



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
OCTOBER 12, 2021
5:30 PM
Meeting Virtually

AMENDED AGENDA

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings in excess of those permitted in the current Public Health Order, and the need to incorporate technology and practices to re-institute in-person meetings consistent with the limitations established by the Order, the Historic Districts Review Board meeting will be conducted virtually.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting. The direct Zoom link is: <https://us02web.zoom.us/j/86766220699?pwd=UnJoemxXbUIvTDIzSXM5TzByZUR1QT09>
Passcode: 263172

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**

Webinar ID: 867 6622 0699.

Public Comment:

- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the



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meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.

- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

- In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. September 28, 2021.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. [2021-004181-HDRB. 118 & 120 W. Berger St.](#)
2. [2021-004178-HDRB. 213 Delgado Street.](#)
3. [2021-004175-HDRB. 641 #1 W San Francisco St.](#)
4. [2021-004177-HDRB. 642 Camino de la Luz.](#)
5. [2021-004177-HDRB. 642 Camino de la Luz.](#)
6. [2021-004121-HDRB. 1023 E. Alameda.](#)

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS



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1. 2021-004119-HDRB. 638 East Palace Ave. Downtown and Eastside Historic District. Scarlett Breeding, owner and agent, proposes to construct a portal and make other minor changes to a contributing structure. An exception to Section 14-5.2(D)(2)(d) is requested to construct within 10 feet of a primary facade (Daniel Schwab, dnschwab@santafenm.gov)
2. 2021-004121-HDRB. 1023 E. Alameda. Downtown and Eastside Historic District. Praxis Architects, Inc, agent for Frank Schneider and Robin Oringer, proposes to construct a 4,050 sq. ft. new building, yard walls, and a vehicular gate. The proposed height is 16 ft. where the maximum allowable height is 15 ft. 1 in. The applicant request approval of additional height per 14-5.2(D)(9)(c)(ii)(F). (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)

A. Staff recommends a vote to rescind the vote taken on this case at the September 14, 2021 HDRB Hearing:

'To approve the project as submitted, finding that the project complies with district standards, and recommends the Applicant return to staff with a revised design for the garage door with less glass, possibly solid with an amendment to approve the additional 11 inches for height.'

H. NEW BUSINESS

1. 2021-004254-HDRB. 107 Victoria St. Downtown and Eastside Historic District. Will McDonald, agent for Tamar Hurwitz, owner, requests a status review and designation of primary facades, if applicable on two non-contributing structures. (Daniel Schwab)
2. 2021-004255-HDRB. 107 Victoria St. Downtown and Eastside Historic District. Will McDonald, agent for Tamar Hurwitz, owner, proposes to replace windows and doors and change openings on a historic structure. (Daniel Schwab)
3. 2021-004256-HDRB. 809 Abeyta St. Downtown and Eastside Historic District. Jay Shapiro, owner and agent, proposes to raise a roof and construct additions on a non-contributing structure. An exception is requested to change the roof style per 14-5.2(D)(6). (Daniel Schwab)



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4. 2021-004259-HDRB. 1299 Canyon Rd. Downtown and Eastside Historic District. Sandra Donner, Agent for Julia and Randall Burt, owners, proposes to install a wooden vehicular gate at a non-contributing property. (Daniel Schwab)
5. 2021-004260-HDRB. 1224 ½ Cerro Gordo Rd. Downtown and Eastside Historic District. Jesse Roach, owner and agent, proposes to construct a freestanding garage on a contributing property. (Daniel Schwab)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, October 26, 2021

L. ADJOURN

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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HISTORIC DISTRICTS REVIEW BOARD
September 28, 2021

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**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
SEPTEMBER 28, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v=VAYPoZxBKWg>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida
Ms. Flynn G. Larson

MEMBERS ABSENT:

Mr. Buddy Roybal

OTHERS PRESENT:

Ms. Carly Piccarello, Historic Preservation Division Manager
Mr. Frank Ruybalid, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello said 344 Camino Cerritos was postponed in order to notice an exception request.

