



AGENDA

HISTORIC DISTRICTS REVIEW
BOARD
NOVEMBER 08, 2022
5:30 PM
CITY COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICTS REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

- A. ROLL CALL
- B. APPROVAL OF AGENDA
- C. APPROVAL OF MINUTES:
 1. October 25, 2022
- D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW
 1. 2022-005791-HDRB. 504 E. Palace Ave.

2. 2022-005595-HDRB. 504 E. Palace Ave.
3. 2022-005970-HDRB. 645 Palace Ave Unit 1.

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

1. 2022-005877-HDRB. 127 & 127 ½ E. DeVargas St. Contributing. Dale Zinn, agent for Betty Caldwell Irrevocable Trust, Owner, proposes to remodel a 612 sq.ft. studio by adding a 180 sq.ft. portal and a 15 sq.ft. firebox, window, door, and yard wall alterations. (Angela Schackel Bordegaray, asbordegarary@santafenm.gov)
2. 2022-005346-HDRB. 1204 Canyon Rd. Downtown and Eastside Historic District. Gerald Valdez, agent for Fred and Josie Lucero, owners, requests approval for alterations to a previously approved case that include: window and door alterations, construct free-standing 540 sq.ft. garage to a height of 12' (maximum allowable 19'-2"), raise parapets, add yard and retaining walls to non-contributing building. Applicant requests exceptions to SFCC 14-5.2(E)(1)(c) for window panes exceeding 30" in dimension in a publicly visible area and 14-5.2(E)(2)(b) for windows located less than 3' from the corner of a facade. (Angela Schackel Bordegaray)
3. 2022-005867-HDRB. 530 Camino Militar. Sibylle Mueller, agent for Alexis and Marshall Girard, owners, proposes to construct a 1,500 sq. ft., guest house to a height of 18'-3" where the maximum allowable height is 14'-3" in the Historic Review District. An exception is requested to 14-5.2(D)(9)(c)(iii) for an additional 4'-0" of height. (Carly Piccarello, cpiccarello@santafenm.gov)
4. 2022-005463-HDRB. 220 Rodriguez St. Brian Sarrazin and Stephanie Sandston, designers and owners, requests to remodel a contributing

residence in Downtown and Eastside Historic District. Exceptions are requested to sections 14-5.2(D)(2)(d) to construct an addition onto primary facades, 14-5.2(C)(1)(d) for additions/alterations that impact original form and integrity, 14-5.2(E)(1)(a) for additions in a style that is not of Old Santa Fe Style and 14-5.2(D)(5) to replace historic windows not in-kind. (Carly Piccarello)

H. NEW BUSINESS

1. 2022-005980-HDRB. 150 Washington Ave. Downtown and Eastside Historic District. Non-contributing. John Dick, agent for CTO Realty Growth, owner, proposes door and window alterations. (Angela Schackel Bordegaray)
2. 2022-005981-HDRB. 492 Arroyo Tenorio. Downtown and Eastside Historic District. Non-contributing. Will McDonald, agent for Rob Johnson, owner, proposes to add a 213 sq.ft. carport to a height of 9'-11" (maximum allowable height of 14'-4"). (Angela Schackel Bordegaray)
3. 2022-006017-HDRB. 600 Agua Fria St. Westside-Guadalupe Historic District. Contributing. Christopher Purvis, agent for Robbi Firestone, owner, requests a primary facade designation. (Ramon Sarason, rjsarason@santafenm.gov)
4. 2022-005993-HDRB. 518 and 518 ½ Calle Corvo. Downtown and Eastside Historic District. Contributing. William Kleinschmidt, agent for Nancy Abruzzo Holdings, LLC, owner, proposes to remodel of three (3) structures (1,050 sq.ft. main residence, 606 sq.ft. guesthouse and 260 sq.ft. garage) that includes: window and door alterations and replacements, yard wall and fence alterations, repairs and stucco. (Angela Schackel Bordegaray)
5. 2022-005994-HDRB. 802 E. Palace Ave. Downtown and Eastside Historic District. Non-contributing. John Granito, agent for Anna Voltura, owner, proposes to add 608 sq. ft.(height 13'-8" where the maximum allowable is 14'-10") to a 3,425 sq. ft. house. (Angela Schackel Bordegaray)

6. 2022-005984-HDRB. 523 Armijo St. Downtown and Eastside Historic District. Christopher Purvis, agent for Brendan Dolan, requests a status review for a non-contributing structure. (Carly Piccarello)
7. 2022-005982-HDRB. 1149 E. Alameda St. Downtown and Eastside Historic District. Non-contributing. Taylor Pardue, agent for Clive and Nancy Fairchild, owner, proposes addition 100 sq.ft. to the second story matching the existing height of the structure. (Carly Piccarello)
8. 2022-005983-HDRB. 834 Allendale St. Don Gaspar Area Historic District. Contributing. John Odell, agent for John and Betty Amarant, owner, proposes to remodel a contributing residence and create a 700 sq.ft. addition to a height of 12'-2" where the maximum allowable is 14'-0". Exceptions are requested to 14-5.2(D)(5)(a)(1) for window replacement on primary facade and 14-5.2(D)(2)(c) addition to a contributing wall. (Carly Piccarello)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, November 22, 2022

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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OCTOBER 25, 2022

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1. 2022-005970-HDRB. 645 E. Palace Unit	Approved	10-12
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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
OCTOBER 25, 2022 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Anthony Guida, Acting Chair, on the above date at approximately 5:30 p.m. at a meeting held at the Santa Fe Community Convention Center Lamy Room, 201 Marcy Street, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Ms. Madeleine Aguilar Medrano
Ms. Jennifer Berkley
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida
Ms. Flynn G. Larson

MEMBERS ABSENT

OTHERS PRESENT:

Ms. Heather Lamboy, Assistant Land Use Director
Ms. Carly Piccarello, Historic Preservation Division Manager (on Zoom)
Mr. Frank Ruybalid, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello said since there is a full Board, the Board elections for Chair and Vice Chair could be heard under Discussion or Matters from the Board.

MOTION: Member Guida moved, seconded by Member Larson to approve the agenda.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. October 11, 2022

Chair Rios thanked the Board members and public for their comments.

MOTION: Member Guida moved, seconded by Member Larson to approve the minutes of October 11, 2022, as submitted.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2022-005878-HDRB. 905 Camino Ranchitos

MOTION: Member Larson moved, seconded by Member Guida to approve the Findings of Fact and Conclusion of Law as submitted.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

E. MATTERS FROM THE PUBLIC

Frank Katz, former H-Board member, and a Board member of the Old Santa Fe Association (OFSA) said he thought knowing some history about the new dormitory at the School for the Arts would help. In 1981 the New Mexico Supreme Court told the Land Office that the City had no authority to regulate the pumpjack front of the Land Office. In 2008 a City Attorney advised City Council that the law had changed, and the City could impose its standards on State buildings. A genial consultation resulted in a discussion by the City and State that led to an amendment to State law. Both the City and the State were pleased, and State law was amended. That law affects the dormitory. The process was also used with the County Courthouse with the design approved by the City, and the Wood Gormley School, with minor changes. The Board

said the design of the dorm was too close to the street and obscured the old Gallery building among others. The Board said the design was too boxy, too busy, too many facades and lacked architectural flow. The Old Santa Fe Association agreed.

Mr. Katz said he wanted to remind the Board of their ability to say the changes are not good enough. The Board at the end of the 60 days, has five days to submit to the State and local government Historic Review Board and have them review if that is the best that can be done. Rad Acton, on the OSFA Board suggested a possible revision which meets the objections voiced by the Board and does not change the programmatic structure. He hoped the Board would support the changes and push the state to make the changes that were submitted. He submitted the graphics from Rad Acton regarding his suggested changes.

Stefanie Beninato, via Zoom, said she agreed with OSFA on the dormitory. She hopes the school will consider a different design. Also, she wanted to point out that an artist who has a gallery on East DeVargas Street has an advertising sign a block from Old Santa Fe Trail, and the Old House recently put up an informational sign. She thought the House saw the other sign and decided to put up a large sign as well. She wondered why that is not being addressed.

F. STAFF COMMUNICATIONS

Ms. Piccarello said it is the time of year when they close out grant applications and apply for new grants. They received about 45 HCPIs for the Transition District with one grant they just closed. Also, staff submitted an application for the restoration of the main library and hope to use funds for a historic study and property survey.

She said staff is working on the 2023 hearing schedule. She will send that to the Board for finalization prior to the next hearing. She added that staff has one interview for the Senior Planner position to go before hiring for the position.

G. OLD BUSINESS

1. **2022-005791-HDRB. 504 E. Palace Ave.** Elisabeth Wagner, agent for Blair Naylor, owner, requests a primary facade designation for a contributing building in the Downtown and Eastside Historic District. (Heather Lamboy)
2. **2022-005595-HDRB. 504 E. Palace Ave.** Downtown and Eastside Historic District. Elisabeth Wagner, agent for Blair Naylor, owner, proposes to add a 36 sq. ft. elevator to a contributing building, requesting an exception to 14-5.2(D)(2) for an addition within 10' of a primary facade. (Heather Lamboy)

STAFF REPORT (PRIMARY FAÇADE)

At the August 23, 2022 the HDRB postponed consideration of this case and requested an updated HCPI in order to be able to make the most informed decision possible. The applicant then worked with John Murphy to complete a Historic Cultural Properties Inventory (HCPI) form. It is attached hereto and provides the historical context and evolution of the property.

Based on the building Historic Building Inventory form that was completed in 1985, the property is listed as contributing to the Downtown and Eastside Historic District. The square building was constructed by David Gonzales as a single-story duplex building in 1892, and then a second-story addition was added after to 1910. The second-story addition is reflected in the 1930 Sanborn Map. The Gonzales family owned the home until 1999. While the first floor is constructed of adobe, the second floor consists of brick construction. Historically the first-floor exterior walls were red smooth troweled plaster with mortar lines painted on the surface.

The house has defining Territorial Revival style features, which includes 2/2 double-hung windows with Territorial surrounds and a two-light Territorial style door. The porch with ionic columns is also characteristic of Territorial Revival style.

There is evidence of two additions on the south elevation. The first was constructed prior to 1930 and had a flat roof. In 1999 the addition was remodeled and a pitch was added to the roof as well as a portal on the west elevation of the addition.

STAFF RECOMMENDATION

Staff recommends the historic status of the structure be maintained as contributing, per 14-5.2(C) Designation of Significant and Contributing Structures. Staff also recommends that the north elevation (façade 2) as well as the east (façade 1) and west elevations (façade 3) (excluding the additions at the rear of the home) be designated as primary.

STAFF REPORT (ADDITION)

Based on the building Historic Building Inventory form that was completed in 1985, the property is listed as contributing to the Downtown and Eastside Historic District. The square building was constructed by David Gonzales as a single-story duplex building in 1892, and then a second-story addition was added after to 1910. The second-story addition is reflected in the 1930 Sanborn Map. The Gonzales family owned the home until 1999. While the first floor is constructed of adobe, the second floor consists of brick

construction. Historically the first-floor exterior walls were red smooth troweled plaster with mortar lines painted on the surface.

The house has defining Territorial Revival style features, which includes 2/2 double-hung windows with Territorial surrounds and a two-light Territorial style door. The porch with ionic columns is also characteristic of Territorial Revival style.

There is evidence of two additions on the south elevation. The first was constructed prior to 1930 and had a flat roof. In 1999 the addition was remodeled and a pitch was added to the roof as well as a portal on the west elevation of the addition.

At the August 23, 2022 the HDRB postponed consideration of this case and requested an updated HCPI in order to be able to make the most informed decision possible. The applicant then worked with John Murphy to complete a Historic Cultural Properties Inventory (HCPI) form.

Now, the applicant proposes the following exterior alterations:

1. Construct a 36 square foot, second-story addition on the south façade of the building to accommodate an elevator. The applicant states that the elevator is needed for elderly family members to be able to access the second floor. The 36 square-foot elevator will be incorporated into the existing one-story kitchen addition that was constructed on the south elevation in 1979. The kitchen addition is not publicly visible from E Palace Ave. The existing kitchen first-floor roof is 10'10" above finished grade. The elevator shaft will be visible above the first-floor roof to the top of the eaves on the second floor which are 20'4" above finished grade. The elevator addition will be set back from the east façade by 6".
2. The addition's stucco will be El Rey cementitious stucco "Sand" to match the existing stucco on the kitchen addition. The addition will have similar trim to the original building but will have different detailing to distinguish it from the original.

STAFF RECOMMENDATION

Staff finds that all the exception criteria have been met but the Board may find that they require further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

Member Guida confirmed that both staff reports were given, the status case and the addition.

Member Bienvenu asked if the front wall was designated and if not, could the Board designate it based on the notice. He noted Mr. Murphy recommended it as contributing.

Ms. Lamboy said the wall could be part of the status review. Staff believed originally it was a rock wall and extensively modified and not historic. She said she did not agree with the suggestion.

Member Bienvenu asked if the date of the modification was known.

Ms. Lamboy said the draft staff report said the change was in the 1990s, but the records were lost.

Chair Rios asked if she had indicated the rock wall was the same height as the stucco wall.

Ms. Lamboy said she would have to look at the staff report before answering.

Chair Rios said the first story of the building is about 130 years old and the second story about 122 years old. She thought the wall was added later and not historic. She said in those days' the walls were either very low or there were none. Rock walls seem to be common for this home, but not at this height.

Ms. Lamboy agreed. She offered to double check the height.

Chair Rios said normally they don't combine cases. She asked if anyone had questions on the primary façades in the first part of the case, or the elevator. There were none. She asked about the public visibility and who would be impacted.

Ms. Lamboy said visibility is mainly to the adjoining property owners to the east. Coming west on Palace you catch a view, but not substantially.

Chair Rios asked if staff had heard from the abutting property owners.

Ms. Lamboy said they received nothing from them, and none were present at the last hearing.

APPLICANT PRESENTATION

Elizabeth Wagner, 810 Palace Avenue was sworn. She said she thought the north and west elevations are primary, but the east elevation was not as important. It is only visible from a private driveway. She noted the property owner was present and had talked with the owners in the back and they said they approve of the project.

Chair Rios asked if Ms. Wagner thought the east elevation had character defining features.

Ms. Wagner said it does and mirrors the west façade, but it is an obstructed view and not visible. She noted in Mr. Murphy's updated survey that he said the rock wall was a 3-4 foot wall typical of that time.

Chair Rios agreed. She asked if Ms. Wagner knew about the elevator.

Ms. Wagner said she asked for an exception anticipating the east elevation would be primary. An addition has to be 10 feet from the primary and they prefer to put the elevator in the addition. She said if denied, plan B is to put the elevator in the four-room historical footprint. They would enter the elevator from the kitchen and go up to the second floor and exit into the children's bedroom. That would be for ADA accessibility for the owner's parents.

Member Larson agreed with Option A adding the elevator in the addition. She asked Ms. Wagner to expand on her reason for minimizing impact to the historic portions because it is important for the record.

Ms. Wagner said if the elevator is on the interior it will encroach on and impact the original 1892 floorplan. She said the plan as proposed is the best.

Member Aguilar Medrano said to her this is the reason exception criteria exists. The family has been living here for 23 years and has invested in the house. She took from the letter that they love the house and have carefully maintained it. Exception criteria exists to allow people to age in place and continue living in their home. She said she is also in favor of adding the elevator into the addition.

PUBLIC HEARING

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn. She asked the Board to consider all three façades in the status case. The mirroring of the east and west façade is important, and the east has character defining features, even if not visible. She said before requesting an exception you were to look at alternative designs. She suggested alternative designs could be to have the bedroom downstairs, or put the elevator where the stairs are, which would be minimally disruptive.

BOARD DISCUSSION (PRIMARY FAÇADE)

Member Guida said he favors the applicant's suggestion to designate two facades. The east façade is more utilitarian because of the addition. The west façade

conveys character defining elements. He said the test for a primary façade should not be that it *just* has character defining elements, those can be noted in the motion. He favors the more conservative north and west elevations as primary.

Member Biedscheid asked if anyone else sees the case differently because the west and east are almost identical. She thought that important. She wondered if that is a reason to treat it differently than they would normally.

Member Guida said the symmetry issue is fully captured on the north façade. The west façade is nice and a reason to preserve it and keep the cubic volume of the house. He said that the east façade matches, is not as important.

MOTION: In 2022-005791-HDRB, 504 E. Palace Ave., Member Guida moved to maintain the contributing status of the residence and designate the north and west facades as primary, excluding the 1990s porch added to the front of the house, and to have no status on the wall. The motion was seconded by Member Larson.

VOTE: The motion failed by (3-4) roll call vote with Members Biedscheid, Guida and Larson voting in favor and Members Aguilar Medrano, Berkley, Bienvenu and Chair Rios voting against.

MOTION: In 2022-005791-HDRB, 504 E. Palace Ave., Member Bienvenu moved to designate the east, north and west facades as primary adopting staff's reasoning and to maintain contributing status and designate the wall as non-contributing.

Chair Rios asked if anything is excluded.

Member Bienvenu added this excludes the addition on the south side.

Member Aguilar Medrano seconded the motion.

VOTE: The motion passed by (5-1) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Larson voting in favor and Member Guida voting against.

Member Biedscheid said the motion did not exclude the front portal which is not historic.

Member Bienvenu said he did not designate the portal because it is noncontributing but would accept that as a friendly amendment. He

clarified specifically he designated the wall as *noncontributing*, not just that it has no designation.

Attorney Ruybalid asked for the votes to be restated so those voting prior to the friendly amendment have the opportunity to change their vote.

All members in the revote, voted the same as their original vote.

BOARD DISCUSSION (ADDITION)

Member Larson said this is a sensitive addition. People should be able to make historic buildings more accessible and they should work for people, rather than the opposite.

MOTION: In 2022-005595-HDRB, 504 E. Palace Ave., Member Larson moved to approve the application as submitted, finding that exception criteria have been met for the addition to be 10 feet on a primary façade and the addition is sensitive and compliant with the needs for the design and numbers 1 and 2 of the application. The motion was seconded by Member Biedscheid with comment, "This is how an addition should be done."

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

H. NEW BUSINESS

1. **2022-005970-HDRB. 645 E. Palace Unit 1.** Downtown and Eastside Historic District. Christopher Purvis, agent for Richard Reynaldo, owner, proposes alterations to Case H-17-023 that include a 100 sq. ft. addition; window, door and portal alterations on a non-contributing building. (Angela Schackel Bordegaray)

STAFF REPORT

645 East Palace Avenue Unit 1 is a 1,745 square foot single-family residence and a 425 square foot free-standing garage constructed in the mid-to late 1950s in a vernacular manner with Territorial surrounds. The structures are listed as non-contributing to the Downtown and Eastside Historic District. The board approved an extensive remodel at its March 28, 2017, board meeting (Case H-17-023). All items were approved. The proposal included:

1. Adding a 265 square foot addition on the southwest elevation.
2. Adding a 530 square foot addition to the north and east elevations.

3. Adding a 100 square foot portal on the southeast elevation.
4. Raise parapets to 14' – 11."
5. Reconfigure windows on the southwest elevation. Add true divided lite white-clad French doors and true divided lite double-hung windows.
6. Restucco main house with cementitious El Rey's "Buckskin."
7. Relocate fireplace.
8. Replace and reconfigure the existing windows on the northeast side of the main house with new white clad insulated TDL double hung.
9. Add a 5' coyote fence.
10. Construct a low stuccoed masonry retaining wall.
11. Restucco shed to match main house.

The buildings are under construction to meet the board's approval. The applicant returns to the board with alterations to its previously approved project. The current proposal reduces the originally proposed additions by 175 square feet at the northwest corner of the house and at the east portal. Proposed changes are listed below.

Northwest elevation:

1. Reduce the number and size of windows.
2. Move the proposed fireplace further to the west end.

Southeast elevation:

3. Reduce the portal size and add French doors.

Northeast elevation:

4. Remove proposed portal.
5. Change proposed windows to French doors.

Southwest elevation:

1. Add 195 square foot portal.
2. Construct a 265 square foot addition.
3. Add window to approved double set of windows.

Stucco color will be El Rey buckskin to match existing house. All new windows shall be white-clad insulated true divided lite double-hung windows. Portal will be rough sawn pine stained natural.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT PRESENTATION

Christopher Purvis, 518 Old Santa Fe Trail, was sworn. He said they learned that where they planned to add the master suite, the northern piece, the wall had hardly any structural adobe left and the vigas above were rotted. They pushed the master suite into the building more. He noted on the floor plan the red area that was originally approved. The southwest side and master suite is further integrated into the building. They moved the fireplace from the middle of the living room to the corner. They are asking for approval to push the laundry room out.

Member Guida asked, referring to the floor plan, if the kiva was on the drawing.

Mr. Purvis noted the kiva on the bottom of the plan. He added they also reduced the window count.

Member Guida said it looks better.

PUBLIC HEARING

Ms. Beninato, previously sworn, said she wasn't able to see the elevations discussed and it was hard to follow the questioning. She thought the changes were okay on a non-contributing building but wondered why it took so long to come back to the Board.

BOARD DISCUSSION

MOTION: In 2022-005970-HDRB, 645 E. Palace Unit 1, Member Guida moved to approve the project as submitted with the changes as itemized in the packet and that the applicant submit an updated floor plan to staff on the relocated fireplace in the living room. The motion was seconded by Member Larson.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

2. **2022-005471-HDRB. 110 Calle la Pena.** Downtown and Eastside Historic District. Peter Wilson, agent for Kevin Scott, owner, proposes three portal additions totaling 543 sq. ft., window and door alterations, raise parapet height (14'); rebuild and extend courtyard portal; re-stucco on a contributing building. Exceptions are requested to 14-5.2(E)(1)(a) for doors that are not of Old Santa Fe Style. (Carly Piccarello)

STAFF REPORT

110 Calle la Peña is a 2,807-square-foot two-story residence with attached casita, listed as contributing to the Downtown and Eastside Historic District. Constructed in the late 1940s, the Spanish-Pueblo Revival Style U-shaped structure began as a simple one-story adobe rectangle with its entrance on the south elevation. A two-story addition was constructed on its east elevation and a rear casita was connected on its west elevation in the 1950s. The two-story portion is the house's front today. A rear courtyard casita was added and the south entry portal was infilled. The building consists of three separate apartments currently.

Its defining features include its eastern elevation with its shallow inset balcony, carved wood railing, and steel windows of varied sizes and lite patterns. Windows are single-pane fixed, double-pane divided lite, steel-frame casement windows and glass block. Its north elevation contains a large plate-glass window believed to have been designed for an artist's studio, per the applicant-provided 2022 Historical Cultural Property Inventory. The aluminum window is 11'2" x 8'8". The windows have exposed wood lintels that extend beyond the window and door widths. The 6' stucco east yard wall and gate arches were added since 1990.

Both the 1991 and 2022 Historic Cultural Property Inventory forms describe the multiple historic alterations between its original construction in 1948 and subsequent five decades. The applicant also included a history of the property's original developers and builders and the construction history of the main building and casita. According to the applicant's history, the developer of the subdivision that is now Calle la Peña was H.H. Dorman (Harry Howard) "who recognized Santa Fe's unique buildings and urban form and was an early advocate of historic preservation in Santa Fe." The applicant's background research states that many of Dorman's proposals for preservation became part of the 1957 City ordinance that formed the basis of today's Historic Preservation Code. Of note, the recent (2022) HCPI states that the "Calle la Peña covenants allowed for only Pueblo or Spanish Colonial Style."

The historic building with its multiple historic accretions contributes to the Downtown and Eastside Historic District as the original house in an uncommon cul-de-sac layout and built originally of adobe in the Spanish-Pueblo Style architecture. Its additions, including its second story and rear casita, are historical alterations that maintain its historic character. Its historic construction "story" includes its various construction methods and materials.

On July 12th, 2022, in case 2022-005345-HDRB, the HDRB maintained the structure's status as contributing. The Board designates the east elevation of the main house the primary façade, facade 1 (including 1(a) and 1(b)).

Now, the applicant proposes the following exterior alterations:

East Façade (Primary)

1. Retain the existing wood Door #1 contrary to the scope letter.
2. Replace existing wood Door #11 on second floor with a new aluminum clad front door without sidelights, contrary to the scope letter, in the existing opening.
3. Replace cable railing on second floor with wrought iron railing in the same location and matching the existing height.
4. Add a carved wood pedestrian gate to the curved courtyard wall and extend wall, which is non-contributing.
5. Add masonry pillars to form a roof over the gate.

North Façade

6. Construct a 139 sq.ft. Spanish Pueblo Revival style portal on the existing yard walls with timber beams, columns and corbels and a stucco parapet at 11'-0".
7. Replace existing steel windows with aluminum clad wood windows.
8. Add an 18" deep corbel and latilla overhang at this door.
9. Replace aluminum storefront window 'B' with a new aluminum clad wood divided light window. The existing opening and lintel will be preserved.
10. Replace the wood fence with a 6'-0" masonry and stucco yard wall with carved wood gate.

West Façade

11. Construct an 80 sq.ft. timber and latilla Spanish Pueblo Revival style portal.
12. Raise the studio's parapet height by 2'-9", raise the floor level 8" to address site drainage. The existing non-historic ceiling beams are 7'-7" high. The overall proposed height of the Studio parapet from lowest natural grade is 12'-3".
13. Replace existing window E with a new aluminum clad wood and glass door 4 using the existing window opening.

South Façade

14. Remove exterior non-historic, wood stair.
15. Raise the parapet and floor level of the studio as noted above.
16. Replace window J with a new aluminum clad wood window in the same location but larger than the original.

Courtyard Façades

17. Remove enclosed portal and windows U, V, W & X and wood and glass door #15.
18. Construct an approximate 700 square foot Spanish Pueblo Revival style portal which wraps the east, south and west sides of the courtyard. The proposed height of the new portal is 11'-6".
19. Add two aluminum clad wood and glass double doors #7 and #8.

20. Raise the parapet and floor level of the Studio as previously noted.
21. Replace existing steel Window K with a new clad wood window matching the size and pattern of the existing window. The new window matches the location of the existing window.
22. Replace existing wood Door #6 with a new clad wood and glass door matching the size of the existing door.
23. The new door's location is the same as the existing door.
24. Replace existing steel Window L with a new clad wood window matching the size and pattern of the existing window. The new window matches the location of the existing window.
25. Replace existing glass block windows with an aluminum clad wood window.
26. The entire facade will receive new El Rey buckskin color cementitious stucco with fine aggregate.

All Façades except the east and primary

27. Replace all windows on the north, west and south facades with double glazed thermally broken metal clad Marvin Signature Ultimate Narrow Frame casement clad wood windows in Ebony with 5/8" square divided light muntins
28. Replace all doors on the north, west and south facades with except for Doors #1 and #9 with Marvin Ultimate Swinging Narrow Profile Door aluminum clad wood in Ebony with 5/8" square divided light muntins. Replacement Doors #1 and #9 are custom steel doors in ebony.

All Facades

29. Re-stucco in El Rey buckskin color cementitious stucco with fine aggregate.

West Courtyard Facade

Extend roof cover and add clad wood and glass Door and Sidelights #9 in existing breezeway opening.

Add clad wood and glass Window N in existing wall Replace existing glass block Window P with a new clad wood and glass Door #10. The new door uses existing window opening.

Add clad wood and glass Window Q in existing wall

STAFF RECOMMENDATION

Staff does not find that any of the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff does not recommend approval of the application as for its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

Due to the substantial changes to the doors and character defining windows as proposed, staff believes that this may also impact the contributing status of the building. The alteration of windows to doors also removes historic materials.

Member Guida asked the specific exceptions being requested.

Ms. Piccarello said the style for the 7 non-historic doors. Looking at replacements, additions and remodels are required to maintain the style of the building. Then staff looks at whether the building status will be threatened. In this, the number of changes, including the style of the door, is a concern.

Member Guida said the only one is the upstairs door on the primary façade.

Ms. Piccarello said the exception applies not just to primary façades but the entire building. Potentially it would undermine the National Registry Nomination to look at it in any other way.

Chair Rios asked if she felt the doors were not in keeping the house's historic status and have too much glass and are too modernistic.

Ms. Piccarello said this is looking at a lot of glass. They see in houses of this time, a lot of carved wooden doors and some glass doors. The proposal is a standard door that is used throughout the house. Often, they see doors more in the midcentury range but this not a consistent style seen back then. Staff's primary concern is that this changes the design and appearance and the era of the building.

Chair Rios confirmed staff's position was that the doors negatively impact the contributing house. She asked to confirm the windows were not part of the exception, and most were steel casement.

Ms. Piccarello said she was correct. The window patterns for the proposed replacements do not follow the pattern of the existing windows in all cases. She will defer to the applicant as to why they chose the window. The pattern change is mostly on nonprimary façades, but they do have a similar appearance. The pattern on the primary façade is maintained.

Chair Rios asked if a change to the size of the opening was proposed.

Ms. Piccarello said not on the primary façade, but the north façade has a window to door and the courtyard windows will change. She said specifically the garage has one window that will change to four windows. And two larger windows change to a door and two smaller windows on nonprimary façades.

Member Bienvenu said this is before the Board primarily as exception criteria, meaning staff determined exception criteria must be met for this to be approved. He said there seems three possibilities why exceptions are required; one is the changes would alter the status. He asked if along preservation lines, the removal of historic materials significant to the structure is another reason criteria were triggered.

Ms. Piccarello said windows fall under specific areas but with this many historic windows removed one exception starts to push other exceptions. Staff uses just one rather than the applicant choosing what is most appropriate.

Member Bienvenu said another possible reason to require exceptions here was implicated in the staff report. The windows and doors do not meet the style standards in subsection E.

Ms. Piccarello said that was one of the primary reasons for looking at this.

Member Bienvenu asked her if she considered the house Recent, or Old Santa Fe style.

Ms. Piccarello said it is a little of both. It has adobe, a main defining feature of the Old Santa Fe style, but its building periods move into Recent Santa Fe style.

APPLICANT PRESENTATION

Peter Wilson, 755 Dunlap Street, was sworn. He said their design approach was to preserve the character of the house and enhance the coherence of the design. He referred to images showing concrete block, steel casement windows, double garage door and various pueblo features. All the steel windows will be preserved and the front door and the architectural elements. On the primary façade they propose to change the 1990s wood double glazed door. He displayed the light pattern in the existing and proposed door he felt more in harmony. Both aluminum windows with metal on the outside. He showed a comparison of the existing steel windows and new casement windows. He described the proposed windows and reviewed the replacement of the window with a door, the storefront window. He said they want to echo the three-pane steel casement windows that are in most of the house. He described the existing doors with many different designs that they want to bring into harmony. They will maintain all historical elements on the primary façade and only replace the non-historical balcony door. He said they tried to submit a design that did not require exceptions.

Joseph Karnes, of Sommer, Karnes & Associates, was sworn in. He noted Mr. & Mrs. Scott, the owners, were present. He said staff required one exception with respect to the seven non-historic existing doors and as shown, none match. The applicant's intent is to achieve a consistent door design matching the historic window

style, consistent with post World War II style of the building. Particularly on the primary east façade. Code excludes windows and doors from the requirement for architectural features on contributing structures to be repaired rather than replaced. The applicant does not agree that the exceptions were required.

Mr. Karnes said they also disagree the house doesn't fall under easily with a recognized style. He said he takes issue with the staff report that the house is Old Santa Fe style. The two-story primary east façade and rear casita were built in the 1950s. Code states two-story Old Santa Fe style structures are rare. Particularly on the east façade, portions of the house and casita were added after World War II and are concrete block, not adobe. The 15 original windows are steel casement, not wood. And the primary east façade is two stories with two large garage door openings. The east façade presents long geometric straight lines, none are indicative of Old Santa Fe style. The HCPI by John Murphy recognizes that the primary east façade retains the most historic integrity and architectural interest. The proposal retains the existing windows on the east façade as well as the lower door to preserve the historic integrity. The primary issue is this building doesn't fall easily within a designated style. He said staff is compelled to apply Code as written, but Board members have latitude. They can ensure the intent of the historic overlay is respected. That is what the applicants are trying to do. All seven existing doors are non-historic, and each is different. To impose Old Santa Fe style requirements on the 1950s building would be inconsistent with its more modern appearance. Mr. Karnes said the applicant asks the Board to include doors and windows that present a harmonious design and coherent appearance, consistent with the historic post World War II design of the bulk of the house and the intent of the historic overlay Code; *each structure is to be recognized as a physical record of its time, place and use*. He said they appreciate the support of the neighbors. They ask that the application be approved with the exception. He said the letter of support from Jean Francis was not in the packet due to a typographical error. He read her letter into the record, attached as Exhibit "1".

Member Guida said in general he is in strong agreement with the applicant on the overall proposal. He said the Board often asks applicants to pursue something in line or appropriate when replacing historic metal casement windows. This applicant is leaving the historic metal casement on the primary façade. He said he is in favor of replacing those in this case, with the product the applicant found which closely matches the overall profile and intent of the historic windows. He said he applauds the applicant's effort.

He said primarily before the Board is the issue of the doors. He believes, although there was an attempt to be compatible with historic metal profiles in the 50s, that the amount of uniformity developed over time is questionable. He suggested not changing some of the carved doors to a metal profile.

Member Guida asked Mr. Wilson to display the door on the primary façade. He agreed it was appropriate with number 11, to replace the narrow doors with new ones with a more squarish light profile. He asked if the applicant could get a vertical mullion on door number 12 with the horizontal light profile.

Mr. Wilson said that is possible.

Member Guida said he suggests that as a possible solution. The wider doors need a vertical and would be more in keeping with what was there before. He said on some of the wood doors, changing the Dutch door out for metal would be appropriate. He suggested the door to the right of the Dutch door should be kept if in good condition.

Kevin Scott, owner, 533 Agua Fria Street, was sworn. He said that could be added. He noted on a picture of the front façade, that window openings were wider than they are high. The lights have no vertical muntins and the ratio of height to width in the glazing is 3 to 5 approximately. He said he agreed with staff the windows are contemporary and midcentury modern windows. He said at that ratio in the openings, glazing and the lack of vertical elements, the frames and casing do not have the vertical muntin. That was integral to their approach, and a product with thin measurement and profiles consistent with old form steel windows.

Member Guida asked if Mr. Scott would be willing to add a vertical on the wider new doors, and on door #6 forego a new door and keep the existing wood door.

Mr. Scott said he would with regard to the wider door and the wood door can be saved.

Member Guida said he agrees with the removal of the stair and railing. He said with regard to the relationship of the railing to the balcony railing on the primary façade, mimicking it would not be a good idea. He asked Mr. Wilson if the client would consider raising the parapet height to avoid a publicly visible secondary railing.

Mr. Wilson said they had not considered that. They did look at the metal railing to express the 50s design of the building.

Member Guida asked Ms. Piccarello if raising the parapet height required an exception.

Ms. Piccarello said it would not; it is within the height of the building.

Chair Rios asked Member Guida how many doors he suggested keeping the same.

Member Guida said he recommended retaining door #6, not replacing. On numbers 12, 5, 3, 8 and 7, 4 and 2 he would suggest new doors to add vertical in the light pattern.

Chair Rios clarified her question was which doors should be *retained*. She said she is clear about #6 but are there others.

Member Guida said just door #6 should be retained.

Member Aguilar Medrano said she did not see the two carved wooden doors on either side of the entrance coming in through the street in the packet. She asked if those would be replaced as well.

Mr. Wilson said he didn't know the plan for those doors and wasn't aware that would be part of the façade.

Member Aguilar Medrano said on the railing, she agreed the solution is to raise the parapet. She asked for clarification of the description. It was described as wrought iron, but with a Thunderbird pattern.

Mr. Wilson said that wasn't in the drawing and was picked up from the Penasco style of the wood railing but in steel to be more contemporary. The thunderbird is a symbol celebrated in the 50s, meaning prosperity.

Member Aguilar Medrano confirmed this was not traditional wrought iron.

Mr. Wilson said it will be done by an ironworker and not hammered steel.

Member Aguilar Medrano said the trim color swatches were somewhat deceiving and online is a couple of shades lighter. She was concerned all the new proposed trim would be black, opposed to the dark gray brown currently there.

Mr. Wilson said the color sample was from a standard color sample that they hey matched to the existing color of the windows. Digitally it may have changed.

Member Aguilar Medrano said the existing color looks close to black, but at the site visit the existing color is far from black. She thought the discrepancy is noticeable.

Chair Rios confirmed that Mr. Wilson had indicated he would replace the color in kind as close to the existing color as possible.

Mr. Wilson agreed that was their intent.

Chair Rios asked if the new windows are energy efficient.

Mr. Wilson said yes, the R-value is much better than steel casement.

Member Biedscheid the north elevation that includes the large studio window, is seen on the east side. The window always distinguishes what had been an artist studio. She thought it would be nice to preserve. She asked if they considered leaving that as is, to preserve the original purpose.

Mr. Wilson said none of the parties or the neighbors cared to keep that window.

Member Biedscheid said also on that façade, the addition of the small portal breaks up what is an addition. She asked if extending the portal to include those windows to have less break in the façade was considered.

Mr. Wilson explained they are in different planes. The portal at the rear of the house is set back. The small portal in the middle at the kitchen is proposed to be built on an existing yard wall. They did not consider expanding the portal because the rooms are different. One room is the master, one the kitchen and connecting them does not make sense.

Member Bienvenu said regarding the color, he was focused on the doors and windows. They were trying to accomplish uniformity and a post-World War II Midcentury Modern, but it reads more like a Santa Fe Style house that was remodeled in the 50s with the intent of still being a Santa Fe style house. Preserving some elements but using elements making sense in the 50s, but not Midcentury Modern. He thought that the new windows, the doors and effort for uniformity, horizontality and color speak of 2020. He said they find that all over Santa Fe County and now in the outskirts of Santa Fe. Keeping some doors will break up some horizontality that they want to emphasize. The ratio appears slightly horizontal in some windows, but the applicant has made it extremely apparent with single pane verticals in the openings. He found that, combined with the black color, problematic. He thought potentially the building could lose its contributing status. Also, he did not think the color of black proposed on all the facades other than the primary, existed on the current building.

Mr. Wilson said they took the sample of color from Sherwin Williams right in the field. The windows have a couple of different colors. They may have gone with the darker color.

Member Bienvenu said there were grays and a darker gray and the ebony is black.

Mr. Wilson said that was the closest.

Member Bienvenu said even if the case, it would be inappropriate in this district.

Member Berkley agreed with Member Bienvenu. She said despite the detail, the remodel reads as 2020. She said she doesn't view the house as Midcentury Modern.

Member Larson said regarding the style, she sees an expression of international style with this house, which midcentury modern is based on. The international style supersedes time. There are parallels between continuities of contemporary architecture with the international style that emerged in the 1930s and was later interpreted by architects post World War II. That was conceived into Midcentury Modern architecture, which is rarely overexpressed in Santa Fe, but they see regionally inspired interpretations. She said it is not fair to characterize this as Midcentury. It is more reflective of 20th century modernism and best characterized by the international style with larger multiple story massing and horizontal lines. She said she sees a lot of those characteristics in this house. She likes the changes but thought consensus of the Board would be difficult. She said Member Guida had proposed palatable compromises and she was thankful the applicant agreed to them. She said the north elevation is a disservice to the original intent of the modern style with the clunky parapet, etc. but it wasn't a dealbreaker. The applicant kept the picture window and the long horizontal line with the vertical offset. She said it was helpful to see the side-by-side comparisons of old and new and the attention put into this.

Member Aguilar Medrano agreed with staff on their concern of the number of changes, if approved, it could put this building's current status at risk. The west elevation, in particular, stuck out to her with square windows and the change of one of the two horizontal windows to a French door and dividing the other window into two vertical windows.

PUBLIC HEARING

Ms. Beninato, previously sworn, said she agreed with Member Bienvenu. Making everything uniform takes away from the historic character. She was also concerned about the portal that would obscure details in what appears to be a courtyard.

BOARD DISCUSSION

Member Guida said Ms. Piccarello's concern is if allowed, certain changes endanger the status of the house. He asked her to summarize the basis for the contributing status of the house.

Ms. Piccarello said it is partially adobe and combines styles of a 1948 and pre-1958 development. It is Santa Fe style because, per Code, CMU block, original

windows, minus the large window, the vigas, and the Penasco wood detailing. The building is in character of what is seen as contributing to the Historic District. She said it isn't one thing. The footprint with interior courtyard is Santa Fe style and the reason it is difficult to designate a façade. There have been changes, but there are a lot throughout the building. Code wants to ensure additions can be renewed, but with some historic evidence of what was there. She thought some effort was made in the past because some doors look to be replaced with what was originally there. She said it is a concern for status when you start pulling away to a different style. She said raising the parapet on that façade does not require a height exception, but it would require an exception to the primary façade.

Member Guida said this is not a Mid-Century Modern, it is a Santa Fe house that was built in the 50s with additions over time that are eclectic. The Board is entitled to update their opinion of why a building is contributing because the Old or Recent Santa Fe style in Code does not provide adequate guidance. The primary reason the house is contributing is for the reasons Ms. Piccarello stated. He said generally he approves of the project with adjustments and detailing that better reflects the Board's position. He said he thought to apply the Code, they could be subject to a broader homogenization the prescriptive language around detailing has produced. He said the recommendation should be made in line with this being a unique snowflake.

Member Bienvenu agreed this is contributing because of its eclectic nature over time. That is what the Board considered the last time and is what the HCPI and staff reports indicate. The uniformity is the major problem. The applicant is very thoughtful and wants to update a beautiful house. The applicant has a good architect/designer/contractor and a beautiful building design. But the Board feels the design will impact the contributing status. He suggested postponing the case for a redesign because he was confident the concerns could be addressed.

Chair Rios said Board members have differing opinions, but they want to work with the applicant and have the project be successful. But that must meet the Ordinance guidelines and keep the contributing status. She agreed postponement was a good idea and suggested the motion be very specific as to the Board's suggestions.

Mr. Scott said 30 years ago he and his wife lived two doors away and walked past the building many times. They were always struck by the character and the era and want to retain that. The house reflects its time with a two-car garage, flat façade with a garage on the same plane as the house, CMU block construction and steel frame windows. They wanted the primary façade to stay exactly as it is except for the two non-historic doors. They did not want to change the interior and have used every opening and header to the extent possible. They think the steel windows are beautiful but not practical. That is the reason they retained the six windows on the primary façade. On the other windows there is uniformity, but no more or less than now. The

current windows all retain the same uniformity with three to five ratio lights, thin frames, etc. He did not think what was proposed would make the uniformity more, or less, but understands the concern. He said there could be doors they can change. They put a high value on maintaining the sense of time and place and keeping this style of window with the proportions of glazing and dimensions they will be hard pressed to not work with a window that is harmonious with the steel windows being removed. They started the process in January and worked extensively with staff. It is important to do this correctly and to keep the character and identity. It will be difficult to not stay with a window that is sympathetic and harmonizes with the building's identity of a 1950s CMU block. The overwhelming majority of the building is CMU block, that has driven their decisions.

Chair Rios said it is important that homeowners come with their architects and those who represent them. The homeowners will live in the homes and are most involved. She said she appreciated his sincere comments.

Mr. Wilson said regarding the reverence for the contributing status, he doesn't want to change anything. He noted that the visible street façade is a two-story concrete block with steel contemporary windows. None of the applied pueblo details reflect historic significance. He saw many discrepancies in their praise of the integrity of design and character and wondered what that character is that creates such an important building to the Board.

Member Guida said that argument is for another day and a deeper critique.

MOTION: In 2022-005471 HDRB, 110 Calle la Pena, Member Guida moved to postpone to a date certain to allow the applicant to revise the design per the Board's recommendations. The Board understands that the existing house is contributing because of its eclectic features, is a Spanish Pueblo revival house with 1950s metal casement windows and has a mix of building volumes that have been documented in Board discussion and the HCPI that occurred over time. The main recommendations are that the applicant address the Board's desire to retain a greater degree of the eclectic in the current design, especially regarding the proposed doors and door replacements. As much as possible the applicant should retain the existing wood carved doors where possible, and at least include door #6, and may include others and the existing front door. Regarding the metal door product recommended for replacement, generally speaking the metal casement window is favorable but with a different handle set than shown on the product sheet, and where the light pattern becomes horizontal, should add a vertical division in the light pattern on most of the doors with the exception of what is currently proposed on the primary

façade. Lastly, the large studio window on the east façade is significantly character defining and should either be retained, or if replaced, its existing light pattern should be reproduced. And on the recommendation in lieu of the proposed wrought iron guardrail on top of the garage, that the applicant investigate raising the stucco parapet and not have a railing which would eliminate the need to pursue an exception. The color sample shown in the packet is darker than what appears on the current house and existing, and the Board would like color samples in a lighter tone more accurately reflecting the existing.

The motion was seconded by Member Aguilar Medrano adding friendly amendments. She asked that the applicant state whether the two doors inside the front entrance will be kept or replaced. Also, that the applicant changes the color of the proposed wood trim on the non-primary façades to match the existing Iron Ore color proposed on the primary façade.

Member Guida accepted the amendments as friendly.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

Chair Rios wasn't sure if the applicant could submit by the date certain.

Ms. Piccarello said the next hearing is November 8th but would be a quick turnaround or the 22nd of November.

Mr. Scott asked to confirm one friendly amendment is to match the lintels and corbels color with the existing color on the primary façade.

Member Aguilar Medrano said the packet says he would keep the existing wood trim color, which is Iron Ore, but all other facades he wanted to change the color. Her friendly amendment is to keep the Iron Ore color on all the wood trim throughout.

Member Bienvenu asked to clarify his understanding is the motion and motions of this type, are not true conditions of approval, but suggestions. The applicant can consider them but is free to disregard them if he wants to return and try to convince the Board otherwise.

3. **2022-005973-HDRB. 624 Agua Fria St.** Geraldine Chavez, agent and owner, requests to remodel a contributing residence in Downtown and

Eastside Historic District. An exception 14-5.2(D)(5) to replace historic windows not in-kind. (Carly Piccarello)

STAFF REPORT

624 Agua Fria Street is a property with two single family structures listed as contributing to the Westside-Guadalupe Historic District. The property fronts Agua Fria Street to the north. The northernmost structure or main house is a very simple Territorial style building which has a rectangular footprint with one room projecting to the north and a flat roof and brick coping. It is constructed of adobe and cement plaster. The windows were historic, and mostly two-over one double hung wood windows.

The main portion of the house was built prior to 1868 with additions in 1889 and in the 1930s. It belonged to one of the farms along the Camino Real. The farm remained until 1910.

The two structures on the property have had very little change over the years until the summer of 2022, when the windows were replaced without City HPD or HDRB approval on both buildings. This case was the subject of a red tag, or stop work order, after the replacement of all of the windows on the property, including the back structure, and a restucco project was begun.

Now, the applicant proposes the following exterior alterations:

- 1) Retain the replacement clad windows that are multi-light, simulated divided lights in 'Almond.' The muntins are flat and appear behind the glass window surface. An exception is requested for replacement of historic window not in kind.
- 2) Re-stucco in synthetic Dryvit stucco. Color and texture sample was provided, but color and texture names were not.

STAFF RECOMMENDATION

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff does not recommend approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(I) Westside-Guadalupe Historic District due to the use of synthetic stucco on a contributing structure.

Ms. Piccarello said the process can either be to look at a status downgrade and request the applicant restore what was removed. It is up to the Board to decide to adopt staff's recommendation and postpone for a new proposal or move forward with a status downgrade and require restoration.

Chair Rios said both buildings are contributing. She asked if primary façades have been designated.

Ms. Piccarello said no primary facades have been designated. The buildings have little change, but there have been changes to the door. The windows appear to have been historic and original to the historic period prior to 1930.

Member Guida said Ms. Piccarello recommended the Board not approve the applicant's submittal. He asked to clarify if she was recommending a status downgrade or reversing the changes made.

Ms. Piccarello said Code allows the status to be downgraded and then requires the building be restored to status.

Member Guida asked if that is a one step process.

Ms. Piccarello said it is a two-step process because of the notice to downgrade, which is a different level of notification. The proposed changes for restoration would be at another hearing.

Member Guida asked to confirm that the Board could require restoration with the downgrade of status. He said alternatively, the applicant could be denied and asked to return with a different application meeting the criteria that would not affect the status.

Ms. Piccarello said that was correct, whichever the Board chooses.

Chair Rios said if denied, the applicant can appeal to the City Council.

Member Bienvenu asked if a third avenue could be to postpone for primary façade designation, ask the applicant to return and hear both at the time of the exception requests. He asked if the exceptions are denied, who has authority to require restoration in kind of the material.

Attorney Ruybalid said if the Board denies, HPD (Historic Preservation Division) can require restoration and that doesn't require the Board to vote.

Member Bienvenu said it wasn't clear reading that section if the Board does have power to require something. He thought an approach could be to postpone for primary façade designation, discuss that staff exceptions are not appropriate in this case and the applicant could have time to anticipate the outcome and secure in-kind materials.

Member Berkley said she wanted to raise that as well. They didn't even begin discussion on the case on Palace Avenue when it came to light there was no primary elevation designation. That case was postponed. Also, she read in the building inventory comments in the 80s and 90s, that the windows were apparently replaced. It

is not clear to her if they are talking about really old windows, but certainly ones that don't look like this.

Ms. Piccarello said there are two HCPIs. She thought the issue with the windows is which ones were. It's highly likely that some in the back were replaced. But the ability to assess that at this point is difficult and writing a new HCPI is usually required with the status review. Staff would have a difficult time assessing which pieces of the building were really historic and which had replacements.

Member Guida said because it was red tagged, this case is before the Board for the changes that the Division cannot approve administratively. He asked if denied and the HPD requires restoration, would the essence of the project go away, and can staff approve administratively the replacement of windows and stucco in kind on contributing without a facade designation. He would not want to take the public's time on something staff can do.

Ms. Piccarello said they have little information with the outdated HCPIs and Google Earth view and windows that are gone. The HCPI is bound to have historic photographs of what those historic replacements look like and could lead them to the restoration of the building that has definite significance. It is contributing to bring the building back to its former state and is a significant building to the historic district. She said the Board could postpone or deny and recommend a HCPI at the same hearing as approval of the windows. The HCPI would provide information needed for replacement.

Chair Rios asked if Ms. Piccarello was indicating moving forward without hearing from the applicants.

Ms. Piccarello said no, the applicant should speak.

APPLICANT PRESENTATION

Geraldine and Don Chavez, 4300 Glenwood Hills Drive, Albuquerque were sworn. Mrs. Chavez said they are here very uninformed. They did not have much history on the building, purchased by a family corporation in 1996. She and her husband are native Santa Feans. They didn't realize when they did the windows, that a permit was needed. She said the windows are not blue. They are consistent with surrounding property windows. She sent Ms. Piccarello a new proposal for cementitious stucco even though some of the building has synthetic stucco. They are concerned the building will be compromised with cold weather and moisture because some wall is exposed. They are willing to address the windows later, but the stucco needs to be done before the bad weather.

Chair Rios asked if they are willing to go cementitious.

Mrs. Chavez said absolutely and at an additional cost. They have money tied up with the stucco company because they were stopped and need to finish. The process started back in March.

Chair Rios asked if the project was red tagged in March.

Ms. Piccarello said it was red tagged in the summer.

Mrs. Chavez explained they ordered the windows in March and installed them in July. The openings are the same and the façade of the building is the same.

Ms. Piccarello agreed the openings had not changed and the wood and framing is the same, but the replacement inside is different.

Mrs. Chavez said but it is similar to what is in the neighborhood. Many of the buildings have the same type of window and she couldn't see how they were in violation.

Chair Rios said they could be in harmony with the neighborhood, but the building is categorized as contributing and the windows contribute to that status. They look at the building in and of itself for its own character and style. She said the building is over 100 years old and the Board wants to do what they can to save the contributing status.

Mrs. Chavez said they feel the same way. They are not trying to change anything which is why they agreed to put the same size windows. That style of window is the closest they could get. The existing windows are badly in need of repair and are not energy efficient.

Member Bienvenu asked what happened to the windows that were removed.

Mr. Chavez said the frames were cracked and rotted and nothing worked, and they were hauled away.

Member Bienvenu asked if they saw the removed windows and were they true wood, divided light.

Mr. Chavez said yes, single pane.

Member Bienvenu said when a window cannot be repaired on a primary façade of a contributing building, Code requires replacement in kind. He thought it sounded as though they did not look at windows that were duplicates of what was there.

Mrs. Chavez said no, but she did not know who does that type of window.

Member Bienvenu said it is routinely required when replacing historic windows. He thought since the windows are on a primary façade, they will be required to find a duplicate window replacement.

Member Aguilar Medrano started to ask a question about foam insulation.

Ms. Piccarello explained that topic was not applicable to this and was a conversation about staff seeing requests for foam panels for insulation of stucco buildings. Possibly that will be added to the stucco guidelines.

Member Aguilar Medrano said on the site visit she noticed a window that appeared to have been covered up on the street side. She wondered if they should explore potentially reopening that window.

Mrs. Chavez explained that someone painted graffiti and the building was painted with a different color. It was not a window. She said she has an old drawing of the house showing the east side as the front of the house with an entrance. She did not know when that was changed but they have done nothing since they bought the house. Several layers of plaster and stucco are there, so there have been several renovations, but they don't have the history.

Member Aguilar Medrano asked if the HCPI report had more information.

Ms. Piccarello said potentially, but the photograph from the old 1996 HCPI does not show a window. Archives may have something, but it would have been done prior to 1985.

Mrs. Chavez said we bought the building as it was, and she was hearing that they might be responsible for restoring an old 1800 building.

Chair Rios said she didn't know what route the Board would take.

Member Guida said they would not be required to restore an 1800's building. They would be required to replace features modified in the window and stucco replacement in line with the building status. He said he could see a disconnect. The applicant is unaware of the requirements of the Code. He recommended they hire a design professional with historic preservation knowledge to advise them. The building is very important and is designated contributing. He said this will not be a fix tonight and the applicant will need someone to guide them beyond the City staff. What he sees in the photographs is completely out of line with what is done in preservation practice.

Attorney Ruybalid referred to the historic map of the contributing buildings on this lot. He noted the buildings to the west and south were not contributing but many to the east were. He said the neighborhood may provide little guidance.

Member Bienvenu said he understood the concerns of impending weather on the stucco. He said the Board tries to look at red tagged items like it is the first time it is before them. The applicant is not penalized but that is not a reason to do something that otherwise would not have been approved. Staff's issue on the stucco was the synthetic stucco. He said if cementitious is proposed now that may solve the problem. His concern is the window and door openings may have been modified. He asked staff to address if the Board should defer considering the stucco until the window issue was resolved.

Ms. Piccarello said typically they wrap permit changes into one application, because often they don't come back to the Board. And one application is less work for everyone.

Chair Rios asked if stucco is just needed on the front building.

Ms. Piccarello said she knew that restucco had not happened on the front building but did not know about the back building.

Mrs. Chavez confirmed that nothing has happened.

Chair Rios said she could give her proposal for cementitious stucco to staff.

PUBLIC HEARING

No public comments.

BOARD DISCUSSION

MOTION: In 2022-005973-HDRB, 624 Agua Fria St., Member Bienvenu moved to postpone to the next available date for the following to occur: a HCPI is prepared, and the Board receives sufficient information for a status review, and a primary façade designation, and that be presented to the Board with the requested exceptions at the same time. The motion was seconded by Member Guida with a friendly amendment that the Board most likely will recommend the applicant will need to restore the elements removed such as the windows and stucco.

Member Bienvenu accepted the amendment as friendly. He added that he hoped the applicants understood from the Board's comments they should look at replacing the windows in kind, to save time.

Member Biedscheid confirmed it is the applicant's responsibility to commission a new HCPI. She asked a friendly amendment that a licensed historian prepare the HCPI and provided information on the red tagged items to adequately include the recent actions in their assessment.

Member Bienvenu accepted the amendment as friendly.

Mrs. Chavez asked who John Murphy is.

Chair Rios explained that John Murphy is a historian with the knowledge and experience to prepare the documents and a report called the Historic Cultural Properties Inventory or HCPI. She said staff could help with any questions.

Ms. Piccarello added there is a list of approved historians, of which John Murphy is one. She can choose an available historian.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

Chair Rios added that the Board wants to work with the applicant.

I. DISCUSSION ITEMS

Ms. Piccarello said nominations for Board elections for chair and vice chair are needed.

Chair Rios asked for nominations.

Member Berkley asked the length of the term for the chair and vice chair.

Ms. Piccarello said the appointment is effective at the next meeting. They need to determine the cycle because the members' terms are staggered.

Attorney Ruybalid read from Code that chair, vice chair and secretary elected terms are for one year and can be reelected indefinitely.

Member Bienvenu said he found Chair Rios' service exemplary, and she runs the meetings gracefully and efficiently and always fairly. He said she has an

extraordinary depth of experience and expertise, and the Board is well served if she will continue as chair.

He said Member Guida has always been extremely effective when running a meeting in Chair Rios' absence, is always fair, and imposes restrictions only as required.

MOTION: Member Bienvenu moved to nominate Cecilia Rios as Chair and Anthony Guida as Vice Chair. The motion was seconded by Member Larson.

VOTE: The motion passed by (5-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu and Larson voting in favor and none voting against. Member Guida abstained from voting.

Attorney Ruybalid said he wanted the Board to know about the grand opening on November 4 on a project on 201 Washington Ave. The case was a conundrum because the color did not meet Code. He suggested members drop by.

Chair Rios asked about the Canyon Road case where the applicant exceeded the height for a portion of the building by about a foot. The Board required the applicant to bring the height down to what was stated in the motion. She asked if the Board's action was correct because this evening it was stated if windows were to be replaced that direction would have to come from staff.

Ms. Piccarello said that can be interpreted as a directive from the City, but Code says what the applicant proposes may need to be approved by the Board. The Board has the authority to say the building has to be lower with an exception request.

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, November 8, 2022

L. ADJOURNMENT

MOTION: Member Guida moved, seconded by Member Larson to adjourn at 8:40 pm.

VOTE: The motion passed by (6-0) roll call vote with Members Aguilar Medrano, Berkley, Biedscheid, Bienvenu, Guida and Larson voting in favor and none voting against.

Submitted by:

Melissa D Byers

Melissa Byers, Stenographer
For Byers Organizational Support Services

Approved by:

Cecilia Rios, Chair

Exhibit 1
HDRB -- 10/25/2022

From: GENE FRANCIS <gwfran@aol.com>
Subject: 110 Calle La Pena
Date: October 17, 2022 at 12:28:48 PM MDT
To: cpiccarello@sanrafenm.gov
Cc: kevin scott <avpetro@sbcglobal.net>

I am writing in support of the application for remodeling 110 Calle La Pena. We have gotten to know the Scotts since they purchase the property and they have shared with us their vision for their remodel and showed us their plans. We live immediately to the south of the property at 116 Calle La Pena and feel that what they are proposing would be a substantial improvement to what is there as well as being in keeping with the neighborhood. The Scotts are nice people and have had substantial experience with this type of remodel. We hope you will look favorably upon their application.

Gene and Carole Francis
512-7517540

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5791-HDRB

Address – 504 E. Palace Ave.

Agent’s Name – Elisabeth Wagner

Owner/Applicant’s Name – Blair Naylor

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 25, 2022.

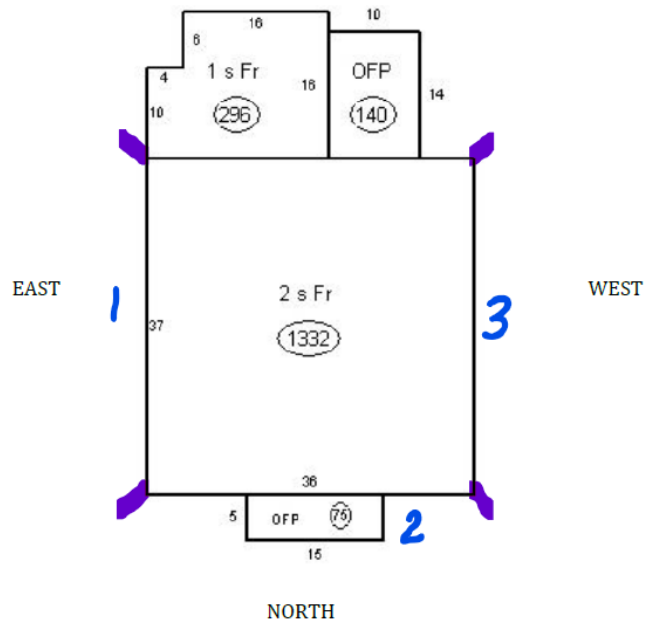
BACKGROUND

At the August 23, 2022, HDRB meeting, the HDRB postponed consideration of this case and requested an updated HCPI in order to be able to make the most informed decision possible. The applicant then worked with John Murphey to complete a Historic Cultural Properties Inventory (HCPI) form.

Based on the Historic Building Inventory Form that was completed in 1985, the property is listed as contributing to the Downtown and Eastside Historic District. The square building was constructed by David Gonzales as a single-story duplex building in 1892, and then a second-story addition was added after to 1910. The second-story addition is reflected in the 1930 Sanborn Map. The Gonzales family owned the home until 1999. While the first floor is constructed of adobe, the second floor consists of brick construction. Historically the first-floor exterior walls were red smooth-troweled plaster with mortar lines painted on the surface.

The house has defining Territorial Revival style features, which includes 2/2 double-hung windows with Territorial surrounds and a two-light Territorial-style door. The porch with ionic columns is also characteristic of Territorial Revival style.

There is evidence of two additions on the south elevation. The first was constructed prior to 1930 and had a flat roof. In 1999 the addition was remodeled and a pitch was added to the roof as well as a portal on the west elevation of the addition.



FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the structure be maintained as contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures. Staff also recommends that the east elevation (façade 1), north elevation (façade 2), and west elevation (façade 3) be designated as primary.
3. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
7. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
8. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building’s architecture.
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by staff.
10. The Board finds that the east (façade 1), north (façade 2), and west (façade 3) are the primary elevations of the structure, with the features that retain the historic integrity of the building and define the character of the structure’s architecture.
11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

Finding of Fact and Conclusions of Law – Status or Primary Façade Designation
Case #2022-005791-HDRB

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review the historic status of the building.
3. The Board maintains the house’s contributing status.
4. The Board designates the following elevations house as the primary façade(s): east elevation (façade 1), north elevation (façade 2) excluding the north portal, and west elevation (façade 3).
5. The Board designates the yardwall as a non-contributing structure.

IT IS SO ORDERED ON THIS 8th DAY of NOVEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2022-5595-HDRB

Address – 504 E. Palace Ave.

Agent’s Name – Elisabeth Wagner

Owner/Applicant’s Name – Blair Naylor

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 25, 2022.

BACKGROUND

Based on the Historic Building Inventory Form that was completed in 1985, the property is listed as contributing to the Downtown and Eastside Historic District. The square building was constructed by David Gonzales as a single-story duplex building in 1892, and then a second-story addition was added after to 1910. The second-story addition is reflected in the 1930 Sanborn Map. The Gonzales family owned the home until 1999. While the first floor is constructed of adobe, the second floor consists of brick construction. Historically the first-floor exterior walls were red, smooth-troweled plaster with mortar lines painted on the surface.

There is evidence of two additions on the south elevation. The first was constructed prior to 1930 and had a flat roof. In 1999 the addition was remodeled and a pitch was added to the roof as well as a portal on the west elevation of the addition.

Now, the applicant proposes the following exterior alterations:

1. Construct a 36-square-foot, second-story addition on the south façade of the building to accommodate an elevator.
2. The addition’s stucco will be El Rey cementitious stucco “Sand” to match the existing stucco on the kitchen addition. The addition will have similar trim to the original building but will have different detailing to distinguish it from the original.

The applicant states that the elevator is needed for elderly family members to access the second floor. The 36-square-foot elevator will be incorporated into the existing one-story kitchen addition that was constructed on the south elevation in 1979. The kitchen addition is not publicly visible from E. Palace Ave. The existing kitchen first-floor roof is 10’10” above finished grade. The elevator shaft will be visible above the first-floor roof to the top of the eaves on the second floor which are 20’4” above finished grade. The elevator addition will be set back from the east façade by 6”.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Recommendation: Staff recommended approval of the application as it complies with SFCC Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(E), Downtown and Eastside Historic District. Staff found that all the exception criteria were met.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(2)(d), additions to contributing, significant or landmark structures must be set back a minimum of 10 feet from any primary façade.
9. The Applicant proposes to construct an addition on the south-facing façade within 10 feet of the primary façade.
10. Staff determined that an exception to SFCC Section 14-5.2(D)(2)(d) would be required for approval of the Application, and the Applicant requested an exception.
11. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff’s finding that the Applicant has conclusively demonstrated that all exception criteria have been met.
 - a. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district. The elevator addition will be added to the non-primary, south façade, which is the back of the house away from the street and has low public visibility;
 - b. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant or an injury to the public welfare. The elevator addition provides access to upstairs rooms to elderly residents who are unable to ascend stairs; and

- c. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts. Other design options for the placement of the proposed elevator required the removal and alteration of more historic material than this design proposal.
- 13. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
- 14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
- 15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

- 1. The Board has the authority to review and approve the Application.
- 2. The Board approves Items # 1-2 as set forth in the Application, as recommended by Staff.
- 3. The Board grants the exception requested in the Application.

IT IS SO ORDERED ON THIS 8th DAY of NOVEMBER, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5970-HDRB

Address – 645 E. Palace Ave., #1

Agent’s Name – Christopher Purvis

Owner/Applicant’s Name – Richard Renaldo

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 25, 2022.

BACKGROUND

645 East Palace Avenue Unit 1 is a 1,745-square-foot single-family residence and a 425-square-foot free-standing garage constructed in the mid-to-late 1950s in a vernacular manner with Territorial surrounds. The structures are listed as non-contributing to the Downtown and Eastside Historic District.

The Board approved an extensive remodel at its March 28, 2017, board meeting (Case H-17-023). All items were approved. The proposal included:

1. Adding a 265-square-foot addition on the southwest elevation.
2. Adding a 530-square-foot addition to the north and east elevations.
3. Adding a 100-square-foot portal on the southeast elevation.
4. Raise parapets to 14’11”.
5. Reconfigure windows on the southwest elevation. Add true-divided-lite, white-clad French doors and true divided lite double-hung windows.
6. Re-stucco main house with cementitious El Rey’s “Buckskin.”
7. Relocate fireplace.
8. Replace and reconfigure the existing windows on the northeast side of the main house with new, white clad insulated TDL double hung.
9. Add a 5’ coyote fence.
10. Construct a low, stuccoed masonry retaining wall.
11. Re-stucco shed to match main house.

The buildings are under construction to meet the Board’s approval.

The applicant returns to the Board with alterations to its previously approved project. The new proposal reduces the originally proposed additions by 175 square feet at the northwest corner of the house and at the southeast portal. Additional proposed changes are listed below.

- 1) Reduce bi-part doors to single door from kitchen north corner to southwest portal
- 2) Increase door width to 36” from 30”, dining room to southwest portal
- 3) Add 30” x 60” 2-over-2 lite double-hung window to southeast side of living room
- 4) Replace small rear window in bathroom # 2

- 5) Replace window in master bath
- 6) Replace window on northwest side of the master bedroom with French doors
- 7) Replace window in bedroom 2, northwest elevation, with French doors
- 8) Relocate the living room fireplace to the westernmost corner of the room
- 9) Living room: reduce size of southwest window; increase sizes, change positions of two windows on northwest wall
- 10) Add 100 square feet to southeast elevation under approved portal

Stucco color will be El Rey buckskin to match existing house. All new windows shall be white-clad insulated true-divided-lite, double-hung windows. Portal will be rough sawn pine stained natural.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant proposes to modify previously approved scope of work in case H-17-023. Proposed changes include reducing the number and size of some windows, relocation of fireplace, removing one portal, adding a new portal, adding a room, reducing in size a different portal, and other window and door alterations.
7. Under SFCC Sections 14-2.6(B-C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b) and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.

9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves reductions of the originally proposed additions by approximately 175 square feet, and approves project elements # 1-10 as set forth in the Application, subject to the following condition:
 - a. The applicant submit a revised floor plan showing the relocated fireplace in the living room.

IT IS SO ORDERED ON THIS 8th DAY of November 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray Senior Planner, Historic Preservation Division

Case # 2022-005877-HDRB

Address: 127 and 127 ½ E. DeVargas Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Forms

Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project with the following conditions: that the proposed portal addition on the north elevation be set back at least 10' from the west primary façade per Section 14-5.2(D)(2)(d) regarding proximity of additions to primary façades; and that the proposed stained-glass window meet Section 14-5.2 (E)(1)(c) regarding divided lites, as it exceeds 30" in width. Otherwise, staff finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

127 and 127 ½ E. DeVargas Street is a .25-acre property in the Downtown and Eastside Historic District with two main buildings, one known as the “Cider Press,” the other is a studio building used for storage, located south of the “Cider Press.” The “Cider Press Compound,” as the applicant refers to it, is a unique and curious group of historic structures sandwiched between two public institutional buildings. Its north primary façade is oriented toward the Santa Fe River. The lot and structures were originally part of a larger lot with a historically significant home to its south up a hill to East DeVargas Street. The river side has notable boxed windows, a remaining “Cider Press” sign, and faded murals that are familiar to generations of Santa Feans and visitors.

Both structures were designated contributing at the July 26, 2022, HDRB hearing (case 2022-005472-HDRB) along with the low river rock north and east yard walls. The board designated the north, west and east elevations of the Cider Press’ as primary facades. South of the Cider Press, the studio was constructed in the 1960s. It is a rectangular, flat-roofed, stuccoed building with a portal in the Spanish- Pueblo Revival Style. The studio building’s west façade was designated as primary. Its north elevation has one window, and there are no windows on the other elevations. The building faces west toward the New Mexico Supreme Court’s parking lot.

The studio building is the subject of this case. At its August 8, 2022, hearing in case 2022-005473-HDRB, the board approved the construction of a free-standing storage building on the lot’s southeast corner.

Now, the applicant proposes to:

1. Add a 180 square foot portal to the north courtyard elevation. It will be set back from the west primary façade by 10’-0” from the front of the portal. The portal will have a round wood post and square beam construction, similar to the existing west elevation portal on the building’s primary facade.
2. All exposed wood will be American Chestnut Brown stain to match existing woodwork.
3. The applicant proposes to install an approximately 6’ - 0” x 6’ - 8” sliding French door with true divided lites. A proposed sliding barn-door “shutter” approximately 6’ - 3” x 6’ - 8” will slide over the glass door. It will be a turquoise blue with black iron hardware. The clad color of all windows will be Medium Bronze.
4. Infill the existing aluminum sliding window on the north elevation and stucco over
5. Add a pair of wood clad true divided lite windows on the east elevation for egress. Add operable wood shutters to the east windows. The jamb will be turquoise blue with black iron hinges.
6. Install an approximately 32” x 42” decorative etched fixed glass in wood frame on the south elevation. Exposed frame will medium bronze color.
7. Add an exterior firebox and chimney to the south elevation. Height will be 3’ taller than the existing height (10’ - 6”).

8. Add a wood slat gate to the south of interior rock wall (4') for access to new storage building to be stained American Chestnut Brown.
9. Refurbish the existing west portal's wood components and canales.
10. Re-stucco with cementitious proposed for the entire building. The color will match the El Rey "Adobe" color of the existing structures on site.
11. Add exterior lighting as follows:
 - a. Two pendants down lights under the proposed portal on the north elevation and two pendants to the existing portal on west elevation.
 - b. One sconce fixture down light at the portal's northwest corner of the portal to light the courtyard.
12. Rooftop equipment includes a metal flue for the water heater to be painted black and screened by the parapet.
13. Install ground-mounted compressor for mini spit AC and heating to be screened with wood fencing.

No other changes to existing buildings and yard walls are proposed.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Single panes of glass larger than thirty (30) inches in any dimension are not permitted.

14-5.2(E)((1)(c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>5/23/2022</u>	<u>127 EAST DE VARGAS</u>	
Property Owner of Record: <u>BEITH CALDWELL TRUST</u>	Proposed Construction Description:	
Applicant/Agent Name: <u>DALE F. ZINN</u>	<u>STORAGE SHED</u>	
Contact Person Phone Number: <u>505 - 920-5573</u>	TOTAL ROOF AREA:	
Zoning District: <u>BCDBAR</u>	Lot Coverage: <u>16.4%</u>	
Overlay: <input type="checkbox"/> Escarpment	<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone*	Setbacks:	
<input checked="" type="checkbox"/> Other: <u>HISTORIC DOWNTOWN</u>	Proposed Front: <u>70</u> Minimum: <u>20</u>	
Submittals Reviewed with PZR:	2 nd Front? _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans	Proposed Rear: <u>18</u> Minimum: <u>15</u>	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Proposed Sides: <u>82 R 5</u> Minimum: <u>5</u>	
Supplemental Zoning Submittals Required for Building Permit:	Height: Proposed <u>14 MAX</u>	
<input type="checkbox"/> Zero Lot Line Affidavit	Maximum Height: <u>24</u> or	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
<input type="checkbox"/> Visibility Triangle Required	<input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential	Parking Spaces:	
<input type="checkbox"/> Commercial Type of Use: _____	Proposed <u>5</u> Accessible <u>0</u>	
Terrain: <input type="checkbox"/> 30% slopes <u>NA</u>	Minimum: <u>4</u>	
	Bicycle Parking**:	
	Proposed: _____ Minimum: _____	
	** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

DALE F. ZINN [PRINT NAME] [OWNER APPLICANT AGENT]


hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE [Signature] DATE 5/23/2022

To Be Completed By City Staff:	2022-005388-PAR
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>Lani J McCulley</u>	DATE: <u>05/24/2022</u>

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
 Historic Preservation Division, New Mexico Department of Cultural Affairs
 May 2, 2022

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Caldwell Property The Cider Press and Studio	2. Location: 127 and 127½ East De Vargas Street <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: H-1583-1 4. County: Santa Fe Parcel # 99310857
5. Property Type: <input checked="" type="checkbox"/> Buildings: 2 <input checked="" type="checkbox"/> Structures: Walls, multiple <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: May 27, 2022		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: July 8, 1993 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.684265,-105.9394696		
10. Photo Information: Robyn Powell, photographer. View of Cider Press (left) and Studio (right), facing northeast.		
11. Brief Description of the Property: <p>A small 0.25-acre, roughly square-shaped property fronting the Santa Fe River and below the “Roque Tudesqui House” is the subject of this form. The two buildings on the parcel are a c.1910 brick garage with additions (later reworked into the Cider Press), and a c.1960s, mostly windowless storage building with a <i>portal</i>. The property is no longer associated with the Tudesqui tract. It historically links with James “Jimmie” Caldwell, a Texan and part-time Santa Fe resident who revamped the garage and erected the second building. The property includes several stone walls, with the one fronting its north side the most significant</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Residence and storage		
13. Construction Date: Date: Cider Press, c.1910, with 1950s additions; Studio, 1960s <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs, newspaper accounts, city directories, property records		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Robyn Powell

For: Dale F. Zinn, Architect

18. Owner (if known) and other knowledgeable people:

Owner: Betty R. Caldwell
Revocable Trust

Source: Office of the Santa Fe County Assessor, 2022



19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing: Cider Press and Studio No Status: walls
Per City of Santa Fe official designation map: reviewed June 10, 2022.

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
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		4. County: Santa Fe	
		5. Date of Survey: May 27, 2022	

ARCHITECTURAL AND CONSTRUCTION DETAILS:

6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar Stone: <input checked="" type="checkbox"/> Random Coursed <input checked="" type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten Wood: <input type="checkbox"/> Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:	7. Number of Stories: <u> </u> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <u> </u> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <u> </u> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:
--	---

10. Windows <u> </u> N/A <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Operation</th> <th>Material</th> <th>Glazing</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Casement: paired</td> <td>Wood</td> <td>1</td> <td>1</td> </tr> <tr> <td>Casement: paired</td> <td>Wood</td> <td>6</td> <td>4</td> </tr> <tr> <td>Combination: casement & fixed</td> <td>Wood</td> <td>6-1</td> <td>1</td> </tr> <tr> <td>Single-Hung</td> <td>Wood</td> <td>2/1</td> <td>1</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>1</td> <td>1</td> </tr> <tr> <td>Sliding</td> <td>Wood</td> <td>1-1</td> <td>1</td> </tr> </tbody> </table>	Operation	Material	Glazing	Number	Casement: paired	Wood	1	1	Casement: paired	Wood	6	4	Combination: casement & fixed	Wood	6-1	1	Single-Hung	Wood	2/1	1	Fixed	Wood	1	1	Sliding	Wood	1-1	1	11. Doors <u> </u> N/A <table border="1" style="width: 100%; border-collapse: collapse; font-size: x-small;"> <thead> <tr> <th>Type</th> <th>Style</th> <th>Material</th> <th>Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Plank</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Plank w/Light</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Double</td> <td>Outswing Garage</td> <td>Wood</td> <td>1</td> </tr> </tbody> </table>	Type	Style	Material	Number	Single-Leaf	Plank	Wood	1	Single-Leaf	Plank w/Light	Wood	1	Double	Outswing Garage	Wood	1
Operation	Material	Glazing	Number																																										
Casement: paired	Wood	1	1																																										
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Single-Leaf	Plank w/Light	Wood	1																																										
Double	Outswing Garage	Wood	1																																										

12. Chimneys One: at wall, south elevation, Cider Press	13. Porches <u> </u> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input checked="" type="checkbox"/> Full-Width <input type="checkbox"/> Wrap
--	---

14. Other Significant Features N/A

15. Modifications: No known modifications

#1 Date: c.1950s: additions to garage and removal of frame add-on: Sanborn maps and aerial photographs

#2 Date: 1985: alterations to Cider Press: extent unknown: building permit

#3 Date: Post-1988: addition of multiple walls: property survey and aerial photographs

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

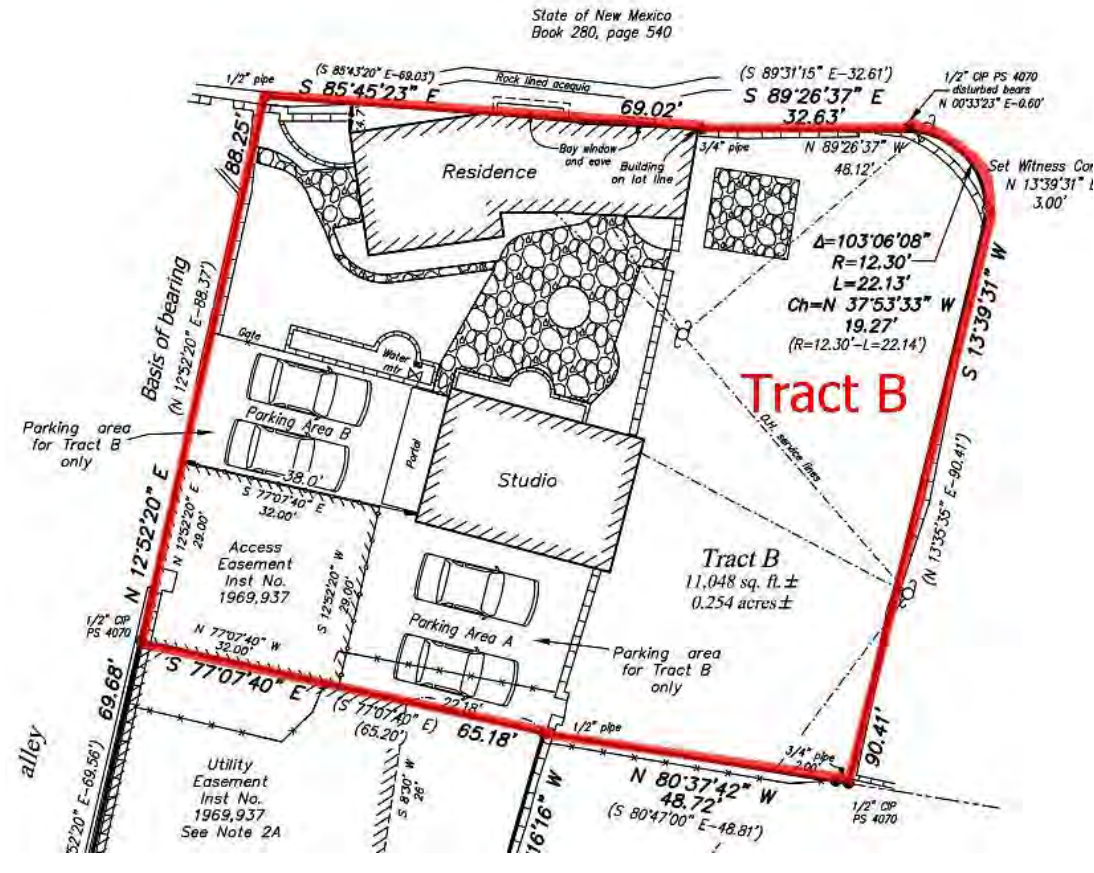
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 2021 boundary survey. Red lines added by author. Courtesy Sierra Land Surveying, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
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		4. County: Santa Fe			
		5. Date of Survey: May 27, 2022			

Architectural Description Continued

Setting

The subject tract sits along the Santa Fe River, fronting a linear park constructed by the Civilian Conservation Corps between 1933 and 1940 and revamped by the state in the 1950s (Photo 1 & 2). The park’s walkway, passing right in front of the property, inspired Caldwell to convert an old garage into a commercial venture.

The 1964 addition to the New Mexico Supreme Court Building, designed by W. C. Kruger & Associates, forms the west view. On the east is the parking lot of the State Land Office Building (1960), designed by the same firm. South and up a slope is the “Roque Tudesqui House.” The two study buildings sit on sandy, level land enclosed by low stone walls.

Cider Press¹

Garage

At roughly 1,083 square feet, the riverside building was constructed in c.1910 as a one-car garage. Its then owner, Samuel G. Cartwright, was one of the first in Santa Fe to own an automobile. He promoted good roads as the president of the Santa Fe Chamber of Commerce. Two adobe rooms were added to the building by Caldwell in the c.1950s to create an apartment.

The garage, roughly a square, is constructed of brick laid in an English pattern of alternating courses of headers and stretchers. Its north, south, and west walls are topped with a high parapet, obscuring a wire-glass skylight. Capping the walls is a simple coping made of a course of rowlock bricks, topped with another row of headers. This construction is exposed along the west and south elevations (Photos 3 & 4).

Historically, a pair of swinging wood doors on the west side opened to admit an automobile (Photo 4). Currently, they cover a bedroom window. The south elevation has one opening holding an older 2/1 wood sash window (Photo 3). A segmental brick header and sill frame the opening. The north (river-facing) elevation is faced with stucco, with a few relict paintings from the building’s use as an antique shop (Photo 7).

¹ Current owner refers to this structure as the “Casita.”

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Addition

Attached to the garage's east wall are two small adobe rooms, constructed in the 1950s for Caldwell's gardener. The telescoping appendage has the appearance of antiquity, with its sculptural shape, rounded parapets, and rustic vigas (Photo 5). But from Sanborn Fire Insurance maps, it didn't exist before 1948 (Figure 3). The south elevation opens to a flagstone patio and contains a small window and the entry, which holds a wood plank door.

Its east side sits on a low stone wall (Photo 6). It includes one opening holding a combination casement and fixed unit. The main façade, facing the park walkway, also has a river stone base. This public façade has two projecting windows that — judging by their design — were likely used for display when the building worked as antique shop and art gallery (Photo 7). The larger unit is boxed, and holds four six-light casements. The smaller window has a single pane. The larger window appears on a 1973 aerial photograph (Figure 6).

The building currently contains an apartment consisting of a bedroom, living room, kitchen/dining area, and bathroom.

Studio

Situated behind the Cider Press building, to the south, is a rectangular, flat-roof structure called the Studio (Photo 8). Constructed after 1958, the rectangular-plan building is arranged on a roughly east-west axis (Figures 4 & 5). At 682 square feet, it encloses a single room once used to house a gun and doll collection.

The building faces west onto a parking court, with a minimal façade consisting of a single, centered opening fitted with a diagonal board door. Sheltering this is a heavy-looking portal. The structure rests on a continuous beam supported by end posts. Across its parapet are ghost markings of removed vigas. Its floor is made of poured concrete.

The north elevation has one window (Photo 9); the remaining elevations are without openings (Photo 10). The south elevation ties into a low stone wall. The Studio is finished with smooth cementitious stucco in the buckskin tone.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Walls

Stone walls of various heights, mortar techniques, and vintages border the parcel on all four sides. All of the walls are made of river stone or rubble, arranged in irregular courses.

The roughly 40' long wall forming the west side of the Cider Press postdates 1988 (Photo 11). The stuccoed block wall edging the north side of the Studio additionally postdates 1988 (Photo 8). The east wall connecting the Studio to the Cider Press is older but likely postdates 1958 (Photo 10) (Figure 4). The stone wall at the northwest corner of the property is shown on a 1958 aerial, but appears to have been increased in height (Photo 12).

Of the most interest are sections of stone walls running along the north edge of the 1950's Cider Press addition.² These disparate sections maintain a roughly 5' height (Photo 7). They include pieces of sandstone bearing fossils and other anomalies, suggesting older construction.

Historical Overview

Introduction

As documented by local historian Corinne Sze in a report prepared in 1998 for the Historic Santa Fe Foundation, the supposed "Roque Tudesqui House," comprising 129-135 East De Vargas Street, is a myth-made attribution, disguising a complicated history of land transactions. The buildings under study have nothing to do with Tudesqui and are not even part of his posthumously named home. Instead, they are the handiwork of a Texan, James "Jimmie" Caldwell, who, in the 1950s, turned an old brick garage into a residence for his gardener and later an antique shop (the Cider Press). Nearby, he erected a building (the Studio) to jointly hold his gun collection and a collection of dolls held by his love interest, Lois Kennedy.

² The stone walls may have predated the addition.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Area Overview – Barrio Analco

The buildings, with a more of a river than street orientation, stand at the bottom of a residential lot that was once almost a separate city, historically comprised of homes of enslaved and allied Mexican Indians.

Typical of Mexican cities, Santa Fe, in its colonial period, had a separate neighborhood — a *barrio* — for its servants. Identified on Urrutia’s 1766 map as *Pueblo ó Barrio de Analco*, the string-like community south of the Santa Fe River was believed to have been settled by Náhuatl-speaking Mexican Indian auxiliaries.

“Analco” itself is from the Náhuatl language, meaning “from the other side of the river.” The specific ethnic makeup of Santa Fe’s Indian *barrio* is unknown but assumed to have been indigenous allies originating near Mexico City.³

Puebla City, Mexico, had an earlier “*barrio analco*.” In that colonial city, a priest had segregated Indians to a *barrio* with a separate parish church.⁴ Similar Indian *barrios*, each with the name “*analco*,” were established in Guadalajara, Zacatecas, Durango, and Oaxaca. In Santa Fe, the *barrio* was one of the city’s most unique features, and it became the target of both preservation and destruction. For the most part, it has been erased.

The best record of Santa Fe’s *Barrio de Analco* comes from Alonso de Benavides, a Portuguese Franciscan missionary who visited the villa in the 1620s. Benavides estimated Santa Fe’s population at 1,000, composed of 300 Spanish and Mestizo people, with 700 Indians “in their service.”⁵

Benavides went on to describe a tribute system, in which Indians paid each house a *manta* or blanket of cotton cloth and a *fanega* of corn every year, with which the “needy Spaniards sustain themselves.”⁶ The missionary observed that the Spanish used “great

³ Enrique R. Lamadrid, “Tlaxcalans in New Mexico: Fading Traces, Contested Legacies,” *New Mexico Historical Review* (Vol. 91, No. 2, Spring 2016), 150.

⁴ Norma Leticia Ramírez Rosete, Nilsen Pamela Arana Somuhano, and María Lourdes Guevara Romero, “Participative Management Model for Humanize the Public Spaces: Analco Neighborhood, Historical Center of Puebla, Mexico,” *Bitacora Urbano Territorial* (Vol. 29, No. 1, April 2019), 45.

⁵ Alonso de Benavides, Translated by Emma Augusta Ayers, *The Memorial of Fray Alonso de Benavides, 1630 (1916; reis., Albuquerque: Horn and Wallace, 1965), 23.*

⁶ *Ibid.*, 22.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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rigors” to keep the Indians in line. The barrio had its parish church — the present reconstructed San Miguel Chapel — and a ministry for the sick and needy.

A Steady Turnover

Following American Conquest, the area attracted foreign traders and others who found a built environment of homes and fertile fields, ready to improve. Roque Tudesqui, an Italian-born jeweler, watchmaker, and pawnbroker, acquired the subject property before the Americans arrived.⁷ He quickly sold it to Juan Nepomuceno López and his wife, María Rita Sandoval, who had other properties in the barrio.⁸

They held on to it for about ten years and sold it in 1851, leading to a steady turnover of owners, including investors in the Exchange Hotel (future La Fonda). The property continued to change hands — acquired and sold by an assortment of Anglos and Hispanics.

In 1895, one of the investors, William L. Jones, sold the land to Bertha L. Cartwright, wife of Samuel Cartwright.

Cartwright, an Iowa native, was the half-owner of Cartwright and Brothers, a successful wholesale grocery business. He made the first improvement to the subject property with a brick, one-bay garage constructed between 1908 and 1913, and likely in 1910 when newspaper accounts reported he owned one of the first automobiles in Santa Fe (Figures 1 & 2). At the time of his death in 1923, the house had grown to nine rooms, including two bathrooms, and been updated with modern conveniences: a tin bathtub, electric lights, and the brick garage.⁹

The 1920 federal census, recorded three years before his death, documented the home’s occupants. The household included Samuel and his brother and business partner, Hiram B. Cartwright, three of Samuel’s children, ranging in age from 21 to 27, a daughter-in-law, a grandchild, and a 28-year-old “servant,” Julia Vigil.¹⁰

⁷ Corinne P. Sze, “History of the ‘Roque Tudesqui’ House, 131 and 135 East De Vargas Street, Santa Fe, New Mexico,” Prepared for the Historic Santa Fe Foundation, 1998, 1.

⁸ Ibid., 7.

⁹ Ibid., 8.

¹⁰ United States Census, 1920, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T625_1080; Page: 18A; Enumeration District: 127.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: Caldwell Property The Cider Press and Studio	2. Location: 127 and 127½ East De Vargas Street <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: H-1583-1			
		4. County: Santa Fe			
		5. Date of Survey: May 27, 2022			

James and Elizabeth Caldwell

In 1939, Bertha Cartwright deeded the property to James Caldwell, a Texas native. Caldwell would have the most impact on the subject parcel and two its buildings.

James Alonzo Caldwell, Jr., was born on July 21, 1894, in San Angelo, Texas, a railroad transportation hub along the Concho River in the western part of the state.¹¹ His father, James Alonzo, Sr., and mother, Alice Shearin, were both of Kentucky background and likely represented the mid-19th century settlement of Texas by Southerners. His father, as a farmhand, moved the family around West Texas.

His son was ambitious and, in 1912, was selected as a second alternative to attend the United States Naval Academy in Annapolis, Maryland.¹² Ultimately not selected, he started to race and sell motorcycles — remembered by the family as Harley-Davidsons — in Amarillo. Based on newspaper advertisements, he probably hawked Indian motorcycles for the Amarillo Motorcycle Company, owned by T. M. Caldwell, a probable relation.¹³

By the 1920s, Caldwell had moved on to selling tractors and implements. One family story holds that Caldwell sold a load of tractors to Pancho Villa.¹⁴ A Spanish-language biography of Villa confirms the story, saying that as a representative of the Kibbe Tractor and Implement Company, Amarillo, Caldwell had sold the former revolutionary ten heavy-duty tractors.¹⁵ In April 1992, Caldwell journeyed t to Villa’s farm, *Hacienda de la Limpia Concepción de Canutillo*, to train his laborers and sharecroppers.

With this adventure over, Caldwell returned to Amarillo, put his motorcycle up for auction¹⁶, and in 1923 married Mary Elizabeth Laird, a Dallas native. The couple lived in Dallas, where James worked as a salesman for the Dorsey Company, a printing company

¹¹ Biographical information on Caldwell was drawn from various sources, including public records, census enumerations, newspaper accounts, and contextual secondary sources.

¹² “Annapolis Appointments,” *Fort Worth Record and Register*, August 16, 1912, 2.

¹³ The 1920 census recorded Caldwell living his uncle, L. Degenhardt, a German descendant who sold motorcycles; United States Federal Census, Year, 1920, Census Place: Amarillo, Potter, Texas; Roll: T625_1837; Page: 11B; Enumeration District: 203.

¹⁴ Sze, “History of the ‘Roque Tudesqui’ House,” 9.

¹⁵ Paco Ignacio Taibo, III, *Pancho Villa: Una Biografía Narrativa* (Ciudad de México, Planeta, 2006), 777.

¹⁶ “Public Auction Sale,” *Amarillo Daily*, April 12, 1922, 2. Auctioned occurred May 5-6, 1922.

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specializing in government work. Established in 1884 as the Dorsey Company Stationers, it was one of the largest printing businesses in Texas.

While still living in Dallas, where he would maintain a home until his death, Caldwell purchased the Santa Fe riverfront property. Based on a Sanborn map, at some point before 1948 he added a small frame dwelling to the south of the garage (Figure 3). Before moving to Santa Fe, Caldwell had split the old Cartwright home into three apartments.

As captured in the 1950 census, James, then going by “Jimmie,” 55, lived in Apartment #2, and in Apartment #3 lived his longtime mistress, Lois Kennedy, 32. Kennedy was a stenographer, originally from Putman, Texas.¹⁷

In Santa Fe, Caldwell continued to work for the Dorsey Company, representing a sales territory stretching from Texas to New Mexico. In 1956 in an attempt to gain local clients, he hosted an evening soiree at La Fonda for the New Mexico Association of County Officials, plying more than 200 guests with cocktails and live music.¹⁸

A Riverside Store

In the early 1950s, Caldwell converted the old Cartwright garage into a small commercial venture. Before that, he had added two adobe, cell-like additions to its east end as quarters for his gardener, Juanito.¹⁹

Through the work of the CCC in the 1930s, the downtown stretch of the Santa Fe River had developed into a linear urban state park — potentially the first of its type in the West. While no San Antonio River Walk, the paths on both sides of the river drew both locals and tourists. It was only natural that the former garage, fronting directly on the south walkway, would be seen as an asset. In 1946, Caldwell filed a quit claim to get back the land that had been donated in 1934 to create the park walkway.²⁰

¹⁷ United States of America, Bureau of the Census; Washington, D.C.; Seventeenth Census of the United States, 1950; Record Group: Records of the Bureau of the Census, 1790-2007; Record Group Number: 29; Residence Date: 1950; Home in 1950: Santa Fe, Santa Fe, New Mexico; Roll: 3578; Sheet Number: 2; Enumeration District: 26-22.

¹⁸ “Caldwell Fetes County Officers,” *Santa Fe New Mexican*, May 29, 1956, 3.

¹⁹ Sze, “History of the ‘Roque Tudesqui’ House,” 9.

²⁰ “Caldwell Claim Studied by AG,” *Santa Fe New Mexican*, May 4, 1946, 1.

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From the newspaper advertisements, the Cider Press, as it would be called, opened in the summer of 1952. Advertised as “On the River,” the small shop sold antiques: china, lamps, old glass, and iron and copper wares.²¹ Informally going by Lois’ Antiques, it was run by Lois Kennedy. Jointly, they operated the Cider Press for 18 years. The shop had a vague seasonal schedule and at times met controversy for flying the Texas state flag.²²

Based on aerial photographs and family memory, Caldwell added what is called today the Studio, south of the antique shop, in the 1950s. The small building was designed as a museum for his antique gun collections and Lois’ vintage dolls.

After retiring in 1967, Caldwell moved to Santa Fe, living there on a more regular basis. He closed the Cider Press and put it up for sale. He only lived in the De Vargas Street apartment for two years before his death in 1969.

The riverside store continued to operate, now as the Cider Press Antiques. Running the business were Jack and Helen Bennett. Jack Bennett, a Kansas native, had once played for the New York Yankees farm team.²³ In the mid-1970s, the store expanded, taking on a new role as an art gallery.

It went by the hyphenated name, Gene Pacheco-Cider Press Gallery, reflecting its dual use as an art gallery for Santa Fe painter Gene Pacheco. Pacheco used the space as both his studio and gallery.²⁴

Remodeled in 1985, the Cider Press continued operating until the late 1980s, when Jack Bennett retired. For years after, the building sat idle, with its mural of a cider press worker slowly fading.

1964, Jimmie Caldwell deeded the property to his daughter Betty Caldwell. Born in Dallas in 1931, Betty Ruth Caldwell graduated from Louisiana State University as a French major and later attended the University of Grenoble (Université Grenoble Alpes) under a Fulbright scholarship. She taught French in New Orleans at Loyola University and St. Mary’s Dominican College. In New Orleans, she met Norma Kearby, a doctor. The life partners were married in 2004.

²¹ Advertisement, *Santa Fe New Mexican*, July 27, 1952, 8.

²² “New Mexico is Not Under Texas Flag,” *Santa Fe New Mexican*, November 5, 1958, 10.

²³ “Jack Bennett,” *Santa Fe New Mexican*, June 6, 1996, B-3.

²⁴ “Gene Pacheco,” *Santa Fe New Mexican*, November 12, 1996, B-2.

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Betty Caldwell managed the property until her death in 2014. During this period, the lower half of the property (Tract B), containing the Cider Press and Studio, was separated from the upper half (Tract A), comprising the old “Roque Tudesqui House.” Tract B is currently under the ownership of the Betty R. Caldwell Revocable Trust.

Evaluation of Historical Status

At over 50 years of age, both the Cider Press and Studio meet the minimum threshold for Contributing Structure status.

The Cider Press holds additional significance as an example of an early garage converted to commercial use. With its whimsical façade, the business was a mainstay along the Santa Fe River parkway for nearly 50 years. Its addition, on the south elevation, communicates admirable elements of the Pueblo Revival style. The Studio is not much of a building, consisting of a rigid stuccoed box with two openings — still, it associates with Caldwell’s modification of the property. The collection of walls varies in age and craftsmanship. The presumed oldest section, fronting the Cider Press addition, has the most significance.

Following this reasoning, the Cider Press is recommended for an upgrade in status to Contributing Structure. Its north, west, and south elevations are suggested as primary facades in that they communicate either architectural interest or historical association.

The Studio is additionally recommended for Contributing Structure status, with its west elevation – its only façade – suggested as primary.

The stone wall framing the north side of the Cider Press addition is also recommended for Contributing Structure status.

