior living area for the home that links the current separate structures so that the owners can move freely between the two parts of their home without going outside. Granting this exception will eliminate this hardship.

Staff Response: Staff disagrees with this response and does not feel it answers the criteria. However, to place the edge of the addition at 10' from the façade, the corner would compete with the location of an existing window opening. Staff believes this is why there is not an existing 10' step back from the primary façade for the existing portal.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: This is already a unique property, with existing separate structures containing elements of Pueblo, Territorial, and other vernacular styles. The character of this home is that it appears as a group of small structures with a "compound" feel. Each of the elements of this group are relatively small – between 294 and 696 sq. ft. The proposed 450 sq. ft. living room addition, which has been designed to be articulated from the existing building elements, will enhance that heterogenous character, and is consistent with the evolution of other traditional properties in the district.

Staff Response: Staff disagrees with this response. It does not appear that the applicant considered other design options for the addition as they do not address the option to enclose the portal nor a smaller addition which could eliminate the need to construct within the 10' of the primary façade after removing the existing portal.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.

Applicant Response: The available buildable area in front of the existing non-contributing portion of the residence is such that providing a 10' step back from the primary façade of the contributing portion of the structure would result in a substandard sized living area. It would also entail making additional changes to the east wall of the contributing structure due to the location of the existing glass doors on that wall. As previously mentioned, the applicant wishes to emphasize that the existing 16' long, 8' high historic wall between the two portions of the residence visually separates the contributing portion of the home from the 1999 permitted portal, as it will from the proposed addition with an identical step back. Whether the step back is 10' or the requested 7'-3" in depth would have no bearing on the integrity of the contributing portion of the home. Additionally, the only other buildable area on the lot is behind the eastern portion of the house and nearly a full story below it. Building here would destroy the historic rear (south) elevation of this building as well as failing to address the need to connect the two structures.

Staff Response: Staff disagrees with this response. Staff agrees that the buildable area of the lot is limited to the location requested. However, staff disagrees that the structure has no option but to be within the 10' of the primary façade. The exception would not be required if the portal were enclosed or if the addition were smaller in size or even shaped differently.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Applicant Response: The two original portions of this residence have existed since long before the applicant purchased the property. Applicant is working with the buildable lot area that is available to them to create a home where all areas can be accessed without having to go outside.

Staff Response: Staff disagrees with this response. The owner has had the property since 1996 and purchased the property with the two freestanding structures. He is the applicant that requested the 1999 portal addition rather than an enclosed addition. Therefore, the property's current conditions are a result of the owners' actions. Staff will agree that the use of the structures and the aging of the owner has forced some reconsideration to the conditions of the structures' layout.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Applicant Response: This exception will provide the least negative impact to accomplish the goal of creating a single contiguous home from separate existing smaller structures thus facilitating the beneficial use of existing buildings in the historic area. The design and detailing of the proposed addition will meet the spirit and letter of the code as stated in section 14-5.2(A)(1)(c):

General Purpose Historic Provisions. The general harmony as to style, form, color, height, proportion, texture and material between the proposed new addition and the existing structures on the property will be maintained. The detailing of the addition will be distinct

but compatible with the applicable historic requirements for an addition with the exception of the required 10' step back from the face of a primary façade for which we are hereby requesting an exception as necessary for the erection of the 450 sq. ft. addition.

Staff Response: Staff disagrees with this response. Staff agrees that the buildable area of the lot is limited to the location requested. However, staff disagrees that the structure has no option but to be within the 10' of the primary façade. The exception would not be required if the portal were enclosed or if the addition were smaller in size or even shaped differently.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Sloping Sites:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and

material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant,

contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

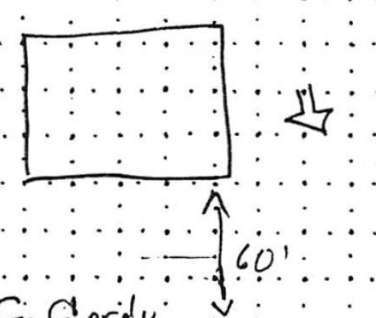

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

building threatened? yes	surveyed date 1-7-83 by mb	county Santa Fe	ID no. 051600523
field map Santa Fe, New Mexico	number 1	UTM reference zone 12 13	easting northing
location description 1666 1/2 Cerro Arido		city/town Santa Fe	
building name		legal description TNSP 17 N R range 10 E # sec 20 SE 1/4 NW 1/4	
film roll by m no. 24	negative nos. 19	loc. of neg. HPB	plan shape 
		date of construction Postwar * 1937 estimate actual	
		source Directly Lateral photo	
		use present residential other historic residential other	
		condition excellent good fair deteriorating	
style Territorial Vern	foundation material Concrete	degree of remodeling X minor moderate major	
	wall material/surface Stucco	describe:	
architectural features Wind - wood sliding blue Brick coping - dentil Door - 3 lite over panel, tile opening over Chimney - 1 brick, 4 metal flues/vents		surroundings Res	
		relationship to surroundings X similar not similar	
		district potential X yes no	
		significance eligible X of none interest	
comments wall hedge wire fence stone fence landscape street trees stone curb set back cequira		why? associated buildings? yes what type? if inventoried, list ID nos.	
* Details wall and stone condition would suggest 1930's or earlier. This ^{appears to be} one of a group that shows on 1937 photo		see back? yes	

Street scope

Set back

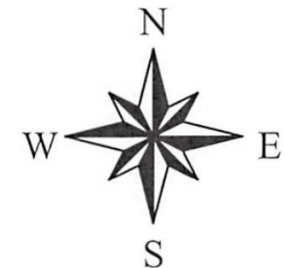
1666 1/2 Cerro Gordo Road Height Calculation

Total: 102.5
 Count: 7
 Average: 14.6
 Maximum Allowable Height: 16' 7"

DAR
 7.2.04



- Text Arcvw
 Building rooflines
- L
 - S
 - C
 - N
 - NA
 - NON
 - NR
 - Sfbldg.shp
 - Sfeor.shp
 - Sfparcll.shp
 - Hdist.shp



Per 1999 and
2001 Cases
Contributing
Garage
Structure

2001 addition 485
sq. ft.

Contributing
Structure
North
primary 460
sq. ft.

1999 Portal
Addition 300 sq.
ft. to be removed

Non-cont. per
H-99-004
approx. 675
sq. ft.

Portal 190 sq.
ft.

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

Previous Case

H-01-067

Remodel

1666 ½ Cerro Gordo Road



City of Santa Fe, New Mexico

Larry A. Delgado, Mayor

Frank Di Luzio, City Manager

Councilors:

Carol Robertson-Lopez, Mayor Pro Tem, Dist. 4

Patti J. Bushee, Dist. 1

Jimmie Martinez, Dist. 1

Karen Heldmeyer, Dist. 2

Cristopher Moore, Dist. 2

Miguel M. Chavez, Dist. 3

Frank Montaña, Dist. 3

Matthew E. Ortiz, Dist. 4

Project description : 485 SQ. FT. ADDITION TO A 1,200 SQ. FT. RES.

Project number : 01-10100073

Case number : H-01-67

Project type : HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S) : 1666 ½ Cerro Gordo

PROJECT NAMES:

OW-Ross, Clifford
Santa Fe, NM 87501

1666 ½ Cerro Gordo
(505) 820-6096

BOARD ACTION

This is to certify that the Historic Design Review Board at their meeting on May 1, 2001, acted on the above referenced case. The decision of the board was to approve your request.

For further information please call 955-6808.

Sincerely,

James M. Hewat

Historic Preservation Planner

Alysia Abbott

Historic Preservation Planner

Note: BUILDING PERMITS FOR HDRB APPROVALS SHALL NOT BE GRANTED UNTIL THE 7-DAY APPEAL FILING PERIOD IS COMPLETED (SFCC 14-70.26 (B)). HDRB APPROVALS EXPIRE ONE (1) YEAR AFTER THE DATE OF THEIR DECISION. RENEWALS OF SUCH DECISIONS ARE AVAILABLE FOR ONE (1) ADDITIONAL YEAR UPON REQUEST (SFCC 1987, SECTION 7-1.6.). PLEASE PROVIDE COPIES OF THE LETTER WHEN SUBMITTING FOR BUILDING PERMIT.



City of Santa Fe, New Mexico

P.O. Box 909, 200 Lincoln Ave., 87504-0909

Project description : 485 SQ. FT. ADDITION TO A 1,200 SQ. FT. RES.
Project number : 01-10100073
Case number : H-01-67
Project type : HISTORIC DESIGN REVIEW BOARD

PROJECT LOCATION (S) : 1666 ½ Cerro Gordo

PROJECT NAMES:

OW-Ross, Clifford
Santa Fe, NM 87501

1666 ½ Cerro Gordo
(505) 820-6096

PROJECT DATA:

HISTORIC DISTRICT	Downtown and Eastside
HISTORIC BUILDING STATUS	Contributing
PUBLICLY VISIBLE FAÇADE-EAST	N
PUBLICLY VISIBLE FAÇADE-NORTH	Y
PUBLICLY VISIBLE FAÇADE-SOUTH	N
PUBLICLY VISIBLE FAÇADE-WEST	N
HISTORIC DISTRICT SURVEY NUMBER	H1435
YEAR OF CONSTRUCTION	1937
PROJECT TYPE (NEW, ADD, ETC.)	Addition
USE, EXISTING	Residential
USE, PROPOSE	Residential
HISTORIC BUILDING NAME	N/A

City of Santa Fe, New Mexico

memo

DATE: 1 May 2001

TO: Historic Design Review Board Members

VIA: Anne Condon, Planning and Land Use Director *CS from c*
Cyrus Samii, Planning Division Team Leader *CS*

FROM: **Alysia Abbott**, Historic Preservation Planner *AA*

ITEM & ISSUE:

CASE # <u>H-01-67</u>	ADDRESS	<u>1666 1/2 Cerro Gordo</u>
	Historic Status	<u>Contributing</u>
	Historic District	<u>Downtown & Eastside</u>

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards
- State Historic Survey Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

The proposed project meets the Design Guidelines for additions to contributing buildings in the Downtown & Eastside Historic District. As such, staff recommends approval of the project.

BACKGROUND & SUMMARY:

The applicant is proposing the construction of a 485 Sq. Ft. addition to a 1,200 Sq. Ft. contributing building at 1666 1/2 Cerro Gordo in the Downtown & Eastside Historic District. The addition is designed in a Spanish-Pueblo Revival manner with a flat roof and rounded parapet. Plans call for the addition to be placed on the West elevation of the existing building, set back 10' west and 10' south of the primary North elevation. Fenestration will be true-divided two-over-two wood sash. Window and door trim will be painted white. The addition will have a single low profile skylight. The applicant is proposing to face the lower 1' to 2' of all elevations of the new addition with stone to match the stone veneer on the existing building. On the North elevation, plans call for a wood half-light true-divided light door with true-divided side lights. The addition will be stuccoed in El Rey "Buckskin". The height of the proposed addition is 8'6".

14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

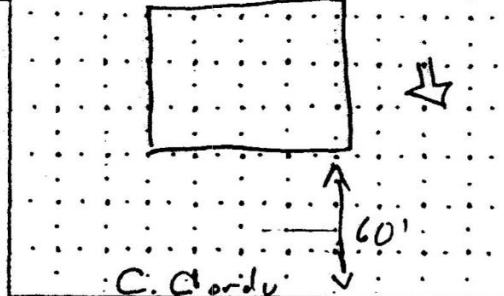
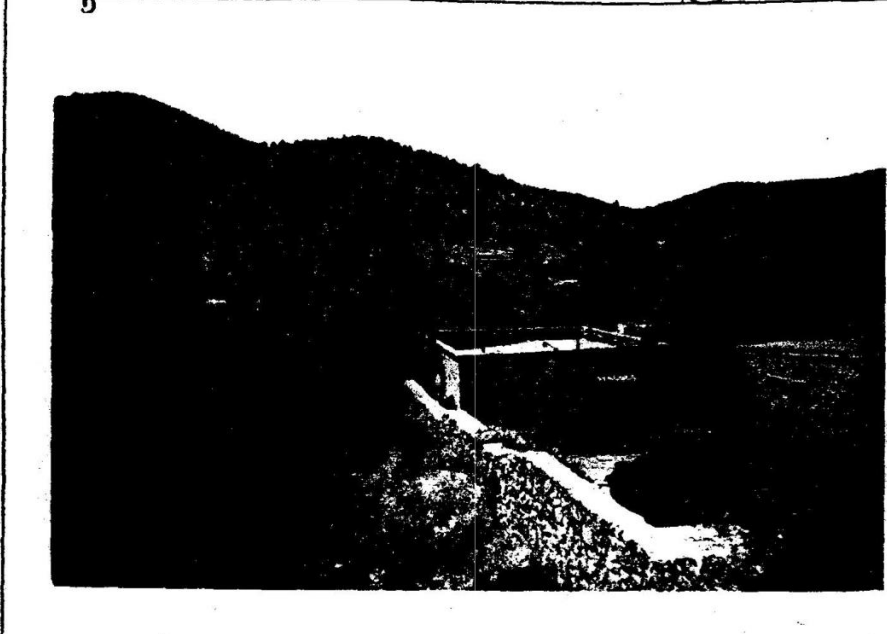
(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

Building threatened? yes	Surveyed date 1-7-83 by mb	county Santa Fe	ID no. 051600523
field map Santa Fe, New Mexico	number 1	UTM reference zone 12 13	easting northing

location description 1666 1/2 Cerro Cordo	city/town Santa Fe
	land grant/reservation

building name	legal description TNSP 17 N S range 10 E # sec 20 SE 1/2 NW 1/2
film roll by m no. 24	negative nos. 19
	loc. of neg. HPB
	plan shape



date of construction Postwar * 1937	estimate	actual
source Directory Lateral file		
use present residential		
other		
historic residential		
other		
condition _ excellent _ good		
<input checked="" type="checkbox"/> fair		_ deteriorating

style Territorial Vern	foundation material Concrete
	wall material/surface Stucco

degree of remodeling <input checked="" type="checkbox"/> minor _ moderate _ major
describe:

architectural features Wind - wood sliding blue Brick coping - dentil Door - 3 lite over panel, tile awning over Chimney - 1 brick, 4 metal flues/vents

surroundings Res
relationship to surroundings <input checked="" type="checkbox"/> similar _ not similar
district potential <input checked="" type="checkbox"/> yes _ no
significance _ eligible <input checked="" type="checkbox"/> of _ none
if eligible interest

comments wall hedge wire fence wood fence landscape street trees stone curb set back acacia	* Details with and style condition would suggest 1930's or earlier. This ^{appears to be} one of a group that shows on 1937 photo
--	---

why?
associated buildings? yes
what type?
if inventoried, list ID nos.

see back? yes

Street scene

PROPOSAL LETTER

THE PROPOSED ADDITION IS TO THE PROPERTY AT 1666 ½ CERRO GORDO. THE CURRENT HOUSE IS APPROXIMATELY 1200 SQUARE FEET AND LIES ON A LOT OF .29 ACRES. THE ORIGINAL STRUCTURE WAS APPARENTLY BUILT IN THE 1950S. SIGNIFICANT ALTERATIONS WERE MADE IN THE 60S AND 70S.

THE PROPOSED ADDITION WILL ADD 485 SQUARE FEET TO THE ORIGINAL STRUCTURE. THE ADDITION WILL INCLUDE A SECOND BEDROOM, A BATHROOM, AND A UTILITY ROOM. THE ADDITION WILL HAVE THE SAME STUCCO AND WINDOW TREATMENTS AS THE EXISTING STRUCTURE.

THE CONNECTION OF THE ADDITION TO THE MAIN STRUCTURE WILL BE SET BACK TEN FEET FROM THE FRONT OF THE PRIMARY STRUCTURE AS PER HISTORIC ORDINANCE.

THE BACK OF THE BUILDING WILL BE BUILT ALONG THE ZERO LOT LINE WITH THE CONSENT OF THE NEIGHBOR.

BOTH ZONING AND HISTORIC STAFF HAVE REVIEWED THIS PROPOSAL.

11666 Ya Cerro Grande



Hotel Ya Cerro Gordo

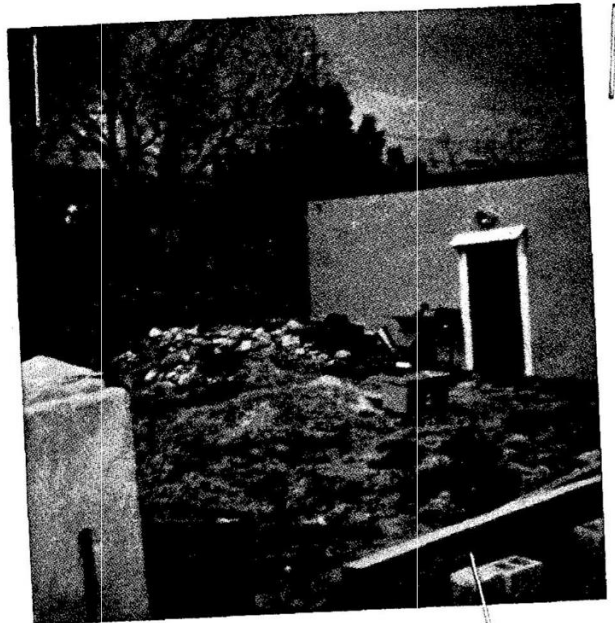
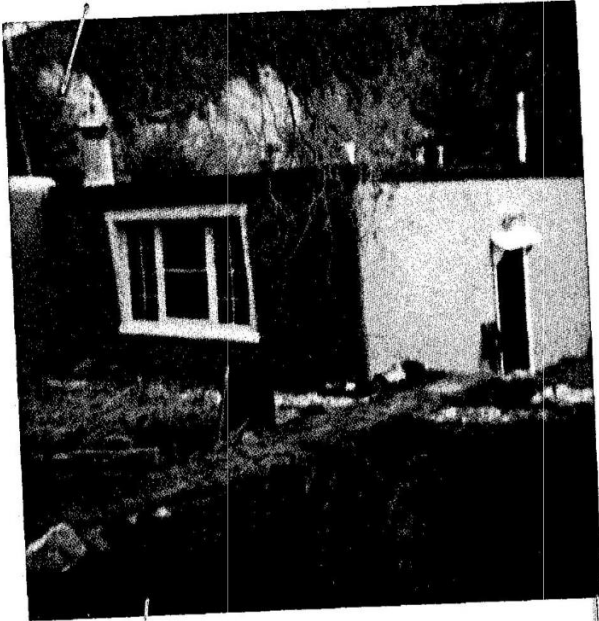
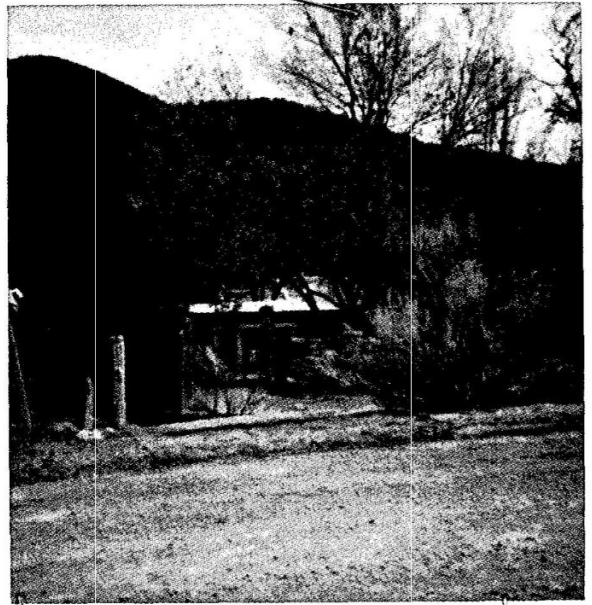
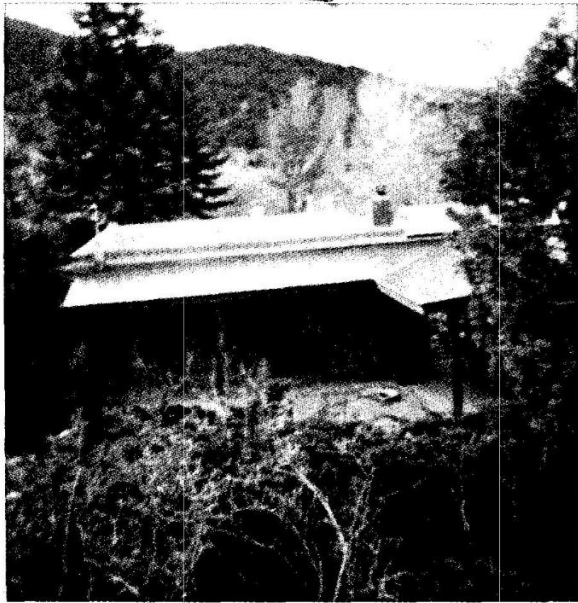
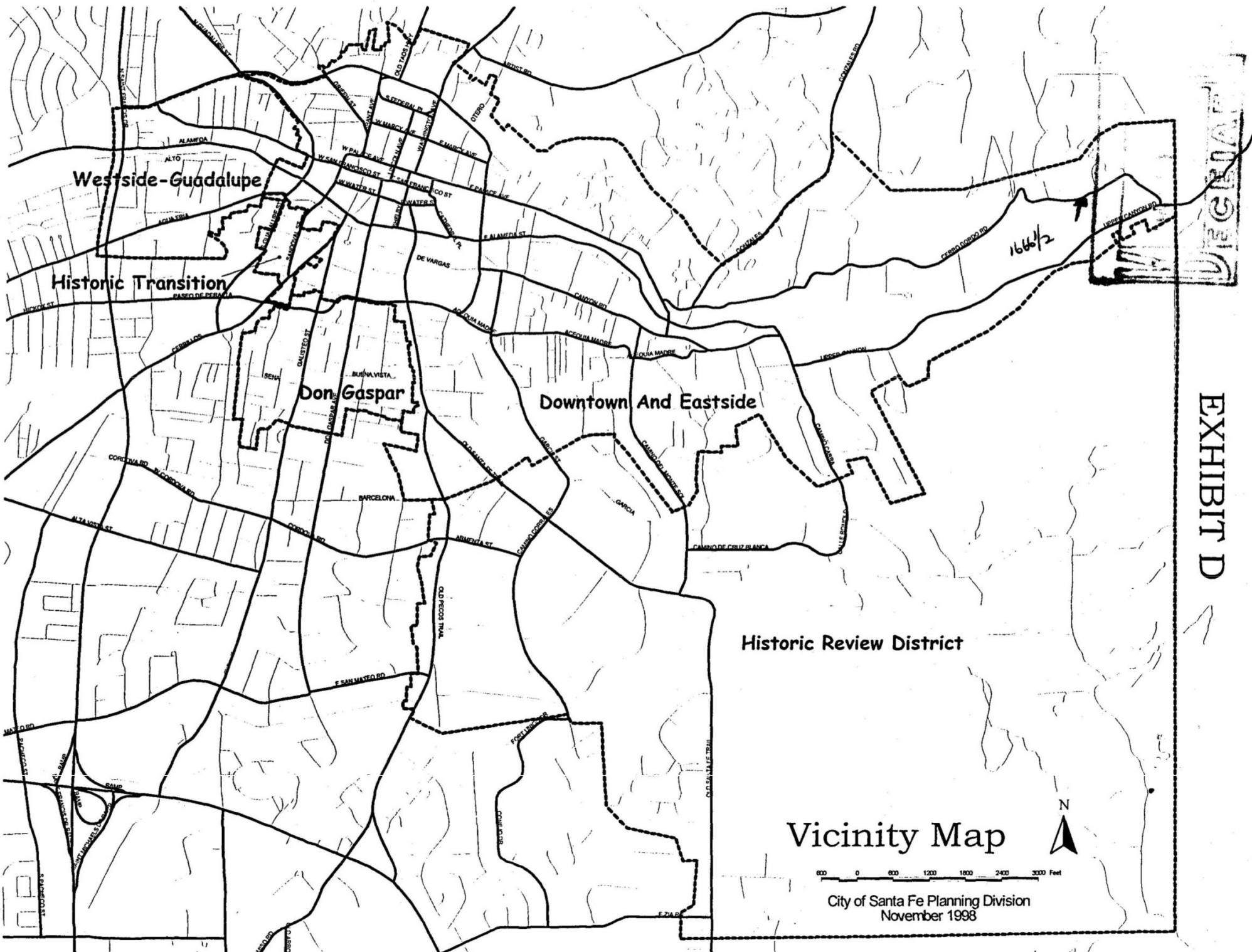


EXHIBIT D



Westside-Guadalupe

Historic Transition

Don Gaspar

Downtown And Eastside

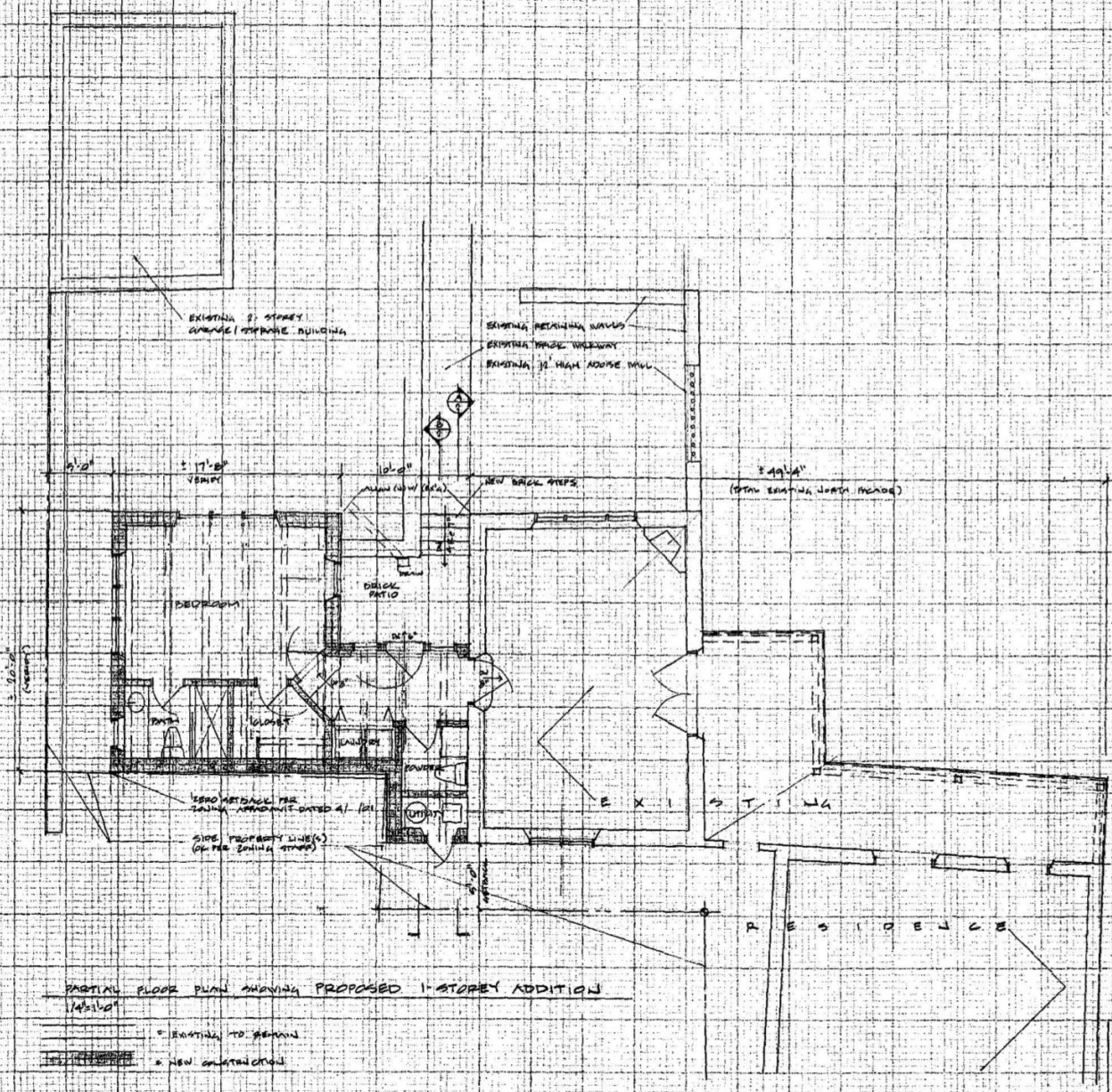
Historic Review District

Vicinity Map

0 600 1200 1800 2400 3000 Feet

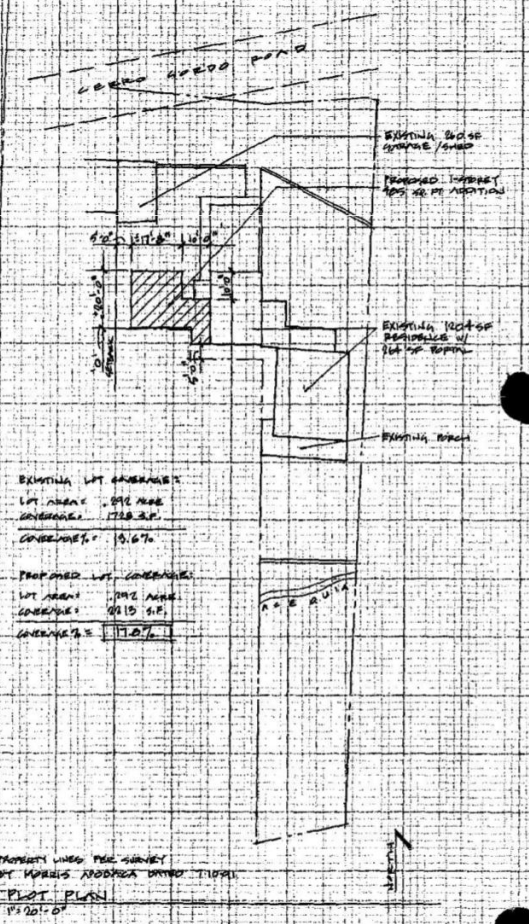
City of Santa Fe Planning Division
November 1998





EXISTING FLOOR PLAN SHOWING PROPOSED 1-STORY ADDITION
1/25/10

○ EXISTING TO REMAIN
 ■ NEW CONSTRUCTION



EXISTING LOT COVERAGE:
 LOT AREA: 1728 SQ. FT.
 COVERAGE: 13.6%
 PROPOSED LOT COVERAGE:
 LOT AREA: 1728 SQ. FT.
 COVERAGE: 13.6%

PROJECT LINES PER SURVEY
 BY MERRIS PROFFER DATED 1/21/10
 PLOT PLAN
 1/25/10

PAYSON: DUBNEY ARCHITECTS 355 E. PALACE AVE. SANTA FE, NM 87501 PH. 820-1120	PROPOSED ADDITIONS TO 1066 1/2 CERRO GORDON RD. SANTA FE, NM 87501	SHEET OF 2
---	--	---------------

City of Santa Fe, New Mexico

memo

DATE: 1 May 2001

TO: Historic Design Review Board Members

VIA: Anne Condon, Planning and Land Use Director *CS for Anne*
Cyrus Samii, Planning Division Team Leader *CS*

FROM: Alysia Abbott, Historic Preservation Planner *AA*

ITEM & ISSUE:

CASE # H-01-67

ADDRESS
Historic Status
Historic District

1666 1/2 Cerro Gordo
Contributing
Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards
- State Historic Survey Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

The proposed project meets the Design Guidelines for additions to contributing buildings in the Downtown & Eastside Historic District. As such, staff recommends approval of the project.

BACKGROUND & SUMMARY:

The applicant is proposing the construction of a 485 Sq. Ft. addition to a 1,200 Sq. Ft. contributing building at 1666 ½ Cerro Gordo in the Downtown & Eastside Historic District. The addition is designed in a Spanish-Pueblo Revival manner with a flat roof and rounded parapet. Plans call for the addition to be placed on the West elevation of the existing building, set back 10' west and 10' south of the primary North elevation. Fenestration will be true-divided two-over-two wood sash. Window and door trim will be painted white. The addition will have a single low profile skylight. The applicant is proposing to face the lower 1' to 2' of all elevations of the new addition with stone to match the stone veneer on the existing building. On the North elevation, plans call for a wood half-light true-divided light door with true-divided side lights. The addition will be stuccoed in El Rey "Buckskin". The height of the proposed addition is 8'6".

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

Previous Case

H-99-004

Remodel

1666 ½ Cerro Gordo Road

OLD BUSINESS

Chair Earnest welcomed members of the public. He said that speakers are sworn and can be questioned. He explained that if a member of the public did not agree with decisions made by the board, there was an appeal process, saying that staff could assist them in this process.

1. **Case #H-99-4.** 1662 ½ Cerro Gordo. Downtown and Eastside Historic District. Contributing. Clifford Ross, agent/owner, proposes reconsideration of historic status and portal addition to primary façade. (Postponed at the 1/12/99 HDRB.)

Ms. Schackel presented the staff report. [Attached as Exhibit B.]

Present and sworn was Clifford Ross, 1665½ Cerro Gordo.

Mr. Padilla asked the color of the pro-panel. Mr. Ross said it was a non-glare brick color pro-panel.

There were no speakers from the public regarding this case.

Mr. Flance moved to downgrade the historic status of the eastern building at 1666½ Cerro Gordo Road, as described in Case #H-99-4 to non-contributing. Mr. Padilla seconded the motion, which passed by unanimous voice vote.

Mr. Padilla moved for approval of Case #H-99-4 as submitted, noting the brick color for the pro-panel. Ms. Rivera seconded the motion, which passed by unanimous voice vote.

2. **Case #H-99-7.** 135 Grant Avenue (Bergere House). Downtown and Eastside Historic District. Significant. Gluckman Mayner Architects, agents for The Georgia O’Keeffe Museum, propose addition to the east elevation.

Ms. Schackel presented the staff report. [Attached as Exhibit C.]

Present and sworn were George King, 306 Brownell-Howland Road, and David Mayner, 145 Hudson Street, New York, NY, 10013.



City of Santa Fe, New Mexico

EXHIBIT B
HDRB- 02/09/99

Project description . : CONSIDERATION OF HISTORIC STATUS
Project number . . . : 99- 10100004
Case Number : H-99-4
Project type : HISTORIC DESIGN REVIEW BOARD
Application date . . : 12/09/98

PROJECT LOCATION(S) : 1666 1/2 Cerro Gordo Rd

PROJECT NAMES:

OW- Clifford Ross 1666 1/2 Cerro Gordo
Santa Fe, NM 87501 (505) 8206096

PROJECT DATA

HISTORICAL DISTRICT	DOWNTOWN AND EASTSIDE
HISTORIC BUILDING STATUS	CONTRIBUTING
PUBLICLY VISIBLE FACADE-EAST	Y
PUBLICLY VISIBLE FACADE-NORTH	Y
PUBLICLY VISIBLE FACADE-SOUTH	N
PUBLICLY VISIBLE FACADE-WEST	Y
HISTORIC DIST SURVEY NUMBER	H14350
YEAR OF CONSTRUCTION	POST-WAR
PROJECT TYPE (NEW, ADD, ETC.)	ADDITION
USE, EXISTING	RESIDENTIAL
USE, PROPOSED	RESIDENTIAL

City of Santa Fe, New Mexico

memo

DATE: 9 February 1999
TO: Historic Design Review Board Members
VIA: Anne Condon, Planning and Land Use Director *Amc*
Cyrus Samii, Planning Division Team Leader
Mary Ragins, Historic Preservation Planner *MR*
FROM: Angela Schackel, Historic Districts Case Planner *AS*

ITEM & ISSUE:

CASE #H-99-4

ADDRESS 1666 1/2 Cerro Gordo
Historic Status Contributing
Historic District Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Case Synopsis
 District Standards
 State Historical Survey Sheet
 Minutes of _____
 Other _____

APPLICANT SUBMITTALS

Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

STAFF RECOMMENDATION:

Staff requests that the board downgrade the status of the eastern building on the site to non-contributing.

Staff acknowledges the standards for architectural design and historical preservation in the Downtown and Eastside Historic District have been met, given the change in status, and recommends approval.

BACKGROUND & SUMMARY:

The applicant proposes to add a portal connecting the primary façade of the east building to the east side of the west building. The purpose is to join the property's buildings to enable the residents roofed access without crossing the neighbor's property in the rear. According to the Historic Survey Data Form, both buildings are designated as "contributing." The applicant also proposes reconsideration of the historical status of the east building, from "contributing" to "non-contributing."

Although the buildings differ in appearance from each other, based on a visual inspection of the property, it is likely that the buildings were historically more stylistically similar. The east building's parapet appears to have been raised and territorial brick coping added, as well as a front door surround added. In addition, window openings and windows have been changed. Staff has conducted a detailed site visit and is of the

opinion that the east building has had a sufficient amount of alterations that warrant downgrading this building's historical status from "contributing" to "non-contributing."

With respect to the proposed portal, staff worked with the applicant to revise the addition to be set back 10' from the primary façade of the west building as noted in historic preservation standards for "contributing" structures (Section 14-70.73B4). The heights of the existing buildings are 12' and 10'5"; the portal's proposed height is 10' where it joins the buildings and slopes to 7'10". The proposed portal would be constructed of a natural finish wood with a brick pro-panel roofing material. The applicant did not indicate what color. The portal will have vigas and corbels; and flagstone is proposed for the walkway.

Proposed alterations to the east building include replacing the existing picture window with a pair of wood multi-lite french doors and removing the protruding frame around the existing front door. On the west building, the applicant proposes to alter the window opening on its east side and replace with a pair of french doors. Staff notes historic preservation standards do not permit openings to be widened or narrowed on all facades of significant and landmark structures and for the primary facades of contributing structures. Staff believes that the façade, which will receive the window opening alteration, is not the primary façade of the west building (Section 14-70.73CE1).

14-70.9 STANDARDS; DOWNTOWN AND EASTSIDE.

A. The governing body recognizes that a style of architecture has evolved within the city from the year 1600 to the present characterized by construction with adobe, hereafter called "old Santa Fe style", and that another style has evolved, hereafter called "recent Santa Fe style", which is a development from, and an elaboration of the old Santa Fe style, with different materials and frequently with added decorations.

B. Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

(1) With rare exception, buildings are of one (1) story, few have three (3) stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three (3) sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Facades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-sprouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

(2) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

(3) Solid wall space is always greater in any facade than window and door space combined. Single panes of glass larger than thirty inches (30") in any dimension are not permissible except as otherwise provided in this subsection;

(4) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aeriels, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;

(5) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight inches (8") thick and that geometrically straight facade lines are

avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(6) It is characteristic of old Santa Fe style commercial buildings to place a portal so that it covers the entire sidewalk, the columns being set at the curb line.

C. Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

(1) No building shall be over two (2) stories in height in any facade unless the facade shall include projecting or recessed portales, setbacks or other design elements;

(2) The combined door and window area in any publicly visible facade shall not exceed forty percent (40%) of the total area of the facade except for doors or windows located under a portal. No door or window in a publicly visible facade shall be located nearer than three feet (3') from the corner of the facade;

(3) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

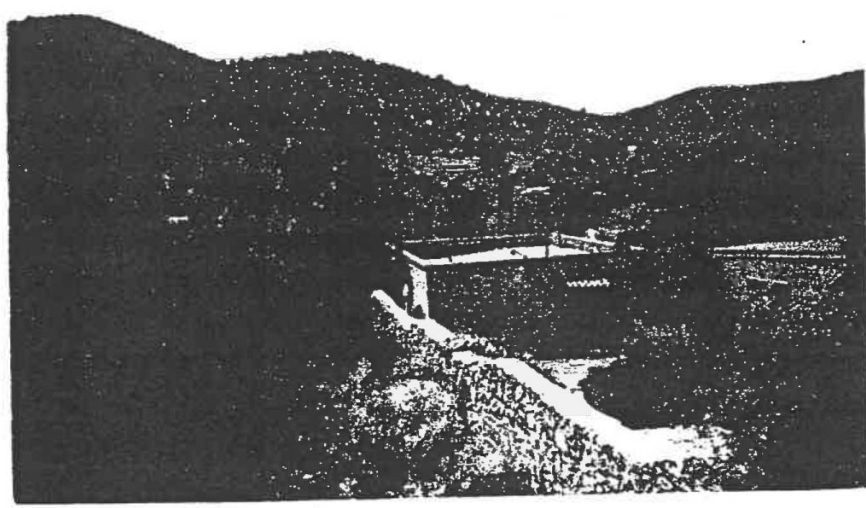
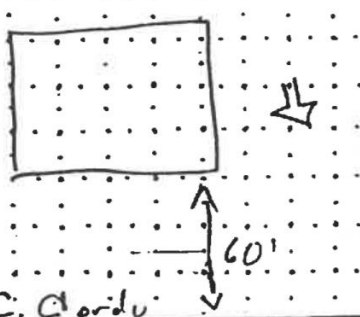
(4) No less than eighty percent (80%) of the surface area of any publicly visible facade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible facade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

(5) The publicly visible facade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Facade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portales on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portales may have larger plate glass areas for windows under portales only. Deep window recesses are characteristic; and

(6) Flat roofs shall have not more than thirty inches (30") overhang. (Ord. #1957-18, §3; Code 1973, §36-314; Code 1981, §3-29-3; Ord. #1982-63, §8; SFCC 1981, §3-29-4)

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H1735 X

building threatened? yes	surveyed date 7-7-83 by mb	county Santa Fe	ID no. 051600523
field map Santa Fe, New Mexico	number 1	UTM reference easting zone 12 13	northing
location description 1666 1/2 Cerro Cordo		city/town Santa Fe	land grant/reservation
building name	legal description Tnsp 17 N R range 10 E sec 20 SE 1/4 NW 1/4		
film roll by m no. 24	negative nos. 19	loc. of neg. HPB	plan shape
			
		date of construction Postwar * 1937 estimate actual source Directory Lateral photo use present residential other historic residential other	
style Territorial Vern	foundation material Concrete	wall material/surface Stucco	condition excellent good <input checked="" type="checkbox"/> fair <input type="checkbox"/> deteriorating
architectural features Wind - wood sliding blue Brick coping - dentil Door - 3 lite over panel, tile paving over Chimney - 1 brick, 4 metal flues/water		degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major describe:	
comments well hedge wire fence wood fence landscape street trees stone curb 0 set back 200 ft		surroundings Rec relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar district potential <input checked="" type="checkbox"/> yes <input type="checkbox"/> no significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none if eligible, interest why?	
* Details wall and the condition would suggest 1930's or earlier. This ^{appears to be} one of a group that shows on 1937 photo Set back		associated buildings? yes what type? if inventoried, list ID nos. see back? yes	

REVISED

1/26/99

December 9, 1998

Historic Review Board
Santa Fe, NM 87504

Dear Members of the Review Board,

I am submitting a proposal to officially change the designation of one of the three buildings at 1666 1/2 Cerro Gordo as "contributing" to the historic character of the neighborhood to "non contributing" structure, and to officially apply for the approval of adding a simple portal to connect the two primary structures on the property.

There are no records of when the current structures were built or when additions to the structures were made. It appears that the original structures were built in the 1940s. "Improvements" to the one of the structures (hereafter referred to as structure 1) seem to have been made in the 1960s and 1970s. These changes included adding large pain vinyl windows and a protruding framework around the door. (Photo 1) Given the amount of previous relatively recent modifications to structure 1, it does not currently contribute to the historic nature of the neighborhood.

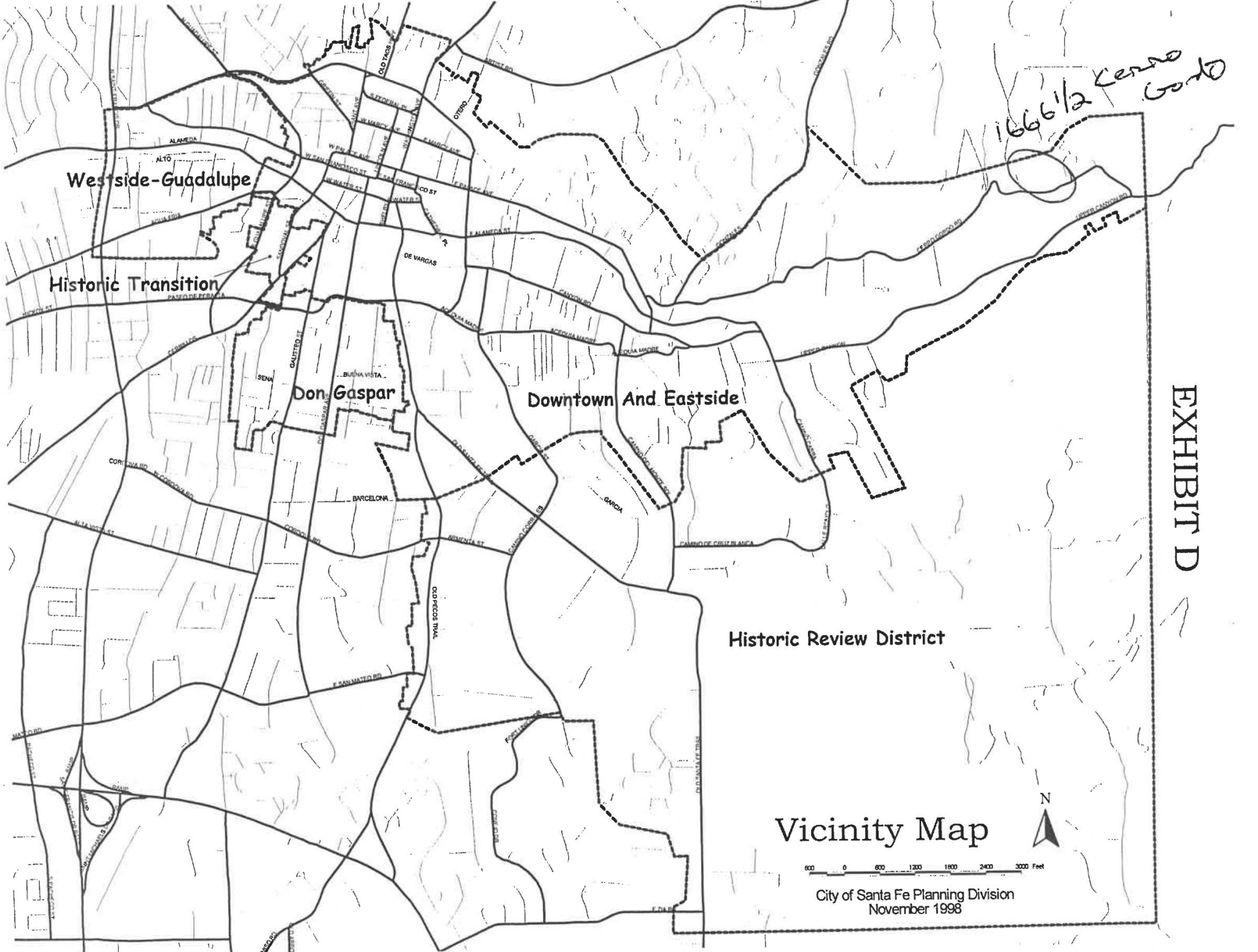
In addition, I am requesting approval of connecting the two primary structures on the property (the living room office and the kitchen bedroom) with a portal. Besides constructing the portal, this would involve replacing the vinyl windows with equal width wooden multi-lite French doors and the and removing the protruding frame around the existing door. Changing out the window to doors would allow one to move between the two buildings and would eliminate the current tendency to cut through the neighbor's property when going between the two buildings. The simple style of the portal and doors are comparable to the portal and doors that appear at 1549 Cerro Gordo and which were approved by the Board within the last five years. The portal would be constructed of a natural finished wood with a brick pro-panel roofing materials that is quite common on Cerro Gordo.

I am asking that the board correct and change this designation and approve the adding of the portal and the connecting of the two primary structures.

Thank you for your consideration.

Sincerely,

Clifford Ross (Owner)



Westside-Guadalupe

Historic Transition

Don Gaspar

Downtown And Eastside

Historic Review District

Vicinity Map

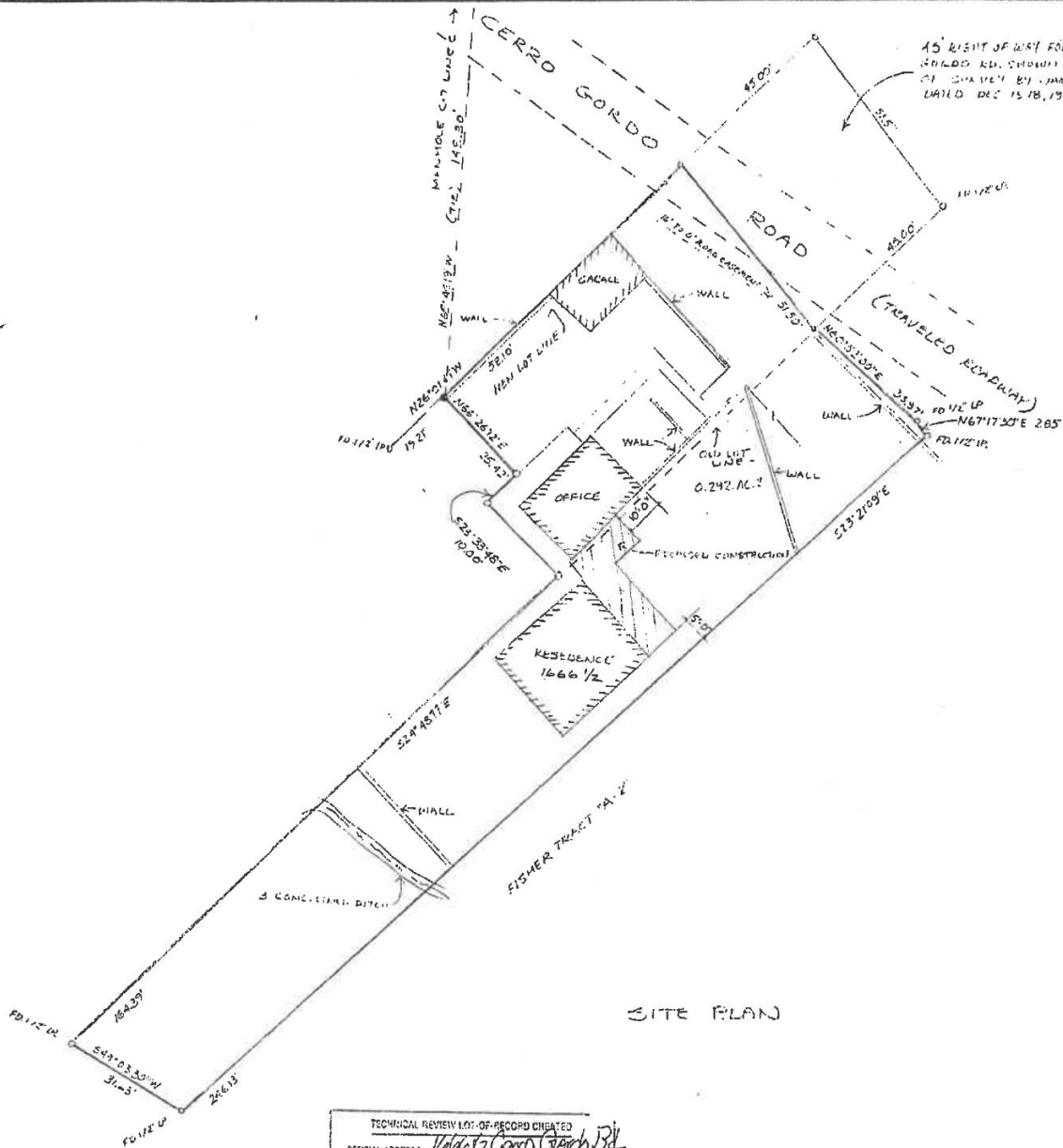
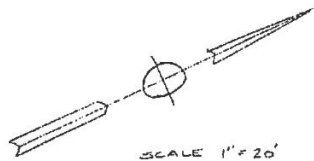


0 600 1200 1800 2400 3000 Feet

City of Santa Fe Planning Division
November 1998

1666 1/2 Cerro Gordo

EXHIBIT D



TECHNICAL REVIEW LOG OF RECORD CREATED

OFFICIAL ADDRESS: 1666 1/2 Cerro Gordo Rd

DESIGNER'S APPROVAL
 PROJECT MANAGER'S APPROVAL
 ARCHITECT'S APPROVAL
 ENGINEER'S APPROVAL
 SURVEYOR'S APPROVAL
 CITY ENGINEER'S APPROVAL
 COUNTY ENGINEER'S APPROVAL
 STATE ENGINEER'S APPROVAL

[Signatures]

REVISIONS	BY

CLIFFORD ROSS - PORTAL PLANS
 1666 1/2 CERRO GORDO ROAD
 SANTA FE N.M. 87501

DRAWN
E. SALAS
 CHECKED

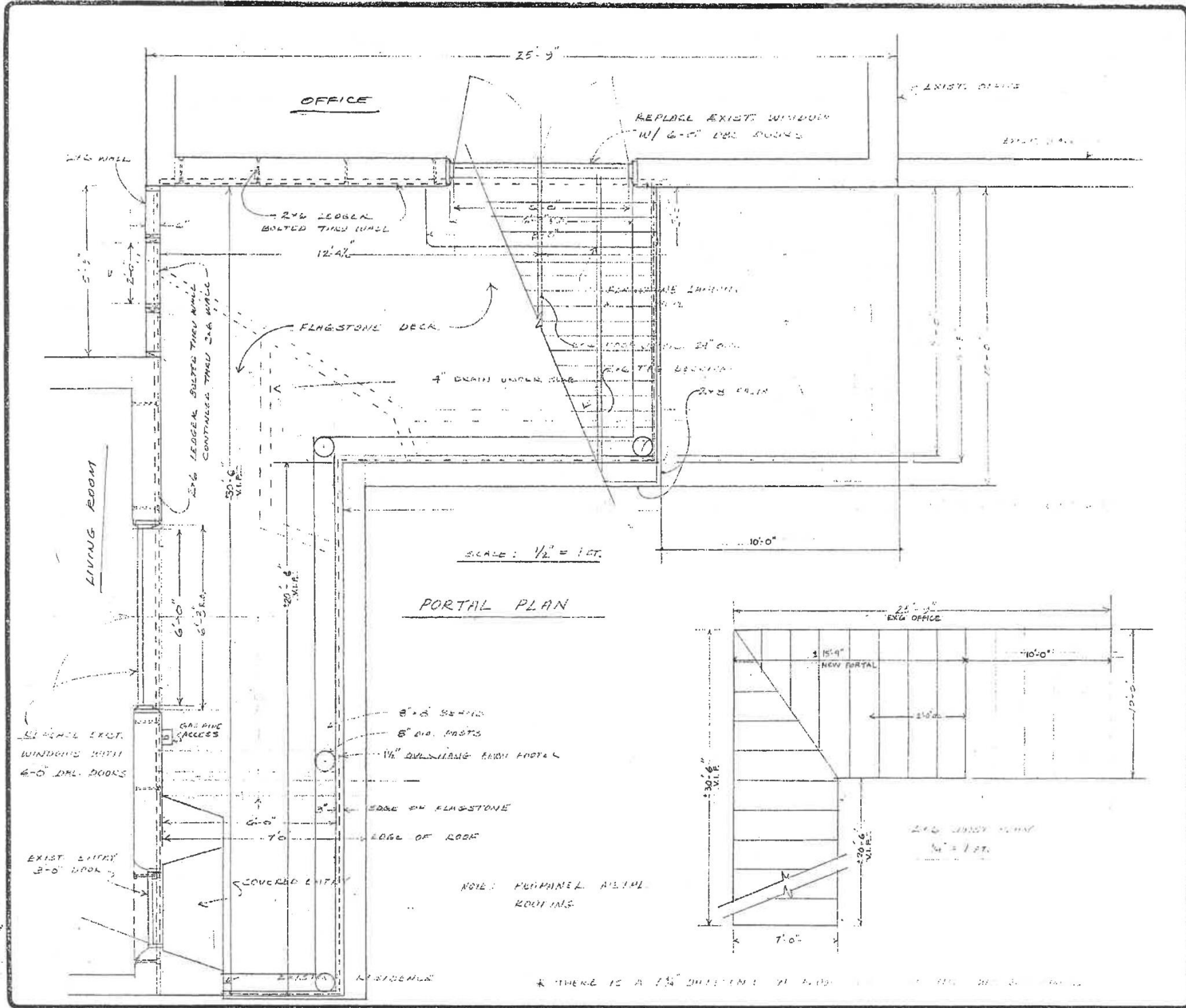
DATE
11/1/88

SCALE
1" = 20'

JOB NO.

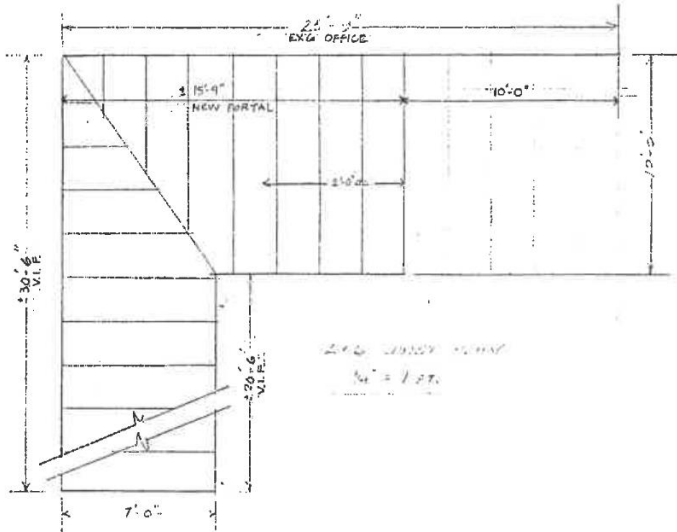
SHEET
1

OF 3 SHEETS



SCALE: 1/2" = 1 FT.

PORTAL PLAN



NOTE: PURCHASE ALL THE ROOFING.

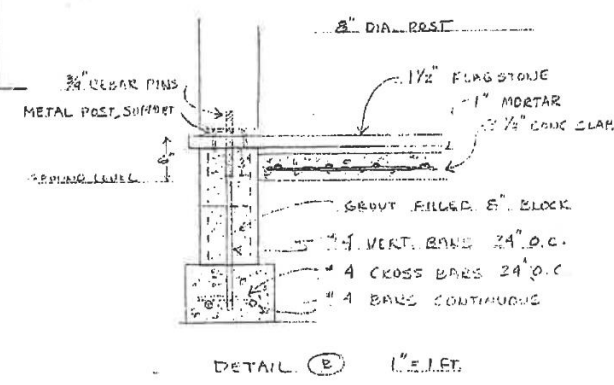
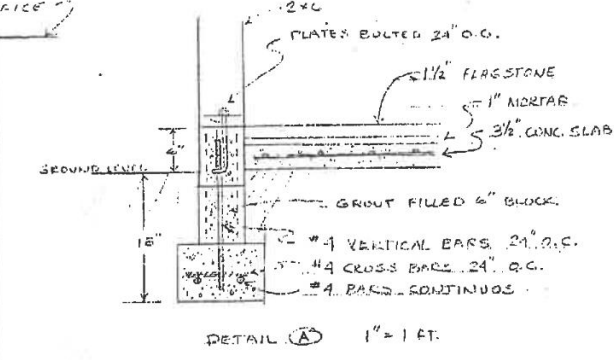
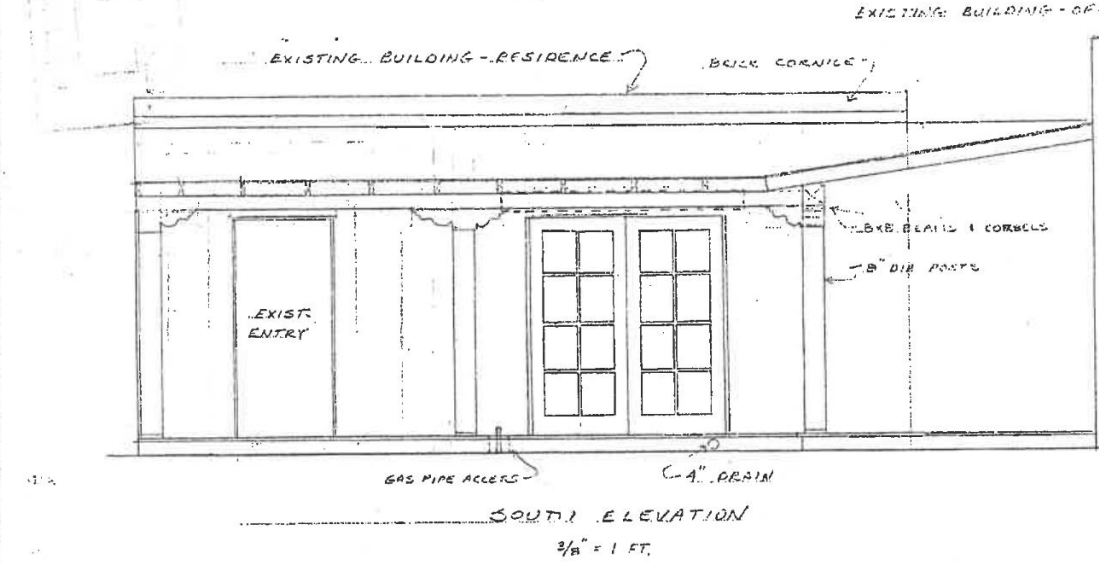
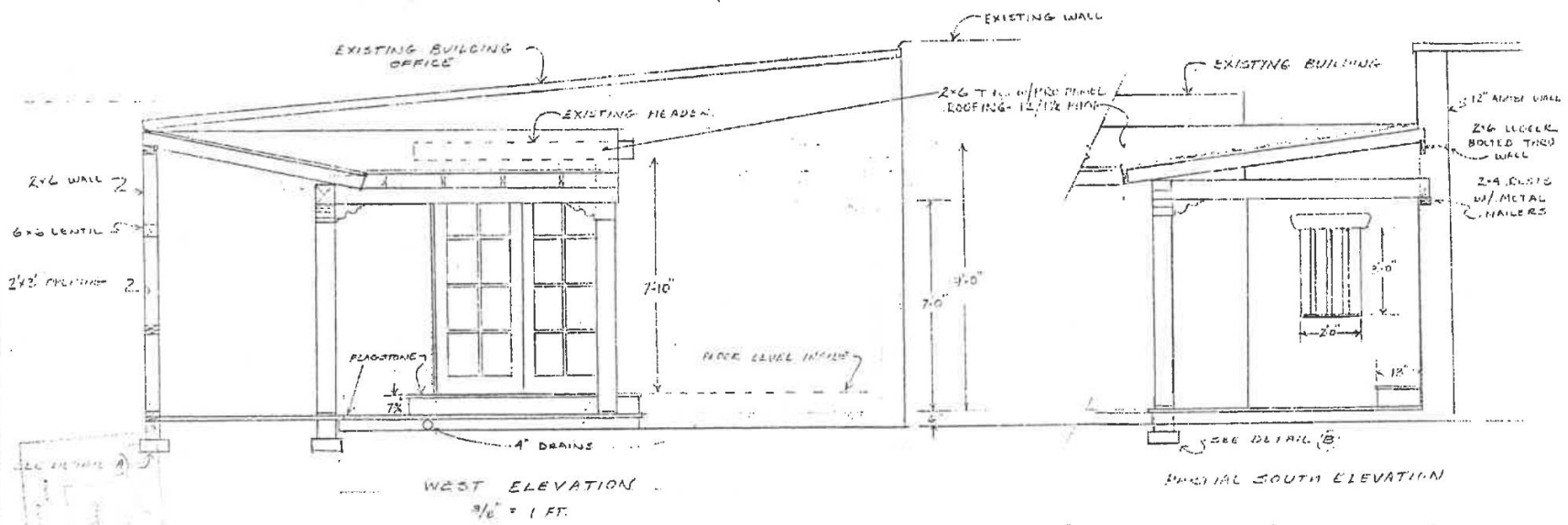
* THERE IS A 1 1/2\"/>

REVISIONS	BY

CLIFFORD ROSE - PORTAL PLAN
 1-66 1/2 CERRITOS GOLF ROAD
 SANTA FE, N.M. 87101

DRAWN R. SALAS
CHECKED
DATE 11/1/68
SCALE AS SHOWN
JOB NO.
SHEET 2
OF 3 SHEETS

REVISIONS	BY



CLIFFORD ROSS - PARTIAL PLAN
 1646 1/2 CERRO GORDO ROAD
 SANTA FE, N.M. 87501

DRAWN	R. SALAS
CHECKED	
DATE	11/1/98
SCALE	
DRAWN	
JOB NO.	
SHEET	3
OF 3 SHEETS	

1666 1/2 Cerro Grande
H-99-4



Photo 1

Front view of bedroom/kitchen.

Structure around door and vinyl
windows to be replaced

EAST BUILDING

1666 Y2 Cerro Grande
H-99-4

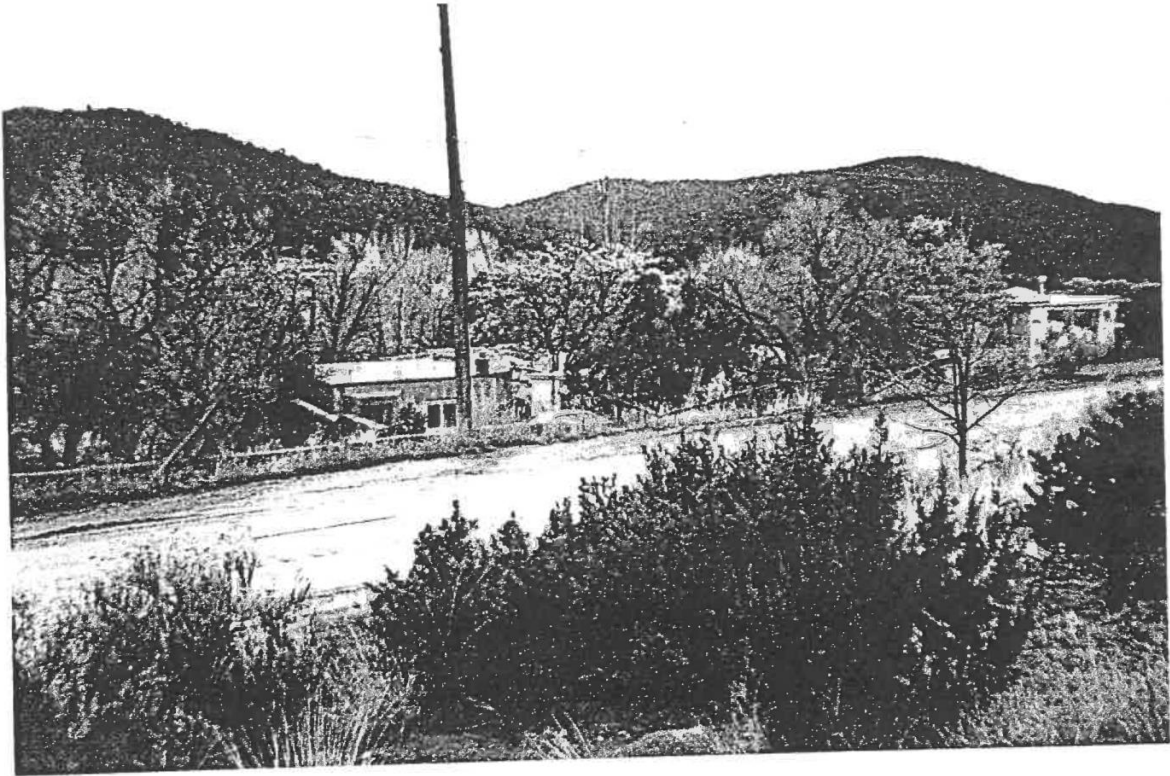


Photo 2.
Buildings as seen from Cerro Grande

1666 1/2 Cerro Gordo
H-99-4



photo 3

Showing the two buildings and
the windows that would be
replaced with French Doors

EAST SIDE
of WEST BUILDING

11666 1/2 Cerro Gordo
H-99-4



Photo 4
Building with Bedroom/office



1666 ½ Cerro Gordo Road eastern structure north façade 1999

City of Santa Fe, New Mexico

**Historic Districts Review
Board**

November 14, 2023

2023-007360-HDRB

Applicant Submittal

Remodel

1666 ½ Cerro Gordo Road

1666 ½ Cerro Gordo Road

The Evolution of the Property

The property was purchased in 1996 by the current occupant Clifford Ross from Dallas Pottinger who had bought the property at an IRS auction and cleared up existing title issues to enable the sale of the property.

At the time of the sale the property consisted of three separate structures (note – all sq.ft. are based on the Santa Fe County Assessor’s Property Sketch) - a 294 sq. ft. Garage/Storage area, a 485 sq. ft. Artist Studio and a 696 sq. ft. one bedroom/one bathroom Casita. The 3 original structures each had one façade feature that one might consider contributing to the historic nature of the property - (1) The stone base of the Garage/Storage structure, (2) The large front window of the Artist Studio and (3) The stone root cellar/portal at the back of the Casita.

To make the property livable for their family, the owners added a 485 sq. ft. bedroom and bath addition to what had been the Artist Studio and connected that Studio/Bedroom structure to the Casita via a 350 sq. ft. Portal. These changes were made with the approval of the Historic Districts Review Board and without affecting any of the contributing primary façade features.

When drainage issues compromised the structural integrity of the back (South facing) portal, the owners repaired the stone root cellar and redirected drainage on the property.

The owners, who are both over 65, have spent the last 20 years having to go outside to go between the two sections of their home. Replacing the portal with the proposed 450 sq. ft. addition will allow the owners to finalize the evolution of the property by connecting the Artist Studio and Casita, and creating a single residence while leaving the “contributing” facade unimpacted. (The garage building will not be changed.) Officially, only the street facing facade of the original artist studio is considered “contributing” by the City of Santa Fe today.



(1) 294 s.f. Garage / Storage Bldg.



(2) 477 s.f. Original Studio Contributing Primary Façade



(3) South Façade of 696 s.f. Casita Showing Root Cellar and portal

1666 ½ Cerro Gordo Road
Views from public right of way



View from Northwest Corner of Property
(Note: This area in the foreground is the property's private driveway, not Cerro Gordo Road.)



View from Northeast Corner of Property

Proposed Additions to Existing Residence 1666 ½ Cerro Gordo Road:

Existing Structures:

This property contains an existing approximately 1,750 sq.ft 1-story residence, with an existing 300 sq.ft. portal that was added in about 1999. There is also an existing 1-story garage / storage shed at the northwest corner of the property.

Proposed New Work:

This proposal includes the demolition of the 1999 portal, and the construction of a new 450 sq.ft. 1-story living room addition with attached 150 sq.ft. portal. This proposal also includes the construction of a new 400 sq.ft. carport.

The height of the existing contributing portion of the residence is approximately 12'-7" feet above the lowest adjacent grade. The height of the new addition will be approximately 12'-0" above the lowest adjacent grade.

The carport will be located in the existing outdoor parking area near the northeast corner of the property. This structure will be approximately 18' square supporting a 20' square roof. The height will be approximately 10'.

1666 ½ Cerro Gordo Road

Exception Request #2 – To allow for a 450 sq.ft. (interior space) addition to a structure which contains an existing 477 sq.ft. portion with contributing status. The exception would be to Code section 14-5.2(D) (2) (d).

Height, Pitch, Scale, Massing, and Floor Step Backs Exception Criteria:

1. Do not damage the character of the streetscape

Response: There are currently three small buildings on the property. From Cerro Gordo Road, the only easily visible building on the property is the existing historic garage/storage structure. Due to the steep slope away from the street, a viewer would need to trespass onto this property or lean over the fence to see the other existing or proposed structures, which sit approximately 10 – 12’ below street level.

The streetscape will not be damaged by this proposed addition. There exists an 8’ tall historic wall separating the Contributing portion from the addition. This wall extends an additional 16’ north of the primary (north) façade towards the street. This existing historic wall, compounded with the drop in ground plane and existence of established tree cover between the street and the proposed addition, creates a visual barrier that makes seeing the existing contributing structure and the proposed new addition from the street at the same time nearly impossible. Furthermore, the only built element on this property that is directly visible from the street is the existing historic garage, which is separate from and not affected by the proposed addition. The primary façade of the contributing structure is set back about 54 feet from the street. The façade of the addition will be approximately 61 feet from the street. As previously mentioned, both structures are well below the street level.

2. Prevent a hardship to the applicant or an injury to the public welfare

Response: The hardship here is that the code only allows a maximum of a 50% addition (interior space) to an existing contributing structure. Some contributing structures in the district may be much larger than this 477 sq. ft. structure, and limiting an addition to 50% of existing area might not create a hardship. However, in this case, an already small home would only be allowed to add 238 sq.ft. of additional square footage, which is inadequate for the applicant’s needs and current living standards.

The proposed floor area of the completed structure will add up to 2,108 sq.ft. of interior living space. The existing and completed residence will contain 2 bedrooms and 2 bathrooms.

3. Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: This is already a unique property, with existing structures containing elements of Pueblo, Territorial and other vernacular styles. The character of this home is that it appears as a

group of small structures creating a “compound” feel. Each of the elements of this group are small – between 294 and 696 sq.ft. The proposed 450 sq.ft. living room addition, which has been designed to be articulated from the existing building elements, will enhance that heterogenous character.

4. Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape

Response: There exist two special circumstances peculiar to this structure. The first is that the home as purchased by applicant was originally two separate structures. The applicant wishes to connect the structures via interior space so that they may enjoy the benefit of a home in which all interior spaces can be accessed without having to go outside. The second is that the contributing portion is very small, and meeting the 50% addition threshold would not allow construction of a suitable addition to achieve this goal.

5. Are due to special conditions and circumstances which are not a result of the actions of the applicant

Response: The two original portions of this residence have existed since long before the applicant purchased the property. Applicant is working with the lot space that is available to them to create a home where all areas can be accessed without having to go outside.

6. Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Response: This exception will provide the least negative impact to accomplish the goal of creating a single contiguous home from separate existing smaller structures thus facilitating the beneficial use of existing buildings in the historic area. Interestingly, this project follows the incremental, as-needed adding on of rooms that is characteristic of the evolution of traditional family compounds in this district. The design and detailing of the proposed addition will meet the spirit and letter of the code as stated in section **14-5.2(A) (1) (c):**

General Purpose Historic Provisions. The general harmony as to style, form, color, height, proportion, texture and material between the proposed new addition and the existing structures on the property will be maintained. The detailing of the addition will be distinct but compatible with the applicable historic requirements for an addition with the exception of meeting the 10 foot step back from the primary façade, or the maximum of 50% addition to a contributing structure.

1666 ½ Cerro Gordo Road

Exception Request #1 – To allow for an approximately 7'- 3" step back from the north primary façade of the existing contributing structure to the north façade of the proposed 450 sq.ft. addition in lieu of the required 10' step back. The exception would be to Code section 14-5.2(D) (2) (d)

Height, Pitch, Scale, Massing, and Floor Step Backs Exception Criteria:

1. Do not damage the character of the streetscape

Response: There are currently three small buildings on the property. From Cerro Gordo Road, the only easily visible building is the existing historic garage/storage structure. Due to the steep slope away from the street, a viewer would need to trespass onto this property or lean over the fence to see the other two existing structures or proposed addition, which sit approximately 10 – 12' below street level.

In 1999, the HDRB approved a new portal in the location of the proposed addition with a +/- 7'- 3" step back. The streetscape will not be damaged by this new structure with the identical step back since there is an existing >8' tall historic wall separating the two structures which extends an additional 16' north towards the street. Further, the ground plane drops significantly on the proposed addition side of this wall. This existing historic wall, compounded with the drop in ground plane and existence of established tree cover between the street and the proposed addition, creates a visual barrier that makes it nearly impossible to see the existing contributing structure and the proposed new addition from the street at the same time. See attached photos in 'Views from Public Right of Way' document.

2. Prevent a hardship to the applicant or an injury to the public welfare

Response: In its present configuration, the house comprises two separate structures linked by an open-air portal. Currently the applicant must go outside to access one part of the home from the other. Applicant intends to age in place in this home where they have lived in since 1997. The purpose of this addition is to create an interior living area for the home that links the current separate structures so that the owners can move freely between the two parts of their home without going outside. Granting this exception will eliminate this hardship.

3. Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response: This is already a unique property, with existing separate structures containing elements of Pueblo, Territorial and other vernacular styles. The character of this home is that it appears as a group of small structures with a "compound" feel. Each of the elements of this group are relatively small – between 294 and 696 sq.ft. The proposed 450 sq.ft. living room addition, which has been designed to be articulated from the existing building elements, will enhance that heterogenous character, and is consistent with the evolution of other traditional properties in the district.

4. Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape

Response: The available buildable area in front of the existing non-contributing portion of the residence is such that providing a 10' step back from the primary façade of the contributing portion of the structure would result in a substandard sized living area. It would also entail making additional changes to the east wall of the contributing structure due to the location of the existing glass doors on that wall. As previously mentioned, the applicant wishes to emphasize that the existing 16' long, 8' high historic wall between the two portions of the residence visually separates the contributing portion of the home from the 1999 permitted portal, as it will from the proposed addition with an identical step back. Whether the step back is 10' or the requested 7'-3" in depth would have no bearing on the integrity of the contributing portion of the home. Additionally, the only other buildable area on the lot is behind the eastern portion of the house and nearly a full story below it. Building here would destroy the historic rear (south) elevation of this building as well as failing to address the need to connect the two structures.

5. Are due to special conditions and circumstances which are not a result of the actions of the applicant

Response: The two original portions of this residence have existed since long before the applicant purchased the property. Applicant is working with the buildable lot area that is available to them to create a home where all areas can be accessed without having to go outside.

6. Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)

Response: This exception will provide the least negative impact to accomplish the goal of creating a single contiguous home from separate existing smaller structures thus facilitating the beneficial use of existing buildings in the historic area. The design and detailing of the proposed addition will meet the spirit and letter of the code as stated in section 14-5.2(A) (1) (c):

General Purpose Historic Provisions. The general harmony as to style, form, color, height, proportion, texture and material between the proposed new addition and the existing structures on the property will be maintained. The detailing of the addition will be distinct but compatible with the applicable historic requirements for an addition with the exception of the required 10' step back from the face of a primary façade for which we are hereby requesting an exception as necessary for the erection of the 450 sq.ft. addition.



