



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
MARCH 22, 2022
5:30 PM
Meeting Virtually

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings in excess of those permitted in the current Public Health Order, and the need to incorporate technology and practices to re-institute in-person meetings consistent with the limitations established by the Order, the Historic Districts Review Board meeting will be conducted virtually.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link

is: <https://us02web.zoom.us/j/83191941803?pwd=NWpIL0Q1ai9sSjY1aFhFNWdHdXdLQT09>

Password: 348336

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: 1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 or +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592

Webinar ID: **831 9194 1803**.

Public Comment:



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- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.
- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.
- In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at <https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2022-004717-HDRB. 821 Acequia Madre.
2. 2022-004915-HDRB. 133 Kearny Rd.
3. 2022-004859-HDRB. 133 Kearny Rd.
4. 2022-004870-HDRB. 901 Galisteo St.
5. 2022-004743-HDRB. 505 Apodaca Hill.
6. 2022-004719-HDRB. 827 El Caminito.
7. 2022-004856-HDRB. 503 Apodaca Hill.
8. 2022-004854-HDRB. 4 Montoya Cir.
9. 2022-004857-HDRB. 961 Camino Santander.



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10. 2022-004864-HDRB. 513 East Coronado Rd.

E. MATTERS FROM THE PUBLIC

F. NEW BUSINESS

1. 2022-004878-HDRB. 342 Plaza Balentine. Downtown and Eastside Historic District. Richard Martinez, agent for Julia Platt and Zachary Leonard, owners, requests a status review and designation of primary facades, if applicable, on a non-contributing structure. (Daniel Schwab, dnschwab@santafenm.gov)
2. 2022-004867-HDRB. 620 W. San Francisco St. Downtown and Eastside Historic District. Will McDonald, agent for William D. White, owner, requests status review and designation of primary facades, if applicable, for two non-contributing structures. (Daniel Schwab)
3. 2022-004866-HDRB. 76 E. San Francisco St. Downtown and Eastside Historic District. Daniel Lujan, agent for Komis Enterprises, LLC, requests demolition of 287 sq. ft. boiler room behind non-contributing building. (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)
4. 2022-004868-HDRB. 701 E. Alameda St, #3. Downtown and Eastside Historic District. Ju Tan, agent for Steve Brown, owner, proposes to construct a 200 sq. ft. portal on a non-contributing structure. (Daniel Schwab)
5. 2022-004862-HDRB. 661 C Garcia St. Downtown and Eastside Historic District. Christopher Purvis, agent for Lynn Horning proposes a 444 sq. ft. addition to a 3,312 sq. ft. non-contributing building. (Angela Schackel Bordegaray)
6. 2022-004863-HDRB. 2 Camino Pequeno. Downtown and Eastside Historic District. Daniel Strongwater, owner, requests to add 130 sq.ft. addition, a 860 sq. ft. free-standing carport, increase portion of roof height from 14'-0" to 15'-8" (maximum allowable height: 15'-8"), window and portal alterations; yard wall and and fence alterations; and add solar panels to a non-contributing building. Applicant requests exception to Section 14-5.2(E)(1)



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(c) regarding window panes larger than 30” in any dimension. (Angela Schackel Bordegaray)

7. 2022-004876-HDRB. 1149 Camino San Acacio. Downtown and Eastside Historic District. Will McDonald, agent for William Johnson, owner, proposes to construct a 106 sq. ft. portal, enclose a breezeway, raise parapets, replace windows and doors on a contributing structure. An exception to Section 14-5.2(D)(2)(c) is requested to construct on a primary facade. (Daniel Schwab)
8. 2022-004912-HDRB. 1564 Canyon Rd. Downtown and Eastside Historic District. Beverley Spears, agent for Kate Lopez, owner, requests historic status determination on non-statused 806 sq. ft. free-standing guesthouse. (Angela Schackel Bordegaray)
9. 2022-004721-HDRB. 1564 Canyon Rd. Downtown and Eastside Historic District. Beverley Spears, agent for Kate Lopez, owner, proposes a 577 sq. ft. addition to a height of 12’-1” to a non-statused 806 sq. ft. guesthouse (height 10’-0”), a 360 sq. ft. free-standing carport to a height of 9’-8”, demolition of a 380 sq. ft. shed, and 5’-6” yard wall. (Angela Bordegaray)

G. DISCUSSION ITEMS

H. MATTERS FROM THE BOARD

I. NEXT MEETING: Tuesday, April 12, 2022

J. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk’s office at 955-6521, five (5) working days prior to meeting date.

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4717-HDRB

Address – 821 Acequia Madre

Agent’s Name – Gayla Bechtol

Owner/Applicant’s Name – Mary Alarid

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

821 Acequia Madre is a 1,483 square feet non-statused house and garage in the Downtown and Eastside Historic District. The residence is a simple rectangle with a low sloped shed roof and stucco over adobe structure. A 450-square-foot detached garage with portal sits behind the house to the north. All windows and doors are original. Both structures were built in 1948 by the parents of the current owners. The property’s south property line runs along Acequia Madre. The structures have remained unchanged except for the portal addition over 50 years ago.

Windows have a three-over-one and a six-over-six lite patterns; entry doors have glass panels and other doors are wood panel. The owners added a simple style framed portal to the northeast corner, west of the driveway and a detached garage in the early 70s. The garage also is a simple rectangle with a low-sloped shed roof and a portal. Other than stucco color changes in the buildings’ walls and side and rear yard walls, and the portal addition to the northeast corner, there have been no other alterations. The house front (façade 1) window and door pattern is unique with different sized windows flanking the inset front door. The southern end of the east elevation (façade 2) contributes to the simple character of this building. The west elevation (façade 7) mirrors the symmetry of the front and east facades. The garage façades 1 and 2 have the original garage door opening on the east elevation and a simple portal with historic windows on the south elevation.

The owners requested historic status and primary façade(s) designation of the buildings and yard walls. The applicant has provided aerial photography, plans, and historic and current photographs of the buildings.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City

Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.

2. Historic Preservation Division Staff Recommendation: Staff recommended the house and garage be designated contributing. The structures maintain their historical integrity with all original windows and doors that define its simple and unique historic character per 14-5.2(C) Regulation of Significant and Contributing Structures. Staff recommended that facades 1, 2, 3, and 7 of the house be designated primary. Staff recommended that facades 1 and 2 of the garage be designated primary.
3. The property is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The property is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-12.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the primary structure meets the definition of a “contributing structure,” as recommended by staff.
11. The Board finds that façade 1 (the southern elevation) of the primary structure has features that define the character of the structure’s architecture and should be designated the primary façade.
12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the house as a contributing structure.

4. The Board designates the garage and the yard wall as non-contributing structures.
5. The Board designates the south elevation, façade 1, as the primary façade.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4915-HDRB

Address – 133 Kearny Road

Agent’s Name – Gayla Bechtol

Owner/Applicant’s Name – Scott and Susan Lindenau

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

133 Kearny Road is a 1,425-square-foot Spanish Pueblo Revival building previously designated contributing to the Downtown and Eastside Historic District. Built in 1942, it has a flat-topped parapet that undulates slightly between the different heights of the building’s masses. Its windows include six-over-six, three-over-three, and eight-over-eight units. The house’s divided lite windows and front yard low wall characterize the Spanish-Pueblo Revival style. The front door has a portal.

Low undulating yard walls enclose the property on the south and partial west sides. A 6-foot stucco wall encloses the courtyard at the north and east corner of the site. Low picket fences enclose the yard on the north and west sides of the driveway. The picket fence is part of the historic building survey that indicates they are over 50 years old, and therefore, part of the contributing status. Per the historic building survey, 1958 and 1969 aerial photography suggest that the southern room may be a former infilled garage.

The applicant requests designation of primary facades.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended that facades 1, 2, 3, 4 and 7 be designated primary per 14-5.2(c), Regulation of Significant and Contributing Structures.
3. The property is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
4. The property is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.

5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
9. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the structure meets the definition of a “contributing structure,” as recommended by staff.
10. The Board finds that the west elevation of building, including the recessed wall under the portal, has features that define the character of the structure’s architecture and should be designated primary.
11. The designation of the west façade as a primary façade excludes the non-historic windows to the north and south of the recessed portal, and excludes the yard walls.
12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the entire west elevation, including the recessed portal, as the primary façade, excluding the yard walls and the windows on either side of the portal.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic

Date

City Clerk

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4859-HDRB

Address – 133 Kearny Road

Agent's Name – Gayla Bechtol

Owner/Applicant's Name – Scott and Susan Lindenau

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

133 Kearny Road is a 1,425-square-foot Spanish Pueblo Revival building previously designated contributing to the Downtown and Eastside Historic District. Built in 1942, it has a flat parapet that undulates slightly between building masses. Its windows include six-over-six, three-over-three, and eight-over-eight units. Low yard walls enclose the property on the south and partial west sides. A 6-foot stucco wall encloses the courtyard at the north and east corner of the site. Low picket fences enclose the yard on the north and west sides of the driveway. Per the historic building survey, 1958 and 1969 aerial photography suggest that the southern room may be a former infilled garage. The picket fence is noted on the historic survey.

The applicant proposed the following alterations:

1. Remove rectangular window on south end of west elevation (façade 1). The existing window is a pair of wood, divided-lite double-hung units with a three-over-three lite pattern. It measures 2’6” by 5’10”. Replacement window is a single, square double-hung wood window with an eight-over-eight lite pattern that measures 4’2.5” by 3’7.5”. The proposal involves widening the window opening, which requires exception findings.
2. Revise and replace yard walls and fence.
 - a. Replace picket fence at the house’s southeast corner. New fence will be a naturally weathering, stained wood slat fence, and a solid wood gate of the same height as the existing. The existing picket fence measures 3’ by 3’3/8” in height with space between the pickets. The proposed wood slat fence is solid.
 - b. Add 5’ tall coyote fencing to southwest elevation.
 - c. Remove a 6’ tall section of stucco yard wall on the northwest elevation and replace with a 5’3¼” stucco yard wall.
3. Add a 14’11½” trellis to the east elevation. The trellis will be 2’ taller than the height of the house.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff did not find that the exception criteria have been met, but, upon further testimony, the Board may find that they have been met. Otherwise, staff recommended approval of the application as it complies with SFCC Section 14-5.2(D), General Design Standards for all H Districts, and Section 14-5.2(E), Downtown and Eastside District Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(D)(5)(a)(i), an exception is required when widening a window on a primary façade.
9. Staff determined that an exception to SFCC Section 14-5.2(D)(5)(a)(i), would be required for approval of the Application, and the Applicant requested an exception.
10. To obtain an exception, the Applicant would be required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
11. The Board finds that an exception pursuant to SFCC Section 14-5.2(C)(5)(b) is not necessary, for the reasons that the window to be replaced on the west façade is non-historic and has been excluded from the primary façade designation. The Board also has found the yard walls and picket fence to be non-contributing.
12. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves Items # 1 through 3 as set forth in the Application.

3. An exception is not required to change the window opening and replace the window on the west façade because the window was excluded from the primary façade designation and is non-historic.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4870-HDRB

Address – 901 Galisteo

Agent’s Name – Sue Hoffman

Owner/Applicant’s Name – Alessandro and Maria Sachs

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

901 Galisteo St. is a single-family residential structure built in a Spanish Pueblo Revival Style by 1947 with contributing status. On November 12, 2019, the Board upgraded the status to contributing, and designated portions of the west and south elevations as primary. In 2020, in case 2019-1461-HDRB, the Board approved with conditions various changes to the doors and windows of the house, re-stuccoing and construction of a carport. In a subsequent administrative approval, the carport was eliminated from the proposal.

To the north of the main house is a driveway area upon which the owner proposes to construct a new structure:

1. The structure will be used as an art studio. It will be 330 square feet and reach a height of 13 feet 9 inches, which is the maximum allowable height. The elevation of the lot at this location is about 12 inches below the elevation at the midpoint of the main house, so that the new structure will sit below the main house.
2. It will be stuccoed in El Rey “Cottonwood,” which is the same color that was approved for the main structure in 2020 (Case # 2020-1680-ADMIN).
3. Windows will be Aluminum clad, colored “clay,” with trim in a dark brown.
4. The exterior door will be wood with half-lights, colored Sherwin Williams “Lagoon”.
5. The exterior lights will be colored “bronze”.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(H) Specific Design Standards for the Don Gaspar Area Historic District.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Don Gaspar Area District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the project as submitted, as recommended by Staff.

IT IS SO ORDERED ON THIS 22ND DAY of MARCH, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4743-HDRB

Address – 505 Apodaca Hill

Agent’s Name – Wyndham Carlisle

Owner/Applicant’s Name – Galen Briggs

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

505 Apodaca Hill is a 2,249-square-foot building and a 489-square-foot, free-standing casita. The house was constructed in the 1940s. The casita was built in the 1960s. The buildings are non-contributing to the Downtown and Eastside Historic District. The house and casita are Spanish-Pueblo Revival style and a mix of adobe, block, and frame construction. The height of the existing house and casita is 14’. In a 2014 remodel HDRB case, the house’s status was confirmed as non-contributing.

The applicant proposes to remodel the main house by enlarging the existing southwest portal, add a free-standing garage and gym, add stucco yard wall in courtyard, and repair yard walls and fences. No changes are proposed for the casita. Specifically, the applicant proposes:

Remodel the existing 453 southwest portal by adding 605 square feet of new portal at main house on west and south elevations. The new portal will be Spanish-Pueblo Revival Style with wood posts, corbels, and vigas. No increase in height is proposed. All new roofing will be flat roof behind parapets. Stucco of the main house and garage is to match the existing main color, which cementitious El Rey “adobe”, sand finish.

Replace windows and doors on the west elevation. Change a window to a set of double doors on the west elevation. Change a window to a door and add a window to the south elevation. Add one set of double doors and a three-panel window on the east elevation. Remove a door and a window and add five new windows on the north elevation. Windows and doors will be double-pane, wood aluminum-clad units, simulated divided lite in the western publicly visible elevation. The windows will be “Hartford Green” to match the existing Pella “Hartford Green” color. Replace existing canales with new canales that will be traditional metal lined wood construction with a clear sealant finish.

Add a 4” flagstone cap to the top of the exterior fireplace flue in “buff” color.

Replace the existing 6’ wide “eyebrow” overhang on the east elevation and replace it with a wider 16’ overhang with simple wood deck and wood brackets to secure it the house. Below the overhang is a pair of French doors.

Add ground-mounted mini-split condensers (HVAC).

New sconces will be rusty bronze.

Construct 1,376 square feet free-standing garage and gym west of the house. The new garage will be 14'-0" tall, where the allowable height is 15'-1". It will be Spanish-Pueblo Revival Style with a flat roof, parapet and new exposed wood to be rough sawn pine with a clear sealant finish. The new garage door will be clad in rough sawn pine. Stucco will be El Rey's cementitious "Adobe."

Add a low, stucco courtyard wall to border the new portal on the west and south elevations. The stucco yard wall is 2'5" at its highest. The low wall will have a pair of pine wood gates at the same height as the wall. New wood gates will be pine with a clear sealant finish. It will be stuccoed El Rey's cementitious "Adobe." Add a 4" flagstone cap to the top of the exterior fireplace flue in "buff" color.

Remove existing wood and steel fence in front (west) yard. Repair stucco wall with cementitious El Rey "Sandalwood" to match the existing. Repair existing wood and steel fence on west elevation and walls and fences on all sides of the property. There will be no increase in height. The existing street wall is to be repaired with "Sandalwood." New flagstone and crusher fine pathways through gate and to new garage will be added.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review ("PZR") and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code ("SFCC").
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings ("Staff Report"), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found it complies with Sections 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards
5. The property is located in the Downtown and Eastside Historic District and subject to District and is subject to Downtown and Eastside Historic District, Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.

7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application as submitted and as recommended by Staff, with the following additional conditions:
 - a. Applicant is required to revise the overhang of the principal portal to bring it in line with the proposed chimney, or reposition the chimney to the edge of the portal, and bring revisions to staff for approval.
 - b. The coyote fence latilla tops shall be uneven heights.
 - c. The chimney be no more than 2’ higher than the portal consistently with the Code.

IT IS SO ORDERED ON THIS 22th DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4719-HDRB

Address – 827 El Caminito

Agent’s Name – Richard Martinez

Owner/Applicant’s Name – Scott and Maika Wong

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

The applicant proposed to construct a 5,000-square-foot house in the Spanish-Pueblo Revival Style on a vacant lot. The height of the house will be 15’-0”, where the maximum allowable height is 15’-8”. The house will have stained wood beams and posts at the portales. The woodwork will be dark brown wood stain. All portales will have brown brick floors with flagstone paths.

The exterior of the house will be cementitious stucco in the color, El Rey ‘Adobe.’ The house will have off-white clad wood windows.

The south entry gate wall is 10’-6” and opens into a Zaguan. The shallow mini overhang is 18” deep with mini vigas decked by wood and with a metal finish. 6’ tall coyote fencing will surround the lot on east, north and west sides of the house. The coyote fencing was approved in the case for the house to the south; much of it already exists. There are tiered low planters, 18”-3’ tall on the western and southern elevations.

Non-publicly visible skylights are proposed. There will be no rooftop appurtenances that are taller than the parapets, and they will not be publicly visible. Ground mounted HVAC will be behind coyote fencing and not publicly visible. The entry gate will be an antique mesquite Mexican wood door.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant proposes to construct a new 4,998-square-foot building.
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as submitted and as recommended by Staff.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4856-HDRB

Address – 503 Apodaca Hill

Agent’s Name – Charles Smith

Owner/Applicant’s Name – Maura P. Guthrie

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

503 Apodaca Hill is a single-family residential structure with non-contributing status to the Downtown and Eastside Historic District. It was constructed in 1952. From the 1980s through 2000s, it saw significant changes and renovations. In case H-16-103A, heard on January 10, 2017, the Board retained the existing non-contributing status for the residential structure and assigned non-contributing status to the yard-walls.

The applicant now proposes the following:

1. Remove the existing carport;
2. Construct a 796-square-foot garage, to the maximum allowable height of 14 feet. The door will be metal colored “Mahogany” or “Dark Oak”;
3. Construct a new stairway along the east wall of the existing building leading up to a new 395-square-foot roof deck, with a top of rail maximum height of 15 feet. The maximum allowable is 15 feet 1 inch. The stairway will be TREX colored “spiced rum”;
4. Re-stucco in color “Java”;
5. Replace windows with clad wood, divided-lite windows, colored “Bahama Brown”;
6. Remove a 346-square-foot shed on the southeast corner;
7. Construct a covered porch patio with kiva fireplace, stuccoed “adobe” to match the house. The wood will be a clear alder stain, which is a light brown;
8. Replace roof with TPO beige membrane, change style from overhanging to parapeted, and install new wood and bronze-colored metal canales;
9. Remove existing fireplaces on the north and east sides of the existing building; and
10. Install Hampton Bay Bronze outdoor sconces.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).

2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends approval of the proposed project and finds the application complies with Section 14-5.2(D) General Design Standards for Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application as submitted, as recommended by Staff.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4854-HDRB

Address – 4 Montoya Circle

Agent’s Name – Christopher Purvis

Owner/Applicant’s Name – John Cashel and Daniel Pyne

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

4 Montoya Circle is a single-family residential structure built in the 1950s in a simplified Spanish Pueblo Revival Style with contributing status to the Downtown and Eastside Historic District. On August 13, 2019, the board designated the structure contributing with the north facade primary.

The applicant now proposes the following:

1. Construct a 315-square-foot addition to the 630-square-foot existing structure, to a maximum height of 12 feet 0 inches;
2. Construct a ramada on the south side of the addition, stained a warm brown;
3. Install double-hung windows in the addition as well as the main structure to match the historic style. These will be wood with dark brown metal clad with true divided lites;
4. Raise the parapet by 12” to a height of 11 feet 0 inches to allow for slope and rigid foam insulation;
5. Re-stucco with cementitious stucco colored “Buckskin”;
6. Repair the window on the contributing, north façade;
7. The unclad front door shall be stained a warm brown.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General

Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4857-HDRB

Address – 961 Camino Santander

Agent’s Name – Christopher Purvis

Owner/Applicant’s Name – M. Modina and K. Degier

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

961 Camino Santander is a 1,580 square foot single-family residential structure in a Spanish Pueblo Revival Style with non-contributing status to the Downtown and Eastside Historic District. In the 1930s, the residential structure started as two separate one-room buildings. In the 1950s, these buildings were joined together with an angled connection. In the 1990s, a bathroom was added on the west side, the adjacent parapet was raised, the front/south and west portal was added, and the French doors and all windows were replaced.

The applicant now proposes the following:

1. Construct a 457-square-foot addition to a height of 12 feet 0 inches, which matches the height of the existing structure. This will be added onto a historic portion of the structure of which little historic material remains – the openings changed in dimensions, the windows are non-historic and the overhang has changed. The stucco will be Buckskin cementitious stucco. The wood stain will be medium brown;
2. Construct a ramada of wood. It will be stained medium brown to match the existing portal.
3. Add 2” of styrofoam insulation and re-stucco with El Rey Buckskin cementitious stucco.
4. Replace the 1990s windows and French doors. The new windows will be aluminum clad with true divided lites, colored “Sierra Pacific Bronze.”
5. Repair and replace wood components in the existing gates.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements

and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2022-4864-HDRB

Address – 513 East Coronado

Agent’s Name – Wolf Corporation

Owner/Applicant’s Name – John and Maria Sanchez-Gagne

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on March 15, 2022.

BACKGROUND

513 East Coronado Road is a single-family residential structure with non-contributing status to the Downtown and Eastside Historic District. It was constructed by the 1950s in a Spanish Pueblo Revival Style. The owners of the house have resided there since 2002. In 2002, in Case # H-02-142, the Board approved a replacement of the windows with windows that had larger than 30-inch dimensions and included snap-in muntins on those windows on the publicly visible façades. The existing windows do not contain the 2002 approved snap-in muntins.

The applicant proposes the following:

1. Replace all windows in kind. These are aluminum-clad windows with undivided lites whose dimensions exceed 30 inches. These windows have already been purchased, but not installed, by the owner. The owner has been informed by Staff that applicable windows on this structure are required to conform to the 30-inch rule. The owner subsequently has inquired with the window vendor about returning the windows, but the vendor has refused this possibility. The applicant is thus requesting an exception to install windows whose dimensions exceed 30 inches. The reasons are discussed in the responses to the exception criteria below.
2. Replace the side door of aluminum clad in dark brown.
3. Re-stucco the structure in Sto “Pueblo” (01005).
4. Raise the parapet by 12 inches to 14 feet 2 inches to seal the structure properly. The current roof, which was re-roofed in the last 15 years, has no parapet.
5. Install three metal awnings over windows on the house and one metal awning over a window on the garage; the proposed awnings measure 36” high and protrude 24” from the walls.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements

and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed items 2, 3, and 4 and finds that these items comply with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards. Staff recommends the Board find that the exception criteria have been met.
4. Staff recommends that item 1 be approved on the condition that the applicant employs snap-in muntins on those windows that require single panes of glass more than 30 inches in dimension. With that condition, the exception criteria would be met.
5. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(C)(5), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. Under SFCC Section 14-5.2(E)(1)(c), windows may not contain single panes of glass more than 30 inches in dimension.
10. The Applicant proposes to install windows containing single panes of glass more than 30 inches in dimension
11. Staff determined that an exception to SFCC Section 14-5.2(E)(1)(c) would be required for approval of the Application, and the Applicant requested an exception.
12. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
13. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board finds that the Applicant has conclusively demonstrated that all exception criteria have been met. The Board finds:
 - a. The proposed windows are similar to those on other houses on the 500 block of Coronado Road, duplicate the design of the windows presently on the house and on a rear guest house, and do not damage the character of the district;
 - b. The existing windows on the house previously were approved by the Historic Districts Review Board in 2002 with snap-in muntins, the snap-in muntins were never installed, and the Board believes they would create an inauthentic appearance;
 - c. To require strict compliance with SFCC Section 14-5.2(E)(1)(c) would result in a window design that is inharmonious with the streetscape and other improvements on that property, and this exception is required to prevent a hardship to the applicant and an injury to the public welfare; and
 - d. The proposed window replacement strengthens the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all other applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the exception requested in the Application.
3. The Board approves the Application, as recommended by Staff, with the following additional conditions:
 - The awnings shall be no greater than 15 inches high; and
 - Snap-in muntins shall not be required.

IT IS SO ORDERED ON THIS 22nd DAY of March, 2022, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004878--HDRB

Project Description:

Project Location(s): 342 PLAZA BALENTINE
Santa Fe, NM 87501

Contacts:

Applicant: Martinez Architecture Studio PC P. O. Box 925 Santa Fe, NM 87504	studio@martinezarch.com
Applicant: Martinez Architecture Studio PC P. O. Box 925 Santa Fe, NM 87504	studio@martinezarch.com
Applicant: Martinez Architecture Studio PC P. O. Box 925 Santa Fe, NM 87504	studio@martinezarch.com
Applicant: Martinez Architecture Studio PC P. O. Box 925 Santa Fe, NM 87504	studio@martinezarch.com
Property Owner: JULIA & ZACHARY LEONARD 29 ST PAULS PL LONDON, N12QG	jcplondon@btinternet.com
Property Owner: JULIA & ZACHARY LEONARD 29 ST PAULS PL LONDON, N12QG	jcplondon@btinternet.com
Property Owner: JULIA & ZACHARY LEONARD 29 ST PAULS PL LONDON, N12QG	jcplondon@btinternet.com
Property Owner: JULIA & ZACHARY LEONARD 29 ST PAULS PL LONDON, N12QG	jcplondon@btinternet.com

Contacts:

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2022-004878-HDRB

Address: 342 Plaza Balentine
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: Facades documentation

STAFF RECOMMENDATION:

Staff recommends the following façades be designated primary, per 14-5.2(C) Designation of Significant and Contributing Structures: 2, 11, 12, 16, 20, 24, 27, and 28.

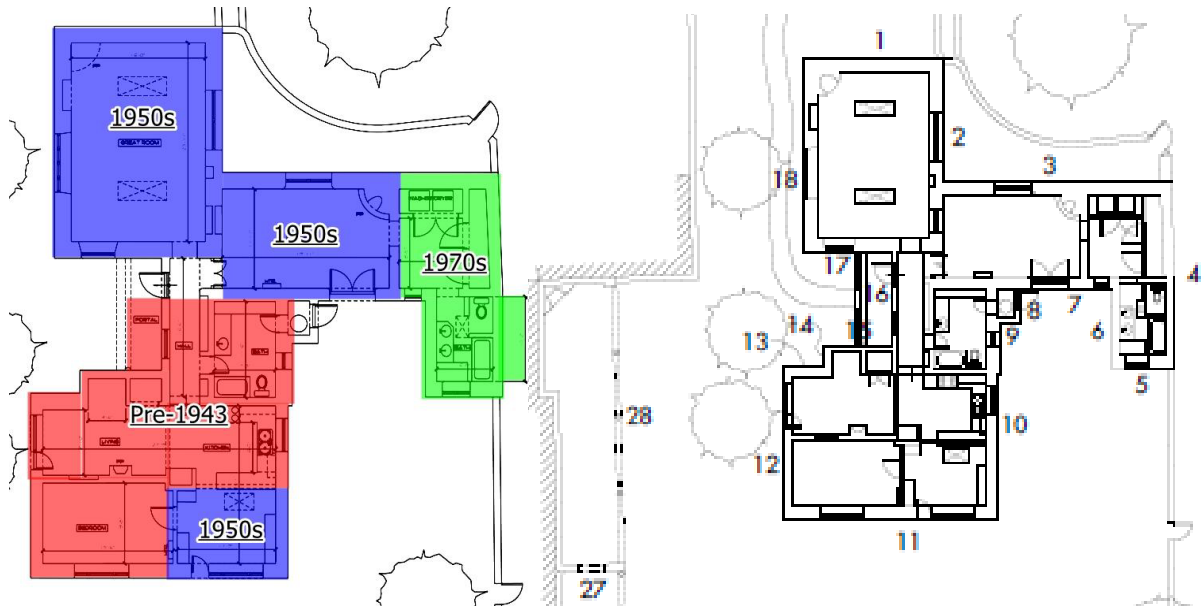
BACKGROUND & SUMMARY:

342 Plaza Balentine is a single-family residence listed as contributing to the Downtown and Eastside Historic District, probably designated by the Governing Body following a windshield survey. It is constructed in a mixed Spanish Pueblo and Territorial Style with elements typical of its construction in the 1940s through 1970s. The earliest, pre-1943, portion of the house is located on the southern wing. In the 1950s, it was expanded onto largely to the north and also with a small addition onto the south. Finally, in the 1970s an addition was created growing the house eastward.

The following structures are included:

1. A main house (façades 1- 18) constructed by the late 1940s;
 - a. Façades 10, 11 (west portion), 12, 13, 14, 15, 16 are from before 1943. It appears to have been extended at some time and the walls are made of block and clay tile, suggesting that it under various changes. This made from adobe. The wood windows on façade 11 are from the 1950s and are character defining. Facades 11 (south) and 12 are likely the oldest portion of the structure. Staff regards the entry at façade 16 with its overhanging roof, door and window to be character defining.
 - b. Façades 1, 2, 3 (north portion), 7, 8, 9, 10, 11 (east portion), 16, 17, 18 from the 1950s; Façade 1 is a wall without fixtures, doors or windows. Façade 2 has character-defining windows.
 - c. Façades 3 (east portion) 4, 5, 6 (from the 1970s) are non-historic, and thus not eligible for primary facade designation;

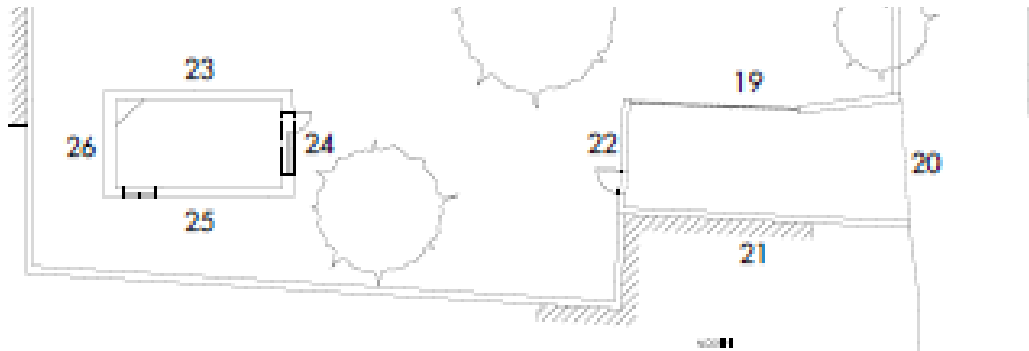
Staff recommends that the facades described above as character defining be designated primary.



North is “up” on the two diagrams above.

2. A carport (facades 19-22) built pre-1943 – 1970s. Façade 20, the historic opening, containing brick coping, wooden beams and rounded rectilinear columns, is character defining.
3. A “Casita” accessory structure (façades 22-26) predating the 1940s. The front is façade 24, and has character defining historic coping, windows and door.
4. A portal / pergola (façades 27-28) probably predating the 1940s. Facades 27 and 28 are character defining, with thick columns, vigas and brick coping.

Staff recommends that the facades described above as character defining be designated primary.



Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Hughes House	2. Location: 342 Plaza Balentine <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: H-3084 4. County: Santa Fe Parcel # 99309578
5. Property Type: <input checked="" type="checkbox"/> Buildings: <input checked="" type="checkbox"/> Structures: walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: November 29, 2021		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: 1985 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6806774,-105.931618		
10. Photo Information: John W. Murphey, photographer. View south and east elevations, facing northwest.		
11. Brief Description of the Property: Possibly starting humbly as a chicken coop, the subject house was constructed over many years, with renovations and additions beginning in the 1940s and continuing through the late 1970s — resulting in its odd footprint and disparate façades. It sits at the end of Plaza Balentine, a private lane associated with the 1920s development of the same name built by Kate Chapman (Photo 1). In this position, it is not visible from a public right-of-way. With its walls and enclosures, the house resembles a very small <i>quinta</i> — or country house. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: pre-1930, through late 1979s Date: <input checked="" type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: city directories, former property owner		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input checked="" type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Source: Office of the Santa Fe County Assessor

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com

For: Martinez Architecture Studio PC

18. Owner (if known) and other knowledgeable people:

Owner: Zachary Leonard and Julia Platt

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing Non-contributing: House No Status:
Carport, Casita, Walls
Per City of Santa Fe official designation map.

House: Contributing Structures to the Downtown and Eastside Historic District

If 'yes', what is the name of the district? State National City of Santa Fe:
Downtown and Eastside Historic District

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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ARCHITECTURAL AND CONSTRUCTION DETAILS:																																																											
6. Visible Construction Material: <input checked="" type="checkbox"/> Adobe <input type="checkbox"/> Brick <input type="checkbox"/> Composition <input checked="" type="checkbox"/> Concrete: Block <input type="checkbox"/> Concrete: Cast Stone <input type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other:		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input type="checkbox"/> Concrete: <input type="checkbox"/> Stone Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input checked="" type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																																																									
10. Windows <input type="checkbox"/> N/A House and Casita <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Operation</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Glazing</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr><td>Casement</td><td>Wood</td><td>Single</td><td>7</td></tr> <tr><td>Casement</td><td>Clad</td><td>Single</td><td>2</td></tr> <tr><td>Combination</td><td>Wood</td><td>1/1-F-1/1</td><td>2</td></tr> <tr><td>Ventilator</td><td>Wood</td><td>6</td><td>6</td></tr> <tr><td>Ventilator</td><td>Steel</td><td>6</td><td>1</td></tr> <tr><td>Ventilator</td><td>Steel</td><td>12</td><td>1</td></tr> <tr><td>Fixed</td><td>Wood</td><td>Single</td><td></td></tr> </tbody> </table>		Operation	Material	Glazing	Number	Casement	Wood	Single	7	Casement	Clad	Single	2	Combination	Wood	1/1-F-1/1	2	Ventilator	Wood	6	6	Ventilator	Steel	6	1	Ventilator	Steel	12	1	Fixed	Wood	Single		11. Doors <input type="checkbox"/> N/A House and Casita <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Type</th> <th style="text-align: left;">Style</th> <th style="text-align: left;">Material</th> <th style="text-align: left;">Number</th> </tr> </thead> <tbody> <tr><td>Single-Leaf</td><td>T&G</td><td>Wood</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>Solid</td><td>Wood</td><td>1</td></tr> <tr><td>Single-Leaf</td><td>4-light</td><td>Wood</td><td>2</td></tr> <tr><td>Single-Leaf</td><td>10-light</td><td>Wood</td><td>1</td></tr> <tr><td>Double</td><td>Single</td><td>Wood</td><td>1</td></tr> </tbody> </table>		Type	Style	Material	Number	Single-Leaf	T&G	Wood	2	Single-Leaf	Solid	Wood	1	Single-Leaf	4-light	Wood	2	Single-Leaf	10-light	Wood	1	Double	Single	Wood	1
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Single-Leaf	10-light	Wood	1																																																								
Double	Single	Wood	1																																																								
12. Chimneys Three square stuccoed chimneys		13. Porches <input type="checkbox"/> N/A Type: <input checked="" type="checkbox"/> Entry <input type="checkbox"/> Partial-Width <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																																																									
14. Other Significant Features N/A																																																											
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications																																																											
#1 Date: Multiple additions and renovations made between 1943 and 1982; former property owner and material and visual evidence.																																																											

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other: Vernacular

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

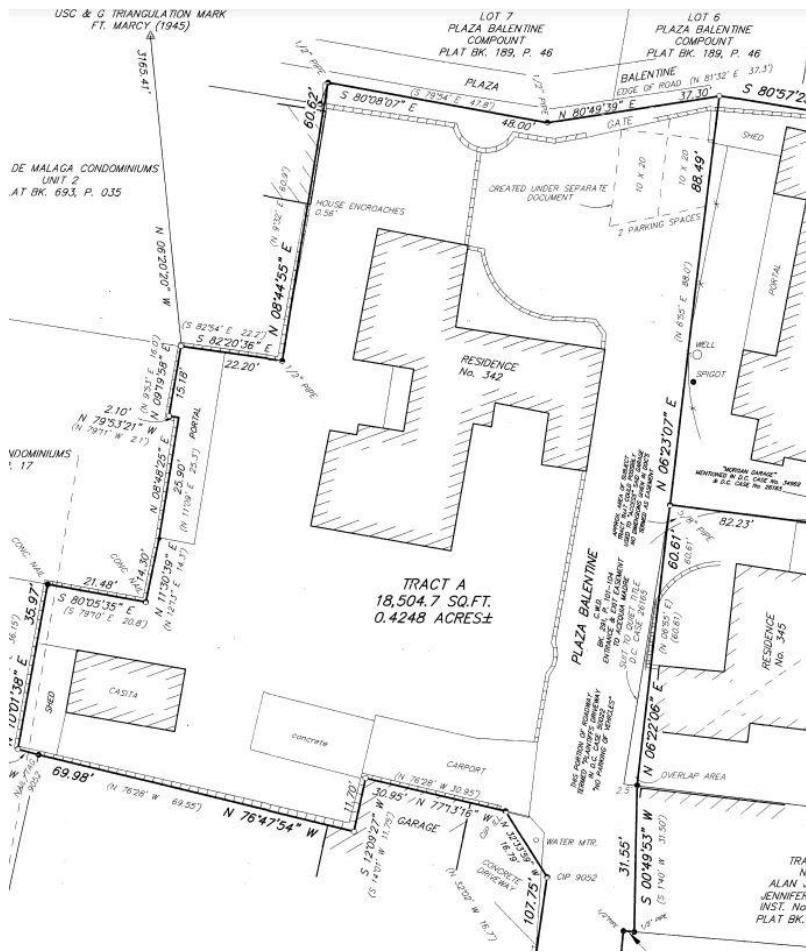
Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: No

19. Site Plan: Portion of 2019 survey, Del Rio Surveys, Inc.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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Architectural Description Continued

The patched-together house is not one of Chapman’s works. This is clear by its siting on the lot and its lack of architectural unity. Unlike the Chapman houses, which sit close and parallel to the drive, the subject house hangs toward the back of the lot, surrounded by a lawn.

Carport

Situated at the south end of the property is a one-bay carport, presumably built in the late 1940s¹ and modified after that (Photo 2). The poured concrete floor structure shows two types of decking, suggesting it was extended at its east end at one point (Photo 3). Its walls are made of both concrete block and hollow clay tile, further reinforcing different construction periods. A tongue-and-groove pedestrian door at the west end opens to the yard. Visible is an older ancillary structure (the Casita) to the west, and the home to the north.

House

The house’s south elevation, facing the yard, presents its mixed lineage. The older section, representing pre-1943 and 1950s construction, is adobe.² It is fenestrated with inexpensive combination windows and a narrow door fitted in bullnose openings (Photo 4). The wood windows are typical of the 1950s, with single-glass, double-hung units framing a centered fixed pane. They are trimmed with unglazed brick sills, also diagnostic of the time. The wall is capped with a non-historic brick coping, giving it an out-of-place Territorial look. This treatment continues across each elevation and other structures on the property.

The remaining south elevation is set back from the older portion. It consists of sections of the home that were altered and/or constructed in the late 1970s (Photos 5 & 6).³ Its openings reflect this period, with double-pane insulated single-light windows and doors (Photo 6).

¹ Stephen G. Hughes, email communication to John Murphey, December 17, 2021. Hughes, the son of James and Phyllis Hughes, grew up on the property and returned in the late 1970s, overseeing several renovation projects.

² Several utility access holes and areas of damage allowed limited testing of wall construction material.

³ Hughes, email communication to John Murphey.

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West Elevation

The west side, facing onto a property wall, encloses the main entrance to the home. Its various offset volumes represent at least two construction phases. The south end holds what may be the oldest piece of the building — a low-ceilinged room, potentially the chicken coop of property lore. This small rectangular room has an 82" ceiling and a nook on its north interior wall that a previous owner believes was a roosting loft (Photo 7). This space is entered from the exterior through a narrow wooden door adjacent to a small picture window (Photo 8).

Beyond this section, to the north, is an entry portal (Photo 9). A similar fixed window sits next to a tongue-and-groove wood door. The vintage of the portal is unknown, but a similar structure appears on a 1958 aerial (Figure 1).⁴

The last piece of the façade is a larger rectangular volume anchoring the north end of the house. Reportedly constructed in the late 1950s after a design by architect Kenneth Clark, the Great Room is the home's largest space with the tallest ceiling (102½") (Photo 10). Grouped scissor-hinged wood casement windows, terminated with brick sills, break up the wall (Photo 11).

North Elevation

The north elevation of the 1950s addition is a blank wall (Photo 11). East of the Great Room is a bedroom constructed in the 1950s. Its north windows, consisting of modern Pella units, open to a walled area (Photo 12). The north façade ends at the east with a dressing room constructed in the late 1970s.

East Elevation

The entirety of the east elevation is windowless and incorporated into a privacy wall running the length of the property (Photo 13).

⁴ The portal decking appears to be of more recent vintage.

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Secondary Structures

Casita

Occupying the southwest corner is the Casita. Built of adobe, the east-west axis structure has a large opening across its east elevation holding a 12-light steel window (Photo 14). The center six lights push out on hinges. Next to the window is a recent tempered glass multi-light wood door.

The structure contains one window on its south elevation (Photo 15). The industrial steel unit is turned on its side, suggesting it was repurposed. The other elevations are without openings. The roughly 324-square-foot structure has one room. The large opening and concrete apron in front of the Casita indicate it might have once worked as a garage.

A previous property owner recalls that the Casita existed when his parents purchased it in the 1940s. In his memory, Kate Chapman may have used it to house animals.

Portal/Pergola

Running along the west edge of the yard is a narrow portal-like shelter with an attached pergola (Photo 16). The 42'-long structure has a low, cozy ceiling made of vigas. It is 76" deep and floored with brick. A bench made of orange Mexican tile is set in a recess near the north end (Photo 17). Nearby is a corner *fogon* fireplace.

The portal commands the most architectural interest of the property, and is reminiscent of sheltered outdoor rooms of the 1920s. Its origin is unknown but it is thought to pre-date the 1940s. The previous property owner recalls that his mother built the fireplace and likely the bench.

Privacy Wall

A low privacy wall runs along the east edge of the property, paralleling the lane (Photo 18). It maintains a roughly 57" height above outside grade. Near its center is a pair of rustic wood doors opening to a trash enclosure. The same brick coping used on the house and Casita caps the wall.

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A penetration revealed that the lower portion is made of adobe covered with several coats of stucco. The top of the wall may have been extended. A 1958 aerial shows what appears to be a wall in this position.

A separate wall framing a small parking court encloses the property’s north end. Made of stuccoed concrete block, this wall and its planters are non-historic (Photo 19).

Historical Overview

Referencing city directories, a portion of the house could have been constructed as early as 1930, or even prior. While historically likely part of Kenneth and Kate Chapman’s property, it does not appear to be part of the Plaza Balentine development.

Plaza Balentine Context

Before the extension of Delgado to East Manhattan, this land was in agricultural use. A single house, owned by Valentine Herbert — the probable inspiration for the development’s name — occupied the site of the future subdivision.⁵ In 1901, Herbert sold the property to Robert Lee Douthitt, a miner from Pennsylvania who lived in Bernalillo, New Mexico.⁶

Kate Muller Chapman began developing the 6-acre parcel in the late 1920s, starting from Acequia Madre and moving north. By 1931, four houses populated the narrow lane. From city directory entries, it appears the houses were built on speculation and marketed to Anglo Americans. Early renters included lawyers, doctors, artists, and writers. Jesse Nusbaum, then acting director of the School of American Research, briefly lived in 339.

The development continued north with houses not designed by Chapman. The first of these, 511, was occupied by Willard Norris Dixon, a clerk at the state highway department, and his wife, Marta, a native of Stockholm, Sweden. It was the only house in Plaza Balentine at the time in which the occupants were the homeowners.

⁵ Catherine Colby, *Kate Chapman: Adobe Builder in 1930s Santa Fe* (Santa Fe: Sunstone Press, 2012), 23.

⁶ *Ibid.*, 24; 1930; Census Place: *Bernalillo, Sandoval, New Mexico*; Roll: 1398; Page: 3B; Enumeration District: 0001; Image: 8.0; FHL microfilm: 2341133.

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Several sources, including the longest-term property owner, indicate that the subject parcel was part of the greater Chapman land and possibly used for livestock. The house under study likely represents this secondary development.

342 Plaza Balentine

A residence with this address appears in city directories as early as 1930. Robert S. Hubbell, a draftsman for the highway department, and his wife Stephenetta leased it for a short time.⁷ Stephenetta died in late 1930, with Robert returning to Michigan, where he worked as a design engineer at the General Motors Proving Grounds for many years.

After their departure, the house sat vacant before Dorothea Carroon Barnes moved in. The daughter of former Las Vegas Normal School president Frank Carroon, Dorothea opened a nursery school in 339. Barnes Nursery promised to keep “a child’s growing mind occupied with pleasant play and supervised association [with] happy surroundings and sufficient toys.”⁸

In 1934, Dorothea married Glisson P. Winkler, the New Mexico correspondent for the Associated Press. The couple lived in the residence for a few years before moving to Overland Park, Kansas, where Glisson continued with the news agency. Alfred C. Kuehl, a National Park Service landscape architect, and his wife Genevieve were the home’s tenants during the late 1930s and early ‘40s.

Hughes Ownership

The property moved out of rental status when its next occupants, attorney Henry Hughes and his wife, purchased it in the early 1940s. The property remained in Hughes ownership until its recent sale.

Born in 1906 in Allenville, a small farming community in central Illinois, Henry Jackson Hughes worked as a lawyer in Chicago for the American Telegraph and Telephone Company.⁹ He later went into private practice in Springfield, occupying Abraham Lincoln’s former law office on the courthouse square.

⁷ Hudspeth Directory Company, *Santa Fe City Directory, 1930* (El Paso: Hudspeth Directory Company, 1930), 233.

⁸ Advertisement, *Santa Fe New Mexican*, May 23, 1933, 3.

⁹ Biographical information on the Hughes family is drawn primarily from public records, including census data, city directories, and newspaper accounts.

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Hughes moved to Santa Fe in 1941, where he married Phyllis Wistrand, a Wyoming native and artist. Wistrand had fleeting fame as a child with a widely published photograph of her being kissed by President Taft.

Hughes initially worked with attorney general E. P. Chase but soon left to start his own practice, setting up office in Sena Plaza. As a private attorney, Hughes represented many business people and he became involved in several ventures, including the formation of the Alpine Lumber Company.

As recalled by his son, Stephen G. Hughes, the couple purchased the land as two parcels. It included the building that would become the Casita and a small house, that in neighborhood lore was said to have originated as a chicken coop. The room once supposedly serving as the coop had 18" of dirt on its roof when the family purchased it.¹⁰

The couple improved the house, renovating existing spaces in the late 1940s. This included raising the roof over the kitchen and extending the hallway. By the early 1950s, the original bedroom had been renovated and a new bathroom added. A bedroom was built onto the south end of the house for their two young boys.

In the late 1950s, a large living room (Great Room) was created at the north end of the hallway. The space was designed by architect Kenneth S. Clark, who had lived briefly at 513 Plaza Balentine in the late 1930s. As recalled by Stephen Hughes, Clark refused to sign his drawings because he insisted its entry, winding around the room from the front door, was "anti-social."¹¹

Henry James Hughes died in 1978, at age 72. His son, Stephen, a Wesleyan University graduate and also an attorney, moved into the house with his wife, Margaret, in the late 1970s. They began making changes to suit their needs. These included removing an interior wall between the kitchen and the south bedroom.

They renovated the kitchen and added skylights throughout the house, removed the south wall of a storage area and built a new frame bathroom. They took the older bathroom and turned it into a laundry and dressing room. These alterations are clearly

¹⁰ Hughes, email communication to John Murphey.

¹¹ Ibid.

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readable, viewing the east side of the south elevation with its modern doors and windows.

The house achieved its current appearance by 1982 when Stephen and Margaret moved away from the property. Used as a rental, it remained in family ownership until its recent sale.

Evaluation of Historical Status

The house's footprint appears to be mostly in place by 1958. Subsequent changes, including small additions and reconstructions, have affected its south and east elevations. The east portion of the south elevation is particularly disharmonious. In its entirety, the house lacks architectural unity and is best understood as an example of accretionary, vernacular growth. The most architecturally significant feature of the property is the Portal/Pergola structure. The Casita, of unknown origin, has been altered but maintains its historic footprint. The older section of privacy wall is characteristic, yet as been altered with brick coping.

Conclusion

With most structures possessing a historic footprint, the recommendation is to designate the house, Casita, Portal/Pergola, Carport, and the older section of the privacy wall, Contributing Structures to the Downtown and Eastside Historic District.

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Illustrations



Figure 1: November 10, 1958, aerial photograph.
The majority of the current footprint is in place by this time, although sections of the house would be reconstructed, added upon, and renovated through the late 1970s.
Courtesy New Mexico Department of Transportation.

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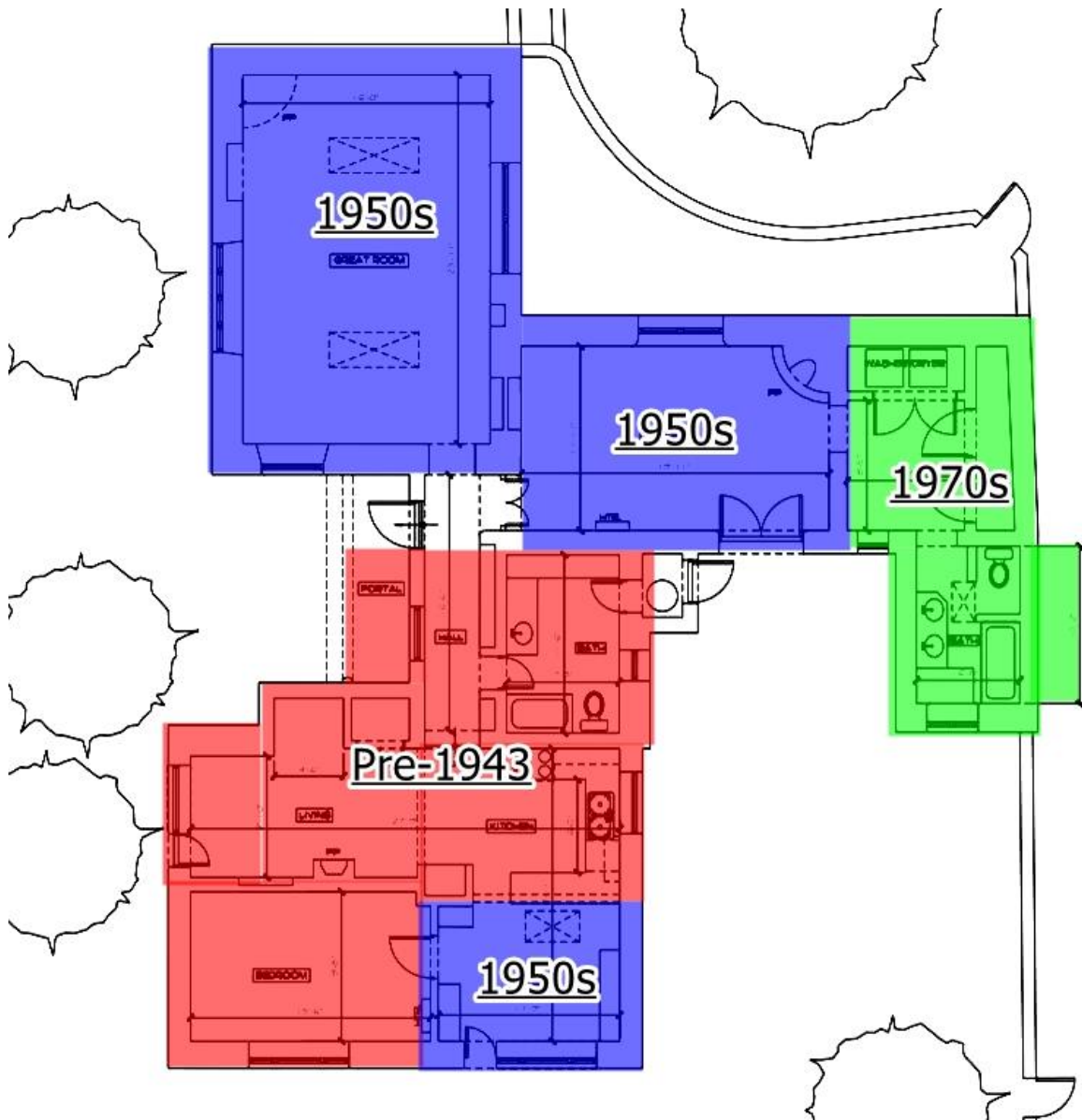


Figure 2: Approximation of construction and renovation phases, based on communications with former long-term owner. Drawing courtesy Martinez Architecture Studio PC.

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Survey Photographs

(All images taken by John W. Murphey on November 29, 2021,
unless otherwise noted)



Photo 1: View of property
Camera facing northwest.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 2: Carport.
Camera facing northwest.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 3: View of Carport.
 Camera facing west.

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		4. County: Santa Fe	
		5. Date of Survey: November 29, 2021			



**Photo 4: South elevation.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 5: South and east elevations.
Camera facing northwest.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		4. County: Santa Fe	
		5. Date of Survey: November 29, 2021			



**Photo 6: South elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 7: Living area.
Camera facing west.

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		5. Date of Survey: November 29, 2021			



Photo 8: West elevation.
Camera facing east.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 9: West elevation, entry portal.
Camera facing east.
Sharon Joyce, November 11, 2021.

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 10: Great Room
Camera facing southwest.

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 11: North and west elevations, Great Room.
Camera facing southeast.**

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1. Name of property: Hughes House	2. Location: 342 Plaza Balentine Santa Fe: <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 12: North elevation.
 Camera facing southeast.
 Sharon Joyce, November 11, 2021.**

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 13: North and east elevations.
Camera facing southwest.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 14: Casita, east elevation.
Camera facing west.**

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		5. Date of Survey: November 29, 2021			



**Photo 15: Casita, west and south elevations.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 16: Portal/Pergola, west elevation.
Camera facing northwest.**

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Historic Preservation Division, New Mexico Department of Cultural Affairs

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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



Photo 17: Portal/Pergola, interior.
 Camera facing south.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

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		5. Date of Survey: November 29, 2021			



Photo 18: Yard wall.
Camera facing northwest.