MOTION: Vice Chair Katz moved, seconded by Member Larson to approve the agenda, as amended.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. September 14, 2021

Chair Rios asked for the following changes to the minutes:

- On Page 6, under Questions for Staff, the sentence starting “Chair Rios confirmed with Mr. Schwab” for clarification to read, “Chair Rios confirmed with Mr. Schwab that the building attached to 638 E. Palace has a different address and is not part of this application.”
- On Page 8, “Chair Rios explained that the Board designated façade #4 as primary should continue to say, “therefore, any addition proposed next to façade #4 needs to be 10 feet from that façade, or the applicant is required to file for an exception”.
- On Page 19, first sentence for clarification should read, “Chair Rios said that could be true, but she is being told by the Assistant City Attorney that she can vote to create a tie or could abstain her vote”.
- On Page 23, under Questions for Staff, “Chair Rios asked Ms. Bordegaray to describe the public visibility”. She asked that Angela’s response be more detailed. Instead of “Ms. Bordegaray described the visibility on the plan.” It should read, “Ms. Bordegaray said the public way is Camino Ranchitos. She pointed out where the car port is proposed to be and stated that it would be publicly visible. She said the garage on the other side of the property is set in from the entrance and it will not be publicly visible.”

MOTION: Vice Chair Katz moved, seconded by Member Bienvenu to approve the minutes of September 14, 2021, as amended.

VOTE: The motion passed by majority (4-0) roll call vote with Members Bienvenu, Guida, Katz and Larson voting in favor and none voting against. Member Biedscheid abstained.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2021-004118-HDRB. 638 E. Palace Ave. (Primary Elevations)

2. 2021-004120-HDRB. 555 Agua Fria St.
3. 2021-004122-HDRB. 128 Grant Ave.
4. 2021-004124-HDRB. 854 Camino Ranchitos.
5. 2021-004123-HDRB. 123 Grant Ave.

MOTION: Vice Chair Katz moved to approve the Findings of Fact and Conclusions of Law, as presented. The motion was seconded by Member Guida.

VOTE: The motion passed by majority (4-0) roll call vote with Members Bienvenu, Guida, Katz and Larson voting in favor and none voting against. Member Biedscheid abstained.

E. MATTERS FROM THE PUBLIC

Stefanie Beninato, PO Box 1601, thanked Vice Chair Katz for bringing up Robert's Rules of Order about the Chair being able to vote other than when there is a tie vote. She also thought when talking about new or modern Santa Fe Style, it means that other materials can be used to construct buildings that look like Santa Fe Style; not necessarily to look contemporary with a few details that are considered Santa Fe Style. She said third, what used to be Garrett's Desert Inn is now El Sendero. All of the mechanical equipment is very visible on the roof. She thought staff should look into that.

John Eddy echoed Ms. Beninato's points. Also, he said he has found it impossible to access the digital PDFs for the packets.

Chair Rios said he could call City staff and she could also guide him through it.

Ms. Piccarello suggested he clear his cache and refresh his browser, which is sometimes the problem. She said he could call staff if he continued having problems.

F. STAFF COMMUNICATIONS

Ms. Piccarello said they have been caravanning for the field trips, but with the larger agenda it would be difficult to get to all of the sites. She is looking at different options and will keep them posted. The agendas have been light lately, and they have been able to access six sites, which is reasonable.

Chair Rios said it is extremely helpful for the Board to see all of the projects in person for a better perspective.

G. OLD BUSINESS

None.

H. NEW BUSINESS

1. **2021-004162-HDRB. 344 Camino Cerrito.** Downtown and Eastside Historic District. Paul and Mariana Padilla, owners and agents, propose to construct a 2000 sq.ft. single-family residential structure on a vacant lot. (Daniel Schwab)

Postponed to an upcoming meeting.

2. **2021-004181-HDRB. 118 & 120 W. Berger St.** Don Gaspar Area Historic District. Tom Lechner, agent for John and Mary Pound, requests historic status review and primary facade(s) designation as applicable for a noncontributing building. (Angela Schackel Bordegaray)

STAFF REPORT

118-120 West Berger Street is a combined two-duplex nominal Pueblo Revival structure in the Don Gaspar Historic District. There are four apartments arranged in the two duplexes constructed 30 years apart. The original portion was built in the 1950s; the second duplex was added in the 1980s. The joined buildings form roughly an “L,” with the older section situated at the rear (south) of the lot facing the street.

