



# AGENDA

HISTORIC DISTRICTS REVIEW  
BOARD  
FEBRUARY 28, 2023  
5:30 PM  
CITY COUNCIL CHAMBERS  
CITY HALL  
200 LINCOLN AVENUE

## PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

**Viewing:** Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

**Join on Zoom:** <https://santafenm-gov.zoom.us/j/81633973427>

**By Phone:** 301 715 8592

**Webinar ID:** 816 3397 3427

**Written Public Comment:** Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

All cases under 'new business' may be visited during the field trip between noon and 2pm on the day of the hearing.

**A. ROLL CALL**

**B. APPROVAL OF AGENDA**

**C. APPROVAL OF MINUTES:**

1. February 14, 2023

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2022-004458-HDRB. 111 Delgado St.
2. 2022-006110-HDRB. 50 Mt. Carmel Rd.
3. 2022-006111-HDRB. 50 Mt. Carmel Rd.
4. 2022-006237- HDRB. 346 Hillside Ave
5. 2022-006214-HDRB. 608 ½ Camino de La Luz
6. 2022-006060-HDRB. 1160 Camino de Cruz Blanca

**E. MATTERS FROM THE PUBLIC**

**F. STAFF COMMUNICATIONS**

**G. OLD BUSINESS**

1. 2022-006113-HDRB. 50 Mt. Carmel Road. Lisa Gavioli, JenkinsGavin Design, agent for the Modern Elder Academy, proposes a 5' masonry yard wall with pilasters and metal gates at the west entrance to the Modern Elder Academy campus, adjacent to the Fatima

Building. (Heather Lamboy)

## H. NEW BUSINESS

1. 2023-006286-HDRB. 1564 Canyon Rd. Downtown and Eastside Historic District. Non-contributing. PPC Solar, agent for Kate Lopez, owner, proposes to install two solar arrays consisting of 8 panels on existing casita's roof and 12 panels as part of a new ground-mounted structure 8' tall. (Angela Schackel Bordegaray, [asbordegaray@santafenm.gov](mailto:asbordegaray@santafenm.gov))
2. 2023-006281-HDRB. 239 Johnson St. Downtown and Eastside Historic District. Contributing. Christopher Purvis, agent, for Kevin Abrams, owner, proposes to install ramp and door alteration. (Angela Schackel Bordegaray)
3. 2023-006352-HDRB. 408 Camino del Monte Sol. Downtown & Eastside Historic District. Contributing. Christopher Purvis, agent for Bruce Stocks, owner, requests primary elevation designation and status review. (Ramon Sarason, [rjsarason@santafenm.gov](mailto:rjsarason@santafenm.gov))
4. 2023-006284-HDRB. 208 & 208 A Gonzales Rd. Downtown and Eastside Historic District. Non-contributing. Nurit Walsky, owner, proposes to add 329 sq.ft. to an 200 sq.ft. existing casita and add 566 sq.ft. to 1,708 sq.ft. main house, coyote fencing alterations, and landscaping. (Angela Schackel Bordegaray)
5. 2023-006359-HDRB. 1170 Camino Delora. Downtown and Eastside Historic District. Non-Contributing. Jeff Seres, agent for David & Ellen Lake, owners, requests status review. (Ramon Sarason)
6. 2023-006360-HDRB. 502 Cerrillos Rd. Historic Transition District. Non-contributing. K.M. Skelly, Inc., agent for Deborah Olinger, owner, proposes to enclose 84 sq.ft. portal on a 3,544 sq.ft. building, raise parapet heights (none to exceed maximum allowable height of 14'- 3"), add patio area with trellis, increase yard wall heights to 4'-3" and to 4'-

6" (within maximum allowable height for this streetscape), and window and door alterations. (Angela Schackel Bordegaray)

- I. DISCUSSION ITEMS**
- J. MATTERS FROM THE BOARD**
- K. NEXT MEETING: Tuesday, March 14, 2023**
- L. ADJOURN**

**Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.**

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**HISTORIC DISTRICTS REVIEW BOARD**  
**FEBRUARY 14, 2023**

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**MINUTES OF THE CITY OF SANTA FE  
HISTORIC DISTRICTS REVIEW BOARD  
FEBRUARY 14, 2023 – 5:30 PM**

**CALL TO ORDER**

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Anthony Guida, Vice Chair, on the above date at approximately 5:30 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

**A. ROLL CALL**

Roll Call indicated the presence of a quorum as follows:

**MEMBERS PRESENT:**

Mr. Anthony Guida, Vice Chair  
Ms. Madeleine Aguilar Medrano  
Ms. Jennifer Biedscheid  
Mr. John Bienvenu

**MEMBERS ABSENT (EXCUSED)**

Ms. Cecilia Rios, Chairwoman  
Ms. Jennifer Berkley  
Ms. Flynn G. Larson

**OTHERS PRESENT:**

Ms. Heather Lamboy, Assistant Land Use Director  
Mr. Frank Ruybalid, Assistant City Attorney  
Ms. Melissa Byers, Stenographer

**NOTE:** All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

**B. APPROVAL OF AGENDA**

**MOTION:** Member Biedscheid moved, seconded by Member Aguilar Medrano to approve the agenda.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

**C. APPROVAL OF MINUTES:**

1. January 24, 2023

Member Bienvenu said on page 35, middle of the page where it says, "Member Bienvenu said he thought anyone who had been denied an exception *should* go straight to district court" should say 'could' go straight to district court."

Member Biedscheid said on Page 7, last paragraph, "The two presented in the packet were approved by this Board..." should read, The two example projects presented in the packet..."

**MOTION:** Member Biedscheid moved, seconded by Member Bienvenu to approve the minutes of January 24, 2023, as amended.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

**D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW**

1. 2022-006059-HDRB. 513 Canyon Rd.
2. 2022-006211-HDRB. 239 Johnson St.
3. 2022-006213-HDRB. 793 Camino del Poniente.
4. 2022-006214-HDRB. 608 ½ Camino de La Luz.

**MOTION:** Member Aguilar Medrano moved, seconded by Member Biedscheid to approve the Findings of Fact and Conclusions of Law.

**VOTE:** The motion passed by (2-0-1) roll call vote with Members Aguilar Medrano and Biedscheid voting in favor, none voting against and Member Bienvenu abstaining.

**E. MATTERS FROM THE PUBLIC**

Stefanie Beninato brought up two person voting. The resolution says the chair can vote to allow a procedural matter. Three people should be voting to have a majority of quorum. Also, on the Lucchese case, Ms. Lamboy said they were submitting something that was more conforming. They actually presented the same thing to the HBoard as they presented to the Board of Adjustment (BOA). She said she was told that is what they were hoping to get approved, even though the ordinance says they cannot. She said also, when applicants meet with staff for hours and have a team of professionals who spend hundreds of hours, she wonders why.

Will McDonald said he wanted to make a point on exceptions. He saw a sign on Arroyo Tenorio for someone wanting to replace the windows on a primary façade who has to go to the Governing Body to hear their requests. He said Code under Exceptions (C) (5) says the Historic Board may grant exceptions to Code if it does not exceed the underlying zoning. However, another section in the subsection states that exceptions must go to the Governing Body to determine approval. He said that has been in the Code for 15 years and he thought it a mistake that should be addressed.

## **F. STAFF COMMUNICATIONS**

### **1. The Importance of Local Historic Preservation**

Ms. Ramirez Thomas gave a Power Point presentation. She said this discussion came about because people often say, "that's on the National Register." She wanted to provide clarification. In light of the ordinance rewrite, she wanted to stress the importance of focus on local preservation. They should not get distracted by the State and National Register, but looking at how to better serve the community.

The presentation is attached as Exhibit 1.

Member Biedscheid asked if Ms. Ramirez Thomas had suggestions how to view the hierarchy between agencies and their rules with an historic listing at the State level because of an interior element. For instance, something associated with an artist which became a reason for the design on the exterior that is governed by the local ordinance.

Ms. Ramirez Thomas said the Ordinance doesn't protect anything on the interior, but the Historic Santa Fe Foundation can put easements on interiors. It is important to work with the local historical societies who can do things that the City may not be able to under the Ordinance. In terms of how the State is linked to that, it might be on the documentation on the interior of the building, and money and land ownership, among other things, can trigger that.

Chair Guida said in thinking about NHPA and the birth of the preservation movement in the 1960s, the Santa Fe Ordinance is much older. He asked if there is a relationship between preservation and the Ordinance or was the Ordinance initially separate preservation concerns.

Ms. Ramirez Thomas said it was built on the early desire to have preservation in Santa Fe. Not that NHPA wasn't the first, but there are other acts. Community preservation is not new. The early Ordinance offered Santa Fe the opportunity to preserve its history early on. When NHPA became law that gave the ordinance strength. The CLG program offered the opportunity for the local government to expand

preservation within their communities. In the 70's they had the national nominations and then CLG and then they started doing surveys and the historic districts developed.

Chair Guida asked, regarding the National Register district nominations, her to talk about Santa Fe's registered historic districts and how they align with the Santa Fe historic districts, and what the Board could look at for traditional guidance.

Ms. Ramirez Thomas said Santa Fe's National Registered District is the largest and the first to be nominated and listed. Then the Camino Del Monte Sol and Don Gaspar Historic Districts, which is on the National Register as well. The Santa Fe Historic District has roughly the same boundaries as the majority of their historic districts and includes Westside Guadalupe, portions of the Transition District, a large part of Downtown and Eastside and to the other side of Paseo de Peralta. And it touches on some of the river and trails areas. Camino del Monte Sol was unique enough that it became its own National Register district. Don Gaspar is separate and not included in the Santa Fe National District. The National Register for Santa Fe Historic District was done in 1972 and updated in 1996, but never adopted or forwarded to the National Register. The periods of significance are an issue. The period starts with the National Register District in the 1920s and then in 1972 when the nomination went forward. It has been 50 years from that point. In cases where there is overlap between the local Ordinance and State and Federal Registers, the State would like to complete an update. A CLG grant paid to review the historic buildings in the Transition District and if the City and the HBoard were going to concentrate on something, that would be a primary national initiative to pursue, instead of looking for other National Register properties to nominate.

Chair Guida confirmed she had recommended that the City pursue an update of the National Register.

Ms. Ramirez Thomas said yes, in collaboration with the State. It is a huge area with many properties. Another distinction to consider is that within the National Historic Districts there are contributing and noncontributing that do not align with Santa Fe.

Member Bienvenu said he thought the biggest omission in the National Register Historic Districts compared to Santa Fe, is the Canyon area. It does not include Cerro Gordo Road or Canyon Road, it stops at Cristo Rey. The entire canyon is a very important part of Santa Fe's Historic District. There should be an effort by the City to bring that back into either the existing Santa Fe Historic District under the National Register, or an additional historic district.

Ms. Ramirez Thomas said it might be unique enough in terms of its development, history, style, etc., that it would have its own National Register nomination.

Member Bienvenu asked what it would take to get the City to do something with their duties as CLG to work with the State to prepare something to submit to the National Register for that district.

Ms. Lamboy said there is a great opportunity with the Zoning Code update. She and Ms. Ramirez Thomas have discussed with the consultant team the need to clean the historic districts ordinance. Also, to be more thoughtful about what they want to see today. Midcentury Modern counts as historic and there are a lot of those buildings in the Historic Review District. That could be part of the conversation for a spin-off nomination and different district.

Chair Guida said he raised the question on the statement of significance, because those are not explicitly set in Code. They are sometimes mentioned in a report by John Murphy but on a property to property basis. They should also be aware of the bigger picture of why a district is federally recognized. That is something they would also contribute to in the updates and possibly code rewrite. To him alignment and possibly in the code rewrite, including statements of significance and periods of significance would be a helpful guide for their discussions.

Ms. Ramirez Thomas said even the forms of the National Register in 1996 compared to now, has a lot more terminology; and new, and different. The National Register wants to give guidance but doesn't mean it is always applicable to the local Ordinance, but it could help.

### **Public Comments**

Elizabeth West said she is thrilled this is happening and it is needed by everyone, the public, realtors, homeowners, etc. She said it is fun to be part of this history. She hopes to get an expanded version of what was presented. She thanked the Old Santa Fe Association (OSFA).

Stefanie Beninato thanked Ms. Ramirez Thomas for the presentation. She said she hopes the City takes responsibility of local preservation seriously. She said exceptions should be rare. She wondered how the obelisk reconstruction for example, is handled where jurisdictions overlap.

Member Bienvenu said Ms. Beninato mentioned the Obelisk/Soldier's Monument. That might be an opportunity to revisit the issue of whether the City believes anything done with the Soldier's Monument should come before this Board before reconstruction, demolition or revisions are undertaken. That has been the Board's understanding, but he is not sure that is still the case.

Attorney Ruybalid said he has not been asked to participate in the discussions. There are a lot of players involved and some divisions of the United States and it is complicated. He could understand the Board's position since the Monument is in the Plaza. The decision will probably be made sometime this year and he will pass along Member Bienvenu's concerns.

Member Bienvenu said he wants to know if the City has changed its position on that since last advised and that it be brought to the Board's attention.

Ms. Lamboy said tomorrow they will hold the kickoff for the zoning code rewrite. Clarion, the consultants, are in town and will hold an open house at the Community Convention Center starting at 6 o'clock. She invited those who want to, to join them.

Chair Guida asked what was on the agenda.

Ms. Lamboy said it is presentations on the process. It is broken into three phases with discussion on each section. There will a survey and a website where people can give feedback in person or on the website.

## **G. OLD BUSINESS**

Chair Guida explained the appeal process for the applicants.

1. **2022-005463-HDRB. 220 Rodriguez St.** Brian Sarrazin and Stephanie Sandston, designers and owners, requests to remodel a contributing residence in Downtown and Eastside Historic District. Exceptions are requested to sections 14-5.2(D)(2)(d) to construct an addition onto a primary facade, 14-5.2(C)(1)(d) for additions/alterations that impact original form and integrity, 14-5.2(E)(1)(a) for additions in a style that is not of Old Santa Fe Style and 14-5.2(D)(5) to replace historic windows not in-kind. (Heather Lamboy)

## **STAFF REPORT**

At the December 13, 2023 HDRB meeting, the Board and the applicant had a robust discussion about the history building at 220 Rodriguez and the different phases of construction. Concerns presented by the applicant included the structural stability and water damage to the adobe and roof, the intention to be able to both live and work in the house, the challenges in association with the grade on the site, the inability to construction in any other location on the site, and visibility.

Discussion by the Board included how the addition would block the view of the primary south façade, how the addition was attached to a reversible breezeway was a nice

design solution, and the placement of the addition on the site so that it could be bermed into the hillside.

Concerns were raised in that the design of the addition was not different enough from the historic building. Comments were made regarding the design of the addition to the south elevation, including an observation that it would be better to break up the blank walls of the addition with more windows. There was discussion about the visibility of the south elevation of the historic house relative to the proposed addition and the possibility of retaining historic windows and their original color, and whether viga ends could be restored and retained.

In response to comments made at the meeting, the applicant has made changes to the project. The breezeway connection between the studio/kitchen addition and the historic home has been further lightened to provide for a clear communication of difference between the historic home and the addition and to also meet the standard where, if the addition were removed, the house could be restored to its original footprint and character. In response to comments about the blank walls of the addition, the applicant has added more windows as well as lowered the overall height by 6". The windows on the historic home will be wood divided lights with a natural color as they were originally according to physical evidence and family oral history.

The overall height of the addition on the northeast corner of the house, which was originally a shed, has also been lowered.

**The following is from the staff report accompanying the proposal considered on December 13, 2022 and is provided for informational purposes:**

220 Rodriguez is a single-family residential structure with contributing status to the Downtown and Eastside Historic District, constructed in a vernacular/Spanish Pueblo Style. It has remanent vigas and post ends, thick battered adobe walls and is a relatively simple rectangular form.

It was constructed in four different building phases, the oldest of which is likely from 1890, but certainly by 1912. Portions on the eastern end were attached but then removed after 1966.

The existing structure was in existence by 1975, making even the latest addition historic. The roof has a fiberglass coating over earth. It has a low slope with parapets on the south and west sides.

Façade 1(a), pre-1912, and façade 1(b), pre-1935 (both south-facing façades), have four windows and two door openings of varying sizes. The shutters are false shutters added around 1985. While these are prominent on the façade, their date of origin

obscures the historic integrity of the façade. Façade 1(a) has exposed, historic vigas that are character-defining.

The west façade (façade 2) is a featureless wall with one door opening. It contains a stone buttress at the northwest corner.

The east façade (façade 5) has no openings. The roof is stepped, with fiberglass visible on the parapet.

The north façade contains façade 3 on its westernmost side (constructed before 1954) and façade 4 on its easternmost side (constructed before 1935). Façade 3 contains two non-historic aluminum slider windows and has vigas with exposed ends. Façade 4 also contains vigas with exposed ends, a shed roof and two windows, one of which is only visible from inside the structure, with a character-defining deep opening. The other has been boarded over.

On April 26th, 2022, the Board designated the following elevations of the structure as the primary façades: 1(a), 1(b) and 2. The non-historic, false window shutters on the south elevation (façades 1(a) and 1(b)), and the non-historic door on the west elevation (façade 2), were excluded from the designation of the primary façades.

Now, the applicant proposes the following exterior alterations:

- 1) Replacement of all doors and windows. Wood windows are proposed to be replaced with aluminum clad windows in a brown color, which are not in-kind in material or color.
- 2) Remodel the north façade to remove historic protruding vigas and add doors and windows and a flat awning with windows above. The metal flat awning and window arrangement are not within Old Santa Fe Style.
- 3) Raise the east end of north façade parapet by 5'-4" within the maximum allowable height and is a significant change to the massing.
- 4) Create an addition to the south and primary façade. The proposal is for a passageway with corrugated metal shed roof. The passageway would connect to an addition that equals roughly ¼ of the existing house.
- 5) Create a kitchen addition, connected to the passageway, at a height of 16'-6" which is the maximum height allowable. The addition will be stucco, color to match, with a flat roof. This addition would obscure the south and primary façade. Staff believes that this would threaten the historic status of the building with the passageway connection.
- 6) The proposal includes a steel arbor entry/yardwall connected to a coyote fence (shown in site plan).

### **STAFF RECOMMENDATION**

With the revisions proposed by the applicant, Staff finds that all the exception criteria have been met and the design complies with historic preservation and design standards. The addition is designed in a manner that, if removed in the future, the building's status will not be negatively affected. The Board will be recommending to the Governing Body.

Chair Guida asked what staff interprets the style of the addition to be on the second applicable exception, if the addition is not in the old Santa Fe style.

Ms. Lamboy said it is in Recent Santa Fe Style.

Member Aguilar Medrano said the south façade window on the far right hand side is called out in the window report as the original frame from the 1940s. The proposal changes the window opening. She asked if the change requires an exception.

Ms. Lamboy said she understood that the opening was the same size, but she would defer to the applicant.

Member Biedscheid asked if an allowable height was calculated.

Ms. Lamboy said yes, and this is within the 16'8" height.

### **APPLICANT PRESENTATION**

Karl Sommer, PO Box 2476, Santa Fe and Stephanie Sandston, 220 Rodriguez St., were sworn in.

Mr. Sommer said Chair Rios requested at the last hearing that Bobby Padilla look at the condition of the property. Mr. Padilla did that and wrote a report that confirms the window report. He said it was helpful working with Ms. Lamboy and using that understanding to change the building into a better product. He said the applicant agrees. He noted that Ms. Sandston could respond to the question on the window opening.

Ms. Sandston said the window on the left and the right matched before the bathroom update. When doing repairs, they found the original opening, and this restores it back to the original.

Member Aguilar Medrano said it was confusing. The window assessment report said the window frame was original from the 1940s.

Ms. Sandston said she didn't think that was the case. It was a barn sash window and when made into a bathroom, a storm window was made for it. Photographs of that are included in the packet.

Mr. Sommer said he hoped they had addressed all of their concerns.

Member Bienvenu said on the last point, he was not persuaded it is an approvable project. He appreciates their work and that the project was made better. He said if this was new construction, it would be closer to something he could approve. He thought this is not a style issue, it is a preservation issue. This is a significant building recently designated as contributing by the Board. That means the Board determined this individual structure as it is today helps preserve the character of the Eastside District. It does that because of the characteristic of the structure and its extreme simplicity, extreme modesty, and vernacular handmade traditions that is disappearing. Most of the building goes back to the 1800s and is mostly intact.

He said three groups of exceptions are needed and that in and of itself indicates the dramatic alterations being made. They are obscuring the primary façade and adding an addition that is a dramatic departure from the existing building, and its massing is overwhelming to the existing building. He said it is easy to say the exception criteria have not been met, but more importantly, he didn't think anyone would call this a contributing building if constructed in the way this has been proposed. He felt certain if this had come before the Board for designation it would not have been contributing. The additions would make the building non-contributing in essence. The Ordinance specifically provides that the Board cannot approve additions that require a downgrade in status. He said he was sorry about that and understands why this property as it is, will not work out for their intentions. That is the limitation of both the lot and the historic structure there.

Member Aguilar Medrano agreed with Member Bienvenu that the exception criteria have not been met to allow an addition to be built on a primary façade. In particular, on #2, regarding hardship. She still firmly believes that they cannot purchase a contributing building that doesn't reasonably fit their needs and then say it doesn't function as a residence then claim a hardship when not able to construct an addition. She said that is not the intent of the exception and she is cautious about allowing that interpretation. The applicant states in their response to the exception, limitations in terms of its size for a functional residence. She said she finds that sentence powerful. The history of this building dates back more than a century and families have continuously lived in the building, and smaller versions of it. She asked what is different now that makes this structure no longer a "functional residence". If claiming it does not have enough size to function as a residence, their plans propose to commit one fourth of the footprint to a guest bedroom with its own kitchenette and separate entrance. That makes her wonder if they need that dedicated space, if feasible for that to take place in

the addition. Then it would make more sense to have the addition be detached and further south on the property. That would allow them to better utilize the drop in grade and to reduce the height. The slope on the property could work to their benefit.

Member Aguilar Medrano said her desire is not to scrutinize the use of their interior, but when addressing an exception and their response is one of size limitation, it warrants a look further at details. She is still concerned on the existing residence about the amount of historic material that would be removed. On the south façade, which is primary, the Board was told in the last meeting the historic vigas would not be covered. The drawings in the packet clearly show the viga ends covered. Looking at this as a whole and what is proposed, the applicant would change the massing, the footprint with the added addition, remove/cover-up all historic vigas, remove all historic windows and have already removed the non-historic, but character adding shutters, and are changing the colors of the stucco and the treatments. These are significant changes to propose on a humble structure. Her concern is if all of that takes place, it would lose its status as contributing. She didn't think they would consider this contributing if they looked at this after those changes and the Board has to keep all of that in mind.

Ms. Sandston said on the south face, the vigas are staying and the north vigas are being reused. They have tried to be sensitive when repairing the damage to the building. This is a vernacular building that has been used in many different ways. The original historic drawings show a house two thirds the size tacked onto the building. Various owners have changed the building to meet their needs, and everyone has to make small changes to meet the needs of their family. She said they love the house and its historic nature and architecture. They want to make repairs to the building to live another 130 years and house people far beyond them. She said they have tried to be respectful.

Chair Guida said he admired the project the last time it was presented. He said the Board should keep in mind the last time this was presented the Board direction was in response to what was presented, not a desire to go in a completely different direction. He thought the overall scheme of the project, which puts the second story addition within the existing footprint in an area compliant with Code, is a straightforward approval. The proposal to connect a new building mass to the old building mass with as light of the breezeway as possible, also appealed to him and others on the Board, as a legitimate preservation approach. It leaves the integrity of the existing building intact and lightly touching the primary façade, which does require an exception. There are not three but two exceptions being requested. He found that a sensitive addition to the property. Also, this is a contributing building, not a significant building, and contributes to the district and the streetscape. He said he did not see anything in the proposal that does not allow that building to continue to contribute to the streetscape, as it did. All of the elements the Board identified as character defining and defining as primary, are all still intact. There just happens to be a change to the property and change is part of what

the Board manages. It was a good point that these buildings did change over time. Change is characteristic of our districts and our way of building in Santa Fe.

Chair Guida said in terms of the exceptions on the overall intent of the project and the design, this is an exemplary project. He said he does not vote tonight, but if he did, he would approve this.

## **PUBLIC HEARING**

John Eddy, 14 Avenida Campo Verde, was sworn. He thought the Assistant City Attorney could clarify whether the exceptions have been met. He said he appreciated the details picked up by Members Aguilar Medrano and Bienvenu.

James Saudell, 3858 Quail View Ln., was sworn. He said he did not understand and he believes that you can make improvements and do restoration to extend the life of all of the aspects talked about; the vigas, the window details, etc. He said because this is an addition and there are small things the applicant wants to do to make the building last, the historic aspects that make this so special to the City will not be lost. In regard to the addition, they are trying to be as light as possible. The addition can be entirely removed and will have no impact on existing windows, etc. They are trying to make the property function for the new owners who purchased the property because they saw the opportunity to make this their home. Also, there are two primary facades and they are trying to make those more significant.

Stefanie Beninato, PO Box 1601, Santa Fe was sworn in. She agreed with Members Bienvenu and Aguilar Medrano. The primary façade is overwhelmed by the addition because the two-story addition is so close. It will lose contributing status. She said the house has been there close to 100 years. She likes the idea to put the addition down the hill.

## **BOARD DISCUSSION**

Member Biedscheid asked if the addition on the south that was reduced in height, is 1 foot taller than the current structure.

Ms. Sandston said it was reduced 6 inches. The non-primary façade on the northeast, the shop height has been lowered 1 foot.

Member Biedscheid asked the color of the windows proposed to be replaced.

Ms. Sandston said they all have a clear finish. They spoke with the original owner's grandson who said the windows had no finish or stucco until the 1960s. All of

the primary façade's windows will be the same size and they will reopen the historic picture window on the west.

Member Biedscheid asked about the windows on the non-primary façades.

Ms. Sandston said those would be clad and a bronze color. They are not visible from the street and are on a non-primary façade.

Member Biedscheid asked to confirm they are two different styles.

Ms. Sandston said the windows will be more of the old style. She said the Board had asked to see more difference in what is historic and what is new.

Member Biedscheid said she agreed with that on the new south addition, but typically the original structure windows will match on a single building. They should be similar to what is done on the primary façades, even if not replaced in kind on the south. She asked about the stucco colors.

Ms. Sandston said the stucco color will be the same as the original adobe. It is a warm greenish brown, the color of the mud on the inside of the structure, and is on both the addition and the original. It will be hard trowel.

Member Biedscheid said she thought the orange stucco color is old school and no longer a color in new construction. She said this property might lend itself to two different colors.

Ms. Sandston said she considered that but wasn't sure how the Board would feel. It could be the same colors, but the new structure would be smooth and the old would remain more like sand.

Member Biedscheid said she likes the texture and likes the idea. She asked in respect to the vigas if they were taking the viga ends and moving them up.

Ms. Sandston explained the roof line is changing on the northeast portion of the building. It is a combination shed with vigas below. They have questioned if they want the vigas exposed because it is a weather problem but could do that.

Member Biedscheid asked if the viga's go all the way through and if they will keep the interior. She thought it made sense to leave the viga ends.

Ms. Sandston said they will be higher. They are just redoing the construction method where the wall is failing.

Member Bienvenu asked for clarification that the south primary façade windows would all be replaced. He asked the history of the windows and their condition.

Ms. Sandston said they will all be replaced. She said the history is that the recommendation was to replace the windows because they are more than 78% melted. On the west side, they have the historic opening that will stay the same height as those in the sitting room. There will be wood windows there and around if important to the Board. She said having wood windows on the north side would create some maintenance.

Member Bienvenu confirmed that all of the windows proposed to be replaced are supported in the report as unrepairable.

**MOTION:** In 2022-005463-HDRB, 220 Rodriguez St., Member Bienvenu moved that the renovations as proposed on the north side of the house be recommended to be approved, the window replacements be approved, and that the north side should match the other windows; and that the north side addition be approved on the condition that the steel overhang be made of wood and/or galvanized metal instead of steel; and three exception criteria that have not been met, and that the addition would result in a downgrade to noncontributing status, the rest of the application is denied.

Member Aguilar Medrano proposed a friendly amendment to include that the vigas on the north end be raised as the applicant stated their willingness to do, and that the exposed viga ends on the south be preserved and not covered up, rather than removing both, on the north and south end of the house.

Member Bienvenu accepted the amendment as friendly.

The motion was seconded by Member Aguilar Medrano.

Member Biedscheid asked to clarify there were only two exceptions.

Ms. Lamboy said that was correct.

Member Bienvenu clarified he meant to refer to the three *criteria*, *not the three requests*.

Member Biedscheid asked a friendly amendment that the stucco to remain as close to the current in color and texture as possible.

Member Bienvenu and Member Aguilar Medrano accepted the friendly amendment.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

Ms. Sandston said the engineers and Bobby Padilla came out to look at those and to assess damage. The southwest portion of the building from window to window needs to be repaired, including the parapets. On the north it is the same, the footings, etc. She asked if that would need to be approved before she starts on that.

Ms. Lamboy said that could be discussed with staff.

Mr. Sommer asked on the exceptions, if the Board makes recommendations to the Council and this application goes to Council regarding the recommendation to deny.

Member Bienvenu said that is the case, and the motion should have been stated that way.

Ms. Lamboy said the denial is only pieces of the application.

Mr. Sommer asked to confirm if the whole case goes to Council, this will go on appeal with a recommendation to deny on the exception.

Attorney Ruybalid said no exceptions apply to the north side, only to the addition. The appeal would be the HBoard's decision to deny. He said as he reads code, the HBoard has the final word in denying the exceptions. If the Board approves the exceptions, under (C)(5)(b) the recommendations are made to the Governing Body or the applicant would have to file a verified appeal petition.

Mr. Sommer said they understand the decision. He said this case points out to him they look at properties with contributing status and try to preserve them. He said there are a lot of properties with contributing status in disrepair because people are not willing to make the investment. This house is falling apart in serious ways and is hard for anyone to know that up front. His concern is there are a lot of properties that are contributing, but not unique or significant and have changed a lot over time, and investing in them is difficult. He said that because it is important as the Board goes forward.

2. **2022-006113-HDRB. 50 Mt. Carmel Road.** Lisa Gavioli, JenkinsGavin Design, agent for the Modern Elder Academy, proposes a 5' masonry yard wall with pilasters and metal gates at the west entrance to the Modern Elder Academy campus, adjacent to the Fatima Building. (Heather Lamboy)

Ms. Lamboy said with the recusal of Member Aguilar Medrano, there is concern there is no longer a quorum.

Attorney Ruybalid said Code requires recusal if there is financial interest in the outcome of a case, and broader interests of due process if related to an applicant, or having previously expressed an opinion to appear the member has already made a decision. He said the question is whether Member Aguilar Medrano has a financial interest or is related to or has previously expressed an opinion that would affect due process.

Member Aguilar Medrano thought the two criteria stated did not apply, but the application is being brought forward in part, by the firm she works for and she is uncomfortable voting on the case. Also, she was not aware that members would be missing tonight. She said because of her employment she would say there is some conflict of interest there.

Ms. Lamboy said the case will be postponed to February 28, 2023.

## **H. NEW BUSINESS**

1. **2023-006285-HDRB. 1122 E. Alameda St.** Downtown & Eastside Historic District. Non-Contributing. Bernie Romero, agent for Richard Van Sickle, owner, proposes to add 250 sq. ft. to casita, remodel portal, door and window alterations. (Angela Schackel Bordegaray)

### **STAFF REPORT**

1122 East Alameda consists of a 3,150 square foot main house, a detached 426 square foot casita with portal, and a 203 square foot storage building, located in the Downtown and Eastside Historic District. The main house is predominantly Pueblo-Spanish Revival Style with rounded parapets and flat roofed masses. It also features Territorial Revival Style elements, such as white wood trim. Based on previous 1990s cases, the property's structures are noncontributing to the Downtown and Eastside Historic District.

The one-room adobe casita sits to the east of the main house and south of the storage shed. It features a flat roof and rounded corners and has a ramada-turned-portal with a sloped metal corrugated roof on its north entry elevation. The casita is bermed into the site as it slopes upward to the south rock retaining wall of the Acequia Madre that runs

east to west along the property line. The board approved two ramadas – one on the casita’s north elevation and one on the main house’s west elevation in 1997 (Cases H-97-058 and 059). At some point but not documented when, the casita’s ramada was roofed over with additional wood beams and a sloped corrugated metal roof. Probably at the same time, all windows were replaced. There are no records for these alterations. The casita’s “ramada” (now portal) features a split trunk of a tall mature Cottonwood tree that penetrates the middle of the portal’s metal roof. The casita sits behind the storage shed to its south and considerably east of the main house. The casita is tucked back into the lot and not publicly visible.

The storage shed sits to the north of the main house. Its built date is unknown. The site abuts the street entry into Patrick Smith Park from East Alameda. It features a low river rock wall with a 5-6’ stucco yard wall extension on top that extends and curves from its north to its west elevation. The structures are barely publicly visible behind the tall yard wall and gate.

The subject of this case is the casita. There are no changes proposed for the other buildings and structures on the property.

The applicant proposes the following exterior alterations to the casita.

1. Add a 10’ – 8” tall 285 square foot room onto the west elevation. The new room will have a flat roof and parapet with white territorial style wood trim at doors and windows. The new window will be pair of 2-over-2 divided lite casements. The existing west portion of the ramada/portal will be removed.
2. Alter the existing north portal by removing the metal corrugated sloping roof to be replaced with a flat brown brei roof. The portal depth will be reduced from 12’ to 6.’ The new portal will have a new wood fascia with dentils and new 8 x 8 white wood columns in place of the existing wood posts with wood trim at the base and top of existing portal. Existing roof framing will remain. The new trees will survive the change, remaining in place.
3. Remove existing entry glass door and window on north elevation.
4. Install a new front door and two new windows. Door and windows will be white metal clad with divided lites. Remove the remaining three existing windows (green metal clad simulated divided lite) with new windows to match the north elevations. Install new wood trim at new exterior door and all windows, also to be painted white.
5. Restucco with Sto “San Antonio.”

### **STAFF RECOMMENDATION**

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Guida asked about the public visibility.

Ms. Bordegaray said it is minimally visible.

Member Bienvenu asked to clarify if the building is non-statused or non-contributing.

Ms. Bordegaray said it is non-contributing based on previous cases in which the status was noncontributing.

### **APPLICANT PRESENTATION**

Richard Van Sickle, owner, 1122 E. Alameda, was sworn. He offered to answer questions.

Member Aguilar Medrano said the property is beautiful. She said the windows are snap in place muntins on the interior. She asked to confirm that the new windows will be true divided lights.

Mr. Van Sickle said they will be.

Member Aguilar Medrano said she thought the evergreen tree staff noted as significant will die due to the perimeter of the new addition. She asked if the City arborist could be consulted.

Mr. Van Sickle said the only tree he could think of within the area of construction is the Juniper tree, the only evergreen on that side of the house. They will not be within six feet of its extension.

Member Aguilar Medrano asked staff to confirm that nothing in Code requires a Juniper to be kept.

Ms. Lamboy said she didn't know if species counted regarding significant trees. She asked the applicant about the stakes on site.

Mr. Van Sickle said they believe that is the location of the farthest wall. He said he is concerned about is the shrub that is against the edge of the acequia, but has no concerns about the Juniper.

Chair Guida confirmed with staff that those are Land Use concerns and are beyond the purview of the Board.

## **PUBLIC HEARING**

John Eddy, previously sworn, said he bemoans the loss of the vernacular but wanted to commend the architect on the design. This will be a nice upgrade aesthetically, on the street.

Ms. Beninato, previously sworn said this is a nice project and captures the Eastside streetscape and may be an improvement. She asked if the west façade is facing the wall and is the most visible.

Ms. Bordegaray displayed the north elevation, the portal.

## **BOARD DISCUSSION**

**MOTION:** In Case 2023-006285-HDRB, 1122 E. Alameda St., Member Bienvenu moved to approve the project as submitted. The motion was seconded by Member Biedscheid.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

2. **2023-006287-HDRB. 350 Hillside Ave.** Downtown and Eastside Historic District. Non-contributing. Natasha Ribeiro, agent for Victor Johnson and Carla Mattix, Owners, proposes a 755 sq. ft. one-story addition on the east and south elevations. (Heather Lamboy)

## **STAFF REPORT**

The property located at 350 Hillside is a single-family detached one-story residence. While not visible from Hillside Ave, the house is visible via a shared drive that serves four lots. The residence is listed as non-contributing to the Downtown and Eastside Historic District.

The applicant proposes a one-story 755 square-foot addition to accommodate an accessory dwelling unit (ADU). The existing Pueblo Revival style residence was originally built in 1991, which was restuccoed and windows were replaced in 2020.

The 12'10" addition will be located on the southeast corner of the residence, and there will be no internal cross-access between the addition and the main residence. The height of the addition will be the same height as the adjoining residence. The proposed stucco color will be Sandalwood Beige to match the existing home stucco color. The proposed windows and door will have an aluminum clad finish with "Portobello" color, which matches the main residence. A portal is proposed on the north elevation of the addition.

**STAFF RECOMMENDATION**

Staff finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

**APPLICANT PRESENTATION**

Natasha Ribeiro, 114 Camino De Las Crucitas was sworn. She thanked Board members and Ms. Lamboy for their time and effort.

Member Bienvenu said he was not clear on the materials for the portal.

Ms. Ribeiro said it will match the existing portal and is wood frame construction. She noted there were photos in the presentation.

Member Bienvenu confirmed the building is prefabricated and they intend to round the corners consistent with the corners on the main house. He asked if the windows will be inset from the exterior.

Ms. Ribeiro said they will be recessed 2 to 3 inches.

**PUBLIC HEARING**

There were no public comments.

**BOARD DISCUSSION**

**MOTION:** In Case 2023-006287-HDRB, 350 Hillside Ave., Member Aguilar Medrano moved to approve the application as submitted with the condition that the radius of corners match the existing residence, and the windows be recessed 2 to 3 inches to match the existing residence. The motion was seconded by Member Biedscheid.

Member Biedscheid questioned whether the case number as stated is 2022 since the agenda has 2023. Ms. Lamboy said she would check that.

Member Bienvenu asked a friendly amendment that the portal be wood.

Members Aguilar Medrano and Biedscheid accepted the amendment as friendly.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Biedscheid and Bienvenu voting in favor and none voting against.

**I. DISCUSSION ITEMS**

Ms. Lamboy announced City Hall will be on a two hour delay on February 15<sup>th</sup>, from 8 to 10 AM, due to road conditions. She said the project team on the scheduled Zoning Code update should still be here at 8 AM. And those who were not comfortable driving will have another option.

**J. MATTERS FROM THE BOARD**

Attorney Ruybalid reported there was an appeal on 330 Don Cubero on the combination stucco yard/wall/fence that was denied by the Board. The Governing Body overturned the Board's decision and approved the reconstruction of the latilla top on the yard wall.

Ms. Lamboy confirmed *2023-006237- HDRB* is the correct case number on the last case.

**K. NEXT MEETING: Tuesday, February 28, 2023**

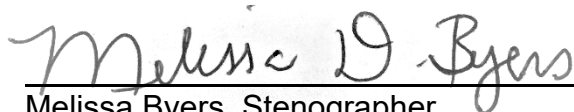
**L. ADJOURNMENT**

**MOTION:** Member Biedscheid moved, seconded by Member Aguilar Medrano to adjourn the meeting at approximately 7:48 pm.

**VOTE:** The motion passed by (3-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, and Bienvenu voting in favor and none voting against.

Submitted by:

Approved by:



Melissa Byers, Stenographer  
For Byers Organizational Support Services

\_\_\_\_\_

Cecilia Rios, Chair

# Exhibit I -- 2/14/2023 HDRB



## THE IMPORTANCE OF LOCAL HISTORIC PRESERVATION

Presented to the HDRB

February 14, 2023

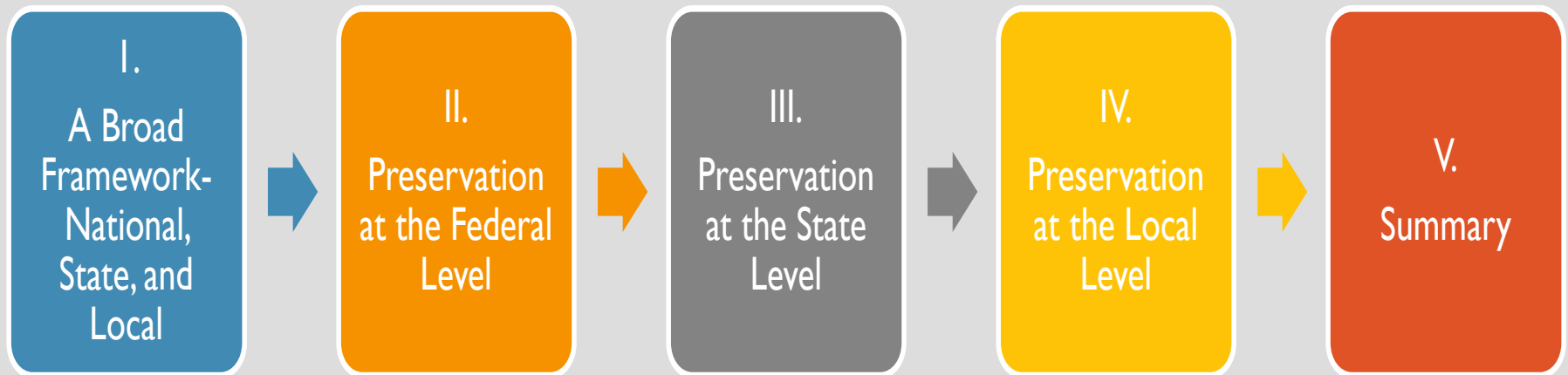
by Nicole A. Ramirez Thomas

## GOALS OF THE PRESENTATION

Distinguish the different levels of governmental protections for cultural resources

Demonstrate the relevance of a local ordinance and its potential to preserve

# PRESENTATION OUTLINE



I.  
A BROAD FRAMEWORK:  
FEDERAL, STATE, AND LOCAL

Federal Laws-

Protect historic properties on federal lands or projects funded with federal monies.

State Laws-

Protect historic properties on state lands or projects funded with state monies.

Local Laws-

Protect historic properties on local government land and have the authority to manage resources on private land.

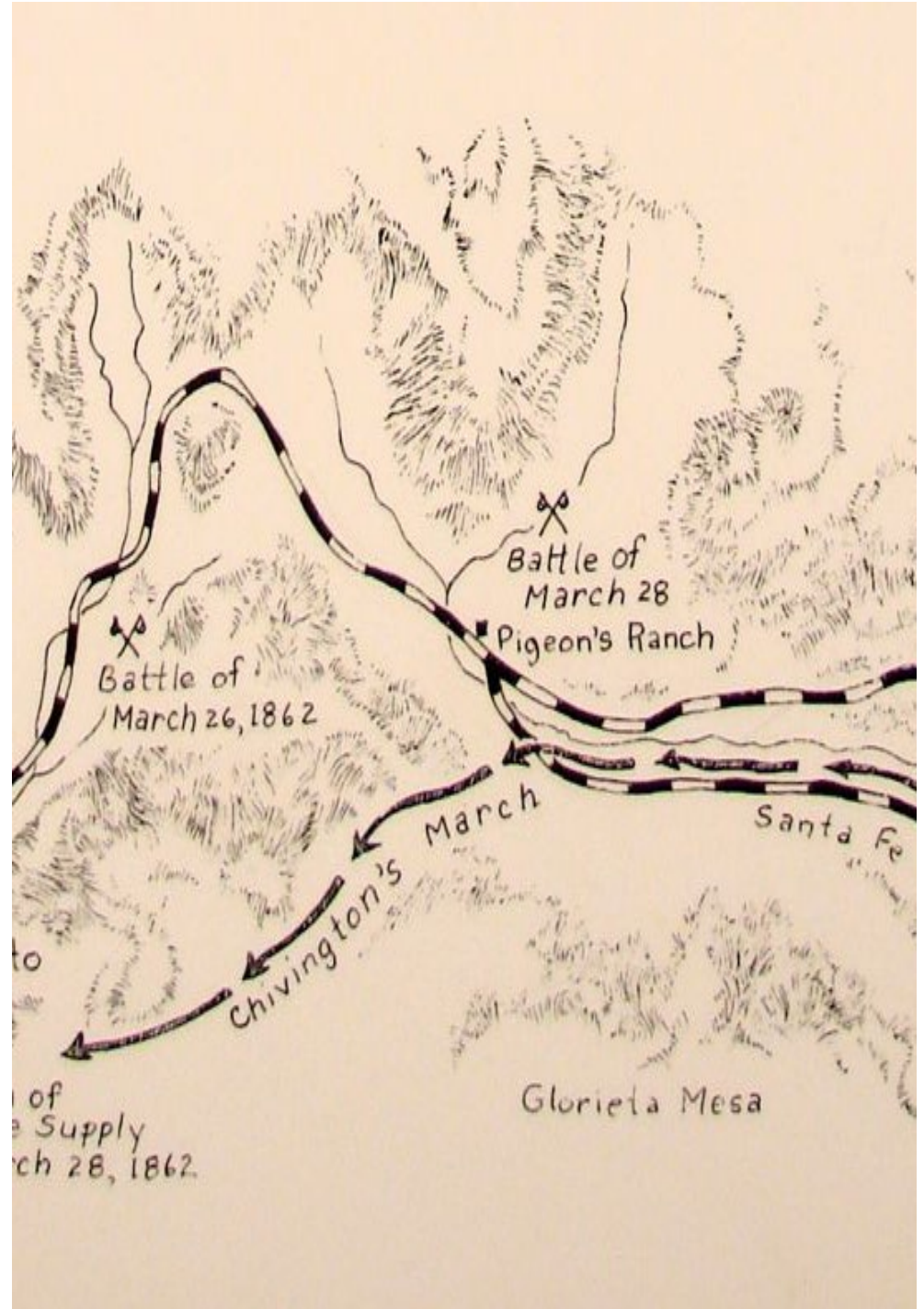
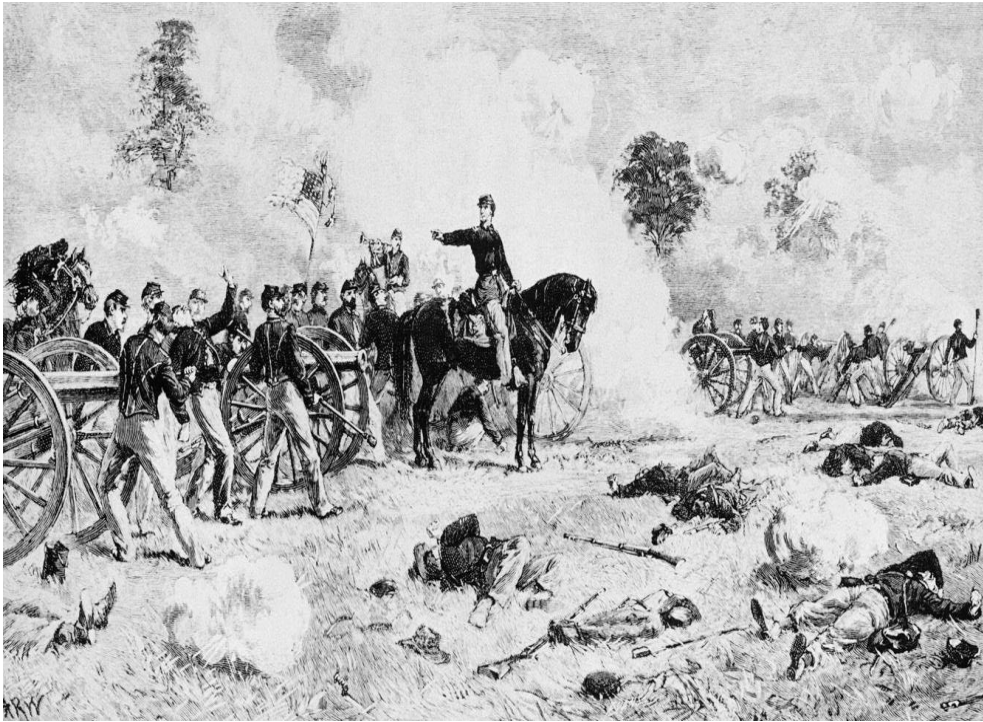
Federal Laws- Focus on historic resources significant to ***national history***



State Laws- Focus on historic resources that are significant to ***state history***



Local Laws- Focus on historic resources important to the ***local history***



## II. PRESERVATION AT THE FEDERAL LEVEL

National  
Historic  
Preservation Act

National  
Register of  
Historic Places

State Historic  
Preservation  
Offices

# National Historic Preservation Act

Became a law in 1966

Created to protect historic places  
and properties

Established leadership in preservation  
through support of several organizations  
and programs

Established federal agency responsibility  
to evaluate the effects of projects they  
undertake



NATIONAL  
HISTORIC  
PRESERVATION ACT

The programs established under **NHPA** do the following:

---

Provide a framework for stewardship on federally owned land.

---

Contribute to the preservation of non-federally owned historic properties.

---

Encourage public and private preservation.

---

Help States, local governments, and tribal organizations with their preservation program activities.

# NATIONAL REGISTER OF HISTORIC PLACES

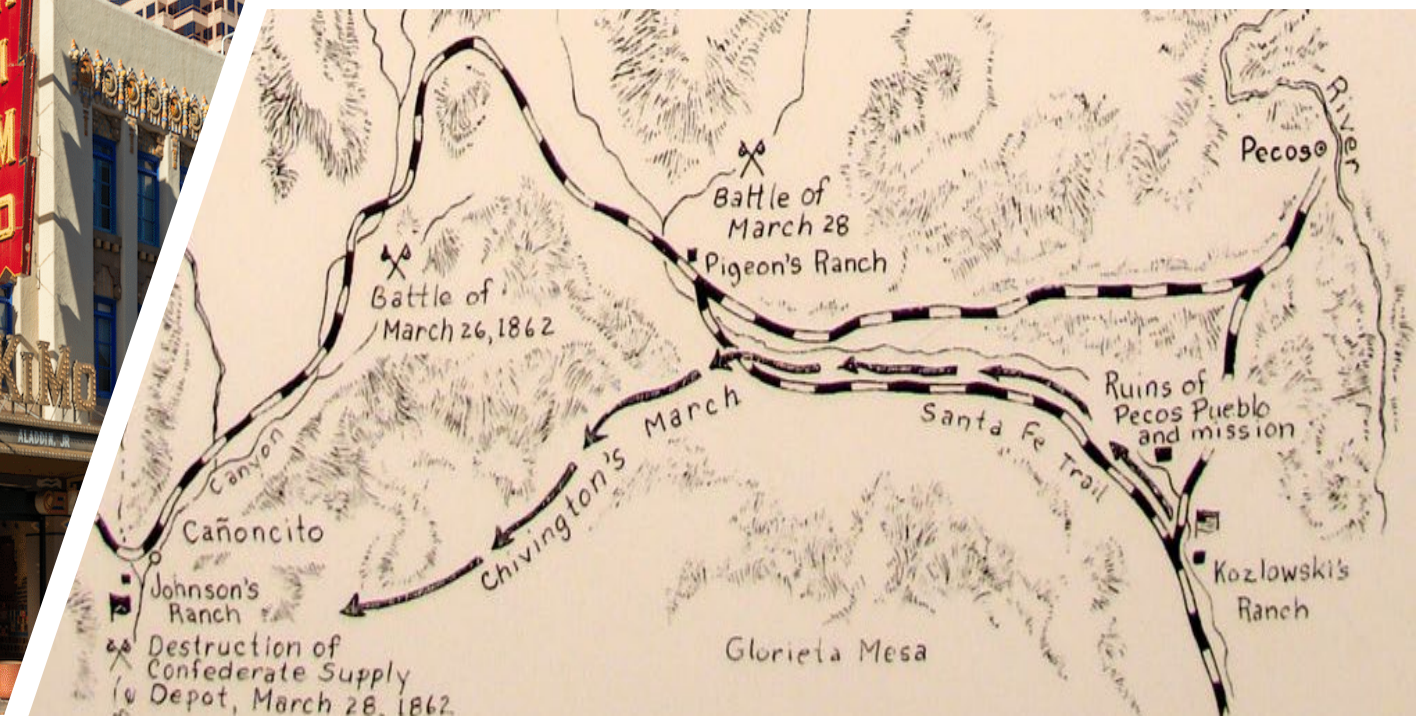
## NRHP Criteria:

- A. Events (e.g., Glorieta Pass Battlefield)
- B. Lives (e.g., D.H. Lawrence Ranch)
- C. Characteristics (e.g., KiMo Theatre)
- D. Yield important information  
(e.g., Bandelier National Monument)

The National Register of Historic Places (NRHP) is an official list of places worthy of preservation.

The program is intended to coordinate the national program with public and private efforts to preserve.

NRHP provides guidance documents and brochures for evaluating historic properties.



### III. PRESERVATION AT THE STATE LEVEL

**State Historic  
Preservation  
Officer**

**Certified  
Local  
Government**

# STATE HISTORIC PRESERVATION PROGRAMS

Establish a State Historic Preservation Officer (SHPO)  
to administer the State Historic Preservation Program.

Each state has a SHPO.

The SHPO is responsible for:

---

Working with Federal, State, and local agencies to conduct surveys  
and maintain inventories.

---

Identifying properties eligible to the NRHP.

---

Preparing and implementing a state historic preservation plan.

---

Administer federal grants and money.

---

Advise and assist Federal, State, and local governments with their  
preservation responsibilities.

---

Work at all levels to make sure historic properties are taken into  
consideration.

---

Provide public information, education, and training on  
preservation.

---

Work with local governments to establish preservation programs.

---

Consult with Federal agencies.

---

CERTIFIED  
LOCAL  
GOVERNMENT

Established to help local governments create ordinances and programs that support preservation of locally important historic properties, districts, and histories.

Santa Fe became a CLG in 1986.

## A CLG IS REQUIRED TO DO THE FOLLOWING:

Enforce State legislation for designation and protection of historic property.

Establish historic preservation review commissions.

Maintain a system of survey and inventory of historic properties.

Offers an opportunity for public participation in the preservation program.

Participate in NRHP nominations.

## V. PRESERVATION AT THE LOCAL LEVEL



WHY LOCAL  
PRESERVATION IS  
THE STRONGEST

---

It takes local resources and histories into account.

---

It preserves a sense of place.

---

It is more accessible to community than other levels of preservation.

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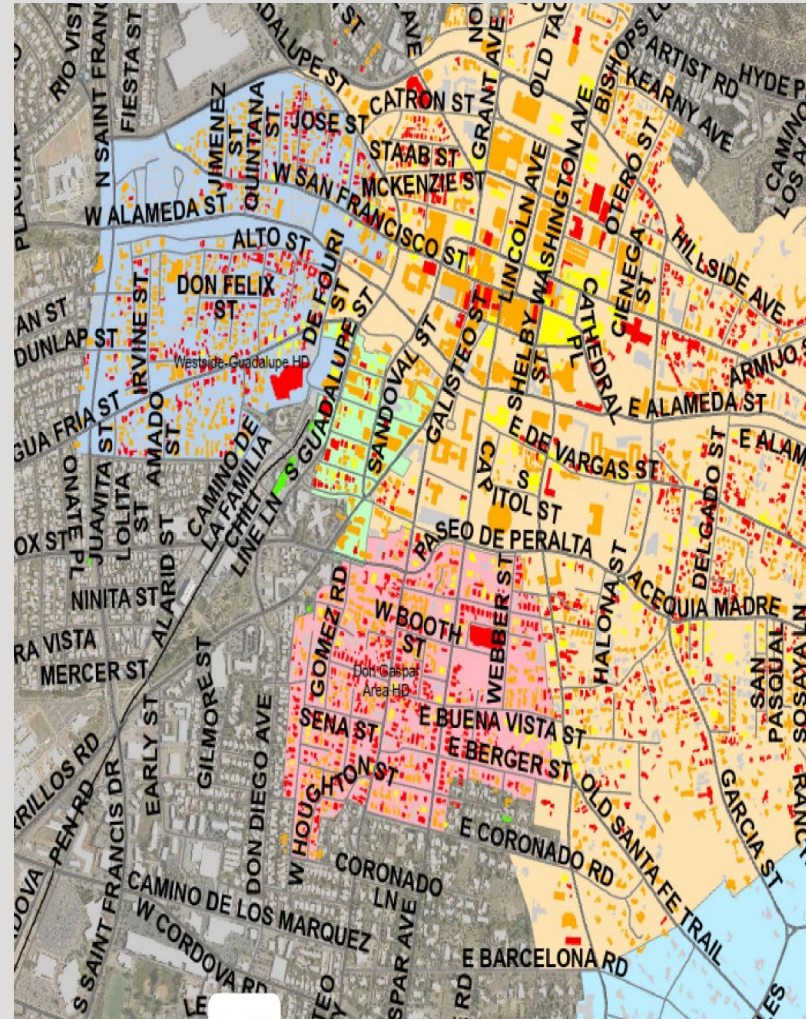
The Federal and State preservation laws look to foster and support local preservation; not control it.

# CITY OF SANTA FE ORDINANCE STRENGTHS

The historic districts take into account the history of development and character of Santa Fe.

Historic status designations allow for preservation of style and material.

The community has the opportunity to participate in preservation.



## IV. SUMMARY



# PRESERVATION AT EACH LEVEL OF GOVERNMENT



# REGISTERS AND DESIGNATIONS

## National Register of Historic Places (NRHP)

- Not Eligible
- Eligible
- Listed

## New Mexico State Register of Cultural Properties (SR)

- Not Eligible
- Eligible
- Registered

## City of Santa Fe Historic Status Map

- No Status
- Non-contributing
- Contributing
- Significant
- Landmark

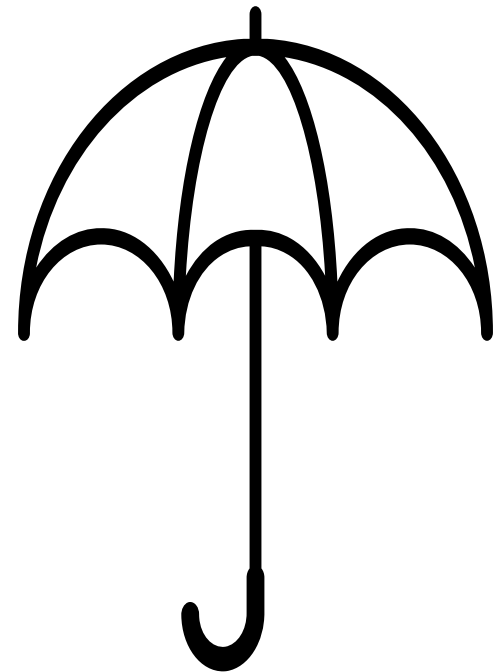
# PRESERVATION AT THE FEDERAL LEVEL

Applies to Federal lands.

- National Parks Service
- Bureau of Land Management
- Forest Service
- Federal Court House

Applies to projects funded by Federal monies.

- Federal Highway Administration Funds
- National Endowment for the Humanities
- Housing and Urban Development





**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2021-4458-HDRB**

**Address** – 111 Delgado Street

**Agent's Name** – Marc Naktin

**Owner/Applicant's Name** – Nancy Waight

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on April 12, 2022.

**BACKGROUND**

111 Delgado is a 2,869-sf, single-story building in Spanish-Pueblo Revival style with adobe walls, flat roof and parapets, designated contributing to the Downtown and Eastside Historic District. It is set back from the front property line at Delgado Street; most of its footprint sits in the southeast corner of the lot. There is a storage shed on the northwest corner of the lot, constructed of hollow clay structural tile and faced with stucco. A low stucco yard wall measuring 4’4” to 3’8” runs along the west boundary of the property. It has a gate leading to a concrete walkway.

The yard wall is at least 50 years old and contributes to the overall character of the district. The board at its January 28, 2021, hearing designated the building and yard wall contributing to the Downtown and Eastside District and the primary façades as the west façades (2 and 7), the south facade (1), and one of the two north façades (3).

The applicant proposed a remodel at the December 14, 2021, board meeting, which the board postponed for a comprehensive window assessment. The applicant returns to the board with a window assessment and proposed the following same alterations:

1. Convert the center window of three existing true-divided-lite casement windows on the west primary façade to a pair of French doors. The opening will be elongated and not widened. French doors will match existing French doors elsewhere on the building.
2. Add a stoop and an “eyebrow” above the French doors.
3. Add a 326-sf addition to the north elevation at the rear. It will match the existing façade in height and style and is located on the north side, facing away from the street.
4. Window replacement to match existing. The applicant proposes to replace all windows in-kind. The existing windows are historic true-divided-lite casements and vary in condition. The applicant has provided a comprehensive window assessment and photographs of each window and door.
5. Re-roof and raise the parapets on the southeast mass by 8 to 12 inches for

proper drainage where slopes are inadequate, causing leaks and standing water.

6. Remove the northern portion of the existing west yard wall to relocate existing parking spaces currently on the arroyo bridge. It would push back into the property a standard parking depth of 18'0" so that cars do not have to park on the timber bridge. The rebuilt portion will match the current in-kind, height and color of the adjacent remaining walls. The applicant states this will prevent the constant weight of three cars potentially jeopardizing the older wooden structure, which is designated historically contributing. The Applicant obtained a structural report for the bridge but is not pursuing replacement at this time.
7. Restucco to match existing cementitious stucco in color.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D), and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E), except for element # 4 of the project, described above, as exception criteria have not been met.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District, Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. Under SFCC Section 14-5.2(D)(5)(a)(i) and (ii), on primary façades, widening or narrowing an opening is not permitted, nor is it permitted to create a new opening where on presently does not exist.

10. The Staff determined that an exception would be required to SFCC Section 14.5.2(D)(5) (a)(i) and (ii), regarding the Applicant's proposal to convert a window on a primary façade (façade # 2) to a pedestrian entry door with a stoop and eyebrow. The Applicant requested this exception.
11. Under SFCC Section 14-5.2(D)(5)(a)(i), replacing a historic window on a primary façade when the historic windows can be repaired or restored is not permitted.
12. The Staff determined that an exception would be required to SFCC Section 14.5.2(D)(5) (a)(i), regarding the Applicant's proposal to replace historic windows throughout the structure, including those on primary façades. The Applicant requested this exception.
13. Staff did not recommend a finding that the Applicant met all the criteria for exceptions to Sections 14-5.2(D)(5)(a)(i), regarding window replacement on primary facades.
14. For proposed alterations to the historic, contributing yard wall, the Staff determined that an exception would be required to SFCC Section 14.5.2(D)(1)(a), regarding removal of historic material or alteration of architectural features that embody a structure's contributing, significant or landmark status. The Applicant requested this exception.
15. The Staff recommended a finding that the Applicant met all the criteria for an exception to Section 14-5.2(D)(1)(a), regarding alteration of the historic, contributing yard wall to create parking spaces to the east of the existing arroyo bridge.
16. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
17. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has not conclusively demonstrated that all exception criteria have been met with respect to project item # 1. The Board finds that in the existing configuration of the house there is a suitable entrance, and the Applicant has not demonstrated a hardship from the lack of an entrance on the westernmost, primary façade (façade # 2).
18. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has not conclusively demonstrated that all exception criteria have been met with respect to project item # 4. The Board finds that the windows on the primary façades (façades # 1, 2, 3 and 7) can be restored and/or repaired, and replacement of those historic materials is not necessary.
19. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has conclusively demonstrated that all exception criteria have been met with respect to project item # 6, alteration of the yard wall to permit cars to park on her property east of the arroyo bridge:
  - a. The alteration of the yard wall does not damage the character of the district; the Board notes that parking space adjacent to other houses on the east side of Delgado Street is situated east of the culvert, and 111 Delgado is the only location where cars have to park on the bridge over the culvert;
  - b. The alteration is necessary to prevent a hardship to the Applicant or an injury to the public welfare; the Board has considered a structural engineer's report that the decking and girders on the bridge show signs of deterioration, those structural components are overstressed from the concentrated load of cars parked on the bridge, and he recommended that use of the bridge as a vehicle parking space be discontinued; and

- c. The proposed alteration will strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.
20. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met with respect to project elements # 3, 5, 6 and 7; and that all applicable design criteria have been met with respect to project element # 4 as it applies to non-primary façades, but not as it applies to primary façades.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board denies the exceptions requested in the Application for project elements # 1 and 2 (new entry door with stoop and eyebrow on westernmost primary façade, façade # 2), and project element # 4 (replacement of windows on primary façades, façades # 1, 2, 3 and 7).
3. The Board approves project elements # 3, 5, 6 and 7, as set forth in the Application.
4. The Board approves the replacement of all windows on non-primary façades (facades # 4-6 and 8-14), with matching colors, in-kind materials and divided-lite pattern, and thus gives limited approval to project element # 4.
5. The Board approves the repair and/or restoration, but not replacement, of all windows on the primary façades of this structure.
6. The Board finds that exception criteria have been conclusively demonstrated with respect to project element # 6 (yard wall alteration), as recommended by Staff.
7. The Board approves the use of storm windows, at the Applicant’s discretion.

**IT IS SO ORDERED ON THIS 26<sup>th</sup> DAY of April, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6110-HDRB**

**Address** – 50 Mt. Carmel Rd., Santa Maria Building

**Agent’s Name** – Lisa Gavioli, JenkinsGavin

**Owner/Applicant’s Name** – Modern Elder Academy

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 24, 2023.

**BACKGROUND**

The Santa Maria building at the Modern Elder Academy’s Mt. Carmel Campus was designated as significant at the HDRB’s July 26, 2022, meeting (see Case # 2022-5477-HDRB). The HDRB found that the Santa Maria building has a high level of historic integrity, and is associated with events and persons that are important on a local and national level.

The Applicant has proposed renovations with the intent to preserve the integrity of the building, returning it to more of its original form through the removal of non-historic features. The Applicant proposes to replace non-historic windows with white, metal-clad, simulated divided-lite wood windows whose design is drawn from historic photographs. Exterior stairs to the south portal will be reconstructed, and a non-historic structure over a west façade stairwell will be redesigned and rebuilt. The Applicant proposes to re-open a historic portal on the south elevation, restore windows, re-stucco and install an ADA-compliant platform lift. A four-foot masonry yard wall is proposed between the Santa Maria and the adjacent San Juan buildings. A four-foot wrought iron fence will enclose a proposed courtyard area at the southeast corner of the Santa Maria building. The proposed four-foot yard walls are within the permitted height of 4’7”.

The south elevation portal was enclosed during the 1983 renovation, which also included wholesale window replacement. The Applicant is proposing replacement windows that are consistent with the original appearance of the building. The Applicant proposes to reopen the south elevation portal, thereby restoring the historic design of that façade. The scope-of-work letter from the Applicant describes the proposed work on the Santa Maria building as follows:

- 1) Replace non-historic windows with new, white metal-clad, simulated divided-lite wood windows.
- 2) Alter the sill height on two windows on the west elevation (SM-W140 and SM-W141).
- 3) Reconstruct exterior stairs to south portal, and add a new handrail to match the handrail at the proposed portal restoration.
- 4) Retain and refurbish two non-historic windows on east elevation, one non-historic window on the west elevation, and three non-historic windows on the south elevation.
- 5) Remove non-historic structure over stairwell at west façade, and replace with flat-roofed structure to match existing overhangs.

- 6) Refurbish and repaint handrail at west portal.
- 7) Refurbish existing iron handrail at entry stair, or replace handrail to match historic railing at west portal (with replacement only if stairs must be rebuilt due to failing concrete).
- 8) Restore existing exterior doors.
- 9) Remove non-historic storm doors from main north entry, and relocate the original north entry doors to the exterior front of the entry vestibule.
- 10) Refurbish existing cross atop bell tower feature, as seen on north elevation.
- 11) Remove non-historic security door from east elevation.
- 12) Restore and reconstruct historic portal on south elevation.
- 13) Re-stucco or patch and color coat the entire building in cementitious stucco, color similar to El Rey “Buckskin.”
- 14) Repair canales and replace missing downspouts.
- 15) Replace missing exterior wood trim and refurbish/repaint existing exterior white painted wood trim.
- 16) Install new HVAC units with screened, ground-mounted condensers, as shown on the site plan.
- 17) Install ADA-compliant platform lift at west portal, and raise a portion of the portal floor to be level with the entry, for accessibility.
- 18) Construct a new four-foot-high stuccoed masonry yard wall with metal pedestrian gates between the existing stone masonry wall at the southeast corner of the Santa Maria building and the southwest corner of the San Juan building. The proposed wall will be offset from the walls of both the Santa Maria and San Miguel buildings, and will be free-standing.
- 19) Install four-foot-high, wrought iron fencing around a proposed courtyard area near the southeast corner of the Santa Maria building.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and recommends findings that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(F), Historic Review District Design Standards; that the project complies with Section 14-5.2(D)(5) where historic documentation supported reopening the south elevation portal and window replacement; and the proposed renovation treatments will not negatively impact the building’s significant historic status.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC

Section 14-5.2(D), General Design Standards.

6. The property is located in the Historic Review District and is subject to the district design standards set forth in SFCC Section 14-5.2(F).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The Board finds that the windows, exterior doors, storm doors and security door to be replaced are non-historic. The Board finds that the structure over the stairwell on the west elevation is non-historic.
10. There is credible evidence that the portal on the south elevation originally was not enclosed, and that the enclosure of that portal is non-historic.
11. There is credible evidence that the sills of two west-elevation windows (SM-W140 and SM-W141) were previously altered, and the proposal to change the sill heights of those windows restores the window openings to their original sizes.
12. The Board finds that the renovations proposed for the Santa Maria Building do not compromise the significant status of this structure.
13. The information contained in the Staff Report, the exhibits, testimony and evidence submitted at the hearing establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1 through 19 as set forth in the Application, as recommended by Staff.

**IT IS SO ORDERED ON THIS 28<sup>th</sup> DAY of FEBRUARY, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic, City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid, Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6111-HDRB**

**Address** – 50 Mt. Carmel Rd., San Miguel Building

**Agent’s Name** – Lisa Gavioli, JenkinsGavin Design & Development

**Owner/Applicant’s Name** – Modern Elder Academy

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 24, 2023.

**BACKGROUND**

The San Miguel Building on the Mt. Carmel campus was constructed in the early 1960s in association with the Immaculate Heart of Mary Seminary. It was designated as contributing at the HDRB’s July 26, 2022, meeting (see Case # 2022-5477-HDRB). The purpose of the building was as a dormitory for priests; the building’s purpose will remain much the same, as it will provide lodging for students attending the Modern Elder Academy.

The scope-of-work letter from the Applicant describes the proposed work on the San Miguel building as follows:

- 1) Restore existing windows and doors, per recommendations in a window assessment presented to the Historic Districts Review Board.
- 2) Due to extensive deterioration, replace two doors (SMG-D102 and SMG-D103). On the east elevation, one historic door will be replaced in-kind. On the north elevation, one historic door will be replaced to match the door on the east elevation.
- 3) Remove non-historic screen door on west elevation (SMG-D100).
- 4) Re-stucco or patch and color-coat the entire building in cementitious stucco, color similar to El Rey “Buckskin.”
- 5) Repair canals and replace missing downspouts.
- 6) Replace missing exterior wood trim and refurbish/repaint existing exterior white painted-wood trim.
- 7) Replace in-kind missing or broken exterior hand railing components.
- 8) Repair stair between San Miguel and the Chapel.
- 9) Install new HVAC units with screened, ground-mounted condensers, as shown on the site plan.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(F), Historic Review District Design Standards. The Staff recommends a finding that the proposed renovation treatments will not negatively impact the building’s contributing historic status.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Historic Review District and is subject to the district design standards set forth in SFCC Section 14-5.2(F).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The Board finds that this project application is for the restoration of windows, not for the replacement of any windows.
10. The Board finds that the screen door on the west elevation is non-historic.
11. The Board finds that the exterior doors on the east and north elevations, for which replacement is proposed, are extensively deteriorated and cannot be repaired. The new door on the east elevation (SMG-D102) will match the door being replaced there in composition, design, color and other visual qualities. The door to be replaced on the north elevation (SMG-D103 at south-end, enclosed porch) is plain, uncharacteristic of the building’s style, and the replacement door will match the existing exterior doors on the building and the proposed new door on the east elevation.
12. The Board finds that the renovations proposed for the San Miguel Building do not compromise the contributing status of this structure.
13. The information contained in the Staff Report, the exhibits, testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

### **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project Items # 1 through 9, as set forth in the Application, as recommended by Staff.