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Illustrations

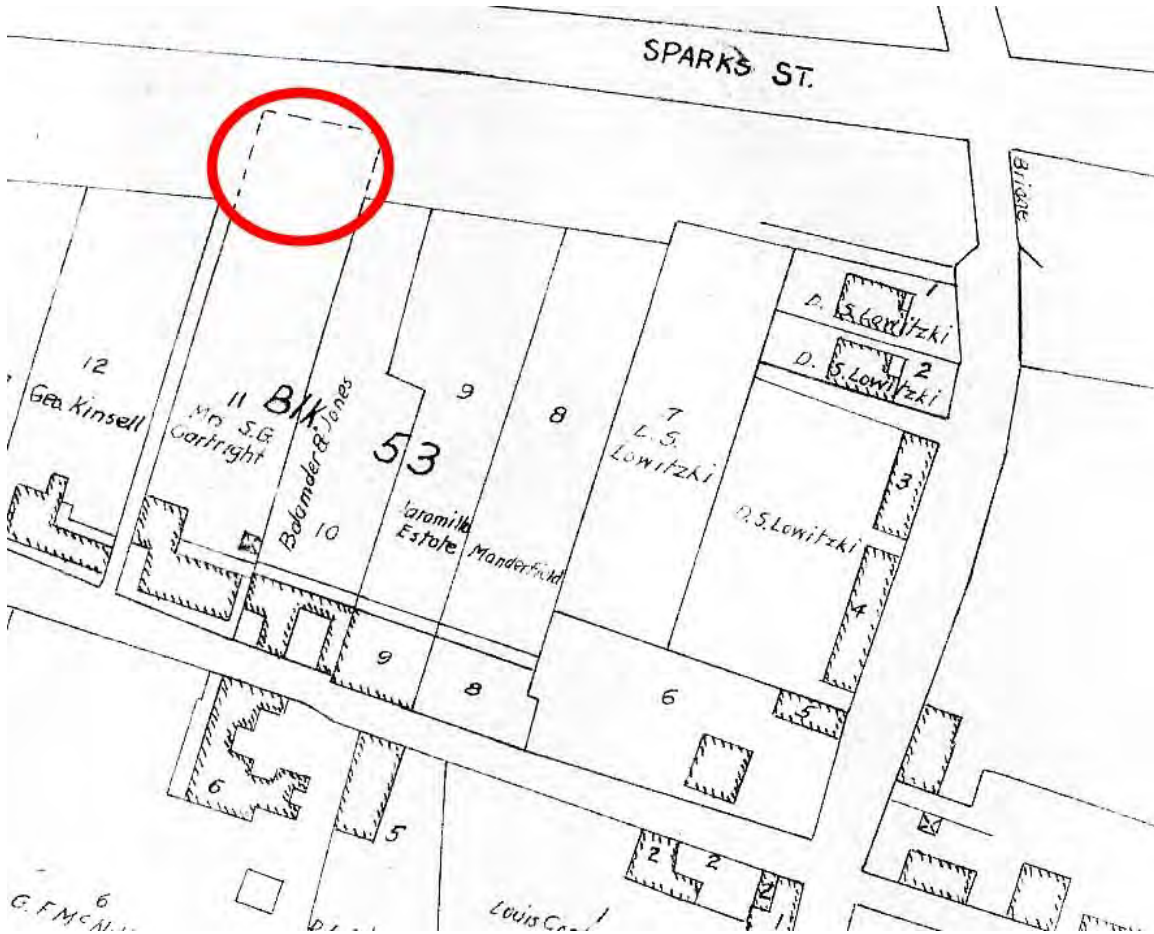


Figure 1: 1908 Sanborn Fire Insurance Map.
No buildings indicated.

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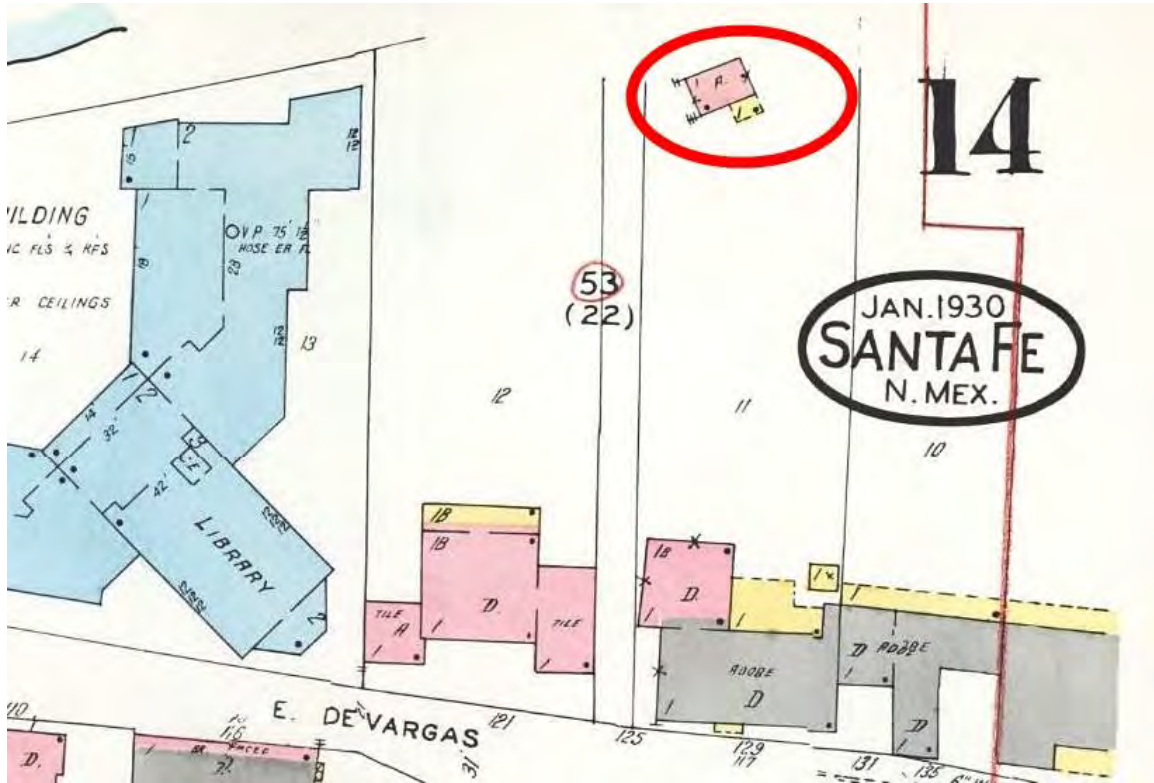


**Figure 2: 1912 N. L. King, "Map of the City of Santa Fe."
No buildings indicated.**

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**Figure 3: 1930/1948 Sanborn Fire Insurance Map.
Garage with frame addition.**

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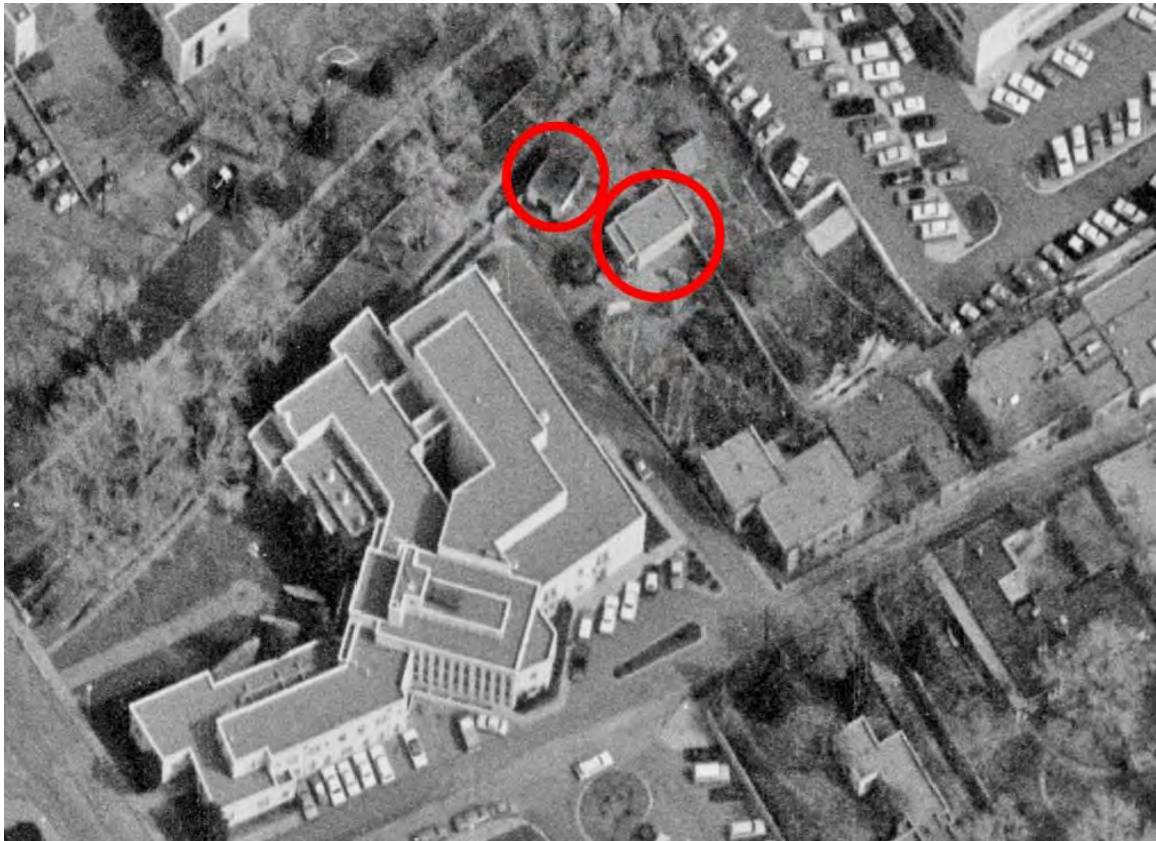


**Figure 4: November 10, 1958, aerial photograph.
Cider Press with additions; Studio not present.**

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**Figure 5: February 2, 1968 aerial photograph.
Cider Press and Studio circled.**

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**Figure 6: May 11, 1973, aerial photograph.
Close view of Cider Press and Studio.**

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Survey Photographs

(All images taken by Robyn Powell on, May 27, 2022, unless otherwise noted)



**Photo 1: View of property from Alameda.
Camera facing southeast.**



**Photo 2: View of property from state park.
Camera facing southeast.**

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**Photo 3: View of Cider Press, south elevation, original garage portion.
Camera facing north.**



**Photo 4: View of Cider Press, west and south elevations, original garage portion.
Camera facing northeast.**

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Photo 5: Cider Press, south elevation, c.1950s addition.
Camera facing north.



Photo 6: Cider Press, east elevation, c.1950s addition.
Camera facing west.

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Photo 7: Cider Press, north elevation, full façade.
Camera facing southwest.



Photo 8: Studio, west (front) elevation.
Camera facing east.

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Photo 9: Studio, north elevation
Camera facing southeast.



Photo 10: Studio, south and east elevations.
Camera facing southwest.

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**Photo 11: Post-1988 stone wall in front of Cider Press.
Camera facing east.**



**Photo 12: Potentially older stone wall at northwest corner.
Camera facing south.**

June 15,2022

Angela Shackle, Senior Planner
City of Santa Fe
Building Historic Preservation Division

200 Lincoln Ave
Santa Fe, Nm 87501

Re: Proposed Storage Building at 127 East de Vargas. (Formerly 129 Agua Fria)

Dear Angela,

Please let this stand as the application letter for a free-standing Storage structure on the above site.

My firm has been retained to represent the Betty Caldwell Irrevocable Trust , in matters pertaining to the design and construction that is proposed for property at 127 East De Vargas . This application pertains solely to the construction of a small new storage building detached and distances from Existing potential Historic Structures and features on that property .

The building is no more than 13-0" high and will separated from other structures by at least 10-0"

No potential historic stone walls are affected in this proposal.

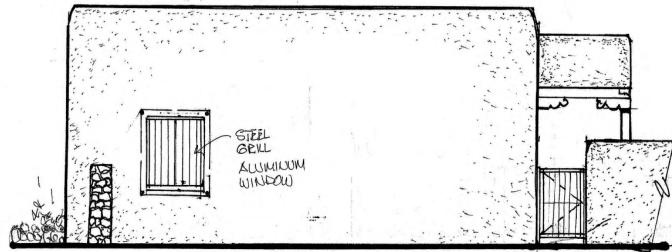
- The building will be a 6" frame constructed pueblo revival design with a small porch with details that echo those on the existing studio structure. There is a wood shutter " window" on the north elevation to break up the blank wall effect on that side.
- Colors are as shown in the submitted photo color key.
stucco to match existing, turquoise blue to match existing .
- Medium brown stain to match existing on storage structure.

JI have developed a separate set of floor plans and elevations and site photos to be considered for this project alone . Sorry for the confusion , there was a scanning error. that gave you the wrong application letter.

Sincerely Yours

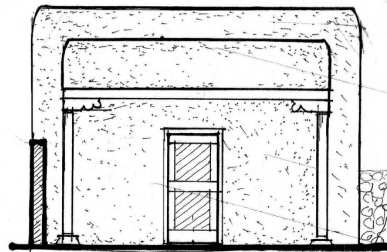
Dale F Zinn Dale F Zinn and Associates Architects NM # 940

For Betty Caldwell Irrevocable trust, Owner.



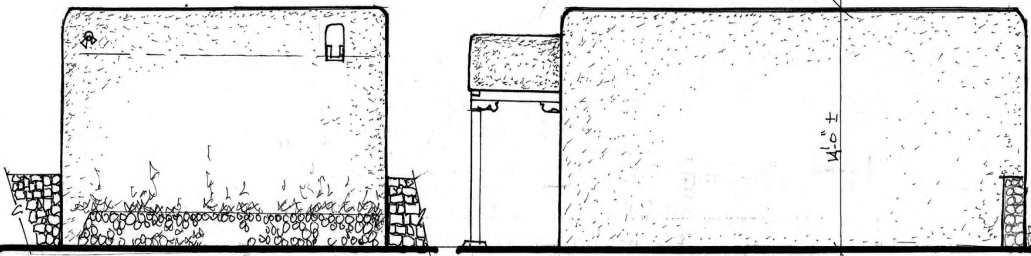
North Elevation

1/4" = 1'-0"



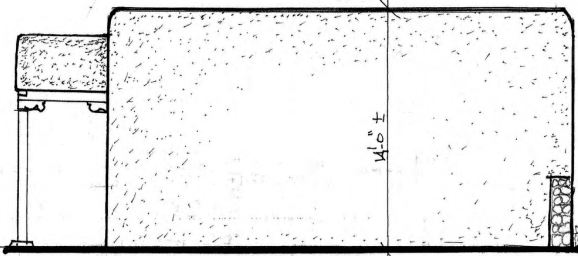
West Elevation

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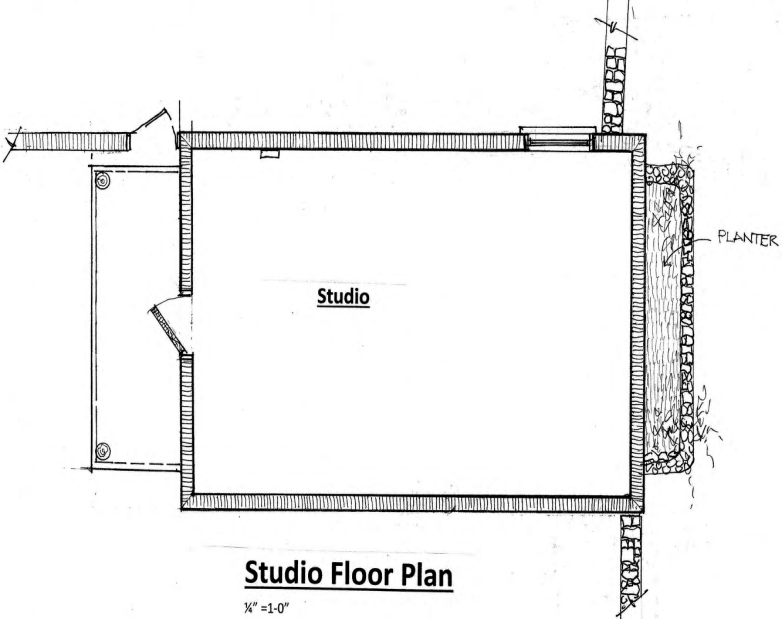
East Elevation

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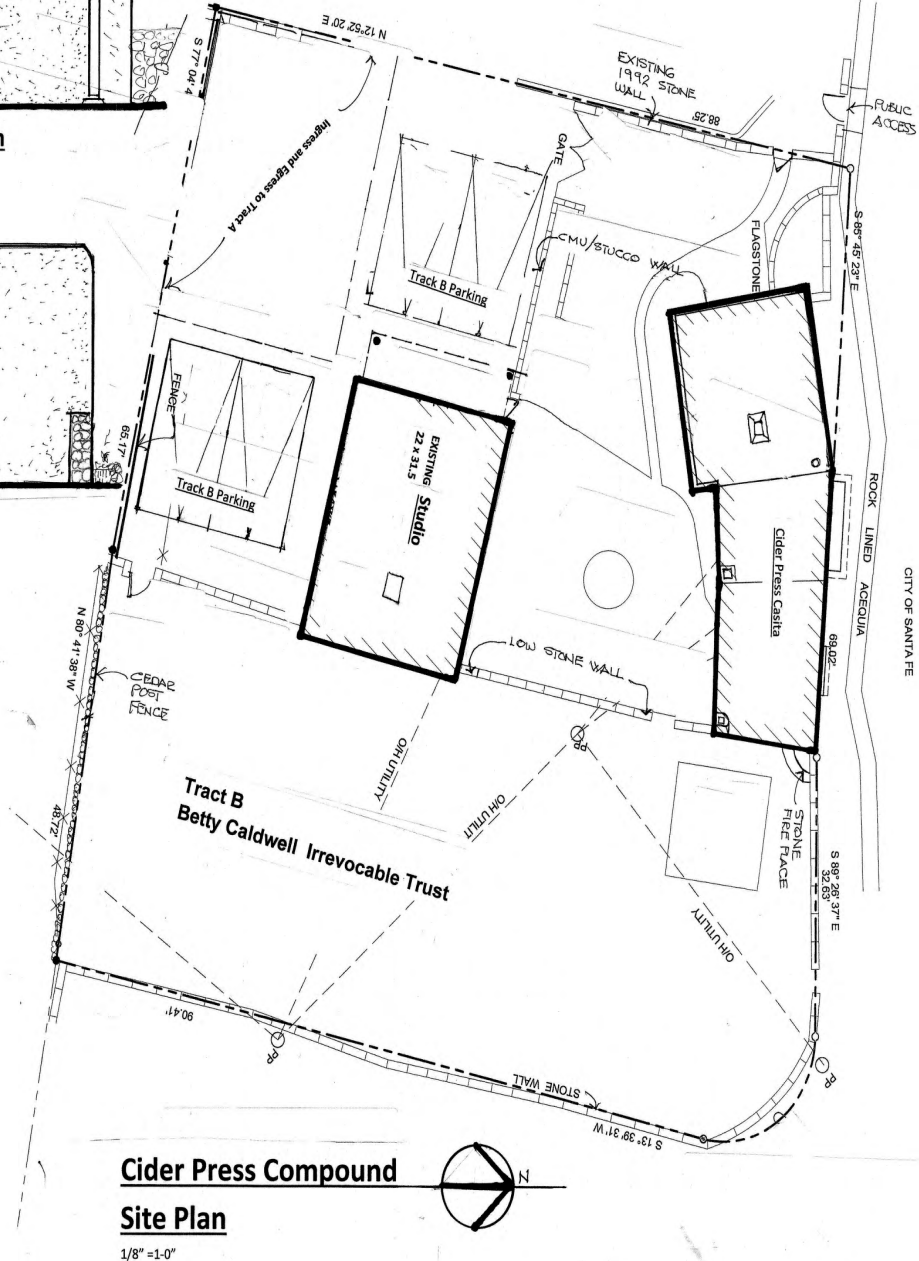
South Elevation

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Studio Floor Plan

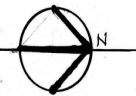
1/4" = 1'-0"



Cider Press Compound

Site Plan

1/8" = 1'-0"



Dale F. Zinn and Associates, Architects

P.O. Box 756
Santa Fe, New Mexico 87504
(505) 962-9690
DFZinn@aol.com

Cider Press Compound

127 EAST DeVARGAS
SANTA FE COUNTY
SANTA FE, NEW MEXICO

**Cider Press Studio
Drawings as Built**

DATE: 05/05/2021

LA

DZ

129 E DeVARGAS-01.DWG

DRAWN BY:

CHECKED:

REVISIONS:

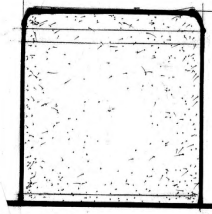
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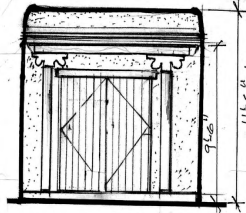
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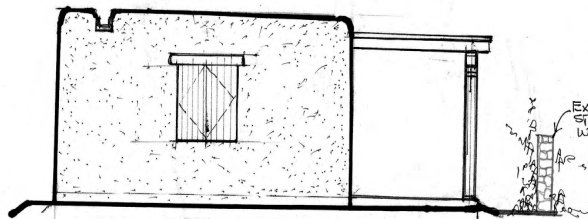
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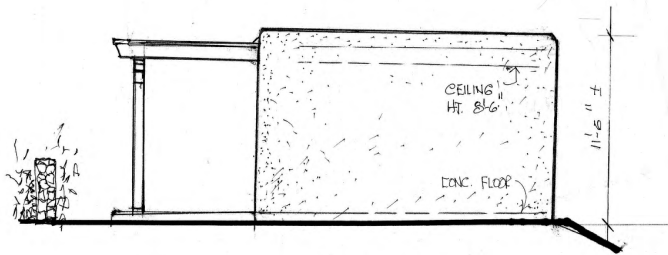
East Elevation
1/8" = 1'-0"



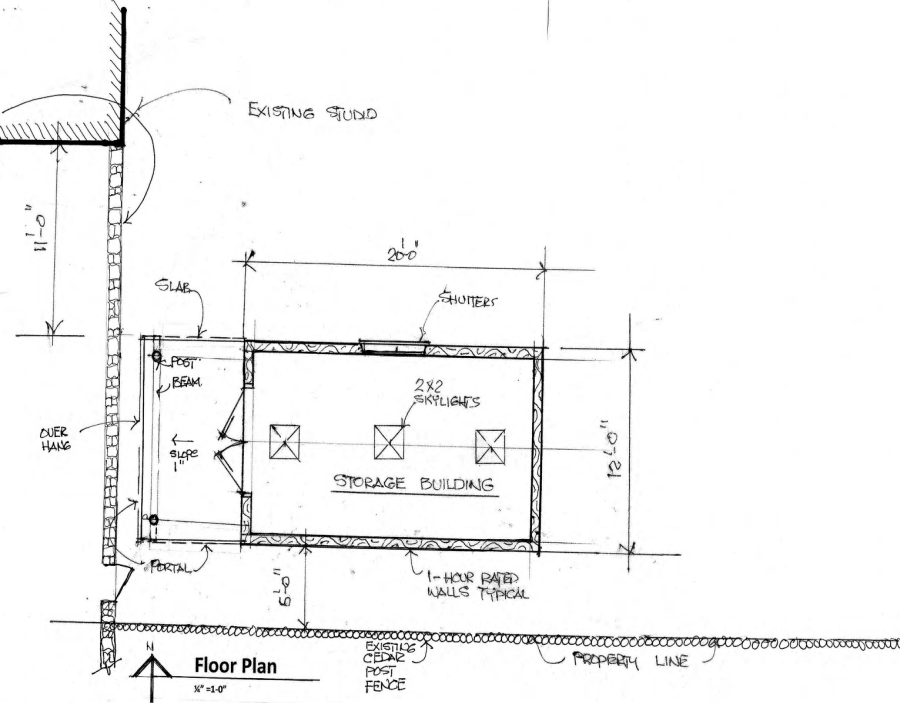
West Elevation
1/8" = 1'-0"



North Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"



Floor Plan
1/8" = 1'-0"

Dale F. Zinn and Associates, Architects
P. O. Box 756
Santa Fe, New Mexico 87504
(505) 982-8690
DFZinn@aol.com

Proposed Storage Structure
127 EAST DeVARGAS
SANTA FE COUNTY
SANTA FE, NEW MEXICO

Storage Structure

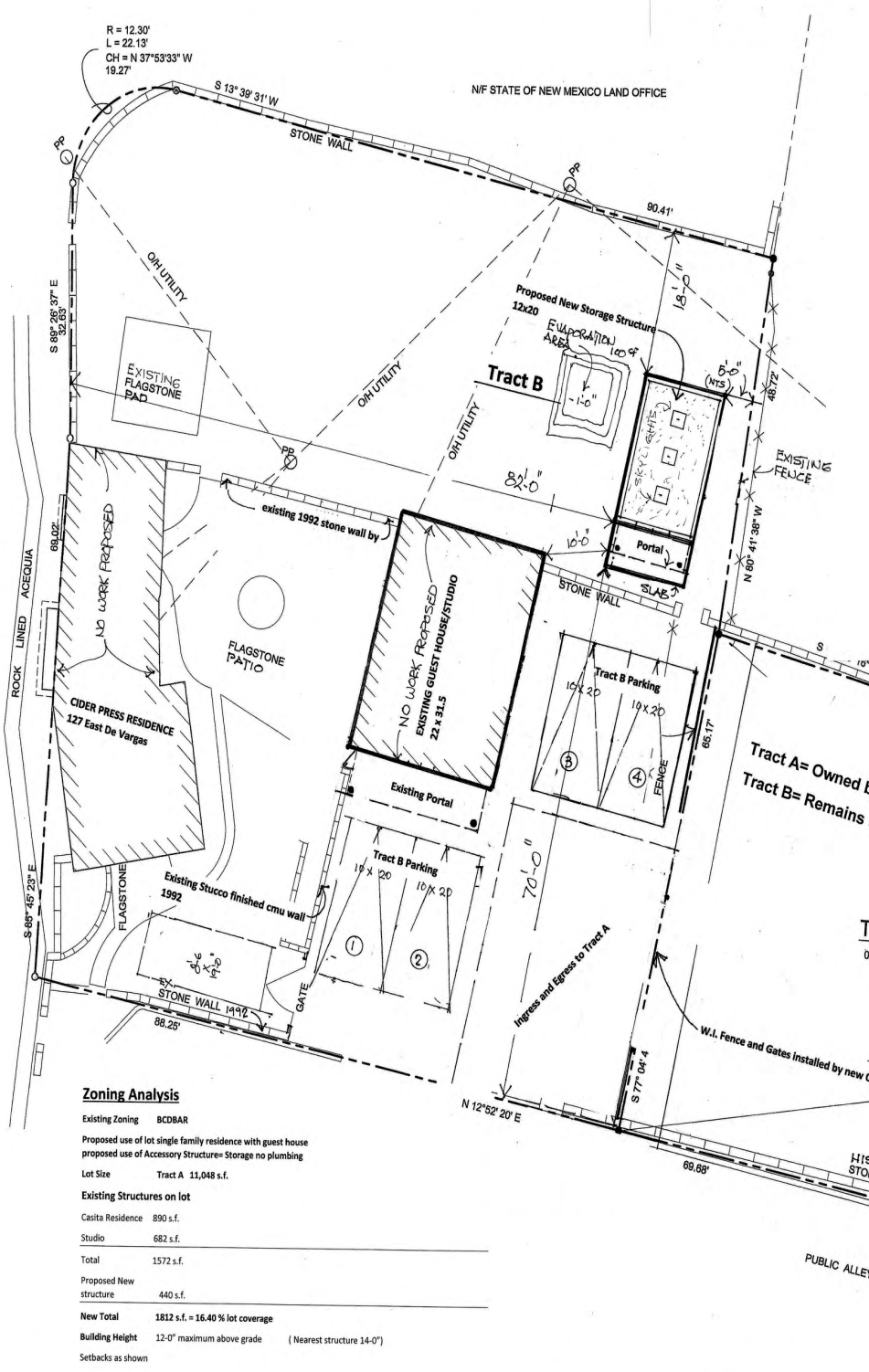
DATE: 4/20/22
DRAWN BY: LA
CHECKED: DZ

REVISIONS:	ID	DESC.	DATE
	DZ	HRED	4/10/22

SHEET

A1

N/C CITY OF SANTA FE



Zoning Analysis

Existing Zoning BCDBAR
 Proposed use of lot single family residence with guest house
 proposed use of Accessory Structures- Storage no plumbing

Lot Size Tract A 11,048 s.f.

Existing Structures on lot

Castia Residence	890 s.f.
Studio	682 s.f.
Total	1572 s.f.

Proposed New structure 440 s.f.

New Total 1812 s.f. = 16.40 % lot coverage

Building Height 12'-0" maximum above grade (Nearest structure 14'-0")

Setbacks as shown

Parking on site for House/ Guesthouse = 5
 required for accessory structure= none

Separation between possible contributing structure 10'-0"

1 SITE PLAN
SCALE 1/8" = 1'-0"



The undersigned owners do hereby consent to this certificate.

TRACT A AND B
 Betty R. Caldwell Betty R. Caldwell
 State of Louisiana Parish of Orleans
 The foregoing instrument was acknowledged before me this 11th day of October 1998.
 My commission expires: BY DEATH
 Notary Public

CITY OF SANTA FE, NEW MEXICO
 This certificate is in conformance with the City of Santa Fe Sub-division Regulations.

City Engineer: [Signature] Date: 11/14/98
 Planning Director: [Signature] Date: 11/14/98

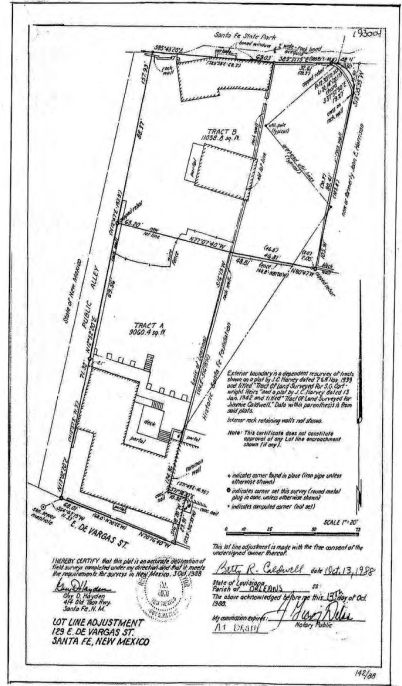
Note: This certificate does not constitute approval of any lot line encroachment shown (if any).



Page 2

NOTE: LOT ALSO SHOWN ON KINE'S MAP 1912

Legal Lot of Record Documents



Dale F. Zinn and Associates, Architects
 P. O. Box 756
 Santa Fe, New Mexico 87504
 (505) 982-9690
 DFZinn@aol.com

SITE PLAN 1/8" SCALE
 RESIDENCE
 127 EAST DE VARGAS
 SANTA FE COUNTY
 SANTA FE, NEW MEXICO

SITE PLAN

DATE: 4/20/02
 DRAWN BY: LA
 CHECKED: DZ

REVISIONS:	DATE	DESC.
1	4/20/02	HDCB

SHEET

A.2

Proposed Storage Building on East Lot

Site View



View to West from Project Site



View to South East to Roque Tudeque House on East De Vargas



View to Santa Fe River Park from Project Site



View from Project site to Cider Press Compound



View toward east from Supreme Court Parking Lot





Cider Press proposed storage building



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005877--HDRB

Project Description: 2022-005877-HDRB. 127 & 127 ½ E. DeVargas St. Contributing. Dale Zinn, agent for Betty Caldwell Irrevocable Trust, Owner, proposes to remodel a 612 sq.ft. studio by adding a 180 sq.ft. portal and a 15 sq.ft firebox, window, door, and yard wall alterations. (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)

Project Location(s): 127 E DE VARGAS ST
Santa Fe, NM 87501

Contacts:

Applicant: Dale F Zinn
P.O. Box 756
Santa Fe, NM 87504

dfzinn49@gmail.com

Property Owner: Betty Caldwell
129 E. Devargas Units 1, 2, and 3
Santa Fe, NM 87501

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray Senior Planner, Historic Preservation Division

Case # 2022-005877-HDRB

Address: 127 and 127 ½ E. DeVargas Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Forms

Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project with the following conditions: that the proposed portal addition on the north elevation be set back at least 10' from the west primary façade per Section 14-5.2(D)(2)(d) regarding proximity of additions to primary façades; and that the proposed stained-glass window meet Section 14-5.2 (E) (1)(c) regarding divided lites, as it exceeds 30" in width. Otherwise, staff finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

127 and 127 ½ E. DeVargas Street is a .25-acre property in the Downtown and Eastside Historic District with two main buildings, one known as the “Cider Press,” the other is a studio building used for storage, located south of the “Cider Press.” The “Cider Press Compound,” as the applicant refers to it, is a unique and curious group of historic structures sandwiched between two public institutional buildings. Its north primary façade is oriented toward the Santa Fe River. The lot and structures were originally part of a larger lot with a historically significant home to its south up a hill to East DeVargas Street. The river side has notable boxed windows, a remaining “Cider Press” sign, and faded murals that are familiar to generations of Santa Feans and visitors.

Both structures were designated contributing at the July 26, 2022, HDRB hearing (case 2022-005472-HDRB) along with the low river rock north and east yard walls. The board designated the north, west and east elevations of the Cider Press’ as primary facades. South of the Cider Press, the studio was constructed in the 1960s. It is a rectangular, flat-roofed, stuccoed building with a portal in the Spanish- Pueblo Revival Style. The studio building’s west façade was designated as primary. Its north elevation has one window, and there are no windows on the other elevations. The building faces west toward the New Mexico Supreme Court’s parking lot.

The studio building is the subject of this case. At its August 8, 2022, hearing in case 2022-005473-HDRB, the board approved the construction of a free-standing storage building on the lot’s southeast corner.

Now, the applicant proposes to:

1. Add a 180 square foot portal to the north courtyard elevation. It will be set back from the west primary façade by 10’-0” from the front of the portal. The portal will have a round wood post and square beam construction, similar to the existing west elevation portal on the building’s primary facade. All exposed wood will be American Chestnut Brown stain to match existing woodwork.
2. The applicant proposes to install an approximately 6’ - 0” x 6’ - 8” sliding French door with true divided lites. A proposed sliding barn-door “shutter” approximately 6’ - 3” x 6’ - 8” will slide over the glass door. It will be a turquoise blue with black iron hardware. The clad color of all windows will be Medium Bronze.
3. Remove the existing aluminum sliding window on the north elevation, fill in and stucco over, eliminating the opening.
4. Add a pair of wood clad true divided lite windows on the east elevation for egress. Add operable wood shutters to the east windows. The jamb will be turquoise blue with black iron hinges.
5. Install an approximately 32” x 42” decorative etched fixed glass in wood frame on the south elevation. Exposed frame will medium bronze color.
6. Add an exterior firebox and chimney to the south elevation. Height will be 3’ taller than the existing height (10’ - 6”).
7. Refurbish the existing west portal’s wood components and canales.

8. Re-stucco with cementitious proposed for the entire building. The color will match the El Rey “Adobe” color of the existing structures on site.
9. Add exterior lighting as follows:
 - a. Two pendants down lights under the proposed portal on the north elevation and two pendants to the existing portal on west elevation.
 - b. One sconce fixture down light at the portal’s northwest corner of the portal to light the courtyard.
10. Rooftop equipment includes a metal flue for the water heater to be painted black and screened by the parapet.
11. Install ground-mounted compressor for mini spit AC and heating to be screened with wood fencing.
12. Replace existing skylight with a low profile 2-0” x 6-0” skylight. Its highest point will sit below the existing parapet.
13. Yard walls, gates and landscaping that includes:
 - a. Repair existing rock planters in courtyard and on east side of the studio building.
 - b. Remove portion of the rock wall located south of the Studio that ends at the 129 East De Vargas northeast corner. The section to be removed will create a 7-0” wide opening for access to the east garden and the approved new storage building.
 - c. Add a 4’ wood slat gate to the south of interior rock wall for access to new storage building to be located at the southeast corner.
 - d. The opening will be fitted with two wood plank gates approximately 3’ - 8” high x 3’ - 4” each leaf wide. The gates will be finished with a stained American chestnut brown stain with black iron hardware.
 - e. Repair stone wall in center courtyard that connects the studio with the casita structure. It will be lowered approximately 20# and match the existing variegated shape and colored stone. Rocks for the wall will be harvested and stored for future repairs to other stone walls around the property. Mortar joints, type, texture and color, and style of rock wall repair shall match the “casual” river rock style of the existing.
 - f. No landscape lighting or structures are proposed.

No other changes to existing buildings and yard walls are proposed.

RELEVANT CODE CITATIONS:

Proximity of Addition to Primary Façade:

14-5.2(D)(2)(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Single panes of glass larger than thirty (30) inches in any dimension are not permitted.

14-5.2(E)((1)(c) Solid wall space is always greater in any façade than window and door space combined. Single panes of glass larger than thirty (30) inches in any dimension are not permissible except as otherwise provided in this section.

Revised September 15,2022

Angela Shackle Bordegaray, Senior Planner
City of Santa Fe
Building Historic Preservation Division

200 Lincoln Ave
Santa Fe, Nm 87501

Re: Proposed Remodeling and Portal Addition to Studio /Residence Building at 127 East de Vargas.
(Formerly 129 Agua Fria)

Dear Angela,

Please let this stand as the revised application letter for proposed remodeling and a portal addition to non-primary north Façade on the Contributing Studio Structure at the above address.

My firm has been retained to represent the Betty Caldwell Irrevocable Trust , in matters pertaining to the design and construction that is proposed for property at 127 East De Vargas .

This application pertains solely to the remodeling and additions to the existing Studio/Guest House building which was determined to be a contributing structure with the West façade as Primary. The proposed work is described as follows:

The Remodeling proposed is as follows:

- The existing contributing 612 s.f. cmu structure will maintain its primary west façade complete. The wood components will be refurbished existing on portal and canales is proposed to extend the life of those elements. Stain Color refresh will be American Chestnut as per color chart.
- A complete exterior insulation and cement stucco system with mineral color coat over lath is proposed for the entire building.
The color wil match the El Rey “Adobe” color of the existing structures on site as a per color chart submitted herein.
- An exit window 2 each 24” x 48” sashes made in clad wood framed with simulated true divided lites is proposed on the non-primary east wall . This window will be fitted with operable security shutters as described below.
- An approximately 32” x 42 “ Owner Furnished decorative etched fixed glass in wood frame (see Photos in this report) will be installed on the south elevation. Exposed frame will medium bronze color.

- An approximate 6-0" x 6-8" Clad wood framed sliding glass door with simulated true divided lites is proposed for the non-primary south elevation of the structure.

Clad Color Medium Bronze throughout.

- A pair of wood operable shutters is proposed for the east side exit window for security purposes. The shutters and jamb will be Turquoise Blue as per color chart with black iron hinges.
- A sliding barn-door " shutter" approximately 6-3" x 6-8" is proposed under the portal to add security to the sliding door areas when the building is not occupied. It will be a turquoise blue with black iron hardware.

The footprint of the contributing structure will be expanded by approximately 180 s.f. as follows:

-A fireplace firebox will extend out from the north elevation 15 s.f. as shown on the floor plan.

-A courtyard north portal is proposed that will be set back from the west primary façade by the required 10-0" and will be approximately 16 feet long by 6-0 wide. This height of the portal will be lower than the existing contributing portal but will use complimentary wood round post and square beam construction . All exposed wood will be a matching American chestnut brown as depicted on the photos of the existing wood and in the color chart.

- The portal terrace walking surface of flagstone will extend beyond the roof covering by 10 feet on the west and 4 feet on the east.
- Colors are as shown in the submitted photo color key.
- Lighting on the outside of the structure shall be limited as follows:
 - two decorative pendants down lights under the existing portal
 - two decorative pendant downlights under the proposed new portal
 - one sconce fixture down light at the northwest corner of the building to light the courtyard.
 - one sconce fixture down light on south side to secure the parking area.

Light fixtures shall be submitted to staff for approval.
- No roof top exposed mechanical equipment is proposed other than the code required metal flue for the water heater and the stucco chimney with metal flue for the fireplace. Those items will be painted flat black. A compressor for mini spit AC and heating is proposed for the south "

trash enclosure area . It will be screened with a low 3-6” coyote fencing . Hoses if needed will be shielded on south wall with housing that is painted to match the stucco.

- A low profile 2-0” x 6-0” skylight is proposed to replace the existing deteriorated skylight . The highest portion of the skylight falls below the existing parapet and is not visible to the public for any public way.

Landscape features shall include the following :

Please note:

The finding of the H board in July ,2022 was that the internal stone walls were not historic.

- Repair of existing rock planters in courtyard and on east side of the studio building.
- In order to have enhanced access to the approved east garden storage building , the Trustees propose to remove portion of the rock wall that is located south of the Studio and ends at the 129 East DE Vargas northeast corner. The section to be removed will create a 7-0” wide opening for access to the east garden and the storage building.

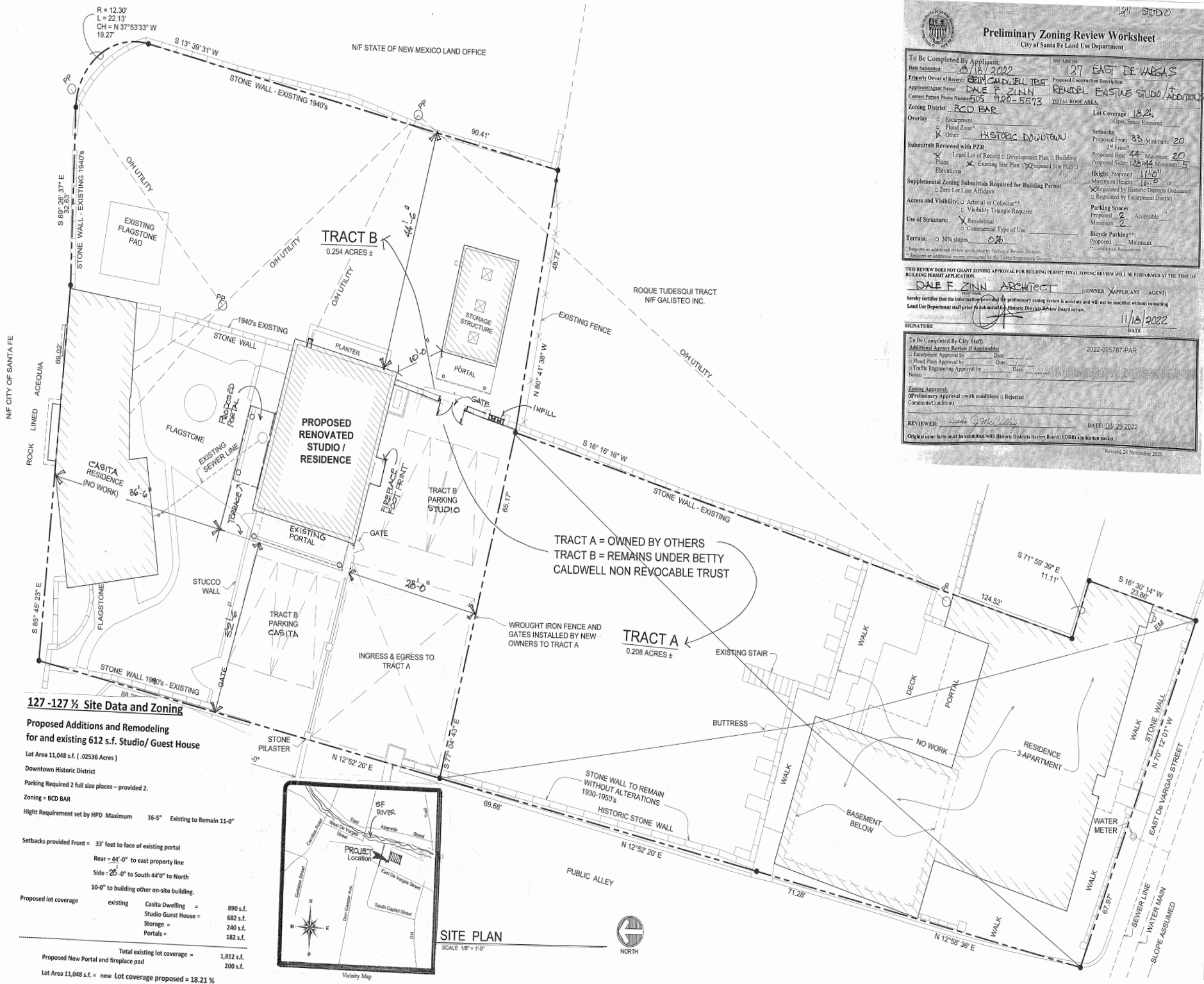
The opening will be fitted with two wood plank gates approximately 3-8”high x 3-4”each leaf wide. The gates will be finished with a stained American chestnut brown stain with black iron hardware.

- The stone wall that faces the Courtyard and connects the studio with the Historic Casita structure is constructed of variegated shape and colored stone. It is deteriorated and needs repair. In order to better accommodate the visual connection of the Courtyard and the East Garden areas the Trustees are proposing to make substantial repairs to the wall after lowering the rock wall by approximately 20” . Rocks for the wall will be harvested and stored for future repairs to other stone walls around the property. Mortar joints type texture and color plus style of rock wall repair shall match the “casual” river rock style of the existing.
- No landscape lighting or structures are proposed.

Sincerely Yours

Dale F Zinn Dale F Zinn and Associates Architects NM # 940

For Betty Caldwell Irrevocable trust, Owner.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant: Date Submitted: 8/18/2022 Site Address: 127 EAST DE VARGAS

Property Owner of Record: BETH CALDWELL TRS Proposed Construction Description: RENOVEL EXISTING STUDIO / ADDITIONS

Applicant/Agent Name: DALE F. ZINN Contact Person Phone Number: 505 940-5573 TOTAL ROOF AREA: [blank]

Zoning District: BCD BAR Lot Coverage: 18.2%
 Escarpment Fixed Zone Other: HISTORIC DOWNTOWN

Submittals Reviewed with PZL:
 Legal Lot of Record Developmental Plan Building Plans Existing Site Plan Proposed Site Plan Elevations

Supplemental Zoning Submittals Required for Building Permit:
 Zero Lot Line Affidavit Required by Historic District Ordinance Required by Escarpment District

Access and Visibility: Arterial or Collector Zero Lot Line Affidavit Visibility Triangle Required

Use of Structure: Residential Commercial Type of Use

Terrains: 0 30% slopes 0% 2% 3%

Setbacks: Proposed Front: 33 Minimum: 20
 Proposed Rear: 44 Minimum: 20
 Proposed Side: 20 Minimum: 5

Height: Proposed Maximum Height: 11'-0" Required by Historic District Ordinance Required by Escarpment District

Parking Spaces: Proposed: 2 Accessible: Minimum: 2

Bicycle Parking: Proposed: 0 Minimum: 0

Signature: DALE F. ZINN ARCHITECT (OWNER) / APPLICANT (AGENT) DATE: 11/18/2022

Additional Agency Review if Applicable: 2022-005787-PAR
 Encampment Approval by Date: _____
 Flood Plain Approval by Date: _____
 Traffic Engineering Approval by Date: _____

Zoning Approval:
 Preliminary Approval with conditions Rejected Comments/Conditions

Reviewer: Sean J. McCully DATE: 08/29/2022

Original color form must be submitted with Historic District Review Board (HDB) application packet. Revised 20 November 2010

Dale F. Zinn and Associates, Architects
 P.O. Box 756
 Santa Fe, New Mexico 87504
 (505) 982-8890
 DFZinn@aol.com

STUDIO / RESIDENCE
 RESIDENCE
 127 EAST DE VARGAS
 SANTA FE COUNTY
 SANTA FE, NEW MEXICO

SITE PLAN

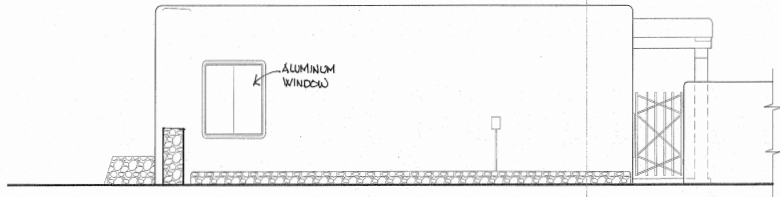
DATE:	08/24/2022	LA	DZ
DRAWN BY:			
CHECKED:			

127 E DE VARGAS-01.DWG

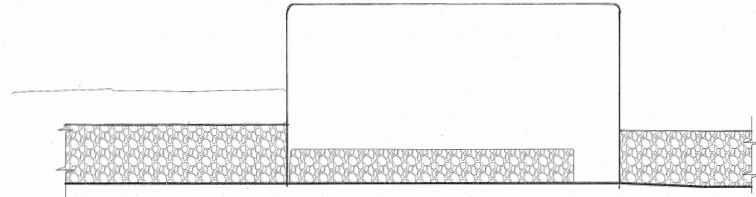
REVISIONS:	ID	DESC.	DATE

SHEET

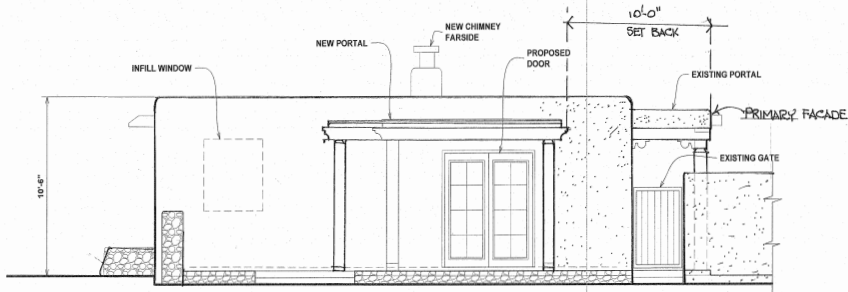
SR1



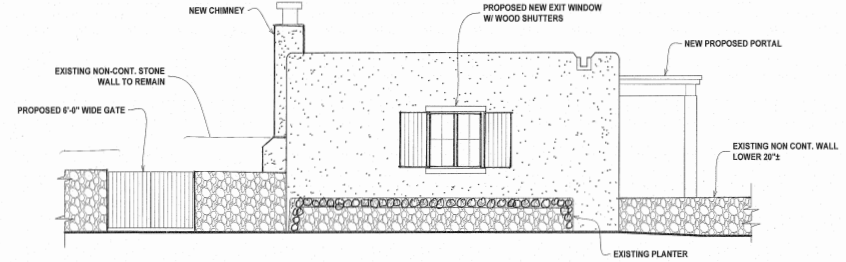
2b NORTH ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



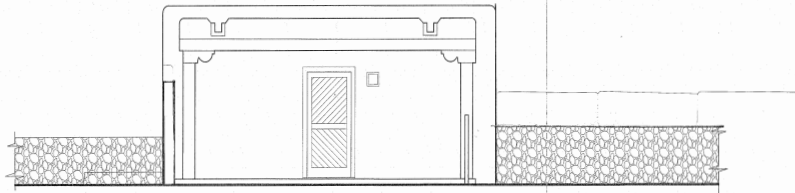
3b EAST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



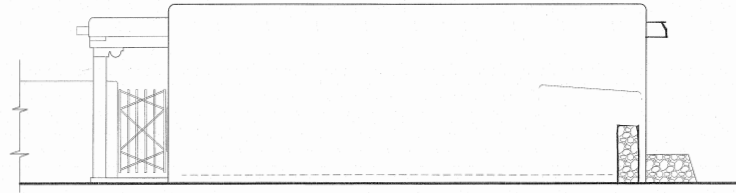
2a NORTH ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



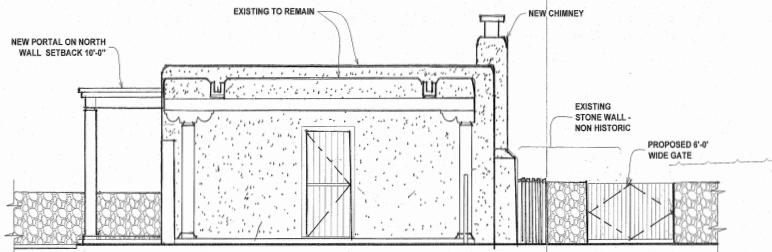
3a EAST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



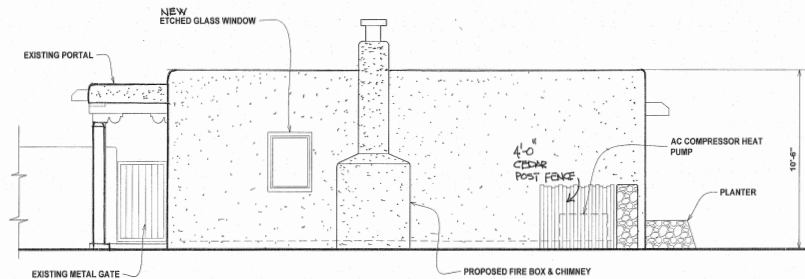
1b WEST ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



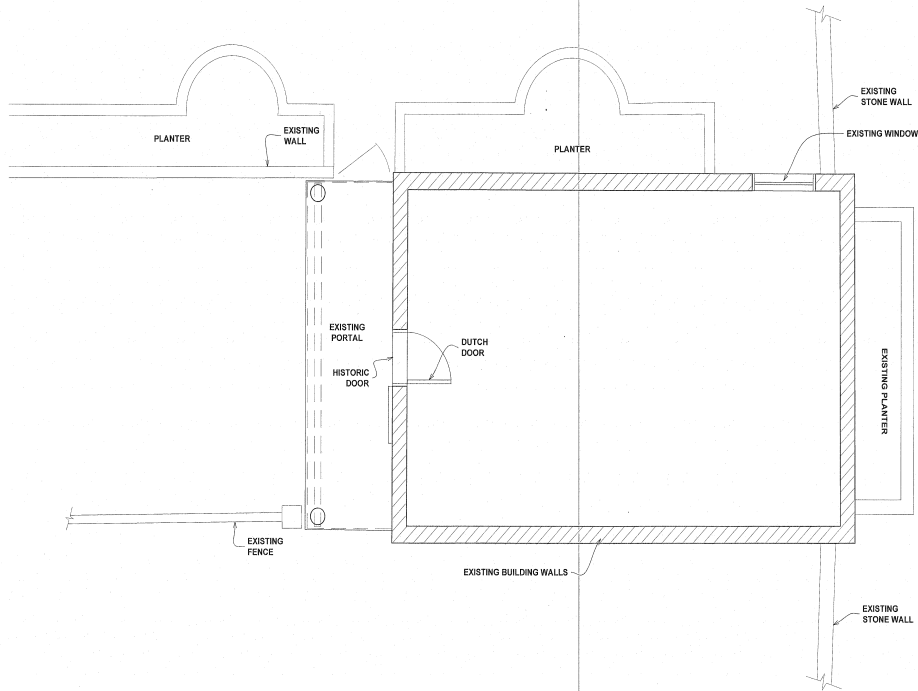
4b SOUTH ELEVATION - EXISTING
SCALE 1/4" = 1'-0"



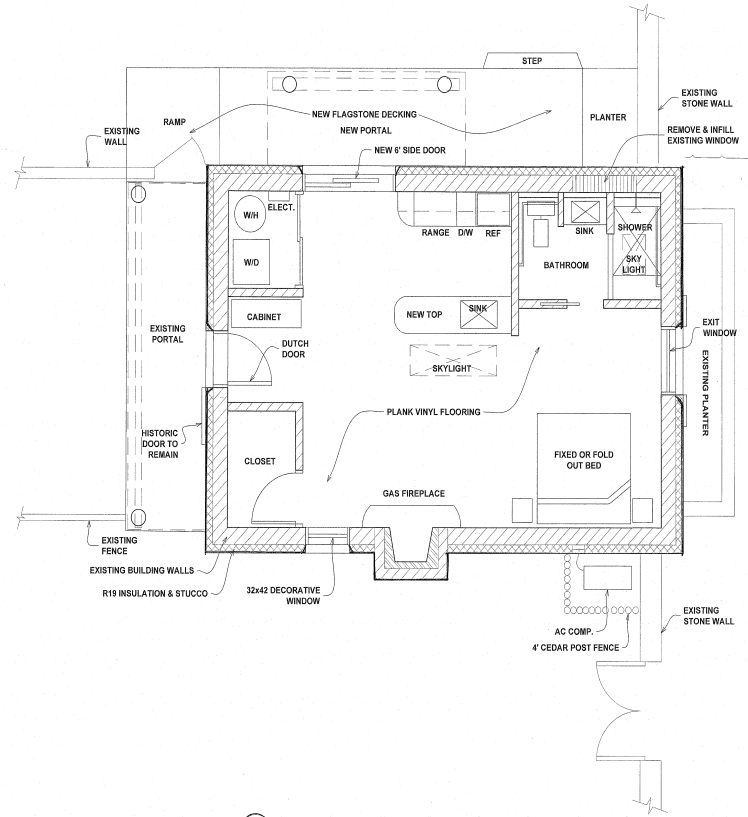
1a WEST ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



4a SOUTH ELEVATION - PROPOSED
SCALE 1/4" = 1'-0"



2 FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

Dale F. Zinn and Associates, Architects

P. O. Box 756
Santa Fe, New Mexico 87504
(505) 982-8680
DFZinn@aol.com

STUDIO / RESIDENCE

RESIDENCE
127 EAST DeVARGAS
SANTA FE COUNTY
SANTA FE, NEW MEXICO

FLOOR PLAN
PROPOSED & EXISTING

DATE: 08/24/2022

DRAWN BY: LA

CHECKED: DZ

127 E DeVARGAS-01.DWG

REVISIONS:

ID

DESC.

DATE

SHEET

SR3

From: [Dale Zinn](#)
To: [BORDEGARAY, ANGELA S.](#)
Subject: Decorative glass window at 127 east de Vargas south side
Date: Monday, October 3, 2022 7:55:57 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Angela..attached is a better sketch of the intended installation of the decorative window glass...we will put the glass..into a 24 x30 frame ...see attached

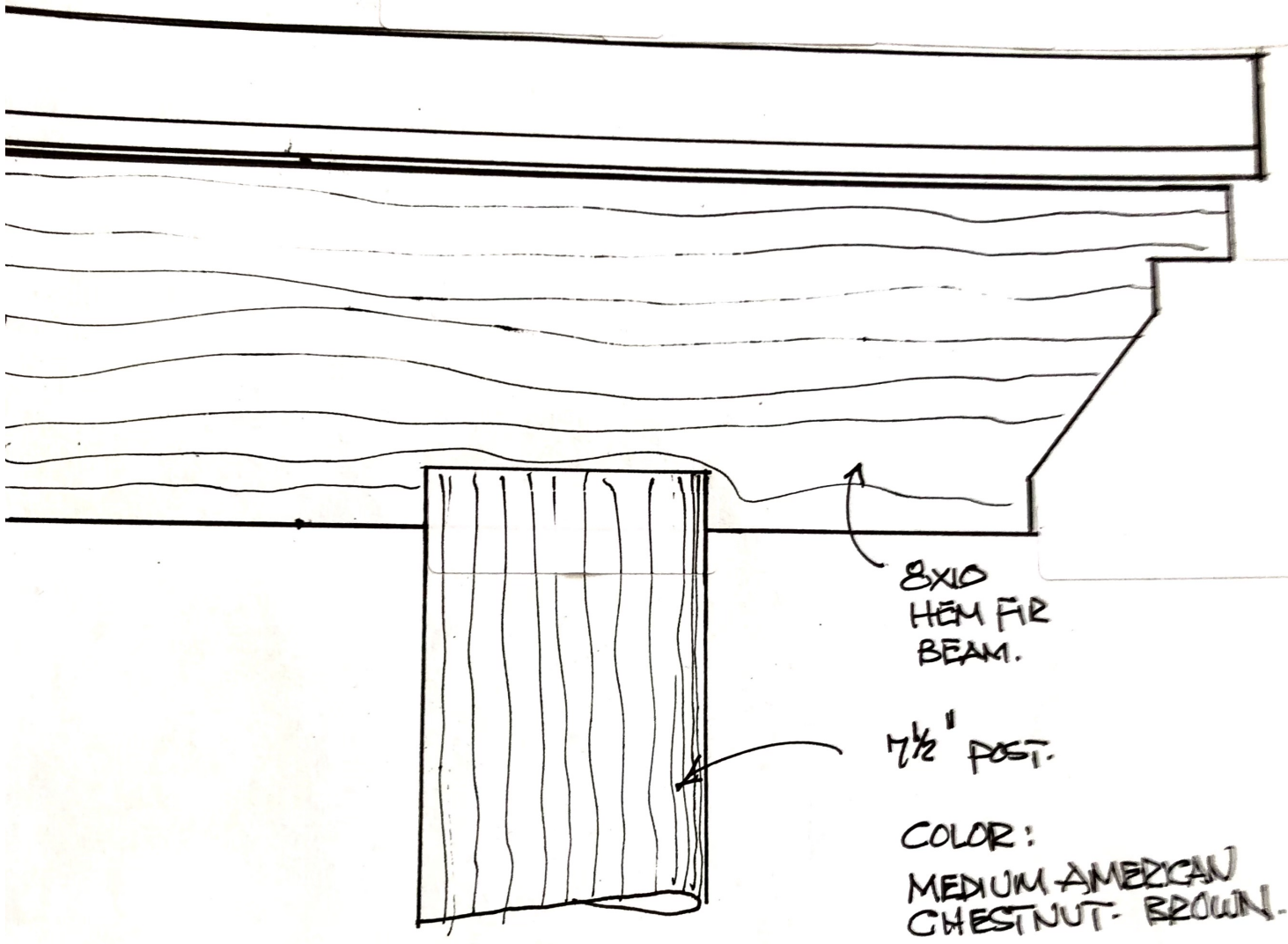


DFZ

--

"Develop your own compass, and trust it. Take risks, dare to fail, remember the first person through the wall always gets hurt" . Aaron Sorkin

Dale F Zinn Architect
PO Box 756
Santa Fe, NM 87504
505-982-8690

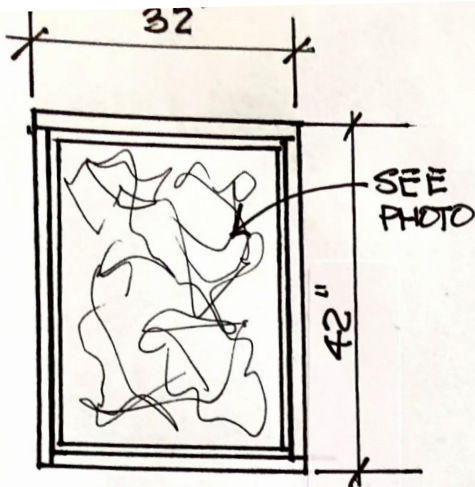


WOOD POST AND CORBEL DETAIL

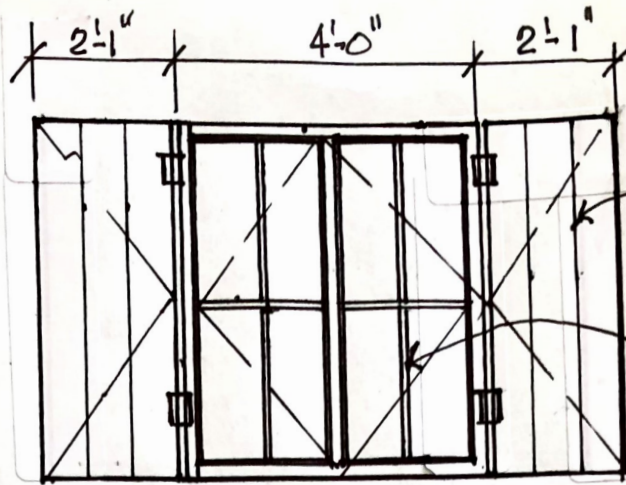
127 E. DE VARGAS NORTH PORTAL

SCALE 3" = 10"

②



SOUTH WINDOW



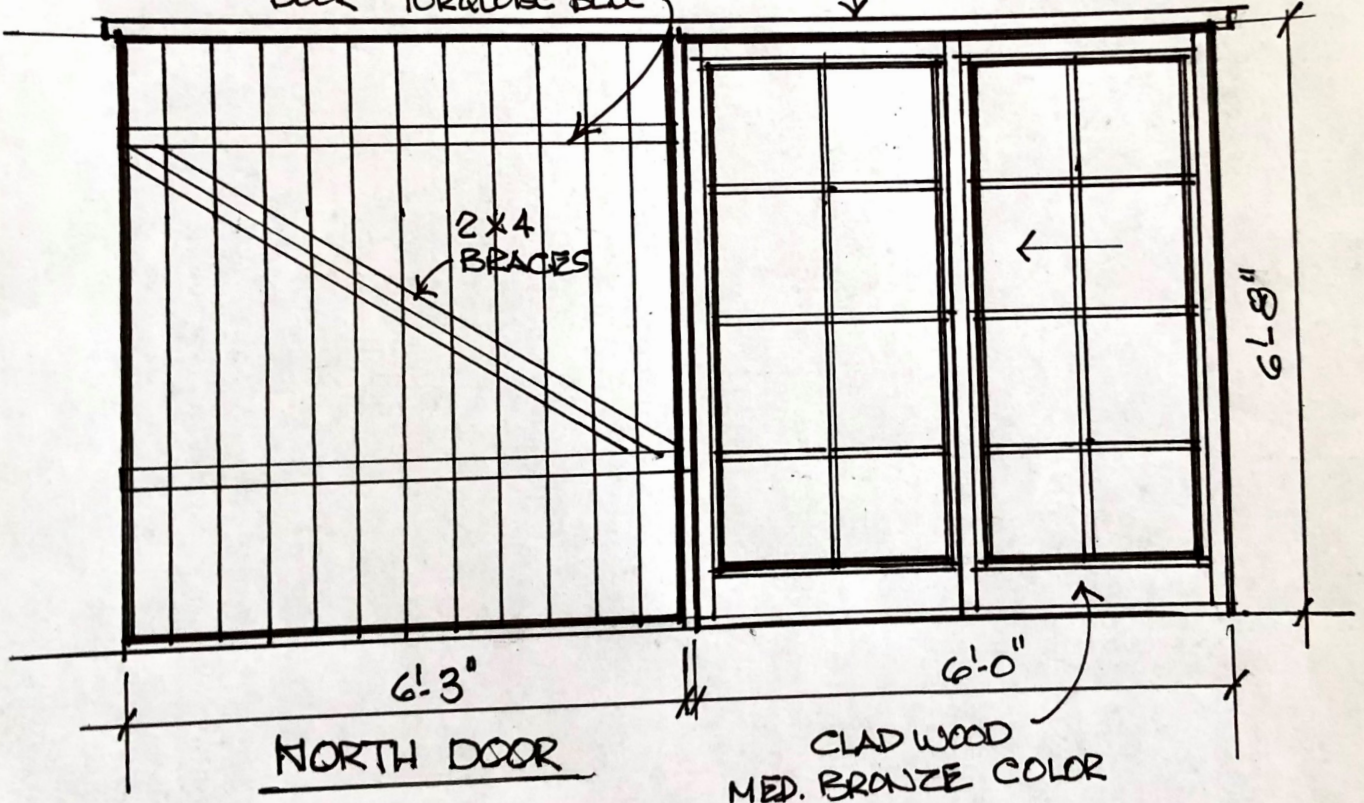
EAST EXIT WINDOW

WOOD SHUTTERS
TURQUOISE BLUE

CLAD WOOD
MED. BRONZE COLOR W
S.T.D.L.

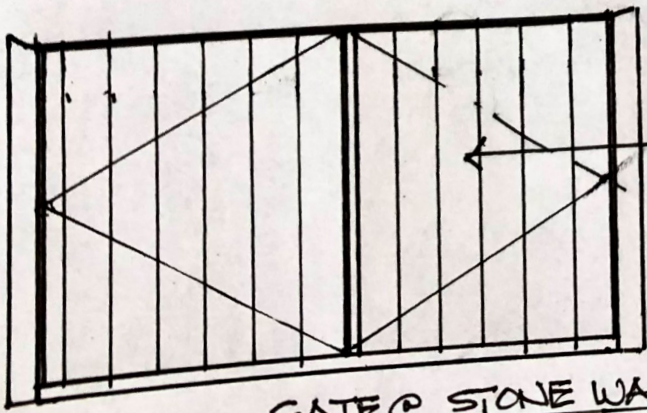
BLACK PAINTED HARDWARE

WOOD BARN DOOR
TURQUOISE BLUE



NORTH DOOR

CLAD WOOD
MED. BRONZE COLOR
W / S.T.D.L.



GATE @ STONE WALL

WOOD SLAT
GATE
6'-0" X 3'-8"
STAINED CHESTNUT BROWN
AMERICAN

DETAILS
1/2" = 1'-0"

127 East De Vargas Studio /Guest House Remodel

COLOR CHART



Stucco = El Rey Brand “ Adobe color”

Paint Dunn Edwards – Special Turquoise Blue
Matching other buildings



(sample Shown Here)

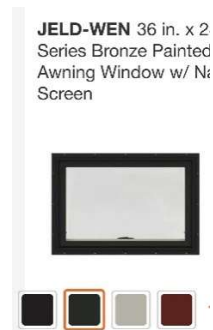
Stain – American Chestnut Brown (New and Existing)



BEHR 1 qt.
#TIS-362
American Chestnut Satin

Windows

Medium Bronze cladding



**Alita Collection Aged Black
9" High Wall Sconce - Style #
H7965**



+ ZOOM IN

- ZOOM OUT

↻ ST





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005346--HDRB

Project Description: -ez9feR; alterations to previously approved Case 2020-001664-HDRB

Window and door alterations; add garage; raise parapets, add retaining walls.

Exceptions required for windows less than 3' to corner and exceeding 30' glazing.

Santa Fe, NM 87501

Project Location(s): 1204 CANYON RD

Contacts:

Property Owner: Josie and Fred Lucero
2835 W ALAMEDA ST
Santa Fe, NM 87507

gjv420@gmail.com

Applicant: Gerald Valdez

gjv420@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: TRUE Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Y

Publicly Visible Facade-North: Y

Publicly Visible Facade-South: Y

Publicly Visible Facade-West: Y

Historic District Inventory Number: Year of Construction: 1964

Project Type: Remodel; alterations to previously approved Case 2020-001664-HDRB

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005346-HDRB

Address: 1204 Canyon Road
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Previous case 2020-001664

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Exception Criteria Responses

STAFF RECOMMENDATION:

Staff does not find that the three exception criteria have been met for the three exception requests, but the board may determine otherwise based on testimony at the board meeting. Otherwise, staff finds that the proposed solutions except for simulated divided lites on the stained glass window meet Section 14-5.2(D) General Design Standards for all Historic Districts and Section 14-5.2(E) Downtown and Eastside Design Standards and recommends approval.

BACKGROUND & SUMMARY:

1204 Canyon Road is a 1,024 square foot single-family residence designated non-contributing to the Downtown and Eastside Historic District. Built in 1964, it was a simple rectangle tract home with a pitched roof that sits at the corner of upper Canyon Road and Camino de Cruz Blanca. The board designated its historic status as non-contributing and approved an extensive remodel in 2020 (2020-001664-HDRB). The remodel resulted in in a Spanish-Pueblo Revival Style building.

The applicant has constructed the following changes that deviate from the approved case and now requests board approval of those changes:

West elevation

1. Shifted the portal to the north where the approved one car garage was sited.
2. Shifted the window approved for location at the south side of the front entry to under the portal next to the front door.

North elevation

3. Installed two smaller windows instead of one large window.
4. Installed 6' double door instead of 3' single door.

East elevation

5. Installed five new windows instead of the approved three windows.
6. Installed one 4' x 5' window in instead of one 8' x 4' window, one of which is stained glass that exceeds 30" in dimension without divided lites

South elevation

7. Installed three 4'x4' windows instead of one 5' x 4'.
8. Installed 6' wide double door in place of 3' single door.

Height

9. Increased parapet height from approved 14'- 6" to 15'-7."
10. Increased parapet height from approved 12'- 4" to 12'- 8."
11. Increased parapet height from approved 11' – 2" to 12'- 0."
The maximum allowable height for this structure in this streetscape is 19' – 2."
12. Now, the applicant proposes to relocate the approved one car garage from the north end of the west elevation to a two-car garage to the south end of the west elevation. Its height is within the maximum allowable height for this streetscape. This design change has not been constructed.

The applicant requests exceptions to three already constructed items that do not meet the Downtown and Eastside Historic District Design Standards:

1. The window on the north elevation to the east side of the fireplace is less than 3' from the corner.
2. Window # 5 on the east elevation is closer than 3' to the northeast corner.
3. Window # 4 is large plate glass that exceeds 30" in dimension without divided lites.

EXCEPTION CRITERIA:

- (i) *Do not damage the character of the district*

Applicant Response: **Code Violation #1:** The homeowners feel there is no damage to the character of the district with correcting Code Violation #1 on the north elevation at Portal "B" by their proposal. It is not visible from the street and would enhance the architectural look as part of the original style and correct the violation.

Staff Response: Staff recommends that the exception criterion has been met and agrees that the north elevation portal proposed solution does not damage the character of the district, although staff notes that the north elevation faces Canyon Road and is, therefore publicly visible.

Applicant Response: **Code Violation #2:** The homeowners are proposing to move the window closest to the corner to down 5" to comply with the 3-foot distance requirement. They are open to all suggestions the board may have. At one time a curved garden wall was proposed to obscure these windows which seemed like a good idea however they were instructed that this type of wall would not be considered. What ever solution is required there shouldn't be any detrimental affect to the character of the district.

Staff Response: Staff recommends that the exception criterion has been met. Staff believes that the relocation of the window to meet the minimum 3' from corner will not damage the character of the district.

Applicant Response: **Code Violation #3:** The homeowners are proposing to attach appropriate window grilles to all the stained-glass windows and attach any rails/stiles to the center window greater than 30". This remedy should comply more with the type of windows that were approved originally.

Staff Response: Staff recommends that the exception criterion has not been met. The large, undivided lite stained glass window is in a publicly visible location which requires divided lites in windows with panes larger than 30" in any dimension to meet the Downtown and Eastside Design Standards. The simulated divided lite treatment proposed by the applicant does not adequately address the requirement that windows have divided lites where panes exceed 30" in dimension. Staff suggests the applicant seek other alternatives to address the code violation. While stained glass windows have historic precedent and are found throughout the Downtown and Eastside Historic District, few if any, are in publicly visible locations that have panes that exceed 30." Staff

believes that the existing window in its prominent public location and its size detract from the historic character and fabric in this district.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: **For Code Violation #1:** Located on the north elevation at Portal “B” the homeowners are proposing to extent a short wall from the corner where the window distance is in violation and install a round post with a corbel to comply with the 3-foot required distance. They are willing to bring this violation under compliance regardless of any hardship to comply. It should not be in any way hazardous to the public welfare.

Staff Response: Staff recommends that the exception criterion has been met. While staff believes that the current condition was not created to prevent a hardship to the applicant or an injury to the public welfare, staff supports the proposed solution to this condition.

Applicant Response: **For Code Violation #2:** The homeowners feel whatever the Historic Board feels may be necessary to correct this violation. They are proposing to move the window down 5” to comply with the 3-foot required distance which is a hardship to move. Regardless of any solution that is approved they feel it would not be a hazard to the public welfare. The solution would conform to the historic building code and still provide an aesthetically pleasing view.

Staff Response: Staff recommends that the exception criterion has not been met and does not believe that the existing condition was necessary to prevent a hardship to the applicant or an injury to the public welfare.

Applicant Response: For Code Violation #3: Providing window grilles for the stained glass windows and if required modifying the center window should not be a hardship to correct. Neither would it be it anyway hazardous to the public welfare.

Staff Response: Staff recommends that the exception criterion has not been met and does not agree that the placement of large stained glass windows was required to prevent a hardship to the applicant or an injury to the public welfare.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response: **For Code Violation #1** the homeowners feel that their proposal should bring it the violation back into compliance and would add to the unique heterogeneous character of the district. The remodeled residence as a whole in comparison to what was existing, has been a significant face-lift for this particular area and also feel that it would not hinder anyone to reside in the house or the district area.

Staff Response: Staff recommends that the exception criterion has not been met. While staff agrees that the remodel as a whole adds to the unique heterogenous character of the district, compliance with the Downtown and Eastside Design Standards is required.

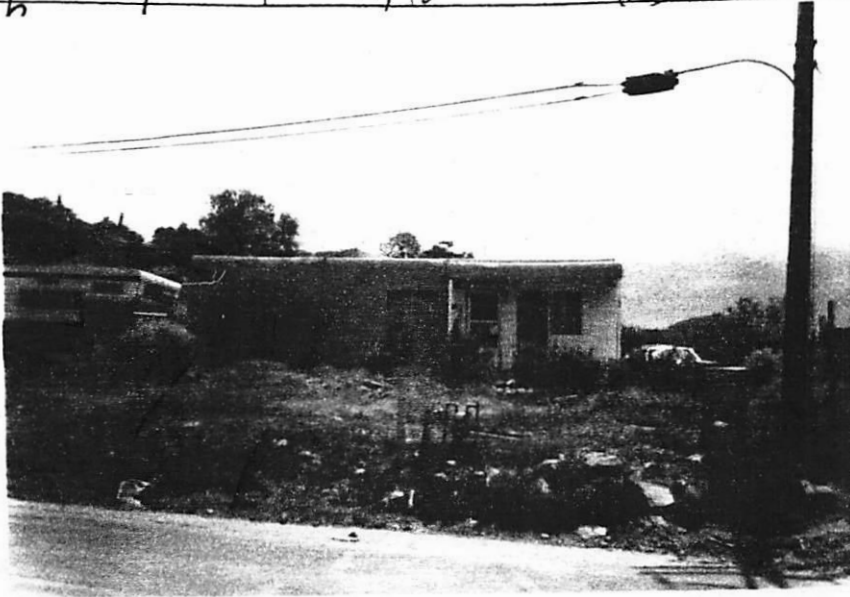
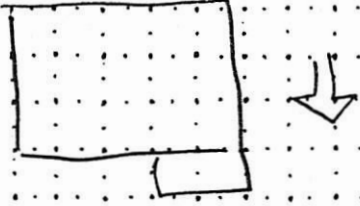
Applicant Response: **For Code Violations #2,** they believe that their previous proposed design exception by providing a wall was the best solution to preserve and strengthen the heterogeneous character of the city, however as suggested by staff to remove any proposed

walls obscuring the stained glass windows and instead move the corner window 5" to the south to comply with the 3- foot setback distance and provide grills on all the 3 stained glass windows. As far as the center window exceeding the maximum width of 30" for a plate glass window without divided panes, this window can be modified to comply with the Board's decision.

Staff Response: Staff recommends that the exception criterion has not been met. Correction of the window sited less than 3' from the corner by a wall does not meet the code as its location is publicly visible and walls may be removed in the future exposing a window or door out of compliance with the code.

Applicant Response: **For Code Violations #3** by installing window grilles and modifying the center window it would bring it more in compliance and would also add to the "unique" character of the district. As painstaking as this violation has become it can be used to enhance and contribute to the art within the historic area of Canyon Road at the same time.

Staff Response: Staff recommends that the exception criterion has been met finding that the proposed treatment does not meet the intent of the code.

building threatened? yes		surveyed date <u>2-26-87</u> by <u>MB</u>		county <u>Santa Fe</u>	ID no. <u>051600436</u>
field map <u>Santa Fe, New Mexico</u>		number <u>1</u>		UTM reference easting zone <u>12 13</u> northing	
location description <u>1204 Canyon</u>				city/town <u>Santa Fe</u>	
				land grant/reservation	
building name			legal description t ⁿ s <u>17 N</u> r ⁿ g <u>10 E</u> s ^e c <u>30</u> <u>NE 1/4 SE 1/4</u>		
film roll by <u>M</u> no. <u>19</u>		negative nos. <u>11, 12</u>		loc. of neg. <u>HPB</u> plan shape	
					
				<u>Canyon</u>	
date of construction <u>Pre 1944</u> estimate _____ actual _____				source <u>Directory</u>	
use				present <u>residential</u>	
other _____				historic <u>residential</u>	
other _____				condition	
_____ excellent				<input checked="" type="checkbox"/> good	
_____ fair				_____ deteriorating	
style <u>Sp. Pueblo Vernacular</u>		foundation material		degree of remodeling	
		wall material/surface		<input checked="" type="checkbox"/> minor _____ moderate _____ major	
describe:				surroundings <u>Res</u>	
architectural features <u>Alum window</u> <u>Metal eave</u>				relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
				district potential _____ yes <input checked="" type="checkbox"/> no	
				significance _____ eligible _____ of <input checked="" type="checkbox"/> none	
				if eligible, interest	
comments				why?	
wall					
hedge					
wire fence					
wood fence					
landscape					
street trees					
stone curb					
set back					
cequia					
				associated buildings? _____ yes	
				what type?	
				if inventoried, list ID nos.	
				see back? _____ yes	

Streetscape

None



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 1204 Canyon Road, Santa Fe, New Mexico. 87501
Date Submitted: August 10, 2022	Proposed Construction Description: Remodel existing 1,024 sq. ft. house and addition of 2,241 sq. ft. of new construction, including a 540 sq. ft. attached garage and 617 sq. ft. of porches (portales).	
Property Owner of Record: Fred and Josie Lucero		
Applicant/Agent Name: Gerald J. Valdez		
Contact Person Phone Number: (505) 310 - 3642	TOTAL ROOF AREA: 4,422 sq. ft.	
Zoning District: R5 (Downtown - Eastside Historic District)	Lot Coverage : 29 % <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment N/A <input type="checkbox"/> Flood Zone* N/A <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: 7'-1" Minimum: _____ 2 nd Front? _____ Proposed Rear: 12'-8" Minimum: _____ Proposed Sides: L ^{26'-11"} R ^{27'-8"} Minimum: _____	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed 15'-7" Maximum Height: 19'-2" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed 3 Accessible 3 Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** N/A <input type="checkbox"/> Visibility Triangle Required N/A	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes An approved double tier retaining wall changed existing 30% slopes where existed.		

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Gerald J. Valdez [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE Gerald J. Valdez DATE 8/10/2022

To Be Completed By City Staff:	2022-005727-PAR
Additional Agency Review if Applicable:	
<input checked="" type="checkbox"/> Escarpment Approval by DABeingessner Date: 08/15/2022 with conditions	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: A slope analysis and the depth of the arroyo is required at permitting. Show the distance the building is being built from the arroyo on permit documentation.	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: Legal lot of record provided. Utility easement has been relocated, documents on file	
Lot coverage at 29.6%	
REVIEWER: <u>Lani J McCulley</u>	DATE: 08/30/2022

DATE: October 21, 2022

TO: City of Santa Fe
Land Use Department
200 Lincoln Avenue
Santa Fe, New Mexico 87504

ATTENTION: HDRB Members

FROM: Gerald Valdez, applicant for Fred and Josie Lucero
Case # 2022-005346-HDRB
Address of Project Location: 1204 Canyon Road, Santa Fe, NM

REF: **REVISED DESIGN EXCEPTION CRITERIA TO VIOLATIONS OF THE CITY'S HISTORIC DESIGN CODE**

STATUS of EXISTING RESIDENCE:

This project began in the summer of 2020 and has evolved to what it is today. There were a total of 12 changes made to the original "Approved" plans during the first phase of construction due to several unforeseeable circumstances. Three of the twelve (12) changes violated the city's Historic Design Code and were brought to our attention.

Not all of these changes were a result of issues encountered during construction. Some of the changes were due to owner preferences on types and sizes of doors and windows. There were other issues which caused some interior walls to be relocated after the city denied a Guest House as part of the original design due to restricted zoning of the residence and the area. The exterior wall changes were minor in nature to avoid a

The major changes that affected the design required relocation of an 8-foot sewer line easement as shown on the Approved Plot Plan. The existing sewer line and the easement was not correctly placed in the location as shown on the old plat. The mis-aligned sewer line was accidentally discovered during construction of the double-tiered retaining wall located south of the residence. The existing sewer line actually went under the "Approved Garage" and connected back to the subject residence and then back to Canyon Road's main sewer line. By correcting this sewer-line easement issue, it allowed the homeowner to enlarge and relocate the garage in more suitable location and give them peace of mind that this has been approved and resolved and filed with the City.

Another factor that prohibited the construction of the "Approved Garage" was a main anchor to a large PNM utility pole located too close to the north wall and foundation of the garage. Also, there was a large area of solid rock discovered on the south side of the residence during construction of the retaining wall which made it difficult during the excavation of the residence's exterior south wall which caused some minor changes that were not brought to the city's attention. For the changes that were caused by these unforeseeable circumstances which the homeowners nor the contractor did not have any control of, we apologize and realize all these issues has brought some confusion and delays to this project and should of been brought to the city's attention.

We are requesting design exceptions to the there (3) Historic Code Violations as stated on the HDRB's Final Report dated July 12, 2022

The following Historic Code Violations shown below are taken from the Final HDRB report as stated:

1. "Window on North elevation east side of fireplace is less than 3' from the corner."
2. "Windows 3, 4, and 5 on the east elevation replaced what was approved. Window #5 is closer than 3' to the corner."
3. "Window #4 is large plate glass that exceeds 30" in dimension without divided panes."

EXCEPTION CRITERIA:

(i) Do not damage the character of the district

Applicant Response: **Code Violation #1:** The homeowners feel there is no damage to the character of the district with correcting Code Violation #1 on the north elevation at Portal "B" by their proposal. It is not visible from the street and would enhance the architectural look as part of the original style and correct the violation.

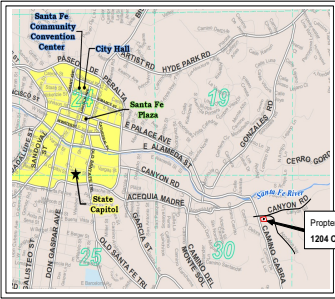
Applicant Response: **Code Violation #2:** The homeowners are proposing to move the window closest to the corner to down 5" to comply with the 3-foot distance requirement. They are open to all suggestions the board may have. At one time a curved garden wall was proposed to obscure these windows which seemed like a good idea however they were instructed that this type of wall would not be considered. What ever solution is required there shouldn't be any detrimental affect to the character of the district.

Applicant Response: **Code Violation #3:** The homeowners are proposing to attach appropriate window grilles to all the stained glass windows and attach any rails/stiles to the center window greater than 30". This remedy should comply more with the type of windows that were approved originally.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare

Applicant Response: **For Code Violation #1:** Located on the north elevation at Portal "B" the homeowners are proposing to extent a short wall from the corner where the window distance is in violation and install a round post with a corbel to comply with the 3-foot required distance. They are willing to bring this violation under compliance regardless of any hardship to comply. It should not be in any way hazardous to the public welfare.

Applicant Response: **For Code Violation #2:** on the north elevation at Portal "B" the homeowners agree this is an acceptable solution to comply with the minimum 3-foot setback for windows. It will not create a hardship for the homeowners nor will it be a potential hazard to the public welfare. For Code Violations #2 the homeowners feel whatever the Historic Board feels may be necessary to correct this violation. They are proposing to move the window down 5" to comply with the 3-foot required distance which is a hardship to move. Regardless of any solution that is approved they feel it would not be a hazard to the public welfare. The solution would conform to the historic building code and still provide an aesthetically pleasing view.

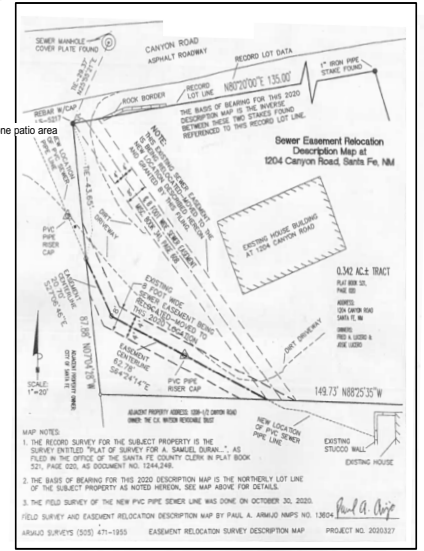


VICINITY MAP
(NOT TO SCALE)

NOTE:
THIS EXISTING SEWER EASEMENT
HAS BEEN RELOCATED TO THE NEW
LOCATION DESCRIBED HEREON AND
GRANTED BY THIS FILING.

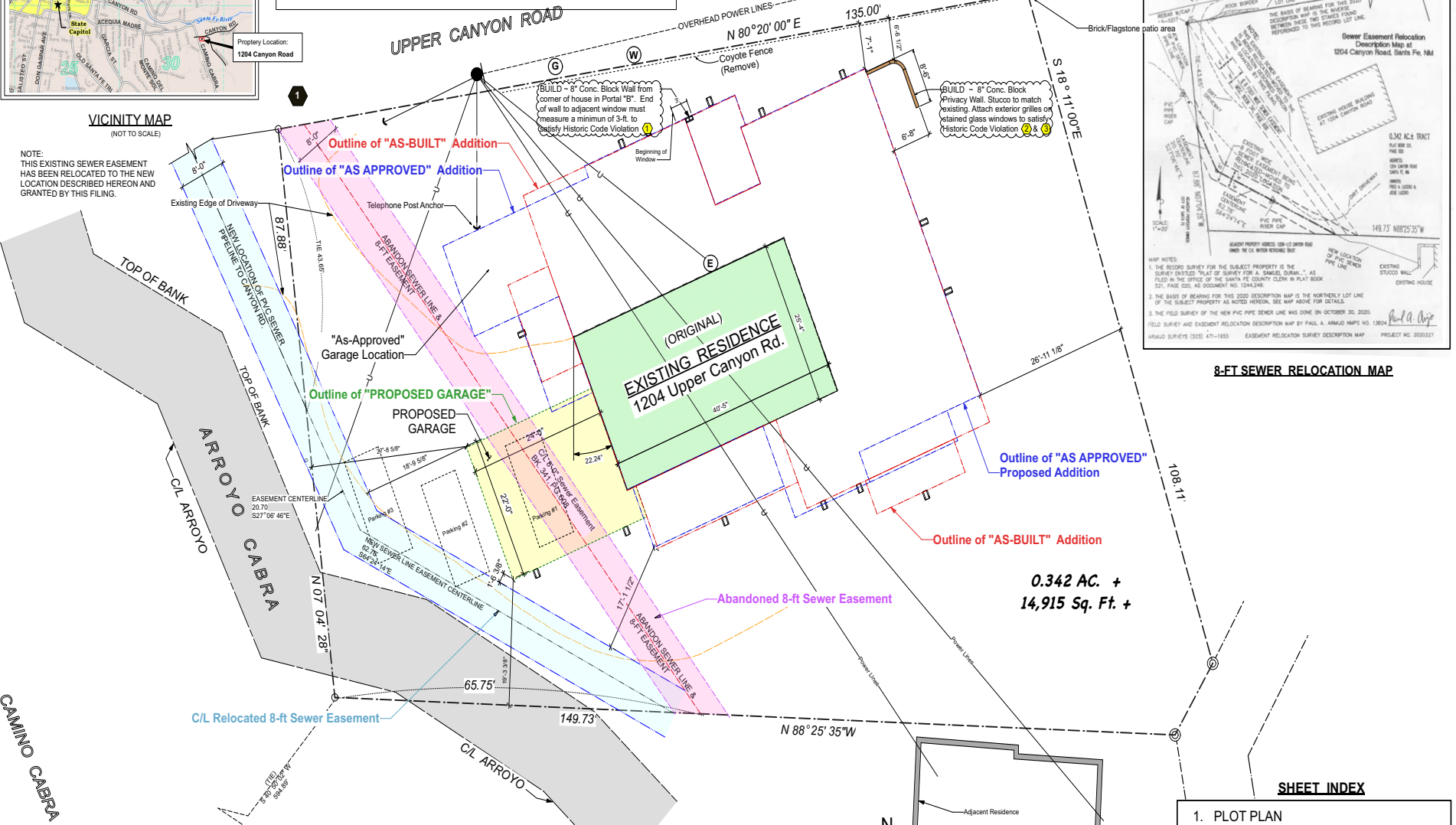
LEGEND

- Outline of "AS-BUILT" Addition
- Outline of "AS APPROVED" Addition
- Outline of "PROPOSED GARAGE" Addition
- 1 Historic Code Violation & Solution



8-FT SEWER RELOCATION MAP

MAP NOTES:
1. THE RECORD SURVEY FOR THE SUBJECT PROPERTY IS THE SURVEY ENTITLED "PLAT OF SURVEY FOR A. SAMUEL DURAN..." AS FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 521, PAGE 220, AS DOCUMENT NO. 1244243.
2. THE BASIS OF BEARING FOR THIS 2020 DESCRIPTION MAP IS THE NORTHERLY LOT LINE OF THE SUBJECT PROPERTY AS NOTED HEREON. SEE MAP ABOVE FOR DETAILS.
3. THE FIELD SURVEY OF THE NEW PVC PIPE SEWER LINE WAS DONE ON OCTOBER 30, 2020. FIELD SURVEY AND EXISTING RELOCATION SURVEY DESCRIPTION MAP BY PAUL A. ARMIGO MAPS NO. 13004-2020-001. ARMIGO SURVEYS (2025) 471-1955. EASEMENT RELOCATION SURVEY DESCRIPTION MAP. PROJECT NO. 20203227.



LEGEND

○ Capped Rebar	—●— Utility Pole & Overhead Utility Line
⊙ Corner	—●— Utility Pole Anchor
● S.F.C. Monument	--- Property Line
W Water Meter	~ Elevation Contour Line
E Electric Meter	1 Historic Code Violation Solution
G Gas Meter	

NEW PLOT PLAN
SCALE: 1/8" = 1'-0"

NOTE:
THE RECORD SURVEY FOR THE SUBJECT PROPERTY IS THE SURVEY ENTITLED "PLAT OF SURVEY FOR A. SAMUEL DURAN..." AS FILED IN THE OFFICE OF THE SANTA FE COUNTY CLERK IN PLAT BOOK 521, PAGE 220, AS DOCUMENT NO. 1244243.



See "Sewer Easement Relocation Map" prepared by Armigo Surveys this sheet.

- SHEET INDEX**
1. PLOT PLAN
 2. FLOOR PLAN (As-Approved & As-Built)
 3. "AS-BUILT" FLOOR PLAN DIMENSIONS
 4. NORTH & SOUTH ELEVATIONS
 5. EAST & WEST ELEVATIONS
 6. MISC. GARAGE DETAILS
 7. RETAINING & ADOBE WALL DETAILS
 8. PICTURES

Approved By Owner:
Date: September 29, 2022

Drawn By:
Date: September 29, 2022



SLOPE ANALYSIS REPORT			
Range of % Slope	Plan Area (FA*2)	Surface Area (FA*2)	% of Total Area
0.000 - 15.000	12924.0597	12968.6618	58.731
15.000 - 20.000	2269.8050	2304.4399	10.315
20.000 - 25.000	1790.2585	1834.7600	8.135
25.000 - 30.000	1034.0762	1073.0945	4.699
30.000 - 35.000	1064.1628	1117.6808	4.836
35.000 - 50.000	1708.2140	1852.2479	7.763
50.000 - VERT	1215.0572	1527.5023	5.522
TOTAL	22005.6335	22678.3872	100.000

FNO348
NAVD 88 ELEV: 6992.79 FEET



ELEVATION OF GRADE CONTOUR

CANYON ROAD ASPHALT ROADWAY

DRIVEWAY ENTRY

GRAVEL DRIVEWAY

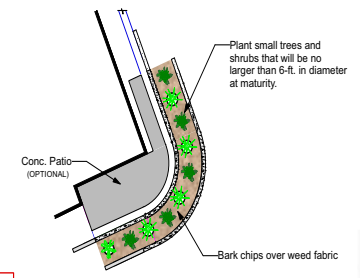
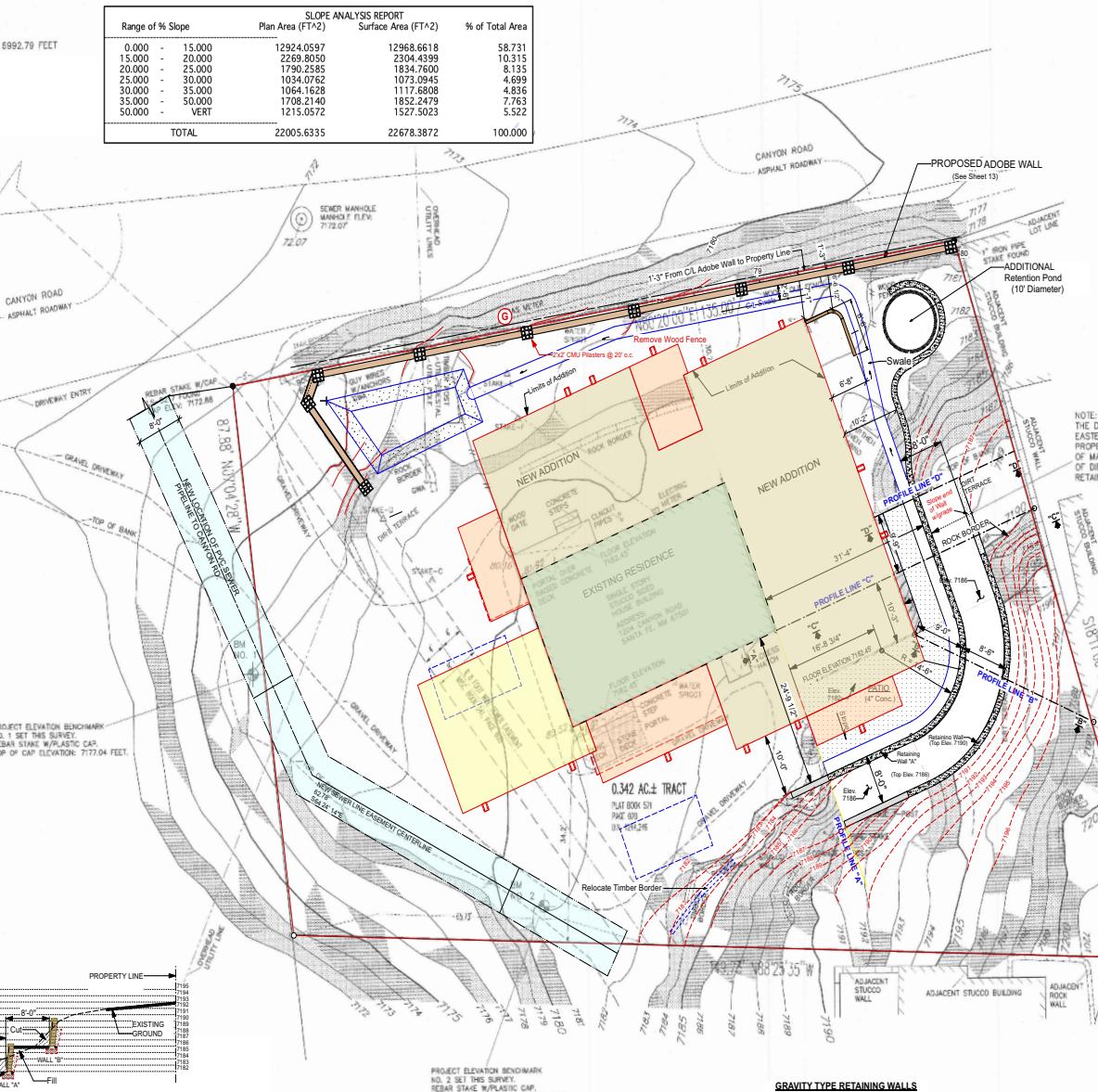
TOP OF BANK

PROJECT ELEVATION BENCHMARK NO. 1 SET THIS SURVEY. REBAR STAKE W/PLASTIC CAP. TOP OF CAP ELEVATION: 7172.04 FEET.

