



# AGENDA

HISTORIC DISTRICTS REVIEW  
BOARD  
MARCH 14, 2023  
5:30 PM  
CITY COUNCIL CHAMBERS  
CITY HALL  
200 LINCOLN AVENUE

## PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Join on Zoom:** <https://santafenm-gov.zoom.us/j/81633973427>

**By Phone:** 301 715 8592

**Webinar ID:** 816 3397 3427

**Written Public Comment:** Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

1. February 28, 2023

**C. APPROVAL OF MINUTES:**

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2022-006106-HDRB. 805 Apodaca Hill.
2. 2022-005463-HDRB. 220 Rodriguez St.
3. 2023-006285-HDRB. 1122 E. Alameda St.
4. 2022-6112-HDRB. 50 Mt. Carmel Rd. San Juan Building
5. 2023-006284-HDRB. 208 and 208 A Gonzales Rd.
6. 2023-006287-HDRB. 350 Hillside Ave.
7. 2023-006286-HDRB. 1564 Canyon Rd.

**E. MATTERS FROM THE PUBLIC**

**F. STAFF COMMUNICATIONS**

**G. OLD BUSINESS**

**H. NEW BUSINESS**

1. 2023-006437-HDRB. 57 Old Santa Fe Trl. Downtown and Eastside Historic District. Non-contributing. Lisa Gavioli, agent for 57 Old Santa Fe Trail, LLC, owner, requests sign replacement and exceptions to 14-8.10 (H)(26)(a)(i) for exceeding 20 sq. ft. in area and letter height exceeding 20". (Heather Lamboy, [hllamboy@santafenm.gov](mailto:hllamboy@santafenm.gov))
2. 2023-006399-HDRB. 650 Canyon Rd. Downtown and Eastside Historic District. Douglas Maahs, agent for Patrick Rayes, owner, requests a status review for a shed located south of the existing contributing main building. (Ramón J. Sarason, [rjsarason@santafenm.gov](mailto:rjsarason@santafenm.gov))
3. 2023-006400-HDRB. 650 Canyon Rd. Downtown and Eastside Historic District. Douglas Maahs, agent for Patrick Rayes, owner, requests demolition of a shed located south of the existing contributing main building. (Ramón J. Sarason)
4. 2023-006283-HDRB. 501 San Antonio St., Downtown and Eastside Historic District. Non-Contributing. K.M. Skelly, Inc. agent for Doug Watkins, Owner, requests historic status review and primary facade designation as applicable. (Heather Lamboy)
5. 2023-006394-HDRB. 1147 ½ Camino San Acacio. Downtown and Eastside Historic District. Non-Contributing. Will McDonald, agent for George Johnson, owner, requests a historic status review. (Heather Lamboy)
6. 2023-06359-HDRB. 1170 Camino Delora. Downtown and Eastside Historic District. Jeffery Seres, agent for David Lake, owner, requests an addition of 507 sq. ft. for living room and rear entry on a non-contributing property. (Ramón J. Sarason)
7. 2023-006393-HDRB. 303 E. Alameda St. Downtown and Eastside Historic District. Non-Contributing. Khea Lim, Lloyd & Associates Architects, agent for Joe Schepps, Owner, requests the addition of an

elevator on the north elevation. The proposed height is 32'4", which is greater than the maximum allowable height is 16'3". An exception is requested to Section 14-5.2(D)(9) to permit a 32'4" addition to the existing 28'4" building. (Heather Lamboy)

**I. DISCUSSION ITEMS**

**J. MATTERS FROM THE BOARD**

**K. NEXT MEETING: Tuesday, March 28, 2023**

**L. ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.**

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**HISTORIC DISTRICTS REVIEW BOARD**  
**FEBRUARY 28, 2023**

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**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
FEBRUARY 28, 2023 – 5:30 PM**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:34 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

**A. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Ms. Cecilia Rios, Chair  
Mr. Anthony Guida, Vice Chair  
Ms. Madeleine Aguilar Medrano  
Ms. Jennifer Berkley  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu

**MEMBERS ABSENT (EXCUSED)**

Ms. Flynn G. Larson

**OTHERS PRESENT:**

Ms. Heather Lamboy, Assistant Land Use Director  
Mr. Frank Ruybalid, Assistant City Attorney  
Ms. Melissa Byers, Stenographer

**NOTE:** All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

**B. APPROVAL OF AGENDA**

**MOTION:** Member Guida moved, seconded by Member Biedscheid to approve the agenda as submitted.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

**C. APPROVAL OF MINUTES:**

1. February 14, 2023

Member Aguilar Medrano, asked to change page 11, last paragraph, second to the last sentence to read: "*The applicants are claiming it does not have enough space to function as a residence and yet their plans....*"

Member Bienvenu said on page, 11, middle paragraph, beginning with the sentence "He felt certain if this had come before the Board for designation..." to add: "with the additions now proposed..." And on page 15, in the motion, after the semicolon should read: "...and finding that the three exception criteria have not been met...."

**MOTION:** Member Guida moved, seconded by Member Aguilar Medrano to approve the minutes of February 14, 2023, as amended.

**VOTE:** The motion passed by (4-0-1) roll call vote with Members Aguilar Medrano, Biedscheid, Bienvenu and Guida voting in favor, none voting against and Member Berkley abstaining.

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2022-004458-HDRB. 111 Delgado St.
2. 2022-006110-HDRB. 50 Mt. Carmel Rd.
3. 2022-006111-HDRB. 50 Mt. Carmel Rd.
4. 2022-006237- HDRB. 346 Hillside Ave
5. 2022-006214-HDRB. 608 ½ Camino de La Luz
6. 2022-006060-HDRB. 1160 Camino de Cruz Blanca

**MOTION:** Member Guida moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law as submitted.

**VOTE:** The motion passed by (4-0-1) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Guida voting in favor, none voting against and Member Bienvenu abstaining.

**E. MATTERS FROM THE PUBLIC**

Rick Martinez, 725 Mesilla Road, said he came to ask the Board for help regarding the acequia that was destroyed. He has requested several times from staff

to get the minutes and development plan. He has received nothing. The Acequia de los Pinos is completely destroyed. Neighbors have asked for help and are not receiving any. Excavation started in October, and he called in February. He asked the Board to ask staff to help so the neighborhood knows the next steps.

Chair Rios asked what authority oversees the acequias.

Mr. Martinez said Phil Bove is the mayordomo.

Ms. Lamboy said staff has investigated this and she hasn't been able to get the ARC (Archaeological Review Committee) packet to Mr. Martinez. ARC reviewed the acequia and the concerns about its preservation. Staff plans to go out to the site and will present their findings to the ARC on Thursday, March 2, 2023.

Mr. Martinez said a report from ARC on June 7, 2018 said all resources should be avoided during development activities. The Pulte developers should never have done this, and it should have been a red flag a long time ago.

Chair Rios said Mr. Martinez indicated a portion of the acequia is destroyed.

Mr. Martinez said it is in the middle of the property. He isn't getting any help to be sure this is redone.

Ms. Lamboy said staff has studied this issue and made the Chair of ARC aware of the issue. Pulte has been asked to provide solutions to present to ARC. The inspections are handled by another division, and she wasn't aware the City engineer was talking with them about the issue. This came to her attention when Mr. Martinez called her.

Mr. Martinez added this is not on the ARC agenda for this week.

Ms. Lamboy said it will be under Staff Communications.

Chair Rios said she hopes this will move in the proper direction. She said unless the project came before the Board, the Board cannot do anything.

Mr. Martinez said he realizes that but is looking for help.

Ms. Lamboy said she met on site last week with Taylor Pardue, another concerned neighbor, and Paul Duran, an archeologist who will help with the conversation with ARC.

Mr. Martinez asked if the public could possibly be included in the site visit.

Ms. Lamboy said she could arrange that and will call him.

Stefanie Beninato said she wanted to continue to talk about Resolution 2009-20 referred to by Attorney Ruybalid on voting on boards. She read from the resolution and noted there is no reference to *voting members* in that and it is not about the *number* of members necessary. She read further language from the resolution and said the board has voted at least three times where a majority of members were not voting. She sees it as a procedural problem that can be challenged.

## **F. STAFF COMMUNICATIONS**

Attorney Ruybalid said at the last meeting the question came up about restoration of the Obelisk on the Plaza, and whether that would be brought to the HBoard. He and Erin McSherry, City Attorney discussed that, and she indicated there is no plan to present it to the Board. There is no specific design yet and the decision is in the intermediate phase. Carol Romero Wirth and other Councilors and the mayor, have sponsored a resolution to address the Plaza monument. The resolution directs the city manager to take the next steps based on the recommendations of the CHART (Culture, History, Art, Reconciliation and Truth) report. The resolution has been introduced to the Governing Body and has gone through a number of committees. It will go to Public Works on March 6 and be presented to the Governing Body on March 8, 2023. For those who want to be heard on this matter, people should attend the March 8<sup>th</sup> hearing or contact their councilor directly. The resolution directs the city manager to hire people for specific proposals on the redesign and reframing of the obelisk and to recommend a budget for an Equity Inclusion office.

Member Bienvenu said his question was whether the City's position had changed. The Board's understanding is previously that this would come before the Board before decisions. He thought this is an incorrect interpretation of the Code that specifically provides that no alterations, demolition, or new construction shall take place in this district within the public's view from a public street before coming before the Board. He said anyone dissatisfied with the decision will have an appellate issue and is not adequate to say we can make our voices heard because we would then be speaking as individuals. The process is designed to come through normal procedures to the Board as a whole, with staff recommendations.

Attorney Ruybalid said Member Bienvenu could talk with Ms. McSherry.

Member Bienvenu said in the long run perhaps it is a moot issue. The final decision should be made by the Governing Body.

Ms. Lamboy wanted the Board to know that the Historic Preservation staff had no input on the issue and she had learned about it from the newspaper.

She noted that Carly Piccarello is online to speak as staff.

Ms. Piccarello said she has had the great privilege of serving the community and working with the Board the last year and a half. She realized in the last few months of maternity leave, how grateful she is to spend time with her new son. She has made a difficult decision to resign from her position. She said the Board is in wonderful hands with Ms. Lamboy and she will find a good replacement. She wanted to announce her resignation publicly and say how grateful she has been to work with them.

Chair Rios said this is a surprise, but she understands. She thanked her for her service and her service with the City. She said Ms. Piccarello is a very competent person, and she believes she is speaking for the rest of the Board that we have enjoyed working with her and wish her the best with her family.

Member Bienvenu seconded the chairs comments and said they appreciated everything she did. Ms. Lamboy thanked Ms. Piccarello and said that she had been very helpful and staff wished her the best.

Chair Rios asked Ms. Lamboy to introduce Paul Duran.

Ms. Lamboy said Paul Duran started this week and has worked in the Water Department as an archaeologist. He also has a lot of experience with grant writing and worked with Homewise and others in New Mexico.

Mr. Duran said he is from Santa Fe and excited to be here. He loves his job as an archeologist in historic preservation. He said he is here for the City and the community and will do what is needed.

## **G. OLD BUSINESS**

Chair Rios explained the appeal process for those who do not agree with the decisions of the Board. She limited public speakers to two minutes.

1. **2022-006113-HDRB. 50 Mt. Carmel Road.** Lisa Gavioli, JenkinsGavin Design, agent for the Modern Elder Academy, proposes a 5' masonry yard wall with pilasters and metal gates at the west entrance to the Modern Elder Academy campus, adjacent to the Fatima Building. (Heather Lamboy)

Member Aguilar Medrano recused herself from the case and was given the option to stay in the room and listen.

## **STAFF REPORT**

### **Resubmittal for the 2/14/2023 HDRB:**

The applicant has redesigned the wall in response to comments made at the January 24, 2023 HDRB meeting. The two issues that were discussed related to the design and material of the vehicular gate as well as the height of the yard wall and gate.

In response to the concerns that were raised, the applicant has redesigned the proposed wall and gate. The height of the yard wall has been lowered to 4'6" from 5'. The pilasters have been widened and are 5'6" and 6'6" tall. The proposed metal gate has been reduced from 7'6" to 6'.

Furthermore, the pilasters have been refined and provide a more gradual step up to the vehicular gate. As illustrated in the drawing, the lower wall and gate provides for a more prominent view of the Chapel beyond.

Relative to height, in this case, as the proposed wall is not located on a public right-of-way, Section 14-5.2(D)(9) applies, where within the 300' diameter, the way may be no higher than the tallest wall. The tallest wall is over 9 feet. The underlying zoning and use permits a height of 8 feet. As set forth in Chapter XIV, the stricter provision applies. The proposed 4'6" wall, and corresponding 6-foot gate, are all below the maximum height for this site.

Photographs of the inspiration for the gate design has been provided. The applicant states that the gate will have a custom "layered antique finish."

**From January 24, 2023 Staff Report:**

The Modern Elder Academy is proposing to change the existing Mt. Carmel auto-oriented campus to a pedestrian-oriented campus; where roads exist in the center of the campus adjacent to the Fatima, Chapel, San Miguel and Santa Maria buildings and in front of the San Juan building will be converted into pedestrian walkways and landscaped areas. The applicant proposes innovative stormwater management through the construction of "acequias" that traverse the site.

The applicant submitted a tree preservation plan, and landscape plan, a site plan and elevations. The applicant states that the yard wall and gate were carefully designed to not impact the view of the Chapel's mural. The yard wall be free-standing and will not touch any existing historic building (Fatima and the Carmelite building).

A utility easement crosses the site in an east-west direction, and the applicant has designed the landscape in a manner that utility repair vehicles can access that core area.

Staff requested a material sample of the proposed metal gate; the applicant responded that the sample will be provided at the HDRB meeting. Staff requests that the board

review the proposed gate to determine whether it is consistent with the Historic Review District design standards.

### **STAFF RECOMMENDATION**

Staff recommended approval of the proposed yard wall and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, Section 14-5.2(D)(9) Height Standards, and 14-5.2(F) Historic Review District Design Standards.

Staff defers to the HDRB regarding the proposed metal gate and whether it complies with Historic Review District standards.

### **APPLICANT PRESENTATION**

Lisa Gavioli, 130 Grant Avenue, was sworn. She passed around material samples for the Board's review. She showed the view of the main entrance and noted the entry drive and the curve to the north. The plan view remains unchanged but they will reduce the pilaster width and have made a minor change to the pilaster width to be more in scale. She noted the reduced design and said the highest pilaster is 6'6", and the adjacent wall steps down to 4'6" with a maximum height of 6 feet for the primary gate. She reminded them the gate design was inspired by John Gaw Meem and he used it commonly in his work. A detailed rendering of the gate and a 3-D mockup was shown. The material will be antiqued steel, not just a flat surface with the goal that it blend as much as possible to the historic elements and property.

Member Guida thanked her for the samples and renderings. He asked what material would be used for the pedestrian gate.

Ms. Gavioli said it is the same material. She confirmed it will also have the same raised panel design.

Chair Rios said she thought this is a better solution.

Member Bienvenu said he finds the wall acceptable, and glad they reduced the height of the gate. He noted the privacy gate is about 6 feet high and fits the character of the property, but it was unfortunate it was straight across the entryway. The major problem he has is the material and the lack of fenestration. He didn't know how the chapel could be visible above the gate. He thought from any approach and mode of transportation the gate would block the entire door from view. He said the fence guideline suggests it is better to have fenestrated gates. If it has to be solid it should be made of wood or steel/metal frame with wooden elements. The metal is completely inconsistent with anything else on the property.

Ms. Gavioli said the drawing was made based on elevations from a survey. She said a two-dimensional drawing will never be an exact representation. They have studied the view shed extensively to determine if alterations were needed to the design. She showed different views looking towards the Chapel. She said she knew of numerous examples of metal gates and this material is not inappropriate. The Board themselves had already approved metal gates elsewhere on the property.

Chair Rios asked if she wanted to comment on the reference to fenestration.

Ms. Gavioli said their preference is no fenestration. It diminishes the purpose of providing privacy. She said she wanted to correct her statement in the last meeting; this is a closed campus, but the gates will be open during special events when the public is invited. She said that is to not only provide privacy for retreat guests but help separate the uses between the Carmelite Monastery because they enjoy strict privacy.

Chair Rios asked the width of the gate and the pilasters.

Ms. Gavioli said the gate is 20 feet for emergency access. The pilaster was reduced from 5'6" to the 4'2 inches proposed.

## **PUBLIC HEARING**

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn. She supported the comments about the need for fenestration. She said it [the gate] is massive looking and the panels could be open. She asked where the other Board approved metal gates are on campus. Also she thought the pedestrian gate should have fenestration and for pedestrian safety consider pedestrians having a view of where they are going.

Adam Johnson, PO Box 1055, Santa Fe, was sworn. He said he has followed the project for a long time. As director of Old Santa Fe Association, he was invited to the campus by the Modern Elder and is impressed with their proposed renovations. The wall and gate were significantly improved. He liked the elevations and viewshed drawings and thought those okay. He said the gate will resonate with the proposed grating that will be on one of the building windows. He said the way the site lays allows a view into it.

## **BOARD DISCUSSION**

Member Biedscheid said she appreciates the applicant reconsidering the height. She thought the preference was for the 5'6" wide pilasters...

Ms. Gavioli noted that the applicant's preference is the 4'2" width.

Member Biedscheid said in the last hearing it was stated that there was a need to balance gate width with the height. She asked if the pilaster width was specified in the drawings.

Ms. Gavioli said it is 4'2" and the drawing is to scale but not dimensioned. She offered to submit revised drawings if needed.

**MOTION:** In Case #2022-006113-HDRB, 50 Mt. Carmel Road, Member Guida moved to approve the project as submitted noting that the pilaster width is proposed at 4'2" on the wall and the applicant will submit revised drawings to staff. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (3-1) roll call vote with Members Berkley, Biedscheid and Guida voting in favor and Member Bienvenu voting against.

#### **H. NEW BUSINESS**

1. **2023-006286-HDRB. 1564 Canyon Rd.** Downtown and Eastside Historic District. Non-contributing. PPC Solar, agent for Kate Lopez, owner, proposes to install two solar arrays consisting of 8 panels on existing casita's roof and 12 panels as part of a new ground-mounted structure 8' tall. (Angela Schackel Bordegaray)

Member Aguilar Medrano returned to the meeting.

Ms. Bordegaray said that the applicant was not present.

**MOTION:** Member Guida moved to hear case 2023-006286-HDRB later in the agenda. Member Bienvenu seconded the motion.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

2. **2023-006281-HDRB. 239 Johnson St.** Downtown and Eastside Historic District. Contributing. Christopher Purvis, agent, for Kevin Abrams, owner, proposes to install ramp and door alteration. (Angela Schackel Bordegaray)

## STAFF REPORT

239 Johnson Street is a one-story 5,590 square foot multi-use commercial building at the southwest corner of Johnson and Chappelle Streets. It is designated contributing to the Downtown and Eastside Historic District. Per the applicant's commissioned historic building survey form, (HCPI) its earliest portion dates to the 1880s and is a conglomeration of historical additions based on Sanborn maps from 1902, 1930, 1948, and 1958. It was built in the typical accretive Northern New Mexico vernacular manner that evolved and appears today as Pueblo-Spanish Revival Style. The early front portions are brick, which match other Territorial brick structures on Johnson Street. Historic rear additions are constructed of adobe. It features a flat roof and metal-lined canales and a mix of original 2-over-2 double hung wood windows with bull-nosed lintel detail and 4' by 3' metal casement windows with a fixed center pane. In recent years, metal bars were added to all windows.

The building currently houses offices and, at one time, a nursing home and restaurant. It has head-in parking at the south end of the west façade. A bookstore inhabits the south portion of the building. In a 1986 board case, the Georgia O'Keeffe Museum proposed to demolish the building for parking for the museum, but the case was later withdrawn as other arrangements were sought.

The board reconfirmed its contributing status and designated west elevation façade #1 and south elevation facades #2, 3, and 4 primary facades at the January 10, 2023 hearing (Case 2022-00).

Now, the applicant returns to the board to:

1. Add an accessible ramp to run north-south on the west primary façade, and;
2. Widen the existing north elevation door frame and add a larger door.

Both changes are to bring the building into conformity to Americans with Disabilities standards.

The wheelchair access ramp's slope will be 1:14, one inch elevation change for each of the 14.' The *unattached* ramp will have a 9" separation from the west primary façade and extend across a portion of west elevation from the portal entry to parking area. The ramp will have a dark red brick surface with wrought iron vertical members painted dark brown.

The north elevation (east end) door will be removed and the opening widened to 36." The north elevation is not a primary façade.

### **STAFF RECOMMENDATION**

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

### **APPLICANT PRESENTATION**

Christopher Purvis, 518 Old Santa Fe Trail was sworn. He had nothing to add.

### **PUBLIC HEARING**

Stefanie Beninato, previously sworn, said the drawings are hard to see and the differences in the north elevation doors are not noticeable. Also, the ramp going into the building looks like it is longer than it is and she hoped the Board would ask the dimensions since they are not stated.

### **BOARD DISCUSSION**

**MOTION:** In Case 2023-006281-HDRB, 239 Johnson St., Member Guida moved to approve the project as submitted. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, and Guida voting in favor and none voting against.

3. **2023-006352-HDRB. 408 Camino del Monte Sol.** Downtown & Eastside Historic District. Contributing. Christopher Purvis, agent for Bruce Stocks, owner, requests primary elevation designation and status review. (Ramon Sarason)

### **STAFF REPORT**

408 Camino del Monte Sol is a single-family residence located in the Downtown and Eastside Historic District. The house is listed as contributing to the district. The applicant is requesting the designation of primary elevations.

The house was built in 1924 and is constructed in the Pueblo Revival style. This house, among other houses along Camino del Monte Sol, the house is one of the examples that exemplifies the inception of the "Santa Fe Style."

A significant number of twentieth century artists lived in and contributed to the style of the Camino del Monte Sol streetscape. Among the artists contributing to the art and

architecture of Santa Fe and the Camino del Monte Sol neighborhood is the former owner of the house, Frank Applegate.

According to the 1991 Historic Building Inventory, the house was designed by John Gaw Meem's architectural partner Hugo Zehner. The second story of the home was added by Frank Applegate in the 1920s.

Aspects of the house that define the house's style include the stuccoed exterior, the battered walls and parapets, corner buttresses, and exposed lintels. The walls along the street frontages were constructed after 1983.

### **STAFF RECOMMENDATION**

Staff recommends that the North Façade (Façade 1) and the East Façade (Façade 8) elevations as primary.

Chair Rios asked if the main entrance is on Camino del Monte Sol.

Mr. Sarason said no, he couldn't find the original entry when looking at the history. Some suggested it was to the south because the neighboring building was similarly oriented.

Member Aguilar Medrano asked for clarification as to whether research ever found a recommendation for this to be significant. She was confused by the listing.

Mr. Sarason said he isn't sure where that came from, but it is listed as contributing.

Ms. Lamboy added it was possibly from the Camino del Monte Sol study from the National Register nomination. The significant status was never adopted.

Chair Rios asked the description of the south elevation and glazing. She said it seemed contrary to the rest of the house.

Mr. Sarason thought the sunroom was from the 70s or early 80s.

Member Berkley said on the south elevation, it is consistently seen as something done in the 70s. She asked if staff wanted to comment that this was starting to feel historic.

Mr. Sarason said he would defer to the Board, but you do see adaptations from that period. This is unique because it is tucked away to the south and you don't really see it from the street.

Member Guida said he likes the addition. The HCPI suggests the addition may have been done in 1983. That date makes sense, and they know there are buildings from this period that speak to that movement and was important in the southwest and to Santa Fe. He said because they are not at 50 years, he would advocate for the Acequia Madre façade as primary.

Member Bienvenu said he thought the issue is whether this should be a significant structure, not just a façade designation. This as one of Frank Applegate's original efforts to create this style in the 20s which is significant and an amazing example of that. He thought the back is beautiful but wasn't sure it is significant or is historic. He said the issue of significance is if it maintain a high degree of historical integrity. He thought the packet indicated the answer is no. He wanted to hear from the applicant about the changes made and what evidence there is, as opposed to speculation. He thought if there wasn't enough information the case might need to be deferred for a HCPI.

### **APPLICANT PRESENTATION**

Christopher Purvis, previously sworn, responded to Member Bienvenu that the two HCPI's give the current history of the building. It is a two-story structure and designating the north and east elevation makes sense because it has looked like that for over 50 years. All of the windows were changed in the 80s but massing stayed the same. The second HCPI references a sunroom that was enlarged. That is where he believes the solar addition was pushed out and the glass was changed. He said he has a picture of a light manufactured in 1986 and cannot believe the wall was done any other time than in the 80s.

Member Bienvenu asked if there were drawings, photos, etc. of changes to the sunroom.

Mr. Purvis said no, the HCPI only addresses the north elevation in the 80s. He said inside the house it feels like it was remodeled in the 1980s. A reference in the 1991 HCPI makes him say that.

Member Bienvenu asked Mr. Purvis what he thought the south façade looked like when Frank Applegate added the second story, before the push out.

Mr. Purvis said it is a two story space now and he doesn't think that was the way it was. It is a modern space inside. There was a garage on the Acequia Madre side and then French doors closed it off. A front door faces Monte del Sol but parking is all on Acequia Madre and people come in through that gate.

Chair Rios said he mentioned the windows were changed. She remembers there was a lot of renovation that took place and there was no wall. She asked if the openings of the windows were changed.

Mr. Purvis said a little; they shrunk one and lengthened one, and possibly made them a little wider. The windows were made to fit the new manufactured windows.

Chair Rios asked the color of the windows, because she thought they were darker.

Mr. Purvis said he didn't chip at the windows, but the renovations were significant.

### **PUBLIC HEARING**

John Eddy, 14 Avenida Campo Verde was sworn in. He remembers the house in the 80s and agreed a lot of changes happened. He thought the massing is what is important, and they could argue the house should be significant because of Frank Applegate. He said he doesn't think that it is significant because of the number of alterations but is grateful the Applegate's history is tied to this building and recognized.

Stefanie Beninato, previously sworn, said staff recommendations for the primary façades should be followed. She thought the addition on the back could have been approved but cannot really be considered significant. A lot was changed to make it more custom.

### **BOARD DISCUSSION**

Member Bienvenu said he believes this building is significant, but the record does not support significant status today because of the alterations. It no longer has the high level of historic integrity required under Code for significant status. And significant status would mean every façade is primary and that does not make sense.

**MOTION:** In Case 2023-006352-HDRB, 408 Camino del Monte Sol, Member Bienvenu moved that status remain as contributing and the entire north and east façades be designated as primary, excluding the non-historic windows but including the window openings. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

4. **2023-006284-HDRB. 208 & 208 A Gonzales Rd.** Downtown and Eastside Historic District. Non-contributing. Nurit Walsky, owner, proposes to add 329 sq.ft. to an 200 sq.ft. existing casita and add 566 sq.ft. to 1,708 sq.ft. main house, coyote fencing alterations, and landscaping. (Angela Schackel Bordegaray)

## **STAFF REPORT**

208 Gonzales Road is a Spanish-Pueblo vernacular dwelling with an unknown specific building date. It is non-contributing to the Downtown and Eastside Historic District. Santa Fe County records from 1960 show a blurry L-shaped home with a smaller footprint than the current house. The original footprint was likely 919 square feet with 368 square feet additions made sometime after 1961 and in the 1970s. The property has two structures: the 1,287 square foot main house and a 220 square foot casita. The main house has 18' thick adobe bricks and frame construction. The casita is frame construction with a sloped roof and stuccoed to match the main house. The house and casita sit on a third-acre lot which is one of eight properties originally occupied by the Garcia family, several of whom still reside in homes nearby. It backs up to Lorenzo Lane.

The HDRB approved a remodel in 2011 (H-10-0014) that has expired. The applicants have replaced all doors and windows as part of that case and now return to the board for the following changes:

### **Main House**

1. Add 566 square feet at the northeast corner. Its style matches that of the existing house and casita with flat roof, rounded corners and parapets. New doors and windows will match the existing of the main house, Sierra Pacific wood clad casement with divided lites. Its height will match existing, with the southwest façade inset entry façade at 19' at its highest point that matches the height of the rear northeast elevation at 15' due to the 4' slope along the building's footprint from southwest to northwest. The northern portion of the addition will fill in the existing portal.
2. The parapet above the southwest elevation entry double doors will be changed from an angled façade to a flat roofed parapet with exposed vigas. The entry will have a small courtyard with two stepped Spanish-Pueblo walls on each side with an arched wooden gate. New, thicker hand-stripped vigas will be used for the roofs; the ends will protrude from the wall on the west elevation.

### **Casita**

3. Add 329 square feet to the 220 square foot casita continuing with the flat roof in the vernacular style and adding exposed vigas. Two multi-paned divided lite

windows will replace the existing two aluminum sliding units. The door will be moved to the east side of the addition.

### Fencing and Landscaping

4. Replace the existing flat pine fencing on the southwest side to coyote fencing to match the coyote fencing along the south and west elevations.
5. Add 4' tall adobe walls at the east and west sides to define the outer edges of the main house and casita. The walls will taper to a shorter scalloped, stepped shape.

The casita and main house additions will have new doors and windows to match the existing main house: wood clad casement with divided lites, Sierra Pacific manufacturer. All stucco will be "Buckskin."

### **STAFF RECOMMENDATION**

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked if fencing is part of the project.

Ms. Bordegaray said they plan to replace the existing flat pine fencing and make the coyote fencing match on the south and west elevations. And they want to add a 4 foot adobe wall to define the outer edges of the casita and main house. The stucco will be El Rey Buckskin.

Member Aguilar Medrano asked if the portal would be enclosed.

Ms. Bordegaray pointed out the portal in the upper left where the addition will go. She said it will fill in most of the portal.

Member Aguilar Medrano asked if an exception would be required.

Ms. Bordegaray said that applies to significant and contributing structures in Code and they could discuss that further. The Board has approved cases of non-contributing buildings with in-filled portals.

Member Aguilar Medrano said she looked at Code for a different case earlier. Her interpretation was status did not matter on portals being enclosed.

Attorney Ruybalid said this issue is complex, but in Subsection D of 14-5.2 applicants have indicated because of a preface in the Code, that D applies to contributing, landmark, etc. structures. However, Subsection 2, C(4) says all

development subject to 14-5.2 shall comply with Subsection D, as well as specific standards E through I. He concluded that there are special restrictions to contributing structures that apply to all structures. He noted this is an addition not just an enclosure and the Board will have to consider if Subsection (4) applies.

Member Aguilar Medrano said she asked because she thought it would come up again tonight. She confirmed that Attorney Ruybalid interpreted that Code only applies to contributing or significant structures.

Attorney Ruybalid said his interpretation is that *all* structures shall comply with D unless specific that it only applies to significant, landmark etc. structures. He said D4 does not say it only applies to significant structures but reads *existing porches or portals shall not be enclosed*. That does not mean an exception criteria cannot be applied.

Ms. Bordegaray said the site plan showed the addition on the main house and northwest addition. She said this is not an enclosure of a portal; it is an addition to a building that is non-contributing with no primary façades.

Member Aguilar Medrano said she just wanted to be consistent.

Chair Rios said the ordinance has a lot of sections that are vague or in conflict with one another.

Member Guida said it is clear this is not an enclosure, it is a replacement of a portal with an addition. Chapter 14 gives the Land Use director and staff authority to interpret Code. The question is valid, but the City Attorney's office is not in charge of interpreting Land Use Code. He said this type of question should be directed to Land Use staff as the ones who review the cases and regularly interpret code and assist the Board in making decisions.

Chair Rios said she disagreed. She said they have an attorney who represents the City. That is his job to interpret the law.

Member Guida said it is the Land Use authority's job to interpret the Land Use code. The City Attorney can provide clarification to a particular legal issue.

Attorney Ruybalid said there are lot of rules that apply to statutory interpretation, which includes Code interpretation. He is trying to resolve what is otherwise conflicting provisions and is giving his advice. He is only trying to avoid creating a precedent from the Court of Appeals that would restrict or hinder the Board from applying the Code.

Chair Rios said in the past when there was an enclosure to a portal and the building is not designated significant, it had less restriction to a portal being enclosed.

## **APPLICANT PRESENTATION**

Mark Defrancis, 208 Gonzales, was sworn in. He noted that the existing portal will be removed and replaced and there will be a new addition.

Member Guida said he understands that the shed roof on the main mass of the house will be flattened. The highest point will be lower and there will be a step detail over the entry.

Mr. Defrancis said it has an 80s kind of angle. They want to make it straight up with steps on the side.

Member Guida said given the nature of the building, he sees this as a contrived detail and makes the entry fancy to what is a modest house. He asked if the applicant was open to simplifying the step detail, possibly eliminating the faux storefront.

Mr. Defrancis said if that would please the Board they could.

Member Biedscheid said she had the same concern. She thought the entry was nice and does not need to step back.

## **PUBLIC HEARING**

John Eddy, previously sworn, said the question to the assistant attorney was appropriate. He said he is grateful Attorney Ruybalid is present to guide the Board. He understands that the board does have discretion based on adequate consultation with the attorney, to interpret Code in the way they see fit. He agreed the entry way and enhanced parapet is a better plan.

Christopher Graser, 222 Gonzales Rd., was sworn. He lives next door to the property and fully supports the proposed additions and modifications. It will make it more attractive with the neighborhood and he favors getting rid of the 1980 details. He is a land use attorney. He said it is clear to him the Board has authority to interpret Code and to allow removal of the portal, and there is no reason to keep it. Code requires keeping details that maintain historic integrity. He encouraged the Board to approve the application.

Stefanie Beninato, previously sworn, said changing the parapet at the entry will make it better. And she agrees the attorney is there to give advice and the Board's decision should be based on the City Attorney 's advice. If the Board ignores that advice, they should at least address the reason why. In this case, she thought it clear that the portal will not be enclosed.

## **BOARD DISCUSSION**

Member Berkley thanked the applicant for hanging in there all these years after approval.

**MOTION:** In Case 2023-006284-HDRB, 208 & 208 A Gonzales Rd., Member Guida moved to approve the application as submitted with the following adjustments: the parapet over the front entry of the main house be limited to no more than 13 feet high and the stepping detail eliminated, and the applicant is to update the drawings for final approval. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

5. **2023-006359-HDRB. 1170 Camino Delora.** Downtown and Eastside Historic District. Non-Contributing. Jeff Seres, agent for David & Ellen Lake, owners, requests status review. (Ramon Sarason)

## **STAFF REPORT**

The main house of 1170 Camino Delora appears to date to c. 1947. It is a stucco-clad, single story residence exhibiting a mixture of Territorial and Spanish-Pueblo Revival elements. During the 1960's the house experienced a reorganization of its interior spaces, including converting the garage into a living room and the entry portal into a bedroom. These alterations, along with the removal of original windows resulted in its noncontributing status to the Downtown and Eastside Historic District. The main house on this site turns its back to the street with a long wall of minimal fenestration. Windows are generous at the back of the home, with a long portal framing views of Cerro Gordo and the Sangre de Cristo mountains. Composed of adobe, it encloses roughly 1,739 square feet. Also on the property are a small studio, guesthouse (casita), pool, and landscaping. Further information on history and building description is included in the attached HCPI.

## **STAFF RECOMMENDATION**

Staff recommended the Status remain as noncontributing.

## **APPLICANT PRESENTATION**

Jeff Seres, 122 Lorenzo Road, was sworn. He said he and the owners agree with the new HCPI and with staff's recommendation for the main residence to remain noncontributing. He said John Murphy was available on Zoom if there were any questions on the HCPI.

## **PUBLIC HEARING**

There were no public comments.

## **BOARD DISCUSSION**

**MOTION:** In Case 2023-006359-HDRB, 1170 Camino Delora, Member Biedscheid moved to retain noncontributing status of the house. The motion was seconded by Member Guida.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, and Guida voting in favor and none voting against.

6. **2023-006360-HDRB. 502 Cerrillos Rd.** Historic Transition District. Noncontributing. K.M. Skelly, Inc., agent for Deborah Olinger, owner, proposes to enclose 84 sq.ft. portal on a 3,544 sq.ft. building, raise parapet heights (none to exceed maximum allowable height of 14'- 3"), add patio area with trellis, increase yard wall heights to 4'-3" and to 4'- 6" (within maximum allowable height for this streetscape), and window and door alterations. (Angela Schackel Bordegaray)

Attorney Ruybalid said some legal issues were discussed and not everyone is on the same page as to how they would be resolved. He thought it beneficial to take a brief recess for discussion with staff off the record. He apologized for the delay.

Chair Rios called for a short recess at 7:30 p.m. for staff and legal to discuss an issue off the record.

Chair Rios resumed the meeting at 7:45 pm.

## **STAFF REPORT**

502 Cerrillos Road is a 3,356 square foot non-contributing commercial building that sits on a triangle wedged lot at the southwest corner of Cerrillos Road and West Manhattan Street in the Historic Transition District. Per the 1997 historic building survey, it was built

in 1973 and housed the Schifani Brothers Printing Company, and most recently, an audio-video store, "A Sound Look." It is a concrete block stuccoed building with flat roofed masses of varying heights, ranging from 10' to 14' – 9" at the northwest corner, battered parapets, wood and metal canals, and metal downspouts. Windows are a mix of 6-over-6 wood double hung units with metal storm windows and steel casements on the facades of the west end of the north wall. Its street-facing front elevation (east) features 12-lite fixed recessed windows with wood lintels.

The applicant proposes the following exterior alterations:

#### Building

1. Shift the main entrance from the existing portal entry on the north end of the east street-facing elevation to the south. The current 10' tall wall will be increased to 14' – 3" for the main entrance and signage. The southern end parapet will be raised from 12' – 5" to 13' – 2." The north elevation parapet will be raised from 11' – 8" to 12' – 10.' The maximum allowable height for this building in this streetscape is 14' – 3."
2. Enclose the 84 square foot entry portal on the east elevation.
3. Existing dark metal clad divided lite windows will be replaced with dark bronze anodized finished aluminum frame windows.
4. New commercial grade metal doors will replace existing at the north elevation loading dock.
5. Re-roof with bitumen torch down or equal and insulate.

#### Patio and Yard Walls

6. Create a 362 Square foot patio on the north side of the building between the building and the existing yard wall along West Manhattan Avenue. Add a shade structure over the patio, consisting of supporting steel columns and steel beam with a peeled wood latilla covering.
7. Raise the existing front (east) elevation stucco yard wall from 2' – 8" to 4' – 3" and add about 3"to the west end yard wall existing height at 4' – 3." Both proposed heights are within the maximum allowable height for this streetscape.
8. Add a wood and steel gate to the east yard wall.
9. Stucco will be El Rey's "Buckskin."

#### Signage

A separate application for the building's new business signage has been submitted to the Land Use Department.

## **STAFF RECOMMENDATION**

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and Historic Districts Standards.

## **APPLICANT PRESENTATION**

Edward Fitzgerald, who lives in Albuquerque, was sworn. He said Ms. Bordegaray did a good job describing the project. This is a transitional zone. They feel this has some Santa Fe Pueblo style but is Transitional and industrial towards the Railyard and the distillery. The idea is to pull from the Railyard and historic Santa Fe and meld the two. The materials like the steel beam with wood latillas attempts to combine the two styles.

Member Guida asked the material proposed for the patio wall.

Mr. Fitzgerald said the side facing Cerrillos will be board-formed concrete and along Manhattan will be all stucco. He was trying to do minimalist contemporary.

Member Guida asked if it is just the small portion facing Cerrillos.

Mr. Fitzgerald pointed to the location noting the gate would be steel frame with horizontal wood slats.

Member Aguilar Medrano said this year marks the building's 50<sup>th</sup> year. She said she brought up to staff whether this warrants a status review. The HCPI form has this as a minor degree of remodeling; window openings will remain unchanged, and the portal will remain. She still questions whether status should be revisited. She also noticed a decent amount of metal siding is proposed. She said even in the Transition District metal paneling is not allowed. She said she is confused how the signage can be separate.

Mr. Fitzgerald said an example of the steel with the cut-outs is in the packet.

Member Aguilar Medrano said she understands what the sign is, but Ms. Bordegaray mentioned the Board would not hear the case on signage. She considers the distillery portion as signage and didn't know how the two cases can be separate.

Ms. Bordegaray asked the applicant to confirm if this elevation was not presented to the Board because they have to go through the case on the signage. She said they previously eliminated proposing the distillery sign tonight.

Mr. Fitzgerald asked if they could say it is rusted metal without cutout letters at this point.

Member Aguilar Medrano said the first question is whether the Board would approve the metal siding, which is clearly not allowed, even in this district. She understood this is on the cusp of the Transition District and a building could be close by that has steel.

Member Bienvenu asked Mr. Fitzgerald to identify everywhere he plans to put metal siding.

Mr. Fitzgerald referred to the front elevation, east. He said they will remove that entrance that is clad in steel. The infill has metal panels with the street address cutout as a way to bring the graphics into it with the street numbers and distillery.

Member Bienvenu said he is okay with the steel trellises in this district, because it is semi-industrial. He said there are two other material issues contrary to Code: one says no metal signs and the other, no concrete walls. He thought that would require Mr. Fitzgerald to qualify for exceptions.

Mr. Fitzgerald asked if stucco was the only approved material.

Member Bienvenu read from Code, "may be built of brick, adobe, rock, wood, coyote fencing, wrought iron, slump rock or similar materials", masonry, or stucco.

## **PUBLIC HEARING**

John Eddy, previously sworn, said he was worried Member Aguilar Medrano's suggestion on the 50-year rule would be overlooked. He suggested the Board postpone the case to address that, or a status review.

Stefanie Beninato, previously sworn, agreed there should be a status review while changes are being requested. If metal siding is prohibited, exceptions are needed. She said it may be a block from the Railyard, but the street before Hotel Santa Fe has a lot of small homes with character. She said the Board should be careful about appropriating features of a different district.

## **BOARD DISCUSSION**

Member Biedscheid thought the Board would not be able to approve the project because the exceptions were not called for. She deferred to staff to address that. She appreciated the comment about the age of the building. It does seem that may be lost without consideration of the building's contribution.

Ms. Bordegaray said the HCPI says 1973, and going on that, she had evaluated the building had not reached the threshold, combined with changes made since the HCPI and the windows have been replaced. She hasn't reviewed a lot of buildings in this district and did not realize it was metal siding to this degree. Code says expressly no metal siding and the way it was proposed tonight does not meet Code. A lot of work is ahead that is needed on this Code and Transition will be coming before the Board. She said the research has been ongoing on the buildings but is not yet finalized or adopted yet.

Member Aguilar Medrano said she knows which windows on the east façade that were talked about as having been replaced. On the north façade, the windows appear to be newer. However, there appears to be a number of wood windows original to the building she believes are on the east and north and some of the materials appear to be original to the house from 1973. She said that is a question the Board should explore more.

Member Guida agreed with the district standards pointed out by members on the Board. He said the Board cannot rule on the case this evening. He also wanted to flag that this is the historic Transition District. Staff can work with the applicant to look at that issue further. He said the building may be 50 years old, but he doesn't see much beyond that. He would be challenged to hold up a commercial applicant to this degree for a full status review. He said this is within the purview of City staff and would ask that staff look at this issue outside the meeting. He said the basis of the motion should be for staff to work with the applicant as to whether they want to propose a redesign because of materials, or seek exceptions.

Member Bienvenu said he hates to send people back to do more work. He found it hard to imagine the Board would designate this as contributing, but there is an argument for prudence to be certain they are not making an irrevocable mistake. He asked if they asked for a status review, what is the shortest period of time the applicant could return to the Board.

Ms. Bordegaray said the earliest would be the end of March or first meeting in April depending on how soon the applicant can get the historical information. Also it has to be re-noticed as the first part of the case.

Member Bienvenu said if motion was to defer to a date certain for a status review and potential redesign and/or requests for exceptions, what could the date certain be for the motion.

Ms. Lamboy said the earliest would be the March 28<sup>th</sup> or the beginning of April to get into the newspaper and give time for the applicant to get the information.

Member Bienvenu asked if that would be the same if deferred for a request for exceptions.

Ms. Lamboy said a request for exceptions still requires notice and would have to be at least a month out.

Member Biedscheid said several projects were approved tonight that did not have a HCPI. The applicant does not need to do a full HCPI. The report indicates this has always been a commercial building. She said there is no question this is a house being converted to a business and the Board should keep that in mind with what is proposed. She suggested an explanation of why the materials were chosen and the philosophy behind those choices could be crafted through an exception. The Board should know why the exception should be granted and how criteria has been met. She said the project could just be reformatted.

Chair Rios confirmed that Member Biedscheid did not think a status review is in order.

Member Biedscheid said it would not change her mind.

Member Bienvenu said he saw no harm since the case was being delayed. He was in favor of a status review and request for exceptions and/or redesign. He offered to make a motion.

**MOTION:** In Case 2023-006360-HDRB, 502 Cerrillos Rd., Member Bienvenu moved to defer the case to the next meeting possible, depending on staff's final determination, for a status review, and the request for exceptions and/or redesign to eliminate the need for exceptions, noting an additional HCPI is not required by the Board. The motion was seconded by Member Aguilar Medrano.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

1. **2023-006286-HDRB. 1564 Canyon Rd.** Downtown and Eastside Historic District. Non-contributing. PPC Solar, agent for Kate Lopez, owner, proposes to install two solar arrays consisting of 8 panels on existing casita's roof and 12 panels as part of a new ground-mounted structure 8' tall. (Angela Schackel Bordegaray)

## **STAFF REPORT**

1564 Canyon Road is a 2.7 acre-lot that consists of the main house, the guesthouse (round house), a garage, and a shed. The round house is an 806 square foot round adobe structure built in 1973. The round house was designated non-contributing to the Downtown & Eastside Historic District. The property is set back from (Upper) Canyon Road; none of the structures are publicly visible from Canyon Road.

Last year the board designated the round house non-contributing and approved its remodel and an addition. The round house's addition is under construction.

The applicant requests approval for the following solar photovoltaic system:

1. Install eight panels on the roof of the round house's addition currently under construction. The solar panels are almost black (midnight blue) with a black aluminum frame. The "racking" system ballast bays will be silver aluminum. See images in the case packet. The panels have already been installed.
2. Construct a free-standing ground-mounted "racking" system that will have 12 solar panels. The structure will be 2' from grade at the south side and 6' tall at the north end. The ground-mounted panels will be located approximately 130' from the round house addition's southwest corner, near the new PNM utility meter.

The proposal comes to the board because it is a new structure in the Downtown and Eastside Historic District and it may be publicly visible over time depending on the tree cover.

## **STAFF RECOMMENDATION**

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked to confirm that Ms. Bordegaray felt this is far from Canyon Road but without the trees possible that the solar panels might be seen.

Ms. Bordegaray yes, there are trees now but a portion would be visible from Canyon Road.

## **APPLICANT PRESENTATION**

Preston Rosado from Taos, New Mexico, was sworn. He represents the owners at 1564 Canyon Road. He apologized for not being present when his case was first called. He described the visibility. He said with the trees he could not see how you

could see the array from any portion of the road. He said the case is straightforward and Ms. Bordegaray presented what was needed.

## **PUBLIC HEARING**

Stefanie Beninato, previously sworn, said she is concerned about visibility and thought on the east side solar was not to be seen from a public way. She said the Board should not consider trees, and screening now might be better, as opposed to later.

## **BOARD DISCUSSION**

Member Bienvenu said the Code is interesting because every other district has a specific provision for solar devices except Downtown and Eastside district. They could make the argument that it is different and solar panels are not encouraged where they are called out as being encouraged in every other district. He thought it an anomaly that the Code had been amended to add the other districts in later. To him the same rules that apply to all other districts on solar array should apply here. It is specific and could be adapted as a condition here- that solar equipment shall be screened in ground solar collectors, by a wall or vegetation. In this case it appears it is but he would place a condition of approval to screen by vegetation or a wall, in perpetuity, from public view.

Member Biedscheid pointed out the Board has approved at least three ground mounted solar arrays: at St. John's, and Atalaya and Acequia Madre Elementary Schools. She said for the record those are not screened from the major roads.

Member Bienvenu asked if there had been exceptions.

Mr. Rosado added that the vegetation has multiple layers going down at the driveway and drops again to the taller trees on Canyon Road and the trees bordering the neighbor's property.

Member Guida said the Board has talked about this before in the Atalaya case specifically. He said he would prefer looking at this than at someone's RV or van.

**MOTION:** In Case 2023-006286-HDRB, 1564 Canyon Rd., Member Guida moved to approve the project as submitted and note that the ground mounted solar will be screened from public visibility by the existing vegetation. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Guida voting in favor and none voting against.

## **I. DISCUSSION ITEMS**

Ms. Lamboy said it is almost the time for the Historic Preservation Awards. Staff is asking the Board and ARC to nominate cases from their boards. She will share the date of the awards as they get closer so Board members can hand out the awards. She asked all nominations be sent to her by March 15<sup>th</sup> to allow time for research, if needed.

Chair Rios asked if she would provide the categories.

Ms. Lamboy said she will email those to the Board.

## **J. MATTERS FROM THE BOARD**

Chair Rios thanked Ms. Bordegaray for her time on the Preservation staff.

Ms. Bordegaray thanked the Board and staff.

Member Bienvenu said the Code amendment on exceptions will go before the Planning Commission and he was surprised that staff proposed basically what the HBoard had rejected. He said he assumed staff was soliciting recommendations and will then present those to the Governing Body at some point.

Ms. Lamboy said staff is soliciting recommendations from both bodies. Staff learned when working with Nicole Thomas at a minimum they need to reorganize things. She said staff's recommendation previously to the H Board - and the Board was clear on their direction to staff - was to retain staff's recommendation for the Planning Commission. She was made aware that the proposed text amendment will have to be introduced at City Council first, and it will be postponed from the Planning Commission meeting. Most likely this will be heard by the Planning Commission in April.

Member Bienvenu confirmed there would be discussion about the HBoard's point of view when presented to the Planning Commission.

Member Guida confirmed that the process would be to introduce to City Council, then take to the Planning Commission for a detailed review, there will be public comment and then this goes to the Governing Body.

Member Biedscheid asked if in the meantime the cases recommended for approval by the Board for exceptions are moving forward to City Council.

Ms. Lamboy said yes, St. John's College has been approved; 462 Arroyo Tenorio recommendation for approval is scheduled for the next Council meeting. She said the Governing Body mostly asked why they were seeing these and are happy a text

amendment is in process. She thought 110 Calle la Pena and 220 Rodriguez did not require exceptions.

Chair Rios asked how the rewrite was coming along.

Ms. Lamboy said the interviews with the Board and stakeholders has been concluded. A document of key issues will be created that include recommendations for first step structural changes. That is due back to staff by May and staff will hold a second open house in April. She will let them know when the dates are confirmed. She noted Board members could comment on the website.

Member Guida asked how far in advance agendas are posted to Prime.gov.

Amanda Romero said agendas are posted two weeks prior to the hearing date. The March 14<sup>th</sup> hearing was submitted in last Sunday's paper. The link for the packet also goes into the paper at the time the agenda is sent to the paper.

Member Guida confirmed the link for the agenda can be found on Prime.gov.

**K. NEXT MEETING:** Tuesday, March 14, 2023

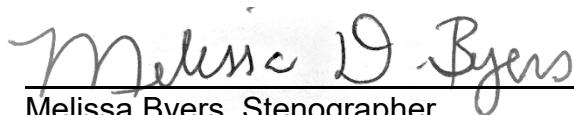
**L. ADJOURNMENT**

**MOTION:** Member Bienvenu moved, seconded by Member Guida to adjourn the meeting at approximately 8:48 pm.

**VOTE:** The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, and Guida voting in favor and none voting against.

Submitted by:

Approved by:



Melissa Byers, Stenographer  
For Byers Organizational Support Services

\_\_\_\_\_

Cecilia Rios, Chair

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6106-HDRB**

**Address** – 805 Apodaca Hill

**Agent’s Name** – Vahid Mojarrab

**Owner/Applicant’s Name** – Kenneth and Miriam Levin

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 24, 2023.

**BACKGROUND**

805 Apodaca Hill is a 1,363-square-foot, two-story residence built in the mid-1960s and listed as non-contributing to the Downtown and Eastside Historic District, built in the Pueblo-Spanish Revival Style with multiple masses that have flat roofs and parapets. In 2015 the board approved alterations to bring the house into compliance with the Downtown and Eastside design standards (Case # H-14-095) for publicly visible non-divided-lite windows and repositioning second floor windows to meet the “3-feet-to-corner” rule.

The Applicant proposes a guesthouse addition, two portal additions as well as other exterior alterations. The Board postponed the case at its January 10, 2023, hearing for design changes. The Applicant returns to the board with revisions based on Board feedback at that hearing. The original proposal with current revisions is described below.

**New Guest House**

1. Connect a new 680-square-foot, one-story guesthouse addition to the main house’s south elevation. The proposed addition will be split-level, as the site climbs from west to east. The tallest proposed height is 13’4” at its northeast corner. The heights vary between 8’4” at the southwest corner to 11’ at the northwest corner. The proposed heights comply with the height standard, as they are under the existing second-story height at 19’8”. The proposed addition features multiple stepping masses. Staff worked with the Applicant to soften the corners to comply with the Downtown and Eastside design standards, “Recent Santa Fe Style.”

2. The Applicant lowered the proposed extended wall attached to the southwest facing entry at its south end by 4’6”.

3. The Applicant proposes “Black” divided-lite, aluminum-clad doors and windows, which do not match the existing house’s new proposed window color, “Flagstone.”

4. The Applicant previously proposed the addition’s stucco color to be “Suede,” which differs from the existing house stucco color, “Desert Rose.” Although close in color, the Downtown and Eastside design standards do not permit two different stucco colors on the same building, except under portals. The Applicant now proposes the addition will match the existing stucco color of the home, “Desert Rose.”

**Main House**

5. Add a 418-square-foot portal to the east (rear) elevation. The Applicant has replaced

the portal's previously proposed four metal posts with wood posts. Rafters will remain metal with a rusted patina. The roof is two-thirds enclosed and one-third semi-enclosed with latilla members.

6. Add a 72-square-foot portal at the front door on the northern end of the west elevation. The proposed portal will have a stucco column and a metal, shed roof, and rafters with a rusted-finish patina. No revisions are proposed to this new portal.

7. Replace windows on the second story. New windows will be "Flagstone" in color.

8. Add a stucco wall to screen the existing roof-mounted heating and cooling unit ("mini-splits"). The proposed stucco wall will be 3 feet below the adjacent top of a parapet wall and will match the existing house stucco color.

9. Provide a 6-foot interior yard wall with a wood gate on the west elevation.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards, and recommends approval of the proposed project, with the condition that the main roof-mounted heating and cooling system's vertical line sets on exterior south wall be painted to match the existing stucco.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and

evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1 through 9 as set forth in the Application, as recommended by Staff, with the following additional conditions, that:
  - a. The Applicant change the window and door color from black to match color of existing windows and doors on the main house (Item # 3); and
  - b. The proposed stucco support column on the west front entry portal be made of wood, and that the Applicant submit a drawing reflecting this change and submit it to the Staff for administrative approval.

**IT IS SO ORDERED ON THIS 28<sup>th</sup> DAY of FEBRUARY, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe**  
**Historic Districts Review Board**  
**Findings of Fact and Conclusions of Law**

**Case # 2022-5463-HDRB**

**Address** – 220 Rodriguez St.

**Owner/Applicant's Name** – Brian Sarrazin and Stephanie Sandston

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearings December 13, 2022, and February 14, 2023.

**BACKGROUND**

220 Rodriguez St. is a single-family residential structure with contributing status to the Downtown and Eastside Historic District, constructed in a vernacular Spanish Pueblo Style. It was built in four different phases, the oldest of which is likely from 1890, but certainly by 1912. On April 26, 2022, the Board designated the following elevations of the structure as the primary façades: south façades 1(a) and 1(b), and west façade 2 (see Case # 2022-5020-HDRB). The non-historic, false window shutters on the south elevation (façades 1(a) and 1(b)), and the non-historic door on the west elevation (façade 2), were excluded from the designation of the primary façades.

At the December 13, 2022, HDRB meeting, the Applicant presented a renovation and addition proposal, and the Board and the Applicant discussed the history of the building at 220 Rodriguez St. and its different phases of construction. Concerns presented by the Applicant included the structural stability and water damage to the adobe and roof, the intention to both live and work in the house, the challenges associated with the grade on the site, the inability to build in any other location on the site, and visibility.

In response to comments made at the Dec. 13 meeting, the Applicant made changes to the project. The Applicant now proposes:

1. Replacement of all doors and windows, and restoration of windows at boarded openings. Wood windows are proposed to be replaced with aluminum-clad windows in a brown color, which are not in-kind in material or color.
2. Expose original window openings in northwest room (the “Guest” space), returning them to their original size, and replacing them with aluminum-clad windows, using original glazing pattern to match the south face.
3. Remodel the north façade to remove historic protruding vigas and add doors and windows and a flat awning with windows above.
4. Enlarge the door opening on the north elevation, remove and replace the existing, non-historic door with aluminum-clad, divided-lite doors not to exceed the 30-inch rule.
5. Raise the north façade, east-end parapet by 5’4”, within the maximum allowable height.
6. To the south and primary façade, create a passageway with a corrugated-metal, shed roof, flanked on the east and west by portals. The passageway would connect to a kitchen

addition.

7. Create a kitchen addition roughly one quarter of the size of the existing house, connected to the passageway, at a height of 16’6”, which is the maximum height allowable. The addition will be stucco, color to match, with a flat roof.

8. Add a west-facing arbor and rubble yard wall connected to a coyote fence.

The breezeway connection between the studio/kitchen addition and the historic home has been further lightened to provide for a clear communication of difference between the historic home and the addition and to also meet the standard where, if the addition were removed, the house could be restored to its original footprint and character. In response to comments about the blank walls of the addition, the applicant has added more windows as well as lowered the overall height by 6”. The overall height of the addition on the northeast corner of the house, which was originally a shed, has also been lowered.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the project and found that the Application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards. With the revisions proposed by the applicant, Staff finds that all the exception criteria have been met and the design complies with historic preservation and design standards. The addition is designed in a manner that, if removed in the future, the building’s status will not be negatively affected.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown & Eastside Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted to primary facades of contributing structures. The Applicant proposes an addition to the south, primary façade,

- the Staff determined that an exception to SFCC Section 14-5.2(D)(2)(c) would be required for approval of the Application, and the Applicant requested an exception.
9. SFCC Section 14-5.2(E)(1)(a) sets forth specific standards for the Downtown and Eastside Historic District; the proposed addition is not Old Santa Fe Style, the Staff determined that an exception to SFCC Section 14-5.2(E)(1)(a) would be required for approval of the Application, and the Applicant requested an exception.
  10. Under SFCC Section 14-5.2(D)(5)(a)(i), historic windows shall be repaired or restored wherever possible; the Applicants propose to remove and replace historic windows on the primary, south elevation, the Staff determined that an exception to SFCC Section 14-5.2(D)(5)(a)(i) would be required for approval of the Application, and the Applicant requested an exception.
  11. To obtain exceptions, the Applicant is required to conclusively demonstrate that the exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
  12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has not conclusively demonstrated that all exception criteria have been met with respect to SFCC Section 14-5.2(D)(2)(c) – additions not permitted to primary facades of contributing structures:
    - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district because: The addition on the south primary façade of this contributing structure is obtrusive, almost completely obstructs the view of the primary façade from the public way, and likely would cause this structure to lose its contributing status, which is prohibited by the Code, Section 14-5.2(D)(1)(a); and
    - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is not required to prevent a hardship to the Applicant or an injury to the public welfare.
  13. The requested exception to SFCC Section 14-5.2(D)(2)(c) is denied.
  14. With respect to the exception sought under SFCC Section 14-5.2(E)(1)(a) – proposed addition is inconsistent with Old Santa Fe Style – the Board makes no finding; the addition to the south, primary façade is denied for its nonconformity to SFCC Section 14-5.2(D)(2)(c).
  15. The Board finds, in accordance with the Historic Assessment by RPA & Associates, and the testimony and evidence presented at the hearings, that the historic windows on the south, primary façade are deteriorated beyond repair and may be replaced. Consistently with this finding, no exception is necessary to replace those windows in-kind.
  16. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
  17. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
  18. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been

met with respect to all project elements except for the addition to the south, primary façade (project items # 6 and 7, described above), subject to the conditions imposed by the HDRB, as described below.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project items # 1-5 and 8, as described above and as recommended by Staff, with the following additional conditions:
  - a. All replacement windows should be matched to the stained wood replacement windows proposed for the north elevation;
  - b. The roof overhang on the north-side addition be wood and/or galvanized metal;
  - c. The vigas on northeastern portion of the building be raised and incorporated into the new roof structure;
  - d. The existing viga ends remain exposed on the south elevation; and
  - e. The new stucco remain as close to the current color and texture as possible.
3. The Board denies the exception requested to SFCC Section 14-5.2(D)(2)(c) in the Application.
4. The Board denies project items # 6-7, as described above.

**IT IS SO ORDERED ON THIS 14<sup>th</sup> DAY of MARCH, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe**  
**Historic Districts Review Board**  
**Findings of Fact and Conclusions of Law**

**Case # 2022-5463-HDRB**

**Address** – 220 Rodriguez St.

**Owner/Applicant's Name** – Brian Sarrazin and Stephanie Sandston

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearings December 13, 2022, and February 14, 2023.

**BACKGROUND**

220 Rodriguez St. is a single-family residential structure with contributing status to the Downtown and Eastside Historic District, constructed in a vernacular Spanish Pueblo Style. It was built in four different phases, the oldest of which is likely from 1890, but certainly by 1912. On April 26, 2022, the Board designated the following elevations of the structure as the primary façades: south façades 1(a) and 1(b), and west façade 2 (see Case # 2022-5020-HDRB). The non-historic, false window shutters on the south elevation (façades 1(a) and 1(b)), and the non-historic door on the west elevation (façade 2), were excluded from the designation of the primary façades.

At the December 13, 2022, HDRB meeting, the Applicant presented a renovation and addition proposal, and the Board and the Applicant discussed the history of the building at 220 Rodriguez St. and its different phases of construction. Concerns presented by the Applicant included the structural stability and water damage to the adobe and roof, the intention to both live and work in the house, the challenges associated with the grade on the site, the inability to build in any other location on the site, and visibility.

In response to comments made at the Dec. 13 meeting, the Applicant made changes to the project. The Applicant now proposes:

1. Replacement of all doors and windows, and restoration of windows at boarded openings. Wood windows are proposed to be replaced with aluminum-clad windows in a brown color, which are not in-kind in material or color.
2. Expose original window openings in northwest room (the “Guest” space), returning them to their original size, and replacing them with aluminum-clad windows, using original glazing pattern to match the south face.
3. Remodel the north façade to remove historic protruding vigas and add doors and windows and a flat awning with windows above.
4. Enlarge the door opening on the north elevation, remove and replace the existing, non-historic door with aluminum-clad, divided-lite doors not to exceed the 30-inch rule.
5. Raise the north façade, east-end parapet by 5’4”, within the maximum allowable height.
6. To the south and primary façade, create a passageway with a corrugated-metal, shed roof, flanked on the east and west by portals. The passageway would connect to a kitchen

addition.

7. Create a kitchen addition roughly one quarter of the size of the existing house, connected to the passageway, at a height of 16’6”, which is the maximum height allowable. The addition will be stucco, color to match, with a flat roof.

8. Add a west-facing arbor and rubble yard wall connected to a coyote fence.

The breezeway connection between the studio/kitchen addition and the historic home has been further lightened to provide for a clear communication of difference between the historic home and the addition and to also meet the standard where, if the addition were removed, the house could be restored to its original footprint and character. In response to comments about the blank walls of the addition, the applicant has added more windows as well as lowered the overall height by 6”. The overall height of the addition on the northeast corner of the house, which was originally a shed, has also been lowered.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the project and found that the Application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Design Standards. With the revisions proposed by the applicant, Staff finds that all the exception criteria have been met and the design complies with historic preservation and design standards. The addition is designed in a manner that, if removed in the future, the building’s status will not be negatively affected.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown & Eastside Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted to primary facades of contributing structures. The Applicant proposes an addition to the south, primary façade,

- the Staff determined that an exception to SFCC Section 14-5.2(D)(2)(c) would be required for approval of the Application, and the Applicant requested an exception.
9. SFCC Section 14-5.2(E)(1)(a) sets forth specific standards for the Downtown and Eastside Historic District; the proposed addition is not Old Santa Fe Style, the Staff determined that an exception to SFCC Section 14-5.2(E)(1)(a) would be required for approval of the Application, and the Applicant requested an exception.
  10. Under SFCC Section 14-5.2(D)(5)(a)(i), historic windows shall be repaired or restored wherever possible; the Applicants propose to remove and replace historic windows on the primary, south elevation, the Staff determined that an exception to SFCC Section 14-5.2(D)(5)(a)(i) would be required for approval of the Application, and the Applicant requested an exception.
  11. To obtain exceptions, the Applicant is required to conclusively demonstrate that the exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
  12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has not conclusively demonstrated that all exception criteria have been met with respect to SFCC Section 14-5.2(D)(2)(c) – additions not permitted to primary facades of contributing structures:
    - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district because: The addition on the south primary façade of this contributing structure is obtrusive, almost completely obstructs the view of the primary façade from the public way, and likely would cause this structure to lose its contributing status, which is prohibited by the Code, Section 14-5.2(D)(1)(a); and
    - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is not required to prevent a hardship to the Applicant or an injury to the public welfare.
  13. The requested exception to SFCC Section 14-5.2(D)(2)(c) is denied.
  14. With respect to the exception sought under SFCC Section 14-5.2(E)(1)(a) – proposed addition is inconsistent with Old Santa Fe Style – the Board makes no finding; the addition to the south, primary façade is denied for its nonconformity to SFCC Section 14-5.2(D)(2)(c).
  15. The Board finds, in accordance with the Historic Assessment by RPA & Associates, and the testimony and evidence presented at the hearings, that the historic windows on the south, primary façade are deteriorated beyond repair and may be replaced. Consistently with this finding, no exception is necessary to replace those windows in-kind.
  16. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
  17. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
  18. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been

met with respect to all project elements except for the addition to the south, primary façade (project items # 6 and 7, described above), subject to the conditions imposed by the HDRB, as described below.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project items # 1-5 and 8, as described above and as recommended by Staff, with the following additional conditions:
  - a. All replacement windows should be matched to the stained wood replacement windows proposed for the north elevation;
  - b. The roof overhang on the north-side addition be wood and/or galvanized metal;
  - c. The vigas on northeastern portion of the building be raised and incorporated into the new roof structure;
  - d. The existing viga ends remain exposed on the south elevation; and
  - e. The new stucco remain as close to the current color and texture as possible.
3. The Board denies the exception requested to SFCC Section 14-5.2(D)(2)(c) in the Application.
4. The Board denies project items # 6-7, as described above.

**IT IS SO ORDERED ON THIS 14<sup>th</sup> DAY of MARCH, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6112-HDRB**

**Address** – 50 Mt. Carmel Rd., San Juan Building

**Agent’s Name** – Lisa Gavioli, JenkinsGavin Design & Development

**Owner/Applicant’s Name** – Modern Elder Academy

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 24, 2023.

**BACKGROUND**

The San Juan building was constructed as part of the campus redevelopment in association with the Immaculate Heart of Mary Seminary. The purpose of the building was a dormitory for the priests. Similar to its historic use, the Modern Elder Academy will use the building for guest residence during the MEA educational programs. At the July 26, 2022, HDRB meeting the building was designated as contributing, with the west and a portion of the south elevation designated as primary (see Case # 2022-5477-HDRB).

The applicant proposed the following exterior alterations:

1. Replace two windows with doors on the north elevation and one on the east elevation, for egress purposes. The width of each opening will remain the same, and the vertical dimension will be enlarged downward only. The door design will match historic doors elsewhere on the building, and no facades where replacements are proposed are primary;
2. Replace non-historic exterior doors at the second floor, north and south elevations. Proposed door design to match historic doors on the building;
3. Repair all other historic doors and windows, per the window and door assessment;
4. Raise the handrail at second floor, east elevation to 42” high for code compliance;
5. Re-stucco or patch and color coat the entire building in cementitious stucco, color similar to El Rey “Buckskin”;
6. Repair canales as needed;
7. Refurbish/repaint exterior white painted wood trim as needed;
8. At the south elevation, replace two missing wooden posts in-kind in the window grille at the end of the west portal;
9. At the west elevation, replace missing window grille, matching the design shown in the original 1961 construction drawings.
10. Install new HVAC units with screened, ground-mounted condensers, as shown on the site plan; and
11. Construct a new 4’7” high stuccoed masonry courtyard wall at north façade.

The proposed renovation treatments do not threaten the contributing status of the building, and some historic architectural elements will be reintroduced to be more consistent with the original design.

In response to staff concern regarding the proposed courtyard wall height of 6', the applicant has lowered the proposed height to 4'7" to be consistent with the permitted height for the subject streetscape.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(F), Historic Review District Design Standards. The project also complies with Section 14-5.2(D)(5)(A)(i) where documentation has been provided illustrating the historic window grilles on the south and west elevations. The proposed renovation treatments will not negatively impact the building's contributing historic status.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Historic Review District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(F).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The Board finds that this project application includes the restoration of windows, but not the replacement of any windows.
11. The Board finds that the exterior doors on the second floor, north and south elevations, are non-historic.

12. The Board finds that the restoration of the window grilles on the south and west elevations are consistent with illustrations showing the historic, original design of the grilles, and the new material to be added match the material being replaced in composition, design and color.
13. The Board finds that the renovations proposed for the San Juan Building do not compromise the contributing status of this structure.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1 through 11, as set forth in the Application, as recommended by Staff, with the following additional condition:
  - a. The 6-foot courtyard wall shall be lowered to 4'7" to be consistent with the permitted streetscape height.

**IT IS SO ORDERED ON THIS 14th DAY of MARCH, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6106-HDRB**

**Address** – 805 Apodaca Hill

**Agent’s Name** – Vahid Mojarrab

**Owner/Applicant’s Name** – Kenneth and Miriam Levin

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 24, 2023.

**BACKGROUND**

805 Apodaca Hill is a 1,363-square-foot, two-story residence built in the mid-1960s and listed as non-contributing to the Downtown and Eastside Historic District, built in the Pueblo-Spanish Revival Style with multiple masses that have flat roofs and parapets. In 2015 the board approved alterations to bring the house into compliance with the Downtown and Eastside design standards (Case # H-14-095) for publicly visible non-divided-lite windows and repositioning second floor windows to meet the “3-feet-to-corner” rule.

The Applicant proposes a guesthouse addition, two portal additions as well as other exterior alterations. The Board postponed the case at its January 10, 2023, hearing for design changes. The Applicant returns to the board with revisions based on Board feedback at that hearing. The original proposal with current revisions is described below.

**New Guest House**

1. Connect a new 680-square-foot, one-story guesthouse addition to the main house’s south elevation. The proposed addition will be split-level, as the site climbs from west to east. The tallest proposed height is 13’4” at its northeast corner. The heights vary between 8’4” at the southwest corner to 11’ at the northwest corner. The proposed heights comply with the height standard, as they are under the existing second-story height at 19’8”. The proposed addition features multiple stepping masses. Staff worked with the Applicant to soften the corners to comply with the Downtown and Eastside design standards, “Recent Santa Fe Style.”

2. The Applicant lowered the proposed extended wall attached to the southwest facing entry at its south end by 4’6”.

3. The Applicant proposes “Black” divided-lite, aluminum-clad doors and windows, which do not match the existing house’s new proposed window color, “Flagstone.”

4. The Applicant previously proposed the addition’s stucco color to be “Suede,” which differs from the existing house stucco color, “Desert Rose.” Although close in color, the Downtown and Eastside design standards do not permit two different stucco colors on the same building, except under portals. The Applicant now proposes the addition will match the existing stucco color of the home, “Desert Rose.”

**Main House**

5. Add a 418-square-foot portal to the east (rear) elevation. The Applicant has replaced

the portal's previously proposed four metal posts with wood posts. Rafters will remain metal with a rusted patina. The roof is two-thirds enclosed and one-third semi-enclosed with latilla members.

6. Add a 72-square-foot portal at the front door on the northern end of the west elevation. The proposed portal will have a stucco column and a metal, shed roof, and rafters with a rusted-finish patina. No revisions are proposed to this new portal.

7. Replace windows on the second story. New windows will be "Flagstone" in color.

8. Add a stucco wall to screen the existing roof-mounted heating and cooling unit ("mini-splits"). The proposed stucco wall will be 3 feet below the adjacent top of a parapet wall and will match the existing house stucco color.

9. Provide a 6-foot interior yard wall with a wood gate on the west elevation.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards, and recommends approval of the proposed project, with the condition that the main roof-mounted heating and cooling system's vertical line sets on exterior south wall be painted to match the existing stucco.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and

evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1 through 9 as set forth in the Application, as recommended by Staff, with the following additional conditions, that:
  - a. The Applicant change the window and door color from black to match color of existing windows and doors on the main house (Item # 3); and
  - b. The proposed stucco support column on the west front entry portal be made of wood, and that the Applicant submit a drawing reflecting this change and submit it to the Staff for administrative approval.

**IT IS SO ORDERED ON THIS 28<sup>th</sup> DAY of FEBRUARY, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe**  
**Historic Districts Review Board**  
**Findings of Fact and Conclusions of Law**

**Case # 2023-6287-HDRB**

**Address** – 350 Hillside Ave.

**Agent’s Name** – Natasha Ribeiro

**Owner/Applicant’s Name** – Victor Johnson and Carla Mattix

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on February 14, 2023.

**BACKGROUND**

The property located at 350 Hillside Ave. is a single-family, detached one-story residence. While not visible from Hillside Avenue, the house is visible via a shared drive that serves four lots. The residence is listed as non-contributing to the Downtown and Eastside Historic District.

The Applicants propose a one-story, 755-square-foot addition to accommodate an accessory dwelling unit (ADU). The existing Pueblo Revival style residence was originally built in 1991, which was re-stuccoed, and the windows were replaced in 2020.

The 12’10” addition will be located on the southeast corner of the residence, and there will be no internal cross-access between the addition and the main residence. The height of the addition will be the same height as the adjoining residence. The proposed stucco color will be Sandlewood Beige to match the existing home stucco color. The proposed windows and door will have an aluminum-clad finish with “Portobello” color, which matches the main residence. A portal is proposed on the north elevation of the addition.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes to the exterior appearance recommended by the Board be made in the proposed work, and no permit will issue until new drawings or documentation have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the construction of the accessory dwelling unit as set forth in the Application, as recommended by Staff, with the following conditions:
  - a. The radius of corners shall match the existing residence; and
  - b. The windows shall be recessed 2 to 3 inches to match the existing residence.

**IT IS SO ORDERED ON THIS 14<sup>th</sup> DAY of MARCH, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2023-6286-HDRB**

**Address** – 1564 Canyon Rd.

**Agent’s Name** – Preston Bastardo

**Owner/Applicant’s Name** – Kate Lopez

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on February 28, 2023.