The front (north) façade of the original structure has a parapet roof, and a centered portal with vigas. The portal has double posts and is capped with a *zapato* corbel at its center. The portal shows strict symmetry, reflecting its duplex design. Each unit has a combination of steel windows. Some windows on this north elevation have semi-permanent storm units, that in some instances work as the primary glazing. The 1980s duplex is an unremarkable stuccoed structure with aluminum windows. The 1980s duplex has an existing low stucco yard wall and gate that are not historic and extends only across the western end of the property’s front (north-facing).

Although the original 1950s duplex maintains unique architectural design, features and materials characteristic of its era, the 1980s duplex does not match its style and engulfs it. The addition’s location in front of the original duplex further obscures it. Based on the

complete reconfiguration of the original lot and the large addition, the combined four apartment complex has lost its historic integrity.

STAFF RECOMMENDATION

Staff recommended designating the house non-contributing per 14-5.2 (C) Regulation of Significant and Contributing Structures in the Historic Districts in Historic Districts.

QUESTIONS FOR STAFF

Chair Rios said this is before the Board for a historic status review and the designation of primary façades, and whether they find the 1950s portion is historic. This still maintains its historical portal, windows and doors, and is visible from the street. The building in front is from the 1980's and at this point, is non-historic. The building does to a degree obscure the historical building, but portions of the historic building can still be seen.

Vice Chair Katz said the Board recently did a status review on a property that also had a common wall with another property and the Board evaluated that portion of the property separately and assigned it status and identified its primary facades. He wondered whether one or two buildings share a common wall as there is no way to get from the new building to the old; and whether that impacts the Board's ability to give it status. He asked if the Board is only looking at the back building or are looking at this as one structure. The only thing obscured is what had been the entrance to the garage. The rest is visible.

Ms. Bordegaray said the Board should view the structure as one building.

Chair Rios said in the past, the Board could indicate the portions of the building that are historic and those that are non-historic, if attached.

Ms. Piccarello said to clarify, the Chair had mentioned that certain features or certain façades could be designated. Also, it could be narrowed down to specific character defining features, and they have done that in the past.

APPLICANT'S PRESENTATION

John Pound, owner, at 2302 Calle El Cajon and Tom Lechner, architect, at 24 Vista de Luna, were sworn in.

Mr. Pound offered to answer questions.

Mr. Lechner said he had no additional information from the Staff Report. He agreed with the recommendation to designate the property as non-historic.

QUESTIONS FOR APPLICANT

None.

PUBLIC HEARING

Stefanie Beninato, PO Box 1601, Santa Fe, was sworn in. She hoped the Board would consider making the back part contributing even though it is one building. She thought the Board looked at the older structure as a separate designation. She said there are not a lot of 1950s buildings preserved in this way. It is visible from the street and the façade is worthy of preservation.

BOARD DISCUSSION

Member Larson asked that the Board consider making the 1950s structure contributing because it has a great deal of integrity, and the 80s property obscures the view of the historic building. There is an undeniable amount of original materials and contributing features, which makes a strong case that this be contributing.

Chair Rios asked Member Larson the facades she thought should be primary.

Member Larson said she would have to think about it, but the street facing either west or north.

Ms. Bordegaray indicated the front of the house faces north.

Member Biedscheid said she agreed with the public comments and Member Larson about the visible historic materials. But she was concerned about parsing this out in terms of consistency with previous hearings where they considered the additions on the front of long lots. She said she agrees with the HCPI Report that the 80's addition obscures the original streetscape and altered the design, the setting, the massing and the relationship with the placement of the house on the lot. She thought the Board would not have approved the 1980s proposal if it had come before them and it should remain non-contributing.

MOTION: In Case #2021-004181-HDRB, 118 & 120 W. Berger St., Member Larson moved to designate the 1950's addition on the north facing façade as contributing, because of its historic integrity and the amount of historic materials. The motion was seconded by Vice Chair Katz.

VOTE: The motion passed by majority (3-2) roll call vote with Members Guida, Katz and Larson voting in favor and Members Biedscheid and Bienvenu voting against. Chair Rios abstained.

Attorney Ruybalid confirmed the members voting in favor and the two who voted against. He asked if there was a third vote against.