**IT IS SO ORDERED ON THIS 28th DAY of FEBRUARY, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6237-HDRB**

**Address** – 346 Hillside Ave.

**Agent’s Name** – Richard Martinez, Martinez Architecture Studio, P.C.

**Owner/Applicant’s Name** – Martha Davis

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 10, 2023.

**BACKGROUND**

The property located at 346 Hillside Ave. contains both a single-family residence and a studio. The main residence is listed as contributing to the Downtown and Eastside Historic District, and the detached studio is listed as non-contributing to the Downtown and Eastside Historic District. The Board confirmed the historic status of the main house as contributing, and the studio as non-contributing, in a hearing December 13, 2022. (See Case # 2022-6142-HDRB.) The Board also designated as primary façades the north and west elevations, and the east elevation, excluding the flat-roofed kitchen addition.

The home was constructed around 1920 in a simplified craftsman bungalow style. The fenestration is symmetrical on the north façade, with a front door flanked by large windows. The roof is a hipped roof with asphalt shingles. The kitchen addition on the east elevation, constructed between 1948-1958, has a flat roof.

A sunroom on the south elevation existed prior to its removal in 2004 (see Case # 04-35). This addition was removed, but the addition which was approved in 2004 was never built. At that time a non-historic portal on the north elevation which connected to the kitchen was removed. The rear door “floats” and it is likely that there were concrete stairs similar to the ones further east on the south elevation that led to the backyard. A tall wall on the west elevation connects the residence with the studio, which was likely a garage.

The Applicant now proposes the following exterior alterations to the main residence:

- 1) An expansion of the kitchen on the east elevation by 182 square feet;
- 2) A bathroom addition on the south elevation of 101 square feet;
- 3) A 494-square-foot portal addition on the south elevation; and
- 4) A deck and stone planters on the south elevation.

The following exterior renovations are proposed to the studio:

- 1) Removal of the existing 78-square-foot freestanding portal south of the studio;
- 2) A 230-square-foot addition on the south elevation; and
- 3) A portal on the south elevation attached to the new addition.

The character of the proposed renovation treatments is divergent from the historic character of the main residence. Unique architectural features on the historic building speaks to the place and time it was built as in the 1920s the bungalow was a very popular building type. This structure does not express what is described in the Downtown and Eastside design standards as a contributing building and the standards associated with additions set forth in Section 14-5.2(D)(2)(a). The proposed windows and doors do not illustrate compatibility with the historic windows and doors on the residence.

Relative to the studio, the architecture of the proposal is very modern in nature and is not of “Old Santa Fe Style” or “Recent Santa Fe Style.” The cantilevered portal element and large glass doors on the south elevation are inconsistent with the design standards set forth for buildings in the Downtown & Eastside District.

It is the opinion of Staff that, as designed, the proposed additions will impact the overall architectural integrity of the building and could threaten the contributing status of the residence.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff found that the application complies with Section 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards. Staff did not find that all the criteria have been met regarding additions to contributing buildings, but the Board may find that they have upon further testimony.
4. The main residence is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown & Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.

8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The Board finds that the proposed alterations will not cause the main residence to lose its contributing status. The project does not involve the removal of historic materials or alteration of architectural features and spaces that embody the structure’s contributing status. The additions to the main residence attach to non-primary façades, are not within 10 feet of a primary façade, and do not exceed 50 percent of the square footage of the existing, historic footprint.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project Items 1 through 4 of the alterations to the main residence, as recommended by Staff.
3. The Board approves project Items 1 through 3 of the alterations to the studio, as recommended by Staff.

**IT IS SO ORDERED ON THIS 28th DAY of FEBRUARY, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6214-HDRB.**

**Address** – 608½ Camino de la Luz

**Agent’s Name** – Antoine El-Khoury

**Owner/Applicant’s Name** – Shelley Gill

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on January 10, 2023.

**BACKGROUND**

608½ Camino de La Luz is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The house consists of an original casita in the Territorial style (date unknown) and a two-story Spanish-Pueblo Revival addition with two-story porch in the 1980s.

The applicant proposes the following exterior modifications:

- 1) Replace all existing windows and exterior doors; new windows and doors to be aluminum-clad exterior in bronze with true divided lites;
- 2) Spray insulating foam on entire structure exterior walls, and apply new exterior elastomeric stucco, in Pueblo # 42 color;
- 3) New BRAI roof in the color “Tan”;
- 4) Add parapets as dimensioned on proposed south elevation drawing H 3.1; no height exception is required as height does not increase;
- 5) Add (6) canales as indicated on proposed west elevation drawing H 3.3;
- 6) Add round wood posts and cross beams to existing lower level and upper level South portal; the wood stain color will be “Old Masters, Natural Walnut”;
- 7) New iron railing on south upper portal and on the north deck, simple black hammered iron railing caps, 1/2” square balusters, and vertical posts;
- 8) Remove existing portal on the south of the casita and replace with new portal which will have round wood posts and a cross beam to match the main house south portal; the wood will be stained with “Old Masters, Natural Walnut”;
- 9) Reconstruct existing yard walls on south side of main house entry area;
- 10) New gate and coyote yard wall at the south property line in front of the casita; and
- 11) New exterior steps leading from parking area outside of casita to entry yard area of the main house.

**FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC

requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

2. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and a finding that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
5. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b) and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
6. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions imposed by the HDRB, as described below.
9. The evidence is that the windows and door on the south façade of the casita are historic, original to the structure, and should be preserved.

### **CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the project, Items 1 through 11, as listed above, and as recommended by Staff, with the following additional conditions:
  - a. The existing windows and door be retained on the south façade of the casita.

**IT IS SO ORDERED ON THIS 14<sup>th</sup> DAY of February, 2023, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios  
Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

**City of Santa Fe  
Historic Districts Review Board  
Findings of Fact and Conclusions of Law**

**Case # 2022-6060-HDRB**

**Address** – 1160 Camino de Cruz Blanca (St. John’s College)

**Agent’s Name** – AOS Architects/Mass Design Group

**Owner/Applicant’s Name** – Shaun Evans

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022. A preliminary design presentation and informal review for an earlier version of this proposal took place before the Board on September 13, 2022.

**BACKGROUND**

The Peterson Student Center at St. John’s College was designed by the architectural firm of Holien and Buckley and constructed in 1963-64 in a mid-century Territorial Revival Style. Holien and Buckley also developed the campus master plan. John Gaw Meem, who served as a consulting architect, described the modern interpretation of Territorial Revival Style as a reflection of historic precedent but also a new phase of the style. Meem noted that while the number and size of windows far exceeded that typically found in traditional Territorial Revival Style, walls still dominate rather than openings.

There were many functions planned for the Peterson Student Center, which includes a great hall for lectures and events, campus bookstore, coffee shop, and a student dining room. Architectural detailing includes brick parapets, cast-concrete columns, lintels and sills, and metal doors and windows. The 45,653-square-foot building is composed of terraced rectangular masses, and the main entrance faces a plaza on the east side of the building. On March 14, 2017, the HDRB designated the Peterson Student Center as significant, which results in all façades being treated as primary.

The Applicant is proposing additions on the north, south and east elevations as well as improvements to improve ADA accessibility. In addition to the enclosure of the east elevation portal, the southern portion of the east elevation was impacted by the grade changes in association with the construction of Levan Hall, and a stairway providing egress from the second floor to the ground was removed. The Applicant is seeking to reintroduce the stair as part of the addition proposed on the east elevation.

The existing portal on the east elevation was enclosed after the construction of the Peterson Center and represents a non-historic change to the façade. The proposed addition on the east elevation helps to reestablish a portal on that façade as historically designed, adds a stair that was originally part of the façade, and provides for additional enclosed space on the second floor. In the opinion of staff, the proposed changes to the east elevation are consistent with the character of the building while not replicating the historic design. Staff has no objection to the east-elevation addition.

A single-story addition on the south elevation is proposed in the place of the existing space known as the Schepps Garden. The addition will be constructed in a manner that it can be removed in the future to restore the historic elevation and is designed to avoid impact to the existing windows on the east and west courtyard elevations. Staff has no objection to the proposed addition on the south elevation.

With reference to the proposed addition on the northeastern corner of the Peterson Center to accommodate for a bookstore expansion, staff has concerns. While there are considerations regarding the preservation of historic murals and design elements on the interior of the building, this portion of the façade represents a major impact to the appearance of the gateway to the St. John’s campus. The north elevation has defining features of the building, which includes a building stepback, concrete columns and unique fenestration that was contemplated with the original design.

Per SFCC Section 14-5.2(C)(5), the Staff shall determine whether an exception to this section is required. The Staff determines that the following exceptions are required for the approval of this project:

Exception to Section 14- 5.2(D)(1)(a), to remove historic materials or to alter architectural features and spaces that embody a structure’s contributing status.

Exception to Section 14-5.2(D)(2)(c), to construct additions on primary façades or principal faces or elevations of a building with features that define the character of the building’s architecture.

Exception to Section 14-5.2(D)(5)(a)(i), to replace historic windows on a contributing structure that are not duplicated in size, style and material of the original.

Staff recommended approval of these exceptions for the proposed additions and associated landscaping treatments on the east and south elevations. The Staff did not recommend approval of the proposed bookstore addition because it does not comply with Section 14-5.2(C)(1)(d), requiring that new additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

### **FINDINGS OF FACT**

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval for the proposed additions and associated landscaping treatments on the east, and south elevations but did not recommend approval of the proposed bookstore addition because it does not comply with Section 14-5.2(C)(1)(d). Staff found that exception criteria were met for the proposed additions on the east and south sides as well as ramp, landscape, and entry door improvements in order to comply with the Americans with Disabilities Act (ADA). Staff did not find that all the exception criteria have been met for the bookstore addition but found that the Board may find that they have upon further testimony. Otherwise, staff recommended approval of the application as it complies with SFCC Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(F), Historic Review District.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Historic Review District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(F).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(1)(a), the status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.
9. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted to primary façades of contributing, significant or landmark structures.
10. Under SFCC Section 14-5.2(D)(5)(a)(i), on all façades of significant and landmark structures, historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original, and no opening shall be widened or narrowed.
11. Under SFCC Section 14-5.2(C)(1)(d), new additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.
12. The Applicant proposes to construct an addition on the north-, east-, and south-facing façades on a significant building. These façades are the principal faces or elevations of a building with features that define the character of the building's architecture.
13. Staff determined that exceptions to SFCC Sections 14-5.2(D)(1)(a), 14-5.2(D)(2)(c) and 14-5.2(D)(5)(a)(i) would be required for approval of the Application, and the Applicant requested these exceptions.
14. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.

15. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has conclusively demonstrated that all exception criteria have been met:
  - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exceptions would not damage the character of the district because: the continued viability of St. John’s College, a significant asset to the community, will be facilitated in part by the expanded use of the Peterson Student Center; the reconstruction of an exterior stairway to the second-floor balcony of the Student Center is a re-creation of an architectural feature that was part of the original design but later removed;
  - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exceptions are required to prevent a hardship to the Applicant or an injury to the public welfare because: egress from the Peterson Center is not fully ADA compliant, the Fire Code limits the use of an upstairs reception area in the absence of an exterior stairway from the second-floor balcony, and the proposed additions will remediate these issues; the additional space created by this project will eliminate the need to use existing interior spaces to expand the bookstore and restroom facilities, which would compromise historic elements by renowned interior designer Alexander Girard; and
  - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure the continued use of buildings in the historic districts: this project permits students to have a central location for college-related activities while retaining important, historic elements of the building; options to locate these new features elsewhere have been exhausted or considered and ruled out.
16. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
17. The Board finds that these proposed alterations will not cause this structure to lose its significant status, and does not involve the removal of historic materials or alteration of architectural features and spaces that embody its significant status. The Board notes that the building has maintained its significant status despite multiple prior additions and/or alterations, and that this project includes the reconstruction of an original architectural element (exterior stairway to the second-floor balcony) that had been removed.
18. The Board finds that the bookstore expansion on the northeast corner of the building is not prohibited by SFCC Section 14-5.2(C)(1)(d), which requires that new additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired. The Board finds there is no realistic likelihood that this new addition will be removed during the lifetime of the building.
19. The exterior project elements described as “Landscape Modifications” in the Applicants’ proposal letter, dated October 7, 2022, are not controlled by Historic District design standards, need not be reviewed and/or approved by the Board, and may be approved administratively.

20. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
21. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

**CONCLUSIONS OF LAW**

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. Subject to Governing Body approval of exception recommendations, per SFCC Section 14-5.2(C)(5)(b), the Board approves project application # 2022-006060 as set forth in the Application, including:
  - a. Bookstore Addition of 913 square feet, height of 13’8”, on northeast corner, with additional 465 square feet of covered portal;
  - b. East Entry Addition of 468 square feet, two-story, height of 23’6”, with additional 687 square feet of covered exterior portal and 1,305 square feet of uncovered exterior improvements (stairway, ramp and planters); and
  - c. South Court Addition of 990 square feet, height of 11’11”, with additional 198 square feet of covered exterior portal.
3. The Board recommends to the Governing Body of the City of Santa Fe that it approve the exceptions requested in the Application.

**IT IS SO ORDERED ON THIS 13<sup>th</sup> DAY of DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.**

\_\_\_\_\_  
Cecilia Rios, Chair

\_\_\_\_\_  
Date

FILED:

\_\_\_\_\_  
Kristine Bustos-Mihelcic  
City Clerk

\_\_\_\_\_  
Date

APPROVED AS TO FORM:

\_\_\_\_\_  
Frank Ruybalid  
Assistant City Attorney

\_\_\_\_\_  
Date

# City of Santa Fe, New Mexico

# memo

**DATE:** February 14, 2023  
**TO:** Historic Districts Review Board Members  
**FROM:** Heather Lamboy, Assistant Director, Planning & Land Use

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Case # 2022-006113-HDRB

Address: 50 Mt. Carmel, Yard Wall & Entry Gate  
Historic District: Historic Review

**REFERENCE ATTACHMENTS (Sequentially):**

**CITY SUBMITTALS**

- District Standards & yard wall  
& fence standards.
- Landscape Plans submitted to Board of  
Adjustment for Special Use Permit
- Zoning Review Sheet
- Other:

**APPLICANT SUBMITTALS**

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

**STAFF RECOMMENDATION:**

Staff recommends approval of the proposed yard wall and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, Section 14-5.2(D)(9) Height Standards, and 14-5.2(F) Historic Review District Design Standards.

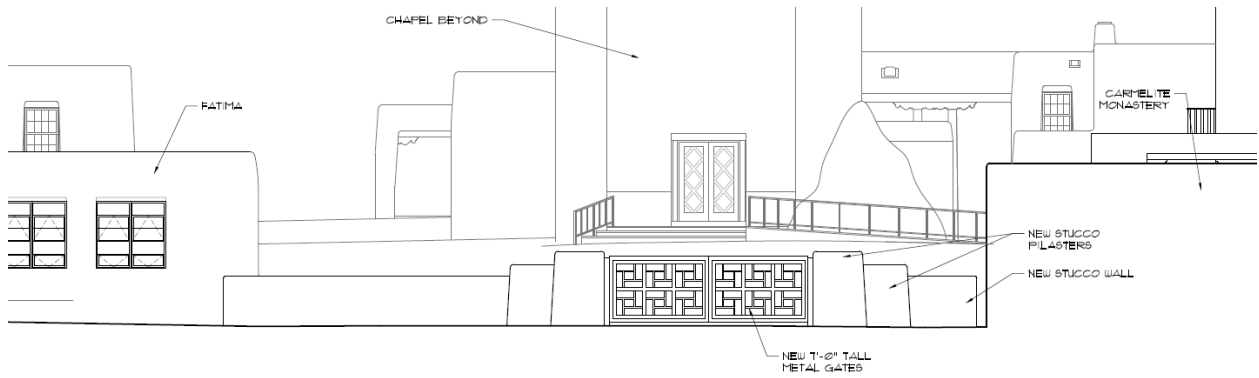
Staff defers to the HDRB regarding the proposed metal gate and whether it complies with Historic Review District standards.

**BACKGROUND & SUMMARY:**

**Resubmittal for the 2/14/2023 HDRB:**

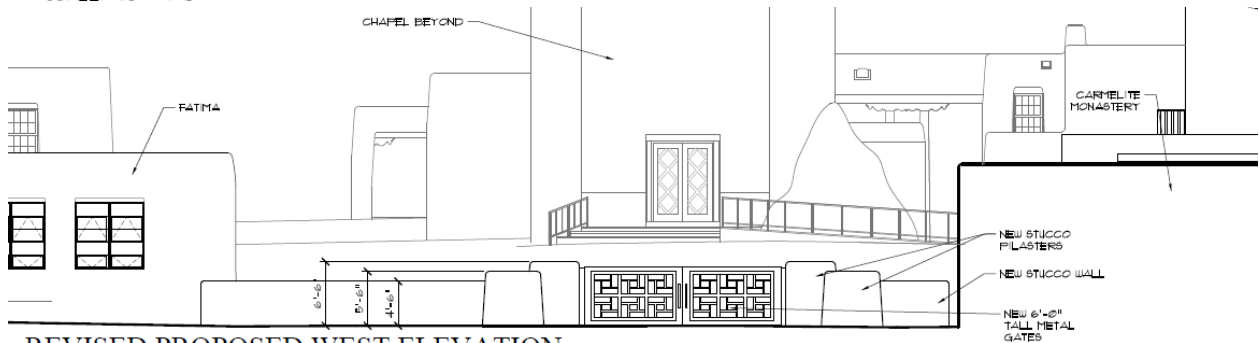
The applicant has redesigned the wall in response to comments made at the January 24, 2023 HDRB meeting. The two issues that were discussed related to the design and material of the vehicular gate as well as the height of the yard wall and gate.

In response to the concerns that were raised, the applicant has redesigned the proposed wall and gate. The height of the yard wall has been lowered to 4'6" from 5'. The pilasters have been widened and are 5'6" and 6'6" tall. The proposed metal gate has been reduced from 7'6" to 6'.



**PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**REVISED PROPOSED WEST ELEVATION**

SCALE: 1/8" = 1'-0"

Furthermore, the pilasters have been refined and provide a more gradual step up to the vehicular gate. As illustrated in the drawing, the lower wall and gate provides for a more prominent view of the Chapel beyond.

Relative to height, in this case, as the proposed wall is not located on a public right-of-way, Section 14-5.2(D)(9) applies, where within the 300' diameter, the way may be no higher than the tallest wall. The tallest wall is over 9 feet. The underlying zoning and use permits a height of 8 feet. As set forth in Chapter XIV, the stricter provision applies. The proposed 4'6" wall, and corresponding 6-foot gate, are all below the maximum height for this site.

Photographs of the inspiration for the gate design has been provided. The applicant states that the gate will have a custom "layered antique finish."

**From January 24, 2023 Staff Report:**

The Modern Elder Academy is proposing to change the existing Mt. Carmel auto-oriented campus to a pedestrian-oriented campus; where roads exist in the center of the campus adjacent to the Fatima, Chapel, San Miguel and Santa Maria buildings and in front of the San

Juan building will be converted into pedestrian walkways and landscaped areas. The applicant proposes innovative stormwater management through the construction of “acequias” that traverse the site.

The applicant submitted a tree preservation plan, and landscape plan, a site plan and elevations. The applicant states that the yard wall and gate were carefully designed to not impact the view of the Chapel’s mural. The yard wall be free-standing and will not touch any existing historic building (Fatima and the Carmelite building).

A utility easement crosses the site in an east-west direction, and the applicant has designed the landscape in a manner that utility repair vehicles can access that core area.

Staff requested a material sample of the proposed metal gate; the applicant responded that the sample will be provided at the HDRB meeting. Staff requests that the board review the proposed gate to determine whether it is consistent with the Historic Review District design standards.

**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

**14-5.2(F) Historic Review District**

(1) Applicability

(a) The division shall review and approve or deny all applications for new construction, exterior alteration, and demolition of structures in the historic review district in accordance with the standards set forth in this section.

(b) The historic districts review board shall review and approve or deny new construction of commercial, residential multi-unit, public structures , and those structures requiring the Board's review as specified in Subsection 14-5.2(D)(9)(a). Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review.

(2) District Standards

(a) The following structural standards shall be complied with whenever exterior features of buildings and other structures subject to public view from any public street , way, or other public place are erected, altered, or demolished:

- (i) Slump block, stucco, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry units or unstuccoed cement shall not be used as exterior wall materials; and
- (ii) The color of stuccoed buildings shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and portals may be emphasized by the use of white or other colors or materials. Painting of buildings with bold repetitive patterns, or using buildings as signs is prohibited.

(b) It is intended that buildings be designed to be " wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, and hipped roofs can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and hipped roofs are only allowed if sufficient evidence is provided by the applicant showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related streetscape , as viewed when standing in the public street in front of the site. The height of the roof above the wall shall be no greater than the height of the walls . Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.

(c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public street , way, or other public place, solar equipment shall be screened as follows:

- (i) Raising the parapet;
- (ii) Setting back from the edge of the roof;
- (iii) Framing the collector with wood;
- (iv) In pitched roofs, by integrating the collector into the pitch;
- (v) In ground solar collectors by a wall or vegetation;
- (vi) In wall collectors or greenhouses , by enclosing by end or other walls ;
- (vii) Other means that screen the collector or integrate it into the overall structure . Non-glare materials shall be used in solar collectors.

(d) Roof-mounted mechanical, electrical and telephone equipment and other obtrusive structures shall be architecturally screened with opaque materials by raising the parapet, boxing in the equipment or other appropriate means. The equipment shall be of a low profile to minimize the screening problem.

(e) No cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in freestanding walls .

(f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure . Solid wall space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment as provided in Subsection (F)(2)(c) of this section and under portales. The mass elements that make up the building composition shall appear as single blocks. Buildings with ground coverage of over twenty thousand 20,000 square feet and over one story shall be designed to appear more as an aggregation of smaller " building blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)

(g) Walls and fences visible from the street shall be built of brick, adobe , rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street .

(h) When parking spaces are required for commercial or multi-family residential buildings , they shall be placed to the rear or side of the building . When parking areas are visible from the street , they shall be screened from view by walls , fences, vegetation, planters, earth berms, or other means.



**JENKINSGAVIN**  
LAND USE | PROJECT MANAGEMENT

February 6, 2023

Heather Lamboy, Assistant Director  
Land Use Department  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87501

**RE: Modern Elder Academy, 50 Mt. Carmel Road  
Addendum Letter - Proposed New Yard Wall and Entry Gate**

Dear Heather,

This letter is submitted on behalf of Modern Elder Academy / Santa Fe RC2, LLC (“Applicant”) to supplement the previously submitted application to the Historic Districts Review Board (“HDRB”) for review of a proposed entry gate and yard wall located at 50 Mt. Carmel Road (the “Property”). At the January 24, 2023, hearing of the HDRB, additional information was requested in order to provide more clarity about materials and design of the proposed gate and wall.

#### Entry Gate and Wall – Revised Proposal

In response to Board discussion and concerns raised, the project design team gave additional consideration to the height of the proposed wall and gate elements, to the materials to be used in gate fabrication, and to the profile of the gate design. In addition, Historic Preservation Division staff measured the heights of surrounding walls within a 300-ft radius, as suggested by the Assistant City Attorney. According to staff, the maximum height within 300 feet of the proposed gate location is 108 inches, and the average is 64 inches. Per 14-5.2(D)(9)(a)(ii)(D), the maximum height of the proposed yard wall cannot exceed the maximum height of other yard walls in this area. Therefore, any proposed yard wall of equal to or less than 108 inches would not require an exception, per the Applicant’s discussion with Historic Preservation staff.

The purpose of the proposed yard wall and gate will be to provide more privacy between MEA’s use of its property and the adjacent Carmelite Monastery and to clearly delineate the pedestrian zone through the heart of the MEA campus. As previously submitted, the Applicant proposed a new 5-ft high stuccoed masonry yard wall with pilasters and 7-ft high metal gates in a location between the southwest corner of the Fatima Building and the north wall of the Carmelite Monastery. Upon further consideration, the design team has revised the wall height to 4-ft-6-in. The pilasters heights were lowered to 5-ft-6-in and 6-ft-6-in, flanking the 20-ft wide bi-leaf gate opening, and the proposed gate height was lowered to 6 feet. The wall and pilasters will be stuccoed in cementitious El Rey “Buckskin” (or similar), and the gate material will be steel in a custom layered antique finish. A material sample is provided for the Board’s consideration.

The 20-ft wide gates in a Meem-inspired design will provide emergency access into the central part of the campus as needed but would otherwise remain predominantly, except for special events that will be open to the public. Pedestrian gates are also included in the design to provide ease of access for retreat guests and staff. The proposed walls will not directly connect to the monastery walls or the Fatima building and will be free-standing.

Please let me know if you have any questions or require any additional information.

Sincerely,

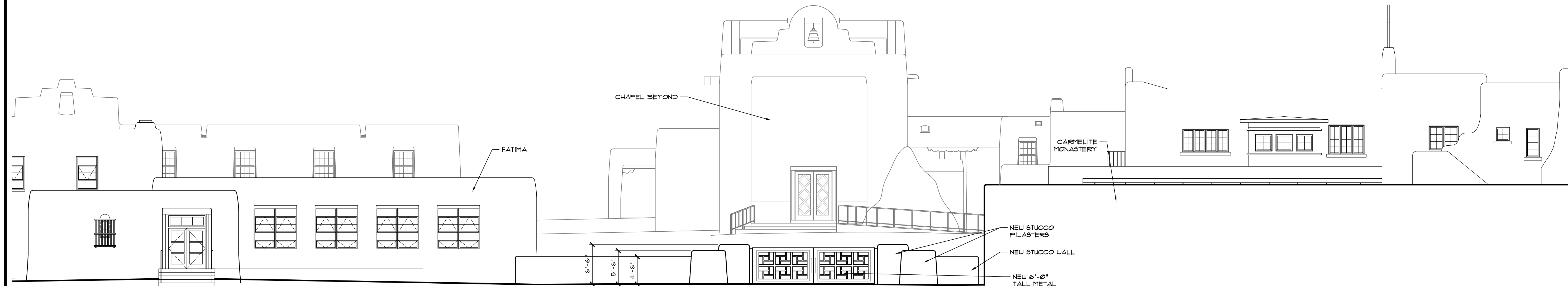


Lisa Gavioli  
Senior Project Manager  
**JENKINSGAVIN, INC.**

Attachments:

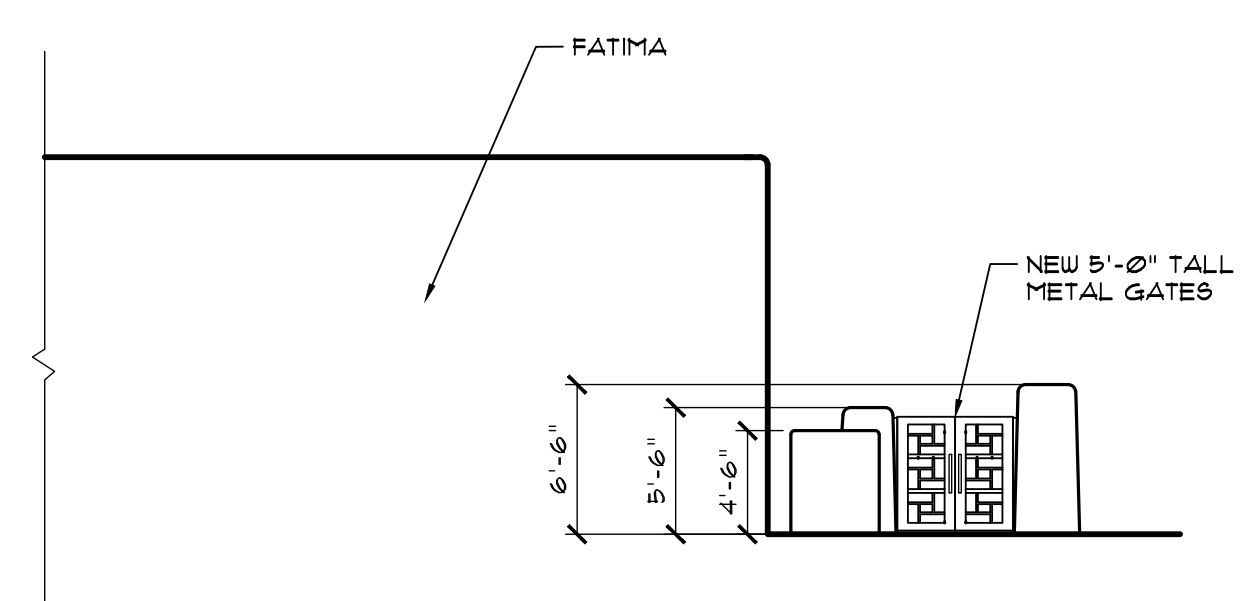
- 1) Revised Proposed Entry Gate and Wall Plan and Elevation Drawings (Sheet A-1)
- 2) Original Proposed Entry Gate and Wall Plan and Elevation Drawings (Sheet A-2)
- 3) Gate Details (Sheet A-3)
- 4) Photos of Proposed Gate Location and Gate Design Inspiration

Drawing  
Set  
Submitted  
2/6/2023



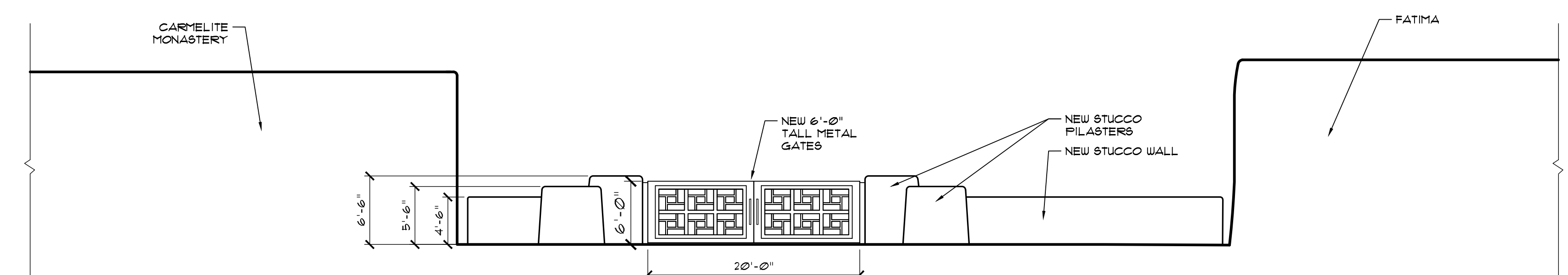
REVISED PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



REVISED PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



REVISED PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS- NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

**M|E|A**  
SUNMOUNT

ENTRY WALL  
& GATE

50 Mt. Carmel Road  
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 02/01/23

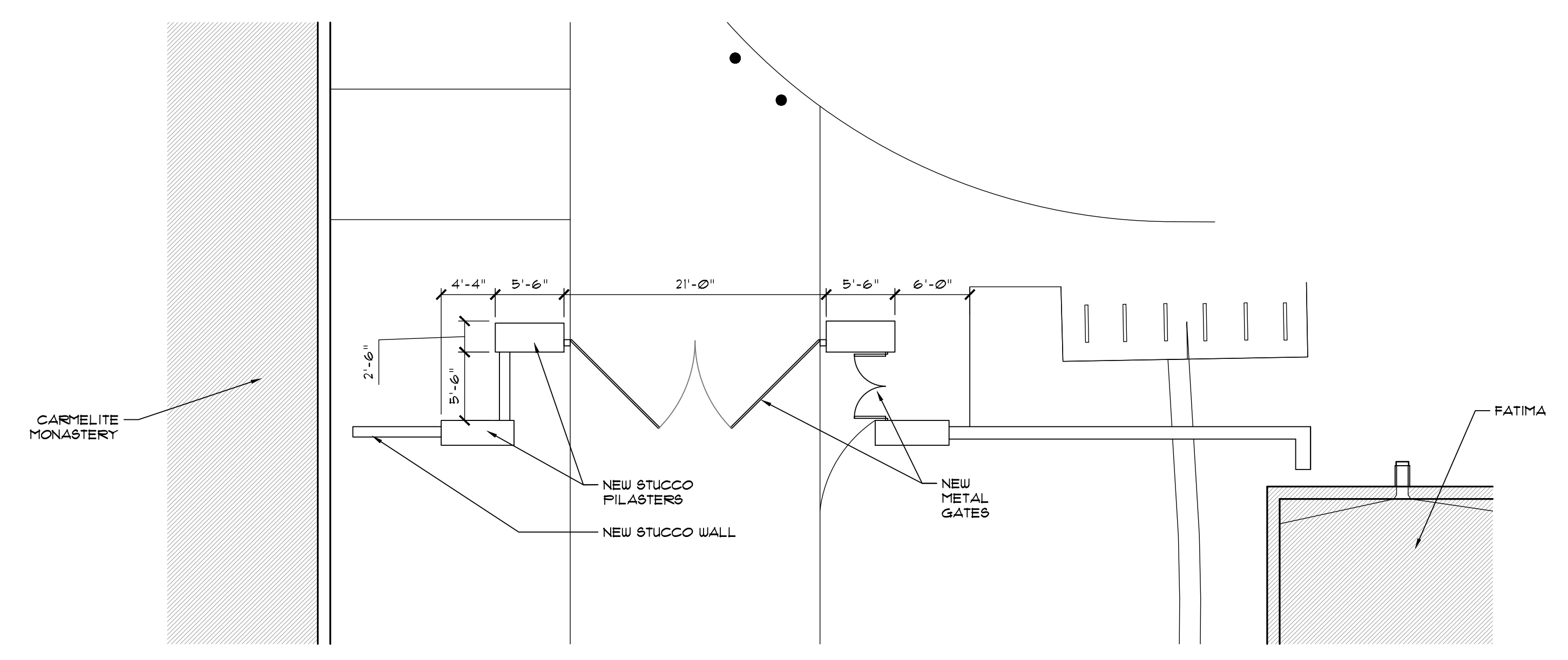
DRAWN BY HR DATE 02/03/23

SHEET TITLE

REVISED  
PROPOSED  
PLAN &  
ELEVATIONS

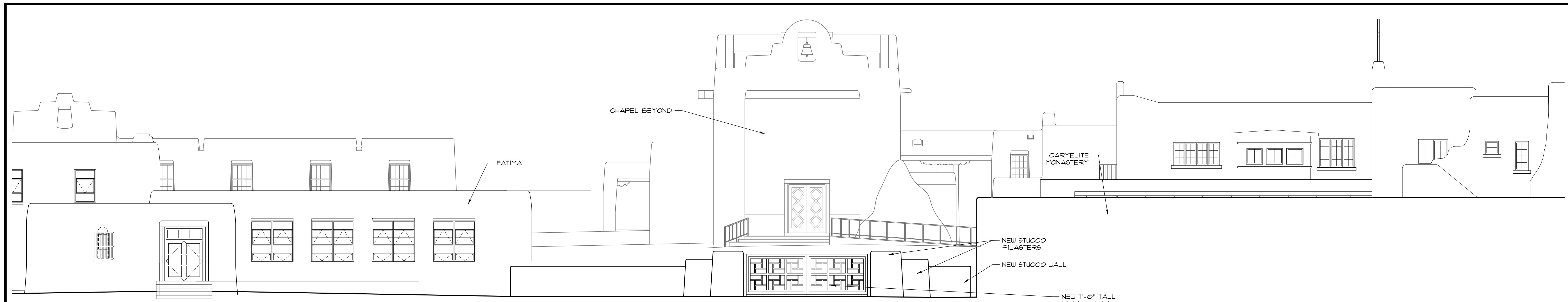
SHEET NO.

**A-1**



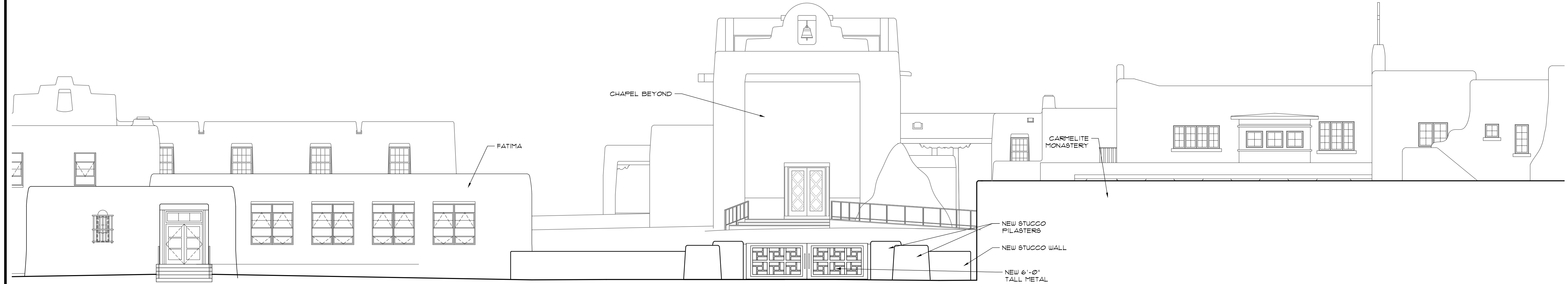
PROPOSED PLAN - YARD WALL AND GATES

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



REVISED PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

**M|E|A**  
SUNMOUNT

ENTRY WALL  
& GATE

50 Mt. Carmel Road  
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 02/01/23

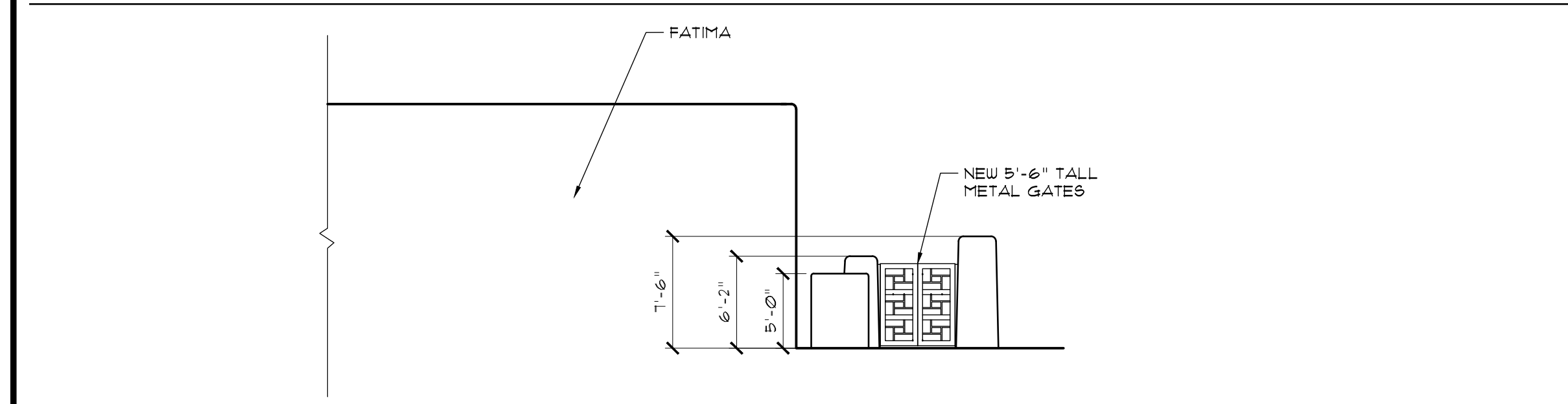
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SHEET TITLE

ORIGINAL &  
REVISED  
PROPOSED  
ELEVATIONS

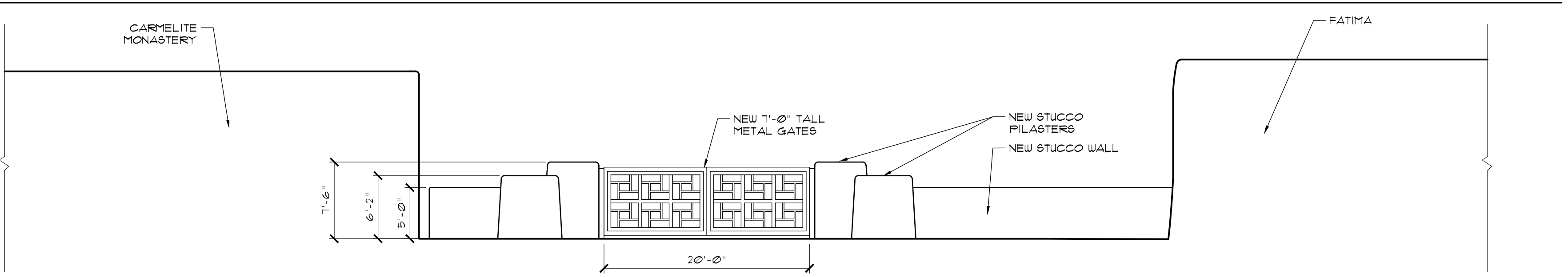
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**A-2**



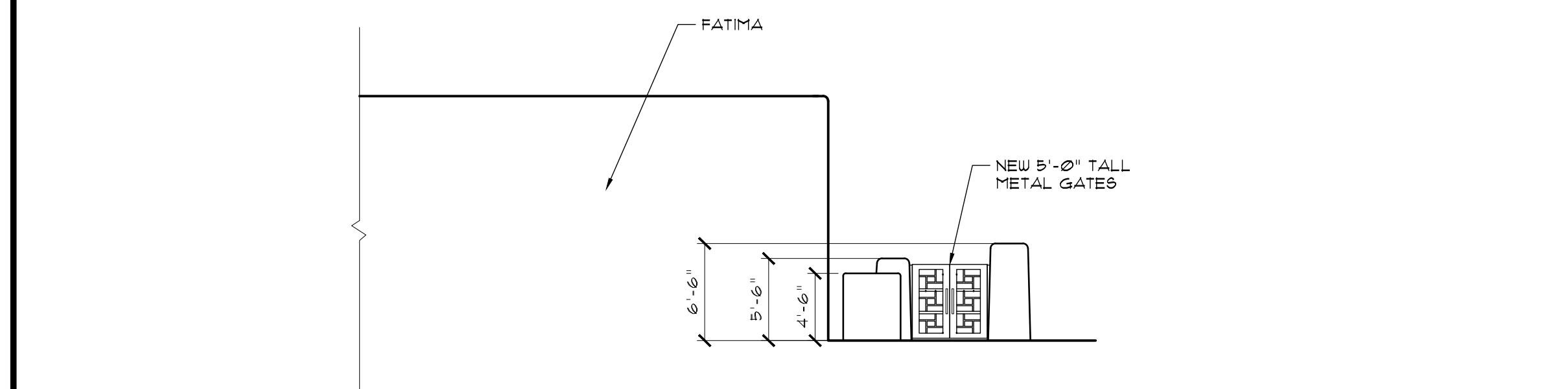
PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



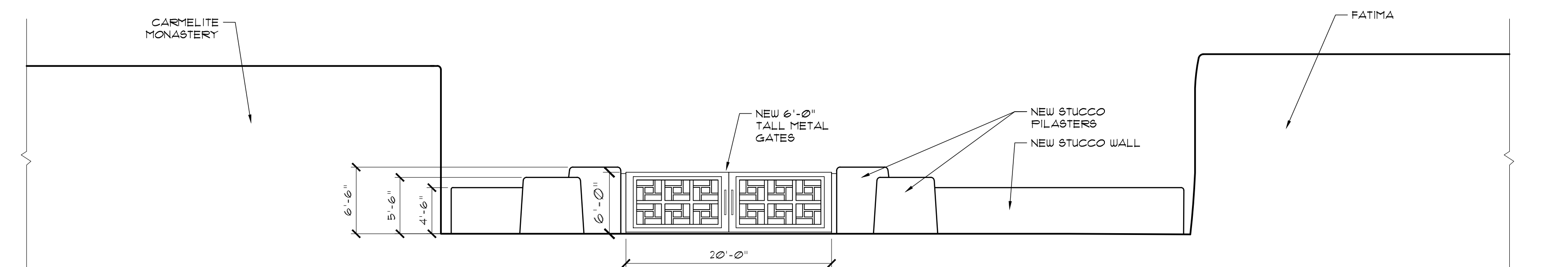
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"



REVISED PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



REVISED PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

**M|E|A**  
SUNMOUNT

ENTRY WALL  
& GATE

50 Mt. Carmel Road  
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

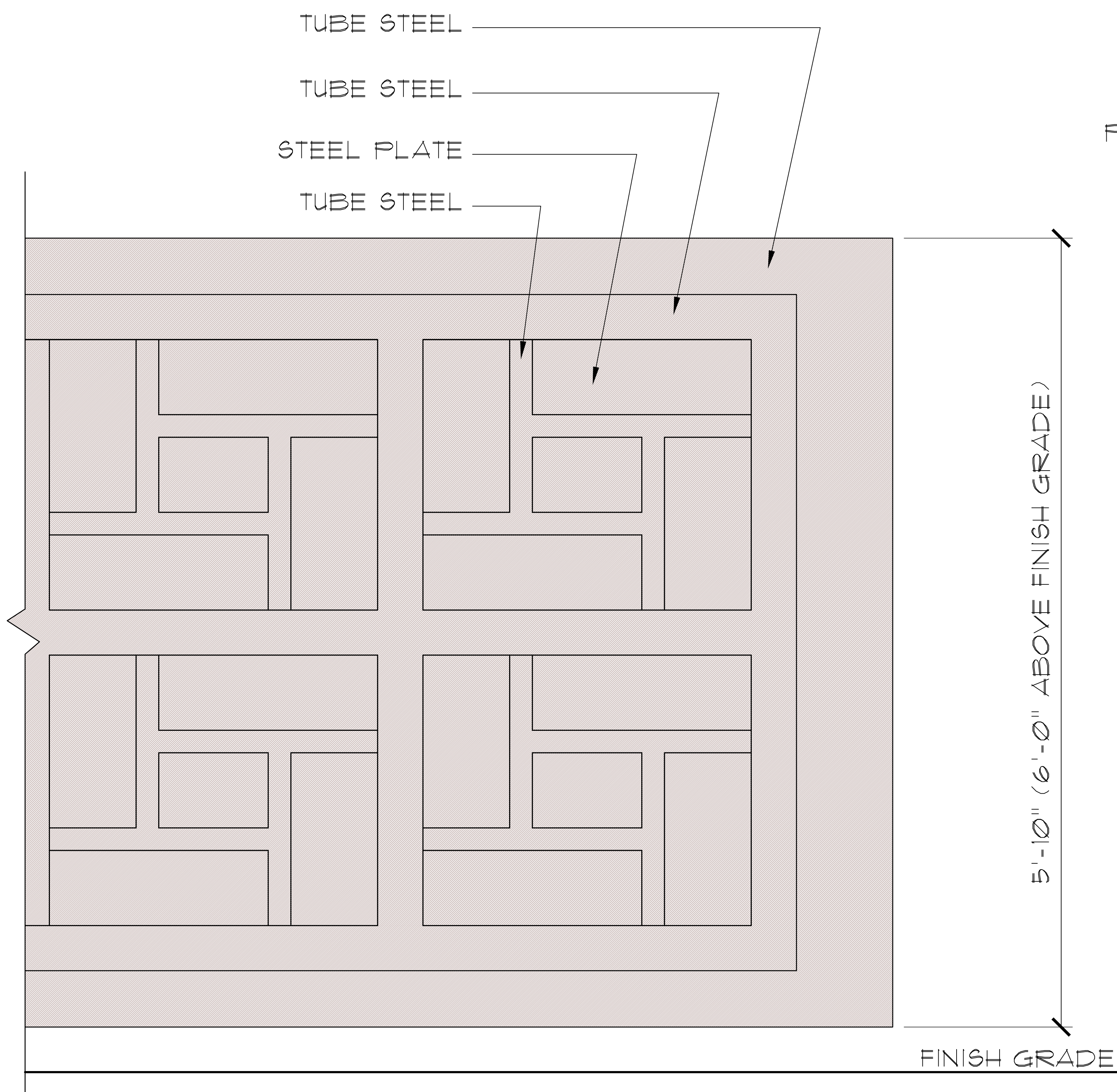
DRAWN BY HR DATE 02/02/23

SHEET TITLE

GATE  
DETAILS

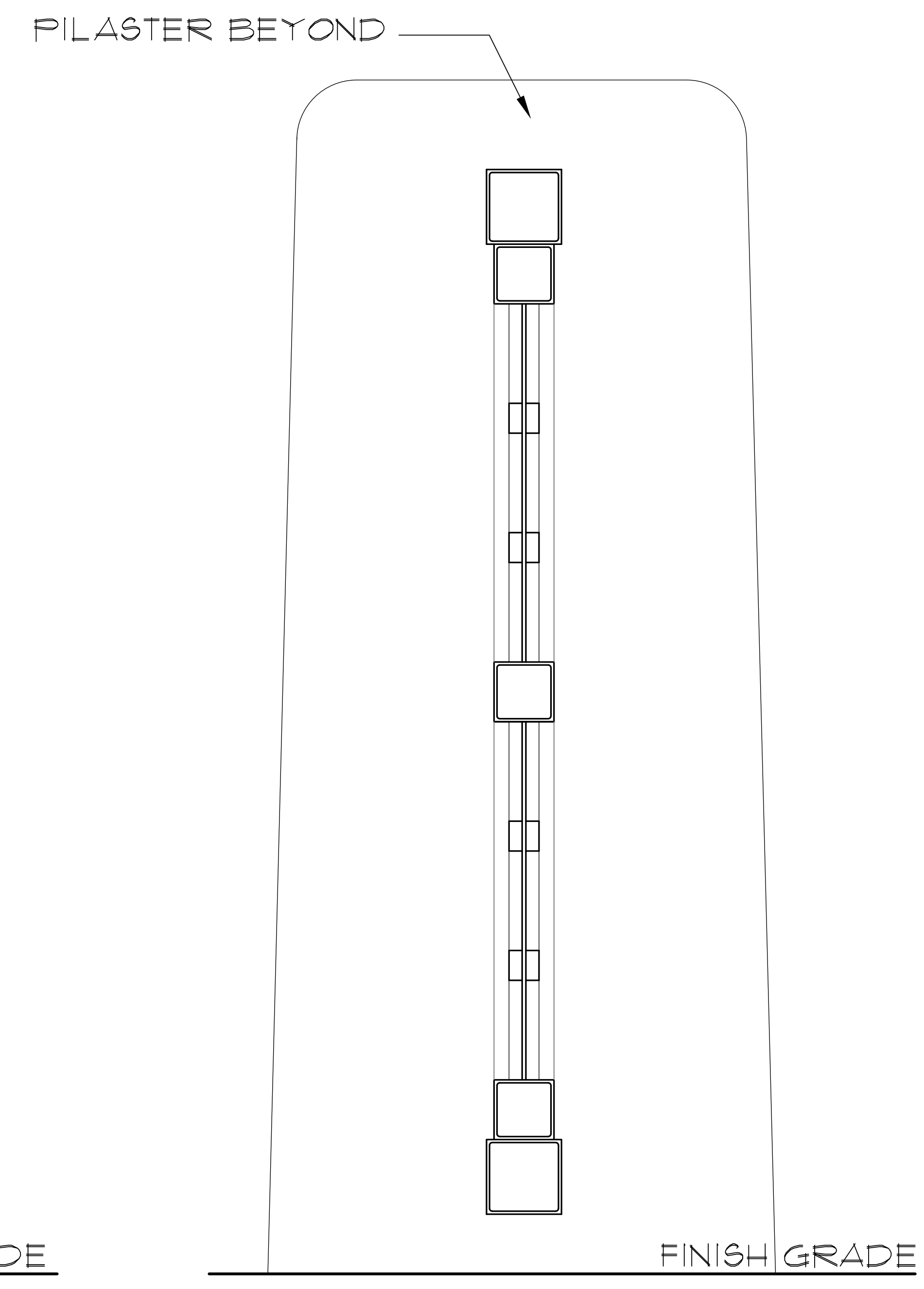
SHEET NO.

**A-4**



# PROPOSED GATE PANEL ELEVATION

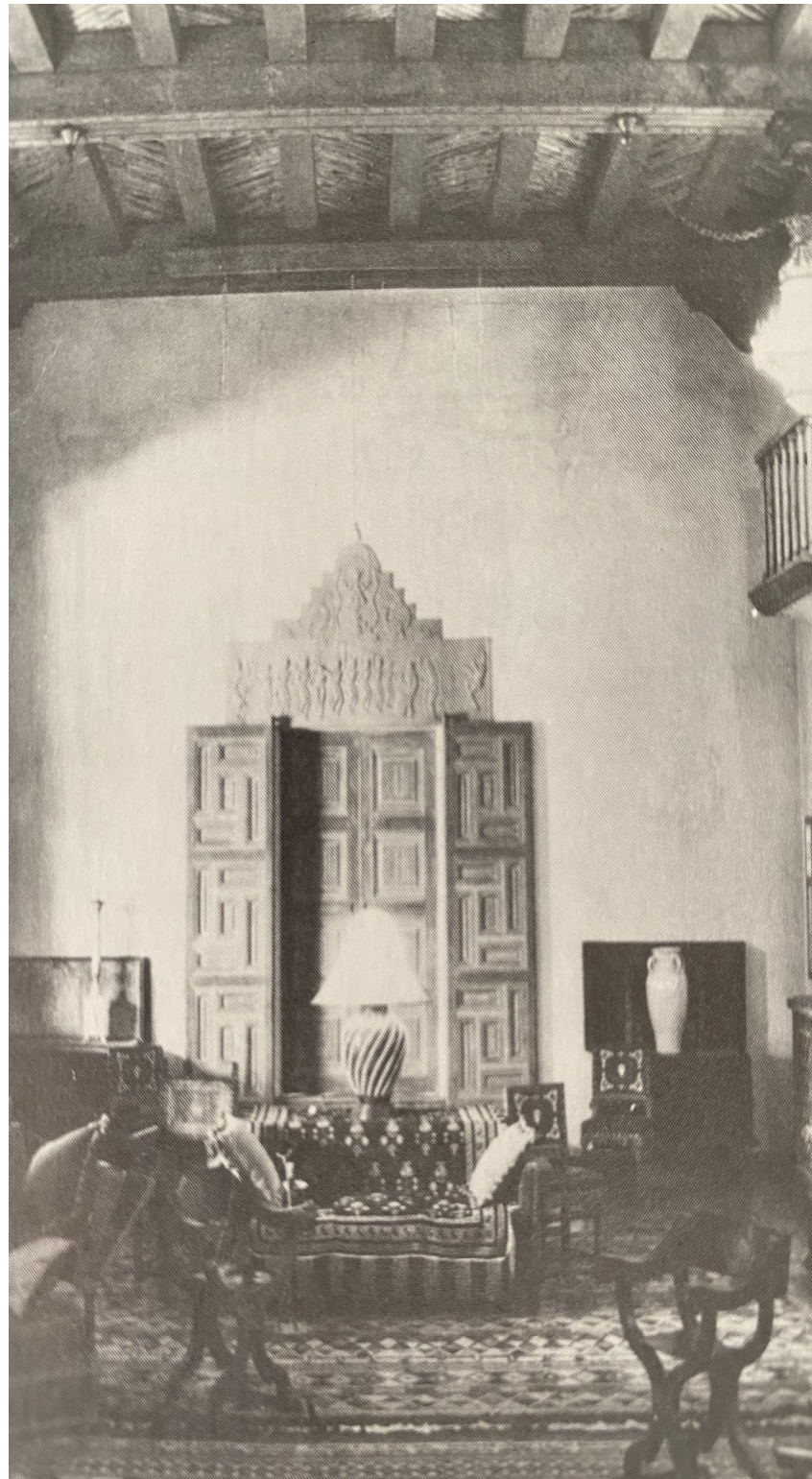
NOT TO SCALE



# PROPOSED GATE SECTION

NOT TO SCALE

John Gaw Meem door design, La  
Fonda Hotel c. 1928-29.  
Inspiration for entry gate design.



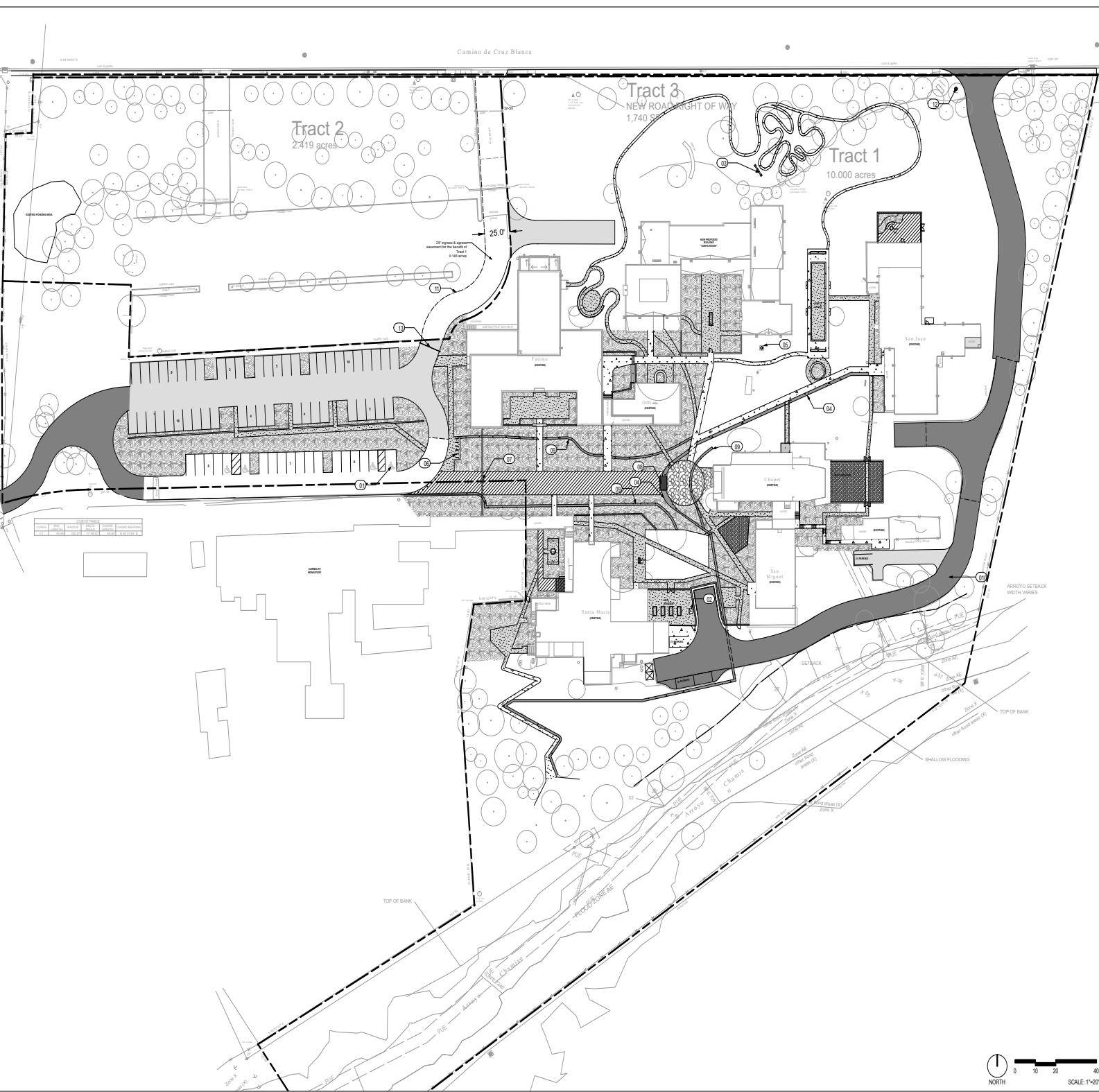
Door design, Immaculate Heart of Mary Chapel c. 1962. Inspiration for entry gate design.



Location of  
proposed entry  
gate and wall.  
View facing  
East towards  
Chapel from  
Mount Carmel  
Road.



From  
Previous  
Submittal  
1/24/2023



**GENERAL MATERIALS NOTES**

1. X
- MATERIALS NOTES**
- (1) (4) ADA PARKING SPOTS, (1) VAN ACCESSIBLE
  - (2) PIZZA OVEN
  - (3) LARGE SWING PLAY ELEMENT
  - (4) RECYCLED CONCRETE STORMWATER ACEQUIA
  - (5) EXISTING WELL HEAD
  - (6) BIKE RACKS
  - (7) ZAGUAN GATE PROPOSED ENTRANCE
  - (8) BRIDGE OVER STORMWATER ACEQUIA
  - (9) HISTORIC ROAD CURB
  - (10) REFER TO CIVIL DRAWINGS FOR SERVICE ROAD DESIGN
  - (11) REFER TO CIVIL/ANR SURVEY FOR PARKING EASEMENT
  - (12) NEW FIRE HYDRANT
  - (13) 20' GATE WITH LOCK AND SIGNAGE STATING 'EMERGENCY ACCESS'

**LINE LEGEND:**

- PROPERTY LINE
- - - - - SETBACK

**MATERIALS LEGEND**

CONCRETE PAVING	5708 SF
RECYCLED CONCRETE	2598 SF
BRICK PAVING	5833 SF
MULCH	34016 SF
STABILIZED CRUSHER FINES	13859 SF
CRUSHER FINES	1862 SF
PEA GRAVEL	2386 SF
BASE COURSE	18031 SF
FLAGSTONE	1369 SF
ASPHALT	21973 SF

**MEA Sunmount Special Use Permit Site Plan SITE DATA**

**TRACT 1:** 10.00 ACRES  
**ZONING:** R-2 (RESIDENTIAL, 2 DU/ACRE)  
**OVERLAY:** HISTORIC REVIEW DISTRICT (SFCC § 14-5.2)  
**SPECIAL USE PERMITTED:** "Colleges & Universities, Residential" (SFCC Table 14-6.1-1)

**LOT COVERAGE:**  
 Existing Building Footprint Area = 43,477 sq.ft.  
 Proposed Building Footprint Area = 11,696 sq.ft.  
 Total Building Footprint Area = 55,173 sq.ft.  
 Maximum Allowable Lot Coverage = 40% (SFCC Table 14-7.2-1)  
 Proposed Lot Coverage = 12.7%

**BUILDING HEIGHT:**  
 Maximum Allowable = 22 ft-1 in (SFCC § 14-5.2(D)(9))  
 Proposed Maximum Building Height = 18 ft-2 in

**BUILDING SETBACKS:** (SFCC Table 14-7.2-1)  
 Frontage Setback: 7 feet  
 Side Setback: 5 feet  
 Rear Setback: 15 feet  
 Arroyo Setback: 25 feet from top of bank plus depth (SFCC § 14-8.2(D)(4)(e))

**PARKING:**  
 Required Parking = XX spaces, per Approved Parking Demand Analysis  
 TRACT 1 Provided Parking = 72 spaces (MEA Parking Lot)  
 TRACT 2 Provided Parking = 124 spaces (SF Prep Parking Lot / MEA Overflow Parking)

**OPEN SPACE:**  
 TRACT 1 Required Open Space = 25% of total land area (SFCC § 14-7.5(D)(5))  
 TRACT 1 Provided Open Space = 7.19 acres (71.9%)

**surroundings**  
 landscape  
 architecture  
 urbanism

1611 Paseo de Perilla  
 Santa Fe, NM 87505

t: 505 982 3454  
 www.surroundingsstudio.com

**SPECIAL USE PERMIT DOCUMENTS**

**REVISIONS:**

NO	DATE	NOTE
△		
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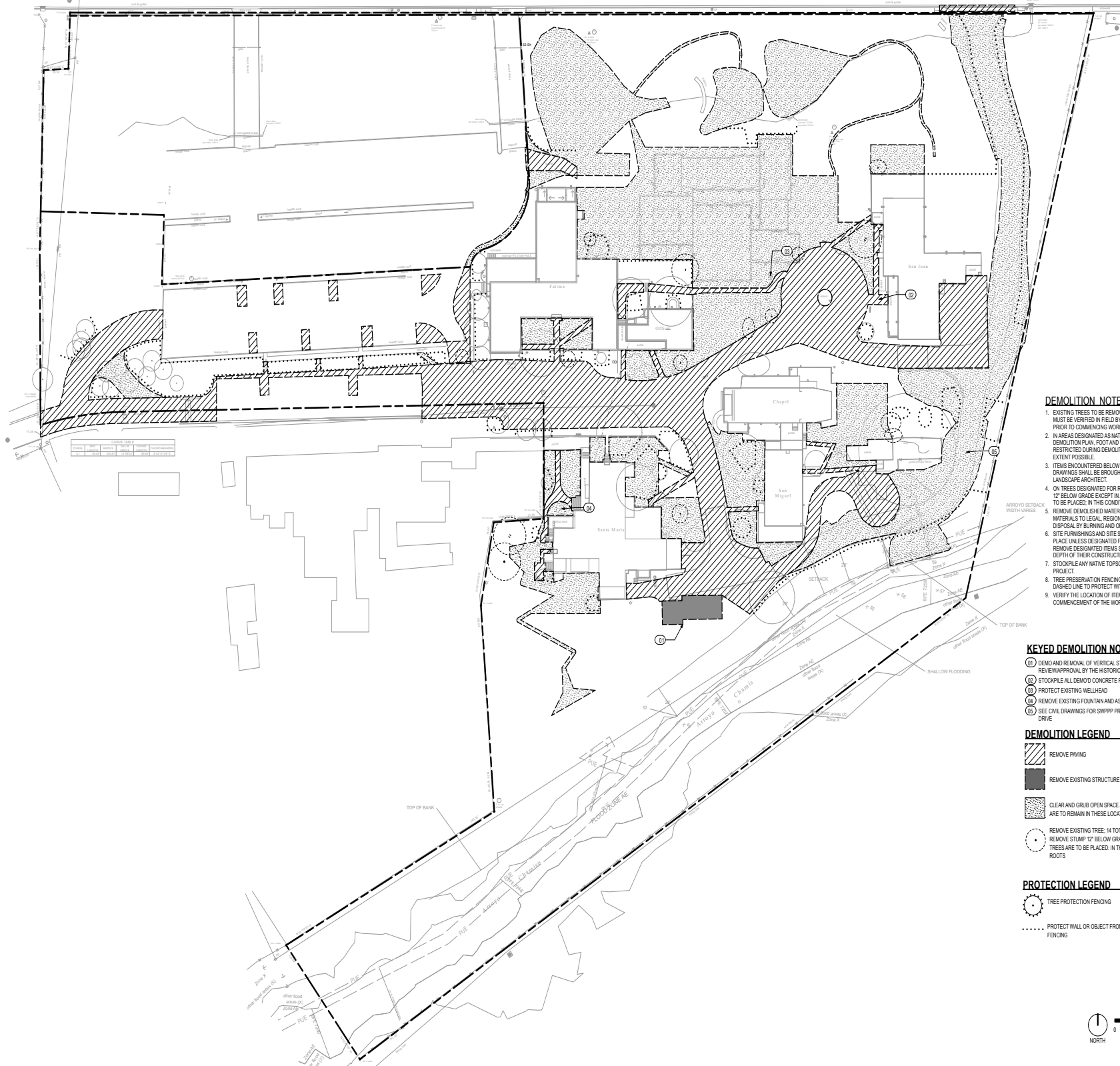
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**MEA SUNMOUNT**

**50 MT. CARMEL RD.  
 SANTA FE, 87505**

SCALE: AS NOTED  
 DATE: OCTOBER 2022  
 PROJECT: 1535  
 DRAWN BY: AT





**DEMOLITION NOTES**

- EXISTING TREES TO BE REMOVED OR PRESERVED IN PLACE MUST BE IDENTIFIED IN FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- IN AREAS DESIGNATED AS NATIVE TURF AREAS IN THE DEMOLITION PLAN, FOOT AND VEHICLE TRAFFIC SHOULD BE RESTRICTED DURING DEMOLITION AND CONSTRUCTION TO THE EXTENT POSSIBLE.
- ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ON TREES DESIGNATED FOR REMOVAL, REMOVE TREE STUMPS 12" BELOW GRADE EXCEPT IN AREAS WHERE NEW TREES ARE TO BE PLACED; IN THIS CONDITION REMOVE STUMP AND ROOTS.
- REMOVE DEMOLISHED MATERIALS FROM THE SITE. DISPOSE OF MATERIALS TO LEGAL, REGIONAL SOLID WASTE FACILITY. DISPOSAL BY BURNING AND/OR BURIAL IS PROHIBITED.
- SITE FURNISHINGS AND SITE STRUCTURES SHALL REMAIN IN PLACE UNLESS DESIGNATED FOR REMOVAL OR SALVAGE. REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
- STOCKPILE ANY NATIVE TOPSOIL FOR LATER RE-USE IN PROJECT.
- TREE PRESERVATION FENCING IS REPRESENTED WITH A DASHED LINE TO PROTECT WITHIN DRIPLENE WHERE POSSIBLE.
- VERIFY THE LOCATION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.