**BACKGROUND**

1564 Canyon Rd. is a 2.7-acre lot in the Downtown and Eastside Historic District that consists of the main house, the guesthouse (round house), a garage and a shed. The round house is an 806-square-foot round adobe structure built in 1973. The property is set back from (Upper) Canyon Road, and none of the structures are publicly visible from Canyon Road. Last year the Board designated the round house non-contributing and approved its remodel and an addition (see Case # 2022-4721-HDRB). The round house’s addition is under construction.

The Applicant requested approval for the following solar photovoltaic system:

1. Install eight panels on the roof of the round house’s addition currently under construction. The solar panels are almost black (midnight blue) with a black aluminum frame. The “racking” system ballast bays will be silver aluminum. The panels have already been installed.

2. Construct a free-standing ground-mounted “racking” system that will have 12 solar panels. The structure will be two feet from grade at the south side and six feet tall at the north end. The ground-mounted panels will be located approximately 130 feet from the round house addition’s southwest corner, near the new PNM utility meter.

This proposal comes to the board because it is a new structure in the Downtown and Eastside Historic District and it may be publicly visible over time depending on the tree cover.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC

requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report, and the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project Items # 1 and 2 as set forth in the Application, as recommended by Staff.

**IT IS SO ORDERED ON THIS 14th DAY of MARCH, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

# City of Santa Fe, New Mexico

# memo

DATE: March 14, 2023  
TO: Historic Districts Review Board Members  
FROM: Heather Lamboy, Assistant Director, Planning & Land Use

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Case # 2023-006437-HDRB

Address: 57 Old Santa Fe Trail  
Historic Status: Contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Exception Responses

## STAFF RECOMMENDATION:

Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-8.10(H) "H"-District Sign Standards.

## BACKGROUND & SUMMARY:

This case was previously heard by the HDRB at the August 9, 2022 meeting. At that point, the HDRB approved the proposed Lucchese sign. Subsequently, the City Attorney's office determined that the HDRB did not have authority to grant an exception to the height of the sign; the top of the sign is proposed to be 19'6" from grade; the maximum permitted height of signage in the

Historic Districts is 15'. The case then was referred to the Board of Adjustment (BOA) for review and approval.

The BOA heard the Lucchese sign case on January 3, 2023. Discussion centered around the size of the sign, the visibility of the sign if it were to be no higher than 15', and the sign materials. There was discussion regarding the non-conforming status of the existing sign which was only a point of reference vis-à-vis the proposed sign being smaller. The decision and findings of fact for the Board of Adjustment focus exclusively on the proposed sign.

It was determined by the City Attorney's Office that the applicant should return to the HDRB to request an exception based on the approval criteria related to height, and not just to design as was previously address in the case presented on August 9.

**Background and Proposal:**

The building located at 57 Old Santa Fe Trail is a two-story commercial block building constructed in 1912 that fronts the Plaza on its eastern elevation. It is designated contributing and its west elevation its primary façade. In the 1950s, John Gaw Meem remodeled transformed the original Beaux Arts Classical Revival Style building into a simplified Spanish-Pueblo Revival remodel. Currently, it has commercial storefront windows on its ground floor and a large flat windowless stucco wall that extends from the portal to its parapet. In the late 1960s, Meem designed portals around the Plaza which included this building. It was previously known as the First National Bank and later known as Levine's Department Store. In 1954, the bank moved across the Plaza to its current location at the northwest corner of the Plaza. In 2011, exceptions were granted to install a building wall sign above the 15' height limit and to exceed the maximum 20" letter height.

Currently, the applicant proposes to replace the existing wall-mounted sign on the west façade. The proposed sign will be 51% smaller than the existing sign, with a maximum area of 34 square feet compared to the current 70 square feet. The letters will all be 24" in height, which is 3'-0" shorter than the largest letter on the current sign, and the sign will be mounted with the base at 17'-6" above street grade, which is the current mounting height. The proposed sign will be constructed of fabricated metal with 2" depth and will have a dark navy painted finish. There is no proposed lighting or transparency to the sign and it will be mounted directly to the stucco wall.

The proposed sign requires three exceptions to the signage requirements outlined in Article 14-8.10 (H)(26)(a)(i). The sign area will exceed twenty square feet, the letter height will exceed twenty inches, and the sign will be mounted more than fifteen feet above street grade.

**Exception criteria 14-5.2(C)(5)(c): LETTER HEIGHT, as regulated by 14-8.10(H)(26)(a)(i):**

*(i) Do not damage the character of the district;*

Applicant Response: The proposed sign will not damage the character of the district as it is a 40% decrease in letter height from the existing sign. Additionally, the presence of a sign at this scale on this façade upholds the original character of the 1954 façade, designed to accommodate Levine

Department Store's wall-mounted sign, which was roughly 4'-0 tall (see attached Historic Pictures of 50 Old Santa Fe Trail). A sign has been the dominant architectural feature of this façade for the past 50+ years and the proposed sign seeks to honor this historic condition.

Staff Response: Staff does not believe the new sign will damage the character of the district as it replaces the sign that is much larger. The building architecture and contributing status of the building will not be negatively impacted by the proposed sign.

*(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;*

Applicant Response: The west façade of 57 Old Santa Fe Trail has a total area of 1286 square feet with 350 square feet originally designed to support a large sign. The letter height requirement creates a hardship on this façade as 20" tall lettering will be entirely out of scale with the surrounding façade features and will be ineffective in terms of wayfinding and branding purposes as it hardly will be visible.

Staff Response: Staff does not find that the proposed sign is required to prevent a hardship to the applicant or an injury to the public welfare. The plaza only has one other sign on the wall, which is First National Bank of Santa Fe. While the sign is smaller than the existing sign, other signage opportunities are available with hanging, wall signs on the first story, and window signs. On the other hand, the removal of the sign could cause economic impact to the business.

*(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;*

Applicant Response: The tenant has considered designing to comply with sign letter height regulations, however, it will be a disservice to both the tenant's business and the visual experience of the Plaza. The only other alternative is to keep the existing sign in place, which has letter height up to 5'-0.

Staff Response: The applicant has considered different sign design options and proposes to replace the existing sign with a smaller sign to reduce the overall impact to the streetscape.

*(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*

Applicant Response: The proposed letter height is needed in order for the wall sign on this particular façade to remain in scale with the area of the mounting location. As previously stated, when the style of the original First National Bank building was altered, this façade was redesigned by John Gaw Meem to accommodate a wall-mounted sign of a much larger scale than is currently permissible by code. An exception is therefore needed for an appropriately scaled sign to be placed in this location.

Staff Response: Due to the renovation of the neo-classical bank building to incorporate Spanish-Pueblo design vocabulary, a large blank wall was created. Previous design proposals included signage in this area. The architecture of the rest of the buildings around the plaza is such that wall signage would cover up architectural detailing; in this case the sign will reduce the overall impact of a large blank wall.

- (v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant;*

Applicant Response: The size and scale of the mounting location for a wall sign was created in 1954 by John Gaw Meem and the owners of the building at that time. The special conditions of the scale of the mounting location for the sign are therefore not the result of any actions by the Applicant and require a larger letter size in order to achieve harmony between the scale of the building and the letter height of the proposed sign.

Staff Response: The conditions and circumstances are not a result of the actions of the applicant.

- (vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: The stated purpose of SFCC 14-5.2 is “to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city.” To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building’s design, in which one of the city’s most famous architects called for a large wall-mounted sign, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign’s dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city’s economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant’s need for brand identification and the public’s need for effective wayfinding.

Staff Response: By reducing the size of the sign as part of this exception request, the applicant has reduced the overall impact of the signage.

**Exception criteria 14-5.2(C)(5)(c): SIGN AREA, as regulated by 14-8.10(H)(26)(a)(i):**

- (i) *Do not damage the character of the district;*

Applicant Response: As stated above, the proposed sign will not damage the character of the district as it is a 51% decrease in coverage area from the existing sign. As seen in the attached historic images, the historic Levine’s sign had roughly 96 square feet of area. The proposed sign aims to honor this historic condition with a design that is similarly scaled.

Staff Response: Staff does not believe the new sign will damage the character of the district as it replaces the sign that is much larger. The building architecture and contributing status of the building will not be negatively impacted by the proposed sign.

- (ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare;*

Applicant Response: The width to height ratio of the Lucchese logo is 8.5x1, meaning that to maintain less than 20 square feet of coverage, the sign could be a maximum 1'-6" tall and 12'-9" long. As described above, a sign of this size will be out of scale and a disservice to the historical façade, which was specifically designed to support a dominant sign. It will also lose any efficacy due to lack of visibility.

Staff Response: Staff does not find that the proposed sign is required to prevent a hardship to the applicant or an injury to the public welfare. The plaza only has one other sign on the wall, which is First National Bank of Santa Fe. While the sign is smaller than the existing sign, other signage opportunities are available with hanging, wall signs on the first story, and window signs. On the other hand, the removal of the sign could cause economic impact to the business.

*(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Applicant Response: As stated above, the design alternative to create a smaller sign will be a disservice to the tenant's business and visual experience of the Plaza. The only other alternative is to keep the existing sign, which has a coverage area of 70 square feet.

Staff Response: The applicant has considered different sign design options and proposes to replace the existing sign with a smaller sign to reduce the overall impact to the streetscape.

*(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*

Applicant Response: The proposed sign area is needed in order for the wall sign on this particular façade to remain in scale with the area of the mounting location. As previously stated, when the style of the original First National Bank building was altered, this façade was redesigned by John Gaw Meem to accommodate a wall mounted sign of a much larger scale than is currently permissible by code. An exception is therefore needed for an appropriately scaled sign to be placed in this location.

Staff Response: Due to the renovation of the neo-classical bank building to incorporate Spanish-Pueblo design vocabulary, a large blank wall was created. Previous design proposals included signage in this area. The architecture of the rest of the buildings around the plaza is such that wall signage would cover up architectural detailing; in this case the sign will reduce the overall impact of a large blank wall.

*(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant;*

Applicant Response: The size and scale of the mounting location for a wall sign was created in 1954 by John Gaw Meem and the owners of the building at that time. The special conditions of the scale of the mounting location for the sign are therefore not the result of any actions by the

Applicant and require a larger sign area in order to achieve harmony between the scale of the building and the scale of the proposed sign.

Staff Response: The conditions and circumstances are not a result of the actions of the applicant.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: The stated purpose of SFCC 14-5.2 is “to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city.” To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building’s façade design, in which one of the city’s most famous architects called for a large wall-mounted sign, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign’s dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city’s economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant’s need for brand identification and the public’s need for effective wayfinding.

Staff Response: By reducing the size of the sign as part of this exception request, the applicant has reduced the overall impact of the signage.

**Exception criteria 14-5.2(C)(5)(c): MOUNTING HEIGHT, as regulated by 14-8.10(H)(26)(a)(i):**

(i) *Do not damage the character of the district;*

Applicant Response: The proposed sign will not damage the character of the district as it maintains the mounting height of the existing sign. A sign mounted in this location upholds the original character of the 1954 façade and the position of the Levine’s sign (see attached historic images).

Staff Response: Staff does not believe the new sign will damage the character of the district as it replaces the sign that is much larger. The building architecture and contributing status of the building will not be negatively impacted by the proposed sign.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare;*

Applicant Response: Given that the height of the portal on this façade is 14’-0” above grade, in order to comply with the mounting height provision, the sign would need rest directly on top of the portal (see Compliant Sign Exhibit). This would make the sign virtually invisible from the Plaza, hence why an exception was granted previously to accommodate for a higher mounting height.

Staff Response: Staff does not find that the proposed sign is required to prevent a hardship to the applicant or an injury to the public welfare. The plaza only has one other sign on the wall, which is First National Bank of Santa Fe. While the sign is smaller than the existing sign, other signage opportunities are available with hanging, wall signs on the first story, and window signs. On the other hand, the removal of the sign could cause economic impact to the business.

(iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Applicant Response: Mounting the proposed sign to comply with sign code requirements is not feasible as it will not be visible above the building's portal. The client considered mounting the sign to the front of the portal, but it is on City property and not permissible. The façade of 57 Old Santa Fe Trail beneath the portal is glass and does not support the mounting of a wall sign.

Staff Response: The applicant has considered different sign design options and proposes to replace the existing sign with a smaller sign to reduce the overall impact to the streetscape.

(iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*

Applicant Response: The proposed mounting height is needed in order for the wall sign on this particular façade to be visible to pedestrians and vehicles attempting to navigate the downtown area. As previously stated, Santa Fe Style portales were added to the entire Plaza by John Gaw Meem and city officials in the 1960s. These portales now require a higher mounting height than is currently permissible by code in order for wall-mounted signage to be legible for buildings that face the Plaza.

Staff Response: Due to the renovation of the neo-classical bank building to incorporate Spanish-Pueblo design vocabulary, a large blank wall was created. Previous design proposals included signage in this area. The architecture of the rest of the buildings around the plaza is such that wall signage would cover up architectural detailing; in this case the sign will reduce the overall impact of a large blank wall.

(v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant;*

Applicant Response: As stated above, the portales that were added in the 1960s by Meem and city officials resulted in a special circumstance in which a higher mounting height is required for wall-mounted signs to be visible and legible in most locations around the Plaza. This condition was not the result of any action by the Applicant.

Staff Response: The conditions and circumstances are not a result of the actions of the applicant.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*

Applicant Response: The stated purpose of SFCC 14-5.2 is *“to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city.”* To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building’s façade design, in which one of the city’s most famous architects called for a large wall- mounted sign mounted higher than the current code allows, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign’s dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city’s economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant’s need for brand identification and the public’s need for effective wayfinding.

Staff Response: By reducing the size of the sign as part of this exception request, the applicant has reduced the overall impact of the signage.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>	Site Address:
Date Submitted: 6/8/2022	57 Old Santa Fe Trail
Property Owner of Record: 57 Old Santa Fe Trail, LLC	Proposed Construction Description:
Applicant/Agent Name: Lila Pickus (JenkinsGavin, Inc)	Replace exterior facade signage
Contact Person Phone Number: (505) 820-7444	<b>TOTAL ROOF AREA:</b> 4700 sqft
Zoning District: BCD-PLA	Lot Coverage : N/A % □ Open Space Required: _____
Overlay: □ Escarpment _____ □ Flood Zone* □ Other: _____	Setbacks: Proposed Front: N/A Minimum: _____ 2 <sup>nd</sup> Front? _____ Proposed Rear: N/A Minimum: _____ Proposed Sides: LN/A R N/A Minimum: _____
Submittals Reviewed with PZR: ✓ Legal Lot of Record □ Development Plan □ Building Plans □ Existing Site Plan □ Proposed Site Plan □ Elevations	Height: Proposed N/A _____ Maximum Height: _____ or □ Regulated by Historic Districts Ordinance □ Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: □ Zero Lot Line Affidavit	Parking Spaces: Proposed N/A Accessible _____ Minimum: _____
Access and Visibility: □ Arterial or Collector** □ Visibility Triangle Required	Bicycle Parking**: Proposed: N/A Minimum: _____ ** Commercial Requirement
Use of Structure: □ Residential ☑ Commercial Type of Use: _____	
Terrain: □ 30% slopes N/A _____	

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lila Pickus \_\_\_\_\_ [□OWNER □APPLICANT ☑AGENT]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

*Lila Pickus* \_\_\_\_\_ 6/8/2022  
SIGNATURE DATE

**To Be Completed By City Staff:**

**Additional Agency Review if Applicable:**  
 Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_  
 Notes: \_\_\_\_\_

**Zoning Approval:**  
 Preliminary Approval  with conditions  Rejected  
 Comments/Conditions: \_\_\_\_\_  
 \_\_\_\_\_

REVIEWER: \_\_\_\_\_ DATE: \_\_\_/\_\_\_/\_\_\_

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



JENKINSGAVIN  
LAND USE | PROJECT MANAGEMENT

February 17, 2023

Heather Lamboy  
Historic Preservation Division  
Planning and Land Use Department  
200 Lincoln Avenue  
Santa Fe, NM 87501

**RE: Revised Proposal for New Exterior Façade Sign  
Lucchese Bootmaker - 57 Old Santa Fe Trail**

Dear Heather:

This letter is submitted on behalf of 57 Old Santa Fe Trail, LLC and Lucchese Bootmaker in application to the Historic Districts Review Board (“HDRB”) for approval of an exterior façade sign to replace the existing wall-mounted sign at 57 Old Santa Fe Trail, which is a Non-Contributing structure in the Downtown and Eastside Historic District.

#### Background

In June 2022, the Applicant submitted an application for approval of the subject signage with three exception requests per the direction of Historic Preservation Division staff. The HDRB heard and approved that request at their hearing of August 9, 2022 (see HDRB Minutes, attached.). In October 2022, Historic Preservation Division staff informed the Applicant that the City Attorney’s Office had reviewed the case and made the determination that the HDRB did not have authority over signage applications, as they are regulated by the Sign Ordinance, SFCC 14-8.10(H), rather than the Historic Districts Ordinance, SFCC 14-5.2, and would need variances from the Board of Adjustment. As directed by staff, the Applicant then submitted an application for variances on October 26, 2022. The case was heard and approved by the Board of Adjustment at their hearing of January 3, 2023 (see BOA Draft Minutes, attached). The Applicant was subsequently informed by staff that the City Attorney’s Office had again reviewed the application and determined that the Applicant *does* need an exception from the HDRB, but that the exception criteria in SFCC 14-5.2(C)(5)(c) must be addressed rather than the exception criteria in SFCC 14-5.2(C)(5)(b) as previously reviewed and approved by the HDRB. Now, the Applicant has revised the exception requests to include the additional three criteria for each.

#### Historical Context

The building at 57 Old Santa Fe Trail was built in 1912 in the Beaux Arts Classicism style as the First National Bank. After the bank moved across the Plaza in 1954, the building was extensively renovated for Levine’s Department Store. The 1954 renovation was designed by John Gaw Meem in a simplified Spanish-Pueblo Revival style and included Modern or International Style details, including a cantilevered portal and a large expanse of façade wall to house Levine’s significant sign. The portal was altered again in 1966 when portales were designed by John Gaw Meem and constructed at buildings surrounding the entire Plaza in an effort by city officials to impose a more uniform Santa Fe Style appearance in the central downtown area.

Lucchese Bootmaker became the tenant of 57 Old Santa Fe Trail in 2011, and at that time they proposed a sign similar in scale to the Levine’s sign in order to restore some of the façade’s original character. This original Lucchese sign, which was approved by the HDRB in 2011, required an exception to the signage

requirements for its height of letters and mounting height on the façade (see Findings of Fact and Conclusions of Law from January 11, 2011, attached).

### Existing Conditions

The Lucchese sign that was approved by the HDRB in 2011 is still in place and measures 5'-0" in height at its largest dimension and 1'-8" at its smallest with 70 square feet of area. The sign is mounted with the base at 17'-6" above grade and the metal letters are painted in a multi-color, faux-patina finish.

### Proposed Improvements

Lucchese Bootmaker has recently undergone an extensive rebrand, requiring them to update their signage. The proposed sign will replace the existing wall-mounted sign on the west façade of 57 Old Santa Fe Trail. As illustrated in Exhibit 9, the proposed sign will be 51% smaller than the existing sign, with a maximum area of 34 square feet compared to the current 70 square feet. The letters will all be 24" in height, which is 3'-0" shorter than the largest letter on the current sign, and the sign will be mounted with the base at 17'-6" above street grade, which is the current mounting height. The font for the sign is called "Abraham Lincoln" and is accurately illustrated in Exhibit 9. The sign's letters will be constructed of fabricated metal with 2" depth and they will be mounted using stainless steel "L" brackets and mounting studs, as illustrated in Exhibit 11. The client's primary brand color and proposed painted finish for the letters is a dark navy (Pantone 295C). Existing signage in close proximity to Lucchese includes turquoise, red and white lettering, and other examples of medium to dark blue signage exist in the immediate vicinity. There is no proposed lighting or transparency to the sign.

Per the City Attorney's Office as communicated by Historic Preservation Division staff, the proposed sign requires three exceptions to SFCC 14-5.2(D)(9)(c)(ii)(E), which refers to the signage regulations specified in SFCC 14-8.10(H)(26)(a)(i). The sign's letter height will exceed twenty inches, the area will exceed twenty square feet, and the sign will be mounted more than fifteen feet above street grade. All other requirements, including uniform color, lighting and material, are in compliance. We believe that we meet the criteria for these exceptions and that both the tenant and the Plaza will benefit from maintaining the historical and existing architectural character of the building.

Exception criteria 14-5.2(C)(5)(c): LETTER HEIGHT, as regulated by 14-8.10(H)(26)(a)(i):

- (i) *Do not damage the character of the district;*  
The proposed sign will not damage the character of the district as it is a 40% decrease in letter height from the existing sign. Additionally, the presence of a sign at this scale on this façade upholds the original character of the 1954 façade, designed to accommodate Levine Department Store's wall-mounted sign, which was roughly 4'-0" tall (see attached Historic Pictures of 50 Old Santa Fe Trail). A sign has been the dominant architectural feature of this façade for the past 50+ years and the proposed sign seeks to honor this historic condition.
- (ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare;*  
The west façade of 57 Old Santa Fe Trail has a total area of 1286 square feet with 350 square feet originally designed to support a large sign. The letter height requirement creates a hardship on this façade as 20" tall lettering will be entirely out of scale with the surrounding façade features and will be ineffective in terms of wayfinding and branding purposes as it hardly will be visible.
- (iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;*  
The tenant has considered designing to comply with sign letter height regulations, however, it will be a disservice to both the tenant's business and the visual experience of the Plaza. The only other alternative is to keep the existing sign in place, which has letter height up to 5'-0".

- (iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*  
The proposed letter height is needed in order for the wall sign on this particular façade to remain in scale with the area of the mounting location. As previously stated, when the style of the original First National Bank building was altered, this façade was redesigned by John Gaw Meem to accommodate a wall-mounted sign of a much larger scale than is currently permissible by code. An exception is therefore needed for an appropriately scaled sign to be placed in this location.
- (v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant;*  
The size and scale of the mounting location for a wall sign was created in 1954 by John Gaw Meem and the owners of the building at that time. The special conditions of the scale of the mounting location for the sign are therefore not the result of any actions by the Applicant and require a larger letter size in order to achieve harmony between the scale of the building and the letter height of the proposed sign.
- (vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*  
The stated purpose of SFCC 14-5.2 is “to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city.” To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building’s design, in which one of the city’s most famous architects called for a large wall-mounted sign, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign’s dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city’s economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant’s need for brand identification and the public’s need for effective wayfinding.

Exception criteria 14-5.2(C)(5)(c): SIGN AREA, as regulated by 14-8.10(H)(26)(a)(i):

- (i) *Do not damage the character of the district;*  
As stated above, the proposed sign will not damage the character of the district as it is a 51% decrease in coverage area from the existing sign. As seen in the attached historic images, the historic Levine’s sign had roughly 96 square feet of area. The proposed sign aims to honor this historic condition with a design that is similarly scaled.
- (ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare;*  
The width to height ratio of the Lucchese logo is 8.5x1, meaning that to maintain less than 20 square feet of coverage, the sign could be a maximum 1’-6” tall and 12’-9” long. As described above, a sign of this size will be out of scale and a disservice to the historical façade, which was specifically designed to support a dominant sign. It will also lose any efficacy due to lack of visibility.

- (iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*  
As stated above, the design alternative to create a smaller sign will be a disservice to the tenant's business and visual experience of the Plaza. The only other alternative is to keep the existing sign, which has a coverage area of 70 square feet.
- (iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*  
The proposed sign area is needed in order for the wall sign on this particular façade to remain in scale with the area of the mounting location. As previously stated, when the style of the original First National Bank building was altered, this façade was redesigned by John Gaw Meem to accommodate a wall mounted sign of a much larger scale than is currently permissible by code. An exception is therefore needed for an appropriately scaled sign to be placed in this location.
- (v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant;*  
The size and scale of the mounting location for a wall sign was created in 1954 by John Gaw Meem and the owners of the building at that time. The special conditions of the scale of the mounting location for the sign are therefore not the result of any actions by the Applicant and require a larger sign area in order to achieve harmony between the scale of the building and the scale of the proposed sign.
- (vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*  
The stated purpose of SFCC 14-5.2 is "to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city." To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building's façade design, in which one of the city's most famous architects called for a large wall-mounted sign, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign's dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city's economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant's need for brand identification and the public's need for effective wayfinding.

Exception criteria 14-5.2(C)(5)(c): MOUNTING HEIGHT, as regulated by 14-8.10(H)(26)(a)(i):

- (i) *Do not damage the character of the district;*  
The proposed sign will not damage the character of the district as it maintains the mounting height of the existing sign. A sign mounted in this location upholds the original character of the 1954 façade and the position of the Levine's sign (see attached historic images).
- (ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare;*  
Given that the height of the portal on this façade is 14'-0" above grade, in order to comply with the mounting height provision, the sign would need rest directly on top of the portal (see Compliant Sign Exhibit). This would make the sign virtually invisible from the Plaza, hence why an exception was granted previously to accommodate for a higher mounting height.

- (iii) *Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*  
Mounting the proposed sign to comply with sign code requirements is not feasible as it will not be visible above the building's portal. The client considered mounting the sign to the front of the portal, but it is on City property and not permissible. The façade of 57 Old Santa Fe Trail beneath the portal is glass and does not support the mounting of a wall sign.
- (iv) *Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other land or structures in the streetscape;*  
The proposed mounting height is needed in order for the wall sign on this particular façade to be visible to pedestrians and vehicles attempting to navigate the downtown area. As previously stated, Santa Fe Style portales were added to the entire Plaza by John Gaw Meem and city officials in the 1960s. These portales now require a higher mounting height than is currently permissible by code in order for wall-mounted signage to be legible for buildings that face the Plaza.
- (v) *Are due to special conditions and circumstances which are not a result of the actions of the applicant;*  
As stated above, the portales that were added in the 1960s by Meem and city officials resulted in a special circumstance in which a higher mounting height is required for wall-mounted signs to be visible and legible in most locations around the Plaza. This condition was not the result of any action by the Applicant.
- (vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).*  
The stated purpose of SFCC 14-5.2 is “to promote the economic, cultural, and general welfare of the people of the city and to ensure harmonious, orderly and efficient growth and development of the city.” To achieve this purpose, SFCC 14-5.2(A)(1) calls for the preservation of historical areas and buildings, the continued construction of buildings in historical styles, and general harmony between historic buildings and more modern ones. This application seeks to honor the historic building's façade design, in which one of the city's most famous architects called for a large wall-mounted sign mounted higher than the current code allows, while tempering that intention with a reduced scale in order to more closely match the current sign regulations. The application therefore represents a balance between historic preservation principles and efforts to mitigate the sign's dimensions as called for in the current sign code. A compliant sign (see attached illustration) would result in a negative impact for the district, the Applicant, and the public, as the sign would neither be legible for wayfinding nor serve the city's economic or cultural welfare. The application provides the least negative impact on the district while achieving the Applicant's need for brand identification and the public's need for effective wayfinding.

In support of these requests, the following documentation is submitted herewith for your review:

1. HDRB Application
2. Letters of Owner and Applicant Authorization
3. Legal Lot of Record Documentation
4. Preliminary Zoning Review Worksheet
5. Historic Photographs
6. Current Photographs
7. Existing West Elevation - Illustrative

8. Existing West Elevation – Scaled Drawing
9. Proposed West Elevation - Illustrative
10. Proposed West Elevation – Scaled Drawing
11. Proposed Mounting Detail
12. Elevation if Compliant with Sign Regulations
13. HDRB Findings Case #H-10-119A (January 11, 2011)
14. HDRB Minutes Case #2022-005470-HDRB (August 9, 2022)
15. BOA Draft Minutes (January 3, 2023).

Your consideration of this request is greatly appreciated. Please do not hesitate to contact us should you have any questions or need additional information. Thank you.

Sincerely,



Lisa Gavioli  
Senior Project Manager  
JenkinsGavin, Inc.





128.79

Indicates survey corners marked as shown.

S N13°25' E 101.58' to spike  
at SE intersection Paloce & Shelby.  
576°35' E  
T mark on walk

JOHANNA BLATT

89.59' N75°45' E  
SE cor. CATRON BLDG.

39.20' S15°58' W  
Cor. wall intersection.

SHELBY STREET

S25°05' W N13°25' E

X mark on walk  
104.47'

V mark on top wall?  
N76°35' W  
areaway  
49.80'

FILOMENA LAMY WHEELON

Double Chimney  
For common use

N77°39' W 5.59'

CATHOLIC PUBLISHING CO.

S76°03' E  
8.70'  
N13°57' E  
25.2'  
4.35'  
4.55'  
24.95'  
S13°57' W  
N77°39' W

N78°11' W  
18.41'  
S14°39' W 1.58'

67.21'

Sewer Manhole



CERTIFICATE

I hereby certify that this plat and the field notes thereon are a true and correct copy of a survey made in the field under my direction May 30-31, 1953.

James C. Harvey

E. SAN FRANCISCO ST.

TRACT OF LAND  
SURVEYED FOR

FIRST NATIONAL BANK  
PRECINCT 18 - SANTA FE N. M.  
May 30-31, 1953 Scale 1"=20'

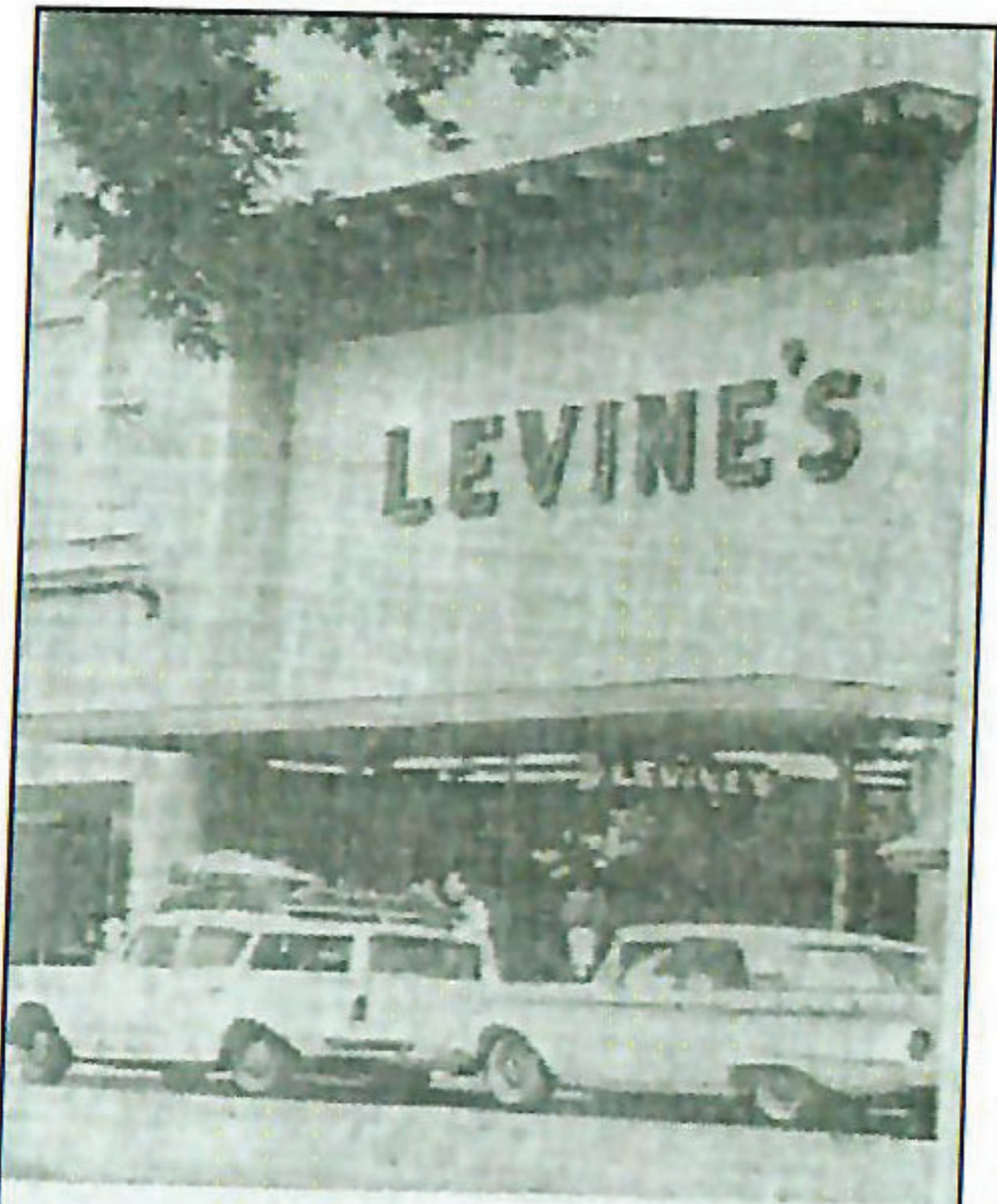
MEEM'S ARCHITECTURAL CAREER



Fig. 17. First National Bank Building, remodeling, East—Chicago, 1954

Meem Rendering of Levine's 1954 – Above

MEEM CONCEPT  
SIGN 28' w. x 7' h.



**THE MODIFIED TEMPLE**—The old First National building with its new facade.

1954-1976  
SIGN 24' w. x 4' h.

SANTA FE, NEW MEXICO



Figure 63. Shelby Street at the Plaza with the First National Bank in foreground, La Florida in background to the left, c. 1928. Courtesy of Museum of New Mexico #51875.

FIRST NATIONAL BANK OF SANTA FE

Apparently the members of the Board of the First National Bank of Santa Fe felt that the classicizing style was appropriate for the new bank, so Rapp provided an excellent example for their headquarters on the east side of the Plaza (fig. 63). The structure was redesigned later by John Gaw Meem and the bank moved diagonally across the Plaza to its northwest corner in the place of the Ojate Theater.<sup>7</sup> A two-story portico of Ionic columns *in antis* stood on a stone base along the sidewalk. The entrance and two flank-

ing windows on the first floor were almost doubled on the second and completely glazed. The columns, the enclosing pilasters, the full entablature, and a slightly raking cornice completed this very forthright statement. The interior (fig. 64) was all white, as was the facade. A loggia was placed over the vestibule, and a coffered and coved ceiling covered the main commercial room. Ionic columns and doubled pilasters supported the cornices. The design was crisp in detail and very similar to that found in the Capitol and the Executive Mansion.



THE OLD FIRST NATIONAL—The First National's old Greek temple on the eastern side of the Plaza. The bank moved across the Plaza in May, 1954.

FIRST NATIONAL BANK  
57 OLD SANTA FE TRAIL



TOTAL FACADE WIDTH  
41'-6" 41'-6"

SIGN WIDTH  
14'-0"

TOTAL FACADE HEIGHT  
31'-0" 31'-0"

TOP OF SIGN  
EXISTING HEIGHT  
21'-0"

*Lucchese*

SIGN HEIGHT  
5'-0"

TOTAL FACADE AREA: 1286 sqft  
EXISTING SIGN AREA: 70 sqft

*Lucchese*

17'-6"

0 4' 8' 16'



TOTAL FACADE WIDTH  
41'-6" 41'-6"

SIGN WIDTH

SIGN WIDTH 14'-0"  
SIGN WIDTH 17'-0"

TOP OF SIGN  
EXISTING HEIGHT  
19'-6"

TOP OF SIGN  
PROPOSED HEIGHT  
21'-0"

SIGN HEIGHT  
2'-0"

SIGN HEIGHT  
5'-0"

TOTAL FACADE HEIGHT  
31'-0"

TOTAL FACADE HEIGHT  
31'-0"



Painted Finish in  
Pantone 295C (Preferred)

TOTAL FACADE AREA: 1286 sqft  
EXISTING SIGN AREA: 70 sqft

LUCCHESI

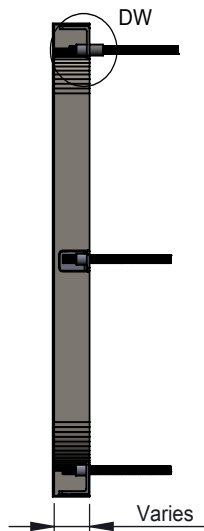
17'-6"

Proposed West Elevation





FRONT VIEW II SCALE 1:5



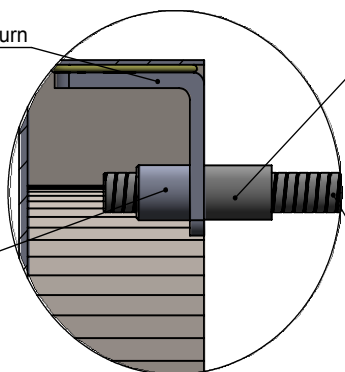
SECTION A-A II SCALE 1:5

"L" bracket secured with high resistance epoxy to return

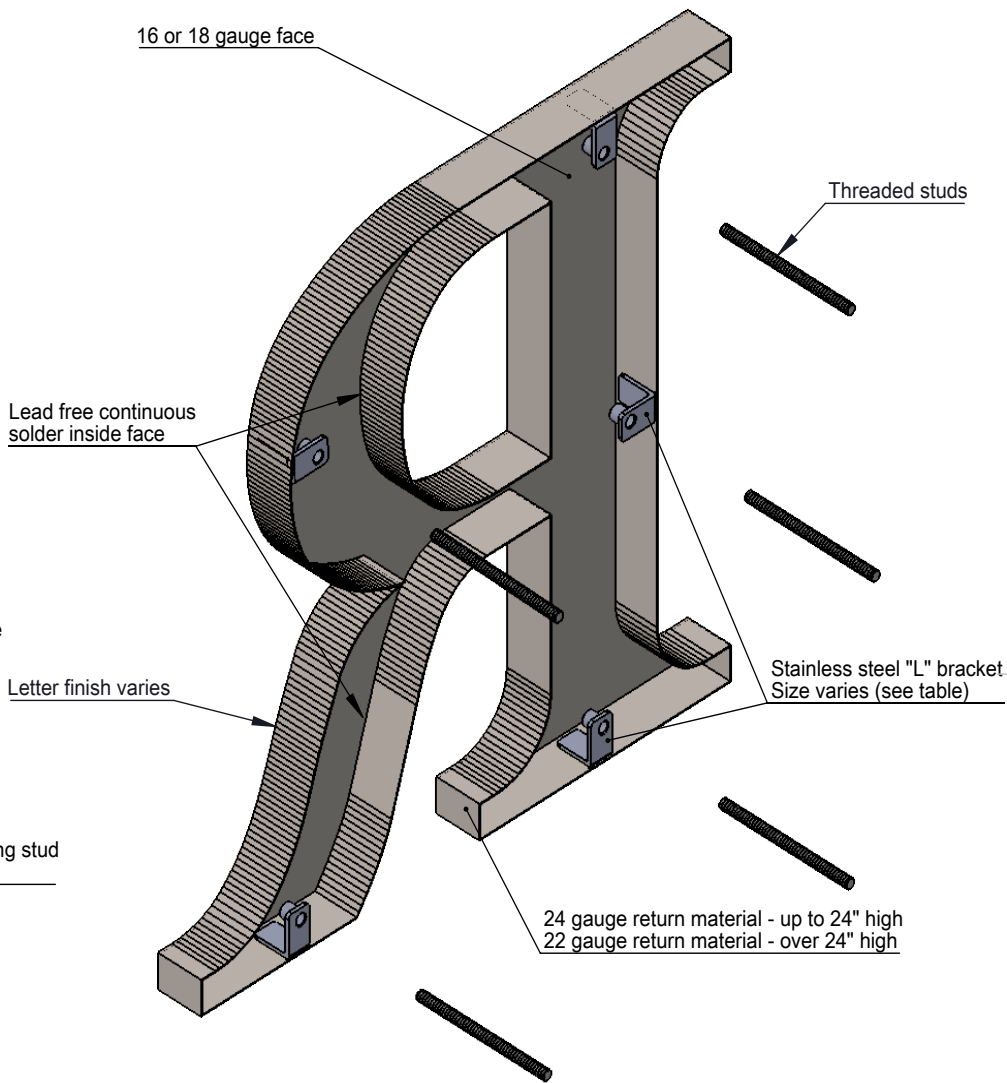
Optional spacer sleeve (Size varies)

Threaded Stud Boss Size varies by bracket

Stainless steel mounting stud Size varies (see table)



DETAIL DW II SCALE 1:1



ISOMETRIC BACK VIEW II SCALE 1:3

LETTER SIZE	MIN. DEPTH AND STROKE		BRACKET	STUD
up to 8"	0.6"	15 mm	Small	6 - 32
over 8" to 24"	1.0"	25.4 mm	Medium	10 - 24
over 24"	2.0"	44.5 mm	Large	1/4 - 20

NOTES:  
 - Min. 3/8" stroke  
 - Return grain will run around the perimeter of the letter

**MATERIAL OPTIONS**

Standard - 304 prefinished stainless steel  
 Optional - 316 prefinished stainless steel (more corrosion resistant)  
 - 304 prefinished stainless with titanium coating

TITLE:

**METAL FACE NO BACK - SIDE MOUNT**

MATERIAL:

**STAINLESS STEEL**

PRODUCT TYPE:

**FABRICATED METAL**

LUOQUESE



City of Santa Fe  
Historic Design Review Board  
Findings of Fact and Conclusions of Law

Case #H-10-119A

Address – 57 Old Santa Fe Trail

Owner/Applicant's Name – Lee Welsh

Agent's Name – Robert Zachary Architect, Inc.

THIS MATTER came before the Historic Design Review Board (Board) for hearing on January 11, 2011 upon the application (Application) of Robert Zachary Architect, Inc., as agent for Lee Welsh, owner.

57 Old Santa Fe Trail, previously known as the First National Bank and also known as Levine's Department Store, was originally constructed in 1912 in the Beaux Arts Classical Revival style with large fluted Ionic columns and a denticulated cornice. In 1954, the bank moved across the Plaza and John Gaw Meem designed a simplified Spanish-Pueblo Revival remodel for Levine's with a very heavy cornice or large corbels surmounting a blank wall with space for the large signage. This remodel is now of historic age. In the late 1960s, Meem designed portals around the Plaza which included this building. The cantilevered portal was altered at that time. The building is listed as non-contributing to the Downtown & Eastside Historic District.

The Staff requested an historic status review of this property.

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT


1. The Board heard testimony from staff, the Applicant, and other people interested in the Application; and
2. Board staff recommended that the Board upgrade the historic status of the building from non-contributing to contributing with the west elevation as primary in compliance with Section 14-5.2(C)(2); and
3. The Property is located in the Downtown & Eastside Historic District and is subject to the requirements of the following sections of the Santa Fe Land Development Code:
  - (a) Section 14-5.2(C)(2), Designation of Status within Historic Districts; and
4. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's Project to assure overall compliance with applicable standards.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

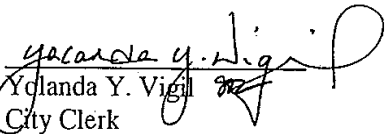
1. The Board concludes that the Project is in compliance with Section 14-5.2(C)(2) Designation of Status within Historic Districts by upgrading the historic status of the building from non-contributing to contributing due to historic dates of construction and remodeling and the good degree of historic integrity with the west elevation designated as primary..

IT IS SO ORDERED ON THIS 25<sup>th</sup> DAY OF JANUARY 2011 THE HISTORIC DESIGN REVIEW BOARD OF THE CITY OF SANTA FE.

  
Sharon Woods  
Chair

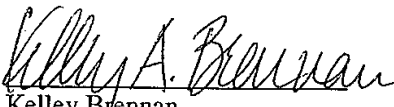
1/25/11  
Date:

FILED

  
Yolanda Y. Vigil  
City Clerk

1/31/11  
Date:

APPROVED AS TO FORM

  
Kelley Brennan  
Assistant City Attorney

1/25/11  
Date:

City of Santa Fe  
Historic Design Review Board  
Findings of Fact and Conclusions of Law

Case #H-10-119B

Address – 57 Old Santa Fe Trail

Owner/Applicant's Name – Lee Welsh

Agent's Name -- Robert Zachary Architect, Inc.

THIS MATTER came before the Historic Design Review Board (Board) for hearing on January 11, 2011 upon the application (Application) of Robert Zachary Architect, Inc., as agent for Lee Welsh, owner.

57 Old Santa Fe Trail, previously known as the First National Bank and also known as Levine's Department Store, was originally constructed in 1912 in the Beaux Arts Classical Revival style with large fluted Ionic columns and a denticulated cornice. In 1954, the bank moved across the Plaza and John Gaw Meem designed a simplified Spanish-Pueblo Revival remodel for Levine's with a very heavy cornice or large corbels surmounting a blank wall with space for the large signage. This remodel is now of historic age. In the late 1960s, Meem designed portals around the Plaza which included this building. The cantilevered portal was altered at that time. The building is listed as contributing to the Downtown & Eastside Historic District and the west elevation is designated as primary.

The Applicant requested a remodeling project (Project) to redesign the west façade glass doors and windows and to install signage. Two exceptions are requested to install a building wall sign above the 15' height limit (Section 14-8.10(H)(26)(D)) and to exceed the maximum 20" letter height (Section 14-8.10(H)(26)(B)).

After conducting public hearings and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

FINDINGS OF FACT

1. The Board heard testimony from staff, the Applicant, and other people interested in the Application; and
2. Zoning staff has determined that the Application meets underlying zoning standards; and
3. Board staff recommended that the Board approve the Application as having met the exception criteria to install a building wall sign above the 15' height limit (Section 14-8.10(H)(26)(D)) and to exceed the maximum 20" letter height (Section 14-8.10(H)(26)(B)); and
4. The Property is located in the Downtown & Eastside Historic District and is subject to the requirements of the following sections of the Santa Fe Land Development Code:
  - (a) Section 14-5.2(C)(5) Exceptions; and
  - (b) Section 14-5.2(D)(1)-(9), General Design Standards for All H Districts; and
  - (c) Section 14-5.2(E), Downtown & Eastside Historic District; and
5. Under Sections 14-5.2(A)(1)(b) and (c), 14-2.7(A)(1), and 14-2.7(A)(3), the Board has the authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards; and

Case #H-10-119B, page 2

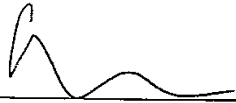
- Under Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new exhibits, satisfactory to the Board, have been submitted.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

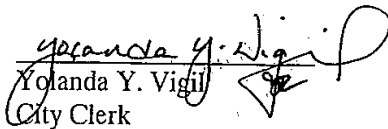
- The Board concludes that the Project has met the exception criteria as submitted to install a building wall sign above the 15' height limit (Section 14-8.10(H)(26)(D)) and to exceed the maximum 20" letter height (Section 14-8.10(H)(26)(B)) with the conditions that the large sign shall be bronze or patinated copper and that the back lighting shall not violate the night sky ordinance.

IT IS SO ORDERED ON THIS 25<sup>th</sup> DAY OF JANUARY 2011 THE HISTORIC DESIGN REVIEW BOARD OF THE CITY OF SANTA FE.

  
\_\_\_\_\_  
Sharon Woods  
Chair


1/25/11  
Date:

FILED

  
\_\_\_\_\_  
Yolanda Y. Vigil  
City Clerk

1/31/11  
Date:

APPROVED AS TO FORM

  
\_\_\_\_\_  
Kelley Brennan  
Assistant City Attorney

1/29/11  
Date:

## F. STAFF COMMUNICATIONS

Ms. Piccarello noted the Lincoln Avenue doors will be the only ones open in the future for meetings. The appointments and reappointments will be presented to the Council on Wednesday. She said they appreciate the standards of the Board and the members who serve. She announced that Buddy Roybal's seat will be filled by Madeleine Aguilar Medrano and Vice Chair Katz is stepping down. His seat will be filled by Dr. Jennifer Berkley.

Vice Chair Katz said he was appointed to the Board in February 2011 and has loved serving. He feels the Board is important. He has appreciated staff's help over the years, and they could not have done this without them. Also, he appreciates his fellow Board members, who are collegial, intelligent, and a hard-working group. He said he appreciates the applicant's as well and that they come before the Board willingly and work to preserve the look of Santa Fe. He noted that the seat will be now assigned to Jennifer Berkley who has worked a long time on OSFA (Old Santa Fe Association).

Ms. Piccarello added that Ms. Aguilar will be filling the seat representing the construction industry. She noted Flynn Larson is not seeking reappointment but will join them until her seat for historian is appointed. She said Ms. Larson has been an important member in the historic preservation seat and will be working on her master's thesis.

## G. OLD BUSINESS

Vice Chair Katz explained that anyone dissatisfied with a decision of the Board has a right to appeal to the City Council.

Ms. Lamboy said those on Zoom who wish to speak should raise their hand. They will be recognized to speak after public comment by those attending in person.

1. **2022-005470-HDRB. 57 Old Santa Fe Trl.** Downtown and Eastside Historic District. Non-contributing. Lila Pickus, agent for 57 Old Santa Fe Trail, LLC, owner, requests sign replacement and exceptions to Article 14-8.10 (H)(26)(a)(i) for exceeding 20 sq. ft. in area; letter height exceeding 20"; and for mounting sign more than 15' above street grade. (Angela Schackel Bordegaray)

## **STAFF REPORT**

57 Old Santa Fe Trail is a two-story commercial block building constructed in 1912 that fronts the Plaza on its eastern elevation. It is designated contributing and its west elevation its primary façade. In the 1950s, John Gaw Meem remodeled transformed the original Beaux Arts Classical Revival Style building into a simplified Spanish-Pueblo Revival remodel.

Currently, it has commercial storefront windows on its ground floor and a large flat windowless stucco wall that extends from the portal to its parapet. In the late 1960s, Meem designed portals around the Plaza which included this building. It was previously known as the First National Bank and later known as Levine's Department Store. In 1954, the bank moved across the Plaza to its current location at the northwest corner of the Plaza.

In 2011, exceptions were granted to install a building wall sign above the 15' height limit and to exceed the maximum 20" letter height. Currently, the applicant proposes to replace the existing wall-mounted sign on the west façade. The proposed sign will be 51% smaller than the existing sign, with a maximum area of 34 square feet compared to the current 70 square feet. The letters will all be 24" in height, which is 3'-0" shorter than the largest letter on the current sign, and the sign will be mounted with the base at 17'-6" above street grade, which is the current mounting height. The proposed sign will be constructed of fabricated metal with 2" depth and will have a dark navy painted finish. There is no proposed lighting or transparency to the sign, and it will be mounted directly to the stucco wall.

The proposed sign requires three exceptions to the signage requirements outlined in Article 14-8.10 (H)(26)(a)(i). The sign area will exceed twenty square feet, the letter height will exceed twenty inches, and the sign will be mounted more than fifteen feet above street grade.

### **STAFF RECOMMENDATION**

Staff finds that the proposed navy blue lettering conflicts with 14-5.2(A)(1)(c) of the General Purpose standards that provides for preservation of "a general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design." Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District. Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony.

Member Bienvenu asked if the calculation of height at street grade is to the bottom, the middle or the top of the sign.

Ms. Bordegaray said she understood it is the bottom of the sign.

Member Bienvenu said it is an ambiguity in Code and not defined. He asked if the bottom of the sign can be 15 feet above street grade, how much higher can the entire sign be under Code.

Ms. Bordegaray said it would be embedded in the regulations for the area the sign is in, which limits it.

Member Guida said there is a maximum 20-inch letter height.

Member Bienvenu said that is the second ambiguity when talking about sign dimensions in height. Then they separately talk about letters. He said it isn't clear how high a sign can be above grade. He said he was trying to determine what kind of exceptions are requested from the normal maximum permitted under the ordinance.

Ms. Lamboy offered to research the information and get back to them.

### **APPLICANT PRESENTATION**

Lisa Gavioli, with Jenkins Gavin, 130 Grant Ave., Suite 101, was sworn.

Chair Katz recognized Ms. Gavioli. He said she is one of the staff that was a big help to the Board.

Ms. Gavioli summarized the three exceptions requested and showed the west elevation of the Plaza and surrounding buildings. The building was originally constructed in 1912 in a Neo-Classical style and one of the most dramatic changes from the turn-of-the-century to a push toward Santa Fe style. Images of Levine's Department Store when redesigned in 1954 and lettering were shown resulting in what was put on the wall. The letters were believed to be about four feet high. A Code provision mentions the replacement of, or duplication of, missing features. This sign proposed is close to the Levine's sign in 1954. She compared a mockup to the Levine lettering and the existing sign as approved with exceptions in January 2011. The sign is 14 feet wide, and lettering is 5 feet high. The top of the lettering is 21 feet high, making the bottom about 16 feet above street level. She displayed the Lucchese sign that went through a rebrand and some of the materials were shown reflecting the rebrand. Navy blue is the preferred color, and the proposed sign is 17 feet wide with 24-inch lettering. The top is 19 ½ feet and bottom is 17 ½ feet. She displayed a mockup of a sign that complies with Code that assumes the 15 feet is at the top. The sign is not legible from the street, nor appropriate for the space. She said the staff report says the color of navy blue is not compatible with the district standards. She pointed out they are working from Sign Code, 14-8.10(H)(11), that says the effort is to keep the signs *moderate, attractive, and compatible styling and the color is left to the discretion of the applicant*. She displayed examples in the businesses around the Plaza; the Five & Dime is orange; Ortega's is red, etc. She showed a dimensional comparison of what was approved in 2011 and requested today. The lettering height of the Levine sign was about four feet. Code requires a 20-inch height and approved in 2011 was a 5-foot lettering. This request is for a 2-foot lettering height. An estimate of the original Levine sign area is about 96 square feet. Approved in 2011

with an exception, the sign was 70 square feet. This request is for 34 square feet. The mounting height to the top of the sign is estimated for the Levine sign at about 22 ½ feet. In 2011, 21 feet was approved, and this request is about 19 ½ feet.

## **PUBLIC HEARING**

John Eddy, PO Box 845, Tesuque, was sworn. He thought this case was interesting. He said he appreciates the detail the applicant put into the proposal. He said this comes down to aesthetics and judgment. He thought the change in lettering and size of the lettering dominates and takes away from the architectural integrity of the space. The earlier sign was more organic in the script and disappears in the space. He thought the sign would still be effective if the size of lettering were reduced and the exception was granted to not exceed the size. The lettering is effective and easy-to-read and would be even, if a little smaller.

Stefanie Beninato, PO Box 1601, was sworn. She said logically they would calculate the sign from the bottom and it makes more sense that the bottom of the sign is 15 feet. That is smaller than the existing sign, but the existing was with an exception. The sign is striking and definitely dominates the space, and she isn't sure they need to grant a larger type. She thought 20 inches will get everyone's attention. She added that she was hoping they are not proposing to restucco in the light color and wondered if the blue that was shown was the blue that would be on the building.

Ms. Lamboy noted that there were no other hands raised on Zoom.

Ms. Gavioli said she had nothing specific she wanted to respond to but thought the comparison should be the historic condition. What is there now was granted by exception. She noted it was important that John Gaw Meem installed a sign that would not meet City Code, among many other things he did. She said honoring the history of Santa Fe should hold some weight.

Vice Chair Katz was puzzled that the size of the letters of the sign now are smaller than the letters on the sign proposed. He said the area of the sign was mentioned by taking the tallest part, but that is not a fair representation of the sign. He thought the sign on the right seemed large because of that. He asked if the applicant would consider reducing the size by four inches, so an exception is not needed.

Ms. Lamboy confirmed that the maximum height is 15 feet from the top of the sign. She said staff acknowledges that one size does not fit all. That is a reason for an exception process.

Ms. Gavioli said the client is not amenable to reducing the letters and feels this is appropriate.

## **BOARD DISCUSSION**

Member Guida said he was grateful for the clarity of the applicant's presentation and explanation of history. He said his biggest takeaway is the ordinance is working to produce a considered response in a sign in the most important civic space. The ordinance has a set of rules that describe conditions and an exceptions process. The Board should move forward not with the letter of the law, but in considering the exceptions presented. He thought the one most powerful is where the intent of the Code and the applicant's response intersect, that this is an important building on the Plaza. This is a space created for a sign and a midcentury façade associated with a department store. He thought that important to preserve on the Plaza. The applicant's response for both the existing and rebranding sign fits the bill and maintains the look of the 1950s building. That creates diversity and is a record of history in Santa Fe. He was overwhelmingly in favor of the project as proposed.

Attorney Ruybalid read 14-8.10, subsection H, from the ordinance with respect to sign height in subsection A(1)(d), "*No sign shall be permitted 15 feet or more above street grade measured in front of the façade where the sign is to appear. On the wall height from the ground, it states, no wall height shall project more than 3 inches beyond the building line. However, if the sign is attached to the wall at a height not less than 6'8" from the sidewalk, it may project a maximum of 10 inches.* He read the specifics regarding the area with maximum size at 15% of the façade and that it should not exceed 20 square feet in this district; and the maximum letter size is 20 inches in height with no restriction on the number of letters, words, or lines.

Ms. Lamboy added the reference is to street grade, not the base of the building. She noted with curbing and sidewalk, the street is lower.

Ms. Biedscheid said there is a strong argument for this proposal when compared to the existing building. The space was designed for the sign. She said she likes the continuity of preserving the sign in that space. She did not think an exception is required for the color, which is represented around the Plaza and the district. She said the other exception criteria have been met consistent with the exception granted for the current sign in 2011.

Member Bienvenu said he has seen drawings of this renovation showing the upper floor with glass. He thought the original intention of Meem was for the second floor to be plate glass. He didn't know when it turned into a blank wall with a sign, but it seems an afterthought. Secondly, he didn't know how long that sign had been there and when it was Levine's. He assumed the sign was taken down in 1976. He has seen photographs in the 80s and 90s that show a blank wall. They should not think historically that this is the original design, or the historic design of the structure. He thought the current sign is a mistake that stands out on the Plaza as billboard-like. The new sign is an improvement,

but it is less strikingly a logo. It is more a wayfinding sign as the applicant indicated. He still thought the sign was too big, but the color is fine. He said as pointed out, there are plenty of other signs in the area with a similar color scheme.

Member Bienvenu said there is no discernable reason the letters need to exceed the ordinance height limitation. This sign can be read from the Plaza and the street easily if smaller, at the same height proposed. He said he was in favor of an exception for the height. He understands the portal is a problem when looking upwards from the street. The solution is to have the height centered and visible from the street with the height of the letters and the general square footage consistent with the ordinance.

Ms. Gavioli said the intention of the letter size in the area proposed is to have a sign proportionate to the space designed to hold the sign. She said they have a rendering from Meem showing a sign in that location. She said regardless, whether the original intent, it was the final intent and what was executed. It is important to honor the history.

**MOTION:** In 2022-005470-HDRB, 57 Old Santa Fe Trl., Member Guida moved to approve the application as submitted, finding that the exception criteria for height, sign area, and mounting height have been met. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by majority (2-1) roll call vote with Members Biedscheid and Guida voting in favor and Member Bienvenu voting against.

Vice Chair Katz asked Attorney Ruybalid if the two votes is sufficient.

Attorney Ruybalid said this matter came up previously when he was acting Chair and there were three voting members. A two to one vote passes so then the motion.

2. **2022-005346-HDRB. 1204 Canyon Rd.** Downtown and Eastside Historic District. Gerald Valdez, agent for Fred and Josie Lucero, owners, Proposes window and door alterations, construct free-standing 540 sq. ft. garage to a height of 12', (maximum allowable 19'-2"), raise parapets, add retaining walls to non-contributing building. Applicant requests exceptions to SFCC 14-5.2(E)(1)(c) for window panes exceeding 30" in dimension in a publicly visible area and 14-5.2(E)(2)(b) for windows located less than 3' from the corner of a facade. (Angela Schackel Bordegaray)

***This Case was postponed.***

Ms. Snyder said it was just a softscape because they received comments back from DRT.

Ms. McCulley said what was in the packet was the old design. She said what was displayed was the actual layout.

Member Maahs confirmed with Ms. Snyder that the only change taking place to the existing structure is adding the drive through.

**Public Comment:**

No public comments.

**Board Discussion**

**MOTION:** In Case 2022-6052, 2820 West Zia Road Special Use Permit, Member Painter moved to approve with conditions of approval and technical corrections recommended by staff. The motion was seconded by Member Maahs.

**VOTE:** The motion passed unanimously by voice vote.

2. **Case #2022-6044. 57 Old Santa Fe Trail Variance.** Lila Pickus, agent for 57 Old Santa Fe Trail, LLC, owner, requests sign replacement and exceptions to Article 14-8.10 (H)(26)(a)(i) for exceeding 20 sq. ft. in area; letter height exceeding 20"; and for mounting sign more than 15' above street grade. (Heather Lamboy, Assistant Director, Land Use Department)

Member Dearing arrived at 6:15 pm.

**Staff Report:**

The building located at 57 Old Santa Fe Trail is a two-story commercial building constructed in 1912 that fronts the Santa Fe Plaza on the east side. The building is designated as 'contributing' and its west elevation is considered a primary façade for the purposes of the Historic Districts Ordinance. In the 1950s, John Gaw Meem remodeled the building and transformed the original Beaux Arts Classical Revival Style building into a simplified Spanish-Pueblo Revival style. Currently, it has commercial storefront windows on its ground floor and a large flat windowless stucco wall that extends from the portal to its parapet. In the late 1960s, Meem designed portals that were constructed on this building and other commercial buildings around the Plaza. It was previously known as the First National Bank and later known as Levine's Department Store. In 1954, the bank moved across the Plaza to its current location at the northwest corner of the Plaza. In 2011, exceptions were granted to this building by the Historic Districts Review Board, to install a building wall sign above the 15' height limit and to exceed the maximum 20"

letter height. The rationale for the extra height is that the sign would not be visible from the adjacent street due to the portal.

The applicant proposes to replace the existing wall-mounted sign on the west façade. The purpose of the sign replacement is to be consistent with the updated branding associated with the Lucchese Bootmaker brand. The proposed sign will be 51% smaller than the existing sign, with a maximum area of 34 square feet compared to the current 70 square feet. The letters will all be 24" in height, which is 3'-0" shorter than the largest letter on the current sign, and the sign will be mounted with the base at 17'-6" above street grade, which is the current mounting height. The proposed sign will be constructed of fabricated metal with 2" depth and will have a dark navy painted finish. There is no proposed lighting or transparency to the sign and it will be mounted directly to the stucco wall.

The proposed sign requires three variances to the signage requirements outlined in Article 14-8.10 (H)(26)(a)(i). The sign area will exceed twenty square feet, the letter height will exceed twenty inches, and the sign will be mounted more than fifteen feet above street grade.

This case was heard by the Historic Districts Review Board (HDRB) on August 9, 2022. The case was approved by the HDRB. Subsequently, it was determined by the City Attorney's Office that, in the case of signs, the HDRB has no authority under current City code and that approval was made in error. It was stated that variances should be sought through the Board of Adjustment. As a result, this case is being presented to the BOA for review.

**Staff Recommendation:**

The Planning and Land Use Department recommends approval of the Variance with the conditions of approval as outlined in this report.

**Applicant Presentation:**

Jennifer Jenkins and Lisa Gavioli of Jenkins Gavin, 130 Grant Avenue, Suite 101, Santa Fe, NM were sworn in.

Ms. Jenkins provided a power point presentation. She showed the existing condition of the sign. She summarized the request. The existing sign approved by the Historic Board in 2011 is 70 square feet. The tallest letter is five feet. It is mounted to a height of 21 feet. The proposed sign is shrinking by over 50% to 34 square feet. The tallest letter is 24 inches and mounted at a height of 19' 6". The sign is becoming more in compliance than it has been in the last 70 years. There are constraints that make the variance necessary. She showed how the sign would look if compliant which is clear it does not help with way finding or store identification. They want a variance for a move in the right direction.

Member Painter said everything shows the sign being higher up.

Ms. Jenkins said the sign would be mounted at the lowest height in comparison to the current sign which is 21 feet. The proposed sign is 19' 6".

Member Painter asked how the sign is more visible if it's shrunk by two feet.

Ms. Jenkins said because they made an effort to bring it as low as they could and ensure visibility.

Member Alexander confirmed that it went through Historic Districts Review Board, and it was approved.

Ms. Jenkins said the proposed sign is a lot more subtle.

### **Public Comment:**

Stefanie Beninato, PO Box 1601, Santa Fe, NM was sworn. She said she is opposed to this variance. The H-Board decision was fatally flawed. There was a quorum of four people but only two people voted for it which is not a majority of the quorum. The discussion was about the sensitive design and being in the Spirit of the Law. But what wasn't looked at and hasn't been discussed at this meeting is 14-5.2(A)(6) which is about nonconforming structures, including signs. The Levine sign started in 1954 and ended in 1978. Thirty-three years later an exception was granted. But under 14-5.2(A)(6), it says "an exception may never granted for nonconforming sign." If looking at what historic allows, it does not allow you to grant another nonconforming sign. In terms of the variance, there are no special circumstances that make it infeasible to develop the property. It's not unreasonable to not have a second story sign. No other merchant on the Plaza has a second story sign. There's no need to have a sign changed everytime the corporate logo changes. The 15 feet is an obvious policy decision in the Historic zone not to have second story signs. It's not in the public interest to allow the sign. She doesn't know why signs are needed today, being there are map apps and GPS. The Ordinance should control. She works on the Plaza and important not have corporate logos everywhere making it look like everywhere else. She asked the Board to deny the variance.

There being no further public comments, Chair Friedman closed the public hearing.

### **Board Discussion**

Ms. Jenkins said the actions of the H-Board demonstrate one thing, that they were supportive and comfortable with the request. However, their action is also null and void. It was determined that that was not the appropriate action for approval of the sign. Their consideration of the sign is important for this Board being that the H-Board was comfortable with this proposal. But that decision has been tossed, that is why the applicant is now before this Board.

Member Painter asked if there's anything in the Code that talks about corporate logos, especially on the Plaza.

Ms. Moore said the Sign Ordinance doesn't talk about corporate logos. There are specific criteria about colors and size, etc.

Member Painter said malls will have guidelines about what signs can look like.

Ms. Moore said if their logo fits the sign criteria, it can go up.

Member Winston asked Attorney Feghali to address 14-5.2(A)(6) and nonconformity, that would be helpful.

Attorney Feghali said when the request went to the H-Board, they thought that it fell in their jurisdiction for design criteria. When staff looked at it further, they found there was no design criteria in the decision. This was purely a height variance. While the decision of the H-Board happened, it is not binding in any way. This would be a new decision that the Board of Adjustment is making.

Member Winston asked Attorney Feghali to address Ms. Beninato's comments that the applicant wants to enlarge the nonconformity which according to Ms. Beninato is contrary to 14-5.2(A)(6).

Attorney Feghali said she did not see that in that section. It says, "if they are not conforming to the architectural style or sign standards they shall be considered nonconforming." In this case, design was not a factor because it meets all the sign criteria, except for the height variance.

Member Maahs stated this Board is now in charge of passing a judgement on a nonconforming sign which does not meet 14-5.2(A)(6), height requirements nor does it meet the volume requirements, it exceeds both. He asked if that was correct?

Chair Friedman said they are looking for a variance because it does not meet the height requirement or the placement.

Ms. Gavioli said the Code section is 14-18.10(H). That includes height, size and mounting.

Chair Friedman confirmed that the variance is for all three.

Member Dearing said she finds that if this is not approved, they are going to leave the old sign up which exceeds the current design standards, plus it also looks like 1950. The new branding is quite attractive and more in keeping with the Ordinance, as it is written.

Member Maahs confirmed the old sign can remain if this is not approved.

Member Painter said he's conflicted because he has concern with logos going up. He's lived at places that have outdoor malls, that have national businesses that come in and it gets to be like a carnival. He doesn't care for the old sign, but he hates to approve something that can come back because someone says you approved a corporate logo sign to go up as recently as 2023. Then we have a hard time turning down somebody else.

Member Winston said it's a unique fact pattern in that there is an existing sign. Every case would be reviewed, and decisions would be determined on a case-by-case basis.

Member Maahs asked if any other business on the Plaza has a second story sign.

Ms. Lamboy said the bank and Five and Dime are the only two that exist on the Plaza with a wall sign. With reference to the 15-foot height, that is generally throughout the city for wall signs. With reference to the design and logo issues, that's left up to the Board or staff if staff is reviewing the application. The Code is silent on logos.

Chair Friedman said he's not worried about setting a precedence because the Board reviews items on a case-by-case basis. There's an existing non-conforming sign there that's being replaced by a less non-conforming sign.

Attorney Feghali said there's a provision in the Sign Code that says, "no permanent sign shall be placed on the balcony, gallery shed, roof, door or window or placed so as to disfigure any architectural features or detail of the building." This is one of very few places on the Plaza that could have a large second story sign because this is a blank second story wall.

Ms. Jenkins said it was designed by John Gaw Meem, specifically to accommodate a sign.

**MOTION:** In Case #2022-6044, 57 Old Santa Fe Trail Variance, Member Winston moved to approve the variances subject to the conditions of approval and technical corrections recommended by staff. The motion was seconded by Member Dearing.

**VOTE:** The motion passed by majority voice vote. Member Painter opposed the motion.

3. **Case #2022-6010. 50 Mount Carmel Special Use Permit.** Jennifer Jenkins, of Jenkins Gavin, Inc., Agent, for Santa Fe RC2, LLC c/o Modern Elder Academy, Applicant, requests approval of a Special Use Permit for the property located at 50 Mount Carmel Road to allow for the expansion of the property's use as an educational retreat center by adding a new building

# City of Santa Fe, New Mexico

# memo

**DATE:** March 14, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Ramon Sarason, Senior Planner, Historic Preservation Division

---

**Case # 2023-006399-HDRB**

**Address: 650 Canyon Rd (Status of accessory shed).**

**Historic Status: Not Surveyed**

**Historic District: Downtown and Eastside**

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

District Standards & yard wall & fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

**APPLICANT SUBMITTALS**

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

**STAFF RECOMMENDATION:**

Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

**BACKGROUND & SUMMARY:**

This house, erected by Ignacio J. Moya in 1914, sits midway on the south side of Canyon Road. The simple, side-gabled adobe building is currently under renovation after a plan approved by the HDRB (Case #2020-001615). An adobe shed of more recent vintage sits behind it, not visible from the public right of way. Proposed for Demolition. Estimated date of construction: prior to 1958. A plywood and metal panel shed roof was added in the 1990's, changing the previous flat roof and removing parapets.

## **RELEVANT CODE CITATIONS:**

### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

### Yard Wall Height:

#### 14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

### Sloping Sites:

#### 14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

### Windows & Doors:

#### 14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
  - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
  - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
  - (iii) No existing opening shall be closed.

- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

#### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

##### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

##### 14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

##### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

##### 14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### Removal of Historic Material/Demolition:

##### 14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

##### 14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair or structural stability of the structure under consideration.

##### 14-5.2(E) Downtown and Eastside Design Standards

###### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which

case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;

- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

## (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



P.O. Box 5061  
Santa Fe, NM 87502-5061  
505.992.8382

**To:** Historic Preservation Dept.  
City of Santa Fe, New Mexico

## Request for Status Review and Proposal of Demolition for the shed located at 650 Canyon Road.

To whom it may concern:

### **Status Review**

This letter serves as a formal request to ask for a review of the status of a standing structure located at 650 Canyon Road, behind the primary structure. This small building is a shed that is currently in disrepair. It has sat unused and vacant for the better part of 25 years, much like the structure that it is subservient to on the property. In its current or foreseeable state, it offers limited functionality and utility to the property.

When the front building was evaluated and received its status and designations this structure was not included. We would like to ask for a status review and any designation that is deemed pertinent in this case as well.

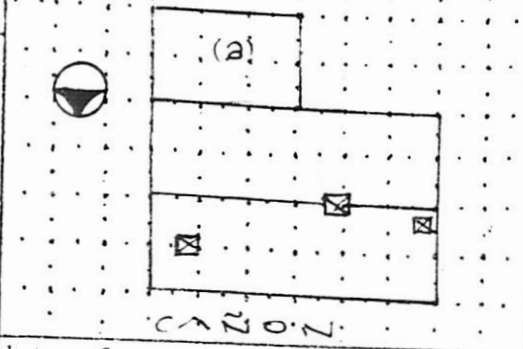
### **Request for Demolition**

This shall serve as a formal request, pending status designation, to remove the existing shed structure located behind the primary building at 650 Canyon Road. This request is being presented on the grounds that the current shed impedes the ongoing development of an ADA compliant pathway. That it is in disrepair, an eyesore, and could become a hazard to the property. It may also be an obstacle to any future uses of the property.

