

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. November 22, 2022

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2022-005877-HDRB. 127 & 127 ½ E. DeVargas St.
2. 2022-005346-HDRB. 1204 Canyon Rd.
3. 2022-005859-HDRB. 500 Montezuma Ave.
4. 2022-005471-HDRB. 110 Calle la Pena
5. 2022-005995-HDRB. 855 Camino Ranchitos.
6. 2022-006064-HDRB. 224 Montoya Cir.
7. 2022-006061-HDRB. 638 Gomez Rd.

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

1. 2022-005463-HDRB. 220 Rodriguez St. Brian Sarrazin and Stephanie Sandston, designers and owners, requests to remodel a contributing residence in Downtown and Eastside Historic District. Exceptions are requested to sections 14-5.2(D)(2)(d) to construct an addition onto primary facades, 14-5.2(C)(1)(d) for additions/atlerations that impact

original form and integrity, 14-5.2(E)(1)(a) for additions in a style that is not of Old Santa Fe Style and 14-5.2(D)(5) to replace historic windows not in-kind. (Heather Lamboy, hlamboy@santafenm.gov)

2. 2022-006059-HDRB. 513 Canyon Rd. Downtown and Eastside Historic District. Gayla Bechtol, agent for Morning Star Gallery, owner, proposes to create an addition to a primary facade on a contributing building and requests exception to 14-5.2(D)(2)(d). (Heather Lamboy)

H. NEW BUSINESS

1. 2022-006108-HDRB. 462 Arroyo Tenorio. Downtown and Eastside Historic District. Contributing. Estevan Trujillo, agent for Janet DesForges, owner, proposes to remodel a contributing structure and requests an exception to Section 14-5.2(D)(5)(a) for replacement of historic windows on a primary facade. (Angela Schackel Bordegaray)
2. 2022-006146-HDRB. 50 Mt. Carmel Rd. Historic Review District. Non-Contributing. JenkinsGavin, agent for the Modern Elder Academy, owner, proposes to demolish a 3-bay carport, located south of the existing San Miguel building on the Mt. Carmel campus. (Heather Lamboy)
3. 2022-006115-HDRB. 50 Mt. Carmel Rd. Historic Review District. JenkinsGavin, agent for the Modern Elder Academy, owner, proposes a one-story 11,696 sq. ft. classroom and dormitory building. The proposed height is 19'2", below the maximum permitted height of 22'1". (Heather Lamboy)
4. 2022-006142-HDRB. 346 Hillside Ave. Downtown and Eastside Historic District. Martinez Architecture Studio, PC., agent for Martha Davis, owner, requests primary facade designation. (Heather Lamboy)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, January 10, 2023

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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NOVEMBER 22, 2022

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
NOVEMBER 22, 2022 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Anthony Guida, Vice Chair, on the above date at approximately 5:30 p.m. at a meeting held in the City Council Chambers at the Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Madeleine Aguilar Medrano
Ms. Jennifer Berkley
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida

MEMBERS ABSENT (EXCUSED)

Ms. Cecilia Rios, Chairwoman
Ms. Flynn G. Larson

OTHERS PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Ms. Carly Piccarello, Historic Preservation Division Manager (on Zoom)
Mr. Frank Ruybalid, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello said item #4, Case #2022-5982 under New Business, is postponed to December 13, 2022.

MOTION: Member Biedscheid moved, seconded by Member Aguilar Medrano to approve the agenda as amended.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. November 8, 2022

Member Aguilar Medrano asked that on page 12, last paragraph, to strike the sentence after the comma and insert "*or if it was only discovered when approval for the garage relocation was needed.*" Also, page 29, the first paragraph, last sentence to read "to the white door with painted glass on the non-primary façade." Two rows down from that strike the word "*second*" and change the sentence to read: "*and also to maintain the white door that matches the front door.*"

Member Bienvenu asked that on page 40, second to last sentence that the statement, "It doesn't add to the sense of the streetscape as open and inviting", be corrected to read, It does add to the sense of the streetscape...."

MOTION: Member Bienvenu moved, seconded by Member Aguilar Medrano to approve the minutes of November 8, 2022, as amended.

VOTE: The motion passed by (2-0) roll call vote with Members Aguilar Medrano and Bienvenu voting in favor and none voting against. Members Berkley and Biedscheid abstained.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2022-005867-HDRB. 530 Camino Militar.
2. 2022-005980-HDRB. 150 Washington Ave.
3. 2022-005981-HDRB. 492 Arroyo Tenorio.
4. 2022-006017-HDRB. 600 Agua Fria St.
5. 2022-005993-HDRB. 518 and 518 ½ Calle Corvo.
6. 2022-005994-HDRB 802 E. Palace Ave.
7. 2022-005984-HDRB. 523 Armijo St.
8. 2022-005982-HDRB. 1149 E. Alameda
9. 2022-005983-HDRB. 834 Allendale St.
10. 2022-005633-HDRB. Hometown Heroes Banners
11. 2022-005477-HDRB. 50 Mt. Carmel Rd.
12. 2022-005473-HDRB. 127 & 127 ½ E. DeVargas St.
13. 2022-005631-HDRB. 342 Plaza Balentine.

14. 2022-005634-HDRB. 212-A Gonzales Rd.
15. 2022-005689-HDRB. 634 Garcia St., # 19
16. 2022-005790-HDRB. 532 Don Gaspar Ave.

Member Guida asked, if the findings could be broken up by hearing dates since all the members were not present at all of the hearings.

Ms. Piccarello said Case 10, 11 and 14 were the earlier dates.

Attorney Ruybalid said #10 the Hometown Heroes Banner and #11, 50 Mt. Carmel Rd. were both heard on July 26, 2022.

Ms. Piccarello indicated that #14 was an earlier date

Attorney Ruybalid listed the various hearing dates.

Vice Chair Guida asked the Board if they prefer to do any changes now, do under one motion and those not present could abstain, and Attorney Ruybalid could divide the findings up by date to review later.

MOTION: Member Bienvenu moved to approve the Findings of Fact and Conclusions of Law, with an amendment in Case #2022-005634-HDRB. 212-A Lorenzo (formerly Gonzales) Rd. He said the Board approved historic material on a window on a primary façade with a specific finding that it is unique to that structure. He referred to paragraph 10A of Finding of Facts, that says, "Pursuant to SFCC, 14-5.2C(5)(b)(1) to insert language before *the Board finds*, that reads: "In the unique circumstances of this particular structure." Also, in paragraph 11 after, "The window corner has architectural and historic interest" to add, "*with respect to this specific structure.*"

Member Biedscheid questioned the reference to *Lorenzo Lane*.

Attorney Ruybalid said the street may have been presented to the Board as Gonzales. It has since been renamed Lorenzo.

Member Bienvenu clarified his reference was to Item #14, listed as Gonzales Rd. on the agenda with the actual Findings listed as Lorenzo Lane.

Member Biedscheid seconded the motion.

VOTE: The motion passed by (2-0) roll call vote with Members Biedscheid and Bienvenu voting in favor and none voting against. Members Aguilar Medrano and Berkley abstained.

E. MATTERS FROM THE PUBLIC

Stefanie Beninato questioned the vote because to abstain is a "no" vote. The chair should vote when two are in favor and two are against. Also, she wondered why the City allows directional signs that clutter up intersections because most people have phones with GPS. She said listening to the hearing regarding the sign at Luchese in the last meeting the City appeared they just learned about that in the ordinance. She had pointed that out in an appeal at least three years ago. She said they know about the requirement that the Board is to make recommendations, not to approve. She wondered what that will do to the things that have been approved.

F. STAFF COMMUNICATIONS

1. 2023 HDRB Hearing Calendar. (Carly Piccarello)

Ms. Piccarello said the 2023 HDRB Hearing Calendar is in the packet. The second hearing with asterisks is generally reserved for administrative matters or in an effort to cluster 8 or 10 cases for efficiency. The schedule will be published on the website.

She said she will be on leave of absence about three months after this meeting. Ms. Lamboy will be backup and there will be support from their contractor and more staff will be hired soon.

Vice Chair Guida said the Board will miss her while she is gone.

Vice Chair Guida said the Board has an obligation to deliver fair and efficient hearings, for the sake of the applicants, the public, the Board, and staff. He said staff and the applicants do an excellent job. The Board studies the staff reports and materials and goes on field trips and is well prepared tonight to address major issues in the cases and hear from the public.

He said public comment will be limited to two minutes, staff should take no more than three minutes and applicant presentations no more than five minutes. He asked that the attorney refrain from rebuttals, lengthy legal commentary and provide support only as necessary to rule on the cases.

Vice Chair Guida explained the appeal process to City Council if applicants disagreed with the Board rulings tonight.

G. OLD BUSINESS

1. **2022-005859-HDRB. 500 Montezuma Ave.** Westside-Guadalupe Historic District. JenkinsGavin, agent for New Mexico School for the Arts, owners, proposes construction of a dormitory building and 8'-0" fences adjacent to a contributing structure. The case is being reviewed to assess that comments were integrated under 14-5.2(M) due to state funding. (Carly Piccarello)

STAFF REPORT

500 Montezuma Avenue was a commercial property which now houses the New Mexico School for the Arts. It is a collection of three structures that are listed as non-contributing to the Westside-Guadalupe Historic District. It is surrounded by a Territorial Style and Spanish Pueblo Revival Style stucco buildings with deco details (brick coping and other architectural features) as well as a contemporary version of Spanish Mission Revival Style. The Sanbusco Market building dates to 1880 with the arrival of the railroad and includes the iconic Italianate building on the southeast corner.

The once Sanbusco Market Center and the Parking Shed are listed as non-contributing following an appeal to Governing Body of the status in 2016. During that hearing, the Governing Body made comments on the importance of retaining the 'iconic facades' on the southeast corner.

The Sanbusco Market Center underwent changes from 1986 through the 2000s and had a full remodel and partial demolition between 2016 and 2020.

The Butler and Foley Building, which is the northeast structure, is contributing to the Westside-Guadalupe Historic District with the east elevation, the south elevation with the clerestory on the second floor being the primary facades.

A more detailed background of the buildings is listed below.

New Mexico School for the Arts (former Sanbusco Market Center)

The Sanbusco Center served the Railyard District as a boutique mall for approximately 30 years prior to the 2016 remodel for the New Mexico School for the Arts. The Sanbusco building includes the original Italianate style building which housed the offices of the Charles C. Dudrow Coal and Lumber Yard. Substantial changes to the mass and architectural features of the building occurred in the 1920s when a western style wood facade was placed on the front of the building, adjacent to the original office constructed by Dudrow. Another substantial change occurred later in the decade when the entire building was stuccoed to reflect the Spanish-Revival architectural movement in Santa Fe.

The most substantial changes occurred with the purchase of Sanbusco by Joe Schepp's in 1984. Changes to massing, removal of almost all historic material, and changes in openings were part of the extensive renovations that occurred when Sanbusco Market Place was being constructed. The large addition to the southwest corner of the building which housed Borders Books also substantially changed Sanbusco by increasing the footprint and by its sheer mass which dominated the existing building. Between 1986 and the present, the exterior of the building has undergone regular renovation to accommodate retail spaces. The only historical materials remaining on the building are historic brick found on the southeast corner of the south elevation and pen tile found on the north elevation of the building.

While the history of Sanbusco is valuable in regard to the development of the Railyard District, little of the original historic material and character of the building remain. The current status of the building is contributing to the Westside-Guadalupe Historic District and the applicant is asking that the building be downgraded and non-contributing.

Butler and Foley Building

The Butler and Foley Building is the former location of World Market at the Sanbusco Market Center. The estimated date of construction of the building is 1930 and is constructed in the Territorial style. Little in the way of massing changes and opening changes have occurred to the building over time. One of the most defining aspects of the building is the second floor, north elevation clerestory which defines the arrhythmic window and door pattern used to define the architectural style of the Railyard District in the 2002 Railyard District Master Plan. Other notable characteristics of the building can be seen in the massing and openings of the south and east elevations of the building.

The historic character of the building has been maintained over time and few historic materials have been removed that impact the exterior of the building. The building was upgraded to contributing to the Westside-Guadalupe Historic District in 2016.

Parking Shed

The parking shed found in the north parking lot of the property mimics the design and overall construction material that would have characterized the parking shed in former years.

However, the recent historic architectural survey estimates that 75-80% of the material for the parking sheds is modern and is non-contributing.

New Student Dormitory

At the September 27th, 2022 hearing the applicant presented proposed designs for the New Student Dormitory that included the following:

- 1) The proposed dormitory building will be two story, 26'-2" at its maximum and approximately 19,130 sq. ft.
- 2) It will have a raised parapet with metal cap in a dark medium bronze finish.
- 3) The building will be organized into four massings differentiated by height and material finish.
- 4) The height is varied, stepping down to the lower portion by approximately 1'-10" to the adjacent Italianate gallery. The overall height is approximately the same as the east entrance to the school on the gray Sanbusco façade.
- 5) The finish material include:
 - a. Stucco in El Rey 'La Morena' on the north portion
 - b. Stucco in El Rey 'Buckskin,' and
 - c. Corrugated metal panelling (stainless finish) on the southeast and southwest corners.
- 6) On the north elevation, a metal canopy in dark bronze will front the interior courtyard and cover an inset entrance of aluminum framed glazing.
- 7) On the south elevation, storefront glazing will be located under a decorative steel portal with trellis that will be a dark bronze finish.
- 8) Windows will be aluminum framed with a dark bronze finish.
- 9) The roof will be a TPO system in tan color.
- 10) A perforated steel fence with rusted finish will be added to the southwest portion of the property.
- 11) Repurposed brick will be used for paving.

At the same hearing, the HDRB gave comments. Public comment was heard. Staff delivered the minutes and a summary of the comments to the HDRB. The HDRB provided review. The comments and minutes, which are included in the provided packet, were provided to the applicant. Since that time, the applicant worked to update their designs in an effort to resolve comments from the HDRB. They also met separately with the Old Santa Fe Association regarding their comments, which were supplied to the HDRB.

Now, the applicant returns to the HDRB with a revised design for the new construction of the detached student dormitory building in order to resolve comments by making the following adjustments:

- 1) Change the footprint shifting the east façade away from the property line by 6'-0",
- 2) Reduction of the material palette from two colors of stucco and metal sliding to metal sliding and umber steel panels, eliminating the brown and light stucco,
- 3) Changes to the massing, parapet heights throughout the building and specifically on the south façade,

- 4) Redesign the east façade by adding a change of planes, vertically aligning windows, changing materials to unify with the rest of the NMSA complex, and modulating the height and parapet.

STAFF RECOMMENDATION

Staff requested a determination from the HDRB on whether comments from the HDRB during the September 27th, 2022 hearing were resolved for the proposed project in regard to the application's compliance with Section 14-5.2(M) State Capital Outlay Projects.

Ms. Piccarello noted sample recommendations are available and attached as Exhibit "1".

Vice Chair Guida summarized the task was to review a revised design. Because the applicant is a state-funded school, the Board returned comments during the initial hearing and in writing, to the applicant. The applicant has revised the design and returned to the Board to determine if the changes meet the satisfaction and intent of the Board.

Ms. Piccarello said this is within the 60 day window and comments were summarized and given to the applicant. The applicant also met with community groups and the Old Santa Fe Association to address further concerns. The packet also contains the comments and the responses to comments.

Vice Chair Guida confirmed the three options for recommendations.

Member Biedscheid asked to clarify who would receive the recommendation.

Ms. Piccarello said it was only for recommendation #3 that would be a recommendation to the Governing Body. The Governing Body has the authority to put together the state and local board.

Member Berkley asked to clarify that if #3 goes to the Governing Body it would not come back to the Board.

Ms. Piccarello said that was her understanding. She said staff asked that the unresolved issues be well described.

Member Aguilar Medrano asked if the motion contains specific conditions, like #2, would those conditions be submitted to staff or the Board for final approval.

Ms. Piccarello said there is a note to specifically describe the conditions, which will come to staff for approval. But the conditions must be very specific.

Attorney Ruybalid added that conditions imposed by the Board must be specifically agreed to by the applicant. The applicant must say they can comply, or he recommended the Board find that the design issues were not resolved.

APPLICANT PRESENTATION

Colleen Gavin, 130 Grant Ave. was sworn in. She showed a rendering of the revised design. She referred to the Capital Outlay provisions in Chapter 14 noting two points: 1) the HBoard shall work collaboratively with the state (NMSA) for compatibility of the project and consider reasonable cost and functionality. She said the comments were taken to heart and task on a challenging project. 2) The state shall make every reasonable effort to obtain input from members of identified committee groups involved in historic preservation in Santa Fe.

She reviewed the timeline of the project: June 30th the first meeting with the Historic Santa Fe and OSFA neighborhood groups. July 13th a meeting was held, and the input is reflected in the revisions in design, in concert with input from the City. July 27th OSFA requested a second meeting which they accommodated on August 9th with additional feedback. August 15th the first draft was submitted, and input from the City and community groups was received. On September 27th they presented their design reflecting that input. On October 14th feedback from the Board was received with five clear directives. They moved forward with that input as well as from other Board members. The 60 day period then started and at the request of OSFA, they held an additional meeting October 17th with three OSFA members. Again, they were presented with design recommendations. They worked with the City from October through November to address input received from October 17 and the continual input from the City and Board feedback. On November 11th, They formerly submitted a response to OSFA and on November 7th plans which were revised after additional input were submitted. The final submittal was on November 16, 2022.

She noted there had been a lot of back-and-forth and collaboration, time, thought and consideration in every step. Since July of this year, they have worked to incorporate the feedback and honor the mandate of NMSA to provide housing, the program, and a structure in the location available.

Ms. Gavin summarized Board Comment #1, to address the overall size and massing of the building and how it could be moved back from the east property line. They aggressively squeezed square footage and gained six feet more from the building.

Ms. Gavin moved to the design changes requested by Vice Chair Guida. She displayed a graphic of the current plan and on the floorplan noted the setbacks. Comments about moving square footage to the southwest area were addressed; they cannot move into the fire lane. She explained rearranging things to meet the request

resulted in the fire access and the egress internally being blocked. The result is a noncompliant 20 foot long corridor. To resolve the circulation requirements would cause them to lose the amount of restroom facilities required and further result in greatly affecting the functionality.

Ms. Gavin said Comment #2 addressed the multiple materials and feedback to simplify the masses. She displayed the elevation of the east façade and the current design in several slides to show how they used the input to tie into the Italian Eight building.

Comment #3 was on parapet heights and massing, particularly on the south façade. The previous and current designs were shown with simplified elevation and without yardwalls. The parapet heights were adjusted to be in concert with the massing and materials.

Comment #4 to provide more interest with formal height and massing shifts is in line with what was just discussed. The south elevation current design carried the simplification throughout the entire building.

Comment #5 about the east elevation and the window opening had a comment to create a vertical statement of the window. The feedback from the City was not viable because the second floor structure was in the center. The previous east elevation and the existing elevation and revised elevation were shown.

Ms. Gavin said since July the applicant has willingly participated in the process and is open to input. She thanked staff for their willingness and communication.

Member Aguilar Medrano commented on what she thought the successful changes were. Changing the material and color on the east distinguishes it from the Italian Eight building. Also, the reduction in parapet heights on the east side helped. She said she was still concerned that the siting of the building detracts from the Italian Eight building and pattern and proportion of the windows in harmony with the streetscape. She thought the 6 feet setback was needed. Her previous comment to shift some of the programming to the southwest corner assumed that the adjacent parking spaces could be reevaluated to maintain the fire access. Keeping them intact seems to limit adjusting the footprint. She asked if keeping the parking spaces as they currently are, is a requirement.

Ms. Gavin displayed a graphic of the site plan prior to phase 1. The Art Institute had to go to the Board of Adjustment for a special use permit. As part of that process NMSA architects were required to work with the Fire Marshall. She noted a memo with the requirements from Ray Gonzales, acting Fire Marshall. This was vetted carefully and getting to every building is a requirement. It is imperative to provide safety to the

school campus and they looked at everything possible. Also, the parking space counts were part of Board of Adjustment approval based on use. The application discussed the dormitory at that time. They are not able to move the access point for the fire lane or reduce the number of parking spaces.

Member Aguilar Medrano thought adding the black pattern between the windows appears another material was added and on the south façade appears that caused some of the windows to be removed. She said there are opportunities to add more windows on the east façade. Given that the building was only pushed back 6 feet, she wondered why more windows were not included.

Ms. Gavin said the east façade basically consists of a fire egress. She noted the staircase where the windows were was tricky because of the angle. They took a lot of square footage out of the southeast corner. This is a private entity's residence facing Market Street and there have been issues with activity in the Railyard. They must provide the privacy for people to live there. This is about maintaining a sense of community and safety for the students. They could look at adding windows higher up on the east façade, but the space is precarious.

Member Aguilar Medrano said she was disappointed there were not more windows on the east given the other feedback could not be fully met. She said downtown has condos and all have windows and accesses that face high-traffic areas. She said even at the entrance is an opportunity to add another window.

Vice Chair Guida said he appreciated the applicant's efforts to follow process in comments with staff and in the engagement work. The applicant not only did their homework, but there is a dramatically improved design. He said he is satisfied that most of the Board's recommendations were heeded, most notably, allowing the Italian Eight building to stand on its own with the footprint to be a background entry. That was successful. Also, the south façade is dramatically improved and now has more character. He liked the use of black in the entry and uniting the vertical windows. He thought this a clearer expression of massing and material and parapet height.

He asked what the materials for the yard wall would be for the solid portion and more information on the dark metal panels.

Ms. Gavin said the solid wall is proposed as a burnished block, the original material for the walls. She showed a sample of the dark metal panel. They want a product that is a nonreflective umber panel similar to the Violet Crown panels. A rusted or Corten panel is a maintenance disaster. They would like a painted finished material that has longevity so it will not fade and a softer darker tone to break up the massings.

Vice Chair Guida said Violet Crown is an excellent reference point for that.

Member Berkley said everyone here believes strongly in the project in general. She said everyone is glad the applicant is looking out for the quality-of-life of the students.

She wondered on the conversation of why the footprint of the building cannot be moved, if there was discussion on the donation of those spots or moving the lanes for a greater setback of the building.

Attorney Ruybalid asked if the panel shown had appeared on screen.

Ms. Gavin noted NMSA representatives were present. She displayed a graphic showing the area for the dormitory in the Phase I renovation in 2018 prior to the issuance of state funds. The funds allocated can only be used for what was identified in the document provided to the City for the file. The area extends down and ends where the fire lane is because the master plan accommodates all elements of the campus. She said the question has been asked by many why NMSA can't just get more land or reroute the fire lanes or the Art Institute cannot just give NMSA the land. She explained the Art Institute is a nonprofit separate entity and NMSA is a state entity. Each have clear missions but work in conjunction to fulfill an educational opportunity. State funds cannot be used on NMSA improvements or property. The cafeteria structure when built, was independent of the Sanbusco building.

Member Biedscheid asked if the yardwall was reduced in height and if CMU block would be used anywhere else on the property.

Ms. Gavin referred to the south elevation drawing and noted the walls and fencing are still eight feet for security reasons. The burnished block is CMU block, polished and the property has numerous wall materials. There is everything from pentile to raw CMU, stucco walls, and wood slats. The intent is to have a more cohesive look.

PUBLIC HEARING

Those wishing to speak were sworn in and instructed to state their name and address when they approached the podium.

Elizabeth West, 318 Sena Street previously sworn yielded her time to Frank Katz.

Frank Katz said he could not understand why the City would let this case undermine the process to impose its design standards on the state, county, and school district projects. He said for many years the City did not think they had that authority. In 2008 the state proposed a parking garage with a generic, noncompliant design. As the City Attorney at that time, he reviewed the state statutes. He concluded the City does have authority to impose its design standards. The City and State negotiated the

design, and the collaborated design was a vast improvement. That was the model to amend the Historic District Act they now operate on. He read from the act which says that the state, districts and counties shall collaborate in good faith to preserve and protect the historic districts.

Mr. Katz said City Code is clear that the work of working with the state is delegated to this Board. State law does not allow the Board to function in its normal quasi-judicial role. Board members could discuss with the agency during the 60 day period, outside of a noticed public hearing. If that discussion doesn't produce a design that complies with the City design standards, although it fills the state's programmatic needs, state law gives a quasi-judicial option. The City can give notice to require the appointment of a state, local government HDRB. That independent board would be the deciding entity.

He said there has been no collaboration between the school and the City. The school failed to follow the first step of the statute, to talk to the Board before the design phase. The school presented their completed design to the Board at the public hearing. The Board listed their concerns, but no discussion has been held thereafter in the 60 day period. He said there is a sense the NMSA, and City staff is evading consultation and collaboration, and the Board essentially is urged to take what is before them. He said John Eddy would describe what was proposed by OSFA as a possible alternative, and Adam Johnson would outline two other options.

Ms. Piccarello gave guidelines for those who yielded their time.

Vice Chair Guida asked that another OSFA member yield their time to Mr. Katz, as he spoke for 6 minutes.

Attorney Ruybalid pointed out Robert's Rules of Order discourages a person yielding time to another unless a different rule is adopted in advance by the Board.

Vice Chair Guida said there was only one mention of someone ceding time. He said he was inclined to proceed with Robert's Rules.

Attorney Ruybalid added that a motion to amend would require two thirds majority vote.

John Eddy, #14 Avenida Campo Verde, previously sworn, spoke on the role of the Old Santa Fe Association to communicate recommendations and comments in writing to the state. OSFA had submitted recommendations on October 7th offering a way to meet the concerns the Board expressed. On the most crucial concern to move the eastern portion back, the revision removed a few rooms from the east end of the dorm. He said NMSA said that moving the rooms was not possible under the anti-

donation clause. This is a state funded dorm which must be all on state land. Mr. Eddy said the land to the south is owned by the Art Institute. OSFA's response was since the Art Institute is NMSA's partner and their students will live in the dorm, the Institute could transfer 500 feet to augment the dorm. He said neither NMSA nor the Art Institute responded to OSFA's suggestion. He said if there are clear, factual reasons a transfer is not possible, those should be shared in this discussion.

Adam Johnson, 121 Arroyo Hondo Trail, was sworn. He said the Board's only chance to talk with the applicant had been in a hearing. He said there may be insurmountable reasons that block the land transfer, and if the Board is satisfied with the solutions presented, they should approve the design. If not, OSFA asks that the Board recommend the Governing Body refer the case to the state and local government historic review board to resolve the matter. He noted that recommending that requires the Board to explain what is not in compliance with City design standards and why. He said second, this deadlock is a result of failure to allow consultation opportunities, and third, how evading the collaborative process gives all future sister governments a signal they can put out their design without meaningful conversations. He added another option is to toll the 60 day period for time to resolve a potential land transfer, and compel collaboration between the applicant and community, including OSFA. That could give time to understand the possibilities and satisfy both the City design standards and the school's programmatic needs.

Jennifer Jenkins, 130 Grant Avenue, was sworn. She said she is here as a proud parent of an NMSA alumni. She said this is a really big deal. She appreciated Member Berkley's comments about the love for this institution and what they do. She said the community talks a lot about what we can do to support youth, but everyone knows we don't do enough. Tonight, is their opportunity. She asked the Board to use their power and do that now.

James Rutherford, 403 Canyon Road was sworn. He said he agrees with the last speaker. He has lived in Santa Fe for decades. He said NMSA is one of Santa Fe's greatest success stories. He believed the public interest would not be served and there is no discernible benefit and punitive to delay the dorm. He urged the Board to put the needs of the students first and approve this expeditiously.

Lisa Gavioli, 130 Grant Avenue, was sworn. She read a letter into the record written collectively by the NMSA dorm students. The letter is attached as Exhibit "2".

Tatiana Lujan, 1430 Galisteo Street, was sworn. She is a senior at NMSA and spoke on behalf of the dorm students. She said we are at a disadvantage living off campus. They miss afterschool opportunities like academic and special instructions, social events, and simply being part of the NMSA family. Another reason is transportation and the expense of riding a bus and all that entails.

Deandro Contractor, 924 Shoefly Steet, was sworn. He came to speak in favor of the school. He said he is an architect, and this is consistent with the neighborhood. Some of the objections could significantly change the design which is unfortunate. He thought overall, the design suffers from the lack of a progressive zoning code.

Jay Myers, from Silver City, New Mexico was sworn. She said as a current residential student at NMSA and a junior, wanted to stress the importance of the dorms. Silver City is about a 5 hour drive and she either has to commute back home or stay at a friend's house. Having dorms on campus would mean access 24/7 and are necessary for a cohesive and beneficial education. She said she spends a lot of time thinking about how to get home every weekend, which negatively affects her education. She wants to express the dire need for the dorm and for the dorm students.

Stefanie Beninato, PO Box 1601 was sworn. She said the Board needs to look at the design, the compatibility, and the process. She said those speaking from OSFA made good points and tolling of the period to look at possibilities for land transfer is a good idea. The building should be set back because it overwhelms the historic building and is not compatible. She said she understands the anti-donation clause, but the cafeteria is on non-profit land.

BOARD DISCUSSION

Vice Chair Guida said he is always happy OSFA members are invested in the community and the public process. He said that is a model of participation other community groups could learn from. OSFA is not the only preservation or community group in town. There were accusations that staff and the applicant had not been transparent. His view of the process is it is well defined. The Board deliberated on this design and provided comments. They are fortunate to have a well-qualified city staff that worked per the Board's direction and with the applicant to move the design forward. Some designs do not require constant back-and-forth. He said he couldn't understand derailing the project, complicating the process, or trying to usurp the authority of the Board to deliver a decision.

He said there are very qualified people on the Board, and he was anxious to hear their impressions of the design and what action they would like to take.

Member Bienvenu said what is important to him is this area the school is situated in is compromised from an historical point of view. This is an important part of Santa Fe and becoming a vibrant area. A big reason is because it includes a residential art school and attracts students from all over the state and country. That is important in considering the usage of the property. At issue is the east side and south side of the property faces noncontributing structures. He said we think of that as an historic district because there are some significant structures. What is clear in that area is that the

School has become one end of the Rail Yard Arts District. The brick building is a beautiful building, said by the Governing Body to be noncontributing. That limits the Board in what they can do with structures built next to it. The most important factor in deciding is if this is in general harmony and not in conflict with the Historic Ordinance and with this campus. Sanbusco is no longer an historic property. It is critical that we not add accretions inconsistent with the current development. He said the revised plan is favorably disposed toward that.

Member Bienvenu said one main concern is still the east façade. The treatment of materials is an improvement, and the window treatments and massing are better. But it still gives an impression of elevator shafts in a commercial building. He would like that resolved without the need to go through the review board process.

Vice Chair Guida asked if member Bienvenu's objection was to the continuity of the window slot and its interruption of the parapet.

Member Bienvenu said yes. He thought it an improvement, but that is the most important part of the property. The real view of the school is now from Montezuma Street. He said he didn't have a huge problem with the depth of separation of the east façade to the brick building, but the face of the façade could use architectural design improvement. He said other than that he was satisfied with the design. He thought the metal panels an improvement but would be concerned if there were many more material changes.

Member Biedscheid thanked everyone who spoke. She said she appreciated OSFA's comments and particularly the students who spoke. She said thinking about the school's functionality in terms of preservation, the Board's role is to support state projects in addition to balancing that with the historic agenda. The school location is perfect for an arts focused school. The gallery concentration around the school is meaningful and supportive of the students. And the students' creativity and enthusiasm support the gallery.

She said the design reflects the Railyard and historic district objectives. The color scheme allows the gallery to be highlighted and the material changes are considerate of their surroundings. She was not concerned with the setback because landscaping can soften the edge. The school is starting to define a different use for this portion of the Railyard. The school's prominence to the street is fine; it needs to be noticed. She said she saw no reason to delay the project.

Member Bienvenu said he also had concerns about the lettering on the sign, which strikes him as inappropriate. He wondered if the applicant would be willing to adhere to the 20 inch lettering rule. Especially since a very prominent sign is already there for the main entrance.

Ms. Gavin said the signage was just a graphic representation and has to be reviewed to get a permit. She said they are receptive to making that comply.

Member Berkely commented on the process in general. She said she heard a lot of comments, but there didn't seem to be much cohesion in the process. She was hoping this case could serve as a model for the future for more clarity and communication.

Ms. Piccarello indicated she had a small alteration on the sample motion recommendations, in the verbiage. She asked in the first and second recommendation for the Board to replace the word "design" with "*project*."

Member Bienvenu asked for clarification from staff on how to permit the ongoing design consultation with respect to the east façade since the applicant indicated they were prepared to entertain additional design alternatives.

Ms. Piccarello said it must be specific due to the timeline. She said if the Board had a specific condition, it should be described. That may require more Board discussion.

Vice Chair Guida asked if any of the design suggestions the Board was clear about, should be a matter of conditioning the approval as per motion recommendation #2; or are they be in the territory of #1.

Ms. Piccarello said that would be #2.

Attorney Ruybalid added the important thing is that the Board cannot impose conditions which the applicant has not specifically said they could meet.

Member Bienvenu asked to hear what the applicant will agree to on the east façade.

Ms. Gavin said in response to the comments, on the east elevation they feel it appropriate to add additional windows to create more interest. That would still provide privacy in the residential units on the corner. That is a living space and a bedroom. They are open to adding clerestory windows that are proportionally appropriate in the two spaces. She said they can look at the landing locations on the stairwells and at adding a window on the second floor. She recommended any window on the first floor be much higher elevation in sill and head height, for security and privacy. Minors will be living there, and they want to be sure their home is secure and private.

Vice Chair Guida asked if they are also willing to bring the signage into compliance.

Ms. Gavin said they are willing.

Vice Chair Guida said the vertical slot on the windows going past the parapet, chops up the building too much. He thought the suggestion for additional windows where possible, and the vertically united windows on the east most portion of the north façade facing the courtyard not going to the parapet, with the parapet continuing over the window, was a better solution.

Member Bienvenu said he appreciated OSFA's role in the process throughout. Their consultations with the applicant resulted in a much better building. He said he was sorry it does not meet all of their concerns, but their involvement had been extremely important. He agreed that the consultation process might have been followed more deliberately, such as creating a committee, but didn't think in this case it would have resulted in a different outcome.

MOTION: In Case 2022-005859-HDRB, 500 Montezuma Ave., Member Bienvenu moved that the Board finds all HDRB issues have been resolved regarding compliance of the new dormitory with the historic design standards for state capital outlay projects, in Code section 14-5.2(M) with the condition that the design and the project must comply with all applicable provisions found in Chapter 14, land development, and the specific conditions agreed to by the applicant that all signage conforms with the standards imposed on the historic district in question, and additionally windows will be added to the eastern façade that provide adequate privacy and are architecturally appropriate, and that the vertical windows will not go all the way to the top of the parapet.

Attorney Ruybalid said it was appropriate to ask the applicant if they could comply with the recommendation.

Ms. Gavin said yes, they can comply with the recommendations as stated.

The motion was seconded by Member Biedscheid.

Member Aguilar Medrano asked if the number and size of the narrow windows should be quantified. She wasn't sure one window satisfies what she wanted.

Member Bienvenu suggested they say "more than one" to avoid work shopping the project. He said at some point they have to rely on the architects' good faith to comply.

Vice Chair Guida confirmed that more than one window would be acceptable to the applicant.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

2. **2022-005471-HDRB. 110 Calle la Peña.** Downtown and Eastside Historic District. Peter Wilson, agent for Kevin Scott, owner, proposes three portal additions totaling 543 sq. ft., window and door alterations, raise parapet height (14'); rebuild and extend courtyard portal; re-stucco on a contributing building. Exceptions are requested to 14-5.2(E)(1)(a) for doors that are not of Old Santa Fe Style and to 14-5.2(D)(2)(c) for an addition to a primary facade. (Carly Piccarello)

STAFF REPORT

110 Calle la Peña is a 2,807-square-foot two-story residence with attached casita, listed as contributing to the Downtown and Eastside Historic District. Constructed in the late 1940s, the Spanish-Pueblo Revival Style U-shaped structure began as a simple one-story adobe rectangle with its entrance on the south elevation. A two-story addition was constructed on its east elevation and a rear casita was connected on its west elevation in the 1950s. The two-story portion is the house's front today. A rear courtyard casita was added, and the south entry portal was infilled. The building consists of three separate apartments currently.

Its defining features include its eastern elevation with its shallow inset balcony, carved wood railing, and steel windows of varied sizes and lite patterns. Windows are single-pane fixed, double-pane divided lite, steel-frame casement windows and glass block. Its north elevation contains a large plate-glass window believed to have been designed for an artist's studio, per the applicant-provided 2022 Historical Cultural Property Inventory. The aluminum window is 11'2" x 8'8". The windows have exposed wood lintels that extend beyond the window and door widths. The 6' stucco east yard wall and gate arches were added since 1990.

Both the 1991 and 2022 Historic Cultural Property Inventory forms describe the multiple historic alterations between its original construction in 1948 and subsequent five decades. The applicant also included a history of the property's original developers and builders and the construction history of the main building and casita. According to the applicant's history, the developer of the subdivision that is now Calle la Peña was H.H. Dorman (Harry Howard) "who recognized Santa Fe's unique buildings and urban form and was an early advocate of historic preservation in Santa Fe." The applicant's background research states that many of Dorman's proposals for preservation became part of the 1957 City ordinance that formed the basis of today's Historic Preservation

Code. Of note, the recent (2022) HCPI states that the “Calle la Peña covenants allowed for only Pueblo or Spanish Colonial Style.”

The historic building with its multiple historic accretions contributes to the Downtown and Eastside Historic District as the original house in an uncommon cul-de-sac layout and built originally of adobe in the Spanish-Pueblo Style architecture. Its additions, including its second story and rear casita, are historical alterations that maintain its historic character. Its historic construction “story” includes its various construction methods and materials.

On July 12th, 2022, in case 2022-005345-HDRB, the HDRB maintained the structure’s status as contributing. The Board designates the east elevation of the main house the primary façade, facade 1 (including 1(a) and 1(b)). On October 25, the HDRB postponed this case for redesign.

In that hearing, the HDRB stated:

That the existing house is contributing because of its eclectic features, is a Spanish Pueblo revival house with 1950s metal casement windows and has a mix of building volumes that have been documented in Board discussion and the HCPI that occurred over time. The main recommendations are that the applicant address the Board’s desire to retain a greater degree of the eclectic in the current design, especially regarding the proposed doors and door replacements. As much as possible the applicant should retain the existing wood carved doors where possible, and at least include door #6, and may include others and the existing front door. Regarding the metal door product recommended for replacement, generally speaking the metal casement window is favorable but with a different handle set than shown on the product sheet, and where the light pattern becomes horizontal, should add a vertical division in the light pattern on most of the doors with the exception of what is currently proposed on the primary façade. Lastly, the large studio window on the east façade is significantly character defining and should either be retained, or if replaced, its existing light pattern should be reproduced. And on the recommendation in lieu of the proposed wrought iron guardrail on top of the garage, that the applicant investigate raising the stucco parapet and not have a railing which would eliminate the need to pursue an exception. The color sample shown in the packet is darker than what appears on the current house and existing, and the Board would like color samples in a lighter tone more accurately reflecting the existing. Also, that the applicant changes the color of the proposed wood trim on the non-primary façades to match the existing Iron Ore color proposed on the primary façade.

Now, the applicant returns to the HDRB and proposes the following exterior alterations:

East Façade (Primary)

1. Replace existing wood Door #11 on second floor with a new aluminum clad front door with glazing in the existing opening.
2. Remove cable railing on second floor and raise the parapet in the same location and raise the height of the parapet by 1'-9" to 12'-9". An exception is requested for
3. Add a carved wood pedestrian gate to the curved courtyard wall and extend wall, which is non-contributing. Add masonry pillars to form an archway over the gate.

North Façade

1. Replace existing multi-light (4x5) steel windows with a pair of aluminum clad doors.
2. Add an 18" deep corbel and latilla overhang at this door.
3. Replace aluminum storefront window 'B' with a new aluminum clad wood divided light window. The existing opening and lintel will be preserved.
4. Construct a 139 sq.ft. Spanish Pueblo Revival style portal on the existing yard walls with timber beams, columns and corbels and a stucco parapet at 11'-0".
5. Replace the wood fence with a 6'-0" masonry and stucco yard wall with carved wood gate.
6. Replace all windows on this façade except for the second story window. West Façade
7. Construct an 80 sq.ft. timber and latilla Spanish Pueblo Revival style portal.
8. Raise the studio's parapet height by 2'-9", raise the floor level 8" to address site drainage. The existing non-historic ceiling beams are 7'-7" high. The overall proposed height of the Studio parapet from lowest natural grade is 12'-3".
9. Replace existing window E with a new aluminum clad wood and glass door 4 using the existing window opening.
10. Replace window F with two 3-over-1 windows. South Façade
11. Remove exterior non-historic, wood stair.
12. Raise the parapet and floor level of the studio as noted above.
13. Replace window J with a new aluminum clad wood window in the same location but larger than the original. Courtyard Façades
14. Remove enclosed portal and windows U, V, W & X and wood and glass door #15.
15. Construct an approximate 700 square foot Spanish Pueblo Revival style portal which wraps the east, south and west sides of the courtyard. The proposed height of the new portal is 11'-6".
16. Add two aluminum clad wood and glass double doors #7 and #8.
17. Raise the parapet and floor level of the Studio as previously noted.
18. Replace existing steel Window K with a new clad wood window matching the size and pattern of the existing window. The new window matches the location of the existing window.

19. Replace existing steel Window L with a new clad wood window matching the size and pattern of the existing window. The new window matches the location of the existing window.
20. Replace existing glass block windows with an aluminum clad wood window.
21. The entire facade will receive new El Rey buckskin color cementitious stucco with fine aggregate. All Façades except the east and primary
22. Replace all windows on the north, west and south facades except where noted with double glazed thermally broken metal clad Marvin Signature Ultimate Narrow Frame casement clad wood windows in Ebony with 5/8" square divided light muntins.
23. Replace all doors on the north, west and south facades with except for Doors #1, #5, #6, #17 and #18 with Marvin Ultimate Swinging Narrow Profile Door aluminum clad wood in Ebony with 5/8" square divided light muntins. Replacement Door #9 are custom steel doors in ebony. All Facades
24. Re-stucco in El Rey buckskin color cementitious stucco with fine aggregate.

STAFF RECOMMENDATION

Staff found that the exception criteria has not been met for 14-5.2(E)(1)(a) and the Board's comments have not been fully resolved, but the Board may find that they have with further testimony. Otherwise, staff recommended approval of the application as for its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District with the conditions the door replacements should add a vertical division in the light pattern on most of the doors with the exception of what is currently proposed on the primary façade and the large studio window on the east façade is significantly character defining and should either be retained, or if replaced, its existing light pattern should be reproduced.

Ms. Piccarello stated a correction that it is the *north* façade, not east façade.

She reminded the Board they would make recommendations to the Governing Body on the exceptions except for height.

Vice Chair Guida asked if these would go to the Governing Body as individual cases or on consent.

Ms. Piccarello said it would be on the consent agenda for approval unless pulled for discussion.

Member Biedscheid asked if that was a direction from the Governing Body.

Ms. Piccarello explained it was not; it was a legal advisement.

Member Biedscheid said there shouldn't be a change midstream without formal direction from the Governing Body. The Board has operated and approved exceptions and cases that were filed under that assumption. She thought this didn't seem right after the years of precedence.

Ms. Piccarello deferred to Heather Lamboy, Assistant Land Use Director.

Ms. Lamboy said she understands this would be a change and the Board is well-suited to act on the exceptions. She said Staff will send the legislation to the Governing Body as soon as possible and reference the practice. It will be clear the Board should continue to act on exceptions and those cases would only go to the Governing Body if appealed. She said Staff understands the Board's concern.

Attorney Ruybalid said he understands this is a departure from the procedure that has been followed. He said he and the City Attorney were reviewing the City Code regarding procedures on the sign for Lucchese.

Vice Chair Guida said the point made by Member Biedscheid and that he had voiced in the last hearing, is that this issue was caused by the City Attorney's Office. It is an inconvenience to the Board and the applicant. He said he appreciated staff's efforts to resolve the issue. He didn't want to go into that tonight.

Attorney Ruybalid said he would ask that the Board make a recommendation to the Governing Body. He assured the Board that both staff and the City Attorney's Office recognized the subject matter expertise of the Board. Code requires a recommendation but is in no way a lack of confidence in the Board. They need to follow Code until amended.

Member Biedscheid asked if the Board is able to approve exceptions tonight until the Governing Body resolved this.

Ms. Lamboy said the Board is to make a recommendation to the Governing Body and staff will take that to the Governing Body for consideration. Staff is working on a process to make it a consent agenda item, not another hearing. She will report on their progress to the Board.

Member Biedscheid said she had no doubts about the Board's qualifications. Since she has been on the Board, she has been able to approve exceptions and Legal advised the Board on the interpretation of Code. This has never been an issue before. This should be formalized by the Governing Body before changing the way things have been implemented for a long time. She asked for Member Bienvenu's opinion because she thought the process was in the wrong order.

Member Bienvenu said he shares the frustration and understands what the City Attorney is saying. He said as he understands they ended up here because of the way Code is written. He said the new city attorney and assistant city attorney have reviewed the ordinance and note the language reads that the Governing Body is the entity that gives exceptions, and this body is to make recommendations. He felt the Board is required to abide by the City Attorney's advice.

Member Biedscheid said she thought the Governing Body seemed to have delegated that authority to the Board over time.

Member Bienvenu said he had always assumed that delegation had taken place too, but he defers to the City Attorney.

Vice Chair Guida said the Board will proceed with recommendations to the Governing Body. He asked if there was a timeline for the text edit resolution or a working resolution for the Governing Body.

Ms. Lamboy said she and Ms. Piccarello are working on the text. The City Attorney's office will review that and then it will come to the Board. They estimate a three to six month process.

Member Biedscheid asked if the Governing Body understands that the recommendations will be added to their agenda.

Ms. Lamboy said she wasn't sure. They have been working with the office of the City Attorney and City Clerk's Office to get it on the calendar.

Member Biedscheid asked if cases with exceptions should be postponed until the issue is resolved. The Board is operating on an ill-defined set of opinions.

Ms. Piccarello said that was briefly considered. Not knowing the timeline, a concern was projects could potentially be held up for months.

Member Biedscheid said the other alternative could be that the Board continue to operate as they have until resolved.

Ms. Piccarello said that was also discussed but everyone is working on this to come up with best solution. Tonight, it means that the Board will recommend to the Governing Body.

She said when the Board was ready, staff would continue with the case.

Vice Chair Guida thanked Member Biedscheid for raising the issue. He said it is important. It should be clear the Board does not agree with this, and every attempt should be made to resolve this as soon as possible.

APPLICANT PRESENTATION

The applicant's representatives were sworn in.

Peter Wilson, 755 Dunlap Street, was sworn. He said they appreciated the comments and thoughtful constructive criticism from the last meeting. The Board suggested raising the parapet and that was done. And suggested keeping as many carved doors as possible. They have identified the most special doors; the front door, the panel door on the back, the door on the studio space and two interior courtyard doors. Most of the exterior doors they propose to change are glazed and only three doors facing the inner courtyard have a full glazing. A suggestion was to consolidate a series of small windows at the back of the building. They created two horizontal openings of similar scale and proportion of the windows. Also, the uniformity of the proposed portals was mentioned. They have made a simple timber/latilla. The questions on the color have been clarified and is much darker and is in the submission.

Vice Chair Guida said there was concern about too much uniformity in the replacement for windows and doors, and keeping the existing doors, when possible, but make them look less contemporary. He asked if fair to say the thing that wasn't changed significantly was the proposal for the replacement of the studio window. The Board's direction is that there is a lot of character defining elements and funkiness to the house in the historic details. Retaining the light pattern of the historic studio window was recommended. He asked if the Board would be getting something different in that window.

Mr. Wilson said they proposed a window style in keeping with the style of the house. That window is not historic and is not on a primary façade and is nonconforming.

Kevin Scott, 533 Agua Fria Street, was sworn. He said this is indicated by the HCPI and the window assessment expert. It is non-historic, nonconforming and an inappropriate window. This is a commercial storefront window with an aluminum finish. It is commercial because it is impossible to retain a residential window with this expanse of undivided glass. The decision was made for aesthetic reasons then as it is today this is a necessity. There is no residential window company that makes a window this large. He said when he asked staff if they would allow this to be installed in the district today their response was "absolutely not." He said it is worth stating two things: first, the reference to the "artist north facing window" is important and significant regardless of whether it was or not, and whether the opening is historic. That is relevant and important to the district. Secondly, if a commercial store front window is appropriate for

the opening. They want to keep this is an artist north facing window. They have discussed many times the right window for this. The purpose of this type of large undivided glass is to let light in. A relevant data point is to look at other north facing windows and you will see divided light windows with a grid. This does not reference the building, is completely random and doesn't support the midcentury modern character.

Mr. Scott said his question is if this is something they believe belongs in the district and contributes. He sees ego when looking at the building and a window that doesn't reference the building's history. The window doesn't affirm the architecture nor enhance the building's sense of time and place. It is not sympathetic or appropriate. He sees a window that is not good for the neighborhood and has no regard in defining the character of the historic district. He said this window is something someone wanted who is not concerned about the architecture, the neighborhood, or the historic district.

Vice Chair Guida said he appreciates his interpretation.

Member Aguilar Medrano asked the reason the two windows on the right hand side of the door on the west elevation are smaller in width than the Board saw last time.

Mr. Wilson said they are slightly narrower. There are 19 windows and 14 or 15 are steel casement windows consistent in size and light pattern. He made the windows on the west smaller to match all the others.

Member Aguilar Medrano said she couldn't recall seeing the same size windows on the other elevations.

Mr. Wilson said all the existing steel casements have specific proportions and he was working with that.

Member Aguilar Medrano said on the studio window, she wouldn't want the window replaced with the same light pattern. That wasn't something that would be approved today. She did think it still adds to the eclectic quality of the building. If all the other windows are being replaced except the ones on the primary façade, this is an opportunity to preserve this window. She was in favor of keeping it as is and would not replace it with a new window of the same light pattern.

PUBLIC HEARING

Elizabeth West, previously sworn, said the solution for the big northern light window is pretty much in keeping. She thought the solution was good.

BOARD DISCUSSION

Member Bienvenu said the redesign took into account almost everything brought up by the Board and they did a great job. The only issue left is the north facing window. He is inclined as much as it adds character to the building to favor the ability of the owner to modify it, given it is non-historic. He said we all appreciate small unusual, telling details, but he didn't think that was historic enough to not allow that alteration. The proposal meets the needs to retain the unusual opening, which speaks to the artistic history of the house and the district.

MOTION: In Case 2022-005471-HDRB, 110 Calle la Pena, Member Bienvenu moved to approve the application as submitted.

He asked to clarify if the motion needs to find that exceptions were met.

Ms. Piccarello said yes. There is the addition to the primary façade and raising the parapet height and the doors out of character are out of Santa Fe style. She said if he felt that no longer applicable, he should state an exception is no longer required.

Member Bienvenu said with respect to the parapet the motion includes a finding and recommendation that the proposed parapet doesn't damage the character of the district; is required to prevent a hardship or unique character and strengthens the unique heterogenous character of the City for the reasons stated in the application and staff report. With respect to the windows and doors, he finds an exception is not needed in this case.

The motion was seconded by Member Biedscheid.

Member Bienvenu clarified that his motion does not find that the exceptions have been definitively found applicable, but that the Board is making a recommendation to the Governing Body that that is the case.

VOTE: The motion passed by (3-1) roll call vote with Members Berkley, Biedscheid and Bienvenu voting in favor and Member Aguilar Medrano voting against.

H. NEW BUSINESS

1. **2022-006060-HDRB. 1160 Camino de Cruz Blanca.** AOS Architects, agent for St. John's College, proposes additions on the north, south, and east elevations at the Peterson Student Center, a significant building, located in the Historic Review District. Exceptions are requested for

additions to primary facades under 14-5.2 (D)(2) for additions on the north, south, and east elevations. (Heather Lamboy)

Member Aguilar Medrano recused herself from this case.

STAFF REPORT

The Peterson Student Center at St. John's College was designed by the architectural firm of Holien and Buckley and constructed in 1963-64 in a mid-century Territorial Revival Style. Holien and Buckley also developed the campus master plan. John Gaw Meem, who served as a consulting architect, described the modern interpretation of Territorial Revival Style as a reflection of historic precedent but also a new phase of the style. Meem noted that while the number and size of windows far exceeded that typically found in traditional Territorial Revival Style, walls still dominate rather than openings.

There were many functions planned for in the Peterson Student Center, which includes a great hall for lectures and events, campus bookstore, coffee shop, and a student dining room. Architectural detailing includes brick parapets, cast concrete columns, lintels, and sills, and metal doors and windows. The 45,653 square-foot building is comprised of terraced rectangular masses and the main entrance faces a plaza on the east side of the building. On March 14, 2017, the HDRB designated the Peterson Student Center as significant, which results in all facades being treated as primary.

The applicant is proposing additions on the north, south and east elevations as well as improvements to improve ADA accessibility. Except for the enclosure of the east elevation portal, the elevations have not been changed since the construction of the building. Furthermore, the southern portion of the east elevation was impacted by the grade changes in association with the construction of Levan Hall, and a stair was removed. The applicant is seeking to reintroduce the stair as part of the addition proposed on the east elevation.

The existing portal on the east elevation was enclosed after the construction of the Peterson Center and represents a non-historic change to the façade. The proposed addition on the east elevation helps to reestablish a portal on that façade as historically designed, adds a stair that was originally part of the façade, and provides for additional enclosed space on the second floor. In the opinion of staff, the proposed changes to the east elevation is consistent with the character of the building while not replicating the historic design. Staff has no objection to the east elevation addition.

A single-story addition on the south elevation is proposed in the place of the existing space known as the Schepps Garden. The addition will be constructed in a manner that it can be removed in the future to restore the historic elevation and is designed to avoid

impact to the existing windows on the east and west courtyard elevations. Staff has no objection to the proposed addition on the south elevation.

With reference to the proposed addition on the northeastern corner of the Peterson Center to accommodate for a bookstore addition, staff has concerns related to this addition. While there are considerations regarding the preservation of historic murals and design elements on the interior of the building, this portion of the façade represents a major impact to the appearance of the gateway to the St. John's campus. The Peterson Center represents the heartbeat of the campus and occupies a prominent place in the main entry to the campus. While it is recognized that structures change over time to accommodate changes in uses, code, or other considerations, additions on significant structures must be undertaken in a way that, if removed, the building could return to its historic appearance. The north elevation has defining features of the building, which includes a building step back, concrete columns and unique fenestration that was contemplated with the original design.

STAFF RECOMMENDATION

Staff recommended approval for the proposed additions and associated landscaping treatments on the east, and south elevations but does not recommend approval of the proposed bookstore addition because it does not comply with Section 14-5.2(C)(1)(d). Staff finds that exception criteria have been met for the proposed additions on the east and south sides as well as ramp, landscape, and entry door improvements in order to comply with the Americans with Disabilities Act (ADA).

Vice Chair Guida clarified that staff believes the exception criteria was met in the two additions. He asked on the exception criteria, if all four exceptions cited apply to all three additions, and if the same four exceptions were in play for each addition.

Ms. Lamboy said all four exception criteria do apply to all three additions. In the south and east elevations, staff believes that the new construction can be removed without impacting the integrity of the building. All four criteria apply but in the case of the bookstore that criterion is not met.

Vice Chair Guida said the Board has seen this case before.

APPLICANT PRESENTATION

Sean Evans with Mass Design Group (formerly ALS) 1121 North Luna Circle, and President of St. John's College, Mark Roosevelt at 1040 Camino San Acacia, were sworn.

Mr. Evans displayed a diagram that was not in the most recent packet. He said they took the Board's advice and scaled back the boldness of the addition. A critical

aspect is the preservation of the significant interiors by Alexander Gerard. He understands that isn't the purview of the HBoard, but it is the determining factor of the design and should be taken into account. A pink wall separates the bookstore and the coffee shop and if unable to build the addition, more than likely they would have to demolish the significant wall. They were asked for more information on the context of the campus and why these additions are necessary. He noted the site is hilly and the vast majority is unbuildable. There are two central campus quads adjacent to the student center. All of the existing lounges are within dormitories. There are no shared lounge spaces within academic buildings. Also important is the pink buildings don't exist but are approved on the land development plan in 2009 and must be reserved for large-scale academic buildings. On the bookstore addition they don't understand why staff felt this would not be reversible. It is structurally separate and could be taken down easily and the original building restored. The stucco on this building is not historic. The bookstore needs to be fiscally resilient. It is not turning a profit now and a tap on the college resources and must be profitable. Direction from the college on the interior design was to merge the bookstore and coffee shop. They will create a series of pivoting bookcases which can be closed. Both spaces would be open and can be merged when open and the addition allows an exterior path into the coffee shop. He said he didn't talk about the details of the landscaping but is happy to answer questions.

Member Bienvenu said everyone was in agreement the bookstore addition is the crux of the matter. He said if he heard correctly, if the applicant cannot build the addition that would impact the Gerard interior. He asked what the solution would be for that.

Mr. Evans said that involves removing a wall, two fireplaces and a brick wall with bancos and tables. The bookstore could then be expanded with additional shelving and the bookstore and coffee shop can be combined. He also addressed the complexity of the reversal in procedure. It would have a huge negative impact on the project and would go on the consent agenda. There would be at least a three month delay if the Governing Body accepts the findings tonight. He said they don't know how long this would be dragged out and could be a breach of due process and set a dangerous precedent. He said Santa Fe already has a negative reputation for development and construction.

Member Bienvenu said he understands his concerns and the Board shares them. He asked focusing on an alternative solution, how they would carve out the same amount of space.

Mr. Evans didn't believe they could get the same amount of square feet but could get the same linear footage for shelving.

Member Biedscheid thanked him for his overview at the previous meeting. She said she thought about the applicant's request and functionality of the school. She said

the significant status hamstrings the case. She questioned if any educational institution should be granted significant status. Schools and colleges are adapting and growing and changing over time. She said the changes proposed are sensitive and considerate. The current design was described as modified territorial, a regional interpretation of a forward-looking design. That is what they are doing now yet still acknowledging the past with the proposed additions. The exceptions are needed to achieve this and have to be approved but it also affects the status of the building. Granting the exceptions means the Board is also endorsing a reduction in status.

Member Biedscheid said in this case she was okay with that. The changes are sensitive. She thought the Board should reject the direction by Legal counsel. She asked if the Board could proceed with granting the exceptions. It puts City Council in a difficult position to grant something they are unfamiliar with in Code, and the impact of the Board recommendation may be farther reaching than City Council understands.

Mr. Evans said there is not a building in Santa Fe that hasn't been modified. He said he finds frightening that a change would result in a reduction of status. That is something the Board should caution against. Buildings have to change, and the City has changed over a thousand years. Significant buildings change, but it doesn't mean they are no longer significant, just a little different.

Member Biedscheid said she appreciated his perspective.

Vice Chair Guida said he agrees with the need for buildings to adapt, particularly on college campuses and would extend that to a lot of places in Santa Fe. Regarding the status and the exceptions outlined, he thought the real question was if this project if in any other preservation context would be an exemplary project. Retaining the character of historic and preserving the heritage and allowing it to adapt over time in a way that we understand what has changed and what remains, and the additions enhance the existing historic structure. Conventional preservation practice allows more latitude and is far less prescriptive than Code. Possibly after the Code rewrite it might be more sensible but opening a can of worms about the significant status of the building is problematic. He thought none of the three additions would downgrade the status even as defined under the ordinance. He said squaring between good preservation practice and Santa Fe preservation practice that results in "don't make me destroy this important part of the interior" should be a red flag of what the ordinance brings to the table.

Attorney Ruybalid thought it would be helpful to read the definition of significant.

Vice Chair Guida said he needed to finish his comments. He said they could call it a recommendation, but he agreed that City Council does not get into the issues, nor should they.

Member Bienvenu said this is the crux of the entire issue. The Board is so focused on the language of the Code. The Code specifically defines what is significant and contributing, and specifically directs that this Board may not approve an application that will result in a downgrade. He thought that was what everyone was concerned about with this project. He said his question is if the changes are significant enough to affect the historic integrity of the building enough that it would no longer be significant. He wasn't sure this should ever have been designated significant in the first place, even though it is an important building. Code is so restrictive of what can be done after the designation and every façade is considered primary, giving very little leeway to make any changes. He thought the number of changes proposed would jeopardize status but agreed it would not be appropriate to determine that tonight or recommend if the Board agrees the exceptions should be granted in this case.

Mr. Evans said they are asking for the exceptions permitted by the ordinance and allowed by the Board to grant. He said we made a clear case in writing of how these additions follow the exception criteria; all are reversible. He assumes the Board has the authority and understands the most significant of the building is the interior. That was found by the National Park Service and the State Historic Preservation Office (SHPO). It is why this building was put on the National Register and status was reheard. He said it would be absurd if the Board could not say that was the reason to grant this request. He asked the Board to honor logic.

Attorney Ruybalid said it would expedite the discussion if he could read the Code definition of significant structure. He read the definition. He said he had conferred with Ms. Piccarello, who indicated there is no distinction of the interior in retaining the historic integrity, as the exterior. Considering retaining significance on the interior is as legitimate as any other element.

Ms. Piccarello said association to the State Register is the interior. Staff has major concerns about threatening a significant interior portion for the sake of the exterior. There are requirements to look at other options. If none are there, staff does not recommend that criteria have been met. Also, they should consider there are a number of other historic college campuses. She pointed out this is the second time she heard the applicant use the word "taking." She said staff wants to have everyone work together. They don't recommend using threatening language without proof that is the applicant's only means to force through their project. She said that is not the way to work together to resolve the issues.

PUBLIC HEARING

Mr. Contractor, previously sworn, said he supports the project as a class of 79 alumni and an architect. He felt the design has evolved and was a good job. This is an

important college and an incredible institution in the community. The education provided is significant. The preservation should be looked at from a perspective of the incredible job that the president of the college has taken to ensure the Institute is viable. From the perspective of an architect, the addition is important to the preservation and longevity of the Institution. This fits well with the fabric of the community and campus design. Most important is the preservation of the college and the best bookstore in the region. He urged approval of the design and the proposed changes.

Elizabeth West, previously sworn, said all the exceptions have been met, this is tricky. Work will be work done on Chapter 14 and this is an example of the challenges. She suggested no matter where a person is relative to the decision, they shouldn't be offended by what people say sometimes. She thought this exciting and supports this with pleasure.

Kristen Fox, 2 E. San Marcos Road was sworn. She commended the architect for the sensitive design. She did not feel the design diminished the historic integrity. A building exists to serve its community. It needs to be a reflection of the culture and necessities of those it serves. Preservation does not mean freezing the building in time. She supports the project and encourages the Board to grant the exceptions necessary.

Stefanie Beninato, previously sworn, said she was concerned about the building's status. She suggested a public notice be done for a re-status. There are several additions to the building, and all require exceptions. The Board is supposed to work with the exception definitions in the exterior, not the interior. There was nothing about other ways to preserve the interior wall, which is an important part of what is being considered. Those options are not being explored. This is a recommendation, not an approval.

BOARD DISCUSSION

Member Biedscheid thanked Attorney Ruybalid for the definition of significant structure. She revised her opinion with status based on that. She said status has an association both with the people that are important on a local, regional, national, and global level. And it is already on the National Register of Historic Places. She thought neither of those would change with the proposal.

MOTION: In Case 2022-006060-HDRB, 1160 Camino de Cruz Blanca, Member Biedscheid moved to approve the project noting that the exception criteria have been met and the hardship criteria were addressed with additional testimony that the inability to facilitate a connection with the community is a hardship which could be resolved through expansion of the bookstore as a community resource, and the design options, including locating this as a separate building, have been explored and found not to support the

objective because location is central to that objective and space in a buildable format doesn't exist. The motion was seconded by Member Berkley.

VOTE: The motion passed by (3-0) roll call vote with Members Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

Mr. Evans apologized if staff was offended. He said his comments were on a process he sees as broken. He thanked staff and said they did a remarkable job working with them.

Ms. Piccarello said she appreciated his apology.

2. **2022-005995-HDRB. 855 Camino Ranchitos.** Downtown and Eastside Historic District. Non-contributing. Marc Naktin, agent for FX O'Keefe, owner, requests approval for changes made in Case 2021-004526-HDRB that include increasing garage height from approved 11'- 0" to 12' -10" (maximum allowable height: 17'- 5") and door and window alterations. (Angela Schackel Bordegaray)

Member Aguilar Medrano returned to the meeting.

STAFF REPORT

855 Camino Ranchitos is a 3,500 square foot building house built in the 1980s in Recent Santa Fe Style. It is non-contributing to the Downtown and Eastside Historic District. It is characterized by multiple masses of varying heights and flat roofs, an L-shaped, Spanish Pueblo style portal that spans across its north and west elevations. The portal features typical wood vigas and posts with uniquely carved corbels, all painted blue. The building has mostly undivided lite windows, two of which are under the front portal. There are divided lite French doors on the south and west elevations.

The board approved an extensive remodel in December of 2021 (2021-004526-HDRB). The construction is underway; however, the applicant built the garage with an increase in height without approval by staff or the board. The original proposal outlined a new attached garage to 11' – 0" which aligned with the house's adjacent height to its southeast. The new garage parapet is 1' – 10" above the previously approved height. As built, it is higher than the adjacent parapet to the southeast.

The approved garage description in the previous case is as follows: Construct a 700 square foot 2-car garage to a height of 11 feet, 0 inches, aligning with which is the height of the house's adjacent existing parapet. The stucco will be El Rey "Buckskin" and the windows will match the house, being pastel light blue in color. The garage windows do

not have divisions but meet the design standards for divided lights. The door will be custom constructed of wood, with a grey stain and a herring-bone board pattern.

In addition to the above item #1, the following is the complete approved scope of work.

1. Create a new driveway with a metal electric vehicular gate. The gate will be of a rust or cold pressed steel finish to have an earth tone. It will be four feet in height.
2. Re-roof the portal in kind, colored "rust."
3. Re-roof the house with a torch-down system in an earth tone, matching the original.
4. Seal external wood features in a blue-grey color to match the existing woodwork.
5. Replace windows with French doors on the north-east side.
6. Construct a new deck on the north-east side, with a "Foggy Wharf" wood appearance.

The applicant returns to the board for consideration of the garage as built and for the following alterations from what was approved in Case 2021-004526-HDRB.

1. Replace existing single-car garage door on the southwest elevation with three undivided lite wood French doors. The windows adjacent to the east under the portal do not have divided lites. Although publicly visible windows must be divided lite in publicly visible areas in the Downtown and Eastside Historic District, the new windows as proposed match the rest of the windows on this elevation.
2. Replace windows with new undivided lite windows to match existing windows on the rear northwest and southeast elevations. The rear elevation is not publicly visible.
3. Replace existing bay window with clad windows to match the existing undivided lite windows.
4. Replace two existing divided lite French doors on southeast elevation to undivided lite French doors.

STAFF RECOMMENDATION

Staff recommended approval of the window and door revisions per Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standard. Staff does not recommend approval for the constructed garage at a height 1'-10" taller than previously approved by the HDRB.

