



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
JUNE 27, 2023
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Join on Zoom: <https://santafenm-gov.zoom.us/j/81633973427>

By Phone: 301 715 8592

Webinar ID: 816 3397 3427

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. May 23, 2023
2. June 13, 2023

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2023-006708-HDRB. 128 S. Capitol St.
2. 2023-006567-HDRB. 418 Apodaca Hill
3. 2022-005832-HDRB. 1147 ½ Camino San Acacio
4. 2023-006848-HDRB. 404 Apodaca Hill
5. 2023-006850-HDRB. 1122 Old Santa Fe Trail

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. 2023-006954-HDRB. 578 W. San Francisco St. Downtown & Eastside Historic District. Contributing. Marc Naktin, agent for Edgar Villaescusa,

owner, requests a historic status downgrade of a contributing building to non-contributing. (Lani McCulley, ljmcculley@santafenm.gov)

2. 2023-006938-HDRB. 613 Canyon Rd., Units C1 and C2. Downtown & Eastside Historic District. Contributing. Hoopes + Associates Architects, agent for Canyon Room Holdings, owner, proposes to reconstruct both entry portals on a primary façade, the exterior door sill heights, re-roof, replace canales, install rooftop HVAC with screening, and construct a yardwall. An exception is requested to Section 14-5.2(D)(5)(b) to remove historic materials. (Lani McCulley)
3. 2023-006939-HDRB. 704 Camino Lejo. Historic Review District. Significant. David Armstrong, agent for the Wheelwright Museum of the American Indian and Henrietta Lidchi, Executive Director, requests approval for raising the existing wall, to 3'-6", counterflashing new waterproofing system, replace ground level brick pavers and replace wood door copper threshold, replace concrete canales. (Paul Duran, paduran@santafenm.gov)
4. 2023-006940-HDRB. 641 Camino Del Monte Sol. Downtown & Eastside Historic District. Noncontributing. Lorn Tryk, agent for Leon L and Susan Coppage Evans, owner, requests approval for an addition of a 677 sq. ft. attached garage, a 280 sq. ft. addition on the north side elevation, expansion of the portal, add exterior fireplace, remove existing stairwell and relocate to the northeast corner of the house, window replacement on the south elevation construct a street wall 5' yard wall and pedestrian gate. Replace existing coyote fence, relocate automatic gate closer to the street. (Paul Duran)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Thursday, July 13, 2023

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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HISTORIC DISTRICTS REVIEW BOARD
MAY 23, 2023

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Roll Call	Quorum Present	1
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2023-006552-HDRB. 135 Grant Ave.	Approved	7-11
2023-006758-HDRB. 155 Grant Ave.	Approved	11-13
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2023-006490-HDRB. 1596 Canyon Rd.	Postponed	13-14
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230-C Rodriguez St.		
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2023-006743-HDRB. 635-A West San Francisco St.	Approved	17-18
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Discussion Items	None	20
Matters from the Board	None	20
Next Meeting	Tuesday June 13, 2023	20
Adjournment	7:20 pm	20

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
MAY 23, 2023 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a meeting held in the Lamy/Peralta Room, Santa Fe Convention Center, 201 W. Marcy Street, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chair
Mr. Anthony Guida, Vice Chair
Ms. Madeleine Aguilar Medrano
Ms. Jennifer Biedscheid
Mr. John Bienvenu

MEMBERS ABSENT (EXCUSED)

Ms. Jennifer Berkley

OTHERS PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Mr. Kyle Hybner, Assistant City Attorney

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Lamboy said under New Business, Item #3, 2023-006788-HDRB, 330 E. Palace Ave. Buildings, 13, 18 & 19 is withdrawn; Item #4, 2023-006490-HDRB, 1596 Canyon Rd is postponed; Item #5, 2023-006565-HDRB, 1600 Canyon Rd. is postponed; and Item #7, 2023-006742-HDRB, 110 W. Berger St. is withdrawn.

MOTION: Member Guida moved, seconded by Member Biedscheid to approve the agenda as amended.

VOTE: The motion passed by (3-0) roll call vote with Members Guida, Aguilar Medrano and Biedscheid voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. May 9, 2023

Chair Rios said she had a change on Page 16, under her comments, “1959 ordinance” should be “1957 ordinance”.

MOTION: Member Guida moved, seconded by Member Aguilar Medrano to approve the minutes of May 9, 2023, as amended.

VOTE: The motion passed by (3-0-1) roll call vote with Members Guida, Aguilar Medrano and Chair Rios voting in favor, none voting against, and Member Biedscheid abstaining.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

None

E. MATTERS FROM THE PUBLIC

Adam Johnson, Director of the Old Santa Fe Association wanted to thank staff and members of the Historic Board who were able to attend the Historic Preservation awards ceremony. He thought it was a huge success. He noted that some of his members were having difficulty signing onto the meeting.

Joan Baker said she has lived in Santa Fe for 40 years. Twenty-three years ago, she built a house at 414 San Antonio Street. She followed all the rules and realized she was in a historic section of Santa Fe. Her concern is about 619 Acequia Madre. She said many neighbors and realtors are also concerned. There is an addition being made to that address. She does not feel that the structure fits into the area. There’s a house there at the corner of Calle Corvo and Acequia Madre. She asked why the structure was not pushed back. There’s much more about the structure that many people find very offensive. She was wondering how this got passed by the Historic Board who she and her colleagues have great respect for. She didn’t know if this could be rectified.

Chair Rios said the case was heard in April 2022. She was not at the hearing. She believes it was properly noticed with the date and time of the meeting on a yellow sign. She said that would have been the appropriate time for concerns to be voiced.

Ms. Baker said she wasn't there at the time, but many neighbors asked if they should have received something in writing. This is in the heart of the historic district. She said that she was very disappointed and wasn't sure if anything could be done about it.

Chair Rios explained that there is an appeal process, however, for this case that time has passed.

Richard Martinez said the project that was just discussed is in process. The wall is going to be changed. The building is out of the visibility triangle. He asked for everyone's patience with this project.

Andrea Smith said she lives on San Antonio Street. She said when a yellow sign goes up it posts the first meeting date, it doesn't have subsequent meetings. The initial meeting didn't have anything other than the desire to build a 430 square foot garage and to remove some material from a wall. It all made sense and people were not alarmed. It took them by surprise and that's the problem. People just want to say it would have been nice to have more oversight on this place. There's always a problem at that intersection, it's dangerous. Missing out on the plans that were presented in May was unfortunate. They are going to approach the City about putting stop signs at that intersection. They appreciate that the applicant is willing to make changes.

F. STAFF COMMUNICATIONS

Ms. Lamboy thanked the Board for participating in the Historic Preservation Awards ceremony. She said the Governing Body will be having a presentation on May 31, 2023 regarding the Historic Preservation awards.

G. OLD BUSINESS

Chair Rios said there would be a two minute limit per speaker for public comments. She also explained the appeal process if there is disagreement with a decision of the Board.

1. **2023-006360-HDRB. 502 Cerrillos Rd.** Historic Transition District. Noncontributing. K.M. Skelly, IThnc., agent for Deborah Olinger, owner, proposes to enclose 84 sq.ft. portal on a 3,544 sq.ft. building, raise parapet heights (none to exceed maximum allowable height of 14'- 3"), add patio area with trellis, increase yard wall heights to 4'-3" and to 4'-6" (within maximum allowable height for this streetscape), and window and door alterations. An exception is requested to Section 14-5.2(D)(4) to infill the portal on the east elevation. (Heather Lamboy)

STAFF REPORT

UPDATED SUBMITTAL FOR 5-23-23 HDRB:

In response to HDRB comments, the applicant has updated the proposed scope of work for the proposed distillery. The applicant is withdrawing the exception request to enclose the portal and has instead decided to make it an extension of the outside terrace area. Furthermore, the applicant has removed the rusted steel plat cladding from the entrance (east) façade and instead will replace it with stucco to match the rest of the building.

A 4-foot diameter round “Barrel Cactus” sign and a “Distillery” sign are proposed on the east elevation. The proposed dimensions of the signage comply with Section 14-8.10, Signage in the H District. Signs will be backlit.

A cantilevered steel canopy protruding 3’6” from the façade is proposed over the entrance; it is characteristic of other steel canopies found in the area. Steel fencing is proposed to enclose the portal terrace area and the concrete wall enclosing the north elevation terrace area has been changed to be a stucco wall.

The applicant has provided additional information on the construction history of the buildings through analysis of the materials of each section of the building. Due to the large number of changes, Staff is satisfied that the building should retain its non-contributing status.

STAFF RECOMMENDATION

With the removal of the portal enclosure request, Staff finds that the proposed project complies with Section 14-5.2(D) General Design Standards and Section 14-5.2(G), Historic Transition District Design Standards and recommends approval.

Member Guida confirmed that no exceptions were being asked.

APPLICANT PRESENTATION

Kevin Skelly, 10 Calle Via Compa, was sworn. He said he had nothing additional to add except that this is a homogenized version of the original. They have complied with the ordinance, and he thought this a good substitution.

Member Aguilar Medrano said looking at the cantilever overhang over the entrance, as she reads code, overhangs are not allowed. Also, code states that wrought iron is the only material allowed for fencing. She asked if the applicant wanted to comment.

Mr. Skelly said cantilever is prominent in that neighborhood, as well as steel fencing. He didn't see any reason for any objections.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006360-HDRB, 502 Cerrillos Rd., Member Guida moved to approve the project as submitted noting that the proposed enclosure of the portal has been removed from the design and no exceptions are required, and required that the applicant submit a full update of the proposal to staff noting there is not one included in the packet. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by (3-1) roll call vote with Members, Biedscheid, Bienvenu and Guida voting in favor and Member Aguilar Medrano voting against.

H. NEW BUSINESS

1. **2023-006552-HDRB. 135 Grant Ave.** Hugo Iribarren, agent for the O’Keeffe Research Center, owners, proposed to replace non-historic doors with aluminum store-front doors on a significant structure, the Bergere House. The applicant requests a style exception to 14-5.2(D)(5) (a)(i), Windows, Doors, and Architectural Features. (Ramón J. Sarason)

STAFF REPORT

135 Grant currently houses the Georgia O’Keeffe research center and is listed as significant to the Downtown and Eastside Historic District.

The A.M. Bergere House was constructed by the U.S. Army in the early 1870's as part of the Fort Marcy Military Reservation in Santa Fe which served as headquarters for the Military District of New Mexico.

The building was one of six adobe houses constructed for commissioned officers and their families.

Only the A.M. Bergere House at 135 Grant Avenue and a second one, the Fort Marcy Officer's Residence at 116 Lincoln Avenue, have survived.

The architectural style was originally Territorial (elements of which including the west facing entry porch still remain), the pitched roof was replaced with a second story and the style was modified to pueblo revival in the mid 1920s.

Now, the applicant proposes the following exterior alterations:

- 1) For security reasons, replace the existing wood entrance doors on the south façade with aluminum clad wood doors to match existing profile and painted to match existing color.
- 2) For security reasons replace the existing wood door on the east façade with an aluminum clad wood door to match the existing profile and painted to match existing.

Chair Rios asked if the doors proposed to be changed are located in the historic portion of the building and what public visibility is of the doors.

Mr. Sarason said in staff's determination neither of the doors proposed to be changed are in the historic part and they are not visible.

STAFF RECOMMENDATION

Staff finds that all the exception criteria have been met and recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

Member Biedscheid asked if the allowable wall height was calculated for the gate.

Mr. Sarason said yes, for the west gate it is four feet, and the east gate can be up to 8 feet. The gate to the west should be 6-10 inches lower and the applicant is seeking an exception because he is above the allowable.

Member Biedscheid confirmed the door on W. Marcy is divided lights.

Member Aguilar Medrano noted the two doors on the east are on the public right of way and are very visible.

Member Bienvenu confirmed the allowable height of the west gate is 4 ft and the applicant is requesting 5 feet 6 inches.

Mr. Sarason explained he recommended a height of 5' 6" for visual interest. He confirmed that no exception is needed for the east gate.

Member Bienvenu asked if the doors proposed to be replaced were historic, meaning they are over 50 years of age.

Mr. Sarason said staff determined they are not historic.

Member Bienvenu asked if an exception is needed for material if the doors are not replaced in kind.

Mr. Sarason said because it is a significant structure, if it is a different material, there needs to be an exception.

APPLICANT PRESENTATION

The Contractor's agent for the Applicant, 432 Baton Dr. SW, Albuquerque and Paul Ward, Facility Safety Manager at 2709 Echo Dr., Santa Fe were sworn in.

Member Guida said he understands from the presentation that 155 Grant will have divided lights. He asked if the doors at 135 will be single or have divided lights.

Mr. Contractor said they will have divided lights.

Member Guida asked if there was a drawing to show that.

The Contractor said they didn't have schematics at this time. He confirmed that the measurements for 155 will match exactly what is there now.

Member Aguilar Medrano asked for a description of the door on the east side at 135 Grant.

The Contractor said it will be a solid metal and match in color what is there.

Member Aguilar Medrano asked if wood is still a possibility.

The Contractor there is a possibility. They are currently working on the security system and there is a problem with the strikes because the wood is deteriorating and why they proposed metal.

PUBLIC COMMENT

Richard Martinez, 1524 Paseo de Peralta, was sworn in. He said he thought the height was only for yard walls, not for gates. Gates have to be made for a human size. He said he didn't see why just a gate has to have an exception.

Mr. Ward, safety manager, explained the project came about when he started as safety manager. The issue is that the door will have to be hollowed out for the strike mechanism to work. Their first choice is to go with the metal door because of the amount of artwork in the archives. The metal is stronger and more secure, but they are open to wood doors, but his first priority is metal doors. His priority is for the metal doors to look exactly the same as around the building. That is important to them as well to keep the

building looking as original in historic value as it is currently. The issue with the wood doors, especially the solid wood door on the east side, is the stair wall going to the vault. The wood expands and contracts with the seasons and makes it difficult to latch and seal. This facility has to be 70° with 50% relative humidity year-round to preserve the artwork. That was the reason he recommended metal. On the alleyway, there is a safety problem with the homeless and drug paraphernalia, etc. They need to find a solution and want to ensure that the staff and the public are safe.

Raymond Rivera, 279 Hillside Ave. was sworn in. His concern with the Bergere House is that it's the last remaining piece of history in Santa Fe. He objects to any changes being made to the house itself. He said the house is very important to him and is one of the jewels of the area. He said security and other things can be rearranged to other buildings. This house should be left alone and as a museum, but the structure should be left alone.

John Eddy, #14 Avenida de Compo Verde, was sworn in. He commented that those watching via Zoom are at a disadvantage because they do not get to see the PowerPoint presented. He said 13 feet is challenging to approve in that spot.

Mr. Sarason explained the 13 feet reference is to the width, not the height. The height of the wall and the gate is six feet. He noted that the narrative in the packet states the doors will be wood clad.

Member Guida said on 135 there was discussion that the proposed doors are underrepresented in the drawings in the packet. The narrative says the doors will be aluminum clad wood doors. He wanted to be sure what the Board would be approving tonight.

The Contractor said that is correct the doors will be aluminum wood doors.

Member Guida said that is important to distinguish. The application in the packet for 135 indicates 1) they will be replacing the wood doors on the south side with aluminum clad wood doors to match the existing profile; and 2) the existing wood door, for security reasons, on the east façade will be an aluminum clad wood door to match the existing profile and stain. He said he knows what an aluminum clad wood door looks like and he asked what is proposed here.

The Contractor said the doors at 135 would be aluminum frames and the east door would be solid hollow metal.

Member Guida confirmed the proposal is the south doors are aluminum storefronts similar to what is being proposed at 155. And the replacement of the solid wood door they propose a painted steel door, or a steel frame. Those are very different

things. There are no drawings in the packet. A steel door is a plain faced door, and an aluminum clad wood door looks like a traditional wood door. He said he wasn't sure he would approve those things tonight. He said on 155, he thought it was appropriate for the building. He recommended for 135, if the applicant is open to it, they pursue what is written in the packet, which is a wood door with aluminum cladding, and not a steel frame door and not wood. He thought if that was the case, he could approve this tonight.

Mr. Ward said they were fine with what is on the application.

BOARD DISCUSSION

MOTION: In Case 2023-006552-HDRB, 135 Grant Ave., Member Guida moved to approve the project as submitted, noting that the exception criteria has been met with staff's evaluation, and that the south doors will be aluminum clad wood doors with divided light patterns to match the existing profile, and that the east door will be aluminum clad wood door with detailing that matches the existing door, and the applicant is to submit drawings. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

2. **2023-006758-HDRB. 155 Grant Ave.** Downtown and Eastside Historic District. Non-contributing. Hugo Iribarren, agent for O'Keeffe Research Center (Benjamin Finberg, Senior Director of Operations), owners. The applicant requests new wood picket fences and gates to 6'-0" in height (maximum allowable 4'-0") Exceptions are requested to 14-5.2 (D) (9), for height (Ramón J. Sarason)

STAFF REPORT

155 Grant Ave. is a commercial building and directly connected to the 200 West Marcy commercial building. Both are currently owned by the O'Keeffe Foundation and is listed as non-contributing to the Downtown and Eastside Historic District. The original 155 Grant Ave. building dates to the 1940s and has undergone significant renovations over the decades and is in the recent Santa Fe Style. The buildings have entrances on the east, north, and west facades and wood lintels. The facades are characterized by deep set divided light windows.

Now, the applicant proposes the following exterior alterations:

- 1) Install (2) wood slat fences and gates, painted white to match 135 Grant Ave at the east and west entrances to the alleyway south of the building to a height of

5'-6" approximately 6" below the height of the adjacent 6'-0" block wall separating 155 Grant Ave. and 135 Grant Ave.

- 2) Replace a non-historic wood door on the east façade of 200 West Marcy with an aluminum door in the same style profile and white color as existing.

STAFF RECOMMENDATION

Staff finds that all the exception criteria has been met. Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

Member Biedscheid asked for clarification that the two doors, the one on the east side and the one in the alley would be 5' 6" in height.

The Contractor said they proposed six feet. There was concern on the west separating 135 and 155, but they measured the wall as well, below maximum. He said but they could build to 5' 6".

MOTION: In Case 2023-006758-HDRB. 155 Grant Ave., Member Guida moved to approve the replacements of the wood door on West Marcy with the aluminum storefront door that has divided light that aligns with the portal in light finish as proposed; to approve the two, six foot picket fences to be erected in the alley to be in the same style, noting that the fences are set back from the streetscape and do not require an exception for height; and approve the construction of a 5' 6" high gate on the west side that will require an exception for exceeding the height limitation. The motion was seconded by Member Bienvenu.

Member Biedscheid requested a friendly amendment on the picket fence, that the two steel frames will match staff's recommendation.

Members Guida and Bienvenu accepted as friendly noting that the applicant should update the drawings, so staff has a record.

Member Biedscheid also requested a friendly amendment that both gates stand free and separate. Members Guida and Bienvenu accepted as friendly.

Attorney Hybner said the exception criteria required for exceeding the height limitation is found in 14-5.2(C)(5)(c) and is the same for the height of the fence. He thought this could be special conditions and circumstances and the exception would not be required.

Member Guida said if that is the requirement, then the conditions have been met. Member Bienvenu agreed.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

3. **2023-006788-HDRB.** 330 E. Palace Ave. Bldgs, 13, 18 & 19. Downtown and Eastside Historic District. David Cera, agent for Ashford TRS Posada LLC, owner, requests a historic status review with primary façade designation, if applicable. (Paul A. Duran)

Withdrawn

4. **2023-006490-HDRB.** **1596 Canyon Rd.** Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 5,708 sq. ft. residence with a 468 sq. ft. studio to a height of 20' (maximum allowable height is 14'-10") and an 1,480 sq. ft. accessory dwelling unit with 550 sq. ft. detached garage to a height of 20' (maximum allowable height is 13'-10") on a vacant lot. Two exceptions are requested to exceed the maximum allowable height (Section 14-5.2(D)(9)) and to construct a pitch where a pitch is not allowed (Section 14-5.2(D)(9)(d)). (Lani McCulley)

Postponed

5. **2023-006565-HDRB.** **1600 Canyon Rd.** Historic Review Historic District. McDowell Fine Homes, agent for Jeung Hyun and Luella Noles, owners, proposes to construct a 4,356 sq. ft. residential building with a 520 sq. ft. studio to a height of 20' (maximum allowable height is 14'-10") on a vacant lot. Two exceptions are requested to exceed the maximum allowable height (Section 14-5.2(D)(9)) and to construct a pitch where a pitch is not allowed (Section 14-5.2(D)(9)(d)). (Lani McCulley)

Postponed

6. **2023-006663-HDRB.** 230-C Rodriguez St. Downtown and Eastside Historic District. Noncontributing. Ju Tan, agent for Julie McCashin and

Christopher Amos, owners, request to remodel and construct 130 sq. ft. house addition, height of 11'-6" (Maximum allowable height is 19'-0"). (Ramón J. Sarason)

STAFF REPORT

230-C Rodriguez is a two story, single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The architectural style is recent Santa Fe style and constructed approximately 1990.

Now, the applicant proposes the following exterior alterations:

1. Proposed is a 130 sf addition to the residence to enlarge an existing bedroom on the south/east end of the residence. The enlarged room will include a closet and corner masonry kiva.
2. New parapets to match existing adjacent parapet heights of 10'-3".
3. New 8'-0" W x 6'-8" H 2 panel sliding door and 6'-0" W x 4'-6" H window as shown. The new door and window units will not have divided lites to match all the existing door and windows of the house as well as those on the houses in the same cul de sac. Further to this, the proposed addition will not be visible from the public realm.
4. All exterior stucco will match existing in color and texture (STO Synthetic Stucco, Color: PUEBLO).
5. Exterior Lights Fixture: Existing light fixture will be reused.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Member Guida asked about the material for the windows and sliding doors.

Mr. Sarason said they will match the existing white, aluminum clad.

APPLICANT PRESENTATION

Ju Tan, 1219 Cerro Gordo Loop, was sworn in. He said he had nothing to add.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

None

MOTION: In Case 2023-006663-HDRB, 230-C Rodriguez St., Member Aguilar Medrano moved to approve the application as submitted. The motion was seconded by Member Guida with a friendly amendment that the windows be white.

Member Aguilar Medrano accepted the friendly amendment.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

7. **2023-006742-HDRB. 110 W. Berger St.**, Don Gaspar Area Historic District. Contributing. Stuart Sproul, agent for James Leonard, owner, requests designation of primary facades. (Ramón J. Sarason)

Withdrawn

8. 2022-005832-HDRB. 1147 ½ Camino San Acacio. Downtown and Eastside Historic District. Will McDonald, agent for George Johnson, owner, proposes to construct a 136 sq. ft. addition to a height of 21'-10" (maximum allowable height is 19'-10") where the existing height is 22'-8" on a non-contributing residential structure. (Lani McCulley)

STAFF REPORT

The structure at 1147 ½ Camino San Acacio is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The residence has been through many different phases of construction and is part of what was once the Abeyta/Tafoya family compound.

The building was constructed in many phases from the 1920s to the 1980s. The structure is composed of two separate buildings that were joined with additions over time.

While much of the building qualifies as being 50 years old or older, changes and additions over time have erased the character of the original historic buildings.

The current owner purchased the property in 1992 and constructed an addition on the east elevation as well as renovated the detached storage building into an accessory dwelling unit in 2005.

The Historic Districts Review Board reviewed the status of the residence on March 14, 2023, under Case #2023-6394 and retained the non-contributing status.

Now the applicant proposes the following exterior alterations:

- 1) A 136 sq. ft. addition on the south elevation of the residence to height a of 20'11" to match the existing height of the structure.
- 2) Windows on the addition will be wood with white metal cladding.
- 3) The overhang at the door of the addition will have wooden brackets stained with Cabot "chestnut".
- 4) Replace the non-historic sliding windows on the west elevation to the south of the addition with double hung wood clad windows.
- 5) Stucco the addition using El Rey cementitious "Kokanee" to match existing.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT PRESENTATION

Will McDonald, 488 Arroyo Tenorio, was sworn in. He said first he wanted to say he is pleased to have Lani McCulley on staff with her skill. He noted now, with the exterior stairs you can get up to the second-floor balcony safely, unlike the original stairs. He said the purpose of this is to provide an interior access.

Member Guida said on the east elevation he could see there is still one exterior stair shown.

Mr. McDonald said yes, the exterior stairs remain. There is no change there. He added in doing this they hope to provide more character to the building.

Member Aguilar Medrano said she sees that the color of the stucco will match the existing. She asked if the texture would match as well.

Mr. McDonald said yes, both will match.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 1147 ½ Camino San Acacio, Member Bienvenu moved to approve the application as submitted noting that the stucco will match the existing structure in color and texture, Member Guida seconded the motion.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

9. **2023-006743-HDRB. 635-A West San Francisco St.** Westside-Guadalupe Historic District. Contributing. Richard Martinez, agent for Josephine Levy, owner, proposes to construct a 72 sq.ft. portal addition height of 10'- 6" (Maximum allowable height is 12'-0). Also, configurations of 6'-0 yard walls (maximum allowable height 6'-0). (Ramón J. Sarason)

STAFF REPORT

635-A W. San Francisco St. is a single-family residence and adjoined to the north by 635-B West. San Francisco St. forming a duplex, both of which are listed as contributing to the Westside Guadalupe Historic District. The duplex is built in the Territorial style. The south, street facing façade consists of a single apparently non-historic window with a wrought iron security screen and visible chimney. The east façade is largely obscured by a yard wall and is characterized by a deeply recessed door opening and roughly mottled stucco over adobe. Both the south façade and portion of the east facade contribute to the West San Francisco Street streetscape.

According to the attached historical report titled La Casa de Julianta, prepared by John W. Murphy dated January 24, 2022: "Although a few assertions have been made ("one of the oldest adobes on W. San Francisco"), it is difficult to pinpoint the home's date of construction.

Common clues, such as a deed reference to the 1912 "King's Map", are non-existent. The King's Map itself is unhelpful, as no current house footprint on the block matches the map.

The 635 West San Francisco's address appears in the 1928 city directory, which is the first edition available. Later the house, in its basic north-south footprint, is visible on several early aerial photographs, including a fuzzy image from 1936 which still shows the area in agricultural production. The house is historic, but its precise origin will remain unknown."

The residence was brought before the Historic Districts Review Board on April 25, 2023 (2023-006567-HDRB) for primary façades designations. The decision of the Board was the south façade be designated as primary.

Now, the applicant proposes the following exterior alterations:

- 1) Demolish and reconfigure the existing block, stucco, and coyote fence courtyard walls to a height of 6'-0".
- 2) Build a portal addition on the east façade of 72 square feet in the Territorial style to a height of 10'-6" (18" below the height of the existing residence's parapet height). Maximum allowable height is 12'-0".

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(I) Westside Guadalupe Design Standards.

APPLICANT PRESENTATION

Richard Martinez, previously sworn, said this is a small house of 818 square feet. They want to provide a private outdoor roofed area. The portal is setback from the street behind the parking area and they will replace the east and south part of the fence that are not on the parking area, to make it as large as possible for the neighbor to the east to enter their house. The walls will be stucco and will not have brick detail because he thought it is not in keeping with Territorial design. The brick detail on the fence was dated and he proposed that the portal will have brick coping to match the house, but the yard wall will be all stucco.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006743-HDRB, 635-A West San Francisco St., Member Aguilar Medrano moved to approve the application as submitted. Member Guida seconded the motion.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

10. **2023-006744-HDRB. 529 E. Palace.** Downtown and Eastside Historic District. Contributing. Scott Cherry, agent for Carolyn Lee, owner, requests designation of primary facades. (Ramón J. Sarason)

STAFF REPORT

Charles and Filomena Wheelon House at 529 E Palace Ave. is a single-family residence listed as contributing to the Downtown and Eastside Historic District. The architectural style is side gabled with Craftsmen elements. The core of the house, likely constructed before 1910, consists of a one-and-a-half story, side-gable brick building, with several additions appended to it since 1973. The historic building is made of fired face brick laid in a running bond. The structure sits on a raised glazed brick foundation that encloses a basement. The additions are frame and faced with rustic wood shingles, giving them a Bay Tradition appearance. Rising from the roof are large, gabled dormers added after 1973. Wood shingled additions to the east and west facades were added in the 1970's and 80's.

Now, the applicant proposes the following:

- 1) Designation of Primary Facades.

STAFF RECOMMENDATION

Staff recommends the south street facing façade, the east facing façade from the south corner north to the shingle addition, and the east facing façade south corner north to the shingle addition be designated as primary (façades F.1, F.2, and F.10).

Member Aguilar Medrano pointed out a typo in the staff report. She wanted to clarify for the motion makers that staff's recommendation is for the southeast and the west side.

Mr. Sarason confirmed that was correct.

Member Bienvenu said generally he agrees with Mr. Sarason's recommendations but thought it would be appropriate to exclude the dormer windows.

Mr. Sarason said he debated that, but felt they provided unique character to the façade. He said he could understand if it is excluded from the primary façade designation.

Member Bienvenu said they certainly add "a" character, although a false one. He also wondered if that applies to the stain glass windows.

Mr. Sarason said that is correct, there are two windows that match on that façade.

Member Bienvenu said again he felt that was false.

Chair Rios asked the architectural style.

Mr. Sarason said staff believed the style had bungalow and craftsmen elements.

APPLICANT PRESENTATION

Scott Perry, 2351 Fox Road, was sworn in. He said he agrees this is more craftsmen bungalow. He also agreed with the staff's recommendation on the façade and also on Member Bienvenu's comments as well. The dormers and the stained glass are a false representation of the original historic nature of the structure. He said he agrees with all of the comments.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006744-HDRB, 529 E. Palace., Member Guida moved to maintain the structure's status as contributing and designate the south façade #1 as primary and portions of the east and west façade, as designated by staff as west #2 and east #10, also be primary, noting that the west façade-stained glass windows and the south façade dormers are non-historic. The motion was seconded by Member Biedscheid.

Member Biedscheid offered that the south façade door be non-contributing as recommended by staff.

Member Guida accepted as friendly.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

I. DISCUSSION ITEMS

None

J. MATTERS FROM THE BOARD

None

K. NEXT MEETING: Tuesday, June 13, 2023

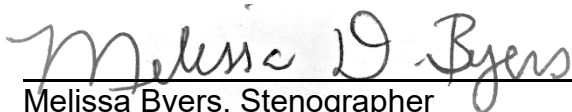
L. ADJOURNMENT

MOTION: Member Guida moved to adjourn the meeting at 7:20 pm. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by (4-0) roll call vote with Members Bienvenu, Guida Member Biedscheid and Aguilar Medrano voting in favor.

Submitted by:

Approved by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Cecilia Rios, Chair

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HISTORIC DISTRICTS REVIEW BOARD
JUNE 13, 2023

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
JUNE 13, 2023 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:33 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Mr. Anthony Guida, Vice Chair
Ms. Madeleine Aguilar Medrano
Ms. Jennifer Berkley (on Zoom)
Mr. John Bienvenu

MEMBERS ABSENT (EXCUSED)

Ms. Cecilia Rios, Chair
Ms. Jennifer Biedscheid

OTHERS PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Mr. Frank Ruybalid, Assistant City Attorney
Gary Moquino, Historic Preservation Division Manager
Lani McCully, Senior Planner
Ramon Sarason, Senior Planner
Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

MOTION: Member Bienvenu moved, seconded by Member Aguilar Medrano to approve the agenda as submitted.

VOTE: The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Berkley, and Bienvenu, voting in favor and none voting against.

C. APPROVAL OF MINUTES:

There were no minutes.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2023-006705-HDRB. 410 Don Gaspar Ave.
2. 2023-006704-HDRB 406 Don Gaspar Ave.
3. 2023-006709-HDRB. 130 S. Capitol St.

MOTION: Member Bienvenu moved, seconded by Member Aguilar Medrano to approve the Findings of Fact and Conclusions of Law.

VOTE: The motion passed by (3-0) roll call vote with Members Berkley, Bienvenu, and Aguilar Medrano voting in favor and none voting against.

E. MATTERS FROM THE PUBLIC

There were no matters from the public.

F. STAFF COMMUNICATIONS

Ms. Lamboy announced that Gary Moquino is the new Historic Preservation Division Manager.

Mr. Moquino said he has been with City for 18 ½ years. He provided his background. He said he is happy to serve the City.

Attorney Ruybalid reported that two projects are before the Governing Body, 220 Rodriguez and 110 Calle La Pena.

Vice Chair Guida asked when the Governing Body will hear the text amendments.

Ms. Lamboy said the text amendments were delivered to the City Attorney's Office and some comments were shared. They are waiting to get it on the agenda pending the City Attorney's Office review.

G. OLD BUSINESS

None

H. NEW BUSINESS

Vice Chair Guida said there were 10 cases on the agenda and the Board has a responsibility to be efficient with time. He limited staff and applicant comments to three to five minutes and public comments to two minutes per speaker. He explained the appeal process for those who don't agree with the Board's decision on a case.

1. **2023-006847-HDRB. 201 Montezuma Ave.** Historic Transition Historic District. Non-Contributing. Brian Nenner, Orion West, LLC, agent for OSFI Investors, LLC, owner, proposes to remodel the existing first-floor offices at the south end of the building to include window and door replacement, the construction of a 5'-0" screen wall where the maximum permitted wall height is 4'-5"; an exception is requested to Section 14-5.2(D)(9). Remodel also includes the increase of parapet height to a maximum height of 18'-10". The maximum permitted is 32'-8". A 6'-0" boundary coyote fence is proposed on the west property line, and a 5'-9" monument sign is proposed at the south entrance to the property. (Heather Lamboy)

STAFF REPORT

The structure located at 201 Montezuma Ave/328 Galisteo St is listed as non-contributing to the Historic Transition Historic District. Currently part of the Old Santa Fe Inn, the structure previously housed the Albuquerque Journal North newspaper offices. The structure was constructed by 1992 in the Postmodern style. A major portion of the building has already been remodeled as an adaptive reuse to accommodate the hotel use. The semi-circular one-story portion of the building on the southernmost portion of the site has remained unchanged and currently contains offices. The applicant seeks to reuse this space by remodeling it to add hotel rooms.

As illustrated on the 1984 Historic Building Inventory Form, a gas station, which was constructed in 1968, was on the site previously.

The applicant proposes the construction of a 6-foot coyote fence along the western property boundary to separate the property from the County Courthouse property to the west. The applicant also proposes the construction of entrance walls on either side of the Montezuma Ave entrance. Furthermore, the applicant proposes the following exterior alterations:

1. Window replacement on the south, west and east elevations;
2. Increase the parapet height to be similar in nature to other parapets on the adjoining hotel buildings;
3. Infill of a portal on the east elevation;
4. Door replacement on the east elevation;

5. A 5' screen wall in front of the hotel rooms; and,
6. Restucco and repaint to match existing colors found on the adjoining building.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(G) Historic Transition District Design Standards.

APPLICANT PRESENTATION

Brian Nenninger and Mark Hogan were sworn on behalf of the applicant.

Mr. Nenninger, 2213 Brothers Road, showed the location of the coyote fence. He said the County doesn't do a good job keeping up with the landscaping between the property lines and the applicant has decided to screen between the property lines. It is not on the streetscapes. The building was built in 1992 and the previous owners converted the space into hotel rooms in 2015. He said they are finishing that work. He showed the fencing details.

Member Bienvenu said he didn't see any issue with the coyote fence since it is allowed in the district. He asked Ms. Lamboy, since she mentioned the coyote fence several times, if she had a concern.

Ms. Lamboy said she wanted to bring to the Board's attention the height of the fence. Although screened and setback from the streetscape, the allowable height is five feet. In the past, where not publicly visible, that was permitted.

Member Bienvenu asked if raising the parapet was strictly for appearance.

Mr. Nenninger said it is and has to do with the fireplace in the front. The parapet is to compliment the chimney that will be added.

Member Bienvenu said it is a nice looking project. He asked if the reveals and windows will change at the corners of the building.

Mark Hogan said the window reveals will be the same as the existing but concealed more by the screen wall in the front. The reveals will be about 4 inches up.

PUBLIC COMMENT

Stefanie Beninato, PO Box 1601, Santa Fe was sworn. She said she likes the design and the parapet because it softens the other building. She said she saw on the list that they weren't supposed to have yard walls but there is going to be a screen wall or yard wall that's five feet. She asked if that requires an exception.

BOARD DISCUSSION

MOTION: In Case 2023-006847-HDRB, 201 Montezuma Ave., Member Bienvenu moved to adopt the recommendations of staff for approval of the project for the reasons stated in the Staff Report. He also noted that the applicant has indicated that the corners of the additional aspects of the building, including the parapet, will be at least as rounded as existing, and the windows will be consistent with the current four-inch reveals. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Bienvenu, Aguilar Medrano and Berkley voting in favor and none voting against.

2. **2023-006848-HDRB. 404 Apodaca Hill.** Downtown and Eastside Historic District. Non-contributing. Bernie Romero, agent for Rick Van Sickle and Paige Webster, owners, requests a historic status review with primary facade(s) designation. (Lani McCulley)

STAFF REPORT

404 Apodaca Hill is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The 1.431 sq. ft. single story Maria Apodaca Vigil House is constructed of Adobe with a flat hipped roof and was constructed around 1933 in a vernacular style.

An addition at the west elevation was constructed circa 1987. At the same time a porch was added to the east elevation. The home has textured stucco in a faded amarilla tone. The roof is noted to have "slight shed pitch" in corrugated iron in the 1983 HCPI form. The roof is currently sheathed with corrugated metal panels. The main residence door of the original structure faces north. An eastside entry was installed prior to 1983 and currently serves as the main entrance to the building though it enters directly into the bathroom. Most of the windows appear to have been installed in the 1950s and are steel windows. The South elevation windows appear to be older wood sash windows.

The north elevation is nearly symmetrical and is divided into three areas. The east and west section of the façade have rectangular openings holding steel casement windows. The center section of the north façade is the entry to the structure. The porch has five crumbling concrete steps, and a has a 3/4-glass door divided into nine lites. The door is hung on butted hinges and does not appear to be historic. The door sidelights have five panes each. The porch roof decking has large vigas topped with wide boards. A wood lintel runs above the opening. The beam is carved with a repeating pattern of stars

and circles. The non-historic plywood structure to the west end of the north façade shelters the stairs to the basement.

While the residence exhibits little architectural significance, the house is over 90 years old and is associated with the family that built up the neighborhood. The most significant aspect of the home is its recessed porch at the north elevation. This space, with its formal door and carved beam, is important. Other non-historic elements of this façade such as the steel windows and the plywood structure distract from the character and historic design of the residence.

With these details under consideration, the recommendation is to upgrade the house to Contributing status, with the north elevation minus the distracting non-historic elements, designated as the primary façade.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be upgraded to contributing status with the north facade minus the distracting non-historic elements, designated as the primary façade, per 14-5.2(C) Designation of Significant and Contributing Structures.

Vice Chair Guida asked Ms. McCulley's understanding of the time period for the hipped roof construction.

Ms. McCulley said it never had a parapet and has always had a flat roof. The hipped gable in the middle is over what used to be a chimney.

Vice Chair Guida asked if she included the roof in her recommendation of historic features.

Ms. McCulley said no.

Member Aguilar Medrano asked for more information on the windows on either side of the door on the north side.

Ms. McCulley said she only has what John Murphy has written.

Member Bienvenu said on the site visit they talked about the windows. The staff report recommended the north façade as primary, excluding the non-historic steel windows and non-historic plywood structure attached. He thought the steel windows might be historic because Murphy's report indicated these were done in the 50s, but they may not be the originals.

Ms. McCulley agreed they were not original but were from the 1950s and historic.

Member Bienvenu asked if she thought the wooden windows on the façade were original.

Ms. McCulley said probably on the south and west façades, the north is an easement.

Member Bienvenu said this is where they have an issue with how Code is written. He confirmed the only way to protect the windows from being replaced in kind, is on a primary façade. That requires at least two facades as primary.

Vice Chair Guida said in the past they have called out the character defining elements in the designation that are not on record. The intent was that it is part of the designation.

APPLICANT PRESENTATION

Richard Van Sickle, 1122 W. Alameda Street, was sworn. He said when looking to purchase the property the building was designated as non-contributing. That made them more interested because they want to renovate it and make it a livable space. They understand when contributing, there are certain things they cannot do. He asked the Board to keep in mind the challenge to make properties work correctly when they are required to keep certain elements. He said they are happy with the front façade, and the beam and front door will remain. They intend to make this a historic property but also want it to be a livable property.

Vice Chair Guida confirmed that Mr. Van Sickle agreed with staff's recommendation on the north and south. He asked if that included the metal windows.

Mr. Van Sickle said if they have to replace in kind, they will but feel they could put in a window exactly like those except they would not be metal. And these windows would be better because the windows now have a lot of complications.

Vice Chair Guida noted that excluding the windows from the designation in the report is the right move. He said to determine the status of the structure they look at the elements and features that contribute to the district. The windows may be old but may not be elements that contribute to the status of a significant structure.

PUBLIC COMMENT

Stefanie Beninato, previously sworn, agreed the north façade should be considered primary. She said the Board needs to recognize that the steel casement windows are historic. She would not designate more than two primary facades.

BOARD DISCUSSION

Member Aguilar Medrano said she agreed with John Murphy's report and the staff recommendation to upgrade to contributing and on the north façade. She did not agree on the steel windows. She said she doesn't find them "distracting" as stated in the report. She was on the fence about the south façade, and in particular the wooden windows. John Murphy's report says those are older than the steel windows. She noted that the wooden windows are original. She wondered if a better way to keep the features on the windows on the south is to designate the features on a non-primary façade or designate to make the whole façade primary.

Member Bienvenu said this is difficult. He thought the Board had decided to protect steel casement windows when possible and repair or restore them. He said he is troubled because there is a mishmash of window styles, and he would be more likely to protect the original windows when consistent throughout the property. He agreed the north façade should be primary, which would exclude the steel casement windows and plywood box. He said the wooden windows look like variables of historic fabric but would require designation of the south façade to protect them. Code is written to specifically provide the windows not on a primary façade be replaced in kind, and to only require repair on a primary façade. He thought to designate as character defining in this case would be going too far for a structure of this nature and would prevent anyone from using the feature. He said he was inclined to agree with staff's recommendation on contributing status and the north as the primary façade excluding the windows.

MOTION: In Case 2023-006848-HDRB, 404 Apodaca Hill, Member Bienvenu moved to adopt staff's recommendations to upgrade the property to contributing, with the north façade as primary, excluding the non-original elements of the steel casement windows and plywood box and the non-historic hipped roof. The motion was seconded by Member Berkley.

VOTE: The motion passed by (2-1) roll call vote with Members Berkley and Bienvenu voting in favor and Member Aguilar Medrano voting against.

3. **2023-006850-HDRB. 1122 Old Santa Fe Trail.** Historic Review Historic District. Non-stated Chuck Staben, agent/owner, requests a historic status review with primary facade(s) designation. (Lani McCulley)

STAFF REPORT

1122 Old Santa Fe Trail is a single-family residence which is not stated in the Historic Review Historic District. A fragment of the Santa Fe Trail is located on part of the property as an archaeological site on the southern portion of the lot.

The Donald and Dorothea Mossman House is a 2,803 sq. ft. Spanish pueblo revival single-story residence constructed in 1962 with a guest house to the south that is

connected by a breezeway that was constructed in 2005. The main residence is stuccoed block painted white with two portals on the north elevation one original to the structure and one built after 1966.

The original west portal has square rafters and an exaggerated overhang and is trimmed with traditional “double shoe” capitals. It holds the formal entry to the house.

The windows consist of larger sash and fixed units characteristic of their period. They are surmounted by textured header recessed in the stucco. The doors are Meem replicas with the typical display of geometric and floral figures.

The 1,501-square-foot guest house runs parallel to the older home and has modern windows, including lines of small square casement units across the north and south elevations. The structure has an overhang on its north façade. The north facade has a brise-soleil applied more stylistically than functionally.

Original to the property is a garage located a few feet northeast of the house.

The freestanding block-constructed building has doors facing north and a window on the east elevation.

The stucco planter to the northeast of the residence within the parking circle is most likely original to the house from 1962. It is easily seen in the 1966 aerial and previously enclosed an oval lawn and grid-pattern garden. The garden has given way to native plants.

While most of the residence does not stand out, elements of the primary house are characteristic of its time. The north elevation, specifically the portion that holds the original portal and entry, best represents this period. Therefore, the recommendation is to designate the original house and garage as Contributing to the Historic Review District, with the original north portal section recommended as the primary façade of the residence, the north façade is recommended as the primary façade of the garage, and the stuccoed planter to the northeast of the residence in the parking area is recommended as contributing.

STAFF RECOMMENDATION

Staff recommends the historic status of the original house and garage be designated as Contributing to the Historic Review Historic District, with the original north portal section recommended as the primary façade of the residence, the north façade recommended as the primary façade of the garage, and the stuccoed planter to the north of the residence in the parking area is recommended as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

Vice Chair Guida confirmed that the recommendation is façade 2, and the garden wall and the garage. He said the portal is nice and a period of time. He asked what there was about the property that led staff to conclude the designation is contributing.

Ms. McCulley said the house has a long history, partly because of the people who lived there. Also, the trail runs around it and throughout the area.

Member Bienvenu asked the history of the color.

Ms. McCulley said the color is original to the house.

Member Bienvenu said the house is nonconforming, which triggers the provision in Code that says they are not to be altered except to bring into conformance. He said he felt strongly that this house does not contribute and is nondescript. In many ways it represents attempts to be Santa Fe style without anything distinguishing it architecturally. He thought the building has pleasant qualities, the walls are battered and is sited nicely on the property. He said the question is if it amounts to contributing in this district. He said this house predates the designation of the district and seems characteristic of the kinds of buildings that were being built. He said he thought it does meet the definition of a contributing structure in the ordinance.

Member Aguilar Medrano asked when the second portal was built.

Ms. McCulley said she could not find a date.

Ms. Lamboy said she wanted to bring to the Board's attention the balance of historic preservation and historic streetscapes as well as historic developments. This area represents what the DeVargas Sisters developed as DeVargas Heights, one of the first historic suburbs of Santa Fe. The reference to the contributing status is not only the building itself, but the context of the history and development of that area.

APPLICANT PRESENTATION

Chuck Stabens, 1308 E. Jefferson St., Boise, ID, was sworn. He said he had nothing to add and what was discussed seemed reasonable. He said he was surprised it might be historic because it is very plain.

PUBLIC COMMENT

John Eddy, 14 Avenida Compo Verde, was sworn. He encouraged the Board to adopt staff's recommendation in the spirit of the preservation of the historic context this is associated with, such as the Old Santa Fe Trail.

Stefanie Beninato, previously sworn, supported staff's recommendation.

BOARD DISCUSSION

MOTION: In Case 2023-006850-HDRB, 1122 Old Santa Fe Trail., Member Aguilar Medrano moved to approve the application as submitted to upgrade the status of the main building and the garage to contributing and to designate the original north façade as primary, excluding the portal that was constructed post-1966. Member Bienvenu seconded with a friendly amendment that the stucco planter be included in the motion.

Member Aguilar Medrano said she would accept that as a friendly amendment.

Member Bienvenu asked if she wanted to incorporate into the motion about the color of the property.

Member Aguilar Medrano noted for the record that the current color is not in compliance with the district standards.

Member Bienvenu asked for a friendly amendment that the colors not be part of the contributing status.

Member Aguilar Medrano accepted that as friendly.

Member Berkley asked why all of a sudden the color was discussed as being excluded as a staff recommendation.

Member Bienvenu wanted to note at this point that the Board could decide the white color although nonconforming, is part of the contributing status. He said his view is that the original color should not be protected, and although historic, he preferred the color remain noncontributing and recognized as nonconforming.

Member Berkley asked why then is this house considered contributing. In her opinion the main characteristic of the house is the white color which is the original color.

Vice Chair Guida said the motion has been made and seconded and they have moved on to a vote. He recommended Member Berkley vote in line with her comments.

VOTE: The motion passed by (2-1) roll call vote with Members Bienvenu and Aguilar Medrano voting in favor and Member Berkley voting against.

4. **2023-006855-HDRB. 234 Anita Pl.** Don Gaspar Area Historic District. Contributing. Kristin Welch and Newton Bass, Agent / Owner requests primary facade(s) designation. (Ramon Sarason)

STAFF REPORT

234 Anita Place is a single-family residence listed as contributing to the Don Gaspar Area Historic District. The circa 1930 residence is a one-story Pueblo Revival house with garage that has been divided over the years into a three-unit multi-family compound. The original portal constructed circa 1973 was demolished and replaced in 1995 per case H-95-138. The guesthouse was constructed in the 1990s. The garage conversion to a residence was done at an unspecified time. Despite these changes, the primary house has retained historic integrity and remains listed as a contributing structure, though it has not had primary façade designation to date.

The applicant requests primary façade designation to direct any future plans for remodeling the property.

STAFF RECOMMENDATION

Staff recommends the North, East, and West facades (1, 2 and 3) as primary for the contributing structure, per 14-5.2(C) Designation of Significant and Contributing Structures.