### **NOTE:**

A site plan, specifications, and all required technical information are all located in the corresponding HCPI report submitted on this matter. This includes a layout, footprint, measurements, site plan, etc.

building threatened? yes	surveyed date 1-21-84 by mb	county Santa Fe	ID no. 05161-1332
field map SFHD - 6-1332	number	UTM reference easting zone 12 13	northing
location description 650 CANYON		city/town SANTA FE	land grant/reservation
building name	legal description tnsp N S range E W sec		
film roll by mb no. 13	negative nos. 11	loc. of neg. HPE	plan shape



date of construction Re 1928 estimate actual
source Bus/Directory
use present residential other
historic residential other
condition excellent good X fair deteriorating
degree of remodeling X minor moderate major
describe:

style <del>Territorial</del> NMV	foundation material NV
	wall material/surface Adobe Stucco

architectural features  
 Roof - Transverse gable, shed et@, terne plate, 3 chi  
 Msry chimneys, 1 mt 1 flue, gutter w long extensions  
 Bracketed purlins, wd fascia under gable, exp. rafters  
 Windows - 6/6 wd, 3/1 et@ slips sills  
 lug sills to E. Windows recessed, stucco bullnosed  
 Under eave is a tag shutter  
 Door - 3 lite w/red screen door to outside


surroundings Res/Com
relationship to surroundings X similar not similar
district potential yes no
significance eligible X of none
if eligible, interest why? contrib.
associated buildings? yes what type?
if inventoried, list ID nos.
see back? yes

comments  
 and street

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

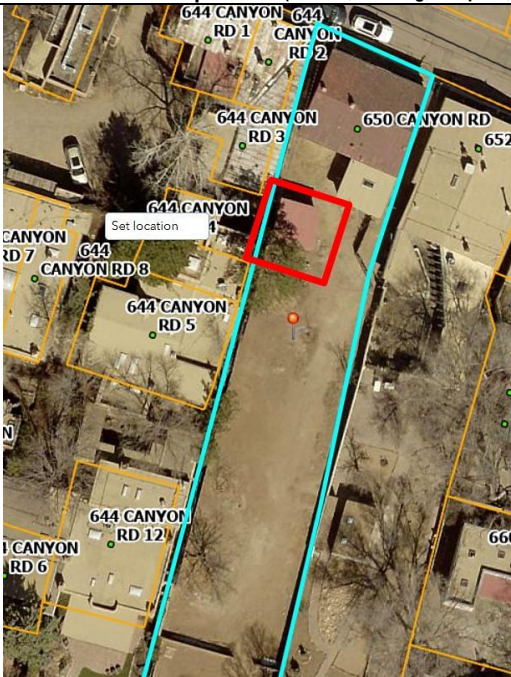

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date: February 10, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID #: H-1067  <b>4. County: Santa Fe</b> Parcel # 11805568
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> January 3, 2023		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: 1984 <input checked="" type="checkbox"/> No: The shed has been recorded		
<b>8. Name of Project:</b> Status Evaluation		
<b>9. Lat/Long:</b> 35.6811149,-105.927044		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. Photo 1: View of east elevation, facing northwest.		
<b>11. Brief Description of the Property:</b>  This house, erected by Ignacio J. Moya in 1914, sits midway on the south side of Canyon Road. The simple, side-gabled adobe building is currently under renovation after a plan approved by the HDRB (Case #2020-001615). A small shed of more recent vintage sits behind it, not visible from the public right of way. Proposed for demolition, the shed is being evaluated for its potential to contribute to the Downtown and Eastside Historic District.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Storage		
<b>13. Construction Date:</b> Date: Before 1958 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

<p><b>16. Additional Perspective:</b> (Photos, drawing, footprint, etc., indicate north arrow when possible)</p>  <p>Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p>	<p><b>17. Surveyor:</b> (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 <a href="mailto:John@archhistoryservices.com">John@archhistoryservices.com</a> w/ Giulia Caporuscio</p> <p>For: Current owner: Patrick Rayes Family Partnership LTD</p>
	
<p><b>18. Owner (if known) and other knowledgeable people:</b></p> <p>Current owner: Patrick Rayes Family Partnership LTD</p>	
<p><b>19. Is Property Endangered?</b>    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> No    <input type="checkbox"/> Yes    How?</p>	
<p><b>20. Significance to Current Community:</b>    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> None    <input type="checkbox"/> Low    <input type="checkbox"/> Moderate    <input type="checkbox"/> High Describe: Unknown</p>	
<p><b>21. Other Significance or Information of Interest:</b> (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p><b>22. National or State Register:</b></p> <p>Is this property individually listed on a historic register?    <input type="checkbox"/> Unknown    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes If yes:    <input type="checkbox"/> State    <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing?    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p><b>23. National or State Historic District: City of Santa Fe</b></p> <p>Is this property in a historic district?    <input type="checkbox"/> Unknown    <input type="checkbox"/> No    <input checked="" type="checkbox"/> Yes If yes:    <input type="checkbox"/> Significant    <input type="checkbox"/> Contributing    <input type="checkbox"/> Non-contributing    <input checked="" type="checkbox"/> No Status Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district?    <input type="checkbox"/> State    <input type="checkbox"/> National    <input checked="" type="checkbox"/> City of Santa Fe: Downtown and Eastside Historic District</p>	
<p><b>24. Supplemental Forms:</b></p> <p><input type="checkbox"/> None    <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2)    <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>																							
HCPI No. _____	District No. _____	NRHP _____	SRCP _____																				
Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D																							
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID # H-1067  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> January 3, 2023																					
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																							
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:			<b>7. Number of Stories:</b> <u>  </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <u>  </u> 2 1/2 Other: _____  <b>8. Foundation:</b> <u>  </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u>  </u> Stone Other: Notes  <b>9. Roof:</b> <u>  </u> N/A  Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input checked="" type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																				
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>6/6</td> <td>1</td> </tr> <tr> <td>Fixed (barn sash)</td> <td>Wood</td> <td>6</td> <td>1</td> </tr> </tbody> </table> Note: Based on visibility and access during survey		Operation	Material	Glazing	Number	Single-Hung	Wood	6/6	1	Fixed (barn sash)	Wood	6	1	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>4-panel</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	4-panel	Wood	1
Operation	Material	Glazing	Number																				
Single-Hung	Wood	6/6	1																				
Fixed (barn sash)	Wood	6	1																				
Type	Style	Material	Number																				
Single-Leaf	4-panel	Wood	1																				
<b>12. Chimneys</b> <input checked="" type="checkbox"/> <u>  </u> N/A		<b>13. Porches</b> <input checked="" type="checkbox"/> <u>  </u> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																					
<b>14. Other Significant Features</b> N/A																							
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <u>  </u> No known modifications  <b>#1 Date:</b> c.1990s: removal of roof structure and replacement with plywood deck and metal roofing material; visual and material evidence and Moya family memory																							

**HCPI Detail Form (FORM 2)**

*(Continued from other side)*

**16. Primary Architectural Style**           Not Applicable

- |   |                            |                             |                              |                                    |
|---|----------------------------|-----------------------------|------------------------------|------------------------------------|
| <u>    </u> Art Deco/Streamline Moderne | <u>    </u> Gothic Revival | <u>    </u> Mission Revival | <u>    </u> Pueblo           | <u>    </u> Spanish-Pueblo Revival |
| <u>    </u> Bungalow/Craftsman          | <u>    </u> International  | <u>    </u> Neo-Classical   | <u>    </u> Queen Anne       | <u>    </u> Territorial            |
| <u>    </u> Colonial Revival            | <u>    </u> Italianate     | <u>    </u> Northern NM     | <u>    </u> Ranch            | <u>    </u> Territorial Revival    |
| <u>    </u> Folk Victorian              | <u>    </u> Mediterranean  | <u>    </u> Prairie         | <u>    </u> Spanish-Colonial | <u>    </u> Tudor Revival          |

Notes:      Other: Vernacular

**17. Documents Available and Their Locations**

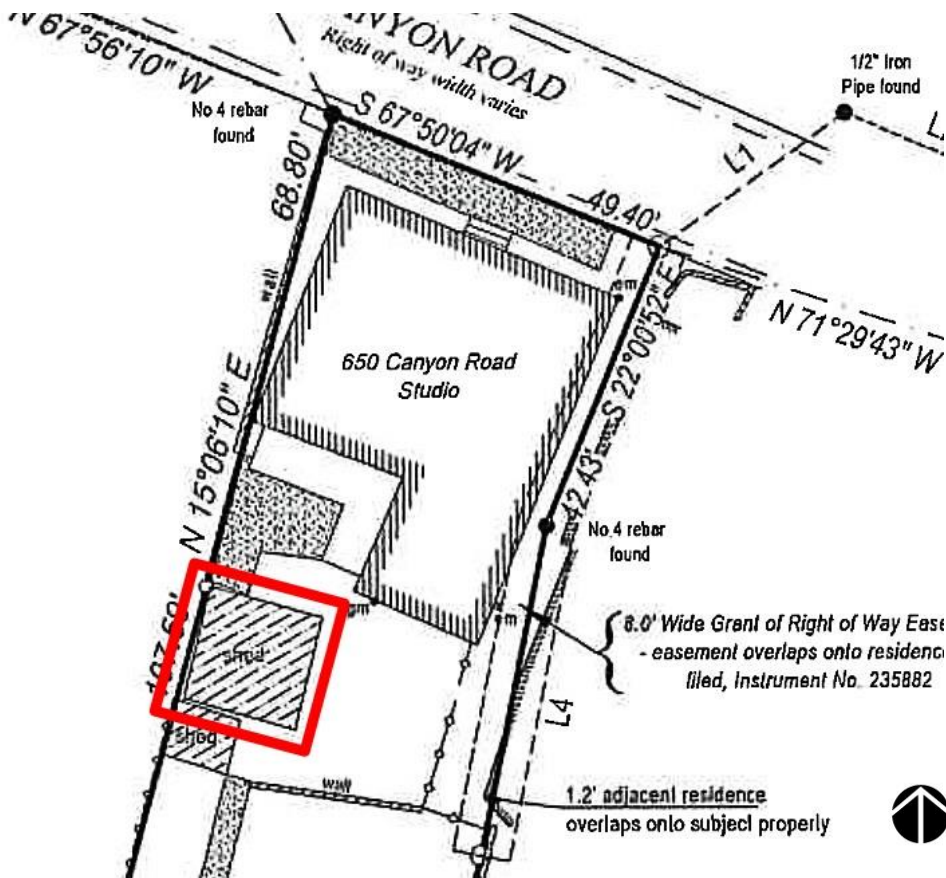
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a>	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a>
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**SITE:**

**18. Attached or Associated Properties**

Are associated properties eligible for listing: Main house subject of 2020 HDRB review.

**19. Site Plan: Portion of 2018 survey plat with shed highlighted. Courtesy Land Survey Company, LLC, July 2018.**



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A   B   C   D	
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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> January 3, 2023			

## Architectural Description Continued

### Shed

The small shed sits approximately 25’ south of the house and adjacent to the west property line (Photo 2). The assumed adobe structure encloses roughly 256 square feet. It has a painted cementitious stucco finish, showing significant cracking in several areas (Photo 3). It is topped with a modern south-sloping, Pro-Panel roof. The structure has minimal fenestration.

The shed faces the house with a wall penetrated by a single door (Photos 4 & 5). The opening is positioned at the center and holds a weathered four-panel unit door painted white. The door hovers above a crude cement threshold. A base of the same material runs along the bottom of the wall and continues around the side elevations. The top of the wall has significant cracking.

The east elevation, facing into the yard, has no openings (Photo 1). The south side has a single, centered window (Photos 6 & 7). Sitting flush to the stucco, the unit is a 6/6 wood sash covered with a screen.

The west elevation abuts a fence with a centered opening holding a six-light barn window (Photo 7).

A new roof sits on top of the shed. It is made of plywood and extends over its walls by several inches, giving the building a modern shed profile (Photo 3). Wood fascia trims its edges, which are, in turn, capped by metal fascia. Red metal panel roofing protects the structure.

The interior forms a single room. Vigas which are assumed to be original run in a north-south direction and are topped with wide boards (Photos 7 & 8). Below is a poured

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concrete floor. The walls are plastered and painted in a flesh tone. The space has electric service with a few lights and a fluorescent troffer hanging from the ceiling.

## Historical Overview

Canyon Road started humbly as a farming area. The trail that would become the famed arts district connected early settlements in the valley to the mountains and beyond to Pecos Pueblo. El Camino del Cañon later evolved into a local access road to agricultural plots between the road and the Acequia Madre ditch to the south. These long, narrow lots began to fill in with adobe homes fronting the road in the late 19th century.

As shown on the 1912 King’s map, the Moya family owned several of these lots, including Lot 26. Lot 26 is associated with Luis Moya, the last property owner’s great-grandfather. Luis was a farmer and had a large family consisting of his wife, Ramona, and nine children, ranging in age from five to 23.<sup>1</sup> His second-oldest son, Ignacio, directly connects with the subject property. Luis and his family lived up the street from the study property at 662 Canyon Road (Figure 1).

In 1930, federal census takers recorded Ignacio living in a house at 650 Canyon Road, which, according to his son, Ignacio constructed in 1914. The household included Ignacio, then 39, his wife Braulia Rael Moya, 37, and four children: Isabel, 13, Ignacio, Jr., 11, Rosina, 8, and Guadalupe, 6.<sup>2</sup> Ignacio owned the house which was worth \$3,000, comparable in value to his neighbors’ houses. Another source shows that Ignacio worked as a janitor in the Blatt building on the Plaza.<sup>3</sup> He farmed the property, using

<sup>1</sup> U.S. Census Bureau, Year: 1910, Census Place: Santa Fe Ward 1, Santa Fe, New Mexico; Roll: T624\_918; Page: 10A; Enumeration District: 0223; FHL microfilm: 1374931.

<sup>2</sup> Ibid., Year: 1930: Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2B; Enumeration District: 0003; FHL microfilm: 2341134.

<sup>3</sup> Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1936* (El Paso: Hudspeth Directory Company, 1936), 143.

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water from the Acequia Madre. In 1932, the family welcomed twins, including son Roberto (sometimes Robert), who would live on the property for over six decades.

By the 1950 census, Ignacio, Braulia, and three children (Roberto, Lupe, and Caterina) remained at 650 Canyon Road.<sup>4</sup> Two years later, Ignacio became the Acequia Madre’s mayordomo, serving in that capacity until 1984.

Several news accounts covered his devotion to the ditch. He once said the Acequia Madre had “more power than the president of the United States,” indicating that it had water rights predating the formation of the country.<sup>5</sup> Based on aerial photographs, he continued to use the acequia to irrigate backyard crops through the modern period. In 1986 Ignacio died at a nursing home at age 96.

His son, Roberto, became the mayordomo, leading a small band of homeowners to manage the ditch. After graduating from high school in 1952, he worked at various clothing stores around the Plaza, including Goodman’s on East San Francisco Street. By this time, Canyon Road began to evolve from a primarily Hispanic residential area to a linear commercial corridor developed for tourism.

Roberto was interviewed by *New Mexican* columnist Ana Pacheco many years later. Then 78, he could remember when the Canyon Road corridor had nearly 170 families.<sup>6</sup> Most knew each other. In 2011, only Moya and a neighbor Joe Gonzales— both descendants of original families — lived along the road. He told Pacheco that while the neighborhood had changed “dramatically,” he didn’t begrudge the tourists — and watched them “go from gallery to gallery” from his front stoop in the summer.<sup>7</sup>

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<sup>4</sup> U.S. Census Bureau, Seventeenth Census of the United States, 1950: Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 61; Enumeration District: 26-5.

<sup>5</sup> Keith Easthouse, “Mother Ditch – And the Men Who Love Her,” *Santa Fe Reporter* (April 26, 1989), 12.

<sup>6</sup> Ana Pacheco, “Santa Fean Has Watched City Transform,” *Santa Fe New Mexican*, January 30, 2011, C-6

<sup>7</sup> Ibid.

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Roberto worked for the New Mexico State Highway Department for 25 years, retiring from the agency in 1995. He remained the mayordomo for two more years. He spent his later years refurbishing furniture and became Canyon Road’s historian. Roberto Arturo Moya died on December 10, 2022 at the age of 90.

## Origin of Shed

The origin of the shed is unclear. Based on aerial photographs, the structure was in place by 1958 (Figure 3). A Moya family member recalls that his grandfather, Ignacio, built it and that it once contained a grinding wheel and was later used for storage.<sup>8</sup>

From the aerial images, it is clear the small building had a flat roof, framed on its north, east, and west sides by a parapet. These firewalls had sufficient height to be discernable in the photographs. As viewed on aerials, this roof form remained through at least 1978. Much more recently, its shape changed to a shed structure, capped with red metal roof. This change involved knocking off the parapets and removing a considerable amount of dirt once used for insulation.<sup>9</sup>

## Evaluation of Historical Status

While the shed may predate the 1950s, its architectural significance is minimal. Challenging this marginal contribution is the recent roof alteration, going from a flat Pueblo Revival form to a shed roof with a pronounced overhang. This change in roof form significantly altered the appearance of the structure. For these reasons, the recommendation is to designate the shed as a Noncontributing structure to the Downtown and Eastside Historic District.

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<sup>8</sup> Randy Moya, telephone conversation with John W. Murphey, February 8, 2023. Randy is the son of Roberto Moya.

<sup>9</sup> Ibid.

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### Illustrations

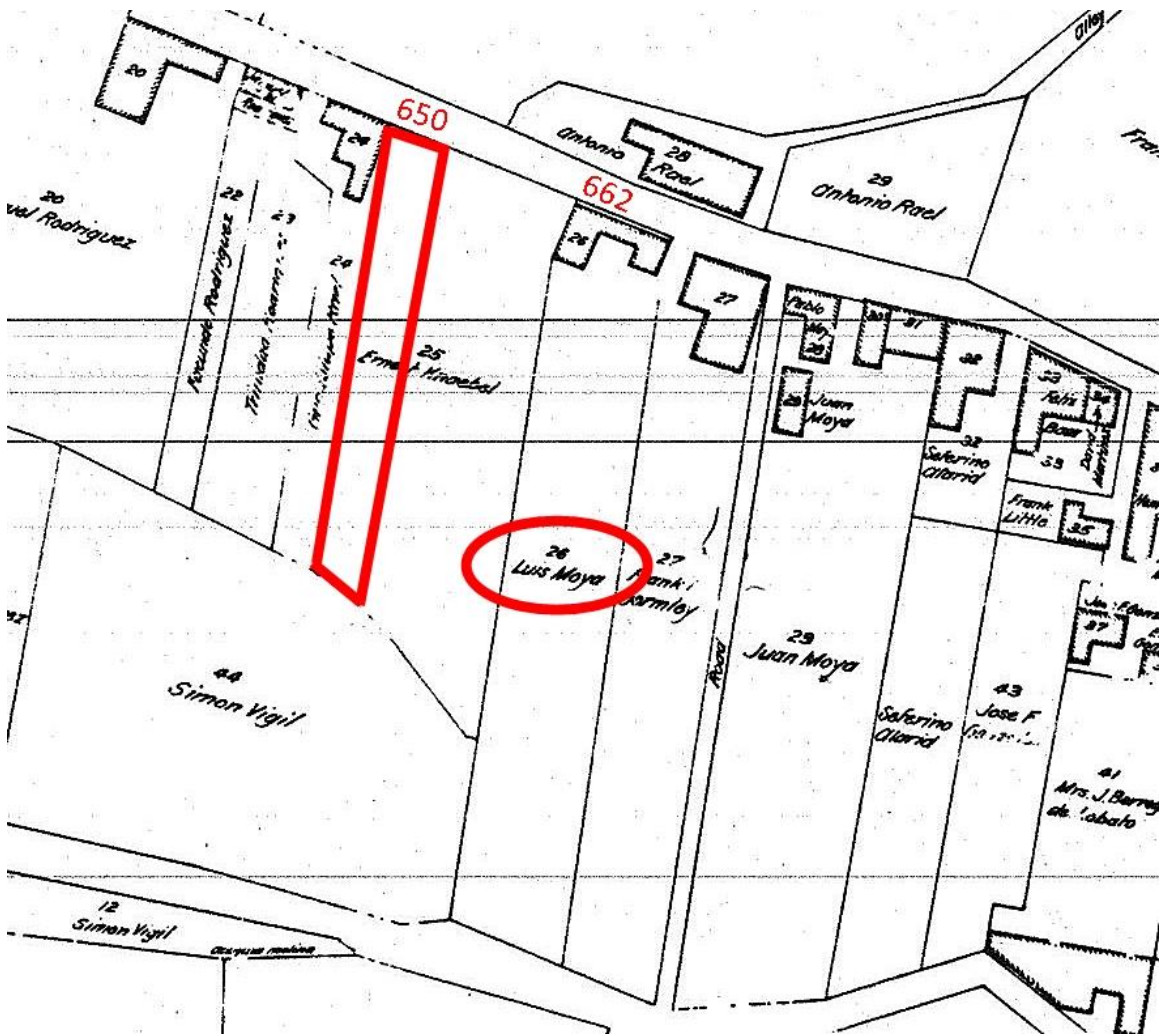


Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.  
 662 Canyon Road, home of Luis Moya; 650 Canyon Road,  
 approximate location of future subject property.

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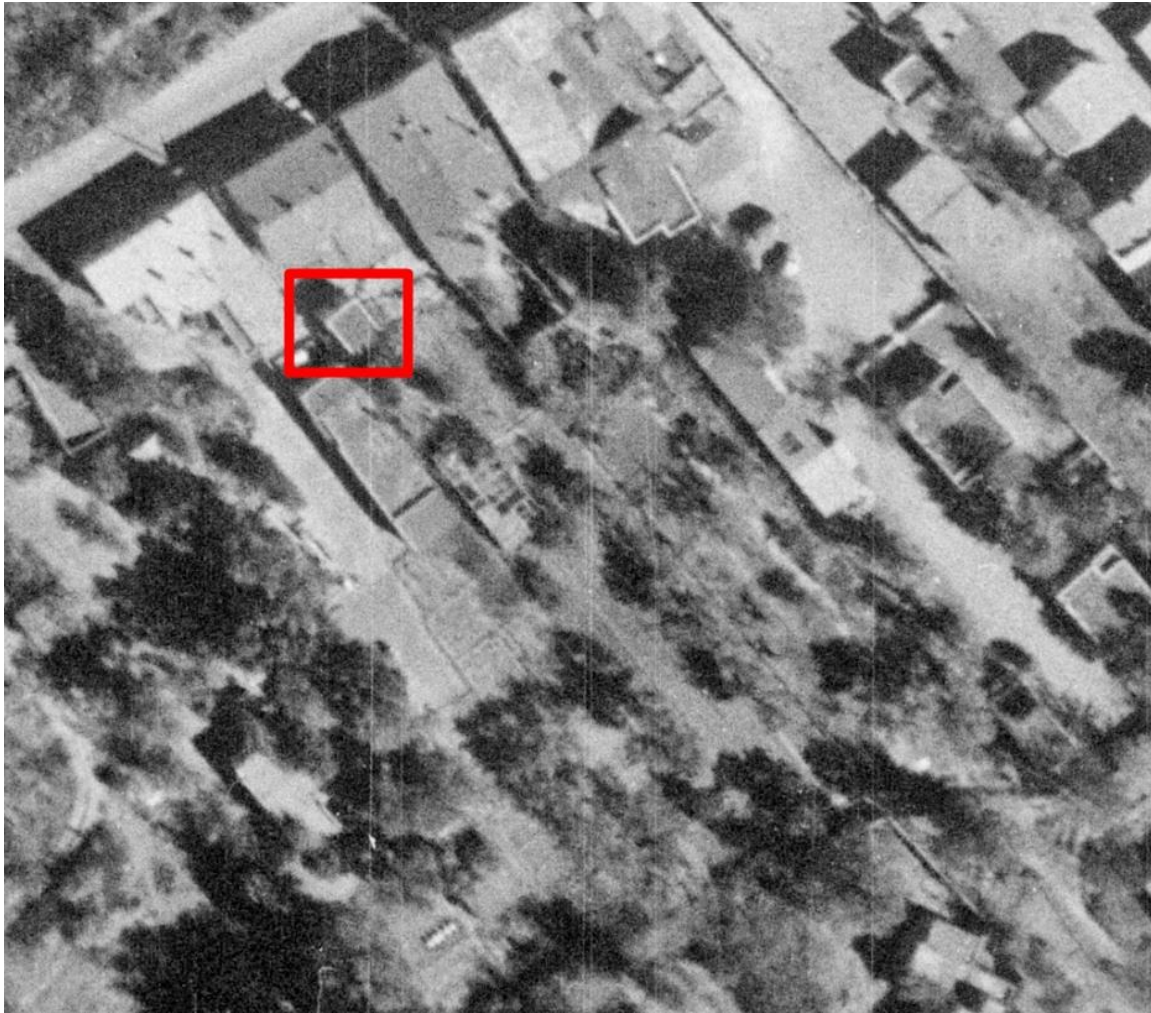


**Figure 2: October 25, 1948, aerial photograph.  
Highlighted structure appears to be farther south from house than present shed.**

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**Figure 3: November 10, 1958, aerial photograph.  
Shed is present. Note flat roof and parapets.**

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**Figure 4: September 11, 1978, aerial photograph.  
Note flat roof and parapets.**

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## Survey Photographs

(All images taken by Giulia Caporuscio, January 3, 2023, unless otherwise noted)



**Photo 2: Shed (left) in context with house under renovation. Camera facing north.**

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**Photo 3: Southwest corner. Example of cracking and view of plywood roof decking.  
 Camera facing up.  
 Douglas Maahs, February 6, 2023.**

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**Photo 4: Partial north façade. Camera facing southwest.**

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**Photo 5: North façade. Camera facing south.  
Douglas Maahs, February 6, 2023.**

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**Photo 6: South elevation. Camera facing north.**

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**Photo 7: Interior. Camera facing south.  
Douglas Maahs, February 6, 2023.**

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**Photo 8: Interior. Camera facing north.  
Douglas Maahs, February 6, 2023.**

# City of Santa Fe, New Mexico

# memo

DATE: March 14, 2023  
TO: Historic Districts Review Board Members  
FROM: Ramon Sarason, Senior Planner, Historic Preservation Division

---

Case: #2023-006400-HDRB

Address: 650 Canyon Rd (demo of accessory shed). Historic Status: Not Surveyed  
Historic District: Downtown and Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall & fence standards.  
 Historic Inventory Form  
 Preliminary Zoning Review Sheet  
 Other:

### APPLICANT SUBMITTALS

- Proposal Letter  
 Site Plan/Floor Plan  
 Elevations  
 Photographs  
 Other:

## STAFF RECOMMENDATION

Staff recommends the approval of this demolition.

**BACKGROUND & SUMMARY:**

This house, erected by Ignacio J. Moya in 1914, sits midway on the south side of Canyon Road. The simple, side-gabled adobe building is currently under renovation after a plan approved by the HDRB (Case #2020-001615). An adobe shed of more recent vintage sits behind it, not visible from the public right of way. Proposed for Demolition. Estimated date of construction: prior to 1958. A plywood and metal panel shed roof was added in the 1990's, changing the previous flat roof and removing parapets. If the existing building is demolished, the new building will have to meet all setback prescribed by current Code. The non-conforming zero-lot line construction is not permitted without a variance being granted by the Board of Adjustment.

**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Significant Structure:

A structure located in a historic district that is approximately fifty years old or older, and that embodies distinctive characteristics of a type, period or method of construction. For a structure to be designated as significant, it must retain a high level of historic integrity. A structure may be designated as significant:

- (A) for its association with events or persons that are important on a local, regional, national or global level; or
- (B) if it is listed on or is eligible to be listed on the State Register of Cultural Properties or the National Register of Historic Places.

**14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

**14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

**14-12 Noncontributing Structure:**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

**Removal of Historic Material/Demolition:**

**14-5.2(D) General Design Standards for All H Districts**

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

**14-3.14(G) Standards for Demolition of Historic or Landmark Structures**

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair or structural stability of the structure under consideration.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

##### (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;

- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



P.O. Box 5061  
Santa Fe, NM 87502-5061  
505.992.8382

**To:** Historic Preservation Dept.  
City of Santa Fe, New Mexico

## Request for Status Review and Proposal of Demolition for the shed located at 650 Canyon Road.

To whom it may concern:

### **Status Review**

This letter serves as a formal request to ask for a review of the status of a standing structure located at 650 Canyon Road, behind the primary structure. This small building is a shed that is currently in disrepair. It has sat unused and vacant for the better part of 25 years, much like the structure that it is subservient to on the property. In its current or foreseeable state, it offers limited functionality and utility to the property.

When the front building was evaluated and received its status and designations this structure was not included. We would like to ask for a status review and any designation that is deemed pertinent in this case as well.

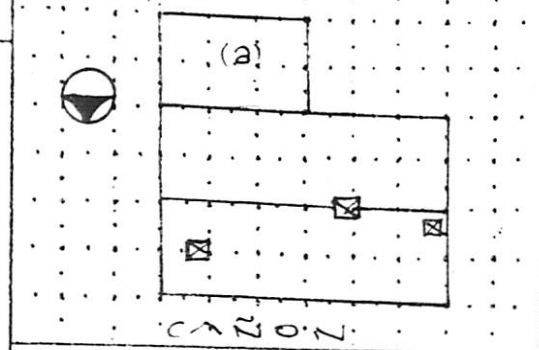
### **Request for Demolition**

This shall serve as a formal request, pending status designation, to remove the existing shed structure located behind the primary building at 650 Canyon Road. This request is being presented on the grounds that the current shed impedes the ongoing development of an ADA compliant pathway. That it is in disrepair, an eyesore, and could become a hazard to the property. It may also be an obstacle to any future uses of the property.

### **NOTE:**

A site plan, specifications, and all required technical information are all located in the corresponding HCPI report submitted on this matter. This includes a layout, footprint, measurements, site plan, etc.

building threatened? yes	surveyed date <u>XI-84</u> by <u>m b</u>	county <u>Santa Fe</u>	ID no. <u>05161-1332</u>
field map <u>SFHD - 6-1332</u>	number	UTM reference easting zone <u>12 13</u>	northing
location description <u>650 CANYON</u>		city/town <u>SANTA FE</u>	
building name		land grant/reservation	
legal description twp <u>N S</u> range <u>E W</u> sec <u>1 2</u>		plan shape	
film roll by <u>m b</u> no. <u>13</u>	negative nos. <u>11</u>	loc. of neg. <u>HPE</u>	



date of construction  
Rel 1928 estimate \_\_\_\_\_ actual \_\_\_\_\_

source  
Bus/Directory

use  
present residential  
other \_\_\_\_\_

historic residential  
other \_\_\_\_\_

condition  
\_\_\_\_ excellent \_\_\_\_  good  
\_\_\_\_ fair \_\_\_\_ deteriorating

degree of remodeling  
 minor \_\_\_\_ moderate \_\_\_\_ major

describe:

style  
~~erritorial~~  
NMV

foundation material  
NV

wall material/surface  
Adobe Stucco

architectural features  
Roof - Transverse gable, shed at @, terne plate, 3 chi  
Missy chimneys, 1 mt 1 flue, gutter w long extensions  
Bracketed purlins, wd fascia under gable, exp rafters  
Windows - 6/6 wd, 3/1 ex, slips sills NTA  
lug sills to E. Windows recessed, stucco bullnosed  
Under eave is a tag shutter  
Door - 3 lite w/red screen door to outside

surroundings  
Res/Com

relationship to surroundings  
 similar \_\_\_\_ not similar

district potential  
\_\_\_\_ yes \_\_\_\_ no

significance  
\_\_\_\_ eligible  of \_\_\_\_ none

if eligible, interest  
why? contrib.

comments  
and street

associated buildings? \_\_\_\_ yes  
what type?


if inventoried, list ID nos.

see back? \_\_\_\_ yes

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

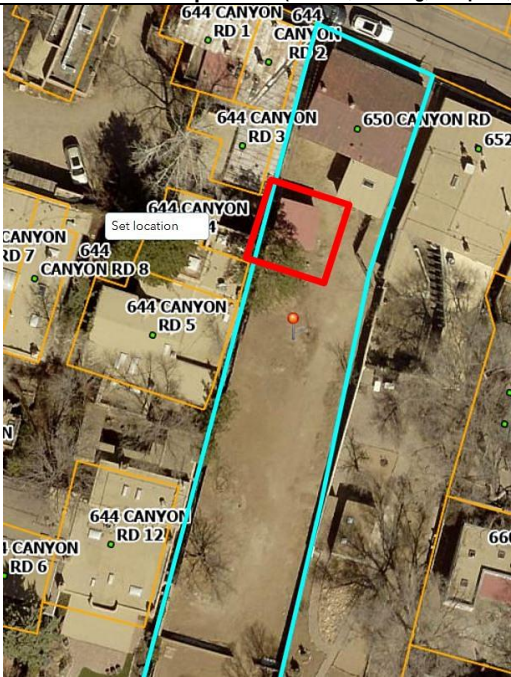

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

Date: February 10, 2023

For HPD Office use only: HCPI No. _____ District No. _____ NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D		
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District - Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID #: H-1067  <b>4. County: Santa Fe</b> Parcel # 11805568
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> January 3, 2023		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: 1984 <input checked="" type="checkbox"/> No: The shed has been recorded		
<b>8. Name of Project:</b> Status Evaluation		
<b>9. Lat/Long:</b> 35.6811149,-105.927044		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. <span style="float: right;">Photo 1: View of east elevation, facing northwest.</span>		
<b>11. Brief Description of the Property:</b>  This house, erected by Ignacio J. Moya in 1914, sits midway on the south side of Canyon Road. The simple, side-gabled adobe building is currently under renovation after a plan approved by the HDRB (Case #2020-001615). A small shed of more recent vintage sits behind it, not visible from the public right of way. Proposed for demolition, the shed is being evaluated for its potential to contribute to the Downtown and Eastside Historic District.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Storage		
<b>13. Construction Date:</b> Date: Before 1958 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated <span style="margin-left: 20px;">Source: aerial photographs</span>		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban <span style="margin-left: 10px;">If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public</span>		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

<b>16. Additional Perspective:</b> (Photos, drawing, footprint, etc., indicate north arrow when possible)	
	<p><b>17. Surveyor:</b> (your name, address, telephone number, and any group affiliation)</p> <p>John W. Murphey Architectural Historian Architectural History Services 505-577-7593/707-583-7819 <a href="mailto:John@archhistoryservices.com">John@archhistoryservices.com</a> w/ Giulia Caporuscio</p> <p>For: Current owner: Patrick Rayes Family Partnership LTD</p>
<p>Source: Office of the Santa Fe County Assessor <i>parcel lines are not accurate</i></p> <div style="text-align: right;">  </div>	
<p><b>19. Is Property Endangered?</b>    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> No    <input type="checkbox"/> Yes    How?</p>	
<p><b>20. Significance to Current Community:</b>    <input checked="" type="checkbox"/> Unknown    <input type="checkbox"/> None    <input type="checkbox"/> Low    <input type="checkbox"/> Moderate    <input type="checkbox"/> High Describe: Unknown</p>	
<p><b>21. Other Significance or Information of Interest:</b> (such as historical, legendary, structural, former ownership, etc.) See Historical Overview.</p>	
<p><b>22. National or State Register:</b></p> <p>Is this property individually listed on a historic register?    <input type="checkbox"/> Unknown    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes If yes:    <input type="checkbox"/> State    <input type="checkbox"/> National</p> <p>If 'no' or unknown, do you think this property is eligible for listing?    <input checked="" type="checkbox"/> No    <input type="checkbox"/> Yes Why? See Evaluation of Historical Status</p>	
<p><b>23. National or State Historic District: City of Santa Fe</b></p> <p>Is this property in a historic district?    <input type="checkbox"/> Unknown    <input type="checkbox"/> No    <input checked="" type="checkbox"/> Yes If yes:    <input type="checkbox"/> Significant    <input type="checkbox"/> Contributing    <input type="checkbox"/> Non-contributing    <input checked="" type="checkbox"/> No Status Per City of Santa Fe official designation map</p> <p>If 'yes', what is the name of the district?    <input type="checkbox"/> State    <input type="checkbox"/> National    <input checked="" type="checkbox"/> City of Santa Fe: Downtown and Eastside Historic District</p>	
<p><b>24. Supplemental Forms:</b></p> <p><input type="checkbox"/> None    <input checked="" type="checkbox"/> HCPI Detail Form (FORM 2)    <input type="checkbox"/> Continuation Sheets, # pages: _____</p>	

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>																							
HCPI No. _____	District No. _____	NRHP _____ SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D																				
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID # H-1067  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> January 3, 2023																					
<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																							
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:			<b>7. Number of Stories:</b> <u>  </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <u>  </u> 2 1/2 Other: _____  <b>8. Foundation:</b> <u>  </u> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised: Materials: <input checked="" type="checkbox"/> Concrete: <u>  </u> Stone Other: Notes  <b>9. Roof:</b> <u>  </u> N/A  Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input checked="" type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input checked="" type="checkbox"/> Metal: V- Crimp: Red Panel <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																				
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>6/6</td> <td>1</td> </tr> <tr> <td>Fixed (barn sash)</td> <td>Wood</td> <td>6</td> <td>1</td> </tr> </tbody> </table> Note: Based on visibility and access during survey		Operation	Material	Glazing	Number	Single-Hung	Wood	6/6	1	Fixed (barn sash)	Wood	6	1	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>4-panel</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	4-panel	Wood	1
Operation	Material	Glazing	Number																				
Single-Hung	Wood	6/6	1																				
Fixed (barn sash)	Wood	6	1																				
Type	Style	Material	Number																				
Single-Leaf	4-panel	Wood	1																				
<b>12. Chimneys</b> <input checked="" type="checkbox"/> <u>  </u> N/A		<b>13. Porches</b> <input checked="" type="checkbox"/> <u>  </u> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																					
<b>14. Other Significant Features</b> N/A																							
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <u>  </u> No known modifications  <b>#1 Date:</b> c.1990s: removal of roof structure and replacement with plywood deck and metal roofing material; visual and material evidence and Moya family memory																							

**HCPI Detail Form (FORM 2)**

*(Continued from other side)*

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |   |
|--|---|--|---|---|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial            |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival          |

Notes:  Other: Vernacular

17. Documents Available and Their Locations

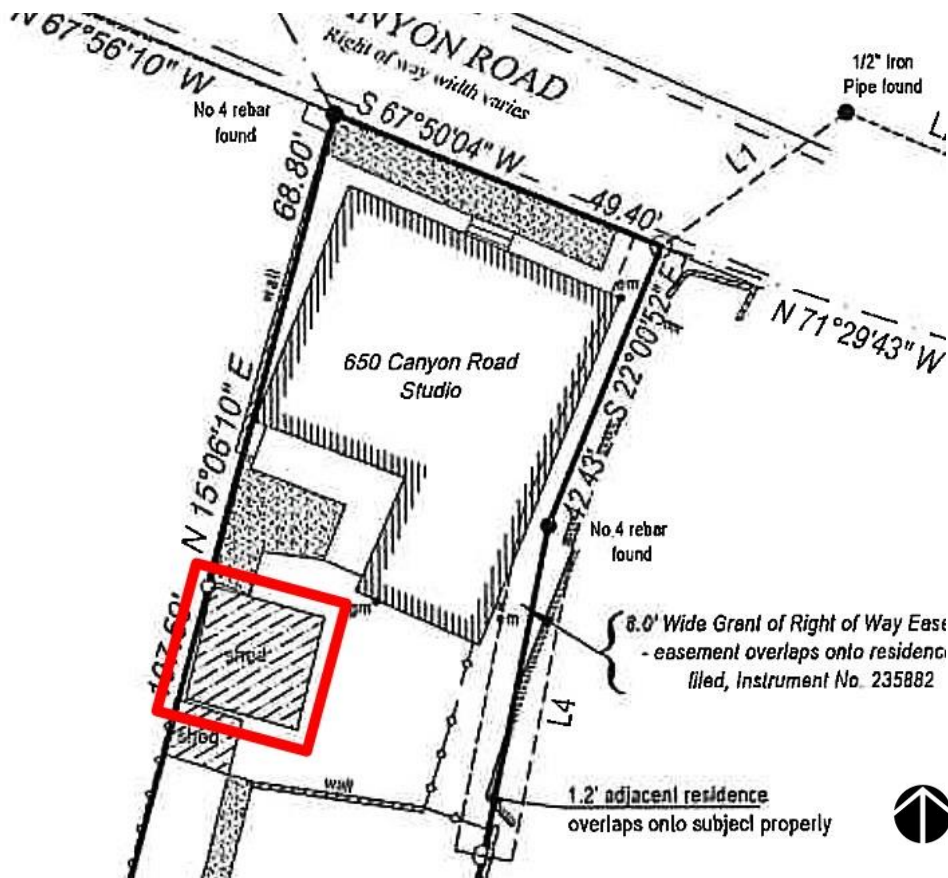
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 <a href="https://www.santafenm.gov/land-use/historic-preservation">https://www.santafenm.gov/land-use/historic-preservation</a>	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 <a href="https://nmhistoricpreservation.org/arms.html">https://nmhistoricpreservation.org/arms.html</a>
--	---

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: Main house subject of 2020 HDRB review.

19. Site Plan: Portion of 2018 survey plat with shed highlighted. Courtesy Land Survey Company, LLC, July 2018.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A   B   C   D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: January 3, 2023</b>			

## Architectural Description Continued

### Shed

The small shed sits approximately 25' south of the house and adjacent to the west property line (Photo 2). The assumed adobe structure encloses roughly 256 square feet. It has a painted cementitious stucco finish, showing significant cracking in several areas (Photo 3). It is topped with a modern south-sloping, Pro-Panel roof. The structure has minimal fenestration.

The shed faces the house with a wall penetrated by a single door (Photos 4 & 5). The opening is positioned at the center and holds a weathered four-panel unit door painted white. The door hovers above a crude cement threshold. A base of the same material runs along the bottom of the wall and continues around the side elevations. The top of the wall has significant cracking.

The east elevation, facing into the yard, has no openings (Photo 1). The south side has a single, centered window (Photos 6 & 7). Sitting flush to the stucco, the unit is a 6/6 wood sash covered with a screen.

The west elevation abuts a fence with a centered opening holding a six-light barn window (Photo 7).

A new roof sits on top of the shed. It is made of plywood and extends over its walls by several inches, giving the building a modern shed profile (Photo 3). Wood fascia trims its edges, which are, in turn, capped by metal fascia. Red metal panel roofing protects the structure.

The interior forms a single room. Vigas which are assumed to be original run in a north-south direction and are topped with wide boards (Photos 7 & 8). Below is a poured

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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concrete floor. The walls are plastered and painted in a flesh tone. The space has electric service with a few lights and a fluorescent troffer hanging from the ceiling.

## Historical Overview

Canyon Road started humbly as a farming area. The trail that would become the famed arts district connected early settlements in the valley to the mountains and beyond to Pecos Pueblo. El Camino del Cañon later evolved into a local access road to agricultural plots between the road and the Acequia Madre ditch to the south. These long, narrow lots began to fill in with adobe homes fronting the road in the late 19th century.

As shown on the 1912 King’s map, the Moya family owned several of these lots, including Lot 26. Lot 26 is associated with Luis Moya, the last property owner’s great-grandfather. Luis was a farmer and had a large family consisting of his wife, Ramona, and nine children, ranging in age from five to 23.<sup>1</sup> His second-oldest son, Ignacio, directly connects with the subject property. Luis and his family lived up the street from the study property at 662 Canyon Road (Figure 1).

In 1930, federal census takers recorded Ignacio living in a house at 650 Canyon Road, which, according to his son, Ignacio constructed in 1914. The household included Ignacio, then 39, his wife Braulia Rael Moya, 37, and four children: Isabel, 13, Ignacio, Jr., 11, Rosina, 8, and Guadalupe, 6.<sup>2</sup> Ignacio owned the house which was worth \$3,000, comparable in value to his neighbors’ houses. Another source shows that Ignacio worked as a janitor in the Blatt building on the Plaza.<sup>3</sup> He farmed the property, using

<sup>1</sup> U.S. Census Bureau, Year: 1910, Census Place: Santa Fe Ward 1, Santa Fe, New Mexico; Roll: T624\_918; Page: 10A; Enumeration District: 0223; FHL microfilm: 1374931.

<sup>2</sup> Ibid., Year: 1930: Census Place: Santa Fe, Santa Fe, New Mexico; Page: 2B; Enumeration District: 0003; FHL microfilm: 2341134.

<sup>3</sup> Hudspeth Directory Company, *Hudspeth Directory Company, Santa Fe City Directory, 1936* (El Paso: Hudspeth Directory Company, 1936), 143.

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water from the Acequia Madre. In 1932, the family welcomed twins, including son Roberto (sometimes Robert), who would live on the property for over six decades.

By the 1950 census, Ignacio, Braulia, and three children (Roberto, Lupe, and Caterina) remained at 650 Canyon Road.<sup>4</sup> Two years later, Ignacio became the Acequia Madre’s mayordomo, serving in that capacity until 1984.

Several news accounts covered his devotion to the ditch. He once said the Acequia Madre had “more power than the president of the United States,” indicating that it had water rights predating the formation of the country.<sup>5</sup> Based on aerial photographs, he continued to use the acequia to irrigate backyard crops through the modern period. In 1986 Ignacio died at a nursing home at age 96.

His son, Roberto, became the mayordomo, leading a small band of homeowners to manage the ditch. After graduating from high school in 1952, he worked at various clothing stores around the Plaza, including Goodman’s on East San Francisco Street. By this time, Canyon Road began to evolve from a primarily Hispanic residential area to a linear commercial corridor developed for tourism.

Roberto was interviewed by *New Mexican* columnist Ana Pacheco many years later. Then 78, he could remember when the Canyon Road corridor had nearly 170 families.<sup>6</sup> Most knew each other. In 2011, only Moya and a neighbor Joe Gonzales— both descendants of original families — lived along the road. He told Pacheco that while the neighborhood had changed “dramatically,” he didn’t begrudge the tourists — and watched them “go from gallery to gallery” from his front stoop in the summer.<sup>7</sup>

<sup>4</sup> U.S. Census Bureau, Seventeenth Census of the United States, 1950: Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 61; Enumeration District: 26-5.

<sup>5</sup> Keith Easthouse, “Mother Ditch – And the Men Who Love Her,” *Santa Fe Reporter* (April 26, 1989), 12.

<sup>6</sup> Ana Pacheco, “Santa Fean Has Watched City Transform,” *Santa Fe New Mexican*, January 30, 2011, C-6

<sup>7</sup> Ibid.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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Roberto worked for the New Mexico State Highway Department for 25 years, retiring from the agency in 1995. He remained the mayordomo for two more years. He spent his later years refurbishing furniture and became Canyon Road’s historian. Roberto Arturo Moya died on December 10, 2022 at the age of 90.

## Origin of Shed

The origin of the shed is unclear. Based on aerial photographs, the structure was in place by 1958 (Figure 3). A Moya family member recalls that his grandfather, Ignacio, built it and that it once contained a grinding wheel and was later used for storage.<sup>8</sup>

From the aerial images, it is clear the small building had a flat roof, framed on its north, east, and west sides by a parapet. These firewalls had sufficient height to be discernable in the photographs. As viewed on aerials, this roof form remained through at least 1978. Much more recently, its shape changed to a shed structure, capped with red metal roof. This change involved knocking off the parapets and removing a considerable amount of dirt once used for insulation.<sup>9</sup>

## Evaluation of Historical Status

While the shed may predate the 1950s, its architectural significance is minimal. Challenging this marginal contribution is the recent roof alteration, going from a flat Pueblo Revival form to a shed roof with a pronounced overhang. This change in roof form significantly altered the appearance of the structure. For these reasons, the recommendation is to designate the shed as a Noncontributing structure to the Downtown and Eastside Historic District.

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<sup>8</sup> Randy Moya, telephone conversation with John W. Murphey, February 8, 2023. Randy is the son of Roberto Moya.

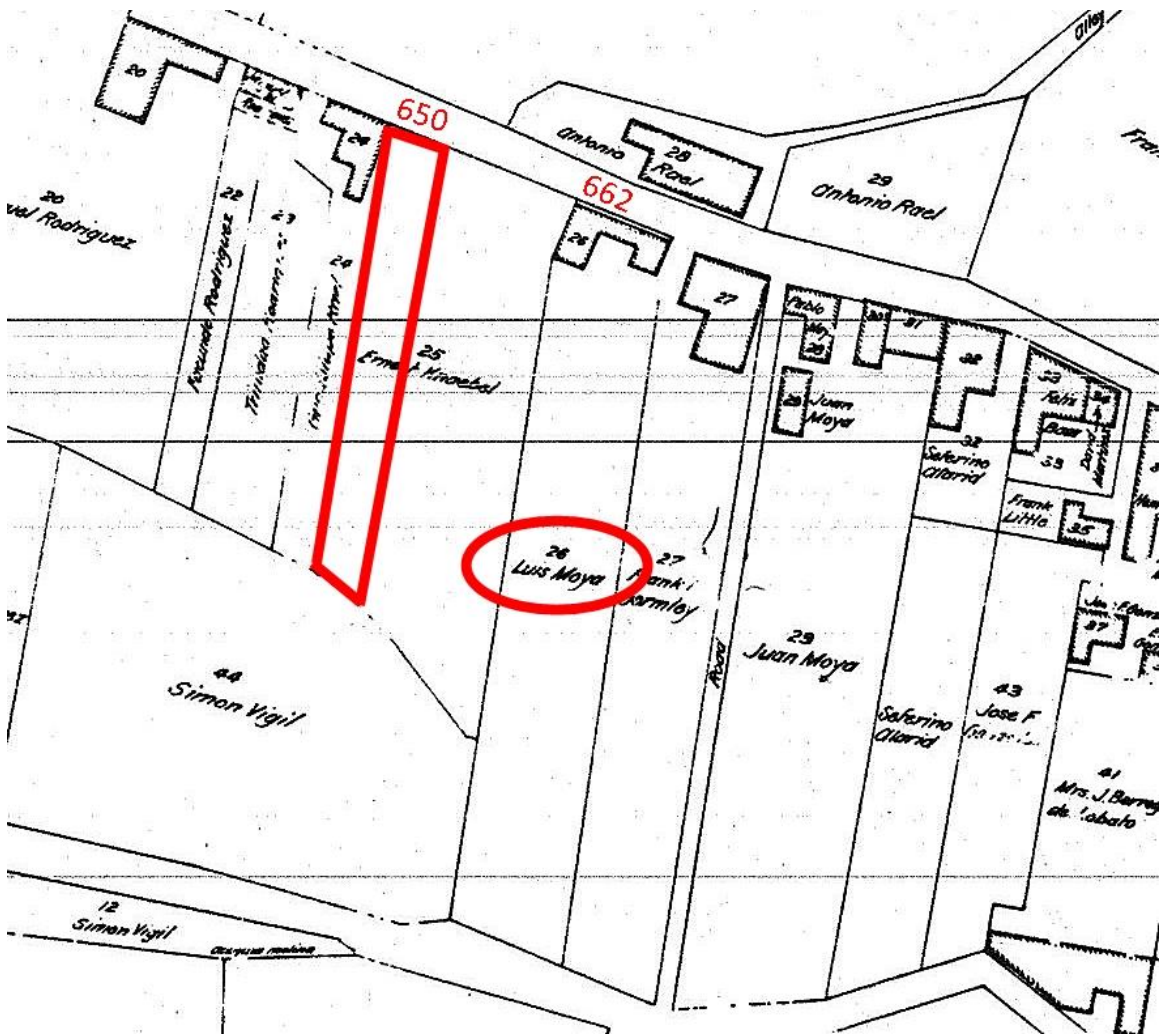
<sup>9</sup> Ibid.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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### Illustrations



**Figure 1: N. L. King, "Map of the City of Santa Fe," 1912.**  
**662 Canyon Road, home of Luis Moya; 650 Canyon Road,**  
**approximate location of future subject property.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> January 3, 2023			

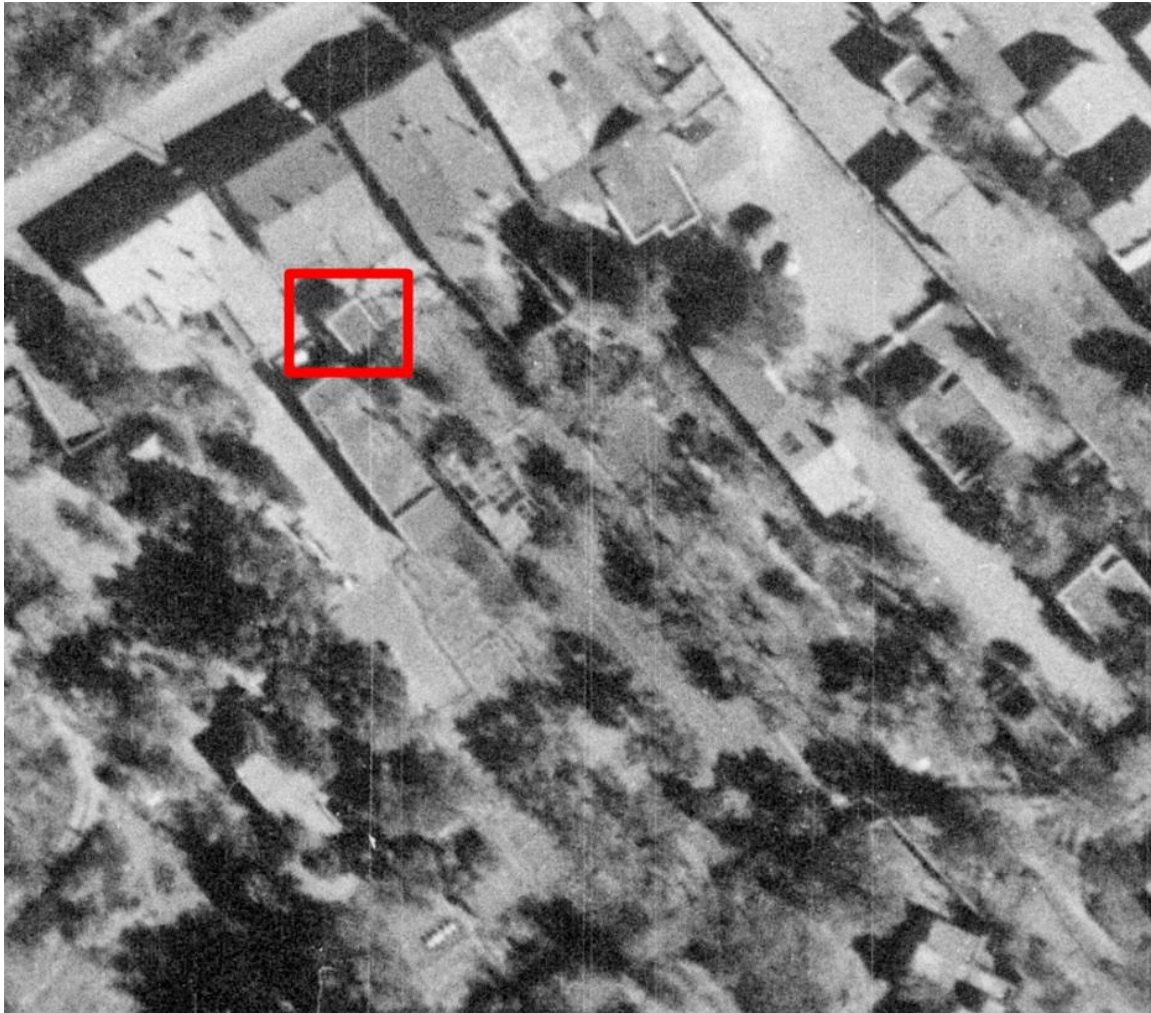


**Figure 2: October 25, 1948, aerial photograph.  
Highlighted structure appears to be farther south from house than present shed.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP _____	SRCP _____
		Criteria A B C D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067	<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> January 3, 2023	



**Figure 3: November 10, 1958, aerial photograph.  
Shed is present. Note flat roof and parapets.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria    A   B   C   D
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067  <b>4. County:</b> Santa Fe  <b>5. Date of Survey:</b> January 3, 2023



**Figure 4: September 11, 1978, aerial photograph.  
Note flat roof and parapets.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe
<b>3. Local Reference #</b> Santa Fe ID #: H-1067	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> January 3, 2023	

## Survey Photographs

(All images taken by Giulia Caporuscio, January 3, 2023, unless otherwise noted)



**Photo 2: Shed (left) in context with house under renovation. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____	NRHP	SRCP	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> January 3, 2023			



**Photo 3: Southwest corner. Example of cracking and view of plywood roof decking.  
 Camera facing up.  
 Douglas Maahs, February 6, 2023.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A   B   C   D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> January 3, 2023			



**Photo 4: Partial north façade. Camera facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe
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	<b>4. County:</b> Santa Fe
	<b>5. Date of Survey:</b> January 3, 2023



**Photo 5: North façade. Camera facing south.  
Douglas Maahs, February 6, 2023.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> January 3, 2023			



**Photo 6: South elevation. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe
<b>3. Local Reference #</b> Santa Fe ID #: H-1067	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> January 3, 2023	



**Photo 7: Interior. Camera facing south.  
Douglas Maahs, February 6, 2023.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Ignacio J. and Robert A. Moya Property: Shed	<b>2. Location:</b>  650 Canyon Road Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-1067
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> January 3, 2023



**Photo 8: Interior. Camera facing north.  
Douglas Maahs, February 6, 2023.**

# City of Santa Fe, New Mexico

# memo

**DATE:** March 14, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director

---

**Case # 2023-006283-HDRB**

**Address: 501 San Antonio St (Casita)**  
**Historic Status: Non-Contributing**  
**Historic District: Downtown & Eastside**

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Watkins 501 San Antonio History

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## BACKGROUND & SUMMARY:

The casita at 501 San Antonio Street is an accessory dwelling unit associated with the single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The casita located on the northeast portion of the property and was constructed in the late 1970s or early 1980s.

The following renovation treatments are proposed:

1. Installation of radiant flooring, which requires raising the floor. As such, the applicant is proposing to raise the parapet to accommodate the change in ceiling height. The current structure varies from 14'3" to 9'11". The proposed height will vary from 14'3" to approximately 11'4" with the increased parapet height. The parapet will step on the east elevation.
2. Replace two windows on the south elevation with divided-lite windows of the same size, and replace existing French door with divided-lite windows, which includes infilling the lower portion of the existing door area.
3. Replace windows on the east and west elevations with a divided-lite window of the same size.

The HCPI indicates that there will building permits issued in 1984 and 1988, which is likely in part associated with this casita.

#### **RELEVANT CODE CITATIONS:**

##### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

##### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

##### 14-5.2(E) Downtown and Eastside Design Standards

###### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of

the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

## (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

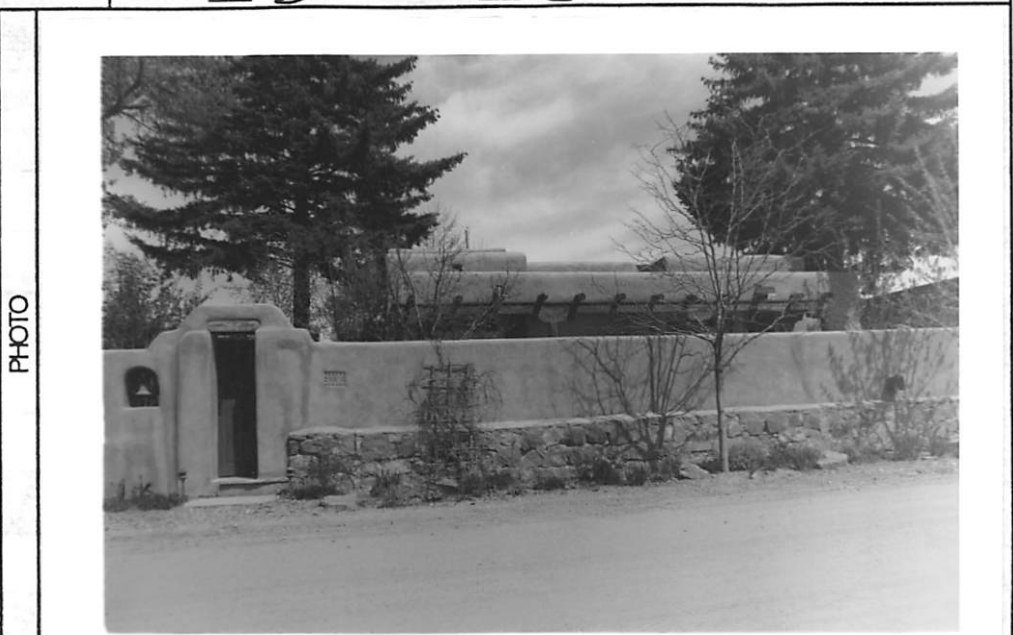
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

ADDRESS: 501 SAN ANTONIO STREET  
 FRED JOHANSON OWNER  
 ID NUMBER: 051600031  
 BUILDING NAME:

UTM REFERENCE EASTING NORTHING  
 ZONE 12 13

LEGAL DESCRIPTION:  
 TNSP 17 (N) S RANGE 9 (E) W SEC 25 NE 1/4 SE 1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85  
 DATE OF CONSTRUCTION:  
 ESTIMATE 1934-5 ACTUAL  
 SOURCE(S) CITY DIRECTORY



3#5 WEST PORTAL

ARCHITECTURAL STYLE: SPANISH PUEBLO REVIVAL

USE:  
 HISTORIC: residential  
 OTHER  
 PRESENT: residential  
 OTHER

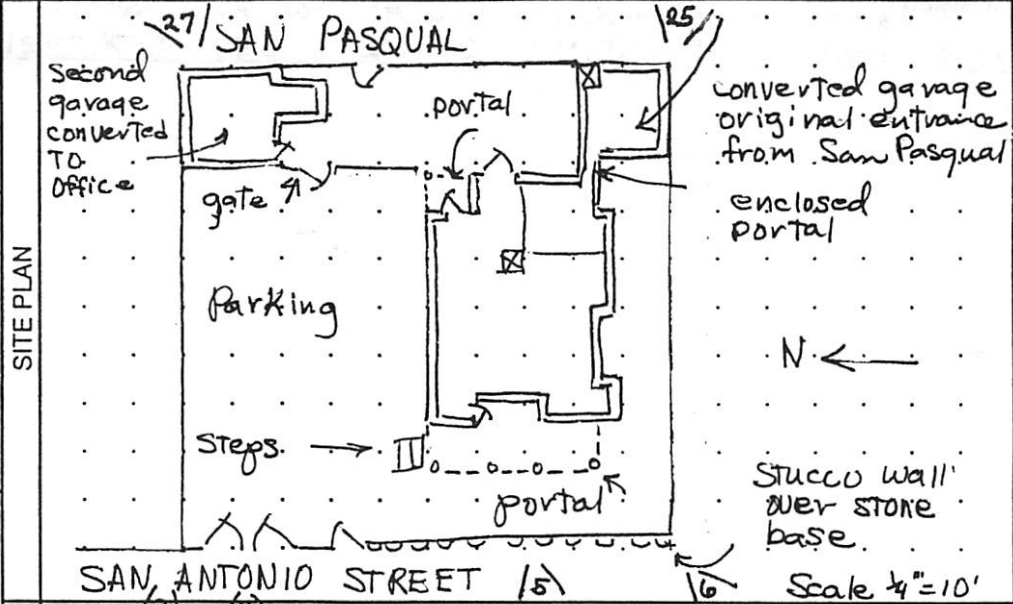
SURROUNDINGS: RESIDENTIAL

RELATIONSHIP TO HISTORIC SURROUNDINGS:  
 SIMILAR  NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:  
 YES  NO  
 WHAT TYPE? CONVERTED GARAGE + GUEST QUARTERS  
 IF INVENTORIED, LIST ID NUMBER(S) REMODELING PERMITS 1984-1988

DEGREE OF REMODELING:  
 MINOR  MODERATE  
 MAJOR INCORPORATED GARAGE, NEW  
 EXPLAIN: PORTAL, NEW WINDOWS

OVERALL CONDITION:  
 EXCELLENT  GOOD  
 FAIR  DETERIORATED  
 BUILDING THREATENED?  
 YES  NO



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?  
 YES  NO  ELIGIBLE  
 CONTRIBUTING  NON-CONTRIBUTING  
 LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?  
 YES  NO  ELIGIBLE  
 LOCAL DESIGNATION: Core  HISTORIC DISTRICT  
 SIGNIFICANT  CONTRIBUTING  NON-CONTRIBUTING  
 LOCAL LANDMARK  YES  NO

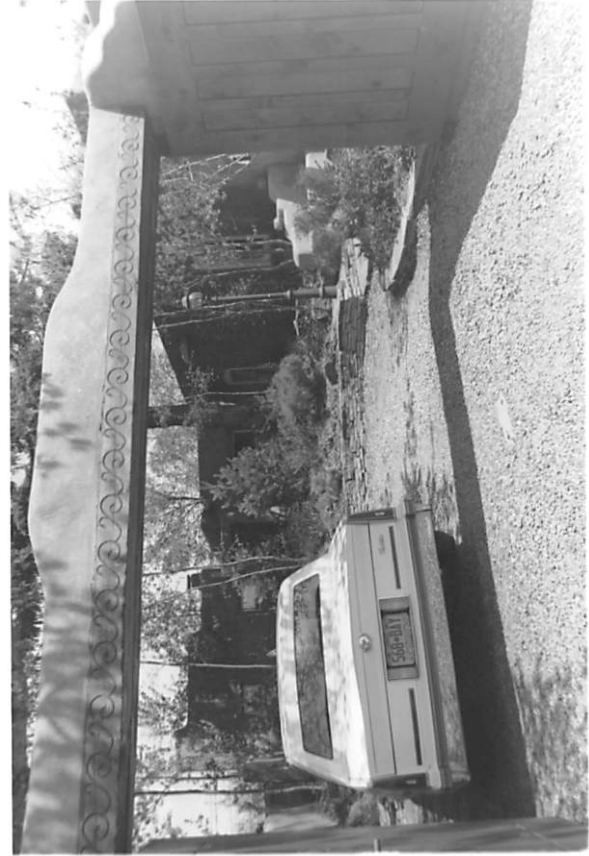
FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	BROWN STUCCO	EXCELLENT
FOUNDATIONS	NOT VISIBLE	
DOORS	DOORS NOT VISIBLE WHITE TRIM + PEDIMENTS	POSITION OF SECOND garage DOOR NOT VERIFIED
WINDOWS	6/6 DBH WOOD FRAME SOME WINDOWS ON WEST + NORTH HAVE PEDIMENTS	GUEST HOUSE WEST SIDE HORIZONTAL STATIONARY FRAME
PORTALES	FRONT OF MAIN HOUSE - CARVED CORBELS + BEAMS - WHITE STUCCO NEAR DOOR	SMALL PORTAL AT BACK DOOR EAST SIDE
CANALES	WEST SIDE OF FRONT PORTAL PROMINENT VIGAS ON PORTAL	
PORCHES		
BALCONIES		
ROOFS	FLAT WITH PARAPETS	
COURTYARDS		
FENCES/WALLS	6 FT STUCCO WALL WEST + NORTH + EAST HAND CRAFTED WOODEN GATES	5 FT WALL STUCCOED SOUTH SIDE
ARCH. DETAILS	BASE OF FRONT STUCCO WALL IS STONE 2 FT IN HEIGHT	
OTHER	METAL VENTS SOUTH SIDE NEAR TOP OF WALL	BUILDING HAS 2 BASEMENTS
COMMENTS BUILDER FABIELA DE BACA (GILBERT) WHO CAME FROM LAS VEGAS. SHE WAS AN EDUCATOR + BUILT HOUSES FOR HER SISTERS NEAR BY, PROBABLY 505 + 511 SAN ANTONIO STREET, SEE ATTACHED INTERVIEW - JOHNSON		

ARCHITECTURAL AND LANDSCAPE FEATURES

ADDITIONAL PHOTOGRAPHS



3 #3 WEST FACE



3 #4 EAST WING

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1992 (concluded)

IDENTIFICATION

ADDRESS 501 SAN ANTONIO STREET

ID NUMBER 051600031

SURVEYED/RESEARCHED

DATE 4/23/92 BY AC



3#25 SE CORNER CONVERTED GARAGE



3#6 EAST SIDE



3# 27 NE CORNER

IDENTIFICATION	ADDRESS	501 San Antonio	ID NUMBER	051600031
			SURVEYED/RESEARCHED	DATE <u>4/92</u> BY _____
	Interviewer D. Butcher			

interview - Fred Johnson, owner

Johnsons have owned for @ 5 yrs - are moving to the corner of Camino del Monte Sol & Santander.

House was built by Fabiela de Baca (Gilbert), who came from Las Vegas, NM. House may date from the 1920s. ~~She~~ Fabiela brought some parts for the building from a hacienda in Las Vegas, according to Johnson. This includes the carved beams in the living room, which were copied for other parts of the house.

Fabiela used local labor and adobe made on-site. There are 2 basements. She also built houses for her sisters nearby.

Fabiela was one of the first women educators and advocated education for women. She also wrote cookbooks and is author of "They Eat Cactus, Don't They."

Changes to the house before the Johnsons purchased it: bldg. on SE was once garage, but was converted to guest room. A portal between the house & garage was enclosed to form a hallway.

The "new" garage was built on the NE, but was partially converted to an office.

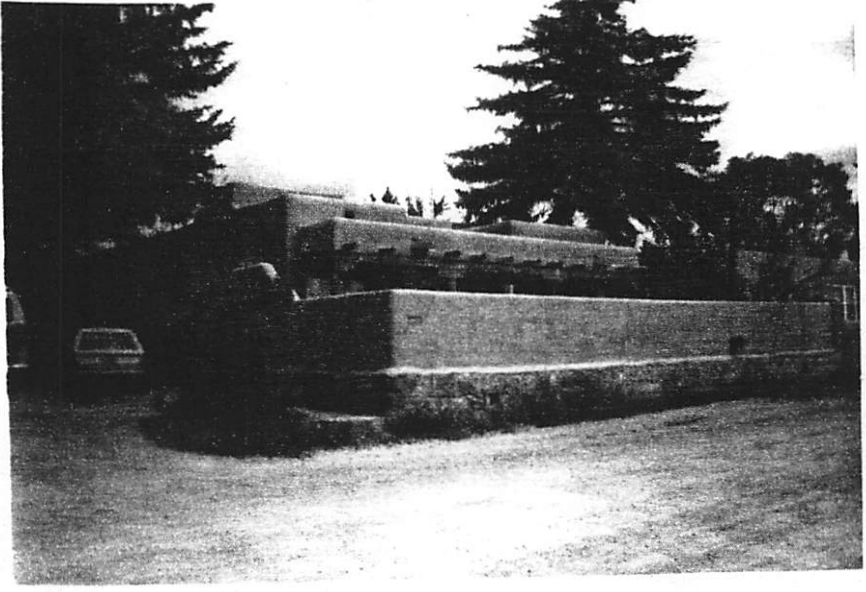
Johnson's changes: completed conversion of NE building into guest house/office, Copied beams from original living room, Expanded office toward south, Added small corner portion on SW to expand closet.

Added wall & gates on west. Used local artisans for gates to get harmonious appearance but still make it clear that the wall & gates were new.

When Gabriela sold the house, some of the chandeliers and draperies were given to the Polokheimos for use at Las Holondrenas.

Johnson's were concerned with preserving the house while adding interest and value "for the next 50 years."

Attachment B  
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date <u>6/6/83</u> by <u>m</u>	county <u>Santa Fe</u>	ID no. <u>051600031</u>
field map number <u>Santa Fe, New Mexico 1</u>		UTM reference easting northing zone <u>12 13</u>	
location description <del>#55</del> <u>San Antonio</u> <u>501</u>		city/town <u>Santa Fe</u>	
building name		legal description tensp <u>17 N</u> range <u>9 E</u> sec <u>25 NE 1/4 NE 1/4</u>	
film roll by <u>m</u> no. <u>2</u>	negative nos. <u>29, 30 28</u>	loc. of neg. <u>(HPB)</u>	plan shape ..... ..... ..... ..... ..... ..... ..... ..... ..... .....
		date of construction <u>Postwar</u> estimate _____ actual source _____	
		use present <u>residential</u> other _____ historic <u>residential</u> other _____	
style <u>Pueblo Revival</u>		condition <input checked="" type="checkbox"/> excellent    ___ good ___ fair            ___ deteriorating	
foundation material		degree of remodeling <input checked="" type="checkbox"/> minor    ___ moderate    ___ major	
wall material/surface		describe:	
architectural features		surroundings <u>Residential</u>	
		relationship to surroundings <input checked="" type="checkbox"/> similar    ___ not similar	
		district potential ___ yes        ___ no	
		significance ___ eligible    ___ of        ___ none	
		if eligible, interest why?	
comments <u>* Built by Fabiola Gilbert</u>		associated buildings? ___ yes what type?	
Streetscape <input type="checkbox"/> wall <input type="checkbox"/> hedge <input type="checkbox"/> wire fence <input type="checkbox"/> wood fence <input type="checkbox"/> landscape <input type="checkbox"/> street trees <input type="checkbox"/> stone curb <input type="checkbox"/> set back <input type="checkbox"/> regular		if inventoried, list ID nos.	
		see back? <input checked="" type="checkbox"/> yes	



site visit  
Fri 9/16/22



### CITY OF SANTA FE HISTORIC PRESERVATION DIVISION HISTORIC DISTRICTS APPLICATION

**1. Applicant Information (to be completed by the Applicant)**

Date: 7-15-22 Location of Project: 501 San Antonio Street

**Applicant**

Name: K. M. Skelly, Inc. Kevin Skelly, Pres.

Phone: 505.577.7909 Email: kevin@kmskelly.com

**Property Owner**

Name: Doug Watkins

Phone: 602.391.6559 Email: douglas.watkins@gmail.com

**Proposed Work:**

Casita only: raise parapets, raise roof, interior renovations, kitchen bath, new heating system,

only EXTERIOR:

Change entrance in courtyard, change out existing windows

yard wall/fence changes? gates, etc.

NO

NO

NO

**2. Property and Project Information (to be completed by HPD Staff)**

Case Planner: ANGELA BORDEGARAY

Date Assigned: 9/12/22 PAR No.: \_\_\_\_\_

Date of Site Visit: 9/16/22 Time: \_\_\_\_\_

Historic District: 5 NC-

Historic Status: D+E

Primary Elevations: N/A

Previous HDRB and Admin Cases: \_\_\_\_\_

	Yes	No
Archaeological compliance required?	<input type="checkbox"/>	<input type="checkbox"/>

WATKINS



**EDWARD FITZGERALD / ARCHITECTS**  
121 JEFFERSON NE ALBUQUERQUE NM 87108  
505-268-9055 work 505-366-9856 cell  
ed@efarchitects.com

September 21, 2022

City of Santa Fe  
Historic District Review  
Proposal Letter

Re: Casita Renovation  
501 San Antonio Street  
Santa Fe, NM 87505

HD: Downtown + Eastside

To the Historic Review Board,

The existing residence at 501 San Antonio Street has a main house, built around the 1950's – 1960's, with a detached casita, built around 1970's-80's. The property is surrounded by stucco-adobe privacy walls. The main house is adobe built in the traditional "Territorial Style" with turquoise painted, wood pedimented doors and windows. The Casita is part adobe and part framed construction in the same "Territorial" style.