Vice Chair Guida said the new garage has already been approved but was built with a higher parapet height. He asked if that exceeded the allowable height.

Ms. Bordegaray said it does not exceed the maximum allowable height and the location and prominence of the garage overwhelms the house. This was approved but the applicant did not stop construction to get an amendment to build the garage higher.

Vice Chair Guida asked to confirm in lieu of the double garage door there will be two openings. One will be a single garage door and the other glazed doors.

Ms. Bordegaray said there is a new garage which is an attached two car garage. The upper elevation is an existing single bay garage. Nothing was changed. The proposal is to put three glazed doors without divided lights.

Vice Chair Guida said he saw a mismatch between the plan and the elevations.

Ms. Bordegaray explained those were the previous elevations. She offered to get the corrected elevations.

Member Bienvenu asked if the height of the garage was discussed in the last application other than it was under the height permitted.

Ms. Bordegaray said per the meeting minutes there was no discussion on the garage.

Ms. Piccarello added the garage was of equal height to the existing garage.

Ms. Bordegaray said the new garage was approved aligned with the adjacent.

Member Bienvenu asked if that was called out in the staff report or presentation.

Ms. Bordegaray said yes. The previous staff report has a statement by the applicant that the height will match the adjacent building to which it is attached.

Member Bienvenu asked if the applicant had come to staff with the current proposal, how would staff have worked with the applicant.

Ms. Bordegaray said first they would discuss that and look for ways to mitigate that or why it has to be done that way.

Member Bienvenu confirmed staff would have discussed with the applicant that it was within the permitted height but there was a concern about approval because it didn't match the height of the main house.

Ms. Bordegaray said in part.

Ms. Piccarello said they would say generally the changes within four inches would be considered de minimis and tell them these are more likely to have to go to the Board. She said that said, seeing this dwarfs the structure next to it, staff would automatically say it has to go to the Board.

Member Bienvenu said he was wondering about the process before it went to the Board. He asked if they worked with the applicant even though the height was permitted and say even staff prefers it be lower.

Ms. Piccarello said yes, within the de minimus height. They would also say this is not ideal for these reasons.

Ms. Bordegaray said the applicant had site conditions that led to this. He should have contacted staff.

Member Bienvenu said he understands what happened but wondered if the issue would have been a consideration with staff before this first came before the Board. Or would they just recommend approval because it meets standards. He asked if staff works with them and say they prefer it be lower.

Ms. Bordegaray said absolutely, they are not there to be an obstacle.

APPLICANT PRESENTATION

Marc Naktin, 1523 Powell St. was sworn in. He said as an architect he normally asks staff about this. Clients and owners sometimes make decisions without consulting historic.

Vice Chair Guida asked to see the south façade and the floor plan. He noted just above the angled addition, a pair of doors of an old garage door proposed to be infilled. On the south elevation they see the double door. He asked to confirm next to that they would infill the old garage door opening under the portal, with new doors.

Mr. Naktin said he was correct. Even though it is a garage door it was never a garage. He said they don't have an additional parapet, and this has already been waiting for stucco since last summer.

Member Aguilar Medrano asked about the current interior height of the garage and was told it was nine feet. She asked if that could be reduced to eight feet.

Mr. Naktin said if it would have been before it was built and now, they would have to tear off the roof. The garage door is eight feet tall and there wouldn't be clearance.

Member Bienvenu said it is always disturbing when changes are made like this. He agreed with staff it isn't as good as the way it was approved. It dominates the streetscape and dwarfs the building behind it, but he was not convinced the Board would

not have approved this if it had come before them. It was well within the height requirements.

Mr. Naktin said it is bleak now because there is no landscaping, and the footings are exposed. They plan to put trees in front of the garage which softens the look and hides some of it.

Member Bienvenu said the Board has approved things like this. The main concern was if it met the height requirements. He wasn't convinced it would not have been approved as is, but he was appreciative of staff's concern.

PUBLIC HEARING

Elizabeth West, previously sworn, said she was sympathetic, but agreed with what staff said, the garage building is way too tall. She told a story about her father receiving permission to make the garage behind her house into a guest house. He found the next time he checked that the ceiling was six inches lower than the drawings. She didn't think that mattered but they had to take everything down. She thought the project should not be denied, to punish the applicant.

Stefanie Beninato, previously sworn, said she understands this is under the height, but contractors are supposed to know the historical ordinance. She has no sympathy and thought the Board should look at whether it is harmonious. She was bothered that suddenly standards don't mean anything to the Board. She thought the Board probably would not have approved this because it was overwhelming a historic building.

Kathleen Rockwell, 601 Abeyta Street, was sworn. She said she lives in the neighborhood, and it is an unusual neighborhood. She was shocked to see the garage. It goes against the flow of the land and the buildings. This is a neighborhood of walkers and people come from all over the City. Those extra two feet will block the view of the mountains. The land is on a slope with the house lower than the garage and the garage overshadows everything. Landscape will help, but once the garage is in, they will never get rid of it. A series of mistakes should not let this happen.

BOARD DISCUSSION

Member Bienvenu said the garage is 12'10" and is allowed in the streetscape.

Mr. Naktin thought it was 17 feet and they were about five feet below the limit.

Ms. Bordegaray confirmed the height at 15'7".

MOTION: In Case 2022-005995-HDRB, 855 Camino Ranchitos, Member Bienvenu moved to approve the application for the reasons that the proposal would have been approved had it been submitted in the first instance. The motion was seconded by Member Berkley.

VOTE: The motion passed by (3-2) roll call vote with Members Berkley, Bienvenu and Vice Chair Guida voting in favor and Members Aguilar Medrano and Biedscheid voting against.

3. **2022-006064-HDRB. 224 Montoya Cir.** Downtown and Eastside Historic District. Sarah and Glyn Sanders, agents and owners, propose to remodel a non-contributing house and construct a garage addition. (Carly Piccarello)

STAFF REPORT

224 Montoya Circle is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The two-story residence was likely built between the mid-1980s the early 1990s in a contemporary southwest style. It stands at 21'-0" tall, has a flat roof and stepped massings on the west and east elevations. The west elevation includes a simple portal and bay window.

Now, the applicant proposes the following exterior alterations:

- 1) Create a single-story garage addition on to the south elevation with a flat roof and raised parapet. The stucco color will be El Rey 'Desert Rose.'
- 2) Add a Spanish Pueblo Revival portal to the west elevation on the second story. The portal will have wood columns and corbels with protruding square beam ends and a latilla top.
- 3) Create a steel railing made to look like wrought iron on the west elevation, second story. The railing will have 1'-4" wide pilasters at equal height of the steel railing, 40" tall. The pilasters will be El Rey 'Buckskin' stucco rather than 'Desert Rose.'
- 4) Replace front door portal (visible on the south elevation drawing) with
- 5) Replace parapet at equal height with a parapet that wraps around all facades, which is 21'-0".
- 6) Replace all windows with Pella aluminum clad true divided light windows in 'Fossil' color.
- 7) Add a 10'-6" wide by 6' tall vehicular gate with a wood panel design on the bottom 2' and fenestrated steel, on the top 4'.
- 8) Apply elastomeric paint to rest of the house in El Rey 'Buckskin.'

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT PRESENTATION

The applicant was not present.

MOTION: Member Bienvenu moved to postpone until the end of the agenda. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

Ms. Piccarello said she would try to contact the applicant.

APPLICANT PRESENTATION – This portion of the hearing was heard after Case 5, below.

Sarah and Glyn Sanders, 224 Montoya Circle, were sworn in. Ms. Sanders said that Ms. Piccarello said the color would be better with Buckskin instead of Desert Rose.

Vice Chair Guida asked if Buckskin was proposed.

Ms. Sanders said yes, and they now agree.

Vice Chair Guida said he thought the improvements were overwhelmingly positive to a house that needed help. He was happy to see a well-represented design and design decisions. He asked if they considered eliminating the bay window on the main façade. He thought it seemed crowded in that space and intersected with the new portal over the entry door.

The Applicant replied they were open to that. The bay window is already there so they would have to take down the wall surrounding the bay window to change it. They were trying to mitigate it by making the window design uniform throughout the house without changing the structure. He said they would agree to that.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

Member Biedscheid said the gate design appeared to be a double vehicular gate with a pedestrian gate next to it which is in front of a one car garage. She asked if there is parking next to the garage, she didn't see the elevation showing four gates.

The applicant said there wasn't enough room for a double garage because of the setback but there is room for parking next to the garage. They wanted a gate to enclose the property totally for their dogs and for security and privacy.

MOTION: In Case 2022-006064-HDRB, 224 Montoya Circle, Member Bienvenu moved to accept staff's recommendation and approve the project as proposed with an additional condition that the stucco be the color Buckskin as agreed to by the applicant. The motion was seconded by Member Aguilar Medrano.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

4. **2022-006059-HDRB. 513 Canyon Rd.** Downtown and Eastside Historic District. Gayla Bechtol, agent for Morning Star Gallery, owner, proposes to create an addition to a primary facade on a contributing building and requests exception to 14-5.2(D)(2)(d). (Carly Piccarello)

This case was postponed to December 13, 2022.

5. **2022-006061-HDRB. 638 Gomez Rd.** Don Gaspar Area Historic District. Architectural Alliance, Inc, agent for Laura L. Hamilton as trustee of the Laura L. Hamilton Revocable Trust, owner, proposes to replace windows. ~~An exception to Section 14-5.2(D)(1)(a) to remove historic material on a primary facade is requested~~ (Carly Piccarello).

STAFF REPORT

Ms. Piccarello noted a change that an exception *is not* required.

638 Gomez Street is a single-family residential structure with contributing status to the Don Gaspar Area Historic District. It was constructed between 1940 and 1942 in a Spanish Pueblo Revival Style. A garage was added after 1968 on the north side and restuccoed in 1991. The structure faces East onto Gomez with a yardwall lining the street. The windows are all historic except for numbers 7 and 8, which are located at the west, rear of the house.

On October 26, 2021, the HDRB, in case 2021-004296-HDRB, the Board designated the south and east facades as primary. On December 14th, 2022, in case 2021-004524-HDRB, the applicant presented at window assessment that they had completed themselves and now returns to the HDRB with a professional window assessment by Ra Patterson. During that hearing, the following was approved:

3. Replace all windows on the west elevation with new wood clad casement with TDL's (windows 6, 7, and 8). An exception is requested to Section 14-5.2(D)(1)(a) to replace historic material on a primary façade (window 6).
4. Patch and restucco around windows as needed with El Rey color buckskin.
5. Replace any rotten wood on the (ex) unattached cabana as needed to be painted white
6. Remove the existing portal to main structure on the west elevation
7. Add new 9 by 23 foot west portal, to be stained with color chestnut 868
8. Replace existing concrete driveway with new pavers on sand.
9. Replace existing canale on east elevation with new canale to match the other
10. Add a new sconce to be dark night sky complaint and to match exiting sconce on front portal

Now, the applicant returns to the HDRB to re-request the following exterior alterations, now with a professional window assessment:

1. Replace all windows on the east elevation (primary facade) (windows 1 and 2) with new wood casements with true divided lights. An exception is requested to Section 14-5.2(D)(1)(a) to replace historic material on a primary façade.
2. Replace all windows on the south elevation (primary facade) (windows 3, 4, and 5) with new wood casement with true divided lights. An exception is requested to Section 14-5.2(D)(1)(a) to replace historic material on a primary façade. 2a. Patch and restucco around windows as needed with El Rey color buckskin.

Based on the window assessments and in subsequent conversations with the windows assessor, staff determined that an exception is not necessary. This is based on the information that each window has had 80% of the window replaced over time, making them no longer historic.

STAFF RECOMMENDATION

No exception is required.

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Don Gaspar Area Historic District Design Standard.

APPLICANT PRESENTATION

Eric Enfield, 612 Old Santa Fe Trail, was sworn. He said he wasn't sure why the case is listed as New Business and should be under Old Business. The Board did not give permission to replace these windows because they wanted more details. The window assessor's report talks about all five locations and why jamb extensions were put in with the new windows. The telling sign that the windows are not historic is the plastic guides on the inside. He said the request is five window replacements.

Vice Chair Guida confirmed the windows are essentially in kind, with true divided light.

Mr. Enfield said yes, clad on the exterior but true wood. All windows will be clad.

Vice Chair Guida asked if Mr. Enfield felt the existing light pattern may not be historic.

Mr. Enfield said we think they were six over sixes and were replaced with eight over eight and one eight over twelve.

Member Aguilar Medrano asked if the wood part at the top of the windows would also be replaced.

Mr. Enfield said the original headers will remain. They will remove the non-historic material and bring the windows back to the historic opening width.

Member Aguilar Medrano asked with the light patten if their preference was to replace that with what was there historically.

Mr. Enfield said the window pattern is good on the windows as is and they all will now be the same to keep some of the quirky character.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she was happy the applicant did more assessment and is replacing the windows and take them back to the original width. She agreed that the applicant kept the quirky character of the house.

BOARD DISCUSSION

MOTION: In Case 2022-006061-HDRB. 638 Gomez Rd., Member Aguilar Medrano moved to approve the application as submitted. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, and Bienvenu voting in favor and none voting against.

At this point the Board continued the hearing for Case 3, see above.

I. DISCUSSION ITEMS

There were none.

J. MATTERS FROM THE BOARD

Member Bienvenu said the discussion on 500 Montezuma and the Halpern building made him aware that he would like the Board at some point to have a status review of the Halpern building and a potential downgrade due to the massive alterations. He said he wasn't sure of the procedure.

Ms. Piccarello said she would look at Code but thought almost anyone could request a status review. Staff just needs to do the noticing.

Member Bienvenu said he would like that issue addressed if possible.

Member Aguilar Medrano asked if it was possible to have the main projection on the bottom screen in the future.

Ms. Lamboy said she would see if she could make that happen.

Vice Chair Guida thanked everyone for their stamina and engagement in the discussion for a thorough review of the cases, and for the broadmindedness of the Board and those who weighed in on process and issues affecting the community.

K. NEXT MEETING: Tuesday, December 13, 2022

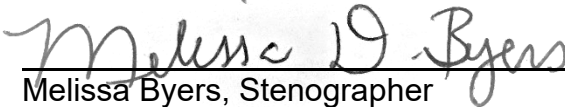
L. ADJOURNMENT

MOTION: Member Bienvenu moved, seconded by Member Aguilar Medrano to adjourn the meeting at approximately 10:05 pm.

VOTE: The motion passed by (4-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid and Bienvenu voting in favor and none voting against.

Submitted by:

Approved by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Cecilia Rios, Chair

SAMPLE RECOMMENDATIONS
for 2022-005859-HDRB, 500 Montezuma Ave.
(Pat and Frank's review)

RECOMMENDATION 1:

*If issues regarding compliance with historic district design standards for State Capital Outlay Projects are **RESOLVED** by the conclusion of the HDRB hearing Nov. 22, 2022:*

"In Case # 2022-005859-HDRB, the Board finds that all HDRB issues have been resolved regarding compliance of the new dormitory with the historic design standards for State Capital Outlay Projects in Code Section 14-5.2(M), with the condition that the design must also comply with all applicable provisions found elsewhere in Chapter 14 – Land Development."

RECOMMENDATION 2:

*If issues regarding compliance with historic district design standards for State Capital Outlay Projects are **RESOLVED with specific conditions** that have been agreed to by the applicant by the conclusion of the HDRB hearing Nov. 22, 2022:*

"In Case # 2022-005859-HDRB, the Board finds that all HDRB issues have been resolved regarding compliance of the new dormitory with the historic design standards for State Capital Outlay Projects in Code Section 14-5.2(M), with the condition that the design must also comply with all applicable provisions found elsewhere in Chapter 14 – Land Development, and the specific conditions, agreed to by the Applicant, that: . . ."

(SPECIFICALLY DESCRIBE CONDITIONS)

RECOMMENDATION 3*:

*If issues regarding compliance with historic district design standards for State Capital Outlay Projects remain **UNRESOLVED** at the conclusion of the HDRB hearing Nov. 22, 2022:*

"In Case # 2022-005859-HDRB, the Board finds that there are unresolved issues regarding compliance of the design of the new dormitory with historic district standards that apply to State Capital Outlay Projects; the Board recommends to the Governing Body that these unresolved issues be finally determined by a State-Local Government Historic Review Board. The unresolved issues include: . . ."

- 1) (SPECIFICALLY DESCRIBE UNRESOLVED ISSUES)
- 2) . . .

* *Nominate two representatives to the State-Local Government Historic Review Board: a primary nominee and a secondary nominee.*

Exhibit 2
11/22/22 HDRB

To whom it may concern,

Living in a dorm in high school is something not a lot of people will experience and is almost abrupt to certain people. Some could say you're leaving home too early. This is why we believe the dorms we share should be made the most positive and home-like place for young artists. One of the biggest takeaways is learning how to live in a shared space with a variety of other people. This current dorm holds 30 students and our new dorm will hold 60 students. A new dorm being next to school allows students to have amenities that local students have more access to such as dances, events, getting a job, or being able to sleep in. Being close to our school kitchen allows students to have fresh food and easier access to zero hour classes, office hours, and the campus utilities. It allows students who do not have great access to education from around the state to access one of the best schools in New Mexico and pertain skills to find a career in the arts. This is all available to students from around the state because of the dorm program. The expansion of size will allow more artists to come to school here and study their passions. Commuting to Santa Fe is not manageable everyday. By having a dormitory program, the school creates an engine for creativity for all New Mexicans far and wide.

Sincerely,
NMSA Dorm Students

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2022-5877-HDRB

Address – 127 and 127½ E. DeVargas Street

Agent’s Name – Dale Zinn

Owner/Applicant’s Name – Betty Caldwell

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 8, 2022.

BACKGROUND

127 and 127½ E. DeVargas St. is a .25-acre property in the Downtown and Eastside Historic District with two main buildings, one known as the “Cider Press.” The other is a studio building used for storage, located south of the Cider Press. The “Cider Press Compound,” as the applicant refers to it, is a unique and curious group of historic structures sandwiched between two public, institutional buildings. The lot and structures were originally part of a larger lot with a historically significant home to its south up a hill to East DeVargas Street.

South of the Cider Press, the studio was constructed in the 1960s. It is a rectangular, flat-roofed, stuccoed building with a portal in the Spanish-Pueblo Revival Style. Its north elevation has one window, and there are no windows on the other elevations. The building faces west toward the New Mexico Supreme Court’s parking lot. At its August 9, 2022, hearing in Case # 2022-5473-HDRB, the Board approved the construction of a free-standing storage building on the lot’s southeast corner.

Both structures were designated contributing at the July 26, 2022, HDRB hearing (Case 2022-5472-HDRB) along with the low, river-rock north and east yard walls. The Board designated the north, west and east elevations of the Cider Press as primary facades. The studio building’s west façade was designated as primary. The studio building is the subject of this case.

The Applicant now proposes to:

1. Add a 180-square-foot portal to the north courtyard elevation. It will be set back from the west primary façade by 10’0” from the front of the portal. The portal will have a round wooden post and square beam construction, similar to the existing west elevation portal on the building’s primary facade.
2. All exposed wood will be American Chestnut Brown stained to match existing woodwork.
3. The Applicant proposes to install an approximately 6’0” x 6’8” sliding French door with true divided lites. A proposed sliding barn-door “shutter,” approximately 6’3” x 6’8” will slide over the glass door. It will be a turquoise blue with black iron hardware. The clad color of all windows will be Medium Bronze.
4. Infill the existing aluminum sliding window on the north elevation and stucco over.
5. Add a pair of wood-clad, true-divided-lite windows for egress on the east elevation, with

- operable wood shutters. The jamb will be turquoise blue with black iron hinges.
6. Install an approximately 32” x 42” decorative etched fixed glass in wood frame on the south elevation. Exposed frame will medium bronze color.
 7. Add an exterior firebox and chimney to the south elevation. Height will be 3’ taller than the existing height (10’6”).
 8. Add a wood slat gate to the south of interior rock wall (4’) for access to new storage building, to be stained American Chestnut Brown.
 9. Refurbish the existing west portal’s wood components and canales.
 10. Re-stucco with cementitious proposed for the entire building. The color will match the El Rey “Adobe” color of the existing structures on site.
 11. Add exterior lighting as follows:
 - a. Two pendant, down lights under the proposed portal on the north elevation, and two pendants to the existing portal on west elevation.
 - b. One sconce, down light at the portal’s northwest corner to light the courtyard.
 12. Rooftop equipment includes a metal flue for the water heater, to be painted black and screened by the parapet.
 13. Install ground-mounted compressor for mini-split AC and heating to be screened with wood fencing.

No other changes to existing buildings and yard walls are proposed.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application, related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff recommendation: Staff recommended approval of the proposed project with the following conditions: that the proposed portal addition on the north elevation be set back at least 10’ from the west primary façade, per SFCC Section 14-5.2(D)(2)(d) regarding proximity of additions to primary façades; and that the proposed stained-glass window comply with Section 14-5.2(E)(1)(c) regarding divided lites, as it exceeds 30” in width. Otherwise, staff finds that the application complies with Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).

Finding of Fact and Conclusions of Law – Remodel or New Construction

Case #2022-5877-HDRB

7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3) (a-b), 14-5.2(C)(4) and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met, subject to the conditions set forth in the Conclusions of Law, below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves project Items # 1 through 13 as set forth in the Application, as recommended by Staff, with the following additional conditions:
 - a. The portal addition be set back at least 10 feet from the west primary façade;
 - b. The proposed decorative window meet Section 14-5.2(E)(1)(c) regarding divided lites;
 - c. The applicant submit revised plans to Staff for approval.

IT IS SO ORDERED ON THIS 13th DAY OF DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5346-HDRB

Address – 1204 Canyon Road

Agent’s Name – Gerald Valdez

Owner/Applicant’s Name – Fred and Josie Lucero

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 8, 2022.

BACKGROUND

1204 Canyon Rd. is a 1,024-square-foot single-family residence designated non-contributing to the Downtown and Eastside Historic District. Built in 1964, it was a simple rectangular home with a pitched roof that sits at the corner of upper Canyon Road and Camino Cabra. The Board designated its historic status as non-contributing and approved an extensive remodel in 2020 (Case # 2020-1664-HDRB). The remodel resulted in a Spanish-Pueblo Revival Style building.

The applicant has constructed the following changes that deviate from the approved case and now requests board approval of those changes:

West elevation

1. Shifted the portal to the north where the approved one-car garage was sited.
2. Shifted the window approved for placement south of the front door, under the portal, to outside the portal.

North elevation

3. Installed two smaller windows, one on each side of the fireplace, instead of one large window in the center of the living room massing. The easternmost of these two windows is less than 3 feet from the corner adjacent to the north portal.
4. Installed 6’ double door instead of 3’ single door on east-facing wall under north portal.

East elevation

5. Installed five new windows instead of the approved four windows.
6. Moved two 2x3-lite windows, added a 4’x5’ window that exceeds 30” in dimension without divided lites, between the two originally approved, and used stained glass instead of clear glass in all three. The northernmost of these windows is less than 3 feet from the northeast corner.

South elevation

7. Reduced the sizes of three windows, two of which are under the south portal “C,” and one of which is on the adjacent bedroom wall to the east.

8. Installed a 3'-wide single door in place of 6'-wide double door.

Height

9. Increased parapet height from approved 14'6" to 15'7" at north façade living room.

10. Increased parapet height from approved 12'4" to 12'8" at southeast corner sitting room.

The maximum allowable height for a structure in this streetscape is 19'2."

Relocate Garage Addition

11. The applicant now proposes to relocate the approved one-car garage from the north end of the west elevation to the south end of the west elevation, and expand it to a two-car garage. This design change has not been constructed.

12. Increase parapet height on garage addition from approved 11'2" to 12'0". Its height is within the maximum allowable height for this streetscape.

The Applicant requested exceptions to three already-constructed items that do not meet the Downtown and Eastside Historic District Design Standards:

1. The window on the north elevation on the east side of the fireplace is less than 3 feet from the corner.
2. Window # 5 on the east elevation is closer than 3 feet to the northeast corner.
3. Window # 4 is large plate glass that exceeds 30" in dimension without divided lites.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").

2. Historic Preservation Division Staff reviewed the Application, related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Based on the review of multiple changes constructed that deviate from the project approval in 2020, staff found three exceptions required. Other than those three exceptions, staff recommends approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.

5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).

6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

7. Under SFCC Section 14-5.2(E)(2)(b), no door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade.

8. Under SFCC Section 14-5.2(E)(1)(c) and (2)(e) single panes of glass larger than thirty (30) inches in any dimension are not permissible, except that buildings with portals may have larger plate glass areas for windows under portals only.

9. Staff determined that exceptions to SFCC Sections 14-5.2(E)(1)(c), 14-5.2(E)(2)(b) and 14-5.2(E)(2)(e) would be required for approval of project elements 3, 5 and 6, and the Applicant requested these exceptions: to add two (2) windows less than three (3) feet from corners on the north and east facades; and to add a window to the east elevation with a glass pane that exceeds 30" without divided lites.

10. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.

11. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's finding that the Applicant has not conclusively demonstrated that all exception criteria have been met:

- a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would damage the character of the district because this house is in a prominent, elevated location in the Downtown and Eastside Historic District, at a well-traveled intersection with high public visibility;
- b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is not required to prevent a hardship to the Applicant or an injury to the public welfare, because the adjustments to the placements and design of the windows required to comply with applicable design standards do not affect the use or functionality of the house; and
- c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exceptions would not strengthen the unique heterogeneous character of the City.

12. The Board finds that the Applicant has failed to conclusively demonstrate that all of the exception criteria have been met.

13. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.

14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met with respect to project elements # 1-2, 4 and 7-12.

16. Applicable design criteria have not been met with respect to project elements 3, 5 and 6, but applicable design criteria would be met for project elements 3, 5 and 6 under the conditions imposed by the HDRB described below.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1, 2, 4, 7, 8, 9, 10, 11 and 12 in the Application, as recommended by Staff.
3. The Board denies Item # 3, except that it may be redesigned and approved by Staff upon submission of revised drafts which meet the following conditions:
 - a. The Applicant shall reduce the size of the two north-elevation, living room façade, windows so they are set back three feet or more from all corners;
 - b. On the north elevation the Applicant shall set all windows into the wall no less than 1½ inches; and
 - c. On the north elevation, living room façade, the Applicant shall create an extrusion on the massing for the fireplace and chimney.
4. The Board denies Items # 5 and 6. Approval for the two windows in the master bedroom, on the northernmost part of the east elevation, stands as previously approved in Case 2020-1664-HDRB.

IT IS SO ORDERED ON THIS 13th DAY of December, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5859-HDRB

Address – 500 Montezuma Ave.

Agent’s Name – JenkinsGavin

Owner/Applicant’s Name – New Mexico School for the Arts

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022.

BACKGROUND

500 Montezuma Ave. was a commercial property which now houses the New Mexico School for the Arts, a statewide, public high school. The Applicants seek to build a residential dormitory, a State Capital Outlay Project, on the campus. The campus is a collection of three structures that are listed as non-contributing to the Westside-Guadalupe Historic District. It is surrounded by a Territorial Style and Spanish-Pueblo Revival Style stucco buildings with deco details (brick coping and other architectural features) as well as a contemporary version of Spanish Mission Revival Style. The Sanbusco Market building dates to 1880 with the arrival of the railroad and includes the iconic Italianate building on the southeast corner.

The once Sanbusco Market Center and the Parking Shed are listed as non-contributing following an appeal to Governing Body of the status in 2016 (Appeal # 2016-32; HDRB # H-16-051A). A more detailed background of the buildings is listed below.

New Mexico School for the Arts (former Sanbusco Market Center)

The Sanbusco Center served the Railyard District as a boutique mall for approximately 30 years prior to the 2016 remodel for the New Mexico School for the Arts. The Sanbusco buildings are the original Italianate style building, which housed the offices of the Charles C. Dudrow Coal, and the Lumber Yard. Substantial changes to the mass and architectural features of the building occurred in the 1920s when a western-style wood facade was placed on the front of the building, adjacent to the original office constructed by Dudrow.

The most substantial changes occurred with the purchase of Sanbusco by Joe Schepps in 1984. Changes to massing, removal of almost all historic material, and changes in openings were part of the extensive renovations that occurred when Sanbusco Market Place was being constructed. Between 1986 and the present, the exterior of the building has undergone regular renovation to accommodate retail spaces. The only historic materials remaining on the building are historic brick found on the southeast corner of the south elevation and pen tile found on the north elevation of the building.

Parking Shed

The Parking Shed, found in the north parking lot of the property, mimics the design and overall construction material that would have characterized the Parking Shed in former years.

However, the recent Historic Architectural Survey estimates that 75-80 percent of the material for the Parking Shed is modern and is non-contributing.

New Student Dormitory

At the September 27, 2022, hearing the Applicant presented proposed designs for a new student dormitory that included the following:

- 1) The proposed dormitory building will be two story, 26'2" high at its maximum, and approximately 19,130 sq. ft.
- 2) It will have a raised parapet with metal cap in a dark medium bronze finish.
- 3) The building will be organized into four massings differentiated by height and material finish.
- 4) The height is varied, stepping down to the lower portion by approximately 1'10" to the adjacent Italianate gallery. The overall height is approximately the same as the east entrance to the school on the gray Sanbusco façade.
- 5) The finish material include:
 - a. Stucco in El Rey "La Morena" on the north portion
 - b. Stucco in El Rey "Buckskin"
 - c. Corrugated metal paneling, stainless finish, on the southeast and southwest corners.
- 6) On the north elevation, a metal canopy in dark bronze will front the interior courtyard and cover an inset entrance of aluminum-framed glazing.
- 7) On the south elevation, storefront glazing will be located under a decorative steel portal with trellis that will be a dark bronze finish.
- 8) Windows will be aluminum framed with a dark bronze finish.
- 9) The roof will be a TPO system in tan color.
- 10) A perforated steel fence with rusted finish will be added to the southwest portion of the property.
- 11) Repurposed brick will be used for paving.

At the same hearing, the HDRB gave comments, and opened the floor to public comment. Staff delivered the minutes and a summary of the comments to the HDRB. The HDRB reviewed them, and provided the comments and minutes to the Applicant. The Applicant worked to update their designs in an effort to resolve issues raised by the HDRB. They also met separately with the Old Santa Fe Association regarding its comments, which were supplied to the HDRB.

The Applicant returned to the HDRB November 22, 2022, with a revised design for the new construction of the detached student dormitory building in order to resolve design issues by making the following adjustments:

- 1) Change the footprint, shifting the east façade away from the property line by 6'0";
- 2) Reduction of the material palette from two colors of stucco and metal sliding to metal sliding and umber steel panels, eliminating the brown and light stucco;
- 3) Changes to the massing, parapet heights throughout the building and specifically on the south façade;

- 4) Redesign the east façade by adding a change of planes, vertically aligning windows, changing materials to unify with the rest of the New Mexico School for the Arts complex, and modulating the height and parapet.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff requested a determination from the HDRB on whether issues raised by the HDRB during the September 27, 2022, hearing were resolved for the proposed project regarding the application’s compliance with Section 14-5.2(M), State Capital Outlay Projects.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(M)(3), Design Standards for State Capital Outlay Projects.
5. The property is located in the Westside-Guadalupe Historic District, but is subject to the district design standards set forth in SFCC Section 14-5.2(M) due to its state funding.
6. Under SFCC Sections 14-2.6(B) and (C), 14-5.2(M)(2), and NMSA Sections 3-22-6(E) and (F), the Board has authority to conduct a public meeting to receive input, and to communicate recommendations and comments to the State, on the Applicant’s proposed design to assure overall compliance with applicable design standards for State Capital Outlay Projects.
7. Under SFCC Section 14-5.2(M)(2)(c), within 60 days after the public meeting required by SFCC Section 14-5.2(M)(2)(b) and NMSA Section 3-22-6(E), the City may notify the state that design issues remain unresolved and shall be finally determined by a State-Local Government Historic Review Board as set forth in NMSA Section 3-22-6(G).
8. The information contained in the Staff Report, exhibits, and the testimony and evidence submitted at the hearing November 22, 2022, establishes that all applicable requirements for Board review as herein described have been met, and that there are no unresolved design issues.

CONCLUSIONS

Under the circumstances and given the evidence and testimony submitted during hearings on September 27, 2022, and November 22, 2022, the Board acted upon the Application as follows:

1. The Board has the authority to conduct public hearings and to make recommendations and comments on the Application, and to consider whether design issues raised at the public hearings remain unresolved.

2. The Board finds that no unresolved design issues remain, in consideration that the Applicant has agreed to the following additional conditions, and will submit to the Staff revisions to its drafts consistent with them:

- a. The project must comply with all applicable provisions found elsewhere in SFCC Chapter 14 – Land Development;
- b. All signage conforms to the standards found in SFCC Section 14-8.10(H) that apply to signs in the Historic Districts; and
- c. At least two additional windows are added, as architecturally appropriate, to the east façade.

IT IS SO ORDERED ON THIS 13th DAY of DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5471-HDRB

Address – 110 Calle la Pena

Agent’s Name – Peter Wilson

Owner/Applicant’s Name – Kevin Scott

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022.

BACKGROUND

110 Calle la Pena is a 2,807-square-foot, two-story residence with attached casita, listed as contributing to the Downtown and Eastside Historic District. Constructed in the late 1940s, the Spanish-Pueblo Revival Style U-shaped structure began as a simple one-story adobe rectangle with its entrance on the south elevation. A two-story addition was constructed on its east elevation and a rear casita was connected on its west elevation in the 1950s. The two-story portion is the house’s front today. A rear courtyard casita was added and the south entry portal was infilled. The building consists of three separate apartments currently.

Its defining features include its eastern elevation with its shallow inset balcony, carved wood railing, and steel windows of varied sizes and lite patterns. Windows are single-pane fixed; double-pane divided-lite, steel-frame casement; and glass block. Its north elevation contains a large plate-glass window believed to have been designed for an artist’s studio, per the 2022 Historical Cultural Property Inventory. The aluminum window is 11’2” x 8’8”. The windows have exposed wood lintels that extend beyond the window and door widths.

The historic building with its multiple historic accretions contributes to the Downtown and Eastside Historic District as the original house in an uncommon cul-de-sac layout, and built originally of adobe in the Spanish-Pueblo Style architecture. Its additions, including its second story and rear casita, are historical alterations that maintain its historic character. Its construction history includes its various construction methods and materials.

On June 28, 2022, in Case # 2022-5345-HDRB, the HDRB maintained the structure’s status as contributing. The Board designated the east elevation of the main house the primary façade (façade 1), including the north-facing and east-facing walls of a second-story setback at the northeast corner (façades 1(a) and 1(b)). On October 25, 2022, the HDRB postponed this case for redesign. In that hearing, the HDRB stated:

“The main recommendations are that the Applicant address the Board’s desire to retain a greater degree of the eclectic in the current design, especially regarding the proposed doors and door replacements. As much as possible the Applicant should retain the existing wood carved doors where possible, and at least include door # 6, and may include others and the existing front door.

Regarding the metal door product recommended for replacement, generally speaking the metal casement window is favorable but with a different handle set than shown on the product sheet, and where the light pattern becomes horizontal, should add a vertical division in the light pattern on most of the doors with the exception of what is currently proposed on the primary façade. Lastly, the large studio window on the east façade is significantly character-defining and should either be retained, or if replaced, its existing light pattern should be reproduced.

And on the recommendation in lieu of the proposed wrought-iron guardrail on top of the garage, that the Applicant investigate raising the stucco parapet and not have a railing which would eliminate the need to pursue an exception. The color sample shown in the packet is darker than what appears on the current house and existing, and the Board would like color samples in a lighter tone more accurately reflecting the existing. Also, that the applicant change the color of the proposed wood trim on the non-primary façades to match the existing Iron Ore color proposed on the primary façade.”

The Applicant now returns to the HDRB and proposes the following exterior alterations:

East Façade (Primary)

1. Replace existing wood Door # 11 on second floor with a new aluminum-clad wood door with glazing in the existing opening.
2. Remove cable railing on second floor and raise the height of the parapet by 1’9” to 12’9”. This modification wraps around to the south and west façades of the main house. An exception is requested for creating an addition to a primary (east) façade.
3. Add a carved wood pedestrian gate to the curved courtyard wall and extend wall, which is non-contributing. Add masonry pillars to form an archway over the gate.

North Façade

4. Replace existing multi-light (4x5) steel window, window A, with a pair of aluminum-clad doors (new door # 2).
5. Add an 18” deep corbel and latilla overhang at this door.
6. Replace aluminum storefront window B with a new aluminum-clad wood, divided-lite window. The existing opening and lintel will be preserved.
7. Construct a 139 sq.ft. Spanish-Pueblo Revival style portal on the existing yard walls with timber beams, columns and corbels, and a stucco parapet at 11’0”.
8. Replace wood fence with a 6’0” masonry and stucco yard wall with carved wood gate.
9. Replace windows on this façade (C, D, and G) except for the second-story window (T).
10. Replace existing wood and glass door # 3 with a new clad wood door matching the size and pattern of the existing, shifting the door 18” to the east.

West Façade

11. Construct an 80 sq.ft. timber and latilla Spanish Pueblo Revival style portal.
12. Raise the studio’s parapet height by 2’9”, raise the floor level 8” to address site drainage. The existing non-historic ceiling beams are 7’7” high. The overall proposed height of the studio parapet from lowest natural grade is 12’3”.

13. Replace existing window E with a new aluminum clad wood and glass door 4 using the existing window opening.
14. Replace existing window F with two 1-over-3-lite windows.
15. Replace existing window H with two new clad wood 3-over-1-lite windows (H1, H2).

South Façade

16. Remove exterior non-historic, wood staircase.
17. Raise the parapet and floor level of the studio south façade, as noted for the west façade (see project item # 12).
18. Replace window J with new aluminum-clad, wood window in the same location, but larger than the original.
19. Replace glass block window R with a new, clad-wood window in the existing opening.
20. Replace window S with new aluminum-clad, wood window in the same location, modified for IFC egress requirements.
21. Remove cable railing on second floor and raise and raise the height of the parapet by 1'9" to 12'9" (see project item # 2).

East Courtyard Façade

22. Construct an approximate 700-square-foot Spanish-Pueblo Revival Style portal which wraps the courtyard east, south and west sides. The proposed height of the new portal is 11'6".
23. Raise the parapet and floor level of the studio on its east façade, as previously noted for the west and south façades (see project items # 12 and 17).
24. Replace existing steel windows K and L with new clad wood windows matching the size, pattern and location of the existing windows.
25. Replace existing glass block windows M1 and M2 with one clad wood window.

West Courtyard Façade

26. Remove cable railing on second floor and raise the height of the parapet by 1'9" to 12'9" (see project items # 2 and 21).
27. Construct an approximate 700-square-foot Spanish-Pueblo Revival style portal which wraps the east, south and west sides of the courtyard. The proposed height of the new portal is 11'6" (see project item # 22).
28. Add two clad wood and glass windows N and Q in existing walls.
29. Replace glass block window P with new clad wood and glass door (new door # 10).
30. Extend roof, enclose breezeway opening and install clad wood and glass door with sidelites (new door # 9).

South Courtyard Façade

31. Remove enclosed portal and windows U, V, W & X and wood and glass door #15.
32. Add two aluminum-clad wood and glass double doors, # 7 and # 8.
33. This façade will be included in the 700-square-foot portal wrapping the east, south and west sides of the courtyard; proposed height 11'6" (see project items # 22 and 27).

All Facades

34. Re-stucco in El Rey buckskin color cementitious stucco with fine aggregate.

35. Trim to be refinished in Sherwin Williams “Iron Ore” color to match new door and window color, Kolbe Vistaluxe Steel Gray.

No Changes

No changes are proposed to any windows on the primary, east elevation (façades # 1 and 1(b)), or to the second-story window on the primary, north-facing façade (façade # 1(a)).

No changes are proposed to door # 1 (main entrance on primary east elevation), or to doors # 5 (studio north façade) and # 6 (studio south façade).

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff found that the exception criteria were not met for SFCC Section 14-5.2(E)(1)(a), for new doors uncharacteristic of Old Santa Fe Style, but the Board may find that they have with further testimony. Otherwise, staff recommends approval of the application for its compliance with SFCC Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(E), Downtown and Eastside Historic District, with the conditions the door replacements should add a vertical division in the lite pattern. The Staff recommends a finding that the large studio window on the north façade is significantly character-defining and should either be retained, or, if replaced, its existing light pattern reproduced.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(c), additions are not permitted to primary façades of contributing, significant or landmark structures.
9. The Applicant proposes to raise the parapet height on the primary, east façade by 1’9” in conjunction with removal of the cable railing on the second floor. See project element # 2. Staff determined that an exception to SFCC Section 14-5.2(D)(2)(c) would be required for approval of the Application, and the Applicant requested an exception.

10. Under SFCC Section 14-5.2(E)(1)(a), doors characteristic of Old Santa Fe Style are wooden with carved features.
11. The Applicant proposes to replace windows A (north façade), E (west), P (west courtyard façade), U and V (south), with doors or double doors, # 2, 4, 10 and 7, respectively; replace doors # 3 (north façade), 11 (east primary façade, second floor), and 12 (west, second floor), with new doors or double doors; replace the door/window combination W (south courtyard) with new double door, # 8; add new double doors, # 9, to new breezeway enclosure; replace the storefront window B on north façade with a mix of plate-glass and divided lites; and replace old windows C, D and G (north façade), F and H (west), J, R and S (south), and K, L, M1 and M2 (east courtyard), with new windows. See project elements # 1, 4, 6, 9-10, 13-15, 18-20, 24-25, 29-30 and 32. The new doors will be clad wood or custom steel with horizontal lites; the windows will be similar in appearance to existing windows, with some changes in size. Staff determined that an exception to SFCC Section 14-5.2(E)(1)(a) would be required for approval of the Application, and the Applicant requested an exception.
12. To obtain exceptions, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met for each exception requested.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff's finding that the Applicant has conclusively demonstrated that all exception criteria have been met with respect to project element # 2.
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district: Parapets are characteristic of the Spanish-Pueblo style, other façades of this house have parapets, and the increased height would not exceed the height limitation for this streetscape;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare: To raise the parapets on three sides of the garage (project elements # 2, 21 and 26) would allow the applicant to retain a rooftop balcony while removing an uncharacteristic, modern cable railing; and
 - c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
14. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met with respect to project element # 2.
15. The Board finds that, with respect to project items # 1, 4, 6, 9-10, 13-15, 18-20, 24-25, 29-30 and 32, exceptions to SFCC Section 14-5.2(E)(1)(a) are not required:
 - a. Except for door # 11, on the east, primary façade, the doors to be replaced are on non-primary façades and are not historic, according to a qualified window and door assessment the Applicant has provided;
 - b. The new doors are similar in appearance to existing doors, are not uncharacteristic of the Spanish-Pueblo style, and their color will match that of the existing trim;

- c. The new windows are divided-lite, characteristic of the Spanish-Pueblo style, and (except for those proposed to replace the storefront window on the north façade, window B) are similar in appearance to the existing windows;
 - d. The windows to be replaced are on non-primary façades;
 - e. The replacement of non-historic doors and the replacement of steel casement windows, which are subject to condensation and are causing damage to the surrounding stucco, will not cause the building to lose its contributing status; and
 - f. The large north-façade storefront window is non-historic, not characteristic of Spanish-Pueblo or Old Santa Fe Styles, and the Applicant does not propose to change the opening, but plans a divided-lite assembly of window panes, which is more consistent with the style of the house and Historic District standards.
16. For replacement of door # 11, on the primary, east façade second story, no exception to SFCC Section 14-5.2(D)(5)(a)(i) is required because the door is non-historic.
 17. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
 18. The information contained in the Staff Report, exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and recommend the Application.
2. The Board approves project items 1, and 3 through 35, as set forth in the Background section, above.
3. The Board recommends to the Governing Body the exception requested in the Application with respect to project item # 2.

IT IS SO ORDERED ON THIS 13th DAY of DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5995-HDRB

Address – 855 Camino Ranchitos

Agent’s Name – Marc Naktin

Owner/Applicant’s Name – F.X. O’Keefe

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022.

BACKGROUND

855 Camino Ranchitos is a 3,500-square-foot building house built in the 1980s in Recent Santa Fe Style. It is non-contributing to the Downtown and Eastside Historic District. It is characterized by multiple masses of varying heights and flat roofs, an L-shaped, Spanish Pueblo Style portal that spans across its north and west elevations. The building has mostly undivided-lite windows, two of which are under the front portal. There are divided-lite French doors on the south and west elevations.

The Board approved an extensive remodel in a hearing December 14, 2021 (Case # 2021-4526-HDRB). The construction is underway, however, the Applicant built the garage with an increase in height without approval by the Staff or the Board. The original proposal outlined a new attached garage at a height of 11’0” which aligned with the house’s height adjacent to the garage. The new garage parapet is 1’10” above the previously approved height. As built, it is higher than the adjacent parapet to the southeast.

The approved garage description in the previous case is as follows: Construct a 700-square-foot, two-car garage to a height of 11 feet, 0 inches, aligning with the height of the house’s adjacent existing parapet. The stucco will be El Rey “Buckskin” and the windows will match the house, pastel light blue in color. The garage windows do not have divisions but meet the design standards for divided lites. The door will be custom, constructed of wood, with a grey stain and a herring-bone board pattern.

In addition to the above item #1, the following is the complete approved scope of work.

1. Create a new driveway with a metal electric vehicular gate. The gate will be of a rust or cold-pressed steel finish to have an earth tone. It will be four feet in height.
2. Re-roof the portal in kind, colored “rust.”
3. Re-roof the house with a torch-down system in an earth tone, matching the original.
4. Seal external wood features in a blue-grey color to match the existing woodwork.
5. Replace windows with French doors on the northeast side.
6. Construct a new deck on the northeast side, with a “Foggy Wharf” wood appearance.

The Applicant now returns to the board for consideration of the garage as built and for the following alterations from what was approved in Case # 2021-4526-HDRB.

1. Replace the existing single-car garage door on the southwest elevation with three undivided-lite wood French doors. The windows adjacent to the east under the portal do not have divided lites. Although publicly visible windows must be divided-lite in publicly visible areas in the Downtown and Eastside Historic District, the new windows as proposed match the rest of the windows on this elevation.
2. Replace windows with new undivided-lite windows to match existing windows on the rear northwest and southeast elevations. The rear elevation is not publicly visible.
3. Replace existing bay window with clad windows to match the existing undivided-lite windows.
4. Replace two existing divided-lite French doors on southeast elevation to undivided-lite French doors.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the window and door revisions per SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards. Staff did not recommend approval for the constructed garage at a height 1’10” taller than previously approved by the HDRB.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant requests approval for constructing the two-car garage 1’10” taller than the garage height approved by the Historic Districts Review Board in Case 2021-4526-HDRB).
7. The Board finds that the taller height falls within the maximum-allowable height in this streetscape (15’7”).
8. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3) (a-b) and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
9. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and

no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.

10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
11. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the taller as-built garage at a height of 12'10", which is 1'10" above the previously approved height in Board Case # 2022-4526-HDRB.
3. The Board approves project alterations, Items # 1-4, as set forth in the Staff report.

IT IS SO ORDERED ON THIS 13th DAY of December, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-6064-HDRB

Address – 224 Montoya Circle

Agent’s Name – Sarah and Glyn Sanders

Owner/Applicant’s Name – Sarah and Glyn Sanders

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022.

BACKGROUND

224 Montoya Circle is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The two-story residence likely was built between the mid-1980s the early 1990s in a contemporary southwest style. It stands at 21’0” tall, has a flat roof and stepped massings on the west and east elevations. The west elevation includes a simple portal and bay window.

Now, the applicant proposes the following exterior alterations:

- 1) Build a single-story, 366-square-foot garage addition onto the south elevation with a flat roof and raised parapet, to stand 11 feet high. The stucco color will be El Rey “Desert Rose.”
- 2) Add a Spanish-Pueblo Revival portal to the west elevation on the second story. The portal will have wood columns and corbels with protruding square beam ends and a latilla top.
- 3) Create a steel railing made to look like wrought iron on the west elevation, second story. The railing will have 1’4” wide pilasters at equal height of the steel railing, 40” tall. The pilasters will be El Rey “Buckskin” stucco rather than Desert Rose.
- 4) Replace the tin-roof, front-door portal (visible on the south elevation drawing) with a traditional-style portal, with wood beams and posts, corbels and latillas.
- 5) Replace parapet at equal height with a parapet that wraps around all facades, which is 21’0” high. Remove roof overhangs on east, south and west sides.
- 6) Replace all windows with Pella aluminum-clad, true-divided-lite windows in “Fossil” color.
- 7) Add a 10’6”-wide by 6’-tall vehicular gate with a wood panel design on the bottom 2’, and fenestrated steel on the top 4’.
- 8) Apply elastomeric paint to rest of the house in El Rey “Buckskin.”

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2 (D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report, exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves all items as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 13th DAY of DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic, City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-6061-HDRB

Address – 638 Gomez Road

Agent’s Name – Architectural Alliance, Inc.

Owner/Applicant’s Name – Laura L. Hamilton Revocable Trust

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on November 22, 2022.

BACKGROUND

638 Gomez Road is a single-family residential structure with contributing status to the Don Gaspar Area Historic District. It was built between 1940 and 1942 in a Spanish Pueblo Revival Style. A garage was added after 1968 on the north side and re-stuccoed in 1991. The structure faces east toward Gomez Road with a yard wall lining the street.

October 26, 2021, the HDRB, in Case # 2021-4296-HDRB, the Board designated the south and east façades as primary. December 14, 2021, in Case # 2021-4524-HDRB, the Applicants presented a window assessment they had completed themselves. During that hearing, the following was approved:

3. Replace all windows on the west elevation with new wood-clad casements with true divided lites (windows 6, 7, and 8).
4. Patch and re-stucco around windows as needed with El Rey color buckskin.
5. Replace any rotten wood on the unattached cabana as needed, to be painted white.
6. Remove the existing portal to the main structure on the west elevation.
7. Add new 9-by-23-foot west portal, to be stained with color Chestnut 868.
8. Replace existing concrete driveway with new pavers on sand.
9. Replace existing canale on east elevation with new canale to match the other.
10. Add a new sconce to be dark-night-sky complaint and to match exiting sconce on front portal.
11. Remove and replace the existing 9’-by-7’ garage door on east primary façade, with condition that replacement be with in-kind materials and similar window pattern.

The Applicants now return to the HDRB with a professional window assessment written by Ra N. Patterson, RPA & Associates, and re-request the following exterior alterations:

1. Replace all windows, 1 and 2, on the east elevation, a primary façade, with new clad-wood casements with true divided lites.
2. Replace all windows, 3, 4 and 5, on the south elevation, a primary façade, with new clad-wood casements with true divided lites.
- 2(a). Patch and re-stucco around windows as needed with El Rey color Buckskin.

Based on the window assessments, and in subsequent conversations with the windows assessor, Staff determined that an exception is not necessary. This is based on the information that each window has had 80 percent of the window replaced over time, making them no longer historic.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(H), Don Gaspar Area Historic District Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Don Gaspar Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(H).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The Board finds, based on the evidence submitted in the application packet and in the public hearing, that the windows the Applicants seek to replace on the east and south primary façades are non-historic, having been substantially damaged and/or deteriorated, and reconstructed with non-historic materials.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

Finding of Fact and Conclusions of Law – Remodel or New Construction

Case #2022-006061-HDRB

1. The Board has the authority to review and approve the Application.
2. The Board approves project items # 1, 2 and 2(a), as set forth in this re-application, as recommended by Staff.
3. The approval for project items # 1, 2 and 2(a) are in addition to, and not instead of, the project items previously approved in Case # 2021-4524-HDRB December 14, 2021.

IT IS SO ORDERED ON THIS 13th DAY of DECEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe, New Mexico

memo

DATE: November 8th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005463-HDRB

Address: 220 Rodriguez Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

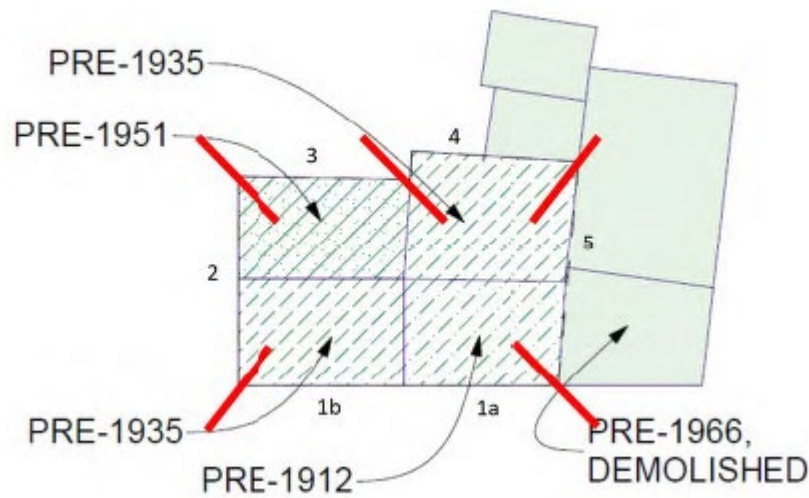
STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff does not recommend approval of the application in regards to its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District because it the amount of exceptions requested would likely result in a status downgrade.

BACKGROUND & SUMMARY:

220 Rodriguez is a single-family residential structure with contributing status to the Downtown and Eastside Historic District, constructed in a vernacular/Spanish Pueblo Style. It has remanent vigas and post ends, thick battered adobe walls and is a relatively simple rectangular form.

It was constructed in four different building phases, the oldest of which is likely from 1890, but certainly by 1912. Portions on the eastern end were attached but then removed after 1966. The existing structure was in existence by 1975, making even the latest addition historic. The roof has a fiberglass coating over earth. It has a low slope with parapets on the south and west sides.



Façade diagram for 220 Rodriguez

Façade 1(a), pre-1912, and façade 1(b), pre-1935 (both south-facing façades), have four windows and two door openings of varying sizes. The shutters are false shutters added around 1985. While these are prominent on the façade, their date of origin obscures the historic integrity of the façade. Façade 1(a) has exposed, historic viga-ends that are character-defining.

The west façade (façade 2) is a featureless wall with one door opening. It contains a stone buttress at the northwest corner.

The east façade (façade 5) has no openings. The roof is stepped, with fiberglass visible on the parapet.

The north façade contains façade 3 on its westernmost side (constructed before 1954) and

façade 4 on its easternmost side (constructed before 1935). Façade 3 contains two non-historic aluminum slider windows and has vigas with exposed ends. Façade 4 also contains vigas with exposed ends, a shed roof and two windows, one of which is only visible from inside the structure, with a character-defining deep opening. The other has been boarded over. On April 26th, 2022, the Board designated the following elevations of the structure as the primary façades: 1(a), 1(b) and 2. The non-historic, false window shutters on the south elevation (façades 1(a) and 1(b)), and the non-historic door on the west elevation (façade 2), were excluded from the designation of the primary façades.

Now, the applicant proposes the following exterior alterations:

- 1) Replacement of all doors and windows. Wood windows are proposed to be replaced with aluminum clad windows in a brown color, which are not in-kind in material or color.
- 2) Remodel the north façade to remove historic protruding vigas and add doors and windows and a flat awning with windows above. The metal flat awning and window arrangement are not within Old Santa Fe Style.
- 3) Raise the east end of north façade parapet by 5'-4" within the maximum allowable height and is a significant change to the massing.
- 4) Create an addition to the south and primary façade. The proposal is for a passageway with corrugated metal shed roof. The passageway would connect to an addition that equals roughly ¼ of the existing house.
- 5) Create a kitchen addition, connected to the passageway, at a height of 16'-6" which is the maximum height allowable. The addition will be stucco, color to match, with a flat roof. This addition would obscure the south and primary façade. Staff believes that this would threaten the historic status of the building with the passageway connection.
- 6) The proposal includes a steel arbor entry/yardwall connected to a coyote fence (shown in site plan).

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(2)(d): Staff request an exception to construct an addition onto primary facades.

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

(i) Do not damage the character of the district

Applicant Response: The home on the property is a “contributing” structure is located in the Downtown Eastside Historic District (the “Eastside District”). The Eastside District is characterized by construction with adobe and is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles. The proposed addition will be in keeping with these characteristics of the district. The attachment to the primary façade is the minimum needed to make the connection and leaves the remaining portion of the south-facing primary façade restored and intact.

The design of the addition is in harmony with the historic scale and materials of the neighborhood. The addition is tucked into the hillside in order to minimize its presence in the streetscape. It’s height is within the allowed height for this property. It will be built with same material (adobe) and construction used in the historic facade. The materials will be the same color and texture and our goal is to maximize its harmony with the historic. The scale of its windows and doors as well as the divided light windows are within guidelines of the HDRB.

As a result, the addition will have no impact, much less an adverse impact on the character of the district.

Staff Response: Staff recommends that the exception criterion has not been met because addition obscures the south primary façade burying historic material behind the addition.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The structure on this property is located in such a way that any addition to this property must be to a primary façade. Hence, it is not “architecturally practicable” to make any addition to non-primary façade. Additionally, the existing structure has severe limitations in terms of its size for a functional residence. The addition is needed to be able to use the property with the ordinary functional elements, i.e., a kitchen, bedrooms, and living area. The proposed addition is a needed element to accomplish that goal. The hardship to the applicant that is avoided by the proposed addition is the ability to restore the existing structure and utilize the property for normal, ordinary, residential use.

Staff Response: Staff recommends that the exception criterion has not been met because while there might be a hardship, there are design alternatives that could be pursued to better preserve the historic structure.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The addition strengthens the unique heterogeneous character of the City made up the various Historic Districts, all of which differ from each other in important ways. The addition in this case will strengthen the character of the Eastside District because it is in keeping with the applicable design criteria, promotes the continued viability of home

as part of the Eastside District, and allow for the continued use of the structure as a residence by the Applicants.

Staff Response: Staff recommends that the exception criterion has not been met because there was never an alternative layout presented, specifically one that would move the addition further east on the south façade.

Exception to 14-5.2(C)(1)(d): Staff request an exception to for additions/alterations that impact original form and integrity.

It is intended that: . . . (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

(i) *Do not damage the character of the district*

Applicant Response: The design of the addition is in harmony with the historic scale and materials of the neighborhood. We designed the addition to tuck into the hillside in order to minimize its presence in the streetscape. It will be built with same material (adobe) and construction used in the historic facade. The materials will be the same color and texture and our goal is to maximize its harmony with the historic. The scale of its windows and doors as well as the divided light windows are within guidelines of the HDRB.

As a result, the addition will have no impact, much less an adverse impact on the character of the district. The attachment to the primary façade is the minimum needed to make the connection, and leaves the “original form and integrity of the historic property and its environment would be unimpaired.”

Staff Response: Staff recommends that the exception criterion has not been met because the original form and integrity of the historic property and its environment would not be unimpaired. The addition is the first obstacle to this portion of the code. Also, the uniqueness and vernacular changes apparent in the building are also removed in the drawings, like viga ends being removed (north and south facades). The battered wall will likely also be regularized completely in the resurfacing and restucco.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response The structure on this property is located in such a way that any addition to this property must be to a primary façade. Hence, it is not "architecturally practicable" to make any addition to non-primary façade. Additionally, the existing structure has severe limitations in terms of its size for a functional residence. The addition is needed to be able to use the property with the ordinary functional elements, i.e., a kitchen, bedrooms, and living area. The proposed addition is a needed element to accomplish that goal. The

hardship to the applicant that is avoided by the proposed addition is the ability to restore the existing structure and utilize the property for normal, ordinary, residential use.

Staff Response: Staff recommends that the exception criterion has not been met because these are design decisions that can be easily altered.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The addition strengthens the unique heterogeneous character of the City. That character of the City is made up the various Historic Districts, all of which differ from each other in important ways. The addition in this case will strengthen the character of the Eastside District because it is in keeping with the applicable design criteria, promotes the continued viability of home as part of the Eastside District, and allow for the continued use of the structure as a residence by the Applicants.

Staff Response: Staff recommends that the exception criterion has not been met because the uniqueness and vernacular changes apparent in this building would ultimately be removed.

Exception to 14-5.2(E)(1)(a): Staff request an exception to for additions in a style that is not of Old Santa Fe Style.

(i) *Do not damage the character of the district*

Applicant Response: The home on the property is a “contributing” structure is located in the in the Downtown Eastside Historic District (the “Eastside District”). The Eastside District is by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles. The proposed addition will be in keeping with these characteristics of the district. While it is possible to soften the edges to bring greater conformity. the proportions of openings to wall is in keeping with the required style, and the style of the proposed windows matches the require. The Applicant believes that the proposed style distinguishes the new from the old on the property, so as to avoid “mimicking” the style of the contributing structure. The addition will have no impact, much less an adverse impact on the character of the district.

Staff Response: Staff recommends that the exception criterion has not been met because the uniqueness and vernacular changes apparent of the building are also removed in the drawings, viga end removed. There is a clear intention to regularize and provide a modern aesthetic to original portion, particularly the north side. The addition is out of scale with the original. Therefore, a clean finished, hard edged addition will also alter the character so much so that the structure would no longer be contributing in staff’s opinion.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The style to the degree that it does not conform is not the result of a hardship. The Applicant would take such measures as the Board deems necessary to bring

greater conformity. The existing proposed style is in keeping with the required style and does no injury to the public welfare.

Staff Response: Staff recommends that the exception criterion has not been met because these are all design decisions that could be easily changed.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The Applicant believes that the proposed style distinguishes the new from the old on the property, so as to avoid “mimicking” the style of the contributing structure. The addition will have no impact, much less an adverse impact on the character of the district. That character of the City is made up the various Historic Districts, all of which differ from each other in important ways. The addition in this case will strengthen the character of the Eastside District because it is in keeping with the applicable design criteria, promotes the continued viability of home as part of the Eastside District, and allow for the continued use of the structure as a residence by the Applicants.

Staff Response: Staff recommends that the exception criterion has not been met because while the applicant has altered their design to be a less extensive version of the initial proposal for this total remodel and addition, the avoidance of the removal of character and regard for the historic building has not been achieved yet.

Exception to 14-5.2(D)(5): Staff request an exception to replace historic windows not in-kind.

(i) *Do not damage the character of the district*

Applicant Response: The proposed window treatments will be visually indistinguishable from the historic windows. The color, openings and divided lights will be identical to the historic windows. As a result, no damage to the character of the district will occur.

Staff Response: Staff finds that the exception criterion is not met. The code clearly states ‘historic windows that cannot be repaired or restored shall be duplicated in the size, style, and **material of the original**. Thermal double pane glass may be used. No opening shall be widened or narrowed.’

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The proposed window treatments are to avoid the continued deterioration of the windows on this south-facing façade. The façade receives sunlight throughout the day, which results in damage to the windows and result in damage to the already fragile façade. The maintenance of strictly in-kind replacement is an unnecessary hardship, given the location of the windows.

Staff Response: Staff finds that the exception criterion is not met, because staff believes that complying with the code does not create a hardship.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The proposed window treatments will be in keeping the style and appearance of the historic windows, and as such will strengthen the unique character of the District.