**KEYED DEMOLITION NOTES**

- (1) DEMO AND REMOVAL OF VERTICAL STRUCTURES IS SUBJECT TO REVIEW/APPROVAL BY THE HISTORIC DISTRICTS REVIEW BOARD.
- (2) STOCKPILE ALL DEMO'D CONCRETE FOR POSSIBLE REUSE AS URBANITE
- (3) PROTECT EXISTING WELLHEAD
- (4) REMOVE EXISTING FOUNTAIN AND ASSOCIATED EQUIPMENT
- (5) SEE CIVIL DRAWINGS FOR SWPPP PROTECTION PLAN AND NEW SERVICE DRIVE

**DEMOLITION LEGEND**

- REMOVE PAVING
- REMOVE EXISTING STRUCTURE
- CLEAR AND GRUB OPEN SPACE AREA. DO NOT DAMAGE TREES THAT ARE TO REMAIN IN THESE LOCATIONS
- REMOVE EXISTING TREE. 14 TOTAL FOR REMOVAL
- REMOVE STUMP 12" BELOW GRADE EXCEPT IN AREAS WHERE NEW TREES ARE TO BE PLACED; IN THIS CONDITION REMOVE STUMP AND ROOTS

**PROTECTION LEGEND**

- TREE PROTECTION FENCING
- PROTECT WALL OR OBJECT FROM DAMAGE WITH PROTECTIVE FENCING

**SPECIAL USE PERMIT DOCUMENTS**

REVISIONS:

NO	DATE	NOTE

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**MEA SUNMOUNT**

50 MT. CARMEL RD.  
 SANTA FE, 87505

SCALE: AS NOTED  
 DATE: OCTOBER 2022  
 PROJECT: 1535  
 DRAWN BY: AT

**DEMO +TREE PRESERVATION PLAN**



**GENERAL PLANTING NOTES**  
1. SEE GENERAL PLANTING NOTES ON SHEET L002

**PLANTING NOTES**

- (1) X
- (2) XX

**PLANT PALETTE**

**TREES**

SYMBOL	ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE
(Symbol)	AG	5	Acer grandidentatum	Bigtooth Maple	2' CAL
(Symbol)	CE	1	Catalpa x nubecans 'Purplea'	Purple Catalpa	2' CAL
(Symbol)	CH	1	Pinus virginiana 'Shubert'	Chokecherry Shubert	2' CAL
(Symbol)	CO	3	Quercus muehlenbergi	Chinkapi Oak	2' CAL
(Symbol)	OV	3	Cotulae vridis	Winter King Hawthorne	2' CAL
(Symbol)	HO	6	Malus sylvestris 'Honeycrisp'	Apple 'Honeycrisp'	2' CAL
(Symbol)	PA	4	Platanus acerifolia	London Planetree	2' CAL
(Symbol)	PC	4	Pistacia chinensis	Chinese Pistache	2' CAL
(Symbol)	PE	27	Pinus edulis	Pinon Pine	6' TALL MIN.
(Symbol)	PN	7	Pinus nigra	Austrian Pine	6' TALL MIN.
(Symbol)	PT	15	Populus tremuloides	Quaking Aspen	2' caliper
(Symbol)	OB	9	Quercus buckleyi	Texas Red Oak	2' CAL
(Symbol)	OF	3	Quercus fusiformis	Escarpment Live Oak	2' CAL
(Symbol)	U	13	Ulmus	Elm	2' CAL
(Symbol)	UP	6	Ulmus parvifolia	Lacebark Elm	2' CAL
(Symbol)	0		Existing Tree		

**SHRUBS**

SYMBOL	ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE
(Symbol)	SH	340	Shrub	Shrub	
(Symbol)			NEW MEXICO PRIVET		
(Symbol)			APACHE PLUME		
(Symbol)			FERNBUSH		
(Symbol)			MULDO PINE		
(Symbol)			BLUE SHAG WHITE PINE		
(Symbol)			PARRY'S AGAVE		
(Symbol)			GREEN SPRE EUONYMUS		
(Symbol)			RED TWIG DOGWOOD		
(Symbol)			BLUESTEM EPHEDRA		
(Symbol)			CHEFTAIN MANZANITA		
(Symbol)			CHAMISA		
(Symbol)			FRINGED SAGE		
(Symbol)			SAND SAGE		
(Symbol)			WINTERFAT		
(Symbol)			WAX CURRANT		
(Symbol)			BEARGRASS		
(Symbol)			BANANA YUCCA		

**SEED MIX LEGEND**

- (Symbol) SHEEPSFOSLE
- (Symbol) NATIVE SEED MIX - PLANTS OF THE SOUTHWEST, 70% DRYLAND BLEND / 30% HIGH PLAINS MIX, SEED RATE = 2N LBS / ACRE

**SPECIAL USE PERMIT DOCUMENTS**

NO	DATE	NOTE
(Symbol)		
(Symbol)		
(Symbol)		
(Symbol)		
(Symbol)		
(Symbol)		

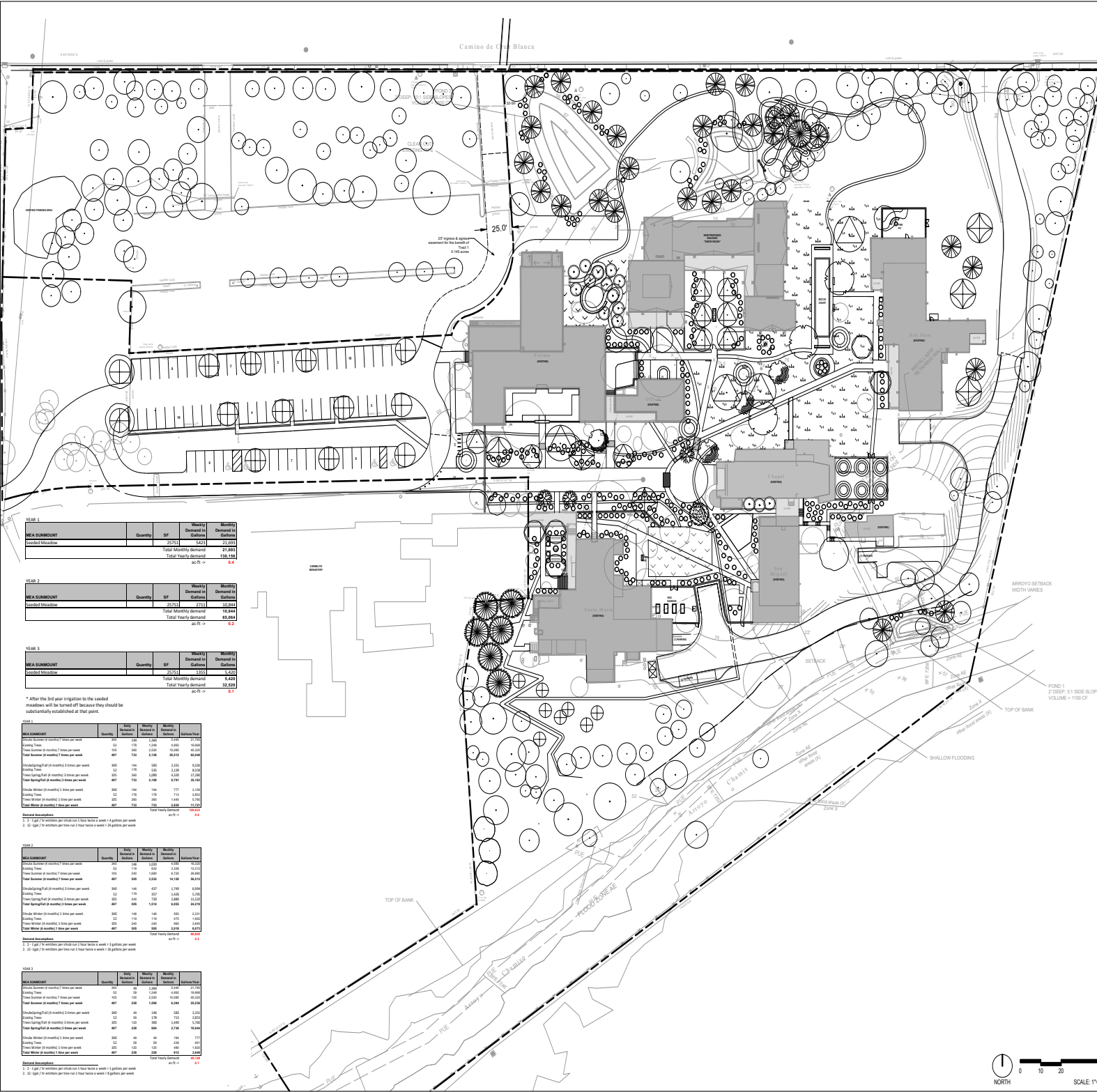
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**MEA SUNMOUNT**  
50 MT. CARMEL RD.  
SANTA FE, 87505

SCALE: AS NOTED  
DATE: OCTOBER 2022  
PROJECT: 1535  
DRAWN BY: AT

**CONCEPTUAL LANDSCAPE PLAN**



**YEAR 1**

MEA SUNMOUNT	Quantity	SP	Weekly Demand in Gallons	Monthly Demand in Gallons
Seeded Meadow	2570	1.50	3855	11571
<b>Total Monthly Demand</b>				<b>21,497</b>
<b>Total Yearly Demand</b>				<b>138,582</b>

ac-ft = 6.4

**YEAR 2**

MEA SUNMOUNT	Quantity	SP	Weekly Demand in Gallons	Monthly Demand in Gallons
Seeded Meadow	2570	1.50	3855	11571
<b>Total Monthly Demand</b>				<b>10,424</b>
<b>Total Yearly Demand</b>				<b>65,544</b>

ac-ft = 1.9

**YEAR 3**

MEA SUNMOUNT	Quantity	SP	Weekly Demand in Gallons	Monthly Demand in Gallons
Seeded Meadow	2570	1.50	3855	11571
<b>Total Monthly Demand</b>				<b>5,420</b>
<b>Total Yearly Demand</b>				<b>32,520</b>

ac-ft = 1.1

\* After the 3rd year irrigation to the seeded meadows will be turned off because they should be substantially established at that point.

**ROCK 1**

MEA SUNMOUNT	Quantity	Depth (feet)	Volume (cubic ft)	Weight (lbs)	Volume (yd)
Gravel (10" depth)	150	10	1,500	1,500	47.62
Gravel (2" depth)	10	2	200	200	6.33
Tree Surtree @ monthly 7 times per week	195	240	4,680	10,800	40.24
Tree Surtree @ monthly 7 times per week	497	150	7,455	18,138	66.89
<b>Planting/Grill @ monthly 3 times per week</b>	340	144	4896	11,752	43.24
Gravel (2" depth)	10	2	200	200	6.33
Tree Surtree @ monthly 3 times per week	85	240	2,040	4,920	17.94
Tree Surtree @ monthly 3 times per week	497	150	7,455	18,138	66.89
Tree Surtree @ monthly 3 times per week	497	150	7,455	18,138	66.89
Shrub Winter @ monthly 1 time per week	340	144	4896	11,752	43.24
Gravel (2" depth)	10	2	200	200	6.33
Tree Surtree @ monthly 1 time per week	52	144	7,488	18,138	66.89
Tree Surtree @ monthly 1 time per week	497	150	7,455	18,138	66.89
<b>Total Volume @ monthly 1 time per week</b>	497	150	7,455	18,138	66.89

ac-ft = 1.9

**ROCK 2**

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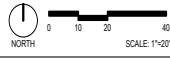
ac-ft = 1.9

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Tree Surtree @ monthly 1 time per week	497	150	7,455	18,138	66.89
<b>Total Volume @ monthly 1 time per week</b>	497	150	7,455	18,138	66.89

ac-ft = 1.9

\* 1. 1" SP (10' minimum per foot) cut 1 hour twice a week = 4 gallons per week  
2. 1/2" SP (10' minimum per foot) cut 1 hour twice a week = 2 gallons per week



# Entry Wall & Gate MEA - Sunmount

**Project Team:**

**Owner:**

Modern Elder Academy  
49 & 50 Mt. Carmel Road  
Santa Fe, NM 87505



**Architect:**

Architectural Alliance, LLC  
612 Old Santa Fe Trail  
Santa Fe, NM 87505  
505-988-5269



**Landscape Architect:**

Surroundings  
1611 Paseo De Peralta  
Santa Fe, NM 87501  
505-982-3454



**Interior Designer:**

French & French Interiors  
224 W. Manhattan Ave.  
Santa Fe, NM 87501  
505-982-7737



**Contractor:**

Sarcon Construction  
2044 Galisteo St. Ste 1  
Santa Fe, NM 87505  
505-474-4700



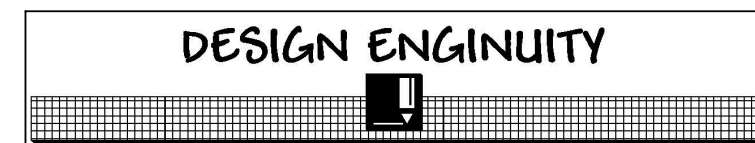
**Planner:**

JenkinsGavin  
130 Grant Avenue Ste 101  
Santa Fe NM 87501  
505-820-7444



**Civil Engineer:**

Design Enginuity  
1421 Luisa Street  
Santa Fe NM 87505  
505-989-3557



**MEP Engineer:**

ABQ Engineering  
8102 Menaul Blvd NE, Suite D  
Albuquerque, NM 87110  
505-255-7802



**Construction Mgmt:**

NV5  
2420 W. 26th Ave.  
Suite D-360  
Denver, CO 80211  
651-357-3882

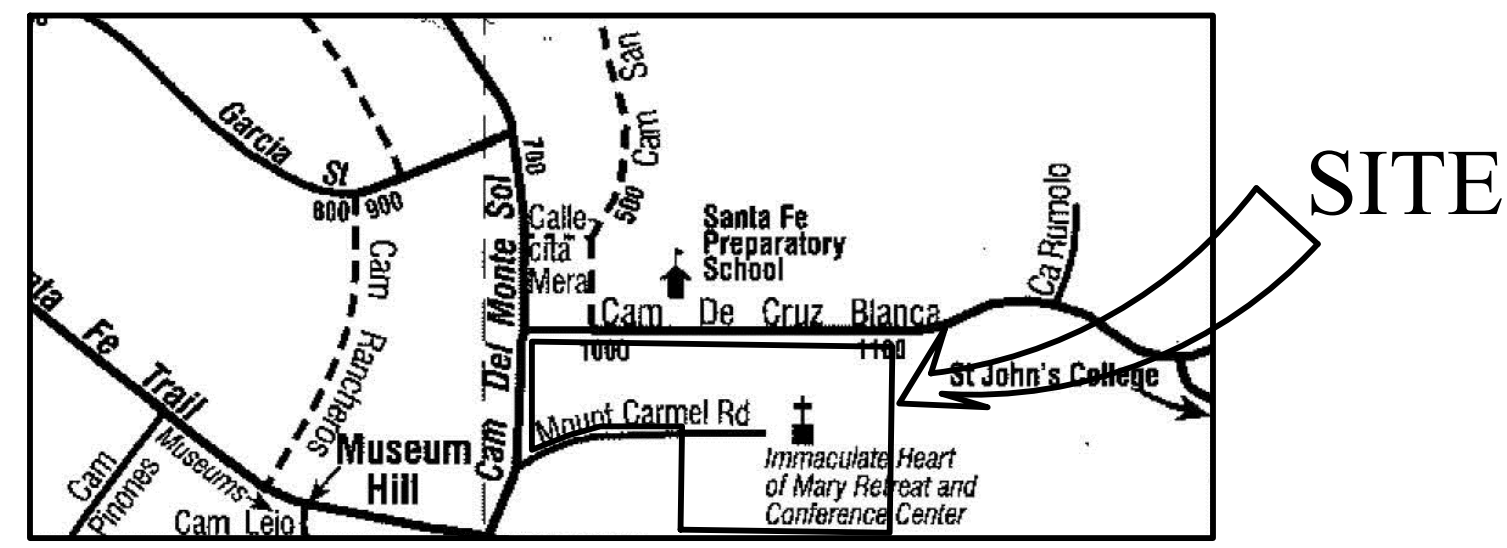


**Surveyor:**

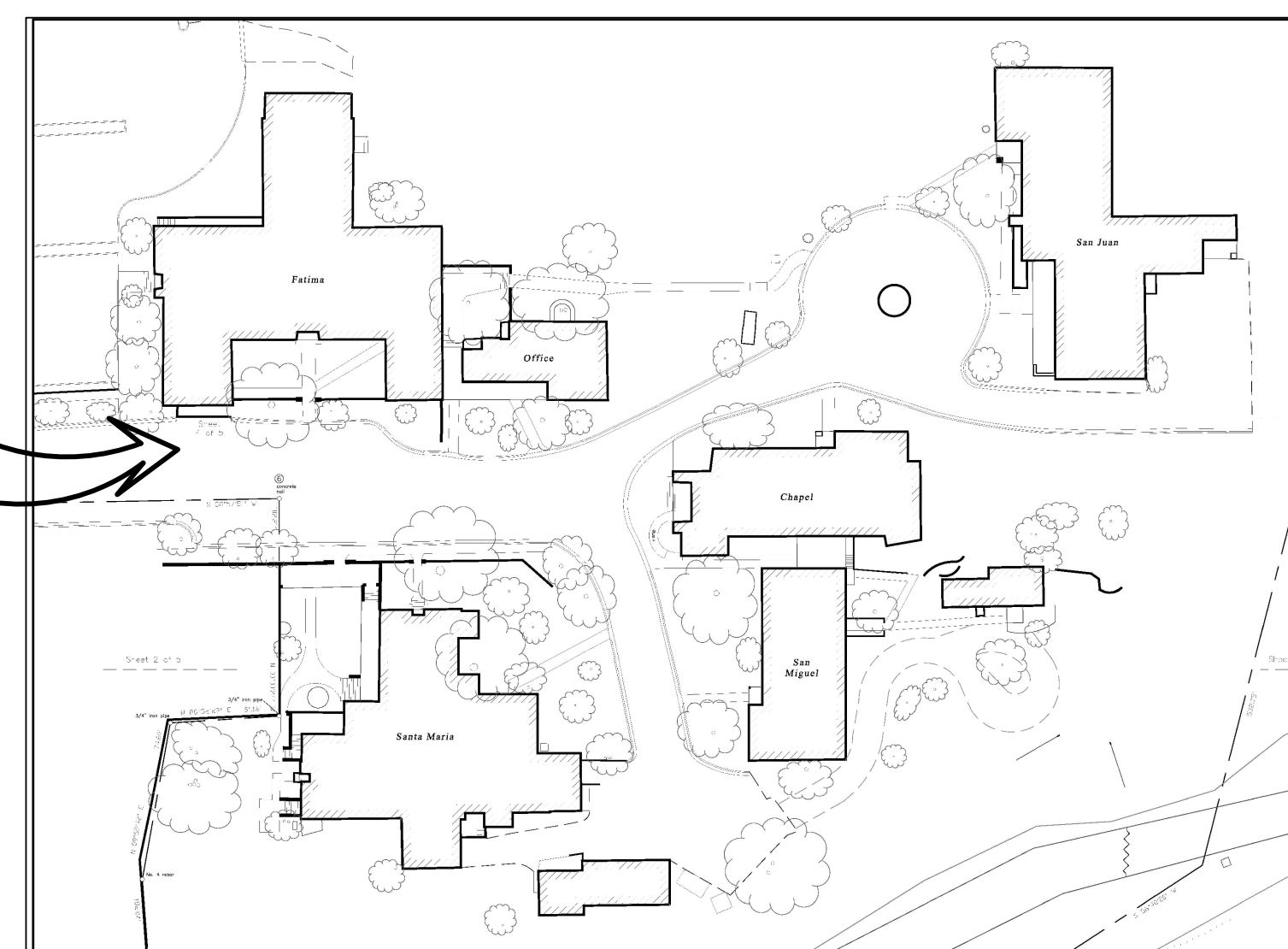
McCloy Land Surveying  
150 Central Park Square  
Los Alamos, NM 87544  
505-321-7404



50 Mt. Carmel Road  
Santa Fe NM, 87505



Vicinity Map



Site Plan Reference



**Drawing Index**

- C-0 COVER SHEET
- C-1 EXISTING SITE PLAN
- C-2 PROPOSED SITE PLAN
- A-1 PROPOSED ELEVATION & FLOOR PLAN

ENTRY WALL & GATE

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS- NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

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HISTORIC DESIGN REVIEW SET  
DATED: NOVEMBER 9, 2022  
ARCHITECT'S PROJECT #22-06

MEA - 50 Mt. Carmel Road - Entry Wall & Gate

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

**M|E|A**  
**SUNMOUNT**

49 & 50 Mt. Carmel Road  
Santa Fe, NM

PROJECT NO. 22-06

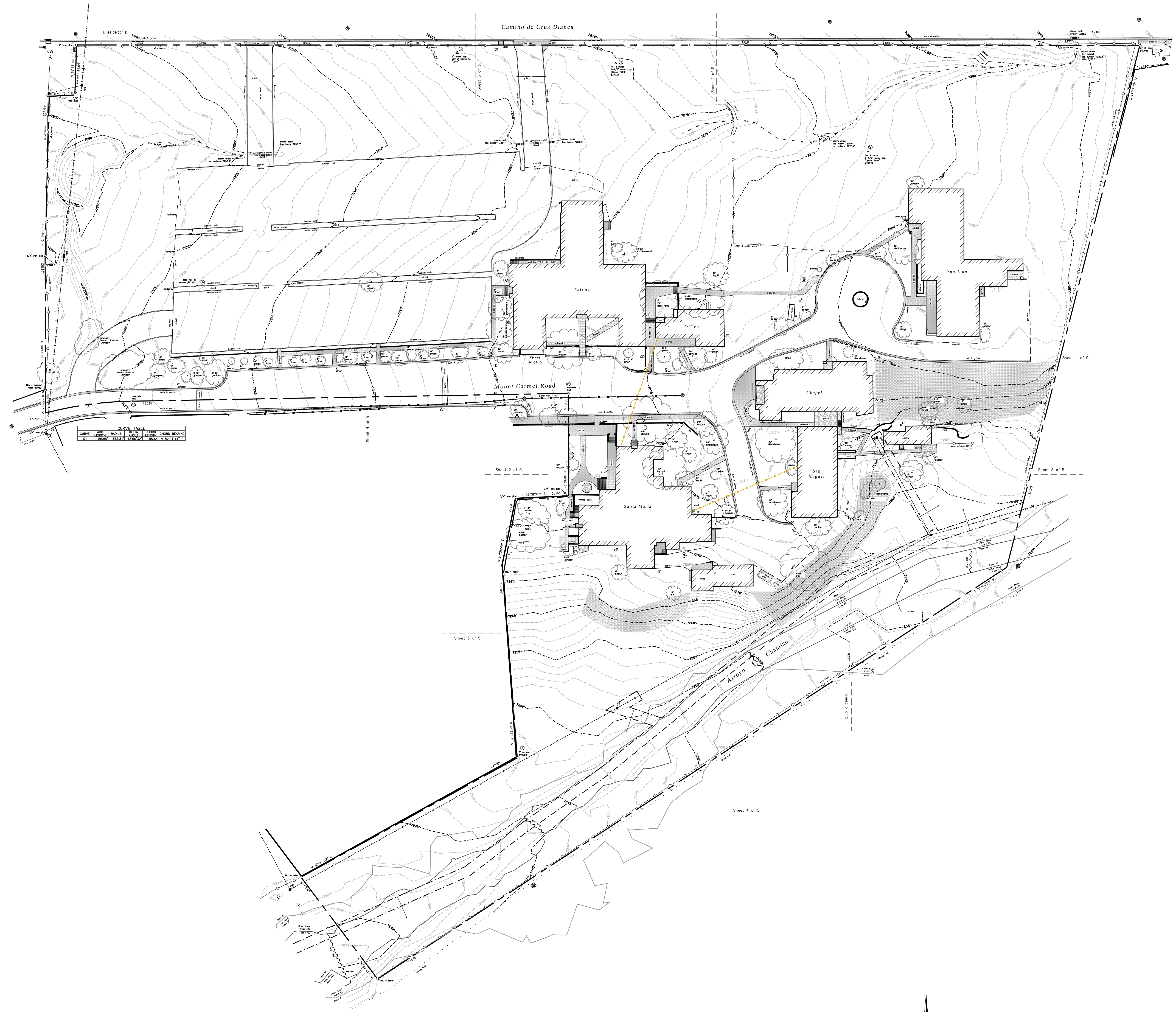
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DRAWN BY	HR	DATE	11/03/22

SHEET TITLE

EXISTING  
SITE PLAN

SHEET NO.

**C-1**

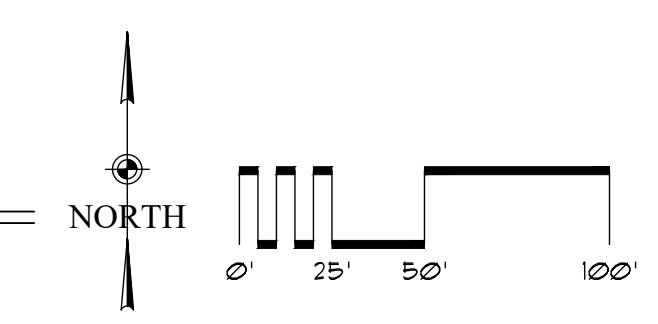


**SYMBOLS**

- Boundary
- - - Index Contour
- - - Contour
- - - Base Flood Elevation (BFE)
- - - Block Wall (unless otherwise noted)
- - - Sewer
- - - Electric Line (Aerial)
- Survey Marker Found
- △ Control Point
- △ SIGN Street Sign
- Sign
- MB Mail Box
- IV Irrigation Control Valve
- ⊙ Water Meter
- ⊙ Water Valve
- ⊙ Fire Hydrant
- ⊙ Water Spigot
- ⊙ Gas Riser
- ⊙ Telephone Box
- PP Power Pole
- ⊙ Pole Anchor
- LP Light Pole
- ⊙ Electric Box
- ⊙ Sewer Manhole
- ⊙ Sewage Pump
- ⊙ Sewer Clean Out
- Tree (as noted)
- ▨ Building
- ▨ Concrete
- ▨ Brick Pavers
- ▨ Flagstone
- ▨ Manmade Slope

**EXISTING SITEPLAN**

SCALE: 1" = 50'-0"



**MATERIALS NOTES**

- (1) (4) ADA PARKING SPOTS, (1) VAN ACCESSIBLE
- (2) LARGE SWING PLAY ELEMENT
- (3) RECYCLED CONCRETE STORMWATER ACEQUIA
- (4) EXISTING WELL HEAD
- (5) BIKE RACKS
- (6) PROPOSED GATE ENTRANCE
- (7) BRIDGE OVER STORMWATER ACEQUIA
- (8) REFER TO CIVIL DRAWINGS FOR SERVICE ROAD DESIGN
- (9) 20' GATE WITH LOCK AND SIGNAGE STATING "EMERGENCY ACCESS"
- (10) STEPPING STONE PATH TO REPRESENT HISTORIC ROAD CURB
- (11) 42" TALL STUCCO WALL TO SCREEN CONDENSER UNIT

**LINE LEGEND:**

- — — — — PROPERTY LINE
- — — — — SETBACK

**SITE DATA**

TRACT 1: 10.00 ACRES  
ZONING: R-2 (RESIDENTIAL, 2 DU/ACRE)  
OVERLAY: HISTORIC REVIEW DISTRICT (SFCC § 14-5.2)

SPECIAL USE PERMITTED:  
"Colleges & Universities, Residential" (SFCC Table 14-6.1-1)

LOT COVERAGE:  
Existing Building Footprint Area = 43,477 sq.ft.  
Proposed Building Footprint Area = 11,696 sq.ft.  
Total Building Footprint Area = 55,173 sq.ft.  
Maximum Allowable Lot Coverage = 40% (SFCC Table 14-7.2-1)  
Proposed Lot Coverage = 12.7%

BUILDING HEIGHT:  
Maximum Allowable = 22 Ft. 1 in. (SFCC § 14-5.2(D)(9))  
Proposed Maximum Building Height = 18 Ft. 2 in

BUILDING SETBACKS: (SFCC Table 14-7.2-1)  
Frontage Setback: 7 feet  
Side Setback: 5 feet  
Rear Setback: 15 feet  
Arroyo Setback: 25 feet from top of bank plus depth (SFCC § 14-8.2(D)(4)(e))

PARKING:  
Required Parking = 65 spaces, per Parking Demand Analysis  
TRACT 1 Provided Parking = 72 spaces (MEA Parking Lot)  
TRACT 2 Provided Parking = 124 spaces (SF Prep Parking Lot / MEA Overflow Parking)  
TRACT 1 Required Bicycle Parking = 10 spaces  
TRACT 1 Provided Bicycle Parking = 12 spaces

OPEN SPACE:  
TRACT 1 Required Open Space = 25% of total land area (SFCC § 14-7.5(D)(5))  
TRACT 1 Provided Open Space = 6.84 acres (68.4%)

**HISTORIC DISTRICT REVIEW DOCUMENTS**

**REVISIONS:**

NO	DATE	NOTE
△		
△		
△		
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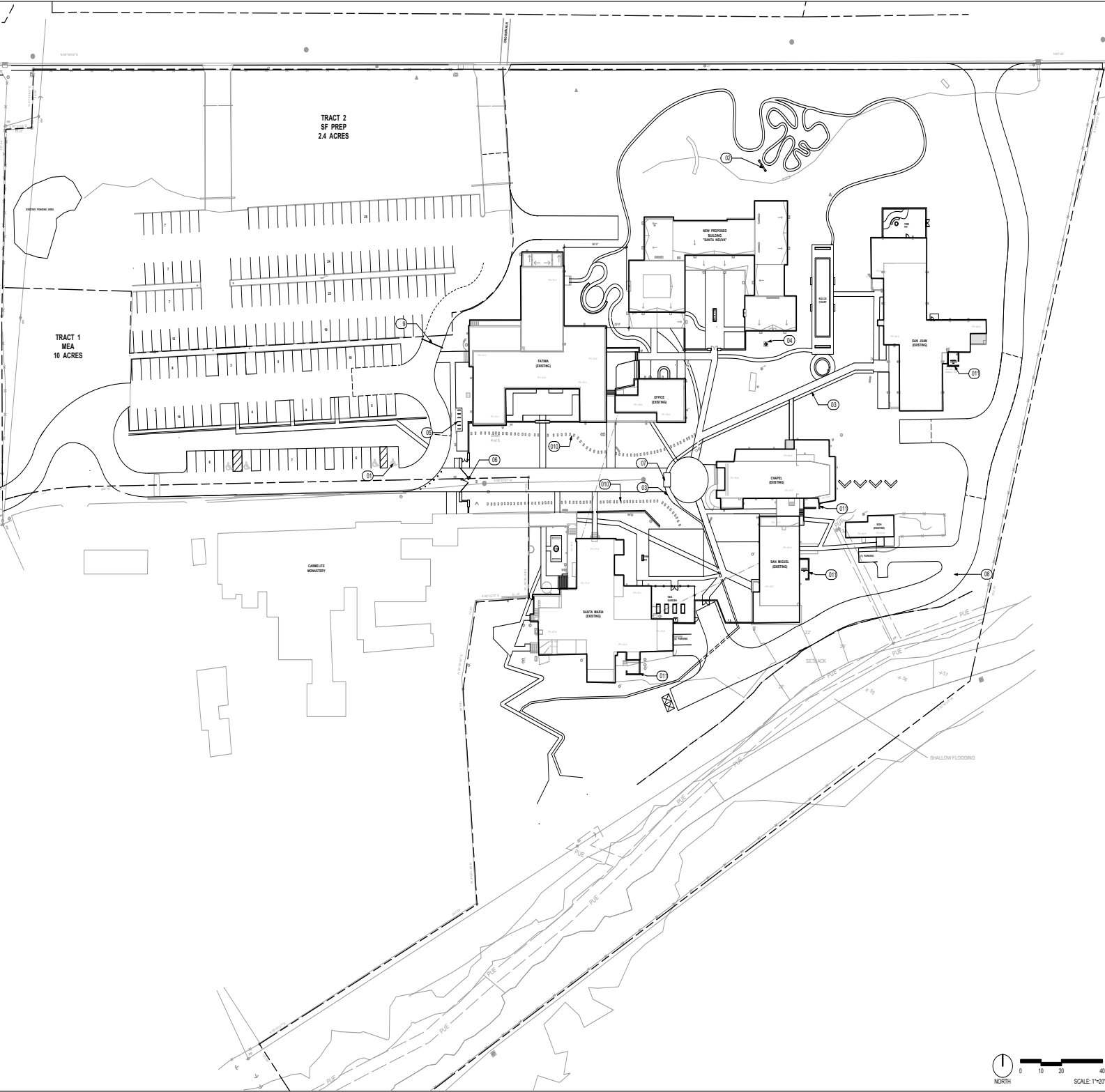
**MEA SUNMOUNT**

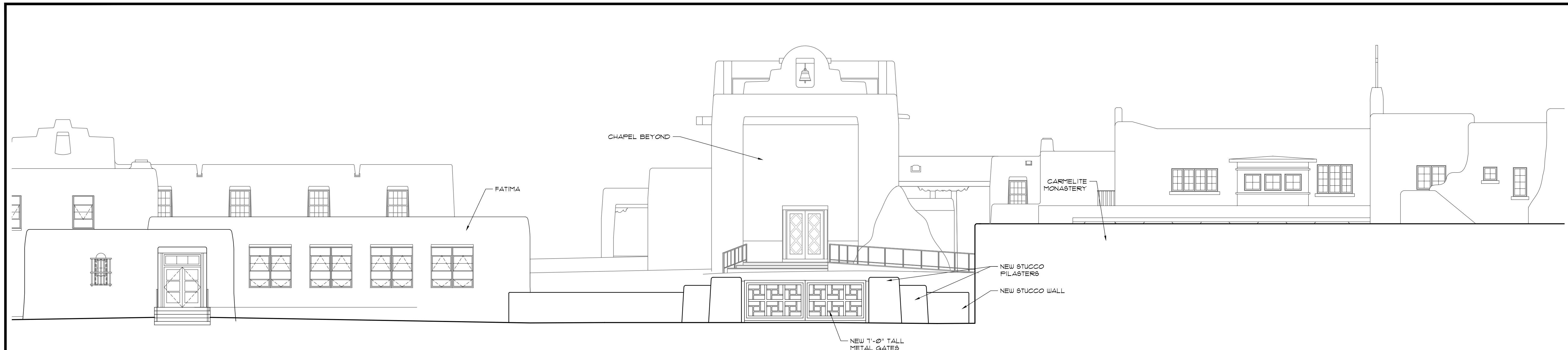
50 MT. CARMEL RD.  
SANTA FE, 87505

SCALE: AS NOTED  
DATE: NOVEMBER 2022  
PROJECT: 1535  
DRAWN BY: AT

**PROPOSED SITE  
PLAN  
C2**

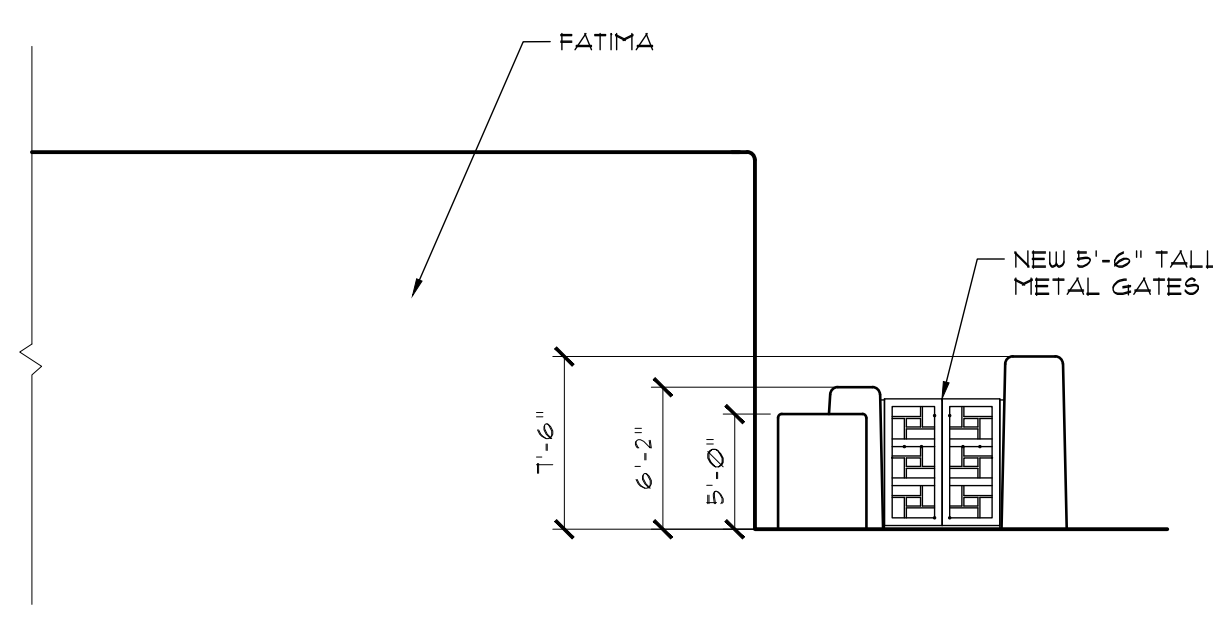
SHEET: 7 OF 15





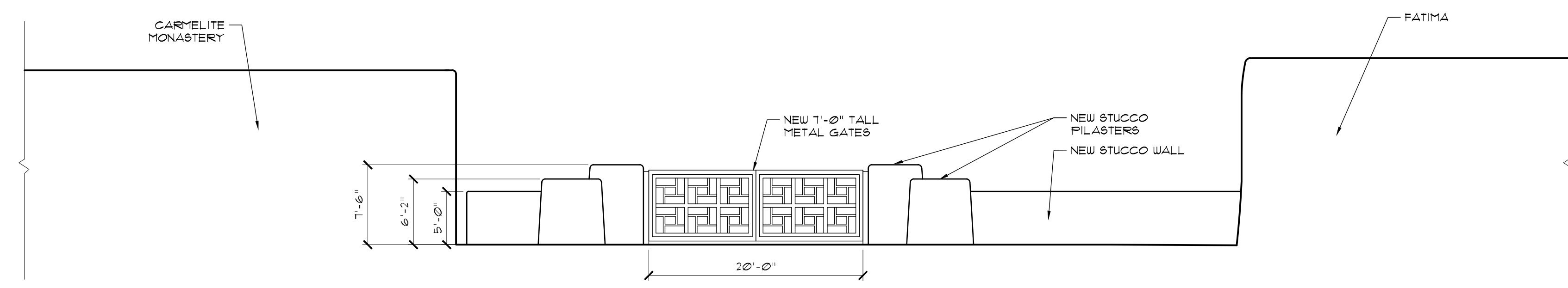
PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/8" = 1'-0"



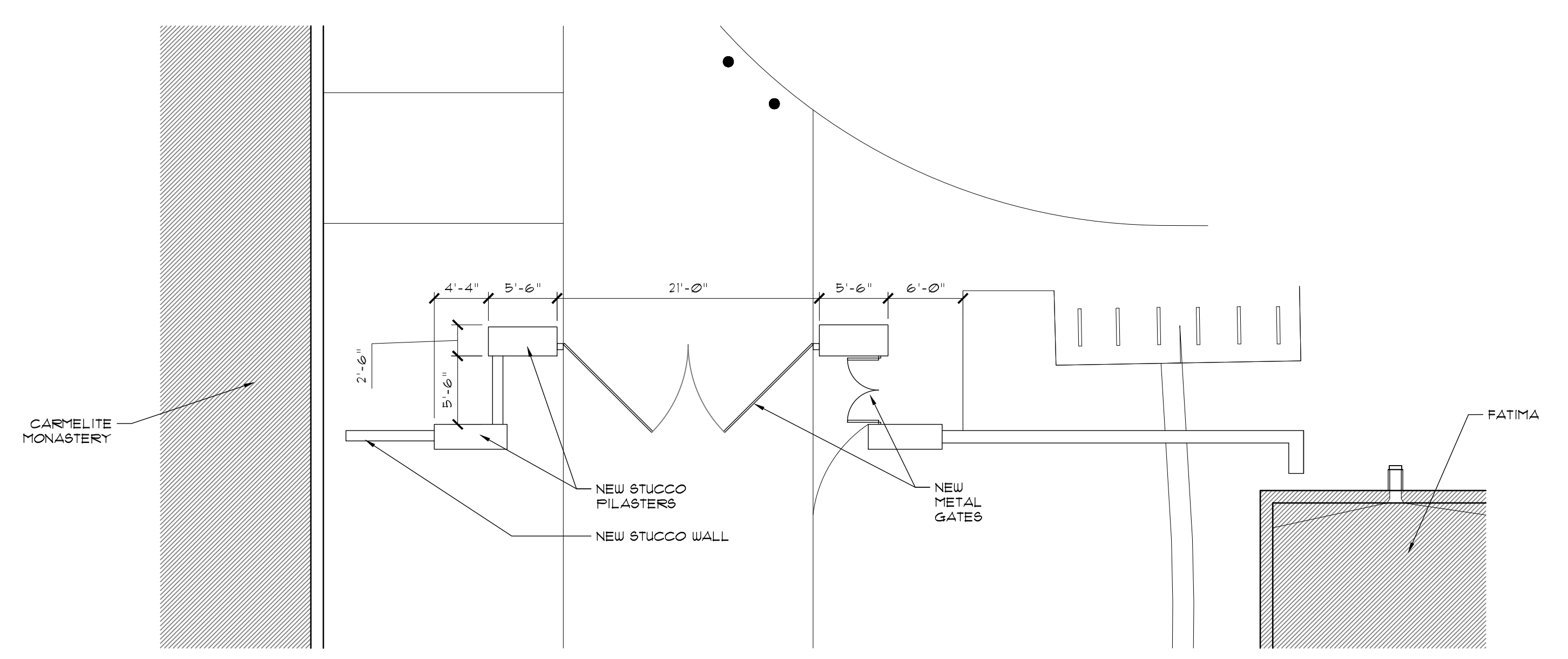
PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

DO NOT SCALE DRAWINGS  
CONTRACTOR TO VERIFY  
ALL EXISTING CONDITIONS AND  
DIMENSIONS- NOTIFY ARCHITECT  
OF ANY DISCREPANCIES PRIOR  
TO BEGINNING CONSTRUCTION

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PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY WRITTEN  
AGREEMENT WITH ARCHITECTURAL ALLIANCE INC. ©

NO.	REVISION/SUBMISSION	DATE



PROPOSED PLAN - YARD WALL AND GATES

SCALE: 1/8" = 1'-0"

PROJECT TITLE

**M|E|A**  
SUNMOUNT

ENTRY WALL  
& GATE

50 Mt. Carmel Road  
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

DRAWN BY HR DATE 11/09/22

SHEET TITLE

PROPOSED  
PLAN &  
ELEVATIONS

SHEET NO.

**A-1**

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

---

Case # 2023-006286-HDRB

Address: 1564 Canyon Road  
Historic Status: Non-Contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Solar system product and specifications

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

**BACKGROUND & SUMMARY:**

1564 Canyon Road is a 2.7 acre-lot that consists of the main house, the guesthouse (round house), a garage, and a shed. The round house is an 806 square foot round adobe structure built in 1973. The round house was designated non-contributing to the Downtown & Eastside Historic District. The property is set back from (Upper) Canyon Road; none of the structures are publicly visible from Canyon Road.

Last year the board designated the round house non-contributing and approved its remodel and an addition. The round house's addition is under construction.

The applicant requests approval for the following solar photovoltaic system:

1. Install eight panels on the roof of the round house's addition currently under construction. The solar panels are almost black (midnight blue) with a black aluminum frame. The "racking" system ballast bays will be silver aluminum. See images in the case packet. The panels have already been installed.
2. Construct a free-standing ground-mounted "racking" system that will have 12 solar panels. The structure will be 2' from grade at the south side and 6' tall at the north end. The ground-mounted panels will be located approximately 130' from the round house addition's southwest corner, near the new PNM utility meter.

The proposal comes to the board because it is a new structure in the Downtown and Eastside Historic District and it may be publicly visible over time depending on the tree cover.

**RELEVANT CODE CITATIONS:**

14-5.2(D) General Design Standards for all Historic Districts

14-5.2(E) Downtown and Eastside Design Standards



# Preliminary Zoning Review Worksheet

## City of Santa Fe Land Use Department

<p><b>To Be Completed By Applicant:</b></p> <p><b>Date Submitted:</b> 01/23/2023</p> <p><b>Property Owner of Record:</b> Kate Lopez</p> <p><b>Applicant/Agent Name:</b> Paradise Power Company Inc., dba PPC Solar</p> <p><b>Contact Person Phone Number:</b> (575) 770 - 2089</p>	<p><b>Site Address:</b> 1564 Canyon Road, Santa Fe, NM 87501</p> <p><b>Proposed Construction Description:</b> PV electric roof and ground mounted construction</p> <p><b>TOTAL ROOF AREA:</b> 472 sq. ft. (addition roof)</p>
<p><b>Zoning District:</b> _____</p> <p><b>Overlay:</b>    <input type="checkbox"/> Escarpment _____                          <input type="checkbox"/> Flood Zone* _____                          <input type="checkbox"/> Other: _____</p> <p><b>Submittals Reviewed with PZR:</b></p> <p>                  <input type="checkbox"/> Legal Lot of Record    <input type="checkbox"/> Development Plan    <input checked="" type="checkbox"/> Building Plans    <input checked="" type="checkbox"/> Existing Site Plan    <input checked="" type="checkbox"/> Proposed Site Plan    <input checked="" type="checkbox"/> Elevations</p> <p><b>Supplemental Zoning Submittals Required for Building Permit:</b></p> <p>                  <input type="checkbox"/> Zero Lot Line Affidavit</p> <p><b>Access and Visibility:</b>    <input type="checkbox"/> Arterial or Collector**          <input type="checkbox"/> Visibility Triangle Required</p> <p><b>Use of Structure:</b>         <input checked="" type="checkbox"/> Residential          <input type="checkbox"/> Commercial Type of Use: _____</p> <p><b>Terrain:</b>    <input type="checkbox"/> 30% slopes _____</p>	<p><b>Lot Coverage :</b> _____ %                          <input checked="" type="checkbox"/> Open Space Required: 236 sq. ft. (ground)</p> <p><b>Setbacks:</b></p> <p>Proposed Front: _____ Minimum: _____          2<sup>nd</sup> Front? _____</p> <p>Proposed Rear: 71'7.5" Minimum: 10'                          Proposed Sides: L _____ R _____ Minimum: _____</p> <p><b>Height:</b> Proposed 10'6" (roof) 6'0" (ground)                          Maximum Height: _____ or                          <input type="checkbox"/> Regulated by Historic Districts Ordinance                          <input type="checkbox"/> Regulated by Escarpment District</p> <p><b>Parking Spaces:</b></p> <p>Proposed _____ Accessible _____                          Minimum: _____</p> <p><b>Bicycle Parking**:</b></p> <p>Proposed: _____ Minimum: _____                          ** Commercial Requirement</p>

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Paradise Power Company Inc., dba PPC Solar - Preston Bastardo (Design Engineer) \_\_\_\_\_ [ OWNER  APPLICANT  AGENT]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

*Preston Bastardo*  
 SIGNATURE

01/23/2023  
 DATE

**To Be Completed By City Staff:**

**Additional Agency Review if Applicable:**

Escarpment Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Flood Plain Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Traffic Engineering Approval by \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_

Notes: \_\_\_\_\_

**Zoning Approval:**

Preliminary Approval     with conditions     Rejected

Comments/Conditions: \_\_\_\_\_

\_\_\_\_\_

**REVIEWER:** \_\_\_\_\_ **DATE:** \_\_\_/\_\_\_/\_\_\_

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



P A R A D I S E P O W E R C O M P A N Y

January 23, 2023

Marisa Sargent & Angela Bordegaray  
Historic Preservation Division  
200 Lincoln Avenue  
City of Santa Fe, NM

Lopez Residence via PPC Solar  
1564 Canyon Road  
Santa Fe, NM 87501

Marisa and Angela,

PPC Solar is proposing to install an 8.4 kilowatt photovoltaic system at the Lopez Residence at the address listed above. Kate Lopez is currently building an addition to and remodeling an existing “round house” structure on her property. Her contractor has had a new PNM meter and transformer installed on the property so that the round house has its own service. PPC will tie-in the solar to this new meter.

There will be (20) SunPower SPR-A420 420-watt solar panels installed on the property. The solar panels are midnight blue (almost black) with black aluminum frame. (8) of the panels will be installed on the addition’s roof. The addition will have a flat roof, so the (8) panel array will be mounted on a ten-degree tilt, ballasted racking system. The racking system’s ballast bays are silver aluminum. The remaining (12) panels will be a ground-mounted system with Unirac 20-degree Ground-Fixed Tilt racking. The 20-degree tilt allows for a shorter height of array. The racking structure is comprised of silver steel and aluminum. The front of array will be 2 feet from grade, while the back of the array will be 6 feet (see attached datasheet for elevation). The ground-mount cannot be seen from Canyon road due to terraced grade from road to array location.

The ground-mount will be located approximately 130 feet southwest of the addition near the new PNM meter. The utility meter and disconnect will be located with the utility meter/main combo. The inverter will be located on the Unistrut rack with the meter/main combo. The conduit running from the ground-mounted array to the new addition will share a trench that the contractor digs for the new electric line at the round house.

Attached are photos of the site, equipment datasheets, a site plan for reference, and a scaled elevation plan for the roof and ground portion of the install. Please let me know if you need additional information, thank you.

Best Regards,

Preston Bastardo  
PPC Solar Design Engineer

**Land Division Survey Plat prepared for  
Kate Goodwin Lopez as Trustee of the Kate Goodwin Lopez Residence Trust**

REPLAT OF TRACT A, AS LAST DESCRIBED ON PLAT FILED IN SANTA FE COUNTY CLERK PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829 LYING WITHIN THE SANTA FE GRANT-PROJECTED SECTION 20, T17N, R10E, NMPM LOCATED AT 1564 CANYON ROAD, IN THE CITY OF SANTA FE COUNTY OF SANTA FE, STATE OF NEW MEXICO, U.S.A.

PURPOSE STATEMENT:  
THIS PLAT DIVIDES ONE EXISTING TRACT INTO TWO TRACTS ONE NEW TRACT HAS BEEN CREATED

**UTILITY COMPANY APPROVALS:**

*Weston* 10-4-09  
QUEST COMMUNICATIONS DATE  
*William Hill* 10-6-09  
PJM ELECTRIC DATE  
*Alvin Lopez* 10-12-09  
NM GAS COMPANY DATE  
*D.R. Cal* 10-17-09  
COMCAST CABLE DATE

**Direct Communications, Inc.**  
This plat has been approved for a conveyance interest only by the State of New Mexico.

**OWNERS CONSENT**

THE UNDERSIGNED OWNER-KATE LOPEZ DOES HEREBY CONSENT TO THE SURVEY OF LANDS SHOWN HEREON. THIS LOT SPLIT SURVEY BEING MADE WITH HER FREE CONSENT AND IS IN ACCORDANCE WITH HER DESIRES AND WISHES. ALL EASEMENTS ARE HEREBY GRANTED AS SHOWN. THESE LANDS LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, STATE OF NEW MEXICO. EASEMENTS ARE HEREBY GRANTED FOR ALL EXISTING UTILITIES.

*Kate Goodwin Lopez* 10-20-09  
KATE GOODWIN LOPEZ DATE  
TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST

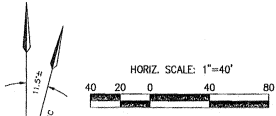
STATE OF NEW MEXICO }  
COUNTY OF SANTA FE }  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON October 20, 2009, BY KATE GOODWIN LOPEZ

NOTARY PUBLIC *Heather Matney* MY COMMISSION EXPIRES: May 13, 2011

**DOCUMENTS OF REFERENCE**

- NOTE: RECORDING DATA SHOWN BELOW REFERS TO FILING IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO.
1. SURVEY ENTITLED "SURVEY OF PROPERTY LINE BETWEEN TRACTS A & B FOR MARTHA WICKWIRE-WARD PH, SANTA FE, N. MEX.", BY JACK G. HORNE NMPMS NO. 689, FILED ON AUGUST 23, 1962, IN PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829.
  2. SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR JAMES P. BERESFORD & MARILYN BERESFORD, BY PHILIP B. WIEGEL NMPMS NO. 9758, FILED ON DECEMBER 15, 2003, AS INSTRUMENT NO. 1305,581
  3. SURVEY ENTITLED "BOUNDARY SURVEY AND LOT LINE ADJUSTMENT PLAT FOR VESTOR HOLDINGS, INC.", BY DAVID E. COOPER NMPMS NO. 9052, FILED ON FEBRUARY 20, 2008, IN PLAT BOOK 676, PAGE 014, AS INSTRUMENT NO. 1515,927.
  4. SURVEY ENTITLED "LOT SPLIT FOR DAVID R. & MARTHA G. AGNEW...", BY MITCHEL K. NOONAN NMPMS NO. 6999, FILED ON JUNE 19, 1986, IN PLAT BOOK 165, PAGE 001, AS DOCUMENT NO. 1595,566.
  5. DEED OF TRUSTEE, KATE GOODWIN LOPEZ, TRUSTEE OF THE LOPEZ FAMILY INTER VIVOS TRUST TO KATE GOODWIN LOPEZ, TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST, FILED ON DECEMBER 20, 2007, AS INSTRUMENT NO. 1510,140.

N/ F JAMES P. BERESFORD & MARILYN BERESFORD WARRANTY DEED INSTRUMENT NO. 1327,230 PLAT INSTRUMENT NO. 1305,581



I CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FILED SURVEY PERFORMED UNDER MY DIRECTION IN DECEMBER 2008 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS

*Paul A. Armijo* SEPTEMBER 28, 2009  
PAUL A. ARMILJO, N.M.P.S. NO. 13604 DATE



**NEW WATERLINE EASEMENT LINE DATA**

E1-	320°47'54"E	81.70'
E2-	327°01'57"E	48.41'
E3-	350°44'35"W	28.14'
E4-	319°19'37"E	40.46'
E5-	320°04'42"E	32.14'

**NEW 10' WIDE ACEQUIA EASEMENT CENTERLINE DATA**

A1-	347°50'20"W	78.25'
A2-	327°14'45"E	23.01'
A3-	332°24'40"W	66.61'
A4-	324°54'30"W	23.60'
A5-	324°21'02"W	39.80'
A6-	328°45'30"W	12.86'
A7-	328°40'00"W	31.00'
A8-	324°44'34"W	41.12'
A9-	320°42'37"W	24.22'
A10-	333°30'37"W	19.81'
A11-	310°03'30"W	32.90'
A12-	325°54'01"E	21.87'
A13-	343°01'26"W	13.14'
A14-	320°50'17"W	13.12'

**NEW ACCESS EASEMENT LINE & CURVE DATA**

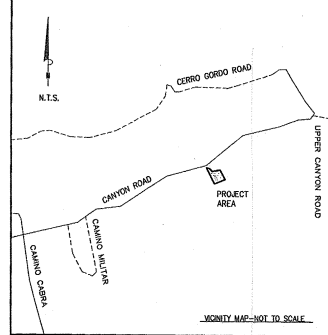
C1-	329°44'24"E	16.10'	
C2-	310°32'07"E	21.00'	
C3-	325°17'29"E	30.30'	
C4-	326°02'59"E	50.31'	
C5-	327°45'54"E	15.04'	
C6-	328°24'16"E	15.75'	
C7-	326°56'06"W	2.91'	
C8-	42°08'08" R	112.49' L	88.62'
C9-	328°50'37" R	48.30'	
C10-	323°32'22" R	88.72' L	68.12'
C11-	310°32'07" R	66.75'	
C12-	327°45'54" R	79.57' L	112.11'
C13-	327°34'30" R	48.103.06'	
C14-	328°24'16" R	68.72'	
C15-	343°01'26" R	32.10'	
C16-	329°44'24" R	37.94'	

**INDEXING INFORMATION FOR COUNTY CLERK**  
OWNER: THE KATE GOODWIN LOPEZ RESIDENCE TRUST DEED OF TRUSTEE, INSTRUMENT NO. 1510,140  
LOCATION: TRACT A, PLAT BOOK 9, PAGE 76 DOCUMENT NO. 258,829  
WITHIN THE SANTA FE GRANT PROJECTED SECTION 20, T17N, R10E, NMPM 1564 CANYON ROAD, CITY OF SANTA FE SANTA FE COUNTY, NEW MEXICO

CITY OF SANTA FE  
CONTROL MONUMENT NO. 37C-1110  
ALUM. DISC. IN CONC. BASE



Document No. **1582541**  
COUNTY CLERKS INSTRUMENT BLOCK  
COUNTY OF SANTA FE, STATE OF NEW MEXICO  
I hereby certify that this instrument was filed for record on the 16 day of Nov, A.D. 2009 at 2:15 o'clock P.m., and was duly recorded in Book 710 Page 223 of the Records of Santa Fe County Witness My Hand and Seal of Office  
*Valerie Espinoza*  
VALERIE ESPINOZA  
County Clerk, Santa Fe County, New Mexico  
DEPUTY *Philip M. Benji*



**710023 CITY OF SANTA FE REVIEW**

CITY PLANNER *Risana Zurek* 11-4-09  
CITY ENGINEER FOR LAND USE 11/16/09  
APPROVED BY THE SUMMARY COMMITTEE AT THEIR MEETING OF: JUNE 4, 2009 SP-2009-01  
CHAIRMAN *Valerie Espinoza* 10-20-09  
SECRETARY *Heather Matney* 10-21-09

**DEVELOPMENT NOTES**

1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 2001 AND SUBSEQUENT AMENDMENTS.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE AND SUBSEQUENT AMENDMENTS.
3. BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME BUILDING PERMIT APPLICATION AS DETAILED IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS.
4. APPLICANT IS REQUIRED TO OBTAIN APPROVAL FROM THE MAYORDOMO OF THE ACEQUIAS FOR ANY DEVELOPMENT PERMITS.
5. PRIOR TO ANY NEW CONSTRUCTION A FIRE ACCESS ROAD IN ACCORDANCE WITH CHAPTER 14 OF THE SANTA FE CITY CODE AND THE INTERNATIONAL FIRE CODE SHALL BE PROVIDED. FIRE ACCESS ROAD REQUIREMENTS SHALL ADDRESS WIDTH, GRADE AND TURNAROUNDS.
6. ARCHEOLOGICAL CLEARANCE IS NOT NEEDED AT THIS TIME, BUT WILL BE REQUIRED FOR BOTH LOTS ONCE ANY GROUND DISTURBANCE IS PROPOSED SINCE THE LOTS WILL EACH BE OVER 2 ACRES AND ARE LOCATED IN THE RIVER AND TRAIL ARCHEOLOGICAL REVIEW DISTRICT.
7. AT THE TIME OF BUILDING PERMIT APPLICATIONS PROPOSED HEIGHTS OF ALL STRUCTURES SHALL BE EVALUATED FROM EXISTING GRADE FOR NEW STRUCTURES.
8. THE LOT AT HIGHER ELEVATION WILL HAVE LOW WATER PRESSURE AND MAY REQUIRE A BOOSTER PUMP FOR SERVICE.

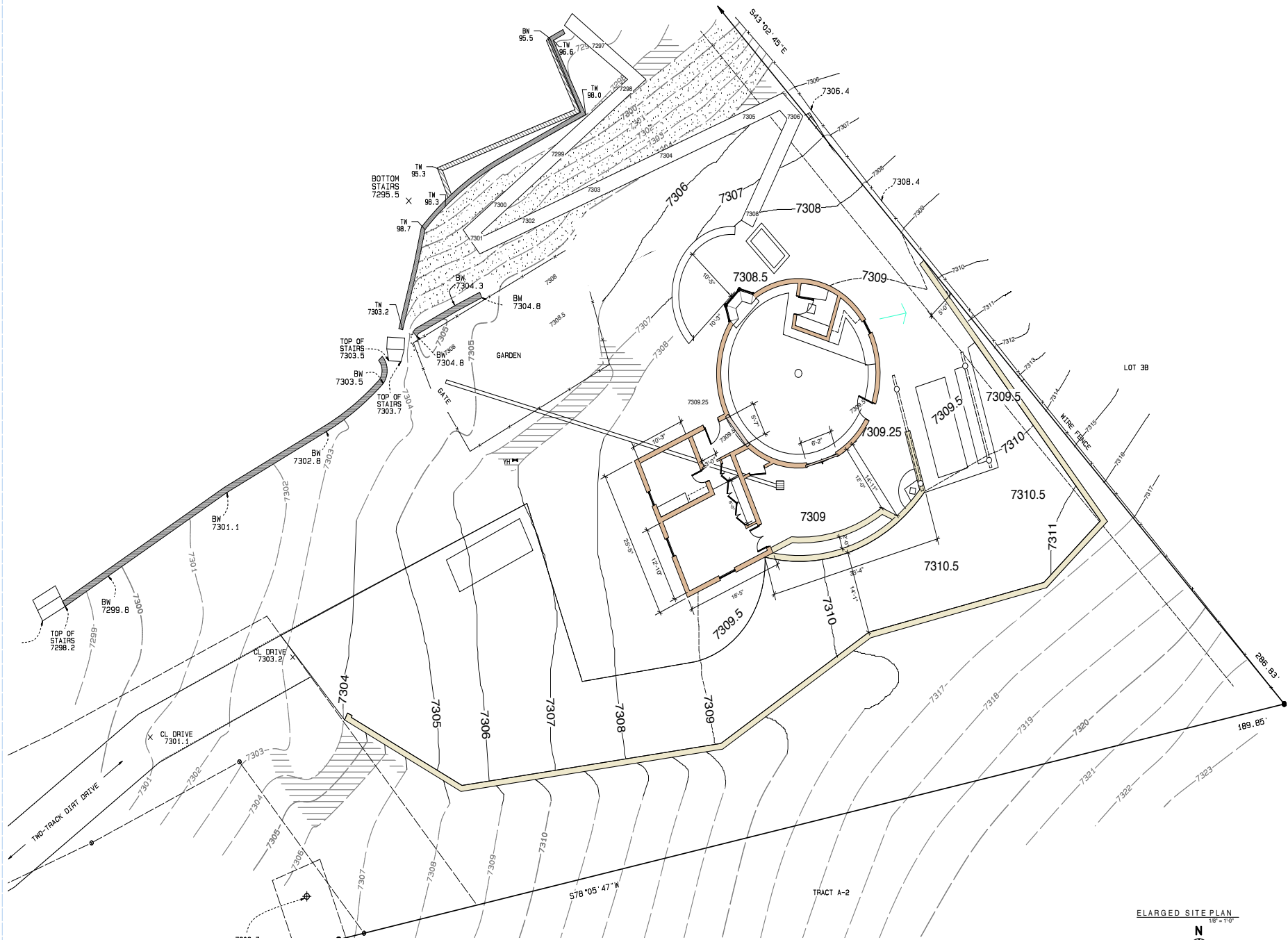
**SURVEYORS NOTES**

1. DATA IN 1-PARENTHESIS ( ) TAKEN FROM REFERENCE DOCUMENT 1.
2. DATA IN 2-PARENTHESIS ( ( ) ) TAKEN FROM REFERENCE DOCUMENT 2.
3. DATA IN 3-PARENTHESIS ( ( ( ) ) ) TAKEN FROM REFERENCE DOCUMENT 3.
4. SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-056-099-350-035.
5. COMMITMENT FOR TITLE INSURANCE ON THIS PROPERTY ISSUED BY: TERRITORIAL ABSTRACT & TITLE CO., INC. FILE NO. 00011280 BK.
6. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NO. 3504900417D, DATED JUNE 17, 2008.
7. DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
8. DATE OF FIELD SURVEY: DECEMBER 10, 2008.
9. ALL NATURAL DRAINAGE WAYS ARE TO BE LEFT UNIMPEDED FOR NATURAL STORM WATER FLOW.
10. AREA OF ENTIRE PROPERTY BY THIS SURVEY: 196,016 SQ. FT. ± OR 4.500 ACRES, AREA ON PRIOR SURVEY-REF. DOC. 1: 4.500 ACRES.

**ARMILJO SURVEYS INC**  
PAUL A. ARMILJO, N.M.P.S. NO. 13604  
P.O. BOX 24438, SANTA FE, NEW MEXICO 87502-9438  
PH. (505) 471-1955 FAX. (505) 471-1925

LAND DIVISION SURVEY PLAT PREPARED FOR KATE GOODWIN LOPEZ AS TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST

DRAWN BY *P.A.A.* DATE DEC. 2008  
JOB No. 2804062 SHEET No. 1 OF 1



ENLARGED SITE PLAN  
1/8" = 1'-0"

N

**LOPEZ ADDITION**  
 1564 CANYON ROAD, SANTA FE, NEW MEXICO 87501

December, 3, 2021

PROJECT: 21-06

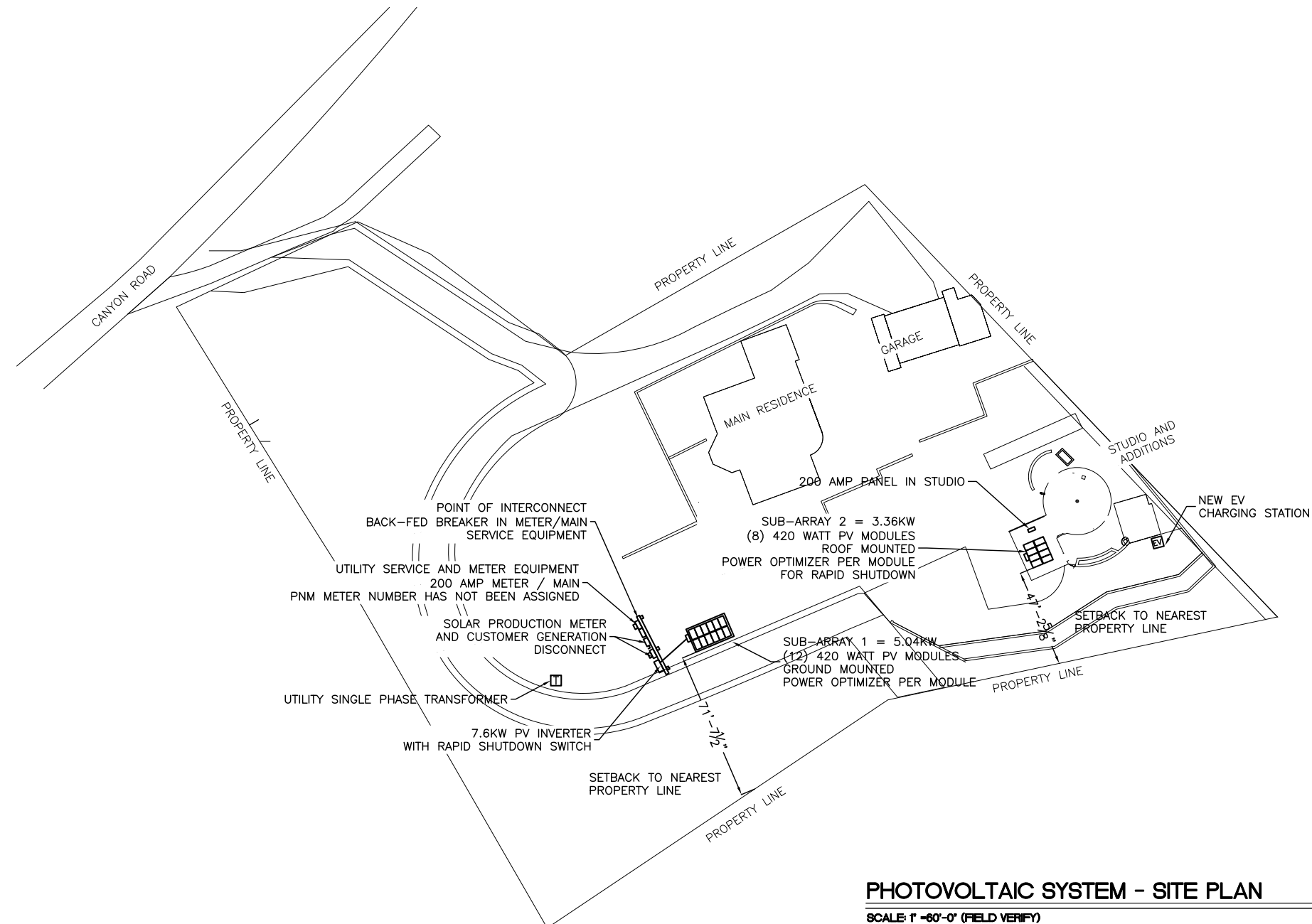
ENLARGED  
SITE PLAN

**L2**

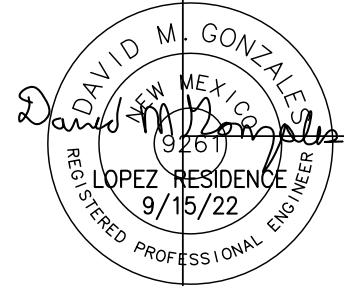
PV SYSTEM SUMMARY

PV INVERTERS: (1) \* 7.6 KW = 7.6 KW AC  
 TOTAL AC: = 7.6 KW AC

PV PANELS: (20) \* 420W = 8.4 KW (STC-DC)  
 WITH SE P401-5 POWER OPTIMIZER PER MODULE



**PHOTOVOLTAIC SYSTEM - SITE PLAN**  
 SCALE: 1" = 60'-0" (FIELD VERIFY)



245 PASADENA DEL CANYON EAST  
 TAOS, NM 87571  
 TEL: 575-787-5896  
 FAX: 575-785-3024

No.	REVISION	BY	APP.	DATE

PROJECT:	22125	DESIGNED BY:	D.G.
FILE:	22125	DRAWN BY:	D.G.
DATE:	9/15/22	CHECKED BY:	D.G.
SCALE:			AS NOTED

PROJECT: **LOPEZ RESIDENCE**  
 1564 CANYON RD. SANTA FE, NM 87501  
 SHEET TITLE: **PHOTOVOLTAIC SYSTEM SITE PLAN**

SHEET NO.  
**PV-1**

Lopez Residence

1564 Canyon Rd, Santa Fe, NM 87501, USA

PPC Solar



Array 1: (12) 420 Watt solar panels on Unirac Ground Fixed Tilt racking system at 30 degree tilt. 2 rows of 6 in portrait orientation

- Array dimensions:  
East to West — 20'5"  
South to North — 12'1.5"  
Height — 8'8"
- Array 1 will be next to new PNM service installed for round house, and hidden by nearby trees

Array 2: (8) 420 Watt solar panels Unirac ballasted racking (no roof penetrations) in landscape orientation

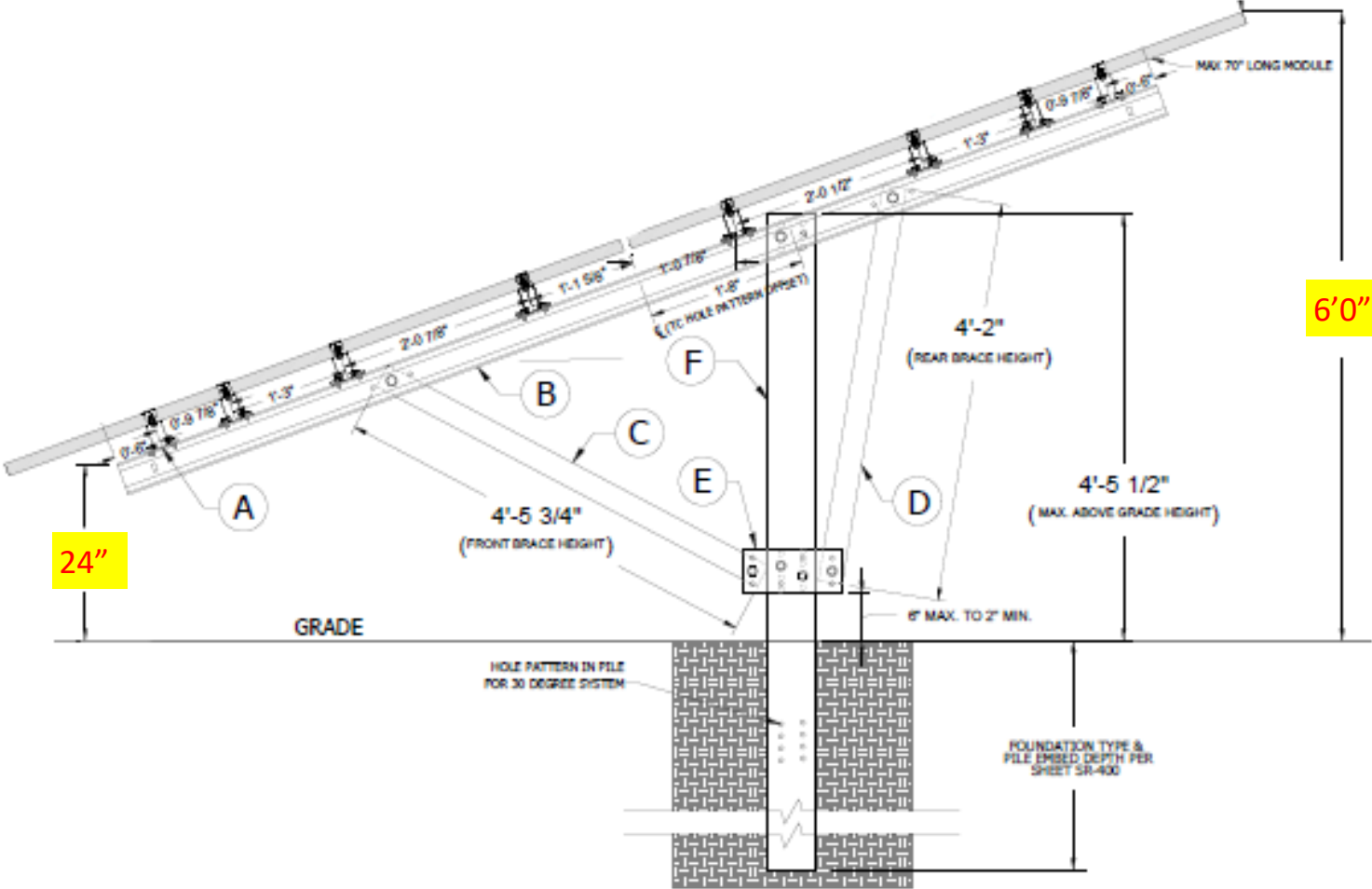
Located on roof of addition to round house

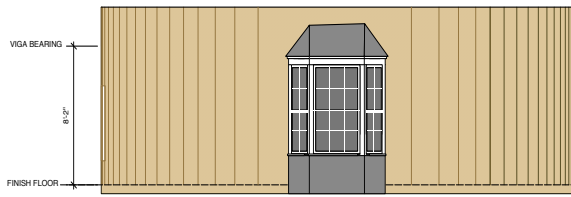
- Array dimensions:  
East to West — 12'0.5"  
South to North — 21'6"
- Addition's dimensions:  
East to West — 18'5"  
South to North — 25'5"
- Array height from roof grade — 12"
- Addition's parapet height — 12"
- Addition's height from grade — 10'6"
- Top of solar panel height from grade — 10'6"

**Ground-mount Elevations - View from East**

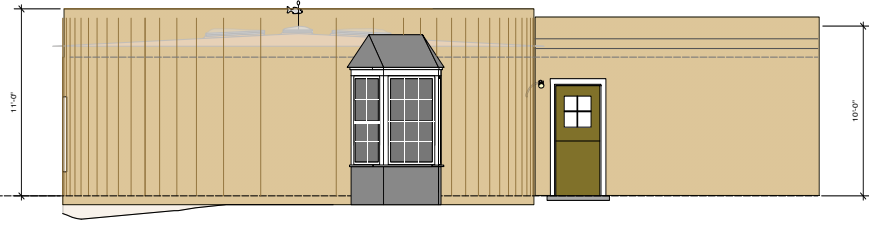
Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501

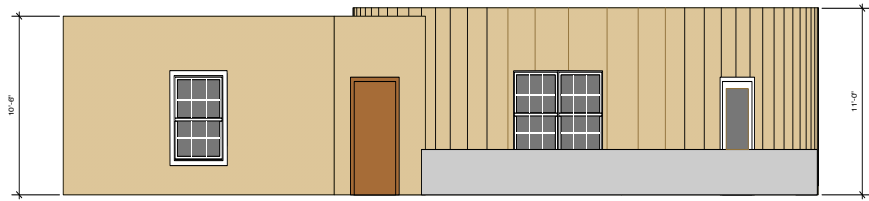




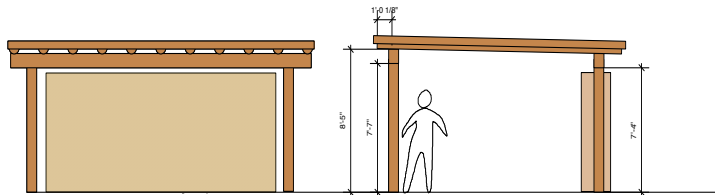
ELEVATION AT BAY WINDOW  
1/4" = 1'-0"



NORTH ELEVATION  
1/4" = 1'-0"



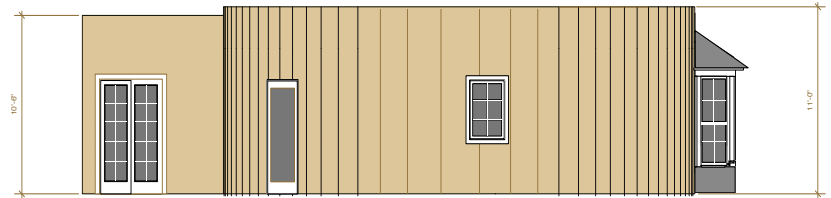
SOUTH ELEVATION  
1/4" = 1'-0"



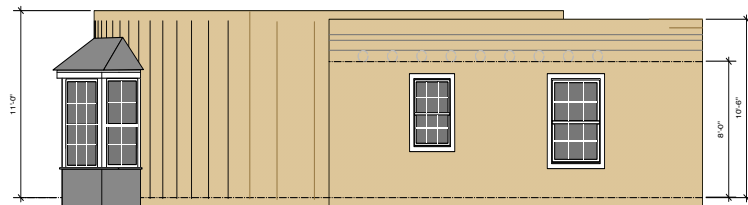
EAST ELEVATION  
1/4" = 1'-0"

SOUTH ELEVATION  
1/4" = 1'-0"

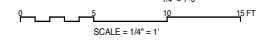
CARPORT

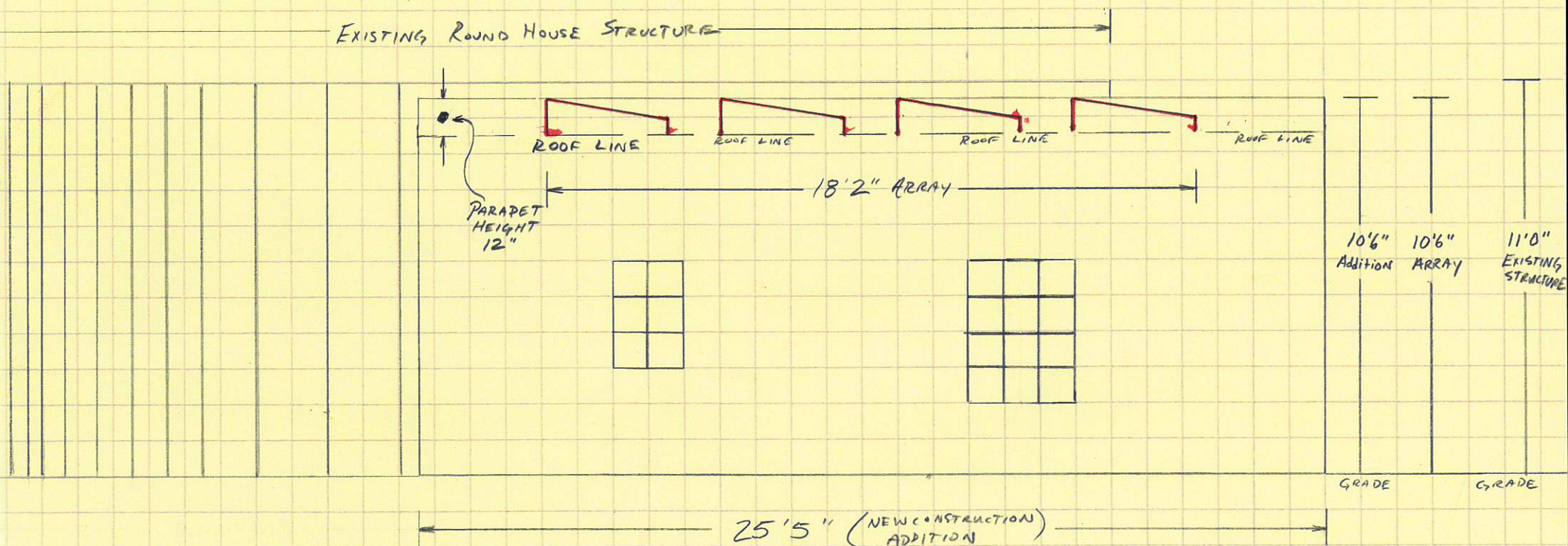


EAST ELEVATION  
1/4" = 1'-0"



WEST ELEVATION  
1/4" = 1'-0"





SOLAR ELEVATION FOR LOPEZ RESIDENCE ~ WEST ELEVATION

- UNIRAC RM10 BALLASTED RACKING WITH 10 DEGREE TILT  
~ MOUNTED ON NEW BUILD ADDITION ROOF
- (8) SUNPOWER SPR-A420 420W DC MODULES
- \* SEE EQUIPMENT DATASHEETS FOR GROUND-MOUNTED ARRAY ELEVATIONS

SCALE = 1/4" = 1'





**Ground-mount location**

**Ground-mount Location**

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501



Ground-mount east end

Round house + addition

**Ground-mount Location**

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501



Ground-mount west end

Roof-mount location



**Street View from Canyon Road**

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501





Roof-mount location (on addition to round house — not on satellite image)

Ground-mount location

1564 Canyon Rd,  
Santa Fe, NM 87501

Street view from Canyon Rd.