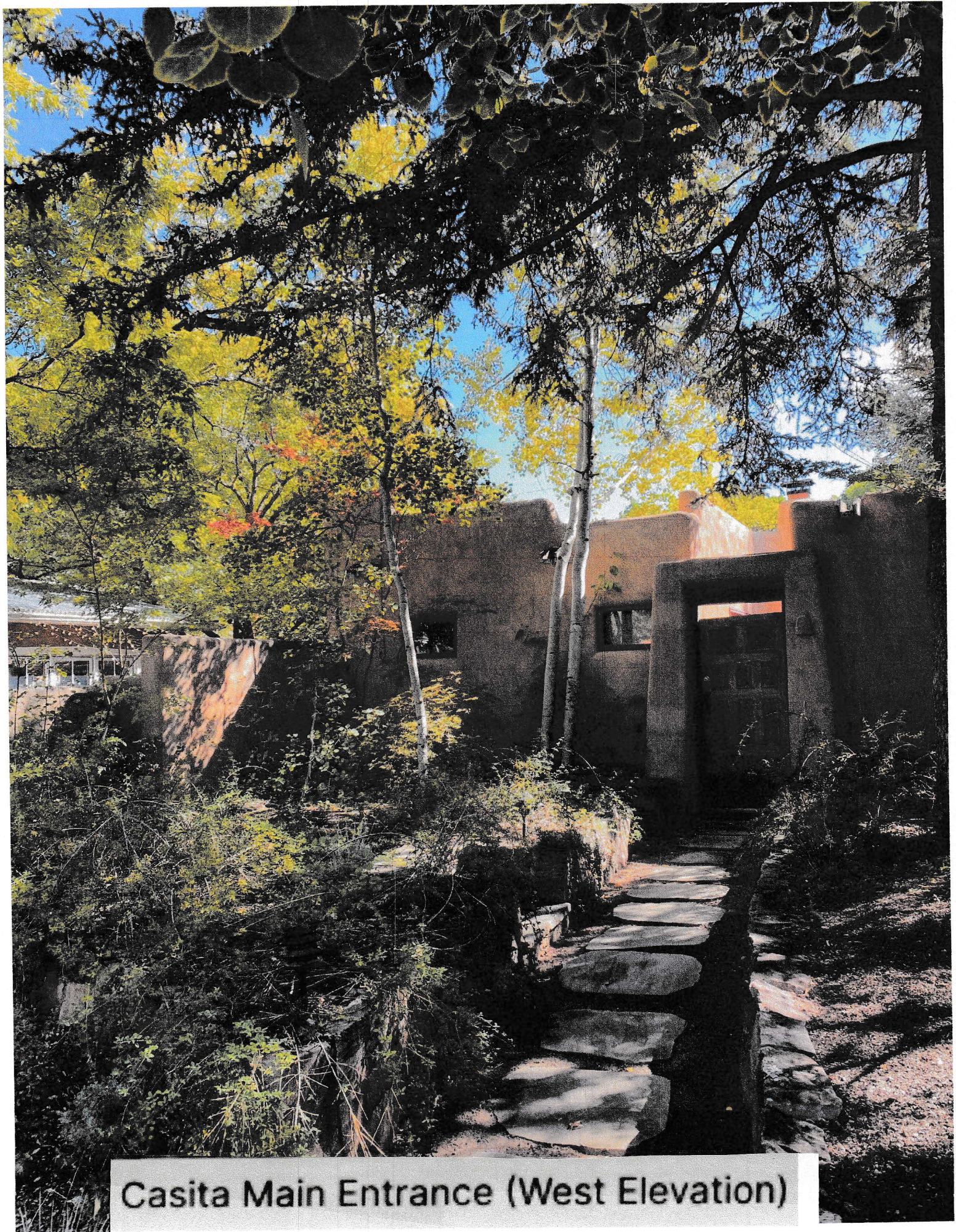
This Casita Renovation Project is predominantly an interior renovation that includes: Raising the existing floor to provide in-floor radiant heating and raising the existing roof structure accordingly; Moving the existing kitchen, renovating the existing bathroom, and moving some of the interior walls to improve the floor plan layout. The floor plan is 854 square feet.

Exterior renovation work includes: Replacing two of the existing windows at the front of the Casita with divided lite windows of the same size, to match the existing house's divided lite windows; Replace existing patio entrance doors and windows with two new windows to match other existing windows at patio; Raise the parapet on the north and east exterior walls from 10' to 12' (above grade) to accommodate the raised roof structure. The existing Casita wall on the north side of the house is 14'-3" above grade at its highest point and drops down to 10'-0" toward the rear of the property.

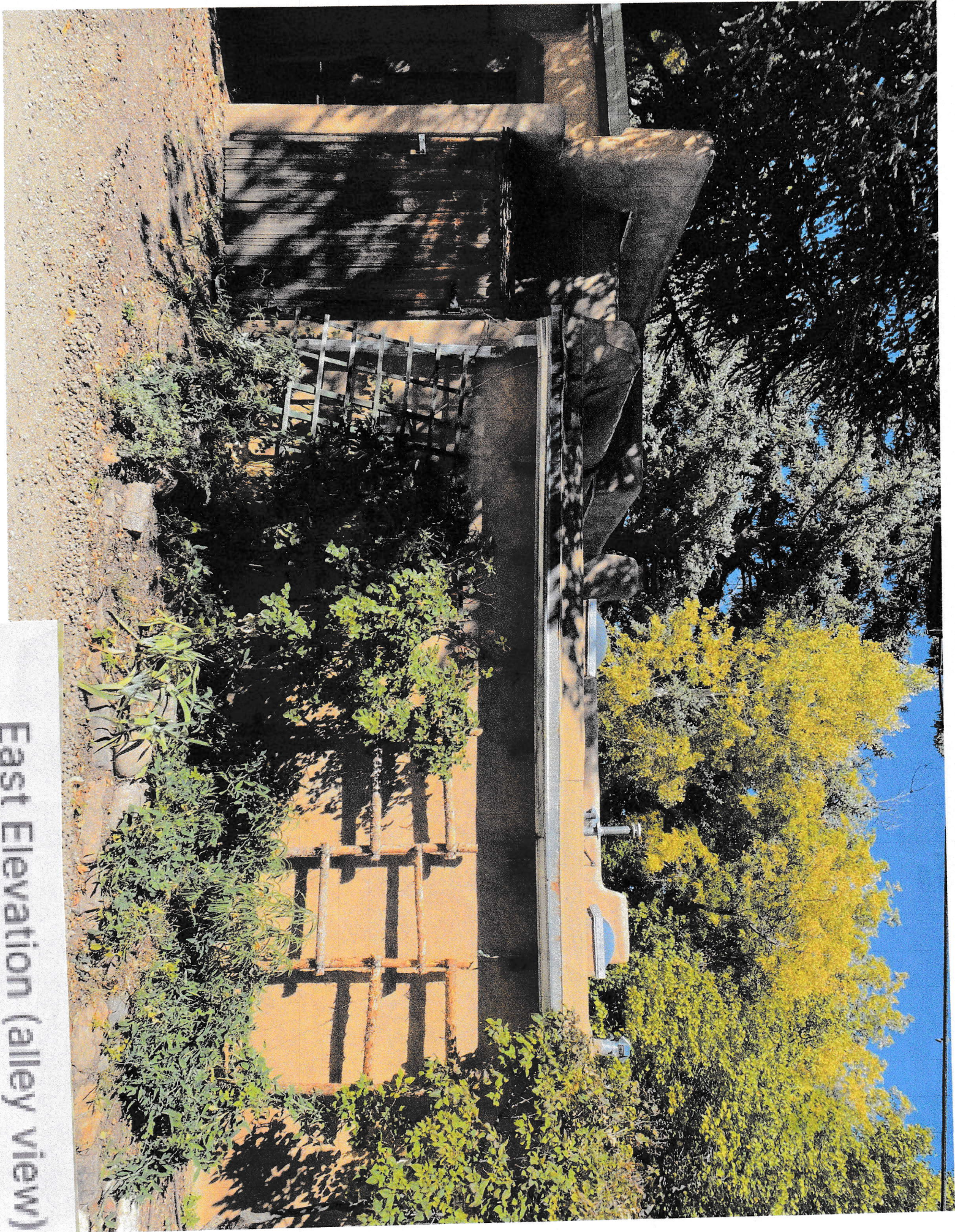
The existing house window color is "Turtle Lake" by Dunn Edwards. This color is a turquoise color. The new replacement windows on the front of the Casita will match this color. The stucco on the existing house and Casita is "Pueblo" by El Rey Stucco. This will not be changed and all repairs will match this stucco color. The existing porch columns and timber beams are natural color and will not be changed.

Sincerely,

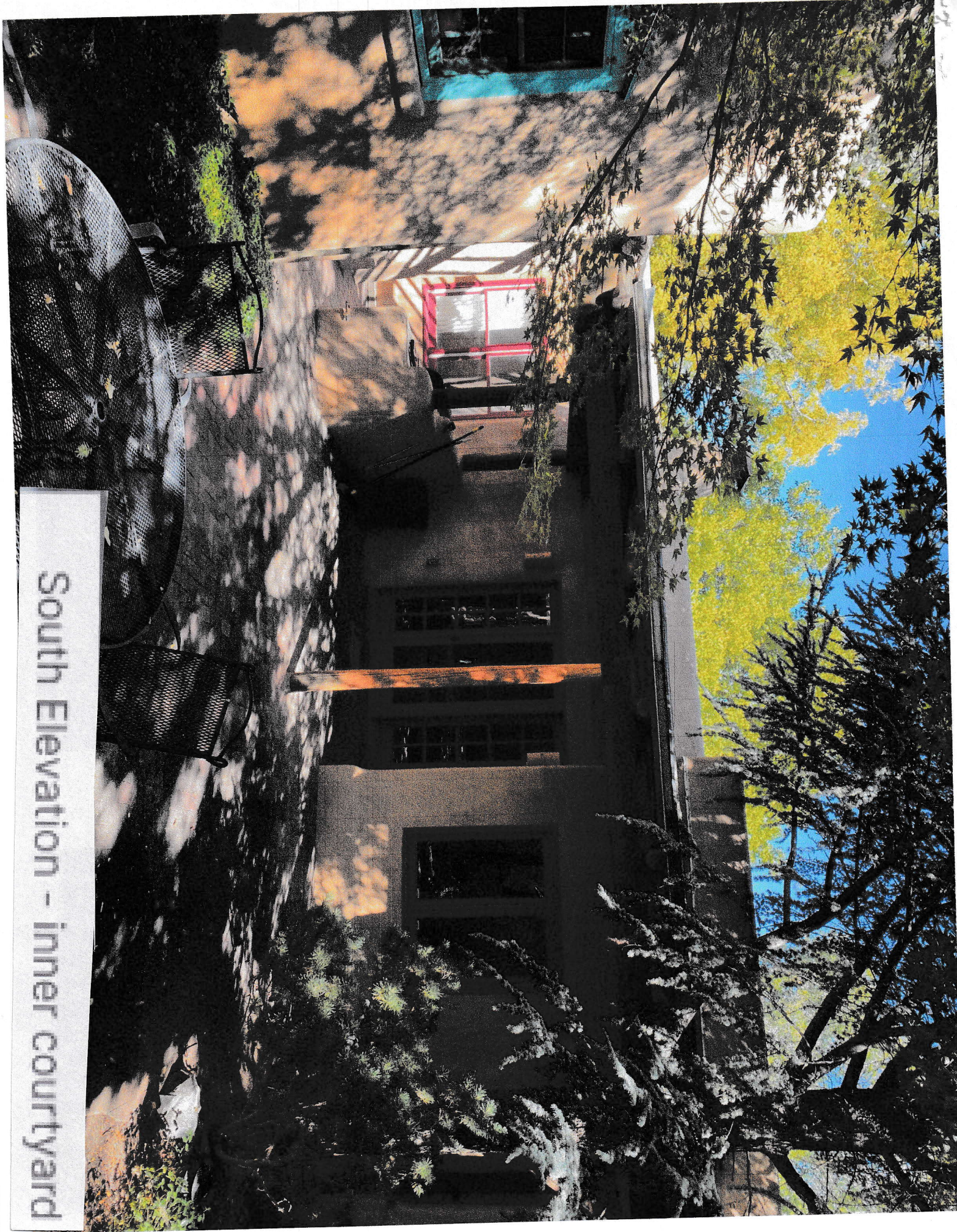
Ed Fitzgerald AIA / EFArchitects



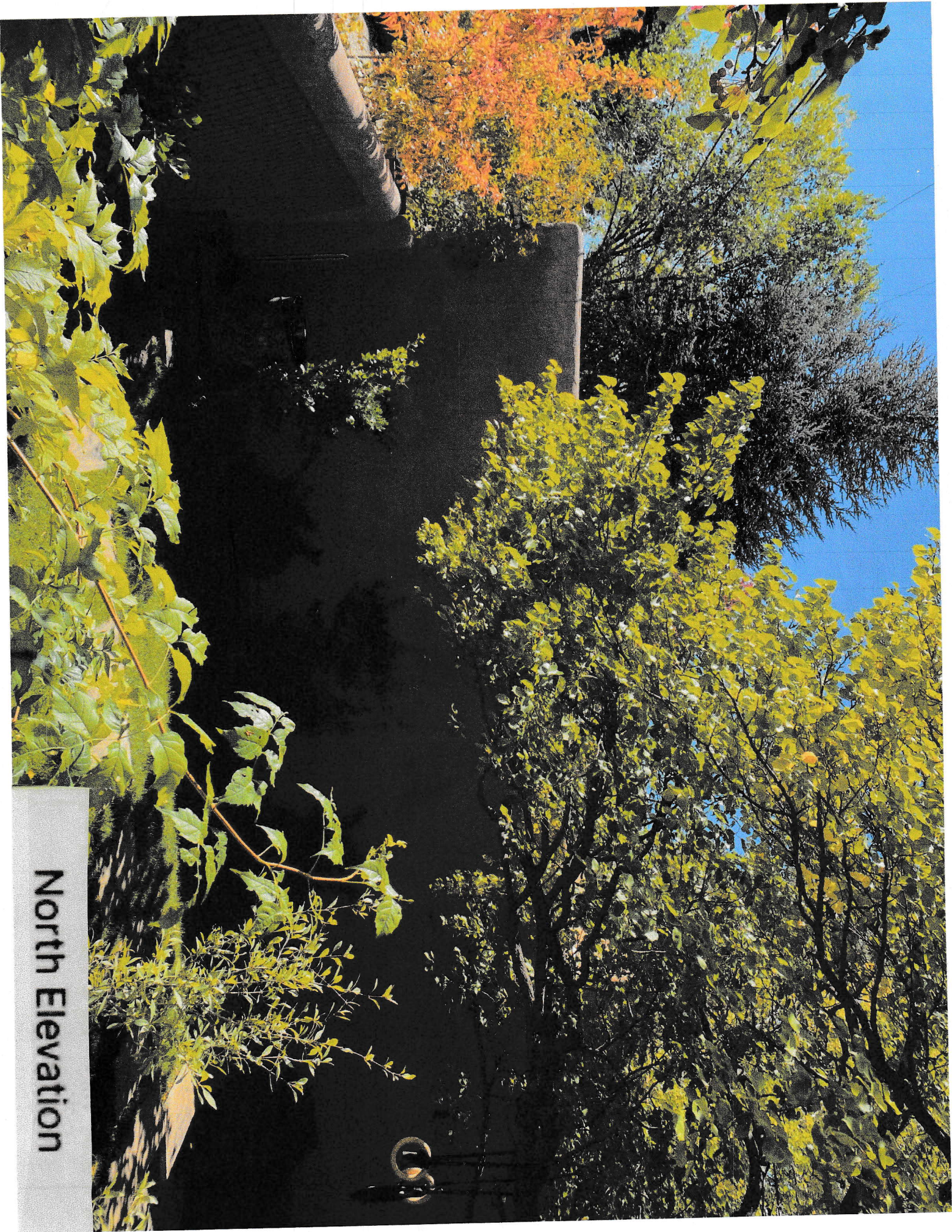
Casita Main Entrance (West Elevation)



East Elevation (alley view)



South Elevation - inner courtyard



North Elevation



This photograph represents color proposed for windows - this photo not part of the casita project

# DUNN-EDWARDS

SANTA FE 120 10:27:45 AM 3/4/2009

DE 5724  
POLISHED AQUA  
W705V ENDURACRYL

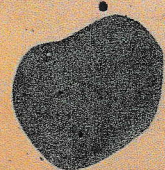
1 GALLON  
Y NOTATION /48

BASE: L  
JOB ID: 77879  
REV. DATE

04-13.5  
12-2Y12  
13-18

4/16/2007

*[Handwritten signature]*



## REW - NEW - IT

**CUSTOM-TINTED PAINT - NOT RETURNABLE  
FOR EXCHANGE OR REFUND.**

CUSTOM-TINTED PAINT MAY VARY SLIGHTLY FROM A  
COLOR CHIP AND FROM CONTAINER TO CONTAINER.  
CHECK FOR CORRECT COLOR MATCH AND CONFIRM  
COLOR BEFORE APPLICATION. DUNN-EDWARDS  
ACCEPTS NO LIABILITY FOR ANY  
MIS-MATCH IF IT HAS BEEN APPLIED.



WARDS

# El Rey | Stucco Colors

 Marble White ■ 80 01008	 Tijeras ■ 68 1685	 Desert Lace ■ 59 01009	 Paloma ■ 54 01014	 Navajo White ■ 64 01007
 San Antonio ■ 37 1465	 Nambe ■ 48 01012	 San Juan ■ 54 2088	 Torreon ■ 55 1501	 Sandia ■ 47 1616
 Adobe Brown ■ 25 01004	 Pecos ■ 23 01001	 Acoma ■ 50 3030	 Alamo ■ 50 2501	 Amarilla ■ 42 3003
 Mesilla ■ 42 2207	 Tumbleweed ■ 30 01011	 Cimmaron ■ 22 4180	 Sedona ■ 34 01013	 Duran ■ 47 04527
 Mesa Del Sol ■ 49 01016	 Pueblo ■ 42 01005	 Suede ■ 29 01006	 Abiquiu ■ 18 01002	

WIKIPEDIA  
The Free Encyclopedia

# Fabiola Cabeza de Baca Gilbert

**Fabiola Cabeza de Baca Gilbert** (May 16, 1894 – October 14, 1991) was an American educator, nutritionist, activist and writer. Cabeza de Baca is also known as the inventor of the U-shaped fried taco shell.<sup>[1][2][3]</sup> She was also the first known published author of a cookbook describing New Mexican cuisine.<sup>[4]</sup> Cabeza de Baca was fluent in Spanish, English, Tewa and Tiwa.<sup>[5]</sup>



Fabiola Cabeza de Baca in front of a rural school in New Mexico, circa 1920s.

## Biography

Cabeza de Baca was part of a prominent New Mexican family and one of four siblings.<sup>[6]</sup> She was a descendant of Spanish explorer, Alvar Nuñez Cabeza de Baca.<sup>[1]</sup> Her paternal great-grandfather was awarded the title to the Las Vegas Grandes land grant in 1823.<sup>[6]</sup> She was also related to the second Governor of New Mexico, Ezequiel Cabeza de Baca, who was her uncle.<sup>[6]</sup> Cabeza de Baca was born in and lived part of her life Las Vegas, New Mexico.<sup>[1]</sup> She also grew up on a ranch in La Liendre.<sup>[7]</sup> Her mother died when she was four, and her paternal grandmother raised her afterwards.<sup>[5]</sup> Her grandmother instilled the idea of "*nobless oblige*" in Cabeza de Baca.<sup>[8]</sup> As a young woman, Cabeza de Baca "refused to take on her 'proper' role as a Spanish lady" and spent her time riding horses and watching the ranch men work.<sup>[1]</sup> When she was twelve, she visited Spain.<sup>[9]</sup>

Cabeza de Baca first attended a Catholic school, where she was expelled from Loreto Academy's kindergarten for slapping a nun.<sup>[1][6][8]</sup> She later went to New Mexico Normal College, where she earned her teaching certificate in 1912.<sup>[1]</sup> In the year of her graduation, her family was nearly bankrupt because of serious economic hardships.<sup>[9]</sup> In 1921 she earned a bachelor's degree in pedagogy and visited Spain a second time.<sup>[9]</sup> Later, she would earn a second bachelor's degree in home economics from New Mexico State University (NMSU) in 1929.<sup>[9]</sup>

Her first job was teaching in a one-room schoolhouse in 1916.<sup>[6]</sup> Her father was opposed to her teaching, but she insisted.<sup>[6]</sup> She continued to teach school in the New Mexico public school system for a few years, and after receiving her degree from NMSU, began to work as an extension agent for Hispanic and Pueblo villages in New Mexico<sup>[5]</sup> as part of the New Mexico Agricultural Extension Service (NMAES). Her career as an extension agent for these villages would span thirty years.<sup>[10]</sup> In this capacity, she taught rural women modern agricultural techniques, introduced modern devices like sewing machines, so that rural families could thrive on their own land.<sup>[11]</sup> She also helped organize clubs for rural women.<sup>[12]</sup> Canning was one of the methods that extension agents tried to spread to rural areas, however, in rural New Mexico this was a controversial topic because most farm women had no running water and few could afford a pressure cooker. Instead, these women relied on a long tradition of drying food to preserve it. The extension service also endorsed this practice.<sup>[13]</sup> She was the first extension agent who spoke Spanish and often translated government information into Spanish for rural residents.<sup>[6]</sup> She was also the first agent sent out to Pueblos.<sup>[14]</sup>

While visiting homes, she collected cultural information, recipes, stories and more.<sup>[6]</sup> Some of these were published in the Santa Fe *Nuevo Mexicana*.<sup>[6]</sup> She also hosted a bilingual<sup>[10]</sup> weekly radio show related to homemaking on the station, KVSF.<sup>[6]</sup>

In 1929, she eloped with Carlos Gilbert, an insurance agent and member of the League of United Latin American Citizens (LULAC).<sup>[15]</sup> The match was not approved of by her father,<sup>[15]</sup> and the couple divorced after 10 years.<sup>[6]</sup> Her husband's activism affected Cabeza de Baca, who became involved with Hispanic civil rights.<sup>[6]</sup>

In 1932, she was injured by a train car, which resulted in having one of her legs amputated.<sup>[16]</sup> While she recovered for a period of two years, she continued to write and eventually returned to work, visiting homes.<sup>[6]</sup> In 1935, she and several other women founded La Sociedad Folklorica in Santa Fe as an organization "dedicated to preserving Spanish Language and Hispanic traditions in Santa Fe."<sup>[11]</sup> During World War II, she helped women create Victory Gardens and set up childcare for women who were working.<sup>[8]</sup> In 1950, UNESCO sent Cabeza de Baca to Pátzcuaro to teach modern food and agriculture techniques to students.<sup>[14]</sup> In 1959, she retired from working as an extension agent.<sup>[6]</sup>

In her retirement, she continued to preserve Spanish culture and was involved with the La Sociedad Folklorica of Santa Fe.<sup>[6]</sup> She was also active in the Peace Corps.<sup>[10]</sup>

In May 1984, she entered into a nursing home.<sup>[14]</sup> On October 14, 1991, Cabeza de Baca died in Albuquerque.<sup>[6]</sup> She was buried near Newkirk, New Mexico on the family's ranch.<sup>[14]</sup>

## Writing

Her book, *Historic Cookery*, first published in 1931, collected traditional recipes from the area, emphasizing "basic New Mexico foods."<sup>[14]</sup> It was written with an "Anglo audience in mind."<sup>[17]</sup> *Historic Cookery* also marked the first time that New Mexican recipes were written down with "exact measurements."<sup>[4]</sup> It was also one of the first Mexican American cookbooks that included recipes for chile sauce, masa, atole, panocha sprouted-wheat pudding, and menudo.<sup>[13]</sup> In 1959, Cabeza de Baca and chef as the Alvarado Hotel worked to update the recipes in *Historic Cookery* to modern techniques.<sup>[18]</sup> The book sold over 100,000 copies,<sup>[19]</sup> and was republished many times.<sup>[6]</sup> A copy of this book was sent to the governor of each state in the US by Thomas Mabry along with a bag of pinto beans.<sup>[19]</sup> Her work helped introduce cooking with chile to the American public.<sup>[20]</sup>

Cabeza de Baca's second cookbook, *The Good Life: New Mexico Traditions and Foods* was first published in 1949 and was one of the first cookbooks to "place recipes within the historic and cultural contexts out of which they grew."<sup>[21]</sup> The book contained a fictional family, the Turrieta family, which represented the people that she met as an extension agent.<sup>[6]</sup> The book also describes regional differences in New Mexican cuisine.<sup>[17]</sup>

Her autobiographical narrative, *We Fed Them Cactus* (1954), describes the life of New Mexican Hispanos,<sup>[5]</sup> and documents four generations of her family.<sup>[6]</sup> The title refers to a major drought that caused her family to have to feed cactus to their cattle.<sup>[5]</sup> The story is narrated by El Cuate, or the camp cook, and the narrative in *We Fed Them Cactus* is meant to "counter Anglo-American stereotyping of wealthy and corrupt landowners of the *rico* class."<sup>[17]</sup>

Between 1958 and 1961 she wrote and edited for a magazine she helped found, the *Santa Fe Scene*.<sup>[14]</sup>

Later Chicano readings of Cabeza de Baca's work were critical of her writing, which was seen as "elitist and not representative of the realistic Chicano experience."<sup>[22]</sup> Despite this criticism, her writing has been viewed by Hispanic literary critics as a precursor to Chicana literature.<sup>[8]</sup>

## Publications

- *We Fed Them Cactus*. Albuquerque: University of New Mexico Press. 1954. OCLC 2620391 (<http://www.worldcat.org/oclc/2620391>).
- *Historic Cookery*. Las Vegas, New Mexico: La Galeria de los Artesanos. 1970. OCLC 2723352 (<https://www.worldcat.org/oclc/2723352>).
- *The Good Life, New Mexico Traditions and Food*. Santa Fe, New Mexico: Museum of New Mexico Press. 1982. ISBN 9780890131374.

## References

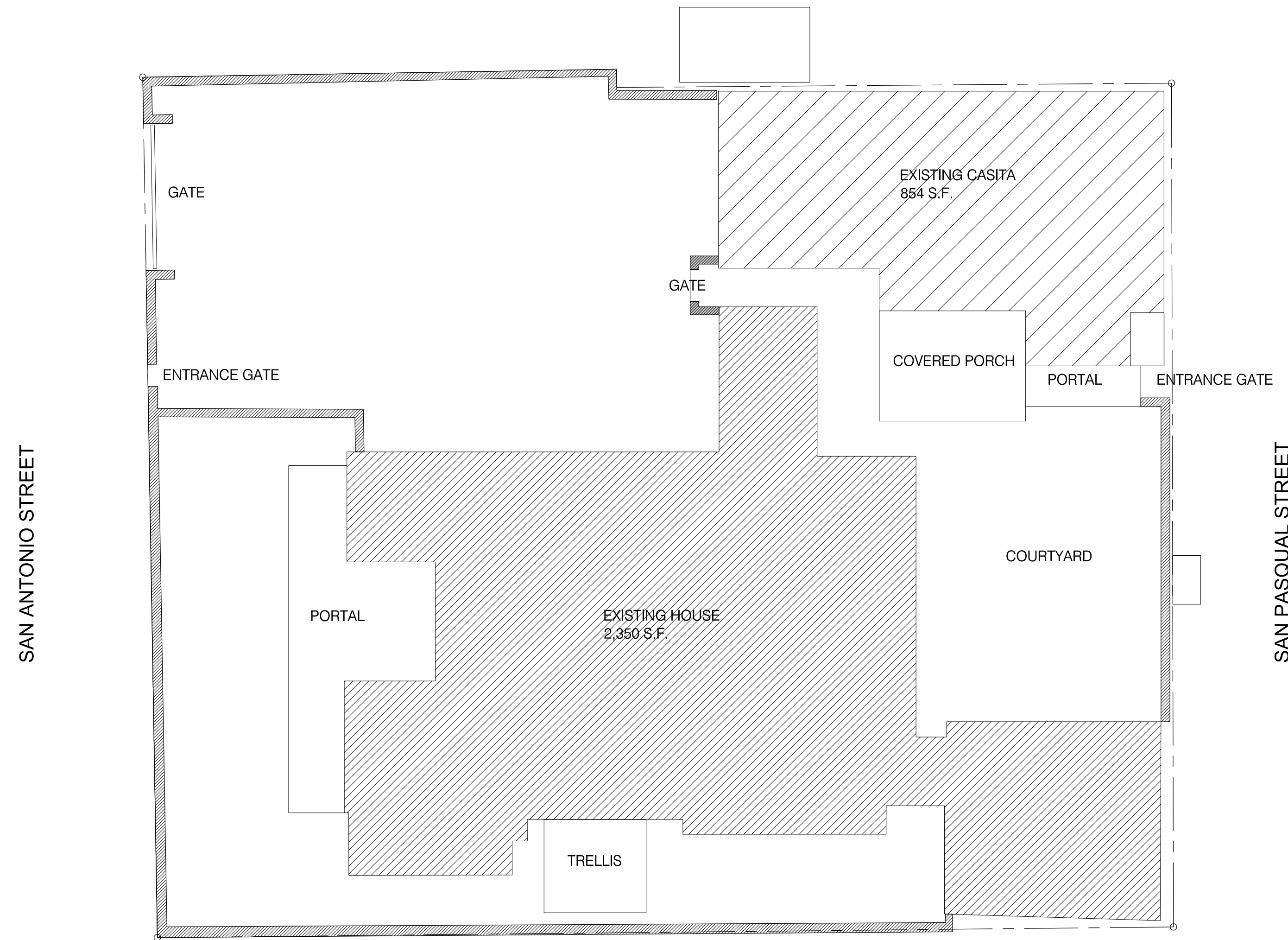
### Citations

1. Rudnick 2012, p. 72.
2. Pilcher, Jeffrey (2015). "Taco" (<https://books.google.com/books?id=yvtPCgAAQBAJ&q=%22fabiola+cabeza+de+ Baca%22+taco&pg=PA575>). In Zolov, Eric (ed.). *Iconic Mexico: An Encyclopedia From Acapulco to Zocalo*. Santa Barbara, California: ABC-CLIO. p. 574. ISBN 9781610690447.
3. Pilcher, Jeffrey (2015). "Taco" (<https://books.google.com/books?id=yvtPCgAAQBAJ&q=%22fabiola+cabeza+de+ Baca%22+taco&pg=PA574>). In Zolov, Eric (ed.). *Iconic Mexico: An Encyclopedia from Acapulco to Zocalo*. Santa Barbara, California: ABC-CLIO. p. 574. ISBN 9781610690447.
4. DeWalt, Rob (22 October 2014). "Origins of Southwest Food" (<http://www.sfreporter.com/santafe/article-9385-origins-of-southwest-food.html>). *Santa Fe Reporter*. Retrieved 24 January 2017.
5. McShane, Becky Jo. Wishart, David J. (ed.). "De Baca, Fabiola Cabeza (1898-1933)" (<http://plainshumanities.unl.edu/encyclopedia/doc/egp.ha.011>). *Encyclopedia of the Great Plains*. University of Nebraska-Lincoln. Retrieved 24 January 2017.
6. Sullivan, Michael Ann. "Fabiola Cabeza de Baca" (<http://newmexicohistory.org/people/fabiola-cabeza-de-baca>). *New Mexico History.org*. Retrieved 24 January 2017.
7. "New Mexico Historic Women Marker Initiative" (<http://www.nmwomensforum.com/images/NewMexicoHistoricWomenMarkers.pdf>) (PDF). *New Mexico Women's Forum*. Retrieved 24 January 2017.
8. Pounce, Merrihelen (2006). "Cabeza de Baca, Fabiola (1894-1991)" ([https://books.google.com/books?id=\\_62ljQ-XQScC&q=%22fabiola+cabeza+de+ Baca%22&pg=PA104](https://books.google.com/books?id=_62ljQ-XQScC&q=%22fabiola+cabeza+de+ Baca%22&pg=PA104)). In Ruiz, Vicki L.; Korrol, Virginia Sanchez (eds.). *Latinas in the United States: A Historical Encyclopedia*. Vol. 1. Bloomington: Indiana University Press. pp. 104–105. ISBN 9780253111692.
9. Davis 2000, p. 61.
10. Navajas, Emma. "Fabiola Cabeza de Baca Gilbert" ([http://myhero.com/hero.asp?hero=F\\_Cabeza deBaca\\_2013](http://myhero.com/hero.asp?hero=F_Cabeza deBaca_2013)). *My Hero*. Retrieved 24 January 2017.
11. "Fabiola Cabeza de Baca" (<http://www.route66women.com/portfolio/fabiola-cabeza-de-baca/>). *The Women on the Mother Road*. Retrieved 24 January 2017.
12. Dean, Rob (1 May 2010). "Santa Fe 400th: Work, Words Formed Sense of Place" ([http://www.santafenewmexican.com/news/local\\_news/santa-fe-th-work-words-formed-sense-of-place/article\\_dce752c1-ffc1-50c2-beb2-8a992ff7aaa3.html](http://www.santafenewmexican.com/news/local_news/santa-fe-th-work-words-formed-sense-of-place/article_dce752c1-ffc1-50c2-beb2-8a992ff7aaa3.html)). *Santa Fe New Mexican*. Retrieved 24 January 2017.
13. Dreilinger, Danielle (2021). *The Secret History of Home Economics*. New York: W. W. Norton & Company, Inc. p. 100–103. ISBN 9781324004493.

# CASITA RENOVATION

## PROJECT DATA

PROJECT DESCRIPTION:	RENOVATION OF EXISTING CASITA FOOT PRINT OF CASITA TO REMAIN AS EXISTING PARAPETS TO BE RAISED WHERE REQUIRED FOR INTERIOR RENOVATION
PROJECT:	CASITA RENOVATION
EXISTING BUILDING:	854 S. F.
PROJECT ADDRESS:	501 SAN ANTONIO STREET, SANTA FE, NM 87505
LEGAL DESCRIPTION:	UPC 1-054-098-511-395
HISTORIC DISTRICT:	DOWNTOWN AND EASTSIDE



## SITE PLAN

scale: 1/8" = 1'-0"



DRAWING INDEX	
SHEET No.	SHEET NAME
GENERAL	
G101	INDEX, CODE, SITE PLAN
AB101	EXISTING AS-BUILT DRAWINGS
STRUCTURAL	
S101	FOUNDATION PLAN + FRAMING PLAN
ARCHITECTURAL	
A101	FLOOR PLAN + INTERIOR ELEVATIONS
A103	REFLECTED CEILING PLAN + DOOR & WINDOW SCHEDULE
A201	BUILDING ELEVATIONS
A301	BUILDING SECTIONS (NOT INCLUDED)
A401	ENLARGED BATHROOM PLAN & ELEVATIONS

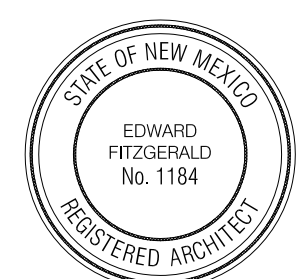
SITE PLAN + PROJECT DATA

**CASITA RENOVATION**  
501 San Antonio Street, Santa Fe, NM

## CONSTRUCTION DOCUMENTS

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F I T Z G E R A L D  
ARCHITECTS

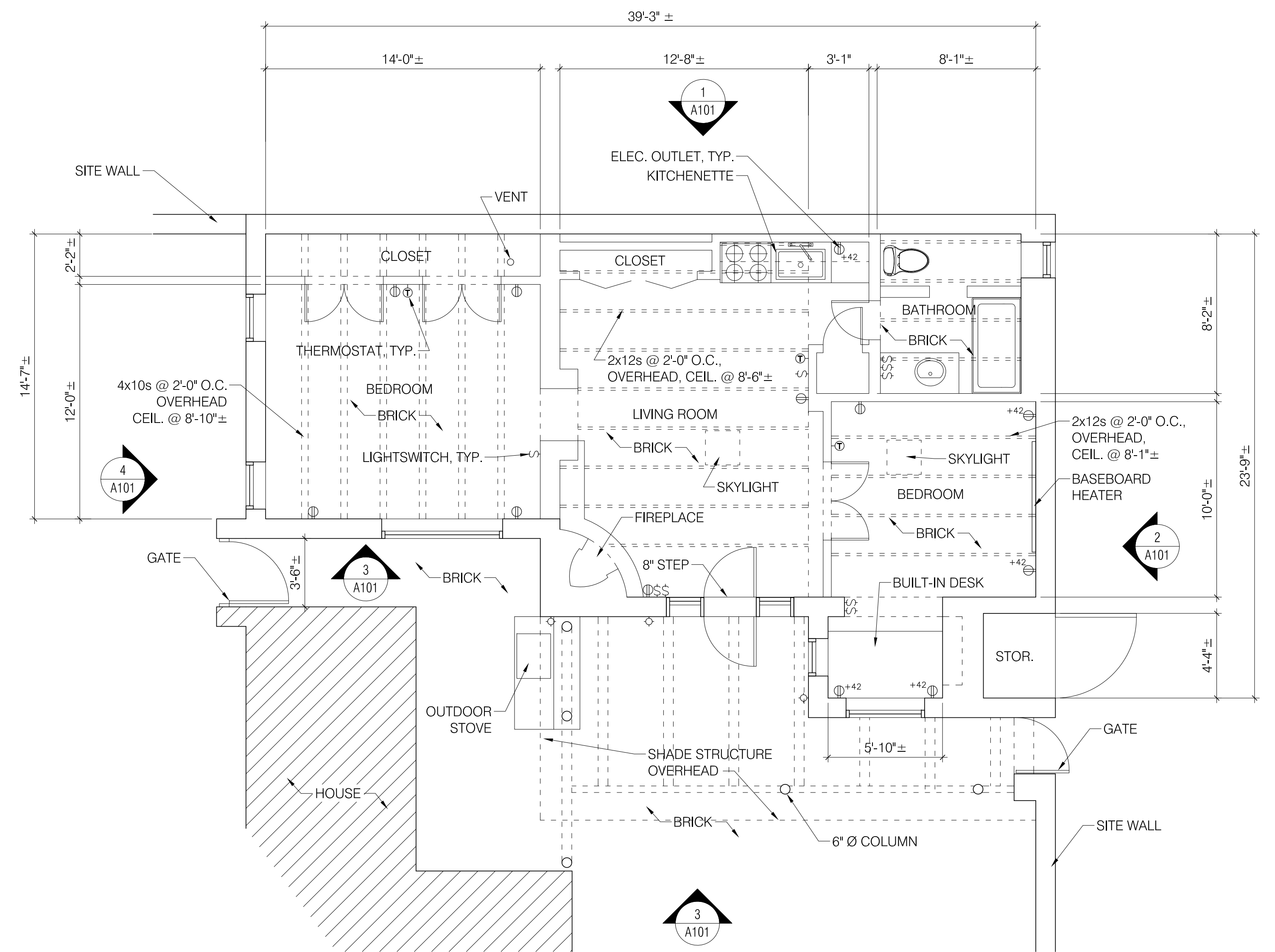
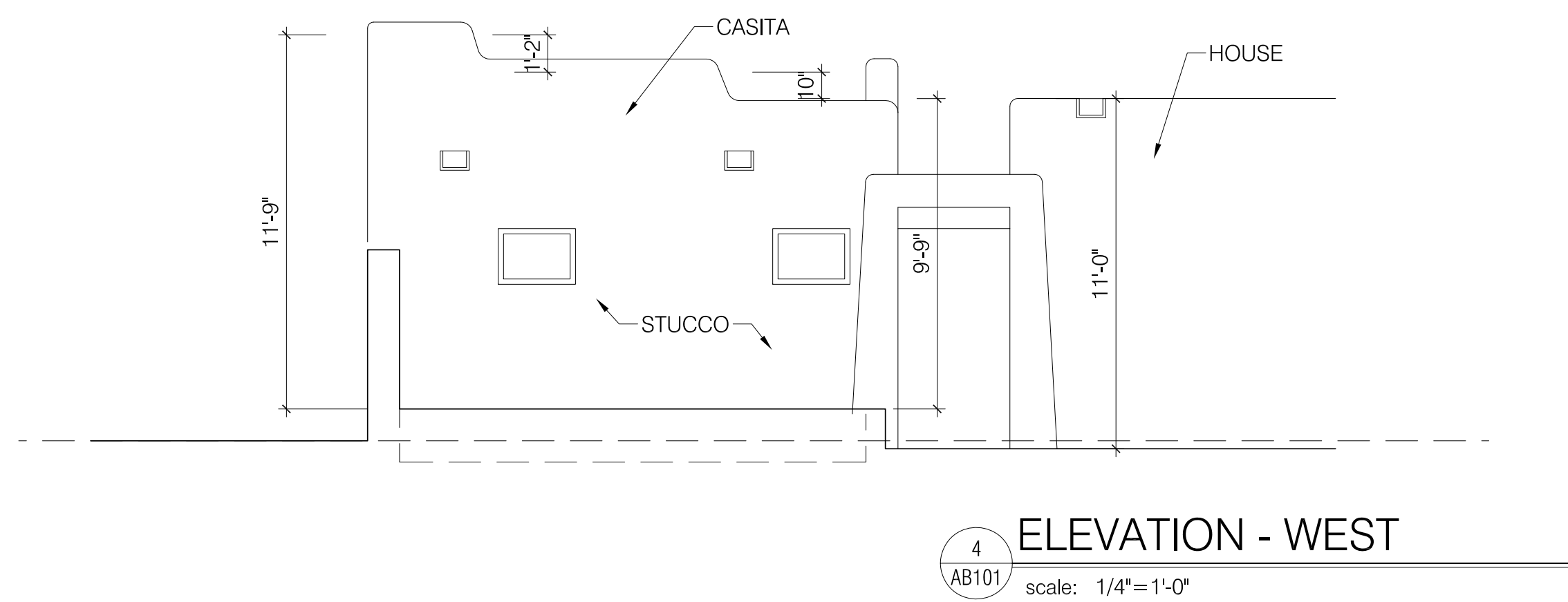
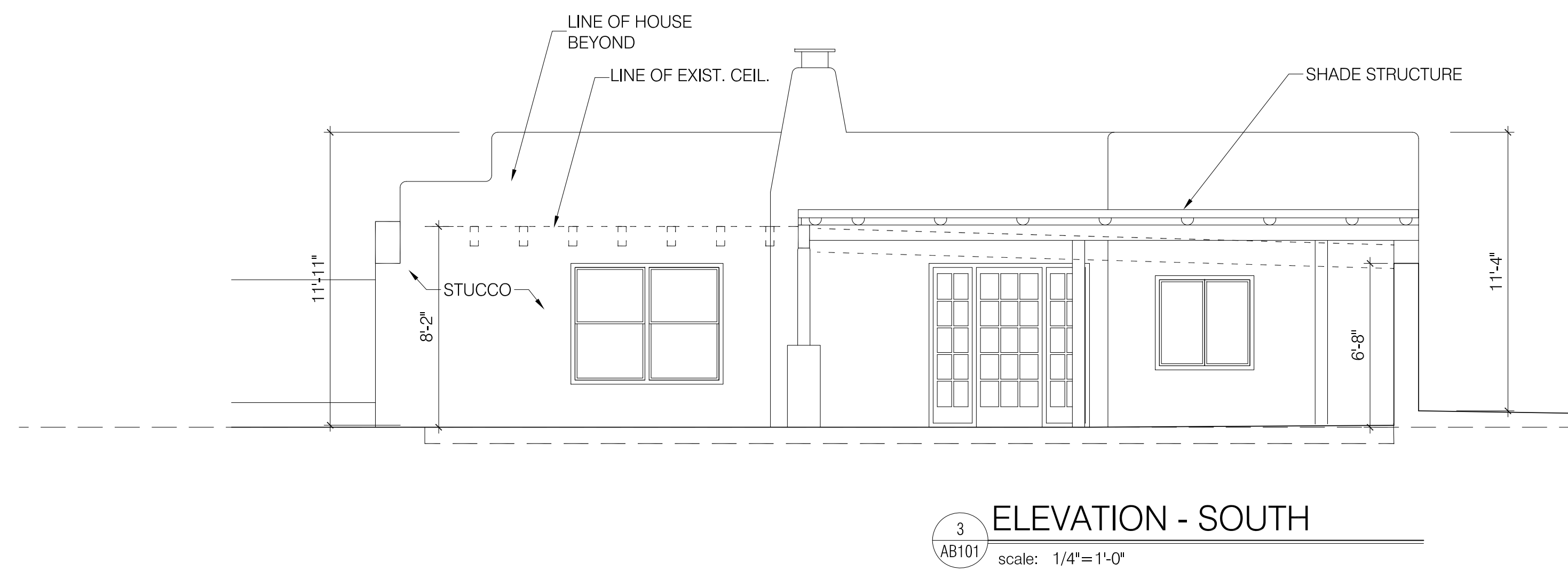
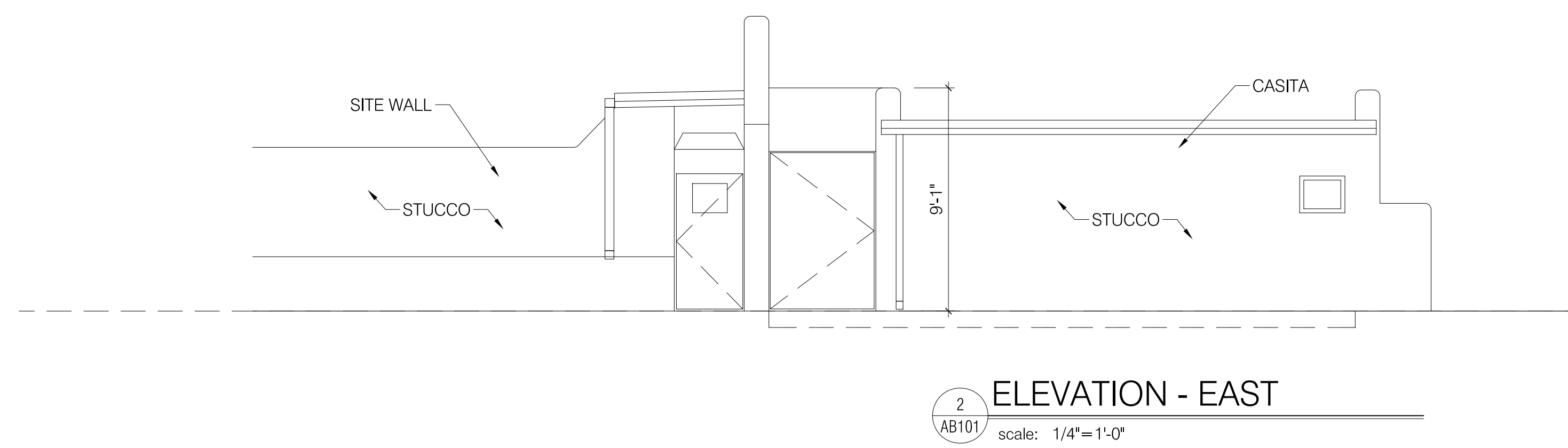
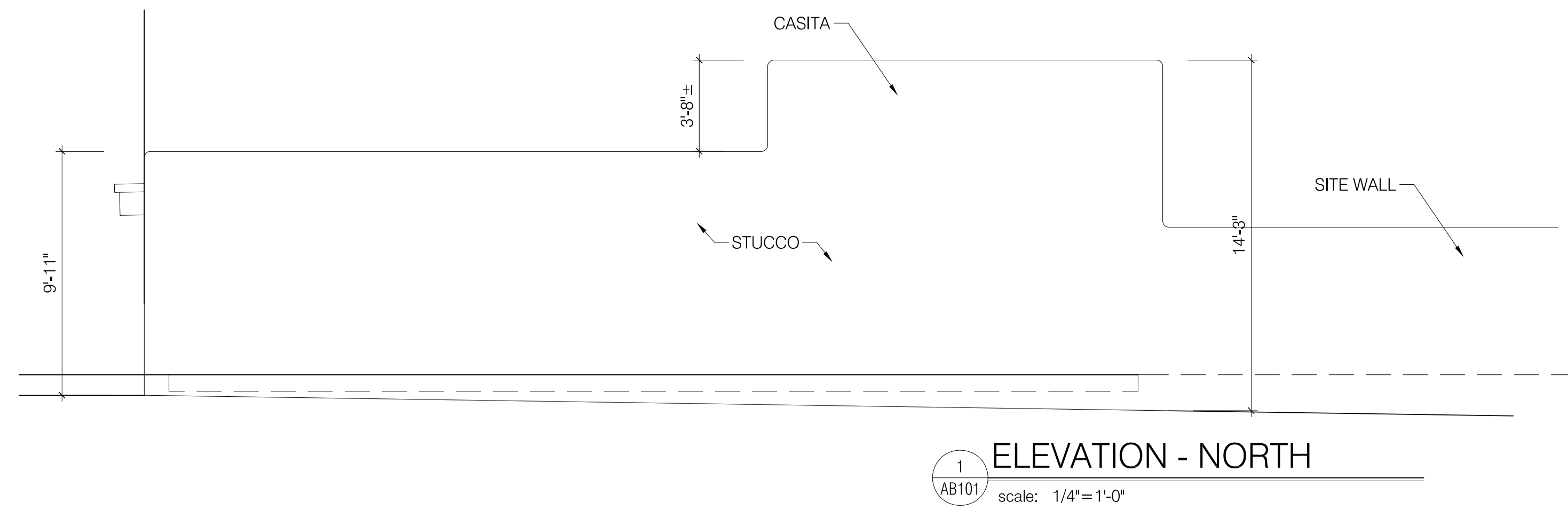
121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
877108  
TEL 505.268.9055  
EFARCHITECTS.COM



date: 08/04/22  
drawn by: EF

G101

revisions



**GENERAL NOTES**

- A. PARAPET HEIGHTS TO BE VERIFIED IN FIELD
- B. CRITICAL DIMENSIONS TO BE VERIFIED IN FIELD
- C. STRUCTURAL MEMBERS AND SPANS TO BE VERIFIED IN FIELD
- D. DIMENSIONS ARE TO FINISHES

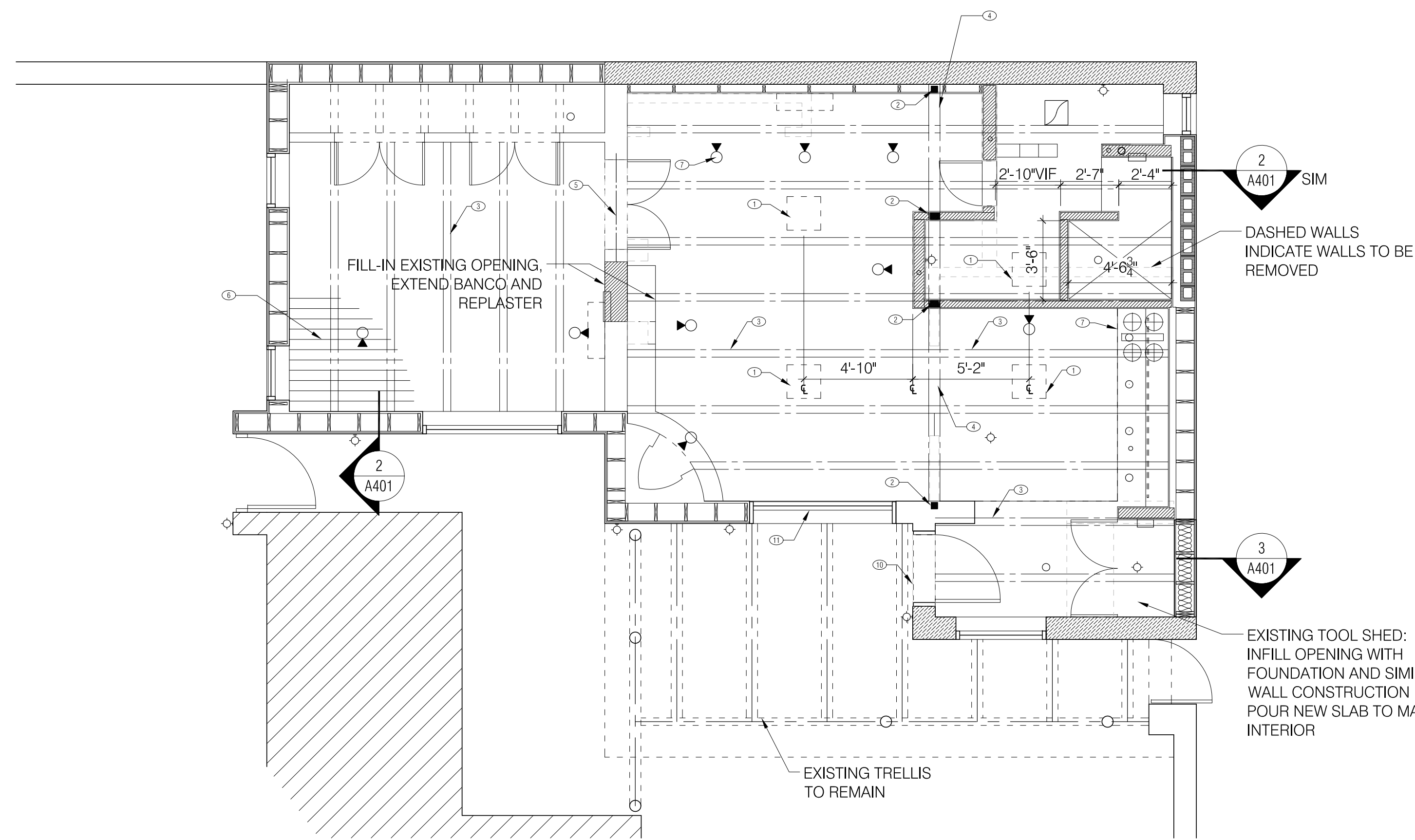
**AS-BUILT PLAN & ELEVATIONS**

**CASITA RENOVATION**  
 501 San Antonio Street, Santa Fe, NM

**EXISTING AS BUILT DRAWINGS**

<b>EDWARD FITZGERALD ARCHITECTS</b> <small>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87710 TEL 505.268.9055 EFARCHITECTS.COM</small>	<small>date:</small> <b>03/07/22</b>
	<small>drawn by:</small> <b>JF/EF</b>
	<small>revisions</small>

**AB101**



**ROOF FRAMING PLAN**

scale: 1/4"=1'-0"



**WALL LEGEND**

- EXISTING ADOBE WALL
- EXISTING CMU WALL
- EXISTING EXTERIOR FRAME WALL
- NEW EXTERIOR INFILL WALL
- DEMO EXISTING WALLS
- EXISTING INTERIOR WALL
- NEW INTERIOR FRAME WALL

**GENERAL NOTES**

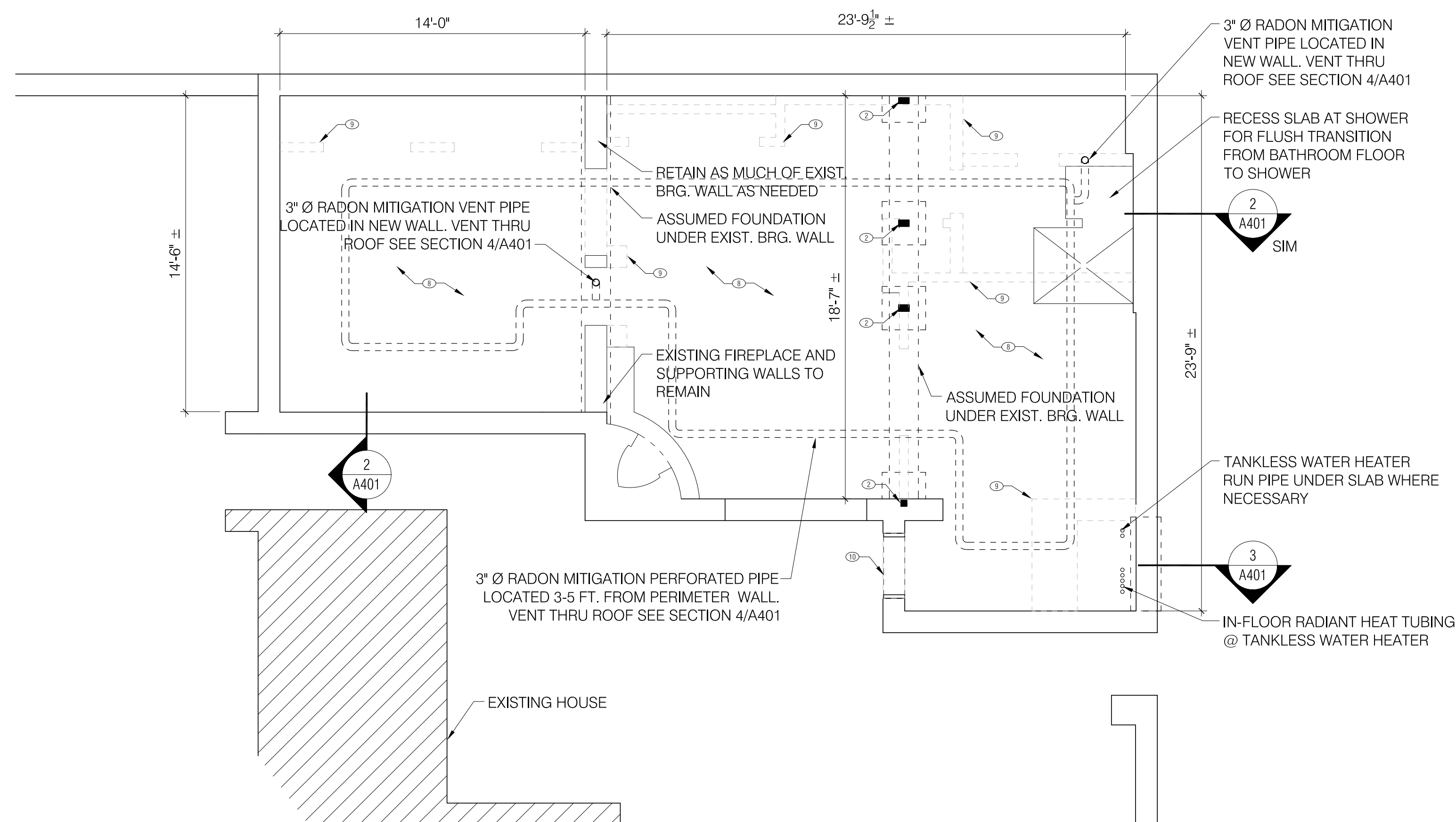
1. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION
2. VERIFY DIMENSIONS IN FIELD.
3. CONTRACTOR TO VERIFY EXISTING BEARING WALL CONSTRUCTION AT EACH LOCATION.
4. CONTRACTOR TO BRING DISCREPANCIES TO THE ARCHITECT'S ATTENTION.
5. CONTRACTOR TO VERIFY STRUCTURAL BEAM LOCATIONS AND COORDINATE WITH PLUMBING AND ELECTRICAL.
6. ELECTRICAL CONDUIT FOR LIGHT FIXTURES LOCATED ON CEILING SHALL BE RUN ON TOP OF ROOF DECK, UNDER ROOF INSULATION.
7. CONTRACTOR TO VERIFY EXISTING BEARING WALL FOUNDATIONS AND REINFORCE WITH ADDITIONAL CONCRETE WHEN REQUIRED.
8. CONTRACTOR TO RETAIN EXISTING FIREPLACE AND BEARING WALLS WHERE REQUIRED AND POUR NEW CONCRETE SLAB AROUND THEM.

**STRUCTURAL REQUIREMENTS**

1. SOIL BEARING CAPACITY IS 1,500 PSF (ASSUMED)
2. COMPACT SOIL UNDER SLABS AND FOOTINGS TO 95% OF STANDARD PROCTOR DENSITY.
3. NEW CONCRETE SHALL BE 3,000 PSI MIN. @ 28 DAYS
4. WITH MAX SLUMP OF 4".
5. STEEL REBAR SHALL BE GRADE 40 W/ LAP SPLICES PER CODE
6. STRUCTURAL STEEL SHALL BE A36

**KEYED NOTES**

1. SKYLIGHT: 18" X 18" DOUBLE INSULATED GLASS SKYLIGHT.
2. NEW BEAM BEARING: SOLID 2X STUDS
3. 4 X 10 DOUG FIR WOOD BEAMS @ 30" O.C. AND ROUTED DETAIL TO MATCH EXIST. HOUSE
4. 6 X 10 DOUG FIR WOOD BEAM.
5. DOUBLE 2 X 8 HEADER
6. 2X6 T&G WOOD DECKING W (2) 16d NAILS @ EA. BEAM
7. NEW SURFACE MOUNTED LIGHT FIXTURE. RECESS J-BOX IN DECKING AND RUN CONCEALED ELECTRICAL CONDUIT ON ROOF, UNDER INSULATION (TYPICAL).
8. NEW 4" REINF. CONC. SLAB WITH 6X6 X W2.1 X W 2.1 WELDED WIRE FABRIC & IN-FLOOR RADIANT HEATING. INSTALL OVER 2" XPS EXPANDED INSULATION. SEE DETAIL 4/A401 FOR RADON MITIGATION
9. DEMO EXISTING WALLS AS REQUIRED FOR NEW CONC. SLAB. RETAIN CRITICAL WALLS INCLUDING ADOBE AND BEARING WALLS AS REQUIRED WHERE EXISTING FOUNDATIONS EXIST.
10. DEMO EXISTING WINDOW AND WALL AS REQUIRED FOR NEW ENTRANCE DOORWAY.
11. DEMO EXISTING ENTRANCE DOORS AND WINDOWS. INFILL WITH NEW WINDOWS AS INDICATED ON BUILDING ELEVATION.



**FOUNDATION PLAN + DEMO PLAN**

scale: 1/4"=1'-0"



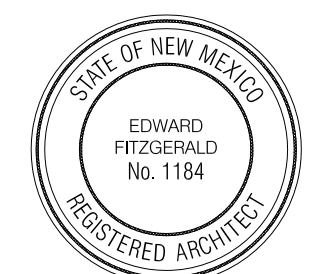
**STRUCTURAL PLANS + DETAILS**

**CASITA RENOVATION**  
501 San Antonio Street, Santa Fe, NM

**CONSTRUCTION DOCUMENTS**

EDWARD  
FITZGERALD  
ARCHITECTS

121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
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TEL 505.268.9055  
EF ARCHITECTS.COM

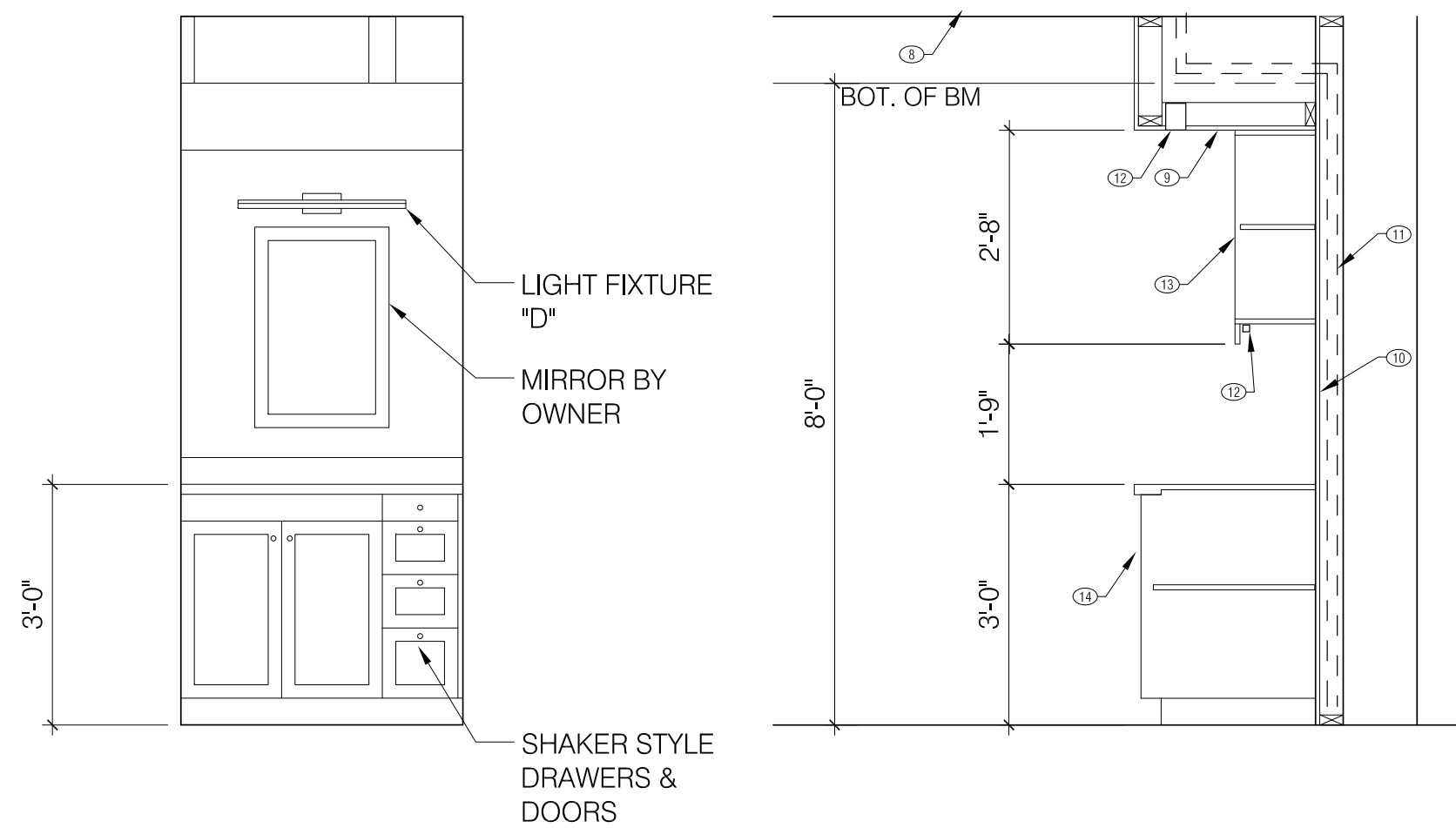


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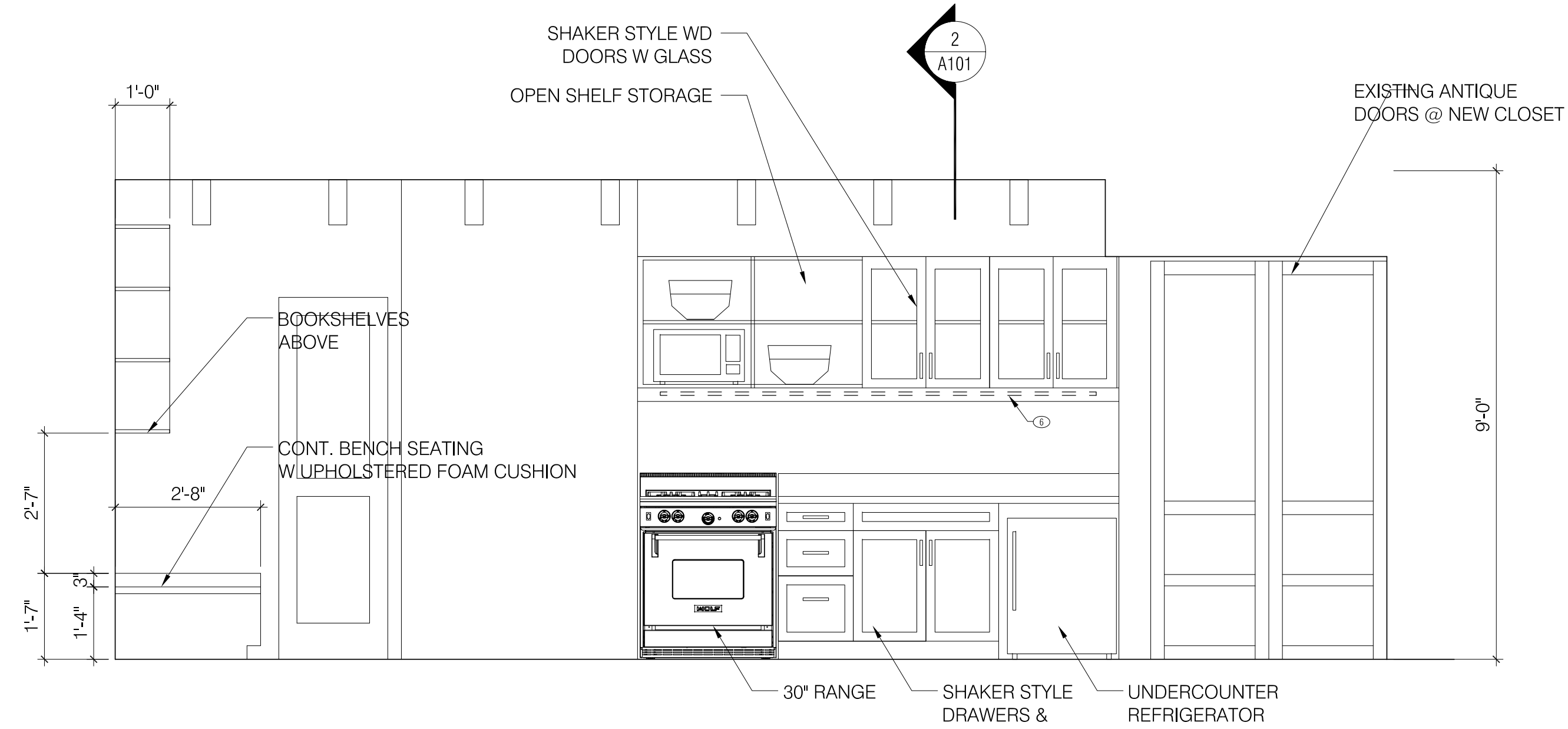
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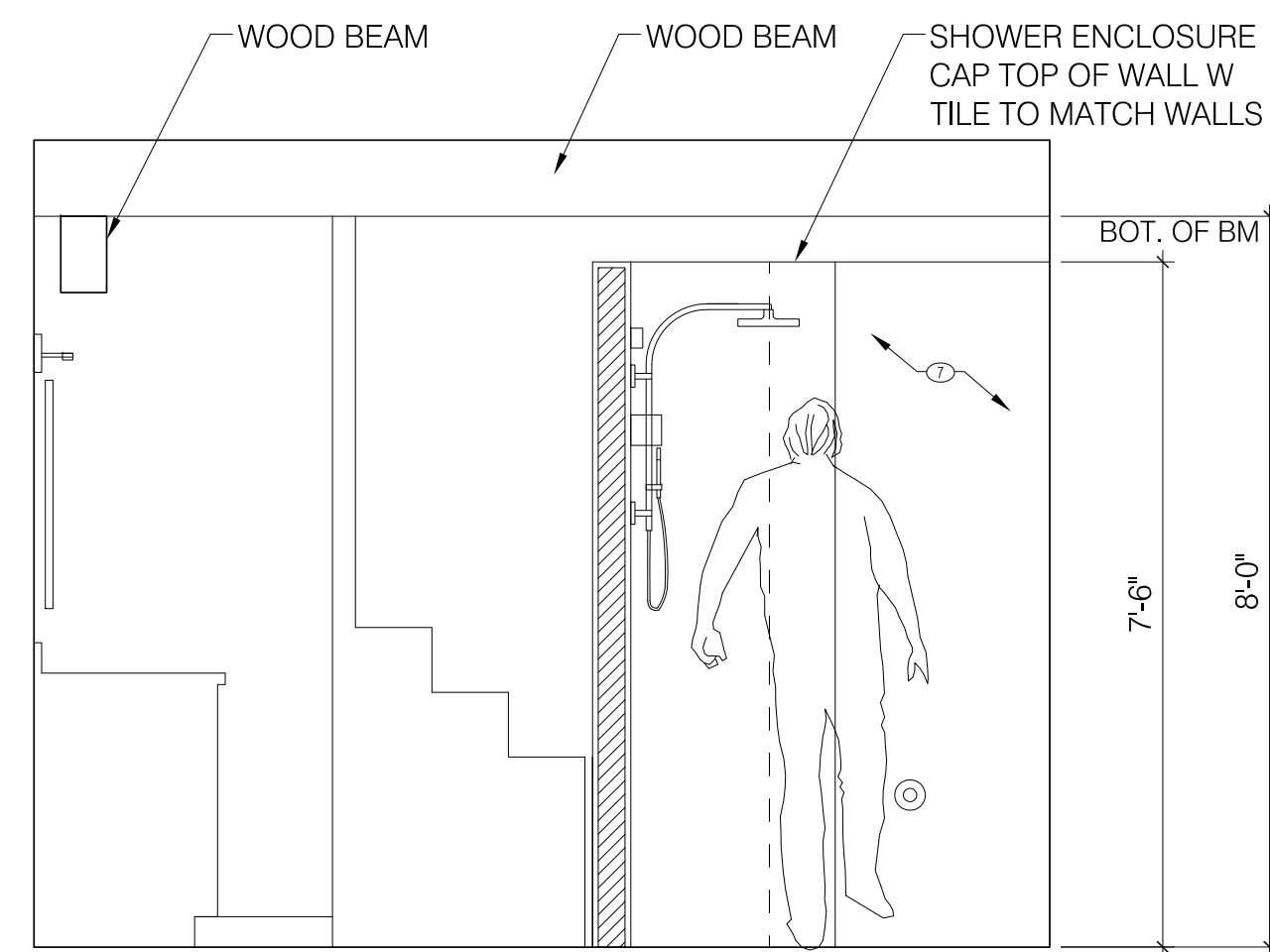


1 BATH VANITY  
A101 scale: 1/2"=1'-0"

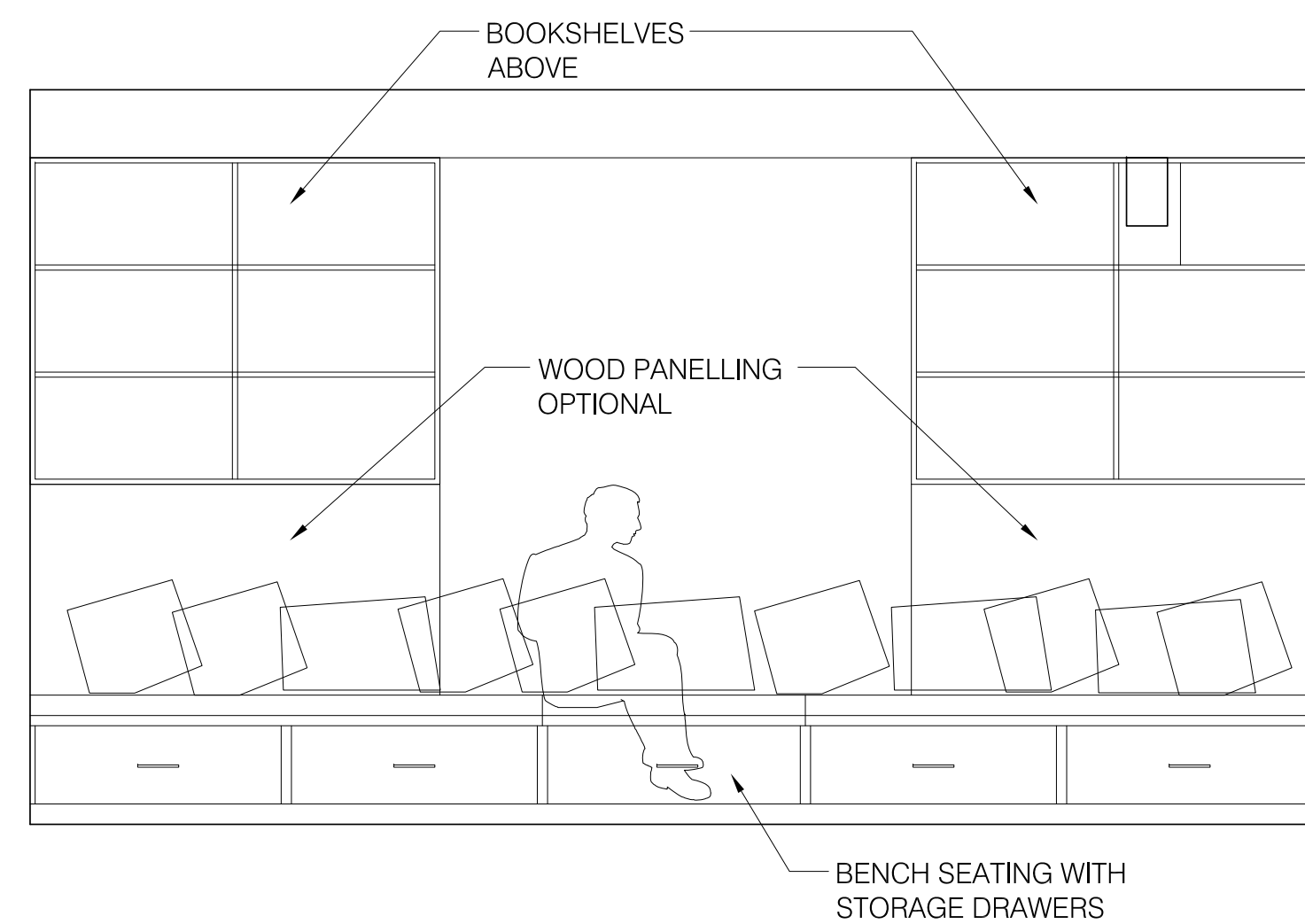
2 SECTION @ KITCHEN  
A101 scale: 1/2"=1'-0"



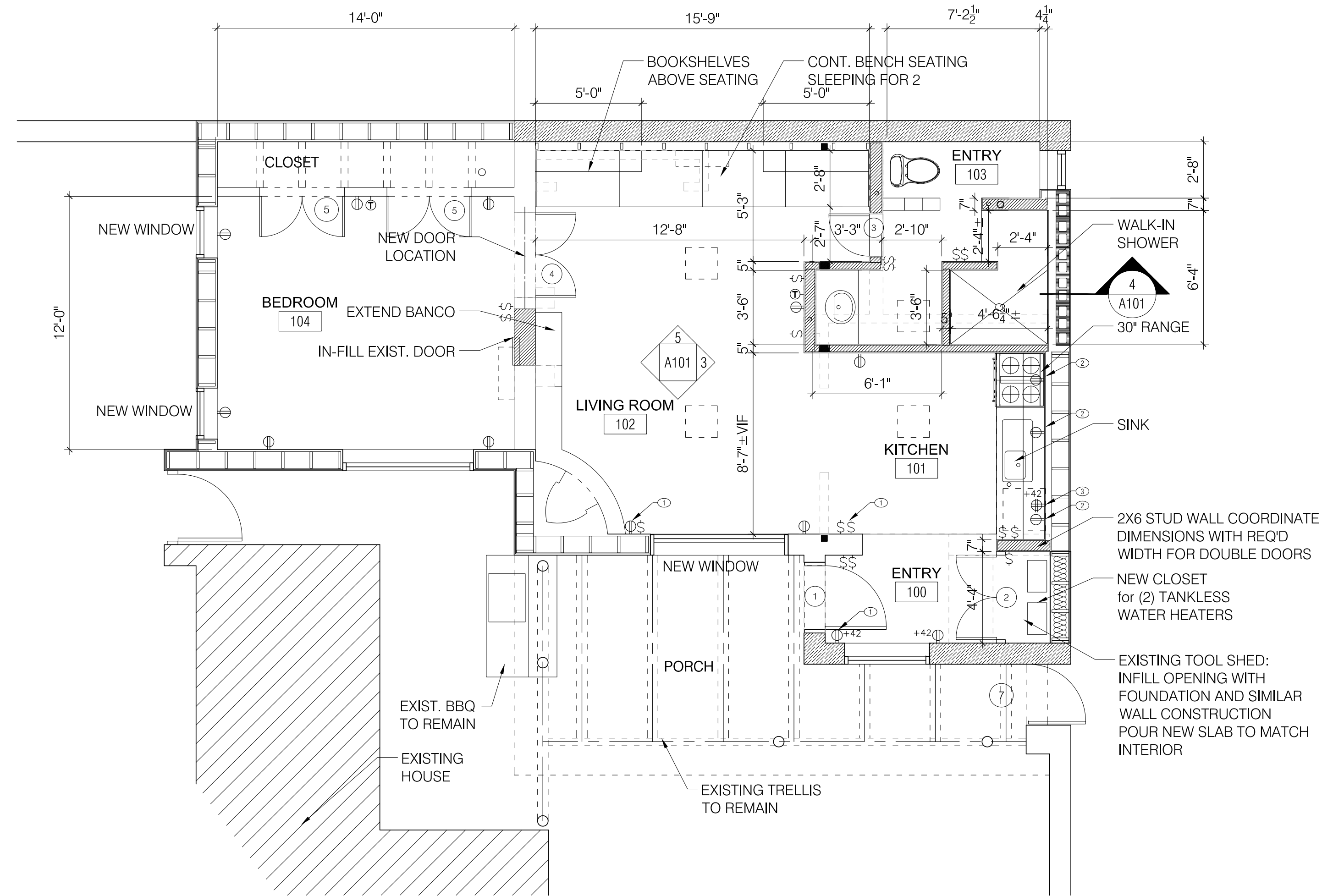
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A101 scale: 1/2"=1'-0"



4 SECTION @ BATH  
A101 scale: 1/2"=1'-0"



5 INTERIOR ELEVATION - NORTH  
A101 scale: 1/2"=1'-0"



FLOOR PLAN  
scale: 1/4"=1'-0"



GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE BEGINNING WORK.
2. CONTRACTOR TO VERIFY TYPE OF WALL CONSTRUCTION AT ROOF BEARING AND FOLLOW DETAIL AS INDICATED ON DRAWINGS.
3. CONTRACTOR TO VERIFY FOUNDATION SIZES AT EXISTING BEARING WALLS AND INCREASE SIZE OF FOOTING WHERE REQUIRED FOR NEW STRUCTURAL COLUMN BEARING POINTS.
4. NEW INTERIOR WALLS TO BE 2X4 WD STUDS @ 16" OC WITH PLASTER FINISH TO MATCH EXISTING WALLS.
5. USE 2X6 WD STUDS WHERE INDICATED FOR PLUMBING AND WHERE ADDITIONAL WALL DEPTH IS REQUIRED.
6. RE-USE EXISTING DOORS AND OTHER SALVAGED ITEMS IN NEW CONSTRUCTION WHERE POSSIBLE.