Vice Chair Guida asked Mr. Sarason to talk about the reason the structure is contributing to the district, and specifically why the side façades are essential.

Mr. Sarason said both of the side facades are characteristic of this style. He included both the east and west façades because of the pattern and that they are so expressive.

Member Aguilar Medrano asked about the historic material on site.

Mr. Sarason said his assessment, with the exception of the back door on the south elevation, which was replaced, is the rest of the facades are all original windows and doors.

Vice Chair Guida asked if the gate on the west was identified as character defining.

Mr. Sarason said he thought it provided character and helps the façade attached to it and adds expression to the gateway.

APPLICANT PRESENTATION

Kristin Welch and Newton Bass, 234 Anita Place, were sworn in. They said they were fine with the recommendation. They like the color of the stucco but might restucco. He asked if okay to re-stucco in the same color.

Vice Chair Guida addressed staff and said he didn't believe the color was included in his presentation.

Mr. Sarason said he did not but agrees with the applicant. The color is unique and adds to the character.

Member Bienvenu said he agreed with the staff recommendation to designate all three facades, which are clearly character defining. He said in addition, the north façade would obviously be primary. As far as the east and west they are right up against the garage and on the other side of a walkway. He said in this case leaving it as is would not be overly restrictive.

Mr. Bass said they have experienced a lot of water damage. He asked if the damaged windows could be replaced in kind.

Member Bienvenu said generally historic windows on a primary façade are to be repaired rather than replaced in kind. If the window assessment indicates they cannot be repaired, the option is to replace in kind.

PUBLIC COMMENT

John Eddy, previously sworn, agreed with staff's recommendation. He said this house is alarmingly simple but speaks to a vernacular Santa Fe style. That is important to the neighborhoods. Specifically, the bulldozed sills and windows are also a ubiquitous vernacular approach to building in Santa Fe.

Stefanie Beninato, previously sworn, said she also agreed with staff's recommendation and Member Bienvenu's assessment on the east and west. The window sills are character defining of a certain era. She is happy the owners seem enthused about doing a good job to preserve the house.

BOARD DISCUSSION

Member Bienvenu asked the date of the gate on the west side.

Mr. Sarason said that was in the 1973 aerial photograph, but he did not know the actual date of the gate material.

Member Bienvenu thought that should not be part of the contributing status. He said he does not object to it but didn't think it something that needs to be preserved.

MOTION: In Case 2023-006855-HDRB, 234 Anita Pl., Member Bienvenu moved to adopt staff's recommendations to designate facades 1, 2 and 3, the north, east and west facades, as primary, excluding the gate on the west side of the north façade, and the casita and stucco walls that will remain noncontributing for the reasons stated. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Bienvenu, Aguilar Medrano and Berkley voting in favor and none voting against.

5. **2023-006854-HDRB. 812 Gildersleeve St.** Don Gaspar Area Historic District. Contributing. Greg Reid, agent for Terrance Duncan, requests a historic status review and primary facade(s) designation. (Ramon Sarason)

STAFF REPORT

812 Gildersleeve is a single-family residence listed as contributing to the Don Gaspar Area Historic District. The Alice and Dale Bullock House was constructed around 1937. It sits back from the street at the same setback as its neighbors. The modest Pueblo Revival residence's south elevation is the most characteristic of the style. The remaining elevations show lesser attention to design. The house is unique in the district for its partially excavated two-car garage, tucked below the ground floor at the rear of the home.

The applicant requests a status review and primary façade designation to direct any future remodeling projects.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be maintained as contributing and that the east street facing, and a portion of the south (1 and 2) facades (excluding the wrought iron security grilles) be designated as primary, per 14-5.2(C) Designation of Significant and Contributing Structures.

Member Aguilar Medrano noted John Murphy's recommendation that the front yard wall should be contributing. She asked why that wasn't included in the recommendation. She asked on the south façade which sections should be primary.

Mr. Sarason agreed that the yard wall added to the streetscape. He said the concern was its poor structural health. He said he would leave that to the Board to decide status. He said the south façades make it a little niche on the corner and the window elevations are not the same. The window facing west is lower than the one facing south and is incongruent.

APPLICANT PRESENTATION

Greg Reid, 535 Cerrillos Road was sworn. He agreed with staff's recommendations. He said on the comment on the canale as an original in the front, he believed a canale was integrated but he wasn't sure. He said the owner likes the height of the yard wall and wants to keep it, but it is falling over. They would stabilize the wall if there were a way to keep it.

PUBLIC COMMENT

John Eddy, previously sworn, said again this is a very simple but important house. He commended the owners for engaging John Murphy. He appreciated staff's recommendations on contributing status and suggested those be adopted. He said he was grateful for staff's wisdom to exclude the window sills because maintaining those would not make sense. The original character of the windows will be accentuated by the new ones.

BOARD DISCUSSION

MOTION: In 2023-006854-HDRB, 812 Gildersleeve St., Member Aguilar Medrano moved to approve the application as submitted and maintain the contributing status, and to designate the east façade and a portion of the south as specified in the packet, including the wrought iron security grilles, and to designate the front yardwall as contributing. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Bienvenu and Berkley voting in favor and none voting against.

6. **2023-006851-HDRB. 1677 Cerro Gordo Tract 11.** Downtown and Eastside Historic District. Non-contributing. Harvey Monroe, agent for Tom and Allison Trujillo, owners, proposes to construct a 1,281 sq. ft. freestanding casita to a height of 18'-2" where the maximum allowable height is 16'-0". An exception is requested to section 14-5.2(D)(9) to exceed the maximum allowable height by 2'-2". (Lani McCulley)

STAFF REPORT

1677 Cerro Gordo Tract 11 is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. No previous cases have been located for the property.

The applicant proposes to construct a single-story 1,281 sq. ft. freestanding guest house with two portals totaling 96 sq. ft. on the east elevation.

The height of the structure will be 14'0" from finished grade and be 16'2" from the finished grade to the highest point on the slope as the structure steps up the hill going south to north. The maximum allowable height is 16'0".

- The windows will be wood clad awning and casement windows with divided lites.
- Rooftop appurtenances will include skylights and an HVAC system, neither of which will be publicly visible.
- The ADU will be stuccoed using Sto synthetic "San Antonio Brown" stucco, and all wood will be in wood tones.
- Retaining walls will be constructed along the north of the building and driveway with the maximum height of 6'0".
- There will be exterior lighting at the doors and garage though no design is currently offered.

The exception is no longer being requested.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Vice Chair Guida asked if the synthetic stucco would match the color of the house and the trim color is specified in the packet.

Ms. McCulley conferred with the applicant and said both will match.

Member Aguilar Medrano asked for more information on the public visibility.

Ms. McCulley said it is far enough back from Cerro Gordo Road and at an angle that you might see the very top portion of the building. She said you could not see this from Cerro Gordo.

Member Aguilar Medrano said that was her main concern.

APPLICANT PRESENTATION

Harvey Monroe, PO Box 1183, Santa Fe was sworn. He wanted to mention that the story poles were a little taller than 16 feet; they were 18-foot poles. He said the poles are 2 feet higher and he found two locations on Upper Canyon Road where you could probably see them with binoculars. He said the height was designed originally to conform with the escarpment ordinance and steps back up the hill. Otherwise, the intent was to conform in keeping with the original form.

Vice Chair Guida confirmed that as mentioned, the selection of "San Antonio" stucco is meant to match the existing house and is a mid-brown wood tone. He asked the color of the wood clad window.

Mr. Monroe said it is basic dark brown to match the existing window.

Tom and Allison Trujillo, 1677 Cerro Gordo, #11, were sworn. He said his daughter is back at home since they are getting older, and his mom at 95, lives with them. They want to give her a break and not have to live in the same household.

Allison Trujillo said she agreed. She said they are trying to replicate the original house as much as possible.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006851-HDRB, 1677 Cerro Gordo Tract 11, Member Aguilar Medrano moved to approve the application as submitted, finding that all standards would be historically satisfied. The motion was seconded by Member Berkley.

Member Aguilar Medrano added the exception for height is not needed and the stucco and window color and color of the wood accents will match the existing color.

VOTE: The motion passed by (3-0) roll call vote with Members Bienvenu, Berkley and Aguilar Medrano voting in favor and none voting against.

7. **2023-006852-HDRB. 1233 Cerro Gordo Rd.** Downtown and Eastside Historic District. Non-contributing. Positive Energy Solar, agent for William Earl, owner, proposes to install a publicly visible rooftop solar array. An

exception is requested for publicly visible rooftop appurtenances to Section 14-5.2(E)(1)(d). (Lani McCulley)

STAFF REPORT

1233 Cerro Gordo Road is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The two story, 1,980 sq. ft. home is in a Spanish-Pueblo Revival style with some vernacular elements and sits below the Cerro Gordo grade on the north and west sides of the road. The County Tax Assessors records indicate that a house was located on the property in 1967; however, aerial photography shows that the current structure was constructed between 1985 and 1987. In 2018, the HDRB approved an exception in case H-18-035 for the parapets on the house to be raised 2'0" for the full height of the structure to be at 20'4" where the maximum allowable height is 13'8" as well as an addition that increased the home to the existing 1,980 sq. ft. This case also provided the approval of the 77 sq. ft. portal and 163 sq. ft. of trellis between the first and second floors. The remodel made the house more closely styled to the Spanish-Pueblo Revival style from its original mix of vernacular and Spanish-Pueblo.

Now, the applicant proposes the following exterior alterations:

- 1) install a publicly visible rooftop solar array on the second-floor roof and on the top of the second-floor trellis. An exception is requested for publicly visible rooftop appurtenances (Section 14-5.2(D)(3)). The relevant code citation and exception responses are provided In the staff report.

STAFF RECOMMENDATION

Staff recommends approval of the exception to Section 14-5.2(D)(3) to install publicly visible solar panels, finding that all of the exception criteria have been met and that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and Section 14-5.2(E) Downtown & Eastside Historic District Design Standards.

Ms. Lamboy clarified this case will be acted upon by the Governing Body and the Board will make a recommendation to the Governing Body.

APPLICANT PRESENTATION

Ramon Rivera, 3209 Richards Ln., was sworn in. He said they did change the design to a landscape orientation. He showed the design was adjusted mostly for over the pergola where it would have been most visible to the public. He noted the Board's previous approval of 1572 Cerro Gordo for cardboard construction and photovoltaic array. He said they also compromised that design for public visibility. He noted the three addresses on Cerro Gordo with publicly visible photovoltaic set ups.

Member Aguilar Medrano asked if it is possible to put the portion on the pergola on the ground.

Mr. Rivera said due to the restrictions on the property, a ground mount was not an option. He noted the property owner was present.

William Earl, 1233 Cerro Gordo Road, was sworn in. He said in regard to moving the array to the ground, the biggest issue is that the slope on the east is too steep and in terrible shape. He said on the south side the house would shade anything so there is nowhere else on the property.

PUBLIC COMMENT

Stefanie Beninato, previously sworn, said she built that house in 1985 and it was a passive solar design. She suggested putting solar on the southwest corner of the property where it is relatively flat.

BOARD DISCUSSION

Member Bienvenu commented that the Board supports the City's goals and what should be the world's goal, to convert to solar energy. However, the City has a Code and is protective of the historic area. He said those issues need to be balanced and he would be concerned about setting a precedent. It is important for solar arrays to be screened in the historic district. He said in this case he accepts that this property's configuration and the applicant's efforts to look at every option to provide solar energy, has established that this seems the only solution practical. The applicant did a good job of minimizing the public view of the array. He said all of that is to emphasize that the Board is granting the exception because of the property constraints and to establish a record that there were no other alternatives, and that this has been greatly minimized.

MOTION: In Case 2023-006852-HDRB, 1233 Cerro Gordo Rd., Member Bienvenu moved that findings be entered that the Board feels all the exception criteria have been met for the reasons supported by the applicant's comments and the staff report and recommends to the City Council the approval of this project as submitted. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Berkley, Aguilar Medrano and Bienvenu voting in favor and none voting against.

8. **2023-006856-HDRB. 1014 ½ Canyon Rd.** Downtown and Eastside Historic District. Non-contributing. Hoopes and Associates, agent for

Kathy and Jeff Steerman, owners, requests a historic status review with primary facade(s) designation. (Ramon Sarason)

STAFF REPORT

1014 ½ Canyon Road is a circa 1930 single-family, single story, stucco residence listed as noncontributing to the Downtown and Eastside Historic District. The building appears to have been rectangular blocks by the 1950s and remained in that layout until about 1978 when an addition was placed on the northeast corner altering the structure to have a southeast orientation. The south façade appears to have original window fenestrations including a bank of wood casements at the dining room. A non-historic ramada also sits on this façade. The east appears to have been the original opening of the house, but the addition from 1978 encases that area as well at the original porch area. The portion of the east façade not encased by the addition is still historic. On the north façade, the first portion starting at the east is a portion of the 1978 addition. The center contains a new post 2019 porch which shelter a new doorway. The older portion of the house resumes along the western portion of the north façade and includes a single wood window. The west façade may be an earlier addition from prior to 1958 and has wood casements trimmed by s brick sill. There is a small patio with a more recent ramada.

According to the HCPI more recent additions create approximately 39% of the total footprint of the structure.

The applicant requests a status review with primary façade designation(s), if required to direct any future remodels.

STAFF RECOMMENDATION

Staff agrees with the evaluation of historical status on page 11 of the 2023 HCPI performed by John Murphy and recommends the historic status of the structure be designated as noncontributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

APPLICANT PRESENTATION

Craig Hoops, 333 Montezuma, was sworn. He agreed with staff's recommendation. There is no historic fabric left that is visible to the public.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006856-HDRB, 1014 ½ Canyon Rd ., Member Aguilar Medrano moved to approve the application as submitted to maintain the noncontributing status. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Bienvenu and Berkley voting in favor and none voting against.

9. **2023-006858-HDRB. 4 Plaza Fatima.** Downtown and Eastside Historic District. Non-contributing. Devendra N Contractor, agent for Anthony and Jan Jeffries owners, proposes to reconstruct the south elevation primary facade wall which requires an exception to 14-5.2(D)(5)(b) to remove historic material. Remodel to include window, door, roof replacement, HVAC and skylight installation. (Ramon Sarason)

STAFF REPORT

4 Plaza Fatima is a 580 square foot residence listed as contributing to the Downtown and Eastside Historic District. It is located in the circular Plaza Fatima compound with a center garden and a shared gravel driveway. It was built in the vernacular Spanish-Pueblo style in the 1920s. It is 10' – 4" at its top height and has a flat roof. Its windows are a variety of single and multi-lite wood casement and fixed windows. The north elevation windows appear to be added, but the date is not definitive. Its entrance features a multi-lite French door behind a decorative wood screen. The front door opening extends to a four panel wood casement within the same opening. There have been no major exterior alterations to the building; it has remained unchanged since the 1950s when the current owners bought it. The south elevation's combined window and door and the east elevations single four panel multi-lite wood casement help to define the simple vernacular character of the house. A 6' stucco yard wall extends across the east elevation and encloses the back yard courtyard. The wall is believed to have been constructed after 1984, which is when the historic building survey was written. At 6' it is highly unlikely that it was built before 1973; other yard walls in varying heights in the plaza compound were added since the 1980s based on surveys of the other 4 casitas in the Plaza Fatima compound.

September 13, 20022 the Historic Districts Review Board in case #2022-005792-HDRB ruled the property retain its contributing status and the east (1) and south (2) façades be designated primary, and the yard wall be designated contributing.

Now, the applicant proposes the following exterior alterations:

1. Demolition: Demolition includes the removal and reconstruction of the existing south wall of the casita. Based on Mr. Padilla's report, the wall has major structural

deficiencies. Otherwise, demolition will be limited to interior spaces and envelope areas as needed for window and door replacement/installation (e.g. removal of some adobe bricks and demolition of concrete steps in the yard). The portions of the existing casita and its finishes that are in sound condition will remain intact throughout construction.

2. Roof replacement: The existing casita will receive a full roof tear-off and replacement to provide thermal efficiency improvements and reduce water infiltration into the interior spaces.

3. Rooftop appurtenances - Skylights: The proposed renovation includes the addition of a single rectangular skylight to provide adequate light in the kitchen.

4. HVAC: The existing heating system is non-functional, and the renovation will include the installation of 2 mini-split units. The condenser unit will be in the enclosed yard on the east side of the existing structure. The zone where the condenser will be located will be isolated from the neighbors by the existing adobe yard walls.

5. Solar: This project will not include any solar panels.

6. Canales: This project will not include any canales, as water will drain off the roof into a gutter and rainwater catchment system at the southwest corner of the casita.

7. Parapet Alterations: Existing parapets will not be altered except as needed to ensure proper envelope attachment at new roof areas. Parapets will be stuccoed using El Rey brand synthetic stucco in Larkspur (3026L).

8. Yard Walls/Fences: The property is enclosed with several existing adobe yard walls. Existing yard walls will not be altered by this project.

9. Gates: A gate currently exists in an opening in the yard wall at the driveway that is not visible from the main street (Delgado) nor the drive loop to enter the house (Plaza Fatima). The existing gate is a full height, decorative wood door. The existing gate will not be modified.

10. Hardscaping/Concrete: A concrete pad will be built to connect the existing brick deck to the house. All new hardscaping will be within the existing yard walls.

11. Railings: This project does not include any new railings

12. Windows: Windows will be Kolbe Heritage Series Wood Windows (casement, awning, slider and double hung, to match existing), with no grill, true divides, paint color to match existing windows.

13. Doors: Exterior doors for the proposed structure will be Kolbe Heritage Series Swinging Patio Door, 2 panels (wood with clear glass), true divides, paint color to match existing windows.
14. Stucco: Stucco will be El Rey brand non-synthetic stucco in Larkspur (3026L).
15. Paint (trim): All trim will be wood painted with Sherwin Williams Dynamic Blue (SW6958) to match existing windows.
16. Exterior Light Fixtures: A wall sconce is currently present at the gate and the door, to be removed and replaced with same fixture or in-kind.

STAFF RECOMMENDATION

Staff finds that all the exception criteria have been met. The applicant has agreed to provide divided lites in the new window on the east facade (6/HB1.1, key note #9) therefore Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

Vice Chair Guida said that tonight the Board had the window replacement or changes and the reconstruction of the south façade before them.

Mr. Sarason agreed and confirmed that the south and east are primary.

Vice Chair Guida said the Board is reviewing the changes to both of those and staff believes the exception criteria have been met.

Member Aguilar Medrano asked Mr. Sarason to address the condition of the window and whether reusing the window had been considered if the wall was rebuilt.

Mr. Sarason said criteria is, if over 40% degraded it has to be replaced. In this case, the orientation of the new door makes the floor plan more functional and creates access to the garden courtyard.

Member Aguilar Medrano asked why the window needs to be replaced on the east elevation, which is primary.

Mr. Sarason said he would take a look at that.

APPLICANT PRESENTATION

Devendra Contractor, 924 Shoefly Stree, was sworn. He said this is a small project and is a small casita that has been in the family. The French doors are being

added so that outdoor patio becomes part of the indoor space. The window on the east is to bring light and beauty into the casita. The windows have been evaluated and are not in good shape. It would be very expensive to do that and take a lot of time and they are replacing them in kind.

Member Bienvenu said he was confused about what was before the Board. He asked what the changes are that triggered the exception criteria.

Mr. Sarason said it was changes to the east and south primary facades.

Member Bienvenu asked Mr. Sarason to review the east and south façade and focus on the exception criteria.

Mr. Sarason said it is the exception criteria in the packet; the demolition, and the reconfiguration (alteration) of the south façade because it is structurally unsound. The exception is necessary on the east because the window is being replaced to the north.

Member Bienvenu asked if the window being replaced is historic and normally requires a window assessment.

Mr. Contractor replied he couldn't say if a window assessment was done. In the early conversations, Ms. Bordegaray looked at the windows. The directions were to evaluate whether feasible to repair them and it would be quite expensive to restore them. They are proposing the replacement of the window.

Member Bienvenu asked Mr. Sarason if correct that staff would normally require a window assessment, not just a declaration that it would be expensive.

Mr. Sarason said yes, and he did not take a close look at the condition of the east façade. He could tell them that the windows on the south façade are in very bad shape.

Ms. Lamboy added that when the façades were designated there was no concern raised by the applicant about the condition of the south elevation. She also recalled conversations at that time with Angela that if something were to change it would require an assessment. That historic fabric is considered character defining. To request for change is something for consideration. She had a question whether the entire wall would be demolished because the amount of the wall to be demolished is important to consider.

Mr. Contractor said subsequent to the hearing they paid Bobby Padilla to do an evaluation. Based on Mr. Padilla's report the extent of the demolition will be looked at when they open the wall. There is no foundation and vines are growing through the

wall, and you can see the leaves in the living room. The intent is not to demolish any more than needed.

Ms. Lamboy said different demolition criteria apply and she wasn't sure if that has been addressed in the request for approval. She thought it seemed not to be a whole demolition, but a reconstruction of a portion. She deferred to the Board whether to apply the demolition criteria.

Vice Chair Guida said he had two concerns; one is the demolition. He thought this was a repair situation. They know they need to remove historic material, and that falls under consideration of the removal of historic material, not a building demolition.

Ms. Lamboy said that was correct, it is not a demolition, it is a removal of material in order to repair.

Vice Chair Guida asked to confirm that in addition to the removal of historic material, the Board is to consider window and door replacement on a primary facade. He said a window assessment was not provided, but they have staff's assessment, and a professional architect identified the conditions of the windows. He asked, given that this is an exception, if the Board had the discretion to proceed without the window assessment.

Ms. Lamboy said the Code is not specific as to who does the assessments. She thought it would be someone with the design knowledge, which is why some on the Board have that knowledge. That is within the realm of the Board to make that decision independently.

Member Aguilar Medrano said she had no issue changing the historic material on the windows and doors on the south façade, given staff's observation. She was struggling with the east side. The applicant said although possible, it would be expensive to keep the window. Code states, when possible, the window should be repaired. She asked if the applicant was open to keeping that window.

Anthony Jefferies, 520 Los Ranchos Road, Albuquerque was sworn. He said the house was built in 1917 and his family has owned it for 80 years. The property has gradually fallen apart. The south wall has to go, and the window is a complete mess, as is the east window. They are so old the wood is not recoverable. The windows are also single panes and leak. They propose to put a similar window but of modern construction. They are committed to maintaining the historical, but the house is not usable in a modern way. He said his architect is the best and he will take his advice. He noted that the changes requested comply with the tenor of the Code and no one has seen the south wall for 73 years. It has no public view. He said in the competition between historicity and usefulness in a house, that window needs to be upgraded so it

can be maintained and useful. He said they are making every effort to maintain the look of the historic property.

Member Aguilar Medrano asked if the Board wanted a window report before approval, is that his preference instead of keeping the window.

Mr. Jefferies said they do not want to keep the window. He said he would hate to put off the approval because this has been going on since 2013. His request is to approve the window replacement in the same style, so it would be useful.

PUBLIC COMMENT

Stefanie Beninato said she hopes the Board asks for a window assessment. She said she heard the applicant say he would take down the whole wall because there is no foundation. She was concerned about that.

BOARD DISCUSSION

Member Bienvenu said there should be a window assessment for the east façade because it is a precedent that has been set. The practice should be to always request a window assessment to determine whether repair is possible. He said everyone agrees they don't want to further delay the project unnecessarily. The south façade can be established as in such poor condition it has to be altered as requested. He said the exception criteria could be approved with the condition that there be a window assessment. If the assessment indicates the window is not repairable, it could be replaced in kind.

Mr. Sarason confirmed that would be sufficient.

Ms. Lamboy said, also, they should consider the timelines. The exception was granted in May. It will be approximately a month or two before the applicant can get back on the agenda. The Board could do a conditional approval and she is not sure staff would feel comfortable approving once they get the report. She said by the time the applicant gets the exception, possibly the Board could address the issue of the window report.

Member Bienvenu said he wasn't sure how that timeline would work and how it would come back to the Board for review.

Ms. Lamboy said the Board could reference the south elevation's condition of being in poor condition when recommending the exception to the City Council. That condition requires a window assessment to be reviewed independently. Once City Council approves, there will be one minor step to come back to the Board for final approval.

Vice Chair Guida said if the window assessment could be done on the east window and provided within a month and a half that it will take for the recommendation to go to Council, the Board could say if the assessment says the windows are salvageable, they could be repaired. If not, it would be that the windows could be replaced with the approval of the Board.

Member Bienvenu said it is a fairly acceptable standard. If the report says the expert opinion is that the windows are not repairable, staff could approve in-kind replacements.

Ms. Lamboy thanked the Board members for their confidence in staff.

Attorney Ruybalid said he interprets Code to say if the window assessment is not there, the Board can only approve the project with that condition.

Member Bienvenu said he was hoping to approve the alternative instead of going back and forth.

Vice Chair Guida said the alternative is simply staff approval.

Ms. Lamboy said that was correct.

MOTION: In Case 2023-006858-HDRB, 4 Plaza Fatima, Member Bienvenu moved that the Board adopt staff's finding that all exception criteria have been met with respect to the requested changes to the south and east facades, on the condition that the window assessment by a qualified window assessor be provided to staff demonstrating that the windows, specifically on the east side, are not repairable and that the project otherwise be approved and recommended to the Governing Body to grant accordingly. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Bienvenu, Berkley and Aguilar Medrano voting in favor and none voting against.

10. **2023-006859-HDRB. 224-A Maynard St.** Westside-Guadalupe Historic District. John Hertz, agent/owner proposes to construct a 1,554 sq.ft. structure to a height of 14'-9" where the maximum allowable is 15'-2". Exception is requested to 14-5.2 (D)(9)(d) for a pitched roof where one is not permitted. (Ramon Sarason)

STAFF REPORT

This large lot originally contained two separate buildings. The main structure fronting Maynard collapsed about 20 years ago, leaving the back structure, a small territorial style tri-plex with a sloped, metal roof portal. Recently the lot was subdivided to make two separate parcels.

With the need to create a wide fire lane to the back unit and the desire to protect the historic apricot trees on the south of the new front parcel, the result was a T shaped building area. The house design responded with a structure having two intersecting gable roofs that meet in a T.

Now, the applicant proposes to construct a 1,300 sq. ft. single-story single-family residence to a height of 14'-9" where the maximum allowable is 15'-2" with a 154 sq. ft. south-facing portal.

The building facades are wood frame, stucco finish with softened corners, slightly recessed doors and windows, low-slope metal roofs, and stepped parapets. Solar and skylights are planned on the façade of the pitched roof. The facades are dominated with a combination of metal pitched roofs, territorial detailing on the portal and stepped pueblo revival parapets.

The material palette is as follows:

- Exterior walls – Stucco finish (El Rey “Cottonwood”)
- Roof – corrugated Galvalume metal roofing (Western States Zinc “Metalic”)
- Gutters/Downspouts – Round, galvanized south
- Windows– Jeld Wen W5500 double hung wood window, painted wood (“Brilliant White”)
- Doors – Wood, shaker style, with half-lite, painted (Behr “UltraPure White”, Satin finish – to match windows)
- Exposed Woodwork – Painted wood (Behr “UltraPure White”, Satin finish – to match doors/windows)
- Exterior Light Fixtures – Punched, aged tin wall sconces (Dark Brown)
- Portal Floor – Brick (Kinney “Interstate Ebony”)
- Door Hardware – Leverset (Kwickset “Iron Black”)

Existing fences on the lot are cedar and will be stained (Sherwin Williams “Weathered Grey”). A new 6-foot-high stucco adobe wall will be built along Maynard Street and will match the house color. The side gate will be cedar to match the existing fences and stained (Sherwin Williams “Weathered Grey”).

There is a proposed rainwater harvesting system that uses three vertical 600 gallon, black plastic tanks which are slightly less than 4 feet wide by 8 feet tall.

STAFF RECOMMENDATION

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. In addition, the east street facing yard wall @ 6'-0" exceeds the maximum allowable height of 61", the "Cottonwood" stucco color would require approval from the Board, and the metal roofing shall have a matte finish. Otherwise, the application complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(l) Westside-Guadalupe Historic District.

Member Bienvenu asked if there was a disconnect on which ordinance provision applies. He said as he reads 14-5.2(l)1(c), it says buildings with flat gabled, shed or hipped roofs, can be designed as wall dominated solutions and are allowed. He asked why an exception is needed. He said he knows that under the General Design standards there is a provision but thought the specific provision in this district overrides that.

Mr. Sarason said at the General Design criteria, 14-2.5D(9)(d) if over a certain percentage of the building, on a lot of the streetscapes with pitched roofs, they are allowed.

Member Bienvenu said he generally agrees, but (1)c, applies specifically.

Ms. Lamboy said in D(9)(c)ii under the height section of the ordinance there is a criteria regarding pitch, approving over 50% buildings with pitched roofs, the highest building may have a pitched roof. A pitched roof would be acceptable in something that is compatible with the streetscape. That is the also allowed in the Westside Historic District, and also criteria associated with heights.

Attorney Ruybalid said the purpose of subsection l(c) is to define wall dominated. It then goes on to criteria, but it has to be wall dominated in the context of the different styles of roofs. He didn't see this section as saying pitched roofs do not have to comply with any other section of Code, it just has to meet this wall dominated criteria. The purpose of the subsection l(c) is to say that it has to meet the criteria of a wall dominated structure, but it still has to comply with 50% according to this section.

Vice Chair Guida said he doesn't ever remember, he thought it was specific the roof forms are allowed.

APPLICANT PRESENTATION

John Hertz, owner of this property, was sworn. He was confused by the discussion of what is allowed in this district. The major issue has been the pitched roof. He is an architect and made a model which he presented. He said he tried to respond

when he saw that buildings with pitched roofs are to be wall dominated buildings, especially from the streetscape. He moved to Santa Fe 50 years ago and lived half a block from this property. He wanted to return to this neighborhood and bought this property four years ago. It is a large parcel, and he spent the last three years restoring the building in the back. The site has some constraints and when he subdivided, he was forced to put in a fire lane. Also, there are two 60 to 80-year-old cherry trees he wants to preserve, leaving a T-shaped parcel. His response was intersecting roofs with a stepped façade that capped the end of the roofs so they could not be seen. There is a building north of him with a sloped roof that he originally copied and to the east is a suburban looking home.

Mr. Hertz said staff stated that 40% of the buildings on his streetscape have sloped roofs and this is an anomaly. He was surprised he is required to provide an exception, but he did. There is one area where staff feels the exception was not acceptable. He asked whether he is required to get an exception or not.

Vice Chair Guida said he did not believe so but would defer to staff. He said as he reads the district standards it is clear the streetscapes would be primary, and they would consider them. He read from Code noting it clearly says, "*Buildings with flat gabled shed or hipped roofs, can be designed as wall dominated solutions*"... He said in his view, district standards allow for sloped roofs, provided the slope of the roof is not taller than the wall. He thought this met the district standard as a wall dominated building. He said he recognizes the Board in this part of the district has approved numerous cases of sloped roof buildings without exception. He could not see a reason the Board would ask for an exception for the roof. He said his main question is if an exception is required for the wall height.

Mr. Hertz said in terms of the building itself, it is lower than the maximum height, but he is willing to go to five feet. He indicated that he had also received approval for the "Cottonwood" color in 2013 and has proposed the same color for this project.

Ms. Lamboy said regarding the pitch of the roof and height ordinance, those standards would apply to all districts in addition to the discretion of the historic districts. The west side has a higher percentage of homes with hipped roofs and if not 50% or more, it would require an exception. The Board could take action without having to go to City Council because it is part of a height exception, not an exception to design.

Member Bienvenu asked Attorney Ruybalid what the purpose would be to say in (I) that "pitched roofs are allowed" when it is already allowed in another section.

Attorney Ruybalid said it is not clear.

Member Bienvenu said the sentence seems to be superfluous if that did not mean they are always allowed. The prior provision already said they are allowed when you have more than 50% of the streetscape. There would be no reason to add this language.

Attorney Ruybalid said if the Board finds the exception is not necessary, he will structure findings and conclusions accordingly.

Member Bienvenu asked if doing the alternative is possible and the Board find that no exception is required.

Attorney Ruybalid said it would be covered both ways.

Ms. Lamboy said the section regarding height in the section of height, scale, setbacks states, "The height, pitch, scale, and massing of any structure in any historic district has divided and sectioned, shall be limited as provided for in the section unless further restricted within this chapter." She said in staff's opinion, the section that criterion would be required but also the Board could grant this exception with Council review.

Attorney Ruybalid added that the Code also reads that staff shall determine if an exception in this section is required.

Member Aguilar Medrano confirmed that the photo of the house is the Cottonwood color the applicant hopes to match. She said along with her fellow board members she believes sloped roofs are allowed. She asked on the step down of the parapet on the sloped roof, with Territorial accents, if the applicant only did that because of concern about approval of the sloped roof. She said and if not, would he still have gone that route.

Mr. Hertz referred to page 3 of a handout he presented, showing the building, noting that the whole neighborhood is filled with stepped motifs. He said he took inspiration from other roofs in the neighborhood. Another inspiration and the reason the neighborhood is there, was the Our Lady of Guadalupe Church. The church has two gabled roofs and at the end of each façade is a long, stepped down and curved motif. Much of the neighborhood has a flat parapet, but the wall has a simple façade. The roof of his home has a flat line, and the roof has a stepped façade and there are many examples of that throughout this streetscape.

PUBLIC COMMENT

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2023-006859-HDRB, 224-A Maynard St., Member Bienvenu moved, given staff’s determination that exception criteria are necessary for the reasons stated tonight the Board adopts findings that the exception criteria have been met for the reasons stated in the applicant’s responses to the criteria, and for the project to be approved along with the color "Cottonwood" as previously approved in the 2013 hearing.

Vice Chair Guida asked about making a note of the yard wall reduction in height.

Member Bienvenu added that no exception criteria is necessary for the yard wall height because the applicant reduced the height to 5 feet.

The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (3-0) roll call vote with Members Berkley and Aguilar Medrano Bienvenu, voting in favor and none voting against.

I. DISCUSSION ITEMS

None

J. MATTERS FROM THE BOARD

None

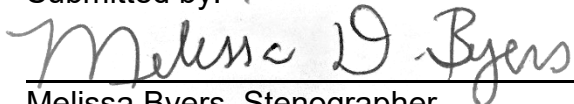
K. NEXT MEETING: Tuesday, June 27, 2023

L. ADJOURNMENT

MOTION: Member Aguilar Medrano moved to adjourn the meeting at 8:50 pm. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by (3-0) roll call vote with Members Aguilar Medrano Bienvenu, Berkley voting in favor and none voting against.

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Approved by:

Cecilia Rios, Chair

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-6708-HDRB

Address – 128 S. Capitol St. (Motor Pool and Garage buildings)

Agent’s Name – JenkinsGavin, Inc.

Owner/Applicant’s Name – State of New Mexico

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 9, 2023.

BACKGROUND

Two small structures at 128 S. Capitol St., immediately west of the Concha Ortiz y Pino building in the Capitol Complex Historic Neighborhood, are the State of New Mexico Fleet Management (or motor pool) Office and a separate three-door garage. The motor pool office is a non-residential structure built between 1966 and 1969 in the Territorial Revival style. The building is constructed with stuccoed concrete masonry unit (CMU) block with a brick parapet, single-hung wood windows with white, painted wood trim in the Territorial Revival style. Some windows have brick sills. Offices added to the rear (south) of the structure by 1981 are a non-historic modification. The garage is an unremarkable cinderblock, unstuccoed building with a sloped roof, no architectural detail and no fenestration other than the three overhead bay doors on the south elevation and a pedestrian door on the west side.

The buildings at 128 and 130 S. Capitol St. represent the evolution of the State Capitol government campus. The subject buildings represent the second phase. In 1957 the City of Santa Fe adopted a historic styles ordinance, which called for buildings to be built in the Old or Recent Santa Fe Style. Because they were associated with the State of New Mexico, it was determined that these buildings would be exempt from the ordinance.

These two structures have non-contributing designations. The Historic Districts Review Board determined the status of the two structures at 128 S. Capitol St. and other Capitol Complex structures in a hearing June 12, 2012 (see Case # H-12-017-A). JenkinsGavin, Inc., agent for a State Capital Outlay Project (an executive office building) now requests a status review, with a request for these structures to be maintained as non-contributing. The current request for historic status review is part of a larger project with forthcoming requests that are subject to SFCC Section 14-5.2(M), State Capital Outlay Projects.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings

- (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of 130 S. Capitol St. be maintained as non-contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
 3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
 4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
 5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
 6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
 7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
 8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
 9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
 10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board find, consistently with the Staff’s recommendations, that the fleet management building and the garage at 128 S. Capitol St. meet the definition of “noncontributing” structures. The two buildings do not add to the historic associations or architectural design qualities significant for the district, and do not exhibit sufficient historic integrity to qualify as contributing.
 11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review the historic status of the structures.
3. The Board designates the Fleet Management Office and the garage at 128 S. Capitol St. as non-contributing structures.

IT IS SO ORDERED ON THIS 27th DAY of JUNE, 2023, BY THE HISTORIC

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation
Case # 2023-6708-HDRB

DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-6567-HDRB

Address – 418 Apodaca Hill

Agent’s Name – Patricia & Gary Kopren

Owner/Applicant’s Name – Patricia & Gary Kopren

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on April 25, 2023.

BACKGROUND

The building at 418 Apodaca Hill is a single-family residence in the Downtown and Eastside Historic District. The house, referred to as the Catalicia Armijo house, was built in the late 1930s and has had several additions over the years. An addition to the south elevation was constructed in November, 2016. The house has had a long-standing designation as contributing, which was confirmed by the Board in a hearing on February 14, 2017 (see Case # H-16-106-A), with the southernmost east façade, not containing the bay window, designated as the primary elevation.

The Applicant now proposes the following alterations:

1) Construction of a 2026-square-foot single-story addition on the north and east elevations, which would connect through the existing bay window opening on the east elevation. The purpose of the addition is for a bedroom suite, a two-car garage, and storage. Height of this addition will be 13 feet, including the parapet, which is within the height limitation for that streetscape. The construction will be of semi-stabilized adobe block with stucco finish in El Rey Buckskin to match the existing finish.

2) Construction of a 204-square-foot portal on the east elevation’s primary façade. The design will feature tapered wood posts with an exposed wood header and stucco parapets. Height is proposed to be 9’10” from the finished grade.

The Staff has determined that two exceptions are necessary for approval of this work.

Exception 1: Per SFCC Section 14-5.2(D)(2)(d), an addition may be no larger than 50 percent of the existing footprint of the house, and this 2,026-square-foot addition is greater than 50 percent of the approximately 2,325-square-foot existing footprint.

Exception 2: Per Section 14-5.2(D)(2)(c), additions are not permitted to primary façades, and the portal addition would attach to the east-facing primary facade.

The request for living room and portal additions on the west elevation was heard and approved in 2017 (see Case # H-16-106-B). It was determined that the exception criteria had been met regarding an addition larger than 50 percent of the historic footprint.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards. Staff found that all the exception criteria have been met and recommends approval of the application as it complies with Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(E), Downtown & Eastside Historic District.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown & Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3) (a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted on primary façades; and under Section 14-5.2(D)(2)(d), additions may be no larger than 50 percent of the existing footprint.
9. The Applicant proposes to construct a 2,026-square-foot addition on the east elevation at the section with the bay window (a non-primary façade) and a 204-square-foot portal on the portion of the east elevation that is a primary façade.
10. Staff determined that exceptions to SFCC Section 14-5.2(D)(2)(c) and SFCC Section 14-5.2(D)(2)(d) would be required for approval of the Application, and the Applicant requested these two exceptions.
11. To obtain exceptions, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met for both exceptions.
12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff’s finding that the

Applicant has conclusively demonstrated that all criteria have been met for both required exceptions:

- a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exceptions would not damage the character of the district because: The style and size of the additions do not alter the architectural style of the existing property. The addition's size is consistent with the sizes of the surrounding homes, and the stepped masses keep the scale consistent with the neighborhood buildings;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare because: The house currently has only one bedroom, and the creation of an additional bedroom will better enable multiple generations of the Apodaca family to lodge and/or reside together. The garage addition will permit them to park their cars indoors to protect them from theft and vandalism. The portal will assist in keeping water and moisture away from the front door, which faces up the slope on this property; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts because: Design alternatives to this one are unsuitable: a separate casita or a second story would not accommodate an elderly family member who needs attention and cannot negotiate stairs. A bedroom addition will permit the family to host their elderly mother, who is a long-time resident of this neighborhood.
13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board recommends approval of project items 1 and 2 as set forth in the Application, as recommended by Staff.
3. The Board recommends approval of the two exceptions requested in the Application.

IT IS SO ORDERED ON THIS 27th DAY of JUNE, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5832-HDRB

Address – 1147 ½ Camino San Acacio

Agent’s Name – Will McDonald

Owner/Applicant’s Name – George Johnson

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 23, 2023.

BACKGROUND

The structure at 1147½ Camino San Acacio is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The residence has been through many different phases of construction and is part of what was once the Abeyta/Tafoya family compound. The building was constructed in many phases from the 1920s to the 1980s. The structure is composed of two separate buildings that were joined with additions over time. While much of the building qualifies as being 50 years old or older, changes and additions over time have erased the character of the original historic buildings. The current owner purchased the property in 1992 and constructed an addition on the east elevation as well as renovated the detached storage building into an accessory dwelling unit in 2005. The Historic Districts Review Board reviewed the status of the residence on March 14, 2023 (Case # 2023-6394-HDRB) and retained the non-contributing status.

At this hearing, the applicant requests board approval of the following items:

- 1) A 136-square-foot addition on the south elevation of the residence to height a of 20’ 11” to match the existing height of the structure.
- 2) Windows on the addition will be wood with white metal cladding.
- 3) The overhang at the door of the addition will have wooden brackets stained with Cabot “chestnut.”
- 4) Replace the non-historic sliding windows on the west elevation to the south of the addition with double-hung, wood-clad windows.
- 5) Stucco the addition using El Rey cementitious “Kokanee” to match the existing.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC

requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report, and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1-5 as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 27th DAY of JUNE, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2023-6848-HDRB

Address – 404 Apodaca Hill

Agent’s Name – Rick Van Sickle and Paige Webster

Owner/Applicant’s Name – Rick Van Sickle and Paige Webster

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 13, 2023.

BACKGROUND

404 Apodaca Hill, is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The 1,431-square-foot, single-story Maria Apodaca Vigil House is constructed of adobe with a flat hipped roof, and was constructed around 1933 in a vernacular manner. At this hearing, the Applicant asked the Board to review the structure’s historic status and to designate primary facades, if applicable.

The home has textured stucco in a faded amarilla tone. The roof has a slight shed pitch, sheathed with corrugated metal panels. The main residence door of the original structure faces north. An eastside entry was added before 1983 and currently serves as the main entrance to the building, though it enters directly into the bathroom. Most of the windows appear to have been installed in the 1950s and are steel casement windows. The south elevation windows appear to be older, wood sash windows. An addition at the west elevation, and a porch at the east elevation were built circa 1987.

The north elevation is nearly symmetrical and is divided into three areas. The east and west section of this façade have rectangular openings holding steel casement windows. The center section of the north façade is the entry to the structure. The porch has five crumbling concrete steps, and has a 3/4-glass door divided into nine lites. The door is hung on butted hinges and does not appear to be historic. The door sidelights have five panes each. The porch roof decking has large vigas topped with wide boards. A wood lintel runs above the opening. The beam is carved with an alternating pattern of stars and circles. The non-historic plywood structure to the west end of the north façade shelters the stairs to the basement.

The house is over 90 years old and is associated with the family that developed the neighborhood. A significant architectural aspect of the home is its recessed porch at the north elevation, with its formal door and carved beam. Other non-historic elements of this façade, such as the steel windows and plywood structure, detract from the character and historic design of the residence.

The staff recommends the Board upgrade the house to contributing status, with the north elevation, excluding the non-historic elements, designated as the primary façade.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be upgraded to contributing, with the north façade, excluding the non-original elements, designated as the primary façade, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by staff. The house was owned for most of its 90 years by members and descendants of the Apodaca family, who owned a large portion of the ridge which is now Apodaca Hill. It exemplifies vernacular construction and has historic integrity, despite the replacement of some doors and windows and other non-structural alterations.
11. The Board finds that the north façade is the primary elevation of the structure with the features that define the character of the structure’s architecture. The recessed porch with its wood lintel, carved with alternating stars and circles, and the doorway opening with sidelites are features that define the character of the building’s architecture.

12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board grants the Applicant’s request to review historic status.
2. The Board upgrades the status of the structure to contributing.
3. The Board designates the north elevation as the primary façade.
4. The north façade door, steel casement windows and plywood stairway covering are not original to the building, are not features that define the character of the building’s architecture, and are excluded from the designation of the primary façade.

IT IS SO ORDERED ON THIS 27th DAY of JUNE, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2023-6850-HDRB

Address – 1122 Old Santa Fe Trail

Agent’s Name – Chuck Staben

Owner/Applicant’s Name – Chuck Staben

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on June 13, 2023.

BACKGROUND

1122 Old Santa Fe Trail is a single-family residence constructed in 1962 and listed as non-statused in the Historic Review District. A fragment of the Santa Fe Trail is located on the southern portion of the lot and is an archaeological site. At this hearing, the Applicant asks the Board to review the historic status and to designate primary façades, if applicable, for the main residence, garage, and garden planter wall.

Known as the Donald and Dorothea Mossman House after the former Columbia University chemists who built it, the residence is a 2,803-square-foot Spanish Pueblo Revival Style, single-story residence with a guest house to the southeast, connected by a breezeway. The main residence is stuccoed block, painted white, with two portals on the north elevation. One portal is original to the structure, the other was built after 1966. The original westernmost portal has square rafters, an exaggerated overhang, and is trimmed with traditional capitals. It holds the formal entry to the house. The windows consist of larger sash and fixed units characteristic of their period. They are surmounted by textured headers recessed in the stucco. The doors are Meem replicas with the typical display of geometric and floral figures.

Original to the property is a garage located a few feet northeast of the house. The free-standing, block-constructed building has doors facing northwest and a window on the northeast elevation. The stucco planter to the northeast of the main residence within the parking circle is most likely original to the house in 1962. It is easily seen in the 1966 aerial and previously enclosed an oval lawn and grid-pattern garden. The garden has given way to native plants.

The 1,501-square-foot guest house runs parallel to the older home and has modern windows, including lines of small, square casement units across the north and south elevations. On its north façade, the guest house has an overhang with a brise-soleil applied more stylistically than functionally.

Elements of the primary house are characteristic of its time. The northwest elevation – specifically the part that holds the original portal and entry – best represents this period. Therefore, the Staff recommends that the Board designate the original house, garage, and the stuccoed planter in the parking area to the northeast of the residence, as contributing to the Historic Review District. The Staff recommends that the original northwest portal section of the

main residence be designated the primary façade of the residence, and the northwest elevation as the primary façade of the garage. (The lot and house are not situated squarely with respect to geographic directions.)

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the original house, garage and stuccoed planter to the north of the residence be designated as contributing to the Historic Review District, with the original northwest portal section designated as the primary façade of the residence, the northwest elevation recommended as the primary façade of the garage, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Historic Review District and is subject to the district design standards set forth in SFCC Section 14-5.2(F).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the main residence, garage and stuccoed planter wall meet the definition of “contributing structure(s),” as recommended by the Staff. These structures help to establish and maintain the character of the Historic Review District. The proximity of the house to the historic Santa Fe Trail and the history

of the house, reflecting the large-lot, country estate development promoted by the historic White Sisters, are historic associations significant for the district.

11. The Board finds that the northwest façade of the main residence, excluding the post-1966, northernmost portal (closest to the street), is the primary elevation of the main residence, with the features that define the character of the structure’s architecture.
12. The Board finds that the northwest façade is the primary elevation of the garage, with the features that define the character of the structure’s architecture.
13. The Board finds that the color (white) of the structures at 1122 Old Santa Fe Trail is non-conforming to the Historic Review District, and is not a feature that defines the character of the buildings’ architecture.
14. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board grants the Applicant’s request to review historic status.
2. The Board designates the main residence as a contributing structure.
3. The Board designates the garage as a contributing structure.
4. The Board designates the garden planter wall as a contributing structure.
5. The Board designates the following elevation of the main residence as a primary façade: Northwest, excluding the post-1966, northernmost portal.
6. The Board designates the following elevation of the garage as a primary façade: Northwest.

IT IS SO ORDERED ON THIS 27th DAY of JUNE, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe, New Mexico

memo

DATE: June 27, 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

Case # 2023-006954-HDRB

Address: 578 West San Francisco Street
Historic Status: Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: [2017 photos, 2017 case minutes]

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

578 West San Francisco Street was a single-family residence that was constructed in the Spanish-Pueblo Revival style by 1940. The building featured rounded parapets and corners and a northwest corner porch with carved corbels, exposed headers, and a square post. The porch entry was a wooden picket gate and a wooden picket baluster installed at the west side of the porch. Two narrow trellises were attached to the front of the porch. The windows and door were not historic.

The building is listed as contributing to the Westside-Guadalupe Historic District and the north and west facades are designated as primary.