Overhead view from Canyon Road

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501

Upper Can



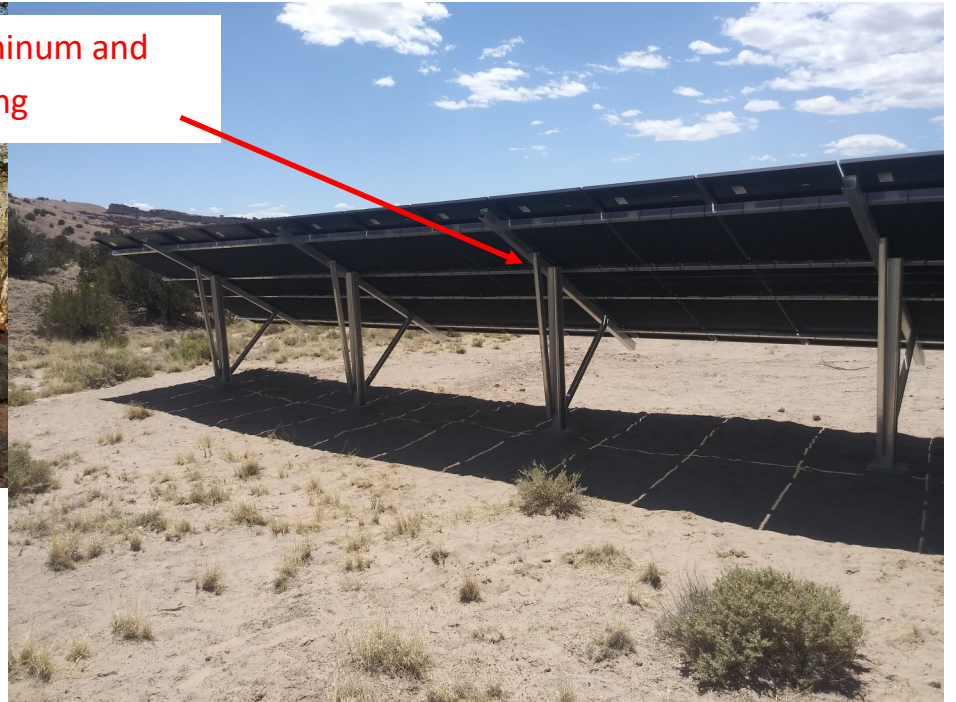
**Roof-mount Location on round house addition**

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501



Silver aluminum and steel racking



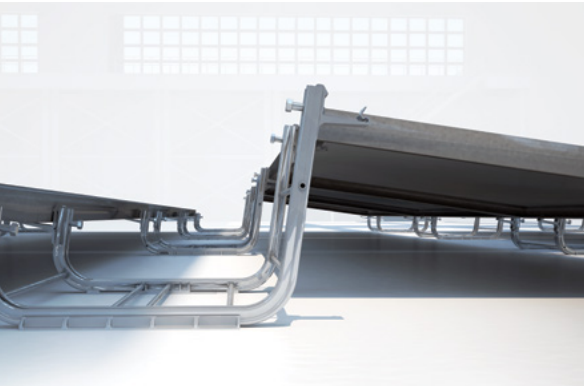
Ground-mount examples from previous installations

Lopez PV

1564 Canyon Rd., Santa Fe, NM 87501



20 degree-tilt array  
- 6 foot elevation from grade



## THE POWER OF SIMPLICITY

Introducing the Unirac RM. An easy to assemble, high quality, low part number flat roof solution from the industry's leading PV mounting manufacturer.

The smart design and engineering of the Unirac RM is the result of years of proven performance as the industry's leading PV mounting company. Assembled from 2 parts with 1 tool, Unirac delivers the easiest to install and most reliable flat roof solution on the market today, designed to reduce overall project costs, risks and complexity.

[www.unirac.com](http://www.unirac.com)



Copyright © 2012-2013 / Unirac Inc.  
All rights reserved Pub130821

### PROJECT CHARACTERISTICS

Allowable Roof Slope:	5 Degrees
Unevenness:	+/- 3.5 Degrees
Max Building Height:	100 ft <sup>1</sup>
Wind Speed:	Up to 120 mph <sup>2</sup>
Wind Exposure:	Categories B and C. (D upon request)
PSF on Roof:	As low as 3.5 PSF <sup>3</sup>
Surfaces:	Most common roof types including PVC & TPO membranes, bitumen, concrete
Min. Local Contact Area:	38 in <sup>2</sup> per module (57 in <sup>2</sup> with roof pad)
Module Orientation:	Landscape
Nominal Module Tilt Angle:	10 Degrees (nominal) <sup>4</sup>
Row Spacing:	18 in (nominal) <sup>4</sup>

### COMPONENTS MATERIALS

Ballast Bay	Aluminum 6063-T5
Module Clamp	Aluminum 6005A-T61
Locking 3/8" Hex Bolt	Stainless Steel 300 Series
Roof Pad	TPE 70 Shore A

### BALLAST BAY GEOMETRY

Width:	21 in
Length:	17 in
Height:	13 in
Weight:	3.5 lbs
Roof Pad:	3 in x 10 in

### MODULE COMPATIBILITY

Standard 60 and 72 Cell Framed Modules	
Module Clamp w/ Integrated Bonding to UL2703	
Seismic Attachment	If required
Cable Management	Compatible w/ strut accessories

### WARRANTY

10 Year Structural Performance Warranty  
20 Year Materials and Defects Warranty

<sup>1</sup> Self configurable up to 60'. Greater than 60' upon request.

<sup>2</sup> ASCE 7-05 Wind Maps

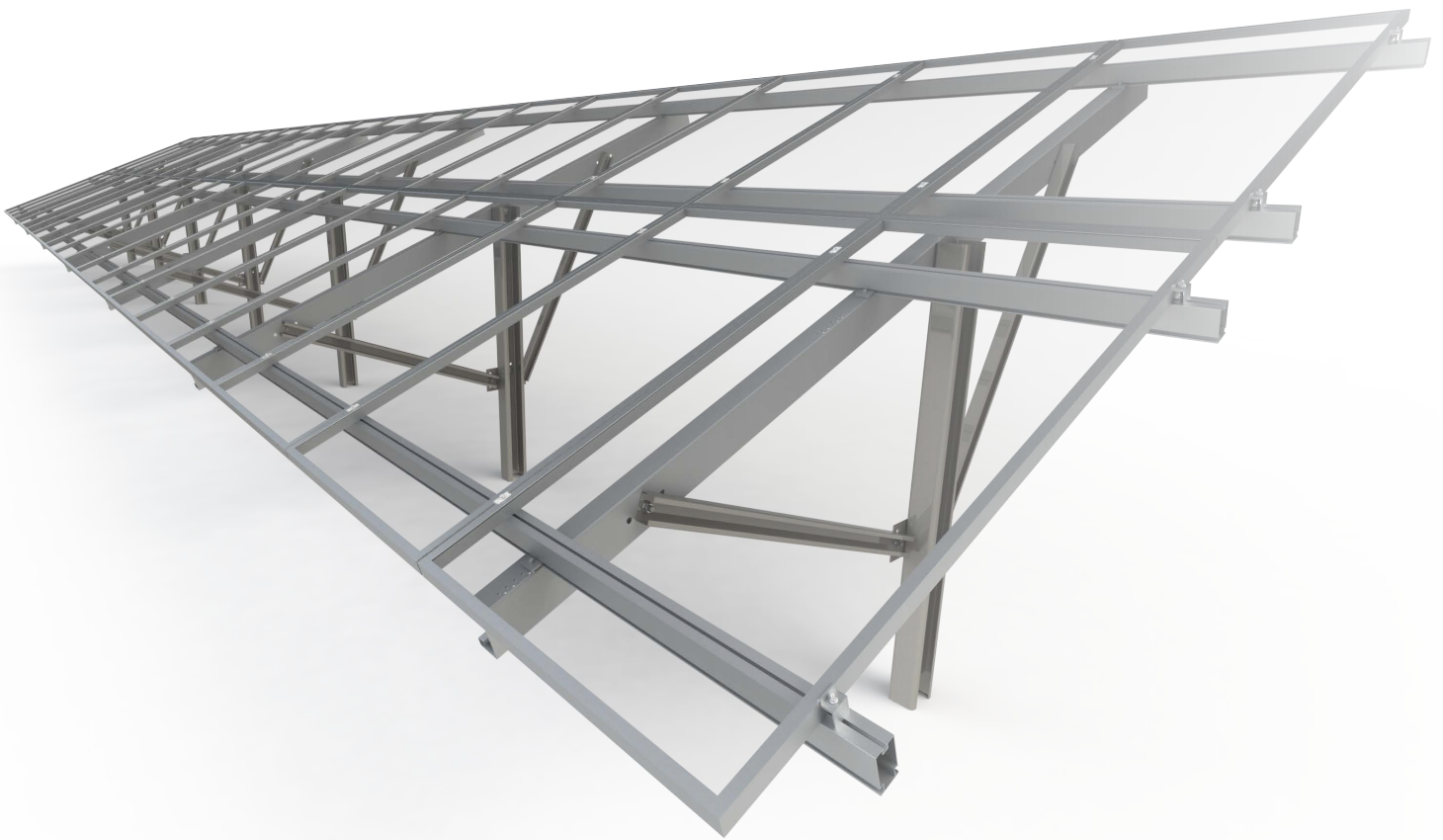
<sup>3</sup> Criteria used: ASCE 7-10 wind (110 mph), Snow=0, Building height= 30 ft., Exposure Category B

<sup>4</sup> Varies by module

# GROUND FIXED TILT



**GROUND FIXED TILT (GFT)** has evolved from more than 12 years of experience meeting a variety of project requirements. A synergy of steel components and aluminum parts deliver performance with the lowest system cost. Installation savings are captured through efficiently engineered components, optional pre-assembled parts and integrated bonding for optimized construction sequencing. GFT delivers engineered cost savings to meet your project needs.



**SCALABLE TO ANY SIZE PROJECT**

**LESS STEPS • FEWER PARTS • BEST SERVICE • QUALITY PROVIDER**

# GROUND FIXED TILT



## SCALABLE TO ANY SIZE PROJECT

### ALUMINUM BEAMS WITH MAXIMUM ADJUSTABILITY

East-West aluminum beams include a top mounting slot to accommodate a variety of module sizes without customizing a design for your project. Attachment to North-South top chords is simple and quick with slots yielding maximum construction tolerances throughout the array. A series of pre-drilled holes on the foundation channel and steel top chord ease the assembly process with fewer tools and less labor.

## ENGINEERED COST SAVINGS

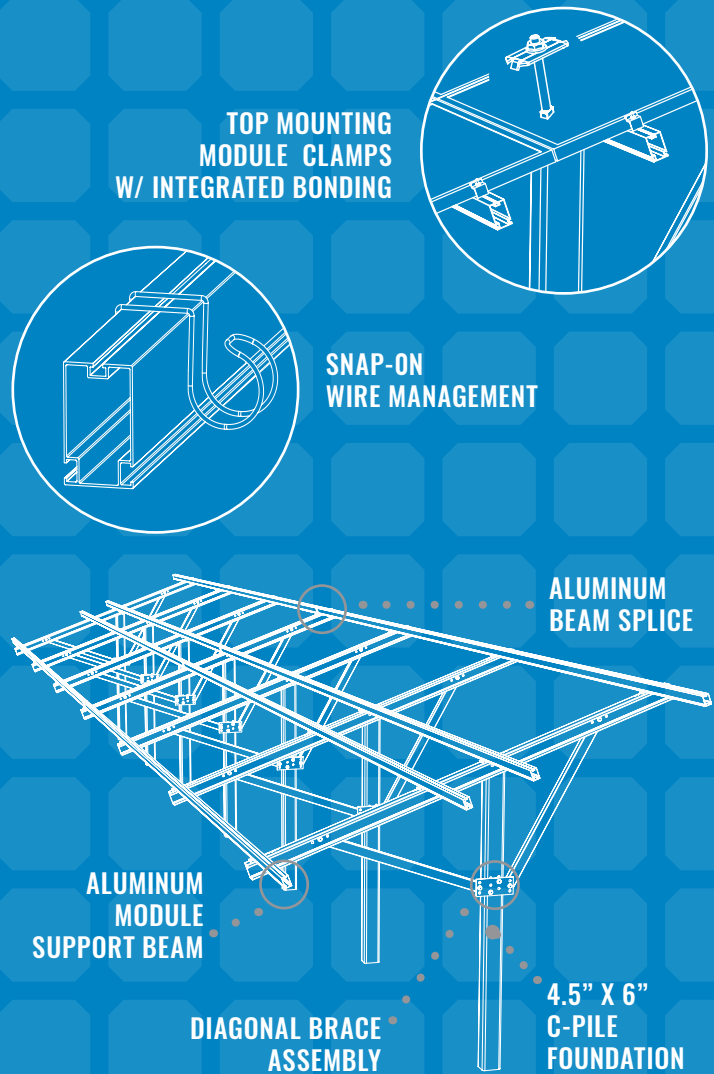
### PRE-ASSEMBLY & WIRE MANAGEMENT

When project optimization outweighs component costs, Unirac will pre-assemble the top mounting clamps, shifting part of the installation process to our factory and saving labor steps on the job site. Wire management simply snaps anywhere onto the aluminum beam, holding bundles of wire up to 2 inches in diameter.

## PROJECT SUPPORT SERVICES

### DESIGN & QUOTATION ASSISTANCE

Every project receives standard drawings and calculations to aid permitting and system installation. We provide top notch project management services including design & quotation assistance, site-specific construction drawings and 3rd party structural design documentation.



## UNIRAC CUSTOMER SERVICE MEANS THE HIGHEST LEVEL OF PRODUCT SUPPORT

 UNMATCHED EXPERIENCE	 CERTIFIED QUALITY	 ENGINEERING EXCELLENCE	 BANKABLE WARRANTY	 DESIGN TOOLS	 PERMIT DOCUMENTATION
--------------------------	-----------------------	----------------------------	-----------------------	------------------	--------------------------

### ON-TIME DELIVERY

No waiting. Our goal is simple: Consistently deliver solutions and services correctly, efficiently and dependably to exceed your expectations. Our world-class operations provide a 99% on-time delivery to help you meet your commitment dates.

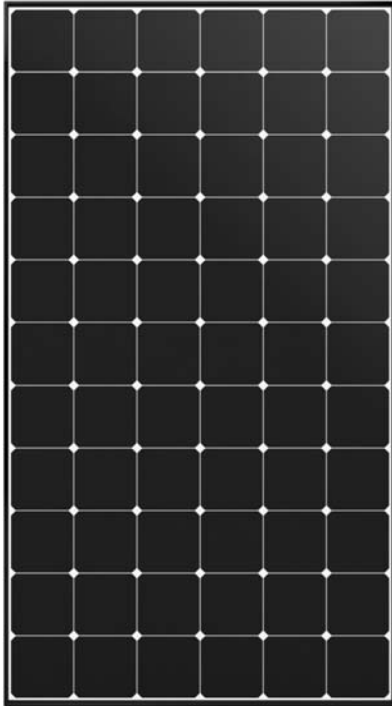
### CERTIFIED QUALITY PROVIDER

Unirac is the only PV mounting vendor with ISO certifications for 9001:2008, 14001:2004 and OHSAS 18001:2007, which means we deliver the highest standards for fit, form, and function. These certifications demonstrate our excellence and our commitment to first class business practices.

### BANKABLE WARRANTY

Unirac has the financial strength to back our products and reduce your risk. Have peace of mind knowing you are receiving products of exceptional quality. GFT is covered by a 20-year manufacturing warranty on all parts.

PROTECT YOUR REPUTATION WITH QUALITY RACKING SOLUTIONS BACKED BY ENGINEERING EXCELLENCE AND A SUPERIOR SUPPLY CHAIN



## 390–420 W Residential A-Series Panels

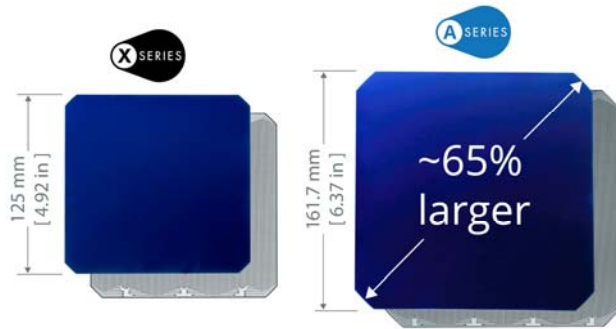
### SunPower® Maxeon® Technology

SunPower® Maxeon® cell-based panels maximize energy production and savings by combining industry-leading power, efficiency, and durability with the most comprehensive power, product, and service warranty in the industry.<sup>1,2</sup>

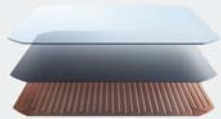


#### Highest Power Density Available

SunPower's new Maxeon Gen 5 cell is 65% larger than prior generations, delivering the most powerful cell and highest efficiency panel in residential solar.<sup>2</sup> The result is more power per square meter than any commercially available solar.<sup>1</sup>



### SunPower Maxeon Solar Cell Technology



Fundamentally Different. And Better.

- Cell efficiencies of over 25%
- Delivers leading reliability<sup>3</sup>
- Patented solid metal foundation prevents breakage and corrosion

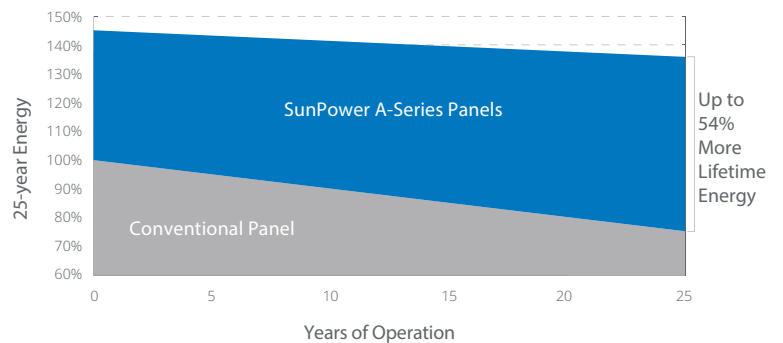
As sustainable as the energy it produces.

- Achieved the #1 ranking on the Silicon Valley Toxics Coalition's Solar Scorecard for 3 years running
- SunPower modules can contribute to your business's LEED certification<sup>4</sup>



#### Maximum Lifetime Energy and Savings

Designed to deliver up to 54% more energy from the same space over the first 25 years in real-world conditions like partial shade and high temperatures.<sup>1</sup>



#### Best Reliability, Best Warranty

SunPower technology is proven to last and we stand behind our panels with the industry's most comprehensive 25-year Combined Power, Product and Service Warranty.

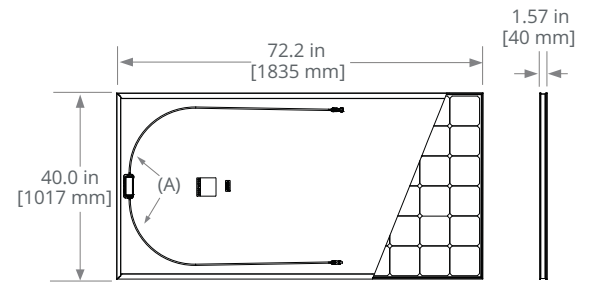


## 390–420 W Residential A-Series Panels

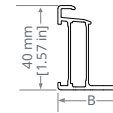
Electrical Data					
	SPR-A420	SPR-A415	SPR-A410	SPR-A400	SPR-A390
Nominal Power (P <sub>nom</sub> ) <sup>5</sup>	420 W	415 W	410 W	400 W	390 W
Power Tolerance	+5/0%	+5/0%	+5/0%	+5/0%	+5/0%
Panel Efficiency	22.5%	22.2%	22.0%	21.4%	20.9%
Rated Voltage (V <sub>mpp</sub> )	40.5 V	40.3 V	40.0 V	39.5 V	39.0 V
Rated Current (I <sub>mp</sub> )	10.4 A	10.3 A	10.2 A	10.1 A	9.99 A
Open-Circuit Voltage (V <sub>oc</sub> )	48.2 V	48.2 V	48.2 V	48.1 V	48.0 V
Short-Circuit Current (I <sub>sc</sub> )	10.9 A	10.9 A	10.9 A	10.9 A	10.8 A
Max. System Voltage	1000 V UL				
Maximum Series Fuse	20 A				
Power Temp Coef.	-0.29% / °C				
Voltage Temp Coef.	-136 mV / °C				
Current Temp Coef.	4.1 mA / °C				

Operating Condition And Mechanical Data	
Temperature	-40° F to +185° F (-40° C to +85° C)
Impact Resistance	1 inch (25 mm) diameter hail at 52 mph (23 m/s)
Appearance	Class A+
Solar Cells	66 Monocrystalline Moxeon Gen 5
Tempered Glass	High-transmission tempered anti-reflective
Junction Box	IP-68, TE (PV4S)
Weight	44 lbs (20 kg)
Max. Test Load <sup>6</sup>	Wind: 125 psf, 6000 Pa, 611 kg/m <sup>2</sup> back Snow: 187 psf, 9000 Pa, 917 kg/m <sup>2</sup> front
Design Load	Wind: 75 psf, 3600 Pa, 367 kg/m <sup>2</sup> back Snow: 125 psf, 6000 Pa, 611 kg/m <sup>2</sup> front
Frame	Class 1 black anodized (highest AAMA rating)

Tests And Certifications	
Standard Tests	UL1703
Quality Management Certs	ISO 9001:2015, ISO 14001:2015
EHS Compliance	RoHS, OHSAS 18001:2007, lead free, Recycle Scheme, REACH SVHC-163
Available Listings	UL



FRAME PROFILE



- (A) Cable Length: 52 in +/-0.4 in [1320 mm +/-10 mm]  
 (B) Long Side: 1.3 in [32 mm]  
 Short Side: 0.9 in [24 mm]

1 SunPower 420 W, 22.5% efficient, compared to a Conventional Panel on same-sized arrays (280 W p-multi, 17% efficient, approx. 1.64 m<sup>2</sup>), 8% more energy per watt (based on PVSyst pan files for avg US climate), 0.5%/yr slower degradation rate (Jordan, et. al. "Robust PV Degradation Methodology and Application." PVSC 2018).

2 Based on search of datasheet values from websites of top 20 manufacturers per IHS, as of December 2019.

3 Jordan, et. al. Robust PV Degradation Methodology and Application. PVSC 2018.

4 Moxeon panels can contribute to LEED Materials and Resources credit categories.

5 Standard Test Conditions (1000 W/m<sup>2</sup> irradiance, AM 1.5, 25° C). NREL calibration Standard: SOMS current, LACCS FF and Voltage.

6 Please read the safety and installation guide for more information regarding load ratings and mounting configurations.

See [www.sunpower.com/company](http://www.sunpower.com/company) for more reference information.

For more details, see extended datasheet: [www.sunpower.com/solar-resources](http://www.sunpower.com/solar-resources). Specifications included in this datasheet are subject to change without notice.

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1-800-SUNPOWER

[sunpower.com](http://sunpower.com)

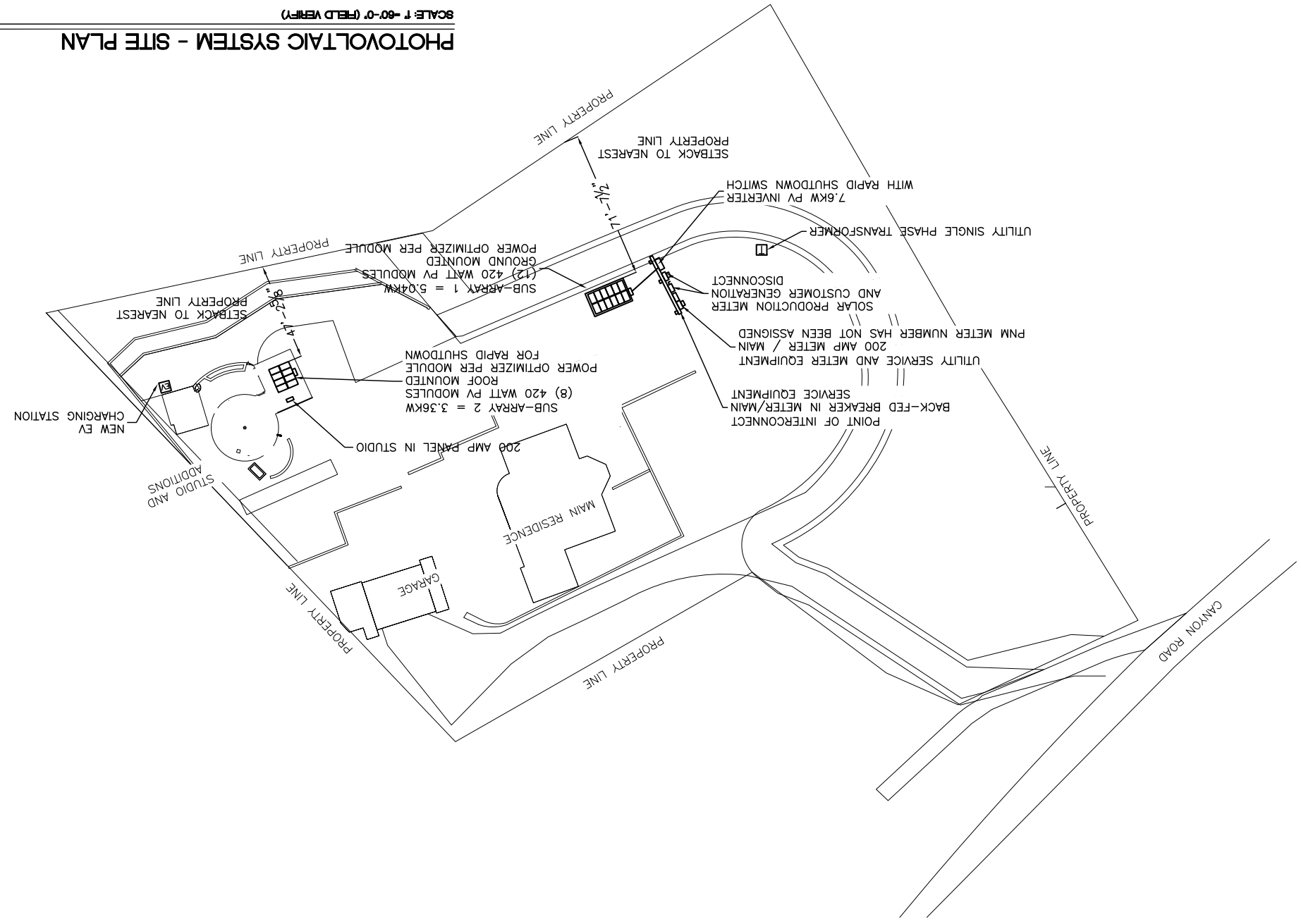
SUNPOWER®



533065 Rev C / LTR\_US

Publication Date: May 2020

PHOTOVOLTAIC SYSTEM - SITE PLAN  
SCALE: 1" = 60'-0" (FIELD VERIFY)



**PV SYSTEM SUMMARY**  
 PV INVERTERS: (1) \* 7.6 KW = 7.6 KW AC  
 TOTAL AC: = 7.6 KW AC  
 PV PANELS: (20) \* 420W = 8.4 KW (STC-DC)  
 WITH SE P401-5 POWER OPTIMIZER PER MODULE

PV-1

SHEET NO.



**PROJECT:**  
**LOPEZ RESIDENCE**  
 1564 CANYON RD. SANTA FE, NM 87501  
**SHEET TITLE:**  
**PHOTOVOLTAIC SYSTEM**  
**SITE PLAN**

No.	REVISION	BY	APP.	DATE

PROJECT: 22128 DESIGNED BY: D.G.  
 FILE: 22128 DRAWN BY: D.G.  
 DATE: 9/15/22 CHECKED BY: D.G.  
 SCALE: AS NOTED

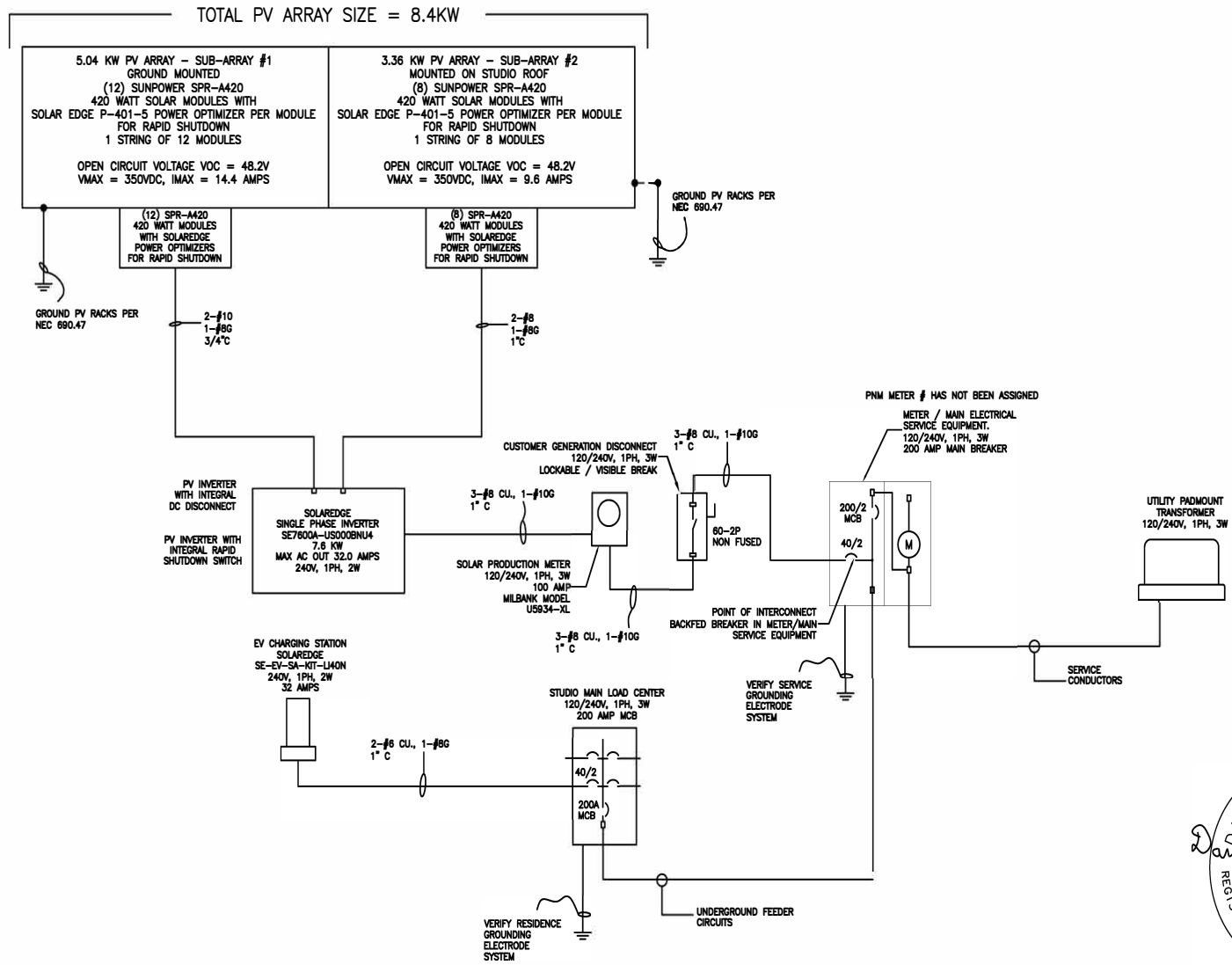
245 PASEO DEL CANYON EAST  
 TAOS, NM 87571  
 TEL 575-797-8898  
 FAX 575-788-8024



# PV SYSTEM SUMMARY

PV INVERTERS: (1) \* 7.6 KW = 7.6 KW AC  
 TOTAL AC: = 7.6 KW AC

PV PANELS: (20) \* 420W = 8.4 KW (STC-DC)  
 WITH SE P401-5 POWER OPTIMIZER PER MODULE



**PHOTOVOLTAIC SYSTEM - ONE LINE DIAGRAM**

SCALE NONE

PPC SOLAR

840 PABLO DR. CANYON BLVD  
 2506, NM 87071  
 TEL 505-897-0888  
 FAX 505-897-0884

No.	REVISION	BY	DATE

PROJECT: \_\_\_\_\_ DESIGNED BY: \_\_\_\_\_ D.G.  
 DRAWN BY: \_\_\_\_\_ D.G.  
 DATE: 9/15/22 CHECKED BY: \_\_\_\_\_ D.G.  
 SCALE: \_\_\_\_\_

PROJECT: **LOPEZ RESIDENCE**  
 1564 CANYON RD. SANTA FE, NM 87501  
 SHEET TITLE: **PHOTOVOLTAIC SYSTEM ONE-LINE DIAGRAM**

DAVID M. GONZALES  
 9261  
 LOPEZ RESIDENCE  
 9/15/22  
 REGISTERED PROFESSIONAL ENGINEER

SHEET NO.  
**PV-3**



# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2022-006281--HDRB

**Project Description:** Add ramp to w elevation; widen/replace n elevation door

**Project Location:** 239 Johnson Street Santa Fe, NM 87501  
Santa Fe, NM 87501

**Contacts:**

Applicant: Christopher Purvis  
222 E MARCY ST 19  
Santa Fe, NM 87501

architect@ACP-AIA.com

Property Owner: Kevin Abrams

kevin.abrams@conroadassocia

**Historic District:** HD: Downtown And Eastside

**Historic Building Status:**

Non-Statused: False    Non-Contributing: False    Contributing: True    Significant/Landmark: False

**Primary Elevations:**

**Publicly Visible Facade-East:** Yes

**Publicly Visible Facade-North:** Yes

**Publicly Visible Facade-South:** Yes

**Publicly Visible Facade-West:** Yes

**Historic District Inventory Number:** 2022

**Year of Construction:** 1880, 1902, 1912, 1948

**Project Type:** Remodel

**Historic Building Name:** Gardner Apartments/Ruby's Nursing Home/Sunstone Press Building

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

---

Case # 2022-006281-HDRB

Address: 239 Johnson Street  
Historic Status: Contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

N/A Zoning Review Sheet

Other: Sanborn maps

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

239 Johnson Street is a one-story 5,590 square foot multi-use commercial building at the southwest corner of Johnson and Chappelle Streets. It is designated contributing to the Downtown and Eastside Historic District. Per the applicant's commissioned historic building survey form, (HCPI) its earliest portion dates to the 1880s and is a conglomeration of historical additions based on Sanborn maps from 1902, 1930, 1948, and 1958. It was built in the typical accretive Northern New Mexico vernacular manner that evolved and appears today as Pueblo-Spanish Revival Style. The early front portions are brick, which match other Territorial brick structures on Johnson Street. Historic rear additions are constructed of adobe. It features a flat roof and metal-lined canales and a mix of original 2-over-2 double hung wood windows with bull-nosed lintel detail and 4' by 3' metal casement windows with a fixed center pane. In recent years, metal bars were added to all windows.

The building currently houses offices and, at one time, a nursing home and restaurant. It has head-in parking at the south end of the west façade. A bookstore inhabits the south portion of the building. In a 1986 board case, the Georgia O'Keeffe Museum proposed to demolish the building for parking for the museum, but the case was later withdrawn as other arrangements were sought.

The board reconfirmed its contributing status and designated west elevation façade #1 and south elevation facades #2, 3, and 4 primary facades at the January 10, 2023 hearing (Case 2022-00).

Now, the applicant returns to the board to:

1. Add an accessible ramp to run north-south on the west primary façade, and;
2. Widen the existing north elevation door frame and add a larger door.

Both changes are to bring the building into conformity to Americans with Disabilities standards.

The wheelchair access ramp's slope will be 1:14, one inch elevation change for each of the 14.' The *unattached* ramp will have a 9" separation from the west primary façade and extend across a portion of west elevation from the portal entry to parking area. The ramp will have a dark red brick surface with wrought iron vertical members painted dark brown.

The north elevation (east end) door will be removed and the opening widened to 36." The north elevation is not a primary façade.

## **RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

14-5.2 ( E) Downtown and Eastside Design Standards

## Façade Diagram

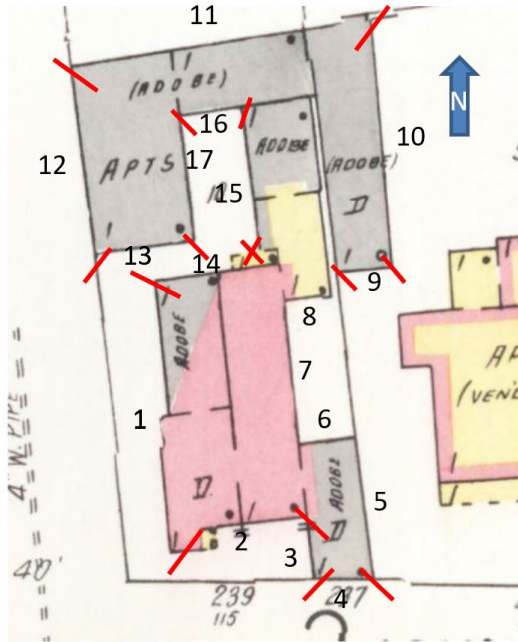


Figure 7: 1948 Sanborn Fire Insurance Map, Sheet 6.  
Represents current footprint minus portal and breezeway.



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b> <b>Date Submitted:</b> <u>1/10/2023</u> <b>Property Owner of Record:</b> <u>CONROAD ASSOCI</u> <b>Applicant/Agent Name:</b> <u>CHRISTOPHER FORNIS</u> <b>Contact Person Phone Number:</b> <u>(505) 982-5461</u>	<b>Site Address:</b> <u>239 JOHNSON ST.</u> <b>Proposed Construction Description:</b> <u>RAMP + GRAD CHANGE FOR ADA ACCESS</u> <b>TOTAL ROOF AREA:</b> _____
<b>Zoning District:</b> <u>BCD MCK</u> <b>Overlay:</b> <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____ <b>Submittals Reviewed with PZR:</b> <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations <b>Supplemental Zoning Submittals Required for Building Permit:</b> <input type="checkbox"/> Zero Lot Line Affidavit <b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required <b>Use of Structure:</b> <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: <u>RESTAURANT + MORE</u> <b>Terrain:</b> <input type="checkbox"/> 30% slopes _____	<b>Lot Coverage:</b> <u>54</u> % <u>EXISTING</u> <input type="checkbox"/> Open Space Required: _____ <b>Setbacks:</b> <b>Proposed Front:</b> <u>EX</u> Minimum: _____ 2 <sup>nd</sup> Front? _____ <b>Proposed Rear:</b> _____ Minimum: _____ <b>Proposed Sides:</b> L _____ R _____ Minimum: _____ <b>Height:</b> Proposed <u>EX</u> Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District <b>Parking Spaces:</b> <u>EX</u> Proposed _____ Accessible _____ Minimum: _____ <b>Bicycle Parking**:</b> Proposed: _____ Minimum: _____ ** Commercial Requirement

\* Requires an additional review conducted by Technical Review Division.  
 \*\* Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

CHRISTOPHER FORNIS \_\_\_\_\_ [  OWNER  APPLICANT  AGENT ]  
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE


1/10/23

<b>To Be Completed By City Staff:</b> <b>Additional Agency Review if Applicable:</b> <input type="checkbox"/> Escarpment Approval by _____ Date: <u>  /  /  </u> <input type="checkbox"/> Flood Plain Approval by _____ Date: <u>  /  /  </u> <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u>  /  /  </u> Notes: _____ <b>Zoning Approval:</b> <input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____ _____ <b>REVIEWER:</b> _____ <b>DATE:</b> <u>  /  /  </u> Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.
--

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

December 11, 2022

For HPD Office use only:		District No. _____		NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
HCPI No. _____						
<b>1. Name of property:</b>  Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building		<b>2. Location:</b>  239 Johnson Street Downtown and Eastside Historic District Santa Fe		<b>3. Local Reference Number:</b> Santa Fe ID #: H-2486		
				<b>4. County: Santa Fe</b> Parcel # 12026640		
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 2 (connected) <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object						
<b>6. Date of Survey:</b> November 15, 2022						
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: October 1, 1984 <input type="checkbox"/> No:						
<b>8. Name of Project:</b> Status review						
<b>9. Lat/Long:</b> 35.6893213,-105.9424239						
<b>10. Photo Information:</b> Giulia Caporuscio, photographer.		Photo 1: View south (front) elevation, facing north.				
<b>11. Brief Description of the Property:</b>  With its earliest portion dating to the 1880s, 239 Johnson Street is a conglomeration of disparate additions that served as a boardinghouse and later a nursing home for many years. The roughly 5,590-square-foot, one-story building sits low to the ground at the intersection of Johnson and Chapelle streets in the shadow of the El Dorado Hotel and Spa. Its low-profile fits within the immediate streetscape, once a rooming house district.  <i>Continued on Page 5.</i>						
<b>12. Who uses the property?</b> Commercial						
<b>13. Construction Date:</b> Date: 1880s, with multiple additions, taking on current form before 1948 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: Sanborn Fire Insurance Maps, newspaper accounts, city directories, property records						
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public						
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A						

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*



17. Surveyor:  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporuscio

For: Conroad Associates LLP

18. Owner (if known) and other knowledgeable people:

Current owner: Conroad Associates LLP

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

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<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																													
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input checked="" type="checkbox"/> Other: Frame				<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____																																									
				<b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes																																									
				<b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																									
<b>10. Window Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>1/1</td> <td>5</td> </tr> <tr> <td>Single-Hung</td> <td>Wood</td> <td>2/2</td> <td>5</td> </tr> <tr> <td>Single-Hung</td> <td>Wood</td> <td>4/4</td> <td>23</td> </tr> <tr> <td>Casements</td> <td>Wood</td> <td>4</td> <td>3</td> </tr> </tbody> </table> <p style="font-size: x-small;">Note: Based on visibility and access during survey</p>				Operation	Material	Glazing	Number	Single-Hung	Wood	1/1	5	Single-Hung	Wood	2/2	5	Single-Hung	Wood	4/4	23	Casements	Wood	4	3	<b>11. Door Types</b>  <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Decorate Panel</td> <td>Wood</td> <td>4</td> </tr> <tr> <td>Single-Leaf</td> <td>1/2-Glass</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>Panel w/Vision</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>1-light</td> <td>Wood</td> <td>2</td> </tr> </tbody> </table> <p style="font-size: x-small;">Note: Based on visibility and access during survey</p>		Type	Style	Material	Number	Single-Leaf	Decorate Panel	Wood	4	Single-Leaf	1/2-Glass	Wood	1	Double	Panel w/Vision	Wood	1	Double	1-light	Wood	2
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<b>12. Chimneys</b> <input type="checkbox"/> N/A  One, at southeast corner of courtyard; stucco-clad brick				<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																									
<b>14. Other Significant Features</b> N/A																																													
<b>15. Modifications:</b> <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications  #1 Date: Pre-1948; multiple additions to original brick house; Sanborn maps. #2 Date: Post-1958; introduction of portal and breezeway; possible enclosure of south façade portal; aerial photographs																																													

16. Primary Architectural Style  Not Applicable

- |  |   |  |   |  |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo           | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman          | <input type="checkbox"/> International  | <input type="checkbox"/> Neo-Classical   | <input type="checkbox"/> Queen Anne       | <input type="checkbox"/> Territorial                       |
| <input type="checkbox"/> Colonial Revival            | <input type="checkbox"/> Italianate     | <input type="checkbox"/> Northern NM     | <input type="checkbox"/> Ranch            | <input type="checkbox"/> Territorial Revival               |
| <input type="checkbox"/> Folk Victorian              | <input type="checkbox"/> Mediterranean  | <input type="checkbox"/> Prairie         | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival                     |

Notes:  Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division  
Land Use Department  
City of Santa Fe  
200 Lincoln Avenue  
Santa Fe, NM 87504  
(505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

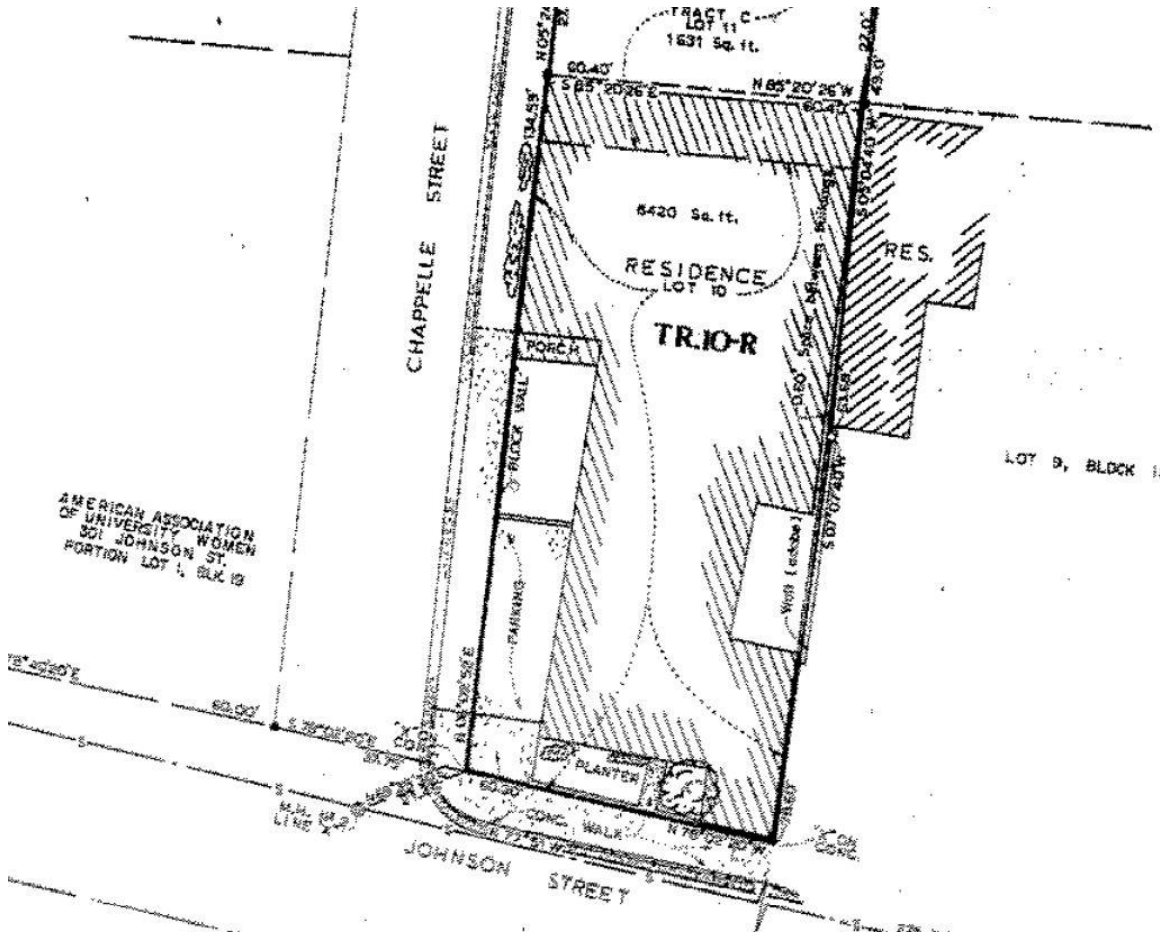
Archaeological Records Management Section  
Laboratory of Anthropology  
708 Camino Lejo  
Santa Fe, NM 87501  
(505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 1973 replat map. Courtesy Wallace Luchetti.



# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A    B    C    D	
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### Architectural Description Continued

In plan, the building looks like a magnifying glass: a north-south handle, topped with a square lens holding a courtyard. The oldest piece of the building is the east side of the “handle.” According to early maps, this brick section dates to at least the 1880s. To this were added several accretions to its west façade facing Chapelle Street. These volumes, made of brick and adobe, completely covered the original building, removing its era-defining bay window. The lens portion of the magnifying glass came about in the mid-1930s, as the property converted into a rooming house. This courtyard space is made of adobe and originally held apartments. From its 1880s origin, at least seven volumes have accreted to the original building. Based on Sanborn maps, most of these were made before 1948 (Figure 7).

#### South Elevation

The short Johnson Street elevation has the most articulation. At the center, darkened by a tree, lurks the original brick building behind what appears to be an enclosed *portal* filled with grilled glazing (Photos 1 & 2). A decorative wood panel door gives entry to this space, which once held the offices of Sunstone Press. A cube-like, Pueblo-treated addition stands to the west. From Sanborn maps, it was constructed before 1921 (Figure 5). A rectangular adobe shoebox was added to the east between 1930 and 1948 (Figures 6 & 7). The composite façade gives the sense of a unified Pueblo Revival building, with its different roof heights, rounded parapets, and soft corners.

#### West Elevation

The longest elevation forms along Chapelle Street (Photo 3). It consists entirely of additions — but all made before 1948. The lower half is a flat wall penetrated with an even distribution of stock windows (Photo 4). Grouped in twos, they are mass-produced wood sash arranged in 1/1, 2/2, and 4/4 light patterns, protected with wrought iron grilles. They fit within bull-nosed openings, terminated with stuccoed sills.

A Pueblo Revival-style portal stands near the center of the elevation. It leads to a narrow breezeway opening to a courtyard (Photo 4). This feature post-dates 1958.

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The remaining west elevation is an adobe building erected in 1935 as apartments (Photo 5). The elevation is marked by three identical openings holding paired 2/2 wood sash. At the northwest is a decorative wood panel door with an adjacent window. A shallow overhang, held up by wood rafters, runs along the building.

### North Elevation

Fronting a gravel parking lot, the north side shows the 1935 apartment addition (Photo 6). It has a pattern of openings at what once were furnished rooms. The openings hold grouped 2/2 wood sash units and smaller windows, at what was likely a bathroom. A replacement wood panel door stands at the northeast corner. A parapet tops the elevation, with stuccoed vent piping rising along the wall.

### East Elevation

A fragment of the east elevation is visible from a parking lot off Johnson Street (Photo 7). The windowless wall represents mainly the 1935 addition. It originally attached to a slender adobe building on the adjacent lot, now demolished. Of interest are the vigas positioned along the top of the wall.

### Courtyard

The breezeway (Photo 8) leads to a concrete-floored courtyard, where several parts of the composite building come together (Photos 9-11). This is evident by the various window and door types and disparate parapet heights. Of most interest is a bulbous stuccoed chimney rising from the southeast corner (Photo 10).

A second courtyard, framed by additions and a building on the adjacent property, fronts the east elevation of the building. This space was not accessible during the survey, and is not part of the proposal under consideration.

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## Historical Overview

### Introduction

In early October 1935, workers digging a basement for an addition to a brick boardinghouse on Johnson Street struck human remains.<sup>1</sup> The boardinghouse operators, Nellie Gardner and her daughter Josephine, stopped the excavation and notified the authorities. Archaeologists visiting the property identified the remains as those of Pueblo Indians, dating back to 1400 AD. They found pottery shards nearby and speculated the area may have been a burial ground. It is unclear what happened to the remains, but the addition now forms the north half of the subject building.

### Home of a Rough Rider

The first established building owner is William Eugene Griffin.<sup>2</sup> Griffin's father, William W. Griffin, was born in New Mexico in 1867. A Virginia native, he arrived in New Mexico before the Civil War, and worked as a government surveyor. Griffin, an attorney later became the president of First National Bank, served as chairman of the territorial Republican party, and was appointed the District Deputy Grand Master of the Masonic order of New Mexico. The *Daily New Mexican* noted in his obituary that he was a man of "such sterling character in business, in politics and in social circles that no heavier loss could have been sustained by Santa Fe or the territory than his unexpected death."<sup>3</sup>

The son followed in his father's footsteps, but with less glory. He became a cashier for the short-lived U.S. Trust & Bank Company and entered local politics as an alderman. He rose through the Masonic degrees, reaching the Royal Arch Degree (13°), and served as the secretary of the Montezuma Lodge No. 1.

William E. Griffin was one of the pioneers of the north side of Johnson Street, a short east-west road branching off from Washington Avenue. The 1886 Hartmann map shows his home standing parallel to Jackson Street, currently Chapelle Street<sup>4</sup> (Figure1). The

<sup>1</sup> "Indian Skeletons Found Date Back to A.D. 1400," *Santa Fe New Mexican*, October 11, 1935, 1.

<sup>2</sup> It may be that his father, William W. Griffin, originally owned the property.

<sup>3</sup> "A Sterling Citizen," *Daily New Mexican*, December 9, 1889, 2.

<sup>4</sup> Both Jackson and Johnson streets were named after presidents. Jackson was renamed in the late 19<sup>th</sup> century to honor Archbishop Placide Louis Chapelle.

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tracts to the north and east were undeveloped but owned by Anglos, including attorney and real estate developer William M. Berger. The street had an African American enclave supporting its own church that would disappear in the 1920s.<sup>5</sup>

In 1892, Griffin married Anna Walker of Raton. The couple lived on Griffin Street, a road teeing off Washington Avenue and probably named after his father. Six years later, William went on an adventure — like many Western Republicans of some stature, he joined the Rough Riders.<sup>6</sup> As a lieutenant in Troop E, he fought at the Battle of Kettle Hill. He was back in Santa Fe a month later, complaining about the stench of the streets of Havana.<sup>7</sup> Two years later, as captured in the 1900 census, he was living in the Johnson Street house, which he owned outright.<sup>8</sup> The household included William (33), who worked as a bookkeeper; Anna (30); a daughter, Dorothy (6); a son, Eugene (3), and William’s brother, Arthur Griffin (30).

The 1912 King’s map shows essentially the same footprint depicted by Hartmann 26 years earlier (Figure 4). The house, a long, narrow volume, spanned the lot on a north-south axis. By now, it included a bay across its west façade and an ell making up its northeast corner. Added to the property was a small barn, likely for a horse and buggy. We know from a 1902 Sanborn map — the first to cover the area — the home was made of brick, and the bay and ell were made of frame (Figure 2).

By the 1920 census, Griffin was the chief clerk for the New Mexico State Land Office, following again in his father’s path.<sup>9</sup> The household had grown with two additional children (Ruth and Walker) and two lodgers, one being Irma Alexander, a German-born stenographer who worked for the land office. Griffin would live for another nine years, dying in 1929 in Long Beach, California, where he had gone to recuperate from illness. He was 61. He, his parents, his wife, four siblings, and one son are buried in a family plot at Fairview Cemetery.

<sup>5</sup> John W. Murphey, “The African American Presence in the Santa Fe Historic District: Initial Identification of Resources,” (Research paper, Draft, May 18, 2021).

<sup>6</sup> “The Famous ‘Rough Riders,’ *Daily New Mexican*, September 1, 1898, 3; “W. E. Griffin Dies on Coast,” *Santa Fe New Mexican*, June 27, 1929, 7.

<sup>7</sup> “Lieut. W. E. Griffin,” *Daily New Mexican*, October 6, 1898, 2.

<sup>8</sup> U.S. Census Bureau, 1900, Census Place: Santa Fe Ward 3, Santa Fe, New Mexico; Roll: 1002; Page: 27; Enumeration District: 0127; FHL microfilm: 1241002.

<sup>9</sup> U.S. Census Bureau, Year: 1920; Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T625\_1080; Page: 5B; Enumeration District: 130

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### A Room with a Widow

The discovery of human remains in 1935 was prompted by a desire to grow the former Rough Rider's house with apartments. The Gardners icked up the property after Griffin's death and turned it into a boarding house. Nellie Gardner, a New Mexico native, owned and managed it, along with her daughter Josephine Gardner, a fashion student. Boardinghouses by this time had declined significantly, given the cost and coordination to prepare meals, and that many sectors that once produced clients (mining, for example) were in decline.

After about ten years, the Gardners got out of the boardinghouse business. Following a trajectory of many former boardinghouses, they transformed it into a rooming house.

Rooming houses emerged nationally (and in Santa Fe) as a necessary form of affordable shelter. Under a loose agreement, roomers or lodgers rented a furnished room, taking care of their own meals and sharing a toilet.<sup>10</sup> This type of informal housing proved critical for many who were of modest means — especially women with few resources.

Reflecting this pattern, the 1949 city directory shows that the rooms of what was called the Gardner Apartments were rented exclusively to women.<sup>11</sup> Many were rented to women with a "Mrs." at the front of their name, suggesting they were widows. The few that worked were employed in low-paying jobs: a waitress, a maid, and a hosiery mender.

The following year's census provides even more details. The average age of its 15 tenants, including the manager, was 63.<sup>12</sup> Of these, eight were widows, three were divorced, and four were recorded as single, never having been married. All were of Anglo-European descent and were born outside of New Mexico. Beyond the manager,

<sup>10</sup> Path Groth, *Living Downtown: The History of Residential Hotels in the United States* (Berkeley: University of California Press, 1994), 92-101.

<sup>11</sup> Various entries in Hudspeth Directory Company, *Hudspeth Directory Company Santa Fe City Directory, 1949* (El Paso: Hudspeth Directory Company, 1949).

<sup>12</sup> United States of America, Bureau of the Census; Washington, D.C.; Seventeenth Census of the United States, 1950; Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3579; Sheet Number: 12; Enumeration District: 26-39.

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only three were recorded to have jobs. Virginia Henning, 64, a widow and Missouri native, gave her work as a babysitter. The youngest, Mary Glover, 34, from South Carolina, worked as a typist. Nelda Hogan, 44, born in West Virginia, was a nurse for the city schools. It would be a nurse who would convert the house into its next use.

### Ruby's Nursing Home

In the early 1950s, Ruby Pemberton, a registered practical nurse, took over the property and transformed it into a nursing home — one of only three at the time in Santa Fe. Born in the village of Peñasco in 1907 as Ruby Sanchez, she moved to Santa Fe as a child with her parents.<sup>13</sup> In the 1940s, she started her first care facility, Pemberton Nursing Home, near College and East De Vargas streets. More of a convalescent home, her business, from newspaper accounts, catered to Anglos who were recovering from hospital visits or suffering an extended illness. This included a noted psychologist and author, Winnifred Vanderbilt Richmond, who died in 1945 at age 68.<sup>14</sup> Socialite Ashley Pond and writer Ina Sizer Cassidy both spent time at the convalescent home, recovering from pneumonia.

With her shift to Johnson Street and change of business name, Pemberton took on a different type of patient. Based on obituaries, these were much older individuals with Spanish surnames who were characterized by the newspaper as welfare recipients.

Beginning in the New Deal, with the Social Security Act of 1935 and its Old Age Assistance program, there was a sustained effort by the federal government to take care of the elderly poor, to remove the stigma of the almshouses.<sup>15</sup> The next major piece of legislation, the Hill-Burton Act of 1946, provided (among other things) public money to build new, hospital-type nursing homes. New Mexico used these federal-aid grants to improve healthcare throughout the state. This included building nursing homes which were managed by the New Mexico State Welfare Department.

<sup>13</sup> "Ruby S. Ortiz," *Santa Fe, New Mexican*, January 30, 1996, B-2.

<sup>14</sup> "Outstanding Psychologist Succumbs Here," *Santa Fe New Mexican*, July 6, 1945, 1.

<sup>15</sup> Larry C. Mullins, Mary F. Mushel, and Odette Hermanns, "Nursing Homes in the United States: An Historical View and Contemporary Description of Facilities and Residents," *Journal of Health and Human Services Administration* (Fall, 1994, Vol. 17, No. 2), 137.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP	SRCP	Criteria	A B C D
<b>1. Name of property:</b>  <b>Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building</b>	<b>2. Location:</b>  <b>239 Johnson Street Downtown and Eastside Historic District Santa Fe</b>	<b>3. Local Reference #</b> <b>Santa Fe ID #: H-2486</b>			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: November 15, 2022</b>			

The most significant boost came with the passage of the Older Americans Act of 1965 and an amendment to the Social Security Act during the same year. Better known as Medicare and Medicaid, the acts provided monthly payments through a reimbursement process for disadvantaged patients living in private nursing homes, such as Ruby Pemberton's.<sup>16</sup>

While Medicare and Medicaid led to increased funding and better care, the requirements were stringent, putting many mom-and-pop operations out of business as a new proprietary nursing home industry took shape.<sup>17</sup> From 1960 to 1976, the number of nursing homes expanded by 140%, with revenue to the new industry shooting up 2,000%.<sup>18</sup>

Pemberton was challenged by these requirements, which in her case required hiring a part-time druggist and introducing new patient services.<sup>19</sup> However, using the funds, she could provide care for 20 out of her 27 patients.<sup>20</sup> The reimbursements paid \$300 a month for each disadvantaged patient, and helped support a full-time staff of 15, including administrators, registered nurses, aides, and a cook.

A painful reduction in Medicaid in 1969 affected her and other Santa Fe nursing homes. Pemberton had to cut her staff nearly in half, and contemplated moving 14 patients who were no longer be fully covered by Medicaid. She told the *New Mexican* that she debated relocating the patients — something another Santa Fe nursing home already had done — but concluded “the only Christian thing I could do was to keep them — moving would actually kill them.”<sup>21</sup> None had a home return to. Pemberton hung on for another four years, closing Ruby's Nursing Home in 1973. She remarried, taking on the name Ortiz, and died in 1996.

<sup>16</sup> Ibid., 138.

<sup>17</sup> John W. Murphey, “520 Galland Street, Petaluma, California, The Cherry Hill Sanitarium – A Brief Property History,” April 20, 2016, 4.

<sup>18</sup> Foundation Aiding the Elderly, “The History of Nursing Homes,” <https://www.4fate.org/history.pdf>, accessed December 8, 2022.

<sup>19</sup> Jim Schellhammer, “Medicare Facing Big Test,” *Santa Fe New Mexican*, June 15, 1966, 14.

<sup>20</sup> Bob Knight, “Nursing Homes Feel the Pinch,” *Santa Fe New Mexican*, May 7, 1969, 1-2. This represents the nursing home's operations before the 1969 Medicaid cut, as Pemberton told the paper.

<sup>21</sup> Ibid., 2.

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## Recent Uses

After over 40 years of sheltering the poor, 239 Johnson Street shifted purpose, becoming a mixed-use commercial venture. The former nursing home was reworked to hold various types of businesses, including a restaurant, El Dorado (later El Conquistador), and offices. In 1975, Sunstone Press took over most of the building.<sup>22</sup>

Founded in 1971 by painter Jody Ellis and her business partner and later spouse, artist Marcia Muth, Sunstone was part of a small renaissance of independent printers in Santa Fe in the 1970s.<sup>23</sup> Sunstone first used the building to expand its printing operations and, in late 1975, opened a showroom and gallery in the Johnson Street portion. Called the Sunstone Press Building, it worked as a community gathering space, hosting readings and other events. The Sunstone Corporation later took over the publishing operation. Crushed by debt, it filed for bankruptcy in 2014.<sup>24</sup> By this time, the gallery and bookstore were no longer part of its operations. The publishing arm lives on.

More recently, Gunstock Hill Books, a rare and antiquarian books dealer, used the old Sunstone storefront that was once the home of a Rough Rider.