KEYED NOTES

1. VERIFY LOCATION AND FUNCTION OF EXISTING ELECTRICAL OUTLETS AND LIGHT SWITCHES IN FIELD. RELOCATE AS REQUIRED FOR NEW CONSTRUCTION.
2. PROVIDE OUTLETS UNDER KITCHEN COUNTER FOR RANGE, DISPOSAL AND REFRIGERATOR AS INDICATED.
3. PROVIDE OUTLETS ABOVE COUNTER 42" ABOVE FLOOR AS INDICATED.
4. CEILING MOUNTED LIGHT FIXTURE. RUN CONDUIT ON ROOF UNDER INSULATION. RECESS J-BOX IN WOOD DECKING.
5. CEILING MOUNTED J-BOX. LIGHT FIXTURE BY OWNER.
6. UNDER CABINET LED STRIP
7. TILE
8. WOOD CEILING
9. GYP BD SOFFIT
10. FURRED OUT WALL
11. PLUMBING VENT PIPE
12. LIGHT FIXTURE
13. UPPER CABINETS + SHELVES
14. LOWER BASE CABINET

WALL LEGEND

- EXISTING ADOBE WALL
- EXISTING CMU WALL
- EXISTING EXTERIOR FRAME WALL
- DEMO WALL
- NEW EXTERIOR INFILL WALL
- EXISTING INTERIOR WALL
- NEW INTERIOR FRAME WALL

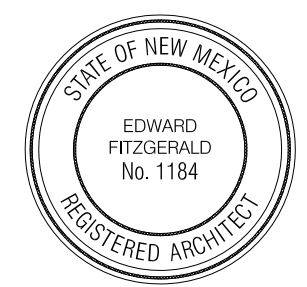
FLOOR PLAN

**CASITA RENOVATION**  
501 San Antonio Street, Santa Fe, NM

CONSTRUCTION DOCUMENTS

EDWARD  
FITZGERALD  
ARCHITECTS

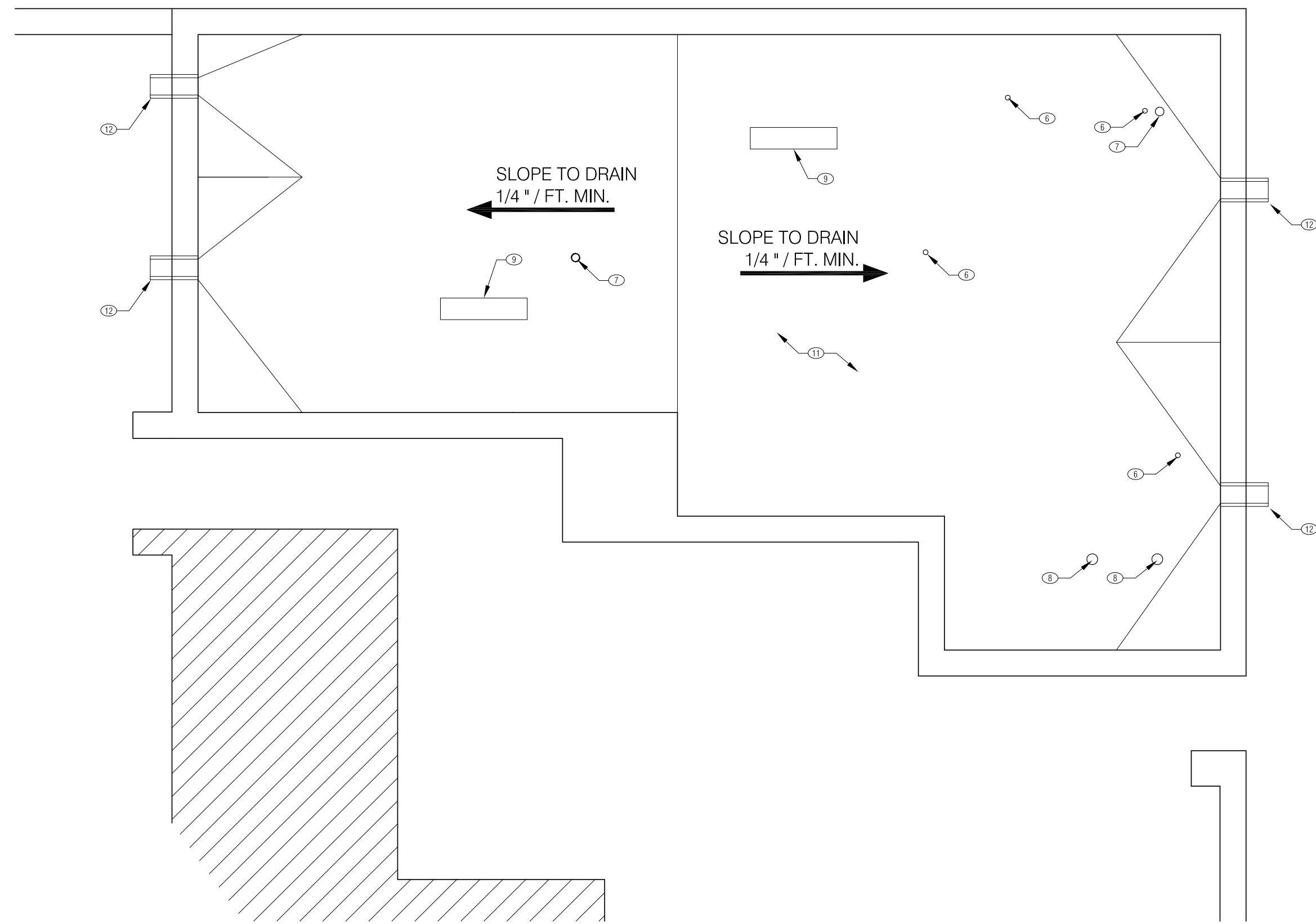
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date: 08/04/22  
drawn by: EF

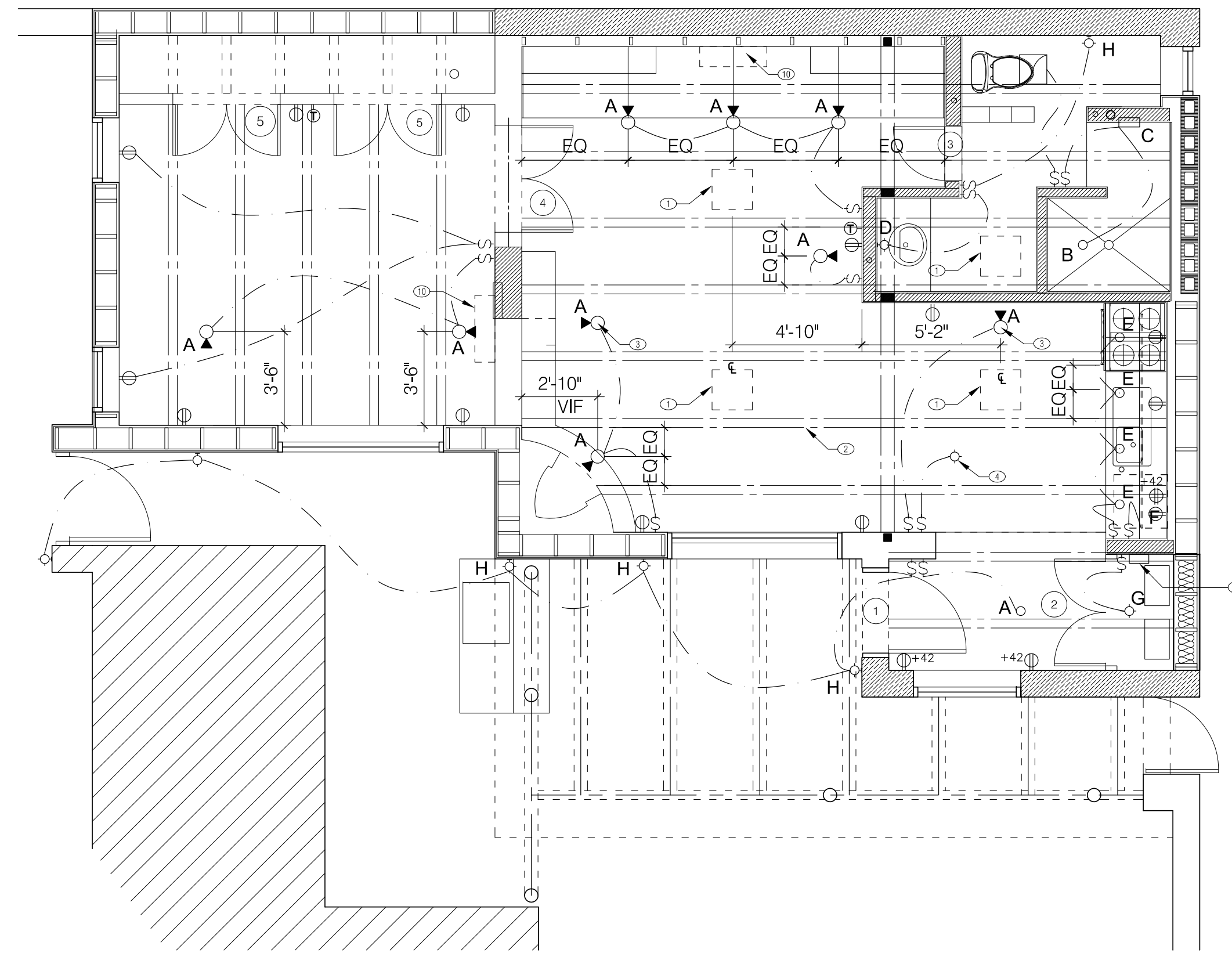
A101

revisions



ROOF PLAN

scale: 1/4"=1'-0"



REFLECTED CEILING PLAN

scale: 1/4"=1'-0"



GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION
2. VERIFY DIMENSIONS IN FIELD.
3. CONTRACTOR TO BRING DISCREPANCIES TO THE ARCHITECTS ATTENTION.

KEYED NOTES

1. SKYLIGHT: 18" X 18" DOUBLE INSULATED GLASS SKYLIGHT. CENTER IN-BETWEEN BEAMS
2. EXPOSED STRUCTURE: SEE DWG. S101
3. NEW SURFACE MOUNTED LIGHT FIXTURE. RECESS J-BOX IN DECKING AND RUN CONCEALED ELECTRICAL CONDUIT ON ROOF, UNDER INSULATION (TYPICAL). CENTER LIGHT FIXTURES IN-BETWEEN BEAMS UNLESS OTHERWISE NOTED
4. RECESSED J-BOX. LIGHT FIXTURE BY OWNER
5. CONTRACTOR TO VERIFY LOCATION OF NEW AND EXISTING ELECTRICAL OUTLETS AND LIGHT SWITCHES.
6. PLUMBING VENT PIPE THRU ROOF. KEEP OUT OF SIGHT FROM ADJACENT PROPERTIES.
7. RADON MITIGATION PIPE. EXTEND 12" ABOVE ROOF
8. VENT PIPES FROM TANKLESS WATER HEATERS
9. MECH. MINI SPLIT COMPRESSOR
10. WALL MOUNTED MINI SPLIT, AIR HANDLER
11. SINGLE PLY ROOFING OVER SLOPED POLYISO INSULATION BOARD WITH AVERAGE R VALUE OF R-49. PROVIDE 3/8" PROTECTION BOARD BETWEEN ROOFING AND INSULATION.
12. ROOF SCUPPER, MATCH EXISTING SCUPPER DESIGN
13. TRANSFORMER FOR LIGHT FIXTURES IN KITCHEN-SOFFIT

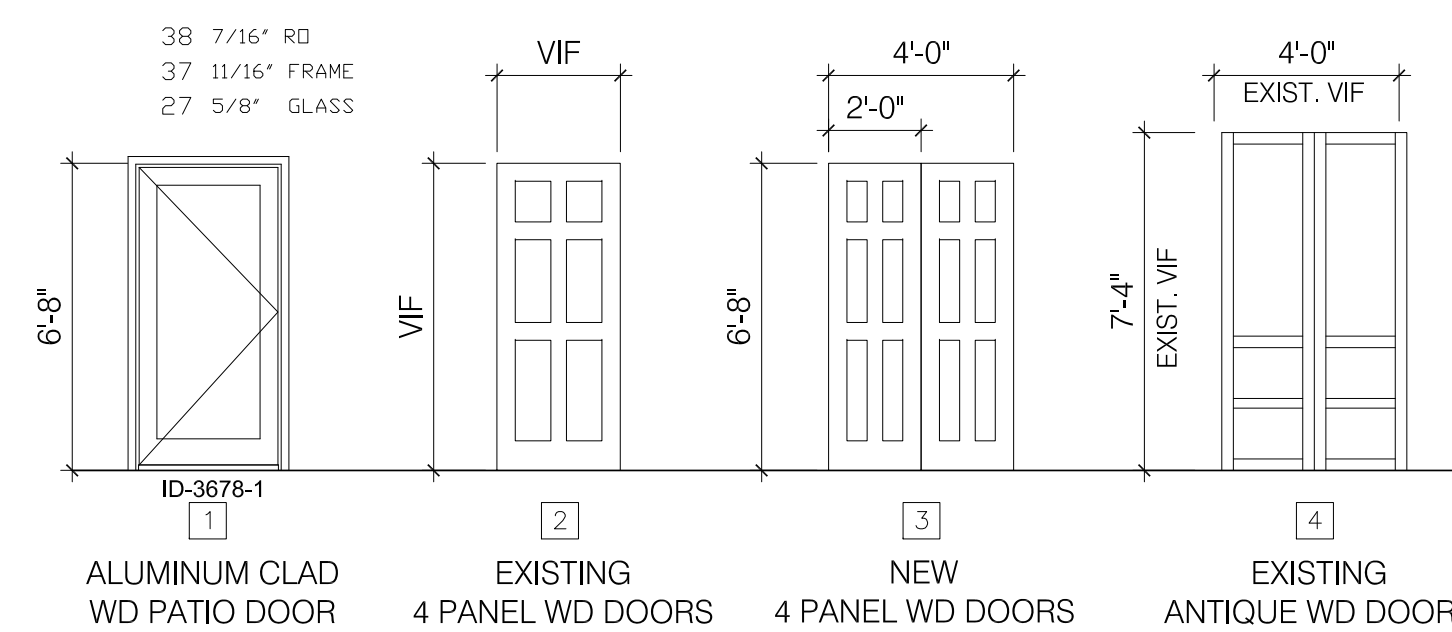
ELECTRICAL SYMBOLS

- ◀ ADJUSTABLE SURFACE MOUNT E FIXTURE
- ◇ WALL MOUNT E FIXTURE
- ◇ CEILING SURFACE MOUNT
- CEILING RECESSED
- ⊕ DUPLEX E OUTLET
- ⊕ QUAD E OUTLET
- ⊕ DUPLEX E OUTLET W ONE OUTLET SWITCHED
- ☐ CEILING EXHAUST FAN
- ↺ WALL SWITCH
- ↺ WALL SWITCH W DIMMER
- ☑ ALARM KEY PAD
- ⊖ THERMOSTAT

DOOR SCHEDULE										
DOOR #	DOOR							FRAME		NOTES
	TYPE	SIZE			MATERIAL	GLAZING	MATERIAL	TYPE		
		WIDTH	HEIGHT	THK.						
1	1	3'-0"	6'-8"	1 3/4"	WD-ALUM	INSUL	ALUM.	MFG.	SIERRA PACIFIC	
2	4	4'-0" VIF	7'-4" VIF	VIF	WD	-	WD	CUSTOM	EXISTING ANTIQUE DOORS	
3	2	2'-0" VIF	6'-8" VIF	VIF	WD	-	WD	CUSTOM	EXISTING DOOR	
4	3	4'-0"	6'-8"	1 3/4"	WD	-	WD	MFG.	MATCH EXIST 4 PANEL DOORS	
5	2-DBL	4'-0"	6'-8"	VIF	WD	-	WD	CUSTOM	EXISTING DOORS	

LIGHT FIXTURE SCHEDULE	
MARK	DESCRIPTION
A	TECH: ENTRA 2"RD-F-90CRI-3K-40"-A-UNV-A
B	WAC: FM-W2605-AL
C	WAC: WL-LED310-120VACC-WHITE-90-115-BN
D	WAC: WS-41125-3K-90CRI-AL
E	JUNO: MDILG2-RD-30K-90CRI-FL-WH, W REMOTE TRANSFORMER IN CLOSET
F	ALCON-12100-10-S-8-SL-TEM-30K
G	RAB-VXLED26YDG-120V-26W-3K-81CRI
H	EXISTING WALL SCONCE TO REMAIN

ROOM FINISH SCHEDULE						
ROOM #	NAME	WALL FINISH		CEILING FINISH	FLOOR FINISH	NOTES
		BASE	WALL			
100	ENTRY	N/A	PLASTER	PT GYP BD	WOOD	
101	KITCHEN	N/A	PLASTER	EXPOSED STRUCTURE	WOOD	
102	LIVING ROOM	N/A	PLASTER	EXPOSED STRUCTURE	WOOD	
103	BATH	N/A	PLASTER	EXPOSED STRUCTURE	TILE	SHOWER TO BE TILE
104	BEDROOM	N/A	PLASTER	EXPOSED STRUCTURE	WOOD	



DOOR TYPES

scale: 1/4"=1'-0"

REFLECTED CEILING PLAN + ROOF PLAN + SCHEDULES

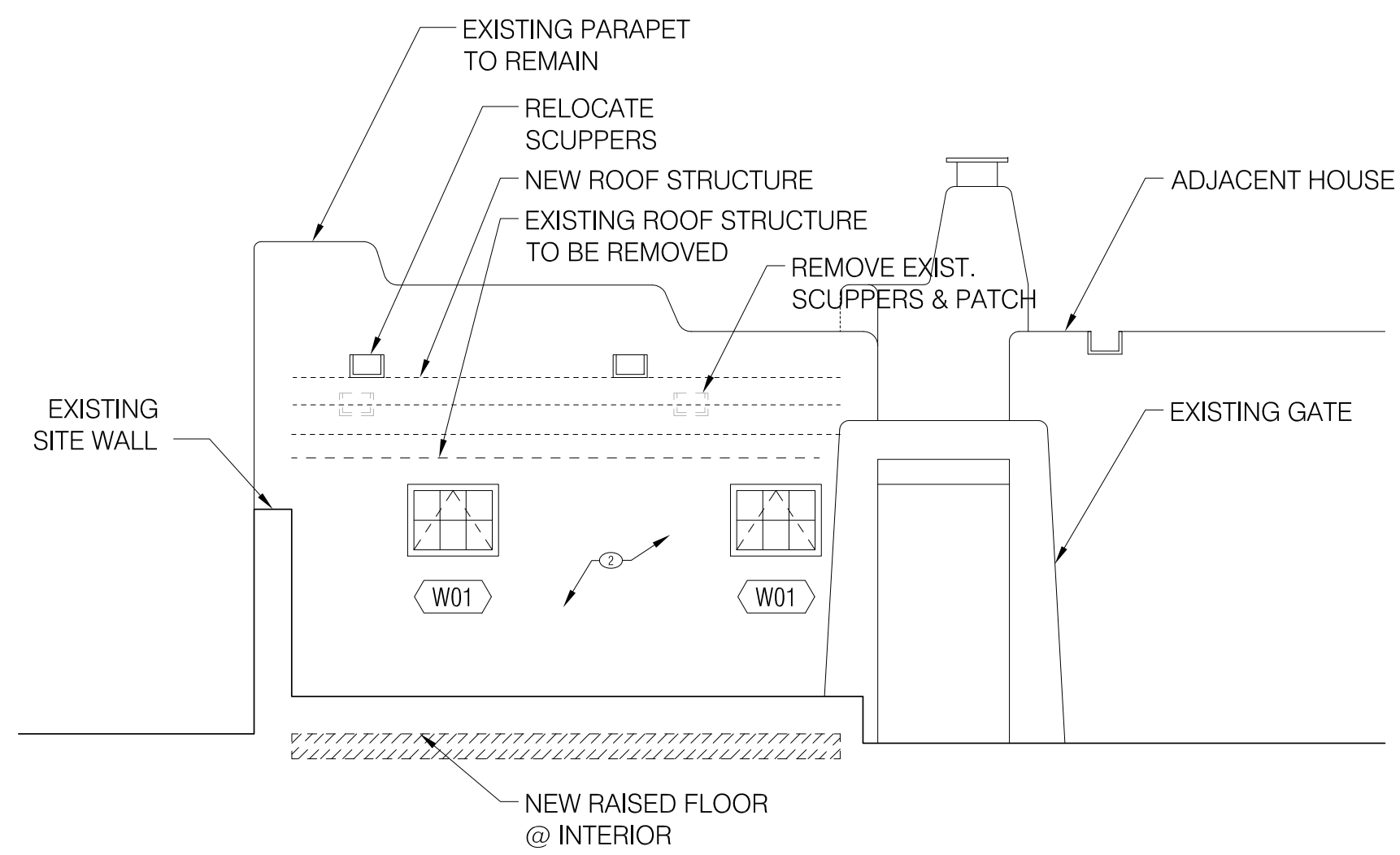
**CASITA RENOVATION**  
501 San Antonio Street, Santa Fe, NM

CONSTRUCTION DOCUMENTS

<b>E D W A R D F I T Z G E R A L D A R C H I T E C T S</b>	date: 08/04/22
	drawn by: EF
	<b>A103</b>

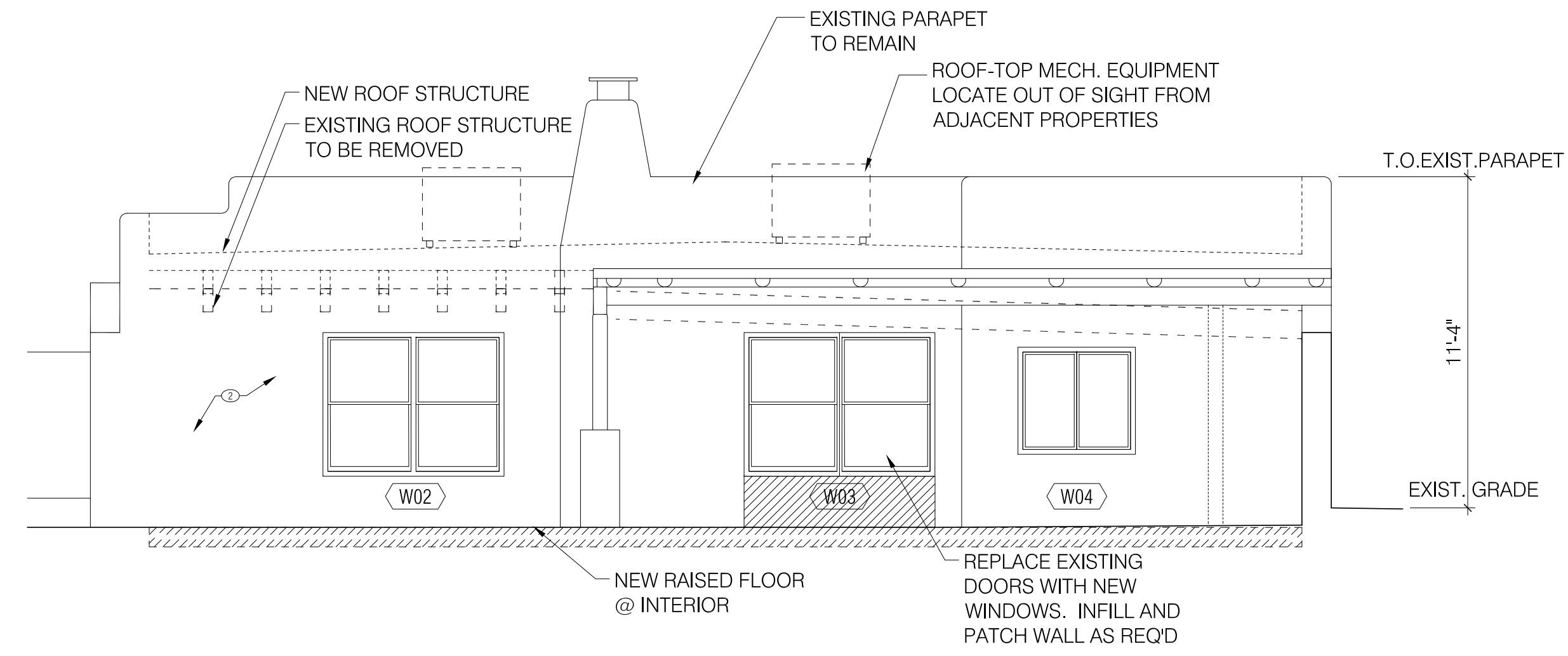
121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 877108  
TEL 505.268.9055 EFARCHITECTS.COM

revisions



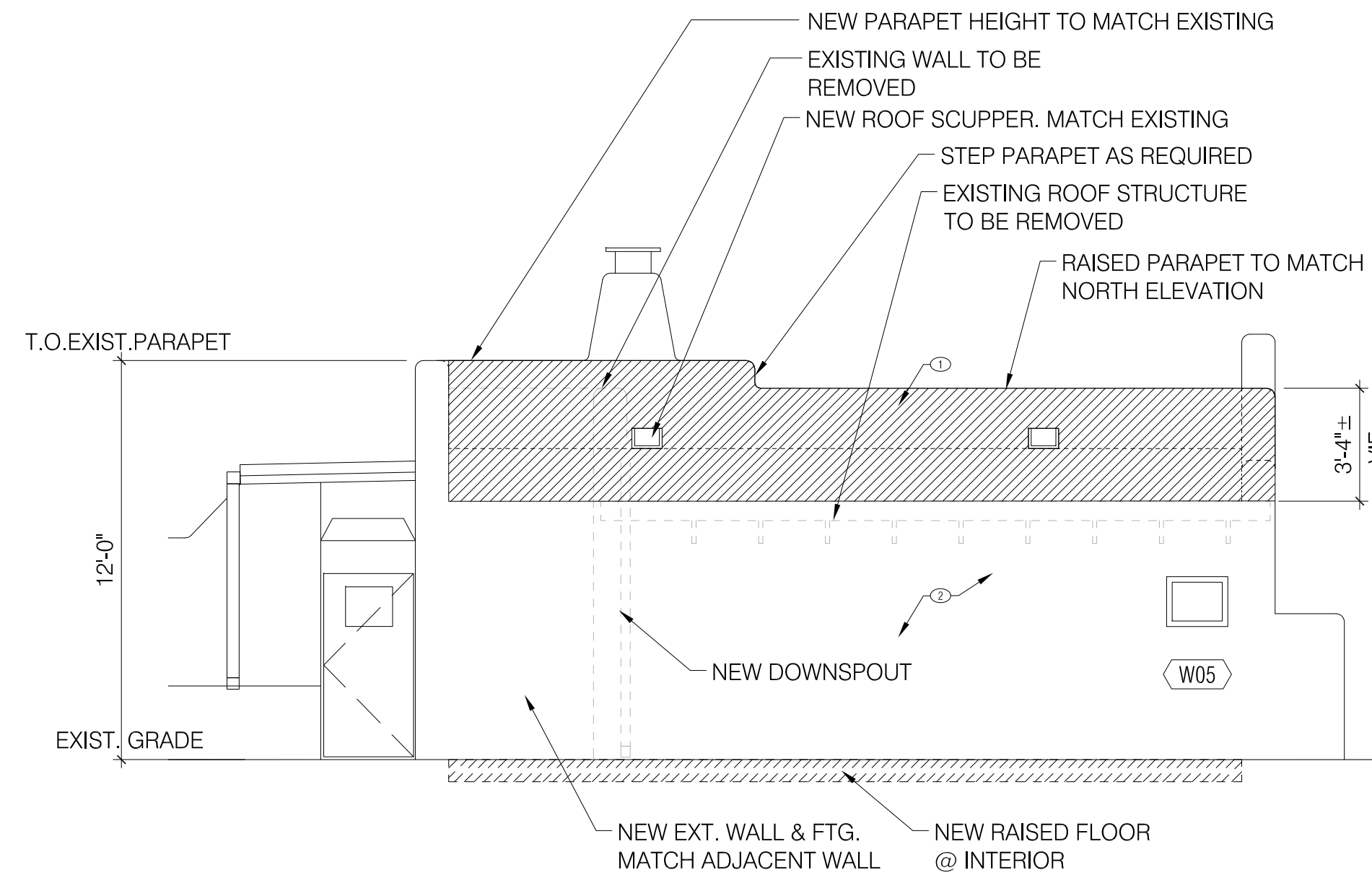
**WEST ELEVATION**

scale: 1/4" = 1'-0"



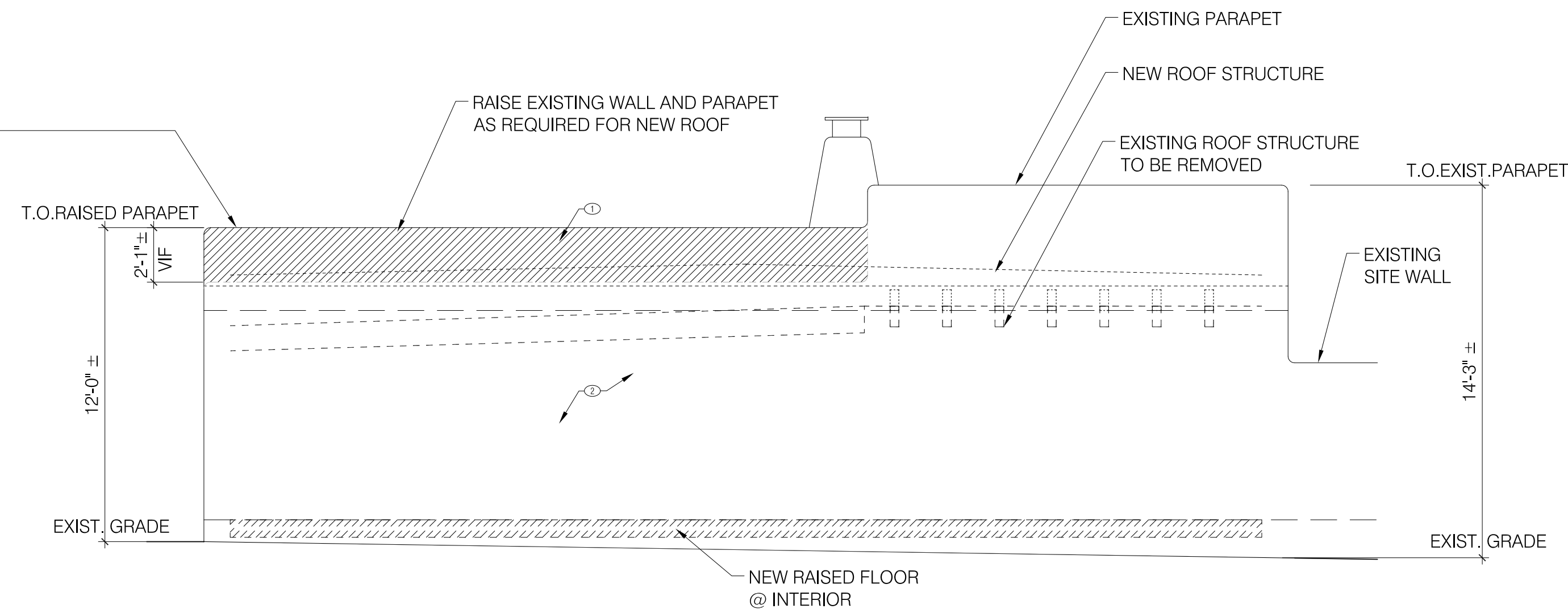
**SOUTH ELEVATION**

scale: 1/4" = 1'-0"



**EAST ELEVATION**

scale: 1/4" = 1'-0"



**NORTH ELEVATION**

scale: 1/4" = 1'-0"

**GENERAL NOTES**

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION
2. CONTRACTOR TO VERIFY EXISTING BEARING WALLS AND APPROPRIATE BEAM SUPPORT DETAILS. BRING DISCREPANCIES IN THE DRAWINGS TO ARCHITECTS ATTENTION.
3. USE APPROPRIATE BEAM SUPPORT DETAIL FOR EACH EXISTING WALL CONDITION.
4. EXISTING WINDOWS, NOT REPLACED, TO BE REPAIRED AND REPAINTED.
5. PATCH AND REPAIR EXISTING STUCCO AS REQUIRED.
6. ALL NEW STUCCO AND MISC. STUCCO REPAIR TO MATCH EXISTING STUCCO IN TEXTURE AND COLOR.
7. RAISE AND REPLACE EXISTING ROOF SCUPPERS TO MATCH EXISTING SCUPPER DESIGN AND DETAIL.

**KEYED NOTES**

1. NEW STUCCO FINISH TO MATCH EXISTING
2. EXISTING STUCCO. PATCH AND REPAIR AS REQUIRED

WINDOW SCHEDULE				
MARK #	TYPE	SIZE	COLOR FINISH	NOTES
W01	REPLACE EXIST. WINDOW WD-DIVIDED LITE-AWNING	NEW: 2'-5" WIDTH X 1'-7" HEIGHT VIF EXISTING OPENING	MATCH EXIST. HOUSE WDW PAINT COLOR: DUNN EDWARDS-DE5704 TURTLE LAKE-W705 VENDURACRYL	VERIFY EXISTING OPENINGS IN FIELD MATCH EXIST. HOUSE WINDOW STYLE
W02	EXIST. WD-DOUBLE HUNG	EXISTING	REPAIR AND RE-PAINT EXIST. WINDOW FINISH	
W03	NEW WD-DOUBLE HUNG	(2) DOUBLE HUNG TO FIT OPENING	MATCH EXIST. CASITA WDW PAINT COLOR: DUNN EDWARDS-DE5040 LIPSTICK-W940 PERMASHHELL	VERIFY EXISTING OPENINGS IN FIELD MATCH EXIST. CASITA WINDOW STYLE
W04	EXIST. WD-CASEMENT	EXISTING	REPAIR AND RE-PAINT EXIST. WINDOW FINISH	
W05	EXIST. WD	EXISTING	REPAIR AND RE-PAINT EXIST. WINDOW FINISH	

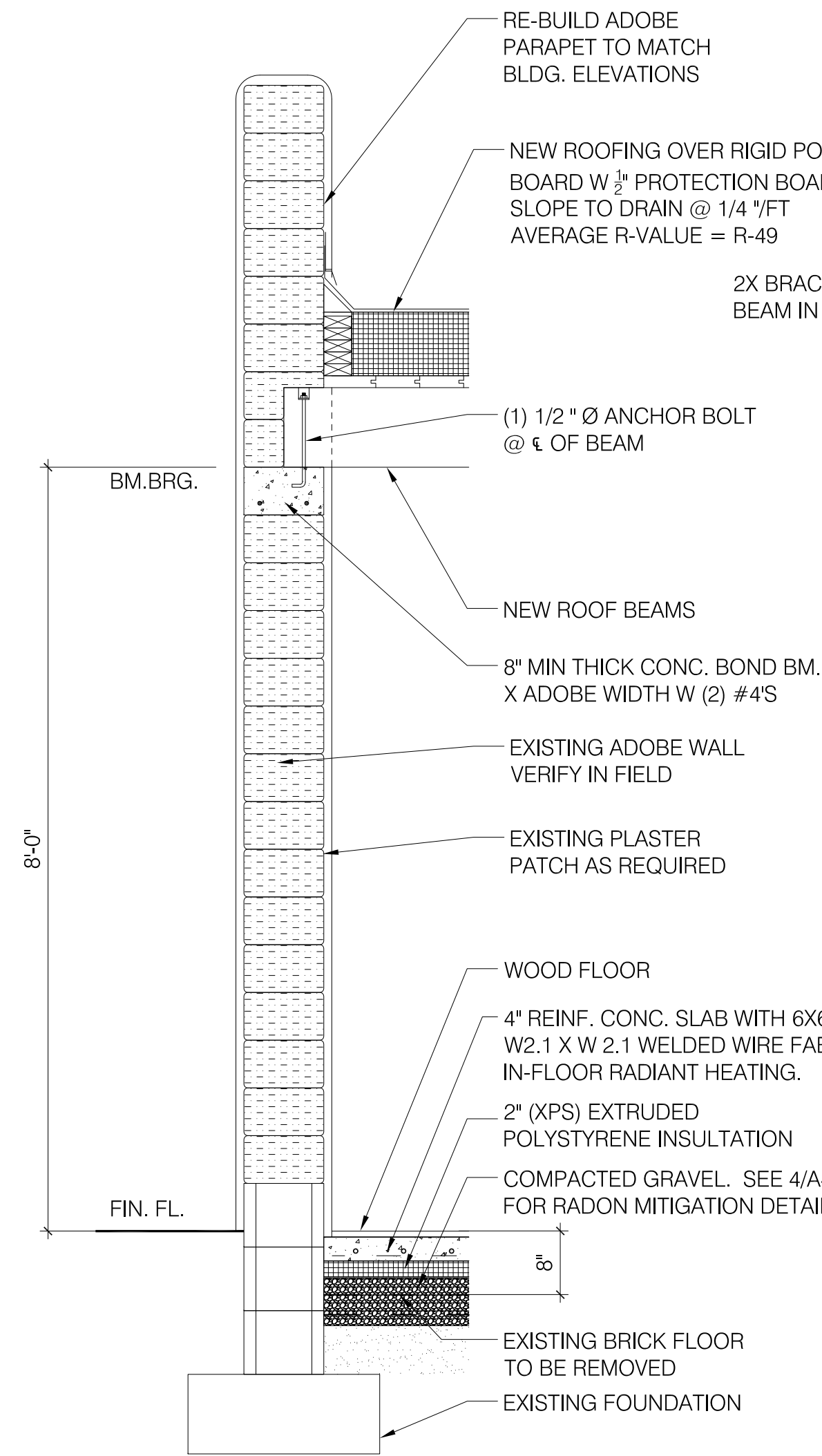
**ELEVATIONS**

**CASITA RENOVATION**  
501 San Antonio Street, Santa Fe, NM

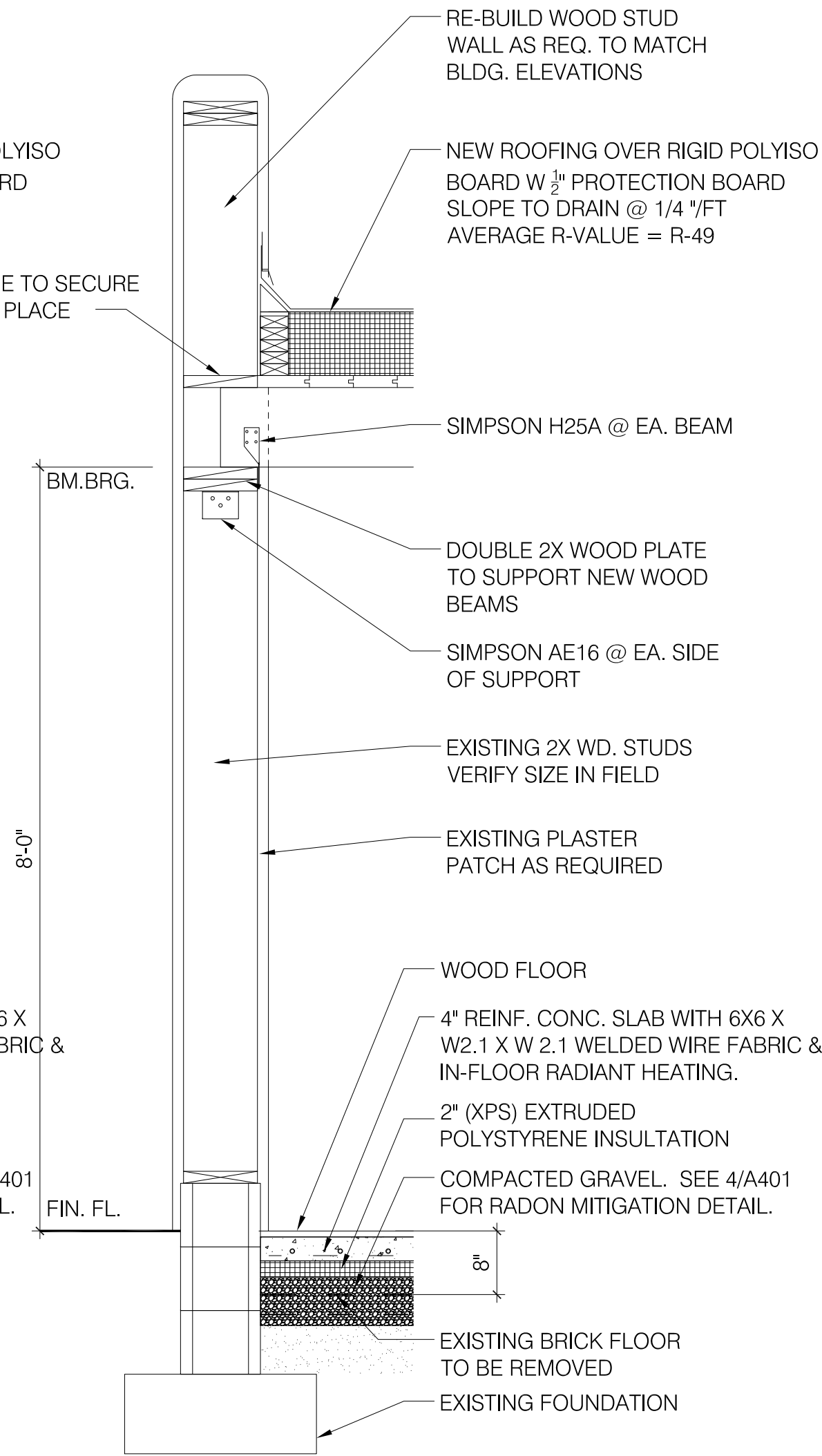
**CONSTRUCTION DOCUMENTS**

<b>EDWARD FITZGERALD ARCHITECTS</b> <small>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 877108 TEL 505.268.9055 EFARCHITECTS.COM</small>	date: 08/04/22 drawn by: EF

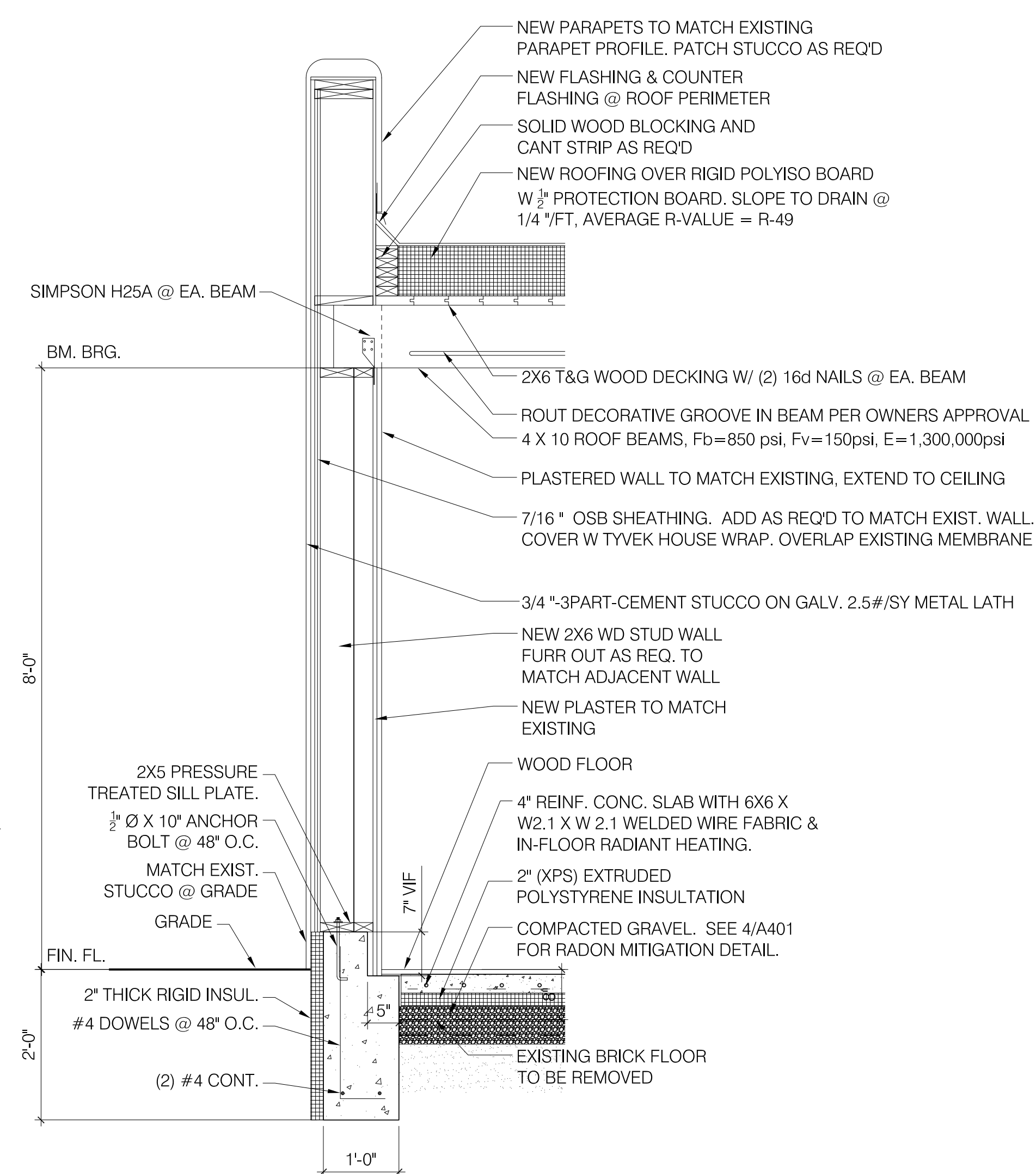
**A201**



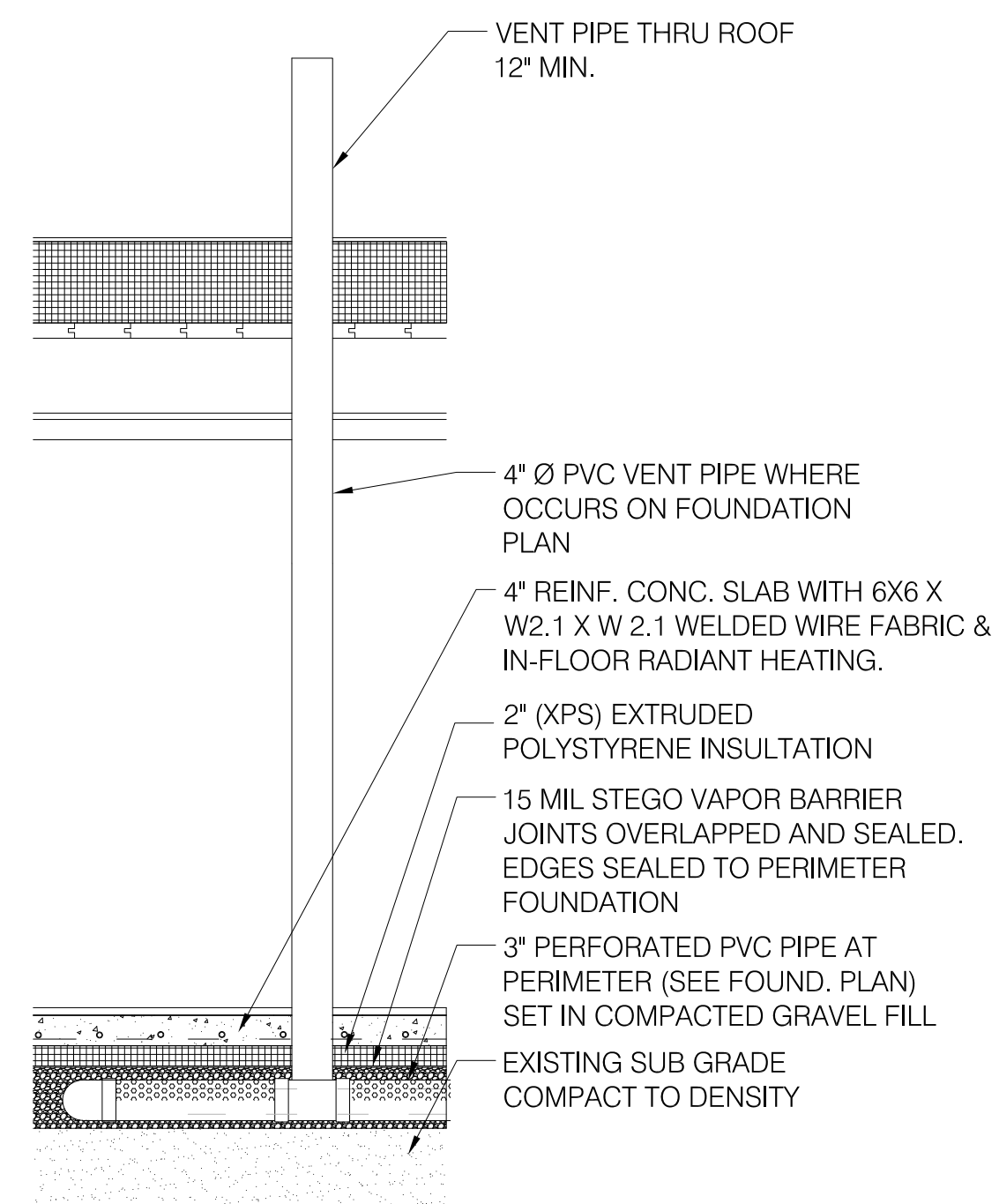
1 WALL SECTION @ ADOBE  
A401 scale: scale: 3/4"=1'-0"



2 WALL SECTION @ WOOD STUDS  
A401 scale: scale: 3/4"=1'-0"



3 INFILL WALL SECTION  
A401 scale: 3/4"=1'-0"



4 SECTION @ RADON MITIGATION  
A401 scale: scale: 3/4"=1'-0"

GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION
2. CONTRACTOR TO VERIFY EXISTING BEARING WALLS AND APPROPRIATE BEAM SUPPORT DETAILS. BRING DISCREPANCIES IN THE DRAWINGS TO ARCHITECTS ATTENTION.
3. USE APPROPRIATE BEAM SUPPORT DETAIL FOR EACH EXISTING WALL CONDITION.
4. ALL NEW STUCCO AND MISC. STUCCO REPAIR TO MATCH EXISTING STUCCO IN TEXTURE AND COLOR.
5. REPLACE EXISTING ROOF SCUPPERS AS REQUIRED FOR NEW ROOF

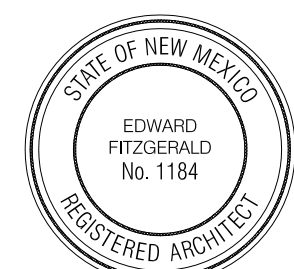
WALL SECTIONS + DETAILS

CASITA RENOVATION  
501 San Antonio Street, Santa Fe, NM

CONSTRUCTION DOCUMENTS

EDWARD  
FITZGERALD  
ARCHITECTS

121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
8 7 1 0 8  
TEL 505.268.9055  
EF ARCHITECTS.COM

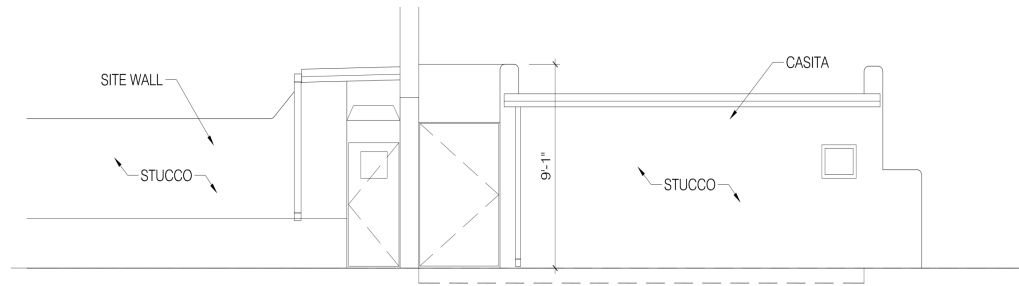


date: 08/04/22  
drawn by: EF

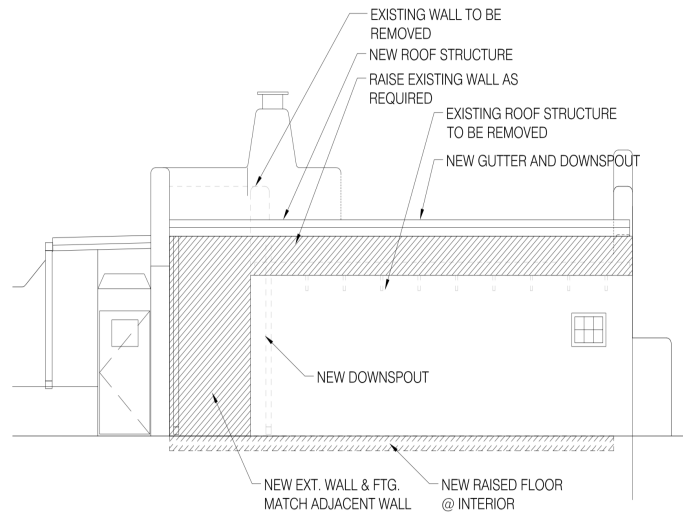
A401

**Casita**  
**501 San Antonio**

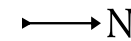
Existing / Proposed - East Elevation



2  
 AB101  
**ELEVATION - EAST**  
 (EXISTING)



**EAST ELEVATION**  
 (PROPOSED)



**K. M. SKELLY, INC.**

Custom Builder | Historic Renovations

Santa Fe, NM - Durango, CO

505-992-1459

www.kmskelly.com

501 San Antonio  
 Santa Fe, NM  
 87505

EDWARD  
 FITZGERALD

**ARCHITECTS**

121 JEFFERSON STREET NE  
 ALBUQUERQUE, NEW MEXICO  
 8771098  
 TEL 505.268.9055  
 EFARCHITECTS.COM

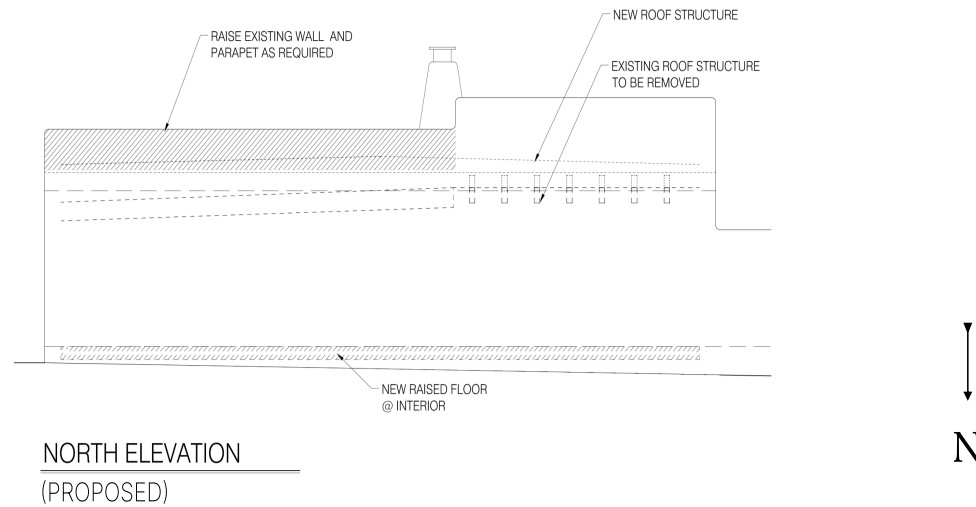
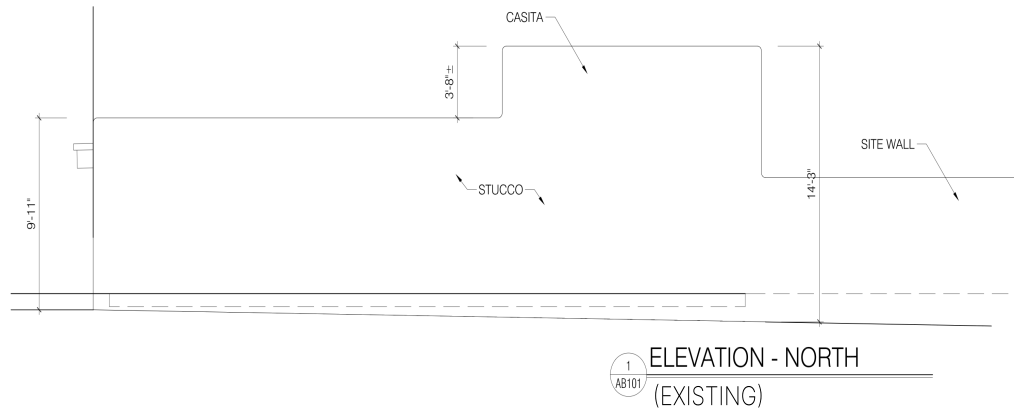
**Elevations**


**001**

03/07/2022

**Casita**  
**501 San Antonio**

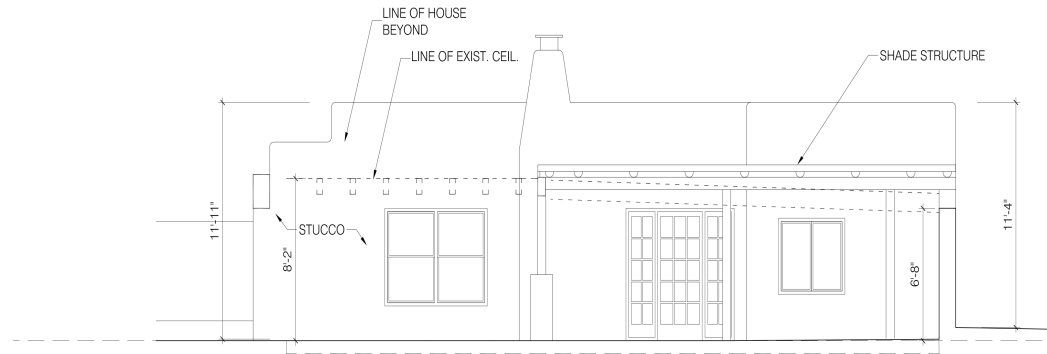
As built / Proposed- North Elevation



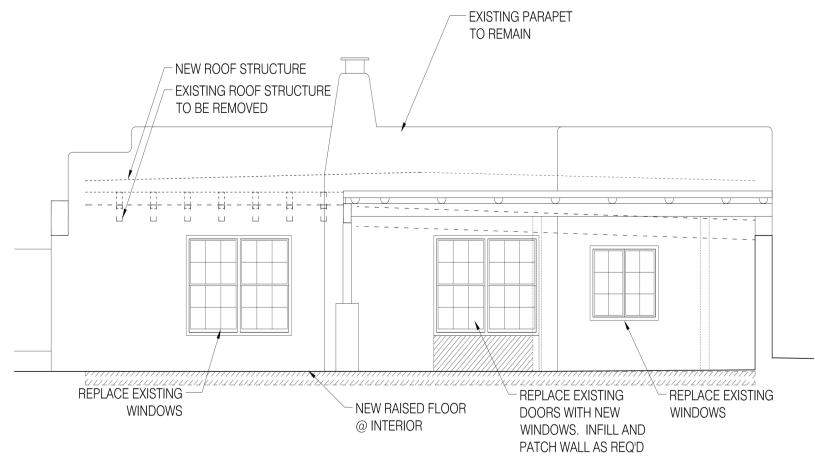
 <p><b>K. M. SKELLY, INC.</b>          Custom Builder   Historic Renovations          Santa Fe, NM — Durango, CO          505-992-1459          www.kmskelly.com</p>	<p>501 San Antonio          Santa Fe, NM          87505</p>	<p>EDWARD          FITZGERALD  <b>ARCHITECTS</b>          121 JEFFERSON STREET NE          ALBUQUERQUE, NEW MEXICO          8 7 1 0 8          TEL 505.268.9055          EFARCHITECTS.COM</p>	<b>Elevations</b>
			<b>002</b>
			03/07/2022

**Casita**  
**501 San Antonio**

Existing / Proposed - South Elevation




3  
 AB101  
**ELEVATION - SOUTH**  
 (EXISTING)



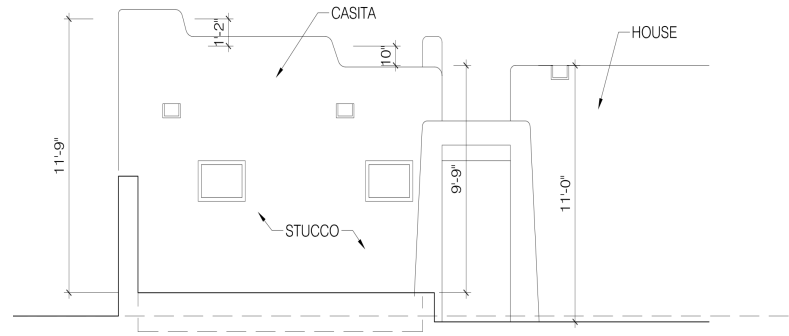
**SOUTH ELEVATION**  
 (PROPOSED)



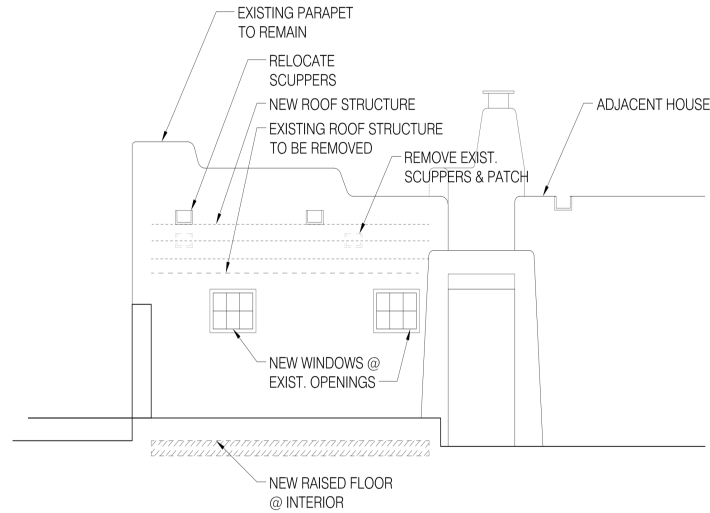
 <p><b>K. M. SKELLY, INC.</b>          Custom Builder   Historic Renovations          Santa Fe, NM - Durango, CO          505-992-1459          www.kmskelly.com</p>	<p>501 San Antonio          Santa Fe, NM          87505</p>	<p>EDWARD          FITZGERALD  <b>ARCHITECTS</b>          121 JEFFERSON STREET NE          ALBUQUERQUE, NEW MEXICO          8771008          TEL 505.268.9055          EFARCHITECTS.COM</p>	<b>Elevations</b>
			<b>003</b>
			03/07/2022

**Casita**  
**501 San Antonio**

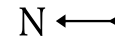
Existing / Proposed - West Elevation



4  
 AB101  
**ELEVATION - WEST**  
 (EXISTING)



**WEST ELEVATION**  
 (PROPOSED)



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**ARCHITECTS**

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**Elevations**

**004**

**03/07/2022**

# City of Santa Fe, New Mexico

# memo

**DATE:** March 14, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning & Land Use

---

**Case # 2023-006394-HDRB**

**Address: 1147 ½ Camino San Acacio**  
**Historic Status: Non-Contributing**  
**Historic District: Downtown & Eastside**

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

**Other:** Supplemental Information  
regarding building history, HCPI for 1149  
Camino San Acacio

## STAFF RECOMMENDATION:

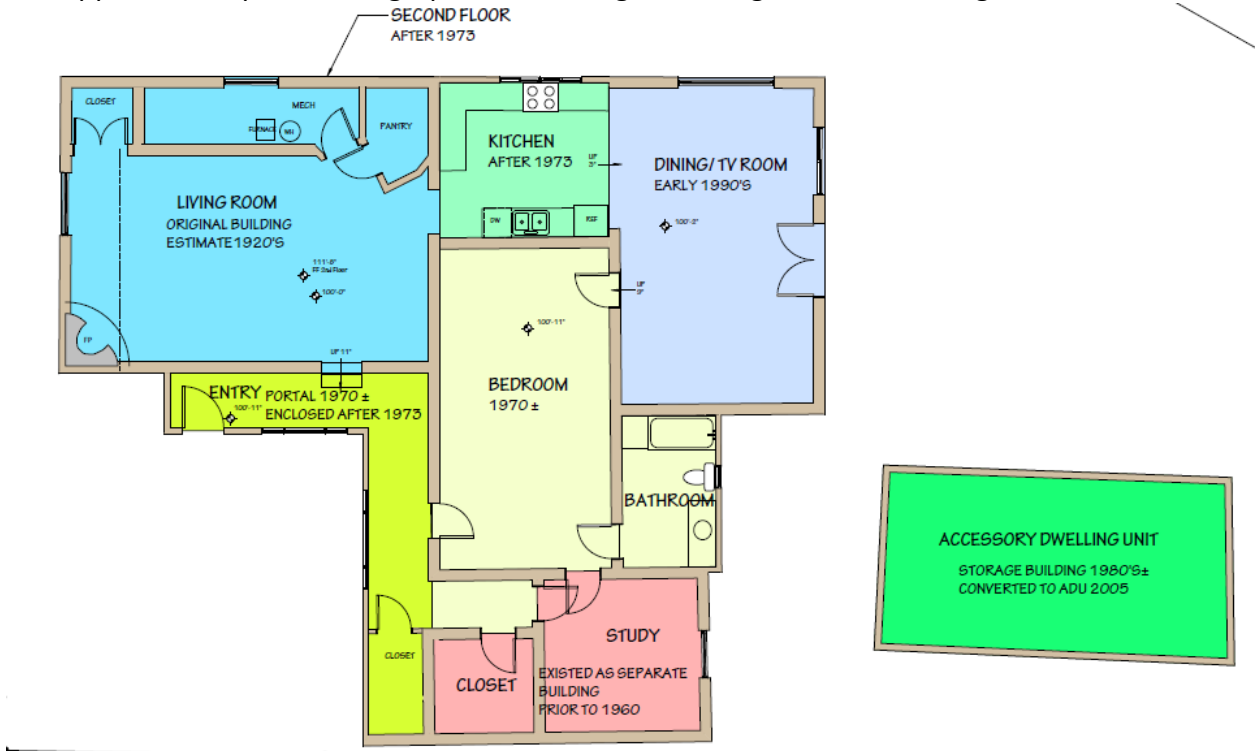
Staff recommends the historic status of the structure be maintained as non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.

## BACKGROUND & SUMMARY:

The single-family residence located at 1147 ½ Camino San Acacio is listed as non-contributing to the Downtown and Eastside Historic District. The residence has been through many different phases of construction and is part of what was once the Abeyta/Tafoya family compound. The applicant has provided the HCPI for the adjoining residence located at 1149 Camino San Acacio

as it is the anchor of the compound and relates to the history associated with the residence at 1147 ½ Camino San Acacio.

The applicant has provided a graphic illustrating the changes to the building over time.



Phases of construction space from the 1920s to the 1980s. The structure is composed of two separate buildings that were joined with additions over time.

While much of the building qualifies as being 50 years old or older, changes and additions over time has erased the character of the original historic buildings.

It is possible that the reveal at what would have been the roof of the original 1920's residence there was a stone parapet, similar to what was found on other buildings in the Tafoya compound of that vintage.

The current owner purchased the property in 1992 and constructed an addition on the east elevation (dining/tv room) as well as renovated the detached storage building into an accessory dwelling unit. Given the changes over time, staff is of the opinion that little historic integrity remains and recommends that the building remain as non-contributing.

**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

#### 14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

##### (1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

#### 14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

#### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;

- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.





February 13, 2023

Heather Lamboy  
Historic Review  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504

RE: Status Review  
1147 1/2 Camino San  
Acacio

505 930-1149  
will.wfd@gmail.com  
488c Arroyo Tenorio  
Santa Fe New Mexico  
87505

Dear Heather,

After meeting at the property at 1147 1/2 Camino San Acacio to discuss an addition you asked that we submit information for a status review. Attached are photos, documents, a site plan showing history of the property and a narrative. We request that the HDRB review this property for status at their meeting March 14. The property currently has a status of non-contributing in the downtown and eastside historic district.

Please let me know what else you may need for this review

Sincerely,

A handwritten signature in black ink that reads 'Will McDonald'.

