



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
JUNE 14, 2022
5:30 PM
COUNCIL CHAMBERS
CITY HALL
200 LINCOLN AVENUE

PROCEDURES FOR HISTORIC DISTRICT REVIEW BOARD MEETING:

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/user/cityofsantafe>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Zoom: <https://us02web.zoom.us/j/86766220699?pwd=UnJoemxXbUlVTDIzSXM5TzByZUR1QT09>
Passcode: 263172

Written Public Comment: Members of the public may submit written public comments by 5 p.m. the Monday prior to the meeting via the virtual comment "button" at <https://santafe.primegov.com/public/portal>.

The agenda and packet for the meeting will be posted at <https://santafe.primegov.com/public/portal>.

- A. ROLL CALL
- B. APPROVAL OF AGENDA
- C. APPROVAL OF MINUTES:
 - 1. May 24, 2022
- D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW
 - 1. 2022-005307-HDRB
 - 2. 2022-005169-HDRB
 - 3. 2022-005232-HDRB
 - 4. 2022-005175-HDRB
 - 5. 2022-005184-HDRB



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6. 2022-005189-HDRB

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

1. 2022-005163-HDRB. 824 Agua Fria St. Westside-Guadalupe Historic District. Marc Naktin, agent for Wendy and Christopher Weatherford, owners, proposes to remove a yard wall, replace windows, re-stucco, construct a 147 sq. ft. portal and make other changes to a contributing structure. An exception to 14-5.2(D)(5) is requested to replace historic windows on a primary facade. (Carly Piccarello, cpiccarello@santafenm.gov)
2. 2022-005167-HDRB. 428 Camino del Monte Sol. Downtown and Eastside Historic District. Lightfoot, Inc., agent for James Tustin, owner, requests a status downgrade for a contributing single family residence. (Carly Piccarello)

H. NEW BUSINESS

1. 2022-005344-HDRB. 1331 Cerro Gordo Rd. Downtown and Eastside Historic District. Steve McCormick, agent for Eva Schmatz, owner requests to construct 556 sq. ft., 13' tall (maximum allowable height 14'-1") guesthouse at non-contributing building. (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)
2. 2022-005375-HDRB. 1500 Canyon Rd. Downtown and Eastside Historic District. Richard Horcasitas, agent for Tony Martin, owner, proposes to remodel a non-contributing garage. (Carly Piccarello)
3. 2022-005376-HDRB. 223 ½ Rodriguez St. Downtown and Eastside Historic District. John Padilla, agent for Richard Fullerton, owner, requests to remodel the non-contributing residence to 12'-4" tall (maximum allowable height 15'-7"). (Carly Piccarello)



AGENDA

HISTORIC DISTRICTS
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- I. DISCUSSION ITEMS
- J. MATTERS FROM THE BOARD
- K. NEXT MEETING: Tuesday, June 28, 2022
- L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
MAY 24, 2022

| ITEM | ACTION TAKEN | PAGE(S) |
|-----------------------------------------------|----------------------|----------------|
| Call to Order | 5:30 pm | 1 |
| Roll Call | Quorum Present | 1 |
| Approval of Agenda | Approved as amended | 3-4 |
| Approval of Minutes May 10, 2022 | Approved, as amended | 4 |
| Approval of Findings & Conclusions | Approved, as amended | 4-6 |
| Matters from the Public | None | 7 |
| Staff Communications | Comments | 7-8 |
| Old Business | None | 8 |
| New Business | | |
| 1. 2022-005307-HDRB. 200 Lincoln Ave. | Approved | 8-10 |
| 2. 2022-005169-HDRB. 510 Apodaca Hill | Approved | 10-11 |
| 3. 2022-005232-HDRB. 645 Webber St. | Approved | 11-14 |
| 4. 2022-005175-HDRB. 1612 Cerro Gordo Road | Approved | 14-16 |
| 5. 2022-005184-HDRB. 516 Camino Rancheros | Approved | 16-18 |
| 6. 2022-005183-HDRB. 571 Garcia St. | Postponed [6/28] | 18-22 |

| | | |
|--------------------------------------------|-----------------------|-------|
| 7. 2022-005189-HDRB. 330 Don Cubero Pl. | Denied | 22-25 |
| Discussion Items | None | 25 |
| Matters from the Board | Comments | 25-26 |
| Next Meeting | Tuesday June 14, 2022 | 26 |
| Adjournment | 7:42 pm | 26 |

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
MAY 24, 2022 – 5:30 PM**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:40 p.m. at a meeting held at the City of Santa Fe Municipal Building, 200 Lincoln Avenue, Santa Fe, New Mexico.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida
Ms. Flynn G. Larson

MEMBERS ABSENT:

One Vacancy

OTHERS PRESENT:

Ms. Carly Piccarello, Historic Preservation Division Manager
Mr. Kyle Hibner, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello noted that the agenda on PrimeGov is correct, but the paper copy handed out is not. She provided the changes to the Board.

MOTION: Vice Chair Katz moved, seconded by Member Bienvenu to approve the agenda, as amended.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. May 10, 2022

Member Bienvenu asked to make the following changes:

- Page 19, the last full paragraph, second sentence, should read: "*He said for the record that he disagreed with the description of this as a ranch-style home, which is significant because some true ranch-style homes have come before the Board.*" On the same page, the last sentence, should read: "*He noted the historic report...*"
- Page 31, fifth paragraph, third sentence should read: He said the Board has learned there is little difference *in insulation value* in the class *itself*. *He said it is a waste of resources to destroy older in favor of windows which typically last 20 years or less, ...*"
- Page 32, second paragraph, second sentence, should read: The energy consultant who presented in January said the difference in the panes themselves is the difference between R1, R2, and R3. Two paragraphs down, first sentence should read: He thought the Board *did* as well... "*believe that the desire for greater insulation value was sufficient justification.*"
- Page 36, second paragraph under Board discussion: "He said he differentiates this property from the previous case where the Board *mandated* divided lights. Second sentence... "or the structure is old..." should read, "or the structure as a whole is old, that simulated divided lights become a problem and the Board has the authority to mandate true divided lights."

MOTION: Member Guida moved, seconded by Member Bienvenu to approve the minutes of May 10, 2022, as amended.

VOTE: The motion passed by majority (4-0) roll call vote with Members Biedscheid, Bienvenu, Guida and Katz voting in favor and none voting against. Member Larson abstained.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2022-005033-HDRB. 964 Acequia Madre
2. 2022-005222-HDRB. 564 Garcia St.
3. 2022-005162-HDRB. 400 Sunset St.
4. 2022-005164-HDRB. 834 Allendale St.
5. 2022-005173-HDRB. 1520 Canyon Rd.
6. 2022-005174-HDRB. 1520 Canyon Rd.
7. 2022-005172-HDRB. 718 Gregory Ln.
8. 2022-005166-HDRB. 908 Canyon Rd.
9. 2022-005171-HDRB. 1202 Cerro Gordo.
10. 2022-005025-HDRB. 619 Acequia Madre

Vice Chair Katz said he had a problem with 619 Acequia Madre. He was concerned the draft findings do not include a finding that the exception criteria for the parapet change over the kitchen was met. He said the Board made no such findings. The staff report failed to include the applicant's request for the parapets. The applicant *did* request a parapet change but their written request presented only one of the three criteria. Only one of the criteria was met. The applicant's testimony did not discuss criteria for the exception at all, only the portal and the windows. The Board failed to find the exception criteria were met, staff did not include that in the applicant's request and the applicant failed to present the evidence. He said he chaired the meeting and failed to point out this was a problem. This leaves uncertainty of whether the parapet change was approved or not. He said everyone will benefit by doing this right so that the applicant is not confused.

Member Guida asked if the parapet had been drawn and included in the packet.

Vice Chair Katz said yes, and the applicant testified about it, but it required an exception. No evidence was presented on two of the three exception criteria. There was no explicit finding that the criterion for the parapet was met. They did find and discuss that the criteria for the portal and the window was met.

Member Guida said his motion referenced the packet as submitted with the intent to include that, even though not specifically called out. The Board reviewed each of the exception criteria in making the motion. He didn't recall if they explicitly addressed the parapet. He said in light of reviewing a number of criteria for the changes to the façade could be construed as being included.

Chair Rios asked if this discussion was the same case discussed by the Board a couple of meetings ago.

Vice Chair Katz explained this came before the Board for status and primary façades. Then it came back when the applicant proposed his changes. He said the Board should not approve the findings. They should reopen the hearing, clarify the request, and have the applicant come back to provide testimony.

Member Guida said he could not see how the exception criteria would be different for the detail on the façade. The motion talked in general about the changes requested to the façade. He said he could appreciate the point that staff had not itemized. He did not see the point in hearing the same exception criteria reviewed again.

Member Bienvenu said he was not at that hearing but recalled this issue was before the Board about two years ago. Lisa Roach was the Division Director. Her position was that raising a parapet of a primary façade did not require an exception; it is not considered an addition under Code. He recalled that specifically because they had an exchange of emails and it seemed wrong to him at the time. He came around eventually to the same interpretation of Code because the same provision that speaks of additions also speaks to remodeling.

Chair Rios asked Vice Chair Katz if 619 is contributing. She was told yes.

Member Biedscheid asked to hear from staff. The Board heard an exception request for a revision to a primary façade. She recalled there would be a change to the overhang of the roof and replaced with a parapet to match the height of that façade. She asked if this would be presented differently with respect to the parapet detail, or would it be considered part of the same exception request for an addition to a primary façade.

Ms. Piccarello said it would have been part of the same exception criteria and it was listed in the exception criteria. But it should have been itemized in the staff report. The exception criteria and the drawing were there, and it was in the applicant's presentation.

Member Biedscheid recalled that the parapet would change. She felt the parapet issue had been addressed with the packet and in the discussion.

Member Bienvenu said the same ordinance distinguishes remodeling from an addition. This would be considered a remodeling under the prior administration's interpretation. He said it would be nice to have clarification from the City Attorney and the Division Director whether they believe an exception is required in this case.

Chair Rios introduced Kyle Hibner, Assistant City Attorney. She asked that Ms. Piccarello address the issue.

Ms. Piccarello said she believes it requires an exception. If the parapet is changing heights, not necessarily, but if changing roof profile, then yes. She noted that when something is missing from the staff report, ideally it is read into the record to capture it at the hearing. She knew it was discussed but has to review the video whether it was read into the record.

Chair Rios said she was not at the hearing, but she believed the record should be clear and clean. That means the Findings and Conclusions have to state what the Board is addressing in regard to the particular application.

MOTION: Vice Chair Katz moved to approve the Findings of Fact and Conclusions of Law, with the exception of Case #10 at 619 Acequia Madre.

The motion failed for lack of a second.

MOTION: Member Guida moved, seconded by Member Biedscheid to approve all of the Findings of Fact and Conclusions of Law as submitted.

VOTE: The motion passed by majority (3-1-2) roll call vote with Members Biedscheid, Guida and Chair Rios voting in favor, and Vice Chair Katz voting against. Members Bienvenu and Larson abstained from the vote.

Prior to her vote, Chair Rios asked to confirm that Ms. Piccarello had stated the Board should address the exception criteria regarding the parapet, and felt the criteria was not addressed.

Ms. Piccarello clarified that she stated it *requires* an exception and that was included in the same exception as the changes to a primary façade.

Chair Rios said her vote is in favor of the motion.

E. MATTERS FROM THE PUBLIC

None.

F. STAFF COMMUNICATIONS

Ms. Piccarello welcomed everyone to the Chambers. She said the Board should look forward to more information on a potential hybrid model [of the meeting].

She noted the 2022 Heritage Preservation Awards Ceremony last week had a great turnout.

The Senior Planner position will close on the 27th of May, and they will be hiring two staff members. Senior planner, Daniel Schwab decided to resign effective last week. She wished him well in his next endeavors.

Ms. Piccarello offered to time the public comments as in the past, if Chair Rios chose to do that.

Chair Rios said public comment would be limited to two minutes. She explained the process for appealing the Board's decision in a case.

G. OLD BUSINESS

None.

H. NEW BUSINESS

1. **2022-005307-HDRB. 200 Lincoln Ave.** Actual project location for this City project is Sheridan Street between W. Palace Ave. and W. Marcy St. Downtown and Eastside Historic District. Sam Burnett, agent for City of Santa Fe Transit Division, requests bus stop improvements for length of Sheridan Street. (Carly Piccarello, HPD Manager)

STAFF REPORT

Sheridan Transit Center is located on Sheridan Street and is the downtown hub for pick-up and drop-off for bus riders on both the Santa Fe Trails busses and the RTD bus. Sheridan Street extends from West Marcy Street to West Palace Avenue behind Georgia O’Keeffe Museum Annex (also known as the Old Safeway) at 123 Grant Avenue, which is slated for demolition for the new Georgia O’Keeffe Museum building. Sheridan Street is also abutted by the parking area of the A.M. Berger House, Georgia O’Keeffe Museum Offices, and the Manitou Gallery.

Several buildings back up to Sheridan Street, which includes the Museum of New Mexico (significant status). The transit center is an essential node for locals and tourists travelling to and from the plaza, functioning as a drop-off point for individuals that ride the Rail Runner and take the Santa Fe Pick-Up.

The applicant wishes to upgrade the appearance, usability, and accessibility of the transit center which was the reason for applying for the Federal Highway Administration (FHWA) grant.

The improvements will include the following items:

- 1) Realign the bus lanes and repave Sheridan Street
- 2) Widen sidewalk areas from 7'-0" at its current widest to 20'-0" at its proposed widest width, pave sidewalks with brick, and construct new curbs.
- 3) Install trees and tree wells with steel grates within sidewalk area
- 4) Construct four Territorial Style bus shelters out of galvanized tube steel.
 - a. The finish will be 'Charcoal Grey Metallic' with aluminum decorative panels that will be powder coated 'Light Grey.'
 - b. Bench seats will be thermoplastic 'black.'
 - c. The roof will be a matte finished, galvanized sheet metal.
- 5) Add lighting: lampposts will be 'green.'
- 6) Remove existing electronic informational kiosk

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT'S PRESENTATION

Nicole Ramirez Thomas, 2227 Venice Dr., South Lake Tahoe, California, was sworn. She said she did not have much to add regarding the project but could answer questions. This will be a significant improvement to what exists from the pavement to the bus shelters. The packet does not include the rendering of the Georgia O'Keefe Museum, but one was submitted to HPD, and they have permission to use it. The drawing shows how the sidewalk is widened significantly, and the bus shelters are closer to the curb. Ultimately Sheridan Avenue will be narrowed with one through lane and a bus lane and the traffic going in the same direction.

Chair Rios said this is quite an improvement to the area and will serve the community nicely. She asked if the bus shelters would have one side open versus closed on both sides as in the past.

Ms. Ramirez Thomas said the north and south sides will be closed with panels. The east and west sides will be open and there will be divisions for different seating configurations. The street frontage will be open all the way through, as well as in the back facing the Museum.

Chair Rios asked about lighting.

Ms. Ramirez Thomas said there will be a lot more lighting. The design was previously approved by the Board.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2022-005307-HDRB, 200 Lincoln Ave., Member Biedscheid moved to approve the application as submitted. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

2. **2022-005169-HDRB. 510 Apodaca Hill.** Downtown and Eastside Historic District. Windham Carlisle, agent for Galen Briggs, owner, proposes to construct a new 1015 sq. ft. single-family residential structure to a height of 14'. where the maximum allowable height is 15'- 6". (Carly Piccarello)

STAFF REPORT

On April 26, 2022, the HDRB downgraded the historic status of the structure present on the property to 'non-contributing,' in case 2022-5023-HDRB. During the same hearing, the Board approved the application to demolish the structure in case 2022-5024-HDRB. 510 Apodaca Hill sits back behind 507 Apodaca Hill, which front the street, and directly behind 508 Apodaca Hill. The structures at 507 and 508 Apodaca Hill obscure visibility to 510 Apodaca Hill.

Now, the applicant proposes the following new construction of a single-family residence on the property:

- 1) Construct a one-story, 1,015 sq. ft. single-family residence to the maximum allowable height of 14'-0" with a 25 sq. ft. portal.
- 2) All windows and doors are to be double-pane, wood interior/aluminum clad with exterior finish is to be Pella "Hartford Green."
- 3) Exposed wood architectural elements are to be rough sawn pine with a clear sealant finish. Exposed viga ends are to be capped with metal flashing.
- 4) Stucco is to be cementitious El Rey 'adobe,' sand finish.
- 5) All new roofing is to be flat roof behind stucco parapets and of torch down modified bitumen material.

- 6) All new canales are to be traditional metal lined wood units, clear sealant finish.
- 7) Repair existing coyote fence as necessary and in kind.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios confirmed the applicant did not want divided lights. She said she would ask the applicant why.

Vice Chair Katz asked if the three-foot rule also depends on public visibility.

Ms. Piccarello said it does.

APPLICANT'S PRESENTATION

Windham Carlisle, 369 Montezuma, Santa Fe, was sworn. He said he was authorized to speak for the owner/designer and to make accommodations required by the Board. He addressed the two questions: 1) *if the property is visible from the public*. He said it is not and can only be seen from the parking spot of the private driveway. 2. *The applicant has requested to not have divided lights, as a matter of preference*. Also, the corner window in the bathroom was in jeopardy of the 30 inch rule, and that had been requested by the owner. The site plan shows how the building narrows as it heads to the east. The designer felt more glazing on that side would make it feel more open.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2022-005169-HDRB, 510 Apodaca Hill, Vice Chair Katz moved to approve the application as submitted. The motion was seconded by Member Guida.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

3. **2022-005232-HDRB. 645 Webber St.** Downtown and Eastside Historic District. Annette Vigil, agent for The Open Circle, requests exception to SFCC Section 14-8.10(H) for a sign at a non-contributing building. (Angela Schackel Bordegaray)

STAFF REPORT

645 Webber Street is a non-contributing building to the Don Gaspar Area Historic District. Originally built in 1942, the building is described as Contemporary/Spanish-Pueblo Revival Style. A large addition was added in 1962. The subject of this application is the proposal to replace the existing sign with a new sign in the same place. Erecting a new sign on their property that reflects their image and new name comes after a long visioning process involving members of the church community and the wider Santa Fe community. The Open Circle (formerly known as First Christian Church of Santa Fe) has stood in the Historic District for over eight decades.

The new church, The Open Circle would like to feature their multi-color logo on the sign. The proposed sign is an open circular shape, with soft rainbow-hued rays radiating outward. The lower-case letters are simple and modern. The design evokes a sun and New Mexico sky. The sign has 11 colors. The applicant requests an exception to SFCC Section 14-8.10(B)(4) that limits signs in the historic districts to no more than three plus black and white and one color matching the building.

STAFF RECOMMENDATION

Staff did not find that all the exception criteria had been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(H) Don Gaspar Area District Standards.

APPLICANT'S PRESENTATION

Tiffany Curtis, 641 Webber Street, was sworn. She introduced the Church Secretary, Mitchell, who was also sworn. She noted members of their community were present to support the sign. She provided background on the church. In 2023 The Open Circle will celebrate its 90th year. Their records show a person named Ferguson established a group of members who first met in their homes in Santa Fe. The lot was purchased in 1937 and the first service held there in 1940. The church membership has ebbed and flowed but the church is committed to the Santa Fe community. By 2014 the church had dwindled to the point they considered selling the property. She was called as the new Pastor in 2016 with the hope of revitalizing the church. Part of the transformation is a name change to The Open Circle from First Christian Church of Santa Fe. Collectively they have created a logo, redesigned their website and social media and this new sign for the building. There has been extensive community engagement in all of the projects and membership is growing. The church is very involved in the local community and works with many non-profit organizations. She is on the County Board for the FEMA shelter and food program. The new logo is a visual expression of all that they are as a

community, in their diversity and inclusion. The hope is that the logo will be known over the years as a symbol of love, hope and transformation.

Chair Rios reminded the Board that exceptions were requested for this sign.

Member Bienvenu commended them for their mission and work. He said he finds the colors are integral for what they do and quite subtle in this iteration. He thought they easily meet the exception criteria. He noted that what is before the Board is not even specific to their historic district. The specific called out section of the sign ordinance says that colors and design are left to the discretion of the applicant. It is the general ordinance that restricts to three colors, which he understands also applies. He said it was interesting they have a broader availability of design options as long as they don't clash with the historic district.

Member Bienvenu said he wanted to mention, after looking at the colored rendering, that the weathered wood background has multiple colors. He found that potentially in competition with the logo itself and calls more attention to the multiple colors. He asked if that was a part of the design.

Ms. Curtis said it is a mockup by the sign designer. The idea is to use reclaimed wood, but *not* to have color. They have contacted the designer to change that but did not have time to change the rendering.

Member Guida referred to the side view with reclaimed wood on the front. He asked what was on the back side.

Ms. Curtis said it would be the same reclaimed wood.

PUBLIC HEARING

Three members of the audience did not speak but indicated their support for the sign.

BOARD DISCUSSION

MOTION: In Case 2022-005232-HDRB, 645 Webber St., Member Bienvenu moved, consistent with the presentation made today and the information in the application, to approve the design as submitted on the condition that the reclaimed wood background not include additional painted colors but be wood tones and also finds that all applicable exception criteria have been met. The motion was seconded by Member Biedscheid.

Ms. Piccarello read a written comment into the record submitted by Tiago Arrais, attached as Exhibit "1". He wrote that he is the pastor of the Advent Life Church and president of the Interfaith Leadership Alliance of Santa Fe as well as a Santa Fe resident. He wrote that The Open Circle Church

serves the community in many ways. It provides a safe place for worship, wellbeing, and an inclusive place for people of any background. As a pastor of a congregation that recently changed its name, he could say that the name change means discerning new ways to understand the community of faith, as well as a renewed commitment to serve and work for others. He asked that the Board consider that. He said he supports The Open Circle Church and the display of the beautiful logo on their sign.

Member Biedscheid asked a friendly amendment for clarification that exception criteria #2, which staff disagreed with, had been met specifically because the sign is a visual representation of the church's identity. Not being able to represent its interest through signage would be a hardship to the applicant.

Chair Rios noted that the maker of the motion had indicated *all* applicable criteria had been met.

Member Guida asked a friendly amendment that the back of the sign be clad in the same non-colored, reclaimed wood as used in the front, and the packet be updated and submitted to staff.

Member Bienvenu accepted Member Guida's friendly amendment.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

4. **2022-005175-HDRB. 1612 Cerro Gordo Rd.** Downtown and Eastside Historic District. Sheb Mirando, agent for Elizabeth Porter and Michael Munson, owners, proposes to construct 2,524 sq. ft. single-story residence to a height of 15'-2" (maximum allowable: 15'-11"). (Angela Schackel Bordegaray)

STAFF REPORT

1612 is a vacant lot that slopes south from Cerro Gordo Road in the Downtown and Eastside Historic District. It is accessed from Cerro Gordo Road's south side down a driveway tucked into the northern portion of the site. A guesthouse approved by the board in 2021 is under construction.

The applicant proposes to construct a new 3,105 square foot single-family residence with a two-car garage. The proposed new residence is drawn in contemporary Santa Fe style. It is a stucco and mass dominant structure with a four flat metal roof masses with parapets. The roof's highest point is 15'-2" where the maximum allowable height is 15'-11." The building is composed of four masses. The highest being the center mass of the building which has a parapet height of 15'-2" from natural grade.

1. It has three portals with rusted patina finished steel posts and sloped rusted corrugated overhangs.
2. Windows and doors will be wood metal clad true divided lite in Sierra Pacific Bronze trim. The window styles are casements and fixed pane; the doors are divided lite wood swing. The south elevation features a horizontal row of square fixed windows above the south portal.
3. The front door will be Douglas fir and stained "Weathered Oak 270."
4. Stucco will be cementitious El Rey's "La Luz".
5. Canales will be plate-steel with rusted patina finish.
6. It will have 4 curb-mounted skylites.

The house is not publicly visible from Cerro Gordo Road.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked if the project can be seen from a public way.

Ms. Bordegaray said the roof may be slightly visible from atop Cerro Gordo Road.

APPLICANT'S PRESENTATION

Sheb Mirando, 1301 Declovina Street and Elizabeth Porter, 14 Bosque Sol, Santa Fe, were sworn. Mr. Mirando said the layout accounts for the approved studio in the far corner of the site to provide room for a yard. The east side of the property has a rural Old Santa Fe style building with a tin roof. To the west is a house with solar roofing elements. The 3,000 square feet mentioned is the total roof of three portals; the heated size is 2,040. The four main masses are terraced. They wanted people to first see the first mass of the garage, the lowest mass. From there it terraces up to 15'2" to the center mass. He pointed out the agenda incorrectly lists the maximum height of the proposal and the height average, and it should be 15' 2" in both cases. The south has a larger portal proposed in steel. It will have a patina clearcoat finish and corrugated rusted metal on the portal and the structure. There is also a small entry portal on the main entry of the building, and a

small portal off the master, going north. The east has a screen wall in front of the main entry that is a main support of the entry portal, and that has an opening in it. All of the openings are 2 x 2 or 2 x 3 simulated divided lights in a bronze finish aluminum, metal clad. The portal roofs are El Rey cementitious stucco coated parapets in a La Luz finish. None are visible. The front door finish is a stained fir.

Vice Chair Katz said he wasn't clear what the top of the portal is on the south façade.

Mr. Mirando said the portal roof is sloped at a 1 to 12.

Vice Chair Katz asked the circumference of the curve on the corners of the building.

Mr. Mirando said a middle ground, bullnose radius is proposed. He did not have the specification in inches.

Member Biedscheid asked the dimensions of the posts on the portals.

Mr. Mirando thought they were 6 x 6.

Member Bienvenu said on the corners and the posts, the guest house was before the Board a year ago for approval. That house has very strongly rounded corners and battered parapets and wooden posts. This one seems to be potentially differentiating itself from that. He asked if that was the intention.

Mr. Mirando said that was his intention.

Member Bienvenu said it is true this is not visible from the road or minimally visible, which should be taken into account. It is an important rural location in Cerro Gordo, and right on the acequia. That gives him some concern about approving what Mr. Mirando described as a *contemporary* Santa Fe house. He said those were his two issues; the radius of the corners as well as the steel versus wooden posts.

Member Biedscheid asked about the garage door material.

Mr. Mirando said the materials are not specified. They propose a premanufactured simulated wood overhead door.

Member Guida said to follow up on the garage door, there are lights along the top panel and the simulated wood has a flush face. He said he thought the project is well designed.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

MOTION: In Case 2022-005175-HDRB, 1612 Cerro Gordo Rd., Member Guida moved to approve the project as submitted. The motion was seconded by Member Larson.

VOTE: The motion passed by majority (3-2) roll call vote with Members Biedscheid, Guida and Larson voting in favor and Members Bienvenu and Vice Chair Katz voting against.

5. **2022-005184-HDRB. 516 Camino Rancheros.** Downtown and Eastside Historic District. Lorn Tryk, agent for Terry and Frances Caviness, owners, proposes to construct 367 sq. ft of additions on a non-contributing structure. (Carly Piccarello)

STAFF REPORT

516 Camino Rancheros is a two-story, single-family residence built in the late 1980s to early 1990s. It listed as non-contributing to the Downtown and Eastside Historic District in Recent Santa Fe Style. It has an attached guest house and detached garage. The stucco structure is a rambling, U-shape with flat roofs. Portions are one-story and others that are two. Stepbacks, portals, protruding vigas, divided light windows and doors with exposed lintels and are common throughout.

In 2006, a 5'-4" coyote fence, pedestrian gate and vehicular gate were approved by the HDRB in case H-06-132. In 2011, HDRB approved the replacement of the coyote fence with a stucco yardwall with a of 6'-0" in case H-11-069.

Now, the applicant proposes the following exterior alterations:

- 1) Add 156 square feet of heated space to the north façade of the interior courtyard and match the existing height of 12'.
- 2) Demolish the guest house portal.
- 3) Create an addition to infill the demolished portal, which will connect the guest house to the garage, and create a bathroom addition on the immediately adjacent west façade. This adds 316 square feet of heated space and matches the existing height of 12'.
- 4) Exterior finishes are proposed to match existing as follows:
 - a. Exterior stucco: STO 'Suede.'
 - b. Exterior doors and windows: Windsor 'Sage Brown.'
 - c. Exterior Wood Trim: To match doors and windows.
 - d. Exterior Sconces: Light Styles of Santa Fe Med Dome 'Nambe.'

5) No other changes are proposed.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT'S PRESENTATION

Lorn Tryk, 436 W. San Francisco Street was sworn. He explained the basis for the project is to allow for an internal connection to the house. Also, the hallway on the north side is less than 3 feet wide and 350 square foot infill is to create a master bedroom suite on the ground floor. The owners are elderly, and this gives more accessibility.

Chair Rios asked the square footage of the house.

Mr. Tryk did not know. He said it is large.

Member Guida said looking at the photos he was struck by the large unit on the south side that is highly visible. He asked if anything would be done about that.

Mr. Tryk said no, it is not really visible. That part of the house will not be touched.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

MOTION: In 2022-005184-HDRB, 516 Camino Rancheros, Vice Chair Katz moved to approve the application as submitted. The motion was seconded by Member Guida.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

6. **2022-005183-HDRB. 571 Garcia St.** Downtown and Eastside Historic District. Estevan Trujillo, agent for William and Suzanne Bruke, owners, proposes to construct a pergola and a trellis and make other minor changes to a contributing property (Carly Piccarello)

STAFF REPORT

571 Garcia Street is a 1,673 square foot single family residence and 601 square foot guesthouse constructed in the Spanish Pueblo Revival style. The main residence is listed

as contributing to the Downtown and Eastside Historic District, and the guesthouse is listed as non-contributing due to age. The original part of the main residence was constructed in three phases beginning in the 1930s. The main residence was remodeled and a total of 445 square feet of additions were constructed in 2005. The west façade of the main residence is designated as primary.

In 2015, the HDRB approved a proposal to construct a 105 square foot addition on the north elevation at the rear of the residence with a lower height than the adjacent massing. The HDRB also approved the construction of a 4'-4" by 2' coyote fence enclosure for existing gas meters on the south façade of the residence.

Now, the applicant proposes the following exterior alterations:

Proposed Pergola.

- 1) Construct a pergola in between the main house and guesthouse. The wood members of pergola will be attached to the guesthouse eastern façade with hidden brackets and not attach to the west and primary façade of the main house. A steel post and beam (with steel corbels) structure will support the pergola's wood beams on the west end of the contributing main house. The pergola will not touch the main house and allow room for proper future maintenance work. We propose to move the existing canale at the guesthouse to the North and to raise the parapet 1'-11 inches to allow for a continuous pergola beam detail and to drain away from the patio and BBQ.
- 2) The wood beams will not be visible from the Garcia Street but may be visible from the eastern side of Johnson Lane. The wood beams are to be hued and stained to a brown gray to match the entry gate. Oiled rust is the steel color of the gate and all proposed steel work is to match. Refer to photo 7 for color of finishes.
- 3) Construct a trellis to screen the electrical and data boxes. The trellis will be planted with plant to screen yet allow access for services. The height of the trellis will align with the top of the gate walls and will not be visible from Garcia Street. The steel color will be oiled rust.
- 4) Construct entry steps. Bronze Hidden LED light strip will be added.
- 5) Construct a landscape and water features. A single rock water feature will be added to the courtyard north adobe wall. The top of the rock will sit lower than the yard wall. The planting beds with low maintenance seasonal plants at the locations shown in the plan.
- 6) Replace the existing roof mounted cooling system with one that's more centralized, effective, and efficient. Two systems may be required to cover different zones. The new AC system will not be visible from Johnson Lane. All stucco repair work if should occur will be covered in the stucco permit obtained by the general Contractor.

7) Repair the existing exposed adobe yard wall at the north end of the courtyard.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

Chair Rios asked how much of the portion on the parapet will be raised.

Ms. Piccarello said 1'11" inches but best to clarify that with the applicant.

Member Bienvenu said he is not sure why the primary façade designated was the one designated. It is difficult to see, and you cannot see it at all from Garcia. He said you see it from the side street and even then it is a narrow view. You never look face onto it unless you are in the interior of the property. He said, that said, he thought the trellis will completely cover the view of the primary façade rendering it almost invisible as a façade. He said he understands it is not technically attached to the primary façade and is not an addition. But he thought it hard to consider this a primary façade any longer with the trellis covering it.

Ms. Piccarello said this is difficult because records show it does have a primary façade, but they cannot find the case it is in. It is in the staff report and noted in their documents. Yet, the guest house at some point was added in front of that. She said while the project doesn't attach to the primary façade, she raised the question whether this should go through a status to look at the primary façades again. It is a small case with a pergola. The former case planner had worked with the applicant. Their decision was not to do that [a status review of the primary façades]. Because this is not a large change to the building, she decided to move forward without reviewing the status.

Member Bienvenu said he finds it difficult if not impossible to approve the project with that being the primary façade. It would be easier to approve if there is a status review and potentially have a different primary façade; or a potential downgrade if the primary façade has been so obstructed by the guesthouse it is found to be no longer contributing.

APPLICANT'S PRESENTATION

Estevan Trujillo, 133 W. Houghton Street, was sworn. He said he worked with Mr. Schwab on this project. His client wanted the pergola in that space because the property is tight, and it is the only small space. Part of the strategy was to pull the pergola away and do what they did to create a structure. He noted on the guesthouse side they can attach the pergola to the guesthouse because it is noncontributing.

Chair Rios asked for a description of the pergola and trellis, height and width.

Mr. Trujillo said the pergola with the structure in front of the primary façade will have to be engineered. He wants to keep the structure light. The wood that creates the pergola will be hand hewn wood. The proportions will be about 8 x 8 or 6 x 8 to keep them vertical. The height of the pergola is between the vertical openings and the top of the parapet.

Chair Rios asked his estimate of the pergola height.

Member Guida noted the height is identified as 10'2" on the drawings as maximum.

Member Guida asked if the original thought was to not have posts.

Mr. Trujillo said that is what his client wanted. He and Mr. Schwab had discussed that, and Mr. Schwab felt it more amenable to separate the two.

Member Guida said he thought the heavy steel beams, the corbels, posts, etc. all contributed to a heaviness, just to meet a technical 3-inch gap between the pergola and contributing structure. He said that is an unfortunate compromise. It meets the letter of the law but detracts from the design of the space and the character of the district. He didn't know if embedding the pergola rafters between the buildings was a good idea because they move separately.

Mr. Trujillo said he has another plan to hide the structure on the guest house side and attach them with stucco, but not embed them. Ideally he preferred to do the same on the other façade and get rid of the posts because the space is small.

Member Guida said there is a design by committee aspect where it is attached on one side and not on the other. He preferred, if they are not concerned about the movement between the structures, to make the whole thing span the gap between the two buildings, and not have beams or columns in the patio space.

Mr. Trujillo said that is his preference as well.

Member Guida said it would detract less in a similar way to what was discussed on the house on Upper Canyon Road. These are reversible improvements.

Member Biedscheid said she agreed. She was distracted by the steel corbels and posts. She added that although an exception was not requested, it could be granted. They have already lost the visual contribution of the primary façade with the gate and guest house. She thought a status downgrade would be appropriate.

PUBLIC HEARING

John Eddy, 14 Avenida Campo Verde, was sworn. He said this case is interesting. He has seen this happen before with the Board. They are moving forward and ruling on

something that will potentially create in de facto a downgrade of the status. He said the Board should be careful about that aspect.

BOARD DISCUSSION

Member Guida asked Ms. Piccarello if the structure facing the courtyard between the two buildings has been designated as contributing, or is it not yet designated.

Ms. Piccarello said it is in the staff report as the west façade, but the practice of assigning primary façades was loose in the past. She isn't sure this façade is appropriate as primary or whether it should be a downgrade. That requires research for staff to present a path forward. She noted the first potential hearing for that would be June 28 because of the noticing requirement.

Member Guida asked if that was the path she advised.

Ms. Piccarello said she did.

MOTION: In Case 2022-005183-HDRB, 571 Garcia St., Vice Chair Katz moved to postpone to June 28, 2022 for a review of the status and primary facades. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

7. **2022-005189-HDRB. 330 Don Cubero Pl.** Don Gaspar Area Historic District. E3 design lab, agent for Heidi Britt & John Carl, owners, requests exception per SFCC 14-5.2(C)(5)(c) to construct yard wall to height of 6' (Maximum allowable height 4'-6") on contributing building. (Angela Schackel Bordegaray)

STAFF REPORT

330 Don Cubero Place is a white stucco simple Territorial Revival Style building designated contributing to the Don Gaspar Area Historic District. The house is set 60' back from the street with a large lot enclosed by a white stucco yard wall with latillas on top. It has undergone alterations that include a large addition. The historic building inventory form includes the presence of a stucco yard wall. The subject of this case is the yard wall.

The applicant requests to reconstruct portions of the white stucco yard wall including latillas, as it existed before an underground sewer project was undertaken and portions of the yard wall were removed. The original yard wall varied in height between 3'-4" on

the east side and 4'-10" on the west side. The original yard was built along with the house in 1938. A row of 1'-6" latillas attached to the top, bring the yard wall to a height of approximately 6'. The latillas were added to the top sometime in the 1980s. The maximum allowable height for fences and yard walls in this streetscape is 4'-6." The applicant requests to repair and reconstruct the preexisting yard wall to its previous height, 6'. The row of latillas attached to the top of the wall bring the wall into non-conformance with the code per 14-5.2 (A)(6).

The applicant requests an exception to Section 14-5.2(C)(5)(c) to exceed the maximum allowable height for fences and yard walls in the applicable streetscape.

STAFF RECOMMENDATION

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(H) Don Gaspar Area District.

Chair Rios asked if the wall was designated contributing as well.

Ms. Bordegaray said yes, it is a contributing structure. She suggested the applicant explain about the latillas. He was attempting to put the latillas up when issued a *Stop Work Order*.

Chair Rios asked for a description of the street scape.

Ms. Bordegaray said Don Cubero is a main street and Don Cubero Place is a short street that truncates in an alley. All of the yard walls were low except the one next door, a non-historic yard wall built less than 50 years ago.

Member Guida confirmed the height of the stucco portion of the wall was not in question, the exception is the latilla portion above 4'6". He asked if the house has a backyard.

Ms. Bordegaray said it has a zero lot line on the back and a large orchard which is part of the status.

APPLICANT'S PRESENTATION

Mr. Trujillo, previously sworn, explained the situation arose from the sewer line being in the wrong location. It was necessary to destroy 8 feet of the wall to repair the sewer. They decided when restoring the wall and putting the fence back up, to do it as it had been before. They were red tagged when painting and stuccoing the wall. The restoration of the latillas is critical for the security and privacy of his client and their

neighbor. His clients have rescue dogs which need special attention. There are letters from neighbors supporting the restoration because it effects their privacy as well. The restoration is consistent with the historic because it has been there over 30 years. Even though the latilla fence is nonconforming, it has a lot of character. He thought the whole historic district is nonconforming and is what makes it unique. He said failure to restore the fence would be inconsistent with the historic because of the aesthetic to the neighborhood and privacy for his clients and the neighbors.

Member Bienvenu said he sympathized with the applicant if true they bought the property with the fence on it. He said the Board has to approach this now that the latillas have been taken down, that this request is to increase the height of the wall, not just to restore it to what it was previously. The latillas were there 30 years or less and it is not historic and on that basis is no reason for protecting it.. If the applicant asked to add latillas with the wall as it currently is, he would deny the request because the exception criteria would not be met.

Member Guida said he also was sympathetic with the property owners not knowing the circumstance. Regardless of how, this is a nonconforming wall height, and should be reviewed by the Board. The Board has an exception process that allows applicants to request permission for higher walls. In the before photographs he sees the latillas on top of the wall and one where the historic character is preserved. There is a clear difference between what is new and what is old. There was no adverse effect on the historic nature of the wall because of the way this was designed in the 80s. He said there are a number of circumstances he agrees with in looking at the exception criteria. Five exception criteria are listed for this case; the applicant does not have a back yard, and that this is primarily their outdoor private space since they bought the house. That is a good reason. This does not harm the public; they appreciate the historic wall. He said he understands that a lot of the wall height calculations are based on existing structures. They were built at different times by individuals who constructed walls, even before the ordinance. He is sympathetic to an exception to the height.

Member Larson said the neighbor's comments provided support for the wall restored to its original appearance. She also did not see an adverse effect and the wall was not bothering anyone in the years it has been there. She appreciated the dimension added by the latillas of a more rustic property with an orchard. She said it is fine to approve.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

Chair Rios said in this area she thought it unusual to put latillas on the wall. She has seen other solutions in this district. Often when they want to increase the wall height they use wrought iron you can see through. She said it may not give the full privacy element the clients want but it keeps the dogs from jumping the wall. She said many areas of Santa Fe have no walls. Then they started building them and they have gone higher and higher, and Santa Fe is now identified by high walls in many areas. She said she can appreciate his client's dilemma, but those are her comments.

Vice Chair Katz said he understands there is a limit on the wall height for a good reason. This street is consistently lower than what the applicant wants. He said everybody would like privacy and if that was a valid reason to get rid of the rule, then the rule is meaningless. He said he doesn't see how raising the height of the wall beyond the limit could be approved.

MOTION: In 2022-005189-HDRB. 330 Don Cubero Pl., Vice Chair Katz moved to deny the application on the basis that criteria for the exception for a higher wall was not met. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by majority (3-2) roll call vote with Members Biedscheid, Bienvenu and Katz voting in favor and Members Guida and Larson voting against.

Mr. Trujillo said he wanted to clarify for the record the documents he found for the main house is noncontributing, and the garage is contributing. He printed that from the city website, and it is consistent with permitting they received. He asked to clarify why the whole property is contributing when the map shows otherwise.

Ms. Bordegaray replied sometimes the City map does not represent updates to the historic status of structures. In this case the map Mr. Trujillo provided shows the house is noncontributing. In the historic inventory the building is contributing and discusses the yard wall as being built at the same time as the house. She said according to our records, the map is always subject to change.

Mr. Trujillo added for the record, the pentile is part of the addition of the house. The older part that sits on Houghton has a fatter wall that he assumes is made of adobe.

I. DISCUSSION ITEMS

None.

J. MATTERS FROM THE BOARD

Chair Rios asked if the Board would resume going on the van for field trips.

Ms. Piccarello said she was notified the van is working. She will check it out.

Chair Rios polled the Board members on their preference of using the van or going in their personal vehicles for the field trips. The Board consensus was to continue to use their personal vehicles.

K. NEXT MEETING: Tuesday, June 14, 2022

L. ADJOURNMENT

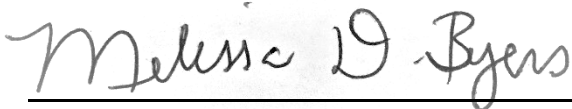
MOTION: Vice Chair Katz moved to adjourn, seconded by Member Bienvenu.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

Chair Rios adjourned the meeting at approximately 7:42 pm,

Submitted by:

Approved by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

Cecilia Rios, Chair

Exhibit 1
HDRB -- 5/24/2022

Name:
Tiago Arrais

645 Webber Public Comment

Comment - 05/23/2022 08:31 AM: (No Vote)

My name is Tiago Arrais and I am the pastor of Advent Life Church, co-president of the Interfaith Leadership Alliance of Santa Fe, and a resident of Santa Fe. The Open Circle is a community of faith that has worked to serve the city of Santa Fe in many ways. They represent a little light in this city, providing a safe place for worship, working for the wellbeing of those pushed to the margins, and creating an inclusive space for people from any background to feel safe. While the change of the name of a community of faith can seem like a mere cosmetic change, as the pastor of a congregation that has recently changed its name, I can safely say that such a change represents much more than that. A name change means discerning new ways to understand the identity of a community of faith, and it also means a renewed commitment to serve and work for others. Please take this into consideration as you work on their request: what may seem like a simple change truly is a sign of renewed commitment to serve and help the city of Santa Fe. I support the Open Circle and ask that you allow them to display their beautiful rainbow-hued logo on their sign, as they cherish a historic Santa Fe property in the Don Gaspar district.