Staff Response: Staff finds that the exception criterion is not met, no alternatives were presented despite staff's suggestions.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Sloping Sites:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
- (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.
 - (ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.
 - (iii) No existing opening shall be closed.
- (b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be

approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently

carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

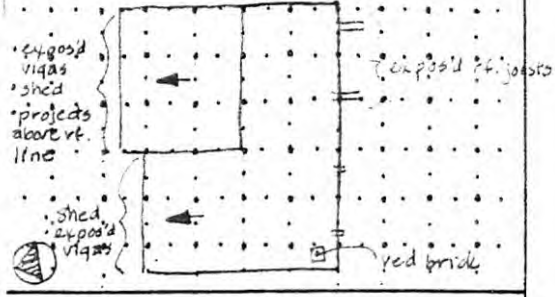
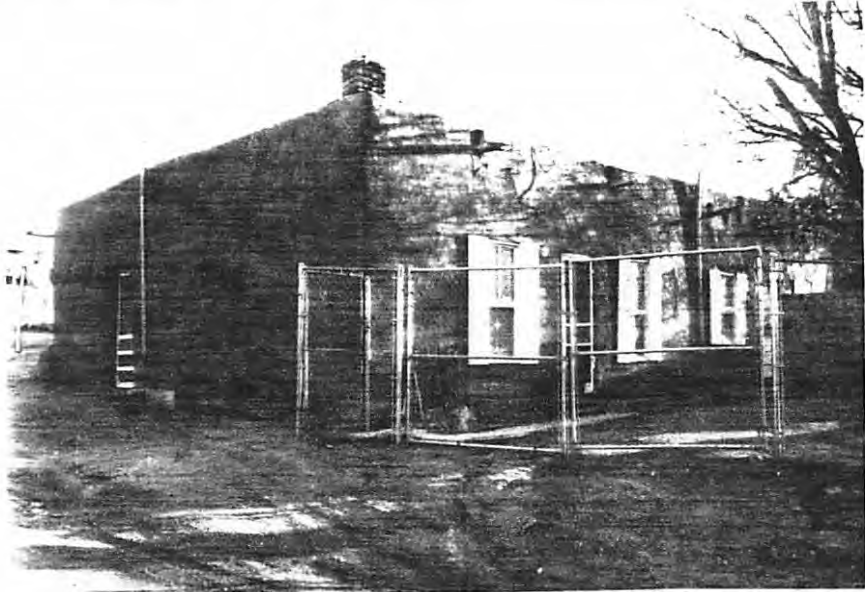
- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aerals, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and

height: 15'9"

H3172

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 3/85 by SL	county SANTA FE	ID no. 051612144
field map SFHD #2	number 2144	UTM reference easting zone 12 13	northing
location description 220 Rodriguez 's'		city/town SANTA FE	
		land grant/reservation	
building name		legal description tnsp ___ N S range ___ E W sec ___ 1/4 1/4	
film roll by SL no. 40	negative nos. 12 & 14	loc. of neg. HPB	plan shape



date of construction
 ~1910's estimate _____ actual
 source

use
 present residential
 other _____
 historic residential
 other _____

condition
 ___ excellent good
 ___ fair ___ deteriorating

degree of remodeling
 ___ minor ___ moderate ___ major
 describe:

view from S

NMEV	conc?
	wall material/surface adobe/stucco

architectural features
 • flat parapet walls conceal expos'd shed rfs to rear w/ extend'd cover + expos'd rt. joists
 • thick walls!

surroundings
 RCS
 relationship to surroundings
 similar ___ not similar

W: 2 w/ wd shutters (new) on S; alum sliding on N
 d: solid w/ 4 lts, s. w/ 2 lts

district potential
 ___ yes ___ no
 significance
 ___ eligible of ___ none
 if eligible, interest

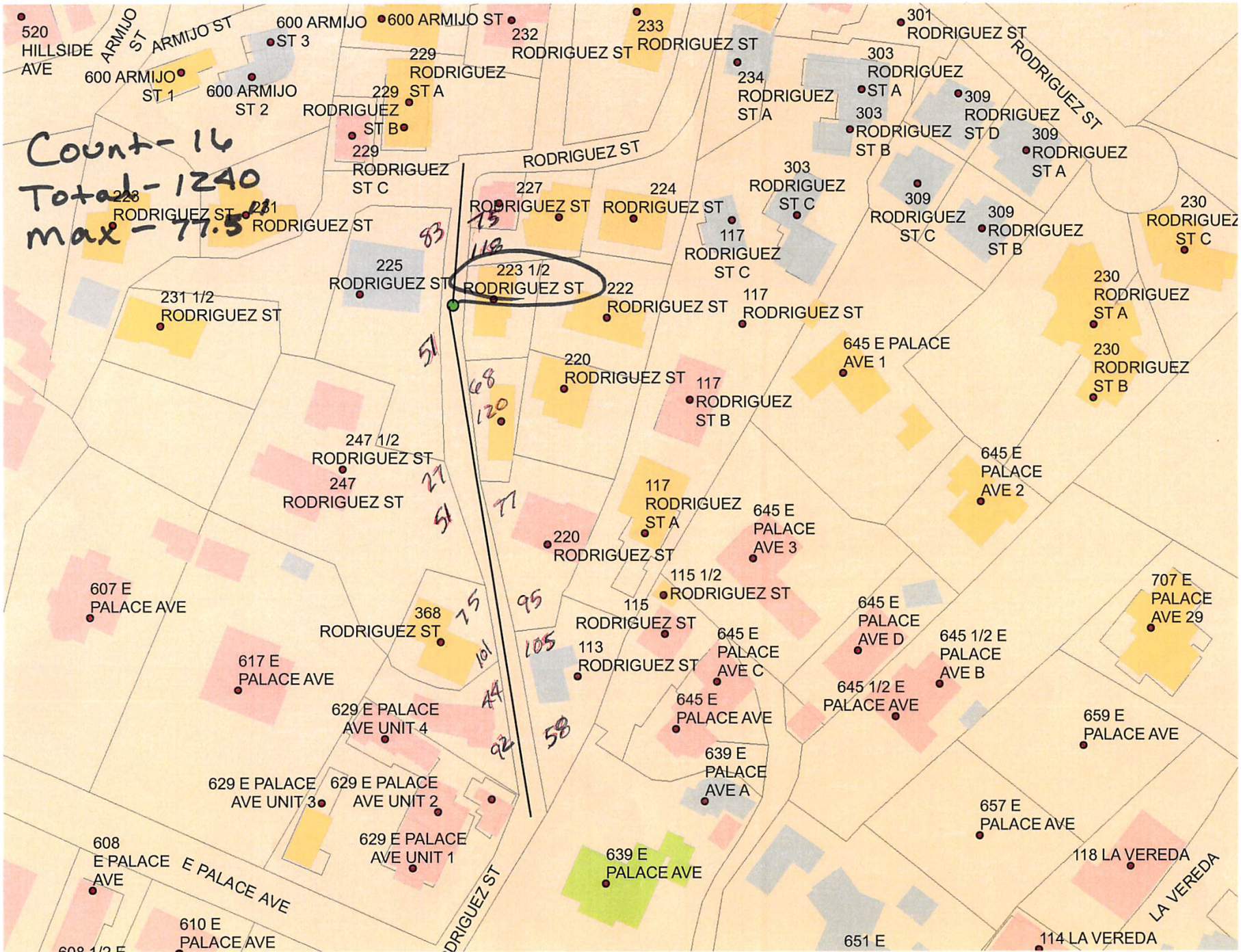
comments

Contrib.

associated buildings? ___ yes
 what type?

if inventoried, list ID nos.

see back? ___ yes



Count - 14
Total - 1240
max - 77.5

83
51
68
120
71
75
101
44
92
58

223 1/2
RODRIGUEZ ST

520 HILLSIDE AVE
600 ARMIJO ST 1
600 ARMIJO ST 2
600 ARMIJO ST 3
229 RODRIGUEZ ST A
229 RODRIGUEZ ST B
229 RODRIGUEZ ST C
229 RODRIGUEZ ST
227 RODRIGUEZ ST
224 RODRIGUEZ ST
233 RODRIGUEZ ST
234 RODRIGUEZ ST A
303 RODRIGUEZ ST A
303 RODRIGUEZ ST B
309 RODRIGUEZ ST D
309 RODRIGUEZ ST A
309 RODRIGUEZ ST B
309 RODRIGUEZ ST C
230 RODRIGUEZ ST C
230 RODRIGUEZ ST A
230 RODRIGUEZ ST B
225 RODRIGUEZ ST
231 1/2 RODRIGUEZ ST
247 1/2 RODRIGUEZ ST
247 RODRIGUEZ ST
607 E PALACE AVE
617 E PALACE AVE
629 E PALACE AVE UNIT 4
629 E PALACE AVE UNIT 3
629 E PALACE AVE UNIT 2
629 E PALACE AVE UNIT 1
608 E PALACE AVE
610 E PALACE AVE
608 1/2 E PALACE AVE
220 RODRIGUEZ ST
117 RODRIGUEZ ST B
645 E PALACE AVE 1
645 E PALACE AVE 2
645 E PALACE AVE 3
117 RODRIGUEZ ST A
645 E PALACE AVE D
645 1/2 E PALACE AVE
645 1/2 E PALACE AVE B
707 E PALACE AVE 29
659 E PALACE AVE
639 E PALACE AVE
639 E PALACE AVE A
657 E PALACE AVE
118 LA VEREDA
114 LA VEREDA
651 E
115 1/2 RODRIGUEZ ST
115 RODRIGUEZ ST
113 RODRIGUEZ ST
645 E PALACE AVE C
645 E PALACE AVE
639 E PALACE AVE



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 4/6/2022		220 Rodriguez Street, Santa Fe
Property Owner of Record: Brian Sarrazin and Stephanie Sandston		Proposed Construction Description:
Applicant/Agent Name:		Existing dwelling repairs, new electrical panel and wiring, updates to plumbing, and renovations, bringing infrastructure and finishes up to date. Adobe repairs to south wall, north wall, north and east parapets, and southern window and door frames. New windows and doors, resizing north windows to original. Changing roof drainage from north to south. Changing height of northeast wall.
Contact Person Phone Number: () - 406/581-1960		TOTAL ROOF AREA: 1,600 sq.ft.
Zoning District: R21, (PUD) Multiple - Family 21du/ac		Lot Coverage : 23.7 % 33.89%LJM
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		<input type="checkbox"/> Open Space Required: _____
Submittals Reviewed with PZR:		Setbacks:
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Proposed Front: _____ Minimum: _____ 2 nd Front? _____ existing
Supplemental Zoning Submittals Required for Building Permit:		Proposed Rear: 15' Minimum: 15'
<input type="checkbox"/> Zero Lot Line Affidavit		Proposed Sides: L _____ R 5' Minimum: 5'
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Height: Proposed 16' Maximum Height: 16' 8" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		Parking Spaces: Proposed 3 Accessible _____ Minimum: 3
Terrain: <input type="checkbox"/> 30% slopes _____		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Stephanie Sandston [x]OWNER [x]APPLICANT []AGENT
 PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Stephanie Sandston 4/6/22
 SIGNATURE DATE

To Be Completed By City Staff:	2022-005331-PAR
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: Construction of an accessory dwelling unit. LLOR established. 33.89% lot coverage. As part of set shall show parking plan that demonstrates all three required off-street parking spaces.	
REVIEWER: <i>Lani J McCulley</i>	DATE: 05/12/2022

Forms and Applications Package for
Historic Board Review
220 Rodriguez, Santa Fe

Brian Sarrazin and Stephanie Sandston, Owners
Greathouse Workroom, Designer

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Window and Door Historic Openings

Annotated Photographs, Repairs and Replacements

Damage Assessment (Crocker, Ltd.)

 Annotated Photographs

Escarpment Overlay

Appendices (Included separately as email attachments.)

 Historic Report (Gayla Bechtol)

 Design Documents

Addendum to Preliminary Zoning Review Worksheet

Proposed Construction Description

Existing dwelling repairs, new electrical panel and wiring, updates to plumbing, and renovations, bringing infrastructure and finishes up to date. Adobe repairs to south wall, north wall, north and east parapets, and southern window and door frames. New windows and doors, resizing north windows to original. Exposing and rebuilding original window. Changing roof drainage from north to south on northeast structure. Changing height of northeast structure to 16'5" from grade. Addition of passageway and new structure, including kitchen, dining, half-bath, studio loft, and mechanical space.



CITY OF SANTA FE HISTORIC PRESERVATION DIVISION HISTORIC DISTRICTS APPLICATION

1. Applicant Information (to be completed by the Applicant)

Date: 7/11/2022 Location of Project: 220 Rodriguez Street, Santa Fe

Applicant

Name: Brian Sarrazin and Stephanie Sandston

Phone: 406/581-1960 Email: stephanie@greathouseworkroom.com

Property Owner

Name: Brian Sarrazin and Stephanie Sandston

Phone: 406/581-1960 Email: stephanie@greathouseworkroom.com

Proposed Work:

Existing dwelling repairs and renovations: bringing infrastructure and finishes up to date, add two skylights, replace windows and doors as needed, add two additional windows, return four windows to original size, update electrical and panel, improve storm water drainage and catchment systems, New addition (500 sq.ft.): kitchen, half-bath, passageway, one self-supporting entry portal at guest entrance

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: _____

Historic Status: _____

Primary Elevations: _____

Previous HDRB and Admin Cases: _____

	Yes	No
Archaeological compliance required?	<input type="checkbox"/>	<input type="checkbox"/>

Administrative or HDRB?	Admin	HDRB
	<input type="checkbox"/>	<input type="checkbox"/>
If HDRB, exceptions required? (Complete prior to application acceptance.)	Yes	No
	<input type="checkbox"/>	<input type="checkbox"/>

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santafenm.gov/historic_preservation .

Application Submittal Date: 7/11/2022

Desired Hearing Date: August (first hearing) 2022

Project Type:

Status

New Construction

Sq. Ft. of project: 400

Primary Elevation Designation

Remodel

Sq. Ft. of project: 1,200

Construction Cost: \$225,000

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Brian Sarrazin and Stephanie Sandston

Signature *Brian Sarrazin* *Stephanie Sandston*

Proposal

Introduction

Our intention is to make 220 Rodriguez our permanent home where we can both live and work. We believe that ownership of a Contributing dwelling requires responsible stewardship. We are confident that our plan successfully brings 220 Rodriguez forward to a more modern function while respecting its history and scale.

The historic form and integrity of 220 Rodriguez have enormous potential yet over the years, it has suffered from a lack of maintenance and enhancement to infrastructure. We have retained consultants and experts to assess the needs of the existing structure, be it for maintenance, repair or to bring the existing infrastructure up to date.

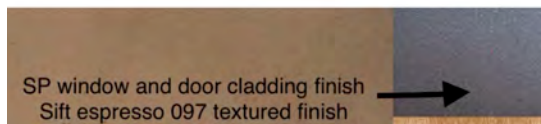
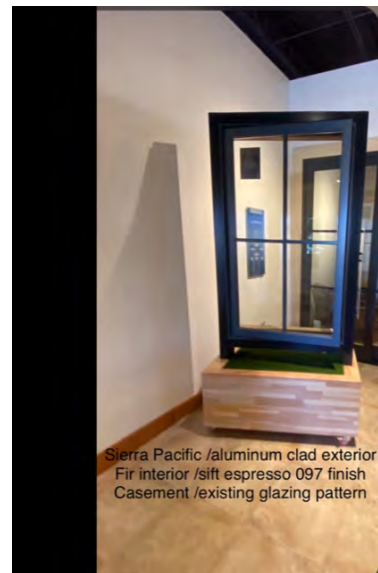
We are currently living in a rented home because the dwelling is not habitable now and won't be until maintenance and repairs are completed. We plan on moving in just as soon as appropriate repairs are made.

Please review our proposed repairs and replacements and advise at your soonest convenience. We must start making repairs to the parapets and walls that are in a dangerous state.

Repairs and Replacements Proposed for Administrative Approval and HDRB Review

"In closing, my professional opinion is that these windows and doors could and should be replaced to same styles typical of that era, which would meet the correct historical requirements." Ra N. Patterson)

1. Replace four existing south-facing windows with Sierra Pacific Sift Espresso 097 (dark bronze), exterior aluminum clad, interior wood, casement windows with improved R-value and function, using original glaze pattern from existing south-facing primary facade.



- Expose original window openings in northwest room (the “Guest” space) returning them to their original size and replace with exterior aluminum-clad awning windows, interior wood, using original glazing pattern to match south face. (See window and finish reference above.)



- Expose original west-facing picture window in southwest room (the “Sitting Room”), install exterior aluminum clad, interior wood casement windows with original glazing pattern. (See window and finish reference above.)



4. Replace northeast window (currently boarded) in original size, exterior aluminum clad, interior wood casement window. (See window and finish reference above.)



5. Replace non-historic south-facing doors in original openings. Aluminum clad glass, divided light exterior doors, original glazing pattern, not to exceed 30-inch rule. (See finish reference above.)



6. Replace non-historic north-facing door to new size using original location. Aluminum clad glass, divided light exterior doors, original glazing pattern, not to exceed 30-inch rule. (See finish reference above.)



7. Add a small portal to the west Guest entrance to protect the below-grade doorway from continuing water damage, improving west-face drainage. Portal to consist of an 18" rubble wall with wood, free-supporting posts and a 7/8' corrugated steel bonderized roof.
8. Replace non-historic west-facing door in original size and original location. Aluminum clad glass, divided light exterior doors, original glazing pattern, not to exceed 30-inch rule. (See finish and door reference above.)



9. Add west-facing yard wall, gate and arbor to create secure entryway and courtyard. To meet yard wall guidelines, arbor exposed above.

[ADD WINDOW REPORT HERE]

The Shop Renovation (non-primary facade)

Built pre-1935, the northeast building (the “Shop”) was originally used as a goldsmith’s workshop. Anecdotally, the space was said to be used as an impromptu neighborhood “salita” where dances were held on the dirt floor. Sometime in the 1970s its use was limited to storage due to safety concerns.

Crocker Ltd. has assessed the current safety and stability of the northeast portion of the Shop building. Both the north-facing wall and the parapets to the west (large parapet) and east are failing and leaking into the adobe between the Shop and northwest building (the “Guest”). The structure has a significant drainage issue to the north due to multiple pocket roof failures, an uphill condition, an adobe yard wall, added in the 1970’s, that is forcing water into the doorway of a below-grade room, and a north-sloping roof that creates a freeze/thaw issue.

Having inspected the walls and finding moisture, voids, and signs of “unsafe conditions,” Crocker recommends rebuilding the north adobe wall and parapet, adding new footings and bond beams for north wall, and repairing or replacing headers and reframing openings before installing windows and doors. To avoid future water damage, they also recommend an adjustment to grade slope away from building.

We propose the following: rebuild the Shop’s north-facing adobe wall (currently at 13’ 9”) to a new height of 16’ 5” from grade to parapet and change the roof slope from north to south to eliminate further water damage and to direct water flow to the roof of the southeast building (the future “Master Bedroom”) where it will be redirected to the canales which drain to the catchment system and directed to the tree wells, swales, and rain gardens to the south.

Gently reshape grade in parking area and driveway to flow appropriately.

The adobe parapets to the east and west will be rebuilt and the roof and deck will be new, the existing, historic vigas will be reused (as per Crocker), new engineered footings, headers, and bond beams as needed. Windows and doors will be reframed in their original location, with entrance expanded to double doors. We propose adding two upper windows (see Window and Door Schedule) in the proposed loft space (“Brian’s Studio Loft”), one east-facing and one south-facing. The New Mexico Earthen Building Code for historic renovations will be followed.

The new use for the Shop will include a utility entrance (from parking area), Brian’s Studio Loft, a den space, and additional storage and laundry.

Summary

1. Rebuild north-facing adobe wall to a new height of 16’ 5”
 - 1.1. New engineered footings
 - 1.2. New engineered headers and bond beams as necessary
 - 1.3. Reframe and install window
 - 1.4. Reframe and install door, expanded from original size to accommodate double doors
 - 1.5. New 30” overhang over new window and door (to recreate existing overhang) [PHOTO]
2. Change roof slope from north to south
 - 2.1. Rebuild east and west parapets (match new north wall height)
 - 2.2. Add new insulated roofing
 - 2.3. Reuse historic vigas and decking where possible
3. New windows and doorways
 - 3.1. East and south facing windows at loft height
4. Reshape and grade parking area for appropriate drainage and catchment [ADD JESS LETTER HERE]

Proposed Addition (Attached to South-Facing, Primary Facade)

After research and consultation we conclude that the south-facing facade, though primary, is the only place to add the modern updates and infrastructure our home requires. Making the needed additions within the existing, historic spaces would incur greater cost and disruption to the adobe structure than this proposal. We seek to retain the original purity of the four adobe-walled spaces.

Considerations

- The historic form and integrity of the primary facade will be unimpaired.
- The proposed passageway is self-supporting and removable.
- The location of the proposed addition is efficient for access to electric and plumbing utilities.
- The proposed addition is optimal for passive solar considerations.
- The proposed yard wall separates appearance of historic and new structures and screens the street view to the passageway.
- The proposed addition is of a scale that is complimentary and respectful to the historic structure.
- The proposed adobe material of the proposed addition is compatible with the existing structure.

The addition we propose (the “Addition”) consists of a kitchen, dining, half-bath, studio loft (“Stephanie’s Studio Loft”), mechanical space and an enclosed passageway (the “Passageway”).

The Addition is a 17’ x 22’ volume 14’ tall at grade to parapet. It will be connected by a low-profile Passageway of 8’ x 10-13’ volume at 8’ 10” tall at grade to roof peak. We propose a 8’ rubble and steel arbor/yard wall that creates an entry courtyard and delineates the historic from the new structure. The entry wall and expanded xeriscape plantings will screen the passageway from street view.

As recommended, the Passageway could be removed at a later date, ensuring that the historic form and integrity of the primary facade will be unimpaired. The passageway begins at the west-most door of the south-facing facade. The passageway will enclose only the door.

The Addition, at a scale of 17’ x 22’ x 14’, mirrors the scale of the historic building. The Addition is built 4’ below grade at its north face to minimize the visual effect of the height on the streetscape. The roof height of the Addition is only 2’ taller than the primary facade. (The guidelines for Contributing status require that additions be no taller than 4’ above the contributing structure.)

The site of the Addition lets us take advantage of passive solar gain from the east and south. The south-sloping parapet roof creates an opportunity for water catchment and future solar array. We propose to add a 1,000-gallon, above-ground catchment tank at garden level at the south end of the Addition which will not be visible from the street. We propose adding a solar array of 336 sq.ft. that would also not be visible from the street or from neighboring dwellings.

The Addition site (where the southwest corner meets the setback) also creates a deeper xeriscape planting screen from the street, enabling a more welcoming appearance than the monolithic coyote and chainlink fence which currently runs nearly the entire length of the west property line. From the southmost corner of the Addition to the end of the property line a new coyote fence will be reconstructed in the same height and with the same coyote material as existing fence but updated with new steel posts horizontal members.

Method and Materials of Construction

The Addition will be constructed of adobe block with interior framed walls. Modern foundation, insulation, and roofing methods, as outlined by the New Mexico Earthen Building Code will be adhered to. Exterior adobe plaster will be used with a hard-troweled method.

The new, hard-troweled, traditional stucco finish on the existing structure will be matched to the color of adobe (BM Wet Clay, see materials and finishes list and images).

Progress Report

We have consulted with various experts on the condition and needs of the structure and infrastructure. We have provided the recommended assessments for windows and the historic report for historic status review. The status review meeting was held and primary facades are designated. We consulted with the City and with their permission have removed diseased trees. We planted twenty new trees. Received approval from Historic and the City for reroofing. Applied for and received permits for refencing east boundary. We have begun improving appearance and slope of landscape. We have developed designs and drawings. We have uncovered original window and opening locations.

On June 23, we received administrative approval for repairs to damaged vigas, repair to stucco, repair to parapets on east, west and south, repairs or replacement of plumbing, heating, electrical and mechanical, addition of a new electrical panel. We are initiating these repairs and replacements.

Closing Remarks

Our ongoing intention is to appropriately maintain and protect this wonderful property, now and in the future.

[CROCKER LETTER]

Response to Possible Exceptions (as requested July 18)

South Proposed Addition:

We do not understand why the south proposed facade requires an exception. The design of the addition is in harmony with the historic scale and materials of the neighborhood. We designed the addition to tuck into the hillside in order to minimize its presence in the streetscape. It's height is a modest 2' taller than the south-facing facade. It will be built with the same material (adobe) and construction used in the historic facade. The materials will be the same color and texture and our goal is to maximize its harmony with the historic. The scale of its windows and doors as well as the divided light windows are within guidelines of the HDRB.

The newly formed south-facing facade of the Shop building arises out of our need to repair unsafe conditions. The original roof is leaking and has caused extensive damage to the Shop building and its footings. We must replace much of it, as it has been deemed unsafe. Since we must rebuild, we also seek to minimize further water damage by reversing the roof slope from uphill to downhill drainage. This reduces the risk of further water damage while enabling us to utilize the water in our catchment design.

We also seek to raise the Shop height by 3' to allow the inclusion of a loft for Brian's work studio. It is our intention that this modest increase and the single window retain harmony with the historic south-facing facade. It is also not visible from most elevations.

North/East Proposed Remodel and Height Change of Shop Building:

The remodel of the non-primary north-facing facade is born of necessity. (See damage reports.) It is our goal to repair the Shop building in a manner to that supports historic harmony but that adds to the overall utility of the structure. We require additional space for Brian's work area and storage. As noted in our proposal, we must repair roof, parapets, and wall footings.

We believe the height increase is modest and we are proposing to enhance it by replacing a boarded-up window with a historically resonant window of the same size. We also hope to replace the single door with a double door in the same location and scale as we need a utility entry to enhance accessibility for our family and friends with mobility issues. The existing overhang is 30" and so we propose adding a 30" corrugated steel shed roof over the doors to protect this entry.

We will be using the original vigas to support the traditional roof.

The north-facing non-primary facade is only viewable from our private parking area. It will be built with the same material (adobe) and construction used in the historic facade. The materials will be the same color and texture and our goal is to maximize its harmony with the historic. We believe the overall effect is in harmony with the neighborhood.

Material and Finishes Study

SP window and door cladding finish
Sift espresso 097 textured finish



Passage siding and doors
rough sawn fir clear sealer

Smooth trowel stucco/adobe plaster El Rey
Color:wet clay cusp-1045 BM

Steel arbor and screen
hot rolled steel

Rubble yard wall /
base of guest portal

Passageway and guest
portal roofing material/7/8"
corrugated pattern
bonderize finish

Window and Door Report

HISTORIC ASSESSMENT
NO. SS220 - HA

RPA & Associates

PRESERVING OUR HISTORY

1304 Central Ave SE, Albuquerque, NM 87102
P.O. BOX 10328 Albuquerque, NM 87184
505-379-7900
rpahistoric@gmail.com

To Stephanie Sandston
220 Rodriguez
Santa Fe, NM 87501
stephanie@greathouseworkroom.com



JOB	DATE
220 RODRIGUEZ	03/11/2022

LOCATION	DESCRIPTION
NORTH A	29 X 71 RH 4-PANEL DOOR PINE
NORTH B	29 X 53 FILLED IN WINDOW OPENING
NORTH C	36 X 24 ALUMINUM HORIZ SLIDER 1-LT
NORTH D	36 X 24 ALUMINUM HORIZ SLIDER 1-LT
WEST DR #1	32 X 80 LH INSWING DOOR SIMPSON 10-PANEL - PINE/FIR
SOUTH E	28 X 63 DOUBLE HUNG 2W1H - PINE
SOUTH F	28 X 63 DOUBLE HUNG 2W1H/2W1H - PINE
SOUTH G	28 X 51 DOUBLE HUNG 2W1H/2W1H - PINE
SOUTH H	28 X 27 DOUBLE HUNG - FIXED SASH 2W1H - PINE
SOUTH DR #2	32 X 80 RH INSWING DOOR SIMPSON 10-PANEL - FIR
SOUTH DR #3	32 X 80 RH INSWING DOOR DIAMOND CROSS BUCK - FIR

Window and Door Report (Page 3)

In closing, my professional opinion is that these windows and doors could and should be replaced to same styles typical of that era, which would meet the correct historical requirements.

If you have any questions, please contact me at 505-379-7900.

Assessment prepared by: *Ra N. Patterson*

Window and Door Report, Supporting Images



Window and Door Report, Supporting Images (Page 2)



Window and Door Report, Supporting Images (Page 3)



Window and Door Report, Supporting Images (Page 4)



Window and Door Report, Supporting Images (Page 5)



Window and Door Report, Supporting Images (Page 6)



Window and Door Report, Supporting Images (Page 7)



Window and Door Report, Supporting Images (Page 8)



Window and Door Report, Supporting Images (Page 9)



Window and Door Report, Supporting Images (Page 10)





Window and Door Historic Openings (West-Facing)



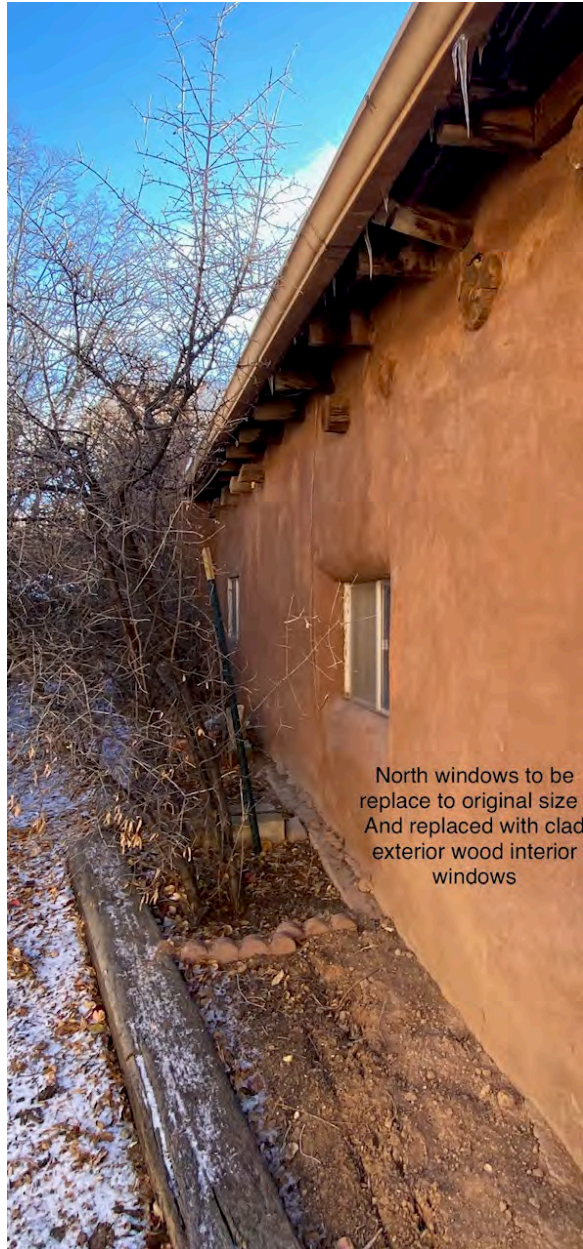
Window and Door Historic Openings (South-Facing)



Window and Door Historic Openings (North-Facing)



Window and Door Historic Openings (North-Facing)



Annotated Photographs, Repairs and Replacements

Request for Administrative Approval Repairs and Maintenance, 220 Rodriguez Street

Brian Sarrazin and Stephanie Sandston
(Mailing address: 220 Rodriguez Street, Santa Fe, NM 87501)
406/581-1960

SOUTH ELEVATION

1. Repair adobe wall between arrows (noted).



2. Repair south parapet.



3. Replace two exterior doors and screens.



4. Replace four windows. Return eastmost window to original size.



5. Repair steel canals.



6. New freestanding shade structure.



7. New freestanding entry wall and arbor.



8. Remove shutters.



WEST ELEVATION

9. Replace entry door and screen.



10. Free standing portal, rubble and steel.



11. Repair parapets.



EAST ELEVATION

12. Repair parapets.



13. Raise wall six feet (6') and add window.



14. Stucco repairs as needed.



NORTH ELEVATION

15. Repair footings, adobe entry wall, 2/3 of face, replace window and door openings.



16. Change roof height, reengineer roof to drain south, replace center parapet.



17. Repair bond beam and raise vigas.



18. Repair leaks caused by damaged parapet.

19. Add new windows and doors.



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Existing damage shop roof and parapet /shed drawing south

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



damaged south east roof and parapet awaiting repairs

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Guest roof north/west



Proposed North /East repairs, replacements and improvements

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Damaged large west shop parapet

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



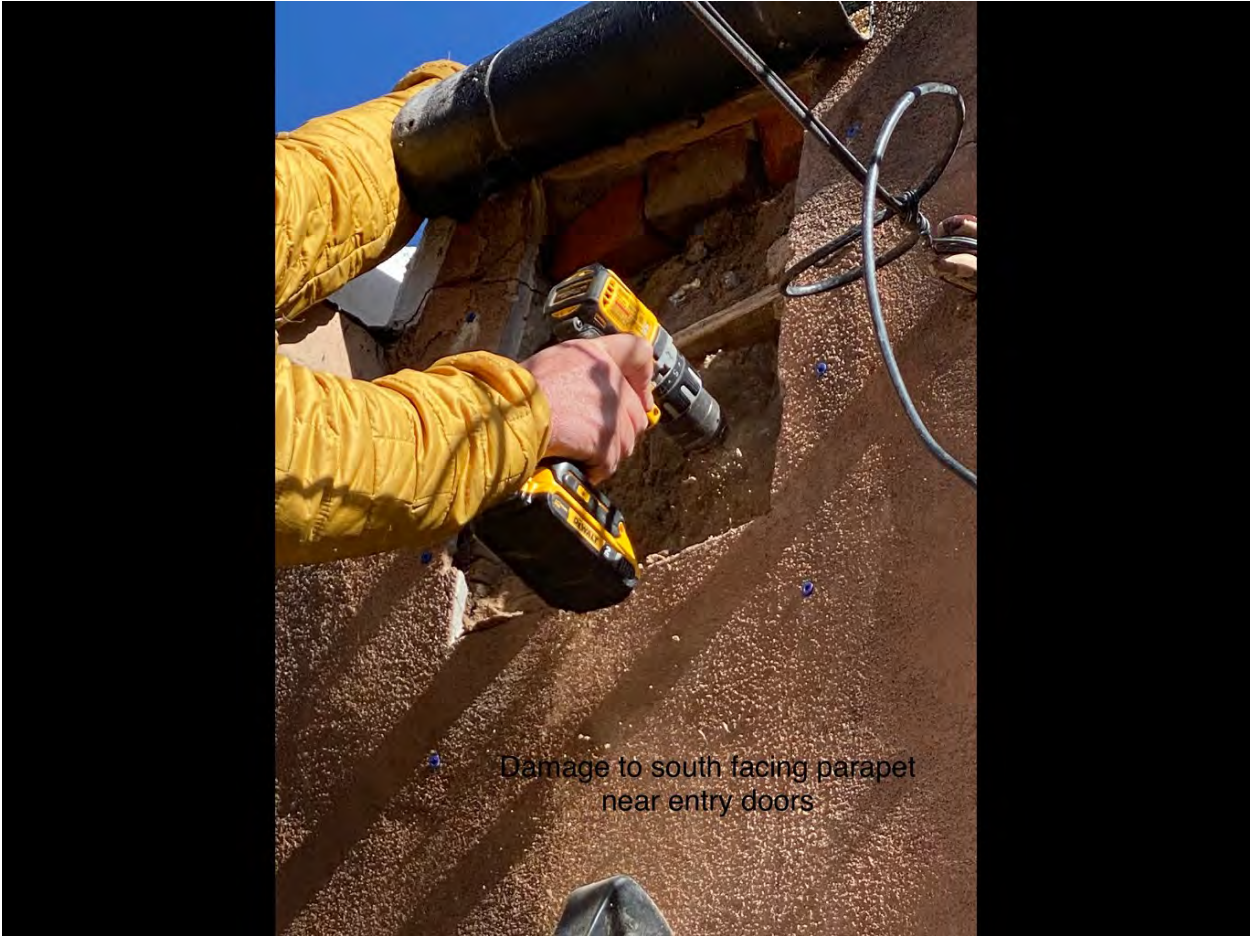
March 25
8:46 AM

Large western facing parapet
damage /shop

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Damage to south facing parapet
near entry doors

Annotated Photographs, Damage Assessments (Crocker, Ltd.)



Annotated Photographs, Damage Assessments (Crocker, Ltd.)

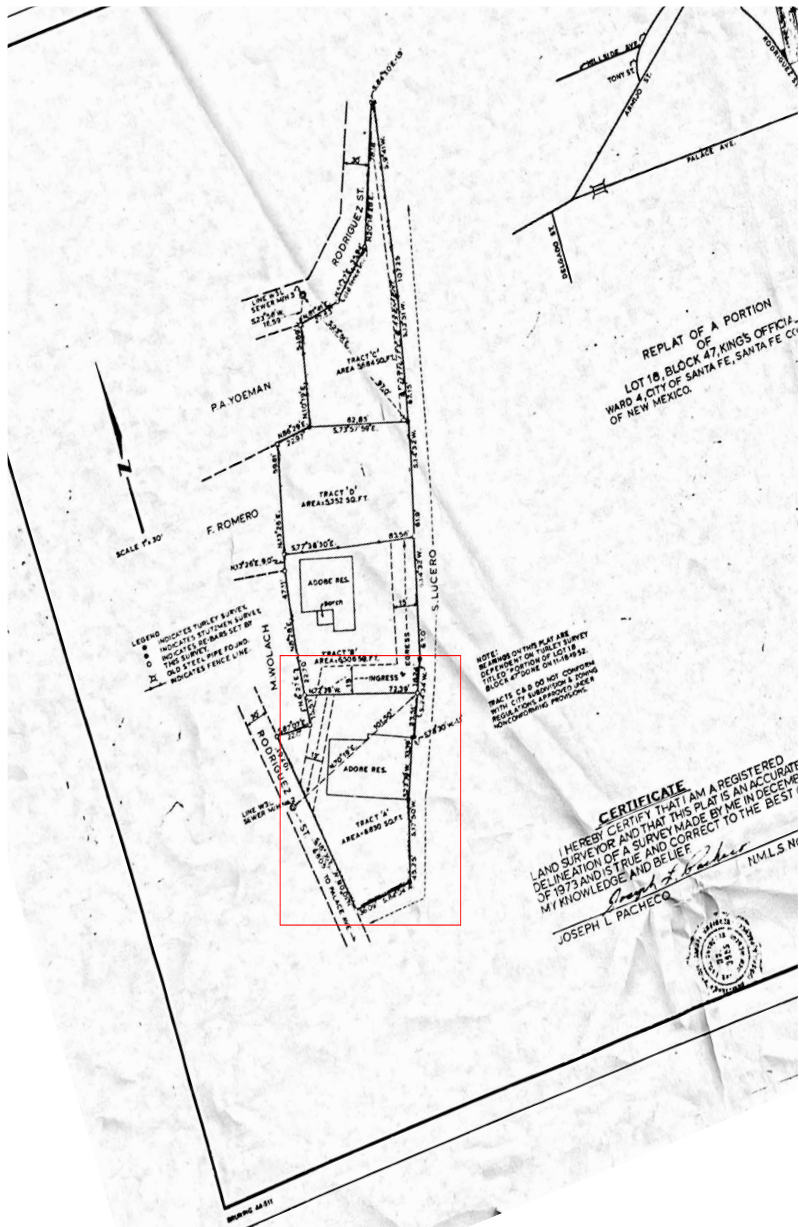


Annotated Photographs, Damage Assessments (Crocker, Ltd.)

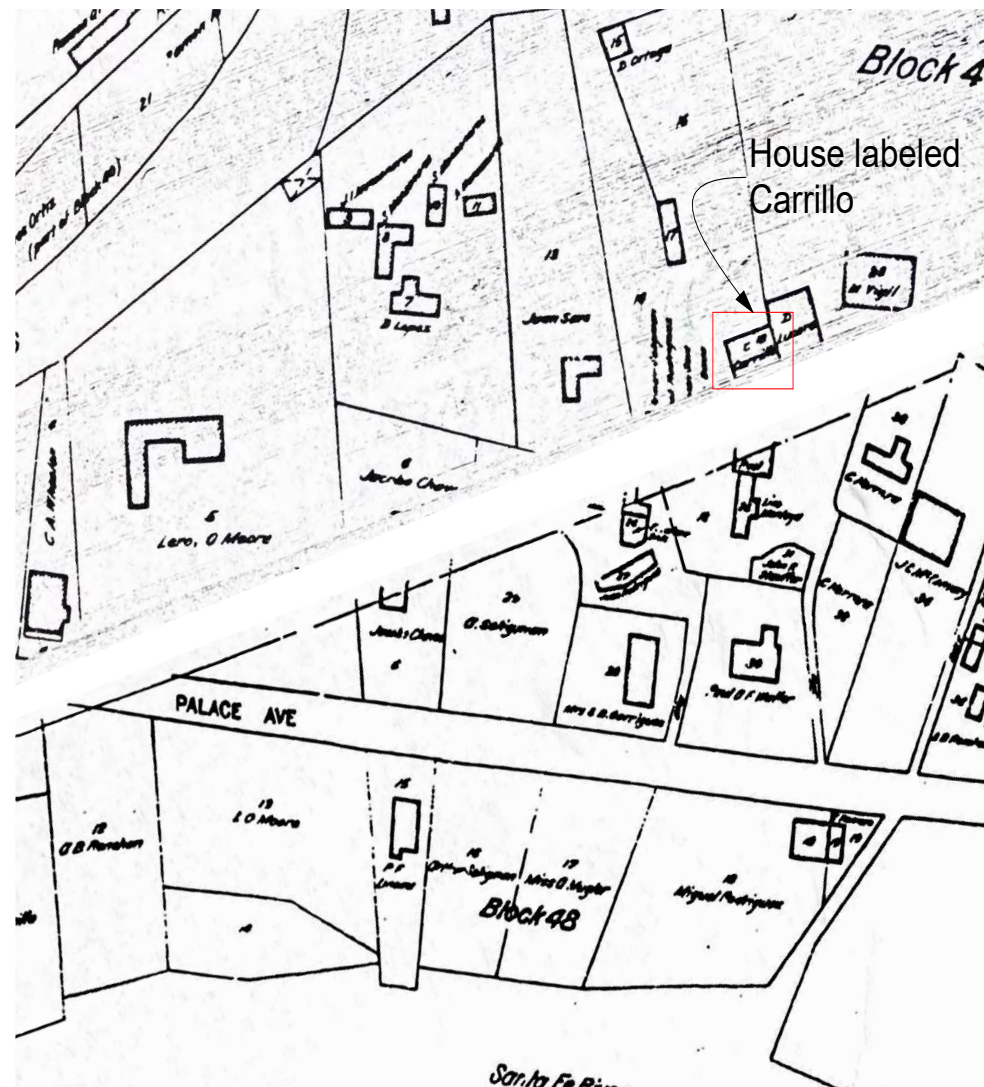


Escarpment Overlay

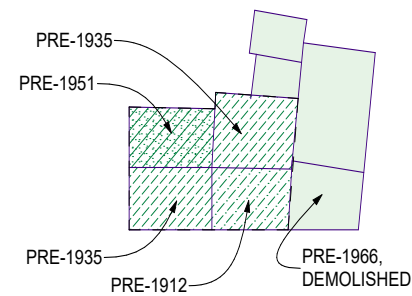




1 1973 PLAT OF SURVEY, APPROVED IN 1981
SCALE: 1:0.76

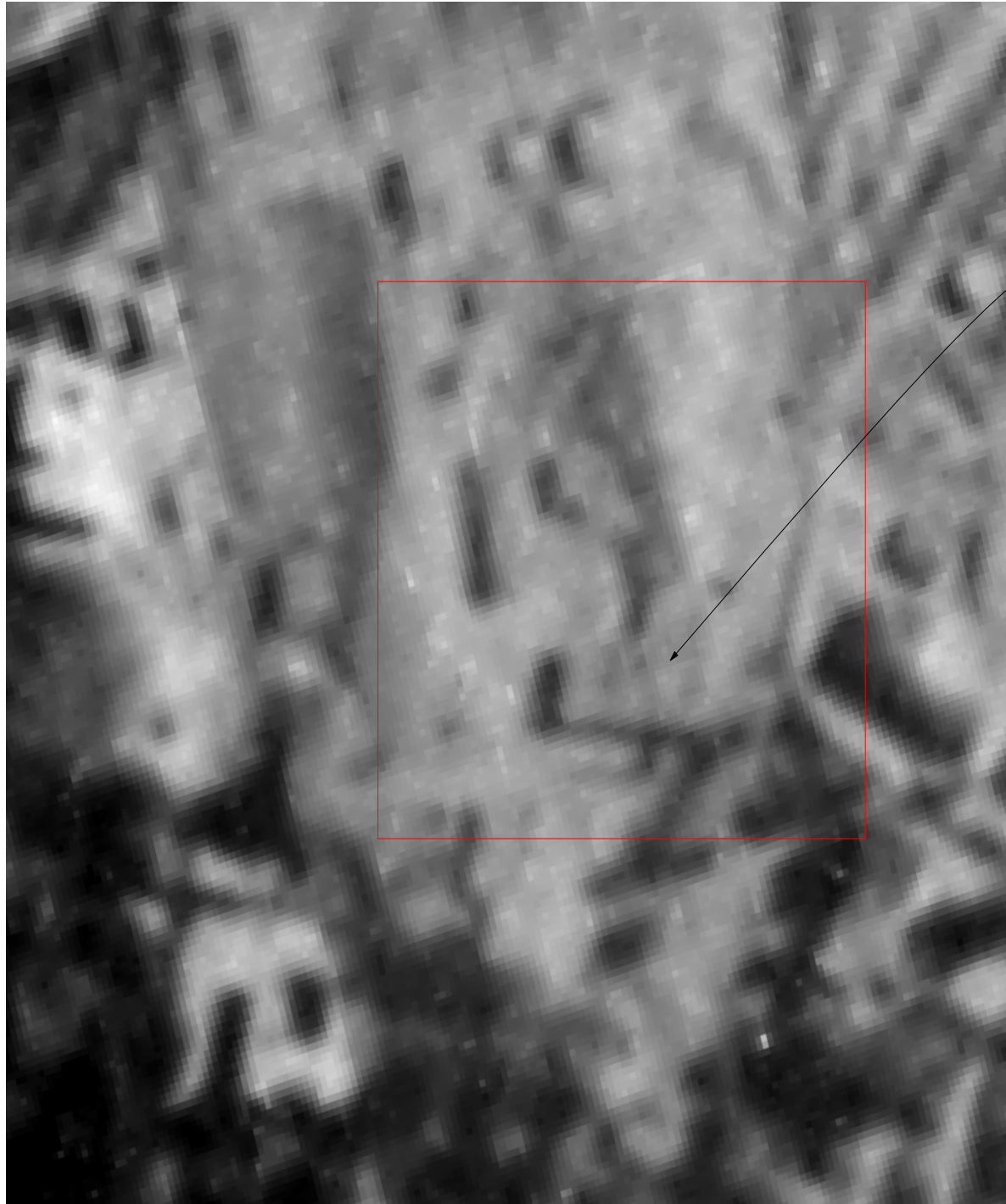


2 1912 KINGS MAP
SCALE: 1:0.50

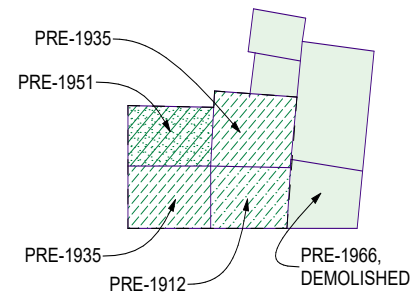


DATE DIAGRAM

ISSUED:
3.13.2022 Historic Report
PLAT AND KINGS MAP



L-shaped house

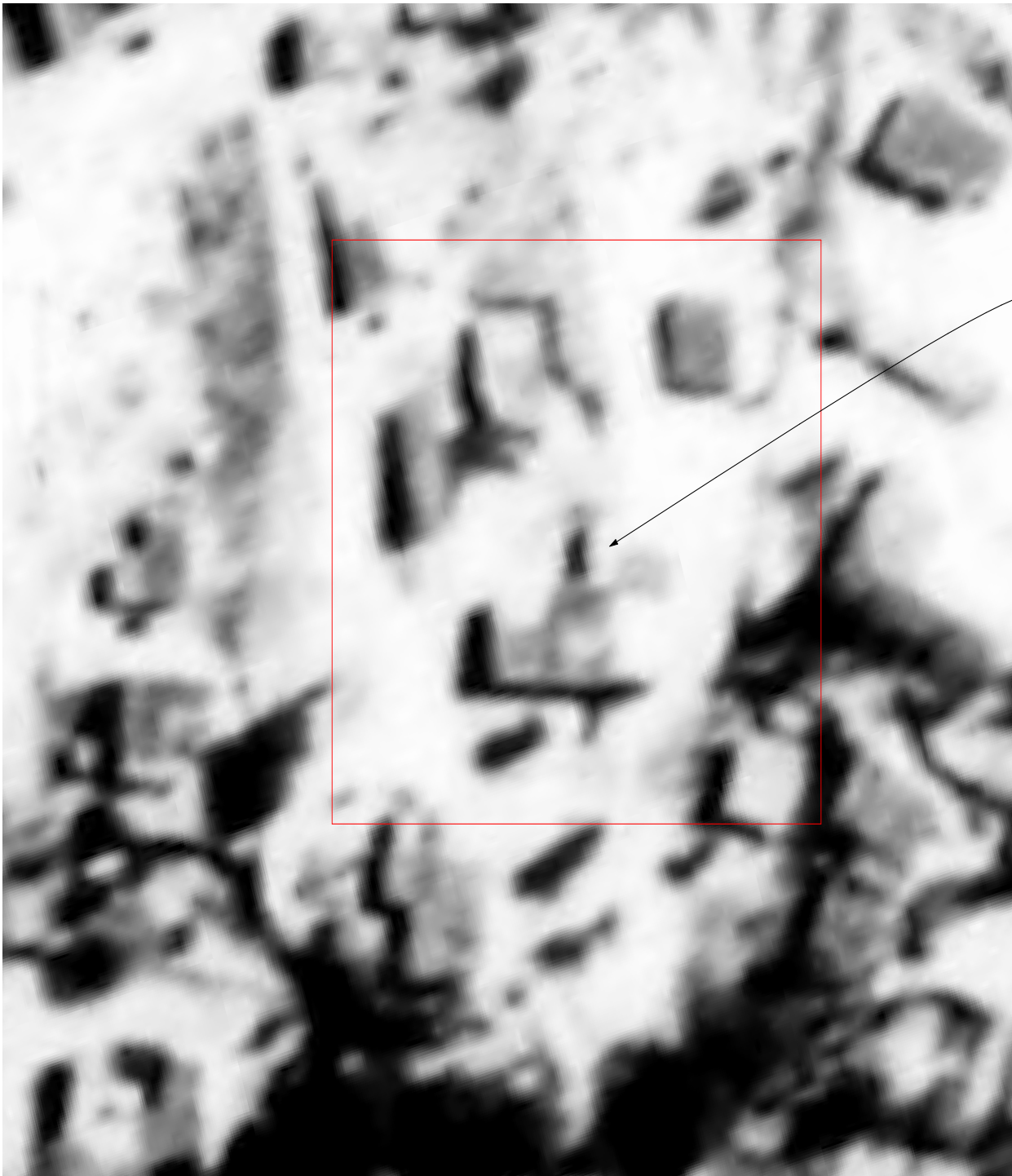


DATE DIAGRAM

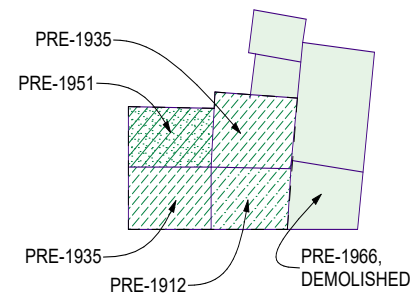
1 1935 AERIAL PHOTO

SCALE: 1:0.50

ISSUED:
3.13.2022 Historic Report
1935
Printed: 3/14/22



Still L-shaped



1 1951 AERIAL PHOTO

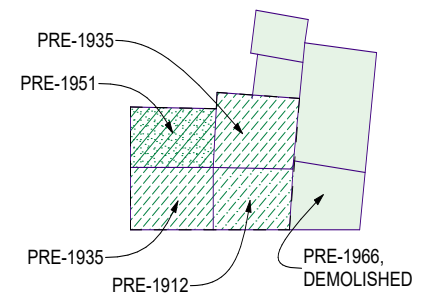
SCALE: 1:0.33

DATE DIAGRAM

ISSUED:
3.13.2022 Historic Report
1951



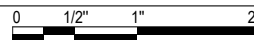
The L-shape filled in to form the existing footprint in 2022. Buildings built next the residence(s) at 220 are also visible. From 1955-1966 at least five people (families) are listed in the Santa Fe City Directory as living at 220 Rodriguez Street.



1 1958 AERIAL PHOTO

DATE DIAGRAM

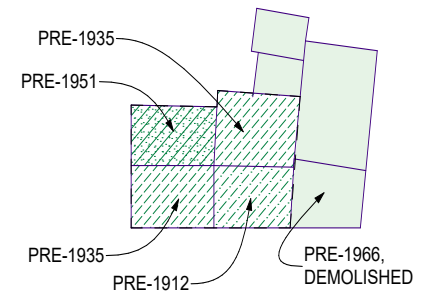
SCALE: 4" = 41.0'



ISSUED:
3.13.2022 Historic Report
1958
Printed: 3/14/22

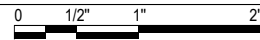


The adjacent buildings are gone, as well as the other structures to the north. This is 2022 footprint.



1 1966 AERIAL PHOTO

DATE DIAGRAM



ISSUED:
3.13.2022 Historic Report
1966
Printed: 3/14/22

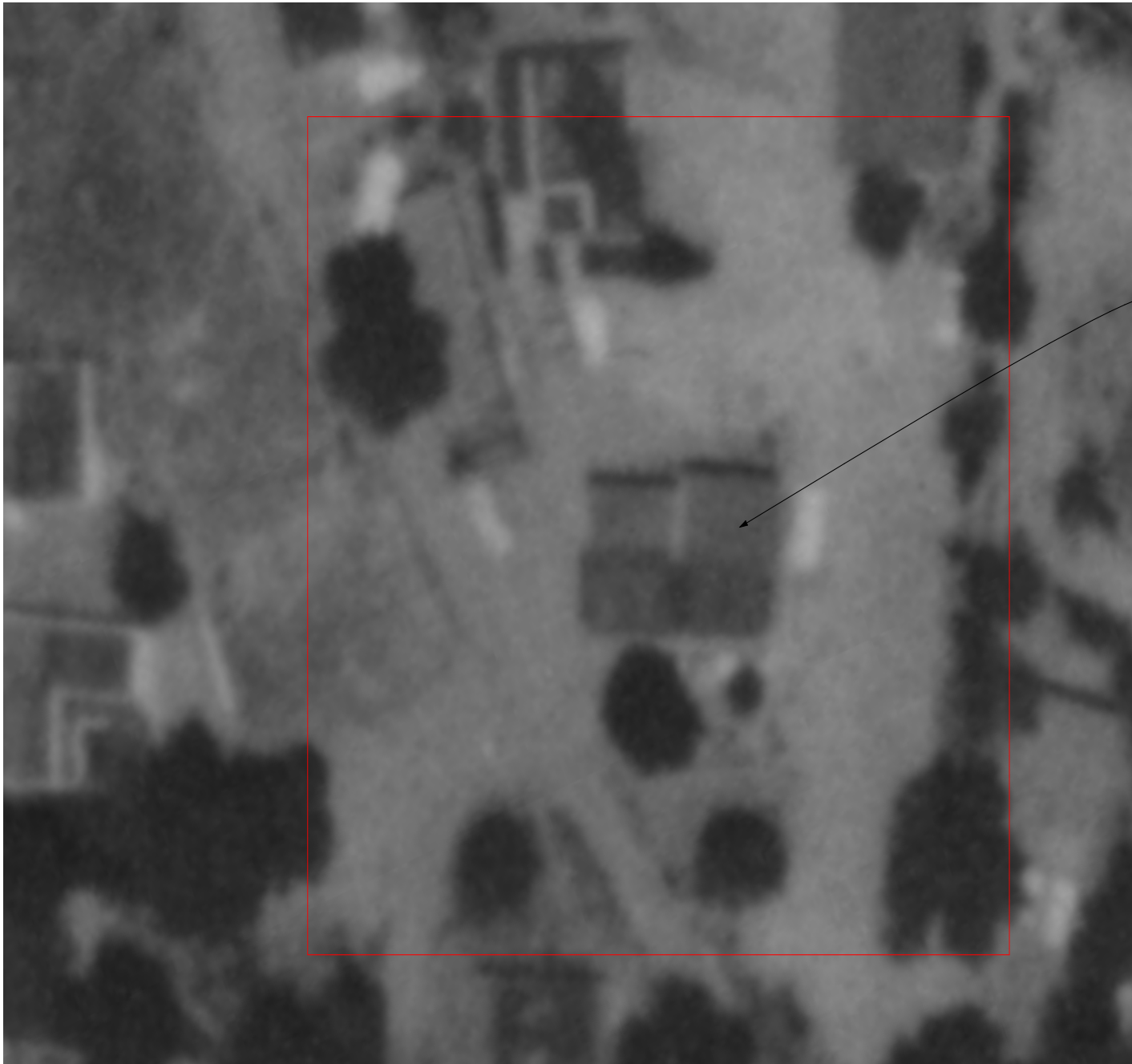
220 RODRIGUEZ STREET
HISTORIC AERIAL PHOTOS AND PLATS



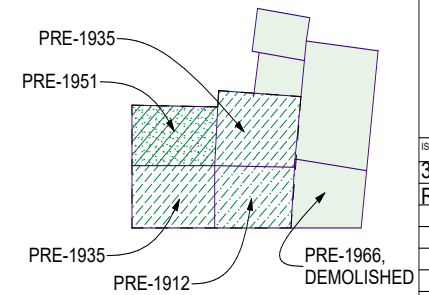
Different roofing material,
red metal?

1 1969
SCALE: 1:0.50

ISSUED:
3.13.2022 Historic
Report
1969
Printed: 3/14/22



Footprint from 1969-2022



1 1975 AERIAL PHOTO

SCALE: 1:0.50

DATE DIAGRAM

ISSUED:
3.13.2022 Historic Report
1975

220 RODRIGUEZ STREET, SANTA FE, NM - HISTORIC REPORT

Summary:

The simple rectangular structure located at 220 Rodriguez was part of family compound. It is made up of four different building campaigns, the oldest of which is likely from 1890, but certainly by 1912. Some buildings that have been attached to this building were removed after 1966. The existing structure was in existence by 1975 making even the latest addition historic. The property has been in the Carrillo family at least since 1912.

The roof, a fiberglass coating over dirt is a low-slope shed with parapets on three sides, and metal candles on the south. There is a visible concrete apron as part of recent repairs.

The south facade has the most character-defining features. There are four window and two door openings. The windows need replacement or repair, the proportions of the windows evoke the time periods in which this structure was built. The other facades are mostly adobe walls, with openings that have been altered, although with protruding vigas reflecting the Spanish Pueblo Revival vernacular architecture.

I recommend the south facade as primary because of the remaining window and door openings, the exposed wood beams, and it is the most lived-in facade making it the most important.

Please see the photographs of each facade for details, the interior photographs, tax assessor cards and the listing of residents from 1934 through 1985 and the obituary of Frank Dofflemeyer. An appendix with the Abstract of Title from 1978 for Frank and Carmen Dofflemeyer, and a deed from Frank to Carmen and Frank is also included.



SOUTH FACADE, OPENINGS ARE ORIGINAL EXCEPT AT FAR RIGHT THE BATHROOM WINDOW IS SMALLER THAN THE ORIGINAL AS SEEN INSIDE, THE FALSE PAINTED SHUTTERS ADDED CIRCA 1985. WINDOWS ARE NOT IN GOOD SHAPE, DOORS ARE NOT ORIGINAL. THERE ARE METAL CANALES IN PARAPETS, EXPOSED MILLED BEAMS ON THE EAST, UNDULATING WALLS REFLECTING ADOBE CONSTRUCTION AND AS SEEN ON THE INTERIOR. THE WINDOWS ON THE EAST ARE SLIGHTLY SHORTER THAN THE WINDOWS ON THE WEST INDICATING A DIFFERENT TIME OF CONSTRUCTION, AS DOES THE MILLED BEAMS NOT VIGAS. THE VIGAS APPEAR HAVE BEEN DEAD AND DOWN, NOT HEAVILY ADZED. THE HOUSE SITS ON A RISE ABOVE PALACE AVENUE, WELL ABOVE THE RIVER.



ANOTHER VIEW OF THE SOUTH FACADE WITH PROTRUDING METAL CANALES, THE EXPOSED BEAMS, AND THE FALSE SHUTTERS.

220 RODRIGUEZ STREET, SANTA FE, NM - HISTORIC REPORT



WEST FACADE WITH ONE DOOR OPENING, SLIGHTLY BELOW GRADE, CHIMNEY IS EXPOSED, INSIDE THE FIREPLACE WAS REMOVED. EXISTING ROCK WALLS AND COYOTE FENCE- NO DATES AVAILABLE.



EAST FACADE WITH NO OPENINGS, CONCRETE CURB ADDED, FIBERGLASS FROM ROOFING VISIBLE ON PARAPET. PRIOR TO 1966 BUILDINGS ALONG THIS LINE



NORTH FACADE DETAIL WITH EXPOSED VIGAS, CONCRETE CURB ADDED FOR STABILIZATION MORE RECENTLY, DATE NOT AVAILABLE. THIS ROOM HAS NO HEAT, AND WAS LISTED AS SUCH IN 1960 TAX ASSESSORS REPORT. THERE IS A FIREPLACE BUT NO VISIBLE FLUE. THERE ARE TWO WINDOW OPENINGS, ONE OF WHICH IS VISIBLE ON THE OUTSIDE WITH A PAINTED PLYWOOD PANEL AND EXPOSED LINTEL. THE OTHER IS VISIBLE ON THE INSIDE. THE DOOR IS A WOOD PANEL PLANK DOOR. THE FLOOR IS 12" BELOW GRADE. ALSO NOTE THE GUTTERS. THE FLOORS ARE BELOW GRADE AND THERE HAS BEEN WATER DAMAGE, ESPECIALLY AT THE PARAPET WALL BETWEEN THE TWO ROOMS.



THE NORTH FACADES. THE WESTERN ROOM WAS ADDED LAST, THE OPENINGS ARE LARGER ON THE INSIDE, THESE ARE ALUMINUM REPLACEMENT SLIDER WINDOWS. EXPOSED VIGAS IN BOTH ROOMS. SHED ROOF ON THE EASTERN PORTION, THE WESTERN PORTION HAS A SLIGHT PITCH TO THE CENTER, WITH PARAPETS ON THE WEST AND SOUTH



NORTHWEST CORNER, THE STONE BUTTRESS MATCHES THE BUTTRESS ACROSS THE DRIVEWAY. THE PROPERTIES WERE NOT LEGALLY SEPARATED UNTIL 1981. THE ADOBE ROOMS THAT MAKE UP THIS STRUCTURE ARE SPANISH PUEBLO REVIVAL VERNACULAR STYLE. THE TAX ASSESSOR LISTS THIS BUILDING AS BUILT IN 1890. FROM THE 1912 KINGS MAP THERE IS ONE STRUCTURE THAT APPEARS TO HAVE CARILLO'S NAME, THE FAMILY THAT STILL OWNS THE UPPER LOT.

220 RODRIGUEZ STREET, SANTA FE, NM - HISTORIC REPORT

OWNER *D. H. ... 220 Rodriguez*

Story Hgt. *18' 0"* Yr. Built *1890* Remodeled

BUILDING INFORMATION

Total Rooms	Bed Rooms	Both Rooms
B 1 2 3 4	B 1 2 3 4	B 1 2 3 4
<i>3</i>	<i>2</i>	

TYPE AND USE

1 Family Dwelling **GRADE 1**

2 Family Dwelling **GRADE 2**

Multifamily Apts. **GRADE 3**

Other **GRADE 4**

1. FOUNDATION: **GRADE 2**

Concrete Blk. Conc. **GRADE 1**

Conc. Slab Flrs **GRADE 2**

Stone Brick Wall **GRADE 3**

2. EXT. WALLS: **GRADE 3**

Frame with: Siding on sheathing **GRADE 1**

Single, wood, comp. **GRADE 2**

Single siding **GRADE 3**

Stucco on frame **GRADE 4**

Conc. block stucco **GRADE 5**

Not stuccoed **GRADE 6**

Brick: Solid Veneer **GRADE 7**

Face Concrete **GRADE 8**

Adobe: Stuccoed **GRADE 9**

Not stuccoed **GRADE 10**

On edge **GRADE 11**

Stone: Solid **GRADE 12**

Veneer **GRADE 13**

Other: **GRADE 14**

3. ROOF: **GRADE 2**

Type: Flat Gable **GRADE 1**

Hip Gambrel Mansard **GRADE 2**

Roofing: Prepared Roll **GRADE 3**

Build-up Asphalt or TGO **GRADE 4**

Wood or Comp. Shingle **GRADE 5**

Metal Slate or Tile **GRADE 6**

Insulation **GRADE 7**

4. FLOORS: **GRADE 2**

Stories 1 2 3 **GRADE 1**

Softwood **GRADE 2**

Hardwood **GRADE 3**

Concrete **GRADE 4**

Comp. Tile **GRADE 5**

Carpeted **GRADE 6**

Cer. Tile, Baths Kitchen **GRADE 7**

5. INTERIOR FIN.: **GRADE 2**

Wallboard Plaster **GRADE 1**

Sheetrock Paneling **GRADE 2**

Uphol. Other **GRADE 3**

6. BUILT-INS: **GRADE 1**

Dishwasher Disposal Oven **GRADE 2**

Range Dryer Bookshelves **GRADE 3**

Cupboard Space: Adequate Inadequate **GRADE 4**

Class: Adequate Inadequate **GRADE 5**

7. HEATING: **GRADE 2**

No heat or stove heat **GRADE 1**

Hot air, pipeless **GRADE 2**

Piped heat (Gravity) **GRADE 3**

Forced Circulation **GRADE 4**

Stove or Hot Water **GRADE 5**

Radiant, Concealed **GRADE 6**

Electric, all types **GRADE 7**

Central Air Conditioned **GRADE 8**

8. PLUMBING: **GRADE 2**

None Water Only **GRADE 1**

No. Baths, (3 Fixtures) **GRADE 2**

No. Toilet Res., 2 Fix. **GRADE 3**

No. Single Fixtures **GRADE 4**

Septic Tank **GRADE 5**

City Water & Sewer **GRADE 6**

9. ELECTRICITY: **GRADE 2**

Electricity: Yes No **GRADE 1**

Adequate outlets **GRADE 2**

Inadequate outlets **GRADE 3**

10. DESIGN: **GRADE 2**

Utility Specialized **GRADE 1**

Custom Bld. **GRADE 2**

Architectural Design **GRADE 3**

Fixtures: Utility Av. Exc. Qual **GRADE 4**

Elect. **GRADE 5**

Plumbing **GRADE 6**

TOTAL GRADES

TOTAL + 10 = Av. Grade *1.5*

BASEMENT: None Full **GRADE 1**

1/2 1/3 Finished Rec. **GRADE 2**

Fireplace: Single Flue Stories **GRADE 3**

Double Flue Stories **GRADE 4**

DESCRIPTION, REPLACEMENT COST AND APPRAISAL OF FARM BARN AND ACCESSORY BUILDINGS

Bldg. Ident.	Class	Width	Depth	Height	Foundation	Floor	Roof	Walls	Missing Wall	Heat	Light	Fib.	Age	Area	Unit Cost	Adds and Deducts	Net Cond. %	Net Appraisal
<i>Low Cost Slab</i>		<i>15</i>	<i>25</i>												<i>375</i>	<i>3.40</i>		<i>1,275</i>

GROUND PLAN SKETCH 1 SQUARE = 2 FEET

Observed Physical Condition, Effective Age

Good Normal Fair Poor Age *1890*

BUILDING COMPUTATIONS

GROUND AREA — SQUARE FEET

WIDTH	LENGTH	AREA
<i>A 25</i>	<i>31</i>	<i>775</i>
<i>B 25</i>	<i>30</i>	<i>750</i>
		<i>1,500</i>

TOTAL GROUND AREA *1,500*

Year *1890* 19 *1981*

Grade *22* *22*

Base *10900* *10900*

Grade Diff *11440* *11440*

Stair Diff *—* *—*

Purchase *—* *—*

Fireplace *—* *—*

Plumbing *—* *—*

Heating *-670* *-990*

Roof *-340* *-514*

Garage *—* *—*

Total *10460* *10460* *17503*

DEPRECIATION AND OBSOLESCENCE

A-Deprec *49.5* % *—* % *—* %

B-Functional *—* % *—* % *—* %

C-Economic *—* % *18.5* % *—* %

100% (A+B+C) *—* % *47.5* % *53.5* %

100% VALUE *5280* *1140* *1146.30*

SUMMARY OF APPRAISED VALUES

Principal Bldg. Appraisal *14632* *434*

Other Principal Bldg. Appraisal *—* *—*

Accessory Bldg. Appraisal *—* *—*

Total Bldg. Appraisal *14632* *5280* *434*

Total Land Appraisal *1320* *1320* *1320*

TOTAL APPR. VALUE *15952* *6600* *650*

Measured by *24/80* Date *3/11/00* Classified by *6* Date *3/23/00* Extended by *14* Date *—* Checked by *—* Date *—*

This is the tax assessors card from 1960. The date of construction is listed as 1890.



Interior of Unheated Storage Room on North with Fireplace without a flue, arched niche, CMU and Concrete pads supporting new wood frame at vigas at both bearing points. See blocked window on the left.



Interior of Southwest Room after removal of wood boards and ceiling.



Items found on under the wood boards set 2x joist on dirt.

220 RODRIGUEZ STREET, SANTA FE, NM - HISTORIC REPORT



Items found on under the wood boards set 2x joist on dirt.



Linoleum and wallpaper found on site.