1 SOUTH ELEVATION



2 WEST ELEVATION



3 WEST ELEVATION



Auburn Brown
Pella Clad Windows



Kinney Pacific Red Brick Parapet Cap



Light Stone (63) ★
Pro-Panel Roofing



Exterior Wood Finish - Minwax Dark Walnut # 2716

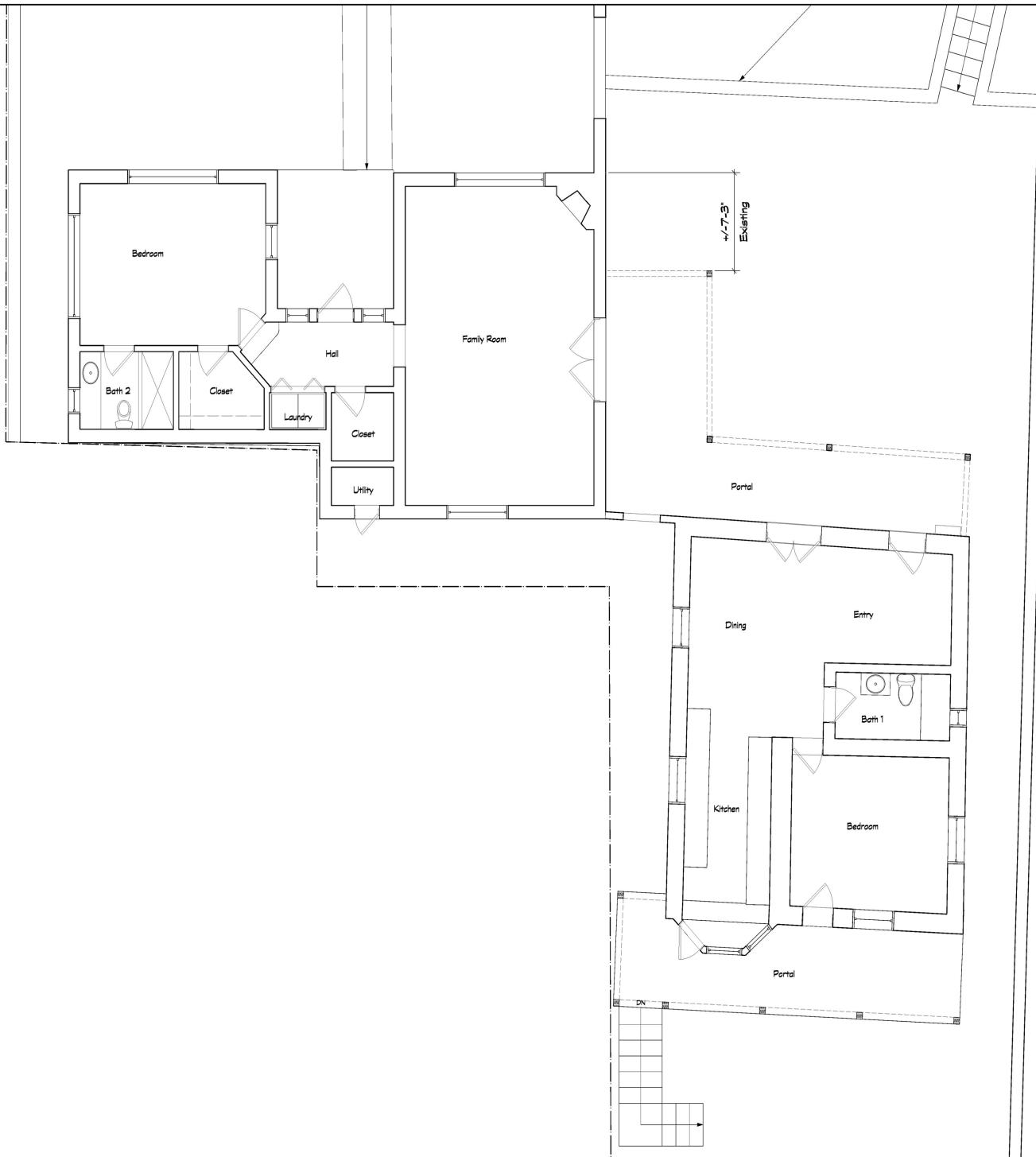


01004 ■ 25 Adobe Brown

Exterior Stucco Sto color Adobe Brown

Proposed Material Finishes And Colors

1666 1/2 Cerro Gordo Road
8/30/23

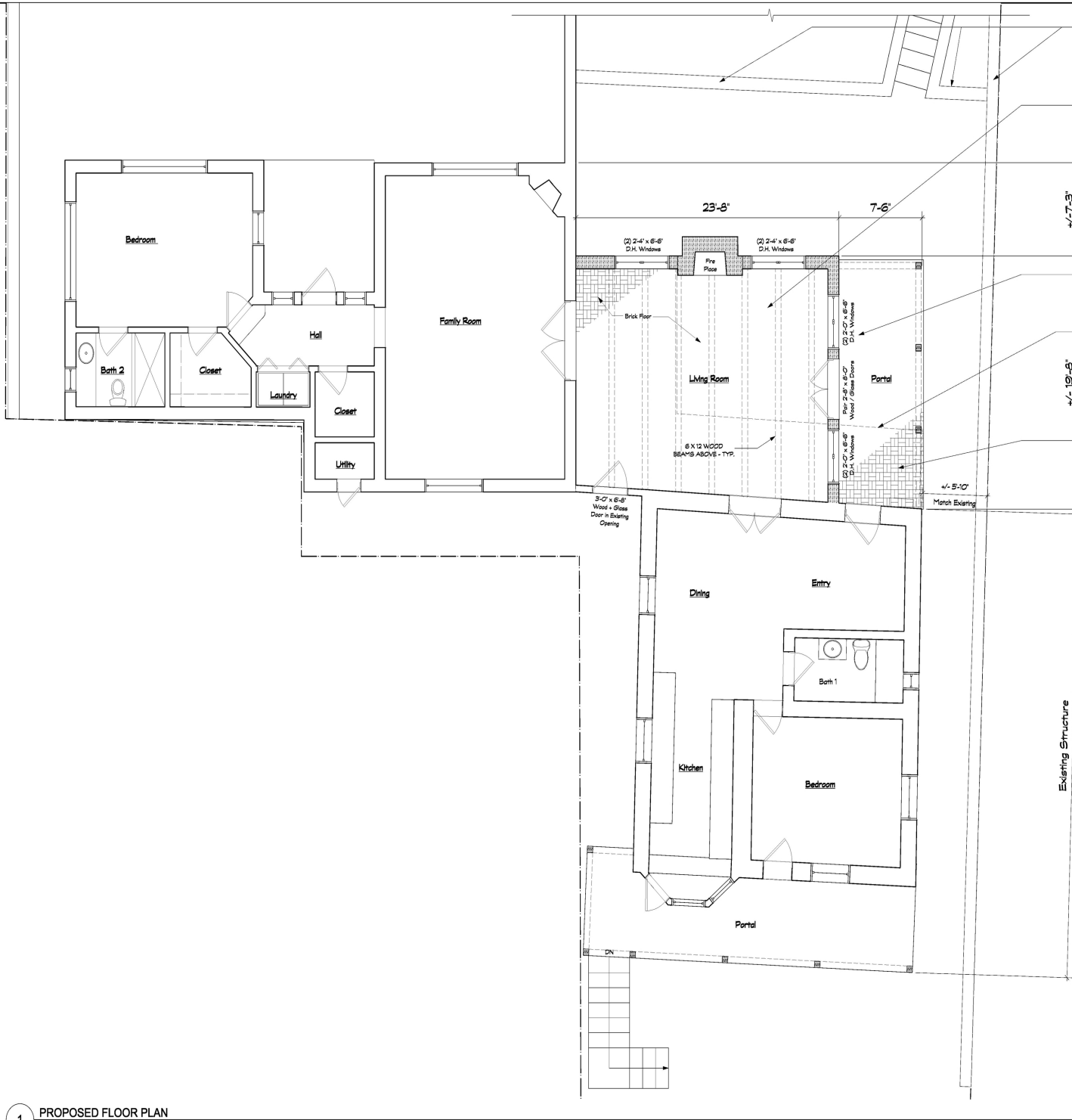


1 AS-BUILT FLOOR PLAN
 Scale: 1/4" = 1'-0"

AS BUILT FLOOR PLAN

PROPOSED REMODEL
 1666 1/2 CERRO GORDO RD.
 SANTA FE, NM 87505

Revision / Date
 Sheet



Existing Stone Walls to remain

Proposed 1-Story Addition, Approx. 450 sq.ft.

+/- 7'-3" Match Existing Setback

Proposed new Portal, Approx. 150 sq.ft.x

Outline of existing portal to be demolished

+/- 10'-8" Proposed Addition

Reuse existing brick pavers to be removed at Portal if possible

Existing Structure

Match Existing

3'-0" x 6'-8" Wood + Glass Door in Existing Opening

(2) 2'-4" x 6'-8" D.H. Windows

Fire Place

(2) 2'-4" x 6'-8" D.H. Windows

Brick floor

Living Room

6 X 12 WOOD BEAMS ABOVE - TYP.

Portal

2'-0" x 6'-8" Wood Beam Stone

2'-0" x 6'-8" Wood Beam Stone

7'-6"

23'-8"

4'-5'-0"

Bedroom

Family Room

Hall

Bath 2

Closet

Laundry

Closet

Utility

Dining

Entry

Bath 1

Kitchen

Bedroom

Portal

DN

1 PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"

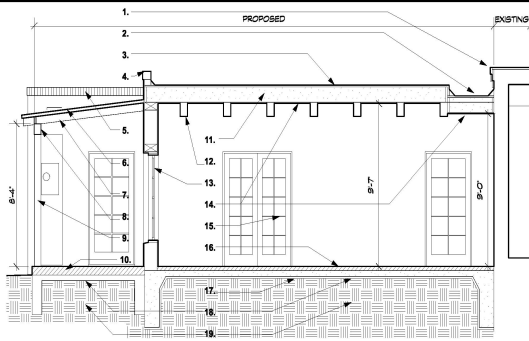
Payson Denney Architects
755 Acquia Madre Santa Fe, NM 87505 505.820.1126
310.502.5514 www.paysondenney.com paysondenney@paysondenney.com

PROPOSED FLOOR PLAN

PROPOSED REMODEL
1666 1/2 CERRO GORDO RD.
SANTA FE, NM 87505

Revision Date
Sheet

HB-3
of
Date 10/20/23



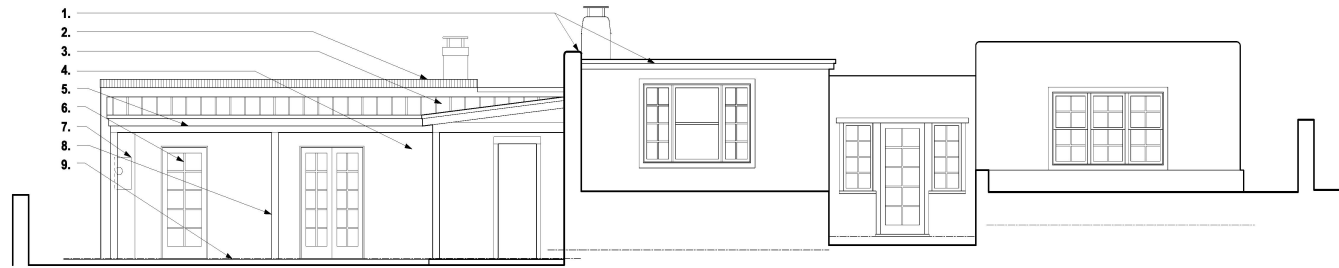
5 SECTION THROUGH PROPOSED ADDITION
Scale: 1/4" = 1'-0"

SECTION NOTES

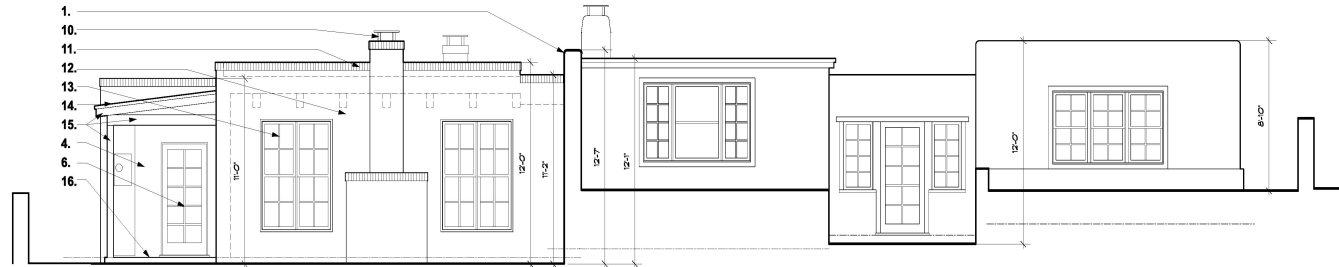
- 1 Existing Fascia
- 2 Dropped roof at existing building
- 3 Single Ply 'torch-down' roofing
- 4 New Territorial Style Brick Parapet
- 5 Existing Brick Parapet Beyond
- 6 Pro-Panel Roof - match or re-use existing to be removed if possible
- 7 2 x 8 rafters @ 24" o.c.
- 8 6 x 8 beam
- 9 6 x 6 columns at portal
- 10 Re-use existing brick pavers to be removed
- 11 Closed cell sloped insulation
- 12 6 x 10 Architectural grade roof beams @ 36" o.c.
- 13 New clad windows per elevations
- 14 Plaster Ceiling
- 15 Existing Doors beyond
- 16 Brick over Concrete Slab Floor
- 17 Underslab insulation per code
- 18 Sand and gravel under slab
- 19 Existing Soil

ELEVATION NOTES

- 1 Existing Wall and Fascia
- 2 Existing Brick Parapet
- 3 Existing Propanel Roof
- 4 Existing Stucco Exterior Wall
- 5 Existing stained wood rafters, fascia and beams
- 6 Existing stained wood doors and windows
- 7 Existing meter and electrical panel
- 8 Existing 6 x 6 stained wood columns
- 9 Existing brick pavers at portal
- 10 New chimney and cap
- 11 New brick parapet
- 12 New Sto stucco
- 13 New clad windows per specifications
- 14 New Propanel roofing and drip edge
- 15 New stained wood framing
- 16 Re-use existing brick pavers to be removed

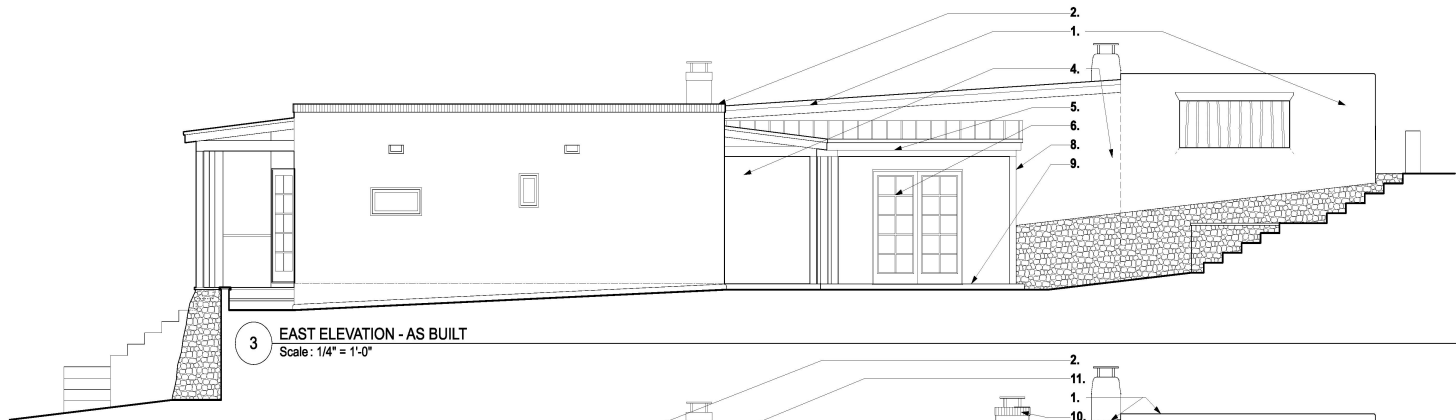


1 NORTH ELEVATION - AS BUILT
Scale: 1/4" = 1'-0"

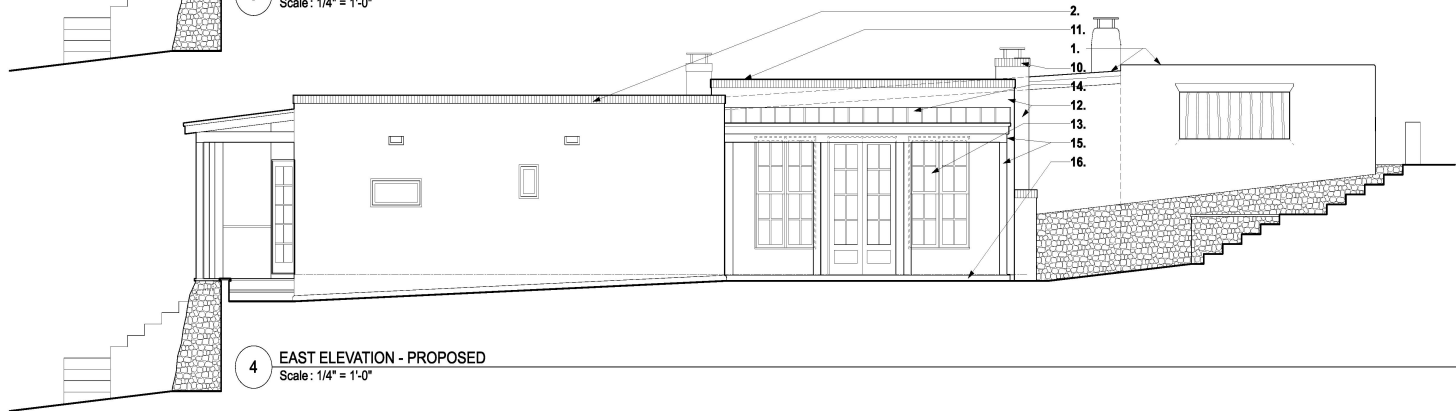


2 NORTH ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

Note - all elevations are approximate as ground level varies.



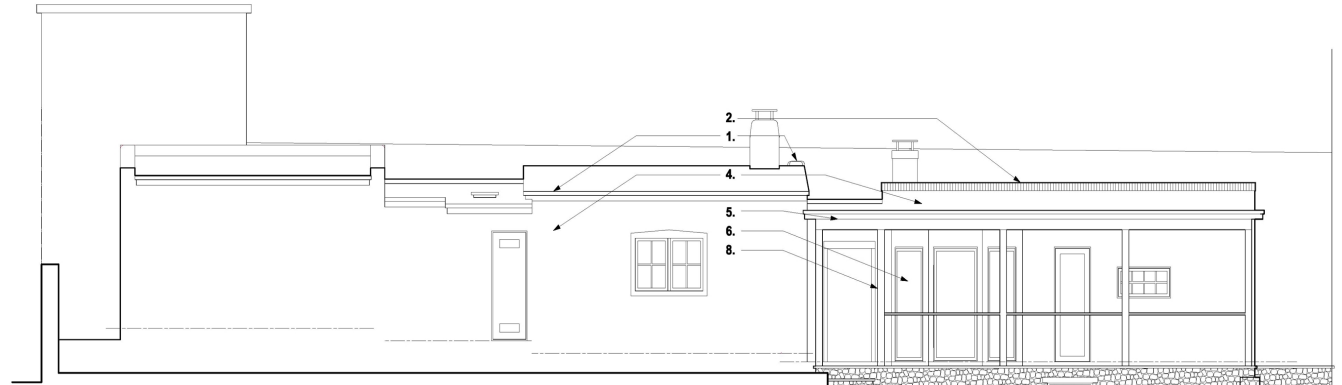
3 EAST ELEVATION - AS BUILT
Scale: 1/4" = 1'-0"



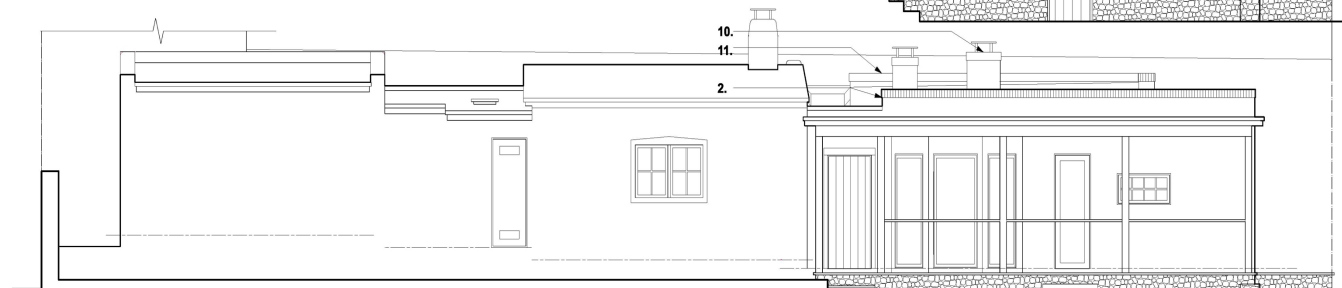
4 EAST ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"

ELEVATION NOTES

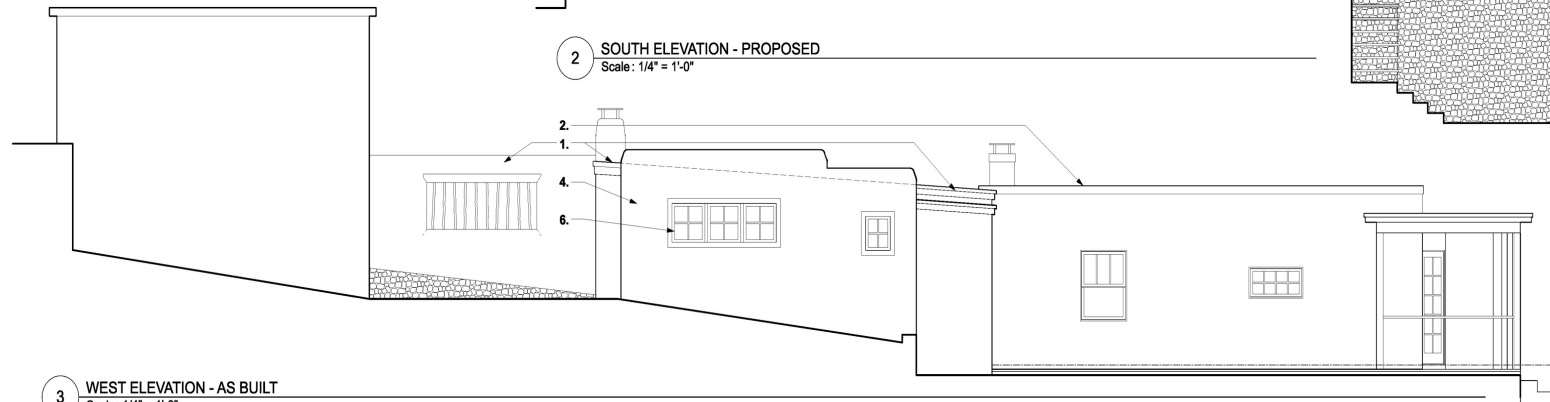
- 1 Existing Wall and Fascia
- 2 Existing Brick Parapet
- 3 Existing Propanel Roof
- 4 Existing Stucco Exterior Wall
- 5 Existing stained wood rafters, fascia and beams
- 6 Existing stained wood doors and windows
- 7 Existing meter and electrical panel
- 8 Existing 6 x 6 stained wood columns
- 9 Existing brick pavers at portal
- 10 New chimney and cap
- 11 New brick parapet
- 12 New Sto stucco
- 13 New clad windows per specifications
- 14 New Propanel roofing and drip edge
- 15 New stained wood framing
- 16 Re-use existing brick pavers to be removed



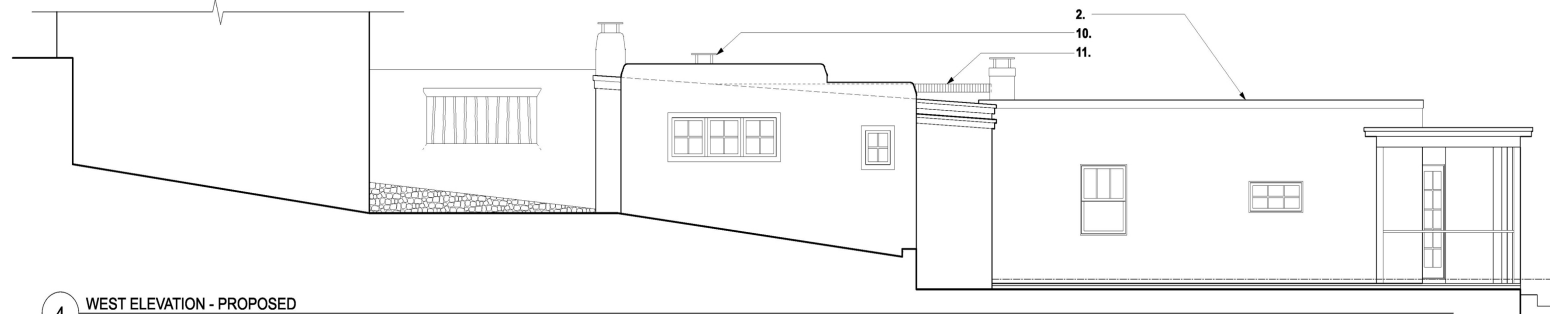
1 SOUTH ELEVATION - AS BUILT
Scale: 1/4" = 1'-0"



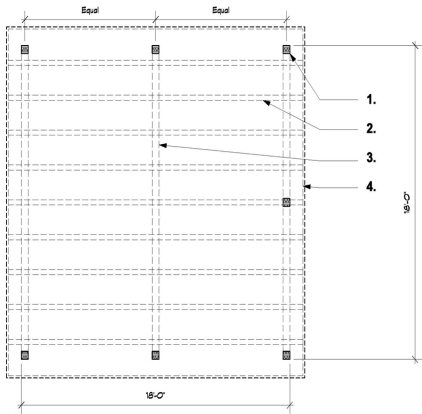
2 SOUTH ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



3 WEST ELEVATION - AS BUILT
Scale: 1/4" = 1'-0"



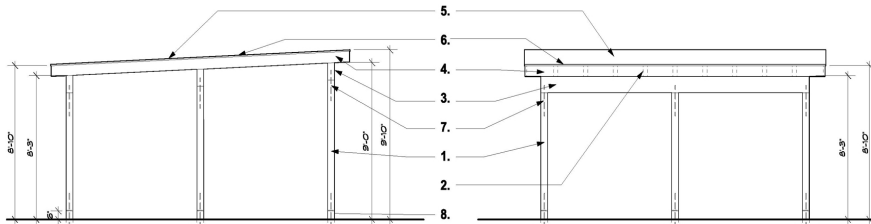
4 WEST ELEVATION - PROPOSED
Scale: 1/4" = 1'-0"



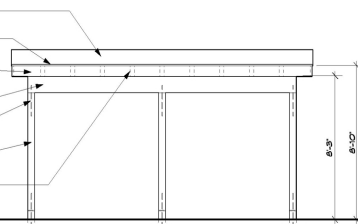
CARPORT NOTES

- 1 6 x 6 Stained Wood Columns mounted on 6" high Concrete Stem Wall
- 2 4 x 8 Framing above
- 3 6 x 12 Stained Wood Beams above
- 4 4 x 8 Stained Fascia above
- 5 Single-Ply "Torch Down" roofing
- 6 Aluminum Drip Edge
- 7 Concealed connections per engineer
- 8 6" x6" concrete stem-wall footing per engineer

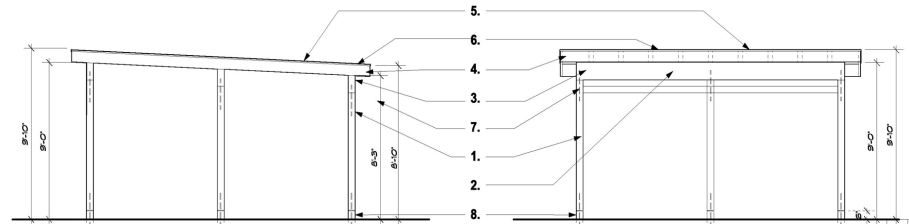
1 CARPORT PLAN
Scale: 1/4" = 1'-0"



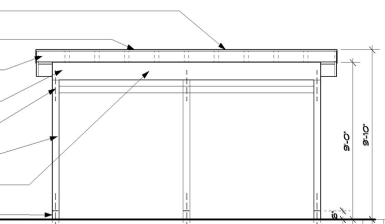
2 CARPORT NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 CARPORT EAST ELEVATION
Scale



4 CARPORT SOUTH ELEVATION
Scale



5 CARPORT WEST ELEVATION
Scale

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

Case # 2023-007473-HDRB

Address: 802 Don Cubero

Historic Status: Contributing

Historic District: Don Gaspar Area Historic District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form(s) H-1675 (1982)
and H-1675 (2023)

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Window schedule and
specifications

STAFF RECOMMENDATION:

Staff does not recommend approval of the proposed project and finds that the application does not comply with Section 14-5.2(D)(5)(a)(i) General Design Standards for all Historic Districts and Section 14-5.2(D)(5) Windows, Doors, and Other Architectural Features. The windows in the 1982 Historic Building Inventory Form, which were the original historic windows, show wood divided lite windows.

In the 1990s wholesale replacement of the windows with aluminum sliders occurred. Staff was not able to find these replacements were permitted in the available records.

BACKGROUND & SUMMARY:

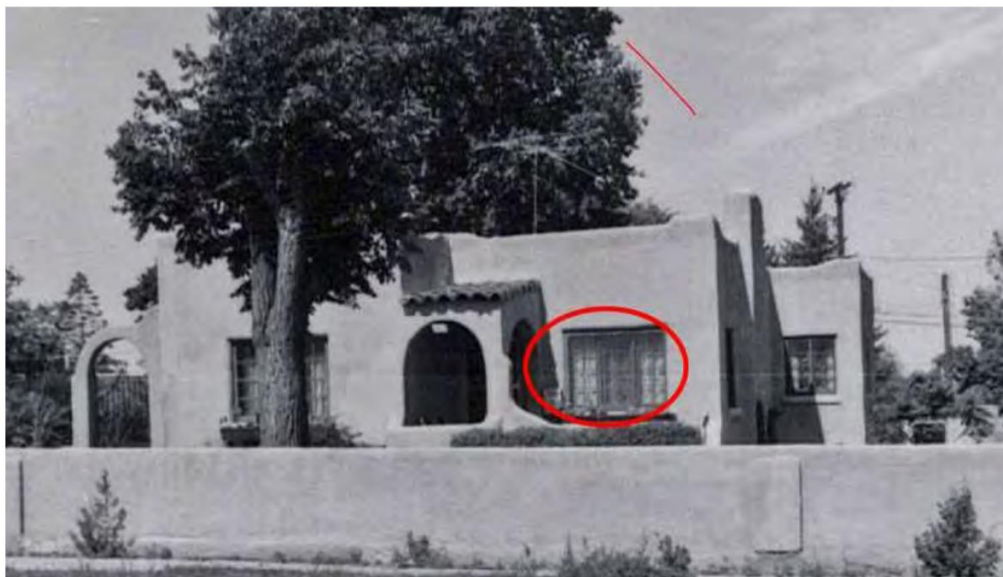
Sitting on a corner lot in the Don Gaspar Area Historic District, 802 Don Cubero Avenue was constructed in the 1920s and altered some 80 years later. The hollow pentile house faces east onto Don Cubero with a modestly scaled porch. The mixed Spanish Eclectic and Pueblo Revival building encloses roughly 2,942 square feet including a finished basement. The property includes low street walls, a non-historic carport, and an original two-car garage. The house and garage are contributing to the Don Gaspar Historic District.

In Historic Districts Review Board case # 2023-007313-HDRB the Board designated the structure retain contributing status and the north and east facades of the main residence and the north façade of the original garage be designated as primary. The Board also designated the north and east site walls as contributing.

Now, the applicant proposes the following exterior alterations:

- 1) Replace 21 non-historic windows at 802 Don Cubero Ave with Simonton 6200 series. Colonial style with inside grilles, white vinyl duo-pane single-hung on the main floor and small sliding windows in the basement.
- 2)
The color of stucco repair will match the current house, which is STO in Pueblo 01005.

The proposed replacement windows will not replicate the style of the windows that historically existed on the house. The August 1982 Historic Cultural Properties Inventory Form includes a photograph that reflects the historic windows on the house. The windows were divided lite wood windows and have a very different character of the current windows. It is also possible that the window openings were also changed in size with the installation of the windows in the 1990s. The proposed replacement windows may threaten the historic contributing status of the building.



RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(A)(6) Nonconforming Structures:

Any building in the historic district not meeting the standards for architectural style set forth in this section, unless given special approval by the board for architectural or historic interest or unless individually entered in the state register of cultural properties or in the national register of historic places or designated as significant on either register, shall be considered nonconforming. Except for repairs and maintenance required by law, no nonconforming building may be added to or altered in any way unless the proposed addition or alteration will bring the whole to a degree of conformity acceptable to the board. Structures other than buildings, including signs, not conforming to the architectural style or sign standards set forth in this section shall be considered nonconforming. No alteration or repair may be made of any such structure other than its removal. No nonconforming structure in the historic district, which has been damaged by fire, explosion, act of God or the public enemy to the extent of more than fifty percent of its value, exclusive of basement or cellar, shall be restored except in conformity with the requirements of this section.

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
- (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
- (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of

historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

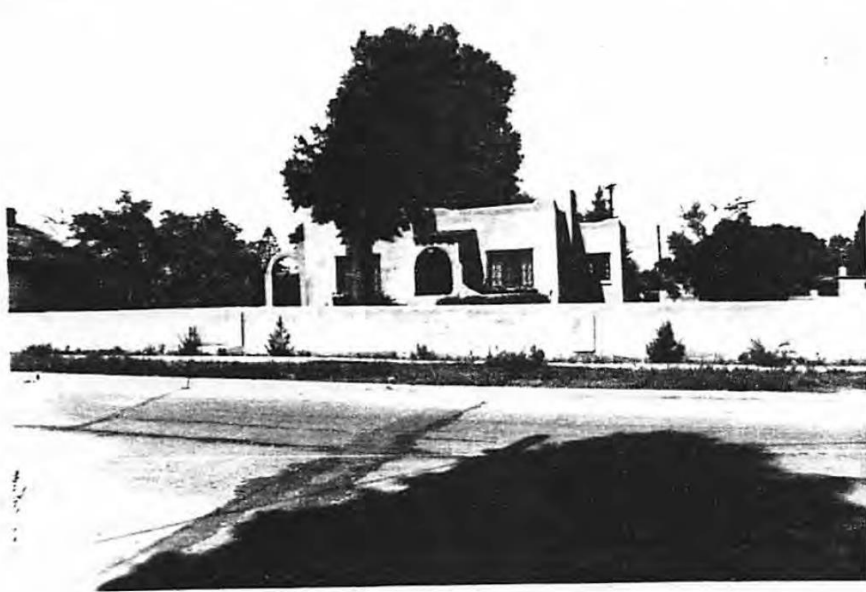
- (a) Slump block, stucco, brick, stone, or wood shall be used as exterior wall materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials. The painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using building as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- (b) Roof forms including but not limited to flat, gabled, shed, and hipped roofs are allowed. Folded plate or hyperbolic roofs are not allowed.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, greenhouses, garden rooms, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened by the following methods:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure.Non-glare materials shall be used in solar collectors.
- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems.
- (e) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in view from any public street, way, or other public place.
- (f) Greenhouses. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends

and the greenhouses made from enclosed porches or portales shall maintain the shape of the porch or portal.

- (g) For residential uses, paving with asphalt or parking is not allowed in the front yard except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front yards are required to be landscaped, and no required front yard shall be used for off-street parking.
- (i) As a condition of any rezoning all applicants shall provide evidence of sufficient off street parking and an intent to maintain the architectural integrity of the existing building or to conform to the architectural style of the district if constructing a building on a vacant lot.

(2) Walls; Fences; Solar Collectors; Administration


Applications for erection, alteration, or destruction of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)



building threatened? yes	surveyed date 8-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 598	UTM reference zone 12 ⑬	easting northing
location description 502 Don Cuervo		city/town Santa Fe	
building name		land grant/reservation	
legal description tensp N S range E W sec		building name	
film roll by E.T. no. 19	negative nos. 22	22A	loc. of neg. City of Santa Fe
building-site plan		street	
		date of construction 1930 estimate 1912-28 actual	
		source City Directory	
		use residential	
		historic residential	
condition ___ excellent ___ fair ___ good ___ deteriorating		degree of remodeling ___ minor ___ moderate ___ major	
style Mission Revival	foundation material N/A	describe:	
	wall material/surface Stucco	surroundings Yes	
architectural features Undulating parapet tile roof porch - round arches wood casement		relationship to surroundings ___ similar ___ not similar	
comments 3' stucco wall		district potential ___ yes ___ no	
		significance ___ significant ___ contributing date	
		___ supporting ___ intrusive	
1936 ed - The Miosh CR		associated buildings? ___ yes	
1928 ed - Dickman - 117 Selano Dairy Farm		what type? Garage at rear	
		if inventoried, list ID nos.	
		see back? ___ yes	

Historic Cultural Properties Inventory (HCPI) Base Form (FORM1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

Date of Form: August 11, 2023

For HPDOffice use only:					
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675		
5. Property Type: <input checked="" type="checkbox"/> Buildings: 3 <input checked="" type="checkbox"/> Structures: 1, walls <input type="checkbox"/> Site <input type="checkbox"/> Object					
6. Date of Survey: July 27, 2023					
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: August 1982 <input checked="" type="checkbox"/> No:					
8. Name of Project: HDRB Status Evaluation					
9. Lat/Long: 35.6785398,-105.9473138					
10. Photo Information: John W. Murphey, photographer.		Photo 1: View of east elevation, facing northwest.			
<p>11. Brief Description of the Property:</p> <p>Sitting on a corner lot in the Don Gaspar Area Historic District, 802 Don Cubero Avenue was constructed in the 1920s and altered some 80 years later. The hollow clay tile house faces east onto Don Cubero with a modestly scaled porch. The mixed Spanish Eclectic and Pueblo Revival building encloses roughly 2,942 square feet including a finished basement. The property includes low street walls, a non-historic carport, and an original two-car garage. The house and garage are contributors to the district.</p> <p><i>Continued on Page 5.</i></p>					
12. Who uses the property? Residence					
13. Construction Date: Date: Before 1920s <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: census enumerations and city directories					
14. Setting: Suburban Rural Village Urban If Urban: Commercial Industrial <input checked="" type="checkbox"/> Residential Public					
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A					

<p>16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>	
 <p style="text-align: right; margin-top: 10px;">  </p>	<p>17. Surveyor: (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 John@archhistoryservices.com</p> <p>For: Current owner:</p>
<p>Source: Office of the Santa Fe County Assessor parcel lines are not accurate</p>	
<p>19. Is Property Endangered? <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes How?</p>	
<p>20. Significance to Current Community: <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Moderate <input type="checkbox"/> High Describe: Unknown</p>	
<p>21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p>22. National or State Register:</p> <p>Is this property individually listed on a historic register? <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes: <input type="checkbox"/> State <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p>23. National or State Historic District: City of Santa Fe</p> <p>Is this property in a historic district? <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes If yes: <input type="checkbox"/> Significant <input checked="" type="checkbox"/> Contributing: house & garage <input checked="" type="checkbox"/> Non-contributing: carport* <input checked="" type="checkbox"/> No Status: wall Per City of Santa Fe official designation map; *per property owner</p> <p>If 'yes', what is the name of the district? <input type="checkbox"/> State <input checked="" type="checkbox"/> National <input checked="" type="checkbox"/> City of Santa Fe: Don Gaspar National Register historic district and Don Gaspar Area Historic District</p>	
<p>24. Supplemental Forms:</p> <p><input type="checkbox"/> None <input checked="" type="checkbox"/> HCPI Detail Form (FORM2) <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2																															
District No.		NRHP	SRCP	Criteria A B C D																													
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House		2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675																													
				4. County: Santa Fe																													
				5. Date of Survey: July 27, 2023																													
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																	
6. Visible Construction Material: <input type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco <input checked="" type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other:																													
				8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised: Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																													
				9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V-Crimp: <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																													
10. Window Types House and Garage				11. Door Types House and Garage																													
<table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>11</td> </tr> <tr> <td>Sliding – Cellar</td> <td>Aluminum</td> <td>1-1</td> <td>5</td> </tr> </tbody> </table>				Operation	Material	Glazing	Number	Sliding	Aluminum	1-1	11	Sliding – Cellar	Aluminum	1-1	5	<table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Modern Plank</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>15-Light</td> <td>Metal</td> <td>1</td> </tr> <tr> <td>Garage</td> <td>Swinging</td> <td>Wood</td> <td>2 sets</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Modern Plank	Wood	1	Single-Leaf	15-Light	Metal	1	Garage	Swinging	Wood	2 sets
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Garage	Swinging	Wood	2 sets																														
Note: Based on visibility and access during survey																																	
12. Chimneys <input checked="" type="checkbox"/> Exterior, at wall, north				13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																													
14. Other Significant Features N/A																																	
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications																																	
<p>#1 Date: c.1990s; wholesale replacement of original wood windows; 1982 HBI form and visual and material evidence</p> <p>#2 Date: c.1990s; alteration of window openings and sills; 1982 HBI form and visual and material evidence</p> <p>#3 Date: c.1970s-1990s; introduction of carport; aerial photographs and visual and material evidence</p>																																	

HCPI Detail Form (FORM2)

(Continued from other side)

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Architectural Description Continued

Setting

The house stands at the north end of Don Cubero Avenue at its intersection with West Buena Vista Street. It spreads over two and a half lots of the Don Diego Addition. It faces east, looking over the front yard. This yard, laid with gravel and planted fruit trees, shrubs, and other vegetation, continues along the north exposure. The south side of the house faces a private, fenced yard of earth and flagstone. A small garage is placed at the northwest corner of the property, along an alley. Attached to the garage is a non-historic gabled carport used for storage.