Attachments

Add Attachment

4. 2022-005175-HDRB. 1612 Cerro Gordo Rd. Downtown and Eastside Historic District. Sheb Mirando, agent for Elizabeth Porter and Michael Munson, owners, proposes to construct 2,524 sq. ft. single-story residence to a height of 15'-2" (maximum allowable: 15'-11"). (Angela Schackel Bordegaray)
5. 2022-005184-HDRB. 516 Camino Rancheros. Downtown and Eastside Historic District. Lorn Tryk, agent for Terry and Frances Caviness, owners, proposes to construct 367 sq. ft of additions on a non-contributing structure. (Carly Piccarello)
6. 2022-005183-HDRB. 571 Garcia St. Downtown and Eastside Historic District. Estevan Trujillo, agent for William and Suzanne Bruke, owners, proposes to construct a pergola and a trellis and make other minor changes to a contributing property (Carly Piccarello)

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5307-HDRB

Address – Sheridan Street between W. Palace Ave. and W. Marcy St.

Agent’s Name – Sam Burnett

Owner/Applicant’s Name – City of Santa Fe, 200 Lincoln Ave.

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

Sheridan Transit Center is located on Sheridan Street and is the downtown hub for pick-up and drop-off for bus riders on both the Santa Fe Trails busses and the RTD bus. Sheridan Street extends from West Marcy Street to West Palace Avenue behind the Georgia O’Keeffe Museum Annex (also known as the Old Safeway) at 123 Grant Ave., which is slated for demolition for the new Georgia O’Keeffe Museum building. Sheridan Street is also abutted by the parking area of the A.M. Berger House, Georgia O’Keeffe Museum Offices, and the Manitou Gallery. Several buildings back up to Sheridan Street, which includes the Museum of New Mexico (significant status).

The transit center is an essential node for locals and tourists travelling to and from the plaza, functioning as a drop-off point for individuals that ride the Rail Runner and take the Santa Fe Pick-Up. The applicant wishes to upgrade the appearance, usability, and accessibility of the transit center, which was the reason for applying for the Federal Highway Administration (FHWA) grant.

The improvements will include the following items:

- 1) Realign the bus lanes and repave Sheridan Street
- 2) Widen sidewalk areas from 7 feet at its current widest to 20 feet at its proposed widest width, pave sidewalks with brick, and construct new curbs.
- 3) Install trees and tree wells with steel grates within sidewalk area
- 4) Construct four Territorial Style bus shelters out of galvanized tube steel:
 - a. The finish will be ‘Charcoal Grey Metallic’ with aluminum decorative panels that will be powder coated ‘Light Grey’;
 - b. Bench seats will be thermoplastic ‘black’;
 - c. The roof will be a matte finished, galvanized sheet metal.
- 5) Add lighting: lampposts will be ‘green.’
- 6) Remove existing electronic informational kiosk

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
5. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
6. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic, City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5169-HDRB

Address – 510 Apodaca Hill

Agent’s Name – Wyndham Carlisle

Owner/Applicant’s Name – Galen Briggs

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

On April 26, 2022, the HDRB downgraded the historic status of the existing structure on the property to ‘non-contributing’ in Case # 2022-5023-HDRB. During the same hearing, the Board approved the application to demolish the structure in Case # 2022-5024-HDRB. 510 Apodaca Hill sits back behind 507 Apodaca Hill, which fronts the street, and directly behind 508 Apodaca Hill. The structures at 507 and 508 Apodaca Hill obscure visibility to 510 Apodaca Hill.

The Applicant now proposes the following new construction of a single-family residence on the property:

- 1) Construct a one-story, 1,015 sq. ft. single-family residence to the maximum allowable height of 14’0”, with a 25 sq. ft. portal.
- 2) All windows and doors are to be double-pane, wood interior/aluminum clad with exterior finish to be Pella “Hartford Green.”
- 3) Exposed wood architectural elements are to be rough sawn pine with a clear sealant finish. Exposed viga ends are to be capped with metal flashing.
- 4) Stucco is to be cementitious El Rey ‘Adobe,’ sand finish.
- 5) All new roofing is to be flat roof behind stucco parapets and of torch-down modified bitumen material.
- 6) All new canales are to be traditional, metal-lined wood units, clear sealant finish.
- 7) Repair existing coyote fence as necessary and in kind.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements

and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2022-5232-HDRB

Address – 645 Webber Street

Agent’s Name – Annette Vigil

Owner/Applicant’s Name – The Open Circle

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

645 Webber Street is a non-contributing building to the Don Gaspar Area Historic District. Originally built in 1942, the building is described as Contemporary/Spanish-Pueblo Revival Style. A large addition was added in 1962. The subject of this application is the proposal to replace the existing sign with a new sign in the same place.

Erecting a new sign on their property reflecting their image and new name comes after a long visioning process involving members of the church community and the wider Santa Fe community. The Open Circle (formerly known as First Christian Church of Santa Fe) has stood in the Historic District for over eight decades. The applicant, The Open Circle, would like to feature their multi-color logo on the sign. The proposed sign is an open circular shape, with soft rainbow-hued rays radiating outward. The lower-case letters are simple and modern. The design evokes a sun and New Mexico sky. The sign has 11 colors. The applicant requests an exception to SFCC Section 14-8.10(B)(4) that limits signs in the historic districts to no more than three colors plus black and white, and at least one of the three colors must match a predominant color in the building.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff did not recommend a finding that all the exception criteria have been met, but the Board may find that all exception criteria has been met, upon further testimony. Otherwise, Staff recommends approval of the application, as it complies with SFCC Section 14-5.2(D), General Design Standards for all H Districts, and Section 14-5.2(H), Don Gaspar Area District Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Don Gaspar Area Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(H).
6. Under SFCC Section 14-5.2(C)(5)(b), the applicant requests an exception to SFCC Section 14-8.10(B)(4) placing restrictions on colors for signs in the Historic Districts. The Applicant proposed to replace an existing sign with a sign having more than three colors.
7. Staff determined that an exception to SFCC Section 14-8.10(B)(4) would be required for approval of the Application, and the Applicant requested an exception.
8. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b)(i-iii) have been met.
9. Pursuant to SFCC Section 14-5.2(C)(5)(b), the Board finds that:
 - a. To grant this exception would not damage the character of the district: The proposed new sign, measuring 44” by 60”, is similar in size to an existing sign at that location; is not disproportional to the large, institutional building there; will be set back 9 feet from the street, is unobtrusive, the colors are subtle, and it is harmonious with the streetscape;
 - b. The exception is required to prevent a hardship to the Applicant or an injury to the public welfare: The proposed sign is a visual representation of the Applicant’s religious and spiritual identity, and to restrict the Applicant from expressing its identity and mission of inclusivity through sign restrictions would create a hardship to the Applicant; the public welfare is served by revitalized signage that reflects this historic building’s new occupancy and ongoing use;
 - c. Granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts: The sign encourages the community’s involvement in a historic church that otherwise may dissolve and the building sold.
10. The Board finds the Applicant has conclusively demonstrated that all of the exception criteria have been met.
11. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(C)(5), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
12. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the exception requested in the Application.
3. The Board approves the proposed sign as presented in the Application, as recommended by Staff, with the following additional conditions:
 - The reclaimed wood providing the background for the circle and rainbow design shall be a single, natural color, and the Applicant may provide the revised design to the Historic Preservation Staff for approval.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5175-HDRB

Address – 1612 Cerro Gordo Road

Owner/Applicant's Name – Elizabeth Porter and Michael Munson

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

1612 Cerro Gordo is a vacant lot that slopes downward south from Cerro Gordo Road in the Downtown and Eastside Historic District. It is accessed from Cerro Gordo Road's south side, down a driveway into the northern portion of the site. A guesthouse approved by the board in 2021 is under construction.

The applicant proposed to construct a new 3,105-square-foot, single-family residence with a two-car garage. The proposed new residence is drawn in contemporary Santa Fe style. It is a stucco, mass-dominant structure with four, flat metal roof masses with parapets. The roof's highest point is 15'-2” where the maximum allowable height is 15'-11.”

1. It has three portals with rusted-patina-finished steel posts, and sloped, rusted corrugated overhangs.
2. Windows and doors will be wood, metal-clad true-divided-lite in Sierra Pacific Bronze trim. The window styles are casements and fixed pane; the doors are divided-lite wood swing. The south elevation features a horizontal row of square fixed windows above the south portal.
3. The front door will be Douglas fir and stained “Weathered Oak 270.”
4. Stucco will be cementitious El Rey's “La Luz”.
5. Canales will be plate-steel with rusted-patina finish.
6. It will have four curb-mounted skylights.

Due to its setback, the house is not visible from Cerro Gordo Road.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements

and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant proposes to construct a new, 3,105-square-foot building.
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the project as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-5184-HDRB

Address – 516 Camino Rancheros

Agent’s Name – Lorn Tryk

Owner/Applicant’s Name – Terry and Frances Caviness

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

516 Camino Rancheros is a two-story, single-family residence built in the late 1980s to early 1990s. It listed as non-contributing to the Downtown and Eastside Historic District. It has an attached guest house and detached garage. The stucco structure is a rambling, U-shape with flat roofs. Portions are one-story and others are two. Stepbacks, portals, protruding vigas, divided-lite windows and doors with exposed lintels and are common throughout.

In 2006, a 5’4” coyote fence, pedestrian gate and vehicular gate were approved by the HDRB in case H-06-132. In 2011, HDRB approved the replacement of the coyote fence with a stucco yardwall with a height of 6’0” in case H-11-069.

The applicant now proposes the following exterior alterations:

- 1) Add 156 square feet of heated space to the north façade of the interior courtyard and match the existing height of 12’.
- 2) Demolish the guest house portal.
- 3) Create an addition to infill the demolished portal, which will connect the guest house to the garage, and create a bathroom addition on the immediately adjacent east façade. This adds 316 square feet of heated space and matches the existing height of 12’.
- 4) Exterior finishes are proposed to match existing as follows:
 - a. Exterior stucco: STO ‘Suede.’
 - b. Exterior doors and windows: Windsor ‘Sage Brown.’
 - c. Exterior Wood Trim: To match doors and windows.
 - d. Exterior Sconces: Light Styles of Santa Fe Med Dome ‘Nambe.’
- 5) No other changes are proposed.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios, Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2022-5189-HDRB

Address – 330 Don Cubero

Agent’s Name – Estevan Trujillo

Owner/Applicant’s Name – Heidi Britt Mullican and John Mullican

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on May 24, 2022.

BACKGROUND

330 Don Cubero Place is a white stucco, simple Territorial Revival Style building designated contributing to the Don Gaspar Area Historic District. The house is set back 60’ from the street with a large lot enclosed by a white stucco yard wall with latillas on top. It has undergone alterations that include a large addition. The historic building inventory form includes the presence of a stucco yard wall. The subject of this case is the yard wall.

The Applicant requested to reconstruct portions of the white stucco yard wall including latillas, as it existed before an underground sewer project was undertaken and portions of the yard wall were removed. The original yard wall varied in height between 3’4” on the east side and 4’10” on the west side. The original yard was built along with the house in 1938. A row of 1’6” latillas attached to the top bring the yard wall to a height of approximately 6’. The latillas were added to the top sometime in the 1980s. The maximum allowable height for fences and yard walls in this streetscape is 4’6.” The applicant requests to repair and reconstruct the pre-existing yard wall to its previous height, 6’. The row of latillas attached to the top of the wall bring the wall into non-conformance with the code per SFCC Section 14-5.2(A)(6). The applicant requested an exception to Section 14-5.2(C)(5)(c) to exceed the maximum allowable height for fences and yard walls in the applicable streetscape.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff did not recommend a finding that all the exception criteria were met. If the Board found otherwise, the Staff would

- recommend approval of the application, as it complies with SFCC Sections 14-5.2(D), General Design Standards for all H Districts, and 14-5.2(H), Don Gaspar Area Historic District.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
 5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
 6. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
 7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
 8. Under SFCC Section 14-5.2(C)(5)(c), yard walls and fences may not exceed the average height of yard walls and fences in the applicable streetscape. The Applicant proposes to construct a yard wall to a height of 6'0", where the maximum allowable height in the applicable streetscape is 4'6".
 9. The yard wall in its existing and previous condition is non-conforming to Historic District standards, and repair or alteration of it is subject to the restrictions set forth in SFCC Section 14-5.2(A)(6).
 10. Staff determined that an exception to SFCC Section 14-5.2(C)(5)(c) would be required for approval of the Application, and the Applicant requested an exception.
 11. To obtain an exception, the Applicant was required to conclusively demonstrate that the six exception criteria set forth in SFCC Section 14-5.2(C)(5)(c) have been met.
 12. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agreed with Staff's finding that the Applicant has not conclusively demonstrated that all exception criteria have been met. Pursuant to SFCC Sections 14-5.2(C)(5)(c)(i-vi), the Board finds that:
 - a. Granting the exception would damage the character of the district because the increase in yard wall height exceeds the maximum allowable height of yard walls and fences in the applicable streetscape, and low yard walls and fences are more characteristic of the historic character of this district;
 - b. The Applicants have not conclusively demonstrated that the exception is necessary to prevent a hardship to the Applicants or an injury to the public welfare; the Applicants can continue to enjoy the use of their property with the existing yard wall height;
 - c. To grant the exception does nothing to ensure that residents can continue to reside within the Historic Districts, as the Applicant's existing yard wall is consistent with other yard walls and fences in the neighborhood, and there is no indication that this restriction on yard wall height prevents the area residents from using and enjoying their property; and
 - d. No special conditions or circumstances affect the land or structure involved that are not applicable to other lands or structures in the related streetscape.
 13. The Board finds that the Applicant has failed to demonstrate conclusively that all of the exception criteria have been met.

14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board denies the exception requested in the Application.
3. The Board denies approval of the proposal to raise the yard wall height as set forth in the Application.

IT IS SO ORDERED ON THIS 14th DAY of June, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

City of Santa Fe, New Mexico

memo

DATE: June 14, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005163-HDRB

Address: 824 Agua Fria Street
Historic Status: Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: N/A

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Window Assessment, Detail
Photos of windows, Color Samples and

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(I) Westside-Guadalupe Historic District.

BACKGROUND & SUMMARY:

824 Agua Fria Street is a single-family residence contributing to the Westside Guadalupe Historic District. It was constructed in a Spanish Pueblo Revival Style in the 1930s. It is single-story and maintains its original rectangular footprint with battered parapets concealing a low gabled roof.

On April 26, 2022, in case #2022-5114-HDRB, the Board designated as primary the north elevation, excluding the non-historic porch; and west elevation, including the northernmost section with the three window openings to the north of the existing wooden gate, but excluding the southernmost section, to the south of the existing wooden gate.

The north façade faces the street. It is symmetrical in form, with a centered entrance portal with corbels and square posts and flanking 3-over-1 double-hung historic windows with exposed wood lintels.

The east façade has one non-historic window in a changed opening and one historic wood window. The south façade has three openings, with all non-historic windows and doors.

The west façade has its original 3-over-1 windows in their openings, which are deeply recessed, as well as a canale integrated into the parapet.

Now, the applicant proposes the following exterior alterations:

- 1) Replace all of the windows and doors. A professional window and door assessment has been provided. It states that one of the windows is repairable. True divided light wood windows (Kolbe Heritage Series) are proposed as the in kind replacements. An exception to 14-5.2(D)(5)(a) is requested in order to replace 'historic windows shall be repaired or restored wherever possible.' The applicant's responses to the exception criteria state that the color of the windows will be matched, but the label on the Holiday Turquoise (SW 0075) color sample states it is for the 'proposed woodwork door/window color.'
- 2) Create two new openings for windows on the east elevation.
- 3) Add a portal to the south elevation. The portal will have 'holiday turquoise' (SW 0075) painted wood columns and a 'chestnut brown' steel Propanel roof. The woodwork on the front or north portal will also be painted 'holiday turquoise' (SW 0075).
- 4) Add a storage shed on the south elevation of the house.
- 5) Remove a section of the yardwall that obstructs the original curb cut parking entrance.
- 6) Build a new coyote fence on the west property line at a height of 6'-0". The fence will not extend into the front yard.
- 7) Raise an existing yard wall only in the area of the proposed portal.
- 8) Re-roof the entire structure.
- 9) Re-stucco in cementitious 'Adobe Brown.'

EXCEPTION CRITERIA AND RESPONSES:

Exception to 14-5.2(D)(5)(a): Staff request an exception to ‘historic windows shall be repaired or restored wherever possible.’

(i) *Do not damage the character of the district*

Applicant Response: The owner plans to replace the windows and match color and divided light pattern such that there will be no effective change in appearance thus not changing it’s character.

Staff Response: For each proposal for window replacement rather than repair, when it is possible, it degrades the integrity of the national register status for the historic district. Historic windows are one of the most character defining features on a house. The windows assessment states that one window is repairable. And this proposal states that the windows will be replaced in kind, but also shows a that they are to be painted turquoise, therefore staff does not agree that the exception criterion is met.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: Windows are in a deep state of disrepair and have been modified. Most do not even open. Rebuilding a large quantity of windows is very costly affair and does not guarantee the durability of along with providing safe egress in the case of a fire.

Staff Response: Repairing and restoring windows is part of living in a historic district with national register status in the oldest capital city in the country. Historic windows are proven to have longer lifespans than new windows. Therefore, staff does not agree that the exception criterion is met.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The only options in the case of this exception are to rebuild the windows. As stated above, this is a hardship as they would need to be replicated – the historic material is not salvageable anymore.

Staff Response: Staff does not agree that the exception criterion is met.

RELEVANT CODE CITATIONS:

Windows & Doors:

14-5.2(D)(5) Windows, Doors, and Other Architectural Features

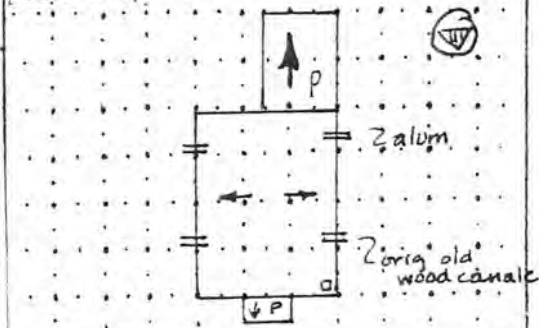
- (a) For all facades of significant and landmark structures and for the primary facades of contributing structures:
 - (i) Historic windows shall be repaired or restored wherever possible. Historic windows that cannot be repaired or restored shall be duplicated in the size, style, and material of the original. Thermal double pane glass may be used. No opening shall be widened or narrowed.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H213

| | | | |
|---------------------------------------|-----------------------------|-------------------------------------|------------------------------|
| building threatened? yes | surveyed date 8/85 by SL | county SANTA FE | ID no. 051613655 |
| field map SFHD * | number 655 | UTM reference easting zone 12 13 | northing |
| location description 824 Agua Fria | | city/town SANTA FE | land grant/reservation na |

| | |
|---------------------------|---------------------------------------------|
| building name | legal description tnsp N S range E W sec |
| film roll by SL no. 18 | negative nos. 31 |
| | loc. of neg. HPB |
| | plan shape |



date of construction
1930's, estimate _____ actual
source

use
present residential
other _____
historic residential
other _____

condition
_____ excellent good
_____ fair _____ deteriorating

degree of remodeling
_____ minor _____ moderate _____ major
describe:

surroundings
residential
relationship to surroundings
 similar _____ not similar

district potential
 yes _____ no

significance
_____ eligible of _____ none
if eligible, interest
why? contrib.

associated buildings? _____ yes
what type?

if inventoried, list ID nos.

see back? _____ yes

| | |
|-------|----------------------------------------|
| NM UV | CONSTRUCTION MATERIALS conc. |
| | wall material/surface adobe?/stucco |

architectural features
Low 'gable' concealed by flat battered parapet, canals on W & E provide drainage

• windows: 3/1 dbh single + tandem w/ expos'd wd lintels (brown wd. trim)

• doors: solid, solid w/ lrg. lit

comments



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | |
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| <p>To Be Completed By Applicant:</p> <p>Date Submitted: 1/55/2022</p> <p>Property Owner of Record: WEATHERFORD</p> <p>Applicant/Agent Name: MARC NAKTIN</p> <p>Contact Person Phone Number: (505) - 490 1863</p> <p>Zoning District: <u>DOWNTOWN AND EASTSIDE</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.</small></p> | <p>Site Address: 824 AGUA FRIA</p> <p>Proposed Construction Description: RENOVATION / ALTERATIONS / ADDITION</p> <p>TOTAL ROOF AREA: 1304 EXISTING + 97 S.F. ADDITION = 1401 TOTAL 3784 S.F. SITE</p> <p>Lot Coverage : <u>37</u> % (PROPOSED) <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: <u>7'-0"</u> Minimum: <u>7'-0"</u> 2nd Front? _____ Proposed Rear: <u>± 15'-0"</u> Minimum: <u>15'-0"</u> Proposed Sides: <u>L 5'-0" R 0'</u> Minimum: <u>5'-0"</u> <small>(EXISTING)</small></p> <p>Height: Proposed <u>±11'-4"</u> (existing not to change) Maximum Height: <u>NO CHANGE</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District <small>(EXCEPTION APPLIED FOR)</small></p> <p>Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u></p> <p>Bicycle Parking**: Proposed: <u>NA</u> Minimum: <u>NA</u> ** Commercial Requirement</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

MARC NAKTIN _____ [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE 1/25/2022

| | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|
| <p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Flood Plain Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u> / / </u> Notes: _____</p> <p>Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____ _____</p> <p>REVIEWER: <u>Lani J McCulley</u> _____ DATE: <u>01/28/2022</u></p> <p>Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.</p> | <p>2022-004801-PAR</p> |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------|

824 Agua Fria Proposed Renovations

The owners wish to renovate parts of their house at 824 Agua Fria. They have no intention of changing the original character of the house and most of the work is limited to the interior.

- 1.) Re-stucco – their desire is to re-stucco the whole house in the same stucco color that is currently on the house that is closest to “Adobe Brown”.
- 2.) They wish to remove a yard wall that blocks an original curb-cut parking entrance. The wall is not historic. A 1996 survey shows a U-shaped walled-in parking area. This U-This survey proves that the current wall was built 1996 or later and is not historic material. The original plat shows a larger U-shaped wall that must have been demolished prior to 1996.
- 3.) Re-roof
- 4.) Replace windows and doors. A professional window and door assessment was completed and is attached to the application. It states that none of the windows are repairable and replacement is recommended. The owners propose to replace the windows with like windows.
- 5.) Introduce 2 new like windows on a non-primary elevation that is not publicly visible.
- 6.) Add a portal and storage shed/room on the south elevation (back yard) of the house.
- 7.) Introduce a coyote fence on the property line between them and the neighbors to the west. This will be down the middle of the double wide driveway.
- 8.) Raise an existing yard wall only in the area of the proposed new portal. This will step back down to the existing height once it clears the new portal roof.
- 9.) Replace two small makeshift concrete steps on each side of the entry portal with wider, safer concrete steps. Re-surface the entry portal floor with flagstone by removing older ceramic tile surface.
- 10.) Patching and painting of original trim wood and headers in turquoise.

SOME ITEMS WERE PREVIOUSLY ADMINISTRATIVELY APPROVED BUT THE SCOPE OF WORK HAS EXPANDED. SEE Case Number: 2020-002492—ADMIN IN THE SUBMITTAL PACKAGE

824 AGUA FRIA





824 AGUA FRIA



824 AGUA FRIA



PROPOSED NEW CONCRETE STEPS WIDTH OF PORTAL

824 AGUA FRIA



PROPOSED NEW CONCRETE STEPS WIDTH OF PORTAL -
REMOVE HODGE-PODGE ROCK PLANTER / MAILBOXES



PROPOSED NEW CONCRETE STEPS WIDTH OF PORTAL - REMOVE HODGE-PODGE ROCK PLANTER / MAILBOXES







BACK YARD AREA - PROPOSED PORTAL AND STORAGE ROOM/SHED



PROPOSED PORTAL AREA



PROPOSED PORTAL AREA



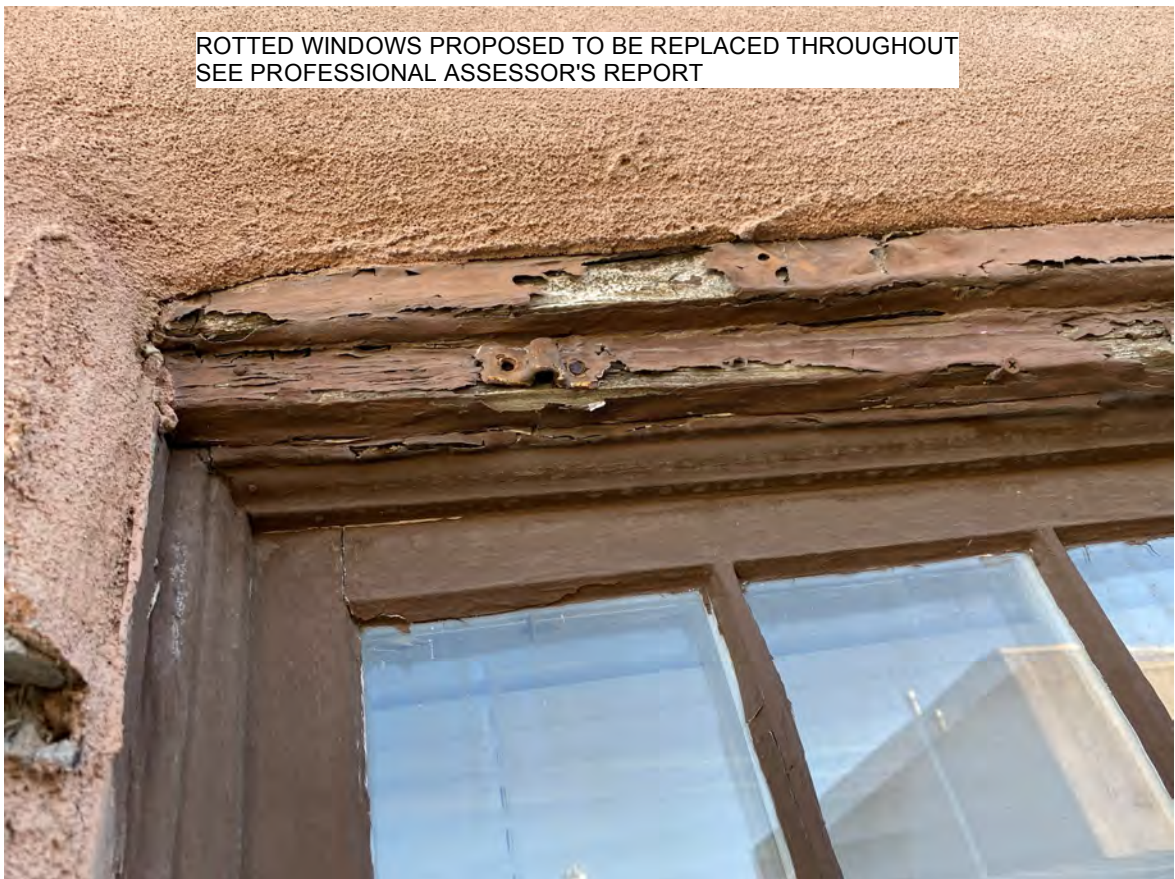
PROPOSED
STORAGE ROOM
ADDITION



SIDE YARD AREA - PROPOSED NEW WINDOW OPENING
AND ADJUSTED WINDOW OPENING



ROTTED WINDOWS PROPOSED TO BE REPLACED THROUGHOUT
SEE PROFESSIONAL ASSESSOR'S REPORT



HISTORIC ASSESSMENT

RPA & Associates

PRESERVING OUR HISTORY

1304 Central Ave SE, Albuquerque, NM 87102
 P.O. Box 10328 Albuquerque, NM 87184
 505-379-7900
 windowra@aol.com

NO. CWW11322
 JANUARY 13, 2022

TO CHRISTOPHER & WENDY WEATHERFORD
 824 AGUA FRIA
 SANTA FE, NM 87502
CW.WEATHERFORD@GMAIL.COM
 505-603-5567/505-603-0032

| JOB | DATE |
|----------------------------------|-----------|
| 824 AGUA FRIA SANTA FE, NM 87502 | 1-13-2022 |

| LOCATION | DESCRIPTION |
|------------------|--------------------------------------------------------------------------------------------------------------------------------------------------|
| WINDOW #1 | 28 X 52 DH 3W1H/1-LT |
| WINDOW #2 | 28 X 52 DH 3W1H/1-LT |
| WINDOW #3 | 28 X 46 DH 3W1H/1-LT |
| WINDOW #4 | 24 X 38 DH 3W1H/1-LT |
| WINDOW #5 | 24 X 38 - 2 TWIN DH 3W1H/1-LT |
| WINDOW #6 | 32 X 80 LH INSWING 1-LT/3-PANEL |
| WINDOW #7 | 32 X 80 LH INSWING 1-LT - IG |
| WINDOW #8 | 41 X 58 DH 3W1H/1-LT |
| WINDOW #9 | 28 X 46 DH 3W1H/1-LT |
| WINDOW #10 | 27 X 35 FXD 2W2H |
| | |
| NORTHSIDE | |
| | WINDOWS 1 & 2 - INSULATED GLASS HAS BEEN ADDED TO INTERIOR SIDE OF THE STRUCTURE, THAT HAS COMPROMISED THE TDL BAR AND THE LOWER SASH |
| | |
| WESTSIDE | |
| | WINDOWS 3 & 4 - ASSESSMENT IS THE SAME AS WINDOWS 1 & 2 |
| | WINDOW 5 -THIS WINDOW DOES NOT HAVE INSULATED GLASS ADDED AND IS NOT ROTTED BEYOND THE 30 - 40%, THEREFORE WINDOW 5 IS RESTORABLE |
| | |
| | |
| | |

| JOB | | DATE |
|----------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|-----------|
| 824 AGUA FRIA SANTA FE, NM 87502 | | 1-13-2022 |
| LOCATION | DESCRIPTION | |
| | CONTINUED | |
| SOUTHSIDE | | |
| | DOOR #6 - DOOR IS NON-HISTORIC, FROM THE 1980'S, LIKE A PRE-MADE SIMPSON DOOR | |
| | DOOR #7 - DOOR IS NON-HISTORIC, FROM THE 1980'S, WITH INSULATED GLASS NOT FROM ORIGINAL HOUSE | |
| | WINDOW #8 - NON-HISTORIC, ALL VINYL PAINTED WINDOW | |
| | WINDOW #9 - ASSESSEMENT IS THE SAME AS WINDOW 1 & 2 | |
| | WINDOW #10 - FIXED WINDOW PLACED INTO A WOOD DOOR JAMB (FRAMED AND TRIMMED) NON-HISTORIC (A BARN SASH) NOT THE SIZE OF EXISTING OPENING | |
| | | |

In my professional opinion, the best option is to allow for replacement of all windows and doors due to the substantial amount of damage to windows #1, #2, #3, #4, and #9. Doors #6, #7, and window #8 are non-historic. Window #10 is fixed, non-historic. Window #5 is historic and could be saved and restored. All other windows to be replaced in like and kind of that era with wood screens.

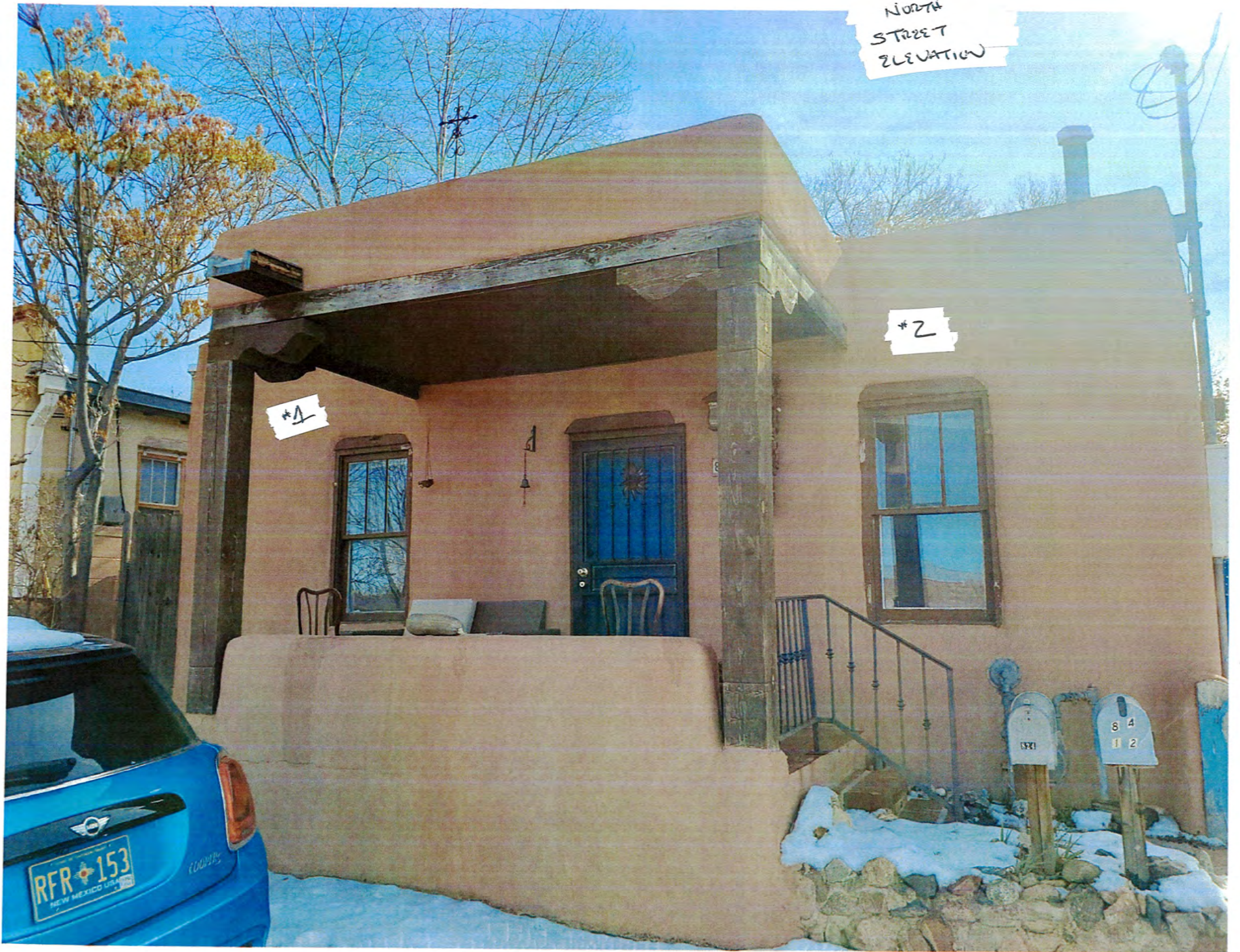
Please let me know if you have any questions. Thank you.