SOUTH

**TYPICAL SOUTH
WINDOW ROT**



SOUTH

DOOR #3



SOUTH

WINDOW G











NORTH

TABLE 2

TABLE 1



WEST

DR#1



1

Existing Site Plan

SCALE: 1/8" = 1'-0"



RUSTIC MODERN
JAMES STODGEL
 Intern Architect
 3880 PALM BLVD, SUITE 100
 SANTA FE, NM 87507
 505-469-1875
 jstodget13@gmail.com

GREATHOUSE WORKROOM

220 RODRIGUEZ
 SANTA FE, NM, 87501
 406-561-1960
 stephanie@greathouseworkroom.com

SARRAZIN & SANDSTON
 220 RODRIGUEZ
 SANTA FE, NM 87501
NEW CONSTRUCTION & RENOVATION

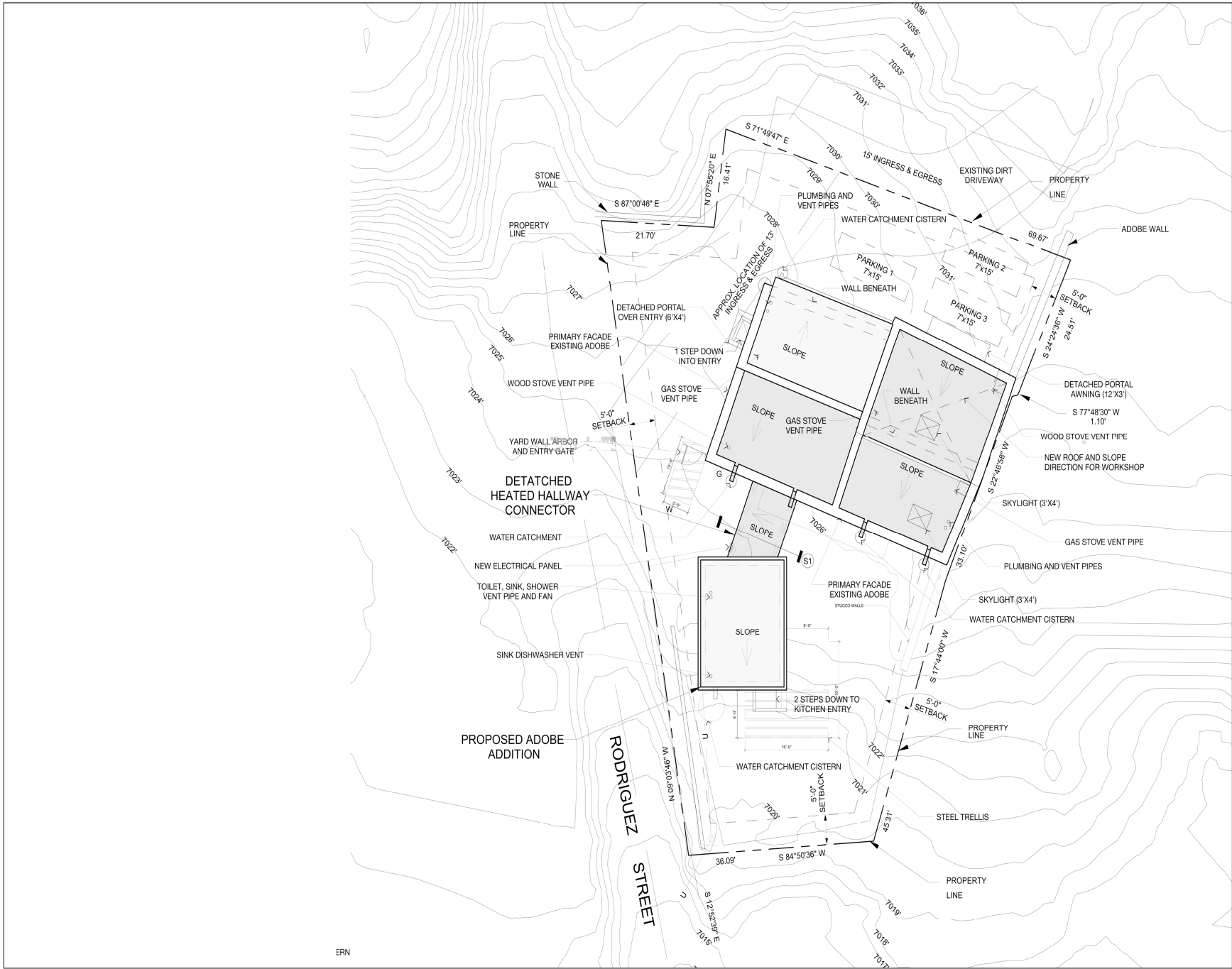
HISTORICAL BOARD REVIEW

10 July, 2022

EXISTING SITE PLAN

Scale: 1/8" = 1'-0"

A100



1 Proposed Site Plan
SCALE: 1/8" = 1'-0"



RUSTIC MODERN
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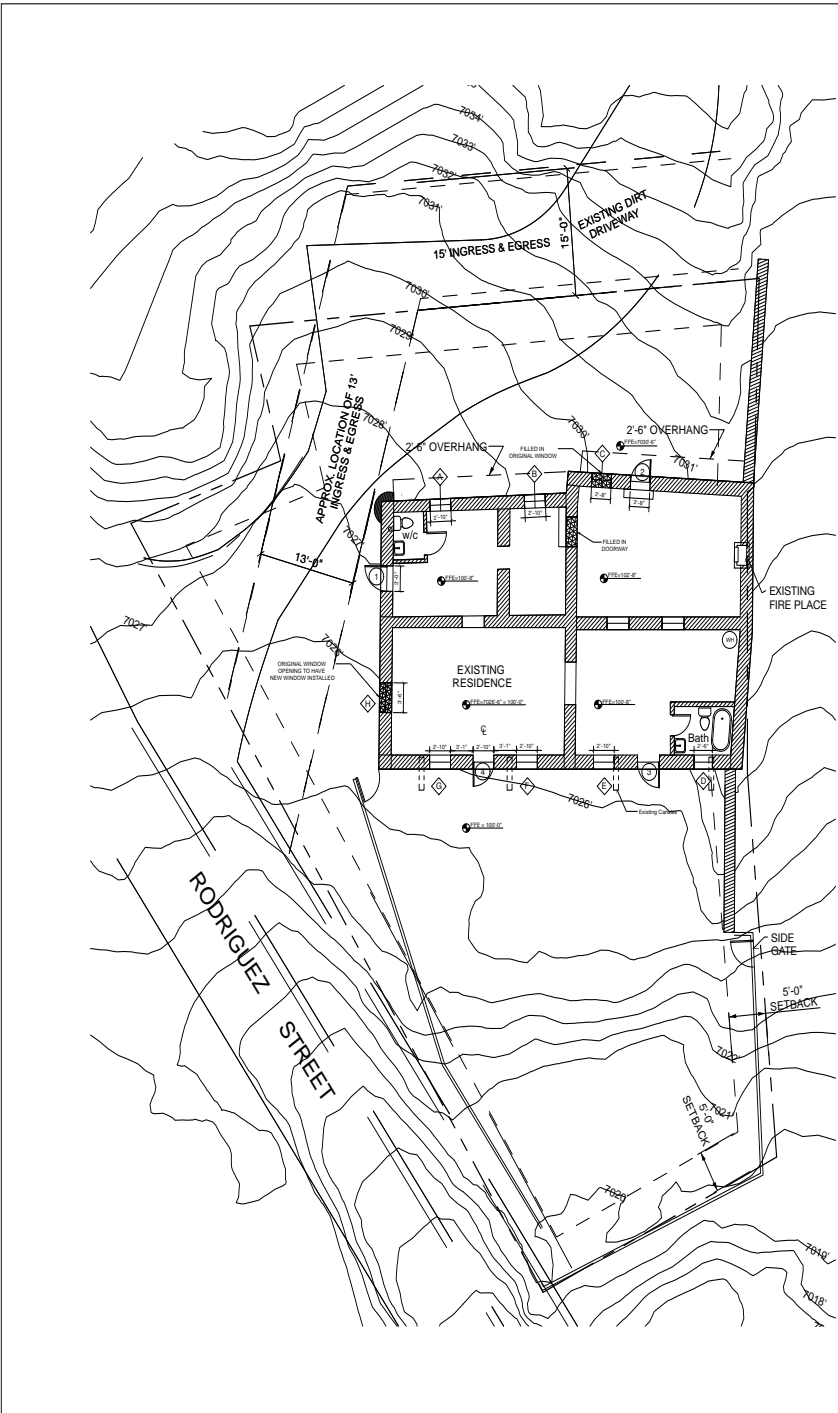
HISTORICAL BOARD REVIEW

10 July, 2022

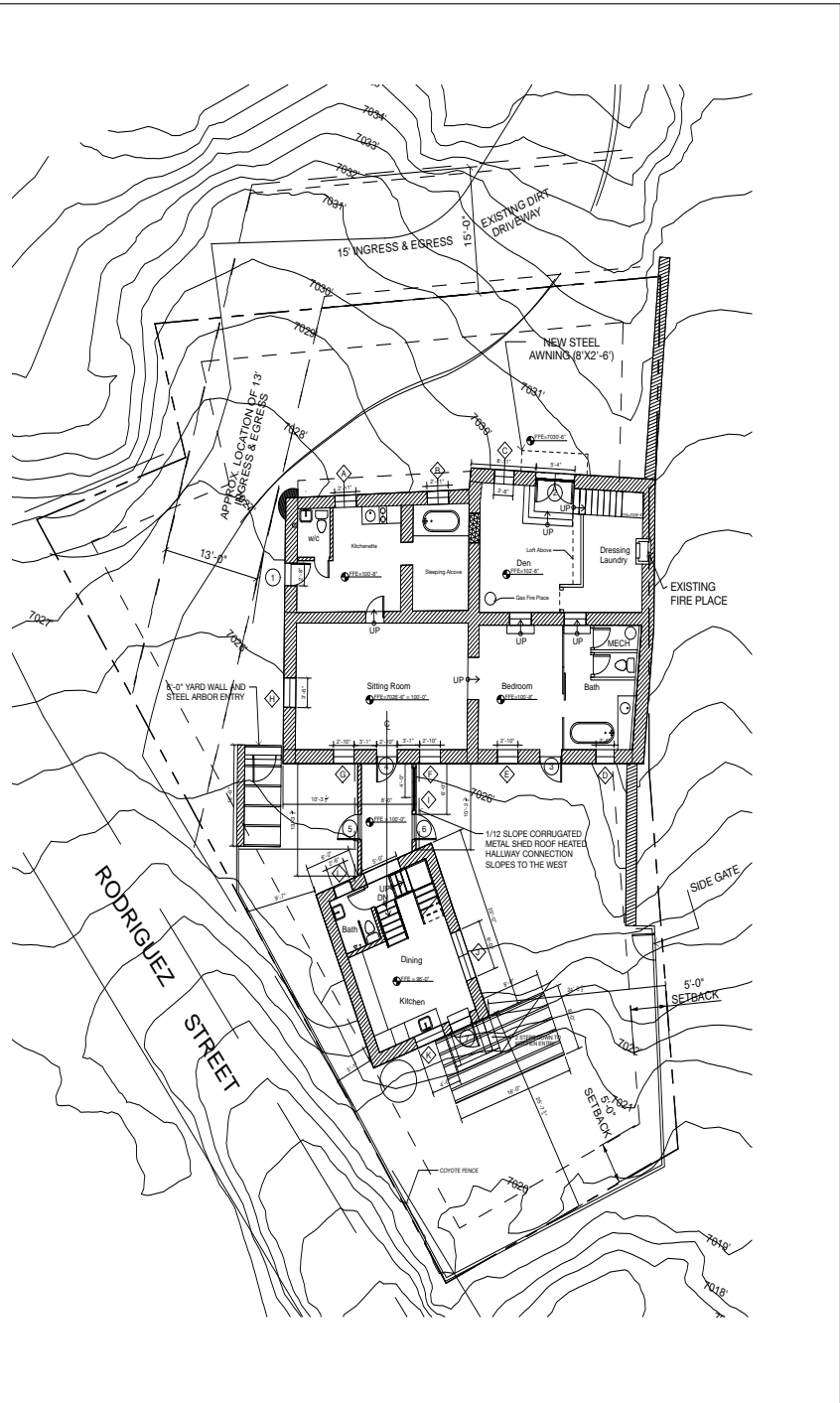
PROPOSED SITE PLAN

Scale: 1/8" = 1'-0"

A101

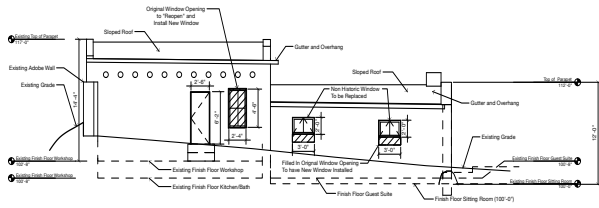


1 Existing Floor Plan
 SCALE: 1/8" = 1'-0"

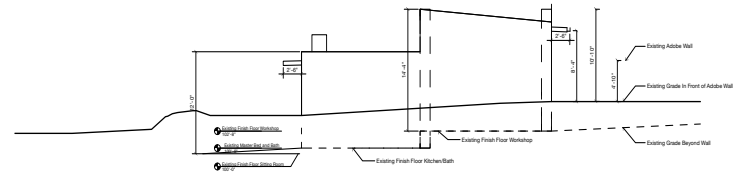


2 Proposed Floor Plan
 SCALE: 1/8" = 1'-0"





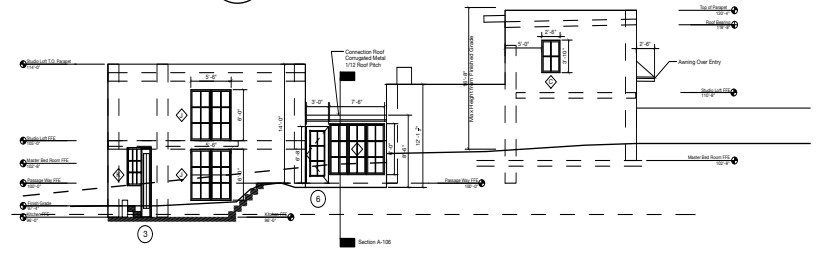
1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



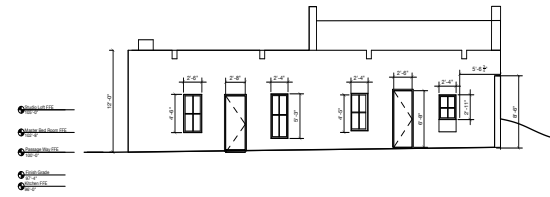
5 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



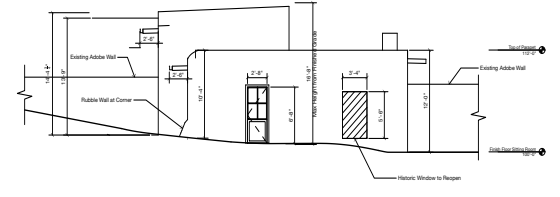
2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



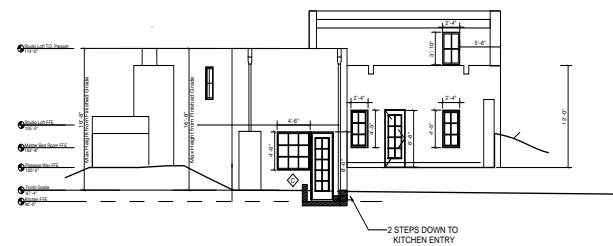
6 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"



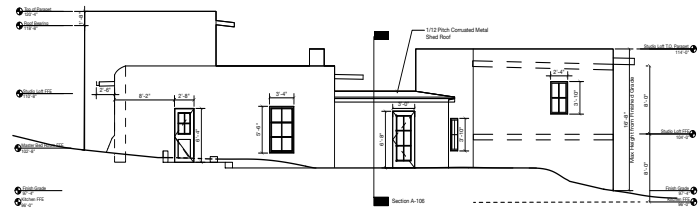
3 EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



7 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



8 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

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NEW CONSTRUCTION & RENOVATION

HISTORICAL BOARD REVIEW

22 July, 2022

ELEVATIONS

A105

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 stephanie@greathouseworkroom.com

SARRAZIN & SANDSTON
 220 RODRIGUEZ
 SANTA FE, NM 87501
NEW CONSTRUCTION & RENOVATION

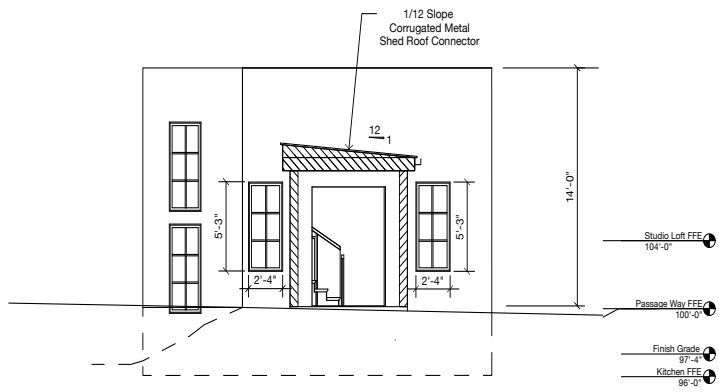
HISTORICAL BOARD REVIEW

22 July, 2022

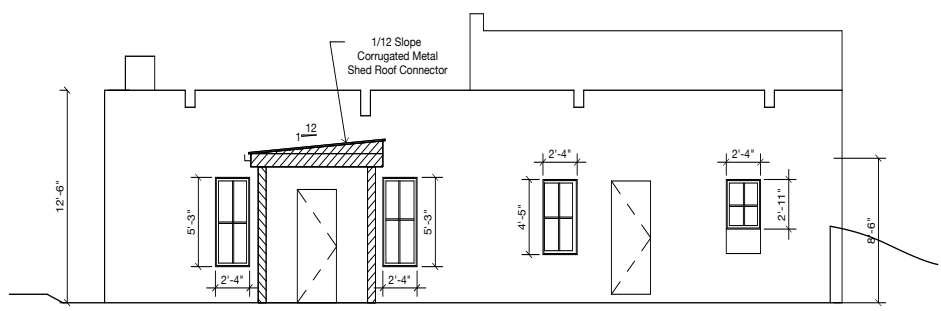
Section Through Connector

Scale: 1/4" = 1'-0"

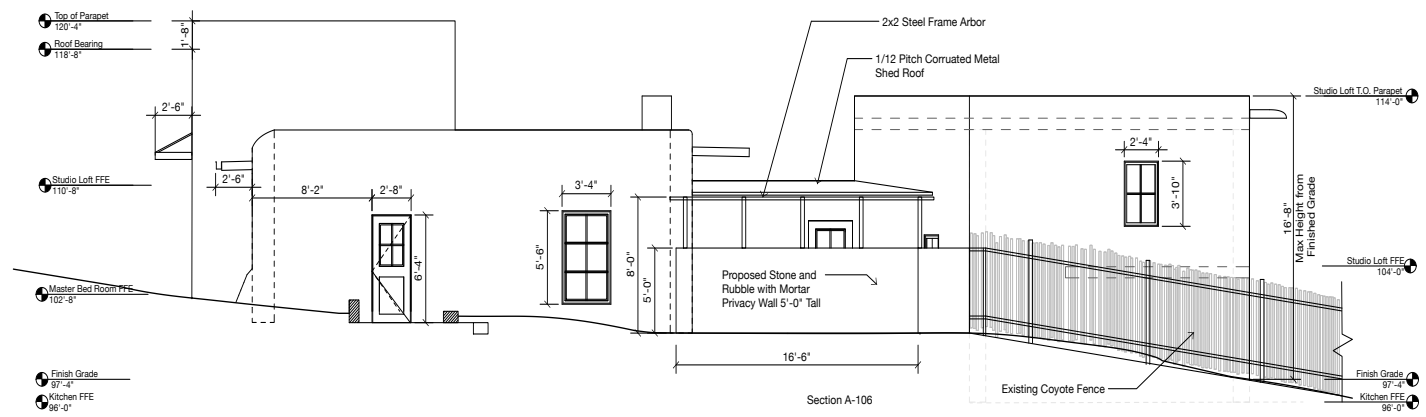
A106



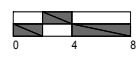
1 Looking South
 SCALE: 1/4" = 1'-0"



2 Looking North
 SCALE: 1/4" = 1'-0"



8 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



16'-0" to Finish Grade

North East Perspective





12'-0" to Finish Grade

14'-0" to Finish Grade

16'-8" to Finish Grade

Arbor Height = 8'-0"

Rubble Wall = 5'-0"

Southwest Perspective

12'-0" to Finish Grade

14'-0" to Finish Grade

16'-8" to Finish Grade

Arbor Height = 8'-0"

Rubble Wall = 5'-0"





16'-8" to Finish Grade

Northwest Perspective

South East Perspective

16'-8" to Finish Grade

14'-0" to Finish Grade



City of Santa Fe, New Mexico

memo

DATE: November 22nd, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-006059-HDRB

Address: 513 Canyon Road
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

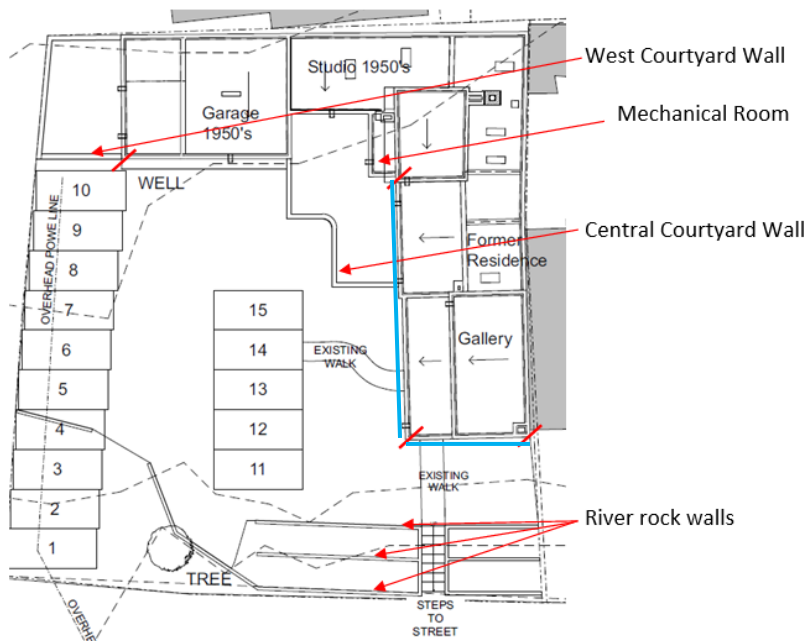
Staff recommends that all the exception criteria have been met but the Board may require further testimony. Otherwise, staff recommends approval of the application, with the condition that setbacks are approved by the Board of Adjustment, as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

513 Canyon Road is a 3,843 square foot commercial gallery, which was once a single-story residence. It is listed as contributing to the Downtown and Eastside Historic District. The property includes rock and stucco yard walls and a L-shaped building with zero lot lines on the north and east sides. The east elevation is attached to the house on the adjacent property. The house is Spanish Pueblo Revival Style and mostly single story with a small second story addition in the northeast corner. The east wing includes stepped massing, chimney detail, a west-facing portal with protruding vigas, carved corbels, an enclosed portal with protruding vigas and divided light windows.

The older portions of the house were built prior to 1928. The King’s Map shows the far southeast portion in 1912 near Canyon Road. The house grew to the north and then later, in the 1950s, to the west, following the L-shape. The second story was added in the 1950s and has steel casement windows. The chimney and mechanical room in the corner where the two wings meet appears after 1978. On the west wing, the windows appear to be a later infill to what might have been a garage. These have snap in muntins and look to be from the 1980s or 1990s. The vigas on the west wings do not protrude into the house. In 1984, the house was remodeled to support the gallery. This included the chimney and mechanical room, the changes to the west wing, and the courtyard wall.

At the hearing on September 13th, 2022 in case 2022-005795-HDRB, the HDRB maintained the contributing status of the building and designated the four river rock which include the wall at the street as a contributing structures. The Board designated the following elevation(s) of the building as the primary façade(s): south elevation of the east wing and the west elevation of the east wing, excluding the mechanical room and chimney.



Now, the applicant proposes the following exterior alterations:

- 1) Create a three-part 1075 square foot addition to a height of 16'-1¼" onto the south and non-contributing façade which be a series stepped massings. The additions will attach to the mechanical room which is excluded from the primary façade, but attaches 7'-10" from it. Staff requests an exception.
- 2) Construct a 435 square foot portal onto the south façade addition. The portal will have protruding vigas and posts, stained dark brown, and sculptural corner detail similar to the primary façade.
- 3) Remove non-historic windows and replace with true divided light, aluminum clad, white windows and carved wood doors. Sills and jambs will be bullnose stucco. Entry doors will be a stained dark brown.
- 4) The new structure will be the same color as existing, a light tan stucco, El Rey Adobe. The stucco under the portal will be El Rey Navajo White.
- 5) Install exterior light fixtures with weathered patina punched tin with tops to shield from the sky. They are 14" tall x 8" wide.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(2)(d): Staff request an exception for an addition that is within 10' of a primary facade.

(i) *Do not damage the character of the district*

Applicant Response: This renovation will not damage the character of the Downtown/Eastside Historic District. The renovation will follow the existing Spanish Pueblo Revival Style. The gallery/office is necessary for the function of the space as an alcove/semi-private space and is nearly 6' from the primary facade and further separated from the facade by the 4' massing of the existing mechanical room, cumulatively 10', and will have little impact on the primary facade. The relocated door on the mechanical room is similar to the stained wood doors.

Staff Response: Staff recommends that the exception criteria has been met.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The hardship relieved by adding to the building closer than 10' to the primary facade is preventing a "dead" space in the "L". If the entrances of the two galleries were in this corner it might have been more desirable to leave more open space in the "L", but because the main entrance on the existing is a deep and long welcoming portal we felt having another entryway framed by an equally welcoming portal facing Canyon Road is more advantageous and solves both the identification of the separate entries from the outside, and also solves interior functional issues of having two separate but related galleries in the same building. I see no injury to the public welfare, health and safety by adding this office/gallery.

Staff Response: Staff recommends that the exception criteria has been met.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: Delineating the two galleries with two separate entrances and adjacent spaces such as the office/gallery leaves the option open for more residents because the spaces are more functional and well-organized. The new portal allows both sides of the “L” to be independently functional, whether for residential or commercial purposes.

Staff Response: Staff recommends that the exception criteria has been met.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-5.2(E) Downtown and Eastside Design Standards

(1) Old Santa Fe Style

Old Santa Fe style, characterized by construction with adobe, is defined as including the so-called "pueblo" or "pueblo-Spanish" or "Spanish-Indian" and "territorial" styles and is more specifically described as follows:

- (a) With rare exception, buildings are of one story, few have three stories, and the characteristic effect is that the buildings are long and low. Roofs are flat with a slight slope and surrounded on at least three sides by a firewall of the same color and

material as the walls or of brick. Roofs are never carried out beyond the line of the walls except to cover an enclosed portal or porch formed by setting back a portion of the wall or to form an exterior portal, the outer edge of the roof being supported by wooden columns. Two-story construction is more common in the territorial than in other sub-styles, and is preferably accompanied by a balcony at the level of the floor of the second story. Façades are flat, varied by inset portales, exterior portales, projecting vigas or roof beams, canales or water-spouts, flanking buttresses and wooden lintels, architraves and cornices, which, as well as doors, are frequently carved and the carving may be picked out with bright colors. Arches are almost never used except for nonfunctional arches, often slightly ogive, over gateways in freestanding walls;

- (b) All exterior walls of a building are painted alike. The colors range from a light earth color to a dark earth color. The exception to this rule is the protected space under portales, or in church-derived designs, inset panels in a wall under the roof, in which case the roof overhangs the panel. These spaces may be painted white or a contrasting color, or have mural decorations;
- (c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section;
- (d) The rule as to flat roofs shall not be construed to prevent the construction of skylights or installation of air conditioning devices, or any other necessary roof structures, but such structures other than chimneys, flues, vents and aials, shall be so placed as to be concealed by the firewall from the view of anyone standing in the street on which the building fronts;
- (e) True old Santa Fe style buildings are made of adobe with mud plaster finish. Construction with masonry blocks, bricks, or other materials with which the adobe effect can be simulated is permissible; provided, that the exterior walls are not less than eight (8) inches thick and that geometrically straight façade lines are avoided. Mud plaster or hard plaster simulating adobe, laid on smoothly, is required; and stability of the structure.



CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION

1. Applicant Information (to be completed by the Applicant)

Date: 10-18-22 Location of Project: 513 Canyon Rd

Applicant

Name: Gayla Bechtol, AIA

Phone: 505660630/Email: gayla@santafe.com

Property Owner

Name: Nedra Mattencuci / Dustin Belgen

Phone: 505982463/Email: dustin@mattencuci.com

Proposed Work:

Renovate existg building. Add storage, gallery and portal. Redo landscape including cutting down Siberian Elm in middle of parking lot

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: _____

Historic Status: _____

Primary Elevations: _____

Previous HDRB and Admin Cases: _____

Archaeological compliance required? Yes No

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santaferm.gov/historic_preservation.

Application Submittal Date: 10.17.22

Desired Hearing Date: 11.22.12

Project Type:

Status

Primary Elevation Designation

New Construction

Remodel

Sq. Ft. of project: 1000

Sq. Ft. of project: 3800

Construction Cost: \$125,000

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Nedra Jo Matteucci

Signature Nedra J. Matteucci



October 17, 2022

Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe

via email: cpiccarello@santafenm.gov

RE: Historic Approval of an addition to Morning Star Gallery creating a new entrance for a second gallery, more storage and display space

Dear Ms. Piccarello,

We propose to add a storage room, an office, and a portal for a new gallery with an entrance facing Canyon Road. The existing building is 3843 SF, including a 304 SF portal. The additions are 1076 SF including 435 SF Portal. The portal has bancos, vigas and sculptural corners similar to the original building in Old Santa Fe Style. The massing shall step at the new rooms and portal. The small gallery is attached between the gallery and the mechanical room, adjacent but 7'-10" away from the primary facade. An exception is requested if required. The new storage is in the northwest corner of the property at the lot line. the new portal faces Canyon Road. The existing Siberian Elm tree shall be removed. The second floor chimney and ground floor fireplace shall be demolished. The maximum height shall be 16'-0" above grade.

The new structure will be the same color as existing, a light tan stucco, El Rey Adobe. The stucco under the portal will be El Rey Navajo White. The windows will be similar to the existing, aluminum clad, simulated divided lites, color white. Exposed wood headers will be stained dark brown. Sills and jambs will be bullnose stucco. The exterior entry doors will be a stained dark wood panels. The exterior light fixtures will be weathered patina punched tin with tops to shield from the sky. They are 14" tall x 8" wide and 5" in depth.

Please let me know your questions. Thank you for your continued service to our community.

Sincerely,

Gayla Bechtol, AIA



November 4, 2022

Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe

via email: cpiccarello@santafenm.gov

Historic Districts Design Standards Exception Criteria for 513 Canyon Road

Description of proposed renovation/addition:

We propose to add a storage room, an office, and a portal for a new gallery with an entrance facing Canyon Road. The existing building is 3843 SF, including a 304 SF portal. The additions are 1076 SF including 435 SF Portal. The portal has bancos, vigas and sculptural corners similar to the original building in Old Santa Fe Style. The massing shall step at the new rooms and portal. The small gallery is attached between the gallery and the mechanical room, adjacent but 6'-0" away from the primary facade. The new storage is in the northwest corner of the property at the lot line. The new portal faces Canyon Road. The existing Siberian Elm tree shall be removed. The second floor chimney and ground floor fireplace shall be demolished. The maximum height shall be 16'-0" above grade. The closeness of the office/gallery in the elbow of the "L" to the primary facade requires an exception.

Exception criteria and responses:

Design standard: (d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing non-contributing portion of structures instead of attaching them to the significant or contributing portion.

Following are the criteria and our responses:

(i) Do not damage the character of the district

Response:

This renovation will not damage the character of the Downtown/Eastside Historic District. The renovation will follow the existing Spanish Pueblo Revival Style. The gallery/office is necessary for the function of the space as an alcove/semi-private space



and is nearly 6' from the primary facade and further separated from the facade by the 4' massing of the existing mechanical room, cumulatively 10', and will have little impact on the primary facade. The relocated door on the mechanical room is similar to the stained wood doors.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Response:

The hardship relieved by adding to the building closer than 10' to the primary facade is preventing a "dead" space in the "L". If the entrances of the two galleries were in this corner it might have been more desirable to leave more open space in the "L", but because the main entrance on the existing is a deep and long welcoming portal we felt having another entryway framed by an equally welcoming portal facing Canyon Road is more advantageous and solves both the identification of the separate entries from the outside, and also solves interior functional issues of having two separate but related galleries in the same building. I see no injury to the public welfare, health and safety by adding this office/gallery.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Response:

Delineating the two galleries with two separate entrances and adjacent spaces such as the office/gallery leaves the option open for more residents because the spaces are more functional and well-organized. The new portal allows both sides of the "L" to be independently functional, whether for residential or commercial purposes.

Thank you for your kind consideration of our project.

Sincerely,

Gayla Bechtol, AIA

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



South Façade facing Canyon Road, the oldest part of the structure

GAYLA BECHTOL ARCHITECT
ARCHITECTURE + URBAN DESIGN
513 Canyon Road Existing Photographs 15 August 2022



Southwest view from Canyon Road

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



West facing portal

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



West façade at kitchen and office. Vigas are continuous with interior.

GAYLA BECHTOL ARCHITECT
ARCHITECTURE + URBAN DESIGN
513 Canyon Road Existing Photographs 15 August 2022



1984 Courtyard with entrance to gallery, former studio. To the left appears to have been the garage.

GAYLA BECHTOL ARCHITECT
ARCHITECTURE + URBAN DESIGN
513 Canyon Road Existing Photographs 15 August 2022



Second floor addition and mechanical room at Courtyard, likely added in 1984.

GAYLA BECHTOL ARCHITECT
ARCHITECTURE + URBAN DESIGN
513 Canyon Road Existing Photographs 15 August 2022



View from west of the office, former garage to the left.

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



Roof top view looking east showing the roof line of the gallery, former studio, and the second floor.

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



Roof top view looking south

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



Roof top at second floor. Notice attached chimney of kiva below. Steel casement windows at second floor.

GAYLA BECHTOL ARCHITECT
ARCHITECTURE + URBAN DESIGN
513 Canyon Road Existing Photographs 15 August 2022



Rooftop view of oldest gallery with vigas. All other massing is lower.

GAYLA BECHTOL ARCHITECT ARCHITECTURE + URBAN DESIGN

513 Canyon Road Existing Photographs 15 August 2022



View from Canyon Road. This wall appears in the 1978 Aerial photos. The structure is 3-4' below Canyon Road.

**Nedra Matteucci and
 Morning Star Gallery
 Renovation - Phase 2**



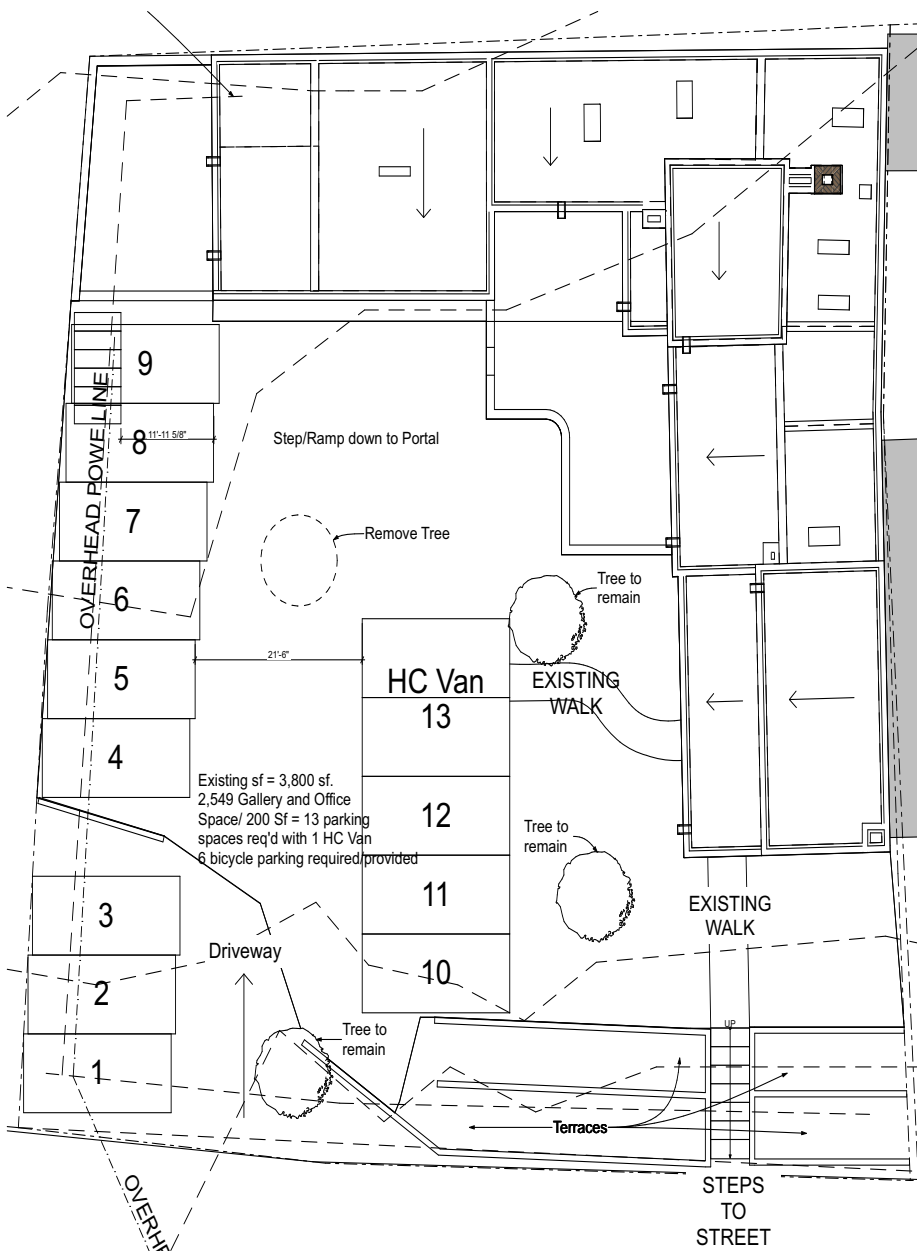
ISSUED:

09/25/2022 - Phase 1

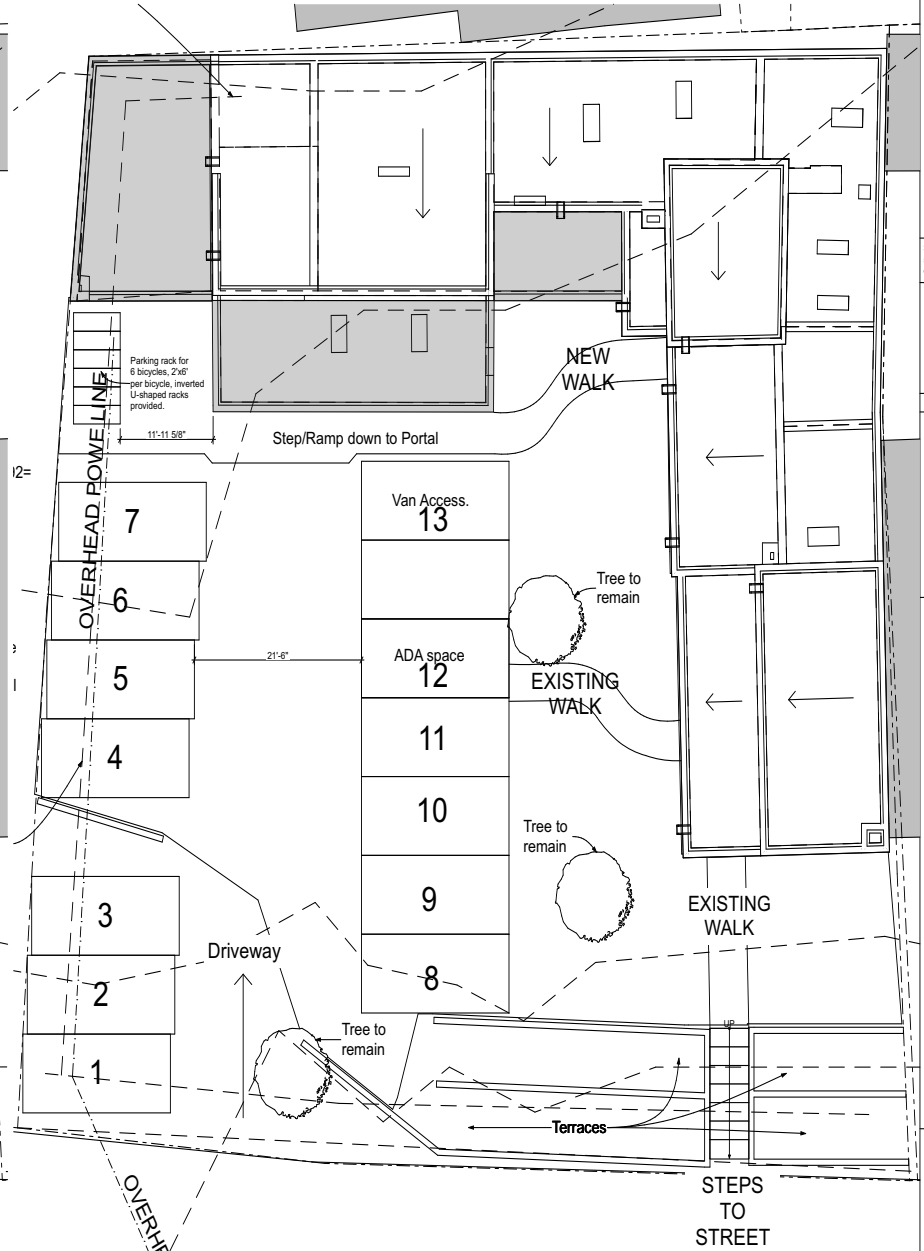
10/18/2022 - Phase 2

Cover Sheet and Site Plan

A-1



2 Site Plan Existing
 A-1 SCALE: 1/8" = 1'-0"



1 Site Plan Proposed
 A-1 SCALE: 1/8" = 1'-0"



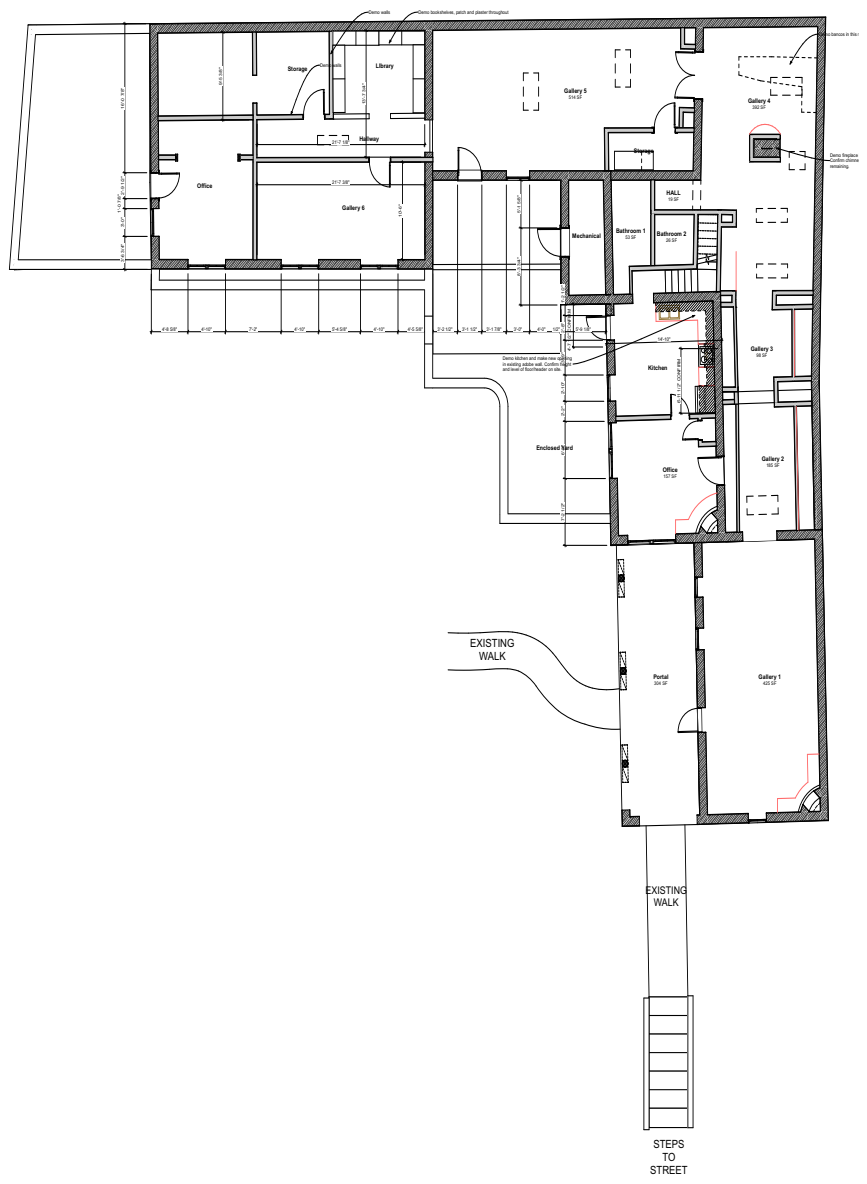
Nedra Matteucci and Morning Star Gallery Renovation - Phase 2



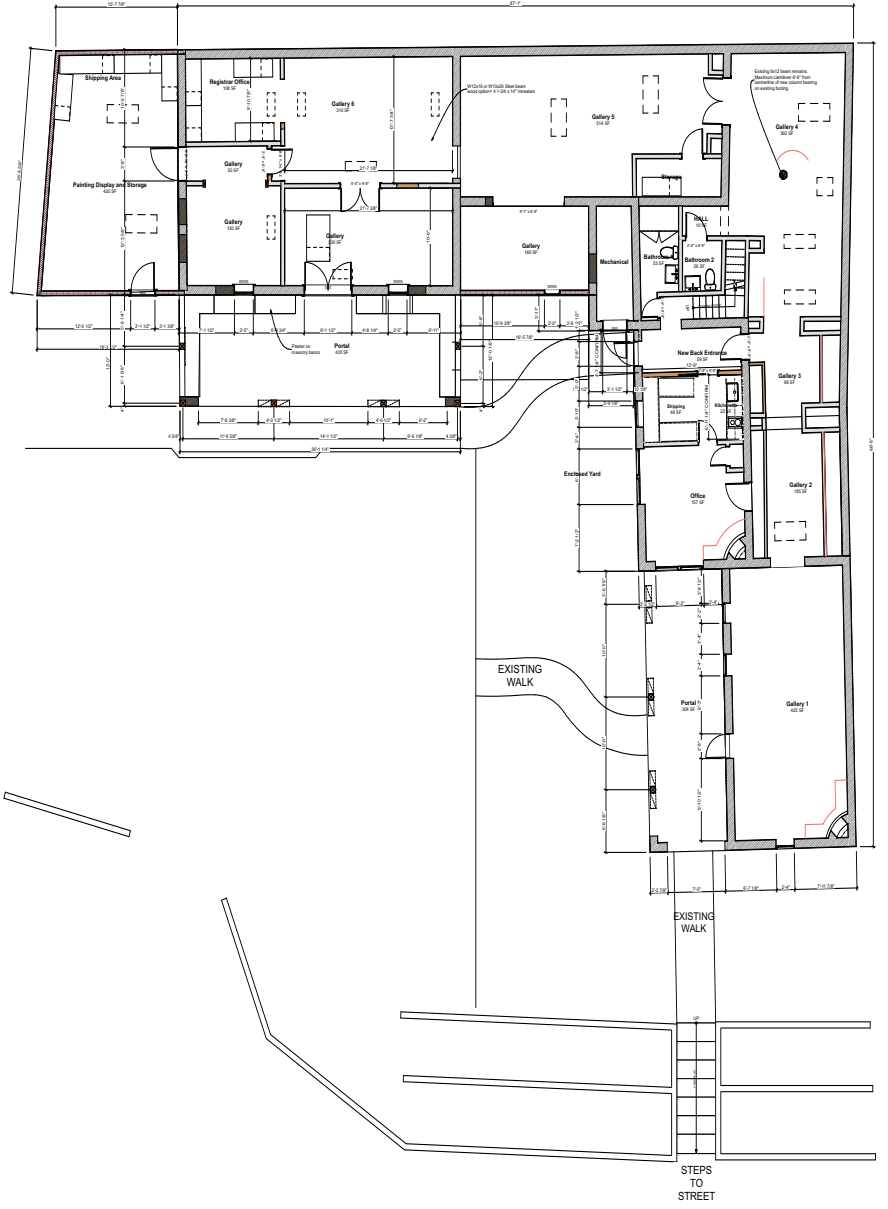
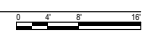
ISSUED:
 09/25/2022 - Phase 1
 10/18/2022 - Phase 2

Ground Floor Plans

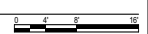
A-2

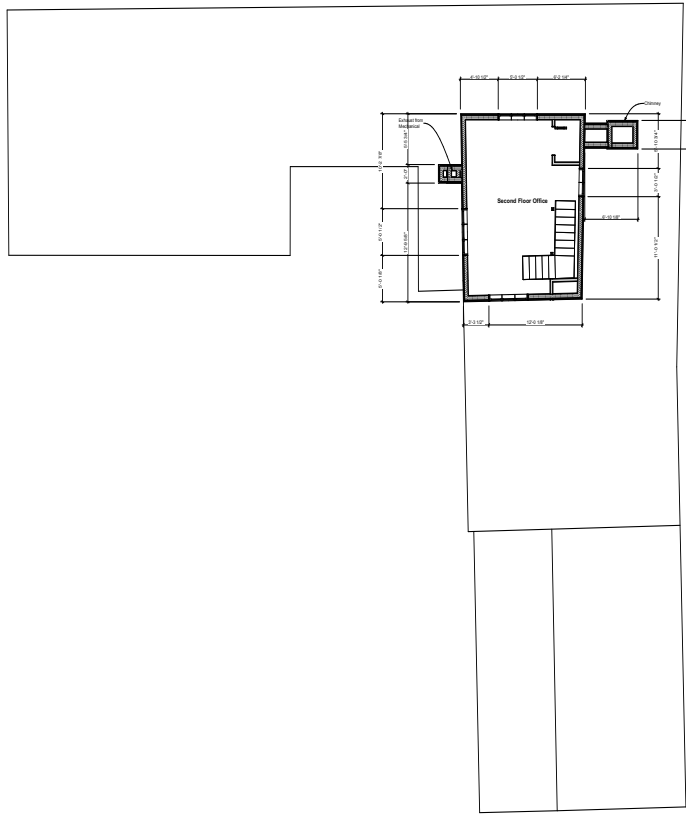


2
A-2 Ground Floor - Existing
 SCALE: 1/8" = 1'-0"

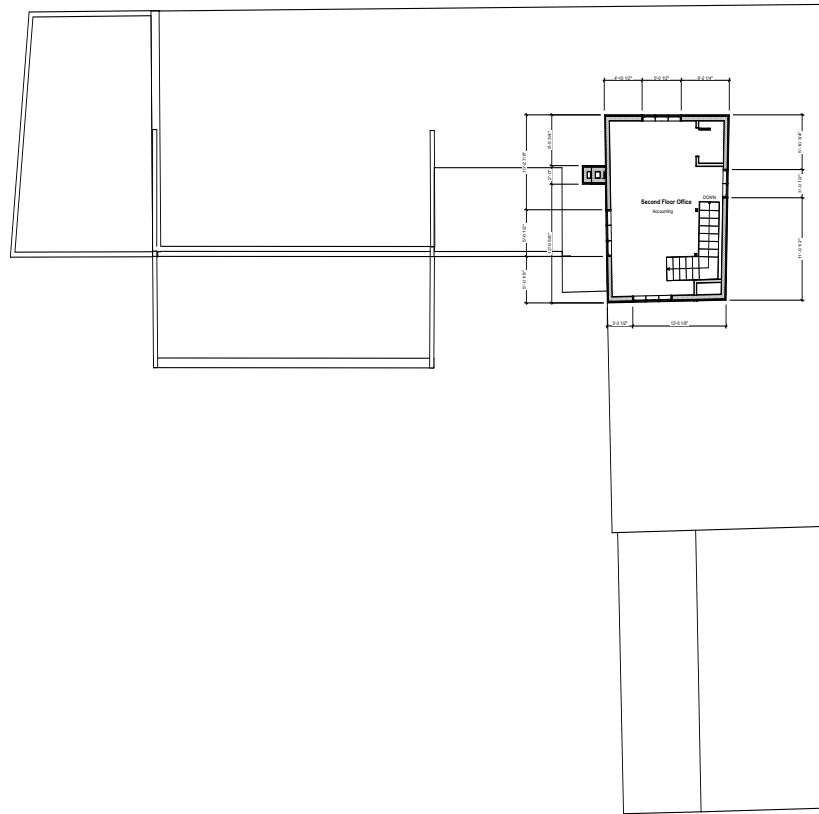
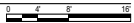


1
A-2 Ground Floor - Proposed
 SCALE: 1/8" = 1'-0"





1 Upper Level - Existing
A-3 SCALE: 1/8" = 1'-0"



2 Upper Level - Proposed
A-3 SCALE: 1/8" = 1'-0"



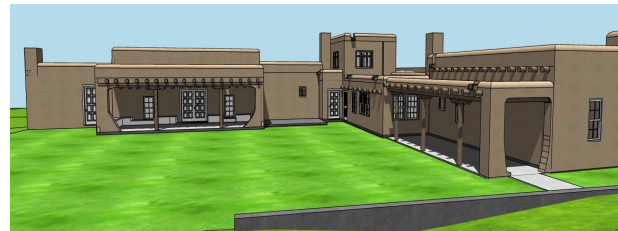
View to Northeast - Existing



View to North - Existing

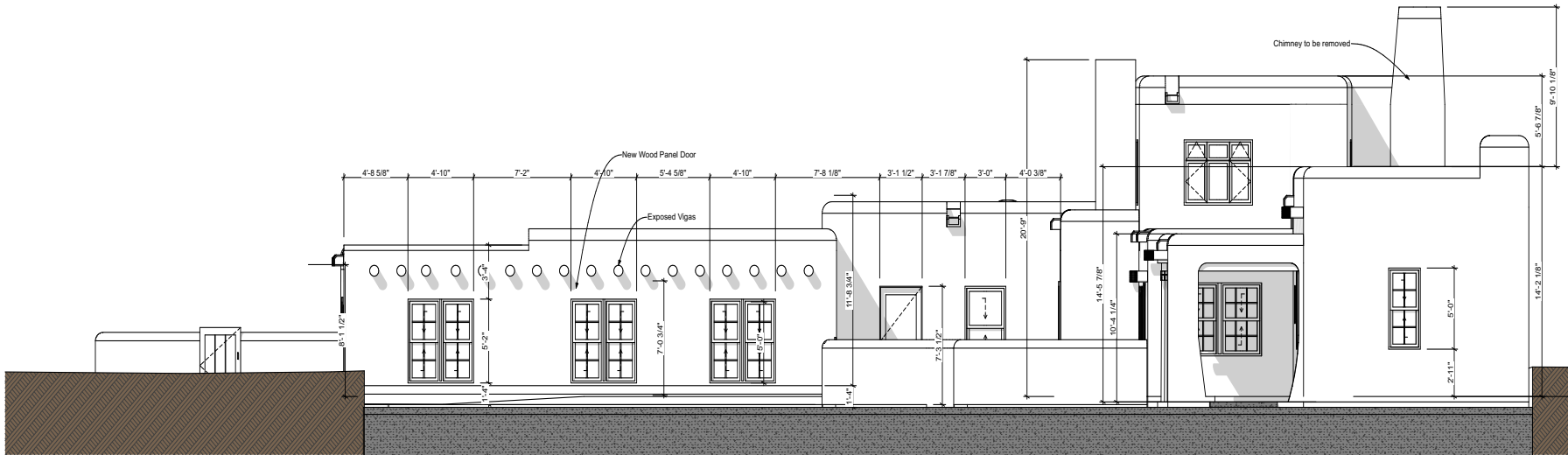


View to Northeast - Proposed

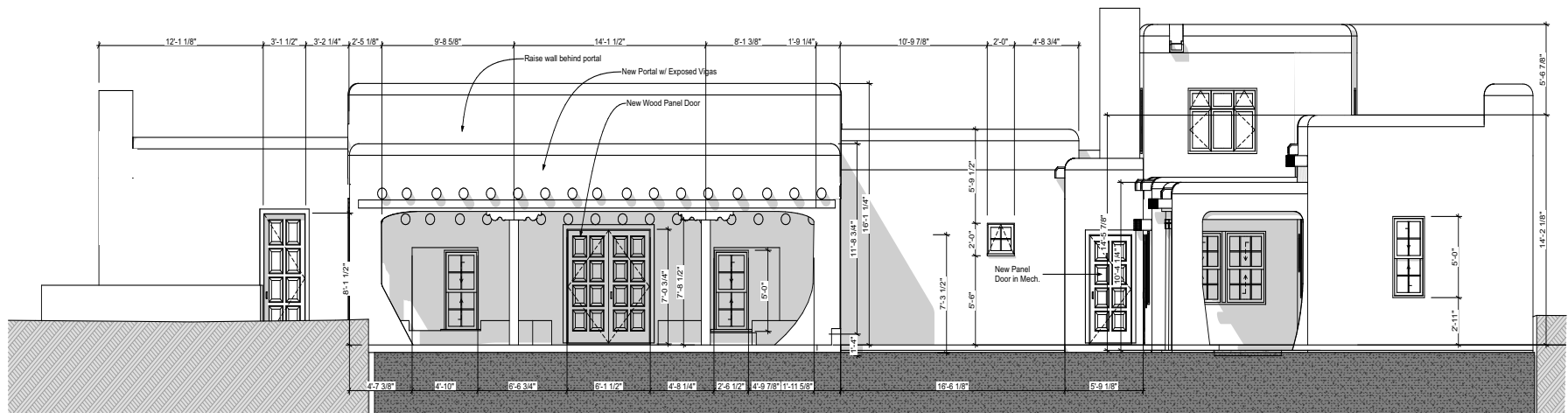


View to North - Proposed

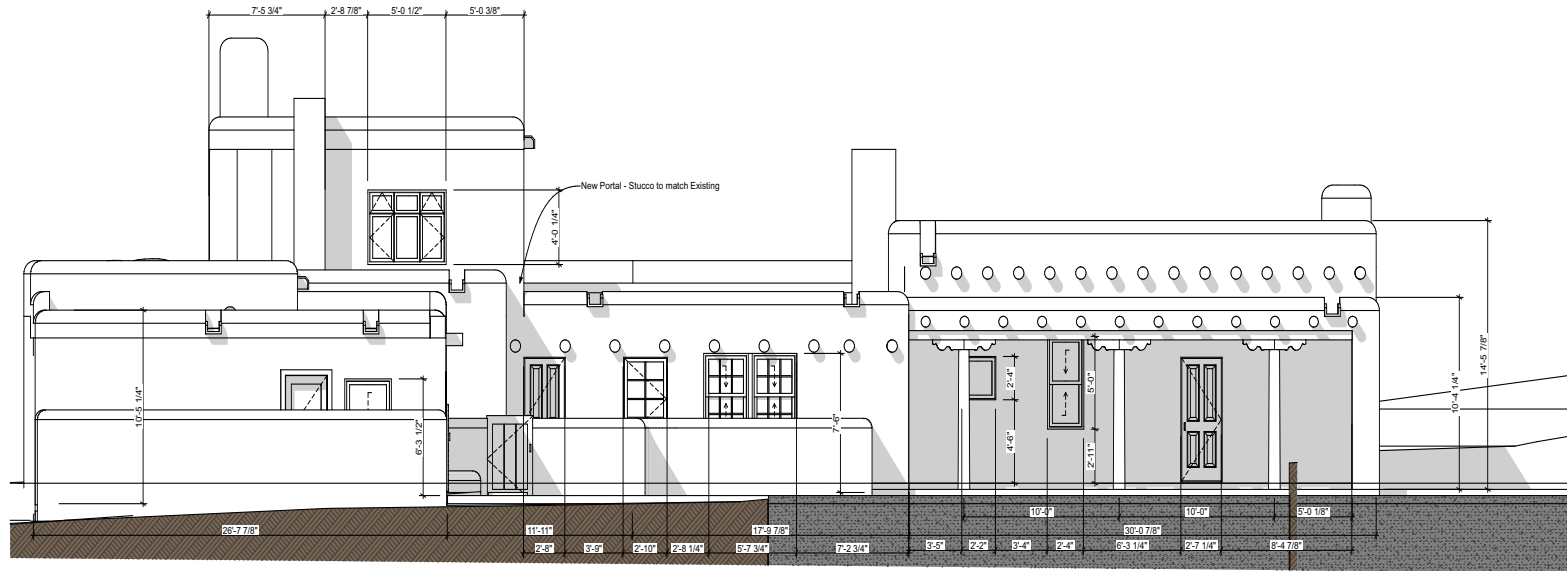




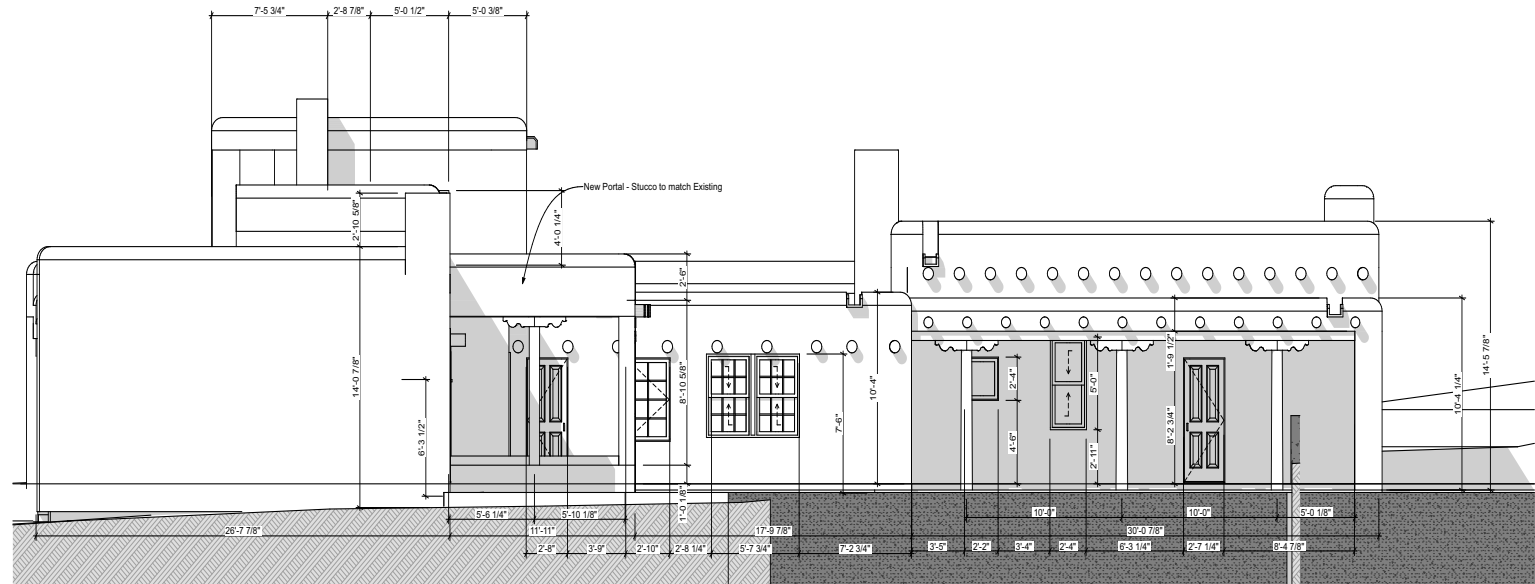
2
 A-4
 South Elevation - Existing
 SCALE: 1/4" = 1'-0"



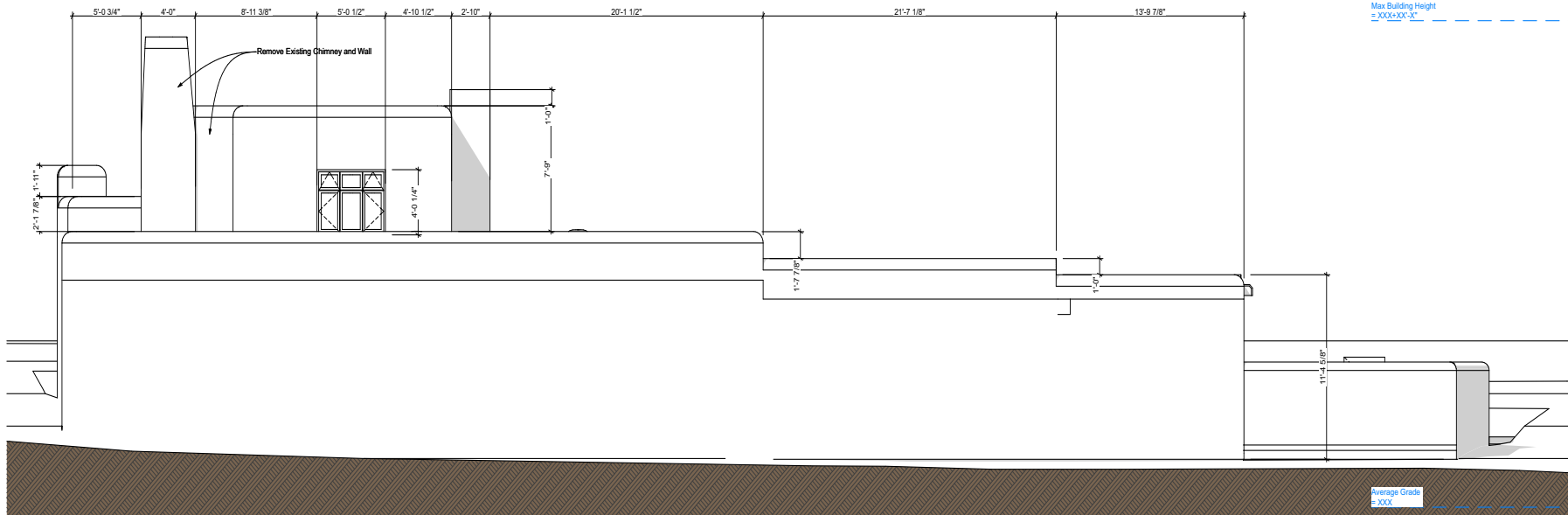
1
 A-4
 South Elevation Proposed
 SCALE: 1/4" = 1'-0"



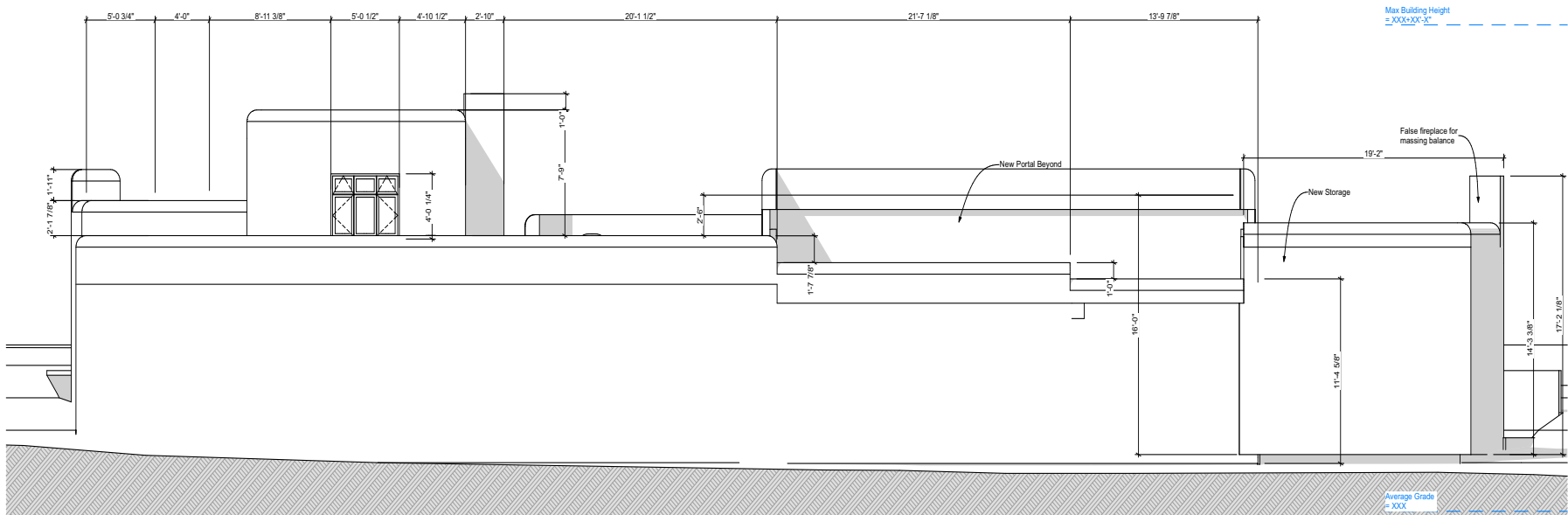
2 West Elevation - Existing
 A-5 SCALE: 1/4" = 1'-0"



1 West Elevation Proposed
 A-5 SCALE: 1/4" = 1'-0"

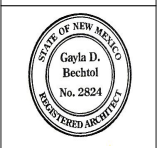


2 North Elevation - Existing
 A-6 SCALE: 1/4" = 1'-0"



1 North Elevation - Proposed
 A-6 SCALE: 1/4" = 1'-0"

Nedra Matteucci and Morning Star Gallery Renovation - Phase 2



ISSUED:
 09/25/2022 - Phase 1
 10/18/2022 - Phase 2

North Elevation



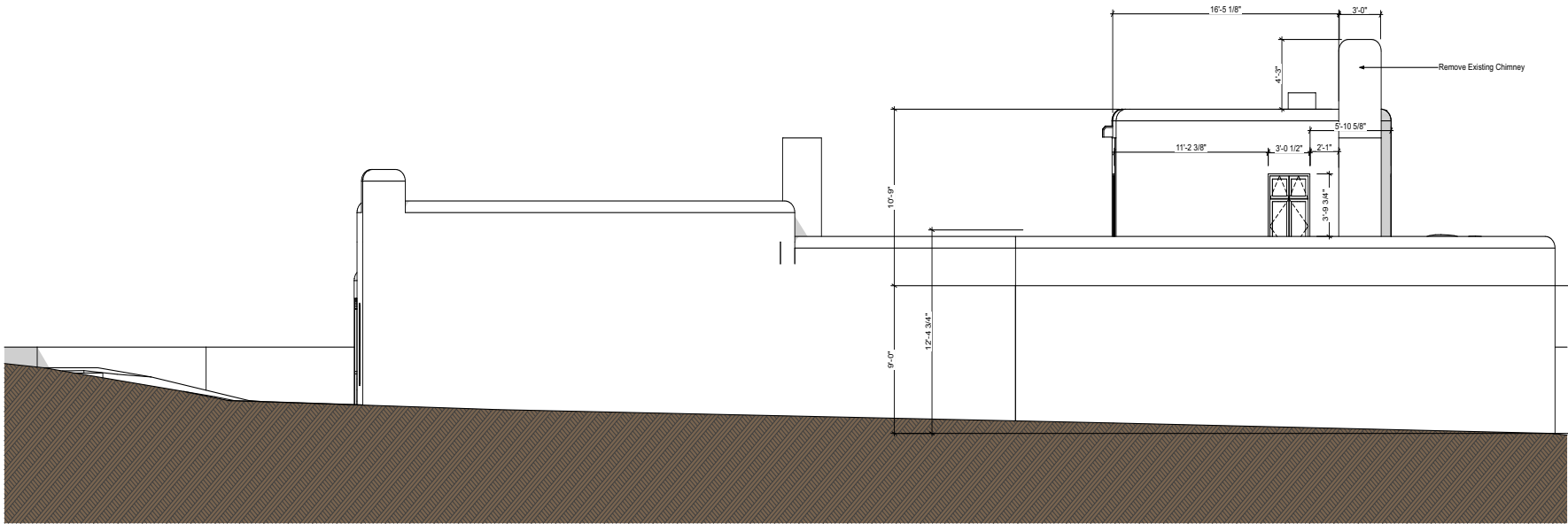
ISSUED:

09/25/2022 - Phase 1

10/18/2022 - Phase 2

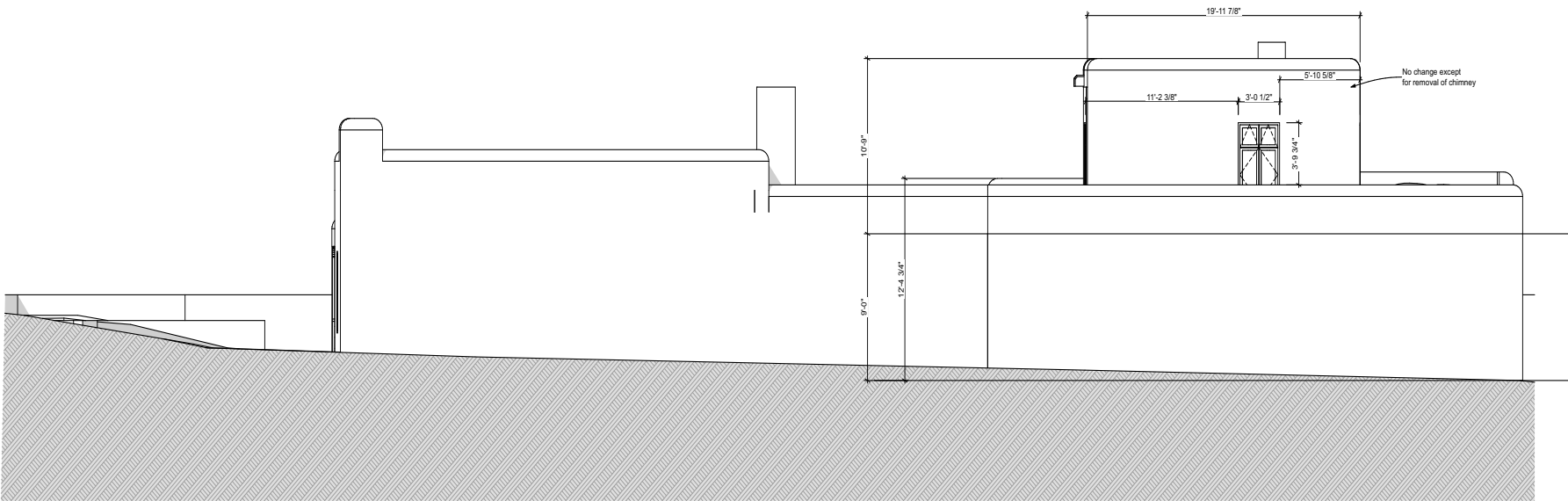
East Elevation

A-7



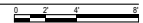
1 East Elevation - Existing

SCALE: 1/4" = 1'-0"



2 East Elevation - Proposed

SCALE: 1/4" = 1'-0"



City of Santa Fe, New Mexico

memo

DATE: December 13, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-006108-HDRB

Address: 462 Arroyo Tenorio
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: July 27, 2021 HDRB Meeting Minutes

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: window assessment

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria for the replacement of historic windows on a primary façade have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

The Ortega-Blea house at 462 Arroyo Tenorio is an approximately 1,300 square-foot residence listed as contributing to the Downtown and Eastside Historic District. Its style is both Spanish-Pueblo Revival and Territorial Revival. Territorial elements include a shed sloping metal roof and brick chimneys. It is mainly constructed of adobe.