REBAR STAKE W/CAP ELEV: 7172.88

REBAR STAKE W/CAP ELEV: 7172.88

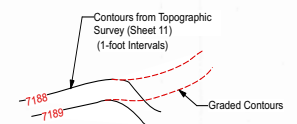
REBAR STAKE W/CAP ELEV: 7172.88



LANDSCAPE PLAN FOR RETAINING WALLS
N.T.S.

REMOVE ALL MANMADE BANK MATERIAL; ROCKS, TIRES, ETC. AND GRADE AREA TO THE EAST AND SOUTH SIDE OF THE PROPERTY TO NEW CONTOUR LINES AS SHOWN AT THE RETAINING WALLS.

NOTE: THE DIRT BANK ON THE EASTERLY PORTION OF THE PROPERTY APPEARS TO BE OF MANMADE CONSTRUCTION OF DIRT FILL AND ROCK RETAINING BORDERS.



Begin Excavating & Grading behind the existing residence where Retaining Wall "A" is located. Level area to Elev. 7182 approximately 6" below the Finished Floor.

EXCAVATING & GRADING

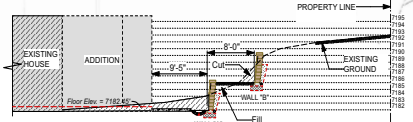
MAP HORIZONTAL SCALE: 1"=10'

MAP VERTICAL SCALE: 1"=10'

MAP CONTOUR INTERVAL = ONE (1) FOOT

MAP LEGEND

- EXISTING SURVEY STAKES FOUND (SEE MAP FOR DESCRIPTION)
- ⊕ SURVEY ELEVATION BENCHMARK (REBAR STAKE WITH CAP SET)
- 7177.04' - SPOT ELEVATION
- - - - - WOOD FENCE
- x - x - x - WIRE FENCE
- ⊠ ELECTRIC METER
- ⊠ GAS METER
- ⊠ UTILITY POLE WITH OVERHEAD UTILITY LINES AND GUY WIRE AND ANCHOR



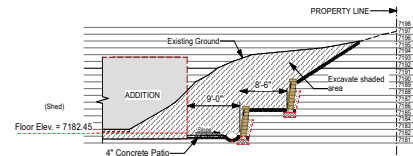
PROFILE LINE "A"
Scale: 1" = 10'

PROJECT ELEVATION BENCHMARK NO. 2 SET THIS SURVEY. REBAR STAKE W/PLASTIC CAP. TOP OF CAP ELEVATION: 7188.55 FEET.

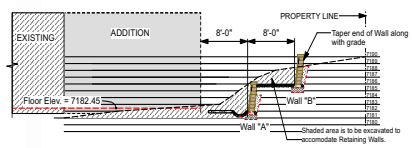
GRAVITY TYPE RETAINING WALLS
WALL "A" = 57-FT WALL "B" = 63'
BOTH WALLS TO BE 4-FT HIGH (MAX)
FOR RETAINING WALL DETAILS SEE SHEET 10

RETAINING WALL DATA

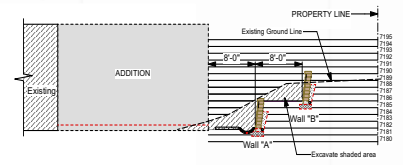
	Retaining Wall "A"	Retaining Wall "B"
Top Elevation of Course ②	7186	7190
Bottom Elevation of Course ①	7182	7186



PROFILE LINE "B"
Scale: 1" = 10'



PROFILE LINE "C"
Scale: 1" = 10'



PROFILE LINE "D"
Scale: 1" = 10'

RETAINING WALL & ADOBE WALL LAYOUT

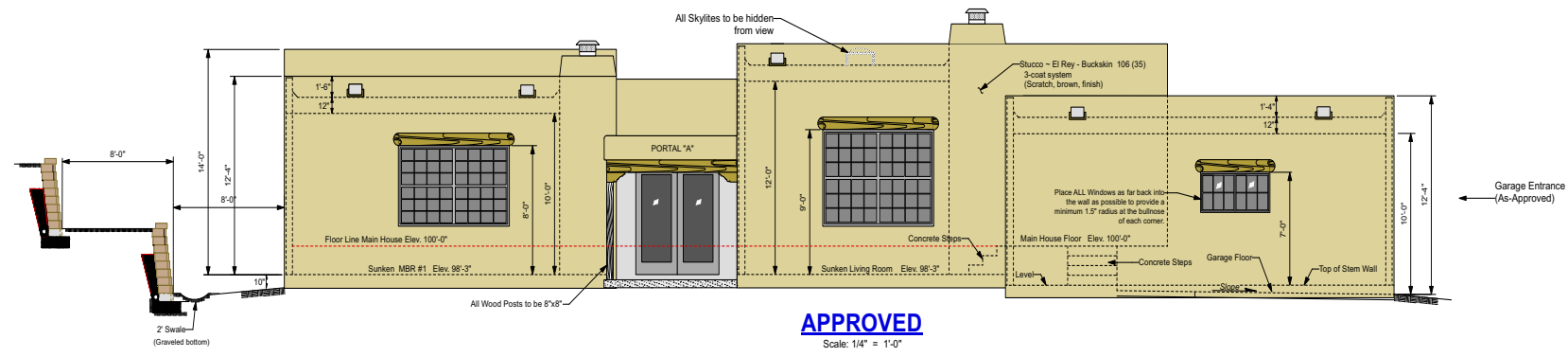
THE INFORMATION SHOWN ON THIS SHEET IS FOR THE PURPOSE TO IDENTIFY THE LOCATION OF THE FOLLOWING:

- PROPOSED ADDITION LIMITS TO THE EXISTING RESIDENCE,
- INDEPENDENT GRAVITY TYPE RETAINING WALLS & CONTOUR GRADING
- ADOBE WALL ALONG CANYON ROAD

THE TOPOGRAPHIC DATA ON THIS SHEET IS BASED AND REFERENCED FROM A TOPOGRAPHIC SURVEY DONE BY ARMUO SURVEYS WHICH IS INCLUDED IN THESE PLANS AS SHEET 11.

SEPTEMBER 29, 2022

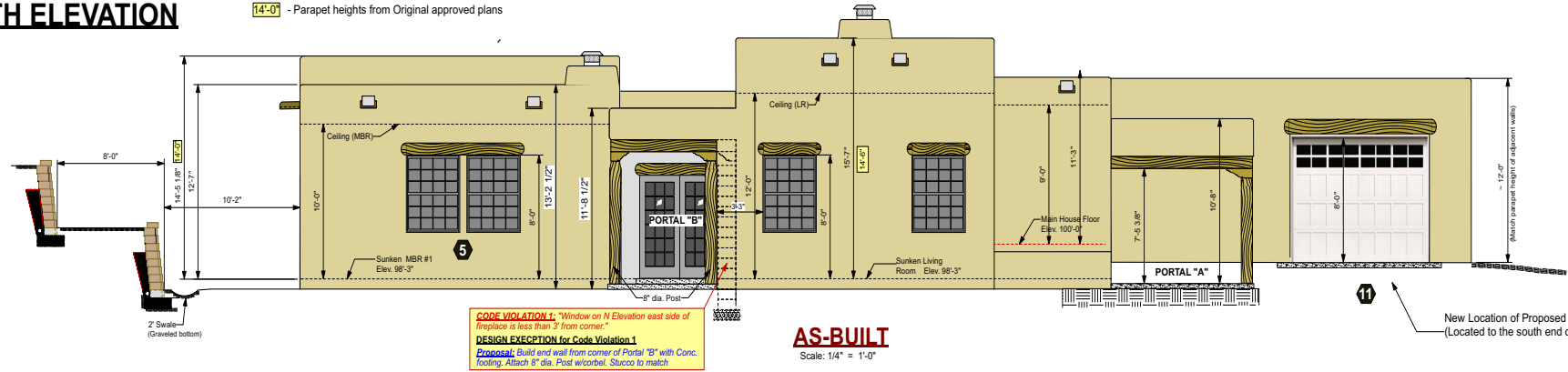
SHEET 7 OF 8



NORTH ELEVATION

1'-0" - Parapet heights from Original approved plans

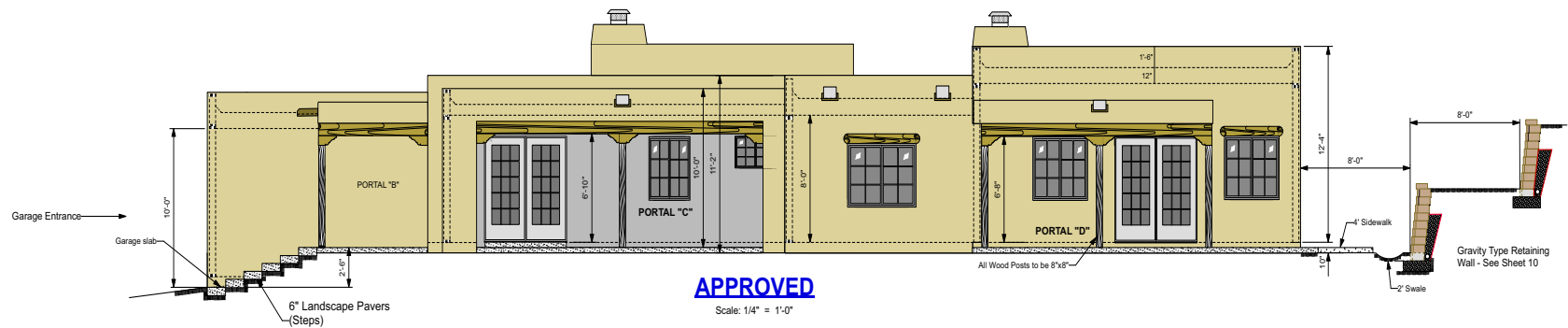
APPROVED
Scale: 1/4" = 1'-0"



AS-BUILT
Scale: 1/4" = 1'-0"

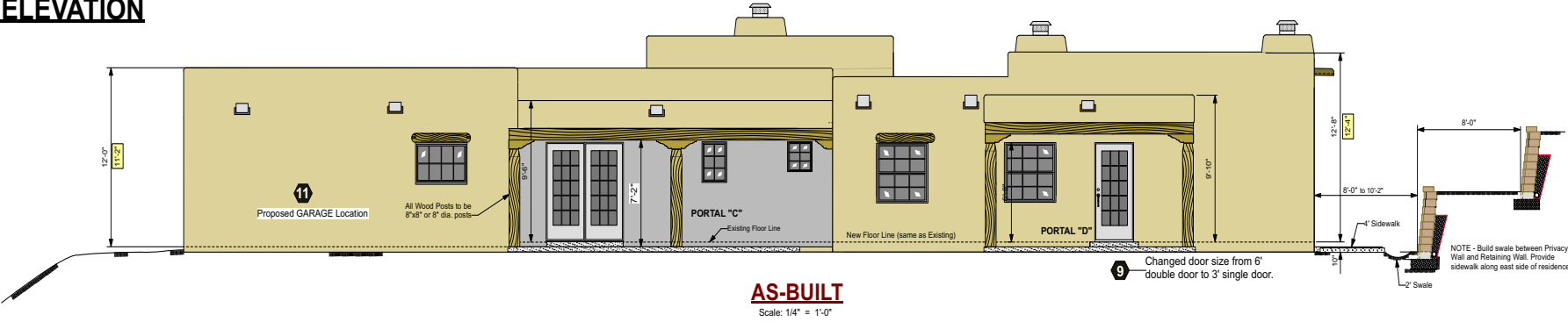
CODE VIOLATION 1: Window on N Elevation east side of fireplace is less than 3' from corner.
DESIGN EXCEPTION for Code Violation 1
Proposal: Build end wall from corner of Portal "B" with Conc. footing. Attach 8' dia. Post w/porch. Stucco to match.

New Location of Proposed Garage (Located to the south end of West Elevation)



SOUTH ELEVATION

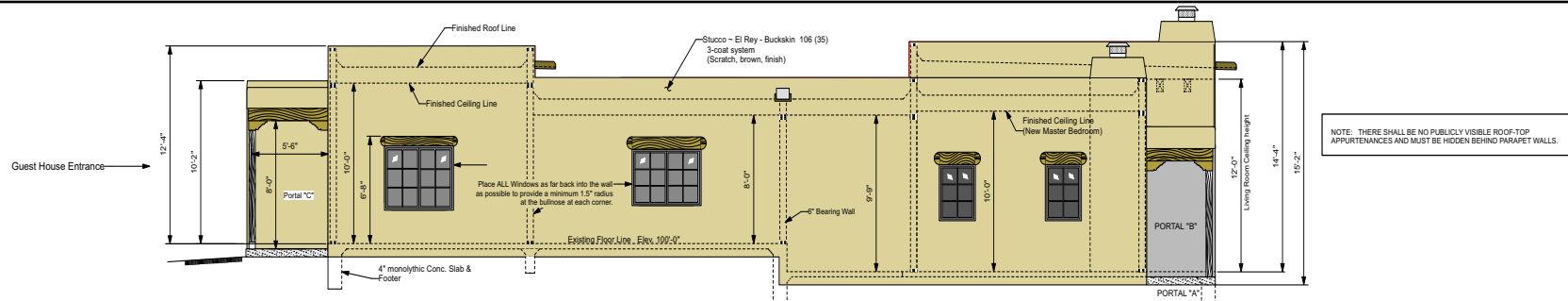
APPROVED
Scale: 1/4" = 1'-0"



AS-BUILT
Scale: 1/4" = 1'-0"

9 Changed door size from 6' double door to 3' single door.

NOTE - Build swale between Privacy Wall and Retaining Wall. Provide sidewalk along east side of residence.



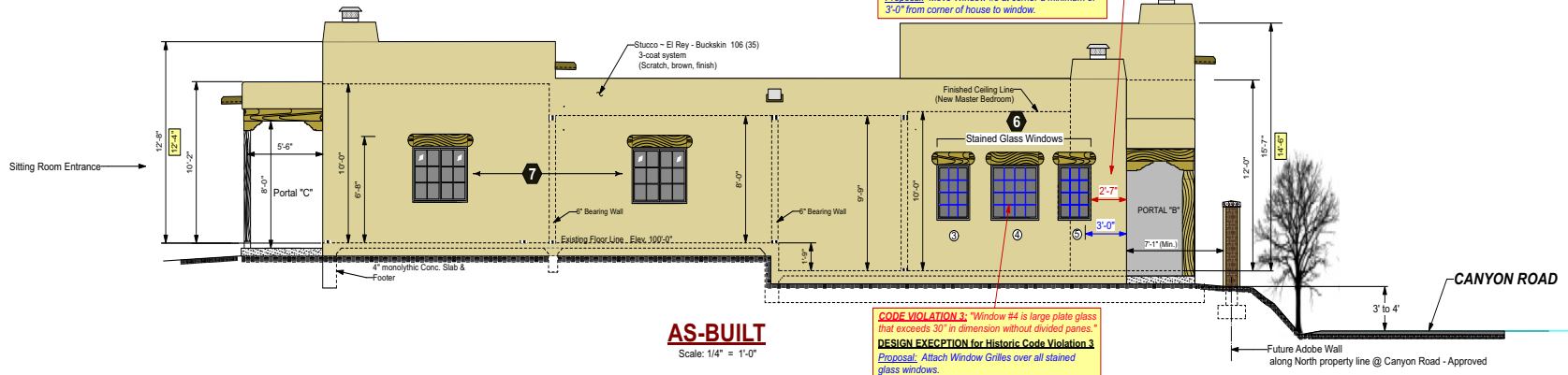
EAST ELEVATION

Scale: 1/4" = 1'-0"

APPROVED

Scale: 1/4" = 1'-0"

CODE VIOLATION 2: "Windows 3, 4, and 5 on the east elevation replaced what was approved. Window #5 is closer than 3' to the corner."
DESIGN EXCEPTION for Historic Code Violation 2:
Proposal: Move Window #5 at corner a minimum of 3'-0" from corner of house to window.



AS-BUILT

Scale: 1/4" = 1'-0"

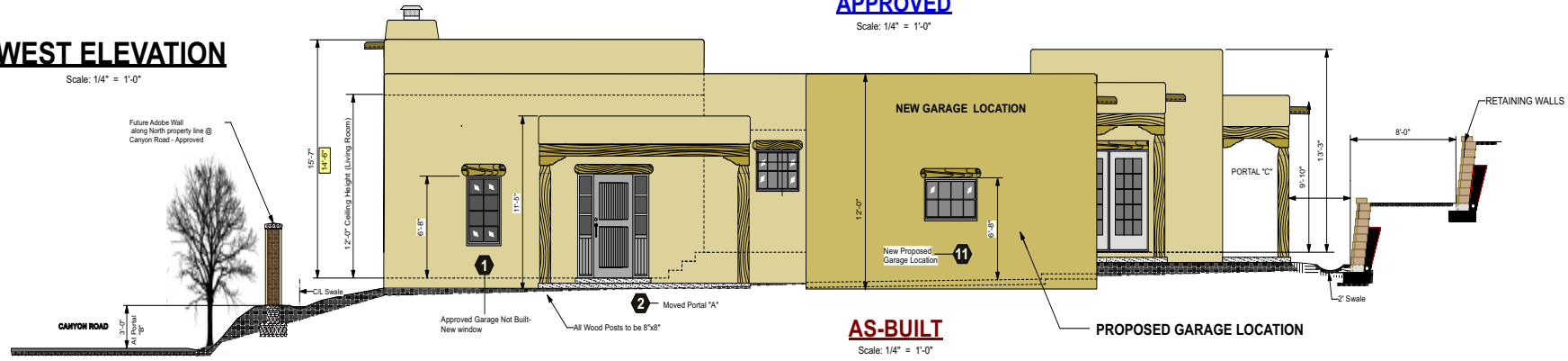
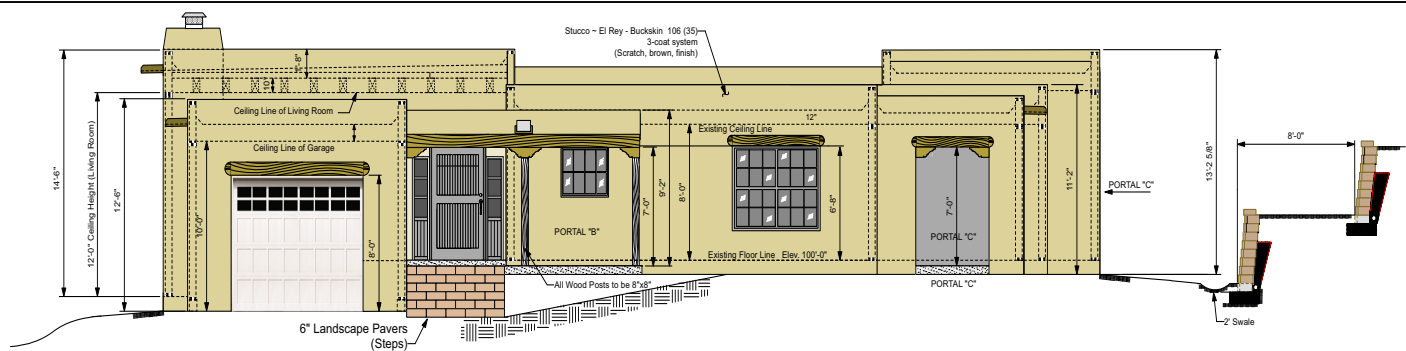
CODE VIOLATION 3: "Window #4 is large plate glass that exceeds 30" in dimension without divided panes."
DESIGN EXCEPTION for Historic Code Violation 3:
Proposal: Attach Window Grilles over all stained glass windows.

WEST ELEVATION

Scale: 1/4" = 1'-0"

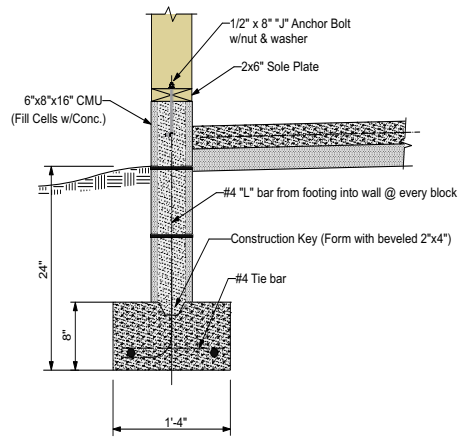
APPROVED

Scale: 1/4" = 1'-0"



AS-BUILT

Scale: 1/4" = 1'-0"

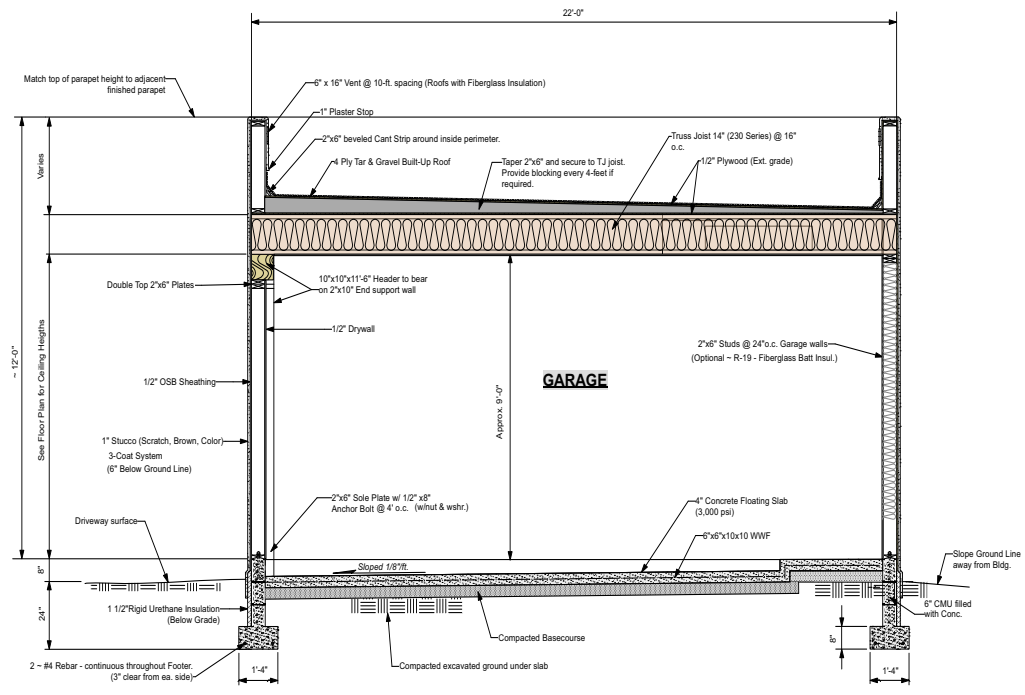


TYPICAL FOOTING SECTION @ GARAGE

Scale: 3/4" = 1'-0"

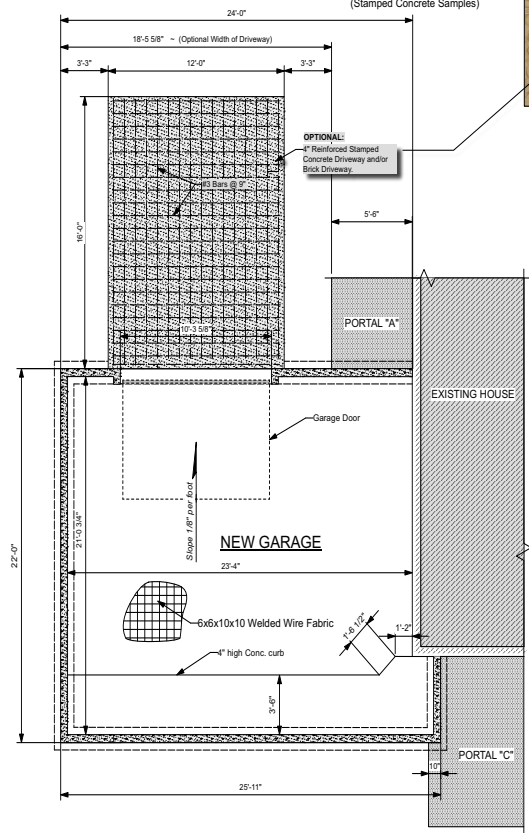
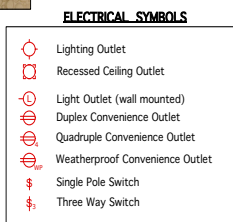


(Stamped Concrete Samples)



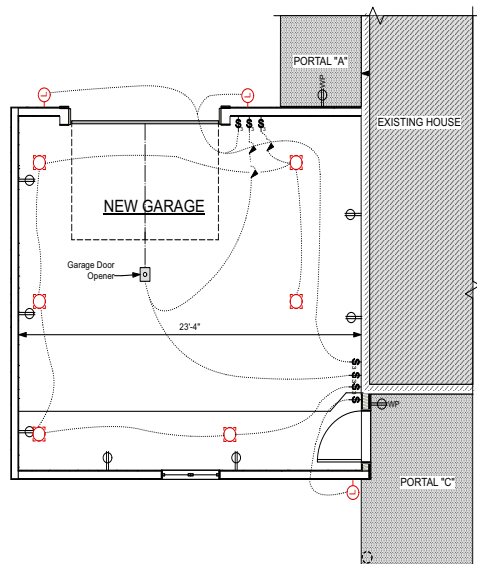
TYPICAL GARAGE SECTION

Scale: 3/4" = 1'-0"



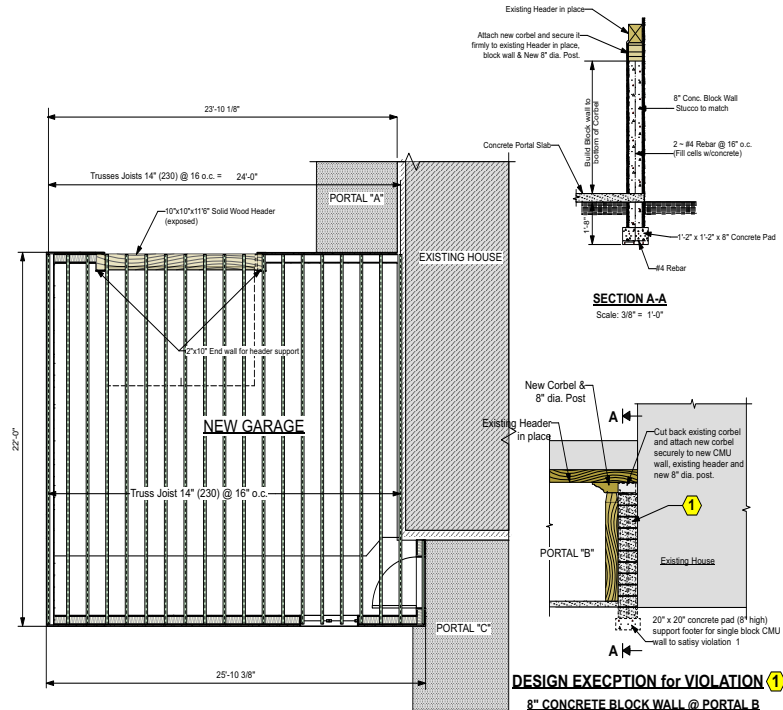
GARAGE FOUNDATION PLAN

Scale: 1/4" = 1'-0"



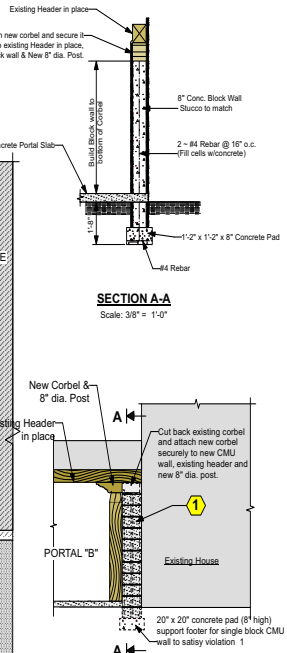
GARAGE ELECTRICAL PLAN

Scale: 1/4" = 1'-0"



GARAGE ROOF PLAN

Scale: 1/4" = 1'-0"



SECTION A-A

Scale: 3/8" = 1'-0"

DESIGN EXCEPTION for VIOLATION 1

8" CONCRETE BLOCK WALL @ PORTAL B

Scale: 1/4" = 1'-0"

1 Build short CMU Wall & add 8" dia. post w/corbel to increase existing distance from window to corner of house to meet or exceed the min. 3-feet required.

City of Santa Fe, New Mexico

memo

DATE: November 8th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005867-HDRB

Address: 530 Camino Militar
Historic Status: Non-contributing
Historic District: Historic Review

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff does find that all the exception criteria have been met but the Board may find that they require further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(F) Historic Review District.

BACKGROUND & SUMMARY:

530 Camino Militar is a property with a single-family residence, which is listed as non-contributing to the Historic Review District. The two-story house sits on the downslope slide of Camino Militar near the boundary of the Downtown and Eastside Historic District. The house is a Recent Santa Fe Style building (Spanish Pueblo Revival Style) with a flat roof and raised parapet, portal with wood viga posts, stepped massings, and non-divided light windows. It sits behind a stucco yardwall with some coyote fence portions. In a 1995 HDRB case, this house was identified as a non-contributing guest house. It came forward for an addition at that time.

Now, the applicant proposes to construct a 2-story guesthouse:

- 1) Construct a two-story, 1,500 square foot building that is staggered along the slope.
 - a. The style of the building is proposed to be recent Santa Fe Style.
 - b. The roof will be flat with parapets.
 - c. The proposed height is 17'-1" at its maximum, 2'-10" above the maximum allowable height of 14'-3". The height reaches its maximum as it grows to the west downslope in the middle massing at 15'-11". The dimension can be seen on the north elevation drawing.
 - d. The building will be finished in El Rey 212 Madera, to match the existing residence.
 - e. The east elevation will have an entry portal that is rectangular and centered. This portion of the building is the most visible from public view and lowest in height.
 - f. The west elevation includes a portal for the upper floor.
 - g. Portals will have wood posts and beams with dark brown stain.
 - h. Windows are non-divided lights and mostly wide in length and narrow in height.
 - i. All windows will be aluminum clad wood framed with cladding color 'Bronze' to match the existing residence.
 - j. Low profile, flat skylights are proposed.
 - k. The lower level on South and West façade will have a retaining wall against natural grade. The retaining wall will have stucco finish with a wall height of 36" above finish grade. The entire walkway is covered with a portal.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(9)(c)(iii): Staff request that the applicant apply for an exception for an additional 2'-10" of height.

(i) *Do not damage the character of the district*

Applicant Response:

1. The character of the streetscape at Camino Militar is in harmony with the adjacent Downtown and Eastside Historic District. The design compliments the main residence and is proposed to be built in the same Spanish Pueblo Revival (architectural) Style. Like the main residence, the windows and doors will not have divided lights. The stucco and window clad colors will be matching the main residence.
2. There are fourteen buildings within the designated area of the height calculation according to the case planner. From the (14) buildings only (6) buildings are less than 16 feet in height. This means that (8) buildings exceed the height restrictions.
3. The street facade of the proposed guesthouse will be set back 108 feet from the edge of the street and the roof elevation will be (7.5) feet below the street elevation. This makes the proposed building appear much shorter and inconspicuous compared to existing buildings along Camino Militar.
4. The proposed site location allows for mature trees to remain in place screening most of the building from public view. The off-site parking area screens the finish grade along the guesthouse, so even without trees, the full building height cannot be seen from public view and neighboring properties.

Staff Response: Staff recommends that the criterium has been met. The design currently takes into consideration the how appropriate the style and height is within the streetscape and location it is in the district, which is close proximity to the Downtown Eastside Historic District.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response:

1. Alternative locations for a new proposed guesthouse where the height does not exceed 14'-3" are limited. The property is sloped, so that a guesthouse with the proposed area cannot be placed without removing many mature trees currently screening the building site.
2. Keeping the existing trees north of the proposed guesthouse would be more environmentally sustainable than planting new trees to screen the proposed guesthouse.
3. For the public view and neighboring properties, a denser structure setback from the road will have a significantly lesser impact to the existing streetscape and the adjacent neighbor at 526 Camino Militar.
4. The proposed siting is the best possible location with the least amount of slope. The proposed parapets at each massing step down (14" and 12") in the direction of the slope.

5. Properties on Apodaca Hill and upper portion of Camino Militar cannot see the proposed guesthouse because natural slope, existing main residence and trees screens the views.

Staff Response: Staff recommends that the criterium has been met. It is a sloping site and the height was lowered.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts

Applicant Response:

The Proposed Structure complies with (iii) based on following reasons:

1. The architectural design for the proposed structure complies with the design objective as set forth in chapter 14.5.2. where the restrictions for General Design Standards for All H Districts and Historic Review District are met. The exception pertains to the building height only.
2. The property is located south of Camino Militar and slopes downhill. The difference in elevations at natural grade exceeds 2' in height. The proposed site location is the shallowest slope within the available building envelope.
3. The proposed guesthouse complies of three horizontal and vertical massing. The parapet height for each massing steps downhill, so that the natural grade and the parapets slope in the same direction. Proposed streetscape heights of each massing:
 - a. The entrance massing has a grade elevation of 7256' and a parapet elevation of 7272.5'. The façade height from parapet to the original grade at midpoint measures 16'-6".
 - b. The two-story massing has a grade elevation of 7255.4' and a parapet elevation of 7271.3'. The façade height from parapet to the original grade at midpoint measures 15'-11".
 - c. The Bedroom and portal massing has a grade elevation of 7253.2' and a parapet elevation of 7270.3'. The façade height from (portal) parapet to the original grade at midpoint measures 17'-1". The wall at the roof deck extends beyond the edge of the portal will have an elevation of 7263.5' and measures 10'-4" to the original grade.

Staff Response: Staff recommends that the criterium has been met. Two more designs were presented to staff after the previous hearing.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape;

Applicant Response:

The Proposed Structure complies with (iv) based on following reasons:

1. The property slopes to the south of Camino Militar. There are many areas that exceed 30% slope which must remain undeveloped. A new building cannot be place along Camino Militar because the natural grade is over 30% at the available vacant area.
2. The natural drainage pattern and mature vegetation help potential erosion issues. The proposed location for the building has the least impact on vegetation and drainage patterns.

3. All lots at the upper part of Camino Militar are on steep slopes. All buildings on those lots exceed the height limitations most likely because development on the steep slopes is limited.

Staff Response: Staff recommends that the criterium has been met.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant; and

Applicant Response:

The Proposed Structure complies with (v) based on following reasons:

1. The main residence, driveway and off-site parking area limit the available placement for a guesthouse.
2. The southern portion of the lot is not suitable for a building site. A proposed building cannot be more than 150 feet from the street for a fire engine to have access from a street unless a Fire Apparatus Access Driveway and Turnaround is provided.
3. The lot is too tight and too steep to fit a Fire Apparatus Access Driveway and Turnaround.
4. All developments on lots south of Camino Militar are close to the street. The southern portions of the lots are undeveloped.

Staff Response: Staff recommends that the criterium has been met.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

Applicant Response:

The Proposed Structure complies with (vi) based on following reasons:

1. The proposed location poses the least negative impact to neighboring lots and streetscape because it would be tucked into the hillside mostly hidden from view.
2. Raising the building height and allowing for a two-story building with the lower level partially set into the hillside would be the best solution. It would preserve mature trees and only slightly alter the existing drainage pattern. A compact building is more energy efficient and would preserve more open space.
3. Residences in adjacent neighborhoods seen from Camino Militar would be more visible than the proposed guesthouse.

Staff Response: Staff recommends that the criterium has been met.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

Sloping Sites:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

- (c)(ii)(F) The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building stepbacks from the street.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

14-5.2(F)

Historic Review District

(2) District Standards

- (a) The following structural standards shall be complied with whenever exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:
 - (i) Slump block, stucco, or stone shall be used as exterior wall materials. Wood and other materials may be used for details. Aluminum siding, metal panels, mirrored glass, and unstuccoed masonry units or unstuccoed cement shall not be used as exterior wall materials; and
 - (ii) The color of stuccoed buildings shall predominantly be brown, tan, or local earth tones. This does not include chocolate brown colors or white except dull or matte off-white (yeso). Surfaces of stone shall be in the natural color. Entries and portals may be **RELEVANT CODE CITATIONS:** sized by the use of white or other colors or materials.

Painting of buildings with bold repetitive patterns, or using buildings as signs is prohibited.

- (b) It is intended that buildings be designed to be "wall dominated". "Wall dominated" means that the building's geometry is more defined by walls than by roofs. Buildings with flat, gabled, shed, and hipped roofs can be designed as "wall dominated" solutions and are allowed. However, gabled, shed and hipped roofs are only allowed if sufficient evidence is provided by the applicant showing that there are pitched roofs extant before December 12, 1983 (date of enactment) within the related streetscape, as viewed when standing in the public street in front of the site. The height of the roof above the wall shall be no greater than the height of the walls. Folded plate, hyperbolic, mansard, or red tile roofs are not allowed. Roofs in local earth tones are preferred.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south-facing walls for trombe walls or other solar collectors, direct gain, or other collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened as follows:
- (i) Raising the parapet;
 - (ii) Setting back from the edge of the roof;
 - (iii) Framing the collector with wood;
 - (iv) In pitched roofs, by integrating the collector into the pitch;
 - (v) In ground solar collectors by a wall or vegetation;
 - (vi) In wall collectors or greenhouses, by enclosing by end or other walls ;
 - (vii) Other means that screen the collector or integrate it into the overall structure. Non-glare materials shall be used in solar collectors.
- (f) In order to emulate traditional Santa Fe architecture and construction traditions, it is intended that structures be designed to appear essentially as structures with massive walls which are defined as being built or appearing to be built of adobe construction, wall thickness appearing massive in relation to wall height, and where applicable, the depths of windows, doors and entry opening showing the massiveness of the structure. Solid wall space shall be greater in any façade than window or door space combined. Exceptions are allowed for south facing walls for solar equipment as provided in Subsection (F)(2)(c) of this section and under portales. The mass elements that make up the building composition shall appear as single blocks. Buildings with ground coverage of over twenty thousand 20,000 square feet and over one story shall be designed to appear more as an aggregation of smaller "building blocks" rather than a single large box or block. (Ord. No. 2002-37 § 28)

Ms. Carly Piccarello, Historic Preservation Division
City of Santa Fe
PO Box 909
200 Lincoln Ave.
Santa Fe, NM 87504-0909

August 15, 2022 rev 10/27/22

H I S T O R I C D I V I S I O N - P R O P O S A L L E T T E R

RE: REQUEST FOR INCREASE OF THE ALLOWABLE HEIGHT FOR GUESTHOUSE (ADU) AT 530 CAMINO MILITAR

Dear Ms. Piccarello

This is an amended and revised proposal letter for a new guesthouse on 530 Camino Militar – Case Number 2022-005867-HDRB. A motion was made at the HDRB hearing on September 27th, 2022 with the recommendation to revise the proposed guesthouse and appear at another HDRB hearing.

The proposal letter includes a summary of the proposed guesthouse and addresses the comments made from the board members at the hearing on September 27th, 2022.

EXISTING CONDITIONS:

Existing Residence

530 Camino Militar is a property with a single-family residence, which is listed as non-contributing to the Historic Review District (identified in a 1995 HDRB case) and was originally built as a guesthouse before the property was split.

The two-story house sits on a down sloped terrain at the southern side of Camino Militar. The southern property line touches the boundary of the Downtown and Eastside Historic District. In a 1995 HDRB case, the residence was identified as a non-contributing guest house

Existing Architectural Style and Features: see Fig. 2 through 6

The residence is a recent Santa Fe style building. The architectural style matches a Spanish Pueblo Revival Style. The building's features are as follows:

1. Stepped massing
2. Flat roof with raised parapets and canales.
3. Stucco walls matching El Rey 212 Madera
4. Windows and exterior door with non-divides glazing. Most windows have a bronze clad finish while some on the southern portion of the building are direct set with wooden frame.
5. Portal with wooden beams, posts and corbels. On the streetscape, the portal has a stucco parapet and on the South the portal has a flat roof with overhangs.
6. The building at the streetscape sits behind a stucco yard wall. The yard wall height is stepped and is supported by buttresses. A coyote fence beyond the yard wall enclosure is visible from Camino Militar.

Existing Topography: See Fig. 1

1. The property slopes downhill from Camino Militar. Some areas exceed 30% slope close to the street and become flatter at about 100' from the street toward the south.
2. Mature trees on 30% grade are screening most of the southern portion of the property from public view.
3. A suitable location for a guesthouse is about 98' from the property line on Camino Militar measured from the streetscape façade. The structure would be on a slope less than 30% where one-half of the building footprint is on less than 20% slope.

PROPOSED GUESTHOUSE:

We are seeking a HDRB approval for the maximum allowable increase in height of 2'-10" above the allowable height of 14'-3" at streetscape. The maximum façade height at streetscape would be 17'-1" measured at the mid-point of the façade. The remaining facades not designated as streetscape and not visible from public view would be max. 20'-7".

Proposed Revised Building Shape and Style: See Fig. 7 through 16

1. Two-story 1,500 square foot building with (3) horizontal and vertical massings stepping downhill.
2. The building will be a Spanish Pueblo Revival Style to compliment the main residence.
3. The roof will be flat with raised parapets and canales. Downspouts will be needed in two locations (South and West) to direct the water away from an outdoor path.
4. The proposed maximum height at streetscape is 17'-1", 2'-10" above the maximum allowable height of 14'-3". The height reaches its maximum at the lowest portion of the stepped massing. The dimension can be seen on the north elevation on sheet HA-201.
5. The stucco color will be ElRey 212 Madera to match the existing residence. Elements like downspouts, vents etc. will be painted to match the stucco color (Dunn Edwards DEC715 Sandal).
6. Massing 1: The highest massing to the East is the part mostly visible from Camino Militar. It has an entry portal with supporting wood beams and posts visible from East and South. The portal is not visible from Camino Militar. The highest elevation measured at mid-point is 16'-6" (2'-3" above the allowable height)
7. Massing 2: The two-story portion of the building steps down 14" from massing 1. The lower level is mostly retained below grade. The highest elevation measured at mid-point is 15'-11" (1'-8" above the allowable height).
8. Massing 3: The most westerly massing which will be completely screened by existing trees and driveway measures 17'-1" to the top of the portal at mid-point of the façade. The roof over the heated portion of massing 3 will be a deck with a portal. He portal has exposed wood beams and posts. On North and South façades, the parapet is 3' above the finish floor with a 3' guardrail on the West façade.
9. A stuccoed retaining wall wraps around the South and West façade to allow exits to a pathway at the lower level. The height of the retaining wall will be stepped in 12" increments. The max. retaining wall height is 1'-9" from finish grade and 5'-5" measured on the inner side of the wall next to the laundry door. See South elevation on sheet HA-201.
10. The roof has low profile flat skylights. The roofing material is proposed to be a Thermoplastic Polyolefin (TPO) by WeatherBond 60 mil. color Rock Brown.
11. Windows are wood/clad color Bronze to match clad color of existing residence. The windows and glazed doors do not have divided lights. The shapes are rectangular and similar to the main house.
12. Exterior Lights:
 - a. Exterior wall sconces indirectly lit are located underneath portals. Brand name, Bellhop Outdoor Sconce, white 4.9" diameter. Mounting height 66".
 - b. Recessed step lights at retaining wall on lower level (not visible from public view) Brand name, WAC Lighting 5" w x 3" h, Bronze.
 - c. Gravel pathway has free standing 7-watts downward facing path lights with a maximum height of 18" above finish grade. Brand name, WAC Mini Accent LED Single Path, Bronze.

RESPONDING TO BOARD MEMBER'S COMMENTS:

Board Member Aguilar:

1. Style should complement main building
2. Agrees with Exception Criteria not met because of proximity to Downtown and Eastside Historic District
3. Reduce ceiling height from 10' to 9' at living room
4. Consider different siting closer to road

Applicant's Responds:

1. Revised Guesthouse complements the main building and is proposed to have the same architectural style. The stucco finish and window cladding will match the main building.
2. The architectural style and the massing to step with the slope meets the Exception Criteria.
3. The living room is stepped 14" from the entry. Instead of keeping a flat roof with an overhang, parapets are added throughout. With the stepped parapets and reducing interior heights the overall proposed heights are 14" lower than what was originally proposed.
4. The proposed location for the guesthouse causes the least impact on existing trees and is shallower in slope than other area on the property. We feel that the proposed site is the best possible location for a guesthouse.

Board Member Biedschied:

1. No secondary color underneath portal with contemporary style
2. Inconsistent window shapes, make more harmonious

Applicant's Responds:

1. The revised guesthouse does not have a secondary color underneath the portal. There will be only one stucco color to match the existing residence.
2. The window shapes for the revised guesthouse are consistent and harmonious. They are no different from the existing residence.

Board Member Guida:

1. Style inconsistent
2. Roof type different from existing house
3. Does not oppose to height exception if style is in harmony with main house

Applicant's Responds:

1. The revised guesthouse eliminates the wrap around roofed portal at the lower level. The portals on East and West facades are matching and coincide with the architectural style.
2. The proposed flat roofs have raised parapets throughout. Although the proposed roofing material (TPO) is different from the existing residence (Brai Roofing), the color of the proposed roofing will be brown.
3. The style and will match the architectural style of the main house and will be a harmonious addition to the property.

Board Member Larson:

1. 4' height exception too excessive

Applicant's Responds:

2. The proposed height for the revised guesthouse is reduced by 14". Thus, asking for a 2'-10" height exception is reasonable because:
 - a. The site location of the building along with the screening of trees and driveway does not allow neighboring properties to see the building except for the parapets in some cases. The building would be only visible from Camino Militar and the neighboring property 526 Camino Militar.
 - b. To address neighboring property owner's concerns that the building would be looming over neighboring properties is incorrect. The highest portion of the proposed building would sit 8' below Camino Militar on a slope. None of the property on Apodaca Hill and the upper portion of Camino Militar would be impacted by the guesthouse.
 - c. The revised building will be no longer contemporary and the architectural style will blend into the neighborhood. The proposed guesthouse will appear much shorter than any surrounding buildings on Camino Militar.

A motion was made that included following:

1. Exception Criteria not met

2. Match style of existing residence
3. Match color of existing residence
4. Include photos of existing residence

We believe to have addressed all concerns raised by the board members and the public that participated in the hearing from September 27th, 2022. We are determined to keep the privacy of the neighboring properties and integrate the proposed guesthouse without disturbing any views to the mountains. From Camino Militar the main house will be the prominent structure complimented by the proposed guesthouse setback from the property line with a lower overall building height.

Sincerely,



Sibylle Mueller, Architect AIA

Attachments:

- Revised Exception Criteria
- Photo of proposed site location and existing main house
- Photos and images of finish colors, guardrail, skylights and lighting.

Location for Proposed Guesthouse

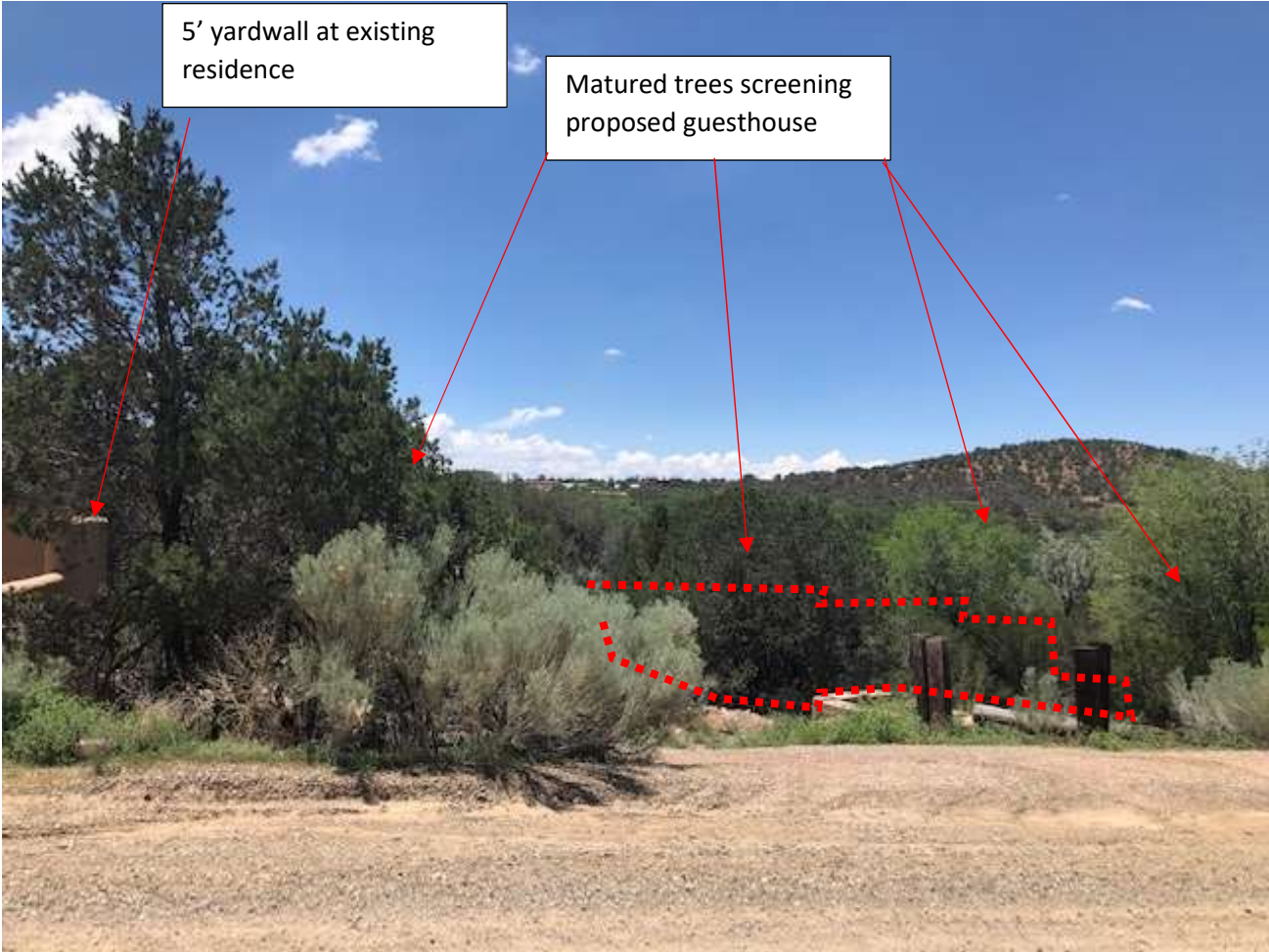


Fig. 1

Photo taken from Camino Militar looking South. The view shows top of existing driveway with the 5' yardwall of the existing main residence (left) for reference on height appearance.

The finish grade on top of the yardwall is 7286', top of driveway (center) is 7280'. Top of proposed guesthouse at entry is 7272.5'.

The red dotted outline is the approximate streetscape view from the road if there would be zero vegetation. With matured trees in the forefront of the building area, the proposed guesthouse is fully screened from this viewing angle.

Main House and Parking

5' yardwall at existing residence as shown in Fig. 2



Fig. 2
Main Residence – North Façade (streetscape) at Camino Militar. The façade the height is approx. 14'.



Fig. 3
Main Residence - North Façade (streetscape) at Camino Militar



Fig. 4
Main Residence – East Facade (proposed windows to match Main Residence)



Fig. 5
Main Residence – South Façade (max height at 24')



Fig. 6
Main Residence – West Façade (max height at 24')

Proposed Finishes and Colors



Fig. 7 Stucco Color El Rey 212 Madera
For ext. walls to match stucco at
main residence



Fig. 8 Dunn Edwards DE6385 Black Bean
Paint color for Guardrail

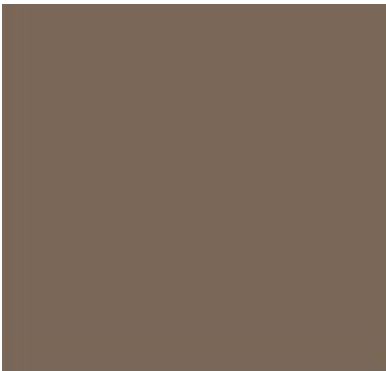


Fig. 9 TPO WeatherBond 60 mil. Rock Brown
Roofing System



Fig. 10 Bronze for Window Clad Color
to match clad color at main house



Fig. 11 Semi-Solid Stain SW 3524SS Chestnut
for Exposed Wood, Entry Door and Barn Door



Fig. 12 Power coated metal railing attached
between stucco walls at west portal

Proposed Finishes and Colors



Fig. 12 Skylight frame color Neutral Grey Kynar 500 Profile Curb-Mounted Flat Skylight



Fig. 14 (Type d) WAC WL-LED100 Recessed Step Light at Retaining Wall



Side View

Front View

Fig. 15 (Type a) Bellhop Outdoor Sconce, white Sconces Underneath Portals



Fig. 16 (Type c) WAC Mini Accent LED, Bronze Path Light at Gravel Pathway

Dear HDRB Chair and Members

We are asking for an exception to the building height for a proposed new guesthouse in the Historic Review District to increase the facade height by 2'-10" at the street facing facade. The height limitations were calculated to be 14'-3". The proposed maximum height for the new guesthouse is 17'-1" at the highest massing on the street-facing facade (North). The proposed facade heights out of public view and not within the streetscape are 20'-7" at South and West facades, and 15'-8" at East facade.

Section 14.5.2.(C)(5) (c) Exceptions comply with all the criteria listed as follows:

(i) Do not damage the character of the streetscape and district;

The Proposed Structure complies with (i) based on following reasons:

1. The character of the streetscape at Camino Militar is in harmony with the adjacent Downtown and Eastside Historic District. The design compliments the main residence and is proposed to be built in the same Spanish Pueblo Revival (architectural) Style. Like the main residence, the windows and doors will not have divided lights. The stucco and window clad colors will be matching the main residence.
2. There are fourteen buildings within the designated area of the height calculation according to the case planner. From the (14) buildings only (6) buildings are less than 16 feet in height. This means that (8) buildings exceed the height restrictions.
3. The street facade of the proposed guesthouse will be set back 108 feet from the edge of the street and the roof elevation will be (7.5) feet below the street elevation. This makes the proposed building appear much shorter and inconspicuous compared to existing buildings along Camino Militar.
4. The proposed site location allows for mature trees to remain in place screening most of the building from public view. The off-site parking area screens the finish grade along the guesthouse, so even without trees, the full building height cannot be seen from public view and neighboring properties.

(ii) Prevent a hardship to the applicant or an injury to the public welfare;

The Proposed Structure complies with (ii) based on following reasons:

1. Alternative locations for a new proposed guesthouse where the height does not exceed 14'-3" are limited. The property is sloped, so that a guesthouse with the proposed area cannot be placed without removing many mature trees currently screening the building site.
2. Keeping the existing trees north of the proposed guesthouse would be more environmentally sustainable than planting new trees to screen the proposed guesthouse.
3. For the public view and neighboring properties, a denser structure setback from the road will have a significantly lesser impact to the existing streetscape and the adjacent neighbor at 526 Camino Militar.
4. The proposed siting is the best possible location with the least amount of slope. The proposed parapets at each massing step down (14" and 12") in the direction of the slope.
5. Properties on Apodaca Hill and upper portion of Camino Militar cannot see the proposed guesthouse because natural slope, existing main residence and trees screens the views.

(iii) Strengthen the unique heterogeneous character of the city by providing a full range of design options to ensure that residents can continue to reside within the historic districts;

The Proposed Structure complies with (iii) based on following reasons:

1. The architectural design for the proposed structure complies with the design objective as set forth in chapter 14.5.2. where the restrictions for *General Design Standards for All H Districts* and *Historic Review District* are met. The exception pertains to the building height only.
2. The property is located south of Camino Militar and slopes downhill. The difference in elevations at natural grade exceeds 2' in height. The proposed site location is the shallowest slope within the available building envelope.

3. The proposed guesthouse complies of three horizontal and vertical massing. The parapet height for each massing steps downhill, so that the natural grade and the parapets slope in the same direction. Proposed streetscape heights of each massing:
 - a. The entrance massing has a grade elevation of 7256' and a parapet elevation of 7272.5'. The façade height from parapet to the original grade at midpoint measures 16'-6".
 - b. The two-story massing has a grade elevation of 7255.4' and a parapet elevation of 7271.3'. The façade height from parapet to the original grade at midpoint measures 15'-11".
 - c. The Bedroom and portal massing has a grade elevation of 7253.2' and a parapet elevation of 7270.3'. The façade height from (portal) parapet to the original grade at midpoint measures 17'-1". The wall at the roof deck extends beyond the edge of the portal will have an elevation of 7263.5' and measures 10'-4" to the original grade.

(iv) Are due to special conditions and circumstances which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the related streetscape ;

The Proposed Structure complies with (iv) based on following reasons:

1. The property slopes to the south of Camino Militar. There are many areas that exceed 30% slope which must remain undeveloped. A new building cannot be place along Camino Militar because the natural grade is over 30% at the available vacant area.
2. The natural drainage pattern and mature vegetation help potential erosion issues. The proposed location for the building has the least impact on vegetation and drainage patterns.
3. All lots at the upper part of Camino Militar are on steep slopes. All buildings on those lots exceed the height limitations most likely because development on the steep slopes is limited.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant ;

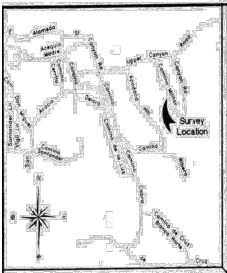
The Proposed Structure complies with (v) based on following reasons:

1. The main residence, driveway and off-site parking area limit the available placement for a guesthouse.
2. The southern portion of the lot is not suitable for a building site. A proposed building cannot be more than 150 feet from the street for a fire engine to have access from a street unless a *Fire Apparatus Access Driveway and Turnaround* is provided.
3. The lot is too tight and too steep to fit a *Fire Apparatus Access Driveway and Turnaround*.
4. All developments on lots south of Camino Militar are close to the street. The southern portions of the lots are undeveloped.

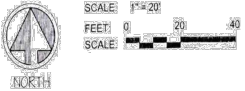
(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

The Proposed Structure complies with (vi) based on following reasons:

1. The proposed location poses the least negative impact to neighboring lots and streetscape because it would be tucked into the hillside mostly hidden from view.
2. Raising the building height and allowing for a two-story building with the lower level partially set into the hillside would be the best solution. It would preserve mature trees and only slightly alter the existing drainage pattern. A compact building is more energy efficient and would preserve more open space.
3. Residences in adjacent neighborhoods seen from Camino Militar would be more visible that the proposed guesthouse.



LINE	BEARING	LENGTH
01	N 80°31'54" E	58.30'
02	N 10°59'14" W	21.61'
03	S 82°02'55" E	16.43'
04	N 56°44'17" E	17.92'
05	N 23°59'28" E	22.16'



- LEGEND**
- Sanitary sewer mainline
 - City of Santa Fe Central Monument SFG 10358
 - Points found and used as noted
 - 1/2" capped iron pin set this survey
 - Utility poles and lines
 - Utility boxes
 - Fences
 - Gravel
 - Concrete

- NOTES**
- 1) Basis of bearing and distance. This survey was taken from GPS observations as referenced along the northwesterly boundary line of Tract G as shown on "Boundary Survey prepared for Joseph Sembrat & Julia Sembrat" recorded in Plat Book 701, Page 12. Bearings and distances in (1) were taken from said plat. Reference plat: Lot division of Tract H recorded in Plat Book 256, page 010. Bearings and distance in (1) are from said plat. Plat of Camino Militar within the William Brad Tract prepared by Walter Turley recorded in Plat Book 1, page 47.
 - 2) Bearing are GSD NAD-83, New Mexico Central Zone, distance are ground.
 - 3) Subject to Terms and conditions contained in Grant of Easement recorded in Book 941, Page 419. Easements and rights incident thereto recorded in Plat Book 701, Page 12.
 - 4) The February 18, 2010 Preliminary PFM Panel No. 1514300456 shows the property outside of designated flood plain.

750005

Lot Line Adjustment Plat
for
Joseph & Julia Sembrat
and
Markor Investments, Inc.

Tract G and Tract H-1 of the William Brad Tracts projected Section 29, Township 17 North, Range 10 East, N.M.P.M., Santa Fe, Santa Fe County, New Mexico
526 and 530 Camino Militar

PURPOSE STATEMENT: TO ADJUST THE LOT LINE BETWEEN LOT G AND LOT H-1

DEDICATION/AFFIDAVIT

The foregoing Lot Line Adjustment plat for Tract G and Tract H-1 of the William Brad Tracts, projected Section 29, Township 17 North, Range 10 East, N.M.P.M., Santa Fe, Santa Fe County, New Mexico, 526 and 530 Camino Militar made with the free consent and in accordance with the wishes of the undersigned owner.

Joseph Sembrat Date 21 Aug 2012 *Julia Sembrat* Date 24 AUG 2012

PROVINCE OF ONTARIO
City of Ottawa

This instrument was acknowledged before me this 29 day of August, 2012

by **Joseph Sembrat and Julia Sembrat**
C. Koslosky Notary Public My Commission expires SEP 11 2012

Markor Investments, Inc.
by Marshall C. Girard, President
Tract H-1

STATE OF NEW MEXICO
COUNTY OF SANTA FE

This instrument was acknowledged before me this 11 day of April, 2012

by **MARSHALL C. GIRARD, PRESIDENT OF MARKOR INVESTMENTS INC**
a NEW MEXICO CORPORATION, ON BEHALF OF THE CORPORATION
KHAL H. KAMMER Notary Public My Commission expires 3-11-15

CITY OF SANTA FE REVIEW
Rozema Zama City Engineer for Land Use Date 9/11/12

Annunzio City Planner Date 9-11-12

Case No. 2012-98
2012 Line Adjustment
526 and 530 Camino Militar

Approval Date: 9-11-12

Instrument No. 1681120
COUNTY OF SANTA FE
STATE OF NEW MEXICO

I hereby certify that this instrument was filed for record on the 11 day of Sept, A.D. 2012, at 2:32 o'clock P. M., and was duly recorded in Book 750, Page 05 of the records of Santa Fe County.

Witness my Hand and Seal of Office
County Clerk, Santa Fe County, New Mexico
Valencia Espinoza
Valencia Espinoza Deputy

CERTIFICATE

I, David E. Cooper, a duly registered Professional Surveyor in the State of New Mexico, hereby certify that this plat represents an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

David E. Cooper
Final date of field work
July 23, 2012
P.S. No. 9052



Barbara H. Sanderson
9/11/12

SIERRA LAND SURVEYING, INC.			
1452 South St. Francis Drive	Santa Fe, NM	505-823-5933	
Project No. 01-020-0312	Dwg. DED	CR	DTC
	File: GFS	Blk.	301
INDEXING INFORMATION FOR COUNTY CLERK			
NAME	LOCATION	SUBDIVISION	
Sembrat & Markor	Sec 29, T17N, R10E (Projected)	N/A	
Tract G	UPC No. 1-056-098-009-324		
Tract H-1	UPC No. 1-056-098-030-313		

H D R B S U B M I T T A L - 5 3 0 C A M I N O M I L I T A R

N E W P R O P O S E D A C C E S S O R Y D W E L L I N G U N I T

Architect
Mueller Architect, LLC
 COMMERCIAL - RESIDENTIAL ARCHITECTURE
 436 Cerrillos Road, Unit B
 Santa Fe, NM 87501
 Ph: 505.570.7261
 www.MuellerArchitectLLC.com

Professional Seal

TITLE SHEET WITH OVERALL ARCHITECTURAL SITE PLAN, VICINITY MAP,
 AND GENERAL INFORMATION
 G I R A R D G U E S T H O U S E
 530 CAMINO MILITAR, SANTA FE, NM 87501

Revisions

No	Date	Description
2	10-12-22	HDRB REV
1	08-15-22	HDRB REV
	08-04-22	HDRB
		Scale 1" = 20'-0"
		Date 08-04-22
		Drawn by
		Checked by

Drawing Number

HG-001

TABLE OF CONTENTS

HG-001	TITLE SHEET WITH OVERALL ARCHITECTURAL SITE PLAN, VICINITY MAP AND GENERAL INFORMATION
HG-002	PROPOSED MODEL
HA-SITE	PROPOSED PARTIAL ARCHITECTURAL SITE PLAN
HA-101	PROPOSED FLOOR PLAN
HA-201	PROPOSED EXTERIOR ELEVATIONS

ZONING REQUIREMENTS

ZONING R1:
 SETBACK REQUIREMENTS: FRONT 7', SIDES 5', REAR 15'
 HEIGHT REQUIREMENTS: 24'
 LOT COVERAGE MAX: 40%

OVERLAY DISTRICT - HISTORIC REVIEW HD:
 HEIGHT CALCULATION: 14'-3"
 HEIGHT EXCEPTIONS: 4' MAX ADDITIONAL HEIGHT AT STREETSCAPE MEASURED FROM MID-POINT AT FACADE.

PROPOSED:
 SETBACK: FRONT 98', RIGHT SIDE 20', LEFT SIDE 156', REAR 78'
 HEIGHT: 18'-3" AT MIDPOINT OF FACADE FOR STREETSCAPE, OTHER ELEVATION LESS THAN 24'
 LOT COVERAGE: 8.4%

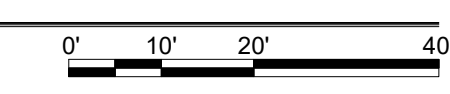
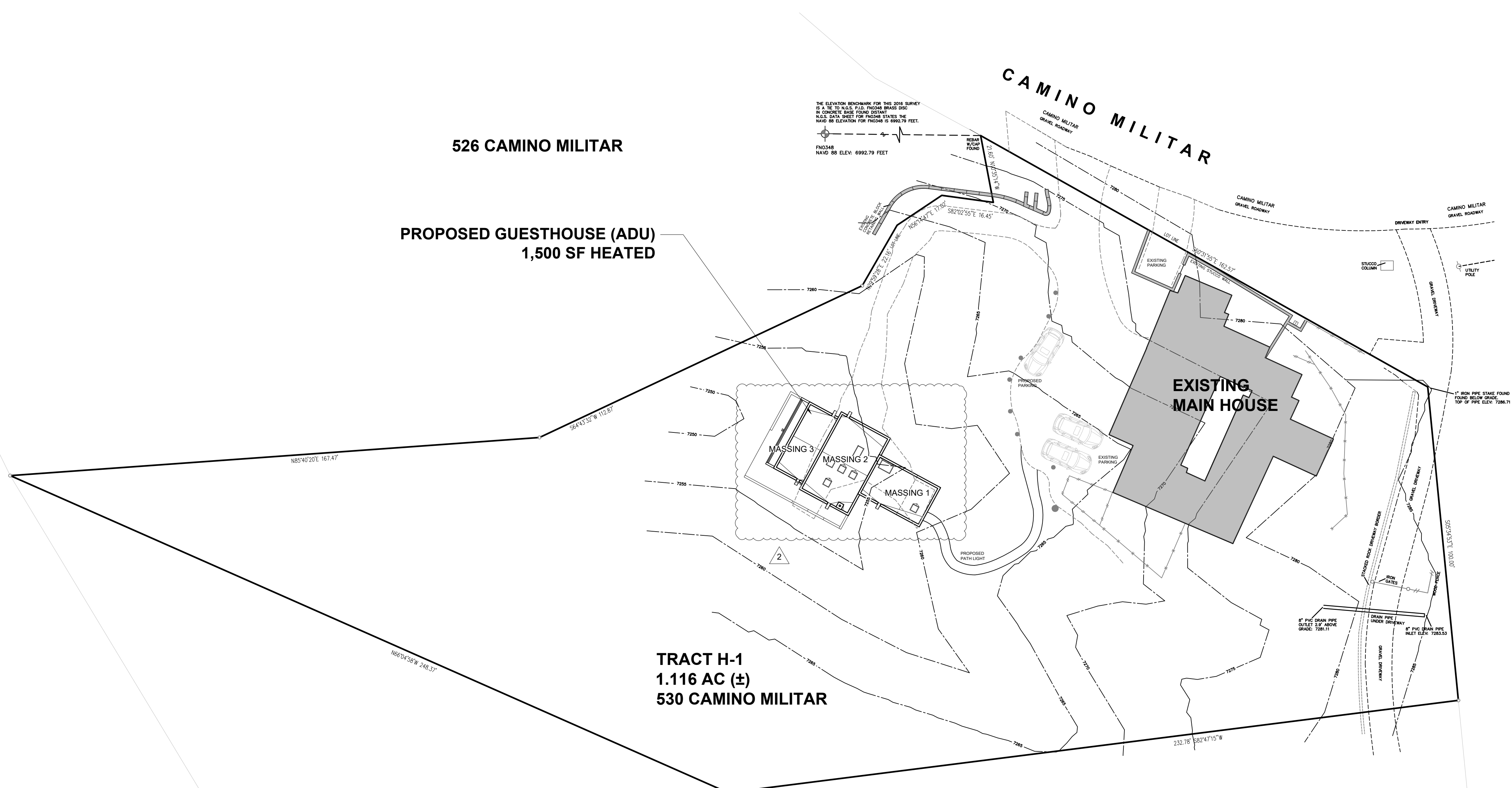
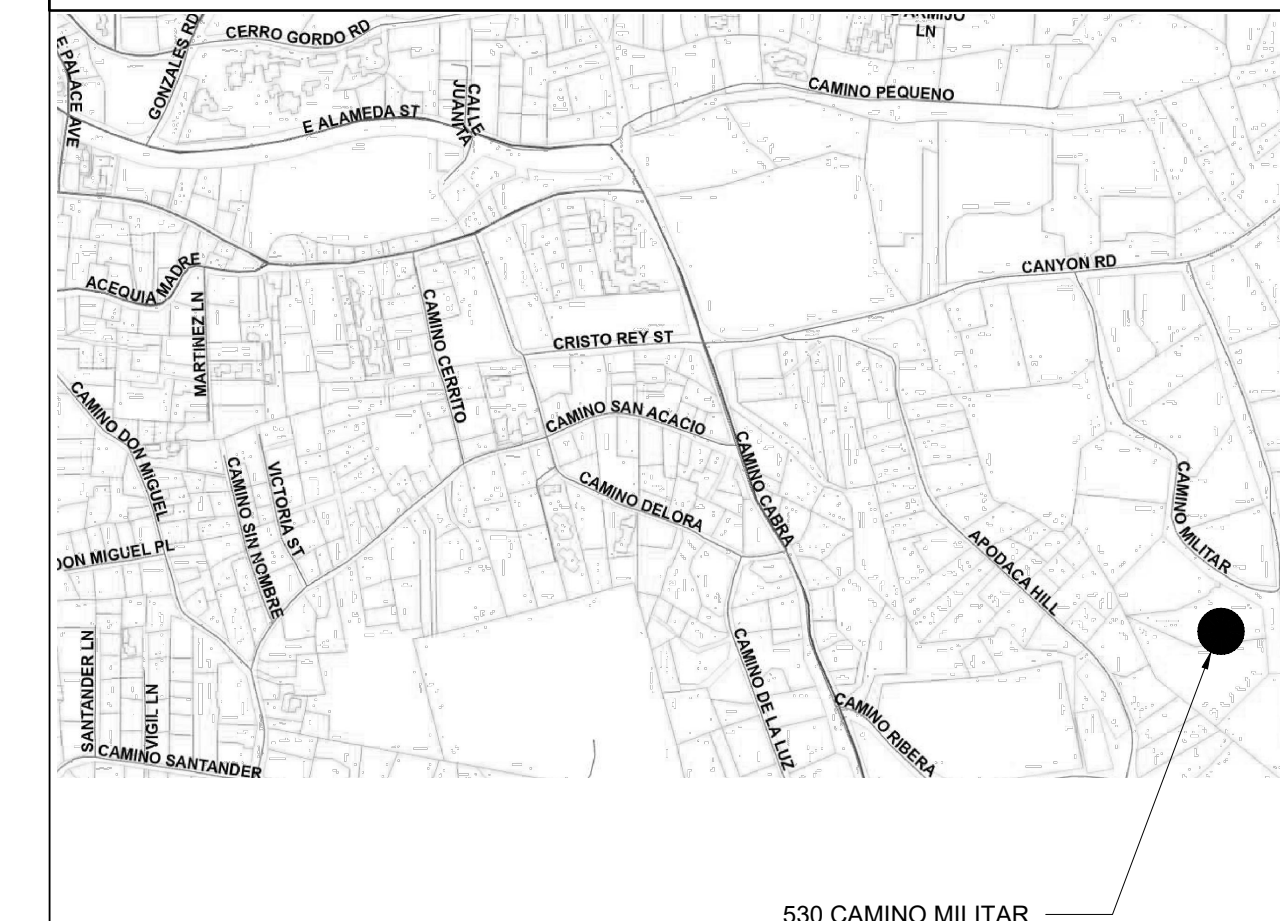
LOT INFORMATION

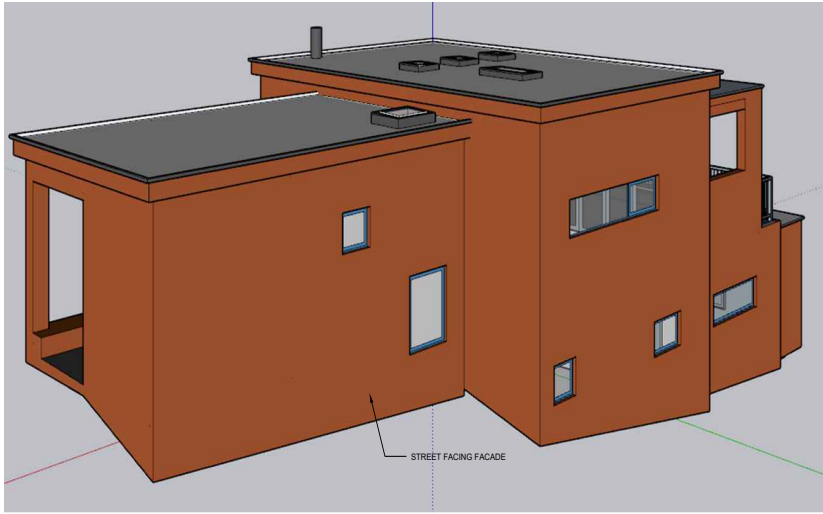
OWNER: MARKOR INVESTMENT, INC.
 OWNER ADDRESS: 532 CAMINO MILITAR
 PROPERTY ADDRESS: 530 CAMINO MILITAR
 LEGAL DESCRIPTION: S29,T17N,R10E,NMPM
 SUB-DIVISION: TRACT H-1 OF THE WILLIAM BRAID TRACTS

BUILDING INFORMATION

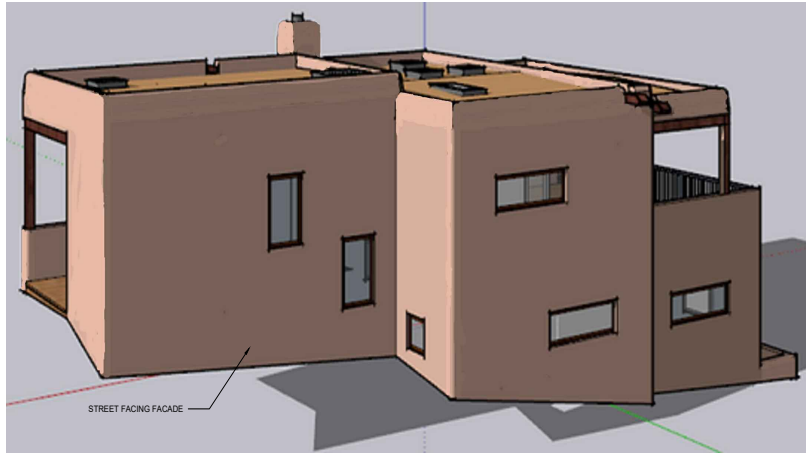
EXISTING MAIN RESIDENCE:
 ROOFED AREA: 3,000 SF
 PROPOSED ACCESSORY DWELLING UNIT: (REFER TO HA-101 FOR MORE INFO)
 ROOFED AREA: 1,115 SF
 HEATED AREA: 1,500 SF
 PORTALS: 433 SF
 BASEMENT: 494 SF

VICINITY MAP (NO SCALE)





C1 NORTH EAST FACADE - FROM HDRB HEARING 09-27-22



A1 NORTHEAST FACADE - REVISED



C3 NORTH WEST FACADE - FROM HDRB HEARING 09-27-22



A3 NORTHWEST FACADE - REVISED

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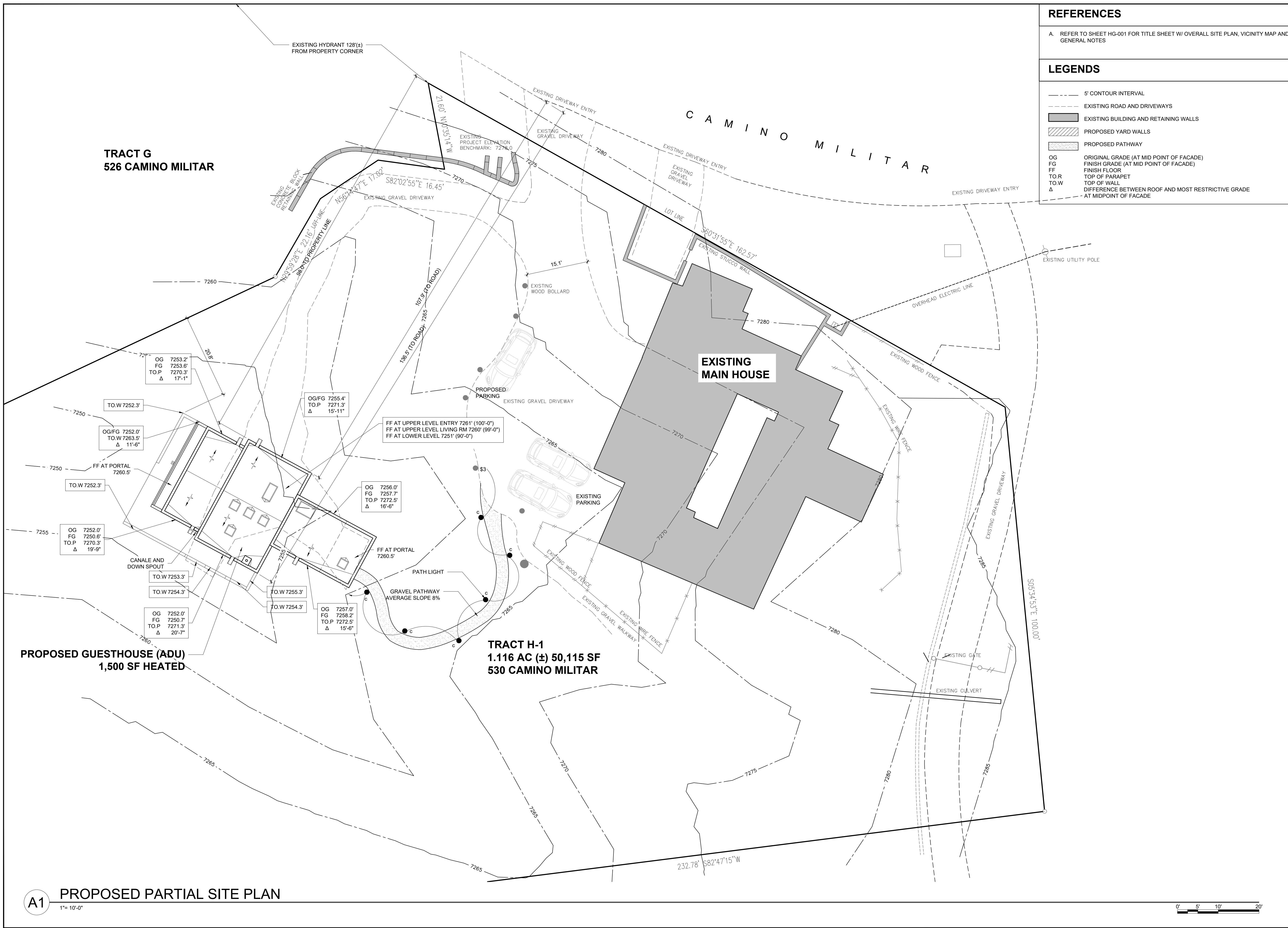
PROPOSED MODEL
 COMPARING HDRB HEARING 09-27-22 AND REVISED MODEL

G I R A R D G U E S T H O U S E
 530 CAMINO MILITAR, SANTA FE, NM 87501

Revisions		
No	Date	Description
10-12-22		HDRB REV
08-04-22		HDRB
Scale		NO SCALE
Date		08-02-22
Drawn by		
Checked by		

Drawing Number

HG-002
 REVISION - ENTIRE SHEET



REFERENCES

A. REFER TO SHEET HG-001 FOR TITLE SHEET W/ OVERALL SITE PLAN, VICINITY MAP AND GENERAL NOTES

LEGENDS

- 5' CONTOUR INTERVAL
- - - - - EXISTING ROAD AND DRIVEWAYS
- ▬ EXISTING BUILDING AND RETAINING WALLS
- ▨ PROPOSED YARD WALLS
- ▩ PROPOSED PATHWAY
- OG ORIGINAL GRADE (AT MID POINT OF FACADE)
- FG FINISH GRADE (AT MID POINT OF FACADE)
- FF FINISH FLOOR (AT MID POINT OF FACADE)
- TO.R TOP OF PARAPET
- TO.W TOP OF WALL
- Δ DIFFERENCE BETWEEN ROOF AND MOST RESTRICTIVE GRADE - AT MIDPOINT OF FACADE

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Professional Seal

PROPOSED PARTIAL ARCHITECTURAL SITE PLAN

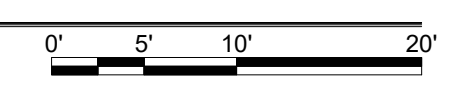
G I R A R D G U E S T H O U S E
530 CAMINO MILITAR, SANTA FE, NM 87501

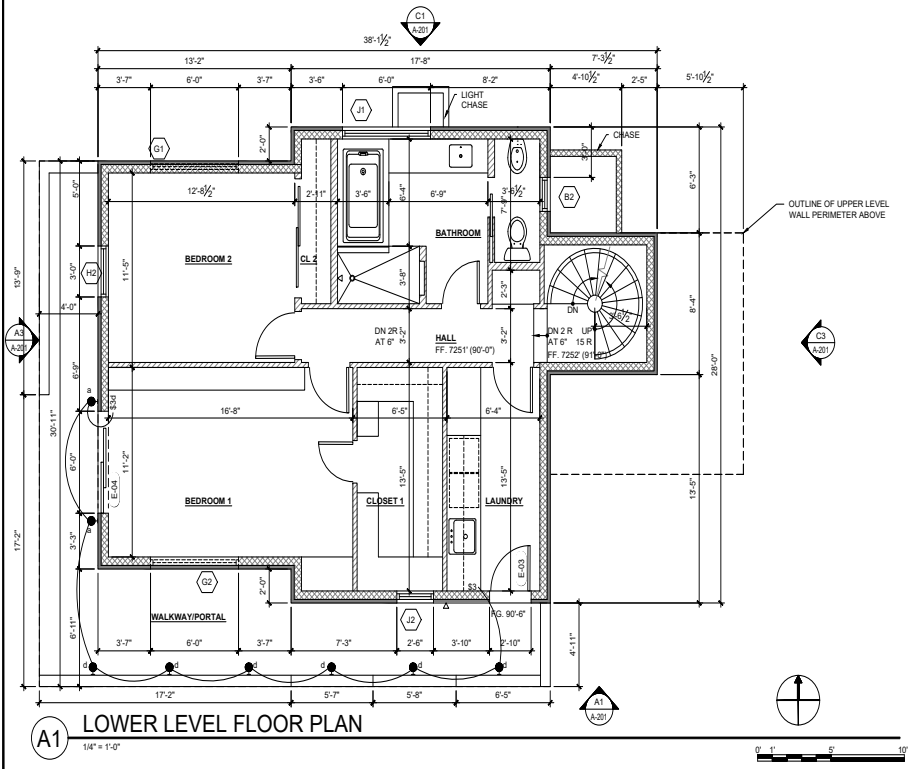
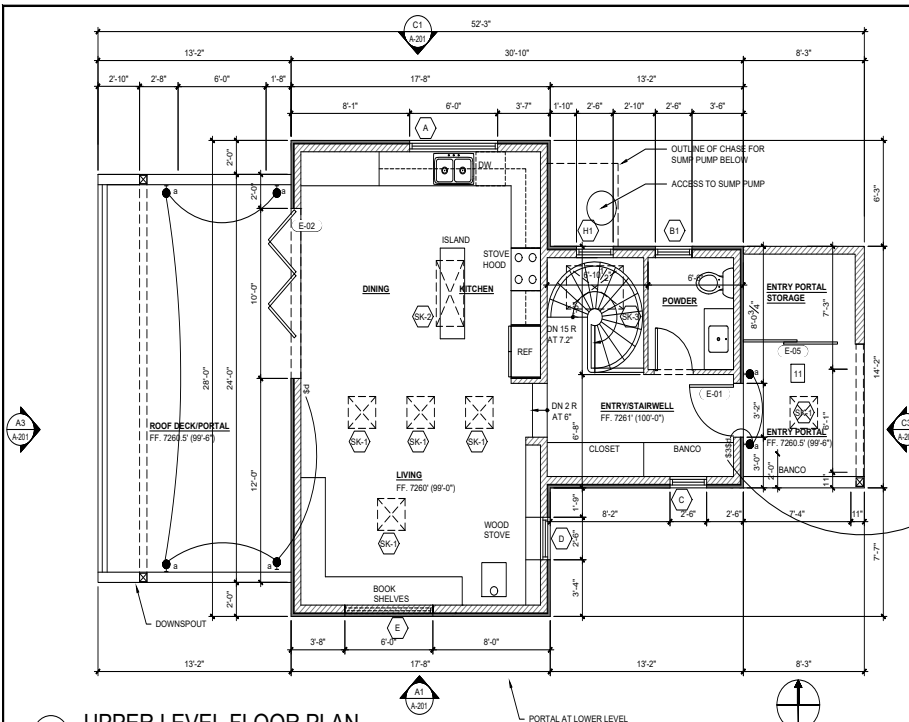
Revisions

No	Date	Description
10-12-22		HDRB REV
08-15-22		HDRB REV PARK
08-04-22		HDRB

Scale 1" = 10'-0"
Date 08-02-22
Drawn by
Checked by

Drawing Number
HA-SITE
REVISION - ENTIRE SHEET





BUILDING INFORMATION

HEATED AREAS	811 SF
LOWER LEVEL	589 SF
UPPER LEVEL	222 SF
TOTAL HEATED	1,050 SF
UNHEATED AREA	555 SF
BASEMENT	555 SF
DECK	316 SF
ENTRY PORTAL	117 SF
TOTAL UNHEATED	888 SF
TOTAL ROOFED	1,220 SF

EXTERIOR DOOR SCHEDULE

NO	TYPE	FRAME SIZE	LOCATION	HARDWARE
E-01	SOLID WOOD DOOR	38" X 84"	ENTRY	KEYED LEVER AND DEADBOLT
E-02	FOLDING PATIO DOOR	120" X 84"	KITCHEN	KEYED
E-03	FRENCH IN-SWING	34" X 84"	LAUNDRY	KEYED LEVER AND DEADBOLT
E-04	SLIDING DOOR	72" X 84"	BEDROOM 1	KEYED
E-05	WOODEN BARN DOOR	88" X 84"	ENTRY PORTAL	KEYED

NOTE: WOOD/CLAD DOORS: 6060R/BLUE—PANTONE-7660B BRONZE
SOLID WOOD DOORS: STAINED - BROWN

LEGENDS

- EXISTING WALLS
- PROPOSED WALLS
- ICF STEM WALLS
- CONT. EXTERIOR INSULATION

EXTERIOR LIGHTING

- WALL SCONCE MOUNTING HEIGHT 66" ABOVE FINISH FLOOR, NIGHT-SKY COMPATIBLE BELLHOP OUTDOOR SCONCE, WHITE
- NOT USED
- PATH LIGHT BY WAC MINI ACCENT LED SINGLE PATH, BRONZE FINISH
- RECESSED STEP LIGHT
- DIMMER SWITCH

REFERENCES

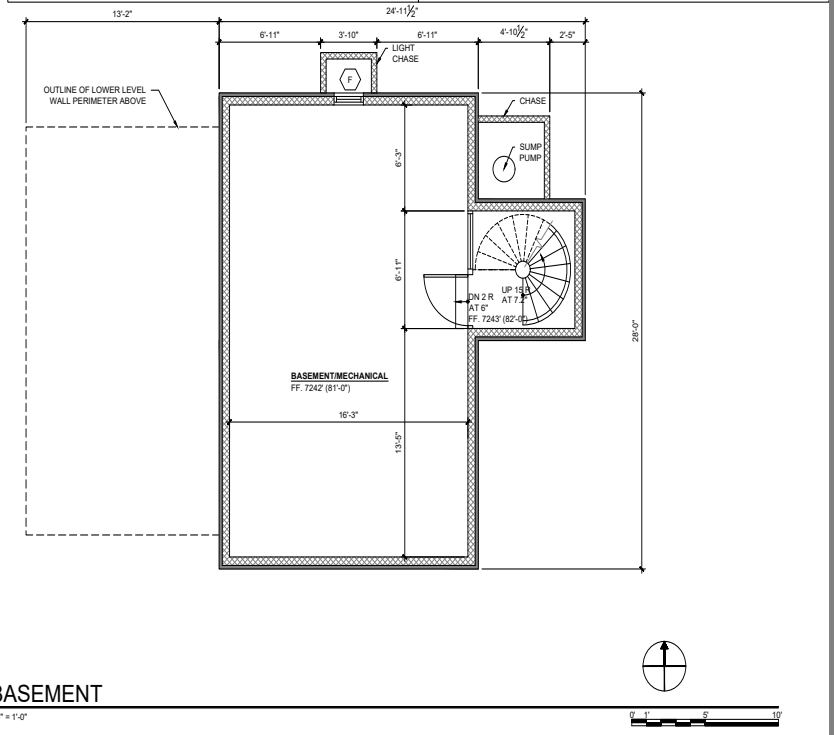
- REFER TO SHEET HG-001 FOR TITLE SHEET W/ OVERALL SITE PLAN, VICINITY MAP AND GENERAL NOTES
- REFER TO SHEET HG-002 FOR PROPOSED MODEL
- REFER TO SHEET HA-SITE PROPOSED PARTIAL ARCHITECTURAL SITE PLAN
- REFER TO SHEET HA-201 PROPOSED EXTERIOR ELEVATIONS FOR WINDOW AND BUILDING HEIGHTS

WINDOW SCHEDULE

WEATHER SHIELD WINDOWS, WOOD/CLAD, COLOR BLUE - PANTONE 7682C	NO	TYPE	FRAME SIZE	LOCATION	HEAD HEIGHT
A	AWNING	72" X 24"	KITCHEN	+84" AFF	
B1	AWNING	30" X 48"	POWDER	+84" AFF	
B2	AWNING	24" X 24"	BATHROOM (WC)	+84" AFF	
C	CASEMENT	30" X 72"	ENTRY	+96" AFF	
D	CASEMENT	30" X 72"	LIVING ROOM	+108" AFF	
E	AWNING	72" X 24"	LIVING	+108" AFF	
F	AWNING	24" X 24"	BASEMENT	+84" AFF	
G1	AWNING	72" X 24"	BEDROOM 2	+84" AFF	
G2	AWNING	72" X 24"	BEDROOM 1	+84" AFF	
H1	CASEMENT	30" X 48"	STAIRWELL	+144" AFF LL/36" UL	
H2	CASEMENT	36" X 48"	BEDROOM 2	+84" AFF	
J1	CASEMENT	72" X 24"	BATHROOM	+84" AFF	
J2	CASEMENT	30" X 24"	CLOSET 1	+84" AFF	

SKYLIGHT SCHEDULE

VELUX CURB MOUNTED, BRONZE FINISH	NO	TYPE	FRAME SIZE	LOCATION	QUANTITY
SK-1	FIXED	24" X 24"	LIVING	3	
SK-2	OPERABLE	24" X 48"	KITCHEN	1	
SK-3	FIXED	30" X 48"	STAIRWELL	1	



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PROPOSED FLOOR PLANS

G I R A R D G U E S T H O U S E
530 CAMINO MILITAR, SANTA FE, NM 87501

Revisions

No	Date	Description

10-12-22 HDRB REV
 Scale 1/4" = 1'-0"
 Date 06-30-22
 Drawn by
 Checked by

Drawing Number

HA-101
 REVISION - ENTIRE SHEET

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PROPOSED EXTERIOR ELEVATIONS

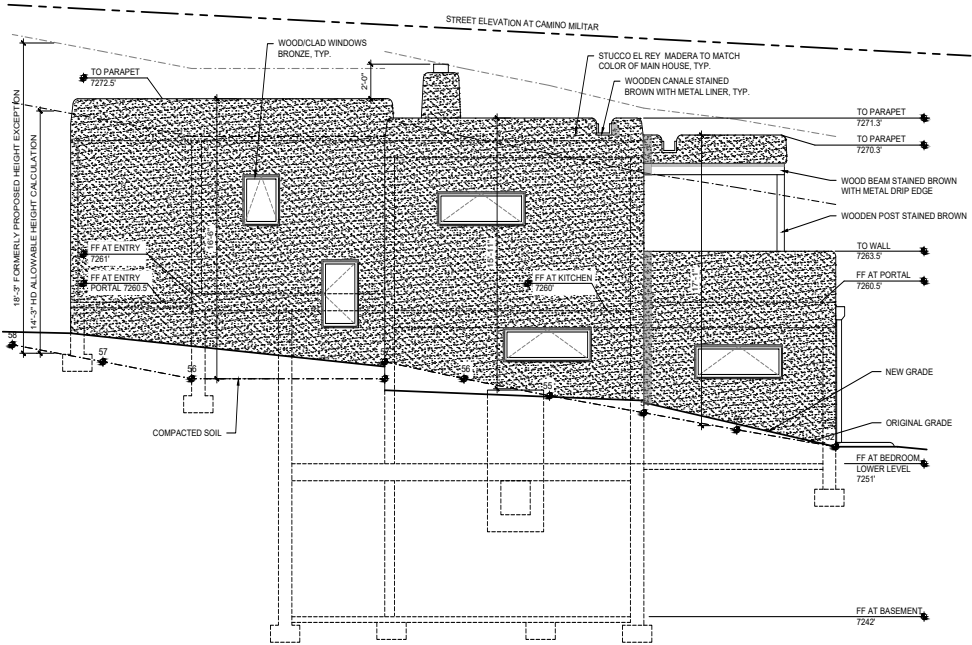
G I R A R D G U E S T H O U S E
 530 CAMINO MILITAR, SANTA FE, NM 87501

Revisions

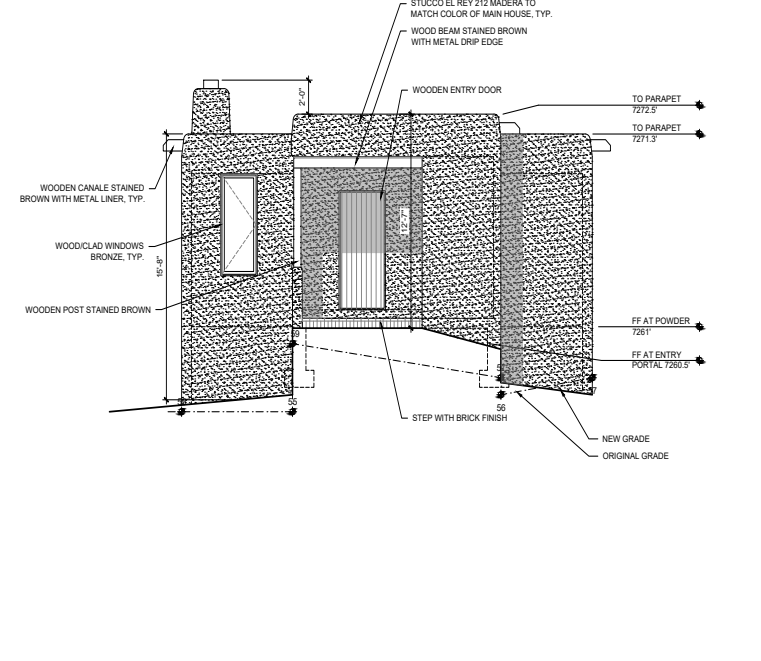
No	Date	Description
10-12-22	HDRB	REV

Drawing Number

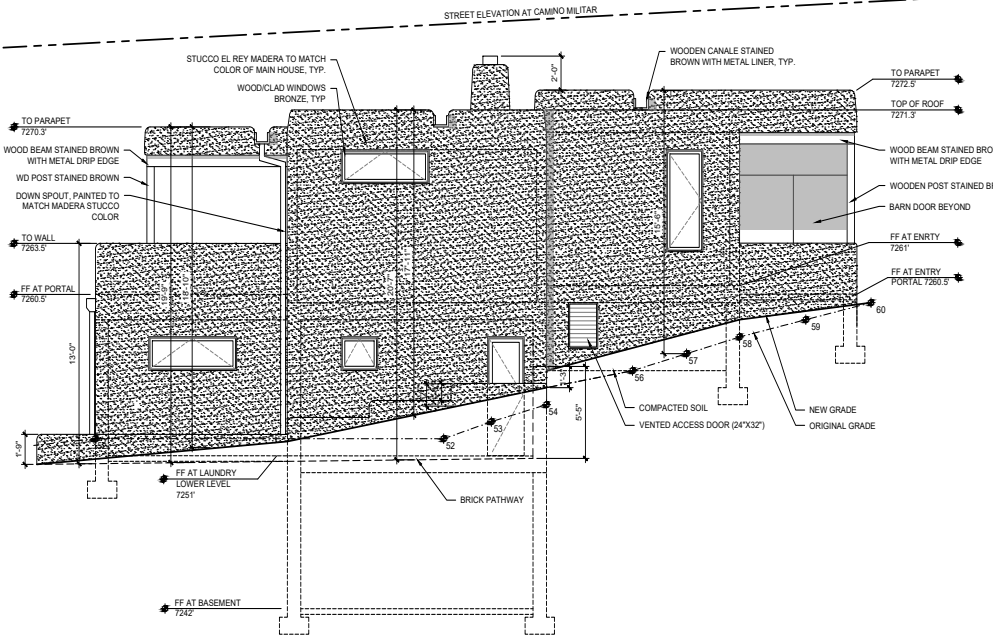
HA-201
 REVISION - ENTIRE SHEET



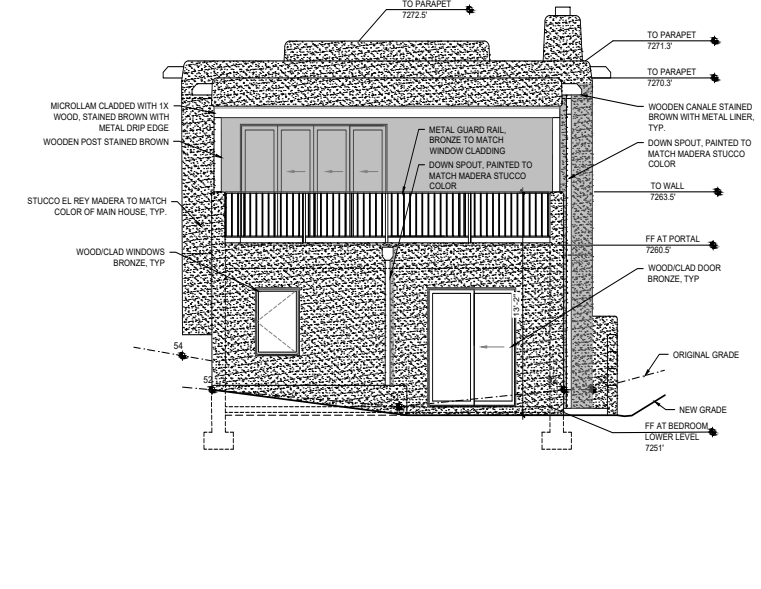
C1 NORTH ELEVATION - STREETSCAPE
 1/4" = 1'-0"



C3 EAST ELEVATION
 1/4" = 1'-0"



A1 SOUTH ELEVATION
 1/4" = 1'-0"



A3 WEST ELEVATION
 1/4" = 1'-0"



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005980--HDRB

Project Description: Add windows to north and east blank facades; replace NE corner recess with double doors

Project Location(s): 150 WASHINGTON AVE
Santa Fe, NM 87501

Contacts:

Applicant: Jon Dick
1512 Pacheco Street PACHECO
Santa Fe, NM 87505

JON@ARCHAEOARCHITECTS.COM

Property Owner: CTO Reality Growth

jalbright@ctoreit.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: TRUE Contributing: False Significant/Landmark: False

Primary Elevations: N/A

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction: 1982-1984

Project Type: Remodel

Historic Building Name: First Interstate Plaza

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005980-HDRB

Address: 150 Washington Avenue
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: simulated elevations; window
and door schedule

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

150 Washington Avenue was built in 1982-83 as the First Interstate Plaza building that spans the Lincoln Avenue, Washington Avenue, and Marcy Street block. It has three stories, with the third floor stepped back at the top. Its style is contemporary version of Spanish-Pueblo Revival with wall-dominated stucco walls and parapets. It is non-contributing to the Downtown and Eastside Historic District.