578½ West San Francisco Street is a casita and garage at the rear of the property that was constructed in a vernacular manner by 1942. The building is listed as non-contributing to the district.

A river rock yard wall was constructed at an unknown historic date. The yard wall is listed as contributing to the district and the north elevation and northwest corner are designated as primary.

A twisted wire fence with a wooden top rail was installed from the yard wall corner along the east side of the driveway. These structures have no historic status designation.

A fire occurred in the main residence which did extensive damage to the interior of the structure prior to 2017. In 2017, under case H-17-088A the applicant had a status review where the status of the structures was determined as listed above. Later in the year under case H-17-088B the applicant proposed to repair the structure by replacing the roof, windows, doors, and constructing an 83 sq. ft. addition. Further renovations included converting the garage to a casita, change opening dimensions, and removing the pitched roof. The yard wall was to be repaired while the wire gate was to be replaced with a wood gate in the existing opening.

The applicant obtained permit 2021-15463-EXTR in 2021 to begin the approved renovations. The permit lapsed into an expired status on May 23, 2023.

During the renovation, the roof of the main residence was removed. Without the roof, the walls began to crumble and deteriorate. The walls are no longer standing.

Due to this lack of the original structure, the applicant requests a downgrade of the status of the contributing structure to a non-contributing status.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and

- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

(B) Minimum Maintenance Requirements

All buildings and structures in the historic district over which the board has jurisdiction to determine whether a demolition permit should be approved or denied and all landmark structures over which the governing body has such jurisdiction shall be preserved against decay and deterioration and free from certain structural defects in the following manner, by the owner thereof or such other person or persons who may have the legal custody and control thereof. The owner or other person having legal custody and control thereof shall repair such building or structure if it is found to have any of the following defects:

- (1) Those which have parts thereof which are so attached that they may fall and injure members of the public or property ;
- (2) Deteriorated or inadequate foundation;
- (3) Defective or deteriorated flooring or floor supports or flooring for floor supports of insufficient size to carry imposed loads with safety;
- (4) Members of walls , partitions or other vertical supports that split, lean, list or buckle due to defective material or deterioration;
- (5) Members of walls , partitions or other vertical supports that are of insufficient size to carry imposed loads with safety;
- (6) Members of ceilings, roofs, ceiling and roof supports or other horizontal members which sag, split or buckle due to defective material or deterioration;
- (7) Members of ceilings, roofs, ceiling and roof supports or other horizontal members that are of insufficient size to carry imposed loads with safety;
- (8) Fireplaces or chimneys which list, bulge or settle due to defective material or deterioration;
- (9) Fireplaces or chimneys which are of insufficient size or strength to carry imposed loads with safety;
- (10) Deteriorated, crumbling or loose plaster;
- (11) Deteriorated or ineffective waterproofing of exterior walls, roofs, foundations or floors, including broken windows or doors;
- (12) Defective or lack of weather protection for exterior wall covering, including lack of paint, or weathering due to lack of paint or other protective covering; or
- (13) Any fault or default in the [building](#) or structure that renders the same structurally unsafe or not properly watertight.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;

- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

5.2(C)(2)(f) Restoration of Status

If a property owner makes changes to a structure without the proper city approvals which result in the lowering of the structure's status, staff or the board may require the property owner to restore the structure such that its former status is restored.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair or structural stability of the structure under consideration.

14-5.2(I) Westside-Guadalupe Historic District

(1) District Standards

Compliance with the following structural standards shall occur whenever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, or stone, shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials;
- (b) The color of stuccoed buildings shall predominantly be in browns, tans, local earth tones and soft pastels. Surfaces of stone or brick shall be in the natural color. Entryways, and portales or porches may be emphasized by the use of white or other colors. Painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns or using buildings as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation;
- (c) Roof form, slope, and shape. It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, or hipped roofs can be designed as "wall dominated" solutions and are allowed. The height of the roof above the wall shall be no greater than the height of the wall. Folded plate, hyperbolic or mansard roofs are not allowed;
- (d) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in the case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors, by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- (e) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened with opaque materials by

- raising the parapet, boxing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems;
- (f) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete block, unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in the street frontage;
 - (g) Greenhouses
 - (h) Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and that greenhouses made from enclosed porches or portales maintain the shape of the porch or portal;
 - (i) Porches and portales are encouraged;
 - (j) When parking spaces are required for commercial or multi-family residential buildings, they shall be placed to the rear or side of the building.
- (2) Walls; Fences; Solar Collectors; Administration
Applications for erection, alteration, or demolition of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, and referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)

14-3.14 Demolition of Historic or Landmark Structure

(A) Summary of Procedure

- (1) Upon receiving an application for demolition of a structure within the historic districts the HDRB shall, within sixty-five calendar days from the date of application, either grant or deny the application. Ordinarily, the HDRB will act on an application for demolition at its next regular meeting, if the application is submitted in proper form at least seven days before its next regular meeting; however, the HDRB may use the entire sixty-five day time period if the HDRB, on motion duly passed, determines such delay is necessary.
- (2) Upon receiving an application for demolition of a landmark structure the HDRB shall, within sixty-five calendar days from the date of application, make a recommendation to the governing body to either grant or deny the application.

(B) Hearing Required

- (1) In all applications involving the demolition of a structure, provision shall be made for a hearing, as set forth in the preceding section.
- (2) The HDRB or governing body, as applicable, shall restrict its review to a consideration of whether the application will be in conformity with the standards established by this section.
- (3) Notice of the time and place for each hearing shall be sent in writing to each applicant.

- (4) An agenda of the HDRB shall be sent to all groups requesting notification and copies of meeting agendas, as set forth in the officially adopted neighborhood planning policies.
- (5) On-site notice, by a sign of proposed demolition and of the time, date and place of the HDRB or governing body review shall be posted by the city on the affected property fourteen days prior to HDRB or governing body review of application for demolition. Such notice shall be prominently displayed, visible from a public street and securely placed on the property.

(C) Staff Review and Report

Before granting approval or denial to a demolition request, the land use director shall provide the following information on the structure under consideration.

- (1) A report on the historic or architectural significance of the structure;
- (2) A report from the city building inspector on the state of repair and structural stability of the structure;
- (3) If the structure is more than seventy-five years old, and the entire project of which demolition is a part requires an archaeological clearance permit, a report from the land use director on whether the demolition would damage possible archaeological artifacts; and
- (4) Other information as requested by the HDRB or governing body.

(F) Denial of Demolition Request

A determination that the structure should not be demolished shall impose a duty on the owner or other persons having legal custody and control to immediately take the action required under Section 14-5.2(B) (Minimum Maintenance Requirements).

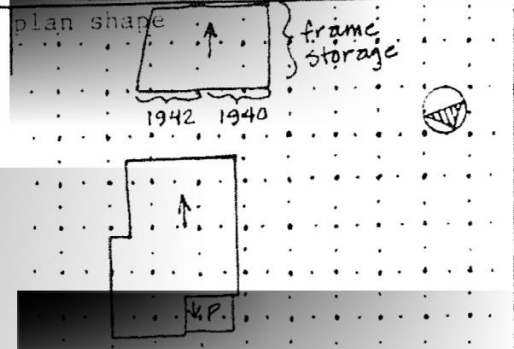
(G) Standards

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair and structural stability of the structure under consideration.
- (2) In determining whether a request for demolition of a landmark structure should be approved or denied, the HDRB and governing body shall consider the following:
 - (a) The historical importance of the structure; and
 - (b) The state of repair and structural stability of the structure.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

43290

building threatened? ves	surveyed date 8/85 by SL	county SANTA FE	ID no. 05163172
field map SFHD # 7	number 172	UTM reference zone 12 13	easting northing
location description 578 W. San Francisco		city/town SANTA FE	
		land grant/reservation na	
building name		legal description tensp N S range E W sec	
film roll by SL no. 6	negative nos. 2	loc. of neg. HPB	plan shape 1942 1940 } frame storage



date of construction
Pre '40 estimate 1939 actual source
DIRECTORY OWNER

use
present residential
other _____
historic residential
other _____

condition
 excellent good
 fair deteriorating

degree of remodeling
 minor moderate major

describe: new alum. windows / rf. once flat with canales, now shed
surroundings
yes.

relationship to surroundings
 similar not similar

district potential
 yes no

significance
 eligible of none
if eligible, interest why?
Contrib

associated buildings? yes
what type?
storage/garage at rear
if inventoried, list ID nos.

SPR
wall material/surface
conc.
adobe/stucco

architectural features
flat rounded parapet concealing exp'd shed to s.,
extend'd eave w/ concealed rafters & alum gutter;
windows: all new alum. sliding, recessed, projecting
sill on one window on W.; doors: 1 large single with
large single light; porch: conc. slab w/ square wd. crm
post, wd. zapatas on post & at corners, exp'd wd. lintel,
wd. canale on N.; rear porch has conc. stoop;


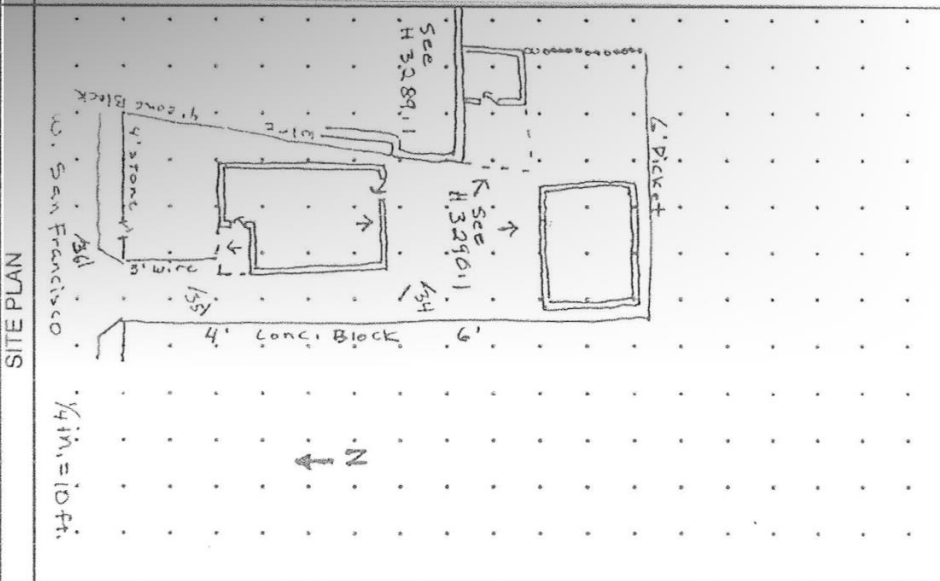
rock & conc. wall (3 1/2'-4') on N. prop. line

rear storage sheds to south

Elsie S. & John P. Roubal, owners



see back? yes

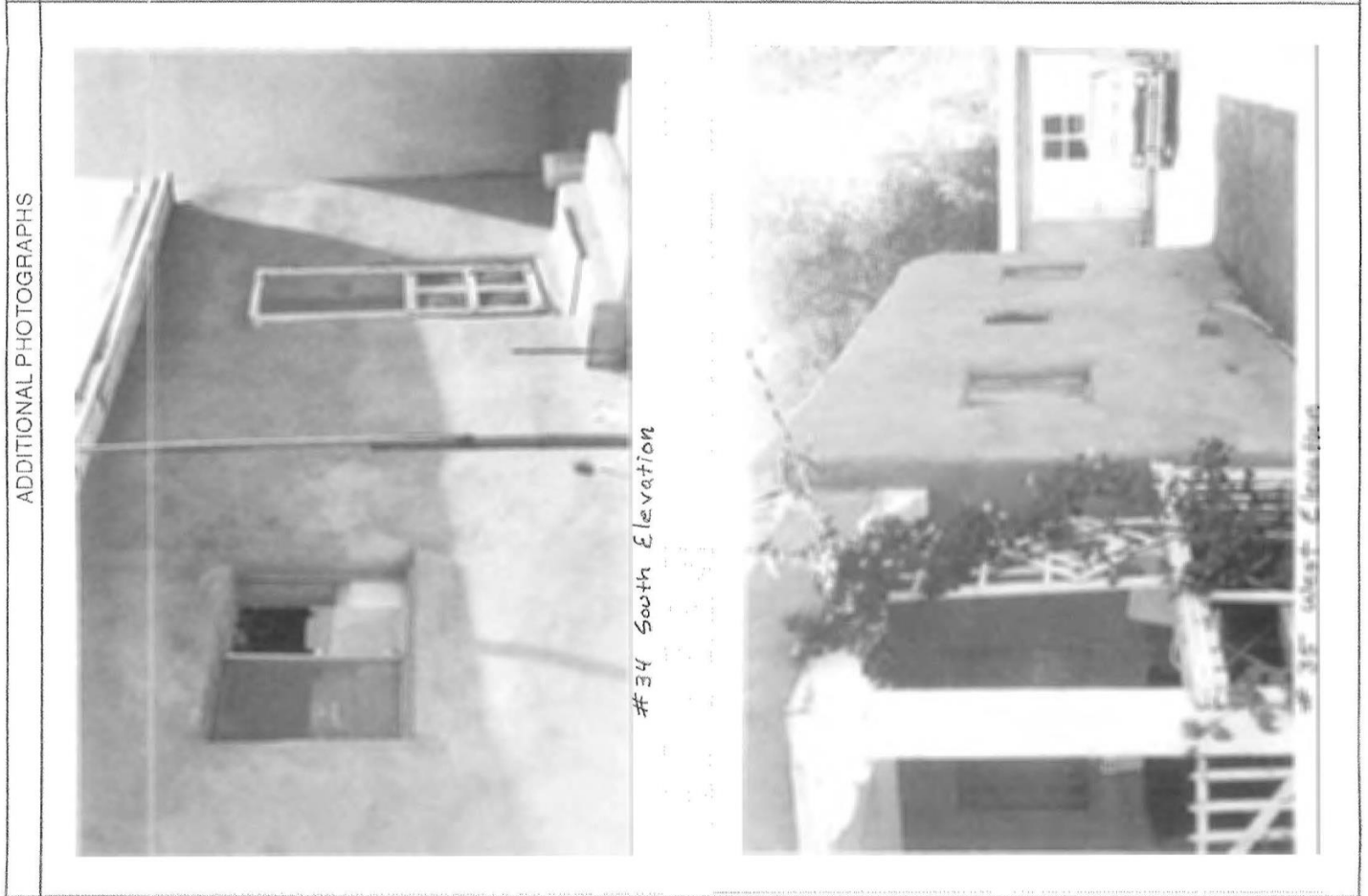
NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1996

IDENTIFICATION	ADDRESS: <i>578 W. San Francisco</i>		OLD ID NUMBER: 0516 3172
			BUILDING NAME:
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	SANTA FE ID NUMBER: H 3290
	ZONE 12 13	TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>23</u> SE 1/4 NE 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Status Map 1996		
	DATE OF CONSTRUCTION: ____ ESTIMATE <i>by 1940</i> ACTUAL		
	SOURCE(S) <i>City Directory</i>		
	ARCHITECTURAL STYLE: <i>S.P. Rev.</i>		
	USE:		
	HISTORIC: <u>residential</u> OTHER _____		
	PRESENT: <u>residential</u> OTHER _____		
	SURROUNDINGS: <i>residential</i>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
WHAT TYPE? <i>Garage/ apt. & storage/carport</i> IF INVENTORIED, LIST ID NUMBER(S) <u>H 3290.1</u>			
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR			
EXPLAIN: <i>Atom. sliding windows</i>			
SIGNIFICANCE	OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input checked="" type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
	BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE	
		LOCAL DESIGNATION: <u>Westside-Guadalupe</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
		LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	

SURVEYED 5/20/96 BY MJK

NEGATIVES WITH NMHPD ROLL # 1 NEG # 34 TO 36

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	Flat w/parapet drains across rear, wood canale on porch	
	BUILDING WALLS	Tan stucco on adobe	
	FOUNDATIONS	UV	APPROX. HEIGHT (FT.) 11 ft.
	DOORS	 solid wood  wood panel w/ 1 glass pane	Front yard has a wire gate & a wrought iron gate
	WINDOWS	Aluminum sliding	
	PORCHES OR PORTALES	Flat roof w/parapet, 1x10 decking, 4x6 joists, 6x6 Beams, corbel brackets 8x8 post, trellises & wood balustrade.	
	ARCHITECTURAL DETAILS	Bullnosed windows, some windows on E. side (no photo).	
	FENCES/WALLS	N: 3' stone wall E: 6' stucco on conc. block. W: 4' to 6' conc. block wall. E: also has a 4' wire fence at side of house & coyote at rear.	
	SITE FEATURES		
	OTHER/COMMENTS	This & H 3290.1 are owned by Elsie Roybal. No sankorn Maps available for this area	


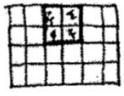


NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1996

IDENTIFICATION	ADDRESS: 578 W. San Francisco (rear)	OLD ID NUMBER: 0516 3172.1	
	UTM REFERENCE EASTING NORTHING ZONE 12 13	LEGAL DESCRIPTION: TNSP 17 <u>N</u> S RANGE 9 <u>E</u> W SEC 23 SE 1/4 NE 1/4	BUILDING NAME: SANTA FE ID NUMBER: H3290.1
	FIELD MAP Santa Fe Historic Status Map 1996		
DATE OF CONSTRUCTION: by 1942 ESTIMATE _____ ACTUAL SOURCE(S) Owner			
BUILDING DATA	ARCHITECTURAL STYLE: Vernacular	PHOTO	#33 North Elevation
	USE: HISTORIC: residential OTHER <u>garage/storage</u> PRESENT: <u>residential</u> OTHER _____		
	SURROUNDINGS: residential	SITE PLAN	
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
	WHAT TYPE? <u>main house</u>		
	IF INVENTORIED, LIST ID NUMBER(S) <u>H 3290</u>		
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR	SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
EXPLAIN: <u>sliding Aloum windows</u>		LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE	
OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input checked="" type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED		LOCAL DESIGNATION: <u>Westside-Guadalupe</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		

SURVEYED 5/20/96 BY MJH

NEGATIVES WITH NMHPD ROLL # 1 NEG # 33 TO _____

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	Flat w/overhang - storage shed has parapet drains across s side	
	BUILDING WALLS	Tan stucco on conc. block & frame	
	FOUNDATIONS	not visible	APPROX. HEIGHT (FT.) 10 ft.
	DOORS	 wood w/ glass pane	Garage  wood 4 lights - 20 panes
	WINDOWS	Aluminum sliding	
	PORCHES OR PORTALES		
	ARCHITECTURAL DETAILS	1x4 white trim on some windows & doors	
	FENCES/WALLS	E: coyote S: 6' picket W: 6' conc. block	
	SITE FEATURES		
OTHER/COMMENTS	Odd - L shaped lot. These structures & the one in front are owned by Elsie Roybal. Herson lives in the apt. adjacent to the garage. Since there is no separate address and no Sanborn map it is not possible to get an actual date of construction, but Elsie's estimate seems reasonable. No Sanborns for this area.		
ADDITIONAL PHOTOGRAPHS			

578 West San Francisco Street

Amendment to existing HDRB approval

This house is currently a HDRB approved project and has a building permit.

The house was being restored after a fire destroyed it.

It was subsequently gutted down to the adobe walls in preparation to rebuild it as approved by the HDRB.

When the roof was removed the walls were covered and braced until a new roof structure could be constructed.

There was no existing bond beam to tie all of the walls together. The adobe was dry and crumbled to the touch. Even with the bracing and covers the walls started to cave in. Upon field inspection one can see just how fragile the situation is.

Naturally, there was safety concern, so the owner hired a structural engineer to assess the situation. Attached to this application is his report that essentially states the walls are no longer structurally viable. There is no process or technique that will save what is left. The walls are not technically on a proper foundation that is just a layer of parget over mud. In most areas the walls are not even properly tied together and are severely deteriorated.

The owner proposes to rebuild the house as originally approved by the HDRB. No changes to the outside appearance. . Essentially not changing anything as originally drawn except to utilize frame construction in the walls as opposed utilizing the original adobe since it is no longer possible to save them.

The owner intends to replicate the original window offset from the outside, previously approved stucco type and color along with the previous approved windows per the HDRB. This will basically be a brand new house that will be homage of the original house.



Hands Engineering, Inc.

March 6, 2023

Mr. Edgar Villaescusa
19 Pueblo Garcia Road, #17
Santa Fe, NM 87508

***RE: 528 WEST SAN FRANCISCO STREET
SANTA FE, NEW MEXICO
Hands Engineering Project No. 2020-5592***

Dear Mr. Velasquez:

Per your request, Hands Engineering, Inc. was employed to perform a site visit to the referenced site. On March 1, 2023, James Hands visited the site to gather the information necessary for our analysis. The purpose of the site visit was to evaluate the structural condition of the adobe walls and concrete footings which remain at the site.

Please note that the evaluation was based on my visual observation. Photos were taken at the site and are enclosed.

The existing adobe walls and the existing footings are not structurally sound and cannot be retrofitted to be structurally stable. The existing adobe walls and the existing concrete footings shall be removed and hauled away off site.

Because the structure is in a Historic District, the wall shall be rebuilt with adobe and the building foot print and wall elevations shall be rebuilt like the original building.

The new foundation shall be a new monolithic concrete slab on grade with a monolithic turndown edge to support the walls. These new footings will not be visible, thus maintaining the historic nature, but will support the structure.

The conclusions and opinions stated are based on our understanding of the facts and evidence stated in the discussion above. Should additional facts or evidence become available pertaining to this project I reserve the right to review that information and revise my opinions when appropriate.

Please note that our office has provided structural consultation for only those items listed in this letter. Hands Engineering, Inc. assumes no responsibility for the structural adequacy of any other members or systems in this project.

Please do not hesitate to contact our office should you have any questions or if we can be of further assistance.

Respectfully submitted,

James A. Hands
James A. Hands, PE
President



Encl: Photos



2020-5592

578 West San Francisco, Santa Fe, NM

03-1-23





2020-5592

578 West San Francisco, Santa Fe, NM

03-1-23





2020-5592

578 West San Francisco, Santa Fe, NM

03-1-23





2020-5592

578 West San Francisco, Santa Fe, NM

03-1-23



Photos and
drawings after the
fire from 2017
prior to current
construction



W SAN FRANCISCO ST

QUINTANA ST

CANDELARIO ST

578 W SAN FRANCISCO ST

576 W SAN FRANCISCO ST

600 W SAN FRANCISCO ST A

576 W SAN FRANCISCO ST

578 1/2 W SAN FRANCISCO ST

538 W ALAMEDA ST

534 1/2 W ALAMEDA ST



Street Views



578 West San Francisco Street



Front North Elevation



578 West San Francisco Street



NW Corner Elevation



West Elevation

578 West San Francisco Street

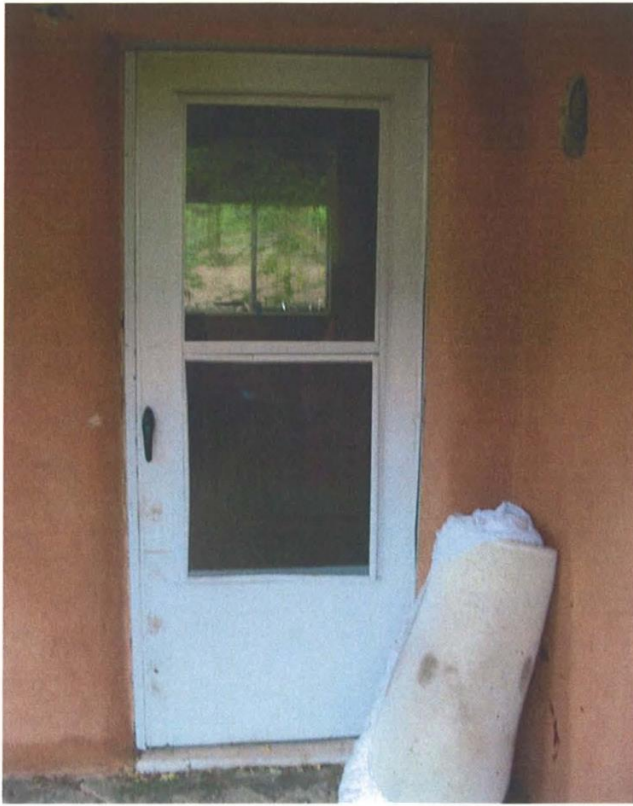


West Elevation Window



West Elevation Windows

578 West San Francisco Street



Front Porch

578 West San Francisco Street



Front North Elevation Window



North Elevation Window under Porch

578 West San Francisco Street



Rear South Elevation with West Elevation



South Elevation with portion of East Facade

578 West San Francisco Street

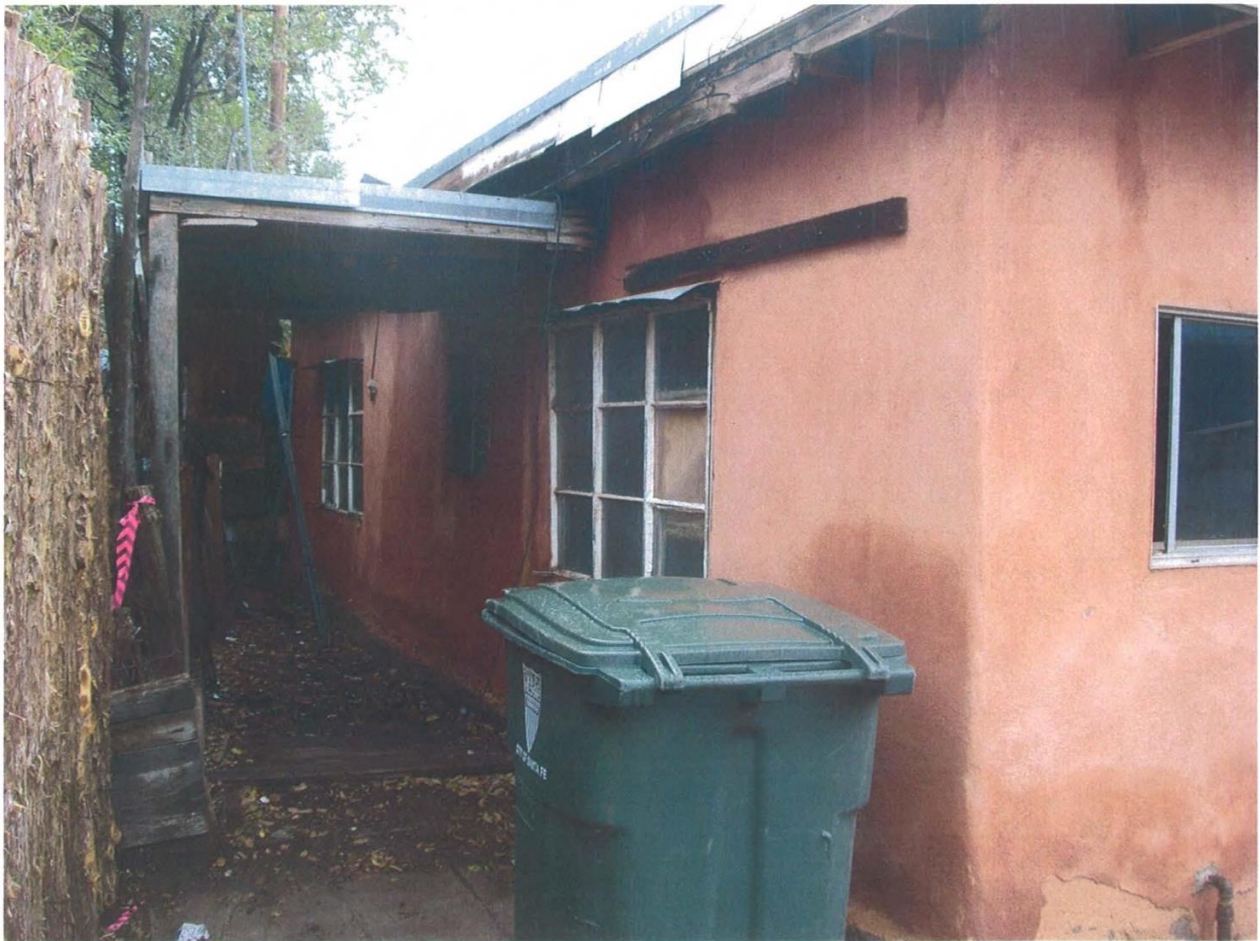


portion of East Façade from NE Corner

578 West San Francisco Street



Rear Casita and Garage North Elevation



Rear Casita East Elevation

578 West San Francisco Street



EAST SIDE OF GUEST HOUSE LOOKING AT IT



West Fence



Yardwall North Elevation with Pedestrian Gate and NW Corner

578 West San Francisco Street

Minu
October
10, 2017
status
review

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
 October 10, 2017

ITEM	ACTION TAKEN	PAGE(S)
B. Roll Call	Quorum Present	1
C. Approval of Agenda	Approved as amended	1-2
D. Approval of Minutes September 26, 2017	Postponed	2
E. Findings of Fact & Conclusions of Law	Postponed	2
F. Business from the Floor	None	2
G. Communications	Announcements	2
H. Action Items		
1. <u>Case #H-13-012.</u> 60 East San Francisco Street	Approved as recommended	2-4
2. <u>Case #H-15-108.</u> 1270 Canyon Road	Approved with conditions	4-8
3. <u>Case #H-17-069.</u> 334 Garcia Street	Postponed	8
4. <u>Case #H-17-076B.</u> 122 Delgado Street	Approved	8-13
5. <u>Case #H-17-038.</u> 715½ West Manhattan Avenue	Postponed	13
6. <u>Case #H-17-057.</u> 806 Don Gaspar Avenue	Approved with conditions	28-35
7. <u>Case #H-17-079.</u> 1120 Canyon Road	Approved with conditions	13-21
8. <u>Case #H-17-086.</u> 738 Agua Fria Street	Approved as presented	21-22
9. <u>Case #H-11-134.</u> 451 Arroyo Tenorio	Partially approved with conditions	22-26
10. <u>Case #H-17-088.</u> 578 West San Francisco Street	Approved with designations	26-28
I. Matters from the Board	None	35
J. Adjournment	Adjourned at 7:20 p.m.	35

MINUTES OF THE
CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD

October 10, 2017

A. CALL TO ORDER

A regular meeting of the City of Santa Fé Historic Districts Review Board was called to order by Ms. Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. in the Lamy Room at Santa Fe Community Convention Center, Santa Fé, New Mexico.

B. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chair
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. Edmund Boniface

MEMBERS EXCUSED:

Ms. Meghan Bayer
Mr. Buddy Roybal
Mr. William Powell

OTHERS PRESENT:

Mr. David Rasch, Planner Supervisor
Ms. Nicole Ramirez Thomas, Senior Planner
Ms. Theresa Gheen, Assistant City Attorney
Mr. Carl Boaz, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Planning Department and available on the City of Santa Fe web site.

C. APPROVAL OF AGENDA

Mr. Rasch explained that because of the challenge with a quorum, the cases on Garcia and West

Member Biedscheid asked about the age of the wall and its status.

Ms. Ramirez Thomas said the wall is not historic and has no status. At some point there is a plat that shows no wall.

Mr. Martínez said they looked at aerial photographs and they ended beyond this property but it follows the contemporary turnaround of the driveway so it doesn't appear to be historic.

Member Katz moved in Case #H-11-134 at 451 Arroyo Tenorio, to approve a portion of the application including 1-7 on the main house, but to deny the exposed adobe brick around the base of the chimney and the exposed adobe brick on the south-facing. They just changed who whole feeling of the house and is inconsistent with the rest of the design; and to approve guest house window with surround and to deny the exterior fixture on the garage as out of scale and does not fit.

Member Boniface seconded and agreed with observation on the fixture. When the Applicant returns with light fixtures, the Staff could approve fixtures.

Mr. Rasch asked if the Board is suggesting half as tall or 3/4 of its vertical dimension.

Member Katz said half and Member Boniface agreed.

Chair Rios asked for an amendment condition for no visible rooftop appurtenances. Member Katz accepted the amendment as friendly.

Member Biedscheid asked that any fixture by the gate be brought back to Staff for review and approval. Member Katz agreed and the motion passed by unanimous voice vote.

10. **Case #H-17-088. 578 West San Francisco Street.** Westside-Guadalupe Historic District. Edgar Villaescusa, agent for Gregorio Simental, owner, requests primary elevation designation for a contributing residential structure and historic status reviews for a non-contributing guest house/garage structure and a non-statused yardwall. (David Rasch)

Mr. Rasch presented the staff report as follows:

BACKGROUND & SUMMARY:

578 West San Francisco Street is a single-family residence that was constructed in the Spanish-Pueblo Revival style by 1940. The building features rounded parapets and corners and a northwest corner porch with carved corbels, exposed headers, and a square post. The porch entry has a wooden picket gate and a wooden picket baluster is installed at the west side of the porch. Two narrow trellises are attached to the front of the porch. None of the aluminum slider windows are historic. A historic front door that existed in 1996 may have been removed or replaced. The building is listed as contributing to the Westside-Guadalupe Historic District, but primary elevations have not been designated.

578½ West San Francisco Street is a casita and garage at the rear of the property that was constructed in a vernacular manner by 1942. The building features a historic flip-up wooden vehicle door with 4-lites at the center and 20 (19) wooden panels, a historic pedestrian door, steel casement windows on the east elevation with a simple wooden porch, and an aluminum slider window on the north elevation. The west and south elevation are inaccessible. The building is listed as non-contributing to the Westside-Guadalupe Historic District.

A river rock yardwall was constructed at an unknown, probably historic date. A twisted wire and metal pedestrian gate is installed in the wall. A twisted wire fence with a wooden top rail is installed from the yardwall corner along the east side of the driveway. These structures have no historic status designation.

All structures are in very poor condition and a major fire occurred in the residence.

STAFF RECOMMENDATION:

Staff recommends that the Board designate the north and west elevations of the contributing residence with the porch as primary, maintain the non-contributing historic status for the casita/garage, assign the river rock yardwall as contributing with the north elevation and northwest exterior corner as primary, and assign non-contributing historic status to the twisted wire gate and fence.

Questions to Staff

Member Boniface asked if the casita/garage should not be contributing.

Mr. Rasch said the door is visible from the street but the rest is not. It doesn't contribute as a secondary structure but is also in very bad condition. The inventory was in 1996 and it does suggest contributing. If the Board does designate it, the north should be primary.

Member Boniface said he saw it was once recommended but personally had a hard time with that.

Applicant's Presentation

Mr. Edgar Lara, 4451 Mesa Valero Court, was sworn and had nothing to add to the Staff report.

Questions to the Applicant

Chair Rios asked Mr. Lara if he agreed with the Staff recommendations.

Mr. Lara said he did agree.

Public Comment

There were no speakers from the public regarding this case and the public hearing portion was closed.

Action of the Board

Member Bledscheid moved in Case #H-17-088 at 578 and 578½ West San Francisco Street, to adopt staff recommendations and designate the north and west elevations of the contributing residence with the corner porch as primary; to retain the non-contributing status to the garage; and to designate the rock yard wall as contributing with the northwest corner as primary; and to assign noncontributing to wire fence and gate. Member Katz seconded the motion and it passed by unanimous voice vote.

Member Katz moved to remove Case #H-17-017 from the table for consideration. Member Boniface seconded the motion and it passed by unanimous voice vote.

- 6. Case #H-17-057, 806 Don Gaspar Avenue.** Don Gaspar Area Historic District. Palo Santo Designs, agent for Halley Roberts Strongwater and Daniel Strongwater, owners, proposes to alter roof styles from flat to pitch, construct a 56 sq. ft. addition, install skylights and publicly visible rooftop appurtenances on a contributing residential structure. An Exception is requested for publicly-visible rooftop appurtenances (Section 14-5.2(D)(3)) and to change roof styles (Section 14-5.2(D)(6)). (Nicole Ramirez Thomas)

Ms. Ramirez Thomas presented the staff report as follows:

BACKGROUND & SUMMARY:

806 Don Gaspar Avenue is a Cottage style single family residence located within the Don Gaspar Area Historic District. The house was built by Charles Stanford and was completed by 1912. It is listed as contributing the Don Gaspar Area Historic District. A detached garage is located at the southwest corner of the property and it is built in a vernacular style and is known to have been part of the property by 1967 based on aerial photographs. The garage is also contributing to the district. The Board assigned the north, east, and south elevation with the original glass doors as primary elevations.

Main House

Charles Stanford was a railroad worker who worked as the station master at the time the house was built but was also at some point a carpenter who helped build St. Vincent's Hospital and the Coronado Building. The construction of the house started in 1911 and it was built as a two-room cottage. It underwent a major renovation when Stanford's daughter and her family moved into the house in the 1950s. Notable changes to the exterior include the kitchen area on the south elevation and the back portion of the house on the west elevation as well as the partial front porch enclosure on the east elevation where the fireplace is located. A green house was added to the west elevation of the home in the 1970s. Members of the Stanford family

Minutes
February
13, 2018
remodel

**SUMMARY INDEX
HISTORIC DISTRICTS
REVIEW BOARD**

February 13, 2018

ITEM	ACTION	PAGE(S)
M. Roll	Presented	1
Call Approval of Agenda	Approved as presented	1-2
D. Approval of Minutes January 23, 2018	Approved as amended	2
E. Findings of Fact & Conclusions of Law	Approved as presented	2
F. Business from the Floor	None	2-3
G. 1. Case #H-17-001	Approved	3-4
H. 17-001 Delgado St. Unit C	Approved with exceptions	4
2. Case #H-17-003 Camino Don Miguel	Approved as recommended	11
3. Case #H-17-003 Acequia Madre Unit B	Approved with conditions	11-13
4. Case #H-17-008 West San Francisco Street	Downgraded to non-contributing	13-15
5. Case #H-17-005 Alito St.	Downgraded to non-contributing	15-19
6. Case #H-18-012 Camino Delora	Downgraded to non-contributing	19-20
7. Case #H-18-013 At Francis Dr.	Upgraded to Contributing	20-25
8. Case #H-18-014 Kearney Ave	Designated primary structures	25-27
9. Case #H-18-015 W. Houghton St.	Primary structures designated	27-30
I. Matters from the Board		30
J. Adjournment	Adjourned at 7:15 p.m.	30

**MINUTES
OF THE
CITY OF
HISTORIC DISTRICTS
REVIEW BOARD**

February 13, 2018

**A. CALL TO
ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Ms. Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. in the City Council Chambers at City Hall, 200 Lincoln Avenue, Santa Fe, New Mexico.

**B. ROLL
CALL**

Roll Call indicated the presence of a quorum as follows:

MEMBERS

PRESENT:

Ms. Cecilia Rios,
Chair

Mr. Frank Katz,
Vice Chair

Ms. Meghan

Ray Buddy

Ms. Jennifer

~~MEMBERS~~

~~EXCUSED~~

Boniface

~~MEMBERS~~

~~PRESENT~~
Mr. Mikasch, Planner

Supervisor

Ms. Nicole Ramirez

Thomas, Senior Planner

Ms. Theresa Gheen,

NOTE: All items in the Committee packet for all agenda items are incorporated here with by reference. The original Committee packet is on file in the Historic Planning Department and available on the City of Santa Fe web site.

**C. APPROVAL OF
AGENDA**

Questions to the Applicant

There were no questions to the Applicant.

Public Comment

There were no speakers from the public regarding this case and the public hearing portion was closed.

Action of the Board

Member Boniface moved in Case #H-17-103 at 984 Acequia Madre Unit B to approve per staff's recommendation. Member Roybal seconded the motion and it passed by unanimous voice vote.

4. Case #H-17-088B, 578 West San Francisco Street.

Westside-Guadalupe Historic District. Edgar Villaescusa, agent for Gregorio Simental, owner, proposes to remodel a contributing principal residential structure by adding 83 sq. ft., replacing doors and windows, and repairs to portal and

Mr. Simental is proposing a non-contributing garage and accessory residential

BACKGROUND: a casita, and performing SUMMARY: site improvements. (David Rasch)

578 West San Francisco Street is a single-family residence that was constructed in the Spanish-Pueblo Revival style by 1940. The building is listed as contributing to the Westside-Guadalupe Historic District and the north and east facades are designated as contributing. A garage constructed in a vernacular manner by 1942. The building is listed as non-contributing to the district. A rock yardwall was constructed at an unknown historic date. The yardwall is listed as contributing to the district and the north elevation and northwest corner are designated as contributing property with the following six items.

1. An 83 square foot addition will be constructed on the southeast corner of the residence. The addition will feature a pedestrian door on the south elevation and a small non-divided

2. All windows will be replaced with windows that have single lites in the existing opening dimensions.
3. The roof and woodwork will be repaired or replaced in-kind.
4. The casita/garage will be converted to a casita by increasing the height from 10' 6" to 13' 6", removing the pitched roof, and replacing windows with single-lite units, replacing doors, and restoring the exterior conditions to the opening dimensions, trim color and light fixtures submitted.
5. The yard wall will be repaired and the wire gate will be replaced with a wood gate in the existing opening.

STAFF RECOMMENDATION

Staff recommends approval of this application which complies with Section 14-5.2(D) General Design Standards and (I) Westside-Guadalupe Historic District.

Questions to Staff

Member Roybal referred to item #4 and asked what the maximum allowable height is.

Mr. Rasch said it is more than 13' 6" but he did not do a height calculation.

Chair Rasch understood that the casita is not in good condition, so they are rehabilitating it.

Member Briedscheid asked if the gate and wall are both contributing but the gate is not.

Applicant's Presentation

Mr. Edgar Villaescusa was sworn and had nothing to add to the Staff report.

Questions to the Applicant

Member Boniface asked if the addition at the SE corner of addition is a bathroom.

Mr. Villaescusa said it is a mechanical room.

Member Boniface noted on page 14 of the site plan that it looked like the structure will touch the neighbor's house next door and doesn't take into account the setback it is only 4', not 7'.

Member Boniface commented that it doesn't make sense to have a zero-lot line.

Mr. Rasch agreed, and it would only be allowed if he can get Zoning to approve it.

Member Boniface said that should have been caught before coming here to the Board.

Mr. Villaescusa said the drawing be asked about the trim color.

Chair Rios said the Board usually suggests that light fixtures be taken to Staff for review and approval.

Mr. Villaescusa said they have not designed on light fixtures yet.

Public Comment

There were no speakers from the public regarding this case and the public hearing portion was closed.

Action of the Board

Member Katz moved in Case #H-17-088B at 578 West San Francisco Street to approve the application as submitted and recommended by Staff and the applicant to bring colors and trim to Staff for approval that the windows and door will be white. Member Katz agreed the amendment was friendly to the maker. Member Boniface seconded the motion and it passed by unanimous voice vote.

5. Case #H-17-093A, 646 Alto St. Westside-Guadalupe Historic District. Christina Gattuso, agent/owner, requests a historic status review with primary elevation(s), if applicable, for a contributing residential structure.

City of Santa Fe, New Mexico

memo

DATE: June 27, 2023
TO: Historic Districts Review Board Members
FROM: Lani McCulley, Senior Planner, Historic Preservation Division

Case # 2023-006938-HDRB

Address: 613 Canyon Road Units C1 and C2
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Status Hearing Packet 18-084A
Status Hearing Minutes 8-14-2018
Drawing Set 2020-1979-HDRB

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the exception to Section 14-5.2(D)(5)(b) to remove historic material, finding that all of the exception criteria have been met and that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and Section 14-5.2(E) Downtown & Eastside Historic District Design Standard

BACKGROUND & SUMMARY:

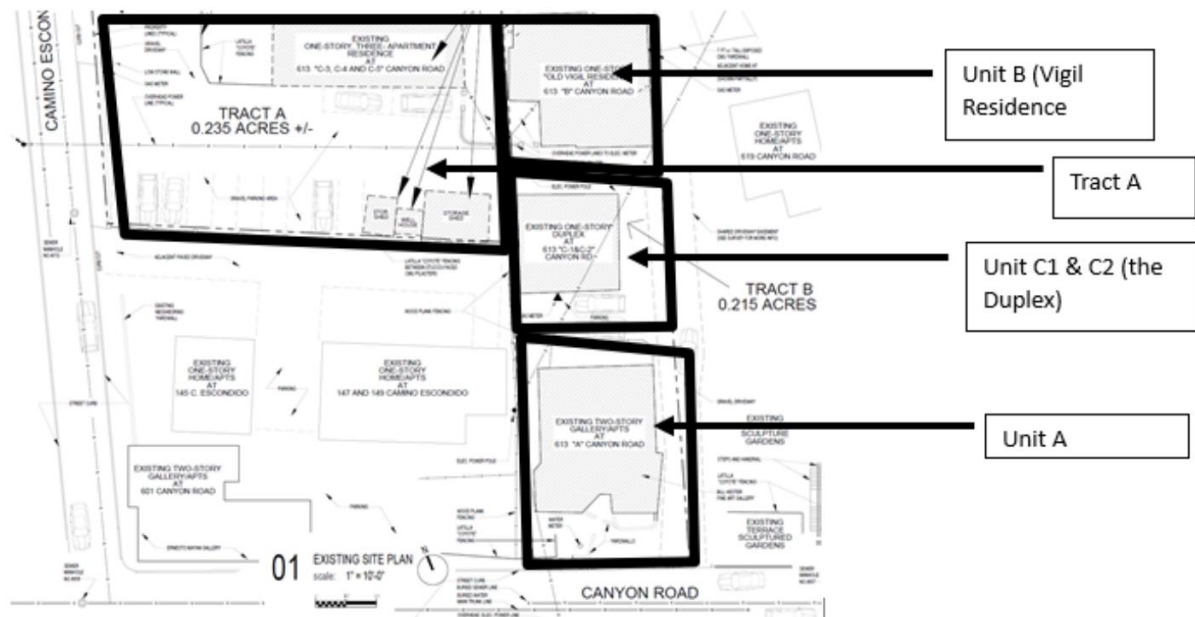
613 Canyon Road is a property with three existing buildings and numerous additional accessory buildings located in the Downtown and Eastside Historic District.

The two-story gallery and apartments are known as building A and have street frontage. The Gallery structure is designated contributing.

Unit B, also known as the Vigil Residence, is designated contributing. It is located in the northeast portion of the property.

Units C1 and C2 (or the Duplex) are also contributing. The duplex is located on the central-east portion of the property, directly south of Unit B.

Tract A is currently a vacant lot which is being developed per the approval granted by the HDRB under 2020-001979-HDRB.



The focus of this request is for the structure known as “The Duplex” or units C1 and C2. In 2018, in a status review of the property, the HDRB decided to retain the contributing status of the duplex. At that hearing, both the east (Façade #1) and west (Façade #2) facades were designated as primary, which includes the spaces underneath the portales. The case file and minutes from that hearing have been included as exhibits to this report.



The duplex is a 1,083 sq. ft. building constructed in the Spanish-Pueblo revival style. The building was constructed prior to 1950. Its distinguishing characteristics are the rounded and stepped parapets, the chimneys, and the portals. The building did undergo some remodeling in 1984 which included a replacement of the historic wood windows, addition of a door opening, and addition of a portal to the northwest corner.

Under case #2020-001979-HDRB in 2021, the Historic Districts Review Board approved replacing all windows with metal clad replacements with divided lights, a small portal matching that on the north elevation to be constructed on the south, stuccoing of the structure, and a small courtyard with CMU walls to a height of 5 feet 6 inches as a remodel of the duplex.

During the interior work of the duplex a rotten wood floor joist and non-code conforming crawlspace were discovered. Both 35 sq. ft. entry portals on the east elevation have rotten wood which no longer supports the weight of the roofs which are now pitching forward causing cracks in the wall between the portal and structure walls. This also causes the existing flashing and old asphalt roofs to be exposed.

In order to address these issues, the applicant proposes the following exterior alterations:

1. Rebuild both entry portals with an additional new dark/rusty brown colored ribbed metal roofing. The portal's roof slope, parapet, latilla ceiling, beams, corbels, viga column, and proportions will remain as currently seen. A metal gutter will be installed at wood fascia to match metal roofing color.
2. Lower interior floor by approx. 6", thereby lowering all four exterior door sill heights.
3. An interior floor slab will be installed approximately 6" lower than the existing floor. This will create the need to lower the sill height of all four exterior doors. All door and window head heights and openings will remain as existing.
4. Re-roof entirely, concealing new roof top HVAC units. Replace canales.
5. The old roofing will be removed and a new pocket roof that will conceal ducted mini-split units. The new pocket roof will be covered with a tan colored TPO roof membrane. New wooden roof canales will replace the rotten existing roof canales.
6. Set condenser and screen with coyote fence. A condenser unit will be placed on the west elevation in the previously approved courtyard and will be screened by a 5'0" coyote fence.
7. Add a 12" high river rock wall creating planters to help with current drainage issues at the adjacent structure, Unit A.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2(D)(5)(b)]: The applicant requests an exception to remove historic material.

(i) *Do not damage the character of the district*

Applicant Response: The proposed removal of historic materials (namely, rotten beams and corbels) and replacement, in like manner, at the Duplex's two entry portals will not change or damage the character of the district or streetscape.