The following is excerpted and adapted from the HCPI from the previous case:

The north (front) façade has been altered over the years. The basic composition is a flat façade, punctuated with a lower roofed bump-out at the northwest corner. Windows are non-historic, and the porch has changed since 1966.

The west elevation faces onto a private drive. It reveals the three building phases of the structure. The north section is a rectangular volume and the bump-out mentioned above. It holds grouped, six-over-six wood windows of unknown age. Abutting to this, at a taller height, is another rectangular volume topped with a single-pitch, south-sloping shed roof. This volume is believed to be the oldest portion of the house. It, too, is fenestrated with paired six-over-six, double-hung wood windows. The sloped roof, with its exaggerated angle, was reconstructed in the 2010s and raised 3 inches. The third volume, containing the living room, is set back approximately 9' from the middle section. The roughly 482-square-foot addition was erected in c.1979-80 and worked as an apartment. The windows are non-historic double-hung units with a six-over-six inserted grid. Ray Patterson estimated that the door and windows date to the 1980s.

This north elevation shows mostly the non-historic addition.

According to a previous owner, the east elevation, which looks onto a neighboring property, was altered with a change of rough opening dimensions. A series of non-historic, single-light casements and double-hung, six-over-six windows penetrate the wall. They date from the 1980s or 1990s.

The property includes two walls that may predate 1973, although they have been altered. A third non-historic wall creates a trash can enclosure at the northwest corner.

The board reaffirmed its contributing status in Case 2021-003911-HDRB and designated facades 1 and 3 on the west elevation as primary.

Now, the applicant proposes the following exterior alterations:

1. West elevation (primary façade)

Replace a pair of double-hung, six-over-six true divided lite wood windows on the north end of the west elevation. According to the applicant's window assessment, the origin

and age of these windows is unclear. Per the same report, the wood sashes appear to be older, but are fitted within more recent metal tracks. The applicant proposes to replace the existing windows with clad wood windows in the color and glazing pattern that will match the Kolbe “Camel” clad color of existing windows, which is a tan/brown color.

2. East elevation

Remove a non-historic window on a non-primary façade and fill it in.

3. Stucco work

Re-stucco with cementitious El Rey’s Adobe color to match existing stucco.

The applicant requests an exception to Section 14-5.2(D)(5) to replace historic windows on a primary façade.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2(D) to replace historic windows on a primary façade.

(i) Do not damage the character of the district

Applicant Response: We propose to replace two windows located on the west elevation of the house (the Primary Facade). The windows are not original to the house and are drafty, painted shut, missing hardware, not operable, have no screens, and some of the exterior wood has rotted, allowing moisture to attack the surrounding adobe. The existing walls and ceilings have little-to-no insulation, and the leaking single panes limit any possible energy efficiencies. We propose replacing the windows in the same style, size and color.

Staff Response: Staff does not believe that these windows are not historic. Without more definitive evidence about their age, staff finds that removing the historic windows diminishes the character of the district. Staff is not convinced that these windows are not original to the house; however, if they aren’t, they have gained historic significance in their own right.

When the HDRB decided to retain the historic status as contributing, one of the character-defining features was the historic windows on the west façade and as a result it was designated as primary.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: An estimate for restoring the two windows, prepared by Ra Patterson, founder of Building Specialties, amounts to more than \$16,600, not including painting and plastering. Costs could escalate based on the condition of the windows once work has begun. Over time, the windows would require constant and expensive maintenance work going forward. Such costs would be a financial burden for the owner.

Staff Response: Staff disagrees. The cost of repairing and restoring windows is not considered as a hardship to the applicant or an injury to the public welfare.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: We are aware of the importance of preserving the historic elements of the structure. We feel that the replacement of the windows in the same style and size as the current windows would not be contrary in any way to the appearance of the house or to the character of the neighborhood and district, and would in fact ensure that the structure remains solid, stable, and sensitive to the Historic District's mission for decades to come

Staff Response: Staff does not believe the applicant's proposal meets this criterion. Replacing historic windows that appear repairable or restorable is among the design options the applicant may choose to retain the historic character of the Downtown and Eastside Historic District.

RELEVANT CODE CITATIONS:

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

(a) For all facades of significant and landmark structures and for the primary facades of contributing structures:

and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(iii) No existing opening shall be closed.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 462 Arroyo Tenorio Street Santa Fe, New Mexico 87501	
Date Submitted: 8.24.2021		Proposed Construction Description: Replace windows and one door. Align yard wall, replace yard gate and add new vehicular gate to match	
Property Owner of Record: Janet Desforjes		TOTAL ROOF AREA: 1,408.18 SQUARE FEET 1,338.46 SQ. FT. 2,950.32 SQ. FT.	
Applicant/Agent Name: Estevan Trujillo			
Contact Person Phone Number: () - 505.310.4387		Lot Coverage : 45.3 % □ Open Space Required: EXISTING	
Zoning District: RC8		Setbacks: EXISTING	
Overlay: □ Escarpment _____ □ Flood Zone* _____ <input checked="" type="checkbox"/> Other: HISTORIC DOWNTOWN AND EAST HISOTIRC DISTICT		Proposed Front: _____ Minimum: _____ 2 nd Front? NON STREET OR 7'	
Submittals Reviewed with PZR: □ Legal Lot of Record □ Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Proposed Rear: 15' Minimum: 5' Proposed Sides: L _____ R _____ Minimum: 5'	
Supplemental Zoning Submittals Required for Building Permit: □ Zero Lot Line Affidavit		Height: Proposed 6' WALL Maximum Height: 24' or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance □ Regulated by Escarpment District	
Access and Visibility: □ Arterial or Collector** <input checked="" type="checkbox"/> Visibility Triangle Required		Parking Spaces: Proposed 2 EXISTING Accessible _____ Minimum: _____	
Use of Structure: <input checked="" type="checkbox"/> Residential □ Commercial Type of Use: _____		Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>	
Terrain: □ 30% slopes N/A			

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

ESTEVAN TRUJILLO [□OWNER □APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

et **8.24.2021**
SIGNATURE DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:
 Escarpment Approval by _____ Date: ___/___/___
 Flood Plain Approval by _____ Date: ___/___/___
 Traffic Engineering Approval by _____ Date: ___/___/___
 Notes: _____

Zoning Approval:
 Preliminary Approval □ with conditions □ Rejected
 Comments/Conditions: All four gate designs meet zoning. Legal Lot not confirmed but all new walls/gates/fencing occurs within lot and yard wall not changed.

REVIEWER: Lee Logston DATE: 8/25/21

462 Arroyo Tenorio Street

Historic letter

Historic Preservation Division
The City of Santa Fe,
200 Lincoln Ave.
Santa Fe, New Mexico 87504-0909

July 25, 2022

e3 design lab
133 West Houghton Street
Santa Fe, New Mexico 87505

Proposal Letter: 462 Arroyo Tenorio Street – Historic Application for Window Replacement and Removal:

Dear Planner and the Historic Board

History of Residence

The current home is built in 3 phases built in different eras: The center section dates from 1929 to 1933, the north section is believed to be from the 1960's, and the south section dates from the early 1980's. This Adobe/Stucco home has elements of Pueblo Revival and of Territorial styles. The pueblo style is clear and the territorial style is evident with a shed sloping metal roof and brick chimneys. The existing house is +/-1,329.04 square feet on a single story with interior steps. This residence was constructed of adobe including most interior walls since they were at one time exterior walls. The highest point on the shed roof is +/-12' - 1 ¼ above finish grade and the highest adobe parapet wall is plus and minus 10' - 10" above the finished grade. Over the years the subject residence has been renovated to its present state. The windows report attached shows that the windows and doors are not historic, but are a hodgepodge of different styles and manufacturers. Recently we permitted new windows as of today are to be installed. Additional information on the residence is available on the attached Historic Cultural Properties Inventory (HCPI) report.

Proposed Work:

Windows

Replacement of Windows E and F

Because of the financial hardship represented in restoring Windows E and F, we would like to request that the HDRB consider making an exception which would allow us to replace, not restore, these windows. Windows E and F are on the primary Historic (1) façade (please refer to attached 462 Arroyo Tenorio Façade Diagram on sheet 3/A4.1.) The existing windows are drafty, painted shut, missing hardware, not operable, have no screens, and some of the wood is rotted. Continual rain water leakage has attacked the adobe in one instance. The existing walls and ceilings have little-to-no insulation, and the single panes limit any possible energy savings.

The estimated cost of restoring Windows E and F is prohibitive at more than \$16,600, not including painting and plastering, and, because the windows are in wood, they would require additional expensive maintenance work going forward.

Removal of Window G

We propose to remove Window G, which is located on the east façade, is installed in the only closet in the house, and represents an easy-access security issue. Window G is drafty, provides no interior function, and is not visible from the street or neighboring houses.

The proposed exterior window color will match the approved clad color of existing windows. The color is a Kolbe "Camel" a tan/brown color. The proposed windows replacement will match the existing windows profile and trim. All new windows would be double paned for energy efficiency. While replacing the windows we plan to investigate for damage to the adobe wall and repair as required.

Stucco work

We will re-stucco with a cementitious El Rey product, Adobe color. Adobe is the closes matching color of the existing stucco in the El Rey color chart.

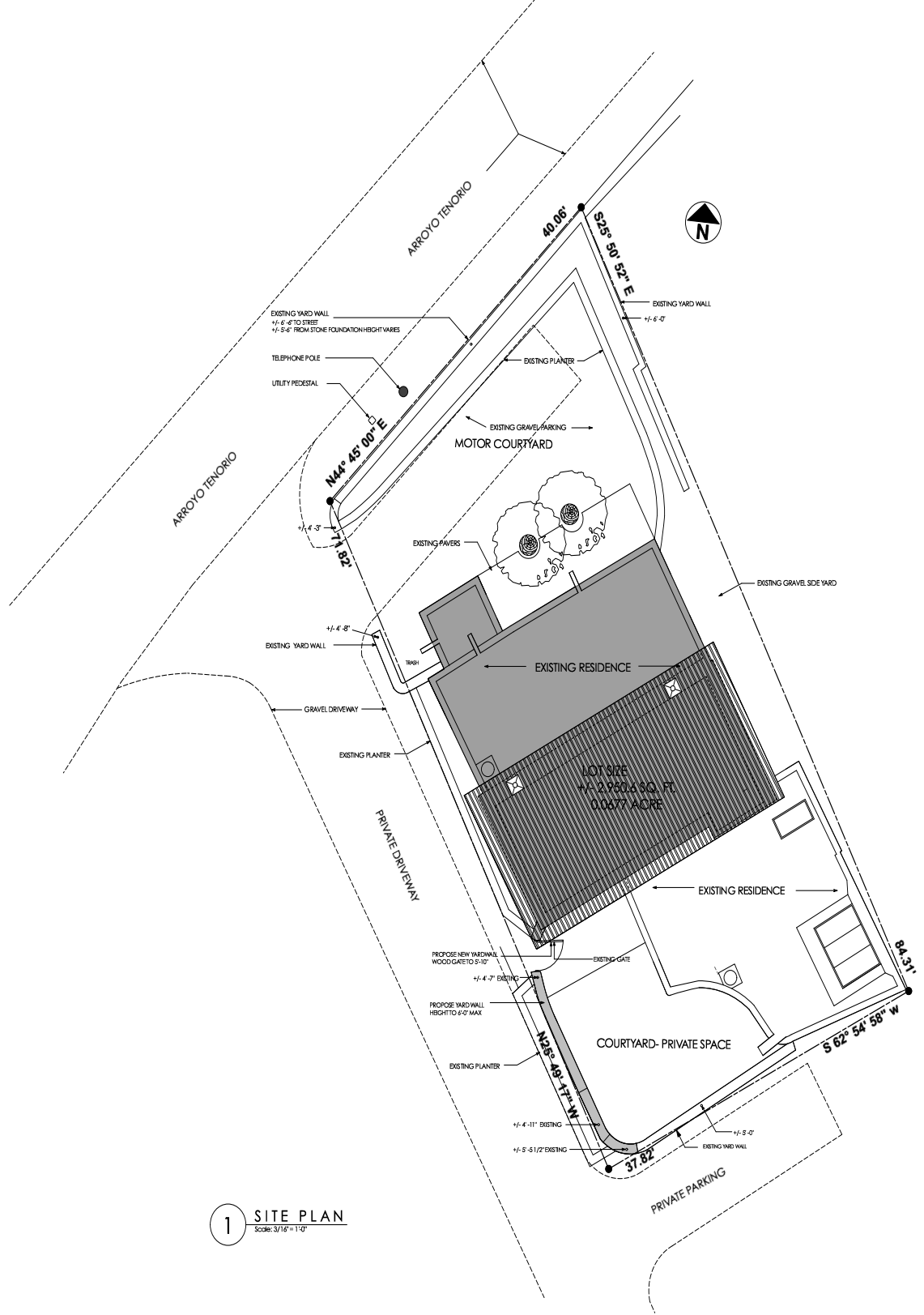
I hope that these improvements meet with your satisfaction.

Sincerely yours,

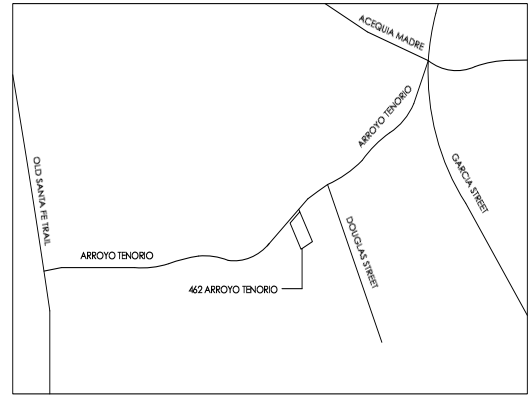
Estevan Trujillo
e3 design lab Agent

Attachments

1. Application:
2. PZR Sheet:
3. Proposed Letter:
4. A1.0 Site Plan, Sheet Index, Vicinity Map and Project Data:
5. A2.0 Existing Floor Plan and Proposed Work:
6. A-3.0 Existing and Proposed Elevations:
7. A3.1 Existing and Proposed Elevations:
8. A4.0 Schedule, Window Assessment, prepared by Ra Patterson, dated September 14,2020,
Window Color Chart:
9. A4.1 Updated Window Assessment on August 19,2021, 462 Arroyo Tenorio, Façade diagram, and
Window Cost Estimate:
10. Historic Cultural Properties Inventory HCPI - 27 sheets:
11. Photos sheets 1 - 5:
12. Photo color stucco:



1 SITE PLAN
Scale: 3/16" = 1'-0"



VICINITY MAP

N.T.S.

SCOPE OF WORK

1. REPLACE EXISTING WINDOW E AND F WITH NEW WINDOW IN-RIND
2. REMOVE AND STUCCO OVER WINDOW G IN CLOSET
3. RESTUCCO TO MATCH
4. CLEAN AND REPAIR LANDSCAPE

EXISTING SQUARE FEET

LOT SIZE	+/- 2,990.6 SQ. FT.
HEATED SQUARE FEET	+/- 1,329.04

ZONING

RCS COMPOUND - 8 DUJAC

OVERLAY DISTRICT

DOWNTOWN AND EASTSIDE HISTORIC DISTRICT

SHEET INDEX

- A1.0 EXISTING & PROPOSED SITE PLAN - VICINITY MAP - ZONING DATA - LEGAL
- A1.1 SURVEY - HISTORIC APPROVAL - LEGAL LOT
- A1.2 LEGAL LOT OF RECORD
- A2.0 EXISTING AND PROPOSED FLOOR PLAN
- A3.0 EXISTING AND PROPOSED ELEVATIONS
- A3.1 EXISTING AND PROPOSED ELEVATIONS
- A4.0 WINDOW SCHEDULE - COLOR CHART - WINDOW AND DOOR REPORT
- A4.1 ESTIMATE TO REPLACE WINDOWS AND SECOND REPORT

E3 DESIGN LAB., INC.
133 WEST HOUGHTON STREET
SANTA FE, NM 87505
VOY - 505.310.4327
E-MAIL - E3DESIGNLAB@MAC.COM

DRAWING ISSUE	DATE
HISTORIC ADMIN	1-10-22
PERMITE RET	2-22-22
CORRECTION	4-19-22
HISTORIC REVIEW	5-11-22
REVISIONS	

STRUCTURAL ENGINEERING:

CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:

DESORGES HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO 87505

SHEET TITLE:
SHEET INDEX - SITE PLAN - VICINITY MAP - ZONING AND LEGAL LOT OF RECORD - YARD WALL ADDITION DETAIL

FILE: 462 ARROYO TENORIO 20220510

SCALE: VARIES

DATE: 5.11.2022

SHEET NO:

A1.0

DRAWING ISSUE	DATE
HISTORIC ADMIN	1-10-22
PERM-IT RET	2-22-22
CORRECTION	4-19-22
HISTORIC REVIEW	5-11-22
REVISIONS	

STRUCTURAL ENGINEERING:

CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:

DESEORGES' HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO 87505

SHEET TITLE:
EXISTING FLOOR PLAN AND PROPOSED WORK

FILE: 462 ARROYO TENORIO
20220310

SCALE: 1/4" = 1'-0"

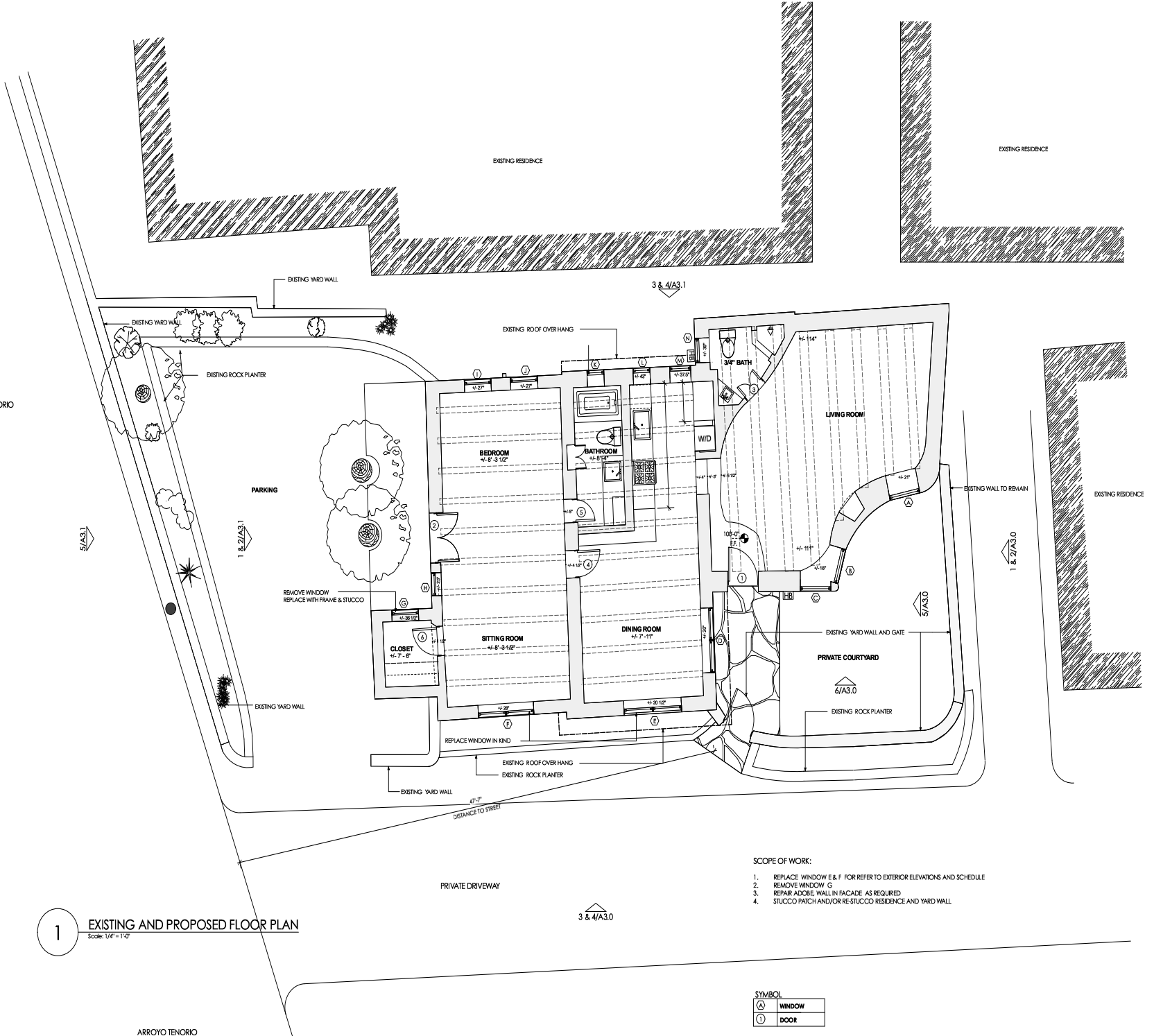
DATE: 6.18.2022

SHEET NO:

A2.0



ARROYO TENORIO



1 EXISTING AND PROPOSED FLOOR PLAN
Scale: 1/4" = 1'-0"

SCOPE OF WORK:

1. REPLACE WINDOW E & F FOR REFER TO EXTERIOR ELEVATIONS AND SCHEDULE
2. REMOVE WINDOW G
3. REPAIR ROCKE WALL IN FACADE AS REQUIRED
4. STUCCO PATCH AND/OR RE-STUCCO RESIDENCE AND YARD WALL

SYMBOL

△	WINDOW
⊙	DOOR

ARROYO TENORIO

DRAWING ISSUE	DATE
HISTORIC ADMIN	1-10-22
PERM-IT RET	2-22-22
CORRECTION	4-19-22
HISTORIC REVIEW	5-11-22
REVISIONS	

STRUCTURAL ENGINEERING:

CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:

DESFORCES HOME
 462 ARROYO TENORIO
 SANTA FE, NEW MEXICO 87505

SHEET TITLE:
EXISTING AND PROPOSED EXTERIOR ELEVATIONS

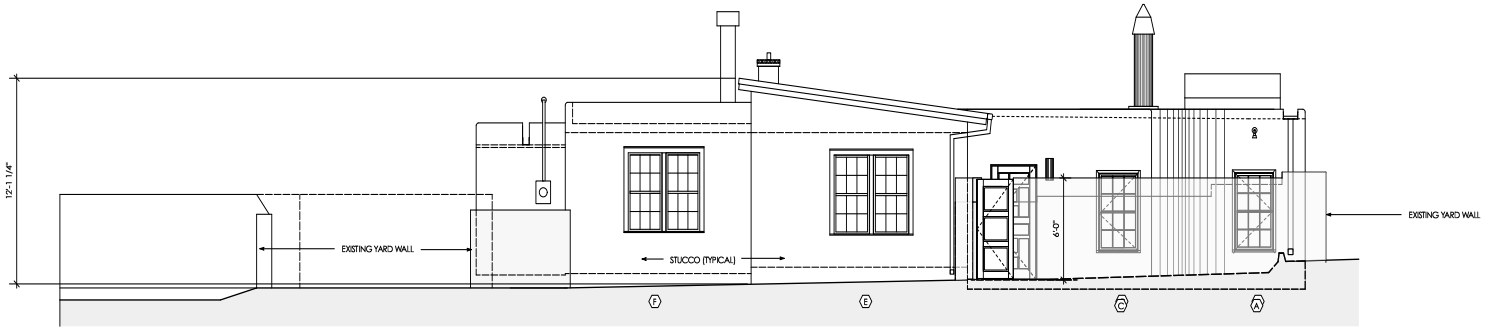
FILE: 462 ARROYO TENORIO 20220310

SCALE: 1/4" = 1'-0"

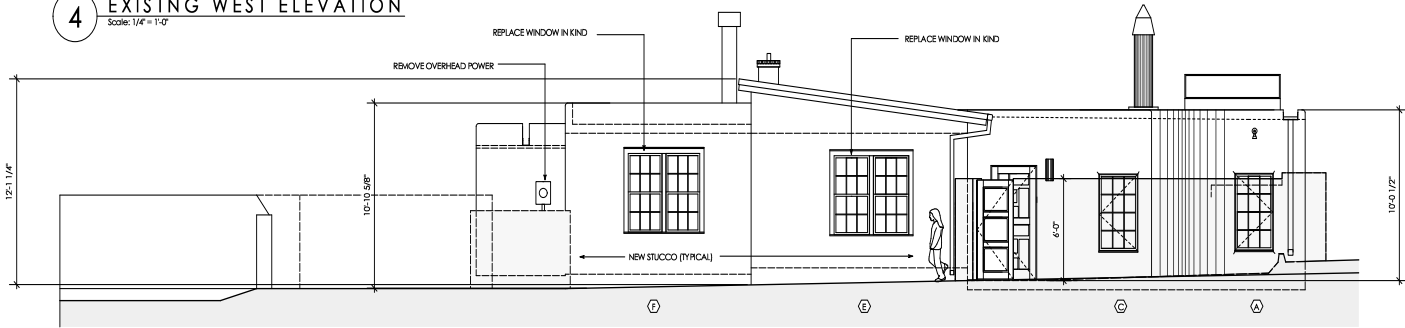
DATE: 6.18.2022

SHEET NO:

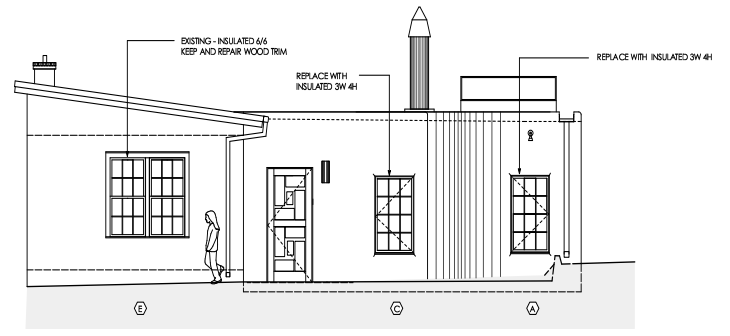
A3.0



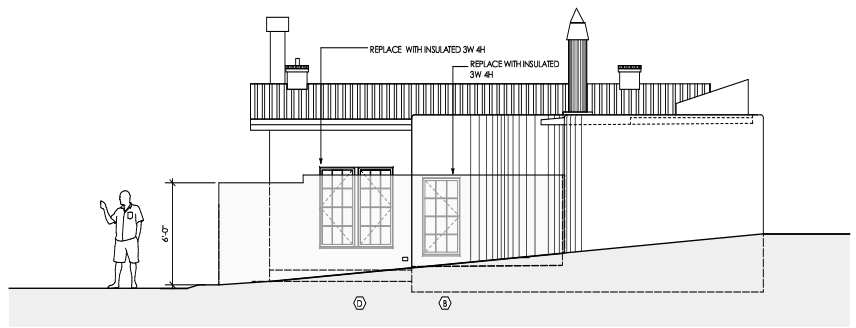
4 EXISTING WEST ELEVATION
 Scale: 1/4" = 1'-0"



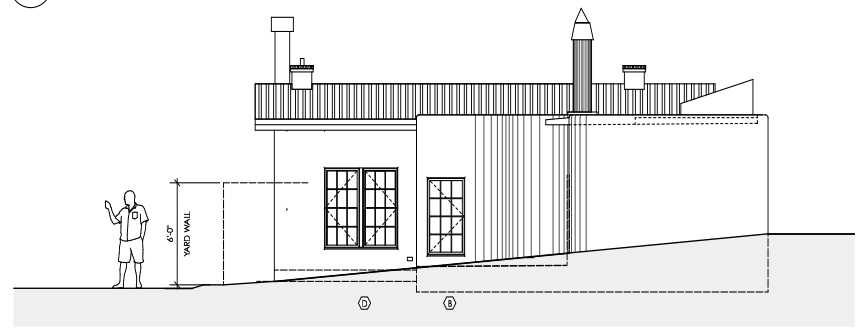
3 PROPOSED WEST ELEVATION
 Scale: 1/4" = 1'-0"



6 PROPOSED WEST ELEVATION - WITHOUT WALL
 Scale: 1/4" = 1'-0"



1 EXISTING & PROPOSED SOUTH ELEVATION - WITH YARDWALLS
 Scale: 1/4" = 1'-0"



5 PROPOSED SOUTH ELEVATION - WITHOUT YARDWALLS
 Scale: 1/4" = 1'-0"

DRAWING ISSUE	DATE
HISTORIC ADMIN	1-10-22
PERM-IT RET	2-22-22
CORRECTION	4-19-22
HISTORIC REVIEW	5-11-22
REVISIONS	

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CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:
DESFORCES' HOME
 462 ARROYO TENORIO
 SANTA FE, NEW MEXICO 87505

SHEET TITLE:
EXISTING AND PROPOSED EXTERIOR ELEVATIONS

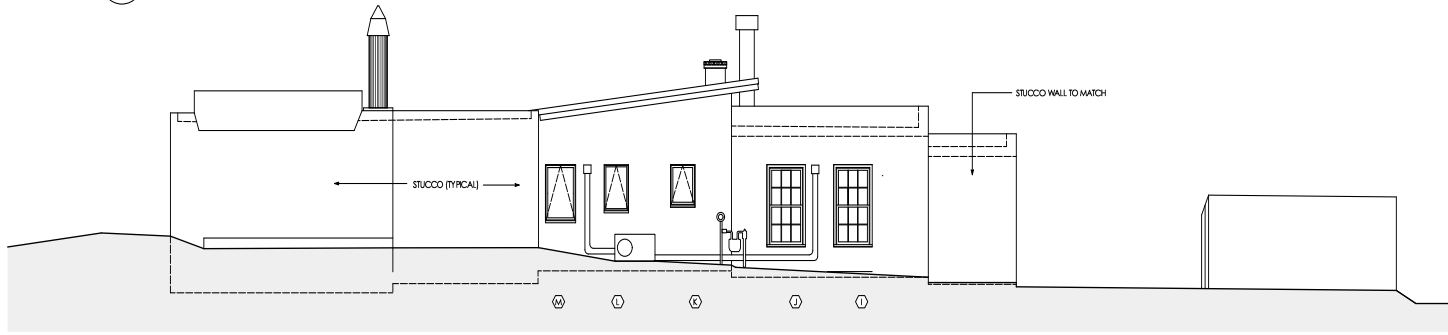
FILE: 462 ARROYO TENORIO 20220510
 SCALE: 1/4" = 1'-0"
 DATE: 5.11.2022

SHEET NO:

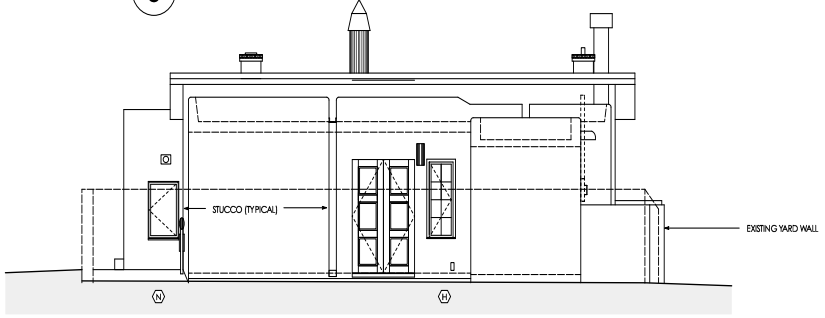
A3.1



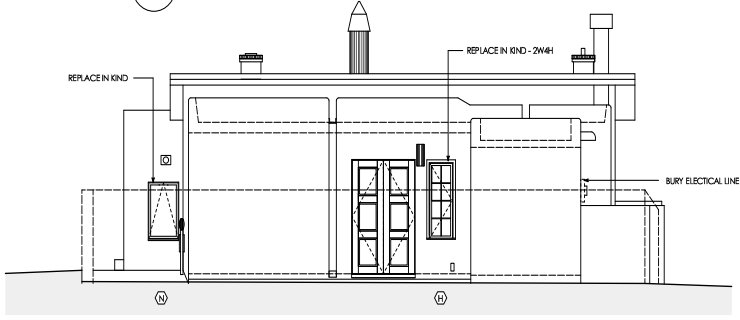
4 EXISTING EAST ELEVATION
 Scale: 1/4" = 1'-0"



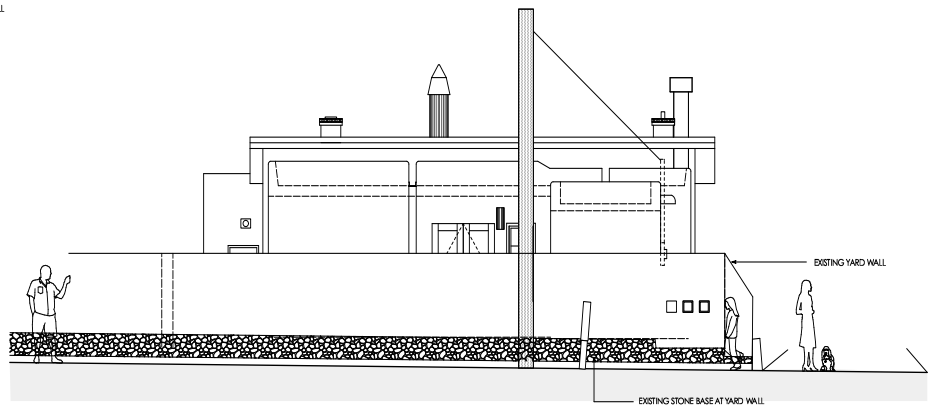
3 PROPOSED EAST ELEVATION
 Scale: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
 Scale: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
 Scale: 1/4" = 1'-0"



5 EXISTING NORTH ELEVATION - ARROYO TENORIO - STREET VIEW
 Scale: 1/4" = 1'-0"

From: [estevan trujillo](#)
To: [BORDEGABAY, ANGELA S.](#)
Subject: 462 Arroyo Tenorio - Current Submittals July - 1 of 3
Date: Wednesday, September 28, 2022 11:24:44 AM
Attachments: Preliminary Zoning Review Worksheet Signed coov.pdf
462 Arroyo Tenorio_HPT1_06_30_21_FINAL_rnwv.pdf
PHOTOS STUCCO COLOR coov.pdf
A4.0 462 ARROYO TENORIO 20220510.rvt
A1.0 462 ARROYO TENORIO 20220510.pdf
A4.1 462 ARROYO TENORIO 20220510.rvt
A3.1 462 ARROYO TENORIO 20220510.pdf
202207025 462 Arroyo Tenorio Historic Letter.pdf
A2.0 462 ARROYO TENORIO 20220718.pdf
A3.0 462 ARROYO TENORIO 20220718.rvt
Application coov.pdf

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Angela,

Attached are my current submittals for the windows replacement and window cover up in the closet.

Thans



NORTH ELEVATION - MOTOR YARD



2 ARROYO TENORIO - NORTH ELEVATION - STREET YARD WALL

DESFORGES' HOME

**462 ARROYO TENORIO
SANTA FE, NEW MEXICO
87505**

WINDOW REPLACEMENT SCHEDULE

MARK	PROPOSED WORK	LOCATION ELEVATION	EXISTING TYPE	UNIT SIZE W X H	COMMENTS	PROPOSED TYPE	COLOR	COMMENTS
(A)	NEW	WEST	DOUBLE HUNG 3W2H/3W2H	33 X 55	KOLBE NEW		CAMEL	-
(B)	NEW	SOUTH	DOUBLE HUNG 3W2H/3W2H	33 X 55	KOLBE NEW		-	-
(C)	NEW	WEST	DOUBLE HUNG 3W2H/3W2H	33 X 55	KOLBE NEW		-	-
(D)	NEW	SOUTH	2)DOUBLE HUNG 3W2H/3W2H	39 X 56	KOLBE NEW		-	-
(E)	REPLACE	WEST	2)DOUBLE HUNG 3W2H/3W2H	43 X 56	REFER TO REPORT - REPLACE	2)DOUBLE HUNG 3W2H/3W2H	CAMEL	PROVIDE SCREEN
(F)	REPLACE	WEST	2)DOUBLE HUNG 3W2H/3W2H	39 X 56	REFER TO REPORT - REPLACE	2)DOUBLE HUNG 3W2H/3W2H	CAMEL	PROVIDE SCREEN
(G)	REMOVE	EAST	R - CASBMENT 2W4H - PELLA	29 X 38	EXISTING WINDOW IN CLOSET	-	-	-
(H)	NEW	NORTH	L - CASBMENT 2W4H - PELLA	20 X 54	KOLBE NEW		CAMEL	-
(I)	NEW	EAST	DOUBLE HUNG 6 OVER 6	29 X 56	KOLBE NEW		CAMEL	-
(J)	NEW	EAST	DOUBLE HUNG 6 OVER 6	29 X 56	KOLBE NEW		CAMEL	-
(K)	NEW	EAST	R - CASBMENT	20 X 35	KOLBE NEW		CAMEL	-
(L)	NEW	EAST	R - CASBMENT	20 X 35	KOLBE NEW		CAMEL	-
(M)	NEW	EAST	R - CASBMENT	25 X 41	KOLBE NEW		CAMEL	-
(N)	NEW	NORTH	R - CASBMENT	25 X 41	KOLBE NEW		CAMEL	-

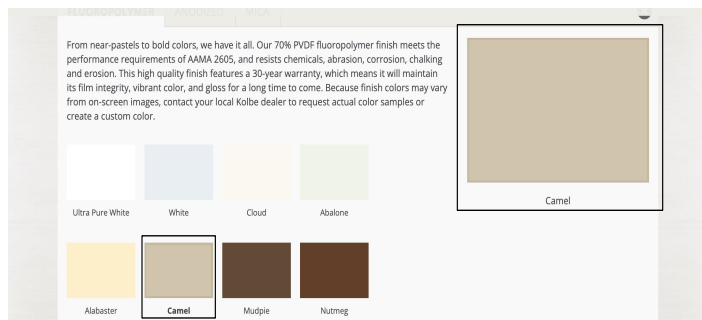
* REFER TO REPORT - WINDOW AND DOOR REPORT BY SUNWEST CONSTRUCTION SPECIALTIES CONTRACTORS TO VERIFY ALL SIZES AND OPERATIONS AS REQUIRED. ALL WINDOW REPLACEMENT ARE TO BE ENERGY RATED FOR ITS CLIMATE ZONE DOUBLE PANE

DOOR SCHEDULE

MARK	PROPOSED WORK	LOCATION ELEVATION	EXISTING TYPE	UNIT SIZE W X H	COMMENTS	PROPOSED TYPE	COLOR	COMMENTS
(1)	REPAIR AS NEEDED	WEST	WOOD SWING ENTRY DOOR	36 X 80	NON - HISTORIC - SIMPSON	NO WORK	DARK BROWN	
(2)	REPAIR AS NEEDED	NORTH	INSWING FRENCH DOOR	48 X 80	NON - HISTORIC	REPAIR AS REQUIRED	DARK BROWN	
(3)	INTERIOR DOOR							
(4)	INTERIOR DOOR							
(5)	INTERIOR DOOR							
(6)	INTERIOR DOOR							


* REFER TO REPORT - WINDOW AND DOOR REPORT BY SUNWEST CONSTRUCTION SPECIALTIES

3 WINDOW AND DOOR SCHEDULES



*PROPOSED COLOR - COLOR BASED ON SELECTED MANUFACTURE STANDARD COLOR OF SIMILAR OPTIONS

2 PROPOSED WINDOW COLOR CHART



1254 Calle De Comercio
Santa Fe, NM 87507
Ph. 505-438-7199/Fax 505-474-6108
Email: ra@sunwestconstruction.com

Historic Assessment
September 14, 2020

Janet Deforges
462 Arroyo Tenorio
917-751-1691

West Elevation

A- 1 - 33 x 55 DH Pella 1980
w/ pop in grilles 3W2H/3W2H
storm panel non historic window

South Elevation

B- 1 - 33 x 55 DH Pella 1980
w/ pop in grilles 3W2H/3W2H
Storm panel non historical window
Also not tempered glass needed for code on bottom of sash

West Elevation

C- 1 - 33 x 55 DH Pella 1980
w/ pop in grills 3W2H/3W2H
storm panel non historical window
also not tempered glass needed for code on bottom of sash

West Elevation

DR #1 - 1 3-0 x 6-8 LH Inswing
All wood door 1980's Simpson manufacture fir door non historic

South Elevation

D- 1 - 59 x 56 pair of double hungs
3W2H/3W2H these windows have been plastered and stucco so many times that water is leaking around the jambs & sill window jambs would need to be removed to repair the probable water damage to the adobe. You would more than likely destroy the window jambs as it is the buck for the adobe.

1

West Elevation

E - 1 - 63 x 56 (2) pair of double hung same as D window, but also the mull post is wider than windows "D & F" doesn't look original stops different on interior.

West Elevation

F - 1 - 59 x 56 (2) DH
Same as "D" except sill has rotted into the wall

East Elevation

G - 1 - 29 x 38 L casement 2W3H
Pella casement 1980's pop in grilles

North Elevation

H - 1 - 20 x 54 R casement 2W4H
Pella casement 1980's pop in grilles
DR#2 - 1 4-0 x 6-8 inswing French door
1 light insulated glass 1990 wood head

East Elevation

I - 1 29 x 56 DH 3W2H/ 3W2H
Wood head vinyl jamb liners Marvin windows 1990's
J - 1 29 x 56 DH 3W2H/ 3W2H
Same as I
K - 1 20 x 35 L casement 1-LT Andersen 1980's
L - 1 20 x 35 L casement 1-LT Andersen 1980's
M - 1 25 x 41 L casement 1-LT Pella 1980's

North Elevation

N - 1 - 25 x 41 L casement same as "M" also not tempered glass

After reviewing the project, it is of my opinion that all the windows and exterior doors are of the same era 1980's to 1990's and of non-historic era except D, E, F.
Windows D & F have a narrow mull post measure they couldn't have weights & pulleys which would have been the style of the era of the house.
Window F has a rotted sill so bad that the window would need to be removed to repair the wall doing so would probably destroy the window jamb.
Window D & E could be salvaged but I'm not sure since the mull post are narrow that they were probably not of this house originally. It would be my professional opinion that these windows/doors more than likely are not of this original house. They should be replaced in size of openings of windows/doors of that era.
Please let me know if any questions.

Best Regards,
Ra Patterson
Ra Patterson

2

1 WINDOW AND DOOR REPORT

DRAWING ISSUE	DATE
HISTORIC ADMIN	1-10-22
PERM-IT RET	2-22-22
CORRECTION	4-19-22
HISTORIC REVIEW	5-11-22
REVISIONS	

STRUCTURAL ENGINEERING:

CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:
DEFORGES HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO 87505

SHEET TITLE:
**SCHEDULES - DOOR AND WINDOW
DOOR AND WINDOW REPORT AND
COLOR CHART**

FILE: 462 ARROYO TENORIO
20220910

SCALE: VARIOUS

DATE: 5.11.2022

SHEET NO:

ORDER DATE	ORDER NUMBER	JOB
04/26/2022	JD462 - CL	462 ARROYO TENERIO

YES	NO	HISTORIC ASSESSMENT
		HISTORIC ASSESSMENT - \$0.00
X		LEAD ASSESSMENT
X		ASBESTOS ASSESSMENT
		NOT RESPONSIBLE FOR HIDDEN ROT. IF FOUND WE ASSESS WITH HOMEOWNER AT THAT TIME ON HOW
		TO PROCEED. THIS COST IS NOT IN THE BID.
		ABATEMENT/CONTAINMENT DONE BY OTHERS.
		OTHER ITEMS:
		4 - NEW STORMS \$3,975.00
		4 - NEW SCREENS \$2,884.00
		4 - WINDOWS \$6,484.00
		SUBTOTAL: \$13,343.00
		SALES TAX: \$1,294.57
		TIME FRAME: ALLOW 14-18 WEEKS
		TOTAL: \$16,637.57
		EXCLUDED ITEMS: NO FINISH PAINTING, NO STUCCO, NO PLASTER
		MUST BE ABOVE 40 DEGREES DAY AND NIGHT FOR EPOXY USE

Ra N. Patterson

Please call with any questions or comments.
PRESERVING OUR HISTORY THANK YOU FOR YOUR BUSINESS!

ORDER DATE	ORDER NUMBER	JOB
04/26/2022	JD462 - CL	462 ARROYO TENERIO

YES	NO	SCOPE OF WORK - STORMS & SCREENS
X		NEW STORMS
X		NEW SCREENS
X		EPOXY/DUTCHMAN - REPLACE WOOD SCREENS/STORMS
X		RE-SCREEN EXISTING SCREENS
X		GALVANIZED ALUMINUM MESH
X		FIBERGLASS MESH
X		CLEAN AND RE-USE EXISTING HANGERS/BUTTERFLY TURNS/SCREENS/STORMS
X		NEW HANGERS/BUTTERFLY TURNS/SCREENS/STORMS
X		PRE-PREMED IN LIKE AND KIND WOOD SCREENS/GRILLES FINE _X_ POPLAR ___ MAHOGANY ___ FIR ___
X		SINGLE GLAZED GLASS ON STORMS
X		INSULATED GLASS ON STORMS
X		INSULATED LOW-E GLASS ON STORMS


Please call with any questions or comments.
PRESERVING OUR HISTORY THANK YOU FOR YOUR BUSINESS!

ORDER DATE	ORDER NUMBER	JOB
04/26/2022	JD462 - CL	462 ARROYO TENERIO

YES	NO	SCOPE OF WORK - SASHES/PANELS
		SINGLE HUNG _X_ DOUBLE HUNG ___ CASEMENT ___ FIXED ___ HOPPER
X		SCRAPE LOOSE PAINT AND KEEP CONTAINED
X		EPOXY/DUTCHMAN - REPLACE SASH MEMBERS
X		CLAMP AND RE-GLUE SASHES
X		ADD FASTENERS TO SASHES (IF NEEDED)
X		ADD CHECK RAIL WEATHERSTRIPPING FELT OR BULB (IF NEEDED)
X		ADD BOTTOM RAIL OF MOVING VENT WEATHERSTRIPPING FELT OR BULB (IF NEEDED)
X		PRE-PREMED REPAIRED AREAS
X		REPAIR GLAZING IF BROKEN
X		RE-PUTTY GLAZE OR TOUCH UP PUTTY GLAZING
X		REPLACE/REPAIR PULLEYS IF NEEDED ON DOUBLE HUNG
X		REPLACE PULLEY ROPE WITH PRE-WAY, PRE-STRETCHED ROPE
X		CLEAN EXISTING SASH LOCKS AND SASH LIFTS ON DOUBLE HUNGS
X		SASH STAYS (IF NEEDED)
X		REPLACE CASEMENT HARDWARE AS CLOSE AS POSSIBLE IF MISSING OR BEYOND REPAIR
X		CLEAN/RESTORE EXISTING LOCKSETS, SASH LOCKS, AND HINGES
X		REPLACE LOCKSETS/HINGES TO MATCH AS CLOSE AS POSSIBLE
X		CLEAN/RESTORE EXISTING LOCKSETS & HINGES ON DOORS
X		REPLACE LOCKSETS/HINGES TO MATCH AS CLOSE AS POSSIBLE
X		REPAIR/REPLACE CASEMENT BOTTOM SASH DRIP CAP
X		KEEP SASHES TO ACCEPT WEATHERSTRIPPING FELT OR BULB
X		ADD WEATHERSTRIPPING TO INTERIOR STOP OF CASEMENTS
X		ADD BEVEL SILL STOP TO SILL ON INSHING CASEMENTS
X		REPAIR OR REPLACE DIVIDED LITE BARS
X		MACHINE SASHES TO ACCEPT INSULATED GLASS

2 WINDOW REPLACEMENT COST ESTIMATE

1 SECOND WINDOW REPORT



1254 Calle De Comercio
Santa Fe, NM 87507
Ph. 505-438-7199
Email: ra@sunwestconstructionspecialties.com

EMAILED
8/19/21

Historic Assessment Addendive August 19, 2021

Janet DeForges
462 Arroyo Tenorio
Santa Fe, NM 87504

To reiterate my earlier respond on 9/14/2020 (see attached)

Windows A, B, C, G, H, I, J, K, L, M, N are all non-historic 1980's and 1980's windows.

Also, Dr 1, Dr 2 1980 and 1990

Windows D and E - Have narrow mull posts which doesn't allow for weights and pulleys which were typical for a house of that era.

Window E: The jamb and sill were badly rotted that only the sashes might be reused. The rotted jamb allows water to get into the wall. So, the whole window would need to be removed to fix the adobe wall. You would destroy the jamb when removing the window to repair the adobe, so this window would have to be re-made.

My opinion of the era (age) of the windows and the windows being rotted so bad that they have caused damage to the adobe, all the windows should be able to be replaced. The 30 to 40% rule on the jamb would need to be replaced completely but re-use the sashes on window E.

WINDOW E AND F

WINDOW E

This is my professional opinion. Please let me know if any questions.

Best Regards,
Ra N. Patterson
Ra Patterson

E3 DESIGN LAB, INC
133 WEST HOUGHTON STREET
SANTA FE, NM 87505
VOY - 505.310.4267
E-MAIL - E3DESIGNLAB@MAC.COM

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REVISIONS	

STRUCTURAL ENGINEERING:

CONTRACTOR:

CIVIL ENGINEER:

PROJECT NAME AND ADDRESS:
DEFORGES HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO 87505

SHEET TITLE:
WINDOW REPLACEMENT COST ESTIMATE AND SECOND REPORT

FILE: 462 ARROYO TENORIO 20220510

DATE: 5.11.2022

SHEET NO:

A4.1



1 STREET VIEW - ARROYO TENORIO

DESFORGES' HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO
87505

D



SOUTH VIEW INSIDE COURTYARD



3 SOUTH VIEW

DESFORGES' HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO
87505



5 EAST VIEW



EAST VIEW DETAIL



DESFORGES' HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO
87505



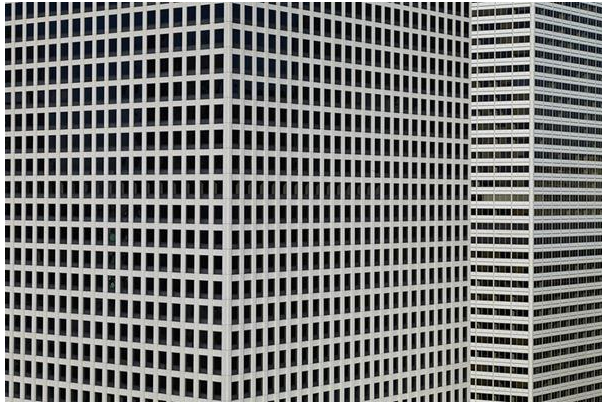
4 WEST VIEW



WEST VIEW COURTYARD

DESFORGES HOME
 462 ARROYO TENORIO
 SANTA FE, NEW MEXICO
 87505

Estevan Trujillo
 e3 design lab
 santa fe, new mexico 87505
 vox 505.310.4387
 e3designlab@mac.com
<http://e3designlab.com>



SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
July 27, 2021

ITEM	ACTION TAKEN	PAGE(S)
Call to Order	5:30 pm	1
A. Roll Call	Quorum Present	1
B. Approval of Agenda	Approved as amended	4
C. Approval of Minutes July 13, 2021	Approved as amended	4
D. Matters from the Public	Comments	4
E. Staff Communications	Comments	5
F. Findings / Conclusions	Approved	5-6
G. Old Business		
1. Case 2021-003832-HDRB 844 Don Cubero Avenue	Approved	6-10
2. Case 2021-003670-HDRB 844 Don Cubero Avenue	Approved	10-11
3. Case 2021-003847-HDRB 620 Garcia Street	Approved	11 -14
4. Case 2021-003835-HDRB 905 Don Miguel Place	Status Review	14-15
5. Case 2021-003834-HDRB 905 Don Miguel Place	Approved	15-18
6. Case 2021-003846-HDRB 335 Camino Cerritos	Approved	18-20
7. Case 2021-003845-HDRB 848 Don Cubero Avenue	Approved	20-22

8. Case 2021-003828-HDRB 701 East Alameda Street	Denied	22-25
9. Case 2021-003831-HDRB 608 ½ Camino de la Luz	Approved	25-28
10. Case 2021-003826-HDRB 206 McKenzie Street	Approved	28-31
H. New Business		
1. Case 2021-3908-HDRB 214 Old Santa Fe Trail	Approved	31-34
2. Case 2021-003911-HDRB 462 Arroyo Tenorio Street	Approved	34-39
3. Case 2021-003900-HDRB 847 Old Santa Fe Trail	Denied	39-43
4. Case 2021-003901-HDRB 918 H Acequia Madre	Approved	43-45
5. Case 2021-3907-HDRB 1243 Canyon Rd.	Approved	45-47
I. Discussion Items	None	47
J. Matters from the Board	Comments	47-48
K. Next Meeting	Tuesday, August 10, 2021	48
L. Adjourn	10:05 p.m.	48

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
July 27, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v=6Q7179n4Uko&t=7s>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida

MEMBERS EXCUSED:

Ms. Flynn G. Larson
Mr. Buddy Roybal

OTHERS PRESENT:

Mr. Daniel Schwab, Senior Planner
Ms. Angela Bordegaray, Senior Planner
Ms. Sally Paez, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

Member Guida agreed with the applicant and the original application. He said he could not see the east façade being primary but agreed the north façade remains largely intact.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she would like the east façade to be primary, but agrees the porch overwhelms it. She thought it important that the north façade is primary.

BOARD DISCUSSION

MOTION: In Case 2021-003908-HDRB, 214 Old Santa Fe Trail, Vice Chair Katz moved to designate the north and east facades as primary, recognizing some aspects of the east façade are not historic. The motion was seconded by Member Bienvenu.

VOTE: The motion failed by majority (3-2) roll call vote with Members Bienvenu and Vice Chair Katz voting in favor and Members Biedscheid, Guida and Chair Rios [with comment] voting against.

Chair Rios said it was proven to her that all of the openings in the front have been significantly changed, and they don't know the true age of the porch. The north façade should definitely be primary, but the east façade was not proven to be historic.

Attorney Paez recommended another motion to designate the north facade.

MOTION: In Case 2021-003908-HDRB, 214 Old Santa Fe Trail, Member Guida moved to designate the north façade as primary noting the character defining elements of the historic windows, stepped parapet and chimney mass. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida, and Katz voting in favor and none voting against.

2. **Case 2021-003911-HDRB. 462 Arroyo Tenorio Street. Downtown and Eastside Historic District.** Janet Desforges, owner and agent, requests a historic status review for a contributing structure. A possible status downgrade has been noticed per 14-5.2(C)(2)(d). (Daniel Schwab)

STAFF REPORT

462 Arroyo Tenorio is a circa 1,100-square-foot, single-story residential structure with contributing status to the Downtown and Eastside historic district.

The owner requests a historic status review and status downgrade. The neighboring owners have been noticed of a possible lowering of status per Section 14-5.2(C)(2)(d)(2).

The following is excerpted and adapted from the HCPI: The north (front) façade presents to the street an altered elevation (Photo 2). The basic composition is a flat façade, punctuated with a lower roofed bump-out at the northwest corner. Windows are non-historic, and the porch has changed since 1966.

The west elevation faces onto a private drive. It reveals the three building phases of the structure. The north section is a rectangular volume and the bump-out mentioned above. It holds grouped, six-over-six wood windows of unknown age. Abutting to this, at a taller height, is another rectangular volume topped with a single-pitch, south-sloping shed roof. This volume is believed to be the oldest portion of the house. It, too, is fenestrated with paired six-over-six, double-hung wood windows. The sloped roof, with its exaggerated angle, was reconstructed in the 2010s and raised 3 inches. The third volume, containing the living room, is set back approximately 9' from the middle section. The roughly 482-square-foot addition was erected in c.1979-80 and worked as an apartment. The windows are non-historic double-hung units with a six-over-six inserted grid. Ra Patterson estimated that the door and windows date to the 1980s.

This elevation shows mostly the non-historic addition. A pair of double-hung, six-over-six wood windows mark the west end of the older façades. The origin and age of these windows is unclear.

The wood sash appears to be older, but are fitted within more recent metal tracks. According to a previous owner, the east elevation, which looks onto a neighboring property, was altered with a change of rough opening dimensions. A series of non-historic, single-light casements and double-hung, six-over-six windows penetrate the wall. They date from the 1980s or 1990s.

The property includes two walls that may predate 1973, although they have been altered. A third non-historic wall creates a trash can enclosure at the northwest corner

STAFF RECOMMENDATION

Given the number of non-historic changes to the structure and loss of integrity, staff recommended that the structure be downgraded from its historic status of "contributing" to "non-contributing" per Section 14-5.2(C)(2).

QUESTIONS FOR STAFF

Chair Rios confirmed this was altered to the point that the only historic portion remaining is the sloping roof and a couple of windows.

Vice Chair Katz asked if staff had a graphic showing when each of the additions were built.

Mr. Schwab displayed a floor plan with the additions. He noted the massing is technically historic but has been renovated.

Member Guida asked if correct that with the issue of contributing, it should not be equated with strict originality nor something being old. It should be a definition of Code, and having character defining elements that contribute to the character of the district and a place and time.

Mr. Schwab replied the Code has a requirement of 50 years as well as a requirement about character. But part of the Code talks about the integrity of the original. The additions were done in keeping with vernacular style. He said he likes the building. It definitely has a lot of character and contributes a lot in architectural expression to the district, but the material is mostly non-historic. In terms of Code and what is contributing; the first prerequisite is age, then the integrity of the original. He said the problem is that Code in its wording, points to a noncontributing status.

Member Guida said it is good for the Board to review cases like this for a better understanding of what contributing might mean. Age and originality are considerations, but the Board can benefit by looking at the building. He said he sees a building that has evolved over time in a room-based fashion, with massing seen as part of the Spanish Pueblo Style. He felt this building has immensely more character than the one in the previous case. He said he wasn't willing to downgrade because it is not original or may or may not meet an age requirement.

Mr. Schwab displayed what was probably the original portion and the evolvement of the renovations.

APPLICANT'S PRESENTATION

Karl Sommer and Janet Desforges owner of the property were sworn in.

Mr. Sommer, PO Box 2476, Santa Fe said the owner had hired John Murphy and he did a thorough report on this for the HCPI. Mr. Murphy's report indicates most of the changes were in the early to mid-70s. Mr. Murphy's research shows the shed roof was

Member Guida said page 22 of the packet has a 1973 aerial photograph of the 1966 addition of the front of the house. He noted the roof appears to have been rebuilt more recently than 1973.

Mr. Schwab said the HCPI states it was a sloped roof and was changed.

Member Guida said this is confusing for the Board and the public. He thought there is room for recognizing a building such as this, with a lot of character that has been constructed and added on to in a way that did not harm the district or the original building. He said the Board may want to consider this as something that should remain contributing. He said he comes back to this argument when discussing originality; whether anything they approve on a contributing building will compromise its status and make it non-contributing. He thought whether approved conditions or not, this does appear to fit the character of the district.

Member Biedscheid said the recent HCPI references the 1986 HCPI which had designated this as contributing. That would have taken into account any changes made in the 1970's. She asked if that has validity or was there a precedent to discount the 1980 HCPI because it wasn't thorough.