Assessment prepared by: *Ra N. Patterson*

NORTH
STREET
ELEVATION

*A

*2

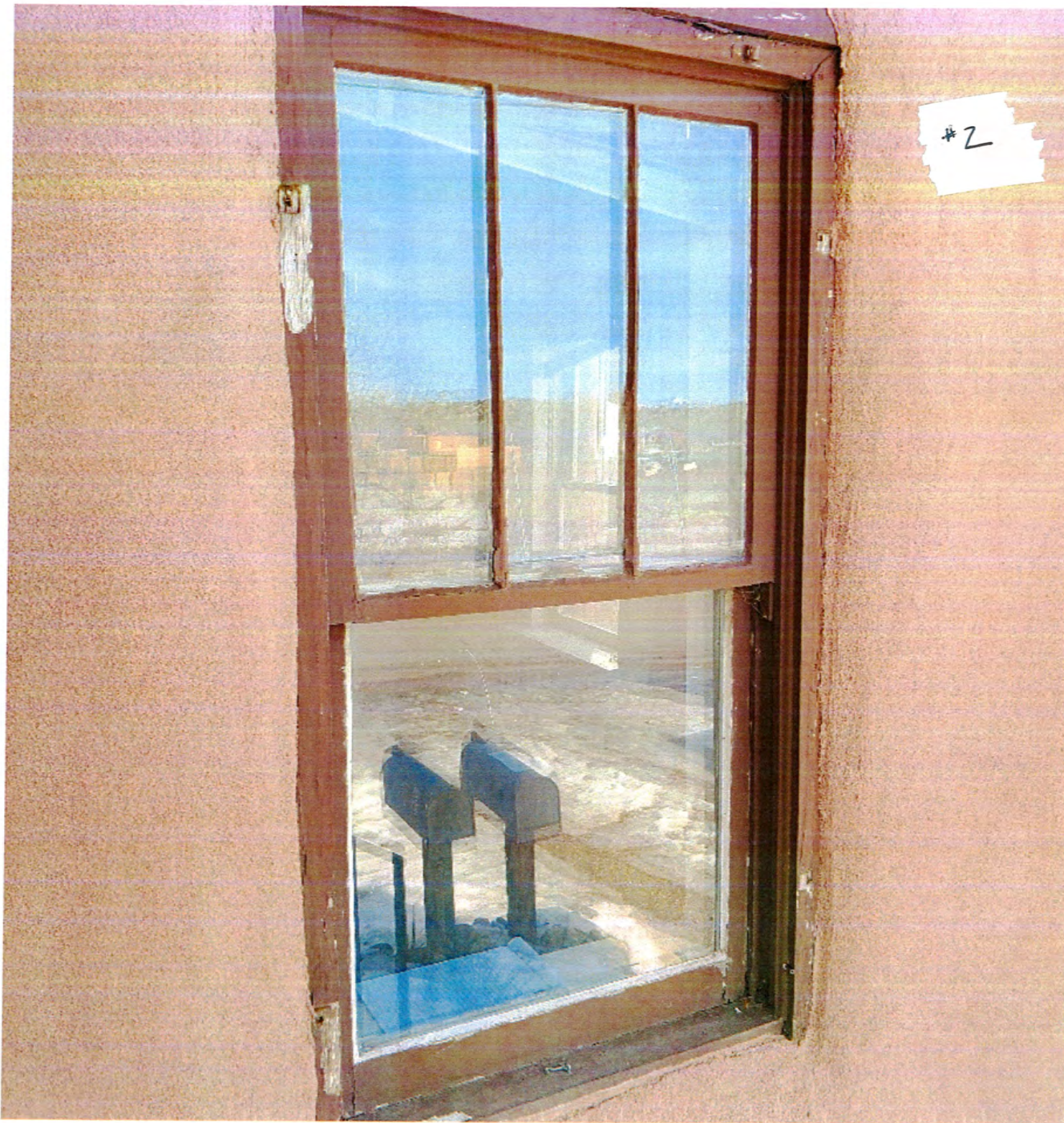


RFR 153
NEW MEXICO

1381

64
12







WEST
ELEVATION

#3

#4

#5

THULE Top







#5



SOUTH
ELEVATION

#6
Door

#7
Door

#8

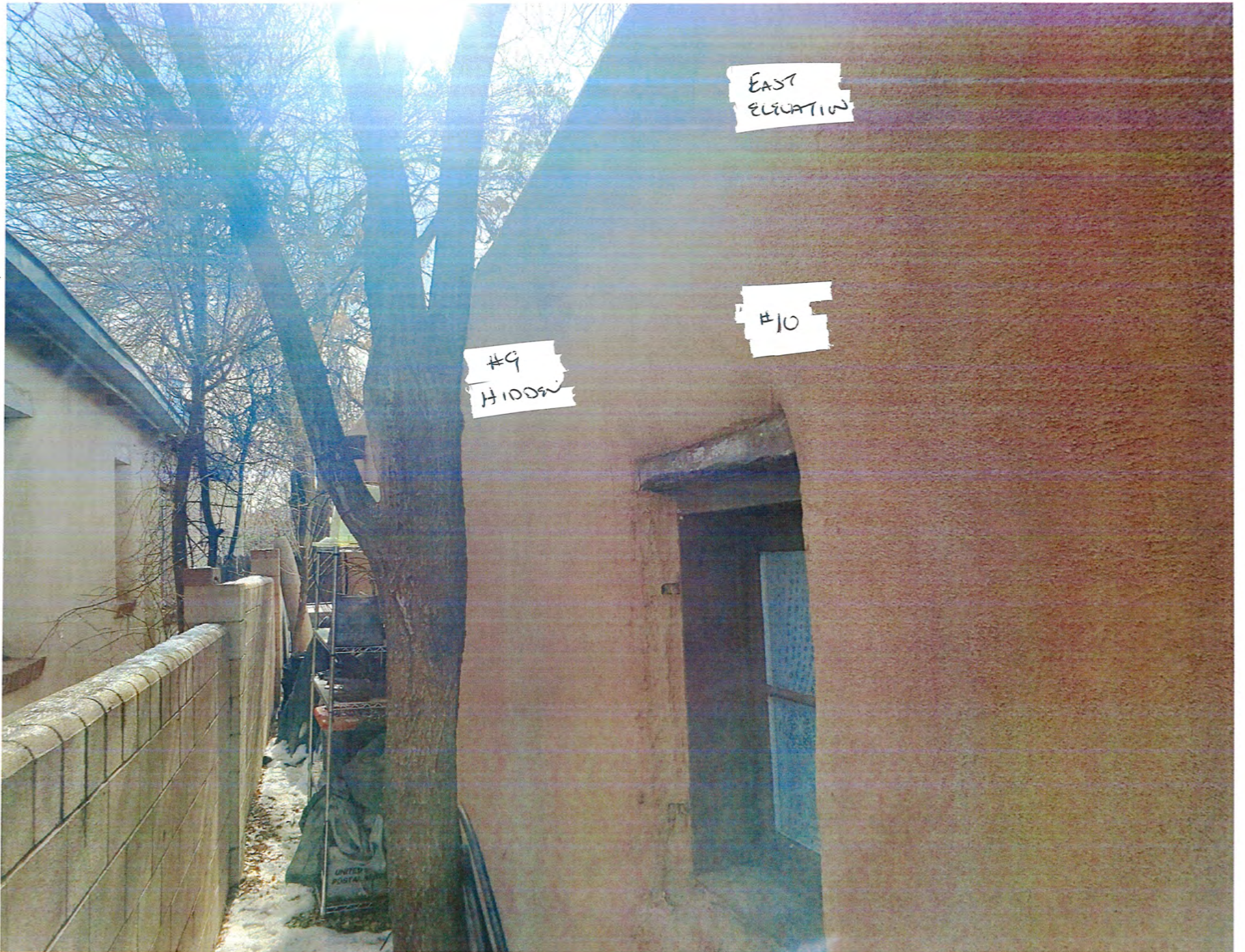


#6
Door



#7
Door





EAST
ELEVATION

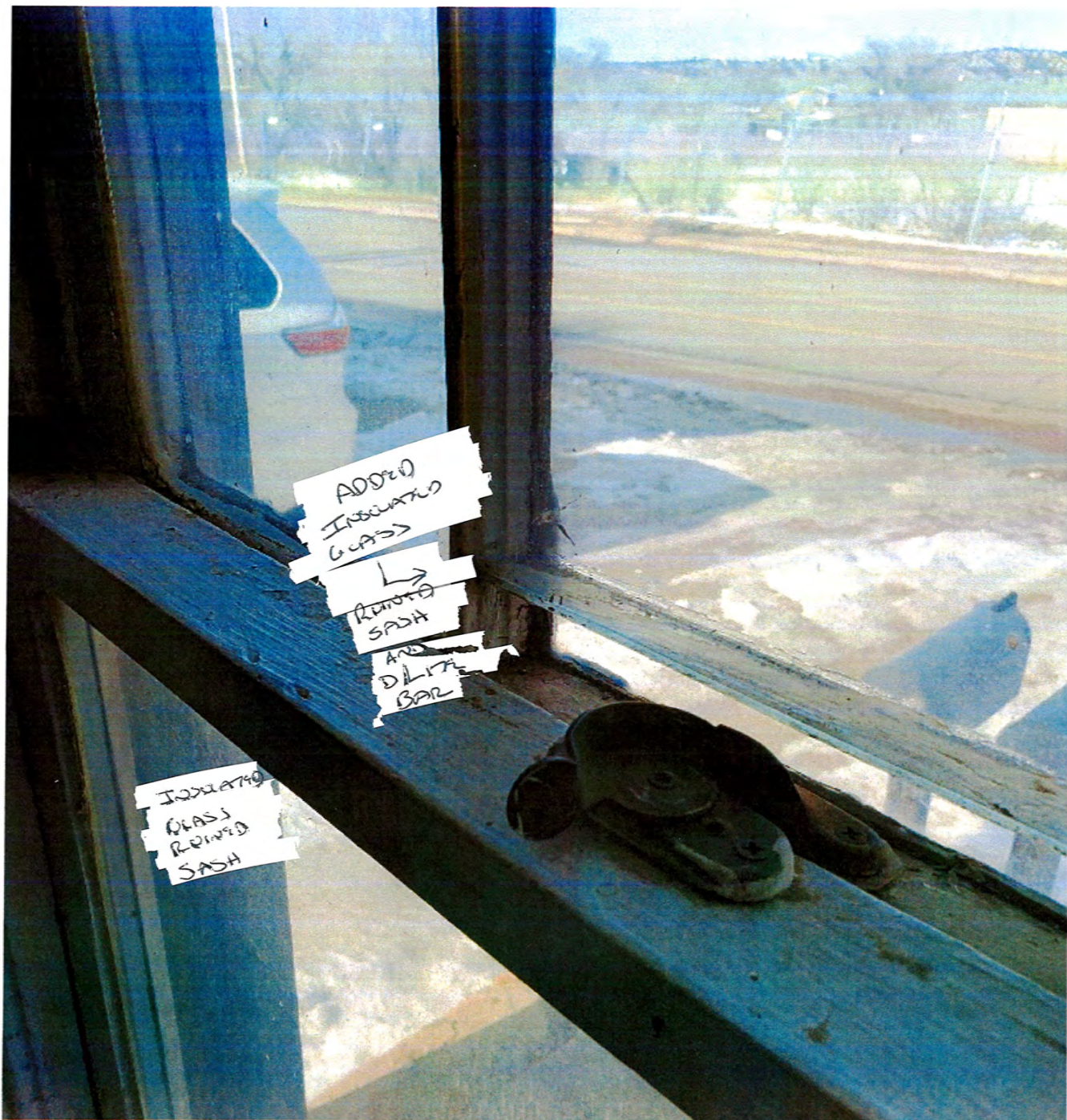
#10

#9
HIDDEN





10



ADDED
INSULATED
GLASS

↳
REMOVED
SASH

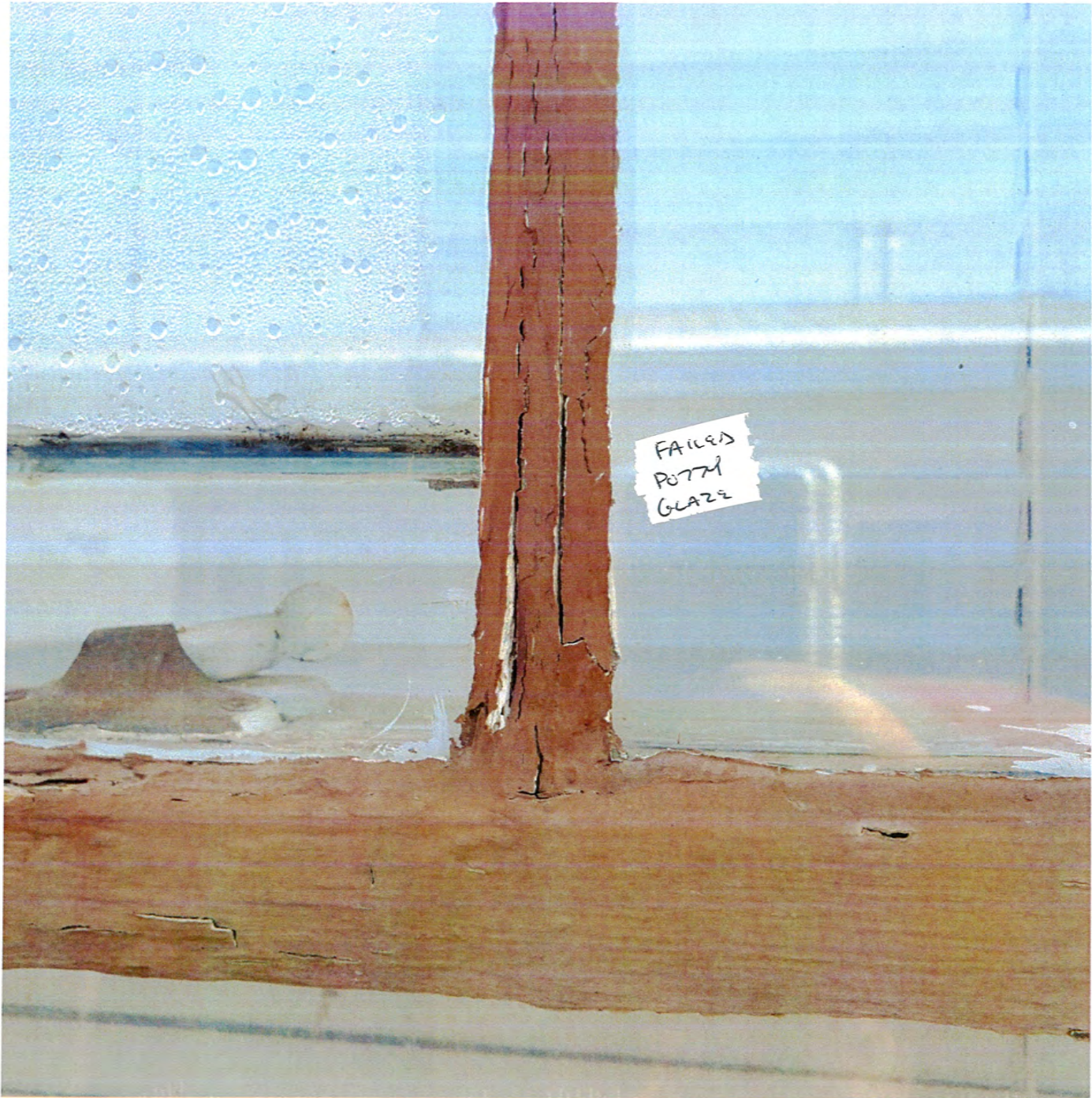
AND
DILTA
BAR

INSULATED
GLASS
REMOVED
SASH

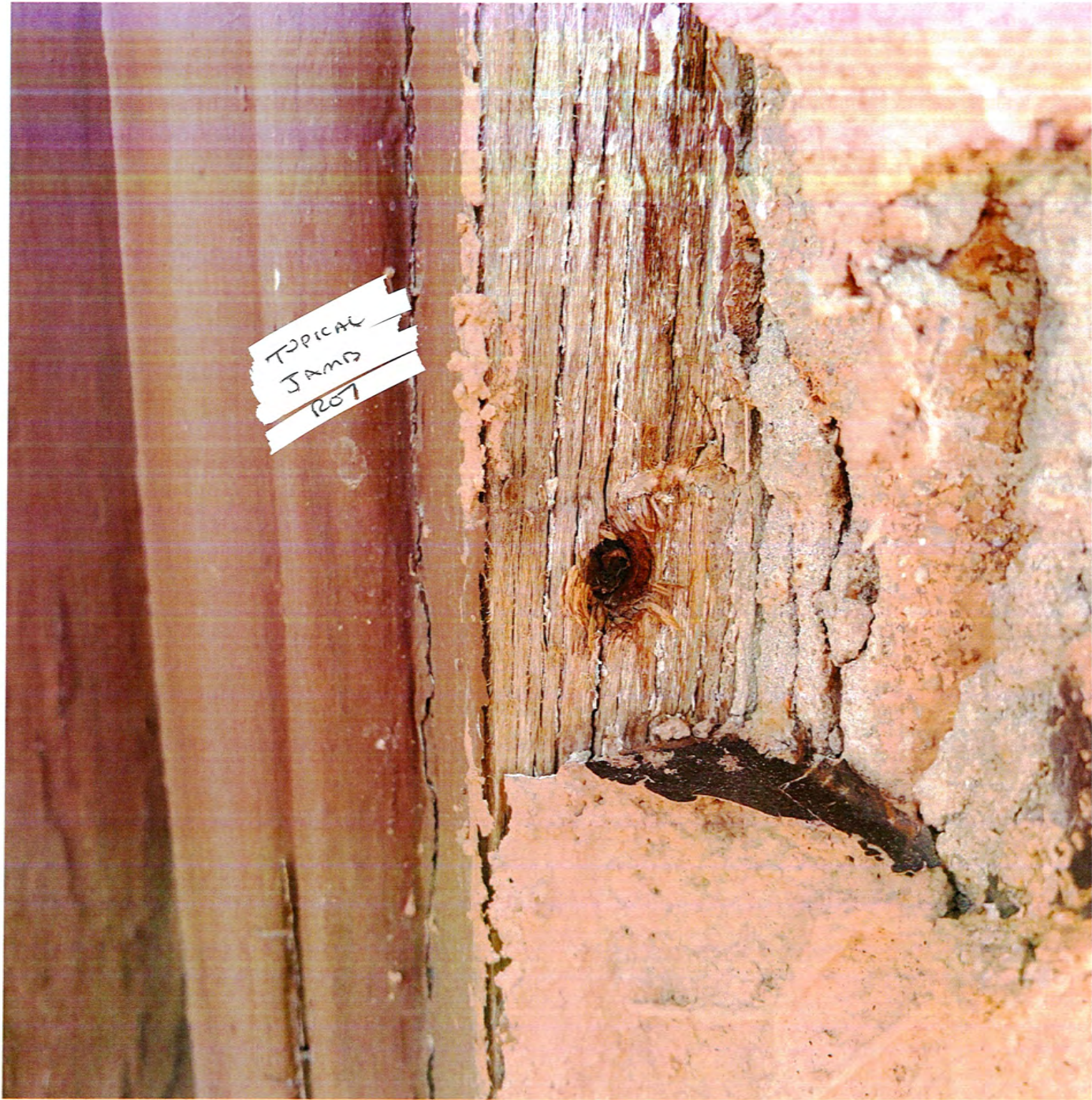




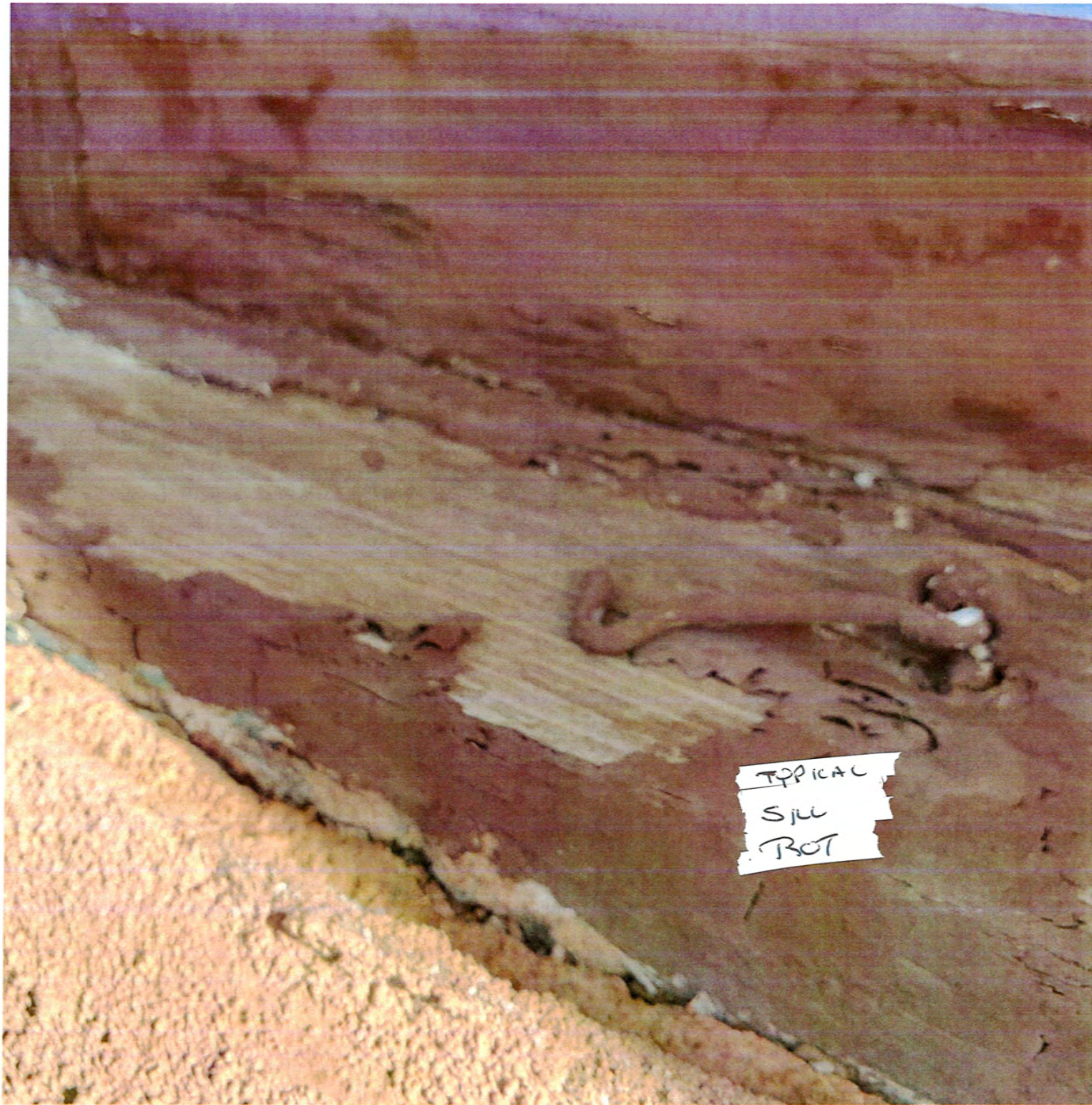




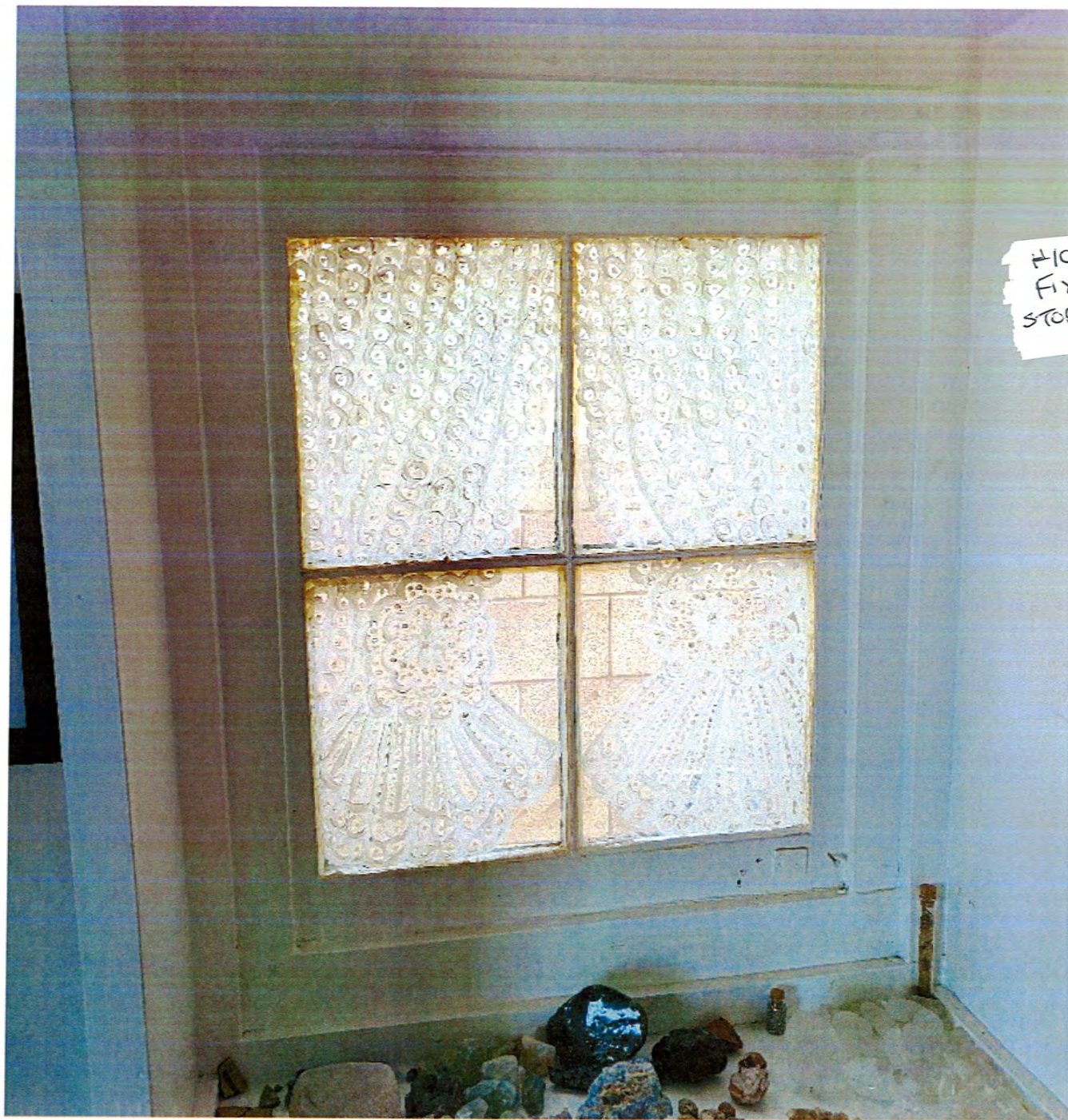
FAILED
POTM
GLAZZ



TYPICAL
JAMS
R07



TYPICAL
SILTY
PART



#10
FIXED SASH
STOPPED IN

| REVISION | DATE |
|----------|------|
| | |
| | |
| | |
| | |
| | |
| | |
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| | |

WEATHERFORD RENOVATIONS / PORTAL
 824 AGUA FRIA
 SANTA FE, NM

HISTORIC
 SUBMITTAL
 CS

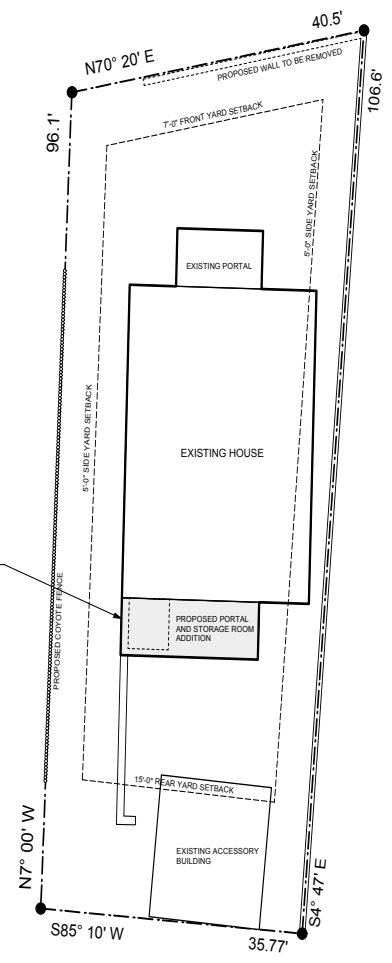
EXISTING HOUSE HEATED: 972 S.F.
 EXISTING HOUSE PORTAL: 80 S.F.
 EXISTING HOUSE ROOFED: 1052

EXISTING ACCESSORY STRUCTURE: 252 S.F.
 EXISTING ACCESSORY STRUCTURE ROOFED: 252 S.F.

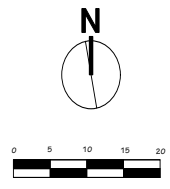
PROPOSED HOUSE HEATED: 972 S.F.
 PROPOSED HOUSE PORTAL: 80 S.F. + 67 S.F. = 147 S.F.
 PROPOSED STORAGE ADDITION: 30 S.F.
 PROPOSED HOUSE ROOFED: 1149 S.F.

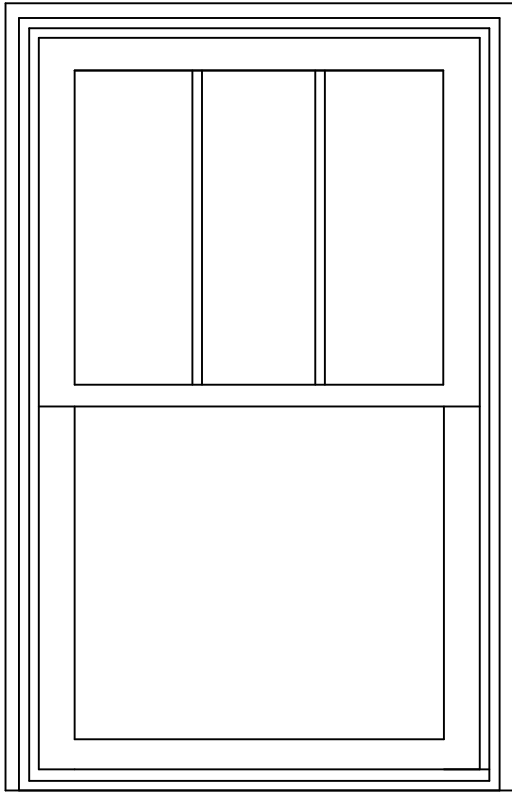
LOT SIZE: 3784 S.F.
 EXISTING LOT COVERAGE: 1304 S.F. @ 34%
 PROPOSED LOT COVERAGE: 1401 S.F. @ 37%

SIDE OF NEW ADDITION
 TO APPEAR AS PART OF
 WALL



SITE PLAN
 1/8" = 1'-0"



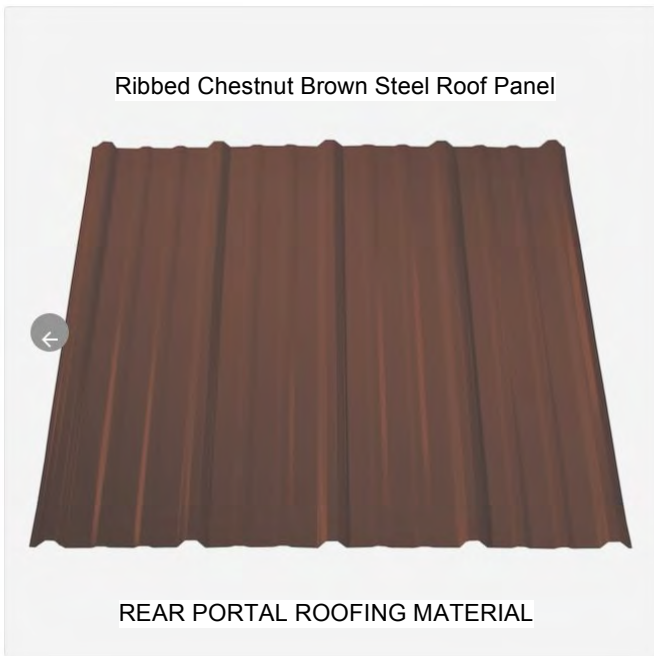


TRUE DIVIDED LIGHT WINDOW PATTERN
BY KOLBE WINDOWS.



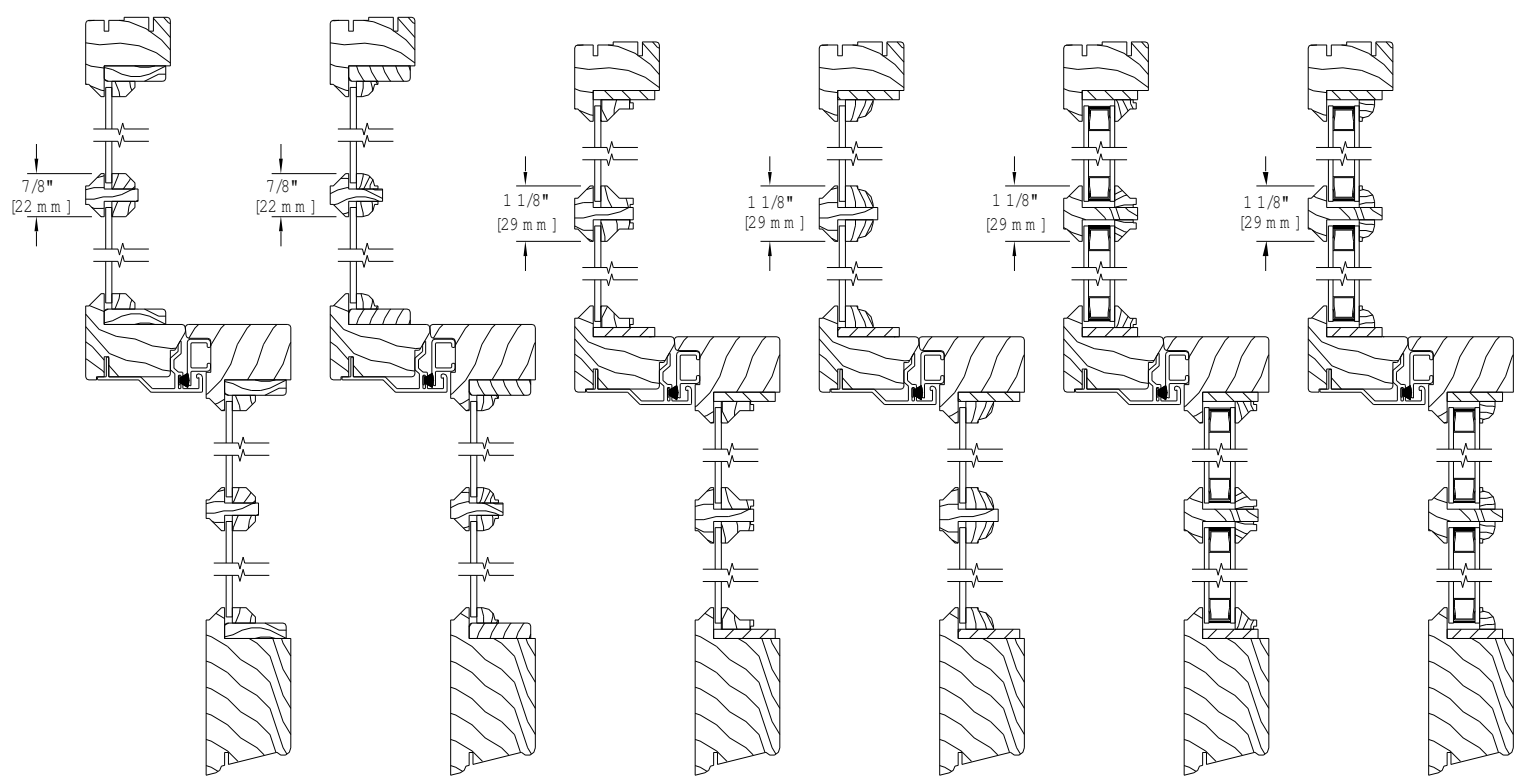
Holiday Turquoise SW 0075 -

PROPOSED WOODWORK
DOOR/WINDOW COLOR



Ribbed Chestnut Brown Steel Roof Panel

REAR PORTAL ROOFING MATERIAL



7/8" BEVELED TDL

7/8" SINGLE
PANE GLASS

7/8" OVOLO TDL

7/8" SINGLE
PANE GLASS

1 1/8" BEVELED TDL

7/8" SINGLE
PANE GLASS

1 1/8" OVOLO TDL

7/8" SINGLE
PANE GLASS

1 1/8" BEVELED TDL

DOUBLE PANE GLASS

1 1/8" OVOLO TDL

DOUBLE PANE GLASS

City of Santa Fe, New Mexico

memo

DATE: June 14, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005167-HDRB

Address: 428 Camino del Monte Sol
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be downgraded from contributing to non-contributing, per 14-5.2(C) Designation of Significant and Contributing Structures.


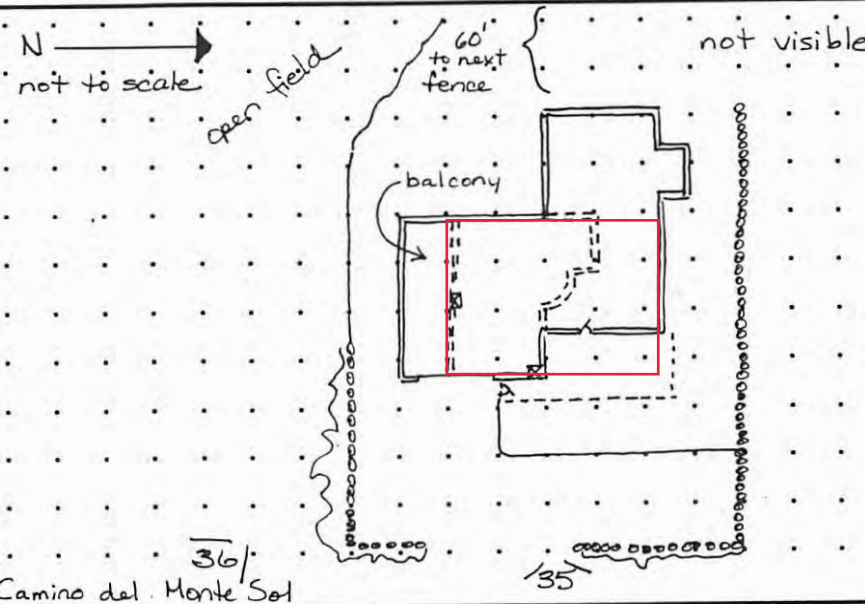
BACKGROUND & SUMMARY:

428 Camino del Monte Sol is a single-family, one- and two-story residence listed as contributing to the Downtown and Eastside Historic District. The house is a modified L-shape in plan. The house was built in 1938 in the Spanish Pueblo Revival Style. It was built as a one-story residence with a rectangular footprint and inset portal, carved corbels and protruding vigas. Currently, it is a mixture of Spanish Pueblo Revival Style and a more contemporary style indicative of the late 1980s and early 1990s. A stucco yardwall was added before 1983.

Between 1984 and 1991, an addition was created that included a second story which extended the house to the south and created a westward portion of the house making it into a L-shape. The addition constitutes a greater than 60% increase to the square footage of the historic footprint. The addition includes a rounded façade on the second story, visible from the street, which is not characteristic of the Spanish Pueblo Revival Style. Sometime during that period between 1984 and 1991, the front/east inset portal was enclosed, and another portal was added to the east façade in the Spanish Pueblo Revival Style. The triple window on the east façade is historic but has been relocated and no longer aligns visually with the double window on that façade which appears not to have been relocated. A small portion of the north façade appears to have one historic window with an original location, but the additions to the east and west ends of the north façade leave little to be recognized of the original north façade of the pre-1984 structure.

The applicant requested primary façade(s) designation if applicable. After reviewing the Historic Cultural Properties Inventory Forms (HCPI), staff finds that all facades have undergone moderate to extensive alterations and greater than 60% of the square footage of the historic structure was added during the 1980s. Very little historic integrity remains. Therefore, staff is recommending a status downgrade.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1991

| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| IDENTIFICATION | ADDRESS: 428 Camino del Monte Sol Camino del Monte Sol National Historic District | | ID NUMBER: 051600121 |
| | UTM REFERENCE EASTING NORTHING ZONE 12 13 | | BUILDING NAME: |
| BUILDING DATA | LEGAL DESCRIPTION: TNSP <u>17</u> N <u>3</u> RANGE <u>10</u> E <u>3</u> SEC <u>30</u> NW 1/4 SW 1/4 | |  |
| | FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85 | | |
| BUILDING DATA | DATE OF CONSTRUCTION: ESTIMATE <u>1938</u> ^{by} ACTUAL | | <p>#35 east elevation</p>  |
| | SOURCE(S) city directory | | |
| | ARCHITECTURAL STYLE: Spanish-Pueblo Revival | | |
| | USE: HISTORIC: <u>residential</u> OTHER _____ PRESENT: <u>residential</u> OTHER _____ | | |
| SIGNIFICANCE | SURROUNDINGS: residential | | <p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE <u>Contributing</u></p> <p>LOCAL DESIGNATION: <u>Core</u> HISTORIC DISTRICT <input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK <input type="checkbox"/> YES <input type="checkbox"/> NO</p> |
| | RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR | | |
| | ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO WHAT TYPE? IF INVENTORIED, LIST ID NUMBER(S) | | |
| DEGREE OF REMODELING: <input type="checkbox"/> MINOR <input type="checkbox"/> MODERATE <input checked="" type="checkbox"/> MAJOR | | | |
| EXPLAIN: <u>nd story added</u> | | | |
| OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED | | | |
| BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | | |

SURVEYED 8/91 BY DB

NEGATIVES WITH NMHPD ROLL # 11 NEG # 35 TO 36
ROLL 12 # 2

| FEATURE | MATERIALS/TYPE | CONDITION AND ALTERATIONS |
|----------------|-------------------------------------------------------|---------------------------|
| BUILDING WALLS | stucco | |
| FOUNDATIONS | not visible | |
| DOORS | wood panel garage - single door | |
| WINDOWS | 6x6 DHW, 9 & 8 light fixed or hopper | |
| PORTALES | 6x6 posts and beams, corbels, plank over beams | |
| CANALES | | |
| PORCHES | | |
| BALCONIES | over garage south- simple balustrade | |
| ROOFS | flat with plain parapet | |
| COURTYARDS | east enclosed by stucco wall | |
| FENCES/WALLS | stucco around courtyard, coyote fence along street | |
| ARCH. DETAILS | | |
| OTHER | rear (west) yard open to large open field | |

COMMENTS Second story added since 1983 survey -
City listing of Projects shows "new" in 1984

ADDITIONAL PHOTOGRAPHS

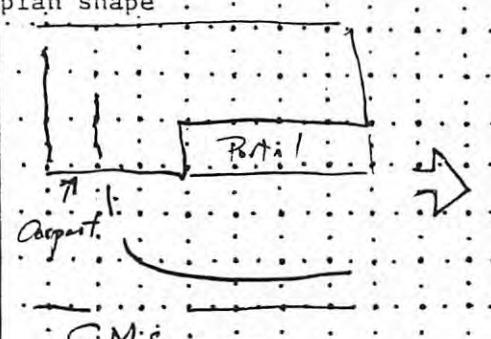
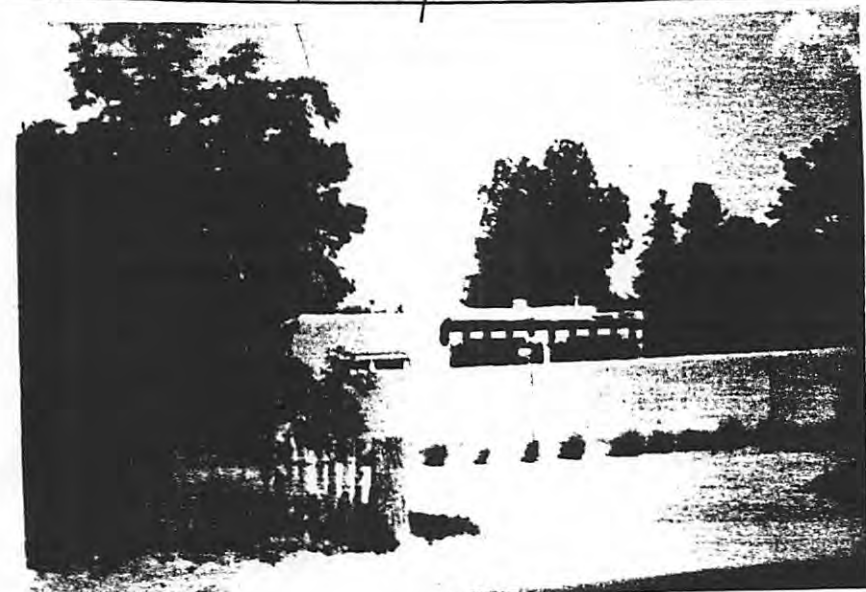


36 from southeast



2 from southwest

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

| | | | |
|-----------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| building threatened? yes | surveyed date 13-6-87 by <i>m</i> | county Santa Fe | ID no. 0516001210 |
| field map Santa Fe, New Mexico | number 1 | UTM reference easting zone 12 13 | northing |
| location description 428 Monte Sol | | city/town Santa Fe | land grant/reservation |
| building name | legal description tnsp 17 N 8 range 10 E sec 30 NW 1/4 SW 1/4 | | |
| film roll by <i>m</i> no. 7 | negative nos. 8 9 | loc. of neg. HPB | plan shape  |
|  | | date of construction Pre 1944 estimate _____ actual _____ source City Directory | |
| style Pueblo Revival | | foundation material Not Vis | use present residential other _____ historic residential other _____ |
| wall material/surface Stucco | | condition _ excellent <input checked="" type="checkbox"/> good _ fair _____ deteriorating | |
| architectural features Windows - wood dbl hung - lintels exp. on S - concealed N 1 Chimney (masonry) 3 metal vents | | degree of remodeling <input checked="" type="checkbox"/> minor _____ moderate _____ major _____ describe: | |
| comments wall hedge wire fence wood fence landscape street trees stone curb O set back → regular | | surroundings Residential | |
| streetscape | | relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar | |
| | | district potential _ yes <input checked="" type="checkbox"/> no | |
| | | significance _ eligible _____ of <input checked="" type="checkbox"/> none if eligible, interest | |
| | | why? | |
| | | associated buildings? _____ yes what type? | |
| | | if inventoried, list ID nos. | |
| | | see back? _____ yes | |

Case # H-89-325
428 Cm. del Monte Sol





Lightfoot Inc.
R.L. Scott Cherry (Agent)
2351 Fox Rd.
Santa Fe, NM 87507

Daniel Schwab
Senior Planner
Historic Preservation Division
Land Use Department
200 Lincoln Ave.
Santa Fe, NM 87501

Date: April 11, 2022

Re. 428 Camino Del Monte Sol, Santa Fe, NM. 87505-2804

To: Historic Preservation Planner

Owner is seeking Primary Façade designation and board approval to replace eight windows on the North, East and West facades on the lower level and 2 windows on the upper level of the south facade. In the Santa Fe Downtown & Eastside Historic District. Proposed Residence to be constructed per plan.

Thank you for your consideration.

R.L. Scott Cherry (Agent)



**428 Camino Del Monte Sol
East Façade**



428 Camino Del Monte Sol
North Façade



**428 Camino Del Monte Sol
Northwest Façade**



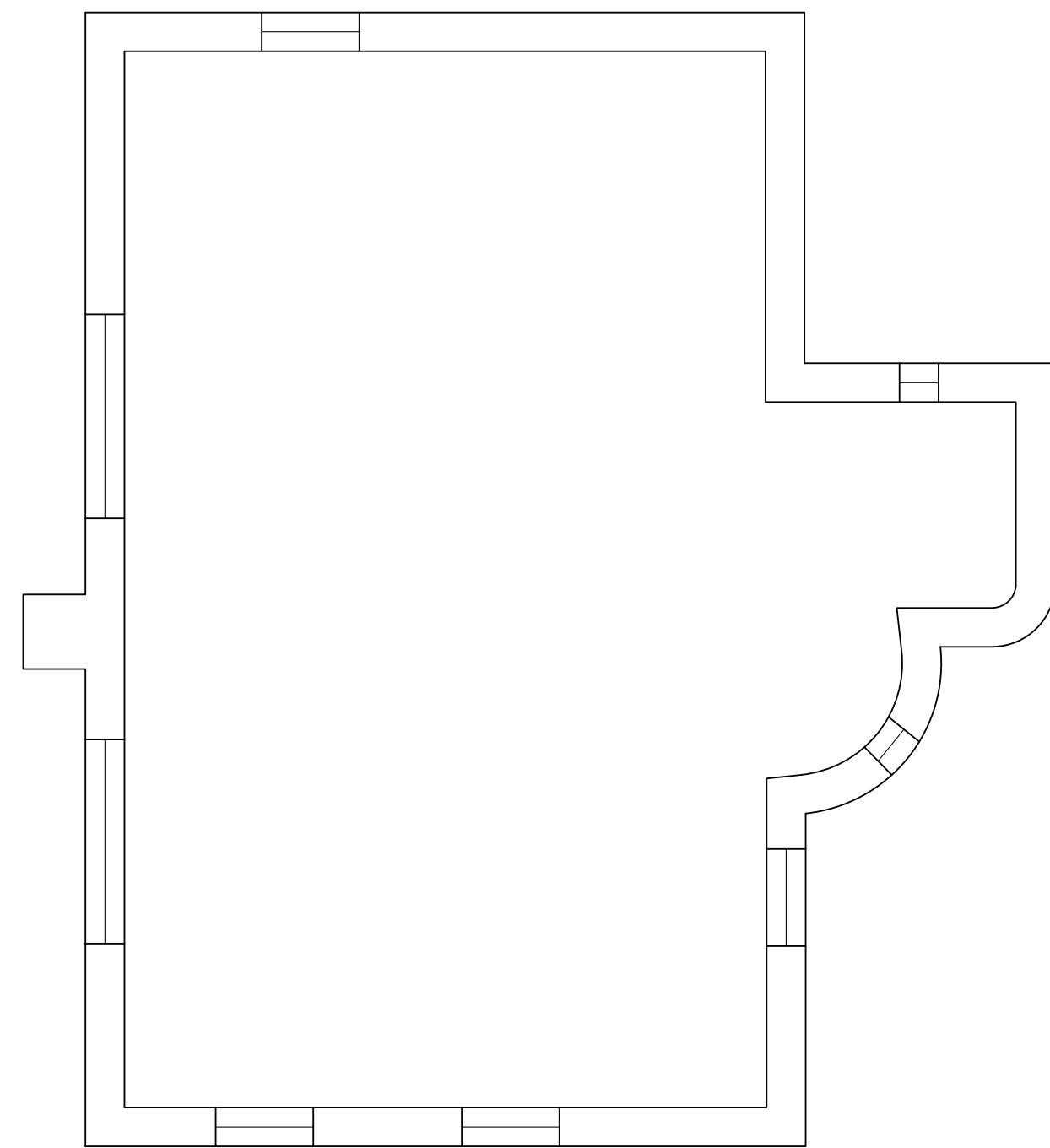
428 Camino Del Monte Sol
West Façade



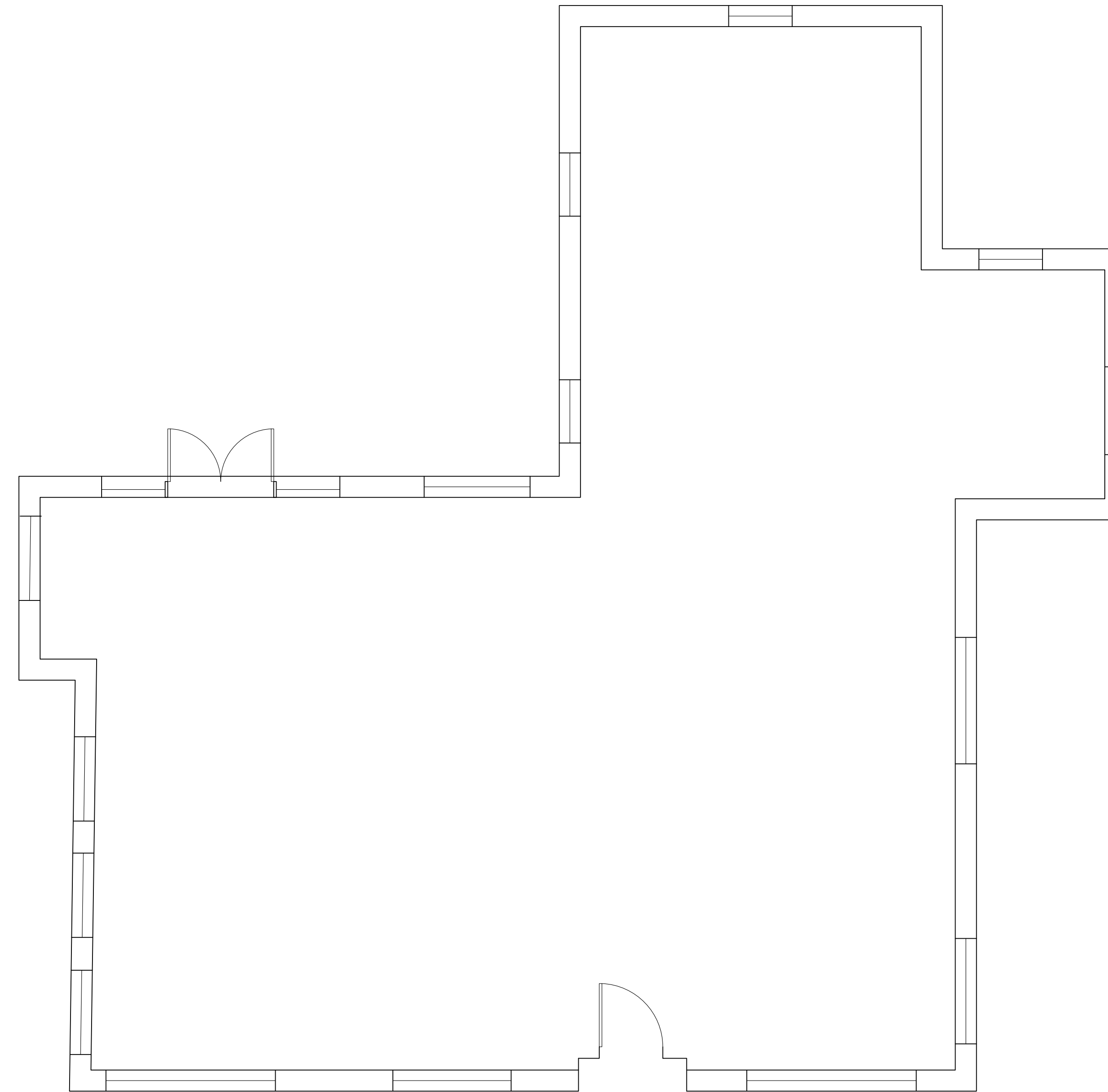
**428 Camino Del Monte Sol
Southwest Façade**