East

The main façade faces Don Cubero Avenue. Because of fences, trees, and vegetation, it is mostly obscured (Photo 2). The façade consists of a projecting cube-like volume and adjacent entry porch, rendering a roughly cross-gabled form (Photo 3).

This composition, with its mixed undulating parapets and arched tiled roof porch, reflects the period when the Pueblo Revival style had yet to formalize. In this way, it is an amalgam of the Spanish Eclectic and Santa Fe styles.

Also evident in the façade is the aftermath of a c.1990s project upgrade to the house. This project, or projects, replaced the original multi-light wood casement windows with sliding aluminum units. The openings were altered. Comparing the 1982 survey photograph to the present, the window at the right of the entrance now seems smaller, with a much deeper, almost exaggerated reveal (Fig. 1) (Photo 4). The sill is much fatter, taking on a bulbous, almost comical look.

North

The north elevation, facing West Buena Vista, is dominated by a large ivy-covered chimney (Photo 5). The ivy continues along the east side of the parapet, draping down the wall. The wall is penetrated by vertical openings containing aluminum sliding windows. Like the east side, they are set deep in the wall and have exaggerated sills (Photo 6). The parapets sweep up at the corners to form batwings.

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West

The west elevation encloses the kitchen and has four openings at different header heights (Photo 7). Three hold sliding glass windows, set deep in the wall with rounded sills. Near the center is a replacement glass door with the original canopy hood removed.

South

The south elevation is a wall with windows placed in the living room, bathroom, and bedroom (Photos 8 & 9). Like elsewhere, these are aluminum sliding units terminated with bulbous sills (Photo 10). Four ground-level windows provide light into the basement, which holds a bedroom, exercise room, and laundry. The cellar windows are replacements, consisting of aluminum framed sliders.

The house has been re-stuccoed. The slurry-type sand finish coat added approximately ¼” of new layering, bulking up the house’s appearance.

Interior

Holding three bedrooms and two full baths, the interior has been entirely remodeled. Aside from older window casings, no original design elements or finishes survive.

Carport

Between the house and the original garage stands a roughly 528-square-foot carport (Photo 11). The gabled structure is open at the east and encloses a gravel floored area. Its long side walls have arched openings filled with *latilla*. The carport likely replaced an earlier structure evident in a 1969 aerial (Fig. 6).

Garage

A rectangular, hollow tile-constructed two-car garage takes up the northwest corner (Photo 12). It abuts directly onto the carport on its east elevation. The 324-square-foot structure is ornamented fashion as the house with an undulating center parapet, flaring up at the corners with batwings. Giving entry to the interior are two sets of 48”-wide

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swinging doors. While altered with plywood, the lower panels appear to be older as they are made of tongue-and-groove boards framed with molding. The elevation alley has no openings (Photo). The south side has a single window that was not accessible during the survey.

Street Walls

Low stuccoed walls define the east and north frontage of the property. Along West Buena Vista, the north wall moves from a tall point of 68" at the carport down to 46" in front of the house. The taller section, with its 6" thickness, may be a replacement. East of the carport entry, it maintains a 46" height and a 9" thickness (Photo 13). The wall includes 18"-wide pilasters. An opening near the east holds a gate.

The Don Cubero Avenue section continues roughly at the same height and thickness with pilasters spaced at 25' intervals (Photo 14). Newer sections of wall frame a parking area at the south end of the property. Based on an aerial photograph, the West Buena Vista wall was in place by 1958 (Fig. 5). 1969 aerial shows both walls extant (Fig. 6). The wall has been re-stuccoed at least once (Photo 15).

Historical Overview

The Don Diego Addition

The Don Diego Addition, one of the first neighborhoods of Santa Fe developed after statehood, took form in late 1912. The rectilinear, north-south-oriented plat was carved out of land owned by the George B. Berger estate (Fig. 2). It offered wide streets, alleys, typical 25'x120' town lots, and avenues named after former Spanish governors.

Oscar C. Watson, a Texas-born realtor and insurance broker with an office on the Plaza, handled sales. He, Carl A. Bishop, and Wesley Norman Townsend were the addition's principal investors, which an early January 1913 advertisement described as being in "One of the Most Desirable Residence Sections of the City."¹ They are recorded to have

¹ Advertisement, *Santa Fe New Mexican*, January 13, 1913, 5.

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owned the subject lots on which the house was built. For only \$50 down and a monthly payment of \$10, Watson offered a town lot and a warranty deed.

With apparently sluggish sales, Watson put the remaining lots up for auction in August 1913. In an “Announcement Extraordinary,” the company described the investment opportunities in almost biblical terms. The “Wise Ones” had profited from similar sales and were already “harvesting,” and those who wanted to be a “King” were encouraged to take advantage of the deal.² In a nod to the city’s nascent architectural conformity, Watson urged builders to “adopt the New Old Santa Fe plan.”

The sale did little to spur development. Three years later, a desperate-sounding paid news piece predicted that a military training facility in the area (at that point only a rumor) “should double the value of the lots now practically being given away in the Don Diego Addition.”³

Ten years later, a sewer assessment notice indicated the opposite, with only one house on Don Cubero Avenue assessed. But the installation of a sewer line in 1927 magically jump-started home construction.

The Attorney and the Teacher

Cecil Rhodes McIntosh, an attorney with an office in the Laughlin Building downtown, is thought to have acquired the lot and erected the house. Cecil and his wife Aline would live in the home for over 20 years.

McIntosh, a New Mexico native, was born in 1902 in Elizabethtown, a small mining community in Colfax County. His father, John A. McIntosh, who had been raised in Florida, moved the family to Raton, where he ran a restaurant.⁴ After attending high school, Cecil left Raton for Albuquerque and enrolled at the University of New Mexico. He received his law degree and was admitted to the state bar in 1924.⁵ In 1926, he married Aline King, an Oklahoma native and high school teacher.

² Advertisement, *Santa Fe New Mexican*, August 11, 1913, 8.

³ “Local Items,” *Santa Fe New Mexican*, March 16, 1916, 8.

⁴ U.S. Census Bureau, 1910, Census Place, Raton Ward 2, Colfax, New Mexico; Roll: T624_913; Page: 9a; Enumeration District: 0038; FHL microfilm: 1374926.

⁵ “14 Admitted to State Bar,” *Santa Fe New Mexican*, August 13, 1924, 6.

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The couple initially lived on Park Avenue off North Guadalupe Street, but based on a sewer assessment, they had already acquired the Don Cubero Avenue property by 1928.⁶

Both the 1930 census and Santa Fe city directory of that year place the couple at 802 Don Cubero Avenue (Fig. 2).⁷ They owned the house, which was valued at \$9,000. The household included Cecil, 28, Aline, 29, and son, John, just over three years old. The neighborhood was primarily populated with homeowners — all Anglo and born outside of the state.

After working for attorney J. O. Seth, McIntosh went out on his own, opening an office in the Salmon Building. Aline and five of her sisters taught at the New Mexico School for the Deaf on Cerrillos Road. Aline, from newspaper accounts, also led a lively social life. At the house, she hosted parties for the Santa Fe Garden Club, a sewing club, and various receptions and social events. On Saturday, March 6, 1937, Aline and Sally Johnstone, a fellow teacher, cost-hosted a party at the Don Cubero home. It began with cocktails, after which the 25 attendees went to La Fonda for lunch and returned to the house to play bridge.⁸

Around this time, in the waning years of the Great Depression, Cecil went to work for the City of Santa Fe as the city attorney, where he was the highest-paid employee. His salary was \$27,000 a year.⁹

The 1940 census recorded the McIntosh family living at 802 Don Cubero Avenue. The household was the same as a decade earlier but now included an additional member: Matilda E. Gallegos, 24, a Colorado native, who assisted the family and was paid \$230 per year.¹⁰ It is assumed Gallegos lived in the basement.

⁶ “Legal Notice: Ordinance No. 69,” *Santa Fe New Mexican*, December 24, 1928, 6. The assessment indicates McIntosh owned 68’ frontage along Don Cubero Avenue.

⁷ U.S. Census Bureau, Year: 1930, Census Place, Santa Fe, Santa Fe, New Mexico; Page: 20B; Enumeration District: 0009; FHL microfilm: 2341134.

⁸ “Mrs. McIntosh and Mrs. Johnstone are Luncheon Hostesses,” *Santa Fe New Mexican*, March 5, 1937, 3.

⁹ “Santa Fe City and County Finances,” *Santa Fe New Mexican*, May 31, 1938, 4

¹⁰ U.S. Census Bureau, Year: 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 13A; Enumeration District: 25-9B.

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In 1942, Cecil enlisted in the U.S. Navy Reserve, rising to Chief Petty Officer and, later, Lieutenant Commander.¹¹ After the war, the couple moved out of the Don Cubero house, taking a home on Houghton Street. Cecil Rhodes McIntosh died in 1972, with Aline following nine years later. Both are buried at the Santa Fe Veterans Cemetery.

The Adjudicator

Hazel Riddle Ham, a widow, acquired the house after Cecil and Aline left the property (Fig 4). An accomplished woman, Ham worked for the U.S. Bureau of Land Management, where she would attain the level of chief adjudicator for the region.¹² Born in 1890 in Alamosa, Colorado, Hazel came to Santa Fe as a child with her father, an engineer for Denver & Rio Grande Railroad. After attending business school in Colorado Springs, Ham joined the General Land Office at its Santa Fe location on San Francisco Street. Hazel met her husband, Charles R. Ham, when she was a church member visiting patients at Sunmount.¹³ She retired from the BLM in 1958 but continued to reside in her Don Cubero house. Newspaper accounts suggest she had female roommates.

Later Years

Willie Sanchez owned the home from the 1970s through the 2000s. Sanchez, who ran a travel business, appears to have made the most significant changes to the house. While it is unclear when these occurred, a \$10,500 permit granted in 1996 may be an indicator.¹⁴ This era’s exterior work included wholesale window replacement and re-stuccoing. This is evident in a 2007 real estate ad, which shows the front of the house and the north elevation dotted with new sliding windows. A subsequent real estate ad stated it had been “extensively remodeled in 2008.”¹⁵

¹¹ “In Uniform,” *Santa Fe New Mexican*, July 14, 1943, 4; United States Government, *Register of Commissioned and Warrant Officers of the United States Naval Reserve and Marine Corps Reserve* (Washington Printing Office, April 1, 1949), 670.

¹² “Mrs. Hazel Ham Marks 40th Year with BLM,” *Santa Fe New Mexican*, September 19, 1956, 12A.

¹³ “Funeral Services Scheduled for 85-Year-Old SF Resident,” *Santa Fe New Mexican*, April 20, 1980, 13.

¹⁴ “City Building Permits, September 6-September 18,” *Santa Fe New Mexican*, September 22, 1996, G-18.

¹⁵ Real Estate Ad, *Santa Fe New Mexican*, November 9, 2014, E-7.

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Evaluation of Historical Status

The c.1990s (post-1982 survey) renovation resulted in considerable damage to the home’s character-defining fenestration. The project removed original wood casement windows, altered window openings, and increased the thickness of the sills. This, and the exaggerated reveals and an inappropriate stucco application, made the house look cartoonish, almost cave-like. Despite these significant changes, the overall form and footprint remain unchanged.

The recommendation is to maintain Contributing status for the house and to designate the front (east) elevation as the primary. This elevation historically had the most architectural interest. The designation would acknowledge that the windows and their openings are not historic or contributing factors.

The garage is recommended for continued Contributing status, with the north elevation designated primary.

The lower portions of the street walls are historic and recommended for Contributing status.

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Illustrations

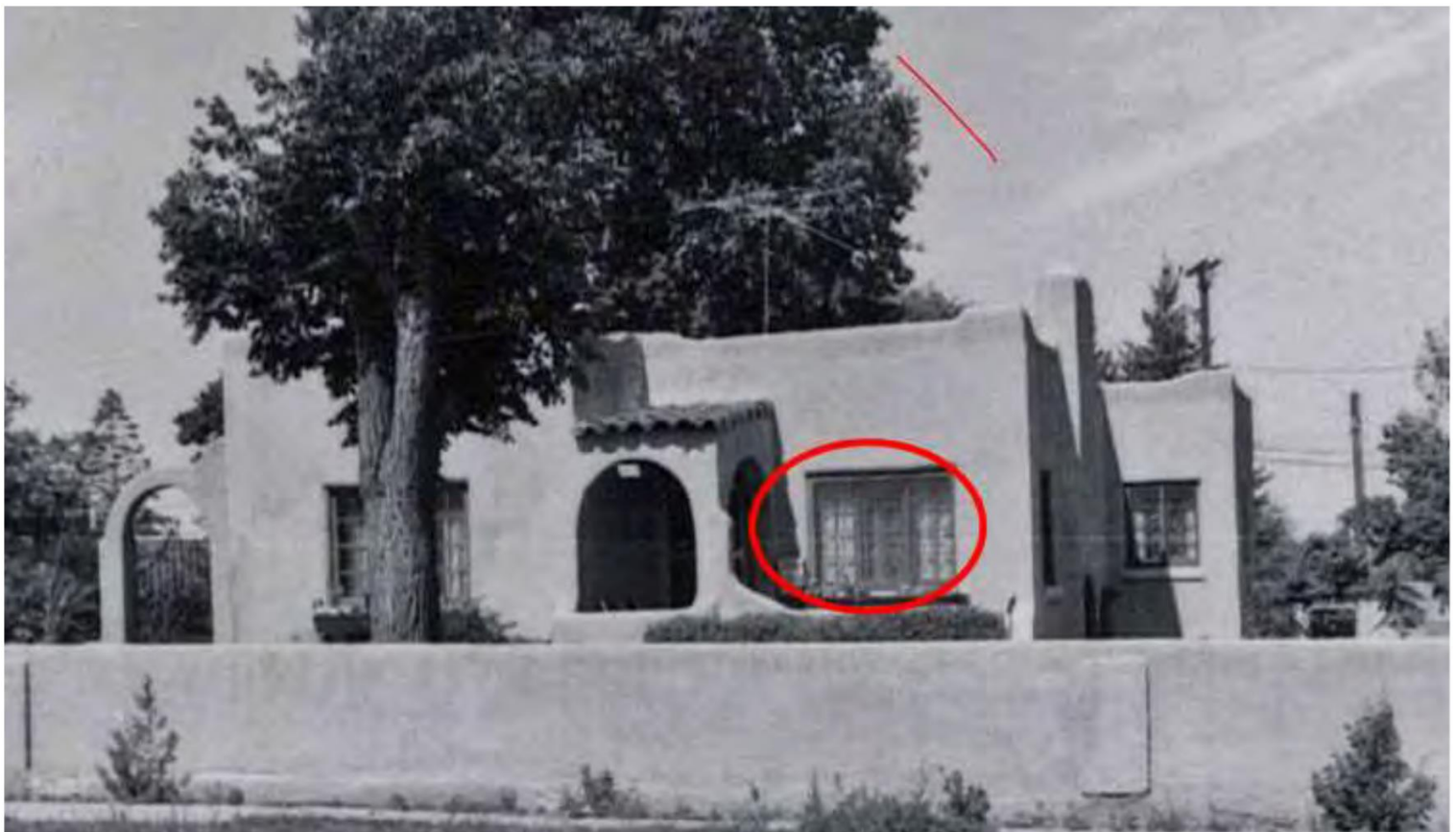


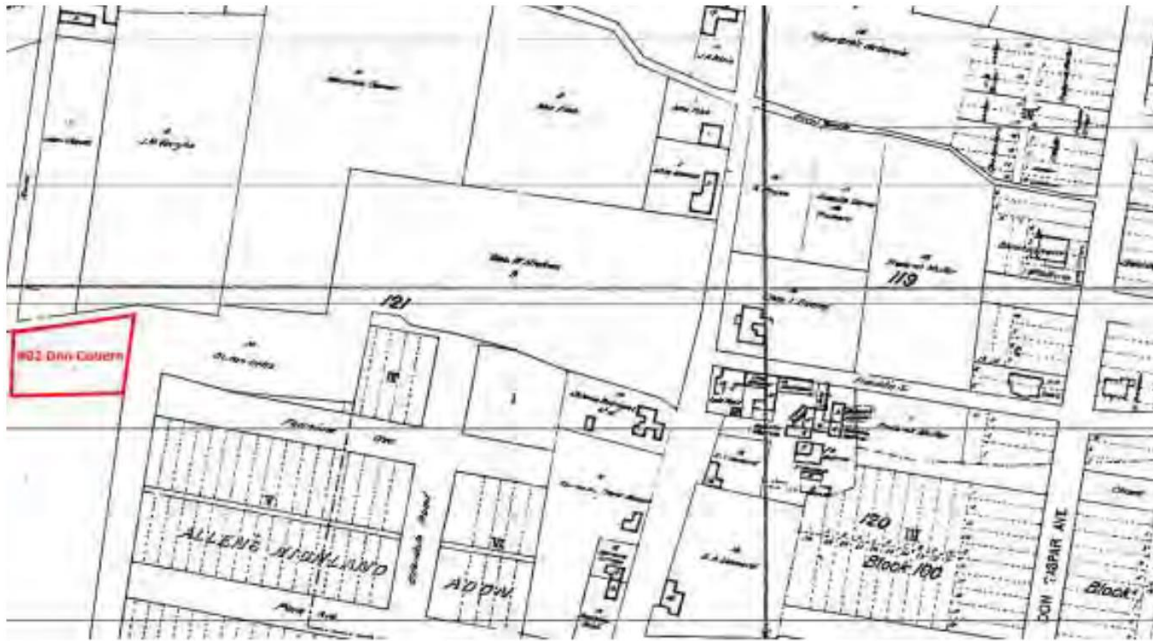
Figure 1: August 1982 Historic Building Inventory form photograph.
Circled window represents several changes:

- 1: removal of original wood multi-light casements and replacement with aluminum sliding units.**
- 2: alteration of rough window opening dimensions.**
- 3: placement of new windows deeper into the wall with exaggerated reveals.**
- 4: increasing size and bulk of windows sills.**

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**Figure 2: N. L. King, “Map of the City of Santa Fe,” 1912.
Approximate future location of 802 Don Cubero Avenue lot.**

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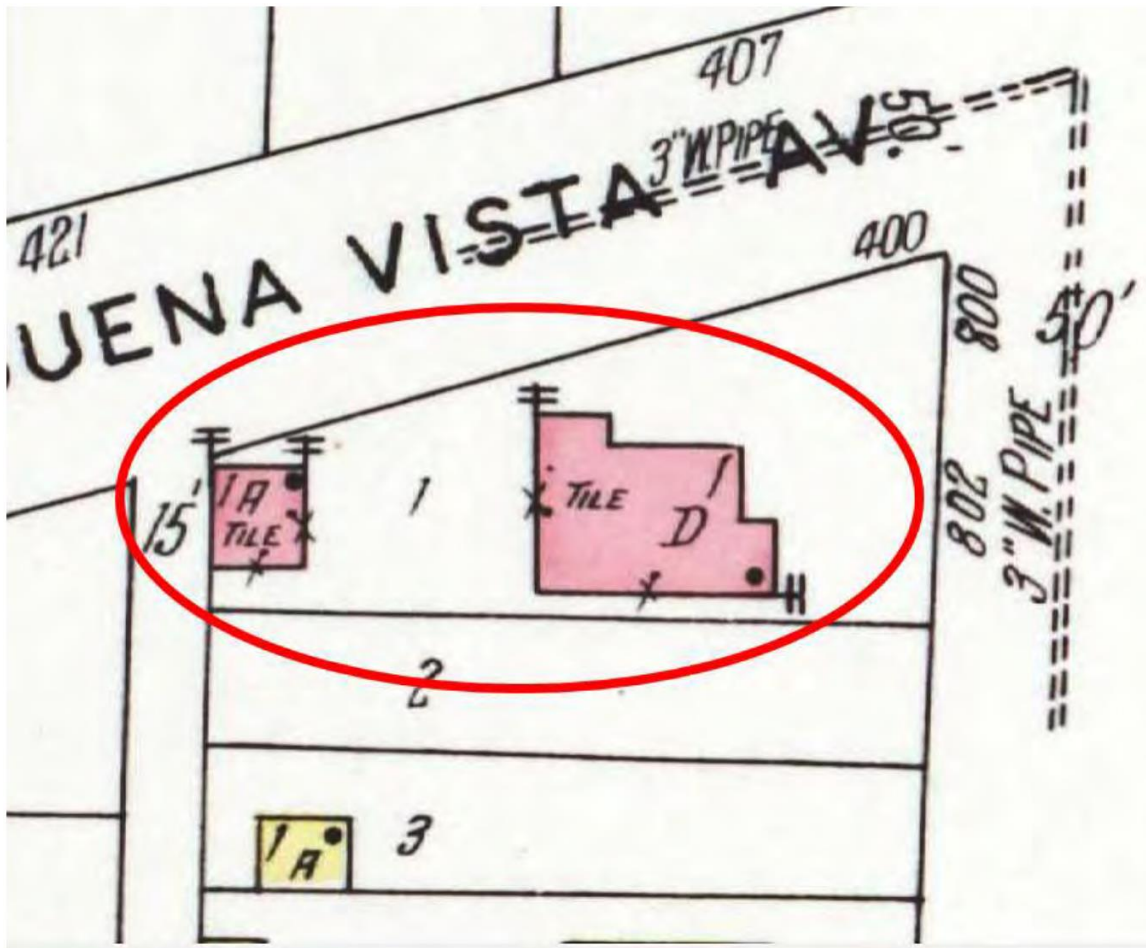


Figure 3: 1930 Sanborn Fire Insurance Company map.

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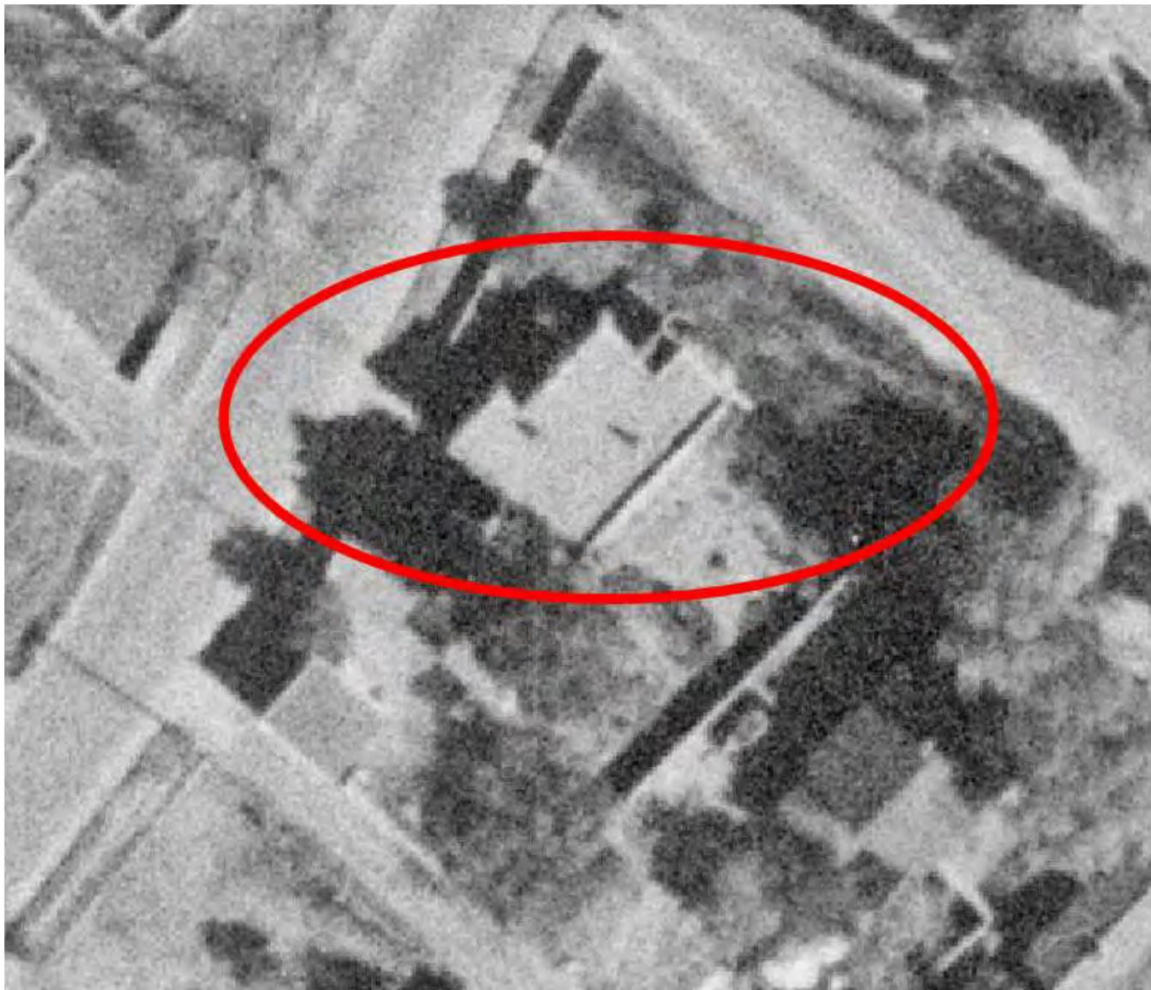


Figure 4: Hazel Riddle Ham, 1956. Courtesy Santa Fe New Mexican.

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**Figure 5: November 10, 1958, aerial photograph.
 Wall along West Buena Vista Street observable.**

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**Figure 6: February 27, 1969, aerial photograph.
Both walls are visible.**

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Survey Photographs

(All images taken by John W. Murphey on July 27, 2023)



Photo 2: View of house from Don Cubero Avenue. Camera facing northwest.

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Photo 3: Front (east) façade. Camera facing west.

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**Photo 4: East façade, entry porch. Camera facing southwest.
 Note exaggerated window reveals and sill. Compare to Figure 1.**

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Photo 5: North elevation. Camera facing southwest.

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Photo 6: North elevation. Camera facing southeast.

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Photo 7. West elevation. Camera facing east.

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For HPD Office use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675				
		4. County: Santa Fe					
		5. Date of Survey: July 27, 2023					



**Photo 8: Southwest corner. Camera facing northeast.
Note exaggerated window reveals and sills.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.		Please complete HCPIFORM1 before completing FORM2					
District No.	NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675				
			4. County: Santa Fe				
			5. Date of Survey: July 27, 2023				



Photo 9: South elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1675			
		4. County: Santa Fe			
		5. Date of Survey: July 27, 2023			



Photo 10: South elevation with typical window with exaggerated reveals and sill. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675	
			4. County: Santa Fe	
			5. Date of Survey: July 27, 2023	



Photo 11: Carport, front (east) elevation. Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	District No.	Please complete HCPIFORM1 before completing FORM2				NRHP	SRCP	Criteria	A	B	C	D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House		2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675								
		4. County: Santa Fe										
		5. Date of Survey: July 27, 2023										



Photo 12: Garage, north and west elevations. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPDOffice use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675	
			4. County: Santa Fe	
			5. Date of Survey: July 27, 2023	



Photo 13: Street Wall, West Buena Vista, likely representing altered section. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPINo.	Please complete HCPIFORM1 before completing FORM2			
District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe		3. Local Reference Number: Santa Fe ID: H-1675	
			4. County: Santa Fe	
			5. Date of Survey: July 27, 2023	



Photo 14: Street Wall, corner of Don Cubero Avenue and West Buena Vista Street, representing historic sections. Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM1 before completing FORM2			
HCPINo.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Cecil and Aline McIntosh/ Hazel Riddle Ham House	2. Location: 802 Don Cubero Avenue Don Gaspar Area Historic District – Santa Fe	3. Local Reference Number: Santa Fe ID: H-1675			
		4. County: Santa Fe			
		5. Date of Survey: July 27, 2023			



Photo 15: Street Wall, evidence of re-stuccoing. Camera facing southeast.

August 31, 2023

Sarah Flores-Sievers
802 Don Cubero Ave
Santa Fe, NM 87505
505-690-6466

Dear Ramon Sarason,

I request a status review and primary façade designations for our home at 802 Don Cubero Ave.

Thank you,

A handwritten signature in cursive script, appearing to read "Sarah W", enclosed within a light gray rectangular border.

Sarah Flores-Sievers



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

- Peter N. Ives, Mayor Pro Tem, Dist. 2
- Patti J. Bushee, Dist. 1
- Signe I. Lindell, Dist. 1
- Joseph M. Maestas, Dist. 2
- Carmichael A. Dominguez, Dist. 3
- Christopher M. Rivera, Dist. 3
- Ronald S. Trujillo, Dist. 4
- Bill Dimas, Dist. 4

Project description: Sarah and Fletcher Sievers agents/owners request a historic status review of a contributing accessory structure.

Case number: H-15-098
Project Type: HDRB

PROJECT LOCATION (S): 802 Don Cubero Avenue

PROJECT NAMES:

OW – Sarah and Fletcher Sievers
Santa Fe, NM 87505

802 Don Cubero Avenue
505-690-6466

AP – Sarah and Fletcher Sievers
Santa Fe, NM 87505

802 Don Cubero Avenue
505-690-6466

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on November 10, 2015. The decision of the Board was to maintain the contributing historic status of the garage, excluding the carport, with the north and west elevations designated as primary. For further information please call 955-6605.

Sincerely,

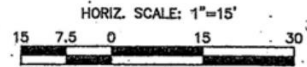
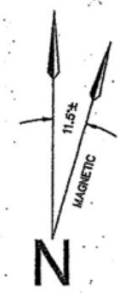
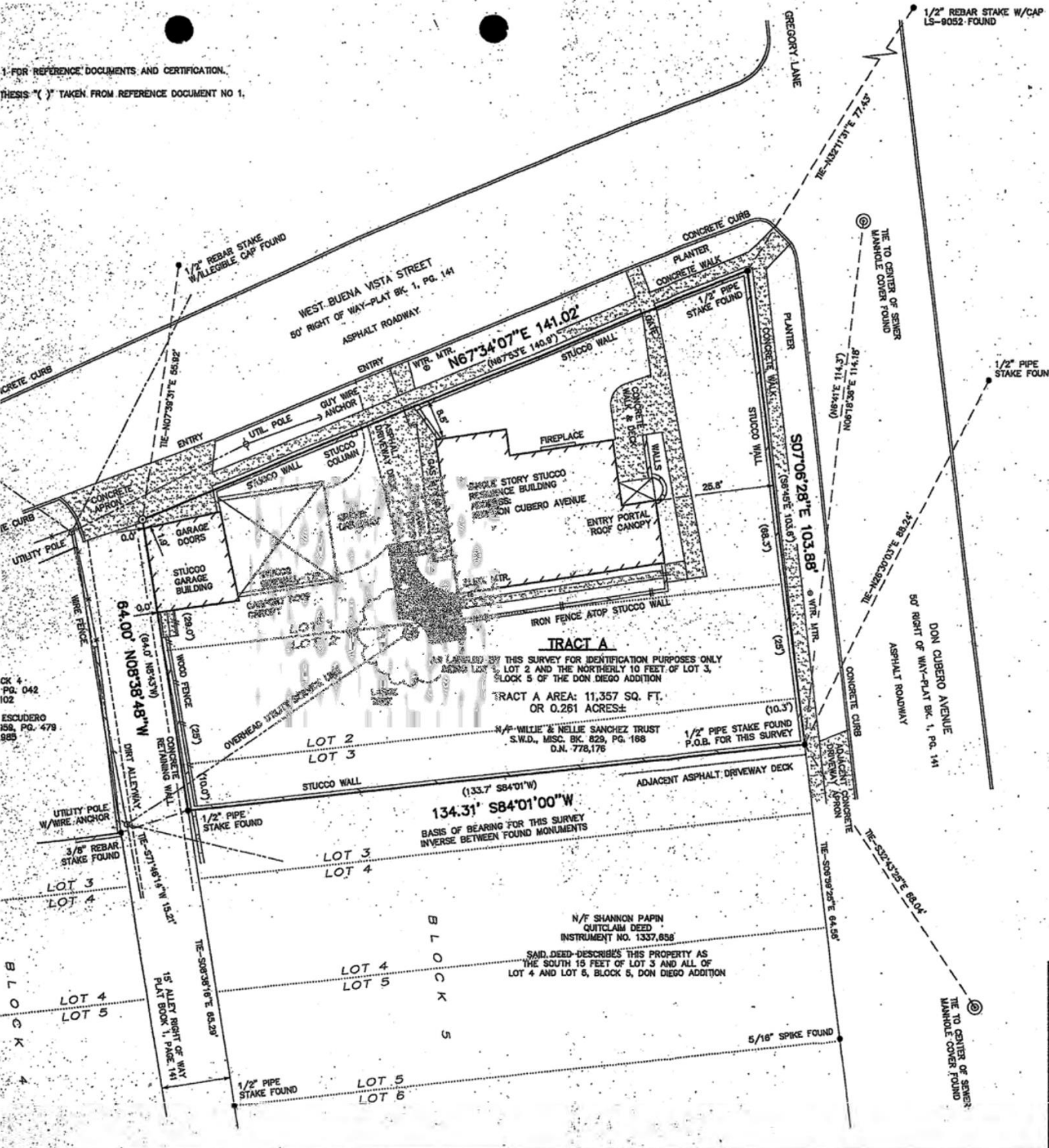
David Rasch
Supervising Planner, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

FOR REFERENCE DOCUMENTS AND CERTIFICATION,
THIS IS TAKEN FROM REFERENCE DOCUMENT NO. 1.

SFC CLERK PLAT BK./PG. NO.

6690037



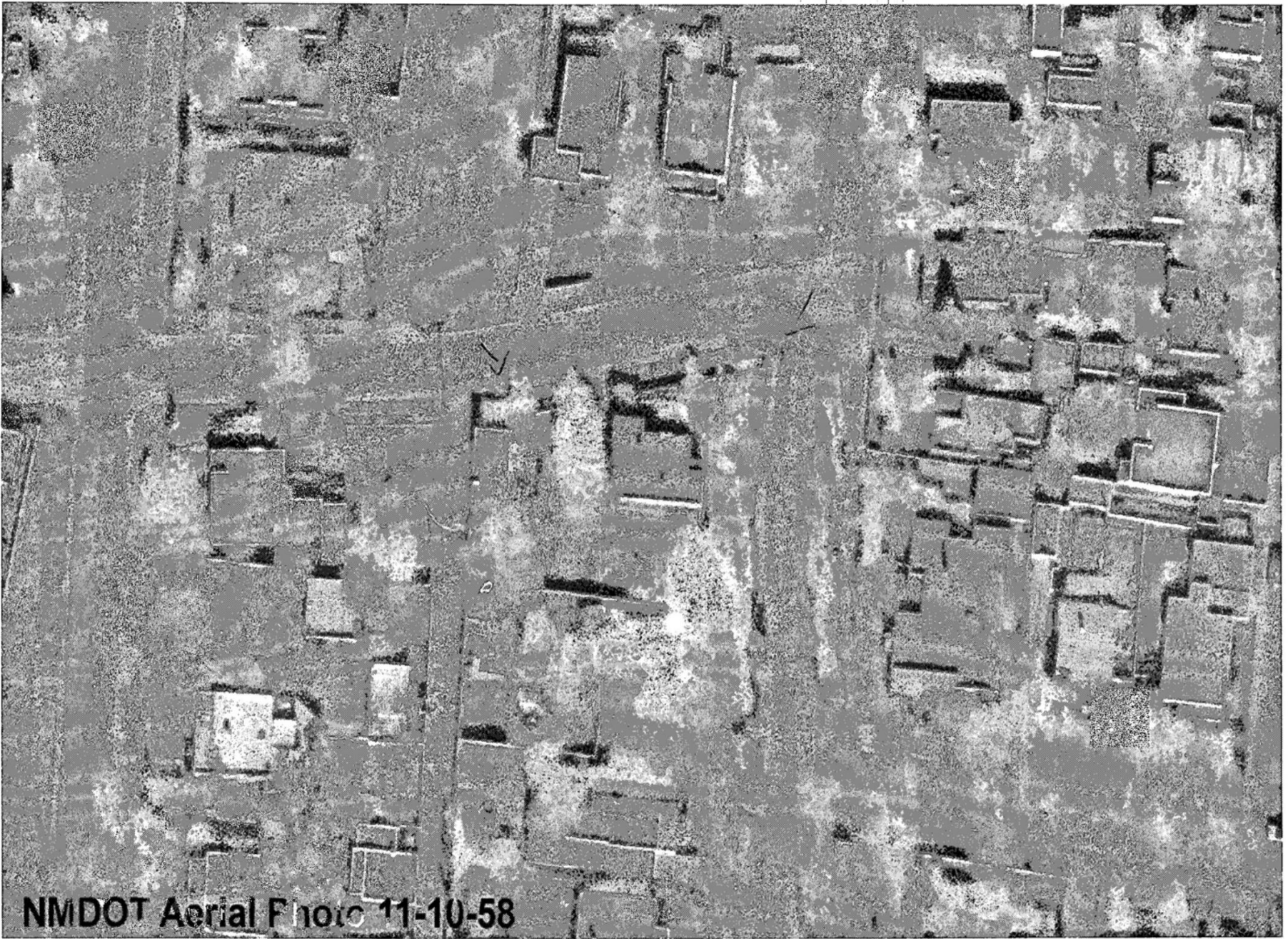
- LEGEND**
- MONUMENT FOUND
 - ⊙ MONUMENT SET
 - ⊙ REBAR W/CAP
 - ⊙ STAMPED LS-13604
 - POINTS COMPUTED
 - NOT SET

SHEET 2 OF 2

ARMJO SURVEYS, INC.
 PAUL A. ARMJO N.M.P.S. NO. 13304
 P.M.B. 258 1704-B LLANO ST. STE. B, SANTA FE, NM 87505
 PH. (505) 471-1955 FAX. (505) 471-1825

PLAT OF BOUNDARY SURVEY PREPARED FOR
 J.M. WILLIE SANCHEZ AND NELLIE S. SANCHEZ AND
 THE WILLEI AND NELLIE SANCHEZ TRUST AND
 DRAKE WILLIAMS

DRAWN BY P.A.A. DATE NOV. 2007
 JOB No. 2711289 SHEET No. 2 OF 2



NMDOT Aerial Photo 11-10-58

1966



September 15, 2015

Historic District Review Board

We are requesting that our garage which is currently a "contributing" building be downgraded to a non-contributing building. We are in the process of a lot split to sell the main house and turn the garage and carport into a small casita for us to live in. One side of the garage is attached the carport which is not contributing. [^]
to

Even though we are requesting a historic downgrade we still plan to preserve the garage how it was originally built. We plan to update the inside of the garage to make it livable and to replace the doors, but making sure they are the same as current ones, just functional. We love the building structure as it has so much character so the outside building will not change.