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HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
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		4. County: Santa Fe			
		5. Date of Survey: November 29, 2021			



**Photo 19: Recent wall at parking court.
Camera facing northwest.**



**CITY OF SANTA FE HISTORIC PRESERVATION DIVISION
HISTORIC DISTRICTS APPLICATION**

1. Applicant Information (to be completed by the Applicant)

Date: 02/07/2022 Location of Project: 342 Plaza Balentine

Applicant

Name: Richard Martinez/MASPC

Phone: (505) 989-4958 Email: studio@martinezarch.com

Property Owner

Name: Julia Platt and Zacharay Leonard

Phone: (505) 989-4958 Email: studio@martinezarch.com

Proposed Work:

Status Review.

2. Property and Project Information (to be completed by HPD Staff)

Case Planner: Daniel Schwab

Date Assigned: _____ PAR No.: _____

Date of Site Visit: Dec, 2021 Time: _____

Historic

District: DTES

Historic Status: NC

Primary Elevations: N/A

Previous HDRB and Admin Cases Yes No

Archaeological compliance required?

Administrative or HDRB?	Admin	HDRB
	<input type="checkbox"/>	<input type="checkbox"/>
If HDRB, exceptions required? (Complete prior to application acceptance.)	Yes	No
	<input type="checkbox"/>	<input type="checkbox"/>

Code Citation for Exception: _____

Date of Follow-Up with Applicant: _____

3. HDRB Application Section (to be completed by Applicant)

Please submit this application form with the additional required application materials. A list of materials and requirements for submittal can be found at https://www.santafenm.gov/historic_preservation .

Application Submittal Date: 02/07/2022

Desired Hearing Date: 03/08/2022

Project Type:

Status

New Construction

Sq. Ft. of project: _____

Primary Elevation Designation

Remodel


Sq. Ft. of project: _____

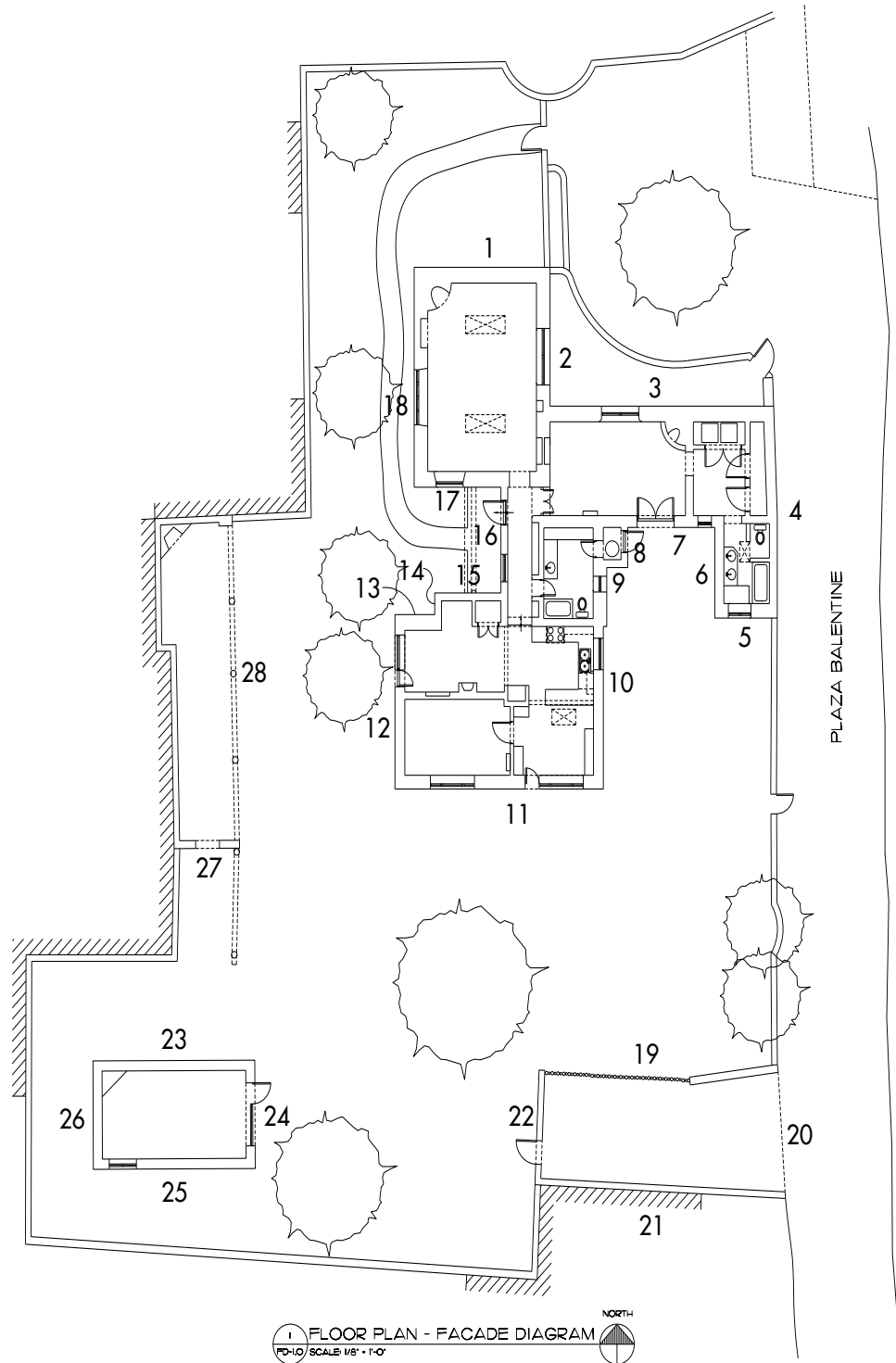
Construction Cost: _____

AFIDAVIT AUTHORIZING AGENT/APPLICANT

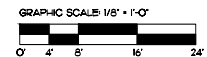
As the Owner and holder of title of the above listed property I/we authorize the Agent/Applicant to act on my/our behalf to execute this application.

Print Name Julia Platt and Zacharay Leonard

Signature 



1 FLOOR PLAN - FACADE DIAGRAM
 FD-10 SCALE 1/8" = 1'-0"



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 895-989-4956 studio@martinezrich.com

PLATT-LEONARD
 ARCHITECTURE
 342 PLAZA BALENTINE
 SANTA FE, NEW MEXICO

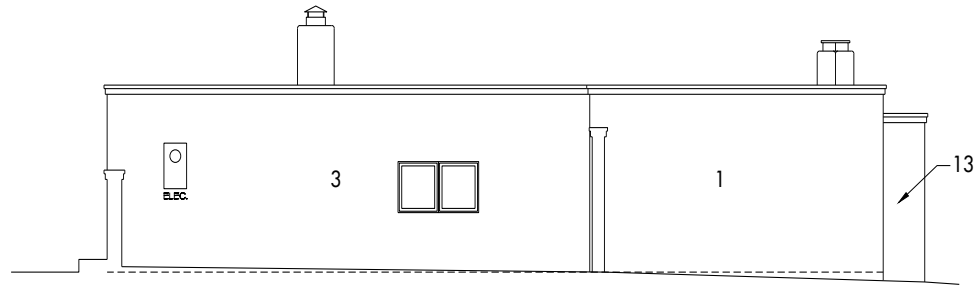
FEBRUARY 8, 2022

FACADE
 DIAGRAM

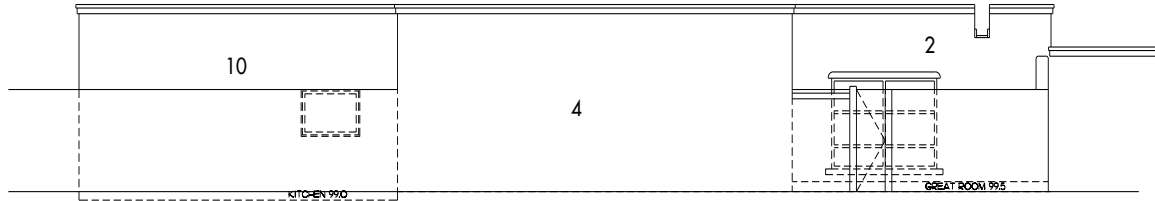
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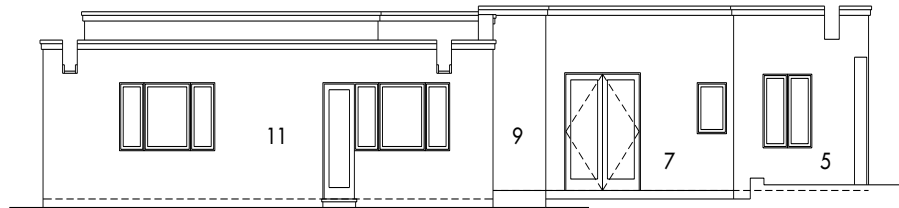
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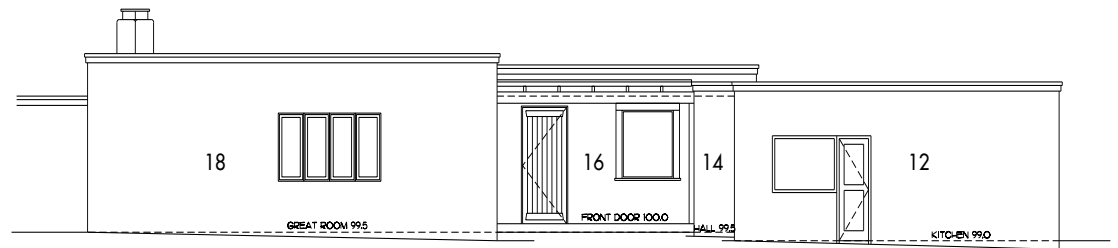
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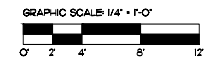
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3 EXISTING SOUTH ELEVATION
A-3.0 SCALE 1/4" = 1'-0"



4 EXISTING WEST ELEVATION
A-3.0 SCALE 1/4" = 1'-0"



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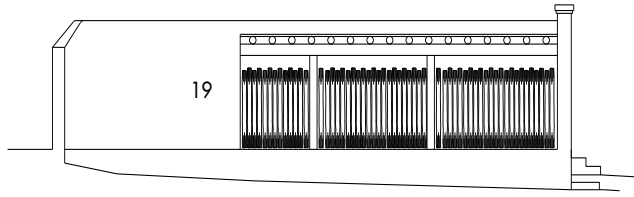
NOVEMBER 9, 2021

EXISTING
ELEVATIONS

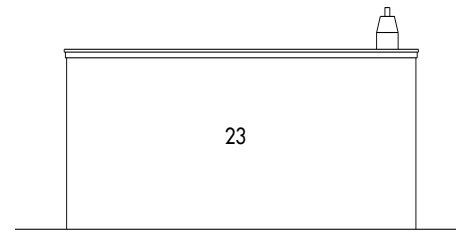
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SET #

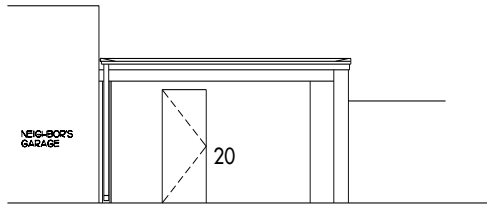
PLATT-LEONARD -2109



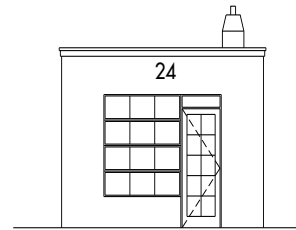
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A-3.0 / SCALE 1/4" = 1'-0"



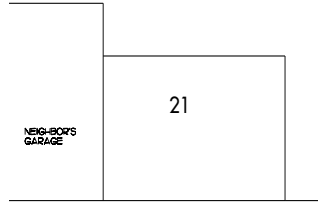
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A-3.0 / SCALE 1/4" = 1'-0"



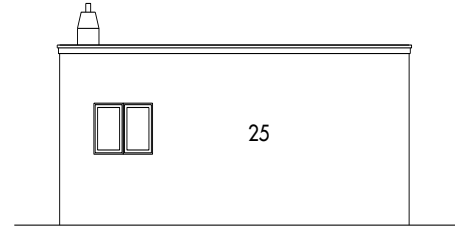
2 EXISTING CARPORT EAST ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



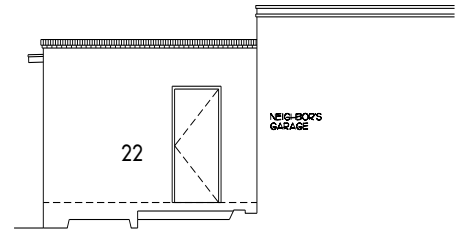
2 EXISTING CASITA EAST ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



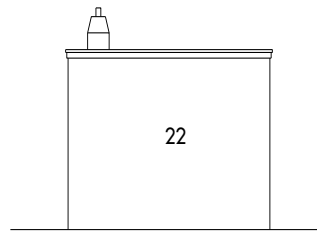
3 EXISTING CARPORT SOUTH ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



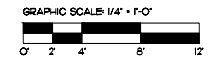
3 EXISTING CASITA SOUTH ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



4 EXISTING CARPORT WEST ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



4 EXISTING CASITA WEST ELEVATION
A-3.0 / SCALE 1/4" = 1'-0"



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FEBRUARY 8, 2022

EXISTING
CARPORT &
CASITA
ELEVATIONS

A
3.1

SET #

PLATT-LEONARD -2109

Z:\0109 Platt Leonard\Current Drawings\0109 - Platt Leonard_202009.dwg, 2/7/2022 4:51:15 PM, DWG to PDF.plt



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FEBRUARY 8, 2022



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FACADES 25 & 26
FEBRUARY 8, 2022



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SANTA FE, NEW MEXICO 87505

FACADES 27 & 28
FEBRUARY 8, 2022



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004867--HDRB

Project Description:

Project Location(s): 620 W SAN FRANCISCO ST
Santa Fe, NM 87501

Contacts:

Applicant: WILL MCDONALD
488 ARROYO TENORIO C
Santa Fe, NM 87505

wm44@icloud.com

Property Owner: William D White

wmdwhiteco@aol.com

Historic District: HD: Westside-Guadalupe

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2022-004867-HDRB

Address: 620 West San Francisco Street
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends:

1. the historic status of the north structure be designated contributing, with the north and west façades as primary,
 2. the historic status of the south façade be maintained as non-contributing,
 3. the rock wall be designated contributing,
- per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

620 West San Francisco Street includes two single-family residential structures dating from the 1950s, constructed of pen-tile in a Spanish Pueblo Revival Style.

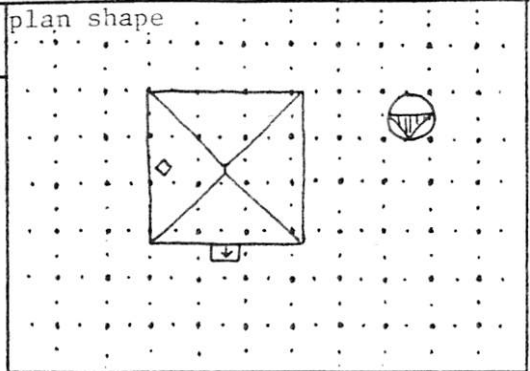
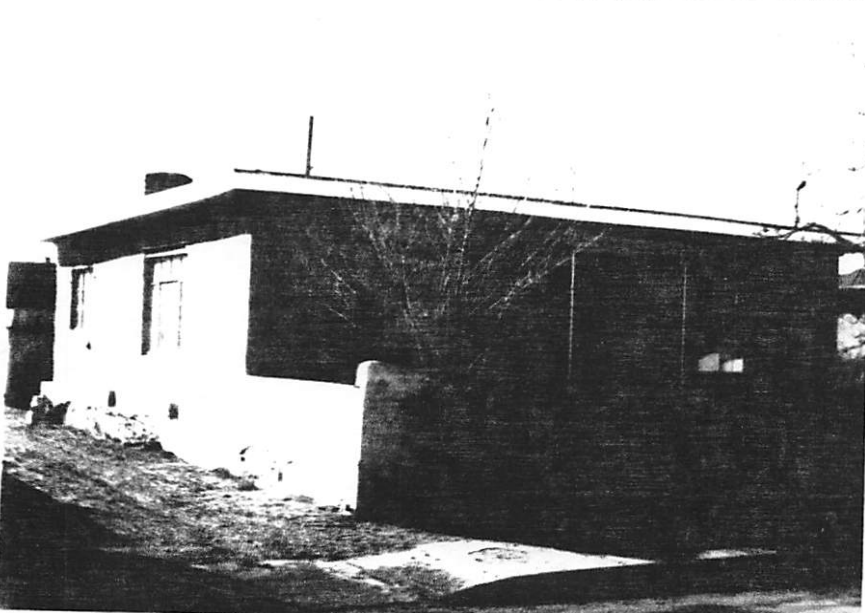
The front structure is stuccoed and has an overhanging roof and a small shed-roofed portal over the front entry. It has historic steel casement windows with exposed lintels. The symmetrical form of the north façade, with windows flanking the entry, is character-defining. A similar symmetry of design on the west façade is also character-defining.

The rear structure is in Spanish Pueblo Revival Style and has parapets and non-historic clad casement windows.

There is a 44-inch high historic rock wall along the west property line.

building threatened? yes	surveyed date 8/85 by SL	county SANTA FE	ID no. 05163166
field map SFHD # 7	number 166	UTM reference zone 12 13	easting northing
location description 620 W. San Francisco		city/town SANTA FE	
		land grant/reservation	

building name	legal description tnsp N S range E W sec $\frac{1}{4}$ $\frac{1}{4}$
film roll by SL no. 51 & 2	negative nos. 33 & 6
	loc. of neg. HPB



date of construction
'34-'40 estimate _____ actual

source
directory

use
present residential
other _____

historic residential
other _____

condition
 excellent good
 fair deteriorating


NMUV	conc. w/ rock
	wall material/surface adobe?/stucco

degree of remodeling
 minor moderate major

describe:

architectural features & conceal'd

Low hipped rf. w/ extend'd eave w/ faceboard; brick chimney

windows: mtl. casemt.  ^v ^h all mtl. casemt. , 4 x 2 (w/ expos'd wd lintels)
 3×1 , 3×3

doors: solid, 15 lit

front porch w/ alum. hood support'd on 2 sm. alum. poles

surroundings
residential

relationship to surroundings
 similar not similar

district potential
 yes no

significance
 eligible of none

if eligible, interest
why?

comments

NC alterations

associated buildings? yes
 what type?
 rear apt. post '45

if inventoried, list ID nos.

see back? yes

February 6, 2022

Daniel Schwab
Historic Review
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504

RE: 620 W San Francisco
Status Review



505 930-1149
will.wfd@gmail.com
488c Arroyo Tenorio
Santa Fe New Mexico
87505

Dear Daniel,

We request the Historic Districts Review Board (HDRB) review this property in the Westside-Guadalupe Historic District for status at the March 8, 2022 meeting. Presently the two residences at this address are designated non-contributing. The most recent assessment of the property is a 1985 survey.

The buildings are assumed to date from the 1950's and are believed to be of pen-tile construction with a traditional pueblo style. A state Department of Transportation aerial photo from 1966 indicate that both buildings were present in their present configuration at that time.

The front house roof is flat with an overhang of about 16" all around the rectangular building. The windows are steel casement with exposed lintels. It is unclear if these were the original windows but they are in poor condition, not closing or operating well. There is a small shed roof portal over the front entry that appears newer than the house. The concrete block wall at the front has a pleasant arch over the simple wooden gate. The corners of the wall has widely spaced cedar posts providing a view of the house.

The rear house has parapets and drains to the south where there is a drip edge and gutter. The windows are clad casement. This house is minimally visible from the street looking down the driveway.

There is a 44" high rustic rock wall along the west side of the property visible from the street looking down the neighbor's driveway.

Attached are photos of the property.

Currently these two residences are rental properties. The owner would like to replace the steel casement windows on the front house if HDRB determines that is feasible.

Please contact me with any questions or comments about this application. I will be representing the project at the HDRB on behalf of the owner.

Sincerely,

A handwritten signature in blue ink, appearing to read "Will McDonald".

Will McDonald



620 W San Francisco 1966 DOT Aerial



620 W San Francisco Front House Northeast corner viewed from street



620 W San Francisco Front House Northwest corner



620 W San Francisco Front House North Façade



620 W San Francisco Front House West Façade



620 W San Francisco West side of property viewed from street



620 W San Francisco Front House South Façade



620 W San Francisco Front House East Façade



620 W San Francisco Driveway on east side of property viewed from street



620 W San Francisco Rear House East Façade



620 W San Francisco Rear House North courtyard detail



620 W San Francisco Rear House North and East Façade detail



620 W San Francisco Rear House West Façade



620 W San Francisco Rear House West Façade



620 W San Francisco Rear House South Façade



620 W San Francisco Streetscape facing west



620 W San Francisco Streetscape looking east



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004866--HDRB

Project Description:

Project Location(s): 76 E SAN FRANCISCO ST
Santa Fe, NM 87501

Contacts:

Applicant: Daniel Lujan
612 Old Santa Fe Trail
Santa Fe, NM

daniel@archallinc.com

Property Owner: KOMIS ENTERPRISES
610 DON GASPAR AVE
87505

pbkomis@aol.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Demolition

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-004866-HDRB

Address: 76 E. San Francisco
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: Previous case H-16-109A (Jan 23, 2018)

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Applicant's Response to Demolition Criteria

STAFF RECOMMENDATION:

Staff believes that removal of this structure does not diminish the status of the contributing structure and finds that the demolition criteria have been met per 14-3.14 Demolition of Historic or Landmark Structure and recommends approval.

BACKGROUND & SUMMARY:

76 East San Francisco is a commercial building constructed in 1883 and later remodeled in 1957 by John Gaw Meem when the portals were added onto the commercial block fronts of the streets enclosing the Plaza. The building is located in the Downtown and Eastside Historic District. The main entrance is on the north elevation, facing East San Francisco Street, across from the Plaza. At the January 23, 2018 hearing, the Board designated the building as contributing to Downtown and Eastside Historic District and designated the north elevation as the primary elevation, in that it has features that define the character of the structure's architecture.

The applicant proposes to demolish the 287 square foot existing boiler room (height: 5'- 9") and equipment on building's rear south elevation on the Water Street side. The boiler room is adjacent to the building's south façade on the rear of the building in the parking area there. It is believed to have been built when the building was constructed in 1883. The equipment is an old steam boiler that was used for the original heating system for the main building that is no longer active. The applicant has provided a letter from the City of Santa Fe building inspector. The applicant proposes no other changes.

In determining whether a request for demolition in a historic district should be approved or denied, the HDRB considers the following criteria:

1. Whether the structure is of historical importance.
Applicant's response: The structure is freestanding and out-of-date partially buried boiler room with no access for repairs or removal of equipment. It is leaking from the walls that are below grade. The equipment is an old steam boiler that was used as the original heating system for the main building that is no longer active has been replaced with modern roof top units.
2. Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be re-established by a proposed structure.
Applicant's response: the structure is not visible from the street and will have no effect on the streetscape.
3. The state of repair and structural stability of the structure under consideration.
Applicant's response: see letter from Bobby Padilla, Building Official, Division Manager Inspections which states that the building is in poor condition.


City of Santa Fe, New Mexico

memo

Historic Inspection Report

DATE: 1/12/2022

TO: Carly Piccarello,
Division Manager
Historic Preservation

FROM: Bobby Padilla, 
Building Official, Division Manger
Inspections

ITEM & ISSUE

76 E. San Francisco St., Santa Fe NM

BACKGROUND & SUMMARY

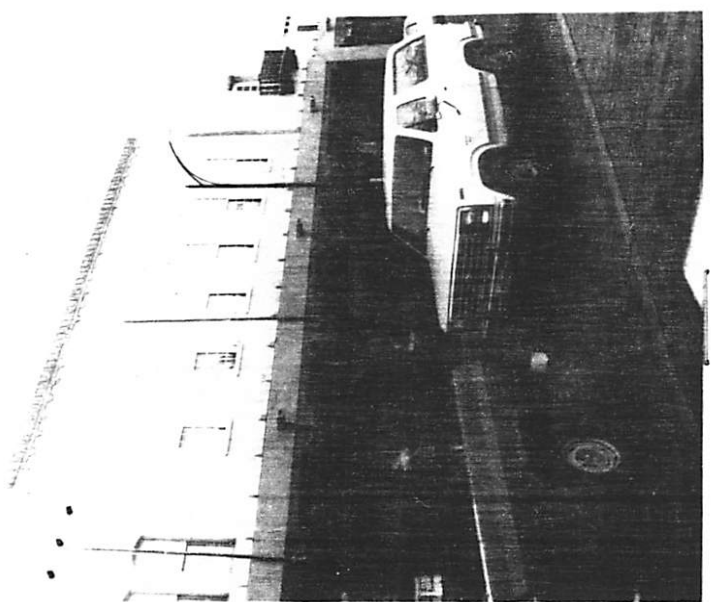
An inspection was performed on January 4th, 2022 at the above mentioned address regarding the condition of the structure. The type of construction is masonry walls with structural steel roof framing. The foundation and walls are of concrete/masonry construction. The structure is showing signs of moister entering into the structure, the structure is not consider to be a basement but is imbedded partially into the ground and is in poor condition and needs major work.

The overall condition of the structure is in poor condition.

Should you have any questions pertaining to this matter, please feel free to contact me at 955-6503.

Thank you,

building threatened? yes	surveyed date <u>11/85</u> by <u>HMW</u>	county <u>SANTA FE</u>	ID no. <u>051610475</u>
field map <u>SFHD # 1</u>	number <u>475</u>	UTM reference easting zone <u>12 13</u> northing	
location description <u>1876 34 E. SAN FRANCISCO</u>		city/town <u>SANTA FE</u>	
building name		legal description tnsp <u> </u> N S range <u> </u> E W sec <u> </u> <u> </u> <u> </u>	
film roll by <u>HMW</u> no. <u>SFHD # 18</u>	negative nos. <u>26</u>	loc. of neg. <u>HPB</u>	plan shape



date of construction estimate <u>1883</u> / <u>1952</u> actual	
source	
use present <u>residential</u> other <u>COMM</u>	historic <u>residential</u> other <u>COMM</u>
condition <u> </u> excellent <u> </u> <input checked="" type="checkbox"/> good <u> </u> fair <u> </u> <u> </u> deteriorating	
degree of remodeling <u> </u> minor <u> </u> moderate <u> </u> <input checked="" type="checkbox"/> major	
describe: <u>1952 REMODEL</u>	
surroundings	
relationship to surroundings <input checked="" type="checkbox"/> similar <u> </u> not similar	
district potential <u> </u> yes <u> </u> no	
significance <u> </u> eligible <u> </u> of <u> </u> <input checked="" type="checkbox"/> none if eligible, interest	
why? <u>NC ALTERATIONS.</u>	
associated buildings? <u> </u> yes what type?	
if inventoried, list ID nos.	
see back? <u> </u> yes	

style <u>TERR. REV.</u>	foundation material
architectural features <u>JG</u>	wall material/surface
comments <u>J. G. MCEM REMODEL 1954</u> <u>1968 PORTAL.</u>	



February 16, 2021

VIA HAND EMAIL

Angela Bordegaray
City of Santa Fe
200 Lincoln
Santa Fe, NM 87501

RE: 76 East San Francisco Street Boiler Room Demo

Dear Angela:

Enclosed you will find our submittal documentation and drawings for the removal of the existing boiler room.

- Remove existing boiler room and all equipment.
- Infill and repave with asphalt

In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:

1. Whether the structure is of historical importance; *The structure we are proposing to demolish a freestanding and an out of date partially buried boiler room with no access for repairs or removal of equipment, it is leaking from the walls that are below grade. The equipment is an old steam boiler that was used as the original heating system for the main building that is no longer active, and have been replaced with modern roof top units.*
2. Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure; *The structure is not visible from the street, and will have no affect on the street scape.*
3. The state of repair and structural stability of the structure under consideration. *See letter from Bobby Padilla, Building Official, Division Manager Inspections.*

Let me know if you have any questions or concerns

Sincerely,

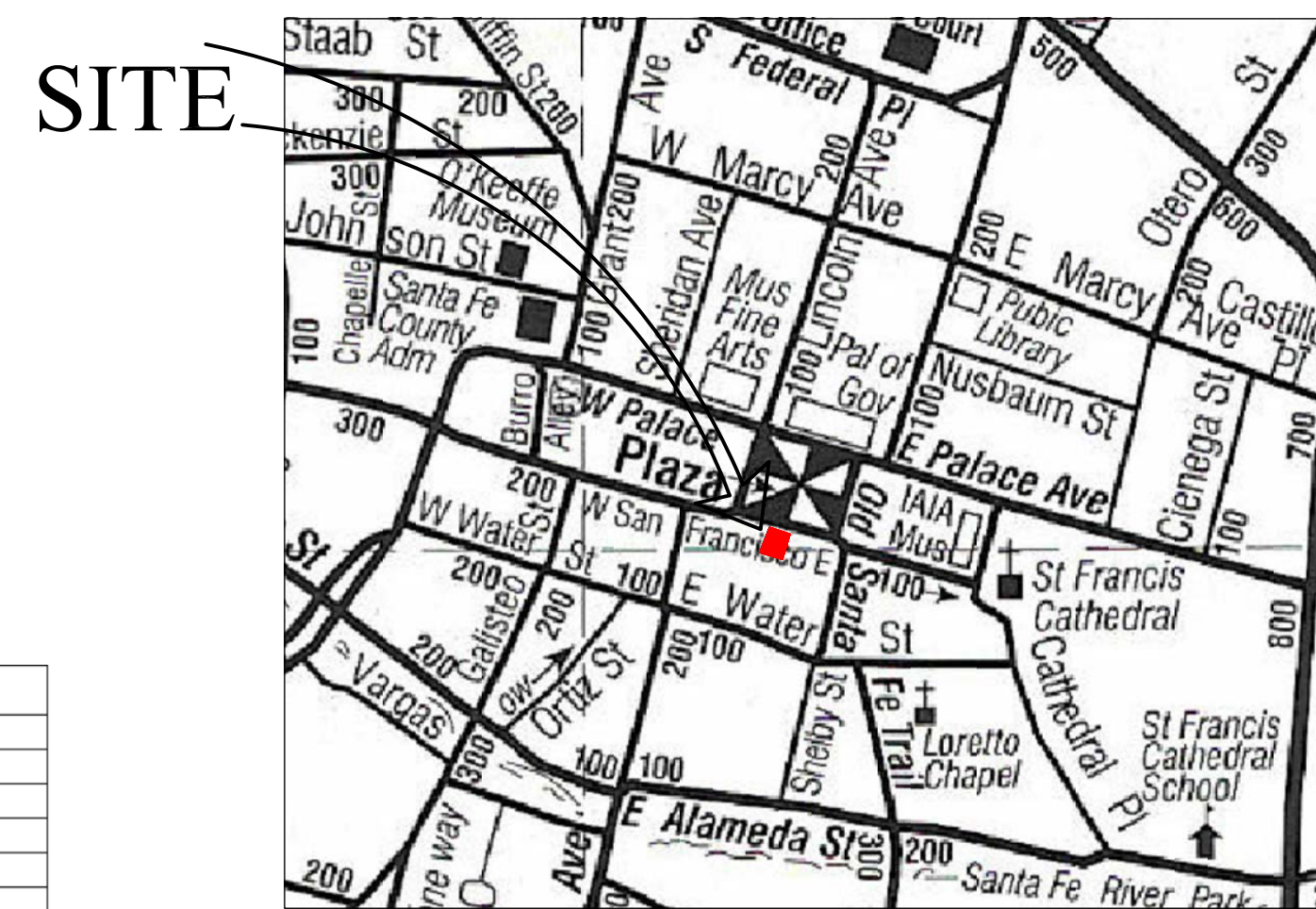
A handwritten signature in blue ink, appearing to read "Eric P. Enfield".

Eric P. Enfield, AIA
Architectural Alliance, INC.

Cc: Peter Komis

File

Demo Existing Boiler Room At 76 E. San Francisco St. Santa Fe New Mexico



Vicinity Map

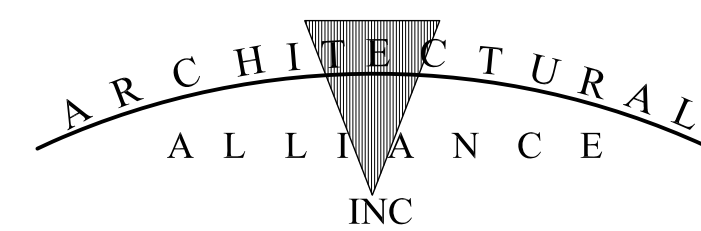


City of Santa Fe Land Development Criteria	
Applicable Codes:	Santa Fe City Code Chapter XIV Land Development
Project Owner:	Komis Enterprises LLC
Project Address:	76 E. San Francisco Street, Santa Fe NM 87505
Scope of Work:	Demo Existing Boiler Room
Historic District:	Downtown and Eastside
Overlay Districts:	BCD (Business Capital District)
Current Zoning:	BCDPLA
Existing Lot Size:	0.3767 ± acres (16,411 ± SF)
Storm Water Management	Ponding not required; no new impervious surface added
Parking (Table 14-8.6-1):	No change to the occupant load or parking requirements.

SQUARE FOOTAGE:
BOILER ROOM TO BE REMOVED: 287 SQ. FT.

Drawings

- C-0 COVER
- C-1 EXISTING AND PROPOSED SITEPLAN
- A-1 EXISTING AND PROPOSED FLOORPLAN
- A-2 EXISTING AND PROPOSED ELEVATIONS



ARCHITECTURAL
ALLIANCE
INC
612 Old Santa Fe Trail
SANTA FE NEW MEXICO 87505
Telephone 505-988-5269
FAX 505-986-1270
E-MAIL architecturalalliance@archallinc.com
WEBSITE: www.archallinc.com

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CONTRACTOR TO VERIFY
ALL EXISTING CONDITIONS AND
DIMENSIONS- NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

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PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY WRITTEN
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DEMO SET
AUGUST 13, 2021

Architect's Project #
15-18

**Demo Existing Boiler Room
76 E. SAN FRANCISCO ST.**

PLANOR SCALE BAR
 ALL EXISTING CONDITIONS AND DIMENSIONS NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.

NO.	REVISION/SUBMISSION	DATE

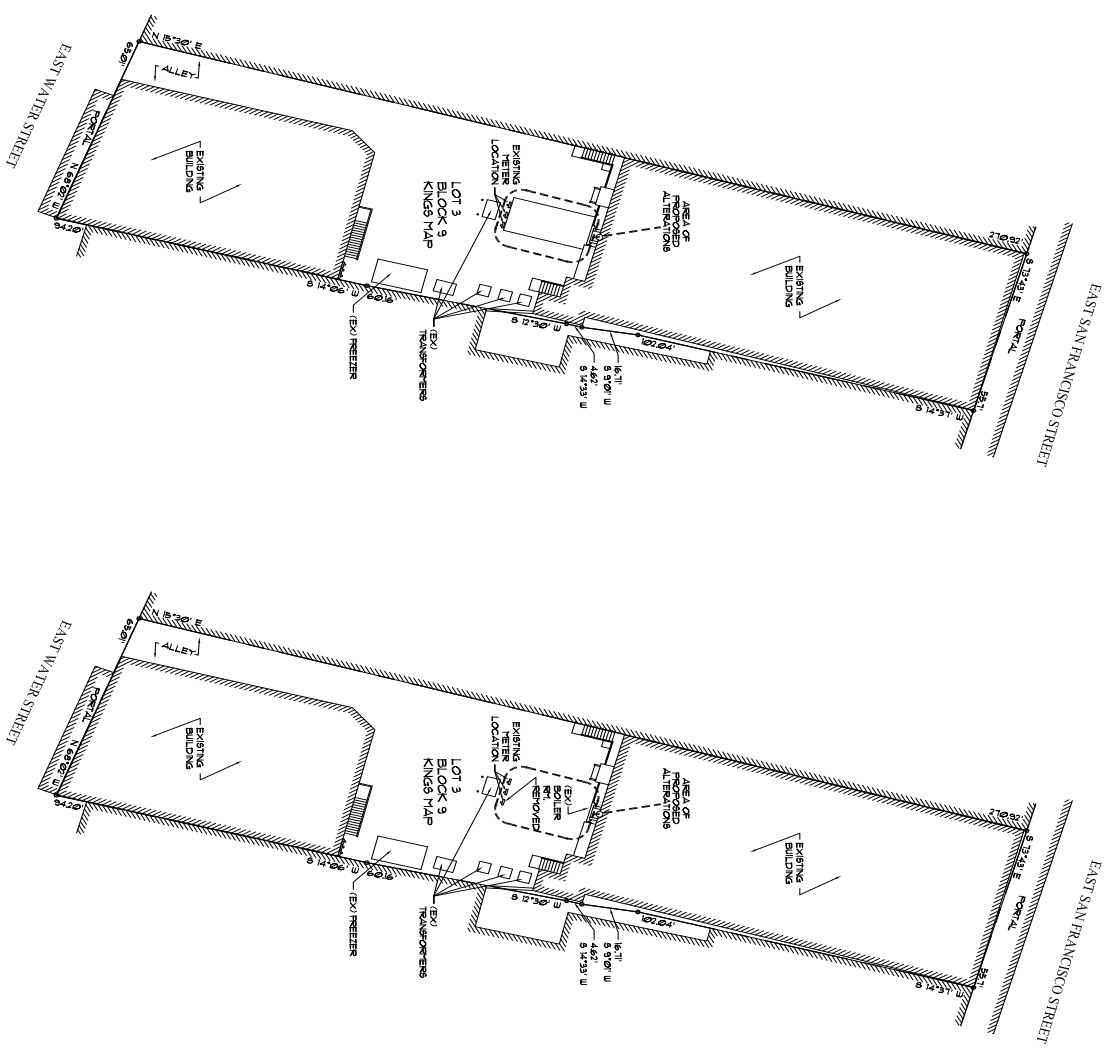
PROJECT TITLE
 DEMO OF BOILER RM.

76 E. SAN FRANCISCO ST.
 SANTA FE
 NEW MEXICO

PROJECT NO. 15-18
 CHECKED BY BE DATE 7/20/11
 DRAWN BY DL DATE 7/20/11

SHEET TITLE
 EXISTING SITEPLAN

SHEET NO. C-1



EXISTING SITEPLAN

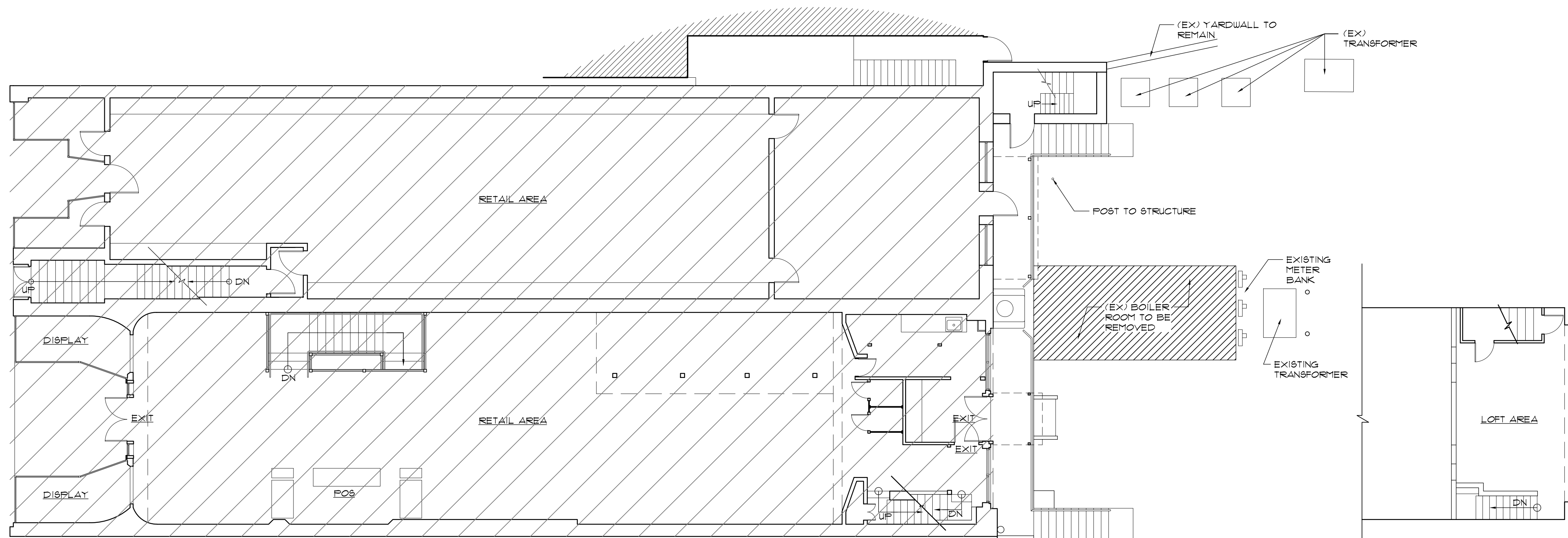
SCALE: 1" = 20'-0"



PROPOSED SITEPLAN

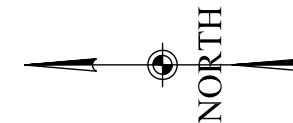
SCALE: 1" = 20'-0"





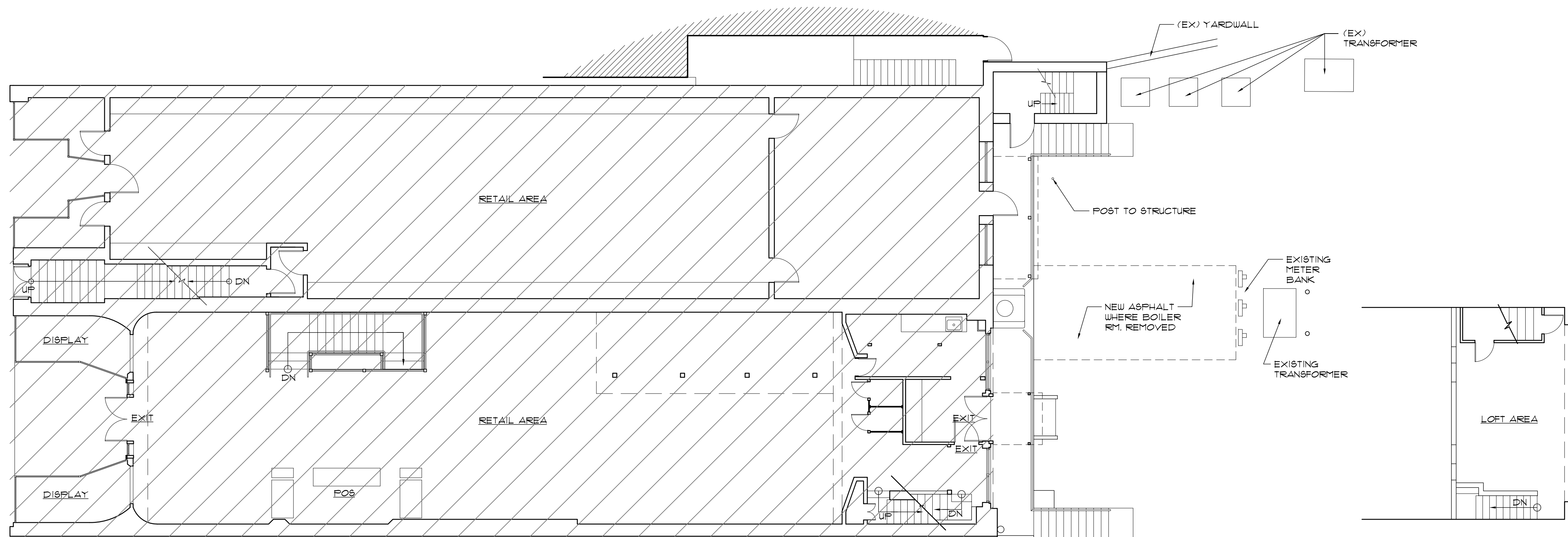
EXISTING/DEMO GROUND LEVEL

SCALE: 1/8" = 1'-0"



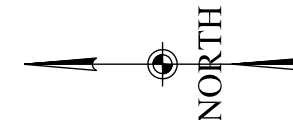
EXISTING LOFT

SCALE: 1/8" = 1'-0"



PROPOSED GROUND LEVEL

SCALE: 1/8" = 1'-0"



EXISTING LOFT

SCALE: 1/8" = 1'-0"

ARCHITECTURAL
ALLIANCE
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1	12/10/2018	

NO.	REVISION/SUBMISSION	DATE
STAMP		

PROJECT TITLE
DEMO OF BOILER RM.

76 E. SAN FRANCISCO ST.
SANTA FE
NEW MEXICO

PROJECT NO. **15-18**

CHECKED BY	EE	DATE	7/30/21
DRAWN BY	DL	DATE	7/30/21

SHEET TITLE
EXISTING & PROPOSED FLOORPLANS

SHEET NO.
A-1

PLANER SCALE BAR
 ALL EXISTING CONDITIONS AND DIMENSIONS NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

NO.	REVISION/SUBMISSION	DATE

PROJECT TITLE
 DEMO OF BOILER RM.

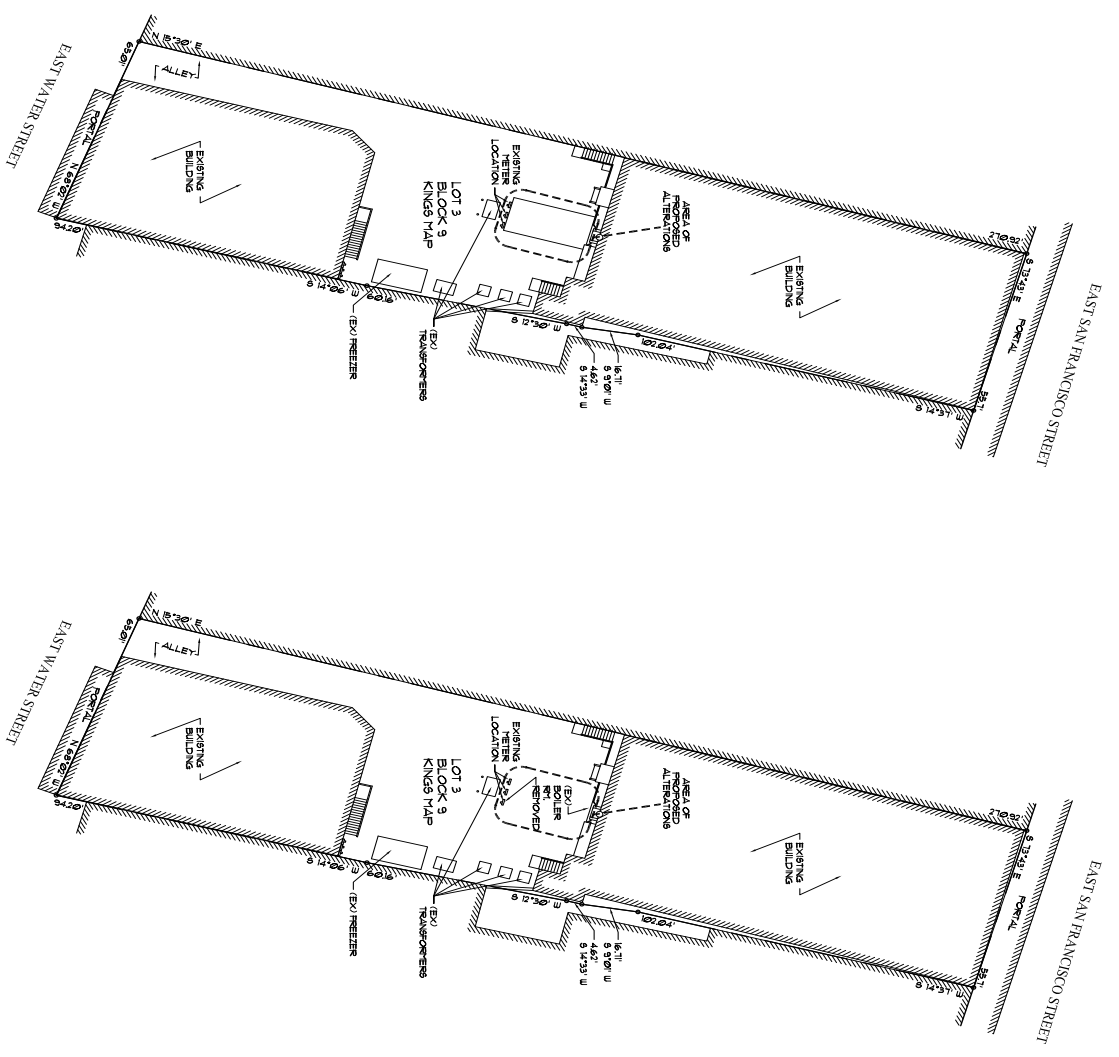
76 E. SAN FRANCISCO ST.
 SANTA FE
 NEW MEXICO

PROJECT NO. 15-18

CHECKED BY	HE	DATE	7/20/11
DRAWN BY	DL	DATE	7/20/11

SHEET TITLE
 EXISTING SITEPLAN

SHEET NO.



EXISTING SITEPLAN

SCALE: 1" = 20'-0"



PROPOSED SITEPLAN

SCALE: 1" = 20'-0"



76 East San Francisco Street

Historic Design Review Board Photographs



BOILER RM. TO
BE REMOVED

South Elevation



612 OLD SANTA FE TRAIL
SANTA FE, NEW MEXICO 87505
Telephone 505-986-5269
FAX 505-986-1270

E-MAIL: architecturalalliance@archalliance.com
WEBSITE: www.archalliance.com



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004868--HDRB

Project Description:

Project Location(s): 701 E ALAMEDA ST 3
Santa Fe, NM 87501

Contacts:

Applicant: JUICEKITCHEN DESIGN WORKSHOP LLC ju@juicekitchendesignworkshc
1219 CERRO GORDO RD
SANTA FE , NM 87501

Property Owner: Steven p Brown
701 E Alameda #3
Santa Fe, 87504

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2022-004868-HDRB

Address: 701 East Alameda, #3
Historic Status: non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

701 East Alameda is a non-historic single-family residential structure in the Downtown and Eastside. The applicant is seeking approval for a red-tagged 198 square foot portal located at the rear of the property with no public visibility.

On July 27th, 2021, the Board rejected approval for a portal to be constructed of pine wood finished with a natural varnish and a torch-down roof, of 10 feet in height. The applicant subsequently appealed to the governing body on October 13th 2021. This was also denied.

The applicant now returns with an alternative design. The diagonal bracing will be removed. New 6 by 10 inch horizontal beams will be added on the front and sides. On the supporting pillars, wood trim and capitals will be added to make it more consistent with the Territorial Style.

Date: 2/14/2022

Daniel Schwab
Senior Planner, Historic Preservation Division
Land Use Department
City of Santa Fe
P.O. Box 909, Santa Fe, NM 87504

Re: Case 2021-003828-HDRB - Historic Review Submission for 701 E Alameda St, #3, Santa Fe, NM 87501 – Brown Portal

Dear Daniel,

On behalf of Steven P Brown, the owner of the above mentioned property, I hereby submit the following documents for the hearing on March 8, 2022.

This application packet includes:

- I. This proposal letter.
- II. Warranty deed and recorded plat.
- III. Required drawings for the proposed portal including:
 - a. Existing and proposed site plans.
 - b. Existing and proposed floor plans.
 - c. Existing and proposed exterior elevations.
- IV. Photographs of the exterior of the existing house including some images of inspiration from downtown Santa Fe of territorial style or similar portals.
- V. PZR approval.
- VI. Structural certification of the existing structure.
- VII. Letters of support for the project.

Description of the project:

Based on comments made at the previous hearing, I've summarized the salient points made about the design of the portal as built as follows with a description of our approach to resolving them:

1. The portal with its structure against the wall of the building was atypical.
Response: I agree that this is generally atypical of the construction of portals. However, what I am proposing is to retain this part of the portal structure as the design and construction implications of eliminating them would present much distress to the home owner. I also feel that the design response to resolve this brings the structure to stylistic consistency with the

building. Furthermore, it seems entirely reasonable that a portal addition might be designed as structural independent from the existing building which it attaches itself to.

2. The diagonal bracing members were too low and not to code.

Response: Yes, code requires that any protruding elements shall not be lower than 80" from the ground surface onto any path of travel. Hence, they have been eliminated.

3. The structure of the portal appeared too insubstantial and doesn't appear stable.

Response: On first observation, that was my own impression of the structure, that it appears too "thin". The home owner did engage a structural engineer to review the structure and received a document from the engineer certifying the stability of the structure. However, it was my view still that the structure needed to be "beefed up" visually, if not structurally. Also, by removing the diagonal bracing, we would need to further strengthen the structure. Hence, I've introduced in new 6x10 beam spanning the front posts that wraps around the 2 sides of the portal. This would strengthen the overall structure as well as bring the visual structure into better proportion.

4. The design was generally unacceptable and would not be approved anyway.

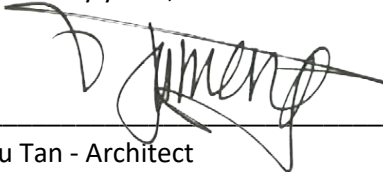
Response: My design intention is bring the portal into more stylistic consistency with the "Territorial Style" of the building; adding wood trims and painting the outside structural elements white. The underside of the portal will remain stained as there is precedent in the entry portal of the same property (shown in photos). I also feel that the general design proportions of the portal are now improved.

5. The issue of "public visibility" was debated and clarified by the city's legal department to have a broader definition when applied to the Downtown/East Side districts to include views from the sky from aircraft or drones.

Response: We maintain that for all practical purposes, the portal remains not visible to the public. However, we hope that the design changes made satisfies the board in respect to the issue of public visibility. Also, when viewed from above (Google Earth, drones, etc), one cannot see the back wall of the structure nor the underside of the portal.