Mr. Schwab said her point was interesting and valid. It was designated as contributing with most of the changes before them. The Board could reassess the status.

Member Biedscheid said she could see a situation where the items would have been considered and did not challenge the status.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she hoped the building would remain contributing. If a photograph in 1973 showed it completed, it likely was there a couple of years. She thought the vernacular, add-ons and the massing by the street, were common in Santa Fe and adds to the harmony of the streetscape.

BOARD DISCUSSION

MOTION: In Case 2021-003911-HDRB, 462 Arroyo Tenorio Street, Member Guida moved to retain the contributing status and designate the west façade as contributing noting the key aspects are the tripartite massing of serial additions from 1966, the original half, as well as the addition on the back. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by majority (3-1) roll call vote with Members Biedscheid, Bienvenu and Guida voting in favor and Vice Chair Katz voting against.

Mr. Sommer asked for clarification whether the entire façade was included.

Member Guida confirmed it was the west façade of the building.

Mr. Sommer asked if the addition in the back done in the 70s, was included.

Member Guida said it is and his comments were that the Board was interested in the massing. There is allowance within their process to grant exceptions to a primary façade.

Mr. Schwab explained the façade extended from the front bump out. The other per the definition of a façade, was a separate façade if designated as primary.

Chair Rios asked Member Guida to clarify.

Member Guida said his intent was to include the entire west elevation.

Mr. Schwab pointed out the three different façades; the west could be façade #1, the south #2 and then façade #3.

Member Guida said facades #1 and #3 was his intent with the idea of the front overall tripartite massing.

Attorney Paez said Mr. Schwab could identify façades #1 and #3 in a façade diagram and attach that as an exhibit to the Findings.

Mr. Sommer said his understanding is façades #1 and #3 and that the massing is the important feature to retain.

Chair Rios said that is what she heard.

3. **Case 2021-003900-HDRB. 847 Old Santa Fe Trail.** Downtown and Eastside Historic District. Christopher Purvis, agent for Lisa Freeman, requests to add a 555 sq. ft. free-standing garage to a height of 12 ft. 10 in. on a contributing property. (Angela Bordegaray)

STAFF REPORT

847 Old Santa Fe Trail is a Spanish-Pueblo Revival single-family residence and free standing garage built after 1946. The applicant proposes to construct a 555 sf free-



PATCH AND REPAIR STUCCO COLOR
EL REY - CEMENTITIOUS ADOBE
OR
RE-STUCCO COLOR

5 STUCCO COLOR

DESFORGES' HOME
462 ARROYO TENORIO
SANTA FE, NEW MEXICO
87505

City of Santa Fe, New Mexico

memo

DATE: December 13, 2022
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Assistant Director, Planning & Land Use

Case # 2022-006146-HDRB

Address: 50 Mt. Carmel Road
Historic Status: Non-Contributing
Historic District: Historic Review

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Structural Assessment

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed demolition and finds that the application complies with Section 14-3.14(B) Demolition Standards for all Historic Districts.

BACKGROUND & SUMMARY:

On July 26, 2022, the HDRB reviewed the historic status of all the structures on the Mt. Carmel campus, with the exception of the buildings that are still occupied by the Carmelite nuns on the southwest side of the campus. At that hearing, the carport was designated as non-contributing due to the changes that have occurred over time.

In addition to the religious, administration, and education buildings on the campus, functional buildings were constructed, including a carport which was built in 1962. Drawings are provided that illustrate that the carport structure has had some modifications over time. The 1962 plan illustrates board and batten construction with both open and enclosed storage.

The purpose of the demolition is to provide an emergency access and service drive and to permit sufficient space for emergency services and deliveries.

Staff recommends approval of the proposed demolition due to changes over time and the non-contributing status, it is not an essential part of the streetscape, and the purpose of providing sufficient area for emergency access for adjacent buildings.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-3.14 Demolition of Historic or Landmark Structure

(A) Summary of Procedure

- (1) Upon receiving an application for demolition of a structure within the historic districts the HDRB shall, within sixty-five calendar days from the date of application, either grant or deny the application. Ordinarily, the HDRB will act on an application for demolition at its next regular meeting, if the application is submitted in proper form at least seven days before its next regular meeting; however, the HDRB may use the entire sixty-five day time period if the HDRB, on motion duly passed, determines such delay is necessary.

- (2) Upon receiving an application for demolition of a landmark structure the HDRB shall, within sixty-five calendar days from the date of application, make a recommendation to the governing body to either grant or deny the application.

(B) Hearing Required

- (1) In all applications involving the demolition of a structure, provision shall be made for a hearing, as set forth in the preceding section.
- (2) The HDRB or governing body, as applicable, shall restrict its review to a consideration of whether the application will be in conformity with the standards established by this section.
- (3) Notice of the time and place for each hearing shall be sent in writing to each applicant.
- (4) An agenda of the HDRB shall be sent to all groups requesting notification and copies of meeting agendas, as set forth in the officially adopted neighborhood planning policies.
- (5) On-site notice, by a sign of proposed demolition and of the time, date and place of the HDRB or governing body review shall be posted by the city on the affected property fourteen days prior to HDRB or governing body review of application for demolition. Such notice shall be prominently displayed, visible from a public street and securely placed on the property.

(C) Staff Review and Report

Before granting approval or denial to a demolition request, the land use director shall provide the following information on the structure under consideration.

- (1) A report on the historic or architectural significance of the structure;
- (2) A report from the city building inspector on the state of repair and structural stability of the structure;
- (3) If the structure is more than seventy-five years old, and the entire project of which demolition is a part requires an archaeological clearance permit, a report from the land use director on whether the demolition would damage possible archaeological artifacts; and
- (4) Other information as requested by the HDRB or governing body.

(F) Denial of Demolition Request

A determination that the structure should not be demolished shall impose a duty on the owner or other persons having legal custody and control to immediately take the action required under Section 14-5.2(B) (Minimum Maintenance Requirements).

(G) Standards

- (1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:
 - (a) Whether the structure is of historical importance;
 - (b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and
 - (c) The state of repair and structural stability of the structure under consideration.
- (2) In determining whether a request for demolition of a landmark structure should be approved or denied, the HDRB and governing body shall consider the following:
 - (a) The historical importance of the structure; and
 - (b) The state of repair and structural stability of the structure.

City of Santa Fe, New Mexico

memo

Historic Inspection Report

DATE: 12/8/22

TO: Carly Piccarello,
Division Manager
Historic Preservation

FROM: Bobby Padilla, *B.P.*
Building Official, Division Manger
Inspections

ITEM & ISSUE

50 Mt Carmel, Santa Fe NM

BACKGROUND & SUMMARY

An inspection was performed on Nov. 3th, 2022 at the above mentioned address regarding the condition of the structures. The exterior walls and roofing are constructed of wood framing, with metal panel siding.

The condition of the existing structures in fair condition and has been maintained.

Should you have any questions pertaining to this matter, please feel free to contact me at 955-6503.

Thank you,



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

November 14, 2022

Carly Piccarello, Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Modern Elder Academy, 50 Mt. Carmel Road
Proposed Demolition of Non-Contributing Carport Structure**

Dear Carly:

This letter is submitted on behalf of Santa Fe RC2, LLC/Modern Elder Academy (the “Applicant”) in application for demolition of a non-contributing carport structure on the MEA Campus for consideration by the Historic Districts Review Board at their meeting of December 13, 2022. The ±12.41-acre subject property (the “Property”) is zoned R-2 and located within the Historic Review District. The existing conditions and proposed demolition are discussed below.

Existing Conditions

The carport/maintenance shed near the Santa Maria building was added during the 1962 construction episode associated with the expansion of the Immaculate Heart of Mary Seminary Campus. The structure was built originally as a wood frame, shed roofed structure with six open carport bays and board and batten exterior siding, painted white. The structure has non-historic modifications, in that the westernmost two carport bays have been enclosed as a maintenance shed, and metal siding has been applied to the exterior and roof. The structure is not publicly visible and does not contribute to the character of the campus or the Historic Review District. On July 26, 2022, the HDRB assigned non-contributing historic status to the structure, due to its lack of public visibility and non-historic alterations.

Proposed Carport Demolition

The Applicant proposes to demolish the non-contributing carport structure in order to construct an emergency access and service drive that enters the campus from Camino de Cruz Blanca at the northeast corner of Property, continues along the eastern boundary behind the San Juan building, and curves west behind the San Miguel building to the southeast side of the Santa Maria building to provide improved access and a proper turn-around for emergency and service vehicles, employees, and deliveries. The carport obstructs this access, and demolition is thus requested. See attached Carport Drawing Set for additional information about the proposed emergency access / service drive and drawings of the existing carport structure.

Approval Criteria

The approval criteria for demolition of a structure in the historic districts are provided in §14-3.14(G)(1) and are addressed below:

In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:

(a) Whether the structure is of historical importance;

Applicant Response: The carport structure does not appear on the 1961 Master Plan for the Immaculate Heart of Mary Seminary. It only appears on the 1962 construction drawings in a different location than it ultimately was built. When it was constructed, its location moved from the west side of the Santa Maria building to its present location at the southeast corner of the Santa Maria building. The carport was built strictly as a utilitarian structure, whose style and appearance has no relationship to the other buildings on the campus. Furthermore, the HDRB designated the structure as non-contributing to the Historic Review District. The structure does not contribute to the character of the district nor the former IHM campus, and non-historic alterations further diminish its integrity and ability to convey historical character.

(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; and

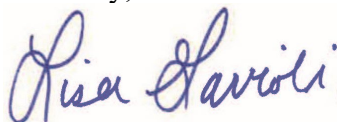
Applicant Response: The carport structure is within the publicly visible streetscape and therefore is not an essential part of a unique street section or block front. The proposed demolition will have no adverse impact on the surrounding historic structures nor the streetscape, and the carport structure will not be replaced with an equivalent structure.

(c) The state of repair and structural stability of the structure under consideration.

Applicant Response: To the Applicant's knowledge, the carport is structurally sound and in fair condition presently. A special inspection was requested with the City's Building Inspector, Bobby Padilla. This inspection took place on November 3, 2022.

Your consideration of this request is greatly appreciated. Please do not hesitate to contact me should you have any questions or need additional information. Thank you.

Sincerely,



Lisa Gavioli, Senior Project Manager
JenkinsGavin, Inc.
Attachments:

1. Historic Districts Application Form
2. Letter of Owner Authorization
3. Vicinity Aerial
4. Photos
5. Carport Drawing Set

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

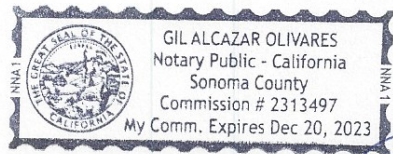
State of California)
County of Sonoma)

On June 13, 2022 before me, Gil Alcazar Olivares, Notary Public,
Date
personally appeared Skylar Shaen Skillet
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature *[Signature]*
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: 06/13/2022 Authorization Document Date: 06/13/2022
Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
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 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____



GARCIA ST

CAMINO RANCHEROS

CAMINO SAN ACACIO

CALLECITA MERA

CAMINO DE CRUZ BLANCA

CALLE ROMOLO

CAMINO CABRA

CALLE PICACHO

CALLE DEL RESPLANDOR

CAMINO MIRADA

MOUNT CARMEL RD

OLD SANTA FE TRAIL

CAMINO PINONES

CAMINO RANCHEROS

CAMINO DEL MONTE SOL

CAMINO LEJO



Carport/Shed – North façade



Carport/Shed – West façade



Carport/Shed – East façade



Carport/Shed – South façade

Carport/Storage MEA - Sunmound

Project Team:

Owner:

Modern Elder Academy
49 & 50 Mt. Carmel Road
Santa Fe, NM 87505



Architect:

Architectural Alliance, LLC
612 Old Santa Fe Trail
Santa Fe, NM 87505
505-988-5269



Landscape Architect:

Surroundings
1611 Paseo De Peralta
Santa Fe, NM 87501
505-982-3454



Interior Designer:

French & French Interiors
224 W. Manhattan Ave.
Santa Fe, NM 87501
505-982-7737



Contractor:

Sarcon Construction
2044 Galisteo St. Ste 1
Santa Fe, NM 87505
505-474-4700



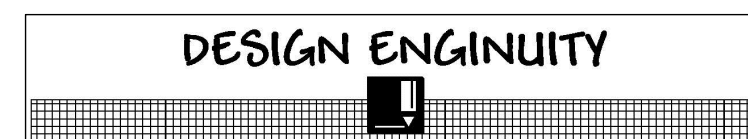
Planner:

JenkinsGavin
130 Grant Avenue Ste 101
Santa Fe NM 87501
505-820-7444



Civil Engineer:

Design Enginuity
1421 Luisa Street
Santa Fe NM 87505
505-989-3557



MEP Engineer:

ABQ Engineering
8102 Menaul Blvd NE, Suite D
Albuquerque, NM 87110
505-255-7802



Construction Mgmt:

NV5
2420 W. 26th Ave.
Suite D-360
Denver, CO 80211
651-357-3882



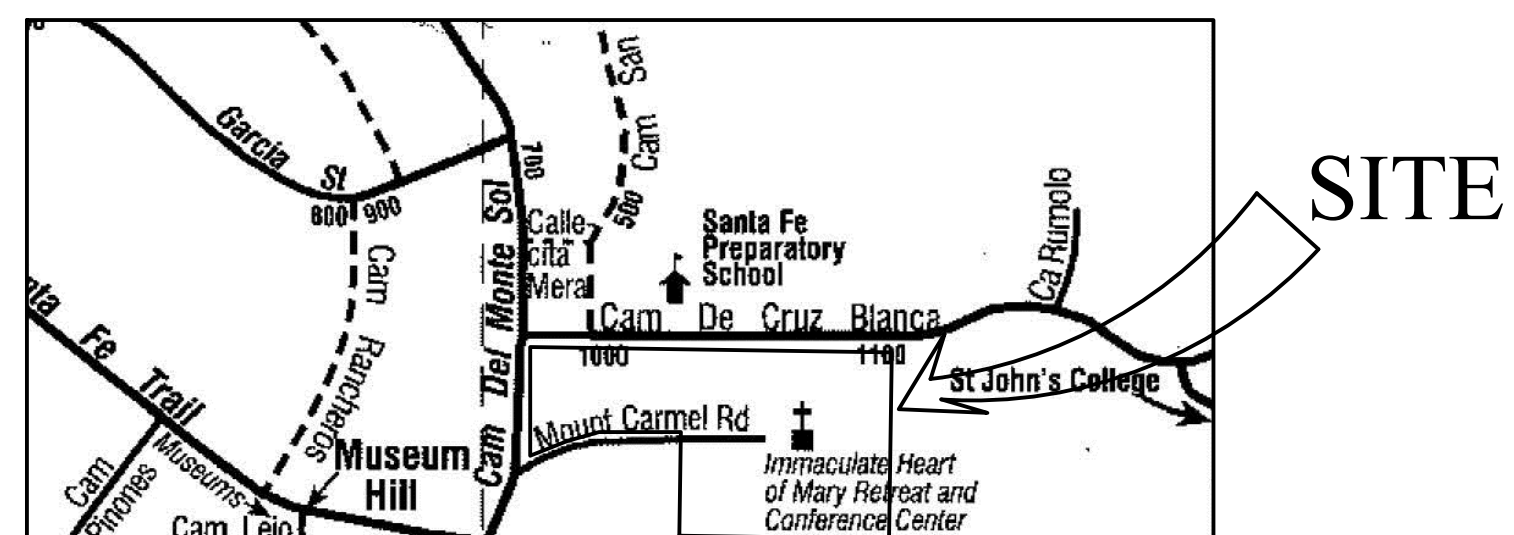
Surveyor:

McCloy Land Surveying
150 Central Park Square
Los Alamos, NM 87544
505-321-7404



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ALL EXISTING CONDITIONS AND
DIMENSIONS- NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

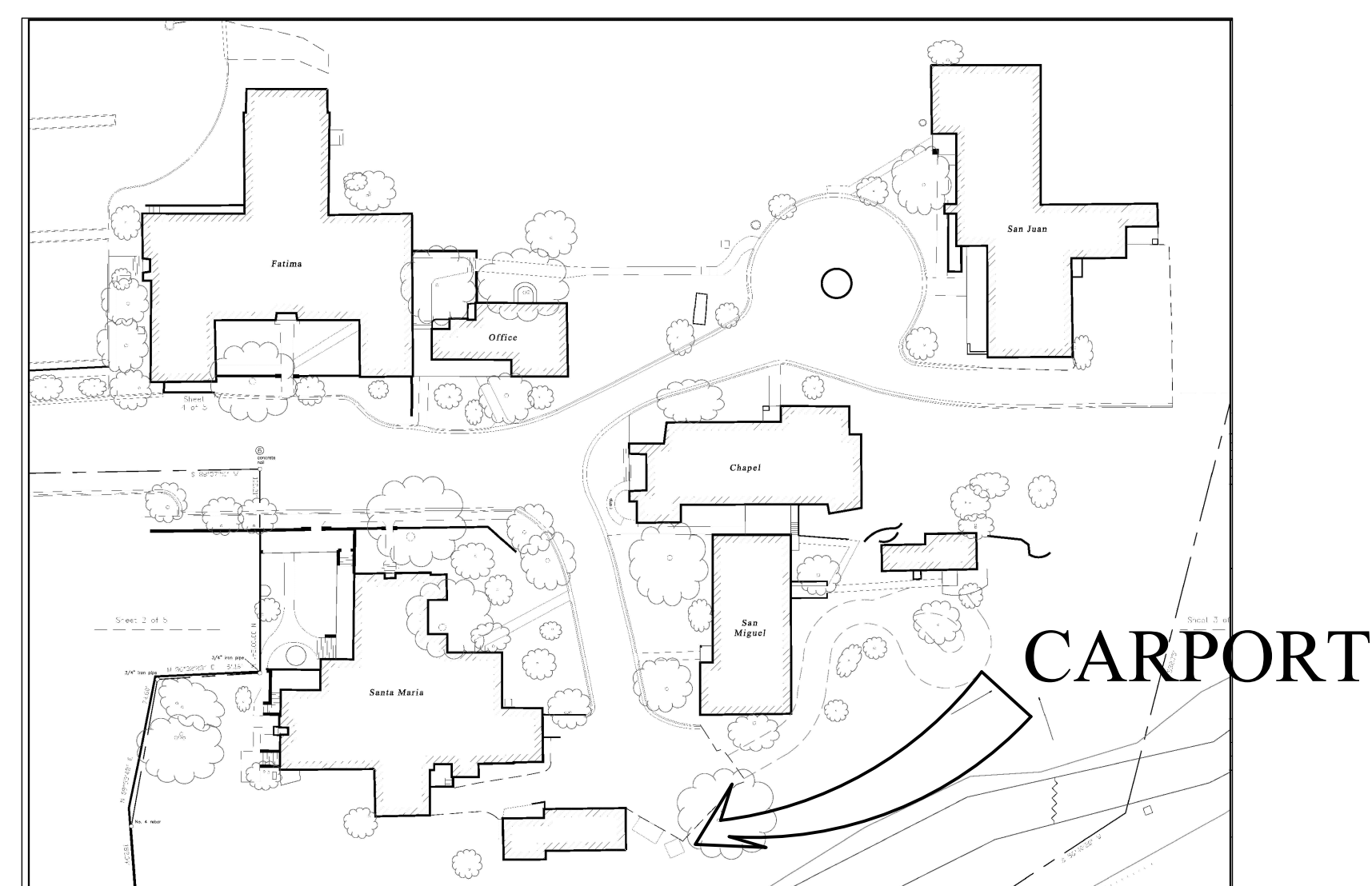
50 Mt. Carmel Road
Santa Fe NM, 87505



Vicinity Map



NORTH
N.T.S.



Site Plan Reference



NORTH
N.T.S.

Building Square Footages:

CARPORT & STORAGE	
CARPORT	859 SF
STORAGE	438 SF
TOTAL GROSS SQUARE FOOTAGE	1,317 SF

Drawing Index

- C-0 COVER SHEET
- C-1 EXISTING SITE PLAN
- A-1 EXISTING AND EXISTING DEMO FLOOR PLANS
- A-2 EXISTING/DEMO ELEVATIONS
- A-3 EXISTING/DEMO ELEVATIONS

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**CARPENT/
STORAGE
BLDG.**

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY _____ DATE _____

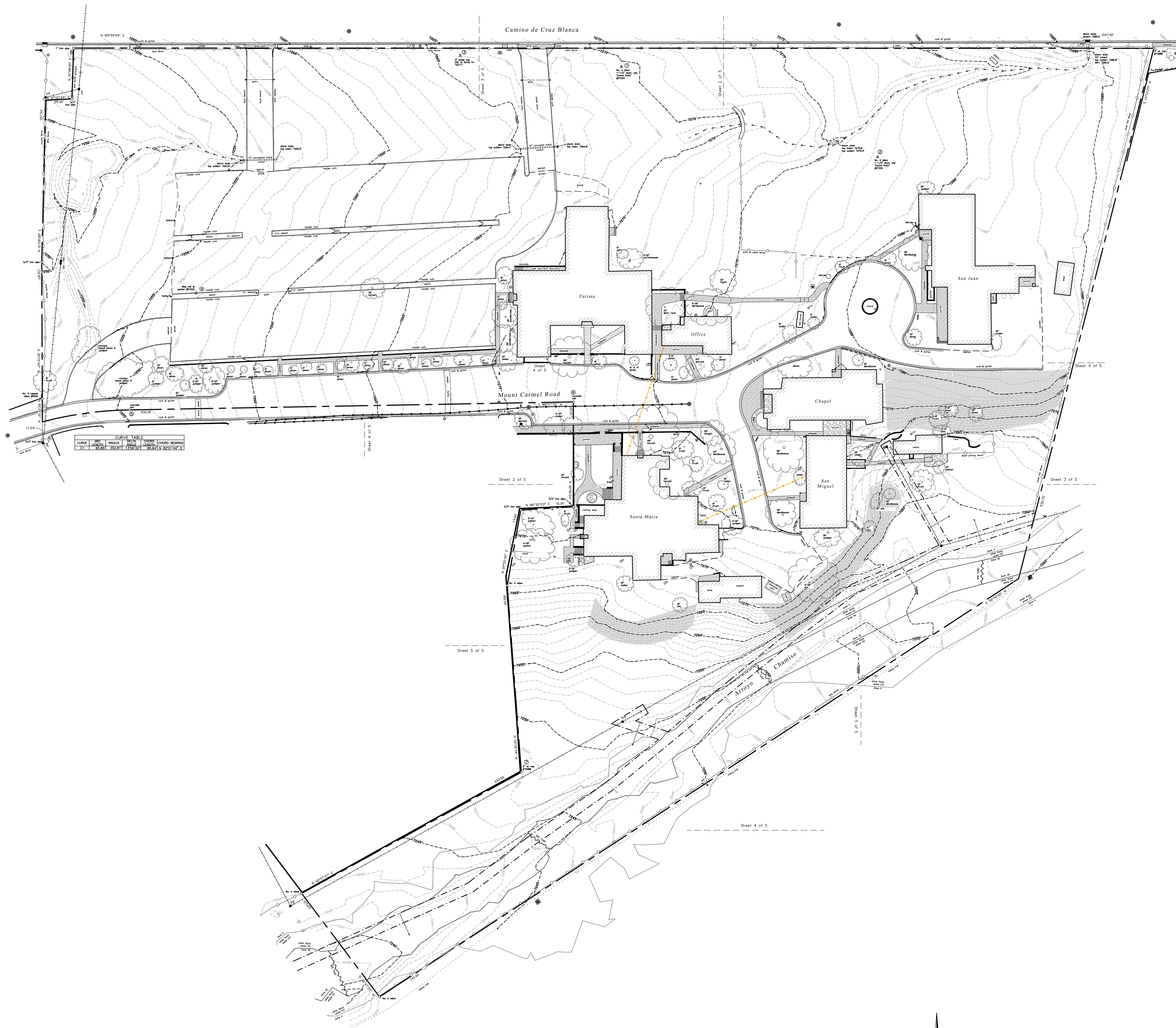
DRAWN BY HR DATE 11/04/22

SHEET TITLE

EXISTING
SITE PLAN

SHEET NO.

C-1

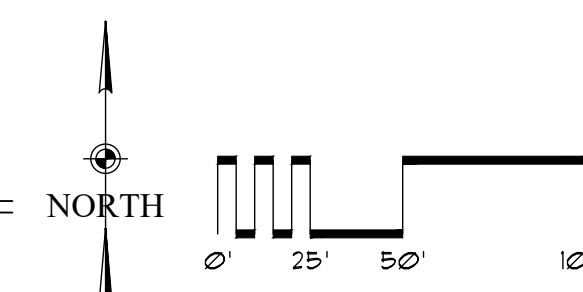


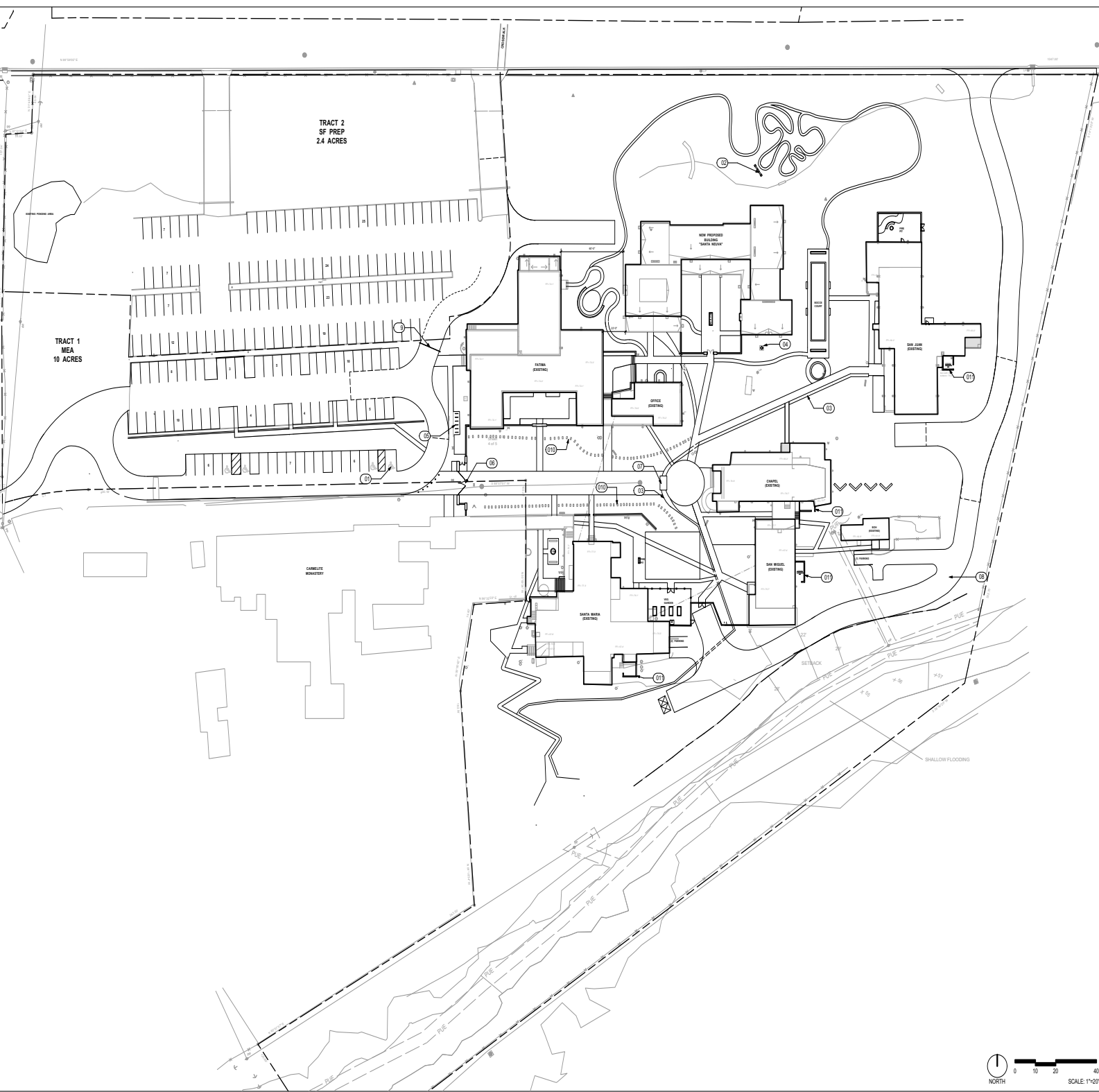
SYMBOLS

- Boundary
- - - Index Contour
- Contour
- ~ Base Flood Elevation (BFE)
- Block Wall (unless otherwise noted)
- Sewer
- Electric Line (aerial)
- Survey Marker Found
- △ Control Point
- △ Street Sign
- Sign
- Mail Box
- ⊗ Irrigation Control Valve
- ⊙ Water Meter
- ⊕ Water Valve
- ⊙ Fire Hydrant
- ⊕ Water Spigot
- ⊙ Gas Riser
- ⊙ Telephone Box
- ⊙ Power Pole
- ⊙ Pole Anchor
- ⊙ Light Pole
- ⊙ Electric Box
- ⊙ Sewer Manhole
- ⊙ Sewage Pump
- ⊙ Sewer Clean Out
- Tree (as noted)
- ▨ Building
- ▨ Concrete
- ▨ Brick Pavers
- ▨ Flagstone
- ▨ Manmade Slope

EXISTING SITEPLAN

SCALE: 1" = 50'-0"





MATERIALS NOTES

- (1) (4) ADA PARKING SPOTS, (1) VAN ACCESSIBLE
- (2) LARGE SWING PLAY ELEMENT
- (3) RECYCLED CONCRETE STORMWATER ACEQUA
- (4) EXISTING WELL HEAD
- (5) BIKE RACKS
- (6) PROPOSED GATE ENTRANCE
- (7) BRIDGE OVER STORMWATER ACEQUA
- (8) REFER TO CIVIL DRAWINGS FOR SERVICE ROAD DESIGN
- (9) 20' GATE WITH LOCK AND SIGNAGE STATING "EMERGENCY ACCESS"
- (10) STEPPING STONE PATH TO REPRESENT HISTORIC ROAD CURB
- (11) 42" TALL STUCCO WALL TO SCREEN CONDENSER UNIT

LINE LEGEND:

- PROPERTY LINE
- SETBACK

SITE DATA

TRACT 1: 10.00 ACRES
 ZONING: R-2 (RESIDENTIAL, 2 DU/ACRE)
 OVERLAY: HISTORIC REVIEW DISTRICT (SFCC § 14-5.2)

SPECIAL USE PERMITTED:
 "Colleges & Universities, Residential" (SFCC Table 14-6.1-1)

LOT COVERAGE:
 Existing Building Footprint Area = 43,477 sq.ft.
 Proposed Building Footprint Area = 11,696 sq.ft.
 Total Building Footprint Area = 55,173 sq.ft.
 Maximum Allowable Lot Coverage = 40% (SFCC Table 14-7.2-1)
 Proposed Lot Coverage = 12.7%

BUILDING HEIGHT:
 Maximum Allowable = 22 Ft. 1 in. (SFCC § 14-5.2(D)(9))
 Proposed Maximum Building Height = 18 Ft. 2 in

BUILDING SETBACKS: (SFCC Table 14-7.2-1)
 Frontage Setback: 7 feet
 Side Setback: 5 feet
 Rear Setback: 15 feet
 Arroyo Setback: 25 feet from top of bank plus depth (SFCC § 14-8.2(D)(4)(e))

PARKING:
 Required Parking = 65 spaces, per Parking Demand Analysis
 TRACT 1 Provided Parking = 72 spaces (MEA Parking Lot)
 TRACT 2 Provided Parking = 124 spaces (SF Prep Parking Lot / MEA Overflow Parking)
 TRACT 1 Required Bicycle Parking = 10 spaces
 TRACT 1 Provided Bicycle Parking = 12 spaces

OPEN SPACE:
 TRACT 1 Required Open Space = 25% of total land area (SFCC § 14-7.5(D)(5))
 TRACT 1 Provided Open Space = 6.84 acres (68.4%)

surroundings

landscape
 architecture
 urbanism
 1611 Paseo de Perilla
 Santa Fe, NM 87505
 t: 505 982 3454
 www.surroundings.studio

HISTORIC DISTRICT REVIEW DOCUMENTS

REVISIONS:

NO	DATE	NOTE
△		
△		
△		
△		
△		
△		

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MEA SUNMOUNT

50 MT. CARMEL RD.
 SANTA FE, 87505

SCALE: AS NOTED
 DATE: NOVEMBER 2022
 PROJECT: 1535
 DRAWN BY: AT

PROPOSED SITE PLAN C2



DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY
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DIMENSIONS- NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

M|E|A
SUNMOUNT

**CARPORIT/
STORAGE
BLDG.**

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 11/04/22

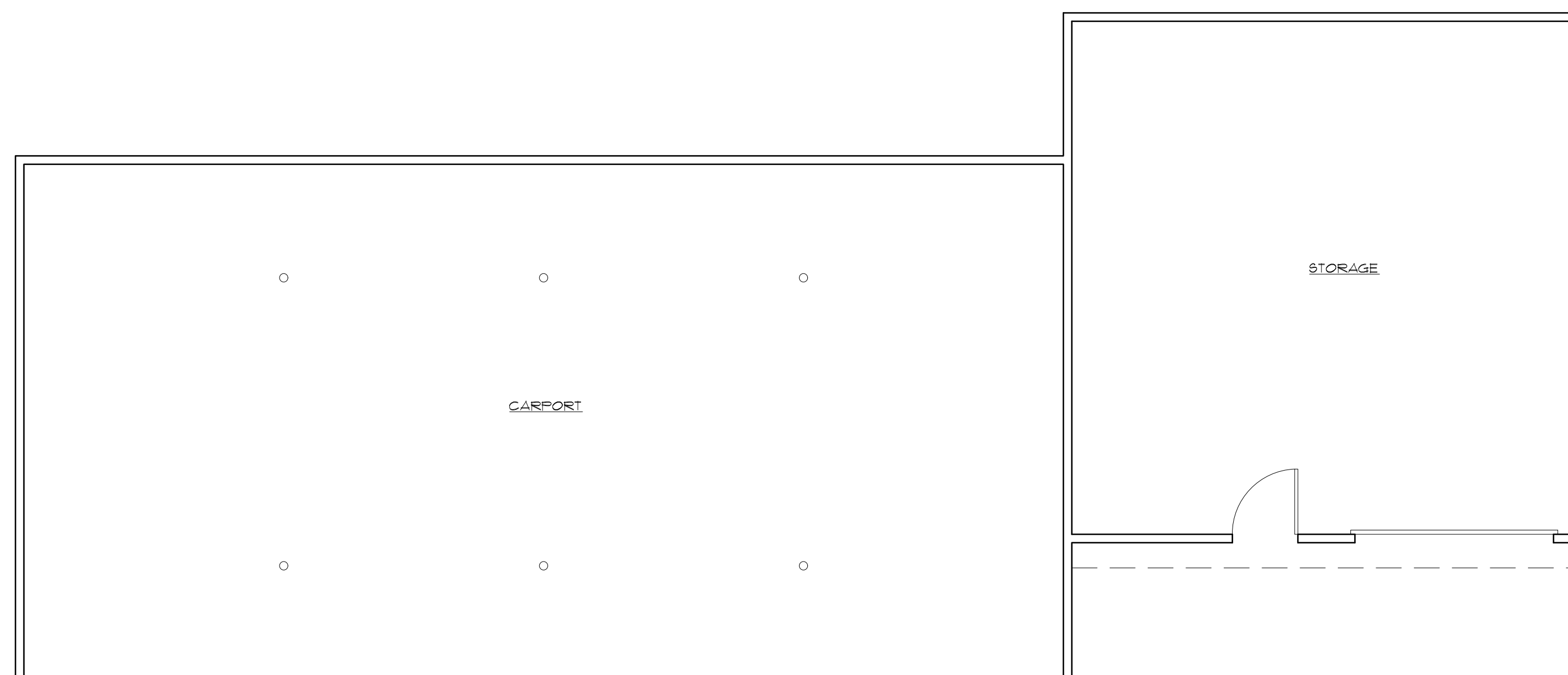
DRAWN BY JH DATE 11/04/22

SHEET TITLE

EXISTING AND
EXISTING/DEMO
FLOOR PLAN

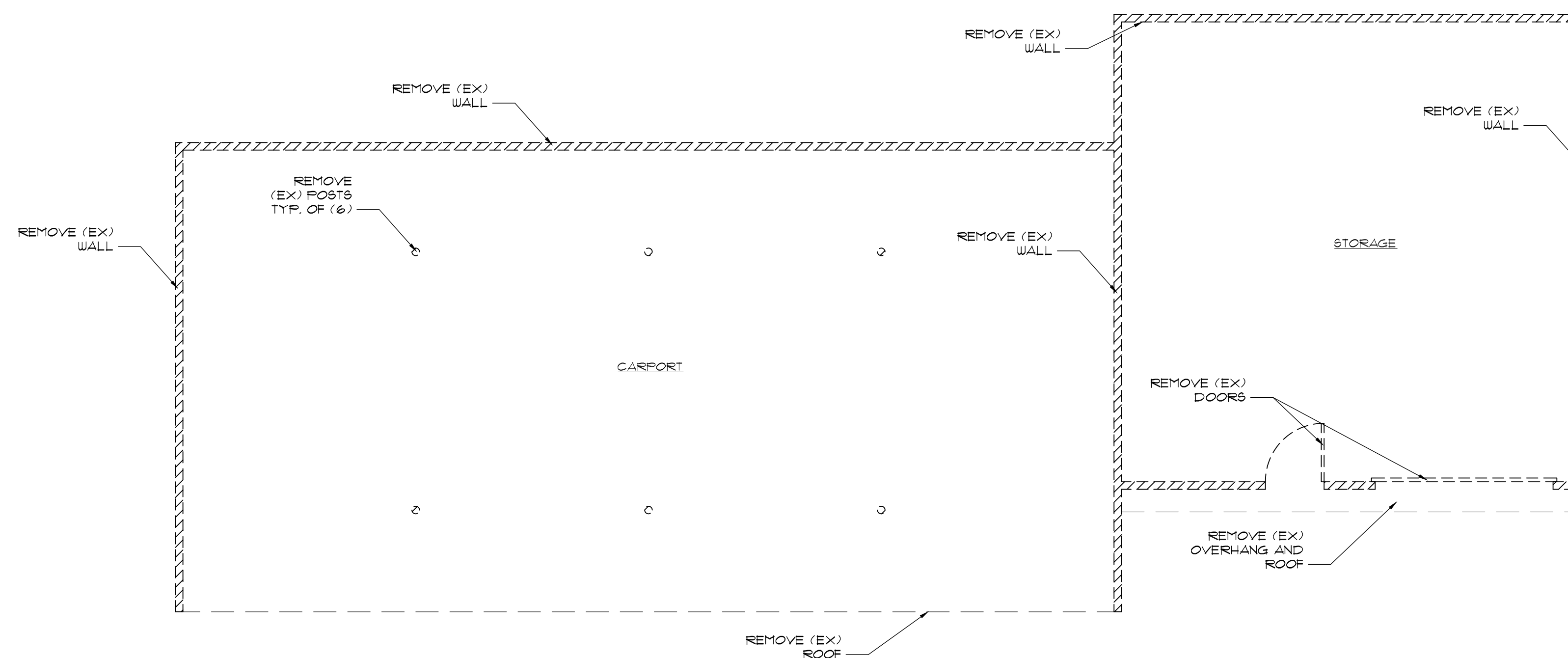
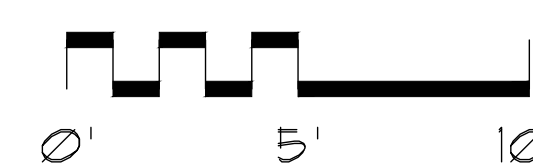
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A-1



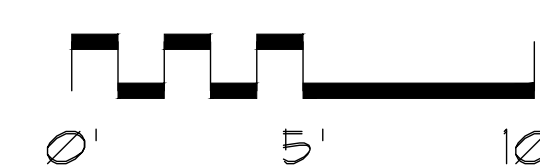
EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



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SUNMOUNT

CARPENT/
STORAGE
BLDG.

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 11/04/22

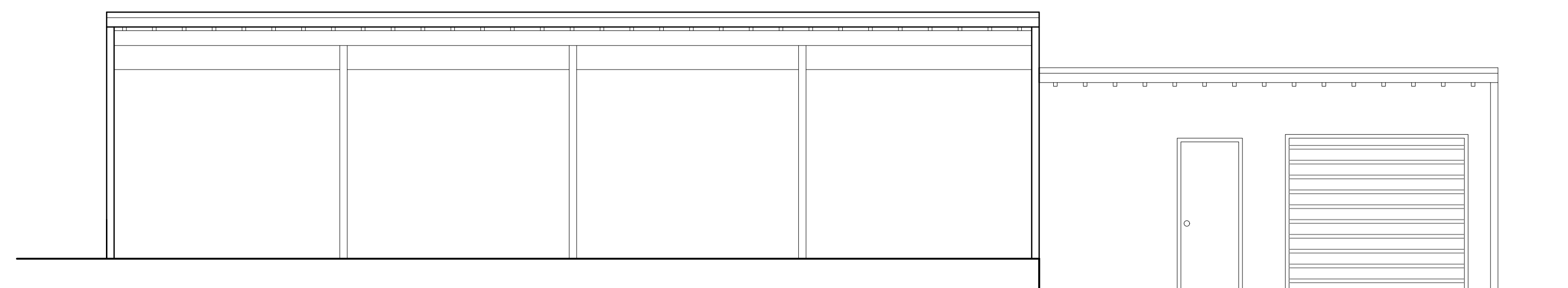
DRAWN BY JH DATE 11/04/22

SHEET TITLE

EXISTING & DEMO
ELEVATIONS

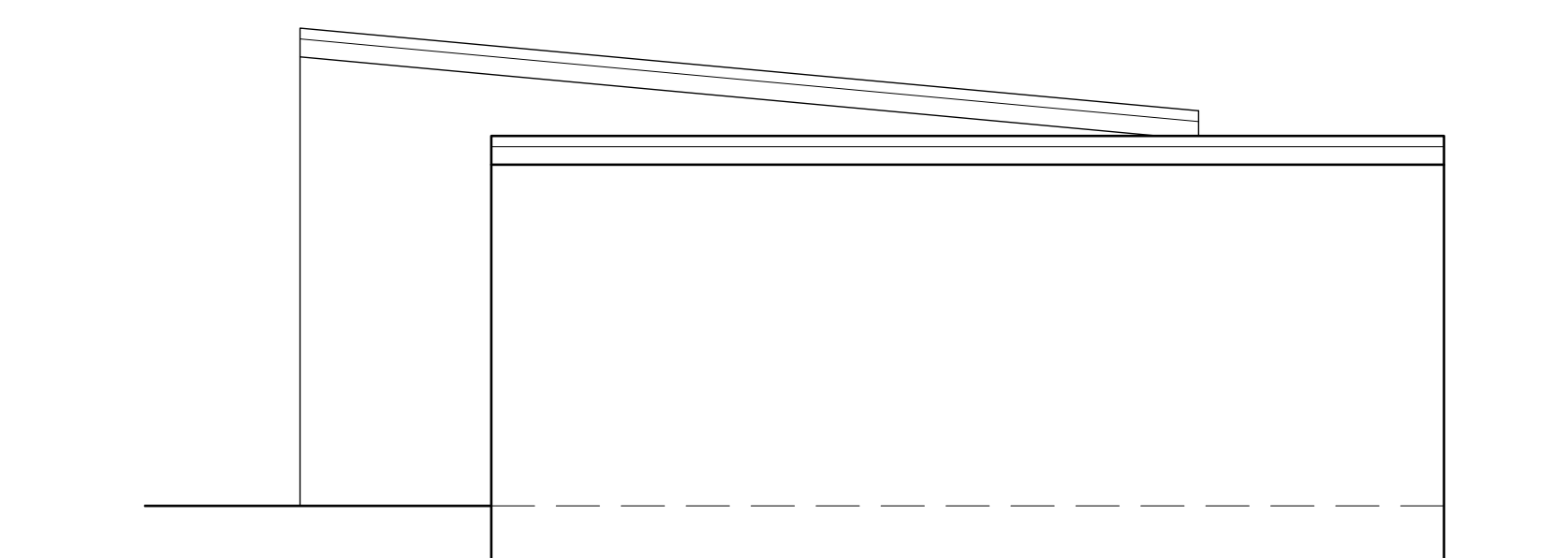
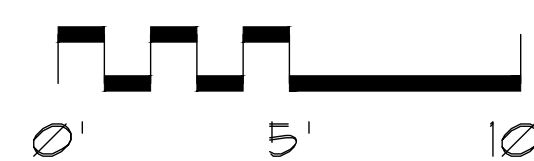
SHEET NO.

A-2



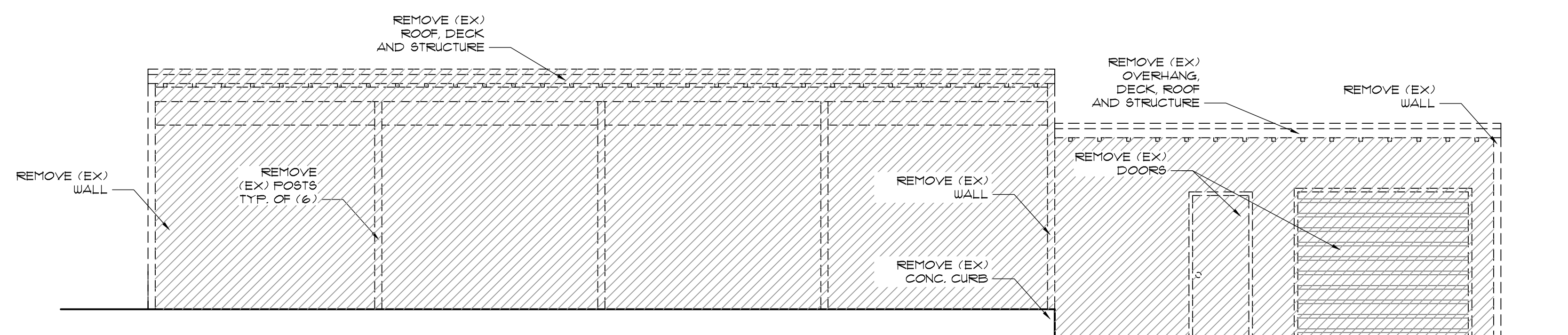
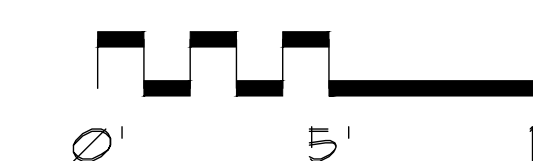
EXISTING/DEMO NORTH ELEVATION

SCALE: 1/4" = 1'-0"



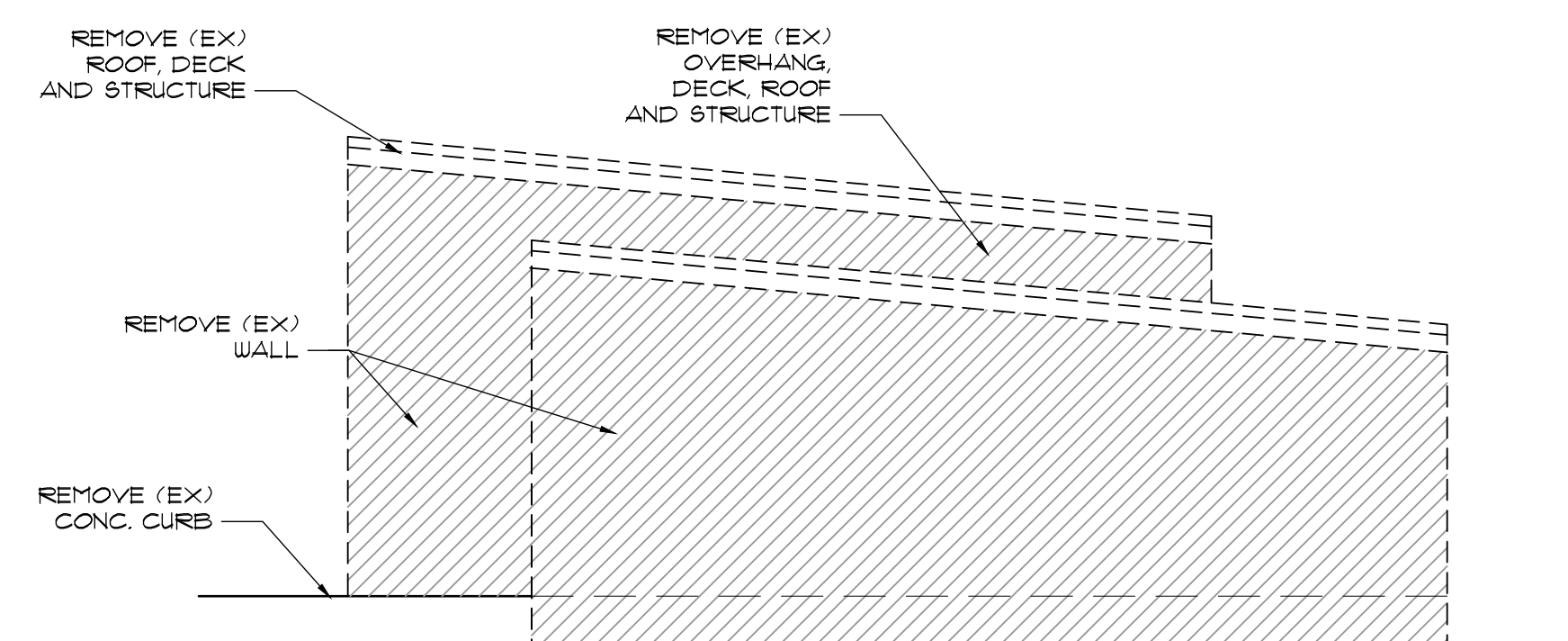
EXISTING/DEMO WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING/DEMO NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING/DEMO WEST ELEVATION

SCALE: 1/4" = 1'-0"



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M|E|A
SUNMOUNT

CARPORT/
STORAGE
BLDG.

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 11/04/22

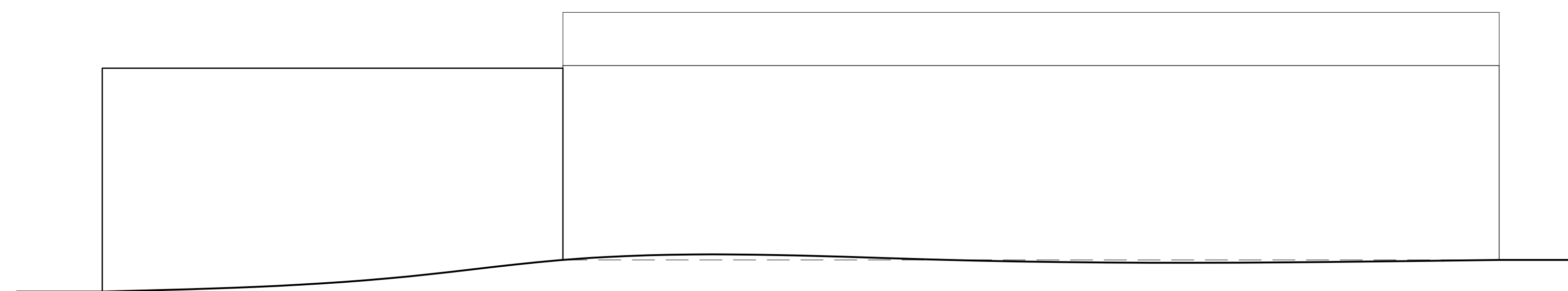
DRAWN BY JH DATE 11/04/22

SHEET TITLE

EXISTING/DEMO
ELEVATIONS

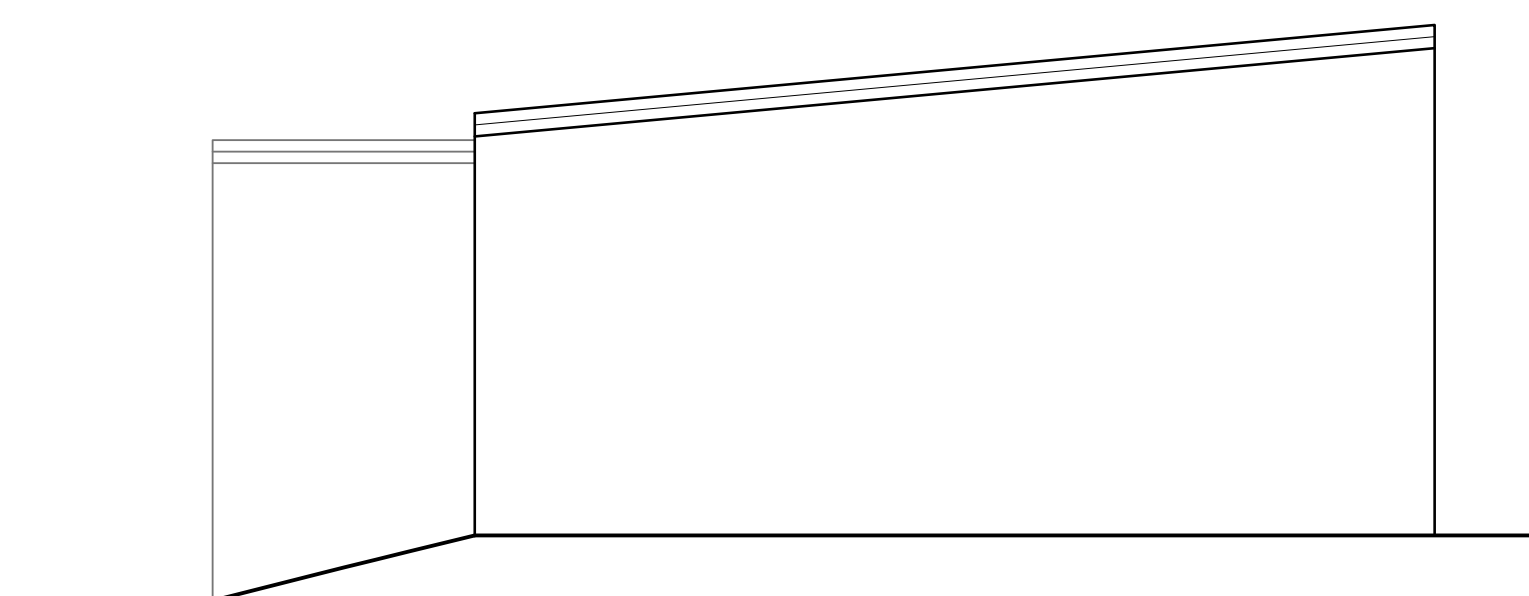
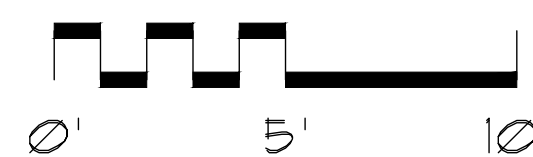
SHEET NO.

A-3



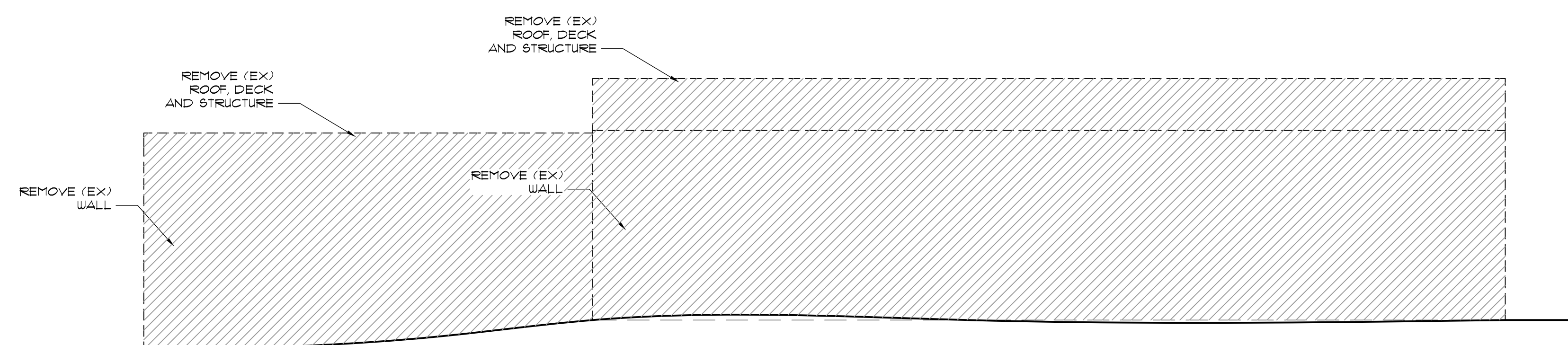
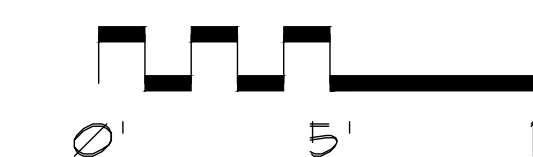
EXISTING/DEMO SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



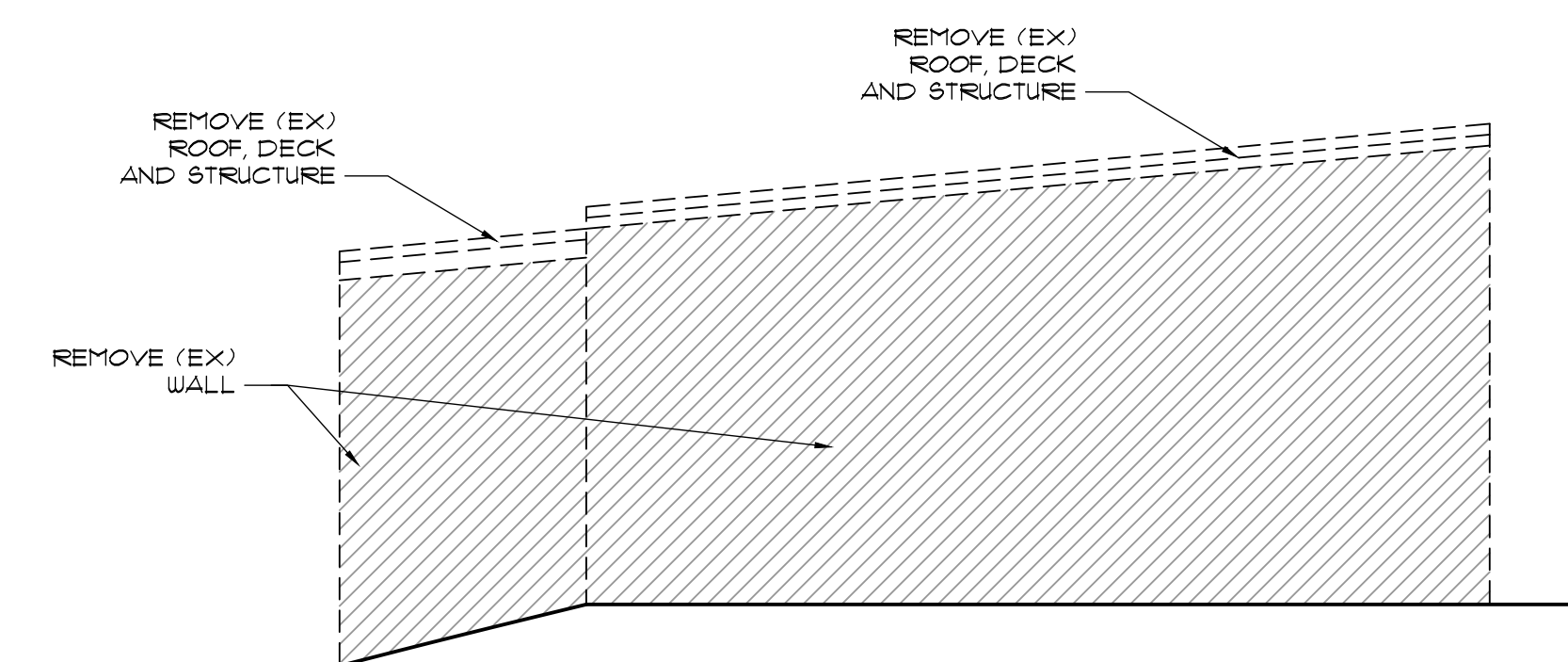
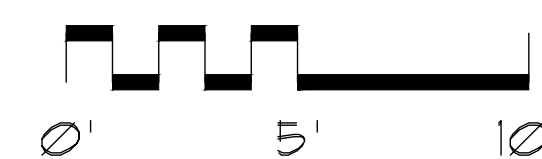
EXISTING/DEMO EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING/DEMO SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING/DEMO EAST ELEVATION

SCALE: 1/4" = 1'-0"



November 28th, 2022

10 Angelitos RD
Santa Fe, NM 87506

City of Santa Fe Board of Adjustment
Heather Lamboy, Assistant Land Use Director
Santa Fe City Hall
200 Lincoln Ave., 1st Floor
Santa Fe, NM 87501

Ms. Lamboy and members of the Board of Adjustment,

I write to you today in support of the Modern Elder Academy. I was hoping to be present and the City Council meeting. Unfortunately, I am traveling out of the country and not able to attend this meeting in person. I appreciate that you are taking the time to read my letter.

The Modern Elder Academy's plans for the former IHM property were developed with the utmost sensitivity to the community and the current users of the facility. The plans even include rerouting of the driveway access to prevent disturbing the Carmelites who remain on the property. Additionally, MEA has extended the courtesy of the continued use of space for the Santa Fe Photographic Workshops, which has been much appreciated by that group.

As the former Secretary of Cultural Affairs for the State of New Mexico, I had the opportunity of overseeing the adaptive uses of many historic properties around the state. The proposed plans for this property as presented by MEA offer a reverence to historic preservation and a deep concern and sensitivity to create a low impact activity that will enhance the cultural and educational fabric of our city.

The Modern Elder Academy's center will enhance the educational value of the immediate surroundings which include Saint John's College and Santa Fe Prep School, strengthening the area's reputation as "Education Hill" in complement to the nearby Museum Hill.

The historic nature of this property goes back to the earliest part of the 20th century when it was operated as the Sunmount Sanatorium from 1906-1937. It was there that the renowned architect John Gaw Meem became acquainted and enamored with Santa Fe. As you know, he was the architect most responsible for the preservation of the pueblo style now known as Santa Fe style. Mr. Meem had come to the Sanatorium to be treated for Tuberculosis. The treatment was a success and he thankfully remained in New Mexico to create multiple buildings here.

One of the axioms Mr. Meem was known for was: "Respecting the Past, Building the Future". I believe John Gaw Meem would endorse the Modern Elder Academy's project as one that upholds this tenet.

Thank you for your consideration.



Stuart A. Ashman

City of Santa Fe, New Mexico

memo

DATE: December 13, 2022
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Assistant Director, Planning & Land Use

Case # 2022-006115-HDRB

Address: 50 Mt. Carmel
Historic Status:
Historic District: Historic Review District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(F) Historic Review Design Standards. Furthermore, the proposed building will not have a negative impact on adjacent contributing and significant structures.

BACKGROUND & SUMMARY:

A single-story 9,477 square-foot building is proposed to be located on the northeastern portion of the campus, adjacent to Camino de Cruz Blanca. The purpose of the building is to house guest rooms, a lounge area, and a classroom for visitors to the Modern Elder Academy. The

Modern Elder Academy is an education retreat center dedicated to continuing education opportunities for people mid-career and mid-life.

The Recent Santa Fe style building will have a height of 19'2", which is lower than the maximum allowable height of 22'1". In the 1961 Master Plan for the Sunmount Campus, a building was planned on the site. When the Sunmount Sanitarium was operating, the site had tennis courts for sanatorium residents' use.

Consistent with Historic Review District guidelines, the building is wall-dominated and will have varying masses, recessed portals, and divided light windows and doors. The exterior finish will be an El Rey "Buckskin" cementitious stucco. The divided-light windows will be wood with white aluminum cladding, which is consistent with the window muntin and accent colors of the other buildings on the campus. The building will front the main promenade of the campus but will have four-sided design so as to have an attractive street presence along Camino de Cruz Blanca.

Related to the Modern Elder Academy campus, all buildings were given a historic designation of either contributing or non-contributing. The proposed building will not have an impact on the historic status of the existing buildings adjacent to the site.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(F) Historic Review District

(1) Applicability

(a) The division shall review and approve or deny all applications for new construction, exterior alteration, and demolition of structures in the historic review district in accordance with the standards set forth in this section.

(b) The historic districts review board shall review and approve or deny new construction of commercial, residential multi-unit, public structures, and those structures requiring the Board's review as specified in Subsection 14-

5.2(D)(9)(a). Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review.

(2) District Standards

(a) The following structural standards shall be complied with whenever exterior features of buildings and other structures subject to public view from any public street , way, or other public place are erected, altered, or demolished:

- (i) Slump block, stucco, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry units or unstuccoed cement shall not be used as exterior wall materials; and
- (ii) The color of stuccoed buildings shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and portals may be emphasized by the use of white or other colors or materials. Painting of buildings with bold repetitive patterns, or using buildings as signs is prohibited.

(b) It is intended that buildings be designed to be " wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, and hipped roofs can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and hipped roofs are only allowed if sufficient evidence is provided by the applicant showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related streetscape , as viewed when standing in the public street in front of the site. The height of the roof above the wall shall be no greater than the height of the walls . Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.

(c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public street , way, or other public place, solar equipment shall be screened as follows:

- (i) Raising the parapet;
- (ii) Setting back from the edge of the roof;
- (iii) Framing the collector with wood;
- (iv) In pitched roofs, by integrating the collector into the pitch;
- (v) In ground solar collectors by a wall or vegetation;
- (vi) In wall collectors or greenhouses , by enclosing by end or other walls ;
- (vii) Other means that screen the collector or integrate it into the overall structure . Non-glare materials shall be used in solar collectors.

(d) Roof-mounted mechanical, electrical and telephone equipment and other obtrusive structures shall be architecturally screened with opaque materials by

raising the parapet, boxing in the equipment or other appropriate means. The equipment shall be of a low profile to minimize the screening problem.

(e) No cantilever or long apparently unsupported openings are allowed except over the projecting vigas, beams, or wood corbels or as part of the roof. The use of arches is discouraged except in freestanding walls .

(f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure . Solid wall space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment as provided in Subsection (F)(2)(c) of this section and under portales. The mass elements that make up the building composition shall appear as single blocks. Buildings with ground coverage of over twenty thousand 20,000 square feet and over one story shall be designed to appear more as an aggregation of smaller " building blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)

(g) Walls and fences visible from the street shall be built of brick, adobe , rock, masonry, wood, coyote fencing, wrought iron, slump block, or similar materials. Walls of unstuccoed concrete block or unstuccoed concrete, chain link, metal wire, or similar materials are prohibited, except where the wall or fence is not visible from the street .