The garage is 400 sq. ft., 14 ft. high and is made from penn tile and concrete. It has one small window that faces the backyard. The garage has a light brown stucco finish.

The original construction date could not be located, but we do have the historic aerials.

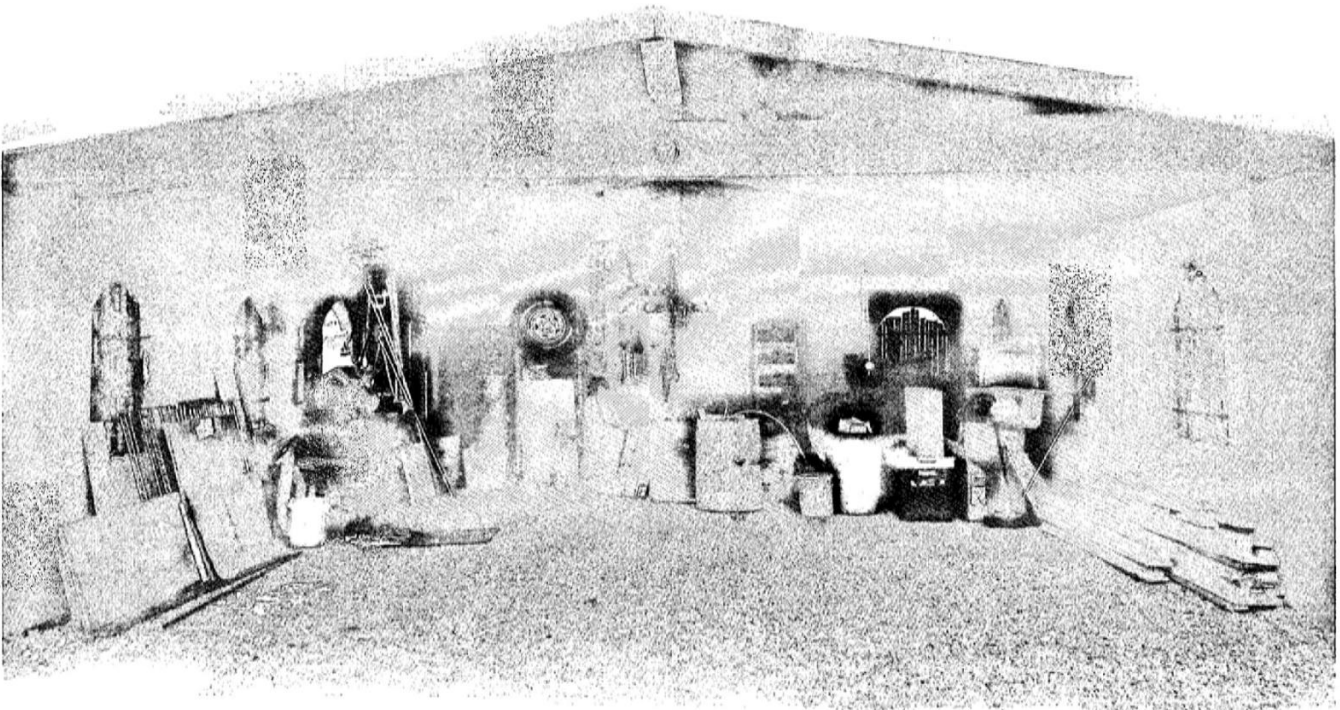
By approving our request it would give us more flexibility when we being construction on the carport section. It will also allow us to improve the curb appeal for the neighborhood.

Thank you,

Fletcher Sievers &

Sarah Flores-Sievers

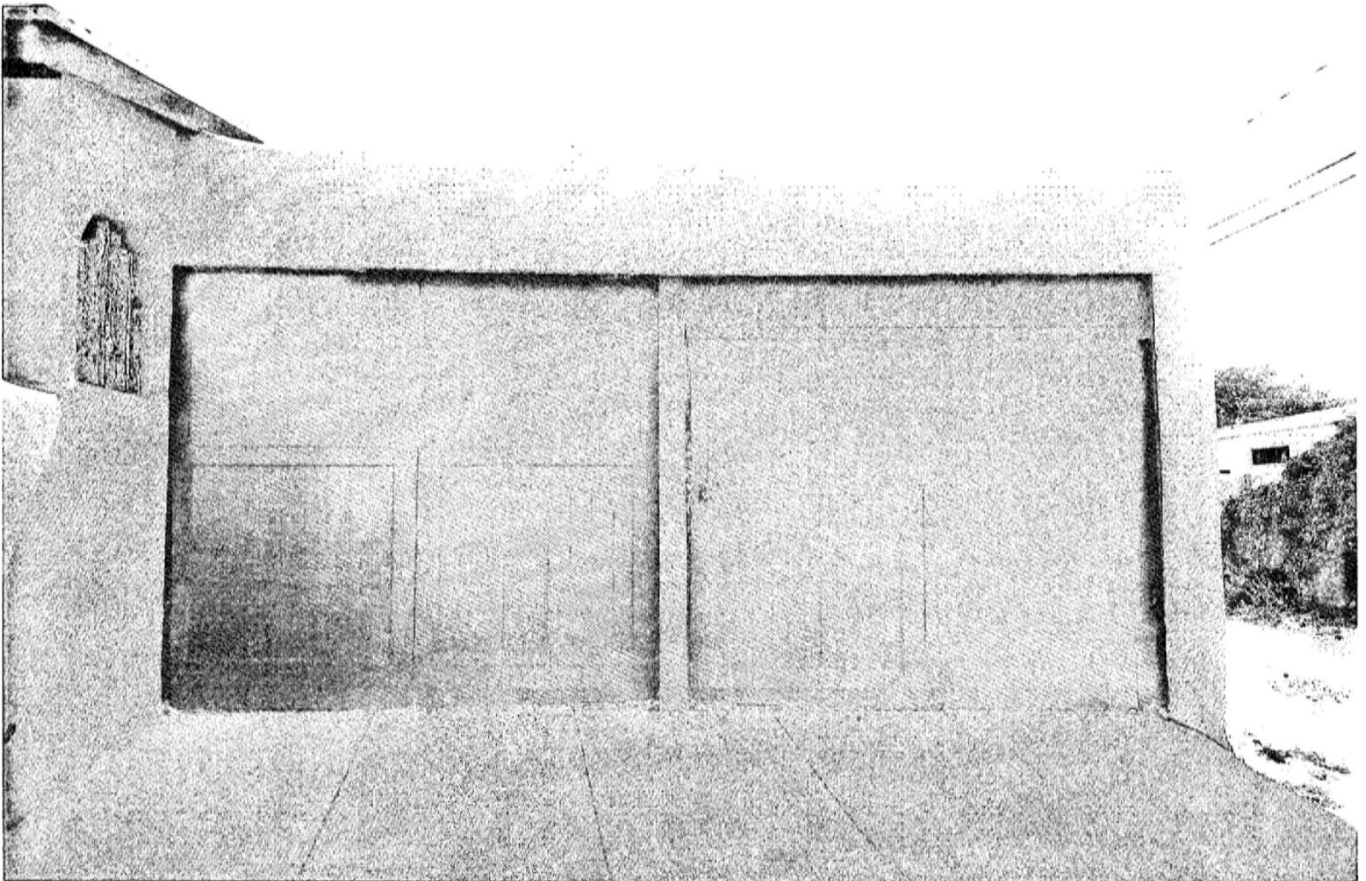
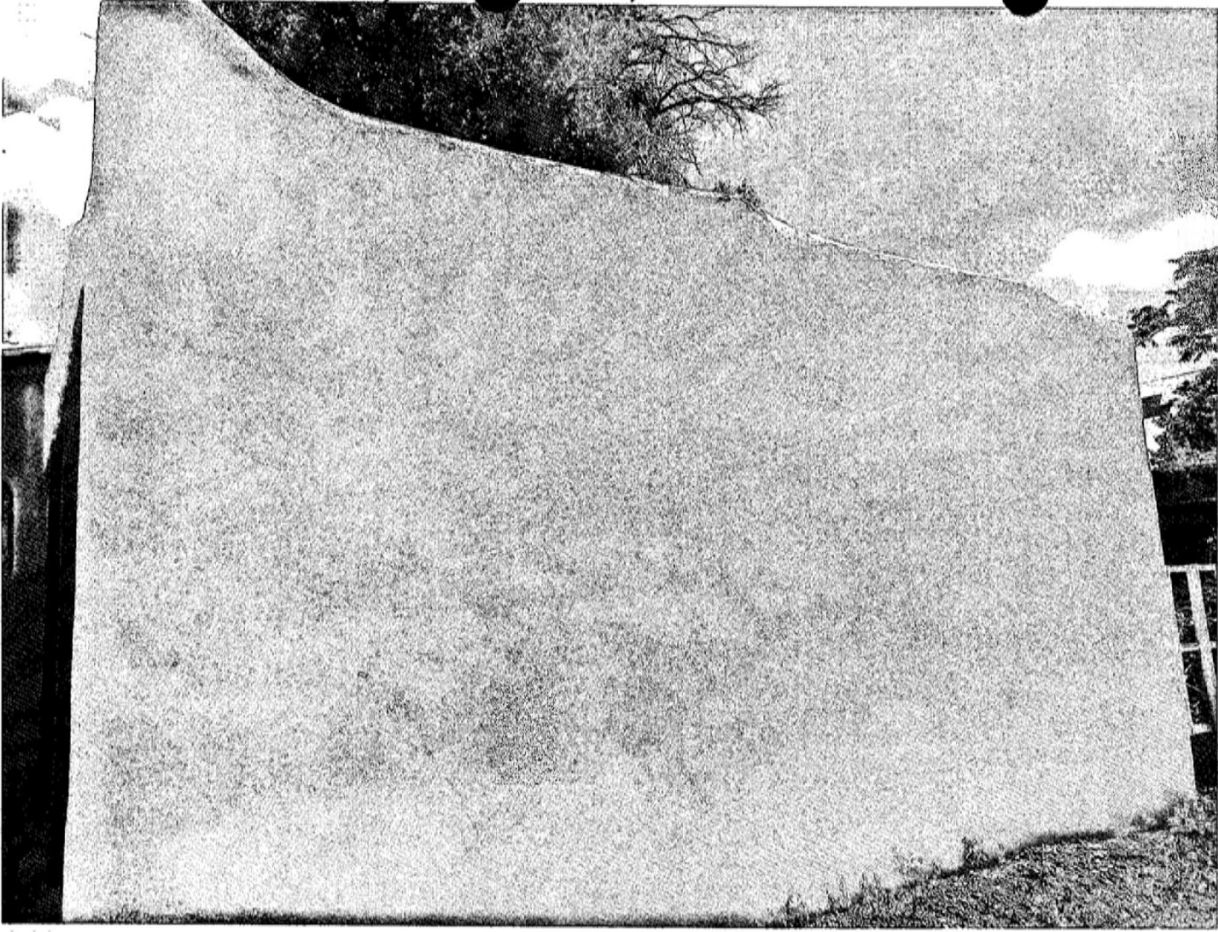
South Facing - Back yard



West Facing - Courtyard

East Facing in Alley

W facade



North Facing on W. Buena Vista

City of Santa Fe, New Mexico

memo

DATE: November 10, 2015
TO: Historic Districts Review Board Members
FROM: David Rasch, Supervising Planner in Historic Preservation DR

CASE # H-15-098

ADDRESS: 802 Don Cubero Avenue
Historic Status: Contributing
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
 District Standards & Yard wall
& fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Vicinity Map
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other: aerial photographs

STAFF RECOMMENDATION:

Staff recommends downgrading the status of the contributing garage and carport to non-contributing due to the overwhelming massing and character of the non-historic carport.

BACKGROUND & SUMMARY:

802 Don Cubero Avenue is a single-family residential structure that was built between 1912 and 1928 in the California Mission Revival style and is listed as contributing to the Don Gaspar Area Historic District. A free-standing 400 square foot garage was constructed before 1958 in a simplified style with an undulating parapet on the north and west facades and a shed roof overhang on the south façade. A non-historic carport was constructed on the east facade of the garage with a pitched roof and arched window openings filled with latillas on the north, west, and south sides. The garage is also listed as a contributing structure. The carport is larger than the garage in height and footprint.

The applicant requests a historic status review of this structure.



HISTORIC DISTRICTS REVIEW BOARD APPLICATION

PROJECT LOCATION: 802 Don Cubero

HISTORIC DISTRICT: Downtown & Eastside [] Don Gaspar Area Westside-Guadalupe []
(from attached map) Historic Transition [] Historic Review [] Landmark (outside of historic districts) []

PROJECT PROPOSAL: Raise exterior wall

CONSTRUCTION COST: \$ 600.00

BASE FEE: \$ 250 + EXCEPTION: \$ 350 + POSTER: \$ 50 = TOTAL: \$ 650

(base fee = 1/2 of 1% of construction cost, not to exceed \$2,000 and not less than \$250)

(each exception has an additional fee of \$350) (\$25 per poster with one (1) poster per street frontage)

OWNER: Fletcher & Sarah Sievers PHONE #: 505 690 6466

OWNER MAILING ADDRESS: 802 Don Cubero Ave

CITY, STATE, ZIP CODE: Santa Fe, NM 87505

EMAIL: sfwfita@yahoo.com

APPLICANT: Fletcher & Sarah Sievers PHONE #: 505-690-6466

MAILING ADDRESS: 802 Don Cubero Ave

CITY, STATE, ZIP CODE: Santa Fe, NM 87505

EMAIL: sfwfita@yahoo.com

PREAPPLICATION MEETING: Date: January 22, 2017 Case Planner: Nicole & R. Thomas

AFFIDAVIT TO AUTHORIZE SOLE AGENT (IF APPLICABLE)

I am,/We are the owner(s) and record title holder(s) of the property located at: _____

I/We authorize _____ to act as my/our agent to execute this application.

Signed: _____ Date: _____

Printed Name: _____

I/We shall act as my/our own agent to execute this application.

Signed: [Signature] Date: 3/13/17

Printed Name: Sarah Flores-Sievers

****ALL signatures on this page must be original signatures (no copies, no digital signatures)**

All documents submitted to the Historic Preservation Division are public record. HPD does not return documents.

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case #H-15-098**Address** – 802 Don Cubero Ave.**Agent's Name** – Sarah and Fletcher Sievers**Owner/Applicant's Name** – Sarah and Fletcher Sievers

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on April 25, 2017.

802 Don Cubero Avenue is a single family residence that is designated as contributing to the Don Gaspar Area Historic District. The home was built in the Mission Revival style and was constructed sometime between 1912- 1928. It is characterized by an undulating parapet, rounded arches, and a clay tile roof above the porch. A detached garage is located at the back of the property.

The Applicant was given a violation notice for construction of a dog ear fence at 6'-0" of height and part of this application is a request to resolve this issue. The Applicant requested to remodel the property with the following two items:

1) Raise a 3'-0" wall to 6'-0" along the street front property line. The maximum allowable height is 4'-0". The Applicant was given administrative approval to remove a portion of the yardwall in 2016 so that a new parking area could be created. The applicant requests to place coyote fencing atop the existing wall. The wall is 76'-0" long on the north side of the property and 71'-0" on the east side of the property. Necessary patching of the stucco will be done in El Rey cementitious “Hacienda.” An exception to exceed the maximum allowable height (14-5.2(D)(9)) was noticed on the agenda but the Applicant did not provide responses to the exception criteria until the day of this hearing, which were read into the record.

2) Retroactive permission to retain an unpermitted dog ear fence at 6'-0" in height. The fence was constructed for privacy and is more than 20'0" from the sidewalk. An existing fence of the same material is located at the back (west) margin of the property. The Applicant proposed to stain the fence but a color was not provided in the staff report or the hearing.

FINDINGS OF FACT

1. After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:
2. Zoning staff determined that the Application meets underlying zoning standards.
3. Staff Recommendation: Staff found that the exception criteria were not met, however the Board may find that the exception criteria have been met with testimony from the applicant. Otherwise the application complies with 14-5.2(H) Don Gaspar Area Historic District.
4. The project is subject to requirements of the following sections of the Santa Fe Land Development Code:
 - Section 14-5.2(D)(9) General Design Standards, Height Pitch Scale and Massing (of any structure);
 - Section 14-5.2(D) General Design Standards; and
 - Section 14-5.2(C), Regulation of Significant and Contributing Structures

5. The property is located in the following district and subject to the related sections of the Santa Fe Land Development Code:
 Gaspar Area Historic District (Section 14-5.2(H))
6. An Exception Request to exceed maximum allowable height was applicable to item # 1 of this Application:
 Exception criteria (ii) and (iii) were not met.
7. The Exception Request is not required to prevent a hardship and does not strengthen the unique heterogenous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts, in that another design option which does not require an exception, such as the retention of the fence at least 20' within the property line, is available.
8. Under Sections 14-2.6(C), 14-2.7(C)(2), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f) and 14-5.2(C)(3)(b), 14-5.2(C)(3)(a) and Section 14-5.2(D) the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
9. Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.
10. The information contained in the Application, and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.
11. The information contained in the Application, and provided in testimony and evidence establishes that all applicable design standards for Board approval as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board denied Item #1 of the Application to raise the wall along the street front property line to 6', and the Board approved the Item #2 of the Application to retain the fence at least 20' from the lot line.

IT IS SO ORDERED ON THIS 23rd DAY OF MAY 2017, THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Roy
Chairperson

23 May 2017
Date:

FILED:
Yolanda Y. Vigil
for Yolanda Y. Vigil
City Clerk

5/24/17
Date:

APPROVED AS TO FORM
[Signature]
Assistant City Attorney

23 May 2017
Date:



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

- Signe I. Lindell, Mayor Pro Tem, Dist. 1
- Renee Villarreal, Dist. 1
- Peter N. Ives, Dist. 2
- Joseph M. Maestas, Dist. 2
- Carmichael A. Dominguez, Dist. 3
- Chris Rivera, Dist. 3
- Ronald S. Trujillo, Dist. 4
- Mike Harris, Dist. 4

PROJECT DESCRIPTION: Sarah and Fletcher Sievers agents/owners propose to raise the height of an existing yard wall to 72” high where the maximum allowable height is 49” and extend the length of the wall and construct a 72” high fence on a contributing property. An exception is requested to exceed the maximum allowable height (Section 14-5.2(D)(9)).

Case number: H-15-098
Project Type: HDRB

PROJECT LOCATION (S): 802 Don Cubero Avenue

PROJECT NAMES:

OW – Sarah and Fletcher Sievers 802 Don Cubero Avenue Santa Fe, NM 87505

AP – Sarah and Fletcher Sievers 802 Don Cubero Avenue Santa Fe, NM 87505

BOARD ACTION

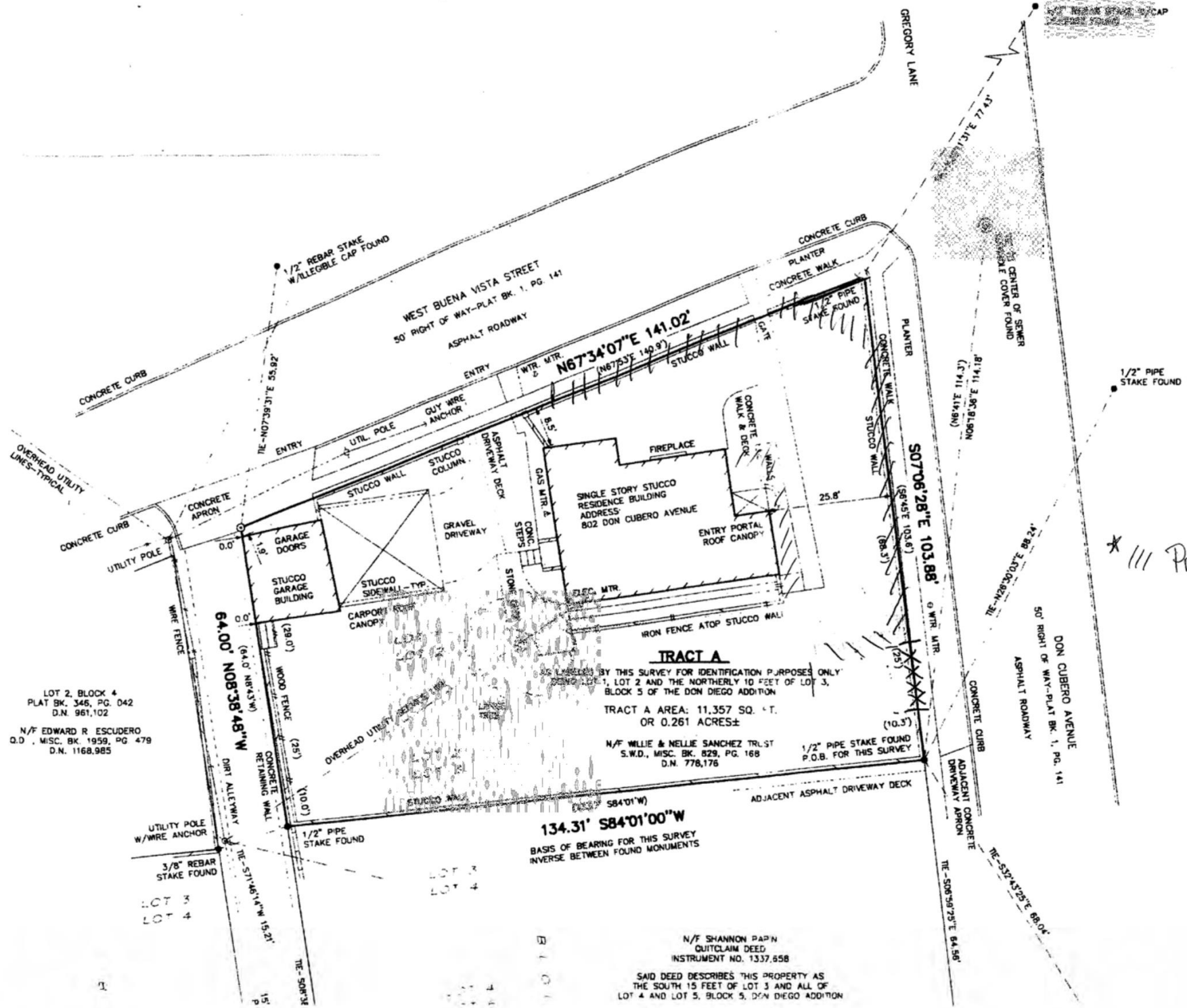
This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on April 25, 2017. The decision of the Board was denied Item #1 of the application which was a request to raise the wall along the street front property line to 6’, and to approve Item #2 of the application which was to retain the fence at least 20’ from the lot line. For further information please call 955-6605.

Sincerely,

Nicole Ramirez Thomas
Nicole Ramirez Thomas

Planner Senior, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk’s office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.



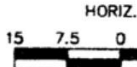
LOT 2, BLOCK 4
 PLAT BK. 346, PG. 042
 D.N. 961,102
 N/F EDWARD R. ESCUDERO
 O.D. MISC. BK. 1959, PG. 479
 D.N. 1168,985

TRACT A
 AS LAYED OUT BY THIS SURVEY FOR IDENTIFICATION PURPOSES ONLY
 BEING PART 1, LOT 2 AND THE NORTHERLY 10 FEET OF LOT 3,
 BLOCK 5 OF THE DON DIEGO ADDITION
 TRACT A AREA: 11,357 SQ. FT.
 OR 0.261 ACRES±
 N/F WILLIE & NELLIE SANCHEZ TRUST
 S.W.D., MISC. BK. 829, PG. 168
 D.N. 778,176

134.31' S84°01'00"W
 BASIS OF BEARING FOR THIS SURVEY
 INVERSE BETWEEN FOUND MONUMENTS

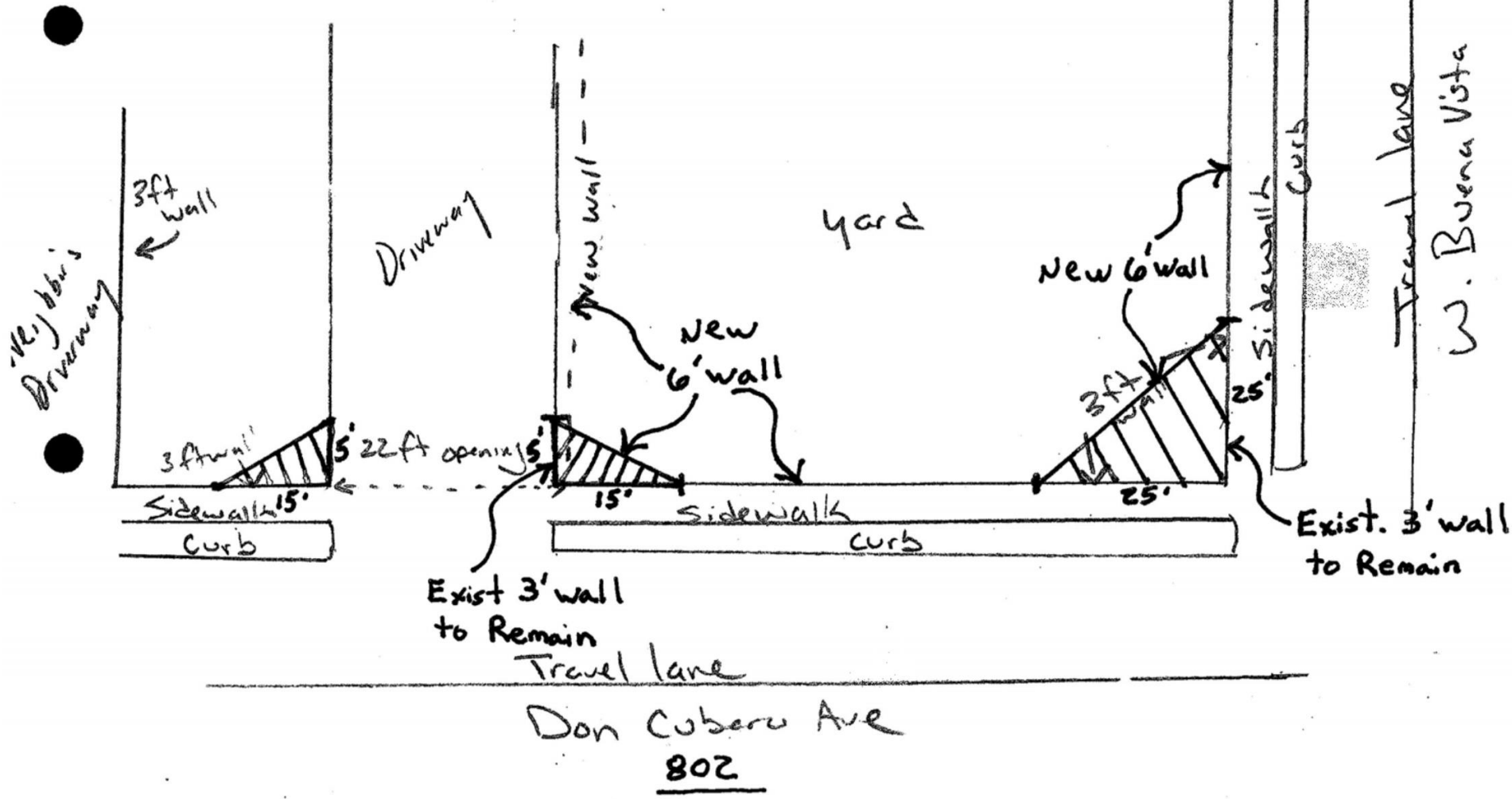
N/F SHANNON PARN
 QUITCLAIM DEED
 INSTRUMENT NO. 1337,658
 SAID DEED DESCRIBES THIS PROPERTY AS
 THE SOUTH 15 FEET OF LOT 3 AND ALL OF
 LOT 4 AND LOT 5, BLOCK 5, DON DIEGO ADDITION

** Proposed fence location*



- MONUMENT
- ⊙ MONUMENT REBAR STAMP
- POINT NOT

MAR 14



Don Cobero Ave
802

802 Don Cabero Ave.

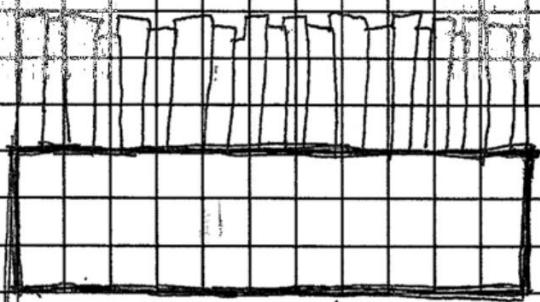
Calendar By: WaterproofPaper.com

More Free Printables: Calendars Maps Graph Paper Targets

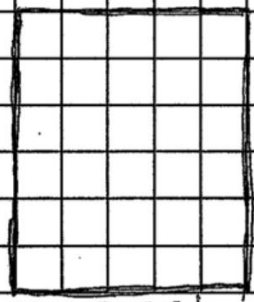
Historic Preservation & Land Use	
<input type="checkbox"/>	Historic District Review
<input type="checkbox"/>	Approval
<input type="checkbox"/>	Commission Approval
<input checked="" type="checkbox"/>	<i>Cecilia Rios</i>
NAME	<i>Cecilia Rios-Chavez</i>
DATE	<i>4/25/17</i>



existing



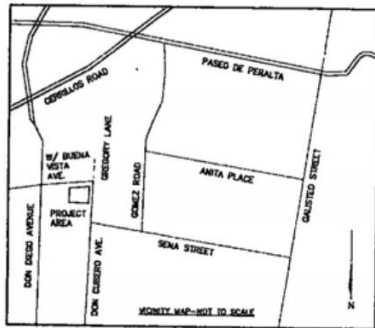
Proposed wall & fence



Proposed gate to match

1/4" = 1'

802 Don Cubero Ave, Santa Fe NM 87505



SFC CLERK PLAT BK./PG. NO.
669006

**Boundary Survey prepared for
J.M. Willie Sanchez and Nellie S. Sanchez and
The Willie and Nellie Sanchez Trust and
Drake Williams**

BOUNDARY SURVEY OF PROPERTY LAST DESCRIBED ON DEED FILED IN SANTA FE COUNTY CLERK MISC. BOOK 829, PAGE 168, AS DOCUMENT NO. 778,176 BEING ALL OF LOT 1, LOT 2 AND A PORTION OF LOT 3, BLOCK 5, DON DIEGO ADDITION, LYING BETWEEN DON CUBERO AVENUE, GRANT-PROJECTED NE1/4 SECTION 26, T17N, R9E, NMPM LOCATED AT 802 DON CUBERO AVENUE, IN THE CITY OF SANTA FE, COUNTY OF SANTA FE, STATE OF NEW MEXICO

CITY OF SANTA FE PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

- SUPPLEMENTAL CERTIFICATION**
- I FURTHER CERTIFY AS TO THE EXISTENCE OF THE FOLLOWING ON THE DATE OF THIS FIELD SURVEY:
- EVIDENCE OF RIGHTS OF WAY, OLD HIGHWAYS OR ABANDONED ROADS, LANES, TRAILS OR DRIVEWAYS, SEWER DRAINS, WATER, GAS OR OIL PIPELINES ON OR CROSSING SUBJECT PREMISES:
NONE VISIBLE.
 - SPRINGS, STREAMS, RIVERS, PONDS OR LAKES LOCATED, BORDERING ON OR THROUGH SUBJECT PREMISES:
NONE VISIBLE.
 - EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON SUBJECT PREMISES:
NONE VISIBLE.
 - OVERHEAD UTILITY POLES, ANCHORS, PEDESTALS, WIRES OR LINES OVERHANGING OR CROSSING SUBJECT PREMISES AND SERVING OTHER PROPERTIES:
ELECTRIC METER WITH OVERHEAD SERVICE LINE, GAS METER AND WATER METER SERVE SUBJECT RESIDENCE. (SEE SHEET 2).
 - JOINT DRIVEWAYS OR WALKWAYS, JOINT GARAGES, PARTY WALLS OR RIGHTS OF SUPPORT, STEPS OR ROOFS IN COMMON OR JOINTS GARAGES:
NONE VISIBLE.
 - APPARENT ENCROACHMENTS OF BUILDINGS, PROJECTIONS, CORNICES OR SIGNS AFFIXED THERETO, FENCES OR OTHER INDICATIONS OF OCCUPANCY APPEAR TO ENCRACH UPON OR OVERHANG SUBJECT PROPERTY:
NONE VISIBLE.
 - SPECIFIC PHYSICAL EVIDENCE OF BOUNDARY LINES ON ALL SIDES:
PROPERTY CORNER MONUMENTS FOUND AS NOTED ON ATTACHED SHEET NO. 2.
 - IS THE PROPERTY IMPROVED? IF STRUCTURE APPEARS TO ENCRACH OR APPEARS TO VIOLATE SETBACK LINES:
PROPERTY IS IMPROVED. RECORD SETBACK DATA NOT AVAILABLE AT THIS DATE.
 - INDICATIONS OF RECENT BUILDING CONSTRUCTION, ALTERATIONS OR REPAIRS:
NONE VISIBLE.
 - APPROXIMATE DISTANCES OF STRUCTURES FROM AT LEAST TWO LOT LINES MUST BE SHOWN:
PLEASE SEE ATTACHED SHEET NO. 2.

SURVEYORS CERTIFICATION

I, PAUL A. ARMIJO, CERTIFY THAT I AM NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR NO. 13604, AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN NOVEMBER 2007 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS.

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS INSTRUMENT IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.



Paul A. Armijo Nov. 16, 2007
PAUL A. ARMIJO, N.M.P.S. NO. 13604

- DOCUMENTS OF REFERENCE**
- NOTE: RECORDING DATA SHOWN BELOW REFERS TO RECORDING-FILING DATA FROM THE OFFICE OF SANTA FE COUNTY CLERK.
- SURVEY ENTITLED "TRACT OF LAND SURVEYED FOR HAZEL R. HAM, PRECINCT 4 - SANTA FE, N.M., AUG. 17TH, 1945", BY JAMES C. HARVEY N.M.P.S. NO. 44, DATED AUG. 17, 1945, AS SURVEY NO. BL583-5. THIS SURVEY IS NOT RECORDED.
 - SPECIAL WARRANTY DEED, J.M. WILLIE SANCHEZ AND NELLIE S. SANCHEZ TO WILLIE AND NELLIE SANCHEZ TRUST, FILED ON JUNE 26, 1992, IN MISC. BOOK 829, PAGES 188-170, AS DOCUMENT NO. 778,176.
 - SURVEY ENTITLED "MAP OF DON DIEGO ADDITION, SANTA FE, N.M.", BY SOUTHWESTERN ENGINEERING CO., FILED ON JANUARY 11, 1913, IN PLAT BOOK 1, PAGE 141.

- NOTES-SHEET 1**
- SEE SHEET NO. 2 FOR PLAT MAP.
 - SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-200-0000-528-400.
 - COMMITMENT FOR TITLE INSURANCE ON THIS PROPERTY ISSUED BY: RIO GRANDE TITLE CO., INC. FILE NO. 06700812-JN.
 - DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
 - THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 350070 0005 C, DATED APRIL 2, 1993.
 - DATE OF FIELD SURVEY: NOVEMBER 7, 2007.
 - THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RESERVATIONS OF RECORD.