Staff Response: Staff agrees with this response. Removal and replacement of the wood elements in-kind will retain the appearance of the historic structure while providing stability to the structure for continued use.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The proposed removal of historic materials (namely, rotten beams and corbels) and replacement, in like manner, at the Duplex's two entry portals) is required to prevent injury to the public welfare.

Staff Response: Staff agrees with this response. Replacement of the wood elements of the portal is required to prevent further deterioration of the portal and damage to the main portion of the residence for public safety concerns.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Yes, the proposed removal of historic materials (namely, rotten beams and corbels) and replacement, in like manner, at the Duplex's two entry portals will strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts by preserving the character of this historic district structure in lieu of letting it further deteriorate.

Staff Response: Staff agrees with this response. Replacement in-kind preserves the unique character of the primary façade of the structure.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;

- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

*Status
Hearing
Packet
H-18-084A*



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Hoopes and Associates Architects, agent for Canyon Room Holdings LLC, owner, requests historic status reviews with designation of primary elevations, if applicable, for two contributing residential, two non-contributing residential and all associated accessory structures.

Case number: **H-18-084A**
Project Type: **HDRB**

PROJECT LOCATION (S): **143 Camino Escondido and 613 Canyon Road**
PROJECT NAME

OW - Canyon Room Holdings LLC 218 North Rivercrest Drive Fort Worth TX 76107
AP - Hoopes and Associates Architects 333 Montezuma Avenue Suite 200 Santa Fe, NM 87501

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS:

North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____

YEAR OF CONSTRUCTION 1930-1970s

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME _____

City of Santa Fe, New Mexico

memo

DATE: August 14, 2018
TO: Historic Districts Review Board Members
VIA: David Rasch, Supervising Planner in Historic Preservation
FROM: Nicole Ramirez Thomas, Planner Senior in Historic Preservation *NRRT*

CASE # H-18-084

ADDRESS: 143 Camino Escondido & 613 Canyon Road

Historic Status: Non-contributing & Contributing

Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:
Map of Structures

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends the statuses of the buildings remain as they are. Primary elevations were made below for the contributing structures.

BACKGROUND & SUMMARY:

143 Camino Escondido and 613 Canyon Road are two addresses assigned to four buildings. The buildings will be discussed as 1) Gallery/Apartments, 2) Duplex, 3) Vigil Residence, and 4) Apartments. The applicant is requesting a status review and primary elevation designations where applicable.

Gallery/Apartments

The Gallery and Apartments are located at 613 Canyon Road. The initial construction date is thought to be around 1960. The building is built into the slope of the hill and is two-story at the back and one-story at the street front. It is 2,594 square feet. The building style would fall into the category of "Hippy Vernacular." The building has been used as both commercial and residential. It was at one time the restaurant "Celebrations."

The building has a historic status of non-contributing and staff recommends the building remain non-contributing.

Duplex

The Duplex is a 1,083 square foot building constructed in the Spanish-Pueblo Revival style. The building sits behind 613 Canyon Road. The building was constructed prior to 1950. Its distinguishing characteristics are the rounded and stepped parapets, the chimneys, and the portals. The building did undergo some remodeling in 1984 which included a replacement of the historic wood windows, addition of a door opening, and addition of a portal to the northwest corner.

The historic status of the building is contributing. Staff recommends the building remain contributing and recommends the east elevation, including under the portals, as the primary elevation.

Vigil Residence

The Vigil Residence is a 2,021 square foot single family residence constructed in the Spanish-Pueblo Revival style. According to the HCPI form the original footprint of the house, which was constructed of adobe, has been consumed by additions over the years. Some of the additions were added at unknown dates with others being added in the 1960s, 1970s, and 1980s.

The current historic status of the residence is contributing and the revised HCPI recommends a downgrade to non-contributing given the degree of change to the property over the decades. A status downgrade was not noticed, and the applicant and staff did not request a downgrade. The Board may request a downgrade if they think it appropriate. Otherwise, staff recommends the southwest corner of the building be the


primary elevation. The southwest corner designation would allow for the exclusion of non-historic material on the south and west elevation.

Apartments

The Apartments were constructed in the 1970s. They are built in a vernacular manner. The Apartments are less than 50 years old and have a historic status of non-contributing.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: Ignacio L. and Julia B. Vigil Property Gallery and Apartments – “Unit A”	2. Location: 613 Canyon Road <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID # 051611302 (1984 number)
		4. County: Santa Fe
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 3, 2018		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 30, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.681869, -105.928446		
10. Photo Information View of front (south) elevation, facing north.		
11. Brief Description of the Property: Fronting onto Canyon Road is a highly modified commercial building, likely constructed in the early 1960s and added upon in the 1970s and '80s. In plan it is a single-story-over-basement square mass built into a slope. It includes approximate 2,594 square feet. The back half reveals its combination stone and block foundation, which rises above the grade as a wall. The front façade is dominated by two post-1966 additions. The earlier addition (to the west) presents an organic, hippie-like design, with its curving walls and round art glass window (Cover Photo). It was most likely built in the late 1960s or early '70s when the building was converted to restaurant use. To the east is a rounded wall enclosure erected in c.1979 to create patio dining. Behind it is a volume enclosing a former ramada which occurred after 1984 (Photo 1)(Figure 7). <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: c. 1958-1966 [1960 – Santa Fe County Assessor estimate, accessed May 18, 2018] Date: <u>Known</u> <input checked="" type="checkbox"/> <u>Estimated</u> <input type="checkbox"/> Source aerial photographs and city directories		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input type="checkbox"/> Similar <input checked="" type="checkbox"/> Dissimilar		
Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Google Imagery, 2018



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
505-577-7593
John@archhistoryservices.com

For: Hoopes & Associates Architects

18. Owner (if known) and other knowledgeable people:

Owner: Canyon Room Holdings, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High

Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes

If yes: Significant Contributing Non-contributing No Status

Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

**Gallery and Apartments -
Recommended
Noncontributing Structure to
the Downtown and Eastside
Historic District, May 30, 2018**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____
		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Ignacio L. and Julia B. Vigil Property Gallery and Apartments	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe 5. Date of Survey: May 3, 2018

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input checked="" type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: _____	7. Number of Stories: <u> </u> N/A Number: <u> </u> 1 <u> </u> 1 1/2 <input checked="" type="checkbox"/> 2: one-over-basement <u> </u> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised Materials: <u> </u> Concrete <input checked="" type="checkbox"/> Stone Other: _____ Notes: _____ 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input checked="" type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <u> </u> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt - <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____
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10. Windows <u> </u> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Operation</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Glazing</th> <th style="width: 20%;">Number</th> </tr> </thead> <tbody> <tr><td>Double-Hung</td><td>Clad</td><td>4/4</td><td>18</td></tr> <tr><td>Casement</td><td>Wood</td><td>1-1</td><td>1</td></tr> <tr><td>Barn Sash</td><td>Wood</td><td>2-4s</td><td>1</td></tr> <tr><td>Casement</td><td>Steel</td><td>2</td><td>1</td></tr> <tr><td>Casement</td><td>Steel</td><td>2-4F-2</td><td>3</td></tr> <tr><td>Casement</td><td>Steel</td><td>2-2F</td><td>3</td></tr> <tr><td>Casement</td><td>Steel</td><td>3-6F</td><td>3</td></tr> <tr><td>Fixed, circular</td><td>Leaded</td><td>Art Glass</td><td>1</td></tr> </tbody> </table>	Operation	Material	Glazing	Number	Double-Hung	Clad	4/4	18	Casement	Wood	1-1	1	Barn Sash	Wood	2-4s	1	Casement	Steel	2	1	Casement	Steel	2-4F-2	3	Casement	Steel	2-2F	3	Casement	Steel	3-6F	3	Fixed, circular	Leaded	Art Glass	1	11. Doors <u> </u> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Type</th> <th style="width: 20%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Panel "Spanish"</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Half-Glass</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Full-Glass</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>Half-Glass</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>French</td><td>Wood</td><td>1</td></tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	Panel	Wood	1	Single-Leaf	Panel "Spanish"	Wood	1	Single-Leaf	Half-Glass	Wood	1	Single-Leaf	Full-Glass	Wood	1	Double	Half-Glass	Wood	1	Double	French	Wood	1
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12. Chimneys N/A Three; 1: stucco-clad; 1: brick; 1: glazed terra cotta	13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap
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14. Other Significant Features N/A

15. Modifications: No known modifications

- #1 Date: Between 1966 and 1978; cubed addition place across front façade; aerial photographs.
- #2 Date: c.1979; enclosure wall added to front façade; newspaper account and aerial photograph.
- #3 Date: post-1984; enclosure of dining area ramada; 1984 survey form and visual and material evidence.
- #4 Date: Unknown, recent; wholesale replacement of upper story windows with clad units; visual and material evidence.

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

<input type="checkbox"/> Art Deco/Streamline Moderne	<input type="checkbox"/> Gothic Revival	<input type="checkbox"/> Mission Revival	<input type="checkbox"/> Pueblo	<input type="checkbox"/> Spanish-Pueblo Revival
<input type="checkbox"/> Bungalow/Craftsman	<input type="checkbox"/> International	<input type="checkbox"/> Neo-Classical	<input type="checkbox"/> Queen Anne	<input type="checkbox"/> Territorial
<input type="checkbox"/> Colonial Revival	<input type="checkbox"/> Italianate	<input type="checkbox"/> Northern NM	<input type="checkbox"/> Ranch	<input type="checkbox"/> Territorial Revival
<input type="checkbox"/> Folk Victorian	<input type="checkbox"/> Mediterranean	<input type="checkbox"/> Prairie	<input type="checkbox"/> Spanish-Colonial	<input type="checkbox"/> Tudor Revival

Notes: Other: No Style

17. Documents Available and Their Locations

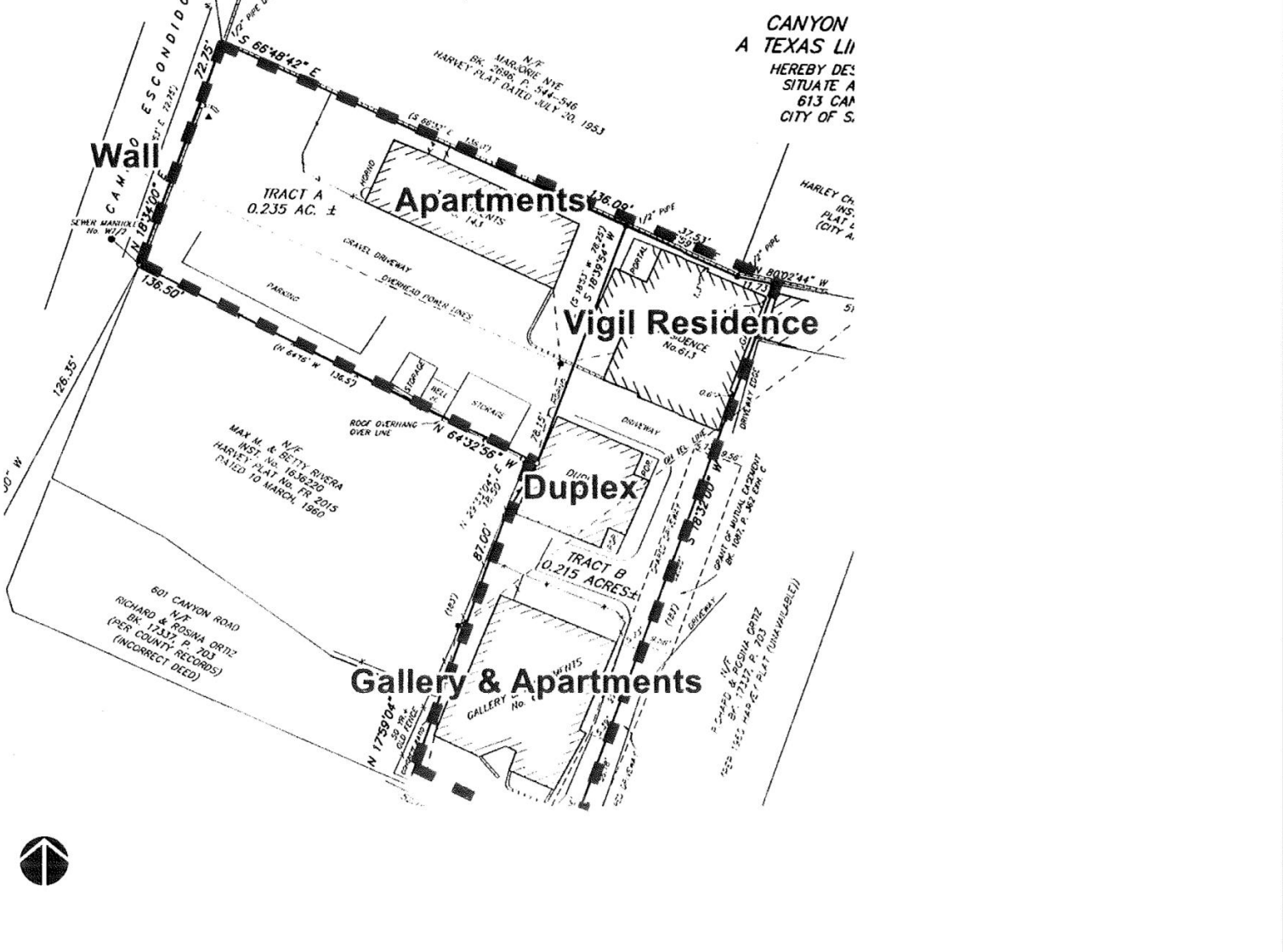
New Mexico Historic Preservation Division 407 Galisteo Street, Suite 236 Santa Fe, NM 87501 (505) 827-6320	Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605
---	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Portion of February 22, 2017 boundary survey, modified by consultant. Courtesy Del Rio Surveys, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Ignacio L. and Julia B. Vigil Property Gallery and Apartments	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		
		4. County: Santa Fe		
		5. Date of Survey: May 3, 2018		

Architectural Description Continued

The east elevation descends down the grade as two steps (Photos 2 & 3). The break with the older building is apparent at the chimneys. The upper level is fenestrated with recent 4/4 double-hung clad windows arranged in groups of twos and threes. The same windows continue along the upper half of the north elevation. The basement level is lighted with steel casements with heavy concrete sills (Photo 3).

The north elevation is sheltered by a wide overhang. At the ground level are two doors to the basement's back rooms. The foundation wall, which rises 90" above grade, shows a mixture of recycled limestone, arroyo rocks, and split-face concrete blocks in several colors (Photo 4).

The west elevation, sitting close to the adjacent property, reveals a mixture of original and replaced windows (Photos 5 & 6). Compared to the other visible elevations, little has been done to upgrade the façade. The lower level is accessed by a single run of wood stairs. The basement area is shaded by an overhang resting on vigas. A full-glass door provides entry to the basement. Similar steel casement windows daylight the interior.

The building is covered with a recent stucco application in a light buckskin color. Stucco covers some of the formerly exposed lintels on the south elevation. It housed a number of commercial uses over the years, including galleries, antique shops, coffeehouses, and multiple restaurants, the last being Celebrations. At one point it included artist apartments. The multiple electrical meters suggest it could hold up to three tenants. Currently Bill Hester Fine Art is its only occupant.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Ignacio L. and Julia B. Vigil Property Gallery and Apartments	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: May 3, 2018			

Historical Overview

Like many Santa Fe family properties with a long lineage and a list of dwellings, the Ignacio L. and Julia B. Vigil tract at 613 Canyon is bedeviled by complications. Chief among them the non-standard — and almost constantly changing — identification of secondary unit designations. Over its nearly 80-year period of development, every building and apartment on the property was given the designation 613 Canyon Road. Units went through several subunit designations (1, 2 or 3, or a, b, or c...), none helpful for identifying the buildings on the ground.¹ In the simplest terms, the tract most likely started with the Vigil Residence, followed by the Duplex, with both known through an aerial photograph to exist by 1948. The commercial building fronting Canyon Road came approximately 20 years later, with the three-unit apartment building coming onto the scene in the early to mid-1970s.

Bridging between Canyon Road and Camino Escondido, the L-shaped parcel of land is a fragment of an earlier, much larger family holding. The larger piece, historically titled Block 49, ran north from Canyon Road, along irrigated corn and alfalfa fields to the Santa Fe River. It was originally under the ownership of Simon Vigil, a prosperous sheep man and Santa Fe Trail freighter.

According to his obituary, Vigil — who served in the New Mexico Calvary during — the Civil War, owned extensive land on the Eastside.² At some point before his death in 1915, he most likely deeded two parcels of the Canyon Road acreage to his son Cruz Vigil (1878-1945). The 1912 “King’s Map” of Santa Fe shows the son owning the land taking up the southeast corner of present-day Camino Escondido and Canyon Road (Block 49B, Lots 17, 19 & 20) (Figure 1).

The Vigils built a house at the corner, which most likely ties to the commercial building at 601 Canyon currently occupied by the Ernesto Mayan Gallery (Figure 1). The property included houses occupied by his sons-in-law Moises Perea and Presciliano Ortiz.³

¹ An attempt to locate and interview Ignacio’s children was unsuccessful.

² *Santa Fe New Mexican*, October 18, 1915, 8.

³ U.S. Federal Census, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2A; Enumeration District: 0003.

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In the house on Canyon Road, Cruz and his wife Gregorita Lujan Vigil raised a family, including son Ignacio Loyola Vigil (1912-1993) — the person most directly related to the study.

Born a day before the Fourth of July in New Mexico’s year of statehood, Ignacio, popularly called “Iggie,” graduated from St. Michael’s High School in 1930. He appears to have left Santa Fe in the middle of the Depression, returning toward the end of the decade to take up residence again at his parent’s house at 601 Canyon Road.

The 1940 census documents the then 25-year-old Ignacio working part time as a butcher and delivery driver, earning an income of \$490 per year.⁴ Ignacio was drafted two years later into the Army, where he served in the Pacific Theater in a technical position, earning the title of Corporal.⁵ Both parents died in early 1945, prior to his discharge in November.

Ignacio does not appear to have immediately returned to Santa Fe after the war. During his period of absence the Vigil property began to evolve through new construction. In the early 1940s, Ignacio’s brother-in-law, Moises Perea, constructed a three-room house, which by its description could be the origin of the Vigil Residence.⁶ The construction of the house and/or the Duplex ties to the first appearance of the 613 Canyon Road address, listed in the 1942 city directory.⁷

Ignacio came back to Santa Fe by the end of the decade, with the 1951 directory indicating he was the owner of the 613 Canyon Road property.⁸ Three years later, he married Julia Baldwin, a 1944 graduate of Santa Fe High School, and twelve years younger. The couple appears to have set up residence in the back unit, now called the Vigil Residence.

⁴ Ibid, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 4B; Enumeration District: 25-5A.

⁵ New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Subseries: *Military Discharges*; Box Number: 16649; Box Title: *Military Discharges Vigil – Walker*.

⁶ Notice of application to build new house, *Santa Fe New Mexican*, November 9, 1939, 3; advertisement for three-room “Spanish style house” with two fireplaces, *Ibid.*, June 17, 1941, 7 and July 7, 1941, 5.

⁷ Hudspeth Directory Company, *Santa Fe City Directory*. El Paso: Hudspeth Directory Company, various editions: 1928-1997.

Hudspeth Directory Company, *1942 Hudspeth Santa Fe City Directory*, (El Paso: Hudspeth Directory Company, 1942, 308.

⁸ *Ibid.*, *1951 Hudspeth Santa Fe City Directory*, 416.

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Duplex and Vigil Residence

The first graphic indication of the two units is found on a 1948 aerial photograph (Figure 2). While distorted, the aerial shows the Duplex to be of the same shape and size as what stands today. The Vigil Residence looks to be a smaller dwelling. Neither the street-side unit nor the apartments are apparent on the aerial.

The configuration of dwellings becomes clearer on a 1958 aerial (Figure 3). The photograph shows the Duplex in its current footprint with the Vigil Residence expanded in massing with additions. What would become the apartments looks to be a gable or metal shed-roof outbuilding with an L-shaped footprint. There is no building fronting Canyon Road, but the presence of walls suggests that the southeast corner of the property was used for some purpose at that time.

A Changing Neighborhood

By the 1950s, Canyon Road had evolved from a primarily Hispanic residential area to a linear commercial corridor, beginning to be developed for tourism. Santa Fe’s postwar boom had increased the number of residences along the road by 76% between 1940 and 1950.⁹ But the new residences mainly represented an increasing Anglo population.

Reflecting both trends, Ignacio’s childhood home at 601 Canyon was converted in 1954 into the Hal West Western Gallery. West, a Texas native and self-taught artist, appears to have built a house adjacent to the gallery. It is assumed that at this time the corner portion of the Vigil property dropped out of family ownership. This reduced the Vigil land to the current L-shaped lot, which came into Ignacio’s ownership in 1960.¹⁰

Starting in the mid-1950s, 613 Canyon was identified as three sub-units — a, b, and c — in city directories. This most likely represented the Duplex and the Vigil home. A fourth sub-address began to appear in directories in the late 1950s. This suggests a new dwelling, possibly the first iteration of the apartments. Beginning in the 1940s, older homes along Canyon were either divided or added upon with apartments.

⁹ Henry J. Tobias and Charles E. Woodhouse, *Santa Fe: A Modern History, 1880-1990*, (Albuquerque: University of New Mexico Press, 2001), 185.

¹⁰ Note on February 22, 2017 survey. The note states that Ignacio received the warranty deed from Saloman Juan and Irene G. Vigil. Biographical could not be found for either individual, though the name Solomon Vigil appears on an adjacent parcel on the 1912 “King’s Map.”

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Celebrations Restaurant, the last to use the building as a restaurant, opened in the late 1980s and continued the patio-dining trend.

Apartments

The final piece to the Vigil property came about in the 1970s, when it appears that a carport or secondary structure west of the Vigil home was turned into apartments. The date of construction for the specific unit building, however, is unclear. A 1957 advertisement for a furnished bachelor apartment with a carport could associate it with the earlier structure.¹⁴

The number of secondary unit designations (1-4) remained consistent from 1960 to 1970. In 1971, the number of sub-units jumped from four to seven, potentially indicating the construction of the building. A 1978 aerial photograph shows that the structure making up the apartments had expanded to the west by that time (Figure 5). Its current windows and doors indicate a probable 1970s construction.

Change of Ownership

All this time, the Vigils continued to live at the back of the property in the family home, which had grown over the years with additions. Ignacio worked for several decades as a butcher at Tito’s Market on Acequia Madre, and later as an employee of the Santa Fe animal shelter. Julia raised six children — three boys and three girls. Ignacio Loyola Vigil died in 1993; his wife following him 20 years later. Both are buried at Santa Fe National Cemetery.

At the time of her death in 2014, only a few people lived on the property, including herself, her son, Paul Vigil (now deceased), and three tenants.¹⁵

The surviving Vigil family members, as a limited partnership, sold the property to the current owner in 2017.

¹⁴Ibid., June 9, 1957, 15.

¹⁵ Polk City Directories, *2014 Santa Fe, New Mexico, Polk City Directory*, (Papillion, Neb.: Polk City Directories Inc.), 93.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Gallery & Apartments - Evaluation of Historical Status

Given the multiple additions across the front façade, the recommendation is to maintain its Noncontributing status to the Downtown and Eastside Historic District.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

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Illustrations



Figure 1: Portion of 1912 "King's Official Map of the City of Santa Fe, New Mexico" showing land owned by Cruz Vigil.

Arrow indicates building most likely currently addressed as 601 Canyon Road.

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Figure 2: Portion of October 25, 1948 aerial photograph showing development of lot up until that point. Lower arrow indicates Duplex; upper arrow the Vigil Residence. Source: UNM/EDAC- 19481025_GS_EN_4_085. Author reversed image to negative to enhance definition of building footprints.

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Figure 3: Portion of November 10, 1958 aerial photograph showing Duplex, Vigil Residence in existence.

Source: NMDOT- ST_11-10-58.

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Figure 4: Portion of May 2, 1966 aerial photograph showing Gallery & Apartments in existence.
 Source: NMDOT- ST_05-02-66.

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Figure 5: 1978 aerial photograph shows building with rounded southwest addition.
 Source: NMDOT- Sts_09-11-78.

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**New Exhibit
 of the
 Metaphysical
 People Scapes
 of**

MAIA SORTER
OPENS TODAY
10-4

See this highly colorful display

**613 Canyon Rd.
 Closed Mondays**

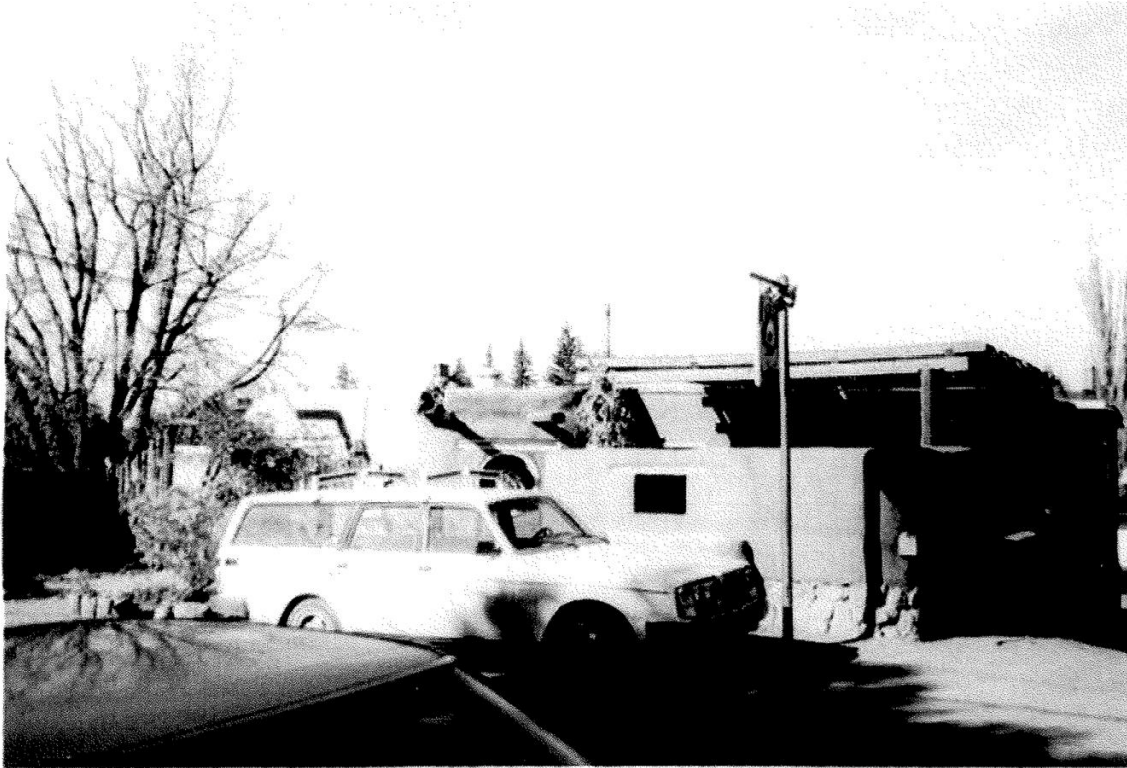
Priced from fifteen dollars

Figure 6: May 28, 1972 advertisement for the Hand to Mouth Gallery.
Courtesy the Santa Fe New Mexican.

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**Figure 7: South (front) elevation,
taken from scan of October 30, 1984 survey form.**

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Survey Photographs

(All photographs taken on May 3, 2018 by John W. Murphey)



Photo 1: South and east elevations, facing northwest.

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Photo 2: East elevation, facing north.

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Photo 3: East and North elevations, facing southwest.

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Photo 4: North elevation, facing southeast.

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Photo 5: West elevation sequence, starting from Canyon Road, facing northeast.

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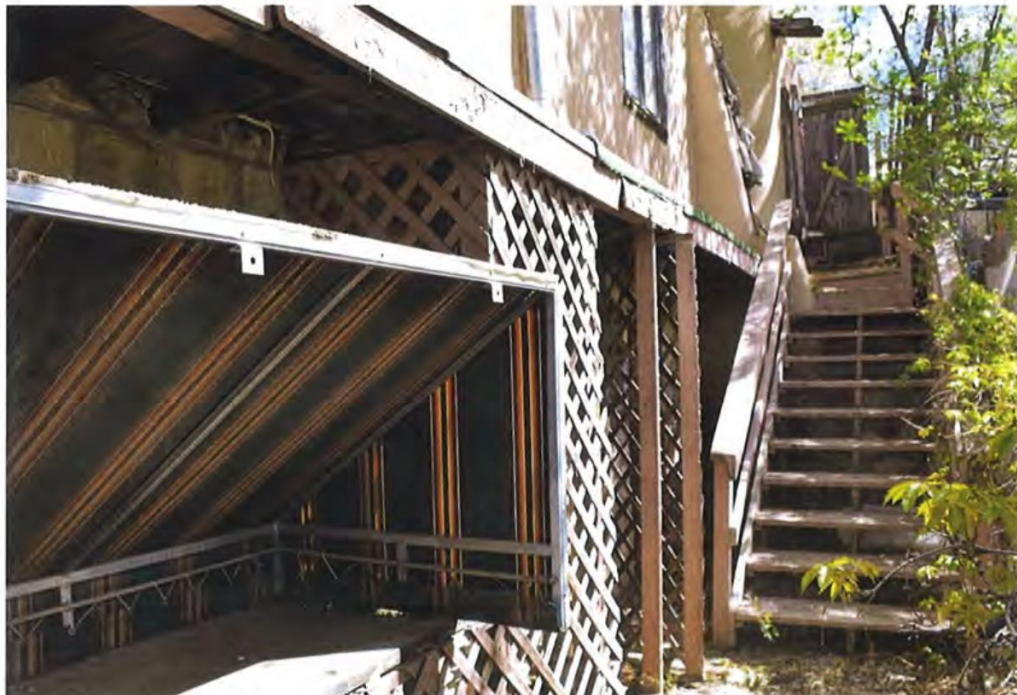


Photo 6: West elevation, conclusion of sequence from Canyon Road (top); view of lower level, facing southeast (bottom).

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Ignacio L. and Julia B. Vigil Property Duplex	2. Location: 613 Canyon Road <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID # 051611303 (1984 number) 4. County: Santa Fe
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 3, 2018		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 30, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.682061, -105.928400		
10. Photo Information	View of east and north elevations, facing southwest.	
11. Brief Description of the Property: Situated at the end of the driveway off Canyon Road is a small duplex designed in the romanticized Spanish-Pueblo Revival style. The compact 1,083-square-foot building, in plan, is a square. It arranges the two rental units along an east-west line. Both are entered through small portales across the east elevation (Photo 1). The portal walls are painted white and hold original rustic wood-panel doors. Rising from the center of the elevation is a dual chimney. The side elevations are penetrated with an array of small and large window openings (Photo 3). The windows, mostly replacement sliding aluminum units, are set deep (6") within the wall. The sculptural use of adobe carries over to the rounded parapets cut with deep canal valleys. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Pre-1948 [1950– Santa Fe County Assessor estimate, accessed May 18, 2018] Date: <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source aerial photographs and city directories		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar		
Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Google Imagery, 2018



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
505-577-7593
John@archhistoryservices.com

For: Hoopes & Associates Architects

18. Owner (if known) and other knowledgeable people:

Owner: Canyon Room Holdings, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing No Status
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

**Duplex - Recommended
Contributing Structure to the
Downtown and Eastside
Historic District, May 30, 2018**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																															
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: _____		7. Number of Stories: _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: _____ N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____ 9. Roof: _____ N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____																													
10. Windows <input checked="" type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Operation*</th> <th style="width: 20%;">Material</th> <th style="width: 15%;">Glazing</th> <th style="width: 50%;">Number</th> </tr> </thead> <tbody> <tr> <td>Casement</td> <td>Wood</td> <td>1</td> <td>2</td> </tr> <tr> <td>Double-Hung</td> <td>Aluminum</td> <td>1/1</td> <td>2</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td>5</td> </tr> </tbody> </table> <p>*Some of operations could not be determined with certainty.</p>		Operation*	Material	Glazing	Number	Casement	Wood	1	2	Double-Hung	Aluminum	1/1	2	Sliding	Aluminum	1-1	5	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Type</th> <th style="width: 35%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 30%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>15-panel w/View light</td> <td>Wood</td> <td>2</td> </tr> <tr> <td>Single-Leaf</td> <td>3-light, wood panel</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	15-panel w/View light	Wood	2	Single-Leaf	3-light, wood panel	Wood	1
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12. Chimneys N/A Two, stucco-clad, rising at wall		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry 3 <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																													
14. Other Significant Features N/A																															
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1</u> Date: Post-1984; Replacement of wood windows; comparison with 1984 HBI survey form and visual and material evidence. <u>#2</u> Date: Post-1984; Probable insertion of new door opening and creation of porch at northwest corner; comparison with 1984 HBI survey form and visual and material evidence.																															

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: _____ Other: _____

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

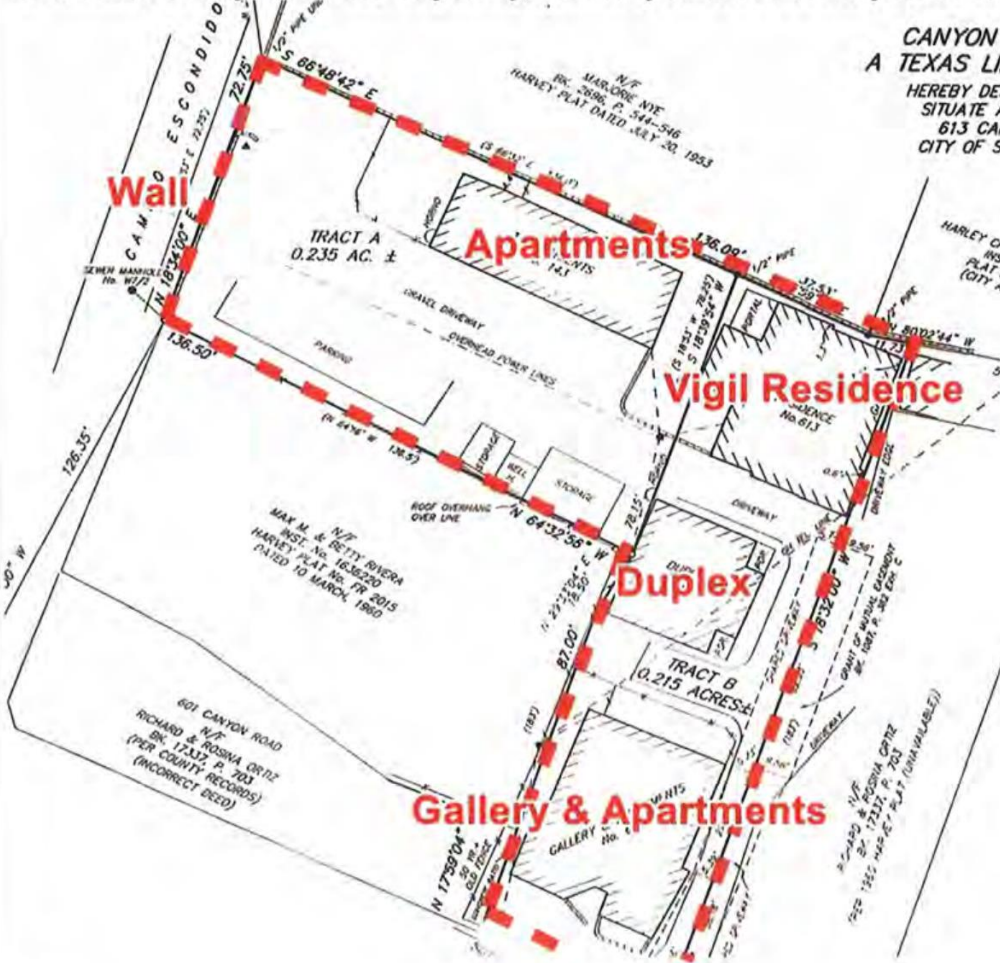
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Portion of February 22, 2017 boundary survey, modified by consultant. Courtesy Del Rio Surveys, Inc.



CANYON
 A TEXAS LI
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 SITUATE A
 613 CAN
 CITY OF S.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Architectural Description Continued

A post-1984, 32-square-foot portal, and a door opening which is probably new, punctuate the northwest corner (Photo 4). Near that corner is a decorative concrete horno constructed in the 1980s. The west elevation presents a more strict symmetry of windows (Photo 4). The duplex is finished with cementitious stucco in a peach-to-tan tone.

Erected likely in 1940 as a rental until unit, it continues in this use to this day.

Historical Overview

Like many Santa Fe family properties with a long lineage and a list of dwellings, the Ignacio L. and Julia B. Vigil tract at 613 Canyon is bedeviled by complications. Chief among them the non-standard — and almost constantly changing — identification of secondary unit designations. Over its nearly 80-year period of development, every building and apartment on the property was given the designation 613 Canyon Road. Units went through several subunit designations (1, 2 or 3, or a, b, or c...), none helpful for identifying the buildings on the ground.¹ In the simplest terms, the tract most likely started with the Vigil Residence, followed by the Duplex, with both known through an aerial photograph to exist by 1948. The commercial building fronting Canyon Road came approximately 20 years later, with the three-unit apartment building coming onto the scene in the early to mid-1970s.

Bridging between Canyon Road and Camino Escondido, the L-shaped parcel of land is a fragment of an earlier, much larger family holding. The larger piece, historically titled Block 49, ran north from Canyon Road, along irrigated corn and alfalfa fields to the Santa Fe River. It was originally under the ownership of Simon Vigil, a prosperous sheep man and Santa Fe Trail freighter.

According to his obituary, Vigil — who served in the New Mexico Calvary during — the Civil War, owned extensive land on the Eastside.² At some point before his death in 1915, he most likely deeded two parcels of the Canyon Road acreage to his son Cruz

¹ An attempt to locate and interview Ignacio's children was unsuccessful.

² *Santa Fe New Mexican*, October 18, 1915, 8.

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Vigil (1878-1945). The 1912 “King’s Map” of Santa Fe shows the son owning the land taking up the southeast corner of present-day Camino Escondido and Canyon Road (Block 49B, Lots 17, 19 & 20) (Figure 1).

The Vigils built a house at the corner, which most likely ties to the commercial building at 601 Canyon currently occupied by the Ernesto Mayan Gallery (Figure 1). The property included houses occupied by his sons-in-law Moises Perea and Presciliano Ortiz.³

In the house on Canyon Road, Cruz and his wife Gregorita Lujan Vigil raised a family, including son Ignacio Loyola Vigil (1912-1993) — the person most directly related to the study.

Born a day before the Fourth of July in New Mexico’s year of statehood, Ignacio, popularly called “Iggie,” graduated from St. Michael’s High School in 1930. He appears to have left Santa Fe in the middle of the Depression, returning toward the end of the decade to take up residence again at his parent’s house at 601 Canyon Road.

The 1940 census documents the then 25-year-old Ignacio working part time as a butcher and delivery driver, earning an income of \$490 per year.⁴ Ignacio was drafted two years later into the Army, where he served in the Pacific Theater in a technical position, earning the title of Corporal.⁵ Both parents died in early 1945, prior to his discharge in November.

Ignacio does not appear to have immediately returned to Santa Fe after the war. During his period of absence the Vigil property began to evolve through new construction. In the early 1940s, Ignacio’s brother-in-law, Moises Perea, constructed a three-room house, which by its description could be the origin of the Vigil Residence.⁶

³ U.S. Federal Census, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2A; Enumeration District: 0003.

⁴ Ibid, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 4B; Enumeration District: 25-5A.

⁵ New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Subseries: *Military Discharges*; Box Number: 16649; Box Title: *Military Discharges Vigil – Walker*.

⁶ Notice of application to build new house, *Santa Fe New Mexican*, November 9, 1939, 3; advertisement for three-room “Spanish style house” with two fireplaces, *Ibid.*, June 17, 1941, 7 and July 7, 1941, 5.

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The construction of the house and/or the Duplex ties to the first appearance of the 613 Canyon Road address, listed in the 1942 city directory.⁷

Ignacio came back to Santa Fe by the end of the decade, with the 1951 directory indicating he was the owner of the 613 Canyon Road property.⁸ Three years later, he married Julia Baldwin, a 1944 graduate of Santa Fe High School, and twelve years younger. The couple appears to have set up residence in the back unit, now called the Vigil Residence.

Duplex and Vigil Residence

The first graphic indication of the two units is found on a 1948 aerial photograph (Figure 2). While distorted, the aerial shows the Duplex to be of the same shape and size as what stands today. The Vigil Residence looks to be a smaller dwelling. Neither the street-side unit nor the apartments are apparent on the aerial.

The configuration of dwellings becomes clearer on a 1958 aerial (Figure 3). The photograph shows the Duplex in its current footprint with the Vigil Residence expanded in massing with additions. What would become the apartments looks to be a gable or metal shed-roof outbuilding with an L-shaped footprint. There is no building fronting Canyon Road, but the presence of walls suggests that the southeast corner of the property was used for some purpose at that time.

A Changing Neighborhood

By the 1950s, Canyon Road had evolved from a primarily Hispanic residential area to a linear commercial corridor, beginning to be developed for tourism. Santa Fe's postwar boom had increased the number of residences along the road by 76% between 1940 and 1950.⁹ But the new residences mainly represented an increasing Anglo population.

⁷ Hudspeth Directory Company, *Santa Fe City Directory*. El Paso: Hudspeth Directory Company, various editions: 1928-1997.

Hudspeth Directory Company, *1942 Hudspeth Santa Fe City Directory*, (El Paso: Hudspeth Directory Company, 1942, 308.

⁸ *Ibid.*, 1951 *Hudspeth Santa Fe City Directory*, 416.

⁹ Henry J. Tobias and Charles E. Woodhouse, *Santa Fe: A Modern History, 1880-1990*, (Albuquerque: University of New Mexico Press, 2001), 185.

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Reflecting both trends, Ignacio’s childhood home at 601 Canyon was converted in 1954 into the Hal West Western Gallery. West, a Texas native and self-taught artist, appears to have built a house adjacent to the gallery. It is assumed that at this time the corner portion of the Vigil property dropped out of family ownership. This reduced the Vigil land to the current L-shaped lot, which came into Ignacio’s ownership in 1960.¹⁰

Starting in the mid-1950s, 613 Canyon was identified as three sub-units — a, b, and c — in city directories. This most likely represented the Duplex and the Vigil home. A fourth sub-address began to appear in directories in the late 1950s. This suggests a new dwelling, possibly the first iteration of the apartments. Beginning in the 1940s, older homes along Canyon were either divided or added upon with apartments. Adjacent properties responded to the trend; the most extreme being 558 Canyon, which had gained six apartments by the 1950s.

Gallery & Apartments

The commercial building fronting Canyon Road came online — based on aerial photographs and city directory listings — in the early 1960s. The building is shown on a 1966 aerial image as a square mass with an overhang across its south façade (Figure 4).

Orlando E. Vigil, a probable relation to Ignacio, opened a barbershop in the building around 1963. Orlando’s Barbershop occupied the space until around 1971, before moving to Cerrillos Road. Based on newspaper accounts, it appears the commercial building had multiple lease spaces, with first Poor Richard’s and later the Wooden Angel using part of it as a gallery.

Around this time, Kent McLaughlin, a hippie restaurateur, applied to the Board of Adjustment for an exception to turn one of the commercial spaces into a combined restaurant-gallery.¹¹ The approved exception launched a new chapter of the building’s history which lasted nearly 20 years. In the summer of 1969, McLaughlin opened Kent’s Place, a coffeehouse/gallery that was described by the *New Mexican* as the “hip scene” of Canyon Road.¹²

¹⁰ Note on February 22, 2017 survey. The note states that Ignacio received the warranty deed from Saloman Juan and Irene G. Vigil. Biographical could not be found for either individual, though the name Solomon Vigil appears on an adjacent parcel on the 1912 “King’s Map.”

¹¹ *Santa Fe New Mexican*, May 19, 1969, 24.

¹² *Ibid.*, July 13, 1969, 3.

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Kent's, which soon morphed into Foxy's Feederly, reflected Canyon Road's late '60s/early '70s hippie renaissance. The high point arrived in 1972, when the Hand-to-Mouth Gallery — a menagerie selling handmade tapestries, etchings and silkscreen works — took over one of the spaces (Figure 6). Around the same time, Sun & Earth, an earthy florist offering houseplants, cactuses and handcrafted containers, used another space.

The building went through a rapid series of tenants in the mid- 1970s, including several short-lived galleries and coffee shops. The longest tenants were two restaurants — Café La Boheme and The Haven (later The New Haven). The latter restaurant — a conscious community food venue, offering meatless dishes and homemade whole wheat bread — added a wall enclosure across the façade in 1979 to create a sheltered dining area.¹³

Celebrations Restaurant, the last to use the building as a restaurant, opened in the late 1980s and continued the patio-dining trend.

Apartments

The final piece to the Vigil property came about in the 1970s, when it appears that a carport or secondary structure west of the Vigil home was turned into apartments. The date of construction for the specific unit building, however, is unclear. A 1957 advertisement for a furnished bachelor apartment with a carport could associate it with the earlier structure.¹⁴

The number of secondary unit designations (1-4) remained consistent from 1960 to 1970. In 1971, the number of sub-units jumped from four to seven, potentially indicating the construction of the building. A 1978 aerial photograph shows that the structure making up the apartments had expanded to the west by that time (Figure 5). Its current windows and doors indicate a probable 1970s construction.

¹³ Ibid., May 10, 1979, D-1.

¹⁴ Ibid., June 9, 1957, 15.

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Change of Ownership

All this time, the Vigils continued to live at the back of the property in the family home, which had grown over the years with additions. Ignacio worked for several decades as a butcher at Tito’s Market on Acequia Madre, and later as an employee of the Santa Fe animal shelter. Julia raised six children — three boys and three girls. Ignacio Loyola Vigil died in 1993; his wife following him 20 years later. Both are buried at Santa Fe National Cemetery.

At the time of her death in 2014, only a few people lived on the property, including herself, her son, Paul Vigil (now deceased), and three tenants.¹⁵

The surviving Vigil family members, as a limited partnership, sold the property to the current owner in 2017.

Duplex - Evaluation of Historical Status

Aside from window replacements and the installation of a new portal and probable new opening at the northwest corner, it retains a high degree of historic integrity. It is additionally significant for its self-conscious use of the sculptural adobe form. For these reasons, it is recommended to maintain its Contributing status to the Downtown and Eastside Historic District.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

¹⁵ Polk City Directories, *2014 Santa Fe, New Mexico, Polk City Directory*, (Papillion, Neb.: Polk City Directories Inc.), 93.

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Illustrations



Figure 1: Portion of 1912 “King’s Official Map of the City of Santa Fe, New Mexico” showing land owned by Cruz Vigil. Arrow indicates building most likely currently addressed as 601 Canyon Road.

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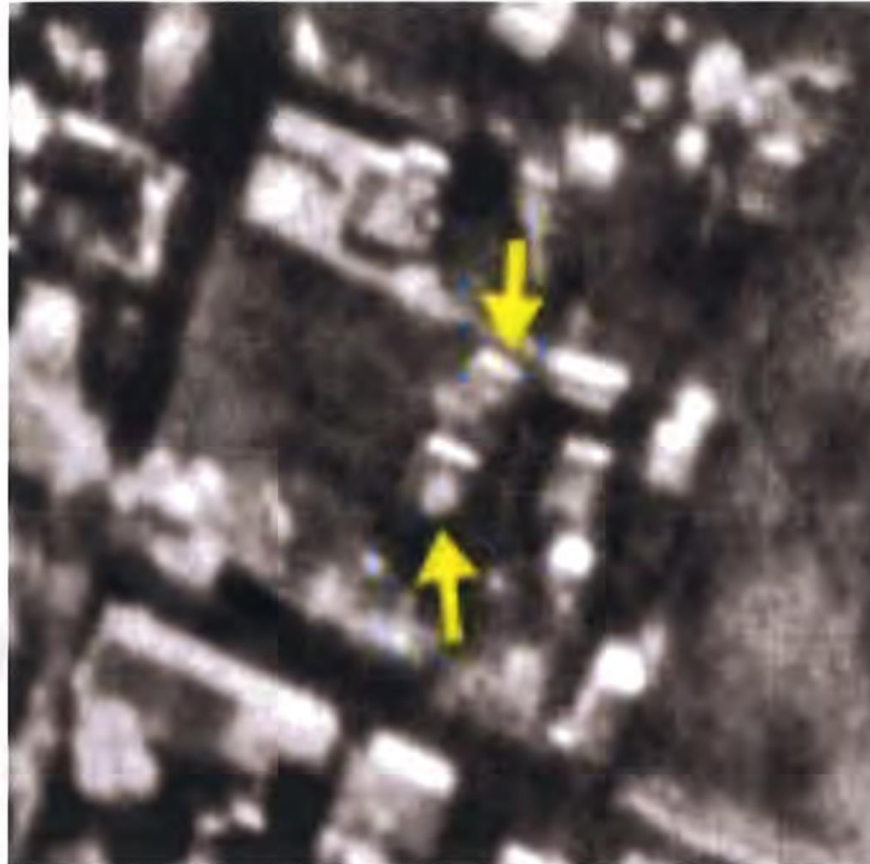


Figure 2: Portion of October 25, 1948 aerial photograph showing development of lot up until that point. Lower arrow indicates Duplex; upper arrow the Vigil Residence. Source: UNM/EDAC- 19481025_GS_EN_4_085. Author reversed image to negative to enhance definition of building footprints.