In addition, there will be no additional stucco work done and no new exterior lighting fixtures are proposed. Please feel free to contact me with any further questions. Thank you.

Sincerely yours,



Ju Tan - Architect

(505) 920 9128, Email: ju@juicekitchendesignworkshop.com

Cc: Steve Brown



701 E ALAMEDA ST - VIEW FROM ALAMEDA ST.



701 E ALAMEDA ST - VIEW FROM PARKING AREA



4X6 LINTEL

4X6 BRACKET

6X6 POSTS

VIEW OF PORTAL AS BUILT



SIDE VIEW OF PORTAL



VIEW OUT FROM UNDER PORTAL



VIEW OUT FROM UNDER PORTAL



WHITE PAINTED PRIMARY EXPOSED WOOD STRUCTURES

STAINED SURFACES ON INTERIOR/UNDERSIDE OF PORTAL

VIEW OF EXISTING ENTRY PORTAL TO UNITS #2 AND #3

PRECEDENTS IN DOWNTOWN SANTA FE



082
Prima Title LLC
file #20.0764

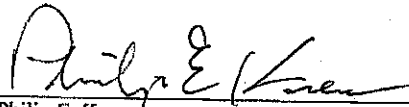
WARRANTY DEED


Philip E. Krenc and LaNora P. Krenc, husband and wife, for consideration paid, grant(s) to Steven P. Brown, a single person, whose address is 701 E. Alameda Unit 3, Santa Fe, NM 87501, the following described real estate in Santa Fe County, New Mexico:

Unit 3 of 701 East Alameda Condominium, as created by "Condominium Declaration for 701 East Alameda Condominium", recorded in Book 606, page 90, and as shown on plat of survey entitled "Plat of Survey for 701 E. Alameda Condominium...", recorded March 9, 1988, in Plat Book 184, Page 033, as # 644161, records of Santa Fe County, New Mexico.

SUBJECT TO: See Exhibit "A" attached hereto and made a part thereof
with warranty covenants.

Witness our hand(s) and seal this September 14, 2020.

 (Seal)
Philip E. Krenc

 (Seal)
LaNora P. Krenc

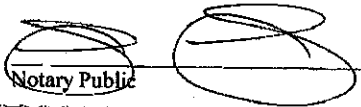
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF SANTA FE

This instrument was acknowledged before me on September 14, 2020 by Philip E. Krenc and LaNora P. Krenc.

My Commission Expires: 1/8/21


Notary Public



COUNTY OF SANTA FE }
STATE OF NEW MEXICO } ss
WARRANTY DEED
PAGES: 2
I Hereby Certify That This Instrument Was e-Recorded for
Record On The 15TH Day Of September, A.D., 2020 at 07:59:01 AM
And Was Duly Recorded as Instrument # 1927799
Of The Records Of Santa Fe County
Witness My Hand And Seal Of Office
Geraldine Salazar
Deputy - DLROMERO County Clerk, Santa Fe, NM

④-62
Prima Title LLC
file #20.0764

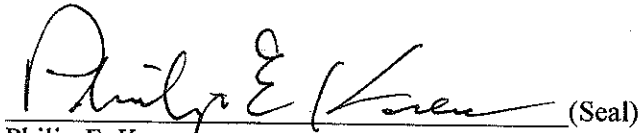
WARRANTY DEED

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SUBJECT TO: See Exhibit "A" attached hereto and made a part thereof
with warranty covenants.

Witness our hand(s) and seal this September 14, 2020.

 (Seal)
Philip E. Krenc

 (Seal)
LaNora P. Krenc

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

COUNTY OF SANTA FE

This instrument was acknowledged before me on September 14, 2020 by Philip E. Krenc and LaNora P. Krenc.

My Commission Expires: 1/8/21


Notary Public



OFFICIAL SEAL
Greta Kjolhede

EXHIBIT "A"

Taxes and assessments for the year 2020 and thereafter, not yet due and payable.

Terms and conditions contained in Condominium Declaration for 701 East Alameda Condominium, recorded March 10, 1988, in Book 606, Page 90, records of Santa Fe County, New Mexico.

Notes, easements, and rights incident thereto, as shown and delineated on plat of survey entitled "Plat of Survey for 701 E. Alameda Condominium...", recorded March 9, 1988, in Plat Book 184, Page 033, as # 644161, records of Santa Fe County, New Mexico.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address: 701 E Alameda St., #3 Santa Fe, NM 87501
Date Submitted: 2/3/2022	Proposed Construction Description: Proposed 200 sf Portal
Property Owner of Record: Steve Brown	
Applicant/Agent Name: Ju Tan	TOTAL ROOF AREA: 200 sf
Contact Person Phone Number: (505) 920.9128	
Zoning District: R-21	Lot Coverage : 40 % □ Open Space Required: _____
Overlay: □ Escarpment _____ □ Flood Zone* <input checked="" type="checkbox"/> Other: Historic East Side	Setbacks: Proposed Front: NA Minimum: 7' 2 nd Front? _____ Proposed Rear: 12'-0" Minimum: 5' Proposed Sides: LNA Minimum: 5'
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record □ Development Plan □ Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed 9'-3" Maximum Height: 24' or □ Regulated by Historic Districts Ordinance □ Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: □ Zero Lot Line Affidavit	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Access and Visibility: □ Arterial or Collector** □ Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential □ Commercial Type of Use: _____	
Terrain: □ 30% slopes _____	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Ju Tam

PRINT NAME

[□OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

Feb 3, 2022

DATE

To Be Completed By City Staff:	2022-004836-PAR
Additional Agency Review if Applicable:	
□ Escarpment Approval by _____ Date: ___/___/___	
□ Flood Plain Approval by _____ Date: ___/___/___	
□ Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval □ with conditions □ Rejected	
Comments/Conditions: _____	
REVIEWER: <u>Lani J McCulley</u>	DATE: <u>02/03/2022</u>

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



Hands Engineering, Inc.

SPECIAL INSPECTION FIELD OBSERVATION REPORT

PROJECT: Gazebo Porch

DATE OF INSPECTION: 8-4-21

ARRIVAL TIME: 2:45 p.m.

PRESENT: Steven Brown, Owner

PURPOSE OF SITE VISIT: Inspect newly constructed wood framed porch. See enclosed photos.

LOCATION: 701 E. Alameda Street, Unit 3, Santa Fe, NM 87501
Porch erected in back yard on north side of residence. The structure is structurally sound and stable.

STATUS:

1. Framing consists of concrete with 2'-0" embedment.
2. Wood columns are anchored with metal connectors.
3. Main beams are wood beams with knee braces.
4. Roof purlins are wood square beams.
5. Fasteners are Simpson TEK type screws.

- APPROVED
- NOT APPROVED
- PENDING

SIGNED: James A. Hands
James A. Hands, PE, President

DATE: August 5, 2021



PLAT OF SURVEY FOR

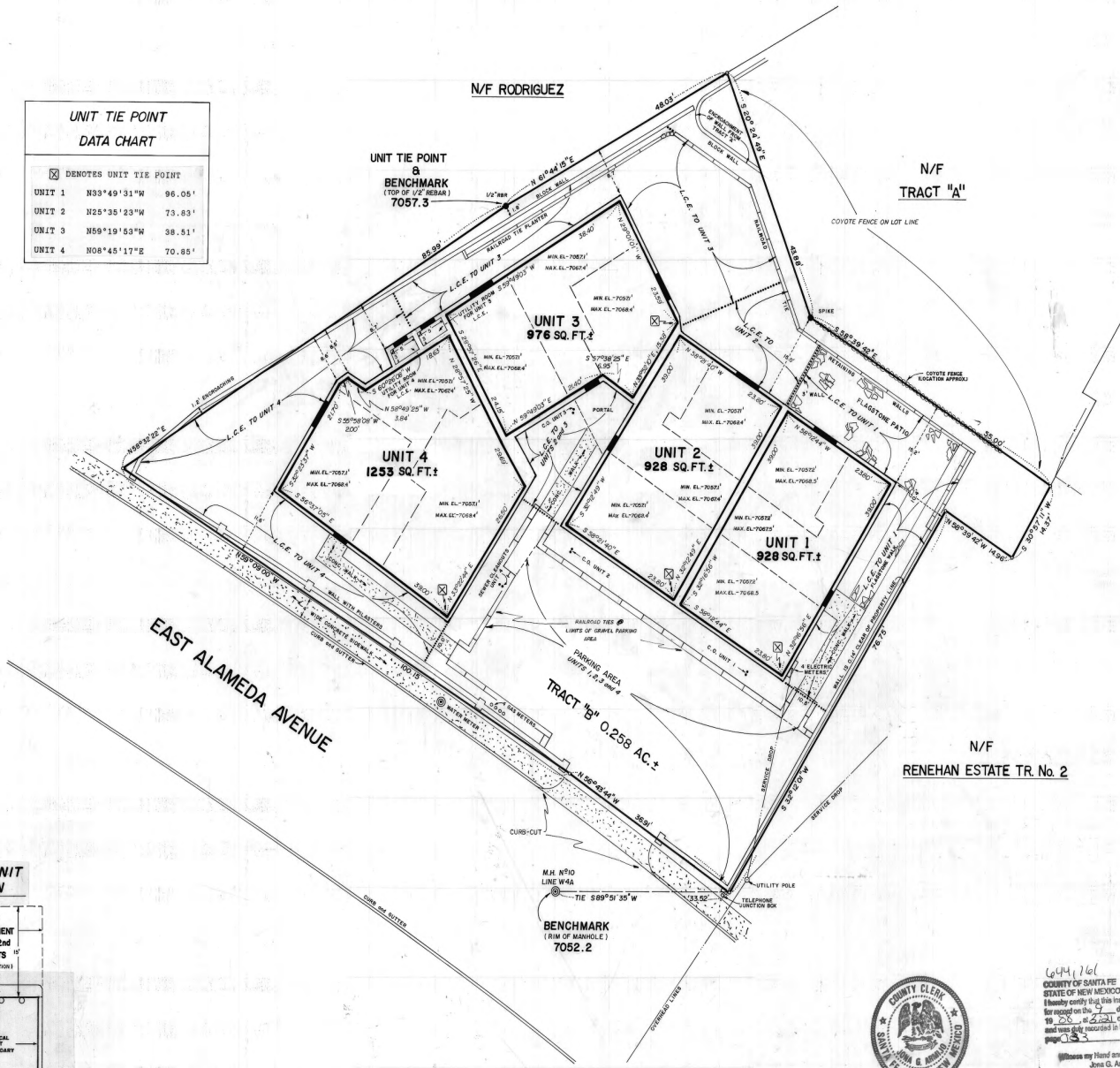
701 E. ALAMEDA CONDOMINIUM

LYING AND BEING SITUATE AT 701 EAST ALAMEDA AVENUE, WITHIN THE CITY AND COUNTY OF SANTA FE, NEW MEXICO, CONTAINING 0.258 ACRES ±

184033



UNIT TIE POINT DATA CHART	
☒ DENOTES UNIT TIE POINT	
UNIT 1	N33°49'31"W 96.06'
UNIT 2	N25°35'23"W 73.83'
UNIT 3	N59°19'53"W 38.51'
UNIT 4	N08°45'17"E 70.85'



2nd Amendment Certificate
 I hereby certify that this plat was amended on 10-28-94 to show the current status of the improvements for Unit 3.
 Mitchell K. Noonan N.M.P.L.S. No. 6998

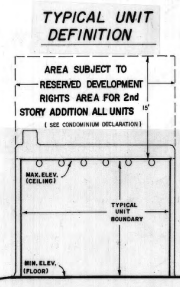
1st AMENDMENT CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAT WAS UPDATED ON 2/10/94 TO SHOW THE CURRENT STATUS OF IMPROVEMENTS FOR UNIT 1 ONLY.
 Mitchell K. Noonan N.M.P.L.S. 6998

- NOTES:
1. REFERENCED DATA AS PER A PLAT OF SURVEY BY SOUTHWEST MOUNTAIN SURVEYS, INC., AS SIGNED BY WILLIAM MOSE, R.M.P.L.S., P.D. 8480, DATED 04/24/93, TITLED "PLAT OF SURVEY FOR WILLIAM MOSE, INC., CREATING A LOT SPLIT INTO TRACT 'A' AND TRACT 'B' AS APPROVED BY SANTA FE CITY ENGINEER AND CITY PLANNER ON 10/21/89, AS FILED IN THE SANTA FE COUNTY CLERK'S OFFICE ON 10/26/89, IN BOOK 134, PAGE 15, HAVING RECEIPT NO. 627,886.
 2. IMPROVEMENTS AS SHOWN CURRENT AS OF DATE THIS SURVEY.
 3. UNIT DEFINITION IS INTERIOR.
 4. THIS PLAT SUBJECT TO UNRECORDED EASEMENTS APPLICABLE TO PARCELS SHOWN HEREON.
 5. ELEVATION BENCHMARKS ARE ASSUMED AND RELATIVE.
 6. L.C.E. DESIGNATES LIMITED COMMON ELEMENT TO THE CONDOMINIUM UNIT.
 7. ALL AREAS NOT DESIGNATED AS UNIT OR L.C.E. ARE COMMON ELEMENT TO ALL UNITS OF THE CONDOMINIUM.
 8. ***** DESIGNATES L.C.E. BOUNDARY LIMITS.
 9. --- DESIGNATES DOORWAY ENTRANCES.
 10. ○ DESIGNATES CALCULATED POINT, NOT SET.
 11. ● DESIGNATES POINTS FOUND, AS NOTED.

EAST ALAMEDA AVENUE

TRACT 'B' 0.258 AC.±

N/F RENEHAN ESTATE TR. No. 2



6441261
 COUNTY OF SANTA FE 189
 STATE OF NEW MEXICO
 I hereby certify that this instrument was filed for record on the 17 day of February, A.D. 19 95 at 2:21 o'clock P.M. and was recorded in book 174 of page 133 of the records of Santa Fe County, New Mexico.
 Witness my Hand and Seal of Office
 Jose G. Armijo
 County Clerk, Santa Fe County, N.M.
 [Signature]

CERTIFICATE
 I HEREBY CERTIFY TO 701 EAST ALAMEDA CONDOMINIUM THAT THIS PLAT AND THE NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON 01/18/94 AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO, AND THAT IT CONTAINS ALL INFORMATION REQUIRED BY SECTION 47-7B-9, N.M.S.A. 1978.
 Mitchell K. Noonan
 N.M.P.L.S. No. 6998
 OFFICIAL SEAL
 WENDY L. ELLIOTT
 NOTARY PUBLIC-STATE OF NEW MEXICO
 My Commission Expires 7/31/98
 BEFORE ME THIS 17th DAY OF February 1995
 Wendy Elliott
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 7/31/98

SOUTHWEST MOUNTAIN SURVEYS 1114 HICKOX SANTA FE 982-9429 C-231D

GENERAL PROJECT DATA

CONDOMINIUM LOT SIZE - 11238.5 SF
 EXISTING CONDOMINIUM ROOFED AREA - APPROX. 4450 SF
 EXISTING LOT COVERAGE - 33%
 PROPOSED NEW ROOFED AREA - 200 SF.
 NEW TOTAL ROOFED AREA - 4650 SF

PROPOSED LOT COVERAGE - 41%
 ZONING DISTRICT - R-21

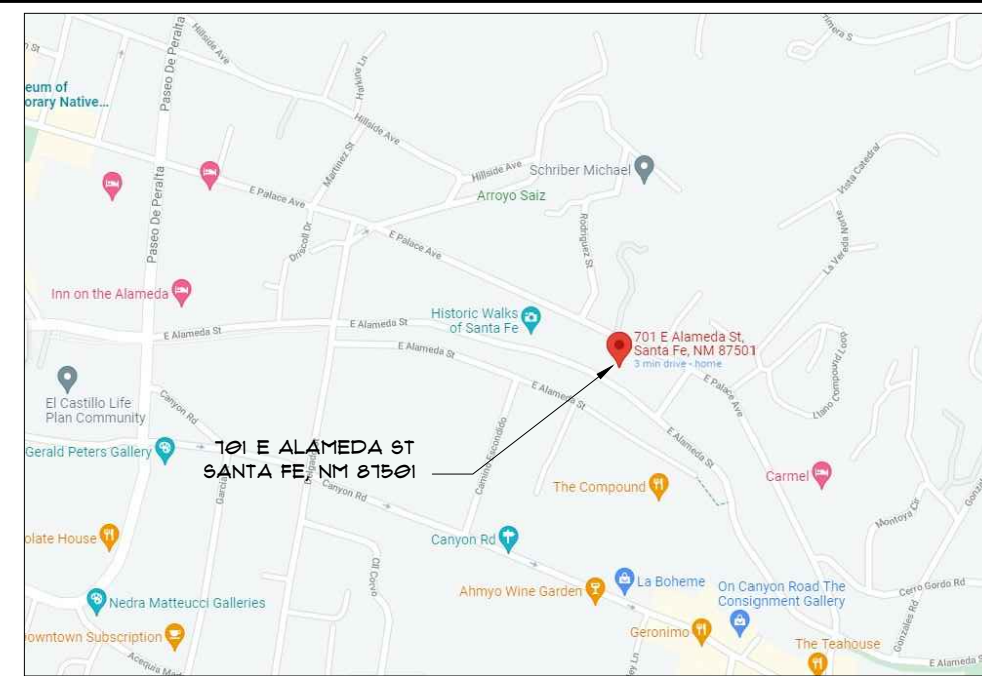
CODES: INCLUDING BUT NOT LIMITED TO THE 2009 IBC, 2009 IRC, 2009 UPC, 2009 IMC, 2011 NEC

MAXIMUM ALLOWABLE HT. OF STRUCTURE - 24' (PER SCLDC TABLE 8-3)

SETBACKS: PER SCLDC TABLE 7-A: SETBACK TABLE
 FRONT - 1'-0"
 SIDE/REAR - 5'-0"

RAINWATER DETENTION REQUIREMENTS:

0.16 x 200 (ADDITIONAL ROOFED AREA) = 32 C.F. OR 240 GALLONS PROVIDED IN RETENTION PONDS AS SHOWN



I LOCATION MAP

**PROPOSED PORTAL TO THE
 BROWN RESIDENCE
 701 E ALAMEDA ST
 SANTA FE, NM 87501**

PERMIT SET - DRAFT

2/13/2022

I PROJECT DATA

GENERAL SCOPE OF WORKS

ADDITION OF 200 SF PORTAL TO NE FACADE OF UNIT #3.

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF JUICEKITCHEN DESIGN WORKSHOP LLC (JKDW) AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF JKDW.
- ALL CONSTRUCTION SHALL CONFORM TO ALL RELEVANT CODES REFERENCED BY SANTA FE COUNTRY, NM, INCLUDING BUT NOT LIMITED TO IBC 2015, IRC 2015.
- IF THERE ARE ANY CONFLICTS WITH THE CODES REFLECTED IN THE DRAWINGS, THE CONTRACTOR IS TO INFORM THE JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR/SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE REPORTED TO JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL MAINTAIN A SAFE AND ORGANIZED WORKING ENVIRONMENT ON THE SITE. DAILY CLEANING, ORGANIZATION AND PROTECTION OF MATERIALS SHALL BE PERFORMED AS NECESSARY. CONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING JOB RELATED SAFETY STANDARDS.
- ALL EXISTING STRUCTURAL ELEMENTS OF EXISTING BUILDINGS SHALL NOT BE MODIFIED BEYOND THE SCOPE OF THIS PROJECT WITHOUT THE CONSENT OF THE OWNER, JKDW AND A QUALIFIED STRUCTURAL ENGINEER (IF NEEDED).
- THE CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH ALL SUB CONTRACTORS AS NECESSARY TO CLARIFY THE WORK SCOPE AND EXPECTATIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- REGULAR CONSTRUCTION MEETINGS SHALL BE SCHEDULED (AS NECESSARY) WITH ALL RELEVANT PARTIES INCLUDING BUT NOT LIMITED TO RELEVANT SUB CONTRACTORS.
- A CONSTRUCTION SCHEDULE SHALL BE FURNISHED AND ADHERED TO BY THE CONTRACTOR. ANY PROPOSED CHANGES SHALL BE APPROVED BY THE OWNER AND JKDW.
- FINAL PUNCHLIST - AT SUBSTANTIAL COMPLETION, A FINAL PUNCHLIST SHALL BE MADE UP BY JKDW OR THE OWNER. ALL ITEMS ON THE PUNCHLIST SHALL BE PERFORMED BY THE CONTRACTOR WITHIN AN AGREED PERIOD OF TIME BEFORE HANDOVER TO THE OWNERS.
- FINAL GRADING - ENSURE THAT ALL GRADE SURROUNDING THE NEW ADDITION SLOPES AWAY FROM THE BUILDING A MINIMUM OF 1/4" / FT FOR A MINIMUM OF 48".
- FINAL CLEANING - THE CONTRACTOR SHALL PERFORM FINAL CLEANING TO ALL AFFECTED AREAS TO "MOVE IN" CONDITION BEFORE HANDING OVER TO THE OWNERS.
- MAKE ARRANGEMENTS WITH THE OWNERS REGARDING USE OF TOILET OR PROVIDE A PORTABLE TOILET ON SITE.
- WARRANTY - THE CONTRACTOR SHALL WARRANT ALL WORK FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.

I DRAWING LIST

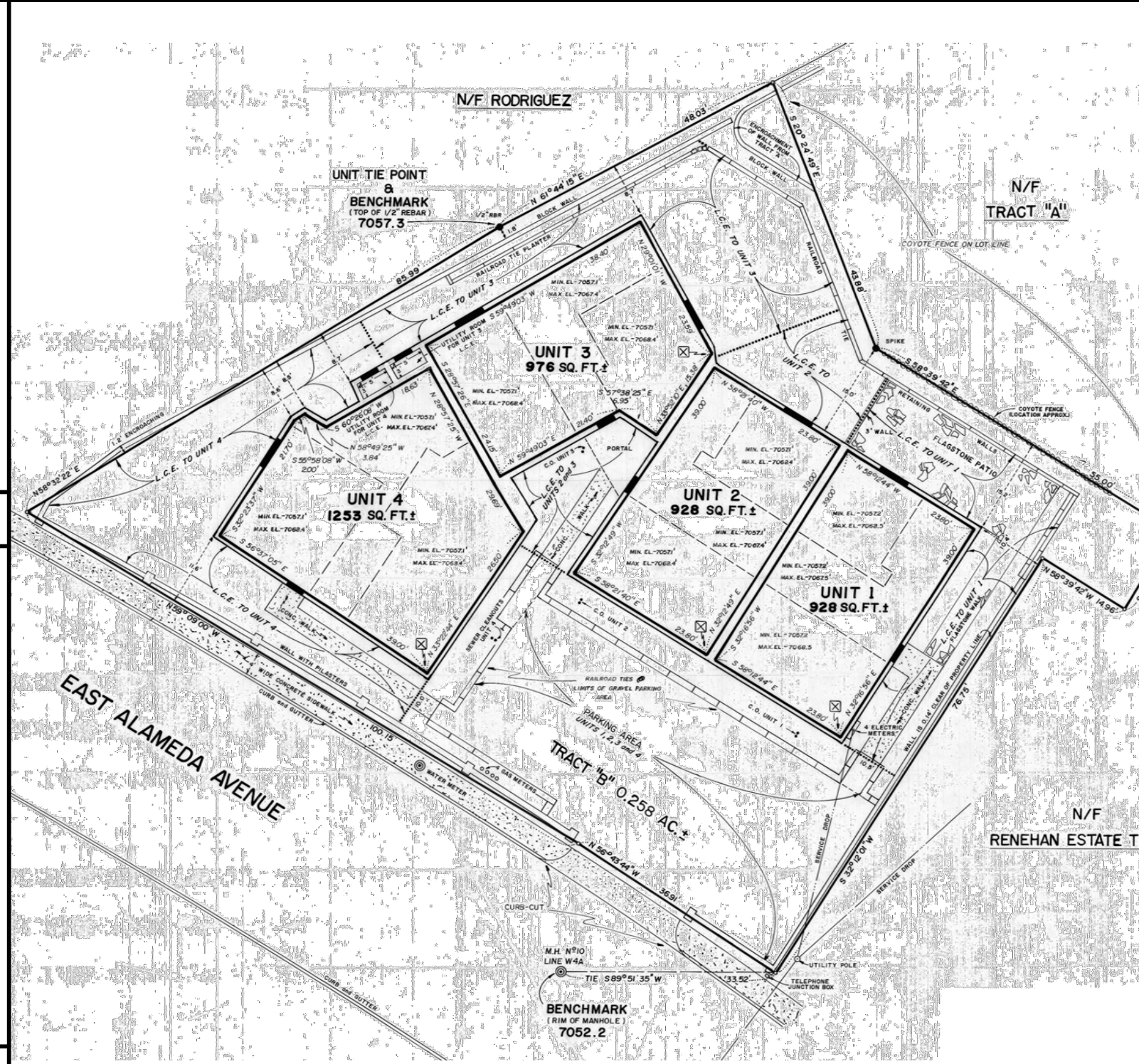
COMMON ABBREVIATIONS

- A.F.F. - ABOVE FINISHED FLOOR
- B.O. - BOTTOM OF
- T.O. - TOP OF
- B.O.W. - BOTTOM OF WALL
- T.O.W. - TOP OF WALL
- T.O.P. - TOP OF PARAPET
- V.I.F. - VERIFY IN FIELD
- S.F. - SQUARE FEET
- C.F. - CUBIC FEET
- GAL. - GALLONS
- PSF - PER SQUARE FEET
- EL. - ELEVATION
- EQ. - EQUAL (USED IN EQUALLY SPACED DIMENSIONS)
- W, H (HT.) - WIDTH, HEIGHT
- O.C. - CENTER TO CENTER DIMENSIONS
- DIMS. - DIMENSIONS
- C.L. - CENTERLINE
- P.L. - PROPERTY LINE
- LO. - LINE OF
- MAX. - MAXIMUM

- MIN. - MINIMUM
- TYP. - TYPICAL
- OFNG. - OPENING
- R.O. - ROUGH OPENING
- FIN. FLR. - FINISHED FLOOR
- N.T.S. - NOT TO SCALE
- GWB. - GYPSUM WALL BOARD
- GCB. - GYPSUM CEILING BOARD
- G.D. - WOOD GRAIN DIRECTION
- R.S. - ROUGH SAWN WOOD
- D.S. - DOWNSPOUT
- C.B. - CATCH BASIN
- T.O.C. - TOP OF CONCRETE
- T.O.G. - TOP OF GRADE

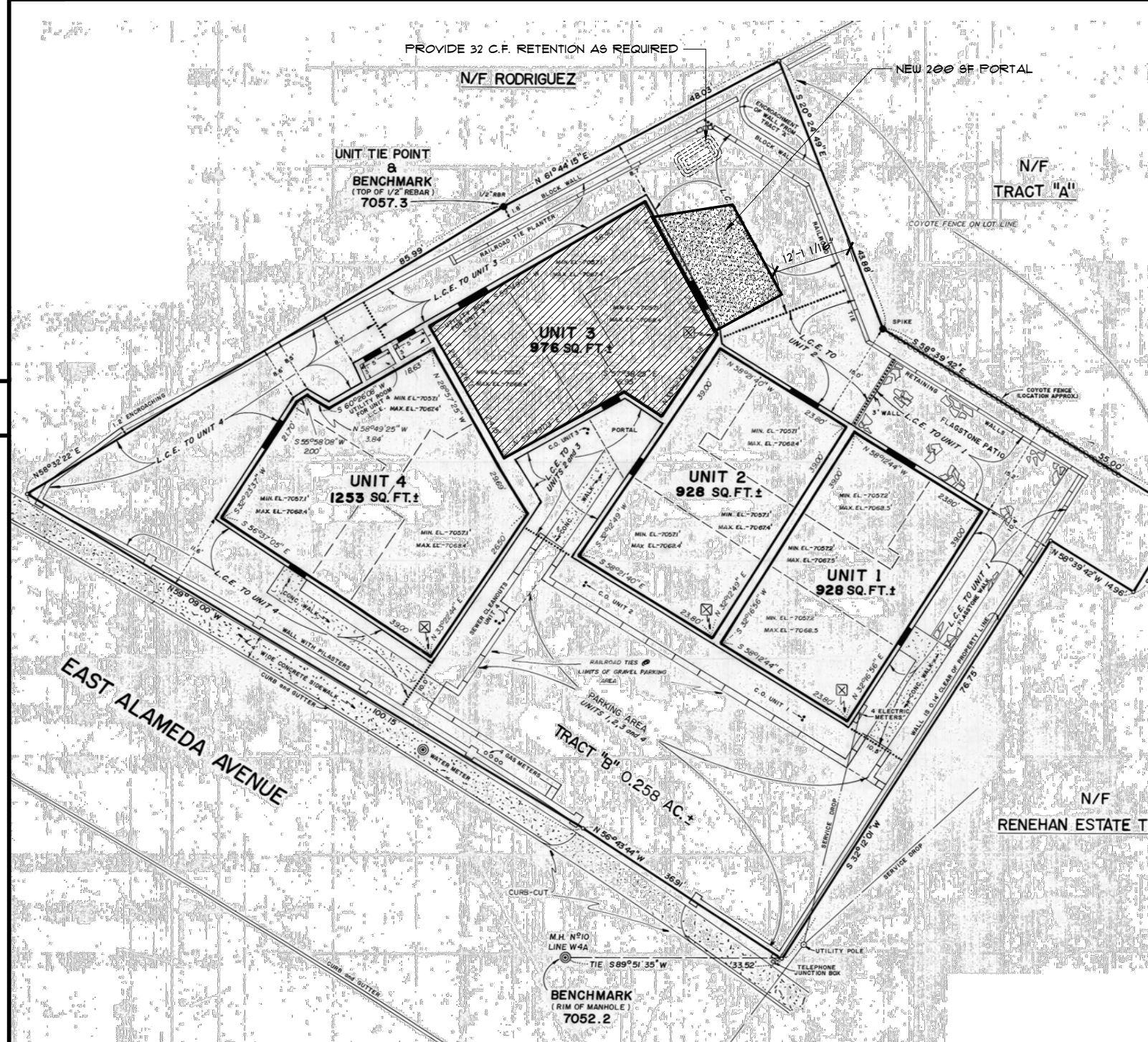
MATERIAL ABBREVIATIONS

- TL. - TILE
- WD. - WOOD
- DF. - DOUGLAS FIR
- PL. - PLASTER
- PTD. - PAINTED
- ST. - STAINED



I EXISTING SITE PLAN

SCALE: 1" = 20'-0"



2 PROPOSED SITE PLAN

SCALE: 1" = 20'-0"

**JUICEKITCHEN
 DESIGN
 WORKSHOP**
 1219 CERRO GORDO RD.
 SANTA FE, NM 87501
 505.920.9128
 JK@JUICEKITCHENDESIGNWORKSHOP.COM



SCALE - AS NOTED

DATE - 2/13/2022

COVER SHEET & SITE PLAN

BROWN RESIDENCE

701 E ALAMEDA ST. #3
 SANTA FE, NM 87501

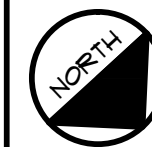
CVR

I GENERAL NOTES

I ABBREVIATIONS

2 PROPOSED SITE PLAN

REVISION -



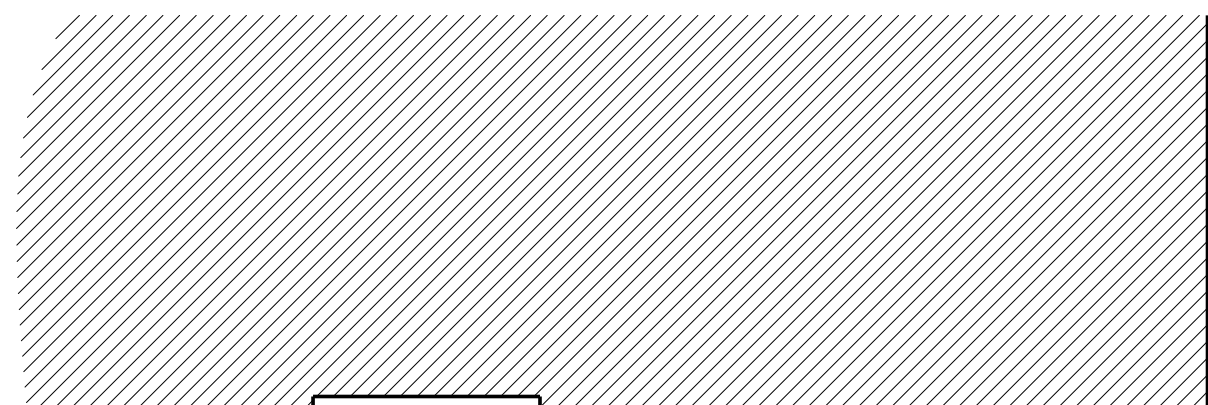
SCALE - 1/4" = 1'-0"

DATE - 2/13/2022

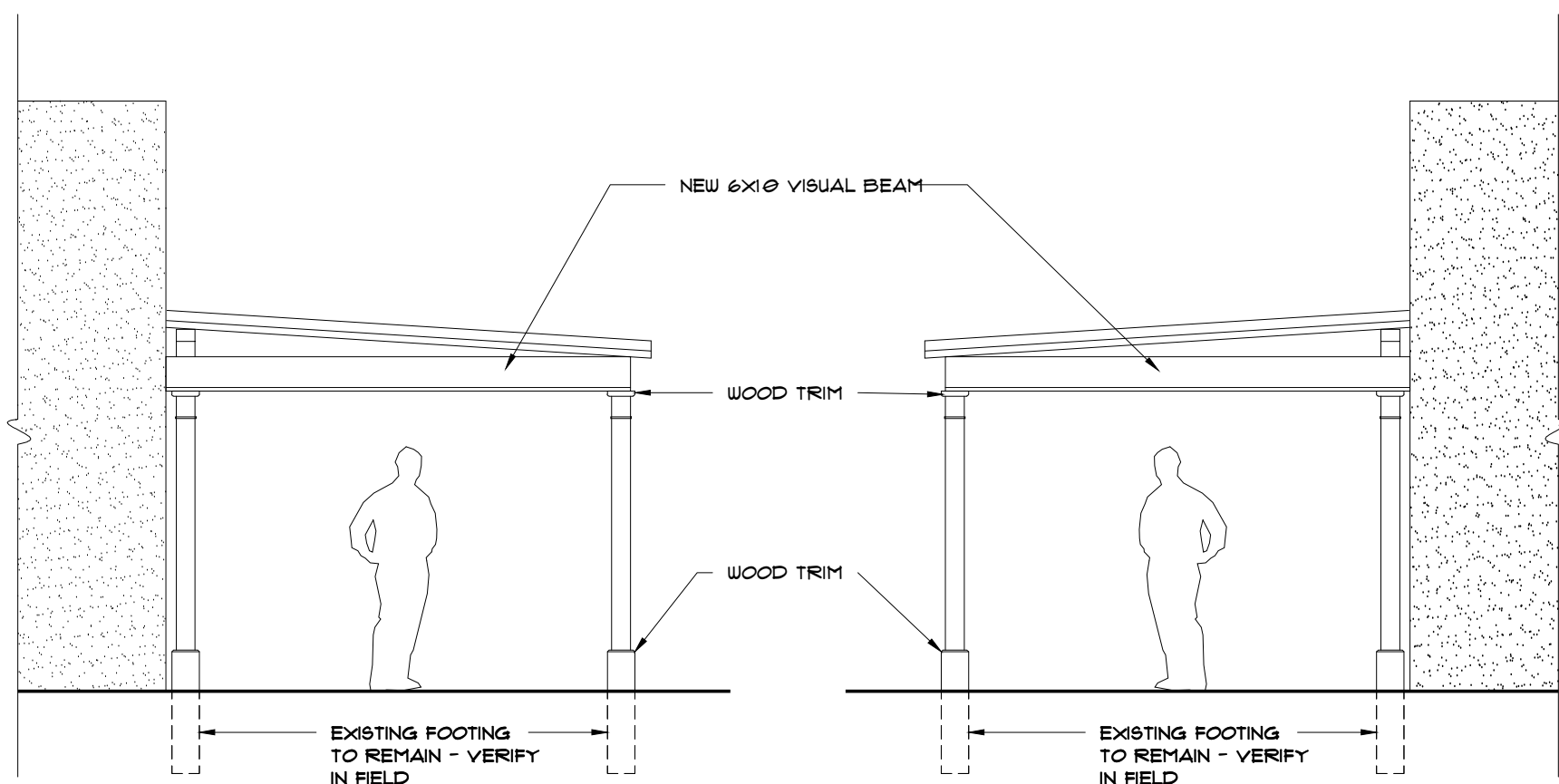
BROWN PORTAL

BROWN RESIDENCE
701 E ALAMEDA ST. #3
SANTA FE, NM 87501

A100



NEW 6x10 BEAM



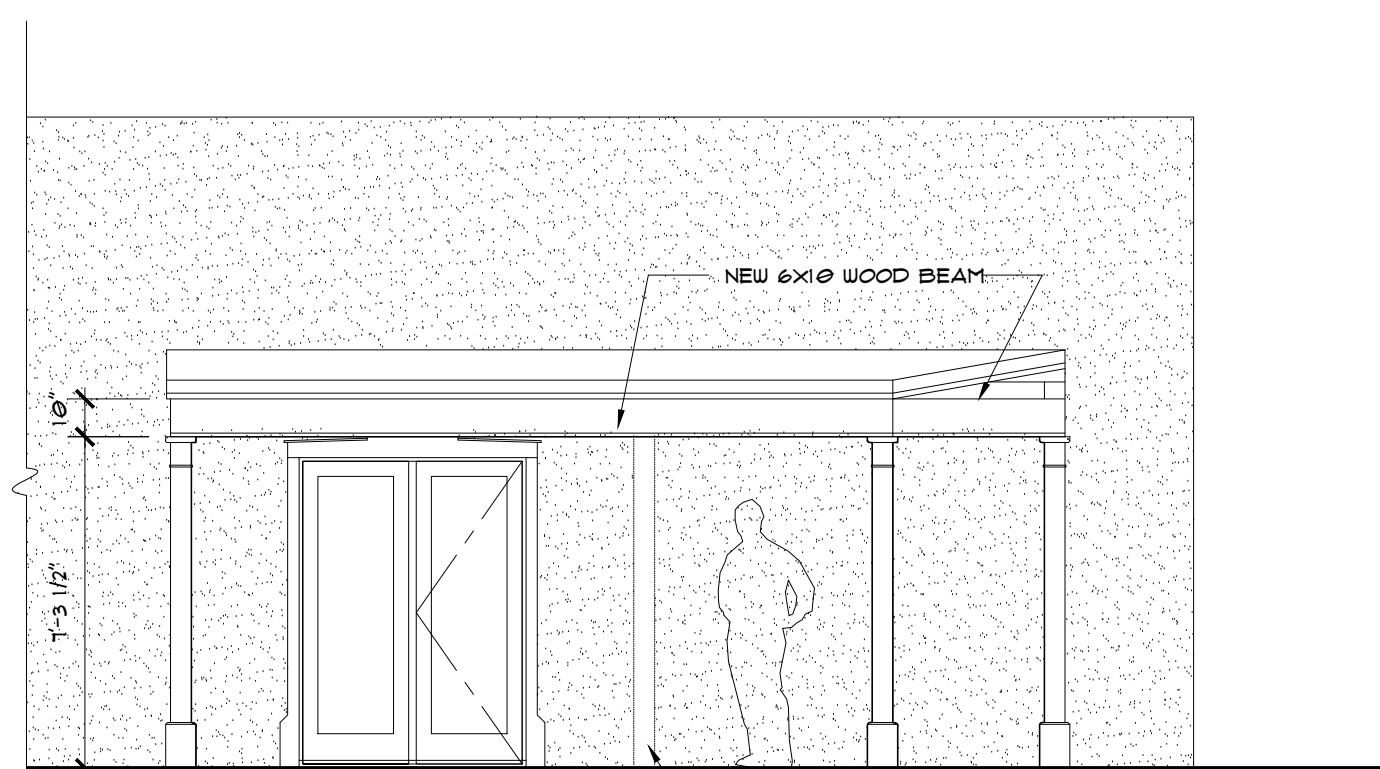
NEW 6x10 VISUAL BEAM

WOOD TRIM

WOOD TRIM

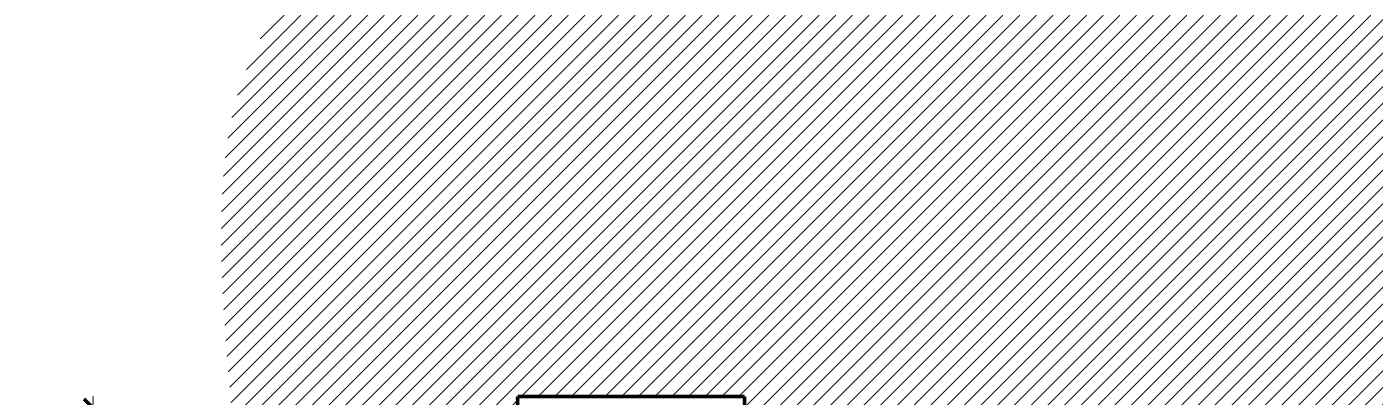
EXISTING FOOTING TO REMAIN - VERIFY IN FIELD

EXISTING FOOTING TO REMAIN - VERIFY IN FIELD



NEW 6x10 WOOD BEAM

EXISTING POST @ BACK WALL



6x6 WOOD POST

EXISTING 4x4 RAFTERS

6x6 WOOD POST

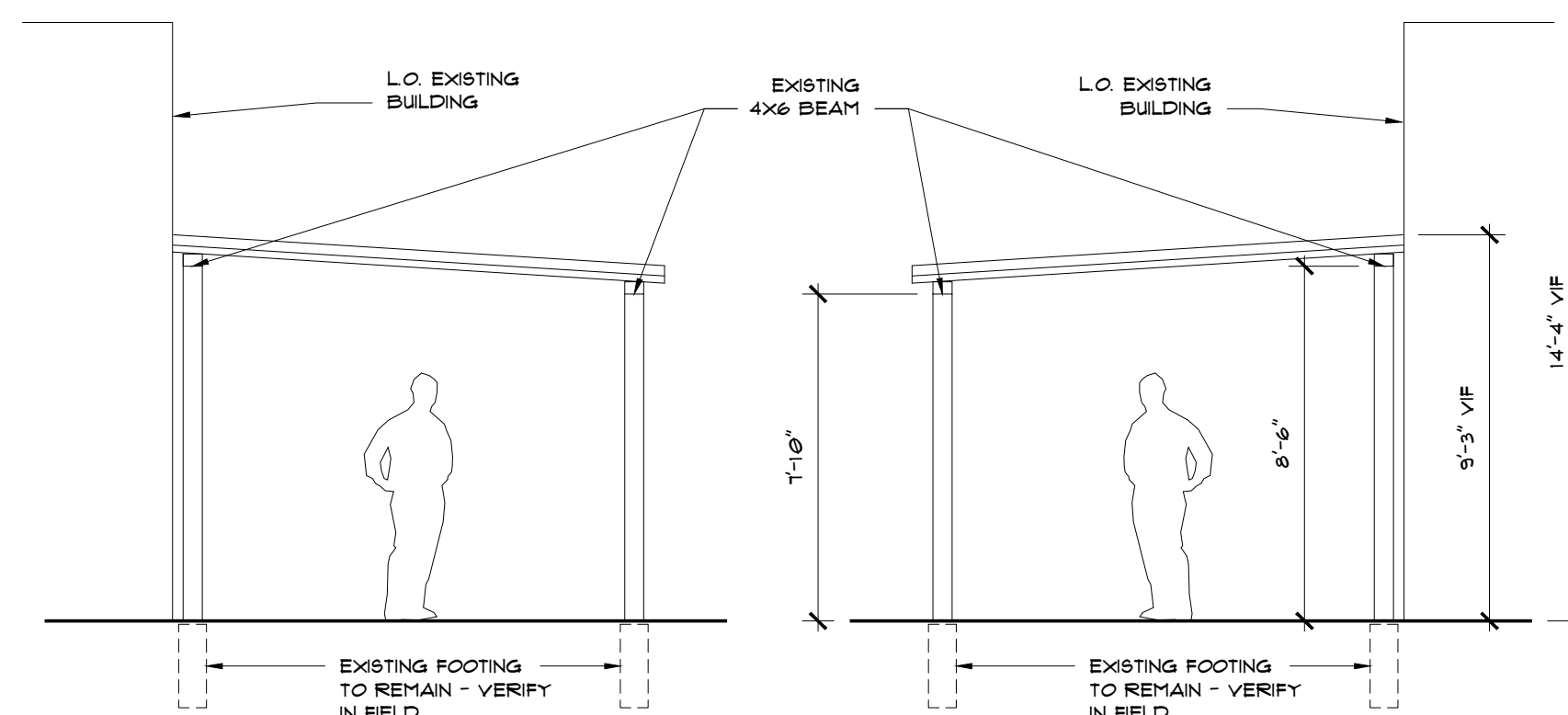
6x6 WOOD POST

EXISTING 4x6 BEAM

6x6 WOOD POST

15'-11"

3'-3 1/2"



LO. EXISTING BUILDING

EXISTING 4x6 BEAM

HI. EXISTING BUILDING

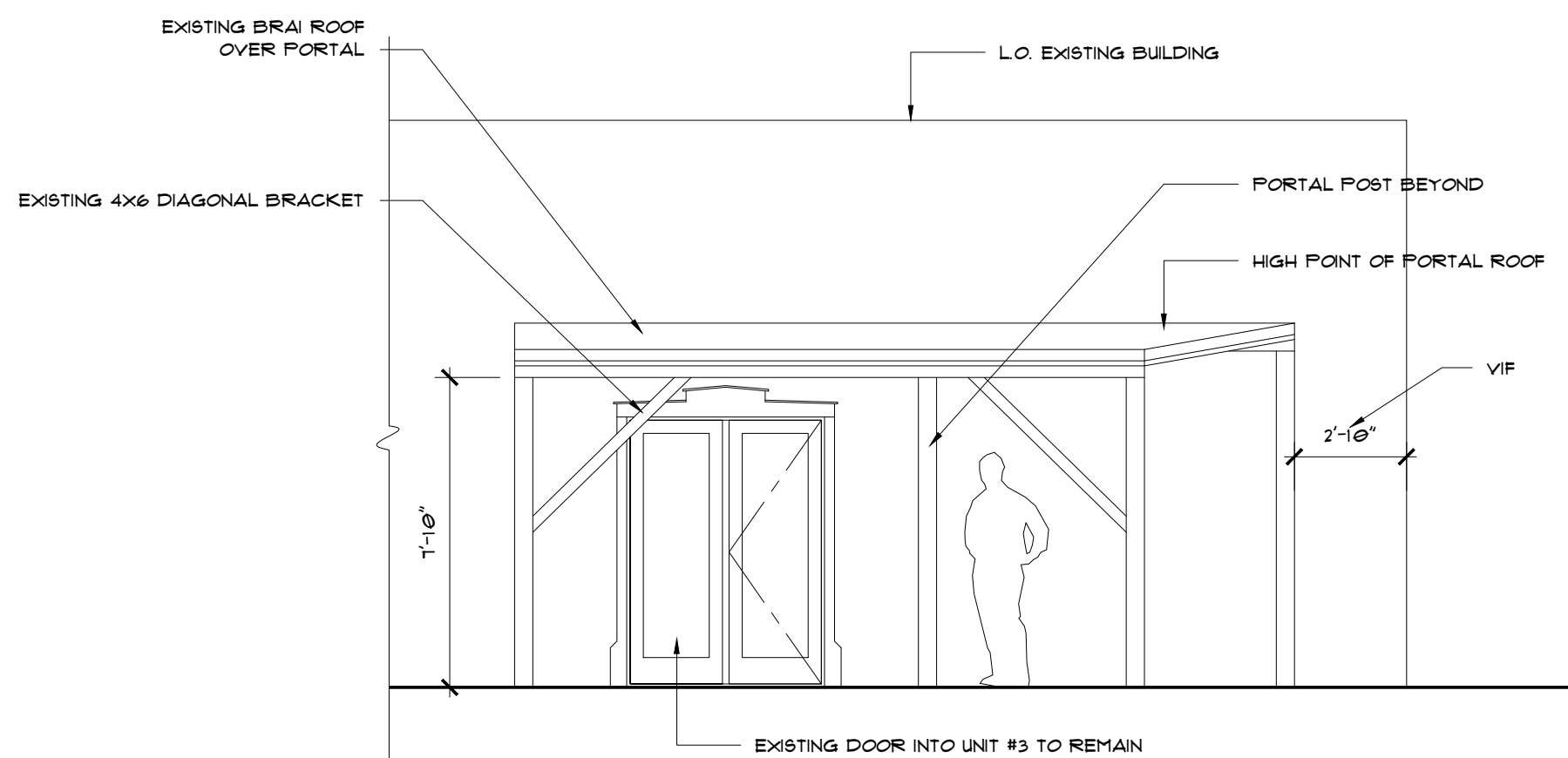
1'-10"

8'-6"

14'-4" V.F.

EXISTING FOOTING TO REMAIN - VERIFY IN FIELD

EXISTING FOOTING TO REMAIN - VERIFY IN FIELD



EXISTING BRAI ROOF OVER PORTAL

LO. EXISTING BUILDING

EXISTING 4x6 DIAGONAL BRACKET

PORTAL POST BEYOND

HIGH POINT OF PORTAL ROOF

V.F.

1'-10"

2'-10"

EXISTING DOOR INTO UNIT #3 TO REMAIN

2

PROPOSED FLOOR PLAN (NO CHANGE) AND ELEVATIONS

SCALE: 1/4" = 1'-0"

1

EXISTING FLOOR PLAN AND ELEVATIONS

SCALE: 1/4" = 1'-0"

August 12, 2021

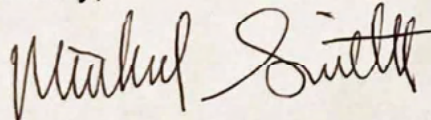
Santa Fe City Council

Dear Council Members:

As Founder and Director of a non-profit organization called Friends of the Santa Fe River, the eye appeal of the stretch of Alameda Street east of Delgado is something I care a lot about. Dr. Steven Brown of 701 E. Alameda St., Unit 3 is a regular contributor to our organization, and I know him also to be concerned about the appearance of this area.

He has shared with me the Historic Review Board's concern about the portal he has recently built at the rear of his property. I have met with him several times under the portal in question. Based on my experience, I can tell you that it is not visible from anywhere outside of his condominium unit and has no visual impact whatsoever on any public space. I would also say that it is a comfortable and attractive feature of his residence.

Sincerely,



Michael Smith
223 N. Guadalupe St., #140
Santa Fe, NM 87501
505-995-1013

NOTARY ACKNOWLEDGEMENT
PLEASE SEE ATTACHMENT

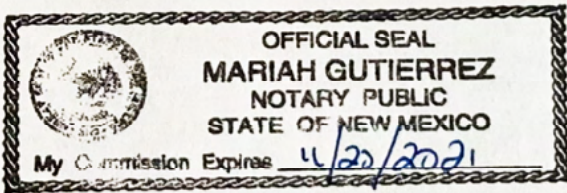
NOTARY ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF SANTA FE

The foregoing instrument was acknowledged before me this 16 day of August 16, 2021 by Michael Smith who produced HI Driver's License as identification.

Notary Stamp



Mariah Gutierrez
(Signature of Notary Public)
Mariah Gutierrez
(Printed Name of Notary Public)

My commission expires: 4/20/2021

Produced Following Photo ID:

Driver's License: State of HI Number H101462612
Issued 2/29/2016 Expires 7/29/2024

Passport: Country _____ Number _____
Issued _____ Expires _____

Title of Document Notarized: Letter

Lansing and Monica Hays
701 E. Alameda, unit 4
Santa Fe, NM 8750

August 14, 2021

Historic Preservation
City of Santa Fe

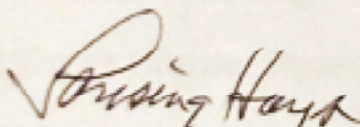
To whom it may concern:

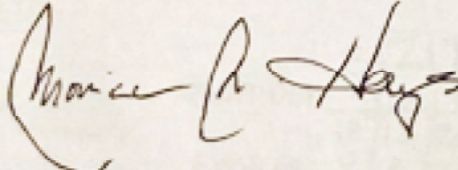
We are the owners of Unit 4 at 701 E. Alameda St., Santa Fe, NM 87501, the residence adjacent to that of Dr. Steven Brown in Unit 3. We understand that concerns have been raised about the portal Dr. Brown constructed last February. The patio and portal are at the rear of our building on the north side of east Alameda St. The structure is surrounded on three sides by high fences and on the fourth by his back wall of our tall condominium building. Thus, it is virtually impossible to see this structure from any point of view beyond his unit. It is further surrounded by tall mature overhanging trees.

We have seen the structure and can say that it appears to be a well constructed, functional, and attractive addition to Dr. Brown's property.

If you have questions or concerns we might address, we would be pleased to do so.