INDEXING INFORMATION FOR COUNTY CLERK

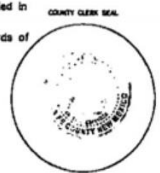
OWNER: THE WILLIE AND NELLIE SANCHEZ TRUST
SPEC. WAR. DEED, MISC. BK. 829, PAGE 168
LOCATION: LOT 1, 2 & PORTION OF LOT 3, BLOCK 5
DON DIEGO ADDITION, SANTA FE GRANT
PROJECTED NE1/4 S28, T17N, R9E, NMPM
ADDRESS: 802 DON CUBERO AVENUE
CITY & COUNTY OF SANTA FE, NEW MEXICO

SHEET 1 OF 2

Document No. 506528

COUNTY CLERK'S INSTRUMENT BLOCK
COUNTY OF SANTA FE, STATE OF NEW MEXICO

I hereby certify that this instrument was filed
for record on the 16th day of November A.D. 2007
at 10:55 o'clock A m., and was duly recorded in
Book 669, Page 36-37 of the Records of
Santa Fe County
Witness my Hand and Seal of Office
VALERIE ESPINOZA
County Clerk, Santa Fe County, New Mexico
DEPUTY



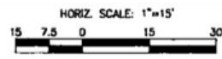
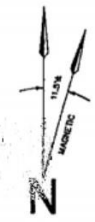
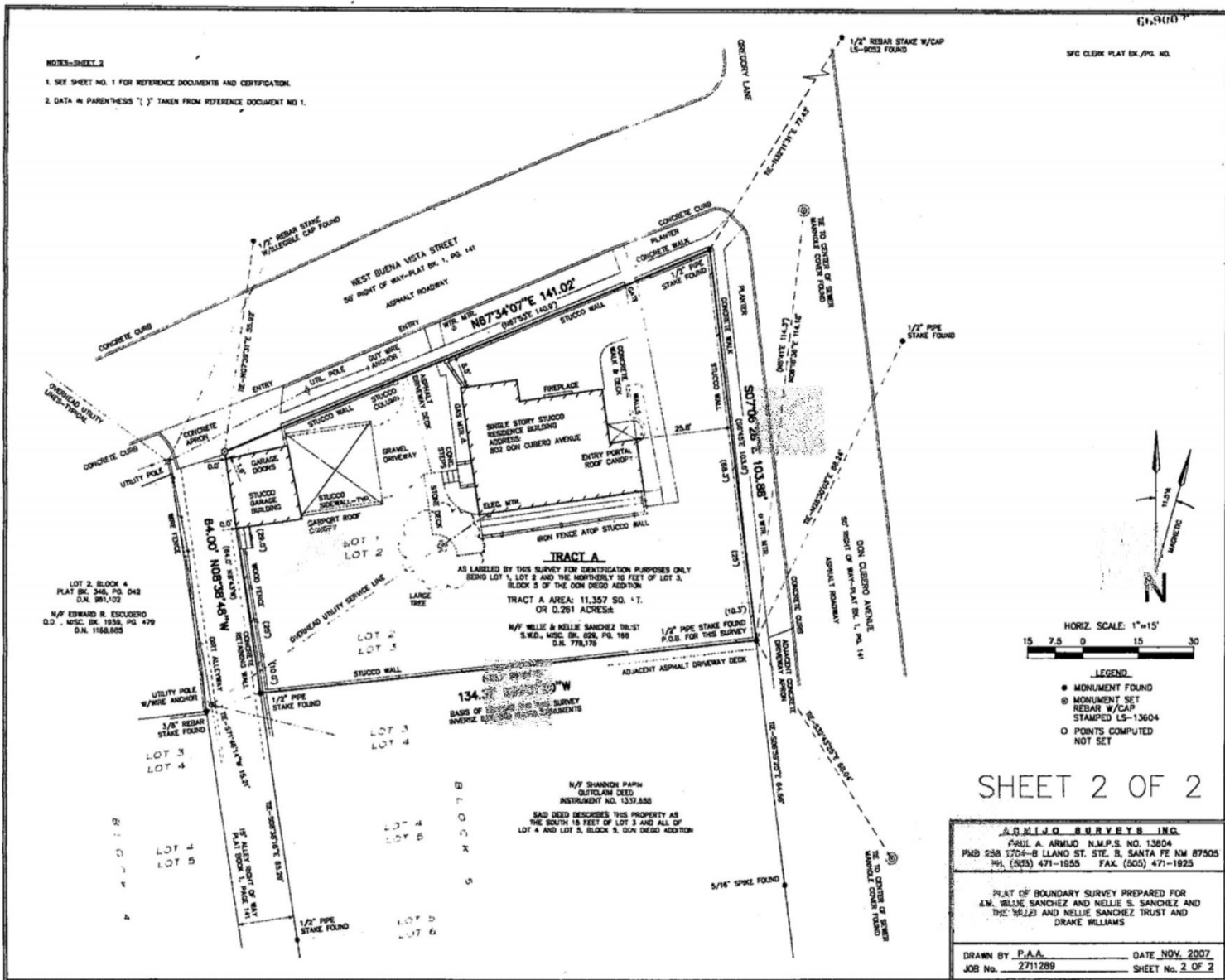
ARMILJO SURVEYS INC.
PAUL A. ARMIJO N.M.P.S. NO. 13604
PMB 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505
PH. (505) 471-1955 FAX. (505) 471-1925

PLAT OF BOUNDARY SURVEY PREPARED FOR
J.M. WILLIE SANCHEZ AND NELLIE S. SANCHEZ AND
THE WILLIE AND NELLIE SANCHEZ TRUST AND
DRAKE WILLIAMS

DRAWN BY P.A.A. DATE NOV. 2007
JOB No. 2711285 SHEET No. 1 OF 2

NOTES-SHEET 2
 1. SEE SHEET NO. 1 FOR REFERENCE DOCUMENTS AND CERTIFICATION.
 2. DATA IN PARENTHESIS () TAKEN FROM REFERENCE DOCUMENT NO. 1.

SFC CLERK PLAT BK./PG. NO.



- LEGEND
- MONUMENT FOUND
 - ⊙ MONUMENT SET
 - ⊙ REBAR W/CAP STAMPED LS-13604
 - POINTS COMPUTED
 - NOT SET

SHEET 2 OF 2

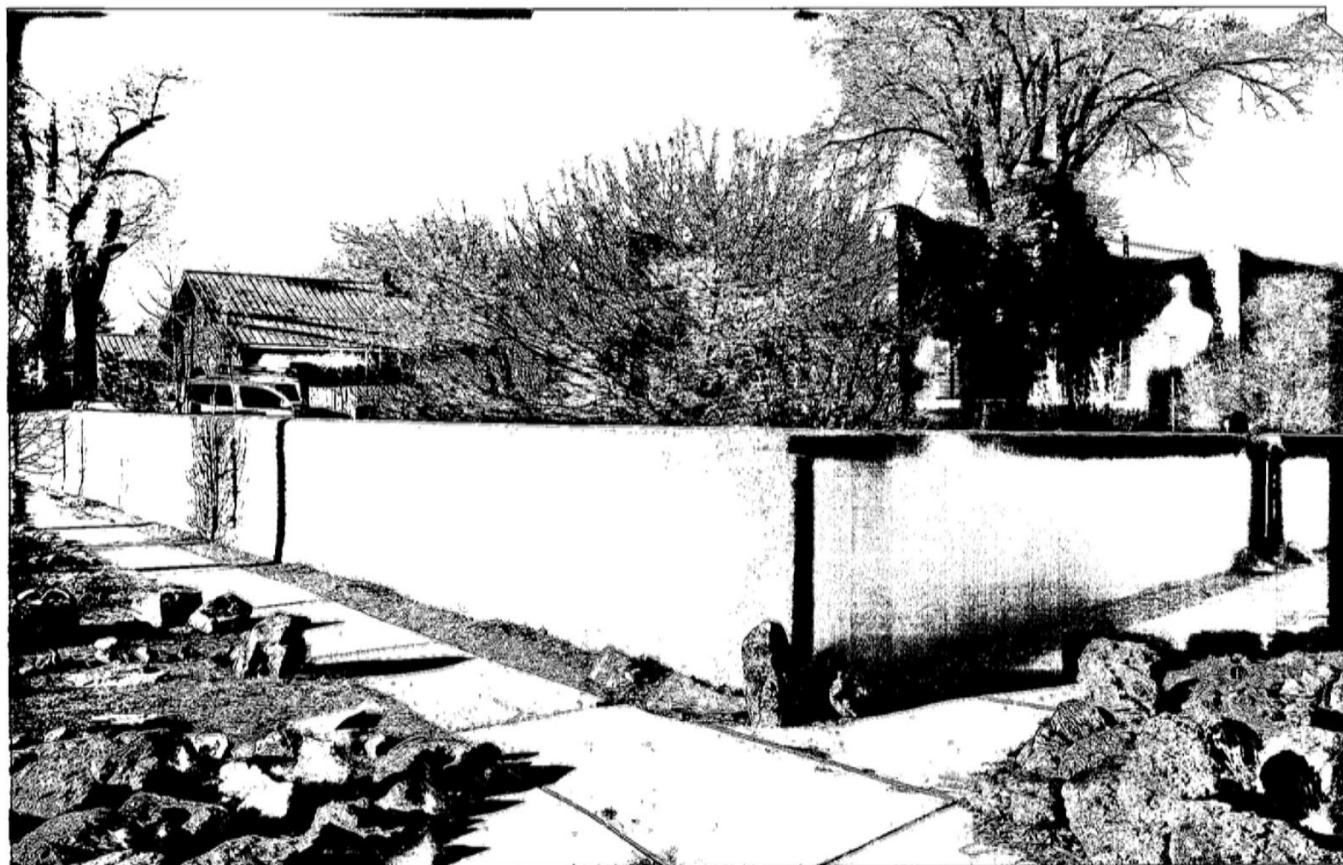
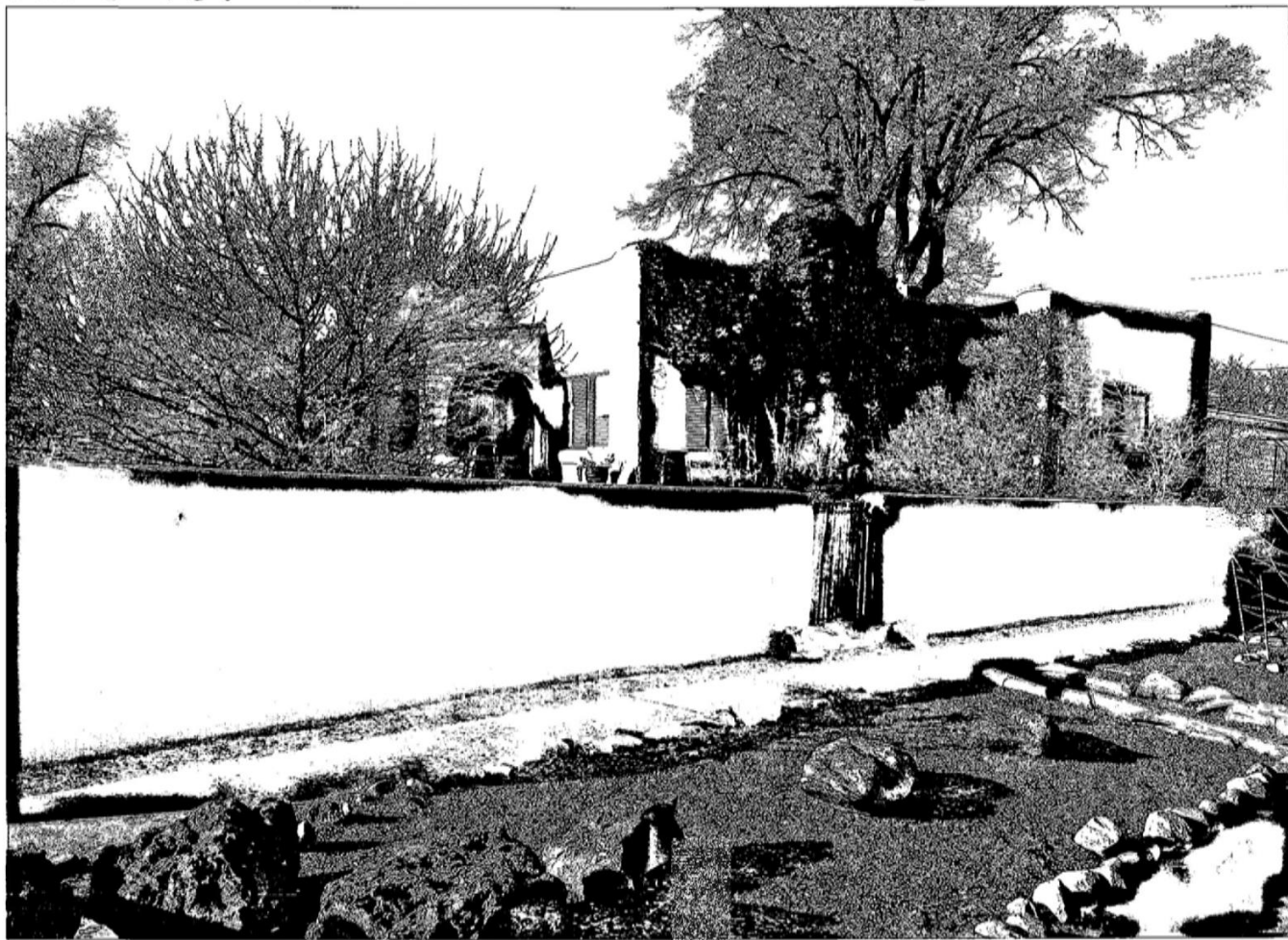
J. G. BERRY & SONS, INC.
 PAUL A. ARMAO, N.M.P.S. NO. 13604
 PHD 528 7726-B LLANO ST. STE. B, SANTA FE NM 87505
 PH. (505) 471-1955 FAX. (505) 471-1925

PLAT OF BOUNDARY SURVEY PREPARED FOR
 J.M. WILLIE SANCHEZ AND NELLIE S. SANCHEZ AND
 THE WILLIE AND NELLIE SANCHEZ TRUST AND
 DRAKE WILLIAMS

DRAWN BY: P.A.A. DATE: NOV. 2007
 JOB No. 2711289 SHEET No. 2 OF 2

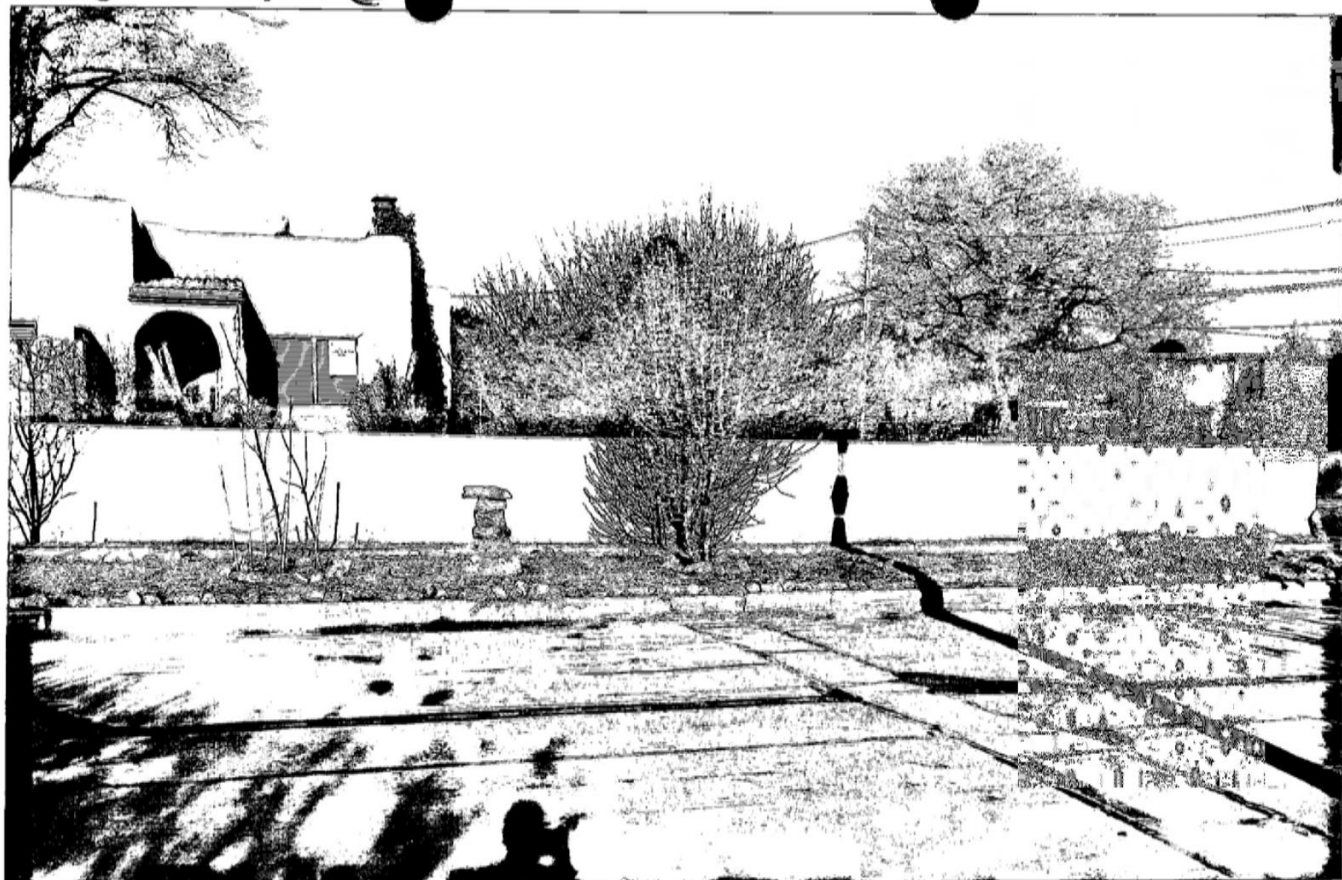
- 5ft exclus. de
 - 1 story
 - 1500 SF
 - label parking

W. Buena Vista ●



Corner of Buena Vista & Don Ceballos Ave

Don Cubero Ave



New wall inside yard



New driveway on Don Cubero Ave



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:	
Date Submitted: <u>3-22-17</u>		<u>802 Don Cubero Ave</u>	
Property Owner of Record: <u>Sarah Flores-Silvers</u>		Proposed Construction Description:	
Applicant/Agent Name: <u>Sarah Flores-Silvers</u>		<u>Increase wall and around house</u>	
Contact Person Phone Number: () <u>696 6466</u>		TOTAL ROOF AREA:	
Zoning District: <u>R-5/17m Grand Area H.D.</u>		-Lot Coverage: <u> </u> % <u>N/A</u>	
Overlay: <input checked="" type="checkbox"/> Escarpment		<input type="checkbox"/> Open Space Required: <u> </u>	
<input type="checkbox"/> Flood Zone* <u>N/A</u>		Setbacks:	
<input type="checkbox"/> Other: <u> </u>		Proposed Front: <u> </u> Minimum: <u> </u>	
Submittals Reviewed with PZR:		2 nd Front? <u> </u>	
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans		Proposed Rear: <u> </u> Minimum: <u> </u>	
<input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations		Proposed Sides: L <u> </u> R <u> </u> Minimum: <u> </u>	
Supplemental Zoning Submittals Required for Building Permit:		Height: Proposed <u> </u>	
<input type="checkbox"/> Zero Lot Line Affidavit		Maximum Height: <u> </u> or	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		<input type="checkbox"/> Regulated by Historic Districts Ordinance	
<input checked="" type="checkbox"/> Visibility Triangle Required		<input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential		Parking Spaces:	
<input type="checkbox"/> Commercial Type of Use: <u> </u>		Proposed <u> </u> Accessible <u> </u>	
Terrain: <input type="checkbox"/> 30% slopes <u> </u>		Minimum: <u> </u>	
* Requires an additional review conducted by Technical Review Division.		Bicycle Parking**:	
** Requires an additional review conducted by the Traffic Engineering Division.		Proposed: <u> </u> Minimum: <u> </u>	
		** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Sarah Flores-Silvers PRINT NAME OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature] 3/22/17

SIGNATURE DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by <u> </u> Date: <u> / / </u>	
<input type="checkbox"/> Flood Plain Approval by <u> </u> Date: <u> / / </u>	
<input type="checkbox"/> Traffic Engineering Approval by <u>[Signature]</u> Date: <u>2/14/17</u>	
Notes: <u> </u>	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u> </u>	
REVIEWER: <u>[Signature]</u> DATE: <u>3/22/17</u>	

City of Santa Fe, New Mexico

memo

DATE: April 25, 2017
TO: Historic Districts Review Board Members
VIA: David Rasch, Supervising Planner in Historic Preservation
FROM: Nicole Ramirez Thomas, Planner Senior in Historic Preservation *NR*

CASE # H-17-098

ADDRESS: 802 Don Cubero Avenue
Historic Status: Contributing
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:
Wall height calculation.

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Traffic triangle analysis;
administrative approval for alterations to
the yardwall.

STAFF RECOMMENDATION:

Staff does not find that the exception criteria were met due to a lack of responses however the Board may find that the exception criteria have been met with testimony from the applicant. Otherwise the application complies with 14-5.2(H) Don Gaspar Area Historic District.

BACKGROUND & SUMMARY:

802 Don Cubero Avenue is a single family residence that is designated as contributing to the Don Gaspar Area Historic District. The home was built in the Mission Revival style and was constructed sometime between 1912- 1928. It is characterized by an undulating parapet, rounded arches, and a clay tile roof above the porch. A detached garage is located at the back of the property.

The applicant was given a violation notice for construction of a dog ear fence at 6'-0" of height and part of this application is a request to resolve this issue.

The applicant requests to remodel the property with the following two items.

1) Raise a 3'-0" wall to 6'-0" along the street front property line. The maximum allowable height is 49". The applicant was given administrative approval to remove a portion of the yardwall in 2016 so that a new parking area could be created. The applicant requests to place coyote fencing atop the existing wall. The wall is 76'-0" long on the north side of the property and 71'-0" on the east side of the property. Necessary patching of the stucco will be done in El Rey cementitious "Hacienda." An exception to exceed the maximum allowable height (14-5.2(D)(9)) was noticed on the agenda but the applicant did not provide responses to the exception criteria.

2) Permission to retain an unpermitted dog ear fence at 6'-0" in height. The fence is constructed for privacy and is more than 20'0" from the sidewalk. An existing fence of the same material is located at the back (west) margin of the property. The applicant proposes to stain the fence but a color was not provided.

March 14, 2017

MAR 14

FROM: Fletcher and Sarah Flores-Sievers, 802 Don Cubero Ave, 87505

TO: Historical committee,

We are requesting to raise our 3ft wall to 6ft as we live on a very busy corner and have absolutely no privacy whatsoever. We live at 802 Don Cubero Ave and West Buena Vista in the South Capital. We plan to heighten the wall with coyote fencing and if touch-up is needed the same stucco will be used to match the wall/house. The wall was deemed NOT historic by the historical office per their site visit.

Wall located on W. Buena Vista is 76ft in length from corner to old driveway and the wall on Don Cubero Ave is 71ft in length from corner to new driveway opening.

We were approved by the city to add a new driveway so we are also requesting to add/extend a new wall and entrance gate along the new driveway (inside of yard) for privacy and security for us and our pets. The new section of the wall will be an extension of the same wall, cinder blocks with matching stucco with coyote fencing on top. The new entrance gate will be constructed of wood and metal to match what we currently have on the side entrance. The new wall extension would be from the new driveway opening (inside yard) to new gate (inside yard) would be 20ft.

In addition, we need to backtrack and seek approval for an interior dog ear fence that we installed a few years ago. We truly assumed we did not need approval since it was an interior wall in the middle of our yard. This fencing material is the same that lines our backyard and we installed it for security as our house was almost broken into. If we did not have this fence our dogs would be able to jump over the current 3ft wall and would have one large yard with new separation. We plan to stain fence to match backyard fence.

Thank you for your consideration,

Fletcher Sievers and Sarah Flores-Sievers

505-690-6466

*El Rey Cementitious
"Hacienda"*



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 7.6.16

To: BUILDING PERMIT DIVISION

From: David Rasch, HPD Planner Supervisor:

DR
STAFF INITIALS

Date Submitted:

7.6.16

Contact Name:

Sarah Flores-Sivers

Phone Number:

690-6466

Project Address: 802 Don Cubero Ave.

Be advised that per §14-5.2 SFCC 1987 the work described below at the above-referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Description of Proposed Work:

remove portion of yardwall on east lotline for driveway entry
cut surfaces will be restuccoed with either elastomeric or cementitious material in a light brown to match existing

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

Yes No

PERMIT REVISION REQUIRED
ROUTE TO HISTORIC DIVISION

DR

Yes No

INTERIM HISTORIC INSPECTION

DR

Yes No

FINAL HISTORIC INSPECTION

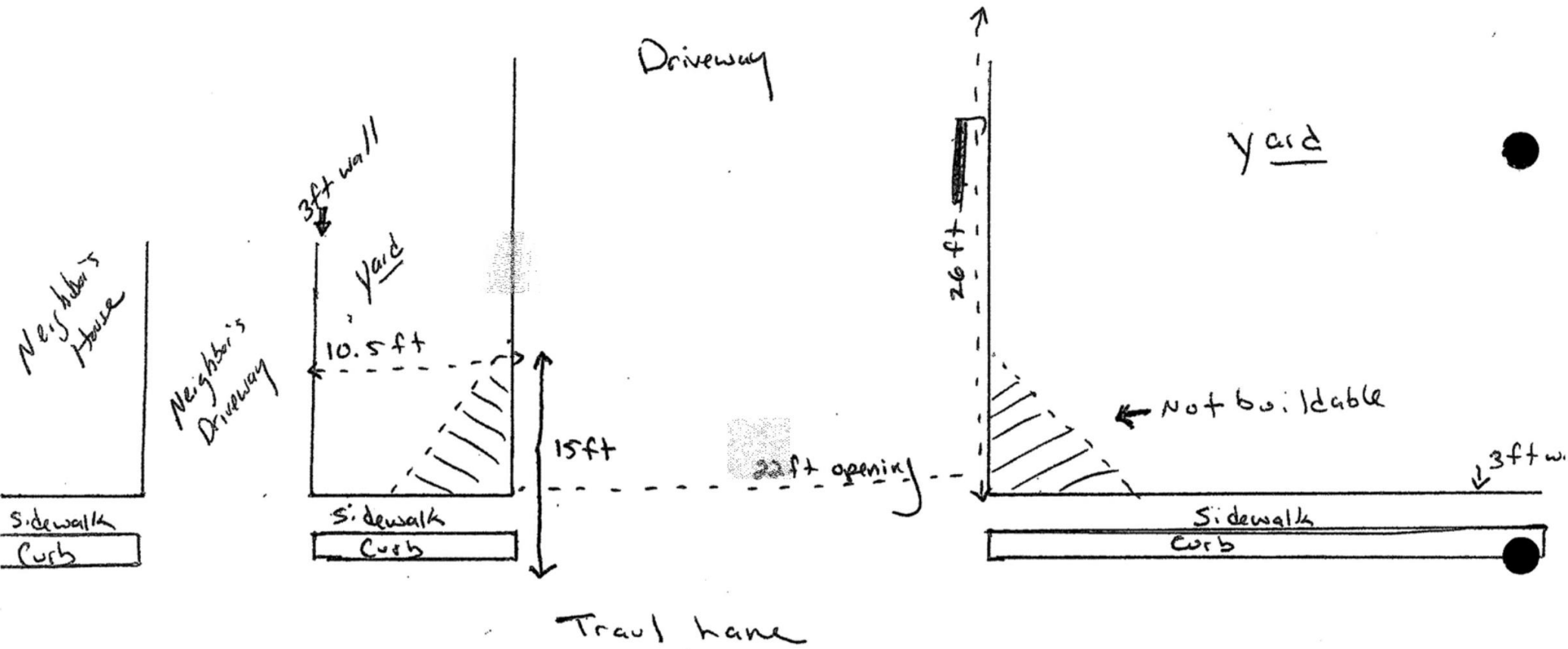
DR

Exhibit "A"
Permit # 16-07-02

Jack Lucas
7-5-16

out Don (user) TM
Sarah, Torres, J.P.

House



Truck lane
Don Cubero Ave



HISTORIC DISTRICTS REVIEW BOARD APPLICATION

PROJECT LOCATION: 802 Don Cubero Ave

HISTORIC DISTRICT: Downtown & Eastside [] Don Gaspar Area [] Westside-Guadalupe []
(from attached map) Historic Transition [] Historic Review [] Landmark (outside of historic districts) []

PROJECT PROPOSAL: _____

CONSTRUCTION COST: \$ 20,000

BASE FEE: \$ 250 + EXCEPTION: \$ 0 + POSTER: \$ 25 = TOTAL: \$ 275.00

(base fee = 1/2 of 1% of construction cost, not to exceed \$2,000 and not less than \$250)

(each exception has an additional fee of \$350) (\$25 per poster with one (1) poster per street frontage)

OWNER: Fletcher - Sarah Sievers PHONE #: 690-6466

OWNER MAILING ADDRESS: 802 Don Cubero Ave

CITY, STATE, ZIP CODE: Santa Fe, NM 87505

EMAIL: sfwf@yahoo.com

APPLICANT: _____ PHONE #: _____

MAILING ADDRESS: _____

CITY, STATE, ZIP CODE: _____

EMAIL: _____

PREAPPLICATION MEETING: Date: 8/27/2015 Case Planner: J Roach

PRELIMINARY ZONING REVIEW: Date: _____ Planner: _____

(You must schedule a meeting with Zoning Planner prior to the HDRB submittal deadline date: Worksheet will not be reviewed on the HDRB submittal deadline day/Preliminary Zoning Review Form must be submitted with proposal)

AFFIDAVIT TO AUTHORIZE AGENT (IF APPLICABLE)

I am,/We are the owner(s) and record title holder(s) of the property located at: _____

I/We authorize _____ to act as my/our agent to execute this application.

Signed: _____ Date: _____

Signed: _____ Date: _____

****ALL signatures on this page must be original signatures (no copies, no digital signatures)**

October 12, 2023

Ramón J. Sarason, AIA, LEED AP
Senior Planner
City of Santa Fe
200 Lincoln Ave, Santa Fe, NM 87501

Dear Mr. Sarason,

We are requesting to replace 21 non-historic windows at 802 Don Cubero Ave. These non-historic single pane windows were already installed with the purchase of our home in 2008. I am seeking to replace with Simonton 6200 series. Colonial style with inside grilles, white vinyl duo-pane single-hung on the main floor and small sliding windows in the basement.

The color of stucco will match the current house, which is STO in Pueblo 01005.

802 Don Cubero Ave is in the Don Gaspar Ave Historic District and was constructed in the 1920s and altered some 80 years later. The hollow clay tile house faces east onto Don Cubero with a modestly scaled porch. The mixed Spanish Eclectic and Pueblo Revival building encloses roughly 2,942 square feet including a finished basement. The property includes low street walls, a non-historic carport, and an original two-car garage. The house and garage are contributors to the district.

Thank you,

A handwritten signature in cursive script, appearing to read "Sarah W".

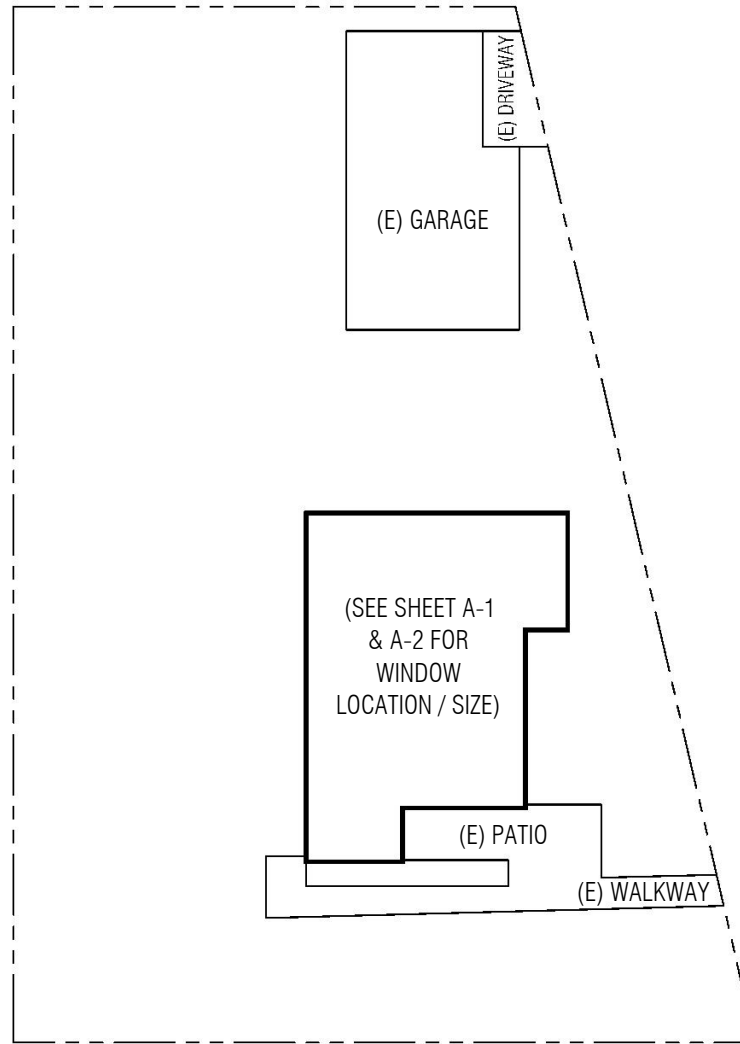
Sarah Flores-Sievers

INDEX OF DRAWINGS

- S-1 SITE PLAN
- A-1 FLOOR PLAN
- A-2 FLOOR PLAN
- A-3 EAST ELEVATION
- A-4 SOUTH ELEVATION
- A-5 WEST ELEVATION
- A-6 NORTH ELEVATION

SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / ENTRY DOORS;
U-FACTOR = 0.30
SHGC = 0.23



SITE PLAN



DON CUBERO AVENUE

HOME DEPOT USA INC. (NM)




FOR ALL YOUR PERMIT NEEDS
980 HOPPER AVENUE, SANTA ROSA, CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

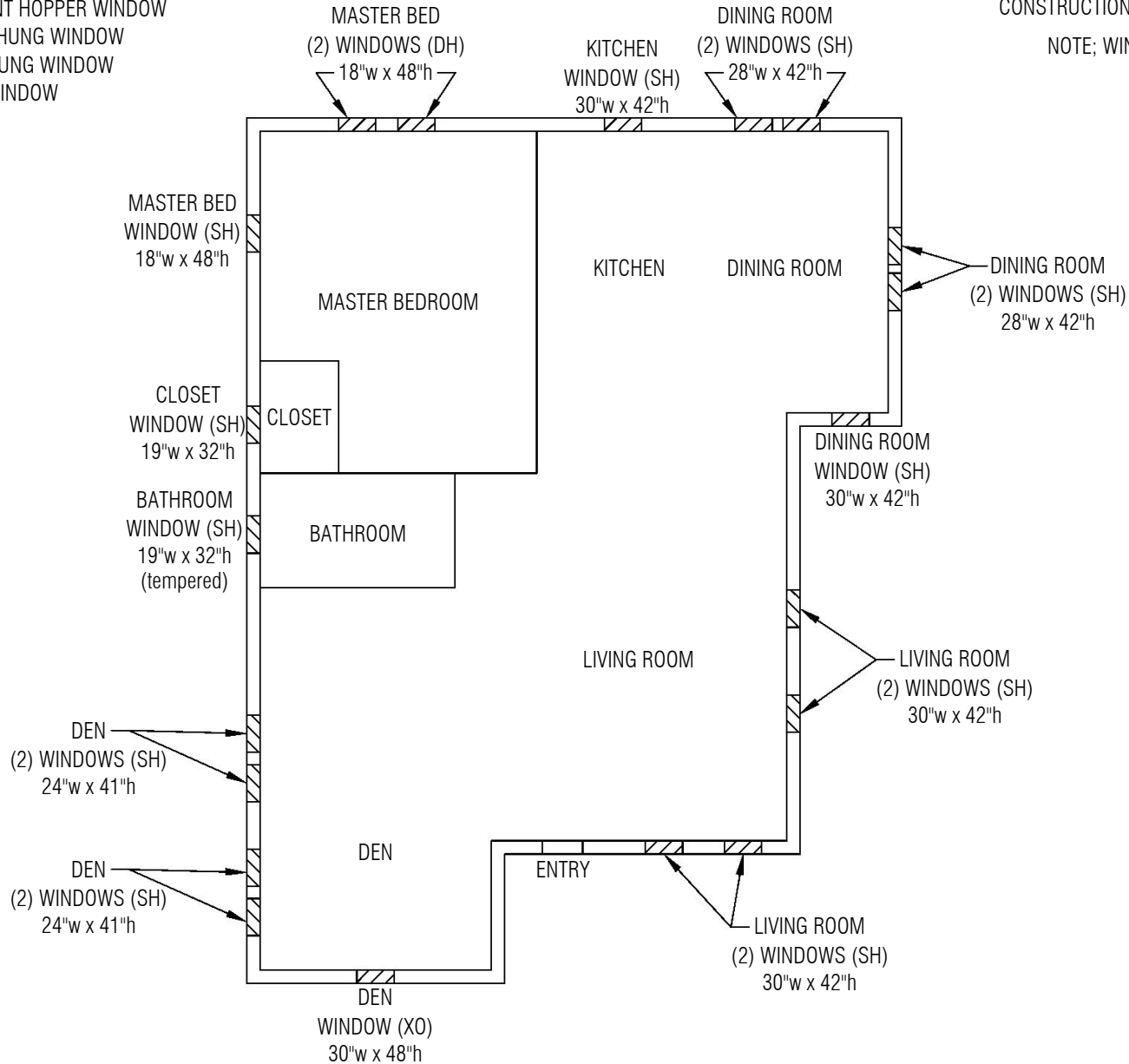
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SCALE	NTS
DRAWN BY	DKW
JOB	11185468
SHEET	S-1

LEGEND:

-  = REPLACEMENT WINDOW / PATIO DOOR LOCATION
- (BH) = BASEMENT HOPPER WINDOW
- (DH) = DOUBLE HUNG WINDOW
- (SH) = SINGLE HUNG WINDOW
- (XO) = SLIDER WINDOW

SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT, VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N) CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / PATIO DOORS;
U-FACTOR = 0.30
SHGC = 0.23



FIRST STORY
FLOOR PLAN



DON CUBERO AVENUE

HOME DEPOT USA INC. (NM)




FOR ALL YOUR PERMIT NEEDS
980 HOPPER AVENUE, SANTA ROSA, CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

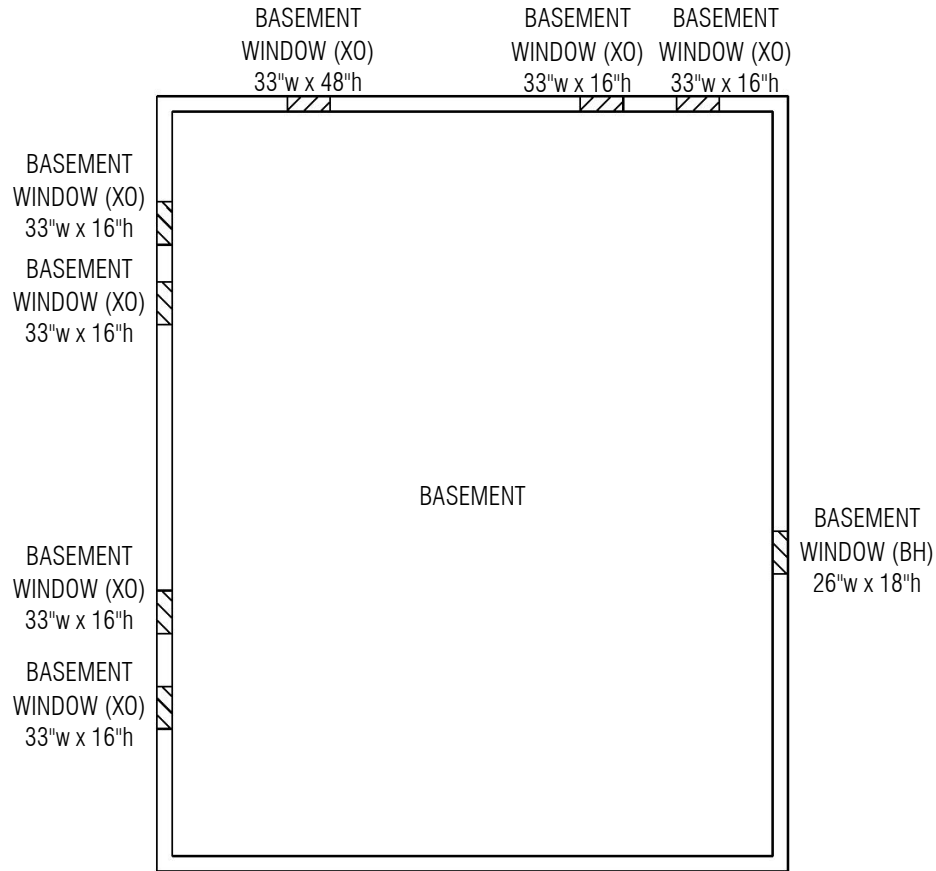
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SCALE	NTS
DRAWN BY	DKW
JOB	11185468
SHEET	A-1