Chair Rios explained she was asked to vote when the vote was 3-2 in favor of the motion.

Attorney Ruybalid confirmed that her vote would make the vote 4 to 2 in favor of the motion.

Member Guida asked for clarification. He said he recognizes the Chair's ability to vote, and that Chair Rios had exercised her right to vote and sink a motion in the last meeting. He wanted to understand, as a matter of process and convention, when Chair Rios will vote.

Chair Rios said she also would like that clarified and wasn't sure why she was asked to vote when the vote was 3 to 2, in favor.

Attorney Ruybalid thought Chair Rios was asked because if she was inclined to vote no, her vote would tie the vote. That did not happen because she voted yes. She could have abstained if she did not want to materially change the outcome of the vote. He suggested Chair Rios not vote unless it would materially change the outcome of the vote.

Vice Chair Katz said it was correct for Chair Rios to vote but should be clarified she could choose not to vote if she did not want to make a tie.

Member Guida agreed. He asked if the operating assumption were that Chair Rios would typically abstain from voting unless she said otherwise.

Vice Chair Katz said it is proper for the stenographer to alert the Chair of her option to vote in a situation.

Attorney Ruybalid asked Chair Rios if she cared to render a yes vote or to abstain.

Chair Rios said she would abstain from the previous vote.

Ms. Bordegaray asked Chair Rios to restate the outcome of the previous motion.

Chair Rios explained Members Biedscheid and Bienvenu voted against and Members Katz, Larson and Guida voted in favor.

Ms. Bordegaray asked if the building was designated contributing.

Chair Rios clarified only the 1950s portion of the building with the North façade as primary was designated contributing.

3. **2021-004178-HDRB. 213 Delgado Street.** Trey Jordan, applicant for owner Jerry Meyer, proposes to construct two buildings, 2,530 sq. ft. and 280 sq. ft. to a height of 13'-6" where the maximum allowable height is 13'-10". (Angela Schackel Bordegaray)

STAFF REPORT

213 Delgado is a vacant lot located at the east end of a lane off Delgado Street.

The applicant proposes to construct a 2,530 sf residence with a detached 280 sf office. The house's design is Recent Santa Fe Style and incorporates elements of Spanish-Pueblo Revival Style through its massing, materials, colors, and wall-dominated facades. It will be built of adobe.

Maximum allowable height is 13'- 10"; the proposed building height will be 13' – 6". The building is predominantly finished in stucco with some painted steel and wood detailing.

Doors and windows will be aluminum-clad and have a "Dark Brown" powder-coated finish.

South and east elevation windows will have divided lites. The north and east facades are not publicly visible. Windows closer than 3' of a corner are not publicly visible. Canales will be stained "Blackjack." The new buildings will have minimal public visibility.

Stucco will be El Rey "Buckskin". No new yard walls are proposed.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios said this house is proposed to the back of the property, away from Delgado. She asked Ms. Bordegaray to describe the portions of the house that would be publicly visible.

Ms. Bordegaray showed the story poles where public visible and noted there is no visibility on the east and south elevations and very little on the west elevation.

Chair Rios confirmed the construction will be adobe. She asked Ms. Bordegaray if she found the house will be in harmony and compatible with the surrounding homes.

Ms. Bordegaray said yes.

Chair Rios asked if all of the windows will have divided lights.

Ms. Bordegaray said the windows on the east elevation are not divided light but the publicly visible north and west elevations are divided lights.

Chair Rios asked if the corners will be softly rounded or sharp.

Ms. Bordegaray said the building materials say softer.

Chair Rios asked if the 280 square feet of office will be attached or not.

Ms. Bordegaray said it would not be attached.

Vice Chair Katz asked what was on the roof.

Ms. Bordegaray believed it was like a clerestory window. She said it is not roof top equipment, it is a change in roof height. She said the applicant could speak to the design.

Vice Chair Katz noted that it wasn't visible on the north side.

APPLICANT'S PRESENTATION

Trey Jordan, 227 E. Palace Ave., was sworn in. He explained to Vice Chair Katz it was just a tree he was seeing. The project is tucked back and has little impact. He stood for questions.

QUESTIONS FOR APPLICANT

Chair Rios said the house will be 13 feet 6 inches and is allowed to be 13 feet 10 inches.