Sincerely,


Lansing and Monica Hays



NOTARY ACKNOWLEDGEMENT

PLEASE SEE ATTACHMENT

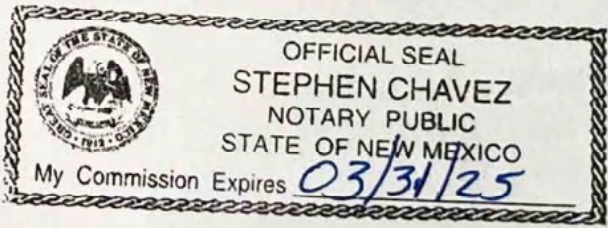
NOTARY ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF SANTA FE

The foregoing instrument was acknowledged before me this 16 day of August, 2021 by Monica M Hays, Lansing Hays who produced Drivers License as identification.

Notary Stamp



Stephen Chavez
(Signature of Notary Public)

Stephen Chavez
(Printed Name of Notary Public)

My commission expires: 03/31/25

Produced Following Photo ID:

Driver's License: State of PA
Issued 11/25/2019
5/29/2020

Number 31217188 - Monica
31217208 - Lansing
Expires 12/12/2023 - Monica
8/03/2024 - Lansing

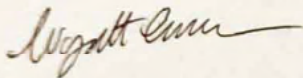
Passport: Country _____ Number _____
Issued _____ Expires _____

Title of Document Notarized: Letter to city

Wyatt Gordon
701 E Alameda St, Unit 2
August 18th, 2021

To whom it may concern, this is a letter in support of my neighbor Steven Brown's backyard portal. I live next door in Unit 2, with our backyards separated by a fence, and even in close proximity his portal is barely visible at all. I can see, at the very most, maybe 6" (inches) of it from my yard. The portal is not publicly visible in any way, shape, or form. Also, I've been in my neighbor Steven's yard to look at this portal, and to my eye it's very nicely made and is not at all an eyesore or a hazard. Thank you for reading, and please feel free to contact me if needed.

- Wyatt Gordon



NOTARY ACKNOWLEDGEMENT

PLEASE SEE ATTACHMENT

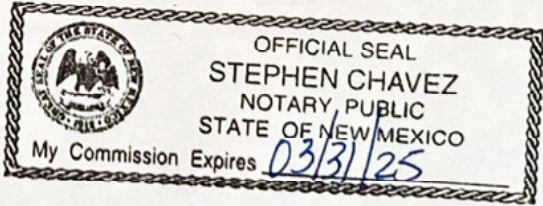
NOTARY ACKNOWLEDGMENT

STATE OF NEW MEXICO

COUNTY OF SANTA FE

The foregoing instrument was acknowledged before me this 23rd day of August, 20 21 by Wyatt Gordon who produced Drivers license as identification.

Notary Stamp



Stephen Chavez
(Signature of Notary Public)
Stephen Chavez
(Printed Name of Notary Public)

My commission expires: 03/31/25

Produced Following Photo ID:

Driver's License: State of Oregon Number A310590
Issued 8/14/2017 Expires 07/14/2024

Passport: Country _____ Number _____
Issued _____ Expires _____

Title of Document Notarized: Official Letter

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909
www.santafenm.gov

Alan Webber, Mayor

Councilors:

Signe I. Lindell, Mayor Pro Tem, District 1
Renee Villarreal, District 1
Michael J. Garcia, District 2
Carol Romero-Wirth, District 2
Roman "Tiger" Abeyta, District 3
Chris Rivera, District 3
Jamie Cassutt, District 4
JoAnne Vigil Coppler, District 4

August 16, 2021

Mr. Steven Brown
701 E. Alameda Street, Unit 3
Santa Fe, NM 87501

Re: Porch

Dear Mr. Brown,

An inspection to verify the condition of the new porch, was conducted on August 9th 2021. The construction of the new porch is acceptable to apply for building permit and would meet current building code requirements. A permit application, construction drawings, site plan, foundation plan, framing plan, elevations, Historic approval and structural engineer report would be needed in order to submit for building permit. All inspections shall be completed and final inspection obtained.

Please feel free to contact me if you have any questions or if I can be of further assistance.

A handwritten signature in black ink, appearing to read "Bobby Padilla".

Bobby Padilla
Building Official
Inspections and Enforcement Manager
City of Santa Fe
505-955-6503



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004862--HDRB

Project Description:

Project Location(s): 661 GARCIA ST C
Santa Fe, NM 87505

Contacts:

Applicant: CHRISTOPHER PURVIS
222 E MARCY ST 19
SANTA FE , NM 87501

ARCHITECT@ACP-AIA.COM

Property Owner: Joe & Lynne N Horning
661 C Garcia St 661 C Garcia St
Santa Fe, NM 87505

maxtoadie@gmail.com

Historic District: HD: Historic Review, HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-004862-HDRB

Address: 661 Garcia Street C
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Zoning Review Sheet
- Other: Previous case H-17-018

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

661-C Garcia Street is a 3,000 square foot single-family residential structure and free-standing 490 square foot garage constructed in the 1980s in the Territorial Revival Style. The structures are listed as non-contributing to the Downtown & Eastside Historic District.

The applicant proposes the following same changes approved in 2014:

1. Construct a 444 square foot addition on the north and west sides of the house 4 inches lower than the existing house. The finishes on the proposed addition will match the existing Buckskin cementitious stucco with trim at the openings and white paint on all exposed woodwork as well as the white painted true divided lite wood windows and trim.
2. Repair the rotting trim boards on the south side of the house.

The applicant proposed the same changes in a 2017 board case, which were approved but not built.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant: Date Submitted: <u>2/2/22</u> Property Owner of Record: <u>LYNNE + JOE HOZUNIS</u> Applicant/Agent Name: <u>CHRISTOPHER PORNIS</u> Contact Person Phone Number: <u>505 982 5461</u>	Site Address: <u>661 C GARCIA ST</u> Proposed Construction Description: <u>ADDITION</u> TOTAL ROOF AREA: _____
Zoning District: <u>R-3</u> Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* _____ <input type="checkbox"/> Other: _____ Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____ Terrain: <input type="checkbox"/> 30% slopes _____	Lot Coverage: <u>21</u> % <input type="checkbox"/> Open Space Required: _____ Setbacks: <u>21'-0"</u> <u>7'-0"</u> Proposed Front: _____ Minimum: _____ 2 nd Front? _____ Proposed Rear: <u>EX</u> Minimum: <u>15'</u> Proposed Sides: <u>L 9' R EX</u> Minimum: <u>5'</u> Height: Proposed <u>15'-1"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u> Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

CHRISTOPHER PORNIS [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature] 2/2/22
 SIGNATURE DATE

To Be Completed By City Staff: Additional Agency Review if Applicable: <input type="checkbox"/> Escarpment Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Flood Plain Approval by _____ Date: <u> / / </u> <input type="checkbox"/> Traffic Engineering Approval by _____ Date: <u> / / </u> Notes: _____ Zoning Approval: <input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected Comments/Conditions: _____ _____ REVIEWER: _____ DATE: <u> / / </u>	
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Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

A. CHRISTOPHER PURVIS ARCHITECTS

Historic Districts Review Board
City of Santa Fe
City Hall
Santa Fe, NM 87501

Wednesday, February 2, 2022

RE: 661C Garcia Street Enclosed: (1) 24" x 36" and PDF (copies) dated 5/26/17

A-1 Site Plans Existing and Proposed
A-2 Floor Plans Existing and Proposed
A-3 Elevations Existing and Proposed
A-3 Elevations Existing and Proposed
Photographs, North South East and West of House

Dear Angela Bordegaray and Members of the Historic Districts Review Board,

We hereby request your review and approval of the Addition proposed at 661 C Garcia street
The existing non contributing building on this lot was built in approximately 1986. The existing house consists of a 2890 square foot footprint main house with 422 sq. ft. of portals .

We propose to make the following changes to the main house:

- 1 Place a 444 sqft addition on the north and west sides of the house that is 4 inches lower than the exiting house
 - 2. The finishes of the addition shall match the existing buckskin stucco as well as the white painted TDL windows and trim
 - 3. we also propose to repair the rotting trim boards on the south side of the house
- Please see details on attached square footages which outlines the basis for these proposed changes.

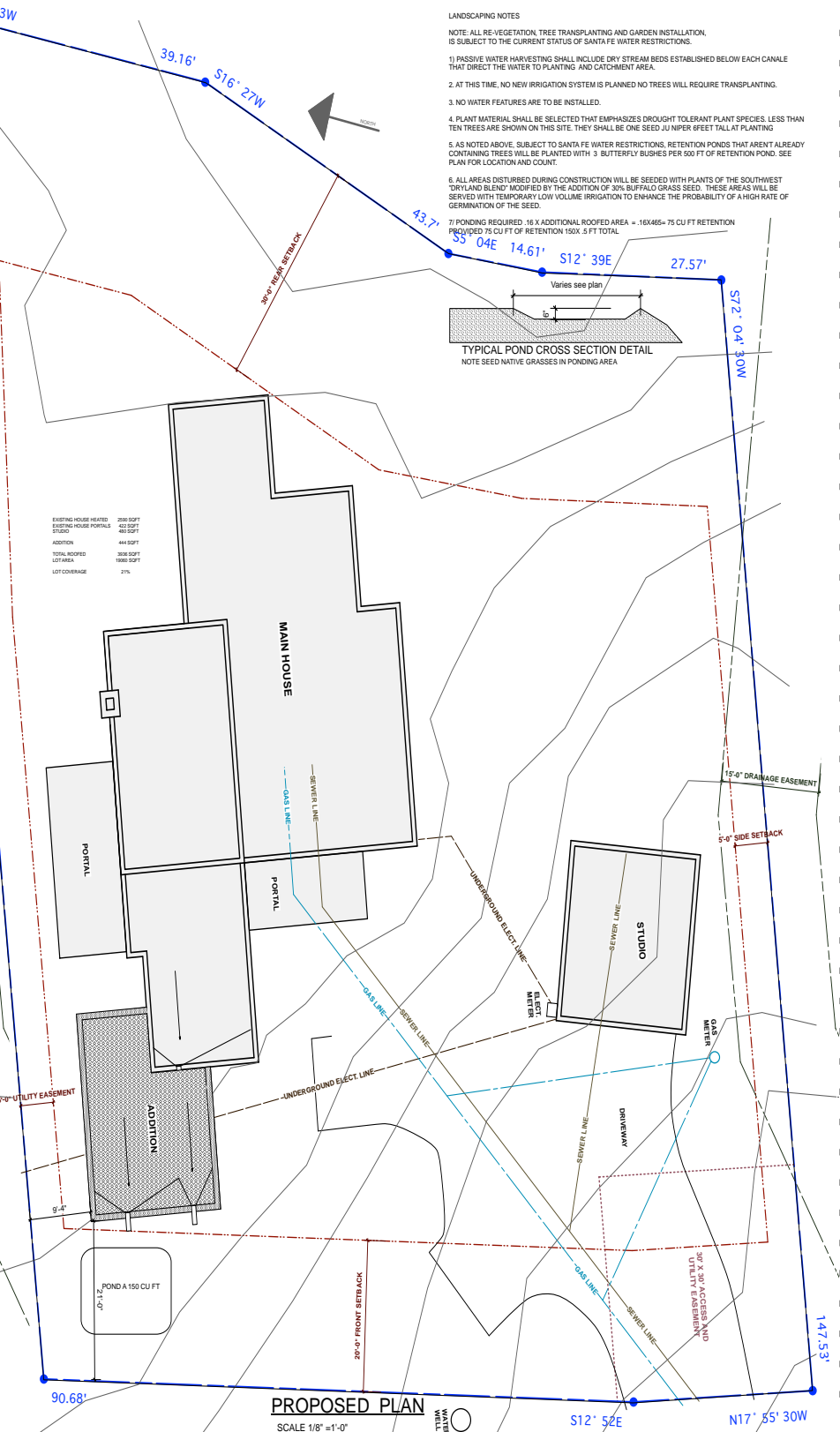
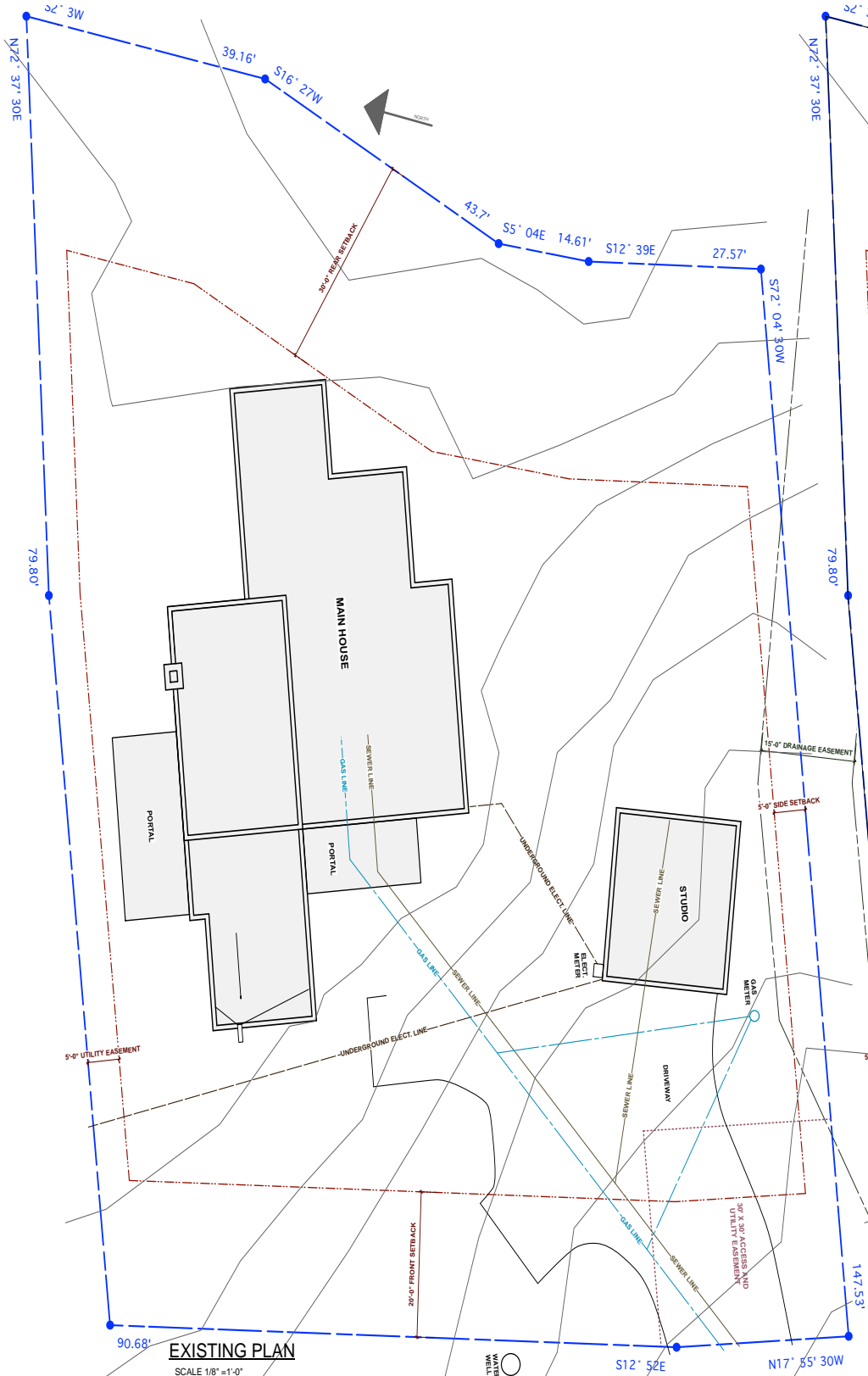
The finishes on the proposed addition will match the existing -Buckskin cementitious stucco with trim at the openings and a white paint on all exposed woodwork.

Please do not hesitate to call me at 505-982-5461 if you have any questions on this project.

Sincerely

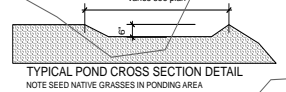


Christopher Purvis.



EXISTING HOUSE HEATED	208 SQFT
EXISTING HOUSE PORTALS	402 SQFT
STUDIO	810 SQFT
ADDITION	444 SQFT
TOTAL HEATED	3064 SQFT
LOT AREA	1988 SQFT
LOT COVERAGE	21%

- LANDSCAPING NOTES
- NOTE: ALL RE-VEGETATION, TREE TRANSPLANTING AND GARDEN INSTALLATION, IS SUBJECT TO THE CURRENT STATUS OF SANTA FE WATER RESTRICTIONS.
- PASSIVE WATER HARVESTING SHALL INCLUDE DRY STREAM BEDS ESTABLISHED BELOW EACH CANALE THAT DIRECT THE WATER TO PLANTING AND CATCHMENT AREA.
 - AT THIS TIME, NO NEW IRRIGATION SYSTEM IS PLANNED NO TREES WILL REQUIRE TRANSPLANTING.
 - NO WATER FEATURES ARE TO BE INSTALLED.
 - PLANT MATERIAL SHALL BE SELECTED THAT EMPHASIZES DROUGHT TOLERANT PLANT SPECIES. LESS THAN TEN TREES ARE SHOWN ON THIS SITE. THEY SHALL BE ONE SEED JU NIPER GREET TALL AT PLANTING
 - AS NOTED ABOVE, SUBJECT TO SANTA FE WATER RESTRICTIONS, RETENTION PONDS THAT ARENT ALREADY CONTAINING TREES WILL BE PLANTED WITH 3 BUTTERNUT BUSHES PER 500 FT OF RETENTION POND. SEE PLAN FOR LOCATION AND COUNT.
 - ALL AREAS DISTURBED DURING CONSTRUCTION WILL BE SEEDDED WITH PLANTS OF THE SOUTHWEST "ORNLAND BLEND" MODIFIED BY THE ADDITION OF 30% BUFFALO GRASS SEED. THESE AREAS WILL BE SERVED WITH TEMPORARY LOW VOLUME IRRIGATION TO ENHANCE THE PROBABILITY OF A HIGH RATE OF GERMINATION OF THE SEED.
 - PONDING REQUIRED: .16 X ADDITIONAL ROOFED AREA = .16 X 465 = 75 CU FT RETENTION PROVIDED 75 CU FT OF RETENTION 150X.5 FT TOTAL





EXISTING PLAN
SCALE 1/4" = 1'-0"

GENERAL NOTES
 1. BRACE ALL CEILINGS AND STRUT ALL WALLS BEFORE REMOVAL.
 2. REMOVE ALL EXCESSIVE CONCRETE.
 3. REMOVE ALL EXCESSIVE MATERIALS.
 4. DISPOSE OF ALL MATERIALS FROM DEMOLITION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.

EXISTING HOUSE PORTA	0	SQFT
EXISTING STUDIO	44	SQFT
PROPOSED ADDITION	3514	SQFT
TOTAL HEATED	3336	SQFT
TOTAL ROOFED LOT AREA	19060	SQFT
LOT COVERAGE	21%	

70MINIC D2



PROPOSED PLAN
SCALE 1/4" = 1'-0"

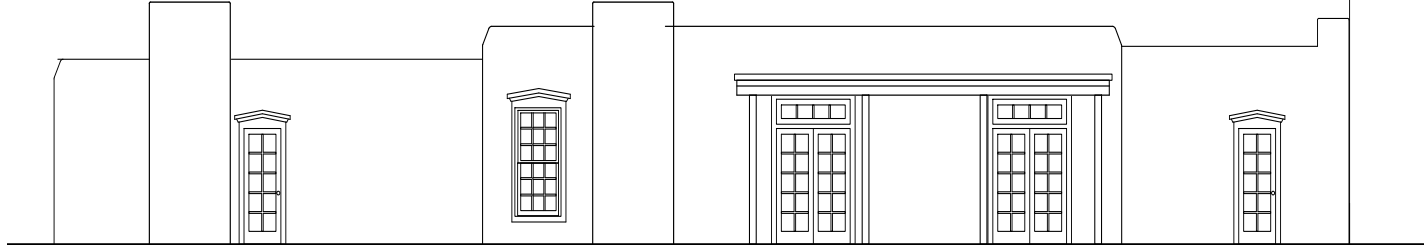
5/26/17

A-2

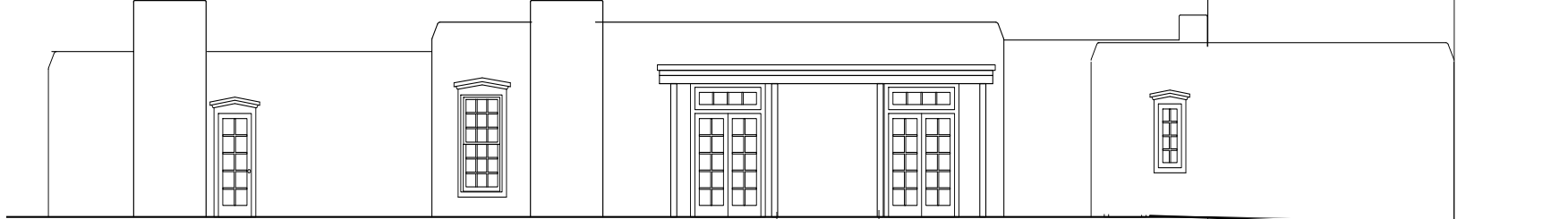
JOB NO. 3706

HORNING ADDITION
 661 C GARCIA STREET
 SANTA FE, NEW MEXICO

CHRISTOPHER PURVIS ARCHITECTS
 200 West Marcy #147
 Santa Fe, New Mexico 87501 Tel: 505.982.5461
 E Mail: Architect@ACP-AAA.com



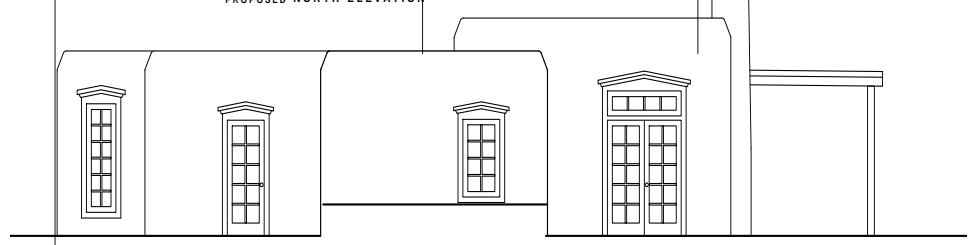
EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION



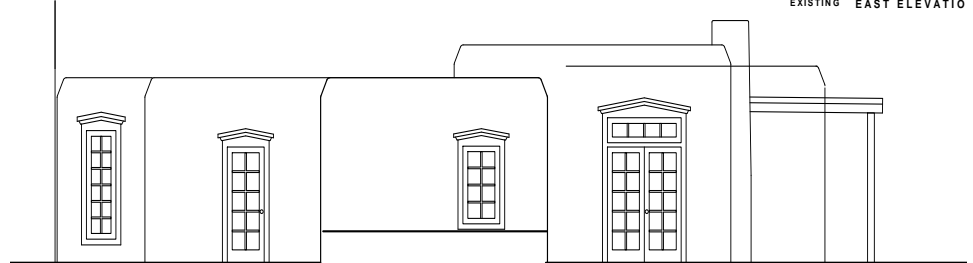
EXISTING WEST ELEVATION



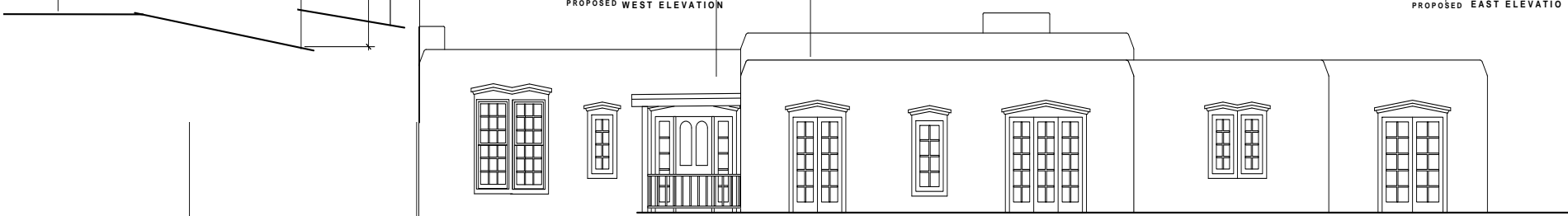
EXISTING EAST ELEVATION



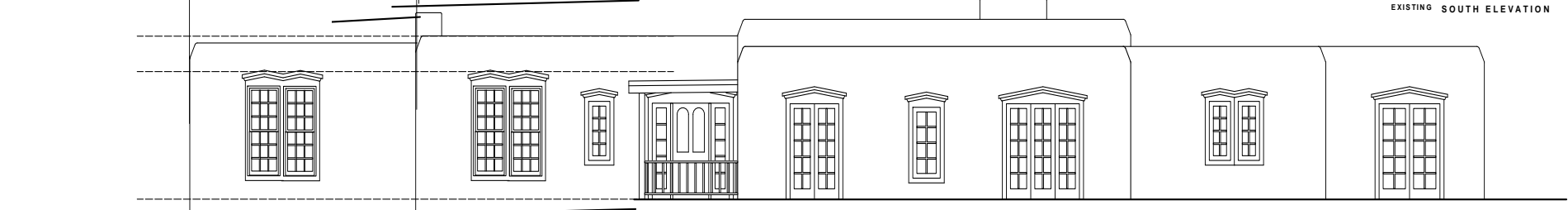
PROPOSED WEST ELEVATION



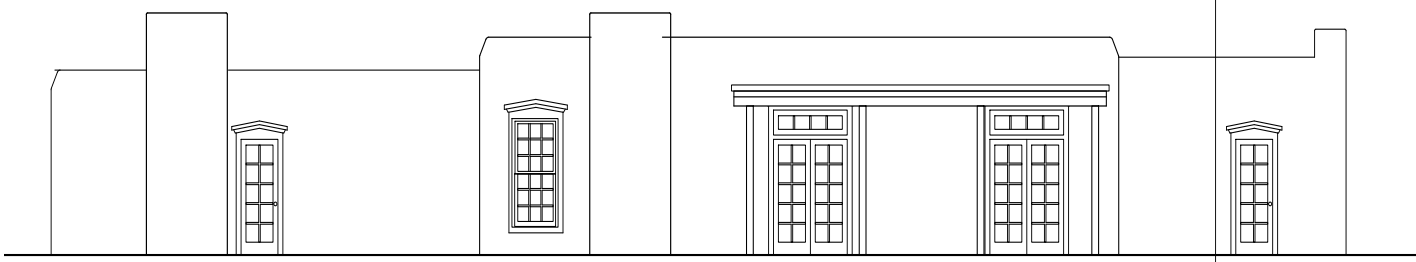
PROPOSED EAST ELEVATION



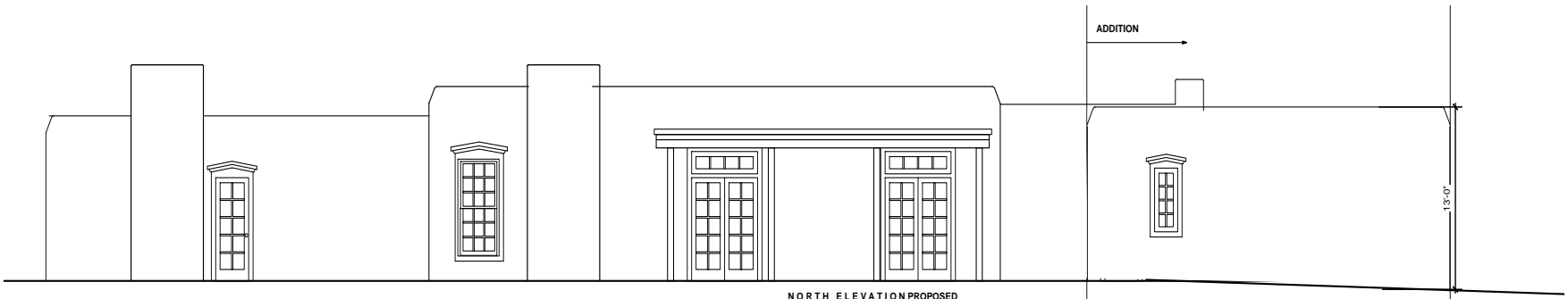
EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION



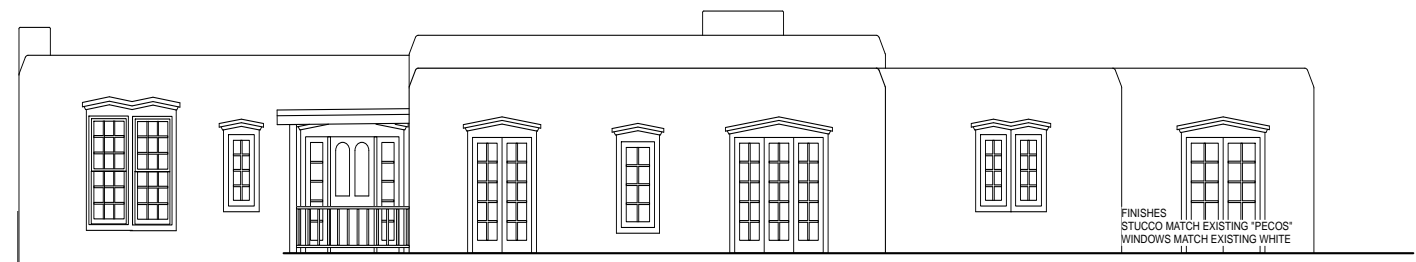
NORTH ELEVATION EXISTING



NORTH ELEVATION PROPOSED

ADDITION

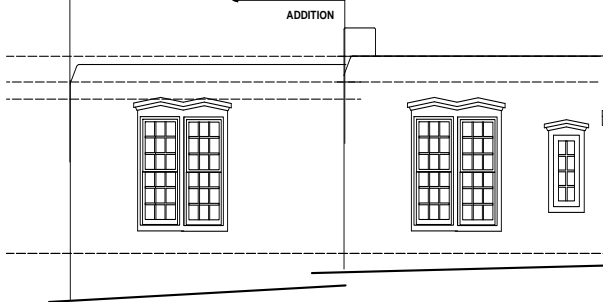
13'-0"



SOUTH ELEVATION EXISTING

FINISHES
STUCCO MATCH EXISTING "PECOS"
WINDOWS MATCH EXISTING WHITE

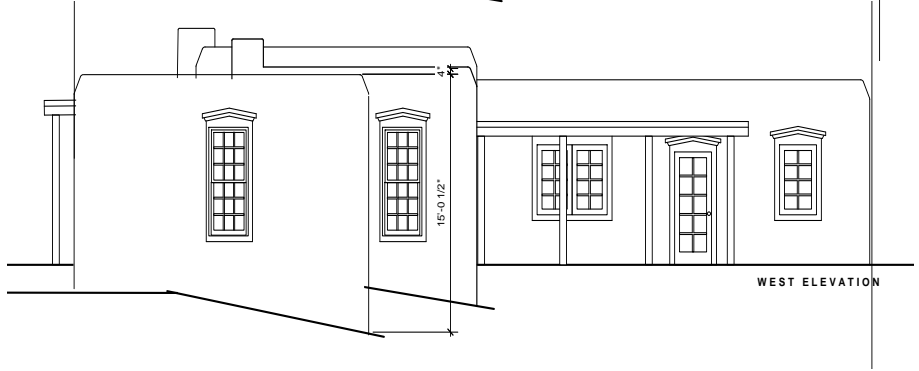
ADDITION



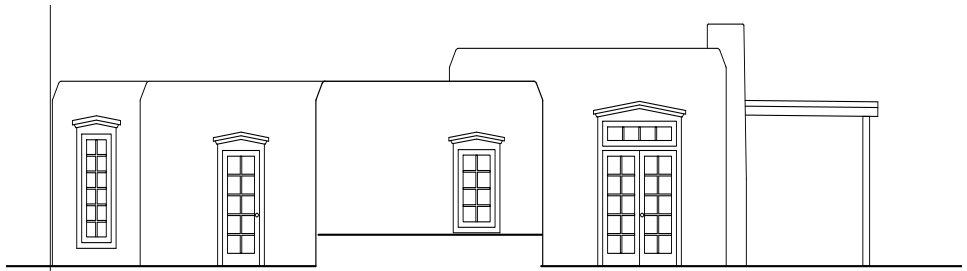
SOUTH ELEVATION PROPOSED



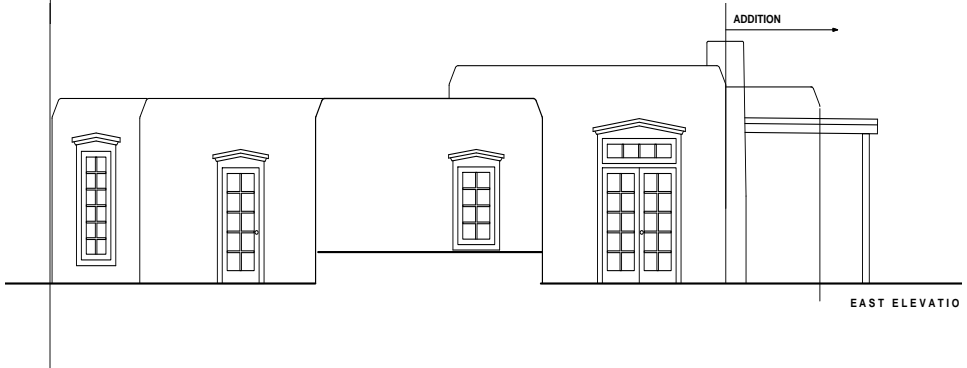
EXISTING WEST ELEVATION



WEST ELEVATION



EAST ELEVATIO



EAST ELEVATIO



SOUTH ELEVATION



EAST ELEVATION



NORTH AND WEST ELEVATION



SOUTH AND WEST ELEVATION



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004863--HDRB

Project Description:

Project Location(s): 2 CAMINO PEQUENO
Santa Fe, NM 87501

Contacts:

Property Owner/Builder: DANIEL STRONGWATER
806 DON GASPAR
SANTA FE , NM

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-004863-HDRB

Address: 2 Camino Pequeno
Historic Status: Non-contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other: Previous cases H-98-153A and B;
H-15-060

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff does not find that all the exception criteria have been met but the Board may find that they have upon further testimony. Otherwise, staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

2 Camino Pequeno is a 3,118 square foot residence constructed in the early 1960s described as a blend of Mid-Century Ranch and Prairie Revival Styles. The residence is characterized by its horizontal lines, low massing with areas of exposed whitewashed adobe, slightly pitched shed roof with projecting eaves, stained wooden elements, and wood windows with a horizontal, rectangular lite pattern. Its tallest existing height is 11'- 11". The residence was designated non-contributing to the Downtown and Eastside Historic District in a 1998 HDRB case. It has undergone remodeling in the late 1990s and 2015.

The applicant proposes the following alterations:

1. Add a 873 square foot free-standing carport with attached adobe storage shed to the southeast driveway. The carport will have square wood posts, flat roof with white stucco to match existing house, which is white. Posts will be stained a natural cedar wood.
2. Increase roof height on the south elevation to 15'-2 from 11'-11", where the maximum allowable height is 15'-8".
3. Rebuild south elevation portal.
4. Replace south elevation windows with large bank of windows with glazing that exceeds 30".
5. Add clerestory windows on the south elevation to the increased height change façade. South elevation windows will be wood clad awnings.
6. Replace doors on south elevation. New doors will be glass and wood. Add wood clad swinging door.
7. Add portal to south elevation.
8. Add 130 square foot addition to the west elevation.
9. Add a glass and wood slider door to north elevation.
10. Add two patios to north elevation.
11. Replace windows on north and south facades.
12. Additions will be stuccoed with cementitious El Rey Colonial White stucco to match the existing house.
13. Remove 6' high eastern portion of fence line and replace with 6' wire deer fencing. The portal will be wood with a Diamond Vogel Natural Tone Cedar to match existing wood.
14. Add pine "trellis-portal" to south elevation.
15. Add solar panels that will be low profile and concealed.

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2 (E)(c)(1): Staff request an exception to install windows with panes greater than 30 inches.

(i) *Do not damage the character of the district*

Applicant Response: The proposed windows/doors reference the proportions of the original home which features long slung horizontally skewed lite divisions. By harmonizing with the existing house, it reinforces the home's unique contribution to the neighborhood with its 1960s modernist take on Santa Fe Style. The board has previously found referenced this: Member Biedscheid in the August 2015 hearing "it is important to preserve styles from the 1960's and preserving or retaining a rare example of such diversity only enhances what we refer to as Santa Fe Style and highlights the difference with traditional styles"

Staff Response: Staff agrees. The glazing is in keeping with the windows of the rest of the house and style.

(ii) *Are required to prevent a hardship to the applicant or an injury to the public welfare*

Applicant Response: To meet the 30" diagonal requirement, either additional lite divisions or significantly shrinking the glazing would be required. Additional divisions completely alter the unique aesthetic proportions of the home. Shrinking the glazing would compromise the solar gain this design relies on for a reduction in environmental impact and occupant comfort. Referencing multiple previous cases, applicants understood these lite divisions to be acceptable, and propose a design harmonious to the original home.

Staff Response: Staff does not believe adding the multiple large paned windows poses a hardship to the applicant or an injury to the public welfare because new windows are an elective change.

(iii) *Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts*

Applicant Response: The proposed window/door lite division proportions will blend well with the original Mid Century Ranch aesthetic of the home which honors the distinctive variation on traditional Santa Fe Style in the neighborhood.

Staff Response: Staff agrees that the style of the windows match the existing house, however, the number and size of the proposed windows will make the house stand out in the streetscape. While this change could be compatible with the existing house, the large increase in glazing does not fit well with other Spanish-Pueblo Revival and modern style homes on that lane, Camino Pequeno. Staff believes that the applicant could reduce the area of glazing by making the windows smaller.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 2 Camino Pequeño Santa Fe, NM 87501	
Date Submitted: 1/18/22		Proposed Construction Description: Renovation, bathroom addition, bike storage, fence modifications Rainwater storage system	
Property Owner of Record: Daniel & Halley Strongwater			
Applicant/Agent Name: Daniel Strongwater			
Contact Person Phone Number: (505) 421- 6221		TOTAL ROOF AREA: 3613	
Zoning District: <u>Eastside Historic</u>		Lot Coverage : <u>10</u> % <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment _____ <input checked="" type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		Setbacks: Proposed Front: <u>105'</u> Minimum: _____ 2 nd Front? _____ Proposed Rear: <u>27'-6"</u> Minimum: _____ Proposed Sides: <u>L74' R 5'</u> Minimum: _____	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed <u>15'-8"</u> Maximum Height: <u>15'-8"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: Proposed <u>3</u> Accessible _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____			
Terrain: <input type="checkbox"/> 30% slopes _____			

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Daniel Strongwater [X]OWNER [X]APPLICANT []AGENT] PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE DATE 1/18/22

To Be Completed By City Staff: 2022-004792-PAR

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by Dee Beingsner Date: 02/01/2022 Flood Plain approval is conditional based on flood-proofing materials and design required for the structure.

Traffic Engineering Approval by _____ Date: ___/___/___

Notes:

Zoning Approval:
 Preliminary Approval with conditions Rejected

Comments/Conditions:

REVIEWER: Lani J McCulley DATE: 2/1/2022

HDRB Proposal Letter

—
Daniel Strongwater, owner & applicant
2 February 2022

The residence at 2 Camino Pequeño was constructed in the 1950s by local artist Jim Wing as a one room adobe home and later a separate one room wood shop to the NE with a carport extending to its east. The home and shop were connected by an exterior covered portal. He built the structures himself with friends from local materials: adobe walls, axe hewn vigas with ponderosa plank decking and penitentiary bricks for the floors.

When Jim passed in the late 1990s the property was purchased by the Mathey's who completed two separate renovations on the project. The first, in the late 90s consisted of:

- New addition of a angled SW wing with a bedroom and slightly enlarged bathroom
- New S portal off the living room
- Enclosing half of the N portal
- Enclosing the carport as a new studio
- New bathroom addition to the W of the woodshop, which was also renovated into a studio

In 2015 a second renovation enclosed the rest of the N portal and added an angled SE wing with a large bedroom/studio. A new carport, N storage room and garden shed were approved by HDRB at the time, but never built.

Our current proposed renovation has five significant components:

1. **Entrance.** Clarify the main entrance with a new portal and modified fence lines, creating a larger more public garden to the E and an enclosed private yard to the W.
2. **Carport & Storage shed.** A modification to previously approved garage/carport, re-sited in the NE corner of the driveway and rotated 90°, with a 2-car Carport and attached adobe storage shed.
3. **Living Room & Kitchen.** Increase the roof height in the living room / kitchen with a stepped design to provide greater southern exposure. Replace the N and S facades with new glazing and a rebuilt S portal.
4. **N Bed/Bath Suite** (originally the woodshop). A small new addition to the bathroom and roof height increase in the bedroom with new N glazing and a new N patio.
5. **Solar panels.** Non-publicly visible solar panels to be placed on roofs of the SE studio, NE bedroom and N bed/bath suite.

Greater details of the proposed renovations are as follows:

NOTE: all color swatches shown in section below

1. Entrance *Remodel*

- Modification of fence lines and rock wall to clarify entrance to the home and expand front garden
 - Demolish Eastern half of fence line
 - New fence line to match existing, in pine fence boards running N/S from SE corner of living room to existing fence line, 79'-6" long, 6' tall
 - Color: Stained pine fencing in Diamond Vogel Gray Green GS225 (to match existing)
 - E portion of existing fence replaced with E/W run of wire deer fencing, 47'-6" long, 6' tall
- New trellised portal in pine (to replace existing S portico) 23' 2" W x 8' H
 - Color: Diamond Vogel Natural Tone Cedar AG8343 (to match existing)

2. Carport & Storage Shed *New Construction*

- 264 sf stuccoed adobe storage shed
 - Color: Stucco - El Rey Colonial White stucco (to match existing)
- Roof: 866 SF, Top of Roof 10'-10"
 - Continuous Tan TPO flat roof over shed and wood structure carport
 - Color: Doors & wood Diamond Vogel Natural Tone Cedar AG8343
- New 6' diameter corrugated galvanized steel rainwater tank to collect roof runoff

3. Living Room & Kitchen *Remodel*

- New raised stepped roof lines
 - Southern portion: 570 SF; Top of New Roof Max 12'-0"; max +2' 8" to original
 - Northern "lantern" with N & S clerestories: 580 SF; Top of Roof Max Height 15'-8"; +6'8" to original
 - N clerestories: 22' x 1'10" as 4x wood clad awnings
 - S clerestories: 22' x 2'0" as 4x wood clad awnings
 - Color: Diamond Vogel Natural Tone Cedar AG8343
 - New stucco'ed chimney: Top of Chimney 17'-8"; +6'8" to original
 - Color: El Rey Colonial White stucco (to match existing)
- New S & N glazing on main living space
 - S: 22' W x 10' H 4-panel Multislide doors, wood clad
 - S: 3' x 7'-5 1/2 " Swing door, wood clad
 - N: 7'H x 3' W door and 4' H x 10' W fixed pane over kitchen counter, wood clad
 - Divided Lites: to match existing proportions
 - Color: Wood clad in Diamond Vogel Natural Tone Cedar AG8343
- Rebuilt portal in pine: 131sf
 - Color: Wood clad in Diamond Vogel Natural Tone Cedar AG8343
- New S Patio 245sf in flagstone
- New N Patio 350sf in flagstone

4. N Bed/Bath Suite *Remodel & New Construction*

- New raised stepped roof lines
 - Southern portion: 544 SF; Top of New Roof Max 12'-0"; +2'-10 to original
 - Northern portion: 90 SF
- New N glazing 13'-8" W x 6'-10' H with 13' 8" x 1' 8" transom; wood clad
 - Color: Diamond Vogel Natural Tone Cedar AG8343
- New Bathroom Addition to the North
 - 130sf roofed area in tan TPO
 - 2x skylights
 - N: 8'8" x 3'6"
 - S: 3'6" x 5'3"
- New Patio 135sf in flagstone

5. Solar panels

- Up to 16x total panels each 6'6 x 4'1, *NOT PUBLICLY VISIBLE*
 - 6x on SE studio
 - 4x on NE bedroom
 - 6x on new N Bed/Bath Suite southern roof

2 Camino Pequeño
Exception Criteria for Section 14-5 (C) (5)

—
Daniel Strongwater, owner & applicant
2 March 2022

An exception is proposed to maintain the window & door glazing proportions of the home design at 2 Camino Pequeno:

1 Do not damage the character of the district

The proposed windows/doors reference the proportions of the original home which features long slung horizontally skewed lite divisions. By harmonizing with the existing house, it reinforces the home's unique contribution to the neighborhood with its 1960s modernist take on Santa Fe Style. The board has previously found referenced this: Member Biedscheid in the August 2015 hearing "it is important to preserve styles from the 1960's and preserving or retaining a rare example of such diversity only enhances what we refer to as Santa Fe Style and highlights the difference with traditional styles"

2 Are required to prevent a hardship to the applicant or an injury to the public welfare; and

To meet the 30" diagonal requirement, either additional lite divisions or significantly shrinking the glazing would be required. Additional divisions completely alter the unique aesthetic proportions of the home. Shrinking the glazing would compromise the solar gain this design relies on for a reduction in environmental impact and occupant comfort. Referencing multiple previous cases, applicants understood these lite divisions to be acceptable, and propose a design harmonious to the original home.

3 Strengthen the unique heterogenous character of the City by providing a full range of design options to ensure that residents can continue to reside within the Historic Districts.

The proposed window/door lite division proportions will blend well with the original Mid Century Ranch aesthetic of the home which honors the distinctive variation on traditional Santa Fe Style in the neighborhood.

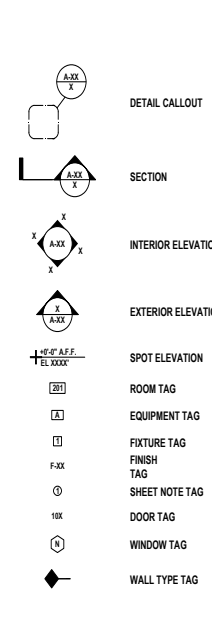
GENERAL NOTES

- ALL MATERIALS AND WORK SHALL CONFORM TO ALL GOVERNING CODES, REGULATIONS, AND AGENCIES.
- CONTRACTOR SHALL COORDINATE AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS OR GUIDELINES FROM GOVERNING REGULATORY AGENCIES BEFORE PROCEEDING WITH ANY ITEMS OF WORK UNDER OR WITHIN SUCH JURISDICTIONS(S).
- CONTRACTOR SHALL PROVIDE PUBLIC PROTECTIONS NECESSARY PER ALL APPLICABLE CODES.
- THE DRAWINGS, AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS, FIELD ORDERS, OR CHANGE ORDERS ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS
- CONSULT WITH ARCHITECT REGARDING CLARIFICATIONS. VERIFY LOCATION OF ALL EQUIPMENT WITH ARCHITECT, PRIOR TO INSTALLATION.
- THE EXISTING PLAN IS DOCUMENTED ON THE DRAWINGS IN ACCORDANCE WITH A LIMITED NUMBER OF AVAILABLE ORIGINAL CONSTRUCTION DRAWINGS AND FIELD INVESTIGATIONS. VARIANCE OF ACTUAL EXISTING CONDITIONS FROM THOSE ILLUSTRATED ON THESE DOCUMENTS MAY OCCUR. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE OWNER AND ARCHITECT.
- WORK INDICATED AS "NOT IN CONTRACT," "N.I.C.," OR "BY OTHERS" SHALL BE PERFORMED BY OWNER'S SEPARATE CONTRACTOR. CONTRACTOR TO COORDINATE WITH OWNER AND COOPERATE IN COMPLETION OF SEPARATE CONTRACTS.
- ALL EXISTING STRUCTURAL CONDITIONS SHALL BE VISUALLY FIELD VERIFIED. ANY CONFLICTS WITH THE DRAWINGS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
- TO ESTABLISH THE COMPLETE SCOPE OF ITS WORK AND TO AFFECT CLOSE COORDINATION WITH THE OTHER TRADES, EACH TRADE SHALL COMPLETELY REVIEW THE PLANS AND SPECIFICATIONS, NOT ONLY FOR ITS RESPECTIVE TRADES BUT FOR THE WORK OF OTHER RELATED TRADES AS WELL.
- AT ALL PENETRATIONS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND / OR FIRESTOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING
- REFER TO FINISH SCHEDULES AND COLOR LISTS FOR WALL FINISH DESIGNATIONS.
- ALL LISTED METAL STUD DIMENSIONS, GAGE & THICKNESS ARE MINIMUMS AND ARE PROVIDED AS BASIS OF DESIGN. CONTRACTOR TO VERIFY & SUBMIT FINAL PROPOSED DESIGN
- JUNCTION BOXES LOCATED ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A MIN. HORIZONTAL DISTANCE OF 24".
- ALL PENETRATIONS AND OPENINGS IN RATED WALLS, CEILINGS AND FLOORS SHALL MEET THE ASSEMBLY FIRE RATINGS.
- WALL TYPES WITH UL DESIGN NO.'S SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- VERIFY SIZE, LOCATION, FINISH, FIRE-RATING, ETC. AND PROVIDE AND INSTALL ALL REQUIRED OPENINGS THROUGH FLOORS AND WALLS. ACCESS DOORS, FURRING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BASES AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.
- REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CATEGORIES OR DRAWINGS FOR ADDITIONAL NOTES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.
- LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.
- WHERE A DOOR IS LOCATED NEAR CORNER OF ROOM AND IS NOT LOCATED BY DIMENSION ON PLAN OR DETAILS, DIMENSION SHALL BE 3" FROM FACE OF STUD (WALL) TO FACE OF ROUGH OPENING.
- REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE.
- UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO FINISH FACE OF WALLS AND/OR CEILINGS
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE CONTRACTOR FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

ABBREVIATIONS

ABV. ADJ. ALUM. ANDZ. ATT. @	ADJUCE ABOVE FINISH FLOOR	JT. JOINT	LEV. LOC. MAX. MECH. MEMB. MANUFACTURER MIN. MISCD. MOUNTED MTL. MOD. N1 C NO. (N) NEW
BETW. BHND. BLNG. BLW. BM. BSM.T.	BETWEEN BEHIND BLOCKING BELOW BEAM BASEMENT	MFR. MIN. MISCD. MOUNTED MTL. MOD. NOT IN CONTRACT NUMBER	OPNG. ON CENTER OPENING OPPOSITE
C. CEM. CL. CL. CL. CL. CMU. COL. CON. CONST. CONT.	CHANNEL CEMENT CONTROL JOINT CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONSTRUCTION CONTINUOUS	PLT. PL. PLAS. PLAM. PL. WYD. PTD. RAD. REF. RES. RESIL. REQ'D	OC. ON CENTER OPENING OPPOSITE
DBL. DIM. DN. DR. DTL. DWG.	DOUBLE DIMENSION DOWN DOOR DRAWING	RM. R O S C SCHED. SECT. SHT. SIM. SS STRUC. SUSP.	ROOM ROUGH OPENING SOLID CORE SCHEDULE SECTION SHEET SIMILAR STAINLESS STEEL STRUCTURE SUSPENDED
EA. ELEC. EQ. EQUIP. EXP. EXT. (E)	EACH EXPANSION JOINT ELECTRICAL ELEVATOR EQUIPMENT EQUAL TO EQUIPMENT EXPANSION EXTERIOR EXISTING	THK. THRU T O TYP. VEN. VER. VIF	THICK THROUGH TOP OF TYPICAL VENEER VERIFY VERIFY IN FIELD
FFL. FLR. FLUR. FIN. F O S F O W FURR.	FINISHED FLOOR LEVEL FLOOR FLUORESCENT FINISH FACE OF STUD FACE OF WALL FURRING	WD. W P W R	WITH WOOD WATERPROOF WATER RESISTANT
GA. GALV. GLAZ. G1	GAUGE GALVANIZED GLAZING GALVANIZED IRON	H C H M HT. INS. INT.	HOLLOW CORE HOLLOW METAL HEIGHT INSULATION INTERIOR
GYP. BD.	GYPSUM BOARD		

GRAPHIC SYMBOLS



PROJECT DATA

PROJECT ADDRESS
2 CAMINO LIBRE
SANTA FE, NM 87501

OWNER
DANIEL STRONGWATER
HALLEY ROBERTS STRONGWATER

GENERAL CONTRACTOR
WILSON DESIGN AND CONSTRUCTION, LLC

PROJECT SCOPE
EXPANDED PARKING AREA
NEW BIKE GARAGE
NEW FENCING
INCREASE ROOF HEIGHT
NEW DOORS AND WINDOWS
REEROOF
NEW BATHROOM
INTERIOR REMODEL
DEMO PORTAL

ZONING

TYPE	R-5
LOT SIZE	35,661 SF
LOT AREA IN 1% FLOOD ZONE	11,986 SF
LOT AREA NOT IN FLOOD ZONE	23,675 SF
ALLOWABLE DENSITY	2 DWELLINGS MAX
HISTORIC ZONING	EASTSIDE HISTORIC DISTRICT
MAX ALLOWABLE BUILDING HEIGHT	15'-8"
MAX. EXISTING BUILDING HEIGHT	14'-0"
NEW MAX BUILDING HEIGHT	15'-8"

AREAS

HEATED AREA	
EXISTING HOUSE	2959 SF
NEW BATHROOM 1	134 SF
TOTAL HEATED	3093 SF
ROOFED AREA	
EXISTING ROOFED AREA	3553 SF
NEW CARPORT AND STORAGE ROOFED AREA	860 SF
NEW BATHROOM ROOF AREA	160 SF
NEW PORTAL ROOFED AREA	246 SF
DEMO ROOFED PORTAL AREA	100 SF
TOTAL NEW ROOFED AREA	1166 SF
TOTAL FINAL ROOFED AREA	4719 SF

LOT COVERAGE (40% MAX ALLOWED) 10%

2 CAMINO PEQUENO

SANTA FE, NM 87501

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Halley Roberts Strongwater
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T: (866) 371-5021

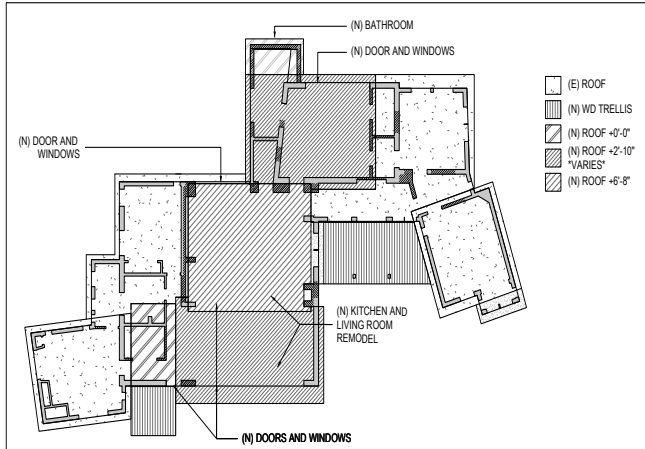
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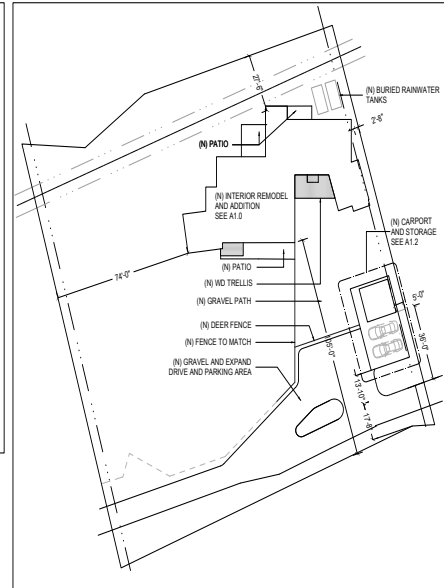
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(505) 983-7894

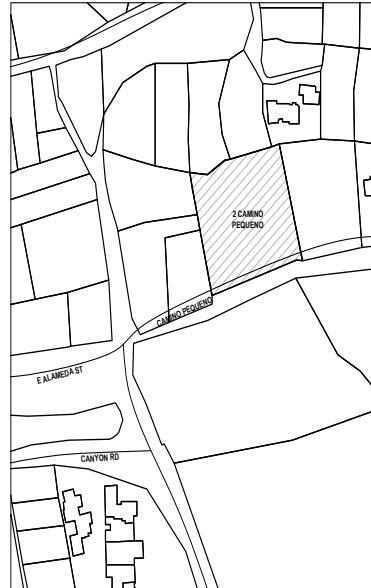
KEY FLOOR PLAN
N.T.S.