(h) When parking spaces are required for commercial or multi-family residential buildings , they shall be placed to the rear or side of the building . When parking areas are visible from the street , they shall be screened from view by walls , fences, vegetation, planters, earth berms, or other means.



JENKINSGAVIN
LAND USE | PROJECT MANAGEMENT

November 14, 2022

Carly Piccarello, Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87501

**RE: Modern Elder Academy, 50 Mt. Carmel Road
Santa Nueva Building – Proposed New Construction**

Dear Carly:

This letter is submitted on behalf of Santa Fe RC2, LLC/Modern Elder Academy in application for design review of a proposed 9,477 square foot building on the MEA Campus for consideration by the Historic Districts Review Board at their meeting of December 13, 2022. The ±12.41-acre subject property (the “Property”) is zoned R-2 and located within the Historic Review District. The existing conditions and proposed modifications are outlined below.

Existing Conditions

The collection of existing buildings on the campus are associated with historical use of the site as the Sunmount Sanatorium, the Santa Fe Inn, and the Immaculate Heart of Mary Seminary and Retreat Center. The Property sits on relatively flat land at the base of Sun Mountain. The site slopes gently toward the Arroyo del los Chamisos to the south, which roughly aligns with the southern property line. The seven buildings, constructed between c. 1900 and 1962, and associated out-buildings on the site are primarily organized around Mt. Carmel Road, which runs east-west from Camino del Monte Sol, terminating on the Property. The main access is via Mt. Carmel Road, with two secondary access drives on Camino de Cruz Blanca primarily used to access the parking area leased by Santa Fe Prep.

Modern Elder Academy (“MEA”) is an educational retreat center dedicated to helping people navigate mid-life and find inspired purpose. MEA acquired the Property earlier this year and is planning to rehabilitate the existing structures, make site improvements, and construct a new dormitory and classroom building, which is the subject of this application.

Proposed Santa Nueva Building

The proposed 9,477 square foot building, Santa Nueva, is set back from Camino de Cruz Blanca behind the existing Office structure and between the Fatima and San Juan buildings, which will occupy a currently denuded area and serve to fill this oddly vacant space within the campus layout. Interestingly, the 1961 campus Master Plan shows a “Future Building” substantially in this same location (see attached). The single-story building is designed at 18’-2” in height, lower than the calculated allowable height of 22’-1” per the attached height calculation. The U-shaped

building surrounds a large walled courtyard and will house fourteen guest rooms for retreat attendees, a 1,917 square foot classroom, a lounge area, and generous outdoor portals. The total roofed area is 11,696 square feet. The traditional design of the building harmonizes beautifully with the existing, historic structures, while occupying a subordinate position within the campus context and streetscape. The design elements are described below.

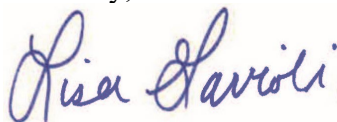
- Style: The proposed building is designed in the Recent Santa Fe Style in a simplified Spanish Pueblo Revival vernacular, with varying masses; recessed portals; exposed wood lintels; wood columns, beams and corbels at entrances and portals; and divided light windows and doors.
- Exterior Finishes: A cementitious stucco in El Rey Buckskin, or comparable product, will be used for the exterior finish of the entire structure and yard walls. Exposed wood elements such as lintels, beams, corbels, and columns will be stained medium brown.
- Windows: Windows will be wood with white aluminum cladding and simulated divided lites.
- Doors: The doors throughout include divided-lite French doors and eight-panel wood doors.
- Roof: The roof is flat with parapets and all rooftop appurtenances will be screened.
- Yard Walls: The central courtyard is enclosed with a 4'-6" stuccoed masonry yard wall and accessed via a 5' wrought iron gate mounted between two 5' pilasters.

In support of this application, the following documentation is submitted herewith for your review:

1. Historic Districts Application Form
2. Letter of Owner Authorization
3. PZR Form
4. Vicinity Aerial
5. Street View Photo
6. 1961 Master Plan Excerpt
7. Height Calculation
8. Renderings
9. Submittal Plans

Your consideration of this request is greatly appreciated. Please do not hesitate to contact me should you have any questions or need additional information. Thank you.

Sincerely,



Lisa Gavioli, Senior Project Manager

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

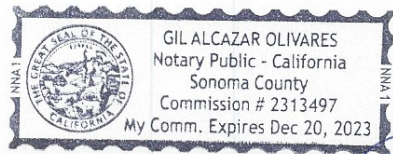
State of California)
County of Sonoma)

On June 13, 2022 before me, Gil Alcazar Olivares, Notary Public,
Date
personally appeared Skylar Shaen Skillet
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature *[Handwritten Signature]*
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: 06/13/2022 Authorization Document Date: 06/13/2022
Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____

Signer's Name: _____
 Corporate Officer — Title(s): _____
 Partner — Limited General
 Individual Attorney in Fact
 Trustee Guardian or Conservator
 Other: _____
Signer Is Representing: _____



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address: 50 Mount Carmel Rd
Date Submitted: 11/7/2022	Proposed Construction Description: Renovations to Existing Buildings + Construction of New Building
Property Owner of Record: Santa Fe RC2, LLC	
Applicant/Agent Name: JenkinsGavin, Inc.	TOTAL ROOF AREA: 55,173 sq. ft. (new = 11,696 sq. ft.)
Contact Person Phone Number: (505) 820-7444	
Zoning District: R-2	Lot Coverage : 71.9 % ✓ Open Space Required: 25%
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Historic Review District	Setbacks: Proposed Front: 55 ft Minimum: 7 ft. 2 nd Front? _____ Proposed Rear: 75 ft Minimum: 15 ft. Proposed Sides: L 5 ft R 28 ft Minimum: 5 ft. (L - from proposed lot line at parking lot tract) Height: Proposed 18-ft 2-in Maximum Height: 22-ft 1-in or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Parking Spaces: Proposed 72 Accessible 4 Minimum: 65 (per Parking Demand Study)
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Bicycle Parking**: Proposed: 12 Minimum: 10 ** Commercial Requirement
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	
Use of Structure: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial Type of Use: "Colleges & Universities, Residential" - Special Use Permit Application In Review	
Terrain: <input type="checkbox"/> 30% slopes N/A	

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lisa Gavioli, JenkinsGavin, Inc. [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Lisa Gavioli
SIGNATURE

11/7/2022
DATE

To Be Completed By City Staff:	2022-006098-PAR
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: The development plan and special use permits for this project are currently under review. Changes or conditions of approval for these may result in required changes to the submittal as currently designed for the HDRB hearing. If this is the case, further review of those changes will be required through the Historic Preservation office.	
REVIEWER: <i>Lani J McCulley</i>	DATE: 11 / 09 / 2022
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

Google Maps 1101 Camino De Cruz Blanca

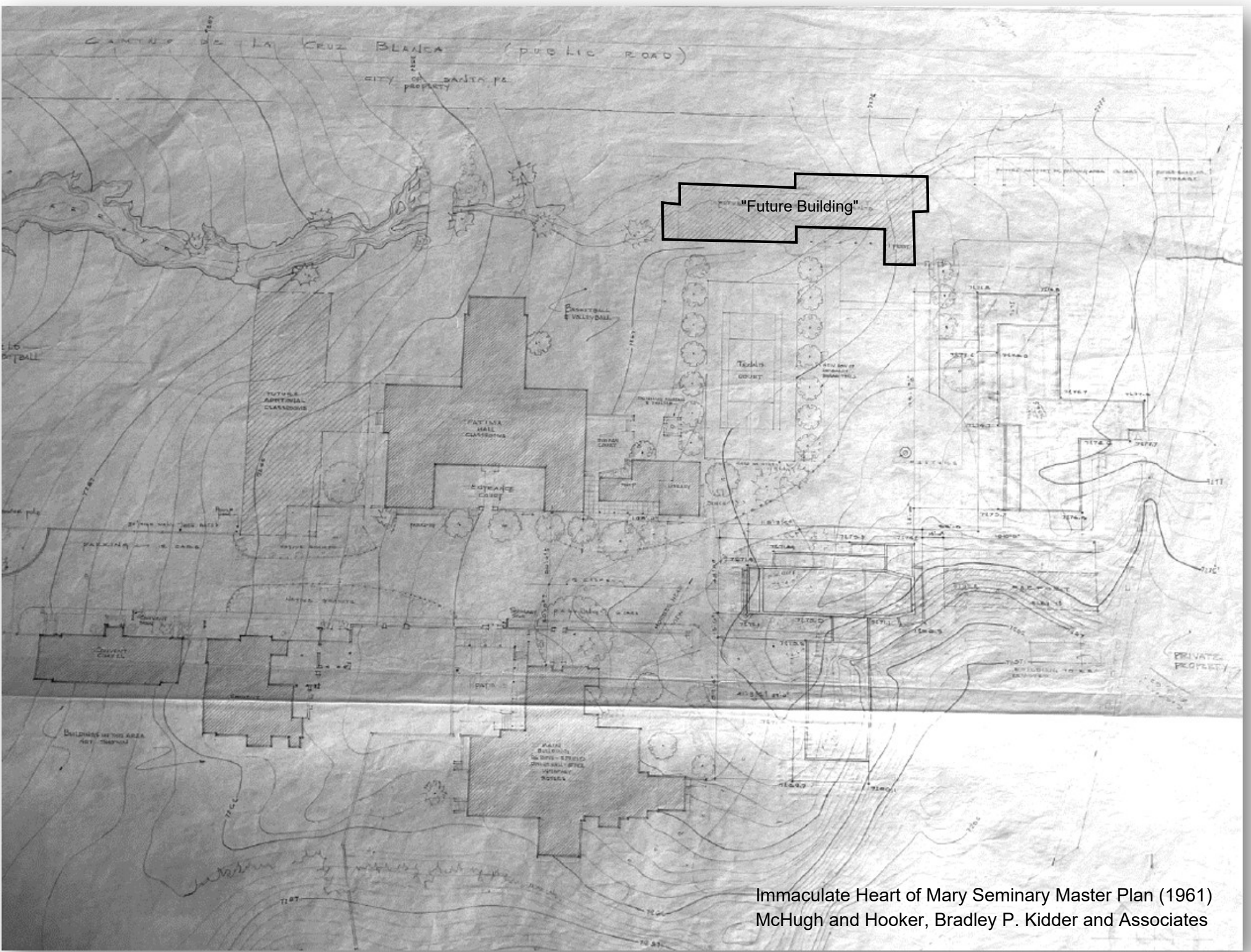
Santa Fe, New Mexico

Google

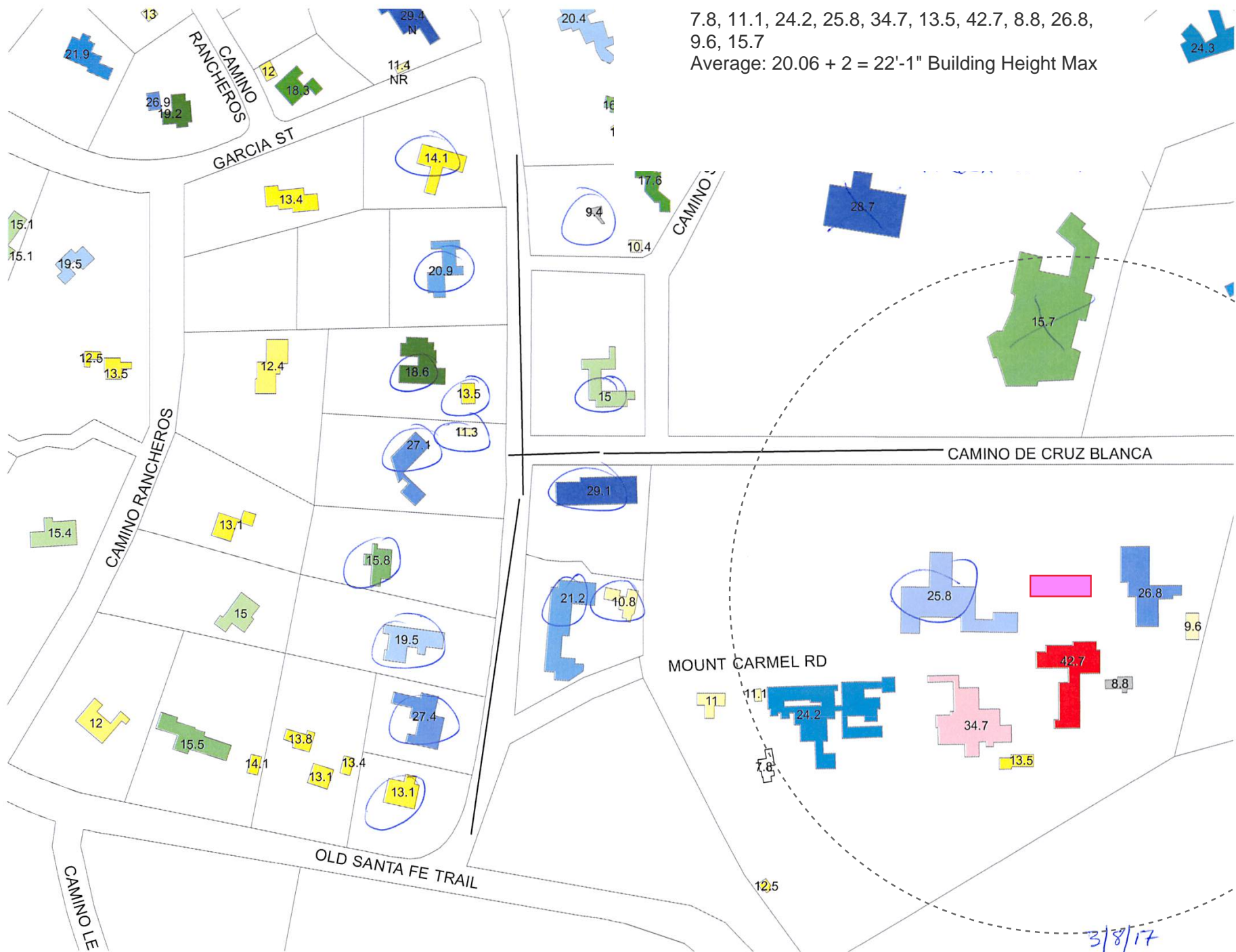
Street View - May 2019



Street View from Camino de Cruz Blanca



Immaculate Heart of Mary Seminary Master Plan (1961)
McHugh and Hooker, Bradley P. Kidder and Associates



7.8, 11.1, 24.2, 25.8, 34.7, 13.5, 42.7, 8.8, 26.8,
 9.6, 15.7
 Average: 20.06 + 2 = 22'-1" Building Height Max

3/8/17

Santa Nueva MEA - Sunmount

Project Team:

Owner:

Modern Elder Academy
49 & 50 Mt. Carmel Road
Santa Fe, NM 87505



Architect:

Architectural Alliance, LLC
612 Old Santa Fe Trail
Santa Fe, NM 87505
505-988-5269



Landscape Architect:

Surroundings
1611 Paseo De Peralta
Santa Fe, NM 87501
505-982-3454



Interior Designer:

French & French Interiors
224 W. Manhattan Ave.
Santa Fe, NM 87501
505-982-7737



Contractor:

Sarcon Construction
2044 Galisteo St. Ste 1
Santa Fe, NM 87505
505-474-4700



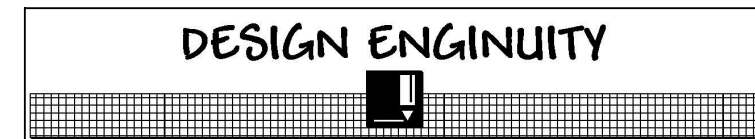
Planner:

JenkinsGavin
130 Grant Avenue Ste 101
Santa Fe NM 87501
505-820-7444



Civil Engineer:

Design Enginuity
1421 Luisa Street
Santa Fe NM 87505
505-989-3557



MEP Engineer:

ABQ Engineering
8102 Menaul Blvd NE, Suite D
Albuquerque, NM 87110
505-255-7802

Construction Mgmt:

NVS
2420 W. 26th Ave.
Suite D-360
Denver, CO 80211
651-357-3882



Surveyor:

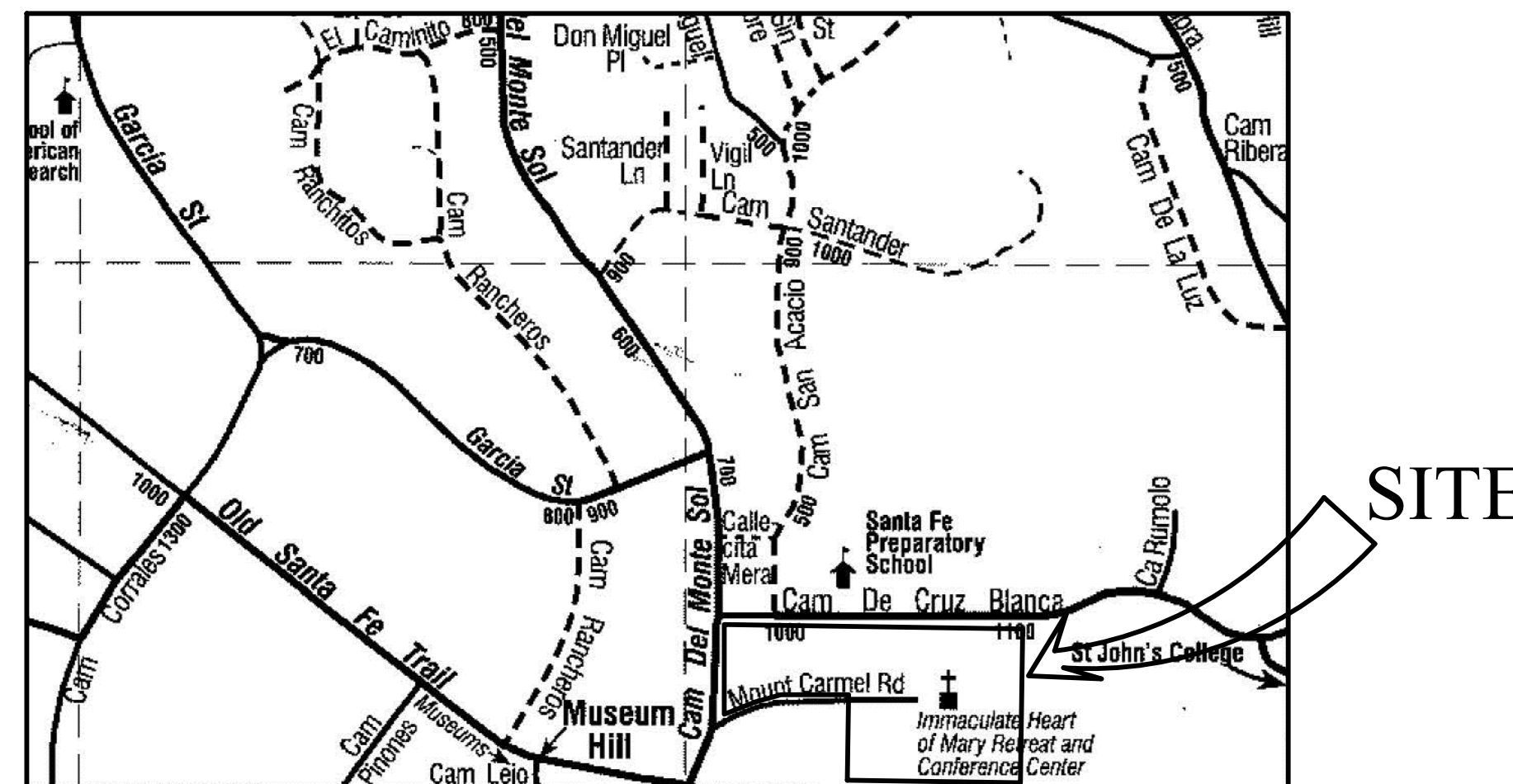
McCloy Land Surveying
150 Central Park Square
Los Alamos, NM 87544
505-321-7404



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50 Mt. Carmel Road
Santa Fe NM, 87505



Vicinity Map



Drawing Index

- COVER SHEET
- C-1 EXISTING SITE PLAN
- C-2 EXISTING AND PROPOSED ELEVATIONS
- A-1 PROPOSED FLOOR PLAN
- A-2 EXISTING AND PROPOSED ELEVATIONS
- A-3 EXISTING AND PROPOSED ELEVATIONS
- A-4 PROPOSED ROOF PLAN
- A-5 FINISH SCHEDULE

New Building Square Footages:

NEW BUILDING	
CLASSROOM & RESTROOMS	2,559 SF
LOUNGE	964 SF
WORKSHOP GUEST ROOMS	5,954 SF
NEW BUILDING HEATED TOTAL	9,477 SF
NEW BUILDING PORTALS	2,219 SF
TOTAL NEW BUILDING FOOTPRINT	11,696 SF

MEA - 50 Mt. Carmel Road - Santa Nueva

HDRB SCHEMATIC DRAWINGS
DATED: NOVEMBER 07, 2022
ARCHITECT'S PROJECT #22-06

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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE



49 & 50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 11/03/22

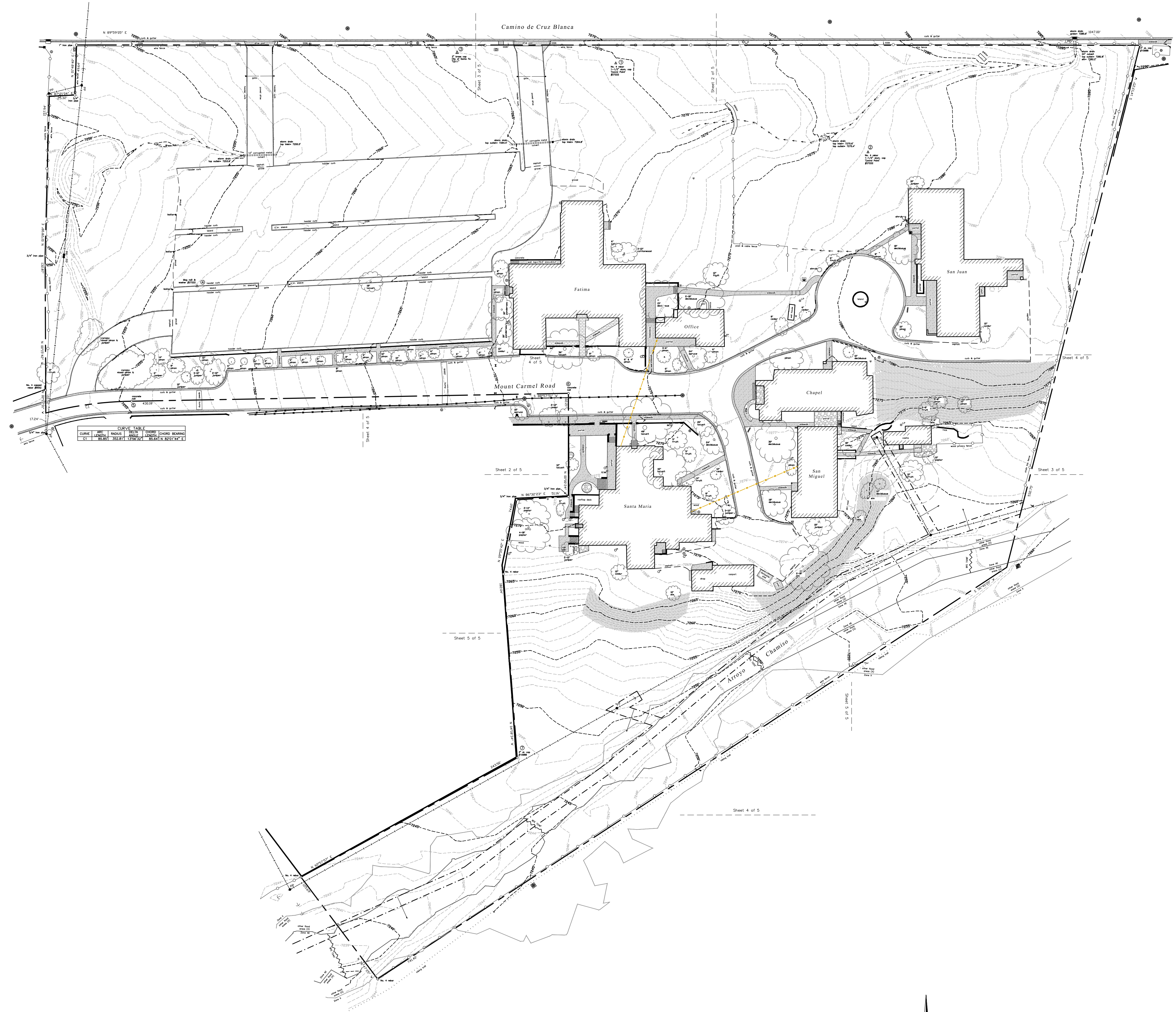
DRAWN BY HR DATE 11/03/22

SHEET TITLE

EXISTING SITE PLAN

SHEET NO.

C-1

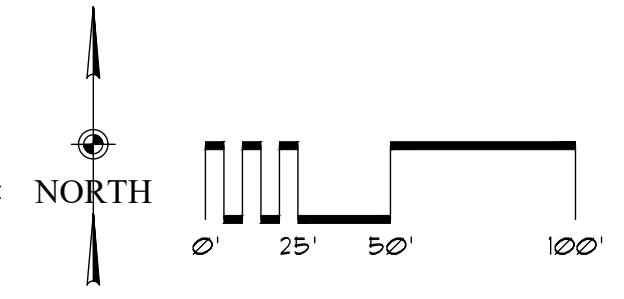


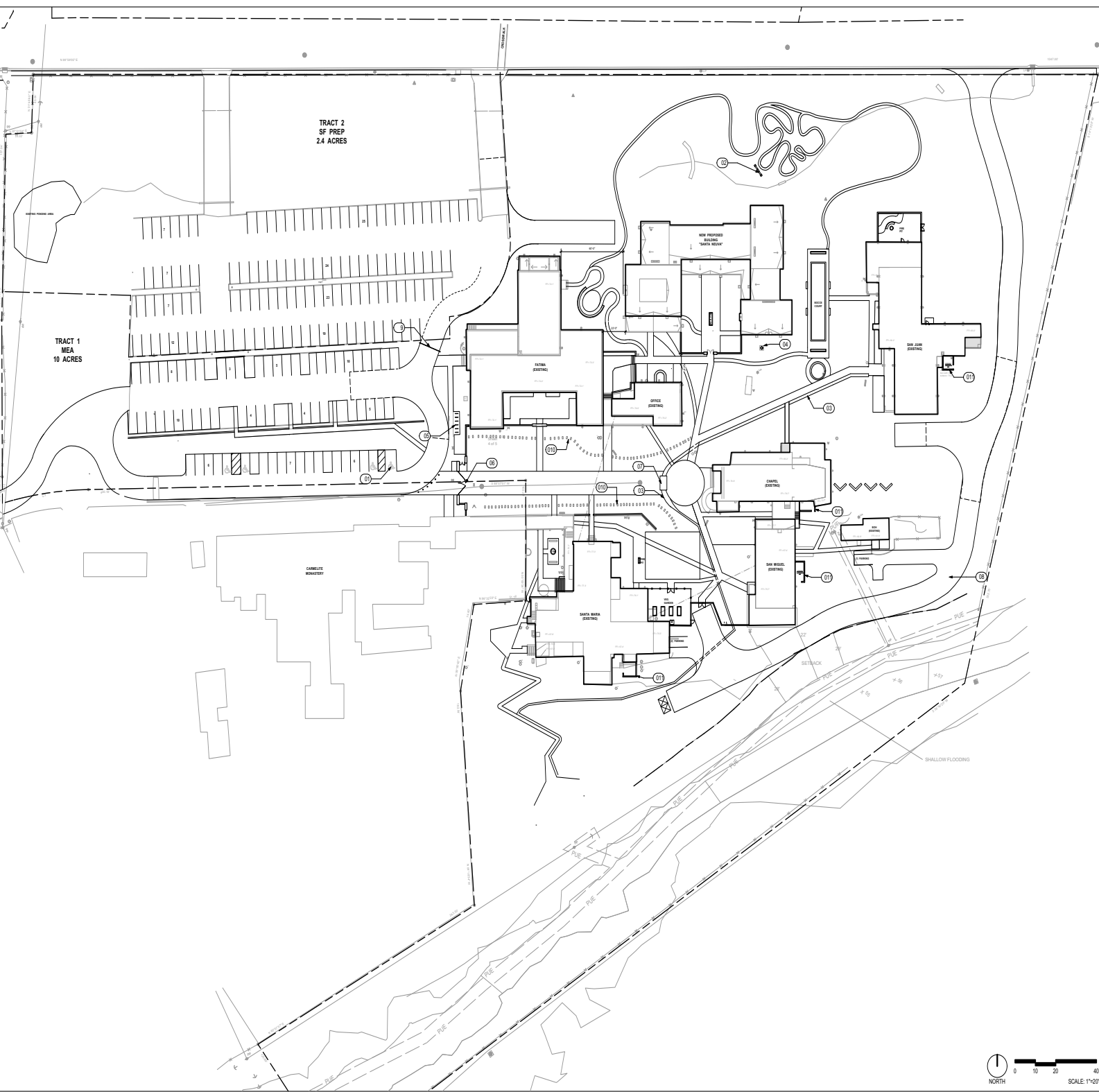
SYMBOLS

- Boundary
- - - Index Contour
- - - Contour
- - - Base Flood Elevation (BFE)
- - - Block Wall (unless otherwise noted)
- - - Sewer
- - - Electric Line (Aerial)
- Survey Marker Found
- △ Control Point
- △ SIGN Street Sign
- Sign
- MB Mail Box
- IV Irrigation Control Valve
- ⊙ Water Meter
- ⊙ Water Valve
- ⊙ Fire Hydrant
- ⊙ Water Spigot
- ⊙ Gas Riser
- ⊙ Telephone Box
- PP Power Pole
- ⊙ Pole Anchor
- LP Light Pole
- ⊙ Electric Box
- ⊙ Sewer Manhole
- ⊙ Sewage Pump
- ⊙ Sewer Clean Out
- Tree (as noted)
- ▨ Building
- ▨ Concrete
- ▨ Brick Pavers
- ▨ Flagstone
- ▨ Manmade Slope

EXISTING SITEPLAN

SCALE: 1" = 50'-0"





MATERIALS NOTES

- (1) (4) ADA PARKING SPOTS, (1) VAN ACCESSIBLE
- (2) LARGE SWING PLAY ELEMENT
- (3) RECYCLED CONCRETE STORMWATER ACEQUA
- (4) EXISTING WELL HEAD
- (5) BIKE RACKS
- (6) PROPOSED GATE ENTRANCE
- (7) BRIDGE OVER STORMWATER ACEQUA
- (8) REFER TO CIVIL DRAWINGS FOR SERVICE ROAD DESIGN
- (9) 20' GATE WITH LOCK AND SIGNAGE STATING "EMERGENCY ACCESS"
- (10) STEPPING STONE PATH TO REPRESENT HISTORIC ROAD CURB
- (11) 42" TALL STUCCO WALL TO SCREEN CONDENSER UNIT

LINE LEGEND:

- PROPERTY LINE
- - - - - SETBACK

SITE DATA

TRACT 1: 10.00 ACRES
 ZONING: R-2 (RESIDENTIAL, 2 DU/ACRE)
 OVERLAY: HISTORIC REVIEW DISTRICT (SFCC § 14-5.2)

SPECIAL USE PERMITTED:
 "Colleges & Universities, Residential" (SFCC Table 14-6.1-1)

LOT COVERAGE:
 Existing Building Footprint Area = 43,477 sq.ft.
 Proposed Building Footprint Area = 11,696 sq.ft.
 Total Building Footprint Area = 55,173 sq.ft.
 Maximum Allowable Lot Coverage = 40% (SFCC Table 14-7.2-1)
 Proposed Lot Coverage = 12.7%

BUILDING HEIGHT:
 Maximum Allowable = 22 Ft. 1 in. (SFCC § 14-5.2(D)(9))
 Proposed Maximum Building Height = 18 Ft. 2 in

BUILDING SETBACKS: (SFCC Table 14-7.2-1)
 Frontage Setback: 7 feet
 Side Setback: 5 feet
 Rear Setback: 15 feet
 Arroyo Setback: 25 feet from top of bank plus depth (SFCC § 14-8.2(D)(4)(e))

PARKING:
 Required Parking = 65 spaces, per Parking Demand Analysis
 TRACT 1 Provided Parking = 72 spaces (MEA Parking Lot)
 TRACT 2 Provided Parking = 124 spaces (SF Prep Parking Lot / MEA Overflow Parking)
 TRACT 1 Required Bicycle Parking = 10 spaces
 TRACT 1 Provided Bicycle Parking = 12 spaces

OPEN SPACE:
 TRACT 1 Required Open Space = 25% of total land area (SFCC § 14-7.5(D)(5))
 TRACT 1 Provided Open Space = 6.84 acres (68.4%)

surroundings
 landscape
 architecture
 urbanism

1611 Paseo de Perla
 Santa Fe, NM 87505

t: 505 982 3454
 www.surroundings.studio

HISTORIC DISTRICT REVIEW DOCUMENTS

REVISIONS:

NO	DATE	NOTE
△		
△		
△		
△		
△		
△		

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MEA SUNMOUNT

50 MT. CARMEL RD.
 SANTA FE, 87505

SCALE: AS NOTED
 DATE: NOVEMBER 2022
 PROJECT: 1535
 DRAWN BY: AT

PROPOSED SITE PLAN C2



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NO.	REVISION/SUBMISSION	DATE

PROJECT TITLE

M|E|A
SUNMOUNT

SANTA NUEVA

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY EE DATE 09/16/22

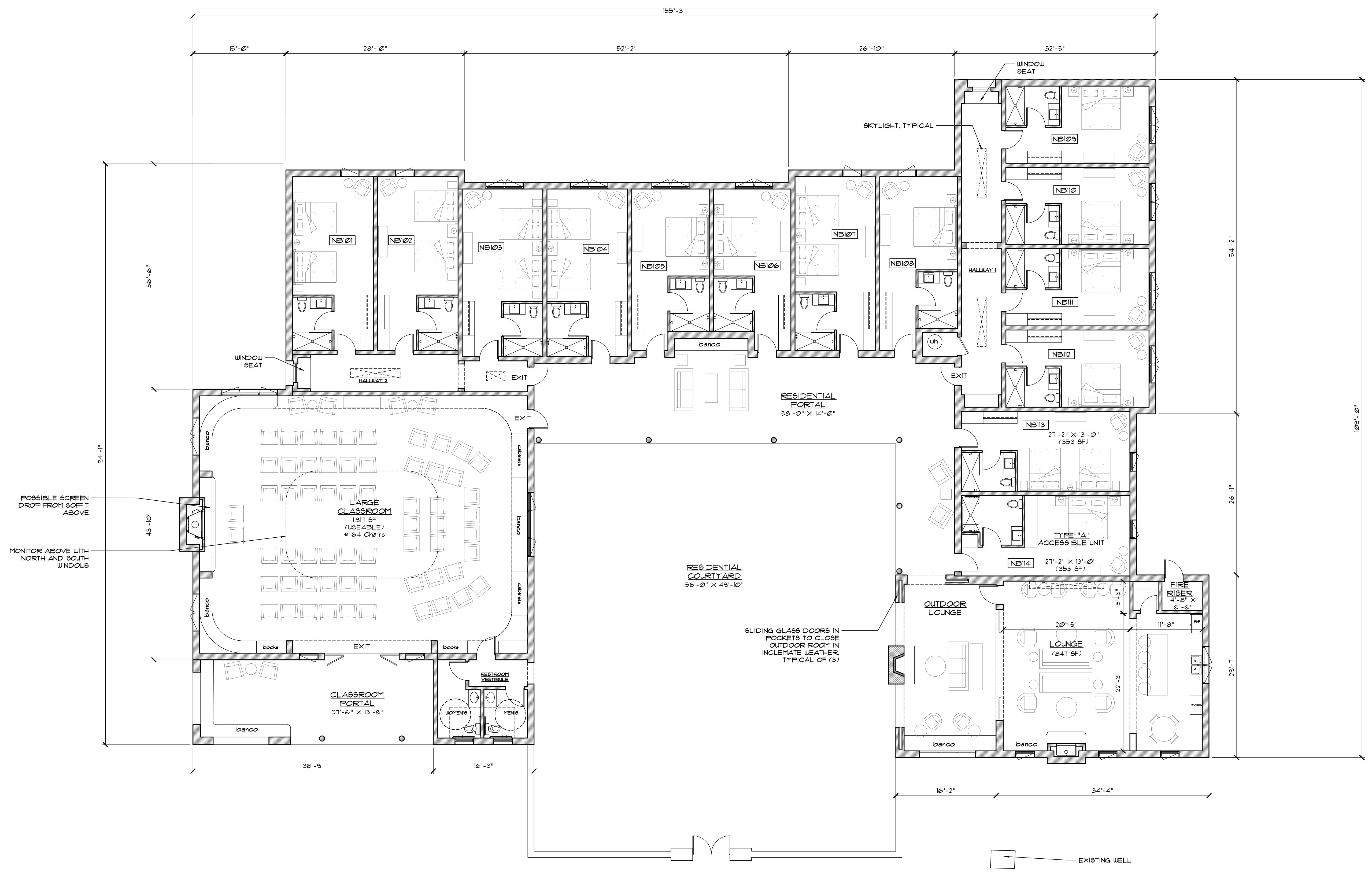
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SHEET TITLE

PROPOSED FLOOR PLAN

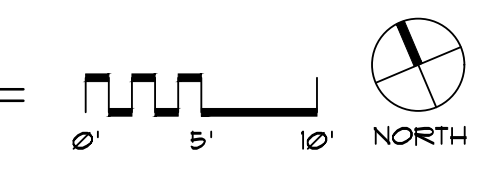
SHEET NO.
SHEET NO.

A-1



NEW BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"



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NO.	REVISION/SUBMISSION	DATE

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PROJECT TITLE

M|E|A
SUNMOUNT

SANTA
NUEVA

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY	EE	DATE	09/16/22
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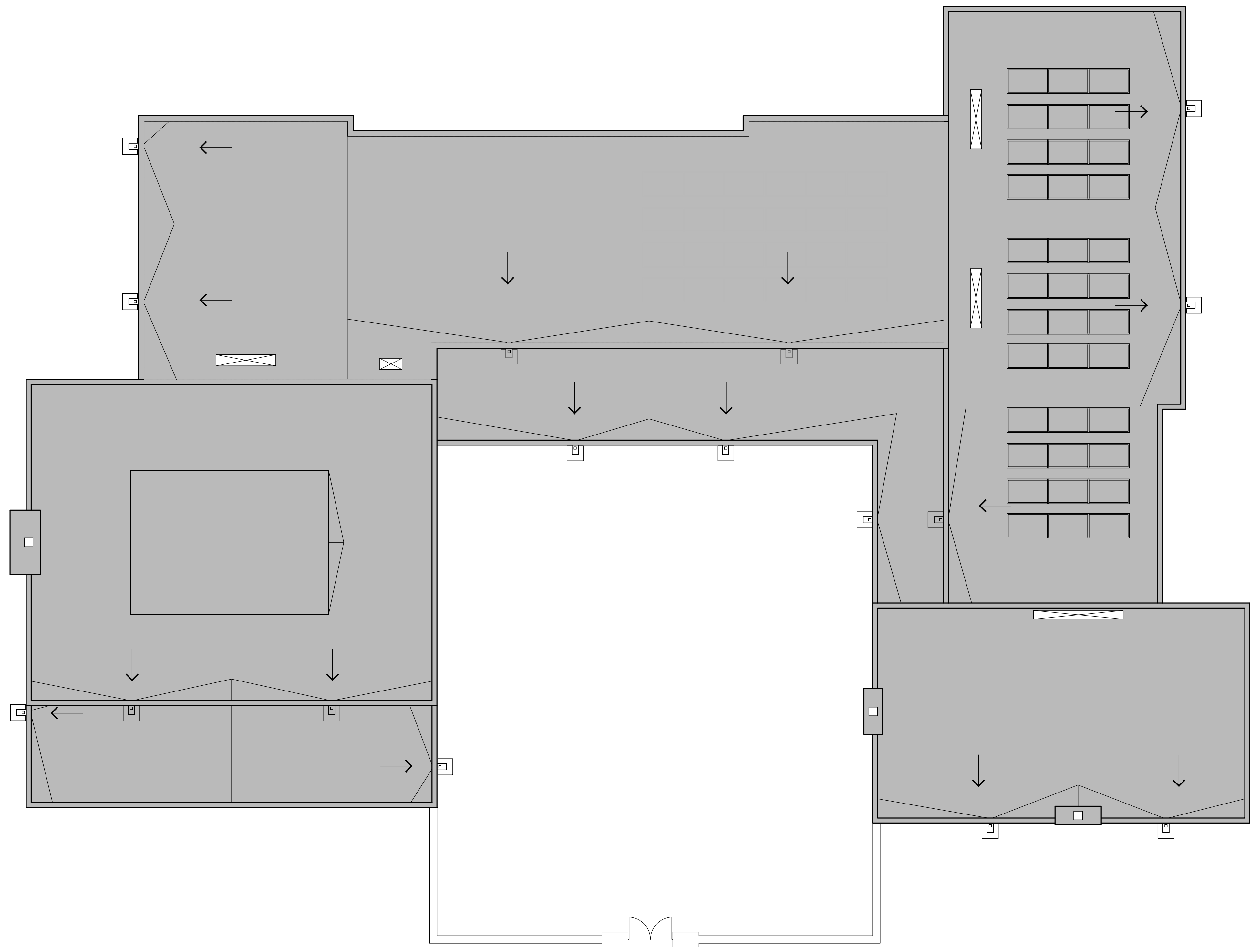
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SHEET TITLE

PROPOSED
ROOF PLAN

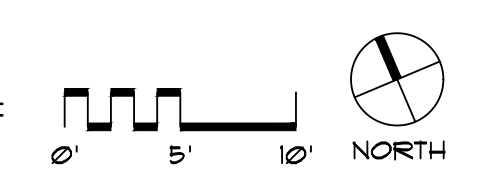
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SHEET NO.

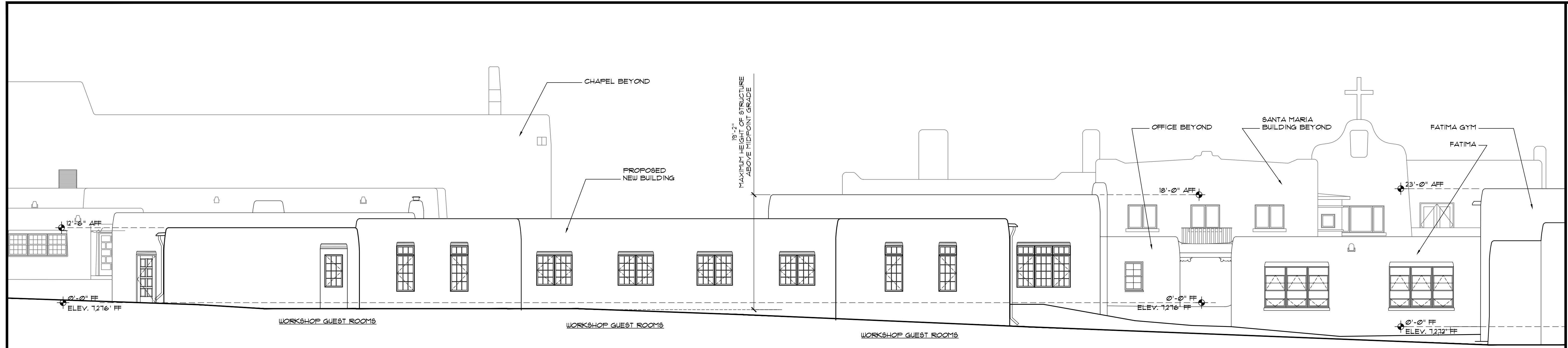
A-4



NEW BUILDING ROOF PLAN

SCALE: 1/8" = 1'-0"





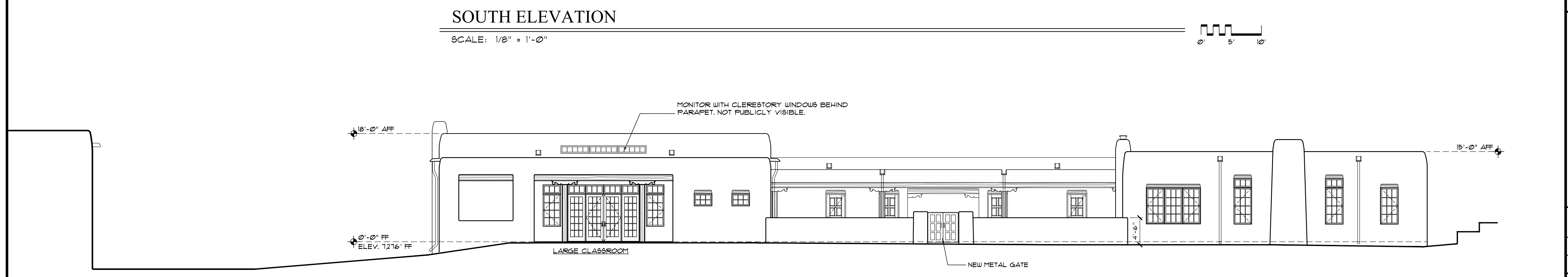
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - SHOWING YARD WALL

SCALE: 1/8" = 1'-0"



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NO.	REVISION/SUBMISSION	DATE

PROJECT TITLE

M|E|A
SUNMOUNT

SANTA NUEVA

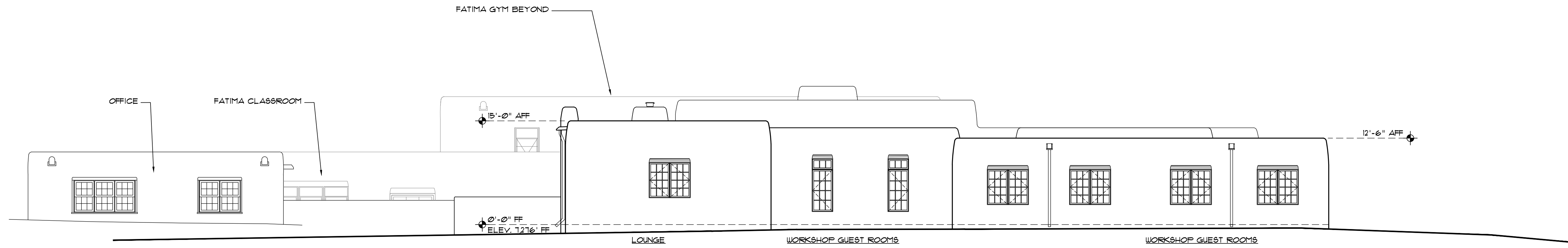
50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY	EE	DATE	09/16/22
DRAWN BY	HR	DATE	12/08/22

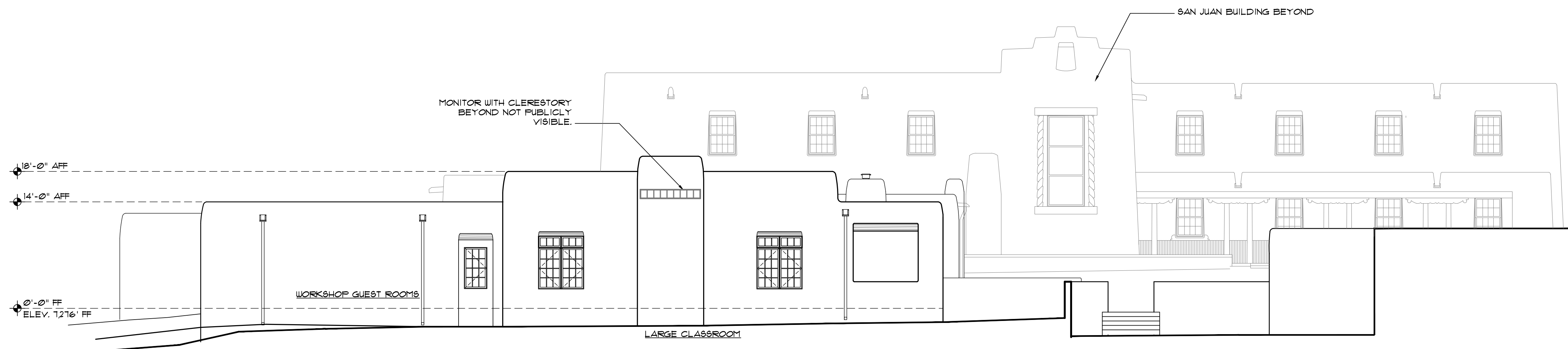
SHEET TITLE
PROPOSED ELEVATIONS

SHEET NO.
SHEET NO.
A-3



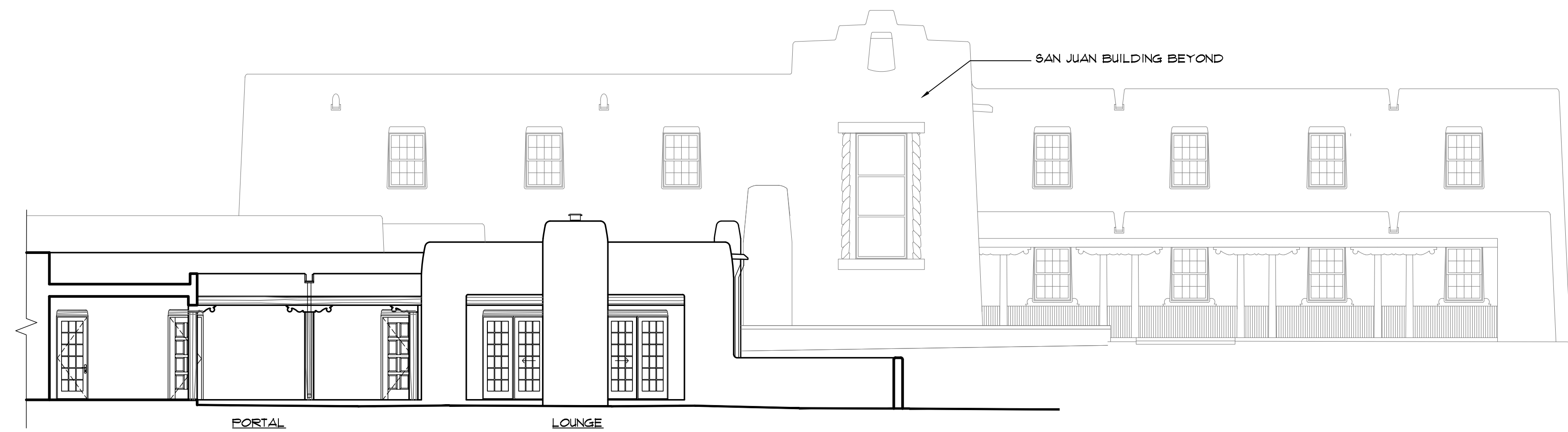
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION OF COURTYARD

SCALE: 1/8" = 1'-0"



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NO.	REVISION/SUBMISSION	DATE

STAMP

PROJECT TITLE

M|E|A
SUNMOUNT

SANTA NUEVA

50 Mt. Carmel Road
Santa Fe, NM

PROJECT NO. 22-06

CHECKED BY	EE	DATE	09/16/22
DRAWN BY	HR	DATE	12/08/22

SHEET TITLE
PROPOSED ELEVATIONS

SHEET NO.
SHEET NO.

A-2







City of Santa Fe, New Mexico

memo

DATE: December 13, 2022
TO: Historic Districts Review Board Members
FROM: Heather Lamboy, Assistant Director, Planning & Land Use

Case # 2022-006142-HDRB

Address: 346 Hillside Ave
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Case #04-35 346 Hillside

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Historic Inventory Form

STAFF RECOMMENDATION:

Staff recommends the historic status of the main house be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. The north and east elevations are recommended as primary elevations. Staff recommends that the garage be designated as non-contributing.

BACKGROUND & SUMMARY:

The single-family detached residence located at 346 Hillside is listed as contributing to the Downtown and Eastside Historic District. The home was constructed around 1920 in a

simplified Craftsman bungalow style. The fenestration is symmetrical on the north façade, with a front door flanked by large windows. The roof is a hipped roof with asphalt shingles. The kitchen addition on the east elevation, constructed between 1948-1958, has a flat roof.

A sunroom on the south elevation existed prior to its removal in 2004 (please see case 04-35, attached). This addition was removed, but the addition which was approved in 2004 was never built. At that time a non-historic portal on the north elevation which connected to the kitchen was removed. The rear door “floats” and it is likely that there were concrete stairs like the ones further east on the south elevation that led to the backyard (see aerials). A tall wall on the west elevation connects the residence with the studio, which was likely a garage.

The residence retains much of the historic integrity of the original building. The kitchen addition on the east elevation exemplifies how buildings change over time.

Relative to determining the status of a contributing structure, it meets the criteria that the building is reflective of its place in time and has only had minor changes. The kitchen addition has acquired its own historic significance, has distinctive features associated with the Craftsman style. Additions to the north elevation and south elevation have been removed and as such the integrity of the house has been maintained. Staff recommends that the contributing status be maintained, and that the north and east facades be designated as primary. With reference to the garage that has been converted into a studio, staff recommends that structure be non-contributing due to the large number of non-historic changes to the building.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

I WOULD ADD THESE SECTIONS WHEN IT GOES FORWARD FOR A REMODEL

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of

conjectural features or architectural elements from other buildings, shall not be undertaken;

- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

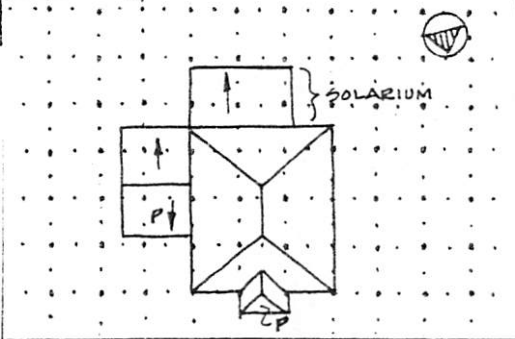
A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

building threatened? yes	surveyed date 9/19/84 by SL	county SANTA FE	ID no. 051612012
field map SFHD #2	number 2012	UTM reference zone 12 13	easting northing
location description 346 HILLSIDE AVE.		city/town SANTA FE	
land grant/reservation			

building name	legal description tnsp ___ N S range ___ E W sec ___ 1/4 1/2
film roll by SL no. 37	negative nos. 35
loc. of neg. HPB	plan shape



style HIP'D Cottage	foundation STONE
	wall material/surface PEN. TILE/STUCCO

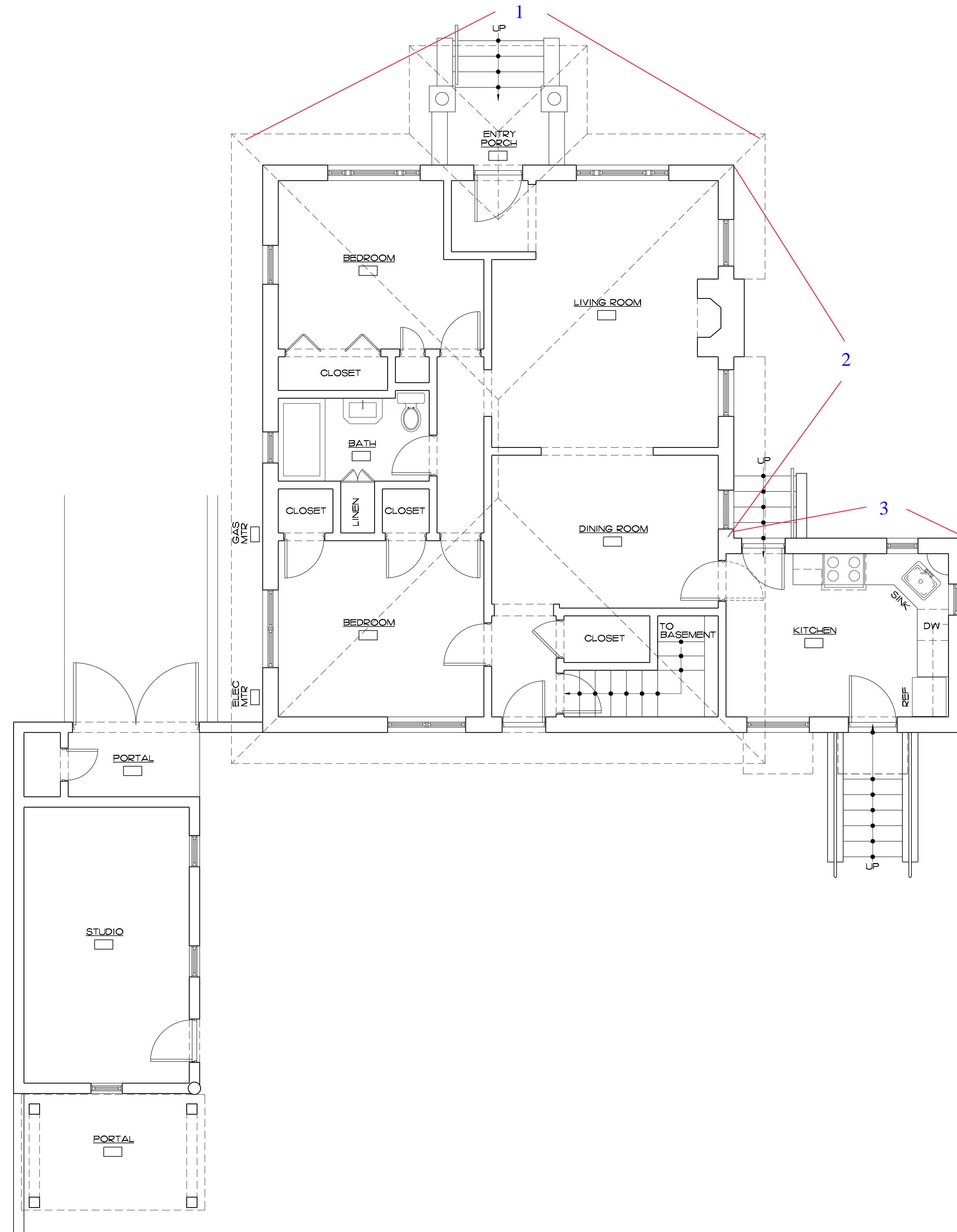
architectural features
 Hip'd rf. (asp. shngl.) w/ cross gable rf. over porch, extended eave with
 expos'd rf joists, flat parapeted E. addition w/ exposed shed on
 S.; windows 3/1 dbh w/ 2/1 flanking sides on front elev., 3/1 in rear,
 solar 7' tall panes on S w/ alum sliding; doors: front 3paned Bung.,
 sliding glass in rear; round columns support front porch roof +
 rest on conc. supports

comments

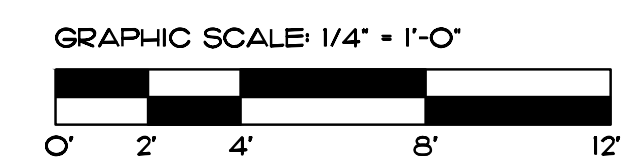
JIM GREA 983-2227 past owner w/ info

date of construction
 Pre 1930 estimate ___ actual ___
 source
 SANBORN (1920's?)
 use
 present residential
 other ___
 historic residential
 other ___
 condition
 ___ excellent good
 ___ fair ___ deteriorating
 degree of remodeling
 ___ minor moderate ___ major
 describe:
 ADDED MASSING ON E & S
 surroundings
 OFFICE/RESIDENTIAL
 relationship to surroundings
 similar ___ not similar
 district potential
 yes ___ no
 significance
 ___ eligible of ___ none
 if eligible, interest
 why?
 Contrib.
 associated buildings? ___ yes
 what type?
 if inventoried, list ID nos.
 see back? ___ yes

Primary Facade Diagram



1 EXISTING FLOOR PLAN
A-2.0 SCALE: 1/4" = 1'-0" NORTH



MARTINEZ
ARCHITECTURE
STUDIO PC

1524 PASEO DE PERALTA SANTA FE
505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVE
SANTA FE, NEW MEXICO

NOVEMBER 9, 2022

EXISTING
FLOOR
PLAN

A
2.0

SET #

2208 - DAVIS



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address: 346 Hillside Avenue
Date Submitted: 11/9/2022	Proposed Construction Description: Addition & renovation to an existing single family residence
Property Owner of Record: Martha Davis	
Applicant/Agent Name: Martinez Architecture Studio PC	TOTAL ROOF AREA: 2,402 SF
Contact Person Phone Number: (505) 989 - 4958	
Zoning District: <u>RC-8</u>	Lot Coverage : <u>26.9</u> % □ Open Space Required: _____
Overlay: □ Escarpment _____ □ Flood Zone* ☒ Other: <u>Downtown & Eastside</u>	Setbacks: Proposed Front: <u>53.6'</u> Minimum: <u>7'</u> 2 nd Front? _____ Proposed Rear: <u>15'</u> Minimum: <u>15'</u> Proposed Sides: <u>L6.5'R 5'</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: ☒ Legal Lot of Record □ Development Plan ☒ Building Plans ☒ Existing Site Plan ☒ Proposed Site Plan ☒ Elevations	Height: Proposed <u>14'</u> Maximum Height: <u>16'</u> existing or ☒ Regulated by Historic Districts Ordinance □ Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: □ Zero Lot Line Affidavit	Parking Spaces: Proposed <u>3</u> Accessible _____ Minimum: <u>3</u>
Access and Visibility: □ Arterial or Collector** □ Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: ☒ Residential □ Commercial Type of Use: _____	
Terrain: □ 30% slopes <u>N/A</u>	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Martinez Architecture Studio PC [□OWNER ☒APPLICANT □AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
SIGNATURE

11/9/2022
DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable: 2022-006107-PAR

□ Escarpment Approval by _____ Date: ___/___/___
□ Flood Plain Approval by _____ Date: ___/___/___
□ Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:
☒ Preliminary Approval □ with conditions □ Rejected

Comments/Conditions: Legal lot of record is provided. lot coverage at 26.9% Existing encroachment on northwest property line is not increased or altered.

REVIEWER: Lani J McCulley DATE: 11/14/2022

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

City of Santa Fe, New Mexico

memo

DATE: March 9, 2004

TO: Historic Design Review Board Members

VIA: Sandra Aguilar, Planning & Land Use Department Director SA
Reed Liming, Planning Division Director RL

FROM: David Rasch, Historic Preservation Planner DR

CASE # H-04-35

ADDRESS: 346 Hillside Avenue
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall
& fence standards.
- Historic Survey Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of this application which complies with Section 14-5.2 (E) Downtown & Eastside Historic District design standards.

BACKGROUND & SUMMARY:

346 Hillside Avenue is a 2,049 square foot single family residence. It was constructed with Penitentiary tile on a stone foundation between 1920 and 1930 in the Hipped Box manner with overhanging eaves and a central, hipped roof front portal with simplified rounded columns. A flat-roofed kitchen is attached to the northeast elevation. Non-historic wood-framed additions were constructed on the northeast and southeast elevations. A freestanding studio at the southwest side of the lot is attached to the building with a yardwall. Garage doors in the yardwall suggest that the studio may have been the original garage. The building is listed as Contributing in the Downtown & Eastside Historic District. The applicant proposes to remodel the building with three items.

1. The 172 square foot non-historic portal on the northeast elevation will be removed. The shed roof of this portal slopes toward the building and water drainage may be problematic.

2. The 280 square foot non-historic sunroom addition on the southeast elevation will be removed. While the roof of this addition extended the same roof slope of the building, removal will not damage the original roofline.

3. A 756 square foot addition will be constructed in the same location as the sunroom addition. The new flat-roofed addition will have a maximum height of 12' 2", which is below the existing roof eaves. This addition will stepback 1.25' from the original corner of the building and will be separate from the southeast elevation by a 3' 6" stairhall that is 10' 6" high and clad in oxidized corrugated steel.

There will be five 2-over-1 double-hung white clad wood windows on the northeast elevation that mimic but don't duplicate the original 3-over-1 double hung windows.

All of these aforementioned items help to distinguish the addition from the original building.

The southeast elevation will have paired white clad French doors with fixed transoms in the bedroom and a 4-light white clad casement window in the bathroom. At the west corner of the addition, there will be corner fixed and casement windows with fixed and hopper transom windows. The southwest elevation will have three single doors and a 1-light window in the closet.

The northeast and southeast sides of the new addition will have a red-brick-floored portal with white painted wood columns and beams. The hipped roof will be oxidized corrugated steel with an open trellis at the north end. Four oxidized steel I-beams will create a garden ramada between the southwest elevation of the new addition and the existing studio building.

February 18, 2004

Historic Design Review Board Proposal Letter

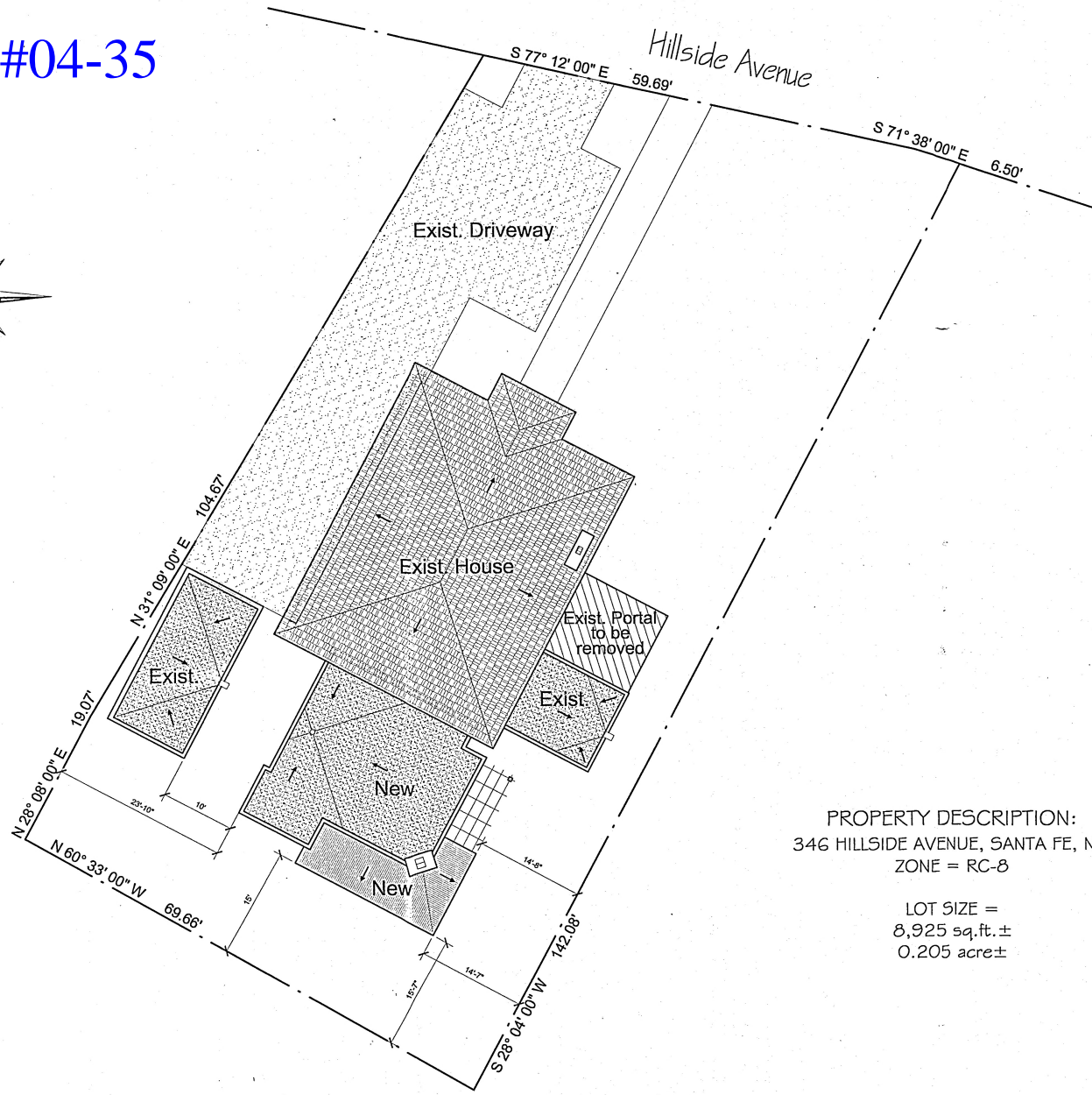
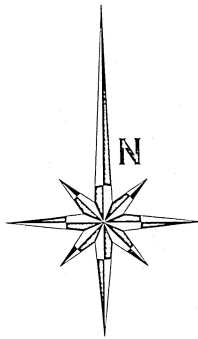
**Re: Proposed bedroom and bathroom addition to the Kantor Residence
at 346 Hillside Avenue**

The Kantor residence at 346 Hillside Avenue consists of an original hipped roofed house with an original flat roofed kitchen wing. The original buildings are constructed of pen tile with white painted 3 over 1 wood windows and wood doors, earthtone painted cement stucco on top of a stone foundation, a stone fireplace and chimney, and a dark asphalt shingled roof. The original building date to pre 1930 according to the NM Historic Building Inventory. There have been two previous wood framed additions to the original house, both appear to be similar in date and manner of construction, with our best estimate of the construction date being late 1970's or early 1980's. Both previous additions suffer from structural damage due to poor detailing, and their possible affect on the original structure is a concern. In addition, there is a pole framed outbuilding whose origins are unknown, but may possibly have been an original garage or shed.