**428 Camino Del Monte Sol
South Façade**



2 SECOND FLOOR PLAN
A1 SCALE: 1/4"=1'-0" N



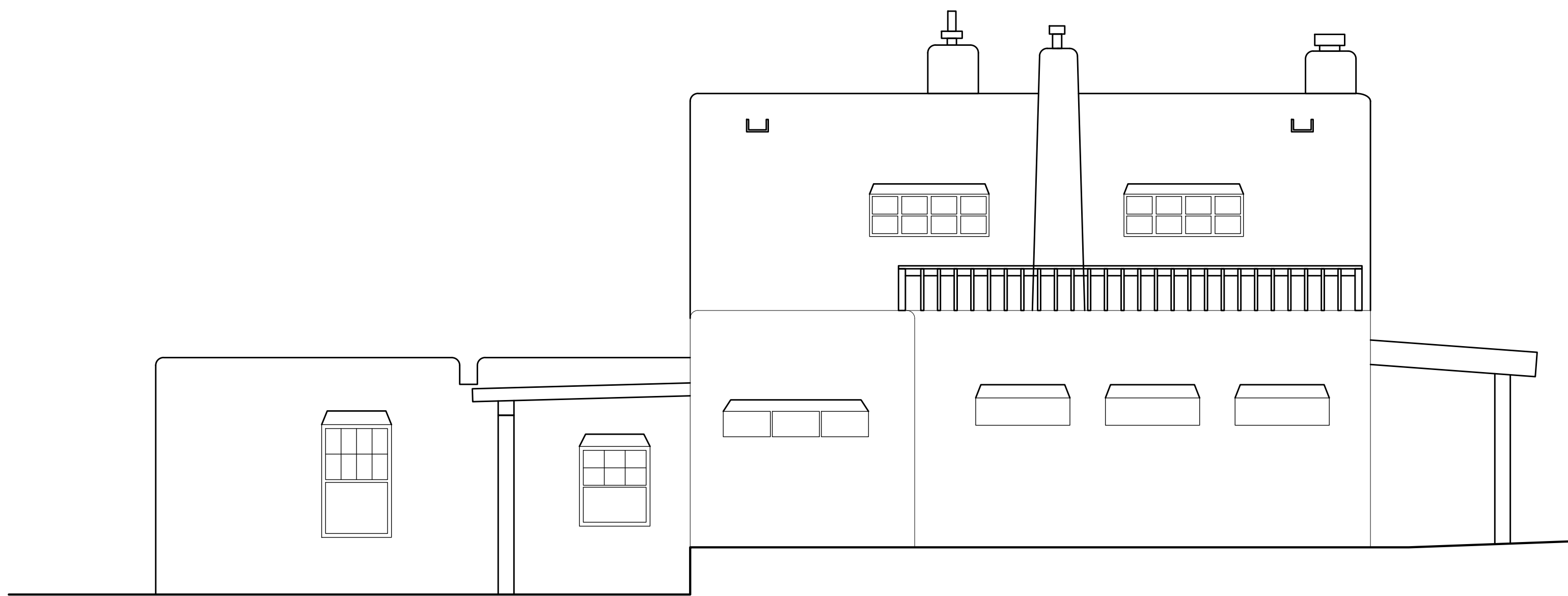
1 FIRST FLOOR PLAN
A1 SCALE: 1/4"=1'-0" N

| REV | DATE |
|-----|------|
| | |
| | |
| | |

February 24th, 2022

EXISTING
FLOOR PLANS

A1



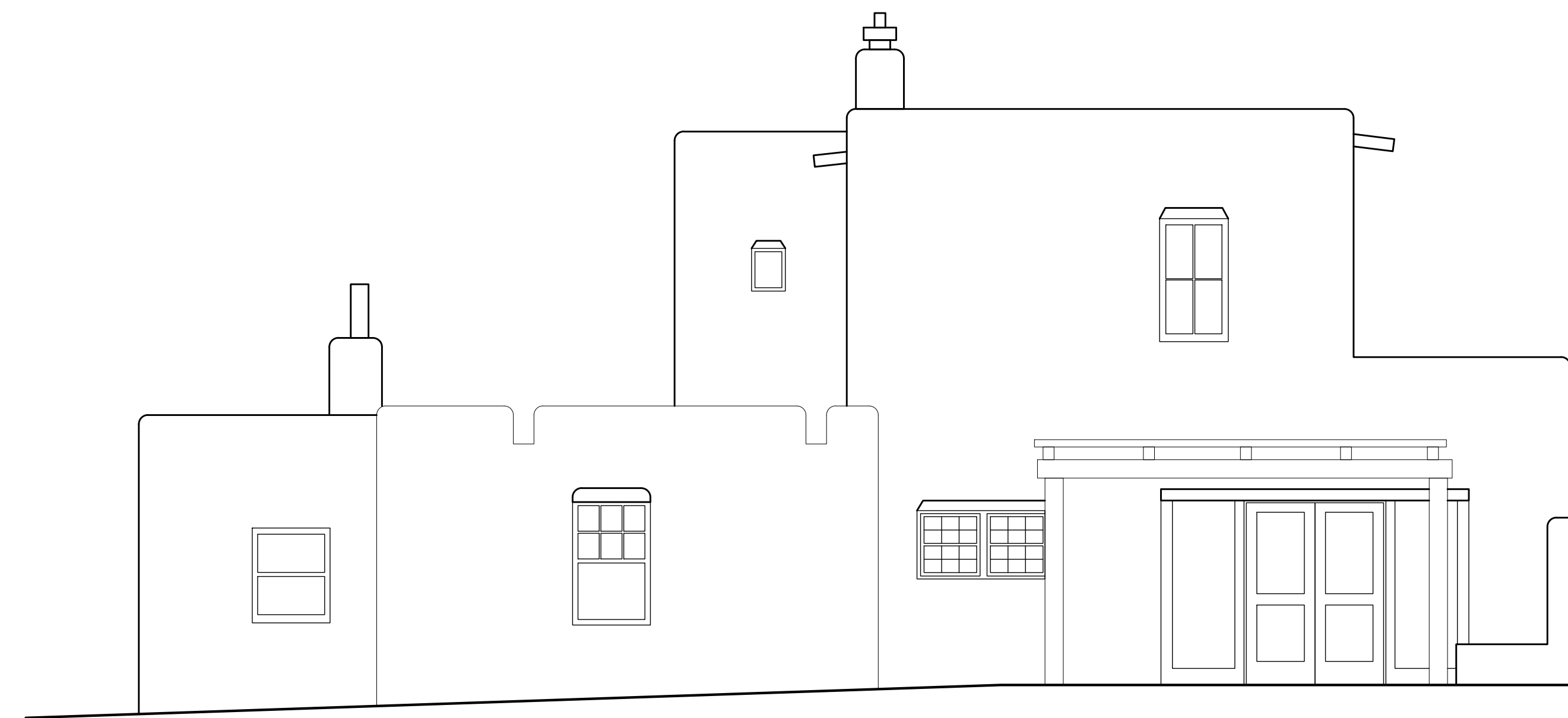
2 SOUTH ELEVATION
A2 SCALE: 1/4"=1'-0"



1 EAST ELEVATION
A2 SCALE: 1/4"=1'-0"



4 NORTH ELEVATION
A2 SCALE: 1/4"=1'-0"



3 WEST ELEVATION
A2 SCALE: 1/4"=1'-0"

| REV | DATE |
|-----|------|
| | |
| | |
| | |

February 24th, 2022

EXISTING
FLOOR PLANS

A1



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-005344--HDRB

Project Description: Steve McCormick, agent for Eva Schmatz, requests to construct 556 sf guesthouse at contributing building.

Project Location(s): 1331 CERRO GORDO RD
Santa Fe, NM 87501

Contacts:

Applicant: Steve McCormick
318 W Gomez

steve@mccormickarchitects.co

Property Owner: Eva Schmatz

evaschmatz@mac.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction: 1942

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: June 14, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-005344-HDRB

Address: 1331 Cerro Gordo Road
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Colors and Finishes

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

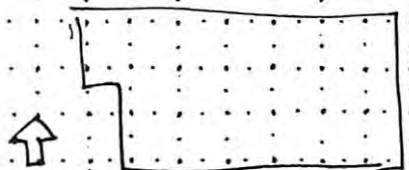


BACKGROUND & SUMMARY:

1331 Cerro Gordo is a 2,070 square foot Spanish Pueblo Revival Style residence built in 1942 listed as contributing to the Downtown and Eastside Historic District. It is wall-dominated with flat roofs and undulating parapets. Its west facade entry has a curving half yard wall. A second story was added sometime around 1984 that is stepped back from the front south and west-facing facades. 1995 alterations included replacing and adding wooden true divided lite windows to the west end of the south front elevation and adding a carport to the south elevation. A trellis shade structure and “faux” well were added in the 1980s to the southwest property corner. The property sits behind a 5’ to 6’ stucco yard wall with a vehicular-sized opening at the street.

The applicant proposes to construct a free-standing 556 square foot casita in the southwest corner of the property at least 20 feet from the main residence. Its style is similar to the main house, Spanish-Pueblo Revival Style wall-dominated with parapets. Its height, 14’-0”, is within the allowable height in this streetscape, 15’-0”. The casita’s pie-shaped footprint consists of a right angle with a curved northern wall (north elevation) that faces northeast toward the main residence; the other two walls form a right angle at the lot’s southwest corner. Its south elevation has a row of 5 small awning windows with frosted glass. Its north elevation has a large set of French doors. Proposed windows will match the wood divided lite windows at the residence. The large window on the east elevation is contained within a steel frame in order to place a flat window in a curved wall. Windows and doors will be Kolbe “Truffle.” The applicant proposes to add a wooden trellis stained black with dark bronze flashing to its west facade. Flashing at the south elevation drip edge will be dark bronze. Stucco will be El Rey’s “La Luz.”

The applicant proposes to remove the non-historic shade structure and “faux” well.

No changes are proposed to the main residence, carport or existing yard wall.

| | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| building threatened? yes | surveyed date 5-7-83 by <i>m_b</i> | county Santa Fe | ID no. 051600561 |
| field map Santa Fe, New Mexico | number 1 | UTM reference easting northing zone 12 13 | |
| location description 1331 Cerro Verde | | city/town Santa Fe | |
| building name | | legal description Tnsp 17 N R range 10 E sec 20 SW 1/2 SW 1/2 | |
| film roll by <i>m_b</i> no. 26 | negative nos. 3.4 | loc. of neg. (HPB) | plan shape  |
|  | | date of construction estimate 1949 actual source 1982 Directory <i>w/1987 upper label and other add time</i> | |
| | | use present residential other historic residential other | |
| style Pueblo Revival | | condition excellent <input checked="" type="checkbox"/> good fair <input type="checkbox"/> deteriorating | |
| architectural features Windows - 1 lite wood fixed transom Portal - post & beam, vigas randomly extended wall sculpted fr. right  2 metal flues | | degree of remodeling minor <input checked="" type="checkbox"/> moderate <input type="checkbox"/> major <input type="checkbox"/> describe: | |
| comments <i>wall untreated adobe, wocap or stucco</i> Entry - old cottonwood posts, sawn beam | | surroundings Res relationship to surroundings similar <input checked="" type="checkbox"/> not similar <input type="checkbox"/> district potential yes <input type="checkbox"/> no <input type="checkbox"/> significance eligible <input type="checkbox"/> of <input type="checkbox"/> none <input type="checkbox"/> if eligible interest | |
| Street scope hedge win/ence landscap street trees stone curb set back acacia | | why? associated buildings? <input type="checkbox"/> yes <input type="checkbox"/> what type? if inventoried, list ID nos. see back? <input type="checkbox"/> yes <input type="checkbox"/> | |



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| To Be Completed By Applicant: | Site Address: |
| Date Submitted: 4.6.22 | 1331 CERRO GORDO |
| Property Owner of Record: EVA SCHMATZ | Proposed Construction Description: |
| Applicant/Agent Name: STEVE MCCORMICK | NEW CASITA |
| Contact Person Phone Number: (505)699.6199 | TOTAL ROOF AREA: |
| Zoning District: <u>DOWNTOWN AND EAST SIDE R1</u> | Lot Coverage : <u>24 %</u> <input type="checkbox"/> Open Space Required: _____ |
| Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>DOWNTOWN/ EAST SIDE</u> | Setbacks: N/A ETR Proposed Front: <u>15'-3"</u> Minimum: <u>7'</u> 2 nd Front? _____ Proposed Rear: <u>66'-8"</u> Minimum: <u>15'</u> Proposed Sides: <u>L5'-0"R</u> Minimum: <u>5'</u> |
| Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations | Height: Proposed <u>13'</u> Maximum Height: <u>14'</u> ACCESSORY STRUCT. <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District |
| Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit | Parking Spaces: 3 REQUIRED, 3 PROVIDED Proposed <u>3</u> Accessible _____ Minimum: <u>3</u> |
| Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required | Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement |
| Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ | |
| Terrain: <input type="checkbox"/> 30% slopes <u>NONE</u> | |
| * Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division. | |

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

STEVE MCCORMICK

[OWNER APPLICANT AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

4.6.22

SIGNATURE

DATE

| | |
|-------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| To Be Completed By City Staff: | 2022-005151-PAR |
| Additional Agency Review if Applicable: | |
| <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ | |
| Notes: _____ | |
| Zoning Approval: | |
| <input type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input type="checkbox"/> Rejected | |
| Comments/Conditions: <u>Additional documentation is required to establish legal lot of record at permit.</u> | |
| REVIEWER: <u>Lani J McCulley</u> | DATE: <u>04/08/2022</u> |
| Original color form must be submitted with Historic Districts Review Board (HDRB) application packet. | |

MCCORMICK ARCHITECTS LLC
1611 PASEO DE PERALTA
SANTA FE, NM 87501
505.699.6199

May 17th, 2022

Historic Review Board
City of Santa Fe
200 Lincoln
Santa Fe, NM 87501

RE: 1331 Cerro Gordo

Dear Historic Review Board:

We are applying to build a 556 square foot casita at the above address. The use of the new space will be guest house/ studio. The casita will stand across the yard from the existing Pueblo Style house and carport which were substantially added onto in 1995. The construction will require demolition of the existing faux well and shade structure -both non historic.

The stucco of the proposed casita will be El Rey "La Luz". The proposed windows are Kolbe "Truffle" to match the existing windows. The large window on the East elevation is contained within a steel frame in order to place a flat window in a curved wall. The south elevation visible from Cerro Gordo contains 5 punched openings with frosted glass.

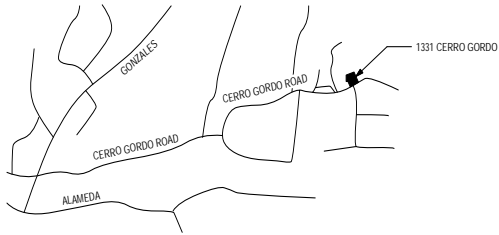
The proposed trellis contains wood -stained black with dark bronze flashing above. Flashing at the south elevation drip edge will also be dark bronze. The overall look of the casita will be Pueblo Style to harmonize with the house.

Thank you for your consideration,

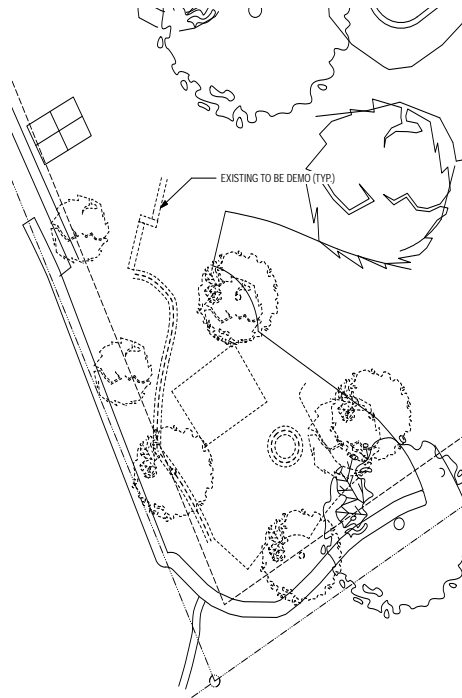


5.17.22

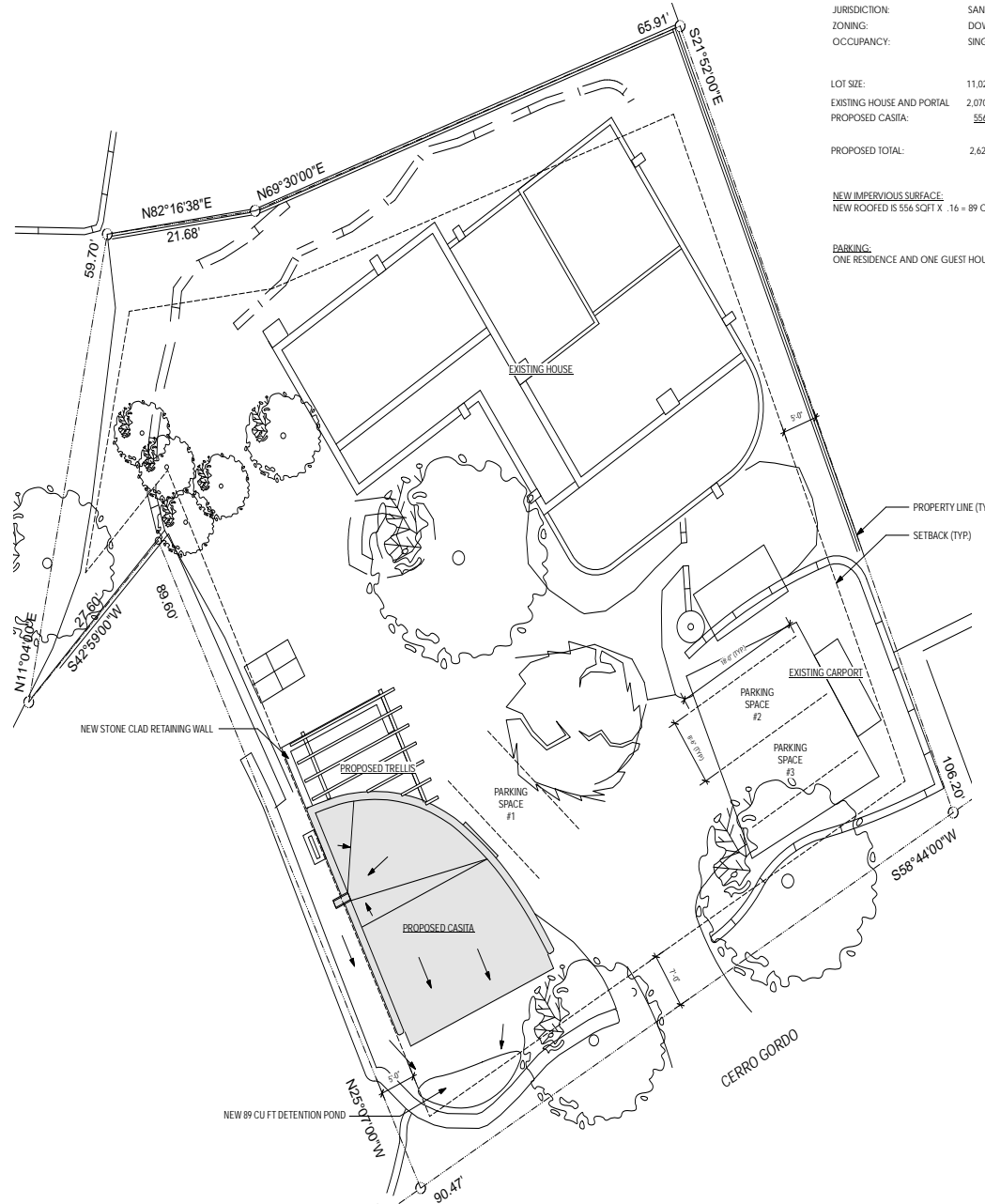
Steve McCormick date



1 VICINITY MAP
NO SCALE



2 EXISTING AND DEMO SITE PLAN
1/8" = 1'



3 PROPOSED SITE PLAN
1/8" = 1'

SCOPE OF WORK:

BUILD A NEW CASITA AND PORTAL NEXT TO EXISTING RESIDENCE

CODE DATA

BUILDING CODE: 2015 IBC
 JURISDICTION: SANTA FE CITY LAND DEVELOPMENT LAWS
 ZONING: DOWNTOWN AND EAST SIDE R1
 OCCUPANCY: SINGLE FAMILY RESIDENTIAL

LOT SIZE: 11,020.68 SQFT
 EXISTING HOUSE AND PORTAL: 2,070 SQFT
 PROPOSED CASITA: 556 SQFT

PROPOSED TOTAL: 2,626 SQFT 2,626 / 11,020 = 24% LOT COVERAGE

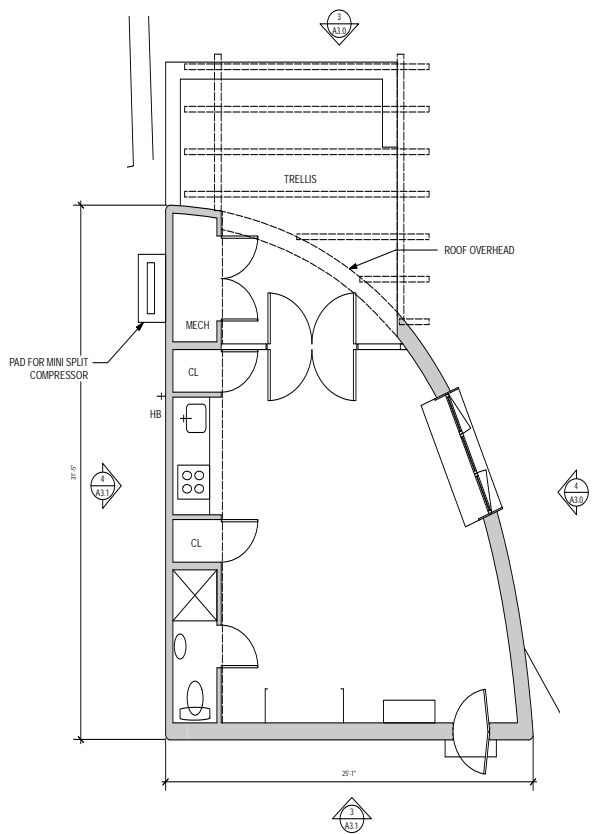
NEW IMPERVIOUS SURFACE:

NEW ROOFED IS 556 SQFT X .16 = 89 CUFT - SEE 2/A0.1

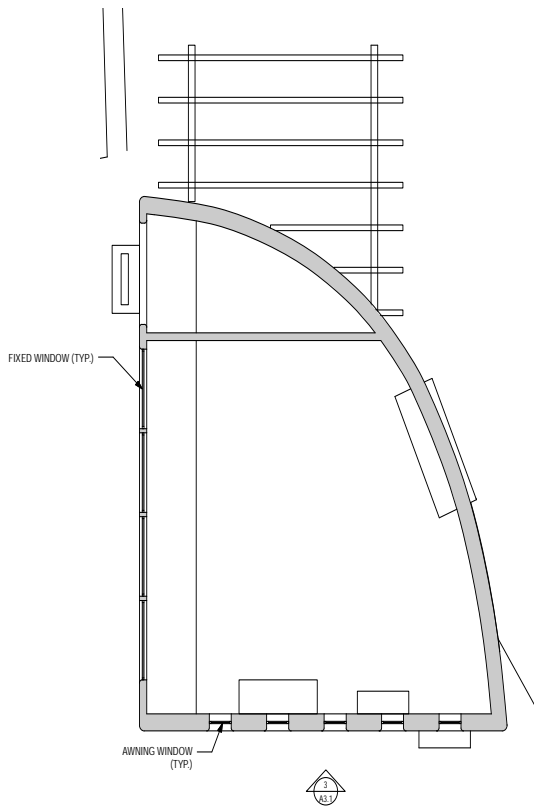
PARKING:

ONE RESIDENCE AND ONE GUEST HOUSE = 3 SPACES REQUIRED AND PROVIDED



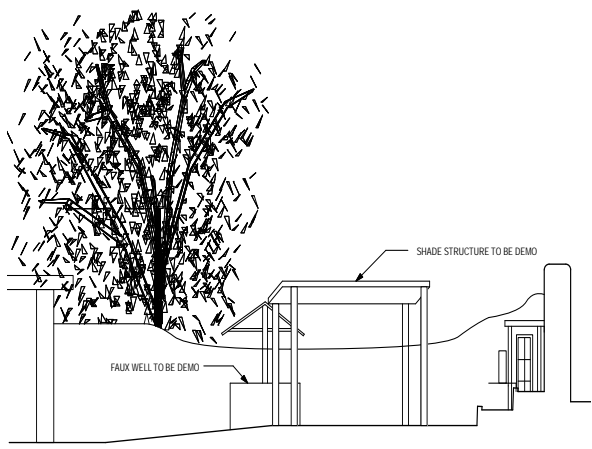


1 PROPOSED PLAN
1/4" = 1'

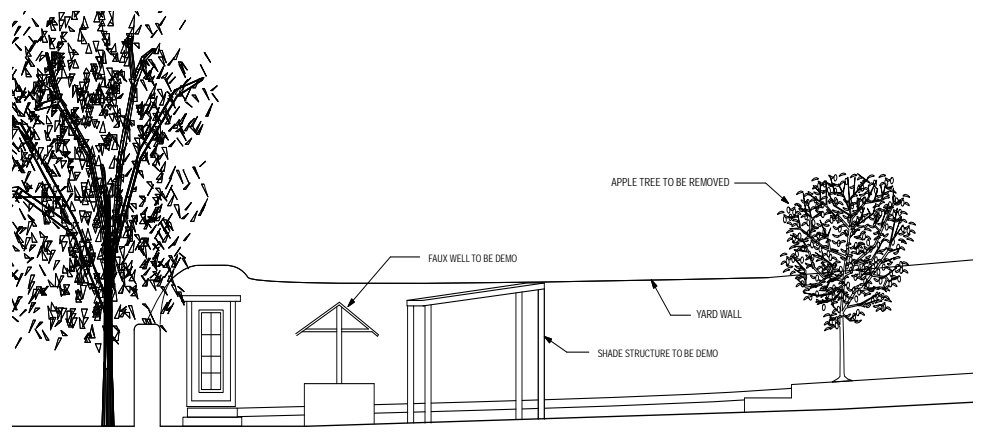


2 PROPOSED CLERESTORY PLAN
1/4" = 1'

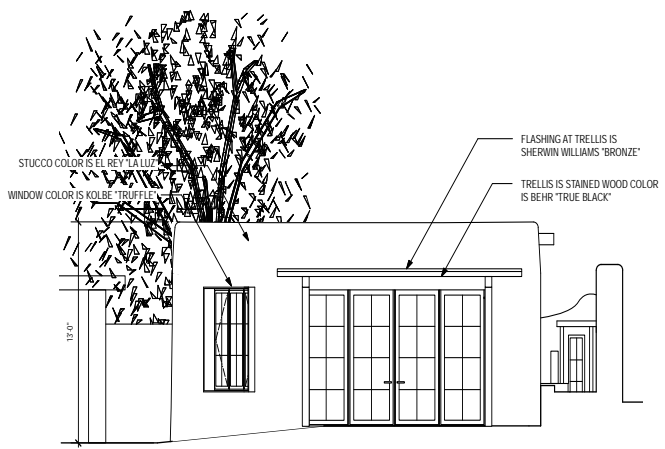




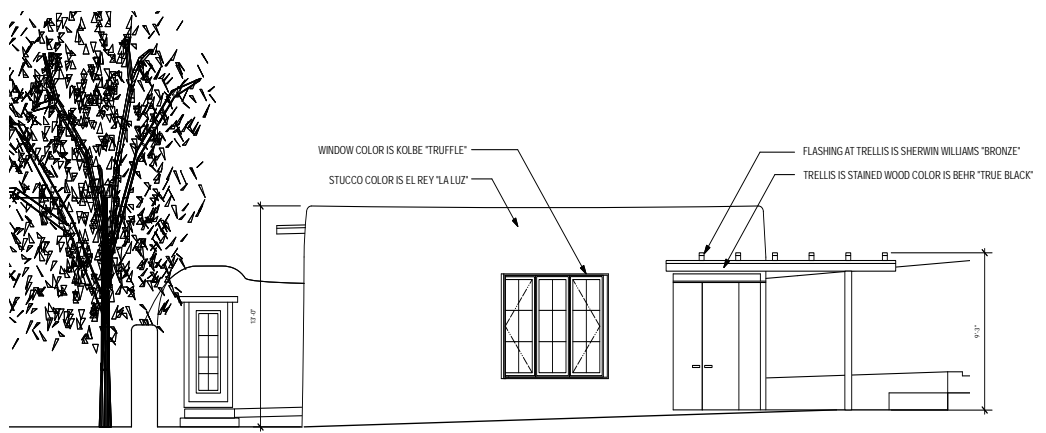
1 NORTH ELEVATION -EXISTING
 1/4" = 1'



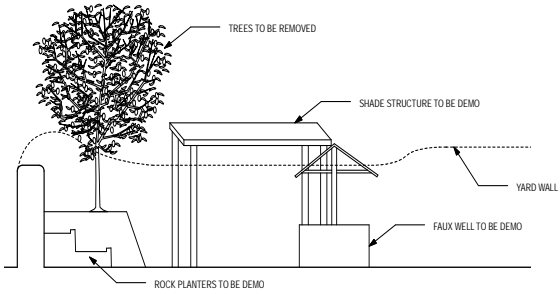
2 EAST ELEVATION -EXISTING
 1/4" = 1'



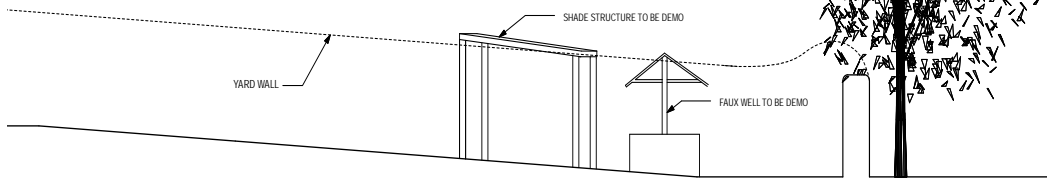
3 NORTH ELEVATION -PROPOSED
 1/4" = 1'



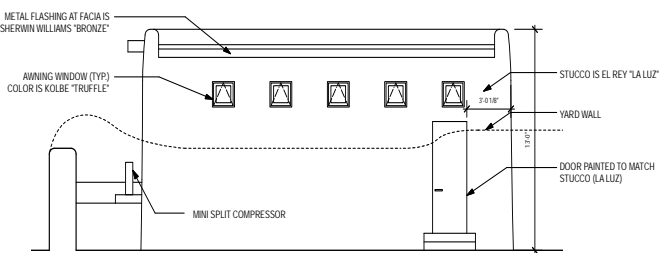
4 EAST ELEVATION -PROPOSED
 1/4" = 1'



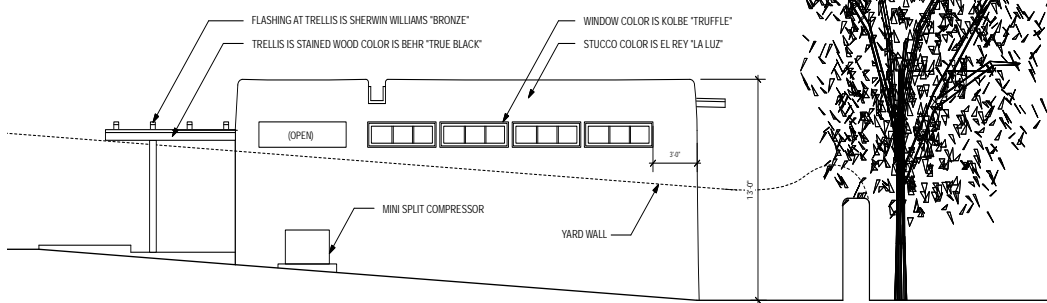
1 SOUTH ELEVATION - EXISTING
 1/4" = 1'



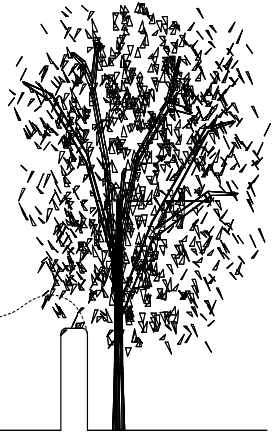
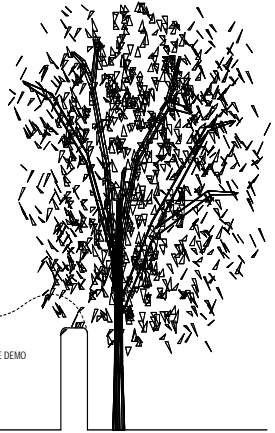
2 WEST ELEVATION - EXISTING
 1/4" = 1'



3 SOUTH ELEVATION - PROPOSED
 1/4" = 1'



4 WEST ELEVATION - PROPOSED
 1/4" = 1'



From: [Steve McCormick](#)
To: [BORDEGARAY, ANGELA S.](#)
Subject: Re: 1331 Cerro Gordo
Date: Friday, April 15, 2022 2:23:42 PM
Attachments: [A0.1 site.pdf](#)
[A1.0 plan.pdf](#)
[A3.0 elevations.pdf](#)
[A3.1 elevations.pdf](#)
[historic_app.pdf](#)
[letter_for_historics_.pdf](#)
[old_app.pdf](#)
[PZR_1331_Cerro_Gordo_staff_signed.pdf](#)
[SK1_materials.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Angela,

Please see attached for our submittal on this project and have a great weekend.

Thanks,

Steve



1 SOUTH ELEVATION
NO SCALE

MCCORMICK ARCHITECTS LLC
1611 PASEO DE PERALTA
SANTA FE, NM 87501
606.699.6199
MCCORMICKARCHITECTS.COM

EVA'S CASITA
SANTA FE

APRIL 14TH, 2022
PH1



1 EAST ELEVATION
NO SCALE

MCCORMICK ARCHITECTS LLC

1611 PASEO DE PERALTA
SANTA FE, NM 87501
505.699.6199
MCCORMICKARCHITECTS.COM

EVA'S CASITA
SANTA FE

APRIL 14TH, 2022

PH2



1 NORTH ELEVATION
NO SCALE

MCCORMICK ARCHITECTS LLC

1611 PASEO DE PERALTA
SANTA FE, NM 87501
505.699.6199
MCCORMICKARCHITECTS.COM

EVA'S CASITA
SANTA FE

APRIL 14TH, 2022

PH3



1 EXISTING HOUSE
NO SCALE

MCCORMICK ARCHITECTS LLC

1611 PASEO DE PERALTA
SANTA FE, NM 87501
505.699.6199
MCCORMICKARCHITECTS.COM

EVA'S CASITA
SANTA FE

APRIL 14TH, 2022

PH4

On Mar 9, 2022, at 1:34 PM, BORDEGARAY, ANGELA S. <asbordegarary@santafenm.gov> wrote:

Dear Steve,

I am scheduling site visits two weeks out. I have already conducted the site visit.

I would prefer that you put together your packet and send it as a complete application.

Please ask your questions here in the meantime and send site plan – existing and proposed.

Thank you,

Angela

From: Steve McCormick <steve@mccormickarchitects.com>

Sent: Wednesday, March 9, 2022 1:17 PM

To: BORDEGARAY, ANGELA S. <asbordegarary@santafenm.gov>

Cc: Boni Armijo <BONIBAU@msn.com>

Subject: Re: 1331 Cerro Gordo

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Angela,

Yes. We met there awhile back. There is a free standing casita.

We now have plans and would like to meet again to discuss strategies for historic review.

thanks much,

City of Santa Fe, New Mexico

memo

DATE: June 14, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005375-HDRB

Address: 1500 Canyon Road
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: N/A

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: N/A

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1500 Upper Canyon Road is a single-family residential structure and barn with significant status to the Downtown and Eastside Historic District. The property is part of the former Matías Martínez farm. The main house was constructed in a hipped box form and in the Territorial Style in the 1890s. A non-contributing garage is also included on the property, which is set back from the house to the southeast. The 380 square foot garage was constructed in approximately 1937. According to the historic cultural properties inventory form, it was originally used as a shed and garage. It is composed of original and most recent adobes and concrete masonry unit (CMU) blocks. It has a shed roof with protruding vigas, a double plywood and one aluminum slider window.


The garage, while non-contributing, pairs with and compliments the main house by use of the same color finish and similar, simple box form to present cohesively with the house.

On April 26th, 2022, the Board approved several repairs, a re-roof, re-stucco with El Rey Cementitious “La Luz,” a portal addition, altered window openings, and a small addition to south façade and a porch addition to the north facade of the main house.

Now, the applicant proposes the following exterior alterations to the garage:

- 1) Re-stucco with El Rey cementitious stucco ‘La Luz.’
- 2) Paint exterior Wood trim windows & doors in ‘pure white’ SW7005 matching the main house.
- 3) Replace the existing 9’10” overhanging flat roof with a flat roof that overhangs on the east elevation and parapet surrounding the other sides. This adds 2’-4” in height bringing the garage height to 12’-2”, which is within the maximum allowable height of 16’-4”. For reference, the height of the main house is 20’-6”.
- 4) Reroof with a TPO tan color.
- 5) Add a chimney at the southwest corner.
- 6) Replace aluminum windows with true divided light wood windows.
- 7) Create a new opening on the south elevation where no previous opening exists and add new true divided light window, which will be 8’-0” wide x 3’-6” high.
- 8) Replace the two 4’x8’, recently painted plywood doors on the west elevation with hand carved wood doors that will have a natural wood finish with a transom window above.

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
 Historic Preservation Division, New Mexico Department of Cultural Affairs
May 6, 2022

| For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 4. County: Santa Fe Parcel # 12184192 |
| 5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object |  | |
| 6. Date of Survey: April 18, 2022 | | |
| 7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: August 30, 1993, only passing reference to garage <input type="checkbox"/> No: | | |
| 8. Name of Project: HDRB status review | | |
| 9. Lat/Long: 35.682766,-105.9025032 | | |
| 10. Photo Information: Robyn Powell, photographer. View of west elevation, facing east. | | |
| 11. Brief Description of the Property: <p>Potentially dating to 1937, this simple square building was historically used as a shed or garage. It is composed of a mixture of new and old adobe and concrete masonry units. The latter suggests a reconstruction or shoring up of a wall. The building has no architectural merit, but it complements the house, a Significant structure, and is important for establishing the property's historical context.</p> <p><i>Continued on Page 5.</i></p> | | |
| 12. Who uses the property? Storage | | |
| 13. Construction Date: Date: potentially 1937, with alterations <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and former owner's memory | | |
| 14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public | | |
| 15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A | | |

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Robyn Powell

For: Daniel Fierro and Jennifer Gilreath

18. Owner (if known) and other knowledgeable people:

Owner: Daniel Fierro and Jennifer Gilreath

Source: Office of the Santa Fe County Assessor

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing: House No Status: Garage
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | | | | | | | | | | | | | | | | | | | | | | | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|---------|--------|------------------|--|--|--|--------|----------|-----|---|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|-------|----------|--------|-------------|--|--|--|--------|----------|---------|---|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | | | | | | | | | | | | | | | | | | | | | | | | |
| Criteria <u> </u> <u> </u> <u> </u> <u> </u> | | Criteria <u> </u> <u> </u> <u> </u> <u> </u> | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 4. County: Santa Fe | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 5. Date of Survey: April 18, 2022 | | | | | | | | | | | | | | | | | | | | | | | | | |
| ARCHITECTURAL AND CONSTRUCTION DETAILS: | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: | | 7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: | | | | | | | | | | | | | | | | | | | | | | | | | |
| 10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;"></th> <th style="width: 15%;">Material</th> <th style="width: 15%;">Glazing</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Operation</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Siding</td> <td>Aluminum</td> <td>1-1</td> <td>2</td> </tr> </tbody> </table> | | | Material | Glazing | Number | Operation | | | | Siding | Aluminum | 1-1 | 2 | 11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;"></th> <th style="width: 15%;">Style</th> <th style="width: 15%;">Material</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Type</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Double</td> <td>Outswing</td> <td>Plywood</td> <td>1</td> </tr> </tbody> </table> | | | Style | Material | Number | Type | | | | Double | Outswing | Plywood | 1 |
| | Material | Glazing | Number | | | | | | | | | | | | | | | | | | | | | | | | |
| Operation | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Siding | Aluminum | 1-1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | |
| | Style | Material | Number | | | | | | | | | | | | | | | | | | | | | | | | |
| Type | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Double | Outswing | Plywood | 1 | | | | | | | | | | | | | | | | | | | | | | | | |
| 12. Chimneys N/A | | 13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap | | | | | | | | | | | | | | | | | | | | | | | | | |
| 14. Other Significant Features N/A | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1 Date: c.1980s; Introduction of aluminum sliding windows; visual and physical evidence</u> <u>#2 Date: Unknown; replacement or stabilization of north wall; coring sample</u> <u>#3 Date: Unknown, likely recent; possible alteration of entry opening in position and width; visual and physical evidence</u> <u>#4 Date: Unknown, likely recent; replacement of roofing structure and ceiling; visual and physical evidence</u> | | | | | | | | | | | | | | | | | | | | | | | | | | | |

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|------------------------------------------|-------------------------------------------|-------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular - No Style

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
 407 Galisteo Street, Suite 236
 Santa Fe, NM 87501
 (505) 827-6320

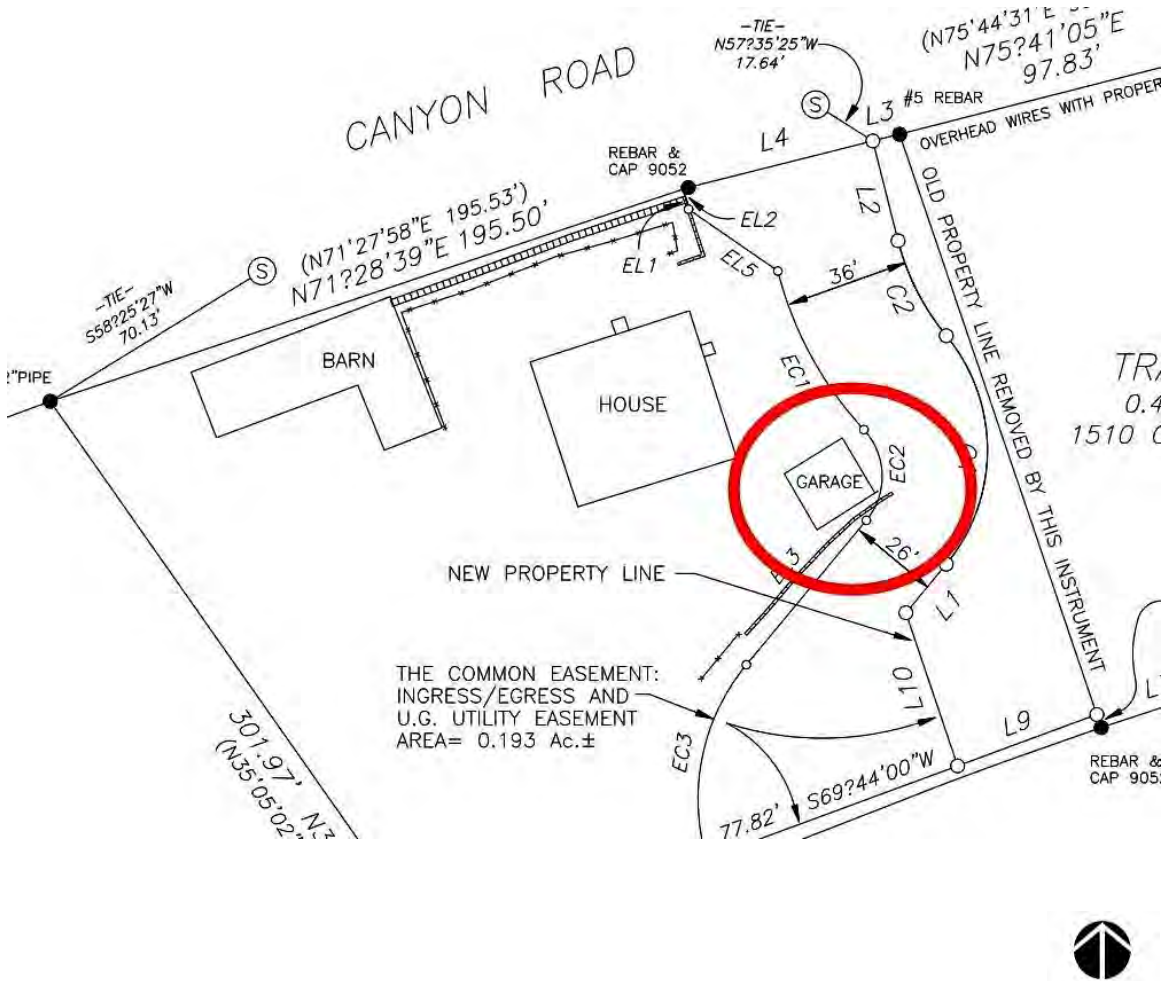
Historic Preservation Division
 Land Use Department
 City of Santa Fe
 200 Lincoln Avenue
 Santa Fe, NM 87504
 (505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No; garage is subordinate to residence

19. Site Plan: Portion of c.2016 plat, courtesy Curtis Land Surveying, Inc.



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Architectural Description Continued

Setting

The garage sits on the former Matías Martínez farm, near the east end of the Upper Canyon Road. It stands approximately 90' back from the street, with only its north and east elevations viewable from a public right of way (Photo 1). A gravel driveway leads to the structure, where it is entered from the west. The garage is sited behind the old Martínez farmhouse, arranged on a roughly east-west axis. It backs into a stone retaining wall, outlining a terraced field above (Photo 2). The setting is open with expansive views. The green shadow of Picacho Peak looms to the south.