LEGEND:

-  = REPLACEMENT WINDOW / PATIO DOOR LOCATION
- (BH) = BASEMENT HOPPER WINDOW
- (DH) = DOUBLE HUNG WINDOW
- (SH) = SINGLE HUNG WINDOW
- (XO) = SLIDER WINDOW

SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE: WINDOWS / PATIO DOORS;
U-FACTOR = 0.30
SHGC = 0.23



BASEMENT
FLOOR PLAN



DON CUBERO AVENUE

HOME DEPOT USA INC. (NM)

SoCal
PERMIT SERVICES

NORTH BAY PERMIT SERVICES

FOR ALL YOUR PERMIT NEEDS

Over 30 Years of Experience in the Industry

980 HOPPER AVENUE, SANTA ROSA, CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

DATE 10.07.22

SCALE NTS

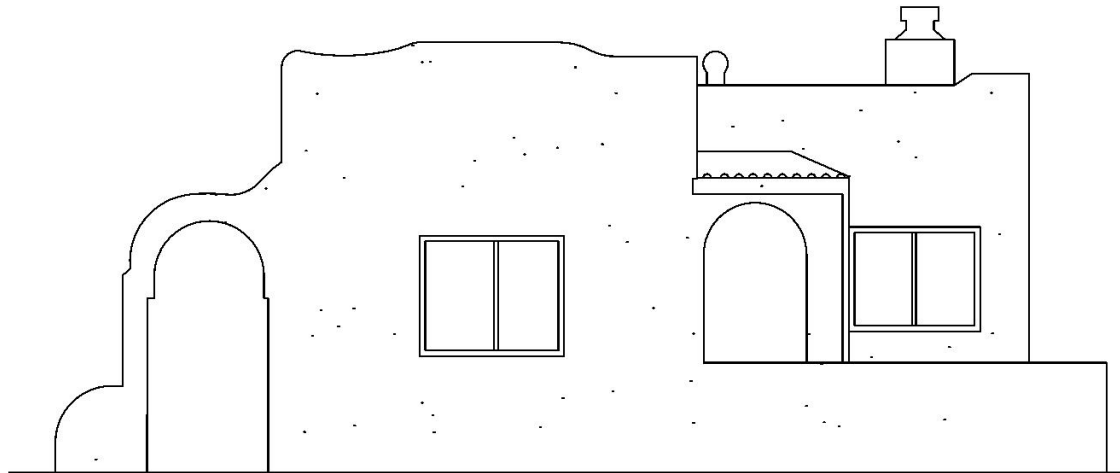
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JOB 11185468

SHEET A-2

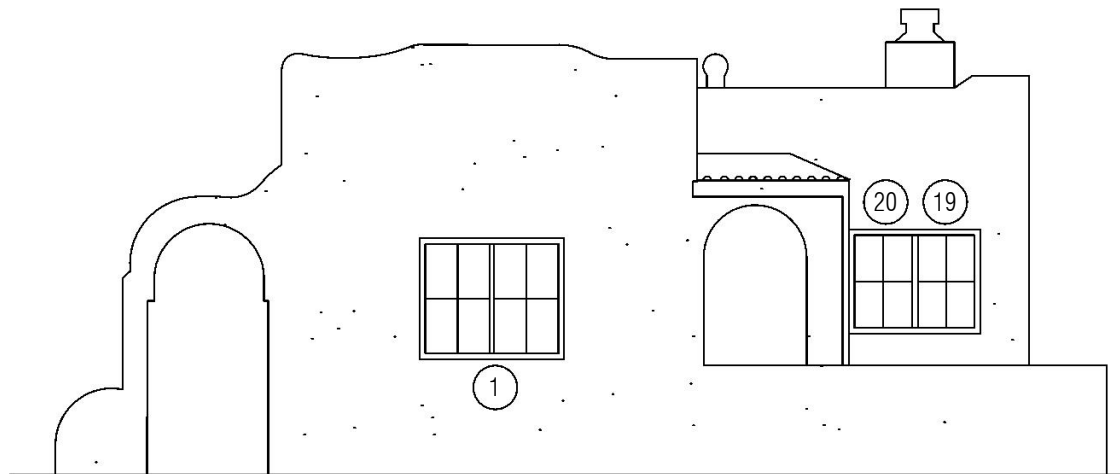
SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / ENTRY DOORS;
U-FACTOR = 0.30
SHGC = 0.23



EAST ELEVATION (EXISTING)

nts



EAST ELEVATION (PROPOSED)

nts

HOME DEPOT USA INC. (NM)



980 HOPPER AVENUE, SANTA ROSA, CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

DATE 10.07.22

SCALE NTS

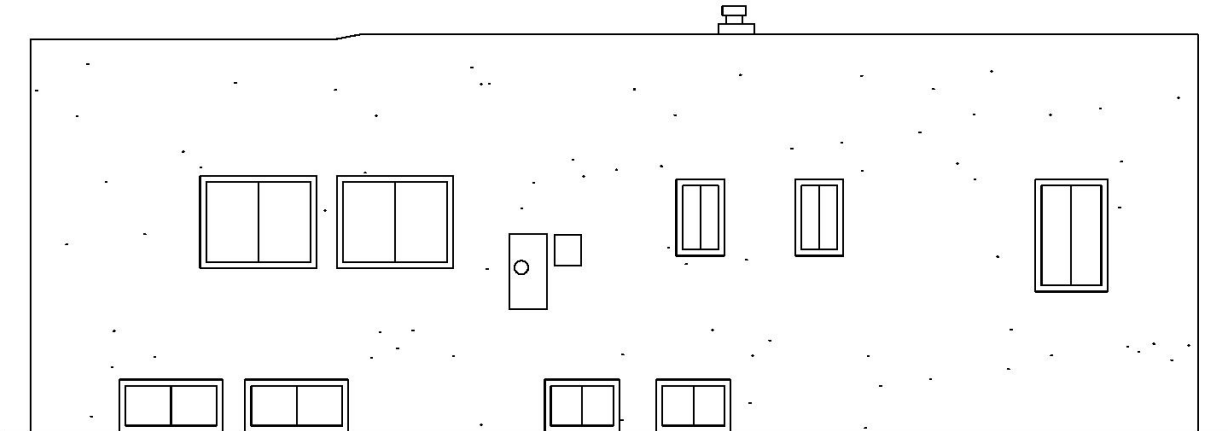
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JOB 11185468

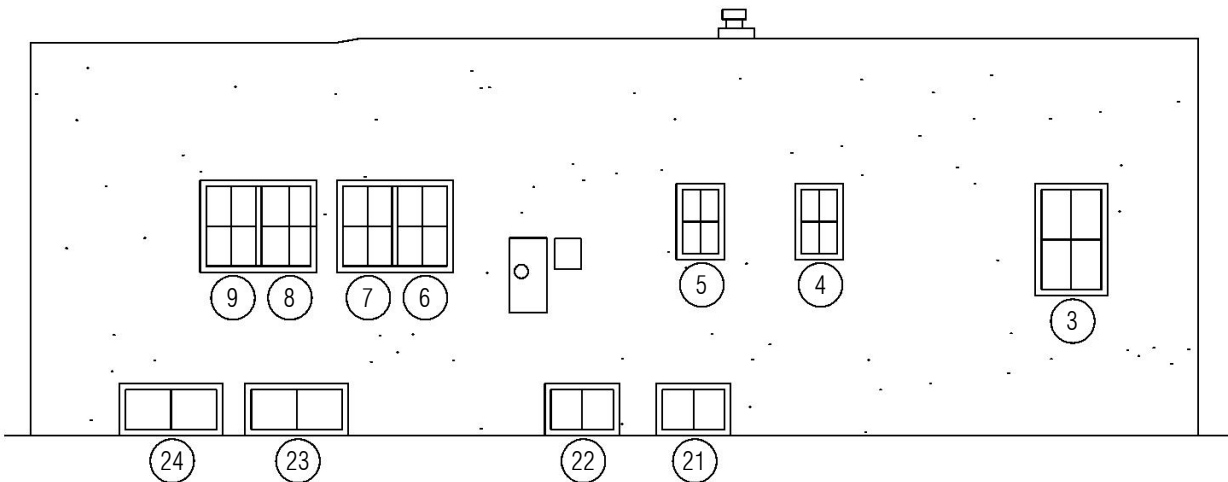
SHEET A-3

SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / ENTRY DOORS;
U-FACTOR = 0.30
SHGC = 0.23



SOUTH ELEVATION (EXISTING)
nts



SOUTH ELEVATION (PROPOSED)
nts

HOME DEPOT USA INC. (NM)

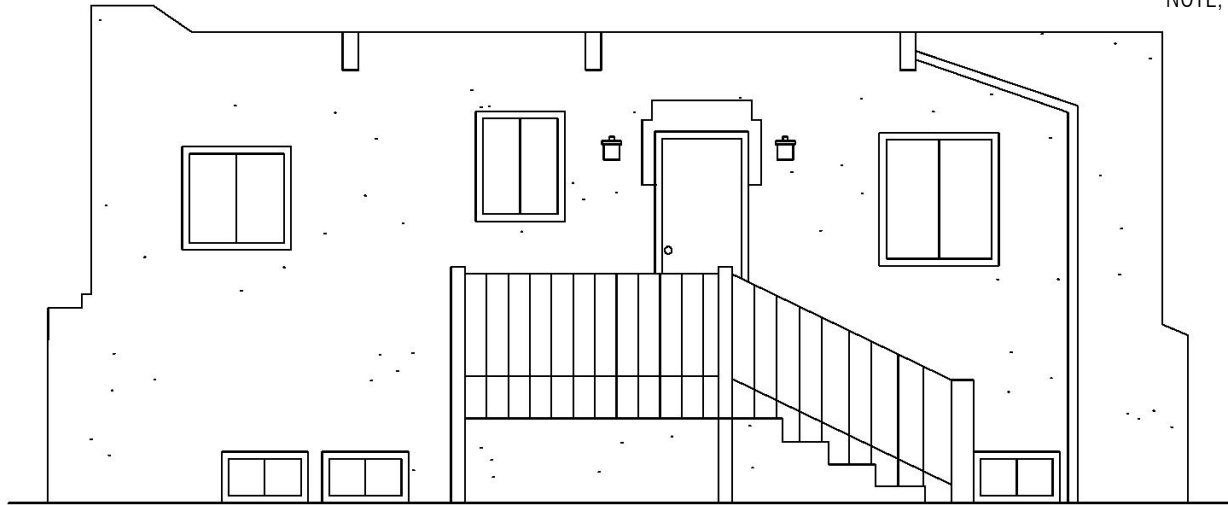
SoCal PERMIT SERVICES
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SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

DATE	10.07.22
SCALE	NTS
DRAWN BY	DKW
JOB	11185468
SHEET	A-4

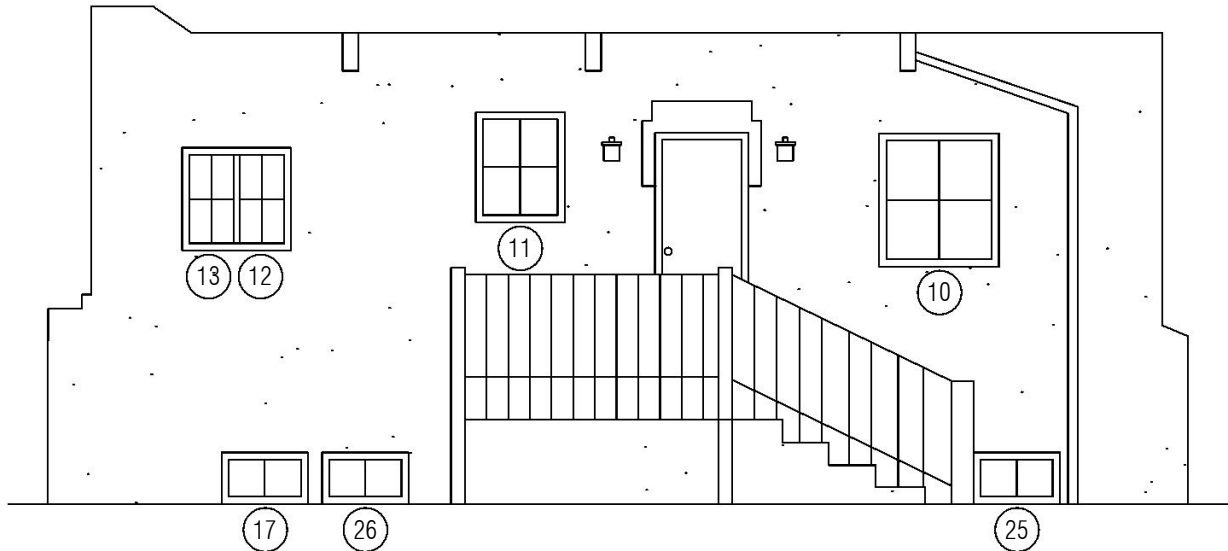
SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / ENTRY DOORS;
U-FACTOR = 0.30
SHGC = 0.23



WEST ELEVATION (EXISTING)

nts



WEST ELEVATION (PROPOSED)

nts

HOME DEPOT USA INC. (NM)



980 HOPPER AVENUE, SANTA ROSA, CA. 95403
(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

DATE 10.07.22

SCALE NTS

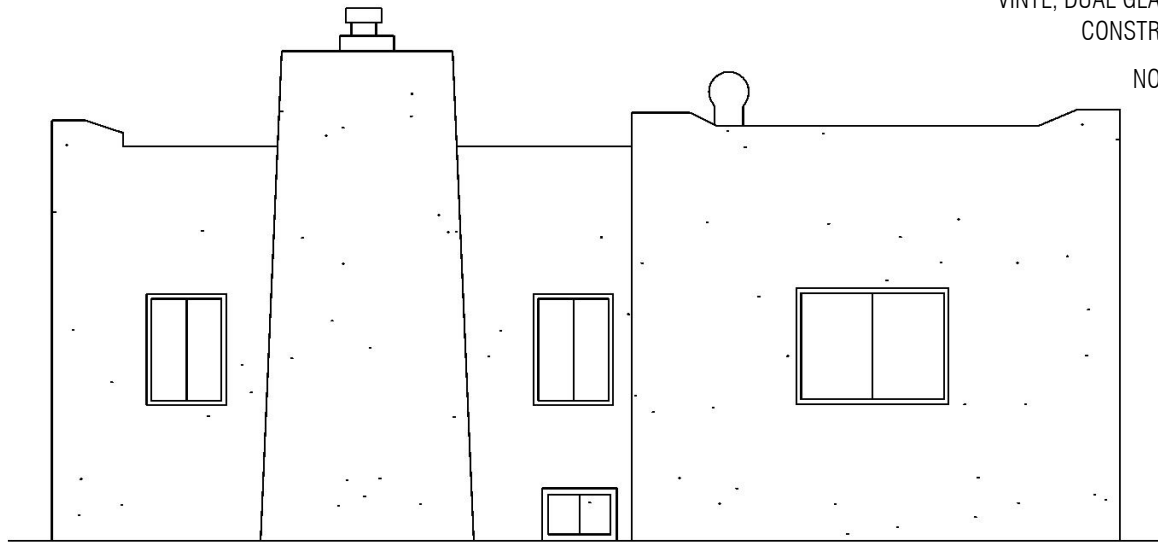
DRAWN BY DKW

JOB 11185468

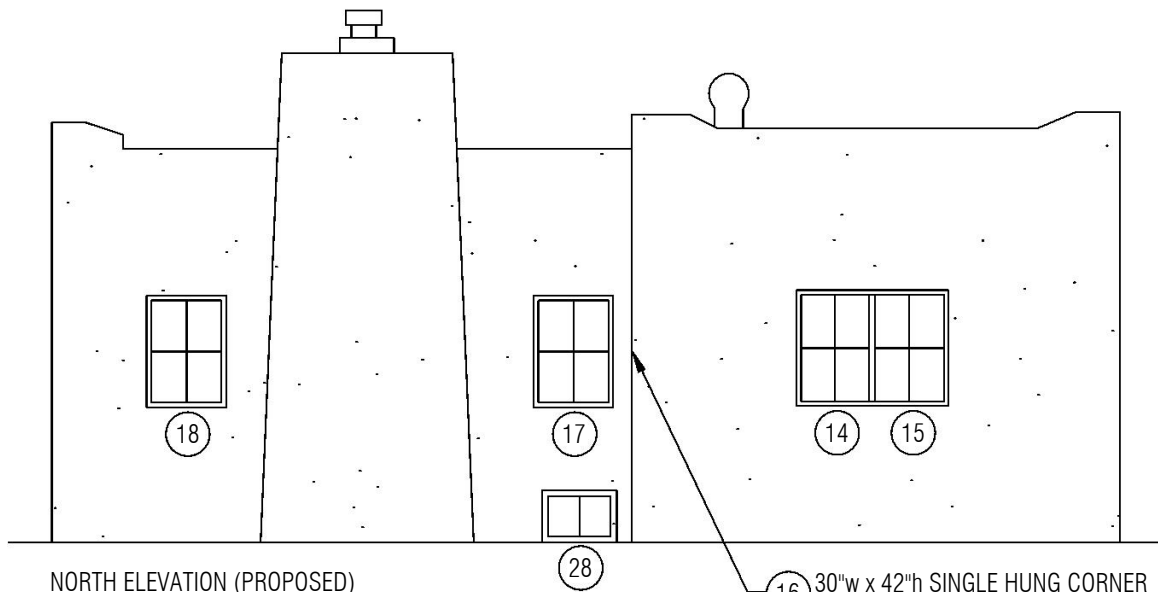
SHEET A-5

SCOPE OF WORK: REPLACE / INSTALL (28) RETROFIT,
VINYL, DUAL GLAZED, LOW E, WINDOWS. NO (N)
CONSTRUCTION / REPLACEMENT ONLY.

NOTE; WINDOWS / ENTRY DOORS;
U-FACTOR = 0.30
SHGC = 0.23



NORTH ELEVATION (EXISTING)
nts



NORTH ELEVATION (PROPOSED)
nts

16 30" w x 42" h SINGLE HUNG CORNER
WINDOW SAME GRID PATTERN 1H, 1V

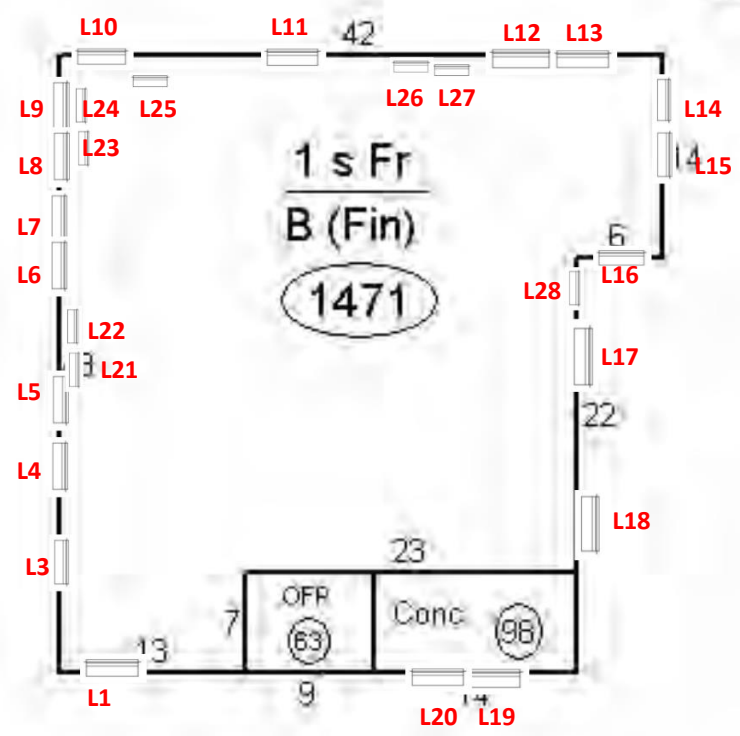
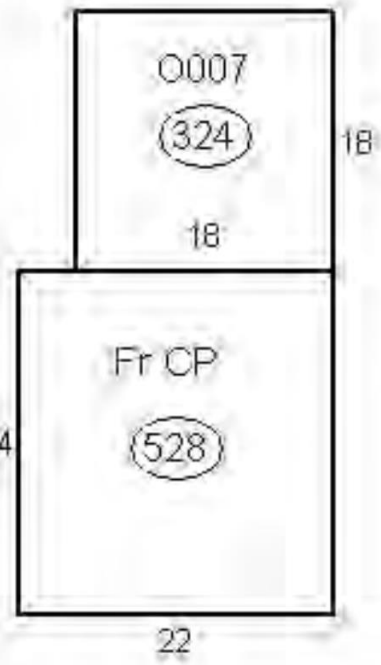
HOME DEPOT USA INC. (NM)



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(707) 527-7727 (PHONE), (707) 528-7663 (FAX)

SARA FLORES
802 DON CUBERO AVENUE
SANTA FE, NM. 87507

DATE	10.07.22
SCALE	NTS
DRAWN BY	DKW
JOB	11185468
SHEET	A-6





East Elevation

Line 1—BR - Single Slider 59.5x 47.5

Line 20 LR—Double Hung 30x42

Line 19 LR—Double Hung 30x42



South Elevation

Line 9—Den—Single Hung 24x41

Line 8—Den—Single Hung 24x41

Line 7—Den—Single Hung 24x41

Line 6—Den—Single Hung 24x41

Line 5—Bath—Single Hung 19x32

Line 4—Closet—Single Hung 19x32

Line 3—BR—Single Hung 18x48

Line 24—Bsmt—Single Slider 33x16

Line 23—Bsmt—Single Slider 33x16

Line 22—Bsmt—Single Slider 33x16

Line 21—Bsmt—Single Slider 33x16



West elevation

Line 13—Dine—Single Hung 28x42

Line 12—Dine—Single Hung 38x42

Line 11—Kitch—Single Hung—30x42

Line 10—Den—Single Hung 30x48

Line 27—Bsmt—Single Slider 33x48

Line 26—Bsmt—Single Slider 33x48

Line 25—Bsmt—Single Slider 33x48



North elevation

Line 18—Liv—Single Hung 30x42

Line 17—Liv—Single Hung 30x42

Line 16—Dine—Single Hung 30x42

Line 15—Dine—Single Hung 28x42

Line 14—Dine—Single Hung 28x42

Line 28—Bsmnt Laund—Basement Hopper 26x18



North elevation

Line 18—Liv—Single Hung 30x42

Line 17—Liv—Single Hung 30x42

Line 16—Dine—Single Hung 30x42

Line 15—Dine—Single Hung 28x42

Line 14—Dine—Single Hung 28x42

Line 28—Bsmnt Laund—Basement Hopper 26x18

Customer: SARA FLORES

Job #: F26862644

Consultant: George Arpasi

Date: 09/30/2022

ITEM #	Existing Window				New Window																								
	Location		Style Code	Wraps (Y/N)	Style Code	Series Code	Color		Measurements			Type (F, S, GBG)	Color	Pattern	Grids			Product Options	Labor Options	Hinge Locations									
	Room	Floor					Interior	Exterior	Width	Height	UI				Location	Vertical	Horizontal			Location	Vertical	Horizontal	From outside, Left to Right	From outside, Left to Right	From outside, Left to Right				
										# of bars			# of bars			Glass Hardware Screens Mull	Misc Items Code	Bays, Bows Csmnts, 1 Pnl, use L, R or S											
													For doors use "S" = stationary or "X" = operating																
1	BED	1st	2 PNLC	N	1 PNL	6200	WH	WH	59.5	47.5	107	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR	X	S					
2	BED	1st	2 PNLC	N	DH	6500	WH	WH	18	48	66	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR							
3	BED	1st	2 PNLC	N	SH	6200	WH	WH	18	48	66	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR							
4	CLOS	1st	DH-HITILT	N	SH	6200	WH	WH	19	32	51	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, Glue Chip : Bottom, GlassPack: Standard	F, CASING, LSR							
5	BATH	1st	DH-HITILT	N	SH	6200	WH	WH	19	32	51	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, TMP : Bottom, Glue Chip : Bottom, GlassPack: Standard	F, CASING, LSR							
6	DEN	1st	2 PNLC	N	SH	6200	WH	WH	24	41	65	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	MULL, STD, White, GlassPack: Standard	F, CASING, LSR							
7	DEN	1st	2 PNLC	N	SH	6200	WH	WH	24	41	65	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR							
8	DEN	1st	2 PNLC	N	SH	6200	WH	WH	24	41	65	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	MULL, STD, White, GlassPack: Standard	F, CASING, LSR							

Wrap Color	
Interior Casing Type	
Bay or Bow window:	
Seatboard material (vinyl only-Birch or Oak)	
Bay Project Angle (30 or 45)	
Bay Flanker Type (DH, SH, or Csmnt)	
Top of window to soffit (inches)	
If tied to soffit, color of soffit material	
Construct Roof (Yes or No) *	
Garden Window:	
Seatboard Material (vinyl only-White Pionite, Birch or Oak)	

SPECIAL CONSIDERATIONS:
Line Level Notes: 1. MISC(1) : Stucco cut only 2. Stucco cut only. Customer will restucco. 3. MISC(2) : Stucco cut only 4. Stucco cut only. 5. MISC(3) : Stucco cut only 6. Stucco cut only. 7. MISC(4) : Stucco cut only 8. MISC(5) : Stucco cut only 9. MISC(6) : Stucco cut only 10. MISC(7) : Stucco cut only 11. MISC(8) : Stucco cut only
I have reviewed and agree with all the job specifications above and the Special Terms and Conditions on the following page

Wall Thickness (inches)	
Additional Shelf (Yes or No)	

Customer Signature

* There is no guarantee that new shingles will match existing color.

Customer: SARA FLORES

Job #: F26862644

Consultant: George Arpasi

Date: 09/30/2022

ITEM #	Existing Window				New Window																						
	Location		Style Code	Wraps (Y/N)	Style Code	Series Code	Color		Measurements			Type (F, S, GBG)	Color	Pattern	Grids			Product Options	Labor Options	Hinge Locations							
	Room	Floor					Interior	Exterior	Width	Height	UI				# of bars					# of bars			From outside, Left to Right				
9	DEN	1st	2 PNLC	N	SH	6200	WH	WH	24	41	65	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					
10	DEN	1st	2 PNLC	N	SH	6200	WH	WH	30	48	78	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					
11	KITCH	1st	2 PNLC	N	SH	6200	WH	WH	30	42	72	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					
12	DINE	1st	DH-HITILT	N	SH	6200	WH	WH	28	42	70	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	MULL, STD, White, GlassPack: Standard	F, CASING, LSR					
13	DINE	1st	2 PNLC	N	SH	6200	WH	WH	28	42	70	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					
14	DINE	1st	2 PNLC	N	SH	6200	WH	WH	28	42	70	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	MULL, STD, White, GlassPack: Standard	F, CASING, LSR					
15	DINE	1st	2 PNLC	N	SH	6200	WH	WH	28	42	70	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					
16	DINE	1st	2 PNLC	N	SH	6200	WH	WH	30	42	72	F, GBG	WH,W H	C	ALL	1	1	ALL	1	1	STD, White, GlassPack: Standard	F, CASING, LSR					

Wrap Color	
Interior Casing Type	
Bay or Bow window:	
Seatboard material (vinyl only-Birch or Oak)	
Bay Project Angle (30 or 45)	
Bay Flanker Type (DH, SH, or Csmnt)	
Top of window to soffit (inches)	
If tied to soffit, color of soffit material	
Construct Roof (Yes or No) *	
Garden Window:	
Seatboard Material (vinyl only-White Pionite, Birch or Oak)	

SPECIAL CONSIDERATIONS:	
Line Level Notes: 9. MISC(9) : Stucco cut only 10. MISC(10) : Stucco cut only 11. MISC(11) : Stucco cut only 12. MISC(12) : Stucco cut only 13. MISC(13) : Stucco cut only 14. MISC(14) : Stucco cut only 15. MISC(15) : Stucco cut only 16. MISC(16) : Stucco cut only	
I have reviewed and agree with all the job specifications above and the Special Terms and Conditions on the following page	

Wall Thickness (inches)	
Additional Shelf (Yes or No)	

Customer Signature

* There is no guarantee that new shingles will match existing color.

Wall Thickness (inches)	
Additional Shelf (Yes or No)	

Customer Signature

* There is no guarantee that new shingles will match existing color.

Customer: SARA FLORES

Job #: F26862644

Consultant: George Arpasi

Date: 09/30/2022

ITEM #	Existing Window				New Window																					
	Location		Style Code	Wraps (Y/N)	Style Code	Series Code	Color		Measurements			Type (F, S, GBG)	Color	Pattern	Grids			Product Options	Labor Options	Hinge Locations						
	Room	Floor					Interior	Exterior	Width	Height	UI				# of bars					# of bars			From outside, Left to Right			
																Bays, Bows Csmnts, 1 Pnl, use L, R or S										
															For doors use "S" = stationary or "X" = operating											
25	BSMT	1st	2 PNLC	N	1 PNL	6200	WH	WH	33	16	49								STD, White, TMP : Full, GlassPack: Standard	F, CASING, LSR	X	S				
26	BSMT	1st	2 PNLC	N	1 PNL	6200	WH	WH	33	16	49								STD, White, TMP : Full, GlassPack: Standard	F, CASING, LSR	X	S				
27	BSMT	1st	2 PNLC	N	1 PNL	6200	WH	WH	33	48	81								STD, White, TMP : Full, GlassPack: Standard	F, CASING, LSR	X	S				
28	LAUN	Basement	BH	N	BH	6200	WH	WH	26	18	44								STD, White, TMP : Full, GlassPack: Standard	F, CASING, LSR						

Wrap Color	
Interior Casing Type	
Bay or Bow window:	
Seatboard material (vinyl only-Birch or Oak)	
Bay Project Angle (30 or 45)	
Bay Flanker Type (DH, SH, or Csmnt)	
Top of window to soffit (inches)	
If tied to soffit, color of soffit material	
Construct Roof (Yes or No) *	
Garden Window:	
Seatboard Material (vinyl only-White Pionite, Birch or Oak)	

SPECIAL CONSIDERATIONS:	
Line Level Notes: 25. MISC(25) : Stucco cut only 26. MISC(26) : Stucco cut only 27. MISC(27) : Stucco cut only 28. Customer will have contractor enlarge window to 33 x 48 29. MISC(28) : Stucco cut only 30. Stucco cut only. Customer will restucco .	
I have reviewed and agree with all the job specifications above and the Special Terms and Conditions on the following page	

Wall Thickness (inches)	
Additional Shelf (Yes or No)	

Customer Signature

* There is no guarantee that new shingles will match existing color.

City of Santa Fe, New Mexico

memo

DATE: November 14, 2023
TO: Historic Districts Review Board Members
FROM: Ramón J. Sarason, Senior Planner, Historic Preservation Division

2023-007428-HDRB. 600 Old Santa Fe Trail. Downtown & Eastside Historic District. Non-contributing. Souder Miller, agent for William Parker, owner, proposes to construct a 192 sq. ft. free-standing shed.

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Staff recommends that, upon completion of the remediation project, the shed and equipment be removed. The structure is intended to be project-specific and temporary in nature. Should the applicant want to retain the building, it will have to be reviewed and approved by the Historic Districts Review Board.

BACKGROUND & SUMMARY:

The 0.328-acre property was first built in 1900 and included a 5,209 square foot building and a 1,144 square foot canopy. Aerial photography from New Mexico Department of Transportation indicate the Old Trail Garage site was a retail fuel facility since at least 1958 to removal of the underground storage tanks in April 2009. The property is currently operated as an automobile repair shop.

Now, the applicant proposes the following exterior alterations:

- 1) The construction of a temporary remediation shed (expected duration 3-5 years), 12 feet wide by 16 feet long (192 square feet) and 12 feet high (2,304 cubic feet). The shed will be constructed of 8-inch-thick concrete masonry units (CMU) with a wood frame and metal flat panel roof. The shed is to be of masonry construction to mitigate potential noise impacts to the adjacent residences. The exterior of the CMU will be finished with mud plaster (color Light Adobe 4023 or Sandalwood 4003 by Sika USA®) to match the existing Old Trail Garage building. There will be one entrance door, a garage-style door (to allow equipment units to be installed), and an exhaust stack (14 feet high) for treated effluent to meet air quality and noise ordinance requirements. Stormwater and snowmelt from the roof will drain to gutters which then drain to the edge of the parking lot, similar to the existing building. There are no windows, fencing, or gates associated with the shed.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

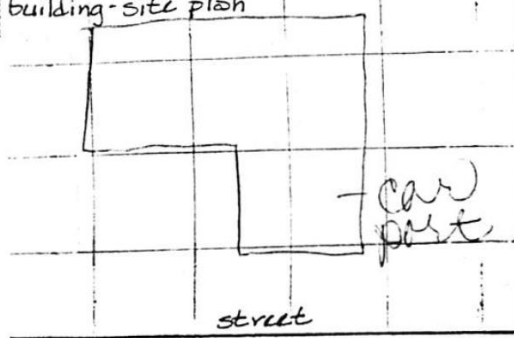
- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H 27168

building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 209	UTM reference zone 12 ⑬	easting northing
location description Old Danlate Trail at Santa Fe Ave 600 Old Santa Fe Trail		city/town Santa Fe	
		land grant/reservation	

building name Eaton Station	legal description tnsp N S range E W sec
film roll by E.T. no. 7	negative nos. 34
loc. of neg. City of Santa Fe	building-site plan



date of construction
1960 estimate _____ actual
source

use
present residential
other Comm
historic residential
other Comm

condition
___ excellent ___ good
___ fair ___ deteriorating

degree of remodeling
___ minor ___ moderate ___ major
describe: X

surroundings
Yes

relationship to surroundings
___ similar ___ not similar

district potential
X yes ___ no

significance
___ significant ___ contributing

X supporting ___ intrusive

associated buildings? ___ yes
what type?

if inventoried, list ID nos.

see back? ___ yes

style Territorial Revival	foundation material n/a - block covered
	wall material/surface stucco/block

architectural features
break coping

comments

1965 National Historic Register



City of Santa Fe, New Mexico

Debbie Jaramillo, Mayor

Ron Curry, City Manager

Councilors: Frank Montaña, Mayor Pro Tem, Dist. 3

Patti J. Bushee, Dist. 1

Larry A. Delgado, Dist. 1

Cristopher Moore, Dist. 2

Molly Whitted, Dist. 2

Art Sanchez, Dist. 3

Peso Chavez, Dist. 4

Amy Manning, Dist. 4

16 December 1997

Mr. Ted Berridge
Berridge Distributing Company, Inc.
P.O. Box 4396
Santa Fe, NM 87502

Subject: Old Trail Garage, 600 Old Santa Fe Trail
Replacement Canopy

Mr. Berridge,

I have reviewed the illustrations you provided to me. I understand that Texaco is requiring all the stations to update their canopies to conform to new "image" standards.

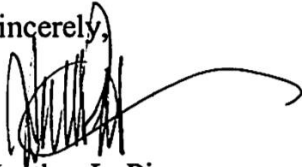
As you may know, the Downtown and Eastside Historic District (in which the subject property is sited) has certain standards for architectural design. Specifically, the design standards call for all new construction to be either "Old Santa Fe Style" or "Recent Santa Fe Style" (Section 14-70.9A SFCC 1987). The proposed canopy does not meet this requirement. Many vehicular canopies around town are given a portal appearance to meet this design standard.

Because the proposed canopy contains the name of the business, the signage standards in the Historic Districts Ordinance also apply. Section 14-70.54 SFCC 1987 requires that free-standing signs not exceed 10 feet from grade to the bottom of the sign and 14 feet from grade to the top of the sign. As well, the sign area cannot exceed 16 square feet or 6 feet in any one dimension. The proposed canopy does not meet the aforementioned standards. The general purpose clause of the sign regulations states that the regulations are set forth to preserve the special qualities inherent in Santa Fe...that are the basis of the city's economic stability and growth (Section 14-70.28 SFCC 1987).

600 Old S.F.
Trail

As currently proposed, I would be unable to approve any building permit for the canopy because of the code requirements mentioned above. I am happy to offer assistance on finding options to increase the size of the canopy yet meet the design and sign standards of the Historic Districts Ordinance. Feel free to contact me at 984-6809 if you have any questions or want to set up an appointment.

Sincerely,

A handwritten signature in black ink, appearing to read 'Heather L. Pierson', with a long, sweeping horizontal flourish extending to the right.

Heather L. Pierson
Historic Districts Case Planner



BERRIDGE DISTRIBUTING CO., INC.

December 15, 1997

Ms. Heather Pierson
Planning & Land Use Department
City of Santa Fe
P.O. Box 909
Santa Fe, NM 87504-0909

Re: Old Trail Garage, 600 Old Santa Fe Trail
Replacement Canopy

Dear Heather,

As I mentioned in our phone conversation, Texaco's program for retrofitting existing service stations requires them to conform to certain image standards.

The item we would like you to address in the case of the Old Trail Garage is their canopy requirement, specifically a shiny, black fascia with an illuminated red band at the bottom, and illuminated circle star symbols and letters, (see attached information).

From our conversation, I understand this would not be allowed under several sections of the City code for the Historical District. However, Texaco has requested a letter from you addressing exactly why this canopy would be disallowed.

Please address your letter to Mr. Ted Berridge of Berridge Distributing Company, Inc., at the address listed above. If it would not be too much trouble, we would appreciate a fax copy, followed by a hard copy in the mail.

Heather, I realize you have just returned from vacation and it may be later in the week before we will receive your response. We appreciate your time in responding to this request.

Sincerely,

Suzanne M. LeBeau

cc: Ted Berridge
Enclosure

(Delivery Only) • 100 E. Frontage Rd. • Santa Fe, NM 87505
P.O. Box 4396 • Santa Fe, NM 87502 • 505 471-7600 • FAX 505 471-2577

REGISTRATION FORM

Special Programs, Field Sessions and Events

General Instructions for Event Tickets

- Attendees must register for the conference in order to purchase event tickets.
- List 1st, 2nd, 3rd, and 4th choices where requested. If your choices are unavailable, a refund will automatically be issued after the conference.
- Daily registration fees permit purchase of event tickets for that day only.
- Event tickets may also be purchased on-site during the conference (based on availability).