We propose to remove both of the prior additions to the original house. Both additions can be removed without damaging the original roofline of the building, and any exterior stucco affected will be repaired and painted to match the existing. We propose to add a new bedroom, bathroom, closet and portal to the Southwest (backyard) side of the original structure, in the same area that one of the additions occupied. The total roofed area of the proposed addition is 756 sq.ft. The addition as proposed has cement stucco with a floated finish, in an earthtone color to complement, but not match the existing color of the original house. The plaster on the original house has a large, pebbly texture, and has a painted surface, so we feel that there would be no mistaking the differing vintage of the two constructions. The windows and doors on the proposed addition are white painted metal clad, with some 2 over 1 double hung windows, and some grid patterned casement and picture windows. The wood columns, beams and rafters of the proposed portal are painted white and the roofing is naturally oxidized corrugated steel. The proposed portal flooring is natural red brick. To further delineate the proposed addition from the original house, there is a connecting section of wall with a lower parapet height than the bulk of the new addition, this section of wall, approx. 3'-6" wide by 10'-6" high would be clad in naturally oxidized corrugated steel.

Thank you for your consideration,
Peter Wilson
505-820-7173

Historic Case #04-35



PROPERTY DESCRIPTION:
 346 HILLSIDE AVENUE, SANTA FE, NM
 ZONE = RC-8

LOT SIZE =
 8,925 sq.ft. ±
 0.205 acre ±

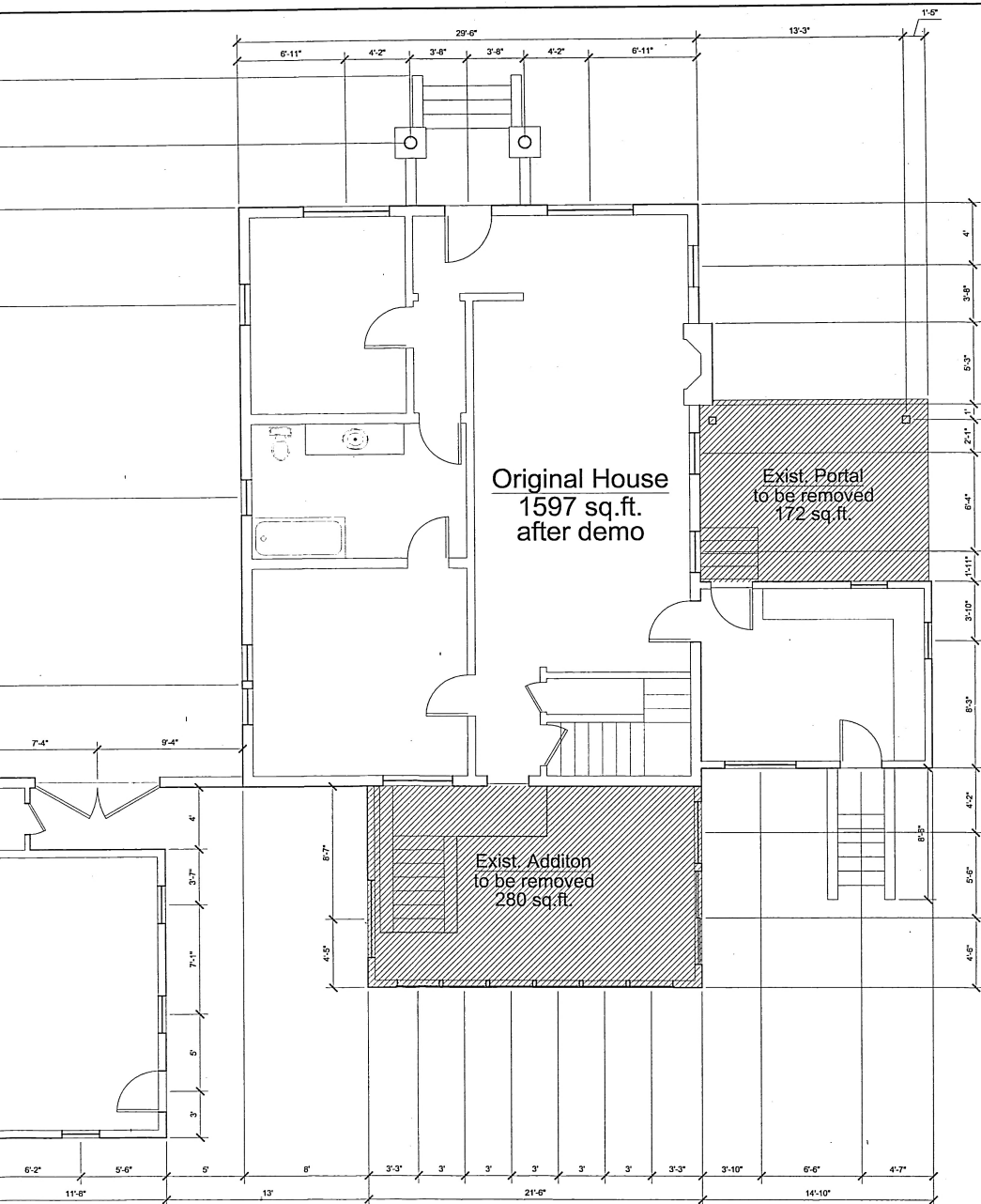
Site Plan

scale: 1/8" = 1'-0"
 0 1' 2' 3' 6'

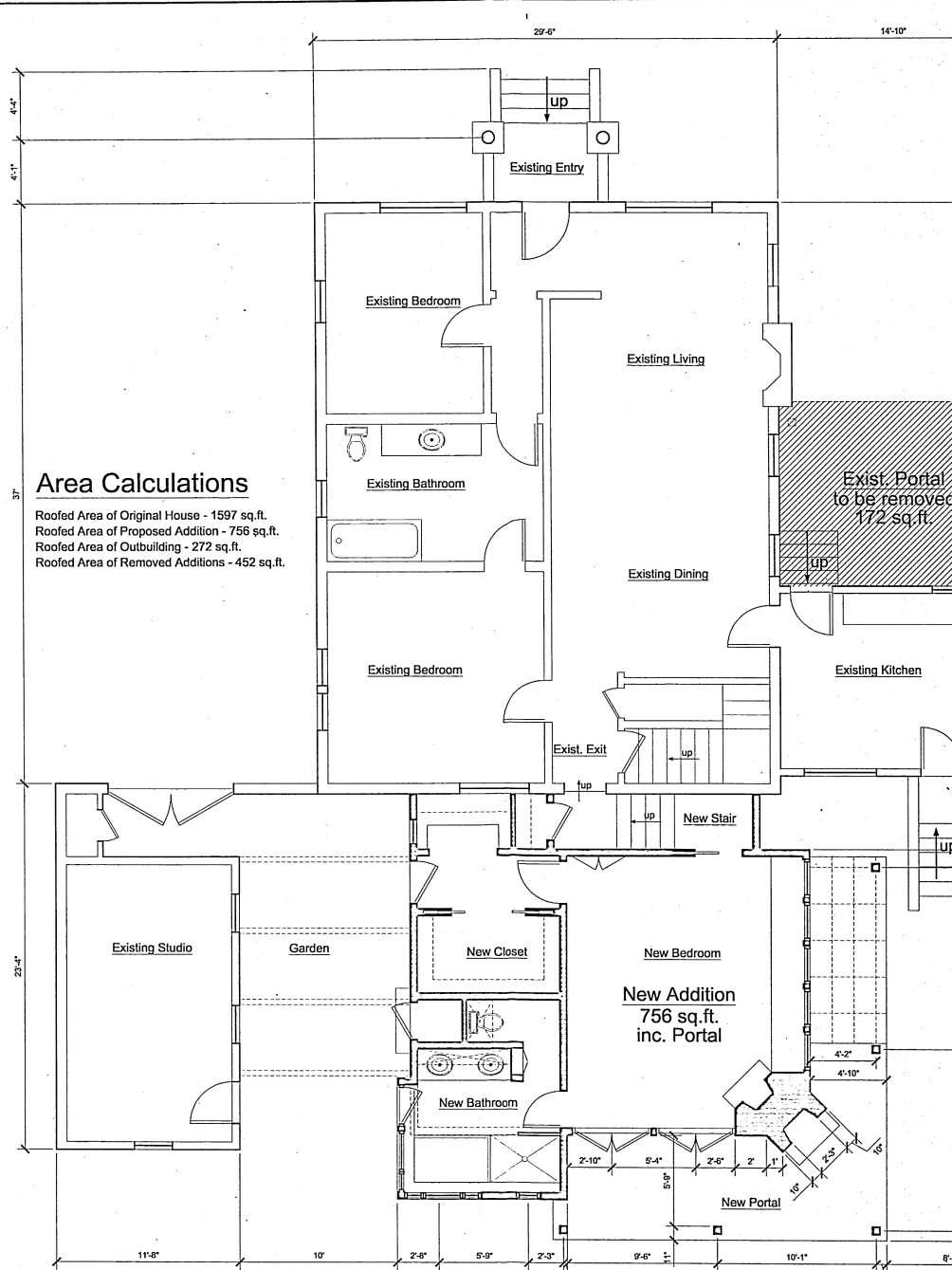
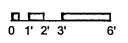
by: Peter Wilson
 Santa Fe, NM
 505-820-7173
 2-17-2004

KANTOR HOUSE BEDROOM ADDITION 346 HILLSIDE AVENUE, SANTA FE, NM

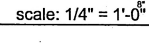
SH
 A



Existing Floor Plan scale: 1/4" = 1'-0"



Proposed Floor Plan scale: 1/4" = 1'-0"

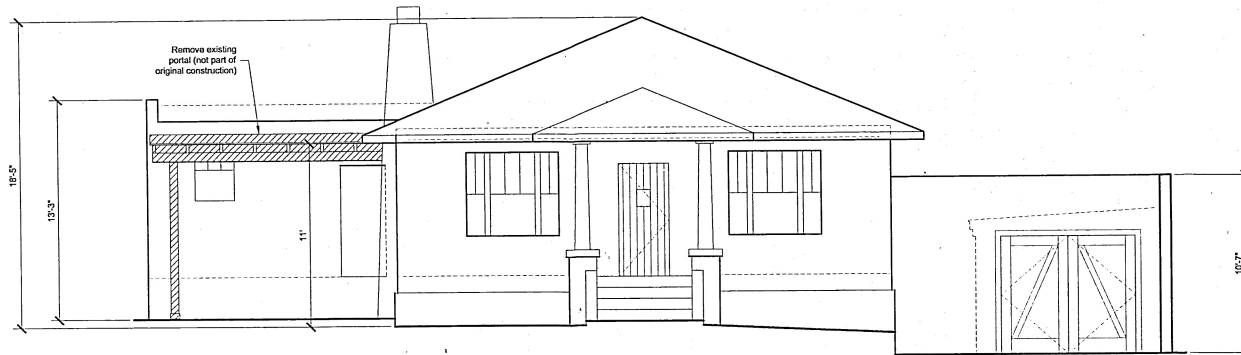


Drawn by: Peter Wilson
 Santa Fe, NM
 505-820-7173
 Date: 2-17-2004

KANTOR HOUSE BEDROOM ADDITION

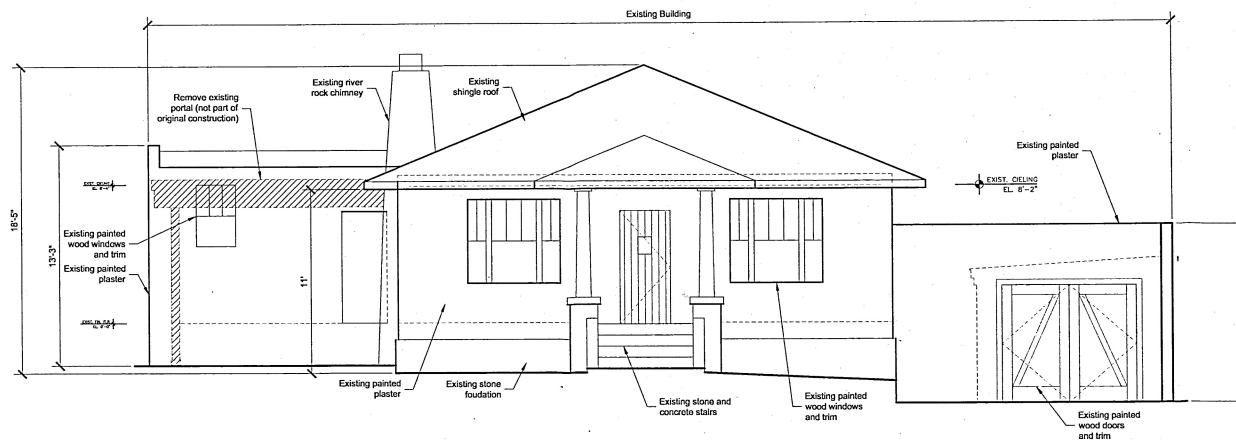
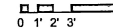
346 HILLSIDE AVENUE, SANTA FE, NM

SHE
 A



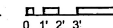
Existing Northwest Elevation

scale: 1/4" = 1'-0"

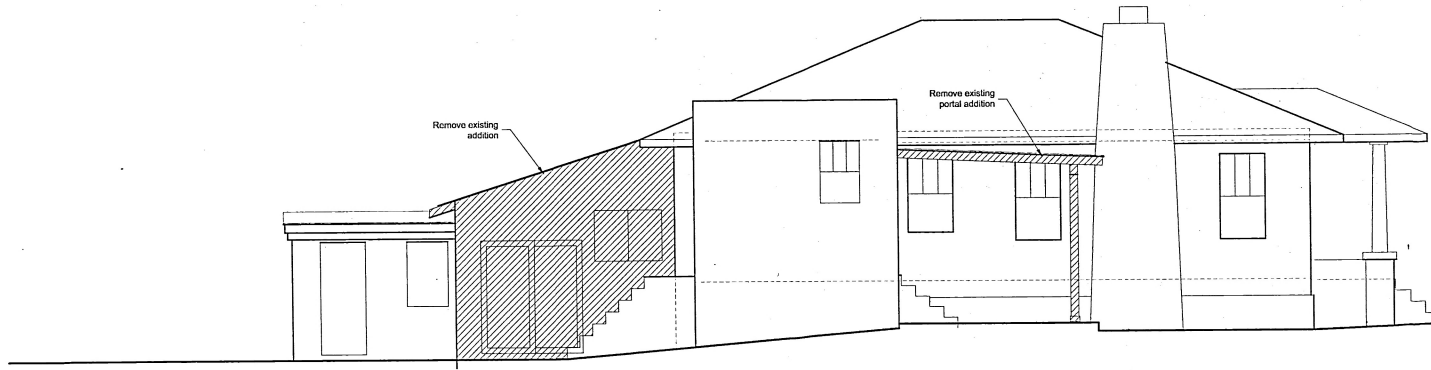


Proposed Northwest Elevation

scale: 1/4" = 1'-0"

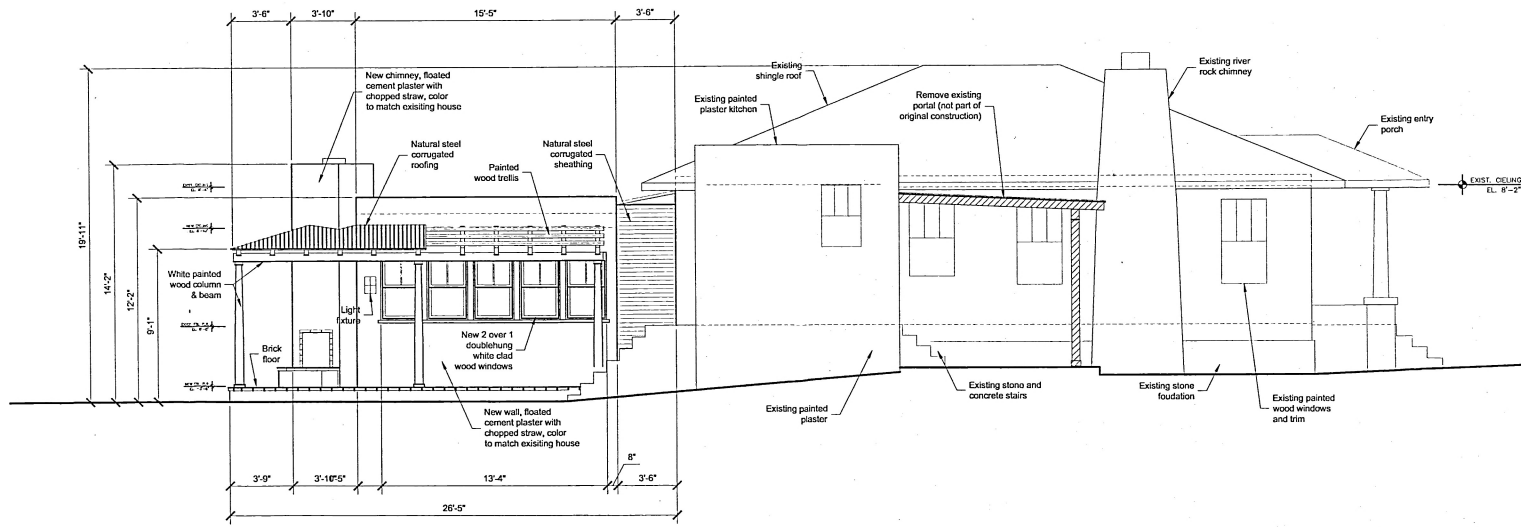
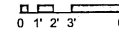


16'-0"



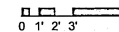
Existing Northeast Elevation

scale: 1/4" = 1'-0"



Proposed Northeast Elevation

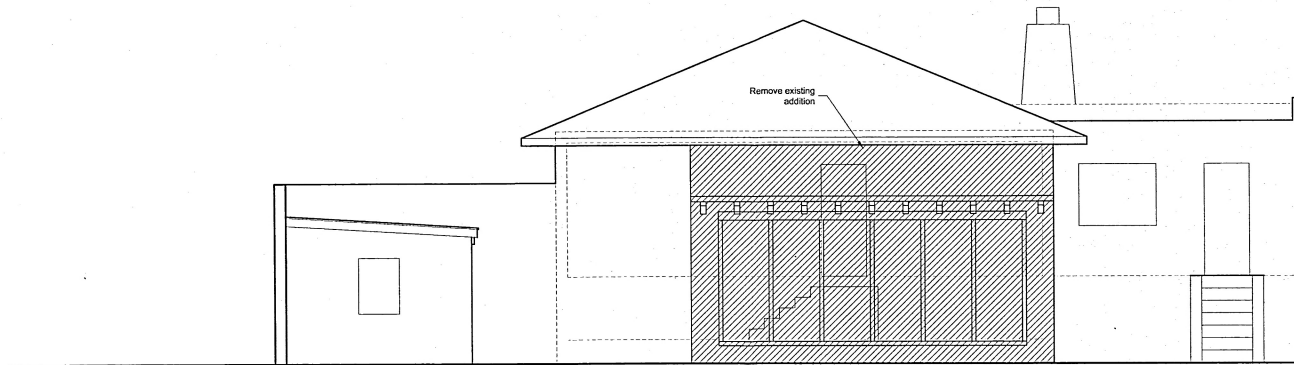
scale: 1/4" = 1'-0"



by: Peter Wilson
Santa Fe, NM
505-820-7173
2-17-2004

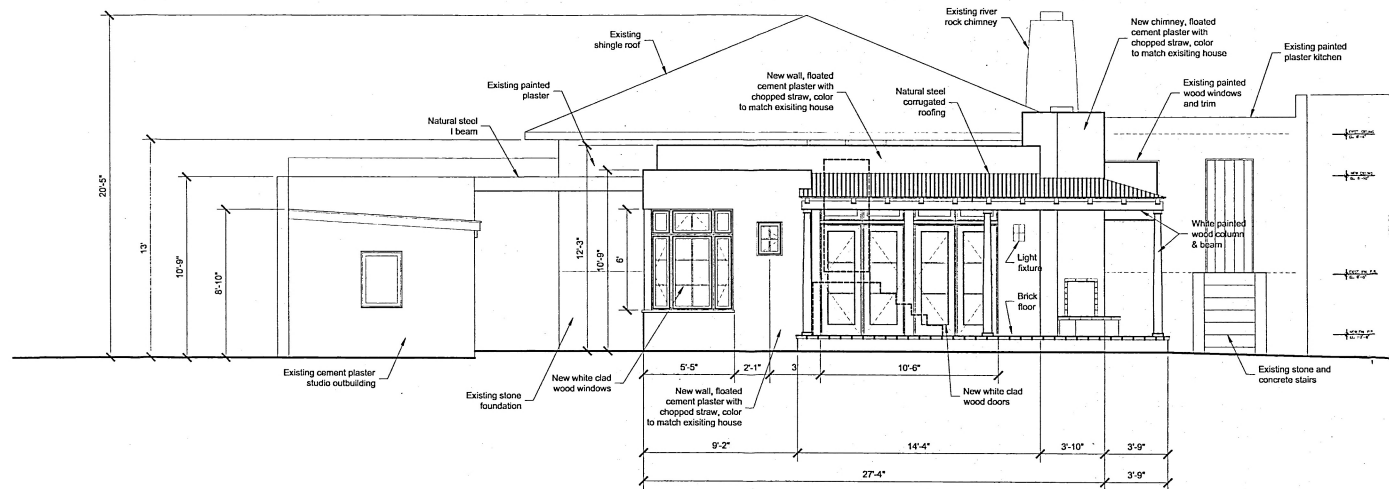
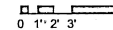
KANTOR HOUSE BEDROOM ADDITION
346 HILLSIDE AVENUE, SANTA FE, NM

SH
A



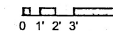
Existing Southeast Elevation

scale: 1/4" = 1'-0"



Proposed Southeast Elevation

scale: 1/4" = 1'-0"



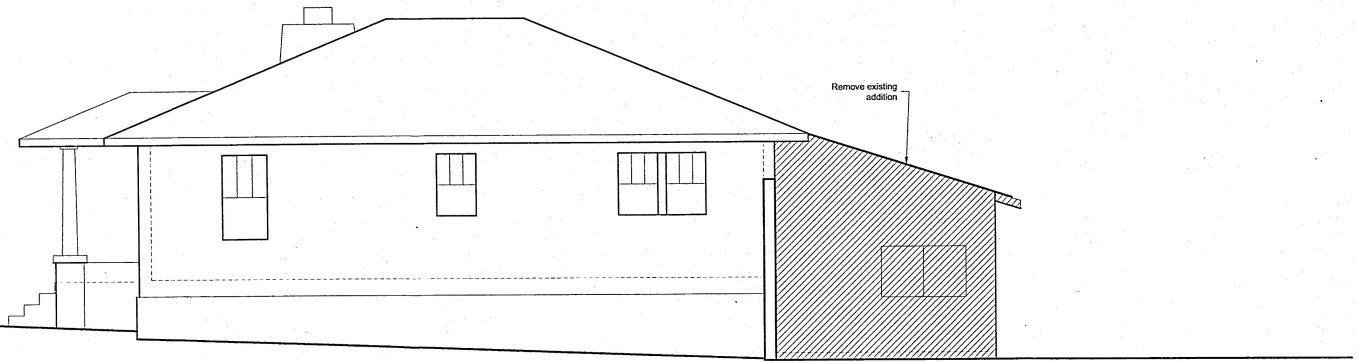
- PLANNING & LAND USE -	
<input checked="" type="checkbox"/> HISTORIC DESIGN REVIEW	REMOVED
<input type="checkbox"/> LANDSCAPE REVIEW	
<input type="checkbox"/> EMBARKMENT ARCH. REVIEW	
<input checked="" type="checkbox"/> APPROVAL	
<input type="checkbox"/> CONDITIONAL APPROVAL	
<input type="checkbox"/> PERMIT	
NAME: <i>Peter Wilson</i>	DATE: 3-1-04

Peter Wilson
Santa Fe, NM
505-820-7173
2-17-2004

KANTOR HOUSE BEDROOM ADDITION

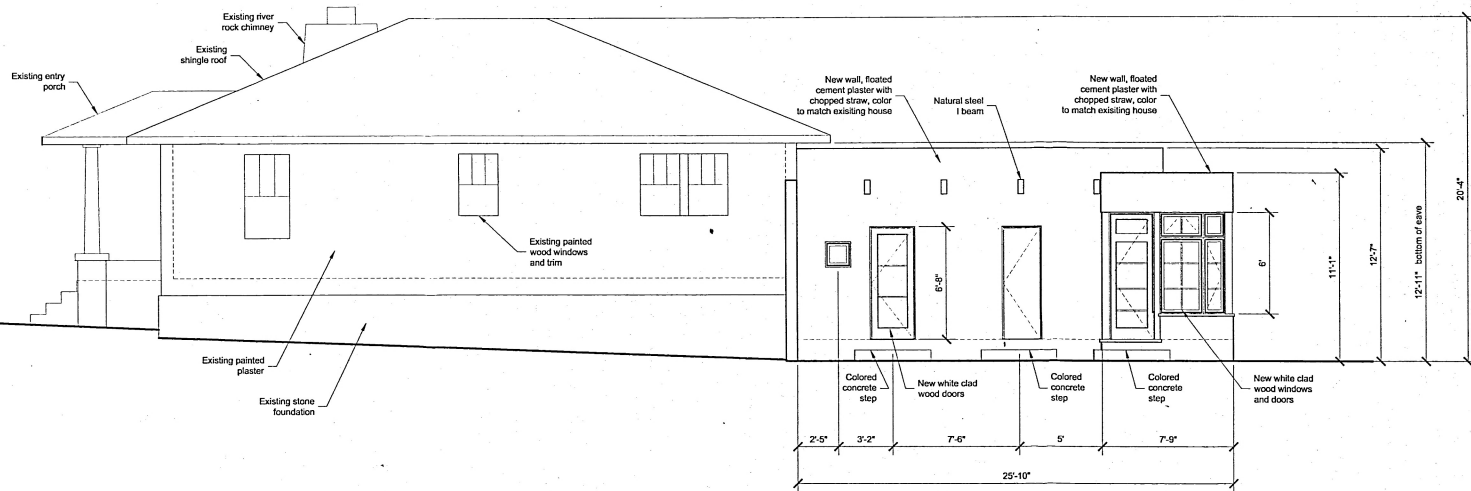
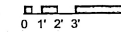
346 HILLSIDE AVENUE, SANTA FE, NM

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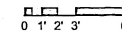
Existing Southwest Elevation

scale: 1/4" = 1'-0"



Proposed Southwest Elevation

scale: 1/4" = 1'-0"



16'-0"

PRELIMINARY ZONING REVIEW WORKSHEET

TO BE COMPLETED BY APPLICANT:

Date Submitted 2/16/2004
Property Owner of Record JOEL KALTOR
Applicant Name PETER WILSON Phone 820-7173
Site Address 346 HILLSIDE AVE
Proposed Construction Addition + Renovation

TO BE COMPLETED BY STAFF:

Zoning District R-C-8 Subdivision _____ Lot _____ Block _____
Permitted Use: Section # _____
Accessory Use: Section # _____
Special Exception: Case # _____
Variance: Case # _____
Prohibited Use: Section # _____
Setbacks:
(Front) Provided 15+ Minimum 15 (Rear) Provided 15 Minimum 15
(Left Side) Provided 14+ Minimum 5 (Right Side) Provided 20+ Minimum 5
(Special Yard) Provided _____ Minimum _____
Density: 1/acre Open Space: _____
Lot Size: 6240+ Total Roof Area: 2774 Lot Coverage: 34%
Height: 12'-2" Wall Requirement: _____
Parking: # Required 2 # Provided 2 Maneuverability 0.5
Other District Requirements: _____

Preliminary Approved
Preliminary Approval w/Conditions
Preliminary Rejection

Comments: _____

Reviewer [Signature] Date 2/16/04

A R C H I T E C T U R E
M A R T I N E Z
S T U D I O P C

TEL (505) 989-4958 MAIL: P O BOX 925 SANTA FE NM 87504
1524 PASEO DE PERALTA — STUDIO@MARTINEZARCH.COM

DAVIS RESIDENCE, 346 HILLSIDE AVENUE

November 14, 2022

Downtown/Eastside Historic District, Contributing

EXISTING CONDITIONS:

An existing house and studio occupy the lot. The main house was constructed in the 1920's and is Contributing. An addition was added to the main house in 1950's. The studio was constructed around the same time as the addition to the main house. A full HCPI produced by John Murphey is attached to this letter.

PROPOSED CONSTRUCTION:

To the main house, we propose a kitchen expansion of 182 heated square feet, a bath addition of 101 square feet and a portal addition of 166 square feet, for a total of 449 square feet roofed. The addition will have no public visibility from the street with the exception of the top of the stone chimney. We also propose a deck and stone planters. To the studio, we proposed to add 230 square feet, including a bathroom and small kitchenette, and converting it into a guest house, again, with no public visibility. We also propose to demolish the existing 78 square foot freestanding portal and add an attached portal in its place.

The main house and guest house addition is a total of 679 square feet, to an existing 1,723 square feet (861 square feet allowed). The addition will have white clad wood windows and doors that will be divided horizontally as shown on the drawings. The exterior stucco of both the main house addition and guest house addition will be 'Buckskin' stucco to match the existing house (see attached exterior finishes). All additions will be well below the existing height of the house.

All City of Santa Fe building codes and zoning regulations will be met.



Richard Martinez
Martinez Architecture Studio PC

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Number: Santa Fe ID #: H-2319 4. County: Santa Fe Parcel # 10191360
5. Property Type: <input checked="" type="checkbox"/> Buildings: 2 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: October 17, 2022 Form: November 11, 2022		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: Sept. 19, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB Status Review		
9. Lat/Long: 35.6872826,-105.9322813		
10. Photo Information: Giulia Caporuscio, photographer. Photo 1: View of north (front) elevation, facing south.		
11. Brief Description of the Property: Mostly obscured by a tall coyote fence, a small hipped-roof cottage erected in the early 1920s stands back from the street. It is surrounded by larger homes, primarily constructed in the 1910s and '20s when the 300-block of Hillside took form. These include the Cockins House (317), built for California health seeker Anna Lee Cockins; the Seligman House (321), a sprawling home with a manicured front lawn, commissioned by James L. Seligman; and — directly across the street — the Dunn House, a sizeable Pueblo-style home built for banker Carlos P. Dunn. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: c.1921 <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: Sanborn Fire Insurance Maps, newspaper accounts, city directories, property records		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor
parcel lines are not accurate



17. Surveyor:
 (your name, address, telephone number, and any group affiliation)

John W. Murphey
 Architectural Historian
 Architectural History Services
 505-577-7593/707-583-7819
John@archhistoryservices.com
 w/ Giulia Caporuscio

For: Current owner: 346 Hillside LLC/Martinez
 Architecture Studio PC

18. Owner (if known) and other knowledgeable people:

Current owner: 346 Hillside LLC

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
 Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
 See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
 If yes: State National
 If 'no' or unknown, do you think this property is eligible for listing? No Yes
 Why? See Evaluation of Historical Status

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
 If yes: Significant Contributing: House Non-contributing No Status ? – Studio
 Per City of Santa Fe official designation map
 If 'yes', what is the name of the district? State National City of Santa Fe:
 Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2
 HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria A B C D

1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319 4. County: Santa Fe 5. Date of Survey: October 17, 2022
---	---	--

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:	7. Number of Stories: _____ N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: _____ N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input checked="" type="checkbox"/> Stone Other: Notes 9. Roof: _____ N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input checked="" type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:
--	--

10. Window Types House and Studio <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Wood</td> <td>3/1</td> <td>10</td> </tr> <tr> <td>Double-Hung</td> <td>Clad</td> <td>1/1 paired</td> <td>2</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>1</td> <td>1</td> </tr> <tr> <td>Casements</td> <td>Wood</td> <td>1</td> <td>3</td> </tr> </tbody> </table> <p>Note: Based on visibility and access during survey</p>	Operation	Material	Glazing	Number	Single-Hung	Wood	3/1	10	Double-Hung	Clad	1/1 paired	2	Fixed	Wood	1	1	Casements	Wood	1	3	11. Door Types House and Studio <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>T&G</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>10-light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>2-Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Full-Glass</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table> <p>Note: Based on visibility and access during survey</p>	Type	Style	Material	Number	Single-Leaf	T&G	Wood	1	Single-Leaf	10-light	Wood	1	Single-Leaf	2-Light	Wood	1	Single-Leaf	Full-Glass	Wood	1
Operation	Material	Glazing	Number																																						
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Single-Leaf	2-Light	Wood	1																																						
Single-Leaf	Full-Glass	Wood	1																																						

12. Chimneys <input type="checkbox"/> one, exterior, stone, east elevation	13. Porches <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap
---	---

14. Other Significant Features N/A

15. Modifications: No known modifications

- #1 Date: 1948-1958; addition to southeast corner; Sanborn maps and aerial photographs
- #2 Date: Unclear; alteration to south elevation; visual observation
- #3 Date: late 1960s; alteration of garage and construction of Studio; aerial photographs

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input checked="" type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

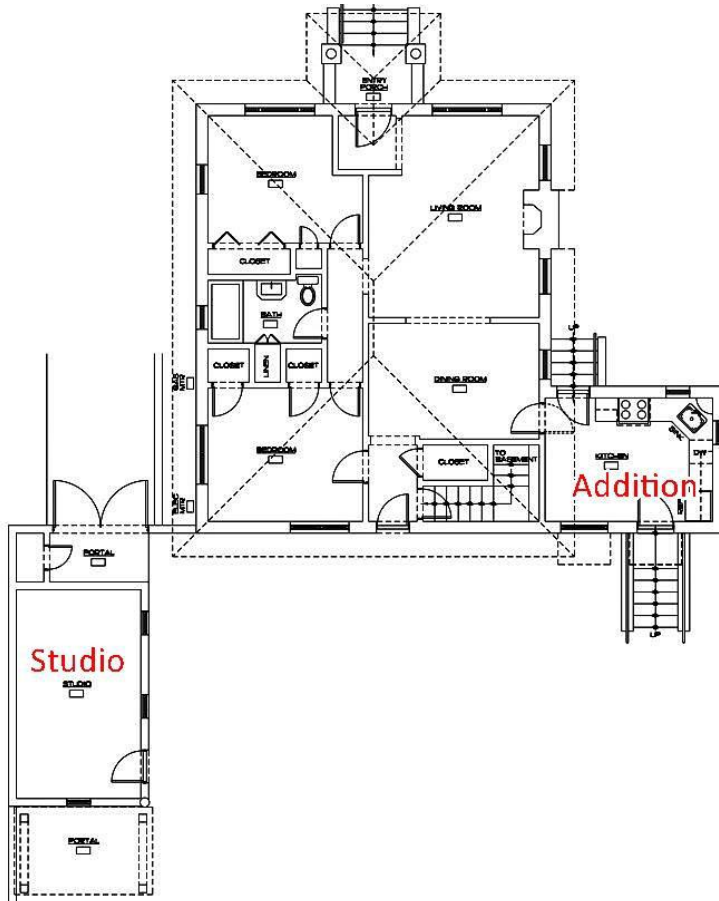
Historic Preservation Division Land Use Department City of Santa Fe 200 Lincoln Avenue Santa Fe, NM 87504 (505) 955-6605 https://www.santafenm.gov/land-use/historic-preservation	Archaeological Records Management Section Laboratory of Anthropology 708 Camino Lejo Santa Fe, NM 87501 (505) 476-1320 https://nmhistoricpreservation.org/arms.html
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SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Existing floor pan, Courtesy Martinez Architecture Studio PC, November 9, 2022.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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		NRHP	SRCP	Criteria A B C D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			

Architectural Description Continued

House

With a roughly 1,830-square-foot footprint¹, the house is a one-story, tile-constructed dwelling with an addition at the southeast corner (Field 19, Photo 2). It rests on a raised stone foundation enclosing a partial basement. A hipped roof with a pronounced overhang caps the original section; the addition is flat-roofed. Lightly textured stucco, painted in the mocha tone, covers its walls. The building is a cottage with a modest Craftsman influence confined to its basic form and front windows.

North – Façade

Its façade is divided symmetrically, with a central door flanked by large windows (Photos 1 & 3). Three concrete steps lead from the front walk to the entry. The bull-nosed opening holds a narrow tongue-and-groove door that appears original (Photo 4). The flanking windows are large openings — roughly 62” x 66” — containing a 3/1 wood sash bracketed by small three-light fixed units (Photo 5). While larger than usual, the combination window’s configuration resembles windows found on Craftsman bungalows.

A 60-square-foot porch shelters the entry. Large round posts with Colonial Revival-like capitals hold up the hipped roof structure. Supporting the posts is a low stone wall capped with concrete coping. The decking is older and made of tongue-and-groove siding (Photo 6).

West

Aside from the front façade, the west elevation shows the least change (Photos 7 & 8). This functional side of the building is plain and penetrated with rectangular openings fitted with 3/1 wood sash. They are positioned high along the wall, a few inches below the top plate.

¹ Measurements represent Santa Fe County Assessor field sketch calculations, and may not be accurate.

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South

Opening onto the backyard, the south side of the home shows alteration (Photo 9). It begins with the removal of a wood deck. While this feature was not original, the position of the back door, situated awkwardly several feet above grade, suggests stairs once existed below. Aerial photographs, starting with the clearest in 1968, show a short run of enclosed stairs leading to the back door (Figure 8). To the west is a set of newer sashes looking onto a bedroom. Overall, the south elevation’s fenestration seems altered. The limestone foundation runs roughly 41” to 45” above grade along this side.

Addition

Attaching at the southeast is the aforementioned addition. The 180-square-foot space holding the kitchen was erected at some point in the 1950s (Figures 4 & 5). It rises above the eaves of the hipped section and is crowned with a rounded parapet. The addition is entered from the yard by concrete steps leading to a glass door (Photo 10). A picture window is west of the door; below it is an exterior entrance to the basement.

The addition continues along the east elevation as a short façade with one wood sash window. It wraps to the north with another 3/1 wood window and a door painted with a scene featuring a century plant (Photo 11). Aerial photographs and a previous survey indicate this side of the building had a roof covering a patio (Figures 7-9).

East

North of the addition, the east elevation returns to its original presentation. Most striking about the façade is a rustic stone chimney cutting through the overhang (Photo 13). Unworked fieldstones, consisting of pink gneissoid granite, schist, quartzite, and other native material, are arranged in irregular courses. The rest of the façade is flat, containing three 3/1 wood sash windows.

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Interior

While not subject to HDRB review, the interior shows a mix of original and altered finishes. As is sometimes the case for this period in Santa Fe, the windows are reversed, with their casings and trim facing inward. Doors are standard wood panel units of the time. Passages between larger spaces are crowned with segmental arches.

Studio

The Studio, a small, box-like building, stands along the west property wall (Photos 15-17). The structure, enclosing roughly 312 square feet, appears to incorporate an older, and possibly partially disassembled garage (Photo 14).

The building is simple in its block and frame construction and has two windows and a door facing east onto the yard (Photo 16). All of these are modern, undivided-light units. Another window looks south onto a patio. A non-historic porch shelters this area (Photo 17).

A building of this size and shape appears on the 1968 aerial photograph (Figure 8).

Historical Overview

Second only to Palace, Hillside Avenue — with a name suggesting a broad, tree-lined street — is where Santa Fe’s wealthy and middle class clustered, starting around statehood. The straighter part of Hillside, between Paseo de Peralta and Harkins Lane, is populated by homes (some designed by architects) sitting on large lots. By the 1920s, the 300-block was solidly middle class, with all homes along the block owned by their occupants.

Here lived Charles Proebestel, manager of the Santa Fe Building & Supply Company; T. Harmon Parkhurst, the town photographer; Robert C. Ten Eyck, supervisor of the Denver & Colorado Railroad; James L. Seligman, retired merchant and antique dealer; Manuel B. Salazar, a justice of the peace; Anna L. Cockins, a Santa Monica health seeker, and others of a similar demographic.

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In some instances, live-in servants and renters were tucked into the larger household. Seligman’s household in 1920 included James and his wife Ruth, daughter Beatrice, and two servants: Reita Gonzales, 16, a cook, and Frances Martinez, 17, a maid. Both were Native American.²

Whitwell Home

Into this milieu arrived Fidella May Powers-Whitwell, the first known owner of the subject house. Born in Ohio in 1859, Fidella May Powers married Pleasant A. Whitwell, a Missouri native, in 1881.³ They took up residence in Jasper, Missouri, but divorced around 1920. Fidella, who used her former husband’s name, came to Santa Fe in the early 1920s. It is unknown what brought her to Santa Fe, but her daughter, De Etta, joined her, both taking up residence at 346 Hillside.

This originally five-room house was likely erected around 1920 over land historically owned by the Martinez family and, according to the King’s map, undeveloped until that time (Figure 1).

Like their neighbors, the Ten Eycks, mother and daughter became members of the Presbyterian Church on Grant Avenue.⁴ Fidella stayed home while De Etta worked at the city library, becoming the assistant librarian. She likely made waves in 1923 when she presented Sinclair Lewis’ then-controversial novel, *Babbitt* (1922), to the Santa Fe Women’s Club (Figure 2).⁵ Two years later, De Etta married Frank P. Woods, a rancher, at the Hillside home.⁶ De Etta would move out, leaving her mother alone.

From a newspaper advertisement, Fidella attempted to sell the house in May 1940.⁷ A month before, federal census takers found her at home, and recorded her information.

² U.S. Census Bureau, 1930, Census Place: Santa Fe, Santa Fe, New Mexico; Page: 12B; Enumeration District: 0014; FHL microfilm: 2341134.

³ Background information on Whitwell was gathered from various sources, including census enumerations, newspaper accounts, and public records.

⁴ “Presbyterians Plan to Spend \$17,500 on Church,” *Santa Fe New Mexican*, April 7, 1921, 3.

⁵ “Miss Whitwell Will Review Lewis Book,” *Santa Fe New Mexican*, March 12, 1923, 8.

⁶ “Miss De Etta Whitwell Weds Frank P. Woods,” *Santa Fe New Mexican*, October 20, 1925, 2.

⁷ “Sale,” *Santa Fe New Mexican*, May 20, 1940, 6.

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She lived alone at 80 and did her own housework.⁸ She owned the home outright, and it was valued at \$4,000.

Fidella lived in the house for another five years and, after deteriorating health, moved in with her daughter on Agua Fria Street. Fidella May Powers-Whitwell died on the evening of April 4, 1948, at age 87.⁹

The Fegans

The house was sold to Oscar and Margaret Fegan, who would be the second-longest owners of the property. Born in 1897 in Durango, Mexico, Oscar George Fegan was a trained engineer who arrived in Santa Fe after the war. He graduated from the College of Mines and Metallurgy in El Paso and had served 30 years in the army, rising to the rank of colonel.¹⁰ He entered the Quartermaster's Corps in World War I and became a commanding officer in the following war, overseeing ordnance depots in Arizona and Illinois.¹¹

After retiring as a full colonel and moving to Santa Fe, he worked as an appraiser in the State Highway Department's right-of-way division. Margaret, 20 years younger, had grown up in Illinois, where the two met when Oscar was stationed at the Rock Island Arsenal.¹²

The 1950 census recorded the family soon after moving into the Hillside home. The household included Oscar, 52, Margaret, 32, and two sons, Frank, 16, and George, 14.¹³ The Fegans lived in the home for nearly 20 years. Newspaper notices from the period

⁸ U.S. Census Bureau, 1940, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: m-t0627-02452; Page: 61A; Enumeration District: 25-20A.

⁹ "Whitwell, Mrs., Fidella, 87" *Santa Fe New Mexican*, April 5, 1948, 3.

¹⁰ Background information on Fegan was gathered from various sources, including census enumerations, newspaper accounts, and public records.

¹¹ "Col. Fegan Dies Here," *Santa Fe New Mexican*, July 17, 1969, 2.

¹² "Margaret Toppel. Col. Oscar Fegan, United in Marriage," *Quad-City Times*, May 2, 1946, 5.

¹³ United States of America, Bureau of the Census; Washington, D.C.; Seventeenth Census of the United States, 1950; Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 12; Enumeration District: 26-14.

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show Margaret involved in various charity work. This included hosting events at the home tied to her work with the St. Mary’s Guild and the St. Nicolas Bazaar organizations of the Episcopal Church (Figure 6).¹⁴

Oscar retired from the highway department in 1966 and died three years later at age 71. Margaret moved to Hawaii, later remarrying, and the Hillside house appears to have turned into a rental. The names of individuals tied to the house during this period are obscure. They include George Gallatin Gordon, who died in the home of an apparent suicide by drug overdose on July 8, 1974.¹⁵

Around 1995, Joel and Lisa Kantor purchased the property, and used it for 25 years as a second home.¹⁶ It was again on the market in 2021, with the current owner acquiring it.

Evaluation of Historical Status

The recommendation is to maintain Contributing status for the House, with the north elevation recommended as the primary façade, as it represents the best-preserved and most architecturally significant aspect of the building, communicating its original design and period of association. Recommend Noncontributing status for the Studio, reflecting its late construction, modest architecture, and alteration.

¹⁴ “St. Mary’s Guild to Meet at Fegan Home,” *Santa Fe New Mexican*, February 9, 1958, 17; “Zozobra Cookies are Newest Feature for Fiesta Decoration or For Munching,” *Santa Fe New Mexican*, August 18, 1963, 19.

¹⁵ “Man Found Dead at Hillside Home,” *Santa Fe New Mexican*, July 9, 1974, A-2.

¹⁶ Cathy Griffith, Telephone conversation with John Murphey, November 7, 2022.

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Illustrations

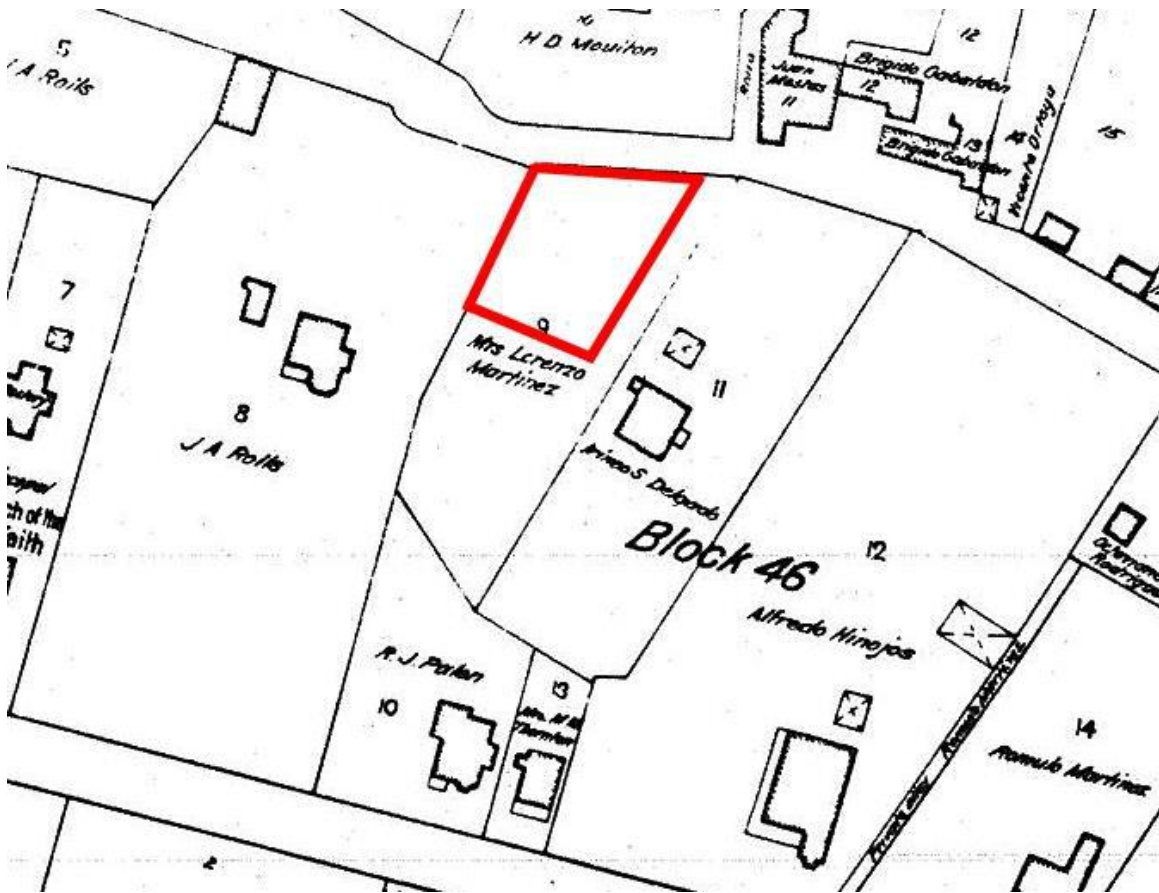
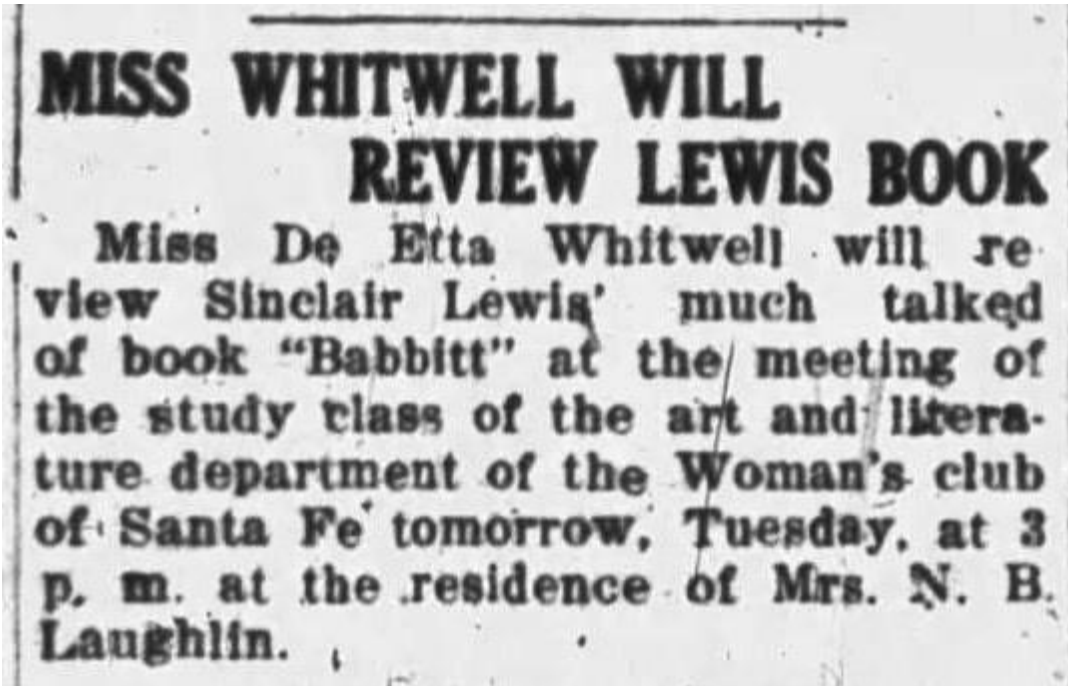


Figure 1: 1912 King's map. Red outline indicates roughly the parcel lines for the current property.

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**Figure 2: 1923 announcement of De Etta Whitwell’s reading of *Babbitt*.
 Courtesy Santa Fe New Mexican.**

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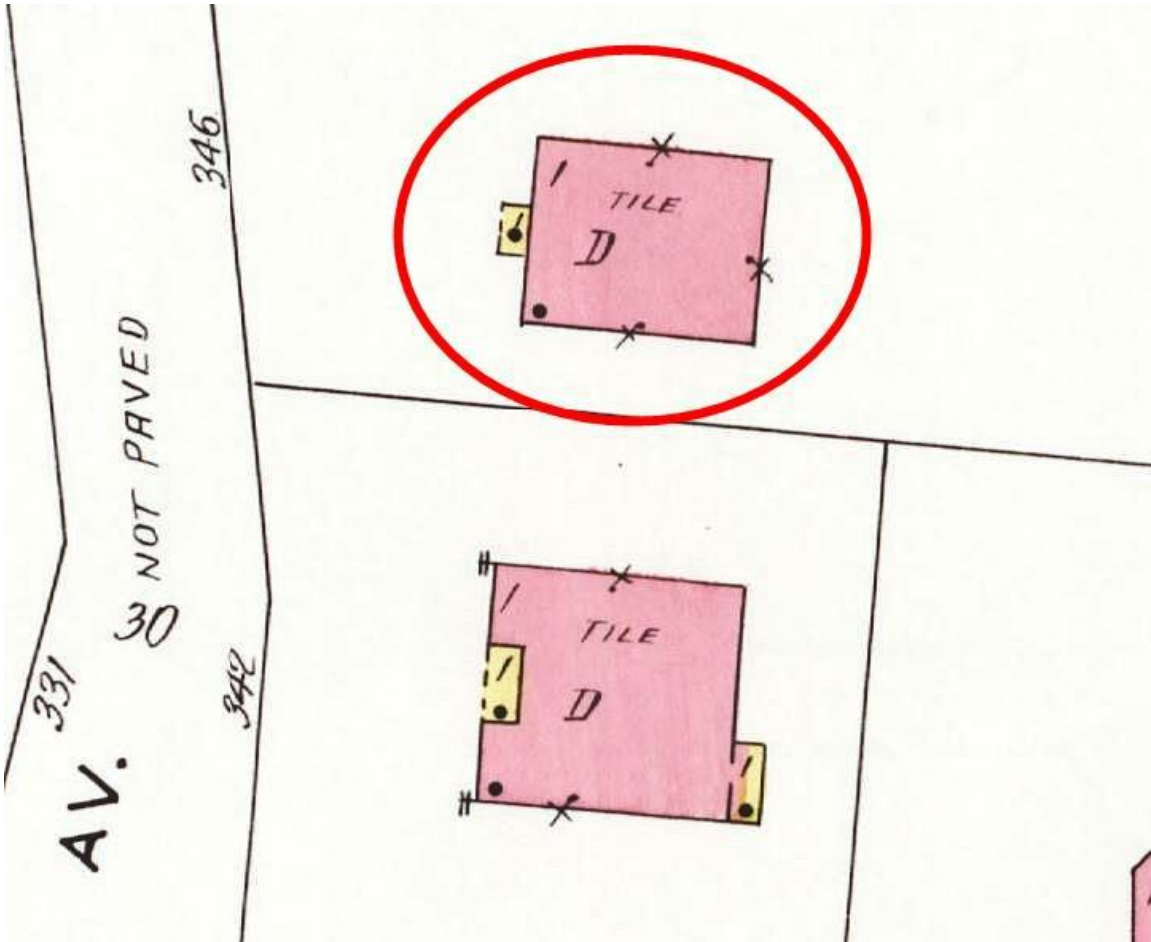


Figure 3: 1930 Sanborn Fire Insurance Map, Sheet 9.

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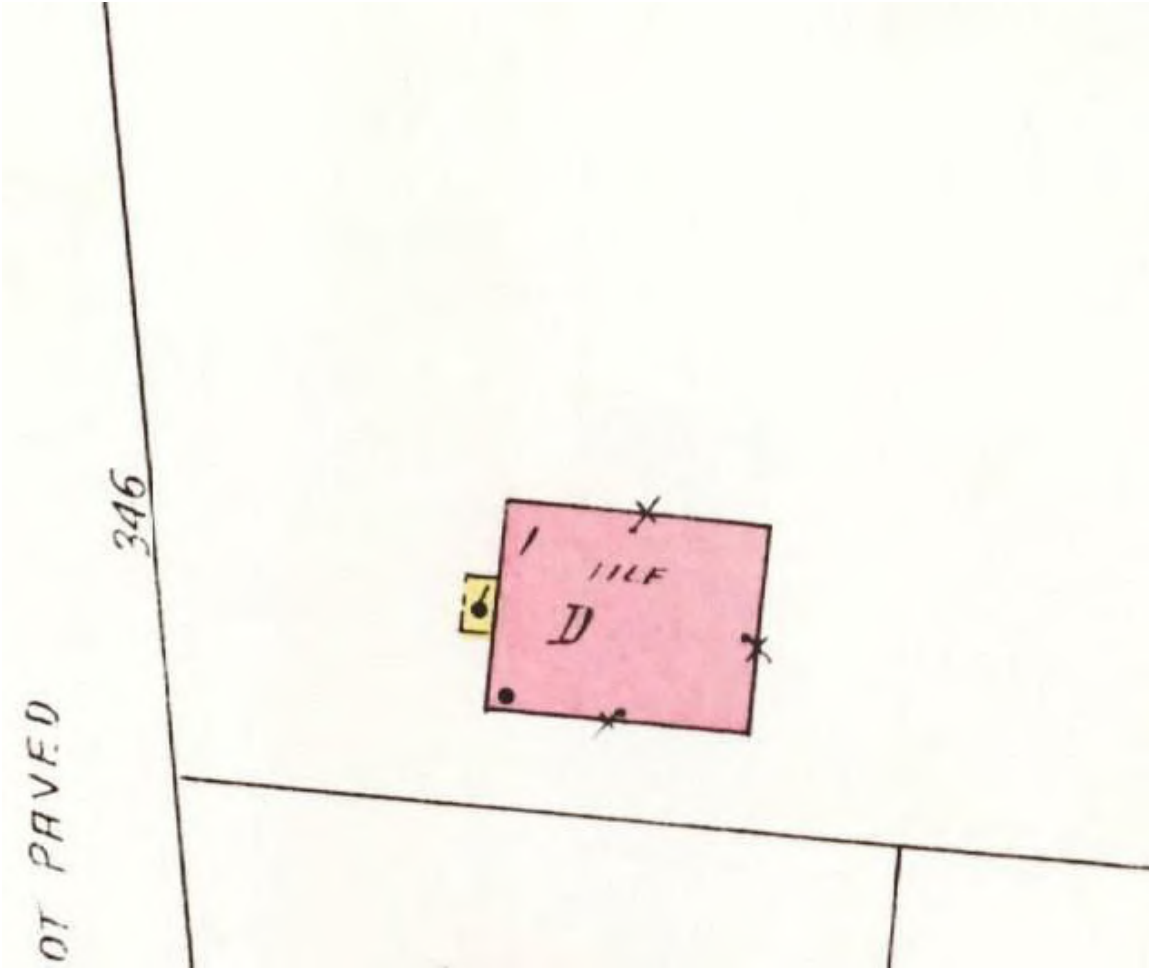


Figure 4: 1930/1948 Sanborn Fire Insurance Map, Sheet 9.
 Note no presence of garage or addition.

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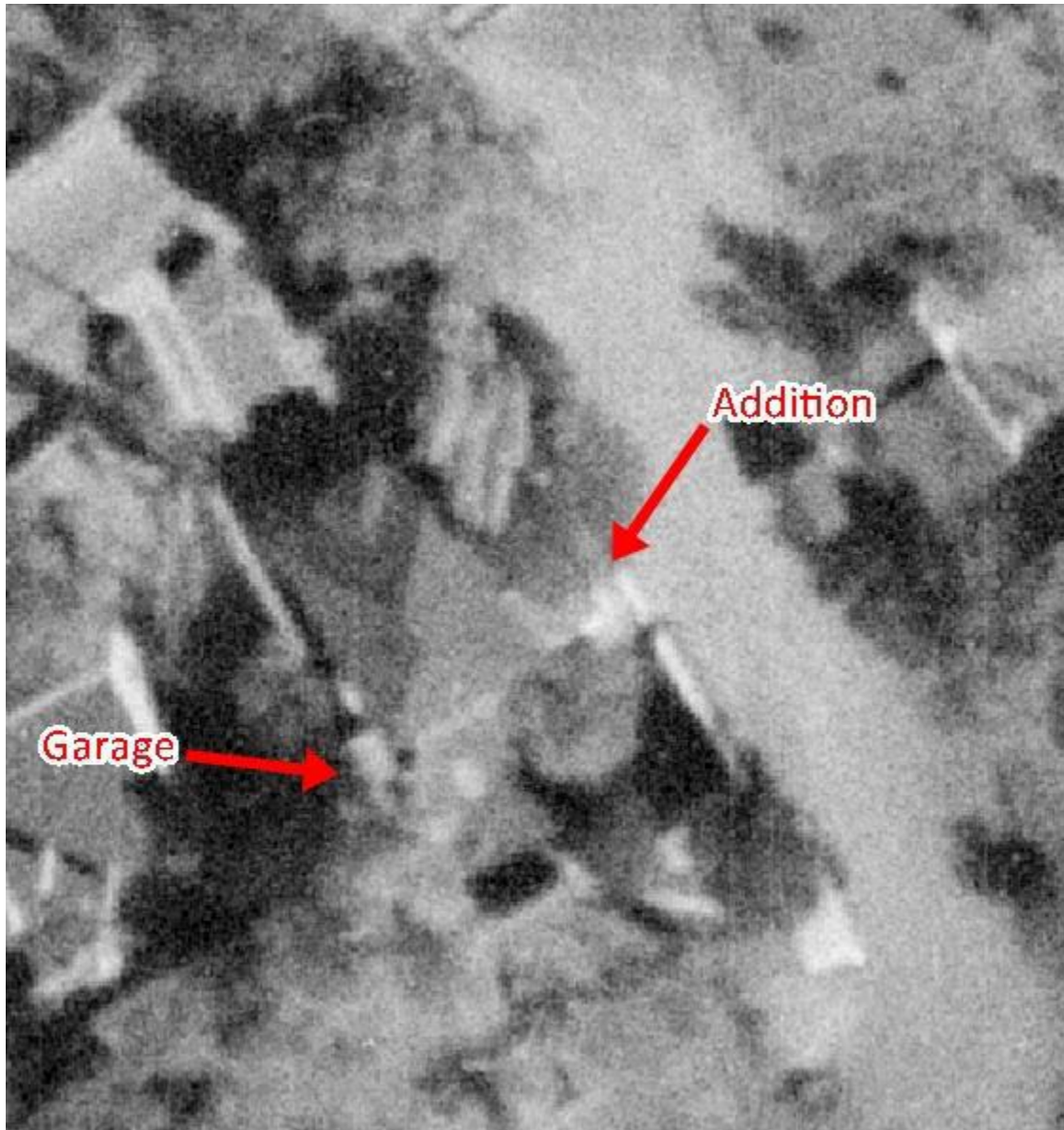


Figure 5: November 10, 1958, Aerial Photograph, Image 1.

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Figure 6: 1963, Margaret T. Fegan preparing Zozobra cookies.
 Courtesy Santa Fe New Mexican.

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Figure 7: May 2, 1966, Aerial Photograph, Image 16.

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Figure 8: February 2, 1968, Aerial Photograph, Image 2.

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Figure 9: May 11, 1973, Aerial Photograph, Image 6.

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Survey Photographs

(All images taken by Giulia Caporuscio, October 17, 2022, unless otherwise noted)



Photo 1: Front (north) façade. Camera facing south.

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Photo 2: Partial north façade with addition at rear. Camera facing south.

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Photo 3: North façade entry. Camera facing south.

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Photo 4: North façade, detail of front door. Camera facing south.

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Photo 5: North façade, detail of combination window. Camera facing southeast.

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Photo 6: North façade, detail of porch decking. Camera facing east.

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Photo 7: Northwest corner. Camera facing southeast.

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Photo 8: Partial west elevation. Camera facing east.

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Photo 9: South elevation. Camera facing northeast.

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Photo 10: Addition, south elevation. Camera facing north.

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Photo 11: Addition, east elevation. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 12: Addition, north elevation. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 13: East elevation. Camera facing southwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 14: Former garage, north elevation. Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 15: House and Studio. Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 16: Studio, east elevation. Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Whitwell/Fegan House	2. Location: 346 Hillside Avenue Downtown and Eastside Historic District Santa Fe	3. Local Reference Santa Fe ID #: H-2319			
		4. County: Santa Fe			
		5. Date of Survey: October 17, 2022			



Photo 17: Studio, south elevation. Camera facing north.



NORTH



NORTH & EAST

MARTINEZ
ARCHITECTURE
STUDIO PC

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505-989-4958 studio@martinezarch.com

DAVIS RESIDENCE
346 HILLSIDE AVENUE
SANTA FE, NEW MEXICO

NORTH & EAST
ELEVATION
NOVEMBER 14, 2022



EAST



EAST

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SOUTH & SOUTHWEST
ELEVATION
NOVEMBER 14, 2022



SOUTH



SOUTH

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SOUTH & SOUTHWEST
ELEVATION
NOVEMBER 14, 2022



STUDIO - SOUTH



SOUTH & EAST

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STUDIO
SOUTH & EAST
ELEVATION
NOVEMBER 14, 2022



STUDIO - NORTH



WEST

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STUDIO
NORTH & MAIN HOUSE
WEST ELEVATION
NOVEMBER 14, 2022



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MAIN HOUSE & STUDIO
SOUTH & EAST FACADE
REAL ESTATE PHOTO
NOVEMBER 14, 2022