The applicant proposes to add a series of windows at street level as well as at the second story level, to the two existing blank facades of the building that face Washington Avenue and West Marcy Street. The north façade, Marcy Street elevation, will have four (4) new 5 x 3 divided lite windows added to its second story and three (3) new pairs of 2 x 4 divided lite windows at sidewalk and street level. The east façade, Washington Avenue elevation, will mirror the number and type of windows. At the northeast corner ground level, currently a recess for sculpture display, a new pair of 9' x 6' French doors for egress and ingress will be installed, facing northwest on a diagonal at the sidewalk. The new door will be 3 x 5 divided lite wood. The window glass to wall ratio is less than 40 percent.

All new windows and doors will match existing doors and windows in type, muntin pattern and color to match existing, aluminum clad frost blue manufactured by Pella.

French doors placed at the recessed area on the corner for egress and ingress from those spaces.

H 354

building threatened? yes	surveyed date <u>11/20/85</u> by <u>HMW</u>	county <u>SANTA FE</u>	ID no. <u>051610455</u>
field map <u>SFHD # 1</u>	number <u>455</u>	UTM reference easting zone <u>12 13</u> northing	
location description <u>150 WASHINGTON</u>		city/town <u>SANTA FE</u>	
		land grant/reservation	
building name <u>FIRST INTERSTATE PLAZA</u>		legal description tnsp <u> </u> N S range <u> </u> E W sec <u> </u> & <u> </u>	
film roll by <u>HMW</u> no. <u>SFHD # 16</u>	negative nos. <u>29</u>	loc. of neg. <u>HPB</u>	plan shape :



style	foundation material	date of construction estimate <u>1982-4</u> actual
	wall material/surface	source
architectural features		use present residential other _____ historic residential other _____
		condition ___ excellent ___ good ___ fair ___ deteriorating
		degree of remodeling ___ minor ___ moderate ___ major describe:
		surroundings <u>COMMERCIAL</u>
		relationship to surroundings ___ similar <input checked="" type="checkbox"/> not similar
		district potential ___ yes ___ no
		significance ___ eligible ___ of <input checked="" type="checkbox"/> none
comments		if eligible, interest why? <u>N-C. DATE</u>
		associated buildings? ___ yes what type?
		if inventoried, list ID nos.
		see back? ___ yes

Municipal Building -

conceptual drawings Meem Nov 1936

shows 2nd floor cells, guard space, exercise space, kitchen, and warden's living quarters?

also offices for city officials

1st floor -

.C of Commerce, council room, offices, court room, ~~pat~~ etc., and fire station complete w/ space for fire engines

basement - record storage, mechanical, (construction drawings show the basement mostly unexcavated but with a pistol range)

Washington Street (front) same except large garage doors for fire engines have been replaced w/ window wall

~~rear - was flat w/ large~~

rear - on N end, 1 1/2 stories, large 20/20 DHWS w/ pedimented frames

s end - 2 stories, small 6 lite wdws upper, larger 12/12 DHWS & 1 door lower w/ transom & sidelites

north (Mary) - east end - double door w/ pediment

west - portal on 1st level - 12/12 DHWS both levels, ~~door~~ door w/ sidelites & transom

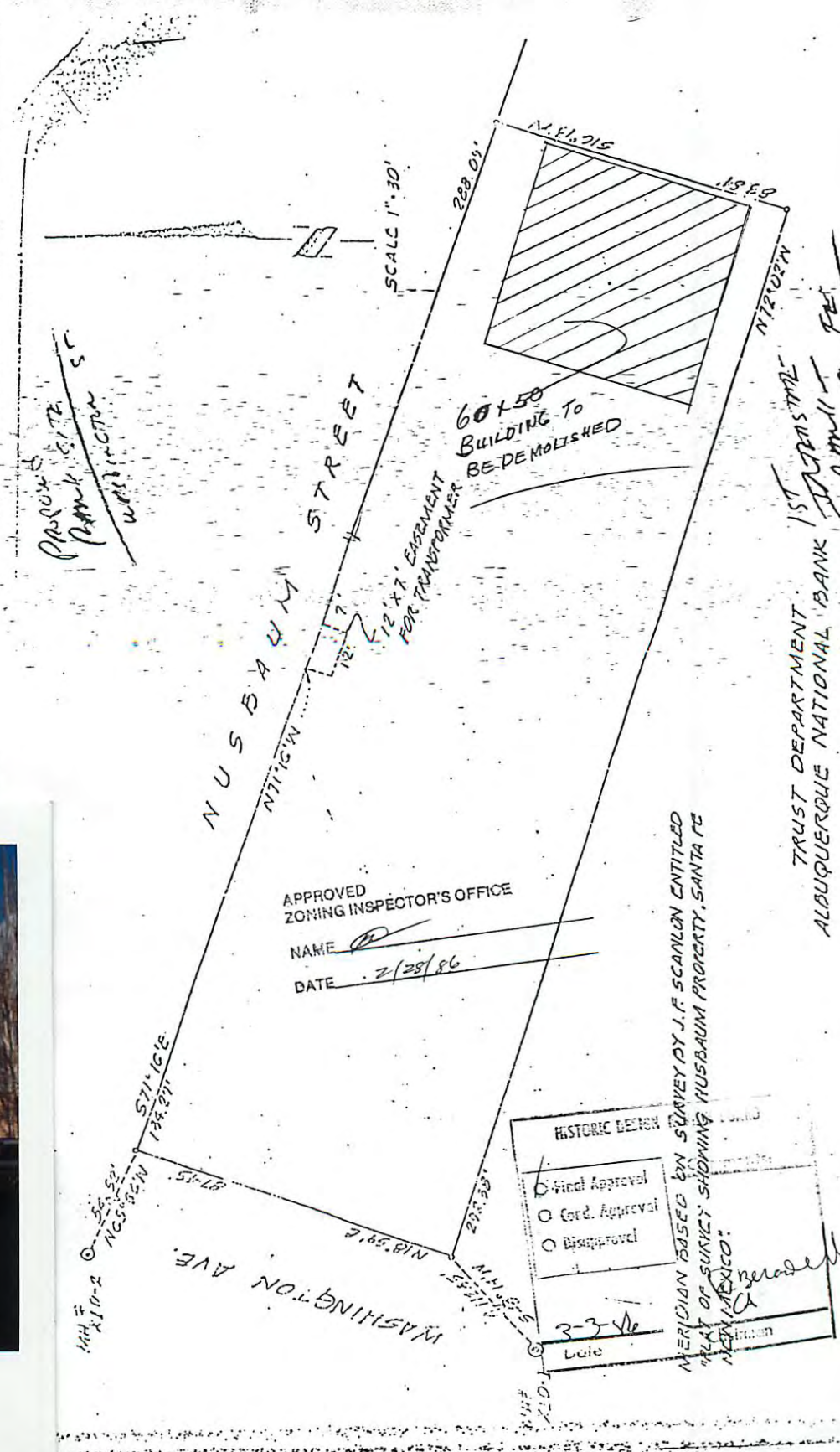
south (Neusbaum) - west portion - 12/12 DHWs
at 1st level, 2nd has one 12/12 flanked
by 4 6-lite
east section - 12/25 ~~lower~~ lower & upper -
upper are pedimented - gallery
at center w/ balustrade, portal evident
through opening

Sarban Micro 64321 6475 532 1983

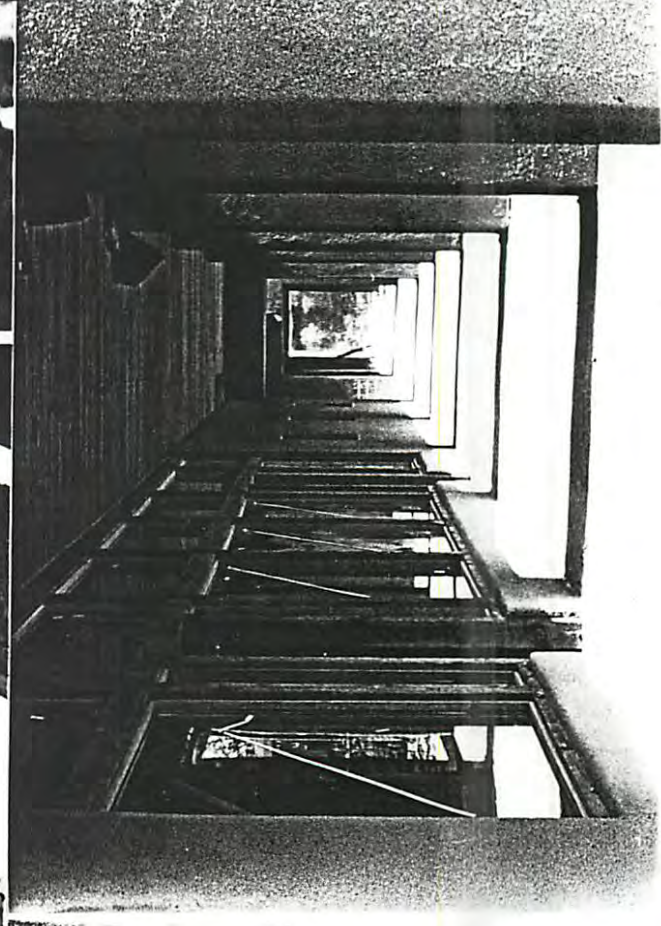
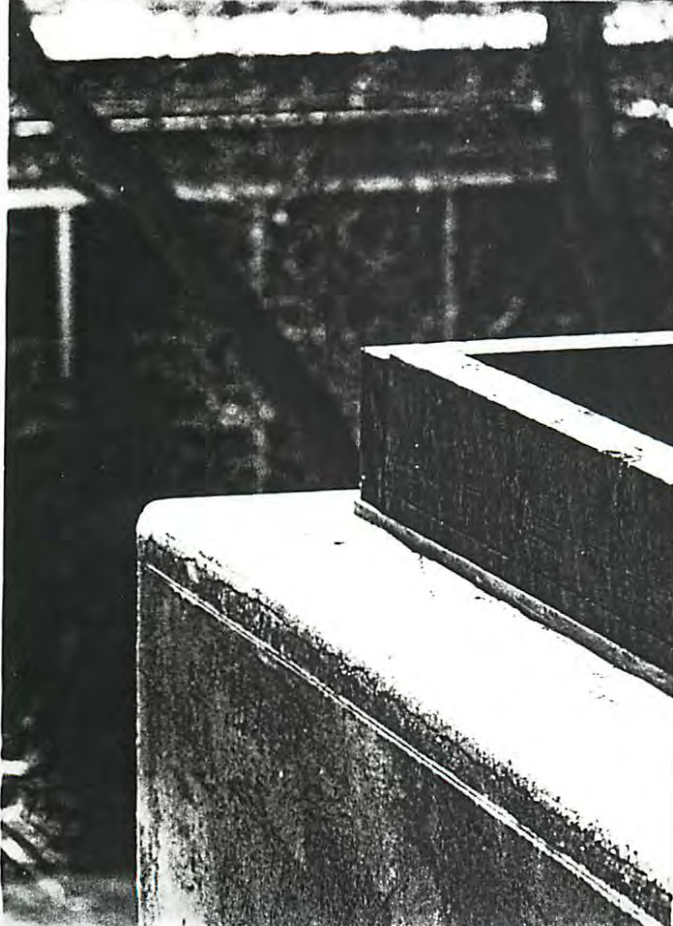
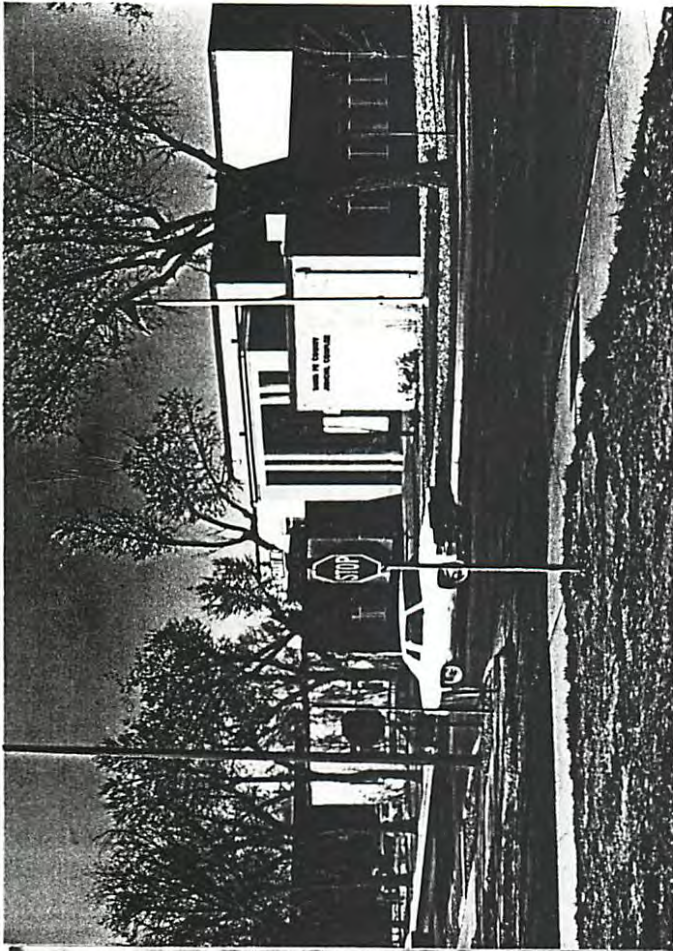
side visit 8/3 west - garage doors to wdws w/ wood wainscot
north - as drawn, except N face of
~~east~~ possible E addition, set back
east - north end (to roof height change) same -
south 2/3 differs greatly - ~~likely~~ addition
since 1949 Sarban map update -
may be original wall/windows behind
2nd floor portal. 1st floor wdws
on inner & outer walls are clearly modern
south - center appears to be infill addn
w/ poss orig wall/windows above.
end of east addn ~~was~~ concurrent
w/ infill (p. 1949). Line on wall shows
where infill addn begins behind (E of) fire station.
portion of facade to W of line is
as drawn.

H-86-37

150 WASHINGTON AVENUE



H-82-14
150 WASHINGTON AVENUE
FIRST INTERSTATE PLAZA



9

FIRST INTERSTATE PLAZA

PHASE 1
A Consolidation of Tracts C-1, C-2, D & E

Beginning at the Northeast corner of Phase 1, at the true point of beginning. From whence the center of City of Santa Fe Sanitary Sewer Manhole X-9, in the intersection of Marcy Street and Washington Avenue, bears $853^{\circ}59'33''$ E, 43.62 feet; thence, from said point of beginning,

$S18^{\circ}38'51''$ W, 267.77 feet along the Westerly right-of-way of Washington Avenue to the Southeast corner; thence,

$N71^{\circ}11'22''$ W, 125.08 feet to a point; thence,

$S18^{\circ}39'47''$ W, 1.02 feet to a point; thence,

$S73^{\circ}43'22''$ W, 9.03 feet to the Southeast corner; thence,

$N18^{\circ}39'47''$ E, 104.91 feet to a point; thence,

$S78^{\circ}10'00''$ E, 3.55 feet to a point; thence,

$N17^{\circ}35'24''$ E, 46.42 feet to a point; thence,

$N73^{\circ}10'00''$ W, 2.70 feet to a point; thence,

$S18^{\circ}39'00''$ E, 113.29 feet to the Northwest corner; thence,

$S72^{\circ}51'16''$ E, 134.07 feet along the Southerly right-of-way of Marcy Street, to the true point of beginning.

A tract of land containing 35,490 square feet or .8147 acre, more or less.

PHASE 2
A Consolidation of Tracts A & B

Beginning at the Southwest corner of Phase 2, at the true point of beginning. From whence the center of City of Santa Fe Sanitary Sewer Manhole X-3-1, in the right-of-way of Lincoln Avenue, bears $N72^{\circ}03'46''$ W, 48.57 feet; thence, from said point of beginning,

$N17^{\circ}13'51''$ E, 156.12 feet along the Easterly right-of-way of Lincoln Avenue to a point; thence,

$N17^{\circ}20'00''$ E, 54.98 feet along the Easterly right-of-way of Lincoln Avenue to the Northeast corner; thence,

$S72^{\circ}29'13''$ E, 49.27 feet to a point; thence,

$N18^{\circ}17'00''$ E, 0.33 feet to a point; thence,

$S71^{\circ}43'00''$ E, 88.30 feet to the Northeast corner; thence,

$S18^{\circ}39'00''$ W, 55.88 feet to a point; thence,

$S73^{\circ}10'00''$ E, 2.70 feet to a point; thence,

$S17^{\circ}35'24''$ E, 46.42 feet to a point; thence,

$N78^{\circ}30'00''$ W, 3.55 feet to a point; thence,

$S18^{\circ}39'47''$ W, 104.91 feet to the Southeast corner; thence,

$N73^{\circ}39'41''$ W, 132.64 feet to the true point of beginning.

A tract of land containing 28,461 square feet or .6534 acre, more or less.

ADMINISTRATIVE CONSOLIDATION ACCEPTED:

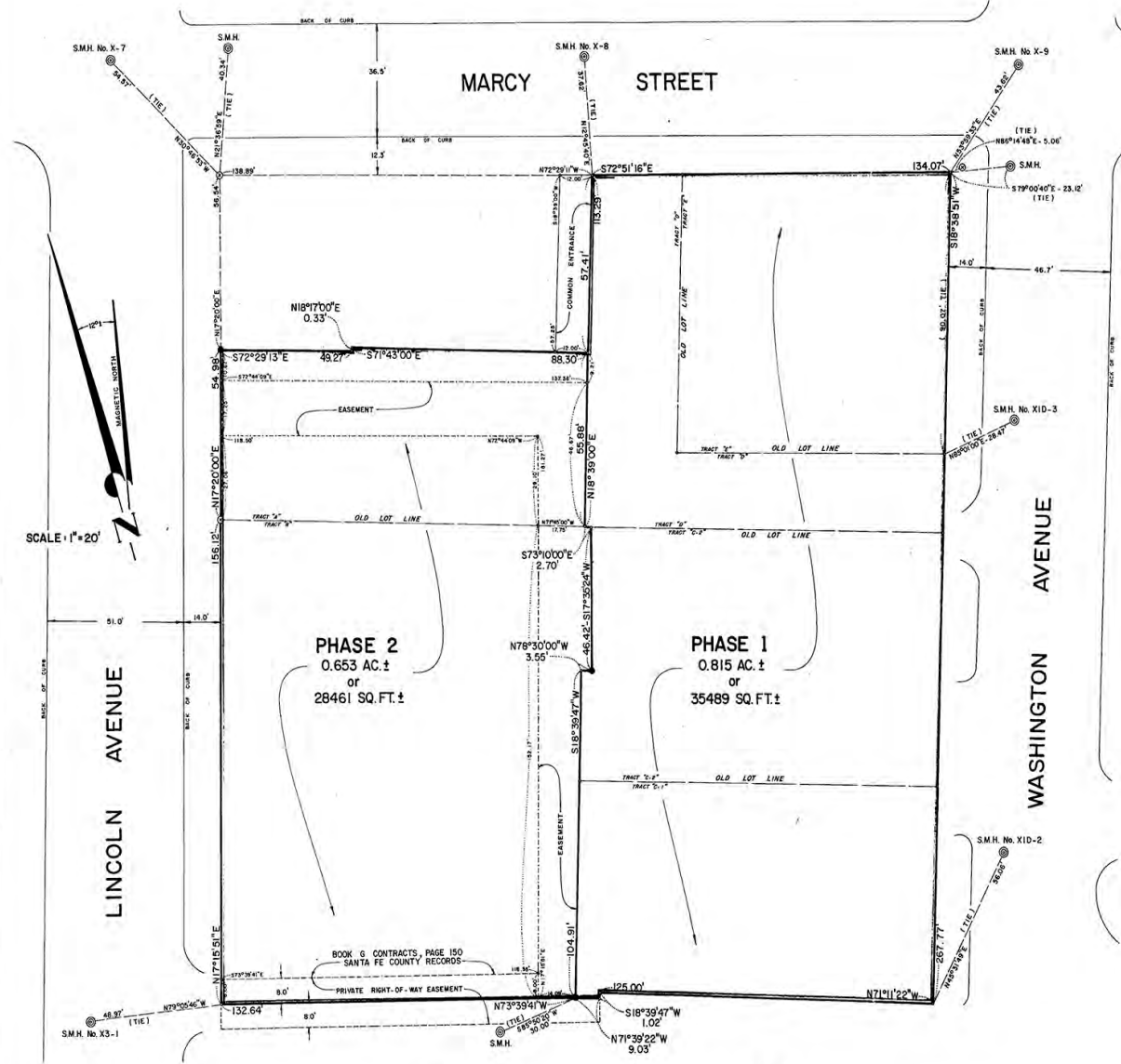
Helena Hunt 2/4/82
CITY ENGINEER DATE

Bob Turner 2/1/82
CITY PLANNER DATE



I hereby certify that this instrument was filed for record on the 5th day of February, 1982, at 9:09 a.m. in the Office of the County Clerk, Santa Fe County, N.M. and was duly returned to said County Clerk, Santa Fe County, N.M.

Carroll H. Ward
County Clerk, Santa Fe County, N.M.



SCALE: 1" = 20'

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WAS MADE BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL, DURING THE MONTH OF FEBRUARY, 1982, AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dean Williamson
DEAN WILLIAMSON NMPLS No. 6671

NOTES
BEARINGS BASED ON A PLAT OF SURVEY BY SMITH AND WILLIAMSON SURVEYING SERVICE, SIGNED BY DEAN WILLIAMSON, NMPLS No. 6671, DATED NOV. 19, 1981, TITLED "FIRST INTERSTATE BANK OF SANTA FE, N.M. (FORMERLY SANTA FE NATIONAL BANK), MAIN OFFICE, S.F., N.M."
ALL LANDS SHOWN HEREON DO LIE OUTSIDE THE 100 YEAR FLOOD PLAIN.

LEGEND
● DESIGNATES SANITARY SEWER MANHOLE (SMH).
● DESIGNATES 1/2" IRON PIPE FOUND.
● DESIGNATES "X" ETCHED IN CONCRETE FOUND.
• DESIGNATES CALCULATED POINT NOT SET.

Smith & Williamson
Surveying Service
1210 Lugo, Suite 5 Santa Fe, New Mexico 87501

PLAT OF SURVEY OF THE			
FIRST INTERSTATE PLAZA			
SCALE	PROJECT NO.	DATE	SHEET NO.
1" = 20'	2228	FEB. 1, 1982	1 of 1



A R C H A E O
architects

1512 Pacheco Street
A105
Santa Fe, New Mexico 87505
505.820.7200

September 7, 2022

City of Santa Fe
Historic Preservation Division

Re: 150 Washington Avenue

My client, CTO Realty Growth, owners of the above referenced property, would like to add a series of windows at street level as well as at the second story level, to the two existing blank facades of the building that face Washington Avenue and West Marcy Street.

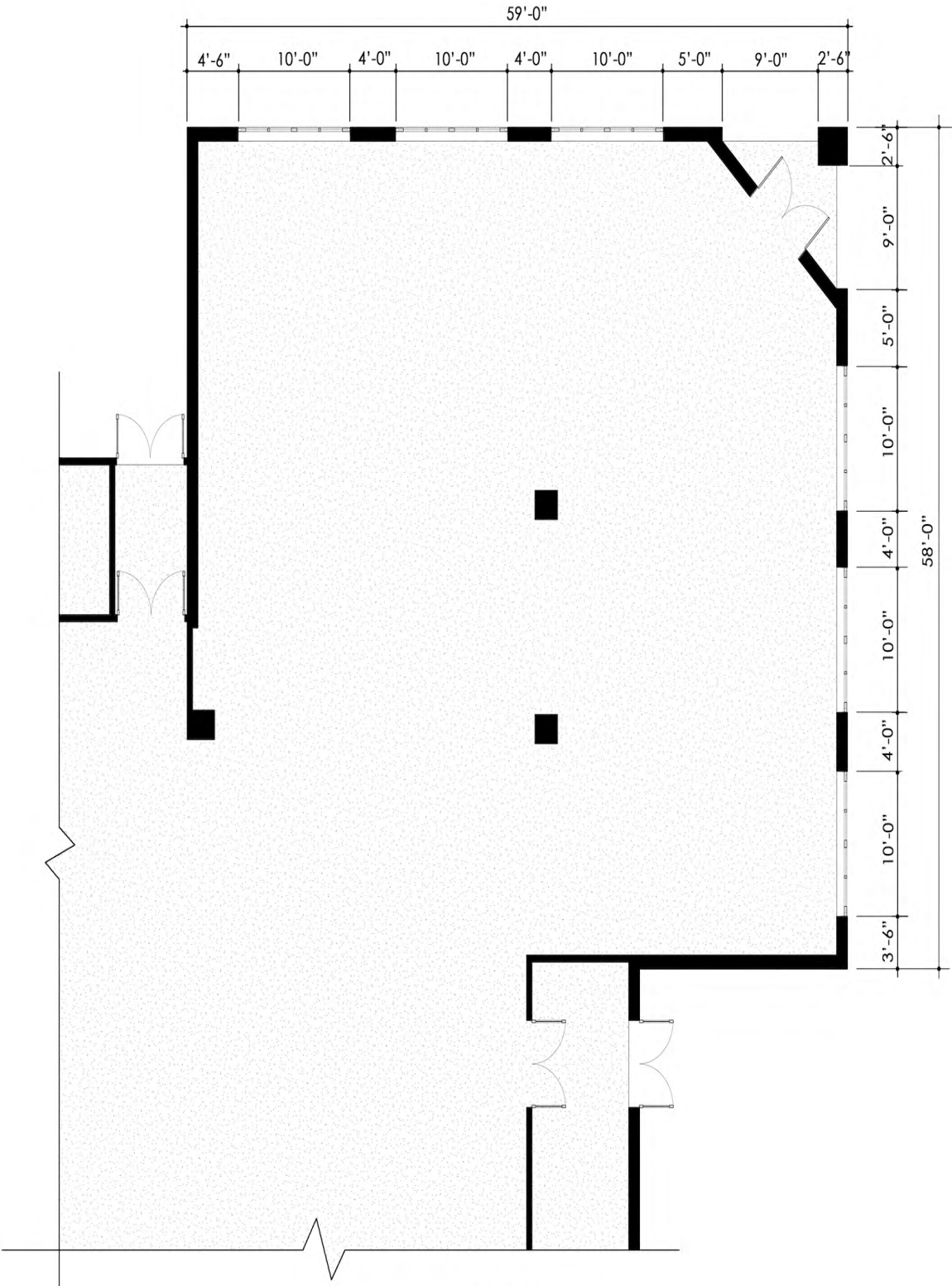
It is the intention of the owners that, what was formerly space occupied by a bank, they will convert to retail and as such, there is a need to open those spaces to the street. In addition, there will be French doors placed at the recessed area on the corner for egress and ingress from those spaces.

The intent is to maintain the same existing stucco color and finish as well as matching the existing door's and window's manufacturer (Pella), color and muntin patterns found on other portions of the building.

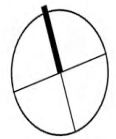
We believe transitioning the existing blank facades to ones with doors and windows will enhance the experience of pedestrians along the street and further the economic vitality of the area.

Regards,

Jon Dick, AIA



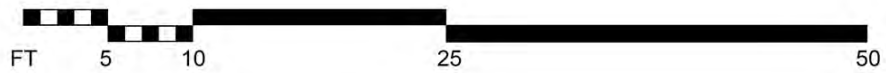
PARTIAL FLOOR PLAN
150 WASHINGTON





PROPOSED ELEVATIONS

10-31-22





MARCY ST

SPEED LIMIT 20





MARCY ST.

PERMIT TO EXCEED
SPEED
LIMIT
20



MAP
MAY 15
MAY 16
MAY 17
MAY 18
MAY 19
MAY 20
MAY 21
MAY 22
MAY 23
MAY 24
MAY 25
MAY 26
MAY 27
MAY 28
MAY 29
MAY 30
MAY 31

farmic

City of
Madison, WI
53707





LEGO

Banco Financiero Mexicano

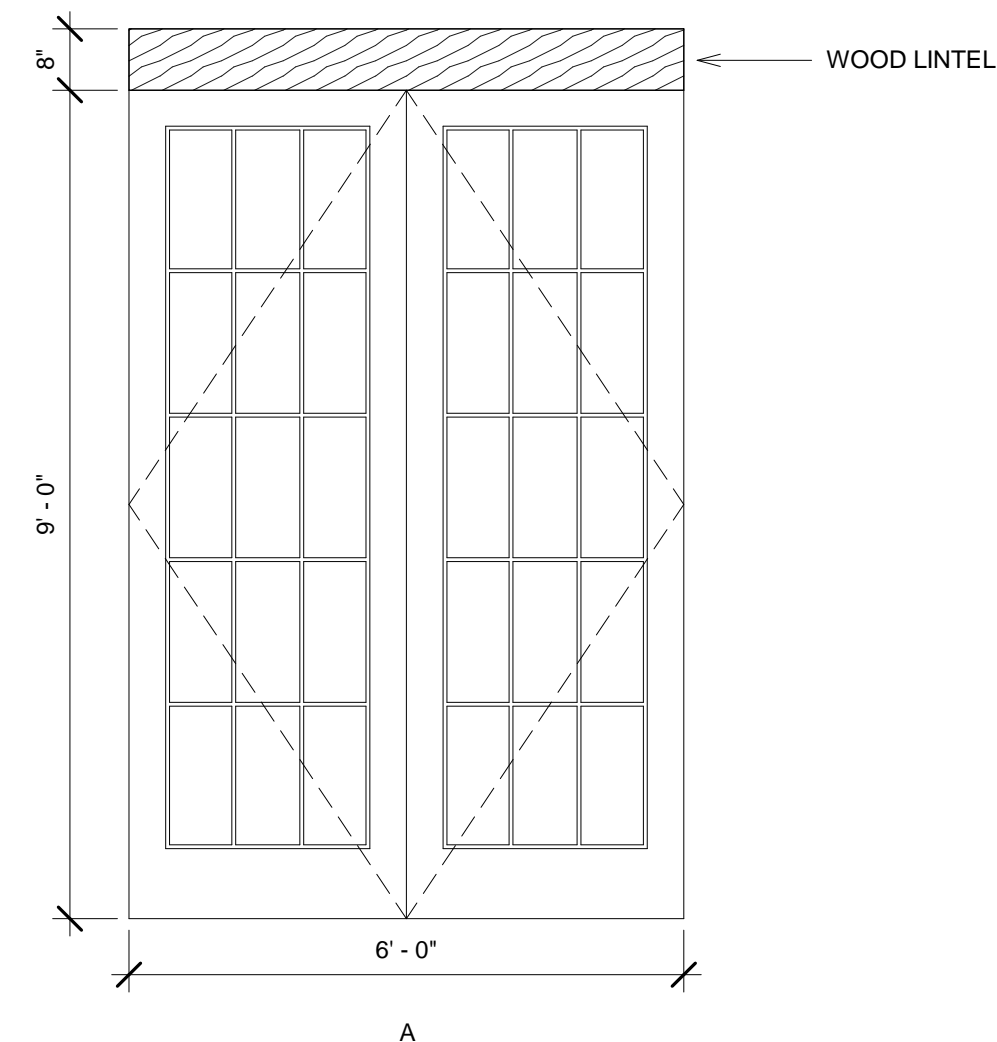
Regus

la boca

TEPUI

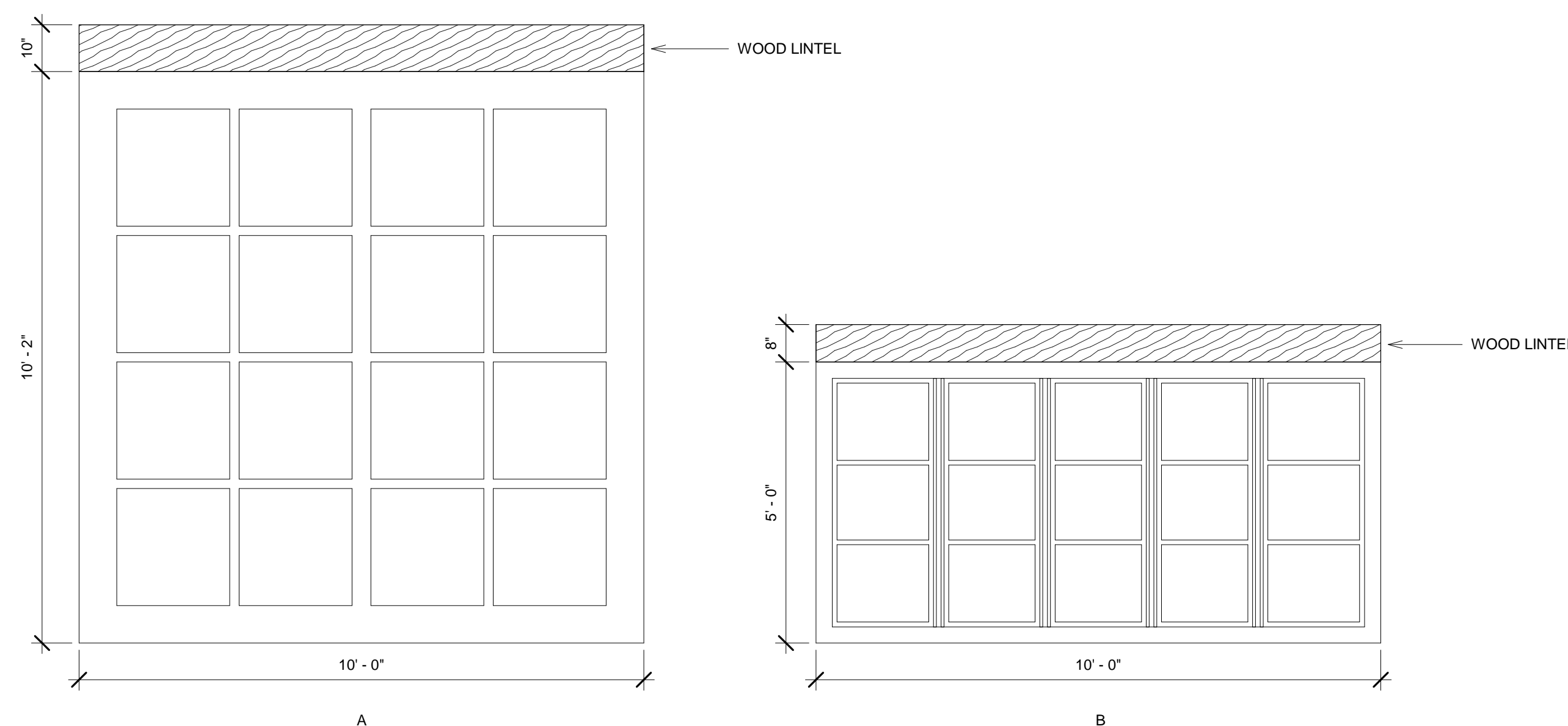
DOOR SCHEDULE								
DOOR NO.	ROOM NUMBER & NAME	ELEV TYPE	WIDTH	HEIGHT	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
1	100 - RETAIL	A	6' - 0"	9' - 0"	WOOD CLAD / GLASS	WOOD	ALUMINUM CLAD	EXTERIOR

WINDOW SCHEDULE						
WINDOW NO.	ELEV TYPE	WINDOW				
		ROOM NO. & NAME	WIDTH	HEIGHT	OPERATION	
1	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
2	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
3	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
4	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
5	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
6	A	100 - RETAIL	10' - 0"	10' - 2"	FIXED	
7	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
8	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
9	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
10	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
11	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
12	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
13	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	
14	B	100 - RETAIL	10' - 0"	5' - 0"	FIXED	



① DOOR ELEVATIONS
1/2" = 1'-0"

PELLA, RESERVE SERIES, ALUMINUM CLAD WOOD, COLOR: FROST BLUE TO MATCH EXISTING



② WINDOW ELEVATIONS
1/2" = 1'-0"

PELLA, RESERVE SERIES, ALUMINUM CLAD WOOD, COLOR: FROST BLUE TO MATCH EXISTING

CTO
 150 WASHINGTON AVE. SANTA FE, NM 87505

Project Number : 2206

Scale : 1/2" = 1'-0"

Date : 10.27.22

Drawing Title :
DOOR AND WINDOW SCHEDULE / TYPES

Sheet Number :

A-10.01



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005981--HDRB

Project Description: Add single car carport (connects to east yard wall)

Project Location(s): 492 ARROYO TENORIO
Santa Fe, NM 87505

Contacts:

Applicant: WILL MCDONALD
488 ARROYO TENORIO ST C
SANTA FE , NM 87505

will.wfd@gmail.com

Property Owner: Rob Johnson

rmjventures@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: TRUE Contributing: False Significant/Landmark: False

Primary Elevations: N/A

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory

Number: Year of Construction:

Project Type: Remodel **Historic**

Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005981-HDRB

Address: 492 Arroyo Tenorio Street
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other: Stain color sample

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

492 Arroyo Tenorio is a 2,285 square foot Spanish-Pueblo Revival building designated as non-contributing to the Downtown and Eastside Historic District. It has a flat roof and parapet. The original was built in the early 1900s and underwent extensive alterations including in 2003 and 2007. Its north street-facing façade is a series of additions and modifications that also included window replacement. It is near the Acequia Madre where it intersects with Garcia Street and Arroyo Tenorio. The house is enclosed by a tall front stucco yard wall and pedestrian gate with a slight arch.

Now, the applicant proposes the following exterior alterations:

1. Add a 213 square foot single-bay carport at the street of its north elevation to a height of 9' - 11," where the maximum allowable building height in this streetscape is 11'- 7." Proposed height is below the existing 11' parapet.
 - a. The carport's west posts will attach to the house's east courtyard wall (6' – 9") and extend east over one of the two existing parking spaces.
 - b. The carport will have wooden posts, a beam and vigas and be stained Cabot's semi-solid stain in chestnut brown.
 - c. The other parking space will remain open.

No other changes are proposed at this time.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 9/29/22	Property Owner of Record: Rob Johnson	492 Arroyo Tenorio
Applicant/Agent Name: Will McDonald	Contact Person Phone Number: 505-930-1149	Proposed Construction Description: Carport addition
Zoning District: RC-8	Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: Historic	TOTAL ROOF AREA: 2498 sf
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Supplemental Zoning Submittals Required for Building Permit: <input checked="" type="checkbox"/> Zero Lot Line Affidavit	Lot Coverage: 49 % <input checked="" type="checkbox"/> Open Space Required: 1143 sf
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Setbacks: Proposed Front: 7.5' Minimum: _____ 2 nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L 0 R _____ Minimum: _____
Terrain: <input type="checkbox"/> 30% slopes _____		Height: Proposed 9'-11" Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.		Parking Spaces: Proposed 2 Accessible _____ Minimum: 2
		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Will McDonald [] OWNER [] APPLICANT [] AGENT
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Will McDonald 9/29/22
SIGNATURE DATE

To Be Completed By City Staff: 2022-005948-PAR

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: *Lani J McCulley* DATE: 10/03/2022



505 930-1149
will.wfd@gmail.com
488c Arroyo Tenorio
Santa Fe New Mexico
87505

October 5, 2022

Angela Bordegaray
Historic Review
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504

RE:492 Arroyo Tenorio
Carport addition

Angela,

We request that the attached documents be reviewed by the Historic Districts Review Board at the meeting on Tuesday, November 8, 2022.

This residence at 492 Arroyo Tenorio is designated as a non-contributing structure in the Downtown and Eastside Historic District. The original residence was probably constructed in the 1950's. The building footprint shown on the 1985 plat, signed by city officials and recorded at the county, is significantly smaller than the present structure. The entire north street facing façade is a series of additions since that time. There is documentation of additions and modifications in 2003 and 2007. The building is in a pueblo style with a flat roof and parapets.

With this application we seek approval for the construction of a single car carport only. The carport will have a roofed area of 213 square feet and will be constructed over one of the two existing parking spaces on the east side of the property which fronts Arroyo Tenorio. The height of the carport will be 9'-11" measured from the existing brick parking surface whose height will not be changed. The structure will be wood with a modified bitumen roof and metal drip edge. There will be a girder with a bearing height of 8'-0" with vigas above that will be visible, extending beyond the girder.

Our intention is to create a structure that is simple in detail with a traditional style found in Santa Fe for portals and other shade structures. We believe that while this structure will function as a carport it will add some visual interest to this walled property in a dense neighborhood consistent with traditional building styles.

Please feel free to call or email me with any questions or comments about this application. I will be representing the project at the HDRB on behalf of the owner.

Sincerely,

A handwritten signature in blue ink that reads "Will McDonald".

Will McDonald



	GROSS AREA CALCULATIONS		TOTAL
	EXISTING	NEW	
HEATED AREA(=GROSS FLOOR AREA)	2285	0	2285
CARPORIT	0	213	213
PORTAL	0	0	0
TOTAL ROOFED	2285	213	2498
PRIVATE OPEN SPACE			1280
TOTAL ROOFED AREA WITH PROPOSED CARPORT			2498
LOT AREA			5054
LOT COVERAGE, roofed area percentage			49.4

**SITE PLAN
EXISTING FLOOR PLAN**

(02/21/2023) 11:48
www.walkingfish.com
488-888-8888
Santa Fe New Mexico 87507

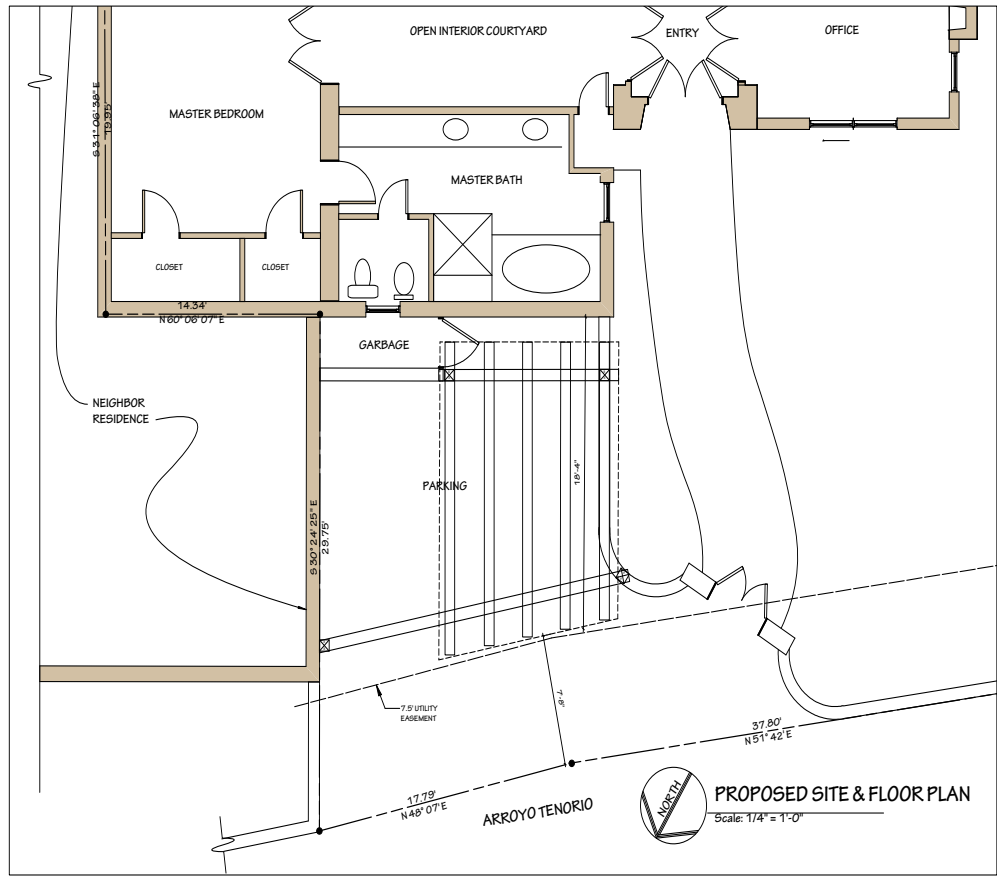


JOHNSON RESIDENCE
CARPORT ADDITION
492 ARROYO TENORIO
SANTA FE NEW MEXICO

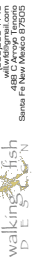
DATE: **9/29/22**
SHEET:

1

EXISTING SITE & FLOOR PLAN
Scale: 1/4" = 1'-0"

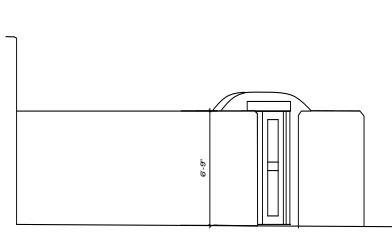


**PROPOSED FLOOR PLAN
 NORTH & SOUTH ELEVATIONS**



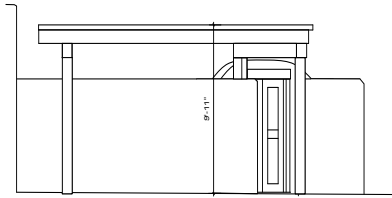
**JOHNSON RESIDENCE
 CARPORT ADDITION
 492 ARROYO TENORIO
 SANTA FE NEW MEXICO**

DATE: 9/29/22
 SHEET:



EXISTING EAST ELEVATION (PARTIAL)

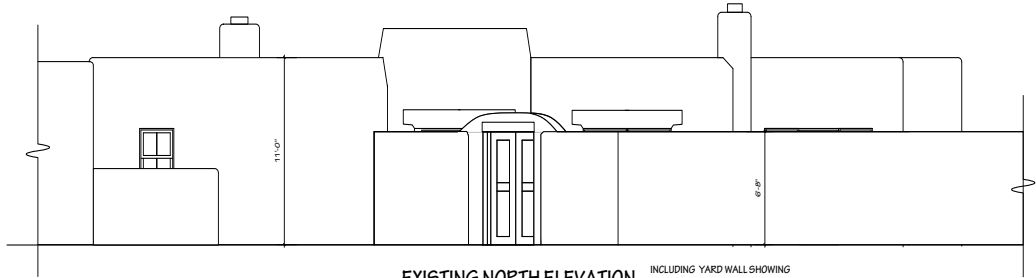
Scale: 1/4" = 1'-0"



PROPOSED EAST ELEVATION (PARTIAL)

Scale: 1/4" = 1'-0"

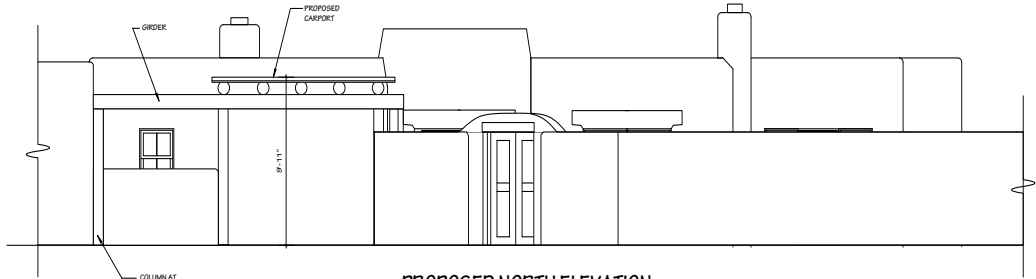
NOTE: THIS BUILDING HAS NO EAST ELEVATION DUE TO SHARED WALLS WITH RESIDENCE TO EAST



EXISTING NORTH ELEVATION

INCLUDING YARD WALL SHOWING STREET FACING APPEARANCE OF PROPERTY

Scale: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

Scale: 1/4" = 1'-0"



EXISTING WEST ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"



492 ARROYO TENORIO

STREETSCAPE FACING EAST



492 ARROYO TENORIO

STREETSCAPE FACING WEST



492 ARROYO TENORIO

NORTH FAÇADE-PARKING & GATE



EAST SIDE OF
YARD WALL

492 ARROYO TENORIO

NORTH FAÇADE-PARKING & GATE

NOTE: THE EAST SIDE OF THE YARD WALL IS THE ONLY EAST FAÇADE DUE TO SHARED EAST WALL WITH NEIGHBOR RESIDENCE



492 ARROYO TENORIO

NORTH FAÇADE



492 ARROYO TENORIO

NORTH FAÇADE-WEST PORTION



492 ARROYO TENORIO

WEST FAÇADE-NORTH PORTION

WEST FAÇADE
MIDDLE PORTION



492 ARROYO TENORIO

WEST FAÇADE
SOUTH PORTION

492 ARROYO TENORIO



SOUTH FAÇADE
WEST PORTION

492 ARROYO TENORIO





492 ARROYO TENORIO

SOUTH FAÇADE-EAST PORTION

EXTERIOR FINISHES

492 ARROYO TENORIO

STUCCO-NONE

**DOOR AND WINDOW
CLADDING -NONE**

EXPOSED WOOD
CABOT
SEMI-SOLID STAIN
COLOR: CHESTNUT BROWN





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-006017-HDRB

Project Description: Preliminary Facade Designations **Project**

Location(s): 600 Agua Fria Street, Santa Fe, NM 87501

Contacts:

Property Owner: Robbi Firestone robbifirestone@gmail.com

Applicant: CHRISTOPHER PURVIS architect@acp-art.com

518 Old Santa Fe Trail St1 PMB 373 Santa Fe N. M.
87501

Historic District: HD: Westside - Guadalupe

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: TRUE Significant/Landmark: False

Primary Elevations: TBD at Nov. 8th, 2022 Historic District Review Board Hearing

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: 1640 Year of 1997

Construction: Approx. 1936-37

Project Type: Primary Facade Designation to proceed historic window replacement.

Historic Building Name: N/A

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Ramon Sarason, Senior Planner, Historic Preservation Division

Case: 2022-006017-HDRB

Address: 600 Agua Fria Street
Historic Status: Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet
- Other: Façade diagram.

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends that the house be maintained as contributing and the north elevation (Façade 1) including the shed roof porch and the east façade (Façade 4) be designated as primary elevations.

BACKGROUND & SUMMARY:

600 Agua Fria Street is an approximately 1200 sq. ft. bungalow with a stucco exterior, a pitched roof, and a simple shed roof portal. The house is located on Agua Fria Street and directly south of Closson Street in the Westside-Guadalupe Historic District. It is a contributing property, and the applicant is requesting a primary elevation designation.

An Historic Cultural Property Inventory (HCPI) form is provided for the Board's review. The HCPI is from 1997. The house was built sometime between 1936 and 1937. It has been both a residential and a commercial property. Currently it is a commercial property, and the owners would like to return to a residential property.

The structure has a pitched roof with gable on the east and west. The roof material is asphalt shingle. The walls of the building are described as tile in the HCPI. It is possible that the walls are of pentile based on the age of the structure. In 1997, the property had a 15-lite, single-leaf wood door and this door remains today. The front porch is a shingled shed roof with (4) simple 6x6 inch square wood posts, painted Turquoise. The house is cement stucco in a brown color. The north and south facades retain their original windows

On the north façade the shed roof porch overhangs a 15-lite door and screen door, flanked by (3) panel windows each with (8) divided lites that are original to the building. (2) porch lights also flank the entrance door. A galvanized gutter and downspout to the shed roof porch appear recent.

On the west façade (Façade 2) (2) windows flank the chimney. To the south of these are (2) windows of differing sizes and depths of relief. Flue vent, gas meter, electrical meters, and roof gable are visible.

On the south façade (Façade 3) The back entrance door consists of a 15-lite door flanked by a (3) panel window each with (8) divided lites to the east and a window with (8) divided lites to the east. All appear original. The back porch is stepped with a stone and concrete landing. The elevation steps on the east portion and around the door at approximately 3' above grade about 8". A steel hatch to a crawl space is located to the west of the door. A galvanized gutter and downspout appear recent.

On the east façade (Façade 4) are (2) windows symmetrically placed and the roof gable is visible.

RELEVANT CODE CITATIONS:

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing

structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997

IDENTIFICATION	ADDRESS: 600 AGUA FRIA	OLD ID NUMBER: 0516 3597
	UTM REFERENCE EASTING NORTHING	SANTA FE ID NUMBER: 1640
	LEGAL DESCRIPTION: ZONE 12 13	BUILDING NAME:
FIELD MAP Santa Fe Historic Status Map 1996	TNSP 170 S RANGE 9 E W SEC 13 SE 1/4 SE 1/4	
DATE OF CONSTRUCTION: _____ ESTIMATE 1936-37 ACTUAL 36-37 TELE. DR.		
ARCHITECTURAL STYLE: BUNGALOW	PHOTO	
USE: HISTORIC: <u>residential</u> OTHER _____		
PRESENT: residential OTHER COMM'L ARCHITECTS' OFC.		
SURROUNDINGS: RESI/COMM'L		
RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR _____ NOT SIMILAR	SITE PLAN	
ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES _____ NO		
WHAT TYPE? RESI. IF INVENTORIED, LIST ID NUMBER(S) 2270, 2271		
DEGREE OF REMODELING: <input checked="" type="checkbox"/> MINOR _____ MODERATE _____ MAJOR	SIGNIFICANCE	LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES _____ NO _____ ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING _____ NON-CONTRIBUTING LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES _____ NO _____ ELIGIBLE LOCAL DESIGNATION: WSIDE-GUAD HISTORIC DISTRICT _____ SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING _____ NON-CONTRIBUTING LOCAL LANDMARK _____ YES <input checked="" type="checkbox"/> NO
EXPLAIN: SHED ADD'N, SOME WINDOWS REPLACED		
OVERALL CONDITION: _____ EXCELLENT <input checked="" type="checkbox"/> GOOD _____ FAIR _____ DETERIORATED		
BUILDING THREATENED? _____ YES <input checked="" type="checkbox"/> NO		

NE #22

SURVEYED **8/97** BY **GB**

NEGATIVES WITH NMHPD ROLL # **6B4** NEG # **22** TO **24, 27**

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1997 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516 13597
	600 AGUA FRIA	SANTA FE ID NUMBER: 1640
		SURVEYED/RESEARCHED DATE 8/97 BY CB



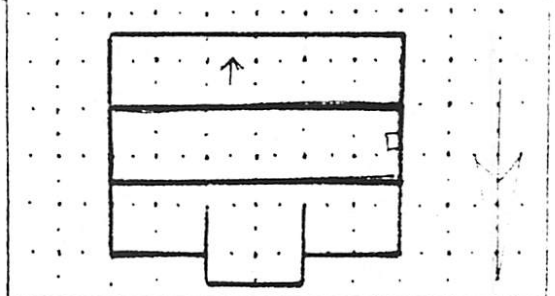
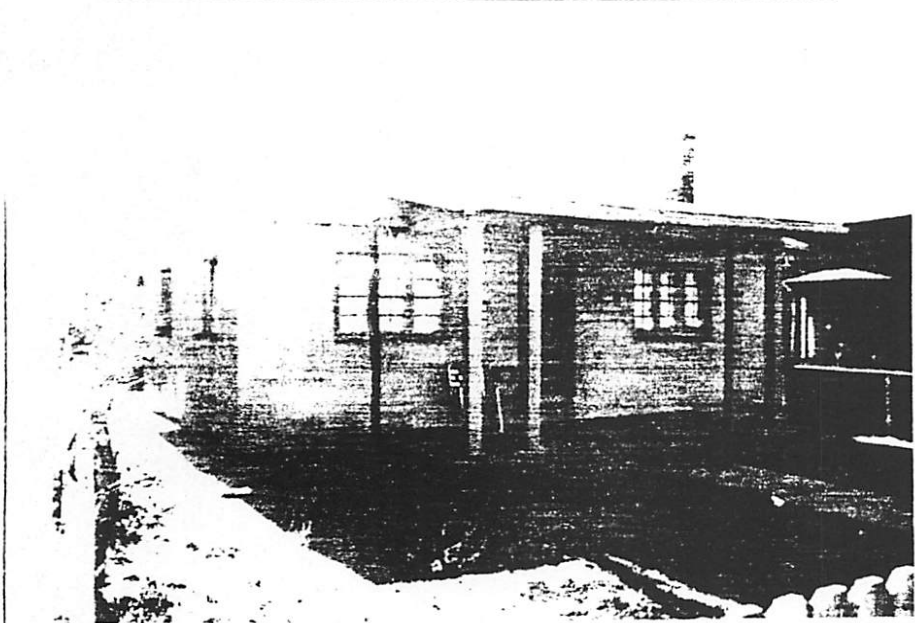
ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ADDITIONAL PHOTOGRAPHS

ROOFS & DRAINS	SIDE MED. GABLE W/ ASPH. SHINGLES, PTD. MTL GUTTER	
BUILDING WALLS	TILE	
FOUNDATIONS	NOT VISIBLE	APPROX. HEIGHT (FT.) 12'
DOORS	2 - 15' LT. SGL. LF. WD. DOORS	
WINDOWS	8 LF. CASEMENTS WD. - TRIPLE 4/4 D.H. WD. TAND/TRIPS 1 VI SLID. ALUM 2 SGL. CSMNT FLANK CHIMNEY	
PORCHES OR PORTALES	PAIRED COL. W/APPLIED TRIM @ CAP. & BASE - 6x6 BD. BRD. CLO.	
ARCHITECTURAL DETAILS	WD. TRIM SURROUND WDS SIMPLE STRUCTURE	
FENCES/WALLS	WIRE	
SITE FEATURES	"ENTRY" TO COMPOUND BEHIND W/ NEW INN W/ EXPOSED FL.	
OTHER/ COMMENTS	PARKING UNDER 2ND FLOOR ALLEY OF ROOMS - FABRIC OF NEIGHBORHOOD IS NOT SERVED BY THIS KIND OF PROJECT, ALTHOUGH NOT VISIBLE FROM A. FRIA.	



building threatened? yes	surveyed date 8/3/35 by HMW	county SANTA FE	ID no. 051613597
field map SFHD # ?	number 597	UTM reference zone 12 13	easting northing
location description 600 ASUT FRIA		city/town SANTA FE	
building name		land grant/reservation	
legal description twp ___ N S range ___ E W sec ___		plan shape	
film roll by 54 no. SFHD# 20	negative nos. 19	loc. of neg. HPB	



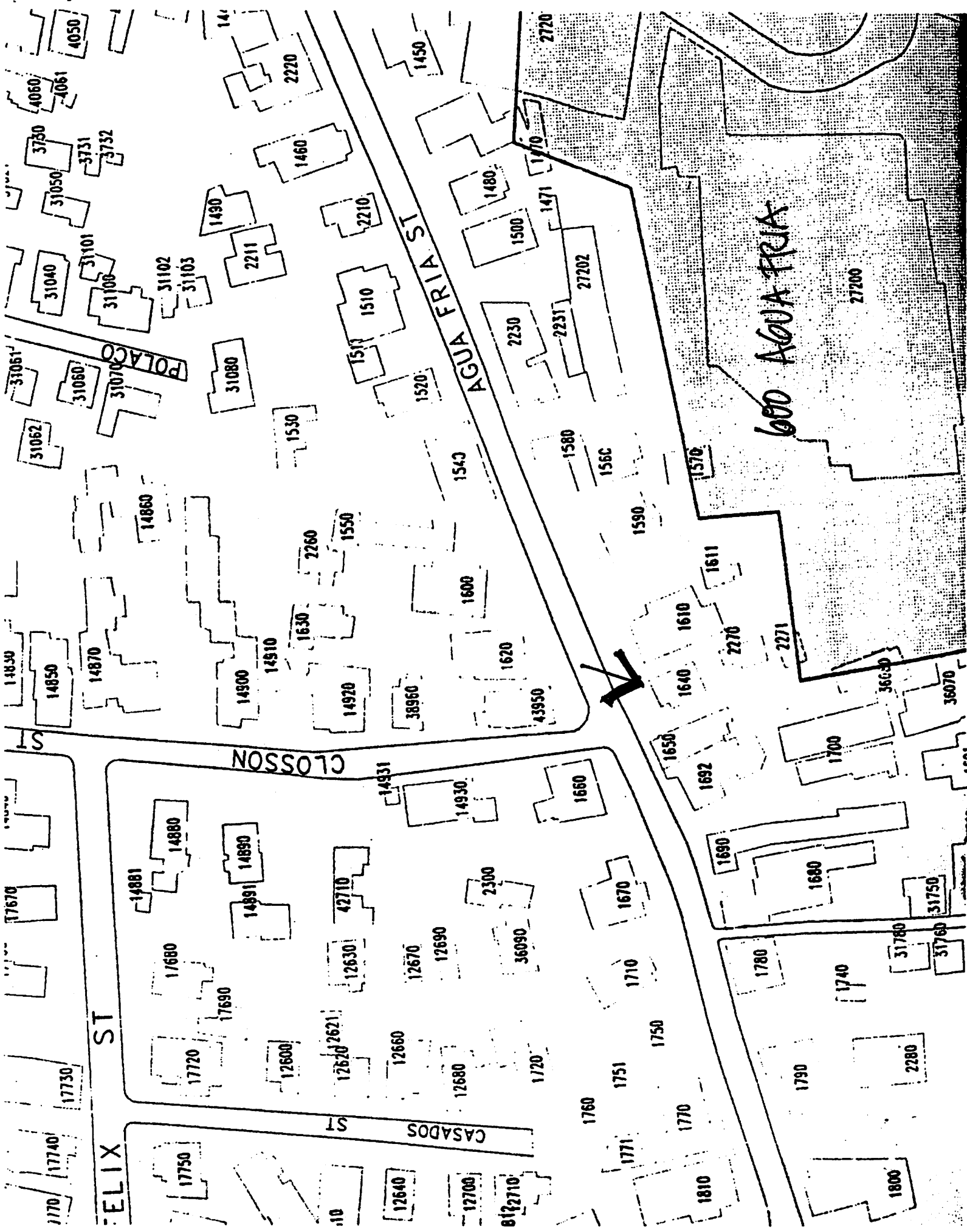
style BUNGALOW	foundation material CONC.
	wall material, surface ? FRAME ? / STUCCO

date of construction 1927-35 1927-35 estimate _____ actual _____
source S. F. DIR.
use present <u>residential</u> other _____ historic <u>residential</u> other _____
condition <input checked="" type="checkbox"/> excellent <input type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorating
degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major
describe:

architectural features SIDE GABLE ROOF, ASPEN SHINGLES.
8 LIGHT WIND CASHMETS TRIP.
4/4 D.H. TRIM / TRIPS. 1 1/2 SLID BLIND, 2 SOL CASHMETS
FLANK WIND.
2 15-LIGHT SOL LF WIND DOORS
REINFORCED CONCRETE SHEET PILING.

surroundings YES.
relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar
district potential <input type="checkbox"/> yes <input type="checkbox"/> no
significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none
if eligible, interest why? UNTHREATENED.

comments A GOOD LOWEST BUNGALOW, INTACT.
associated buildings? _____ yes what type?
if inventoried, list ID nos.
see back? _____ yes



ELIX ST

CASADOS ST

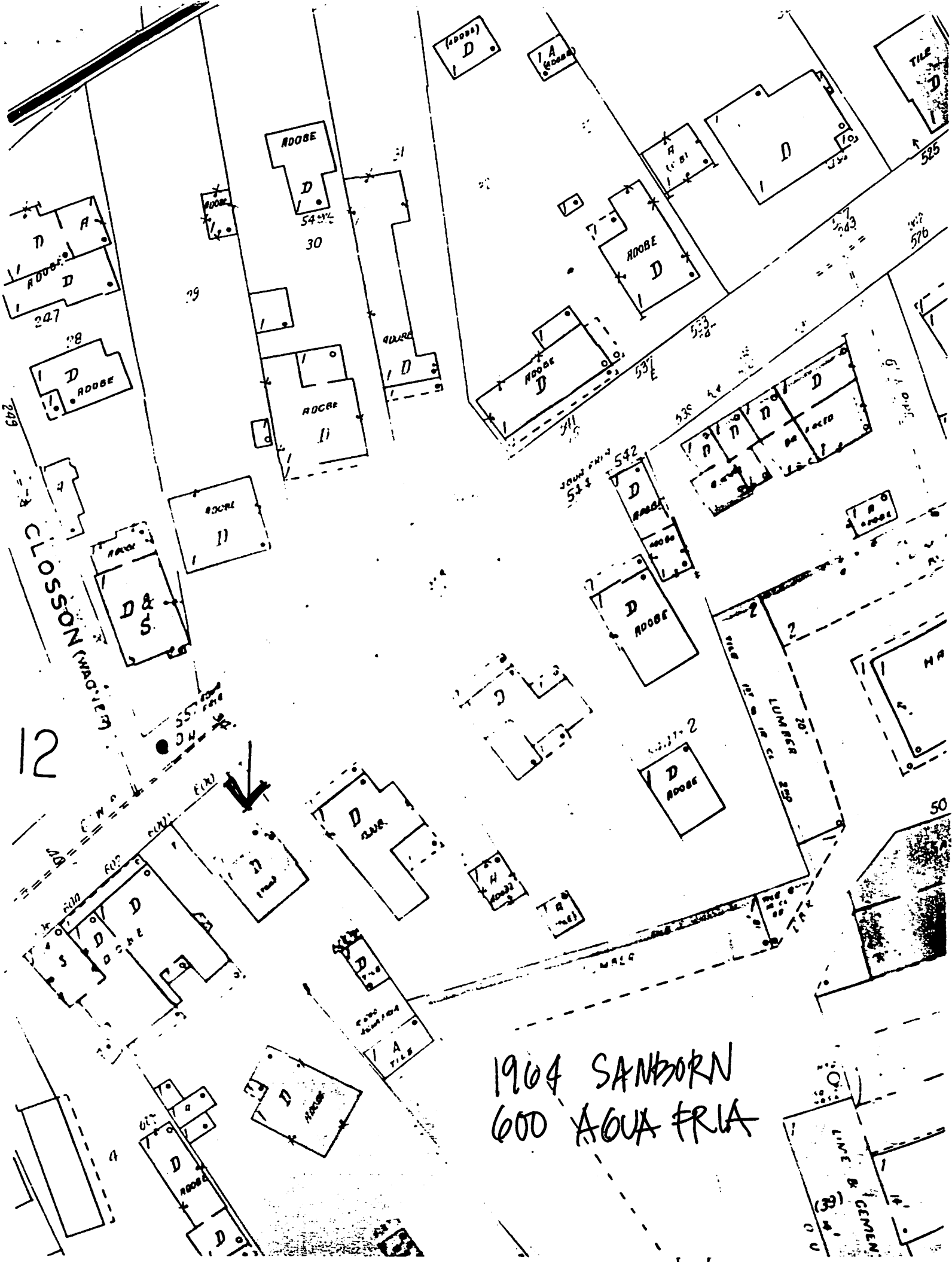
CLOSSON ST

POLACO ST

AGUA FRIA ST

600 AGUA FRIA

- 1770, 17740, 17730, 17670, 17720, 17680, 17690, 17750, 17730, 17600, 17620, 17621, 17630, 17660, 17680, 1770, 1771, 17751, 1770, 1810, 1780, 1790, 1740, 2280, 1800, 1780, 1740, 31780, 31760, 31750, 1660, 1690, 1650, 1692, 1640, 1610, 1611, 2270, 2271, 36630, 36070, 1601, 1660, 1670, 1670, 1710, 1750, 1760, 36090, 2300, 14930, 14930, 1660, 14931, 14881, 14880, 14890, 14891, 12630, 42710, 12670, 12690, 12680, 12660, 1720, 1120, 12640, 12700, 812710, 14870, 14850, 14830, 14860, 31062, 31061, 31060, 31070, 31040, 31050, 31101, 31100, 31102, 31103, 31080, 14860, 14900, 14910, 14920, 38960, 43950, 1620, 1600, 1540, 1520, 1530, 2260, 1550, 1580, 1560, 1590, 1570, 1580, 1580, 2230, 2231, 27202, 1470, 1471, 1470, 2770, 1450, 1460, 2220, 2210, 2211, 1490, 2211, 1460, 2220, 4060, 4061, 4050, 3730, 3731, 3732, 144



12

1904 SANBORN
600 AQUA FRIA

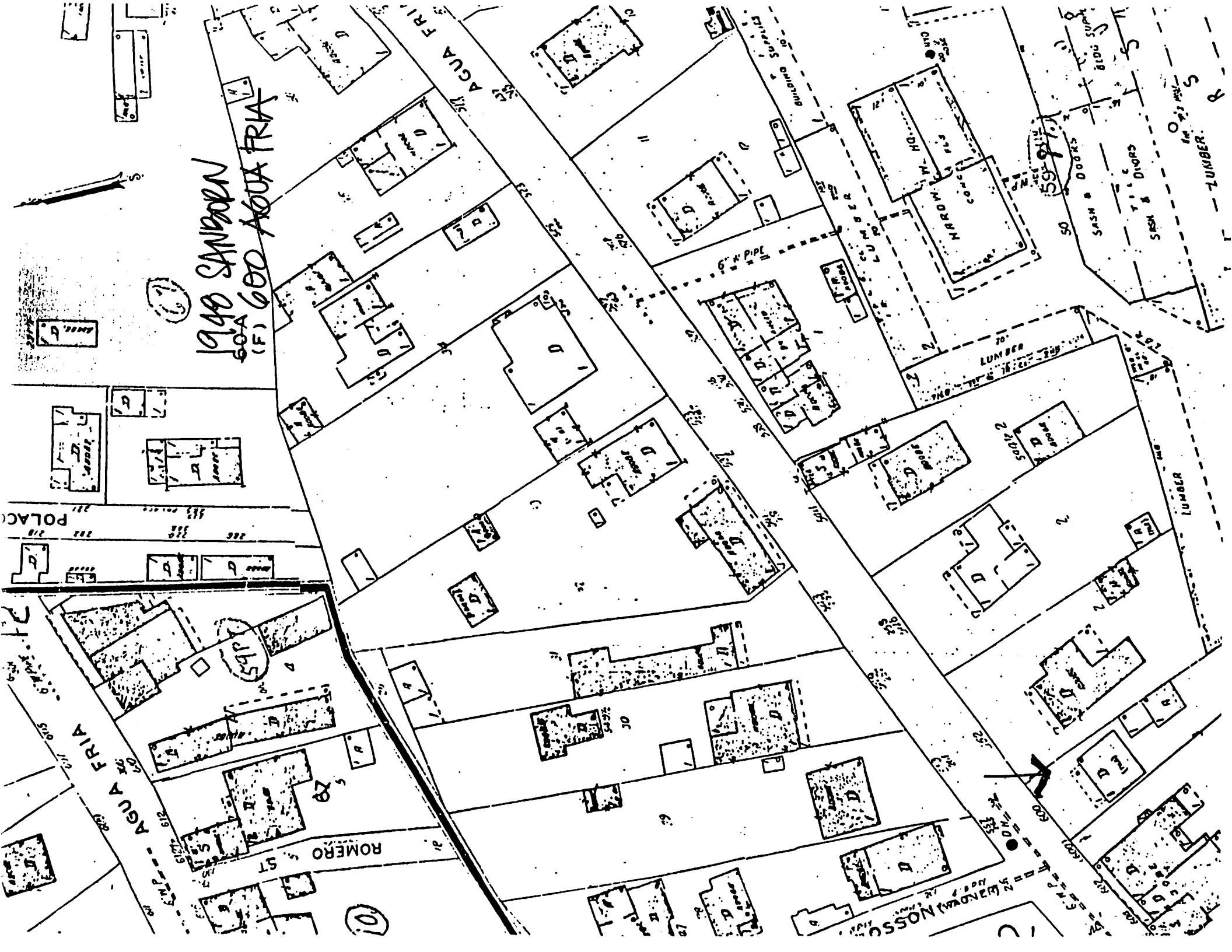
(39)
LINE B. CEMENT

1940 SANBORN
60A 600 AGUA FRIA

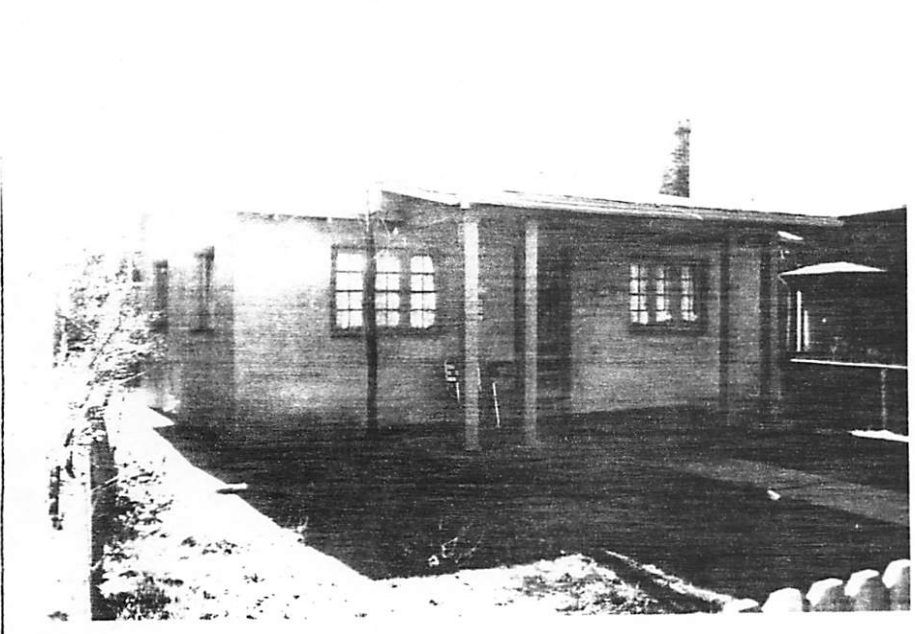
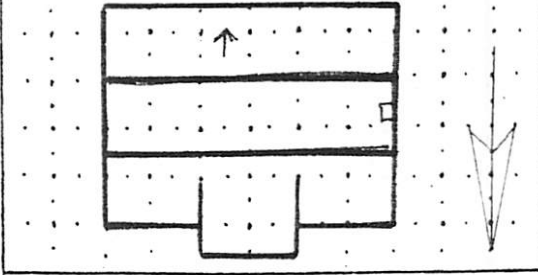
(67)

(59)

(59-97)



building threatened? yes	surveyed date 8/3/85 by HMW	county SANTA FE	ID no. 051613597
field map SFHD # 7	number 597	UTM reference zone 12 13	easting northing
location description 600 AGUA FRIA		city/town SANTA FE	
building name		legal description tensp N S range E W sec	
film roll by SL no. SFHD# 20	negative nos. 19	loc. of neg. HPB	plan shape



date of construction 1927-35 1927-35 estimate _____ actual _____
source S. F. DIR.
use present <u>residential</u> other _____
historic <u>residential</u> other _____
condition <input checked="" type="checkbox"/> excellent <input type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorating
degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major
describe:

style BUNGALOW	foundation material CONC.
	wall material/surface ? FRAME ? / STUCCO

architectural features SIDE GABLE ROOF, ASPEN SHAKES.
8 LIGHT WID. CASNETS, TRIP.
4/4 DIT. HANDL TRIPS. 1 1/1 SLID ALUM, 2 SOL CASNET
FLANK WIM.
2 15" LIGHT SOL LF WID DOORS
ENCLOSED REAR SHED ADD.

surroundings RES.
relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar
district potential <input type="checkbox"/> yes <input type="checkbox"/> no
significance <input type="checkbox"/> eligible <input checked="" type="checkbox"/> of <input type="checkbox"/> none
if eligible, interest why? UNTRIB.

comments A GOOD, LOWEST BUNGALOW, INTACT.

associated buildings? <input type="checkbox"/> yes what type?
if inventoried, list ID nos.
see back? <input type="checkbox"/> yes

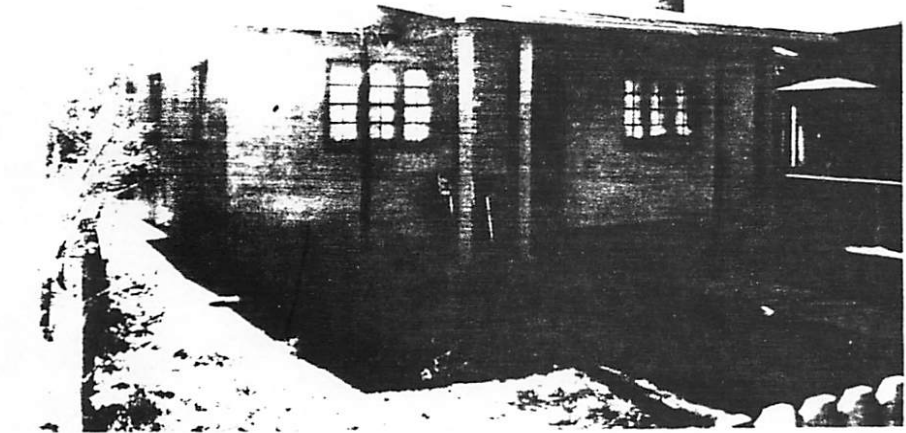
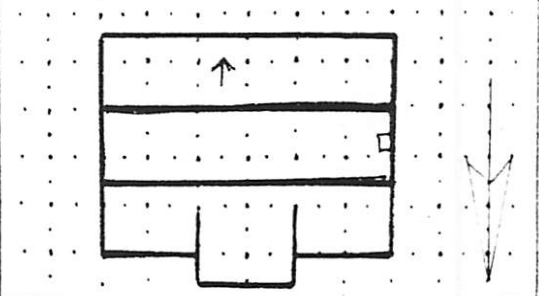
building threatened? yes	surveyed date 8/3/55 by HMW	county SANTA FE	ID no. 051613597
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field map SFHD # 7	number 597	UTM reference zone 12 13	easting northing
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location description 600 AGUA FRIA	city/town SANTA FE
land grant/reservation	

building name	legal description tnsp ___ N S range ___ E W sec ___
---------------	---

film roll by 54 no. SFHD# 20	negative nos. 19	loc. of neg. HPB	plan shape
---------------------------------	---------------------	---------------------	------------



date of construction
1927-35
~~1927-35~~ estimate ___ actual ___

source
S. F. DIR.

use
present residential
other ___
historic residential
other ___

condition
 excellent ___ good
 fair ___ deteriorating

degree of remodeling
 minor ___ moderate ___ major
describe:

style
BUNGALOW

foundation material
CONC.
wall material, surface
? FRAME ? / STUCCO

architectural features
SIDE GABLE ROOF, ASPEN SHINGLES.

8 LIGHT W/ CASNETS, TRIP.

4/4 D.H. TAND/ TRIPS. 1 1/1 SLID ALUM, 2 SOL CASNET

FLANK W/IN.

2 15-LIGHT SOL LF W/ DOOR

ENCLOSED REAR SHED ADD.

comments
A GOOD, LOWEST BUNGALOW, INTER.

surroundings
RES.

relationship to surroundings
 similar ___ not similar

district potential
 yes ___ no

significance
 eligible of ___ none

if eligible, interest
why? CONTRIB.

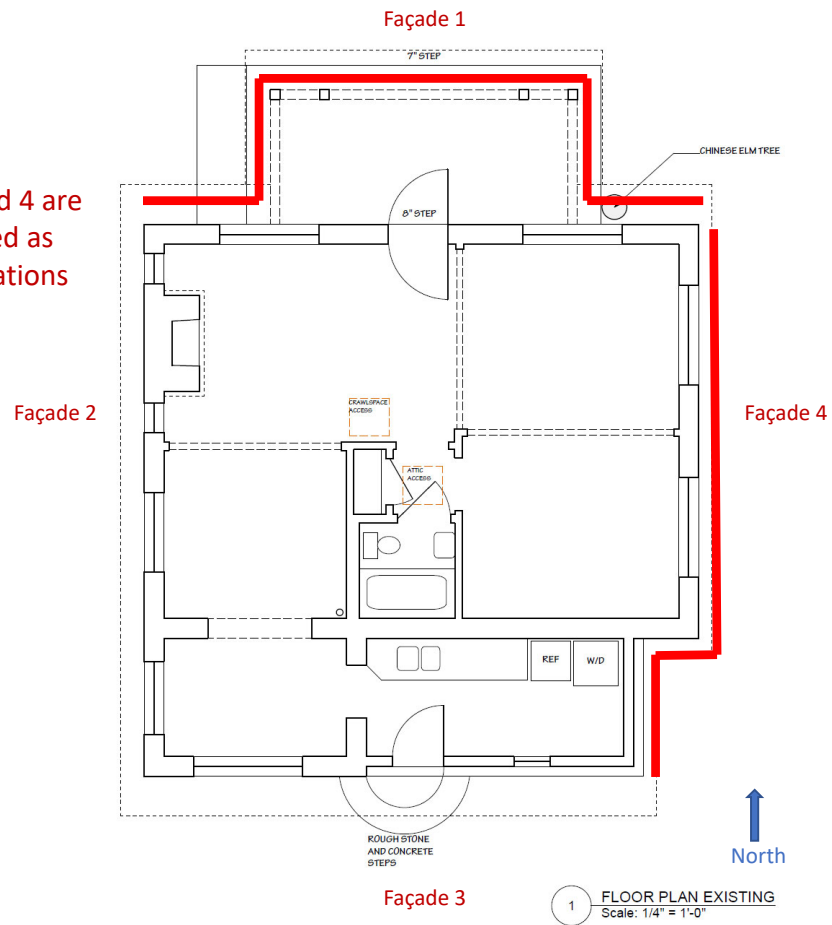
associated buildings? ___ yes
what type?

if inventoried, list ID nos.

see back? ___ yes

Façade Map

Façades 1 and 4 are recommended as Primary Elevations



A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board
City of Santa Fe
City Hall
Santa Fe NM 87501

Monday, October 10, 2022

RE: 600 Agua Fria

Enclosed (1) 24"x36"

A-1 SITE PLAN Existing 10-10-22

A-2 FLOOR PLAN & ELEVATIONS Existing 10-10-22

Application

Photos of Elevations

Dear Ramon Sarason and Members of the Historic Districts review Board

We hereby request your review and designation of the primary elevation to the contributing front building at 600 Agua Fria. The building has been in its existing form for decades however as you can tell from the HCPI's some of the windows have been changed.

Please call if you have any questions on the project 982-5461

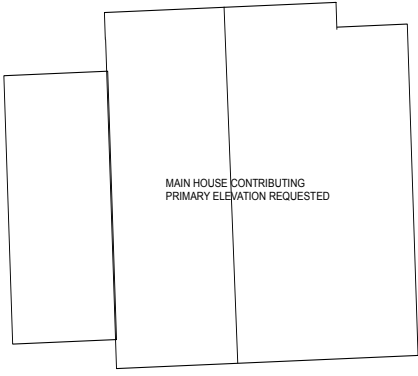
Sincerely,



Christopher Purvis.

S 75°37'42" W
1095'
N 64°44'46" E
3394.2'

MAIN HOUSE 1000 SQFT
 CASTA 396 SQFT
 STUDIO 566 SQFT
 TOTAL ROOFED 2962 SQFT
 LOT SIZE 5283 SQFT
 LOT COVERAGE 39.6%
 WESTSIDE GUADALUPE DISTRICT
 FRONT BUILDING CONTRIBUTING
 TWO REAR BUILDINGS NON CONTRIBUTING
 ZONING BCDWES



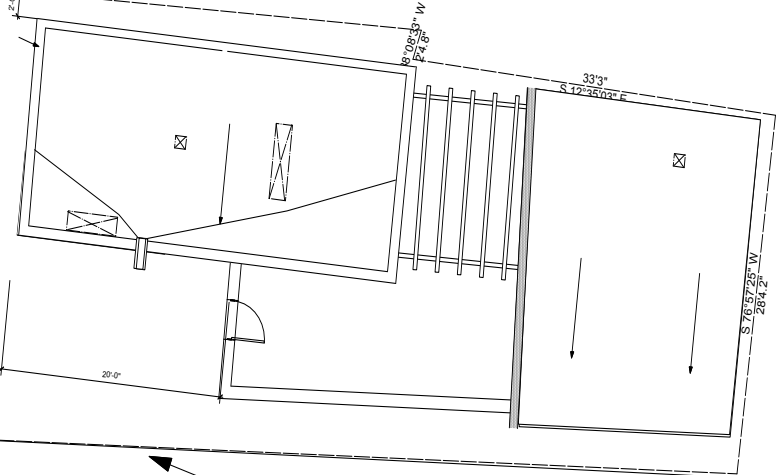
5283.251 sq ft



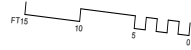
WALL NEW
 WALL EXISTING

1227.32'
 S 15°24'10" E

N 17°55'02" W
 147.6'



NORTH



1 SITE PLAN EXISTING
 Scale: 3/16" = 1'-0"

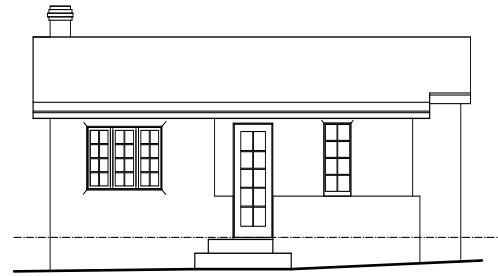
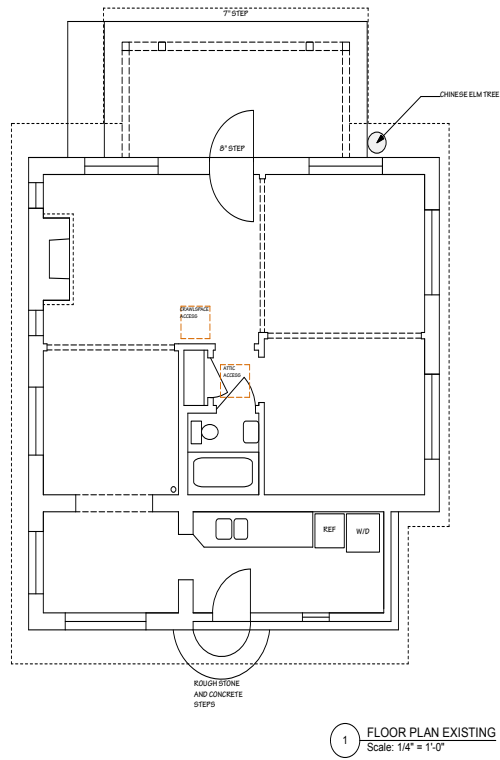
FIRESTONE REMODEL
 600 AGUA FRIA
 SANTA FE, NEW MEXICO

A. CHRISTOPHER PURVIS ARCHITECTS
 518 Old Santa Fe trail S11 PMB 373
 Santa Fe New Mexico 87505 Tel 505 982 5461
 E Mail Architect@ACP-ART.com

HDRB 10/10/22

A-1

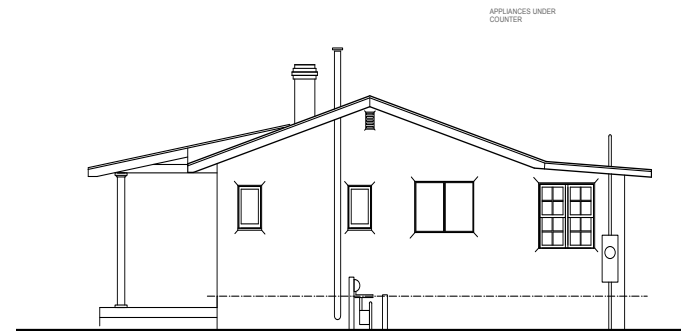
JOB NO. 3822



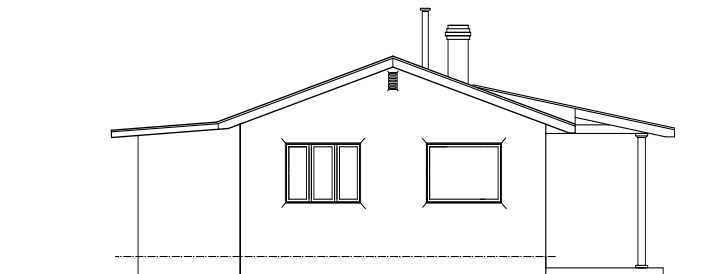
1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



1 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"





1 WEST ELEVATION
Scale: 1:80



2 EAST ELEVATION
Scale: 1/8" = 1'-0"

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005993-HDRB

Address: 518 and 518 ½ Calle Corvo
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Previous HDRB and administrative
cases: H-17-018 A; H-17-018 B; 3
Administrative approvals ; meeting minutes

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval except for replacement of the (front) north elevation doors and screen doors without documentation that the door and screen doors are not historic. Otherwise, staff recommends approval of the application and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

518 and 518 ½ Calle Corvo consists of a main house, guesthouse, and a detached garage. All three structures were built in the 1940s in the Spanish Pueblo Revival style. All structures are designated as contributing to the Downtown and Eastside Historic District. The property has its original low stuccoed yard wall. The yard wall was not included in the status designation case. Calle Corvo intersects with Garcia Street and curves east and connects to Acequia Madre at Acequia Madre Elementary School.

In a 2017 case (H-17-088), the board designated primary facades for each of the three structures. The north elevations of the main house and of the garage were designated primary. The west elevation of the guesthouse was designated as primary. In the 2017 board case, the applicant received approval to add a portal onto the north (primary) elevation of the main house. Current windows and some exterior doors on both residences were installed in the 1980s. The applicant has received three administrative approvals since for additional alterations.

Now, the applicant proposes to:

1. Replace existing white metal horizontal slider windows with new divided lite pattern single-hung white metal windows on all elevations.
2. Replace all exterior wood doors with new wood doors and frames. Doors with windows will have divided lites including on primary facades of the main and guesthouse, north and west facades respectively. Doors will have natural wood finish sealer.
3. Replace exterior screen doors on three facades. Existing screen doors vary in their wood designs and appear historic. Replacement screen doors will be new wood screen doors matching the frame pattern of the existing doors and frames painted white.
4. Add a screen door at the west-facing exterior door of the main residence that does not currently have a screen door.
5. Modify window openings where needed to comply with building code egress .
6. Repair and patch stucco and re-stucco all three building and yard walls. New stucco will be cementitious El-Rey's Fawn; current stucco is similar to El Rey's Straw color.
7. Re-paint the same color existing wood gates, fencing and garage door, which is light green.

Building threatened by changed 12-12-85 by mb county Santa Fe file no. 051611651 H629
 number 518-6-1651 UTM reference zone 12 13 easting northing

location description 518 Corvo city/town Santa Fe
 land grant/reservation

building name legal description
 map N S range E W sec
 file no. 23 repetitive nos. 8 type of Reg. DRG plan shape



date of construction P estimate actual
 source

style foundation material
 wall material/surface

use
 present residential
 other
 historic residential
 other
 condition
excellent good
fair deteriorating
 degree of remodeling
minor moderate major
 describe

architectural features

surroundings R-2
 relationship to surround.
similar not similar
 district potential
yes no
 significance
eligible of X none
 if eligible, interest
 why?

comments

associated buildings? Yes
 what type? Garage
 if inventoried, list ID nos.

 see back? yes



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 10 - 5 - 2022		518 and 518 1/2 Calle Corvo
Property Owner of Record: N. Abruzzo Holdings LLC	Proposed Construction Description:	
Applicant/Agent Name: William Kleinschmidt, Architect	Re-stucco exterior building walls and yard walls, replace windows and exterior doors, in-fill two window and one door opening with solid wall, replace a 6' coyote fence and wood gates with a new 6' masonry wall and new wood gates (stucco finish on wall), install 4 new exterior wall sconces on	
Contact Person Phone Number: (505) 761 - 0000	TOTAL ROOF AREA: new wall, re-stain exterior woodwork, columns, beams, corbels.	
Zoning District: <u>RC-8</u>	Lot Coverage: <u>34.2 %</u> 6,201 s.f. lot area 2,119 s.f. roof coverage	<input checked="" type="checkbox"/> Open Space Required: <u>500 s.f.</u> (250 s.f. per dwelling)
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks:	
Submittals Reviewed with PZR:	Proposed Front: <u>18'</u> Minimum: <u>7'</u> 2 nd Front? _____	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Proposed Rear: <u>8'/11'</u> Minimum: <u>5'</u> Proposed Sides: L <u>5'/3'-9"</u> R <u>0'/16'-5"</u> (existing building setbacks)	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Height: Proposed <u>12'-1" / 11'-3"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Parking Spaces: Proposed <u>3</u> Accessible _____ Minimum: <u>3</u>	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Terrain: <input type="checkbox"/> 30% slopes _____		

* Requires an additional review conducted by Technical Review Division.

** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

William Kleinschmidt

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

William Kleinschmidt, Architect

10 - 5 - 2022

SIGNATURE

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: _____ DATE: ___/___/___

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

October 5, 2022

Proposal Letter - Proposed Scope of Work

518 and 518 1/2 Calle Corvo Exterior Improvements

Owner: Nancy Abruzzo, N. Abruzzo Holdings LLC

Applicant: William Kleinschmidt, Architect

Background

1. The property consists of a main residence (518), a guest residence (518 1/2) and a free-standing garage.
2. Floor areas:
 - a. Main residence – 1,050 s.f.
 - b. Guest residence – 606 s.f.
 - c. Garage – 260 s.f.
3. All three structures are designated as contributing to the Downtown and Eastside Historic District.
4. The buildings were constructed in the 1940's in the Spanish Pueblo Revival style.
5. Current windows and exterior doors on both residences were installed in the 1980's. The garage door is original from the 1940's.
6. In 2017, the HDRB designated the following elevations as primary:
 - a. Main residence (518) – north elevation
 - b. Guest residence (518 1/2) – west elevation
 - c. Garage – north elevation.

Previous HDRB Actions for this Property

1. **H-017-018B**, HDRB approval on 4-11-2017 to:
 - a. Add portal on north (primary) elevation of main residence (exceptions met)
 - b. Enclose an existing carport between residences (carport was not enclosed and has been removed)
 - c. Add a door on east elevation of garage (door has not been installed)
 - d. Resurface driveway (completed)
 - e. Patch stucco on buildings and yard walls (completed)
2. **Administrative Approval 1**, 5-18-2017 to:
 - a. Replace existing window on east garage wall with a door (not completed)
 - b. Replace coyote fence with wood gates (not completed)
3. **Administrative Approval 2**, 6-3-2019 to:
 - a. Install HVAC unit and ductwork on roof of main residence (completed)
4. **Administrative Approval 3**, 6-18-2019 to:
 - a. Complete the work approved in H-017-018B in phases with the portal on the north elevation of main residence to be completed first and other approved work to follow.

New Proposed Scope of Work – All Buildings

1. Stucco repair and new color coat (on all buildings and yard walls as shown on plan and elevations): Repair cracked or defective existing stucco surfaces, patch stucco around door and window openings, patch stucco at in-filled door or window openings, prepare surfaces for new color coat, and install new cement stucco color coat.
2. New stucco color (all buildings and yard walls): El-Rey #117, Fawn (color chart attached). Existing stucco color is similar to El-Rey #122, Straw.
3. Existing painted wood gates, fencing and garage door: Existing light green opaque paint color to remain as is.
4. Replace all exterior doors: Replace existing wood doors/frames (white color) with new wood doors and glass divided lites (30" lite standard), see detail in drawings for look of door. Doors to have natural wood finish sealer.
5. Replace/add exterior screen doors: Replace three screen doors with new wood screen doors matching the frame pattern of the existing doors (frames painted white). Add a screen door at the west-facing exterior door of the main residence that does not currently have a screen door.
6. Replace all windows: Replace existing metal (white color) horizontal slider windows with new divided lite pattern single-hung metal windows (white color). Windows will meet the 30" lite standard. New windows generally the same size as the existing windows. See exterior elevations for look of window and divided lite pattern. Modify window openings where needed to comply with building code egress requirements at bedrooms.