Structure

The structure encloses roughly 380 square feet and has a sloping, flat roof draining to the east.

The publicly visible north elevation is a simple flat façade holding one window (Photos 3 & 4). Set deep into the wall, the window is a recent sliding aluminum unit with vertical lights. An interior coring of this wall shows its construction to be CMU (Photo 10).

The second publicly visible elevation, the east elevation, has the same type of window placed at the center of its wall (Photo 5). The roof over this façade extends with a 24" overhang. The building's rafters are exposed and consist of older 2'x8' boards arranged at 27" on the center. It is unclear whether all these connect with the interior roofing structure.

Facing a stone retaining wall, the south elevation is windowless (Photo 6). Its lumpy appearance suggests adobe construction. A recent single location coring confirms this.

The west, or principal elevation, has a pair of recently painted plywood doors fitted into what appears to an altered opening (Photo 7). The offset opening, at roughly 7'-10½", accommodates two 4'x8' doors. These are important measurements when considering the building's capacity to comfortably hold a car.

This opening is bookended with what seems to be recent adobe infill (Photo 9). The exterior of the wall, with vertical cracking, suggests that some type of block or other

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material has not completely welded with the adobe. This, and horizontal cracking at the plate line, again points to a possible alteration of this façade.

The interior provides clues to the building’s modification. It starts innocently at the ground with a stabilized pea gravel floor. Looking above, a more recent roof framing and ceiling system indicate a potentially replaced roof (Photo 8). The structure is made of a combination of younger vigas and fresh, 2”x6” and 2”x8” boards, some of which are sistered. These rest on an exposed wood plate, appearing of more recent vintage. Above, creating the ceiling, are young pine boards. The structure is supported by a few improvised wood posts.

The building is finished with a traditional three-coat cementitious stucco, with a peach-to-tan coat matching the house. The stucco is applied over chicken wire, and may include an earlier layer beneath. Based on an aerial photograph, this pinkish tone dates back to at least 1969.

Historical Overview

Upper Canyon Road

The subject property is part of an area of east Santa Fe historically beyond the city limits and characterized for many years by its rural setting and agricultural use (Figure 1). The area remains lightly populated, with tracts of relict farmland incorporated into larger residential lots. The Martinez-Rivera property remains one of the more intact examples of the farming period.

After the Pueblo Revolt and Reconquest in the late 17th century, Spanish settlers returned to *La Villa Real de la Santa Fe de San Francisco de Asís* to reestablish their holdings. Additional colonists arrived in the early 18th century, finding most of the better tracts around the Plaza already claimed. Many new settlers fanned out along the Santa Fe River, looking for suitable land to establish a farm. The land on which the former farm sits was part of the historic “Talaya Hill,” a roughly 1,240-acre land grant awarded to Manuel Trujillo in 1731.

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Starting in the 19th century, the land grant began to be divided into smaller tracts. The owner of one such tract was José María Martín, a prosperous sheep rancher who could trace his ancestors back to the earliest Spanish families in New Mexico.¹ Beginning in the 1850s, Martín began acquiring land on both sides of the Santa Fe River in the upper canyon area. He established a home north of the river, on what is today Cerro Gordo Road.

Matías Martinez Farm

The rancher had five children, and his son Matías associates directly with the subject property. Born in Santa Fe in 1858, Matías grew up in the Cerro Gordo Road home. He married María Antonio Trujillo in 1884, and by 1900 had moved his family across the river onto one of his father's holdings² (Figure 2). This property would be known as the Matías Martinez farm.

There he shaped the land, creating terraced fields irrigated by a nearby acequia, *Acequia de los Armentas* (Ditch 5), of which he was a member.³ Like his father, Matías was primarily a rancher, raising cattle, sheep, and goats. His success, including building a handsome hipped roof, center-hall plan home, was darkened a decade later when his wife died at age 48.⁴

The Matías Martinez farm was captured on the 1917 Hydrographic Survey map (Figure 3). The land, then under cultivation, is shown to be owned by Martinez. As depicted on the map, there are several plots: 0.53 acres of oats, 0.56 acres of corn, and 0.7 acres plowed but not planted. Two of these were irrigated by Ditch 5; the upland plot appears to have been dry-farmed, or watered by a separate acequia (*Acequia del Llano*), of which Matías was also a community owner. Other sources point to additional crops grown on the property, including alfalfa, peas, and beans.⁵

¹ Corinne P. Sze, "Matías Martinez Farm" (Historic Santa Fe Foundation plaque application, July 22, 1999), 8.

² Ibid.

³ State Engineer's Office, "Report: Santa Fe Hydrographic Survey" (Santa Fe: State Engineer's Office, March 13, 1919), no pagination.

⁴ "Mrs. Martinez Dead," *Santa Fe New Mexican*, January 10, 1910, 8.

⁵ Paul Weideman, "The Hidden Past of Canyon Road," *Santa Fe New Mexican, Santa Fe Real Estate Guide*, February 2003, 103.

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The same map shows the farmstead, outlined by fence, to include the house and what appears to be a smaller stable than what stands today. A shed, and the building that would be called the garage, are not depicted.

The federal census of 1920 captures the Matías Martínez household. The widowed Matías, then 58, lived with his son Facundo, 25, and daughter, Cesaria, 22.⁶ The latter would inherit the farm. Matías and Facundo are both shown to be growers working their own land. Neighbors surround them with Spanish surnames – Rodriguez, Mora, Rivera – all of whom live on farms.

Martinez-River Home

Three years later, Cesaria married José Rivera, who may have been a neighbor. The couple lived in the Martínez family home. According to a 1998 oral history conducted with Matías Rivera (the son of Cesaria and José), his father constructed the garage in the late 1930s to house the family's first vehicle – a 1937 Plymouth.⁷ José additionally made changes to the house, not included in this study.

The area remained rural and in agricultural production through the Great Depression. But with the outbreak of World War II — as most of its working-age male population left to serve overseas and a subsequent postwar switch to a cash economy — agriculture diminished.

Matías Martínez died in his home on May 31, 1947, at age 90. A short obituary appeared on the front page of the *New Mexican*. Following tradition, the body lay in state in the family home for a week, followed by a funeral mass at Cristo Rey Church.

Cesaria and José remained at the family home. The property changed in use from this point on, moving from an active farm to mainly a residence. José worked as a mailman for the postal service, where his brother-in-law, Antonio F. Martínez, was the postmaster. There was little time, motivation, or need to farm. However, a 1969 aerial photograph shows the upper fields plowed, suggesting some continuing agricultural use of the property (Figure 6).

⁶ United States Federal Census, Year: 1920, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T625_1080; Page: 1A; Enumeration District: 127.

⁷ Sze, "Matías Martínez Farm," 10.

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The last glimpse of the family is found in the 1950 census. Paying a visit in early April, the census taker recorded a household of nine persons.⁸ It included Cesaria and José, two of their daughters, and their husbands and children. Three adult males worked for the post office; a fourth was serving in the army.

At the same time, small changes arrived in the upper canyon, including the paving of portions of the road and the introduction of school bus service.

Cesaria M. Rivera died at the family home in 1994. She was 98 and had lived all but six years of life at the home.⁹ Following probate, her son Matías Rivera took over the property. It stayed in family ownership for almost 20 more years until Matías J. Rivera passed in 2013.

Visual Evidence

While not precise, aerial photographs help establish a building's origin and evolution. An aerial photograph's usefulness depends on the airplane's altitude, time of year, and conditions on the ground, including tree cover. These factors, along with natural geometric distortions caused by the camera, limit the usefulness of aerial photographs — typically to only validating a building's existence and relative footprint during the flight.

1935-37

A building in this relative position shows on the 1935-37 Soil Conservation Service aerial (Figure 4). While fuzzy, the image captured a square-plan structure set at the end of the driveway. This structure may connect with Matías Rivera's statement in 1998 that his father built it to house the family's 1937 Plymouth.

Its current opening, at 7'-10", would have posed a challenge for the car and its owner. A late 1930's Plymouth had a chassis length of 13'-4" (body length unknown) and a body width of around 6'. Considering wall thickness, the driver and passengers would have

⁸ United States Federal Census, 1950, Census Place: Santa Fe, Santa Fe, New Mexico; Enumeration District: 26-4, Sheet 13; Record Group 29, Records of the Bureau of the Census; National Archives and Records Administration, Washington, DC, downloaded from <https://1950census.archives.gov>.

⁹ "Cesaria M. Rivera," *Santa Fe New Mexican*, April 6, 1994, B-2.

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had little space to maneuver after exiting the vehicle. This is not to cast doubt on family history but to suggest the opening has been modified.

1948

Ten years later, a 1948 flight captures what seems to be the same building in the same position (Figure 5).

1969

Aerial coverage for the area is infrequent and only picked up again in 1969. A flight from February 27 of that year documents the same building (Figure 7). While inconclusive, it seems the north elevation window was not present at the time. Additionally, the east elevation does not appear to have an overhang. If accurate, these support the assumption that the roof has been changed and the windows added.

Evaluation of Historical Status

Constructed potentially as early as 1937, the building has experienced several alterations, including likely a reconstruction of walls, a roof replacement, a probable shift in the primary façade opening, and a change and/or addition of doors and windows. Still, the building has retained its overall form, design, and footprint over the years.

While not significant in its own right, it is a surviving component of a historic farmstead and, in this way, helps to maintain the setting and context of the property and its Significant-status house.

For these reasons, the recommendation is to designate it a Contributing Structure to the Downtown and Eastside Historic District.

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Illustrations



Figure 1: Relative location of building in relation to Santa Fe in 1889.
 USGS quadrangle, "Santa Fe, N. Mex.," 1889, 1:25,000.

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Figure 2: Subject parcel under ownership of José María Martín. William White, "Owners of Land Within the Santa Fe Grant Outside the City Limits," 1897-98.

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Figure 3: Matías Martínez farm.
 State Engineer's Office, "Santa Fe Hydrological Survey, Santa Fe: State Engineer's Office, 1914 (1919), Sheet 6.

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**Figure 4: Assumed subject building circled.
1935-37, aerial photograph.**

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**Figure 5: Assumed subject building circled.
October 25, 1948, aerial photograph.**

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**Figure 6: Relict farmstead.
February 27, 1969, aerial photograph.**

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**Figure 7: Subject building circled.
February 27, 1969, aerial photograph.**

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Survey Photographs

(All images taken by Robyn Powell on April 18, 2022, unless otherwise noted)



**Photo 1: View of building from Upper Canyon Road.
Camera facing south.**



**Photo 2: House and garage.
Camera facing north.**

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| | | NRHP | SRCP | Criteria |
| | | A B C D | | |
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | |
| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: April 18, 2022 | | |



**Photo 3: View of publicly visible façades from Upper Canyon Road.
Camera facing southwest.**



**Photo 4: North and west elevations
Camera facing southeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| | | | | | |
|--------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|------------------------------------------------------|------------|----------------------------------------------------------|--|
| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 | | | |
| | | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | | |
| | | 4. County: Santa Fe | | | |
| | | 5. Date of Survey: April 18, 2022 | | | |



Photo 5: East elevation.
Camera facing west.



Photo 6: South elevation.
Camera facing north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | Please complete HCPI FORM 1 before completing FORM 2 | | | |
|----------------------------------------------------------|--------------|------------------------------------------------------------------------------------------------|------|-----------------------------------------------------|--|
| HCPI No. | District No. | NRHP | SRCP | Criteria A B C D | |
| 1. Name of property: Martinez-Rivera Property: Garage | | 2. Location: 1500 Upper Canyon Road Santa Fe: Downtown and Eastside Historic District | | 3. Local Reference Number: Santa Fe ID #: H-1190 | |
| | | | | 4. County: Santa Fe | |
| | | | | 5. Date of Survey: April 18, 2022 | |



Photo 7: West elevation.
Vertical cracking highlighted.
Camera facing east.

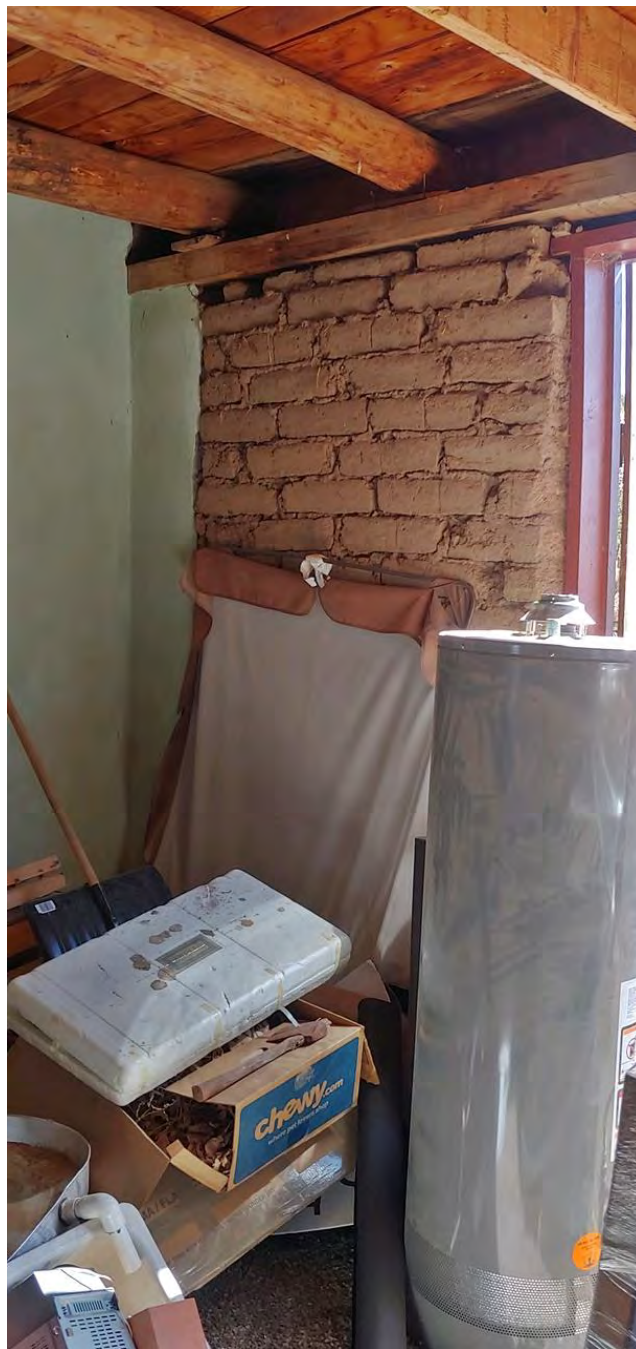


Photo 8: Roof structure and decking.
Camera facing up toward west elevation opening.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: HCPI No. _____ District No. _____ | | Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ | | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | |
|---------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|--|----------------------------------------------------------|--|
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | 4. County: Santa Fe | |
| | | 5. Date of Survey: April 18, 2022 | | | |



**Photo 9: Adobe infill, southwest corner.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | <i>Please complete HCPI FORM 1 before completing FORM 2</i> | | |
|--------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|------------|----------------------------------------------------------|
| HCPI No. _____ | District No. _____ | NRHP _____ | SRCP _____ | Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D |
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | |
| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: April 18, 2022 | | |



Photo 10: Interior, north wall, core sample (CMU).
Richard Horcasitas.
April 30, 2022.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

| For HPD Office use only: | | Please complete HCPI FORM 1 before completing FORM 2 | | |
|--------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|------------------------------------------------------|------|------------------|
| HCPI No. | District No. | NRHP | SRCP | Criteria A B C D |
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road Santa Fe: <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 | | |
| | | 4. County: Santa Fe | | |
| | | 5. Date of Survey: April 18, 2022 | | |



**Photo 11: Interior, south wall, core sample (adobe).
William Powell.
May 3, 2022.**



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>To Be Completed By Applicant:</p> <p>Date Submitted: January 3, 2022</p> <p>Property Owner of Record: Tony Martin</p> <p>Applicant/Agent Name: Richard Horcasitas</p> <p>Contact Person Phone Number: (505) 920 - 3841</p> <p>Zoning District: <u>R-1</u></p> <p>Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____</p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division ** Requires an additional review conducted by the Traffic Engineering Division</small></p> | <p>Site Address: 1500 Upper Canyon Road</p> <p>Proposed Construction Description: Bedroom Addition, Portal Additions, Restucco, ReRoof, Windows Replacement/Repair and repair reroof of small accessory structure</p> <p>TOTAL ROOF AREA: 3665 Square foot</p> <p>Lot Coverage : <u>.009</u> % <input type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: _____ Minimum: _____ 2nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____</p> <p>Height: Proposed <u>20</u> feet 6 Inches existing to remain Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: _____</p> <p>Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Richard Horcasitas [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE _____

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
| <p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval: <input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____</p> <p>REVIEWER: <u>Lani J McCulley</u> DATE: <u>01/06/2022</u></p> <p>Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.</p> | <p>2022-004678-PAR</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|



**CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION**

1. Applicant Information (to be completed by the Applicant)

Date: May 7, 2022 Location of Project: Garage: 1500 Upper Canyon Road

Applicant

Name: Richard Horcasitas

Phone: 5059203841 Email: horcasitasland@gmail.com

Property Owner

Name: Tony Martin

Phone: 8306853622 Email: tony@tonymartininc.com

Proposed Work:

Exterior Re-stucco, Windows Replacement, Door Replacement, add chimney,
add parapet, re-roof, of small accessory structure.

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: _____

Historic Status: _____

Primary Elevations: _____

Previous HDRB and Admin Cases: _____

| | Yes | No |
|-------------------------------------|--------------------------|--------------------------|
| Archaeological compliance required? | <input type="checkbox"/> | <input type="checkbox"/> |

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santafem.gov/historic_preservation.

Application Submittal Date: May 9, 2022

Desired Hearing Date: June 14, 2022

Project Type:

Status

Primary Elevation Designation

New Construction

Remodel

Sq. Ft. of project: 361 sqft

Sq. Ft. of project: 361 sqft

Construction Cost: \$38,000

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Tony Martie

Signature 

Daniel Fierro
Jennifer Gilreath
312 E. Mandalay Drive
Almos Park, TX 78212
(210) 845-3651
Email:
dfierro@gmail.com
jsgilreath@yahoo.com

Owner Authorization: 1500 Upper Canyon Road

April 4, 2022

City of Santa Fe Planning and Land Use Department
200 Lincoln Avenue
P.O. Box 909
Santa Fe NM 87504-0909

To Whom It May Concern:

I am authorizing Tony Martin, Richard Horcasitas Land Use Consultant, & WH Studio: William Powell, to represent me with all matters pertaining to the Historic Design Review Board approval & request and process Development Plan Application & Approval for a project to be known as the 1500 Canyon Road Tract C. The location of the property is 1500 Canyon Road in Santa Fe, New Mexico.

This authorization will include, but not limited to:

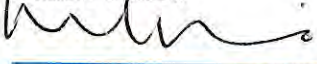
- Preparation of materials for Historic Design Review Board
- Consulting and application of Development Plan Approval
- Representation at meetings
- Project management
- Building Permit Application

The HDRB Pre-Application site visit meeting was held on January 7, 2022

If you have any questions, please contact me.
Richard Horcasitas 505-920-3841
horcasitasland@gmail.com

Sincerely,

Daniel Fierro



Jennifer Gilreath





May 9, 2022

City of Santa Fe
Historic Preservation Division
Historic Design Review Board
P.O. Box 909
Santa Fe, NM 87501

Re: 1500 Upper Canyon Road: Establish Building Historic Status &
Request Exterior alterations to the Garage.

- Repair stucco walls,
- repair and repaint wood trim.
- Add parapet, Replace Roof
- Add chimney for new fireplace
- Replace windows and door.

Proposed alterations of each elevation are described below.

LETTER OF PROPOSAL

This letter is provided as part of the City of Santa Fe Historic Division administrative approval submittal requirements, on behalf of Daniel Fierro, Jennifer Gilreath, Tony Martin.

The proposed project is located at 1500 Upper Canyon Road, on the South side of Upper Canyon Road. The property is also known as the Martinez-Rivera Property, Garage: The total acreage is 9.202 acres± (approximately 400,839 square feet±), within R-1 zoning, Historic Review Historic District. The small garage structure, existing roofed area is approximately 444 sq ft, the proposed roofed area will be 361 sq ft. The decrease in roofed area is accomplished by removing the roof overhangs and replacing with parapets.

**The application is a request for approval for: Status Review to establish Building Historic Status
Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1) Pages 1-2
Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2) Pages 3-24**

The application is a request for approval for Garage Exterior Alterations

1. Re-stucco all exterior walls with El Ray cementitious stucco (color #125, 'La Luz').
2. Paint exterior Wood trim windows & doors, ('pure white' SW7005).
3. Replace the existing 9'10" overhanging Flat Roof, by adding a 2'4" parapet, bringing the garage height to 12'2".
4. reroof with new roof material, (roof cover is screened by the 2'4" parapet)
5. Add a chimney at the South West Corner.
6. Replace Non-compliant aluminum windows with true divided light wood windows.
7. Add new true divided light 8' wide x 3'6" high window set at the South Elevation where no previous opening exists.
8. Replace the 2-4'x8', recently painted plywood doors at the West Elevation.

North Elevation The proposal for the Garage North Elevation is request for approval to:

1. Add a parapet to the existing 9'10" flat roof, increasing the height by 2'4", From the existing height of 9'10" to 12'2".
 2. Replace the existing non-compliant sliding aluminum window, with a true divided light wood window the same dimensions as the existing opening.
-

East Elevation: The proposal for the Garage North Elevation is request for approval to:

1. Add a parapet to the existing 9'10" flat roof, increasing the height by 2'4" to 12'2".
 2. Replace the existing non-compliant sliding aluminum window, with a true divided light wood window of the same dimensions as the existing opening.
 3. Wood window trim will be painted ('pure white' SW7005).
-

South Elevation: Not publicly visible: The proposal for the Garage North Elevation is request for approval to:

1. Add a parapet to the existing 9'10" flat roof, increasing the height by 2'4" to 12'2".
 2. Add new true divided light 8' wide x 3'6" high, window set where no previous opening exists.
 3. this wood trim will be painted ('pure white' SW7005).
-

West Elevation: The proposal for the Main House West Elevation is request for approval to:

1. Add a parapet to the existing 9'10" flat roof, increasing the height by 2'4" to 12'2".
 2. Replace the 2-4'x8', recently painted plywood doors at the West Elevation, with handmade double doors with transoms above.
-

This proposal is designed in accordance with the Minimum Maintenance Standards required of 14-5.2(B)(1)(4) & (11). The design of the alterations also meets the requirements of 14-5.2(F), Historic Review District Standards.

In conclusion, we have reviewed the code for Historic Design Standards, 14-5.2, and met with required staff members (HDRB and Development Review) to ensure that the proposed project meets all the requirements for building within the R1 zoning and the Historic Review Historic District. We look forward to your approval. Your consideration is greatly appreciated. If you have any questions regarding this application, please do not hesitate contacting me at (505) 920-3841.

Sincerely,

Richard Horcasitas

Richard Horcasitas

Attachments:

Application Form
Owner Authorization
Proposal Letter
Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Photographs Elevations (4)
site plan
Site Plan Proposed
Existing and Proposed Elevations
Existing and Proposed Floor plans
2016 Curtis Plat-Legal Lot of record
Exterior Finishes


Richard Horcasitas

4401 San Pedro Drive Northeast #503

Albuquerque, NM 87109

P/505-920-3841, horcasitasland@gmail.com

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)
 Historic Preservation Division, New Mexico Department of Cultural Affairs
May 6, 2022

| For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------|
| 1. Name of property: Martinez-Rivera Property: Garage | 2. Location: 1500 Upper Canyon Road <i>Downtown and Eastside Historic District</i> | 3. Local Reference Number: Santa Fe ID #: H-1190 4. County: Santa Fe Parcel # 12184192 |
| 5. Property Type: <input checked="" type="checkbox"/> Buildings: 1 <input type="checkbox"/> Structures: <input type="checkbox"/> Site <input type="checkbox"/> Object |  | |
| 6. Date of Survey: April 18, 2022 | | |
| 7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: August 30, 1993, only passing reference to garage <input type="checkbox"/> No: | | |
| 8. Name of Project: HDRB status review | | |
| 9. Lat/Long: 35.682766,-105.9025032 | | |
| 10. Photo Information: Robyn Powell, photographer. View of west elevation, facing east. | | |
| 11. Brief Description of the Property: <p>Potentially dating to 1937, this simple square building was historically used as a shed or garage. It is composed of a mixture of new and old adobe and concrete masonry units. The latter suggests a reconstruction or shoring up of a wall. The building has no architectural merit, but it complements the house, a Significant structure, and is important for establishing the property's historical context.</p> <p><i>Continued on Page 5.</i></p> | | |
| 12. Who uses the property? Storage | | |
| 13. Construction Date: Date: potentially 1937, with alterations <input type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: aerial photographs and former owner's memory | | |
| 14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public | | |
| 15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A | | |

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com
w/ Robyn Powell

For: Daniel Fierro and Jennifer Gilreath

18. Owner (if known) and other knowledgeable people:

Owner: Daniel Fierro and Jennifer Gilreath

Source: Office of the Santa Fe County Assessor

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes

If yes: Significant Contributing Non-contributing: House No Status: Garage
Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2
 HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria A B C D

| | | |
|--------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
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|--------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|

ARCHITECTURAL AND CONSTRUCTION DETAILS:

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: | 7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other: |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

| 10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Operation</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Glazing</th> <th style="width: 20%;">Number</th> </tr> </thead> <tbody> <tr> <td>Siding</td> <td>Aluminum</td> <td>1-1</td> <td>2</td> </tr> </tbody> </table> | Operation | Material | Glazing | Number | Siding | Aluminum | 1-1 | 2 | 11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 20%;">Type</th> <th style="width: 20%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 20%;">Number</th> </tr> </thead> <tbody> <tr> <td>Double</td> <td>Outswing</td> <td>Plywood</td> <td>1</td> </tr> </tbody> </table> | Type | Style | Material | Number | Double | Outswing | Plywood | 1 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------|---------|--------|--------|----------|-----|---|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------|----------|--------|--------|----------|---------|---|
| Operation | Material | Glazing | Number | | | | | | | | | | | | | | |
| Siding | Aluminum | 1-1 | 2 | | | | | | | | | | | | | | |
| Type | Style | Material | Number | | | | | | | | | | | | | | |
| Double | Outswing | Plywood | 1 | | | | | | | | | | | | | | |

| | |
|------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 12. Chimneys N/A | 13. Porches <input checked="" type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap |
|------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

14. Other Significant Features N/A

15. Modifications: No known modifications

#1 Date: c.1980s; Introduction of aluminum sliding windows; visual and physical evidence
 #2 Date: Unknown; replacement or stabilization of north wall; coring sample
 #3 Date: Unknown, likely recent; possible alteration of entry opening in position and width; visual and physical evidence
 #4 Date: Unknown, likely recent; replacement of roofing structure and ceiling; visual and physical evidence

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|------------------------------------------------------|-----------------------------------------|------------------------------------------|-------------------------------------------|-------------------------------------------------|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: Other: Vernacular - No Style

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

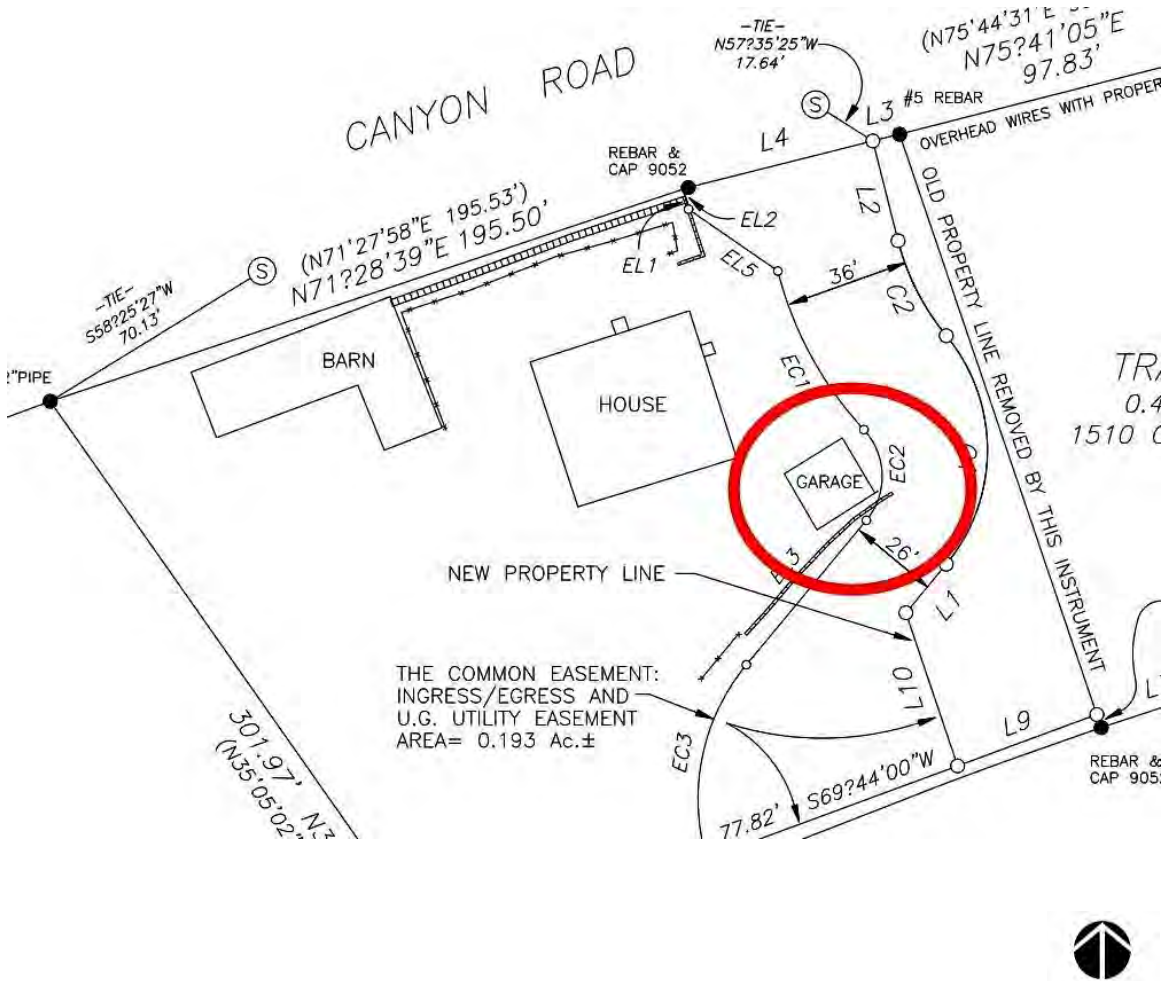
Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No; garage is subordinate to residence

19. Site Plan: Portion of c.2016 plat, courtesy Curtis Land Surveying, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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| | | 4. County: Santa Fe | | | |
| | | 5. Date of Survey: April 18, 2022 | | | |

Architectural Description Continued

Setting

The garage sits on the former Matías Martínez farm, near the east end of the Upper Canyon Road. It stands approximately 90' back from the street, with only its north and east elevations viewable from a public right of way (Photo 1). A gravel driveway leads to the structure, where it is entered from the west. The garage is sited behind the old Martínez farmhouse, arranged on a roughly east-west axis. It backs into a stone retaining wall, outlining a terraced field above (Photo 2). The setting is open with expansive views. The green shadow of Picacho Peak looms to the south.

Structure

The structure encloses roughly 380 square feet and has a sloping, flat roof draining to the east.

The publicly visible north elevation is a simple flat façade holding one window (Photos 3 & 4). Set deep into the wall, the window is a recent sliding aluminum unit with vertical lights. An interior coring of this wall shows its construction to be CMU (Photo 10).

The second publicly visible elevation, the east elevation, has the same type of window placed at the center of its wall (Photo 5). The roof over this façade extends with a 24" overhang. The building's rafters are exposed and consist of older 2'x8' boards arranged at 27" on the center. It is unclear whether all these connect with the interior roofing structure.

Facing a stone retaining wall, the south elevation is windowless (Photo 6). Its lumpy appearance suggests adobe construction. A recent single location coring confirms this.

The west, or principal elevation, has a pair of recently painted plywood doors fitted into what appears to an altered opening (Photo 7). The offset opening, at roughly 7'-10½", accommodates two 4'x8' doors. These are important measurements when considering the building's capacity to comfortably hold a car.

This opening is bookended with what seems to be recent adobe infill (Photo 9). The exterior of the wall, with vertical cracking, suggests that some type of block or other

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material has not completely welded with the adobe. This, and horizontal cracking at the plate line, again points to a possible alteration of this façade.

The interior provides clues to the building’s modification. It starts innocently at the ground with a stabilized pea gravel floor. Looking above, a more recent roof framing and ceiling system indicate a potentially replaced roof (Photo 8). The structure is made of a combination of younger vigas and fresh, 2”x6” and 2”x8” boards, some of which are sistered. These rest on an exposed wood plate, appearing of more recent vintage. Above, creating the ceiling, are young pine boards. The structure is supported by a few improvised wood posts.

The building is finished with a traditional three-coat cementitious stucco, with a peach-to-tan coat matching the house. The stucco is applied over chicken wire, and may include an earlier layer beneath. Based on an aerial photograph, this pinkish tone dates back to at least 1969.

Historical Overview

Upper Canyon Road

The subject property is part of an area of east Santa Fe historically beyond the city limits and characterized for many years by its rural setting and agricultural use (Figure 1). The area remains lightly populated, with tracts of relict farmland incorporated into larger residential lots. The Martinez-Rivera property remains one of the more intact examples of the farming period.

After the Pueblo Revolt and Reconquest in the late 17th century, Spanish settlers returned to *La Villa Real de la Santa Fe de San Francisco de Asís* to reestablish their holdings. Additional colonists arrived in the early 18th century, finding most of the better tracts around the Plaza already claimed. Many new settlers fanned out along the Santa Fe River, looking for suitable land to establish a farm. The land on which the former farm sits was part of the historic “Talaya Hill,” a roughly 1,240-acre land grant awarded to Manuel Trujillo in 1731.

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Starting in the 19th century, the land grant began to be divided into smaller tracts. The owner of one such tract was José María Martín, a prosperous sheep rancher who could trace his ancestors back to the earliest Spanish families in New Mexico.¹ Beginning in the 1850s, Martín began acquiring land on both sides of the Santa Fe River in the upper canyon area. He established a home north of the river, on what is today Cerro Gordo Road.

Matías Martinez Farm

The rancher had five children, and his son Matías associates directly with the subject property. Born in Santa Fe in 1858, Matías grew up in the Cerro Gordo Road home. He married María Antonio Trujillo in 1884, and by 1900 had moved his family across the river onto one of his father's holdings² (Figure 2). This property would be known as the Matías Martinez farm.

There he shaped the land, creating terraced fields irrigated by a nearby acequia, *Acequia de los Armentas* (Ditch 5), of which he was a member.³ Like his father, Matías was primarily a rancher, raising cattle, sheep, and goats. His success, including building a handsome hipped roof, center-hall plan home, was darkened a decade later when his wife died at age 48.⁴

The Matías Martinez farm was captured on the 1917 Hydrographic Survey map (Figure 3). The land, then under cultivation, is shown to be owned by Martinez. As depicted on the map, there are several plots: 0.53 acres of oats, 0.56 acres of corn, and 0.7 acres plowed but not planted. Two of these were irrigated by Ditch 5; the upland plot appears to have been dry-farmed, or watered by a separate acequia (*Acequia del Llano*), of which Matías was also a community owner. Other sources point to additional crops grown on the property, including alfalfa, peas, and beans.⁵

¹ Corinne P. Sze, "Matías Martinez Farm" (Historic Santa Fe Foundation plaque application, July 22, 1999), 8.

² Ibid.

³ State Engineer's Office, "Report: Santa Fe Hydrographic Survey" (Santa Fe: State Engineer's Office, March 13, 1919), no pagination.

⁴ "Mrs. Martinez Dead," *Santa Fe New Mexican*, January 10, 1910, 8.

⁵ Paul Weideman, "The Hidden Past of Canyon Road," *Santa Fe New Mexican, Santa Fe Real Estate Guide*, February 2003, 103.

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The same map shows the farmstead, outlined by fence, to include the house and what appears to be a smaller stable than what stands today. A shed, and the building that would be called the garage, are not depicted.

The federal census of 1920 captures the Matías Martínez household. The widowed Matías, then 58, lived with his son Facundo, 25, and daughter, Cesaria, 22.⁶ The latter would inherit the farm. Matías and Facundo are both shown to be growers working their own land. Neighbors surround them with Spanish surnames – Rodriguez, Mora, Rivera – all of whom live on farms.

Martinez-River Home

Three years later, Cesaria married José Rivera, who may have been a neighbor. The couple lived in the Martínez family home. According to a 1998 oral history conducted with Matías Rivera (the son of Cesaria and José), his father constructed the garage in the late 1930s to house the family's first vehicle – a 1937 Plymouth.⁷ José additionally made changes to the house, not included in this study.

The area remained rural and in agricultural production through the Great Depression. But with the outbreak of World War II — as most of its working-age male population left to serve overseas and a subsequent postwar switch to a cash economy — agriculture diminished.

Matías Martínez died in his home on May 31, 1947, at age 90. A short obituary appeared on the front page of the *New Mexican*. Following tradition, the body lay in state in the family home for a week, followed by a funeral mass at Cristo Rey Church.

Cesaria and José remained at the family home. The property changed in use from this point on, moving from an active farm to mainly a residence. José worked as a mailman for the postal service, where his brother-in-law, Antonio F. Martínez, was the postmaster. There was little time, motivation, or need to farm. However, a 1969 aerial photograph shows the upper fields plowed, suggesting some continuing agricultural use of the property (Figure 6).

⁶ United States Federal Census, Year: 1920, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T625_1080; Page: 1A; Enumeration District: 127.

⁷ Sze, "Matías Martínez Farm," 10.

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The last glimpse of the family is found in the 1950 census. Paying a visit in early April, the census taker recorded a household of nine persons.⁸ It included Cesaria and José, two of their daughters, and their husbands and children. Three adult males worked for the post office; a fourth was serving in the army.

At the same time, small changes arrived in the upper canyon, including the paving of portions of the road and the introduction of school bus service.

Cesaria M. Rivera died at the family home in 1994. She was 98 and had lived all but six years of life at the home.⁹ Following probate, her son Matías Rivera took over the property. It stayed in family ownership for almost 20 more years until Matías J. Rivera passed in 2013.

Visual Evidence

While not precise, aerial photographs help establish a building's origin and evolution. An aerial photograph's usefulness depends on the airplane's altitude, time of year, and conditions on the ground, including tree cover. These factors, along with natural geometric distortions caused by the camera, limit the usefulness of aerial photographs — typically to only validating a building's existence and relative footprint during the flight.

1935-37

A building in this relative position shows on the 1935-37 Soil Conservation Service aerial (Figure 4). While fuzzy, the image captured a square-plan structure set at the end of the driveway. This structure may connect with Matías Rivera's statement in 1998 that his father built it to house the family's 1937 Plymouth.

Its current opening, at 7'-10", would have posed a challenge for the car and its owner. A late 1930's Plymouth had a chassis length of 13'-4" (body length unknown) and a body width of around 6'. Considering wall thickness, the driver and passengers would have

⁸ United States Federal Census, 1950, Census Place: Santa Fe, Santa Fe, New Mexico; Enumeration District: 26-4, Sheet 13; Record Group 29, Records of the Bureau of the Census; National Archives and Records Administration, Washington, DC, downloaded from <https://1950census.archives.gov>.

⁹ "Cesaria M. Rivera," *Santa Fe New Mexican*, April 6, 1994, B-2.

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had little space to maneuver after exiting the vehicle. This is not to cast doubt on family history but to suggest the opening has been modified.

1948

Ten years later, a 1948 flight captures what seems to be the same building in the same position (Figure 5).

1969

Aerial coverage for the area is infrequent and only picked up again in 1969. A flight from February 27 of that year documents the same building (Figure 7). While inconclusive, it seems the north elevation window was not present at the time. Additionally, the east elevation does not appear to have an overhang. If accurate, these support the assumption that the roof has been changed and the windows added.

Evaluation of Historical Status

Constructed potentially as early as 1937, the building has experienced several alterations, including likely a reconstruction of walls, a roof replacement, a probable shift in the primary façade opening, and a change and/or addition of doors and windows. Still, the building has retained its overall form, design, and footprint over the years.

While not significant in its own right, it is a surviving component of a historic farmstead and, in this way, helps to maintain the setting and context of the property and its Significant-status house.

For these reasons, the recommendation is to designate it a Contributing Structure to the Downtown and Eastside Historic District.

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Illustrations



Figure 1: Relative location of building in relation to Santa Fe in 1889.
USGS quadrangle, "Santa Fe, N. Mex.," 1889, 1:25,000.