Will McDonald



**CITY OF SANTA FE HISTORIC PRESERVATION DIVISION  
HISTORIC DISTRICTS APPLICATION**

**1. Applicant Information (to be completed by the Applicant)**

Date: 2/13/23 Location of Project: 1147 1/2 Camino San Acecio

Applicant

Name: Will McDonald

Phone: (505) 930-1149 Email: will.wfd@gmail.com

Property Owner

Name: George Johnson

Phone: (505) 989-4490 Email: johnson@nytimes.com

Proposed Work:

Status Review

**2. Property and Project Information (to be completed by HPD Staff)**

Case Planner: \_\_\_\_\_

Date Assigned: \_\_\_\_\_ PAR No.: \_\_\_\_\_

Date of Site Visit: \_\_\_\_\_ Time: \_\_\_\_\_

Historic District: \_\_\_\_\_

Historic Status: \_\_\_\_\_

Primary Elevations: \_\_\_\_\_

Previous HDRB and Admin Cases: \_\_\_\_\_

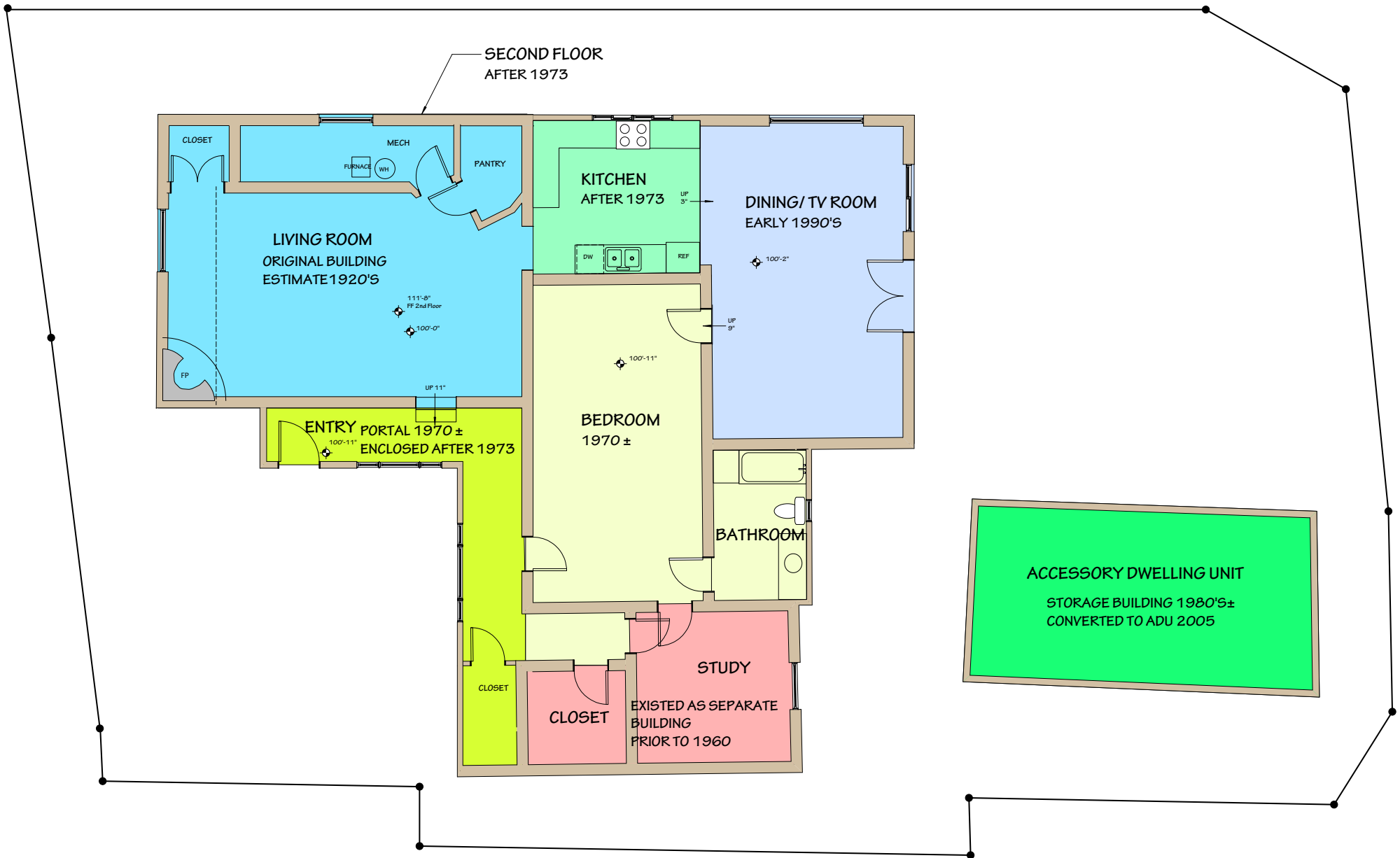
Archaeological compliance required? Yes      No

## History of Residence and other Structures 1147 1/2 Camino San Acacio

This history is constructed from stories collected by George Johnson, present owner, details from a 2017 HCPI by John Murphey of 1149 Camino San Acacio that previously included this property, aerial photographs and analysis of the buildings in their present state. A site plan showing the history of the property along with historic aerial photos accompany this narrative.

George purchased this property in 1992. He learned from his neighbors, the Tafoyas, that the original house on this property was built in the 1920's. This parcel was split from the original lot at 1149 Camino San Acacio probably in the early 1960's. The original building along with an outbuilding appear in the 1960 aerial photo. Those buildings are unchanged in the 1966 aerial photo. In the 1973 aerial photo the original building is unchanged but there are additions adjacent. These include what appear to be a portal to the south and what is now the first floor bedroom and bathroom. From this photo we determined that the enclosed entry and hall along with the second story were built after the 1973 photo.

The kitchen and storage building (later ADU) were built after 1973. George knows from the previous owners that the dining/tv room was built in the early 1990's and he renovated the storage building to an ADU in 2005.



**BUILDING HISTORY FLOOR PLAN**

Scale: 1"=10'



**1147 1/2 Camino San Acacio**

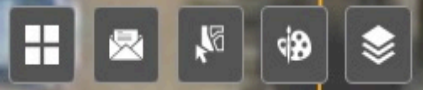


1145

1147

1147

City GIS aerial showing property at present

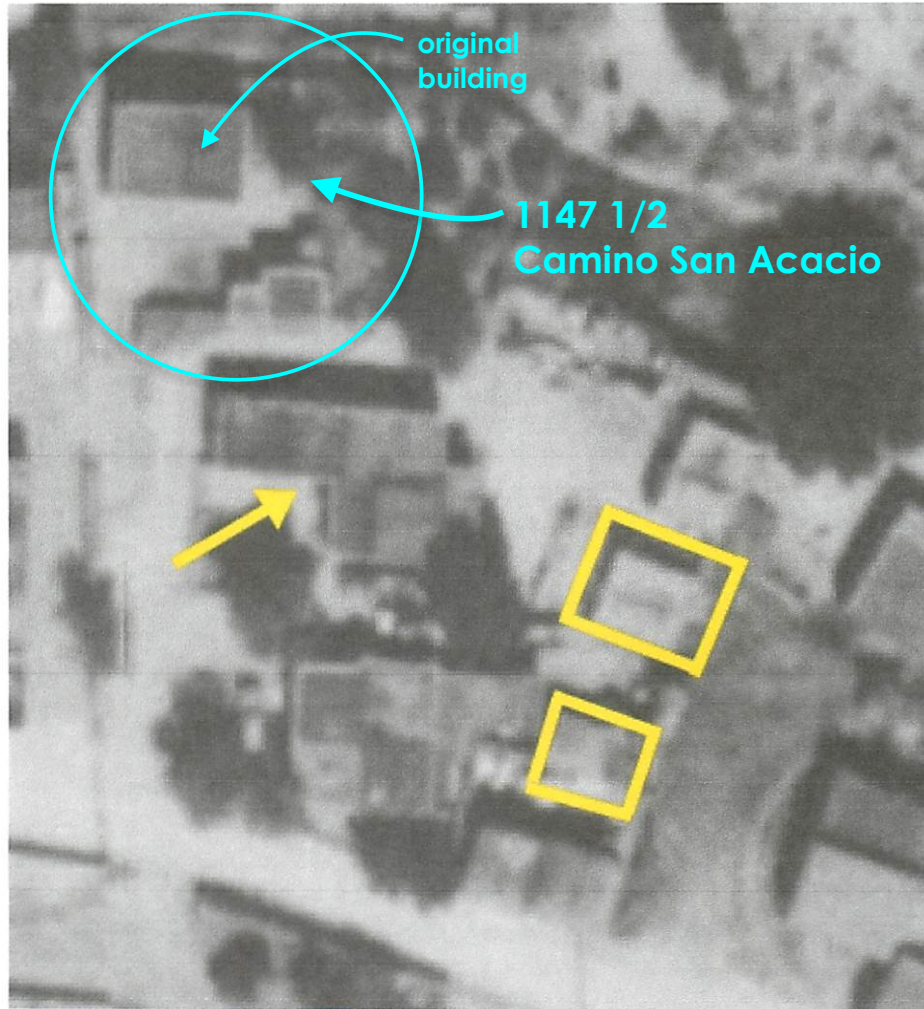


10ft

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> August 10, 2017			



**Figure 7: Portion of 1960 aerial photograph.**  
 Boxes indicate locations of freestanding structures (SP 6 & 9)  
 that were incorporated into Building C.  
 Arrow indicates presence of Mateo and Teodorita Tafoya House.  
 Source: City of Santa Fe.

From John Murphey  
 2017 HCPI for 1149 Camino San Acacio

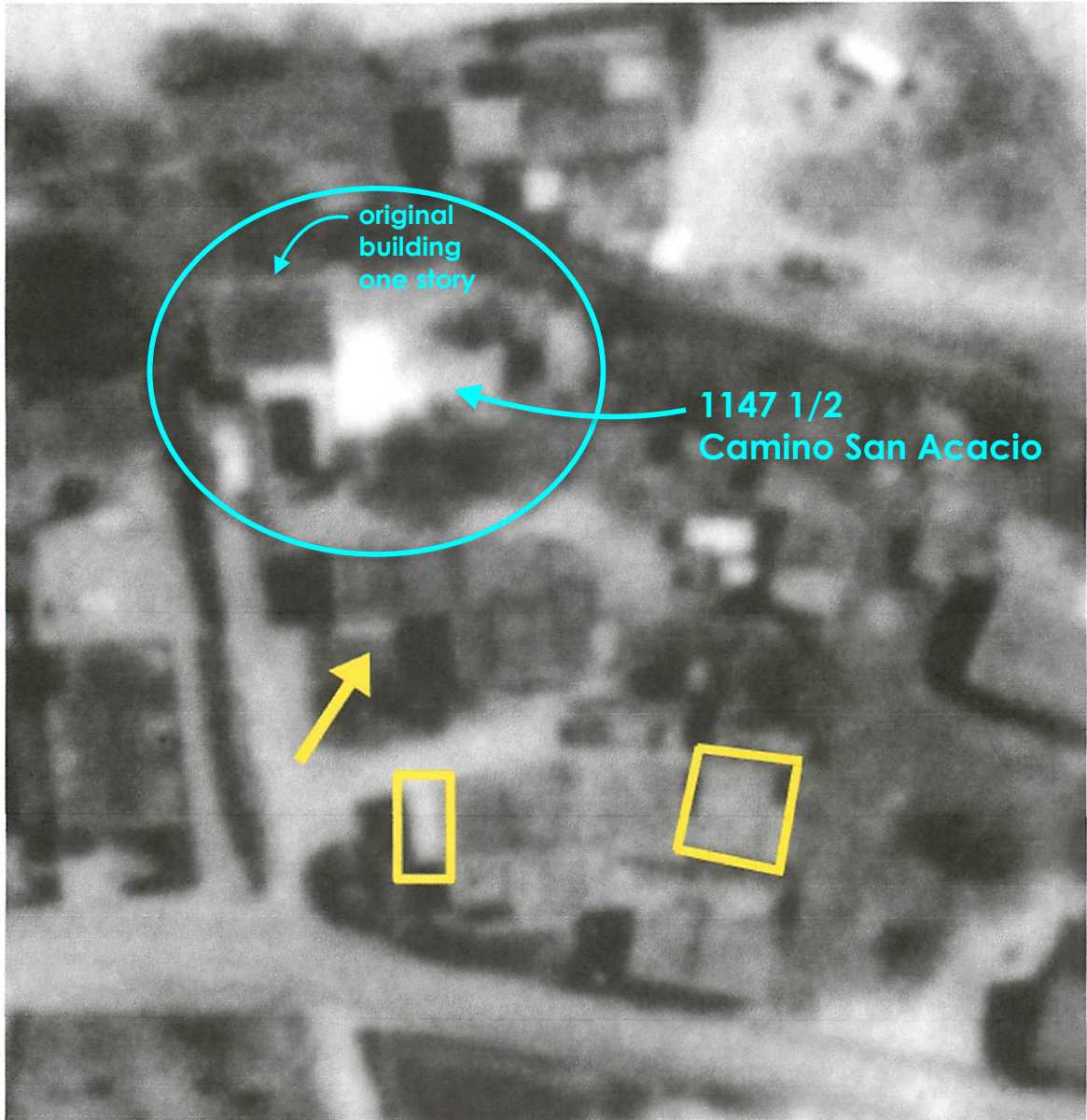


NMDOT Aerial  
5/22/66

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**Figure 8: Portion of 1973 aerial photograph.**  
 Left box indicates presence of west portal; right box, location of CMU infill.  
 Arrow indicates presence of Mateo and Teodorita Tafoya House.  
 Source: EDAC, University of New Mexico.



1147 1/2 Camino San Acacio

Streetscape looking west



1147 1/2 Camino San Acacio

Streetscape looking east



1147 1/2 Camino San Acacio

View of house from street



1147 1/2 Camino San Acacio

View of house from driveway



1147 1/2 Camino San Acacio

South elevation



1147 1/2 Camino San Acacio

Entry courtyard



1147 1/2 Camino San Acacio

view showing east façade of  
second floor



1147 1/2 Camino San Acacio

view along north façade

# Historic Resources Evaluation

**Pablo and Adelina Tafoya House and Associated Buildings**

**1149 Camino San Acacio**

**Santa Fe, New Mexico**



**August 15, 2017**

**Prepared for HDRB Status Review**

**Client:**

**Ernestina Tait**

**1149 Camino San Acacio**

**Santa Fe, NM 87501**

**Prepared by:**

**John W. Murphey**


**Architectural Historian**

**2833 Plaza Verde**

**Santa Fe, NM 87507**

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		NRHP	SRCP	Criteria	A	B	C	D
<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe: Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)			<b>4. County:</b> Santa Fe  <div style="text-align: center; color: blue; font-size: 1.2em;">H-910</div>			
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 5 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object								
<b>6. Date of Survey:</b> August 10, 2017								
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: October 11, 1984 Covering only Building B <input type="checkbox"/> No:								
<b>8. Name of Project:</b> HDRB status review								
<b>9. Lat/Long:</b>  35.678080, -105.916852 app. center of property								
<b>10. Photo Information</b> Negative: FirstLight      View of: Building A, west elevation, facing east.								
<b>11. Brief Description of the Property:</b>  <p>The Pablo and Adelina Tafoya House is situated on the north side of Camino San Acacio, west of its intersection with Camino Cabra. It sits on a roughly 0.33-acre lot populated with several older structures that were acquired by Pablo Tafoya, starting in the late 1950s. The Pablo and Adelina Tafoya House, the dominant feature of property, lies parallel to the road, approximately 2' above grade, with a low coyote fence defining the property line. Attached to it by a breezeway is a separate non-historic structure forming the east edge of the property. Historic freestanding buildings bookend this feature on the north and south. The composite buildings form an "L" across the property. An informal parking court is located on the north side of the house. Part of the parking court is built over the foundations of an earlier dwelling that was demolished in the mid-1970s. The irregularly shaped lot slopes down the hill toward Cristo Rey Church, resulting in several man-made terraces. These are marked by low stone retaining walls. Landscaping is minimal and is confined to a few specimen trees and handmade concrete planters.</p>								
<b>12. Who uses the property?</b> Residence								
<b>13. Construction Date:</b> Date: Various dates of construction (see Architectural Description and Historical Overview) <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated    Source: aerial photographs, oral informants, property records								
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban    If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public								
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar								
Comments: N/A								

**HCPI Base Form (FORM 1)**

*(Continued from other side)*

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



North 

Source: City of Santa Fe, GIS Imagery

17. Surveyor:

(your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 FirstLight Consulting  
 505-577-7593  
[firstlightconsulting@gmail.com](mailto:firstlightconsulting@gmail.com)

For: Ernestina Tafoya

18. Owner (if known) and other knowledgeable people:

Mateto Tafoya

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status.

23. National or State Historic District:

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Contributing\*  Non-contributing  No Status  
 \*Extent of Contributing status unclear on official City of Santa Fe designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

**Buildings A, B, and D, recommended Contributing Structures; Building C, Non-Contributing; Building E, undetermined, 08/15/17**

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

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		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017

**ARCHITECTURAL AND CONSTRUCTION DETAILS:**

<p><u>The following pertains to only Building A</u></p> <b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:	<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____ <b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete <input type="checkbox"/> Stone Other: _____ Notes: _____ <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: _____ Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: West <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: _____
--	--

<b>10. Windows</b> <span style="float: right;"><input type="checkbox"/> N/A</span>  <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Casement</td><td>Wood</td><td>2-6</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>4</td><td>4</td></tr> <tr><td>Casement</td><td>Steel</td><td>3-3-3</td><td>1</td></tr> <tr><td>Sliding</td><td>Aluminum</td><td>1-1</td><td>4</td></tr> <tr><td>Fixed</td><td>Wood</td><td>3-grouped</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>4</td><td>1</td></tr> <tr><td colspan="4"><b>Inside Sunroom</b></td></tr> <tr><td>Fixed</td><td>Wood</td><td>4</td><td>1</td></tr> </tbody> </table>	Operation	Material	Glazing	Number	Casement	Wood	2-6	2	Casement	Wood	4	4	Casement	Steel	3-3-3	1	Sliding	Aluminum	1-1	4	Fixed	Wood	3-grouped	1	Fixed	Wood	4	1	<b>Inside Sunroom</b>				Fixed	Wood	4	1	<b>11. Doors</b> <span style="float: right;"><input type="checkbox"/> N/A</span>  <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>Raised Panel</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Half-Light</td><td>Wood</td><td>4</td></tr> <tr><td>Double</td><td>French</td><td>Wood</td><td>1</td></tr> <tr><td colspan="4"><b>Inside Sunroom</b></td></tr> <tr><td>Single-Leaf</td><td>Raised Panel</td><td>Wood</td><td>1</td></tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	Raised Panel	Wood	1	Single-Leaf	Half-Light	Wood	4	Double	French	Wood	1	<b>Inside Sunroom</b>				Single-Leaf	Raised Panel	Wood	1
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Single-Leaf	Raised Panel	Wood	1																																																										

<b>12. Chimneys</b> (describe whether interior or exterior and material) Short brick interior stack	<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width - portal <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap <input type="checkbox"/> Other: enclosed sunroom
--	--

**14. Other Significant Features** N/A

**15. Modifications:**   No known modifications

Multiple buildings; see Architectural Description and Historical Overview

# HCPI Detail Form (FORM 2)

(Continued from other side)

## 16. Primary Architectural Style Not Applicable

- |  |   |  |   |  |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial                       |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival               |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival                     |

Notes:

Other: Vernacular

## 17. Documents Available and Their Locations

New Mexico Historic Preservation Division  
407 Galisteo Street, Suite 236  
Santa Fe, NM 87501  
(505) 827-6320

Historic Preservation Division  
Land Use Department  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504  
(505) 955-6605

**SITE:**

## 18. Attached or Associated Properties

Are associated properties eligible for listing? Yes. See Architectural Description

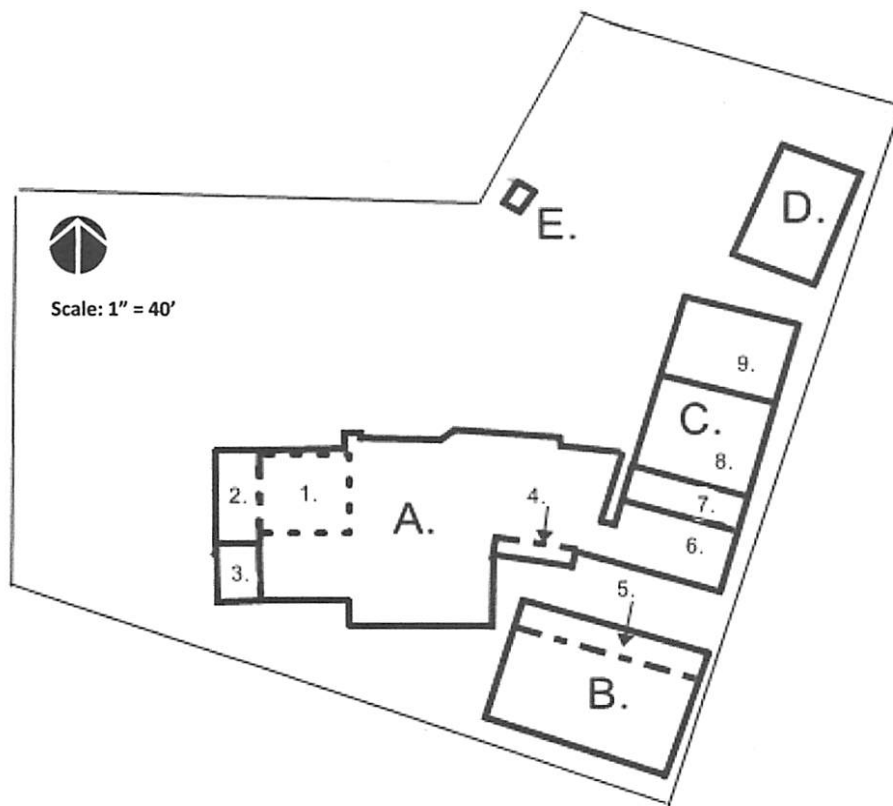
19. Site Plan: See next page

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## Site Plan



### Building Key

- A. Pablo and Adelina Tafoya House (Main House)**  
c.1940s-50s
- B. Adelita's House**  
Pre-1935
- C. Composite Wing**  
c.1960s-70s incorporation of earlier free-standing adobe dwellings with new CMU construction
- D. Two-Room Dwelling**  
Pre-1951
- E. Small Storage Shed**  
Unknown

### Known Major Modifications

1. Addition constructed c.1955
2. Portal constructed c.1960-1966
3. Porch enclosed c.1960s-70s
4. Sunroom enclosure constructed c.1960s-70s
5. Portal added c.1960s-70s
6. Older adobe dwelling [?] incorporated into Building C
7. CMU storage room, c.1960s-70s
8. CMU workshop, c.1960s-70s
9. CMU reconstruction of earlier free-standing adobe dwelling, c.1960s-80s

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## Architectural Description

*The genealogy of the greater Tafoya family property is complex, involving many sub-parcels and buildings once owned by interrelated family members. The following description and history covers only the five parcels and related buildings that were incorporated into the present property.<sup>i</sup>*

### **Building A: Pablo and Adelina Tafoya House – Main House**

Most likely constructed in the 1940s-50s, possibly incorporating part of an earlier structure, with alterations made in subsequent decades, the Pablo and Adelina Tafoya House is the visual and historical focus of the property (Photos 2 and 3).

The house, in plan, is a long, east-west oriented rectangle made of several connected smaller adobe roomblocks. The historic core of the structure, as understood by the family, is a square room behind the front entrance door. To this were added several accretionary units to the south, east and west. The different configurations of the interior roof parapets reflect its evolution.

The house is clad in stucco with a distinctive trowel pattern, tinted orange. The top of some of the walls are capped with an unusual parapet composed of mortared creek stones (Photo 1). A short chimney stack rises near its center. Long metal canales project from its east and west elevations.

The (north) entry façade is a long plane, broken by several projections and offsets that suggest the accretionary nature of the dwelling. The changes in plane are shallow, and do not meet the Ordinance’s definition of a facade. The east end of the elevation shows alteration with a stucco-and-wood infill enclosure (Photo 3). The west end holds a c.1955 addition marked by its steel casement window (Site Plan 1).

Reflecting its chronology, the façade includes number of different window types, encompassing older, smaller wood casements, an aluminum sliding window and a standard steel geared casement set.

Historically, a zaguán-like structure connected this façade to the Mateo and Teodorita House to the north.<sup>ii</sup> This was apparently removed when the older house was demolished in c.1974.

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The west elevation is characterized by a small, pleasantly proportioned portal (SP 2). Constructed in the 1960s by Pablo Tafoya, the approximately 116-square foot structure sits on slender poles topped with handmade zapatas. Behind it is a whitewashed wall, penetrated by a narrow French door opening to the 1950s addition. The southwest corner of the façade was originally an open porch (SP 3). At some point, it was enclosed, creating a new room. This space is daylighted with sliding aluminum windows.

The south elevation, paralleling Camino San Acacio, is the secondary façade of the dwelling. The long street elevation is interrupted by a 3' projection, but has no architectural interest. It is fenestrated with mostly aluminum sliding units along the public façade.

The private side, hidden behind a fence and the bulk of Building B, looks onto an intimate brick courtyard. The short east façade faces this space (Photo 6). In the c.1960s-70s, Pablo enclosed the breezeway between the house and Building C, creating a sunroom (SP 4) (Photo 7).

The house's interior holds two bedrooms, a kitchen and a bathroom. The space has been subdivided with frame walls. Several of the rooms have original viga ceilings. A small cellar near the east end of the house was historically used to store food and preserves.

**Building B: Adelita's House**

Situated less than 5' from a corner of Building A is a much older dwelling, incorporated into the property in 1961 (Photo 8). Lying parallel to Camino San Acacio, the structure shows its front façade to the north, turning its back to the road.

Rectangular in plan, the older building is constructed of adobe, with walls measuring approximately 18" in width. It is clad with a gray stucco scratch coat. A line of surface-sawn vigas are visible at the top of the south elevation (Photo 8). The front (north) façade is enclosed by an approximately 175-square-foot portal (SP 5). Pablo Tafoya built the portal in the c.1960-70s, adding storage rooms at each end (Photo 10).

The house is penetrated with mostly small openings, holding original casement and double-hung wood windows. A six-light wood door under the portal gives entry to the dwelling. The interior is divided into five spaces. The main room, just behind the door, functions as the living room. Its high ceiling has exposed vigas arranged in a north-south

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pattern. The floor is made of stained 3½"-wide boards. A raised, fogon-type fireplace sits at the northwest corner.

Historically the house contained two evenly proportioned rooms. Pablo Tafoya, who purchased it in 1961 from Felipita Quintana, later subdivided the rooms with frame walls. This created separate spaces for a kitchen, bedroom, bathroom and storage.<sup>iii</sup> For many years, one of Pablo's daughters, Adelita Tafoya Hansen, lived in the house.

A footprint similar to this building appears on a 1935 Soil Conservation Service aerial photograph (Figure 6). Tax records suggest the house, historically addressed as 1155 Camino San Acacio, may predate 1917.<sup>iv</sup>

### **Building C: Composite Wing**

Representing several construction phases, the wing is mostly composed of concrete masonry units (CMU), with a few relict adobe walls of earlier structures at the north and south ends (Photo 12). In form, it is a north-south oriented, narrow rectangle. The wing slopes down the grade, with its roofs arranged in stepped fashion.

The south end of the wing consists of a single adobe room, dug below grade (SP 6) (Photo 15). This appears to have been an independent dwelling that was connected to the main house at some point. It is entered by a single door at the west elevation and has a wood casement window across the south wall. A small rectangular window opening on the north wall has been filled in.

Moving north are several CMU-constructed rooms serving as storage (SP 7) and a workshop (SP 8). Constructed in the c.1960s-70s by Pablo Tafoya, they were built across an open area that once contained a chicken coop, turkey run and goat pens. The rooms have concrete floors with exposed CMU walls. The ceiling of the workshop is made of what appear to be reused vigas. The east-west vigas are reinforced by an opposing girder made of larger, sistered poles.

The fourth element, bookending the structure, is a mixed adobe and CMU volume, part of a once free-standing dwelling (SP 9). The south end of the space was created with the construction of the workshop. It involved removing the original adobe south and using portions of the east and west walls of the earlier dwelling. Visually tying together these disparate components is a shed-roof, rustic wood work area affixed to the west façade (Photo 12).

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The interior space is a single room dug approximately 3' below grade. The room shows a new ceiling and a scored concrete floor. CMU stem walls at the east, west and south sides of the room suggest major reconstruction. Only the north wall appears to be made of earlier adobe. Family members recall that Pablo's sister, Amalia "Molly" Tafoya, lived in the house for a period (Figure 4).

Building C displays an array of older windows and doors, of which most appear to have recycled from earlier structures; possibly some salvaged from Pablo's parent's demolished home. It is clad with gray-coat stucco applied over chicken wire. A section of adobe is exposed across the north wall (Photo 13).

### **Building D: Two-Room Dwelling**

Anchoring the northeast corner of the property is a small, free-standing, two-room dwelling (Photo 16). The roughly 384- square-foot, flat-roof building is made of adobe, with walls measuring 14-16" in thickness. In plan it is a simple rectangle arranged on a roughly north-south axis following the property line.

The north end of the dwelling rests on a river stone foundation approximately 4' above grade; the remainder of the building lies directly on the ground (Photo 18). Its roof drains to the west, with runoff directed through a single galvanized canale.

The west entry façade is arranged with wood double-hung and casement windows and a narrow wood-panel-and-glass door (Photo 16). Original wood casement windows are found on the east and north elevations. The small house is clad with gray-coat stucco applied over chicken wire. A line of vigas project from the north elevation.

The interior is divided into two small rooms. The south room, potentially once used as a kitchen, is approximately 142 ½ square feet (Photo 19). Its floor is covered with wide planks; the ceiling shows viga framing. The vigas are narrow peeled poles arranged in a north-south alignment. Above are uniform-width, rough-sawn boards of the same dimension as the flooring. Its adobe walls are finished with a three-coat plaster, tinted yellow.

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At a slightly lower level is a roughly 168-square-foot space that most likely functioned as a bedroom. Unlike the kitchen, its floor is made of poured concrete. The walls are covered with pink plaster. A section of plaster has sloughed away exposing the adobe. The vigas are of a larger diameter than the kitchen; the ceiling boards appear to have recycled from an earlier structure. At least one viga has been replaced. The ceiling height in both rooms is low.

Erected before 1951, the small residence had no plumbing. Water came from a well at the Mateo and Teodorita Tafoya House.<sup>v</sup> An outhouse sat several yards to the northwest. The house, once occupied by one of Pablo Tafoya's brothers, eventually gained electrical service. It may have been used as a rental at one time, and tie to a dwelling that was addressed as 1147 ½ Camino San Acacio. More it recently it has been used for storage.

**Building E: Small Storage Shed**

A small, handmade shed is opposite Building D (Photo 20). The roughly 35-square-foot structure sits directly on the ground. It is made of recycled ½"x5" boards nailed in a horizontal pattern. Its flat roof rests on rafters which carry 9" across the east façade, creating a slight overhang. The shed is entered on the east by a wood door. A fixed wood window on the south elevation provides light into structure. The interior is a small storage area, with its construction exposed. The date of this structure is unknown.

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## Historical Overview

As a narrow shelf above Canyon Road, Camino San Acacio — originally San Acacio — developed slowly in the early 20<sup>th</sup> century, and was considered for many years the south edge of settlement on the Eastside. Goats and sheep wandered its hillside; water from Acequia de Los Lopez irrigated crops below. While most of the Eastside was on municipal water and sewerage by late 1940s, San Acacio and other marginal areas remained offline until the late 1950s.

The subject parcel is historically associated with the Abeyta family, who owned several lots fringing what is now the area of Camino San Acacio between Camino Cabra and Camino Delora. This particular parcel, forming the cornerstone of the Pablo and Adelina Tafoya Property, was acquired in 1924 by Pablo’s parents, Mateo and Teodorita Tafoya. On April 3, 1924, Teodorita’s father, Esquipula Abeyta, deeded the young couple an irregular-shaped parcel of hillside on the south side of San Acacio, overlooking the acequia. The parcel, which had been owned by the Abeyta since at least since 1883, included a three-room dwelling.<sup>vi</sup>

Born in 1887, Mateo Tafoya grew up in Precinct 3 in the Upper Canyon area, where he worked as a farmer. There he met Teodorita Abeyta, who was two years his junior. They married around 1907. The couple moved to the San Acacio property in the mid-1920s, where Mateo resumed farming, growing home crops along with peach, apple and cherry trees irrigated by a handmade retention basin.<sup>vii</sup>

Aside from farming, Mateo worked as a stone mason and plasterer, the latter term often used in New Mexico to indicate people who constructed with adobe. On the property, Mateo built or modified an existing house, which is visible on a 1935 aerial photograph (Figure 6). The house, through additions, would evolve into a rambling, large L-plan dwelling (Figures 2 and 7).

The 1930 federal census — the first to record the Tafoyas at the property — finds Mateo, 40, and Teodorita, 38, living in a house that was estimated to be worth \$400, a figure slightly higher than neighboring properties.<sup>viii</sup> The household included nine children, ranging in age from 17 to an infant. The second oldest son, Pablo, 14, was the offspring who would become most closely associated with property.

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### Pablo and Adelina Tafoya

Following his father, Pablo worked as a homebuilder, and is identified as a plasterer in city directories in the early 1930s. During the Great Depression, when work was hard to come by, Pablo enlisted with the Civilian Conservation Corps. He worked at a camp near Ghost Ranch, in Rio Arriba County.<sup>ix</sup> The 1940 census indicates that, at age 24, he was still living with his parents in the L-shaped house.<sup>x</sup> The census recorded him working for the State Highway Department. His father, at 52, was employed by the Works Progress Administration.

Pablo married Adelina Sandoval, originally from Pecos, in the early 1940s. They were one of the first couples to be wed at the recently completed Cristo Rey Church just down the hillside.<sup>xi</sup> In 1944, Mateo deeded his son two parcels of land on the family property. In the deeds, Pablo gained the triangular lot now holding Building A, and a separate square parcel, now containing Building C.<sup>xii</sup> It is likely that soon after he started to build a home.

Work on the house was abruptly halted by World War II, when in March 1945, Pablo was drafted into the Army.<sup>xiii</sup> At age 30, he left Adelina and their four young children and headed to Camp Walters, Texas, for infantry training.<sup>xiv</sup> After training, where he received an Expert Infantry Badge, Pablo was shipped overseas to the Asiatic-Pacific Theater, where he served with Battery C 63 Antiaircraft Artillery Gun Battalion at Okinawa (Figure 3). In the battalion, Pablo worked as a utility repairman, earning a Victory Medal before being discharged on January 20, 1946.<sup>xv</sup>

Upon returning to Santa Fe, Pablo enrolled in technical courses, including woodworking.<sup>xvi</sup> He resumed his adobe house-building business, gaining clients who moved to Santa Fe seeking a simpler life after the war.<sup>xvii</sup> During this time, he most likely resumed construction on his own home on the San Acacio property, and may have been assisted by his father.

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## Evolution of Property

By the early 1950s, the Pablo and Adelina Tafoya House consisted of several connected adobe roomblocks. One of his sons, Mateo, remembers his father adding the room now forming the west end onto the house in c.1955. While other local home-builders in 1950s began to add larger rooms to their homes, emulating the popular ranch-house plan, Tafoya appears to have stuck to tradition.

Santa Fe photographer John S. Candelario, who headed an educational film company called Cine 927 Productions, filmed the construction and it was included as a scene in his movie "Adobe City." Released in 1956, the film became popular, being reportedly shown in classrooms across the country.<sup>xviii</sup>

The first clear indication of the completed footprint of the Pablo and Adelina Tafoya House is evident on a 1960 aerial photograph (Figure 7). The photograph shows a roughly L-plan structure directly south of Pablo's parent's home. At the time, it was a separate, freestanding dwelling not attached to the wing currently along the east side of the property. The house, minus the west portal and sunroom, had reached its present footprint by that year.

In 1958, according to a plat map, Pablo's father deeded Pablo and his mother a square parcel of land, forming the northeast corner of the property (Figure 1). This lot held at least two older adobe dwellings, including the free-standing Building D. Pablo Tafoya gained control of the southeast corner of the property in 1961, with a deed from Felipita Quintana.<sup>xix</sup> It came with a much older adobe house (Building B) and possibly a smaller, separate dwelling.

## 1960-70s Modifications

With the multiple parcels assembled, Pablo Tafoya began making changes to the property. The largest was the construction of a wing along the east corner of the lot (Building C), tying together what appears to have been two separate adobe dwellings with a bridge of CMU construction. The wing, primarily developed as Pablo's workshop, partially destroyed one of the adobe dwellings (SP 9) and attached to another (SP 6). The complete or partial construction of the wing is visible on a 1973 aerial photograph (Figure 8).

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In the same era, Tafoya erected a portal across the west elevation of the Building A, and appears to have enclosed an adjacent porch (SM 2 & 3). Near the east end of the house, he created an enclosed sunroom, connecting the Main House to Building C. Most likely around same time, he added the full-length portal across Building B (SP 5).

The most significant alteration to the property arrived in the mid-1970s, with the demolition of his parent's home. Tied up in a legal battle among his siblings after his mother's death in 1968, the house fell into disrepair (Figure 5). According his son, the City of Santa Fe condemned the house, and only the recourse was to take it down.<sup>xx</sup> The loss of the parent's home disrupted the layout of the family compound, removing its historic center.

After these changes, the footprint of the collective buildings has remained constant since the late 1970s.

Pablo Tafoya died on October 26, 2001. His wife, Adelina Sandoval Tafoya, passed eleven years later, on January 29, 2012. Both are buried at Santa Fe National Cemetery.

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## Evaluation of Historical Status

The property, as it stands today, represents a former family compound, from which the centerpiece was removed with the demolition of the Mateo and Teodorita House in the mid-1970s. This event altered the overall layout and historic integrity of the compound. The remaining components consist of the c. 1940s-50s, Pablo and Adelina Tafoya House, (now forming the centerpiece), and two free-standing adobe houses of different origin.

While not demonstrative of a recognized architectural style, and somewhat diminished by alterations and non-conforming windows, Building A is representative of traditional, accretionary Hispanic construction. Building B, with a core footprint that predates 1935, is possibly the most historic and architecturally significant building on the property. A c.1960s-70s portal across its front façade has somewhat affected its historic integrity. However, enough survives to communicate its original design and historical association. Building C, cobbled together from possibly two older structures and filled in with CMU construction, is clearly non-historic. Humble in construction and partially deteriorated, Building D remains representative of traditional building techniques and smaller Hispanic homes.

### Recommendation

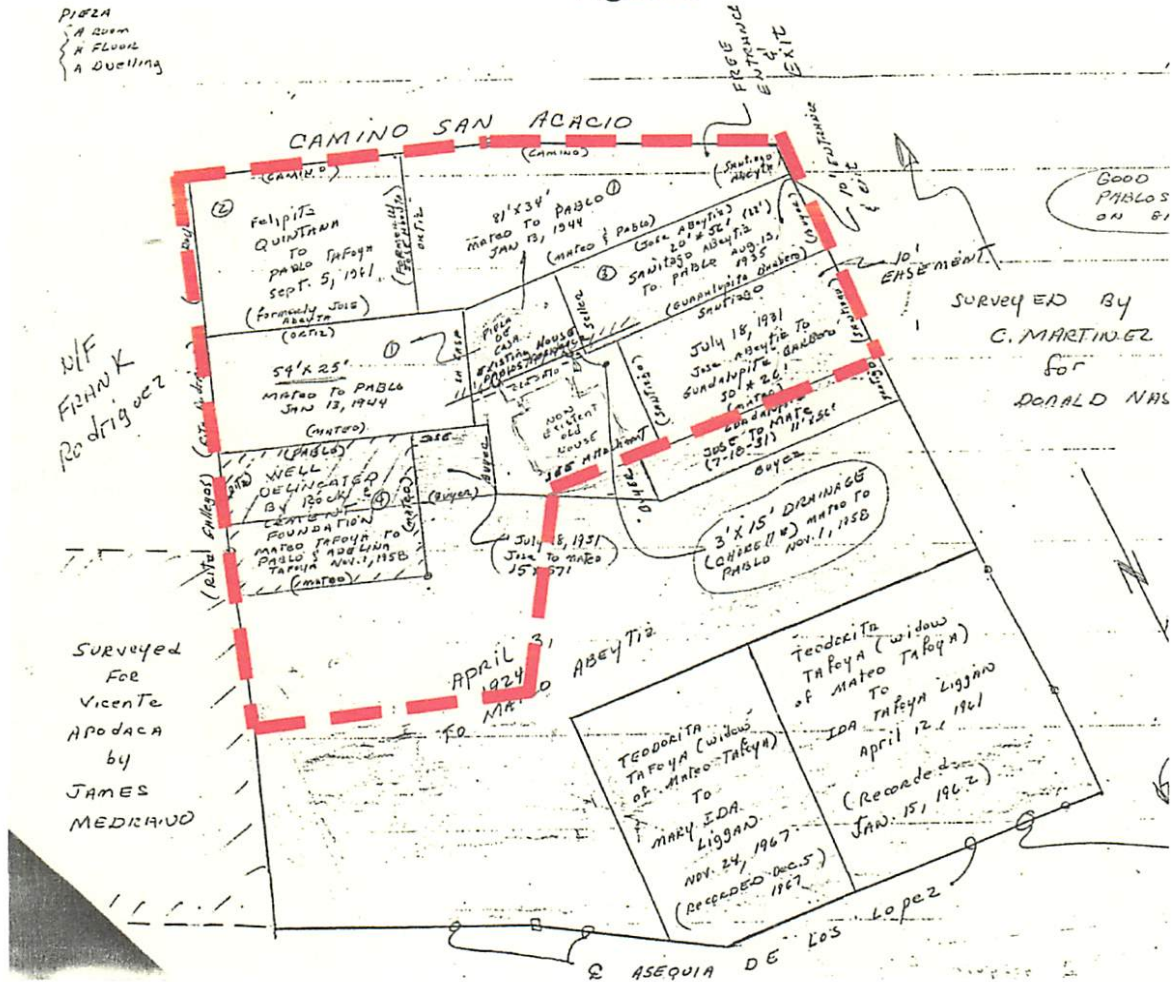
Given the previous evaluation, the recommendation is to designate Buildings A, B and D, Contributing Structures to the Downtown and Eastside Historic District. Building C is recommended Noncontributing, with the suggestion that the south end (SP 6) be attached to Building A, and therefore treated as Contributing. This piece, already connected to the main house by the sunroom, may have been historically part of Building A. There is insufficient information to determine the historic status of Building E.

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### Figures

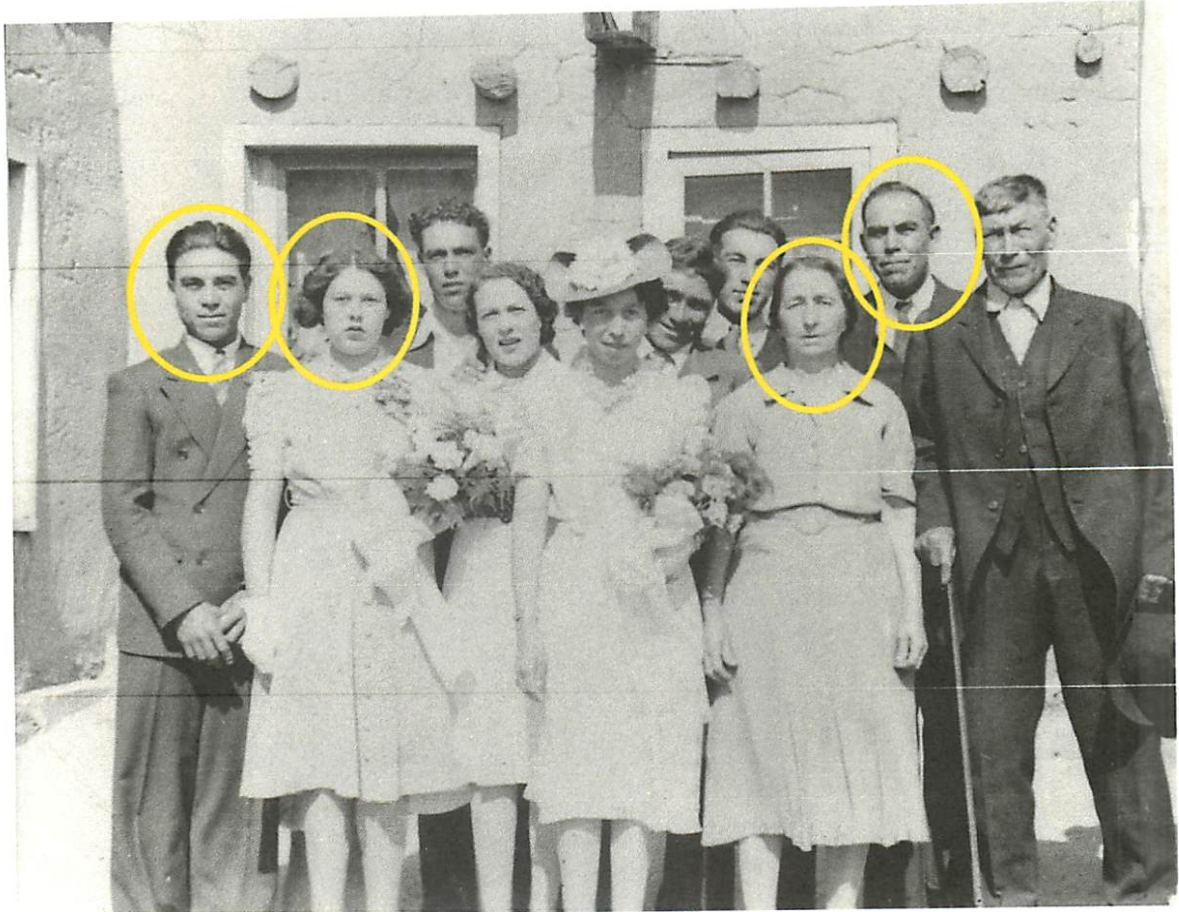


**Figure 1: Undated survey plat of aggregate property.**  
Hatched line indicates author's rough interpretation of current property boundary.  
Source: Tafuya family records.

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**Figure 2: Tafoya Family, c.1940s.**  
Circled, left-to-right: Pablo Tafoya, Adelina Tafoya, Teodorita Tafoya and Mateo Tafoya.  
The Mateo and Teodorita Tafoya House forms the background of photograph.  
Source: Tafoya family.

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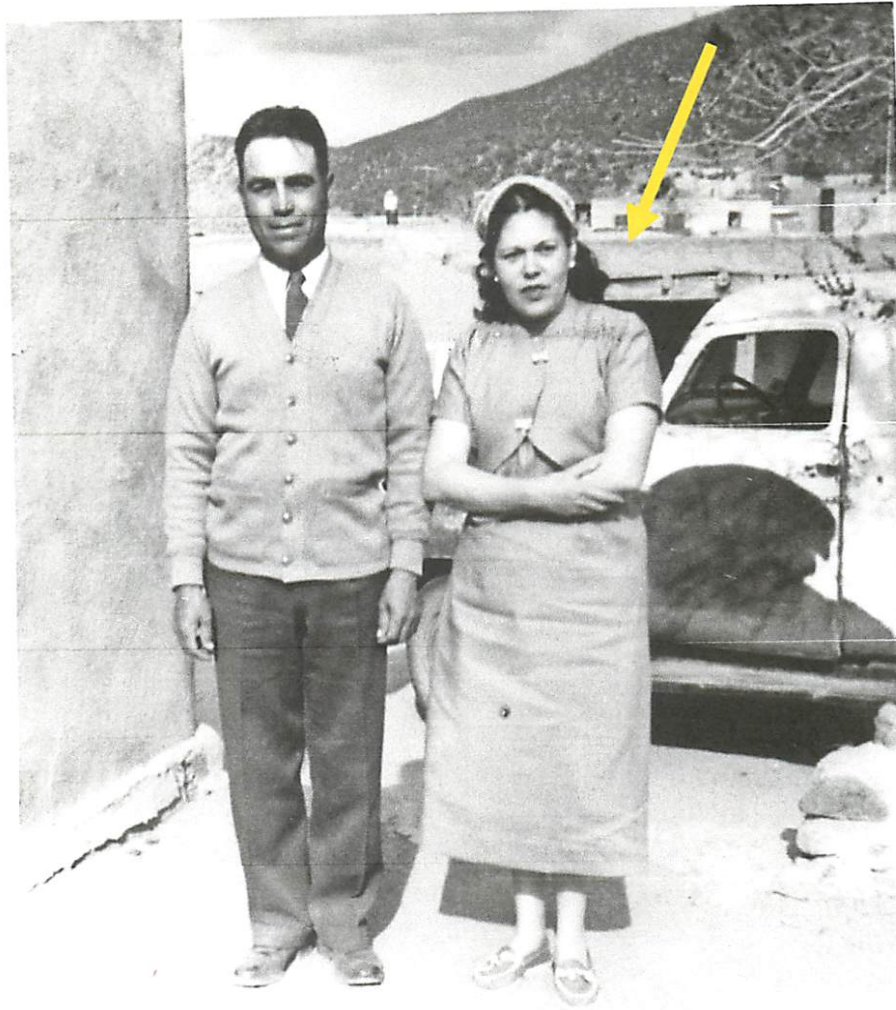


Figure 3: Pablo Tafoya, c.1945.  
Source: Tafoya family.

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**Figure 4: Pablo and Adelina Tafoya, c. late 1950s, early 1960s.**  
**Arrow indicates earlier adobe dwellings (SP 9) partially demolished by Building C.**  
**Source: Tafoya Family.**

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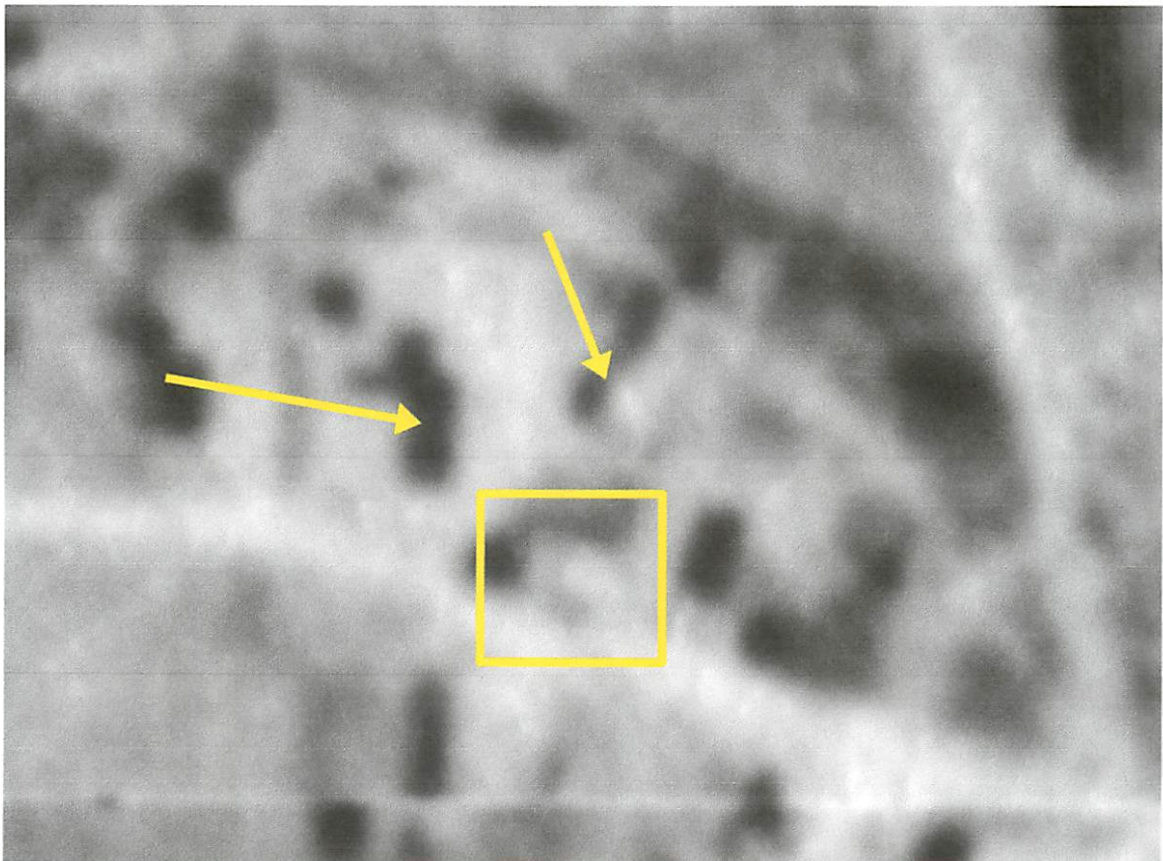


**Figure 5: Mid-1970s composite image of Mateo and Teodorita Tafoya House before demolition. Notice similar use of stone at parapet. Source: Tafoya Family.**

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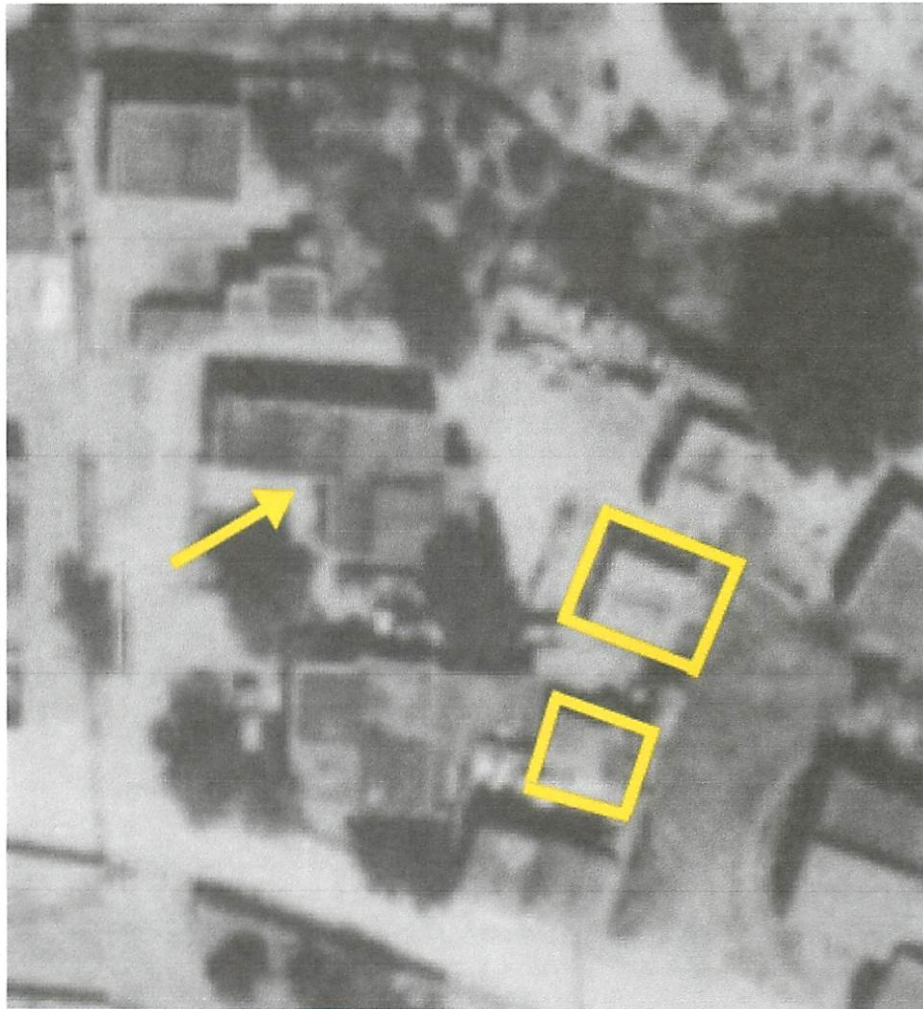


**Figure 6: Portion of 1935 Soil Conservation Service aerial photograph. Box indicates probable existence of Building B. Arrows indicate other buildings standing on property. Source: EDAC, University of New Mexico.**

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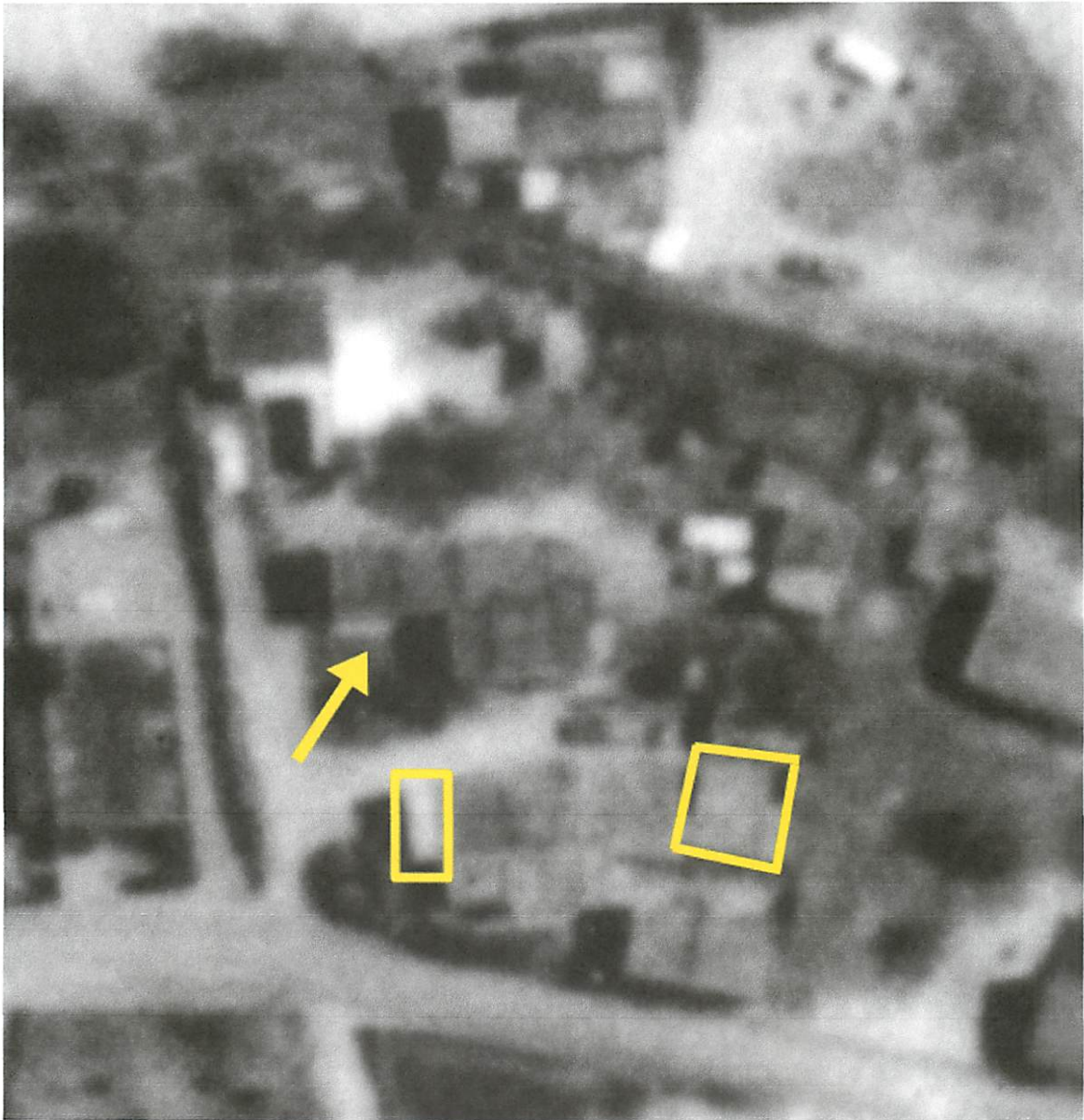


**Figure 7: Portion of 1960 aerial photograph.**  
**Boxes indicate locations of freestanding structures (SP 6 & 9)**  
**that were incorporated into Building C.**  
**Arrow indicates presence of Mateo and Teodorita Tafoya House.**  
**Source: City of Santa Fe.**

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**Figure 8: Portion of 1973 aerial photograph.**  
 Left box indicates presence of west portal; right box, location of CMU infill.  
 Arrow indicates presence of Mateo and Teodorita Tafoya House.  
 Source: EDAC, University of New Mexico.

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## Survey Photographs



Photo 1: Layout of buildings, as viewed from auto court, facing east.

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**Photo 2: Building A: North and west elevations, facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

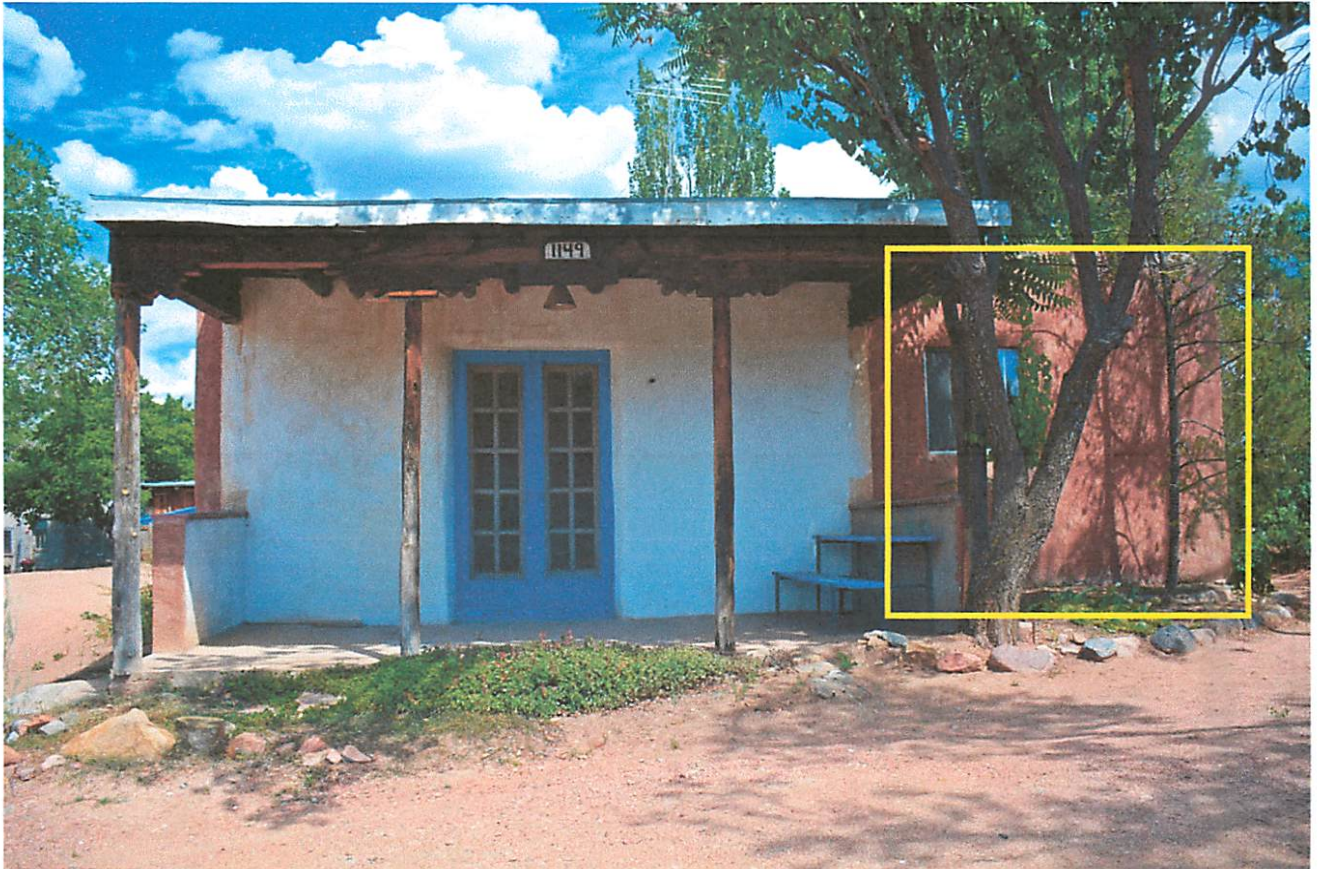
For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____	NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> <u>  </u> B <u>  </u> <u>  </u> C <u>  </u> <u>  </u> D
<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 3: Building A: North elevation facing south.  
Box indicates breezeway between Buildings A and C.**

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**Photo 4: Building A: West elevation with 1960s portal, facing east.  
Box indicates enclosure of porch.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

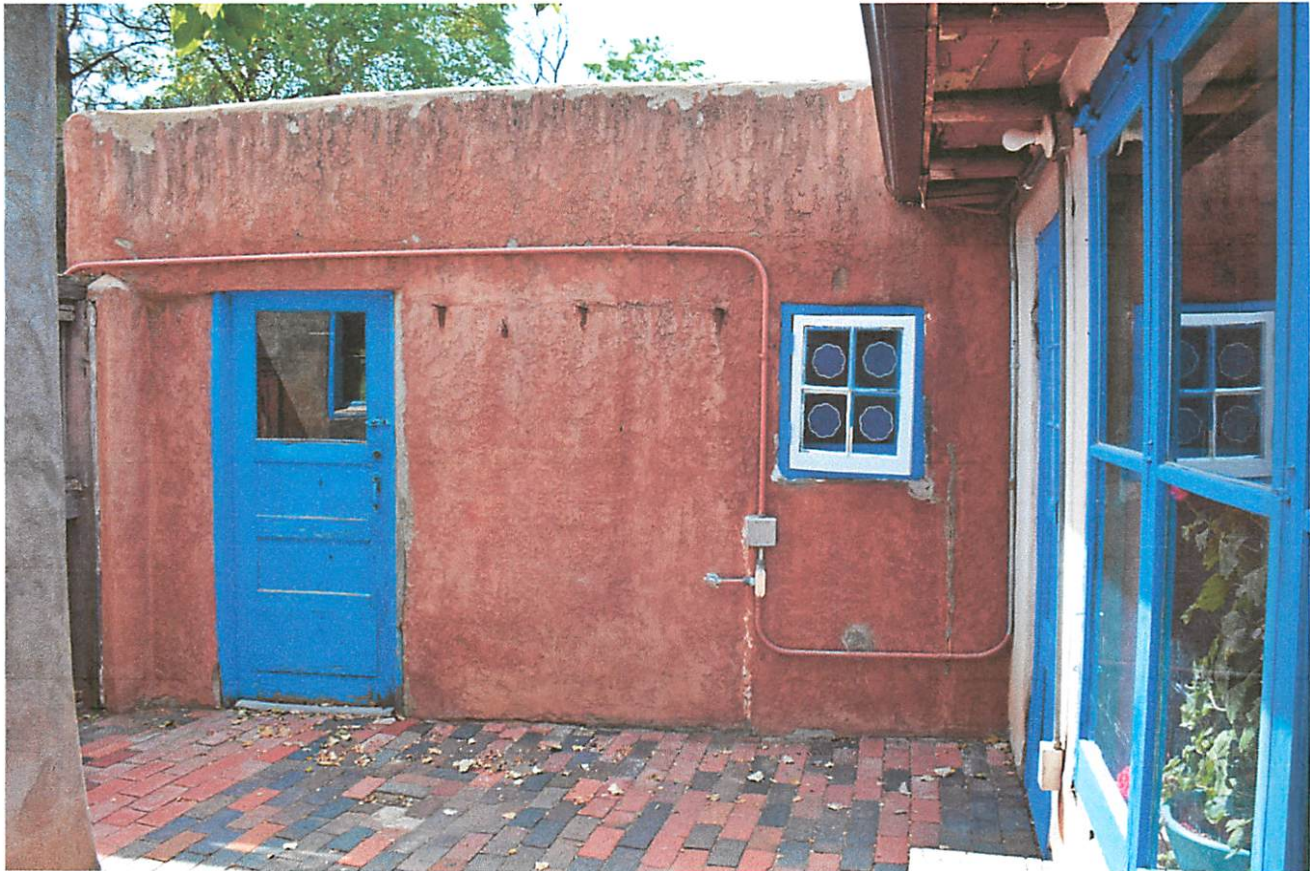
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Photo 5: Building A: South elevation, facing northwest.

**Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)**  
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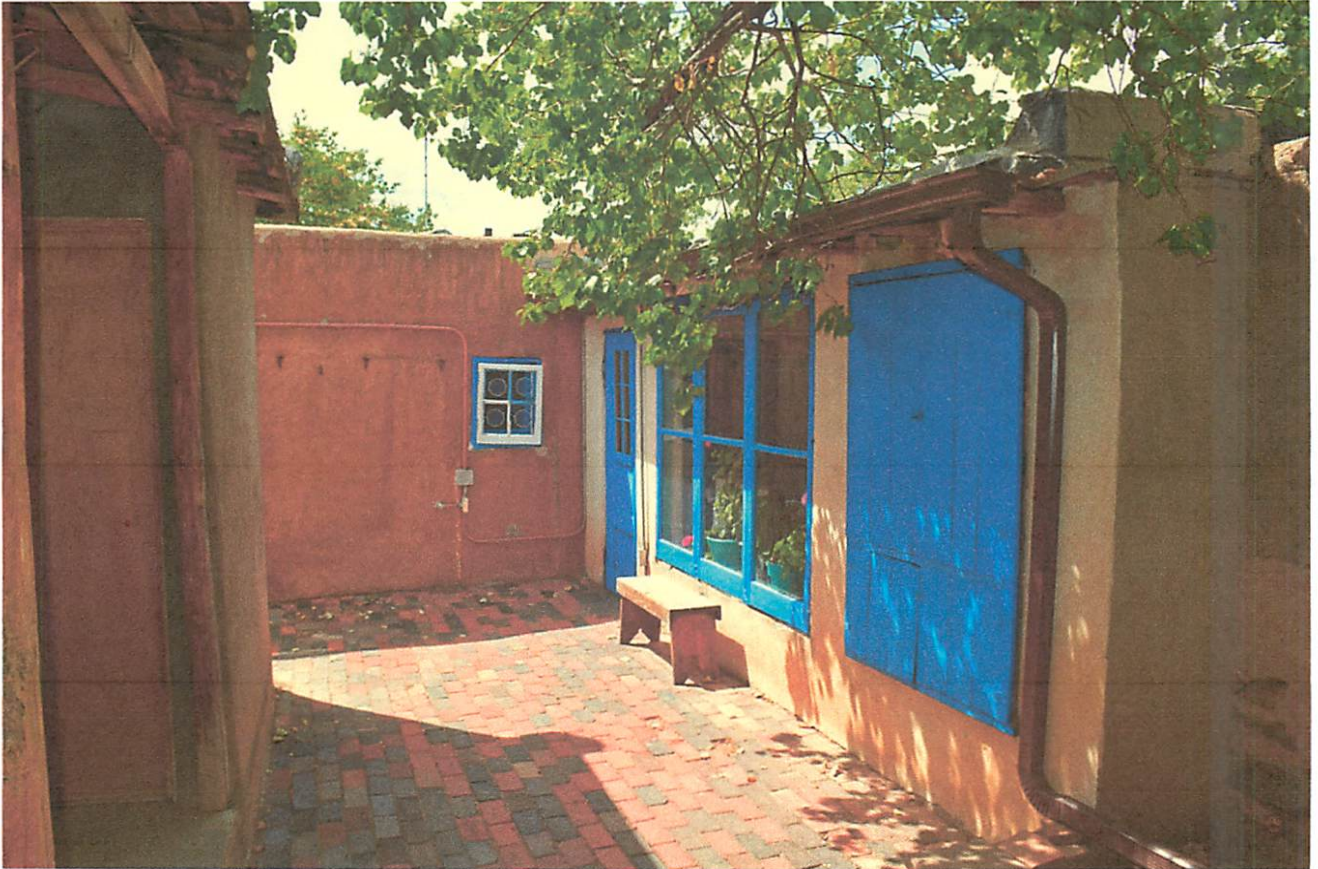


**Photo 6: Building A: East elevation, facing south.**

**Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)**  
*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: *Please complete HCPI FORM 1 before completing FORM 2*  
HCPI No. \_\_\_\_\_ District No. \_\_\_\_\_ NRHP \_\_\_\_\_ SRCP \_\_\_\_\_ Criteria   A   B   C   D

<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 7: Building A: Sunroom (SP 4), facing northwest.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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		Criteria	A B C D
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		<b>4. County:</b> Santa Fe	
		<b>5. Date of Survey:</b> August 10, 2017	



Photo 8: Building B: North elevation, facing northwest.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)	
<b>4. County:</b> Santa Fe	
<b>5. Date of Survey:</b> August 10, 2017	



**Photo 9: Building B: West elevation, facing northeast.**

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**Photo 10: Building B: North elevation with non-historic portal (SP 5), facing southeast.**

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		<b>5. Date of Survey:</b> August 10, 2017



**Photo 11: Building B: East elevation, facing southeast.**

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> August 10, 2017			



**Photo 12: Building C: West elevation, facing east.  
Box indicates extent of non-historic CMU infill.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

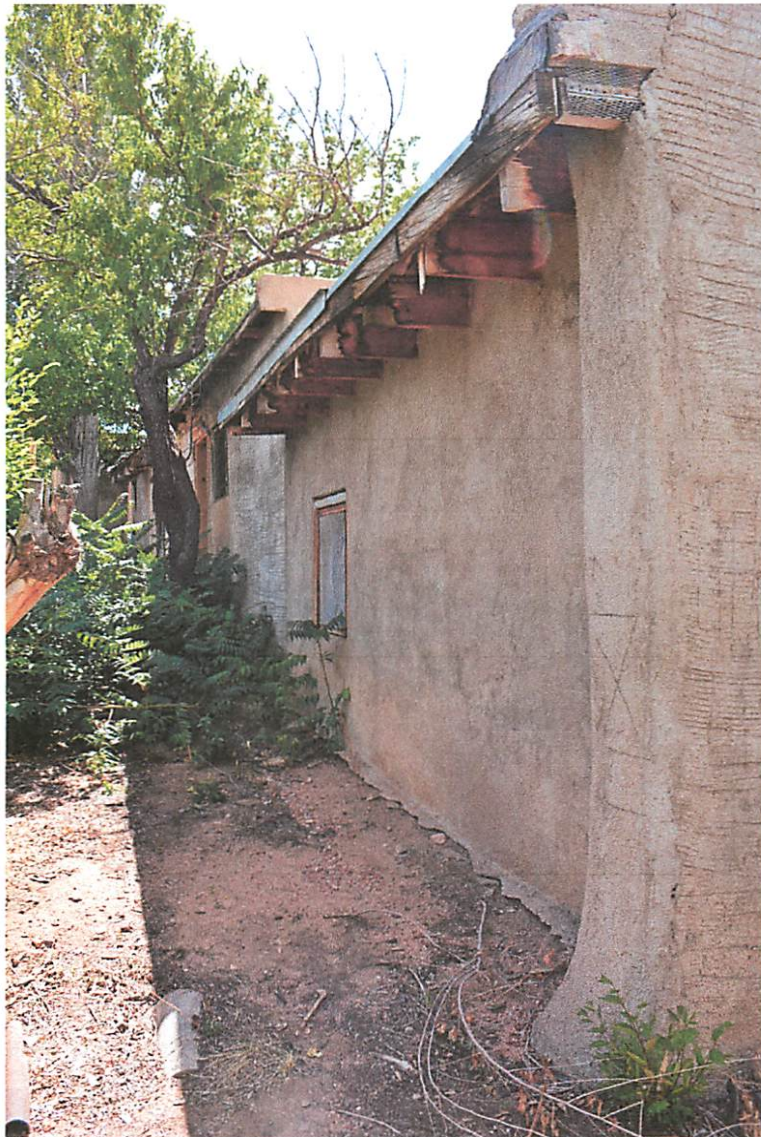
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HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



Photo 13: Building C: North elevation, facing northeast.

**Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)**  
*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 14: Building C: East elevation, facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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<b>1. Name of property:</b>  Pablo and Adelina Tafoya House and Associated Buildings	<b>2. Location:</b>  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	<b>3. Local Reference Number:</b> Santa Fe ID #051611613 (1984)
		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 15: Building C: East elevation, facing northwest.  
 Box indicates probable earlier dwelling incorporated into wing (SP 3).**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 16: Building D: West elevation, facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Photo 17: Building D: South and east elevations, facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> August 10, 2017			



**Photo 18: Building D: North elevation, facing southwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP _____	SRCP _____
		Criteria	A B C D
1. Name of property:  Pablo and Adelina Tafoya House and Associated Buildings	2. Location:  1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID #051611613 (1984)	4. County: Santa Fe
		5. Date of Survey: August 10, 2017	

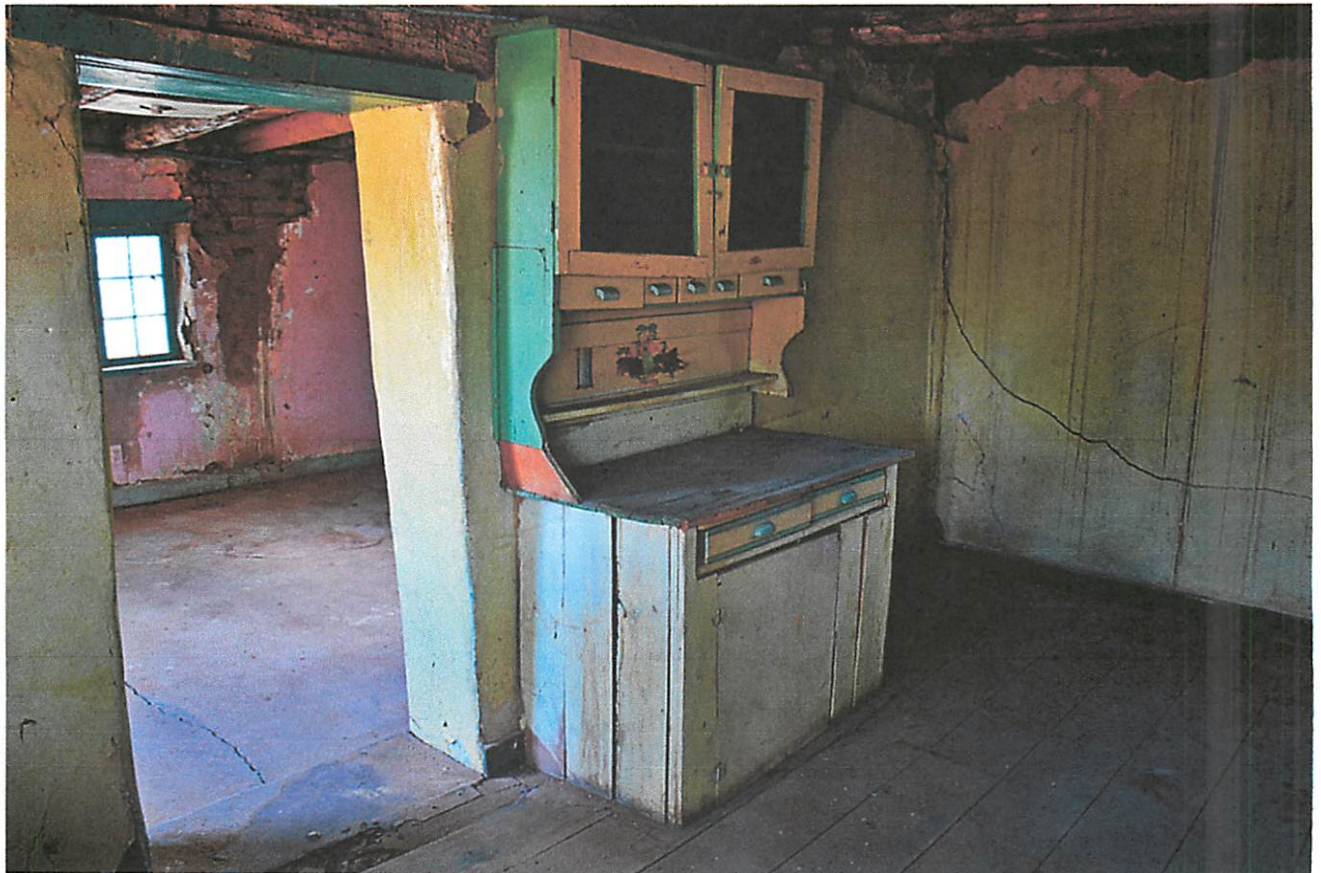


Photo 19: Building D: Interior, facing northeast.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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NRHP    SRCP    Criteria    A    B    C    D		
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		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> August 10, 2017



**Photo 20: Building E: East elevation, facing northwest.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>1. Name of property:</b>  <b>Pablo and Adelina Tafoya House and Associated Buildings</b>	<b>2. Location:</b>  <b>1149 Camino San Acacio, Santa Fe Downtown and Eastside Historic District</b>	<b>3. Local Reference Number:</b> <b>Santa Fe ID #051611613 (1984)</b>			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: August 10, 2017</b>			

## End Notes

<sup>i</sup> The Tafoya property represented in this survey is defined by, "Plat Survey of Heirs of Mateo Tafoya, Santa Fe, NM," June 1986. Source: Tafoya family records.

<sup>ii</sup> Mateo Tafoya, conversation with John Murphey, August 10, 2017, Santa Fe. Mateo Tafoya, 70, grew up in the main house. His memory, along with aerial photographs and visual evidence, became the basis for understanding the property's history. The zaguán-like structure, perhaps of its size and ephemeral character, is not visible on aerial photographs.

<sup>iii</sup> Mateo Tafoya, 2017; Warranty Deed, recorded September 12, 1961. Source: Tafoya family records.

<sup>iv</sup> Ibid.

<sup>v</sup> Mateo Tafoya, 2017.

<sup>vi</sup> Description of deed from E. Abeyta to Mateo and Teodora Abeyta Tafoya, April 3, 1924. Source: Tafoya family records.

<sup>vii</sup> Mateo Tafoya, 2017.

<sup>viii</sup> U.S. Federal Census, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: 1399; Page: 15A; Enumeration District: 0003; Image: 595.0; FHL microfilm: 2341134.

<sup>ix</sup> Mateo Tafoya, 2017.

<sup>x</sup> U.S. Federal Census, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T627\_2452; Page: 12A; Enumeration District: 25-5B.

<sup>xi</sup> Mateo Tafoya, 2017.

<sup>xii</sup> Undated plat map, Figure 1. Source: Tafoya family records.

<sup>xiii</sup> The National Archives in St. Louis, Missouri; St. Louis, Missouri; Draft Registration Cards for New Mexico, 10/16/1940 - 03/31/1947; Record Group: Records of the Selective Service System, 147; Box: 120.

<sup>xiv</sup> *Santa Fe New Mexican*, May 8, 2005, 2015.

<sup>xv</sup> New Mexico Commission of Public Records, State Records Center and Archives; Santa Fe, New Mexico; Subseries: Military Discharges; Box Number: 16642; Box Title: Military Discharges Struck-Tarango.

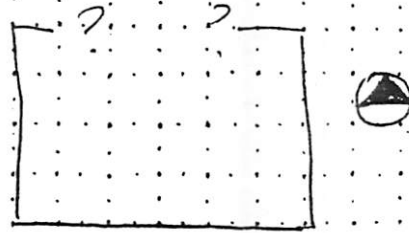
<sup>xvi</sup> Mateo Tafoya, 2017.

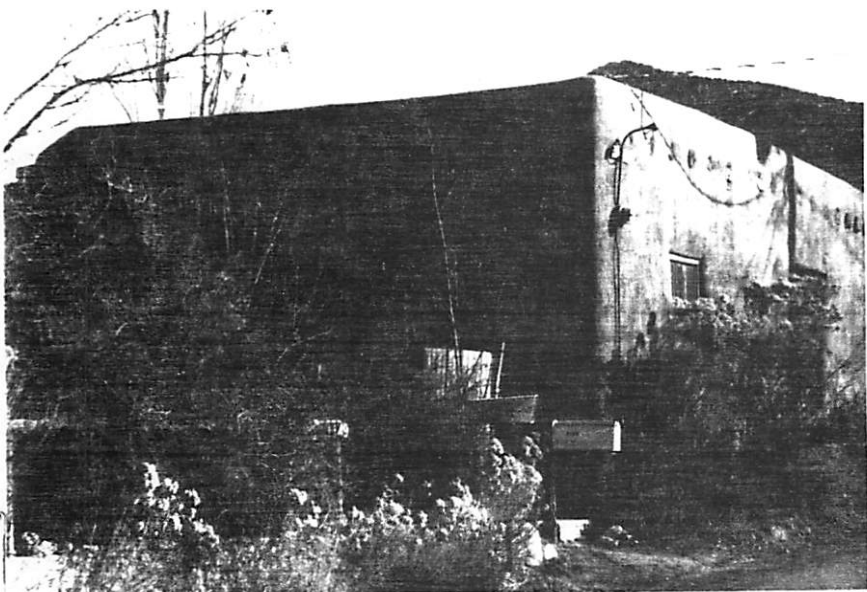
<sup>xvii</sup> Ibid.

<sup>xviii</sup> Ibid., *Santa Fe New Mexican*, March 12, 1957, 5.

<sup>xix</sup> Undated parcel map, Figure 1. Source: Tafoya family records.

<sup>xx</sup> Mateo Tafoya, 2017.

Building Threatened No. <u>                    </u>	Surveyed date <u>29-XI-86</u> by <u>                    </u>	County <u>Santa Fe</u>	File no. <u>051611613</u>	<u>H 910</u>
Field no. <u>SFHD-6-1613</u>	number	Field reference zone <u>12 13</u>	easting	northing
Location description <u>1149 San Acacio</u>		City/Town <u>Santa Fe</u>		
Building name		Legal description Twp. N S Range E W Sec		
PH. roll by " " no. <u>21</u>	Negative nos. <u>31</u>	Inv. or neg. <u>                    </u>	Plan shape 	



date of construction  
1900± \* estimate \_\_\_\_\_ actual  
source \_\_\_\_\_

use  
present residential  
other \_\_\_\_\_  
historic residential  
other \_\_\_\_\_

condition  
\_\_\_\_\_ excellent \_\_\_\_\_ good  
 fair \_\_\_\_\_ deteriorating

style Spanish Pueblo

foundation material NV

wall material/surface Adobe Stucco

degree of remodeling  
 minor \_\_\_\_\_ moderate \_\_\_\_\_ major

describe: \_\_\_\_\_

surroundings  
Res

relationship to surroundings  
 similar \_\_\_\_\_ not similar

historic potential  
\_\_\_\_\_ yes \_\_\_\_\_ no

significance  
\_\_\_\_\_ eligible  of \_\_\_\_\_ none

if eligible, interest  
why? CONTRIB.

Architectural features  
Roof - Shed to rear w parapet to street. Vigas flush w wall

Windows 8 lite wd esmt wd frame | Blue trim  
6 lite fixed " "  
6/6 dbl hung.

Door - NV  
One triple 6 ft wd esmt

associated buildings?  yes  
what type?  
Shed in rear.

if inventoried, list ID nos.  
                    

see back? \_\_\_\_\_ yes

\*Bus. Dir. Shows no prev. war. Age  
evident.

# City of Santa Fe, New Mexico

# memo

DATE: March 14, 2023  
TO: Historic Districts Review Board Members  
FROM: Ramon Sarason, Senior Planner, Historic Preservation Division

---

Case: 2023-06359-HDRB

Address: 1170 Camino Delora  
Historic Status: Noncontributing  
Historic District: Downtown and Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall  
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other:

### APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

The main house of 1170 Camino Delora appears to date to c. 1947. It is a stucco-clad, single-story residence exhibiting a mixture of Territorial and Spanish-Pueblo Revival elements. During the 1960's the house experienced a reorganization of its interior spaces, including converting the garage into a living room and the entry portal into a bedroom. These alterations, along with the removal of original windows resulted in its noncontributing status to the Downtown and Eastside Historic District. The main house on this site turns its back to the street with a long wall of minimal fenestration. Windows are generous at the back of the home, with a long portal framing views of Cerro Gordo and the Sangre de Cristo mountains. Composed of adobe, it encloses roughly 1,739 square feet. Also on the property are a small studio, guesthouse (casita), pool, and landscaping. Further information on history and building description is included in the attached HCPI.

At the 2/28/2023 hearing (#2023-006401-HDRB) the HDRB board confirmed the status of this property as noncontributing.

## **RELEVANT CODE CITATIONS:**

### 14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
  - (b) The continued construction of buildings in the historic styles; and
  - (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.
- b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

### 14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

### Removal of Historic Material/Demolition:

#### 14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

#### 14-3.14(G) Standards for Demolition of Historic or Landmark Structures

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether the street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair or structural stability of the structure under consideration.

#### 14-5.2(E) Downtown and Eastside Design Standards

##### (1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;

- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.

#### 14-3.14 Demolition of Historic or Landmark Structure

(A) Summary of Procedure

- (1) Upon receiving an application for demolition of a structure within the historic districts the HDRB shall, within sixty-five calendar days from the date of application, either grant or deny the application. Ordinarily, the HDRB will act on an application for demolition at its next regular meeting, if the application is submitted in proper form at

least seven days before its next regular meeting; however, the HDRB may use the entire sixty-five day time period if the HDRB, on motion duly passed, determines such delay is necessary.

- (2) Upon receiving an application for demolition of a landmark structure the HDRB shall, within sixty-five calendar days from the date of application, make a recommendation to the governing body to either grant or deny the application.

(B) Hearing Required

- (1) In all applications involving the demolition of a structure, provision shall be made for a hearing, as set forth in the preceding section.
- (2) The HDRB or governing body, as applicable, shall restrict its review to a consideration of whether the application will be in conformity with the standards established by this section.
- (3) Notice of the time and place for each hearing shall be sent in writing to each applicant.
- (4) An agenda of the HDRB shall be sent to all groups requesting notification and copies of meeting agendas, as set forth in the officially adopted neighborhood planning policies.
- (5) On-site notice, by a sign of proposed demolition and of the time, date and place of the HDRB or governing body review shall be posted by the city on the affected property fourteen days prior to HDRB or governing body review of application for demolition. Such notice shall be prominently displayed, visible from a public street and securely placed on the property.

(C) Staff Review and Report

Before granting approval or denial to a demolition request, the land use director shall provide the following information on the structure under consideration.

- (1) A report on the historic or architectural significance of the structure;
- (2) A report from the city building inspector on the state of repair and structural stability of the structure;
- (3) If the structure is more than seventy-five years old, and the entire project of which demolition is a part requires an archaeological clearance permit, a report from the land use director on whether the demolition would damage possible archaeological artifacts; and
- (4) Other information as requested by the HDRB or governing body.

(F) Denial of Demolition Request

A determination that the structure should not be demolished shall impose a duty on the owner or other persons having legal custody and control to immediately take the action required under Section 14-5.2(B) (Minimum Maintenance Requirements).


(G) Standards

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
  - (a) Whether the structure is of historical importance;
  - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and
  - (c) The state of repair and structural stability of the structure under consideration.

- (2) In determining whether a request for demolition of a landmark structure should be approved or denied, the HDRB and governing body shall consider the following:
  - (a) The historical importance of the structure; and
  - (b) The state of repair and structural stability of the structure.

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*  
January 21, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID #: H-787  <b>4. County: Santa Fe</b> Parcel # 10993536
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: carport and wall <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> December 14, 2022		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: June 27, 1983 <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Review		
<b>9. Lat/Long:</b>  35.6769081,-105.9164475		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. <span style="float: right;">Photo 1: South, front façade along Camino Delora. Camera facing east.</span>		
<b>11. Brief Description of the Property:</b>  Likely an amalgamation of several building campaigns with related alterations, the main house on this site turns its back to the street with a long wall of minimal fenestration (Photo 1). Its focus is private. Windows are generous at the back of the home, with a long portal framing a view of Cerro Gordo and the Sangre de Cristo mountains. Composed of adobe, it encloses roughly 1,739 square feet (SFe County Assessor). It presents an altered mixed Pueblo and Territorial appearance. Also on the property are a small studio, guesthouse (casita), pool, and landscaping. Per staff's direction, these are not part of the current form, which focuses on the main house.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> c.1944, with additions Date: <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated <b>Source:</b> Newspaper advertisement, city directories, and aerials		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban <b>If Urban:</b> <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



17. Surveyor:  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporusco

For: Jefferey Seres, AIA

18. Owner (if known) and other knowledgeable people:

Current owner: Catclaw New Mexico LLC

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																																																															
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____  <b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt: brai <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																																													
<b>10. Window Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Hung</td><td>Wood</td><td>1/1</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>1</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>3-3</td><td>3</td></tr> <tr><td>Combination</td><td>Wood</td><td>3-3-3</td><td>1</td></tr> <tr><td>Combination</td><td>Wood</td><td>3-6-3</td><td>1</td></tr> <tr><td>Hopper</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>1</td><td>1</td></tr> <tr><td>Fixed-ribbon</td><td>Wood</td><td>2</td><td>2</td></tr> <tr><td>Fixed-clerestory</td><td>Wood</td><td>2</td><td>2</td></tr> <tr><td>Fixed – mullioned</td><td>Wood</td><td>6 w/1 operable sash</td><td>1</td></tr> <tr><td>Fixed – mullioned</td><td>Wood</td><td>8</td><td>1</td></tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	1/1	1	Casement	Wood	1	2	Casement	Wood	3	1	Casement	Wood	3-3	3	Combination	Wood	3-3-3	1	Combination	Wood	3-6-3	1	Hopper	Wood	3	1	Fixed	Wood	1	1	Fixed-ribbon	Wood	2	2	Fixed-clerestory	Wood	2	2	Fixed – mullioned	Wood	6 w/1 operable sash	1	Fixed – mullioned	Wood	8	1	<b>11. Door Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>10-light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>3/4-Glass</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Latilla</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>"Territorial"</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>4-light</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	10-light	Wood	1	Single-Leaf	3/4-Glass	Wood	1	Single-Leaf	Latilla	Wood	1	Double	"Territorial"	Wood	1	Double	4-light	Wood	1
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<b>12. Chimneys</b> <input type="checkbox"/> two, short, stuccoed at parapet		<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width: portal, north <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																																													
<b>14. Other Significant Features</b> N/A																																																																															

# HCPI Detail Form (FORM 2)

(Continued from other side)

15. Modifications:  No known modifications

#1 Date: c.1965 onward; numerous additions and changes of fenestration; see Figure 3.

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |  |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial                       |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input checked="" type="checkbox"/> Territorial Revival    |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival                     |

Notes: Other: Vernacular

## 17. Documents Available and Their Locations

Historic Preservation Division  
Land Use Department  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504  
(505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

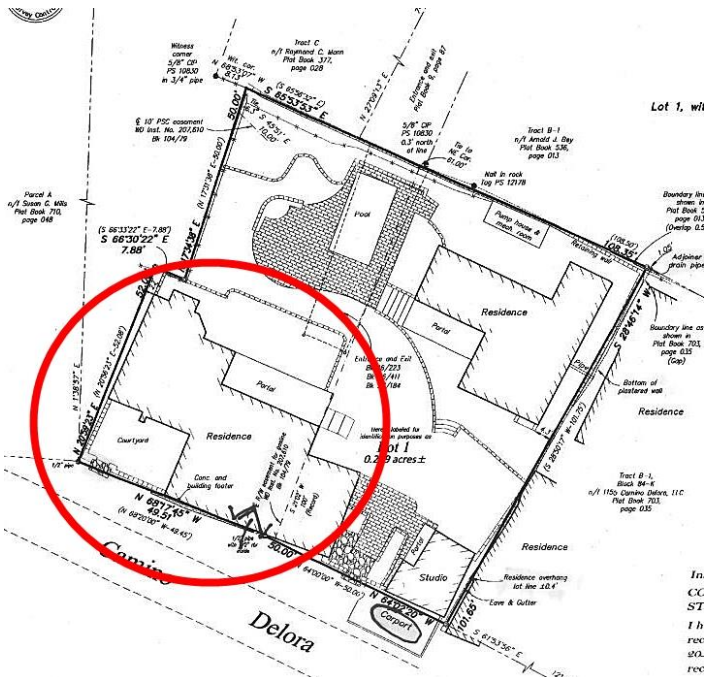
Archaeological Records Management Section  
Laboratory of Anthropology  
708 Camino Lejo  
Santa Fe, NM 87501  
(505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

## SITE:

## 18. Attached or Associated Properties

Are associated properties eligible for listing: No

## 19. Site Plan: Portion of June 10, 2019, survey plat. Courtesy Sierra Land Surveying Inc.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
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		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: December 14, 2022</b>			

## Architectural Description Continued

### South – Public Façade

The house sits on the north side of Camino Delora, directly abutting the street. Running for 100’ along its front elevation, the long wall terminates at the east with a carport (Photos 1-3). This walled area gives little sense of the home’s design and appears to have been cultivated to maximize privacy.

The property begins at the west with a privacy wall and wood entry gate leading to the courtyard (Photo 1). This wall, of unknown age, is roughly 65” high and 22” thick at its crown. Moving east, the house begins and steps up in height with a parapet (Photo 2). This section has only a few windows: a square opening at the bath and a small ribbon window at the media room. Following is another wood pedestrian gate and, finally, the attached carport (Photo 3). While a similar structure appears on a 1960 aerial (Figure 3), the current carport’s wood members appear newer.

### North

The north elevation, with its immediate views of the yard and the distant mountains, is the primary focus of the home’s design. This façade, however, has been altered at least three times. A roughly 32’-long *portal* dominates the elevation, framing views (Photo 4). The flagstone floored space has heavy viga construction and a replaced deck and roof (Photo 5). Curiously, its plate beam continues beyond the roof at the east end, with half of the corbel awkwardly jutting out. This would suggest the portal’s plate, posts, and corbels, are also altered. Near its original center is a wide ¾ glass door framed by three-light wood windows (Photo 6). A Territorial Revival header surmounts the opening. This type of molded pediment is found throughout the house, including over a door and window added in 2012.

According to a previous case report, a project in the 1980s enclosed the west end of the portal to create a caretaker’s apartment (Photo 7). This change is evident with a

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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bulkhead holding a fixed window. According to the current owner, the enclosure extended the portal’s earlier length and changed its design.<sup>1</sup>

Beyond the enclosure begins a taller volume holding the guest bedroom. The odd juncture is increased by a new door and bump-out added in 2012 (Photo 8). Originally a window, the Board approved the change to a door under Case H-11-127. Set back from the portal’s east end stands a short section of wall holding a pair of casements and a single-hung window, both with Territorial headers.

**East**

Approached by the second gate, the east elevation at ground level includes an opening with two (one interior and one exterior) ten-light wood doors (Photo 9). To the east are paired casements, including a second opening installed in 2012. A viga-supported overhang shelters the space. A line of clerestories gives light to the master bath above. The east elevation terminates at the portal with a large mullioned window (Photo 10). After performing interior investigative demolition, the current owner (architect David Lake) believes this space may have been constructed in 1982 (Figure 1).<sup>2</sup> It is of different ceiling height than the main room, and has a squared beam as the caretaker’s enclosure.<sup>3</sup>

**West**

Like the public façade, the west elevation has only a few windows. These rectangular wood units are set deep in the wall, delivering light to the home’s entry and guest bedroom (Photo 11).

---

<sup>1</sup> David Lake, email communication to John W. Murphey, January 16, 2023. The author of the HCPI cannot determine from aerial photographs the portal’s existence and/or design in the 1960s. However, the current configuration and materials suggest a recent alteration.

<sup>2</sup> David Lake, email communication to John W. Murphey, January 11, 2023.

<sup>3</sup> Ibid.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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## Courtyard

The first pedestrian gate leads down to a pleasant brick-lined courtyard, working as the formal entry to the home. The south wall contains a set of double oval glass doors, mimicking a Territorial-era design (Photo 12 A shallow overhang, with Pueblo Revival framing, shelters the entry. To the east is an assembly of fixed and wood casements attached to the living room. The east wall, representing the primary bedroom, has a long mullioned window (Photo 13). A shallow, stuccoed overhang sits at the top of the opening. The courtyard's doors and windows have molded pedimented crowns similar to other fenestration around the house.

## Changes to Main House

The evolution of the house is unclear, and finite aerial coverage limits a visual understanding of its evolved footprint (Figure 1).

A 1936 flyover, greatly magnified, shows what appears to be a primarily undeveloped lot with potentially two small buildings (Figure 2). It is unclear where the house advertised in 1944 stood. A clearer picture begins to develop with a 1960 photograph (Figure 3). By this time, the current guest bedroom, the master bedroom, and north portal are evident. So too, are the pool, casita, and studio, which are not subject to this review.

By 1966, the carport is definitively visible (Figure 4). This image is important for establishing an earlier length of the north portal, which was later altered.<sup>4</sup> The 1966 image affirms this change.

Other changes have been identified by the current owner, which point to several additions and a reorganization of interior spaces. These cannot be confirmed through archival documentation, but forensic investigations and visual evidence indicate this accretive modification. The current owner identified these over a 1966 aerial (Figure 1).

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<sup>4</sup> Trey Jordan, Letter to City of Santa Fe Historic Preservation Division, October 11, 2011. Case H-11-127 file.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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Following a 2011 Board approval, additional fenestration was added and/or altered. These changes can be deciphered from the exterior by odd wall junctures, different parapet heights, dissimilar fenestration, and the relative age of wood members.

## Historical Overview

### Area Overview

The small parcel holding the house can be traced back to one of several large Spanish land grants bordering the original Santa Fe town grant. Believed to have been granted in 1731 to Manuel Trujillo, the Talaya Hill or La Talaya grant stretched along the south side of the Santa Fe River, from its border with the Santa Fe grant at the west, east into the foothills including its namesake, *Sierra Talaya* (Figures 5 & 6).

During the period of Spanish and Mexican land grant adjudication in the late 19th century, Jacob Gold, a Santa Fe merchant, and nearly 20 claimed descendants petitioned the U.S. government for title to the grant.<sup>5</sup> The supposed 1,003-acre boundary was resurveyed in 1898<sup>6</sup> and confirmed in 1900 by the Court of Private Land Claims at a much smaller size: 319 acres.<sup>7</sup> During this period, the privately owned Santa Fe Water and Light Company shaved off the top of Talaya Hill to create a reservoir. The remains of this reservoir sit under designer Tom Ford’s house.

Juliana (Julianita) Martinez de Lujan, and her husband, Apolonio Lujan,<sup>8</sup> were one of the Talaya Hill claimants, filling for land which included the subject property. Their claim to the land grant west of future Camino Cabra was rejected, but their title to the subject property was later affirmed (Figure 7). Apolonio, a farmer, died in 1924. Three years

<sup>5</sup> “The Land Court,” *Daily New Mexican*, March 2, 1893, 4.

<sup>6</sup> United States Department of Justice, *Annual Report of the Attorney General of the United States for the Year 1900* (Washington, D.C.: Government Printing Office, 1900), 62.

<sup>7</sup> “First Judicial Court,” *Albuquerque Daily Citizen*, January 21, 1902, 3.

<sup>8</sup> Thomas B. Catron Papers, UNM CSWR Catron Land Grant Cases, Talaya Hill Grant, Document 7, accessed December 30, 2022, <https://nmdc.unm.edu/digital/collection/catron/id/23025>. This is a digital copy of a document from the U.S. Court of Private Land Claims hearing.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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later, Juliana and her children deeded it to Jessie (Jesse) Sandoval, who in turn transferred it to David Sandoval, likely his son.<sup>9</sup>

### “View Property”

The first glimpse of the house under study arrived in 1944 with an advertisement promising a “VIEW PROPERTY” (Figure 8). Published in the *New Mexican*, the ad described a new or revamped one-bedroom view-oriented home. It included two fireplaces, a flagstone floored kitchen, and an interior “decorated by an artist.”<sup>10</sup> It is unclear from the wording whether it represented a new building or a renovated dwelling. A 1948 aerial provides little help in this matter, and the address doesn’t appear until the 1947 city directory (the 1945-46 editions are unavailable).

The view house was built when Camino Delora began to see growth. Before the 1940s, the street was lightly populated, with just a few homes near its base. By the mid-1950s, it had expanded with new houses, including that of artist and designer Alexander Girard, whose Camino Delora home would be featured in *Look* magazine in 1960.<sup>11</sup>

It is unclear who built and/or owned the subject home, but according to a city directory from 1947, one of its first tenants was Ann Breese.<sup>12</sup> Breese was the daughter of James L. Breese, the son of a Wall Street stockbroker. He arrived in Santa Fe by airplane and commenced to build a factory for his circular stove burners off Upper Canyon Road.<sup>13</sup>

Ann, who worked for the American Red Cross, appears to have turned the house over to her older sister, NC (this was her actual name). The older sister had married one of her father’s employees, engineer Kingsbury Pitcher. The couple lived in the view house for a few years, after which it was occupied by a short list of engineers, most likely associated

<sup>9</sup> Notes found on Walter G. Turley, “Amended Map Property of David Sandoval in Block 48 J, 1933 Official Map Ward Number One, Santa Fe, New Mexico,” Amended May 6, 1954.

<sup>10</sup> “House for Sale,” *Santa Fe New Mexican*, October 27, 1944, 7.

<sup>11</sup> “Alexander Girard and His Wonderful World of Light,” *Look* (August 2, 1960), 47.

<sup>12</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1947 (El Paso: Hudspeth Directory Company, 1947), 349. This is the first available city directory after 1944.

<sup>13</sup> John W. Murphey, “1469 Upper Canyon Road, James L. Breese, Jr. Residence,” New Mexico Cultural Properties Inventory Form (Original version, December 24, 2017), 6.

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with James Breese.<sup>14</sup> A 1954 plat amendment suggests the property was still under joint Breese ownership at the time.<sup>15</sup>

### The Book People

The next owners had been seasonal visitors to Santa Fe since the 1920s. Each was involved in the book business as an author, editor, publisher, or designer. The most noteworthy was the wife.

Born in Temecula, California, in 1897, Helen E. “Billy” Gentry grew up on a ranch and attended the University of California, Berkeley, graduating in 1922.<sup>16</sup> She later trained as a bookmaker at Grabhorn Press in San Francisco, one of the premier craft printing companies in the United States. Though she was skilled, the company would not allow her to do presswork, finding it unfitting for a woman.<sup>17</sup>

She went out on her own, establishing a press in 1929 and becoming “one of the first contemporary women printers to do all aspects of the work herself.”<sup>18</sup> In something of a manifesto, she explained the aims of her small press, attempting to balance the Arts and Crafts ideal while acknowledging the practicality of machinery: “Most of the work will be hand set and hand fed. But modern machine methods will be used when the nature and urgency of the work demands them. . . . Machines, certainly, should be used as tools, not as makeshifts.”<sup>19</sup> In this capacity, Gentry printed a small run of books on gardening, poetry, and the history of printing.<sup>20</sup>

She and her husband, New York-born writer Clarence David Greenwood, lived during this time in a large Dutch colonial in San Francisco’s Russian Hill neighborhood (Figure 9).

<sup>14</sup> Santa Fe City directory entries and newspaper articles.

<sup>15</sup> Turley, “Amended Map Property of David Sandoval.”

<sup>16</sup> Russell Freedman, *Holiday House, The First Fifty Years* (New York: Holiday House, 1985), 3

<sup>17</sup> University of California, Berkeley, Bancroft Library, “Finding Aid to the Helen Gentry and David Greenwood Papers, 1748-1988,” accessed December 31, 2022, <https://oac.cdlib.org/findaid/ark:/13030/hb0199p06k/>.

<sup>18</sup> Ibid.

<sup>19</sup> Quoted in Louise Farrow Barr, *Presses of Northern California and Their Books, 1900-1933* (Berkeley: The Book Arts Club, University of California, 1933), 3.

<sup>20</sup> Ibid.

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Born in Buffalo in 1895, David Greenwood (the name he used for writing) moved to California in 1912 to attend U.C. Berkeley. He and Helen married in 1923. The couple spent time in Santa Fe starting in the 1920s, when David visited Witter Bynner, a fellow poet. Greenwood had published poems in national magazines and is considered a member of the “Old Colony” of Santa Fe writers, which included Bynner, Oliver LaFarge, Peggy Pond Church, and others.<sup>21</sup> In the 1940s, he turned his attention to cartography, authoring several books on the topic, of which *Mapping* (1944) is still in print.

Helen’s brother, Bruce Gentry, was a book publisher who relocated to Santa Fe in 1935 to teach at the experimental Eidolon summer school and later work as a graphic designer for Walter Goodwin’s Rydal Press.<sup>22</sup> This seems to have increased the couple’s visitation to the mountain town.<sup>23</sup>

In 1935, at the height of the Great Depression, the couple relocated to New York City, where Helen worked as a book designer for Simon & Schuster and other publishers. The following year she co-founded Holiday House, a children’s book publisher. A history of the publisher affirms that its success was attributed to Gentry’s skill and “uncompromising attention to detail.”<sup>24</sup> Illustrated by Santa Fe artist Olive Rush, *A New Mexican Boy* (1940), is one of the many books Gentry designed for the publisher (Figure 10).

While working at Holiday House, Helen founded Gentry Press, becoming her own production publisher.<sup>25</sup> The combination designer-printer business was unusual for the time. On the payroll were husband David and brother Bruce.

During the war, Helen managed the production department of Simon & Schuster. In the 1940s, she redesigned *New Mexico Quarterly Review* magazine.<sup>26</sup> Her later work

<sup>21</sup> Philip Havey, “Poetry in New Mexico: A Southwest Renaissance?,” *Santa Fe New Mexican, Viva*, April 14, 1974, 4.

<sup>22</sup> “Gentry Memorial Service Monday,” *Santa Fe New Mexican*, May 15, 1980, 13.

<sup>23</sup> This is based on newspaper notices of their appearances in Santa Fe in the 1930s.

<sup>24</sup> Freedman, *Holiday House*, 9.

<sup>25</sup> “Gentry Production Services Offered to Book Publishers,” *Book & Binding Production* (Vol. 29, Iss. 3, March 1939), 53.

<sup>26</sup> “Editor’s Corner,” *New Mexico Quarterly Review*, (Vol. 19, Iss. 1, Spring 1949), 139.

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included creating the famed Laura Ingalls Wilder “Little House” series for Harpers & Brothers.<sup>27</sup> During this period, David worked as an editor for Holiday House, William Morrow, and other New York publishers.

The couple appears to have purchased the Camino Delora house in the late 1950s, with Greenhood shown as its owner in the 1957 city directory.<sup>28</sup> In the late 1950s, Greenhood penned several book reviews for J.B. Jackson’s *Landscape* magazine. They moved to Santa Fe permanently in 1963. In Santa Fe, Helen worked as a freelance book designer, and David worked as a writer. Helen did design work for books published by the University of New Mexico Press.

Clarence David Greenhood died in Santa Fe in 1983 at age 87. Helen E. Gentry died five years later. She was 90. Since then, other people have occupied the Camino Delora home as tenants. The property passed out of family ownership in 2010.<sup>29</sup>

## Evaluation of Historical Status

In 2011, under Case H-11-127, the Board affirmed that the main house was Noncontributing and approved an addition (not constructed) and various fenestration changes. The resulting fenestration alterations and a utility room have affected two of the home’s main elevations. The north portal, discussed above, has also been altered.

The house holds historical interest as the home of Helen Gentry and David Greenhood. However, as seasonal visitors, the couple only occupied the home full-time starting in the mid-1960s, in a period of semi-retirement. Other properties in San Francisco and New York better represent their most productive years. In addition, recent changes to the Santa Fe home have detracted from its appearance during their ownership.

<sup>27</sup> Bancroft Library, “Finding Aid to the Helen Gentry and David Greenhood Papers.”

<sup>28</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1957 (El Paso: Hudspeth Directory Company, 1957), 442. Another source indicates they moved to Santa Fe in 1954, potentially corresponding with the 1954 plat amendment.

<sup>29</sup> Jordan, Letter to City of Santa Fe Historic Preservation Division.

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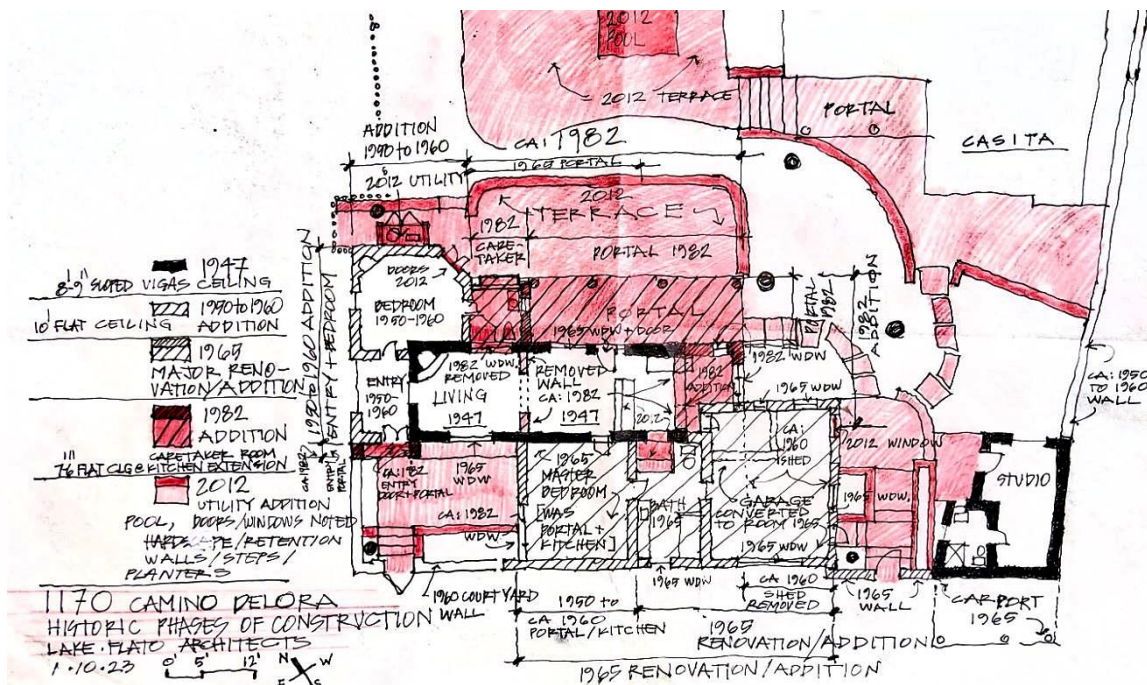
For these reasons, the recommendation is to maintain Noncontributing status for the main house.

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### Illustrations



**Figure 1: Interpretation of building evolution based on investigative demolition and visual and material evidence. Lake | Flato Architects, January 10, 2023.**

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**Figure 2: c.1936 aerial photograph showing general location of future residence.  
Source: Santa Fe County, #1009, Soil Conservation Service.**

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**Figure 3: September 25, 1960, aerial photograph.**

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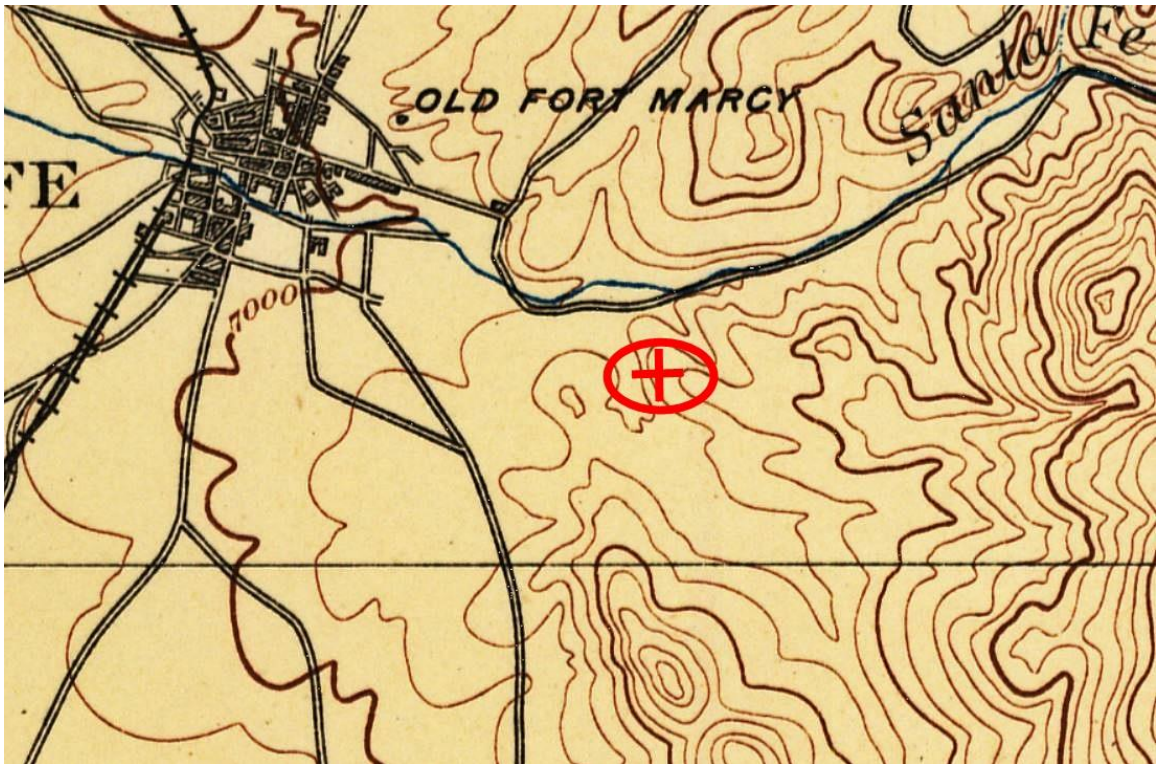


**Figure 4: May 2, 1966, aerial photograph, Image 17.**

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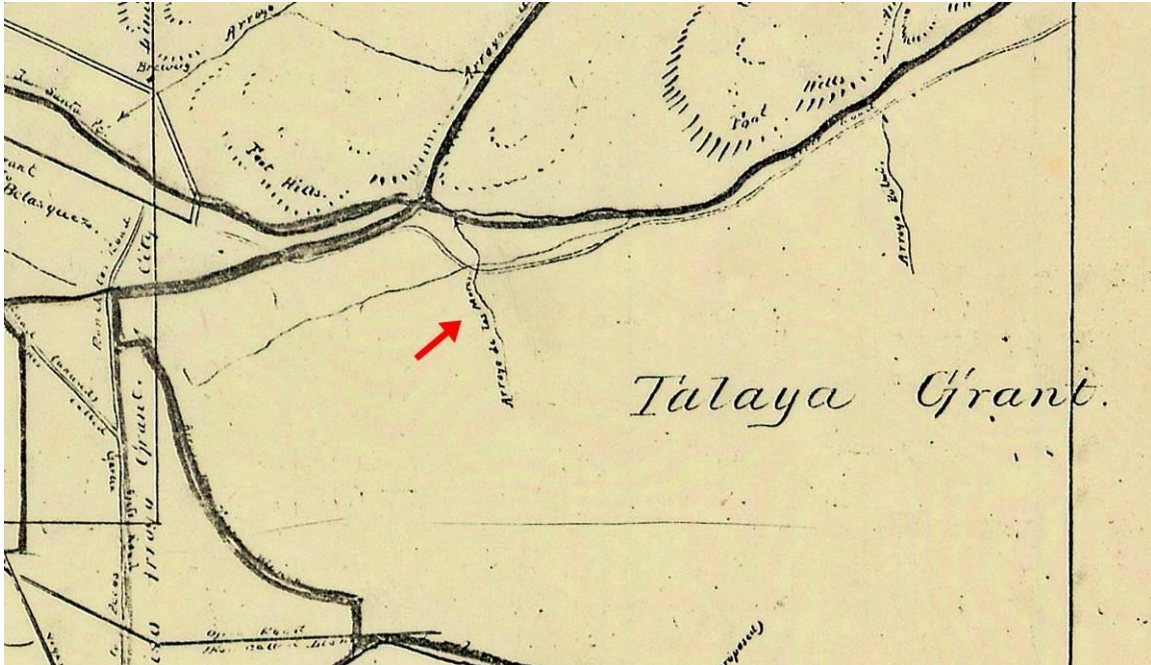


**Figure 5: 1889, U.S.G.S. quadrangle, "Santa Fe, N. Mex.," showing approximate location of future house.**

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**Figure 6: Portion of 1891, William White, “Sketch Map of Grants Within Santa Fe Grant,” showing the Talaya Grant and the general location of the future residence. The area west of the depicted arroyo (roughly today’s Camino Cabra) was rejected by the U.S. Private Court of Private Land Claims.**

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**Figure 7: Portion of 1897-98 William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits," showing land owned by Apolonio Lujan, which likely corresponds with the subject property.**

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Figure 8: Advertisement, “Santa Fe New Mexican, October 27, 1944, 7.

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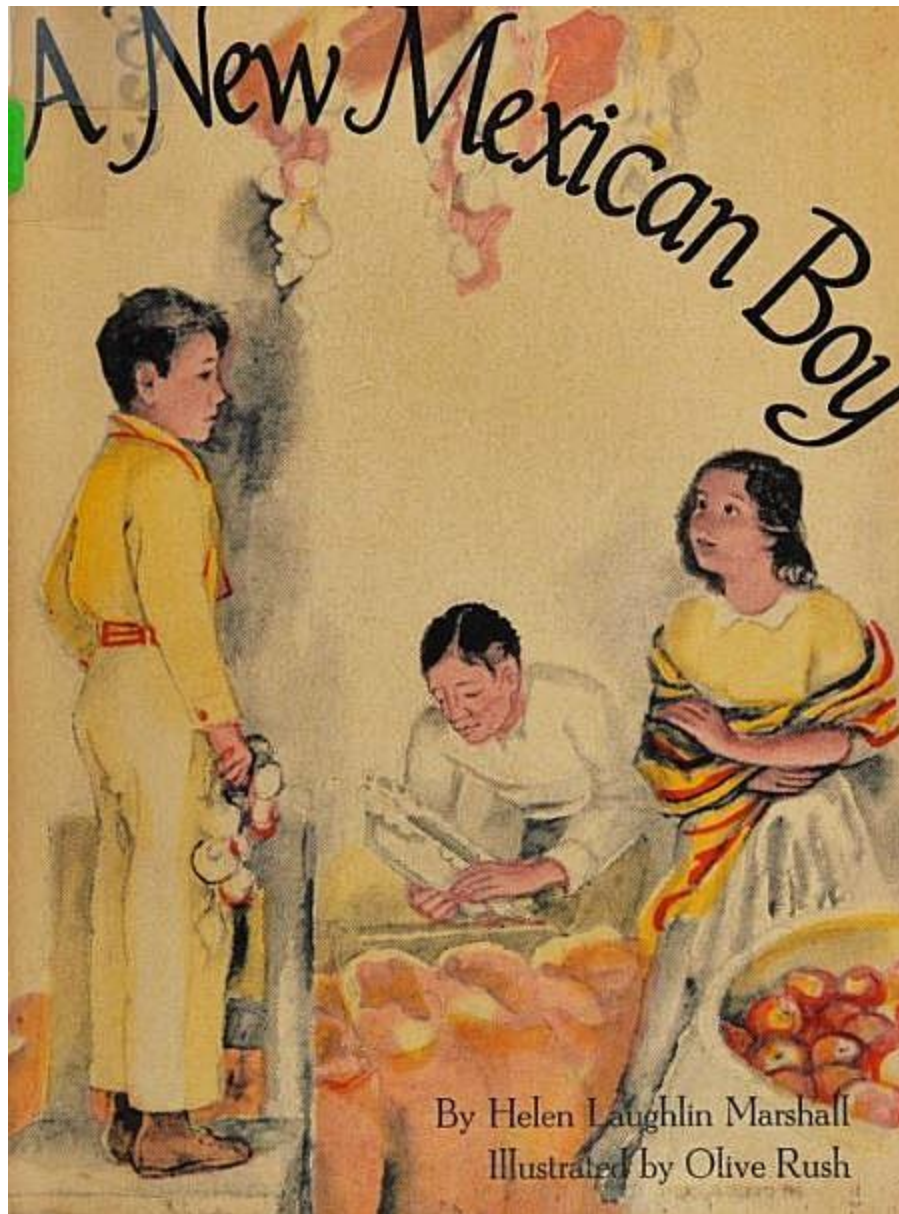


**Figure 9: 1138 Filbert Street, San Francisco. House occupied by Helen Gentry and David Greenhood before leaving for New York City in 1935.  
John W. Murphey, December 20, 2022.**

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**Figure 10: Cover of *A New Mexican Boy* (1940), a book designed by Helen Gentry and illustrated by Oliver Rush.**

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## Survey Photographs

(All images taken by Giulia Caporuscio, December 14, 2022, unless otherwise noted)



**Photo 2: South (front) façade along Camino Delora. Camera facing northwest.**

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**Photo 3: South (front) façade along Camino Delora, and carport.  
Camera facing northeast.**

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**Photo 4: North (rear) elevation. Camera facing northwest.**

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**Photo 5: Detail of portal. Camera facing west.**

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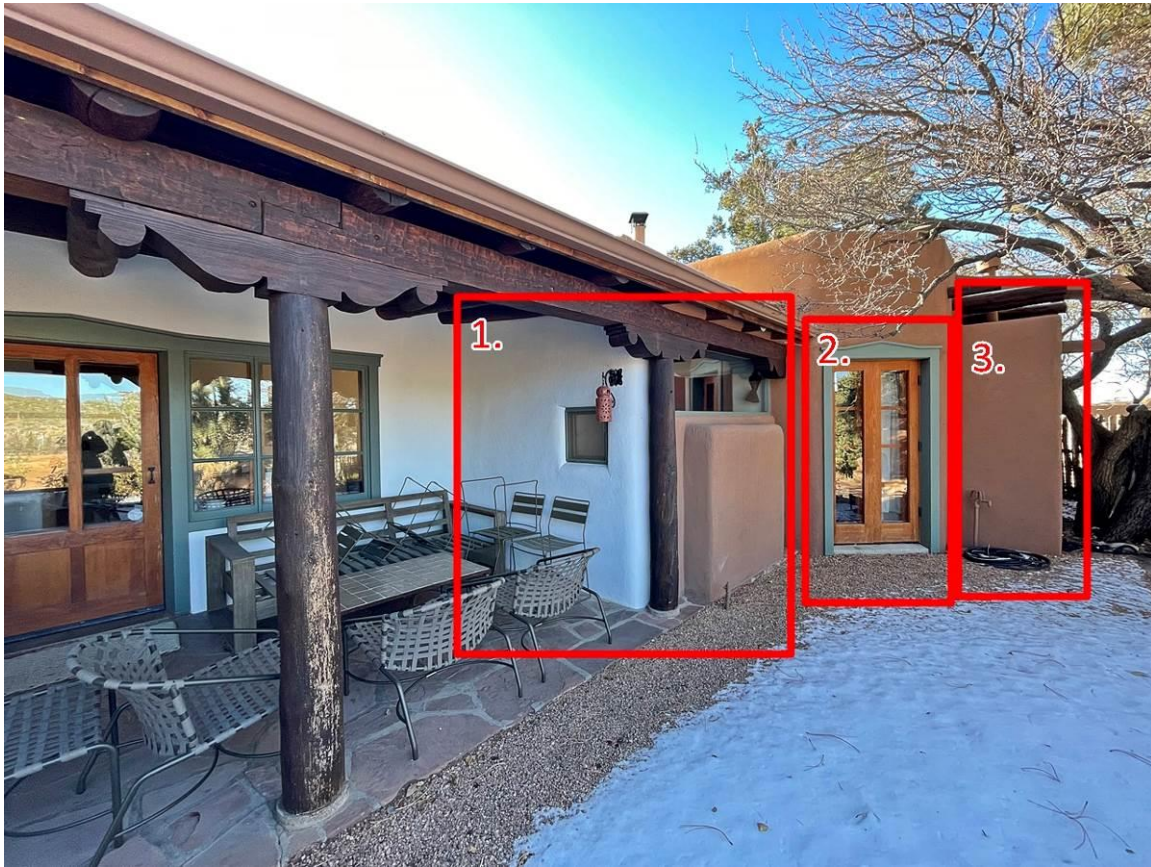


**Photo 6: Detail of portal. Camera facing south.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP _____ SRCP _____	Criteria A B C D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> December 14, 2022			



**Photo 7: Alterations to north elevation. Camera facing northwest.**  
**1. c.1982 enclosure to create caretaker's room; 2. 2012 change of window to door;**  
**3. 2012 utility room addition.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria A B C D	
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> December 14, 2022			



**Photo 8: West end of north elevation. Camera facing southeast.**  
**1. c.1982 enclosure to create caretaker's room; 2. 2012 change of window to door;**  
**3. 2012 utility room addition.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe
	<b>3. Local Reference #</b> Santa Fe ID #: H-787
	<b>4. County:</b> Santa Fe
	<b>5. Date of Survey:</b> December 14, 2022



**Photo 9: Partial east elevation. Camera facing west.**  
**1. Window introduced in 2012.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> December 14, 2022			



**Photo 10: East elevation at portal. Camera facing west.  
1. c.1982 addition.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe
	<b>3. Local Reference #</b> Santa Fe ID #: H-787
	<b>4. County:</b> Santa Fe
	<b>5. Date of Survey:</b> December 14, 2022



**Photo 11: West elevation. Camera facing east.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria A B C D	
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> December 14, 2022			



**Photo 12: East elevation of courtyard. Camera facing northeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria A B C D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> December 14, 2022			



**Photo 13: East and south elevations of courtyard. Camera facing northeast.**



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b> Date Submitted: <u>1-23-2023</u> Property Owner of Record: <u>DAVID LAKE</u> Applicant/Agent Name: <u>JEFFREY SERES</u> Contact Person Phone Number: <u>505 229-8577</u> Zoning District: <u>R-5</u> Overlay: <input type="checkbox"/> Escarpment <u>N/A</u> <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>HISTORIC - DOWNTOWN + EASTSIDE</u> Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations Supplemental Zoning Submittals Required for Building Permit: <u>15'-11"</u> <input type="checkbox"/> Zero Lot Line Affidavit Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ Terrain: <input type="checkbox"/> 30% slopes <u>N/A</u>	Site Address: <u>1170 CAM DELORA</u> Proposed Construction Description: <u>KITCHEN, LIVING, ENTRY REMODEL + ADDITION</u> TOTAL ROOF AREA: <u>3519 S.F.</u> Lot Coverage: <u>39.5%</u> <input type="checkbox"/> Open Space Required: <u>N/A</u> Setbacks: Proposed Front: <u>21'-9"</u> Minimum: <u>7'-0"</u> 2 <sup>nd</sup> Front? <u>L 1"</u> Proposed Rear: <u>42'-0"</u> Minimum: <u>15'-0"</u> Proposed Sides: L <u>26'</u> R <u>42'</u> Minimum: <u>5'-0"</u> Height: Proposed <u>11'-6"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District Parking Spaces: Proposed <u>2</u> Accessible <u>N/A</u> Minimum: <u>2</u> Bicycle Parking**: <u>N/A</u> Proposed: _____ Minimum: _____ ** Commercial Requirement
---	---

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JEFFREY SERES  
PRINT NAME

OWNER  APPLICANT  AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]  
 SIGNATURE

1-23-2023  
 DATE

<b>To Be Completed By City Staff:</b> <b>Additional Agency Review if Applicable:</b> <input type="checkbox"/> Escarpment Approval by _____ Date: <u>  /  /  </u> <input type="checkbox"/> Flood Plain Approval by _____ Date: <u>  /  /  </u> <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u>  /  /  </u> Notes: _____ <b>Zoning Approval:</b> <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____ REVIEWER: <u>Stephanie Perea</u> DATE: <u>2/2/23</u>	<u>2023-006348-PAR</u>
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

January 23, 2023

## Historic District Review Board Application

1170 Camino Delora  
Santa Fe, New Mexico 87505  
Owners: David & Ellen Lake

To the Historic District Review Board Members,

I am both the owner and the architect for 1170 Camino Delora. I very much appreciate the Historic Review Board and your process and hard work to keep Santa Fe authentic. My wife and I would like to add a living/kitchen "portal" and a rear-entry addition to our home. The compound consists of three adobe structures: the main house (1,760 sqft.), the casita (approximately 1,094 sqft.) and the studio ((256 sqft.). This application is only for additions and alterations to the main house. The main house currently is registered as non-contributing. We would like to add to the main house a 418-sqft. kitchen/living room addition. The existing house has a low portal which we wish to remove in order to add a 19'x22' kitchen/living room which utilizes the existing terrace.

The 7'-6" clear portal and the 8'-6" ceilings in the existing home make the existing kitchen/living dark and hard to transform due to the adobe construction.

There is a need to add a rear entry to the north east corner of the home to connect the third bedroom and avoid the currently non-ADA-accessible steps and hallway through the utility room, this is approximately a 75' square-foot addition.

The living /kitchen room addition is 11'-6" at the mid-point of the façade facing the street, Camino Delora. The Historic Building Height Calculation height allowed is 15'-11". The proposed living room roof is approximately 2 feet above the existing adobe parapet at Camino Delora. This application includes demolition of the existing rear portal where the living/kitchen addition is proposed.

The rear entry addition is below the existing 9'-6" adobe parapet and the plate height is 7'-9." The owner proposes to salvage the existing portal and reuse the columns and vigas, on this rear entry addition.

The living room/kitchen roof area is 630 sq ft. with a 4' overhang at the north (rear yard) and 2' at the east + west rakes. The design recalls the spirit of the portal with round columns forward of the glass doors, and the roof pitch at one in twelve to match the existing portal roof.

The goal is to have the living/kitchen open to the garden with operable sliding doors for a great outdoor living space, closing in the winter. The entry addition does re-use the vigas, beams and round columns of the portal to create a rear entry with fewer steps to the parking, providing direct access to the third bedroom.

The materials match the existing house stucco El Rey #125 La Luz, exterior wood beams and vigas Cabot semi-solid stain color, Cordovan Brown, and new sliding doors and windows to be aluminum by Dynamic Fenestration, paint color Obsidian. The existing trees will be protected. The additions are located so as to not be visibly intrusive with the side yard setbacks of 26-feet at west, 54-feet to living/kitchen from east property line,

40-foot east property line to rear entry addition, and a 48-foot rear yard setback from the proposed kitchen/living addition.

In working with the historical consultant John Murphey, I discovered that the original main house was built in 1947 and consisted of two rooms in a simple rectangle. The original home featured tapered vigas spanning twelve feet with a 9-foot sloped ceiling. There have been several major additions to the 1947 home as evidenced by aerials of 1960 and 1966. Between 1950 to 1960, a guestroom and entry was added to the west with tall parapets and 10' ceiling. During this period, to the south of the 1947 home, a low, flat-roofed addition with a kitchen, entry portal and a parking shed were added. In 1965, a major renovation and addition transformed the home. The south portal and kitchen became the master bedroom, the courtyard between the shed and the kitchen became the master bathroom and the car shed was converted to a low-ceilinged living area (6'-6" ceiling at the low-plate height).

In 1982, it appears that the original portal was rebuilt to accommodate the new caretaker's room, extending the portal to the east 12 feet. At this time, the kitchen (east wall) of the 1947 home was extended east approximately 8-feet to correspond to the portal extension. The existing portal features non-tapered, round 8"-inch vigas resting upon an 8"x8"-inch square wood beam at the extended kitchen and at the extended entry portal. The east kitchen extension is a flat 1"x4" wood ceiling inches lower than the original 1947 ceiling. The original flagstone floor stops at the kitchen and is brick. During this period, a wall in the 1947 home was removed and the side-by-side vigas above the wall between the rooms were "boxed in" with 1"x10" wood boards. The square wooden beams and non-tapered round vigas are found only in these additions.

In 1982 or after, the kitchen and master bedroom windows were removed and new "gridded" 2"x8" inch structural mullion windows added with operable lights and fixed lights. After HDRB approval in 2011, construction in 2012 included the caretaker addition being converted to a bathroom, a utility room was added, and a casement window added at the east elevation.

In 2011 the previous owner also received approval from the HDRB to construct a Dining Room addition on the north east corner of the non-contributing main house. This addition was not constructed.

The garden and hardscape was designed and installed by Donna Bone, featuring low-stone retention walls, triangular rose garden, terraces, and a pool. The lot coverage is increased from approximately 32% to approximately 33.5% with the proposed 493-sqft. addition.

Thank you for your consideration.

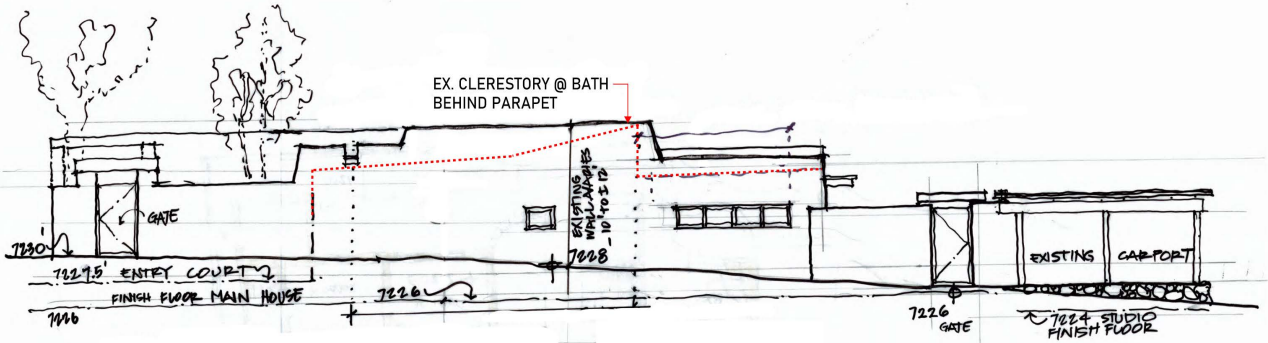
Sincerely,



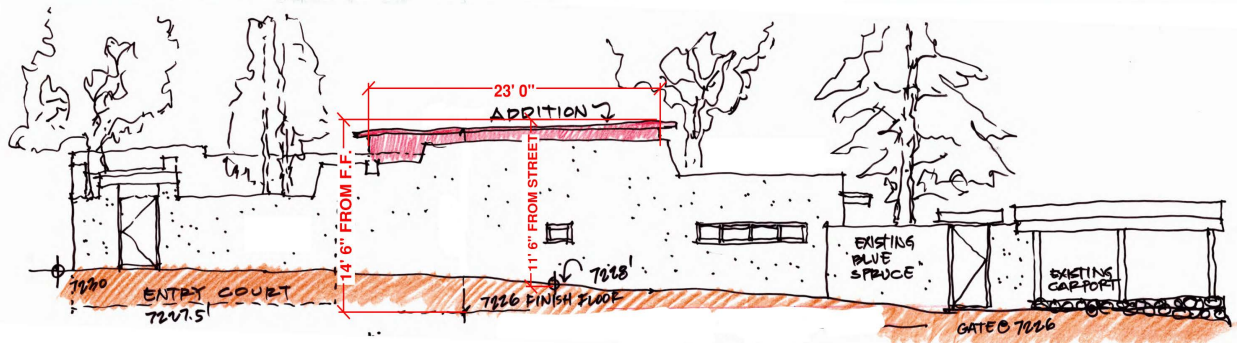
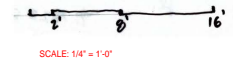
David Lake, FAIA



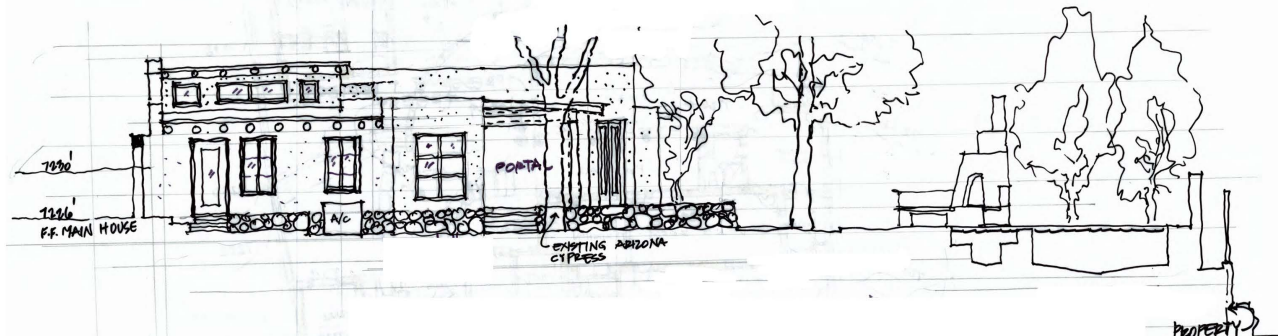




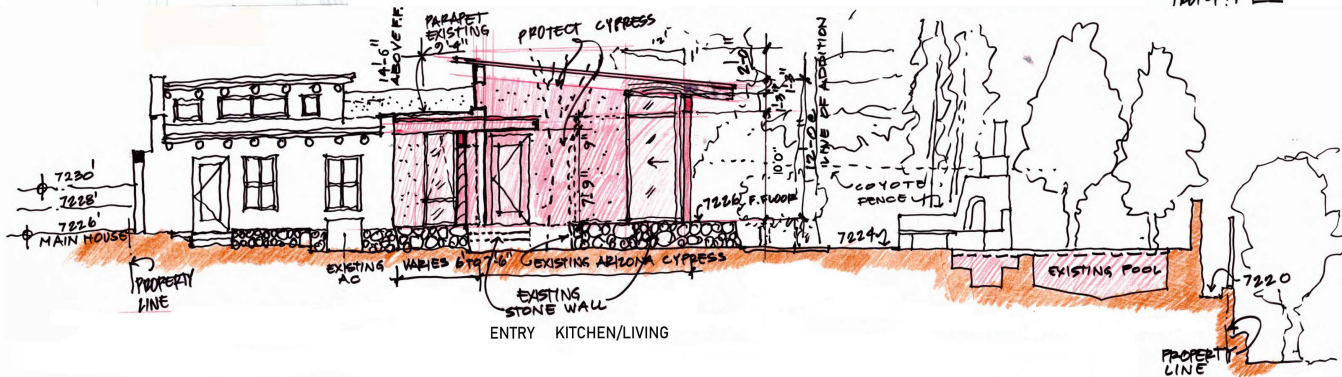
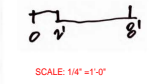
**SOUTH ELEVATION  
EXISTING**



**SOUTH ELEVATION  
PROPOSED**



**EAST ELEVATION  
EXISTING**



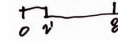
**EAST ELEVATION  
PROPOSED**

REVISIONS

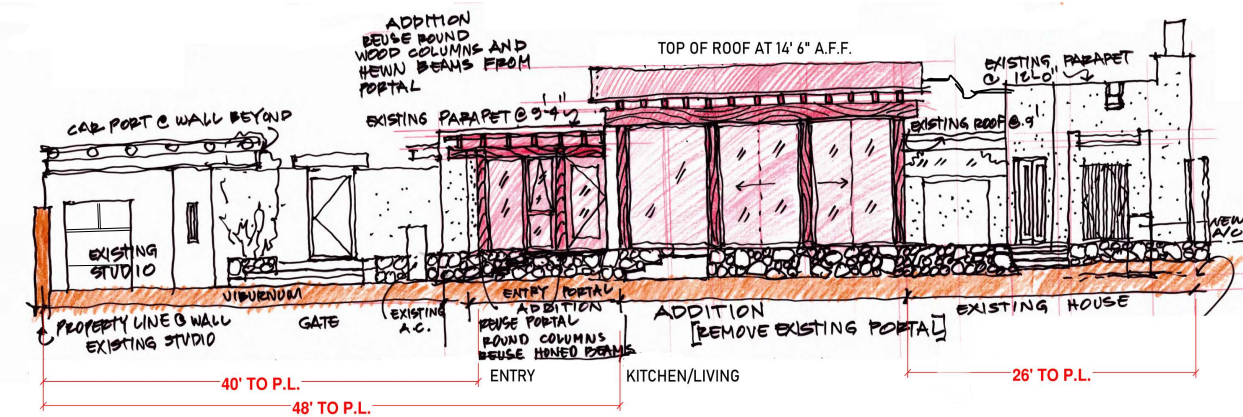
NO.	DATE	DESCRIPTION
01	17.23	



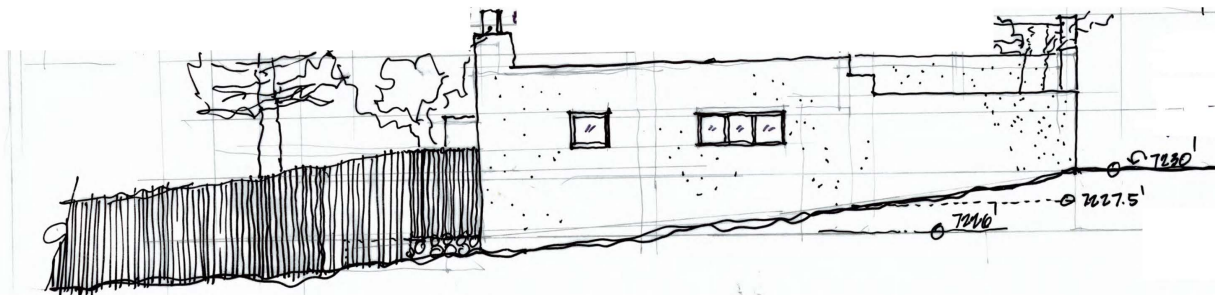
**NORTH ELEVATION  
EXISTING**



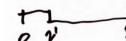
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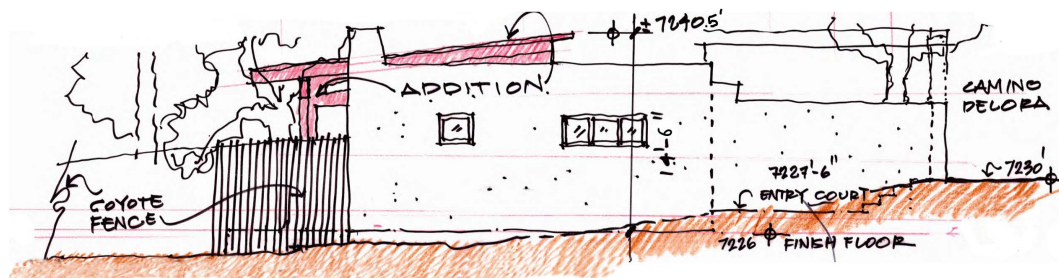
**NORTH ELEVATION  
PROPOSED**



**WEST ELEVATION  
EXISTING**



SCALE: 1/4" = 1'-0"



**WEST ELEVATION  
PROPOSED**





South Side – Front Elevation



West Side Elevation



North Side - Rear Elevation



North Side Elevation - ( Existing Patio Addition Area)

**1170 Cam Delora**

**Lake Residence**

**1-20-2023**



**East Side Elevation**



**North- East Side Elevation (Area of Additions)**



Street View – Looking West



Street View – Looking East

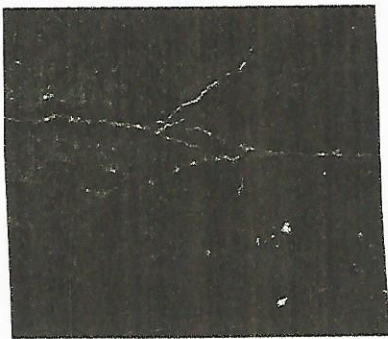
1170 CAM DEORA

1-23-2024

MATERIAL / COLOR SAMPLES



- STUCCO  
EL REY # 125 LA LUZ



Cordovan Brown

- WOOD BEAMS / VIGAS  
CABOT  
SEMI-SOLID STAIN  
CORDOVAN BROWN



- EXTERIOR  
WINDOWS & DOORS  
DYNAMIC FENESTRATION  
OBSIDIAN

# City of Santa Fe, New Mexico

# memo

**DATE:** March 14, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning & Land Use HLL

---

Case # 2023-006393-HDRB

Address: 303 E Alameda (East Building)  
Historic Status: Non-Contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## BACKGROUND & SUMMARY:

The East Building at the Inn of the Alameda located at 303 E Alameda is a three-story hotel building listed as non-contributing to the Downtown and Eastside Historic District. The subject building is located on the eastern edge of the Inn on the Alameda property and was built in the 1986 when the site was converted into a hotel. All buildings on the Inn of the Alameda property are currently listed as non-contributing with the exception of the building located at the southwest corner of the site, which is listed as contributing.

The applicant proposes the construction of an elevator shaft and overrun on the northwest corner of the building. The addition will also include a one-story cart storage room for hotel attendants as well as a portal. The total height will be 32'4" from natural grade, which includes a 3'6" mechanical overrun for the elevator shaft. The proposed finishes will be to match existing, with a Sto stucco 1465 San Antonio with a white finish underneath the proposed portal.

The mass of the elevator shaft will be broken up by windows and the one-story mass of the cart storage room. A new ramp to the building will occupy a portion of one of the existing parking spaces on the west side of the building.

**EXCEPTION CRITERIA AND RESPONSES:**

Exception to Section 14-5.2(C)(5)(c), Historic Districts Height, Pitch, and Massing: The applicant requests an exception to permit a 32'4" addition to an existing 28'4" building. The permitted height is 15'2".

(i) *Do not damage the character of the streetscape*

Applicant Response: The proposed elevator addition, if approved would not be visible from the public way. The only portion of the proposed that would be visible to the public would be the storage building which is well below the allowable height average of 14'-0", as the storage building would have a maximum of 11'-8" height from grade.

Staff Response: The elevator addition will be minimally visible from Alameda Street; there will be oblique views of the overrun and the mass. Due to its being set back from the street approximately 70 feet, the proposed addition will not impact the character of the Alameda streetscape.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The existing building without the elevator is not accessible to those with difficulty navigating stairs. The inn's clients are predominantly elderly, and many have expressed to the owner that they have difficulty going up stairs. Complaints and cancellations have been numerous over this issue. Furthermore, this is the only way to make the building without a liability issue to both the city and the owner. The city would essentially be allowing a nonconformity to exist to the public. The owner only wishes to make the building accessible, at significant cost, while maintaining the distinctly pueblo architecture of the site.

Staff Response: The term "Public Interest" is not defined in Chapter 14; however, the Governing Body has implemented the General Plan and ordinances in order to establish minimum standards for health, safety and welfare affecting land uses and development.

Staff has reviewed the proposed development plan application in accordance with Chapter 14. In this case the elevator will serve to provide more accessibility to the hotel guests.