Additional Proposed Scope of Work – Main Residence (518 Calle Corvo)

1. Exterior wood - beams, corbels and columns: Existing brown stain to remain as is.
2. Exterior steps, decks and handrails: Existing composite wood deck and steps at house entry portal (north side) to remain as is (brown color). Existing wood steps/landing at west side to be replaced with composite wood steps/landing to match entry deck finish (brown color). Existing steel pipe handrails to be replaced with decorative wrought iron railings (natural wrought iron finish) as shown on the drawings.
3. In-fill door and window openings: Remove one window on east elevation and one door on south elevation and infill wall openings with wood stud framing. Install new cement stucco base coat over metal lath at in-filled walls and finish with new stucco matching color noted above.

Additional Proposed Scope of Work – Guest Residence (518 1/2 Calle Covo)

1. Exterior wood - beams, corbels and columns: Strip existing grey stain and replace with new brown stain to match color of main residence woodwork.
2. In-fill window opening: Remove one window on north elevation and infill wall opening with wood stud framing. Install new cement stucco base coat over metal lath at in-filled wall and finish with new stucco matching color noted above.
3. Replace coyote fence and gates with new yard wall and gates: New yard wall 71' behind front property line. Remove existing 6' coyote fence and weathered wood gates separating the courtyard from the driveway. Install a new 6' tall, 6" thick concrete block yard wall with decorative carved wood gates in a slightly different layout from the original coyote fence (see plan). Yard wall to be finished with cement stucco to match the new color stucco coat on the buildings. Carved wood gates to be reclaimed, traditional-look gates with clear sealer on the natural wood. Install a timber beam above the gate opening as shown on the wall/gates elevation detail in the plans, brown stain color to match stained woodwork on building. Gates metal hardware to be traditional, weathered.
4. Exterior lighting (on new yard wall): Install new exterior wall sconces on both sides of the new yard wall gates (on both sides of the wall for a total of 4 fixtures). Photo of new fixture is attached. See wall/gates elevation detail and floor plan for location of new lights.

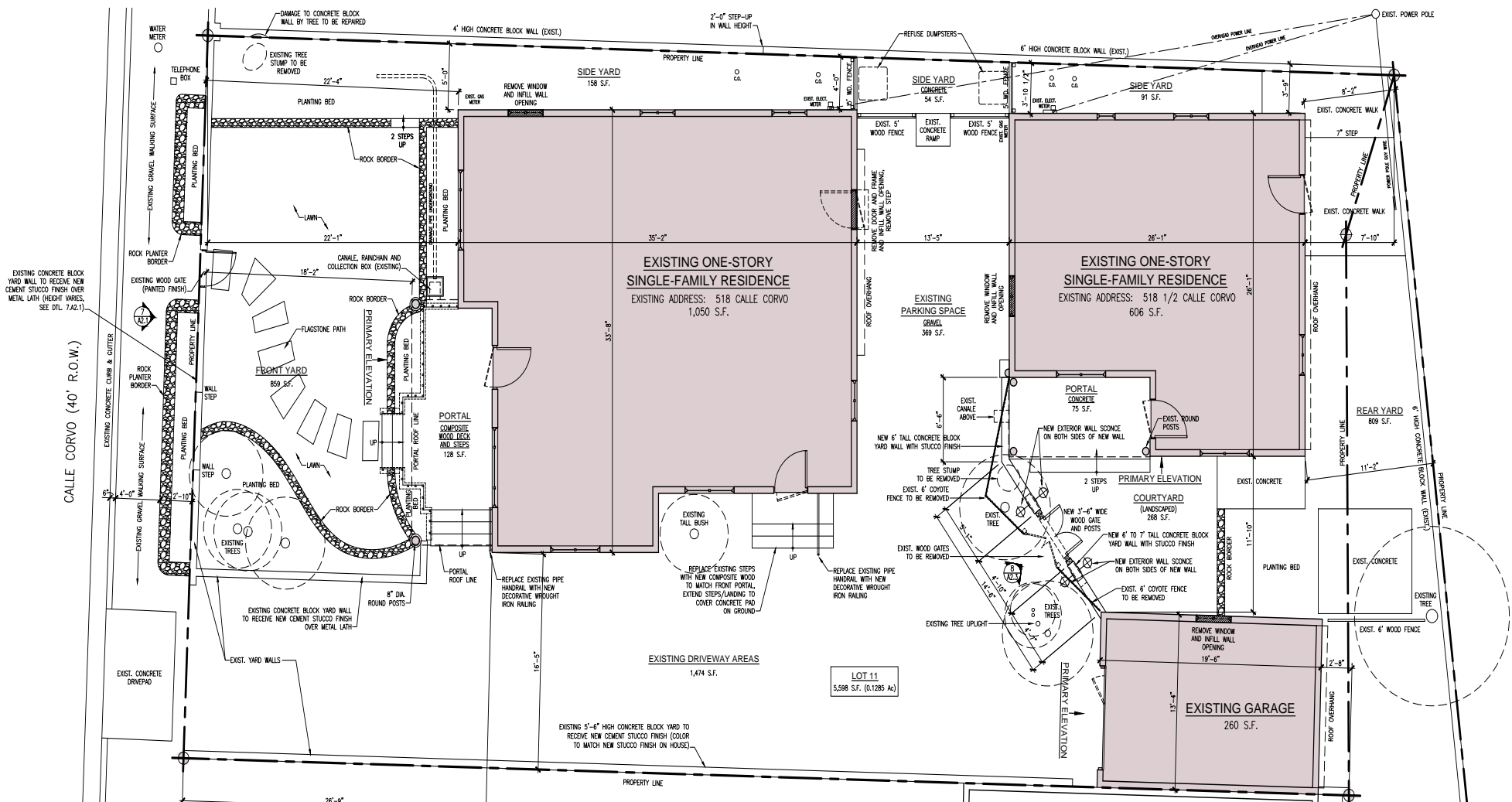
Additional Proposed Scope of Work - Garage

1. Exterior lighting: Replace the solar light fixture above the garage door with a wall sconce fixture matching the exterior lights on the residences.
2. In-fill window opening: Remove one window on east elevation and infill wall opening with wood stud framing. Install new cement stucco base coat over metal lath at in-filled wall and finish with new stucco matching color noted above.

Thank you for your consideration of these proposed property upgrades.

Bill Kleinschmidt
William Kleinschmidt, Architect
Santa Fe, New Mexico

505-761-0000
bill@wk-architect.com



EXISTING CONCRETE BLOCK YARD WALL TO RECEIVE NEW CEMENT STUCCO FINISH OVER METAL LATH (HEIGHT VARIES, SEE DTL. 7.A2.1)

CALLE CORVO (40' R.O.W.)

EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE
EXISTING ADDRESS: 518 CALLE CORVO
1,050 S.F.

EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE
EXISTING ADDRESS: 518 1/2 CALLE CORVO
606 S.F.

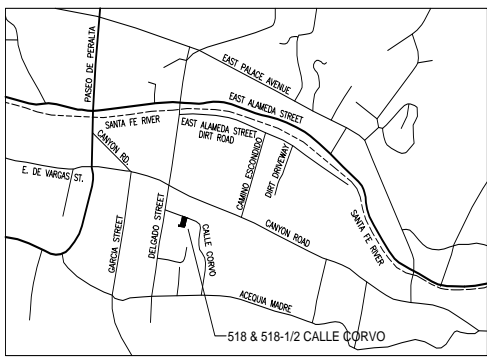
EXISTING GARAGE
260 S.F.

EXISTING DRIVEWAY AREAS
1,474 S.F.

LOT 11
5,598 S.F. (0.1285 Ac)

TRACT 2
603 S.F. (0.014 Ac)

1 SITE PLAN
1/4" = 1'-0"
PLAN NORTH
(1488 Deg. off True North)



2 VICINITY MAP
TRUE NORTH
NO SCALE

PROJECT and BUILDING CODE DATA

LOCATION: 518 and 518 1/2 CALLE CORVO, SANTA FE, NM 87501
 PROPERTY OWNER: N. ABRILZIO HOLDINGS LLC
 11 SANDIA HEIGHTS DRIVE NE, ALBUQUERQUE, NEW MEXICO 87122
 LEGAL DESCRIPTION: LOT 11, HUGHES SECOND SUBDIVISION AND A TRACT OF LAND DESIGNATED AS TRACT 2, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO
 PROPERTY AREA: 6,201 S.F. (0.142 ACRES)
 ZONING DISTRICT: RC-6, "DOWNTOWN & EASTSIDE" HISTORIC DISTRICT
 HISTORIC REVIEW CASE NUMBER: H-17-0188, HERB PROJECT TYPE
 APPLICABLE CODE: 2015 NEW MEXICO RESIDENTIAL CODE
 CITY OF SANTA FE GREEN BUILDING CODE
 2015 NM ENERGY CONSERVATION CODE
 OCCUPANCY TYPE (SINGLE FAMILY RESIDENCE): R-3
 FLOOR AREAS:
 EXISTING HOUSE (518 CALLE CORVO) 1,050 S.F.
 EXISTING HOUSE (518 1/2 CALLE CORVO) 606 S.F.
 EXISTING GARAGE 260 S.F.
 TOTAL EXISTING 1,916 S.F.

DRAWING INDEX

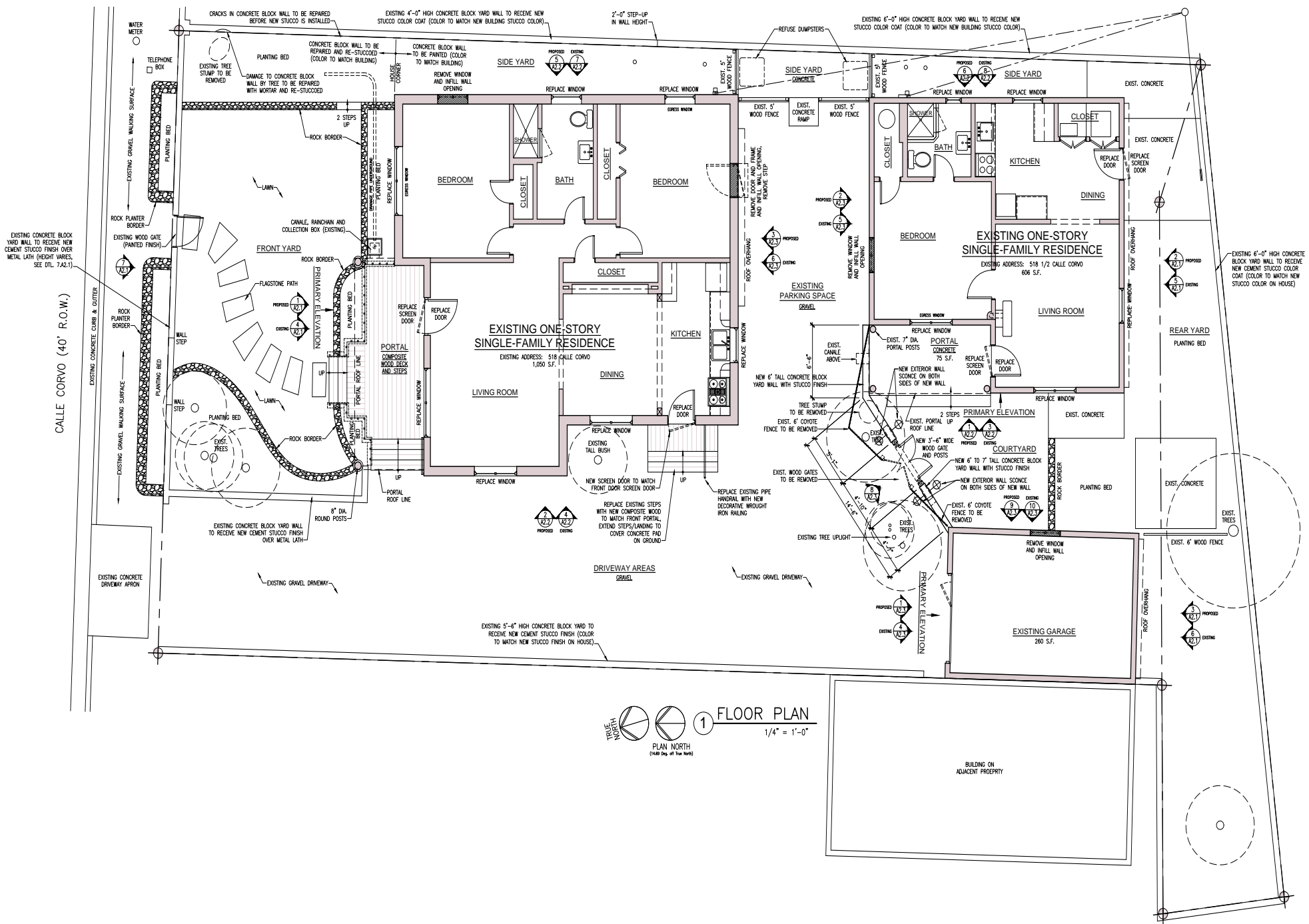
- C1.1 SITE PLAN, VICINITY MAP and CODE DATA
- A1.1 FLOOR PLAN
- A2.1 EXTERIOR ELEVATIONS - EXISTING and PROPOSED
- A2.2 EXTERIOR ELEVATIONS - EXISTING and PROPOSED
- A2.3 EXTERIOR ELEVATIONS - EXISTING and PROPOSED



PRELIMINARY
FOR HDRB APPROVAL
10-5-2022

DATE: 10/5/2022
MISC. IMPROVEMENTS
518 & 518-1/2 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501

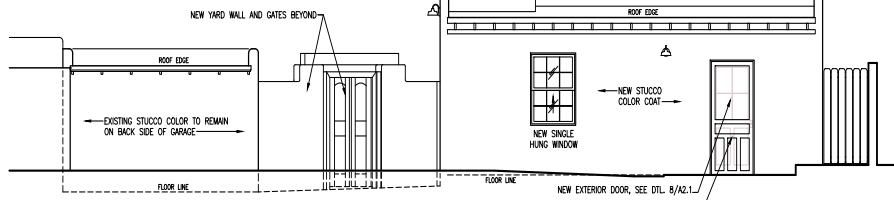
WILLIAM KLEINSCHMIDT : ARCHITECT
 P. O. BOX 5249 : SANTA FE, NEW MEXICO : 87502 : 505-761-0000 : www.wkarch.com

C1.1



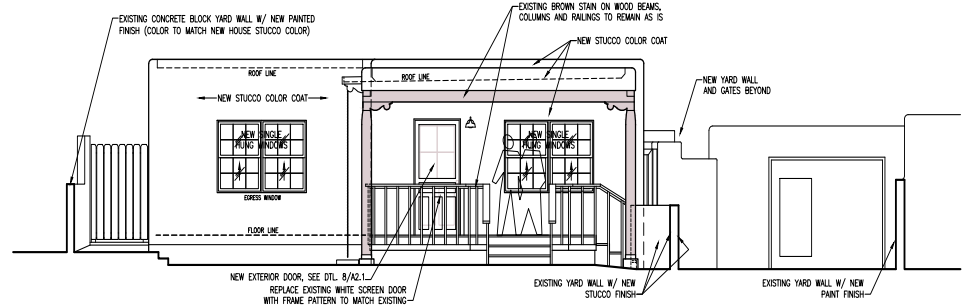


1 FLOOR PLAN
 1/4" = 1'-0"
 PLAN NORTH
 (1480 Deg. of True North)

DATE: 10/5/2022 REF: REF: REF:
MISC. IMPROVEMENTS
518 & 518-1/2 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501
WILLIAM KLEINSCHMIDT : ARCHITECT
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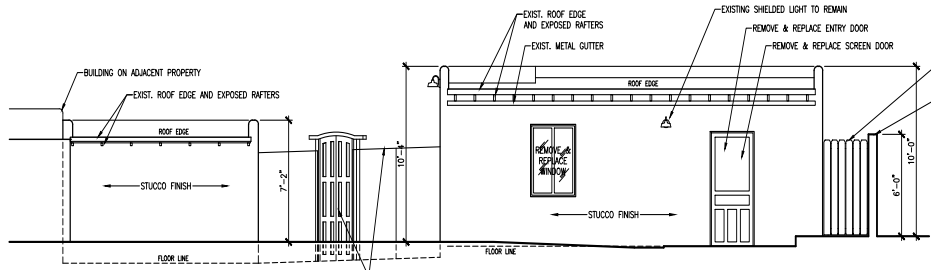


3 GARAGE SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

2 518 1/2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

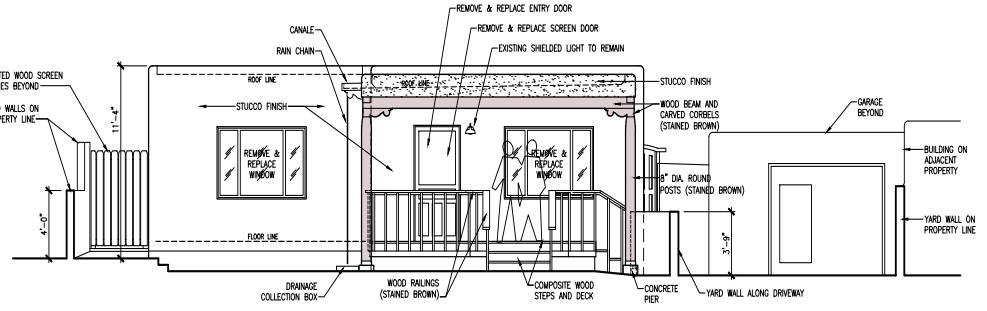


1 518 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

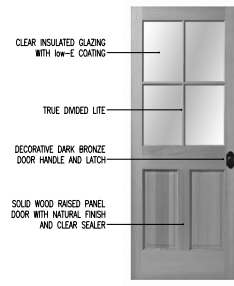


6 GARAGE SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

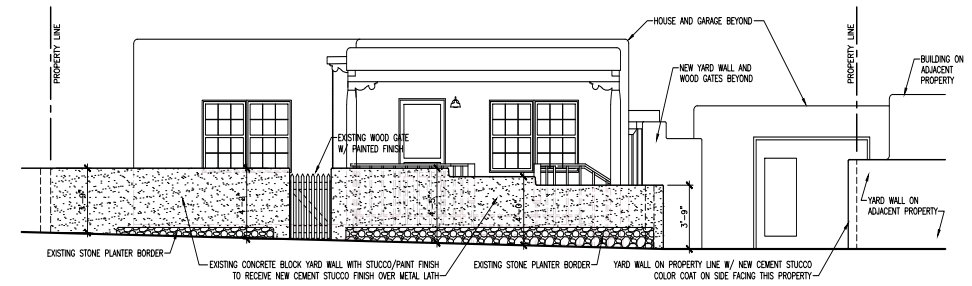
5 518 1/2 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



4 518 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



8 NEW EXTERIOR DOORS
NO SCALE

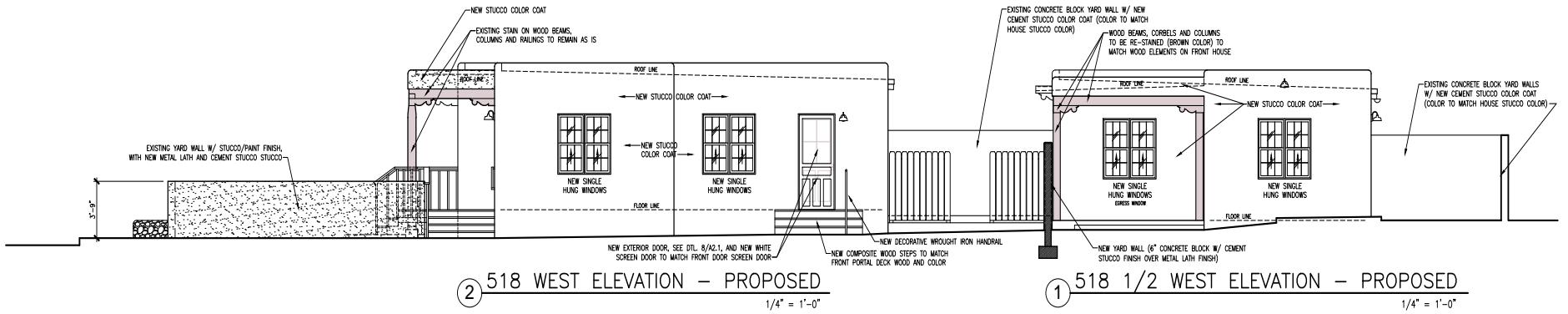


7 FRONT YARD WALL (STREET-VIEW)
1/4" = 1'-0"

ALL NEW STUCCO TO BE CEMENT STUCCO OVER METAL LATH COLOR: EL REY #117 FAWN

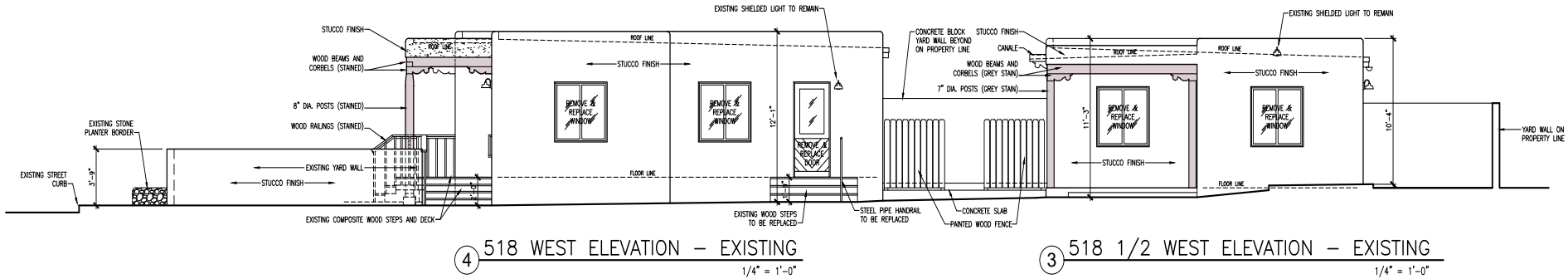
PRELIMINARY FOR HDRB APPROVAL
10-5-2022

DATE: 10/5/2022 RE: ARCHITECT: ARCHITECT
MISC. IMPROVEMENTS
518 & 518-1/2 CALLE CORVO
SANTA FE, NEW MEXICO, 87501
WILLIAM KLEINSCHMIDT : ARCHITECT
P. O. BOX 5249 : SANTA FE, NEW MEXICO : 87502 : 505-761-0000 : www.wkarch.com



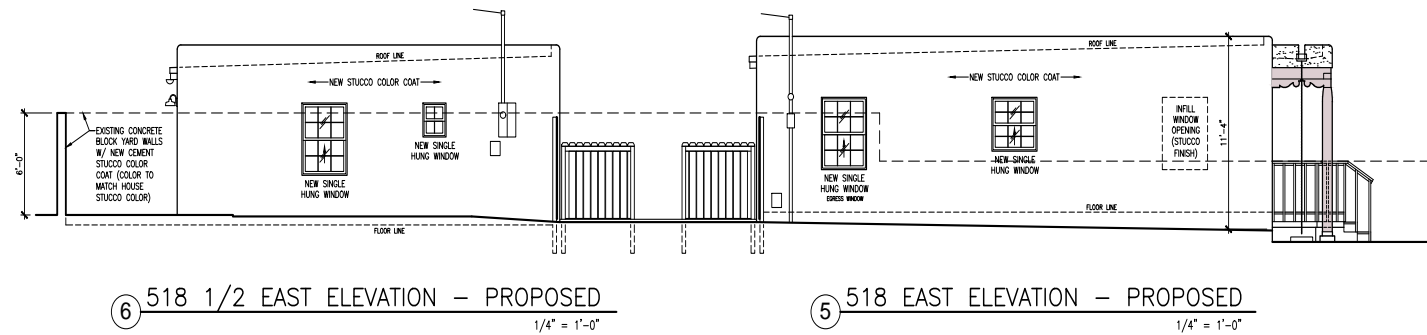
2 518 WEST ELEVATION - PROPOSED
1/4" = 1'-0"

1 518 1/2 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



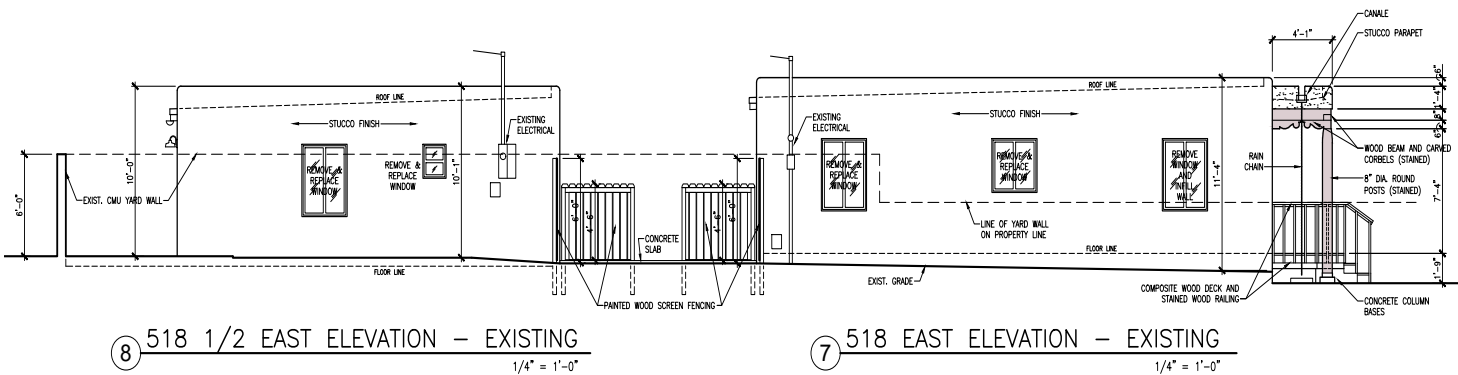
4 518 WEST ELEVATION - EXISTING
1/4" = 1'-0"

3 518 1/2 WEST ELEVATION - EXISTING
1/4" = 1'-0"



6 518 1/2 EAST ELEVATION - PROPOSED
1/4" = 1'-0"

5 518 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



8 518 1/2 EAST ELEVATION - EXISTING
1/4" = 1'-0"

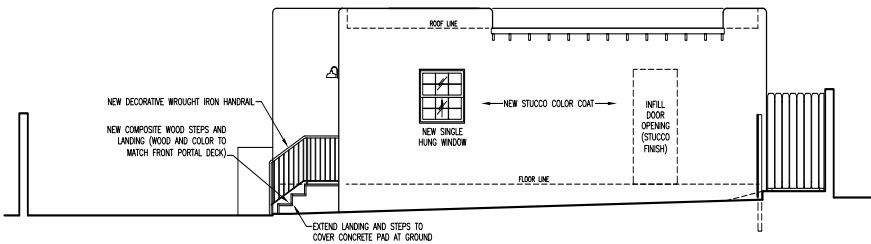
7 518 EAST ELEVATION - EXISTING
1/4" = 1'-0"

ALL NEW STUCCO TO BE CEMENT STUCCO OVER METAL LATH COLOR: EL REY #117 FAWN

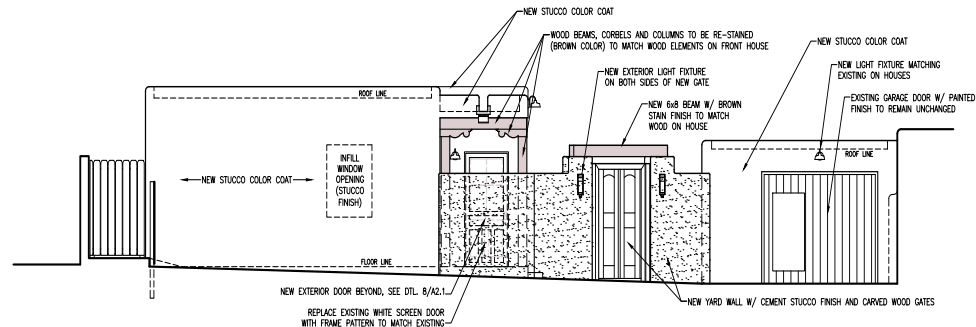
PRELIMINARY FOR HDRB APPROVAL
10-5-2022

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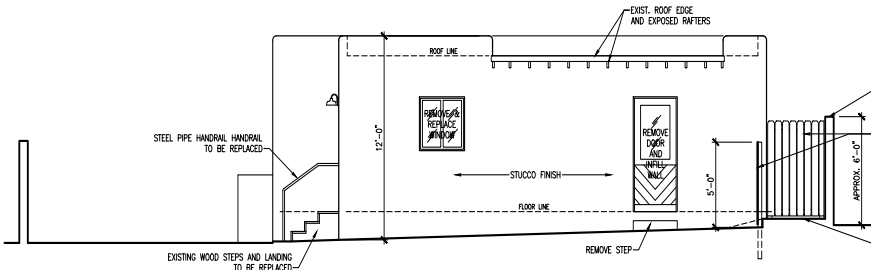


3 518 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

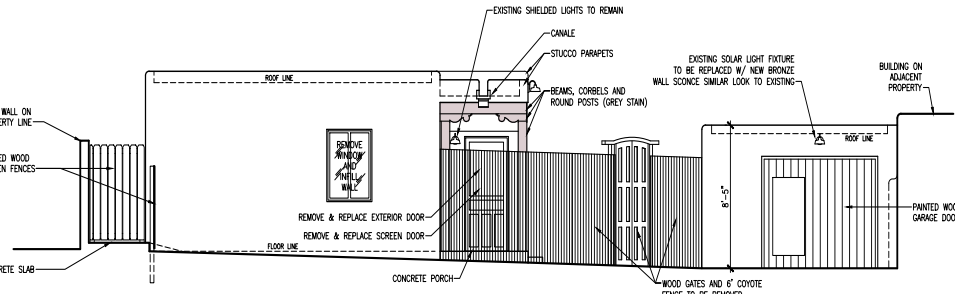


2 518 1/2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

1 GARAGE NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

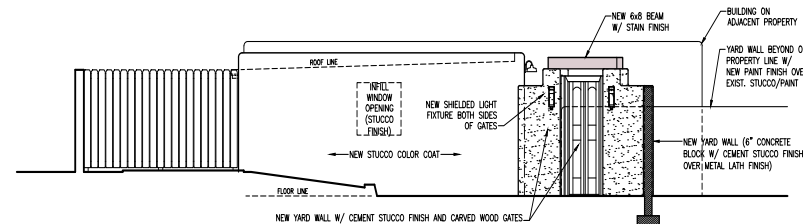


6 518 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

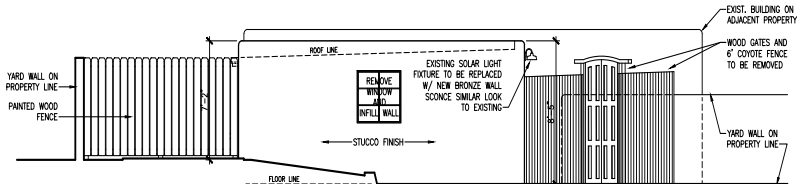


5 518 1/2 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

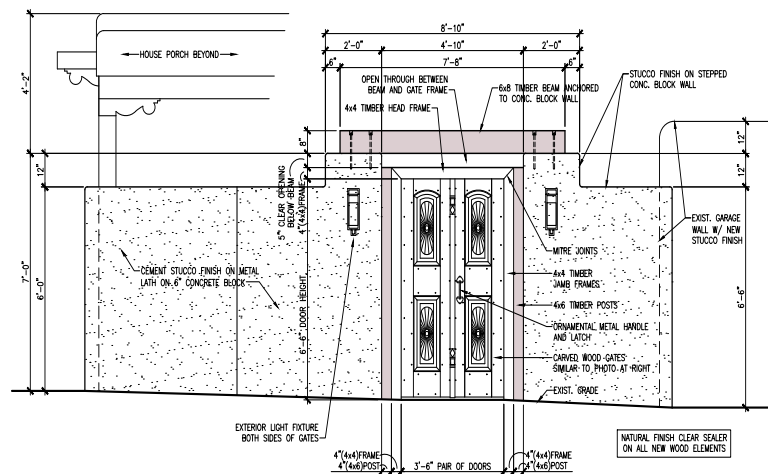
4 GARAGE NORTH ELEVATION - EXISTING
1/4" = 1'-0"



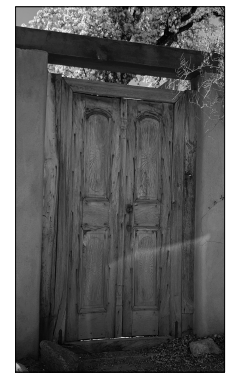
9 GARAGE EAST ELEVATION - PROPOSED
1/4" = 1'-0"



10 GARAGE EAST ELEVATION - EXISTING
1/4" = 1'-0"



8 NEW YARD WALL and GATE ELEVATION
1/2" = 1'-0"



7 WOOD GATE EXAMPLE
NO SCALE

ALL NEW STUCCO TO BE CEMENT STUCCO OVER METAL LATH COLOR: EL REY #117 FANN

PRELIMINARY FOR HDRB APPROVAL 10-5-2022

DATE: 10/5/2022 REVISIONS: REVISIONS: REVISIONS: REVISIONS: MISC. IMPROVEMENTS 518 & 518-1/2 CALLE CORVO SANTA FE, NEW MEXICO, 87501 WILLIAM KLEINSCHMIDT : ARCHITECT P. O. BOX 5249 : SANTA FE, NEW MEXICO : 87503 : 505-761-0000 : wk@wkk.com

518 North with Portal



518 North



518 West



518 West



518 South



518 East





518 1/2 North



518

518 1/2

**Parking space between
518 and 518 1/2**



Garage North



518 1/2

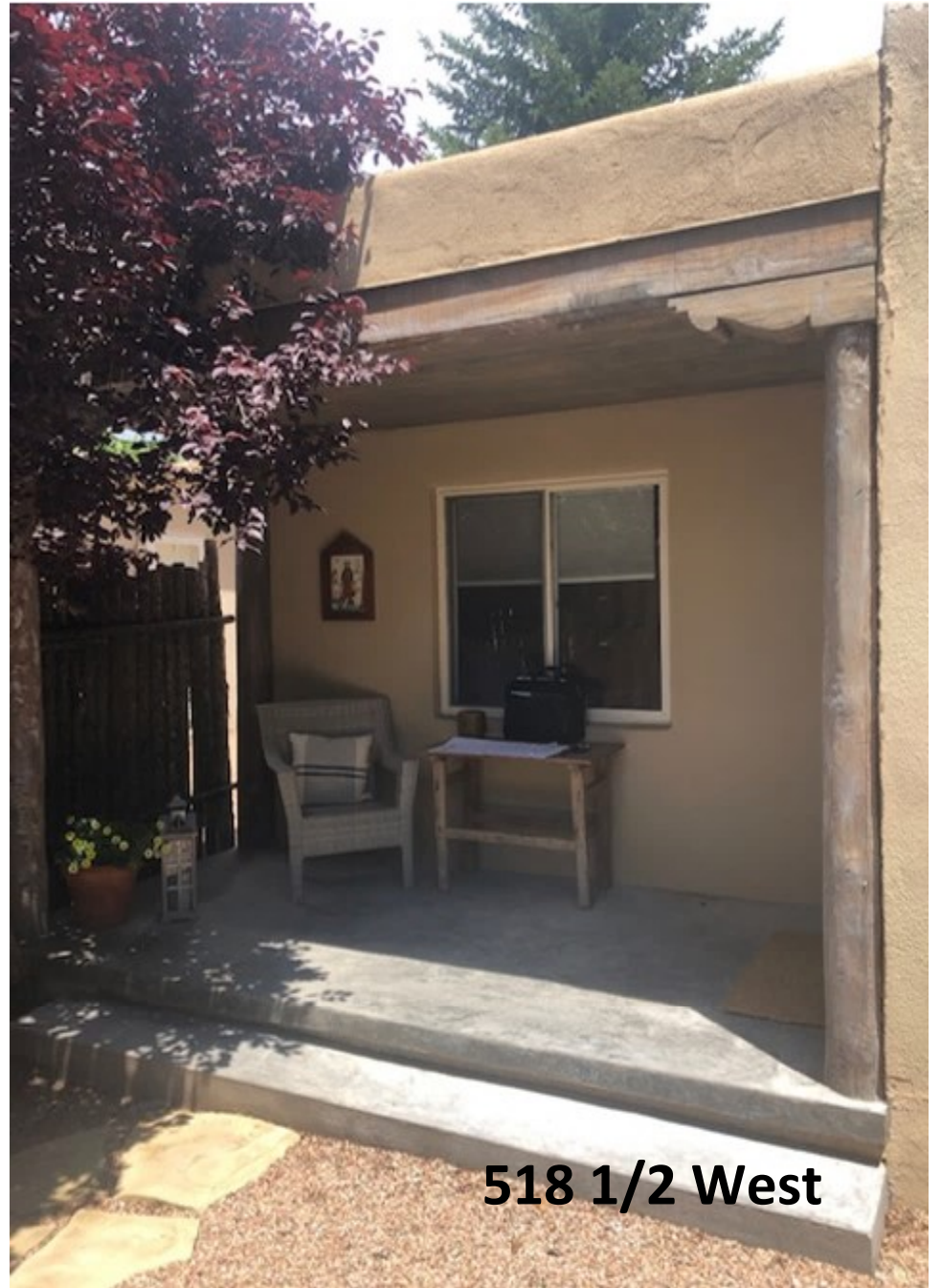
Garage

Coyote Fence at 518 1/2





518 1/2 East



518 1/2 West



Front Yard



518 1/2 South

Front Yard



Front Yard



**Street View
Looking West**



**Street View
Looking East**





51









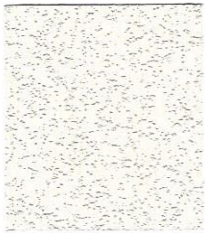


Timeless Beauty and Diversity

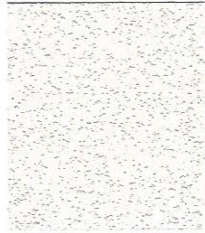
Premium colors are available for the following El Rey exterior finish and coating products:

- Premium Stucco
- Perma-Flex
- Perma-Flex Lastic
- Fog Kote
- Allegro II

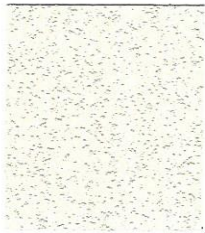
Note: The color on the textured chips are intended to show the approximate color of exterior color coat float finish stucco. Due to variations in finishes, it is strongly recommended that a physical sample be obtained in the color and texture desired for appraisal prior to ordering material. Apply a sample of the finish to the substrate being used before proceeding with the application. El Rey is not responsible for color correctness of applied finish. Color must be verified and approved by owner prior to application.



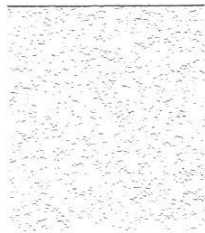
30 SOAPSTONE 73



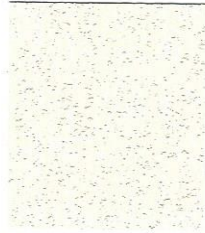
80 SOFT ROSE 60



90 CANDLELIGHT 76



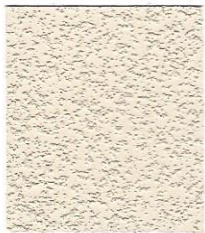
100 COLONIAL WHITE 79



101 NAVAJO WHITE 71



102 CAMEO 67



103 SAND 52



105 BAMBOO 47



106 BUCKSKIN 35



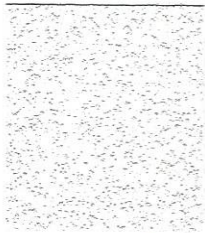
107 DENIM 47



108 KOKANEE 54



110 ASH 60



113 DOVE GRAY 60



114 DESERT ROSE 39



115 COTTONWOOD 32



116 ADOBE 24

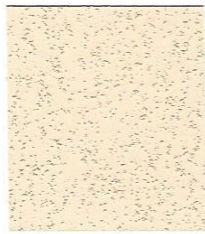


Proposed

117 FAWN 45



118 SUEDE 38



119 PALOMINO 55



121 SANDALWOOD 56



Existing

122 STRAW 42



124 CORAL 35



125 LA LUZ 20



127 HACIENDA 59



128 CREAM 61



129 IVORY 74



130 PUEBLO 53



135 SAHARA 35



197 LA MORENA 19



212 MADERA 24

Beckham 1 Light Wall Sconce



**READY
TO SHIP**





B61 - Beckham-1 Light Outdoor Wall Mount-4.75 Inches Wide by 16.5 Inches High by Troy Lighting

Specs

Family/Collection:	Beckham
Width/Diameter (in):	4.75"
Height:	16.5"
Depth/Extension:	5.75"
Back Plate Length:	8"
Back Plate Width:	4.5"
Height from Center:	9"
Weight:	5.95 lbs
Glass:	Clear
# of Bulbs:	1
Standard Wattage:	60 Watts
Bulb Type:	Incandescent
Lamp Base Type:	E12 Candelabra
Finish:	Stainless
Voltage Rating:	120 V
Material:	Iron
Warranty:	1 Year
Made In:	China

Style and Option 1

Style:	Stainless Finish with Clear Glass
Item #:	B6531
Price:	Reg. \$260.00 Save 20% \$208.00 On Sale





CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Lisa Roach, agent for N. Abruzzo Holdings LLC, owner, proposes to construct a 130 sq. ft. portal, enclose a 247 sq. ft. carport, and additional remodeling at a contributing residential property. An exception is requested to construct an addition on a primary elevation (Section 14-5.2(D)(2)(d)).

Case number: H-17-018B
Project Type: HDRB

PROJECT LOCATION (S): 518 Calle Corvo

PROJECT NAMES:

OW – N. Abruzzo Holdings LLC 11 Sandia Heights Drive NE Albuquerque, NM 87122
AP – Lisa Roach 994 Don Manuel Street Santa Fe, NM 87505 505-362-8294

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark

PRIMARY ELEVATIONS:

North South West East

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER _____

YEAR OF CONSTRUCTION _____ 1940s _____

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential

USE, PROPOSE Residential Non-Residential

HISTORIC BUILDING NAME _____

City of Santa Fe, New Mexico

memo

DATE: April 11, 2017
TO: Historic Districts Review Board Members
VIA: David Rasch, Supervising Planner in Historic Preservation DR
FROM: Nicole Ramirez Thomas, Planner Senior in Historic Preservation NRT

CASE # H-17-018B

ADDRESS: 518 Calle Corvo
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- Case Synopsis
- District Standards & Yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Vicinity Map
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff finds that all but criterion (v) of the exception criteria have been answered. Further testimony from the applicant may answer the criterion to the satisfaction of the Board. Otherwise staff recommends approval of the project as it complies with 14-5.2(D) General Design Standards for All H Districts and 14-5.2(E) Downtown and Eastside, with the condition that a divided lite is used on the door on the east elevation of the garage and window on the east elevation of the enclosed carport, or an exception is requested.

BACKGROUND & SUMMARY:

518 and 518 ½ Calle Corvo is a property consisting of a main residence (518), a guest residence (518 ½), and a free-standing garage. All three structures are designated as contributing to the Downtown and Eastside Historic District. They are built in the Spanish Pueblo Revival style and were constructed in the 1940s. The HDRB, at their hearing on March 14, 2017, designated the north elevation of the main residence, the west elevation of the guest residence, and the north elevation of the garage as primary elevations.

The applicant requests to remodel the property with the following five items.

- 1) Construct a 130 sq. ft. portal on the north elevation of main residence. A composite wood deck currently exists in this location. The applicant proposed to roof the existing deck at the front entry of the home. The portal would have a stuccoed parapet and stained wood beams, posts, and corbels. An exception to construct an addition to a primary elevation is requested (14-5.2(D)(2)(d)). The exception responses are found at the end of this memo.
- 2) Enclose an existing carport. The carport is located between the main residence and the guest residence. It is a covered structure already attached to both structures and has been intact since before 1960. The carport enclosure would not result in additional square footage/covered space to the property. The carport addition will maintain the existing white painted wood posts, the existing beams and corbels, addition of a wall with a window on the east elevation of the carport, and addition of a garage door on the west elevation. The door will be painted green to match the existing free-standing garage door. An exception was not requested to use lites greater than 30".
- 3) Addition of a door on the east elevation of the free-standing garage. The door will be wood and painted white. The door will have one lite panel that exceeds the 30" lite rule. An exception was not requested to use lites greater than 30".
- 4) Resurface the driveway.
- 5) Patch stucco where necessary. The applicant did not provide a color sample or state the type of stucco that will be used on the building. They will provide this information at the hearing.

RELEVANT CODE CITATION

14-5.2(D) General Design Standards for All H Districts

(2) Additions

(c) Additions are not permitted to *primary façades*.

EXCEPTION RESPONSES

- (i) Do not damage the character of the *streetscape*;

Applicant Response: The proposed portal is compatible in style and scale to the existing home, the rear residence at 518 ½ Calle Corvo, and the surrounding streetscape. It features stuccoed massing atop stained wooden beams, posts, and corbels. Because the proposed addition is harmonious to the streetscape, it poses no potential damage to the streetscape.

Staff Response: Staff agrees with this response. Portals are encouraged in the Downtown and Eastside.

- (ii) Prevent a hardship to the *applicant* or an injury to the public welfare;

Applicant Response: The proposed portal is an attempt to provide covering from the elements over the main entry of the home for enhanced comfort of the residents of the home when entering and exiting. It is similar in placement and design to the portal at 518 ½ Calle Corvo, which greatly improves the ease of entry/exit and provides a comfortable outdoor space.

Staff Response: Staff agrees with this response. Providing appropriate cover over the entry prevents a hardship to the applicant.

- (iii) Strengthen the unique heterogeneous character of the *city* by providing a full range of design options to ensure that residents can continue to reside within the historic districts;

Applicant Response: When considering the range of design options for the east (primary) façade of 518 Calle Corvo, the applicant considered no addition, leaving an exposed deck that is dissimilar to other treatments of primary facades in the streetscape. A smaller, more simplified Pueblo Revival style portal was also considered. However, the portal design as proposed provides a design solution that minimizes the appearance of the existing deck, is compatible in style and scale to the portal at 518 ½ Calle Corvo, and harmonizes with the streetscape.

Staff Response: Staff agrees with this response. A range of options were considered.

- (iv) Are due to special conditions and circumstances which are peculiar to the land or *structure* involved and which are not applicable to other lands or *structures* in the related *streetscape*;

Applicant Response: The existing structure at 518 Calle Corvo was interestingly constructed originally without a portal at the main entry of the home; whereas, the auxiliary residence at 518 ½ did have a portal originally, similar to other Pueblo Revival style homes in the streetscape and immediate neighborhood. The applicant proposes to add a portal that harmonizes with the pattern of design and construction that is common elsewhere in the district.

Staff Response: Staff agrees with this response. Unlike other properties in the neighborhood the house never had a portal.

(v) Are due to special conditions and circumstances which are not a result of the actions of the applicant; and

Applicant Response: The need for a portal at the primary façade of 518 Calle Corvo is not due to any previous actions of the applicant. There was no portal originally, and at some point in the recent past a deck was placed on the primary façade that replaced a concrete pad. The portal would minimize the appearance of this deck, which does not conform to the neighborhood.

Staff Response: Staff does not agree with this response. The recently added deck is the result of the actions of the applicant. The applicant may be able to provide an answer to this criterion that satisfies the Board.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

The portal as proposed by the applicant seeks to satisfy the needs of the residents while satisfying the intent of 14-5.2(A)(1) to promote the economic, cultural and general welfare of the residents of Santa Fe's historic districts and ensure harmonious development therein. The proposed portal design conforms to the historic style of the home and promotes its continued use and preservation while harmonizing with the surrounding streetscape in style, form, height, and proportion and will therefore create the least negative impact to the district.

Staff Response: Staff agrees with this response. The proposed portal harmonizes with the Santa Fe style as it is set forth in the ordinance.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 3/3/2017		518 Calle Corvo
Property Owner of Record: Nancy Abnizzo	Proposed Construction Description:	
Applicant/Agent Name: Nancy Abnizzo / Lisa Roach	addition - residential	
Contact Person Phone Number: (505) 302-8294	TOTAL ROOF AREA: 2,238	
Zoning District: RC8	Lot Coverage: 38.5% (proposed)	
Overlay: <input type="checkbox"/> Escarpment N/A	<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone*	Setbacks:	
<input type="checkbox"/> Other: _____	Proposed Front: 18.5' Minimum: 7'	
	2 nd Front? _____	
Submittals Reviewed with PZR:	Proposed Rear: _____ Minimum: _____	
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans	Proposed Sides: L _____ R _____ Minimum: _____	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed 11'4"	
Supplemental Zoning Submittals Required for Building Permit:	Maximum Height: _____ or	
<input type="checkbox"/> Zero Lot Line Affidavit	<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	<input type="checkbox"/> Regulated by Escarpment District	
<input type="checkbox"/> Visibility Triangle Required	Parking Spaces:	
Use of Structure: <input checked="" type="checkbox"/> Residential	Proposed _____ Accessible _____	
<input type="checkbox"/> Commercial Type of Use: _____	Minimum: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	Bicycle Parking**:	
	Proposed: _____ Minimum: _____	
	** Commercial Requirement	

* Requires an additional review conducted by Technical Review Division.

** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Lisa Roach

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Lisa Roach

SIGNATURE

3/3/2017

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

- Escarpment Approval by _____ Date: ___/___/___
- Flood Plain Approval by _____ Date: ___/___/___
- Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

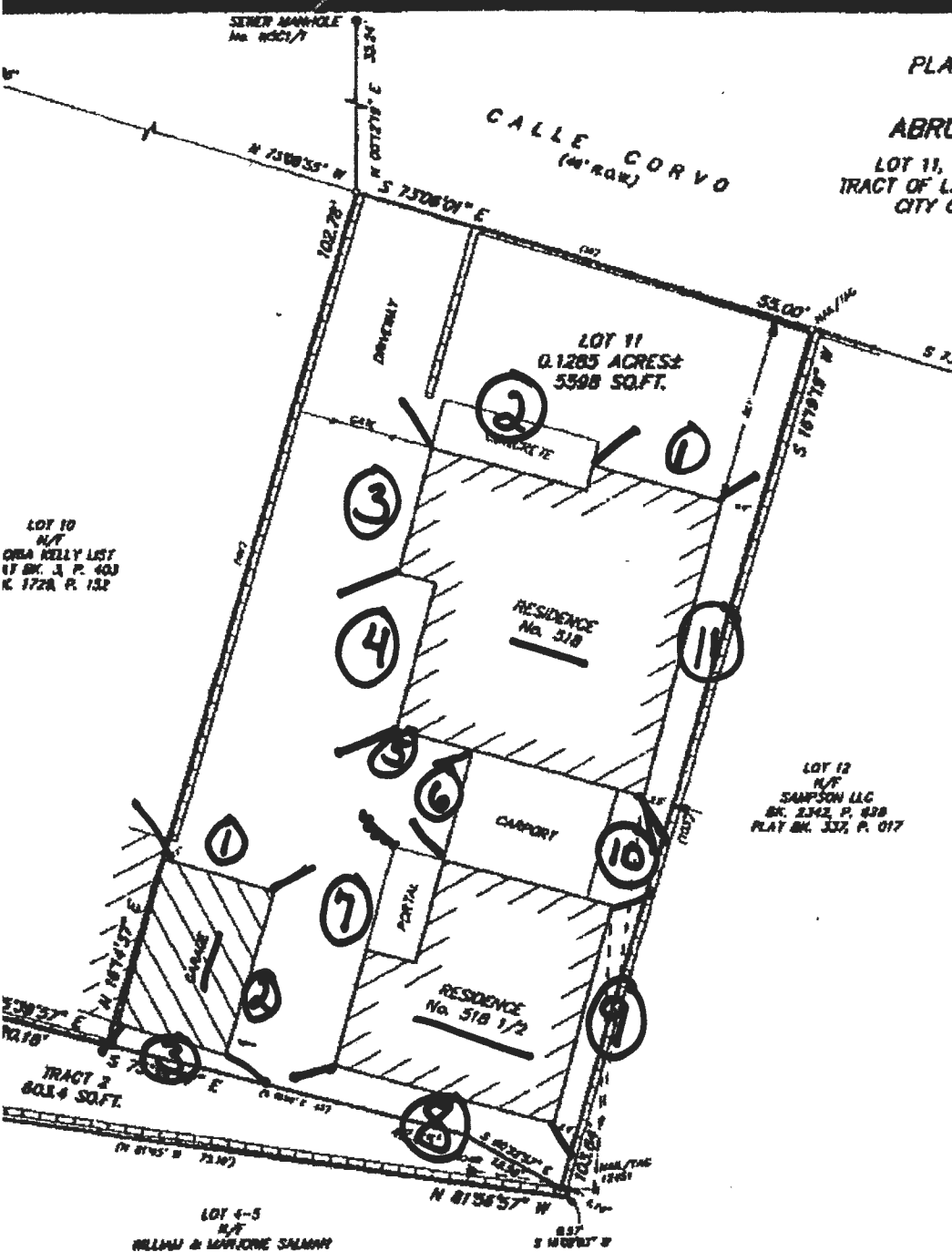
Comments/Conditions: _____

REVIEWER: Yosh Berh

DATE: 3/3/17

PLAT OF BOUNDARY SURVEY FOR ABRUZZO DEVELOPMENT LLC

LOT 11, HUGHES SECOND SUBDIVISION, & A TRACT OF LAND, HEREBY DESIGNATED AS TRACT 2, CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.



LOT 10 N/T ORDA KELLY LIST 17 BK. 3, P. 403 K. 172A P. 132

LOT 12 N/T SAMPSON LLC BK. 2342, P. 828 PLAT BK. 337, P. 017

LOT 4-5 N/T WILLIAM & MARJORIE SALMAN PLAT BK. 188, P. 048

COUNTY OF SANTA FE 1370412 STATE OF NEW MEXICO I hereby certify that this instrument was typed for record on the 10 day of March 2005 at 10:25 a.m. and was duly recorded at Book 582 Page 041 of the records of Santa Fe County

Witness my Hand and Seal of Office this 10th day of March 2005 County Clerk, Santa Fe County, New Mexico [Signature]



CITY OF SANTA FE PUBLIC NOTICE The City of Santa Fe has not reviewed this plat of survey before its filing in the Office of the County Clerk. This survey is based on those documents noted herein. City of Santa Fe Staff must approve all documents submitted with an application for building permits and may require additional documentation to prove legal lot of record. This statement does not in any way represent official approval of this plat.

INDEXING INFORMATION FOR COUNTY CLERK BOUNDARY SURVEY

OWNER: ESTATE OF MALAQUAS LUJAN	LOCATION: 518 & 518 1/2 CALLE CORVO	
SECT. 25, T 17 N, R 8 E, N.M.P.M.	PROJECTED INTO THE SANTA FE GRANT	
SUBDIVISION: HUGHES SECOND SUBDIVISION		
SANTA FE COUNTY, NM		
LPC No.: 1-034-098-481-513		
DEZ R/O SURVEYS, INC.		
P.O. BOX 22773	SANTA FE, NM	8720-8700
PROJECT No. 0501008	DATE FILED	FILED BY

Façade Map

Recommended Primaries:
Main House - ① + ②
Guest House - ⑦
Garage - ① + ②

MAR 14

March 13, 2017

Nicole Ramirez Thomas
Historic Preservation Division
City of Santa Fe
P.O. Box 909
Santa Fe, NM 87504-0909

Dear Nicole,

On behalf of property owner N. Abruzzo Holdings, LLC, I submit a remodel request for 518 and 518 1/2 Calle Corvo. The HDRB reviewed the status of the property at its hearing on March 14, 2017 (Case H-17-018A). Now, the property owner proposes the following alterations:

- 1) Construct a 130 square foot portal on the east façade of 518 Calle Corvo, covering an existing composite wood deck at the front entry to the home. The proposed portal features stuccoed massing to match the existing home, supported by stained wood beams, posts, and corbels.
- 2) Construct exterior walls on the north and south sides of the existing carport between 518 and 518 ½ to create a 247 square foot enclosed garage. The proposed garage enclosure will preserve the existing white painted wood posts, beams and corbels at the west façade, and the proposed garage door on the west façade will be painted green to match the garage door on the freestanding garage at the southwest corner of the property. The existing white painted wood beam and rafters and existing gutter and downspout on the east façade will also be preserved, and the stuccoed garage wall on the proposed east façade will also include a two-lite white clad window to match the existing non-historic windows on the home. New proposed exterior walls will be stuccoed to match the existing adjacent structures.
- 3) Add a new pedestrian door on the east façade of the existing garage located at the southwest corner of the property. Proposed wooden door will be painted white and feature one lite above a panel to match the doors on the other structures.
- 4) Add new landscaping in the front (north) yard, and resurface the driveway areas.

Thank you for your consideration of this matter.

Sincerely,



Lisa G. Roach
Planning and Historic Preservation Consultant
505-362-8294
lisa.g.roach@gmail.com



518 Calle Corvo – North



518 Calle Corvo – West



518 Calle Corvo – West (carport)



518 Calle Corvo - South



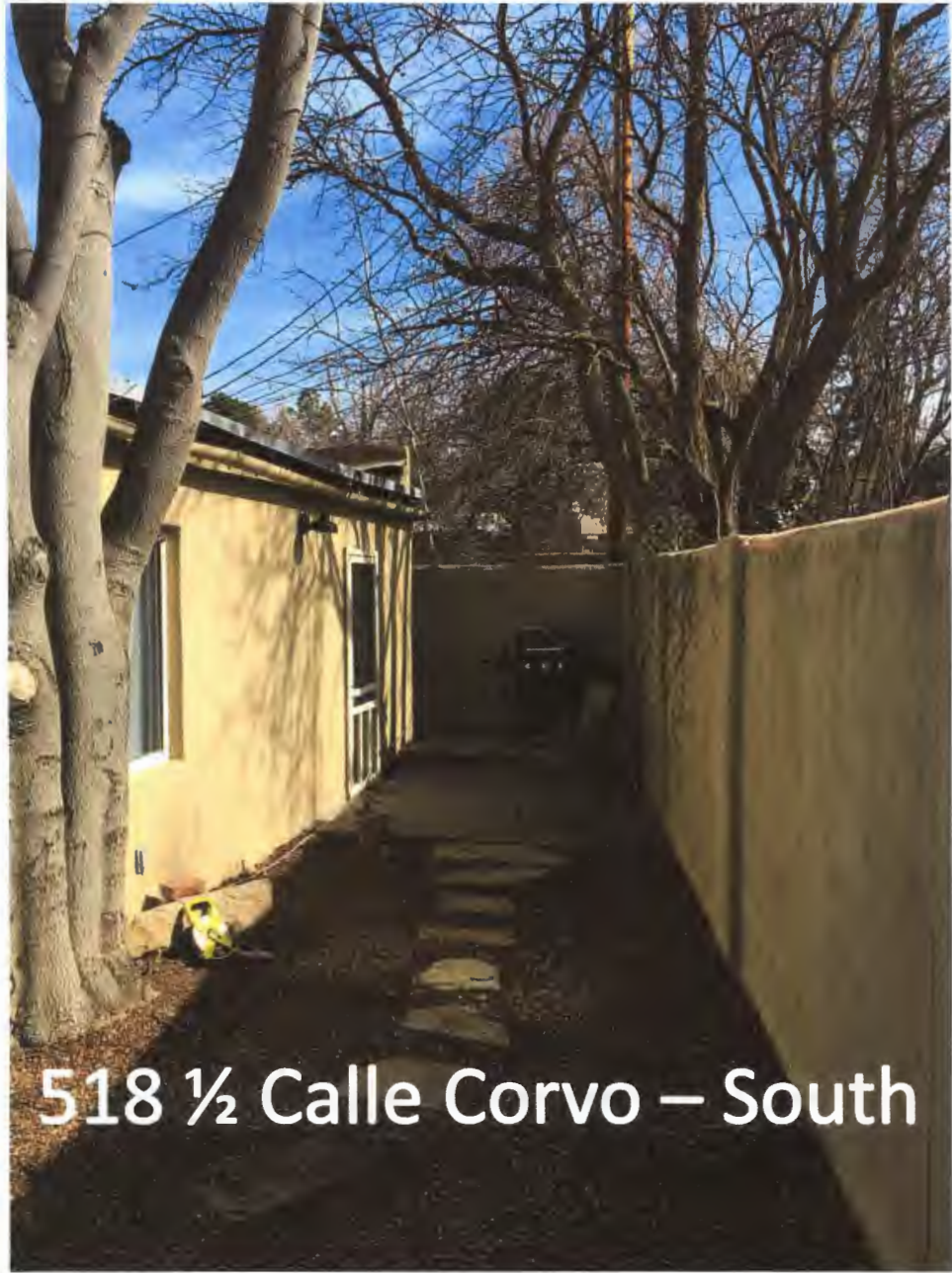
518 ½ Calle Corvo North



518 ½ Calle Corvo – West



518 1/2 Calle Corvo - West



518 ½ Calle Corvo – South



518 ½ Calle Corvo – East



518 Calle Corvo – East



518 Calle Corvo – Garage North



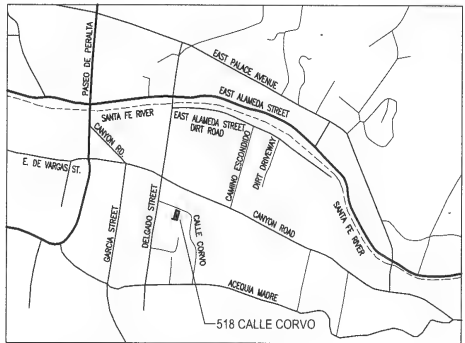
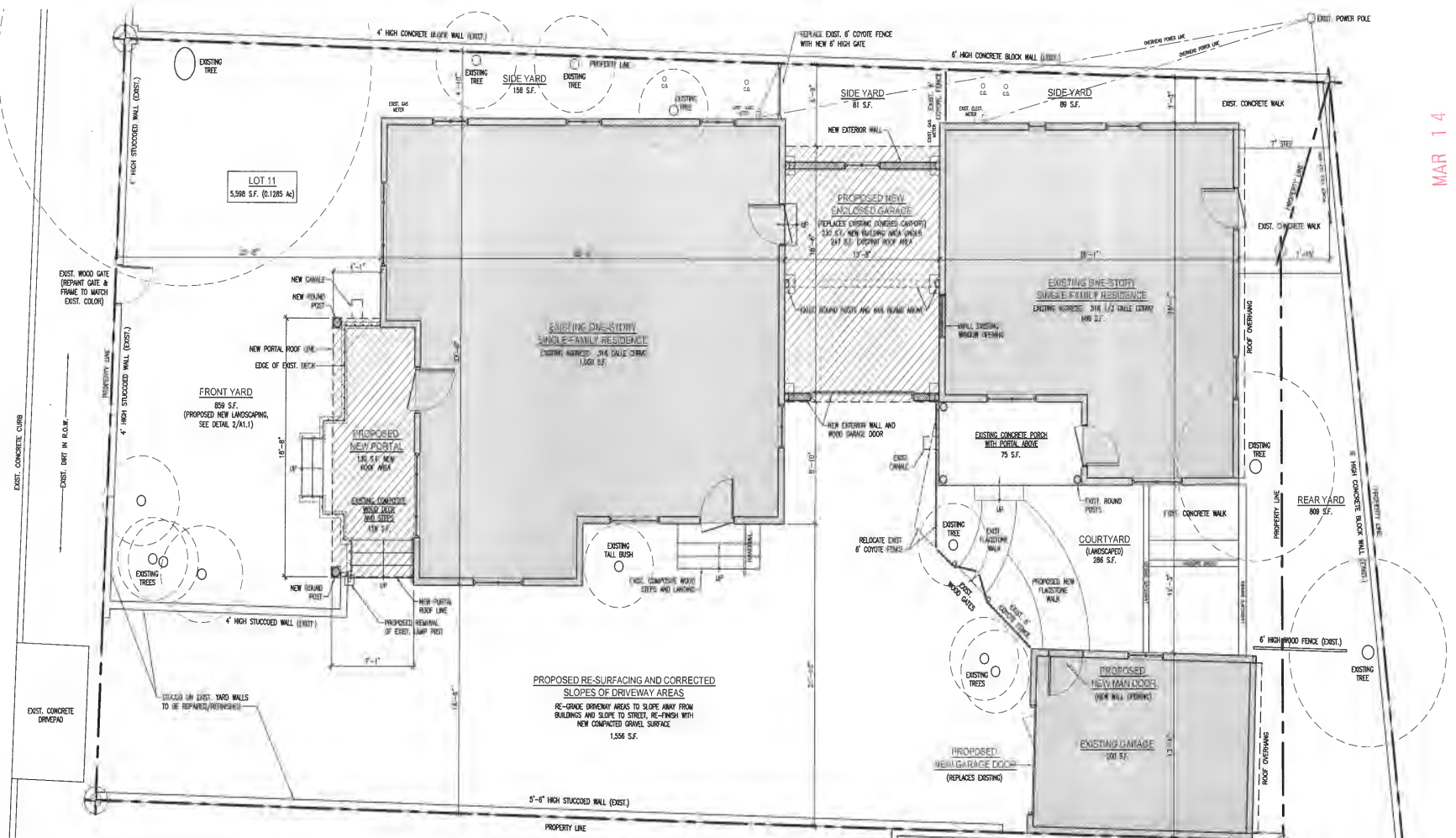
518 Calle Corvo – Garage West



518 Calle Corvo - Garage South

MAR 14

CALLE CORVO (40' R.O.W.)



1 SITE PLAN
1/4" = 1'-0"
PLAN NORTH
(1/4" Dig. of True North)

DRAWING INDEX

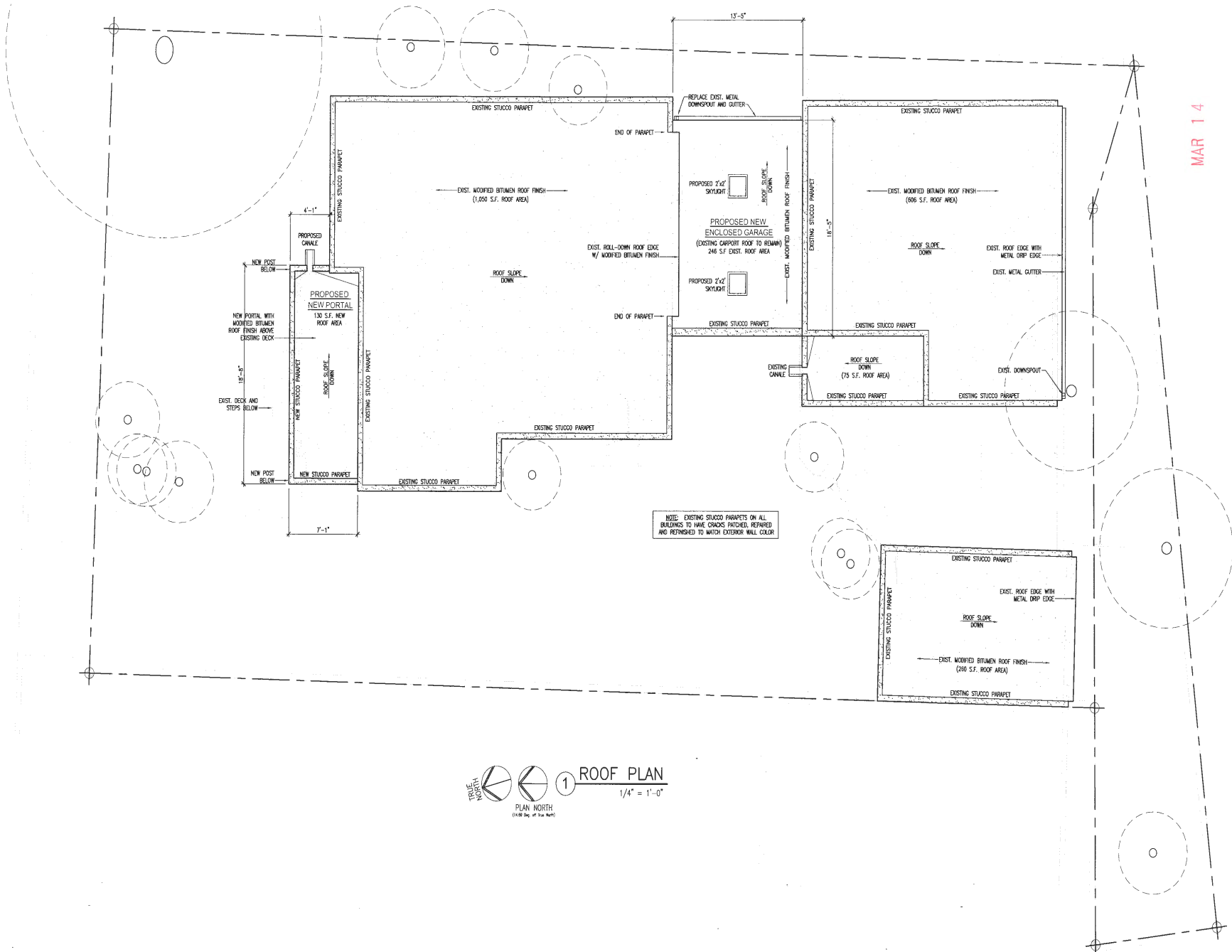
C1.1	SITE PLAN
A1.1	FLOOR PLAN, PROPOSED FRONT YARD LANDSCAPING
A1.2	ROOF PLAN
A2.1	NORTH AND SOUTH ELEVATIONS - EXISTING and PROPOSED
A2.2	EAST AND WEST ELEVATIONS - EXISTING and PROPOSED
A2.3	CARPORT AND GARAGE ELEVATIONS - EXISTING and PROPOSED



DATE: 2/15/2017
EXTERIOR RENOVATIONS
518 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501
WILLIAM KLEINSCHMIDT : ARCHITECT
 P. O. BOX 3249 : SANTA FE, NEW MEXICO : 87502 : 505-701-0000 : www.wkleinschmidt.com

Goal Built
3/3/17

C1.1
23

MAR 14



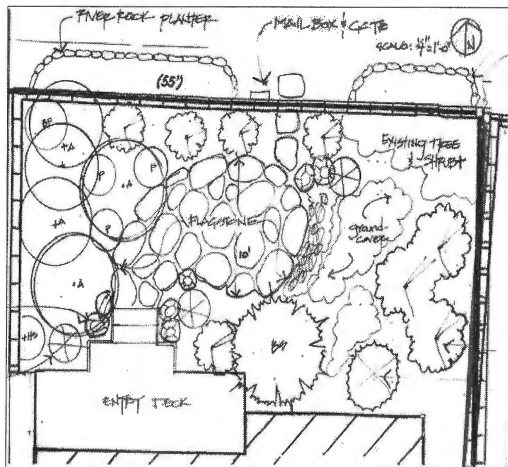
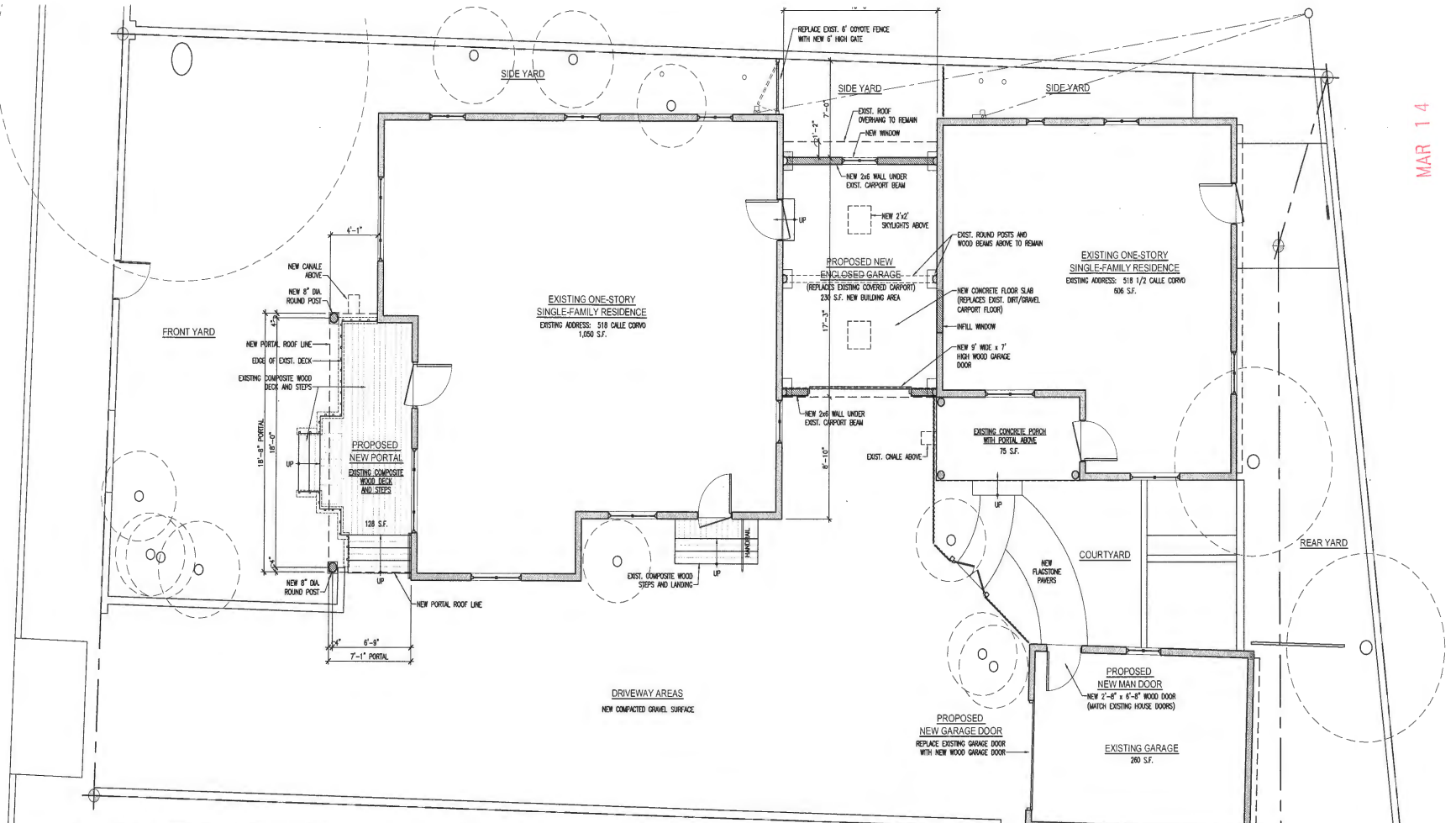


1 ROOF PLAN
 PLAN NORTH
(1/4" = 1'-0")
 1/4" = 1'-0"

DATE: 2/15/2017
 EXTERIOR RENOVATIONS
518 CALLE CORVO
SANTA FE, NEW MEXICO, 87501
 WILLIAM KLEINSCHMIDT : ARCHITECT
P. O. BOX 5246 : SANTA FE, NEW MEXICO : 87502 : 505-761-0000 : wks@bentleyupk.com

Goal Book A1.2
 3/3/17 24

MAR 14

CALLE CORVO (40' R.O.W.)



1 FLOOR PLAN
1/4" = 1'-0"

PLAN NORTH
(4.00 Deg. off true north)

2 PROPOSED FRONT YARD LANDSCAPING
NO SCALE

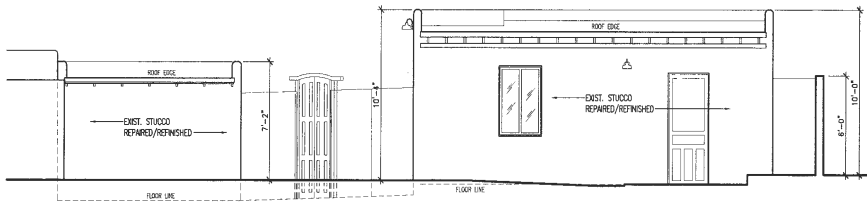
PLAN NORTH

DATE: 2/15/2017

EXTERIOR RENOVATIONS
518 CALLE CORVO
SANTA FE, NEW MEXICO, 87501

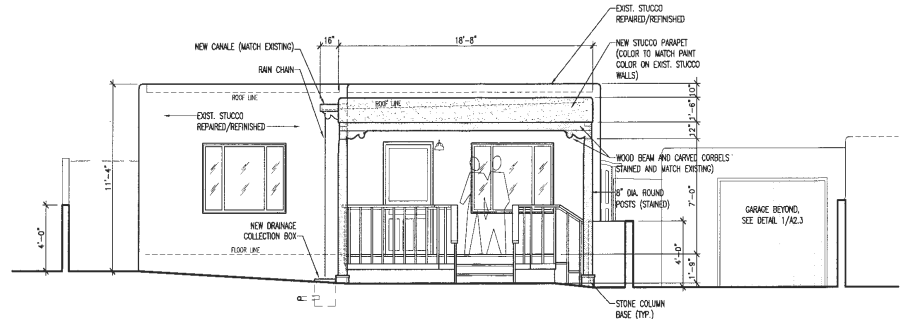
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P. O. BOX 5249 : SANTA FE, NEW MEXICO : 87502 : 505-761-0000 : wklein@earthlink.net

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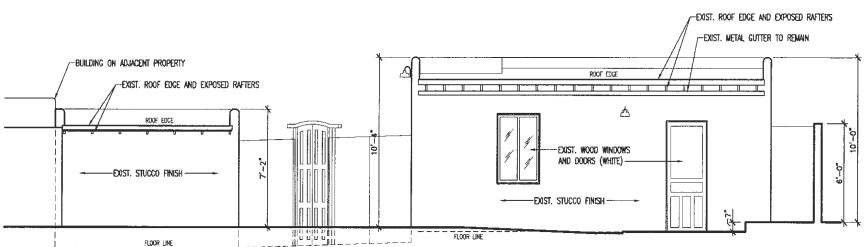


③ EXISTING GARAGE SOUTH ELEV. - PROPOSED
1/4" = 1'-0"

② 518 1/2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

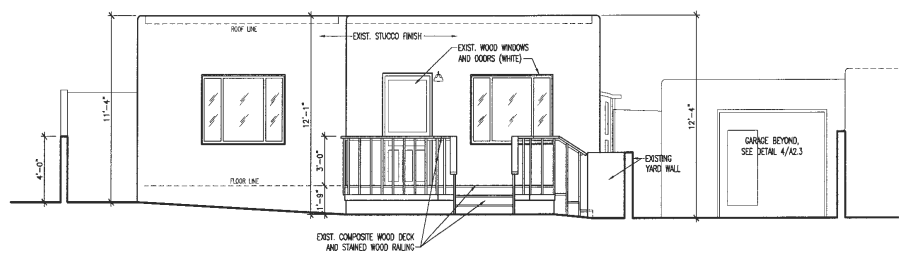


① 518 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



⑥ EXISTING GARAGE SOUTH ELEV. - EXISTING
1/4" = 1'-0"

⑤ 518 1/2 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



④ 518 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

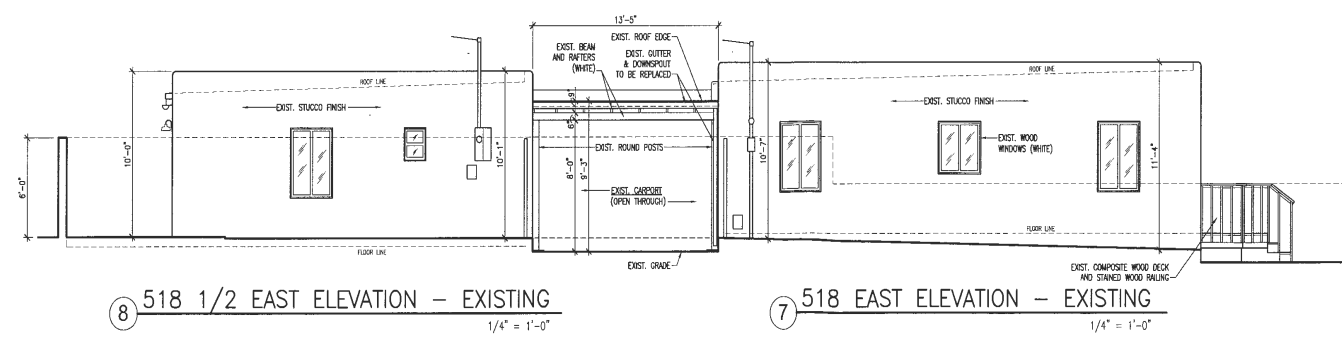
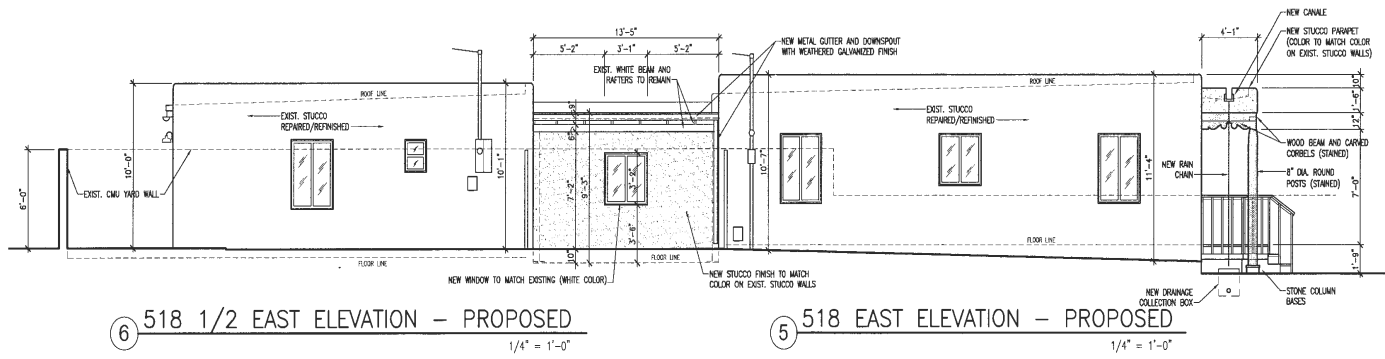
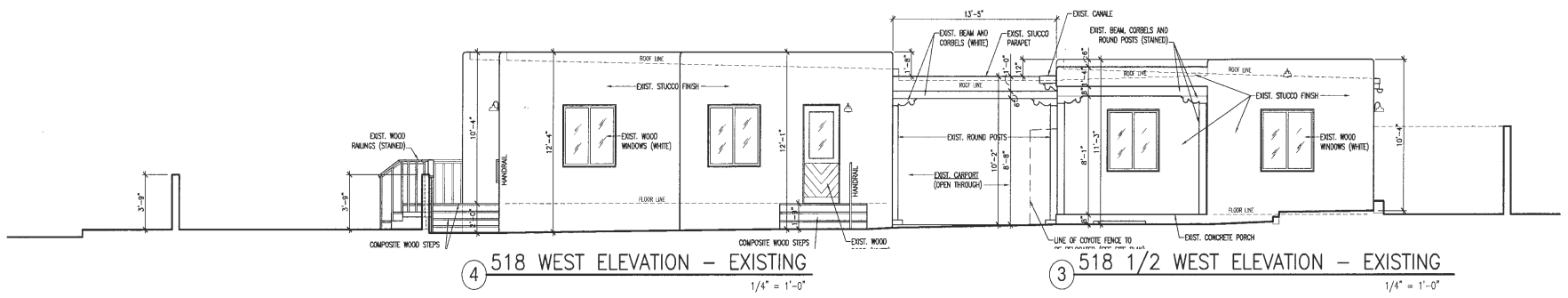
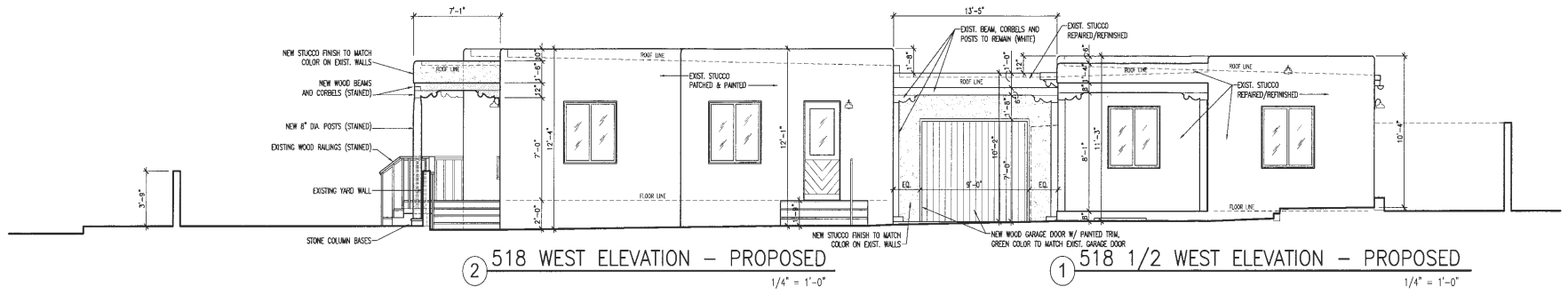
MAR 14

DATE: 2/15/2017
EXTERIOR RENOVATIONS
518 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501

WILLIAM KLEINSCHMIDT : ARCHITECT
 P. O. BOX 5249 : SANTA FE, NEW MEXICO : 87502 : 505-981-0000 : wksch@centurylink.net

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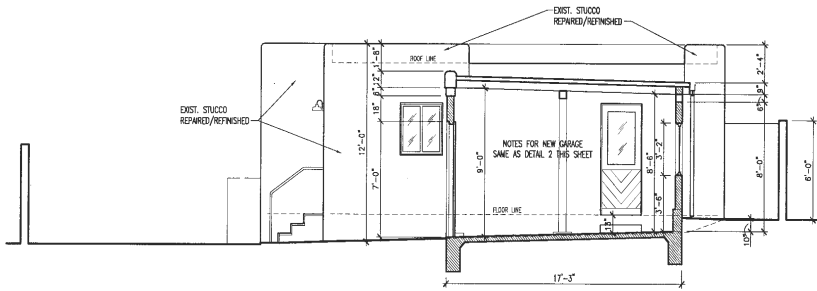


MAR 14

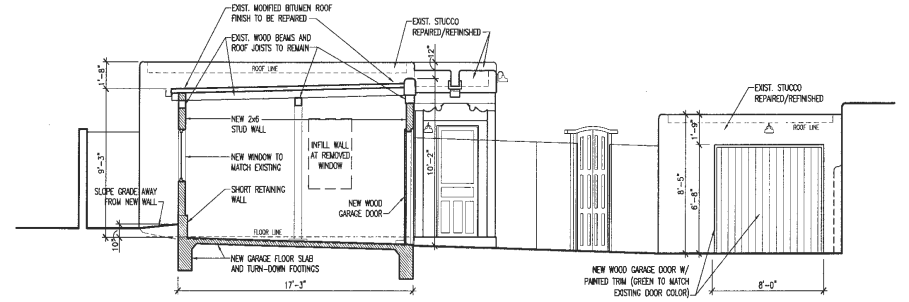
DATE: 2/15/2017
EXTERIOR RENOVATIONS
518 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501

WILLIAM KLEINSCHMIDT : ARCHITECT
 P. O. BOX 2249 | SANTA FE, NEW MEXICO | 87502 | 505-761-0000 | wkleid@earthlink.net

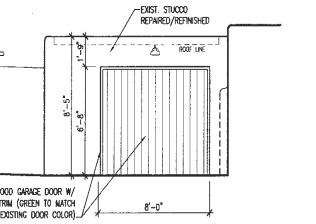
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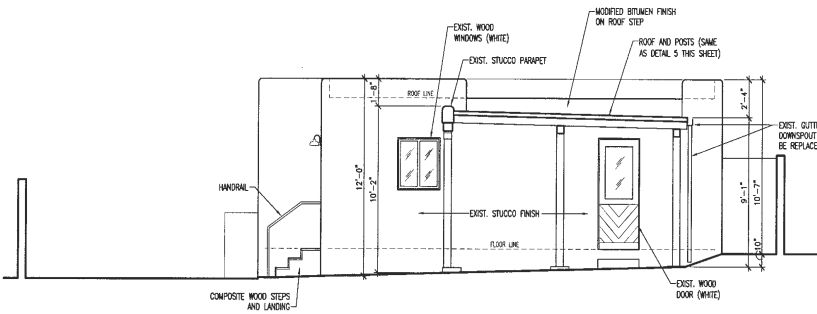
③ 518 SOUTH ELEVATION - PROPOSED
(BECOMES ENCLOSED GARAGE) 1/4" = 1'-0"



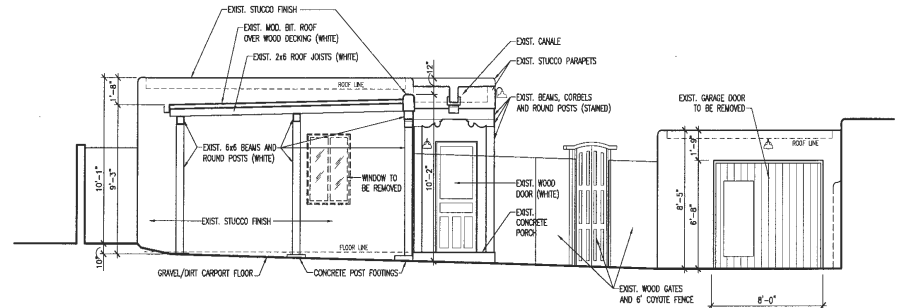
② 518 1/2 NORTH ELEVATION - PROPOSED
(BECOMES ENCLOSED GARAGE) 1/4" = 1'-0"



① EXISTING GARAGE NORTH ELEV. - PROPOSED
1/4" = 1'-0"

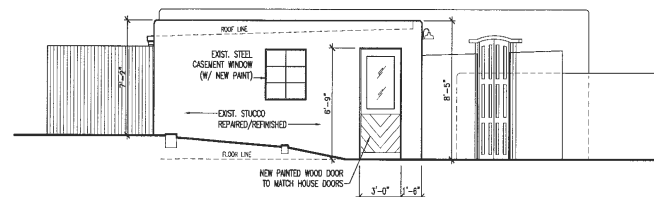


⑥ 518 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

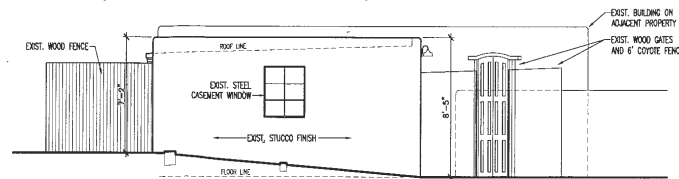


⑤ 518 1/2 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

④ EXISTING GARAGE NORTH ELEV. - EXISTING
1/4" = 1'-0"



⑦ GARAGE EAST ELEVATION - PROPOSED
1/4" = 1'-0"



⑧ GARAGE EAST ELEVATION - EXISTING
1/4" = 1'-0"

MAR 1

DATE: 2/15/2017
EXTERIOR RENOVATIONS
518 CALLE CORVO
 SANTA FE, NEW MEXICO, 87501

WILLIAM KLEINSCHMIDT : ARCHITECT
 P. O. BOX 2343 : SANTA FE, NEW MEXICO : 87502 : 505-761-0000 : wkleid@earthlink.net

Goal Book
 3/3/17
 A2.3
 28



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: May 18, 2017

To: **BUILDING PERMIT DIVISION**

From: **David Rasch, HPD Planner Supervisor:**

DR
STAFF INITIALS

Nicole Ramirez Thomas, HPD Planner Senior

NART
STAFF INITIALS

Date Submitted:

May 16, 2017

Contact Name:

Bill Kleinschmidt

Phone Number:

761-0000

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 518 Calle Convo

Description of Proposed Work:

- Change garage window on the east elevation to a door. The door shall meet the 30" lite standard. (Main house)
- Change 6' high high coyote fence to a 6' high wood gate.
- Change an ~~ear~~ window on the east elevation to a door. (detached garage)

I agree to the conditions of approval above.

WILLIAM KLEINSCHMIDT
Print Name

[Signature]
Signature

5/30/2017
Date

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

- Yes No PERMIT or PERMIT REVISION REQUIRED NART
- Yes No ROUTE TO HISTORIC DIVISION NART
- Yes No INTERIM HISTORIC INSPECTION NART
- Yes No FINAL HISTORIC INSPECTION NART



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 3 June 2019

To: BUILDING PERMIT DIVISION

From: Lisa Roach, HPD Planner Manager:

LR
STAFF INITIALS

Lani McCulley, HPD Planner Technician Senior

[Signature]
STAFF INITIALS

Date Submitted:

24 May 2019

Contact Name:

Bill Kleinschmidt

Phone Number:

761-0000

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 518 Calle Convo

Description of Proposed Work:

Install HVAC system with roof mounted condenser and ductwork with the line sets penetrating the roof as submitted with the condition that the condenser, ductwork and line sets shall not be publicly visible.

I agree to the conditions of approval above.

WILLIAM KLEINSCHMIDT
Print Name

[Signature]
Signature

6/4/2019
Date

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

Yes No

PERMIT or PERMIT REVISION REQUIRED

Yes No

ROUTE TO HISTORIC DIVISION

Yes No

INTERIM HISTORIC INSPECTION

Yes No

FINAL HISTORIC INSPECTION

[Signatures]



City of Santa Fe

LAND USE DEPARTMENT | HISTORIC PRESERVATION DIVISION



ADMINISTRATIVE APPROVAL

THIS IS NOT A CONSTRUCTION PERMIT

DO NOT BEGIN WORK WITHOUT A PERMIT. SUBMIT THIS FORM WITH YOUR CONSTRUCTION PERMIT APPLICATION AND RETAIN A COPY AT THE JOB SITE.

Date: 6/18/2019

To: BUILDING PERMIT DIVISION

From: Carlos Gemora, HPD Planner:

Via: Lisa Roach, HPD Planner Manager:


STAFF INITIALS
LR
STAFF INITIALS

Date Submitted:

6/18/19

Contact Name:

Bill Kleinschmidt

Phone Number:

505-761-0000

Be advised that per §14-5.2 SFCC 1987 the work described below at the referenced address does NOT require Historic Districts Review Board approval and is hereby staff-approved as described below. Please allow the applicant to submit for a construction permit(s) for this work if required.

Project Address: 518 Calle Corvo

Description of Proposed Work:

Scope of work approved by the HDRB in Case H-17-018B will be phased as follows:

- 1) Phase 1: Construct portal on the north (street-facing) façade, and install French drain to collect water from new portal roof, as approved by HDRB;
- 2) Phase 2: All other items approved by the HDRB in Case H-17-018B.

SEE FULL SCALE PLANS WITH PHASING ANNOTATED.

PERMIT ROUTING and REQUIRED HISTORIC INSPECTIONS

Yes No

PERMIT or PERMIT REVISION REQUIRED

Yes No

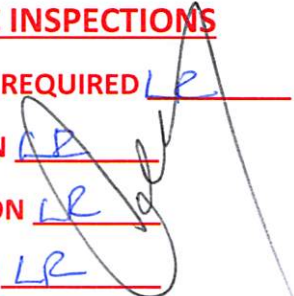
ROUTE TO HISTORIC DIVISION

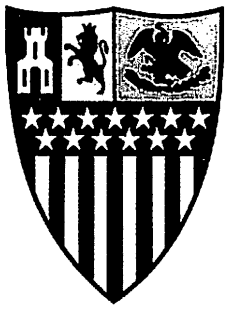
Yes No

INTERIM HISTORIC INSPECTION

Yes No

FINAL HISTORIC INSPECTION





City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, Dist. 1

Renee Villarreal, Dist. 1

Peter N. Ives, Dist. 2

Joseph M. Maestas, Dist. 2

Carmichael A. Dominguez, Dist. 3

Chris Rivera, Dist. 3

Ronald S. Trujillo, Dist. 4

Mike Harris, Dist. 4

PROJECT DESCRIPTION: Lisa Roach, agent for N. Abruzzo Holdings LLC, owner, proposes to construct a 130 sq. ft. portal, enclose a 247 sq. ft. carport, and additional remodeling at a contributing residential property. An exception is requested to construct an addition on a primary elevation (Section 14-5.2(D)(2)(d)).

Case number: H-17-018B

Project Type: HDRB

PROJECT LOCATION(S): 518 Calle Corvo

PROJECT NAMES:

OW – N. Abruzzo Holdings LLC
Albuquerque, NM 87122

11 Sandia Heights Drive NE

AP – Lisa Roach
Santa Fe, NM 87505

994 Don Manuel Street
505-362-8294

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on April 11, 2017. The decision of the Board was to find that the exception criteria to construct and addition to a primary elevation were met, and to approve the application as submitted. The Board denied the request to replace the garage door in-kind as it has not been proven that the door is beyond repair. For further information please call 955-6605.

Sincerely,

Nicole Ramirez Thomas
Nicole Ramirez Thomas

Planner Senior, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
 April 11, 2017

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E. Findings of Fact & Conclusions of Law	Approved as presented	2-3
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3. <u>Case #H-17-013B.</u>	Approved as submitted 522 Halona Street	22-24
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J. Adjournment	Adjourned at 8:12 p.m.	43

MINUTES OF THE
CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD

April 11, 2017

A. CALL TO ORDER

A regular meeting of the City of Santa Fé Historic Districts Review Board was called to order by Mr. Frank Katz, Vice-Chair, on the above date at approximately 5:30 p.m. in the City Council Chambers, 200 Lincoln Avenue, Santa Fé, New Mexico.

B. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Mr. Frank Katz, Vice Chair
Ms. Meghan Bayer
Ms. Jennifer Biedscheid
Mr. Edmund Boniface
Mr. William Powell
Mr. Buddy Roybal

MEMBERS EXCUSED:

Ms. Cecilia Rios, Chair

OTHERS PRESENT:

Mr. David Rasch, Historic Planner Supervisor
Ms. Theresa Gheen, Assistant City Attorney
Ms. Nicole Ramirez Thomas, Senior Planner
Mr. Carl Boaz, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Planning Department.

C. APPROVAL OF AGENDA

Member Boniface moved to approve the agenda as presented. Member Roybal seconded the

motion and it passed by unanimous voice vote. Member Powell was not present for the vote.

D. APPROVAL OF MINUTES - March 28, 2017

Vice-Chair Katz requested a change on page 9, middle of the page where it should say, "Member Katz' comments are well taken."

Member Boniface moved to approve the minutes of March 28, 2017 as amended. Member Bayer seconded the motion and it passed by unanimous voice vote except Member Biedscheid abstained and Member Powell was not present for the vote.

E. FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Case #H-17-003. 1405 Paseo de Peralta.

The findings of fact and conclusions of law for Case #H-17-003 are attached to these minutes as Exhibit 1.

2. Case #H-15-042. 355 East Palace Avenue.

The findings of fact and conclusions of law for Case #H-15-042 are attached to these minutes as Exhibit 2.

3. Case #H-17-023. 645 East Palace Avenue Unit 1.

The findings of fact and conclusions of law for Case #H-17-023 are attached to these minutes as Exhibit 3.

4. Case #H-13-095. 321 West San Francisco Street.

The findings of fact and conclusions of law for Case #H-13-095 are attached to these minutes as Exhibit 4.