KEY SITE PLAN
N.T.S.



VICINITY PLAN
N.T.S.



SHEET INDEX

ARCHITECTURAL	
G1.0	TITLE
D1.0	DEMO SITE PLAN
D1.1	DEMO FLOOR PLAN
A0.0	EXISTING SITE PLAN
A0.1	SITE PLAN
A1.0	FLOOR PLAN
A1.1	ROOF PLAN
A1.2	GARAGE FLOOR PLAN AND ELEVATIONS
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A2.3	EXTERIOR ELEVATIONS
A2.4	WINDOW AND DOOR SCHEDULES
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS
A4.0	INTERIOR ELEVATIONS
A4.1	INTERIOR ELEVATIONS
A4.0	FINISH, FIXTURE AND LIGHTING SCHEDULES
S1.0	FOUNDATION PLANS
S1.1	FRAMING PLANS
S1.2	SECTIONS

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

NOT FOR CONSTRUCTION
STAMP

PROJECT NUMBER
20051

TITLE
TITLE PAGE

DRAWING NO.

GO.O

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FLOODPLAIN NOTES

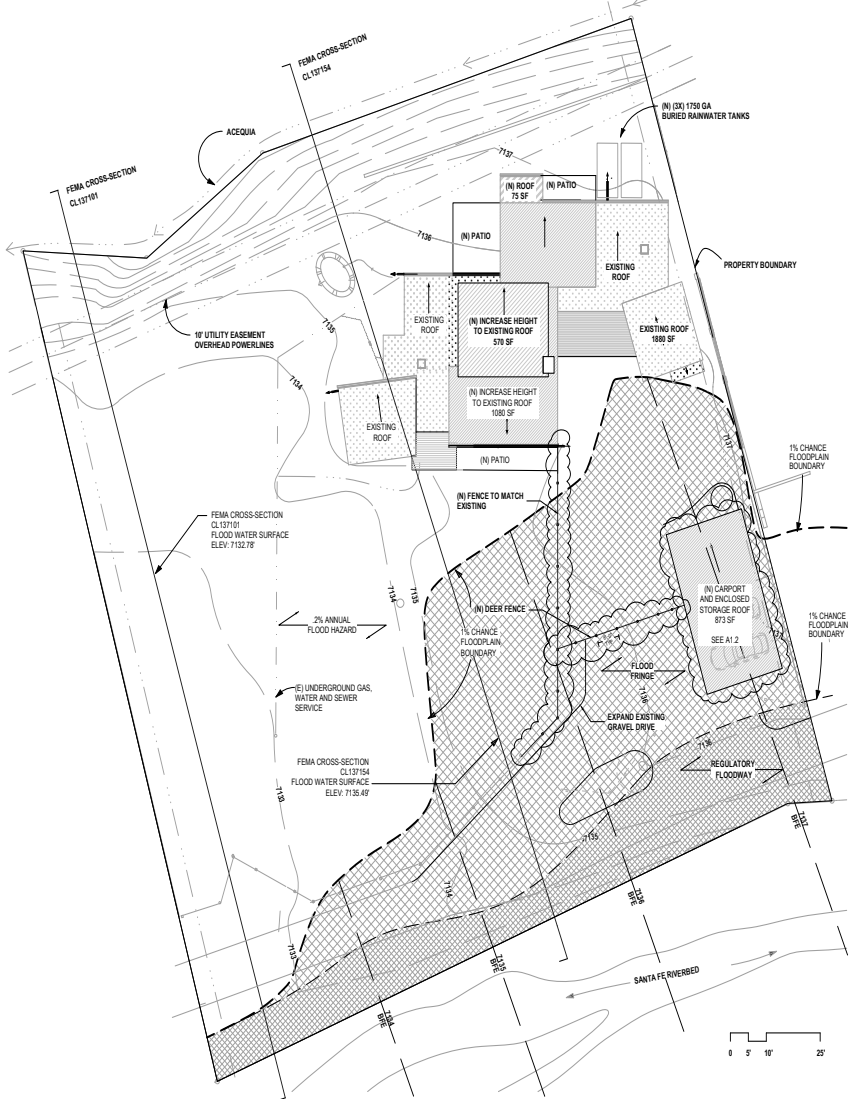
THE LIMITS OF THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN, 1% ANNUAL CHANCE (100-YEAR) FLOODWAY, AND THE 0.2% ANNUAL CHANCE (500-YEAR) FLOODPLAIN SHOWN ON THESE DRAWINGS ARE CONSISTENT WITH THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 35049C0416D, EFFECTIVE DATE JUNE 17, 2008 AND SUBSEQUENTLY REVISED BY LETTER OF MAP REVISION (LOMR), EFFECTIVE DATE NOVEMBER 22, 2010.

THE FOLLOWING FLOOD PLAIN STUDY IS INCORPORATED BY REFERENCE AND WAS USED TO SHOW THE 1% ANNUAL CHANCE (100-YEAR) BASE FLOOD ELEVATION ON THESE PLANS: SANTA FE RIVER FLOOD PLAN, PREPARED BY WALKER ENGINEERING, DATED 02/23/2009 (4 SHEETS). 1% ANNUAL CHANCE (100-YEAR) WATER SURFACE ELEVATIONS SHOWN ON THE CROSS SECTIONS LABELED CL137101, CL137154, AND CL137302 FROM THE STUDY BY WALKER ENGINEERING WERE USED TO DEPICT THE BASE FLOOD ELEVATIONS ON THIS PLAN.

EXISTING 1 FOOT CONTOURS PROVIDED BY PROPERTY OWNER.

ON DECEMBER 8, 2021, WILLIAM J. MILLER ENGINEERS, INC. (WJM ENGINEERS) STAFF COLLECTED SUPPLEMENTAL SURVEY DATA USING A TOTAL STATION INSTRUMENT FOR VERIFICATION OF EXISTING CONTOUR DATA SHOWN ON THESE DRAWINGS FOR THE LOCATIONS WHERE THE NEW FENCES, CARPORT AND STORAGE STRUCTURES ARE PROPOSED. WJM ENGINEERS UTILIZED FOR EXISTING CONTOUR DATA VERIFICATION A PROJECT DATUM BASED ON THE EXISTING FINISH FLOOR ELEVATION (7136.25) FOR THE STRUCTURE LOCATED AT THE SOUTHEASTERN CORNER OF THE HOME.

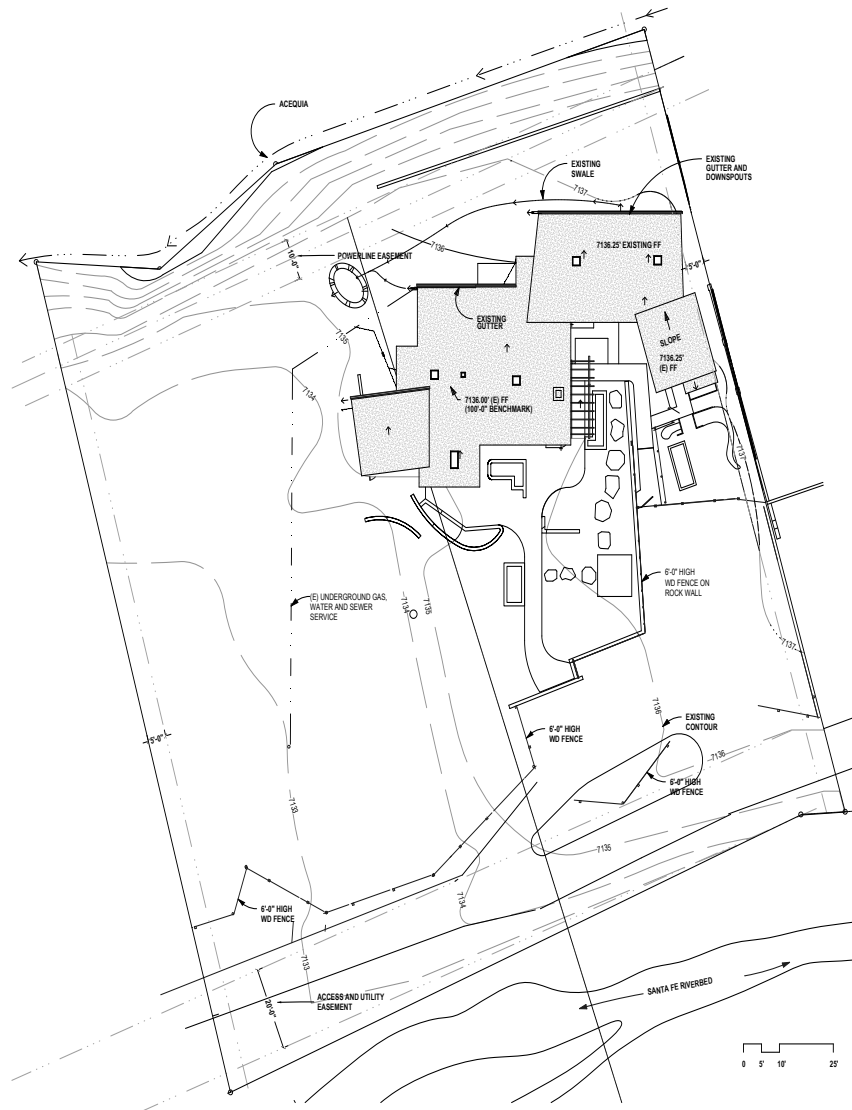
THE NEW FENCES, CARPORT AND STORAGE STRUCTURES PROPOSED FOR CONSTRUCTION AS SHOWN ON THESE DRAWINGS ARE TO BE LOCATED WITHIN THE FLOOD FRINGE OF THE FEMA ZONE AE SPECIAL FLOOD HAZARD AREA (SFHA) AND SHALL BE CONSTRUCTED IN COMPLIANCE WITH APPLICABLE ITEMS OF CITY OF SANTA FE CODE SUBSECTION 14-8.3 (F)(6).



01

TERRAIN MANAGEMENT PLAN

SCALE: 1/16" = 1'-0"



01

EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"

2 CAMINO PEQUENO

SANTA FE, NM 87501

OWNER

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PRINTING DATE

Historic Review 02/08/2022

Historic Review Update 03/04/2022

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20051

TITLE

EXISTING SITE AND TERRAIN MANAGEMENT PLAN

DRAWING NO.

A0.0

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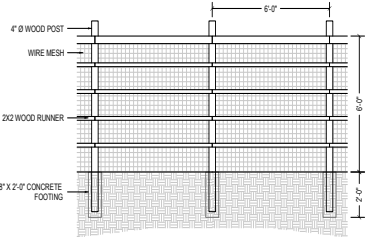
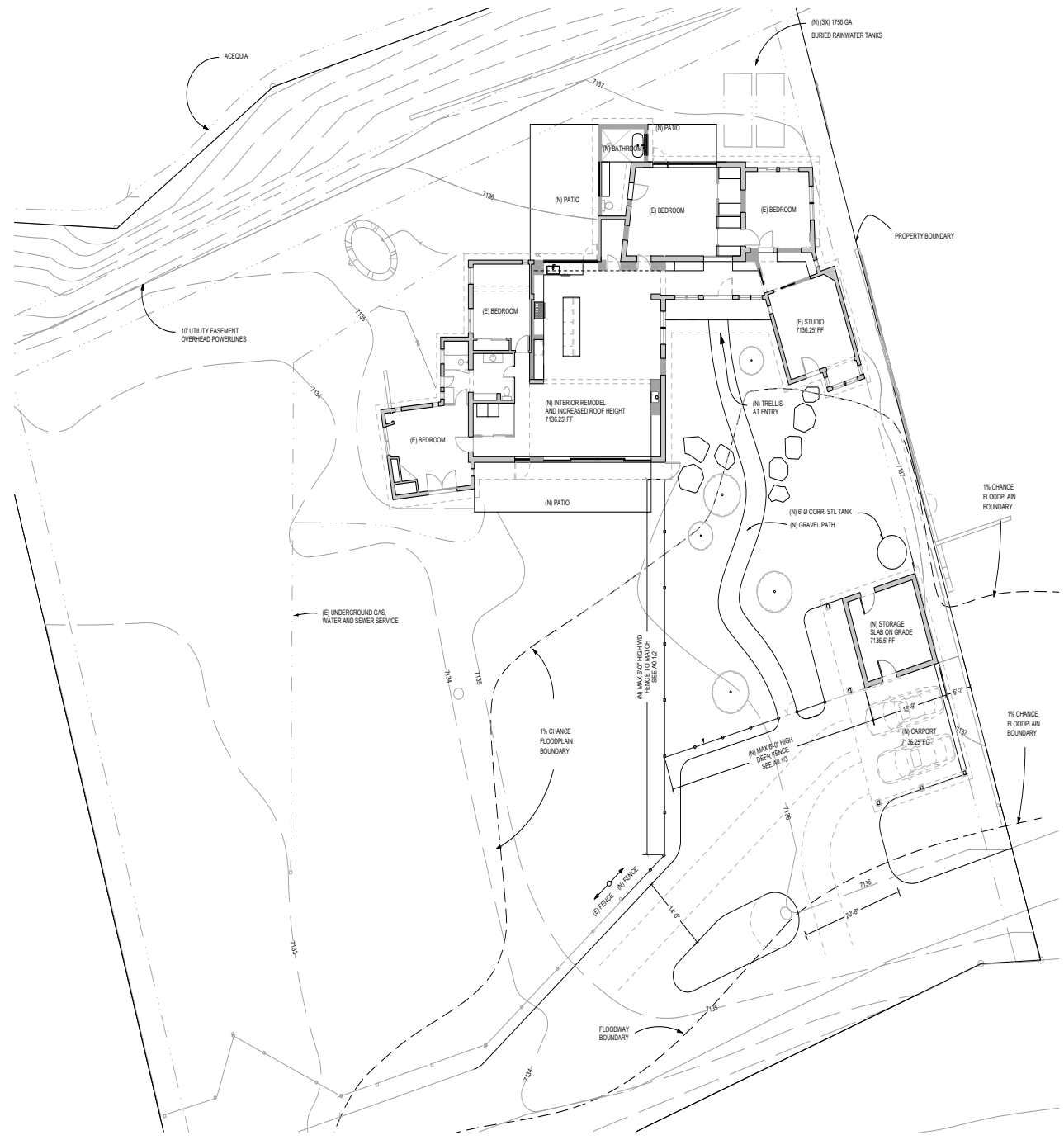
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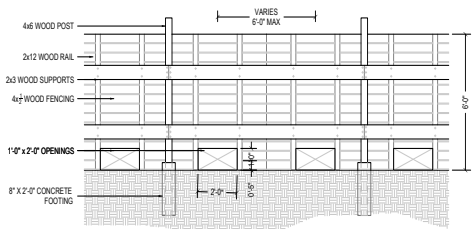
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AREAS	
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TOTAL FINAL ROOFED AREA	4719 SF



03 DEER FENCE
 SCALE: 3/8" = 1'-0"



02 FENCE TO MATCH EXISTING
 SCALE: 3/8" = 1'-0"

01 PROPOSED SITE PLAN
 SCALE: 1" = 10'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

NOT FOR CONSTRUCTION
 STAMP

PROJECT NUMBER
 20051
 TITLE
 PROPOSED
 SITE PLAN
 DRAWING NO.

A0.1
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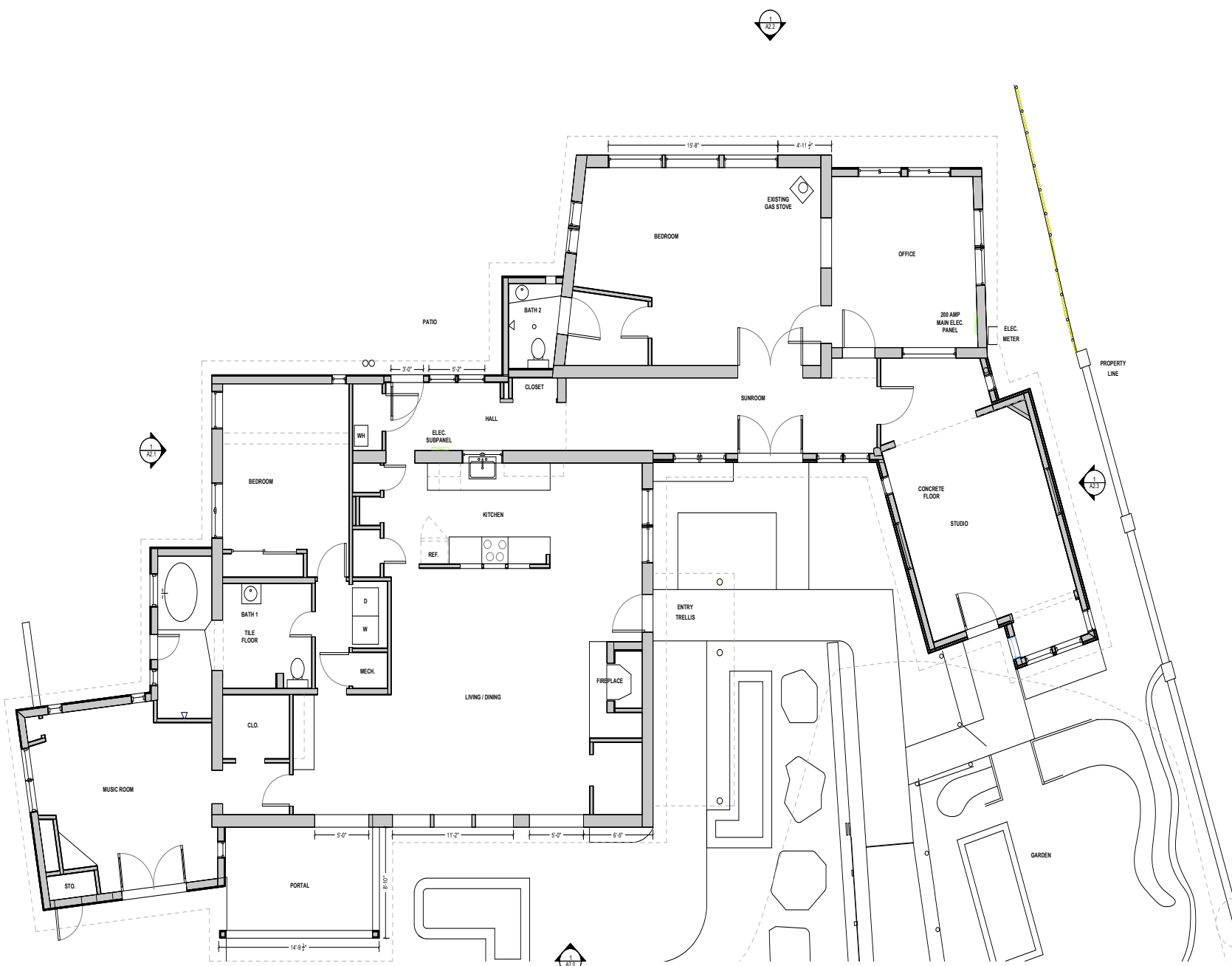
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PROJECT NUMBER
 20051

TITLE
 EXISTING
 FLOOR PLAN

DRAWING NO.

A1.0

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0 1 5 10 **01** EXISTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"

OWNER

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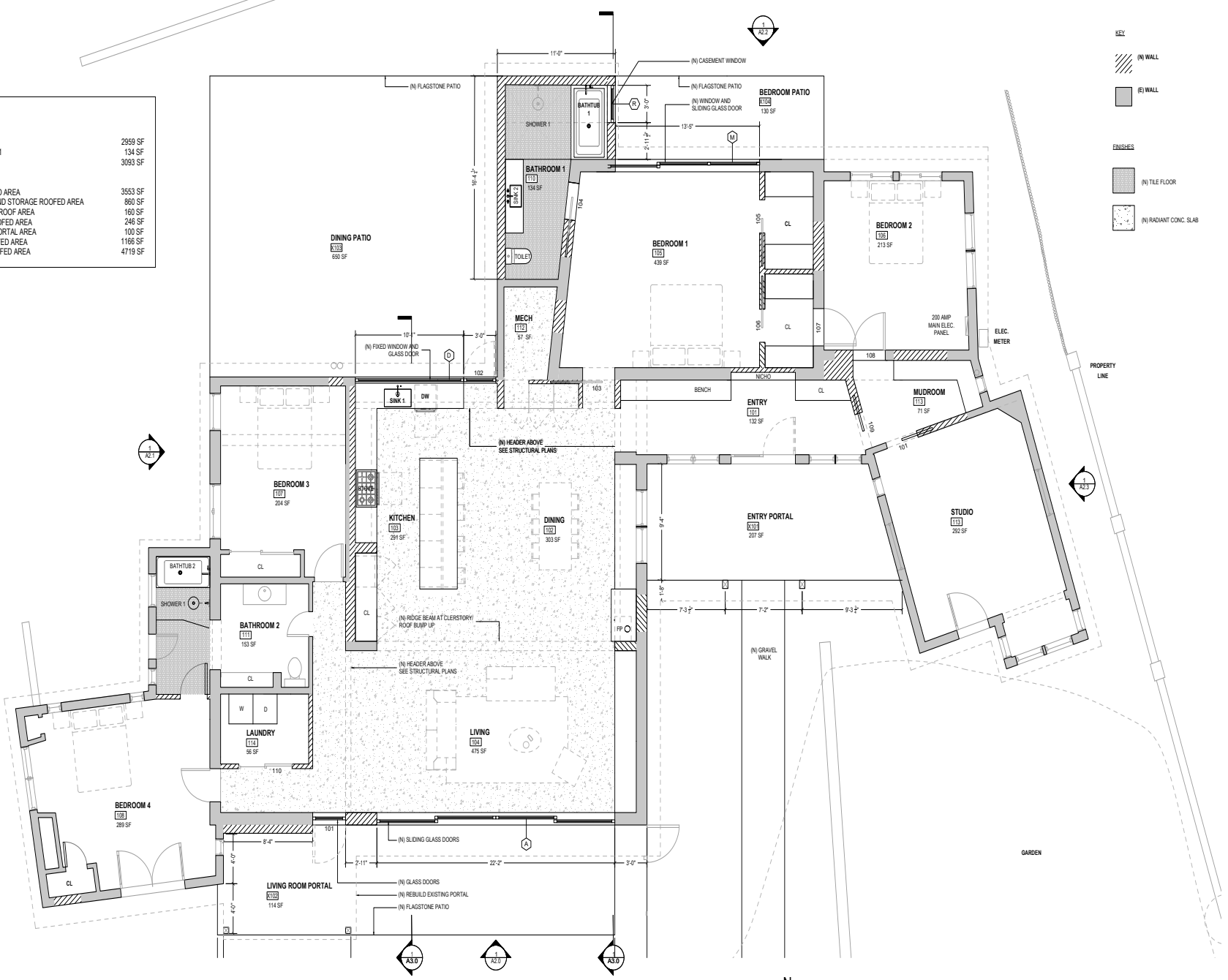
STRUCTURAL ENGINEER

William Druc, PE
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430 Apostola Hill St.
Santa Fe, NM 87501
T: (505) 883-4992

CIVIL ENGINEER

John Critchfield, PE, CFM
William J. Miller Engineers, Inc.
1511 Third Street
Santa Fe, NM 87505
(505) 883-7884

AREAS	
HEATED AREA	2959 SF
EXISTING HOUSE	134 SF
NEW BATHROOM 1	134 SF
TOTAL HEATED	3093 SF
ROOFED AREA	
EXISTING ROOFED AREA	3553 SF
NEW CARPORT AND STORAGE ROOFED AREA	860 SF
NEW BATHROOM ROOF AREA	160 SF
NEW PORTAL ROOFED AREA	246 SF
DEMO ROOFED PORTAL AREA	100 SF
TOTAL NEW ROOFED AREA	1166 SF
TOTAL FINAL ROOFED AREA	4719 SF



- KEY
- (N) WALL
 - (E) WALL
 - (N) TILE FLOOR
 - (N) RADIANT CONC. SLAB

N
01 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

NOT FOR CONSTRUCTION
STAMP

PROJECT NUMBER
20051
TITLE
PROPOSED FLOOR PLAN
DRAWING NO.

A1.0
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OWNER

Daniel Strongwater
 Halley Roberts Strongwater
 806 Don Gaspar Ave,
 Santa Fe, NM
 T: (860) 371-6021

DESIGNER

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 500 St Marks Ave, Apt 508
 Brooklyn, NY 11238
 T: (595) 603-6621

GENERAL CONTRACTOR

Peter Wilson
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 Santa Fe, NM 87506
 T: (505) 670-3995




STRUCTURAL ENGINEER

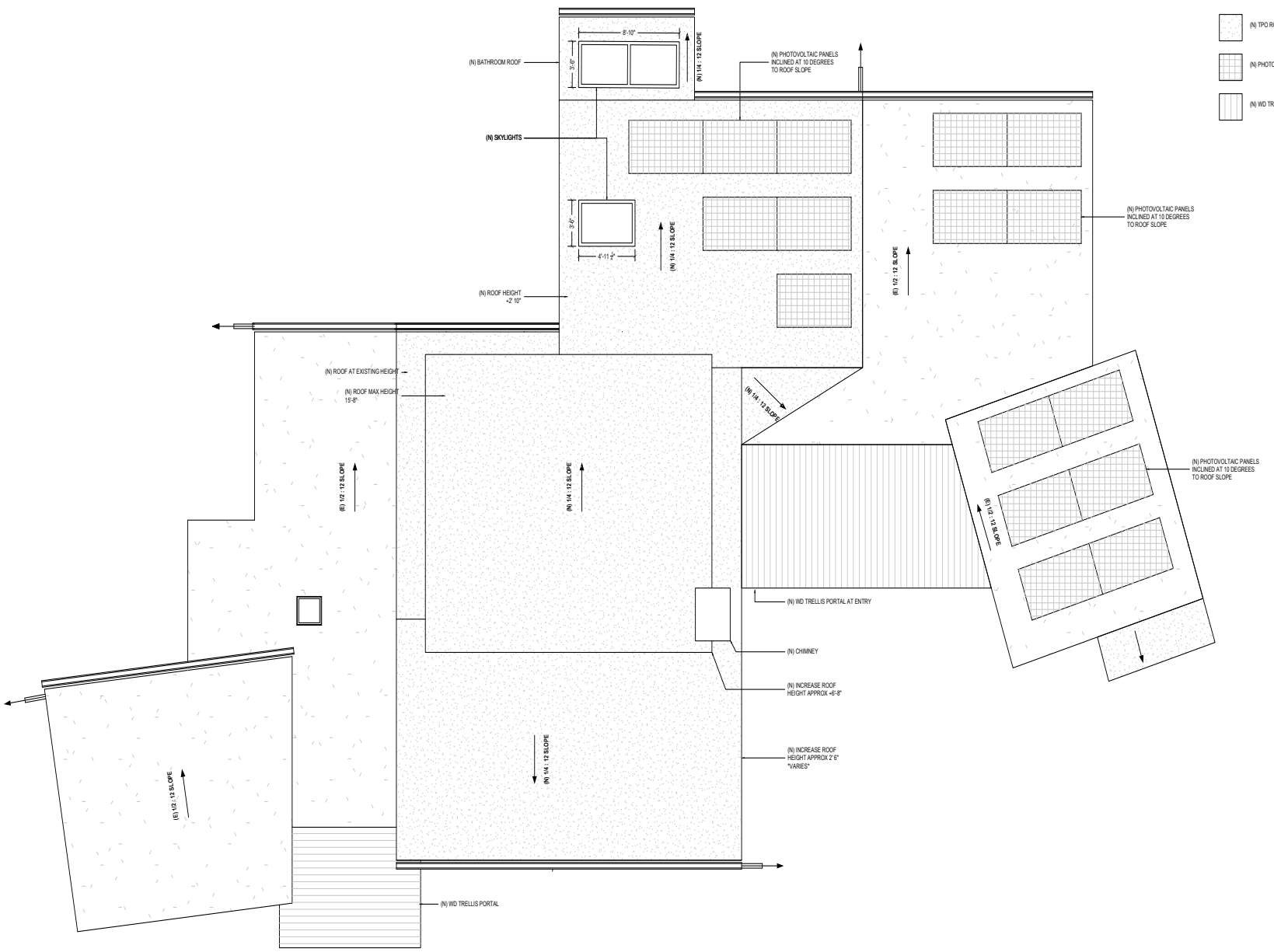
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CIVIL ENGINEER

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 (505) 883-7894

KEY

-  (N) TPO ROOF
-  (N) PHOTOVOLTAIC PANEL
-  (N) WD TRELLIS



01 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

NOT FOR CONSTRUCTION
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PROJECT NUMBER
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 PROPOSED ROOF PLAN
 DRAWING NO.

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STRUCTURAL ENGINEER

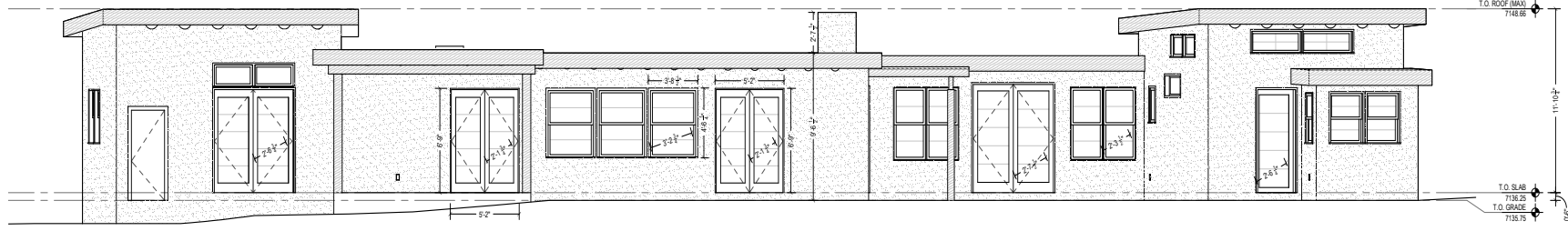
William Druc, PE
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 T: (505) 883-4992

CIVIL ENGINEER

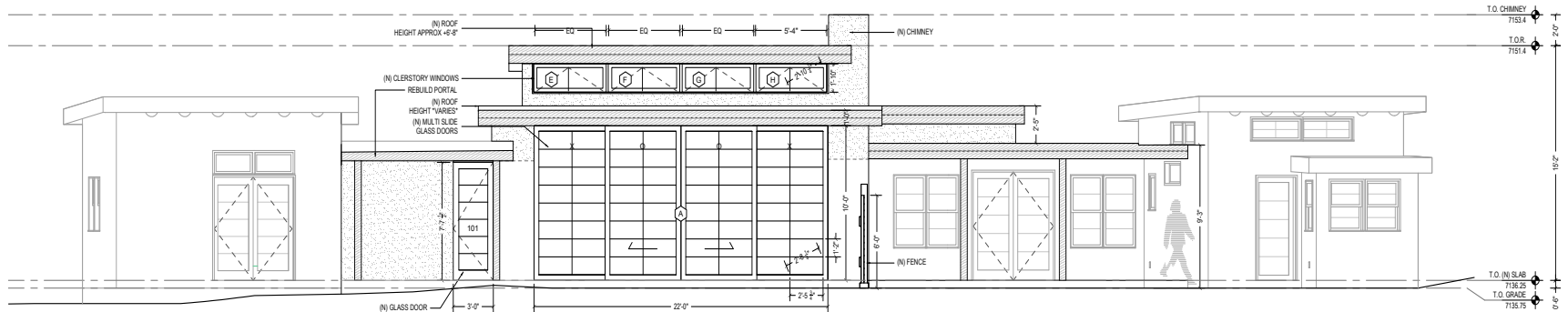
John Critchfield, PE, CFM
 William J. Miller Engineers, Inc.
 1511 Third Street
 Santa Fe, NM 87505
 (505) 883-7894

EXTERIOR FINISHES

-  (N) 3 COAT STUCCO
EL REY COLONIAL WHITE
-  (N) WOOD FASCIA
DIAMOND VOISEL SEMI-
TRANSPARENT GRAY STAIN IN
NATURAL TONE CEDAR



02 EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



01 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

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PROJECT NUMBER
 20051
 TITLE
 SOUTH ELEVATION

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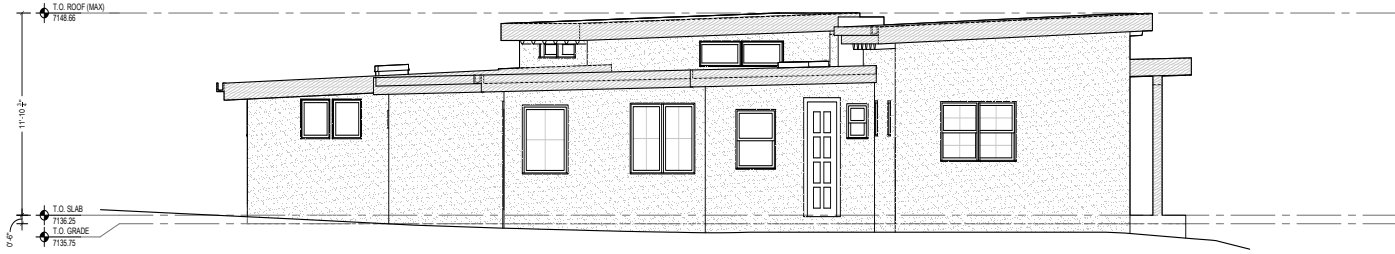
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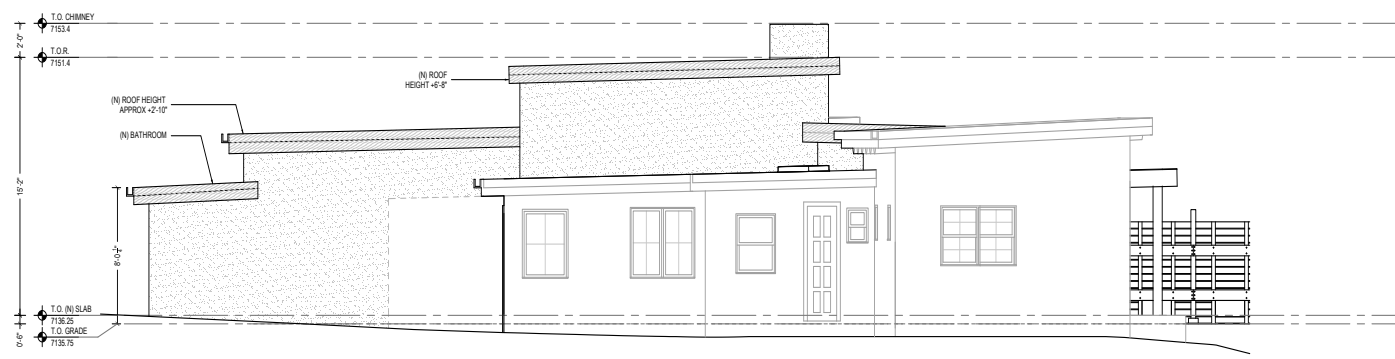
CIVIL ENGINEER
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 William J. Miller Engineers, Inc.
 1511 Third Street
 Santa Fe, NM 87505
 (505) 883-7894

EXTERIOR FINISHES

-  (N) 3 COAT STUCCO
EL REY COLONIAL WHITE
-  (N) WOOD FASCIA
DIAMOND VOISEL SEMI-
TRANSPARENT GRAY STAIN IN
NATURAL TONE CEDAR



02 EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"



01 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

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PROJECT NUMBER
 20051

TITLE
 WEST ELEVATION

DRAWING NO.
A2.1

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STRUCTURAL ENGINEER

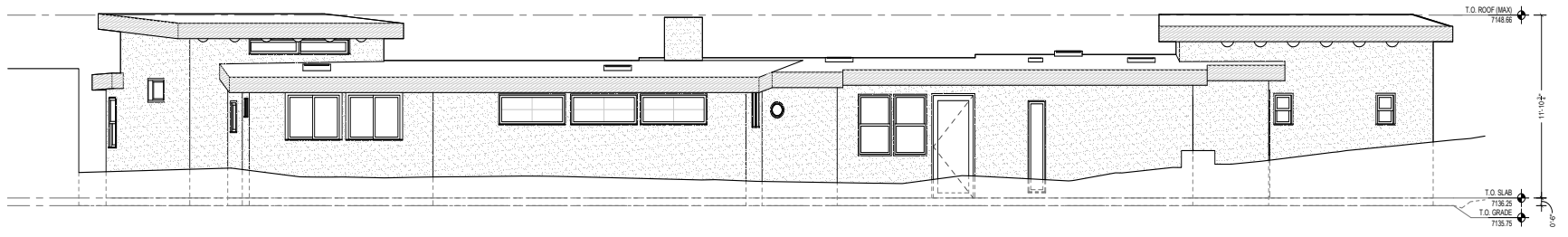
William Druc, PE
 Druc Engineering
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CIVIL ENGINEER

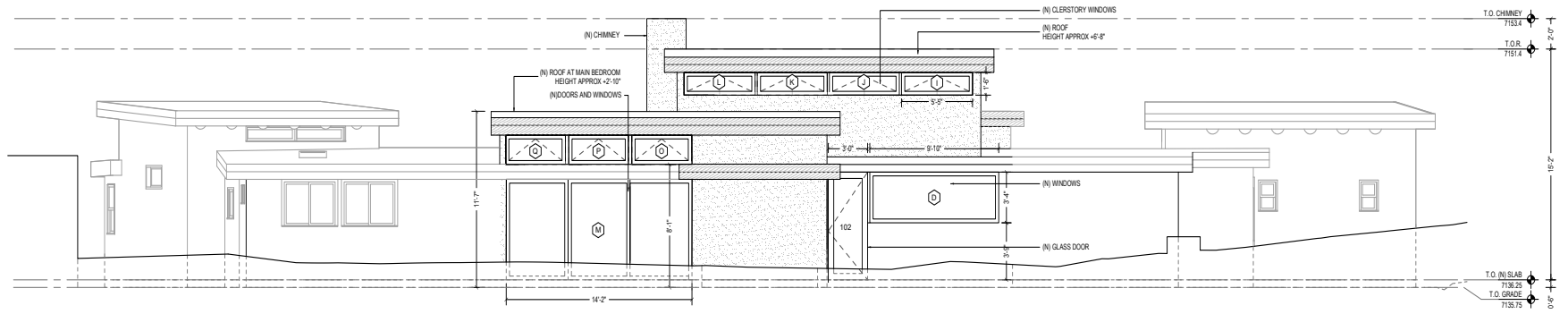
John Critchfield, PE, CFM
 William J. Miller Engineers, Inc.
 1511 Third Street
 Santa Fe, NM 87505
 (505) 883-7894

EXTERIOR FINISHES

- (N) 3 COAT STUCCO
 EL REY COLONIAL WHITE
- (N) WOOD FACIA
 DIAMOND VOGEL SEMI-
 TRANSPARENT GRAN STAIN IN
 NATURAL TONE CEDAR



02 EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



01 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

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PROJECT NUMBER
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 TITLE
 NORTH ELEVATION

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STRUCTURAL ENGINEER

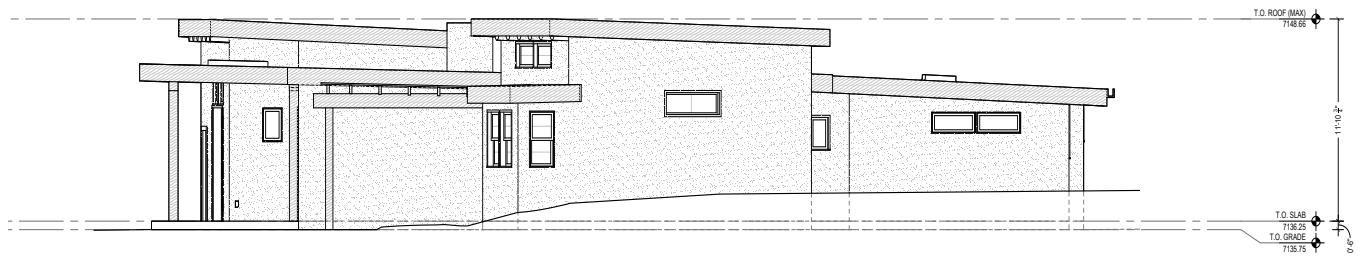
William Druc, PE
 Druc Engineering
 430 Apolonia Hill St,
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 T: (505) 883-4992

CIVIL ENGINEER

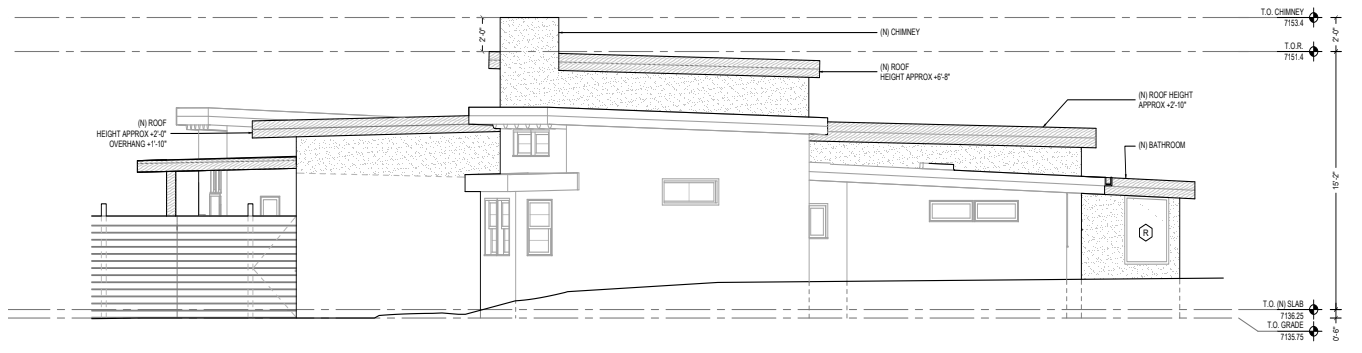
John Critchfield, PE, CFM
 William J. Miller Engineers, Inc.
 1511 Third Street
 Santa Fe, NM 87505
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EXTERIOR FINISHES

- (N) 3 COAT STUCCO
 EL REY COLONIAL WHITE
- (N) WOOD FACIA
 DIAMOND VOISEL SEMI-
 TRANSPARENT GRAY STAIN IN
 NATURAL TONE CEDAR



02 EXISTING EAST ELEVATION
 SCALE: 1/4" = 1'-0"



01 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

PRINTING	DATE
Historic Review	02/08/2022
Historic Review Update	03/04/2022

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PROJECT NUMBER
 20051
 TITLE
 EAST ELEVATION
 DRAWING NO.

OWNER

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GENERAL CONTRACTOR

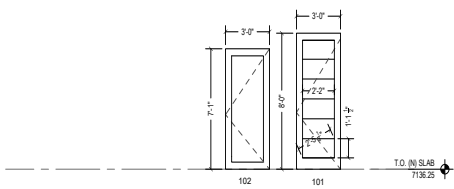
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STRUCTURAL ENGINEER

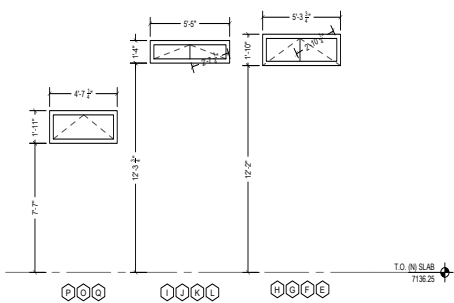
William Druc, PE
Druc Engineering
430 Apolonia Hill St,
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CIVIL ENGINEER

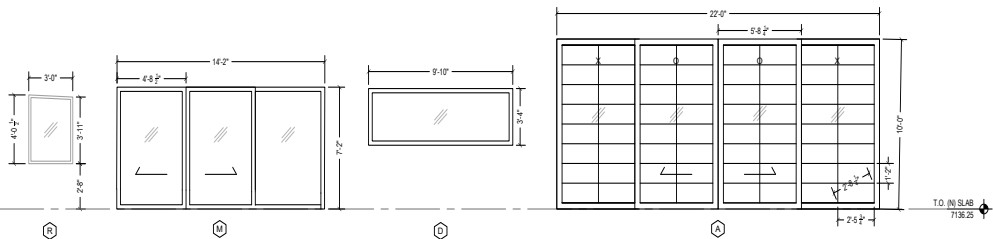
John Critchfield, PE, CFM
William J. Miller Engineers, Inc.
1511 Third Street
Santa Fe, NM 87505
(505) 883-7894



T.O. IN SLAB
7136.25



T.O. IN SLAB
7136.25



T.O. IN SLAB
7136.25

PROPOSED DOOR SCHEDULE

KEY	LOCATION	WIDTH	HEIGHT	TYPE	GLAZING	FRAME	INT FINISH	EXT FINISH	MFGR	GLASS	U-FACTOR	SCREEN	NOTES
101	LIVING ROOM-104	3' 0"	8' 0"	MULTI SLIDE	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	DIV. LITES AD INDICATED
102	KITCHEN-103	3' 0"	7' 1"	MULTI SLIDE	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	NONE

PROPOSED WINDOW SCHEDULE

KEY	LOCATION	WIDTH	HEIGHT	TYPE	GLAZING	FRAME	INT FINISH	EXT FINISH	MFGR	GLASS	U-FACTOR	SCREEN	NOTES
A	LIVING ROOM-104	22' 0"	10' 0"	MULTI SLIDE	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	DIV. LITES AD INDICATED
D	KITCHEN-103	9' 10"	3' 4"	FIXED	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	NONE
M	BEDROOM-105	14' 2"	7' 2"	MULTI SLIDE	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	NONE
R	BATHROOM-110	3' 0"	3' 11"	FIXED	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	NONE
E, F, G, H	LIVING ROOM-104	5' 3 1/2"	1' 10"	AWNING	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	DIV. LITES AD INDICATED
L, K, J, I	KITCHEN-103	5' 3 1/2"	1' 4"	AWNING	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	DIV. LITES AD INDICATED
Q, O, P	BEDROOM-105	4' 7"	2' 0"	AWNING	DOUBLE	WOOD	WOOD	WOOD	TBD	LOW-E	0.33	INTERIOR	NONE

PRINTING DATE

Historic Review 02/08/2022
Historic Review Update 03/04/2022

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STAMP

PROJECT NUMBER
20051

TITLE
WINDOW AND
DOOR SCHEDULE
DRAWING NO.

A2.4











Colors



FENCING

Diamond Vogel Semi-Transparent
Grain Stain in Gray Green GS225



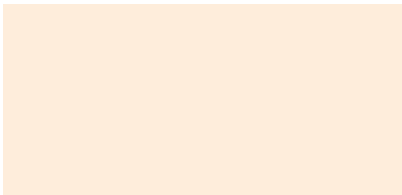
TRIM, DOORS & WINDOWS

Diamond Vogel Semi-Transparent
Grain Stain in Natural Tone Cedar
AG8343



STUCCO

El Rey Stucco in
Colonial White



ROOFING

TPO Roofing in Tan



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004876--HDRB

Project Description:

Project Location(s): 1149 CAMINO SAN ACACIO
Santa Fe, NM 87505

Contacts:

Applicant: WILL MCDONALD
488 ARROYO TENORIO C
Santa Fe, NM 87505

wm44@icloud.com

Property Owner: WILLIAM JOHNSON
1149 CAMINO SAN ACACIO
SANTA FE, NM 87505

EMAIL2BILL@GMAIL.COM

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2022-004876-HDRB

Address: 1149 Camino san Acacio
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1149 Camino San Acacio is a single-family residence listed as contributing to the Downtown and Eastside Historic District. It was begun in the 1940s in a Spanish Pueblo Revival Style. In 2017, the Board designated the north, west and south façades primary.

Now, the applicant proposes the following exterior alterations:

- 1) Construct a 106 square foot portal over the front (north) entry door. The wood will be stained with Cabot Cordovan Brown. Stucco will be El Rey “Adobe”.
 - a. An exception to Section 14-5.2(D)(2)(c) is requested to construct on a primary façade.
- 2) Replace the non-historic door with a custom door and widen the opening from 32 to 36 inches, and add a sidelight
 - a. An exception to Section 14-5.2(D)(1)(a) is requested to remove historic material.
- 3) Enclose the existing walkway on the east end of the north façade
 - a. An exception to Section 14-5.2(D)(2)(c) is requested to construct on a primary façade.
- 4) Replace windows on a non-historic façade. These will be aluminum clad wood windows colored blue to match the existing windows.
- 5) Re-roof using spray foam roofing;

EXCEPTION CRITERIA AND RESPONSES:

Exception to Section 14-5.2(D)(2)(c) is requested to construct on a primary façade.

- (i) Do not damage the character of the district;

Applicant Response: This portal will be similar to the portal on the west side of the house and will not be publicly visible.

Staff Response: Staff agrees with the applicant response. It will not damage the district or endanger the status to construct this small portal.

- (ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;

Applicant Response:

A portal at the entry of a house is a standard home feature providing protection from weather for the door and for people entering the house.

Staff Response: Staff agrees with the applicant response.

- (iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response: This portal will add to the beauty and functionality of the house adding character to the drab entrance.

Staff Response: Staff agrees with the applicant response. There is no other option to provide protection to this entry.

New Front Door

(i) Do not damage the character of the district;

Applicant Response:

This non-publicly visible door will add character to the house and not detract from the character of the district. The existing door is a 32" standard Home Depot door. The new door will be custom.

Staff Response: Staff agrees with the applicant response.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;

Applicant Response:

The existing door is a 32" standard Home Depot door and is not the code required 36". The new door will be custom, well built and weather tight. The existing door is a functional and aesthetic hardship.

Staff Response: Staff agrees with the applicant response.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response:

The new door contributes to the heterogeneous character of the city by adding beauty and is a benefit to the owners with its functionality.

Staff Response: Staff agrees with the applicant response. There is no alternative design to a door with proper dimensions.

Enclosure of Existing Walkway

(i) Do not damage the character of the district;

Applicant Response:

This façade is not publicly visible and the east end where this walkway is a shabby part of the existing building

Staff Response: Staff agrees with the applicant response. This is on the very periphery of the primary façade and will be an asset to the structure.

(ii) Are required to prevent a hardship to the applicant or an injury to the public welfare;

Applicant Response:

The roof in this area is makeshift and failing. Filling in this area allows the bedroom to have a functional closet.

Staff Response: Staff agrees with the applicant response.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant Response:

Cleaning up this poorly constructed part of the building will contribute to the character of this building and thereby the city. This façade will be more harmonious as a result.

Staff Response: Staff agrees with the applicant response. This is the best option to add on to this house on which 3 of 4 façades are primary.



February 7, 2022

Daniel Schwab
Historic Review
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504

RE: HDRB Application
1149 Camino San Acacio

505 930-1149
will.wfd@gmail.com
488c Arroyo Tenorio
Santa Fe New Mexico
87505

Daniel

Attached are an application and associated documents for review by the Historic Design Review Board on Tuesday, March 8, 2022.

This compound was constructed over time from the 1940's through the 1980's. It is of traditional Santa Fe pueblo style. The attached board action letter from the 2017 status review shows the various buildings, their status and primary façades assigned at that time. The main house is designated Building A in that letter and is contributing.

We propose these modifications to the main house:

- Re-roof with using spray foam roofing
- 106 square foot portal over the front entry door
- Replace the existing 32" front door with a 36" door and sidelight
- Enclose the existing walkway at the east end of the north façade
- Add parapet at breezeway roof on south elevation
- Replace windows in breezeway

Because the north façade is primary we are requesting exceptions for the portal, door and enclosure of the walkway. See attached exception criteria.

New windows to be clad wood windows matching blue of existing windows. New windows to be clad with color to match. Stucco to match existing on main house assumed to be El Rey "Adobe". Exposed exterior wood to be stained with Cabot Cordovan Brown. Exterior finish colors are included in the application.

I believe that this letter, in conjunction with the attached application, provides a thorough description of the proposed project. Please feel free to call or email me with any questions or comments about it. I will be representing the project at the HDRB on behalf of the owner.