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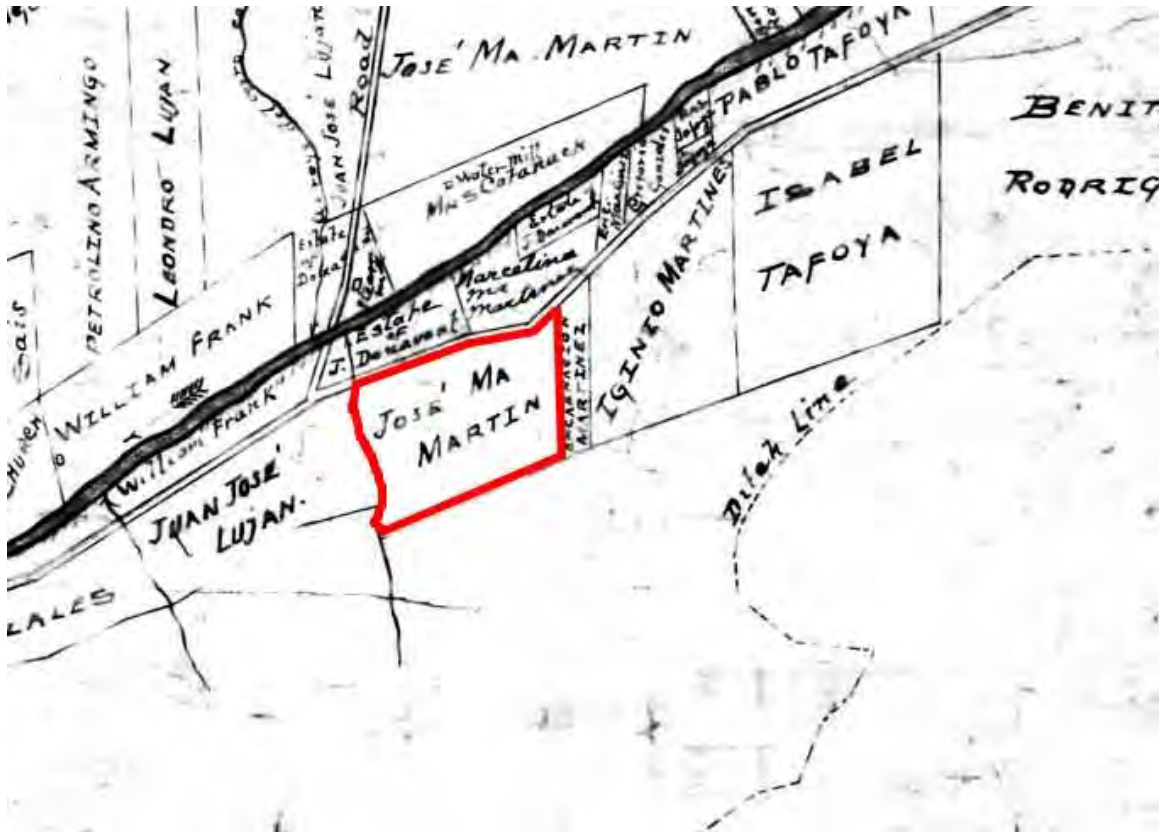


Figure 2: Subject parcel under ownership of José María Martín. William White, “Owners of Land Within the Santa Fe Grant Outside the City Limits,” 1897-98.

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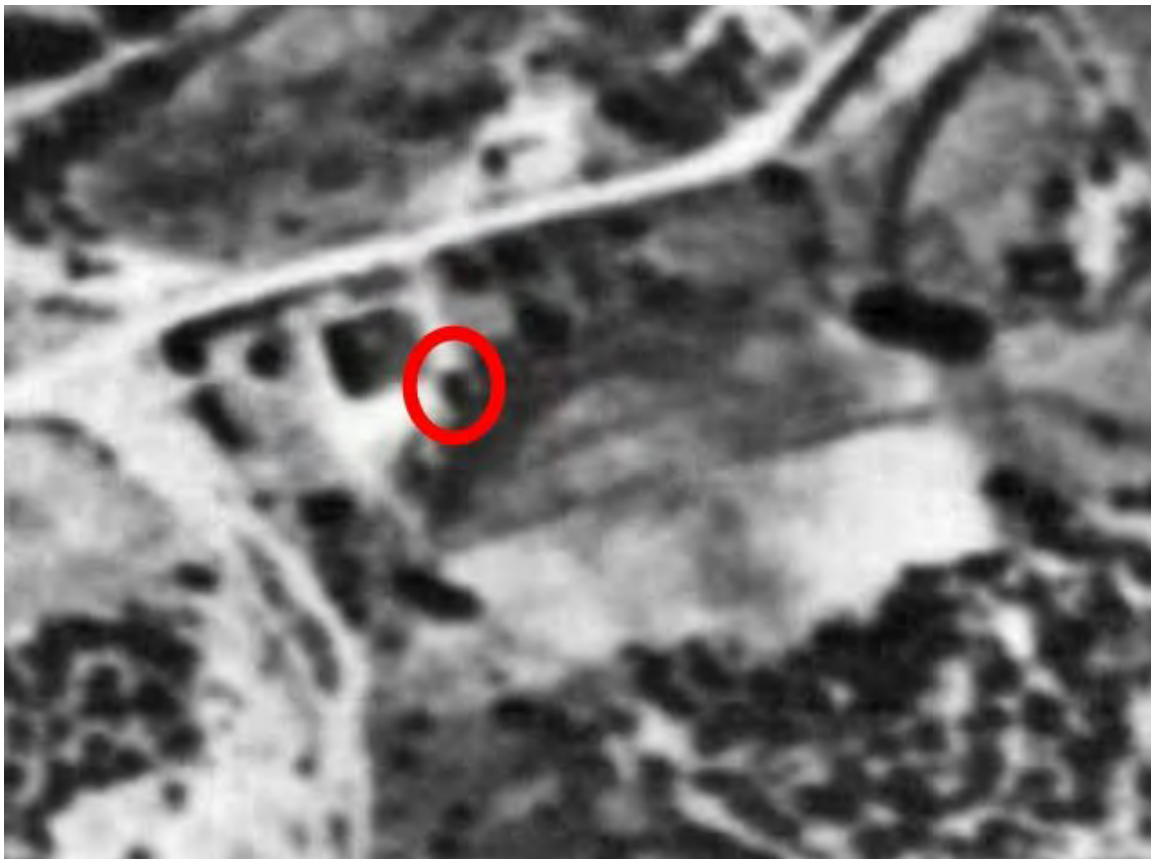
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Figure 3: Matías Martínez farm.
State Engineer’s Office, “Santa Fe Hydrological Survey, Santa Fe: State Engineer’s Office, 1914 (1919), Sheet 6.

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**Figure 4: Assumed subject building circled.
1935-37, aerial photograph.**

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**Figure 5: Assumed subject building circled.
October 25, 1948, aerial photograph.**

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**Figure 6: Relict farmstead.
February 27, 1969, aerial photograph.**

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**Figure 7: Subject building circled.
February 27, 1969, aerial photograph.**

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Survey Photographs

(All images taken by Robyn Powell on April 18, 2022, unless otherwise noted)



**Photo 1: View of building from Upper Canyon Road.
Camera facing south.**



**Photo 2: House and garage.
Camera facing north.**

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**Photo 3: View of publicly visible façades from Upper Canyon Road.
Camera facing southwest.**



**Photo 4: North and west elevations
Camera facing southeast.**

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Photo 5: East elevation.
Camera facing west.



Photo 6: South elevation.
Camera facing north.

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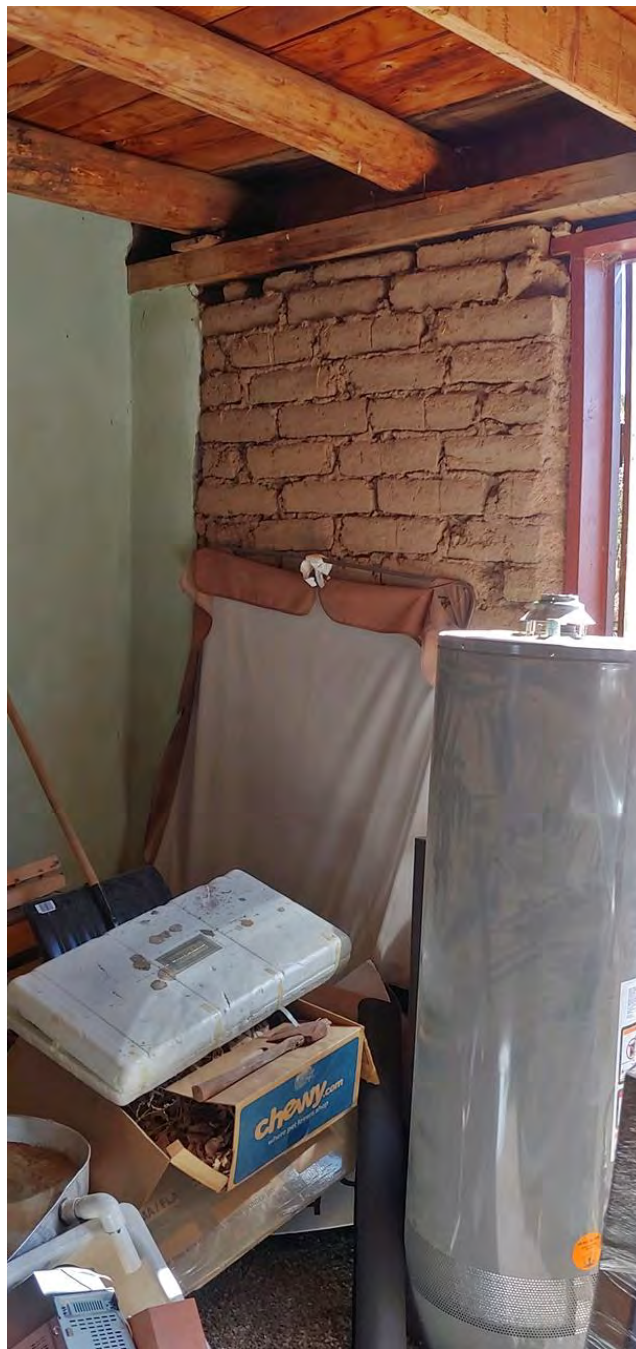
Photo 7: West elevation.
Vertical cracking highlighted.
Camera facing east.



Photo 8: Roof structure and decking.
Camera facing up toward west elevation opening.

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**Photo 9: Adobe infill, southwest corner.
Camera facing southwest.**

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**Photo 10: Interior, north wall, core sample (CMU).
Richard Horcasitas.
April 30, 2022.**

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**Photo 11: Interior, south wall, core sample (adobe).
William Powell.
May 3, 2022.**



Garage: East Elevation Existing



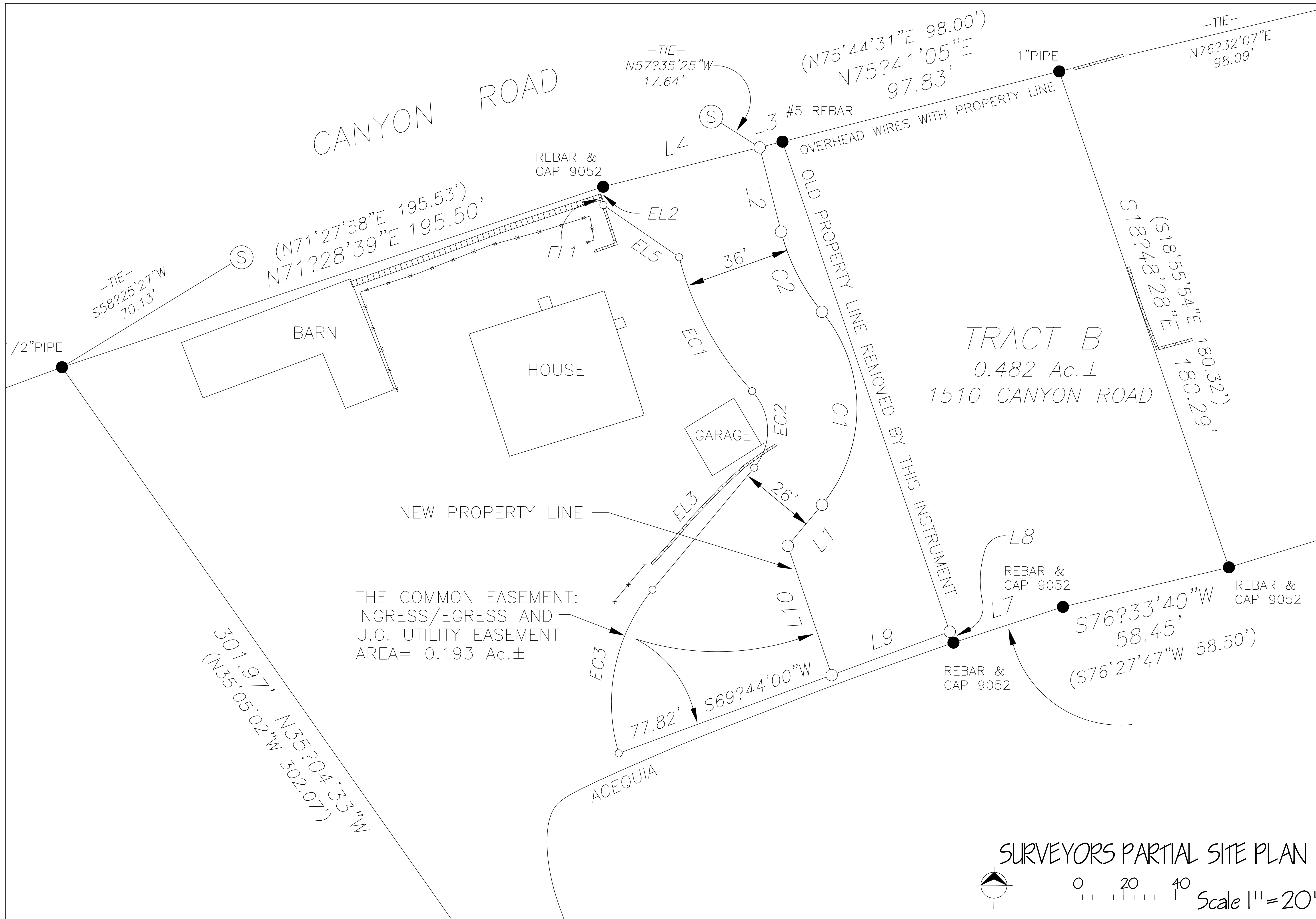
Garage: West Elevation Existing



Garage: South Elevation Existing



Garage: North Elevation Existing



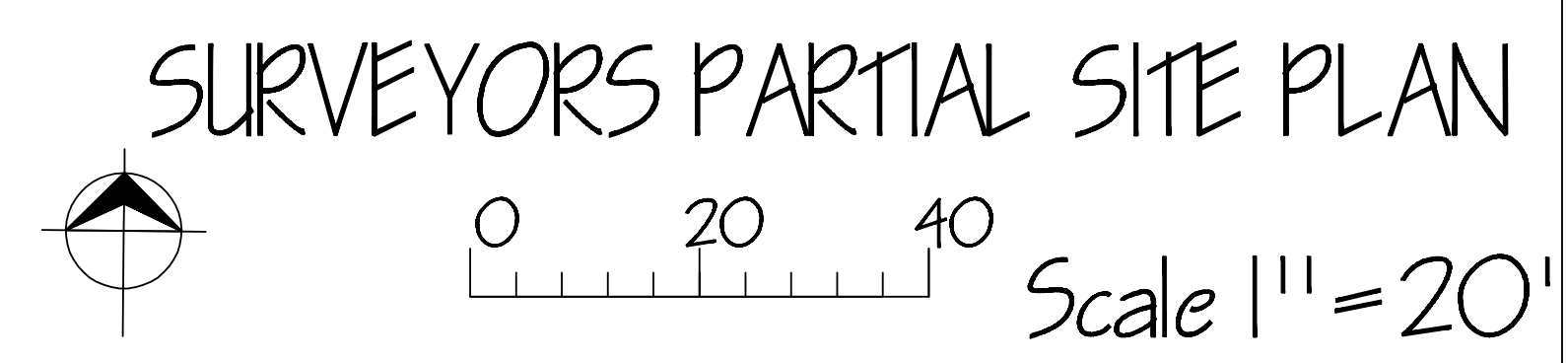
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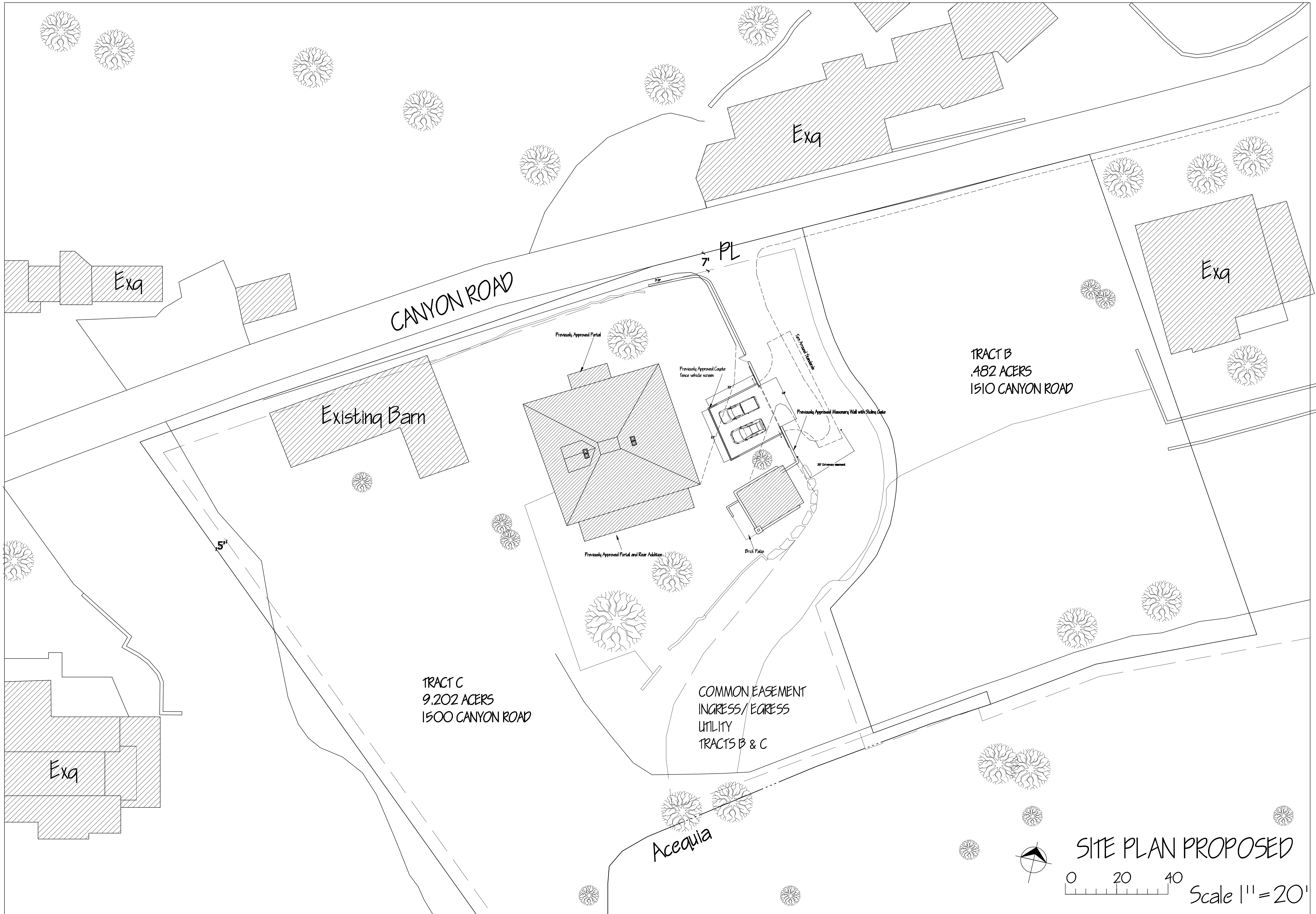
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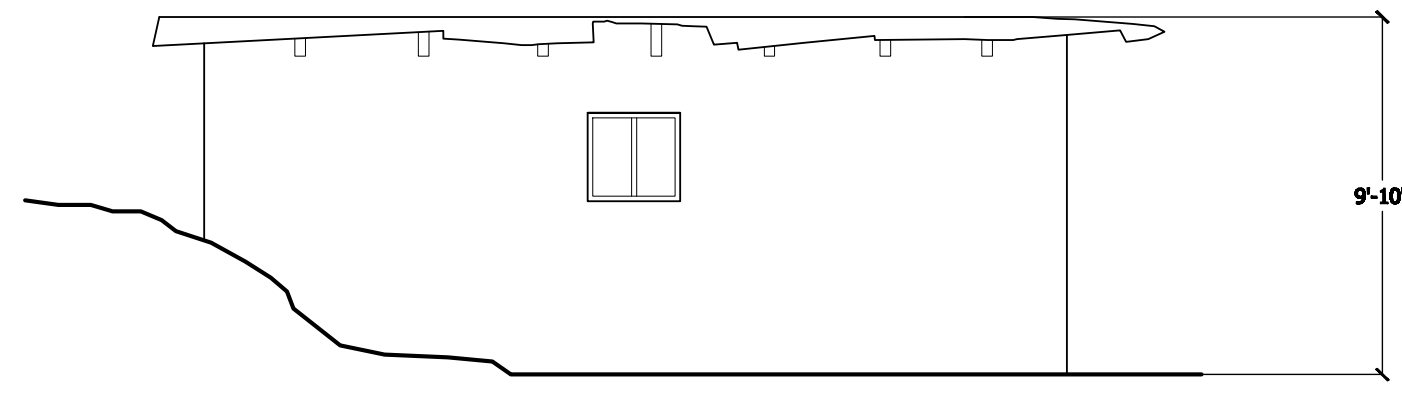
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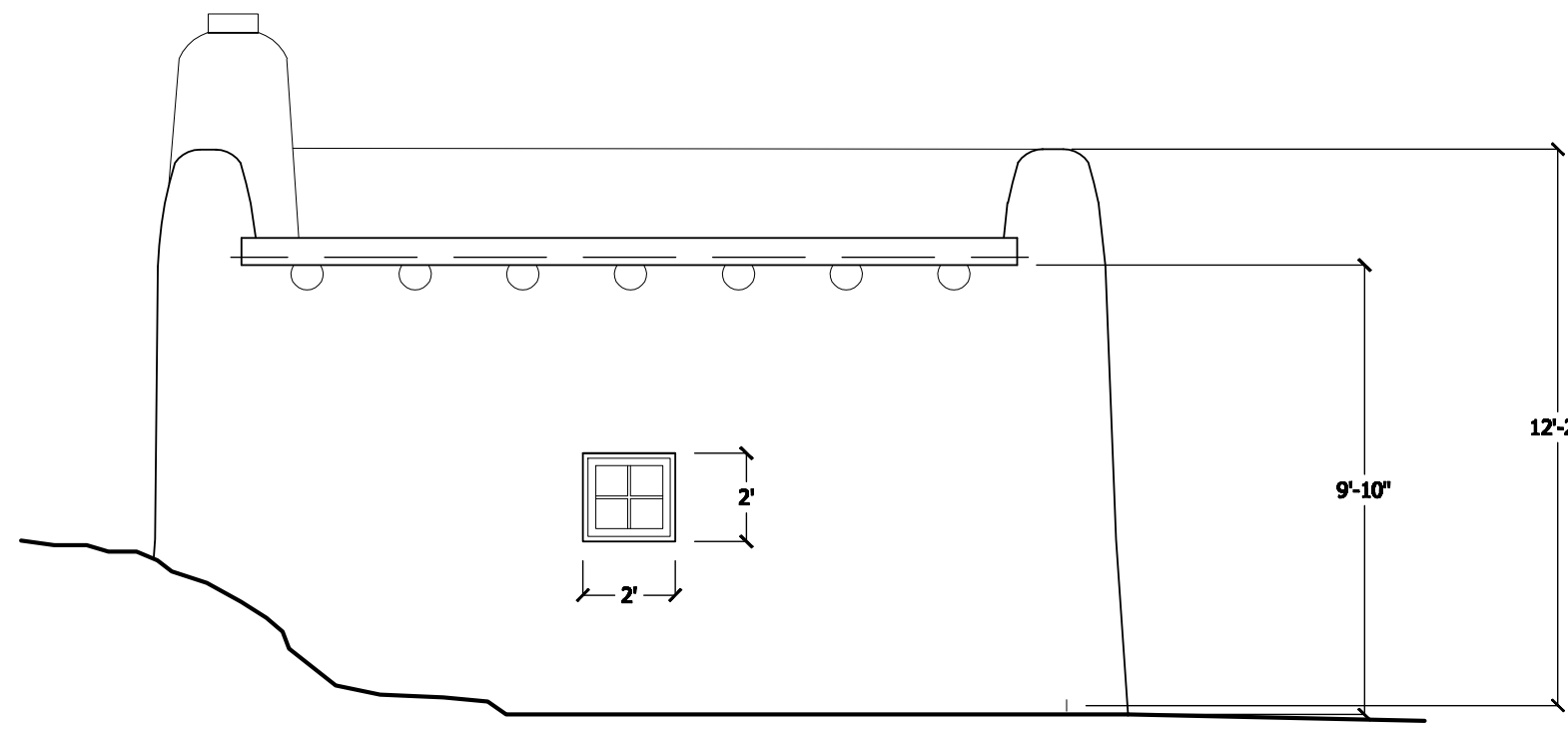
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 are provided to the owner as
 instruments of service to be
 used solely for design comment
 to WM Studio. They are not to
 be used for construction or any
 other purpose without express
 written consent of WM Studio.

Sheet #
AS 103

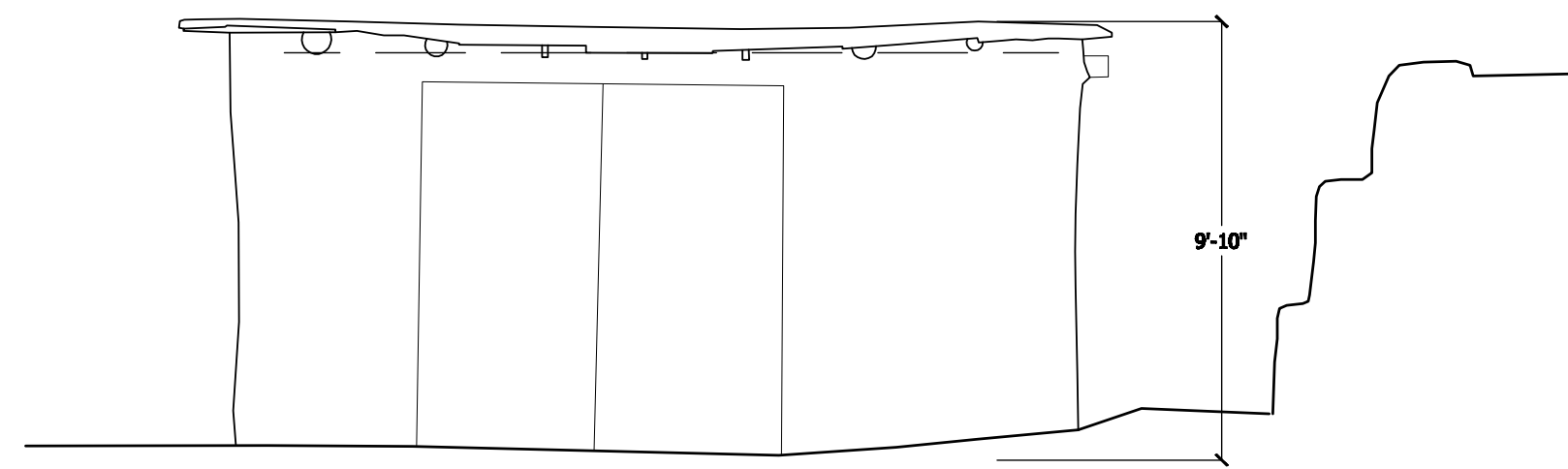
ARCH 2109



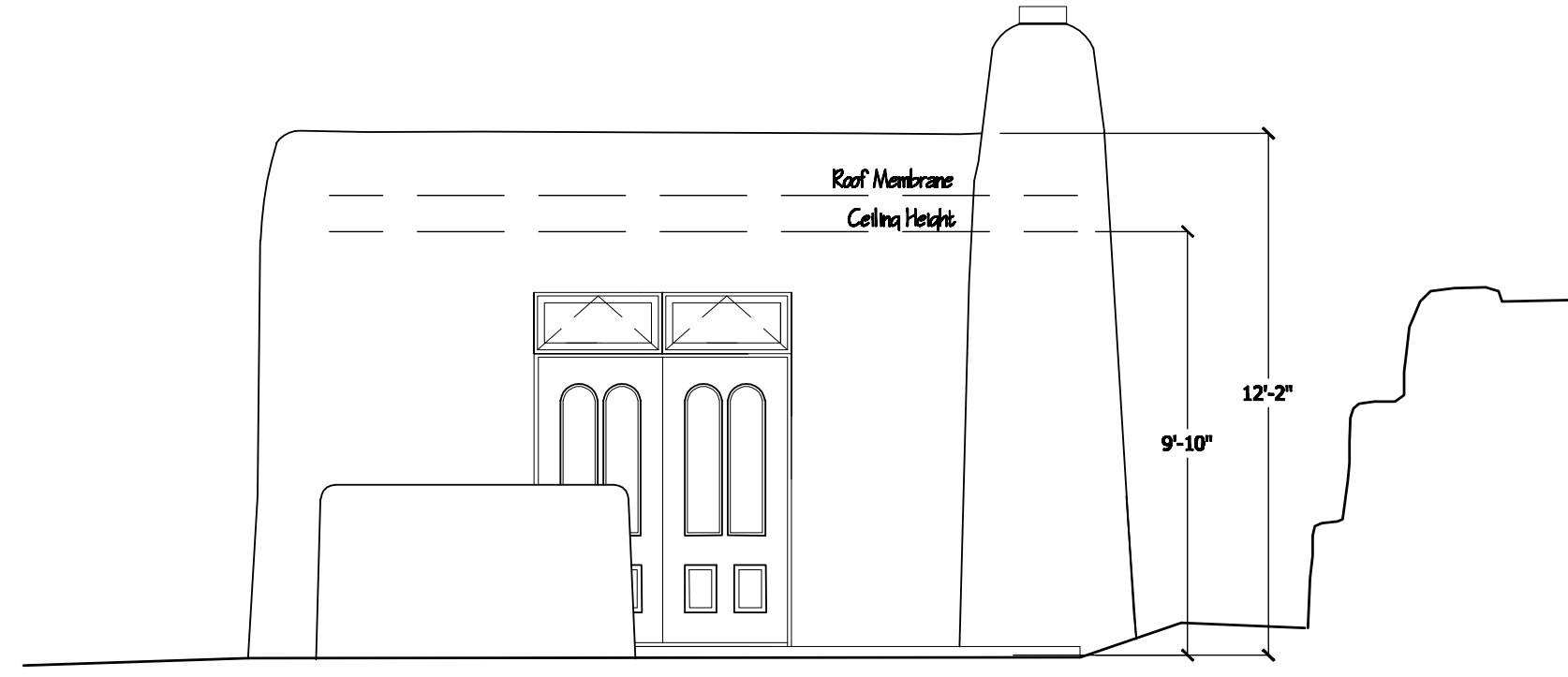
East Elevation - existing



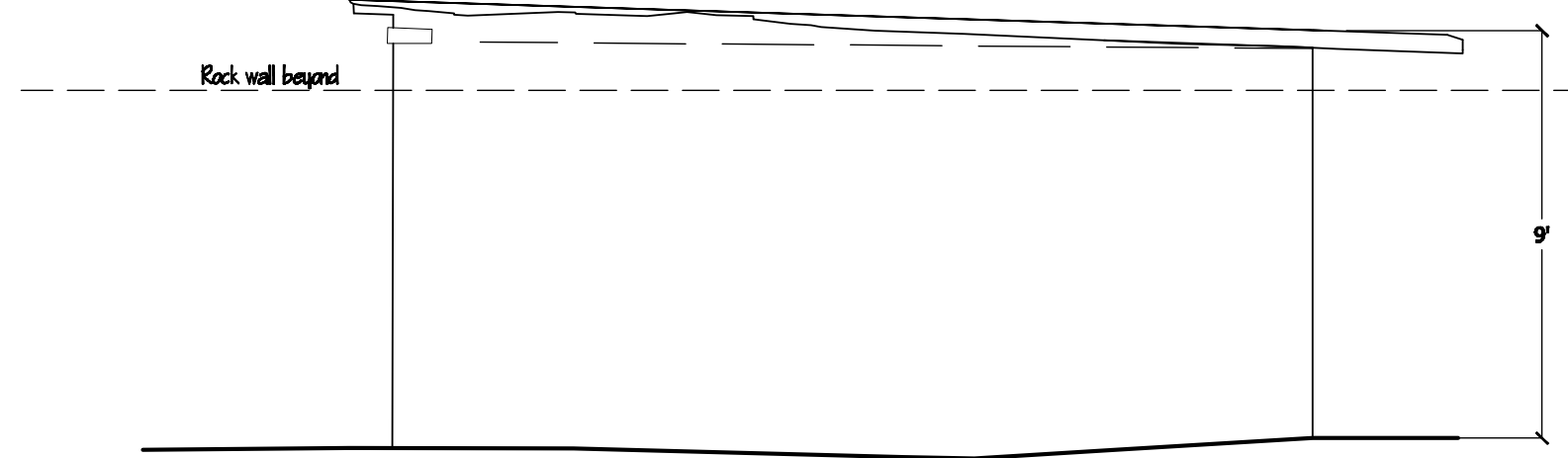
East Elevation - proposed



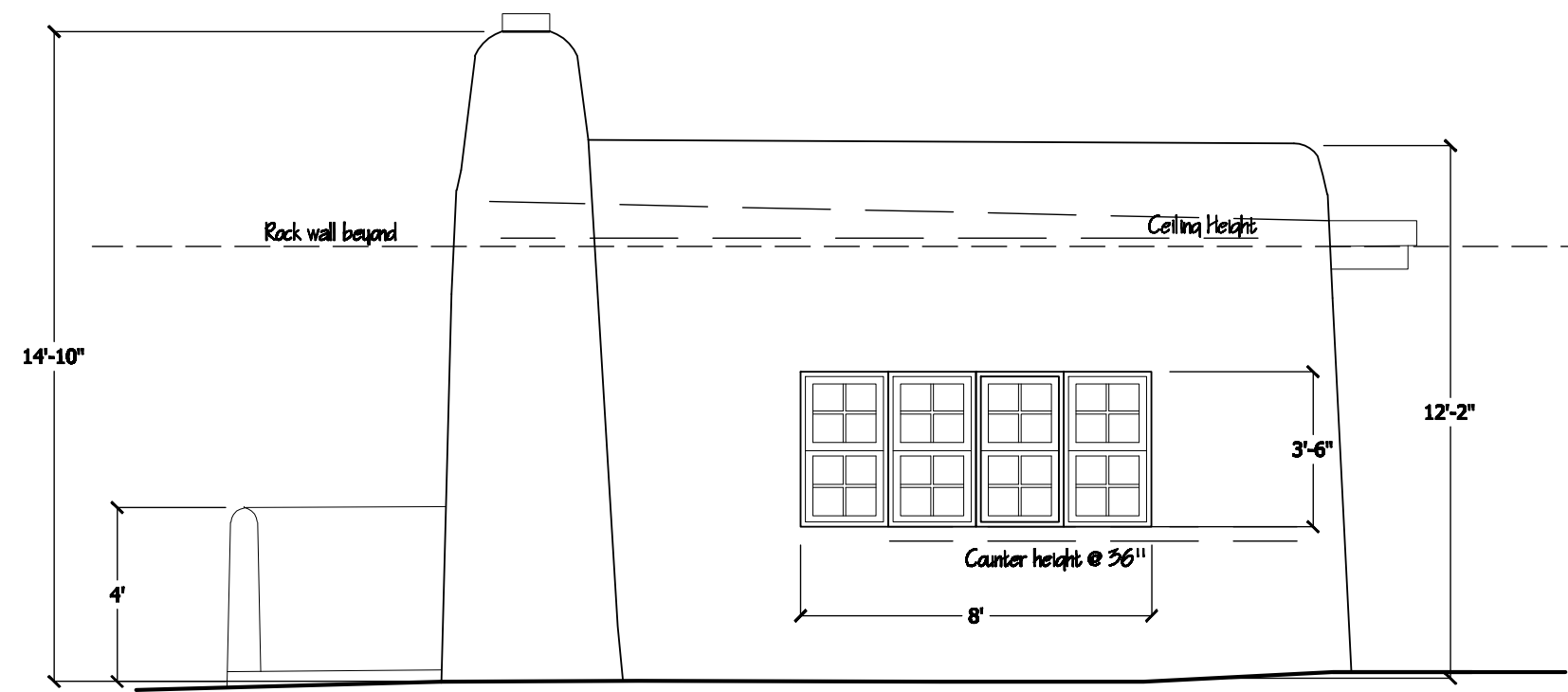
West Elevation - existing



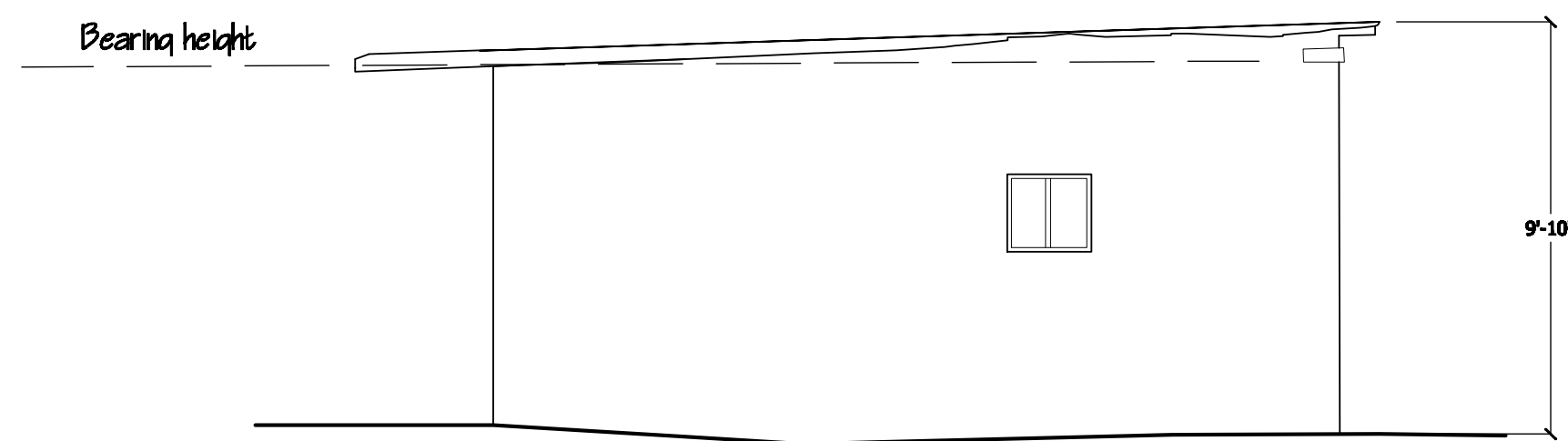
West Elevation - proposed



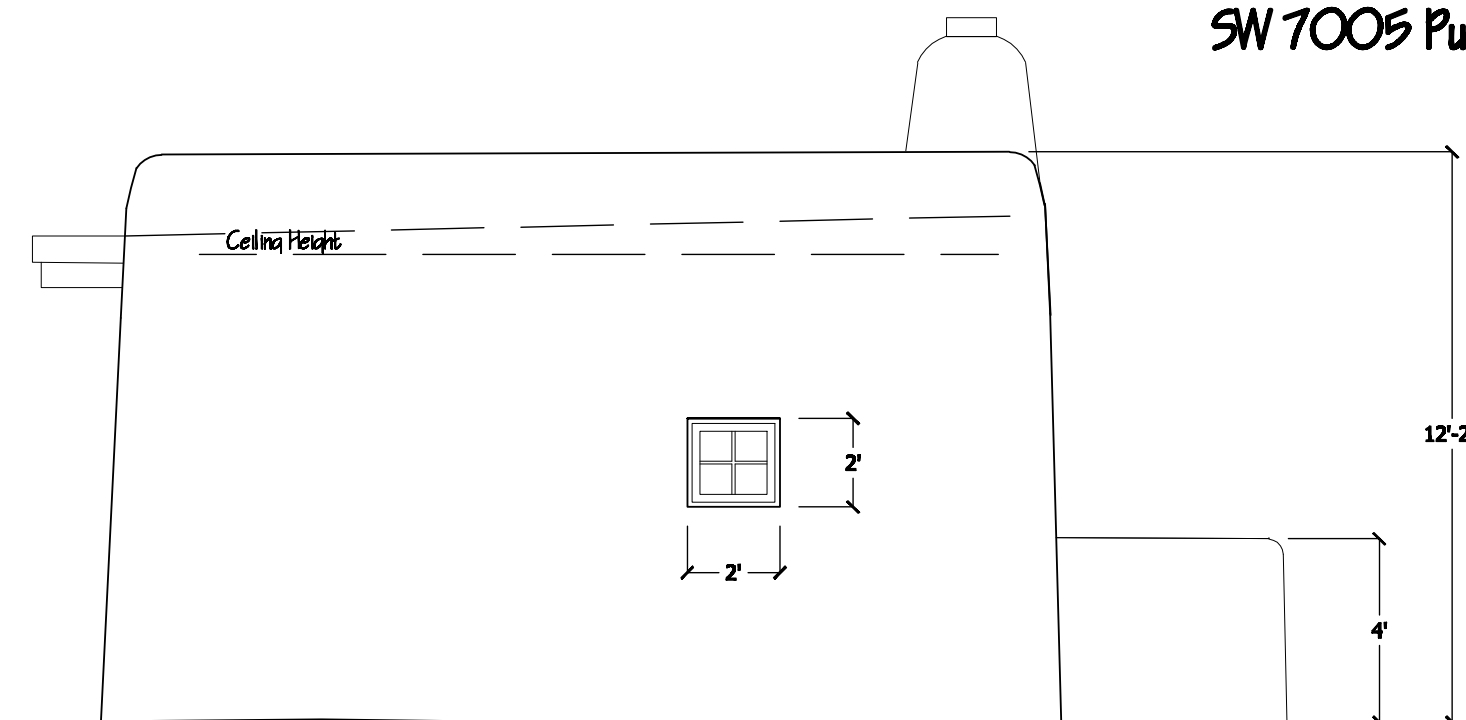
South Elevation - existing



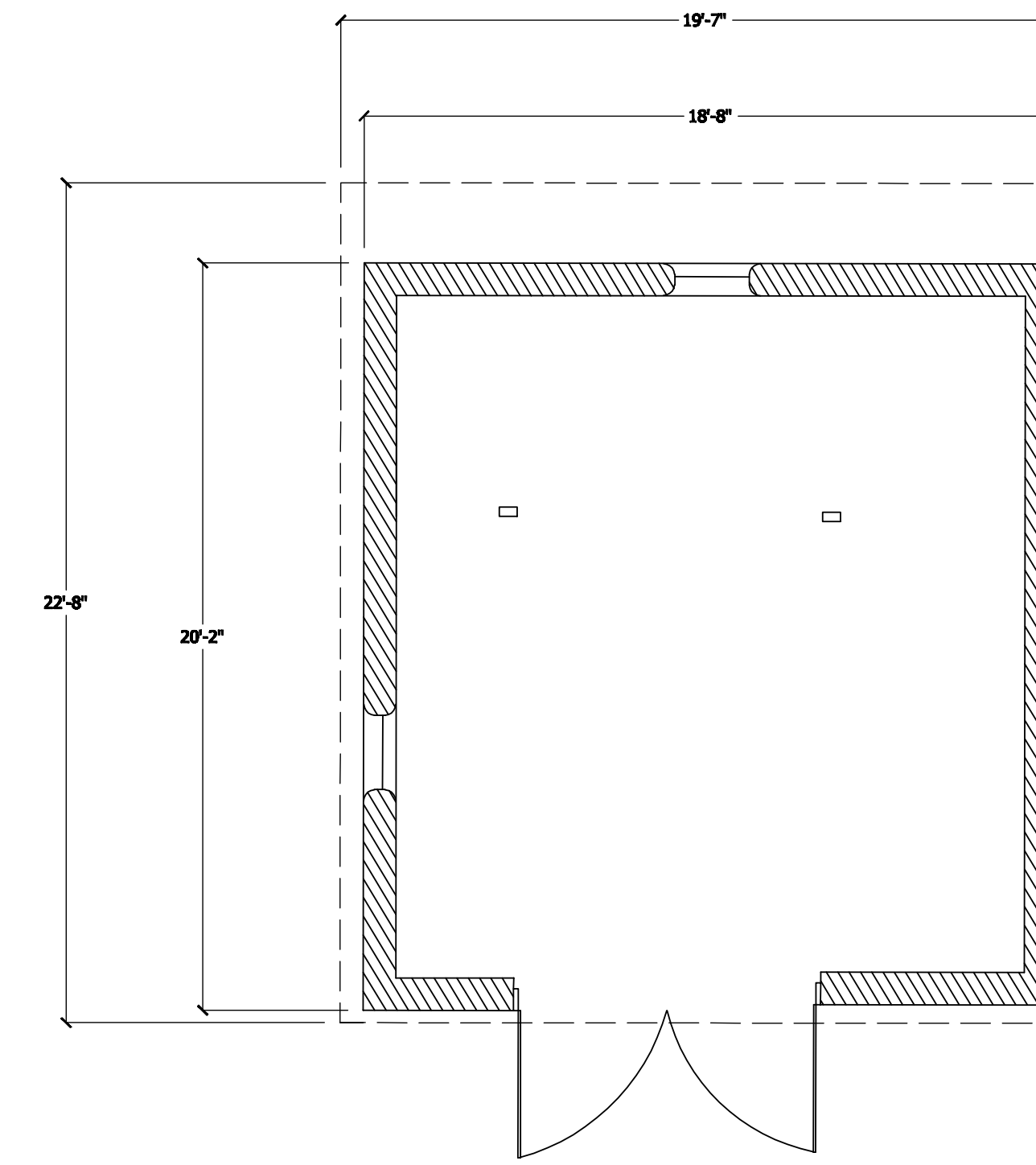
South Elevation - proposed



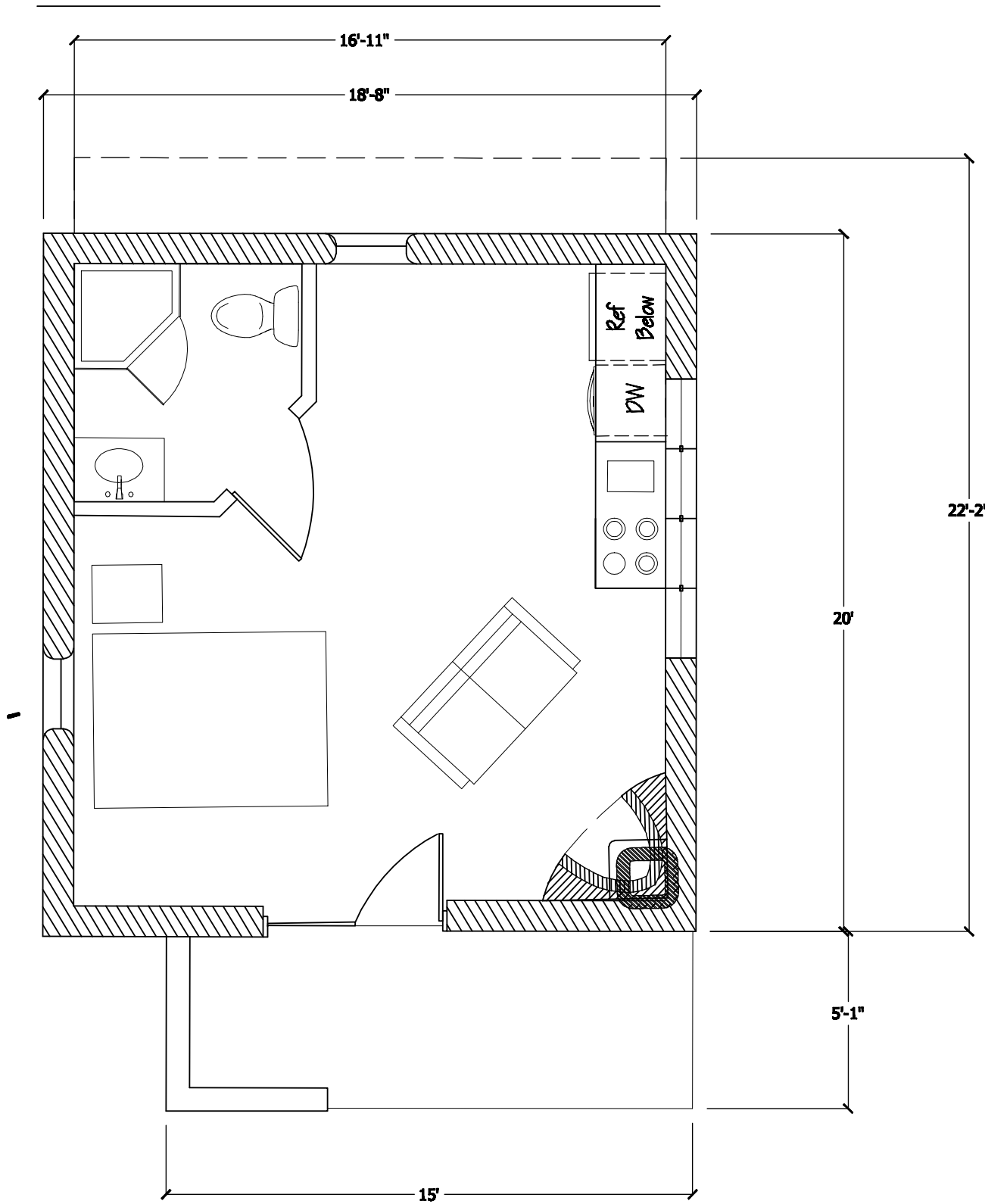
North Elevation - existing



North Elevation - proposed



Plan - existing



Plan - proposed

Finishes
 Proposed Exterior Plaster - Color -
 El Rey # 125 "La Luz"

Kalbe Windows - Color -
 Ultra Pure White

Exterior Trim,
 SW 7005 Pure White

ELEVATIONS
 0 5 10 15 Scale $\frac{1}{4}'' = 1'$

WH Studio LLC

1601 Don Gaspar
 SANTA FE, NM 87505
 PHONE 505-603-3747

1500 Upper Canyon Road
 Santa Fe, New Mexico 87501

DATE: 12-13-21 R 12-22-21 P

©2021

WH Studio LLC

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Sheet #
 A 205

ARCH 2109

Exterior Finishes for 1500 Upper Canyon Road

- 1) Exterior Stucco color for Home and Yard Walls –
El Rey 125 La Luz



- 2) Exterior Paint color for all exterior Trim including rafters, roof overhang columns etc. –
SW 7005 Pure White (top)
- 3) Exterior Paint color for Windows –
Ultra Pure White (bottom)



- 4) Exterior Light sconce -
Locally made by craftsmen



City of Santa Fe, New Mexico

memo

DATE: June 14, 2022
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, Historic Preservation Division Manager

Case # 2022-005376-HDRB

Address: 223 ½ Rodriguez St.
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Wall and Building Height
Calculations

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: N/A

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

223 ½ Rodriguez Street is a single-family L-shaped residence listed as non-contributing to the Downtown and Eastside Historic District. The house was built into the hillside with adobe and in a Vernacular Style with flat and shed roofs. The north portion of the house was built between 1910 and 1920, with the south section being built in the 1950s. By 1985, aluminum casement and slider windows replaced historic windows. The structure developed further to the east after 1985. Window and door openings appear to have changed over time to accommodate larger window sizes, which currently appear as an assortment. In 1985, before the most recent addition, it was determined non-contributing due to the number of alterations.