5. Case #H-17-027. 340 Delgado Street.

The findings of fact and conclusions of law for Case #H-17-027 are attached to these minutes as Exhibit 5.

6. Case #H-07-023. 505 Camino Sin Nombre.

The findings of fact and conclusions of law for Case #H-07-023 are attached to these minutes as Exhibit 6.

7. Case #H-17-026A. 645 East Palace Avenue Unit 3.

The findings of fact and conclusions of law for Case #H-17-026A are attached to these minutes as Exhibit 7.

No changes were requested for any of the findings of fact and conclusions of law.

Member Bayer moved to approve the Findings of Fact and Conclusions of Law as presented. Member Boniface seconded the motion and it passed by unanimous voice vote except Member Biedscheid abstained and Member Powell was not present for the vote.

F. BUSINESS FROM THE FLOOR

There was no business from the floor.

G. COMMUNICATIONS

Mr. Rasch said the Board postponed 201 Old Santa Fé Trail for changes. He would like to get them in the agenda next time so by the end of tomorrow is the deadline.

He also announced that the annual Santa Fe Heritage Preservation Awards ceremony will be on May 18 at 5:30 at a location downtown.

Ms. Gheen announced that the hearing before the Governing Body on the appeal of the case at 547 Hillside has been rescheduled for May 10.

Member Powell arrived at 5:34.

H. ACTION ITEMS

Vice-Chair Katz announced to the public how appeals may be filed to decisions of the Board and announced that signs need to be taken down after this meeting.

Mr. Rasch said if they are left up, after 30 days, the applicant can be fined.

1. **Case #H-17-018B. 518 Calle Corvo.** Downtown & Eastside Historic District. Lisa Roach, agent for N. Abruzzo Holdings LLC, owner, proposes to construct a 130 sq. ft. portal, enclose a 247 sq. ft. carport, and additional remodeling at a contributing residential property. An exception is requested to construct an addition on a primary elevation (Section 14-5.2(D)(2)(d)). (Nicole Ramirez Thomas)

Ms. Ramirez Thomas gave the staff report as follows:

BACKGROUND & SUMMARY:

518 and 518 ½ Calle Corvo is a contributing property consisting of a main residence (518), a guest residence (518 ½), and a free-standing garage. All three structures are designated as contributing to the Downtown and Eastside Historic District. They are built in the Spanish Pueblo Revival style and were constructed in the 1940s. The HDRB, at their hearing on March 14, 2017, designated the north elevation of the main residence, the west elevation of the guest residence, and the north elevation of the garage as primary elevations.

The applicant requests to remodel the property with the following five items.

- 1) Construct a 130 sq. ft. portal on the north elevation of main residence. A composite wood deck currently exists in this location. The applicant proposed to roof the existing deck at the front entry of the home. The portal would have a stuccoed parapet and stained wood beams, posts, and corbels. An exception to construct an addition to a primary elevation is requested (14-5.2(D)(2)(d)). The exception responses are found at the end of this memo.
- 2) Enclose an existing carport. The carport is located between the main residence and the guest residence. It is a covered structure already attached to both main house and guest house structures and has been intact since before 1960. The carport enclosure would not result in additional square footage/covered space to the property. The carport addition will maintain the existing white painted wood posts, the existing beams and corbels, addition of a wall with a window on the east elevation of the carport, and addition of a garage door on the west elevation. The door will be painted green to match the existing free-standing garage door. An exception was not requested to use lites greater than 30".
- 3) Addition of a door on the east elevation of the free-standing garage. The door will be wood and painted white. The door will have one lite panel that exceeds the 30" lite rule. An exception was not requested to use lites greater than 30". However, Ms. Roach provided new drawings to eliminate any need for that exception. [A copy of the drawing is attached to these minutes as Exhibit 8.]

One thing caught by ember Biedscheid on the field trip was the proposed change of the garage door on the historic free-standing garage. Ms. Roach may address that.

- 4) Resurface the driveway.
- 5) Patch stucco where necessary. The applicant did not provide a color sample or state the type of stucco that will be used on the building. They will provide this information at the hearing.

RELEVANT CODE CITATION

14-5.2(D) General Design Standards for All H Districts

(2) Additions

(c) Additions are not permitted to *primary façades*.

EXCEPTION RESPONSES

(l) Do not damage the character of the *streetscape*;

Applicant Response: The proposed portal is compatible in style and scale to the existing home, the rear residence at 518 ½ Calle Corvo, and the surrounding streetscape. It features stuccoed massing atop stained wooden beams, posts, and corbels. Because the proposed addition is harmonious to the streetscape, it poses no potential damage to the streetscape.

Staff Response: Staff agrees with this response. Portals are encouraged in the Downtown and Eastside.

(ii) Prevent a hardship to the *applicant* or an injury to the public welfare;

Applicant Response: The proposed portal is an attempt to provide covering from the elements over the main entry of the home for enhanced comfort of the residents of the home when entering and exiting. It is similar in placement and design to the portal at 518 ½ Calle Corvo, which greatly improves the ease of entry/exit and provides a comfortable outdoor space.

Staff Response: Staff agrees with this response. Providing appropriate cover over the entry prevents a hardship to the applicant.

(iii) Strengthen the unique heterogeneous character of the *city* by providing a full range of design options to ensure that residents can continue to reside within the historic districts;

Applicant Response: When considering the range of design options for the east (primary) façade of 518 Calle Corvo, the applicant considered no addition, leaving an exposed deck that is dissimilar to other treatments of primary façades in the streetscape. A smaller, more simplified Pueblo Revival style portal was also considered. However, the portal design as proposed provides a design solution that minimizes the appearance of the existing deck, is compatible in style and scale to the portal at 518 ½ Calle Corvo, and harmonizes with the streetscape.

Staff Response: Staff agrees with this response. A range of options were considered.

(iv) Are due to special conditions and circumstances which are peculiar to the land or *structure* involved and which are not applicable to other lands or *structures* in the related *streetscape*;

Applicant Response: The existing structure at 518 Calle Corvo was interestingly constructed originally without a portal at the main entry of the home; whereas, the auxiliary residence at 518 ½ did have a portal originally, similar to other Pueblo Revival style homes in the streetscape and immediate neighborhood. The applicant proposes to add a portal that harmonizes with the pattern of design and construction that is common elsewhere in the district.

Staff Response: Staff agrees with this response. Unlike other properties in the neighborhood the house never had a portal.

(v) Are due to special conditions and circumstances which are not a result of the actions of the *applicant*; and

Applicant Response: The need for a portal at the primary façade of 518 Calle Corvo is not due to any previous actions of the applicant. There was no portal originally, and at some point, in the recent past a deck was placed on the primary façade that replaced a concrete pad. The portal would minimize the appearance of this deck, which does not conform to the neighborhood.

Staff Response: Staff does not agree with this response. The recently added deck is the result of the actions of the applicant. The applicant may be able to provide an answer to this criterion that satisfies the Board.

(vi) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

The portal as proposed by the applicant seeks to satisfy the needs of the residents while satisfying the intent of 14-5.2(A)(1) to promote the economic, cultural and general welfare of the residents of Santa Fe's historic districts and ensure harmonious development therein. The proposed portal design conforms to the historic style of the home and promotes its continued use and preservation while harmonizing with the surrounding streetscape in style, form, height, and proportion and will therefore create the least negative impact to the district.

Staff Response: Staff agrees with this response. The proposed portal harmonizes with the Santa Fe style as it is set forth in the ordinance.

STAFF RECOMMENDATION:

Staff finds that all but criterion (v) of the exception criteria have been answered to her approval. Further testimony from the applicant may answer the criterion to the satisfaction of the Board. Otherwise staff recommends approval of the project as it complies with 14-5.2(D) General Design Standards for All H Districts and 14-5.2(E) Downtown and Eastside, with the condition that a divided lite is used on the door on the east elevation of the garage and window on the east elevation of the enclosed carport, or an exception is requested.

Questions to Staff

There were no questions to Staff.

Applicant's Presentation

Ms. Lisa Roach was sworn. She said the new drawings replace sheets A 2.2 and 2.3 and show the proposed lite pattern for the east window of the carport enclosure and the east door on the free-standing garage with a four-lite pattern on each. That would satisfy the 30" rule.

Regarding criterion 5, the primary need for a portal at the front entry is to cover the entry from the elements and not to minimize the appearance of the deck which replaced a concrete pad in the same

dimensions. She understood portals are encouraged in this district and the design is consistent both with the development pattern on the property and within the neighborhood and meets the criteria for Santa Fe Style.

Questions to the Applicant

Vice-Chair Katz asked about the garage door.

Ms. Roach said she inadvertently did not include that in the proposal but the owner desires to replace the garage door because it is not operable now and the owner just wants to make it operable and provide additional security. The pedestrian part of the garage door is operable but the rest of it is not. To make it functional and secure, the proposal would be to replace the garage door and would follow whatever the Board recommends on how to handle that inadvertent omission from the proposal.

Public Comment

There were no speakers from the public regarding this case and the public hearing was closed.

Board Discussion

Vice-Chair Katz pointed out regarding the portal that almost all the other homes in the streetscape do have a portal at the front door but, as a question for Staff or the City Attorney, we have a rule to not put an addition on a primary façade and this is a primary façade. He asked what considerations should go into the Board's decision and if it is just the exception criteria.

Ms. Ramirez Thomas agreed. The first criterion is "Do not damage the character of the streetscape." Staff does not feel this will damage the streetscape because it is common to see front portals on the streetscape and it prevents a hardship to the applicant by providing shelter over the front door, which is a common and necessary item.

Vice-Chair Katz noted also that it is north-facing front door so it would help prevent ice there.

Ms. Ramirez Thomas agreed. The third criterion is, "Strengthen the unique heterogenous character of the City by providing a full range of design options to ensure the residents can continue to reside within the historic district. Currently, there is one option - the deck and the previous option was the cement pad or nothing at all and now a portal is proposed.

Number 4 was addressed because it is peculiar here that a portal was never added to the front of this structure.

The fifth criterion is "Due to special conditions and circumstances." This one is always challenging. So, she asked Ms. Roach to provide more testimony.

The sixth is that the portal does harmonize with Santa Fe Style.

Mr. Rasch added that in 14-5.2 C, the Board should also consider how the additions standard applies, which he read. Also, reversibility should be considered.

Member Biedscheid pointed out that most of the portals in the streetscape don't have a short wall and this will retain the wood railings. She asked if that affects the streetscape.

Ms. Ramirez Thomas said it is unique to the house.

Member Biedscheid asked if they would be able to reverse that.

Ms. Roach said the owner prefers not to dismantle it because it is in good condition.

Member Boniface noted it is two feet high and a railing is required if it is 2½ feet.

Member Biedscheid asked if the garage door is historic.

Ms. Roach said it is the original door and it will be replaced in-kind of the same materials.

Mr. Rasch said if it is beyond repair, the door can be replaced without an exception.

Vice-Chair Katz said it appears the problem is not the wood but the mechanical parts.

Ms. Roach said she could ask the architect to address it.

Mr. William Kleinschmidt, 6 Senda Artemisio, was sworn. He said the operating mechanism, rails and springs are not repairable and the door is wedged in there so it won't come down. The door slab itself could possibly be reused but the mechanism is not fixable.

Ms. Ramirez Thomas said the mechanism is on the inside and the ordinance addresses only the door itself. There would need to be a demonstration of wood rot to replace it in-kind. It is similar and of wood but that is how the exception considers it.

Vice-Chair Katz surmised the Board could approve a new mechanism but not the wood.

Ms. Ramirez Thomas said the Board would not need to approve the interior mechanism.

Member Powell asked about the pedestrian door.

Ms. Ramirez Thomas said she didn't know how long the pedestrian door has been part of the streetscape.

Member Boniface said the garage door is a single slab door so the hinge is actually inside as one hinge. They are still sold today although more commonly it is in four slabs that roll up. If the Board allowed it to be replaced, the door would have to remain as a single slab or cut it in four slabs but that gives a very



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005994--HDRB

Project Description: Approval of addition and coyote fencing approved in 2015 case (expired)

Project Location(s): 802 E PALACE AVE
Santa Fe, NM 87501

Contacts:

Applicant: JOHN GRANITO
606 GOMEZ RD
SANTA FE, NM 87501

JOHN@BUENAVISTASF.CO

Property Owner: Anna & Jacqueline Voltura & Rudolph

jacquelineroth@live.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: November 8, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005994-HDRB

Address: 802 E. Palace Avenue
Historic Status: Downtown
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
 Historic Inventory Form
 Zoning Review Sheet
 Other:

APPLICANT SUBMITTALS

- Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

802 East Palace is a 3,425 square foot residence constructed between late 1950s and early 1960s in a mid-century version of Spanish-Pueblo Revival Style. After significant alterations, it was designated non-contributing to the Downtown and Eastside Historic District. The applicant returns to the board to seek approval of items # 5 and #6 underlined in the scope of work below which was approved by the board on November 25, 2014. Items 5 and 8 were not completed.

The remodel included:

1. Removal and reconstruction of non-historic carport and entry to the residence on the street-facing east façade, featuring stuccoed massing, wood header, posts and simplified corbels on the new carport;
2. addition of a new entry element on the street-facing east façade, feature in an exposed wood header above a pair of wooden entry gates with metal grills protected by a bracketed overhang with wooden details and copper cap;
3. replacement of large picture window on street-facing east façade with ashite-clad divided lite window to match the existing non-historic windows;
4. Removal of existing French doors on the street-facing façade;
5. Addition of a 506 square foot studio on the rear-facing west elevation in Pueblo-Revival style and portals on the north and south elevations totaling 102 square feet;
6. addition on the north elevation of an approximately 400 square foot deck, of which 262 square feet will be covered by a flat-roofed portal with wooden posts and simplified corbels. The proposed deck will be constructed of a metal sub-frame and concrete-panel decking and will also feature a hot tub, wooden balustrade with wooden top-rail, and wooden staircase down to the lower level of the west-sloping lot;
7. removal of non-historic stairwell and enclosure on the south elevation and replacement with a divided lite window and window-well/curb;
8. Construction of new coyote fencing to a height of 3 feet at the east street-facing lot line and to a height of 5' – 8" between the proposed studio addition and the rear lot line;
9. construction of new 5' high stuccoed yard wall with gate between the residence and the existing north yard wall and new 3' high stuccoed yard wall between the front lot line and the proposed carport;
10. extension of the existing north yard wall to the maximum allowable height of 6'; and
11. installation of landscape features, including planters, swales, low (3' maximum) stacked stone retaining walls and detention pond.

The new studio will match the Spanish-Pueblo Revival style of the main residence and the portals will be traditional with vigas and parapets.


No other changes are proposed.

RELEVANT CODE CITATIONS:

14-5.2(E) Downtown and Eastside Design Standards

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

building threatened? yes	surveyed date 3/85 by SL	county SANTA FE	ID no. 051612293
field map SFHD #5	number 2293	UTM reference easting northing zone 12 13	
location description 802 ^{E.} PALACE AVE.		city/town SANTA FE	
		land grant/reservation	
building name	legal description tnsp ___ N S range ___ E W sec ___ 1/4 1/4		
film roll by SL no. 34	negative nos. 20	loc. of neg. HPB	plan shape
		date of construction Post '45 estimate _____ actual source directory	
		use present residential other _____ historic residential other _____	
		condition ___ excellent ___ good ___ fair ___ deteriorating	
		degree of remodeling ___ minor ___ moderate ___ major describe:	
wall material/surface		surroundings residential	
architectural features		relationship to surroundings ✓ similar ___ not similar	
		district potential ✓ yes ___ no	
		significance ___ eligible ___ of ✓ none if eligible, interest	
comments		why? age	
		associated buildings? ___ yes what type?	
		if inventoried, list ID nos.	
		see back? ___ yes	

The applicants are submitting for re-approval of a studio addition that was previously approved by HDRB in 2014.

This addition is one part of the work that was approved previously which was mostly completed. The studio was the part that was not done because the owners decided to postpone the studio addition at that time..

The applicants wish to build the studio in the exact way as was previously approved :
a 506 sq ft studio with 102 sq ft of portal area
for a total of 608 sq ft.

the height of the structure is 13'8"
as was previously approved.

The construction to be frame and stucco in the pueblo style.
As previously approved.

The windows to be divided lights of good quality: Pella or Sierra Pacific type brands with a clad finish: Stoney plain, a shade of white.
Stucco: "adobe" from El Rey
All previously approved.

The light fixtures are copper sconces.
As previously approved.

A coyote fence will be constructed between the Studio and rear yard. Also previously approved.

The residence is a single family residence constructed in The 1950's

It is an historically non-contributing structure according to HDRB records and verified

In the minutes from the project approval, 2014.

Thank you for your re-approval of this remaining part of the project.

Authentixair
Anna M Voltura

10/06/22

Authentixair
Jacqueline Rudolph

10/05/22



DESIGNED BY	M. BODELSON
CHECKED BY	M. BODELSON
DATE	OCTOBER 2014
PROJECT NO.	10127
DATE	REVISIONS
BY	

STORM WATER CALCULATIONS

CITY OF SANTA FE

SMALL PROJECT DRAINAGE CALCULATIONS

IMPROVEMENTS	SQ. FT.
FRONT PORCH	35
REAR PORCH	310
STUDIO PORTALS	100
CONC. WALK	100
TOTAL IMPROVEMENTS	1,200 SQ. FT.

STORAGE REQUIRED
AREA X .14 = CUBIC FEET REQUIRED
1,200 X .14 = 168 CUBIC FEET
VOLUME PROVIDED
POND 7'8" X 10' X 1'9" = 120 CUBIC FEET
POND 7'8" X 10' X 1'9" = 120 CUBIC FEET
240 CUBIC FEET > 168 MINIMUM REQUIRED

ALL INTERIOR WATER BELD IN DETENTION POND AND BAINS TO BE PUMPED FROM POND TO STREET IN 48 HOURS FROM THE END OF A RAINFALL EVENT

GENERAL DRAINAGE AND GRADING NOTES

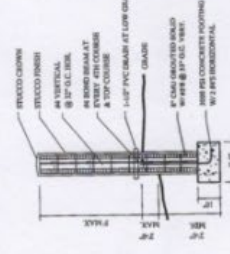
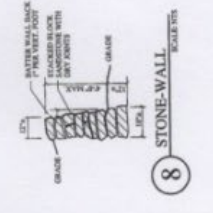
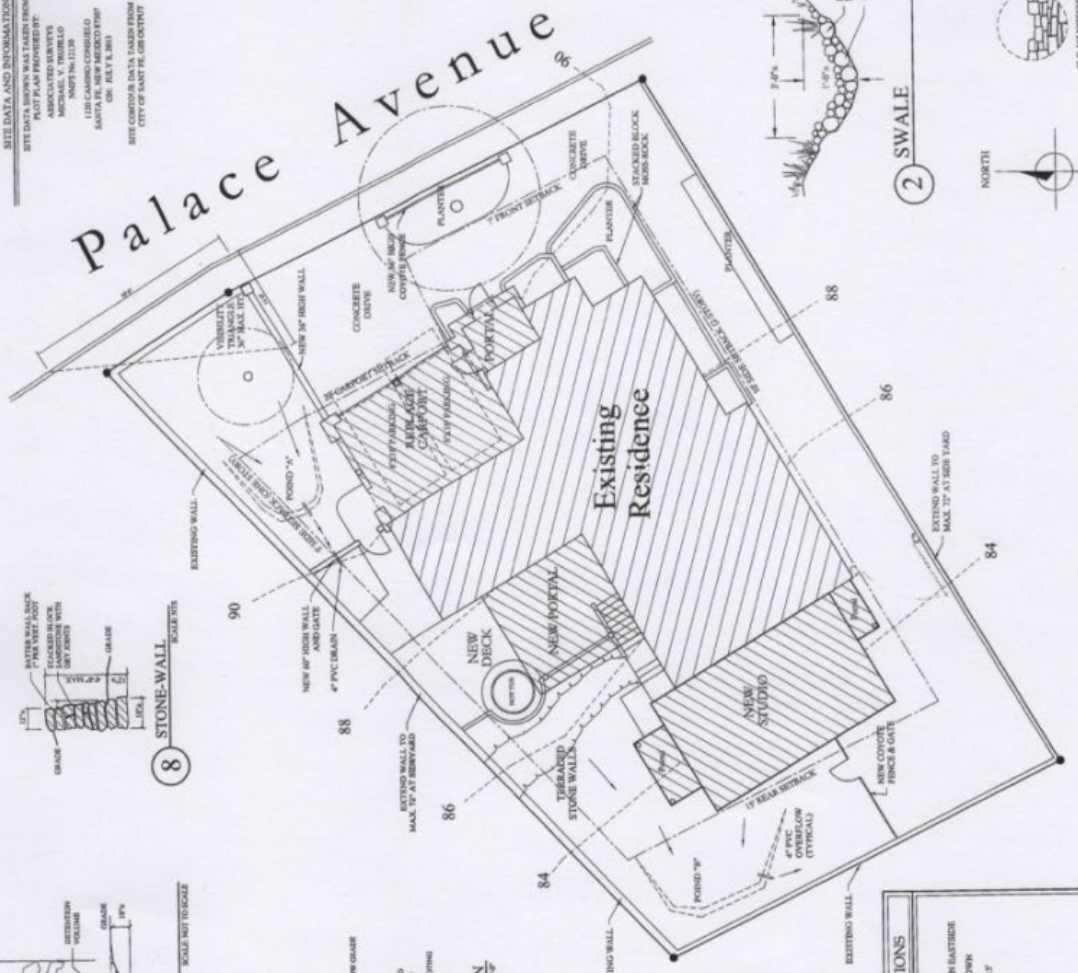
- MAXIMUM CUT SLOPES SHALL NOT EXCEED 3:1 UNLESS PROVIDED WITH RETAINING WALL OR OTHER RETRAINING METHOD
- MAXIMUM FILL SLOPES SHALL NOT EXCEED 3:1 UNLESS PROVIDED WITH RETAINING WALL OR OTHER RETRAINING METHOD
- ALL DISTURBED GRASSES TO BE REVEGETATED WITH NATIVE GRASS MIX AS PER LANDSCAPE NOTES
- ON SITE PAVING INDICATED TO COMPLY WITH REQUIREMENTS OF SANTA FE DRAINAGE REQUIREMENTS FOR STORM WATER CONTROL.

GENERAL LANDSCAPING NOTES

- ALL DISTURBED GRASSES TO BE SEEDED WITH NATIVE GRASS MIX AS FOLLOWS: 50% BLUE GRAMA, 30% TREATED BUFFALO GRASS, 20% GALLIATA GRASS.
- SEEDING TO BE CONDUCTED AFTER JUNE 1ST AND BEFORE AUGUST 1ST.
- PLANTS SHALL BE 1" PER 100 SQ. FT. PER 100 SQ. FT. OF DISTURBED AREA. PLANTS SHALL BE PLANTED TOGETHER WITH EXISTING ADJACENT AREAS.

SITE DATA AND INFORMATION

SITE DATA SHOWN WAS TAKEN FROM:
ALTIMETER SURVEY
MICHAEL V. TRUBILO
SURVEY NO. 11219
LIDAR CHANGES CORRECTED
BASED ON SURVEY DATA
DATE: JULY 8, 2014
CITY OF SANTA FE, NEW MEXICO



LOT DATA & CALCULATIONS

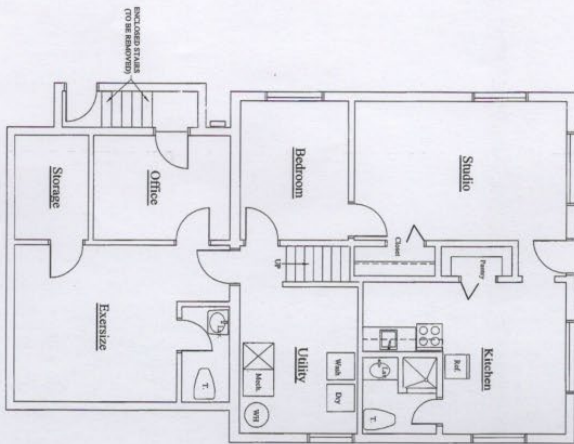
- ZONING DISTRICT: R-21
- OVERLAY DISTRICT: HISTORIC DOWNTOWN BARTSIDE
- OVERLAY DISTRICT: HISTORICAL DOWNTOWN
- SETBACKS: FRONT-75', SIDE 5'10", REAR-15'
- MAX. LOT COVERAGE: 40%
- LOT AREA: 1,880 SF
- ALLOWABLE COVERAGE: 1,152 SF
- PROPOSED COVERAGE: 1,104 SF
- ON-SITE PARKING REQUIRED: 2 SPACES PROVIDED: 2 SPACES
- ARCHAEOLOGICAL DISTURBED SURFACE AREA: 1,788 SF.

1 PROPOSED SITE PLAN

SCALE: 1" = 1'-0"

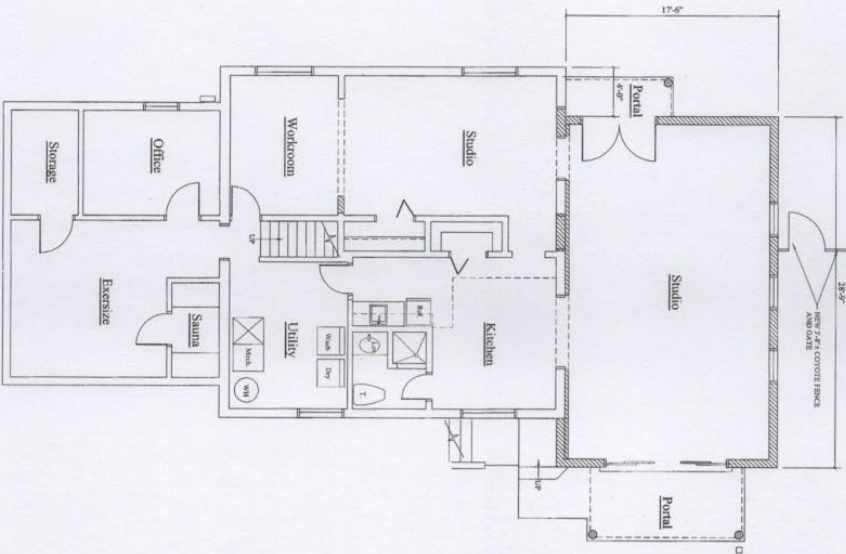


Revised: 09-28-14



2 EXISTING LOWER FLOOR PLAN

SCALE 1/4" = 1'-0"



2 PROPOSED LOWER FLOOR PLAN

SCALE 1/4" = 1'-0"

Revised: 10-10-14

3
SHEET 3 OF 8 SHEETS

DATE:	10/10/14
SCALE:	AS SHOWN
PROJECT:	LA ARBOLEDA SUBDIVISION
CLIENT:	LA ARBOLEDA SUBDIVISION
ARCHITECT:	MICHAEL A. BODELSON ARCHITECT
REGISTERED:	NEW MEXICO
NO.:	10101

PROJECT NAME:
The Voltera/Rudolph - Addition
La Arboleda Subdivision

802 Palace Ave.
Santa Fe, NM

PHONE: (505) 474-4673

SHEET TITLE:
EXISTING FLOOR PLAN

MICHAEL A. BODELSON
ARCHITECT

SANTA FE, NEW MEXICO

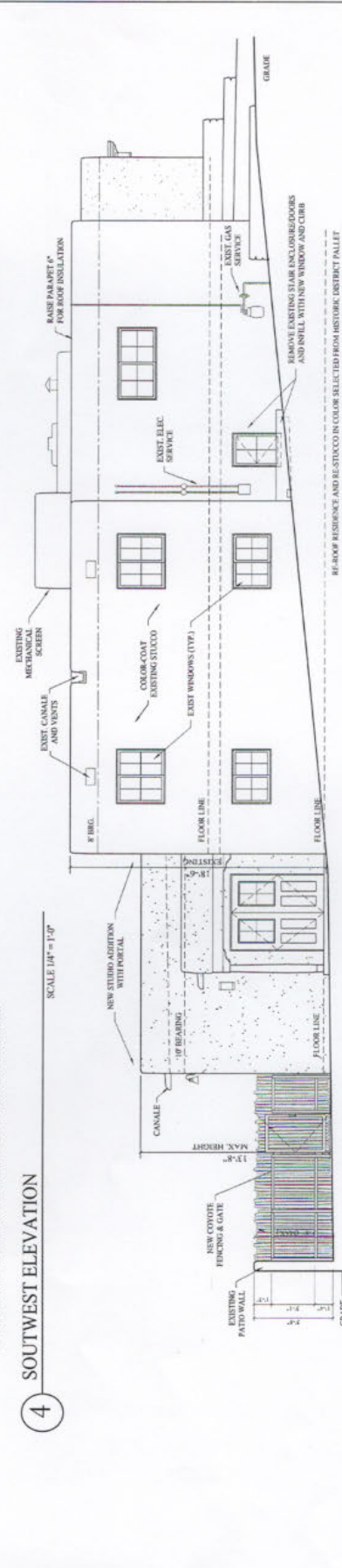
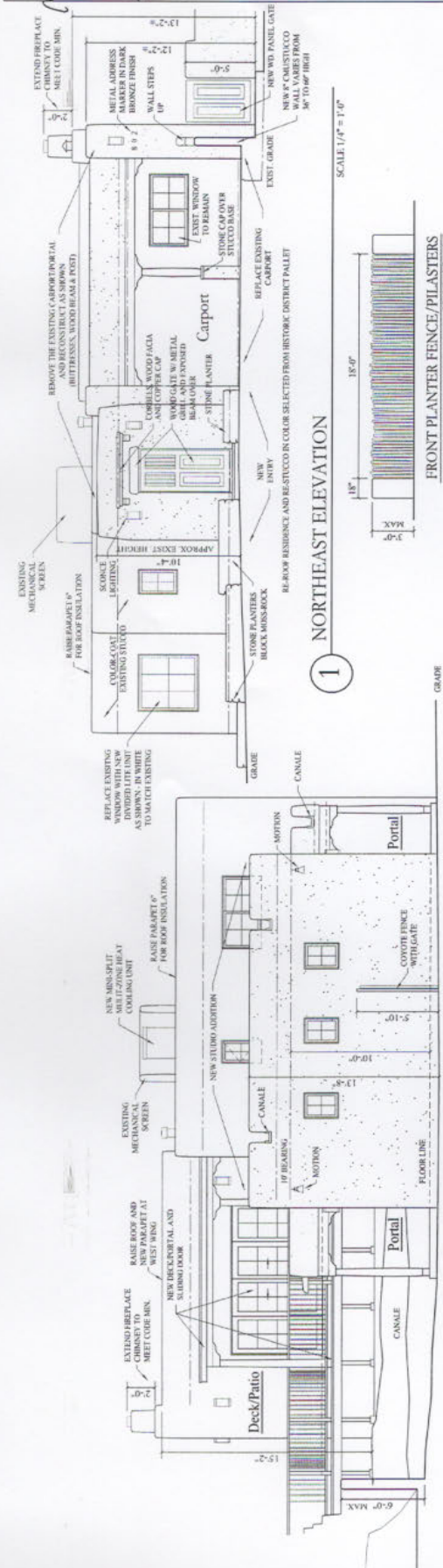


DESIGNED BY	M. BODELSON
CHECKED BY	MB
DATE	JUN 2013
PLOT SCALE INDICATED	
COMP. FILE	
DATE	
BY	
REVISIONS	

PROJECT NAME: The Volterra/Rudolph - Addition
 La Arbolada Subdivision
 802 Palace Ave.
 Santa Fe, NM

SHEET TITLE: PROPOSED ELEVATIONS

MICHAEL A. BODELSON ARCHITECT
 PHONE: (505) 474-6073
 SANTA FE, NEW MEXICO





SANTA FE, NEW MEXICO

MICHAEL A. BODELSON ARCHITECT

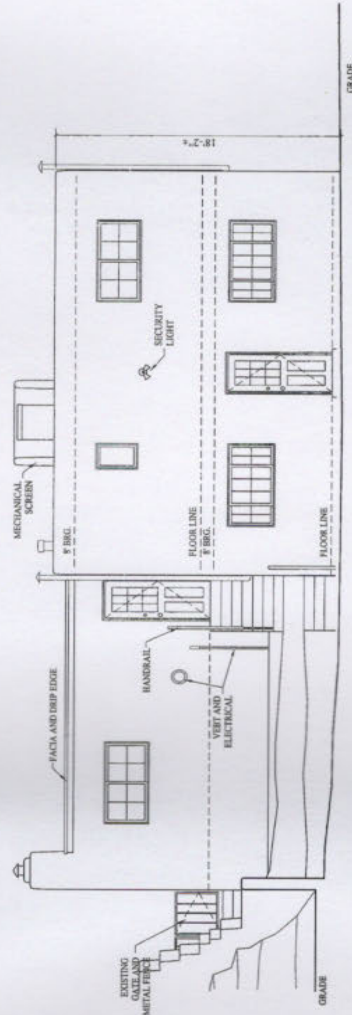
PHONE: (505) 474-4673

PROPOSED ELEVATIONS

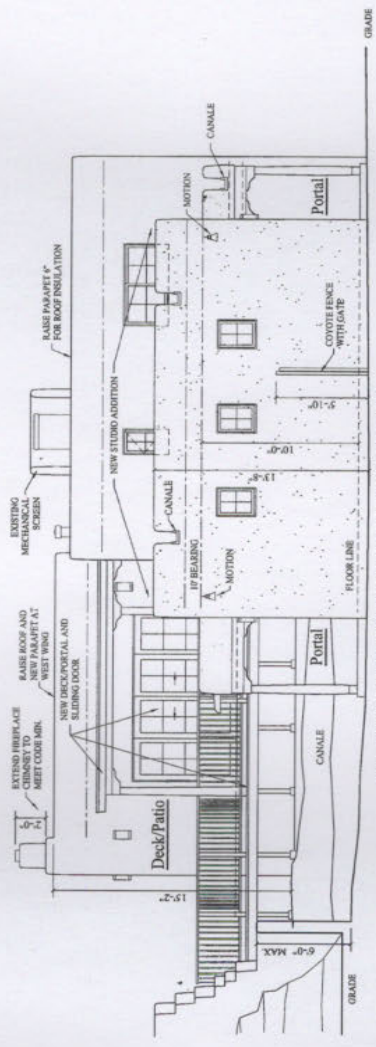
PROJECT NAME: The Volera/Rudolph - Addition
 La Arboleda Subdivision
 Santa Fe, NM
 802 Palace Ave.

DESIGNED: M. BODELSON
DRAWN: MB
CHECKED: MB
DATE: OCTOBER 17, 2014
SCALE: AS SHOWN
APP. NO. 10.12
COMP. FILE
DATE:
BY:
REVISIONS

8
 SHEET 6 OF 8 SHEETS



1 EXISTING - SOUTHWEST ELEVATION
 SCALE 1/4" = 1'-0"



2 PROPOSED - SOUTHWEST ELEVATION
 SCALE 1/4" = 1'-0"

RE-ROOF RESIDENCE AND RE-STUCCO IN COLOR SELECTED FROM HISTORIC DISTRICT PALETTE

802 E PALACE AVE



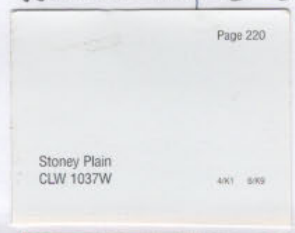
DRIVEWAY FROM STREET
PROPOSED STUDIO IS NOT VISIBLE
FROM STREET

to Swatch for Window Frame

802 E. PALACE AVE

WINDOW FRAME COLOR

STUCCO COLOR



AS PREVIOUSLY APPROVED

802 E. PALACE AVE



BUILDING SITE STUDIO
FACING TOWARD DRIVEWAY

802 E. PALACE AVE



EXISTING STRUCTURE + BUILDING SITE; STUDIO

City of Santa Fe, New Mexico

memo

DATE: November 8th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005984-HDRB

Address: 523 Armijo St.
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the main house and garage be designated as contributing with the primary facade designated as the south elevations including the enclosed log porch per 14-5.2(C) Designation of Significant and Contributing Structures. Staff also recommends the stone yard walls as contributing structures.

BACKGROUND & SUMMARY:

523 Armijo Street is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. The residence sits at the convergence of Armijo Street and Tony Street.

The house was built in the Vernacular Style and has a rectangular footprint, adobe walls, and low-pitched roof. The covered entry porch has been enclosed into log cabin room and sits on field stone foundation. The log addition was created by a U.S. Forest Service employee. It has a concrete block parapet and wood canales. The house has steel casement windows. The west façade has a side porch addition with half-height tongue and groove siding with screens above, on stone foundation and a replacement door. It is a unique example of vernacular building in Santa Fe.

The garage is a simple single gabled structure and has tongue and groove hinged doors and is connected to house by an open lean-to structure. Low stone yard walls wrap the street frontage.

RELEVANT CODE CITATIONS:

14-5.2(A)(1) General Purpose

In order to promote the economic, cultural, and general welfare of the people of the city and to ensure the harmonious, orderly and efficient growth and development of the city, it is deemed essential by the governing body that the qualities relating to the history of Santa Fe, and a harmonious outward appearance, which preserve property values and attract tourists and residents alike, be preserved, some of these qualities being:

- (a) The continued existence and preservation of historical areas and buildings;
- (b) The continued construction of buildings in the historic styles; and
- (c) A general harmony as to style, form, color, height, proportion, texture and material between buildings of historic design and those of more modern design.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

- (a) Each structure to be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as the addition of conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
- (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and

- (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

14-12 Contributing Structure:

A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Primary Façade:

One or more principal faces or elevations of a building with features that define the character of the building's architecture.

14-12 Noncontributing Structure:

A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H district.

A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board
City of Santa Fe, City Hall
Santa Fe NM 87501

Saturday, October 1, 2022

RE: 523 Armijo
Enclosed (1) 24"x36" copies

A-1	Site Plan	9/30/22
A-2	Floor Plan & Elevations	9/30/22

HDRB Application
Photographs of elevations

Dear Carly Piccarello and
Members of the Historic Districts Review Board

We hereby request status review and primary elevation designation on the house at 523 Armijo.

Please call if you have any questions on the project 982-5461
Sincerely,



Christopher Purvis.

September 26, 2006

David A. Rasch
Senior Planner in Historic Preservation
City of Santa Fe
PO Box 909
200 Lincoln Ave.
Santa Fe, NM 87504-0909

re: 523 Armijo Street

The log cabin addition on this house is easily the most memorable architectural feature of the immediate neighborhood. The remainder of the structure, a solid adobe with a low pitched roof, has lost the majority of its original character-defining elements.


This house is the product of 20th century vernacular building practices that have better survived on the West side than in the historic districts. I have hesitated to recommend a status upgrade to this non-contributing structure because I do not think the ordinance is well-prepared to direct the preservation of near-contemporary vernacular elements. The ordinance tends to arrest the eccentric and haphazard evolution that is at the heart of contemporary vernacular traditions. The house is part of a single-sided streetscape with a more rural feel. The neighborhood has already experienced quite a number of well-meaning 'upgrades' that have transformed modest vernacular dwellings into fictive participants in the Spanish-Pueblo Revival. These considerations lead me to recommend, pending an assessment of the structural stability of the log cabin, that the status be upgraded to contributing.

Because the features present in this house are not typical, indeed not really even envisioned by the ordinance, I feel that simply establishing the status and letting the ordinance govern will not provide adequate guidance for the treatment of this structure. I would recommend creating a detailed preservation plan as a development agreement with the owner. The preservation plan should acknowledge that without the log cabin, the house has almost no other original character defining elements extant, and that holding it to the standard of a contributing building will be problematic for the reasonable rehabilitation of the building. As an example, I don't believe the steel casements are original to the house, although they are likely more than 50 years old. I feel that a development agreement of some sort is necessary to balance the onus of maintaining the log cabin construction with some much greater freedom in treating the core structure.

A more thorough dating of elements such as windows and the pitched roof is required for an appropriate preservation plan.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

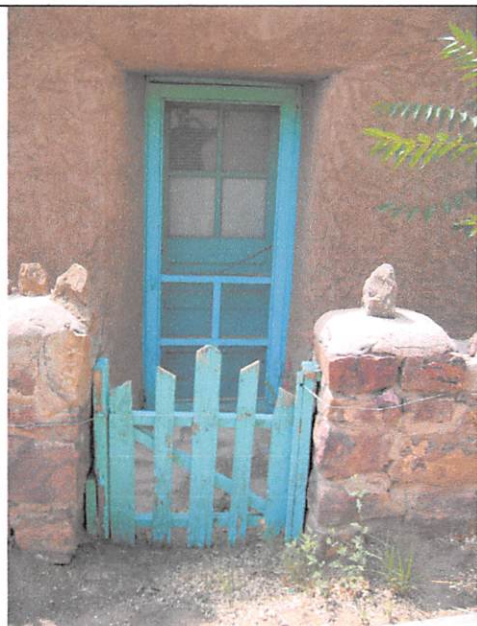
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property:	2. Location: 523 Armijo Street	3. Local Reference Number: 151612020
		4. County Santa Fe County, NM
5. Property Type: <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Site <input type="checkbox"/> Object	Photo: 	
6. Date of Survey: June 26, 2006		
7. Previous Survey Date(s): 10/2/84 <input type="checkbox"/> No previous survey		
8. Name of Project:		
9. UTM (NAD27) Zone: Easting: Northing:		
10. Photo Information Disk Location: _____ View of: Front Facade (south)		
Digital Photography held by City of Santa Fe, 200 Lincoln Ave		
11. Brief Description of the Property: Single Family house in Pueblo vernacular style with log cabin addition on front.		
12. Who uses the property? Private residence.		
13. Construction Date: 1922 Date: <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: Owner.		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input type="checkbox"/> Similar <input checked="" type="checkbox"/> Dissimilar		
Comments: Stucco facades similar to surroundings. Log construction unique to this residence.		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

Roy Wroth, Urbanist
P.O. Box 1514
Santa Fe, NM 87504

18. Owner (if known) and other knowledgeable people:

Sarah Esquibel

19. Is Property Endangered? Unknown No Yes How? Log cabin is reported to be endangered by advanced rot in wood logs.

20. Significance to Current Community: Unknown None Low Moderate High

Describe: Considered an interesting oddity by most observers; some neighbors know the story behind the cabin.

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)

Home of Antonio and Mabel Martinez, and their daughter Sarah Esquibel, the current owner. Antonio Martinez was the county assessor and also postmaster. He built the log cabin addition in memory of his years working in the Forest Service.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why?

Lack of architectural or historic interest beyond the local community.

23. National or State Historic District:

Is this property in a historic district? Unknown No Yes
If yes: Contributing Non-contributing Unknown

If 'yes', what is the name of the district? _____ State National

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: 1

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2	
		NRHP <input type="checkbox"/> SRCP <input type="checkbox"/>	Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D
1. Name of property:	2. Location: 523 Armijo Street	3. Local Reference Number:	
		4. County Santa Fe County, NM	
		5. Date of Survey June 26, 2006	

ARCHITECTURAL AND CONSTRUCTION DETAILS:

<p>6. Visible Construction Material:</p> <p><input checked="" type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block</p> <p><input type="checkbox"/> Concrete: Cast Stone <input checked="" type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated</p> <p><input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar</p> <p><input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input checked="" type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular</p> <p><input checked="" type="checkbox"/> Stucco <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten</p> <p><input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input checked="" type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle</p> <p><input checked="" type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:</p>	<p>7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____</p> <p>8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input checked="" type="checkbox"/> Raised Materials: <input checked="" type="checkbox"/> Concrete <input checked="" type="checkbox"/> Stone Other: _____ Notes:</p> <p>9. Roof: <input type="checkbox"/> N/A Shape: <input type="checkbox"/> Flat <input type="checkbox"/> Gabled <input checked="" type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input checked="" type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input checked="" type="checkbox"/> Eave <input type="checkbox"/> Parapet Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input checked="" type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:</p>
---	--

<p>10. Windows <input type="checkbox"/> N/A</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 20%;">Operation</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Glazing</th> <th style="width: 40%;">Number</th> </tr> <tr> <td colspan="4">See Attached Inventory.</td> </tr> </table>	Operation	Material	Glazing	Number	See Attached Inventory.				<p>11. Doors <input type="checkbox"/> N/A</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 20%;">Type</th> <th style="width: 20%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 40%;">Number</th> </tr> <tr> <td colspan="4">See Attached Inventory.</td> </tr> </table>	Type	Style	Material	Number	See Attached Inventory.			
Operation	Material	Glazing	Number														
See Attached Inventory.																	
Type	Style	Material	Number														
See Attached Inventory.																	

<p>12. Chimneys (describe whether interior or exterior and material)</p> <p>One brick chimney with formed metal decorative cap.</p>	<p>13. Porches <input type="checkbox"/> N/A</p> <p>Type: <input checked="" type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap</p>
--	--

14. Other Significant Features

Log cabin room on front incorporates covered entry porch, and sits on field stone foundation; concrete block parapet and wood canales on log cabin; small eaves, wood fascia and trim, gutters and downspouts on main roof; Side porch in half-height tongue and groove siding with screens above, on stone foundation; garage with diagonal tongue and groove hinged doors, connected to house by an open lean-to structure; and low stone yard walls with rough stone crenellations.

HCPI Detail Form (FORM 2)

(Continued from other side)

15. Modifications: No known modifications

#1 Log cabin replaces sleeping porch

Date: c. 1936 Known_X Estimated__ Source: Owner.

#2 Replacement of windows and some doors

Date: 1940s-80s__ Known _ Estimated_X_ Source:

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | X <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | X <input checked="" type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes

The house is Pueblo Vernacular with an anomalous log cabin addition.

17. Documents Available and Their Locations

SITE :

18. Attached or Associated Properties Garage.

Are associated properties eligible for listing? No.

19. Site Plan:



Historic Cultural Properties Inventory (HCPI) Continuation Sheet

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		
1. Name of property: (historic and/or current name for property)	2. Location: 523 Armijo Street	3. Local Reference Number: 4. County Santa Fe County
		5. Date of Survey June 26, 2006

Window Inventory

West:

Steel Casement pair, 1x3, with 2x1 fixed panes above.

South:

1 steel casement assembly, plate glass flanked by 1x4 casements, with 4x1 fixed panes above
In log cabin: 4 wood double-hung 3 over 1 with screens, sill drip edges, and wood trim

East:

Aluminum slider, wood sill

Door Inventory

South:

Wood entry door, stile and panel, half lite, decorative screen door

East:

Wood entry door, stile and panel, 2x2 half lite, screen door.

**THE ATTACHED SURVEY FORM REFLECTS
HISTORIC BUILDING SURVEY WORK THAT WAS
COMPLETED DURING SUMMER OF 2006.**

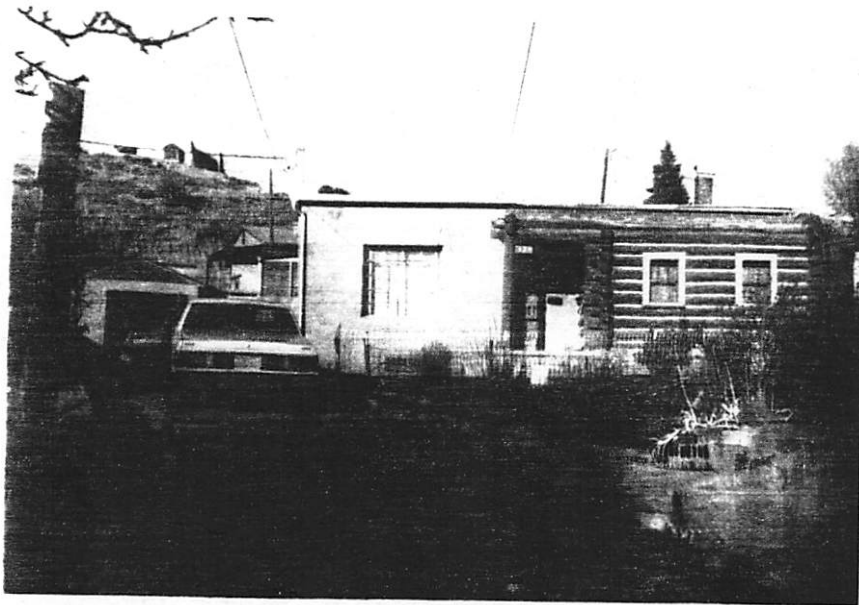
**RESULTS OF THE SURVEY AS REFLECTED ON
THE ATTACHED HAVE NOT BEEN ADOPTED BY
THE HISTORIC DESIGN REVIEW BOARD. IT
SHOULD BE CONSIDERED PRELIMINARY FOR
PURPOSES OF PLANNING. THIS IS TRUE AS OF
10/06.**

**PLEASE SEE DAVID OR MARISSA FOR
MORE INFORMATION OR CLARIFICATION.**

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

4474

building threatened? yes	surveyed date 10/2/84 by SL	county SANTA FE	ID no. 2020 05161 2039
field map SFHD #2	number 2039 2020	UTM reference easting northing zone 12 13	
location description 523 ARMIJO		city/town SANTA FE	
		land grant/reservation	
building name N.A.	legal description tnsp ___ N S range ___ E W sec ___ 1/4 1/2		
film roll by SL no.	negative nos.	loc. of neg. HPB	plan shape



date of construction
 _____ estimate _____ actual
 source

use
 present residential
 other _____
 historic residential
 other _____

condition
 ___ excellent ___ good
 fair ___ deteriorating

degree of remodeling
 ___ minor moderate ___ major

describe:
 ADDITION OF PORCH (W.) & LOG CABIN

surroundings
 RESIDENTIAL

relationship to surroundings
 ___ similar ___ not similar

district potential
 yes ___ no

significance
 ___ eligible ___ of none

if eligible, interest
 why?

associated buildings? yes
 what type?

GARAGE & LEAN-TO
 if inventoried, list ID nos.

see back? ___ yes

NMUV

(LOG CABIN - STONE; HOUSE UNK.)
 wall material/surface
 ADOBE/LOG/STUCCO

architectural features | story with partial basement on S. end;
 low gable rf. w/ ext'd eaves w/ alum. gutters, brick chimney, Log
 Cabin Addition has lower flat rf. line w/ conc. blk. on parapet, canal
 on E.; thick mortar chinking between horizontally laid logs; windows: flush
 & recess'd, alum. sliding & single casemt., metal casemt.
 & wd. 3/1 in log cabin; doors: recess'd, wd w/ 4 lights; W. porch has
 stone foundation ^{exp'd} 1 1/2 ft. fr. ground level, ^{wd.} frame construction & enclosed
 w/ screens; low stone wall along E. & SE front.

comments
 SARAH E.'s parents, Antonio & Mable Martinez, purchased house from
 Selligman; Sarah born in house; Log Cabin built because Antonio had
 worked for the Forest Service at one time and had missed living
 in a cabin.

OWNERS: SARAH & JUAN ESQUIBEL

523 ARMIJO



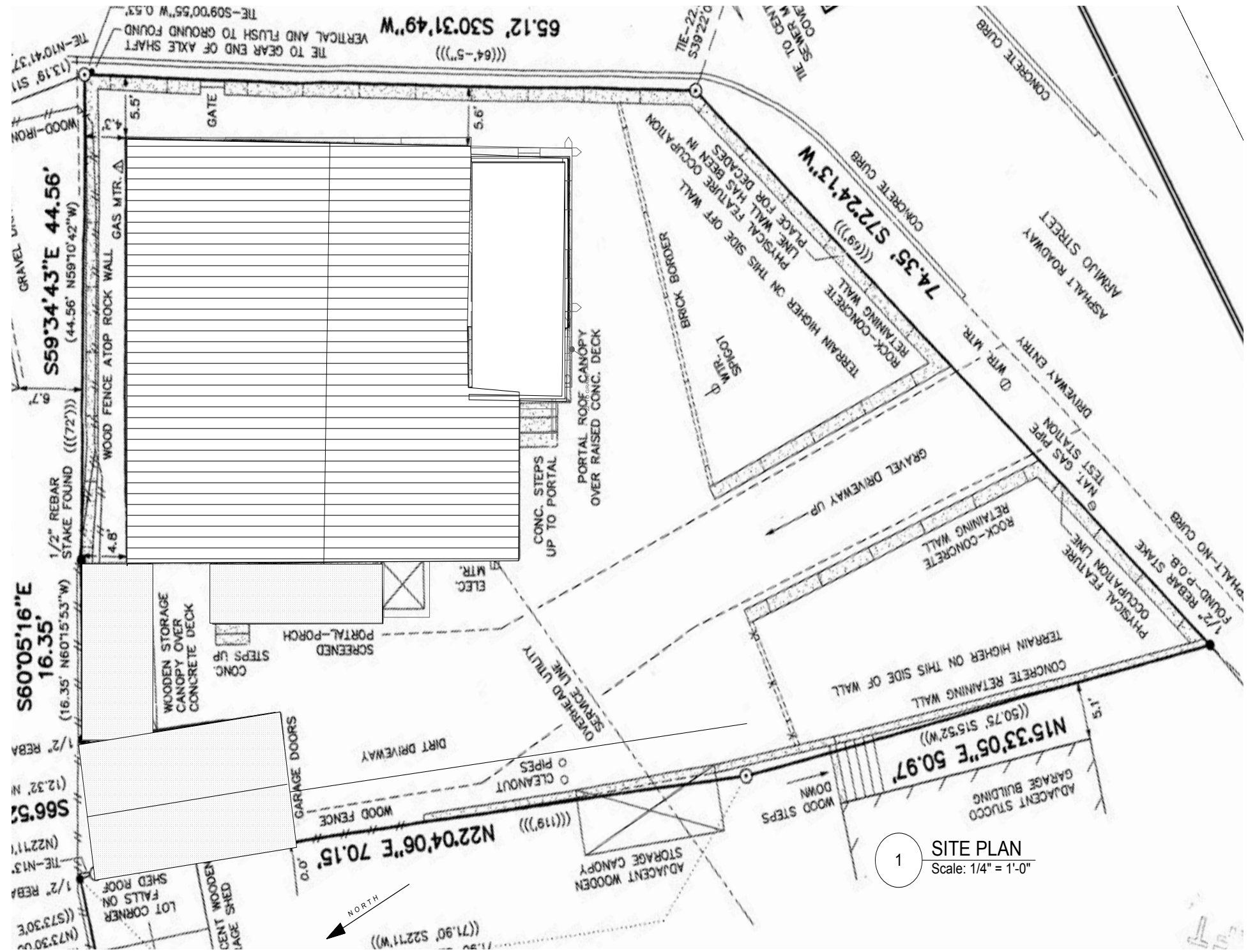
523 ARMIJO



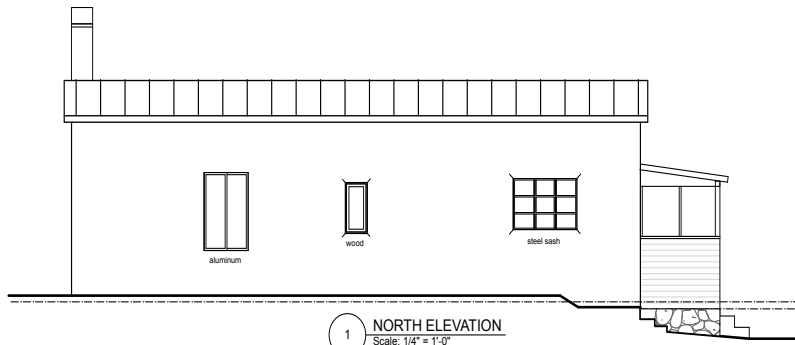
NORTH ELEVATION
Scale: 1:65



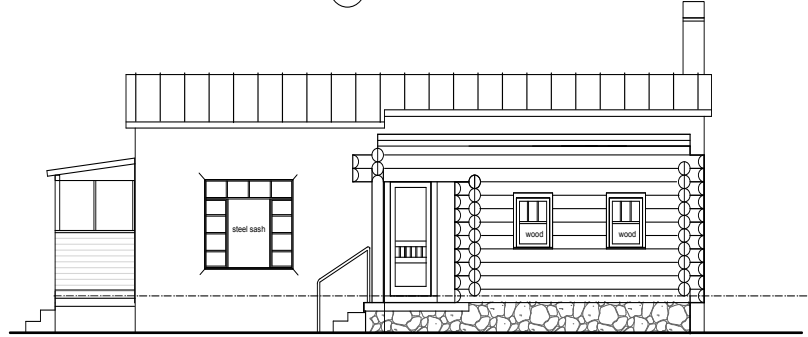
NORTH ELEVATION
Scale: 1:65



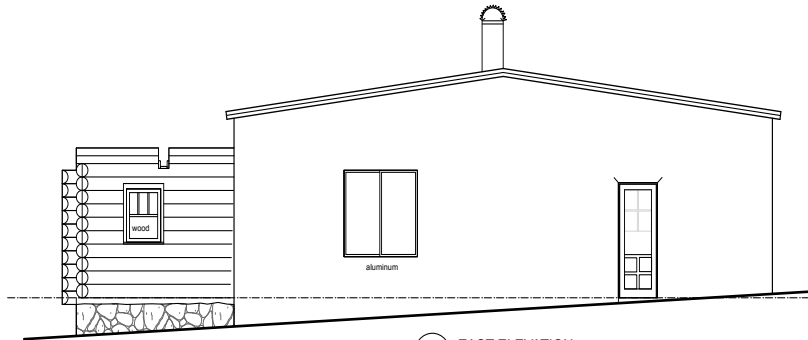
1 **SITE PLAN**
Scale: 1/4" = 1'-0"



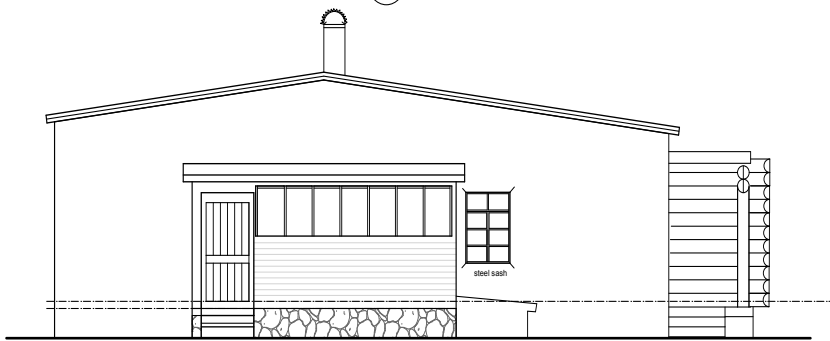
1 NORTH ELEVATION
Scale: 1/4" = 1'-0"



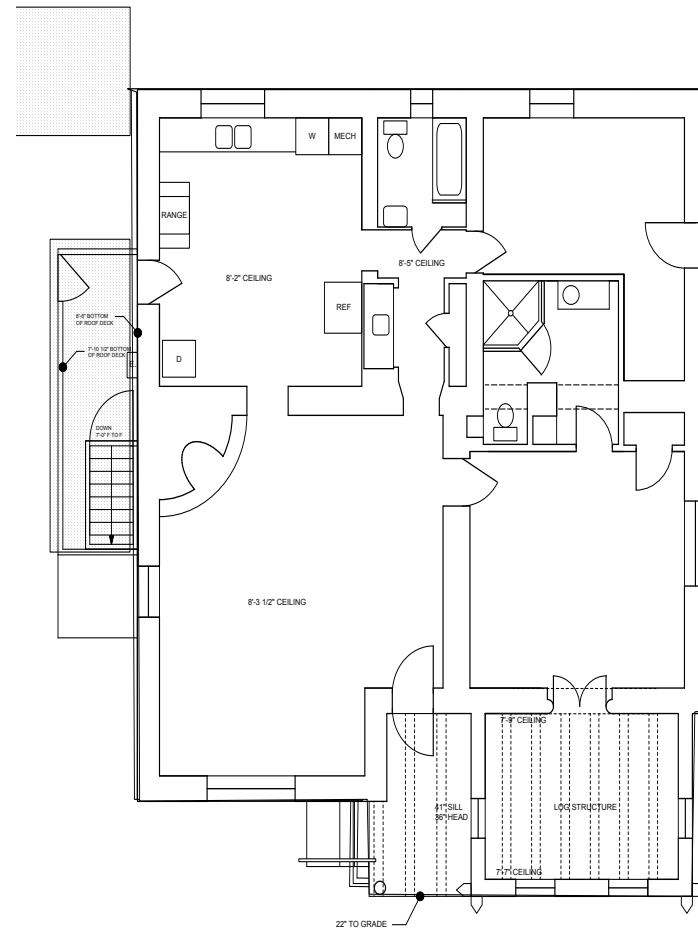
1 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 EAST ELEVATION
Scale: 1/4" = 1'-0"



1 WEST ELEVATION
Scale: 1/4" = 1'-0"



1 FLOOR PLAN
Scale: 1/4" = 1'-0"

City of Santa Fe, New Mexico

memo

DATE: November 8th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005982-HDRB

Address: 1149 E. Alameda St.
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1149 E. Alameda is a single-family residence listed as non-contributing to the Downtown and Eastside Historic District. It is a two-story residence in the Recent Santa Fe Style built in the 1992. It is tucked back behind two properties from East Alameda Street and accessible from Camino Pequeno and then turning again north on a separate East Alameda Street and then at the end of a wooded shared drive. The house has a series of flat roofs with raised parapets, stepped massings and a light color stucco. It is 22'-7" in height. The windows are aluminum clad wood with divided and non-divided lights.

Now, the applicant proposes the following exterior alterations:

- 1) Create an approximately 50 square foot addition on the second story of the east elevation infilling a stepped massing to connect to an existing chimney. Add two aluminum clad divided light windows on the south façade of the addition and one on the north façade of the addition to match similar windows on the north and east elevations.
- 2) Create an approximately 50 square foot addition on the second story of the south elevation infilling a stepped massing to connect to an existing chimney. Add one aluminum clad square window on the south and east façade of this addition to match other square windows on the south façade.
- 3) The additions will have hard troweled cementitious stucco with a Dunn Edwards EnduraLast paint coating to match the treatment of the existing house.
- 4)

RELEVANT CODE CITATIONS:

(2) Recent Santa Fe Style

Recent Santa Fe style intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction, prescribed as follows:

- (a) No building shall be over two stories in height in any façade unless the façade shall include projecting or recessed portales, setbacks or other design elements;
- (b) The combined door and window area in any publicly visible façade shall not exceed forty percent of the total area of the façade except for doors or windows located under a portal. No door or window in a publicly visible façade shall be located nearer than three (3) feet from the corner of the façade;
- (c) No cantilevers shall be permitted except over projecting vigas, beams, or wood corbels, or as part of the roof treatment described below;
- (d) No less than eighty percent of the surface area of any publicly visible façade shall be adobe finish, or stucco simulating adobe finish. The balance of the publicly visible façade, except as above, may be of natural stone, wood, brick, tile, terra cotta, or other material, subject to approval as hereinafter provided for building permits;

- (e) The publicly visible façade of any building and of any adjoining walls shall, except as otherwise provided, be of one color, which color shall simulate a light earth or dark earth color, matte or dull finish and of relatively smooth texture. Façade surfaces under portales may be of contrasting or complimentary colors. Windows, doors and portals on publicly visible portions of the building and walls shall be of one of the old Santa Fe styles; except that buildings with portals may have larger plate glass areas for windows under portals only. Deep window recesses are characteristic; and
- (f) Flat roofs shall have not more than thirty (30) inches overhang.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>9/23/22</u></p> <p>Property Owner of Record: <u>CLIVE & NANCY FARFARO</u></p> <p>Applicant/Agent Name: <u>TAYLOR PARQUE</u></p> <p>Contact Person Phone Number: <u>505660-7468</u></p> <p>Zoning District: <u>EASTSIDE HD</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.</small></p>	<p>Site Address: <u>1149 EAST ALAMEDA</u></p> <p>Proposed Construction Description: <u>REMODEL / BATHROOM ADDITION</u></p> <p>TOTAL ROOF AREA: _____</p> <p>Lot Coverage: _____% <u>NO CHANGE</u> <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: _____ Minimum: _____ 2nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____</p> <p>Height: Proposed _____ Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed _____ Accessible _____ Minimum: _____</p> <p>Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small></p>
--	--

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

TAYLOR PARQUE [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE: Taylor Parke DATE: 10-4-22

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: <u>Legal lot of record is established. Lot coverage at 21.4%</u></p> <p>REVIEWER: <u>Stephanie Perea</u> DATE: <u>10/07/22</u></p>	
--	--

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

October 6, 2022

Carly Piccarello

Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Ave, Santa Fe, NM 87501

Dear Ms. Piccarello,

We are proposing several minor alterations to an existing residence located in the Eastside Historic District at 1149 East Alameda. Our intention is to enlarge two bathrooms on the second floor by enclosing separate existing roof decks that are both approximately 50sf. The design and construction will be consistent with the architectural character of the existing house and neighborhood.

The 2 story pueblo style house was originally constructed in 1992 and is located along a private drive that is accessed from a dirt road at the end of East Alameda. The cementitious hard troweled stucco is painted a custom color from Dunn Edwards (See photos and color number). The top of existing parapets measures approximately 22'7" max from finish grade. Windows and doors are the same age as the house and are typical wood with aluminum cladding. (See photos)

This is a small addition, but we will honor the character of the existing house as it has been designed. We ask that you approve our request either administratively or with the assistance of the Historic Design Review Board if required.

Sincerely,



Taylor Pardue

Common Block Studio











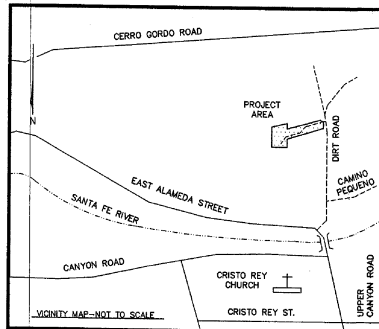
A modern, single-story garage with a light-colored stucco finish. On the left, there is a large garage door made of horizontal wooden planks. To the right of the door is an open carport area supported by several wooden posts. A white SUV is parked under the carport. The garage is situated on a gravel driveway.

A white SUV is parked under the carport. The license plate is visible and reads "8VX1H5L".

A set of stairs with a decorative tile pattern on the steps and a black metal railing. The stairs lead up to a higher level of the property, possibly a patio or another part of the house.

A landscaped area featuring a low, multi-tiered stone retaining wall. The area is filled with various green plants and shrubs. A stone path leads from the gravel driveway towards the stairs.

451023



Plat of Survey Prepared for
William C. Estes and Sally R. Estes
and
William D. Armstrong

RESURVEY OF A CERTAIN TRACT A, AS FILED IN PLAT BOOK 279, PAGE 003,
AS DOCUMENT NO. 869,109
LYING WITHIN THE SANTA FE GRANT--PROJECTED NE1/4 SECTION 30, T17N, R10E, NMPM
LOCATED AT 1149 EAST ALAMEDA STREET, IN THE CITY OF SANTA FE
COUNTY OF SANTA FE, STATE OF NEW MEXICO, U.S.A.

CITY OF SANTA FE PUBLIC NOTICE

THIS SURVEY IS BASED ON THOSE RECORDED DOCUMENTS NOTED HEREON. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR A BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.

SUPPLEMENTAL CERTIFICATION

I FURTHER CERTIFY AS TO THE EXISTENCE OF THE FOLLOWING ON THE DATE OF THIS FIELD SURVEY:

- EVIDENCE OF RIGHTS OF WAY, OLD HIGHWAYS OR ABANDONED ROADS, LANES, TRAILS OR DRIVEWAYS, SEWER DRAINS, WATER, GAS OR OIL PIPELINES ON OR CROSSING SUBJECT PREMISES:
NONE VISIBLE.
- SPRINGS, STREAMS, RIVERS, PONDS OR LAKES LOCATED, BORDERING ON OR THROUGH SUBJECT PREMISES:
DRY IRRIGATION DITCH--ACEQUIA CROSSES NORTHERLY PORTION OF TRACT A. (SEE SHEET NO. 2).
- EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON SUBJECT PREMISES:
NONE VISIBLE.
- OVERHEAD UTILITY POLES, ANCHORS, PEDESTALS, WIRES OR LINES OVERHANGING OR CROSSING SUBJECT PREMISES AND SERVING OTHER PROPERTIES:
OVERHEAD UTILITY LINES AND POLES W/WIRE ANCHORS LOCATED ALONG NE LOT LINE OF TRACT A. ELECTRIC METERS, GAS METERS & WATER METERS SERVE SUBJECT RESIDENCES. (SEE SHEET NO. 2).
- JOINT DRIVEWAYS OR WALKWAYS, JOINT GARAGES, PARTY WALLS OR RIGHTS OF SUPPORT, STEPS OR ROOFS IN COMMON OR JOINTS GARAGES:
APPARENT JOINT USE DRIVEWAY SERVES TRACT A AND ADJOINING TRACT B TO SW. (PLEASE SEE SHEET NO. 2).
- APPARENT ENCROACHMENTS OF BUILDINGS, PROJECTIONS, CORNICES OR SIGNS AFFIXED THERETO, FENCES OR OTHERS INDICATIONS OF OCCUPANCY APPEAR TO ENCROACH UPON OR OVERHANG SUBJECT PROPERTY:
STORAGE SHED AND WIRE/WOOD FENCE DEVIATE FROM WEST LOT LINE OF TRACT A. (SEE SHEET NO. 2).
- SPECIFIC PHYSICAL EVIDENCE OF BOUNDARY LINES ON ALL SIDES:
PROPERTY CORNER MONUMENTS FOUND AS NOTED ON ATTACHED SHEET NO. 2.
- IS THE PROPERTY IMPROVED ? IF STRUCTURE APPEARS TO ENCROACH OR APPEARS TO VIOLATE SETBACK LINES:
PROPERTY IS IMPROVED; DOES NOT VIOLATE SETBACKS.
- INDICATIONS OF RECENT BUILDING CONSTRUCTION, ALTERATIONS OR REPAIRS:
NONE VISIBLE.
- APPROXIMATE DISTANCES OF STRUCTURES FROM AT LEAST TWO LOT LINES MUST BE SHOWN:
PLEASE SEE ATTACHED SHEET NO. 2.

SURVEYORS CERTIFICATION

I, PAUL A. ARMUJO, CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN AUGUST 2000 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS

I FURTHER CERTIFY THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT AND THAT THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

Paul A. Armijo AUG. 11, 2000
PAUL A. ARMUJO, N.M.P.S. NO. 13604



DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS TO OFFICE OF SANTA FE COUNTY CLERK

- SURVEY ENTITLED "PLAT OF SURVEY FOR JAY JAY SHAPIRO", BY S.E. VIGIL N.M.P.S. NO. 4405, DATED JANUARY 24, 1994, AS PROJECT NO. 011-654, FILED ON JULY 5, 1994, IN PLAT BOOK 279, PAGE 003, AS DOCUMENT NO. 869,109.
- WARRANTY DEED--TRACT A: J.J. SHAPIRO & D.L. SHAPIRO TO WILLIAM C. ESTES & SALLY R. ESTES, FILED ON JANUARY 19, 1994, IN MISC. BOOK 1013, PAGE 828, AS DOCUMENT NO. 846,355.
- SPECIAL WARRANTY DEED--TRACT A: R.W. POPSICK TO WILLIAM C. ESTES & SALLY R. ESTES, FILED ON JANUARY 31, 1994, IN MISC. BOOK 1018, PAGE 088, AS DOCUMENT NO. 847,978.

NOTES--SHEET 1

- SEE SHEET NO. 2 FOR PLAT MAP.
- SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-055-098-358-490.
- COMMITMENT FOR TITLE INSURANCE ON THIS PROPERTY ISSUED BY: TERRITORIAL ABSTRACT & TITLE CO., INC. FILE NO. 00007301 GK.
- DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
- THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 350069 0227 B, DATED NOVEMBER 4, 1988.
- DATE OF FIELD SURVEY: AUGUST 4, 2000.
- THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, RESTRICTIONS, AND RESERVATIONS RECORDED OR UNRECORDED.

INDEXING INFORMATION FOR COUNTY CLERK	
OWNER:	WILLIAM C. ESTES SALLY R. ESTES
LOCATION:	SANTA FE GRANT--PROJECTED NE1/4 SECTION 30, T17N, R10E 1149 EAST ALAMEDA STREET CITY OF SANTA FE SANTA FE COUNTY, N.M., U.S.A.

SHEET 1 OF 2

Document No. 1125-890
COUNTY CLERK'S INSTRUMENT BLOCK
COUNTY OF SANTA FE, STATE OF NEW MEXICO

I hereby certify that this instrument was filed for record on the 11 day of August A.D. 2000 at 10:30 o'clock A. M. and was duly recorded in Book 451 Page 22 of the Records of Santa Fe County

Witness my Hand and Seal of Office

REBECCA BUSTAMANTE

County Clerk, Santa Fe County, New Mexico

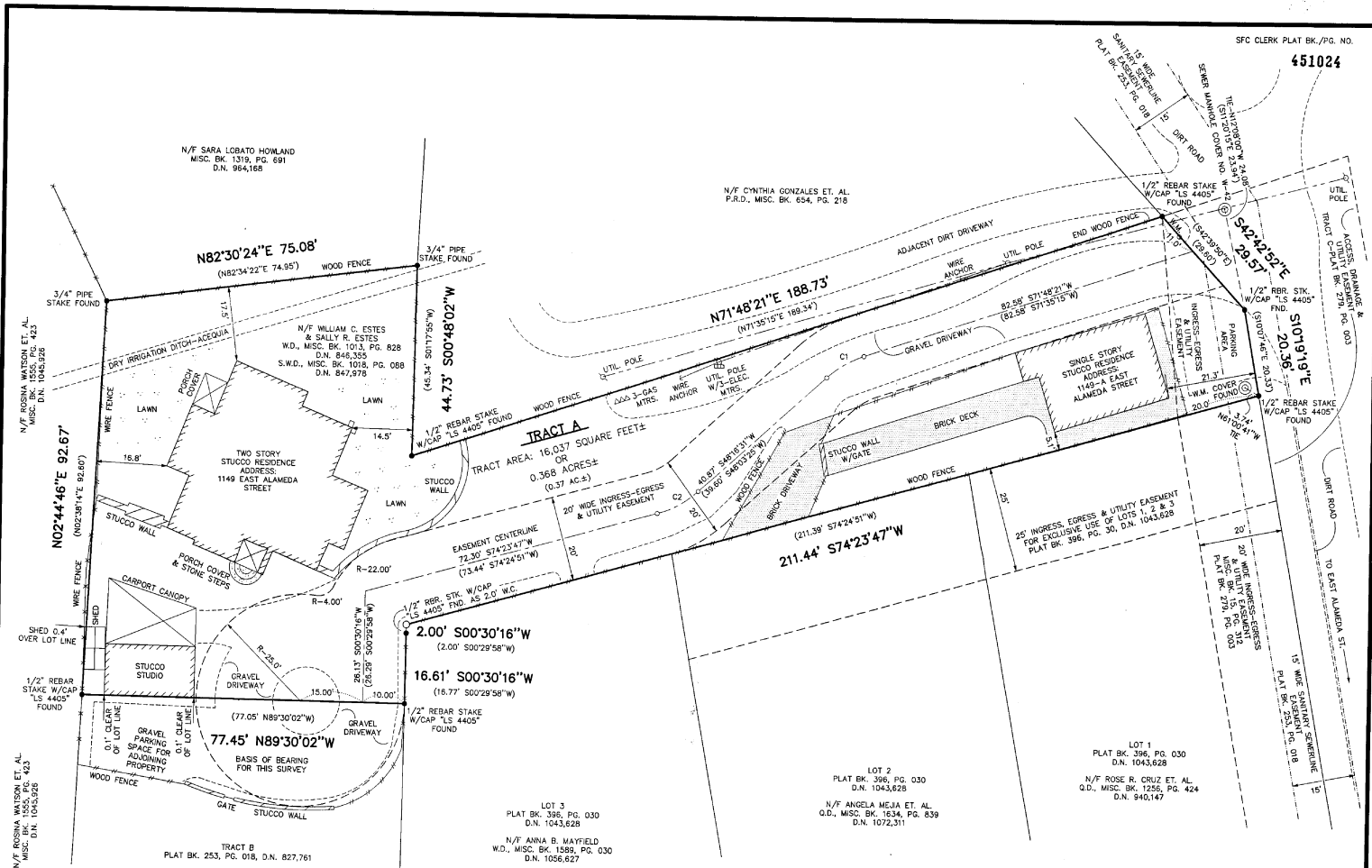
Rebecca Bustamante
DEPUTY

COUNTY CLERK SEAL



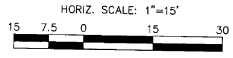
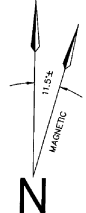
ARMUJO SURVEYS INC	
PAUL A. ARMUJO N.M.P.S. NO. 13604 PMB 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505 PH. (505) 471-1955 FAX: (505) 471-1925	
PLAT OF SURVEY PREPARED FOR WILLIAM C. ESTES AND SALLY R. ESTES AND WILLIAM D. ARMSTRONG	
DRAWN BY <u>P.A.A.</u>	DATE <u>AUG. 2000</u>
JOB No. <u>2008424</u>	SHEET No. <u>1</u> OF <u>2</u>

Land Records Corp. SFTC ALB11195 SF 1125890.001



EASEMENT CENTERLINE CURVE DATA (RECORD DATA IN PARENTHESES)	
CURVE C1	
Δ-23°31'50"	(Δ-22°31'50")
R-23.00'	(R-23.00')
L-10.57'	(L-10.57')
CH-10.20'	(CH-10.20')
CHB-560'02'26"W	(CHB-559'49'20"W)
CURVE C2	
Δ-26°07'16"	(Δ-26°21'28")
R-25.00'	(R-25.00')
L-11.40'	(L-11.50')
CH-11.30'	(CH-11.40')
CHB-561'20'09"W	(CHB-561'14'08"W)

- NOTES-SHEET 2
- SEE SHEET NO. 1 FOR REFERENCE DOCUMENTS AND CERTIFICATION.
 - DATA IN PARENTHESES () TAKEN FROM REFERENCE DOCUMENT NO. 1.
 - EASEMENTS SHOWN TAKEN FROM REF. DOCUMENT NO. 1 OR AS NOTED.



- LEGEND
- POINTS FOUND
 - ⊙ POINTS SET
 - ⊙ REBAR W/CAP STAMPED "13604"
 - POINTS COMPUTED
 - NOT SET

SHEET 2 OF 2

ARMUJO SURVEYS INC.
 PAUL A. ARMUJO N.M.P.S. NO. 13604
 P.M.B. 258 1704-B LLANO ST. STE. B, SANTA FE NM 87505
 PH. (505) 471-1955 FAX (505) 471-1925

PLAT OF SURVEY PREPARED FOR
 WILLIAM C. ESTES AND SALLY R. ESTES
 AND
 WILLIAM D. ARMSTRONG

DRAWN BY P.A.A. DATE AUG. 2000
 JOB No. 2008424 SHEET No. 2 OF 2

Land Records Corp. SFC ALB11195 SF 1125890.002

Dunn-Edwards

120 14:01 8/4/00 SANTA FE

GUYS PTG

ARMSTRONG STUCCO

EDLX10-0 ENDURALASTIC EXT

Rev Date EDLX10-0 ENDURALASTIC EXT

5 Gallons I. Y Notation /48

04: 4 Y+ 10

08: 0 Y

13: 1 Y

Not Returnable for Exchange or Refund
Color may vary slightly from a color chip or container to container
Check for correct color match and confirm color before application
Dunn-Edwards accepts no responsibility for any mis-matched paint
after it has been applied. NOTE (A)=ALKALI & (I)=INTERIOR ONLY



House, Casita, Garage

Duchon-Edwards

120 15:19 3/4/2020 SANTA FE

GUYS PTG

ARMSTRONG STUCCO

UGPRO0-1 ULTRA-GRIP PREMIUM

Rev Date UGPRO0-1 ULTRA-GRIP PREMIUM

1 Gallon L Y Notation /48

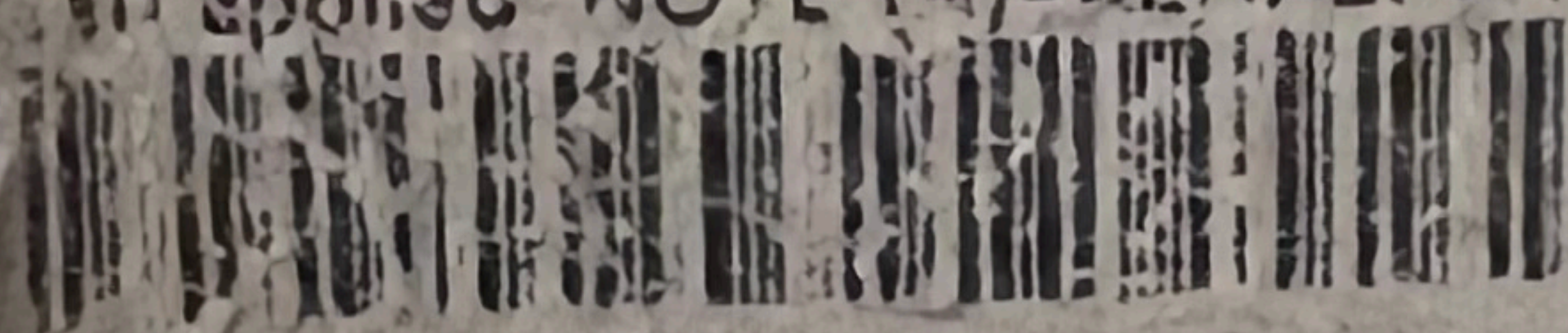
04 0 Y+ 40.400

03 0 Y+ 4.665

12 0 Y+ 40.260

Unopened Paint - Not Returnable for Exchange or Refund

Armstrong accepts no responsibility for any mismatched paint
if applied. NOTE (A) = ALKALI 8.5% INTERIOR ONLY



City of Santa Fe, New Mexico

memo

DATE: November 8th, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005983-HDRB

Address: 834 Allendale Street
Historic Status: Contributing
Historic District: Don Gaspar Area

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Door and Window Assessment

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(H) Don Gaspar Area Guadalupe Historic District with the conditions that:

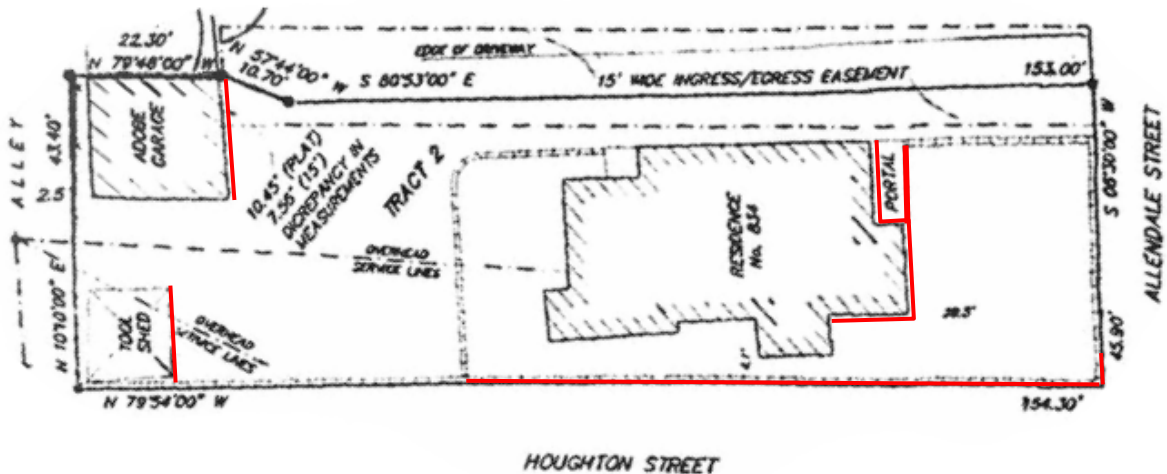
- 1) the front yard wall be reduced in height more consistent with the contributing rock wall and a gate remain to preserve the historic streetscape presence, and
- 2) the steel casement windows be replaced with windows of the same material.

BACKGROUND & SUMMARY:

834 Allendale Street is a single-family residence listed as contributing to the Don Gaspar Area Historic District. It sits at the northwest corner of Allendale and West Houghton Streets facing Allendale Street. Constructed as a duplex in 1960 in a Spanish Pueblo Revival Style, it has more recent additions on the west and back of the house.

The backyard has two outbuildings one of which is small accessory structure (“chicken coop / toolshed”) built before World War II from tile blocks, with a concrete floor, wood vigas and a plywood ceiling. The other is a garage, which was designated as contributing in 2016 by the HDRB.

In case 2022-005164-HDRB, the Board designated the main house, south stone wall, and chicken coop as contributing structures. The east and a portion of the south elevations of the main house were designated as primary facades: 1(a), 1(b) (including the northeast portal, but excluding the half-height infill walls), 2 and 3 of the main house. The east elevation of the chicken coop/tool shed was also designated as a primary façade.



Now, the applicant proposes the following exterior alterations to the main house:

- 1) Create a 700 square foot addition on the west façade to a height of 12'-2" where the maximum allowable height is 14'.
- 2) Increase the height of the east and primary façade by 4".
- 3) Increase heights of the main in a stepped appearance visible along the north façade.
- 4) Replace two historic steel casement windows on primary facades with Kolbe aluminum clad wood windows.
- 5) Replace six historic steel casement windows on non-primary facades with Kolbe aluminum clad wood windows, color Kolbe Coastal Storm (blue).
- 6) Replace non-historic windows with Kolbe aluminum clad wood windows.
- 7) Install 5' wide French doors on the north elevation toward the backyard.

- 8) Install 3' wide French door on the south elevation toward the backyard.
- 9) Re-stucco in El Rey Buckskin.

The applicant proposes the following exterior alterations to the contributing rock yard wall:

- 10) Raise height of the south and contributing river rock yard wall to the maximum allowable height of 5'-7". An exception is requested for an addition to a contributing structure.
- 11) Raise the front/east stucco wall to 4'-10" and fill in the front yard gate. Build a wall diagonally across the front yard at the corner of Allendale and West Houghton Streets to 4'-10" set back to accommodate for the sight visibility triangle.
- 12) Finish the CMU block patches in the river rock wall with a river rock veneer.

The applicant proposes the following exterior alterations to the contributing garage:

- 13) Replace the non-historic garage doors with wood doors consistent with historic photographs.
- 14) Replace the historic pedestrian door and header. A window and door assessment has been provided, replacement is recommended.
- 15) Replace the non-historic windows to match historic appearance.

The applicant proposes the following exterior alterations to the Chicken Coop/Shed:

- 16) On the primary/east façade, replace the barn door and header over the window in kind. A door and window assessment has been provided, replacement is recommended.
- 17) Repair window on east façade and stain to match main house.
- 18) Enclose opening on north façade's non-historic pedestrian door and stucco over.

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(2)(c): Staff request an exception to addition to contributing structure or primary façade, river rock yard wall.

(i) *Do not damage the character of the district*

Applicant Response: The Wall has existed for decades and is similar to existing walls that are common in the neighborhood. The existing wall height varies and the condition of the Wall shows both deferred maintenance and damage. (see attached photo) The proposed height complies with the average height of yard walls within the streetscape, as well as the existing height of the western portion of the Wall and will reinforce streetscape

harmony. The nature of the existing Wall will remain, and the Wall will be repaired so as to restore its overall condition, preserving the historic character of the Wall and its contribution to the character of the district.

Staff Response: Staff recommends that the criterion has not been met. One of the streetscape characteristics of the district is a low yard wall with gates in the front yard. This design, particularly how it engages with the front yard and its connection to the historic wall disrupts that characteristic. Another concern is whether building on top of the wall without rebuilding the footing is even feasible. If not, an administrative approval should not be granted to rebuild the historic wall.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: The eastern portion of the Wall is lower in height than the western portion, reportedly due to damage resulting from delivery vehicles in the narrow street backing up or bumping into the southeast wall corner over the years. The HCPI states that the east end of the Wall is 2'8" and the west end is 5'8" high. The Applicants understand previous owners attempted to repair the Wall, but did not restore the Wall to its original height. Presently, the Wall can easily be stepped over directly into the front yard. The existing lack of privacy and associated safety is an ongoing hardship to the Applicants that will be prevented by raising the Wall to its allowable height and by building a new 4'10" block wall inside of the visibility triangle, which does not require an exception.

The Applicants have worked closely with the City's Traffic Engineering Department to ensure that an adequate visibility triangle is maintained at the intersection of W. Houghton and Allendale. The Applicants understand that the Department has approved the Wall design, which maintains a lower wall height of 3' in that area along W. Houghton and Allendale, as shown on the Improvement Plan. Also, the Applicants' have requested and understand that the Department is prepared to install a stop sign on eastbound Houghton, which will improve safety at this intersection compared to the longstanding conditions, thereby benefitting the public.

Staff Response: Staff recommends that the criterion has not been met. A hardship is not clearly demonstrated.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: In considering repair of the Wall's deferred maintenance and damage, the Applicants considered a range of options including maintaining the Wall's present height. It is apparent that the existing height of the easterly portion of the Wall is substantially lower than its historic height, based both on the presence of rock from the wall in the front yard as well as reports of damage to the wall over the years. City staff determined the average height of yard walls on Houghton to be 5'7" and on Allendale to be 4'10". Repair of the Wall is in the best interest of the Applicants and neighborhood and raising its height to the extend allowed by the Code and more consistent with its

historic height is appropriate as part of the substantial renovations to the Property.

Staff Response: Staff recommends that the criterion has not been met. Front yard walls in this district are frequently lower than side or back yard, this would include the eastern end of the rock wall. Design alternatives for the yard wall were not presented to staff. Raising the height twenty feet west from the street corner would be a more reasonable consideration, but again, the concern over whether this can be done without rebuilding the footing and wall remains.

RELEVANT CODE CITATIONS:

Yard Wall Height:

14-5.2(D)(9) Height, Pitch, Scale, Massing and Floor Stepbacks

(c)(ii) In exercising its authority under this section, the board shall limit the height of structures as set forth in this section. Heights of existing structures shall be as set forth on the official map of building heights in the historic districts.

C. Yard walls and fences shall be limited to a height that does not exceed the average of the height of other yard walls and fences in the streetscape.

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

(a) For all façades of significant and landmark structures and for the primary façades of contributing structures:

(i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

(ii) No new opening shall be made where one presently does not exist unless historic documentation supports its prior existence.

(iii) No existing opening shall be closed.

(b) For all façades of significant, contributing and landmark structures, architectural features, finishes, and details other than doors and windows, shall be repaired rather than replaced. In the event replacement is necessary, the use of new material may be approved. The new material shall match the material being replaced in composition, design, color, texture, and other visual qualities. Replacement or duplication of missing features shall be substantiated by documentation, physical or pictorial evidence.

14-5.2(C) Regulation of Significant and Contributing Structures in the Historic Districts

(1) Purpose and Intent

It is intended that:

(a) Each structure to be recognized as a physical record of its time, place, and use.

Changes that create a false sense of historical development, such as the addition of

- conjectural features or architectural elements from other buildings, shall not be undertaken;
- (b) Changes to structures that have acquired historic significance in their own right shall be retained and preserved, recognizing that most structures change over time;
 - (c) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a structure be preserved; and
 - (d) New additions and related or adjacent new construction be undertaken in such a manner that if removed in the future, the original form and integrity of the historic property and its environment would be unimpaired.

Removal of Historic Material/Demolition:

14-5.2(D) General Design Standards for All H Districts

- (1)(a) The status of a significant, contributing, or landmark structure shall be retained and preserved. If a proposed alteration will cause a structure to lose its significant, contributing, or landmark status, the application shall be denied. The removal of historic materials or alteration of architectural features and spaces that embody the status shall be prohibited.

14-5.2(H) Don Gaspar Area Historic District

(1) District Standards

Compliance with the following structural standards shall occur wherever those exterior features of buildings and other structures subject to public view from any public street, way, or other public place are erected, altered, or demolished:

- (a) Slump block, stucco, brick, stone, or wood shall be used as exterior wall materials. Aluminum siding, metal panels, mirrored glass and unstuccoed concrete block or unstuccoed concrete shall not be used as exterior wall materials. The painting of buildings with a color that causes arresting or spectacular effects or with bold repetitive patterns, or using building as signs is prohibited. Murals, however, are permitted and may be referred to the city arts board for an advisory recommendation.
- (b) Roof forms including but not limited to flat, gabled, shed, and hipped roofs are allowed. Folded plate or hyperbolic roofs are not allowed.
- (c) The use of solar and other energy collecting and conserving strategies is encouraged. The use of large glazed areas on south facing walls for trombe walls or other solar collectors, greenhouses, garden rooms, direct gain, or other energy collecting purposes is allowed. When in view from any public street, way, or other public place, solar equipment shall be screened by the following methods:
 - (i) raising the parapet;
 - (ii) setting back from the edge of the roof;
 - (iii) framing the collector with wood;
 - (iv) in the case of pitched roofs, by integrating the collector into the pitch;
 - (v) in case of ground solar collectors by a wall or vegetation;
 - (vi) in the case of wall collectors by enclosing by end or other walls;
 - (vii) other means that screen the collector or integrate it into the overall structure.Non-glare materials shall be used in solar collectors.

- (d) Mechanical, electrical, telephone equipment, microwave satellite receiving dishes, and other obtrusive equipment shall be architecturally screened by opaque materials by raising the parapet, framing in the equipment, or other appropriate means. The equipment shall be of a low profile to minimize the screening problems.
- (e) Walls and fences shall be of brick, adobe, masonry, rock, wood, coyote fencing, or similar materials. Wrought iron fences and slump block walls are allowed. Walls of unstuccoed concrete, chain-link, metal wire, or similar materials are prohibited, except where the wall or fence is not in view from any public street, way, or other public place.
- (f) Greenhouses. Attached greenhouses that front on the street shall give the appearance of being integrated into the structure of the building or of being a substantive addition rather than having a lean-to-effect. The use of corrugated fiberglass or rolled plastic for the external surface of attached or freestanding greenhouses that front on the street is prohibited. Greenhouses with slanting sides shall be bracketed at the ends and the greenhouses made from enclosed porches or portales shall maintain the shape of the porch or portal.
- (g) For residential uses, paving with asphalt or parking is not allowed in the front yard except in the sidewalk or driveway.
- (h) For commercial uses zoned C-1 front yards are required to be landscaped, and no required front yard shall be used for off-street parking.
- (i) As a condition of any rezoning all applicants shall provide evidence of sufficient off street parking and an intent to maintain the architectural integrity of the existing building or to conform to the architectural style of the district if constructing a building on a vacant lot.

(2) Walls; Fences; Solar Collectors; Administration

Applications for erection, alteration, or destruction of walls, fences, and solar collectors and required submittals shall be reviewed by the land use department. Approval, disapproval, or referral shall be indicated by the division on the application for the building permit and on each of the required submittals, all of which shall be signed by the division staff assigned to the review. The division shall report approvals, disapprovals, or referrals to the board at its next regular meeting as an informational item. (Ord. No. 2007-45 § 30)



CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION

1. Applicant Information (to be completed by the Applicant)

Date: 9/27/22 Location of Project: 834 Allen Ave

Applicant

Name: John Odell ASSOCIATES

Phone: (505) 988-9633 Email: JODELL1031@Gmail.com

Property Owner

Name: John & Betty Amarant

Phone: (925) 389-1562 Email: JRAMARANT@Gmail.com

Proposed Work:

Remodel of existing Duplex and
2 Exception Requests

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: DON GASPAR AREA

Historic Status: CONTRIBUTING - MAIN HOUSE chicken coop Slat Rock wall

Primary Elevations: E + portion of S E + Garage E, S

Previous HDRB and Admin Cases: H-16-054A + 2022-5164 (STATUS REVIEW)

Archaeological compliance required? Yes No

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at [https://www.santafenm.gov/historic preservation](https://www.santafenm.gov/historic_preservation).

Application Submittal Date: 9/27/22

Desired Hearing Date: 2/8/22

Project Type:

Status

New Construction

Sq. Ft. of project: _____

Primary Elevation Designation

Remodel

Sq. Ft. of project: 2,711 SF

Construction Cost: \$400,000

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name John & Betty Amarasanti

Signature John Amarasanti Betty Bell-Amarasanti

834 Allendale Street
Existing Residence, Garage, Chicken Coop and Rock Wall Renovations
Don Gaspar Historic District, Contributing

Existing Conditions

The present residential structure reflects several modifications and additions to the original single-family dwelling built on the property in 1960. An additional attached unit (834 1/2 Allendale) was constructed adjacent to the original unit in 1961, turning the structure into a duplex. The units share a common wall. Per the HCPI prepared by John Murphy, at least two further additions were made.

The main house, garage, chicken coop/shed and south river rock wall (the “Wall”) are designated as contributing structures. Two facades on the east side of the residence and a short façade on its southeast side are designated as primary, along with the east façade of the chicken coop and the east and south façades of the garage.

Proposed Renovations and Construction to Existing House

Our goal is to renovate the existing duplex into a single-family dwelling and to renovate the main house, the garage, chicken coop and south stone wall.

Main House – Non-Primary Elevations

We propose to carry out the following modifications to the existing main house. The renovations include an addition of approximately 700 SF to non-primary facades:

- The parapet of the primary east elevation will be raised by 4”, from 8’9” to 9’1”, a *de minimus* increase.
- The parapets of the non-primary north, west and south elevations will be raised by varying heights to create an interesting visual line.
 - The parapet height in the central portion of the south façade will be raised from the existing 9’7” to 12’; 2’ lower than the allowable height of 14’.
 - Demolition will involve removal of the existing roof and roof structure starting about 25’ west of the east façade and extending to the rear of the structure.
 - The south non-primary elevation starting from the west wall of the current utility room will be moved out two feet, adding approximately 80 SF.
 - A new (primary) bedroom, bath and closet will add approximately 550 SF to the west of the existing, non-primary west elevation.
 - The parapets along the north façade will vary from the existing 10’1” maximum height to 9’7” near the east end, to 10’1”, in the central portion of the façade, to a maximum height of 12’6” in the western portion, where the land drops off slightly. The highest elevation will be 1’6” below the maximum allowable height of 14’. On the north side of the northwest façade, a small patio will be encircled by extending the existing 72” high wall to buffer the neighbor’s view.

- The parapets along the south elevation will increase from 10'1" to 10'6" in the western/rear portion of the house and 9'1 to 12' in the central portion – 2' lower than the allowable height. The height in the eastern portion of the south façade will be 8'9". This arrangement will provide a partial screen or step to the higher abutting parapets for the living area and primary bedroom.