## Evaluation of Historical Status

As architecture, the building has no significance, being a conglomeration of different-era additions unified only by the uniform stucco color. The only design interest resides on the Johnson Street elevation, where there was an intent to give it a Pueblo Revival appearance. The remaining elevations are purely functional. Still, the building meets the minimum contributing threshold of being 50 years of age. Following this reasoning, the recommendation is to maintain Contributing status and designate the south elevation as the primary façade.

Outside the ordinance definition of contributing status, the building likely holds significance as an LGBTQ heritage resource. It additionally has strong associations with women-owned and operated businesses.

<sup>22</sup> "Printing Concerns Press for Growth," *Santa Fe New Mexican*, November 19, 1975, D-6.

<sup>23</sup> "Jody Ellis, 1925-2018," *Santa Fe New Mexican*, February 19, 2018, A-8.

<sup>24</sup> Phaedra Haywood, "Sunstone Files for Chapter 11," *Santa Fe New Mexican*, June 6, 2014, B-3.

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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## Illustrations

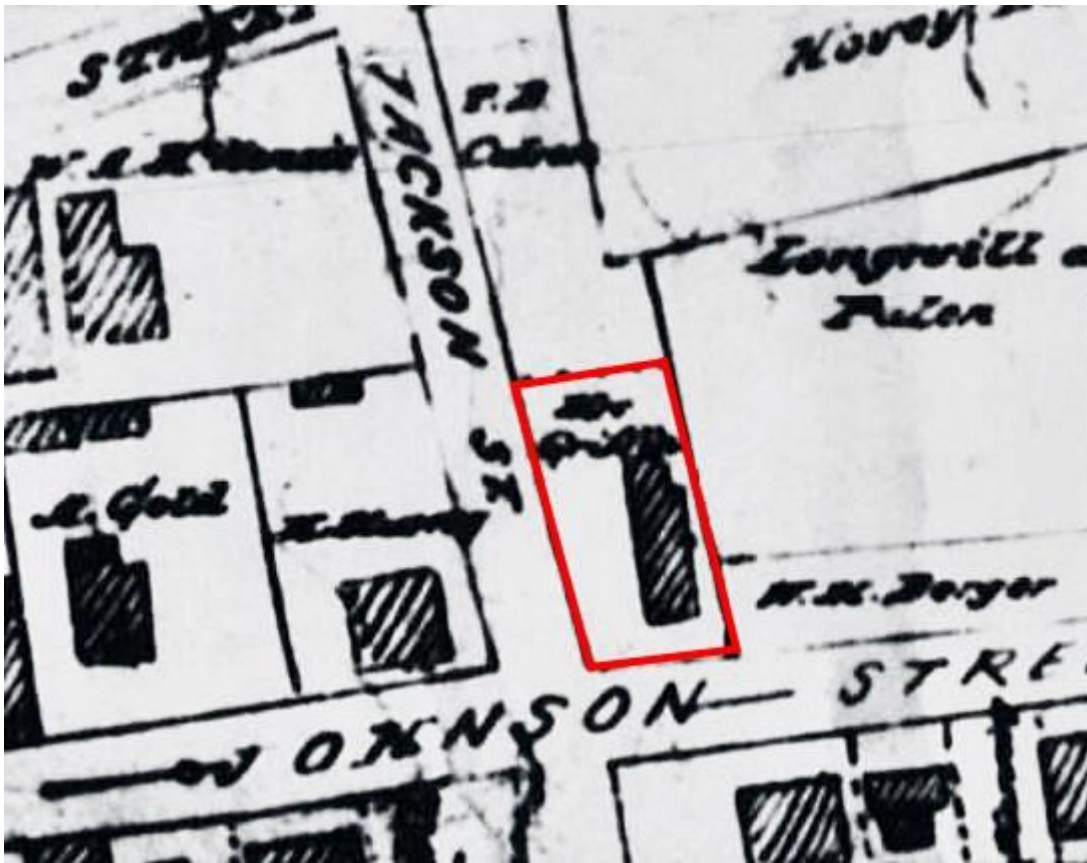
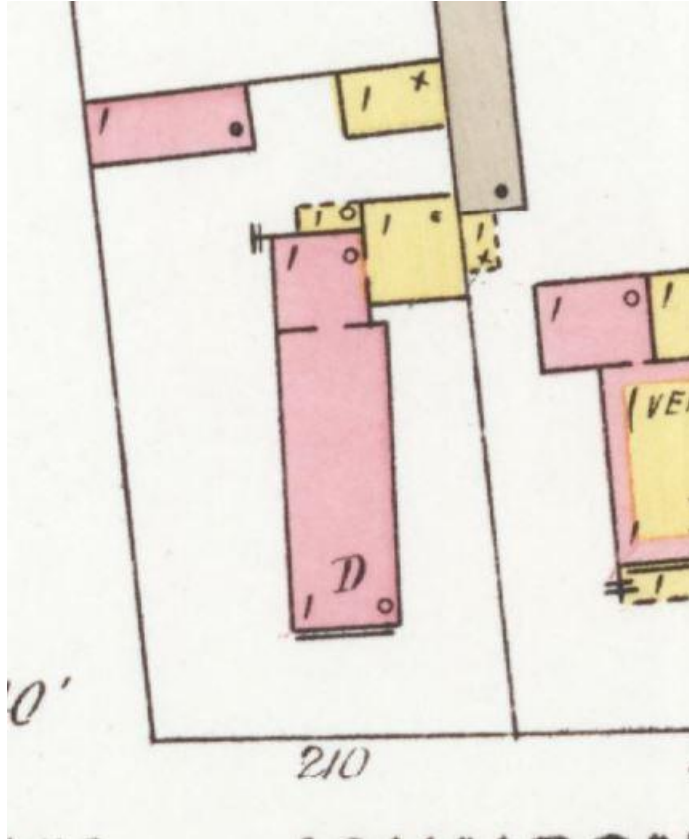


Figure 1: H. H. Hartmann, "Map of the City of Santa Fe, N.M.," c.1885-86. Property of "Mr. Griffin" highlighted.

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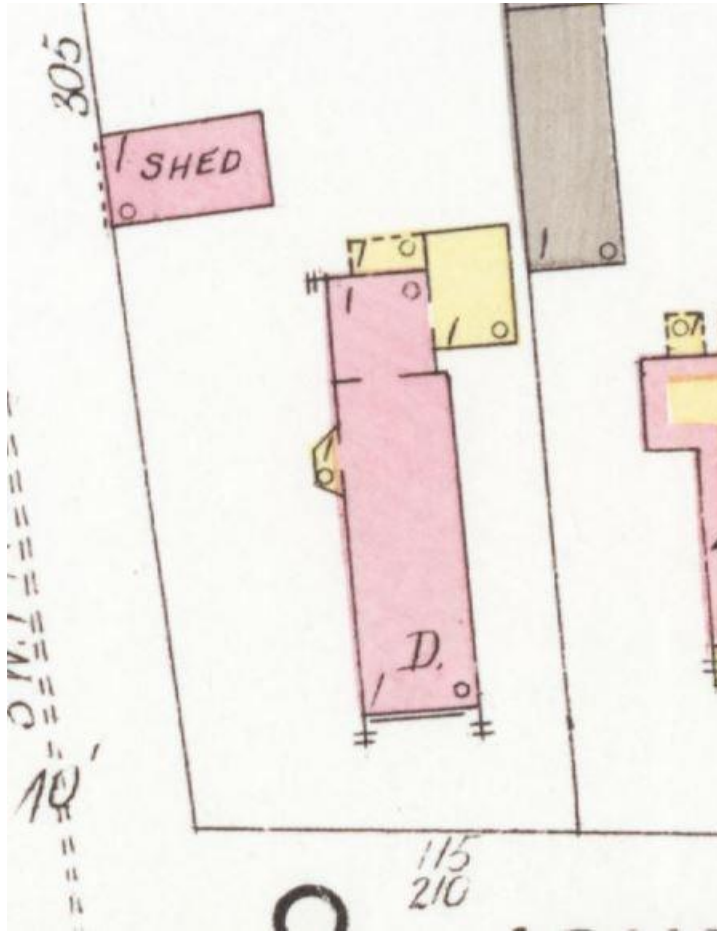


**Figure 2: 1902 Sanborn Fire Insurance Map, Sheet 7.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

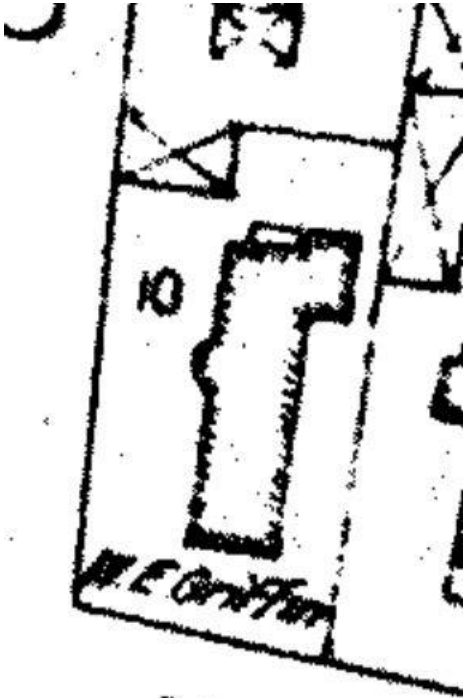
For HPD Office use only: <span style="float: right;">Please complete HCPI FORM 1 before completing FORM 2</span>		
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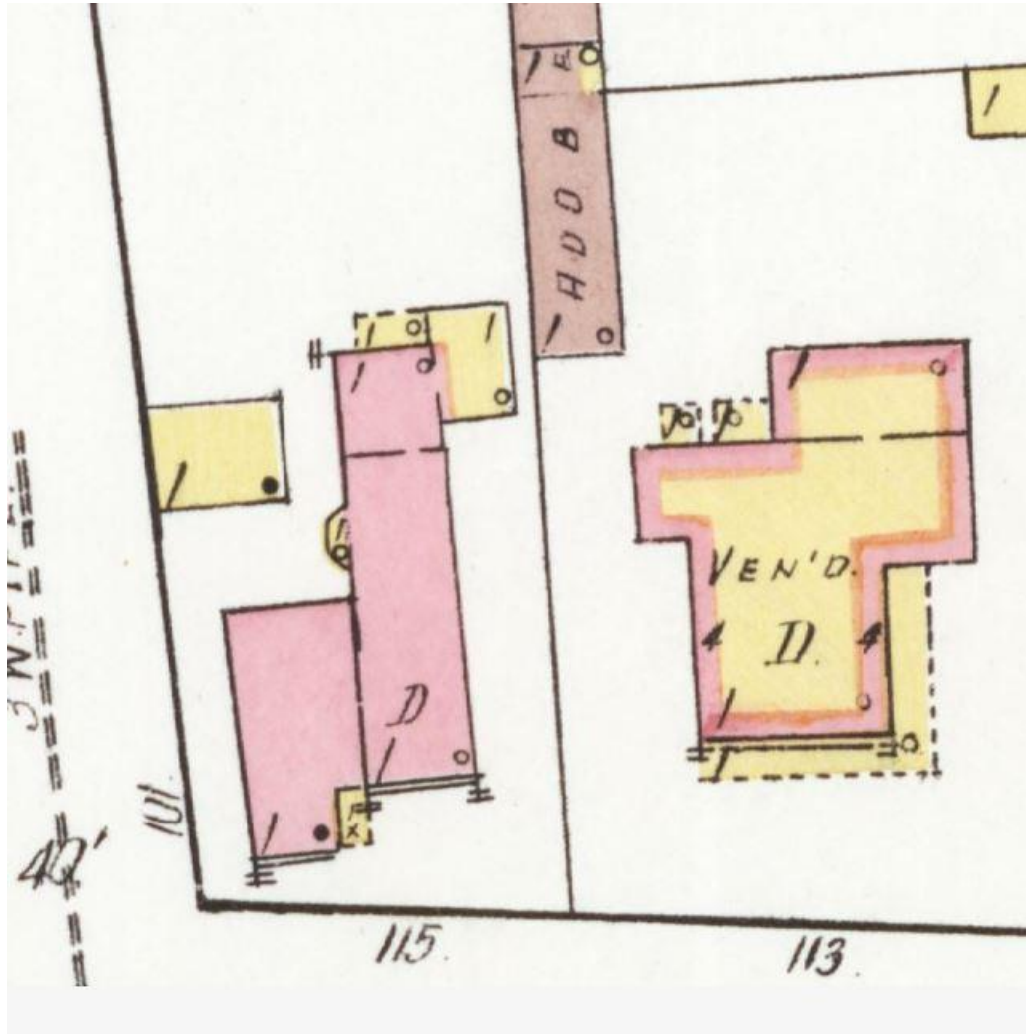


**Figure 4: N. L. King, "Map of the City of Santa Fe, Showing Street, Park and River, Improvements Proposed by the City Planning Board," 1912.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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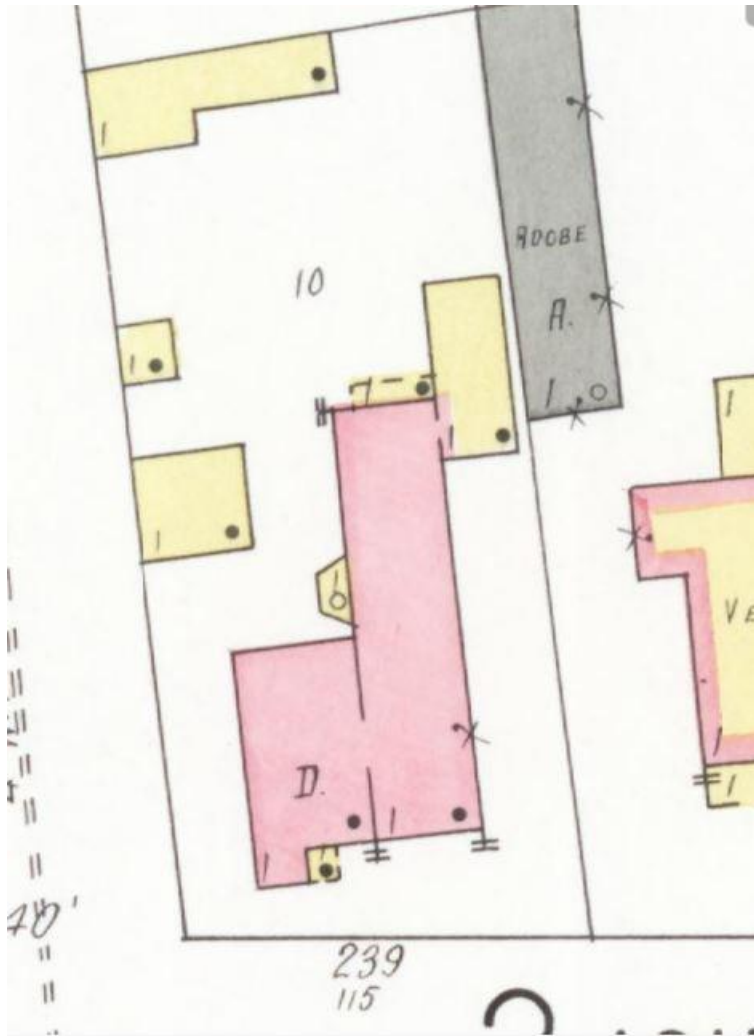


**Figure 5: 1921 Sanborn Fire Insurance Map, Sheet 2.**  
 Note southwest addition in place.

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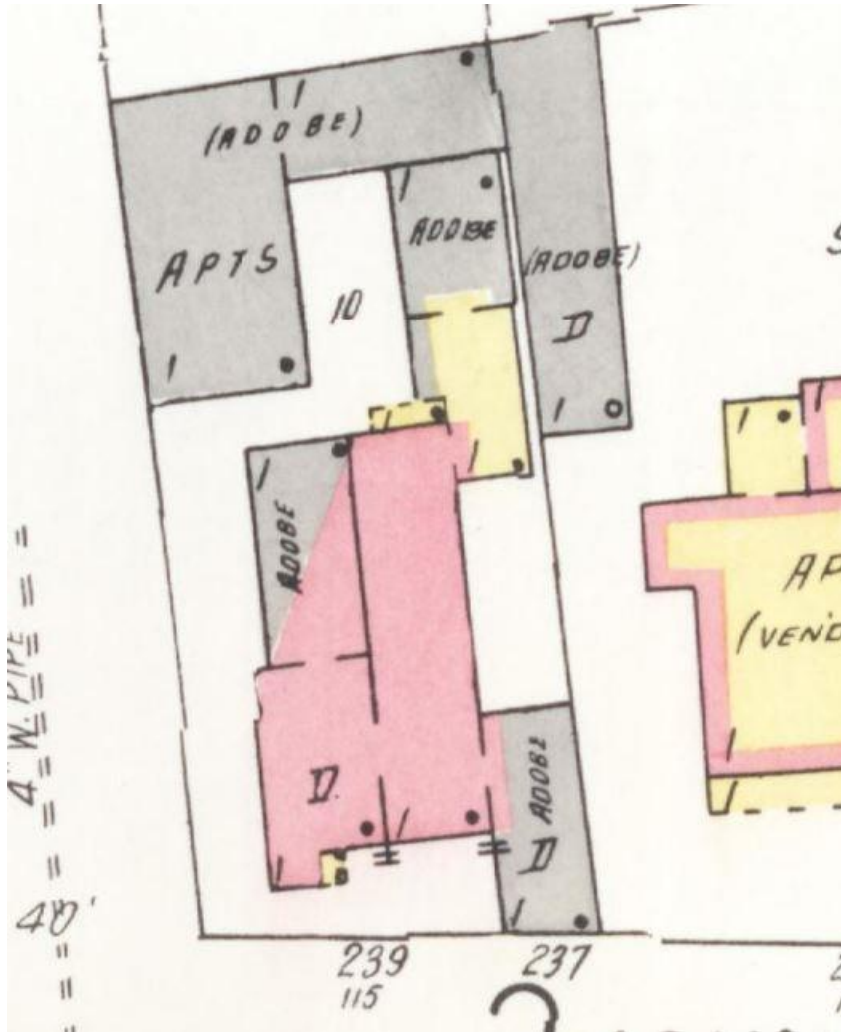


**Figure 6: 1930 Sanborn Fire Insurance Map, Sheet 6.**

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**Figure 7: 1948 Sanborn Fire Insurance Map, Sheet 6.**  
**Represents current footprint minus portal and breezeway.**

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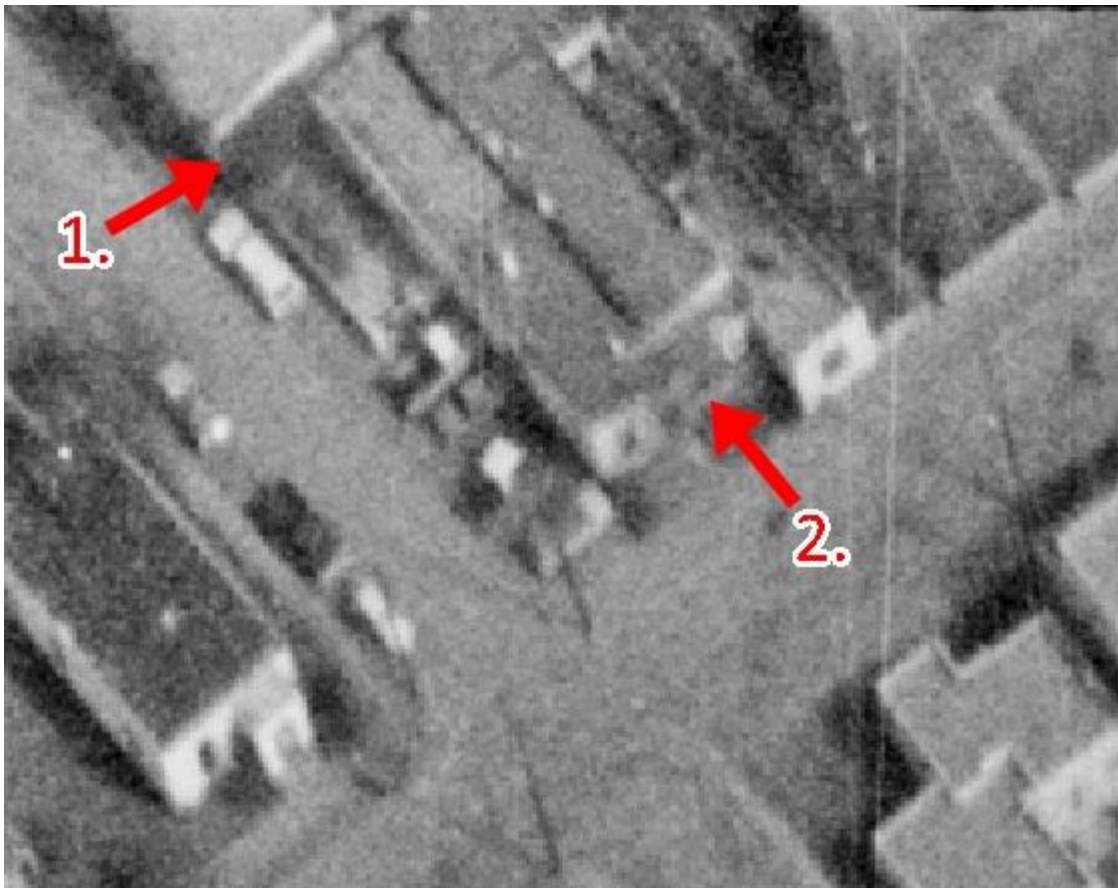


**Figure 8: November 10, 1958, Aerial Photograph, Image 4.**  
 Note portal and breezeway are not present.

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**Figure 9: February 23, 1968, Aerial Photograph, Image 23.**  
**1: Portal and breezeway established; 2: may indicate enclosed portal.**

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**Figure 10: September 11, 1973, Aerial Photograph, Image 6.**

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### Survey Photographs

(All images taken by Giulia Caporuscio, November 15, 2022, unless otherwise noted)



**Photo 2: Front (south) façade. Camera facing northeast.  
Johnson Street view.**

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**Photo 3: West elevation, composite view. Camera facing east. Chapelle Street view.**



**Photo 4: West elevation, south half. Camera facing east. Chapelle Street view.**

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**Photo 5: West elevation, north half. Camera facing east.  
 Chapelle Street view.**

# A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board  
City of Santa Fe, City Hall  
Santa Fe NM 87501

Tuesday, January 17, 2023

RE: 239 Johnson Street  
Enclosed (1) 24"x36" copies

A-1	Site Plan Existing and Proposed	1/17/23
A-2	Floor Plan Existing and Proposed	1/17/23
A-3	Elevations Existing and Proposed	1/17/23
A-4	ADA RAMP ENTRANCE DETAIL	1/17/23

HDRB Application  
Photographs of elevations

Dear Angela Bordergary and  
Members of the Historic Districts Review Board

We hereby request Two Changes to the exterior of Johnson street building in order to make a portion of the building comply with the ADA. Based on the January tenth meeting declaring south and west elevations primary we have not attached the ramp to that elevation positioning it 9 inches west of the elevation.

On the west elevation install a 1:14 wheelchair acces ramp with a dark red brick surface with attached steel and wrought Iron railing painted dark brown

On the North elevation expand the door on the eastern side to 36" wide while preserving its location and matching the existing finish. The existing el rey buckskin stucco will be matched at the small area of patch around the new door frame . No other stucco work is contemplated

Finally we are proposing an interior remodel with new bathrooms kitchen and seating areas and improved internal circulation to the north courtyard

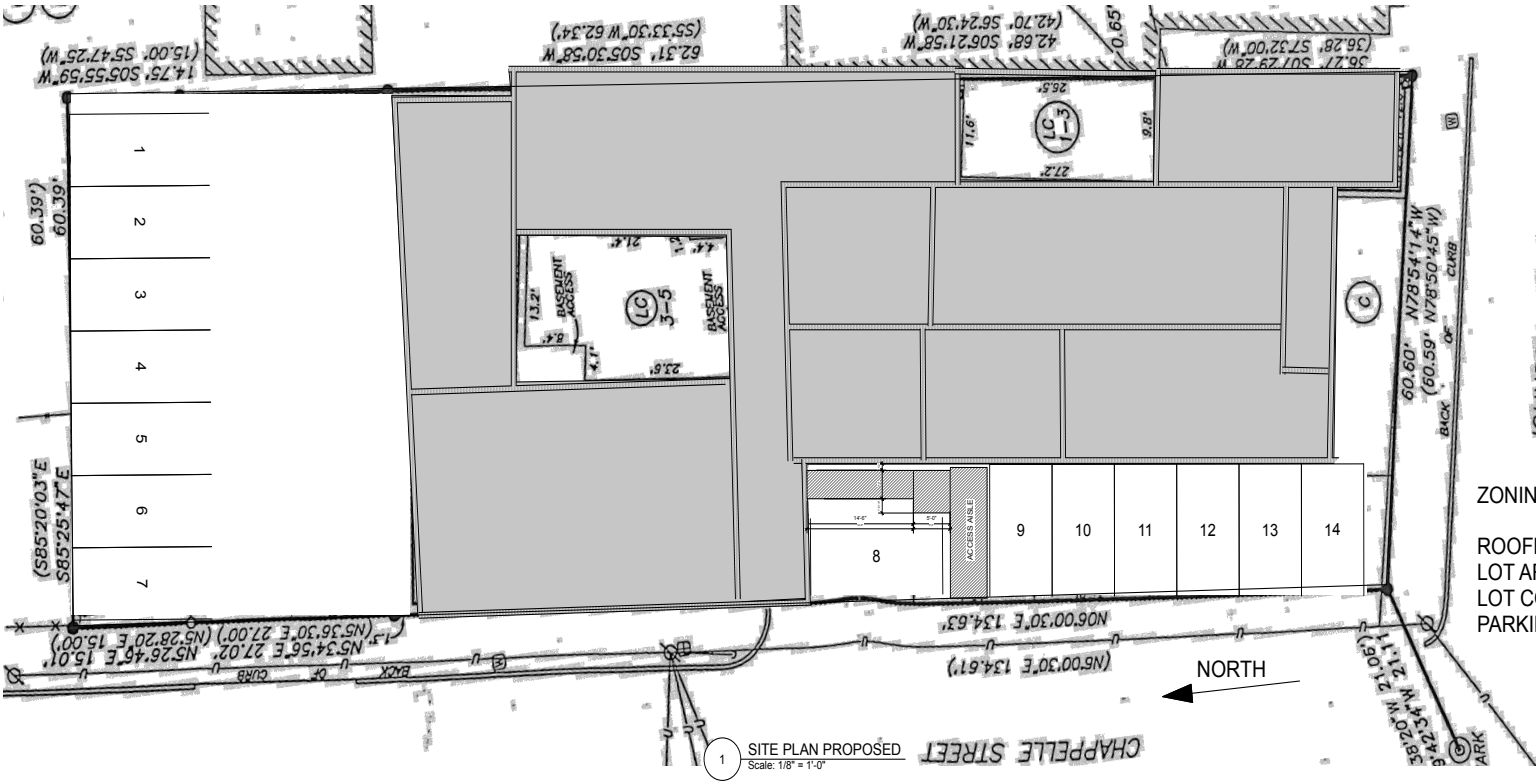
Please call if you have any questions on the project 982-5461  
Sincerely,



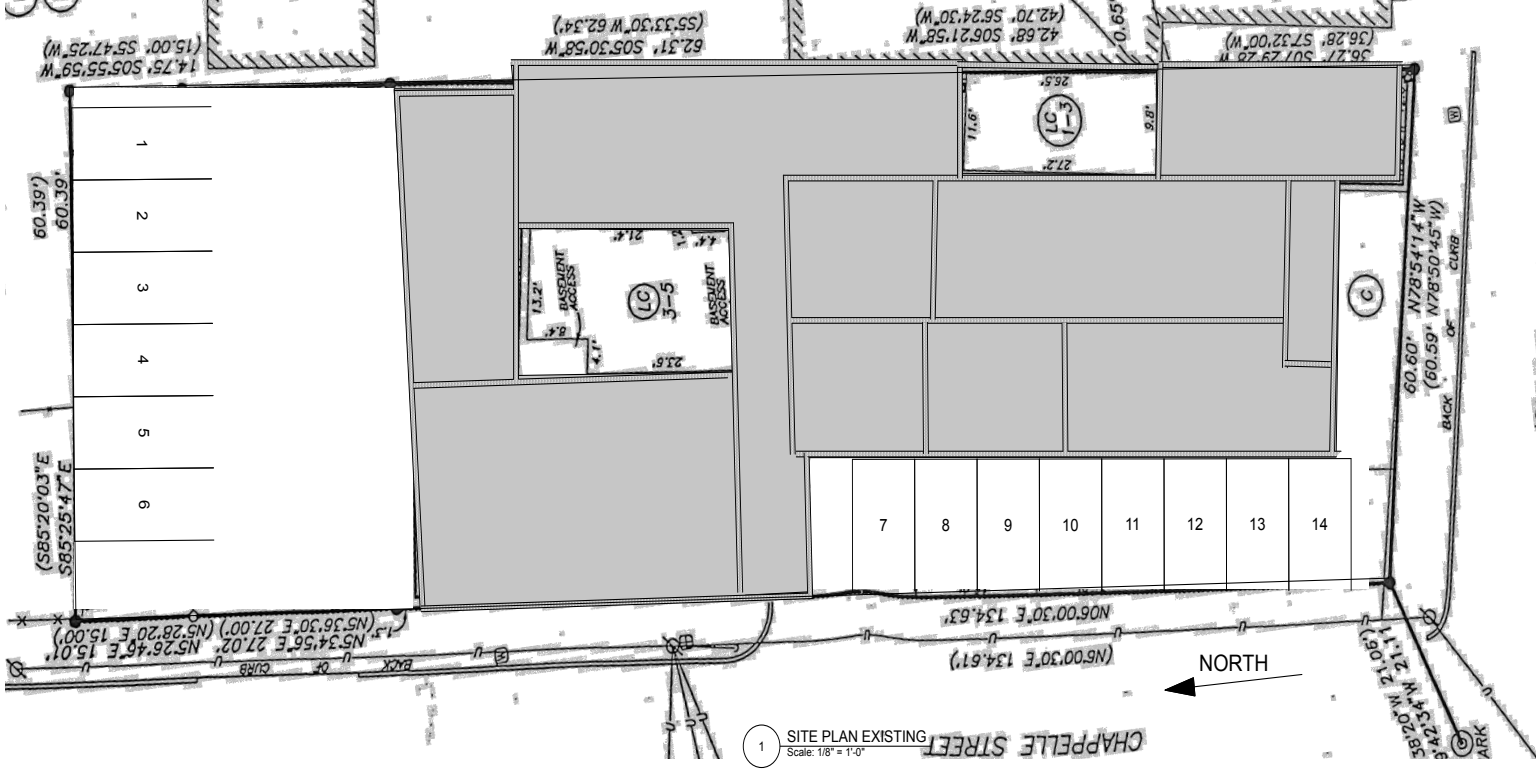
Christopher Purvis.

Stucco Sample





ZONING BCD MCK (mackenzie)  
 ROOFED AREA 5956 SQFT  
 LOT AREA 11137 SQFT  
 LOT COVERAGE 54%  
 PARKING EXISTING NON C



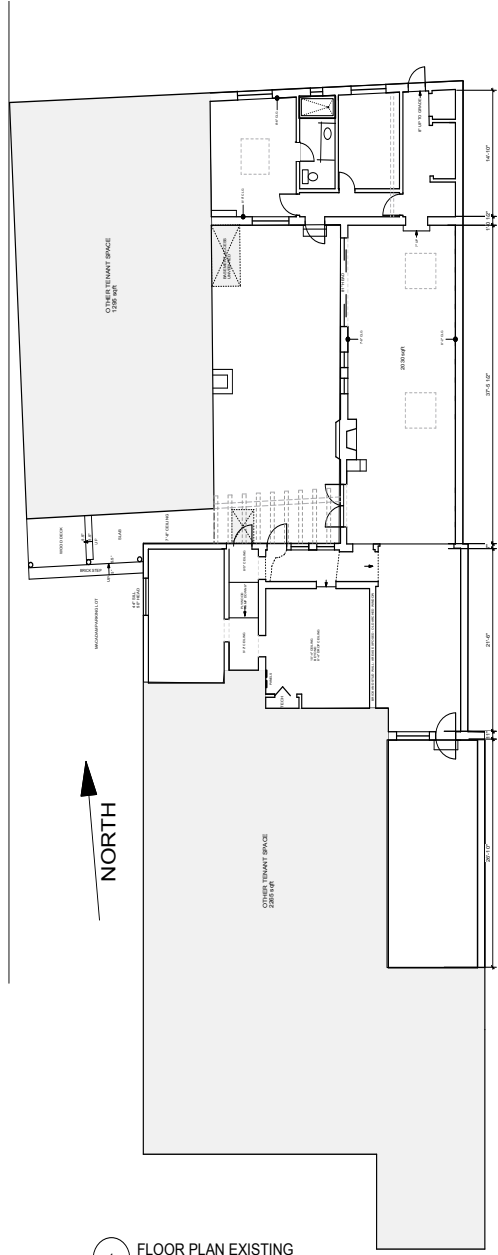
A-1

JOB NO. 4440

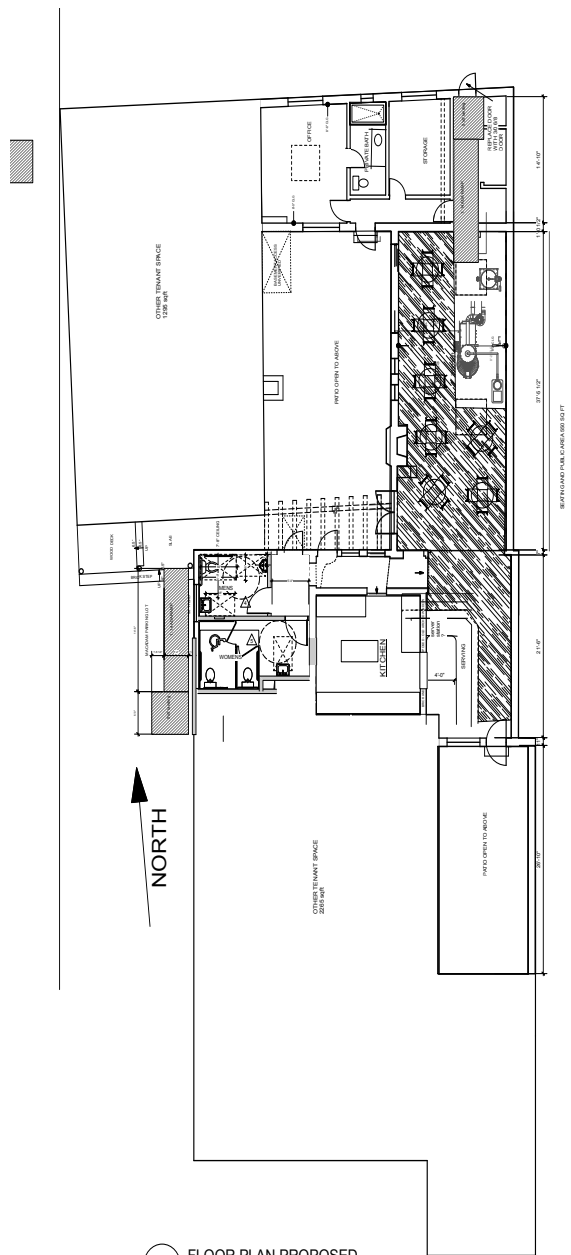
COFFEE  
 239 JOHNSON STREET  
 SANTA FE, NEW MEXICO

A. CHRISTOPHER ARCHITECTS  
 518 Old Santa Fe trail, SH 1 PMB 373  
 Santa Fe New Mexico 87501, Tel. 505.962.5461  
 E-Mail: Architect@ACP-ART.com

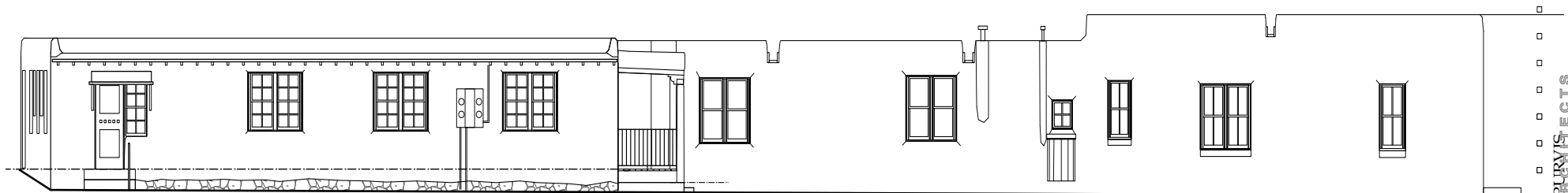




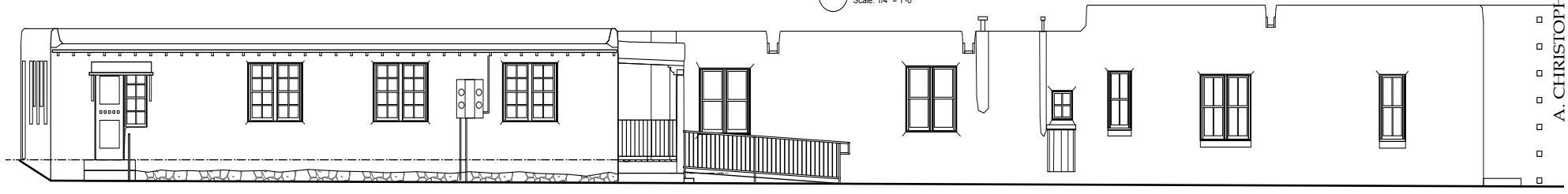
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Scale: 1/8" = 1'-0"



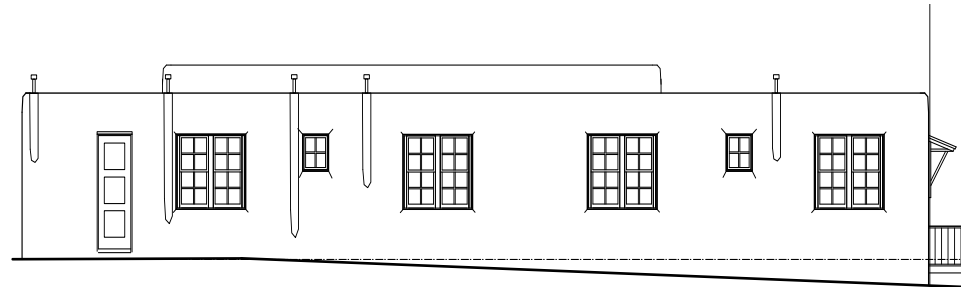
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Scale: 1/8" = 1'-0"



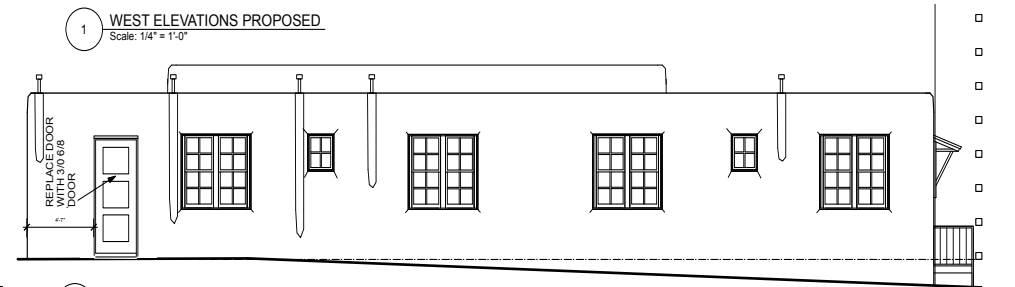
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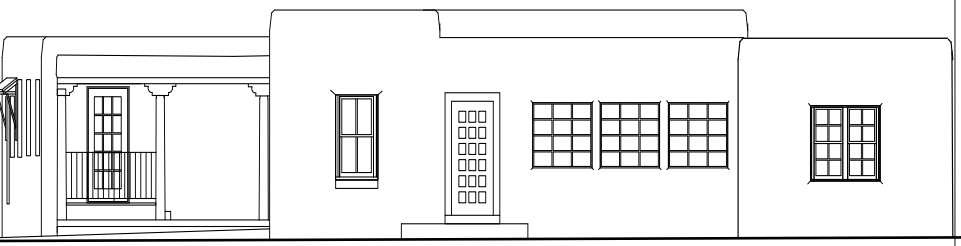
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Scale: 1/4" = 1'-0"



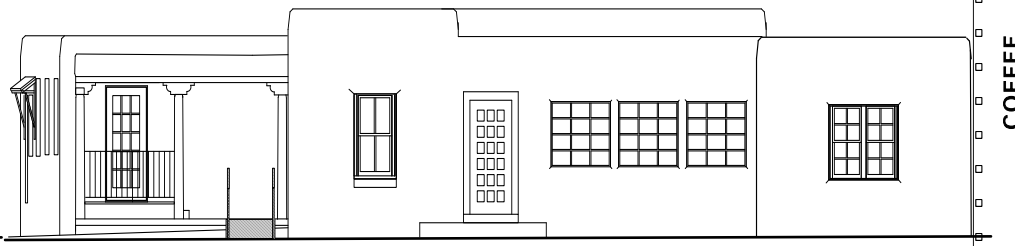
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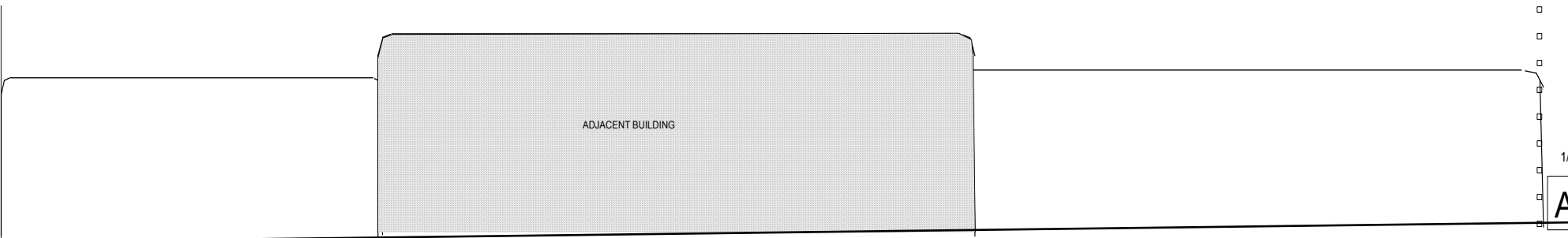
1 NORTH ELEVATIONS PROPOSED  
Scale: 1/4" = 1'-0"



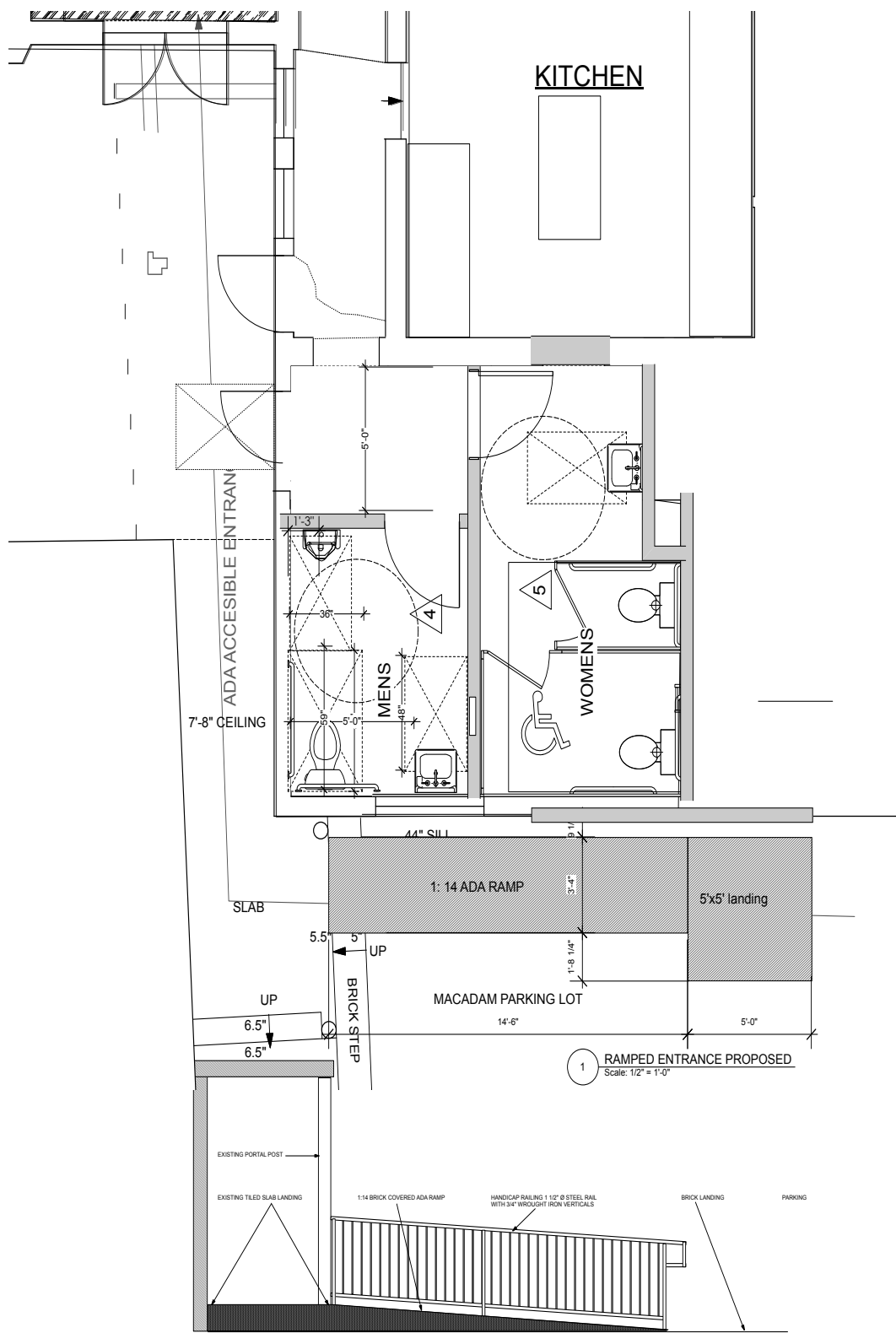
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Scale: 1/4" = 1'-0"



1 SOUTH ELEVATIONS PROPOSED  
Scale: 1/4" = 1'-0"



6 EAST ELEVATION EXISTING AND PROPOSED  
Scale: 1/4" = 1'-0"



1 RAMPED ENTRANCE PROPOSED  
Scale: 1/2" = 1'-0"

3 RAMP DETAIL



3 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



4 EAST ELEVATION  
Scale: 3/32" = 1'-0"



1 WEST ELEVATION  
Scale: 1:100



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**Photo 6: North elevation. Camera facing south.  
Parking lot view.**

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**Photo 7: East elevation (center wall). Camera facing northeast.  
 Parking lot view.  
 November 17, 2022.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only: <span style="float: right;"><i>Please complete HCPI FORM 1 before completing FORM 2</i></span>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building	<b>2. Location:</b>  239 Johnson Street Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-2486
		<b>4. County: Santa Fe</b>
		<b>5. Date of Survey: November 15, 2022</b>



**Photo 8: Breezeway.**  
 Camera facing east.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building	<b>2. Location:</b>  239 Johnson Street Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-2486			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: November 15, 2022</b>			



**Photo 9: Courtyard, south elevation. Camera facing north.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building	<b>2. Location:</b>  239 Johnson Street Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-2486			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: November 15, 2022</b>			



**Photo 10: Courtyard, north elevation. Camera facing southeast.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
<b>1. Name of property:</b>  Gardner Apartments/ Ruby's Nursing Home/ Sunstone Press Building	<b>2. Location:</b>  239 Johnson Street Downtown and Eastside Historic District Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-2486			
		<b>4. County:</b> Santa Fe			
		<b>5. Date of Survey:</b> November 15, 2022			



**Photo 11: Courtyard, east elevation. Camera facing west.**

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Ramon Sarason, Senior Planner, Historic Preservation Division

---

Case: #2023-006352-HDRB

Address: 408 Camino del Monte Sol  
Historic Status: Contributing  
Historic District: Downtown and Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall  
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other: Façade diagram.

### APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## STAFF RECOMMENDATION:

Staff recommends that the North Façade (Façade 1) and the East Façade (Façade 8) elevations as primary.

**BACKGROUND & SUMMARY:**

408 Camino del Monte Sol is a single-family residence located in the Downtown and Eastside Historic District. The house is listed as contributing to the district. The applicant is requesting the designation of primary elevations.

The house was built in 1924 and is constructed in the Pueblo Revival style. This house, among other houses along Camino del Monte Sol, the house is one of the examples that exemplifies the inception of the "Santa Fe Style."

A significant number of twentieth century artists lived in and contributed to the style of the Camino del Monte Sol streetscape. Among the artists contributing to the art and architecture of Santa Fe and the Camino del Monte Sol neighborhood is the former owner of the house, Frank Applegate.

According to the 1991 Historic Building Inventory, the house was designed by John Gaw Meem's architectural partner Hugo Zehner. The second story of the home was added by Frank Applegate in the 1920s.

Aspects of the house that define the house's style include the stuccoed exterior, the battered walls and parapets, corner buttresses, and exposed lintels.

The walls along the street frontages were constructed after 1983.

**RELEVANT CODE CITATIONS:**

**14-12 Contributing Structure:**

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

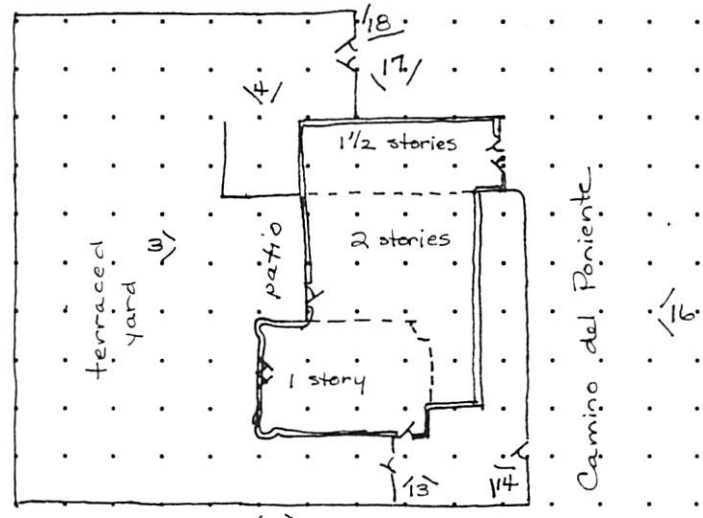
**14-12 Primary Façade:**

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

IDENTIFICATION	ADDRESS: 408 Camino del Monte Sol Camino del Monte Sol National Historic District		ID NUMBER: 051600115
	UTM REFERENCE EASTING NORTHING ZONE 12 13		BUILDING NAME:
	FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85		LEGAL DESCRIPTION: TNSP <u>17</u> N <u>8</u> RANGE <u>10</u> E <u>3</u> SEC <u>30</u> NW 1/4 NW 1/4
BUILDING DATA	DATE OF CONSTRUCTION: ESTIMATE 1924 ACTUAL SOURCE(S) neighbor-Cruz Romero		PHOTO
	ARCHITECTURAL STYLE: Spanish-Pueblo Revival		
	USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____		
	SURROUNDINGS: residential		
BUILDING DATA	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		SITE PLAN
	ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S)		
	DEGREE OF REMODELING: <input type="checkbox"/> MINOR <input checked="" type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR EXPLAIN: garage gone or converted privacy wall added		
SIGNIFICANCE	OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED		SIGNIFICANCE
	BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING		
		LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <u>Contributing</u>	
		LOCAL DESIGNATION: <u>Core</u> <input type="checkbox"/> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING	
		LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO	



#16 north elevation



SURVEYED 8/1 BY DB

NEGATIVES WITH NMHPD ROLL # 9 NEG # 13 TO 18  
ROLL 12 # 3 TO 4

ARCHITECTURAL AND LANDSCAPE FEATURES	FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
	BUILDING WALLS	stucco	
	FOUNDATIONS	not visible	
	DOORS	wood panel, french (painted)	
	WINDOWS	6x6 DHW, exposed lintels, also 6-light casements	painted blue
	PORTALES	—	
	CANALES	—	
	PORCHES	—	
	BALCONIES	—	
	ROOFS	flat with battered parapet	
	COURTYARDS	entry and along north-stucco wall	
	FENCES/WALLS	stucco privacy - stepped up to south - iron gates	added since 1983 survey
	ARCH. DETAILS	2-story window wall on south under exposed beam ends	
	OTHER		
	COMMENTS Unusually massive two-story		

ADDITIONAL PHOTOGRAPHS



#13 detail, entry court



#14 east elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 408 Camino del Monte Sol  
Camino del Monte Sol National Historic District

ID NUMBER  
051600115

SURVEYED/RESEARCHED

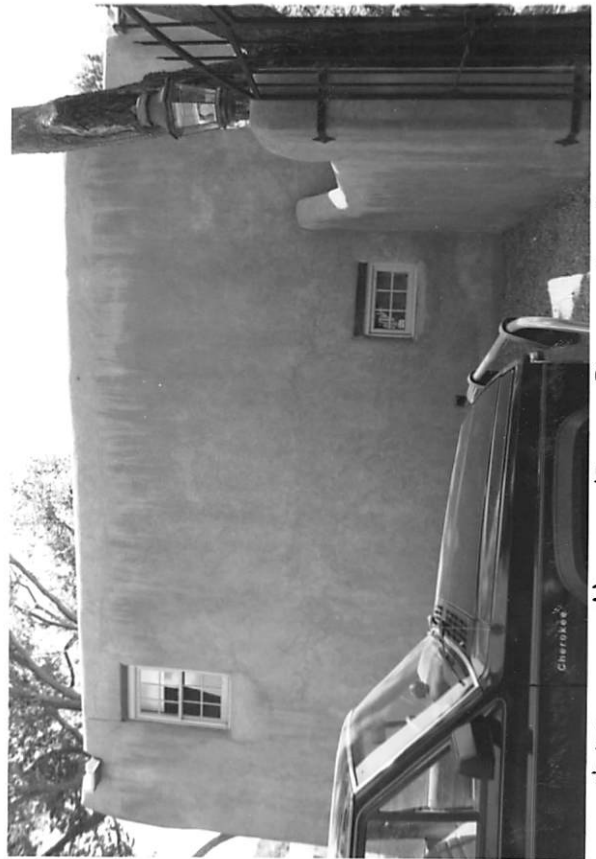
DATE 8/91 BY DB

House designed by Hugo Zehner, partner of John Heem (sources - neighbor Cruz Romero, architect's daughter Kay Chiba). Owned by Frank Applegate, who added 2nd story in 1920s.

1983 survey indicated that remodeling was immanent. City record of projects shows permits for demolition and remodeling in 1983. Garage noted on 1983 survey gone or converted and privacy wall added.



#15 south portion of east elevation



#17 north portion of west elevation

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991 (concluded)

IDENTIFICATION

ADDRESS 408 Camino del Monte Sol  
Camino del Monte Sol National Historic District

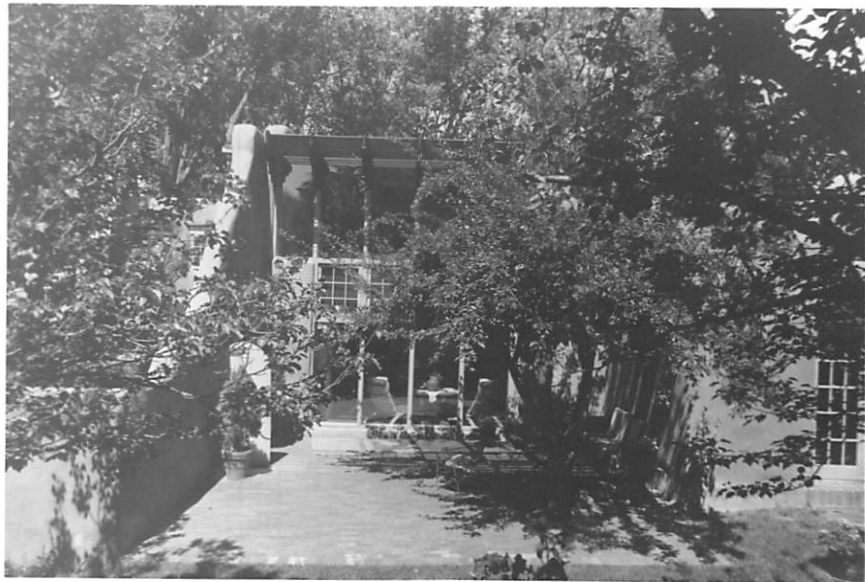
ID NUMBER  
05160015  
SURVEYED/RESEARCHED  
DATE 8/91 BY DB



#4 from southwest



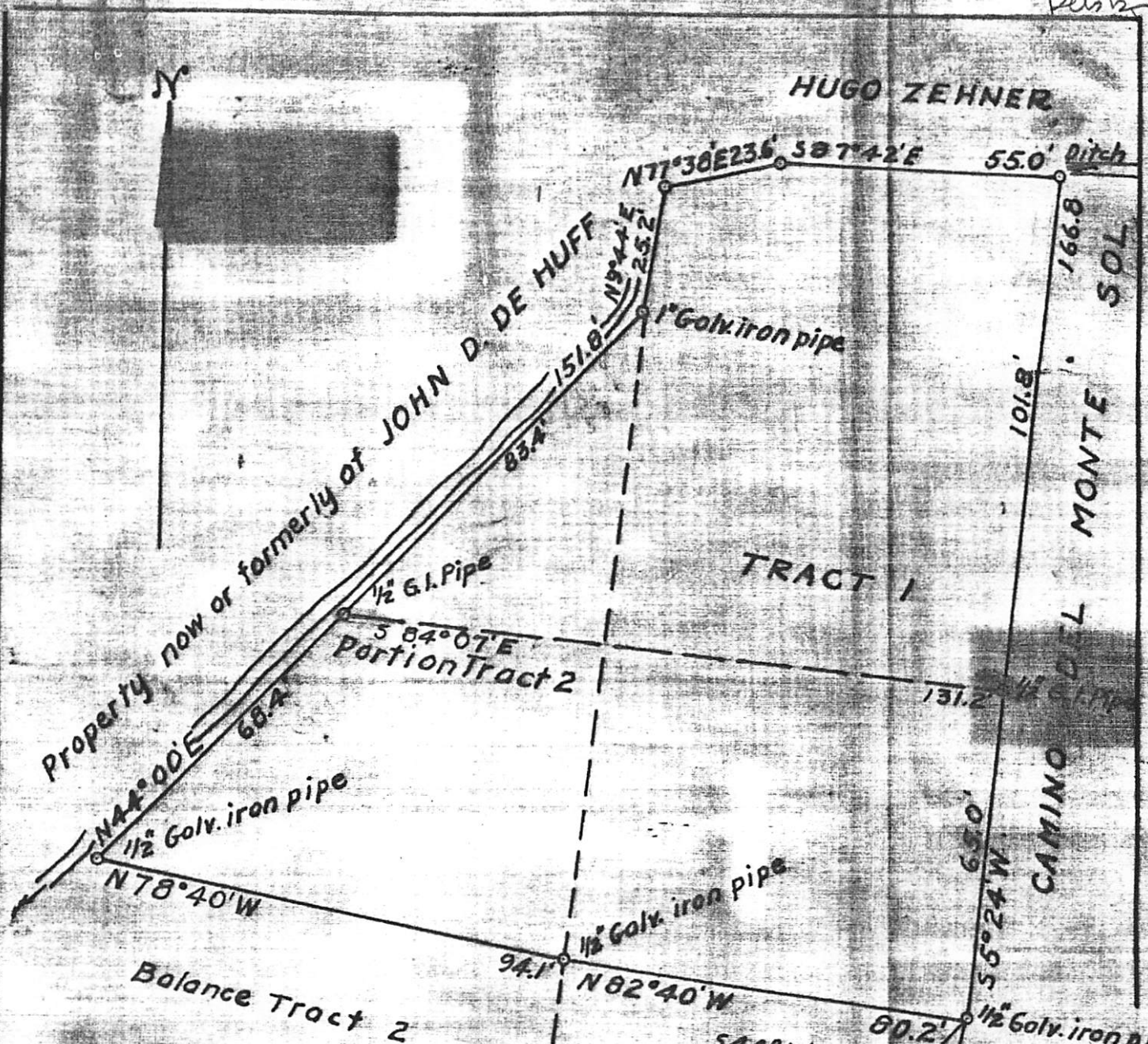
#18 south portion of west elevation



#3 center south

BL-419

Kelshe



MRS. FRANCISCO ROMERO GARCIA  
AMENDED SURVEY  
I hereby certify that this plat was amended by field survey July 29, 1946 by running line shown on plat as heavy dotted, for George W. Olcott.  
Jas. C. Harvey

**CERTIFICATE**  
I hereby certify that this plat and the field notes thereon are a true and correct copy of a survey made by me in the field Jan. 11th, 1945.  
Jas. C. Harvey

**TRACT OF LAND**  
SURVEYED FOR  
ALTA B. APPLIGATE ESTATE  
PRECINCT 3 ~ SANTA FE, N.M.  
Jan. 11th, 1945 ~ Scale 1"=30'



ADDRESS: 408 Camino del Monte Sol

HIST. SURVEY #: 115

(OD = Out of District; M = Moved  
DEM = Demolished; N/A = not a building)

NAME:

**CITY SURVEY**

Area #: 8                      Signif. Status: S

(S = Significant; C = Contributing; NC = Noncontributing)

**REGISTER STATUS (Individual Nominations)**

National: N                      State: N                      State #: N/A

HSFF: N                      HABS: N

(OSFT = To be in forthcoming 4th edition of Old Santa Fe Today.  
Not covered by a more detailed Bulletin article.)

**DOCUMENTATION**

SFHS Inventory: Y

NR Nomination: N/A                      SR Nomination: N/A

HSFF Bulletin: N/A                      HABS Data: N/A

Historic Photos:                      Museum:                      Archives:

Modern Photos:                      MNM:                      SRC:

Surveys:                      Floor Plans:                      Elevations:

Other:

Bibliography:

Comments:

ADDRESS: 408 Camino del Monte Sol

HIST. SURVEY #: 115

(OD = Out of District; M = Moved  
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NAME:

**CITY SURVEY**

Area #: 8                      Signif. Status: S

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HSFF Bulletin: N/A                      HABS Data: N/A

Historic Photos:                      Museum:                      Archives:

Modern Photos:                      MNM:                      SRC:

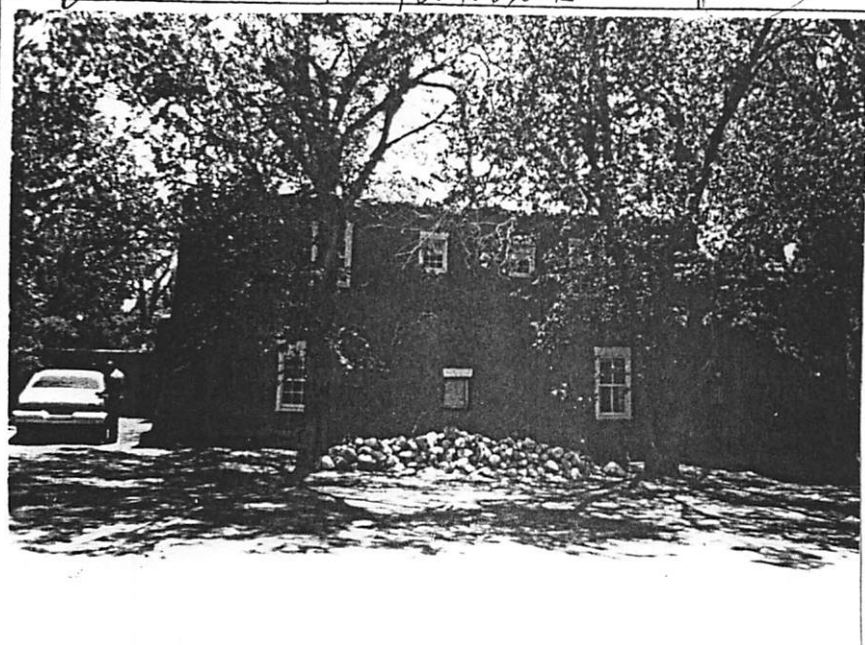
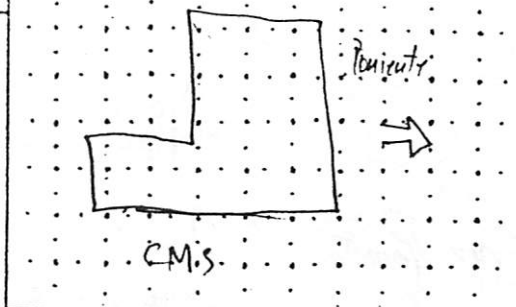
Surveys:                      Floor Plans:                      Elevations:

Other:

Bibliography:

Comments:

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes		surveyed date 9-6-83 by mb	county Santa Fe	ID no. 051600115
field map Santa Fe, New Mexico		number 1	UTM reference easting zone 12 13	
location description 408 Camino Monte Sol (CMS)			city/town Santa Fe	
			<del>land grant/reservation</del>	
building name		legal description tensp 17 N 5 range 10 E sec 30 NW 1/2 NW 1/2		
film roll by mb no. 6	negative nos. 31, 32, 33, 34	loc. of neg. (HPB)	plan shape	
				
			date of construction <del>1924</del> estimate 1929 actual source Neighbor's Caravan	
			use present residential other historic residential other	
			condition ___ excellent ___ good ___ fair ___ deteriorating	
style Pueblo Revival	foundation material Not vis	wall material/surface Stucco	degree of remodeling ___ minor ___ moderate ___ major describe: About to be remodelled - extremely S sources	
architectural features Wall batter. Corner buttresses Windows - 6 1/2 dbl hung wood 12 lite wood casement. lintels part exposed. - white Sunporches - 6 lite multi lite wood casement. Incised decorative paneling under. - brn Garage - 2 leaf built up panel. - brn (over)			surroundings Residential relationship to surroundings ___ similar ___ not similar	
comments (wall) Excellent example of adaptation of mission fine detailing			district potential ___ yes ___ no	
Streetscape hedge wire fence wood fence landscape street trees stone curb 0 set back 2 cecula			significance ___ eligible ___ of ___ none if eligible, interest why?	
Sena's house. Washed for Mexico			associated buildings? ___ yes what type? if inventoried, list ID nos.	
			see back? <input checked="" type="checkbox"/> yes	

One chimney visible  
Vigas 4 x 8 milled  
Posts in portal heavy.  
Canales metal.

No Building  
~~Nothing~~ shows on this site 1912 King's map

See Cruz Romero

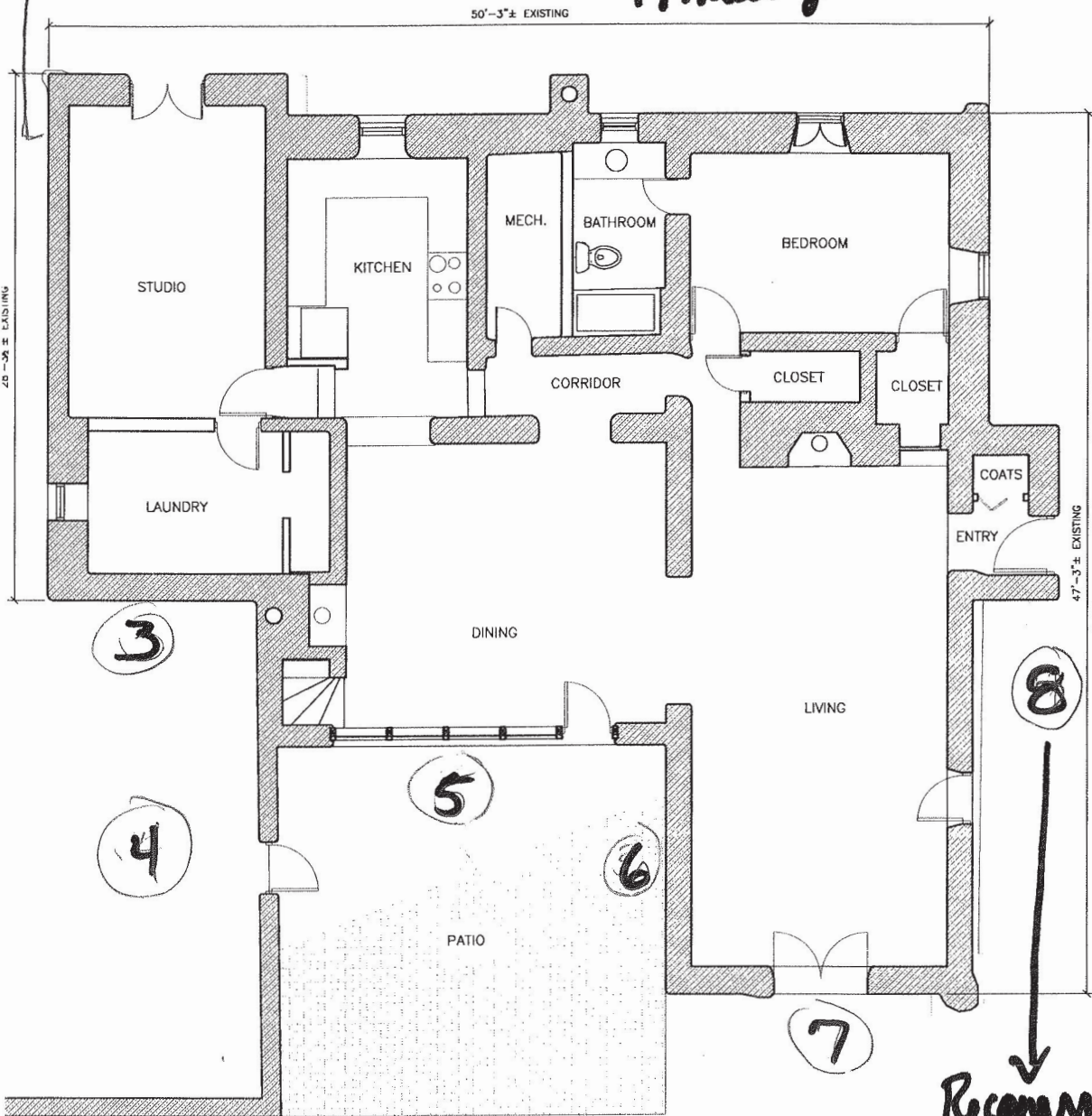
{ Owned by Hugh Sener - arch. w. J.C.M.  
owned, designed & built by Frank Applegate (did not live in it)  
Property purchased for Anastasio Montoya

# Facade Map

REVISIONS	BY:
APR 11 2018	

BY: \_\_\_\_\_

① → Recommended Primary



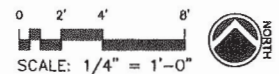
**DIMITROVDESIGNSTUDIO**  
 Design • Building Information Modeling • Construction Documentation • Visualization  
 825 1/2 East Palanca Avenue • Santa Fe, New Mexico, 87501  
 Tel: 505.860.0794 • Email: [info@dimitrovdesignstudio.com](mailto:info@dimitrovdesignstudio.com)

SITE PLAN - EXISTING CONDITIONS  
**SWITZER RESIDENCE**  
 408 Camino Del Monte Sol, Santa Fe, New Mexico

Recommended Primary

GROUND LEVEL EXISTING FLOOR PLAN

Scale: 1/4" = 1'-0"



DRAWING BY:	TD
DATE:	04/10/2018
SCALE:	1/4" = 1'-0"
SHEET NO.	A101

# A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board  
City of Santa Fe, City Hall  
Santa Fe NM 87501

Tuesday, October 11, 2022

RE: 408 Camino del Monte Sol  
Enclosed (1) 24"x36" copies

A-1	Site Plan	10/05/22	
A-2	Floor Plan	10/05/22	
A-3	Elevations	10/05/22	
	Pages from Camino del monte sol architectural survey		1984
	HDRB Application		
	Photographs of elevations		

Dear Carly Piccarello and  
Members of the Historic Districts Review Board

We hereby request primary elevation designation on the contributing house at 408 Camino del Monte sol

I met With staff (Daniel) on October 15,2021 to discuss fenestration issues. He pointed out that we would need primary elevations designated ..If they have not already been designated please consider this request to do so

Based on the information from above noted monograph (pages 26-27) the house was originally designed and built by Frank Applegate in 1924. Then based on the CDMS 1984 survey it seems there are changes to a number of different features that are no longer on some of the elevations.