This appears to be the first application to the HDRB for this property.

Now, the applicant proposes the following exterior alterations:

- 1) Remove the existing roof and raise the height of the new flat roof with parapet for a maximum height of 12'-6", which is within the maximum allowable height of 15'-7".
- 2) Construct new covered 150 sq. ft. portal at east courtyard with standing seam metal roof (color dark bronze), 8" diameter viga columns and carved wood corbels with Miniwax Early American stain.
- 3) Create three new openings to the interior courtyard at the south end of the residence for sliding aluminum casement doors with divided lights that will be Euro Bronze. The aluminum casement simulated divided light windows will be Antique Bronze 057 in color.
- 4) Create a new front entry at the Rodriguez Street elevation with covered canopy above with standing seam metal roof, which will be a dark bronze color. The canopy will project outward by 3'-0".
- 5) Construct 6'-0" high coyote fence, where the maximum allowable height is 6'-9", with stucco finished masonry base along Rodriguez to screen proposed utility area and new front entry. The appearance is meant to be like the adjacent 223 Rodriguez property.
- 6) Modify stucco finished retaining wall and site grading at southwest corner to allow for off-street parking access.
- 7) Construct stucco finished low 3'-6" wall with coyote fencing above along east property line. Total 6'-6"
- 8) Modify site grading to provide access to new front door location and to new utility area. Create two steps on the east façade for access into the courtyard.
- 9) Remove non-conforming metal decorative fencing at top of stone knee wall and replace with coyote fencing along south elevation. Repair gap in stone knee wall with stone to match existing wall.
- 10) Relocate power and gas utilities to northwest corner of the property.
- 11) Remove and replace the existing windows with divided light casement windows.
- 12) All stucco color is to be Sto synthetic San Juan 2088.
- 13) Behr Sunstone is proposed to for the paint color for the front door canopy support bracket inside the courtyard on the Rodriguez side.

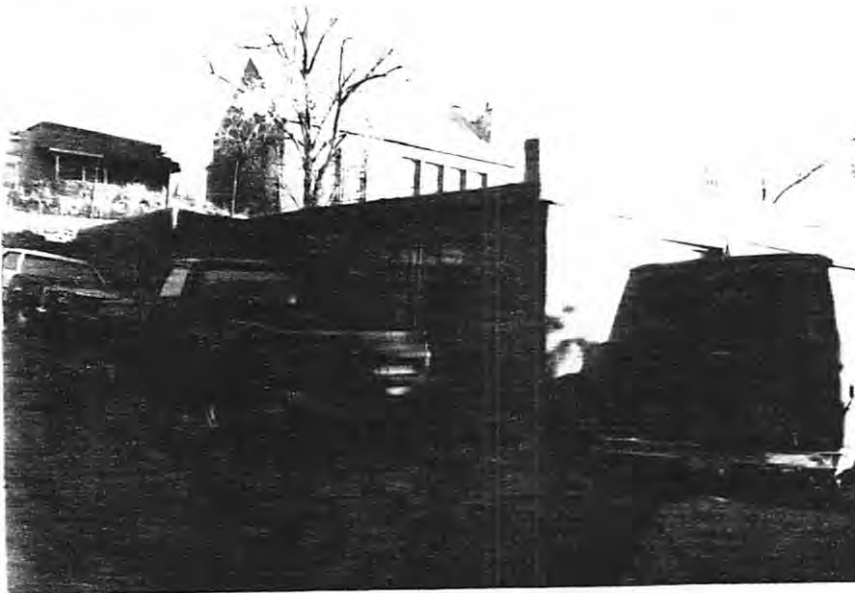
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H 3149

| | | | |
|------------------------------------------|-----------------------------|--------------------------|---------------------------------|
| building threatened? yes | surveyed date 3/85 by SL | county SANTA FE | ID no. 05161214 ⁷ |
| field map SFHD #2 | number 2147 | UTM reference zone 12 13 | easting northing |
| location description 22 1/2 Rodriguez | | city/town SANTA FE | |
| | | land grant/reservation | |

| | |
|---------------|---------------------------------------------------------------------|
| building name | legal description tnsp ___ N S range ___ E W sec ___ 1/4 ___ 1/4 |
|---------------|---------------------------------------------------------------------|

| | | | |
|---------------------------|---------------------|---------------------|-------------------------------------------------------------------------------------------------------------|
| film roll by SL no. 40 | negative nos. 10 | loc. of neg. HPB | plan shape bermid  |
|---------------------------|---------------------|---------------------|-------------------------------------------------------------------------------------------------------------|



| |
|-----------------------------------------------------------------|
| date of construction 1910 estimate ___ actual ___ |
| source 1910-1920 - older portion |

| |
|-----------------------------------------------------------------------------|
| use present <input checked="" type="checkbox"/> residential other ___ |
| historic <input checked="" type="checkbox"/> residential other ___ |

| |
|---------------------------------------------------------------------------------------------------|
| condition ___ excellent <input checked="" type="checkbox"/> good ___ fair ___ deteriorating |
|---------------------------------------------------------------------------------------------------|

| | |
|------|------------------------------------------------|
| NMOV | conc? wall material/surface adobe/stucco |
|------|------------------------------------------------|

| |
|------------------------------------------------------------------------------------------|
| degree of remodeling ___ minor <input checked="" type="checkbox"/> moderate ___ major |
| describe: new windows |

| |
|----------------------------------------------------------------------------------------|
| architectural features partial flat parapets concealing expos'd sheds w/ gutters |
|----------------------------------------------------------------------------------------|

| |
|---------------------------------------------------------------------------------------------|
| surroundings yes. |
| relationship to surroundings <input checked="" type="checkbox"/> similar ___ not similar |

| |
|---------------------------------------------------------------------------------------|
| district potential ___ yes ___ no |
| significance ___ eligible # of <input checked="" type="checkbox"/> none |

| |
|-----------------------------------------------------------|
| if eligible, interest why? n. contrib., alterations |
|-----------------------------------------------------------|

| |
|------------------------------------------------------------------------------------------|
| w/ndows: old portion: slid. alum; new: ^{new} 4/1, ^{v n} 4x3 mtl casemt |
|------------------------------------------------------------------------------------------|

| |
|---------------------------------------------|
| associated buildings? ___ yes what type? |
| if inventoried, list ID nos. |

| |
|------------------------------|
| comments d: 15 lit tandem |
|------------------------------|

| |
|-------------------|
| see back? ___ yes |
|-------------------|



223 1/2 Rodriguez St.
11/6/19

Total: 149.8
Count: 11
Avg: 13.62
Max: 15.7

| Property ID | Value | Type | Color | Notes |
|-------------|-------|------|--------|---------|
| 14.5 | 14.5 | C | Grey | |
| 16.2 | 16.2 | C | Orange | |
| 13.5 | 13.5 | C | Orange | |
| 14.8 | 14.8 | N | Yellow | |
| 10.1 | 10.1 | C | Grey | |
| 14.6 | 14.6 | N | Yellow | |
| 9.5 | 9.5 | C | Orange | |
| 10.3 | 10.3 | N | Yellow | |
| 11.1 | 11.1 | N | Grey | |
| 13.9 | 13.9 | C | Orange | |
| 15.5 | 15.5 | N | Yellow | Circled |
| 16.8 | 16.8 | C | Orange | Circled |
| 18.7 | 18.7 | N | Yellow | |
| 19.6 | 19.6 | N | Yellow | |
| 11.7 | 11.7 | C | Orange | |
| 14.8 | 14.8 | N | Yellow | |
| 21.2 | 21.2 | N | Yellow | |
| 15.2 | 15.2 | C | Orange | |
| 11.7 | 11.7 | C | Orange | |
| 14.5 | 14.5 | N | Yellow | |
| 29.8 | 29.8 | C | Pink | |
| 11.4 | 11.4 | C | Pink | Circled |
| 12.7 | 12.7 | C | Orange | Circled |
| 11.9 | 11.9 | C | Orange | |
| 12.8 | 12.8 | C | Orange | |
| 25.3 | 25.3 | C | Pink | |
| 18.6 | 18.6 | C | Orange | |
| 19.2 | 19.2 | N | Yellow | |
| 12.4 | 12.4 | C | Orange | Circled |
| 9.8 | 9.8 | C | Orange | |
| 23.8 | 23.8 | C | Pink | |
| 8.4 | 8.4 | C | Pink | Circled |
| 9.5 | 9.5 | N | Yellow | |
| 12 | 12 | N | Yellow | Circled |
| 15.9 | 15.9 | C | Orange | Circled |
| 12 | 12 | N | Yellow | Circled |
| 11.9 | 11.9 | C | Orange | |
| 15.5 | 15.5 | C | Orange | |
| 10.9 | 10.9 | C | Orange | |
| 15.2 | 15.2 | C | Orange | |
| 9.2 | 9.2 | C | Pink | |
| 17 | 17 | C | Orange | |
| 12.5 | 12.5 | C | Orange | |
| 9.5 | 9.5 | C | Grey | |
| 23.8 | 23.8 | S | Green | Circled |
| 10.5 | 10.5 | C | Orange | |
| 11.5 | 11.5 | N | Yellow | |
| 13.6 | 13.6 | N | Yellow | |
| 9.2 | 9.2 | N | Orange | |
| 20.9 | 20.9 | N | Yellow | |
| 13.9 | 13.9 | N | Yellow | |
| 27.1 | 27.1 | C | Pink | |
| 32.1 | 32.1 | C | Pink | |
| 19 | 19 | C | Orange | |
| 19 | 19 | S | Green | |
| 11.6 | 11.6 | C | Yellow | |
| 12.8 | 12.8 | C | Orange | |



CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION

1. Applicant Information (to be completed by the Applicant)

Date: 3 MAY 2022 Location of Project: 223 1/2 RODRIGUEZ ST.

Applicant

Name: JOHN PADILLA AIX

Phone: 505.660.1682 Email: JA.PADILLA.ARCHITECT@GMAIL.COM

Property Owner

Name: RICHARD G. FULLERTON

Phone: 759.219.4300 Email: RICHARDFULLERTON.ARCHITECT@GMAIL.COM

Proposed Work:

COMPLETE RENOVATION OF 223 1/2 RODRIGUEZ ST. NO CHANGE TO PERIMETER CONDITIONED SPACE FOOTPRINT. ADDED PORTAL AT REAR YARD.

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: _____

Date Assigned: _____ PAR No.: _____

Date of Site Visit: _____ Time: _____

Historic District: _____

Historic Status: _____

Primary Elevations: _____

Previous HDRB and Admin Cases: _____

Archaeological compliance required? Yes No

Administrative or HDRB?

Admin

HDRB

If HDRB, exceptions required? (Complete prior to application acceptance.)

Yes

No

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santafenm.gov/historic_preservation.

Application Submittal Date: _____

Desired Hearing Date: JUNE 14 2022

Project Type:

Status

Primary Elevation Designation

New Construction

Remodel

Sq. Ft. of project: _____

Sq. Ft. of project: 1484 EXISTING

Construction Cost: EST. \$ 400,000

AFIDAVIT AUTHORIZING AGENT/APPLICANT

As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name RICHARD G. FOLEYTON

Signature 



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|
| To Be Completed By Applicant: | Site Address: |
| Date Submitted: <u>04/28/2022</u> | <u>22 1/2 Rodriguez Street.</u> |
| Property Owner of Record: <u>Richard Fullerton</u> | Proposed Construction Description: |
| Applicant/Agent Name: <u>John A. Padilla</u> | <u>Renovation of existing residence</u> |
| Contact Person Phone Number: <u>505-660-1682</u> | TOTAL ROOF AREA: <u>1,620 SF.</u> |
| Zoning District: <u>R-21</u> | Lot Coverage: <u>53</u> % |
| Overlay: <input type="checkbox"/> Escarpment <u>-na-</u> | <input checked="" type="checkbox"/> Open Space Required: <u>1,220 SF</u> |
| <input type="checkbox"/> Flood Zone* | Setbacks: <u>provided: 1,424 SF</u> |
| <input checked="" type="checkbox"/> Other: <u>Downtown & East Side.</u> | Proposed Front: <u>EXIST'G</u> Minimum: _____ |
| Submittals Reviewed with PZR: | 2 nd Front? _____ |
| <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans | Proposed Rear: <u>EXIST'G</u> Minimum: _____ |
| <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations | Proposed Sides: L _____ R _____ Minimum: _____ |
| Supplemental Zoning Submittals Required for Building Permit: | Height: Proposed <u>EXIST'G</u> <u>12'-4"</u> |
| <input type="checkbox"/> Zero Lot Line Affidavit | Maximum Height: <u>15'-7"</u> or |
| Access and Visibility: <input type="checkbox"/> Arterial or Collector** | <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance |
| <input type="checkbox"/> Visibility Triangle Required | <input type="checkbox"/> Regulated by Escarpment District |
| Use of Structure: <input checked="" type="checkbox"/> Residential | Parking Spaces: <u>(TANDUM)</u> |
| <input type="checkbox"/> Commercial Type of Use: <u>-na-</u> | Proposed <u>2</u> Accessible _____ |
| Terrain: <input type="checkbox"/> 30% slopes <u>-na-</u> | Minimum: _____ |
| | Bicycle Parking**: |
| | Proposed: <u>↔</u> Minimum: _____ |
| | ** Commercial Requirement |

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

John A. Padilla. [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE: [Signature] DATE: 04/28/2022

| | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|
| To Be Completed By City Staff: | 2022-005295-PAR |
| Additional Agency Review if Applicable: | |
| <input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___ | |
| <input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___ | |
| Notes: _____ | |
| Zoning Approval: | |
| <input type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input type="checkbox"/> Rejected | |
| Comments/Conditions: <u>Legal lot of record established. Overall lot coverage will be at 53% where it has previous approval to have lot coverage of 55%. Private open space provided does not change. Fence on retaining wall shall not exceed the maximum height of 10'0".</u> | |
| REVIEWER: <u>Lani J. McCulley</u> | DATE: <u>04/29/2022</u> |
| Original color form must be submitted with Historic Districts Review Board (HDRB) application packet. | |

**Historic District Review Board
Proposal Letter**

Property Location:
223 ½ Rodriguez Street, Santa Fe, NM

May 6, 2022

Dear Review Board:

This letter is to outline renovation and alterations proposed for the 1484 sq. ft. residence located at 223 ½ Rodriguez Street.

The residence is in the Downtown and East Side historic district and its status is non-contributing. It is our position that the residence should remain non-contributing supported by the numerous changes over the years to this structure with the introduction of new window and door openings and other changes. The installation of modern doors and windows with large, glazed areas and metal clad doors with protective screens at those door openings. Changes to the residence over the years has compromised the historic integrity of the residence and possible historic elements have been removed supporting our position of a non-contributing status.

The plans include a covered projection above the front door, and a covered portal within the rear east courtyard. Proposed renovations do not increase the square footage of footprint and all existing exterior perimeter wall lines remain. Site improvements include installation of coyote fencing/gates along Rodriguez Street and along the east and south property lines. The proposed modifications to provide access to new front door on the west elevation and will allow for two off-street parking spots.

The property was recently purchased for my residence recognizing that it required a total renovation. The construction is a mix of adobe, concrete block, and wood frame construction.

The property will remain a single-story single-family residence and its renovation will be an improvement to the neighborhood. In its current state the residence is currently uninhabitable.

Primary changes to the exterior will raise the roof structure approximately 30" to 36". Currently, ceiling heights range from 7'-2" to 7'-8 and the plan is to raise the ceiling height to nine feet to underside of viga's and provide new structure incorporating code compliant insulation. Also requested is to build a covered portal within the rear east courtyard. Exterior building improvements include new divided light insulated windows in compliance with Historic Board design requirements and overall elevation improvements in the pueblo style.

The building is "L" shaped with one bar extending east/west, and the second bar extending north/south. The east/west bar top of parapet height will raise from 10'-01" to 13'-0" and the

north/south bar top of parapet height will raise from 10'-10" to 12'-4". Plans representing these proposed changes are included with this application

An itemized list of proposed exterior changes requesting HDRB approval include:

1. Remove and raise existing roof
2. Relocate power and gas utilities to northwest corner of the property.
3. Remove existing windows and replace with divided lite casement windows
4. Create three new divided lite openings and doors to the interior courtyard at the proposed portal and at the south end of the residence.
5. Construct new covered 150 sq. ft. portal at east courtyard with standing seam metal roof (color dark bronze).
6. Create a new front entry at the Rodriguez Street elevation with covered canopy above with standing seam metal roof (color dark bronze).
7. Construct stucco finished masonry base with 6' high coyote fence along Rodriguez to screen new utility area and new front entry. (Similar to adjacent neighbor at 223 Rodriguez)
8. Modify site grading to provide access to new front door location and to new utility area.
9. Modify stucco finished retaining wall and site grading at southwest corner to allow for safer off-street parking access
10. Construct stucco finished low wall with coyote fencing above along east property line.
11. Remove non-conforming metal decorative fencing at top of stone knee wall and replace with coyote fencing along south elevation. Repair gap in stone knee wall with stone to match existing wall.

We respectfully request the Boards acceptance of the proposed modifications to allow me to bring this residence back into the fabric of the historic Downtown and Eastside neighborhood.

If you have any questions or comments, please contact me, Dick Fullerton, at 754.219.4300 or at richardfullerton.architect@gmail.com

Or my Agent:

John A. Padilla, AIA PO Box 22986 Santa Fe, NM 87502 505.660.1682 japadillaarchitect@gmail.com

Sincerely,
Richard G. Fullerton
Owner

223 ½ Rodriguez Street – Existing Photos



West Elevation on Rodriguez Street - looking southeast



West Elevation – on Rodriguez Street



West Elevation on Rodriguez Street - looking northeast



South Elevation



South Elevation – from the parking area



South Elevation – inside the east courtyard



East Elevation – inside the east courtyard



East Elevation – inside the east courtyard



East Elevation – from adjacent property



East Elevation – from adjacent property



South Elevation – view into the parking area



South Elevation – wall along the south property line

Exterior Color Selection

223 ½ Rodriguez Street

Color Selection Narrative

Body of the house: The existing house appears to have multiple colors, but walls in the interior courtyard are in the taupe/sand/tan range which complements the earth and provides a subtle variation to the surrounding, mostly clay/orange range residences. *(please notice the compatibility of the existing color with neighbor's color).*

Sto Wall Color:

San Juan #54-2088 (color chart attached)

Door/Window Trim – pre-finished: Doors and windows are to have an aluminum exterior finish for weatherability, dark bronze color for the frame and divided lite patterns. The darker color frame offsets the wall color and helps the openings read as a void in the exterior walls – highlighting the characteristics of traditional pueblo construction.

- **Caseament Windows: Sierra Pacific - Antique Bronze – 057** (color chart attached)
- **Lift-Slide Doors: Euroline Steel Windows and Doors - Lift-Slide Doors - Euro Bronze** (color chart attached)

Featured wood elements: will be a tinted stain in the green/turquoise range. Color selected for these feature elements is:

Featured wood elements include:

- Portal Columns/Beams/Corbels
- Custom Front Door
- Front Door Canopy Support Brackets

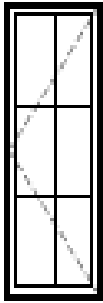
Feature wood element color: Behr M430-4 Sunstone - (color chart attached)

Portal Ceiling/Framing/Front Door Canopy Framing: Minwax Stain. Early American Stain on cedar.

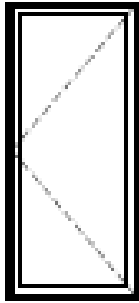
Minwax Early American Stain on Cedar: (color sample attached)

Exterior Casement Windows and Lift-Slide Doors

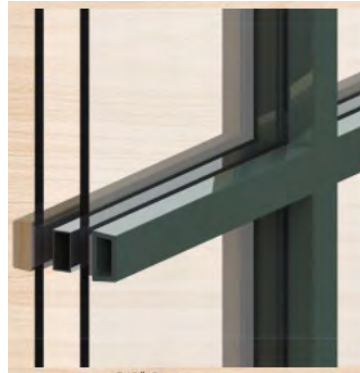
Sierra Pacific Casement Windows
Aluminum clad wood windows



C-WC-1854



C-WC-2454*



Single or Double leaf casement
w/2 over 3 simulated divided lite

Simulated divided lite detail
Color: Antique Bronze

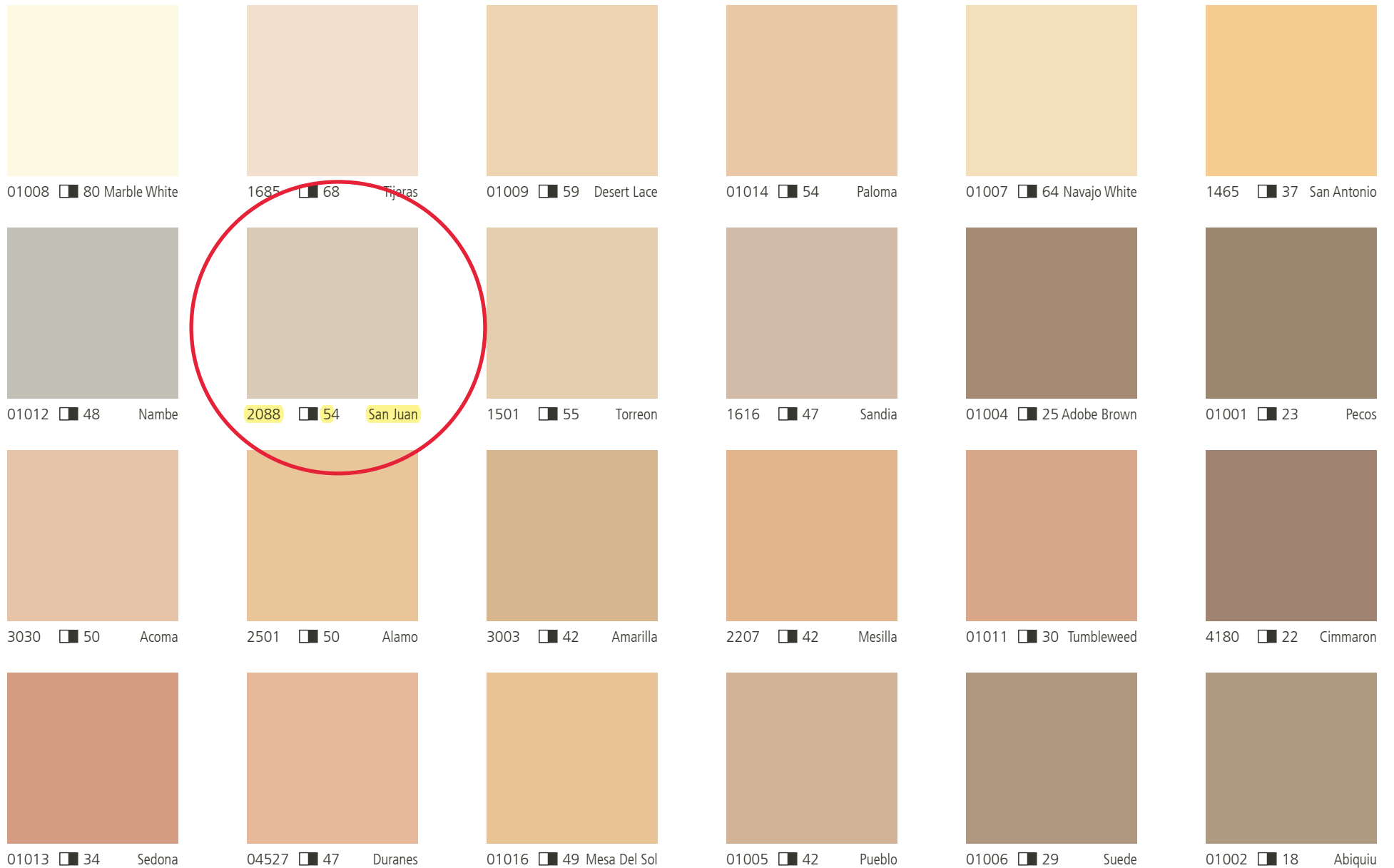
Euroline or La Cantina

Lift-Slide doors and living room glazed wall
Color: Euro Bronze



Exterior Light Fixtures

Bronze trim surfaced mounted at portals.



Sunset on the Sandia Mountains, pueblo pottery, desert yucca, tumbleweed and sand...from the timeless and strikingly diverse Southwest landscape come the very colors we build with. Bathed in the region's brilliant light, these colors personify warmth and reveal a kinship to their surroundings not found elsewhere. Any choice from our carefully selected color group will make your home a distinctive reflection of this natural Southwest beauty.

Un atardecer en las Montañas Sandia, alfarería de los indígenas Pueblo, yuca del desierto, plantas rodadoras y arena... los colores que utilizamos en nuestros productos provienen del paisaje eterno y sorprendentemente diverso del Sudoeste. Bañados por la brillante luz de la región, estos colores personifican la calidez y revelan una relación íntima con sus alrededores que no se encuentra en otro lugar. Cualquier elección de nuestro cuidadosamente seleccionado grupo de colores convertirá su casa en un reflejo personal de la belleza natural del Sudoeste.

COLOR INSPIRED BY NATURE,
DESIGNED TO LAST.



Photo: Pinterest.com © 2016

The exteriors of Aspen clad windows are fully encased in low maintenance, heavy-duty, extruded aluminum. Ours is at least twice as thick as roll-form cladding.

What's more, our finishing process leads the industry in durability and environmental safety. Standard on nearly all colors is our environmentally friendly AAMA 2605 powder-coating, which has the color retention, surface hardness and scratch resistance necessary to withstand even the harshest conditions. Our Textured Collection uses AAMA 2604 powder-coating to retain its rich texture.

As for colors? Nobody gives you more choices than Sierra Pacific. 74 colors and some sensational textures allow you to add warmth, a splash of cheerfulness or a new statement to your designs. We'll also custom match any color you choose.



EXTERIOR CLAD FINISHES

COLOR STAY™ COLLECTION

| | | | | | | |
|-------------------|-------------------|------------------|-----------------------|--------------------|-----------------------|-----------------------|
| White 001 | ✓ Linen 032 | French Linen 112 | Morning Dove Gray 113 | Colonial White 313 | Sandstone 003 | Beige 335 |
| Tan 043 | ✓ Gull Gray 007 | ✓ Seawolf 044 | Fashion Gray 111 | Slate Gray 045 | ✓ Battleship Gray 321 | TW Black 061 |
| ✓ Black Sable 060 | Slate Blue 008 | Light Blue 046 | ✓ Steel Blue 114 | Aqua Mist 115 | Hampton Blue 323 | Sage Green 005 |
| Teal 047 | Hemlock Green 048 | Patina Green 051 | Forest Green 049 | Evergreen 009 | Green 004 | ✓ Hartford Green 050 |
| Moss 031 | ✓ Greek Olive 081 | Terra Cotta 053 | ✓ Copper 054 | ICI Brown 056 | ✓ Colonial Red 034 | Harvest Cranberry 010 |
| Burgundy 055 | Deep Plum 116 | Deep Taupe 077 | ✓ Antique Bronze 057 | TW Brown 058 | ✓ Bahama Brown 309 | Regal Brown 059 |
| Brown 002 | ✓ Bronze 024 | ✓ Black 023 | | | | |

PEARL METALLIC COLLECTION

| | | |
|-------------------------|-----------------------|------------------------|
| El Cajon Silver 068 | Platinum 067 | Light Bronze Pearl 069 |
| Medium Bronze Pearl 070 | Dark Bronze Pearl 071 | |

TEXTURED COLLECTION

| | | |
|--------------------|-------------------|---------------------------------------------|
| Peppered Steel 110 | Sift Espresso 097 | Mocha 098 |
| Cajun Spice 099 | Pesto 100 | Available AAMA 2604 powder-coat only. |

METALLIC COLLECTION

| | | |
|--------------------|------------------------|--------------------|
| Alpine Silver 062 | Metallic Champagne 063 | Bronze Classic 064 |
| Classic Copper 088 | Copper Penny 065 | |

WEATHERED COLLECTION

| | | |
|---------------------------|---------------------|--------------------------|
| Weathered Café Royale 104 | Weathered Cocoa 105 | Weathered Brown 034 |
| Weathered Bronze 078 | Weathered Clay 075 | Weathered Red Pepper 106 |
| Weathered Rust 076 | Weathered Basil 107 | |

ANODIZED COLLECTION

| | | |
|--------------------|----------------------------|--------------------------|
| Clear Anodized 103 | Medium Bronze Anodized 096 | Dark Bronze Anodized 095 |
| Black Anodized 117 | | |

INDUSTRIAL COLLECTION

| | |
|------------------------------|----------------------------|
| Medium Bronze Industrial 101 | Dark Bronze Industrial 102 |
|------------------------------|----------------------------|

✓ Colors available in vinyl!
Printing limits our ability to show colors precisely.
See your local representative for actual cladding samples.

PAINT

We use a paint system that is a multi-part urethane which is applied in a controlled environment and heat-cured for consistent results.

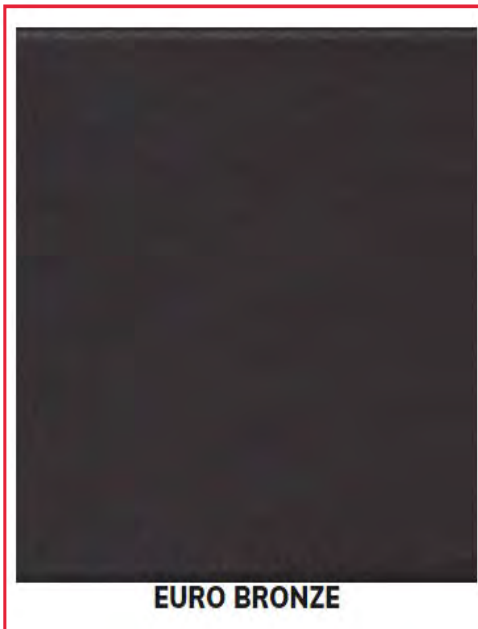
The zinc layer provides the perfect surface for the primer to be applied and the paint is actually absorbed into the surface of the zinc for a great "bite" that will not peel.

The surface produced by the final color coat is resistant to most solvents, and can be applied in the field if touch-ups are needed. (A small paint kit is supplied with every order).

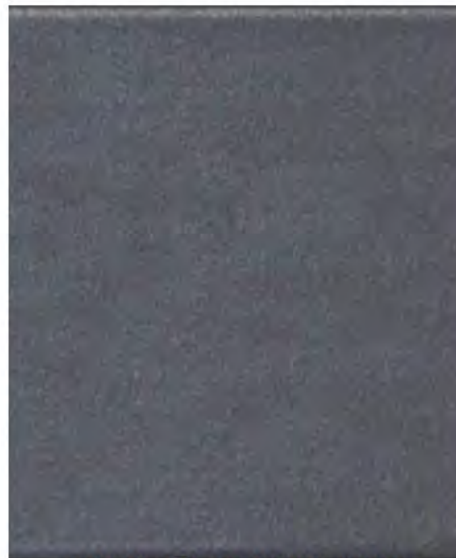
Our paint has excellent UV and fade resistance and is easy to clean. Since it is an ultra-low VOC system, our paint is very environmentally friendly.



CARBON BLACK



EURO BRONZE



PHANTOM GRAY METALLIC



SPRING GRAY

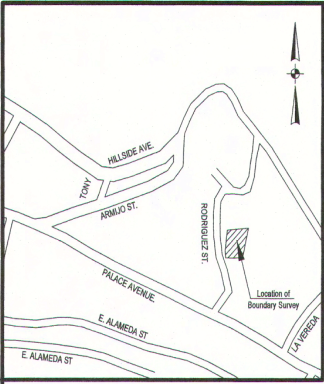
SUNSTONE M430-4



LRV: 46 R: 153 G: 188 B: 174



Minwax Early American Stain on Cedar



VICINITY MAP NOT TO SCALE

LEGEND

Bearings are based on the two hour static session, and reduced by OPUS. Applying grid to ground New Mexico State Plane Central Zone NAD 83 Coordinates Geoidetic local position using GPS RTK. Topcon HiPer+ distances are ground - bearings are grid. (N. 33°39'51" W.).

- Monument found as noted.
- Monuments set, no. 4 rebar with 10988 cap or mag nail with 10988 shiner set in concrete
- ⊙ USGLOS Monument found and used.
- Rock Wall
- ⚡ Power Pole
- Over Head Powerline
- ▨ Block Wall or as noted.

SURVEYORS NOTES

Every document of record reviewed and considered as part of this survey is noted hereon. Only those documents noted hereon were supplied to the surveyor or as researched by Land Surveying Company, LLC.

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or other facts that an accurate and current abstract may disclose.

STATE OF NEW MEXICO }
SANTA FE COUNTY } SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD ON THIS 29th DAY OF October A.D. 2020 AT 11:58 O'CLOCK A. M., RECORDED IN BOOK 868, PAGE 50 AS DOCUMENT NO. 1932729 IN THE OFFICE OF THE COUNTY CLERK OF SANTA FE COUNTY, STATE OF NEW MEXICO.

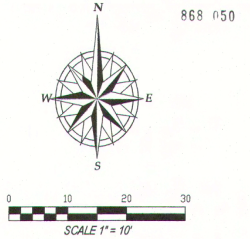
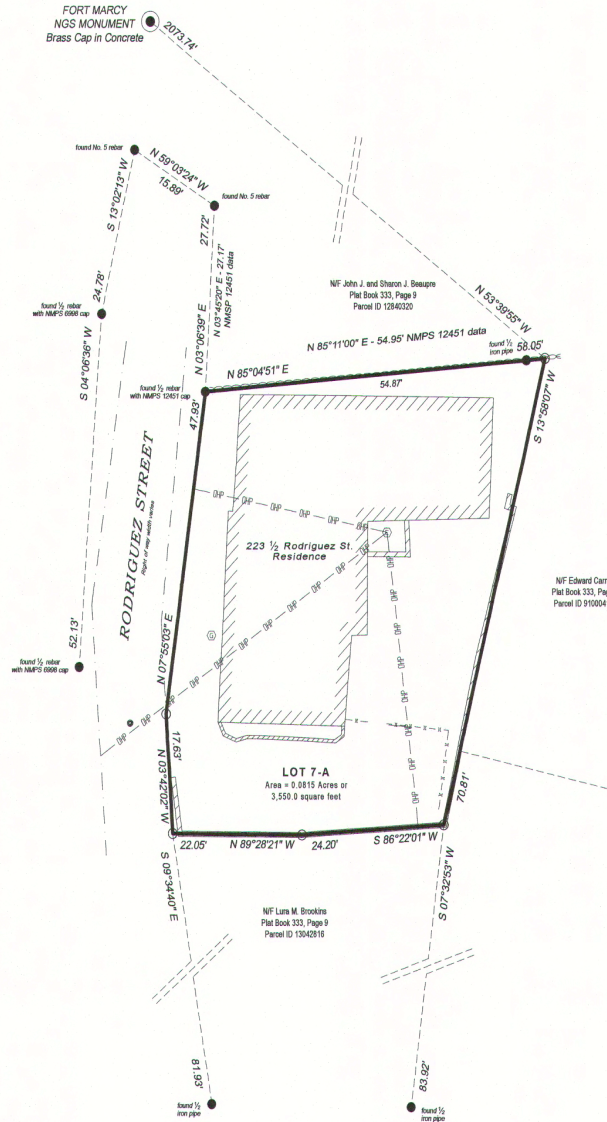


WITNESS MY HAND AND SEAL OF COUNTY OFFICE
SANTA FE COUNTY
GERALDINE SALAZAR

Geraldine Salazar
DEPUTY CLERK

BOUNDARY SURVEY PLAT
prepared for
Richard G. Fullerton
Lying and being situate at 223 1/2 Rodriguez Street, Lot 7A, within Section 19, T. 17 N., R. 10 E., N.M.P.M.,
County of Santa Fe, State of New Mexico.

Total Area = 0.08 Acres ± or
3,550.00 square feet



DOCUMENTS REFERENCED

WARRANTY DEED: Martin Domestico Roybal and wife, Luise R. Roybal, for consideration paid, grant to Feliciano Romero and wife, Ramon Romero. Filed and recorded in Book 283, Page 851 in the Office of the Santa Fe County Clerk on September 1, 1971.

PLAT: Replat of a portion of Lot 18, Block 47, Kings Official Map Ward 4, City of Santa Fe, Santa Fe County, State of New Mexico. Filed and recorded in Book 108, Page 13 in the Office of the Santa Fe County Clerk on November 20, 1981.

PLAT: Plat of Survey for Victoria A. George & Tamara J. Cameron, Lying and being situate at 227 Rodriguez Street, and within Lot 16 of Block 47, Kings and 1924 Official Map, and within the City and County of Santa Fe, New Mexico. Filed and recorded in

CITY OF SANTA FE PUBLIC NOTICE

This plat of survey as depicted is based only on recorded documents as referenced hereon. The City of Santa Fe Staff must approve all documents submitted with an application for a building permit and may require additional documents of reference material to prove legal lot of record.

SURVEYORS CERTIFICATE

I, Salvador I. Vigil, a Registered New Mexico Professional Surveyor do hereby certify that this Boundary Survey plat was prepared from an actual field survey performed by me or under my direct supervision on August 19, 2020. This survey and the boundaries on the plat depicted hereon were established using found monuments, and documents of record. This survey is not a Land Division or Subdivision as per the New Mexico Subdivision Act. This survey meets the minimum standards for surveys set forth by the New Mexico Board of licensure for Professional Surveyors and Engineers.