Windows

There are 14 existing windows in the main residence. Ra Patterson, a recognized expert window consultant, inspected these windows and provided a window assessment, which is attached. A summary of the findings is provided below – along with a description of our plan to respond to Mr. Patterson's findings and recommendations:

- Five windows are aluminum and are not historic. All are located in non-primary elevations. These windows will be removed, and where replaced - it will be with new windows as shown on the project plans.
- Nine of the windows are historic steel casement windows, of which three are on primary facades.
 - The window in the front portal (Designated in Patterson's report as East-A) is in the best condition of the casement windows. We will retain this window in an effort to serve as an example of the original fenestration of the house on its primary façade. Under the portal, it is better sheltered from moisture than the other windows.
 - Based on Mr. Patterson's recommendations, we propose to remove the other 2 steel casement windows in primary elevations 2 and 3 (designated in Patterson's report as East-B and South-C) and replace those two openings with windows of the same the size and style and to match the appearance as closely as possible with Kolbe clad/wood windows. The application includes an exception request for replacement of these windows.
 - The remaining six steel casement windows on non-primary facades will be replaced by new Kolbe clad/wood windows as shown on the project plans. The openings in the wall that these windows currently occupy will be closed and covered with stucco. All windows to be removed will be delivered to local salvage yard so that the materials can be recycled.
- A new 5' wide French door will be installed in the new construction on the non-primary North elevation at the rear of the house. The mullion configuration of this door will match those of the Kolbe windows proposed above. These new windows and patio door will be screened from view by an extension of the existing 6' wall which encloses a back patio.
- A new 3' wide French door will be installed on the non-primary South elevation at the kitchen in the mid-portion of the facade. The mullion configuration of this door will be consistent with the windows described above.
-

Entry Doors

In addition to the two French doors described above, there are two existing non-historic wooden entry doors. Both of these doors have been inspected by Ra Patterson and are addressed in his report.

- In the front portal (primary east façade), the existing entry door has served as a main entrance. Henceforth, this portal will serve as egress from the front bedroom. This planked door with a skin/veneer was manufactured during the 1980s and 1990's. We propose to keep this door as it is.
- At the rear portal (non-primary north façade), there is an existing non-historic entry door that is the twin of the door in the front portal. The new main entry door at the east portion of the north façade will be 42" wide and 84" tall. This entry door is not visible from the street. It will be a wood Santa Fe Style door.
- The new main entrance (non-primary north façade) will be served by a 3' wide walkway to be installed along the north elevation. The walk will start at the garden gate on the driveway and end at the west end of the rear portal. The walkway and portal landings will be covered with flagstone.

Rock Wall

The contributing river rock Wall runs along West Houghton - a one-way eastbound street. As the wall approaches Allendale, it continues 3' north where it joins the existing stucco wall that encloses the front garden of the house. The southeast corner of the Wall has been repeatedly hit by delivery trucks backing up or bumping into the Wall. These encounters have left a pile of rubble to gather over the years. A previous owner repaired the Wall, but it was not restored to its original height. This corner is about 2'8" in height, notably lower than the rest of the Wall and the existing front yard wall and can easily be stepped-over to gain access to the yard. Although we have removed two large bins of debris – many rocks remain on the ground where they tumbled inside of the Wall. We hope to restore them to their proper place in the Wall.

- We request an exception to raise the contributing rockwall along W. Houghton Street to its maximum allowable height of 5'7". Based on discussions with the City's traffic engineering department, the Southeast corner of the rockwall at W. Houghton and Allendale will remain at its existing height, providing the required visibility triangle, and the rockwall will increase in height to the west for a distance of approximately 20'. A new block wall will be constructed along the inside boundary of the visibility corridor at a height of 4'10, providing a "sense of privacy" in the front garden – the only area for outdoor gatherings on the property.
- We also propose to redress the two cinder block patches at the west end of the Wall. These cinder blocks were installed in the openings in the wall a few decades ago by a prior owner. Neighbors have long complained about this violation of the ordinance against such use of cinderblock. We propose to finish this in round river rock and mortar similar to the existing rockwall, while making it clear that these patches were not original Wall finishes.

Outbuildings

We propose to address the neglected maintenance to these two historic buildings:

Garage

In 2016, the HDPB designated the garage as contributing. As part of that consideration there was testimony that within historic times, the southern bay door was filled in and a pedestrian passage door was installed.

The garage was originally constructed in the 1940's (see attached photo of the building provided by Mr. Padilla – whose family built the garage). We propose to restore the garage doors in the East elevation (a primary façade) to be consistent with the photograph and understand that no exception is required to restore the original condition.

- The filled-in area of the wall will be opened on the east façade of the south garage bay, and a new set of wood doors will be installed for each bay of the garage, consistent with the design shown in the historic photo. The color of the stain for the garage doors will be a clear stain and the trim will be darker in an effort to be consistent with the historic condition. There will be no change to the size of the existing openings.
- On the primary south elevation, the existing pedestrian door, rotted headers above the non-historic windows, and the windows will be replaced with materials matching the historic appearance. The rotted wood (header and sills, frames and mullions) will be replaced in-kind. Ra Patterson's report concludes that the right hand, inswing door and fixed windows are historic but not restorable. The proposed window replacement is included in the exception request for replacement of historic windows.

-

Chicken Coop/Shed

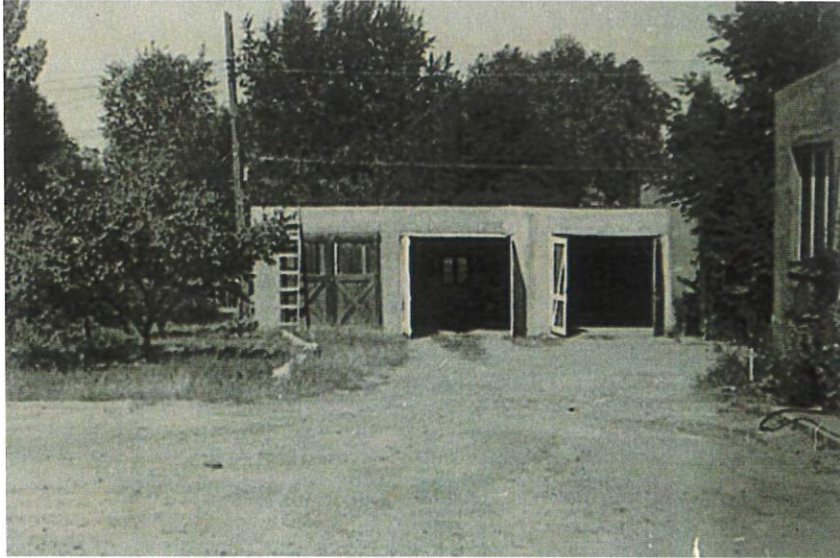
We also propose to repair the contributing Chicken Coop to serve as a tool shed. The east façade is a primary elevation.

- On the primary east façade, the header over the window and the barn door have failed and will be replaced with materials to match the existing and stained in colors consistent with the garage doors.
- The existing window on the east façade and the sill will be repaired and stained in a color consistent with the windows of the house.
- The pedestrian door on the non-primary north facade is non-historic. We propose to close this entry and stucco over the former opening.

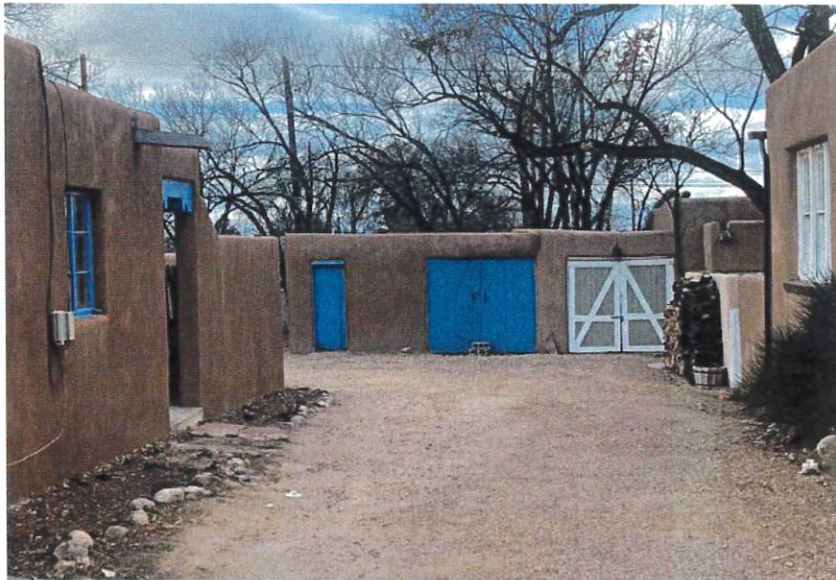
Building Colors

- The stucco color of all structures - residence, garage and chicken coop will be color coated with El Rey Buckskin.
 - Window trim colors will be Kolbe Coastal Storm (blue)
 - All doors will be Penofin clear, and the door trim, corbels and headers will be Penofin chestnut stain.
- We look forward to bringing this property to a state of repair that contributes to the character and streetscape of this delightful neighborhood.

EAST FACING FAÇADE OF GARAGES AT 834 & 832 ALLENDALE – 1940's
(Source: Marcos Padilla – conversation with John W. Murphey, April 4, 2022)



EAST FACING FAÇADE OF GARAGES AT 834 & 832 ALLENDALE – 2022



FILLED-IN WALL OPENINGS ON W. HOUGHTON



834 Allendale Street

Applicants' Response to Exception Criteria Addition to Contributing Rock Wall

Following are the exception criteria stated in City Code section 14.5.2(C)(5)(c), along with the Applicants' responses to each criterion as they relate to the Applicants' request to raise the existing contributing river rock wall (the "Wall") running along the south property line and along a short portion of the east property line to the height allowable under the City Code, as addressed below.

The Applicants request that the Board grant an exception to section 14.5.2(D)(2)(c): which states that additions are not permitted to primary facades.

The contributing Wall runs along W. Houghton - a one-way eastbound street. As the Wall approaches Allendale, it turns north, continuing 3', where it joins the existing stucco wall that encloses the front garden of the house. The exception requests to raise the existing Wall from a point 3' west of its southeast corner a distance of 20' west to the allowable height of 5'7".

The additional river rock will show a slight difference compared to the existing material to distinguish the new portion as required by Code.

(1) *Do not damage the character of the district.*

Response: The Wall has existed for decades and is similar to existing walls that are common in the neighborhood. The existing wall height varies and the condition of the Wall shows both deferred maintenance and damage. (see attached photo) The proposed height complies with the average height of yard walls within the streetscape, as well as the existing height of the western portion of the Wall and will reinforce streetscape harmony. The nature of the existing Wall will remain, and the Wall will be repaired so as to restore its overall condition, preserving the historic character of the Wall and its contribution to the character of the district.

(2) *Are required to prevent hardship to the applicant or an injury to the public welfare;*

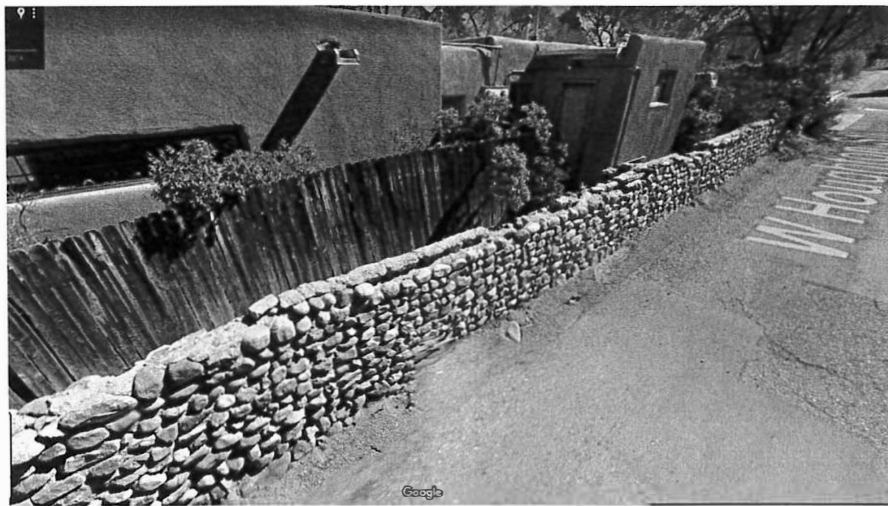
Response: The eastern portion of the Wall is lower in height than the western portion, reportedly due to damage resulting from delivery vehicles in the narrow street backing up or bumping into the southeast wall corner over the years. The HCPI states that the east end of the Wall is 2'8" and the west end is 5'8" high. The Applicants understand previous owners attempted to repair the Wall, but did not restore the Wall to its original height. Presently, the Wall can easily be stepped over directly into the front yard. The existing lack of privacy and associated safety is an ongoing hardship to the Applicants

that will be prevented by raising the Wall to its allowable height and by building a new 4'10" block wall inside of the visibility triangle, which does not require an exception.

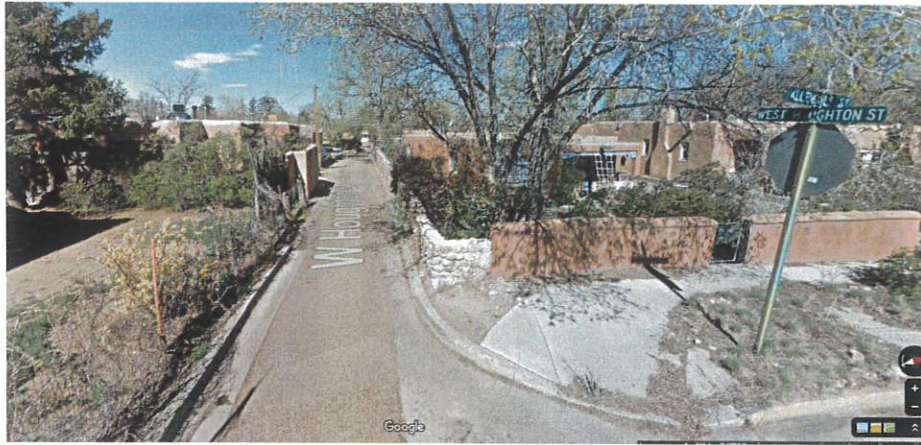
The Applicants have worked closely with the City's Traffic Engineering Department to ensure that an adequate visibility triangle is maintained at the intersection of W. Houghton and Allendale. The Applicants understand that the Department has approved the Wall design, which maintains a lower wall height of 3' in that area along W. Houghton and Allendale, as shown on the Improvement Plan. Also, the Applicants' have requested and understand that the Department is prepared to install a stop sign on eastbound Houghton, which will improve safety at this intersection compared to the longstanding conditions, thereby benefitting the public.

(3) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.

Response: In considering repair of the Wall's deferred maintenance and damage, the Applicants considered a range of options including maintaining the Wall's present height. It is apparent that the existing height of the easterly portion of the Wall is substantially lower than its historic height, based both on the presence of rock from the wall in the front yard as well as reports of damage to the wall over the years. City staff determined the average height of yard walls on Houghton to be 5'7" and on Allendale to be 4'10". Repair of the Wall is in the best interest of the Applicants and neighborhood and raising its height to the extend allowed by the Code and more consistent with its historic height is appropriate as part of the substantial renovations to the Property.



Portion of existing Wall along Houghton Street



Looking west along Houghton Street

834 Allendale Street

Applicants' Response to Exception Criteria Window Replacement on Primary Facade

Following are the exception criteria stated in City Code section 14.5.2(C)(5)(b), along with the Applicants' responses to each criterion as they relate to the Applicants' request to remove and replace three historic windows on primary facades of contributing structures. The Applicants request that the Board grant an exception to section 14.5.2(D)(5)(a)(1): which applies to the primary facades of contributing structures and states "historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style and material of the original." The Applicants proposed to replace the following three windows with new windows that match the existing size and style and as closely as possible match the material of the originals:

1. Steel casement 69" x 58" divided light window ("B" on Ra Patterson's Window and Door Assessment) on the south façade at the east end of the main house; and
2. Steel casement 69" x 38" divided light window ("C") on the east façade at the south end of the main house.
3. Fixed wood 33" x 29" 3-bay divided light window ("GG") on the south side of the garage.

The proposed replacement windows for the steel casement windows are Kolbe clad wood, duplicating the size and style of the originals. The mullion configurations will match the existing and will be powder-coated metal clad of the same color as the existing. No changes to the size of the existing openings are proposed.

Mr. Patterson concludes that based on its condition, the 53" x 30" historic steel casement window located in the east portal ("A") is in the best condition of all the existing historic windows and is repairable. The Applicants propose to repair that window, which is therefore excluded from the exception request.

(1) Do not damage the character of the district.

Response: The application proposes a substantial renovation of an existing duplex and two accessory structures that have suffered from deferred maintenance and lack of repairs over a substantial period of time. The Applicants propose to replace 13 of the 14 existing windows on the main house, two of which require an exception and one window on the south façade of the garage. The replacement windows will match the size and style of the originals and the materials will be visually similar to the existing windows. *Not* replacing the three windows would detract from the visual character of the rehabilitated house, which would detract from the cohesive design of the rehabilitated

house and the disharmonious result would harm the character of the district. The proposed replacement windows will match the balance of windows on the house and will be as visually similar to the existing windows as practicable.

(2) Are required to prevent hardship to the applicant or an injury to the public welfare;

Response: The applicable Code section states that historic windows shall be repaired or restored wherever possible. Ra Patterson assessed the condition of the three windows, all of which are more than 60 years old, and concluded based on the physical condition of the windows and because they are not square, that repair or restore these three windows is not viable and recommends their replacement in-kind.

As described in Mr. Patterson's window assessment, the existing 60+ year old single pane steel casement windows are non-insulated, causing condensation over the years that has detrimentally affected the stucco and interior plaster and will continue to do so. Mr. Patterson's report includes photos of existing plaster damage on the structure, wood rot and rust on the interior window frames.

Mr. Patterson also concludes, separate and apart from the age, condition and single-pane nature of the existing steel casement windows, that the windows suffer from structural issues. They were "welded out of square" and would have to be removed and re-squared in order to address ongoing leakage caused by the structural condition of the windows. Project designer John Odell confirmed that the two windows on the main house are both out of plumb and out of level. Because the sashes are out of plumb, the steel casements cannot be weather-stripped efficiently. Given the age and condition of the windows, Mr. Patterson's expert opinion is that repair or restoration of these 60+ year old steel casement windows is not feasible. Mr. Patterson sums up his assessment by stating "what is more important at this point, the window or the structure?"

The house, shed and garage have suffered from deferred maintenance and lack of repairs over past decades and are in need of substantial rehabilitation. The Applicants propose to renovate the existing duplex into a single-family dwelling and bring the property to a state of repair that historic character of the Don Gaspar neighborhood. Completing the renovation without replacing the three windows would be contrary to the fundamental purpose of the Applicants' effort, would perpetuate longstanding damage to the house caused by the failed 60+ year old steel casement windows and would cause both a hardship to the Applicants and injury to the public.

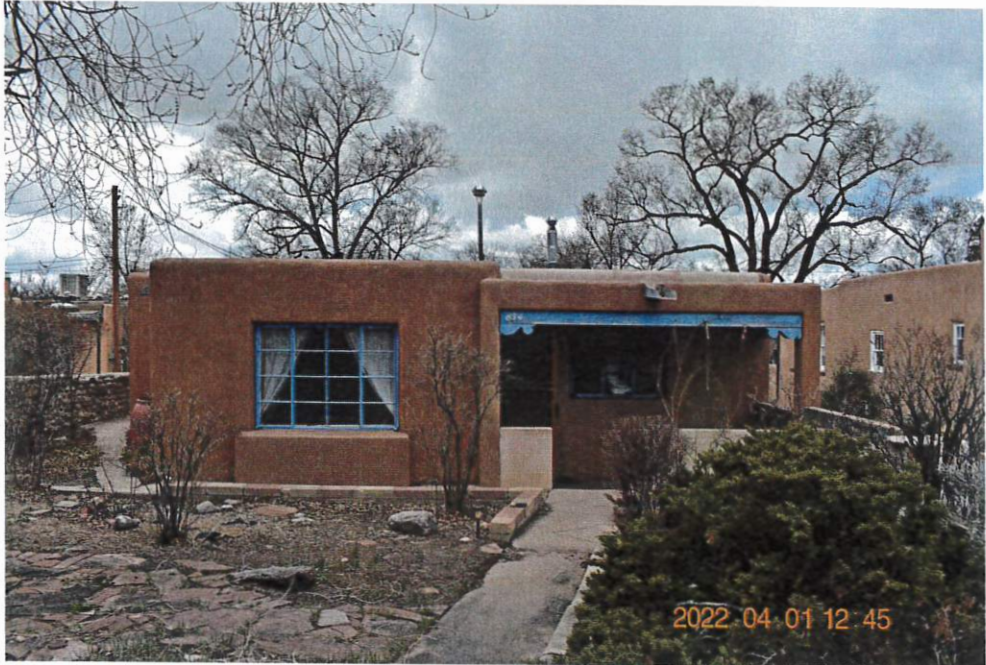
(3) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.

Response: The Applicants considered retaining all three of the 60+ year old windows. However, as Mr. Patterson explains in his assessment, doing so would perpetuate the ongoing deterioration of the house. Mr. Patterson concludes that the three historic

windows proposed for replacement suffer both from both age and structural issues, as addressed above and they are far beyond their useful life.

The Applicants propose retaining steel casement window A, beneath the front portal, in an effort to preserve the primary east façade, which the HCPI describes as having the most architectural interests from the public right-of-way and communicates its historic period. Not replacing the other two historic windows on primary facades would perpetuate the ongoing structural damage, would be inconsistent with the major rehabilitation of this contributing structure that has suffered substantially from deferred maintenance and therefore would be inconsistent with the Code objective of ensuring that residents can continue to reside within the Historic Districts.

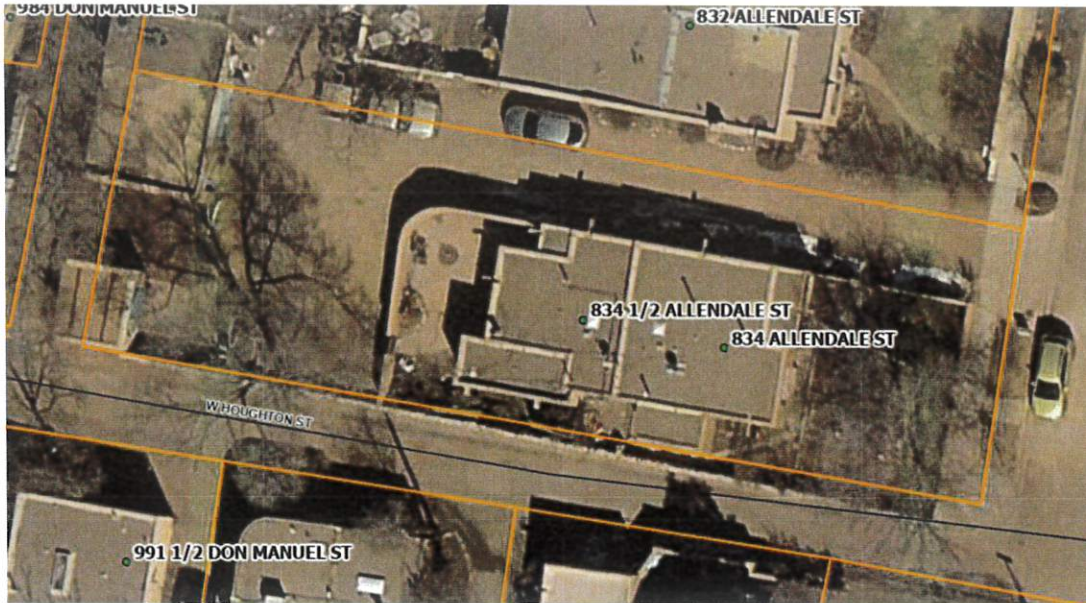
Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
Historic Preservation Division, New Mexico Department of Cultural Affairs
April 8, 2022

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>		
1. Name of property: Albinita V. Padilla Duplex	2. Location: 834 Allendale Street [834 and 834½] <i>Don Gaspar Area Historic District</i>	3. Local Reference Number: Santa Fe ID #: H 356 4. County: Santa Fe Parcel # 18402207
5. Property Type: <input checked="" type="checkbox"/> Buildings: 2 <input checked="" type="checkbox"/> Structures: walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: April 1, 2022		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: June 1995 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6767728,-105.9460038		
10. Photo Information: Sharon Joyce, photographer. View of east (front) elevation, facing west.		
11. Brief Description of the Property: Erected in 1960 as a duplex for Albinita V. Padilla, a widow, 834 Allendale Street is a roughly 1,548-square-foot, single-story residence exhibiting a modest Pueblo Revival design. It has two post-1969 additions across its south elevation. The west elevation reveals recent changes in fenestration that give it a non-compatible appearance. The property includes two structures — a former chicken and a garage — associated with the house to the north, 832 Allendale. Framing its south boundary is a long arroyo stone wall also associated with the other property. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Date: 1960, with additions <input checked="" type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: newspaper accounts, city directories, property records		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com

For: John and Betty
Amarant

18. Owner (if known) and other knowledgeable people:

Owner: John and Betty
Amarant
Knowledgeable: Marcos H.
Padilla

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing: House and Garage Non-contributing: House No Status: Walls and Chicken Coop

Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa Fe:
Don Gaspar Area Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																															
6. Visible Construction Material: <input type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input checked="" type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input checked="" type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: Modified Bitumen																																													
10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Operation</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Glazing</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr> <td>Combination</td> <td>Steel</td> <td>C-F-C</td> <td>5</td> </tr> <tr> <td>Combination</td> <td>Steel</td> <td>C-F</td> <td>3</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>16</td> <td>1</td> </tr> <tr> <td>Fixed</td> <td>Aluminum</td> <td>8</td> <td>1</td> </tr> <tr> <td>Double-Hung</td> <td>Aluminum</td> <td>4/4</td> <td>1</td> </tr> <tr> <td>Sliding</td> <td>Aluminum</td> <td>1-1</td> <td></td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Combination	Steel	C-F-C	5	Combination	Steel	C-F	3	Fixed	Wood	16	1	Fixed	Aluminum	8	1	Double-Hung	Aluminum	4/4	1	Sliding	Aluminum	1-1		11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Type</th> <th style="text-align: left;">Style</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Leaf</td> <td>Flush</td> <td>Wood</td> <td>1</td> </tr> <tr> <td>Single-Leaf</td> <td>Frame and Plank</td> <td>Wood</td> <td>2</td> </tr> <tr> <td>Sliding</td> <td>Patio</td> <td>Aluminum</td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	Flush	Wood	1	Single-Leaf	Frame and Plank	Wood	2	Sliding	Patio	Aluminum	1
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12. Chimneys N/A		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input checked="" type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																													
14. Other Significant Features N/A																																															
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications																																															
#1 Date: Post-1969, laundry room addition, south elevation; aerial photographs, visual and material evidence #2 Date: Post-1983; dining room addition, west and south elevations; aerial photographs, visual and material evidence																																															

16. Primary Architectural Style

Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

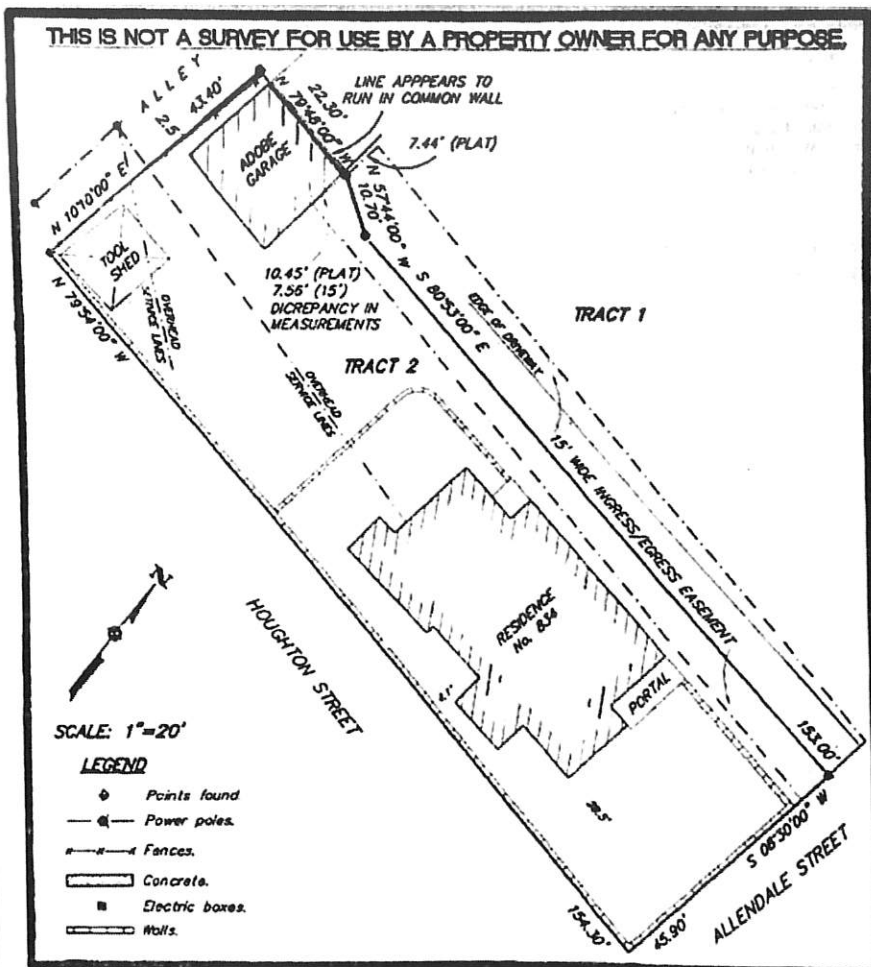
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of undated survey plat.



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Architectural Description Continued

One of the last to be constructed on the block, the house is located at the southwest corner of Allendale and West Houghton streets in Don Gaspar Area Historic District. It sits near the center of its lot and is arranged on an east-west axis. The front of the lot is framed by a contemporary wall once enclosing lawn. A gravel driveway edges the north side of the property. Another non-historic wall shelters the back side of the house. Placed along the south property are two historic structures associated with the property to the north.

The stucco-on-block house originally consists of two roughly square volumes separated by a shared wall. This arrangement is evident by the interior parapet across the roof and separate entries. The larger unit at the front, occupied by Albinita Padilla, was given more attention.

Front (East) Façade

The façade facing Allendale Street presents a post-war interpretation of the Pueblo Revival style (Photo 1). It has a projecting cubic volume with an adjacent, carport-like proportioned *portal*. The portal, which is at a lower grade than the yard, is framed with un-stuccoed CMU walls (Photo 2). The façade is fenestrated with standard ¼" frame residential steel windows. The units, which continue along the north and portion of the south elevations, are casements in a double or combination arrangement, and operated by cranks. The front door is a screw-assembled frame and plank unit. The same type of door is used at the back apartment.

North Elevation

Facing the driveway, the east elevation steps down to the west with a series of parapet height changes (Photo 3). Its plain façade is marked by small rectangular window openings. These hold the same steel casements discussed above. The wall terminates at an opening leading to the door of what was the back apartment. South of the foyer-like entry is a large steel window, representing the last of the original fenestration.

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West Elevation

The west elevation looks onto a small a concrete courtyard (Photo 4). The older, longer portion is penetrated with newer aluminum sliding doors. At a slightly taller height is a post-1983 projection holding divided light black aluminum windows (Photos 4&5). The projection, creating a dining room, appears to have enclosed and expanded upon an earlier porch (Figures 6&7).

South Elevation

Paralleling the stone wall, the south elevation shows the greatest degree of change. It begins at the southeast corner with a large steel combination window original to the house (Photo 6). From this point west, it reveals several changes. The most notable are two post-1969 projections from the façade (Figure 6). These are readable by the change in the types of windows and canals. The largest of these is the aforementioned post-1983 projection on the west elevation. The long side of this addition has a horizontal, slit window (Photo 5). A second projection near the southeast corner has an aluminum sliding unit (Photo 7). Between the additions is a section of the original wall with two steel windows (Photo 8).

Ancillary Structures

The site includes two secondary structures historically tied to 832 Allendale, the adjoining property to the north. These include a garage, spanning both properties, which was determined Contributing at a 2016 HDRB hearing. Due to this designation, the structure will not be discussed here.

Chicken Coop/Toolshed

Tucked into the southwest corner is a small square-shaped structure that originally worked as a chicken coop (Photo 9). Erected during World War II, the roughly 170-square-foot structure is made of tile blocks. It has a concrete floor, wood *vigas*, and a plywood ceiling. The north elevation is accessed by a tongue-and-groove wood door. The east side has a larger opening. A barn sash window sits adjacent to its door. Marcos Padilla, who grew up at 832 Allendale, recalled that his father, Norberto Padilla, erected

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the chicken coop. The structure was later converted into a woodworking shop used by his father.¹

Alley Wall

Running nearly the entire length of the south property line is an old stone wall (Photo 10). The wall, approximately 140' in length, is made of round stones laid in regular courses over a bed of cementitious mortar. It ranges in height between 2'-8" at the east end and 5'-8" at the west end. The structure is interrupted by two openings filled with CMU (Photo 11). Historically, these held a gate and a trash barrel enclosure, as the alley was once serviced by trash trucks. The wall was erected in the 1940s with stones sourced from arroyos on the south side of town, beyond what is today Siringo Road.²

Front Wall

A low, stuccoed wall defines the front of the property (Photo 12). The 3'-6" block wall is topped with a thick crown and penetrated by a narrow opening holding a wire panel gate. Based on aerial photographs, it postdates 1978 (Figure 7). Attaching to the wall at a right angle is a section of un-stuccoed CMU wall framing the north side of the front yard (Photo 13). This wall, or a similar structure, appears on older aerial images.

Back Wall

A tall, non-historic stucco-on-block wall gives the back unit privacy (Photo 14). Postdating 1978, it maintains a roughly 6' height.

¹ Marcos Padilla, telephone conversation with John W. Murphey, April 4, 2022.

² Ibid.

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Historical Overview

A look at a map of Santa Fe from the late 19th century would give the impression of tremendous growth south of the river. The area, which would become known as the Don Gaspar district, was scored with blocks of gridiron residential lots intersected by broad avenues. But this impression would be incorrect. Given a prolonged real estate slump and Santa Fe’s years of population decline, it would take nearly five decades to fill in with houses. This includes the study house, which only came about in 1960 — more than 80 years after its subdivision.

Southside Expansion: 1887-1930

Following the railroad additions of the early 1880s near the Atchison, Topeka, and Santa Fe depot, real estate shifted southeast with the construction of the new capitol building in 1886. In 1887, the *Santa Fe New Mexican* wrote that over \$800,000 invested in real estate transactions in the area, “amply attests the home faith which exists in New Mexico’s capital city, while the unsolicited investment of more than \$100,000 of eastern capital sufficiently indicates the confidence which outsiders have in Santa Fe’s future.”³

The article coincided with the arrival of the Texas, Santa Fe and Northern Railroad (Denver and Rio Grande) from the north, adding another rail connection to the city. In the eyes of Eastern investors, Santa Fe had the potential for becoming a substantial railroad town, with all the expectation of profits to come with it. These investors were mainly stockholders in the Atchison, Topeka, and Santa Fe Railway, including George W. Morse, of New York, and William S. Houghton, from Boston. They would finance subdivisions in the South Capitol area, and Houghton’s name is still part of that landscape.

Then, subdivision building was much simpler than it is now. All one needed was capital to buy land, surveyors to plot it, and a team of horses to grade and roll its primitive streets. Future homeowners and spec builders would do the rest.

³ “Highland Addition Sale,” *Santa Fe Daily New Mexican*, October 22, 1887, 4

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Allan's Highland Addition

The same *New Mexican* article heralding Santa Fe's prosperous future encouraged locals to invest a few dollars in one of the new southside subdivisions. The Highland Addition, with which the subject property is associated, was platted by John D. Allan, a Canadian-born investor and Chicago resident. Of Scottish ancestry, Allan came to Santa Fe in the early 1880s, following the railroad. With family members, he and other investors established the Chicago & Santa Fe Smelting Company, constructing an ore smelting plant south of the city. Under suspicious circumstances, the newly built \$35,000 plant burned to the ground in March 1884.⁴

Allan next moved into transportation, operating a livery in downtown Santa Fe. In 1887, he began working as a real estate dealer. His largest holding was 35 acres of raw land near the former Ramona Indian School, on what is now East Coronado Road. Part of this would be platted into the eponymous Allan's Highland Addition (Figure 1).

The *New Mexican* glowingly described Allan's addition as "twelve acres of the most excellent land about the city that have been carved up into 100 of the choicest resident lots ever placed on the western market."⁵ It went up for auction on Monday, October 24, 1887. Sales were weak, with only 27 of the 100 lots sold. The most expensive acquisition was seven lots picked up by a Kansas investor.

It was a perilous time to gamble in real estate, especially in a rural Western community like Santa Fe. After years of overexpansion — much of it tied to the railroad — the U.S. economy experienced a severe financial panic in 1893, followed by a depression.

Spark's Addition

The subdivision, now called Allen's Highland Addition (with an "e" replacing the "a"), languished in the early years of statehood. As shown on the 1912 King's map, not one of its lots had been developed (Figure 2). John D. Allan, who long had left the community, sold the east half of his tract, which was later be replatted as the Spark's Addition. Its name reflects its owners, Virgil and Mary Sparks, who were also owners and operators of Santa Fe's first telephone exchange. A native of Indiana, Virgil Sparks came to Santa Fe in the early 1900s, managing the Santa Fe Power and Light Company. With

⁴ "Reduced to Ashes," *Santa Fe New Mexican*, March 26, 1884, 4.

⁵ "Highland Addition Sale," *Santa Fe Daily New Mexican*, October 22, 1887, 4

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the advent of the telephone exchange, the couple established a switch room on East Alameda Street, where the current CenturyLink building stands. This stretch of Alameda originally bore their name: Sparks Avenue.

In 1922, the Spark's Addition was reconfigured (Figure 3). The earlier north-south-oriented urban-type lots were reoriented to an east-west axis. Kansas-born contractor A. J. Harrison started erecting spec homes in the reworked subdivision, completing two \$4,500 bungalows by May 1923.⁶ The *New Mexican* reported on the work, stating that few Santa Feans knew much about the subdivision. The paper claimed that it possessed "fine views of all the mountains around Santa Fe" and was only a seven-minute walk to the capitol.⁷

Still, as seen on the 1930 Sanborn map, growth was sluggish. On the west side of the road, the south end of Allendale Street remained undeveloped, aside from a little tile building on the subject lot, which has long since been demolished (Figure 4).

834 Allendale – the Albinita V. Padilla House: 1960-1983

The undeveloped section of Allendale Street began to fill in the 1930s. One of the first homeowners to occupy it was Norberto C. and Albinita V. Padilla, who established a home at 824 Allendale.

Norberto came from Belen and could trace his ancestry to the Los Padillas land grant.⁸ Drafted in World War I, he served in the 32nd Infantry, Red Arrow Division. He was severely injured while attempting to take a hill occupied by a German machine gun nest. He lost part of his right leg but refused to have it amputated. He would spend several years in rehabilitation and have to wear a 4" elevated shoe for the rest of his life.

The disabled vet, who worked as an accountant for the State Disabled Soldiers Relief Commission, moved his wife and three children from Santa Fe to his hometown of Belen during the Depression. The family returned to Santa Fe in the late 1930s, building a house at 832 Allendale Street. After retiring, Norberto got involved in woodworking, making furniture for the house, and creating the floor for its addition. He turned an old chicken coop at the southwest corner of the property into a woodworking shop.

⁶ "Sparks Addition is Developing Fast," *Santa Fe New Mexican*, May 9, 1923, 2.

⁷ Ibid.

⁸ Padilla, telephone conversation with John W. Murphey.

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Norberto and Albinita were active in religious and civic affairs. Norberto was a member of the American Legion, an officer in the Knights of Columbus, and helped found the New Mexico chapter of the Veterans of Foreign Wars.⁹ Albinita, who worked as a clerk for the Bureau of Land Management, served on the St. Francis altar committee and the Catholic Daughters of America, and as an officer in La Sociedad Folkorica.¹⁰

Norberto C. Padilla died in 1955, at age 63. Albinita continued to reside at 832½ but by 1960 had moved into a new house on the adjoining lot to the south — 834 Allendale. The new residence was built as a duplex, designated 834 and 834½, to help the widow gain a little income.¹¹ The rental unit at the rear had a single bedroom, a living room, a bathroom, and a kitchen.¹² Albinita lived at the front of the house until she died in 1983. The following year, the property went out of family ownership.

The new owner attempted to maximize the lot, having successfully rezoned from RM-1, multiple-family residential, to RM-1, planned unit development.¹³ The rezoning allowed for additional residential units on the property, beginning with permission to convert the garage and toolshed into an apartment.¹⁴ The owner did not move forward with the plan. Roberta J. Symington purchased the property in c.1989, and continued its use as rentals.¹⁵ The building fell into disrepair during this time.

⁹ Ibid.

¹⁰ "Padilla, Albinita, 81," *Santa Fe New Mexican*, July 10, 1983, A-19.

¹¹ Padilla, telephone conversation with John W. Murphey.

¹² "Apartments Unfurnished," *Santa Fe New Mexican*, December 15, 1960, 19.

¹³ "Adoption of Ordinance No. 1984-86," *Santa Fe New Mexican*, October 17, 1984, D-5.

¹⁴ "City Alters Route of Cerrillos-Alameda Road," *Santa Fe New Mexican*, October 11, 1984, A-2.

¹⁵ Ken Bush, telephone conversation with John Murphey, March 29, 2022. Bush has lived in the adjacent house (832 Allendale), since 1989.

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Evaluation of Historical Status

Constructed in 1960 and receiving additions across its south and west elevations, the former duplex has lost a degree of historic integrity. The front (east) façade has the most architectural interest from the public right-of-way and communicates its historic period. The former chicken coop (toolshed) and long stone wall are associated with another property but help establish the historical context of the site and the district as a whole.

Conclusion

For these reasons, the recommendation is to designate the dwelling Contributing to the Don Gaspar Area Historic District, suggesting that the east elevation be established as the primary façade. The former chicken coop and alley wall are equally recommended for Contributing status.

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Illustrations

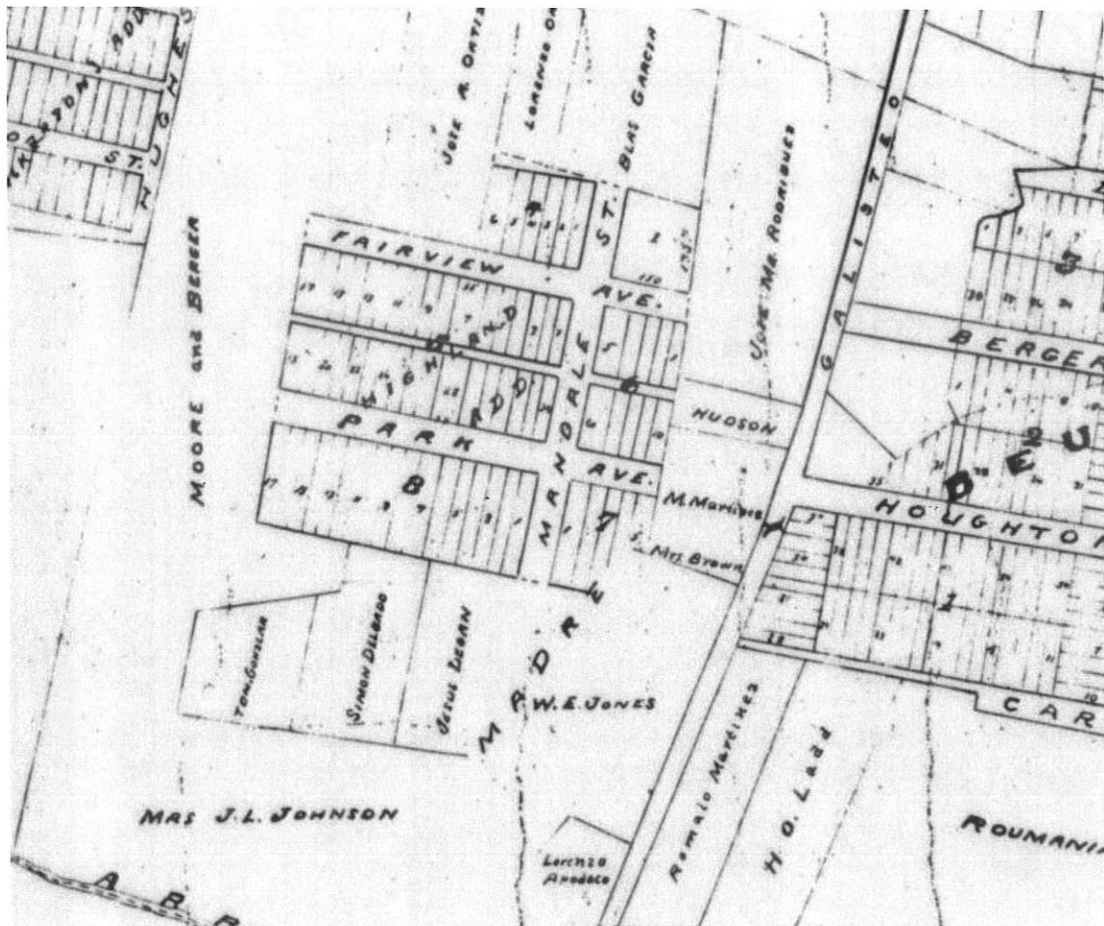


Figure 1: P. C. Gaynor, "Map of Santa Fe, New Mexico," 1892, showing the original configuration of Allen's Highland Addition.

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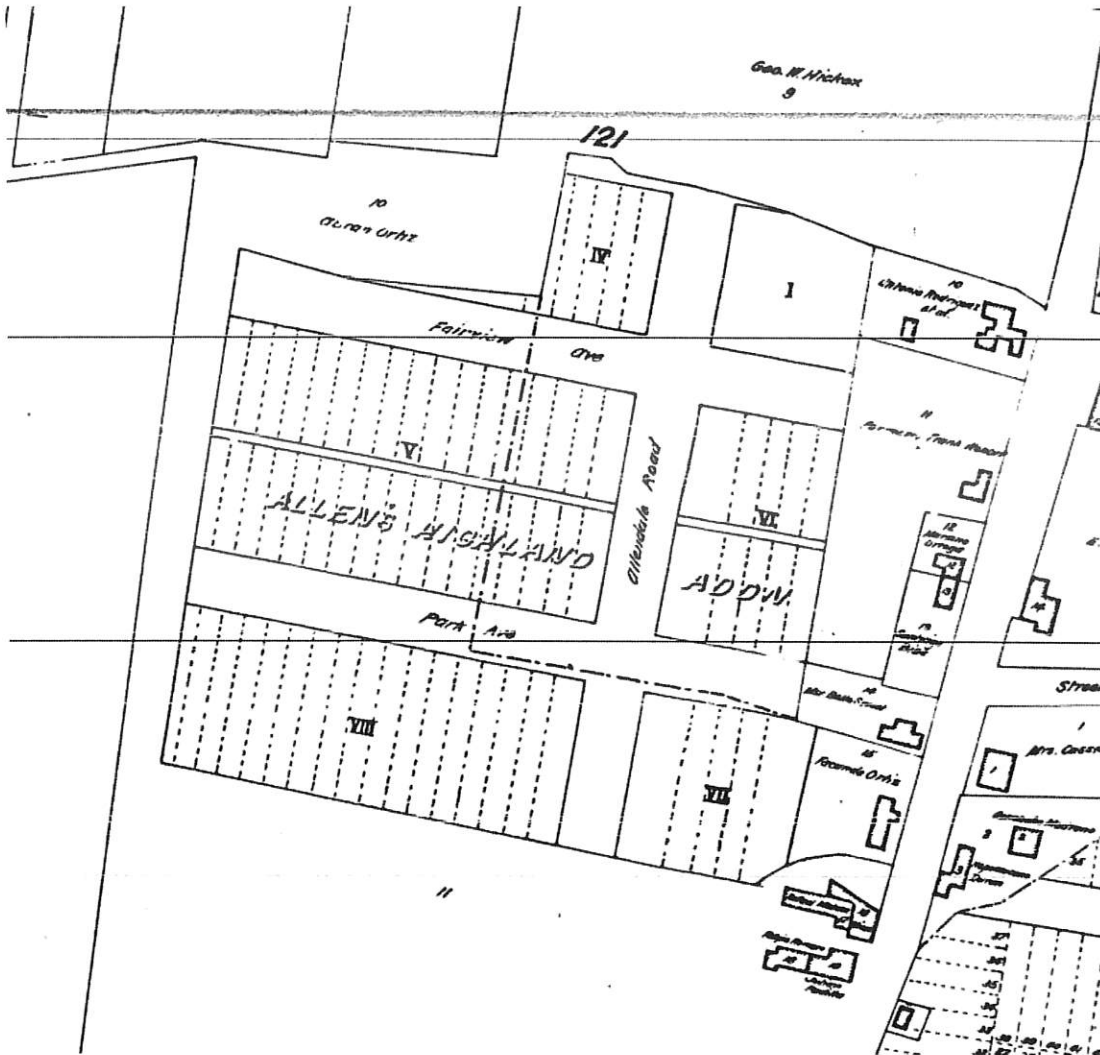


Figure 2: N. L. King, "King's Official Map of the City of Santa Fe, New Mexico," 1912, revealing no development in the subdivision.

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1. Name of property: Albinita V. Padilla Duplex	2. Location: 834 Allendale Street <i>Don Gaspar Area Historic District</i>	3. Local Reference Number: Santa Fe ID #: H 356
		4. County: Santa Fe
		5. Date of Survey: April 1, 2022

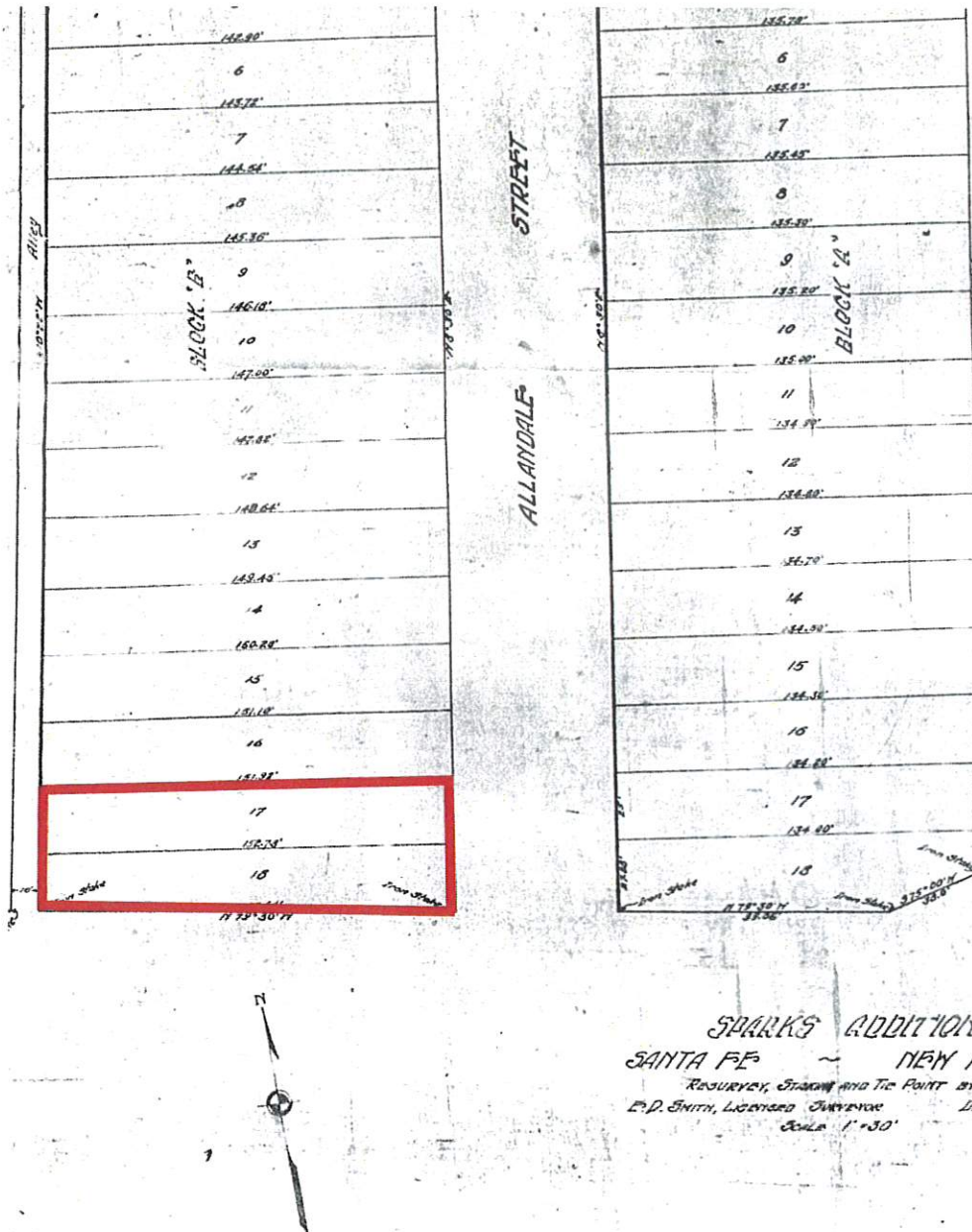


Figure 3: December 6, 1922 plat for the Spark's Addition. Subject lot highlighted.

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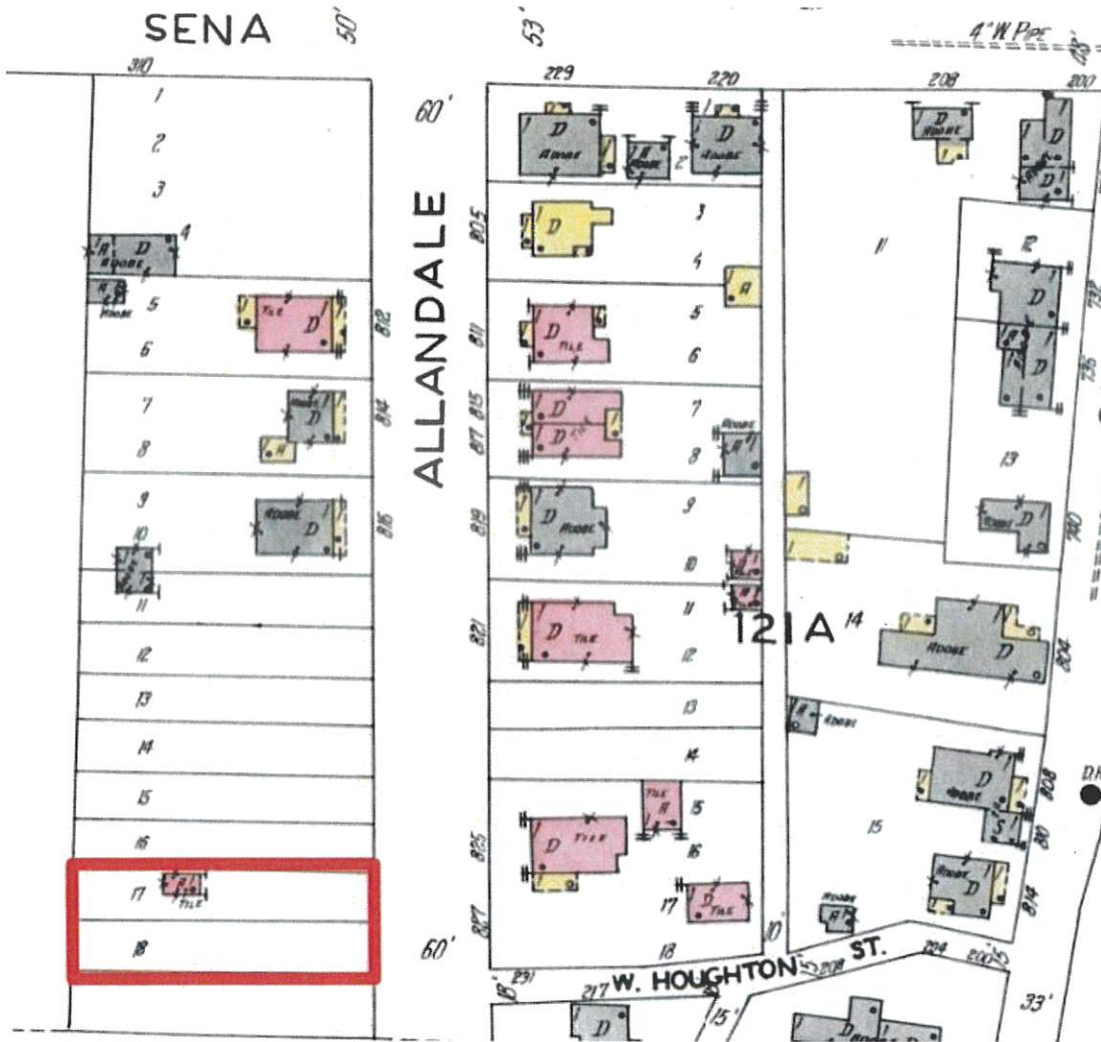


Figure 4: 1930 Santa Fe Sanborn Fire Insurance Map.
 Subject property highlighted.

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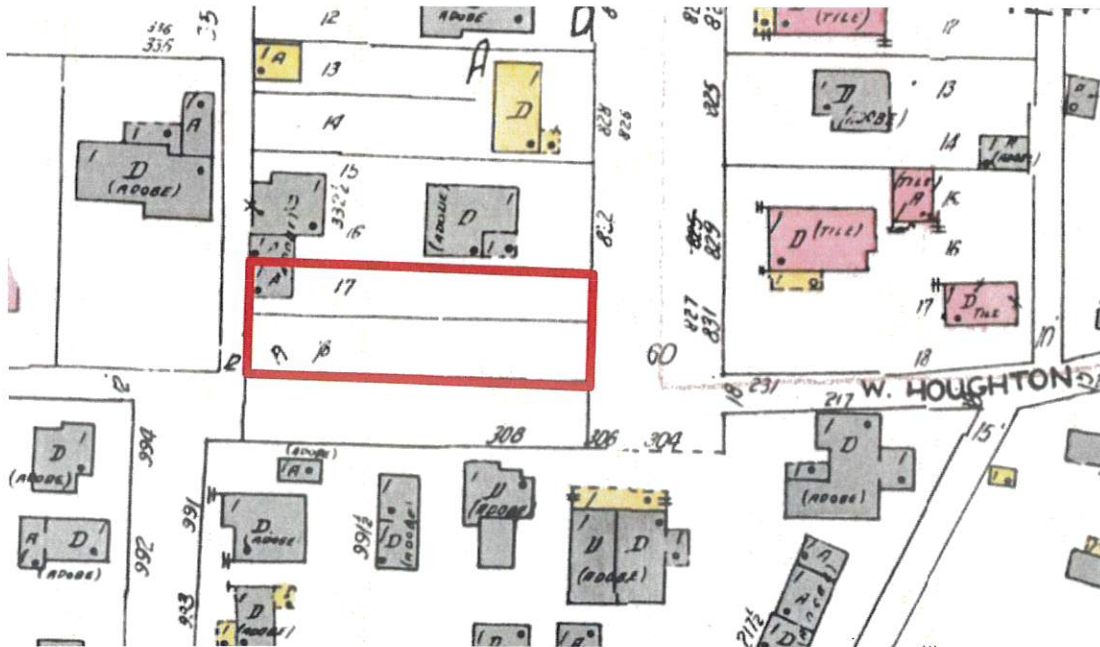


Figure 5: 1948 Santa Fe Sanborn Fire Insurance Map, showing lots undeveloped and associated with 832 Allendale Street. Note presence of garage, spanning two lots. Subject lot highlighted.

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Figure 6: February 27, 1969, aerial photograph.
 Note likely porch along south elevation and absence of current west dining room projection and laundry room additions.

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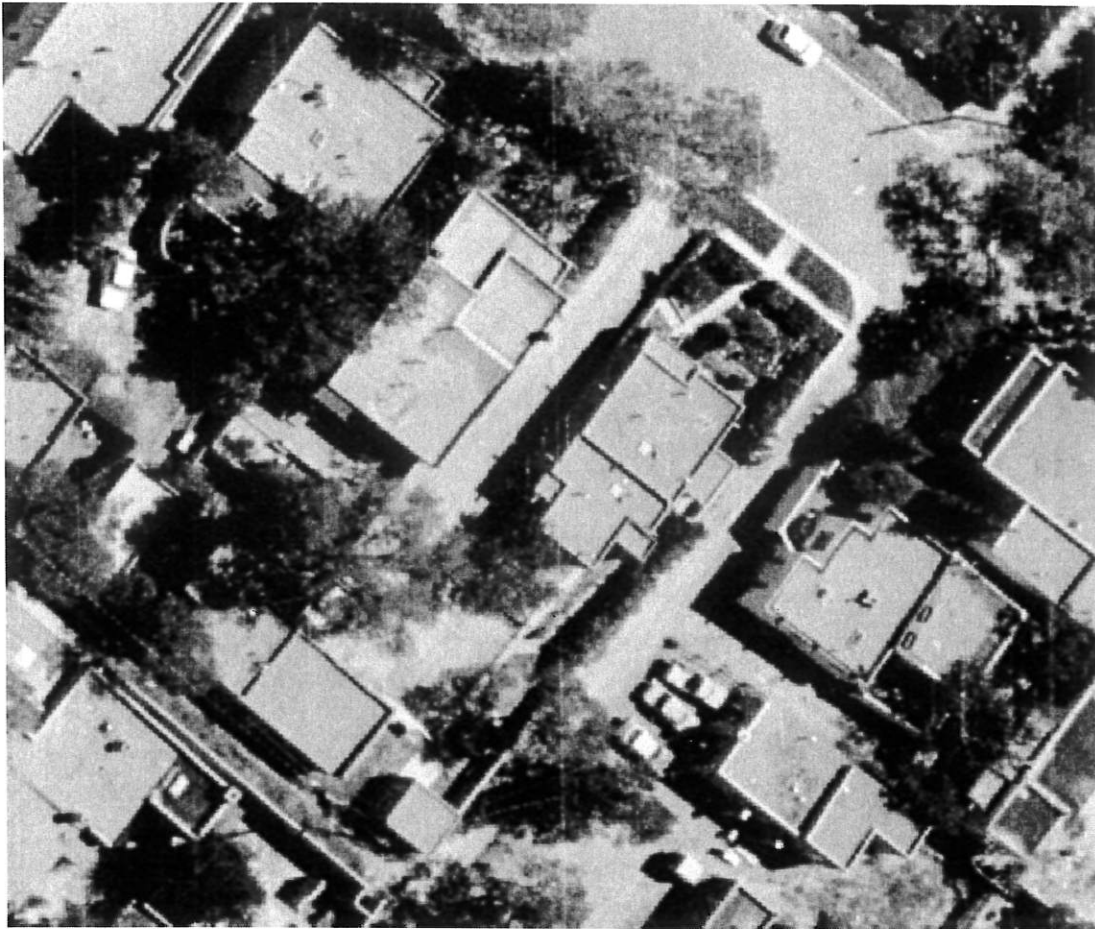


Figure 7: September 11, 1978, aerial photograph.
 Note continued presence of likely porch along south elevation and absence of current west dining room projection. The laundry room had been added by this date.

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Survey Photographs

(All images taken by Sharon Joyce, April 1, 2022, unless otherwise noted)

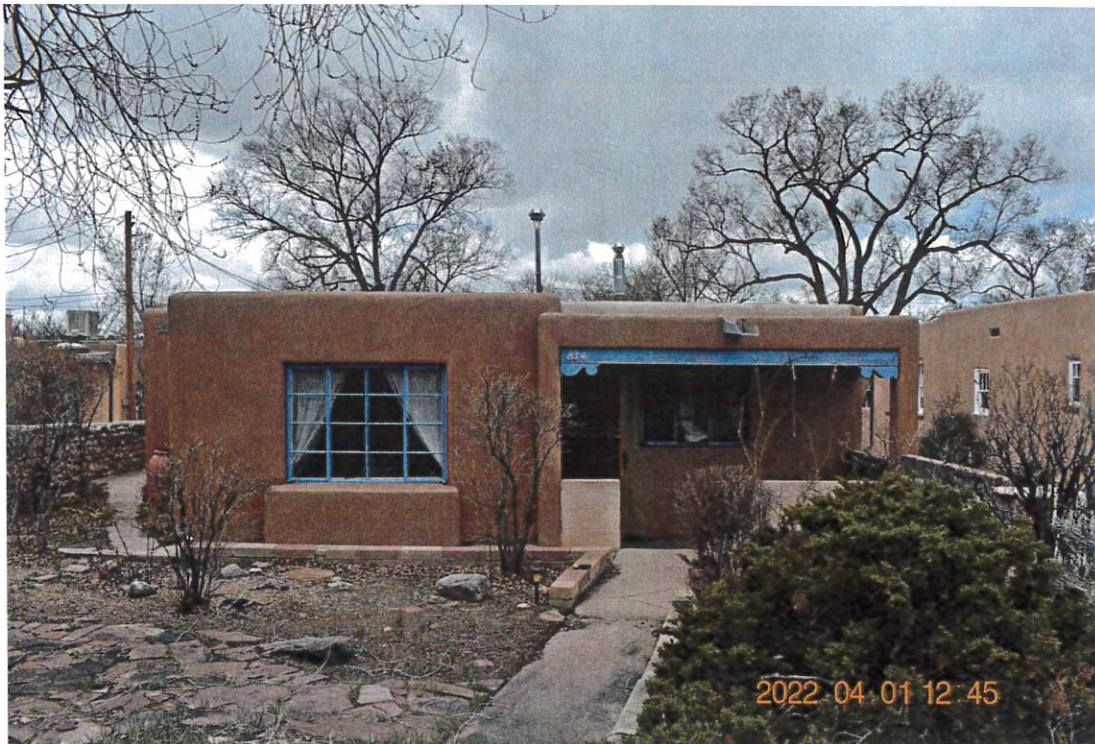


Photo 1: Front (east) façade.
Camera facing west.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
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Photo 2: Front (east) façade.
Portal.
Camera facing west.

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**Photo 3: View of north elevation.
Camera facing southeast.**

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Photo 4: West elevation.
Post-1983 dining room addition at right.
Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		NRHP <input type="checkbox"/>	SRCP <input type="checkbox"/>
		Criteria <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D	
1. Name of property: Albinita V. Padilla Duplex	2. Location: 834 Allendale Street <i>Don Gaspar Area Historic District</i>	3. Local Reference Number: Santa Fe ID #: H 356	
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Photo 5: West and south elevations.
Post-1983 dining room addition at right.
Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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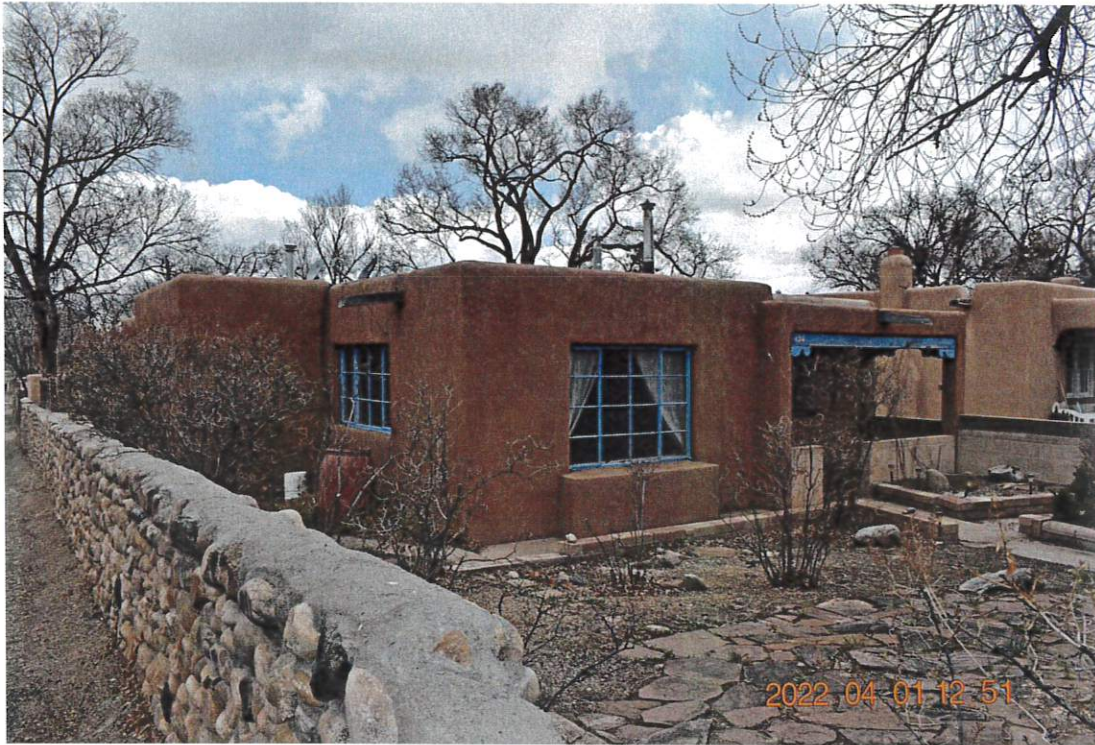


Photo 6: South elevation.
 Original section at center; post-1969 laundry room addition at left.
 Camera facing northeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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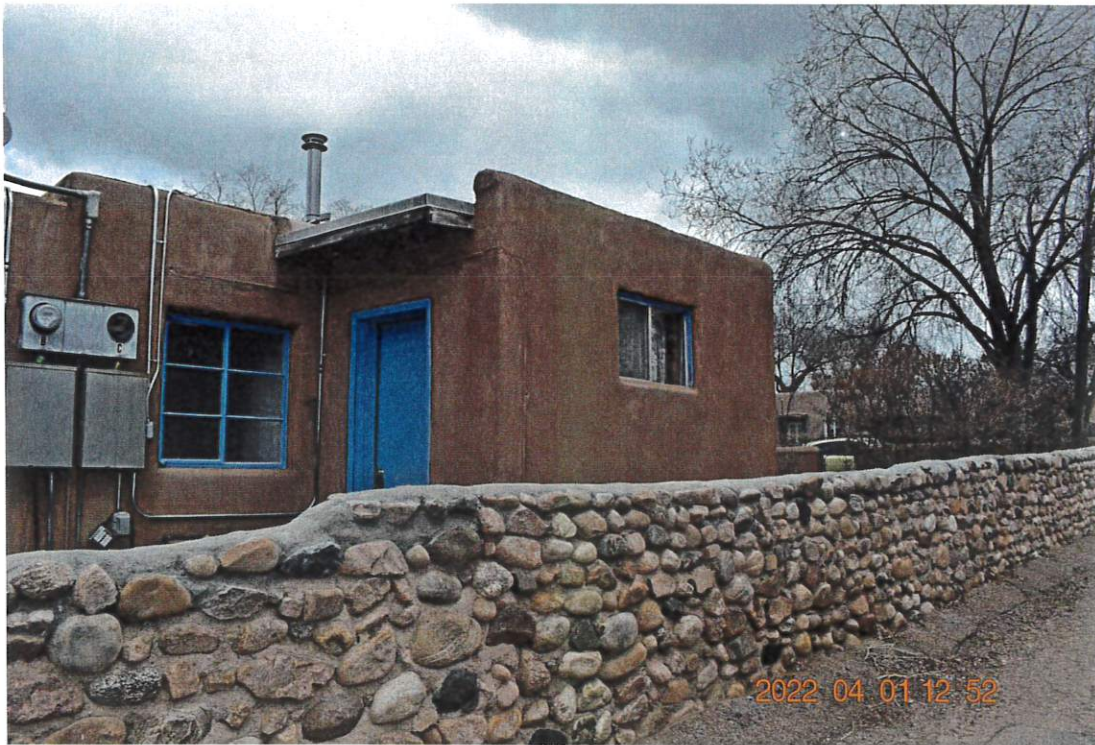


Photo 7: South elevation.
Post-1969 laundry room addition at right.
Camera facing northeast.

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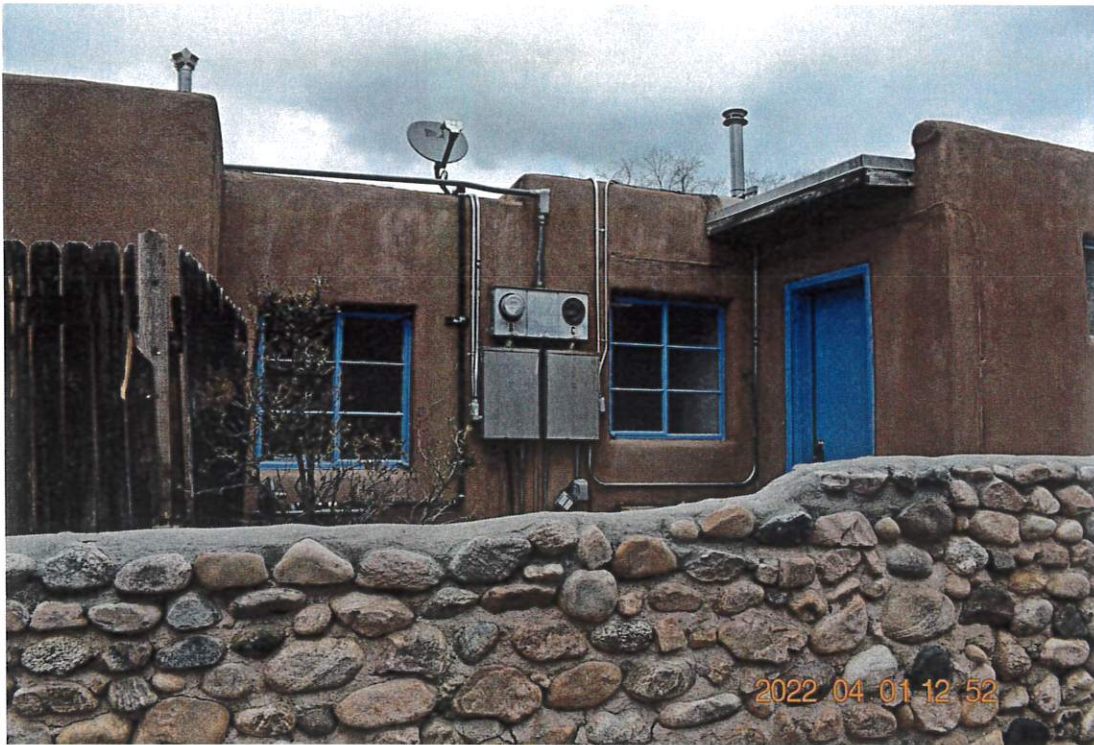


Photo 8: South elevation.
 Original 1960 section flanked by post-1983 addition (left) and post-1969 addition (right).
 Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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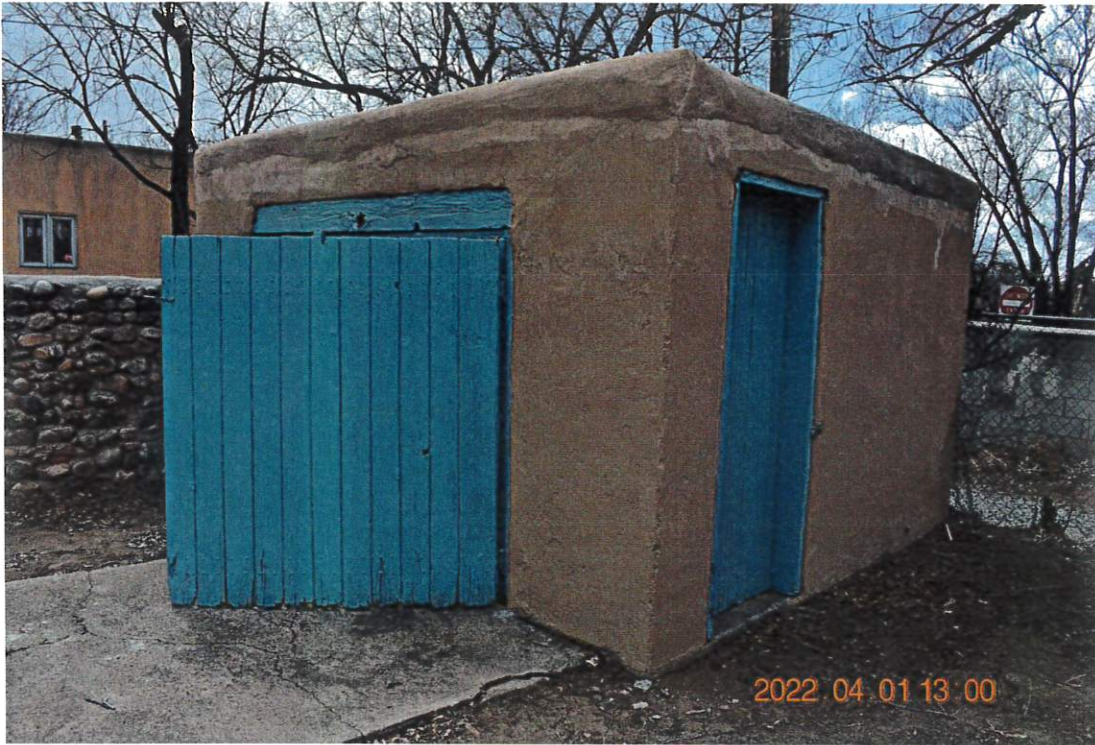


Photo 9: Chicken Coop/Toolshed.
Camera facing southwest.

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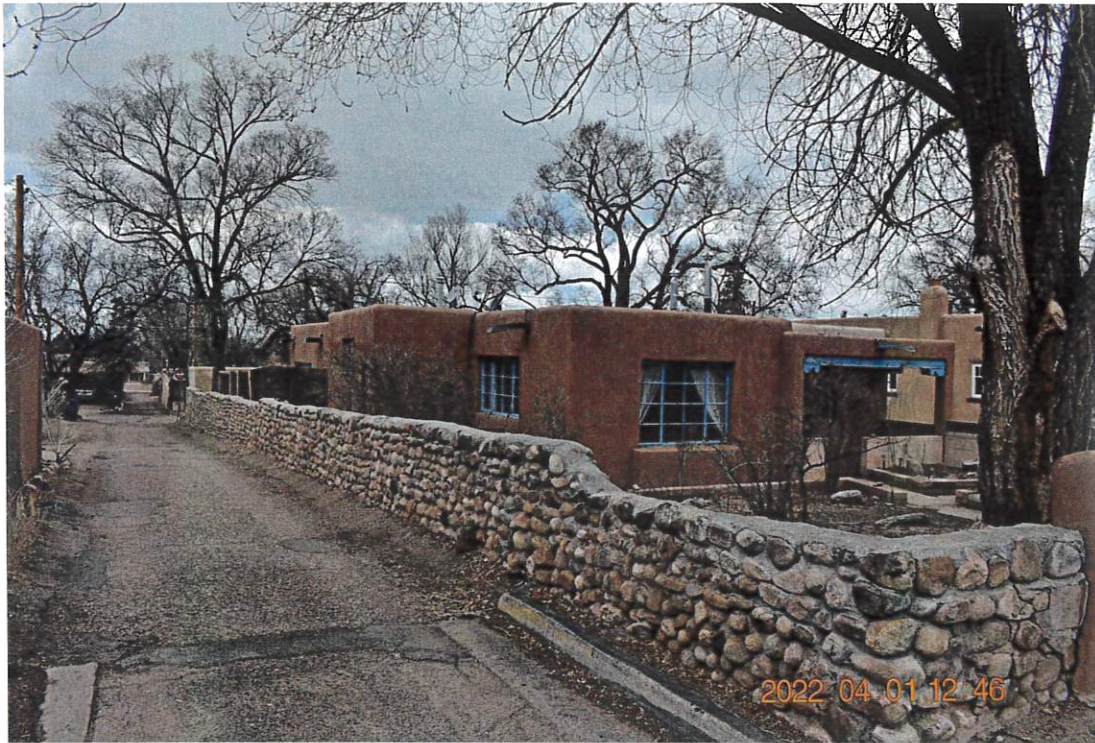


Photo 10: Alley Wall.
Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 11: Alley Wall.
Blocked in openings.
Camera facing north.

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Photo 12: Front Wall.
 Camera facing northeast.

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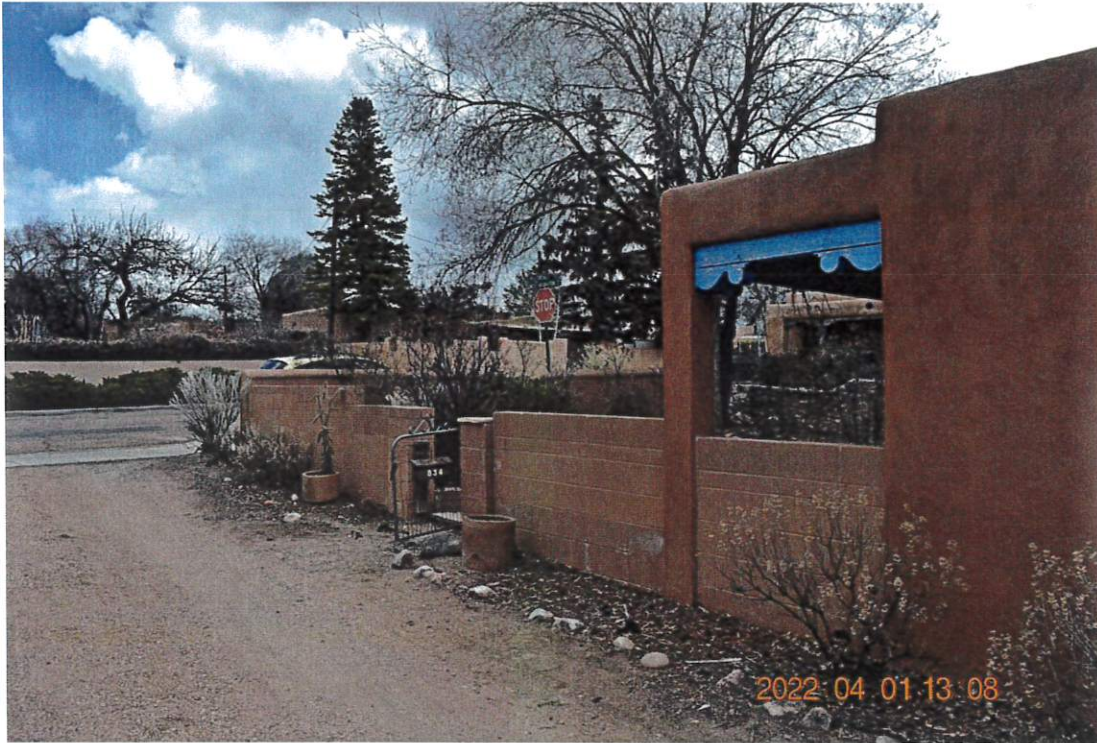


Photo 13: Front Wall.
Unstuccoed north section.
Camera facing southeast.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

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Photo 14: Back Wall.
 Camera facing northwest.

RPA & Associates

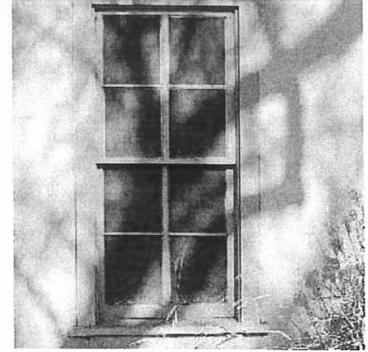
PRESERVING OUR HISTORY

1304 Central Ave SE, Albuquerque, NM 87102
 P.O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 rpahistoric@gmail.com

TO JOHN O'DELL & ASSOCIATES LLC.
 1523 TAOS STREET
 SANTA FE, NM 87505
 505-660-5607

HISTORIC ASSESSMENT

NO. JO-834-HA



JOB	DATE
834 ALLENDALE	04/28/2022

LOCATION	DESCRIPTION
EAST A	53 x 30 LSR 1W3H - STEEL CASEMENT
NORTH DR #1	3-0 x 6-8 LH PANEL DOOR
EAST B	69 x 58 LSR 1W3H/2W4H/1W4H - STEEL CASEMENT
SOUTH C	69 x 38 LSR 1W3H/2W3H/1W3H - STEEL CASEMENT
SOUTH D	36 x 24 HS ALL ALUMINUM 1 - LT
SOUTH E	37 x 38 LS 1W3H - STEEL CASEMENT
NORTH F	54 x 26 LSR 1W2H -STEEL CASEMENT
NORTH G	54 x 26 LSR 1W2H - STEEL CASEMENT
WEST DR #2	2-6 x 6-8 RH FLUSH DOOR
SOUTH H	37 x 38 LS 1W3H - STEEL CASEMENT
NORTH I	37 x 38 LR 1W3H - STEEL CASEMENT
NORTH J	52 x 49 LSR 1W4H - STEEL CASEMENT
NORTH DR #3	3-0 x 6-8 LH PANEL DOOR
WEST K	6-0 x 6-0 SGD OX ALL ALUMINUM 1986
NORTH L	24 x 60 SH 2/2 GRILLES AND AIR SPACE - ALL ALUMINUM 1986
WEST M	16 x 60 FXD 2W4H GRILLES AND AIR SPACE - ALL ALUMINUM 1986
SOUTH N	96 x 16 FXD 8W2H GRILLES AND AIR SPACE - ALL ALUMINUM 1986

After visiting the site and doing an assessment, the following is what is recommended:

Windows D, K, L, M, N are all aluminum windows from 1986, therefore non-historic. The steel casements are from the original 1961 windows and appear to be causing great harm to the rest of the historic building. The window frame condensation is so great that it is causing plaster damage and inside the wall damage, as shown in the attached pictures. The condensation is also causing surface and structural rust in the steel window frames. The hinges have been covered in stucco on several of the windows and have made them non-operable. Another issue is the inability to weatherstrip steel casements efficiently, which causes leaking around the non-plumb sashes. There is evidence of leakage around the frame structure and the stucco, this requires the windows to be removed and reflashed, in order to remove the anchors that are behind the putty glazing.

The glass and putty would need to be removed to pull out and re-install the window. There is hardware to be replaced (hinges buried in stucco). Putty and glass in steel cases are welded out of square (which was common back in the 60's). It becomes an issue to remove and re-square. What is more important at this point, the window, or the structure?

If the glass shelf was deep enough, an option would be to install insulated glass, however that still would not solve the condensation problem.

Tool Shed:

East AA is non-historic, a barn sash fitted into a new dimensional 2 x 4 frame.

East BB is a swinging barn door that is historic. Original exterior wood but interior wood is ¾ material from the 1980's. Door jamb has more than 40% rot and is non-restorable.

North CC is a service door with 1x3 - 1980's beaded plank (stapled onto a frame work) and is non-historic.

Garage:

East DD is a historic T & G door with a historic lock.

East EE is a non-historic T-113 siding garage door from the 2000's.

West FF is a historic inswing casement that could be restorable.

South GG is a fixed barn sash that needs to be replaced due to having no sill which allows moisture into the adobe.

South HH is a planked door that needs to be replaced due to rotting and twisting.

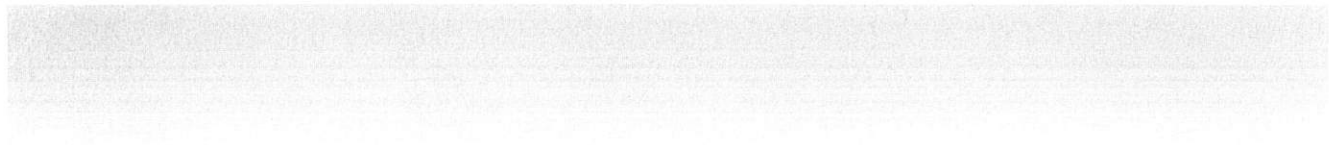
My professional opinion is to replace the windows with an energy efficient clad/wood window in likeness to the steel casement and maybe save the steel casement under the front portal to keep the historic value of the original windows. This window is protected by the portal and is in the best condition.

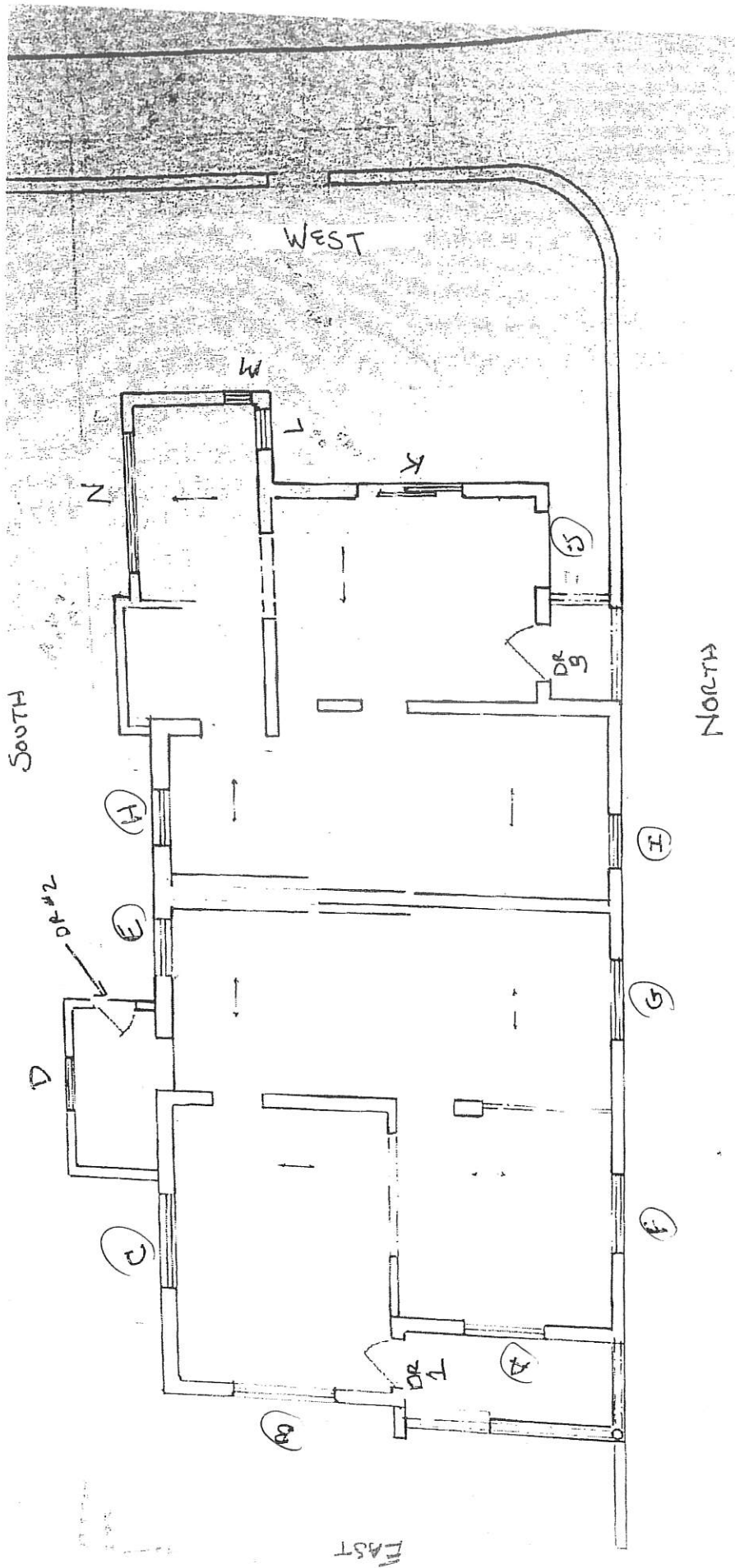
The 3 doors are all from the 1980's. Doors #1 and #2 are planked doors with a skin/veneer over them, which wasn't done until the 1980's and 1990's. Door #3 is a solid core veneered manufactured flush from the 1980's or newer. All three of these doors are non-historic. My professional opinion is for these doors to be replaced with something like the architecture of the era of the house.

Tool shed/garage AA & BB are unrestorable and CC is non-historic. DD and FF are restorable. EE is non-historic. GG & HH are historic and not restorable. The replaceable items should be replaced with like and kind of that era.

If you have any questions, please feel free to contact me about this assessment at 505-379-7900.