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Figure 3: Portion of November 10, 1958 aerial photograph showing Duplex, Vigil Residence in existence.
 Source: NMDOT- ST_11-10-58.

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Figure 4: Portion of May 2, 1966 aerial photograph.
 Source: NMDOT- ST_05-02-66.

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Figure 5: Portion of September 11, 1978 aerial photograph.
Source: NMDOT- Sts_09-11-78.

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Survey Photographs

(All photographs taken on May 3, 2018 by John W. Murphey)



Photo 1: East elevation showing double portales, facing northwest.

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Photo 2: South and east elevations, facing northwest.

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Photo 3: South elevation, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Ignacio L. and Julia B. Vigil Property Duplex	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe	
		5. Date of Survey: May 3, 2018		



Photo 4: North and west elevations, facing southeast.

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Photo 5: Scratched inscription on concrete of non-historic porch. The inscription appears to be "1994."

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence	2. Location: 613 Canyon Road <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID # 051611304 (1984 number) 4. County: Santa Fe
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 3, 2018		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 30, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.682190, -105.928330		
10. Photo Information View of front (south) and east elevations, facing northwest.		
11. Brief Description of the Property: <p>Taking up the northeast corner of the property is a multi-massed, approximately 2,021-square-foot house, revealing several disparate building campaigns. Constructed mostly of adobe, the historic core of the house appears to be at the center of the footprint. From this core accretions were made over the ensuing decades, with the last — a boxy frame addition — built across the west and south facades after 1984. The residence is oriented to the both the alley and a flagstone patio along the west elevation.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Residence		
13. Construction Date: Pre-1948 [1935 – Santa Fe County Assessor estimate, accessed May 18, 2018] Date: <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source aerial photographs and city directories		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Google Imagery, 2018



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
505-577-7593
John@archhistoryservices.com

For: Hoopes & Associates Architects

18. Owner (if known) and other knowledgeable people:

Owner: Canyon Room Holdings, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes It is unclear if this is a Contributing resource to the Santa Fe Historic District, listed on the New Mexico State Register Cultural of Properties.

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing No Status
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

**Vigil Residence -
Recommended
Noncontributing Structure to
the Downtown and Eastside
Historic District, May 30, 2018**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																															
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____ 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: _____ Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt - Brai <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____																																													
10. Windows <input checked="" type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Operation</th> <th style="width: 15%;">Material</th> <th style="width: 15%;">Glazing</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Double-Hung</td> <td>Wood</td> <td>6/6</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Double-Hung</td> <td>Aluminum</td> <td>1/1</td> <td style="text-align: center;">4</td> </tr> <tr> <td>Casement</td> <td>Steel</td> <td>3-3</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Casement</td> <td>Steel</td> <td>3-6-3, w/transom</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td style="text-align: center;">3</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Double-Hung	Wood	6/6	1	Double-Hung	Aluminum	1/1	4	Casement	Steel	3-3	1	Casement	Steel	3-6-3, w/transom	1	Sliding	Aluminum	1-1	3	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Type</th> <th style="width: 15%;">Style</th> <th style="width: 15%;">Material</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>6-light, wood panel</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Single-Leaf</td> <td>15-light</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Single-Leaf</td> <td>Solid</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Double</td> <td>French</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	6-light, wood panel	Wood	1	Single-Leaf	15-light	Wood	1	Single-Leaf	Solid	Wood	1	Double	French	Wood	1
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Double	French	Wood	1																																												
12. Chimneys N/A Two, stucco-clad, rising from inside roof		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry, 2 <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																													
14. Other Significant Features N/A																																															
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1Date: Unknown; multiple accretionary additions; aerial photographs and visual and material evidence.</u> <u>#2Date: c.1960s; addition of overhang across front façade; 1984 HBI and aerial photographs.</u> <u>#3Date: Post-1978; addition across west elevation; 1978 aerial photograph and visual and material evidence.</u> <u>#4Date: Post-1984; Replacement of wood windows and doors; comparison with 1984 HBI survey and visual and material evidence.</u>																																															

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other:

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

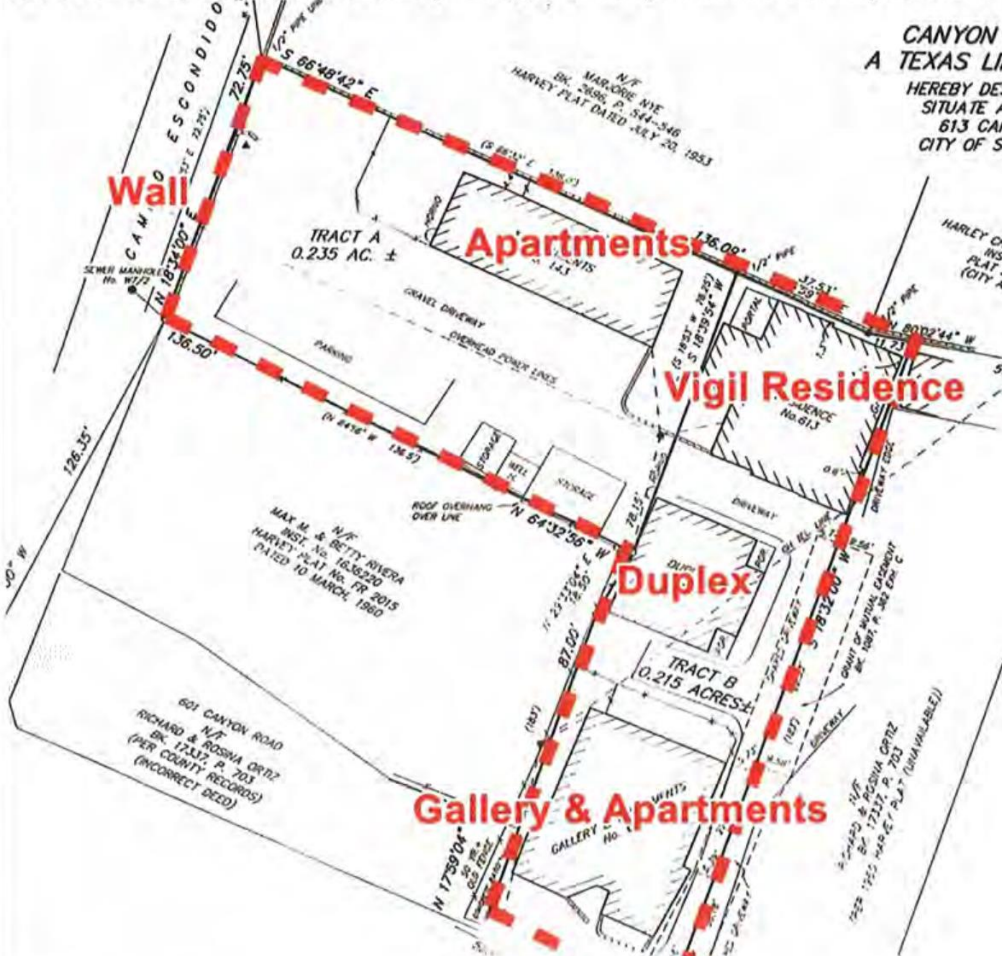
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Portion of February 22, 2017 boundary survey, modified by consultant. Courtesy Del Rio Surveys, Inc.



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Architectural Description Continued

The south façade is penetrated by a single door flanked on the west by steel casement windows (Photo 1). A circa 1960s overhang shelters the opening and creates a portal-like space. A sculptural chimney rises above the elevation and seems to demarcate different stages of construction.

The same is observed across the secondary east elevation, which has a change in wall plane (Photo 2). Just a few feet from the property wall, the north elevation appears unfinished with stretches of gray stucco and a mixture of steel, aluminum and wood windows (Photo 3).

The west elevation is dominated by a rectangular frame addition constructed after 1984 (Photos 4 & 5). The addition attaches awkwardly to the older building. Its stiff corners, straight parapet and metal fascia canopy are disharmonious with the soft lines of the surrounding building. The roof of the addition continues to the north, covering what appears to be originally an open area containing a banco and fireplace.

The windows of the house are mostly aluminum sliding replacement units. The building is finished with cementitious stucco in a darker buckskin color. White is used at the portales as accent.

It is unclear when the original core of the home was constructed. A smaller footprint appears on a 1948 aerial photograph (Figure 2). It took on its present shape, minus the south overhang and west addition, by 1958 (Figure 3). The house is an example of vernacular construction, with an atypical sequence of accretions.

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Historical Overview

Like many Santa Fe family properties with a long lineage and a list of dwellings, the Ignacio L. and Julia B. Vigil tract at 613 Canyon is bedeviled by complications. Chief among them the non-standard — and almost constantly changing — identification of secondary unit designations. Over its nearly 80-year period of development, every building and apartment on the property was given the designation 613 Canyon Road. Units went through several subunit designations (1, 2 or 3, or a, b, or c...), none helpful for identifying the buildings on the ground.¹ In the simplest terms, the tract most likely started with the Vigil Residence, followed by the Duplex, with both known through an aerial photograph to exist by 1948. The commercial building fronting Canyon Road came approximately 20 years later, with the three-unit apartment building coming onto the scene in the early to mid-1970s.

Bridging between Canyon Road and Camino Escondido, the L-shaped parcel of land is a fragment of an earlier, much larger family holding. The larger piece, historically titled Block 49, ran north from Canyon Road, along irrigated corn and alfalfa fields to the Santa Fe River. It was originally under the ownership of Simon Vigil, a prosperous sheep man and Santa Fe Trail freighter.

According to his obituary, Vigil — who served in the New Mexico Calvary during — the Civil War, owned extensive land on the Eastside.² At some point before his death in 1915, he most likely deeded two parcels of the Canyon Road acreage to his son Cruz Vigil (1878-1945). The 1912 “King’s Map” of Santa Fe shows the son owning the land taking up the southeast corner of present-day Camino Escondido and Canyon Road (Block 49B, Lots 17, 19 & 20) (Figure 1).

The Vigils built a house at the corner, which most likely ties to the commercial building at 601 Canyon currently occupied by the Ernesto Mayan Gallery (Figure 1). The property included houses occupied by his sons-in-law Moises Perea and Presciliano Ortiz.³

¹ An attempt to locate and interview Ignacio’s children was unsuccessful.

² *Santa Fe New Mexican*, October 18, 1915, 8.

³ U.S. Federal Census, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2A; Enumeration District: 0003.

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In the house on Canyon Road, Cruz and his wife Gregorita Lujan Vigil raised a family, including son Ignacio Loyola Vigil (1912-1993) — the person most directly related to the study.

Born a day before the Fourth of July in New Mexico’s year of statehood, Ignacio, popularly called “Iggie,” graduated from St. Michael’s High School in 1930. He appears to have left Santa Fe in the middle of the Depression, returning toward the end of the decade to take up residence again at his parent’s house at 601 Canyon Road.

The 1940 census documents the then 25-year-old Ignacio working part time as a butcher and delivery driver, earning an income of \$490 per year.⁴ Ignacio was drafted two years later into the Army, where he served in the Pacific Theater in a technical position, earning the title of Corporal.⁵ Both parents died in early 1945, prior to his discharge in November.

Ignacio does not appear to have immediately returned to Santa Fe after the war. During his period of absence the Vigil property began to evolve through new construction. In the early 1940s, Ignacio’s brother-in-law, Moises Perea, constructed a three-room house, which by its description could be the origin of the Vigil Residence.⁶ The construction of the house and/or the Duplex ties to the first appearance of the 613 Canyon Road address, listed in the 1942 city directory.⁷

Ignacio came back to Santa Fe by the end of the decade, with the 1951 directory indicating he was the owner of the 613 Canyon Road property.⁸ Three years later, he married Julia Baldwin, a 1944 graduate of Santa Fe High School, and twelve years younger. The couple appears to have set up residence in the back unit, now called the Vigil Residence.

⁴ Ibid, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 4B; Enumeration District: 25-5A.

⁵ New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Subseries: *Military Discharges*; Box Number: 16649; Box Title: *Military Discharges Vigil – Walker*.

⁶ Notice of application to build new house, *Santa Fe New Mexican*, November 9, 1939, 3; advertisement for three-room “Spanish style house” with two fireplaces, *Ibid.*, June 17, 1941, 7 and July 7, 1941, 5.

⁷ Hudspeth Directory Company, *Santa Fe City Directory*. El Paso: Hudspeth Directory Company, various editions: 1928-1997.

Hudspeth Directory Company, *1942 Hudspeth Santa Fe City Directory*, (El Paso: Hudspeth Directory Company, 1942, 308.

⁸ *Ibid.*, *1951 Hudspeth Santa Fe City Directory*, 416.

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Duplex and Vigil Residence

The first graphic indication of the two units is found on a 1948 aerial photograph (Figure 2). While distorted, the aerial shows the Duplex to be of the same shape and size as what stands today. The Vigil Residence looks to be a smaller dwelling. Neither the street-side unit nor the apartments are apparent on the aerial.

The configuration of dwellings becomes clearer on a 1958 aerial (Figure 3). The photograph shows the Duplex in its current footprint with the Vigil Residence expanded in massing with additions. What would become the apartments looks to be a gable or metal shed-roof outbuilding with an L-shaped footprint. There is no building fronting Canyon Road, but the presence of walls suggests that the southeast corner of the property was used for some purpose at that time.

A Changing Neighborhood

By the 1950s, Canyon Road had evolved from a primarily Hispanic residential area to a linear commercial corridor, beginning to be developed for tourism. Santa Fe's postwar boom had increased the number of residences along the road by 76% between 1940 and 1950.⁹ But the new residences mainly represented an increasing Anglo population.

Reflecting both trends, Ignacio's childhood home at 601 Canyon was converted in 1954 into the Hal West Western Gallery. West, a Texas native and self-taught artist, appears to have built a house adjacent to the gallery. It is assumed that at this time the corner portion of the Vigil property dropped out of family ownership. This reduced the Vigil land to the current L-shaped lot, which came into Ignacio's ownership in 1960.¹⁰

Starting in the mid-1950s, 613 Canyon was identified as three sub-units — a, b, and c — in city directories. This most likely represented the Duplex and the Vigil home. A fourth sub-address began to appear in directories in the late 1950s. This suggests a new dwelling, possibly the first iteration of the apartments. Beginning in the 1940s, older homes along Canyon were either divided or added upon with apartments.

⁹ Henry J. Tobias and Charles E. Woodhouse, *Santa Fe: A Modern History, 1880-1990*, (Albuquerque: University of New Mexico Press, 2001), 185.

¹⁰ Note on February 22, 2017 survey. The note states that Ignacio received the warranty deed from Saloman Juan and Irene G. Vigil. Biographical could not be found for either individual, though the name Solomon Vigil appears on an adjacent parcel on the 1912 "King's Map."

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Adjacent properties responded to the trend; the most extreme being 558 Canyon, which had gained six apartments by the 1950s.

Gallery & Apartments

The commercial building fronting Canyon Road came online — based on aerial photographs and city directory listings — in the early 1960s. The building is shown on a 1966 aerial image as a square mass with an overhang across its south façade (Figure 4).

Orlando E. Vigil, a probable relation to Ignacio, opened a barbershop in the building around 1963. Orlando’s Barbershop occupied the space until around 1971, before moving to Cerrillos Road. Based on newspaper accounts, it appears the commercial building had multiple lease spaces, with first Poor Richard’s and later the Wooden Angel using part of it as a gallery.

Around this time, Kent McLaughlin, a hippie restaurateur, applied to the Board of Adjustment for an exception to turn one of the commercial spaces into a combined restaurant-gallery.¹¹ The approved exception launched a new chapter of the building’s history which lasted nearly 20 years. In the summer of 1969, McLaughlin opened Kent’s Place, a coffeehouse/gallery that was described by the *New Mexican* as the “hip scene” of Canyon Road.¹²

Kent’s, which soon morphed into Foxy’s Feederly, reflected Canyon Road’s late ‘60s/early ‘70s hippie renaissance. The high point arrived in 1972, when the Hand-to-Mouth Gallery — a menagerie selling handmade tapestries, etchings and silkscreen works — took over one of the spaces (Figure 6). Around the same time, Sun & Earth, an earthy florist offering houseplants, cactuses and handcrafted containers, used another space.

The building went through a rapid series of tenants in the mid- 1970s, including several short-lived galleries and coffee shops. The longest tenants were two restaurants — Café La Boheme and The Haven (later The New Haven). The latter restaurant — a conscious community food venue, offering meatless dishes and homemade whole wheat bread — added a wall enclosure across the façade in 1979 to create a sheltered dining area.¹³

¹¹ *Santa Fe New Mexican*, May 19, 1969, 24.

¹² *Ibid.*, July 13, 1969, 3.

¹³ *Ibid.*, May 10, 1979, D-1.

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Celebrations Restaurant, the last to use the building as a restaurant, opened in the late 1980s and continued the patio-dining trend.

Apartments

The final piece to the Vigil property came about in the 1970s, when it appears that a carport or secondary structure west of the Vigil home was turned into apartments. The date of construction for the specific unit building, however, is unclear. A 1957 advertisement for a furnished bachelor apartment with a carport could associate it with the earlier structure.¹⁴

The number of secondary unit designations (1-4) remained consistent from 1960 to 1970. In 1971, the number of sub-units jumped from four to seven, potentially indicating the construction of the building. A 1978 aerial photograph shows that the structure making up the apartments had expanded to the west by that time (Figure 5). Its current windows and doors indicate a probable 1970s construction.

Change of Ownership

All this time, the Vigils continued to live at the back of the property in the family home, which had grown over the years with additions. Ignacio worked for several decades as a butcher at Tito’s Market on Acequia Madre, and later as an employee of the Santa Fe animal shelter. Julia raised six children — three boys and three girls. Ignacio Loyola Vigil died in 1993; his wife following him 20 years later. Both are buried at Santa Fe National Cemetery.

At the time of her death in 2014, only a few people lived on the property, including herself, her son, Paul Vigil (now deceased), and three tenants.¹⁵

The surviving Vigil family members, as a limited partnership, sold the property to the current owner in 2017.

¹⁴ Ibid., June 9, 1957, 15.

¹⁵ Polk City Directories, *2014 Santa Fe, New Mexico, Polk City Directory*, (Papillion, Neb.: Polk City Directories Inc.), 93.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		
		4. County: Santa Fe		
		5. Date of Survey: May 3, 2018		

Vigil Residence - Evaluation of Historical Status

The differing roof heights, changes of wall planes, and the incongruent west addition present a discordant collection of elevations. Given its overall lack of cohesion and the disharmonious character of the addition, the recommendation is downgrade it to Noncontributing Structure to the Downtown and Eastside Historic District.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP _____	SRCP _____
		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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		4. County: Santa Fe	
		5. Date of Survey: May 3, 2018	

Illustrations



**Figure 1: Portion of 1912 “King’s Official Map of the City of Santa Fe, New Mexico” showing land owned by Cruz Vigil.
Arrow indicates building most likely currently addressed as 601 Canyon Road.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: May 3, 2018		

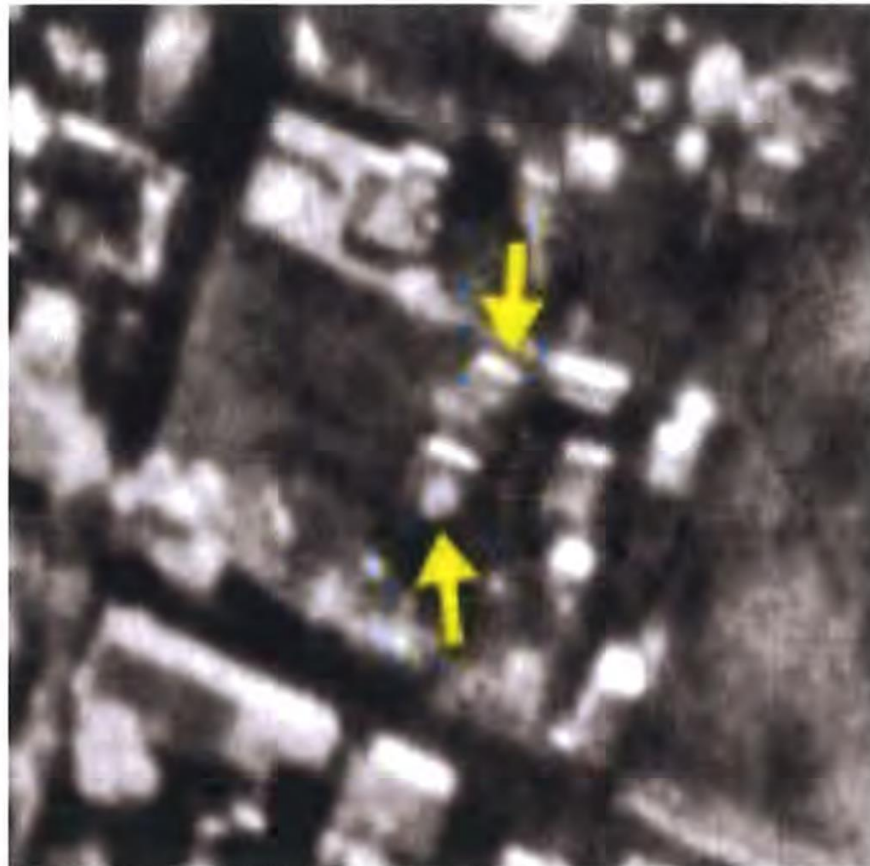


Figure 2: Portion of October 25, 1948 aerial photograph showing development of lot up until that point.

Lower arrow indicates Duplex; upper arrow the Vigil Residence.

Source: UNM/EDAC- 19481025_GS_EN_4_085.

Author reversed image to negative to enhance definition of building footprints.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe 5. Date of Survey: May 3, 2018



**Figure 3: Portion of November 10, 1958 aerial photograph showing Vigil Residence ,
 Vigil Residence in existence.
 Source: NMDOT- ST_11-10-58.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No.	District No.	NRHP	SRCP	Criteria A B C D
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				4. County: Santa Fe
				5. Date of Survey: May 3, 2018



Figure 4: Portion of May 2, 1966 aerial photograph.

Source: NMDOT- ST_05-02-66.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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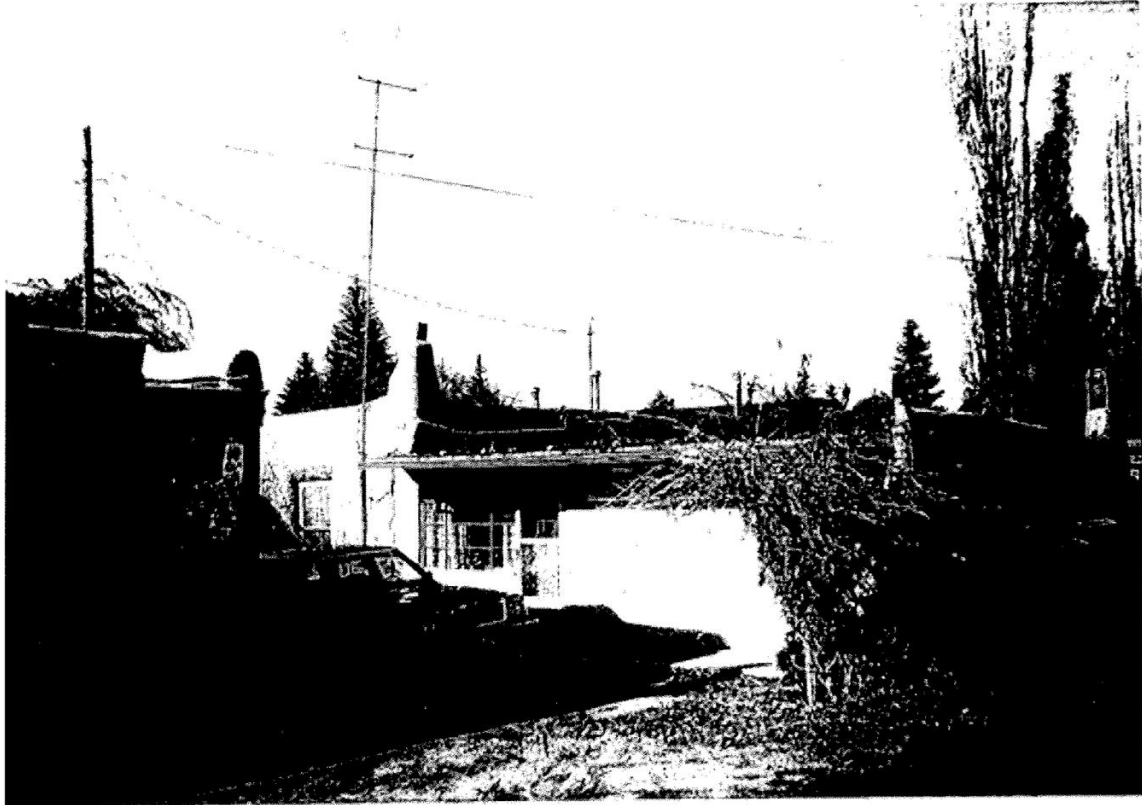


Figure 5: Portion of September 11, 1978 aerial photograph.
 Source: NMDOT- Sts_09-11-78.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe 5. Date of Survey: May 3, 2018



**Figure 6: South (front) elevation,
taken from photocopy of October 30, 1984 survey form.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
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		4. County: Santa Fe		
		5. Date of Survey: May 3, 2018		

Survey Photographs

(All photographs taken on May 3, 2018 by John W. Murphey)



Photo 1: Portion of front (south) façade, facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe		
		5. Date of Survey: May 3, 2018		



Photo 2: East elevation, facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence		2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A	
				4. County: Santa Fe	
				5. Date of Survey: May 3, 2018	



Photo 3: North elevation, facing southeast (top) and southwest (bottom).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____
		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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		4. County: Santa Fe	
		5. Date of Survey: May 3, 2018	



Photo 4: West elevation, post-1978 addition, facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs


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1. Name of property: Ignacio L. and Julia B. Vigil Property Vigil Residence	2. Location: 613 Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe		
		5. Date of Survey: May 3, 2018			



Photo 5: West elevation, post-1978 addition, facing southeast.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: Ignacio L. and Julia B. Vigil Property Apartments	2. Location: 143 Camino Escondido <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID # 051611676 (1985 number)
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input checked="" type="checkbox"/> Structures: <input type="checkbox"/> Site <input checked="" type="checkbox"/> Object		4. County: Santa Fe
6. Date of Survey: May 3, 2018		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: May 2, 1985 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.682280, -105.928537		
10. Photo Information	View of front (south) elevation, facing northwest.	
11. Brief Description of the Property: Taking up the northwest corner of the property is a three-unit apartment building cobbled together in the 1970s from an earlier structure. The apartments are fitted into a long, rectangular mass arranged on an east-west axis (Photo 1). They face south onto a gravel parking lot. A 20"-wide overhang supported by vigas spans the façade. A similar overhang carries across the north elevation. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence – Apartments		
13. Construction Date: c.1970s [1980 – Santa Fe County Assessor estimate, accessed May 18, 2018] Date: <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source aerial photographs and city directories		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Google Imagery, 2018



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
505-577-7593
John@archhistoryservices.com

For: Hoopes & Associates Architects

18. Owner (if known) and other knowledgeable people:

Owner: Canyon Room Holdings, LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High

Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)

See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown* No Yes

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why? See Analysis of Historical Status.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes

If yes: Significant Contributing Non-contributing No Status

Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

**Apartments - Recommended
Noncontributing Structure to
the Downtown and Eastside
Historic District, May 30, 2018**

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D																																					
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		5. Date of Survey: May 3, 2018																																							
ARCHITECTURAL AND CONSTRUCTION DETAILS:																																									
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:				7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____																																					
				8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes:																																					
				9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																					
10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Operation</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Glazing</th> <th style="width: 40%;">Number</th> </tr> </thead> <tbody> <tr> <td>Double-Hung</td> <td>Wood</td> <td>1/1</td> <td style="text-align: center;">2</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td style="text-align: center;">4</td> </tr> <tr> <td>Casement</td> <td>Steel</td> <td>[?]</td> <td style="text-align: center;">1</td> </tr> </tbody> </table> *North elevation not accessible.			Operation	Material	Glazing	Number	Double-Hung	Wood	1/1	2	Sliding	Aluminum	1-1	4	Casement	Steel	[?]	1	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Type</th> <th style="width: 15%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 50%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Solid</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Single-Leaf</td> <td>Half-Glass</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Double*</td> <td>Sliding</td> <td>[?]</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Garage</td> <td>Retract</td> <td>Wood</td> <td style="text-align: center;">1</td> </tr> </tbody> </table> *North elevation not accessible; based on tenant's description.			Type	Style	Material	Number	Single-Leaf	Solid	Wood	1	Single-Leaf	Half-Glass	Wood	1	Double*	Sliding	[?]	1	Garage	Retract	Wood	1
Operation	Material	Glazing	Number																																						
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Casement	Steel	[?]	1																																						
Type	Style	Material	Number																																						
Single-Leaf	Solid	Wood	1																																						
Single-Leaf	Half-Glass	Wood	1																																						
Double*	Sliding	[?]	1																																						
Garage	Retract	Wood	1																																						
12. Chimneys N/A One, stucco-clad, rising from northeast corner			13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																						
14. Other Significant Features N/A																																									
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications																																									
#1Date: <u>Between 1958 and 1966;probable change in roof form or reconstruction of building; aerial photographs.</u> #2Date: <u>Between 1966 and 1978; extension of building west with garage and/or apartments; aerial photographs and city directory entries.</u> #3Date: <u>Unknown, recent; replacement and/or installation of new window opening, west elevation; visual and material evidence.</u>																																									

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style _ Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other:

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

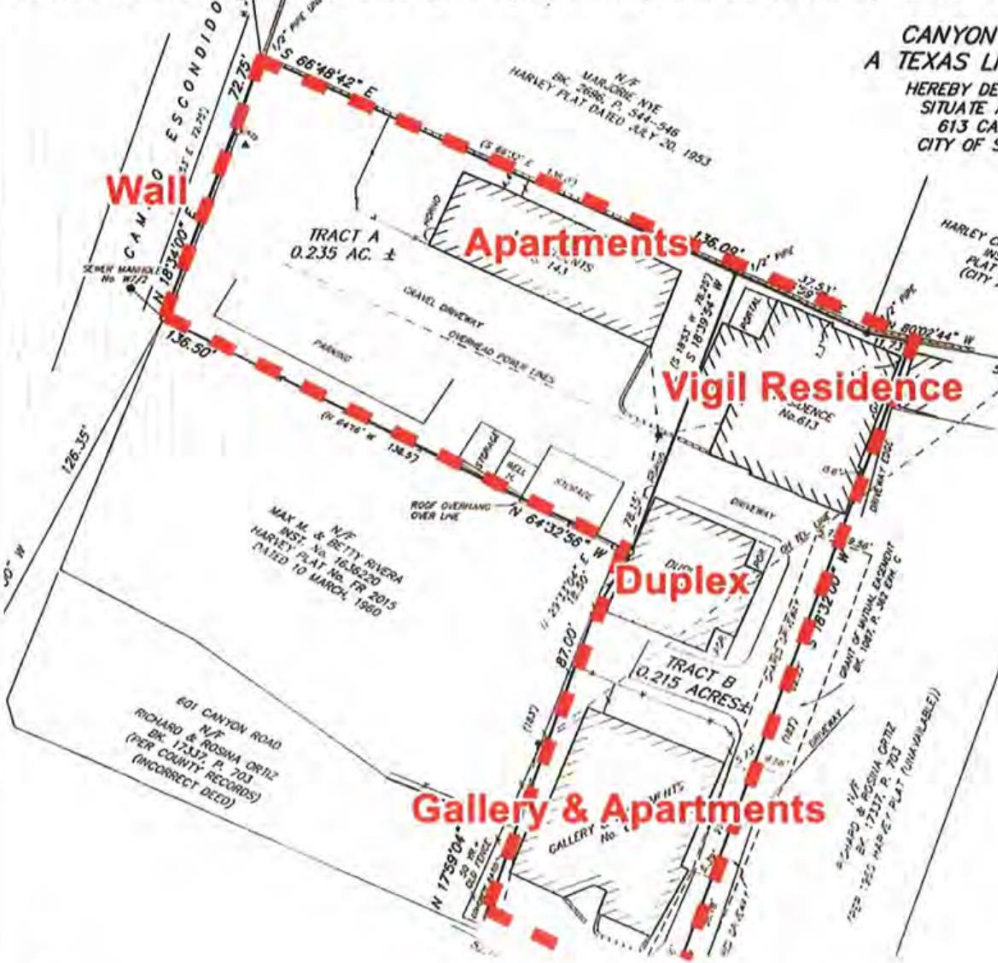
Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing? No

19. Portion of February 22, 2017 boundary survey, modified by consultant. Courtesy Del Rio Surveys, Inc.



CANYON
A TEXAS LI
HEREBY DE:
SITUATE A
613 CAN
CITY OF S.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		5. Date of Survey: May 3, 2018		

Architectural Description Continued

The façade is penetrated with three pedestrian entries and a garage door. The doors are of different designs, ranging from a plain solid unit to a half-glass door with decorative wood panels (Cover photo). These are flanked by an array of windows of different operation and material. Unlike typical apartments, bathrooms are arranged along the front, with opaque sliding windows becoming part of the façade design.

The side elevations are each fenestrated with a single, non-historic aluminum window (Photos 2 & 4). The rear (north) elevation facing onto a wall has different windows, with the center unit containing a patio door (Photo 4). The west side of the building is enclosed by a roughly 69"-high coyote fence, creating a small yard (Photo 5). It includes a small concrete horno similar to the one found at the Duplex.

The apartments, located on a separate tract and addressed as 143 Camino Escondido, seem to have originated from a smaller secondary building. Aerial photographs show that it most likely started as a gabled or shed-roof building —potentially a carport. This was later moved or reconfigured to a flat-roof structure by 1966 (Figure 4).

At some point in the early 1970s, it expanded to the west, likely through the addition of the third apartment and garage. By 1978, the building had taken on its current footprint (Figure 5).

Storage Complex

Situated to the south of apartments are three recent structures bunched together and serving as tenant storage (Photos 5 & 6). The structures, as identified on a survey plat, consist of storage units bookending a smaller well house. Each is clad with vertical, T-1(11)-type siding. The units postdate 1978, and are considered non-historic.

Street Wall

Lining the west side of the property is a low stone wall constructed after 1966 (Photo 7). The wall, built of mortared arroyo stone, is approximately 57' long. It rises on average 3' above grade, and is 8½" wide at its crown. The stone is laid in both regular and irregular courses, and includes whimsical accent pieces. A metal mailbox is sunk into near the north end where it curves back along the entry. The wall does not appear on a 1966 aerial, but is discernable on the next available image in 1978 (Figures 4 & 5).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Historical Overview

Like many Santa Fe family properties with a long lineage and a list of dwellings, the Ignacio L. and Julia B. Vigil tract at 613 Canyon is bedeviled by complications. Chief among them the non-standard — and almost constantly changing — identification of secondary unit designations. Over its nearly 80-year period of development, every building and apartment on the property was given the designation 613 Canyon Road. Units went through several subunit designations (1, 2 or 3, or a, b, or c...), none helpful for identifying the buildings on the ground.¹ In the simplest terms, the tract most likely started with the Vigil Residence, followed by the Duplex, with both known through an aerial photograph to exist by 1948. The commercial building fronting Canyon Road came approximately 20 years later, with the three-unit apartment building coming onto the scene in the early to mid-1970s.

Bridging between Canyon Road and Camino Escondido, the L-shaped parcel of land is a fragment of an earlier, much larger family holding. The larger piece, historically titled Block 49, ran north from Canyon Road, along irrigated corn and alfalfa fields to the Santa Fe River. It was originally under the ownership of Simon Vigil, a prosperous sheep man and Santa Fe Trail freighter.

According to his obituary, Vigil — who served in the New Mexico Calvary during — the Civil War, owned extensive land on the Eastside.² At some point before his death in 1915, he most likely deeded two parcels of the Canyon Road acreage to his son Cruz Vigil (1878-1945). The 1912 “King’s Map” of Santa Fe shows the son owning the land taking up the southeast corner of present-day Camino Escondido and Canyon Road (Block 49B, Lots 17, 19 & 20) (Figure 1).

The Vigils built a house at the corner, which most likely ties to the commercial building at 601 Canyon currently occupied by the Ernesto Mayan Gallery (Figure 1). The property included houses occupied by his sons-in-law Moises Perea and Presciliano Ortiz.³

¹ An attempt to locate and interview Ignacio’s children was unsuccessful.

² *Santa Fe New Mexican*, October 18, 1915, 8.

³ U.S. Federal Census, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2A; Enumeration District: 0003.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> <u> </u> <u> </u> <u> </u>
1. Name of property: Ignacio L. and Julia B. Vigil Property Apartments	2. Location: 143 Camino Escondido Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		
		4. County: Santa Fe		
		5. Date of Survey: May 3, 2018		

In the house on Canyon Road, Cruz and his wife Gregorita Lujan Vigil raised a family, including son Ignacio Loyola Vigil (1912-1993) — the person most directly related to the study.

Born a day before the Fourth of July in New Mexico’s year of statehood, Ignacio, popularly called “Iggie,” graduated from St. Michael’s High School in 1930. He appears to have left Santa Fe in the middle of the Depression, returning toward the end of the decade to take up residence again at his parent’s house at 601 Canyon Road.

The 1940 census documents the then 25-year-old Ignacio working part time as a butcher and delivery driver, earning an income of \$490 per year.⁴ Ignacio was drafted two years later into the Army, where he served in the Pacific Theater in a technical position, earning the title of Corporal.⁵ Both parents died in early 1945, prior to his discharge in November.

Ignacio does not appear to have immediately returned to Santa Fe after the war. During his period of absence the Vigil property began to evolve through new construction. In the early 1940s, Ignacio’s brother-in-law, Moises Perea, constructed a three-room house, which by its description could be the origin of the Vigil Residence.⁶ The construction of the house and/or the Duplex ties to the first appearance of the 613 Canyon Road address, listed in the 1942 city directory.⁷

Ignacio came back to Santa Fe by the end of the decade, with the 1951 directory indicating he was the owner of the 613 Canyon Road property.⁸ Three years later, he married Julia Baldwin, a 1944 graduate of Santa Fe High School, and twelve years younger. The couple appears to have set up residence in the back unit, now called the Vigil Residence.

⁴ Ibid, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 4B; Enumeration District: 25-5A.

⁵ New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Subseries: *Military Discharges*; Box Number: 16649; Box Title: *Military Discharges Vigil – Walker*.

⁶ Notice of application to build new house, *Santa Fe New Mexican*, November 9, 1939, 3; advertisement for three-room “Spanish style house” with two fireplaces, *Ibid.*, June 17, 1941, 7 and July 7, 1941, 5.

⁷ Hudspeth Directory Company, *Santa Fe City Directory*. El Paso: Hudspeth Directory Company, various editions: 1928-1997.

Hudspeth Directory Company, *1942 Hudspeth Santa Fe City Directory*, (El Paso: Hudspeth Directory Company, 1942, 308.

⁸ *Ibid.*, 1951 *Hudspeth Santa Fe City Directory*, 416.

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Duplex and Vigil Residence

The first graphic indication of the two units is found on a 1948 aerial photograph (Figure 2). While distorted, the aerial shows the Duplex to be of the same shape and size as what stands today. The Vigil Residence looks to be a smaller dwelling. Neither the street-side unit nor the apartments are apparent on the aerial.

The configuration of dwellings becomes clearer on a 1958 aerial (Figure 3). The photograph shows the Duplex in its current footprint with the Vigil Residence expanded in massing with additions. What would become the apartments looks to be a gable or metal shed-roof outbuilding with an L-shaped footprint. There is no building fronting Canyon Road, but the presence of walls suggests that the southeast corner of the property was used for some purpose at that time.

A Changing Neighborhood

By the 1950s, Canyon Road had evolved from a primarily Hispanic residential area to a linear commercial corridor, beginning to be developed for tourism. Santa Fe’s postwar boom had increased the number of residences along the road by 76% between 1940 and 1950.⁹ But the new residences mainly represented an increasing Anglo population.

Reflecting both trends, Ignacio’s childhood home at 601 Canyon was converted in 1954 into the Hal West Western Gallery. West, a Texas native and self-taught artist, appears to have built a house adjacent to the gallery. It is assumed that at this time the corner portion of the Vigil property dropped out of family ownership. This reduced the Vigil land to the current L-shaped lot, which came into Ignacio’s ownership in 1960.¹⁰

Starting in the mid-1950s, 613 Canyon was identified as three sub-units — a, b, and c — in city directories. This most likely represented the Duplex and the Vigil home. A fourth sub-address began to appear in directories in the late 1950s. This suggests a new dwelling, possibly the first iteration of the apartments. Beginning in the 1940s, older homes along Canyon were either divided or added upon with apartments.

⁹ Henry J. Tobias and Charles E. Woodhouse, *Santa Fe: A Modern History, 1880-1990*, (Albuquerque: University of New Mexico Press, 2001), 185.

¹⁰ Note on February 22, 2017 survey. The note states that Ignacio received the warranty deed from Saloman Juan and Irene G. Vigil. Biographical could not be found for either individual, though the name Solomon Vigil appears on an adjacent parcel on the 1912 “King’s Map.”

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Adjacent properties responded to the trend; the most extreme being 558 Canyon, which had gained six apartments by the 1950s.

Gallery & Apartments

The commercial building fronting Canyon Road came online — based on aerial photographs and city directory listings — in the early 1960s. The building is shown on a 1966 aerial image as a square mass with an overhang across its south façade (Figure 4).

Orlando E. Vigil, a probable relation to Ignacio, opened a barbershop in the building around 1963. Orlando’s Barbershop occupied the space until around 1971, before moving to Cerrillos Road. Based on newspaper accounts, it appears the commercial building had multiple lease spaces, with first Poor Richard’s and later the Wooden Angel using part of it as a gallery.

Around this time, Kent McLaughlin, a hippie restaurateur, applied to the Board of Adjustment for an exception to turn one of the commercial spaces into a combined restaurant-gallery.¹¹ The approved exception launched a new chapter of the building’s history which lasted nearly 20 years. In the summer of 1969, McLaughlin opened Kent’s Place, a coffeehouse/gallery that was described by the *New Mexican* as the “hip scene” of Canyon Road.¹²

Kent’s, which soon morphed into Foxy’s Feederly, reflected Canyon Road’s late ‘60s/early ‘70s hippie renaissance. The high point arrived in 1972, when the Hand-to-Mouth Gallery — a menagerie selling handmade tapestries, etchings and silkscreen works — took over one of the spaces. Around the same time, Sun & Earth, an earthy florist offering houseplants, cactuses and handcrafted containers, used another space.

The building went through a rapid series of tenants in the mid- 1970s, including several short-lived galleries and coffee shops. The longest tenants were two restaurants — Café La Boheme and The Haven (later The New Haven). The latter restaurant — a conscious community food venue, offering meatless dishes and homemade whole wheat bread — added a wall enclosure across the façade in 1979 to create a sheltered dining area.¹³

¹¹ *Santa Fe New Mexican*, May 19, 1969, 24.

¹² *Ibid.*, July 13, 1969, 3.

¹³ *Ibid.*, May 10, 1979, D-1.

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Celebrations Restaurant, the last to use the building as a restaurant, opened in the late 1980s and continued the patio-dining trend.

Apartments

The final piece to the Vigil property came about in the 1970s, when it appears that a carport or secondary structure west of the Vigil home was turned into apartments. The date of construction for the specific unit building, however, is unclear. A 1957 advertisement for a furnished bachelor apartment with a carport could associate it with the earlier structure.¹⁴

The number of secondary unit designations (1-4) remained consistent from 1960 to 1970. In 1971, the number of sub-units jumped from four to seven, potentially indicating the construction of the building. A 1978 aerial photograph shows that the structure making up the apartments had expanded to the west by that time (Figure 5). Its current windows and doors indicate a probable 1970s construction.

Change of Ownership

All this time, the Vigils continued to live at the back of the property in the family home, which had grown over the years with additions. Ignacio worked for several decades as a butcher at Tito’s Market on Acequia Madre, and later as an employee of the Santa Fe animal shelter. Julia raised six children — three boys and three girls. Ignacio Loyola Vigil died in 1993; his wife following him 20 years later. Both are buried at Santa Fe National Cemetery.

At the time of her death in 2014, only a few people lived on the property, including herself, her son, Paul Vigil (now deceased), and three tenants.¹⁵

The surviving Vigil family members, as a limited partnership, sold the property to the current owner in 2017.

¹⁴Ibid., June 9, 1957, 15.

¹⁵ Polk City Directories, *2014 Santa Fe, New Mexico, Polk City Directory*, (Papillion, Neb.: Polk City Directories Inc.), 93.

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Apartments - Evaluation of Historical Status

Given its likely 1970s construction and underwhelming architectural character, the Apartments is recommended for Noncontributing status to the Downtown and Eastside Historic District. Additionally, due their lack of age, both the Storage Complex and Street Wall are recommended Noncontributing to the district.

Ordinance Definition – “Contributing Structure”

A *structure*, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a *contributing structure* is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The *contributing structure* may have had minor *alterations*, but its integrity remains.

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Illustrations



**Figure 1: Portion of 1912 “King’s Official Map of the City of Santa Fe, New Mexico” showing land owned by Cruz Vigil.
Arrow indicates building most likely currently addressed as 601 Canyon Road.**

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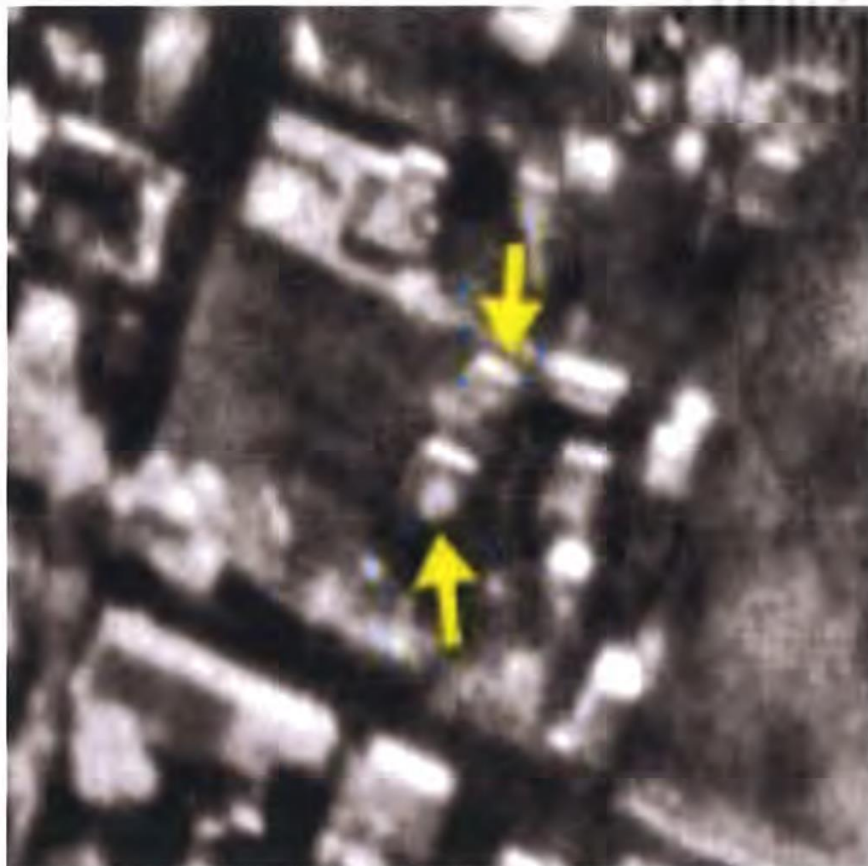


Figure 2: Portion of October 25, 1948 aerial photograph showing development of lot up until that point.

Lower arrow indicates Duplex; upper arrow the Vigil Residence.

Source: UNM/EDAC- 19481025_GS_EN_4_085.

Author reversed image to negative to enhance definition of building footprints.

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Figure 3: Portion of November 10, 1958 aerial photograph showing Vigil Residence ,
Vigil Residence in existence.

Source: NMDOT- ST_11-10-58.