Salvador I. Vigil
Salvador I. Vigil, NMP5 10988 Date Oct. 22, 2020



LSC SURVEYS, LLC

| | |
|--------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| SALVADOR I. VIGIL, NMP5 10988 P.O. BOX 6184 SANTA FE, NEW MEXICO 87502-0184 TEL: 505-473-6003 FAX: 505-603-8332 | |
| PREPARED BY | S.I. Vigil, NMP5 SANTA FE COUNTY CLERK INDEX INFORMATION |
| DATE | September 23, 2020 RICHARD G. FULLERTON |
| PROJECT No. | L-4253 / PLAT 223 1/2 RODRIGUEZ STREET |
| CHECKED | Donald Yates, SECTION 19, T. 17N., R. 10E., N.M.P.M. |
| SHEET ONE OF ONE | COUNTY OF SANTA FE, STATE OF NEW MEXICO PARCEL ID 12263830 - U.P.C. 1-055-098-088-125 |

FEMA INFORMATION:

As per FIRM Map 35049C 0416E this area is designated as Zone "X" an area determined to be outside the 0.2% annual chance floodplain. Map dated December 04, 2012.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Lee Garcia, District 3
Chris Rivera, District 3
Jamie Cassutt, District 4
Amanda Chavez, District 4

CERTIFICATE OF COMPLIANCE AS LEGAL LOT OF RECORD

RE: Legal Lot of Record status for a parcel shown on the plat of survey entitled "Boundary Survey Plat prepared for Richard Fullerton Lying and being situate at 223 ½ Rodriguez Street, Lot 7A, within Section 19, T. 17 N., R. 10 E., N.M.P.M., County of Santa Fe, State of New Mexico" recorded in Book 868, Page 50 as instrument number 1932729, records of Santa Fe County, New Mexico.

In compliance with Subsection 14-3.7(A)(7) City of Santa Fe Land Development Code (SFCC) this Certificate of Compliance documents status as a legal lot of record for the property referenced above.

This determination is based on review of the following documents:

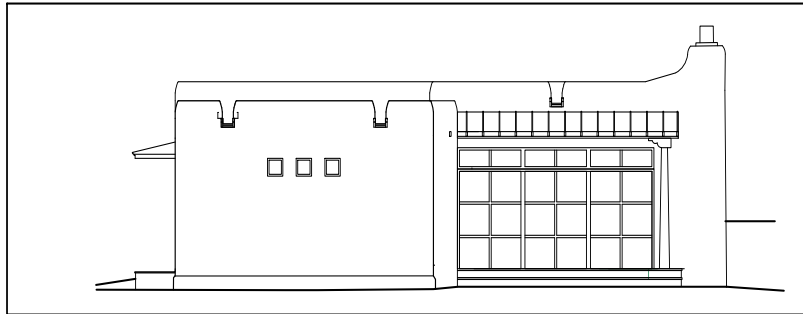
1. Plat of survey entitled "Replat of a Portion of Lot 18, Block 47, King's Official Map Ward 4, City of Santa Fe, Santa Fe County, State of New Mexico" recorded in the Office of the Santa Fe County Clerk on November 20, 1981 as instrument number 488299, Book 108, Page 13.
2. City of Santa Fe Right of Way bounded by Rodriguez Street.
3. Warranty Deed from Martin Demetrio Roybal and Louisa R. Roybal to Martin Serda Jr. and Esther Rodriguez Serda, #53817, recorded January 7, 1947.
4. Northern boundary of property identified in City of Santa Fe Scanlon Map, circa 1957.

Approval of this Certificate of Compliance makes no determination regarding the conformity or lack thereof pertaining to development or structures on the property

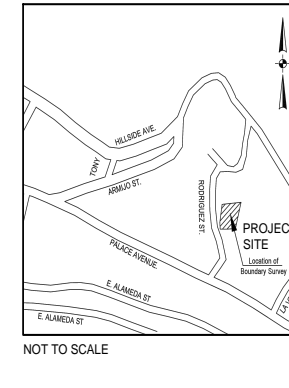
SFC CLERK RECORDED 02/18/2022

RENOVATIONS to FULLERTON RESIDENCE

223 1/2 RODRIGUEZ STREET
SANTA FE, NM



VICINITY MAP



GENERAL NOTES

AMERICAN INSTITUTE OF ARCHITECTS Document A201, "General Conditions of the Contract for Construction," Latest Edition incorporated by reference into these documents.

1. **ALLOWANCES:** Allow sums appropriate to the quality of the project where called for by the Drawings. The cost of each item to be paid for out of the cash allowances shall be confirmed by Change Order including materials, labor, insurance, payroll taxes, bonds, transportation, equipment rental, etc. and an agreed percentage covering overhead and profit. Credit is drawn from this account only by Change Order. Any funds remaining at the close of project shall be credited to the Owner by Change Order. See AIA A201 Article 3 Contractor.

2. **CONSTRUCTION STANDARDS:** All construction and materials shall be as specified and as required by the current adopted editions of the IBC, IPC, IMC, NFPA, NEC, and all Local and State amendments to the above at the time of permit issue. All articles, materials and equipment shall be installed, applied, connected as directed by the manufacturer's specifications and instructions except where otherwise noted.

3. **COORDINATION:** All work to be provided by Owner, (N.I.C., Not in Contract) shall be coordinated by Contractor in order to assure proper interface with the work in the Contract. Notify Owner of any conflicts which exist or delays in work which may result.

4. **DEMOLITION:** Demolition work shall be executed in an orderly and careful manner with due consideration of Owner's property. Contractor shall exercise care to protect any new construction or existing construction adjacent to the demolition work. Contractor shall be responsible for the protection of uncovered utilities. All work to be demolished shall be removed from the property except salvage materials directed by the Owner or Architect.

CAUTION: Electrical contractor shall be responsible for insuring that each and every abandoned wire is permanently and effectively electrically dead. At no point (along its length) shall the abandoned wire remain physically connected to a device or other electrical equipment or to any remaining active circuit.

5. **DIMENSIONS:**

a. Do not scale off drawings; where inadequate dimensional control information

6. **EROSION CONTROL:** (See civil plans and specifications)

7. **GUARANTEE:** The Contractor shall unconditionally guarantee all work performed and materials and equipment furnished under the Contract against defects in materials and workmanship for a period of one year from the date of final acceptance of the completed work by the Owner. Extended guarantees on specific items as noted in plans and specifications. See AIA A201 Article 3 Contractor.

8. **INSURANCE:** The Contractor and each Subcontractor shall provide Certificates of Insurance prior to commencing work. Coverage limits and types shall be verified with Owner. See AIA A201 Article 3 Contractor.

9. **ORGANIZATION OF WORK:** Contractor shall perform and organize work sequence so as to minimize wherever possible any disruption and inconvenience to existing facilities. A construction schedule shall be provided to the Owner and Architect.

10. **PERMITS:** Permits and inspections required shall be obtained and paid for by Contractor and billed at direct cost to Owner. See AIA A201 Article 3 Contractor.

11. **REPORTS:** All work shall be conformance with reports, studies and calculations prepared for the project including, but not limited to geotechnical, energy compliances and structural analysis.

12. **SAFETY:** The Contractor shall be solely responsible for the safety of all persons on the site and shall comply with all local, State and Federal safety standards. See AIA A201 Article 10. Including but not limited to the following. All scaffolds, hoists, stays, ladders, supports, or other mechanical contrivance erected or constructed for use in the work and all temporary shoring, forming, bracing, etc. shall be constructed in accordance with all applicable Federal, State, and local laws, regulations, and ordinances. The design, safety and legal compliances shall be the exclusive responsibility of the contractor who, when necessary to ensure such safety and compliance, shall retain and pay for the services of a registered Structural Engineer to provide the design and details necessary for such construction or contrivance at no additional cost to the owner.

13. **SECURITY:** The Contractor shall be responsible for coordination of any temporary security measures required. Security methods shall be approved by the Owner.

14. **SHORING:** It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, etc., during demolition and construction.

15. **SIMILAR CONDITIONS:** Conditions which are not detailed shall be similar in nature to other project details. Details noted typical shall apply to similar conditions.

16. **SITE CONDITIONS:** Construction access shall be through areas of the site designated as a construction unloading and storage area. Protection of existing construction and clean-up requirements apply to these areas. Remove all trees, shrubs, grass and weeds including stumps and roots in their entirety. Felling of trees shall be done in a manner to avoid any damage to improvements, (including adjacent public and private property), survey stakes, utilities and trees scheduled to remain. Remove all materials from site (no burning on site allowed), leaving site clean, neat and ready for subsequent work. The job site shall be maintained in a clean, orderly condition free of debris and litter, and shall not be unreasonably encumbered with any materials or equipment. Each Subcontractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. Verify location of trash containers and parking areas to be used with Owner and local regulatory agencies having jurisdiction. See AIA A201 Article 3 Contractor.

17. **STORAGE:** All material stored on the site shall be properly stacked and protected per manufacturer instructions to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.

18. **STRUCTURAL INTEGRITY:** There shall be no alteration of any existing or new structural component of the building without prior written approval of the Architect. If such work takes place, the Contractor shall make good any structural defect or corollary damage incurred to the satisfaction of Architect.

19. **SURFACE ACCEPTANCE:** Surfaces previously installed or prepared by another trade shall be inspected carefully before applying subsequent materials or finishes. If an unsatisfactory condition to receive finish exists, notify the General Contractor and Architect in writing, immediately, otherwise assume full responsibility for resulting appearance and condition of finished surface.

20. **SUBMITTALS:** No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed by the Architect. Six (6) copies of submittals are to be provided for review in the following areas of work: Appliances, bath accessories, cabinets, doors, floor coverings, hardware, HVAC systems, light fixtures, paint/stain finishes, plumbing fixtures, roofing, sealants, stucco finish, waterproofing systems, windows and alternate products. See AIA A201 Article 3 Contractor.

21. **SUPPORTS:** Provide all necessary blocking, backing and framing for light fixtures, electrical devices and all other items requiring support.

22. **UTILITIES:** Notify Owner 48 hours prior to commencing any work that may require temporary disconnect of any utility service.

23. **VERIFICATION:** The Contractor shall verify all dimensions and site conditions before commencing work. Should an error of discrepancy appear in the Contract Documents, notify the Architect at once for instruction on how to proceed. If the Contractor proceeds with the work affected without instructions from the Architect, the Contractor shall make good any resulting damage or defect to the satisfaction of the Architect. See AIA A201 Article 3 Contractor.

24. **WORKMANSHIP:** The Contractor shall do all cutting, fitting or patching of his work that may be required to make its several parts fit together properly and shall not endanger any other work by cutting, excavating or otherwise altering the total work or any part of it. Contractor shall exercise care to protect any existing construction scheduled to remain or new construction so that integrity and finish is not impaired. All patching, repairing and replacing of materials and surfaces, cut or damaged in execution of work, shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces. See AIA A201 Article 3 Contractor.

25. **NOTICE:** All designs and written material appearing herein constitute original work of John A. Padilla, AIA and may not be duplicated, utilized, or disclosed without his written approval.

DESIGN DATA

- 2015 NEW MEXICO COMMERCIAL BUILDING CODE (as amended by the State of New Mexico)
- 2015 NEW MEXICO RESIDENTIAL BUILDING CODE and CITY OF SANTA FE GREEN BUILDING CODE
- 2015 NEW MEXICO EXISTING BUILDING CODE (2015 IEBC as amended)
- 2015 NEW MEXICO PLUMBING CODE (2015 UPC as amended) and CITY OF SANTA FE UPC AMENDMENTS
- 2015 NEW MEXICO MECHANICAL CODE (2015 UMC as amended)
- 2017 NEW MEXICO ELECTRICAL CODE (2017 NEC as amended)
- 2012 NEW MEXICO ELECTRICAL SAFETY CODE (2102 NESC as amended)
- 2015 NEW MEXICO HISTORIC BUILDING MATERIALS CONSTRUCTION CODE
- 2015 NEW MEXICO HISTORIC EARTHEN BUILDINGS CODE
- 2018 NEW MEXICO ENERGY CONSERVATION CODE (2018 IECC as amended)
- 2012 NEW MEXICO SWIMMING POOL, SPA AND HOT TUB CODE PHASE III (2012 USP/SHTC as amended)
- 2012 NEW MEXICO SOLAR ENERGY CODE (2012 USEC as amended)
- 2015 INTERNATIONAL FIRE CODE and 2011 CITY OF SANTA FE IFC AMENDMENTS
- NEW MEXICO ADMINISTRATIVE CODE (NMAC)
- 2009 ICC A-117.1 - 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

DRAWING INDEX

| AC | COVER SHEET / PROJECT INFORMATION |
|----------------|---------------------------------------------|
| ARCHITECTURAL: | VICINITY MAP |
| SP-1 | ARCHITECTURAL EXISTING & PROPOSED SITE PLAN |
| A-1 | PROPOSED FLOOR PLAN & SCHEDULES |
| A-2 | EXISTING/DEMOLITION ELEVATIONS |
| A-3 | EXISTING & PROPOSED ROOF PLAN |

BUILDING INFORMATION

| R-3 ZONING | |
|----------------------------------|----------|
| EXISTING RESIDENCE | 1,484 SF |
| NEW COVERED PORCH: | 142 SF |
| TOTAL ROOF AREA: | 1,626 SF |
| LOT AREA: | 3,050 SF |
| ***LOT COVERAGE: | 53.3% |
| MAX. LOT COVERAGE ALLOWED: | 40% |
| OPEN SPACE REQUIRED: 40% OF GSF: | 1,220 SF |
| OPEN SPACE PROVIDED: | 1,424 SF |
| TWO ON-SITE PARKING SPACES | |

LEGAL DESCRIPTION

SEE WARRANTY DEED

RENOVATION
for:

RICHARD FULLERTON
223 1/2 RODRIGUEZ STREET
SANTA FE, N.M.

TITLE:

COVER SHEET
&
PROJECT
INFORMATION

08 Tesuque Class Ln,
67574
505.919.9744
rred52@gmail.com

DESIGN SERVICES
Production Documents
Residential - Commercial



THIS DRAWING IS THE PROPERTY OF THE DESIGNER HAS BEEN PREPARED SPECIALLY FOR THE CONSULTANT PROJECT AT THE REQUEST OF THE CLIENT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

HISTORIC SUBMITTAL

Date: 05.04.2022
revised:

Sheet:

AC

EXISTING/DEMO SITE PLAN SHEET KEYED NOTES

- GENERAL:
1. REMOVE LANDSCAPE WALLS
 2. REMOVE FENCE AND WOOD GATE
 3. EXISTING ALUM. GUTTERS TO BE REMOVED
 4. STEEL FENCE TO REMAIN
 5. REMOVE EXISTING METAL FENCING ON TOP OF STONE WALL
 6. EXISTING TREE TO REMAIN - PROTECT DURING CONSTRUCTION
 7. REGRADE AREA FOR NEW PARKING ACCESS
 8. PORTION OF RETAINING WALL TO BE DEMOLISHED, REGRADE FOR PARKING ACCESS
 9. REMOVE MASONRY BENCH
 10. REMOVE EXISTING STEP
 11. RELOCATE ELECTRIC METER
 12. RELOCATE GAS SERVICE
 13. REGRADE TO PROVIDE POSITIVE DRAINAGE TO RODRIGUEZ ST.
 14. REGRADE (CUT/FILL) AT NEW ENTRY
 15. REMOVE WOOD GATE
 16. EXISTING MASONRY RETAINING WALL TO REMAIN
 17. EXTENT OF EXISTING MASONRY FENCE

PROPOSED SITE PLAN SHEET KEYED NOTES

- GENERAL:
1. INSTALL NEW TPO ROOF
 2. NEW STANDING SEAM METAL ROOF
 3. EXISTING ALUM. GUTTERS TO BE REMOVED
 4. NEW TRASH AREA
 5. NEW ELECTRIC METER AND GAS METER LOCATION
 6. NEW MASONRY RETAINING WALL AND CURB w/STUCCO FINISH w/ 6'-0" H COYOTE FENCE
 7. EXISTING MASONRY & FENCE TO REMAIN
 8. NEW 4'-0" H COYOTE FENCE
 9. STONE FACE TO FOUNDATION WALL AT GAP
 10. NEW 6'-0" H COYOTE FENCE AND GATE

LEGEND

- Buildings are based on the best hour static elevation, and reduced by 0.75X. Applying gift to ground Area: Main Floor: Central Zone
 MD 83 Coordinate: Coordinate: road position using GPS/RTK. Topographic
 elevations are ground: Average: 5000.00 (10' 0" 0" 0")
- Movement found on exist.
 - Movement not on exist.
 - ⊙ USGS CG Movement found and used
 - Road Mill
 - Power Pole
 - Over Head Powerline
 - Block Mill or as noted

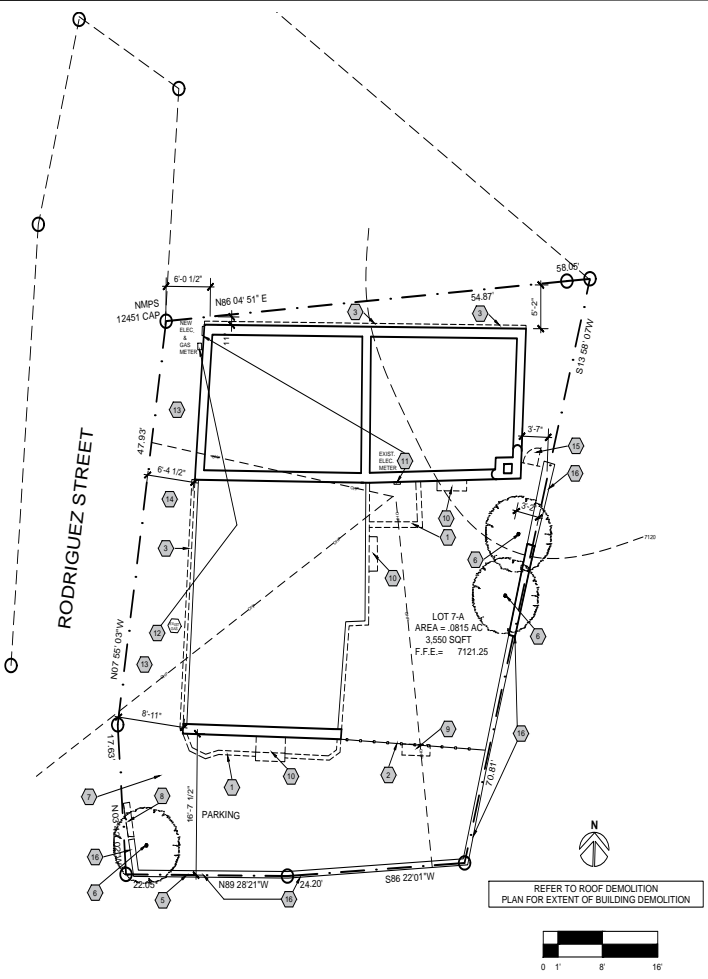
DOCUMENTS REFERENCED

WARRANTY DEED: Maria Gonzalez Ripoll and wife, Luisa R. Ripoll, for consideration paid, grant to Christine Ripoll and wife, Roxana Ripoll. Deed recorded in Book 203, Page 651 in the Office of the Santa Fe County Clerk on September 1, 1971.

PLAT: A portion of a portion of Lot 16, Block 47, Kings Central Way West 4, City of Santa Fe, Santa Fe County, State of New Mexico. Filed and recorded in Book 105, Page 17 in the Office of the Santa Fe County Clerk on November 20, 1991.

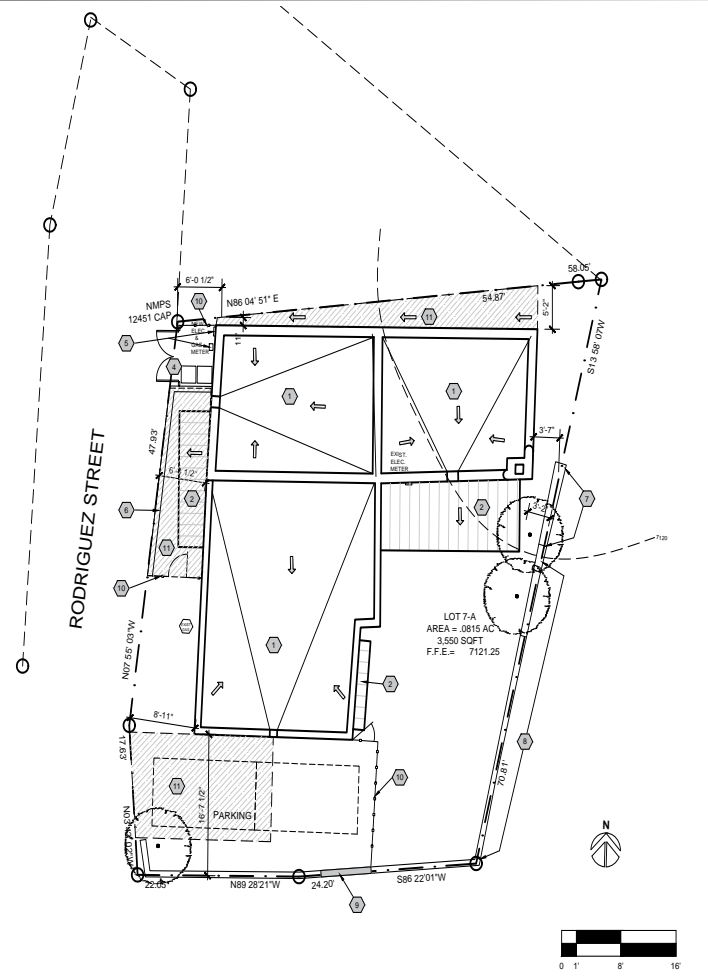
PLAT: Plat of Survey for Victoria A. George & Sonnet J. Cameron. Lying and being situate at 277 Rodriguez Street and within Lot 16 of Block 47, Kings and 100A Central Way, and within the City and County of Santa Fe, New Mexico. Filed and recorded in

LYING AND BEING SITUATE AT 223 1/2 RODRIGUEZ STREET, LOT 7A, WITHIN SECTION 19, T. 17 N., R. 10E., N.M.P.M.



EXISTING DEMOLITION SITE PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"

RENOVATION for:
 RICHARD FULLERTON
 223 1/2 RODRIGUEZ STREET
 SANTA FE, N.M.

TITLE:
 EXISTING DEMOLITION & PROPOSED SITE PLAN

08 Trevaugh Glass, Ln
 Tesuque, NM 87574
 505.919.9744 phone
 redc52@gmail.com



Date: 05.04.2022
 revised:

Sheet:




SP-1
 HD

THIS DRAWING IS THE PROPERTY OF THE DESIGNER AND IS PREPARED SPECIFICALLY FOR THE OWNER FOR THE PROJECT AT 223 1/2 RODRIGUEZ STREET, SANTA FE, NEW MEXICO. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

PROPOSED FLOOR PLAN SHEET KEYED NOTES

- GENERAL:
1. NEW INTERIOR WALL - 2" x 6" WALL STUDS @ 16" O.C.
 2. NEW KVA FIREPLACE - SEE DETAIL
 3. NEW CMU RETAINING WALL w/ COYOTE FENCE
 4. NEIGHBOR'S EXISTING RETAINING WALL
 5. RELOCATED NEW ELECTRIC METER & PANEL
 6. NEW 2X FURRING TO SQUARE WALL
 7. NEW 8" VICA POST
 8. CREATE ALCOVE IN HALLWAY
 9. NEW WALL
 10. MASONRY STEPS




LEGEND

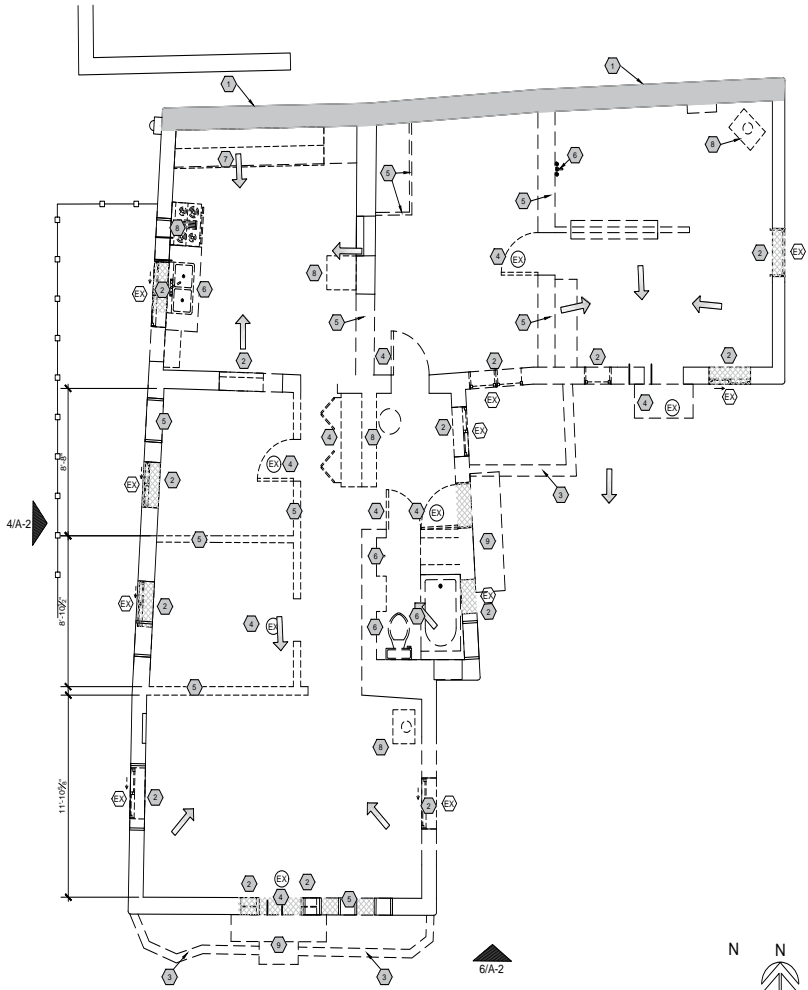
-  EXISTING WALLS TO REMAIN
-  NEW PARTITIONS
-  EXISTING OPENINGS TO BE INFILLED TO MATCH ADJACENT

EXISTING/DEMO PLAN SHEET KEYED NOTES

- GENERAL:
1. EXISTING CONCRETE RETAINING WALL TO REMAIN
 2. REMOVE EXISTING WINDOWS & FRAMES, COMPLETE
 3. REMOVE EXISTING FRONT PLANTER
 4. REMOVE EXISTING DOORS, FRAMES COMPLETE
 5. REMOVE EXISTING WALLS
 6. REMOVE EXISTING PLUMBING FIXTURES
 7. REMOVE EXISTING CABINETS
 8. REMOVE EXISTING APPLIANCES
 9. REMOVE EXISTING CONCRETE STEPS

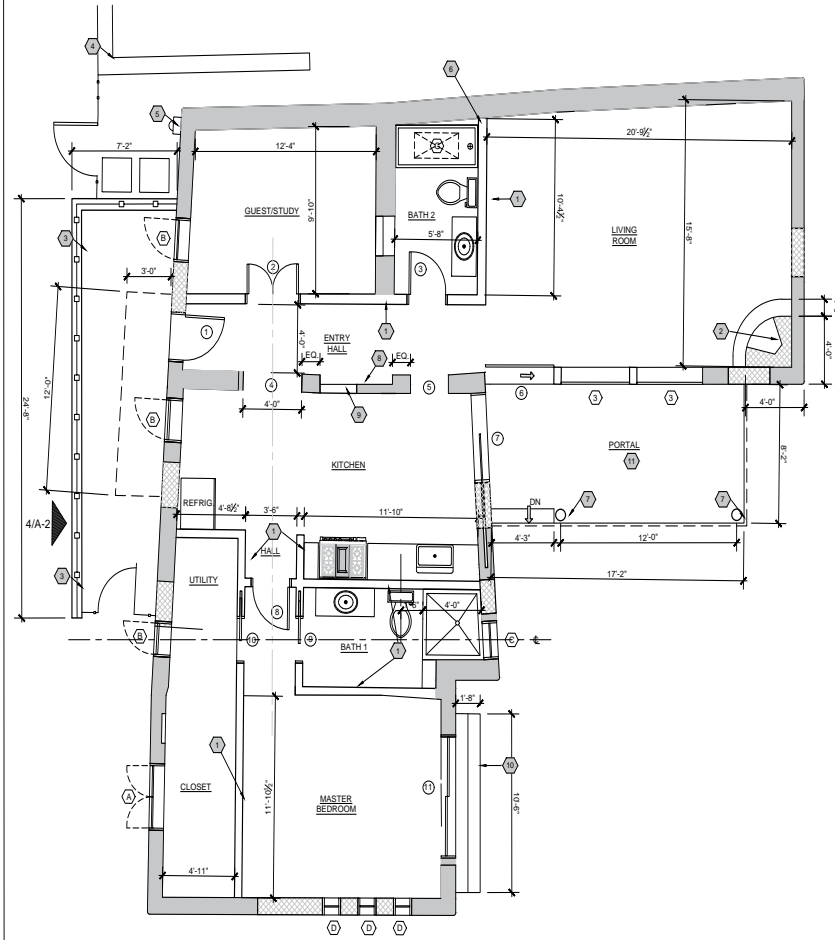
LEGEND

-  EXISTING WALLS, DOORS, ETC. TO BE REMOVED
-  EXISTING WALLS TO REMAIN
-  EXISTING OPENINGS TO BE INFILLED



EXISTING DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

RENOVATION for:
 RICHARD FULLERTON
 223 1/2 RODRIGUEZ STREET
 SANTA FE, N.M.

TITLE:
 EXISTING DEMOLITION & PROPOSED FLOOR PLAN

08 Teesung Glass Ln
 Tesuque, N.M. 87574
 505.919.9744 phone
 red652@gmail.com



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Date: 05.04.2022
 revised:

Sheet:

A-1
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EXISTING/DEMO ELEVATIONS SHEET KEYED NOTES

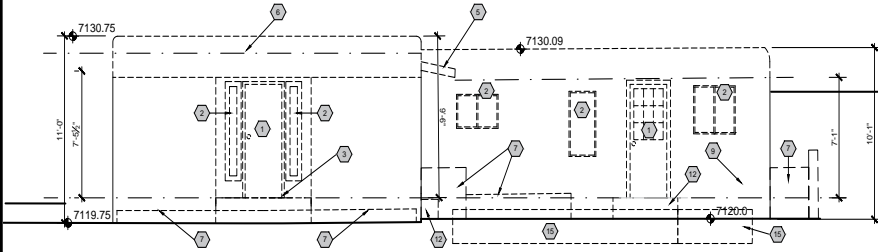
GENERAL:

1. REMOVE EXISTING DOORS & FRAMES, COMPLETE & INFILL OPENING
2. REMOVE EXISTING WINDOWS & FRAMES, COMPLETE & INFILL OPENING
3. REMOVE EXISTING FRONT PLASTER
4. REMOVE EXISTING WALLS, FRAME & STUCCO COMPLETE
5. REMOVE EXISTING ROOF, FRAME, WALLS & GUTTER
6. REMOVE EXISTING ROOF, DECK, INSULATION, JOISTS & FINISH
7. REMOVE LANDSCAPE WALLS & FENCES
8. EXISTING NORTH RETAINING WALL TO REMAIN
9. REMOVE EXISTING FLOOR FRAMING, DECK & FINISH
10. REMOVE PARAPET WALL TO CEILING HEIGHT
11. REMOVE METAL FASCIA, ROOF JOISTS COMPLETE
12. REMOVE EXISTING EXTERIOR STEPS
13. REMOVE EXISTING FLUES
14. REMOVE EXISTING ALUM. DOWNSPOUT
15. EXCAVATE UNDER EXISTING FLOOR JOISTS ON DIRT FOR NEW CRAWL SPACE

PROPOSED ELEVATIONS SHEET KEYED NOTES

GENERAL:

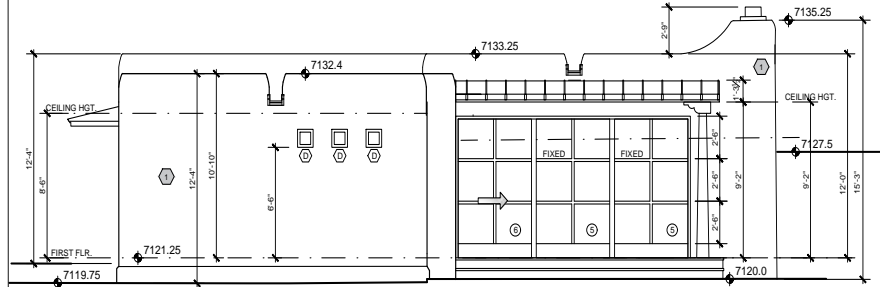
1. SAND & PATCH EXISTING STUCCO FINISH AND INSTALL
2. NEW STUCCO FINISH ON EXISTING EXTERIOR AND NEW EXTERIOR WALLS



EXISTING DEMOLITION SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

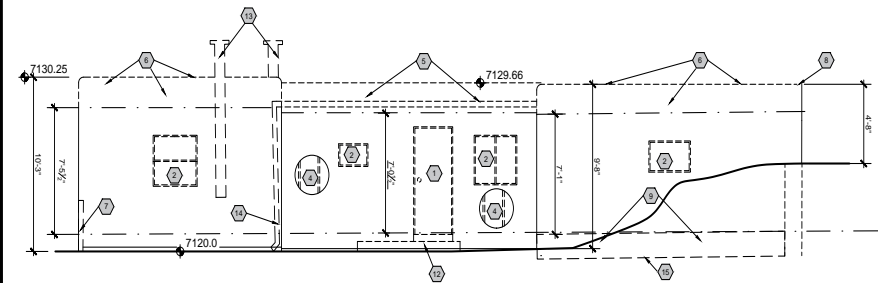
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PROPOSED SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

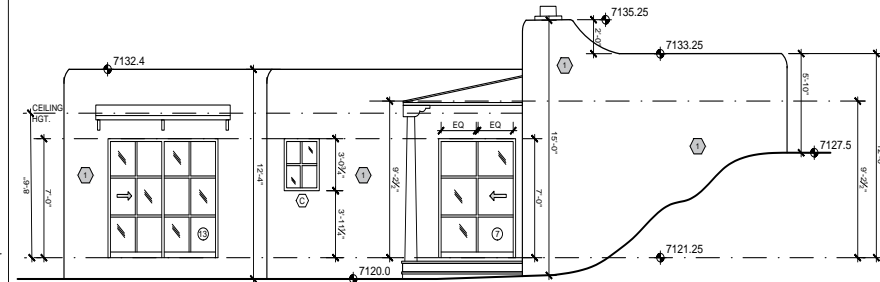
3



EXISTING DEMOLITION EAST ELEVATION

SCALE: 1/8" = 1'-0"

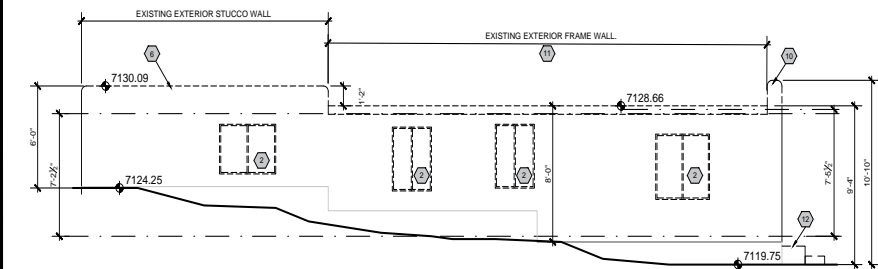
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PROPOSED EAST ELEVATION

SCALE: 1/8" = 1'-0"

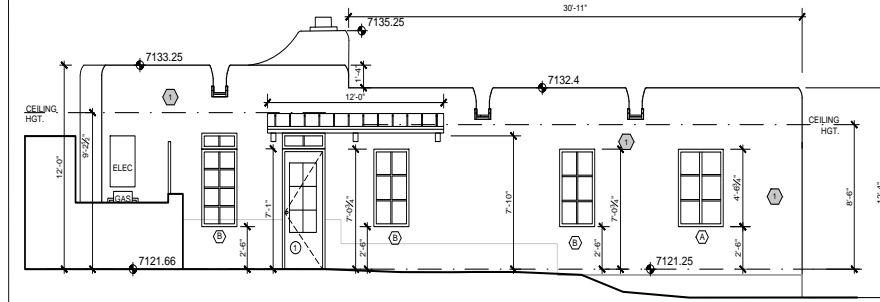
2



EXISTING DEMOLITION WEST ELEVATION

SCALE: 1/8" = 1'-0"

4



PROPOSED WEST ELEVATION

SCALE: 1/8" = 1'-0"

1



RENOVATION
for:
RICHARD FULLERTON
223 1/2 RODRIGUEZ STREET
SANTA FE, N.M.

TITLE:

EXISTING
PROPOSED
ELEVATIONS

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
Date: 05.04.2022
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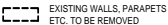
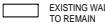

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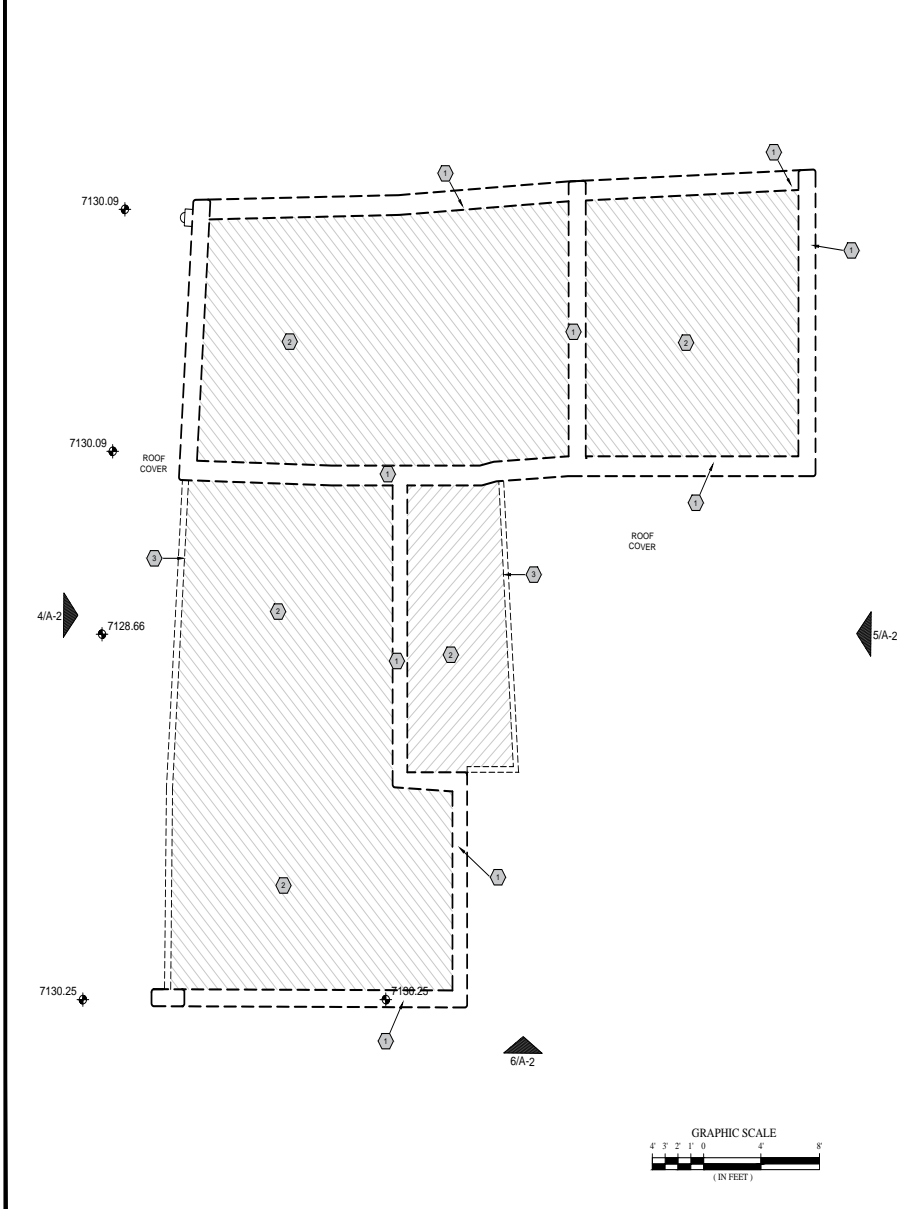
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EXISTING/DEMO ROOF PLAN SHEET KEYED NOTES

- GENERAL: 
1. REMOVE EXISTING PARAPETS
 2. REMOVE EXISTING ROOF COVERING AND ROOF DECK
 3. REMOVE EXISTING ALUM. GUTTER
 - 4.

LEGEND

-  EXISTING WALLS, PARAPETS ETC. TO BE REMOVED
-  EXISTING WALLS TO REMAIN
-  EXISTING ROOF FINISH & DECK TO BE REMOVED



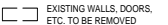
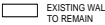
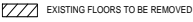
EXISTING DEMOLITION ROOF PLAN

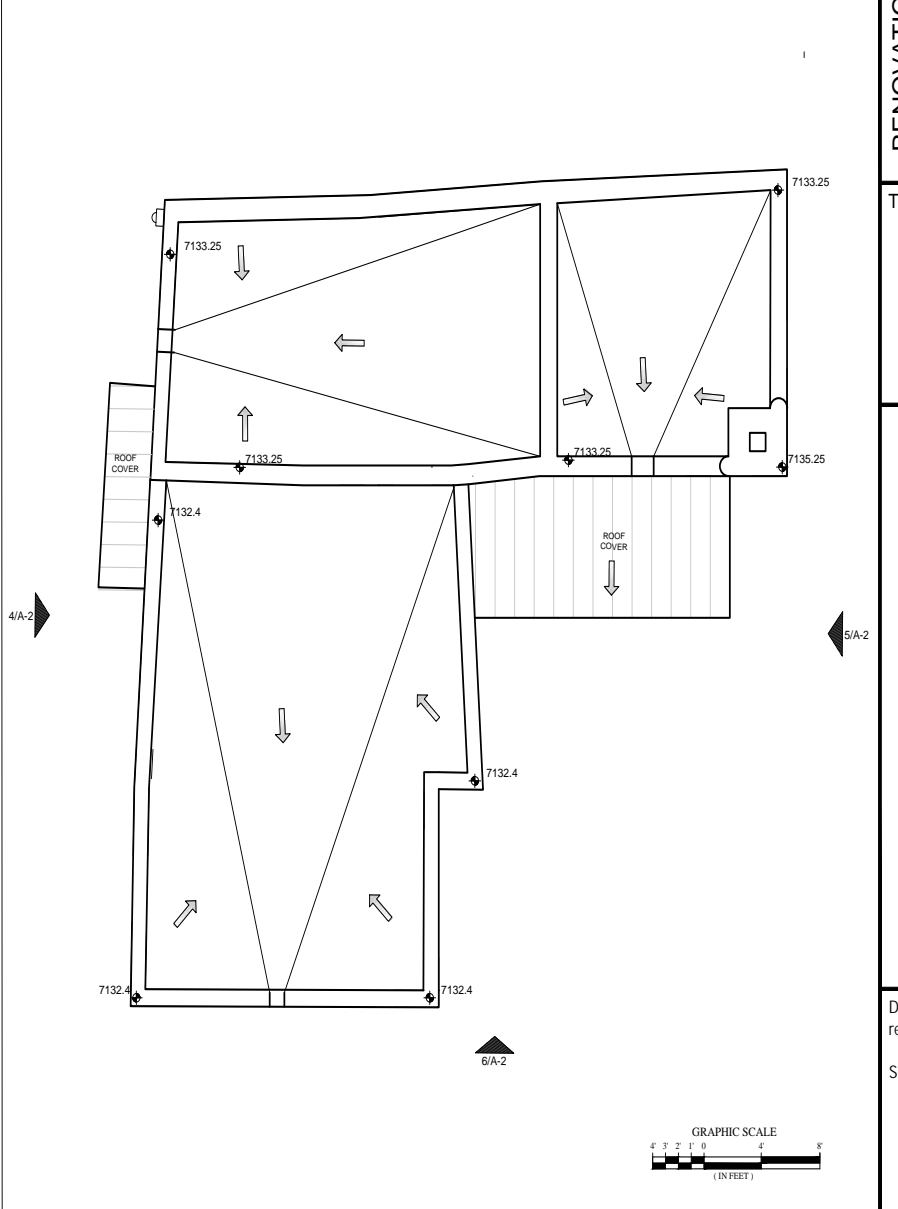
SCALE: 1/4" = 1'-0"

PROPOSED ROOF PLAN SHEET KEYED NOTES

- GENERAL: 
- 1.
 - 2.

LEGEND

-  EXISTING WALLS, DOORS, ETC. TO BE REMOVED
-  EXISTING WALLS TO REMAIN
-  EXISTING FLOORS TO BE REMOVED



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

RENOVATION for:
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 SANTA FE, N.M.

TITLE:
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Date: 05.04.2022

revised:

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