Sincerely,

A handwritten signature in black ink, appearing to read "Will McDonald", written in a cursive style.

Will McDonald

Exception Criteria for 1149 Camino San Acacio

Modifications to north façade of main house, building A

Portal

(i) Do not damage the character of the district;

This portal will be similar to the portal on the west side of the house and will not be publicly visible

(ii) Are required to prevent a hardship to the *applicant* or an injury to the public welfare;

A portal at the entry of a house is a standard home feature providing protection from weather for the door and for people entering the house.

(iii) Strengthen the unique heterogeneous character of the *City* by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

This portal will add to the beauty and functionality of the house adding character to the drab entrance.

New Front Door

(i) Do not damage the character of the district;

This non-publicly visible door will add character to the house and not detract from the character of the district. The existing door is a 32" standard Home Depot door. The new door will be custom.

(ii) Are required to prevent a hardship to the *applicant* or an injury to the public welfare;

The existing door is a 32" standard Home Depot door and is not the code required 36". The new door will be custom, well built and weather tight. The existing door is a functional and aesthetic hardship.

(iii) Strengthen the unique heterogeneous character of the *City* by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

The new door contributes to the heterogeneous character of the city by adding beauty and is a benefit to the owners with it functionality.

Enclosure of Existing Walkway

(i) Do not damage the character of the district;

This façade is not publicly visible and the east end where this walkway is a shabby part of the existing building

(ii) Are required to prevent a hardship to the *applicant* or an injury to the public welfare;

The roof in this area is makeshift and failing. Filling in this area allows the bedroom to have functional closet.

(iii) Strengthen the unique heterogeneous character of the *City* by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Cleaning up this poorly constructed part of the building will contribute to the character of this building and thereby the city. This façade will be more harmonious as a result.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:

Date Submitted: 2/4/22
 Property Owner of Record: Johnson Compound LLC
 Applicant/Agent Name: Will McDonald
 Contact Person Phone Number: (505) 930-1149

Site Address:

1149 Camino San Acacio

Zoning District: R-5
 Overlay: Escarpment _____
 Flood Zone*
 Other: _____

Submittals Reviewed with PZR:

- Legal Lot of Record Development Plan Building Plans
 Existing Site Plan Proposed Site Plan Elevations

Supplemental Zoning Submittals Required for Building Permit:

- Zero Lot Line Affidavit

Access and Visibility: Arterial or Collector**
 Visibility Triangle Required

Use of Structure: Residential
 Commercial Type of Use: _____

Terrain: 30% slopes _____

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

Proposed Construction Description:

New portal, enclose covered walkway

TOTAL ROOF AREA: 3581

Lot Coverage: 26 %
 Open Space Required: _____

Setbacks: NO CHANGE
 Proposed Front: _____ Minimum: _____
 2nd Front? _____

Proposed Rear: _____ Minimum: _____
 Proposed Sides: L _____ R _____ Minimum: _____

Height: Proposed 11'-4"
 Maximum Height: _____ or
 Regulated by Historic Districts Ordinance
 Regulated by Escarpment District

Parking Spaces:
 Proposed 3 Accessible _____
 Minimum: _____

Bicycle Parking**:
 Proposed: _____ Minimum: _____
 ** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Will McDonald

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Will McDonald

SIGNATURE

2/4/22

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

- Escarpment Approval by _____ Date: ___/___/___
 Flood Plain Approval by _____ Date: ___/___/___
 Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

- Preliminary Approval with conditions Rejected
 Comments/Conditions: _____

REVIEWER: Lani J McCulley

DATE: 02/04/2022

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



City of Santa Fe, New Mexico

200 Lincoln Avenue, P.O. Box 909, Santa Fe, N.M. 87504-0909

www.santafenm.gov

Javier M. Gonzales, Mayor

Councilors:

- Signe I. Lindell, Mayor Pro Tem, Dist. 1
- Renee Villarreal, Dist. 1
- Peter N. Ives, Dist. 2
- Joseph M. Maestas, Dist. 2
- Carmichael A. Dominguez, Dist. 3
- Chris Rivera, Dist. 3
- Ronald S. Trujillo, Dist. 4
- Mike Harris, Dist. 4

PROJECT DESCRIPTION: Martinez Tafoya Family Trust, agent/owner, requests a historic status review with primary elevation designations, if applicable, for contributing and non-contributing residential and accessory structures.

Case number: H-17-075
Project Type: HDRB

PROJECT LOCATION (S): 1149 Camino San Acacio

PROJECT NAMES:

OW – Martinez Tafoya Family Trust	1149 Camino San Acacio	Santa Fe, NM 87505
AP – Martinez Tafoya Family Trust	1149 Camino San Acacio	Santa Fe, NM 87505

BOARD ACTION

This is to certify that the Historic Districts Review Board (HDRB) acted on your request at their hearing on September 12, 2017. The decision of the Board was to designate Buildings A, B, and D as contributing and to designate Buildings C and D as non-contributing to the Downtown and Eastside Historic District. The primary elevations for Building A are the west, south, and north elevations. The primary elevations for Building B are the south, east, and west. The primary elevations for Building D are the west and north. Please see enclosed map. For further information please call 955-6605.

Sincerely,

Nicole Ramirez Thomas

Nicole Ramirez Thomas
Planner Senior, Historic Preservation Division

NOTE: Applicant can use this action letter to apply for construction permit, but the permit shall not be released until the end of the appeal period which starts on the date of filing of the Findings and Conclusions in the City Clerk's office (SFCC 14-3.17(D)). Your permit will be denied if any changes on plans that were not approved by the HDRB or if conditions of approval are not met. Please attach copies of this letter to all sets when submitting for construction permits.

9/12/17

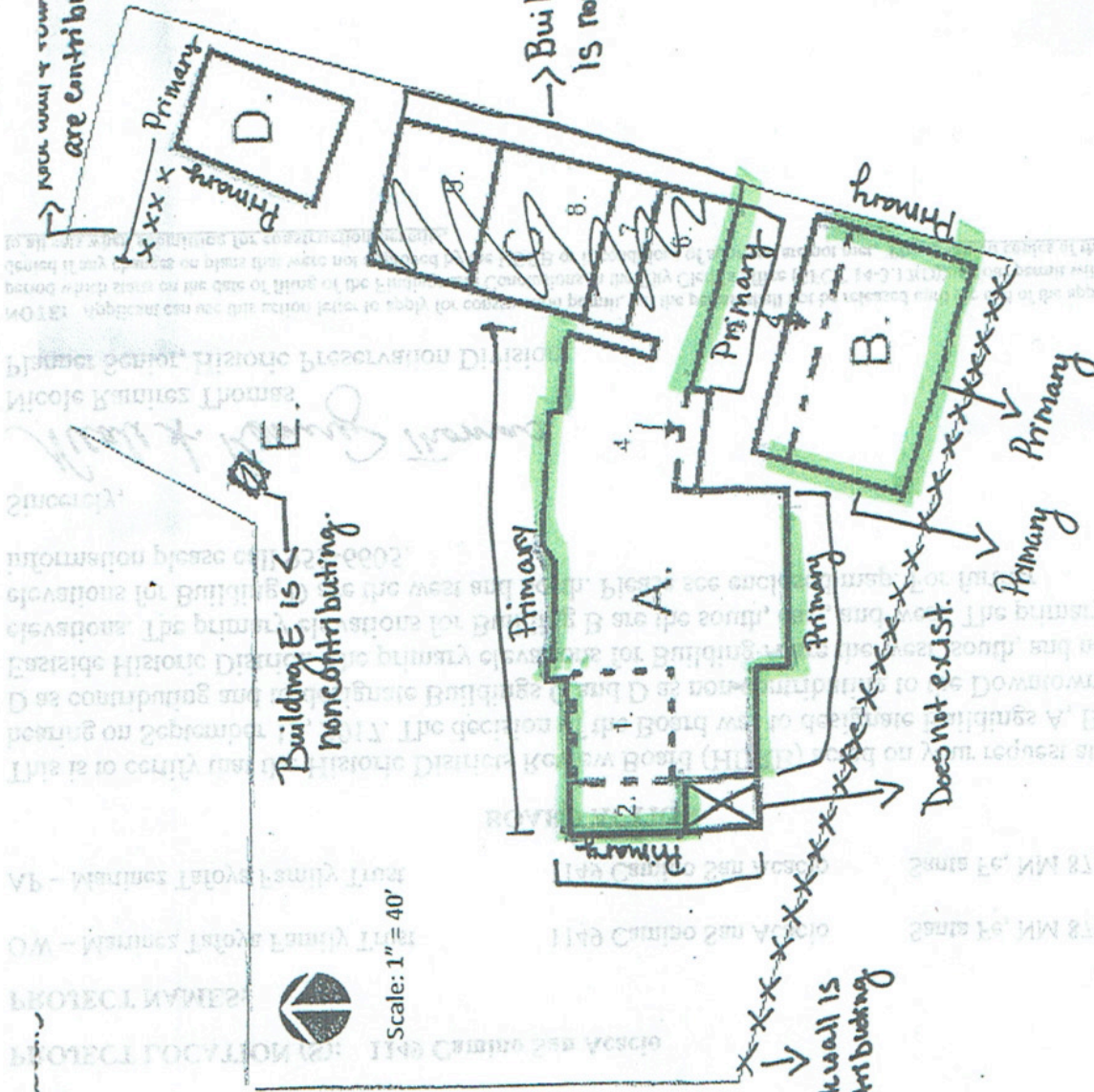
are contributing

Building C
is non contributing

Building E is
non contributing

Does not exist

Red wall is
Contributing



Scale: 1" = 40'

Urban Main Modifications

PROJECT DESCRIPTION: Martinez Family Trust, agent/owner, requests a historic sign
 to be placed on the exterior wall of the building, as shown on the attached drawing.
 The sign is to be placed on the exterior wall of the building, as shown on the attached drawing.
 The sign is to be placed on the exterior wall of the building, as shown on the attached drawing.

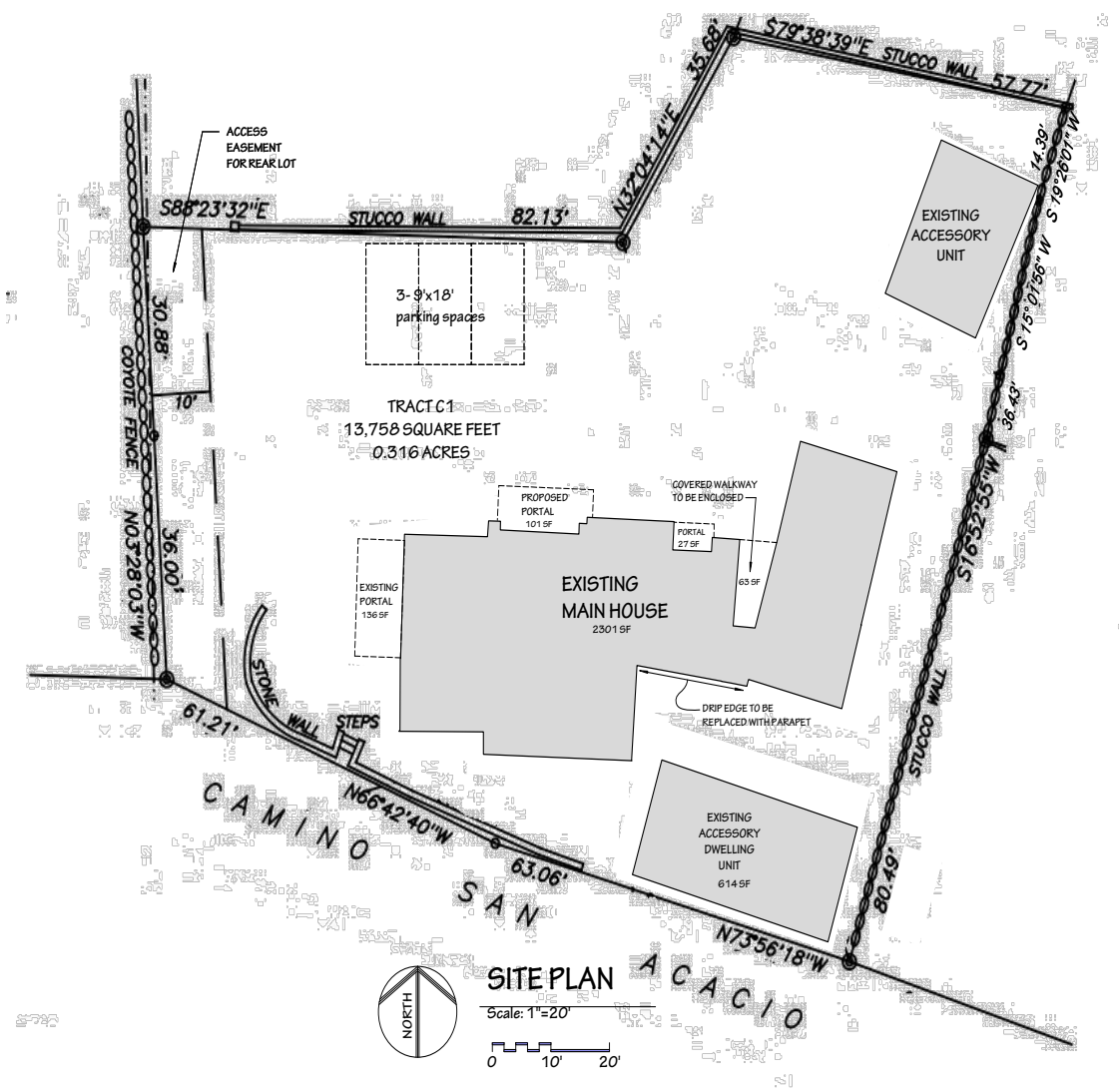
- Mike Harris, Dist. 4
 - Ronald S. Treviño, Dist. 4
 - Chris Rivera, Dist. 3
 - Carroll J. Dominguez, Dist. 3
 - Joseph M. Wheeler, Dist. 3
 - Ernest M. Juez, Dist. 3
 - Karen Anderson, Dist. 1
 - Signe J. Lindberg, Mayor Pro Tem, Dist. 1
- Contributors:

David M. Gonzalez, Mayor

300 Lincoln Avenue, P.O. Box 208, Santa Fe, N.M. 87504-0208

CITY OF SANTA FE, NEW MEXICO



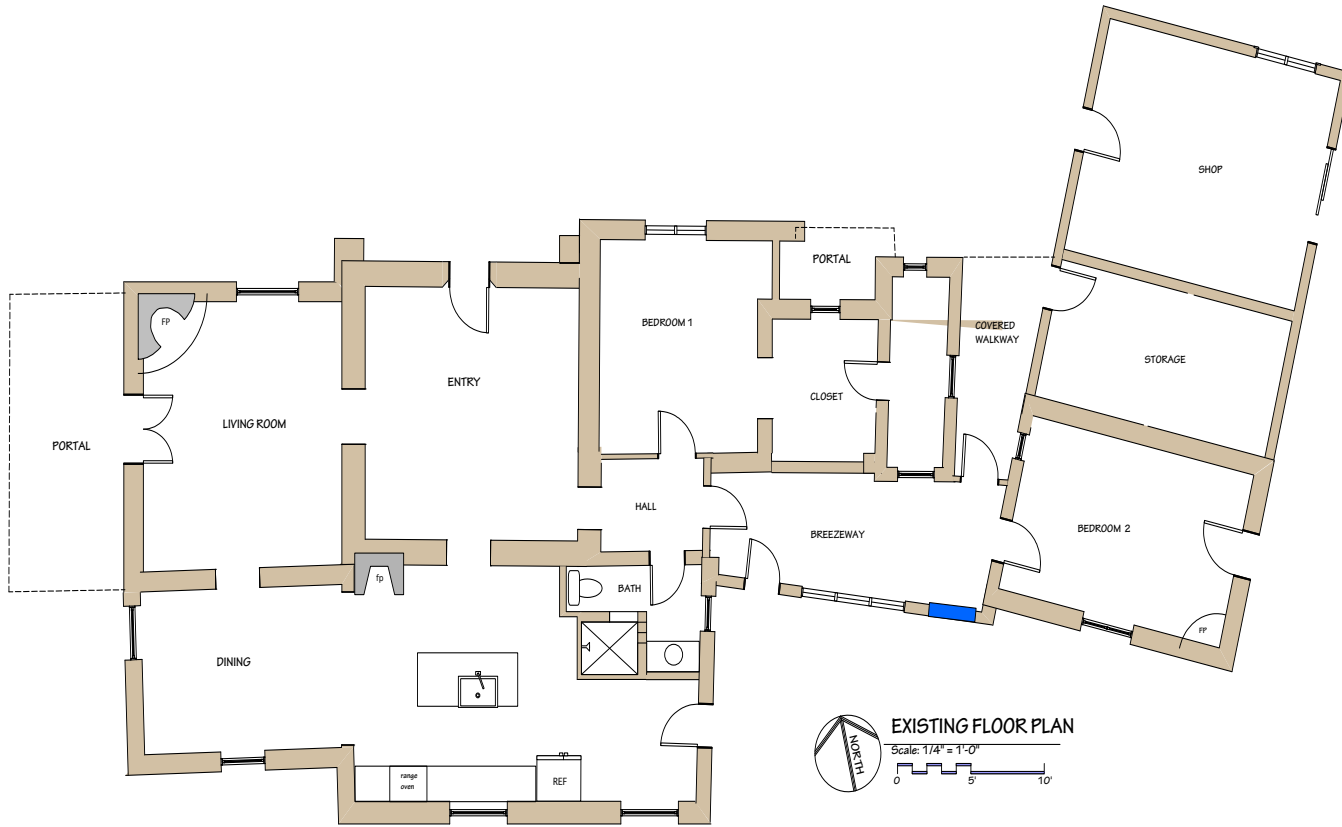


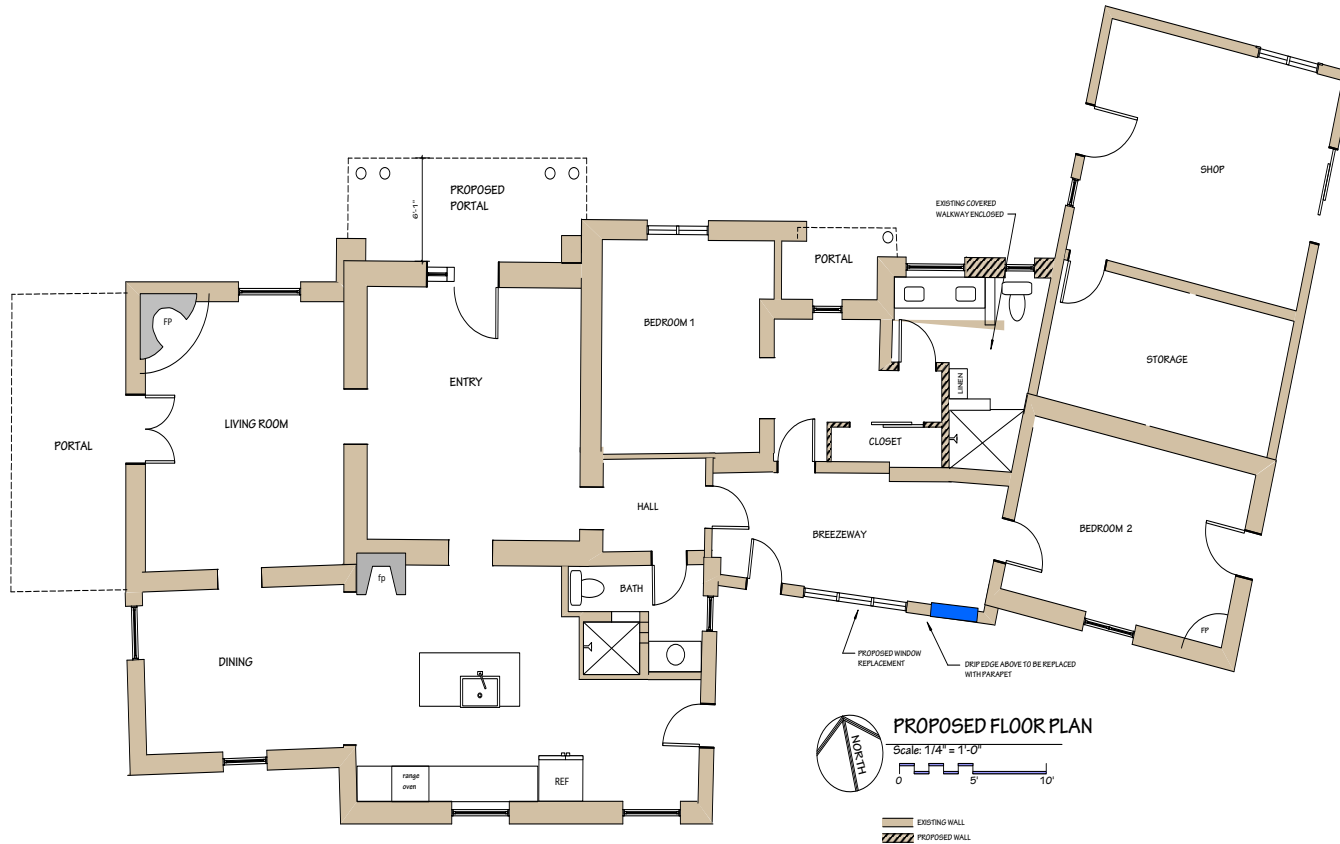
SITE PLAN



**JOHNSON RESIDENCE
RENOVATION**
1149 CAMINO SAN ACACIO
SANTA FE NEW MEXICO

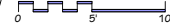
DATE: 2/4/22
SHEET:





PROPOSED FLOOR PLAN

Scale: 1/4" = 1'-0"

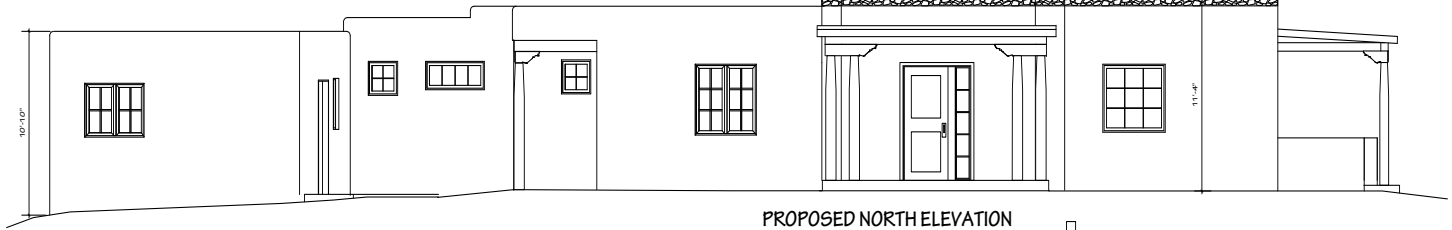


EXISTING WALL
PROPOSED WALL



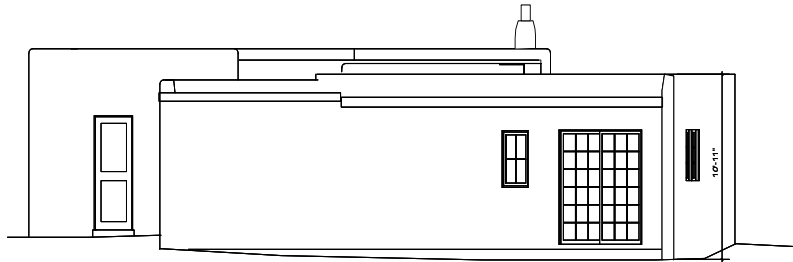
EXISTING NORTH ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

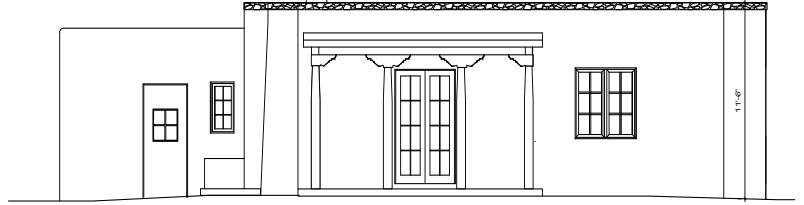
Scale: 1/4" = 1'-0"



EXISTING EAST ELEVATION

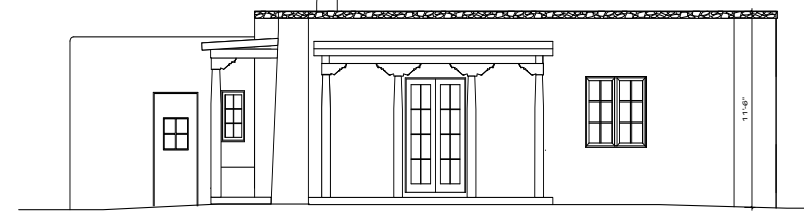
Scale: 1/4" = 1'-0"

NO CHANGE PROPOSED



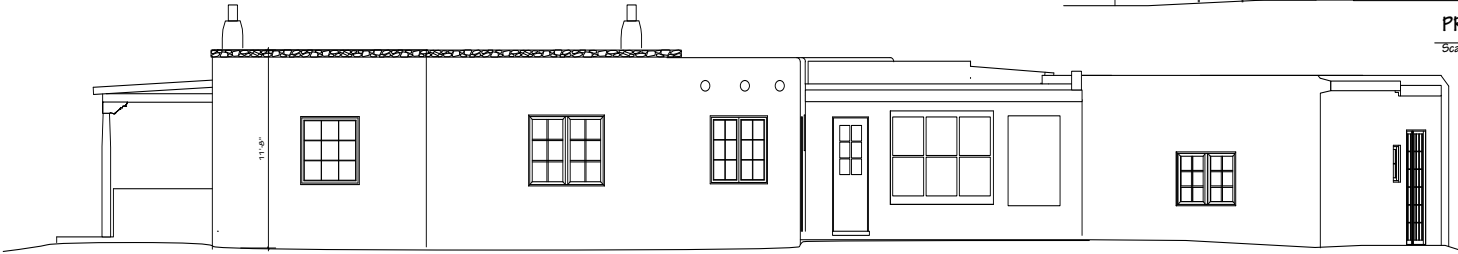
EXISTING WEST ELEVATION

Scale: 1/4" = 1'-0"



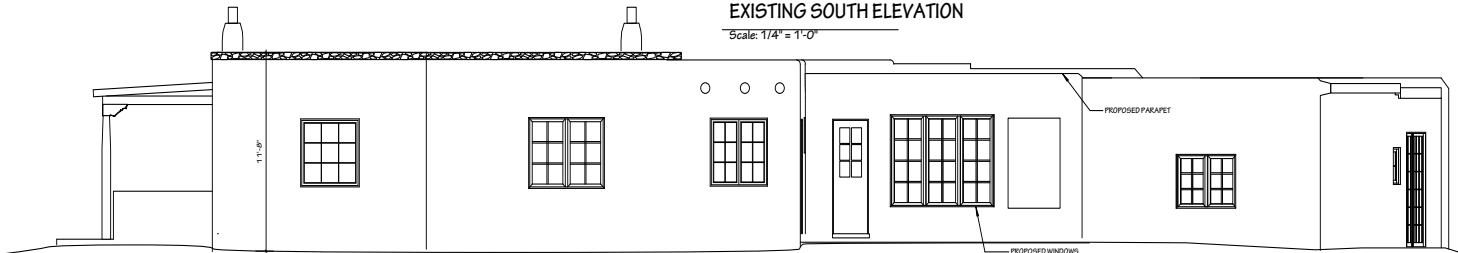
PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

Scale: 1/4" = 1'-0"



Proposed front door



1149 Camino San Acacio South Façade Street facing



1149 Camino San Acacio West Façade



1149 Camino San Acacio North Façade



1149 Camino San Acacio North Façade



1149 Camino San Acacio East end of North Façade



1149 Camino San Acacio East end of North Façade



1149 Camino San Acacio West Façade



1149 Camino San Acacio Partial West and South Façade



1149 Camino San Acacio Partial South Façade

EXTERIOR FINISHES

1149 CAMINO SAN ACACIO

STUCCO-El Rey "Adobe"



**WINDOW CLADDING COLOR
and TRIM PAINT COLOR**



EXPOSED WOOD
CABOT
SEMI-TRANSPARENT STAIN
COLOR: CORDOVAN BROWN





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004912--HDRB

Project Description:

Project Location(s): 1564 CANYON RD
Santa Fe, NM 87501

Contacts:

Applicant: SPEARS HORN ARCHITECTS INC bspears@spearshorn.com
1334 PACHECO ST
SANTA FE, NM 87505

Historic District: HD: Historic Review, HD: Downtown And Eastside

Historic Building Status:

Non-Statused: True Non-Contributing: True Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2022
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-004912-HDRB

Address: 1564 Canyon Road
Historic Status: Non-stateded
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form for Main House
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other: Letter regarding Guesthouse; Santa Fe County Tax Assessor report

STAFF RECOMMENDATION:

Staff recommends the historic status of the structure be maintained as non-contributing based on its construction date per 14-5.2(C) Designation of Significant and Contributing Structures.

BACKGROUND & SUMMARY:

1564 Canyon Road is a 3,000 square foot Spanish-Pueblo Revival Style, adobe building designated historically non-contributing to the Downtown and Eastside Historic District. The 2.7 acre-lot consists of the main house, a guesthouse, a garage, a shed, and a chicken coop. The main house originally was part of a larger property. The lot is located far from (Upper) Canyon Road; none of the buildings are publicly visible.

The subject of this case is the un-statused guesthouse, which is an 806 square foot round adobe building located southeast of the main house. It is believed to be built in 1973 based on the owner's tax assessment record. The 1983 HCPI for the main house (in your packet) lists the circular adobe guesthouse as part of the property, but does not indicate date built. The building is described as "Hippie Vernacular Style" and has wagon wheel windows and two large pane glass doors.

The applicant requests status determination and primary façade(s) designation as applicable. The applicant has provided a letter regarding its construction and tax records that indicate that the building was complete and entered into the tax base on August 26, 1972.

Based on the letter and the tax record, staff believes that the structure is less than 50 years old.

SPEARS HORN ARCHITECTS

March 8, 2022

Angela Schackel Bordegaray
Senior Planner, Historic Preservation Division
City of Santa Fe
Santa Fe, New Mexico 87505

Dear Angela,

There has been a request from your office for more information on the round adobe structure at 1564 Canyon Road. This structure was built as an accessory structure to the main house for use as a studio. My client Kate Lopez bought the property in 1976. At that time, the studio was only recently built. My client has searched her records for further information but, not surprisingly, none exists. Kate went to the County Assessor and requested information. They found a file indicating that the structure was complete and entered into the tax base on August 26, 1972. We have forwarded a copy of the County record to you. From the appearance of the building, the type of construction (single width stabilized adobe), the windows used, the yurt form, etc, this date appears to be accurate.

Regarding the wooden shed/chicken coop that is to be demolished, it was extant as a shed when Kate Lopez bought the property in 1976. There are no records of the building that would document its age. Kate added chicken wire to it in 1988 and has used a portion of the shed as a chicken coop until last fall. The structure is quite dilapidated and earth from the hillside has washed down partially burying it.

I hope this is helpful.

With best regards,

Beverley Spears, FAIA
Principal, Spears Horn Architects

March 3, 2022

Angela Bordegaray
Historic Preservation Division
City of Santa Fe
Santa Fe, New Mexico

Dear Angela,

This letter concerns the case to go before the Board on March 22nd addressing the status of the existing round building, an ancillary structure at 1564 Canyon Road.

Chapter 14 definition of a non-conforming structure is one “that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District. The code further states: Any building in the historic district not meeting the standards for architectural style set forth in this section,.... shall be considered nonconforming.”

The round building was evidently completed in the summer of 1972 and therefore is not quite 50 years old.

Also, the building certainly does not exhibit sufficient historic integrity to establish and maintain the character of the H District. And unquestionably, the building does not meet the standards for architectural style set forth in the code for the Downtown and Eastside Historic District.

The building has a visible conical roof with exposed skylights and mechanical vents. There is no parapet. The roof extends beyond the wall. (“Roofs are never carried out beyond the line of the walls”). The walls are curved. (“Facades are flat...”). The exterior surface of the building is exposed asphalt-impregnated adobe (“Mud plaster or hard plaster simulating adobe, laid on smoothly, is required”)

Based on these facts, it is clear that this building is non-contributing. The proposed alterations and additions to this building will bring it into compliance with code requirements as required by Chapter 14.

Thank you.

Sincerely,



Beverley Spears, FAIA
Principal, Spears Horn Architects

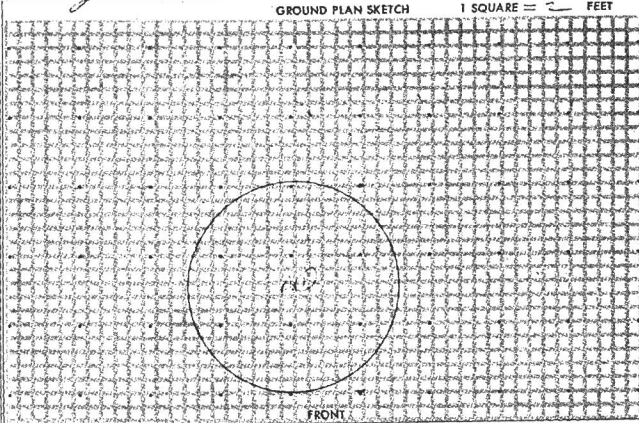
OWNER

Max Medville 1564 Canyon Rd

BUILDING INFORMATION

Story Hgt.	1													
Yr. Built	1972													
Remodeled														
Total Rooms	3				1				1					
B	1	2	3	4	B	1	2	3	4	B	1	2	3	4

GROUND PLAN SKETCH 1 SQUARE = 2 FEET



OBSERVED PHYSICAL CONDITION, EFFECTIVE AGE

Good ___ Normal ___ Fair ___ Poor ___ Age 10 Year ___

BUILDING COMPUTATIONS

GROUND AREA — SQUARE FEET		
WIDTH	LENGTH	AREA
15	15	
TOTAL GROUND AREA 706		

TYPE AND USE

1 Family Dwelling
2 Family Dwelling
Multi-Family Apts.
Other

1. FOUNDATION: GRADE 3

Concrete Blk. _____ Conc. _____
Conc. Slab _____ Piers _____
Stone _____ Brick Wall _____

2. EXT. WALLS: GRADE 3

Frame with:
Siding on sheathing _____
Shingle, wood, comp. _____
Single siding _____
Stucco on frame _____
Conc. block Stucco _____
Not stuccoed _____

Brick: Solid Veneer _____
Face Common _____

Adobe: Stuccoed _____
Not stuccoed _____
On edge _____

Stone: Solid Veneer _____

Other: _____

3. ROOF: GRADE 2

Type: Flat _____ Gable _____
Hip _____ Gambrel _____ Mansard _____
Roofing: Wood Roll _____
Built-up Asphalt or T&G _____
Wood or Comp. Shingle _____
Metal _____ Slate or Tile _____
Insulation _____

4. FLOORS: GRADE 2

Stories	1	2	3
Softwood			
Hardwood			
Concrete			
Comp. Tile			
Carpeted			

Cer. Tile, Baths _____ Kitch _____

5. INTERIOR FIN.: GRADE 3

Wallboard _____ Plaster _____
Sheetrock _____ Paneling _____
Unfin. _____ Other _____

6. BUILT-INS: GRADE 2

Dishwasher _____ Disposal _____ Oven _____
Range _____ Dryer _____ Bookshelves _____
Cupboard Space: _____
Adequate _____ Inadequate _____
Closets: Adequate _____ Inadequate _____

7. HEATING: GRADE 2

No heat or stove heat _____
Hot air: Pipeless _____
Piped heat (Gravity) _____
Forced Circulation _____
Steam or Hot Water _____
Radiant, Concealed _____
Electric, all types _____
Central Air Conditioned _____

8. PLUMBING: GRADE 2

None _____ Water Only _____
No. Baths, (3 Fixture) _____
No. Toilet Rms., 2 Fix. _____
No. Single Fixtures _____
Septic Tank _____
City Water & Sewer _____

9. ELECTRICITY: GRADE 2

Electricity: Yes _____ No _____
Adequate outlets _____
Inadequate outlets _____

10. DESIGN: GRADE 2

Utility _____ Speculative _____
Custom Bld. _____
Architectural Design _____

Fixtures	Utility	Av.	Exc. Qual
Elect.			
Plumbing			

TOTAL GRADES 23
TOTAL + 10 = Av. Grade 23

BASEMENT: None _____ Full _____
1/4 _____ 1/2 _____ Finished Rec. _____
Fireplace: _____
Single Flue _____ Stories _____
Double Flue _____ Stories _____

NOTES

Field Rev 9-24-72

1) Complete
2) adobe
3) no small wood heater
4) flat roof
5) cement floor
6) total ground area 706 sq ft. H. High
700 sq ft floor area
Mc 5-6-99

DESCRIPTION, REPLACEMENT COST AND APPRAISAL OF FARM BARN AND ACCESSORY BUILDINGS

Bldg. Ident.	Class No.	DIMENSIONS			Foundation	Floor	Roof	Walls	Missing Wall	Heat	Light	Pibg.	Age	Area	Unit Cost	Adds and Deducts	Net Cond. %	Net Appraisal
		Width	Depth	Height														
Structure		15	15	8	con	con	flat	adobe	0	0	0			706	340	765		5970 765

Year	1972	1980	1988
Grade	2.0	2.0	2.0
Base	5970	7746	20866
Grade Diff	-	-	-
Story Diff	-	-	-
Porches	-	-	-
Fireplace	-	-	-
Plumbing	-	-	-
Heating	-	-	-
Garage	-	-	-
Total	5970	7746	20866

DEPRECIATION AND OBSOLESCENCE

A-Deprec	%	%	%
B-Functional	%	%	%
C-Economic	%	83%	80%
100%-(A+B+C)	%		
100% VALUE		9500	

SUMMARY OF APPRAISED VALUES

Principal Bldg. Appraisal	\$	9500	17886
Other Principal Bldg. Appraisal	\$		
Accessory Bldgs. Appraisal	\$	770	770
Total Bldg. Appraisal	\$	10270	18456
Total Land Appraisal	\$		
TOTAL APPR. VALUE	\$		

Measured by _____ Date _____ Classified by _____ Date _____ Extended by _____ Date _____ Checked by _____ Date _____

**Land Division Survey Plat prepared for
Kate Goodwin Lopez as Trustee of the Kate Goodwin Lopez Residence Trust**

REPLAT OF TRACT A, AS LAST DESCRIBED ON PLAT FILED IN SANTA FE COUNTY CLERK PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829 LYING WITHIN THE SANTA FE GRANT-PROJECTED SECTION 20, T17N, R10E, NMPM LOCATED AT 1564 CANYON ROAD, IN THE CITY OF SANTA FE, COUNTY OF SANTA FE, STATE OF NEW MEXICO, U.S.A.

PURPOSE STATEMENT:
THIS PLAT DIVIDES ONE EXISTING TRACT INTO TWO TRACTS ONE NEW TRACT HAS BEEN CREATED

UTILITY COMPANY APPROVALS:

Neil Weston 10/4/09
QUEST COMMUNICATIONS DATE

Whitney Hill 10-6-09
PJM ELECTRIC DATE

Alfonso Lopez 10-12-09
NM GAS COMPANY DATE

R. R. AL 10-17-09
COMCAST CABLE DATE

Guest Communications, Inc. The client has been approved for general purposes only. The signature of the engineer is required for all purposes.

OWNERS CONSENT

THE UNDERSIGNED OWNER-KATE LOPEZ DOES HEREBY CONSENT TO THE SURVEY OF LANDS SHOWN HEREON. THIS LOT SPLIT SURVEY IS BEING MADE WITH HER FREE CONSENT AND IS IN ACCORDANCE WITH HER DESIRES AND WISHES. ALL EASEMENTS ARE HEREBY GRANTED AS SHOWN. THESE LANDS LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, STATE OF NEW MEXICO. EASEMENTS ARE HEREBY GRANTED FOR ALL EXISTING UTILITIES.

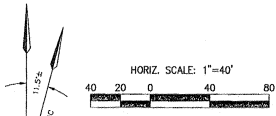
Kate Goodwin Lopez 10-20-09
KATE GOODWIN LOPEZ DATE
TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST

STATE OF NEW MEXICO
COUNTY OF SANTA FE
I, *Paul A. Armijo*, Surveyor, do hereby certify that this instrument was acknowledged before me on *October 20, 2009* by *KATE GOODWIN LOPEZ*, TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST, and *Michelle Matney*, my commission expires *May 13, 2011*.

DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS TO FILING IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO.

1. SURVEY ENTITLED "SURVEY OF PROPERTY LINE BETWEEN TRACTS A & B FOR MARTHA WICKHAM-WARD, D. DIVISION, BY JACK S. HORNE, NMPELS NO. 889, FILED ON AUGUST 23, 1962, IN PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829.
2. SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR JAMES P. BERESFORD & MARILYN BERESFORD, BY PHILIP B. WEGEL NMP. NO. 9758, FILED ON DECEMBER 15, 2003, AS INSTRUMENT NO. 1305,581
3. SURVEY ENTITLED "BOUNDARY SURVEY AND LOT LINE ADJUSTMENT FOR VESTOR HOLDINGS, INC., BY DAVID E. COOPER NMP. NO. 9052, FILED ON FEBRUARY 20, 2008, IN PLAT BOOK 676, PAGE 014, AS INSTRUMENT NO. 1515,927.
4. SURVEY ENTITLED "LOT SPLIT FOR DAVID R. & MARTHA A. AGNEW," BY MITCHELL K. NOONAN NMP. NO. 6998, FILED ON JUNE 19, 1986, IN PLAT BOOK 165, PAGE 001, AS DOCUMENT NO. 595,566.
5. DEED OF TRUSTEE, KATE GOODWIN LOPEZ, TRUSTEE OF THE LOPEZ FAMILY INTER VIVOS TRUST TO KATE GOODWIN LOPEZ, TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST, FILED ON DECEMBER 20, 2007, AS INSTRUMENT NO. 1510,140.



- LEGEND**
- SURVEY MONUMENT FOUND
 - SURVEY MONUMENT SET
 - 1/2" REBAR STAKE W/CAP STAMPED LS-13604
 - SURVEY POINT COMPUTED NOT SET

I CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN DECEMBER 2008 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS

Paul A. Armijo SEPTEMBER 28, 2009
PAUL A. ARMILJO, N.M.P.S. NO. 13604 DATE



NEW WATERLINE EASEMENT LINE DATA

E1-52047.94"E 81.70'
E2-52731.33"E 48.43'
E3-52004.35"W 28.14'
E4-51110.37"E 40.48'
E5-52070.43"E 32.14'
A1-54725.26"W 78.23'
A2-52708.30"W 23.01'
A3-52524.74"W 68.61'
A4-5845.10"W 33.40'
A5-58427.10"W 39.80'
A6-58945.45"W 12.80'
A7-584407.00"W 31.00'
A8-58444.34"W 41.12'
A9-53094.24"W 24.22'
A10-53270.37"W 19.61'
A11-51807.51"W 32.00'
A12-50524.31"W 21.67'
A13-54319.28"W 13.14'
A14-52930.42"W 13.12'

NEW ACCESS EASEMENT LINE & CURVE DATA

L1-58746.24"E 16.10'
L2-58754.48"E 51.70'
L3-55717.29"E 30.30'
L4-58623.25"E 50.31'
L5-58746.24"E 15.04'
L6-55242.06"E 9.76'
L7-58687.00"W 2.91'
C1- A=5058.18" R=112.49" L=88.62'
C2- A=5052.22" R=90.72" L=68.12'
C3- A=5056.28" R=94.66" L=66.78'
C4- A=5053.17" R=78.57" L=112.11'
C5- A=5053.34" R=84.103.06'
L8-58427.10"E 60.73'
L9-58450.00"E 32.10'
L10-53954.37"E 37.94'

INDEXING INFORMATION FOR COUNTY CLERK
OWNER: THE KATE GOODWIN LOPEZ RESIDENCE TRUST
DEED OF TRUSTEE, INSTRUMENT NO. 1510,140
LOCATION: TRACT A, PLAT BOOK 9, PAGE 76
DOCUMENT NO. 258,829
WITHIN THE SANTA FE GRANT
PROJECTED SECTION 20, T17N, R10E, NMPM
1564 CANYON ROAD, CITY OF SANTA FE
SANTA FE COUNTY, NEW MEXICO

ARMILJO SURVEYS INC.
PAUL A. ARMILJO N.M.P.S. NO. 13604
P.O. BOX 24438, SANTA FE, NEW MEXICO 87502-9438
PH. (505) 471-1955 FAX. (505) 471-1925

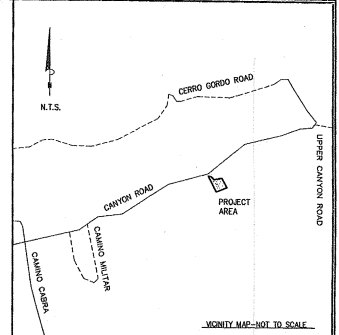
LAND DIVISION SURVEY PLAT PREPARED FOR
KATE GOODWIN LOPEZ AS TRUSTEE OF
THE KATE GOODWIN LOPEZ RESIDENCE TRUST

DRAWN BY P.A.A. DATE DEC. 2008
JOB NO. 2804062 SHEET No. 1 OF 1

CITY OF SANTA FE
CONTROL MONUMENT NO. SFC-110
ALUM. DISC. IN CONC. BASE



Document No. 1582541
COUNTY CLERK'S INSTRUMENT BLOCK
COUNTY OF SANTA FE, STATE OF NEW MEXICO
I hereby certify that this instrument was filed
for record on the 6 day of Nov A.D. 2009
at 2:15 o'clock P.m. and was duly recorded in
Book 710 Page 023 of the Records of
Santa Fe County
Witness My Hand and Seal of Office
VALERIE ESPINOZA
County Clerk, Santa Fe County, New Mexico
Philip M. Buziga
DEPUTY



710023 CITY OF SANTA FE REVIEW

City Planner *Risam Bawa* 11/6/09
REVIEWED ON
City Engineer for Land Use *Risam Bawa* 11/6/09
REVIEWED ON
APPROVED BY THE SUMMARY COMMITTEE
AT THEIR MEETING OF: JUNE 4, 2009 SP-2009-01
CASE NO.
[Signature] 10-30-09
DATE
CHAIRMAN *[Signature]*
SECRETARY *[Signature]* 10/21/09
DATE

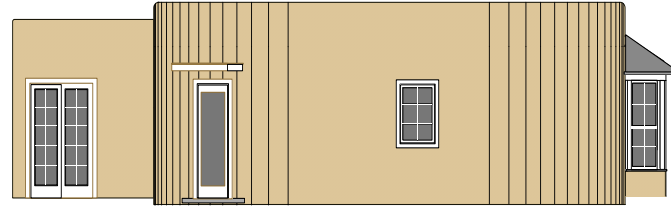
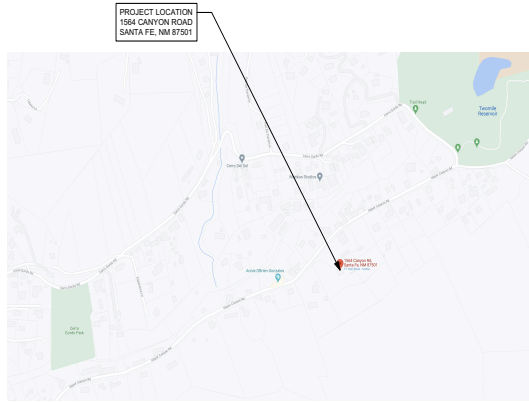
DEVELOPMENT NOTES

1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCO 2001 AND SUBSEQUENT AMENDMENTS.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE AND SUBSEQUENT AMENDMENTS.
3. BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME BUILDING PERMIT APPLICATION AS DETAIL IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS.
4. APPLICANT IS REQUIRED TO OBTAIN APPROVAL FROM THE MAYORDOMO OF THE ACEQUIAS FOR ANY DEVELOPMENT PERMITS.
5. PRIOR TO ANY NEW CONSTRUCTION A FIRE ACCESS ROAD IN ACCORDANCE WITH CHAPTER 14 OF THE SANTA FE CITY CODE AND THE INTERNATIONAL FIRE CODE SHALL BE PROVIDED. FIRE ACCESS ROAD REQUIREMENTS SHALL ADDRESS WIDTH, GRADE AND TURNAROUNDS.
6. ARCHEOLOGICAL CLEARANCE IS NOT NEEDED AT THIS TIME, BUT WILL BE REQUIRED FOR BOTH LOTS ONCE ANY GROUND DISTURBANCE IS PROPOSED SINCE THE LOTS WILL EACH BE OVER 2 ACRES AND ARE LOCATED IN THE RIVER AND TRAIL ARCHEOLOGICAL REVIEW DISTRICT.
7. AT THE TIME OF BUILDING PERMIT APPLICATIONS PROPOSED HEIGHTS OF ALL STRUCTURES SHALL BE EVALUATED FROM EXISTING GRADE FOR NEW STRUCTURES.
8. THE LOT AT HIGHER ELEVATION WILL HAVE LOW WATER PRESSURE AND MAY REQUIRE A BOOSTER PUMP FOR SERVICE.

SURVEYORS NOTES

1. DATA IN 1-PARENTHESIS () TAKEN FROM REFERENCE DOCUMENT 1.
2. DATA IN 2-PARENTHESIS (() TAKEN FROM REFERENCE DOCUMENT 2.
3. DATA IN 3-PARENTHESIS ((() TAKEN FROM REFERENCE DOCUMENT 3.
4. SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-056-099-350-035.
5. COMMENT FOR TITLE INSURANCE ON THIS PROPERTY ISSUED BY: TERRITORIAL ABSTRACT & TITLE CO., INC. FILE NO. 0001280 GK.
6. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NO. 35048C0417D, DATED JUNE 17, 2008.
7. DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
8. DATE OF FIELD SURVEY: DECEMBER 10, 2008.
9. ALL NATURAL DRAINAGE WAYS ARE TO BE LEFT UNIMPEDDED FOR NATURAL STORM WATER FLOW.
10. AREA OF ENTIRE PROPERTY BY THIS SURVEY: 196,016 SQ. FT. ± OR 4,500 ACRES ±, AREA ON PRIOR SURVEY-REF. DOC. 1: 4,500 ACRES ±.

LOPEZ ADDITION



GENERAL NOTES

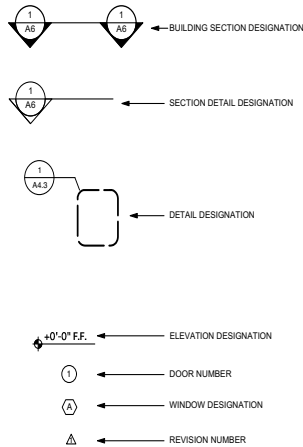
1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR DISCOVERED LATENT CONDITIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS THEMSELVES, DETAILS OR SPECIFICATIONS, THE CONTRACTOR SHALL SUPPLY THE MORE EXPENSIVE OR GREATER METHOD AND MATERIAL. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE FOUND.

2. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING HIS OWN DEFECTIVE WORK, AS WELL AS PAYING ALL INCIDENTAL COSTS INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS, AND EQUIPMENT.

3. DRAWINGS ARE NOT TO BE SCALED. ALL WORK LINES AND LEVELS SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE BEGINNING HIS PORTION OF THE WORK.

4. IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS ON FOUNDATION PLAN / FRAMING PLANS AND DIMENSIONS ON ARCHITECTURAL PLAN OR ANY OTHER DRAWING, BRING TO ARCHITECT'S ATTENTION PROMPTLY.