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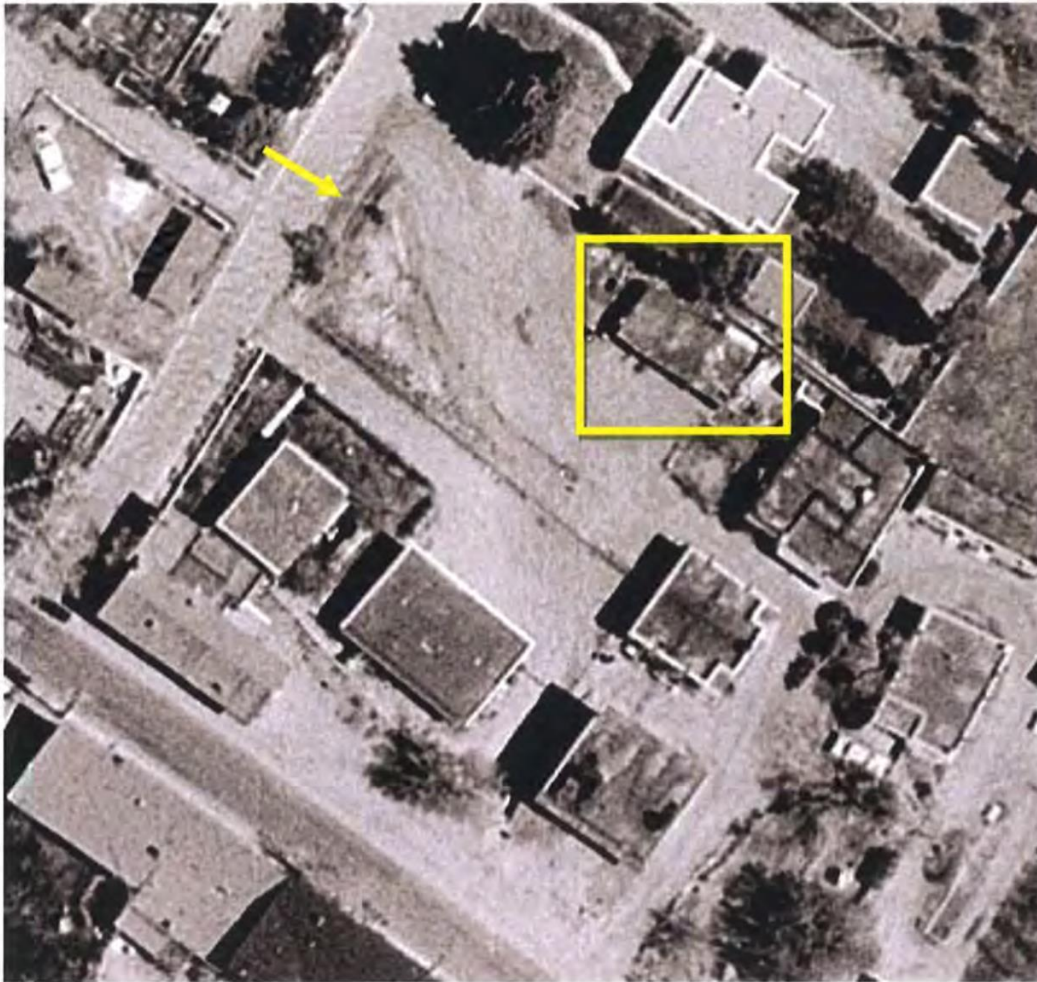


Figure 4: Portion of May 2, 1966 aerial photograph showing smaller, probable flat-roof building in existence. Arrow indicates wall is not present. Source: NMDOT- ST_05-02-66.

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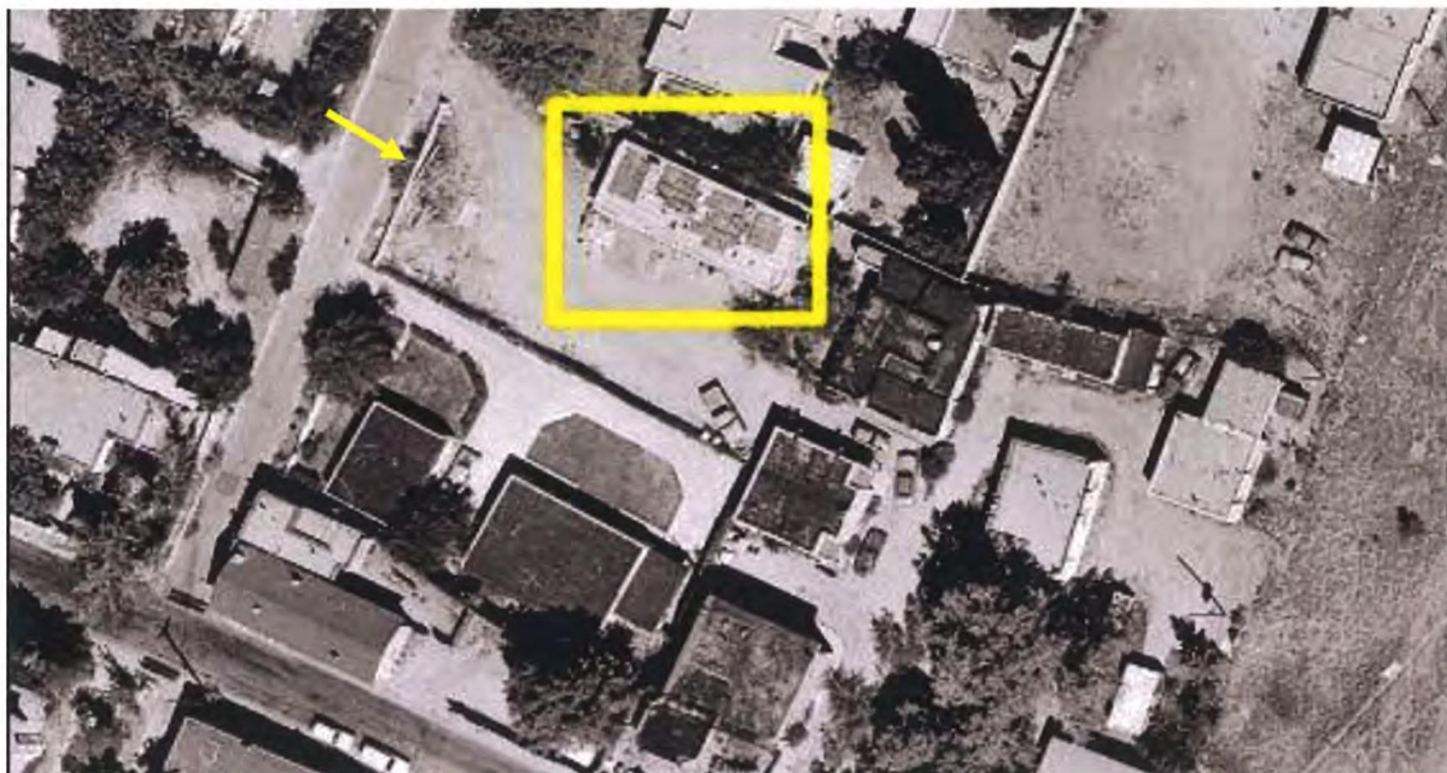


Figure 5: Portion of September 11, 1978 aerial photograph showing extension of probable secondary building into apartments.

Arrow indicates wall is present.

Source: NMDOT- Sts_09-11-78.

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Survey Photographs

(All photographs taken on May 3, 2018 by John W. Murphey)



Photo 1: Front (south) elevation, facing northeast.

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Photo 2: West elevation, facing northeast.

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Photo 3: East elevation, facing northwest.

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**Photo 4: East and north elevations, facing southwest (top);
west and north elevations, facing east (bottom).**

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Photo 5: Parking court, facing east.

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Photo 6: Non-historic storage buildings, facing southeast.

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Photo 7: Stone street wall, at Camino Escondido, facing south.

TRACT A
0.235 AC. ±

3 APARTMENTS
No. 143

Non-Contributing

Contributing
RESIDENCE
No. 613

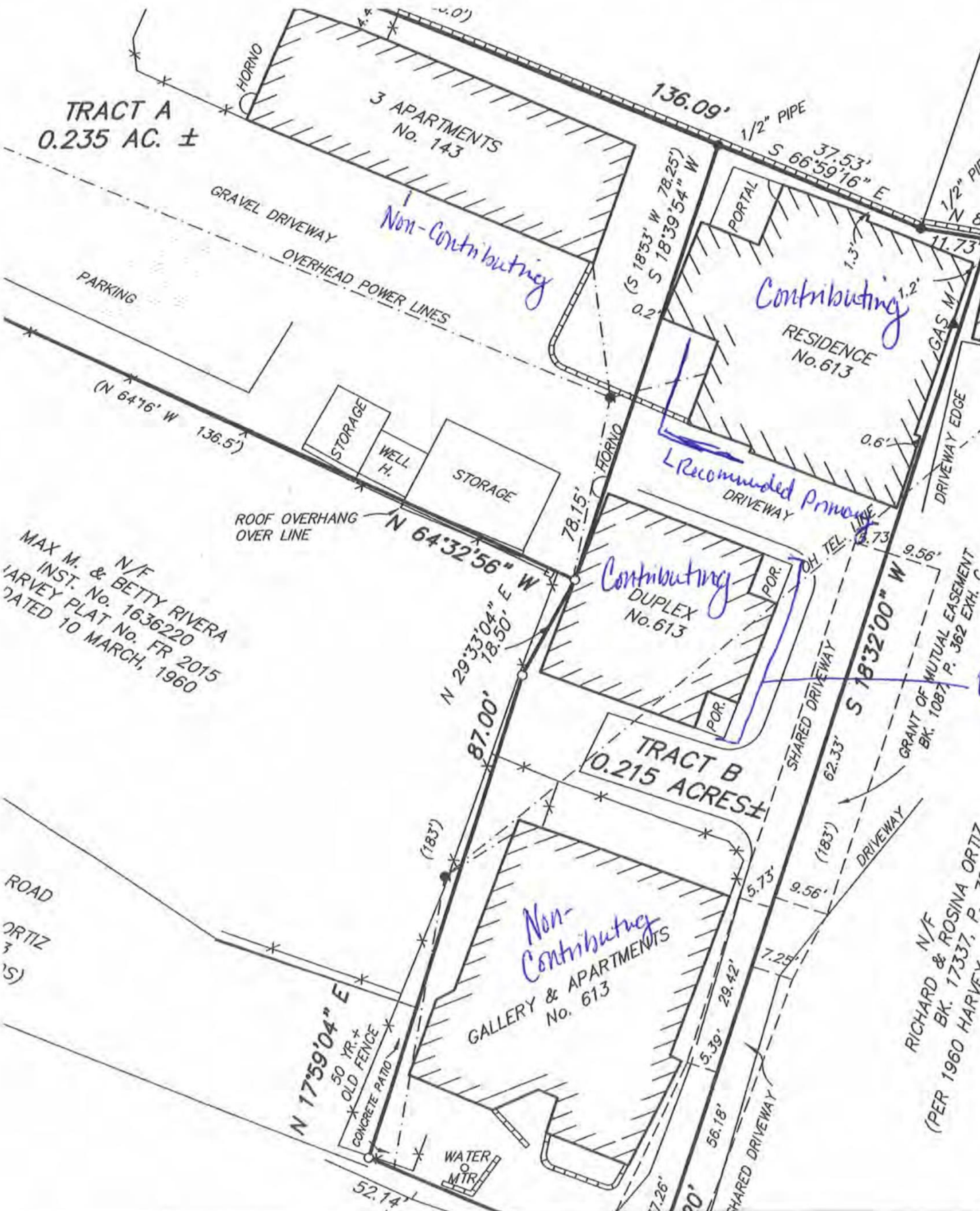
Contributing
DUPLEX
No. 613

Non-Contributing
GALLERY & APARTMENTS
No. 613

TRACT B
0.215 ACRES ±

Recommended
Primary

Map of Structures



N/F
MAX M. & BETTY RIVERA
INST. No. 1636220
HARVEY PLAT No. FR 2015
DATED 10 MARCH, 1960

N/F
RICHARD & ROSINA ORTIZ
BK. 17337, P. 7
(PER 1960 HARVEY

July 17, 2018

Ms. Nicole Ramirez-Thomas
Historic Preservation Division
Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501

**Re: 143 Camino Escondido (Tract A)
613 Canyon Road (Tract B)**

Dear Nicole and Board Members,

Hoopes + Associates Architects have a Client who owns the above-referenced property where four buildings and some accessory storage sheds exist. We are proposing to renovate and need some clarification from the Historic Districts Review Board.

We have met on site with Nicole as a matter of the standard "inquiry" and later she informed us the maximum height for this address is 16'-1". We now are asking the Board to determine building status, assign any historic elevations or determine "character" facades if they exist.

John W. Murphey, Architectural Historian/Researcher, has produced four reports (Historic Cultural Properties Inventory – HCPI Base Form 1 and Detail Form 2) that outline each of the four buildings in detail historically and photographically. The reports are actually very interesting and entertaining reading. His findings indicate the duplex may be "contributing" and all other buildings to be "non-contributing" – please see attached. I have also attached a recorded Boundary Survey Plat by Del Rio Surveys, Inc which is to scale on the 18" x 24" format. As method of convenience, both the Murphey reports and Survey Plat refers to the four building as: 1) Gallery/Apartments, 2) Duplex, 3) (Vigil) Residence and 4) Apartments.

Thank you for your review and deliberation.

Sincerely,



Charles William Rosenberg,
Project Architect

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010

Status Hearing
Minutes
August 14, 2018

Mr. Gonzales asked if Staff knew if the primary elevation of the other structures were primary, significant or contributing.

Mr. Gemora replied he had not looked at those.

Member Boniface was not sure the building should be upgraded to Significant but was concerned they had only a one-page HCPI report. He thought there was not enough information to make an intelligent decision and wanted to see in addition to a HCPI report, a site plan and how the building sits on the lot.

Vice Chair Katz agreed because they don't know the status of the other houses and whether this is significant.

Mr. Gonzales pointed out that the site plan is on page 2 of the packet.

Ms. Ramirez Thomas said a challenge with this case is there is another part to it and the floor plan, and the site plan may not have made it into the packet for the primary elevation.

Public Comment

Ms. Beninato (previously sworn) said as a historian working in historic preservation a one-page report on the history of the houses is not sufficient. Ms. Beninato suggested the agent should hire a historian to do the research and they may have better sources.

She shared the Board's concerns about the building and that they may want to designate at least three out of the four façades as primary, but the Board did not have enough information. One page is not sufficient.

There were no other speakers from the public and the public comment portion was closed.

Action of the Board

MOTION: Member Boniface moved, seconded by Member Bayer, to postpone Case #H-18-083A located at 606 East Palace Ave. and have the applicant return when they have a full HCPI report, including a site plan showing the lot lines.

VOTE: The motion passed unanimously (3-0) with Members Boniface, Bayer, and Biedscheid voting in favor and none voting against.

10. Case #H-18-084A. 143 Camino Escondido and 613 Canyon Road. Downtown & Eastside Historic District. Hoopes and Associates Architects, agent for Canyon Room Holdings LLC, owner, requests historic status reviews with designation of primary elevations, if applicable, for two contributing residential, two noncontributing residential and all associated accessory

structures. (Nicole Ramirez Thomas)

Ms. Ramirez Thomas presented the Staff report as follows:

BACKGROUND & SUMMARY:

143 Camino Escondido and 613 Canyon Road are two addresses assigned to four buildings. The buildings will be discussed as 1) Gallery/Apartments, 2) Duplex, 3) Vigil Residence, and 4) Apartments. The applicant is requesting a status review and primary elevation designations where applicable.

Gallery/Apartments

The Gallery/Apartments are located at 613 Canyon Road. The initial construction date is thought to be around 1960. The building is built into the slope of the hill and is two-stories at the back and one-story at the street front. It is 2,594 square feet. The building style would fall into the category of "Hippy Vernacular." The building has been used both as commercial and residential. It was at one time the restaurant "Celebrations."

The building has a historic status of non-contributing and Staff recommends the building remain non-contributing.

Duplex

The Duplex is a 1,083 square foot building constructed in the Spanish-Pueblo Revival style. The building sits behind 613 Canyon Road and was constructed prior to 1950. Its distinguishing characteristics are the rounded and stepped parapets, the chimneys, and the portals. The building did undergo some remodeling in 1984 which included a replacement of the historic wood windows, addition of a door opening, and addition of a portal to the northwest corner.

The historic status of the building is contributing. Staff recommends the building remain contributing and recommends the east elevation, including under the portals, as the primary elevation.

Vigil Residence

The Vigil Residence is a 2,021 square foot single family residence constructed in the Spanish-Pueblo Revival style. According to the HCPI form the original footprint of the house, which was constructed of adobe, has been consumed by additions over the years. Some of the additions were added at unknown dates with others being added in the 1960s, 1970s, and 1980s.

The current historic status of the residence is contributing and the revised HCPI recommends a downgrade to non-contributing given the degree of change to the property over the decades. A status downgrade was not noticed, and the applicant and staff did not request a downgrade. The Board may request a downgrade if they think it appropriate. Otherwise, staff recommends the southwest corner of the building be the primary

elevation. The southwest corner designation would allow for the exclusion of non-historic material on the south and west elevation.

Apartments

The Apartments were constructed in the 1970s. They are built in a vernacular manner. The Apartments are less than 50 years old and have a historic status of non-contributing.

STAFF RECOMMENDATION:

Staff recommends the statuses of the buildings remain as they are. Primary elevation designations were made below for the contributing structures.

Questions to Staff

Member Biedscheid asked Staff if possible to assign status on the shed structures on the property at this time and which address/building should that be put with.

Staff said they could assign status to the sheds and she would put it with the Escondido address, but the applicant may have a preference.

Applicant's Presentation

Charles Rosenberg at 333 Montezuma, Santa Fe was sworn

Mr. Rosenberg agreed with Staff's report but wanted to elaborate on the Vigil residence mentioned in the report that the status downgrade was not noticed in the application. His intent on the property was to be downgraded, and he thought that inherently understood in the HCPI report he submitted where it was noted as contributing and Mr. Murphy recommended it be noncontributing.

Questions to Applicant

Vice Chair Katz asked if the applicant was okay with the rest of the recommendations.

Mr. Rosenberg replied yes and with the primary elevations that were assigned as well.

Public Comment

Mr. Joseph Rosenbaum at 141 Camino Escondido was sworn.

Mr. Rosenbaum stated the four units on Escondido abuts his property and he does not understand what the applicant wants to do. He has an adjoining wall at the back of the casitas /apartments and the buildings run east and west and he is behind that on the north side.

Vice Chair Katz explained the Board does not know what the applicant wanted to do, and they were here to determine the status of the building which could limit what the applicant could do. The recommendation for that apartment is a noncontributing meaning if they want to make changes it must comply with the style criteria of the ordinance, but there is no preservation aspect or façade they have to keep in a certain style.

Mr. Rosenbaum asked what if it is nonconforming.

Vice Chair Katz explained if the Apartments are not *contributing* means it is not historic and may only have to comply with the style criteria. If contributing there are limitations on changing the primary façade because that would be the historic and desirable that be preserved. The Staff has recommended noncontributing on the apartment, but other buildings on the property were recommended to be contributing.

Mr. Rosenbaum asked when the decision would be made as to the status.

Vice Chair Katz explained the Board would vote on status shortly and he sensed the applicant wanted to make changes and find out the rules.

Mr. Rosenbaum asked once voted on and if is determined noncontributing, what would be the next step.

Vice Chair Katz replied the applicant would have to come back if they want to make changes and would have to file an application.

Mr. Rosenbaum asked if the way he would find out what the applicant wants to do is by the notice on the front fence.

Vice Chair Katz replied yes and the Friday before the hearing the internet has all of the information that is in the Board packet and Staff could help him with that.

Ms. Ramirez Thomas invited Mr. Rosenbaum to speak with Staff during the week to find out about the process and making an appointment would be great.

There were no other speakers and the public comment portion was closed.

Board Discussion

Member Biedscheid regarding the duplex, the HCPI report points out specifically on page 37 and a couple of other places that the sculptural use of the adobe form on the undulating parapets appears to be a

valuable characteristic in terms of the historic integrity.

She agreed the east façade is important to preserve but wondered because you can see the entire west façade from Delgado, if the west façade was considered to be primary.

Ms. Ramirez Thomas explained there is a couple of ways they could go about it 1) make it a primary elevation in addition or 2) to call it out as a specific architectural feature for preservation. She noted that on the elevation the window types changed significantly but she was not sure the openings had changed.

Member Biedscheid read from the HCPI "...the side from window replacement ... *and the installation of a new portal and probable new opening at the northwest corner it retains a high degree of historic integrity*".

Ms. Ramirez Thomas agreed, and the battering of the adobe on the exterior and along the parapet and undulation could be an architectural feature.

Member Biedscheid asked about Staff's mention of the possible consideration of the south façade as an addition ...

Ms. Ramirez Thomas thought that preserves a great deal of its integrity too. The east is particularly unique, and the south is more plain and less unique but still representative of the elevation of the house.

Member Biedscheid thought there should be at least two façades on this because the duplex façade is unique and the other would be to preserve the sculptural adobe.

Vice Chair Katz indicated his reaction to John Murphy's report on the history of the property, he thought the Vigil house should be considered contributing because of the history. He acknowledged it had been modified, although the corner Ms. Ramirez Thomas identified has the character of the old building.

Vice Chair Katz suggested having a motion with all of them and noticing a downgrade on the Vigil house if appropriate.

Action of the Board

Member Biedscheid said she was comfortable leaving the Vigil house as contributing. She asked seeing that the applicants intended to request a downgrade, should they postpone.

Vice Chair Katz suggested they could act on the others and postpone the Vigil house for a notice of downgrade.

Mr. Rosenbaum asked the purpose of postponing.

Vice Chair Katz explained to give proper notice to the public of a possibility of a downgrade.

Mr. Rosenbaum asked if in the future what notice means.

Ms. Ramirez Thomas explained there was no request or discussion with Staff about a downgrade. Mr. Murphy would make a recommendation to Staff who reviews and agrees or not and then she would make a recommendation to the Board.

With the Vigil house when a property is already contributing and there is no explicit request for a downgrade, there is no knowledge that was a desire. There are extra steps with downgrading the property such as mailing neighboring properties about that, etc.

The Board could take action on the Gallery Apartments and the duplex and apartments and postpone action on the Vigil residence. Or, it can maintain contributing status and the Board would designate primary elevations tonight.

The downgrade takes about 4 weeks and he would have to come back on 11 September.

MOTION: Member Biedscheid moved, seconded by Member Bayer, in Case H-18-084A at 143 Escondido and 613 Canyon Rd. with respect to the Gallery/Apartments to adopt Staff recommendation to retain status of noncontributing; regarding the duplex to adopt staff recommendation to retain contributing status and designate the east as primary as well as the west as primary to preserve the sculptural adobe characteristics of the undulating parapet; and on the Vigil residence to postpone the structure until September 11 so applicants request to downgrade can be properly noticed; and with the apartments to adopt staff's recommendation to retain historic status of non-contributing and regarding the sheds at 143 Camino Escondido as part of the apartment as noncontributing as recommended by Staff.

Member Bayer proposed a friendly amendment on the east elevation of the duplex to include under the portals as primary. Member Biedscheid agreed.

VOTE: The motion passed by unanimous (3-0) voice vote with Members Bayer, Boniface and Biedscheid voting in favor and none voting against.

11. Case #H-18-085A. 820 Don Cubero Avenue. Don Gaspar Area Historic District. Architectural Alliance, agent for Alicia Bertram, owner, requests the designation of primary elevations on a contributing residential structure. (Nicole Ramirez Thomas)

Ms. Ramirez Thomas presented the Staff report as follows:

BACKGROUND & SUMMARY:

820 Don Cubero Avenue is a contributing structure built in a Mission Revival style frequently found in the Don Gaspar Area. The house was built in the 1930s and has a detached garage at the back of the driveway. The house has had some modifications but in general the footprint is historic, and the style of the

BUILDING RENOVATIONS

613 CAMPBELL UNIT C AND D
SANTA FE, NEW MEXICO 87501

GENERAL NOTES

1. ALL DIMENSIONS FROM DRAWINGS. USE DIMENSIONS FROM THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF CONFLICTS EXIST. DIMENSIONS ARE TO FACE OF STUD AND CONCRETE WALLS UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE MEASUREMENTS FROM THE PERIMETER OF THE EXISTING STRUCTURE.
3. ALL DIMENSIONS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND REPORT TO THE ARCHITECT OF ANY DISCREPANCIES.
4. BEGINNING OF CONSTRUCTION SHALL BE THE DATE WHEN THE CONTRACTOR SHALL COPY THE DRAWINGS AND RECORD THE MEASUREMENTS AND RECORD THE MEASUREMENTS.
5. IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE RESPONSIBLE FOR VERIFICATION OF EXISTING LOCATION OF STRUCTURAL MEMBERS, MECHANICAL AND ELECTRICAL SYSTEMS AND MISCELLANEOUS EQUIPMENT TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
6. CONTRACTOR MATERIALS AND METHODS SHALL NOT BLOCK ACCESS OR EGRESS FROM ANY BUILDING WHILE THE BUILDING IS OCCUPIED. THIS INCLUDES DEMOLITION WORK AND A SOAP LINE NEIGHBORING BUILDINGS.
7. ALL SUPPLEMENTAL DRAWINGS ISSUED BY THE ARCHITECT SHALL BE PART OF THE CONTRACT SET.
8. ALL PLUMBING AND ELECTRICAL WORK TO BE CONCEALED, UNLESS OTHERWISE NOTED.

REFERENCE SYMBOLS

	WALL SECTION
	BUILDING SECTION
	EXTERIOR ELEVATION
	DOOR TAG
	WINDOW TAG
	INTERIOR ELEVATION
	ROOM TAG
	DATUM REFERENCE
	REVISION TAG
	DETAIL TAG

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
T.O.	TOP OF SLAB
S.O.	TOP OF BEARING
T.O.B.	TOP OF PARAPET
T.O.P.	TOP OF FINISH ROOF UNLESS OTHERWISE NOTED
P.	NOTED
T.O.P.	TYPICAL
R.O.P.	ROUGH OPENING

ARCH SYMBOLS

	FIRM
	COMPACTED SOIL
	GRAVEL
	UWU
	RIGID FOAM INSUL
	BATT INSULATION
	SPRAY FOAM INSUL

PROJECT OVERVIEW

WORK WITH A "CONVERTING" EXISTING DUPLEX. NEW WORK INCLUDES: NO ADDITIONAL SQUARE FOOTAGE. THE INTERIOR WILL BE FULLY RENOVATED WITH NEW KITCHENETTE AND BATH. THE EXTERIOR RENOVATIONS INCLUDE NEW METAL CLAD WOOD WINDOW AND DOORS INSTALLED THROUGHOUT. ALSO THE EXISTING STRUCTURE WITH BERE-STUCCO INTERIORS, A NEW DOOR TO PRIVATE COURTYARD WITH HIGH STUCCO FACED CMU WALLS. ALSO PROPOSED: FORT WORTH, TX 76107

CITY LAJURY AGENCY
JURISDICTION: SANTA FE
DEPARTMENT: SANTA FE CITY HALL, 200 LINCOLN AVE, 1ST FLOOR SANTA FE, NEW MEXICO 87501
INVESTIGATOR: MAIN RESIDENT (603) 938-0550 (2015 RC)
APPLICABLE CODES: 2012 NEW MEXICO MECHANICAL CODE, 2012 NEW MEXICO ENERGY CONSERVATION CODE, 2012 NEW MEXICO SUSTAINABLE LAND DEVELOPMENT CODE (SLDC), SANTA FE COUNTY FIRE CODE PROTECTION ACT

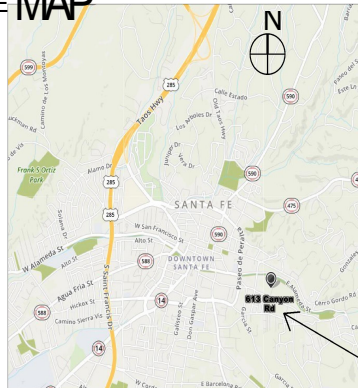
CITY LAND USE SUMMARY: RCUA-C
ZONING CLASSIFICATION: RCUA-C
HEIGHT LIMIT PER HISTORICAL ZONING: 10'-1" (ACTUAL H.I. 6' TO 8' IS BUILT, OTHERWISE 15 FT REAR SETBACKS (9,366.4 SQ. FT.))
STREET FRONT SETBACKS: 5 FT, SIDES 5 FT, REAR 5 FT (IF YARD WALL)
STRICT: DOWNTOWN-ROSI SIDE HILLS ESCARPMENT
PARKING: 1 SPACE EACH PER SHORT-TERM DUPLEX RENTAL UNIT

BUILDING CODE SUMMARY: R (MULTI-FAMILY DUPLEX)
OCCUPANCY GROUP: Y-B
CONSTRUCTION TYPE: 1
NUMBER OF STORIES: 1
AREAS SHOWN IN SHADING: 1123 SF
ONSITE HEATED AREA: 1123 SF
FOOTAGE: 1123 SF
*** TOTALS FOR HEATED AREA LISTED BY CITY OF SANTA FE CHAPTER 14 LAND USE CODE**
FIRE PROTECTION: SPRINKLERS NOT REQUIRED

SHEET INDEX

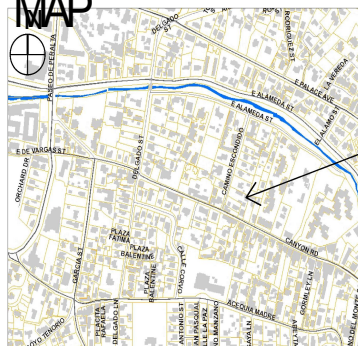
AS-101	EXISTING ARCHITECTURAL SITE PLAN
AS-102	ENLARGED EXISTING ARCHITECTURAL SITE PLAN
AS-103	EXISTING FLOOR PLAN
AS-104	EXIST AND NEW EXT. ELEVATIONS (EAST)
AS-105	EXIST AND NEW EXT. ELEVATIONS (SOUTH)
AS-106	EXIST AND NEW EXT. ELEVATIONS (WEST)
AS-107	EXIST AND NEW EXT. ELEVATIONS (NORTH)

VICINITY MAP



PROJECT LOCATION

LOCATION MAP



PROJECT LOCATION

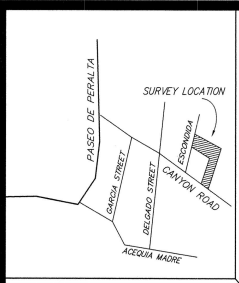
HISTORICAL DESIGN REVIEW BOARD APPLICATION SET

IN PROGRESS, NOT FOR CONSTRUCTION

H A
 HOOD ASSOCIATES ARCHITECTS
 333 W. ANTONIO LOMA
 SUITE 200 SANTA FE, NM 87501
 TEL: 505.833.8010
 HOODASSOCIATESARCHITECTS.COM

613 CAMPBELL UNIT C AND D
 SANTA FE, NEW MEXICO 87501
 ISSUAE DATE: 12/14/2020

HISTORICAL DESIGN REVIEW BOARD SUBMITTAL SET
A A
001



VICINITY MAP



SCALE: 1"=20'



LEGEND

- Sewer Manhole
- Points found and used as noted.
- 1/2" Capped iron pin set this survey.
- Power poles.
- Fences.
- Walls.
- ▨ Concrete.
- Utility box.

NOTES

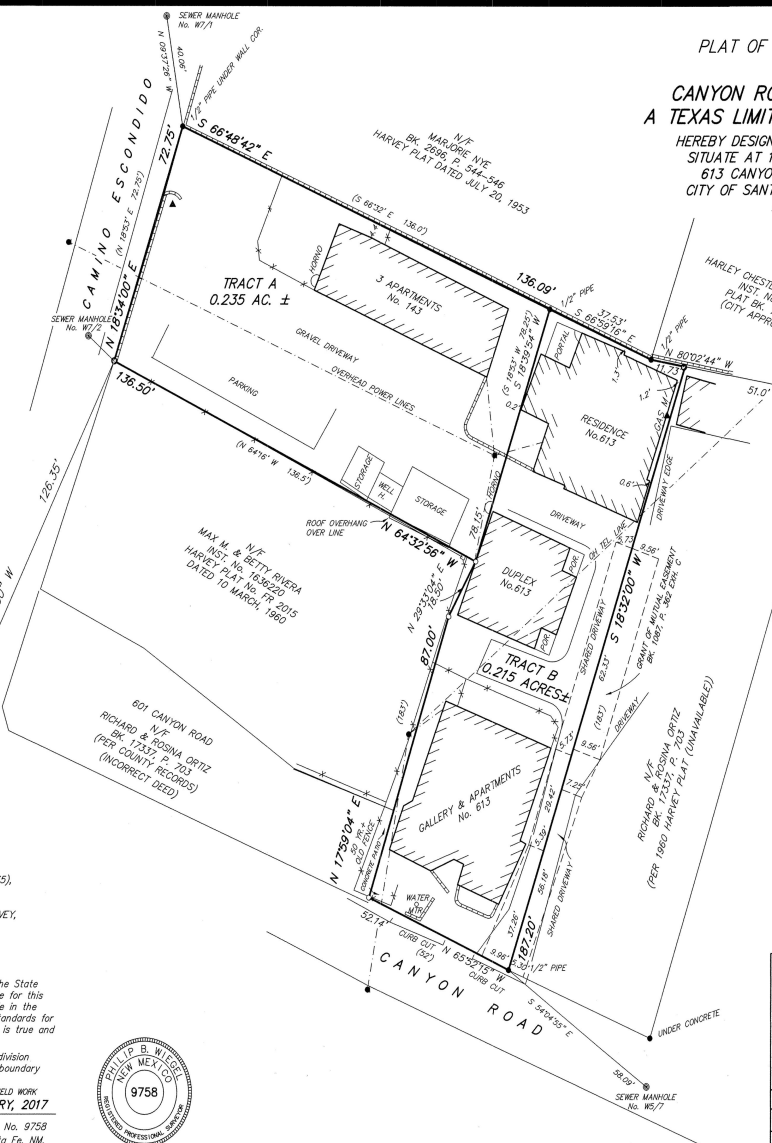
1. BASE OF BEARINGS: GPS OBSERVATION OF FOUND CORNERS ON THE NORTHERLY BOUNDARY OF TRACT 1, (S 66°48'42" E), NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID.
2. TRACT A IS BASED ON A WARRANTY DEED, FROM SALOMAN JUAN & IRENE G. VIGIL TO IGNACIO L. VIGIL, DATED 31 DECEMBER, 1960, RECORDED AS INT. No. 255,585, RECORDS OF SANTA FE COUNTY, (HARVEY PLAT ER 143S), TRACT B IS BASED ON PERSONAL REP DEED, RECORDED IN BK. 1117, P. 520, DATED 29 NOV. 1994. REFERENCE SURVEY FOR IGNACIO VIGIL, BY MADE BY JAMES HARVEY, DATED MARCH 10, 1960. REFERENCE DEED FOR BOTH TRACTS, BK. 1129, P. 397-399.

CERTIFICATE

I, Philip B. Wiegand, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

Philip B. Wiegand
Philip B. Wiegand
P.O. Box 22773
DATE OF FIELD WORK
22 FEBRUARY, 2017
P.S. No. 9758
Santa Fe, NM.



PLAT OF BOUNDARY SURVEY 814008
FOR
CANYON ROOM HOLDINGS, LLC,
A TEXAS LIMITED LIABILITY COMPANY
HEREBY DESIGNATED TRACT A & TRACT B
SITUATE AT 143 CAMINO ESCONDIDO &
613 CANYON ROAD, RESPECTIVELY,
CITY OF SANTA FE, SANTA FE COUNTY,
NEW MEXICO.



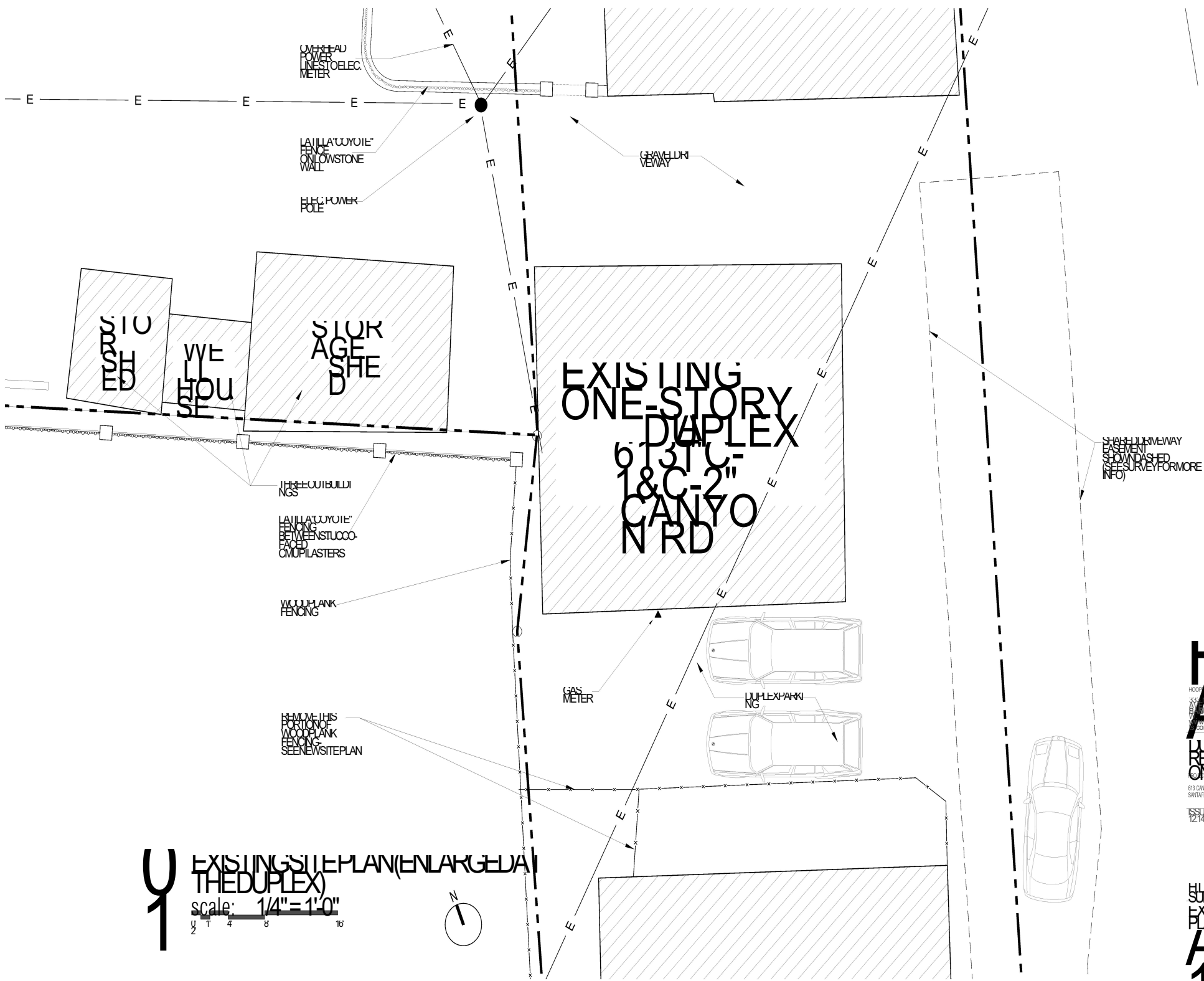
INSTRUMENT No. 188473
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was duly recorded on the 23rd day of February, A.D. 2017, at 11:04 a.m. in Book 814, Page 008 of the records of Santa Fe County.

Witness my Hand and Seal of Office
BERNESE SIKSAR
County Clerk, Santa Fe County, New Mexico
Bernese Siksar

PUBLIC NOTICE
CITY OF SANTA FE STAFF HAS NOT REVIEWED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD. VERIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/DOWNER.

INDEXING INFORMATION FOR COUNTY CLERK
BOUNDARY SURVEY
OWNER: VIGIL FAMILY LIMITED PARTNERSHIP
LOCATION: 613 CANYON ROAD, 143 CA. ESCONDIDO SECTION 19, T 17 N, R 10 E, N.M.P.M.
PROJECTED INTO THE SANTA FE GRANT
SANTA FE COUNTY, NM
UPC No. 1-055-098-029-536 613 CANYON ROAD

DEL RIO SURVEYS, INC.
P.O. BOX 22773, SANTA FE, NM 87502 PH: 505-820-9200
PROJECT No. 17020119 Dwg. PW Ckd. DV
Date: 2/22/17 REV: 1



EXISTING SITE PLAN (ENLARGED)
THE DUPLEX
 scale: 1/4" = 1'-0"
 2 1 4 8 16

HISTORICAL DESIGN REVIEW BOARD
 APPLICATION SET
 IN PROGRESS, NOT FOR CONSTRUCTION

GRAVEL DRIVEWAY
 SHALL BE
 FINISHED
 (SEE SURVEY FOR MORE)

H
A
 HURR ASSOCIATES ARCHITECTS
 613 GAVINSON CANYON UNIT C AND C2
 SANTA FE, NEW MEXICO 87501
 www.hurrarchitect.com
HURR RENOVATIONS
 613 GAVINSON CANYON UNIT C AND C2
 SANTA FE, NEW MEXICO 87501
 ISSUE DATE:
 12/14/2020

HURR
 SUBMITTAL SET
 EXISTING SITE
 PLAN
AS-102

CAMINO ESCONDIDO

SEWER MANHOLE NOW711

BURIED SEWER LINE WATER MAIN TRUNK AND UTILITY LINES

EXISTING ONE-STOREY THREE-APARTMENT RESIDENCE 613 "C-3, C-4 AND C-5" CANYON ROAD

EXISTING "OLD VIGIL" RESIDENCE" CANYON ROAD

EXIST II ONE-STOREY HOME/A 618 S CANYON ROAD

EXISTING ONE-STOREY DUPLEX 618 S CANYON RD

TRACT A 0.235 ACRES +/-

TRACT B 0.215 ACRES +/-

EXIST II ONE-STOREY HOME/A ESCONDIDO 14 UNITS

EXIST II ONE-STOREY HOME/A ESCONDIDO 14/ AND 14/9 CAMINO

EXISTING TWO-STOREY GALLERY/A 618 S CANYON ROAD

EXISTING TWO-STOREY APTS AT CANYON ROAD

EXIST II ONE-STOREY HOME/A ESCONDIDO 14 UNITS

SEWER MANHOLE NOW712

SEWER MANHOLE NOW56

SEWER MANHOLE NOW57

ELEC POWER POLE

CITY SIDEWALK ROAD

ELEC POWER POLE

ELEC POWER POLE

ELEC POWER POLE

ELEC POWER POLE

ELEC POWER POLE

NEWSITE PLAN scale: 1" = 10.0'



CANYON ROAD

HISTORICAL DESIGN REVIEW BOARD APPLICATION SET IN PROGRESS, NOT FOR CONSTRUCTION

H

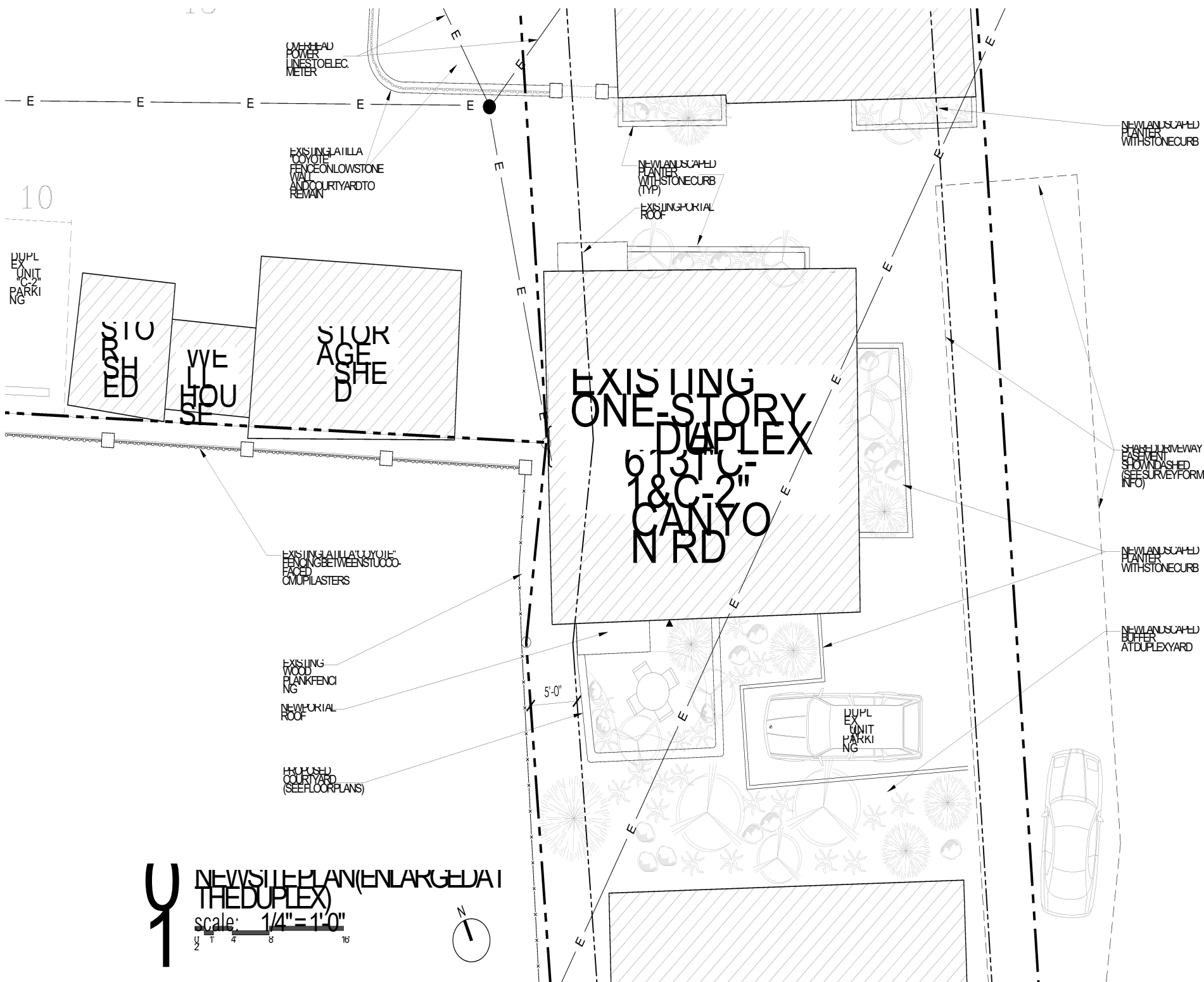
HOOPER ASSOCIATES ARCHITECTS
 3635 W. WILLOW AVE SUITE 200
 SANTA FE, NM 87501
 505.825.1910
 www.hooperarchitect.com

LUPE RENOVATIONS
 618 CAMINO ESCONDIDO UNITS C1 AND C2
 SANTA FE, NEW MEXICO 87501

ISSUE DATE: 12/14/2020

HURP SUBMITTAL SET NEWSITE PLAN

AS 103



10

DUPLEX UNIT #2 PARKING

STUCCO

WALL

STORAGE

EXISTING ONE-STORY DUPLEX
6'-3" x 21'-0"
& 21'-0" x 21'-0"
CANYON RD

OVERHEAD POWER LINE TO ELEC. METER

EXISTING LAJILLA COYOTE FENCE ON LOW STONE WALL AND COURTYARD TO REMAIN

NEW LANDSCAPED BUTTERFLY WITH STONE CURB (VP)

NEW LANDSCAPED BUTTERFLY WITH STONE CURB

TO NEW DRIVEWAY (SEE SURVEY FOR MORE INFO)

NEW LANDSCAPED BUTTERFLY WITH STONE CURB

NEW LANDSCAPED BUTTERFLY AT DUPLEX YARD

EXISTING LAJILLA COYOTE FENCING BETWEEN STUCCO-FACED CMU PLASTERS

EXISTING WOOD PLANK FENCING

NEW PORCELAIN ROOF

HUOSHU COURTYARD (SEE FLOOR PLANS)

DUPLEX UNIT #2 PARKING

5'-0"