	QUANTITY
B1 FORUM MEMBERSHIP (\$90)	_____
B2 SANTA FE GUIDE BOOK (\$15)	_____

Special Pre-Conference Study Tours

TO RECEIVE INFORMATION PLEASE CHECK:

B3 Native Cultures of the American Southwest	_____
B4 El Camino Real	_____

Tuesday, October 14

DAILY EVENT	QUANTITY
B5 Statewide and Local Workshops (\$65)	_____
EVENING EVENT	
B6 Trust for Public Land Reception (\$25)	_____

Wednesday, October 15

DAILY EVENTS	QUANTITY
B7 National Register Workshop (\$15)	_____
B8 Georgia O'Keeffe Home & Studio, Abiquiu (\$30)	_____
LOCAL FIELD SESSIONS	
B9 Los Alamos, Birth of an Atomic Age (\$25)	_____
B0 Overview of Santa Fe (\$10)	_____
LOCAL CHOICES	
1ST _____ 2ND _____	
EVENING EVENTS	
C1 First-Time Attendees Welcome Reception (\$5)	_____
C2 Opening Reception (included in registration fee) ___ yes ___ no	
C3 Opening Reception—Guest Only (\$30)	_____

Thursday, October 16

DAILY EVENTS	QUANTITY
C4 Historic Roads Breakfast (\$25)	_____
C5 Preservation Law Breakfast (\$20)	_____
C6 AIA Architects Breakfast (\$25)	_____
C7 Teaching with Historic Places (\$15)	_____
C8 Georgia O'Keeffe Home & Studio, Abiquiu (\$30)	_____
C9 Advocacy Luncheon (\$25)	_____

REGIONAL FIELD SESSIONS

C0 Tierra Wools/Rio Grande Weaving Tradition (\$40)	_____
D1 Taos Adobes (\$40)	_____
D2 Albuquerque's Architectural Highlights (\$40)	_____
D3 Bandelier and San Ildefonso Pueblo (\$40)	_____
D4 Cultural Landscapes of Santa Fe National Forest (\$40)	_____
D5 Santa Clara Pueblo (\$40)	_____
D6 Making Adobe Today (\$40)	_____
D7 Survival Tactics: Preserving a Sense of Place (\$40)	_____
D8 Get Your Kicks on Route 66 (\$40)	_____

REGIONAL CHOICES

1ST _____ 2ND _____ 3RD _____ 4TH _____

LOCAL FIELD SESSIONS

D9 Chimayó (\$25)	_____
D0 Turquoise Mining in New Mexico (\$25)	_____
E1 Overview Tour of Santa Fe (\$10)	_____
E2 Santa Fe National Historic Trail (\$25)	_____

LOCAL CHOICES

1ST _____ 2ND _____ 3RD _____ 4TH _____

EVENING EVENTS

E3 NAAHP's Preservation Party (\$25)	_____
E4 An Evening of Chant (\$35)	_____

STAR 21

Catalog and Order Request Information

CANOPY
STAR 21 GRAPHICS
USAGE: NEW
GROUND-UP
CLASS A
CLASS B
CLASS C



ITEM #442-33RF
33" Circle Star replacement face only convex

END ELEVATION

NOTE:
RED BAND UNDER CANOPY TYPES:
ITEM #440-9, illuminated, straight
ITEM #440-9-RC, illuminated, 30" Radius corner

ITEM #440-9-SC, illuminated, Square corner

ITEM #440-9N, NON-illuminated, straight

ITEM #440-9N-SC, Square corner NON-illuminated, straight

ITEM #440-5N, NON-illuminated low-clearance



ITEM #322-11

ITEM #442-33
33" Circle Star complete sign with convex face.

ITEM #322-11
11'-6" Gradation



for sides 20'-40' in overall length

ITEM #322-24
24'-6" Gradation



for sides 41'-89' in overall length

ITEM #322-50
50'-6" Gradation



for sides 90' or more overall length

Molded accent band corner

New aluminum composite corner - radiused to 30"

ITEM #391-B

Vinyl gradation graphic



ITEM #440-9
New illuminated red accent
NOTE:
Accent band segment at ends will vary in length but are to be equal at each end.

TEXACO LOGOTYPE
ITEM #430

CLEARANCE DECAL
ITEM #391-B

ITEM #442-33

REGISTRATION FORM

Friday, October 17

DAILY EVENTS	QUANTITY
E5 Real Estate Breakfast (\$25)	_____
E6 BARN AGAIN Affinity Breakfast (\$20)	_____
E7 US/ICOMOS Breakfast (\$25)	_____
E8 Georgia O'Keeffe Home & Studio, Abiquiu (\$30)	_____
E9 Stewardship Luncheon (\$30)	_____
EØ NAPC Meeting/Lunch (\$30)	_____

REGIONAL FIELD SESSIONS

F1 Mission Churches of the Las Vegas Area (\$40)	_____
F2 Taos Pueblo (\$40)	_____
F3 Making Adobe Today (\$40)	_____
F4 Ojo Caliente Pueblos (\$40)	_____
F5 Revitalizing Las Vegas (\$40)	_____
F6 Cultural Landscapes of the Santa Fe Trail (\$40)	_____
F7 Overview of Albuquerque (\$40)	_____

REGIONAL CHOICES

1ST _____ 2ND _____ 3RD _____ 4TH _____

LOCAL FIELD SESSIONS

F8 Chimayó (\$25)	_____
F9 A Case of Three Overlapping Cultures (\$25)	_____
FØ Overview of Santa Fe (\$10)	_____
G1 Historic Canyon Road - 8:30 a.m. (\$25)	_____
G2 Historic Canyon Road - 9:30 a.m. (\$25)	_____
G3 Historic Canyon Road - 10:30 a.m. (\$25)	_____
G4 New Mexico New Deal Art (\$10)	_____
G5 From Design to Preservation Ordinances (\$10)	_____

LOCAL CHOICES

1ST _____ 2ND _____ 3RD _____ 4TH _____

EVENING EVENTS

G6 On Route 66 with Michael Wallis (\$45)	_____
G7 Preservation Action Auction (\$50)	_____

Saturday, October 18

REGIONAL FIELD SESSIONS	QUANTITY
G8 Poshu-ouinge Pueblo Cultural Landscape (\$40)	_____
G9 Excursion Through Time (\$40)	_____
GØ Pueblo Heritage in the Rio Grande Valley (\$40)	_____
H1 Mission Churches on the High Road to Taos (\$40)	_____
H2 Hispanic Villages - Pecos River Valley (\$40)	_____
H3 Boomtown Preservation in Las Vegas (\$40)	_____
H4 Camposanto: Hispanic Heritage & Graveyards (\$40)	_____

REGIONAL CHOICES

1ST _____ 2ND _____ 3RD _____ 4TH _____

Saturday, October 18 *continued*

LOCAL FIELD SESSIONS	QUANTITY
H5 El Rancho de Las Golondrinas (\$25)	_____
H6 Don Gaspar Historic District (\$10)	_____
H7 From Design to Preservation Ordinances (\$10)	_____

LOCAL CHOICES

1ST _____ 2ND _____ 3RD _____

SPECIAL TOUR

Georgia O'Keeffe Home and Studio Open House
On site purchase only (\$10). Wednesday, October 15 at the O'Keeffe Foundation booth in the Sweeney Convention Center.

EVENING EVENT

H8 J.W. Eaves Movie Ranch (\$55)	_____
----------------------------------	-------

III Method of Payment

Full payment by check, purchase order or credit card must accompany this form.

Registration fee	\$ _____
plus	
Ticket purchases	\$ _____
Total Amount Enclosed	\$ _____

- Check enclosed (made payable to National Trust)
 Purchase Order number # _____
 Credit Card (check one)
 American Express VISA MasterCard

NAME ON CARD _____

CARD NUMBER _____

EXPIRATION DATE _____

REQUIRED SIGNATURE (ONLY FOR CREDIT CARD PAYMENTS)

MAIL REGISTRATION FORM AND PAYMENT TO:

Conference Registration '97
 National Trust for Historic Preservation
 1785 Massachusetts Ave, NW
 Washington, DC 20036

- Only credit card payments may be faxed to (202)588-6223
- Do not mail duplicate copy if form is faxed.
- Faxed registrations will not be accepted after September 15.

- ADA Assistance Please check here if you have any special requirements. Attach a brief description of your specific needs. A National Trust representative will contact you.

Questions? Call 1(800)944-NTHP (6847)

The information included in this preliminary program is subject to change. Please consult the Final Program for final scheduling (available on-site at the conference registration area of the Sweeney Convention Center).

CITY OF SANTA FE

PLU/PLANNING DIVISION
P.O. BOX 909, SANTA FE, NEW MEXICO 87504-0909

----- FAX TRANSMISSION -----

Date: 12/16/97 Time: 4:15pm Pages: 3
To: Name Ted Berridge / Suzanne LeBeau
FAX Number: 471.2577
From: Name Heather Pickson
Phone Number: 984.6809

Message: As you requested - feel free to call
me if you have any questions and/or
comments.

Reply:

FAX Number: (505) 995-4628
Office Number: (505) 984-6605

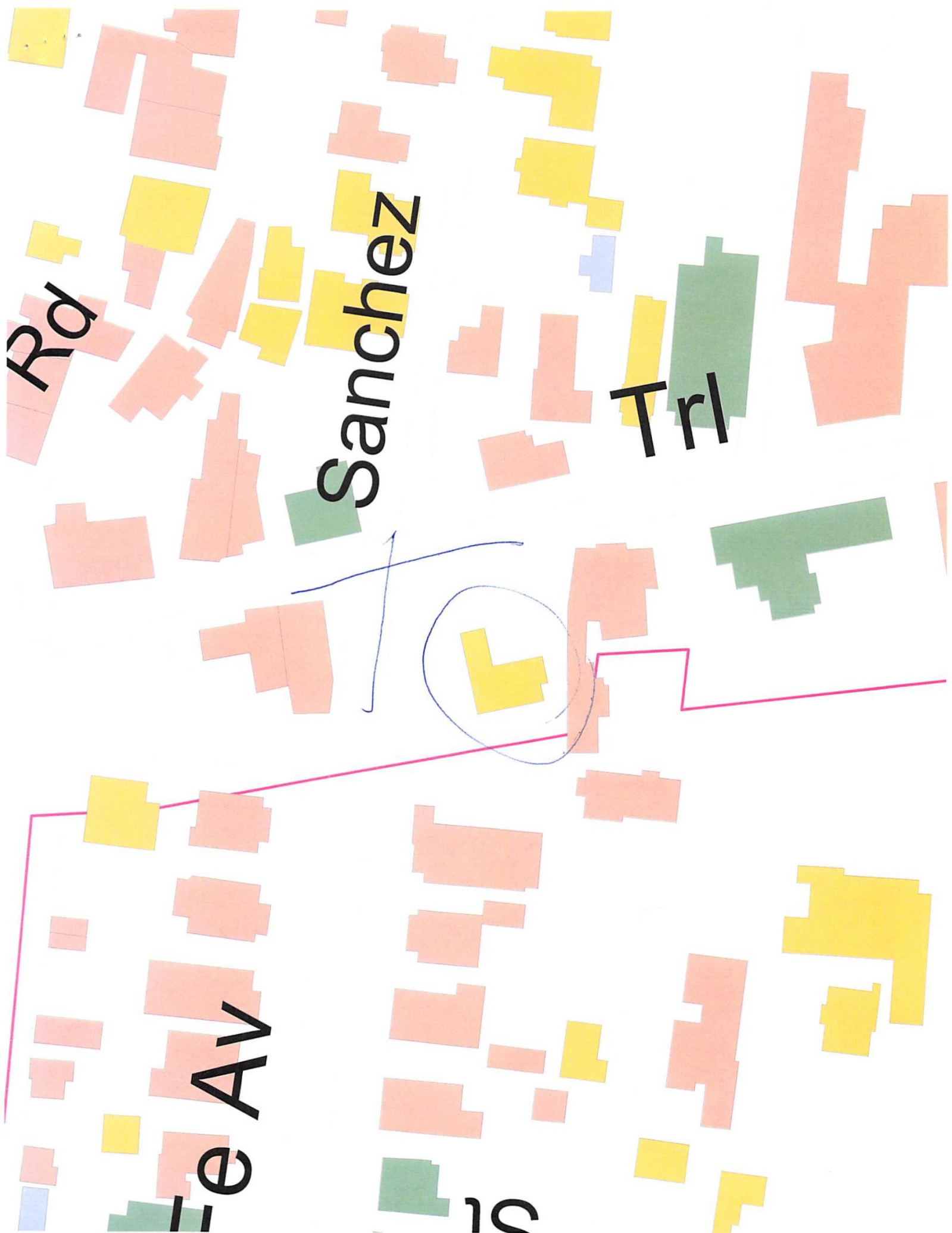
Rd

Sanchez

Trl

e AV

10





**CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION**

1. Applicant Information (to be completed by the Applicant)

Date: 5/17/23 Location of Project: 600 Old Santa Fe Trail

Applicant

Name: Scott McKittrick, Souder, Miller & Associates

Phone: 505-690-9088 Email: scott.mckittrick@soudermiller.com

Property Owner

Name: Dr. William Parker, Ponderosa Ridge Inc.

Phone: 505-988-8822 Email: billdparker@aol.com

Proposed Work:

Constuction of a temporary shed to house remediation equipment to clean soil and groundwater contamination as a result of former petroleum storage tank system.
~~Work is being required and oversight by NMED, Petroleum Storage Tank Bureau.~~

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: _____

Historic Status: _____

Primary Elevations: _____

Previous HDRB and Admin Cases: _____

	Yes	No
Archaeological compliance required?	<input type="checkbox"/>	<input type="checkbox"/>

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at [https://www.santafenm.gov/historic preservation](https://www.santafenm.gov/historic_preservation).

Application Submittal Date: September 11, 2023

Desired Hearing Date: October 24, 2023

Project Type:

Status

Primary Elevation Designation

New Construction

Remodel

Sq. Ft. of project: 192

Sq. Ft. of project: _____

Construction Cost: \$15,000 estimated

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name William D Parker

Signature 



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: 8/15/2023</p> <p>Property Owner of Record: William D. Parker</p> <p>Applicant/Agent Name: Scott A. McKitrick, Souder, Miller & Assoc.</p> <p>Contact Person Phone Number: (505) 595-7813</p>	<p>Site Address: 600 Old Santa Fe Trail</p> <p>Proposed Construction Description: Small structure to house remediation system to clean up contaminated soil and groundwater per NMED Petroleum Storage Tank Bureau requirements</p> <p>TOTAL ROOF AREA: 192 square feet</p>
<p>Zoning District: <u>RAC</u></p> <p>Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>Downtown and Eastside Area HD, Don Gaspar Area HD</u></p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required <input checked="" type="checkbox"/> No change to existing access</p> <p>Use of Structure: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: <input checked="" type="checkbox"/> Other - environmental remediation system</p> <p>Terrain: <input type="checkbox"/> 30% slopes</p>	<p>Lot Coverage : <u>11.7</u> % <input checked="" type="checkbox"/> Open Space Required: <u>60%</u></p> <p>Setbacks: Proposed Front: <u>107'</u> Minimum: <u>20'</u> 2nd Front? <u>NA</u> Proposed Rear: <u>40'</u> Minimum: <u>15'</u> Proposed Sides: <u>L 74' R 10'</u> Minimum: <u>10'</u></p> <p>Height: Proposed <u>10'6"</u> Maximum Height: <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed _____ Accessible _____ Minimum: _____ x no change</p> <p>Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement x no change</p>

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Scott A. McKitrick, Souder, Miller & Associates [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable:</p> <p><input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval:</p> <p><input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: <u>Stephanie Perea</u></p>	<p style="font-size: 1.2em;">2023-007351-PAR</p> <p>DATE: <u>9/14/23</u></p>
---	--

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



October 19, 2023

#3227226

Historic Districts Review Board
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

RE: Revised Proposal Letter to the Historic Districts Review Board for Temporary Remediation Shed at Old Trail Garage Site, 600 Old Santa Fe Trail, Santa Fe, New Mexico

Dear HDRB:

Souder, Miller & Associates (SMA) is pleased to submit this revised letter describing the proposed temporary remediation shed at the Old Trail Garage, located at 600 Old Santa Fe Trail, on behalf of Dr. William Parker (property owner). SMA's original submittal was dated September 11, 2023. This submittal was revised at the request of Ramon Sarason to include additional information on the treated vapor effluent stack.

The remediation shed is to house remediation equipment (soil vapor extraction blower, catalytic oxidizer, air compressor) as part of an environmental remediation project directed by the New Mexico Environment Department, Petroleum Storage Tank Bureau (NMED PSTB). The shed and associated equipment will be a temporary installation while active soil and groundwater remediation is being conducted. It is anticipated the shed will be in place three to five years which will include two to three years of system operation and one to two years of monitoring to verify remediation is complete and the system is no longer required. Upon successful remediation of the site and under direction of the NMED PSTB, the shed will be removed from the location and the ground surface will be restored to original conditions.

Building Specifications

The temporary remediation shed is anticipated to be 12 feet wide by 16 feet long (192 square feet) and 12 feet high (2,304 cubic feet). The shed will be constructed of 8-inch-thick concrete masonry units (CMU) with a wood frame and metal flat panel roof. The shed is to be of masonry construction to mitigate potential noise impacts to the adjacent residences. The exterior of the CMU will be finished with mud plaster (color Light Adobe 4023 or Sandalwood 4003 by Sika USA®) to match the existing Old Trail Garage building. This construction complies with City of Santa Fe's Code of Ordinances for the Historic District 14-5.2.

The proposed shed location is currently level and there are no plans to change the existing ground elevation or sloping. There will be one entrance door, a garage-style door (to allow equipment units to be installed), and an exhaust stack (14 feet high, modified from the original proposal of 20 feet high) for treated effluent to meet air quality and noise ordinance requirements. Stormwater and snowmelt from the roof will drain to gutters which then drain to the edge of the parking lot, similar to the existing building. There are no windows, fencing, or gates associated with the shed.

Photographs, maps, and diagrams of the proposed shed location and construction are attached for reference.

Site History

According to County of Santa Fe records, the 0.328-acre property was first built in 1900 and included a 5,209 square foot building and a 1,144 square foot canopy. Aerial photography from New Mexico Department of

Transportation indicate the Old Trail Garage site was a retail fuel facility since at least 1958 to removal of the USTs in April 2009. The property is currently operated as an automobile repair shop.

From the earliest available historical Google Earth® imagery, there may have been resurfacing of the parking area throughout the years. The main building and canopy do not appear to have been altered.

Please contact Stephanie Hinds or Scott McKittrick with any questions.

Sincerely,

MILLER ENGINEERS, INC. D/B/A
SOUDER, MILLER & ASSOCIATES



Stephanie Hinds, P.E.
Project Engineer
stephanie.hinds@soudermiller.com
(505) 793-7079



Scott A. McKittrick, P.G.
Principal Geoscientist / Environmental Technical Sector Director
scott.mckittrick@soudermiller.com
(505) 595-7813

*Enc: Photographs of proposed shed location
Site map and preliminary construction details*

cc: Stephanie Perea, Planning Division and Land Use, <SJPerea@santafenm.gov>

Photographs



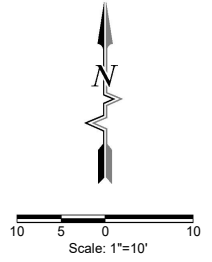
Photo 1. Area west of the Old Trail Garage (view to south from Santa Fe Avenue)





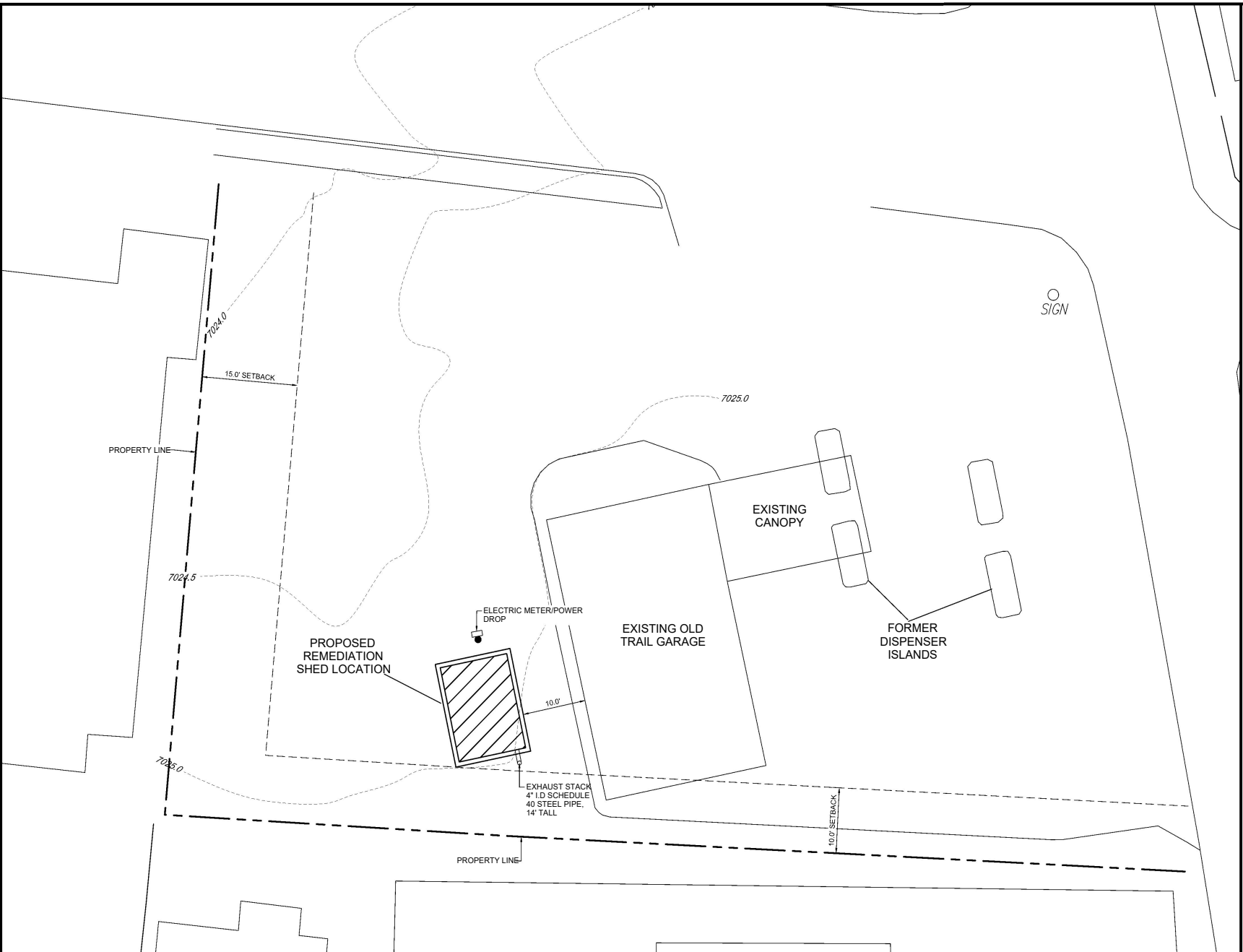
Photo 2. Proposed location of remediation shed (area in shadow adjacent to building) (view to south)



Photo 3. Proposed location of remediation shed (view to south, image from Google Earth date 11/2021)



- Legend**
-  PROPOSED REMEDIATION SHED LOCATION
 -  TOPOGRAPHIC CONTOUR IN FEET ABOVE MEAN SEA LEVEL

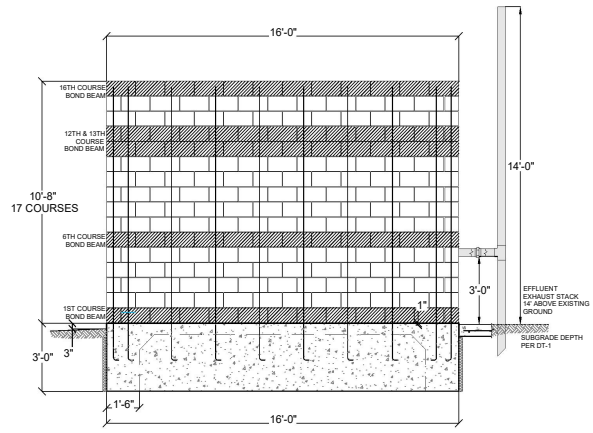


SOUDEY, MILLER & ASSOCIATES
 1435 Venice Avenue, Suite D
 Albuquerque, NM 87113
 Phone (505) 299-0942 Toll-Free (877) 299-0942 Fax (505) 293-3430
 www.soudermiller.com
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 Corrales, Grand Junction, CO, Safford, AZ, Moab, UT, El Paso, TX

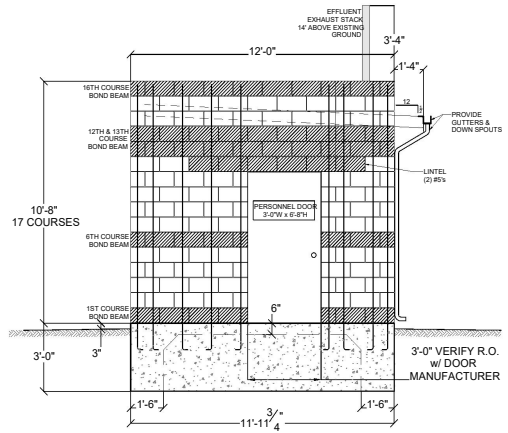
PROPOSED REMEDIATION SHED LOCATION HYDROCARBON REMEDIATION SYSTEM
 SANTA FE, NM

Designed AJE	Drawn AJE	Checked MH
Date: May 2023		
Scale: Horiz: Vert:		
Project No: 3227226		
Sheet: Figure 2		

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



1 WEST ELEVATION
1/8"=1'-0"

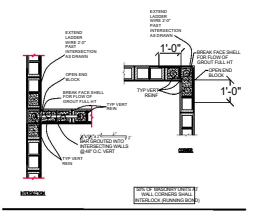


2 NORTH ELEVATION
1/8"=1'-0"

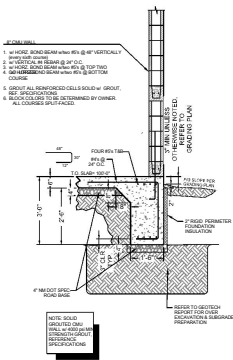
CODE INFORMATION
 2015 NEW MEXICO COMMERCIAL BUILDING CODE
 2015 INTERNATIONAL BUILDING CODE
 ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 FURN. CATEGORY I (EQUIPMENT BUILDING)
LOADS
 ROOF DEAD LOAD 10 PSF
 ROOF LIVE LOAD 20 PSF
 GROUND SNOW LOAD 20 PSF
 ROOF SNOW LOAD 10 PSF (S, FLAT HALL)
SEISMIC FORCE RESISTING SYSTEM
 ORDINARY REINFORCED MASONRY SHEAR WALLS (R-4)
SEISMIC OVERSTRENGTH FACTOR 1.0
 SITE SOIL CLASS D
 S1 0.449
 S2 0.134
 S3 0.431
 S4 0.202
 SEISMIC DESIGN CATEGORY D
MAIN WIND FORCE RESISTING SYSTEM (MWFRS)
 BUILDING CONSIDERED RIGID FOR WIND
 FLEXIBLE DIAPHRAGM
 BASIC WIND SPEED 105 MPH
 WIND EXPOSURE C



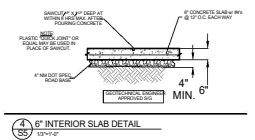
LINK SEAL WALL DETAIL
1/8"=1'-0"



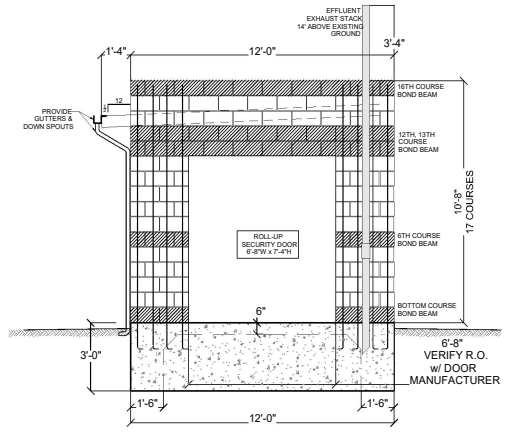
CMU WALL INTERSECTION AND CORNER DETAIL
1/8"=1'-0"



FOUNDATION/WALL SECTION
1/8"=1'-0"



INTERIOR SLAB DETAIL
1/8"=1'-0"



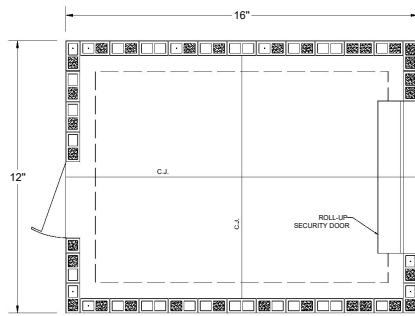
3 SOUTH ELEVATION
1/8"=1'-0"

SM ASSOCIATES
 4343 Venice Avenue, Suite D
 Albuquerque, NM 87113
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 Corrales, Grand Junction, CO, Sulphur, AZ, Moab, UT, El Paso, TX

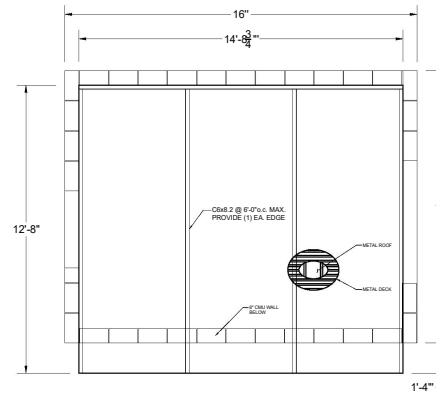
EQUIPMENT SHED ELEVATIONS & DETAILS
 HYDROCARBON REMEDIATION SYSTEM
 SANTA FE, NM

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed HCR	Drawn HCR	Checked HCR
Date: OCTOBER 2023		
Scale: Horiz: Vert.		
Project No: 3227226		
Sheet: DT-3		



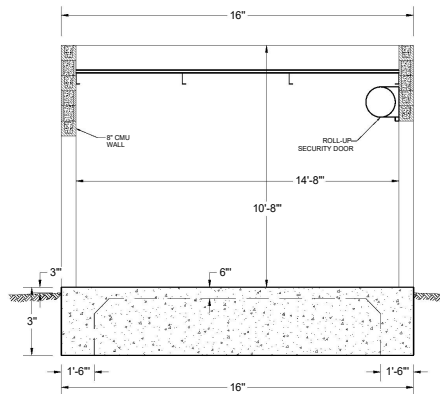
1 FOUNDATION PLAN
S1 1/4"=1'-0"



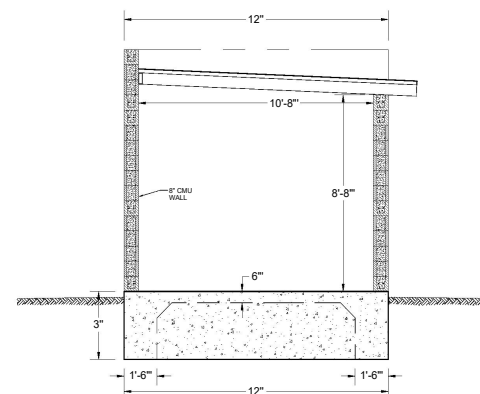
2 ROOF PLAN
S1 1/4"=1'-0"

ROOF NOTES

- 1-1/2" TYPE "B" 20 GAUGE GALVANIZED METAL ROOF DECK WITH NESTABLE SIDELAPS. ATTACH DECK WITH 5/8" PUDDLE WELD @ 36" PATTERN AT ALL SUPPORTS AND #10 SELF-TAPPING SCREWS @ 6" @ SIDELAPS. DECK SHALL BE CONTINUOUS OVER (2) SPANS MINIMUM.



3 SECTION
S1 1/4"=1'-0"



4 SECTION
S1 1/4"=1'-0"

FOUNDATION NOTES

- CONTROL JOINTS @ 10'-0" O.C. MAXIMUM.
- BUILDING FOUNDATION SHALL BEAR ON A MINIMUM OF 2 FEET OF ENGINEERED FILL SLABS SHALL BEAR ON A MINIMUM OF 18" OF ENGINEERED FILL. ENGINEERED FILL SHALL EXTEND MINIMUM OF 18" LATERALLY BEYOND FOUNDATION. INCREASE DEPTH OF OVER-EXCAVATION, IF NECESSARY, TO ENSURE ENGINEERED FILL BEARS UNIFORMLY ON CUTS. DO NOT ALLOW TRANSITION FROM CUT TO EXCAVATION. REFER TO GEOTECH REPORT FOR SUBSURFACE INFORMATION. OVER EXCAVATION REQUIREMENTS UNDERNEATH OR WITHIN 5 HORIZONTAL FEET OF BUILDING OR SLAB. SUBGRADE PREPARATION AND STRUCTURAL FILL & COMPACTION.
- ALL FLOOR DRAINS MUST HAVE REMOVABLE GRATING.
- VERIFY LOCATION OF DRAINS w/ PIPING.
- ALL FLOOR DRAINS SHALL BE CENTERED UNDER PIPE OUTLETS. FIELD VERIFY LOCATIONS.
- CONTRACTOR TO APPLY ANTI-GRAFFITI COATING, GRAFFITI PROOFER GPA-300, TO EXTERIOR OF
- 1-1/2" TYPE "B" 20 GAUGE GALVANIZED METAL ROOF DECK WITH NESTABLE SIDELAPS. ATTACH DECK WITH 5/8" PUDDLE WELD @ 36" PATTERN AT ALL SUPPORTS AND #10 SELF-TAPPING SCREWS @ 6" @ SIDELAPS. DECK SHALL BE CONTINUOUS OVER (2) SPANS MINIMUM.

SM ASSOCIATES
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EQUIPMENT SHED FOUNDATION, ROOF, & HYDROCARBON REMEDIATION SYSTEM SECTIONS

SANTA FE, NM

Designed HCR	Drawn HCR	Checked HCR
Date: SEPT 2023		
Scale: Horiz: Vert.		
Project No: 3227226		
Sheet: DT-4		

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

2024 HISTORIC DISTRICTS REVIEW BOARD HEARING SCHEDULE											
11AM SUBMITTAL DEADLINE (application completeness meeting)	5 PM REQUEST FOR ADDITIONAL INFORMATION	5 PM DEADLINE FOR ADDITIONAL INFORMATION	5 PM STAFF WRITES AGENDA (CAPTIONS)	3 PM POST AGENDAS 12 PM Ad to Newspaper	PUBLISH AGENDA IN NEWSPAPER	3 PM STAFF CREATES POSTER + FOR APPLICANTS TO DISPLAY	3 PM STAFF REPORTS DUE TO MANAGER	STAFF PACKETS TO MANAGER	PACKET TO PRIMEGOV	12 PM Field Trip 5:30 PM H-Board Hearing	12 PM FOF & COLs +ACTION LETTERS DUE
MONDAY	TUESDAY	WEDNESDAY	MONDAY	THURSDAY	SUNDAY	FRIDAY	FRIDAY	WEDNESDAY	THURSDAY	TUESDAY	WEDNESDAY
11-Dec	12-Dec	13-Dec	18-Dec	21-Dec	24-Dec	22-Dec	29-Dec	3-Jan	4-Jan	9-Jan	10-Jan
12/26/24 (Tues)	26-Dec	27-Dec	1/2/24 (Tues)	4-Jan	7-Jan	5-Jan	12-Jan	17-Jan	18-Jan	23-Jan	24-Jan
1/16/2024 (Tues)	16-Jan	17-Jan	22-Jan	25-Jan	28-Jan	26-Jan	2-Feb	7-Feb	8-Feb	13-Feb	14-Feb
29-Jan	30-Jan	31-Jan	5-Feb	8-Feb	11-Feb	9-Feb	18-Feb	21-Feb	22-Feb	27-Feb	28-Feb
12-Feb	13-Feb	14-Feb	19-Feb	22-Feb	25-Feb	23-Feb	1-Mar	6-Mar	7-Mar	12-Mar	13-Mar
26-Feb	27-Feb	28-Feb	4-Mar	7-Mar	10-Mar	8-Mar	15-Mar	20-Mar	21-Mar	26-Mar	27-Mar
11-Mar	12-Mar	13-Mar	18-Mar	21-Mar	24-Mar	22-Mar	29-Mar	3-Apr	4-Apr	9-Apr	10-Apr
25-Mar	26-Mar	27-Mar	1-Apr	4-Apr	7-Apr	5-Apr	12-Apr	17-Apr	18-Apr	23-Apr	24-Apr
15-Apr	16-Apr	17-Apr	22-Apr	25-Apr	28-Apr	26-Apr	3-May	8-May	9-May	14-May	15-May
29-Apr	30-Apr	1-May	6-May	9-May	12-May	10-May	17-May	22-May	23-May	28-May	29-May
13-May	14-May	15-May	20-May	23-May	26-May	24-May	31-May	5-Jun	6-Jun	11-Jun	12-Jun
5/28/2024 (Tues)	28-May	29-May	3-Jun	6-Jun	9-Jun	7-Jun	14-Jun	19-Jun	20-Jun	25-Jun	26-Jun
10-Jun	11-Jun	12-Jun	17-Jun	20-Jun	23-Jun	21-Jun	28-Jun	7/3/24 (noon)	7/3/2024 (Wed)	9-Jul	10-Jul
24-Jun	25-Jun	26-Jun	1-Jul	7/3/24 (Wed)	7-Jul	5-Jul	12-Jul	17-Jul	18-Jul	23-Jul	24-Jul
15-Jul	16-Jul	17-Jul	22-Jul	25-Jul	28-Jul	26-Jul	2-Aug	7-Aug	8-Aug	13-Aug	14-Aug
29-Jul	30-Jul	31-Jul	5-Aug	8-Aug	11-Aug	9-Aug	16-Aug	21-Aug	22-Aug	27-Aug	28-Aug
12-Aug	13-Aug	14-Aug	19-Aug	22-Aug	25-Aug	23-Aug	30-Aug	4-Sep	5-Sep	10-Sep	11-Sep
26-Aug	27-Aug	28-Aug	9/3/2024 (Tues)	5-Sep	8-Sep	6-Sep	13-Sep	18-Sep	19-Sep	24-Sep	25-Sep
9-Sep	10-Sep	11-Sep	16-Sep	19-Sep	22-Sep	20-Sep	27-Sep	2-Oct	3-Oct	8-Oct	9-Oct
23-Sep	24-Sep	25-Sep	30-Sep	3-Oct	6-Oct	4-Oct	11-Oct	16-Oct	17-Oct	22-Oct	23-Oct
10/15/2024 (Tues)	15-Oct	16-Oct	21-Oct	24-Oct	27-Oct	25-Oct	1-Nov	6-Nov	7-Nov	12-Nov	13-Nov
28-Oct	29-Oct	30-Oct	4-Nov	7-Nov	10-Nov	8-Nov	15-Nov	20-Nov	21-Nov	26-Nov	27-Nov
11/12/24 (Tues)	12-Nov	13-Nov	18-Nov	21-Nov	24-Nov	22-Nov	11/27/24 (Wed)	4-Dec	5-Dec	10-Dec	11-Dec

NOTES: Time and date of hearing may be subject to change. Please contact the Historic Preservation Division at historicpreservation@santafenm.gov for confirmation.
Please refer to the City of Santa Fe Website for the list of observed holidays.
No submittal changes after staff writes agenda or postponement is automatic.

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10-Jun	11-Jun	12-Jun	23-Jun	24-Jun	7/3/2024 (Wed)	9-Jul
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11/12/24 (Tues)	12-Nov	13-Nov	24-Nov	25-Nov	5-Dec	10-Dec
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29	28	27	16	15	5	