For example there is a reference to a Garage.that is no longer there North Elevation and hewn portal beams that are no longer there as there is no portal. The window lintels have been partially stuccoed over. New stucco yard walls have been added since the 1984 photos

The owner has discovered that a significant remodel was done in the mid to late 80's that presumably produced the solar glass at the rear of the property On a portion of the wood trim on the south side of the house there is visible the internet address of the wood manufacturer: Definitely not from 1972.

However most of the house has retained its earlier form so we would like to understand the boards point of view on which elevation should be primary

Please call if you have any questions on the project 982-5461  
Sincerely,



Christopher Purvis.

# A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board  
City of Santa Fe, City Hall  
Santa Fe NM 87501

Thursday, February 16, 2023

RE: 408 Camino del Monte Sol  
Enclosed Photographs of details

Dear Ramon Sarason and  
Members of the Historic Districts Review Board

Per our discussion of relatively recent changes to the House at 408 Camino Del Monte Sol . I  
attach 4 photographs of details

- 1) interior of the double hung window typical to the north elevation. This shows the aluminum track and more modern hardware typical of the TDL windows of the 1980's
- 2) The second and third photo show the interior of a sconce that is on the south side of the home part of that remodel. the detail shows the 1986 date
- 3) A elevation detail of the site built sun room showing the more modern window installed in the painted wood structure

Please call if you have any questions on the project 982-5461  
Sincerely,



Christopher Purvis.

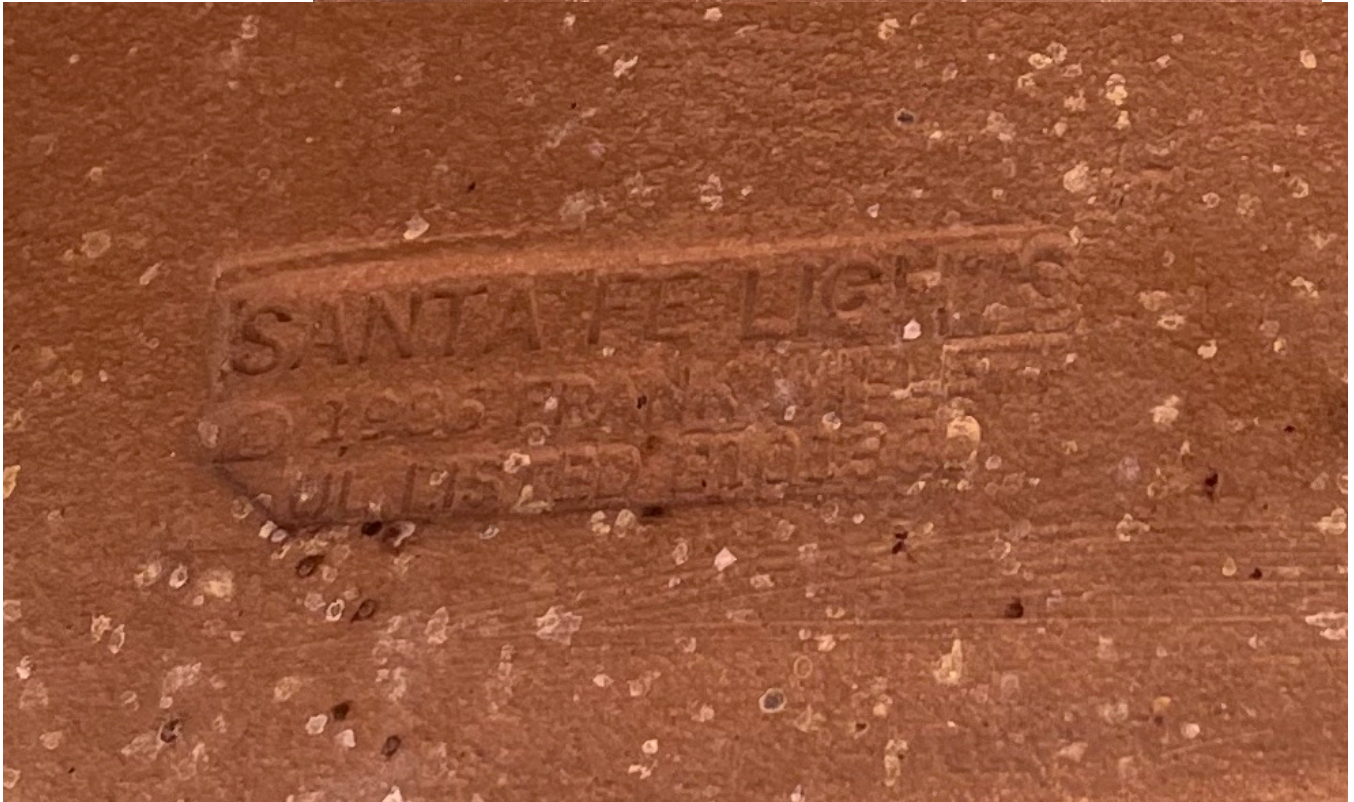
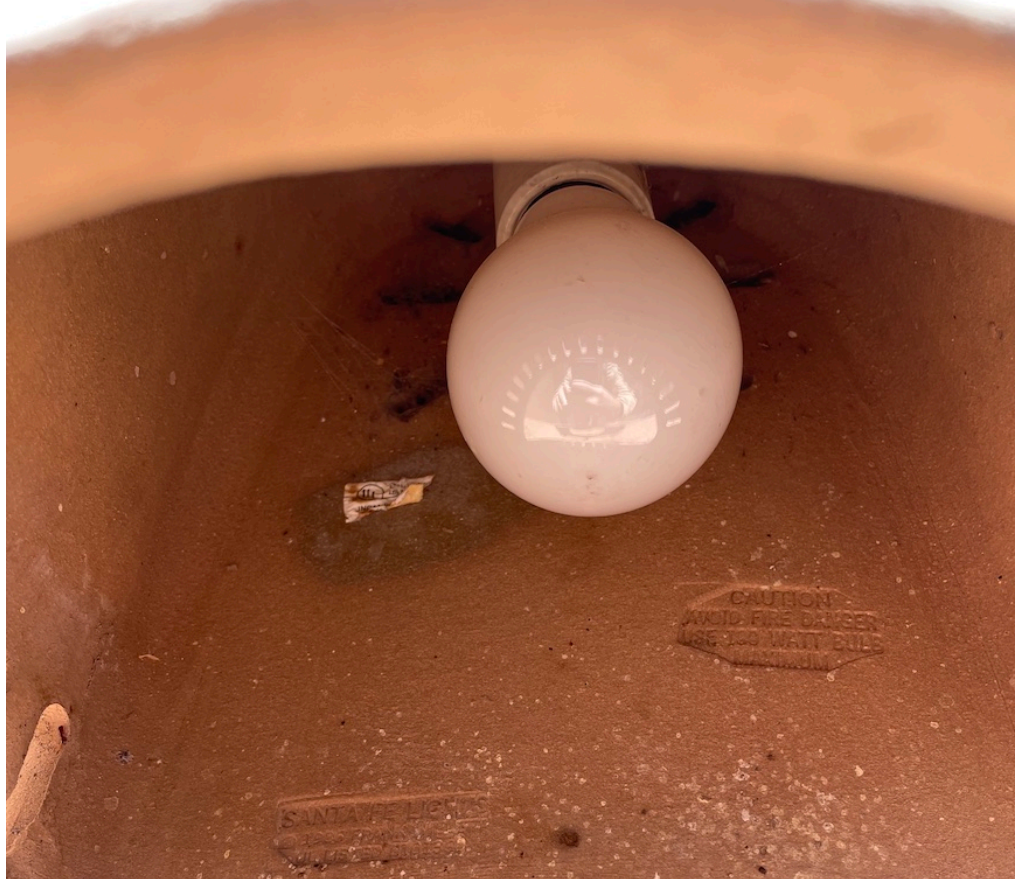
A. CHRISTOPHER PURVIS  
ARCHITECTS



Interior North facing window

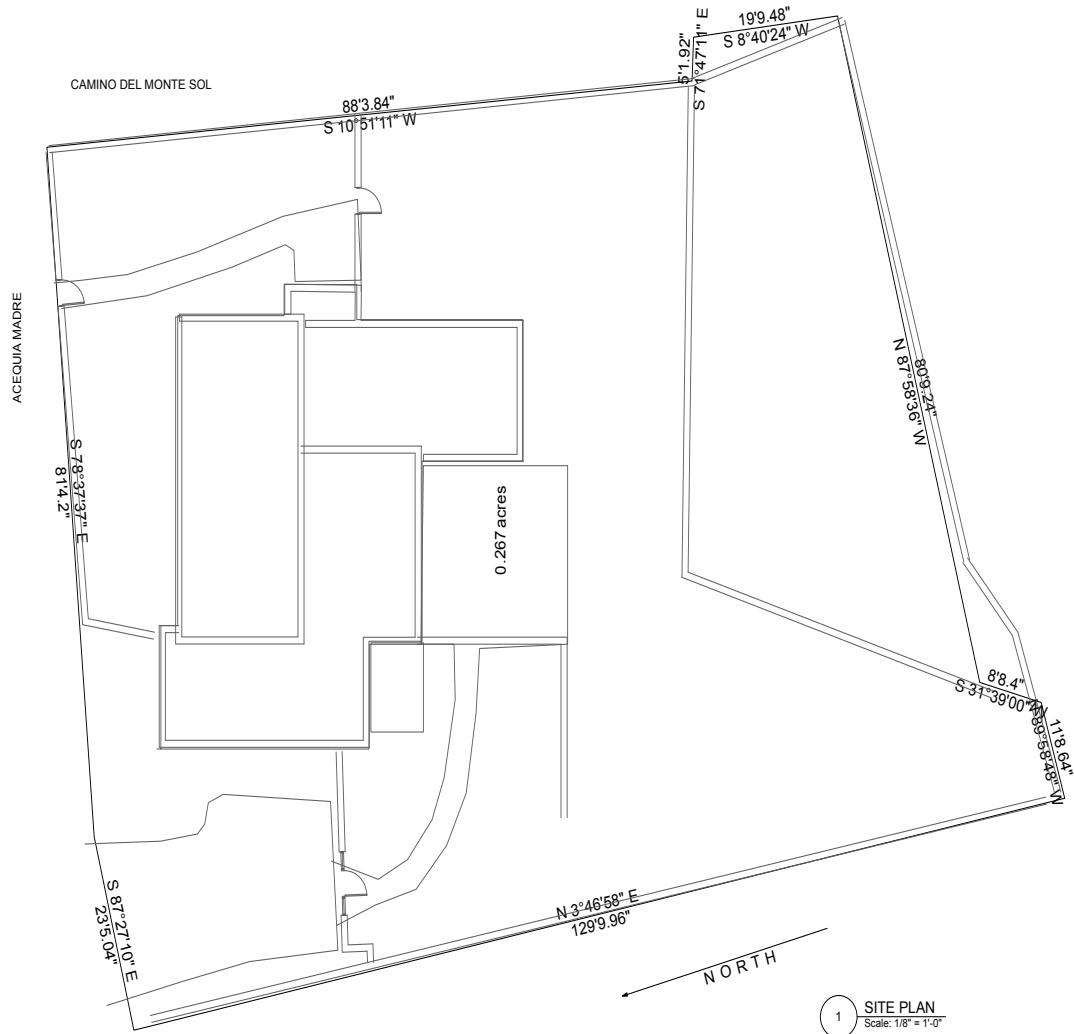
A. CHRISTOPHER PURVIS

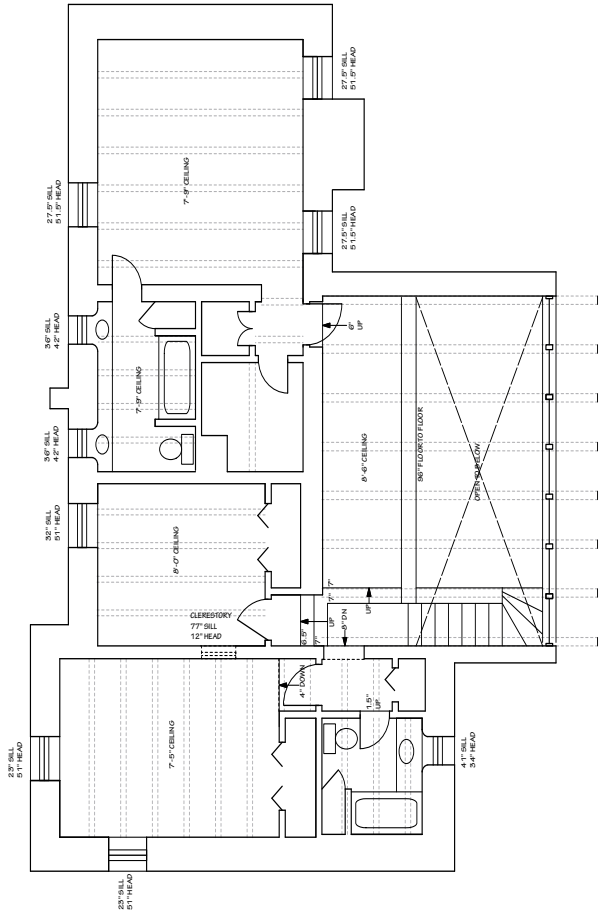
ARCHITECTS



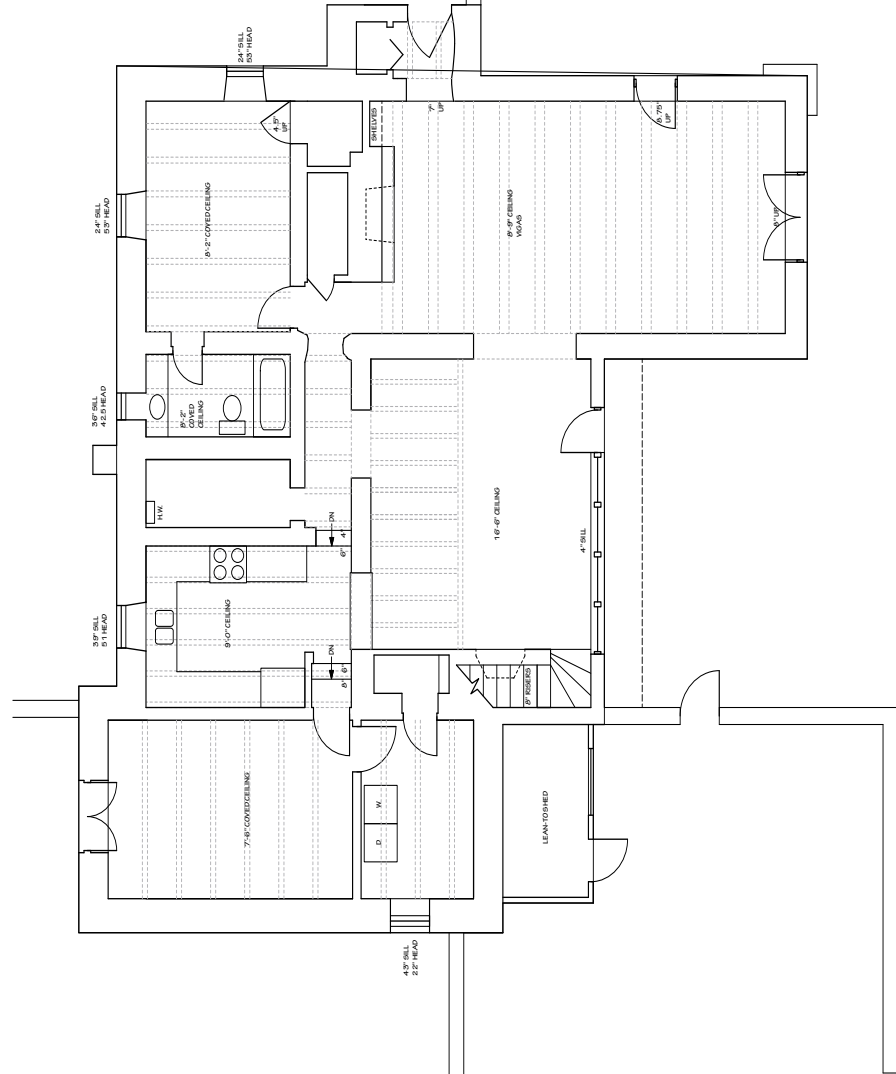
A. CHRISTOPHER PURVIS  
ARCHITECTS







2 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"

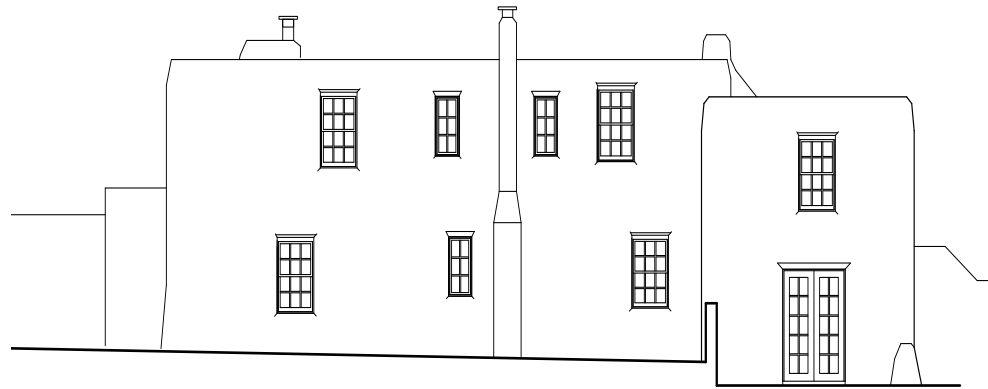




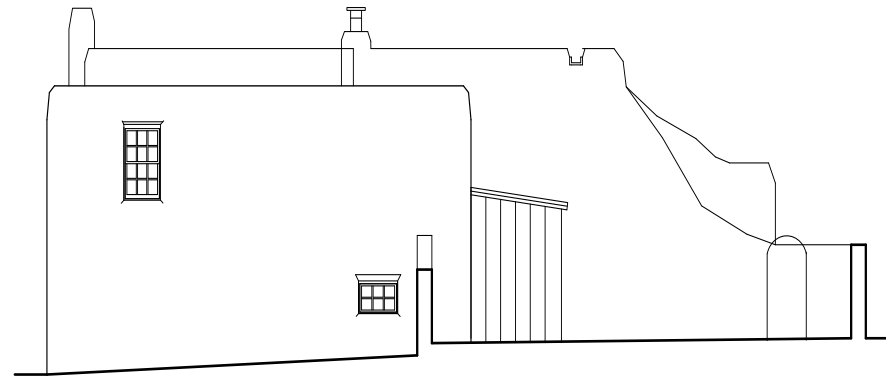
2 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



2 WEST ELEVATION  
Scale: 1/4" = 1'-0"

408 CAMINO DEL MONTE SOL



1

NORTH ELEVATION

Scale: 1:70



2

**SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



1

**SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



408 CAMINO DEL MONTE SOL



**EAST ELEVATION SOUTHERN**  
Scale: 1/8" = 1'-0"

2



1

**EAST ELEVATION DETAIL**  
Scale: 1:220

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

---

Case # 2023-006284-HDRB

Address: 208 and 208 A Gonzales Road  
Historic Status: Non-contributing  
Historic District: Downtown & Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

District Standards & yard wall  
& fence standards.

Historic Inventory Form

Zoning Review Sheet

### APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

## **BACKGROUND & SUMMARY:**

208

Gonzales Road is a Spanish-Pueblo vernacular dwelling with an unknown specific building date. It is non-contributing to the Downtown and Eastside Historic District. Santa Fe County records from 1960 show a blurry L-shaped home with a smaller footprint than the current house. The original footprint was likely 919 square feet with 368 square feet additions made sometime after 1961 and in the 1970s. The property has two structures: the 1,287 square foot main house and a 220 square foot casita. The main house has 18' thick adobe bricks and frame construction. The casita is frame construction with a sloped roof and stuccoed to match the main house. The house and casita sit on a third-acre lot which is one of eight properties originally occupied by the Garcia family, several of whom still reside in homes nearby. It backs up to Lorenzo Lane.

The HDRB approved a remodel in 2011 (H-10-0014) that has expired. The applicants have replaced all doors and windows as part of that case and now return to the board for the following changes:

### **Main House**

1. Add 566 square feet at the northeast corner. Its style matches that of the existing house and casita with flat roof, rounded corners and parapets. New doors and windows will match the existing of the main house, Sierra Pacific wood clad casement with divided lites. Its height will match existing, with the southwest façade inset entry façade at 19' at its highest point that matches the height of the rear northeast elevation at 15' due to the 4' slope along the building's footprint from southwest to northwest. The northern portion of the addition will fill in the existing portal.
2. The parapet above the southwest elevation entry double doors will be changed from an angled façade to a flat roofed parapet with exposed vigas. The entry will have a small courtyard with two stepped Spanish-Pueblo walls on each side with an arched wooden gate. New, thicker hand-stripped vigas will be used for the roofs; the ends will protrude from the wall on the west elevation.

### **Casita**

3. Add 329 square feet to the 220 square foot casita continuing with the flat roof in the vernacular style and adding exposed vigas. Two multi-paned divided lite windows will replace the existing two aluminum sliding units. The door will be moved to the east side of the addition.

### **Fencing and Landscaping**

4. Replace the existing flat pine fencing on the southwest side to coyote fencing to match the coyote fencing along the south and west elevations.
5. Add 4' tall adobe walls at the east and west sides to define the outer edges of the main house and casita. The walls will taper to a shorter scalloped, stepped shape.

The casita and main house additions will have new doors and windows to match the existing main house: wood clad casement with divided lites, Sierra Pacific manufacturer.

All stucco will be "Buckskin."

**RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

14-5.2(E) Downtown and Eastside Design Standards



# Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<b>To Be Completed By Applicant:</b>		Site Address:
Date Submitted: 6-24-22		208 GONZALEZ RD. S.F. 87501
Property Owner of Record: NURIT WALSKY	<b>Proposed Construction Description:</b>	
Applicant/Agent Name:	ADDITION TO EXISTING "CASITA" - KITCHEN + BATH ADDITION TO EXISTING IVAN HOUSE - KITCHEN + BATH	
Contact Person Phone Number: (505) 470-7894	TOTAL ROOF AREA: OLD+NEW 2706 SQ FT	
Zoning District: RESIDENTIAL 5DU	Lot Coverage: 27 % <sup>LOT 14358</sup>	
Overlay: <input type="checkbox"/> Escarpment <u>NONE</u>	<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone* <u>NONE</u>	Setbacks:	
<input type="checkbox"/> Other: <u>NONE</u>	Proposed Front: <u>25</u> Minimum: <u>15</u>	
Submittals Reviewed with PZR:	2 <sup>nd</sup> Front? _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans	Proposed Rear: <u>5</u> Minimum: <u>5</u>	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Proposed Sides: L <u>5</u> R <u>5</u> Minimum: <u>5</u>	
Supplemental Zoning Submittals Required for Building Permit:	Height: Proposed <u>14'</u>	
<input type="checkbox"/> Zero Lot-Line Affidavit	Maximum Height: <u>14'</u> or	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <u>EXISTING</u>	<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
<input type="checkbox"/> Visibility Triangle Required <u>DRIVEWAY</u>	<input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential	Parking Spaces: <u>3</u> <sup>EXISTING</sup>	
<input type="checkbox"/> Commercial Type of Use: _____	Proposed: <u>3</u> Accessible: _____	
Terrain: <input type="checkbox"/> 30% slopes <u>RELATIVELY FLAT</u>	Minimum: _____	
* Requires an additional review conducted by Technical Review Division.	Bicycle Parking**:	
** Requires an additional review conducted by the Traffic Engineering Division.	Proposed: _____ Minimum: <u>NA</u>	
	** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

NURIT WALSKY Nurit Walsky  OWNER  APPLICANT  AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Nurit Walsky June 24, 2022

<b>To Be Completed By City Staff:</b>	2023-006346-PAR
<b>Additional Agency Review if Applicable:</b>	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
<b>Zoning Approval:</b>	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>Stephanie Perera</u>	DATE: <u>2/1/23</u>

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Date: January 11, 2023

To: Historic Restoration Board of Santa Fe, NM

From: Nurit Walsky, Owner of property at 208 Gonzales Rd.

Re: Remodel Proposal Description for 208 Gonzales Rd. Santa Fe, NM 86501

## HISTORY

The home at 208 Gonzales sits on a third acre lot. It is one of 8 homes that were originally occupied by the Garcia family, several of whom still reside in homes nearby. We purchased this home from the Garcia family after it had been on the market for several years; the original owner having passed away some years back.

The property has 2 structures, the main house is of 18" thick adobe walls and some frame construction added in the 1970's to include a laundry room and bathroom to give it a purchased sq footage of 1287. The other structure is 220 sq ft, of frame construction with concrete floor, partially plumbed, sloped roof and a stucco shell matching the main house to give it an adobe appearance. Both homes were in need of repair and upgrading when purchased but still had functioning utilities. The historical records can only be found by the county of Santa Fe back to 1960 which show a blurry L shaped home smaller than the current satellite photo suggesting that the added rooms were done later than 1961. The added construction was a total of 368 sq ft which suggests the original home to have been around 919 sq ft.

## ASSESSMENT

A home inspection prior to purchase revealed the roof will eventually need replacement but there are no current leaks. The utilities were all working. The Phase I work completed and approved in 2012 was a replacement of the floor from wood to concrete slab with radiant heat. All windows and doors were replaced as was the plumbing, kitchen appliances and cabinets. All lighting was replaced with LED. Phase II, bedroom / bath addition, was not completed because the contractor at the time, Franco Trujillo of Taos, was fired after it was discovered that much of the money paid to him was lost to gambling at casinos. To complicate matters further, both the owner and the partner battled cancer. Both are now healthy and remain cancer free after 10 years. The incomplete portion of the project, ie, the second bedroom / bath, sunroom and extension of the Casita, had to be postponed until money could be saved after the embezzlement. The project time frame expired and all work had to cease. Owner now believes that after ten years of saving she will have sufficient funds to complete the remodel.

## PROPOSAL

The intention is to resume and complete the Casita first, followed by the master bedroom / bath and sun room, then finishing with the landscaping. The restoration design for both the structures and landscaping is to bring back the Santa Fe Pueblo style from its 70's/80's look, especially the angled roof line of the front parapets. The main house is currently a one bedroom and a one and ½ bath bathroom, to be expanded to a 2 bedroom and 2 ½ bath. The existing Casita will be expanded adding 1 bedroom, 1 bathroom, 1 efficiency style kitchen and living space with a wood stove. The buildings are to be restored and expanded from their current 1287 sq ft (main house) and 220 sq ft (casita) total to approximately 2600 total heated square feet.

The main home sits at a 28 degree angle to the smaller casita which is a rectangle aligned to an East West plane. As both buildings expand the angles combine to make a third unintentional, incidental angle. The project rendering highlights several square flat roofs which intermingle from both building, bringing the appearance of the buildings back to that of separate rectilinear shaped dwelling complexes;

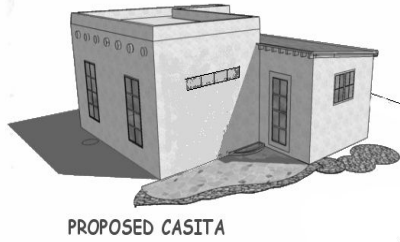
similar to how a pueblo is a group of square, linear dwellings which must follow a non-linear natural contour of the land.

The thickness of the original walls is mimicked at each opportunity in the additions and is intended to restore the original primal walled look. New, thicker hand-stripped vigas will be used for the roofs and the ends will protrude where both practical and visual from the front. Short 4 ft adobe walls will help define the outer edges of both structures at the East and West ends and will taper into a scalloped, stepped shape. The exteriors will be a buckskin stucco throughout. The Casita and the bdrm / bath addition will have new doors and windows to match the existing main house of various sizes (see plans) and the glass areas total less than 40% as per the flat plane formula. The window and door brands are Sierra Pacific brand from Lowes and are natural pine. The floor tiles of the bdrm / bath addition will match the natural Travertine of the main house. The Casita floor will be concrete slab with Saltillo style on existing and added slab. The building phases are described as;

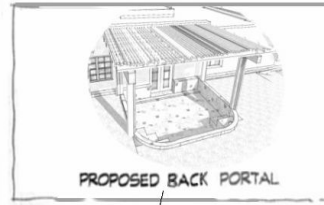
- Phase I will be completion of the Casita extension
- Phase II will be the sun room between the existing house and the proposed master bed / bath
- Phase III will be the master bed / bath
- Phase IV will be the landscaping to include the pond / runoff capture area.
- The roof of both the Casita extension and the bed/bath addition will be using Santa Fe style vigas throughout with a natural pine finish.
- Windows and doors are Sierra Pacific wood clad casement with divided lites. The master bedroom addition will have two 3565, facing the street, (Southwest) matching the existing bedroom, one 3547 for the front wall of the bathroom facing the street, (Southwest) and two 3547 windows facing the neighbor to the Northwest, and a four, 24" ten lite door set, 2 active, in the center of the Sun room facing Northwest.
- Casita extension and the main house master bedroom /bath will have horizontal parapet roof lines matching the original main house height. The roof line over the front double doors will be symmetrical Pueblo step style on either side, to replace the angled facade from the 70's-80's style. A survey of the property elevations show a difference of up to 4 feet between the front of the buildings and the back allowing for the roof height of the front facade to be 19' at its highest point and will match even horizontally to the height of the rear parapets.
- The space in front of the double front doors between the two buildings, (The existing bedroom and the proposed bedroom) will form a 10' x 16' wide patio area with step style accented entry on both ends connected with a double swing entry gate. Inside the front patio area is the existing viga / beam / latilla portal.
- The Northwest side of the main house between the existing mechanical room and the proposed master bdrm/bath will form a square 10' x 20' area. This will be the sun room using four, ten lite 24x96 french doors allowing for indoor or outdoor dining. The space above the sun room will be trellised using the re-surfaced vigas matching the original house vigas.
- Coyote fence 6' high will replace the existing flat pine fencing on the Southwest side, and will match the existing coyote fence all along the street side of the property as well as the neighbor to the East. The main house and Casita will have a car parking space situated between the inner fence of the northwest lot area, and the Casita extension. Cars will have a gravel, shared vehicle entrance and parking thru the existing gate and extending to the back (North) fence line.
- Landscaping will be the final phase and will be consistent with the surrounding neighborhood.

Nurit Walsky, Owner  
208 Gonzales Rd. Santa Fe, NM 87501  
nurit.walsky@gmail.com

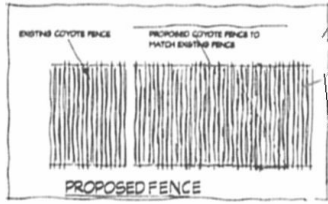




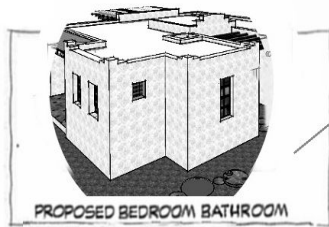
PROPOSED CASITA



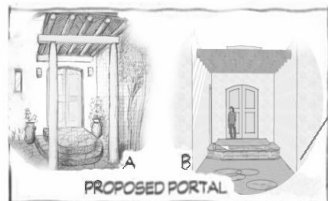
PROPOSED BACK PORTAL



PROPOSED FENCE



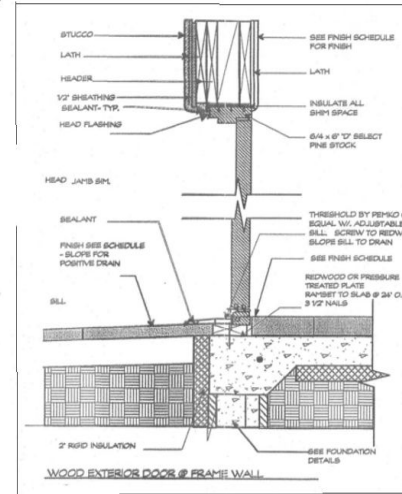
PROPOSED BEDROOM BATHROOM



PROPOSED PORTAL



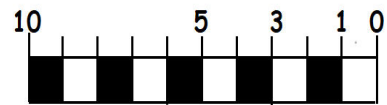
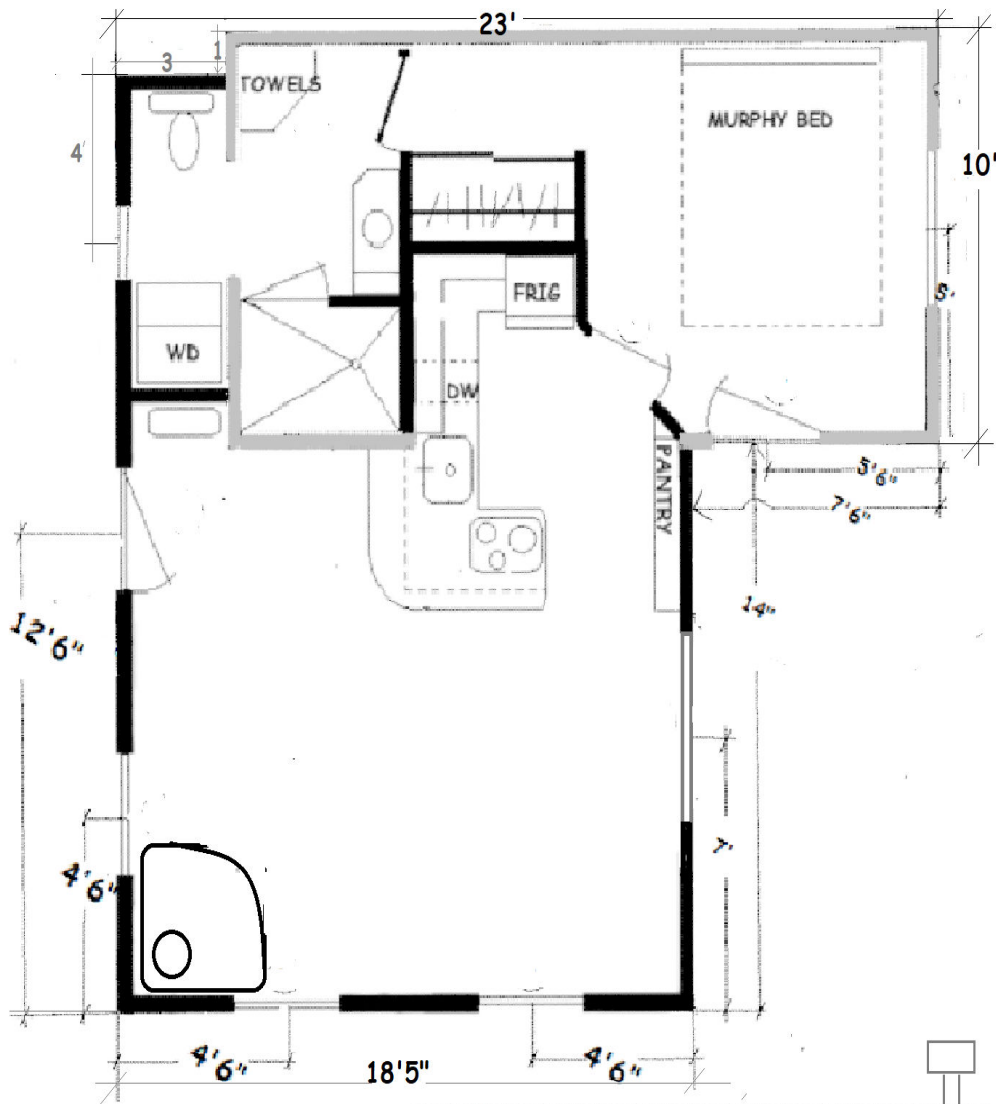
SITE PLAN EXISTING AND PROPOSED



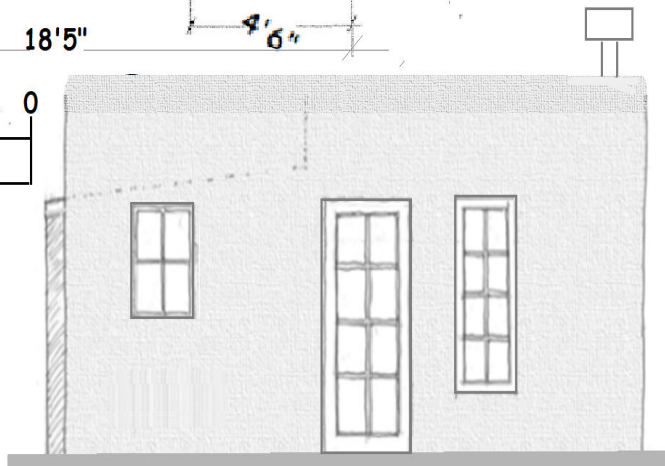
- A-1 BOUNDARY SURVEY
- A-2 SITE PLAN, EXISTING STRUCTURES, LANDSCAPE DRAINAGE
- A-3 SITE PLAN WITH PROPOSED STRUCTURES
- A-4 PROPOSED THUMBNAIL RENDERINGS
- A-5 MAIN HOUSE CASITA ADDITION ELEVATIONS
- A-6 CASITA ADDITION ELEVATIONS
- A-7 MAIN & CASITA PROPOSED FLOOR PLANS, SCHEDULES
- A-8 FRAMING & FOUNDATION DETAILS
- A-9 MAIN & CASITA RENDERINGS
- A-10 FRONT & REAR PORTALS

Drawn by  
**MARXART**  
 drmadtoon@gmail.com

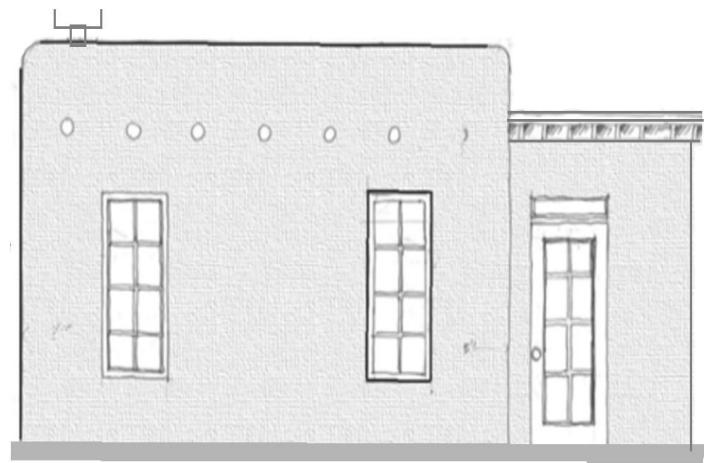
**NURIT WALSKY**  
**208 GONZALES RD.**  
**SANTA FE, NM 87501**



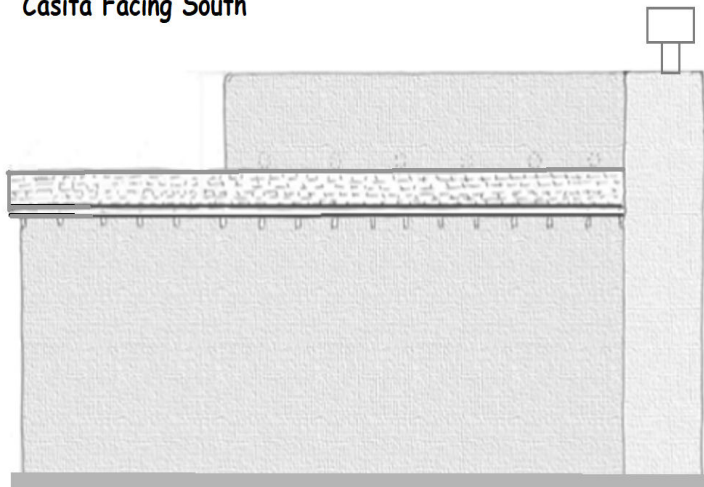
SCALE  
1/2" = 1'



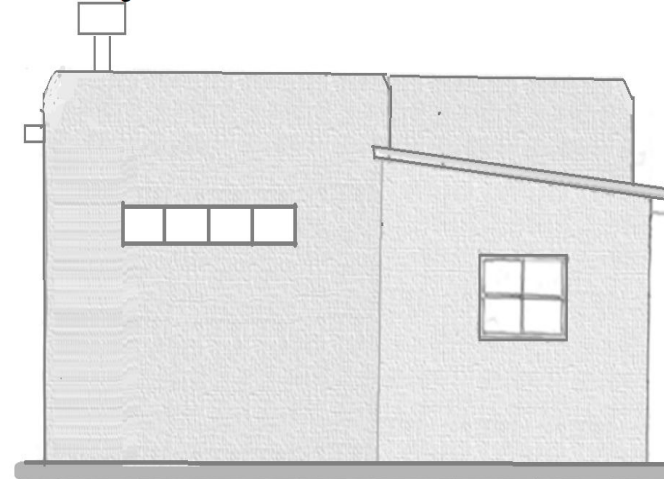
Casita Facing West



Casita Facing South



Casita Facing North



Casita Facing East

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drmadtoon@gmail.com

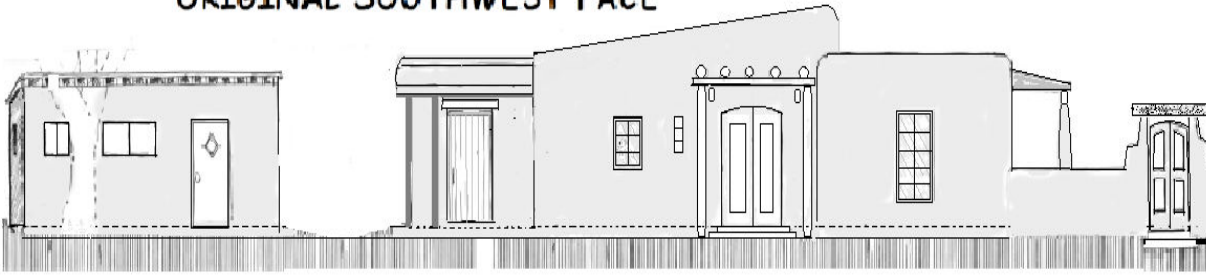
NURIT WALSKY  
208 GONZALES RD.  
SANTA FE, NM 87501

A-6

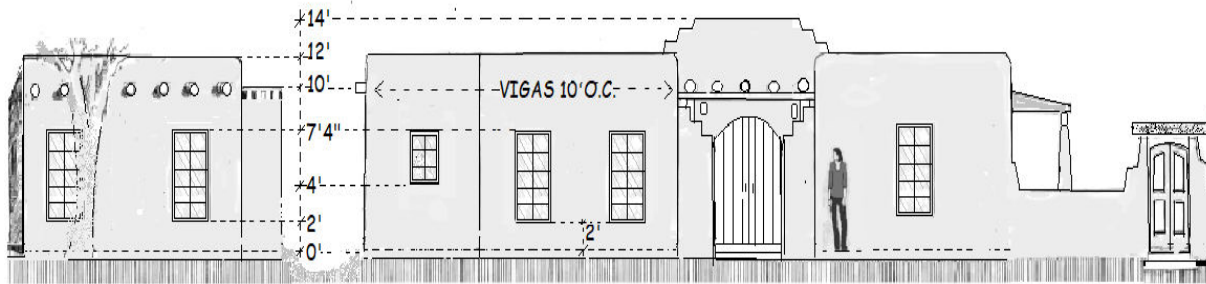
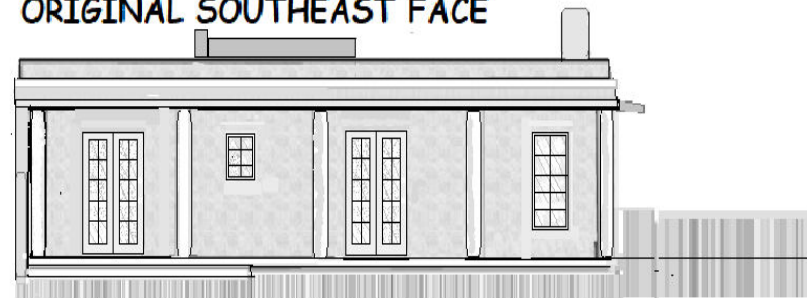


NURIT WALSKY, OWNER, 208 GONZALES RD., SANTA FE. AERIAL VIEW OF PROPERTY

ORIGINAL SOUTHWEST FACE

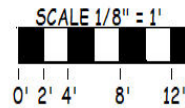


ORIGINAL SOUTHEAST FACE



PROPOSED SOUTHWEST FACE

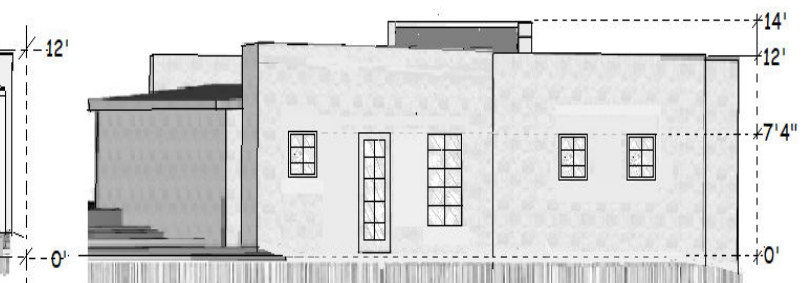
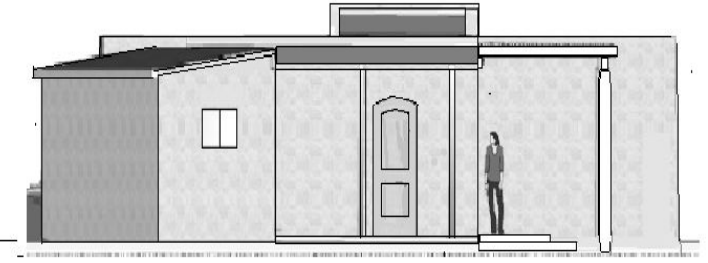
PROPOSED SOUTHEAST FACE



ORIGINAL NORTHEAST FACE



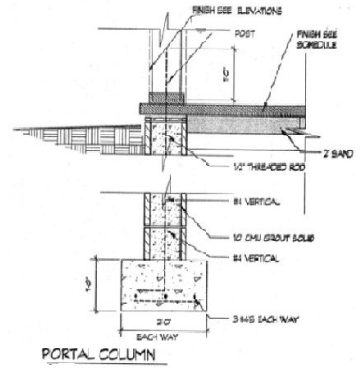
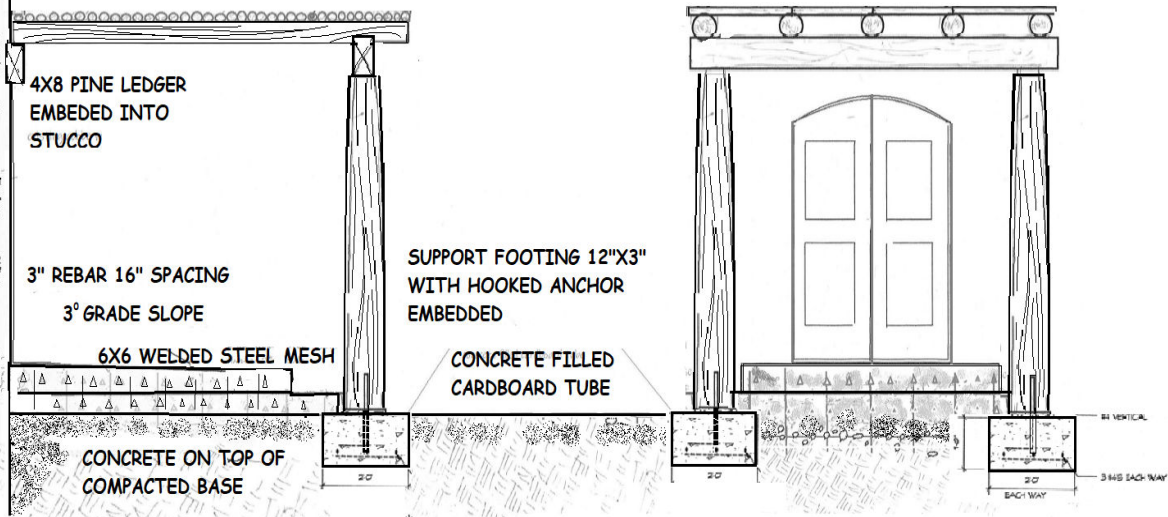
ORIGINAL NORTHWEST FACE



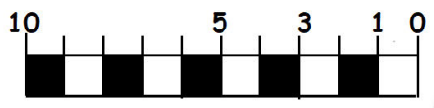
PROPOSED NORTHEAST FACE

PROPOSED NORTHWEST FACE

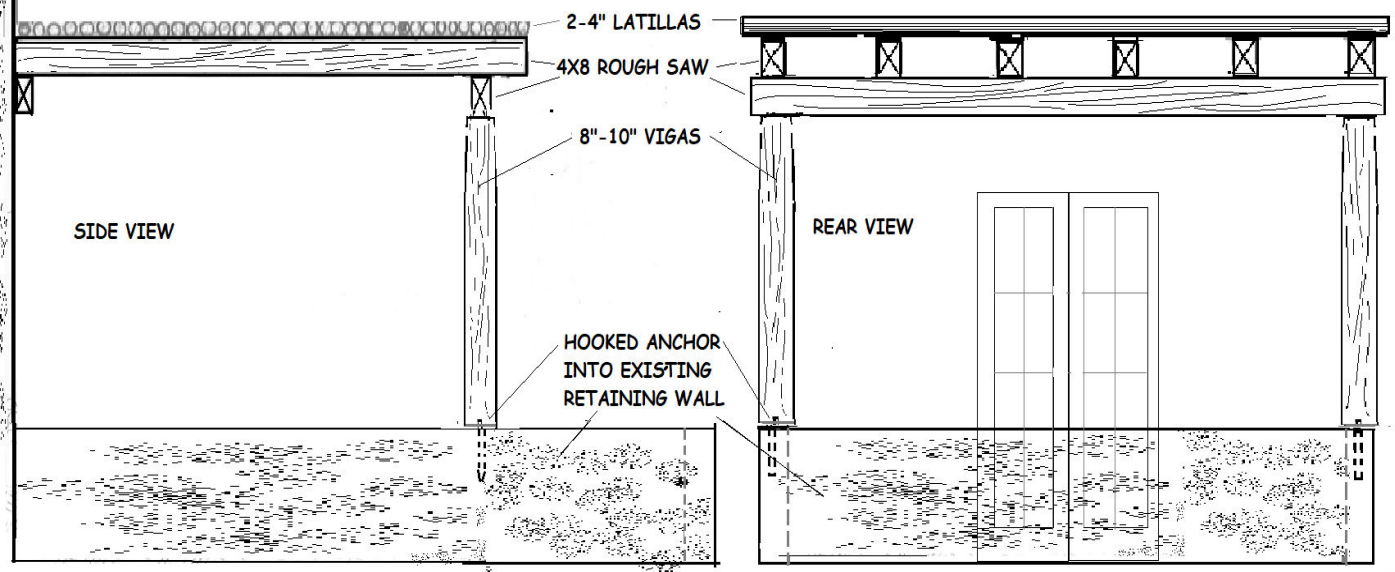
# FRONT PORTAL



SCALE  
1/4" = 1'



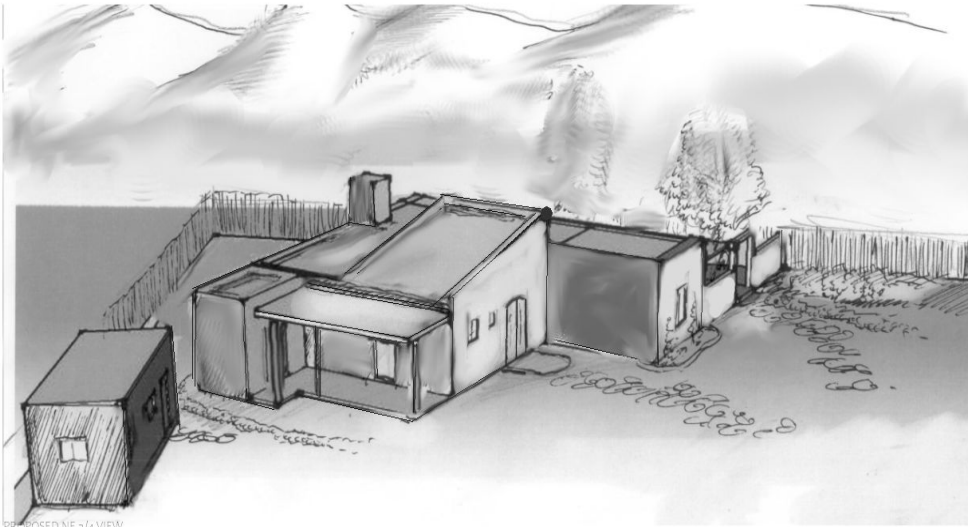
# REAR PORTAL



- A-1 BOUNDARY SURVEY
- A-2 SITE PLAN, EXISTING STRUCTURES, LANDSCAPE DRAINAGE
- A-3 SITE PLAN WITH PROPOSED STRUCTURES
- A-4 PROPOSED THUMBNAIL RENDERINGS
- A-5 MAIN HOUSE & CASITA ADDITIONS ELEVATIONS
- A-6 CASITA ADDITION ELEVATIONS
- A-7 MAIN & CASITA PROPOSED FLOOR PLANS, SCHEDULES
- A-8 FRAMING & FOUNDATION DETAILS
- A-9 MAIN & CASITA RENDERINGS
- A-10 FRONT & REAR PORTALS

Drawn by  
**MARXART**  
 drmadtoon@gmail.com  
  
 NURIT WALSKY  
 208 GONZALES RD.  
 SANTA FE, NM 87501

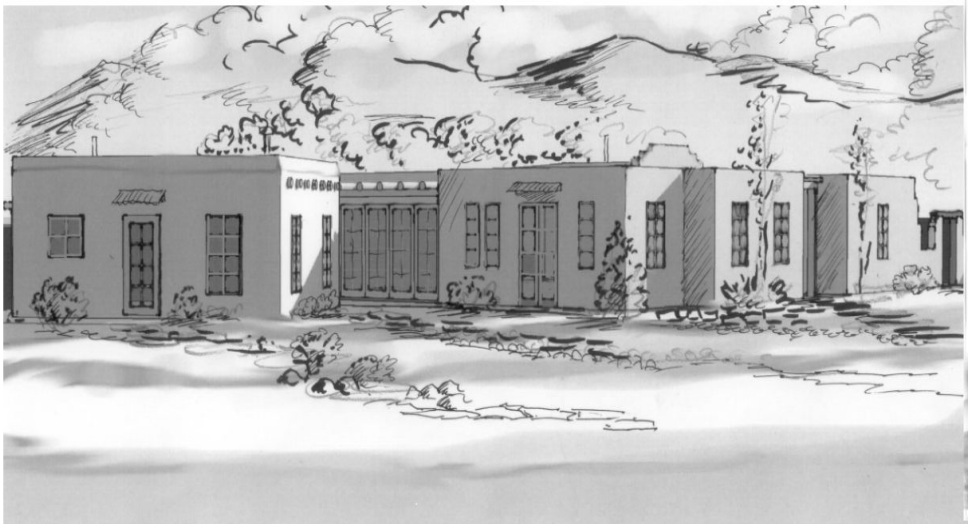
EXISTING NE 3/4 VIEW



EXISTING N FRONT VIEW



PROPOSED NE 3/4 VIEW



PROPOSED N FRONT VIEW



- A-1 BOUNDARY SURVEY
- A-2 SITE PLAN, EXISTING STRUCTURES, LANDSCAPE DRAINAGE
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- A-9 MAIN & CASITA RENDERINGS
- A-10 FRONT & REAR PORTALS

DRAWN BY  
MARKXART  
dirmadtoon@gmail.com

WALSKY REMODEL  
208A GONZALES ROAD  
SANTA FE, NEW MEXICO



**N. WALSKY 208 GONZALES, FRONT VIEW FROM DRIVEWAY (SW FACE)**



**N. WALSKY - 208 GONZALES - FRONT VIEW OF CASITA & NE PORTAL**



**N. WALSKY, 208 GONZALES, FACING SOUTH (N FACE OF MAIN HOUSE)**

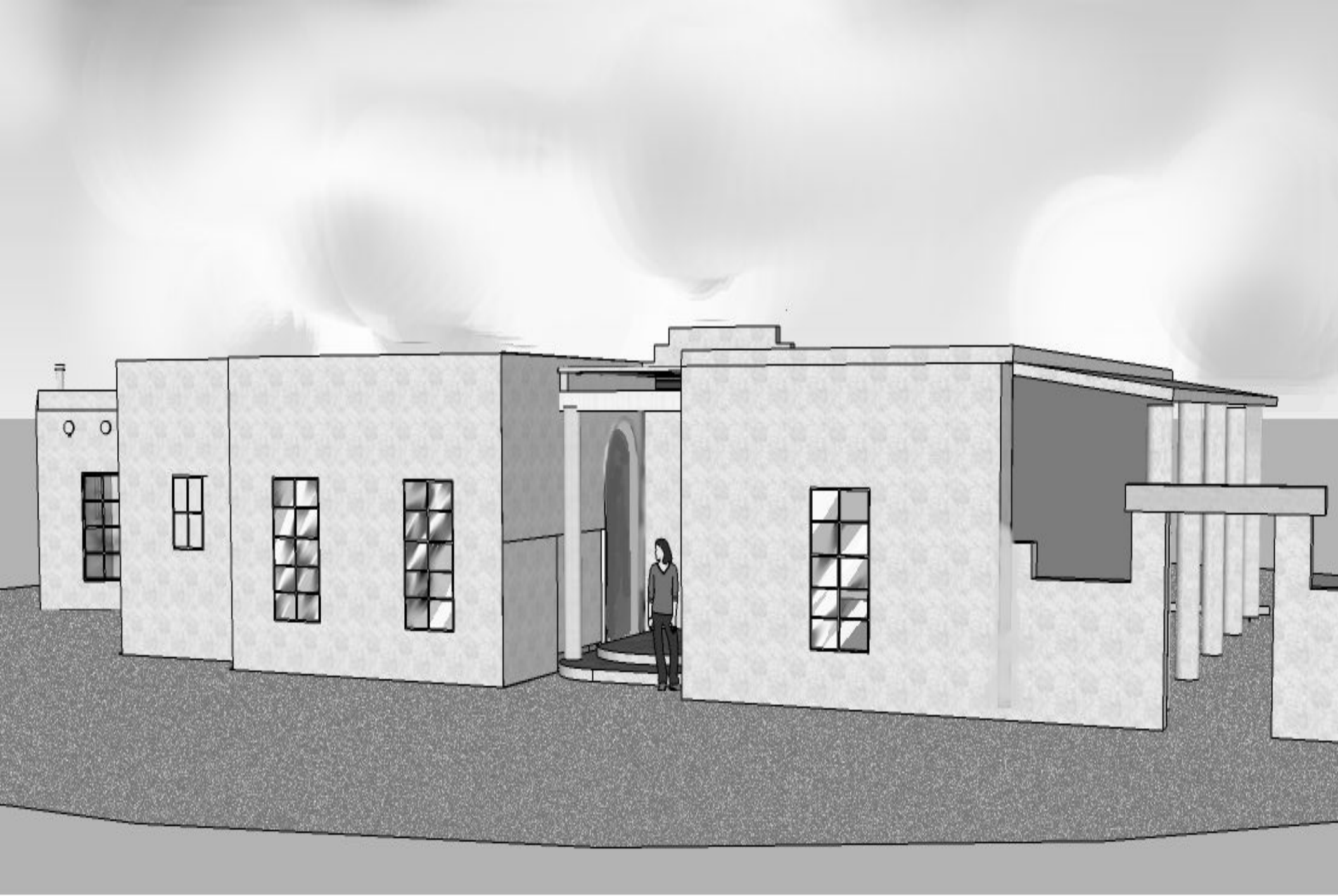


04/

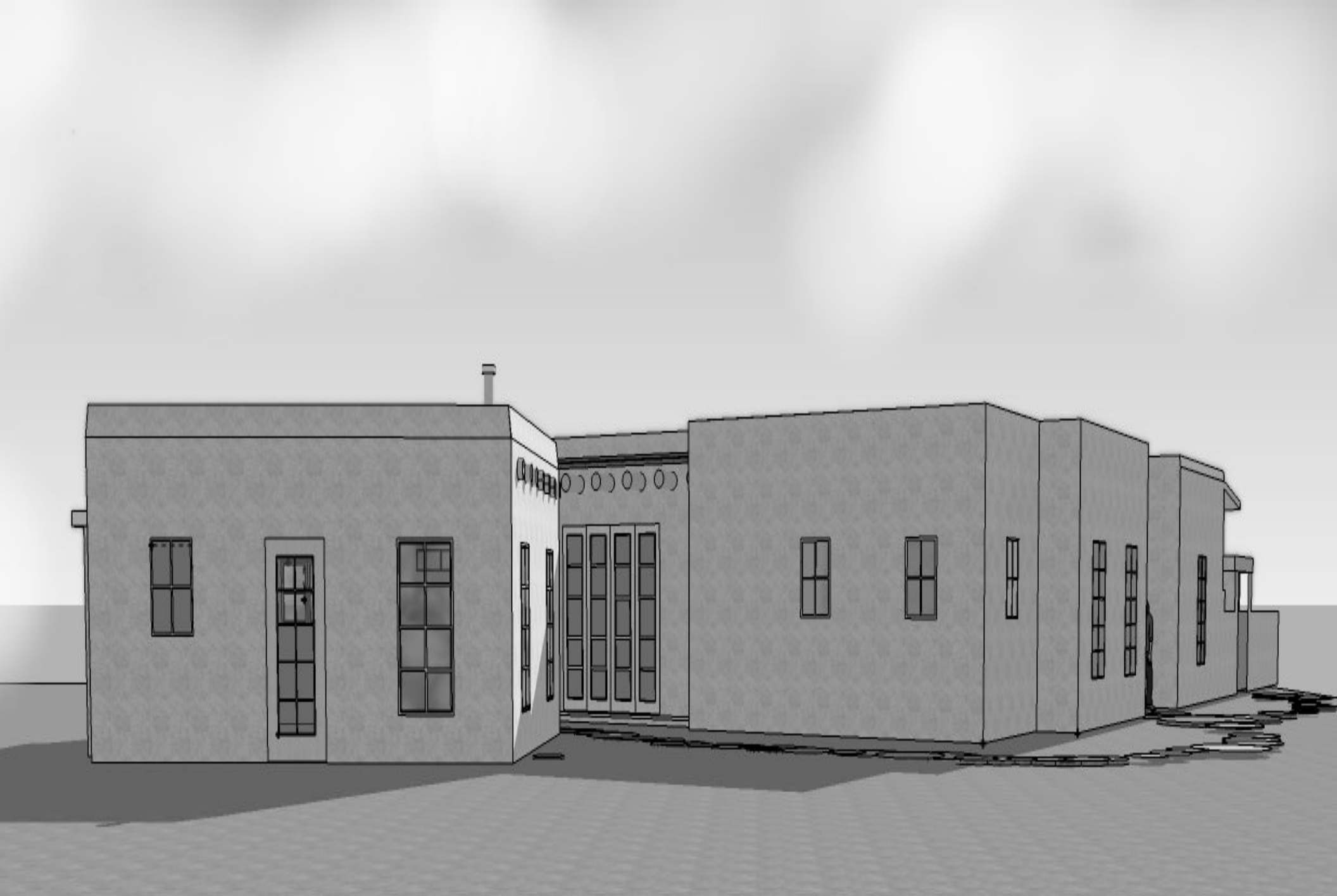
**N. WALSKY 208 GONZALES, WEST SIDE (LOOKING EAST)**



**N. WALSKY 208 GONZALES, SE PORTAL (SE FACE)**



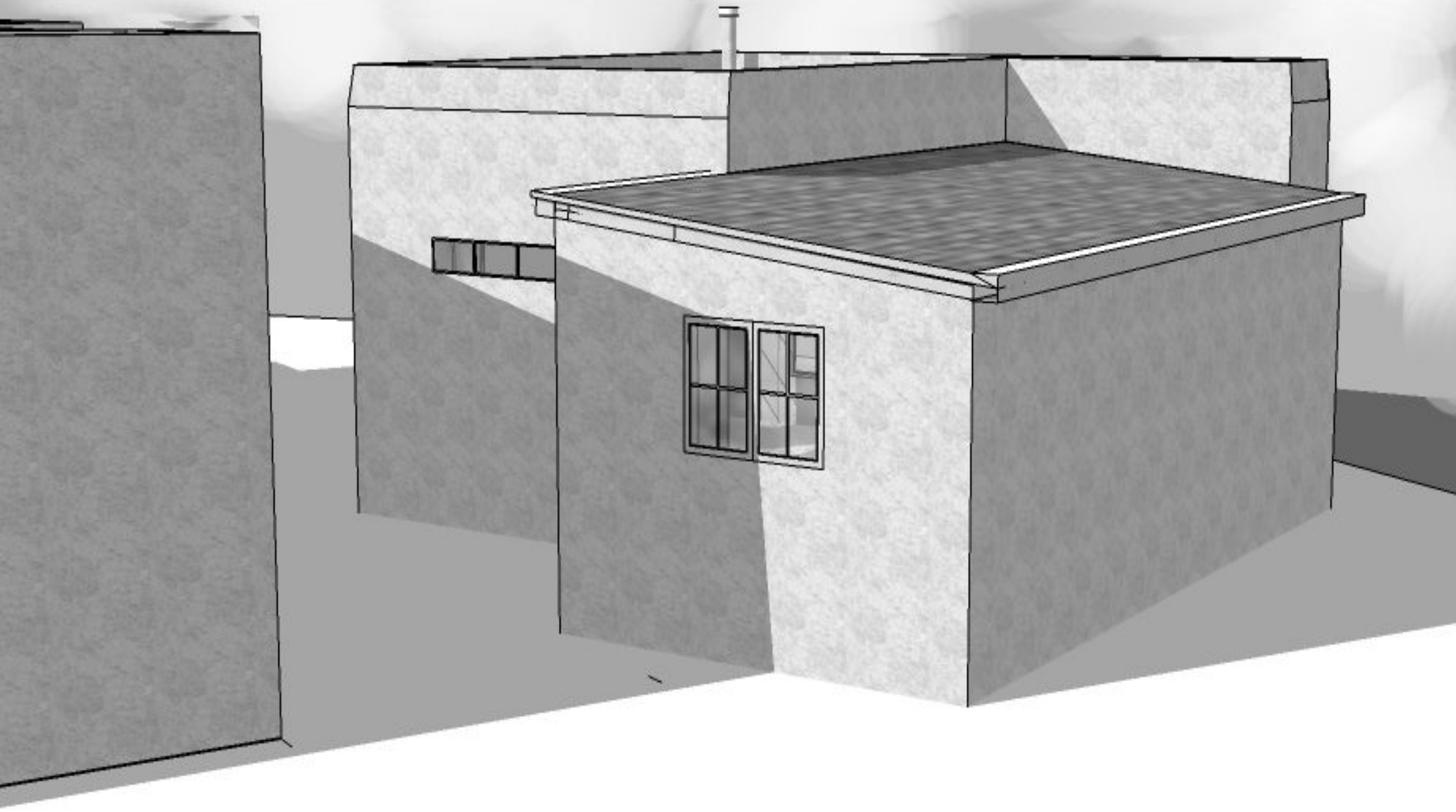
**N. WALSKY 208 GONZALES RD. SOUTH FACE (LOOKING NORTH)**



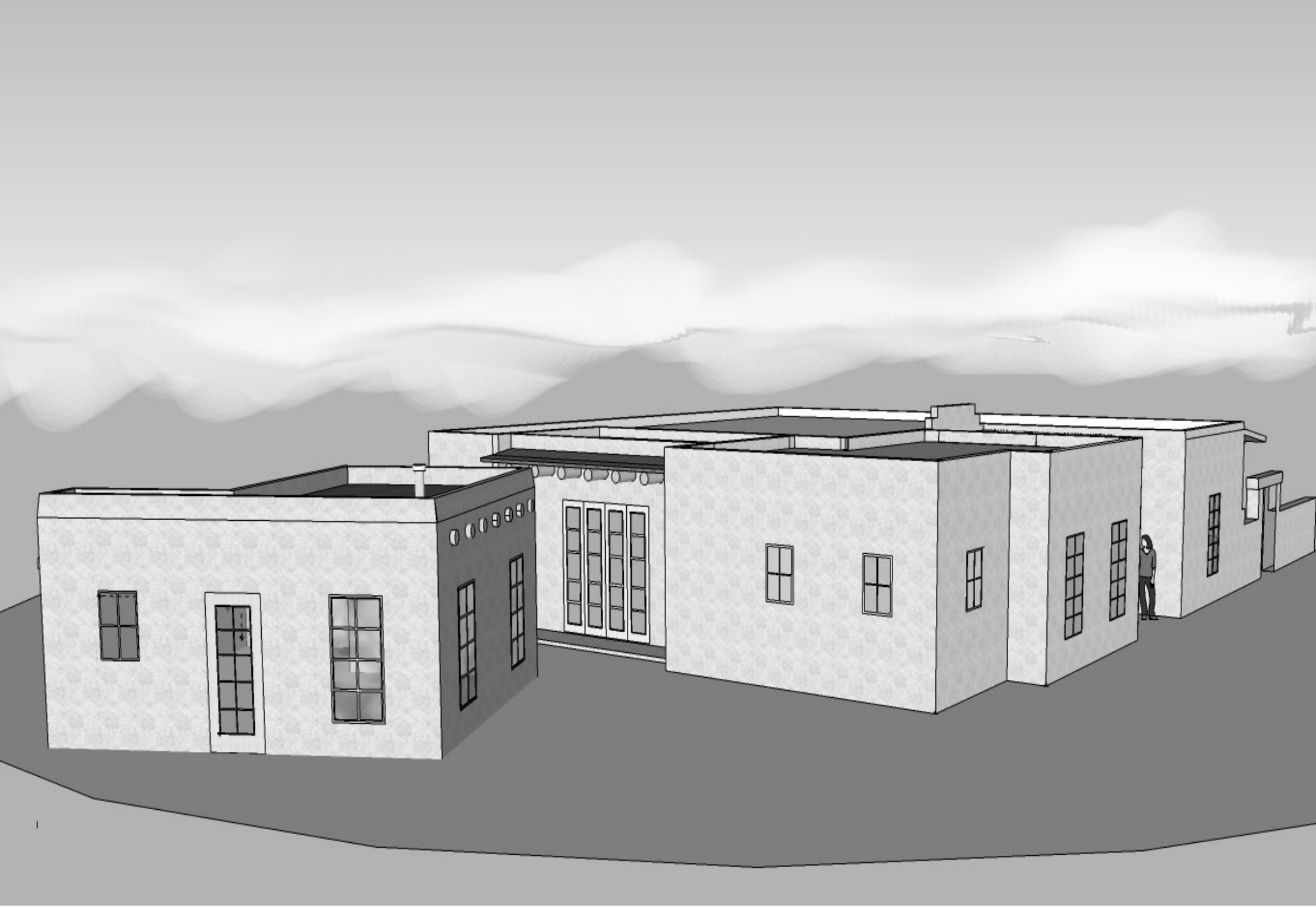
**N. WALSKY, 208 GONZALES, NW FACE (LOOKING SE)**



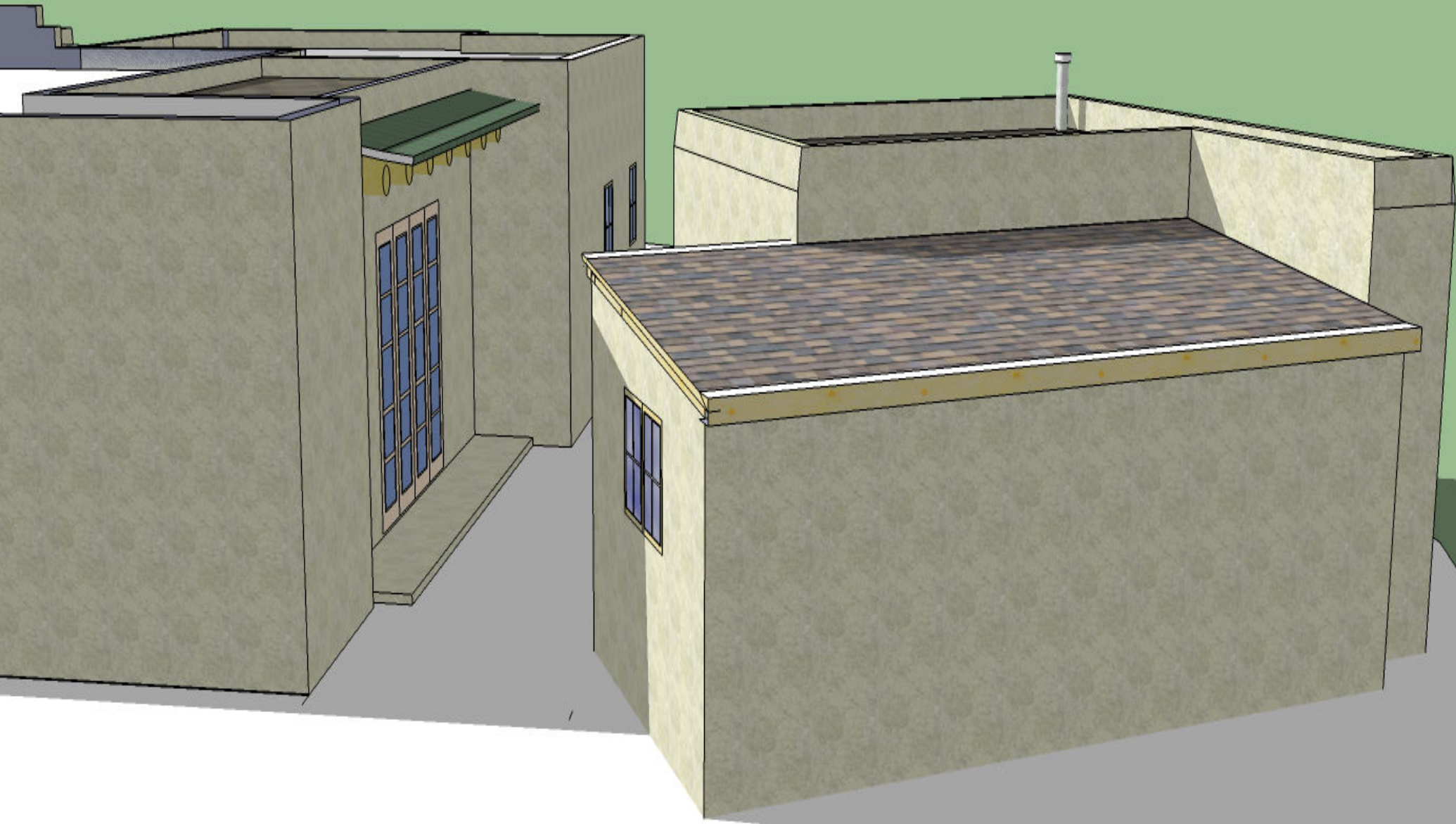
**N. WALSKY, 208 GONZALES RD. FACING STREET (LOOKING NE)**



**N. WALSKY, 208 GONZALES, CASITA EAST VIEW**



**N.WALSKY, 208 GONZALES, FACING NORTH (LOOKING SOUTH)**



**N. WALSKY, 208 GONZALES, SUN ROOM N SIDE (FACING SOUTH)**



**N. WALSKY, 208 GONZALES, REAR PORTAL**

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Ramon Sarason, Senior Planner, Historic Preservation Division

---

Case: #2023-006359-HDRB

Address: 1170 Camino Delora  
Historic Status: Noncontributing  
Historic District: Downtown and Eastside

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall  
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other:

### APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## STAFF RECOMMENDATION:

Staff recommends that the Status remain as noncontributing.