Q NEW SITE PLAN (ENLARGED) AT THE DUPLEX
scale: 1/4" = 1'-0"
2 1 4 8 16



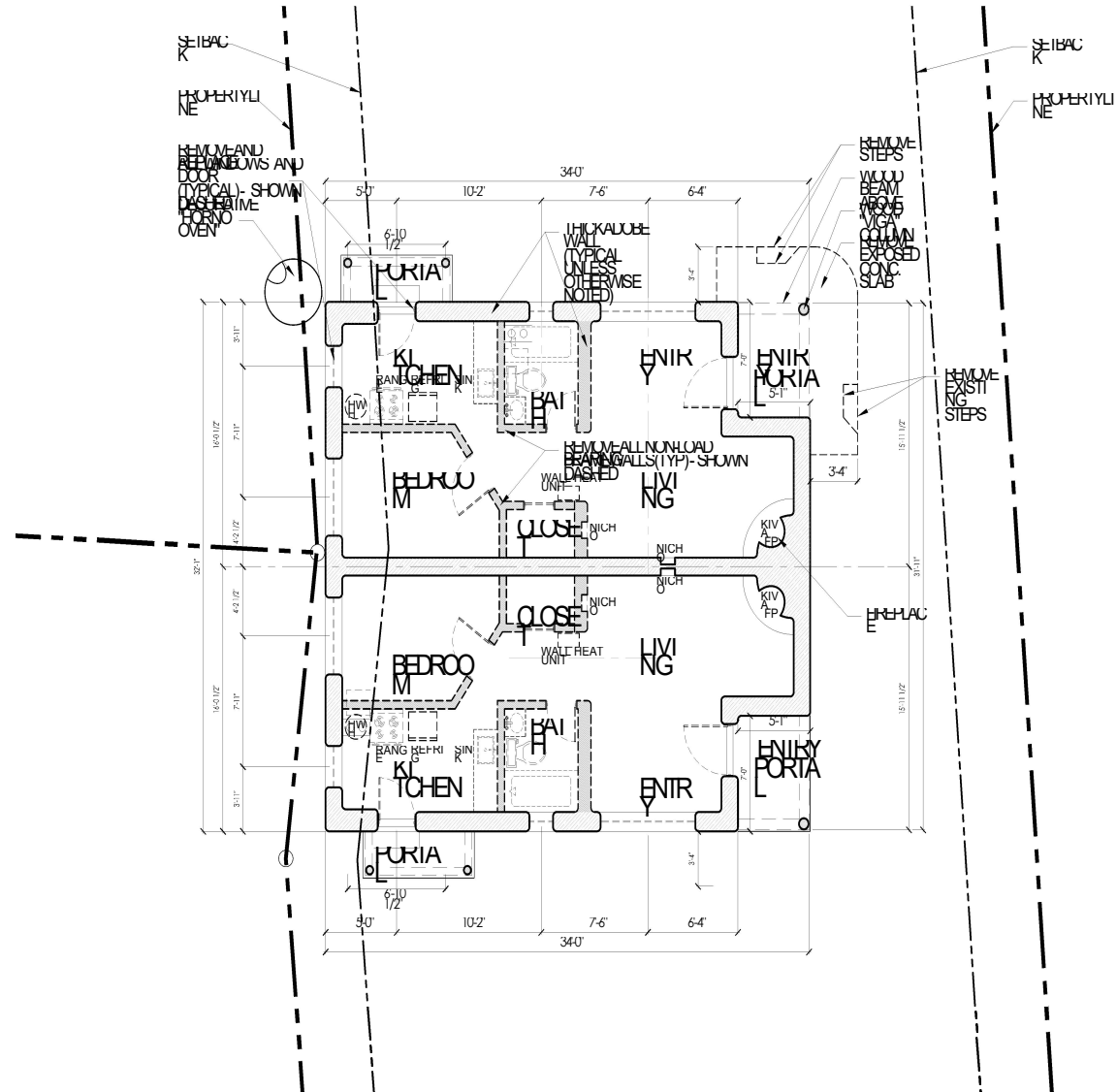
HISTORICAL DESIGN REVIEW BOARD
APPLICATION SET
IN PROGRESS, NOT FOR CONSTRUCTION

H
A
HOOPER ASSOCIATES ARCHITECTS
3635 CALLE LUMA
SAN JOSE, CA 95132
PHONE: 415.750.1910
WWW.HOOPERARCHITECTS.COM

LUKE
RENOVATIONS
613 CANYON ROAD, UNIT C1 AND C2
SAN JOSE, NEW MEXICO 85701

ISSUE DATE:
12/14/2020

HURR
SUBMITTAL SET
ENLARGED
NEW
SITE PLAN
AS
104



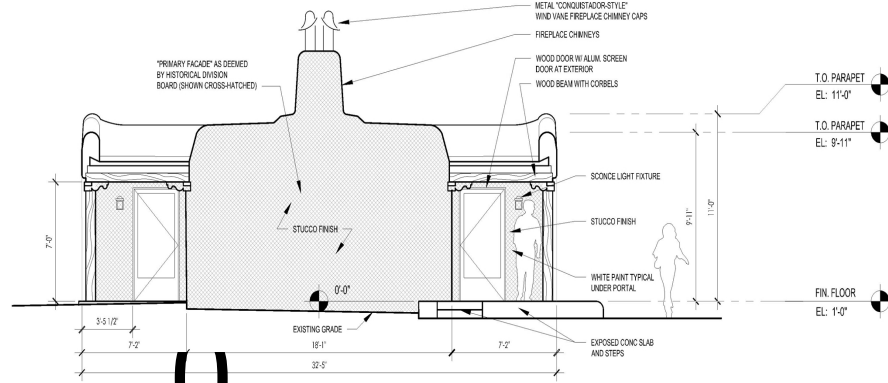
HISTORICAL DESIGN REVIEW BOARD
APPLICATION SET
IN PROGRESS, NOT FOR CONSTRUCTION

H A
 HURR ASSOCIATES ARCHITECTS
 300 S. GILBERT AVENUE SUITE 200
 SANTA FE, NEW MEXICO 87501
 www.hurrsarchitects.com

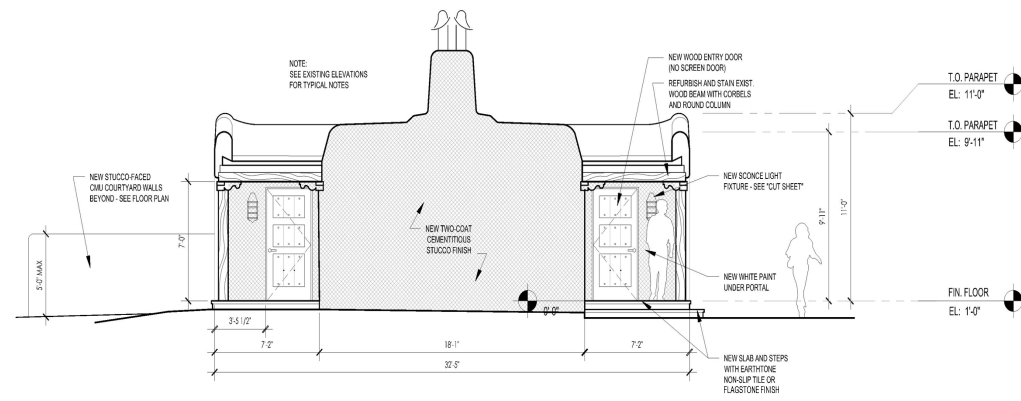
LUXE RENOVATIONS
 610 GARDEN ROAD, UNIT C1 AND C2
 SANTA FE, NEW MEXICO 87501

ISSUE DATE:
12/14/2020

EXIST/DEMO FLOORPLAN
 scale: 1/4" = 1'-0"
 0' 1' 2' 4' 8' 16'



2 EXISTING EAST ELEVATION
 scale: 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'

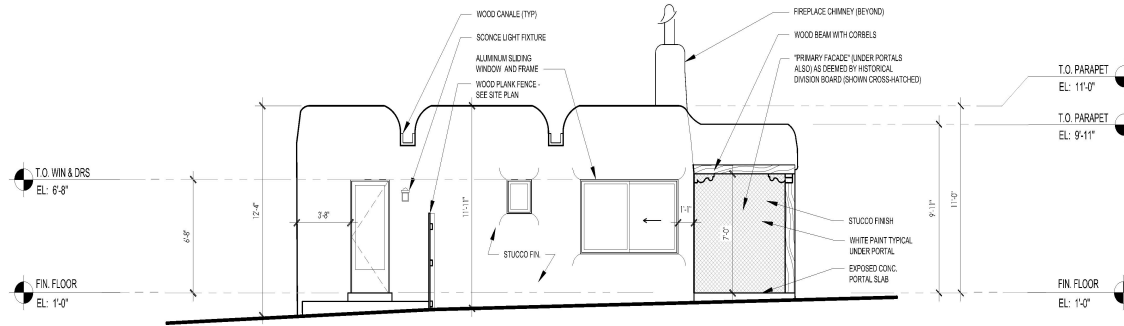


1 PROPOSED EAST ELEVATION
 scale: 1/8" = 1'-0"
 0' 1' 2' 4' 8' 16'

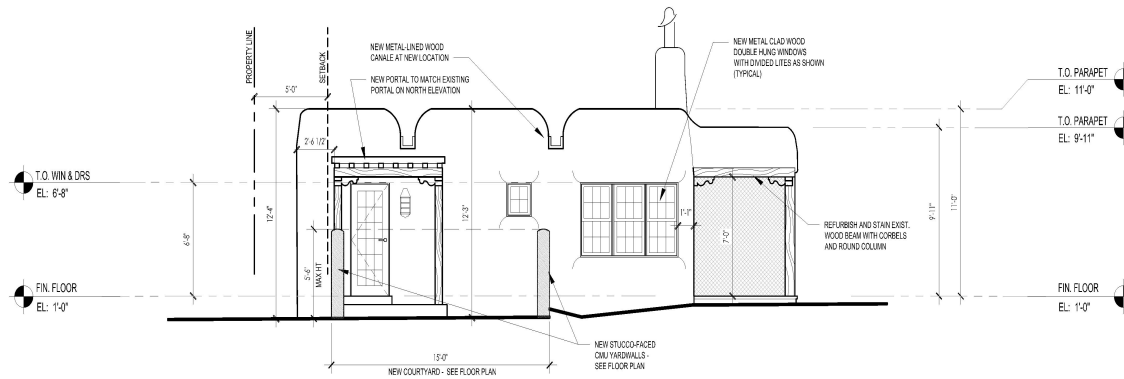
HISTORICAL DESIGN REVIEW BOARD
 APPLICATION SET
 IN PROGRESS, NOT FOR CONSTRUCTION

H
 HOOPER ASSOCIATES ARCHITECTS
 315 S. GAYTON BLVD. SUITE 100
 SANTA FE, NM 87501
 www.hooperarchitects.com
H
HULEX RENOVATIONS
 610 GAYTON BLVD. UNIT C1 AND C2
 SANTA FE, NEW MEXICO 87501
 ISSUE DATE: 12/4/2020

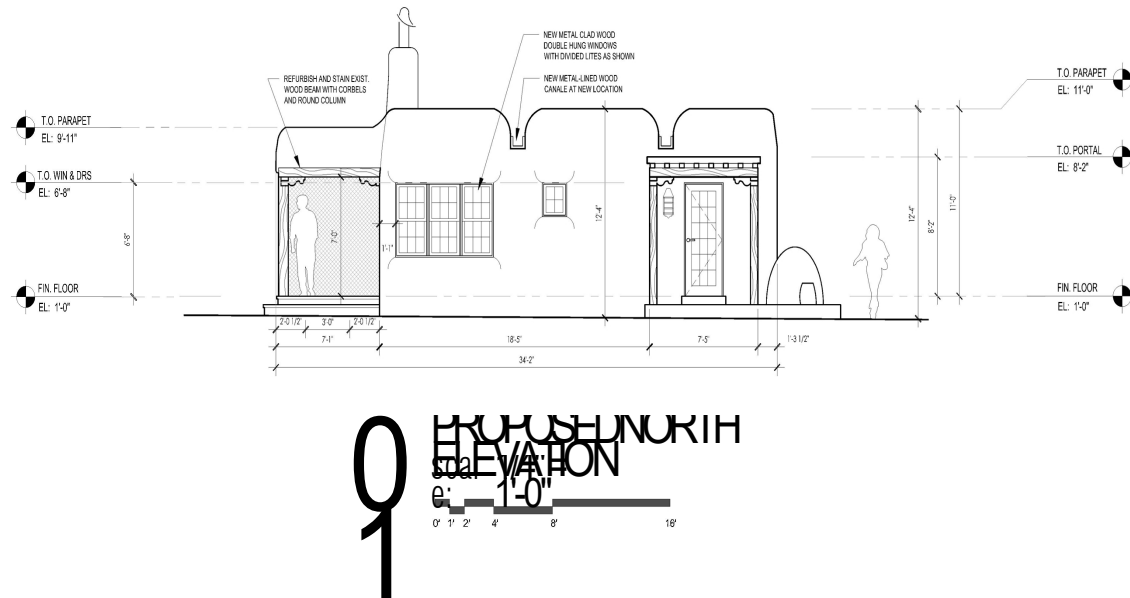
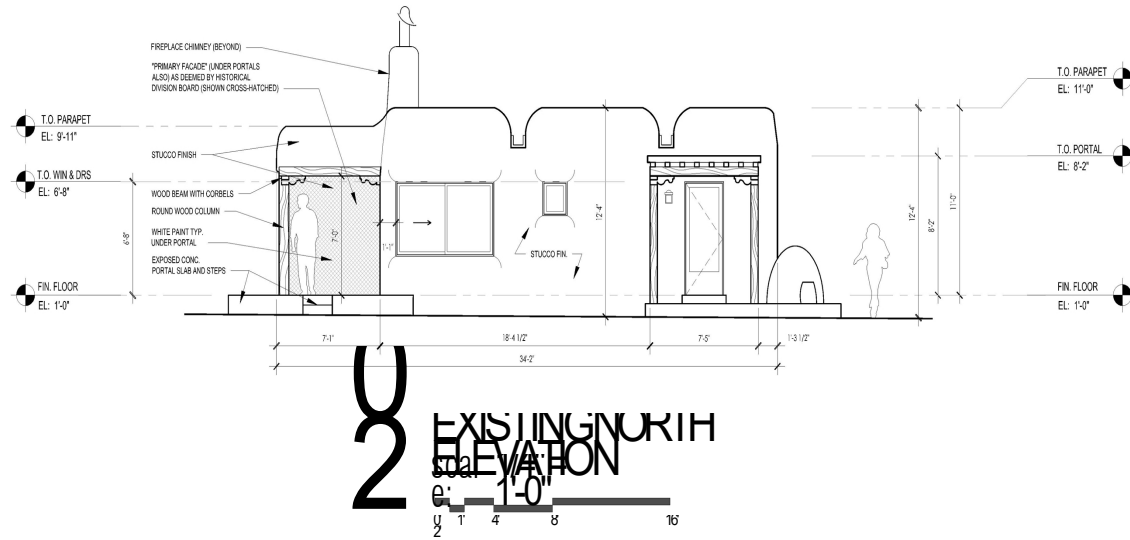
HULEX SUBMITTAL SET
 EXISTING & PROPOSED EXTERIOR ELEVATIONS
A-201



2 EXISTING SOUTH ELEVATION
 scale 1/8" = 1'-0"
 0 1 2 4 8 16'



3 PROPOSED SOUTH ELEVATION
 scale 1/8" = 1'-0"
 0 1 2 4 8 16'



CAMINO ESCONDIDO

SEWER MANHOLE NO. W71

BURIED SEWER
WATER
TRUNK
LINE

1/2" CHERRY
WOODS
(TYPICAL)
GRAVEL
DRIVE
VEWAY

1" MASONRY
WALL

GAS METER
OVER LEAD
LINE (TYPICAL)

DISCONNECT AND CAP ALL
UTILITIES AND
DEMOLISH ALL
STRUCTURES ON TRACT A
SITE: TRIPLEX, TWO
SHEDS, WELL HOUSE
(CAP WELL) AND REMOVE
COYOTE FENCING

EXISTING
ONE-SINGLE
THREE-
UNIT
APARTMENT
613 "C-3", "C-4 AND C-5"
CANYON ROAD

7'-1 1/2" TALL STUCCO-
FACED
CONCRETE
YARD WALL
(TYPICAL)

EXISTING
ONE-STORY
"OLD VIGOR"
RESIDENCE
613 CANYON
ROAD

7'-1 1/2" TALL
EXPOSED
CONCRETE
YARD WALL
AT
613 CANYON
ROAD
(PARTI
METER)

EXISTING
ONE-STORY
"BLOMIE/A"
613 CANYON
ROAD

TRACT A
0.235
ACRES
+/-

GRAVEL PARKING
AREA

STORAGE
SHED

WELL
HOUSE

STORAGE
SHED

EXISTING
ONE-STORY
DUPLEX
613 "C-2"
CANYON
RD

CONNECT LOWER LINES TO
ELECTRIC METER
CONCRETE FENCE ON
STONE WALL TO
REMAIN
ELECTRIC
POLE

SHARE DRIVEWAY
BASEMENT
(SEE SURVEY FOR MORE
INFO)

TRACT B
0.718
ACRES
+/-

SEWER MANHOLE NO. W72

1/2" CHERRY
WOODS
(TYPICAL)
GRAVEL
DRIVE
VEWAY

EXISTING
NEIGHBOR
YARD WALL

EXISTING
ONE-STORY
"BLOMIE/A"
ESCONDIDO
AT

EXISTING
ONE-STORY
"BLOMIE/A"
147 AND 149 CAMINO
ESCONDIDO

WOOD PLANK
FENCING

GAS
METER

PARKING

GRAVEL DRIVE
VEWAY

EXISTING
TERRA
COTTA
SCULPT
GARDEN
WITH
PLANTS

EXISTING
TWO-STORY
"GALLERY/A"
613 CANYON
ROAD

EXISTING
TWO-STORY
"GALLERY/A"
613 CANYON
ROAD

ELECTRIC
POLE

WOOD
FENCING
COYOTE
FENCING

WATER
METER

YARD WALL

EXISTING
TERRA
COTTA
SCULPT
GARDEN
WITH
PLANTS

SEWER MANHOLE NO. W56

EXISTING
"MAYAN"
GALLERY

EXISTING
SITE
PLAN
SCALE =
1" = 10'-0"
0' 10' 20'

STREET CURB
BURIED SEWER
WATER
TRUNK
LINE
ELECTRIC
POLE
OVER LEAD
ELECTRIC
POLE

CANYON
ROAD

SEWER MANHOLE NO. W57

HISTORICAL DESIGN REVIEW BOARD
APPLICATION SET
IN PROGRESS, NOT FOR CONSTRUCTION

H+A
HOOPES + ASSOCIATES ARCHITECTS
3025 MILNILE CUMPA
AVE. SUITE 201
SAN ANTONIO, TX 78701
www.hoopesarchite
cts.com

DEMOLITION
CONTRIBUTION
BUILDINGS AND
SHEDS
310 CANYON ROAD, UNIT C3, C4 AND C5
SAN ANTONIO, TEXAS 78203

HURR
SUBMITTAL SET
EXISTING SITE
PLAN
AS
101

***Applicant
Submittal***

June 27, 2023

June 5, 2023

Ms. Lani McCulley, Case Planner
Historic Preservation Division
Land Use Department
200 Lincoln Avenue
Santa Fe, NM 87501

**Re: 613 Canyon Road (Tract A & B)
Unit "C1 & C2"; the existing Duplex (Tract B)
Part of Previous Case # 2020-001979-HDRB**

Dear Ms. McCulley and Board Members,

Hoopes + Associates Architects is acting as agent for our Client, Joseph Lesley, who owns the above-referenced property where three existing buildings exist on two adjacent tracts of land with same Canyon Road address. We have been in front of the Board several times in the last five years on this property. There is on-going construction on the property, work as previously approved by the Board and permitted accordingly.

We are here to focus on what is known as the Duplex, namely Units "C1 & C2", which we have active building permits # 22-25968-EXTR and # 22-25969-EXTR respectively. I am including the original HCPI report from John Murphey, which he prepared for us in 2018. This should cover required photographs and elaborate on historical aspects of this structure. I am also including three additional photographs for specific issues to be discussed.

Previous HDRB Hearing has determined that the Duplex has a "contributing" status with East and West elevations being "primary facades". Previous HDRB Hearing has granted approval to replace all windows and doors (except entry doors), re-stain and re-stucco the exterior. No height change or square footage is being added. The existing square footage is 1,083 gross heated for entire building (IE both duplex units totaled). The proposed additional work is clouded on plans and elevations for clarity.

We are back in front of the Board to discuss the following additional work:

- Rebuild both entry portals.
- Lower interior floor by approx. 6", thereby lowering all four exterior door sill heights.
- Re-roof entirely, concealing new roof top HVAC units. Replace canals.
- Set condenser and screen with coyote fence.
- Add a new river rock wall to help with current drainage issues at adjacent structure.

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010

Here I have elaborated on each of the above bullet points:

Both small entry portals (approx. 35 sq ft under roof, each) on the East Elevation are severely rotten and present life safety issues. The existing flashing and old asphalt roofs are exposed and unsightly. Therefore, we propose re-building the portal with an additional new dark/rusty brown colored ribbed metal roofing. The portal's roof slope, parapet, latilla ceiling, beams, corbels, viga-column, and proportions will remain as currently seen. We propose a metal gutter at wood fascia to match metal roofing color. See Exterior Elevations and Site/Roof Plan.

Upon earlier interior demolition, a rotten wood floor joist floor and non-code conforming crawlspace was discovered. A new interior floor slab is desired over fixing the existing. Therefore, the owner and architect wish to pour the slab approximately 6" lower to gain a bit more headroom than the existing 7'-8" viga bearing. This becomes an HDRB issue, as we proposal lowering the sill height of all four exterior doors. All door and window head heights and opening will remain as is otherwise. See Exterior Elevations.

We propose removing the old roofing and creating a new pocket roof that will conceal ducted mini-split units (one for each unit). These will be located near roof chimney mass and not seen from ground, including from Canyon Road above the property. The new pocket roof will be covered with a tan colored TPO roof membrane. New wooden roof canales will replace the rotten existing roof canales. Existing conditions will be replicated.

The ducted mini-split units (for heating and cooling) will require a new condenser. We propose placing the unit on West Elevation at new (previously approved) courtyard wall screened by a new coyote fence with a max height of five feet. See Exterior Elevations and Site/Roof Plan.

There is a slight drainage issue we wish to address. The adjacent building (same property/same owner) has a downspout that creates standing water at the Duplex parking area. There are two doors in the lower level of adjacent building that get flooded during times of heavy downpours. We are proposing a low rock wall to divert water as necessary. See Site Plan.

Thank you for your review and deliberation.

Sincerely,



Charles William Rosenberg,
Project Architect

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010



June 5,
2023

Re: 613 Canyon Road
(Tract A & B) & C2: the existing
Duplex (Tract B)
Part of previous Case #
2020-001979-HDRB

**Historic Districts and Historic
Landmarks
Design Standards and Signage
Exception Criteria**

(Due to removal of "historic
materials) damage the
character of the district

**Respon
se:**

The proposed removal of historic materials (namely, rotten
beams and corbels) and replacement,
in like manner, at the Duplex's two entry portals will not
change or damage the character of the dis-
trict. ~~Ar streetscape to prevent a hardship to the applicant
or an injury to the public welfare~~

**Respon
se:**

The proposed removal of historic materials (namely, rotten
beams and corbels) and replacement,
in like manner, at the Duplex's two entry portals) is required
to prevent injury to the public welfare. ~~homogeneous character of the
city by providing a full range of design
options to ensure that residents can continue to reside within
the historic districts~~

**Respon
se:**

Yes, the proposed removal of historic materials (namely,
rotten beams and corbels) and replace-
ment, in like manner, at the Duplex's two entry portals will
strengthen the unique heterogeneous
character of the city by providing a full range of design
options to ensure that residents can con-
tinue to reside within the historic districts by preserving the
character of this historic district struc-
ture and preventing it further deteriorate.

Sincerely,
Charles William
Rosenberg
Project Architect

Hoopes + Associates,
Architects Ltd. Co.
Santa Fe, NM
87504
505.986.10
10

BUILDING RENOVATIONS

613 CANYON ROAD - UNIT C AND C2
SANTA FE, NEW MEXICO 87501

GENERAL NOTES

1. ALL DIMENSIONS FROM DRAWINGS USE DIMENSIONS FROM THE DRAWINGS AND ACTUAL FIELD MEASUREMENTS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF CONFLICTS EXIST. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS MARKED AS ± OR V/F SHALL BE VERIFIED IN THE FIELD.
3. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ALL FIELD MEASUREMENTS PRIOR TO ANY WORK.
5. CONTRACTORS SHALL COORDINATE THE WORK OF ALL TRADES AND SUBS.
6. CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DISCREPANCIES PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
7. CONTRACTOR MATERIALS AND ACTIVITY SHALL NOT BLOCK ACCESS OR EGRESS FROM ANY BUILDING WHILE THE BUILDING IS OCCUPIED. THIS INCLUDES DEMOLITION WORK AND ALL SUPPLEMENTAL DRAWINGS ISSUED BY THE ARCHITECT SHALL ALSO BECOME PART OF THE CONTRACT SET.
8. ALL PLUMBING AND ELECTRICAL WORK TO BE CONCEALED, UNLESS OTHERWISE NOTED.

REFERENCE SYMBOLS

- WALL SECTION
- BUILDING SECTION
- EXTERIOR ELEVATION
- DOOR TAG
- WINDOW TAG
- INTERIOR ELEVATION
- ROOM TAG
- ROOM REFERENCE
- REVISION TAG
- DETAIL TAG

ABBREVIATIONS

- ABOVE FINISH FLOOR
- T.O. TOP OF SLAB
- T.O. TOP OF BEARING
- T.O. TOP OF PARAPET
- T.O. TOP OF FINISH FLOOR
- P. UNLESS OTHERWISE NOTED
- T.O. TYPICAL
- UN. UNFINISHED
- FIN. FINISHED
- IMPACTED SOIL
- GRAVEL
- UMU
- RIGID FOAM INSUL
- BATT INSULATION
- SPRAY FOAM INSUL

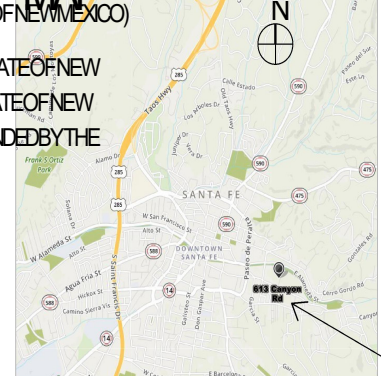
PROJECT OVERVIEW

NEW WORK INCLUDES THE INTERIOR WILL BE FULLY RENOVATED WITH NEW KITCHENETTE AND BATH. THE EXTERIOR RENOVATION INCLUDES NEW METAL CLADDING AND A NEW DOOR SYSTEM. THE EXTERIOR ARCHITECTURE WILL BE PRESERVED. ADDITIONAL WORK INCLUDES: ROCK WALL FOR DRAINAGE PURPOSES. OWNER: CANYON ROOM HOLDINGS LLC, 218 N. RIVER CREST, FORT WORTH, TX 76107. AGENCY: CITY OF SANTA FE, JURISDICTION: SANTA FE, LAND USE: RESIDENTIAL, INFORMATION: SANTA FE CITY HALL, 200 LINCOLN AVE, 1ST FLOOR, SANTA FE, NEW MEXICO 87501. APPLICABLE CODES: 2015 NM UNIFORM MECHANICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE (2015 NM MECHANICAL BUILDING CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE), 2015 NM RESIDENTIAL BUILDING CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM EXISTING BUILDING CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM PLUMBING CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM ELECTRICAL CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM FIRE ALARMS AND NOTIFICATION CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM ENERGY CODE AS AMENDED BY THE STATE OF NEW MEXICO AND CITY OF SANTA FE, 2015 NM ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ACT (2009 CCA 117-1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ACT), CITY LAND USE ZONING CLASSIFICATION: R18A-C (RESIDENTIAL SINGLE-FAMILY, 18'-1" ACTUAL HEIGHT LIMIT PER HISTORICAL ZONING, 6' TO 8' TIS BUILT, OTHERWISE 15' FEET TIS BUILT, 9,300 SQ. FT.), LOT AREA: HISTORICAL DISTRICT: DOWNTOWN-FOURTH HILLS ESCARPMENT, PARKING: 1 SPACE EACH PER SHORT-TERM DUPLEX RENTAL UNIT, BUILDING CODE SUMMARY: OCCUPANCY GROUP: R (LOW-FAMILY DUPLEX), CONSTRUCTION TYPE: V-B, NUMBER OF STOREYS: 1, AREA OF SHEDDING: 1,083 SQ. FT., AREA OF CHANGE IN SQUARE FOOTAGE: 1,083 SQ. FT., * TOTAL SQUARE FEET AS LISTED BY CITY OF SANTA FE, FIRE PROTECTION: SPRINKLERS NOT REQUIRED.

SHEET INDEX

- PLATE OF BOUNDARY SURVEY
- AS-BUILT NEW ENLARGED ARCHITECTURAL PLAN
- A-101 EXISTING FLOOR PLAN
- A-102 NEW FLOOR PLAN
- ELEVATION (EAST)
- A-202 EXIST AND NEW EXT. ELEVATIONS (SOUTH)
- A-203 EXIST AND NEW EXT. ELEVATIONS (WEST)
- A-204 EXIST AND NEW EXT. ELEVATIONS (NORTH)

VISUAL MAP



LOCATION MAP



HISTORICAL DESIGN REVIEW BOARD
REVISED APPLICATION SET

PROJECT LOCATION

PROJECT LOCATION

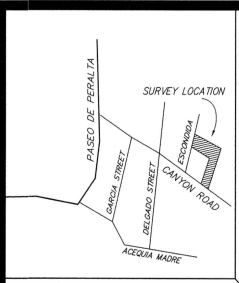
H+ ASSOCIATES ARCHITECTS
333 W. ALAMO
SUITE 200
SANTA FE, NM 87501
360.466.0000
hplusarchitects.com

613 CANYON ROAD, UNIT C AND C2
SANTA FE, NEW MEXICO 87501

ISSUANCE DATE: 06/05/2023

REVISIONS
H+ ASSOCIATES ARCHITECTS
333 W. ALAMO
SUITE 200
SANTA FE, NM 87501
360.466.0000
hplusarchitects.com

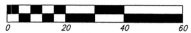
001



VICINITY MAP



SCALE: 1"=20'



LEGEND

- Sewer Manhole
- Points found and used as noted.
- 1/2" Capped iron pin set this survey.
- Power poles.
- Fences.
- Walls.
- ▨ Concrete.
- Utility box.

NOTES

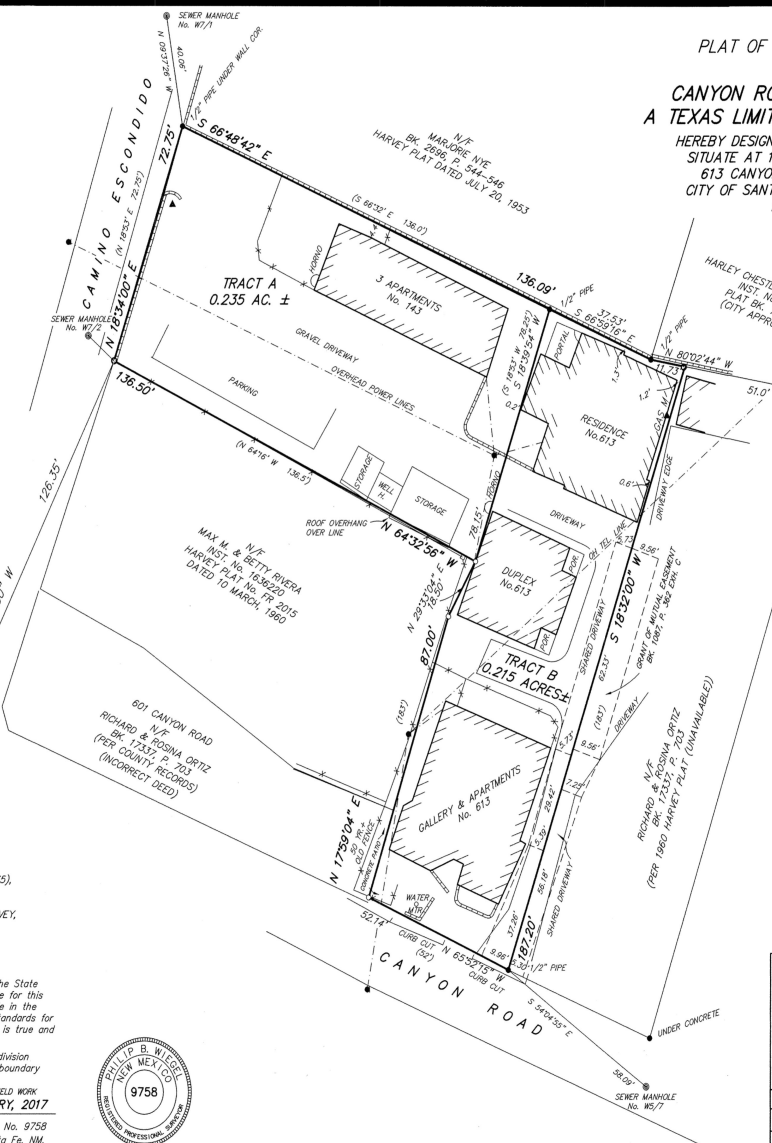
1. BASE OF BEARINGS: GPS OBSERVATION OF FOUND CORNERS ON THE NORTHERLY BOUNDARY OF TRACT 1, (S 66°48'42" E), NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID.
2. TRACT A IS BASED ON A WARRANTY DEED, FROM SALOMAN JUAN & IRENE G. VIGIL TO IGNACIO L. VIGIL, DATED 31 DECEMBER, 1960, RECORDED AS INT. No. 255,585, RECORDS OF SANTA FE COUNTY, (HARVEY PLAT ER 143S). TRACT B IS BASED ON PERSONAL REP DEED, RECORDED IN BK. 1117, P. 520, DATED 29 NOV. 1994. REFERENCE SURVEY FOR IGNACIO VIGIL, BY MADE BY JAMES HARVEY, DATED MARCH 10, 1960. REFERENCE DEED FOR BOTH TRACTS, BK. 1129, P. 397-399.

CERTIFICATE

I, Philip B. Wiegand, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

Philip B. Wiegand
 Philip B. Wiegand
 P.O. Box 22773
 DATE OF FIELD WORK
 22 FEBRUARY, 2017
 P.S. No. 9758
 Santa Fe, NM.



PLAT OF BOUNDARY SURVEY 814008
 FOR
**CANYON ROOM HOLDINGS, LLC,
 A TEXAS LIMITED LIABILITY COMPANY**
 HEREBY DESIGNATED TRACT A & TRACT B
 SITUATE AT 143 CAMINO ESCONDIDO &
 613 CANYON ROAD, RESPECTIVELY,
 CITY OF SANTA FE, SANTA FE COUNTY,
 NEW MEXICO.



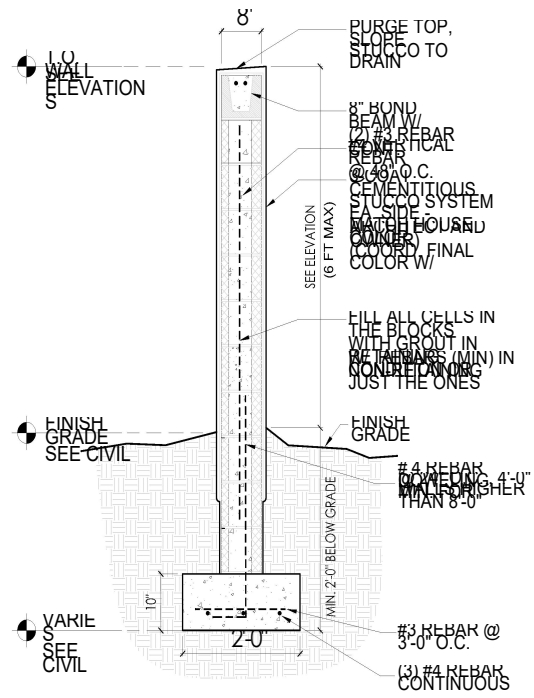
INSTRUMENT No. 188473
 COUNTY OF SANTA FE
 STATE OF NEW MEXICO
 I hereby certify that this instrument was filed for
 record on the 23rd day of FEBRUARY A.D.
 2017, at 11:04 a.m. and was duly
 recorded in Book 814, Page 008 of the
 records of Santa Fe County.

Witness my Hand and Seal of Office
 ISABELINE SALGAR
 County Clerk, Santa Fe County, New Mexico
Isabeline Salgar
 Deputy

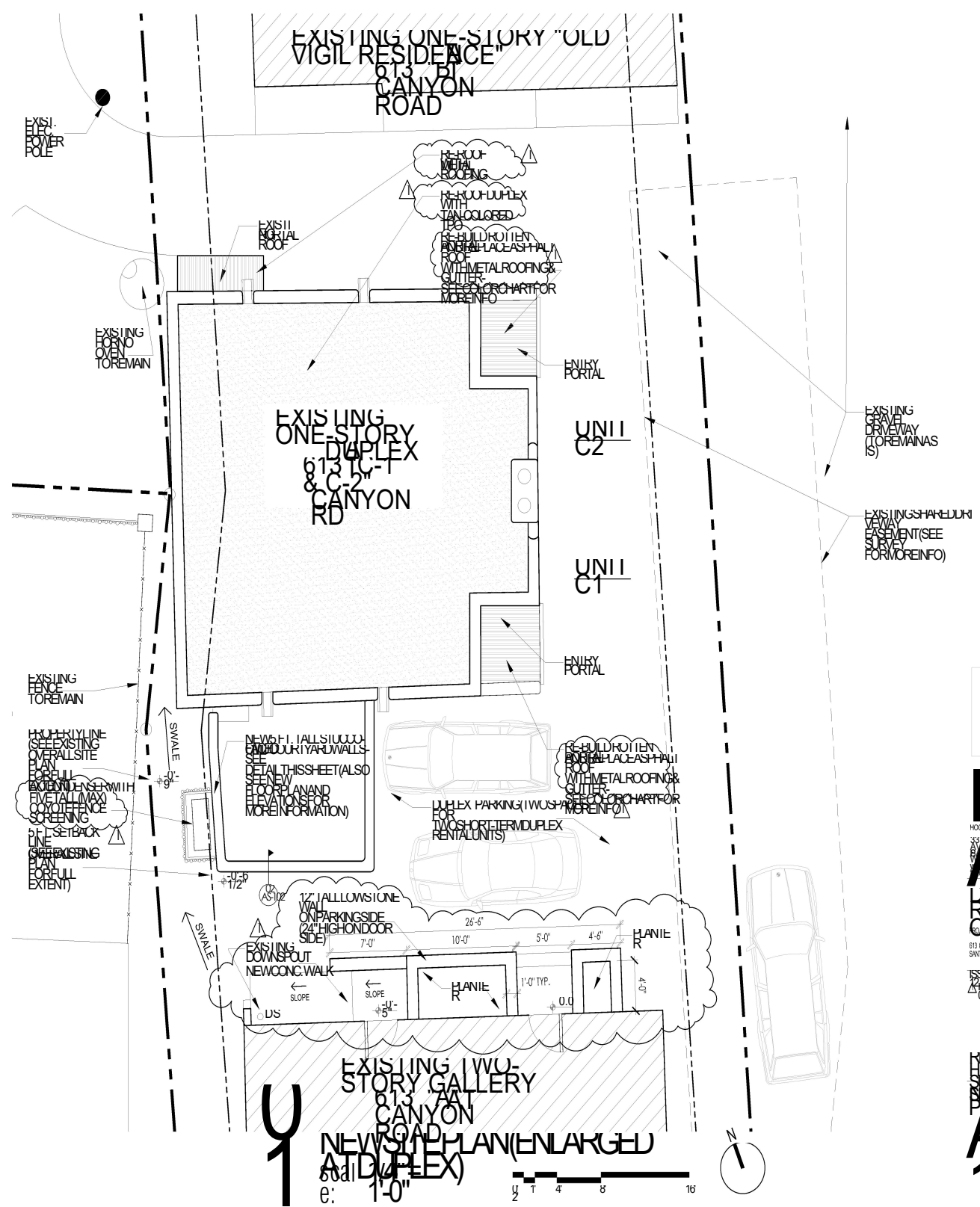
PUBLIC NOTICE
 CITY OF SANTA FE STAFF HAS NOT REVIEWED
 THIS DOCUMENT PRIOR TO RECORDATION. CITY OF
 SANTA FE STAFF MUST APPROVE ALL DOCUMENTS
 SUBMITTED WITH AN APPLICATION FOR BUILDING
 PERMIT AND MAY REQUIRE ADDITIONAL
 DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.
 VERIFICATION OF LEGAL LOT OF RECORD IS THE
 SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.

INDEXING INFORMATION FOR COUNTY CLERK
 BOUNDARY SURVEY
 OWNER: VIGIL FAMILY LIMITED PARTNERSHIP
 LOCATION: 613 CANYON ROAD, 143 CA. ESCONDIDO
 SECTION 19, T 17 N, R 10 E, N.M.P.M.
 PROJECTED INTO THE SANTA FE GRANT
 SANTA FE COUNTY, NM
 UPC No. 1-055-098-029-536 613 CANYON ROAD

DEL RIO SURVEYS, INC.
 P.O. BOX 22773, SANTA FE, NM 87502 PH: 505-820-9200
 PROJECT No. 17020119 Dwg. PW Ckd. DV
 Date: 2/22/17 REV: 1



2 TYPICAL YARD WALL SECTION
e: 0



4 NEW SITE PLAN (ENLARGED)
e: 1'-0"

HISTORICAL DESIGN REVIEW BOARD
REVISED APPLICATION SET

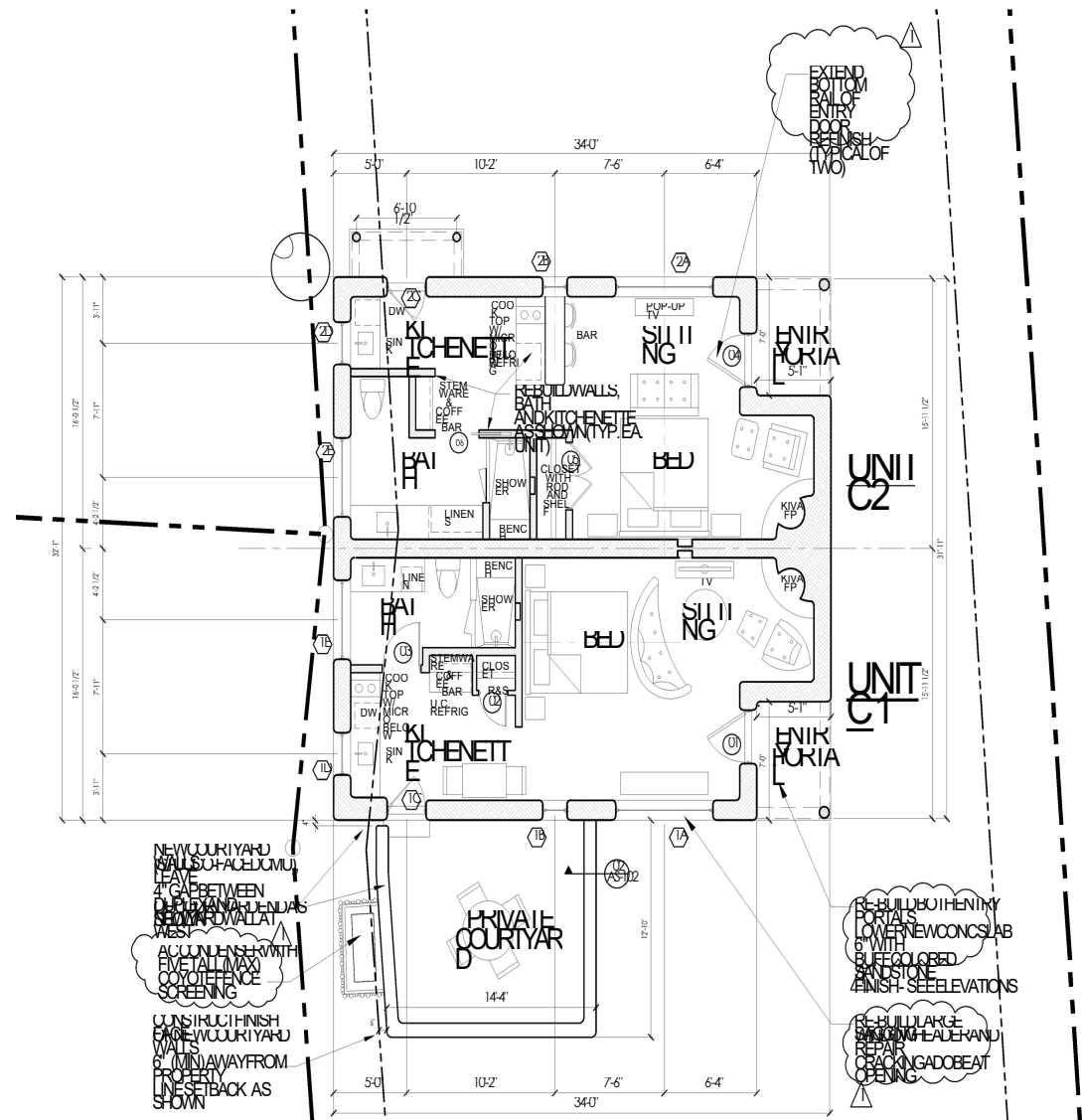


HOOPER ASSOCIATES ARCHITECTS
4400 UNIVERSITY AVENUE, SUITE 200
SANTA FE, NEW MEXICO 87501
www.hooperarchitect.com

LUJEX RENOVATIONS
613 CANYON ROAD, UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 2/14/2023
DRAWN BY: UNHWRB-06052023

REVISED SUBMITTAL PLAN
AS 102

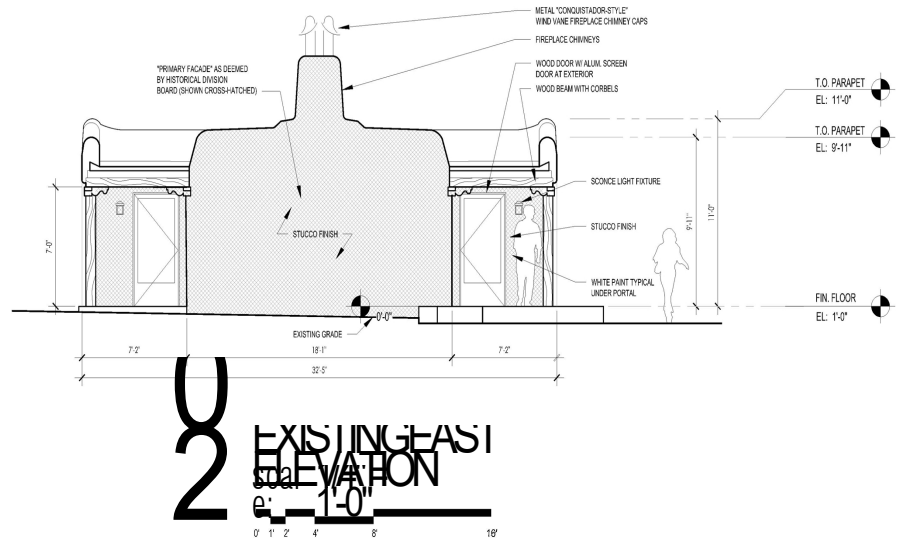


H A
HOOPES-ASSOCIATES ARCHITECTS
301 W. LINCOLN BLVD. SUITE 100
SANTA FE, NM 87501
www.hoopearch.com
cts.com

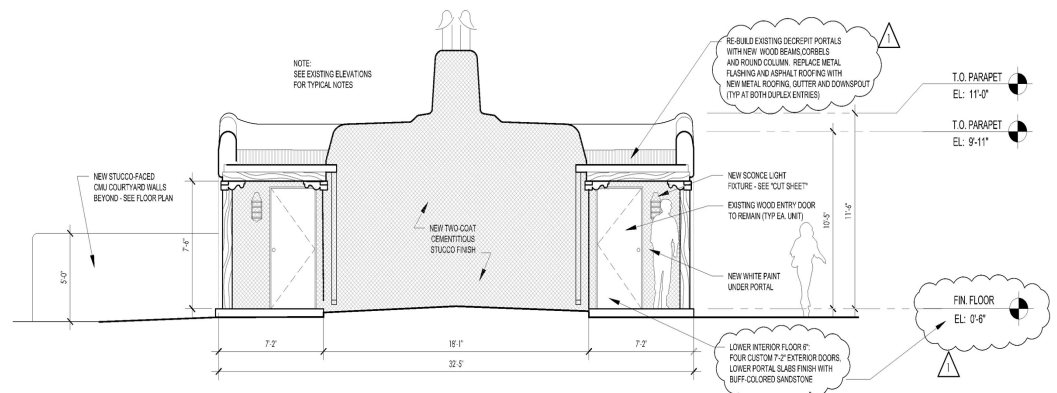
LUJEX RENOVATIONS
615 SAN ANTONIO UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501

ISSUED: 07/14/2020
REVISIONS FOR HDR.B-06/05/2023

PROPOSED FLOOR PLAN
scale: 1/4" = 1'-0"
0 1 2 4 8 16



8 EXISTING EAST ELEVATION
scale: 1/8" = 1'-0"
0 1' 2' 4' 8' 16'



9 PROPOSED EAST ELEVATION
scale: 1/8" = 1'-0"
0 1' 2' 4' 8' 16'



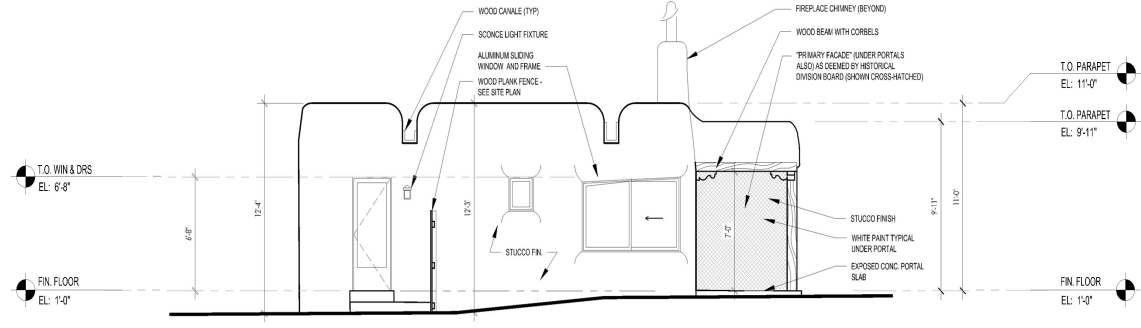
HA
HOOPES & ASSOCIATES ARCHITECTS
301 CALMUN DRIVE
SUITE 300
SANTA FE, NM 87501
www.hoopeschitects.com