LEGEND



DRAWING INDEX (16 sheets total)

CS	COVER SHEET
	LAND DIVISION SURVEY PLAT 10/09
	TOPOGRAPHIC SURVEY 07/21
L1	SITE PLAN 1 : 240
L2	GRADING AND DRAINAGE 1 : 60
A1	EXISTING FLOOR PLAN / SECTION / ELEVATION / ROOF PLAN 1/4" = 1'-0"
A2	FOUNDATION PLAN 1/4" = 1'-0"
A3	FLOOR PLAN 1/4" = 1'-0"
A4	FRAMING PLAN / ROOF PLAN 1/4" = 1'-0"
A5	EXTERIOR ELEVATIONS 1/4" = 1'-0"
A6	INTERIOR ELEVATIONS 1/4" = 1'-0"
A7	WALL SECTIONS 3/4" = 1'-0"
A8	DOOR & WINDOW DETAILS
A9	DOOR & WINDOW SCHEDULES
M1	MECHANICAL PLAN / PLUMBING SCHEDULE 1/4" = 1'-0"
E1	ELECTRICAL PLAN 3/8" = 1'-0"

PROJECT DATA

CLIENT:	KATIE LOPEZ 1564 CANYON ROAD SANTA FE, NM 87501
BUILDER:	TBD
SCOPE OF WORK:	ADDITION, RENOVATION AND ASSOCIATED SITEWORK
APPLICABLE CODES:	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL RESIDENTIAL CODE 2009 NM ENERGY CONSERVATION CODE 2012 NM PLUMBING AND MECHANICAL CODE 2012 UNIFORM MECHANICAL CODE (IAPMO) 2012 UNIFORM PLUMBING CODE (IAPMO) 2014 NM ELECTRICAL CODE 2014 NATIONAL ELECTRICAL CODE 2012 NATIONAL ELECTRICAL SAFETY CODE
PROJECT ADDRESS:	1564 CANYON ROAD SANTA FE, NM 87501
AREAS:	
EXISTING	MAIN HOUSE = ± 2999 GSF GUEST HOUSE = ± 806 GSF GARAGE = ± 1392 GSF SHED = ± 380 GSF TOTAL EXISTING COVERED: = ± 5577 GSF
	REMOVE SHED = ± -380 GSF NEW ADDITION = ± 577 GSF NEW CARPORT = ± 360 GSF TOTAL COVERED: = ± 6134 GSF
	EXISTING DRIVEWAY = ± 9828 SF NEW DRIVEWAY = ± 2640 SF TOTAL DRIVEWAY = ± 12,468 SF
LOT SIZE:	2.167 ACRES / 94,380 SF
	LOT COVERAGE = ± 5.5 % NEW LOT COVERAGE = ± 6.5 %
OCCUPANCY GROUP:	R - RESIDENTIAL / SINGLE FAMILY
ZONING:	R-1
TOWNSHIP / RANGE / SECTION:	SEC 20, T 17N, R 10E

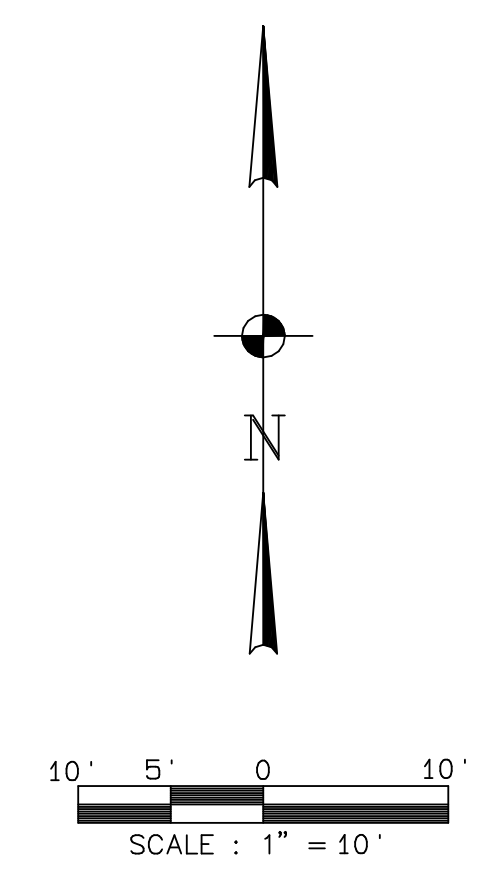
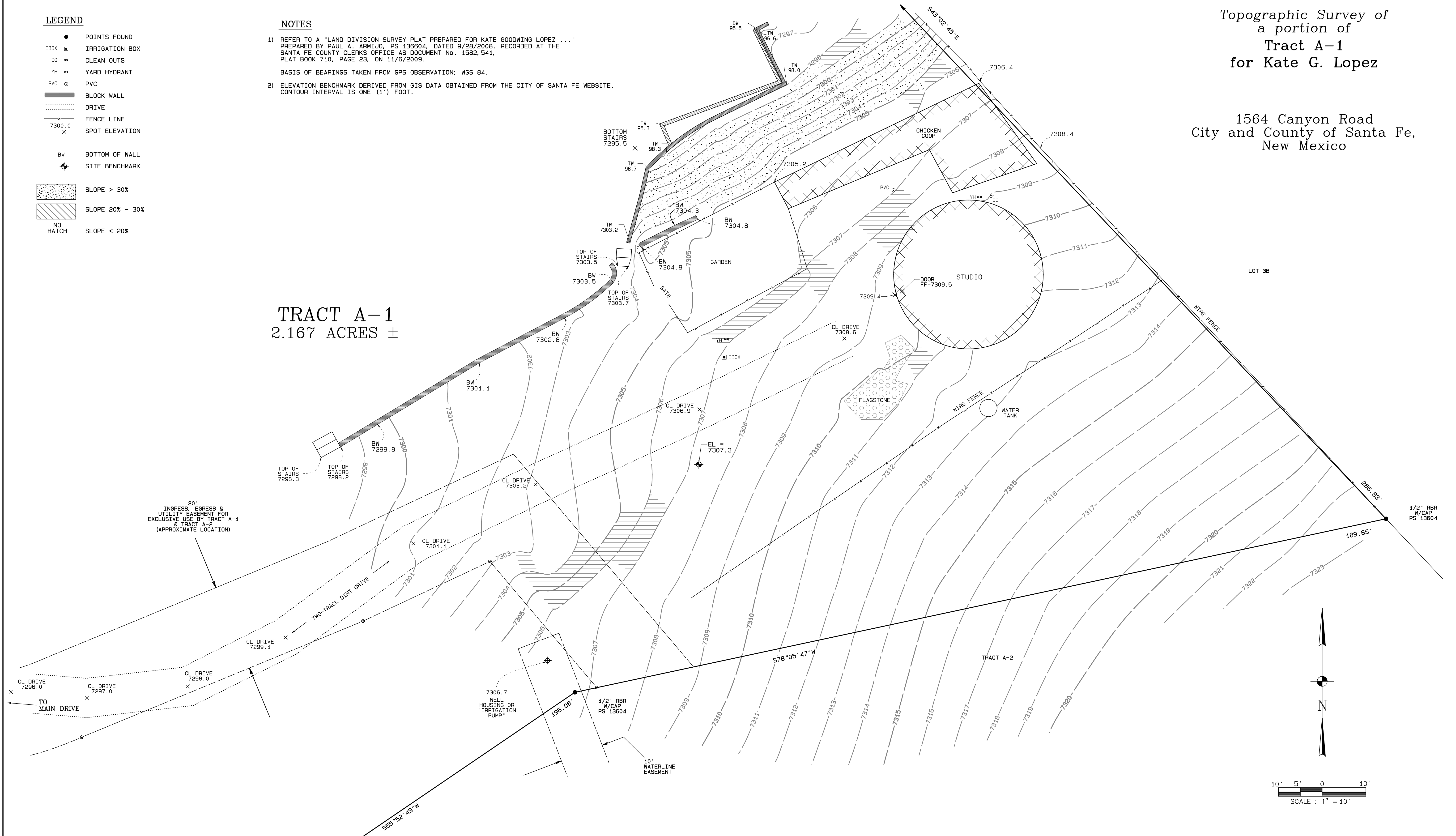
Topographic Survey of
a portion of
Tract A-1
for Kate G. Lopez

1564 Canyon Road
City and County of Santa Fe,
New Mexico

TRACT A-1
2.167 ACRES ±

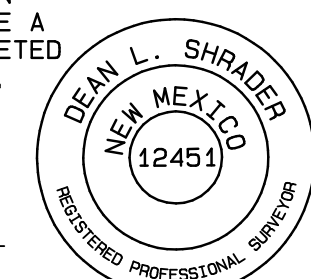
- LEGEND**
- POINTS FOUND
 - IBOX □ IRRIGATION BOX
 - CO → CLEAN OUTS
 - YH → YARD HYDRANT
 - PVC ○ PVC
 - █ BLOCK WALL
 - ⋯ DRIVE
 - - - FENCE LINE
 - 7300.0 X SPOT ELEVATION
 - BW BOTTOM OF WALL
 - ◆ SITE BENCHMARK
 - ▨ SLOPE > 30%
 - ▩ SLOPE 20% - 30%
 - NO HATCH SLOPE < 20%

- NOTES**
- REFER TO A "LAND DIVISION SURVEY PLAT PREPARED FOR KATE GOODWING LOPEZ . . ." PREPARED BY PAUL A. ARMIJO, PS 136604, DATED 9/28/2008. RECORDED AT THE SANTA FE COUNTY CLERKS OFFICE AS DOCUMENT No. 1582,541. PLAT BOOK 710, PAGE 23, ON 11/6/2009.
BASIS OF BEARINGS TAKEN FROM GPS OBSERVATION; WGS 84.
 - ELEVATION BENCHMARK DERIVED FROM GIS DATA OBTAINED FROM THE CITY OF SANTA FE WEBSITE. CONTOUR INTERVAL IS ONE (1') FOOT.



Surveyors Certificate

I HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY AND THE NOTES SHOWN HEREON WERE PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND ARE A TRUE & ACCURATE REPRESENTATION OF A FIELD SURVEY WHICH WAS COMPLETED ON 7/1/2021. TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, THIS TOPOGRAPHIC SURVEY MEETS OR EXCEEDS THE "MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO."



DEAN L. SHRADER NEW MEXICO PROFESSIONAL SURVEYOR No. 12451

THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA, EASEMENTS, DEVELOPABLE AREA, AND SETBACKS SHOWN (IF ANY) ARE SHOWN FOR ORIENTATION ONLY & ARE TAKEN FROM RECORD DOCUMENTS AND THOSE DOCUMENTS NOTED HEREON.

OWNER	SECTION	TWNSHP.	RANGE	LOCATION
LOPEZ	S 20	T 17 N	R 10 E	1564 CANYON ROAD

HIGH DESERT SURVEYING, INC.
PROFESSIONAL SURVEYING

1925 ASPEN DRIVE, SUITE 401
SANTA FE, NM. 87505
PHONE: (505) 438-8094
FAX: (505) 424-1709

DWG. NAME: TOPO TRACT A-1 PROJECT No. 21210

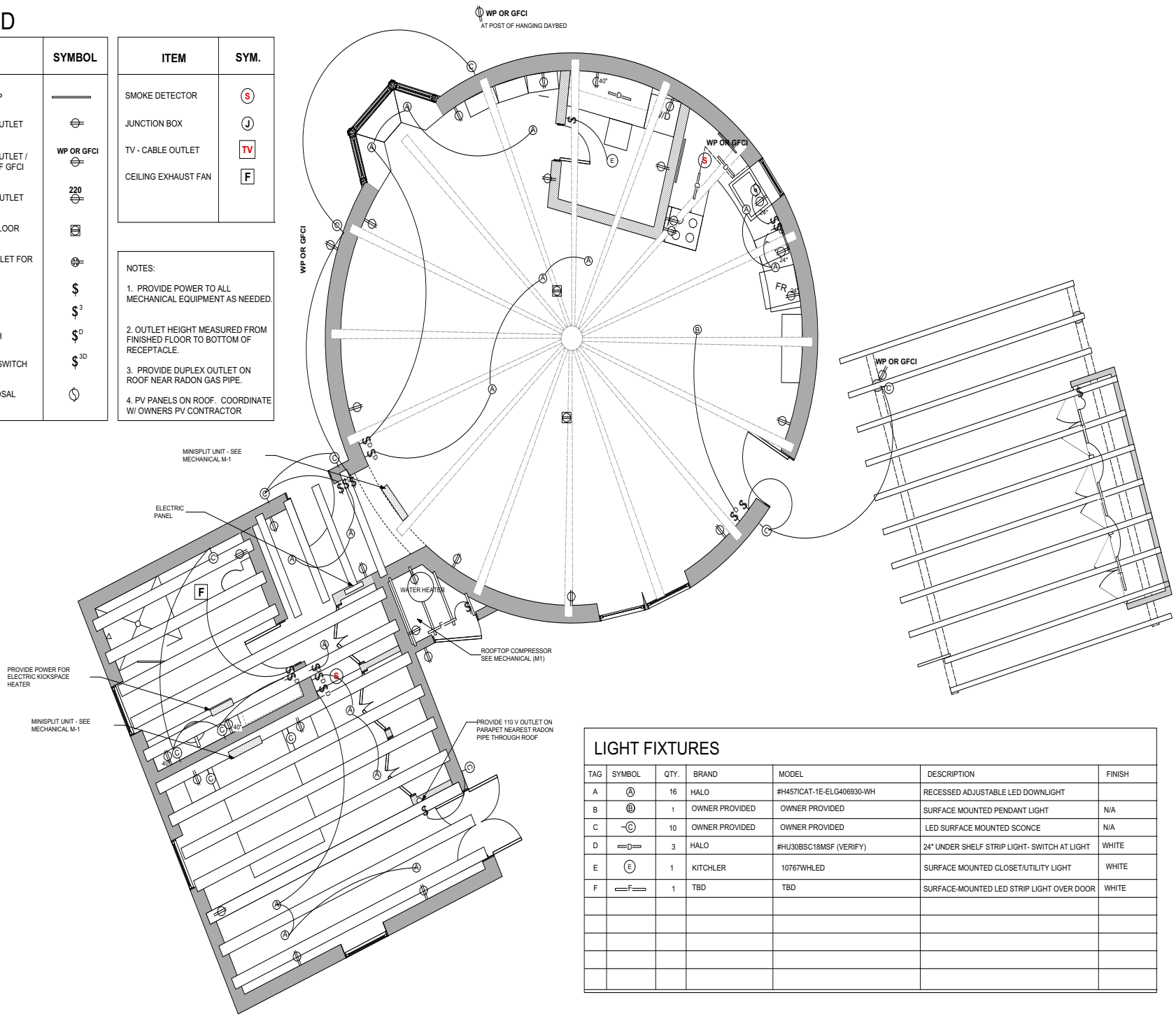
S:\21210\21210.dwg
Tue, Jul 13, 2021

LEGEND

ITEM	SYMBOL	ITEM	SYM.
110 V PLUG STRIP	—	SMOKE DETECTOR	(S)
110 V DUPLEX OUTLET	⊕	JUNCTION BOX	(J)
110 V DUPLEX OUTLET / WEATHERPROOF GFCI	WP OR GFCI ⊕	TV - CABLE OUTLET	(TV)
220 V DUPLEX OUTLET	220 ⊕	CEILING EXHAUST FAN	(F)
110 V DUPLEX FLOOR OUTLET	⊕		
NEMA 14-50 OUTLET FOR ELEC. VEHICLE	⊕		
SWITCH	⊕		
3-WAY SWITCH	⊕ ³		
DIMMER SWITCH	⊕ ^D		
3-WAY DIMMER SWITCH	⊕ ^{3D}		
GARBAGE DISPOSAL	⊕		

NOTES:

1. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AS NEEDED.
2. OUTLET HEIGHT MEASURED FROM FINISHED FLOOR TO BOTTOM OF RECEPTACLE.
3. PROVIDE DUPLEX OUTLET ON ROOF NEAR RADON GAS PIPE.
4. PV PANELS ON ROOF. COORDINATE W/ OWNERS PV CONTRACTOR



TAG	SYMBOL	QTY.	BRAND	MODEL	DESCRIPTION	FINISH
A	(A)	16	HALO	#H457/CAT-1E-ELG406930-WH	RECESSED ADJUSTABLE LED DOWNLIGHT	
B	(B)	1	OWNER PROVIDED	OWNER PROVIDED	SURFACE MOUNTED PENDANT LIGHT	N/A
C	(C)	10	OWNER PROVIDED	OWNER PROVIDED	LED SURFACE MOUNTED SCONCE	N/A
D	(D)	3	HALO	#HU30BSC18MSF (VERIFY)	24" UNDER SHELF STRIP LIGHT- SWITCH AT LIGHT	WHITE
E	(E)	1	KITCHLER	10767WHLED	SURFACE MOUNTED CLOSET/UTILITY LIGHT	WHITE
F	(F)	1	TBD	TBD	SURFACE-MOUNTED LED STRIP LIGHT OVER DOOR	WHITE











City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2022-004721--HDRB

Project Description:

Project Location(s): 1564 CANYON RD
Santa Fe, NM 87501

Contacts:

Applicant: SPEARS HORN ARCHITECTS INC
1334 PACHECO ST
SANTA FE, NM 87505

bspears@spearshorn.com

Property Owner: Kate G Lopez

kateglopez@yahoo.com

Historic District: HD: Downtown And Eastside, HD: Historic Review

Historic Building Status:

Non-Statused: True Non-Contributing: True Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction: 1960

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: March 22, 2020
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner, Historic Preservation Division

Case # 2022-004912-HDRB

Address: 1564 Canyon Road Guesthouse
Historic Status: Non-stateded
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends the proposal as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

1564 Canyon Road is a 2.7 acre-lot consisting of the main house, a guesthouse, a garage, and a shed and a chicken coop. The main house is a 3,000 square foot Spanish-Pueblo Revival Style adobe building designated historically non-contributing to the Downtown and Eastside Historic District. The main house was originally part of a larger property. The guesthouse is an 806 square foot round adobe located southeast of the main house believed to be built in early 1972. The lot is located far from (Upper) Canyon Road, and none of the structures are publicly visible. The applicant proposes to remodel, add onto the circular building, construct a free-standing 360 square foot carport, add a patio yard wall between the patio and the new carport. The chicken coop is proposed to be demolished.

The applicant proposes to remodel the guesthouse and add onto the southwest elevation. The 577 square foot addition is rectangular and will be Spanish Pueblo vernacular style with flat roof, stuccoed walls and parapets. Existing guesthouse heights vary from 10'-6" on the south and east elevations to 11'-1" on the west. The applicant proposes to remove all existing "wagon wheel" windows. New doors and windows will be true divided lite aluminum clad wood with a white ("Linen") exterior finish. A small bay window is proposed on the north elevation, which will have a small hipped roof with grey charcoal standing seam metal. Four existing skylights will be raised as needed and a new skylight added. All skylights will not be visible from any angle.

The applicant also proposes to add a 360 square foot carport to the southeast of the guesthouse. The carport will have round wooden posts, vigas, and a flat roof. Wood will be stained to a medium weathered light brown. The carport will be accessed by a new driveway extension to the guesthouse.

A 5'-6" yard will be erected between the patio and the new carport. An outdoor fireplace and low retaining walls will be added.

All stucco will be cementitious El Rey "Adobe" to match existing main house.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>12/20/21</u>		<u>1564 Canyon Road</u>
Property Owner of Record: <u>Kate G. Lopez</u>		Proposed Construction Description:
Applicant/Agent Name: <u>Beverley Spears, FAIA</u>		<u>Remodel 816 g.s.f.; new adobe add. 510 gsf.</u>
Contact Person Phone Number: <u>505 - 690-7745</u>		<u>Carport 360 g.s.f.</u>
Zoning District: <u>R-1</u>		TOTAL ROOF AREA: <u>w/ exist house - 6077sf</u>
Overlay: <input type="checkbox"/> Escarpment		Lot Coverage: <u>6.4 %</u>
<input type="checkbox"/> Flood Zone*		<input type="checkbox"/> Open Space Required: _____
<input checked="" type="checkbox"/> Other: <u>Downtown Eastside Historic</u>		Setbacks:
Submittals Reviewed with PZR:		Proposed Front: <u>284'</u> Minimum: _____
<input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans		2 nd Front? _____
<input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations		Proposed Rear: <u>56'</u> Minimum: _____
Supplemental Zoning Submittals Required for Building Permit:		Proposed Sides: <u>L 284' R 5'</u> Minimum: _____
<input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed <u>12'-0"</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		Maximum Height: _____ or
<input type="checkbox"/> Visibility Triangle Required		<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance
Use of Structure: <input checked="" type="checkbox"/> Residential		<input type="checkbox"/> Regulated by Escarpment District
<input type="checkbox"/> Commercial Type of Use: _____		Parking Spaces:
Terrain: <input type="checkbox"/> 30% slopes <u>No</u>		Proposed <u>5</u> Accessible _____
* Requires an additional review conducted by Technical Review Division.		Minimum: _____
** Requires an additional review conducted by the Traffic Engineering Division.		Bicycle Parking**:
		Proposed: _____ Minimum: _____
		** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Beverley Spears, FAIA [OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE B. Spears

DATE 12/20/21

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: None. Max height of carport at setback proposed is 14'

REVIEWER: Lee Logston DATE: 12/30/2021

Note: This letter revised March 8, 2022
February 15, 2022



SPEARS HORN ARCHITECTS

REMODEL Case
2022-004721-HDRB

Historic Preservation
City of Santa Fe 200
West Marcy Santa
Fe, NM 87501

Kate G. Lopez, owner of a house and guest house at 1564 Canyon Road, is proposing to remodel ~~the existing~~ one-story adobe guest house and add an adobe addition of 577 square feet and a carport of 360 square feet. The proposed building will have a maximum height of 12'-3" above grade. The allowable height for this location to be calculated by your office has not yet been determined I believe.

The existing structure to be remodeled is a round room of 806 square feet. It was built in 1972 and is believed to be non-contributing. It will be insulated, restuccoed, and have new windows and a reused door. An adobe addition of 577 square feet will be attached to the round building. The roof will be concealed by parapets which will also completely conceal new photovoltaic panels on the addition. The maximum height of the addition will be 11'-1" above finish grade. The parapet at the addition will be approximately 14" below the new parapet of the existing round building.

The style of the guesthouse will be a vernacular expression of Santa Fe's Spanish Colonial architecture with flat roof, stuccoed walls and parapets. Doors, windows and exterior trim will be wood with a white exterior finish. Windows and French doors will have true divided lights. No glazing will have a diagonal dimension greater than 30".

Stucco will be cementitious. The color will be El Rey "Adobe". Windows will be by Sierra Pacific and will be wood with aluminum cladding in the off-white color "Linen". The small bay window will have a small hip roof with standing seam metal, color to be dark grey.

The new single-car carport will have round wooden posts, vigas and a flat roof. The wood will all be stained to a light brown. The maximum height of the carport will be 9'-3" above grade.

The wall under the new carport at the patio will be 5'-6" high and stuccoed with El Rey "Adobe" to match the house. The wall between the driveway and the patio will be 3'-0" high and will have a stone cap per the drawings. Two low retaining walls of railroad ties are proposed for the hill adjacent to the new driveway extension.

A dilapidated wooden chicken coop/shed of 494 sf will be demolished.

Wall-mounted sconces will be dark metal or terra cotta and fully shielded.

Thank you for your considered review of this proposed addition and remodeling.

Sincerely,



Beverley Spears, FAIA

**Land Division Survey Plat prepared for
Kate Goodwin Lopez as Trustee of the Kate Goodwin Lopez Residence Trust**

REPLAT OF TRACT A, AS LAST DESCRIBED ON PLAT FILED IN SANTA FE COUNTY CLERK PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829 LYING WITHIN THE SANTA FE GRANT-PROJECTED SECTION 20, T17N, R10E, NMPM LOCATED AT 1564 CANYON ROAD, IN THE CITY OF SANTA FE, COUNTY OF SANTA FE, STATE OF NEW MEXICO, U.S.A.

PURPOSE STATEMENT:
THIS PLAT DIVIDES ONE EXISTING TRACT INTO TWO TRACTS ONE NEW TRACT HAS BEEN CREATED

UTILITY COMPANY APPROVALS:

Handwritten signatures and dates for utility approvals:
QUEST COMMUNICATIONS: 10/4/09
PJM ELECTRIC: 10-6-09
NM GAS COMPANY: 10-12-09
COMCAST CABLE: 10-17-09

Guest Communications, Inc. The client has been approved for general purposes only. The signature of the engineer is required for all purposes.

OWNERS CONSENT

THE UNDERSIGNED OWNER-KATE LOPEZ DOES HEREBY CONSENT TO THE SURVEY OF LANDS SHOWN HEREON. THIS LOT SPLIT SURVEY IS BEING MADE WITH HER FREE CONSENT AND IS IN ACCORDANCE WITH HER DESIRES AND WISHES. ALL EASEMENTS ARE HEREBY GRANTED AS SHOWN. THESE LANDS LIE WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, STATE OF NEW MEXICO. EASEMENTS ARE HEREBY GRANTED FOR ALL EXISTING UTILITIES.

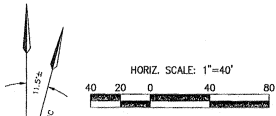
Kate Goodwin Lopez 10-20-09
KATE GOODWIN LOPEZ
TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST

STATE OF NEW MEXICO
COUNTY OF SANTA FE
I, *Michelle Matyja*, my COMMISSION EXPIRES: *May 13, 2011*

DOCUMENTS OF REFERENCE

NOTE: RECORDING DATA SHOWN BELOW REFERS TO FILING IN THE OFFICE OF THE COUNTY CLERK, SANTA FE COUNTY, NEW MEXICO.

1. SURVEY ENTITLED "SURVEY OF PROPERTY LINE BETWEEN TRACTS A & B FOR MARTHA WICKHAM-WARD, D. DIVISION E, N. MEZ.", BY JACK S. HORNE NMPELS NO. 889, FILED ON AUGUST 23, 1962, IN PLAT BOOK 9, PAGE 76, AS DOCUMENT NO. 258,829.
2. SURVEY ENTITLED "PLAT OF BOUNDARY SURVEY FOR JAMES P. BERESFORD & MARILYN BERESFORD, BY PHILIP B. WEGEL NMP NO. 9758, FILED ON DECEMBER 15, 2003, AS INSTRUMENT NO. 1305,581
3. SURVEY ENTITLED "BOUNDARY SURVEY AND LOT LINE ADJUSTMENT FOR VESTOR HOLDINGS, INC., BY DAVID E. COOPER NMP NO. 9052, FILED ON FEBRUARY 20, 2008, IN PLAT BOOK 676, PAGE 014, AS INSTRUMENT NO. 1515,927.
4. SURVEY ENTITLED "LOT SPLIT FOR DAVID R. & MARTHA C. AGNEW.", BY MITCHEL K. NOONAN NMP NO. 6998, FILED ON JUNE 19, 1986, IN PLAT BOOK 165, PAGE 001, AS DOCUMENT NO. 595,566.
5. DEED OF TRUSTEE, KATE GOODWIN LOPEZ, TRUSTEE OF THE LOPEZ FAMILY INTER VIVOS TRUST TO KATE GOODWIN LOPEZ, TRUSTEE OF THE KATE GOODWIN LOPEZ RESIDENCE TRUST, FILED ON DECEMBER 20, 2007, AS INSTRUMENT NO. 1510,140.



LEGEND
 ○ SURVEY MONUMENT FOUND
 ⊙ SURVEY MONUMENT SET
 1/2" REBAR STAKE W/CAP STAMPED LS-13604
 ○ SURVEY POINT COMPUTED NOT SET

I CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED UNDER MY DIRECTION IN DECEMBER 2008 AND IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, CORRECT AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS

Paul A. Armijo SEPTEMBER 28, 2009
 PAUL A. ARMILJO, N.M.P.S. NO. 13604 DATE



NEW WATERLINE EASEMENT LINE DATA

E1-52047.94"E 81.70'
E2-52731.33"E 48.43'
E3-52004.35"W 28.14'
E4-51110.37"E 40.48'
E5-53970.43"E 32.14'
A1-54755.26"W 78.23'
A2-52708.30"W 23.01'
A3-52524.74"W 68.61'
A4-5845.10"W 33.40'
A5-58427.10"W 39.80'
A6-58945.45"W 12.80'
A7-584407.00"W 31.00'
A8-58443.34"W 41.12'
A9-53094.33"W 24.22'
A10-53276.37"W 19.61'
A11-51807.51"W 32.00'
A12-50524.31"W 21.67'
A13-54319.29"W 13.14'
A14-52930.42"W 13.12'

NEW ACCESS EASEMENT LINE & CURVE DATA

L1-58746.24"E 16.10'
L2-58754.48"E 51.70'
L3-55917.29"E 30.30'
L4-58623.25"E 50.31'
L5-58746.24"E 15.04'
L6-55242.06"E 9.76'
L7-58687.00"W 2.91'
C1- A=5058.18" R=112.49" L=88.62'
C2- A=5052.22" R=90.72" L=68.12'
C3- A=5056.29" R=94.66" L=66.78'
C4- A=5053.17" R=78.57" L=112.11'
C5- A=5053.34" R=81.103.06'
L8-58429.23"E 60.73'
L9-58450.00"E 32.10'
L10-53954.37"E 37.94'

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER: THE KATE GOODWIN LOPEZ RESIDENCE TRUST
 DEED OF TRUSTEE, INSTRUMENT NO. 1510,140
 LOCATION: TRACT A, PLAT BOOK 9, PAGE 76
 DOCUMENT NO. 258,829
 WITHIN THE SANTA FE GRANT
 PROJECTED SECTION 20, T17N, R10E, NMPM
 1564 CANYON ROAD, CITY OF SANTA FE
 SANTA FE COUNTY, NEW MEXICO

ARMILJO SURVEYS INC.
 PAUL A. ARMILJO N.M.P.S. NO. 13604
 P.O. BOX 24438, SANTA FE, NEW MEXICO 87502-9438
 PH. (505) 471-1955 FAX. (505) 471-1925

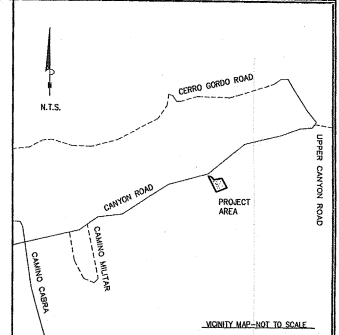
LAND DIVISION SURVEY PLAT PREPARED FOR
 KATE GOODWIN LOPEZ AS TRUSTEE OF
 THE KATE GOODWIN LOPEZ RESIDENCE TRUST

DRAWN BY: P.A.A. DATE: DEC. 2008
 JOB NO.: 2804062 SHEET NO. 1 OF 1

CITY OF SANTA FE
 CONTROL MONUMENT NO. SFC-110
 ALUM. DISC. IN CONC. BASE



Document No. 1582541
 COUNTY CLERK'S INSTRUMENT BLOCK
 COUNTY OF SANTA FE, STATE OF NEW MEXICO
 I hereby certify that this instrument was filed
 for record on the 6 day of Nov A.D. 2009
 at 2:15 o'clock P.m. and was duly recorded in
 Book 710 Page 023 of the Records of
 Santa Fe County
 Witness My Hand and Seal of Office
 VALERIE ESPINOZA
 County Clerk, Santa Fe County, New Mexico
Philip M. Buziga
 DEPUTY



710023 CITY OF SANTA FE REVIEW

BY *Paul A. Armijo* 11/4/09
 CITY MANAGER REVIEWED ON
Risam Bawa 11/6/09
 CITY ENGINEER FOR LAND USE REVIEWED ON
 APPROVED BY THE SUMMARY COMMITTEE
 AT THEIR MEETING OF: JUNE 4, 2009 SP-2009-01
 CASE NO. 10-50-09
 CHAIRMAN: *Michelle Matyja* DATE 10/21/09
 SECRETARY: *Michelle Matyja* DATE 10/21/09

DEVELOPMENT NOTES

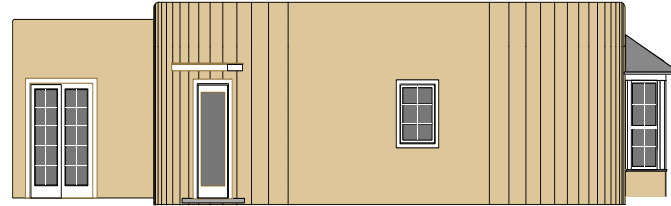
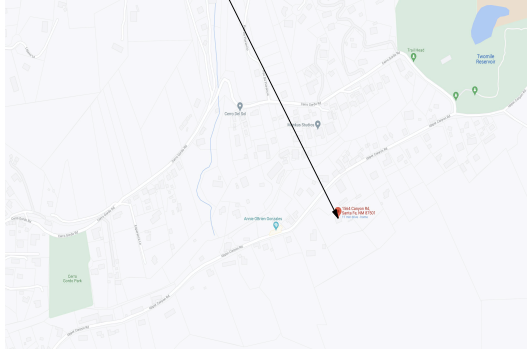
1. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCO 2001 AND SUBSEQUENT AMENDMENTS.
2. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO PLAT AND/OR DEVELOPMENT PLAN RECORDING WITH THE COUNTY CLERK OR SUBMITTAL FOR A BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISION OF CHAPTER 14, LAND DEVELOPMENT CODE AND SUBSEQUENT AMENDMENTS.
3. BUILDABLE AREAS FOR PLATTED PARCELS WILL BE DETERMINED AT THE TIME BUILDING PERMIT APPLICATION AS DETAIL IN THE LAND DEVELOPMENT CODE. ANY BUILDABLE AREAS SHOWN HEREON ARE SUBJECT TO RELOCATION PER CODE REQUIREMENTS.
4. APPLICANT IS REQUIRED TO OBTAIN APPROVAL FROM THE MAYORDOMO OF THE ACEQUIAS FOR ANY DEVELOPMENT PERMITS.
5. PRIOR TO ANY NEW CONSTRUCTION A FIRE ACCESS ROAD IN ACCORDANCE WITH CHAPTER 14 OF THE SANTA FE CITY CODE AND THE INTERNATIONAL FIRE CODE SHALL BE PROVIDED. FIRE ACCESS ROAD REQUIREMENTS SHALL ADDRESS WIDTH, GRADE AND TURNAROUNDS.
6. ARCHEOLOGICAL CLEARANCE IS NOT NEEDED AT THIS TIME, BUT WILL BE REQUIRED FOR BOTH LOTS ONCE ANY GROUND DISTURBANCE IS PROPOSED SINCE THE LOTS WILL EACH BE OVER 2 ACRES AND ARE LOCATED IN THE RIVER AND TRAIL ARCHEOLOGICAL REVIEW DISTRICT.
7. AT THE TIME OF BUILDING PERMIT APPLICATIONS PROPOSED HEIGHTS OF ALL STRUCTURES SHALL BE EVALUATED FROM EXISTING GRADE FOR NEW STRUCTURES.
8. THE LOT AT HIGHER ELEVATION WILL HAVE LOW WATER PRESSURE AND MAY REQUIRE A BOOSTER PUMP FOR SERVICE.

SURVEYORS NOTES

1. DATA IN 1-PARENTHESIS () TAKEN FROM REFERENCE DOCUMENT 1.
2. DATA IN 2-PARENTHESIS (() TAKEN FROM REFERENCE DOCUMENT 2.
3. DATA IN 3-PARENTHESIS ((() TAKEN FROM REFERENCE DOCUMENT 3.
4. SFC ASSESSOR UPC NO. FOR THIS PROPERTY: 1-056-099-350-035.
5. COMMENT FOR TITLE INSURANCE ON THIS PROPERTY ISSUED BY: TERRITORIAL ABSTRACT & TITLE CO., INC. FILE NO. 0001280 GK.
6. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NO. 35048C0417D, DATED JUNE 17, 2008.
7. DATA SHOWN ON ADJOINING PROPERTIES IS BACKGROUND OR INFORMATIONAL IN NATURE AND IS NOT A SURVEY OF ADJOINING PROPERTIES.
8. DATE OF FIELD SURVEY: DECEMBER 10, 2008.
9. ALL NATURAL DRAINAGE WAYS ARE TO BE LEFT UNIMPEDDED FOR NATURAL STORM WATER FLOW.
10. AREA OF ENTIRE PROPERTY BY THIS SURVEY: 196,016 SQ. FT. ± OR 4,500 ACRES ±, AREA ON PRIOR SURVEY-REF. DOC. 1: 4,500 ACRES ±.

LOPEZ ADDITION

PROJECT LOCATION
1564 CANYON ROAD
SANTA FE, NM 87501



GENERAL NOTES

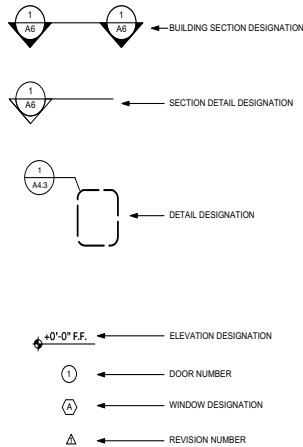
1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR DISCOVERED LATENT CONDITIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS THEMSELVES, DETAILS OR SPECIFICATIONS, THE CONTRACTOR SHALL SUPPLY THE MORE EXPENSIVE OR GREATER METHOD AND MATERIAL. NOTIFY THE ARCHITECT IF DISCREPANCIES ARE FOUND.

2. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING HIS OWN DEFECTIVE WORK, AS WELL AS PAYING ALL INCIDENTAL COSTS INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS, AND EQUIPMENT.

3. DRAWINGS ARE NOT TO BE SCALED. ALL WORK LINES, AND LEVELS SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE BEGINNING HIS PORTION OF THE WORK.

4. IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS ON FOUNDATION PLAN / FRAMING PLANS AND DIMENSIONS ON ARCHITECTURAL PLAN OR ANY OTHER DRAWING, BRING TO ARCHITECT'S ATTENTION PROMPTLY.

LEGEND



DRAWING INDEX (16 sheets total)

CS	COVER SHEET
	LAND DIVISION SURVEY PLAT 10/09
	TOPOGRAPHIC SURVEY 07/21
L1	SITE PLAN 1 : 240
L2	GRADING AND DRAINAGE 1 : 60
A1	EXISTING FLOOR PLAN / SECTION / ELEVATION / ROOF PLAN 1/4" = 1'-0"
A2	FOUNDATION PLAN 1/4" = 1'-0"
A3	FLOOR PLAN 1/4" = 1'-0"
A4	FRAMING PLAN / ROOF PLAN 1/4" = 1'-0"
A5	EXTERIOR ELEVATIONS 1/4" = 1'-0"
A6	INTERIOR ELEVATIONS 1/4" = 1'-0"
A7	WALL SECTIONS 3/4" = 1'-0"
A8	DOOR & WINDOW DETAILS
A9	DOOR & WINDOW SCHEDULES
M1	MECHANICAL PLAN / PLUMBING SCHEDULE 1/4" = 1'-0"
E1	ELECTRICAL PLAN 3/8" = 1'-0"

PROJECT DATA

CLIENT:
KATIE LOPEZ
1564 CANYON ROAD
SANTA FE, NM 87501

BUILDER:
TBD

SCOPE OF WORK:
ADDITION, RENOVATION AND ASSOCIATED SITEWORK

APPLICABLE CODES:
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2009 NM ENERGY CONSERVATION CODE
2012 NM PLUMBING AND MECHANICAL CODE
2012 UNIFORM MECHANICAL CODE (IAPMO)
2012 UNIFORM PLUMBING CODE (IAPMO)
2014 NM ELECTRICAL CODE
2014 NATIONAL ELECTRICAL CODE
2012 NATIONAL ELECTRICAL SAFETY CODE

PROJECT ADDRESS:
1564 CANYON ROAD
SANTA FE, NM 87501

AREAS:

EXISTING	MAIN HOUSE	= ±	2999 GSF
	GUEST HOUSE	= ±	806 GSF
	GARAGE	= ±	1392 GSF
	SHED	= ±	380 GSF
TOTAL EXISTING COVERED:		= ±	5577 GSF
	REMOVE SHED	= ±	-380 GSF
	NEW ADDITION	= ±	577 GSF
	NEW CARPORT	= ±	360 GSF
TOTAL COVERED:		= ±	6134 GSF
	EXISTING DRIVEWAY	= ±	9828 SF
	NEW DRIVEWAY	= ±	2640 SF
TOTAL DRIVEWAY		= ±	12,468 SF

LOT SIZE: 2.167 ACRES / 94,380 SF

LOT COVERAGE = ± 5.5 %
NEW LOT COVERAGE = ± 6.5 %

OCCUPANCY GROUP: R - RESIDENTIAL / SINGLE FAMILY

ZONING: R-1
TOWNSHIP / RANGE / SECTION: SEC 20, T 17N, R 10E

Topographic Survey of
a portion of
Tract A-1
for Kate G. Lopez

1564 Canyon Road
City and County of Santa Fe,
New Mexico

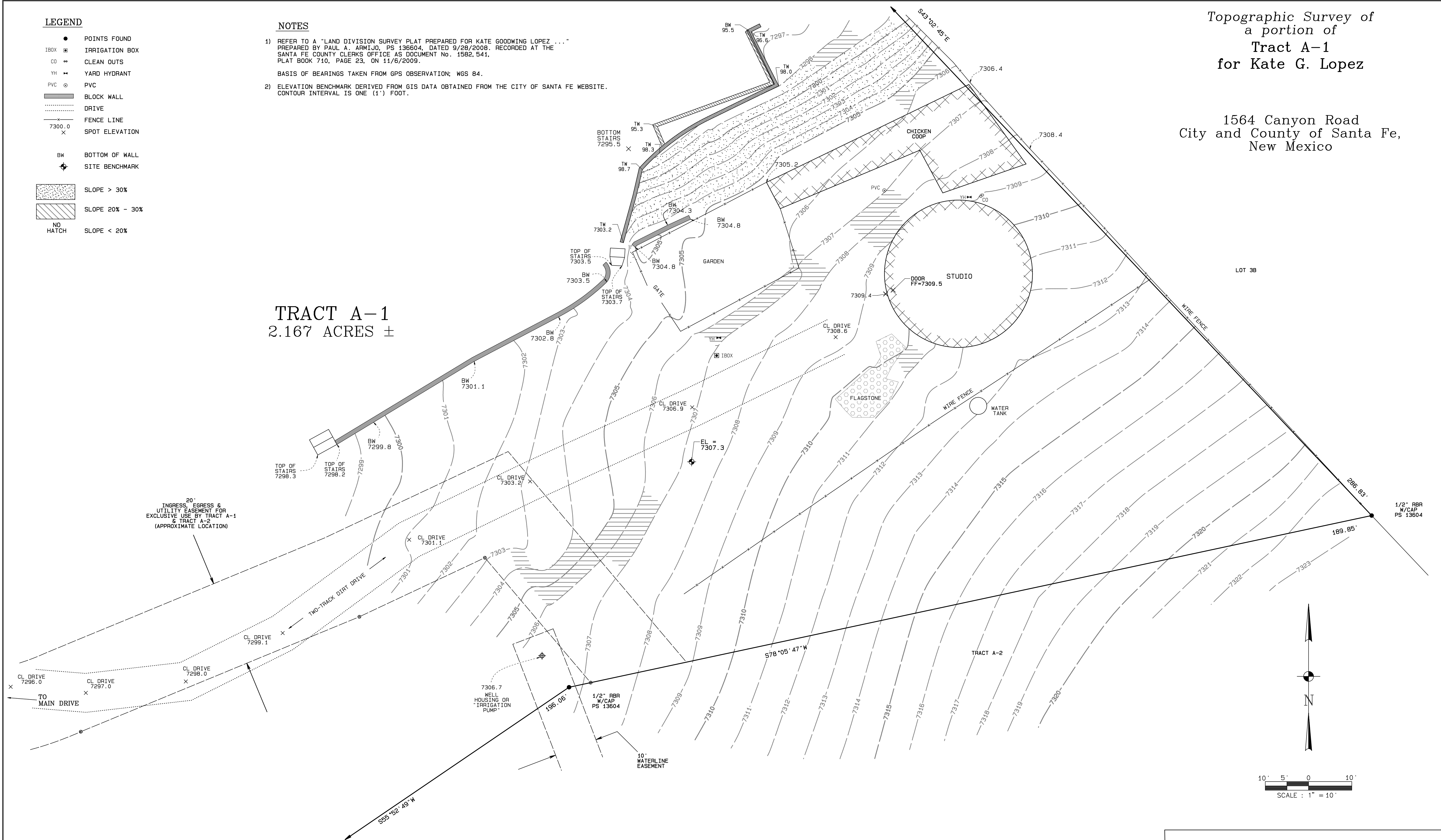
LEGEND

- POINTS FOUND
- IBOX □ IRRIGATION BOX
- CO → CLEAN OUTS
- YH → YARD HYDRANT
- PVC ○ PVC
- █ BLOCK WALL
- ⋯ DRIVE
- - - FENCE LINE
- 7300.0 X SPOT ELEVATION
- BW ○ BOTTOM OF WALL
- ◆ SITE BENCHMARK
- ▨ SLOPE > 30%
- ▩ SLOPE 20% - 30%
- NO HATCH SLOPE < 20%

NOTES

- 1) REFER TO A "LAND DIVISION SURVEY PLAT PREPARED FOR KATE GOODWING LOPEZ . . ." PREPARED BY PAUL A. ARMIJO, PS 136604, DATED 9/28/2008. RECORDED AT THE SANTA FE COUNTY CLERKS OFFICE AS DOCUMENT No. 1582,541. PLAT BOOK 710, PAGE 23, ON 11/6/2009.
BASIS OF BEARINGS TAKEN FROM GPS OBSERVATION; WGS 84.
- 2) ELEVATION BENCHMARK DERIVED FROM GIS DATA OBTAINED FROM THE CITY OF SANTA FE WEBSITE. CONTOUR INTERVAL IS ONE (1') FOOT.

TRACT A-1
2.167 ACRES ±



Surveyors Certificate

I HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY AND THE NOTES SHOWN HEREON WERE PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND ARE A TRUE & ACCURATE REPRESENTATION OF A FIELD SURVEY WHICH WAS COMPLETED ON 7/1/2021, TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF. THIS TOPOGRAPHIC SURVEY MEETS OR EXCEEDS THE "MINIMUM STANDARDS FOR LAND SURVEYING IN NEW MEXICO."



DEAN L. SHRADER NEW MEXICO PROFESSIONAL SURVEYOR No. 12451

THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA, EASEMENTS, DEVELOPABLE AREA, AND SETBACKS SHOWN (IF ANY) ARE SHOWN FOR ORIENTATION ONLY & ARE TAKEN FROM RECORD DOCUMENTS AND THOSE DOCUMENTS NOTED HEREON.

OWNER	SECTION	TWNSHP.	RANGE	LOCATION
LOPEZ	S 20	T 17 N	R 10 E	1564 CANYON ROAD

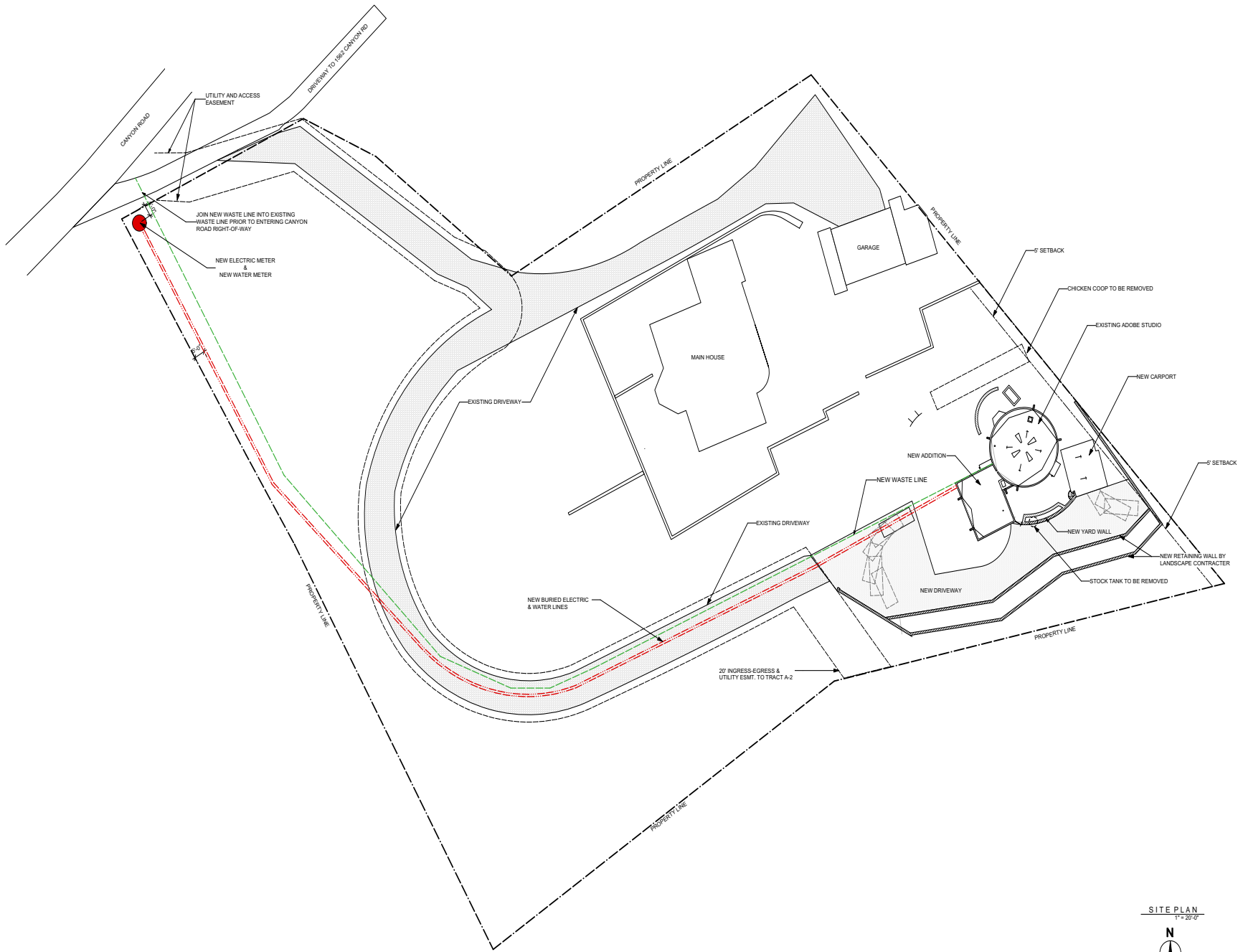
HIGH DESERT SURVEYING, INC.
PROFESSIONAL SURVEYING

1925 ASPEN DRIVE, SUITE 401
SANTA FE, NM. 87505
PHONE: (505) 438-8094
FAX: (505) 424-1709

S:\21210\21210.dwg
Tue, Jul 13, 2021

DWG. NAME: TOPO TRACT A-1

PROJECT No. 21210



SITE PLAN
1" = 20'-0"