*(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The terraced massing of the elevator and storage addition is beneficial to the overall design of the building. The proposed design utilizes buttressing walls, and batted parapets, with rounded corners which imitate the massing of a historic pueblo style chimney. The overall effect of the added massing is directly in keeping with pueblo architecture as encouraged in the district.

Staff Response: The applicant is limited when it comes to design options for an elevator and the shaft overrun. In order to mitigate the impact of the mass, the applicant has placed the addition at the rear of the building and will therefore has less impact on the building. Through design elements which includes the addition of windows and a single-story mass and portal at the base of the elevator addition the applicant has taken steps to mitigate impacts.

*(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape*

Applicant Response: The location of the proposed addition is behind the rest of the existing structure, when viewed from the street, making the taller portion of the existing completely hidden from the street and sidewalk. That being said, per our response to question (iii), we believe the added elevator improves the overall massing of the building. Furthermore because the existing building is 28'-0" the owner has no way to be in complacence with local, and state accessibility requirements without this requested height exception.

Staff Response: The building was constructed prior to the adoption with the Americans with Disabilities (ADA) Act which mandates public access for people of all abilities. The proposed elevator will bring the building into compliance with ADA standards. Additionally, the location of the proposed addition is sensitive to the Alameda streetscape due to its location approximately 70' to the north of the street.

*(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant*

Applicant Response: The applicant built this building meeting the code requirements at the time it was construction. The exception request would be the only way to bridge current code with the existing construction.

Staff Response: The special conditions and circumstances associated with this request are not the result of the actions of the applicant.

(vi) *Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)*

Applicant Response: The proposed location is by far the least visible to the public than any other plausible alternative, while creating massing that has historic precedent and is in keeping with historic standards.

Staff Response: As this addition will be comparable to and compatible with adjacent construction and character of the streetscape and complies with the Downtown & Eastside design standards, the proposed addition has the least negative impact.

**RELEVANT CODE CITATIONS:**

**14-5.2(A)(1) General Purpose**

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

**14-12 Noncontributing Structure:**

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

**14-5.2(E) Downtown and Eastside Design Standards**

**(1) Old Santa Fe Style**

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and

wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

## (2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;
- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old

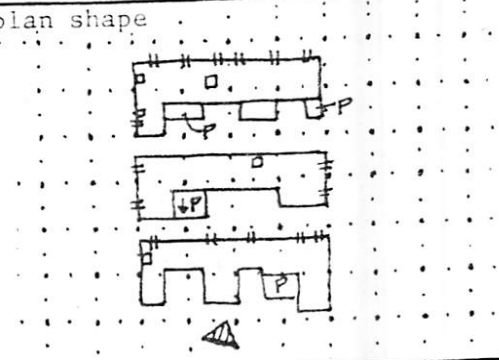
Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and  
(f) Flat roofs shall have not more than thirty (30) inches overhang.

The following Historic Building Inventory Forms are for reference purposes only. No Inventory form has been created for the subject building.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H237

building threatened? yes	surveyed date 3/85 by <u>SL</u>	county <u>SANTA FE</u>	ID no. <u>051612080</u>
field map <u>SFHD #2</u>	number <u>2080</u>	UTM reference easting northing zone 12 13	
location description <u>301 E. Alameda (5 Suites) - 3 bldgs</u> <u>(<sup>NE</sup> Corner of W. Alameda &amp; P. de Peratta)</u>		city/town <u>SANTA FE</u>	
building name <u>Casas del Rio (3 'Casas')</u>		legal description t <sup>ns</sup> p <u>  </u> N S range <u>  </u> E W sec <u>  </u> <u>  </u> <u>  </u>	
film roll by <u>SL</u> no. <u>31;37</u>	negative nos. <u>2;3+2</u>	loc. of neg. <u>HPB</u>	plan shape



date of construction  
Pre 1928 estimate          actual         

source  
directory

use  
residential           
other commercial (~5yrs)  
historic residential           
other apts. on Harvey Estate

condition  
         excellent          fair          good          deteriorating

SPR	conc
	wall material/surface <u>stucco</u> <u>pen tile/stucco</u>

degree of remodeling  
         minor          moderate          major

describe:

architectural features  
flat parapet concealing low shed rt draining via canals

surroundings  
commercial

relationship to surroundings  
         similar          not similar

Windows: 8 lit wd casemt in <sup>singles &</sup> triplets, <sup>4 dbl</sup> single, 4 lits; <sup>wd lug sill</sup> 6/8 dbh wd singles

doors: solid, solid w/ 9-12 lits -

district potential  
         yes          no

significance  
         eligible          of          none

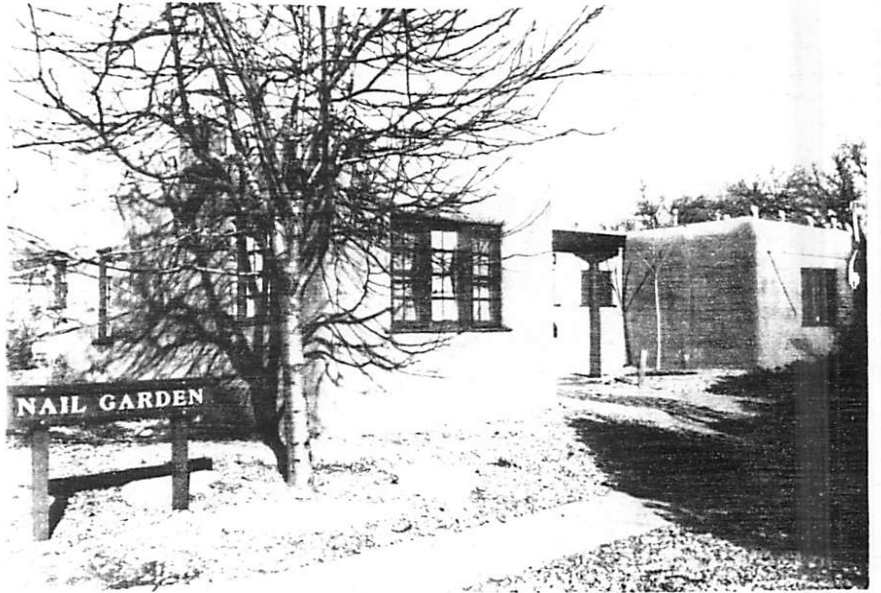
if eligible, interest why?  
         contrib.

comments

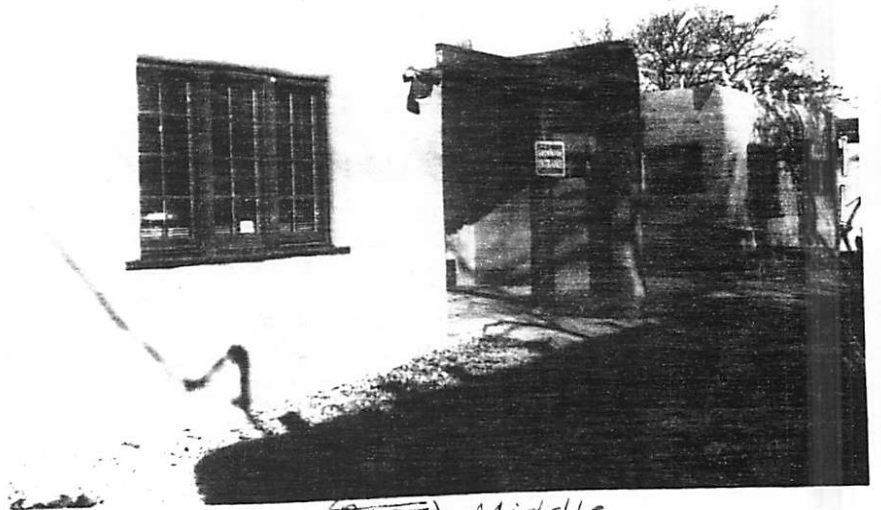
associated buildings?          yes          no  
what type?

if inventoried, list ID nos.

see back?          yes          no

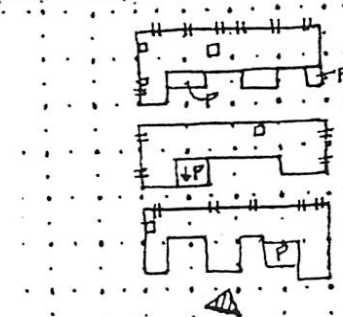
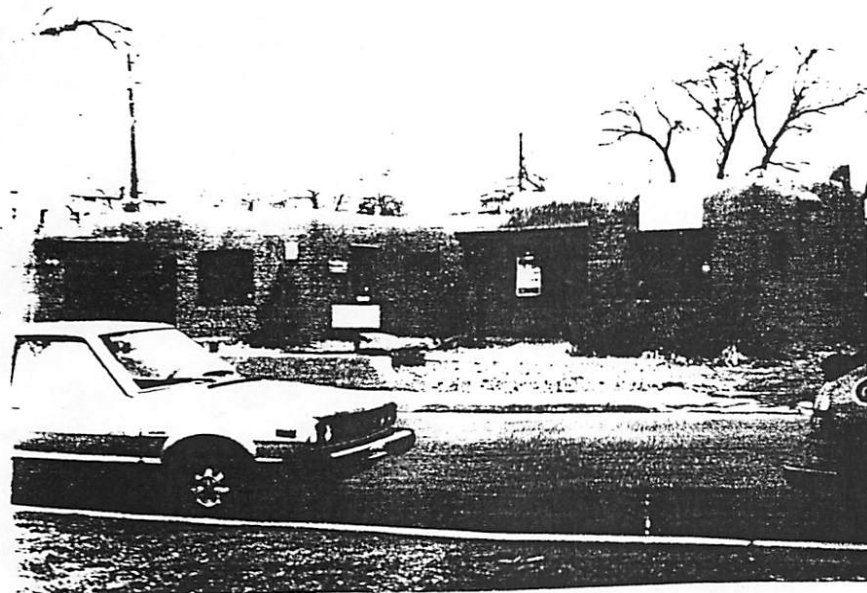


~~(Center)~~ Rear (N)



~~(Rear)~~ Middle

building threatened? yes	surveyed date 3/85 by SL	county SANTA FE	ID no. 051612080
field map SFHD # 2	number 2080	UTM reference easting zone 12 13	
location description 301 E. Alameda (5 Suites) - 3 bldgs NE (Cnr. of W. Alameda & P. de Peralta)		city/town SANTA FE	
building name Casas del Rio (3 Casas')		land grant/reservation na	
film roll by SL no. 31;37	negative nos. 2;3+2	legal description tnsp N S range E W sec	loc. of neg. HPB
		plan shape	



date of construction  
Pre 1928 estimate \_\_\_\_\_ actual \_\_\_\_\_

source  
directory

use  
residential  
other commercial (~5 yrs)

historic  
residential  
other apts. on Harvey Estate

condition  
 excellent  good  
 fair  deteriorating

SPR

wall material/surface  
concrete  
stucco  
pen tile/stucco

architectural features  
flat parapet concealing low shed of draining via  
canales

Windows: 8 lit wd casemt in triplets, single, 4 lts; 6/8 dbh wd singles  
doors: solid, solid w/ 9-12 lts -

comments

degree of remodeling  
 minor  moderate  major

describe:

surroundings  
commercial

relationship to surroundings  
 similar  not similar

district potential  
 yes  no

significance  
 eligible  of  none

if eligible, interest  
why? Contrib.

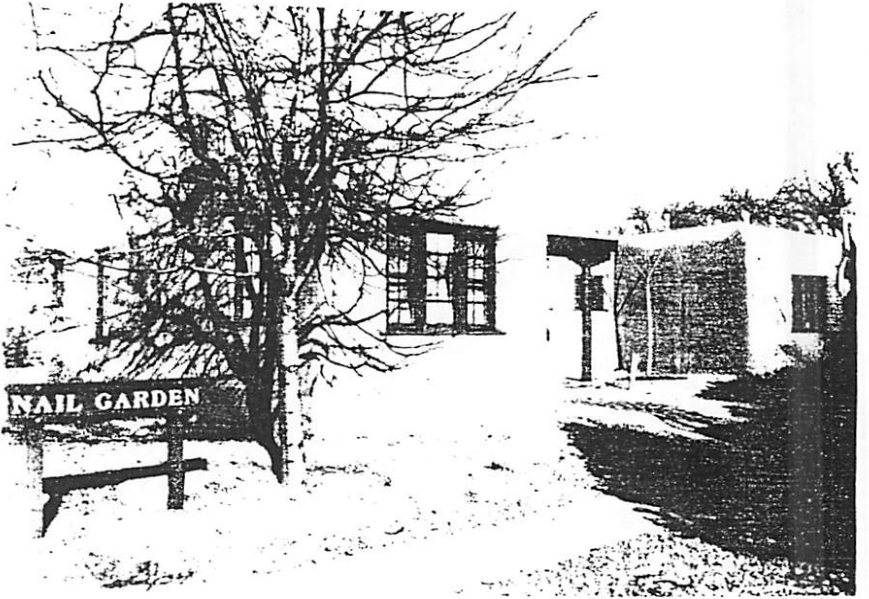
associated buildings?  yes  
what type?

if inventoried, list ID nos.

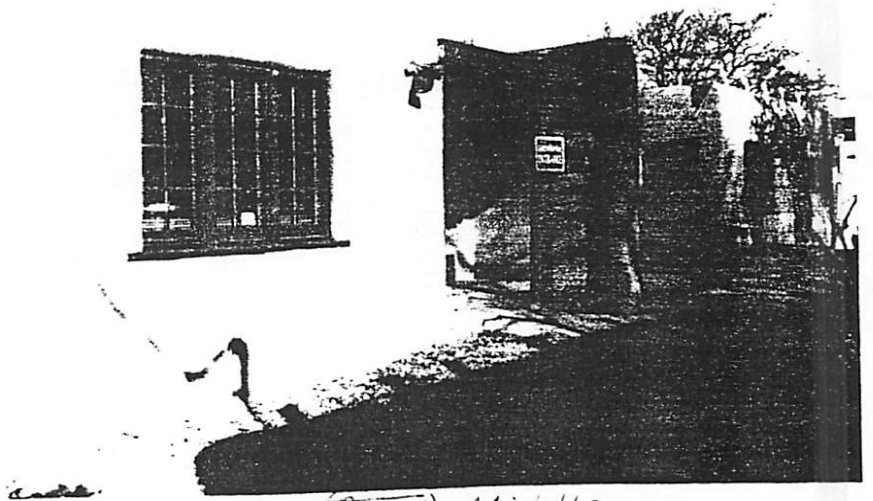
see back?  yes

H-84-94  
301 EAST ALAMEDA





~~(Center)~~ Rear (N)



~~(Rear)~~ Middle

H-89-396  
301 E. Alameda





H-89-389  
301 E. Alameda



TOWER BLDG.  
SOUTH ELEVATION



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		<b>Site Address:</b> 303 E ALAMEDA ST, SANTA FE, NM 87501
<b>Date Submitted:</b> 08-19-2022	<b>Property Owner of Record:</b> SCHEPPS / NEW MEXICO DEVELOPMENT CORPORATION	<b>Proposed Construction Description:</b> ADDITION - ELEVATOR AND ELEVATOR LOBBY, LAUNDRY CART STORAGE, ADA RAMP (NO ADDED OCCUPIED SPACE)
<b>Applicant/Agent Name:</b> KHEA LIM (LLOYD & ASSOC. ARCHITECTS STAFF)	<b>Contact Person Phone Number:</b> (505) 204 - 4935	<b>TOTAL ROOF AREA:</b> EXISTING TOTAL: 5346 SQ. FT, PROPOSED TOTAL: 5405 SQ. FT.
<b>Zoning District:</b> BUSINESS CAPITAL DISTRICT		<b>Lot Coverage :</b> 67 % ☑ Open Space Required: 0
<b>Overlay:</b> <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: HISTORIC OVERLAY - DOWNTOWN AND EASTSIDE		<b>Setbacks:</b> Proposed Front: n/a Minimum: 0 2 <sup>nd</sup> Front? n/a Proposed Rear: APPROX. 6'-6" Minimum: 0 Proposed Sides: L n/a R n/a Minimum: 0
<b>Submittals Reviewed with PZR:</b> <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		<b>Height:</b> Proposed 53'-7" Maximum Height: 56' or ☑ Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
<b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit		<b>Parking Spaces:</b> Proposed EX. Accessible EX. Minimum: EX.
<b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		<b>Bicycle Parking**:</b> Proposed: EX. Minimum: EX. ** Commercial Requirement
<b>Use of Structure:</b> <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: HOTEL		
<b>Terrain:</b> <input type="checkbox"/> 30% slopes		

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

KHEA LIM (LLOYD & ASSOC. ARCHITECTS STAFF)

[ OWNER  APPLICANT  AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

08-19-2022

SIGNATURE

DATE

<b>To Be Completed By City Staff:</b>	2022-005801-PAR
<b>Additional Agency Review if Applicable:</b>	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
<b>Zoning Approval:</b> <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
<b>REVIEWER:</b> <u>Lani J McCulley</u>	<b>DATE:</b> 08/26/2022

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

February 13th, 2023

Angela S. Bordegaray,  
Senior Planner, Historic Preservation Division  
City of Santa Fe  
200 Lincoln Ave  
Santa Fe, NM 87501

Re: Inn on the Alameda, Elevator Addition

Dear Angela,

Per the Historic Divisions instructions, we have revised our previous submittal for an addition to comprise the needed elements to add an elevator to one of the existing buildings that are part of the Inn on the Alameda site.

Project Synopsis:

The owner's of the Inn on the Alameda are pursuing providing an elevator to their only 3 story building at the Inn, located at 303 East Alameda Street. This requires the removal of an existing storage room at the north end of the 3 story building and adds the elevator shaft as well as an elevator lobby and a one story cart storage used by the hotel room attendants. Below are the relevant details of the proposed work.

Project History:

McHugh Lloyd and Associates designed the building in late 1985 and construction was completed in 1986 and did not have an elevator; the owners now would like to make the building more accessible and add an elevator with a small elevator lobby to meet required code clearances.

The building is located in the Downtown and East side Historic district and is designated as not contributing to the historic district. The Inn has numerous structures on the site, those directly to the east of the building we propose work on are also listed as not contributing. The building directly to the west of the project has never undergone a historic survey however it was similarly constructed in the 1980's.



Image above is taken from City of Santa Fe GIS map of project site showing relevant building designations:

Height:

The total height of the elevator shaft and elevator over run is 32'-4" from natural grade, this includes 3'-6" for a mechanical overrun for the elevator shaft. The new elevator lobby would match the existing height of the buildings third floor parapet, 28'-4" from natural grade. The proposed storage building would have a height of 14'-0" from parapet to existing paving.

Stucco:

The proposed addition and new storage building would all have a stucco finish. The stucco color will match that of the existing building which we believe to be Sto color 1465 San Antonio, in a medium sand finish. The Stucco underneath the portal is proposed to be Sto 20001 82 ITS White or El Rey Colonial White 100.

Windows and Doors:

We propose the windows in this addition will be wood windows to match the existing building. The windows would be simulated divided lites double casements. The proposed new doors and windows shall be wood finished with Minwax Simple Pine NW 1102. The proposed new openings will have exposed wood lintels which shall be of sanded Douglas Fir lumber and shall be stained with Minwax Pecan MW 1006.

Paving and Landscaping:

There is presently 3 concrete steps on the west side which we propose replacing with an ADA compliant ramp that will allow access to the elevator. The new ramp shall be poured concrete which would be integrally colored in Davis Color 6058 Mocha. We also propose installing (2) two new 3'-0" high steel pipe bollards painted in a dark bronze color to protect the ramp from the adjacent parking lot. The ramp would be required to have a handrail on both sides by the New Mexico Building Code. We propose providing a 1-1/2" diameter handrail at a 3'-0" height, which would also be painted dark bronze.

Per Historic Divisions Staff's instructions we have amended this application to address the added height to the structure which would exceed the maximum allowable height obtained through height averaging as required by the city's code. Below we address the six questions exception criteria required for an exception request for maximum height.

Historic Districts Height, Pitch, Scale, Massing, and Floor Step-backs Exception Criteria Found in Section 14-5.2(C)(5)(c):

*Question (i) Do not damage the character of the streetscape.*

Response:

The proposed elevator addition, if approved would not be visible from the public way. The only portion of the proposed that would be visible to the public would be the storage building which is well below the allowable height average of 14'-0", as the storage building would have a maximum of 11'-8" height from grade.

*Question (ii) Prevent a hardship to the applicant or an injury to the public welfare.*

Response:

The existing building without the elevator is not accessible to those with difficulty navigating stairs. The inn's clients are predominantly elderly, and many have expressed to the owner that they have difficulty going up stairs. Complaints and cancellations have been numerous over this issue. Furthermore this is the only way to make the building without a liability issue to both the city and the owner. The city would essentially be allowing a non-conformity to exist to the public. The owner only wishes to make the building accessible, at significant cost, while maintaining the distinctly pueblo architecture of the site.

*Question (iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts.*

Response:

The terraced massing of the elevator and storage addition is beneficial to the overall design of the building. The proposed design utilizes buttressing walls, and battened parapets, with rounded corners which imitate the massing of a historic pueblo style chimney. The overall affect of the added massing is directly in keeping with pueblo architecture as encouraged in the district.

*Question (iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape.*

Response:

The location of the proposed addition is behind the rest of the existing structure, when viewed from the street, making the taller portion of the existing completely hidden from the street and sidewalk. That being said, per our response to question (iii), we believe the added elevator improves the overall massing of the building. Furthermore because the existing building is 28'-0" the owner has no way to be in complacence with local, and state accessibility requirements without this requested hight exception.

*Question (v) Are due to special conditions and circumstances which are not a result of the actions of the applicant.*

Response:

The applicant built this building meeting the code requirements at the time it was construction. The exception request would be the only way to bridge current code with the existing construction.

*Question (vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1)*

Response:

The proposed location is by far the least visible to the public than any other plausible alternative, while creating massing that has historic precedent and is in keeping with historic standards.

Please let us know if you have any questions or require additional information.

Our application consists of the following items:

- This letter
- Existing photographs
- Existing and Proposed Floor plan
- Existing and Proposed Roof plan
- Existing and proposed Exterior Elevations
- Proposed Exterior Material Palette

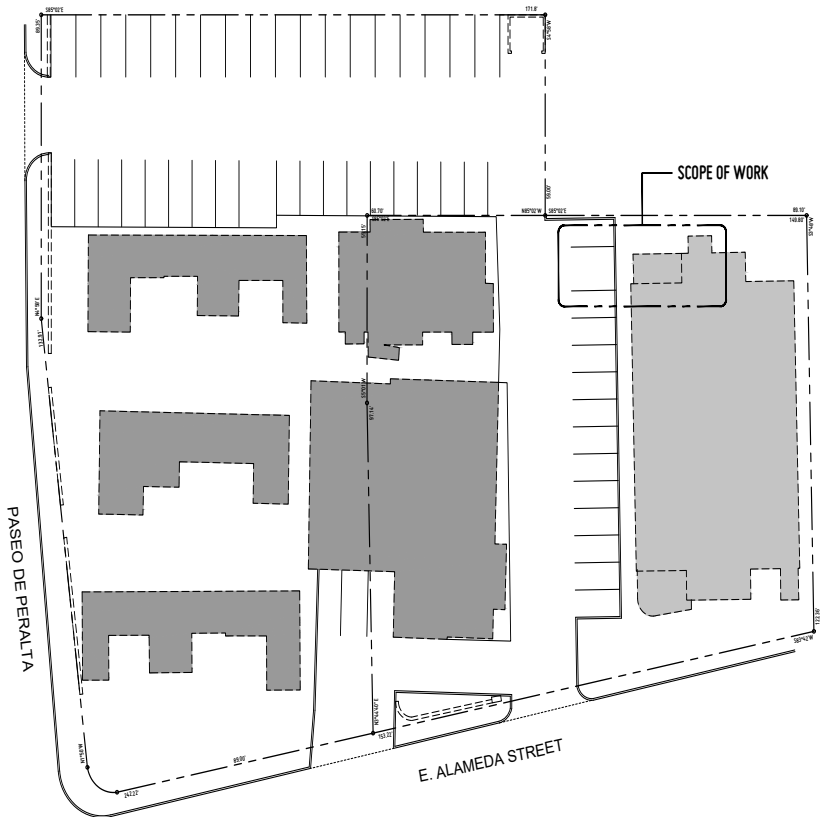
Please contact me if you have any questions or require additional information.

Best Regards,

Sheb Mirando, Project Manager Lloyd & Associates Staff 505-795-5167

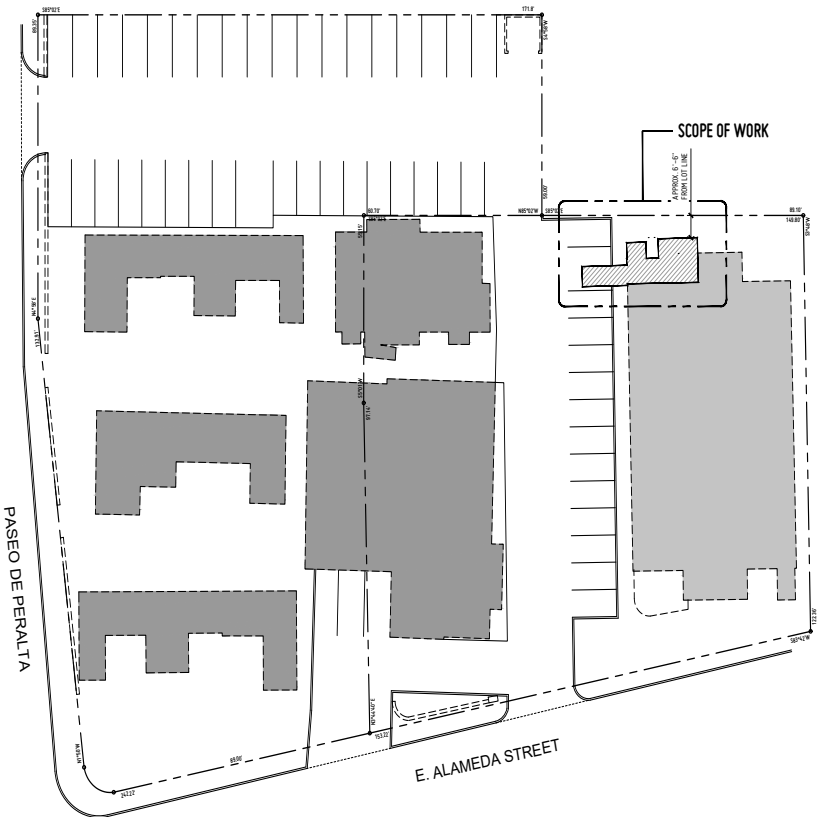
Wayne S. Lloyd, AIA President, NM License #1336, 505.470.3338

PLOT DATE: 0/26/2022  
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1 EXISTING SITE PLAN

1" = 20'



2 PROPOSED SITE PLAN

1" = 20'

**NOTES:**

A. PER SANTA FE CODE OF ORDINANCES, TABLE 14-7.4(A)-1 (TABLE OF DIMENSIONAL REQUIREMENTS OF TOWNSCAPE DISTRICTS), THERE ARE NO SETBACK REQUIREMENTS FOR BUILDINGS ALONG ALAMEDA STREET.

B. LOT COVERAGE RATIO PER TABLE 14-7.4(A)-1 (TABLE OF DIMENSIONAL REQUIREMENTS OF TOWNSCAPE DISTRICTS) IS 67%.

TOTAL LOT AREA = APPROX. 47,835 SQ. FT.  
 67% OF 47,835 SQ. FT. = 32,050 SQ. FT.  
 TOTAL EXISTING BUILDING AREA = 15,448 SQ. FT.

**Lloyd & Associates**  
**ARCHITECTS**  
 321 W. San Francisco St., Suite A,  
 Santa Fe, NM 87501  
 Telephone: 505-988-9789, Fax: 505-986-1165  
 Web address: lloyd-architects.com

**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

REVISIONS		
-	-	-
-	-	-
-	-	-
-	-	-

Drawn by: KL  
 Checked by: WL

Date: 08-18-22

Sheet Title:  
**EXISTING &  
 PROPOSED SITE  
 PLAN**

Job Number: 2021-26-A

Sheet No.

**AH001**

PLOT DATE: 8/26/2022  
 FILENAME: C:\Users\kvaas\_\OneDrive\Desktop\LA\_A\_WORK FILES\2021-26 Inn on the Alameda Gate & Restaurant\Plan\CD2021-26-A EAST BUILDING\CD\_ARCH\1 SHEET\2021-26-A\_AH101.dwg

**GENERAL NOTES:**

- A. REFER TO ENLARGED FLOOR PLANS ON SHEET AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO ELEVATIONS ON SHEET AH201 & AH202 FOR FURTHER DETAILS ON SCOPE OF WORK.

**Lloyd & Associates**  
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**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

REVISIONS		
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Drawn by: KL  
 Checked by: WL

Date: 08-18-22

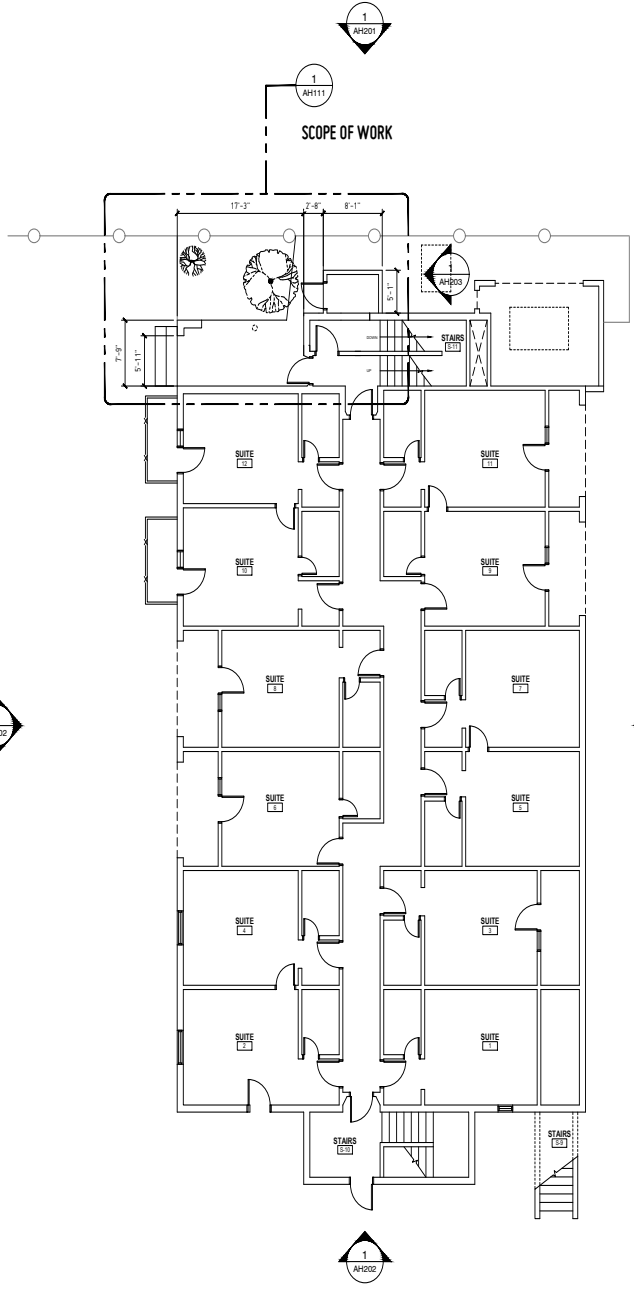
Sheet Title:

**EXISTING &  
 PROPOSED  
 OVERALL 1ST  
 FLOOR PLAN**

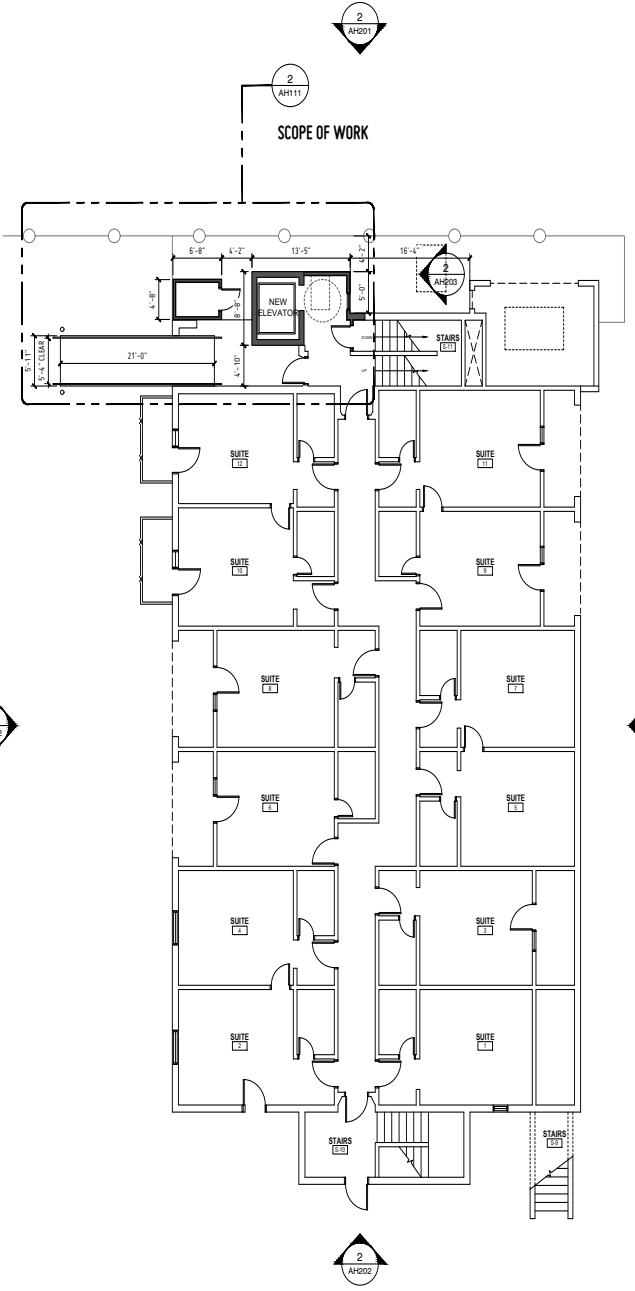
Job Number: 2021-26-A

Sheet No.

**AH101**



**1** EXISTING OVERALL FIRST FLOOR PLAN  
 1/8" = 1'-0"



**2** PROPOSED OVERALL FIRST FLOOR PLAN  
 1/8" = 1'-0"

PLOT DATE: 8/26/2022  
 FILENAME: C:\Users\kvaas\_\OneDrive\Desktop\LA\_A\_WORK FILES\2021-26 INN ON THE ALAMEDA EAST BUILDING\26-A EAST BUILDING\26-A\_ARCH\1 SHEET\2021-26A\_AH102.dwg

**GENERAL NOTES:**

- A. REFER TO ENLARGED FLOOR PLANS ON SHEET AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO ELEVATIONS ON SHEET AH201 & AH202 FOR FURTHER DETAILS ON SCOPE OF WORK.

**Lloyd & Associates**  
**ARCHITECTS**  
 321 W. San Francisco St., Suite A,  
 Telephone: 505-988-9789, Fax: 505-986-1165  
 Web address: lloyd-architects.com

**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

REVISIONS		
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Drawn by: KL  
 Checked by: WL

Date: 08-18-22

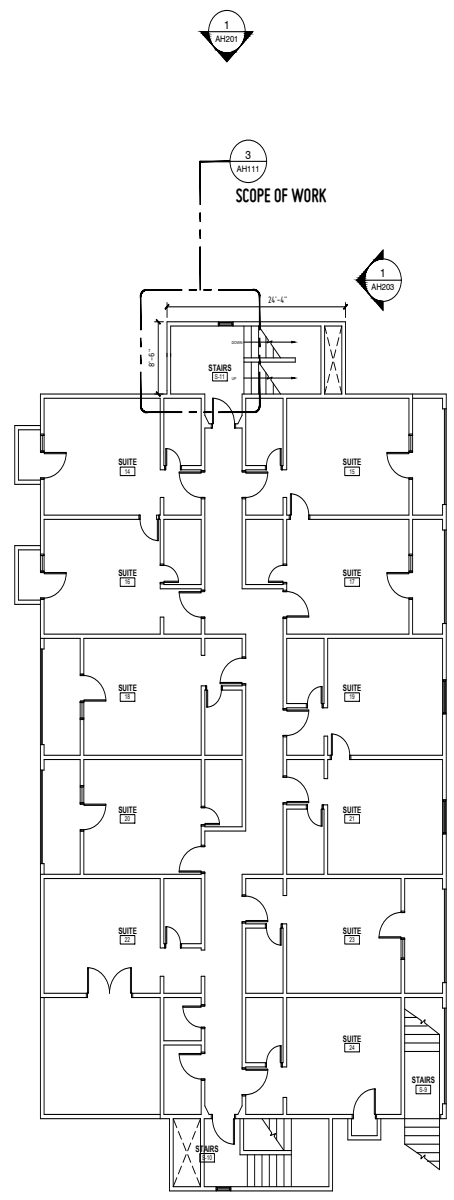
Sheet Title:

**EXISTING &  
 PROPOSED  
 OVERALL 2ND  
 FLOOR PLAN**

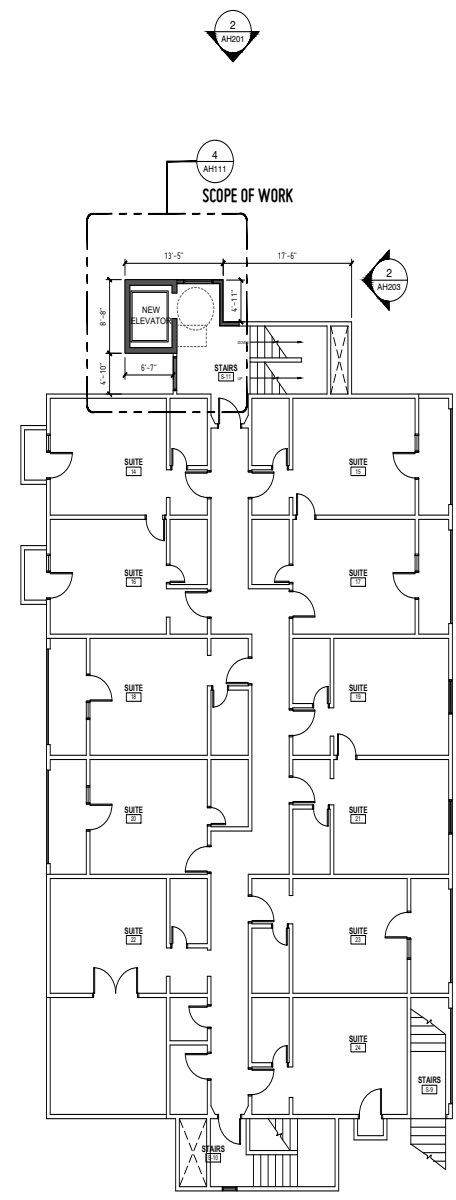
Job Number: 2021-26-A

Sheet No.

**AH102**



**1** EXISTING OVERALL SECOND FLOOR PLAN  
 1/8" = 1'-0"



**2** PROPOSED OVERALL SECOND FLOOR PLAN  
 1/8" = 1'-0"

PLOT DATE: 8/26/2022  
 FILENAME: C:\Users\kvaas\_\OneDrive\Desktop\LA\_A\_WORK\_Files\2021-26 Inn on the Alameda\Gates & Restaurant\Palco\CD2021-26-A EAST BUILDING\CD\_ARCH\1\_SHEET\2021-26A\_AH103.dwg

**GENERAL NOTES:**

- A. REFER TO ENLARGED FLOOR PLANS ON SHEET AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO ELEVATIONS ON SHEET AH201 & AH202 FOR FURTHER DETAILS ON SCOPE OF WORK.

**Lloyd & Associates**  
**ARCHITECTS**  
 321 W. San Francisco St., Suite A,  
 Telephone: 505-988-9789, Fax: 505-986-1165  
 Web address: lloyd-architects.com

**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

REVISIONS		
-	-	-
-	-	-
-	-	-
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Drawn by: **KL**  
 Checked by: **WL**

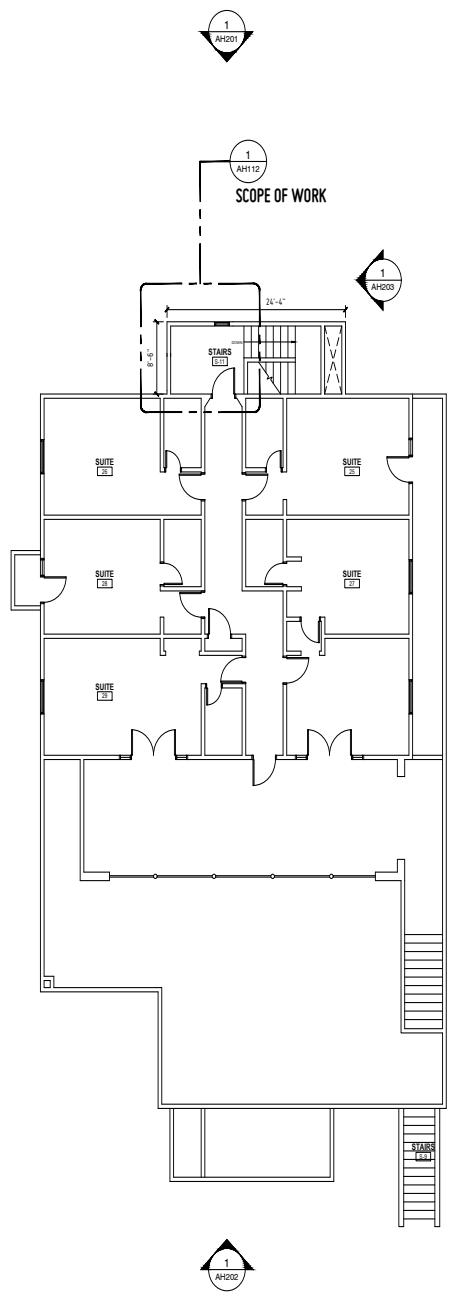
Date: **08-18-22**

Sheet Title:  
**EXISTING &  
 PROPOSED  
 OVERALL 3RD  
 FLOOR PLAN**

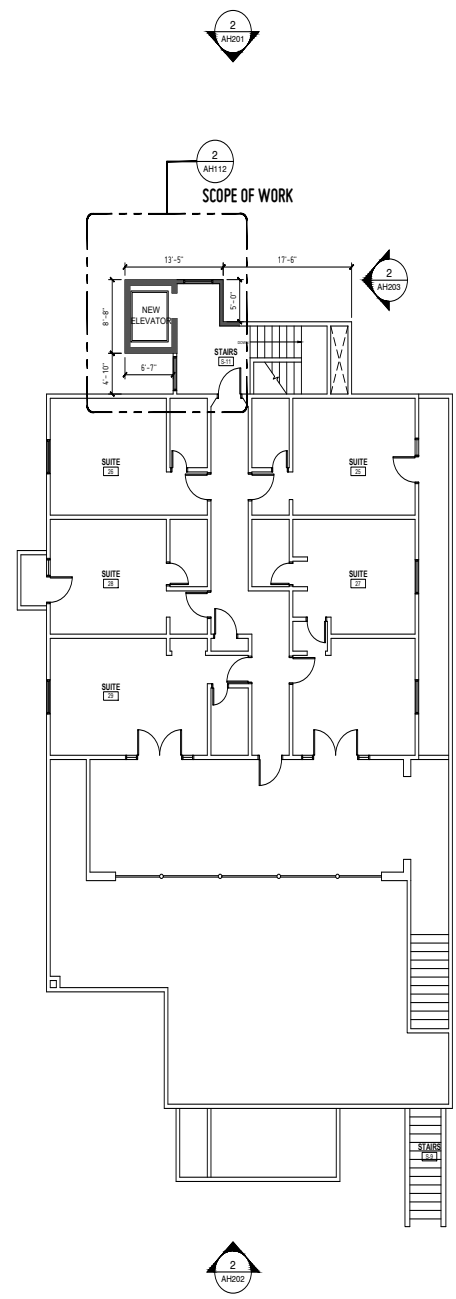
Job Number: **2021-26-A**

Sheet No.

**AH103**



**1** EXISTING OVERALL THIRD FLOOR PLAN  
 1/8" = 1'-0"



**2** PROPOSED OVERALL THIRD FLOOR PLAN  
 1/8" = 1'-0"



PLOT DATE: 0/26/2022  
 FILENAME: C:\Users\kvaas\_OneDrive\Desktop\LA\_A\_WORK FILES\2021-26 Inn on the Alameda Gate & Restaurant\Plan\CD2021-26-A EAST BUILDING\CD\_ARCH\ SHEET\2021-26A\_AH112.dwg

**GENERAL NOTES:**

- A. REFER TO OVERALL FLOOR PLANS ON SHEET AH101, AH102 & AH103 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO ELEVATIONS ON SHEET AH201 & AH202 FOR FURTHER DETAILS ON SCOPE OF WORK.

**FLOOR PLAN KEYNOTES:**

- 1 ELEVATOR CAB AND ASSOCIATED EQUIPMENT
- 2 ELEVATOR SHAFT
- 3 NEW WALLS
- 4 NEW WINDOW

**Lloyd & Associates**  
**ARCHITECTS**  
 321 W. San Francisco St., Suite A,  
 San Francisco, CA 94102  
 Telephone: 415-988-9789, Fax: 415-986-1165  
 Web address: lloyd-architects.com

**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

R E V I S I O N S		
-	-	-
-	-	-
-	-	-
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-	-	-

Drawn by: **KL**  
 Checked by: **WL**

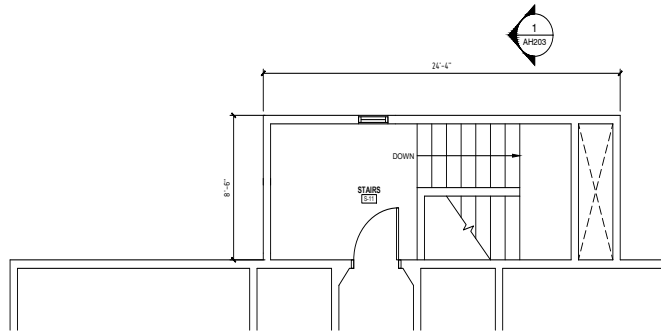
Date: **08-18-22**

Sheet Title:  
**EXISTING &  
 PROPOSED  
 ENLARGED  
 FLOOR PLANS**

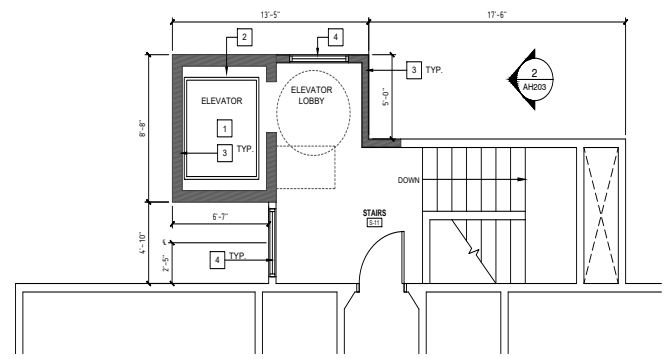
Job Number: **2021-26-A**

Sheet No.

**AH112**



**1** EXISTING SCOPE OF WORK (ENLARGED THIRD FLOOR PLAN) 1/4" = 1'-0"



**2** PROPOSED SCOPE OF WORK (ENLARGED THIRD FLOOR PLAN) 1/4" = 1'-0"

PLOT DATE: 8/26/2022  
 FILENAME: C:\Users\kvaas\_0\OneDrive\Desktop\LA\_A\_WORK\_FILES\2021-26-ALM-EXIST BUILDING\2021-26-ALM-EXIST.dwg

**GENERAL NOTES:**

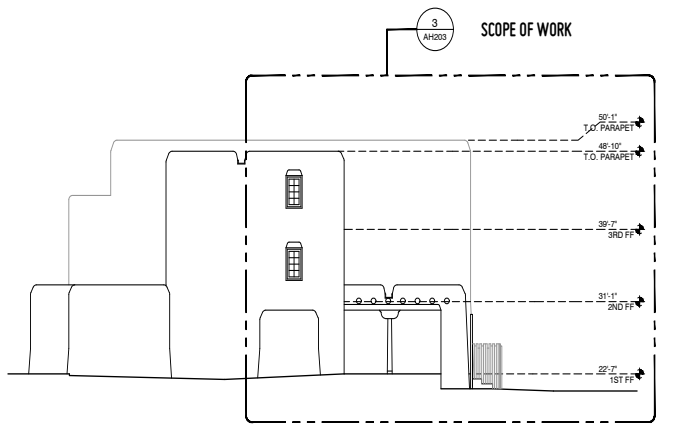
A. REFER TO FLOOR PLANS ON SHEETS AH101, AH102, AH103, AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.

**ELEVATION KEYNOTES:**

- 1 NEW STRUCTURE HOUSING ELEVATOR AND ASSOCIATED ELEVATOR LOBBY. EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 2 NEW STRUCTURE HOUSING LAUNDRY STORAGE CARTS. EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 3 NEW WINDOWS. WOOD LINTELS TO BE MINWAX PECAN MW1006. FRAMES TO BE MINWAX SIMPLE PINE MW1102
- 4 NEW ADA-COMPLIANT RAMP. HANDRAILS, AND BOLLARDS. RAMP FLOOR SHALL BE INTEGRALLY COLORED CONCRETE IN DAVIS COLORS MOCHA BISS. HANDRAILS & BOLLARDS SHALL BE PAINTED DARK BRONZE

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 Telephone: 505-988-9789, Fax: 505-986-1165  
 Web address: lloyd-architects.com

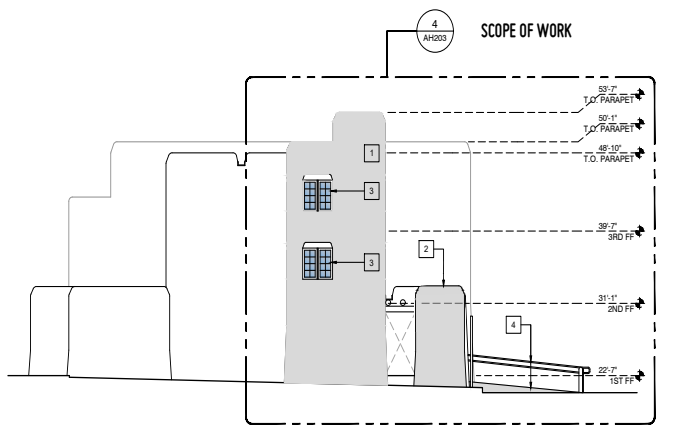
**INN ON THE ALAMEDA**  
**EAST BUILDING**  
**(TRADITIONAL WING)**  
**NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501



1 EXISTING NORTH ELEVATION 1/8" = 1'-0"



3 EXISTING EAST ELEVATION 1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION 1/8" = 1'-0"



4 PROPOSED EAST ELEVATION 1/8" = 1'-0"

Current Status:

APPROVAL SET

REVISIONS

NO.	DATE	DESCRIPTION

Drawn by: KL

Checked by: WL

Date: 08-18-22

Sheet Title:

EXISTING & PROPOSED ELEVATIONS

Job Number: 2021-26-A

Sheet No.

AH201

PLOT DATE: 8/26/2022  
 FILENAME: C:\Users\kvaas\Desktop\Drawings\LA\_A\WORK FILES\2021-26-ALAMEDA EAST BUILDING\02\_ARCH\1\SHEET\2021-26-A\_AH202.dwg

**GENERAL NOTES:**

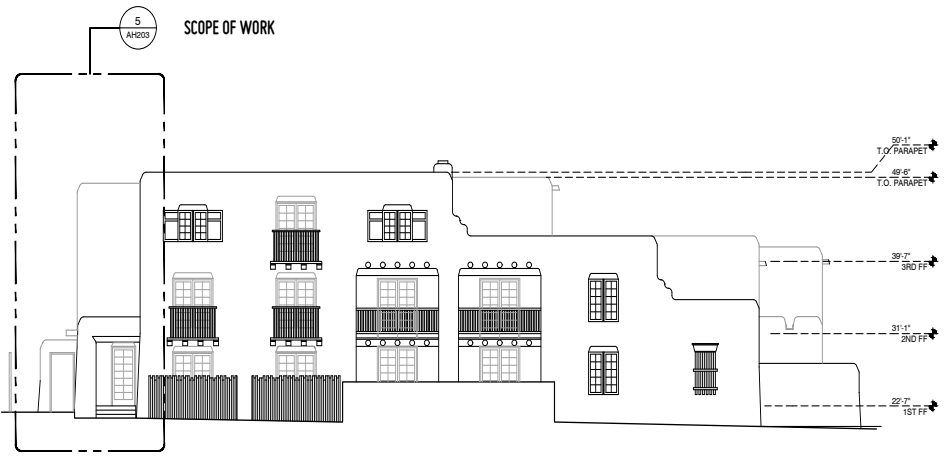
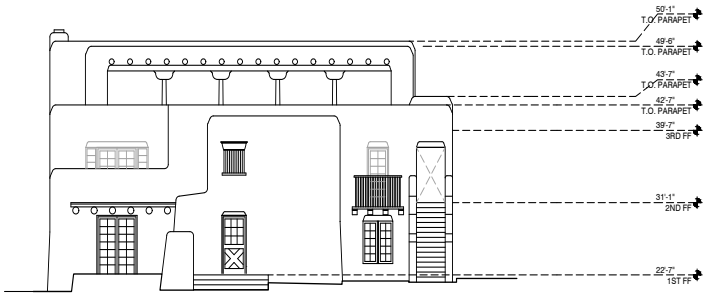
A. REFER TO FLOOR PLANS ON SHEETS AH101, AH102, AH103, AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.

**ELEVATION KEYNOTES:**

- 1 NEW STRUCTURE HOUSING ELEVATOR AND ASSOCIATED ELEVATOR LOBBY; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 2 NEW STRUCTURE HOUSING LAUNDRY STORAGE CARTS; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 3 NEW WINDOWS; WOOD LINTELS TO BE MINWAX PECAN MW1006, FRAMES TO BE MINWAX SIMPLE PINE MW1102
- 4 NEW ADA-COMPLIANT RAMP; HANDRAILS, AND BOLLARDS; RAMP FLOOR SHALL BE INTEGRALLY COLORED CONCRETE IN DAVIS COLORS MOCHA BISS, HANDRAILS & BOLLARDS SHALL BE PAINTED DARK BRONZE

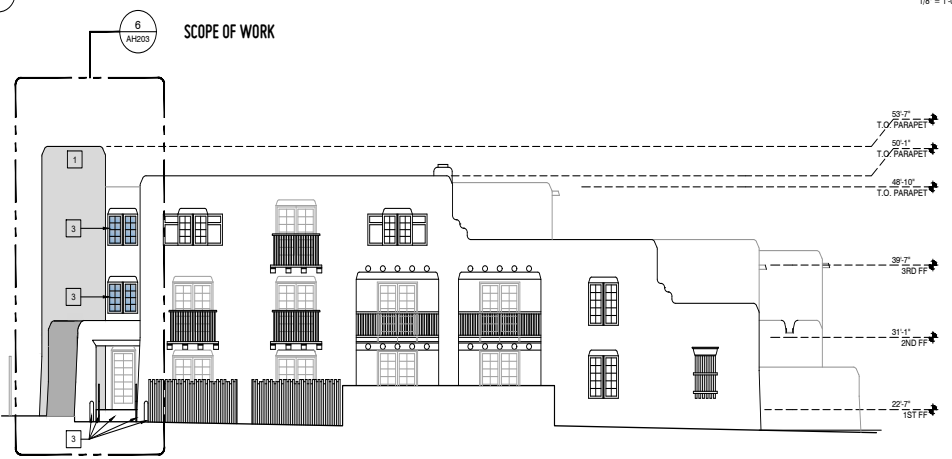
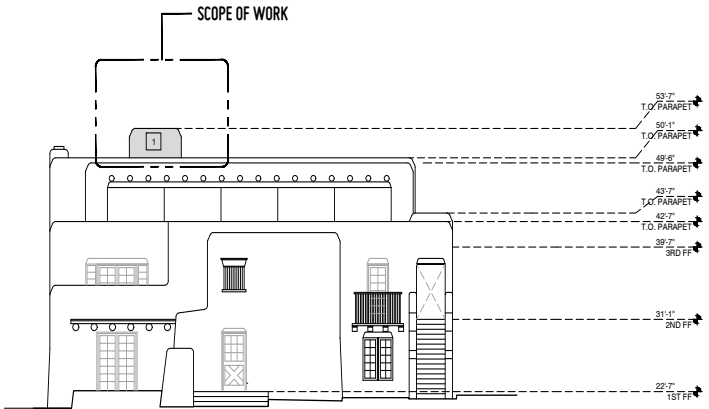
**Lloyd & Associates**  
**ARCHITECTS**  
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 San Francisco, CA 94102  
 Telephone: 415-988-9789, Fax: 415-986-1165  
 Web address: lloyd-architects.com

**INN ON THE ALAMEDA**  
**EAST BUILDING**  
**(TRADITIONAL WING)**  
**NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501



1 EXISTING SOUTH ELEVATION

3 EXISTING WEST ELEVATION



2 PROPOSED SOUTH ELEVATION

4 PROPOSED WEST ELEVATION

Current Status:

APPROVAL SET

REVISIONS

NO.	DATE	DESCRIPTION

Drawn by: KL

Checked by: WL

Date: 08-18-22

Sheet Title:

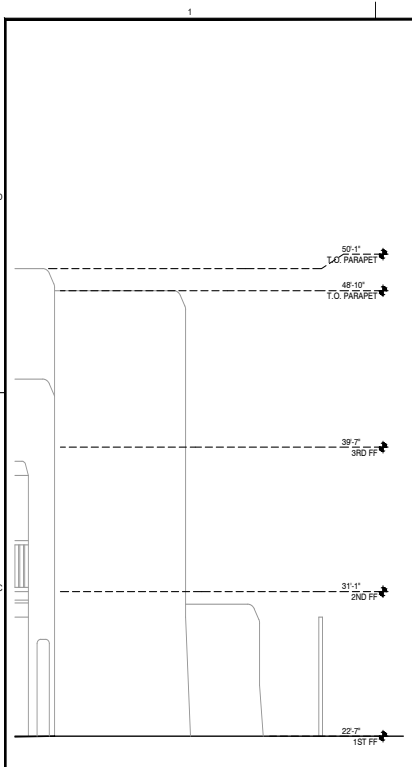
EXISTING & PROPOSED ELEVATIONS

Job Number: 2021-26-A

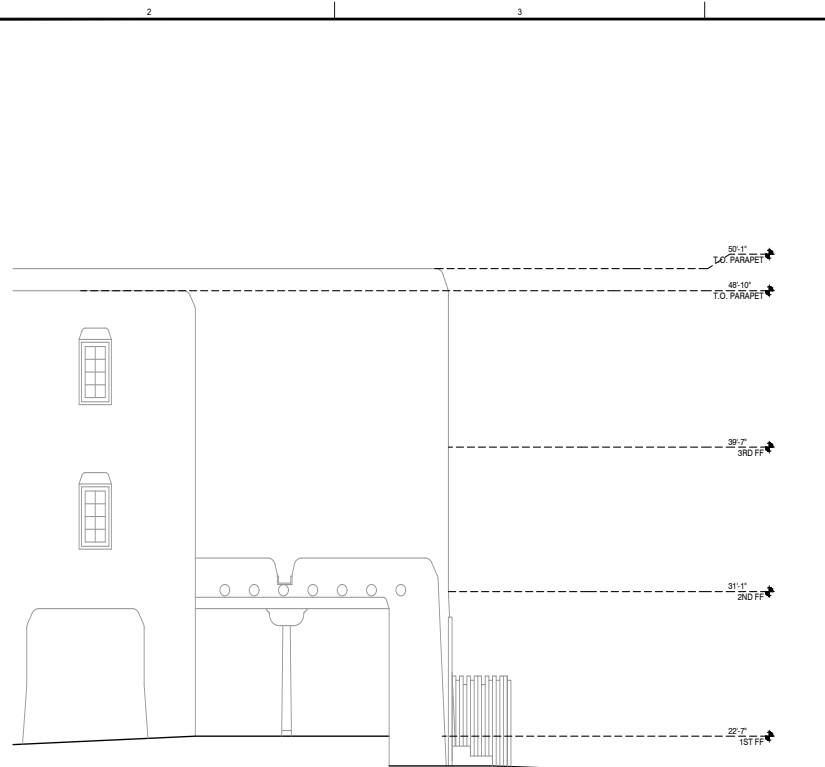
Sheet No.

AH202

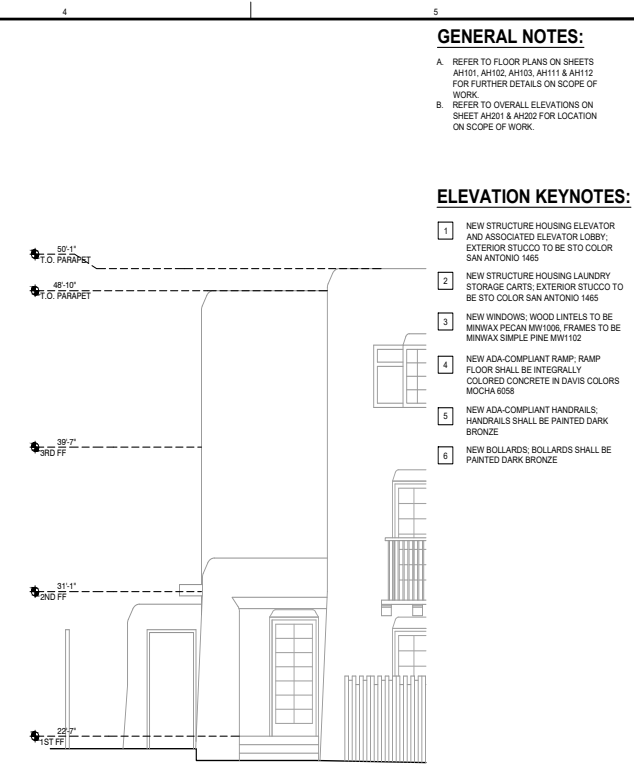
PLOT DATE: 03/26/2022  
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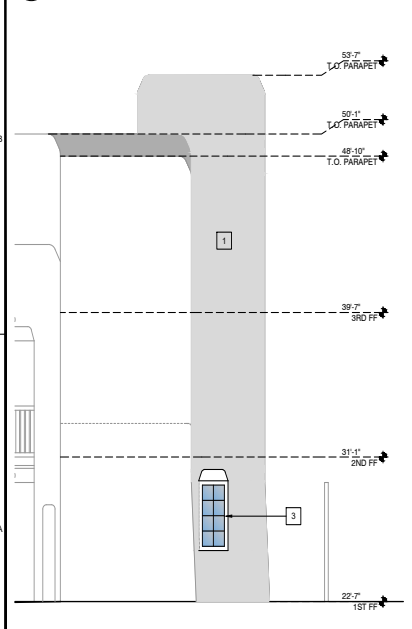
1 EXISTING SCOPE OF WORK (ENLARGED EAST ELEVATION)  
 1/4" = 1'-0"



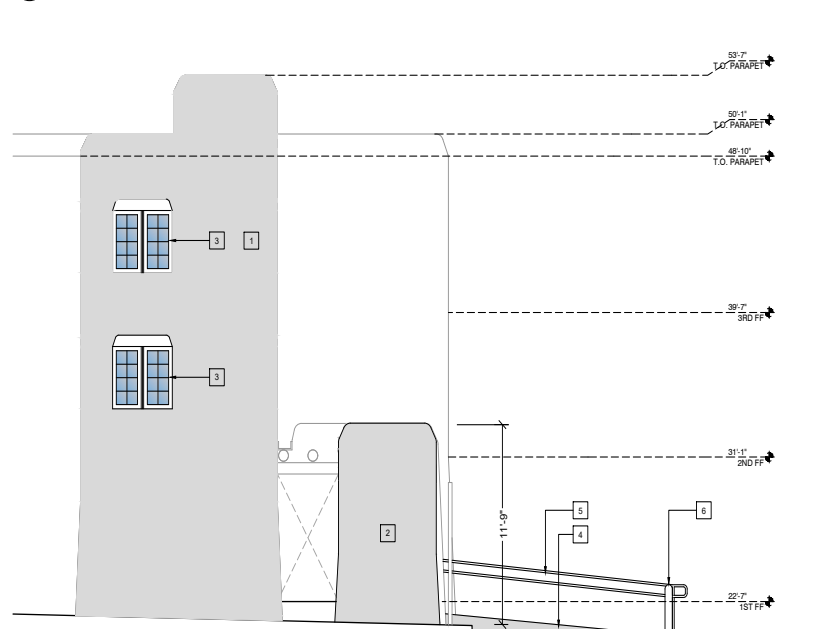
3 EXISTING SCOPE OF WORK (ENLARGED NORTH ELEVATION)  
 1/4" = 1'-0"



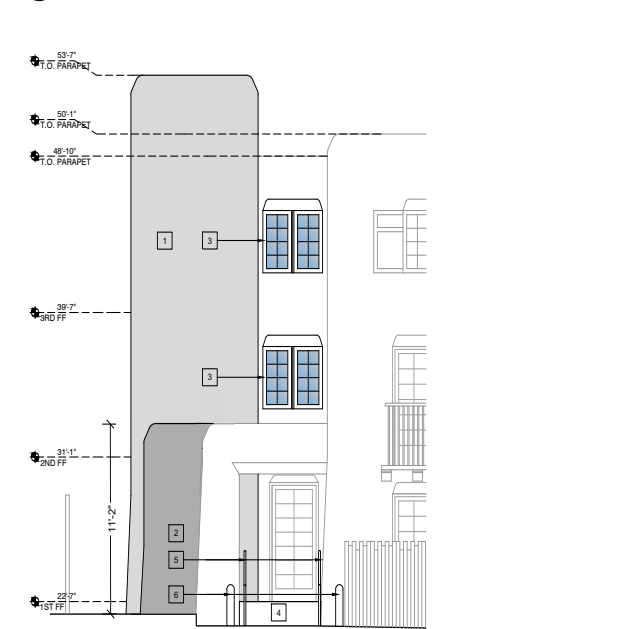
5 EXISTING SCOPE OF WORK (ENLARGED WEST ELEVATION)  
 1/4" = 1'-0"



2 PROPOSED SCOPE OF WORK (ENLARGED EAST ELEVATION)  
 1/4" = 1'-0"



4 PROPOSED SCOPE OF WORK (ENLARGED NORTH ELEVATION)  
 1/4" = 1'-0"



6 PROPOSED SCOPE OF WORK (ENLARGED WEST ELEVATION)  
 1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO FLOOR PLANS ON SHEETS AH101, AH102, AH103, AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO OVERALL ELEVATIONS ON SHEET AH201 & AH202 FOR LOCATION ON SCOPE OF WORK.

**ELEVATION KEYNOTES:**

- 1 NEW STRUCTURE HOUSING ELEVATOR AND ASSOCIATED ELEVATOR LOBBY; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 2 NEW STRUCTURE HOUSING LAUNDRY STORAGE CARTS; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 3 NEW WINDOWS - WOOD LINTELS TO BE MINWAX PECAN MW1008; FRAMES TO BE MINWAX SIMPLE PINE MW1102
- 4 NEW ADA-COMPLIANT RAMP - RAMP FLOOR SHALL BE INTEGRALLY COLORED CONCRETE IN DAVIS COLORS MOCHA 6558
- 5 NEW ADA-COMPLIANT HANDRAILS; HANDRAILS SHALL BE PAINTED DARK BRONZE
- 6 NEW BOLLARDS; BOLLARDS SHALL BE PAINTED DARK BRONZE

**Lloyd & Associates**  
**ARCHITECTS**  
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**INN ON THE ALAMEDA**  
**EAST BUILDING**  
**(TRADITIONAL WING)**  
**NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

REVISIONS		

Drawn by: **KL**  
 Checked by: **WL**

Date: **08-18-22**

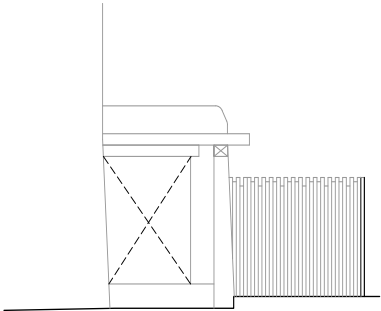
Sheet Title:  
**EXISTING & PROPOSED ENLARGED ELEVATIONS**

Job Number: **2021-26-A**

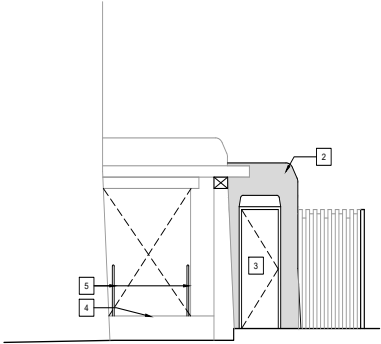
Sheet No.

**AH203**

PLOT DATE: 0/26/2022  
 FILENAME: C:\Users\knaas\_\OneDrive\Desktop\LA\_A\_WORK FILES\2021-26 Im on the Alameda Gate & Restaurant Palco\CD2021-26-A EAST BUILDING\CD\_ARCH\ SHEET\2021-26A\_AH204.dwg



**1** EXISTING SCOPE OF WORK (ENLARGED ELEVATION - LAUNDRY CART STORAGE) 1/4" = 1'-0"



**2** PROPOSED SCOPE OF WORK (ENLARGED ELEVATION - LAUNDRY CART STORAGE) 1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO FLOOR PLANS ON SHEETS AH101, AH102, AH103, AH111 & AH112 FOR FURTHER DETAILS ON SCOPE OF WORK.
- B. REFER TO OVERALL ELEVATIONS ON SHEET AH201 & AH202 FOR LOCATION ON SCOPE OF WORK.

**ELEVATION KEYNOTES:**

- 1** NEW STRUCTURE HOUSING ELEVATOR AND ASSOCIATED ELEVATOR LOBBY; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 2** NEW STRUCTURE HOUSING LAUNDRY STORAGE CARTS; EXTERIOR STUCCO TO BE STO COLOR SAN ANTONIO 1465
- 3** NEW DOOR; WOOD LINTELS TO BE MINWAX PECAN MW1008; FRAMES TO BE MINWAX SIMPLE PINE MW1102
- 4** NEW ADA-COMPLIANT RAMP; RAMP FLOOR SHALL BE INTEGRALLY COLORED CONCRETE IN DAVIS COLORS MDC14-6558
- 5** NEW ADA-COMPLIANT HANDRAILS; HANDRAILS SHALL BE PAINTED DARK BRONZE
- 6** NEW BOLLARDS; BOLLARDS SHALL BE PAINTED DARK BRONZE

**Lloyd & Associates**  
**ARCHITECTS**  
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**INN ON THE ALAMEDA  
 EAST BUILDING  
 (TRADITIONAL WING)  
 NEW ELEVATOR**  
 303 E ALAMEDA ST., SANTA FE, NM 87501

Current Status:  
**APPROVAL SET**

R E V I S I O N S		
-	-	-
-	-	-
-	-	-
-	-	-

Drawn by: **KL**  
 Checked by: **WL**

Date: **08-18-22**

Sheet Title:

**EXISTING &  
 PROPOSED  
 ENLARGED  
 ELEVATIONS**

Job Number: **2021-26-A**

Sheet No.

**AH204**



SELECTED COLORS FOR BUILDING ADDITION (RAMP, ELEVATOR, & ELEVATOR LOBBY):



**EXTERIOR STUCCO  
(MAIN COLOR)**

Sto Color Southwest  
Collection

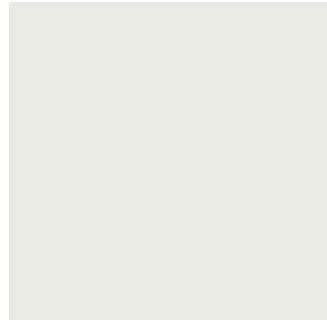
San Antonio

1465

**San Antonio**

■ 37 1465

RGB: 197,159,134

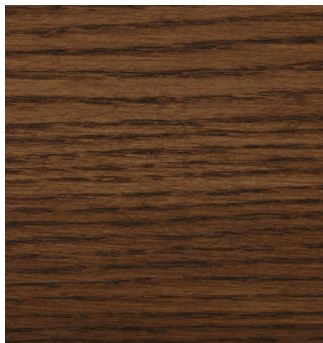


**EXTERIOR STUCCO  
(ACCENT COLOR)**

El Rey Stucco

Colonial White

100

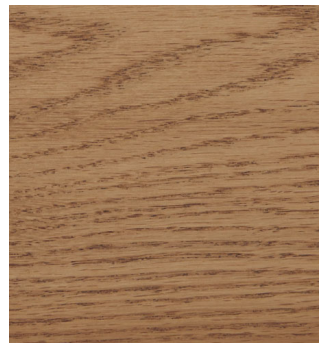


**WOOD LINTEL  
ABOVE WINDOWS**

Minwax

Pecan

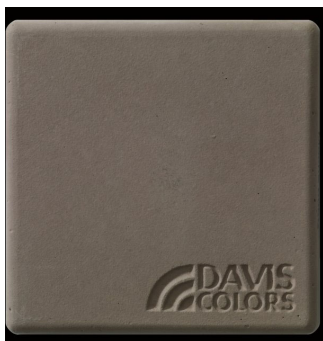
MW1006



**WOOD FRAME  
FOR WINDOWS &  
DOORS, DOOR  
PANEL**

Simple Pine

MW1102



**NEW CONCRETE  
RAMP &  
WALKWAY**

Davis Colors

Mocha

6058



**METAL  
HANDRAILS FOR  
RAMP**

Dark Bronze

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**

VIEW OF EAST BUILDING FROM SIDEWALK ACROSS E. ALAMEDA STREET

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**

PORTION OF WEST ELEVATION WHERE BUILDING ADDITION WILL BE LOCATED

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**

WEST ELEVATION

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**  
SOUTHWEST VIEW OF BUILDING

Lloyd & Associates  
ARCHITECTS

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**  
SOUTH VIEW OF BUILDING

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**

SOUTHEAST VIEW OF BUILDING FROM ADJACENT SIDEWALK

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INN ON THE ALAMEDA  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**  
EAST ELEVATION OF BUILDING

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**  
NORTHEAST VIEW OF BUILDING

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**  
NORTH ELEVATION OF BUILDING

  
**INN ON THE ALAMEDA**  
"CULTIVATING A CULTURE OF CARE SINCE 1986"

**INN ON THE ALAMEDA: EAST BUILDING PHOTOGRAPHS**



**303 E ALAMEDA ST.**

NORTH VIEW OF WHERE BUILDING ADDITION WILL BE LOCATED