LULEX RENOVATIONS

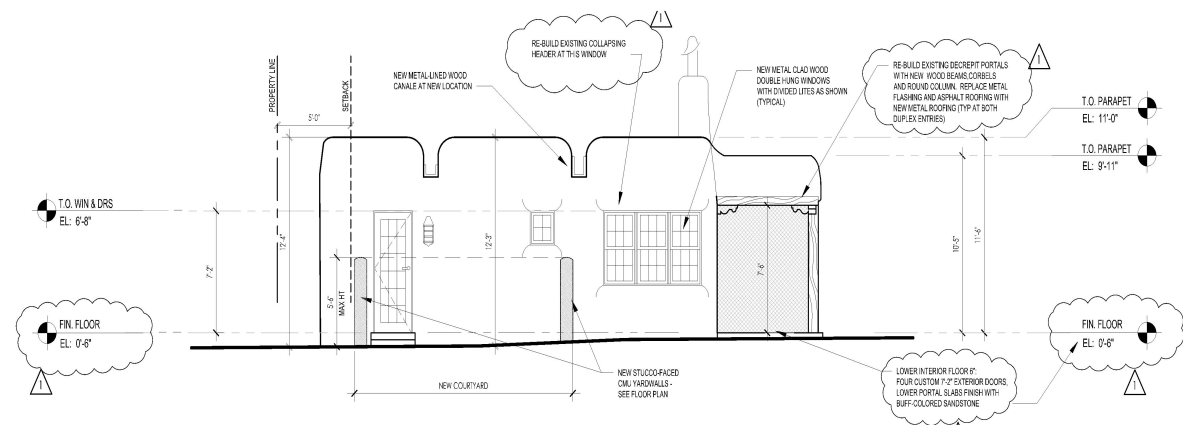
615 CANYON ROAD, UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501

ISSUE DATE: 12/14/2022
REVISIONS: UNH/DRB-06/05/2023

REVISED
H/DRB
SUBMITTAL
BASED ON
PROPOSED
EXTERIOR ELEVATION
A-201



2 EXISTING SOUTH
ELEVATION
Scale: 1/8" = 1'-0"
0 1 2 4 8 16'



3 PROPOSED SOUTH
ELEVATION
Scale: 1/8" = 1'-0"
0 1 2 4 8 16'

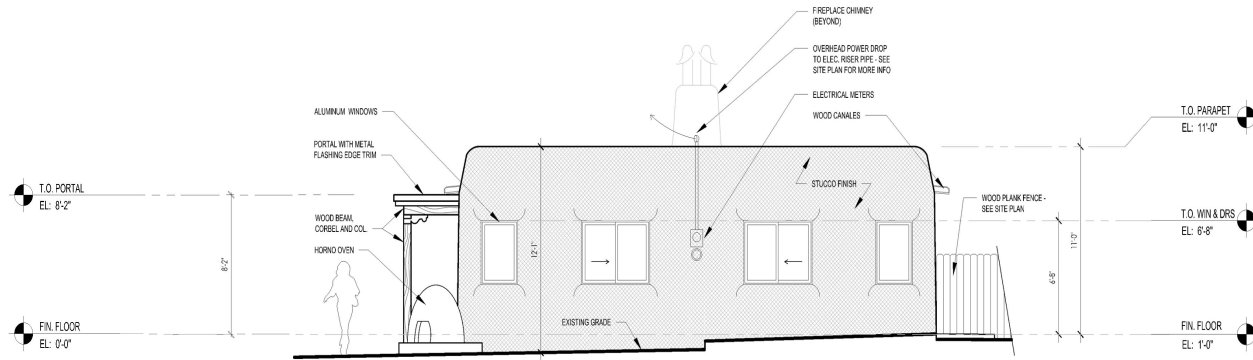


HA
HOOPES & ASSOCIATES ARCHITECTS
300 CALMUN DRIVE
SANTA FE, NM 87501
www.hoopeschitects.com

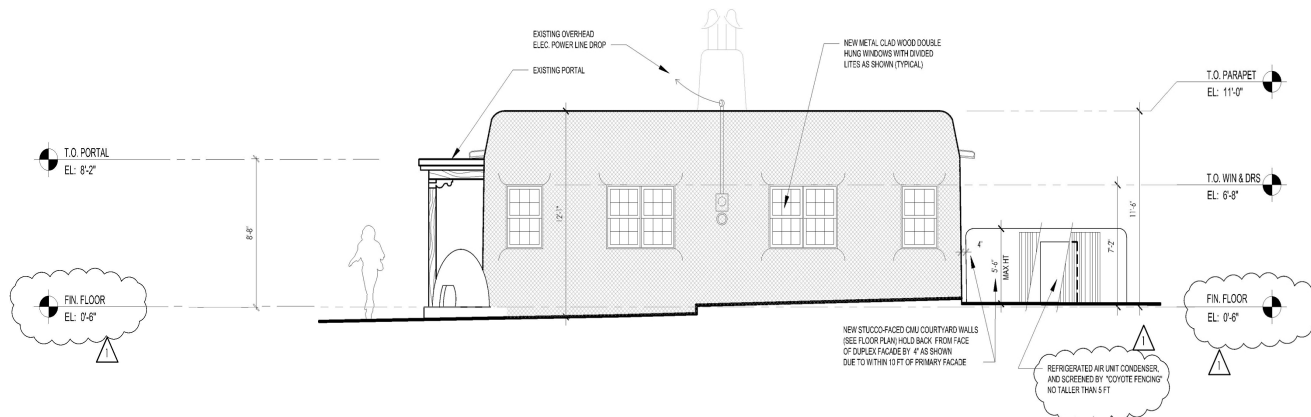
LULEX RENOVATIONS

615 CANYON ROAD, UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501
ISSUED: 04/14/2022
REVISIONS: UNHDB-06/05/2023

REVISED
UNHDB
SUBMITTAL
BASED ON
PROPOSED
EXTERIOR ELEVATION
A-202



02 EXISTING WEST
ELEVATION
Scale: 1/8" = 1'-0"
0 1 2 4 8 16'



01 PROPOSED WEST
ELEVATION
Scale: 1/8" = 1'-0"
0 1 2 4 8 16'

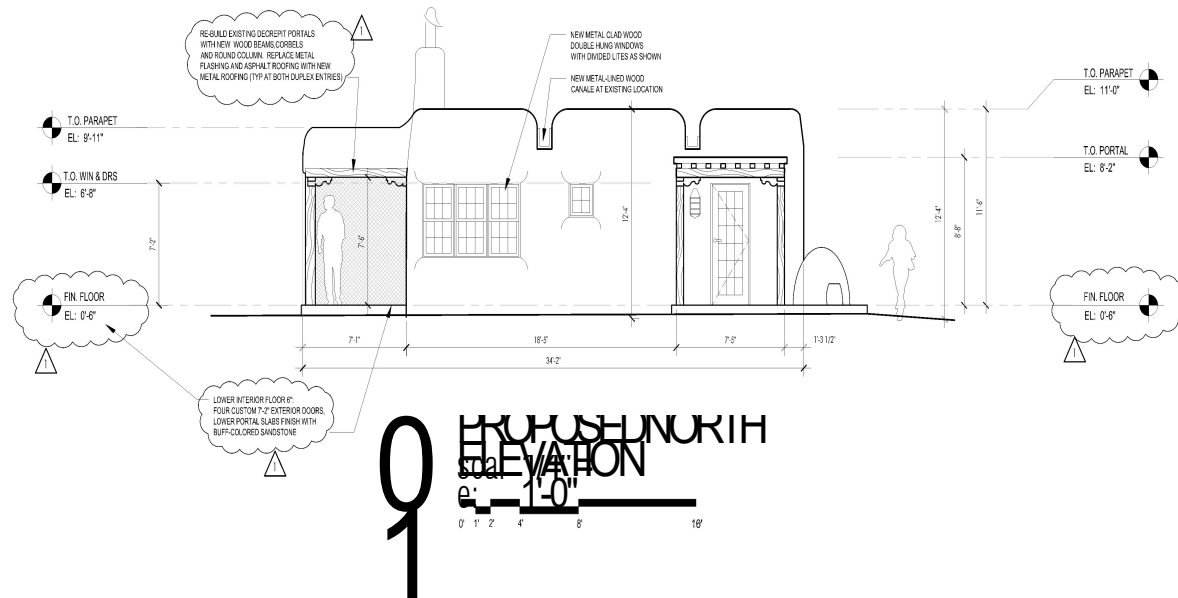
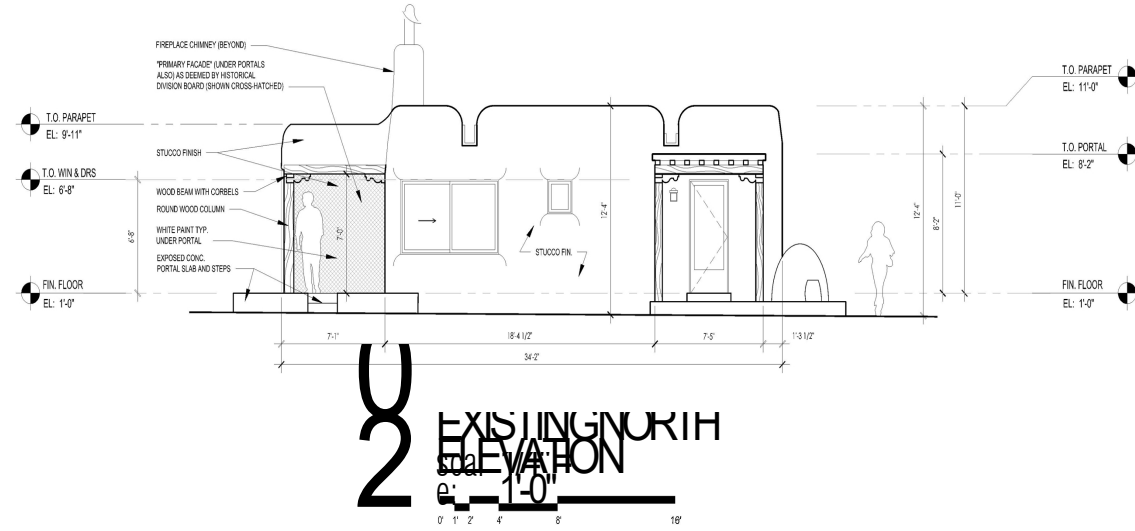


H+A
HOOPES + ASSOCIATES ARCHITECTS
1001 W. UNIVERSITY AVENUE, SUITE 100
SANTA FE, NM 87501
www.hoopesarchitects.com

LULEX RENOVATIONS
615 CANYON ROAD, UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501

ISSUED: 04/14/2022
REVISIONS: UNHDRB-06/05/2023

REVISED
UNHDRB
SUBMITTAL
BASED ON
PROPOSED
EXTERIOR ELEVATIONS
A-203



H+A
HOOPES + ASSOCIATES ARCHITECTS
1501 MOUNTAIN VIEW AVENUE SUITE 101
SANTA FE, NM 87501
www.hoopesarchitects.com
cts.com

LULEX RENOVATIONS
615 GAYTON ROAD UNIT C1 AND C2
SANTA FE, NEW MEXICO 87501

ISSUED: 04/14/2022
REVISIONS: UNHDB-06/05/2023

REVISED
HDBB
SUBMITTAL
PROPOSED
EXTERIOR ELEVATION
A-204

ROTTEN PORTAL
AT UNIT C1
SE CORNER



SAGGING
HEADER AT
SOUTH FACADE
UNIT "C1"





DRAINAGE
ISSUE
SOUTH OF
DUPLEX



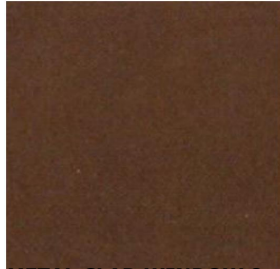
RESIDENTIAL RENOVATION
EXTERIOR COLORS OF HISTORICAL
CANYON ROAD DISTRICT, SAND CREEK
EXISTING DUPLEX REMISOLUONE
5, 2023



STUCCO
HOUSE AND
YARD WALLS COLOR:
ADOBE #116 BY EL
REV.
CEMENTITIOUS 3-
COAT SYSTEM



EXPOSED WOOD STAIN
STAIN CHIP SAMPLE
BEAM, COLUMN AND
LINTEL COLOR:
WOODBRIDGE #ST-
116 BY BEHR
SEMI-TRANSPARENT
WOOD STAIN



METAL CLAD WINDOW &
EXT. DOOR COLOR:
"NUTMEG"
BY KOLBE WINDOWS &
DOORS CO.



EXTERIOR SHIELDED
LIGHT SCENCE
BRONZE-
PATINAED METAL
"DARK SKY"
APPROVED

Hoopes + Associates,
 Architects
 816 Montezuma
 Ave, Suite 200
 Santa Fe, NM
 87504
 505.986.1010



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-006939-HDRB. 704 Camino Lejo. Historic Review District. Significant. David Armstrong, agent for the Wheelwright Museum of the American Indian and Henrietta Lidchi, Executive Director, requests approval for raising the existing wall, to 3’-6”, counterflashing new waterproofing system, replace ground level brick pavers and replace wood door copper threshold, replace concrete canales.

Case number: **2023-006939-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 704 Camino Lejo

PROJECT NAMES:

OW – Henrietta Lidchi

AP – David Armstrong

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____

YEAR OF CONSTRUCTION _____ 1937 _____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME Wheelwright Museum of the American Indian

City of Santa Fe, New Mexico

memo

DATE: June 27, 2023
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

Case # 2023-006939-HDRB

Address: 704 Camino Lejo
Historic Status: Significant
Historic District: Review District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(F) Historic Review District Design Standards. The proposed work will not impact the significant status of the structure and complies with Section 14-5.2(C).

BACKGROUND & SUMMARY:

The project address is 704 Camino Lejo and is known as the Wheelwright Museum of the American Indian and is listed as a significant structure to the Historic Review District. The Museum was built in 1937 by Mr. William Penhallow Henderson, who was the architect and builder. The Museum, with the focus on Native American arts, has had impact on the study of

Native American arts within Santa Fe, the State of New Mexico, and Nationally. The structure itself housed people, Native American collections, and provided a distinctive design style which uniquely exemplifies the Navajo hogan-inspired architecture which contributes to the Santa Fe landscape. The Museum was listed in the National Register of Historic Places and New Mexico State Registry in 1990. Currently, the Museum provides educational classes, public outreach, and art collection exhibits displaying Native American artists throughout the state and North America.

The property has undergone previous renovations throughout time with the most recent addition of two new structures on the property built in the early 2000's. The additional structures are not connected to the Museum. The Museum was given Significant status in 2012 by the HDRB.

Now, the applicant proposes the following exterior alterations:

- 1) Removal and replacement of the existing stucco exterior finish to match the existing with cementitious stucco.
- 2) Special Mix Stucco Color: Western Blended Products S-10 Cabo Brown. (Field sampling will have to be done to get exact match due to weather fading of existing).
- 3) Removal and replacement of the existing plaza waterproofing system and installation of new counterflashing.
- 4) Remove and replace all existing brick pavers after waterproofing system is installed to match the existing.
- 5) Removal and replacement of deteriorated wood entry door and threshold to match existing.
- 6) Removal and replacement of the existing concrete canales to match existing in style and color.
- 7) Add a 6-inch extension of the existing plaza wall to meet 42-inch height requirement per code.
- 8) Removal of all abandoned electrical conduits attached to the exterior wall.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Yard Wall Height:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

(i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

(a) Each structure to be recognized as a physical record of its time, place, and use.

Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;

(b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;

(c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and

(d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

David Coss, *Mayor*

Councilors:

Rebecca Wurzbarger, Mayor Pro Tem, Dist. 2

Patti J. Bushee, Dist. 1

Chris Calvert, Dist. 1

Peter N. Ives, Dist. 2

Carmichael A. Dominguez, Dist. 3

Christopher M. Rivera, Dist. 3

Bill Dimas, Dist. 4

Ronald S. Trujillo, Dist. 4

Project description: Proposes an historic status review of this non-stated structure.

Project number: 12-120097A

Case number: H-12-097A

Project type: HDRB

PROJECT LOCATION (S): 704 Camino Lejo

PROJECT NAMES:

OW – The Wheelwright Museum
Santa Fe, NM 87502

704 Camino Lejo
505-982-4636

AP – Studio S.W. Architects ✓
Santa Fe, NM 87504

P.O. Box 9308
505-982-7191

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) at their hearing on December 11, 2012, acted on the above referenced case. The decision of the Board was to designate the museum building as significant with the understanding that at this date there are two non-historic additions. For further information please call 955-6605.

Sincerely,

David Rasch
Planner Supervisor, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerks office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permit.



Building Investigation, Design and Consulting

Po Box 92977, Albuquerque, NM 87199

www.agiconsultants.com mail@agiconsultants.com

NM Office 505.899.0089 Office 505.235.7596

DBA AGI Consultants

SHPO Submittal

Date: 5/8/2023

Project: Wheelwright Museum of the American Indian
704 Camino Lejo
Santa Fe, NM 87505

Regarding: Proposed Site and Exterior Building Renovations to Wheelwright Museum Building

Project Overview:

The overall scope of this project includes removal and replacement of existing site elements and exterior elements of the existing museum building. New work includes the removal and replacement of the existing stucco exterior finish, to match existing; removal and replacement of the existing plaza waterproofing system and installation of new counterflashing; removal and replacement of deteriorated wood entry door and threshold, to match existing; removal and replacement of existing concrete canales, to match existing; and 6" extension of the existing plaza wall to meet 42" height requirement per code.

Scope Summary:

- 1) Stucco
 - a. **Existing:** Existing stucco is in need of replacement.
 - b. **Proposed:** Install new 3 coat stucco system. New finish color to match existing or SHPO approved color. Survey will be done of all surface mounted electrical conduits and lighting fixtures. Any abandoned conduits and flood lights will be removed. All working electrical conduits will be pulled away from building to allow for new stucco.
- 2) Counterflashing
 - a. **Existing:** There is no counterflashing currently installed at plaza wall flashing, only a term bar.
 - b. **Proposed:** Install new two piece counterflashing at existing location. Counterflashing to be copper colored to match other existing metal flashings and to restore wall to original state.
- 3) Entry Plaza
 - a. **Existing:** Existing plaza is located over conditioned building space. The existing waterproofing system is failing and allowing water intrusion into the building, causing damage.
 - b. **Proposed:** Remove the existing brick pavers and save for re-installation, and remove the existing waterproofing system. Install new waterproofing system to include EPDM membrane, drainage mat, and leveling sand, and reinstall existing pavers. EPDM wall flashing will terminate at new counterflashing and will have a layer of stucco applied to match existing or SHPO approved color. Any damaged brick pavers will be replaced with closest match available.
- 4) Entry Plaza Wall
 - a. **Existing:** As-Built drawings show plaza wall height construction to be 42" to deck. Due to the height of the plaza waterproofing system and pavers, the height of the wall is only 36" from top of wall to finished plaza surface.
 - b. **Proposed:** Existing plaza wall will remain. Wall will be raised by adding additional 6" to top of wall and stucco finish to match existing or SHPO approved color. Wall height will be raised to 42" as required by Code.
- 5) Wood Entry Door
 - a. **Existing:** Water stands at existing door threshold and has created door, jamb and threshold deterioration.
 - b. **Proposed:** Install new wood door and copper threshold to match existing.
- 6) Concrete Canales
 - a. **Existing:** Existing concrete canales have deteriorated.
 - b. **Proposed:** Remove deteriorated canales and install new concrete canales with metal liner, to match existing.

PHOTOS

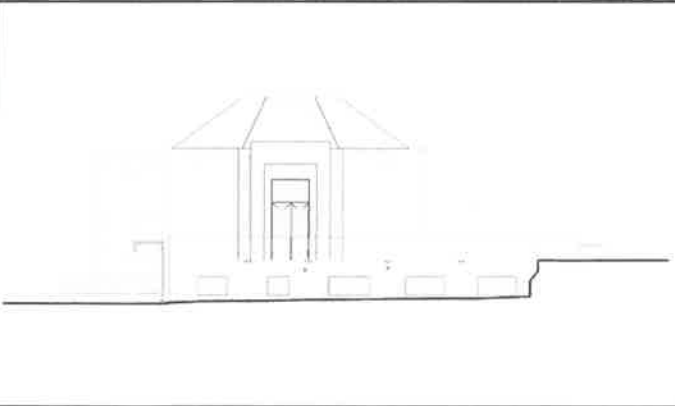
Museum Building & Plaza Area



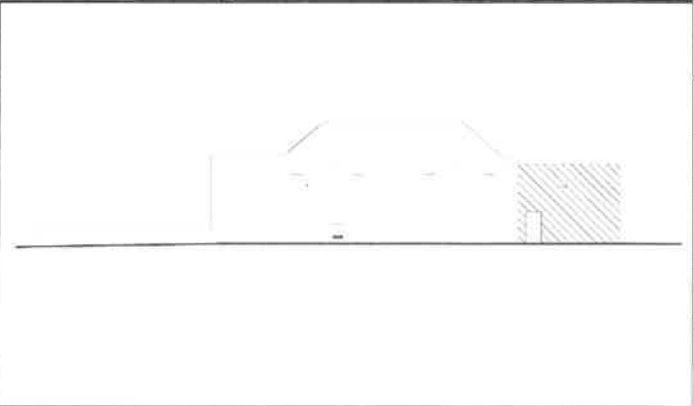
1a. This view shows the existing stucco condition.



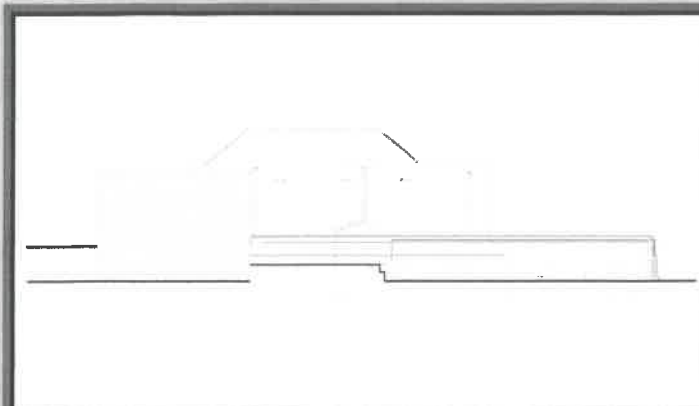
1b. This view shows some of the existing electrical conduits on wall. All exterior electrical conduits and lighting will be evaluated to see if we can remove any abandoned flood lights and conduit.



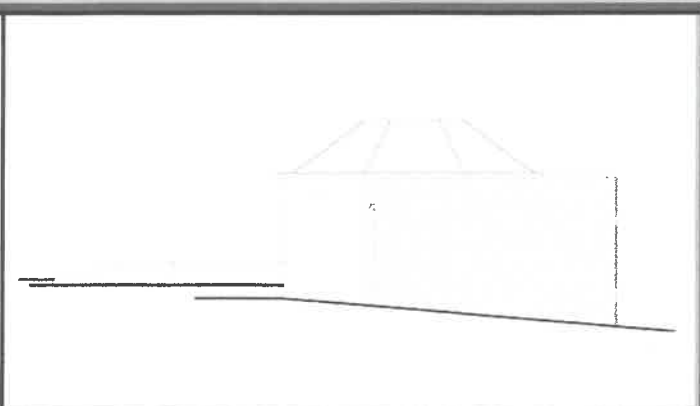
1c. East Elevation of Wheelwright Museum Building



1d. North Elevation of Wheelwright Museum Building



1e. South Elevation of Wheelwright Museum Building



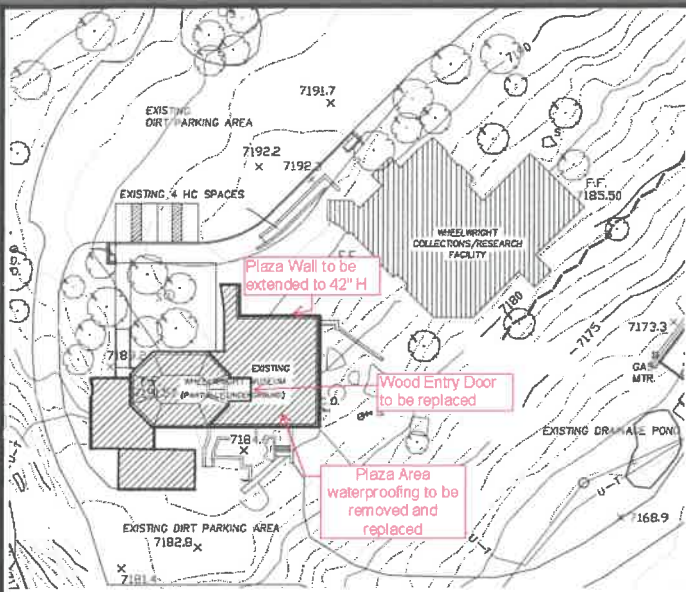
1f. West Elevation of Wheelwright Museum Building



2a. This view shows the existing wall flashing with term bar.



2b. This view shows a close up of the wall flashing and term bar. This will be replaced by a copper two piece counterflashing, as per original design.



3a. This shows location of existing plaza, plaza wall and entry door.

3b. This shows the brick plaza area to be replaced in kind. Stucco will be applied to wall flashings to match existing stucco finish. Brick will be reused. Any damaged brick will be replaced in kind with closest match possible.



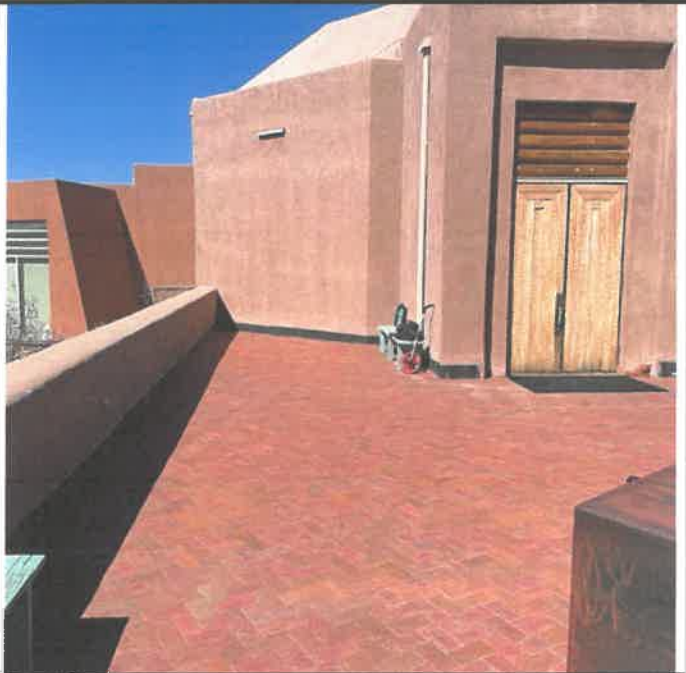
4a. This shows the existing plaza wall. Height is 36".



4b. 6" will be added to the top of the wall to comply with required 42" height per code. Stucco will match existing.



4c. This view shows the continuation of the existing plaza wall. Height is 36".



4d. This view shows the continuation of plaza wall until it terminates at building face. Height is 36".



5a. This shows the existing wood entry door.



5b. Door and threshold will be replaced to match existing. Brick pavers will be sloped away from threshold to prevent ponding water. Threshold will be copper to match existing.



6a. This view shows the existing deteriorated concrete canals.



6b. Deteriorated concrete will be removed and replaced in kind. Metal canal liner will be added.



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: 2023-006940-HDRB. 641 Camino Del Monte Sol. Downtown & Eastside Historic District. Noncontributing. Lorn Tryk, agent for Leon L and Susan Coppage Evans, owner, requests approval for an addition of a 677 sq. ft. attached garage, a 280 sq. ft. addition on the north side elevation, expansion of the portal, add exterior fireplace, remove existing stairwell and relocate to the northeast corner of the house, window replacement on the south elevation construct a street wall 5' yard wall and pedestrian gate. Replace existing coyote fence, relocate automatic gate closer to the street.

Case number: **2023-006940-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): **641 Camino Del Monte Sol**

PROJECT NAMES:

OW – Leon L. and Susan Coppage Evans

AP – Lorn Tryk

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____

YEAR OF CONSTRUCTION _____1990_____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

City of Santa Fe, New Mexico

memo

DATE: June 27, 2023
TO: Historic Districts Review Board Members
FROM: Paul A. Duran, Senior Planner, Historic Preservation Division

Case # 2023-00006940-HDRB

Address: 641 Camino del Monte Sol
Historic Status: Noncontributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

The proposed project is located at 641 Camino del Monte Sol, which is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. There are two structures on the property which consists of a 1,495 square foot noncontributing mixed style guest house built in 1954 identified as building (A) and a 3,614 square foot Territorial style main house with a 254 square foot basement built in 1990. The main house is where the proposed

work will be conducted. Proposed additions will not increase the height of the existing main house and will match the character and finishes of the existing main house as well. The property is a 28,584 square foot parcel and zoned as R2.

A previous addition to the main house of 231 square feet was approved by the HDRB, in April 2013, and constructed shortly thereafter.

Now, the applicant proposes the following exterior alterations:

- 1) Construct a new 677 square foot garage attached to the western façade of the main house, with a wood painted garage door and side windows cased to match existing house.
- 2) Construct a 280 square foot addition to the north side of the main house that expands the existing office, studio, and pantry space.
- 3) Expand the rear portal floor and roof area on the east side of the main house.
- 4) Add exterior fireplace to rear portal.
- 5) Relocate the stairs to the lower level to the northeast corner of the house.
- 6) Make modifications to the existing windows in the master bedroom and bath on the south side of the main house.
- 7) Construct a street wall of stuccoed CMU with an antique pedestrian gate and replace the existing coyote fencing.
- 8) Reconstruct the automatic gate closer to the street.
- 9) Create a brick walkway from the pedestrian gate at the street to the courtyard entry, at the main house.

Proposed finishes are as follows:

Exterior Stucco: STO Adobe Brown

Exterior doors and windows: White aluminum clad wood

Exterior casing, posts, and beams: White painted wood.

Garage Door: Behr "Breezeway"

Canales: Galvanized steel lined wood, painted white.

Railings: White painted wood.

Brick walkway: Summit "Cedar Ridge"

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and

- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Yard Wall Height:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.
 - C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

Sloping Sites:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 H760

ADDRESS: 641 Camino del Monte Sol

ID NUMBER: 051600160

BUILDING NAME:

UTM REFERENCE EASTING NORTHING
ZONE 12 13

LEGAL DESCRIPTION:

TNSP 17 N RANGE 10 E SEC 30 SW 1/4 NE 1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:
1955, city directory
1990 ESTIMATE 1955 ACTUAL

SOURCE(S) city building permit 1990

ARCHITECTURAL STYLE:
Territorial Revival/Ranch

USE:

HISTORIC: residential

OTHER _____

PRESENT: residential

OTHER _____

SURROUNDINGS:
residential

RELATIONSHIP TO HISTORIC SURROUNDINGS:

SIMILAR NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:

YES NO

WHAT TYPE? house at rear of property

IF INVENTORIED, LIST ID NUMBER(S)
051600160.1 (this form)

DEGREE OF REMODELING:

MINOR MODERATE

MAJOR

EXPLAIN: large new house added at rear of site

OVERALL CONDITION:

EXCELLENT GOOD

FAIR DETERIORATED

BUILDING THREATENED?

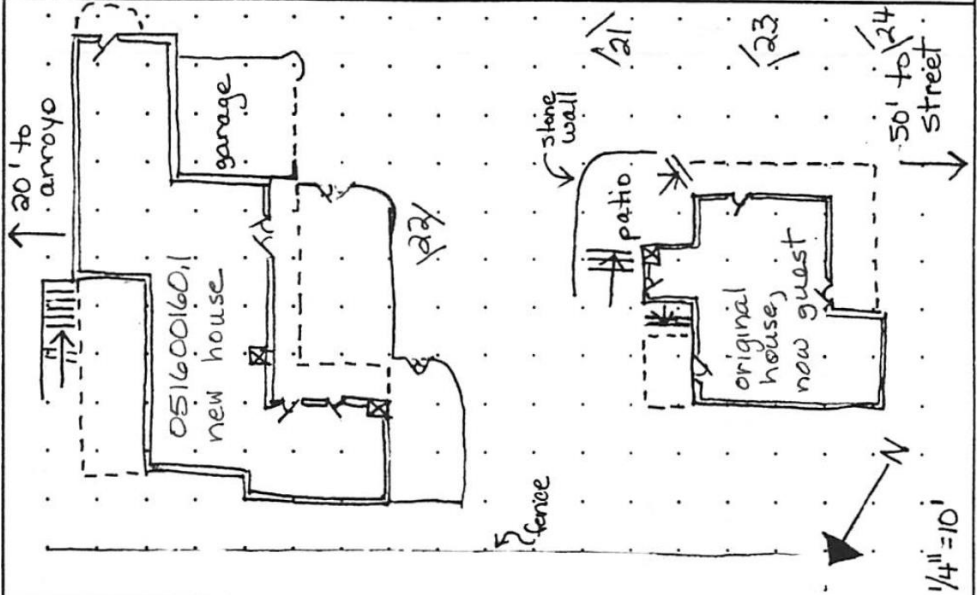
YES NO

PHOTO



#24 west elevation, original house

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?

YES NO ELIGIBLE

CONTRIBUTING NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?

YES NO ELIGIBLE

LOCAL DESIGNATION: Core HISTORIC DISTRICT

SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

LOCAL LANDMARK YES NO

SURVEYED 4/27/92 BY DB

NEGATIVES WITH NMHPD ROLL # DB2 NEG # 21 TO 24

"guest house" - was original house on lot

new residence

ARCHITECTURAL AND LANDSCAPE FEATURES	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
	BUILDING WALLS	stucco	stucco
	FOUNDATIONS	concrete	concrete
	DOORS	french, wood panel, french with sidelights	new wood panel, french
	WINDOWS	6/6 DFW, wood sills	4x4 and 6/6 DFW, new; new multi-light w/ false muntins
	PORTALES	south & west - chamfered posts, square beams, paved floor	west & south along courtyard - chamfered posts, tin roof
	CANALES	wood/metal	
	PORCHES	small raised porch on NE, approached by steps, with wood balustrade	small patio, SE, surrounded by stucco wall
	BALCONIES		
	ROOFS	flat with overhang that extends to form portal; wood & metal fascia	flat, slightly battered, straight parapet
	COURTYARDS		west, protected by stucco wall with wood gates
	FENCES/WALLS	stone patio wall	stucco courtyard wall
	ARCH. DETAILS	pedimented lintels	pedimented lintels with raised cornices
OTHER		large garage with wood plank doors	

COMMENTS New house at rear of lot is "textbook example" of the Territorial Revival style, much larger than original house.

ADDITIONAL PHOTOGRAPHS



#23 south elevation, original house



#22 east elevation, original house

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION

ADDRESS

641 Camino del Monte Sol

ID NUMBER

051600160

SURVEYED/RESEARCHED

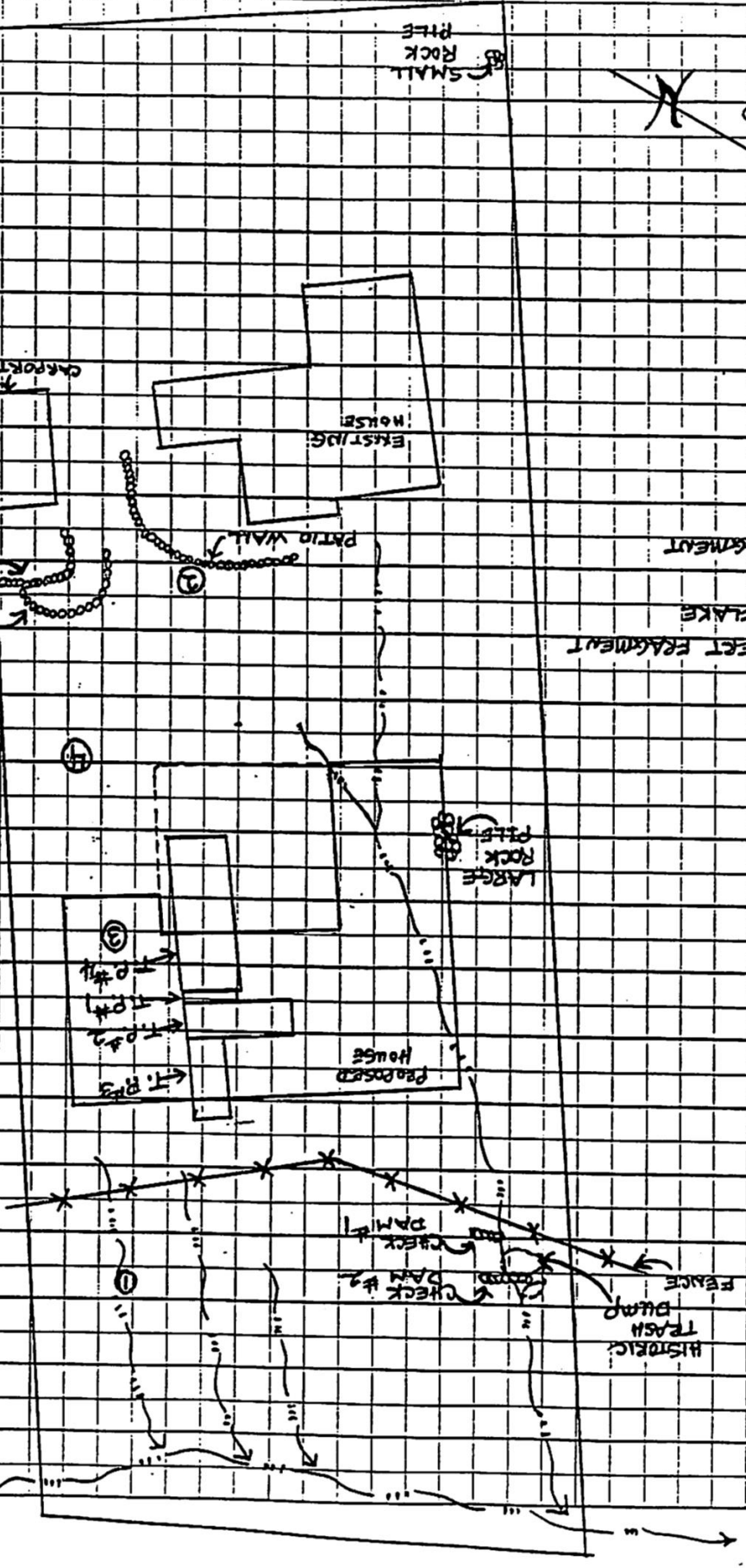
DATE 4/27/92 BY DB



#21 west elevation, new residence

641 C.D. Mat. Svc

ARROYO TIERRA
BLANCA



- ① PEDERNAL CRACK FRAGMENT
- ② QUARTZITIC FLAKE
- ③ PURPLE CRACK
- ④ SEA SHELL FRAGMENT

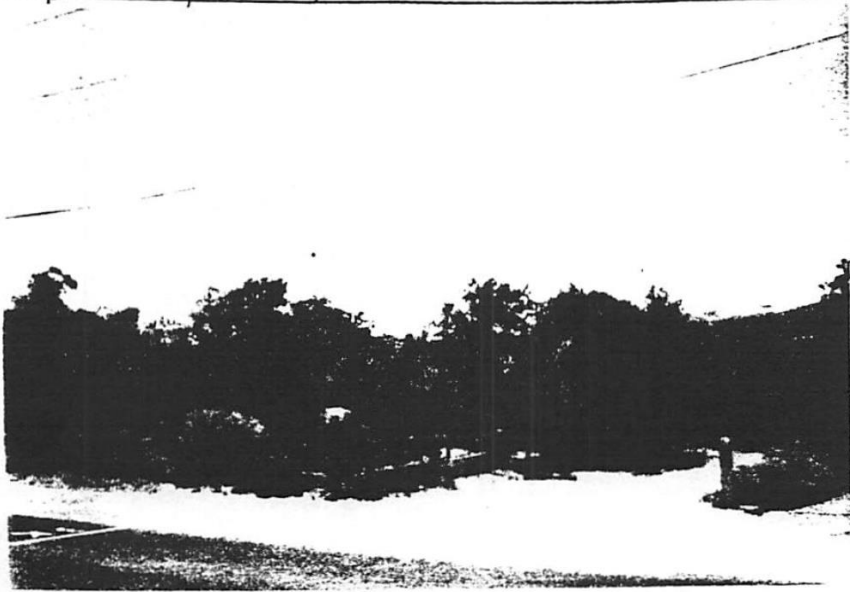
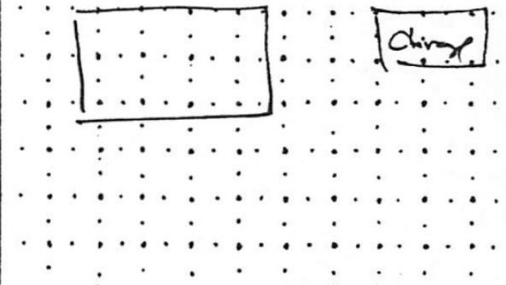
0 10 20 40
feet

Figure 3. Plan locating cultural resources

identified during survey.

From: Miles, Archaeology and Reconnaissance, May 13, 1990

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 12-6-83 by mb	county Santa Fe	ID no. 051600160
field map Santa Fe, New Mexico	number 1	UTM reference zone 12 13	easting northing
location description 641 Monte Sol		city/town Santa Fe	
		land grant/reservation	
building name		legal description tnsp 17 N R range 10 E sec 30 SW 1/4 NE 1/4	
film roll by mb no. 9	negative nos. 23 24	loc. of neg. HPB	plan shape
			
		date of construction Postwar estimate _____ actual source 1982 Directors	
		use present <u>residential</u> other _____ historic <u>residential</u> other _____	
		condition ____ excellent <input checked="" type="checkbox"/> good ____ fair _____ deteriorating	
style Territorial Moderne	foundation material N. Vis.	wall material/surface Stucco	degree of remodeling <input checked="" type="checkbox"/> minor <input checked="" type="checkbox"/> moderate _____ major describe: Redone by Bill Lumpkins
architectural features		surroundings Residential	
		relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
		district potential ____ yes <input checked="" type="checkbox"/> no	
		significance ____ eligible _____ of _____ <input checked="" type="checkbox"/> none if eligible, interest	
comments wall hedge wire fence <u>wood fence</u> land scape street trees stone curb O set back cequilia		why?	
		associated buildings? <input checked="" type="checkbox"/> yes what type? Change if inventoried, list ID nos.	
Remodeled by Bill Lumpkins		see back? _____ yes	

Streetscape



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant: Date Submitted: <u>5-15-23</u></p> <p>Property Owner of Record: <u>Leon and Susan Evans</u></p> <p>Applicant/Agent Name: <u>Lorn Tryk</u></p> <p>Contact Person Phone Number: (<u>505</u>) <u>470-0949</u></p> <p>Zoning District: <u>R2</u></p> <p>Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: <u>Historic Downtown/Eastside</u></p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input checked="" type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input checked="" type="checkbox"/> 30% slopes <u>Not Disturbed</u></p>	<p>Site Address: <u>641 Camino del Monte Sol</u></p> <p>Proposed Construction Description: <u>Garage and room addition, wall and gates</u></p> <p>TOTAL ROOF AREA: <u>7741</u></p> <p>Lot Coverage : <u>27</u> % <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: <u>49.4</u> Minimum: <u>7</u> 2nd Front? _____ Proposed Rear: <u>63</u> Minimum: <u>15</u> Proposed Sides: <u>L 5'-7" R 9'-7"</u> Minimum: <u>5</u></p> <p>Height: Proposed <u>24</u> Maximum Height: <u>24</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed <u>4</u> Accessible _____ Minimum: <u>4</u></p> <p>Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small></p>
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* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lorn Tryk

[OWNER APPLICANT AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

5-15-23

SIGNATURE

DATE

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval: <input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: <u>Stephanie Perera</u></p>	<p><u>2023-006916-PAR</u></p> <p>DATE: <u>5/26/23</u></p>
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

LORN TRYK ARCHITECTS, P.C.

May 15, 2023

Historic Design Review Board
c/o HPD Staff
City of Santa Fe
PO Box 909
Santa Fe, NM 87505-0909

Re: HDRB Application
Renovations and Additions to 641 Camino del Monte Sol

Greetings,

We are proposing renovations and additions to the main house at 641 Camino del Monte Sol. The property is located within the Downtown and Eastside Historic District.

The property consists of:

- A Non-Contributing 3614 s.f. Territorial style main house with a 254 s.f. basement built in 1990
- A 1495 s.f. Non-Contributing mixed style guest house built in 1954.

The property is a 28,584 s.f. parcel, zoned R2.

The following work is proposed:

1. Construct a new 677 s.f. garage attached to the main house, with wood painted garage door and side windows cased to match existing house.
2. Construct a 280 s.f. addition to the north side of the main house that expands existing office, studio and pantry space.
3. Expand the rear portal floor and roof area.
4. Add exterior fireplace to rear portal.
5. Relocate the stairs to the lower level to the northeast corner of the house.
6. Make modifications to existing windows at master bedroom and bath.
7. Construct a street wall of stuccoed CMU with an antique pedestrian gate to replace existing coyote fencing.
8. Reconstruct the auto gate closer to the street.
9. Create a brick walkway from the pedestrian gate at the street to the courtyard entry at the main house.

436 W. San Francisco St., Santa Fe, New Mexico 87501
505-982-5340 lorn@ltryk.com Fax:505-982-5393

Note that a previous addition to the main house of 231 s.f. was approved by the HDRB in April 2013 and constructed shortly thereafter.

Proposed additions will not increase the height of the existing house and will match the character and finishes of the existing house.

Proposed finishes are as follows:

Exterior Stucco:	STO Adobe Brown
Exterior doors and windows:	White aluminum clad wood
Exterior casing, posts and beams:	White painted wood.
Garage Door:	Behr "Breezeway"
Canales:	Galvanized steel lined wood, painted white.
Railings:	White painted wood.
Brick walkway:	Summit "Cedar Ridge"

Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Lorn C. Tryk", with a long, sweeping underline.

Lorn C. Tryk, Architect

Cc: Susan Coppage Evans
Leon Evans
Frank Yardman

Date
5/15/20
23
8:10:50
AM
3d
Views

Scale

AU
1

Basement -9'-0"
1 East - Existing
1/8" = 1'-0"

REINFORCE

First Floor 0'-0"

Basement -9'-0"
3 North - Existing
1/8" = 1'-0"

First Floor 0'-0"

EXISTING PORTA

EXISTING ADDITION

ADDITIONAL SPACE FOR PANTRY, OFFICE, STUDIO

NEW GARAGE

11'-3"

STAIRS

First Floor 0'-0"

Basement -9'-0"
2 East - Proposed
1/8" = 1'-0"

Basement -9'-0"
4 North - Proposed
1/8" = 1'-0"

STAIRS

First Floor 0'-0"

MATERIALS AND COLORS:
STUC CO: STU - ADOBE BROWN
WINDO WS: WHITE
POSTS AND BEAMS: WHITE
GARAGE DOOR: BEHR "BREEZEWAY"
BRICK WALKS: SUMMIT "CEDAR RIDGE"

5 West - Existing
1/8" = 1'-0"

NEW GARAGE

First Floor 0'-0"

7 South - Existing
1/8" = 1'-0"

NEW GARAGE

First Floor 0'-0"

Date: 5/15/2020 5:56 AM

NEW PLACE EXTEND PORTA AND FLOOR

Existing Plans for exterior or Elevations

6 West - Proposed
1/8" = 1'-0"

First Floor 0'-0"

8 South - Proposed
1/8" = 1'-0"

ENTRANCES

WINDOWS

First Floor 0'-0" Scale

1 Street
Wall
1/4" =
1'-0"

6 STUDDED CML WALL WITH
2 1/2" X 2" PEASERS

SHUTTERS
SHUTTERS

21/2" X 8"
DISTRESSED
21/2" X 8"
DISTRESSED

641

16 X 16 BRIGHT
IRON FIXTURES

14 X 6 WOOD GATE
DISTRESSED

First
Floor
0'-
0"

Date
5/15/20
23
8:10:58
AM
Elevation
at
Street

Scale
1/4" =
1'-0"

A-
7