Assessment prepared by: *Ra N. Patterson*



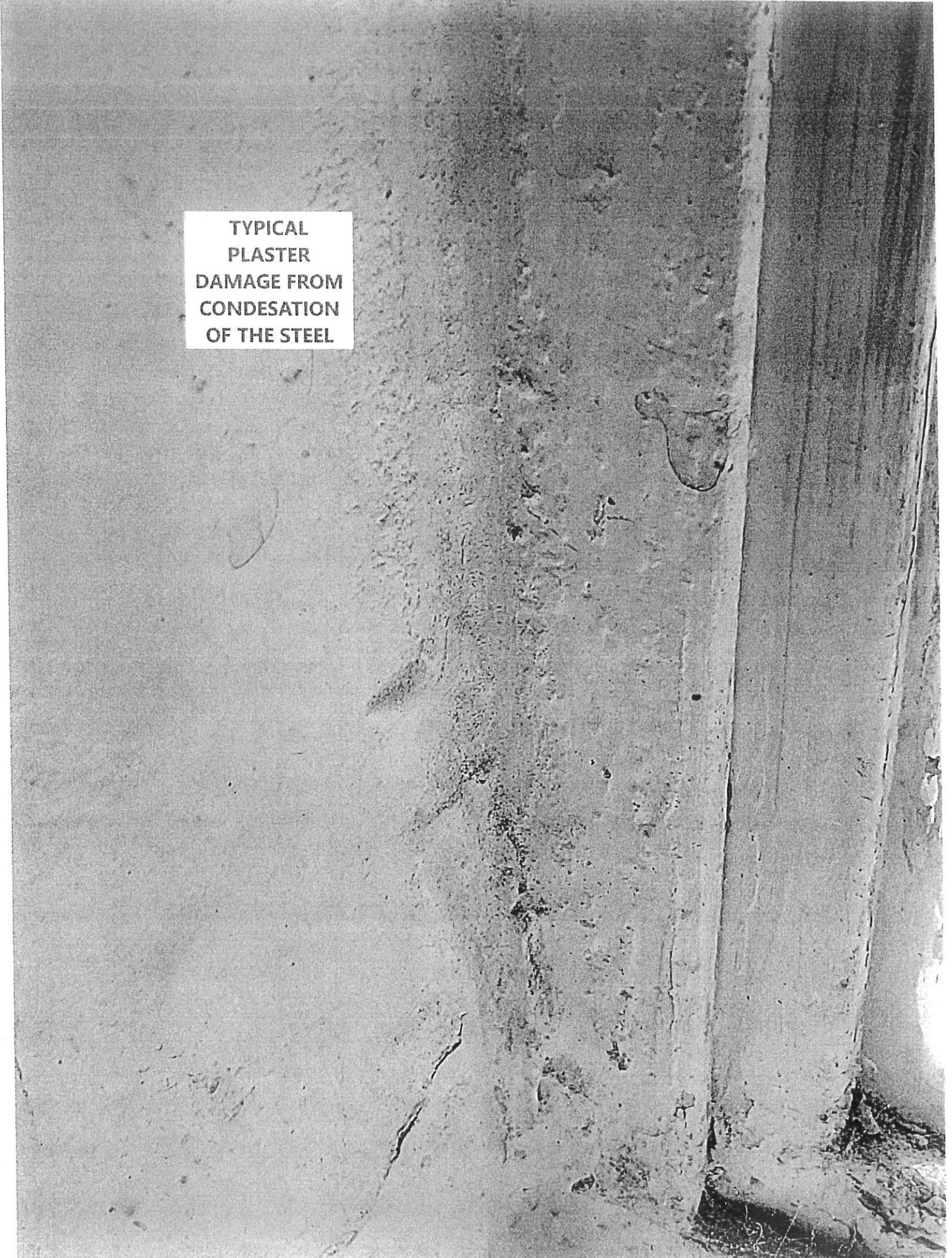


834 ALLENDALE

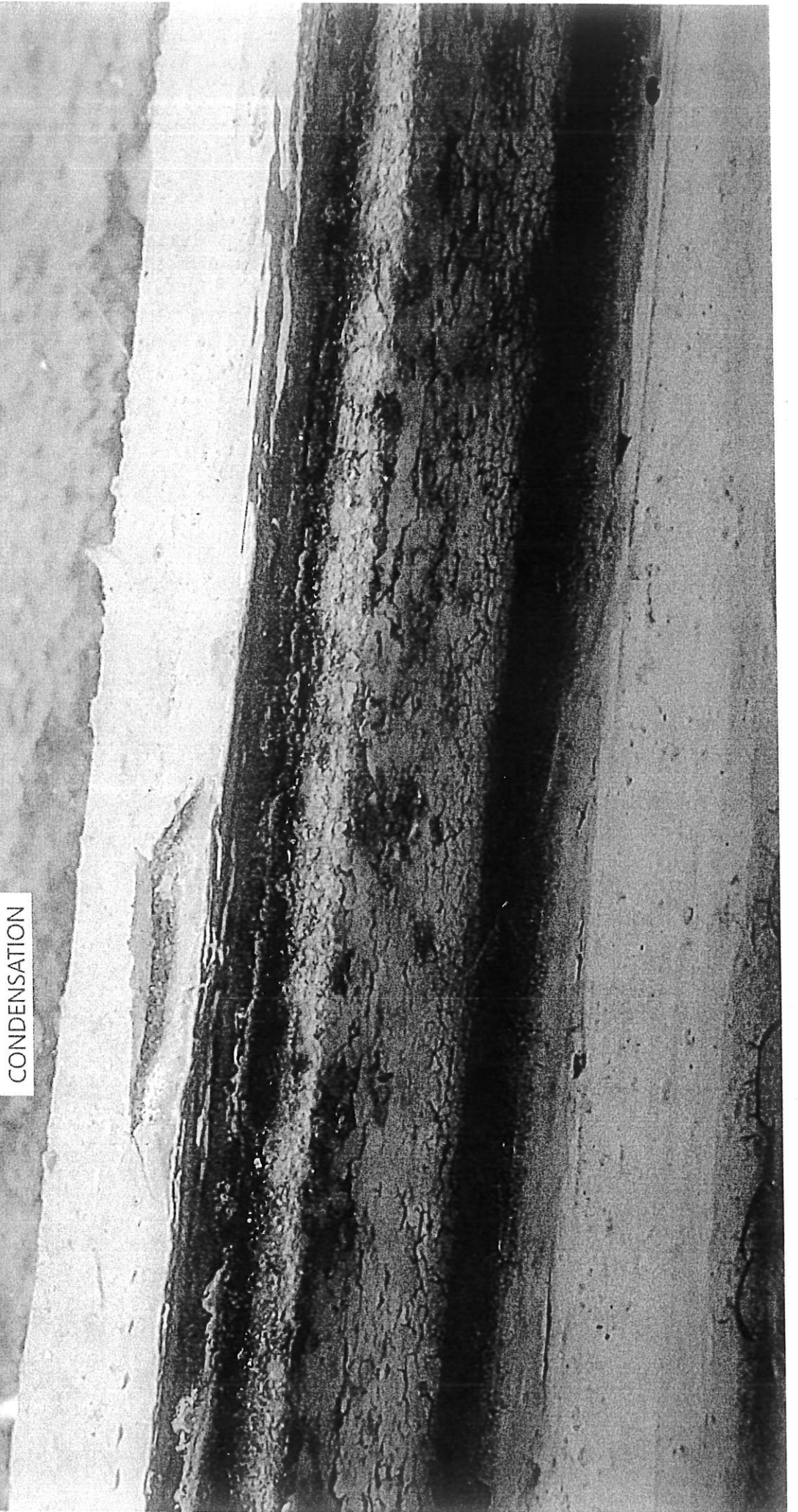
WINDOW LAYOUT


FLOOR PLAN

**TYPICAL
PLASTER
DAMAGE FROM
CONDENSATION
OF THE STEEL**



TYPICAL RUST ON
INTERIOR
WINDOW FRAMES
FROM
CONDENSATION

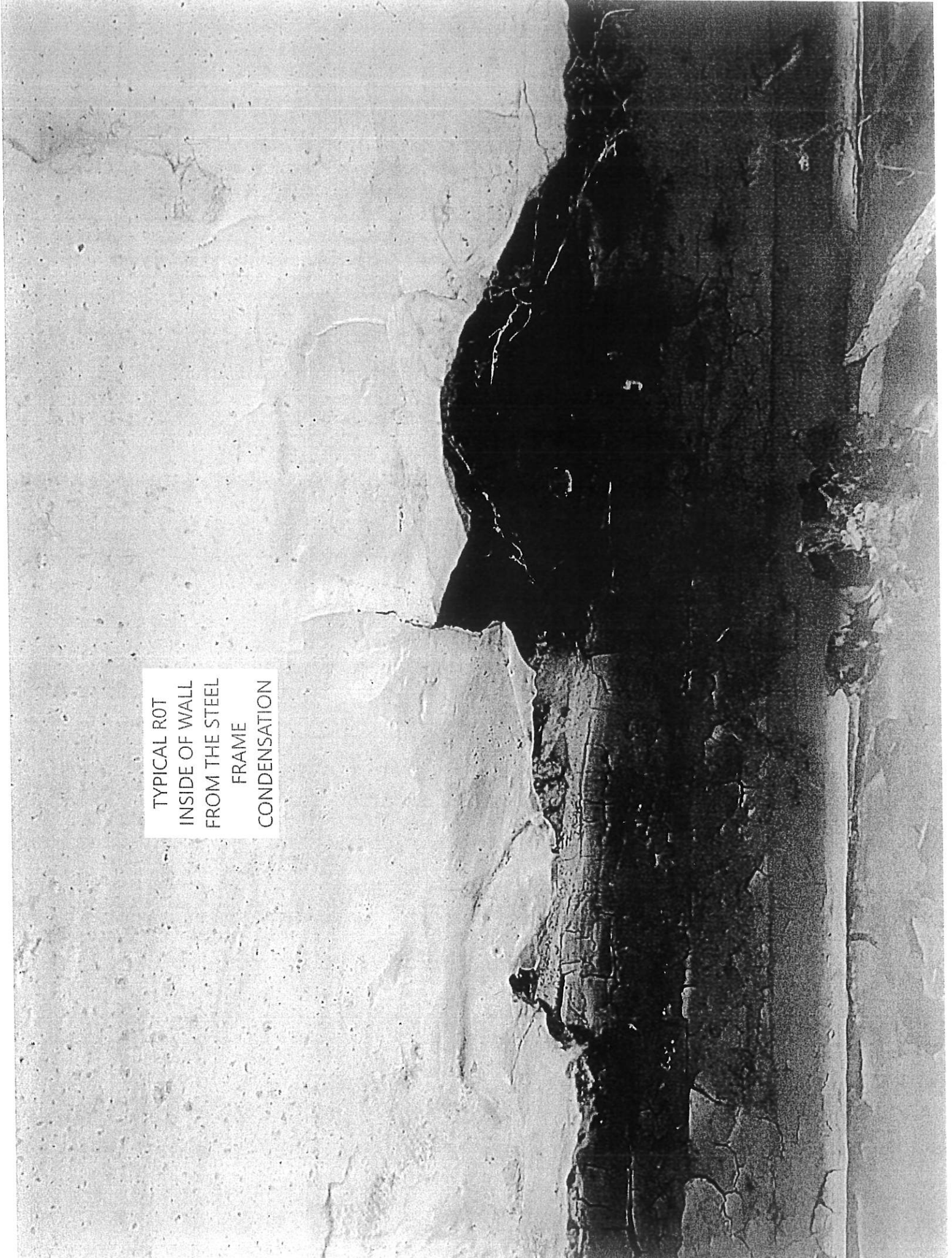




TYPICAL WATER
LEAKAGE
AROUND THE
FRAMES BECAUSE
OF NO WAY TO
SEAL/WEATHERST
RIPPING AROUND
THE OLD FRAMES

1986 GLASS DATE
ON WINDOWS
D,K,L,M,N

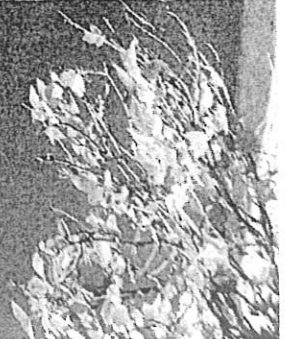
TYPICAL ROT
INSIDE OF WALL
FROM THE STEEL
FRAME
CONDENSATION



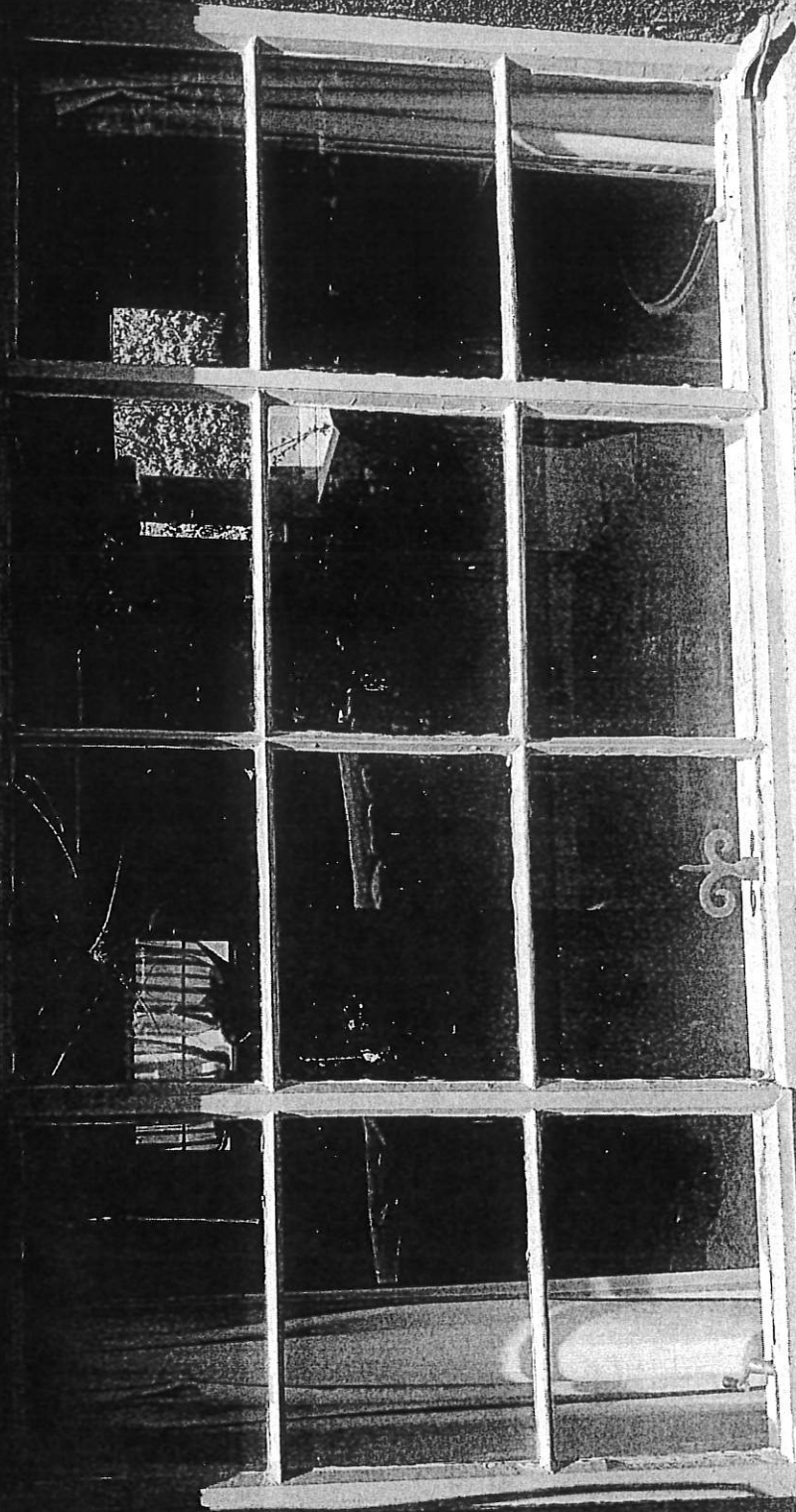
EAST WINDOW A



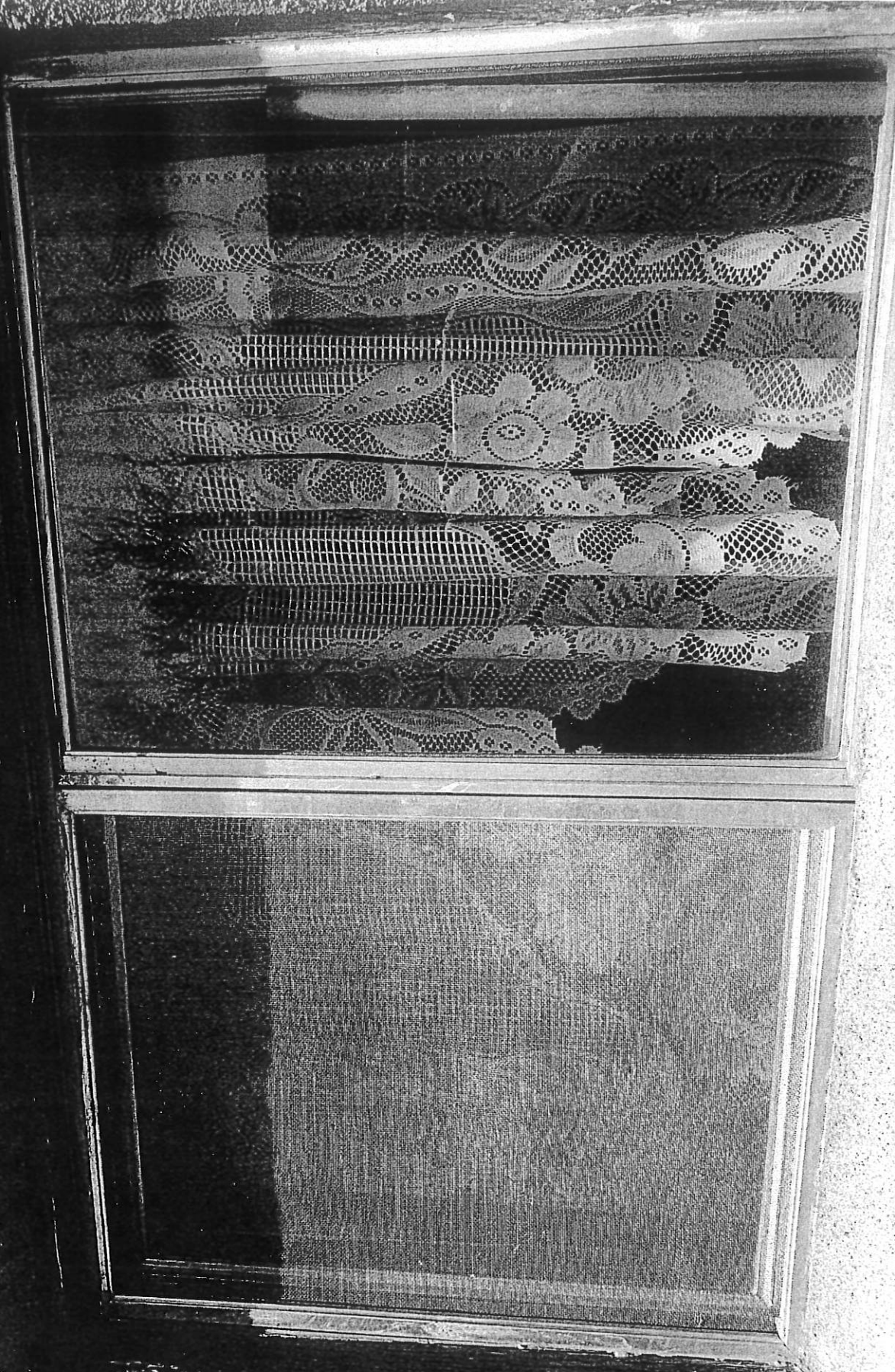
EAST WINDOW B



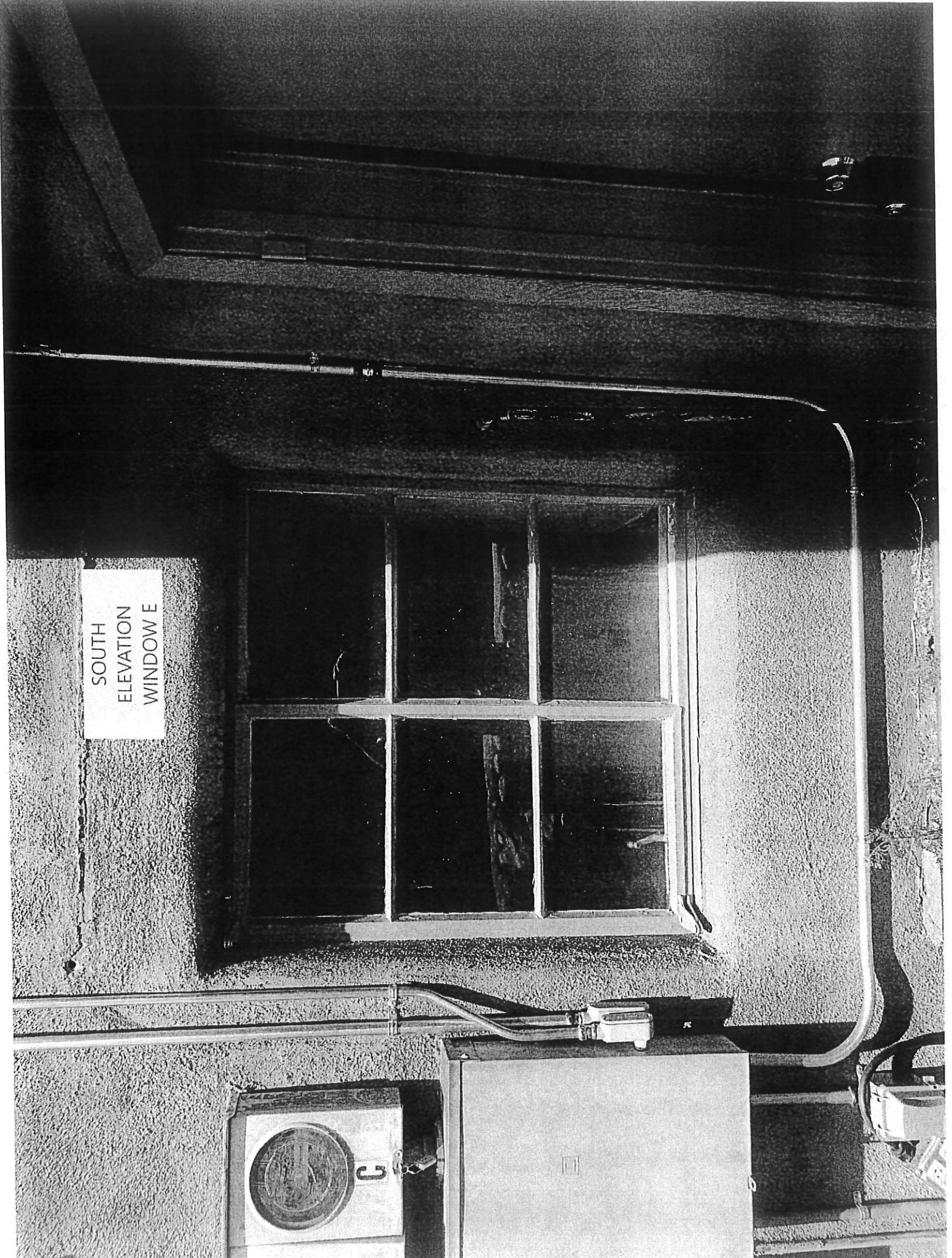
SOUTH WINDOW
C



SOUTH WINDOW
D



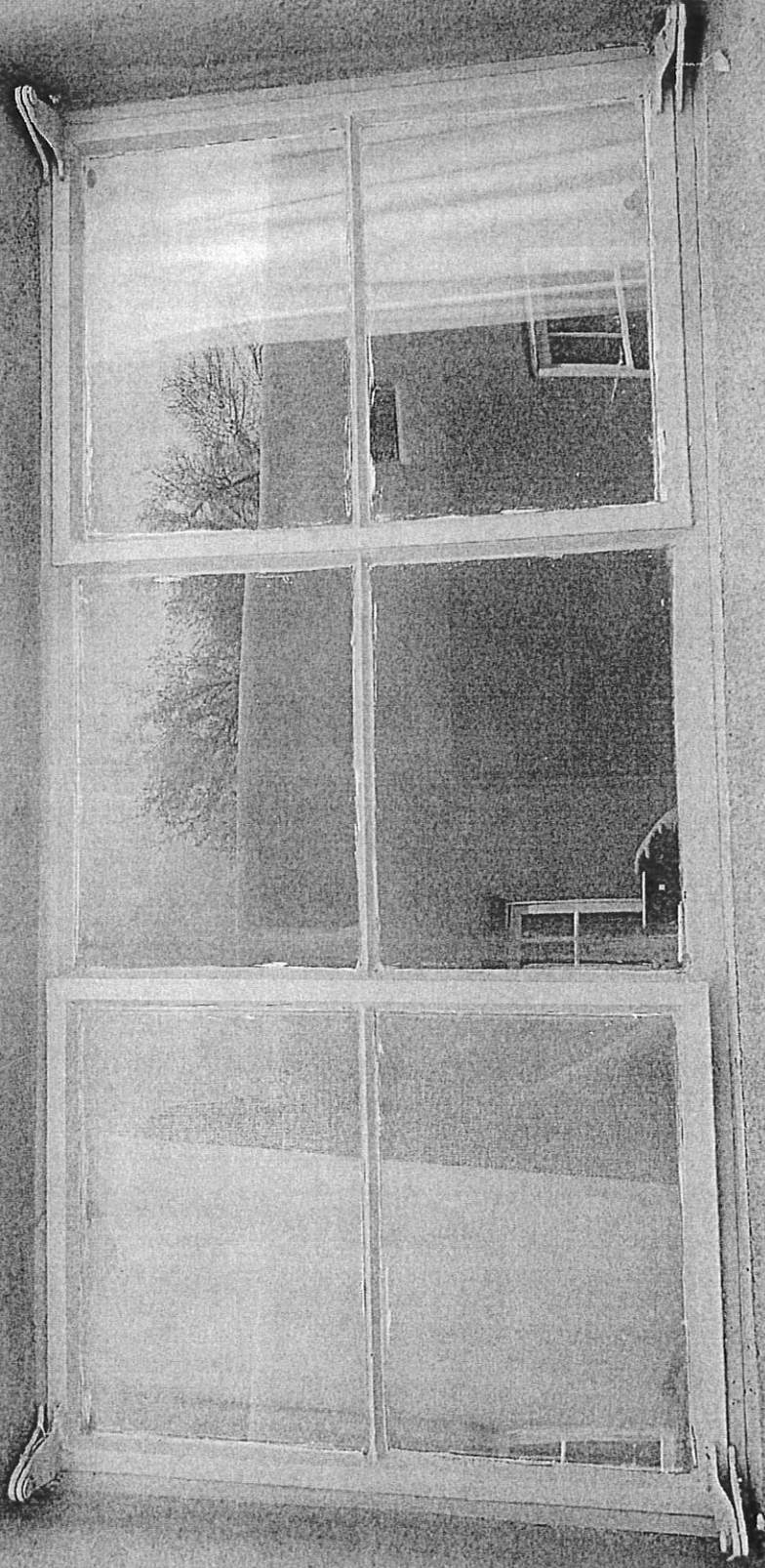
SOUTH
ELEVATION
WINDOW E



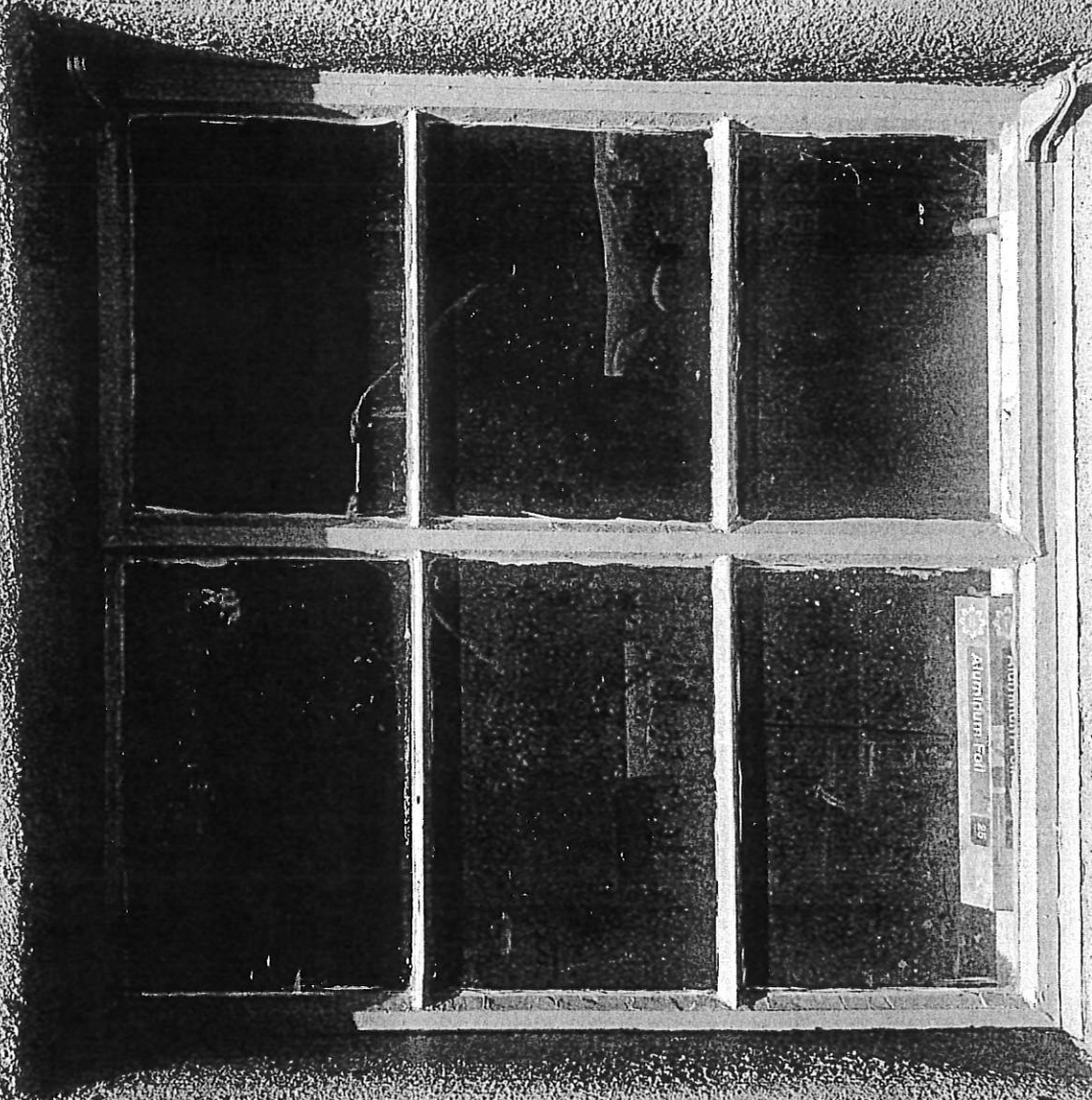
NORTH
ELEVATION
WINDOW F



NORTH
ELEVATION
WINDOW G

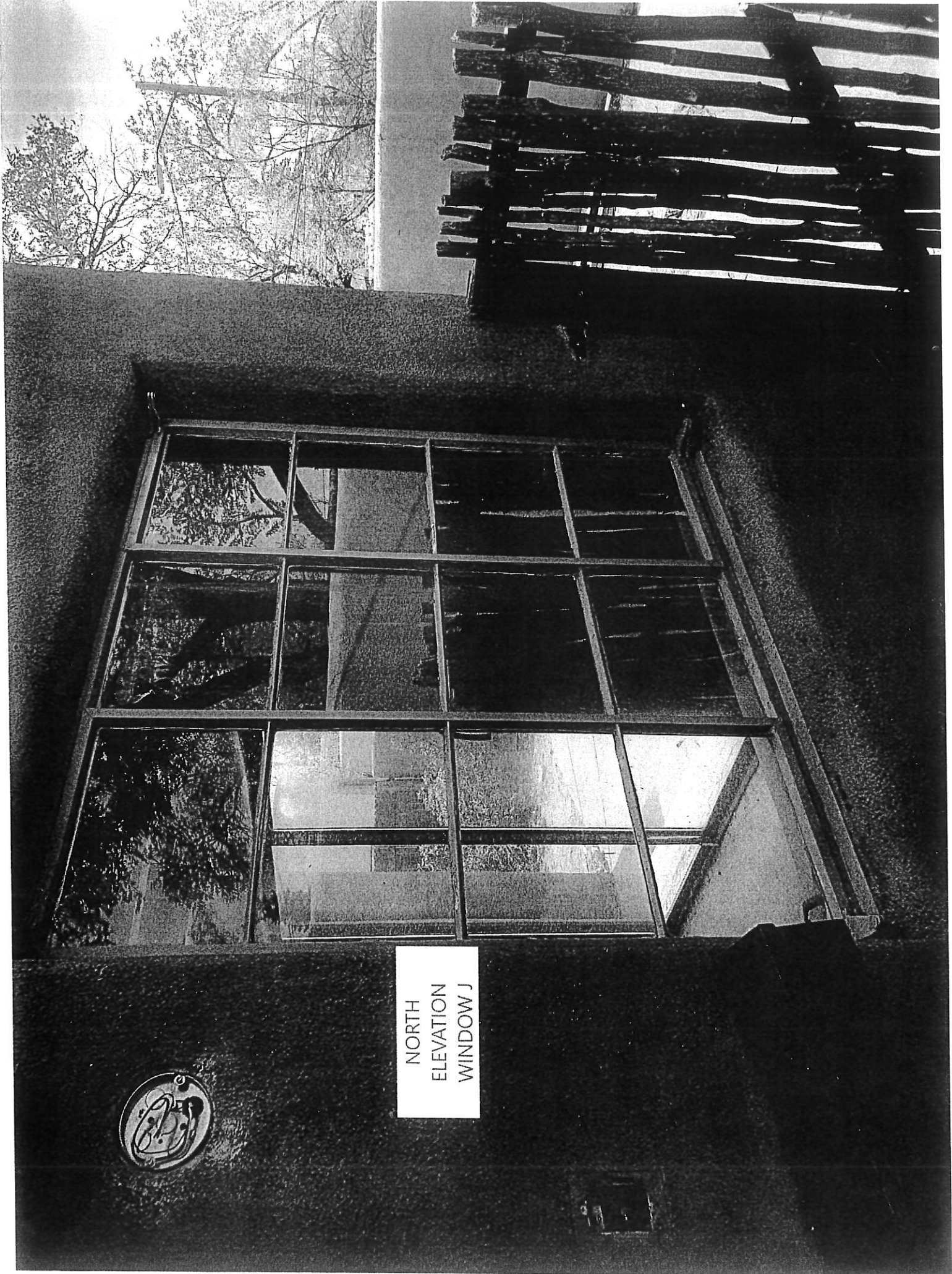


SOUTH ELEVATION
WINDOW
H

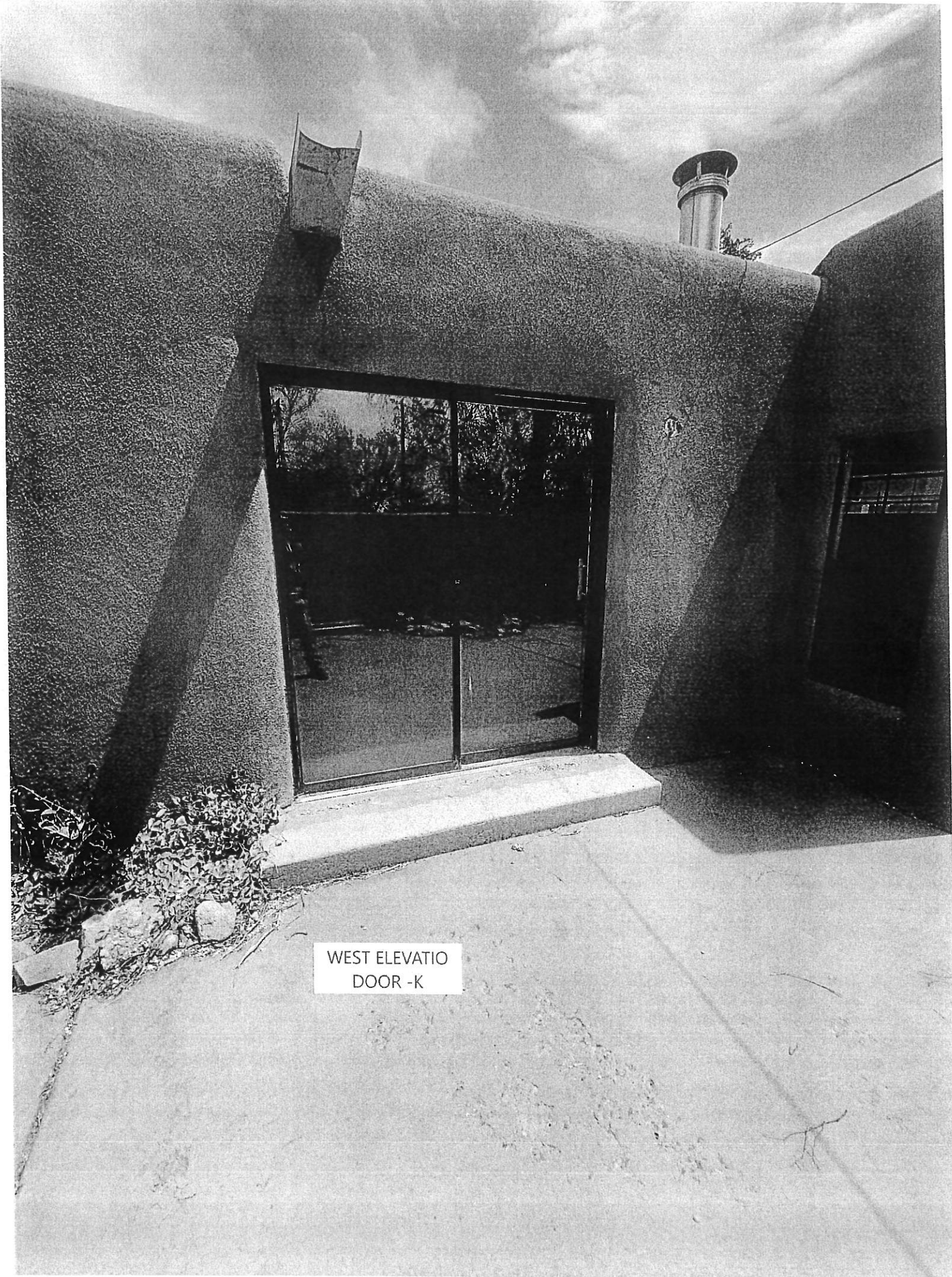


NORTH
ELEVATION I



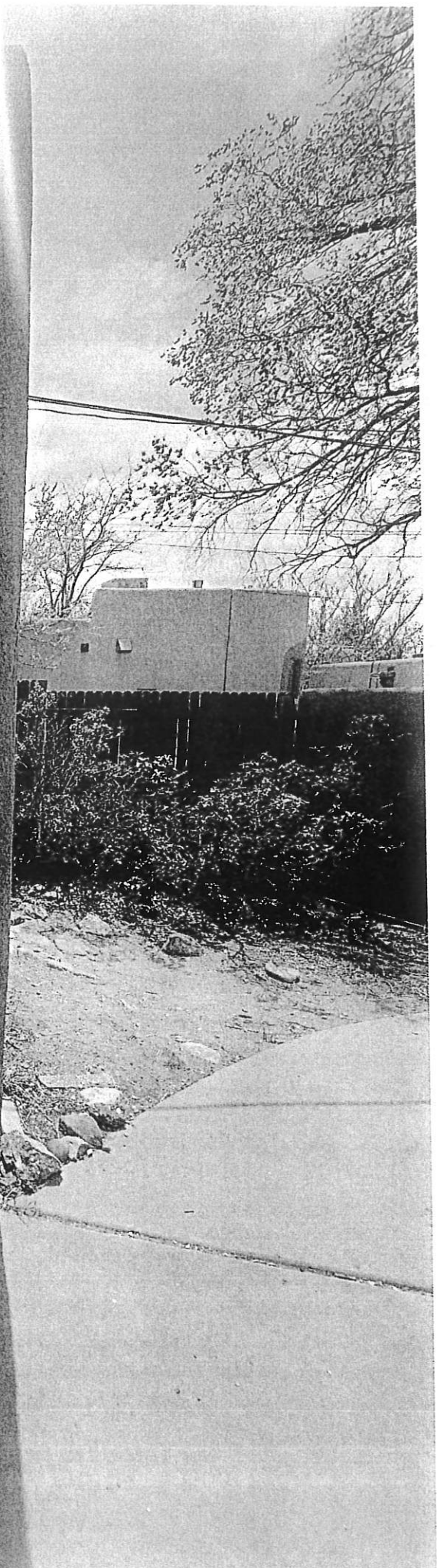


NORTH
ELEVATION
WINDOW J

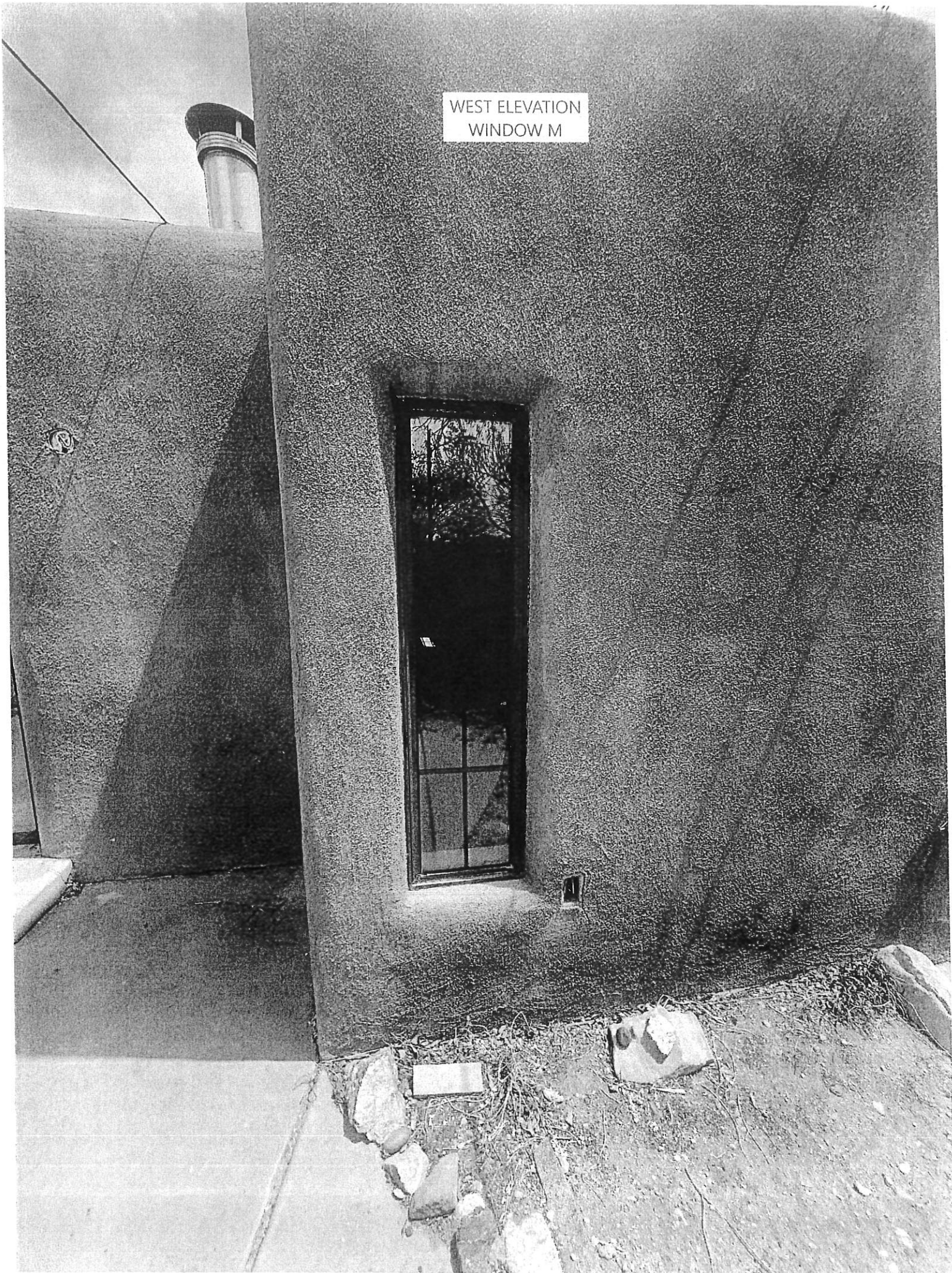


WEST ELEVATIO
DOOR -K

NORTH
ELEVATION
WINDOW L

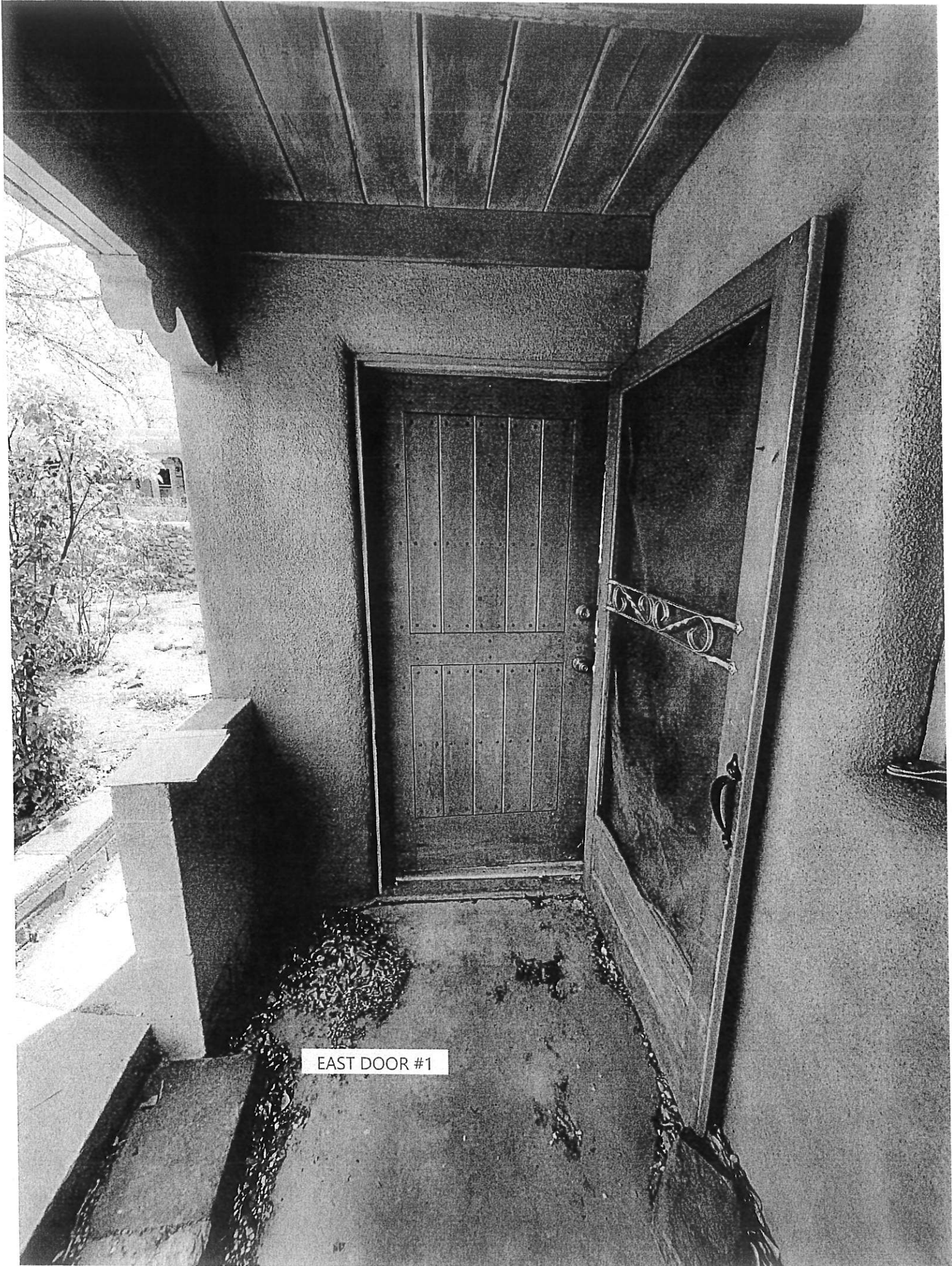


WEST ELEVATION
WINDOW M

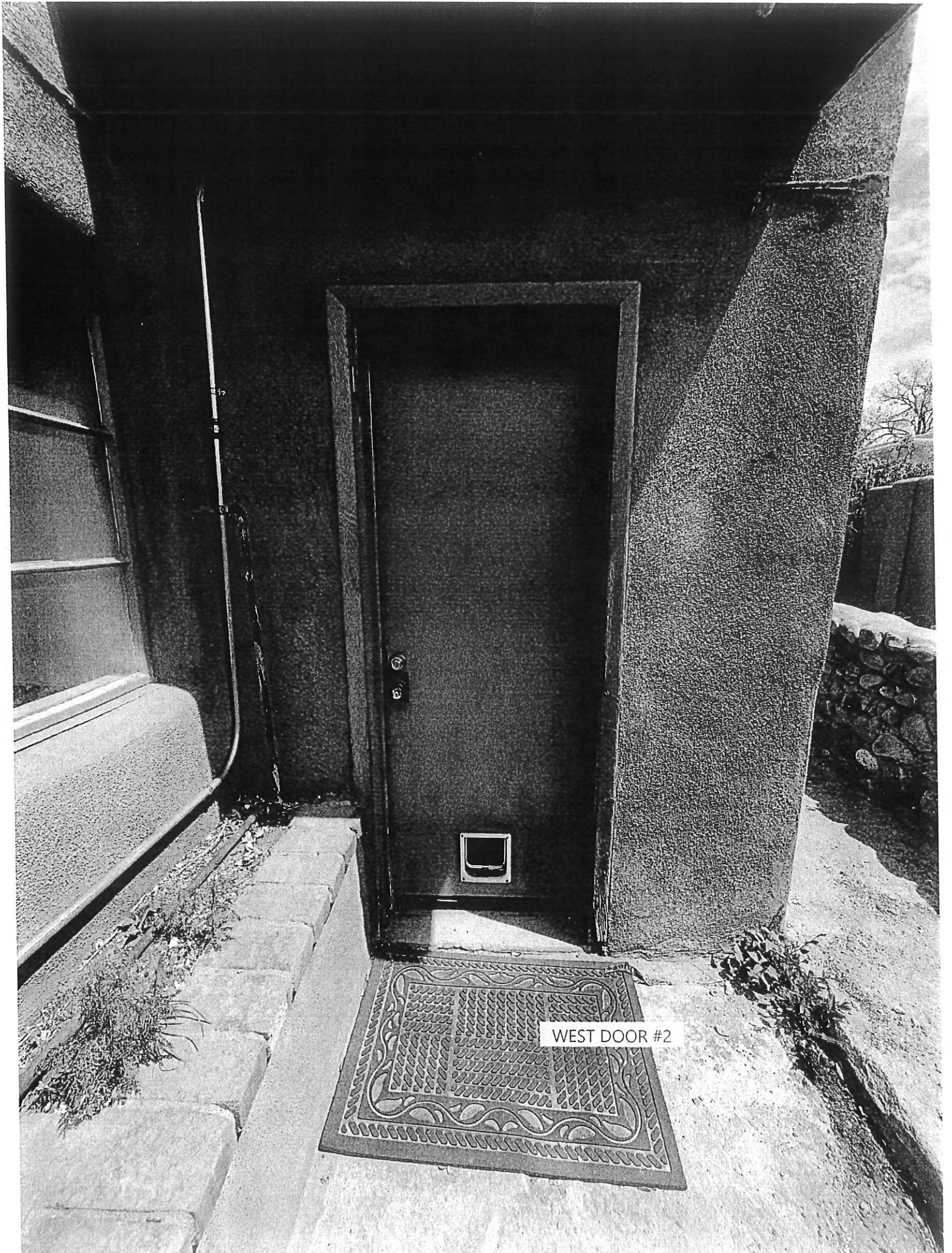


SOUTH
ELEVATION
WINDOW N

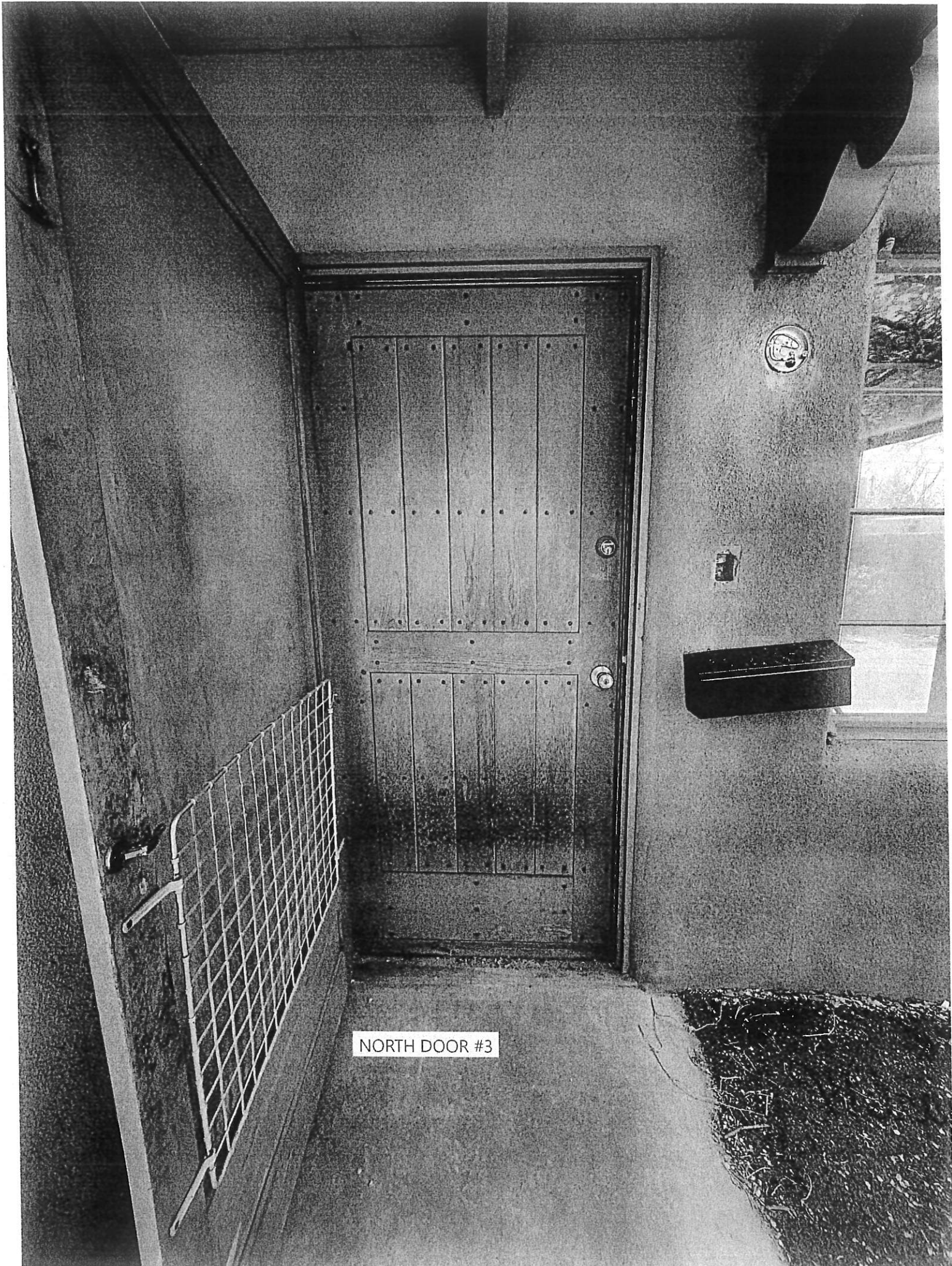




EAST DOOR #1

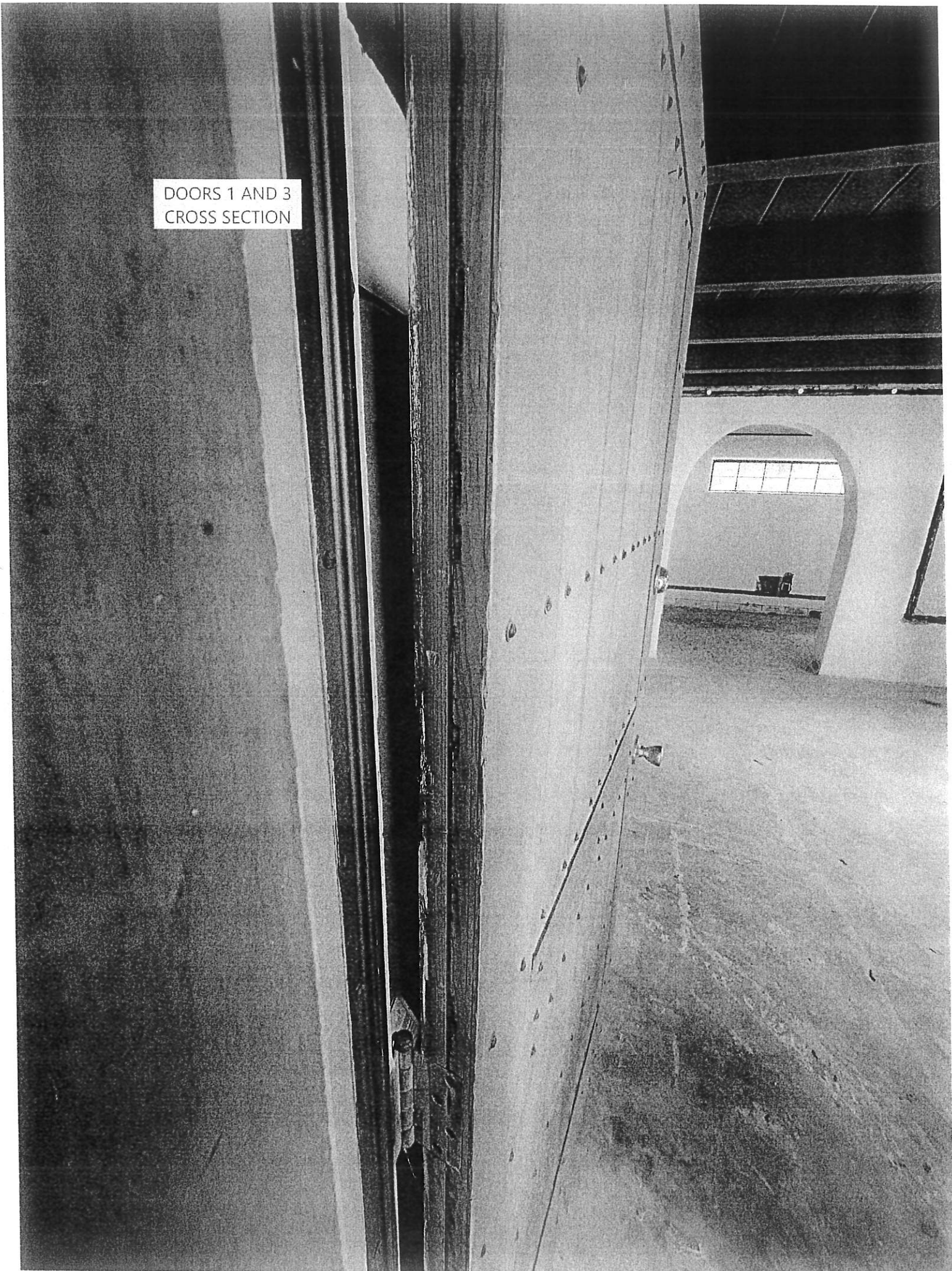


WEST DOOR #2



NORTH DOOR #3

DOORS 1 AND 3
CROSS SECTION



NOTES:

RPA & ASSOCIATES | 834 ALLENDALE - GARAGE

LABEL	WINDOW & DOOR DESCRIPTION	CONDITION & INTERGRITY CODE	HISTORIC/NON-HISTORIC – AGE
EAST DD	29 x 79 RH INSWING	U	NON-HISTORIC – NOT RESTORABLE
EAST EE	95 x 84 GARAGE DOOR T-111 SIDING	U	NON-HISTORIC – 2000's
WEST FF	28 x 29 TWIN INSWING 1W3H CASEMENT	F	HISTORIC – NOT RESTORABLE
SOUTH GG	33 x 29 – 3 2W2H FIXED	U	HISTORIC – NOT RESTORABLE
SOUTH HH	34 x 77 RH INSWING	U	HISTORIC – NOT RESTORABLE

NOTES:



East DD

East EE

Garage

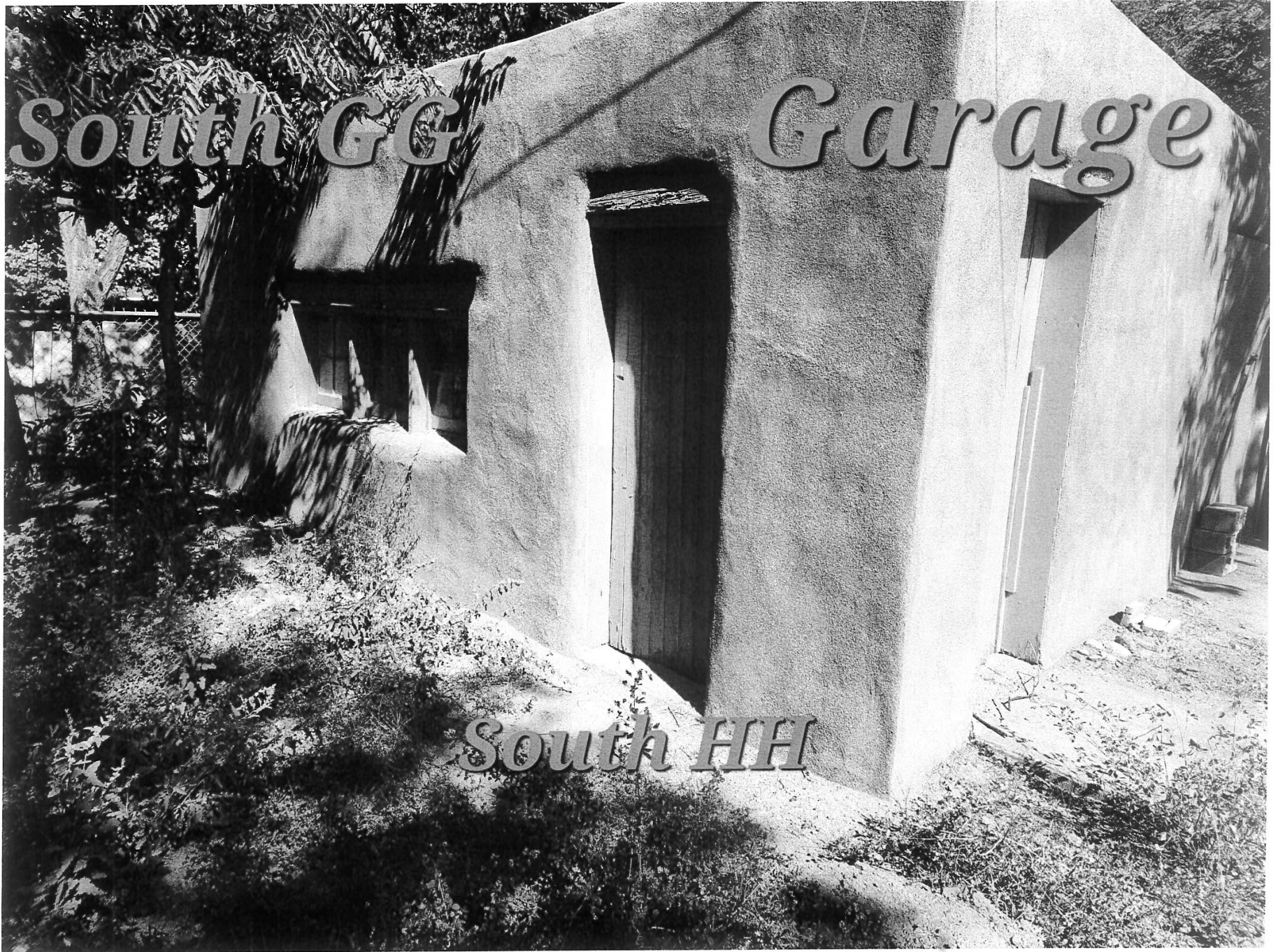
Garage

West FF

South GG

Garage

South HH

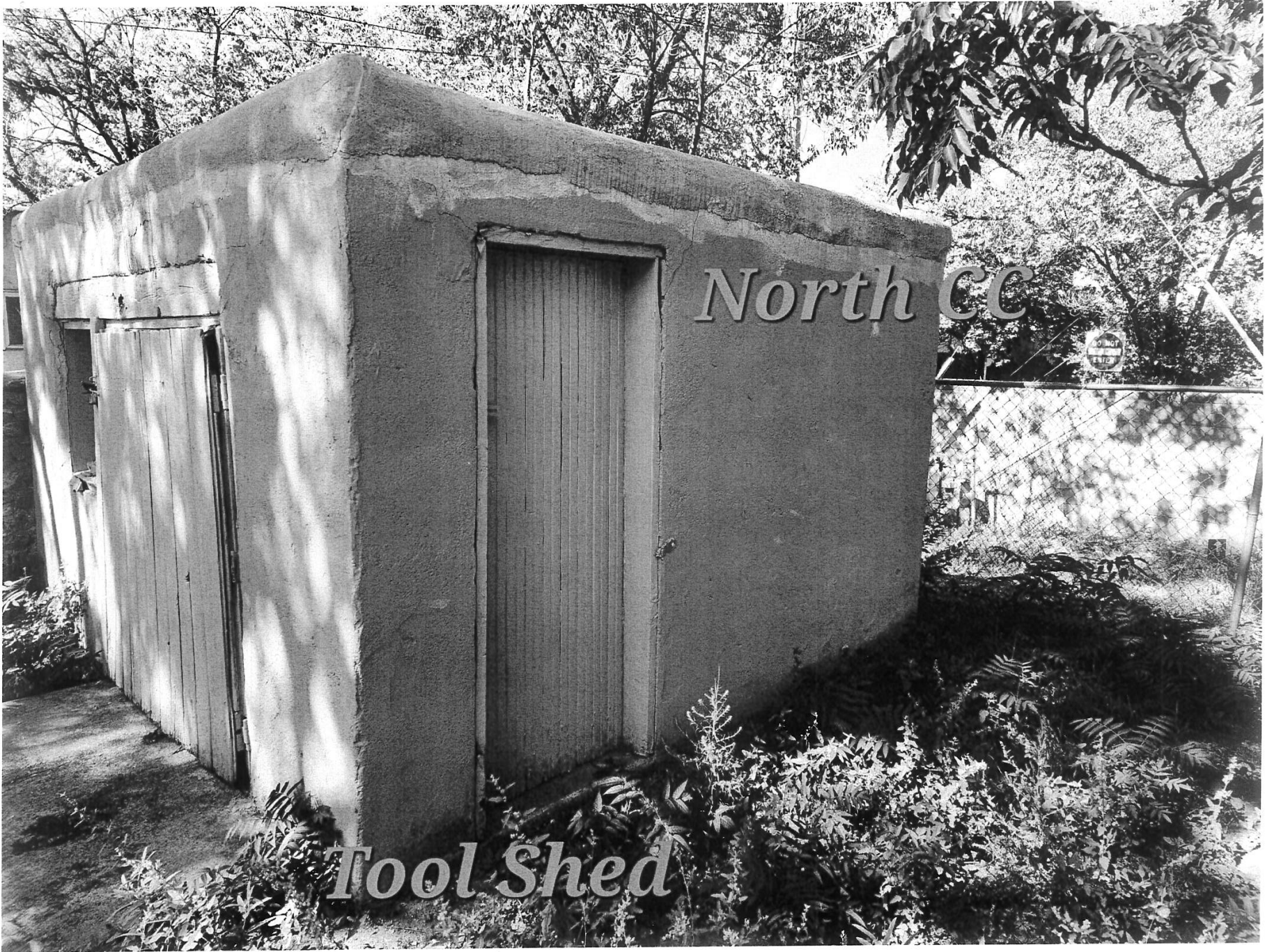




East AA

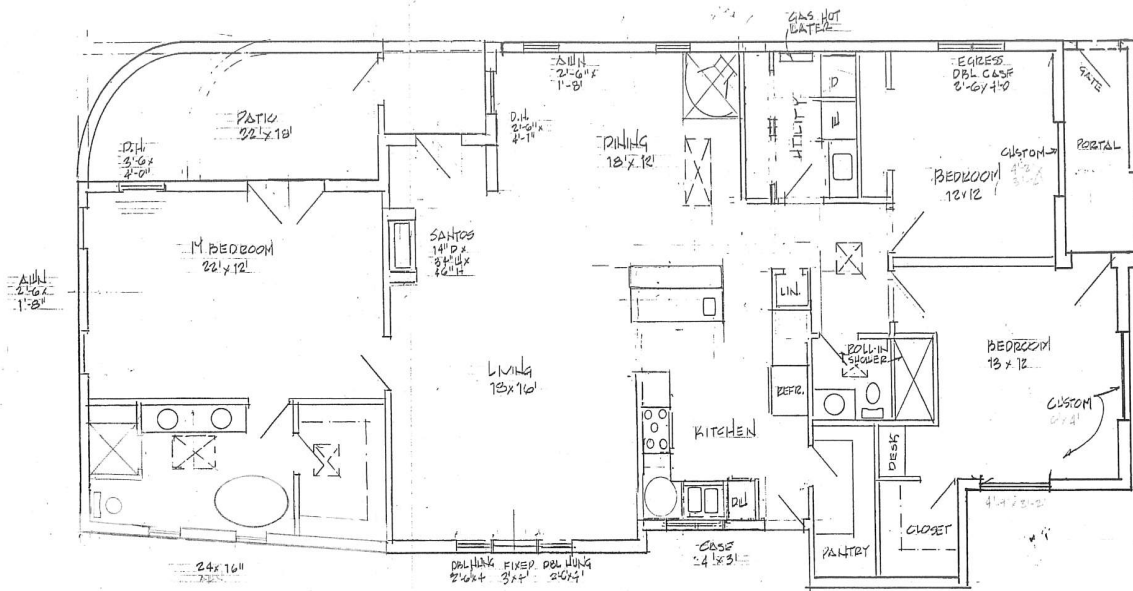
East BB

Tool Shed

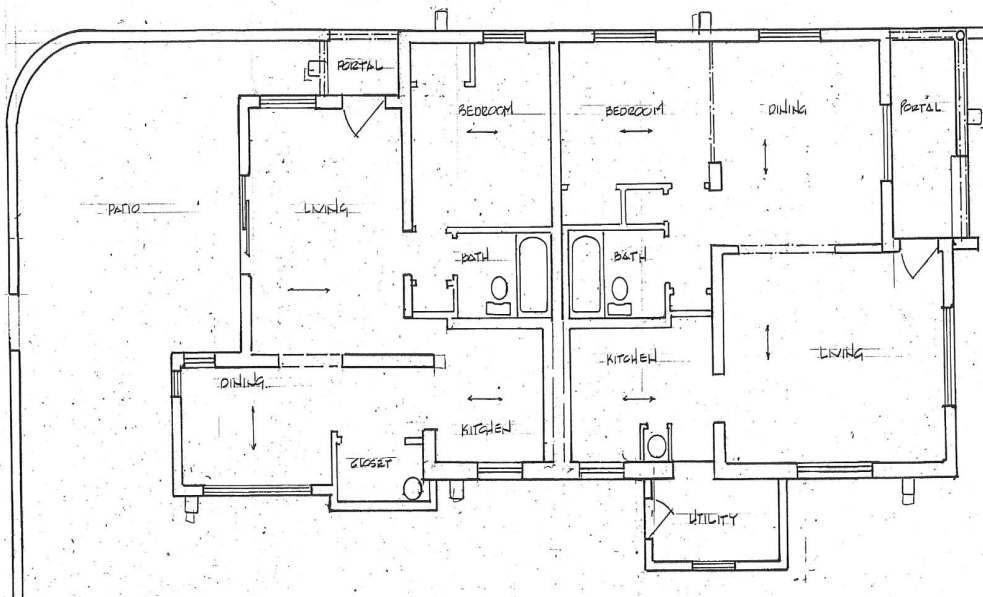


North CC

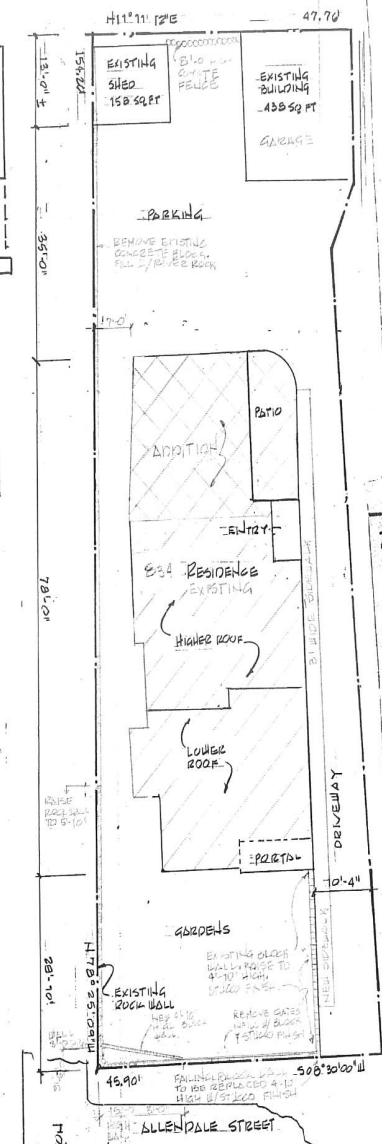
Tool Shed



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"

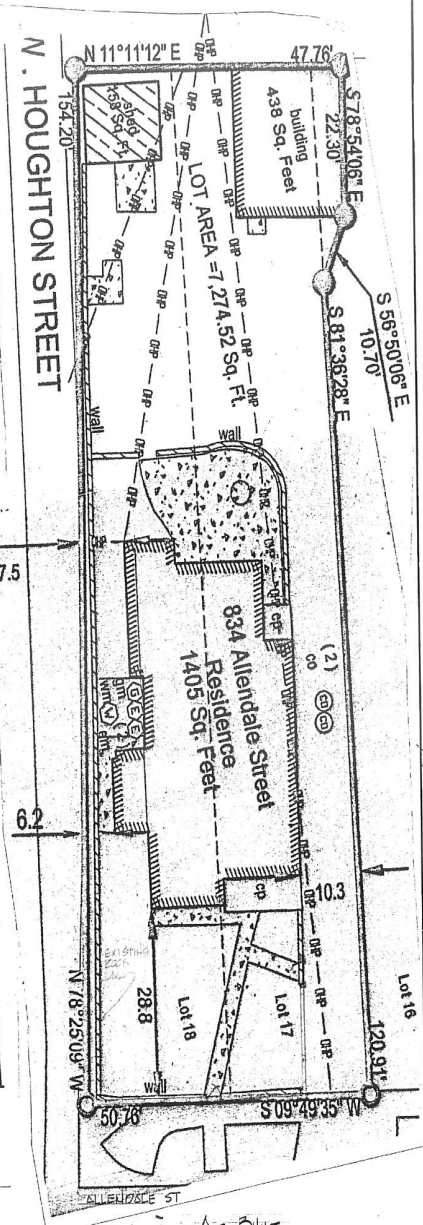


EXISTING LAYOUT PLAN
SCALE 1/4" = 1'-0"



IMPROVEMENT PLAN

EXISTING RESIDENCE	1405 SQ FT
SHED BUILDING	596
TOTAL ROOFED	2001
NEW ADDITIONS	710
TOTAL RESIDENCE	2711 SQ FT
LOT AREA	7274.62 SQ FT
LOT COVERAGE	37.27%

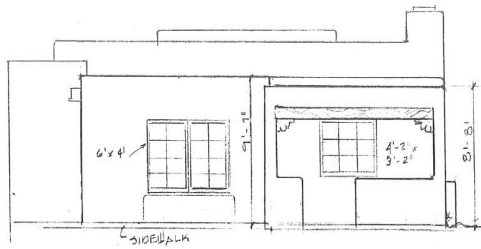


SITE PLAN
SCALE 1" = 100'

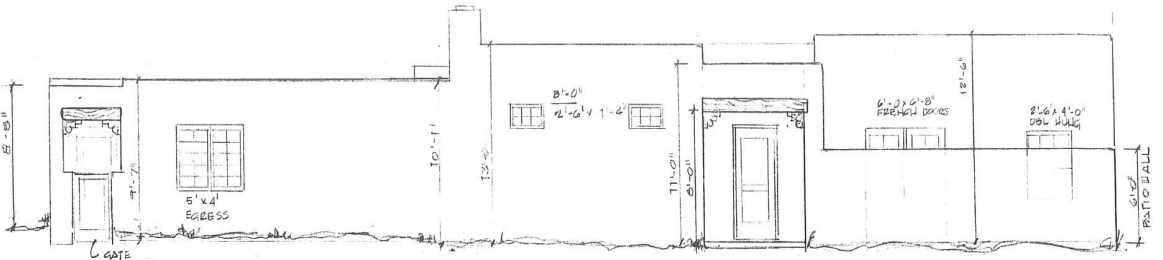


LEGAL
TRACT 2, LOT 17 & 18
SPARKS ADDITION
CITY OF SANTA FE
NEW MEXICO

A RENOVATION FOR		DATE
834 ALLENDALE ST SANTA FE - NEW MEXICO		10/10/2023
THREE SISTERS BUILDERS CORP.		SHEET NUMBER



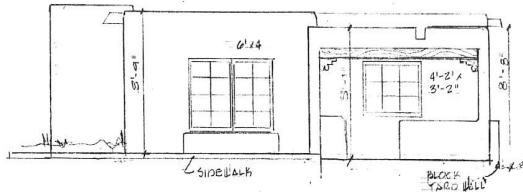
PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

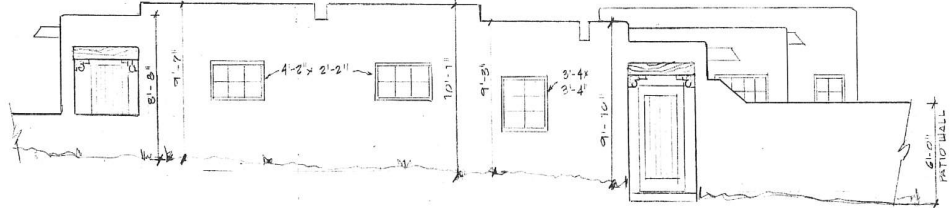
SCALE 1/4" = 1'-0"

PROPOSED N



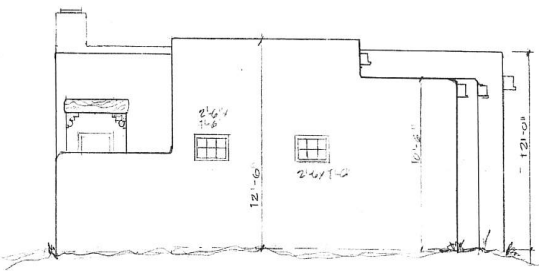
EXISTING EAST ELEVATION

SCALE 1/4" = 1'-0"



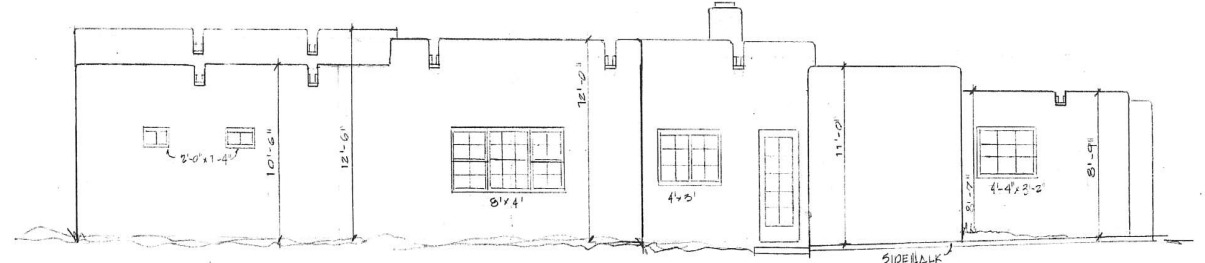
EXISTING NORTH ELEVATION

EXIST N

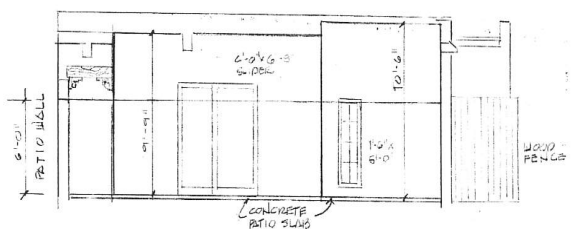


PROPOSED WEST ELEVATION

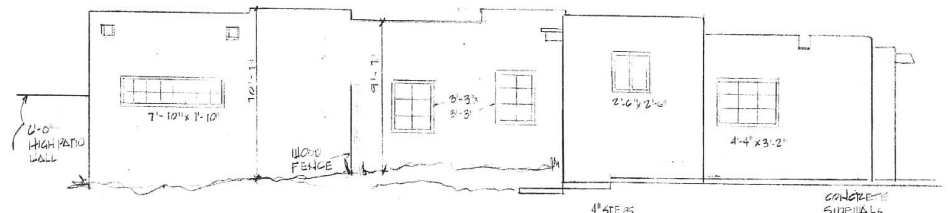
WEST SIDE



PROPOSED SOUTH ELEVATION



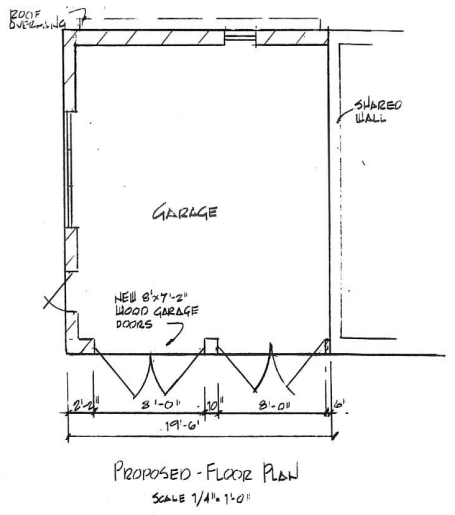
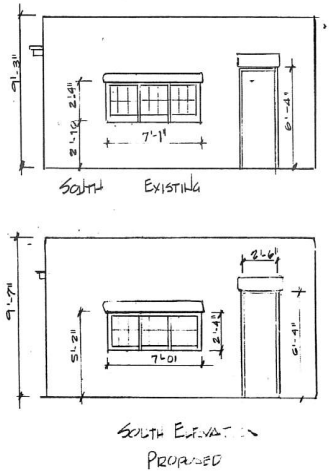
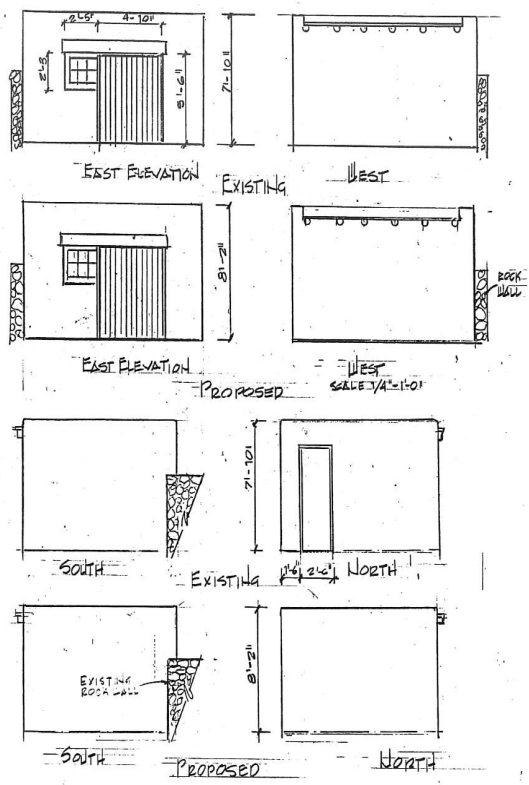
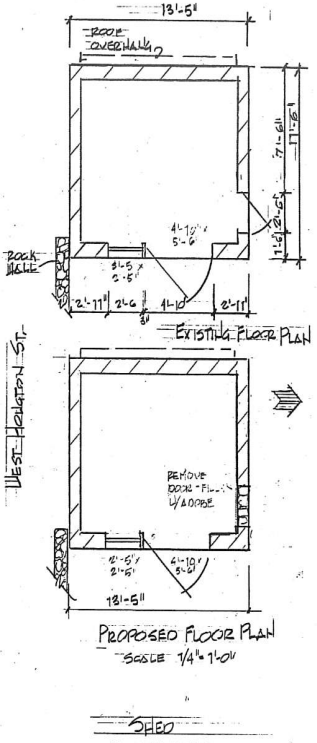
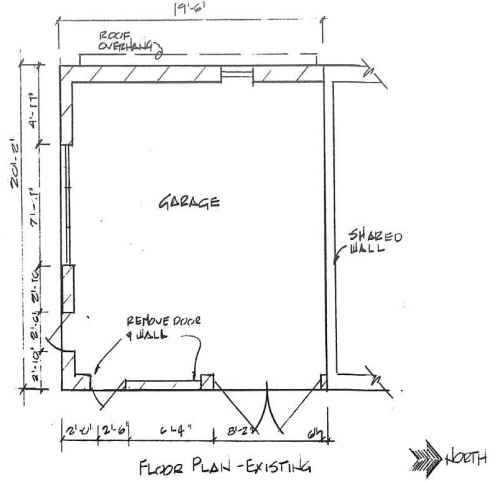
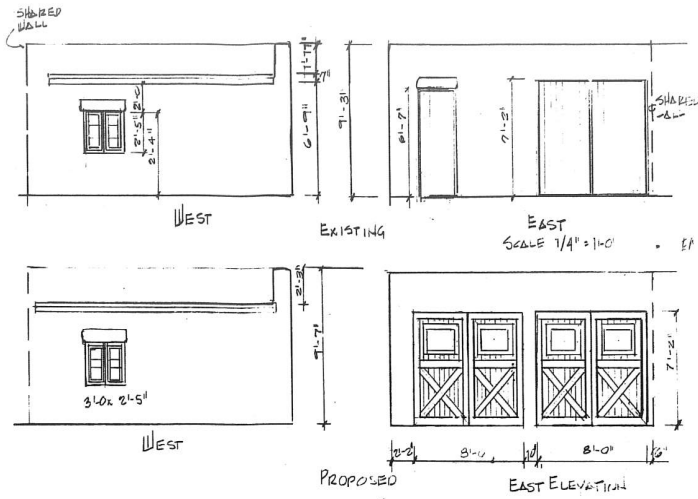
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION

SCALE 1/4" = 1'-0"

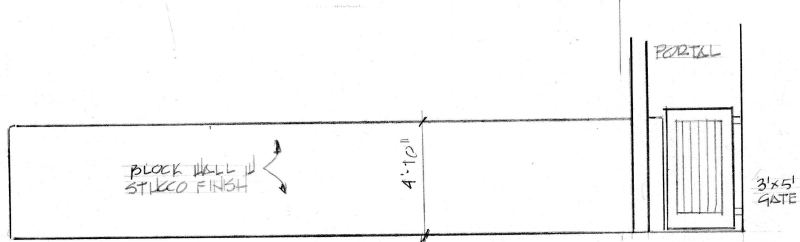
834 ALLENDALE ST
SANTA FE NEW MEXICO
SEPT 22 2022



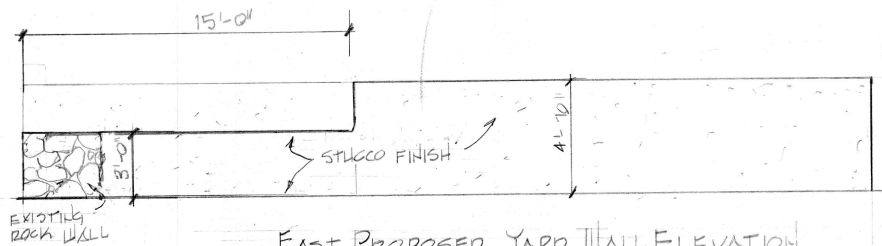
GARAGE
SCALE 1/4" = 1'-0"

SHED
SCALE 1/4" = 1'-0"

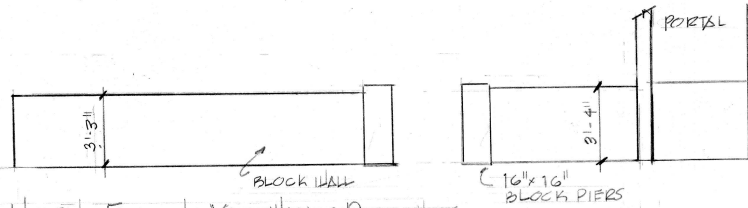
834 ALLENDALE
SANTA FE N.M.
SEPT 7, 2022



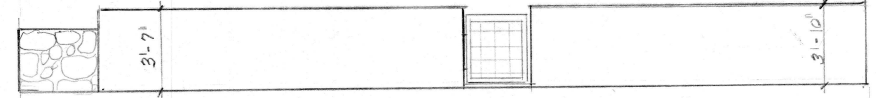
NORTH PROPOSED YARD WALL @ DRIVEWAY ELEVATION



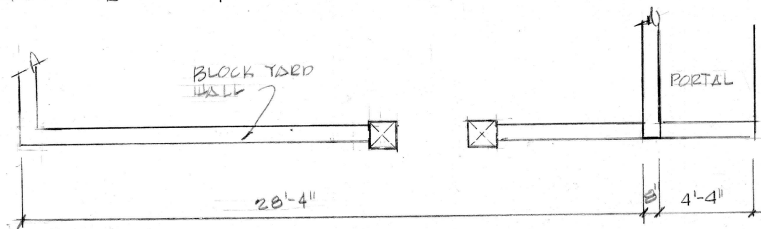
EAST PROPOSED YARD WALL ELEVATION @ ALLEDALE
SCALE 1/4" = 1'-0"



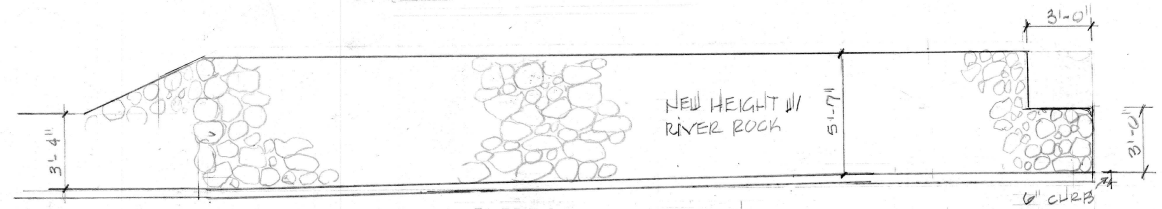
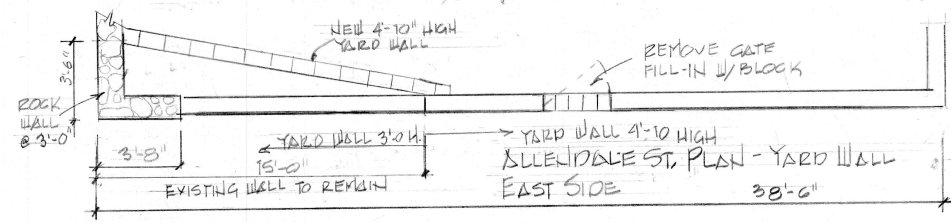
NORTH EXISTING YARD WALL & DRIVEWAY



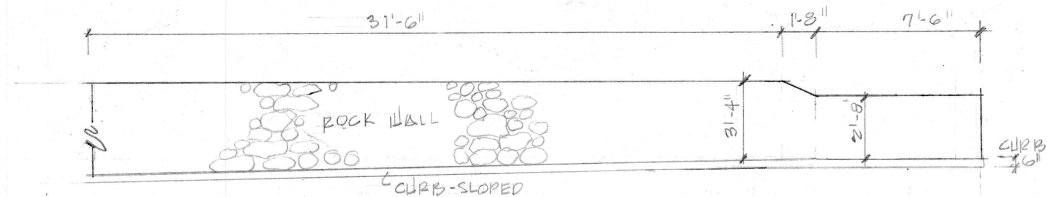
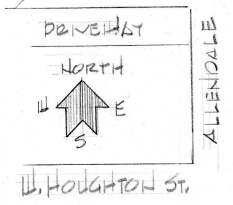
EAST EXISTING YARD WALL ELEVATION



PLAN - EXISTING YARD WALL @ DRIVEWAY
NORTH SIDE SCALE 1/4" = 1'-0"

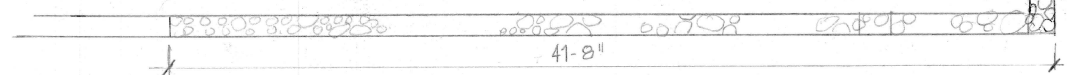


SOUTH PROPOSED YARD WALL ELEVATION

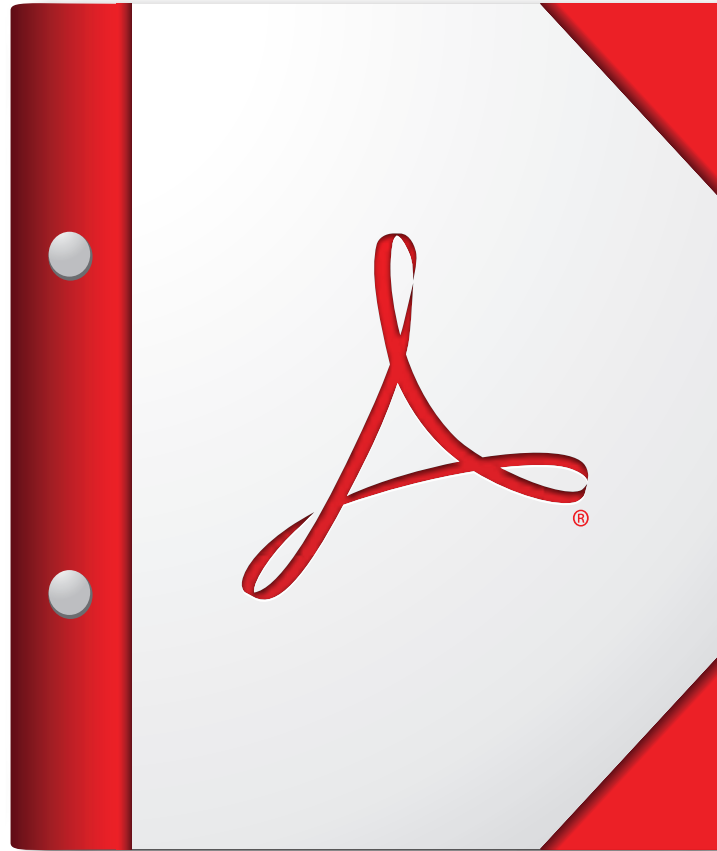


SOUTH EXISTING YARD WALL ELEVATION

834 ALLEDALE
SEPT 12, 2022

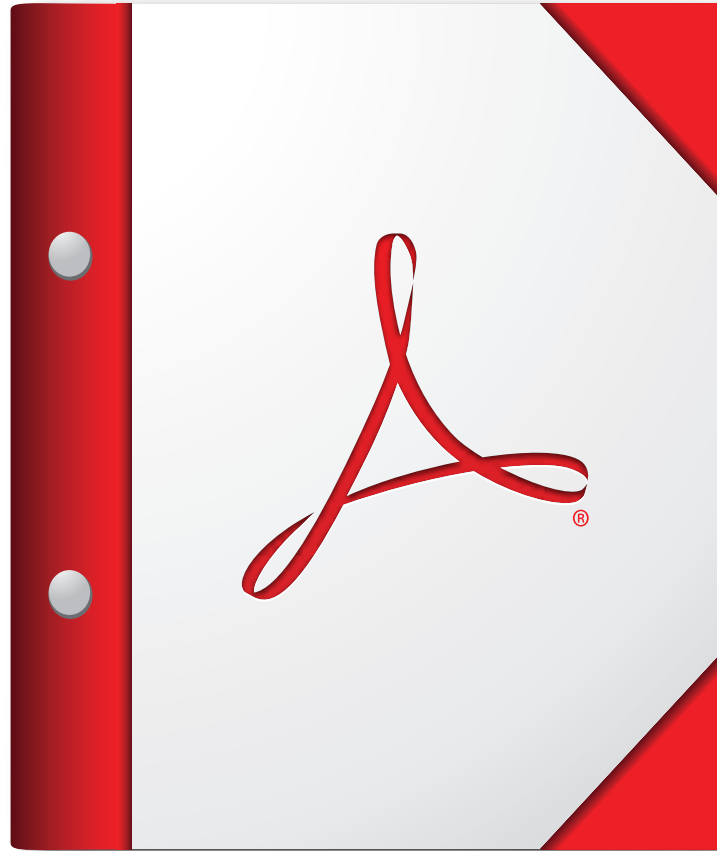


WEST HOUGHTON STREET - PLAN
SOUTH SIDE SCALE 1/4" = 1'-0"
SEPT 22, 2022
OCT 6, 2022



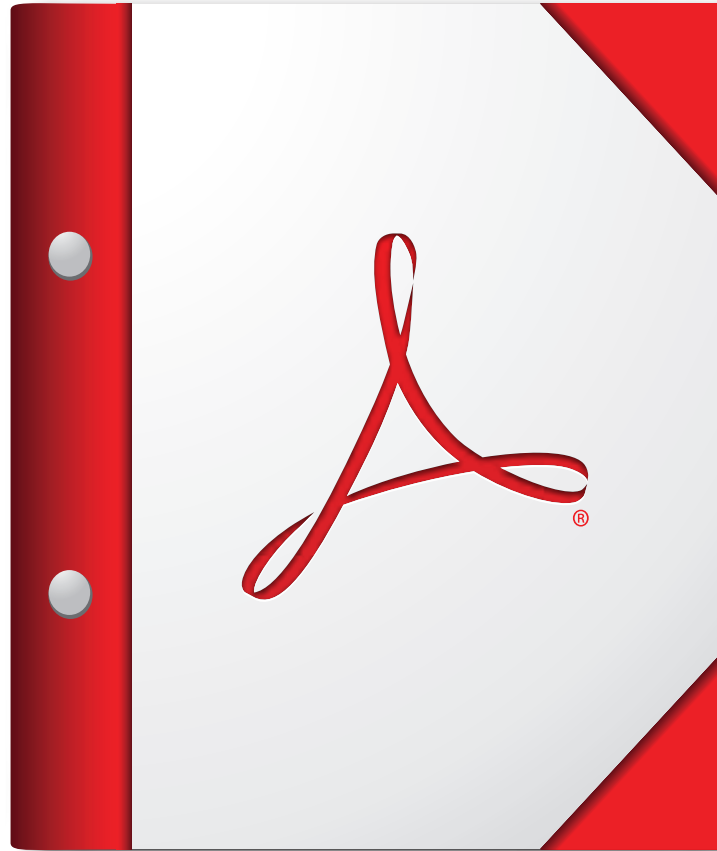
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Paul and Ellen Biderman
829 Allendale Street
Santa Fe, NM 87505
(505) 690-2247

October 24, 2022

Carly Piccarello
Historic Preservation Division Manager
City of Santa Fe
200 Lincoln Ave.
Santa Fe, NM 87501

Re: John Amarant and Betty Bell-Amarant home repairs
834 Allendale Street

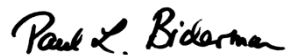
Dear Ms. Piccarello,

We whole-heartedly support the work that John Amarant and Betty Bell-Amarant are planning to put into their home at 834 Allendale Street. We live directly across the street from them, in 829 Allendale.

The work they have advised us that they intend to do is badly needed to maintain several areas of the property that are visible to us and to passers-by. This work will make those areas far more attractive, removing the run-down structures and fixtures that are currently there. It will be consistent with the historical nature of our neighborhood and the design of the house, while improving its appearance and durability.

We have known this family for a long time and are confident they will ensure that the repairs are made in a highly professional and respectful manner. We ask that you approve this project to help maintain the quality of our neighborhood.

Sincerely,



Paul and Ellen Biderman

H. NEW BUSINESS

8. 2022-005983-HDRB. 834 Allendale St. Don Gaspar Area Historic District. Contributing. John Odell, agent for John and Betty Amarant, owner, proposes to remodel a contributing residence and create a 700 sq.ft. addition to a height of 12'-2" where the maximum allowable is 14'-0". Exceptions are requested to 14-5.2(D)(5)(a)(1) for window replacement on primary facade and 14-5.2(D)(2)(c) addition to a contributing wall. (Carly Piccarello)

Name: Mona Kay

Comment - 11/07/2022 02:26 PM: (For)

To: Carly Piccarello

City of Santa Fe Historic Preservation Division Manager

Re: 2022-005983-HDRB. 834 Allendale St.

My husband and I purchased 832 Allendale Street, 24 years ago. 834 Allendale, with which we share a common driveway, was at that time, and has continued to be, in a state of ongoing neglect. Over the years, tenants of 834 told me how hard it was to keep their place warm with windows that leaked water and cold air: the north facing canals that drain into the driveway also create what we jokingly call "the glacier" in winter –you can break your neck on the ice. There are a myriad of other problems as well that necessitate some exterior alterations. Therefore, I will cut to the chase: I fully support the current owners of 834 Allendale in their sincere effort to create a home for themselves that will be a compliment to our street and is mindful of the history of the property. At a certain point, one must upgrade a property and bring it up to code with energy efficiency in mind and create a property that works for the 21st century.

The windows at 834 Allendale are leaking, single pane, midcentury casements, not charming late 19th or early 20th century leaded glass double hung windows. As a student at UNM, and later in Santa Fe while in my 20s, I lived in several old apartments with these windows: even 45 years ago they leaked cold air like crazy. In 1998 we were permitted by your board to replace three very rotted windows in our house. It is difficult to tell that the two replaced on the south side of our home, which are visible from the street, are newer windows. In 2000 - 2001, 828 Allendale was permitted to replace all its midcentury windows with true divided double hung windows. Sometimes old is just old: there is no real aesthetic value in attempting to restore or save windows well past their prime.

Regarding raising the low rock wall in front of the property: the amount of vehicle and pedestrian traffic has increased over the years, due to an abundance of short term vacation rentals in the neighborhood and just more people and cars overall. Many residential walls on Sena street and Allendale are 5 to 6' high, as is the wall surrounding 217 West Houghton Street, catty corner to 834 Allendale. Due to this, I fail to see why the existing rock wall should not be allowed to be raised for some privacy if it is structurally feasible to do so. This is a corner property which is completely exposed to the intersection of Allendale and West Houghton.

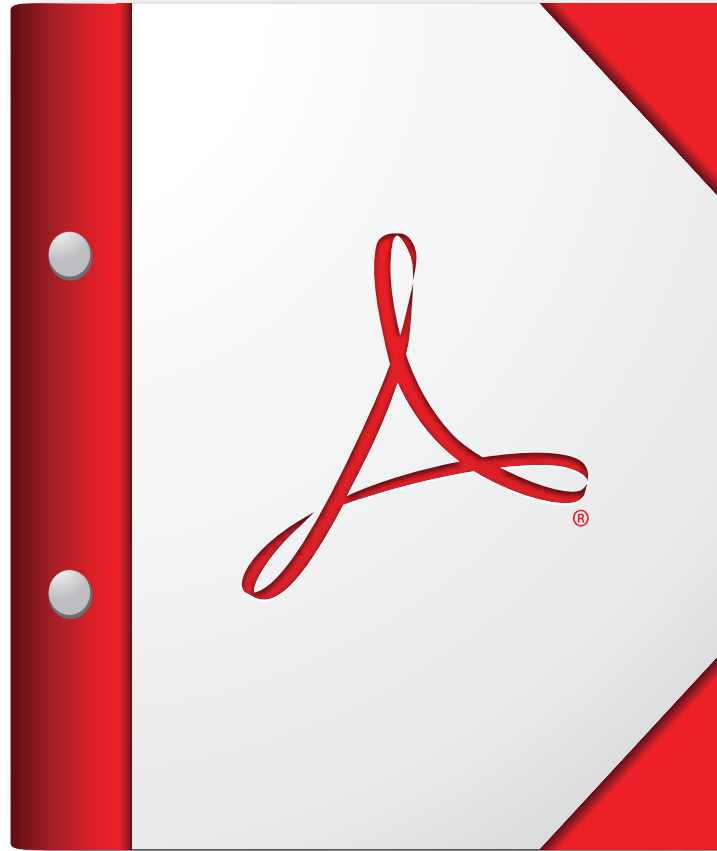
I am a lifelong resident of NM, and have lived the past 42 years in Santa Fe. I consider myself fortunate to have lived my life in a place with such historically unique architecture, and I do understand the crucial need to preserve what is left of it. In fact, in 2016, my husband and I fought to prevent the adobe garages at 834 Allendale Street (which were originally built for 832 in the 1940s) from being demolished by a previous owner. However, as a primary residence, 834 Allendale has long been due for some serious TLC. Thank you for your time.

Mona D. Kay

832 Allendale Street

Santa Fe

monakay@live.com



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