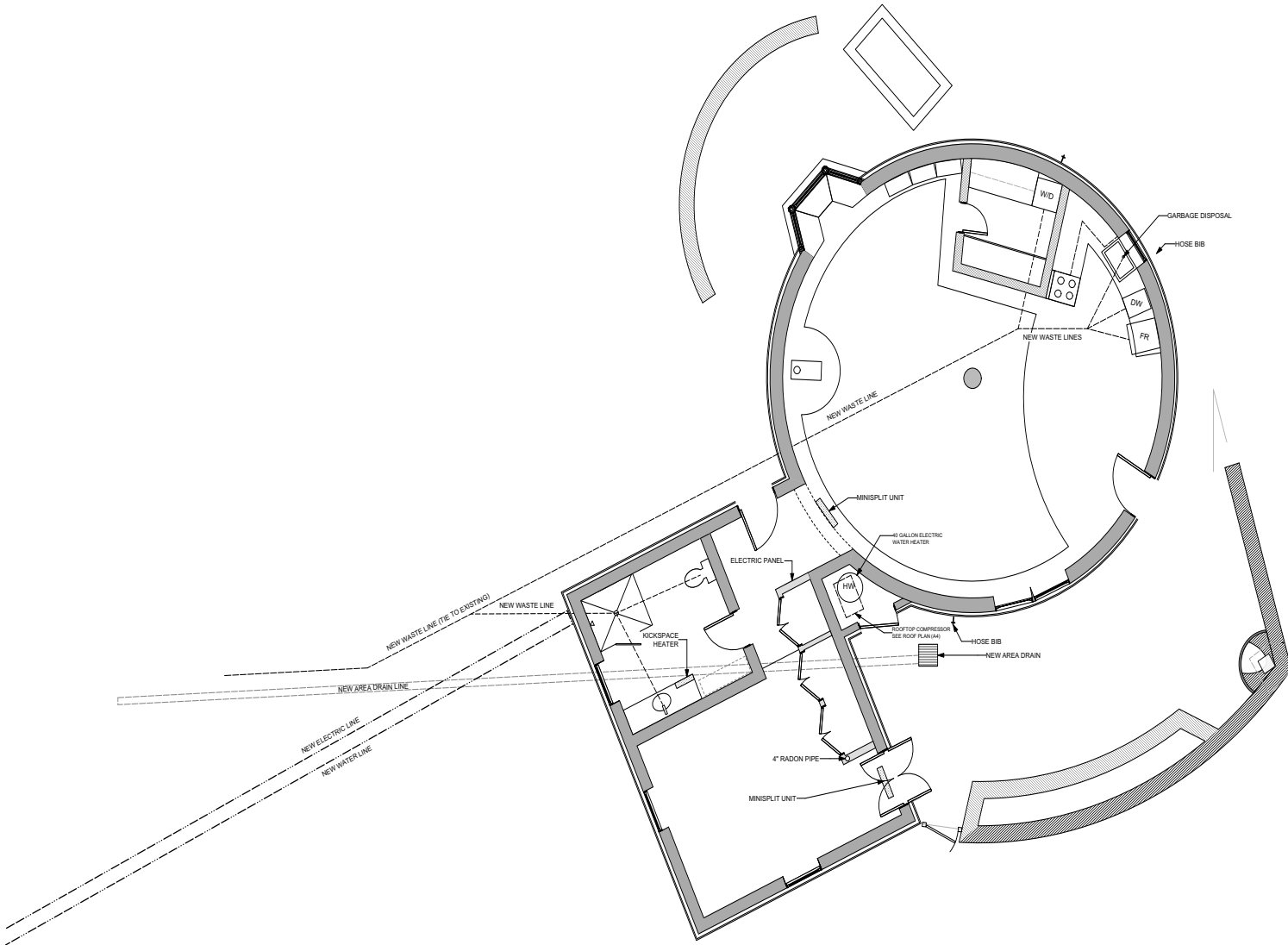


LOPEZ ADDITION
 1564 CANYON ROAD, SANTA FE, NEW MEXICO 87501

December, 17, 2021

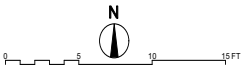
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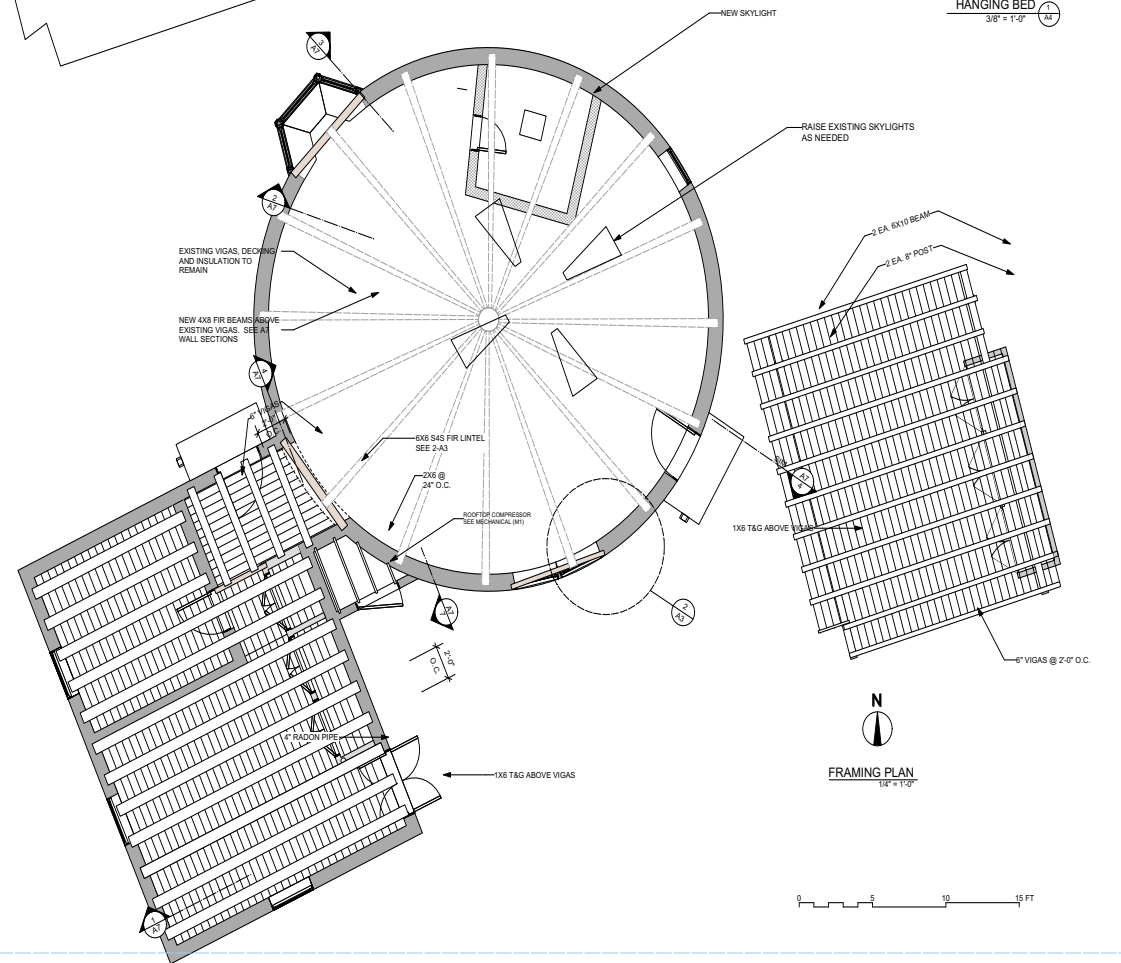
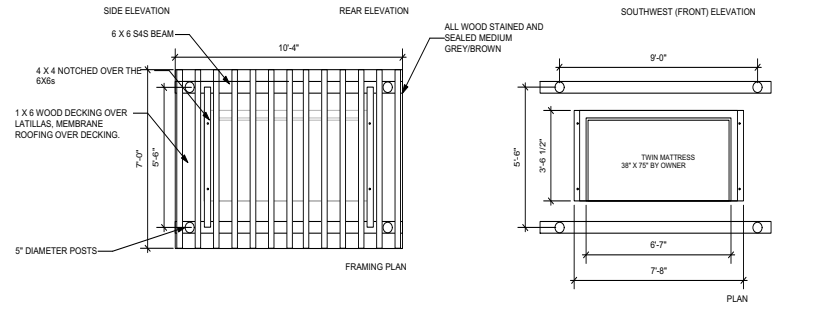
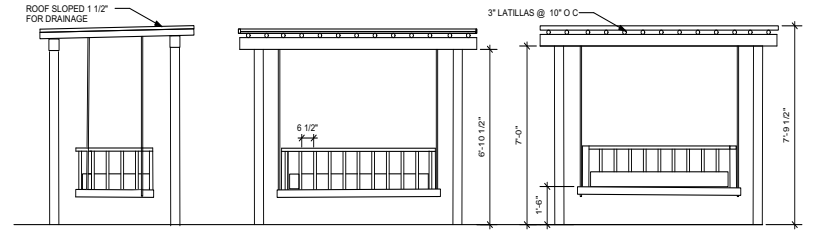
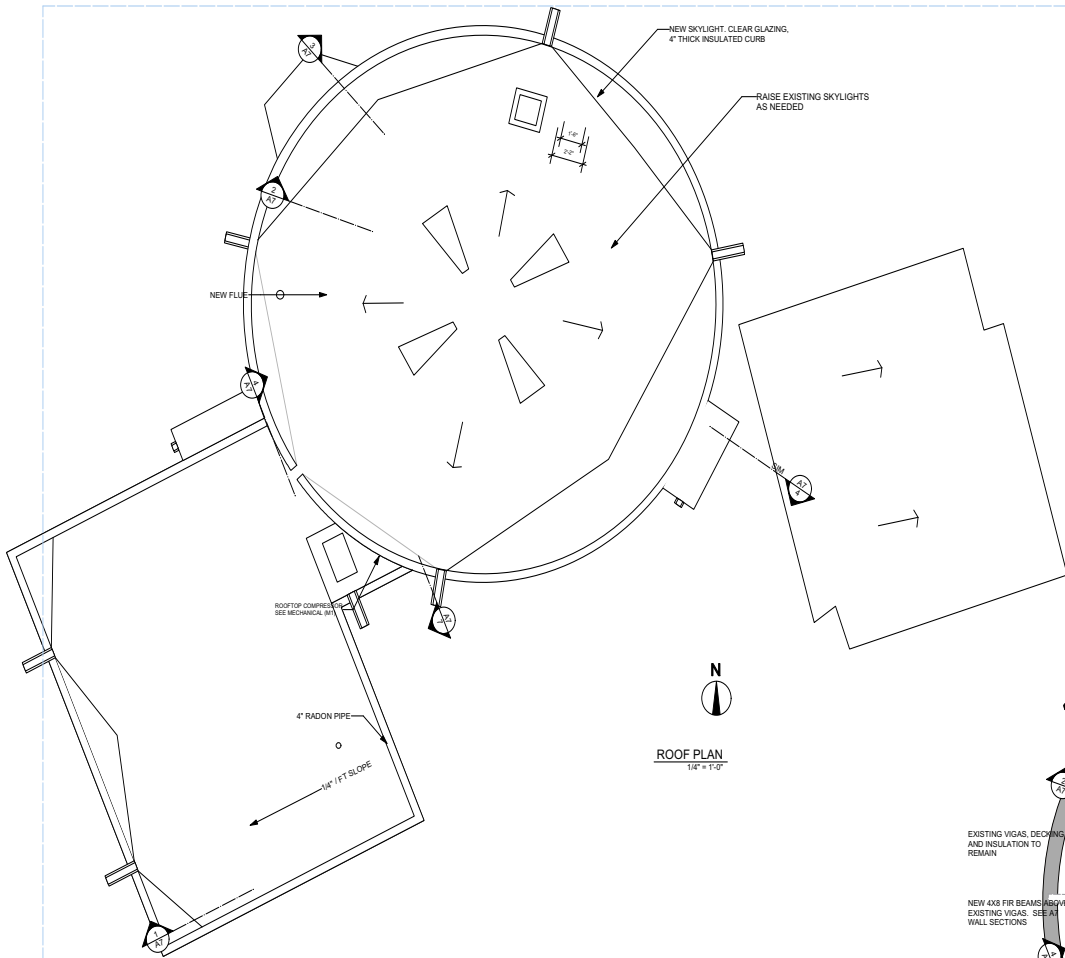
L1

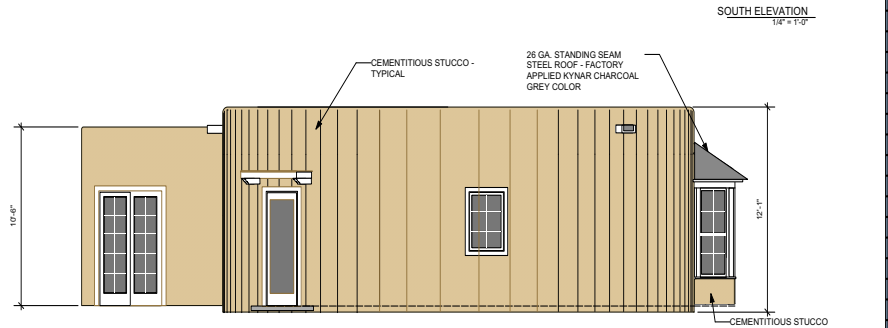
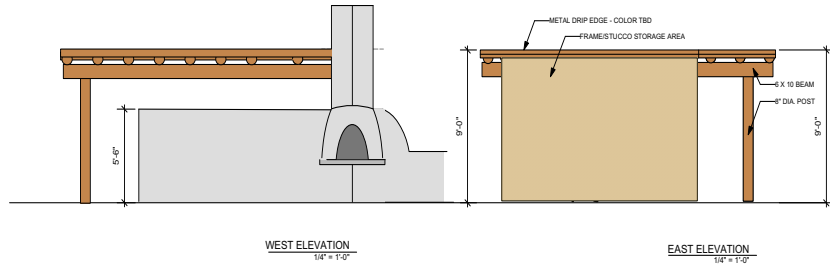
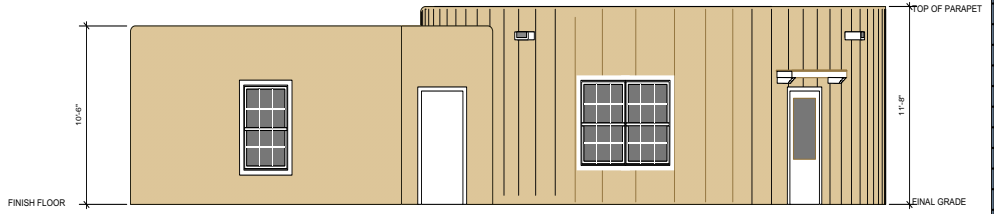
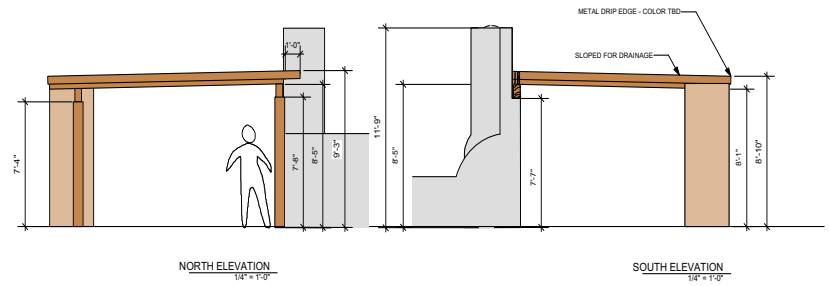
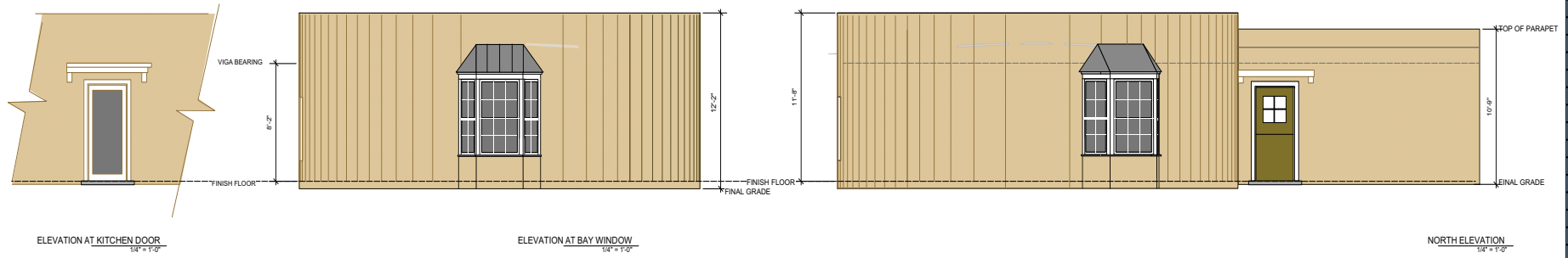


NOTES:
 1. ALL PLUMBING FIXTURES AND FITTINGS TO BE DETERMINED. ALL TO COMPLY W/ WATER CONSERVATION REGULATIONS
 2. HOT WATER LINES W/ RECIRCULATING PUMP HOT WATER W/ MAXIMUM INSULATION

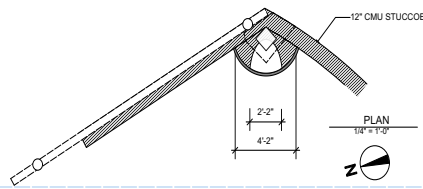
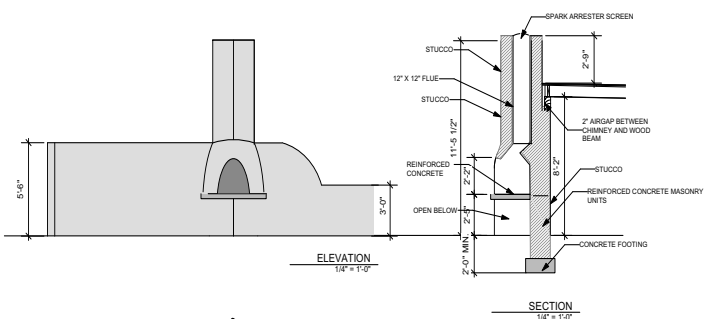
MECHANICAL PLAN
 1/8" = 1'-0"



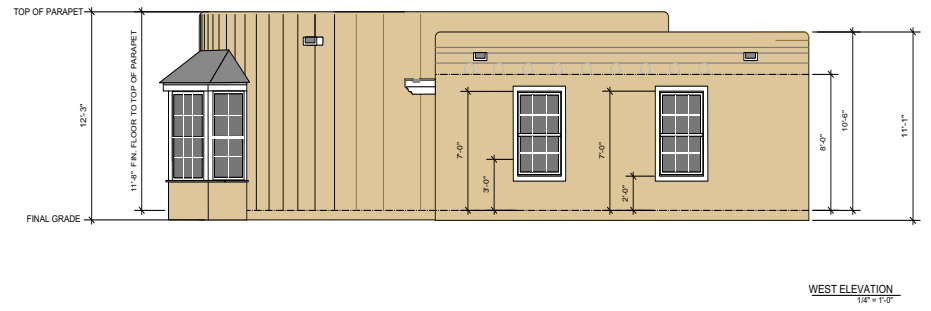


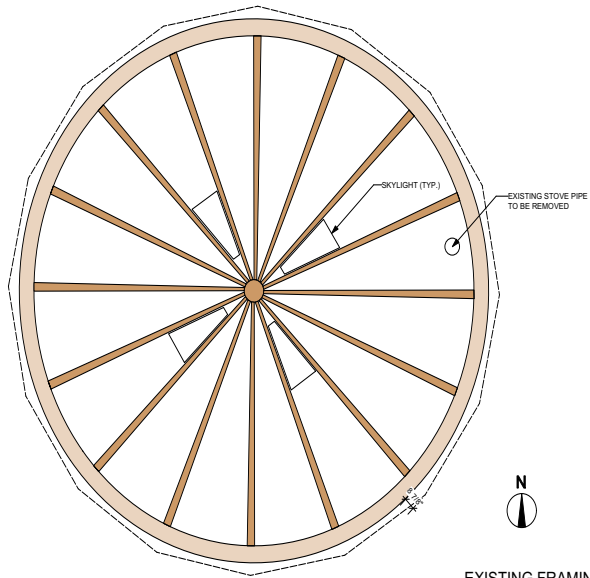


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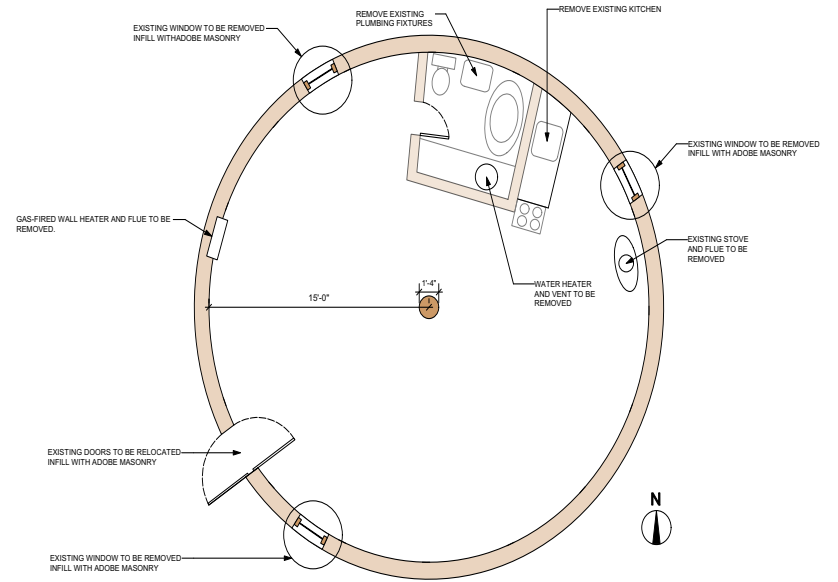


FIREPLACE

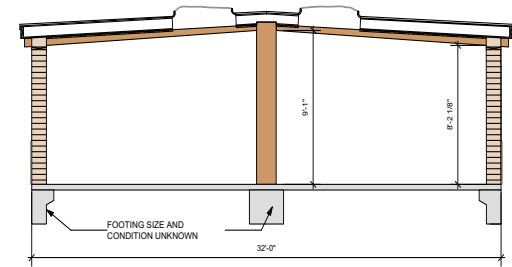




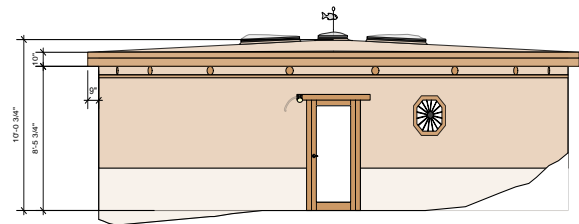
EXISTING FRAMING 4
1/4" = 1'-0" A1



EXISTING PLAN 3
1/4" = 1'-0" A1

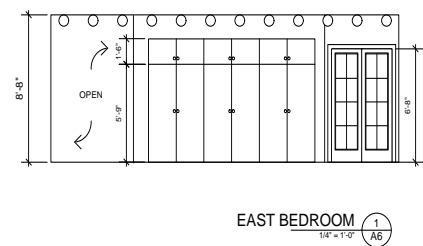
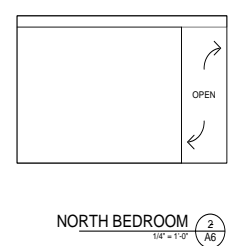
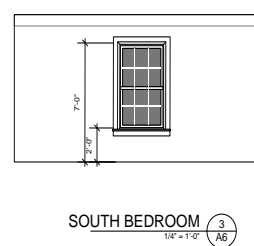
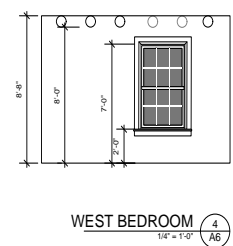
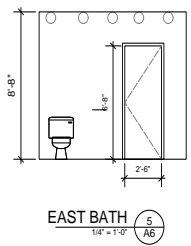
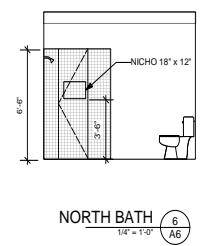
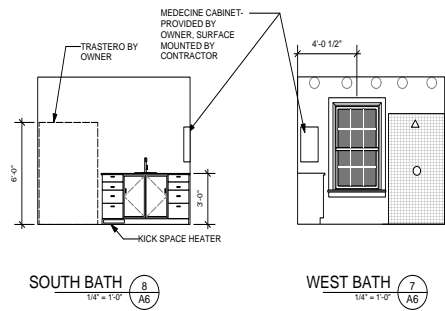
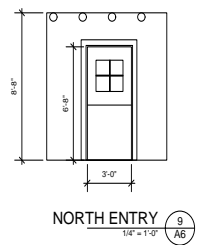
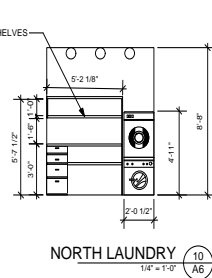
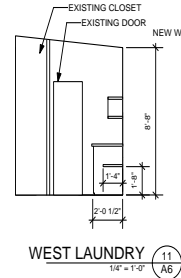
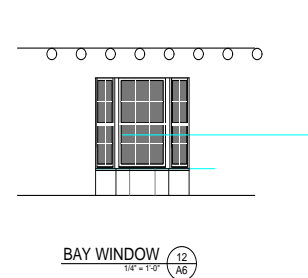
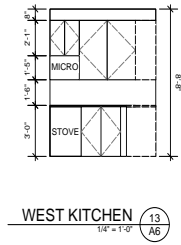
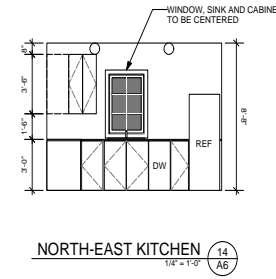
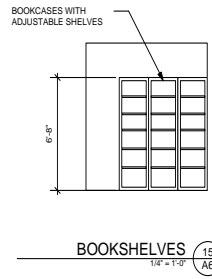


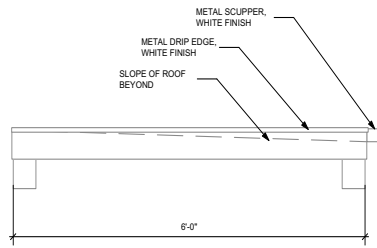
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1/4" = 1'-0" A1



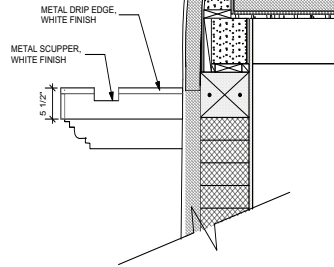
EXISTING SOUTHWEST ELEVATION 1
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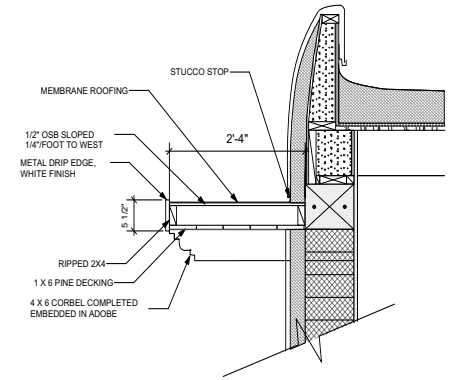




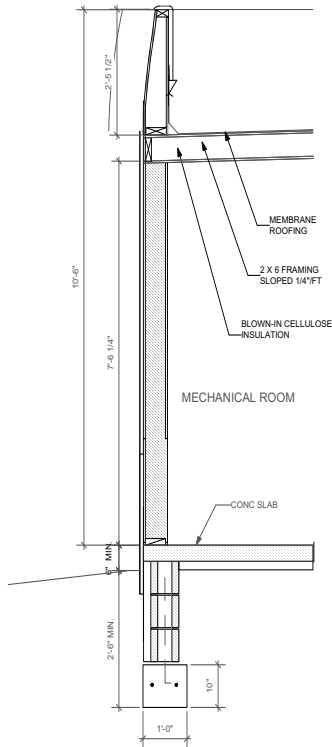
FRONT ELEVATION AT FRONT DOOR OVERHANG 6
Scale: 1" = 1'-0" A7



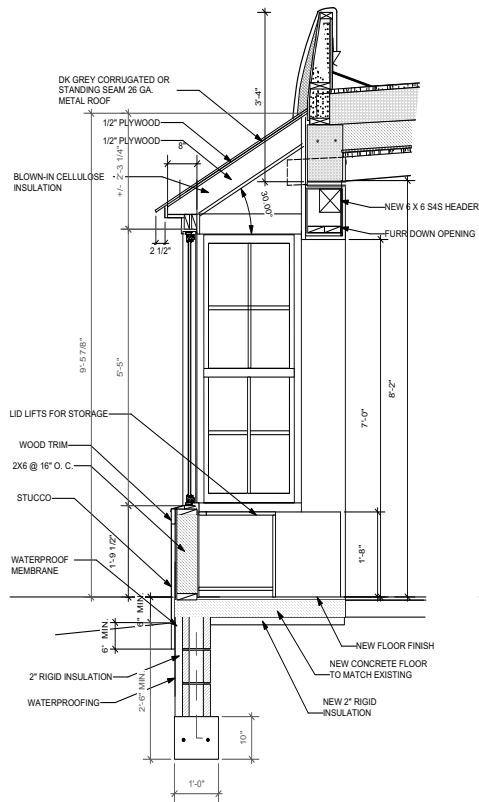
WEST ELEVATION AT FRONT DOOR OVERHANG 5
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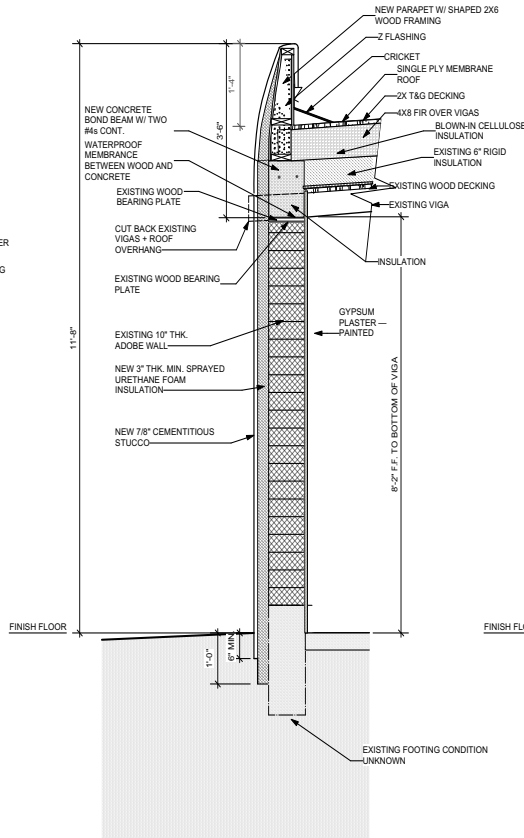
SECTION AT FRONT DOOR OVERHANG 4
Scale: 1" = 1'-0" A7



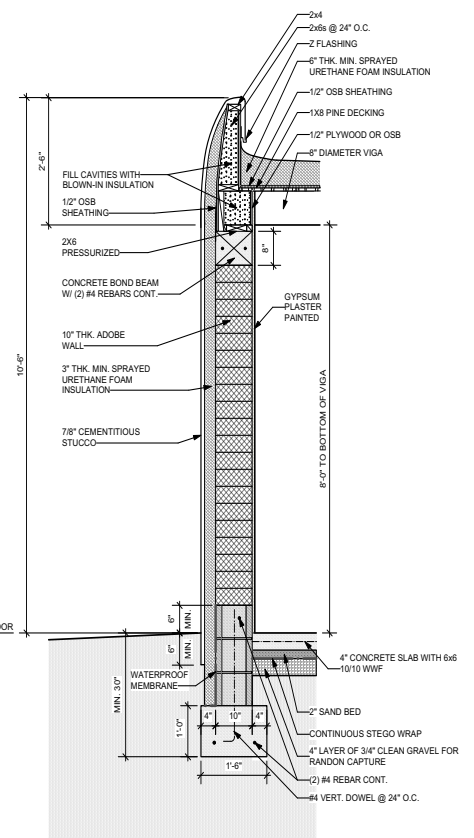
SECTION AT MECH. ROOM 7
Scale: 3/4" = 1'-0" A7



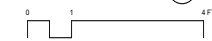
SECTION AT BAY WINDOW 3
Scale: 3/4" = 1'-0" A7

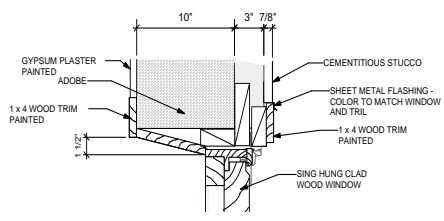


WALL SECTION AT EXISTING STRUCTURE 2
Scale: 3/4" = 1'-0" A7

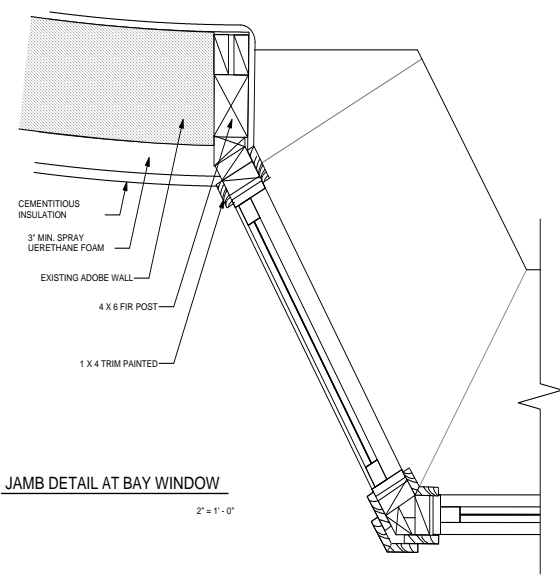


WALL SECTION AT ADDITION 1
Scale: 3/4" = 1'-0" A7

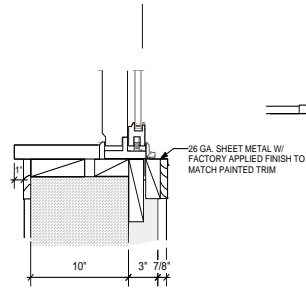




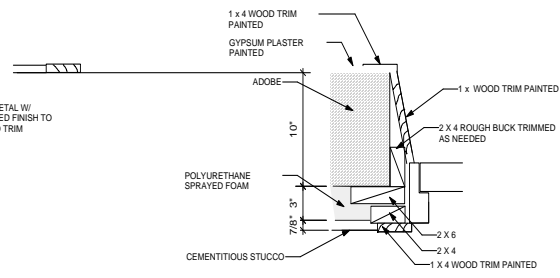
TYPICAL WINDOW HEAD DETAIL
 2" = 1'-0"



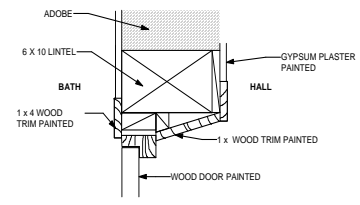
JAMB DETAIL AT BAY WINDOW
 2" = 1'-0"



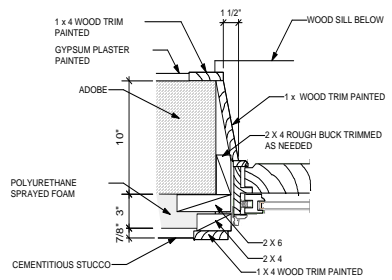
TYPICAL WINDOW SILL DETAIL
 HEAD SIMILAR 2" = 1'-0"



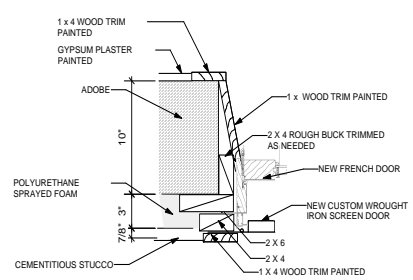
FRONT DOOR JAMB DETAIL
 HEAD SIMILAR 2" = 1'-0"



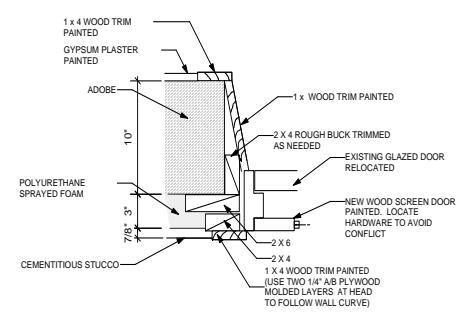
BATHROOM DOOR HEAD DETAIL
 JAMB SIMILAR 2" = 1'-0"



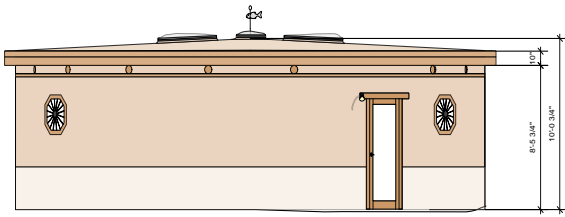
TYPICAL WINDOW JAMB DETAIL
 HEAD SIMILAR 2" = 1'-0"



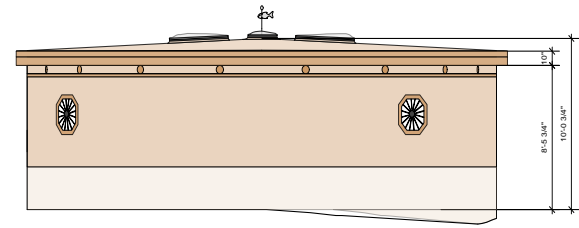
BEDROOM DOOR JAMB DETAIL
 HEAD SIMILAR 2" = 1'-0"



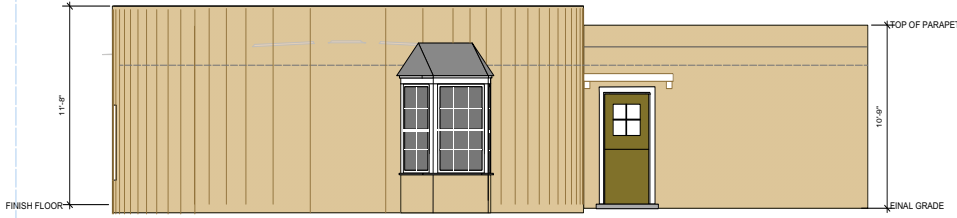
KITCHEN DOOR JAMB DETAIL
 HEAD SIMILAR 2" = 1'-0"



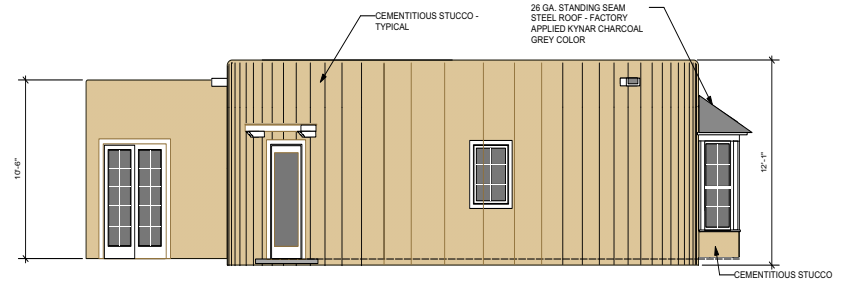
EXISTING NORTH ELEVATION
1/4" = 1'-0"



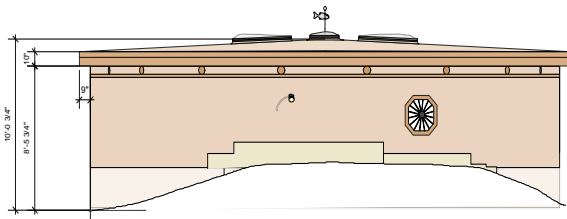
EXISTING EAST ELEVATION
1/4" = 1'-0"



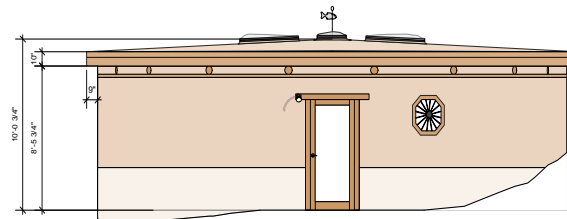
NORTH ELEVATION
1/4" = 1'-0"



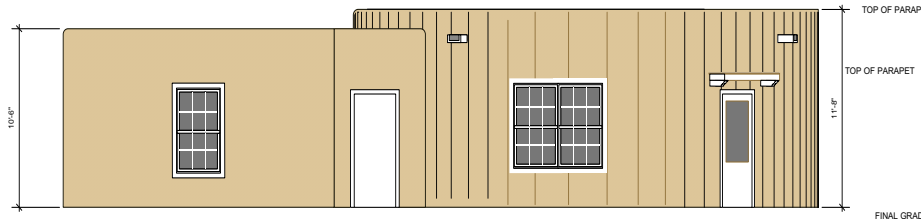
EAST ELEVATION
1/4" = 1'-0"



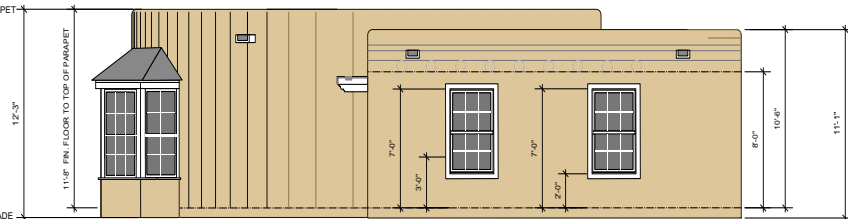
EXISTING SOUTH ELEVATION
1/4" = 1'-0"



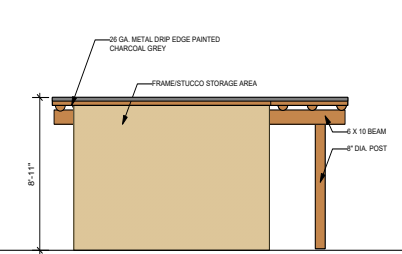
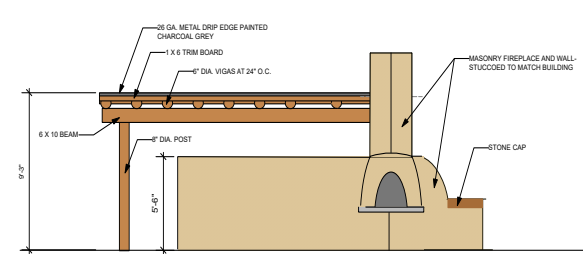
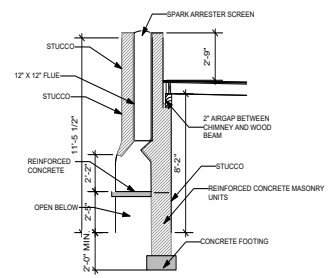
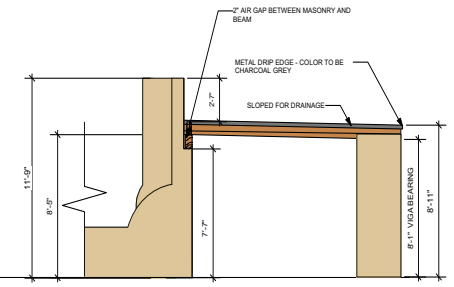
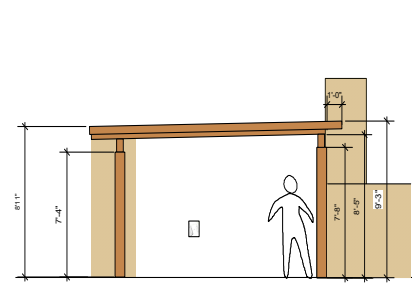
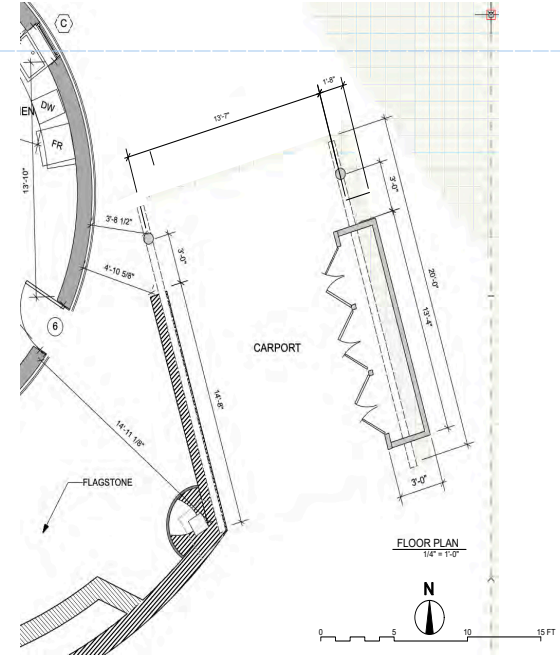
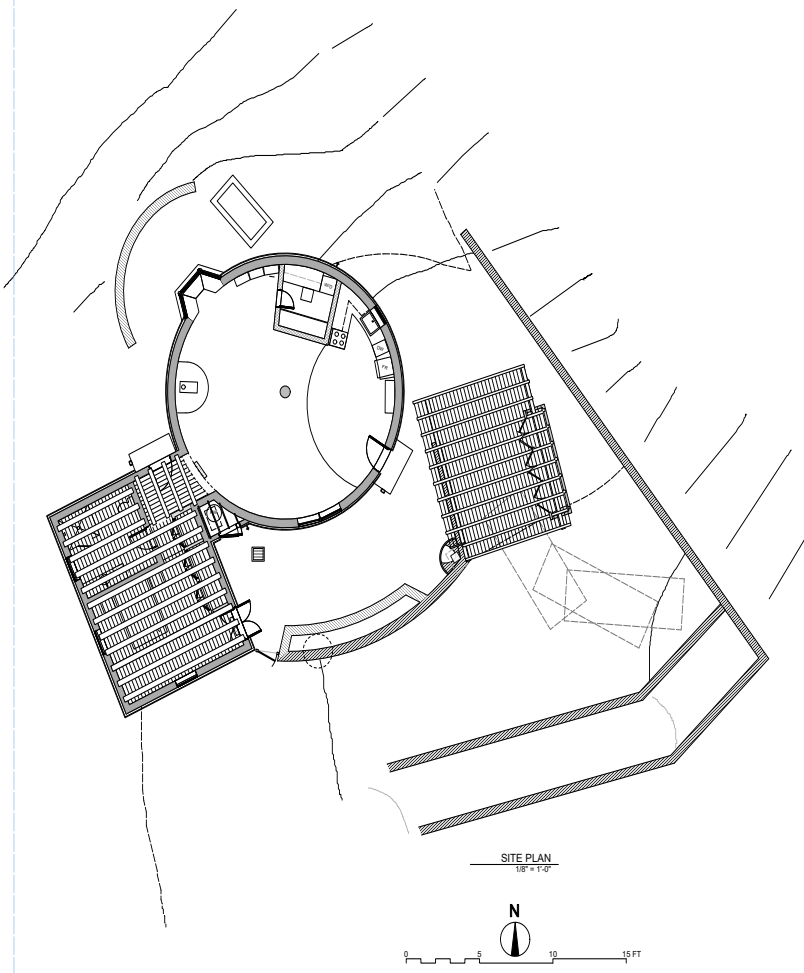
EXISTING WEST ELEVATION
1/4" = 1'-0"



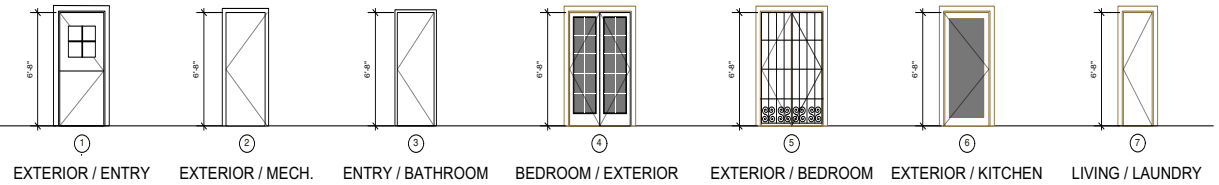
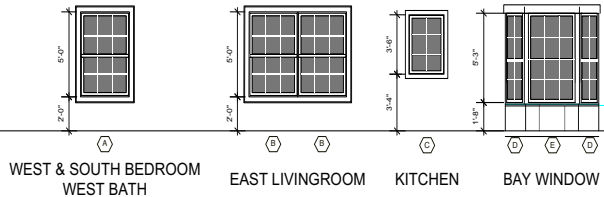
SOUTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"



CARPORT



WINDOW SCHEDULE

ITEM	LOCATION	QTY.	TYPE	OPERATION	FINISH	MANUFACTURER	UNIT SIZE (W x H)	SILL	GLAZE	HT. ABOVE F.F.		REMARKS
										HEAD	SILL	
(A)	BATHROOM & BEDROOM	3 EA	METAL CLAD WOOD	SINGLE HUNG	EXTERIOR - "LINEN" INTERIOR - PAINT	SIERRA PACIFIC	3'-0" W x 5'-0" H	WOOD	1" DBL GLAZE INSUL. LOW-E	7'-0"	2'-0"	DIVIDED LIGHT
(B)	LIVING ROOM	2 EA	METAL CLAD WOOD	SINGLE HUNG	EXTERIOR - "LINEN" INTERIOR - PAINT	SIERRA PACIFIC	3'-0" W x 5'-0" H	WOOD	1" DBL GLAZE INSUL. LOW-E	7'-0"	2'-0"	DIVIDED LIGHT
(C)	KITCHEN	1 EA	METAL CLAD WOOD	CASEMENT	EXTERIOR - "LINEN" INTERIOR - PAINT	SIERRA PACIFIC	2'-4" W x 3'-4" H	WOOD	1" DBL GLAZE INSUL. LOW-E	6'-10"	3'-4"	DIVIDED LIGHT
(D)	BAY WINDOW	2 EA	METAL CLAD WOOD	SINGLE HUNG	EXTERIOR - "LINEN" INTERIOR - PAINT	SIERRA PACIFIC	2'-4" W x 5'-3" H	WOOD	1" DBL GLAZE INSUL. LOW-E	7'-7"	2'-4"	DIVIDED LIGHT
(E)	BAY WINDOW	1 EA	METAL CLAD WOOD	FIXED	EXTERIOR - "LINEN" INTERIOR - PAINT	SIERRA PACIFIC	3'-4" W x 5'-3" H	WOOD	1" DBL GLAZE INSUL. LOW-E	7'-7"	2'-4"	DIVIDED LIGHT

WINDOW NOTES

- SEE EXTERIOR ELEVATIONS FOR LAYOUT OF WINDOWS AND FRAMES.
- ALL OPERABLE WINDOWS TO HAVE SCREENS. NO WICKETS. PROVIDE FULL SCREEN WITH CRANK.
- HARDWARE TO CLEAR OPERATION OF BLINDS.

DOOR SCHEDULE

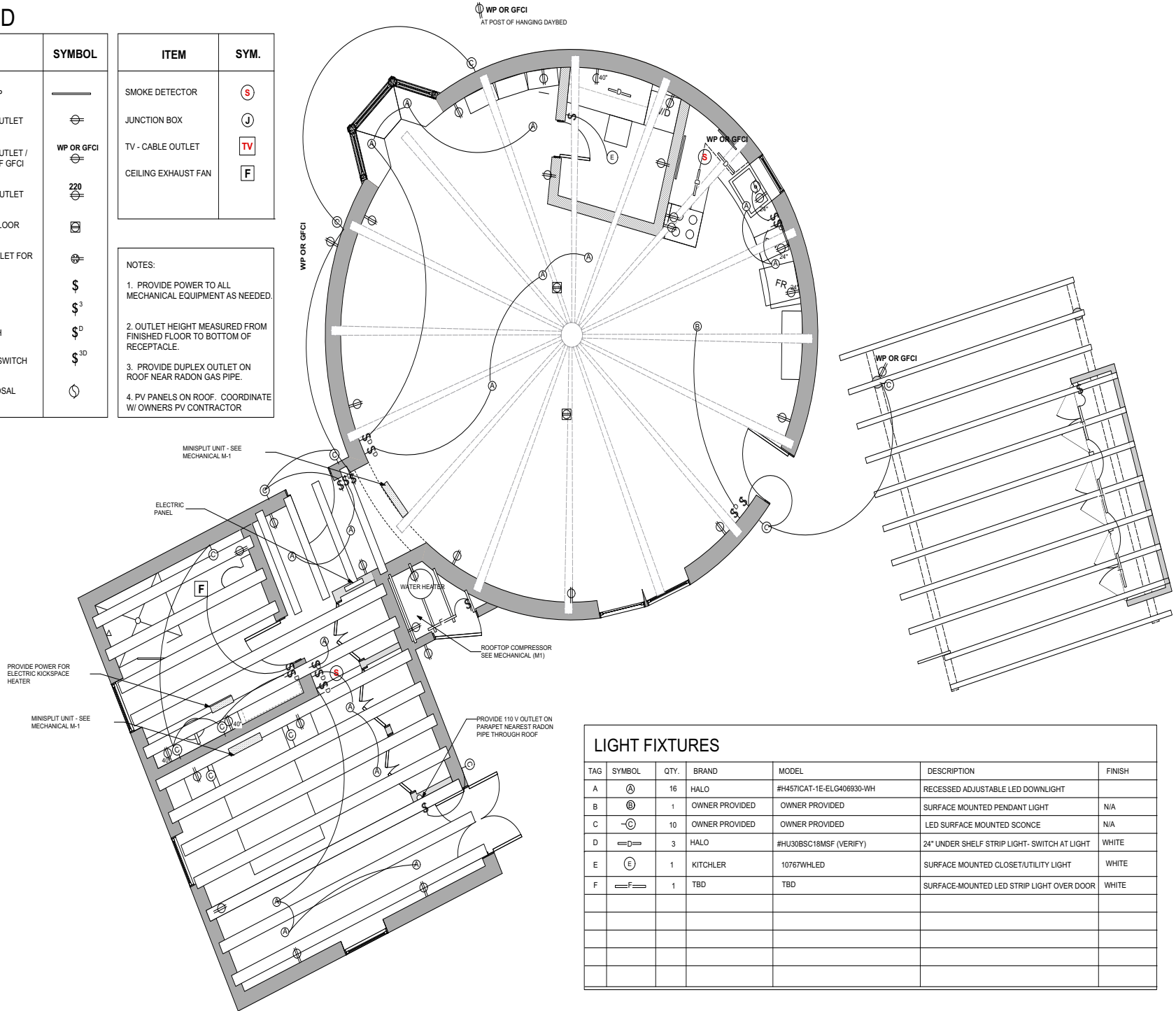
ITEM	LOCATION	QTY.	SIZE	TYPE	MANUF. / SUPPL.	FINISH	SWING	HDWR SET	HARDWARE FINISH	REMARKS
(1)	EXTERIOR / ENTRY	1 EA	3'-0" W x 6'-8" H x 1 3/4" D	DUTCH - ADD GLAZING	REUSE EXISTING ENTRY	FINISH AS EXISTING	RH	LEVER ENTRY DBL DEADBOLT	OIL RUBBED BRONZE	ADD DIVIDED LIGHT IN UPPER DOOR REUSE EXISTING HARDWARE
(2)	EXTERIOR / MECH.	1 EA	2'-4" W x 6'-8" H x 1 3/4" D	METAL CLAD WOOD	TBD	EXTERIOR - "MUD PIE" INTERIOR - "WHITE"	RH		OIL RUBBED BRONZE	
(3)	ENTRY / BATH	1 EA	2'-4" W x 6'-8" H x 1 3/4" D	SOLID WOOD DOOR	TBD	EXTERIOR - "MUD PIE" INTERIOR - "WHITE"	LH		OIL RUBBED BRONZE	
(4)	BEDROOM / EXTERIOR	1 EA	4'-0" W x 6'-8" H x 1 3/4" D (PANS)	FRENCH CLAD WOOD DOOR	SIERRA PACIFIC	EXTERIOR - "LINEN" INTERIOR - "WHITE"	RH & LH		OIL RUBBED BRONZE	DIVIDED LIGHT
(5)	EXTERIOR / BEDROOM	2 EA	2'-0" W x 6'-8" H x 1 3/4" D	IRON GATE	TBD	BLACK	RH & LH	TBD.	WROUGHT IRON	
(6)	EXTERIOR / KITCHEN	1 EA	3'-0" W x 6'-8" H x 1 3/4" D	GLASS DOOR	REUSE EXISTING EXTRY	FINISH AS EXISTING	RH	LEVER ENTRY DBL DEADBOLT	OIL RUBBED BRONZE	DIVIDED LIGHT
(7)	LIVINGROOM / LAUNDRY	1 EA	1'-11 1/2" W x 6'-8" H x 1 3/4" D	SOLID DOOR	NA	AS IS	RH	NA	NA	DOOR TO REMAIN UNCHANGED

DOOR NOTES

- OPTION FOR WOOD DOORS: "WOODGRAIN" OR EQUAL.
- DOOR HINGE HARDWARE TO MATCH OPERATING HARDWARE FINISH.
- DIMENSIONS ARE FOR TAKE-OFFS ONLY. ALL SIZES TO BE VERIFIED WITH ROUGH OPENINGS IN THE FIELD AND SHOP DRAWINGS PROVIDED FOR ARCHITECT APPROVAL PRIOR TO FABRICATION.

LEGEND

ITEM	SYMBOL	ITEM	SYM.
110 V PLUG STRIP	—	SMOKE DETECTOR	(S)
110 V DUPLEX OUTLET	⊕	JUNCTION BOX	(J)
110 V DUPLEX OUTLET / WEATHERPROOF GFCI	WP OR GFCI ⊕	TV - CABLE OUTLET	(TV)
220 V DUPLEX OUTLET	220 ⊕	CEILING EXHAUST FAN	(F)
110 V DUPLEX FLOOR OUTLET	⊕	NOTES: 1. PROVIDE POWER TO ALL MECHANICAL EQUIPMENT AS NEEDED. 2. OUTLET HEIGHT MEASURED FROM FINISHED FLOOR TO BOTTOM OF RECEPTACLE. 3. PROVIDE DUPLEX OUTLET ON ROOF NEAR RADON GAS PIPE. 4. PV PANELS ON ROOF. COORDINATE W/ OWNERS PV CONTRACTOR	
NEMA 14-50 OUTLET FOR ELEC. VEHICLE	⊕		
SWITCH	⊞		
3-WAY SWITCH	⊞ ³		
DIMMER SWITCH	⊞ ^D		
3-WAY DIMMER SWITCH	⊞ ^{3D}		
GARBAGE DISPOSAL	⊕		



TAG	SYMBOL	QTY.	BRAND	MODEL	DESCRIPTION	FINISH
A	(A)	16	HALO	#H457/CAT-1E-ELG406930-WH	RECESSED ADJUSTABLE LED DOWNLIGHT	
B	(B)	1	OWNER PROVIDED	OWNER PROVIDED	SURFACE MOUNTED PENDANT LIGHT	N/A
C	(C)	10	OWNER PROVIDED	OWNER PROVIDED	LED SURFACE MOUNTED SCENCE	N/A
D	(D)	3	HALO	#HU30BSC18MSF (VERIFY)	24" UNDER SHELF STRIP LIGHT- SWITCH AT LIGHT	WHITE
E	(E)	1	KITCHLER	10767WHLED	SURFACE MOUNTED CLOSET/UTILITY LIGHT	WHITE
F	(F)	1	TBD	TBD	SURFACE-MOUNTED LED STRIP LIGHT OVER DOOR	WHITE