### **BACKGROUND & SUMMARY:**

The main house of 1170 Camino Delora appears to date to c. 1947. It is a stucco-clad, single-story residence exhibiting a mixture of Territorial and Spanish-Pueblo Revival elements. During the 1960's the house experienced a reorganization of its interior spaces, including converting the garage into a living room and the entry portal into a bedroom. These alterations, along with the removal of original windows resulted in its noncontributing status to the Downtown and Eastside Historic District. The main house on this site turns its back to the street with a long wall of minimal fenestration. Windows are generous at the back of the home, with a long portal framing views of Cerro Gordo and the Sangre de Cristo mountains. Composed of adobe, it encloses roughly 1,739 square feet. Also on the property are a small studio, guesthouse (casita), pool, and landscaping. Further information on history and building description is included in the attached HCPI.

### **RELEVANT CODE CITATIONS:**

14-12 Noncontributing Structure:


A structure , located in an H district, that is less than fifty years old or that does not exhibit su5 ,

Designation of Significant, Contributing, or Noncontributing Status within Historic Districts

An application for construction or demolition as set forth in Section 14-5.2

# Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*  
January 21, 2023

For HPD Office use only:		
HCPI No. _____	District No. _____	NRHP <input type="checkbox"/> SRCP <input type="checkbox"/> Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D
<b>1. Name of property:</b>  Helen Gentry and David Greenhood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference Number:</b> Santa Fe ID #: H-787  <b>4. County: Santa Fe</b> Parcel # 10993536
<b>5. Property Type:</b> <input checked="" type="checkbox"/> Buildings: 1 <input checked="" type="checkbox"/> Structures: carport and wall <input type="checkbox"/> Site <input type="checkbox"/> Object		
<b>6. Date of Survey:</b> December 14, 2022		
<b>7. Previous Survey Date(s):</b> <input checked="" type="checkbox"/> Yes: June 27, 1983 <input type="checkbox"/> No:		
<b>8. Name of Project:</b> HDRB Status Review		
<b>9. Lat/Long:</b>  35.6769081,-105.9164475		
<b>10. Photo Information:</b> Giulia Caporuscio, photographer. <span style="float: right;">Photo 1: South, front façade along Camino Delora. Camera facing east.</span>		
<b>11. Brief Description of the Property:</b>  Likely an amalgamation of several building campaigns with related alterations, the main house on this site turns its back to the street with a long wall of minimal fenestration (Photo 1). Its focus is private. Windows are generous at the back of the home, with a long portal framing a view of Cerro Gordo and the Sangre de Cristo mountains. Composed of adobe, it encloses roughly 1,739 square feet (SFe County Assessor). It presents an altered mixed Pueblo and Territorial appearance. Also on the property are a small studio, guesthouse (casita), pool, and landscaping. Per staff's direction, these are not part of the current form, which focuses on the main house.  <i>Continued on Page 5.</i>		
<b>12. Who uses the property?</b> Residence		
<b>13. Construction Date:</b> c.1944, with additions Date: <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated <b>Source:</b> Newspaper advertisement, city directories, and aerials		
<b>14. Setting:</b> <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban <b>If Urban:</b> <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
<b>15. Relationship to Surroundings:</b> <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor  
*parcel lines are not accurate*

17. Surveyor:  
 (your name, address, telephone number, and any group affiliation)

John W. Murphey  
 Architectural Historian  
 Architectural History Services  
 505-577-7593/707-583-7819  
[John@archhistoryservices.com](mailto:John@archhistoryservices.com)  
 w/ Giulia Caporuscio

For: Jefferey Seres, AIA

18. Owner (if known) and other knowledgeable people:

Current owner: Catclaw New Mexico LLC

19. Is Property Endangered?  Unknown  No  Yes How?

20. Significance to Current Community:  Unknown  None  Low  Moderate  High  
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)  
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register?  Unknown  No  Yes  
 If yes:  State  National  
 If 'no' or unknown, do you think this property is eligible for listing?  No  Yes  
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district?  Unknown  No  Yes  
 If yes:  Significant  Contributing  Non-contributing  No Status  
 Per City of Santa Fe official designation map  
 If 'yes', what is the name of the district?  State  National  City of Santa Fe:  
 Downtown and Eastside Historic District

24. Supplemental Forms:

None  HCPI Detail Form (FORM 2)  Continuation Sheets, # pages: \_\_\_\_\_

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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<b>ARCHITECTURAL AND CONSTRUCTION DETAILS:</b>																																																																															
<b>6. Visible Construction Material:</b>  <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block  <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated  <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar  <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular  <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten  <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle  <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:			<b>7. Number of Stories:</b> <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2    Other: _____  <b>8. Foundation:</b> <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes  <b>9. Roof:</b> <input type="checkbox"/> N/A  Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed    Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt: brai <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																																												
<b>10. Window Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Hung</td><td>Wood</td><td>1/1</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>1</td><td>2</td></tr> <tr><td>Casement</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Casement</td><td>Wood</td><td>3-3</td><td>3</td></tr> <tr><td>Combination</td><td>Wood</td><td>3-3-3</td><td>1</td></tr> <tr><td>Combination</td><td>Wood</td><td>3-6-3</td><td>1</td></tr> <tr><td>Hopper</td><td>Wood</td><td>3</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>1</td><td>1</td></tr> <tr><td>Fixed-ribbon</td><td>Wood</td><td>2</td><td>2</td></tr> <tr><td>Fixed-clerestory</td><td>Wood</td><td>2</td><td>2</td></tr> <tr><td>Fixed – mullioned</td><td>Wood</td><td>6 w/1 operable sash</td><td>1</td></tr> <tr><td>Fixed – mullioned</td><td>Wood</td><td>8</td><td>1</td></tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Wood	1/1	1	Casement	Wood	1	2	Casement	Wood	3	1	Casement	Wood	3-3	3	Combination	Wood	3-3-3	1	Combination	Wood	3-6-3	1	Hopper	Wood	3	1	Fixed	Wood	1	1	Fixed-ribbon	Wood	2	2	Fixed-clerestory	Wood	2	2	Fixed – mullioned	Wood	6 w/1 operable sash	1	Fixed – mullioned	Wood	8	1	<b>11. Door Types</b> <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>10-light</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>3/4-Glass</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>Latilla</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>"Territorial"</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>4-light</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	10-light	Wood	1	Single-Leaf	3/4-Glass	Wood	1	Single-Leaf	Latilla	Wood	1	Double	"Territorial"	Wood	1	Double	4-light	Wood	1
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<b>12. Chimneys</b> <input type="checkbox"/> two, short, stuccoed at parapet		<b>13. Porches</b> <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width: portal, north <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																																													
<b>14. Other Significant Features</b> N/A																																																																															

HCPI Detail Form (FORM 2)

(Continued from other side)

15. Modifications:  No known modifications

#1 Date: c.1965 onward; numerous additions and changes of fenestration; see Figure 3.

16. Primary Architectural Style  Not Applicable

- Art Deco/Streamline Moderne     Gothic Revival     Mission Revival     Pueblo     Spanish-Pueblo Revival
- Bungalow/Craftsman     International     Neo-Classical     Queen Anne     Territorial
- Colonial Revival     Italianate     Northern NM     Ranch     Territorial Revival
- Folk Victorian     Mediterranean     Prairie     Spanish-Colonial     Tudor Revival

Notes: Other: Vernacular

17. Documents Available and Their Locations

Historic Preservation Division  
 Land Use Department  
 City of Santa Fe  
 200 Lincoln Avenue  
 Santa Fe, NM 87504  
 (505) 955-6605  
<https://www.santafenm.gov/land-use/historic-preservation>

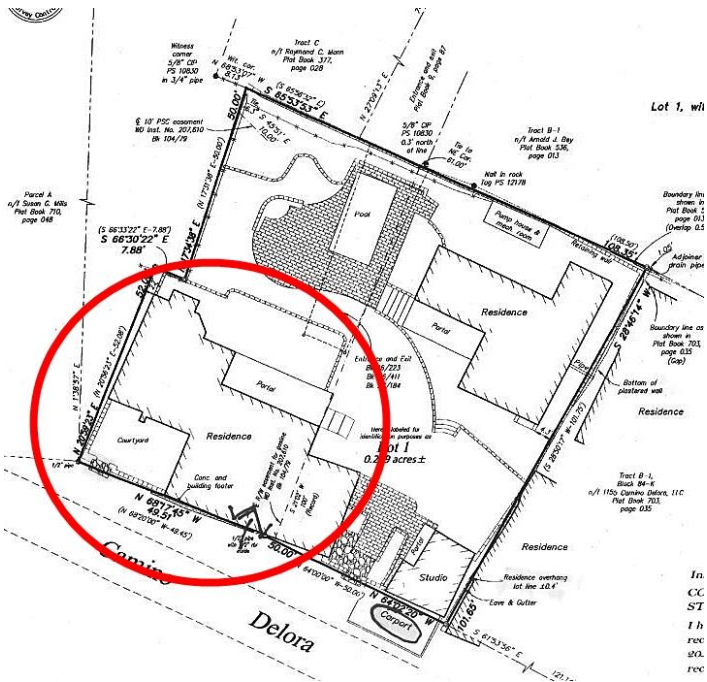
Archaeological Records Management Section  
 Laboratory of Anthropology  
 708 Camino Lejo  
 Santa Fe, NM 87501  
 (505) 476-1320  
<https://nmhistoricpreservation.org/arms.html>

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of June 10, 2019, survey plat. Courtesy Sierra Land Surveying Inc.



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## Architectural Description Continued

### South – Public Façade

The house sits on the north side of Camino Delora, directly abutting the street. Running for 100’ along its front elevation, the long wall terminates at the east with a carport (Photos 1-3). This walled area gives little sense of the home’s design and appears to have been cultivated to maximize privacy.

The property begins at the west with a privacy wall and wood entry gate leading to the courtyard (Photo 1). This wall, of unknown age, is roughly 65” high and 22” thick at its crown. Moving east, the house begins and steps up in height with a parapet (Photo 2). This section has only a few windows: a square opening at the bath and a small ribbon window at the media room. Following is another wood pedestrian gate and, finally, the attached carport (Photo 3). While a similar structure appears on a 1960 aerial (Figure 3), the current carport’s wood members appear newer.

### North

The north elevation, with its immediate views of the yard and the distant mountains, is the primary focus of the home’s design. This façade, however, has been altered at least three times. A roughly 32’-long *portal* dominates the elevation, framing views (Photo 4). The flagstone floored space has heavy viga construction and a replaced deck and roof (Photo 5). Curiously, its plate beam continues beyond the roof at the east end, with half of the corbel awkwardly jutting out. This would suggest the portal’s plate, posts, and corbels, are also altered. Near its original center is a wide ¾ glass door framed by three-light wood windows (Photo 6). A Territorial Revival header surmounts the opening. This type of molded pediment is found throughout the house, including over a door and window added in 2012.

According to a previous case report, a project in the 1980s enclosed the west end of the portal to create a caretaker’s apartment (Photo 7). This change is evident with a

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bulkhead holding a fixed window. According to the current owner, the enclosure extended the portal’s earlier length and changed its design.<sup>1</sup>

Beyond the enclosure begins a taller volume holding the guest bedroom. The odd juncture is increased by a new door and bump-out added in 2012 (Photo 8). Originally a window, the Board approved the change to a door under Case H-11-127. Set back from the portal’s east end stands a short section of wall holding a pair of casements and a single-hung window, both with Territorial headers.

**East**

Approached by the second gate, the east elevation at ground level includes an opening with two (one interior and one exterior) ten-light wood doors (Photo 9). To the east are paired casements, including a second opening installed in 2012. A viga-supported overhang shelters the space. A line of clerestories gives light to the master bath above. The east elevation terminates at the portal with a large mullioned window (Photo 10). After performing interior investigative demolition, the current owner (architect David Lake) believes this space may have been constructed in 1982 (Figure 1).<sup>2</sup> It is of different ceiling height than the main room, and has a squared beam as the caretaker’s enclosure.<sup>3</sup>

**West**

Like the public façade, the west elevation has only a few windows. These rectangular wood units are set deep in the wall, delivering light to the home’s entry and guest bedroom (Photo 11).

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<sup>1</sup> David Lake, email communication to John W. Murphey, January 16, 2023. The author of the HCPI cannot determine from aerial photographs the portal’s existence and/or design in the 1960s. However, the current configuration and materials suggest a recent alteration.

<sup>2</sup> David Lake, email communication to John W. Murphey, January 11, 2023.

<sup>3</sup> Ibid.

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## Courtyard

The first pedestrian gate leads down to a pleasant brick-lined courtyard, working as the formal entry to the home. The south wall contains a set of double oval glass doors, mimicking a Territorial-era design (Photo 12 A shallow overhang, with Pueblo Revival framing, shelters the entry. To the east is an assembly of fixed and wood casements attached to the living room. The east wall, representing the primary bedroom, has a long mullioned window (Photo 13). A shallow, stuccoed overhang sits at the top of the opening. The courtyard's doors and windows have molded pedimented crowns similar to other fenestration around the house.

## Changes to Main House

The evolution of the house is unclear, and finite aerial coverage limits a visual understanding of its evolved footprint (Figure 1).

A 1936 flyover, greatly magnified, shows what appears to be a primarily undeveloped lot with potentially two small buildings (Figure 2). It is unclear where the house advertised in 1944 stood. A clearer picture begins to develop with a 1960 photograph (Figure 3). By this time, the current guest bedroom, the master bedroom, and north portal are evident. So too, are the pool, casita, and studio, which are not subject to this review.

By 1966, the carport is definitively visible (Figure 4). This image is important for establishing an earlier length of the north portal, which was later altered.<sup>4</sup> The 1966 image affirms this change.

Other changes have been identified by the current owner, which point to several additions and a reorganization of interior spaces. These cannot be confirmed through archival documentation, but forensic investigations and visual evidence indicate this accretive modification. The current owner identified these over a 1966 aerial (Figure 1).

<sup>4</sup> Trey Jordan, Letter to City of Santa Fe Historic Preservation Division, October 11, 2011. Case H-11-127 file.

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Following a 2011 Board approval, additional fenestration was added and/or altered. These changes can be deciphered from the exterior by odd wall junctures, different parapet heights, dissimilar fenestration, and the relative age of wood members.

## Historical Overview

### Area Overview

The small parcel holding the house can be traced back to one of several large Spanish land grants bordering the original Santa Fe town grant. Believed to have been granted in 1731 to Manuel Trujillo, the Talaya Hill or La Talaya grant stretched along the south side of the Santa Fe River, from its border with the Santa Fe grant at the west, east into the foothills including its namesake, *Sierra Talaya* (Figures 5 & 6).

During the period of Spanish and Mexican land grant adjudication in the late 19th century, Jacob Gold, a Santa Fe merchant, and nearly 20 claimed descendants petitioned the U.S. government for title to the grant.<sup>5</sup> The supposed 1,003-acre boundary was resurveyed in 1898<sup>6</sup> and confirmed in 1900 by the Court of Private Land Claims at a much smaller size: 319 acres.<sup>7</sup> During this period, the privately owned Santa Fe Water and Light Company shaved off the top of Talaya Hill to create a reservoir. The remains of this reservoir sit under designer Tom Ford’s house.

Juliana (Julianita) Martinez de Lujan, and her husband, Apolonio Lujan,<sup>8</sup> were one of the Talaya Hill claimants, filling for land which included the subject property. Their claim to the land grant west of future Camino Cabra was rejected, but their title to the subject property was later affirmed (Figure 7). Apolonio, a farmer, died in 1924. Three years

<sup>5</sup> “The Land Court,” *Daily New Mexican*, March 2, 1893, 4.

<sup>6</sup> United States Department of Justice, *Annual Report of the Attorney General of the United States for the Year 1900* (Washington, D.C.: Government Printing Office, 1900), 62.

<sup>7</sup> “First Judicial Court,” *Albuquerque Daily Citizen*, January 21, 1902, 3.

<sup>8</sup> Thomas B. Catron Papers, UNM CSWR Catron Land Grant Cases, Talaya Hill Grant, Document 7, accessed December 30, 2022, <https://nmdc.unm.edu/digital/collection/catron/id/23025>. This is a digital copy of a document from the U.S. Court of Private Land Claims hearing.

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later, Juliana and her children deeded it to Jessie (Jesse) Sandoval, who in turn transferred it to David Sandoval, likely his son.<sup>9</sup>

### “View Property”

The first glimpse of the house under study arrived in 1944 with an advertisement promising a “VIEW PROPERTY” (Figure 8). Published in the *New Mexican*, the ad described a new or revamped one-bedroom view-oriented home. It included two fireplaces, a flagstone floored kitchen, and an interior “decorated by an artist.”<sup>10</sup> It is unclear from the wording whether it represented a new building or a renovated dwelling. A 1948 aerial provides little help in this matter, and the address doesn’t appear until the 1947 city directory (the 1945-46 editions are unavailable).

The view house was built when Camino Delora began to see growth. Before the 1940s, the street was lightly populated, with just a few homes near its base. By the mid-1950s, it had expanded with new houses, including that of artist and designer Alexander Girard, whose Camino Delora home would be featured in *Look* magazine in 1960.<sup>11</sup>

It is unclear who built and/or owned the subject home, but according to a city directory from 1947, one of its first tenants was Ann Breese.<sup>12</sup> Breese was the daughter of James L. Breese, the son of a Wall Street stockbroker. He arrived in Santa Fe by airplane and commenced to build a factory for his circular stove burners off Upper Canyon Road.<sup>13</sup>

Ann, who worked for the American Red Cross, appears to have turned the house over to her older sister, NC (this was her actual name). The older sister had married one of her father’s employees, engineer Kingsbury Pitcher. The couple lived in the view house for a few years, after which it was occupied by a short list of engineers, most likely associated

<sup>9</sup> Notes found on Walter G. Turley, “Amended Map Property of David Sandoval in Block 48 J, 1933 Official Map Ward Number One, Santa Fe, New Mexico,” Amended May 6, 1954.

<sup>10</sup> “House for Sale,” *Santa Fe New Mexican*, October 27, 1944, 7.

<sup>11</sup> “Alexander Girard and His Wonderful World of Light,” *Look* (August 2, 1960), 47.

<sup>12</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1947 (El Paso: Hudspeth Directory Company, 1947), 349. This is the first available city directory after 1944.

<sup>13</sup> John W. Murphey, “1469 Upper Canyon Road, James L. Breese, Jr. Residence,” New Mexico Cultural Properties Inventory Form (Original version, December 24, 2017), 6.

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with James Breese.<sup>14</sup> A 1954 plat amendment suggests the property was still under joint Breese ownership at the time.<sup>15</sup>

### The Book People

The next owners had been seasonal visitors to Santa Fe since the 1920s. Each was involved in the book business as an author, editor, publisher, or designer. The most noteworthy was the wife.

Born in Temecula, California, in 1897, Helen E. “Billy” Gentry grew up on a ranch and attended the University of California, Berkeley, graduating in 1922.<sup>16</sup> She later trained as a bookmaker at Grabhorn Press in San Francisco, one of the premier craft printing companies in the United States. Though she was skilled, the company would not allow her to do presswork, finding it unfitting for a woman.<sup>17</sup>

She went out on her own, establishing a press in 1929 and becoming “one of the first contemporary women printers to do all aspects of the work herself.”<sup>18</sup> In something of a manifesto, she explained the aims of her small press, attempting to balance the Arts and Crafts ideal while acknowledging the practicality of machinery: “Most of the work will be hand set and hand fed. But modern machine methods will be used when the nature and urgency of the work demands them. . . . Machines, certainly, should be used as tools, not as makeshifts.”<sup>19</sup> In this capacity, Gentry printed a small run of books on gardening, poetry, and the history of printing.<sup>20</sup>

She and her husband, New York-born writer Clarence David Greenwood, lived during this time in a large Dutch colonial in San Francisco’s Russian Hill neighborhood (Figure 9).

<sup>14</sup> Santa Fe City directory entries and newspaper articles.

<sup>15</sup> Turley, “Amended Map Property of David Sandoval.”

<sup>16</sup> Russell Freedman, *Holiday House, The First Fifty Years* (New York: Holiday House, 1985), 3

<sup>17</sup> University of California, Berkeley, Bancroft Library, “Finding Aid to the Helen Gentry and David Greenwood Papers, 1748-1988,” accessed December 31, 2022, <https://oac.cdlib.org/findaid/ark:/13030/hb0199p06k/>.

<sup>18</sup> *Ibid.*

<sup>19</sup> Quoted in Louise Farrow Barr, *Presses of Northern California and Their Books, 1900-1933* (Berkeley: The Book Arts Club, University of California, 1933), 3.

<sup>20</sup> *Ibid.*

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Born in Buffalo in 1895, David Greenwood (the name he used for writing) moved to California in 1912 to attend U.C. Berkeley. He and Helen married in 1923. The couple spent time in Santa Fe starting in the 1920s, when David visited Witter Bynner, a fellow poet. Greenwood had published poems in national magazines and is considered a member of the “Old Colony” of Santa Fe writers, which included Bynner, Oliver LaFarge, Peggy Pond Church, and others.<sup>21</sup> In the 1940s, he turned his attention to cartography, authoring several books on the topic, of which *Mapping* (1944) is still in print.

Helen’s brother, Bruce Gentry, was a book publisher who relocated to Santa Fe in 1935 to teach at the experimental Eidolon summer school and later work as a graphic designer for Walter Goodwin’s Rydal Press.<sup>22</sup> This seems to have increased the couple’s visitation to the mountain town.<sup>23</sup>

In 1935, at the height of the Great Depression, the couple relocated to New York City, where Helen worked as a book designer for Simon & Schuster and other publishers. The following year she co-founded Holiday House, a children’s book publisher. A history of the publisher affirms that its success was attributed to Gentry’s skill and “uncompromising attention to detail.”<sup>24</sup> Illustrated by Santa Fe artist Olive Rush, *A New Mexican Boy* (1940), is one of the many books Gentry designed for the publisher (Figure 10).

While working at Holiday House, Helen founded Gentry Press, becoming her own production publisher.<sup>25</sup> The combination designer-printer business was unusual for the time. On the payroll were husband David and brother Bruce.

During the war, Helen managed the production department of Simon & Schuster. In the 1940s, she redesigned *New Mexico Quarterly Review* magazine.<sup>26</sup> Her later work

<sup>21</sup> Philip Havey, “Poetry in New Mexico: A Southwest Renaissance?,” *Santa Fe New Mexican, Viva*, April 14, 1974, 4.

<sup>22</sup> “Gentry Memorial Service Monday,” *Santa Fe New Mexican*, May 15, 1980, 13.

<sup>23</sup> This is based on newspaper notices of their appearances in Santa Fe in the 1930s.

<sup>24</sup> Freedman, *Holiday House*, 9.

<sup>25</sup> “Gentry Production Services Offered to Book Publishers,” *Book & Binding Production* (Vol. 29, Iss. 3, March 1939), 53.

<sup>26</sup> “Editor’s Corner,” *New Mexico Quarterly Review*, (Vol. 19, Iss. 1, Spring 1949), 139.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria    A   B   C   D	
<b>1. Name of property:</b>  Helen Gentry and David Greenwood Residence Main House	<b>2. Location:</b>  1170 Camino Delora Downtown and Eastside Historic Santa Fe	<b>3. Local Reference #</b> Santa Fe ID #: H-787			
		<b>4. County: Santa Fe</b>			
		<b>5. Date of Survey: December 14, 2022</b>			

included creating the famed Laura Ingalls Wilder “Little House” series for Harpers & Brothers.<sup>27</sup> During this period, David worked as an editor for Holiday House, William Morrow, and other New York publishers.

The couple appears to have purchased the Camino Delora house in the late 1950s, with Greenwood shown as its owner in the 1957 city directory.<sup>28</sup> In the late 1950s, Greenwood penned several book reviews for J.B. Jackson’s *Landscape* magazine. They moved to Santa Fe permanently in 1963. In Santa Fe, Helen worked as a freelance book designer, and David worked as a writer. Helen did design work for books published by the University of New Mexico Press.

Clarence David Greenwood died in Santa Fe in 1983 at age 87. Helen E. Gentry died five years later. She was 90. Since then, other people have occupied the Camino Delora home as tenants. The property passed out of family ownership in 2010.<sup>29</sup>

## Evaluation of Historical Status

In 2011, under Case H-11-127, the Board affirmed that the main house was Noncontributing and approved an addition (not constructed) and various fenestration changes. The resulting fenestration alterations and a utility room have affected two of the home’s main elevations. The north portal, discussed above, has also been altered.

The house holds historical interest as the home of Helen Gentry and David Greenwood. However, as seasonal visitors, the couple only occupied the home full-time starting in the mid-1960s, in a period of semi-retirement. Other properties in San Francisco and New York better represent their most productive years. In addition, recent changes to the Santa Fe home have detracted from its appearance during their ownership.

<sup>27</sup> Bancroft Library, “Finding Aid to the Helen Gentry and David Greenwood Papers.”

<sup>28</sup> Hudspeth Directory Company, *Hudspeth Directory Company*, Santa Fe City Directory, 1957 (El Paso: Hudspeth Directory Company, 1957), 442. Another source indicates they moved to Santa Fe in 1954, potentially corresponding with the 1954 plat amendment.

<sup>29</sup> Jordan, Letter to City of Santa Fe Historic Preservation Division.

## Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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		<b>4. County:</b> Santa Fe
		<b>5. Date of Survey:</b> December 14, 2022

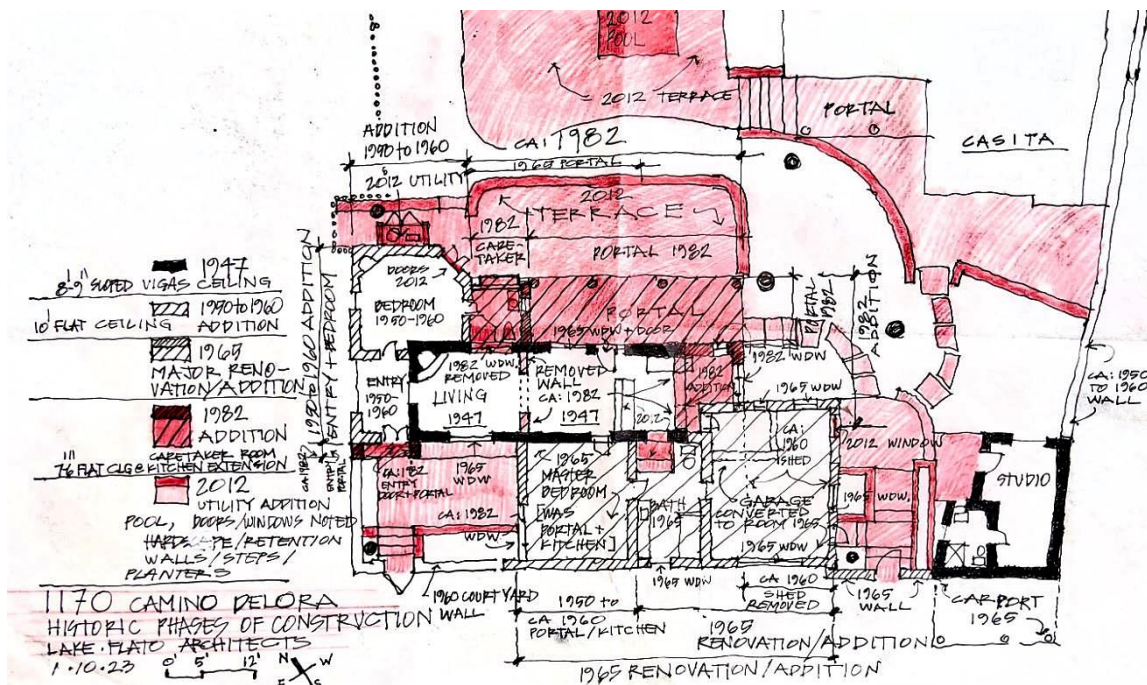
For these reasons, the recommendation is to maintain Noncontributing status for the main house.

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

## Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP	SRCP	Criteria	A B C D
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		<b>4. County:</b> Santa Fe			
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### Illustrations



**Figure 1: Interpretation of building evolution based on investigative demolition and visual and material evidence. Lake | Flato Architects, January 10, 2023.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u>  </u> A <u>  </u> B <u>  </u> C <u>  </u> D	
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**Figure 2: c.1936 aerial photograph showing general location of future residence.  
Source: Santa Fe County, #1009, Soil Conservation Service.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 3: September 25, 1960, aerial photograph.**

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*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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	<b>5. Date of Survey:</b> December 14, 2022

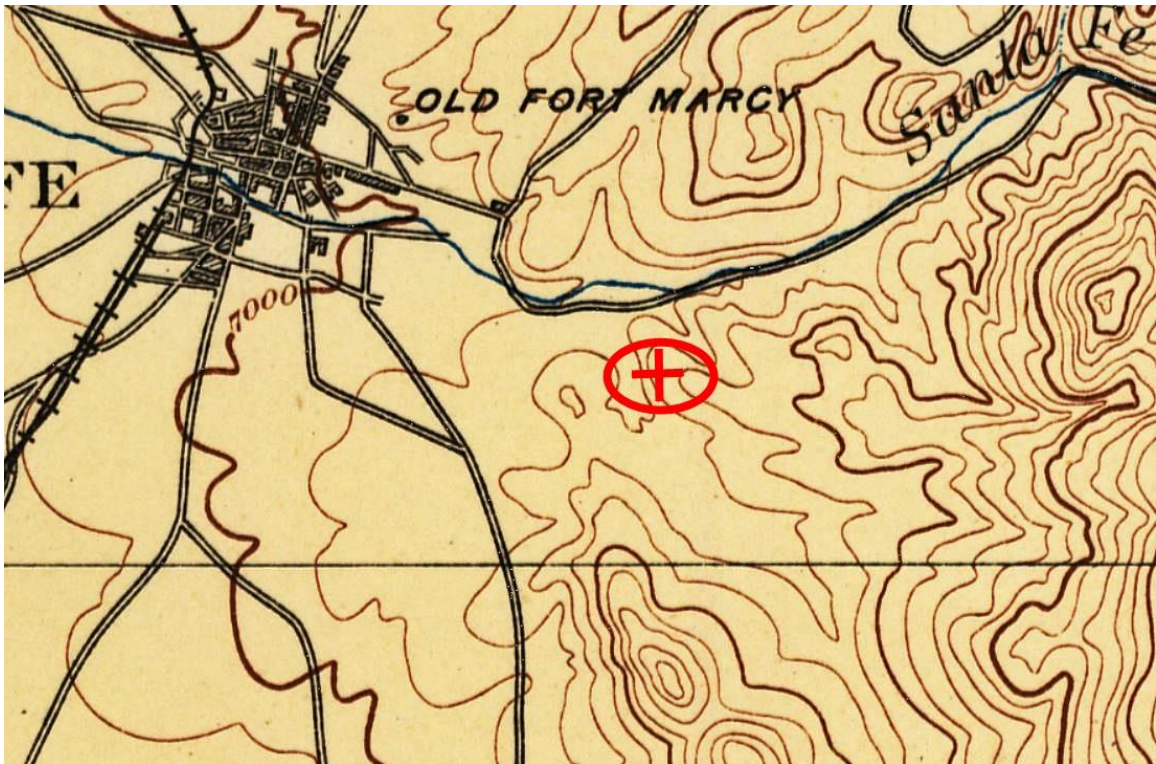


**Figure 4: May 2, 1966, aerial photograph, Image 17.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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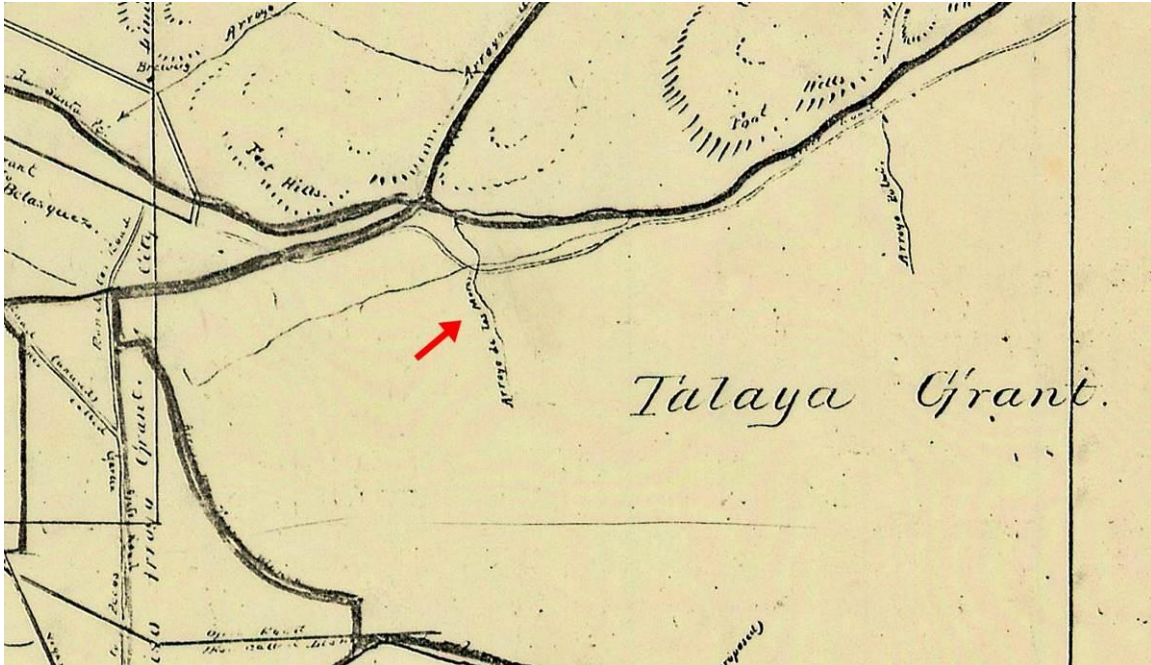


**Figure 5: 1889, U.S.G.S. quadrangle, "Santa Fe, N. Mex.," showing approximate location of future house.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 6: Portion of 1891, William White, "Sketch Map of Grants Within Santa Fe Grant," showing the Talaya Grant and the general location of the future residence. The area west of the depicted arroyo (roughly today's Camino Cabra) was rejected by the U.S. Private Court of Private Land Claims.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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**Figure 7: Portion of 1897-98 William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits," showing land owned by Apolonio Lujan, which likely corresponds with the subject property.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

*Historic Preservation Division, New Mexico Department of Cultural Affairs*

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Figure 8: Advertisement, "Santa Fe New Mexican, October 27, 1944, 7.

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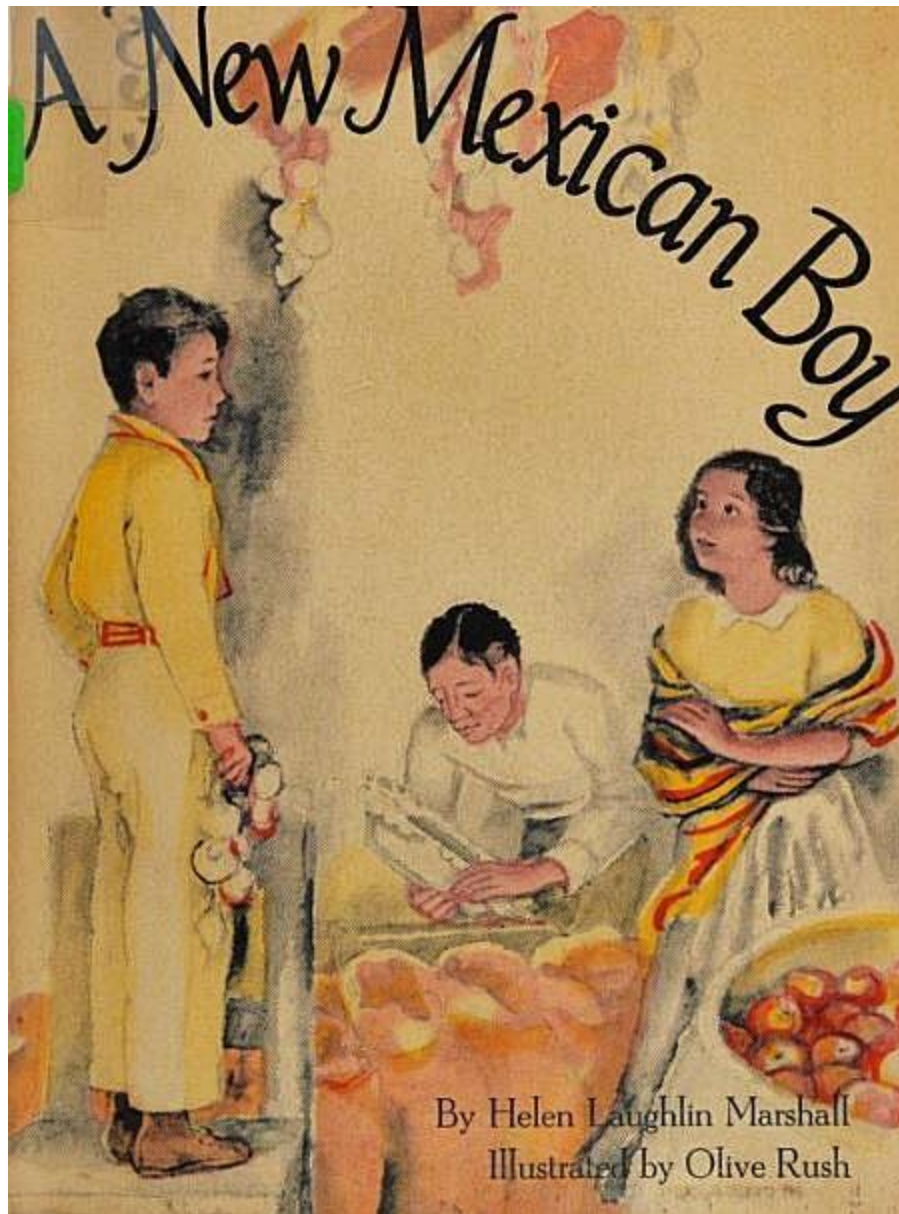


**Figure 9: 1138 Filbert Street, San Francisco. House occupied by Helen Gentry and David Greenhood before leaving for New York City in 1935.  
John W. Murphey, December 20, 2022.**

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**Figure 10: Cover of *A New Mexican Boy* (1940), a book designed by Helen Gentry and illustrated by Oliver Rush.**

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## Survey Photographs

(All images taken by Giulia Caporuscio, December 14, 2022, unless otherwise noted)



**Photo 2: South (front) façade along Camino Delora. Camera facing northwest.**

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**Photo 3: South (front) façade along Camino Delora, and carport.  
Camera facing northeast.**

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**Photo 4: North (rear) elevation. Camera facing northwest.**

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**Photo 5: Detail of portal. Camera facing west.**

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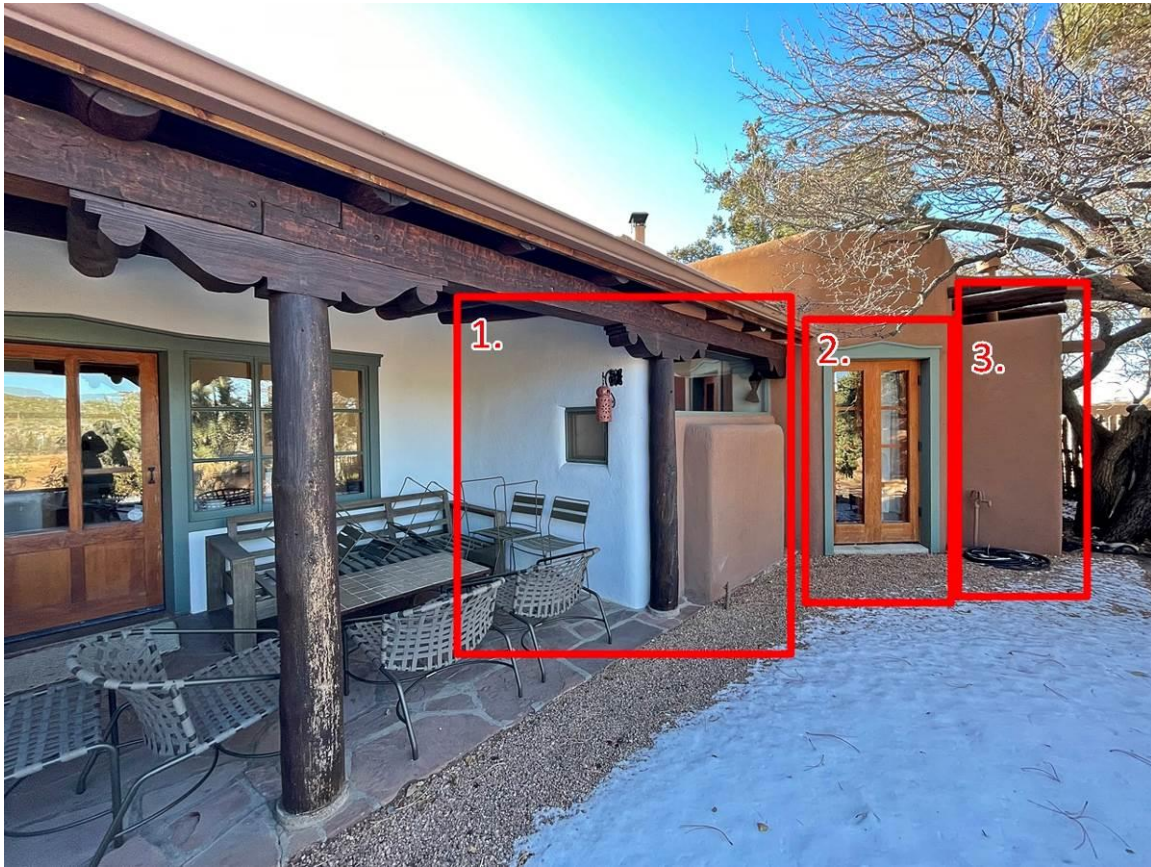


**Photo 6: Detail of portal. Camera facing south.**

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**Photo 7: Alterations to north elevation. Camera facing northwest.**  
**1. c.1982 enclosure to create caretaker's room; 2. 2012 change of window to door;**  
**3. 2012 utility room addition.**

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**Photo 8: West end of north elevation. Camera facing southeast.**  
**1. c.1982 enclosure to create caretaker's room; 2. 2012 change of window to door;**  
**3. 2012 utility room addition.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 9: Partial east elevation. Camera facing west.  
1. Window introduced in 2012.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 10: East elevation at portal. Camera facing west.  
1. c.1982 addition.**

# Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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**Photo 11: West elevation. Camera facing east.**

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**Photo 12: East elevation of courtyard. Camera facing northeast.**

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**Photo 13: East and south elevations of courtyard. Camera facing northeast.**

January 23, 2023

Members of the Historic Districts Review Board  
City of Santa Fe  
200 Lincoln Ave  
Santa Fe, NM 87501

**RE: 1170 Cam Delora - HCPI**

Dear Board Members,

On behalf of property owners, David and Ellen Lake, we are pleased to submit the attached HCPI prepared by John Murphey, dated January 21, 2023.

We agree with the findings and recommendation and request that the primary residence at 1170 Cam Delora remain Non-Contributing.

Thank you for your consideration of this application.

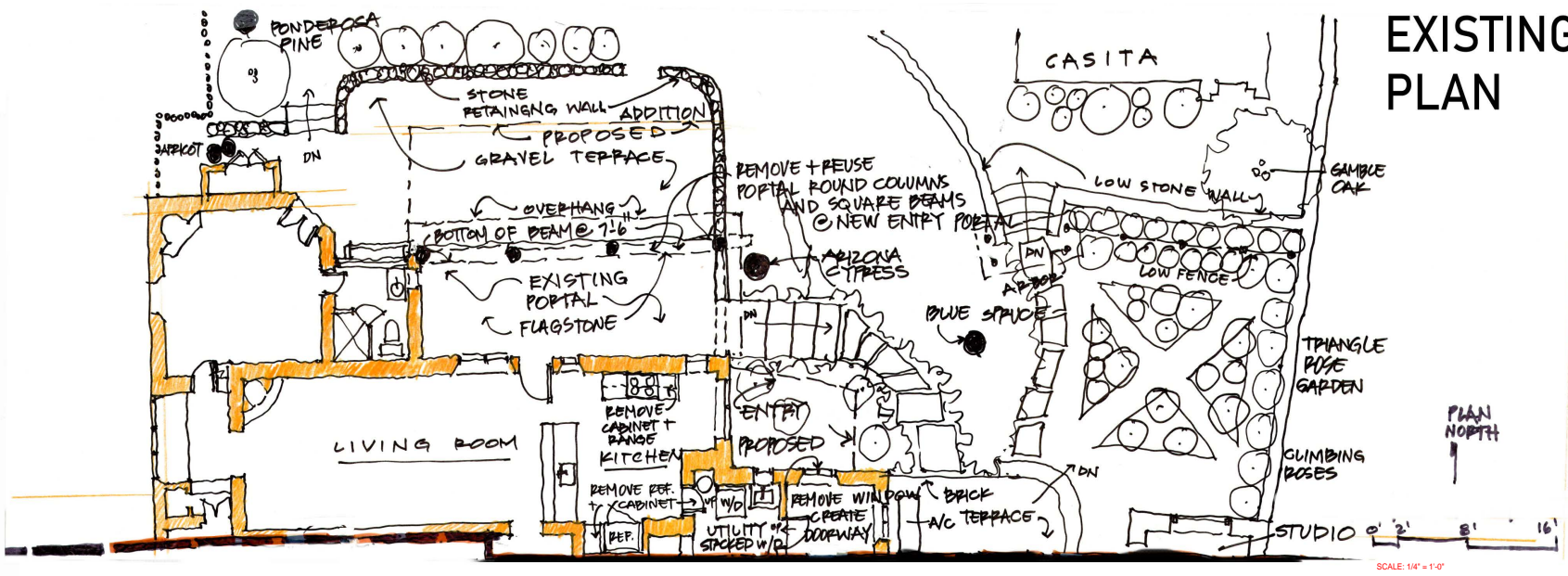
Sincerely,

A handwritten signature in black ink, appearing to read 'J. Seres', with a long horizontal flourish extending to the right.

Jeffrey J. Seres, A.I.A  
Seres Architecture-Santa Fe

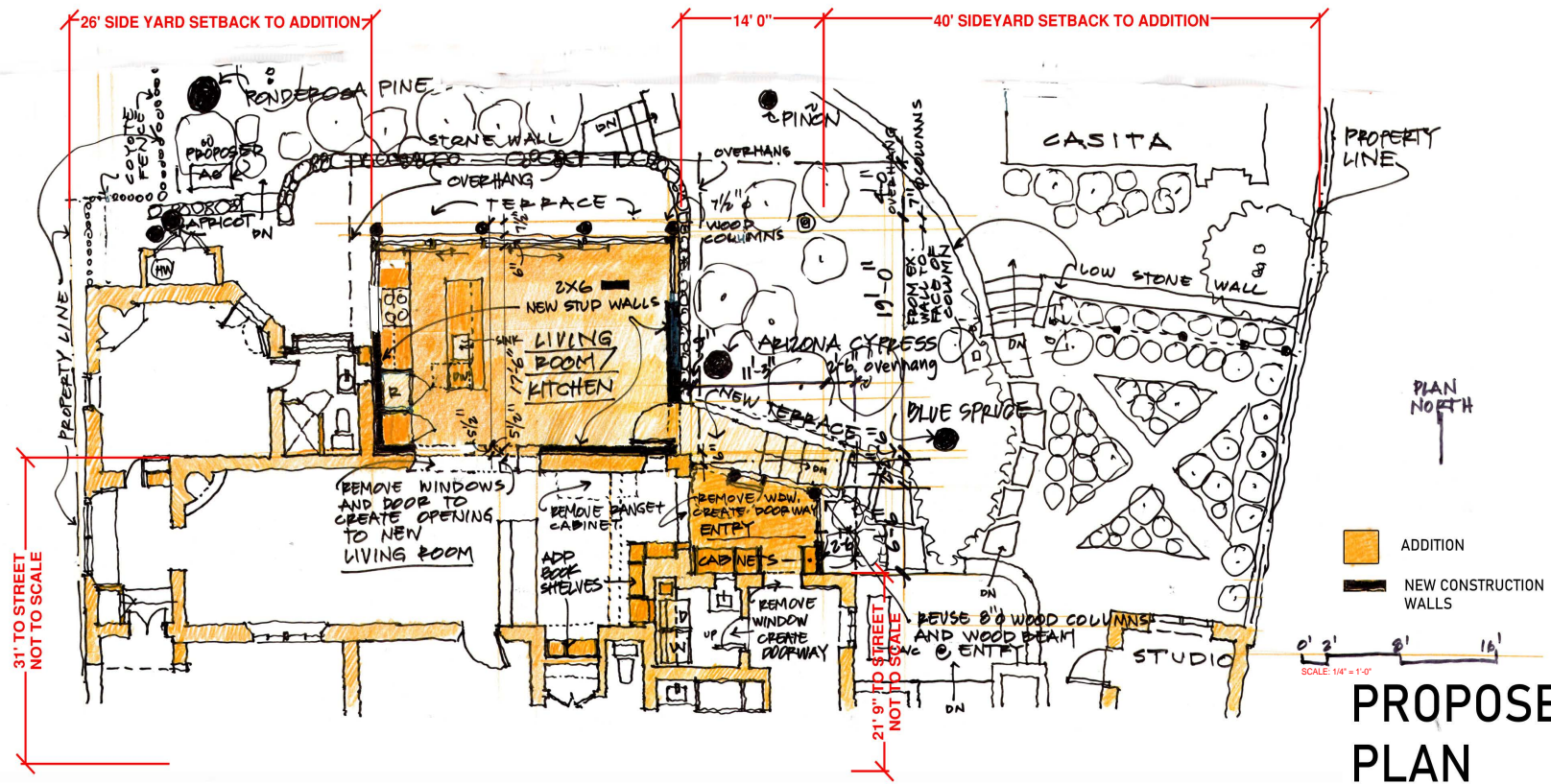


# EXISTING PLAN



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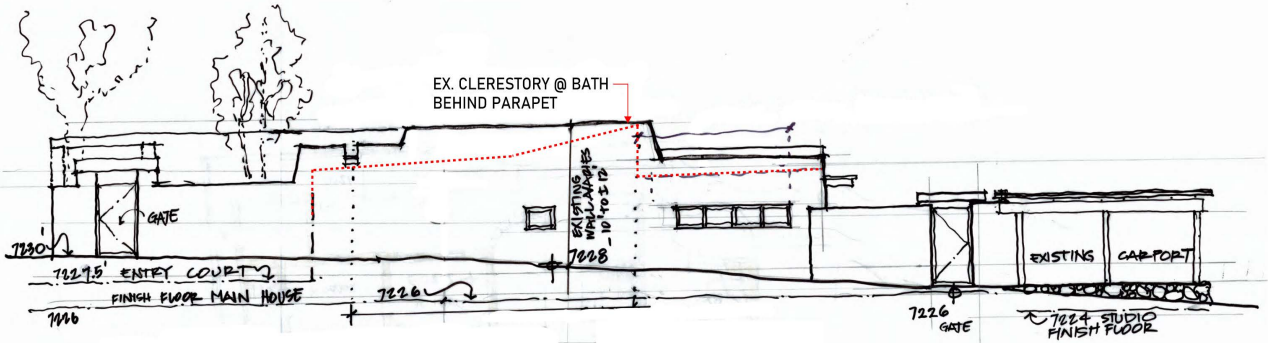
# PROPOSED PLAN



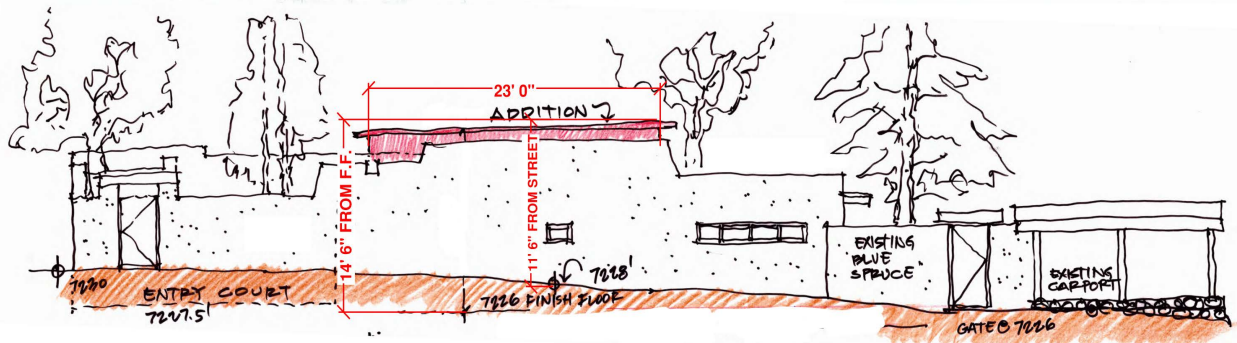
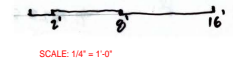
SCALE: 1/4" = 1'-0"

- ADDITION
- NEW CONSTRUCTION WALLS

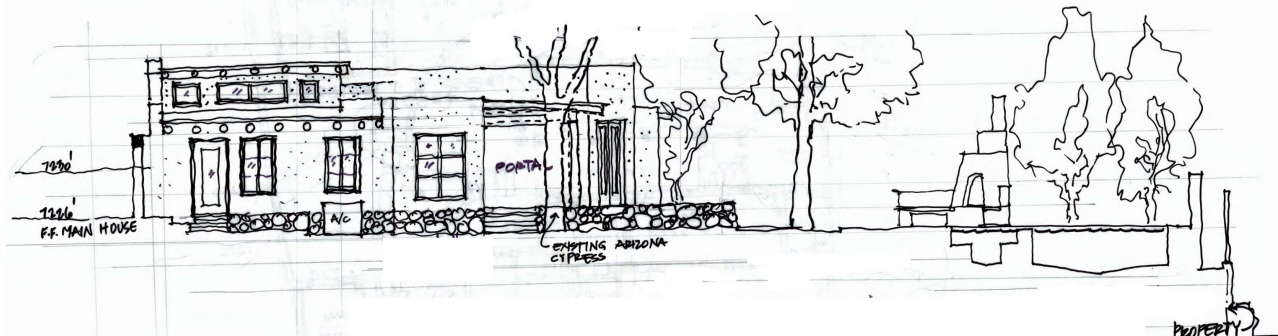
REVISIONS		
NO.	DATE	DESCRIPTION
01	17	23



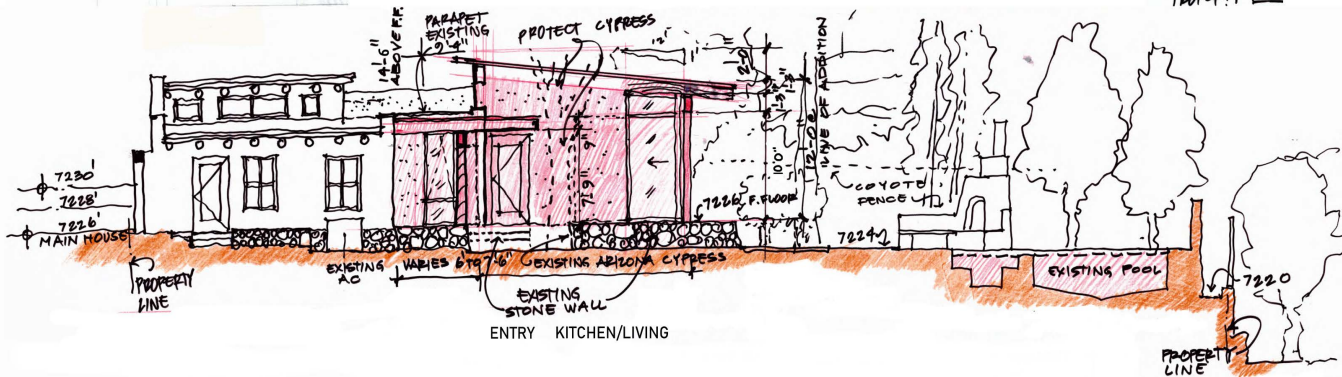
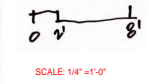
**SOUTH ELEVATION  
EXISTING**



**SOUTH ELEVATION  
PROPOSED**



**EAST ELEVATION  
EXISTING**



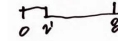
**EAST ELEVATION  
PROPOSED**

REVISIONS

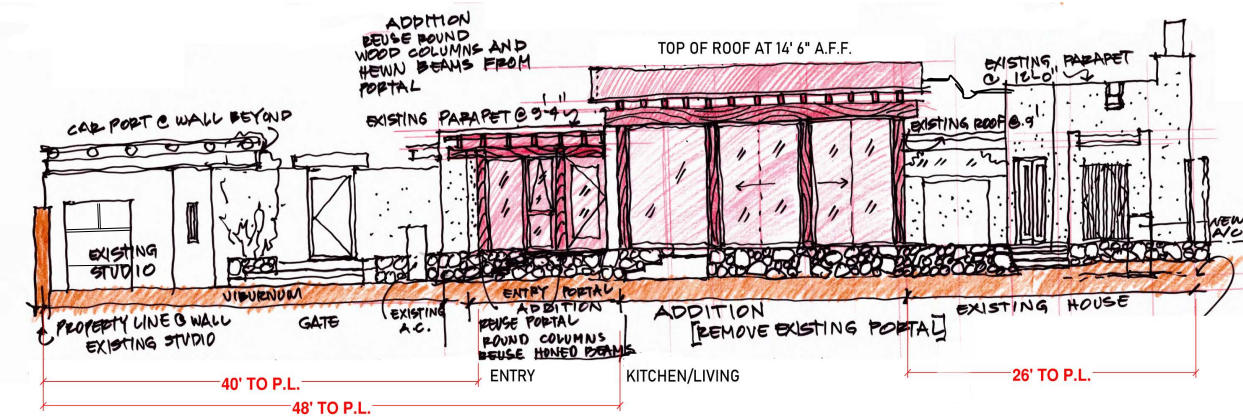
NO.	DATE	DESCRIPTION
01	17.23	



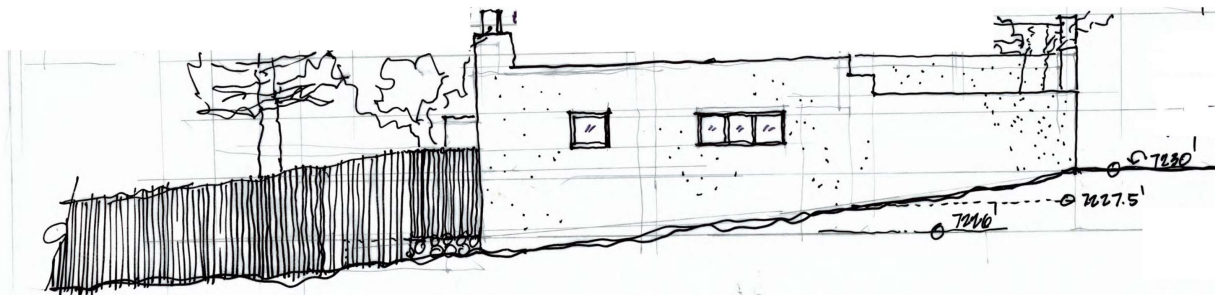
**NORTH ELEVATION  
EXISTING**



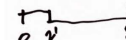
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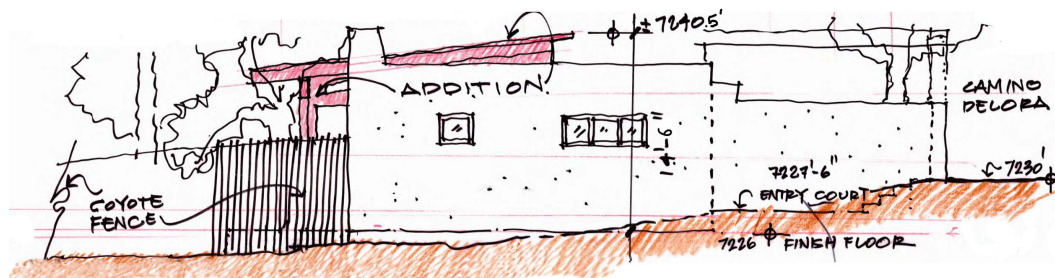
**NORTH ELEVATION  
PROPOSED**



**WEST ELEVATION  
EXISTING**



SCALE: 1/4" = 1'-0"



**WEST ELEVATION  
PROPOSED**



1170



















# City of Santa Fe

Land Use Department | Historic Preservation Division

**Plan Number:** 2023-006360--HDRB

**Project Description:** Remodel, add patio and shade structure; yard wall alterations  
**Historic Status:** Non-Contributing.  
**Historic District:** Historic Transition District

**Project Location(s):** 502 Cerrillos Rd  
Santa Fe, NM 87501

**Contacts:**

Applicant: Kevin Skelly

Property Owner: Debra S. Olinger

[olinger@newmexico.com](mailto:olinger@newmexico.com)

**Historic District:** HD: Historic Transition District

**Historic Building Status:**

Non-Statused: False    Non-Contributing: TRUE    Contributing: False    Significant/Landmark: False

**Primary Elevations:**

**Publicly Visible Facade-East:** Yes

**Publicly Visible Facade-North:** Yes

**Publicly Visible Facade-South:** Yes

**Publicly Visible Facade-West:** Yes

**Historic District Inventory:** H1301

**Year of Construction:** 1970s

**Project Type:** Remodel

**Historic Building Name:** Shifani Bros. Printing Co.

# City of Santa Fe, New Mexico

# memo

DATE: February 28, 2023  
TO: Historic Districts Review Board Members  
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

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Case # 2023-006360-HDRB

Address: 502 Cerrillos Road  
Historic Status: Non-Contributing  
Historic District: Historic Transition

## REFERENCE ATTACHMENTS (Sequentially):

### CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form H-13010
- Zoning Review Sheet
- Other:

### APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

## STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts.

## **BACKGROUND & SUMMARY:**

502 Cerrillos Road is a 3,356 square foot non-contributing commercial building that sits on a triangle wedged lot at the southwest corner of Cerrillos Road and West Manhattan Street in the Historic Transition District. Per the 1997 historic building survey, it was built in 1973 and housed the Schifani Brothers Printing Company, and most recently, an audio-video store, "A Sound Look." It is a concrete block stuccoed building with flat roofed masses of varying heights, ranging from 10' to 14' – 9" at the northwest corner, battered parapets, wood and metal canales, and metal downspouts. Windows are a mix of 6-over-6 wood double hung units with metal storm windows and steel casements on the facades of the west end of the north wall. Its street-facing front elevation (east) features 12-lite fixed recessed windows with wood lintels.

The applicant proposes the following exterior alterations:

### **Building**

1. Shift the main entrance from the existing portal entry on the north end of the east street-facing elevation to the south. The current 10' tall wall will be increased to 14' – 3" for the main entrance and signage. The southern end parapet will be raised from 12' – 5" to 13' – 2." The north elevation parapet will be raised from 11' – 8" to 12' – 10.' The maximum allowable height for this building in this streetscape is 14' – 3."
2. Enclose the 84 square foot entry portal on the east elevation.
3. Existing dark metal clad divided lite windows will be replaced with dark bronze anodized finished aluminum frame windows.
4. New commercial grade metal doors will replace existing at the north elevation loading dock.
5. Re-roof with bitumen torch down or equal and insulate.

### **Patio and Yard Walls**

6. Create a 362 Square foot patio on the north side of the building between the building and the existing yard wall along West Manhattan Avenue. Add a shade structure over the patio, consisting of supporting steel columns and steel beam with a peeled wood-latilla covering.
7. Raise the existing front (east) elevation stucco yard wall from 2' – 8" to 4' – 3" and add about 3" to the west end yard wall existing height at 4' – 3." Both proposed heights are within the maximum allowable height for this streetscape.
8. Add a wood and steel gate to the east yard wall.
9. Stucco will be El Rey's "Buckskin."

### **Signage**

A separate application for the building's new business signage has been submitted to the Land Use Department.

## **RELEVANT CODE CITATIONS:**

14-5.2(A)(1) General Purpose

14-5.2(A)(1) Historic Transition District Standards



# Preliminary Zoning Review Worksheet

## City of Santa Fe Land Use Department

<p><b>To Be Completed By Applicant:</b></p> <p><b>Date Submitted:</b> <u>1/27/23</u></p> <p><b>Property Owner of Record:</b> <u>Debra Olinger Rev. Trust</u></p> <p><b>Applicant/Agent Name:</b> <u>Kevin Skelly</u></p> <p><b>Contact Person Phone Number:</b> <u>(505) 577 - 7909</u></p>	<p><b>Site Address:</b> <u>502 Cerrillos Rd , Santa Fe, NM 87501</u></p> <p><b>Proposed Construction Description:</b> <u>New Entry, Replace windows and one door, enclose portal.</u></p> <p><b>TOTAL ROOF AREA:</b> <u>3,440 sq ft</u></p>
<p><b>Zoning District:</b> <u>Historic - Transitional</u></p> <p><b>Overlay:</b> <input type="checkbox"/> Escarpment _____  <input type="checkbox"/> Flood Zone*  <input type="checkbox"/> Other: _____</p> <p><b>Submittals Reviewed with PZR:</b>  <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p><b>Supplemental Zoning Submittals Required for Building Permit:</b>  <input type="checkbox"/> Zero Lot Line Affidavit</p> <p><b>Access and Visibility:</b> <input type="checkbox"/> Arterial or Collector**  <input type="checkbox"/> Visibility Triangle Required</p> <p><b>Use of Structure:</b> <input type="checkbox"/> Residential  <input checked="" type="checkbox"/> Commercial Type of Use: <u>Distillery / Restaurant</u></p> <p><b>Terrain:</b> <input type="checkbox"/> 30% slopes <u>N/A</u></p>	<p><b>Lot Coverage:</b> <u>37.5</u> %  <input type="checkbox"/> Open Space Required: _____</p> <p><b>Setbacks:</b>  Proposed Front: <u>37'</u> Minimum: <u>16'</u>  2<sup>nd</sup> Front? _____  Proposed Rear: <u>15'</u> Minimum: <u>10' 2"</u>  Proposed Sides: L <u>12"</u> R <u>14' 4"</u> Minimum: <u>8'</u></p> <p><b>Height:</b> Proposed _____  Maximum Height: _____ or  <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance  <input type="checkbox"/> Regulated by Escarpment District</p> <p><b>Parking Spaces:</b>  Proposed <u>8</u> Accessible <u>1</u>  Minimum: _____</p> <p><b>Bicycle Parking**:</b>  Proposed: <u>3</u> Minimum: <u>2</u>  ** Commercial Requirement</p>

\* Requires an additional review conducted by Technical Review Division.  
\*\* Requires an additional review conducted by the Traffic Engineering Division.

**THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.**

Kevin Skelly \_\_\_\_\_ [ OWNER  APPLICANT  AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

<p><b>To Be Completed By City Staff:</b></p> <p><b>Additional Agency Review if Applicable:</b>  <input type="checkbox"/> Escarpment Approval by _____ Date: <u>  /  /  </u>  <input type="checkbox"/> Flood Plain Approval by _____ Date: <u>  /  /  </u>  <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u>  /  /  </u></p> <p>Notes: _____</p> <p><b>Zoning Approval:</b>  <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p><b>REVIEWER:</b> <u>Stephanie Perca</u> <b>DATE:</b> <u>2/1/23</u></p>	<p style="font-size: 24px; font-weight: bold;">2023-006341-PAR</p>
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997

IDENTIFICATION	ADDRESS: <u>502 Cerrillos</u>		OLD ID NUMBER: 0516 10107
			SANTA FE ID NUMBER: <u>H13010</u>
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE <u>12 13</u>	TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>24</u> SW 1/4 SW 1/4	
BUILDING DATA	FIELD MAP Santa Fe Historic Status Map 1996		
	DATE OF CONSTRUCTION: SOURCE(S) <u>1973</u> ESTIMATE <u>ACTUAL owner</u>		
	ARCHITECTURAL STYLE: <u>Spanish Pueblo Revival</u>		
	USE: HISTORIC: <del>residential</del> OTHER <u>N/A</u> PRESENT: <del>residential</del> OTHER <u>commercial</u> <u>Schifani Bros. Printing Co.</u>		
	SURROUNDINGS: <u>commercial</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S) _____		
	DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR EXPLAIN: <u>some windows replaced</u> <u>new door</u>		
	OVERALL CONDITION: <input type="checkbox"/> EXCELLENT <input checked="" type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		
	PHOTO		
SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING		
	LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE LOCAL DESIGNATION: <u>Historic Trans.</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input type="checkbox"/> CONTRIBUTING <input checked="" type="checkbox"/> NON-CONTRIBUTING LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		

SURVEYED 7/97 BY DB

NEGATIVES WITH NMHPD ROLL # D32 NEG # 25 TO 28

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	flat with wood & metal canals, metal downspouts battered parapets	
	BUILDING WALLS	beige stucco	
	FOUNDATIONS	not visible	APPROX. HEIGHT (FT.) 13
	DOORS	E - wood 32 panel (tiny square panels), wrought iron gates, steel casement sidelights	
	WINDOWS	W - wood DHWs w/ metal storm windows, N steel casement on W end of N wall E - tall fixed wood 12 light fixed, recessed w/ wood lintels	
	PORCHES OR PORTALES	NE corner - simple portal with corner pier, end wall with rectangular opening, wood beam, battered parapet	
	ARCHITECTURAL DETAILS	exposed lintels in shaped openings	
	FENCES/WALLS		
	SITE FEATURES		
OTHER/ COMMENTS	Owner says the building was built in 1973.		

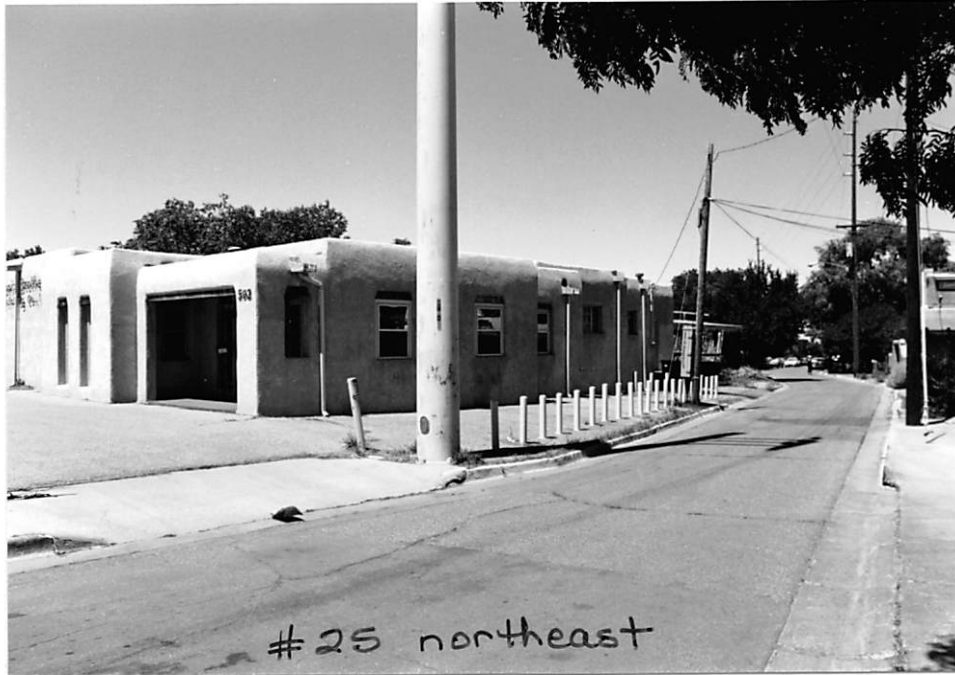
ADDITIONAL PHOTOGRAPHS



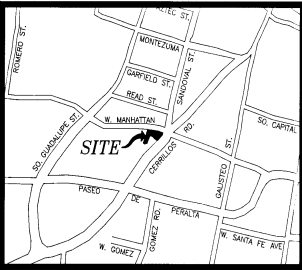
#26 northeast

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997 (concluded)

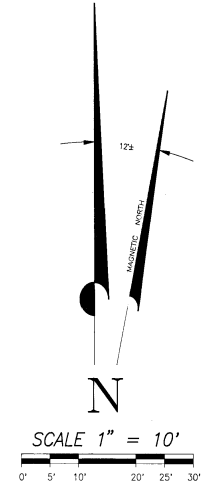
IDENTIFICATION	ADDRESS	ID NUMBER: 0516 10107
	502 Cerrillos	SANTA FE ID NUMBER: H13010
		SURVEYED/RESEARCHED DATE 7/97 BY DB







VICINITY MAP SCALE 1"=500'

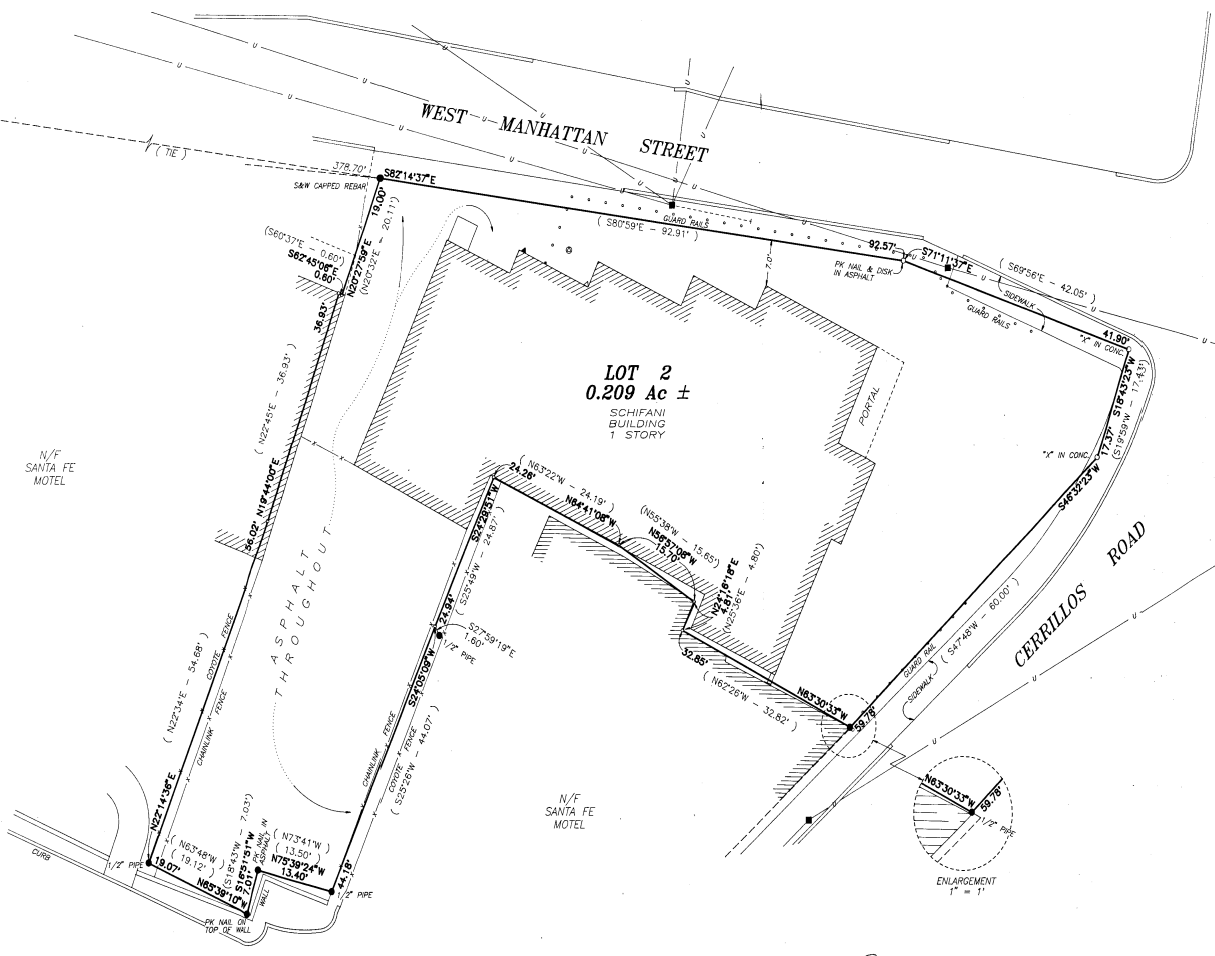


SANITARY SEWER MANHOLE No. 81-49

N/F SANTA FE MOTEL

LOT 2 0.209 Ac ± SCHIFANI BUILDING 1 STORY

N/F SANTA FE MOTEL



LEGEND / PLAT REFERENCE

BEARINGS BASED ON THAT PLAT ENTITLED 'LOT CONSOLIDATION PLAT OF LOT 3, 4, 5, 6 AND A PORTION LOT 7 BLOCK 113, KING'S OPTICAL MAP...' BY RICHARD E. SMITH, N.M.P.L.S. No. 5837, DATED APRIL 1987. (Project No. 2780)

- INDICATES POINT FOUND AND USED AS NOTED.
INDICATES POINT SET AS NOTED.
INDICATES CALCULATED POINT NOT SET.
INDICATES CITY OF SANTA FE SANITARY SEWER MANHOLE.
INDICATES UTILITY POLE, OVERHEAD UTILITY LINES, AND POLE GUY ANCHOR WHERE APPLICABLE.
INDICATES ELECTRIC METER.
INDICATES GAS METER.
INDICATES WATER METER.
INDICATES FENCE LINE.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, AND THAT THE DATA SHOWN HEREON ARE TRUE AND CORRECT...

RICHARD E. SMITH, N.M.P.S. No. 5837, DATE 6/6/95



PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE SUBMITTAL OF ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

COUNTY OF SANTA FE, STATE OF NEW MEXICO. I hereby certify that this instrument was filed for record on the 02 day of June, A.D. 1995 at 11:22 o'clock A.M. and was duly recorded in book 524 page 216 of the records of Santa Fe County.

Witness my hand and Seal of Office June 6, 1995 County Clerk, Santa Fe County, N.M.

Signature of County Clerk



INDEXING INFORMATION FOR COUNTY CLERK table with columns for TYPE OF SURVEY, OWNER, PROJECTED S, COUNTY NAME, and PLAT.

SMITH WILLIAMSON & ASSOCIATES logo and address: 1210 Lakes Street, Santa Fe, New Mexico 87505

BOUNDARY SURVEY PREPARED FOR table with columns for PROJECT NO., SCALE, DATE, DRAWN BY, CHECKED BY, PROJECT NO.



January 30, 2023

City of Santa Fe  
Historic District Review  
Proposal Letter

RE: Barrel Cactus Distillery Renovation  
502 Cerrillos Road  
Santa Fe, NM 87505

HD: Transition Zone

To the Historic Review Board,

The existing building at 502 Cerrillos Road was built around the 1960s-1970s. It is of block construction with a stucco exterior. The style of architecture is "Pueblo Revival." The previous business occupying the building was an audio-video store named: A Sound Look.

It is located at the corner of Cerrillos and W Manhattan Ave.

The existing square footage for the building is :

Roofed - 3,356 sq ft

Un-roofed - 84 sq ft (portal - to be enclosed)

Proposed square footage for the renovation:

Roofed - 3,440 sq ft (We will re-roof with a bitumen torch down or equal and insulate)

Flat area (patio) - 362 sq ft

The existing height of the building ranges from a low point of 10' to a high point of 14' 9" (at the North West corner).

The proposed changes to height are as follows:

- On the East elevation, we will be raising the existing height from 10' to a proposed height of 14' 3" for the main entrance and signage.
- Also, on the East elevation (south of the new entrance) we will be raising the parapet and scuppers as required for the new roof from 12' 5" to 13' 2".

- On the North elevation, we will be raising the parapet from the existing height of 11' 8" to the proposed height of 12' 10" in order to hide the roof top mechanical equipment.

The existing windows, which are dark metal clad with divided lites, will be replaced with dark bronze anodized finished aluminum frame windows. New commercial-grade metal doors will be installed at the loading dock to replace the existing ones.

We will be enclosing the existing portal on the East side of the building to create a new office space.

The proposed new use for the building is a distillery with a tasting bar and restaurant named: Barrel Cactus Distillery.

The interior of the distillery will be large open spaces with separate areas for the distillery, kitchen, and dining. A proposed outside dining area is to be located on the north side of the building between the building and an existing site wall along W Manhattan Ave.

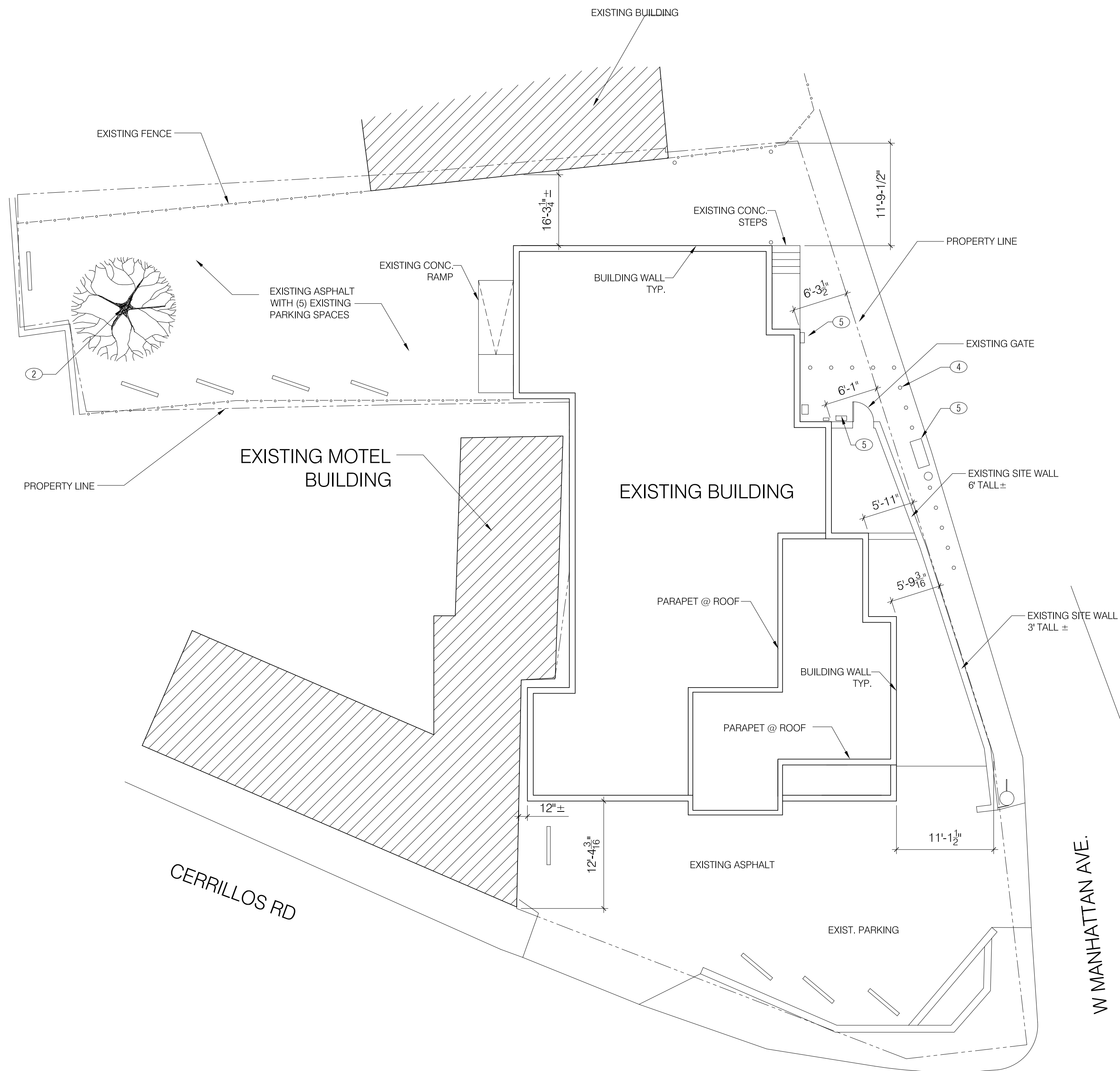
A new shade structure will cover the exterior dining, consisting of supporting steel columns and steel beam with a peeled wood-latilla covering.

We will be raising the stucco yard wall for the exterior dining to account for the raised concrete slab. The wall is currently 2'8" on the East end and 3' 4" on the West end (from the existing grade). We are proposing to raise the wall to approx. 4' 3" on the east wend and 4' 6" on the west end (from the existing grade). The yard wall will keep the existing stucco finish (El Rey Buckskin). We will be adding a wood + steel gate on the East elevation for access to the dining area.

The proposed treatment of the exterior of the building is to keep the existing "pueblo" style and stucco finish (El Rey Buckskin) with naturally rusted steel accents at a newly renovated entrance.

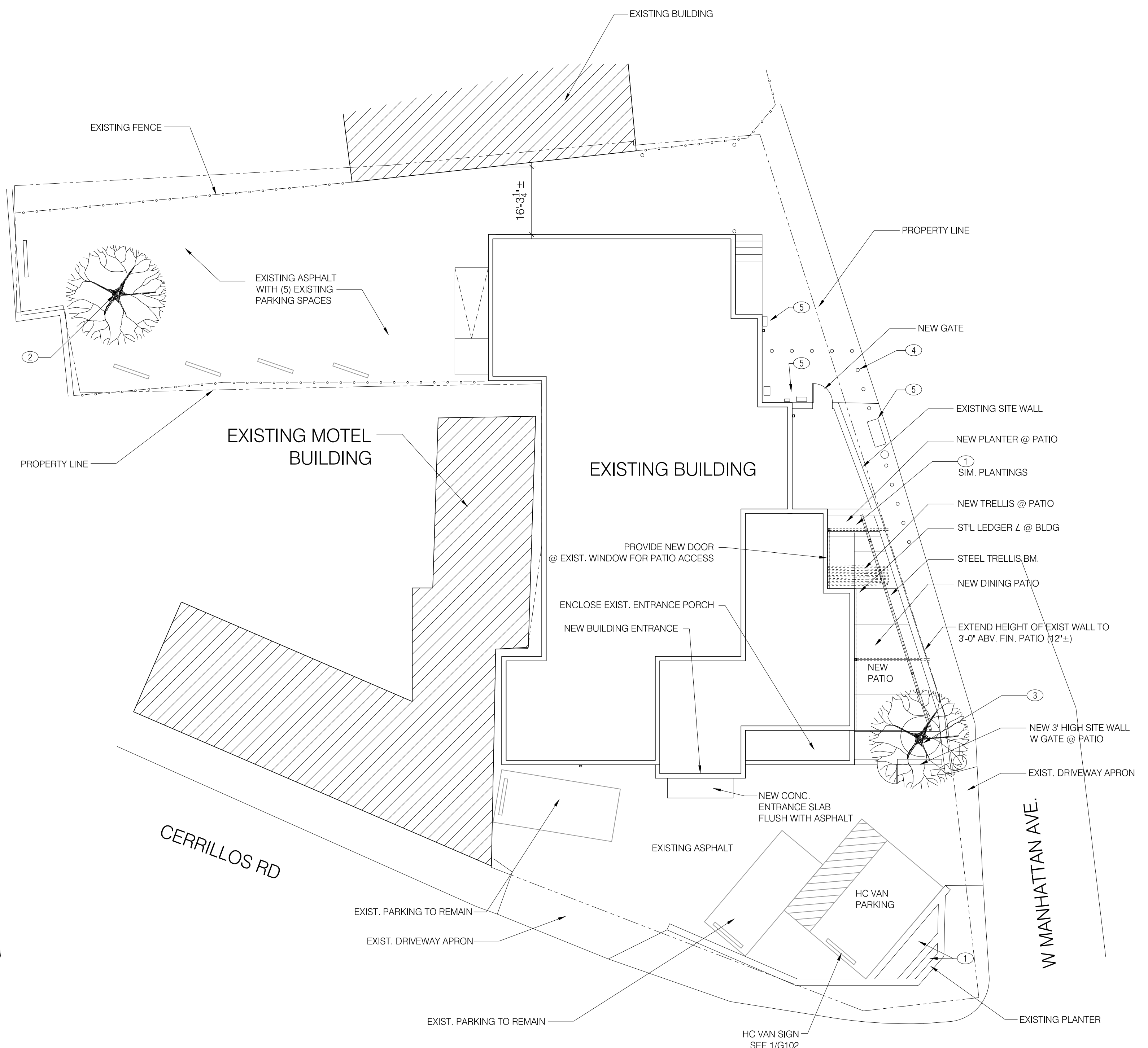
Sincerely,

Kevin Segura  
Project Manager  
K. M. Skelly, Inc  
ksegura@kmskelly.com



**EXISTING SITE PLAN**

scale: 1:10



**PROPOSED SITE PLAN**

scale: 1:10



**PARKING SPACES**

**EXISTING**

FRONT: 4 SPACES (INCLUDES ONE HC SPACE)  
REAR: 5 SPACES

**PROPOSED**

FRONT: 3 SPACES (INCLUDES ONE HC SPACE)  
REAR: 5 SPACES

**KEYED NOTES**

1. NEW PLANTINGS @ EXISTING PLANTER TO INCLUDE:

FLOWERS: YELLOW COREOPSIS; MEXICAN HAT (RUTIBIDA SP.);  
BLANKET FLOWER (GAILLORDIA SP.)

GRASSES: SACTON GRASS (SPOROBOLUS WRIGHTII); AGASTACHE  
'BLUE FORTUNE'; ALLIUM AND PURPLE CONEFLOWERS  
(ECHINACEAPURPUREA.

- 2. EXISTING SIBERIAN ELM
- 3. NEW DESERT WILLOW
- 4. EXISTING BOLLARDS
- 5. EXISTING ELECTRICAL UTILITIES

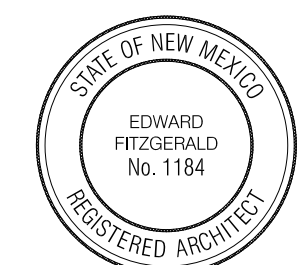
**EXISTING + PROPOSED SITE PLANS**

**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

**HISTORIC TRANSITION DISTRICT**

**EDWARD FITZGERALD ARCHITECTS**

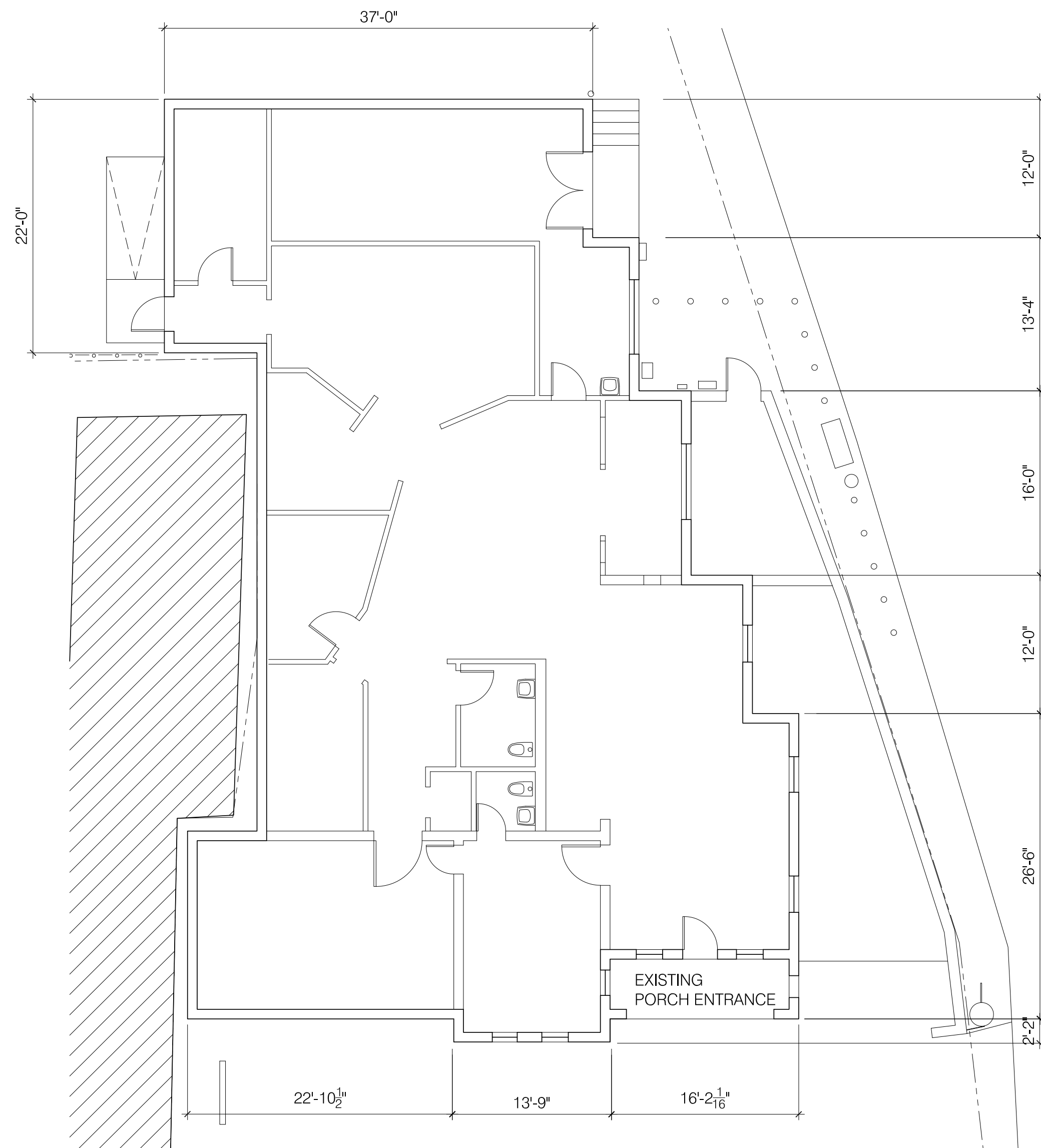
121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
8 7 1 0 8  
TEL 505.268.9055  
EF ARCHITECTS.COM



date: 01/29/23  
drawn by: EF

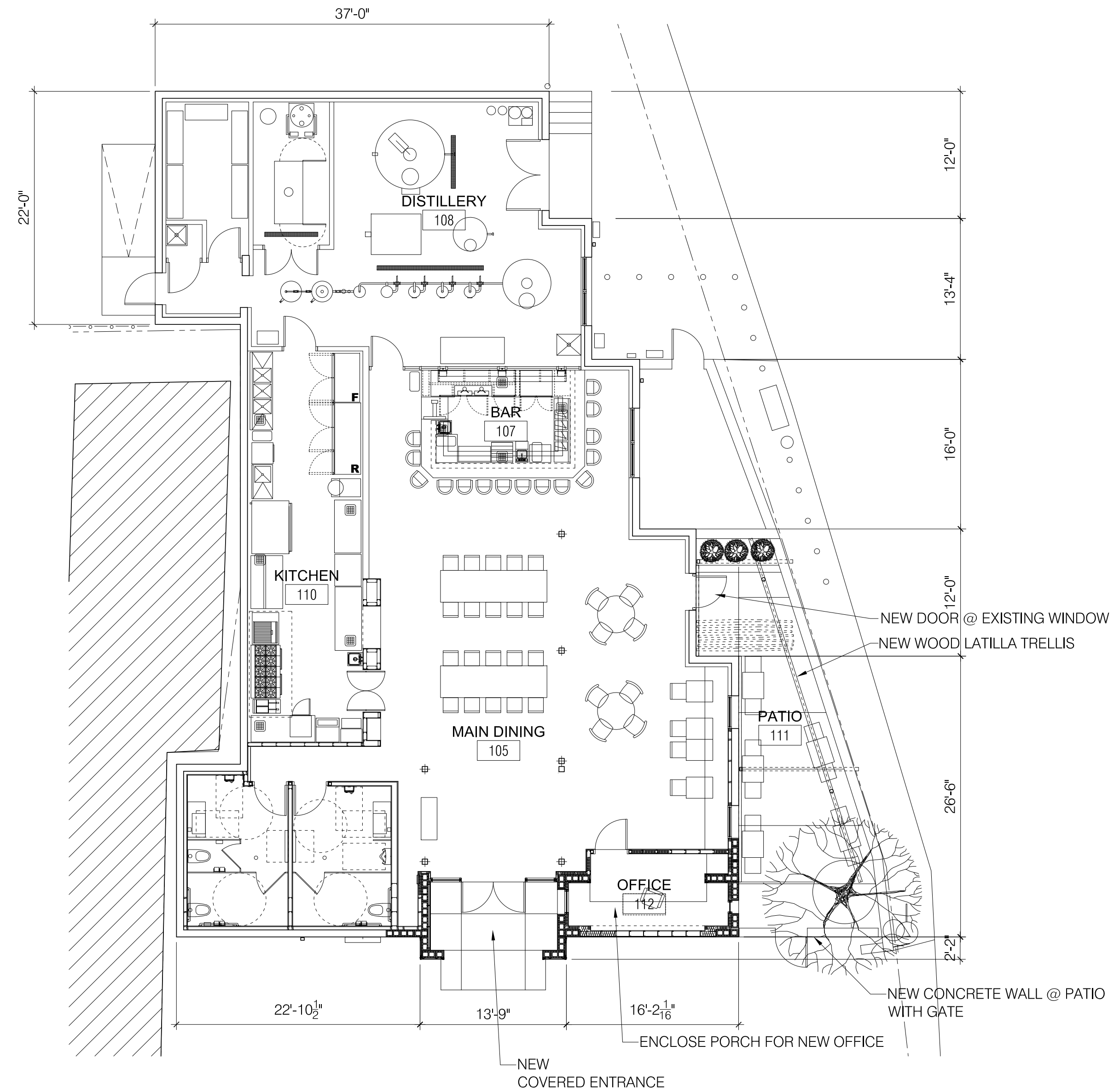
**HS101**

revisions



**EXISTING FLOOR PLAN**

scale: 1/8" = 1'-0"



**PROPOSED FLOOR PLAN**

scale: 1/8" = 1'-0"

**BUILDING PLANS**

**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

**HISTORIC TRANSITION DISTRICT**

**E D W A R D  
F I T Z G E R A L D  
A R C H I T E C T S**

121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
8 7 1 0 8  
T E L 5 0 5 . 2 6 8 . 9 0 5 5  
E F A R C H I T E C T S . C O M



date: 01/29/23  
drawn by: EF

**H101**

revisions

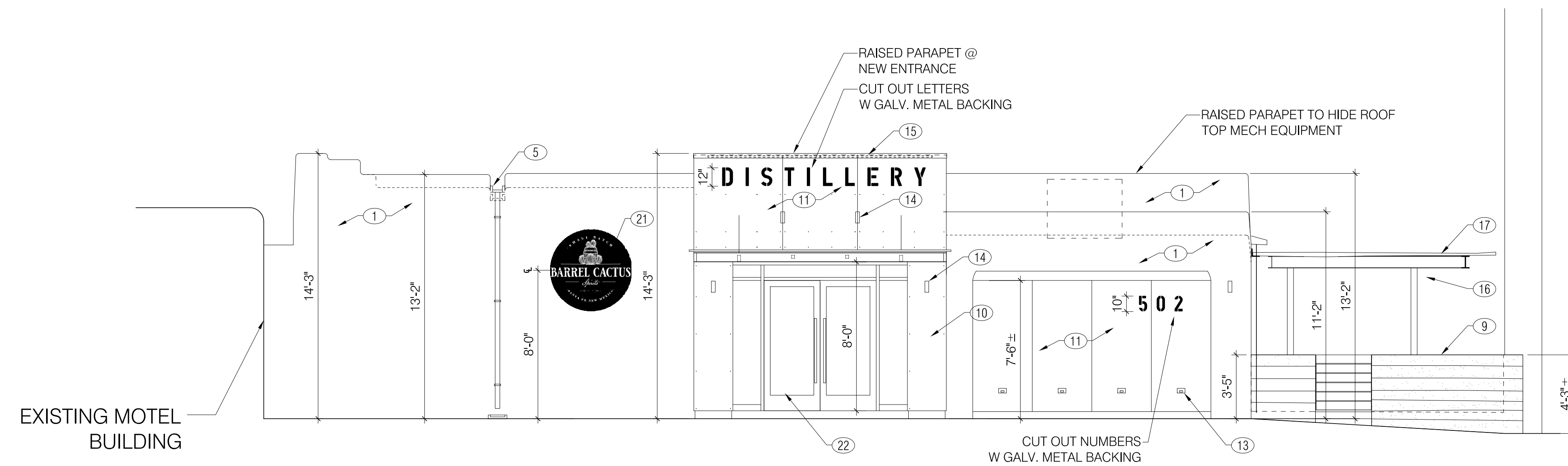


EXISTING EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - EXISTING BUILDING

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-8" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 8'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS



PROPOSED EAST ELEVATION

scale: 1/8"=1'-0"

KEYED NOTES - PROPOSED RENOVATION

- 1. STUCCO - EL REY BUCKSKIN
- 2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
- 3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
- 4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
- 5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL 1/H204.
- 6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED.
- 7. EXISTING SITE WALL TO REMAIN.
- 8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
- 9. EXPOSED BOARD FORMED CONC. WALL WITH WOOD STEEL + WOOD GATE
- 10. 16 GA RUSTED STEEL PLATE
- 11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
- 12. GALVANIZED STEEL CANOPY @ ENTRANCE.
- 13. STEP LIGHTS RECESSED IN WALL.
- 14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
- 15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
- 16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELLIS.
- 17. WOOD LATILLA TRELLIS.
- 18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN
- 21. 48" DIAMETER, ILLUMINATED, "BARREL CACTUS SPIRITS" SIGN
- 22. NEW ENTRANCE (RECESSED) WITH ALUMINUM + GLASS STOREFRONT (ALUMINUM TO BE DARK BRONZE FINISH)

BUILDING ELEVATIONS

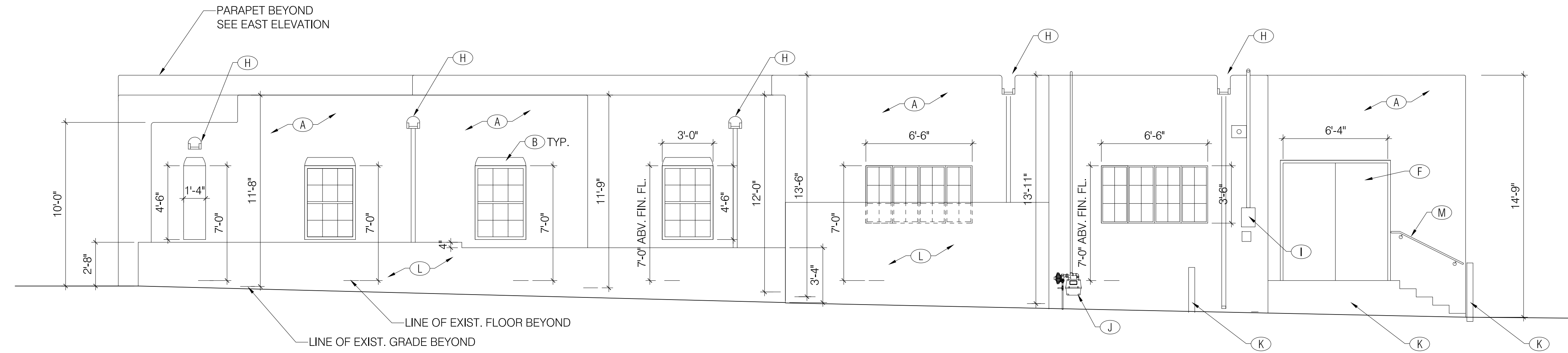
**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

HISTORIC TRANSITION DISTRICT

<p>EDWARD FITZGERALD ARCHITECTS</p> <p>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87711008 TEL 505.268.9055 EFARCHITECTS.COM</p>	<p>date: 01/29/23</p> <p>drawn by: EF</p>
	<p>H201</p>



revisions



**EXISTING NORTH ELEVATION**

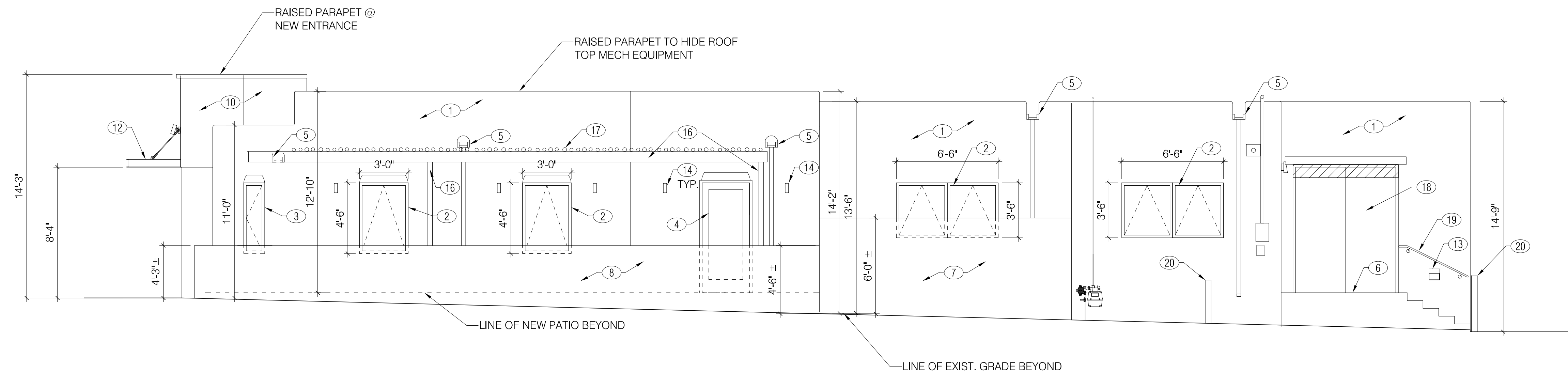
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**KEYED NOTES - EXISTING BUILDING**

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-8" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 8'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS

**KEYED NOTES - PROPOSED RENOVATION**

- 1. STUCCO - EL REY BUCKSKIN
- 2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
- 3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
- 4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
- 5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL.
- 6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED 1/H204.
- 7. EXISTING SITE WALL TO REMAIN.
- 8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
- 9. EXPOSED BOARD FORMED CONC. WALL
- 10. 16 GA RUSTED STEEL PLATE
- 11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
- 12. GALVANIZED STEEL CANOPY @ ENTRANCE.
- 13. STEP LIGHTS RECESSED IN WALL.
- 14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
- 15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
- 16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELLIS.
- 17. WOOD LATILLA TRELLIS.
- 18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN



**PROPOSED NORTH ELEVATION**

scale: 1/4" = 1'-0"

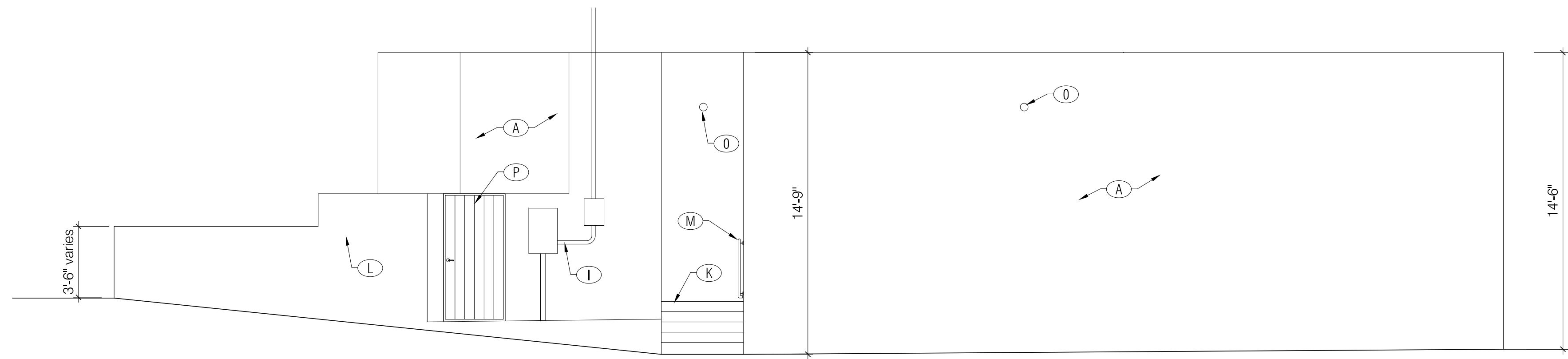
**BUILDING ELEVATIONS**

**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

**HISTORIC TRANSITION DISTRICT**

<b>EDWARD FITZGERALD ARCHITECTS</b> <small>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 87505 TEL 505.268.9055 EFARCHITECTS.COM</small>	date: 01/29/23 drawn by: EF

**H202**

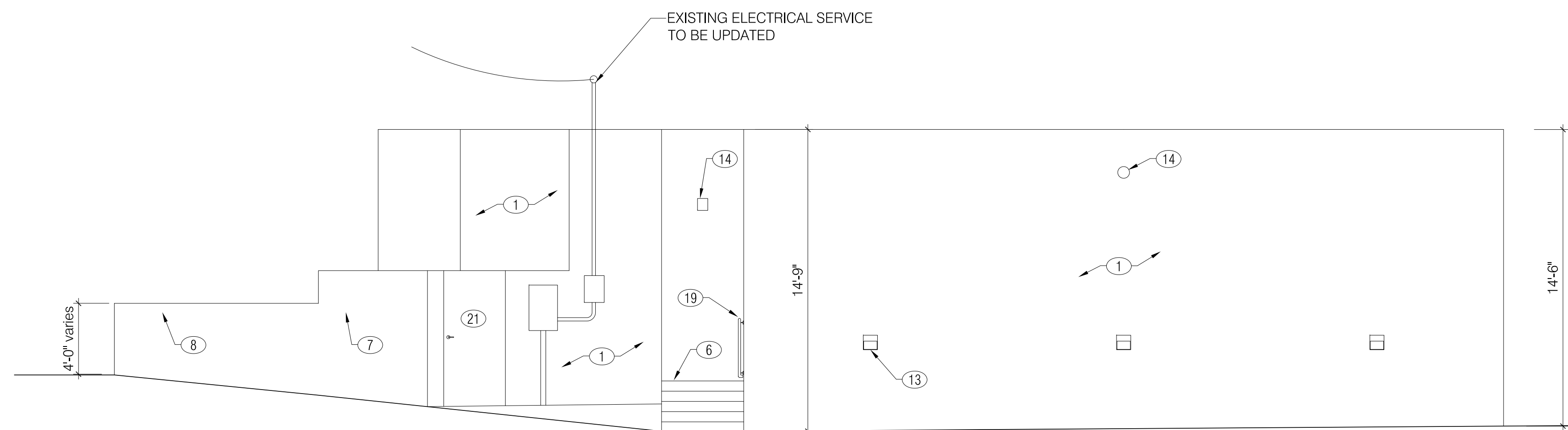


**EXISTING WEST ELEVATION**

scale: 1/8"=1'-0"

**KEYED NOTES - EXISTING BUILDING**

- A. EXISTING STUCCO
- B. EXISTING WOOD LINTEL
- C. EXISTING WINDOWS: 3' W X 4'-6" TALL, WOOD DOUBLE HUNG WITH ALUMINUM SCREENS.
- D. EXISTING WINDOWS: 6'-8" W (4 CASEMENTS) X 3'6" TALL, STEEL CASEMENT.
- E. EXISTING WINDOWS: FIXED WOOD FRAME WINDOWS
- F. EXISTING DOORS: 8'-4" W (DOUBLE DOORS) X 7' TALL, HOLLOW METAL.
- G. EXISTING DOORS: 3'-0" W X 7' TALL, WOOD FRAME GLASS ENTRANCE DOOR.
- H. EXISTING WOOD ROOF CANALES WITH METAL DOWNSPOUTS.
- I. EXISTING ELECTRICAL SERVICE
- J. EXISTING GAS SERVICE
- K. EXISTING EXPOSED CONCRETE STEPS AND LANDING.
- L. EXISTING STUCCO SITE WALL
- M. EXISTING STEEL PIPE HANDRAIL
- N. EXISTING STEEL BOLLARDS
- O. EXISTING LIGHT FIXTURE
- P. EXISTING GATE



**PROPOSED WEST ELEVATION**

scale: 1/8"=1'-0"

**KEYED NOTES - PROPOSED RENOVATION**

- 1. STUCCO - EL REY BUCKSKIN
- 2. ALUMINUM FRAMED AWNING WINDOW REPLACEMENT. DARK BRONZE FINISH. SAME SIZE AS EXISTING OPENING. EXISTING WOOD LINTEL TO REMAIN.
- 3. NEW FIXED ALUMINUM FRAMED WINDOW @ EXISTING OPENING.
- 4. NEW ALUMINUM + GLASS DOOR AT EXISTING WINDOW (DARK BRONZE). ENLARGE OPENING TO ACCOMMODATE DOOR.
- 5. DEMO EXIST. SCUPPER. RAISE AS REQUIRED FOR NEW ROOF. REPLACE WITH STEEL SCUPPER + DOWNSPOUT PER DETAIL 1/H204.
- 6. RE-SURFACE OR REPLACE EXISTING CONCRETE AS REQUIRED.
- 7. EXISTING SITE WALL TO REMAIN.
- 8. RAISE EXISTING STUCCO SITE WALL 12" ± TO BE 36" ABOVE PATIO.
- 9. EXPOSED BOARD FORMED CONC. WALL
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- 11. 16 GA RUSTED STEEL PLATE WITH CUT OUTS FOR SIGNAGE: DISTILLERY; STREET NUMBERS & STEP LIGHTS.
- 12. GALVANIZED STEEL CANOPY @ ENTRANCE.
- 13. STEP LIGHTS RECESSED IN WALL.
- 14. SURFACE MOUNTED DOWNLIGHTS (DARK BRONZE FIN).
- 15. CONCEALED LED LIGHT AT TOP OF ENTRANCE FACADE.
- 16. EXPOSED STEEL COLUMN AND BEAM TO SUPPORT TRELLIS.
- 17. WOOD LATILLA TRELLIS.
- 18. NEW HOLLOW METAL DOORS TO REPLACE EXISTING. ENLARGE HEIGHT FROM 7'-0" TO 8'-0".
- 19. EXISTING STEEL PIPE HANDRAIL TO REMAIN
- 20. EXISTING BOLLARDS TO REMAIN
- 21. NEW GATE

**BUILDING ELEVATIONS**

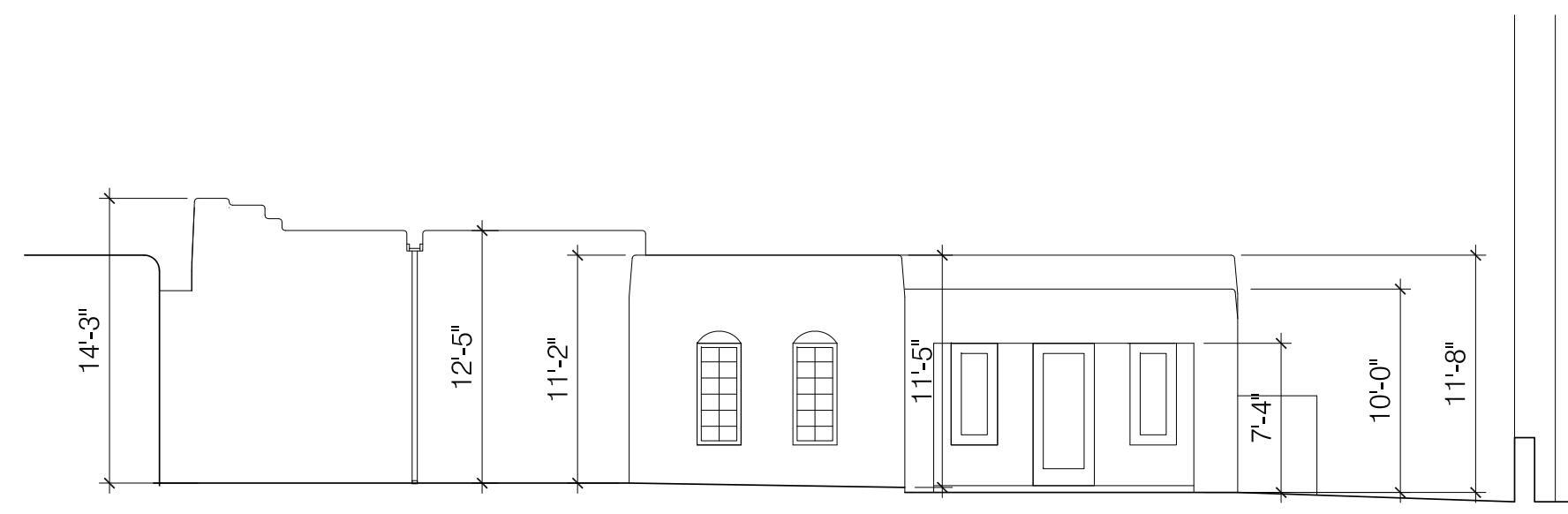
**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

**HISTORIC TRANSITION DISTRICT**

<p><b>E D W A R D F I T Z G E R A L D A R C H I T E C T S</b></p> <p>121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 8 7 7 1 0 8 T E L 5 0 5 . 2 6 8 . 9 0 5 5 E F A R C H I T E C T S . C O M</p>		date:	01/29/23
		drawn by:	EF
		<b>H203</b>	

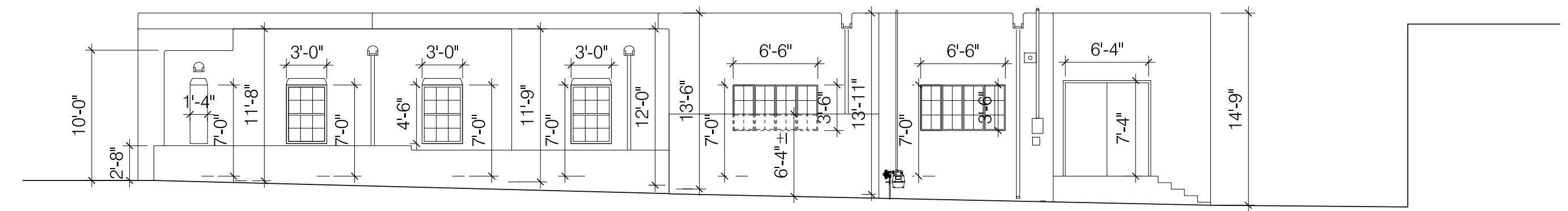
revisions





**EXISTING EAST ELEVATION**

scale: 1/8"=1'-0"



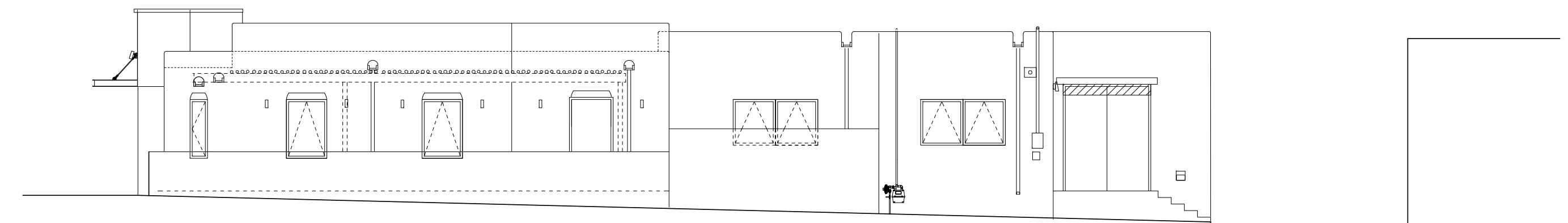
**EXISTING NORTH ELEVATION**

scale: 1/8"=1'-0"



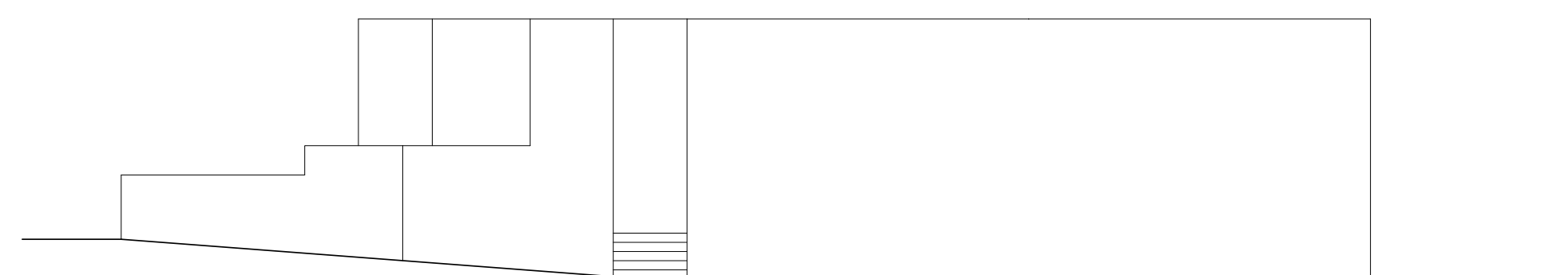
**PROPOSED EAST ELEVATION**

scale: 1/8"=1'-0"



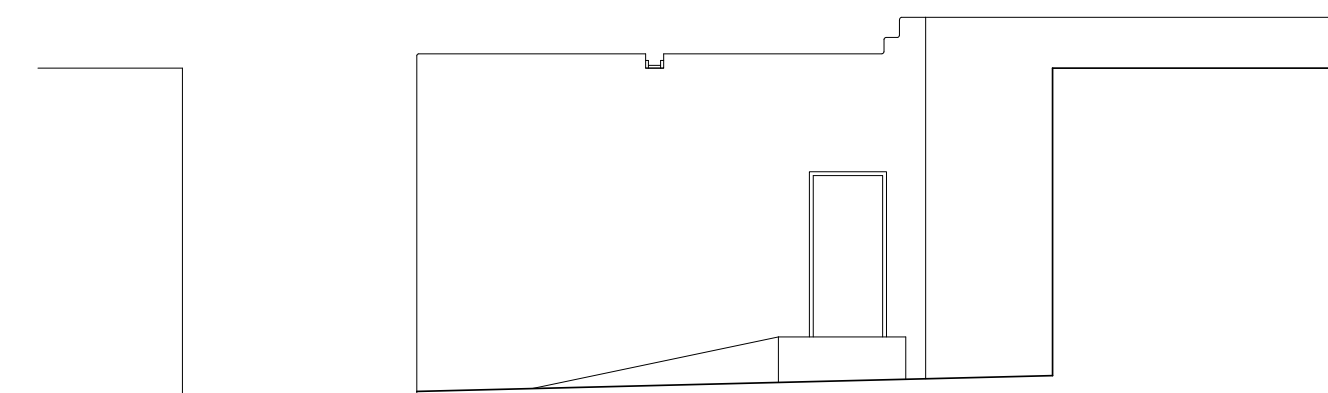
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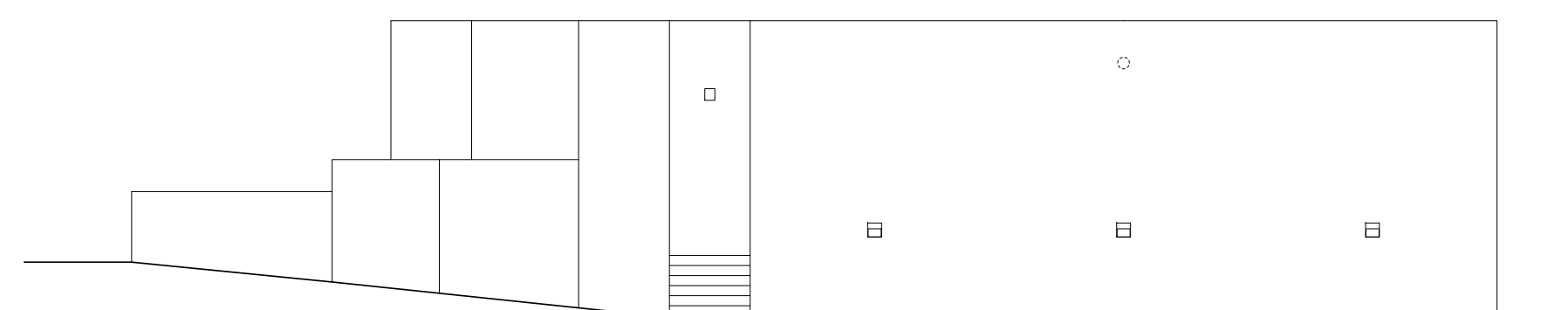
**EXISTING WEST ELEVATION**

scale: 1/8"=1'-0"



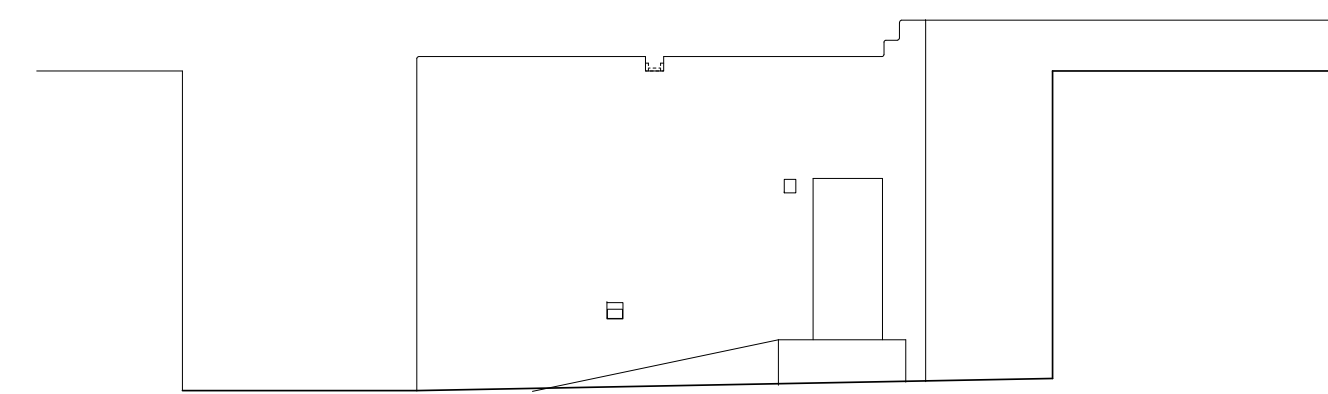
**EXISTING SOUTH ELEVATION**

scale: 1/8"=1'-0"



**PROPOSED WEST ELEVATION**

scale: 1/8"=1'-0"



**PROPOSED SOUTH ELEVATION**

scale: 1/8"=1'-0"

**BUILDING ELEVATIONS**

**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

**TRANSITIONAL HISTORIC DISTRICT**

**EDWARD  
FITZGERALD  
ARCHITECTS**

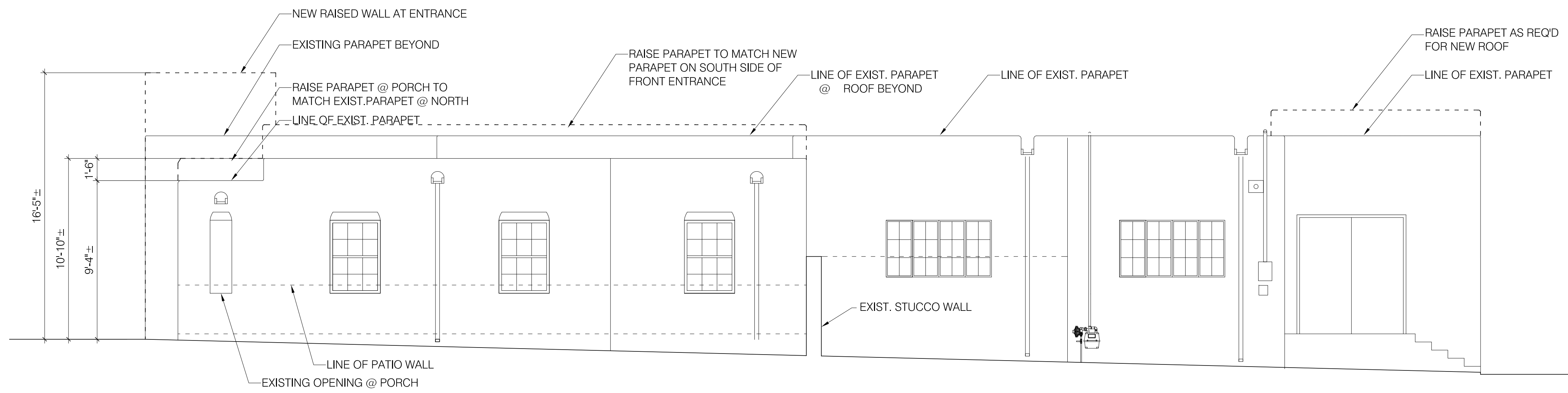
121 JEFFERSON STREET NE  
ALBUQUERQUE, NEW MEXICO  
8771008  
TEL 505.268.9055  
EFARCHITECTS.COM



date: 01/27/23  
drawn by: EF

**H201C**

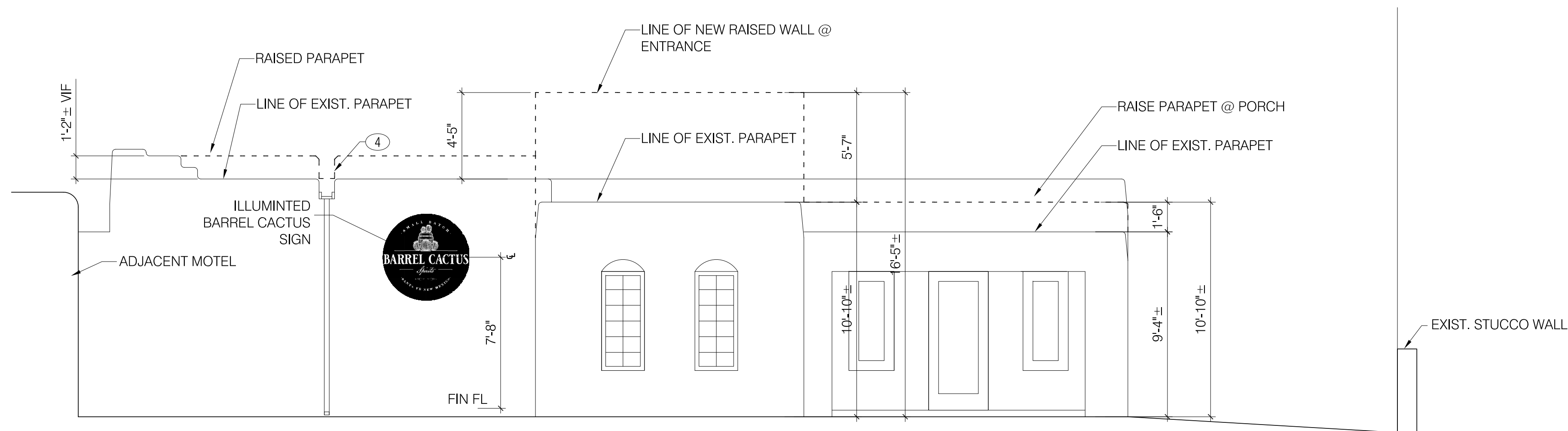
revisions



3 NORTH ELEVATION  
A201c scale: 1/4"=1'-0"

GENERAL NOTES

1. STUCCO FINISH: EL REY BUCKSKIN BROWN
2. STEEL FINISH: NATURAL RUST FINISH



2 EAST ELEVATION (FRONT)  
A201c scale: 1/4"=1'-0"



1 EXISTING BUILDING  
A201c scale: Not To Scale

BUILDING ELEVATIONS COMPARISON

**Barrel Cactus Spirits**  
502 Cerrillos Rd, Santa Fe, NM 87505

100% CONSTRUCTION DOCUMENTS

E D W A R D F I T Z G E R A L D ARCHITECTS	date:	01/26/23
	drawn by:	EF
121 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO 8 7 1 0 8 TEL 505.268.9055 EFARCHITECTS.COM		
	A201c	

revisions

**BARREL CACTUS DISTILLERY**  
502 Cerrillos Road Santa Fe New Mexico

**EXISTING BUILDING**



**EAST ELEVATION**



**NORTH ELEVATION**

**BARREL CACTUS DISTILLERY**  
502 Cerrillos Road Santa Fe New Mexico

**EXISTING BUILDING**



**NORTH ELEVATION**



**NORTHWEST ELEVATION**

**BARREL CACTUS DISTILLERY**  
502 Cerrillos Road Santa Fe New Mexico

EXISTING BUILDING

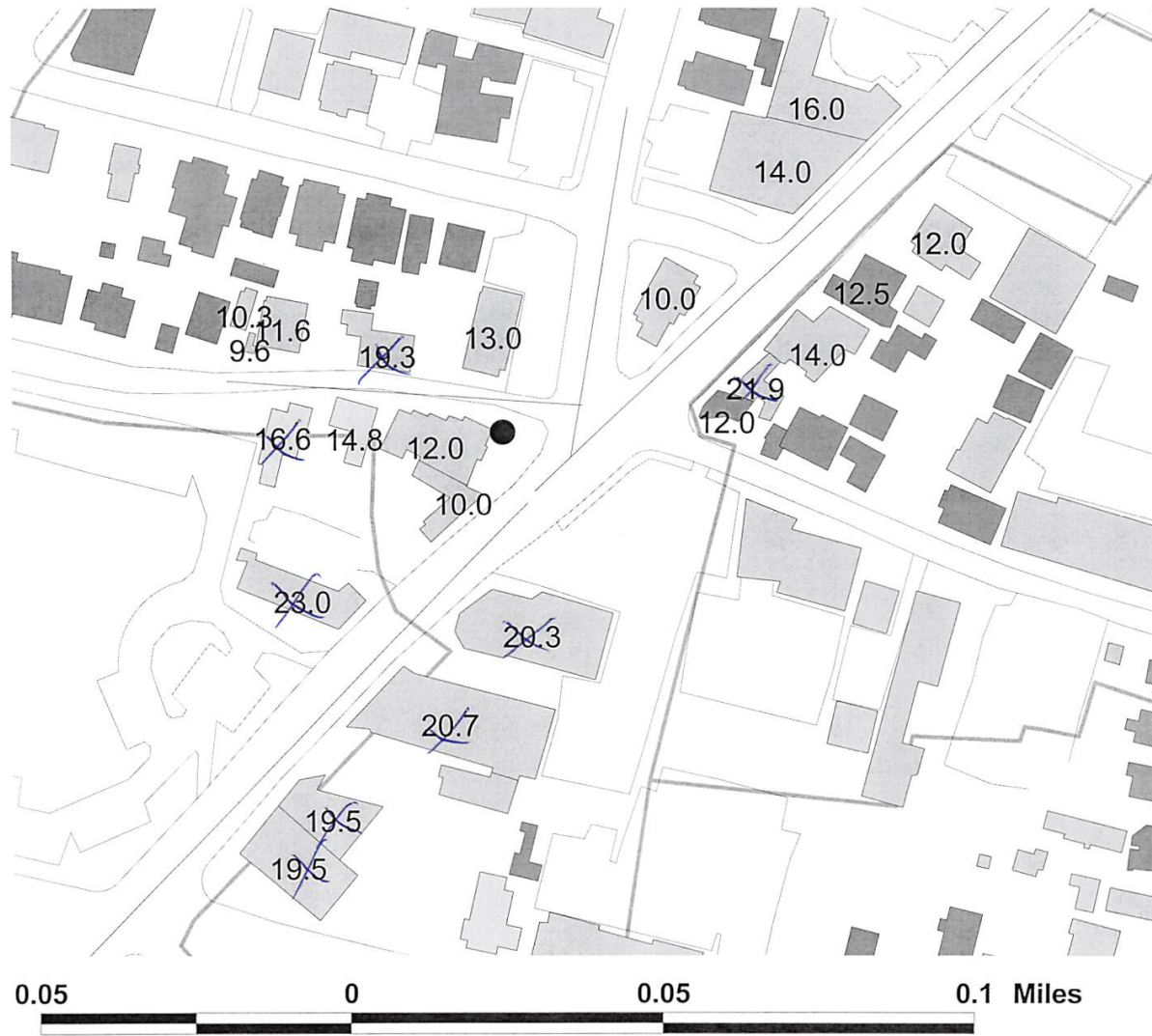


NORTHWEST ELEVATION



SOUTH ELEVATION

# 502 Cerrillos Rd. Height Calculation

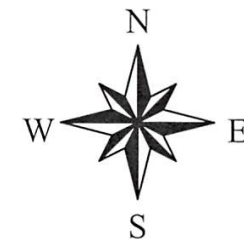


Total: 171.80  
Count: 14  
Average: 12.28  
Maximum Allowable Height: 14' 3"

DAR  
12.02.03

## Building rooflines

- C
- L
- N
- NA
- NON
- NR
- S
- Hdist.shp



**BARREL CACTUS DISTILLERY**  
502 Cerrillos Road Santa Fe New Mexico

BUILDING FINISHES

EXISTING

STUCCO FINISH



WINDOW TRIM



WOOD LINTELS



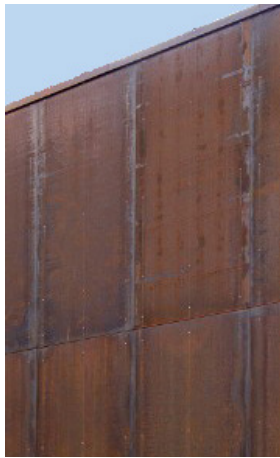
**BARREL CACTUS DISTILLERY**  
502 Cerrillos Road Santa Fe New Mexico

PROPOSED MATERIALS

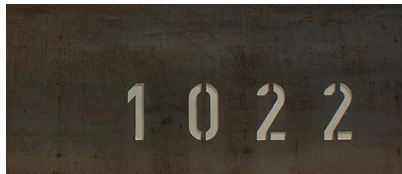
STUCCO FINISH  
EL REY BUCKSKIN #106



STEEL SIDING



CUT OUT LETTERS



WINDOW TRIM



Anodized Finishes



WOOD LINTELS