Mr. Jordan said that is erroneous; a tiny portion over the front door goes up to 13' 10" but does not require a variance. He said that was his error, but it is labeled correctly at 13 feet 10 inches. The entry mass was shifted by 4 inches because they wanted the entry to be a little more dominant.

Chair Rios asked if Mr. Jordan has worked before with building construction.

Mr. Jordan said he has won awards for historic preservation. He added that Bonnie Armijo will build this; and the corners will be rounded. The owners currently live at 211 and the idea is this will become their guest house. He indicated 211 is a contributing structure with a primary façade they cannot touch, so they granted themselves a zero lot line. They will match the lines of the home displayed on screen.

Member Bienvenu confirmed that the radius of the corners will be similar to the house next door. He said it appears the entry feature has straight lines, whereas the rest of the street view has battered parapets. He asked if that was deliberate.

Mr. Jordan said that was the last minute change. He noted all of the radiuses will be identical and match the home at 211, and the doors and windows are the painted metal.

Member Larson asked if the stucco textured finish will be trough or sanded.

Mr. Jordan said they want the same color that matches the Il Vicino, which is a hard trough finish, and it will be "Buckskin".

PUBLIC HEARING

Stefanie Beninato, previously sworn, thought the entryway would be visible from the street and looks commercial and it is not a portal. She said the rest of the façades are stark with little nod to Santa Fe Style. She said it is adobe, but she did not see any design elements other than rounded corners.

John Eddy, 227 E. Palace Ave., Suite D, asked if the street facing façade windows to the side of the entryway meet the setback requirements of Code.

Ms. Bordegaray replied the applicant had a preliminary review from Zoning and met their standards.

Mr. Eddy asked to clarify whether generally there is a 3 foot setback from a 90° corner.

Ms. Bordegaray replied that is a zoning issue that was addressed in the applicants Zoning review process. She said that is not within the purview of this Board.

Member Guida said yes, the underlying zoning requirements have to be met before coming to the Board. He thought Mr. Eddy's question was on the 3 foot rule from corners for window openings that pertain to publicly visible façades.

Mr. Eddy agreed. He asked if this would be a situation where there is a corner closer than 3 feet for the two windows facing Delgado Street.

Ms. Bordegaray explained they are inside corners and not one complete façade.

Member Guida said the rule applies to the edge of the overall façade, not as Ms. Bordegaray pointed out, for internal massing. It is not at the edge it is internal.

Ms. Bordegaray clarified this is a separate façade.

Mr. Eddy said another question was whether the windows were shown accurately as divided light. He didn't see that they are divided.

Ms. Bordegaray confirmed they are undivided light and are not publicly visible. She said Mr. Jordan could speak to the dimensions.

Mr. Jordan said both windows meet the 30 inch diagonal rule and are not an issue. He added that for the future, the intention of the three corner rule is to make buildings look earthen and thick-walled. Therefore, it applies to outer corners, not interior corners. He said this not only meets the letter of the law, but the intent of the law.

Chair Rios asked if the entry on Delgado Street has two doors.

Mr. Jordan said there are two doors with two side lights.

BOARD DISCUSSION

MOTION: In Case 2021-004178-HDRB, 213 Delgado Street, Vice Chair Katz moved to approve the application as submitted. The motion was seconded by Member Guida.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

4. **2021-004175-HDRB. 641 #1 W San Francisco St.** Westside-Guadalupe Historic District. Ken Dimon, owner, requests to add a 182 sq. ft. portal to a non-contributing building. (Angela Schackel Bordegaray)

STAFF REPORT

641 #1 West San Francisco is a 3,500 sf building non-contributing to the Westside-Guadalupe Historic District. It is a simple vernacular Spanish-Pueblo Revival style with a shed roof and territorial pediments painted white. Its shed roof slopes east to west. Its windows are double 3-over-4 divided lite painted white territorial pediments.

The applicant proposes to add a 182 sf freestanding portal at its entry on the west elevation. The portal's shed roof will match the existing house's pitch, 2' height change over 12" span. The proposed portal has post and beam construction and will be painted to match the white trim of the house. It will have four vertical posts, and roof decking will be tongue and groove. The portal roof and gutters will be galvanized steel dulled to match surrounding homes. The portal's height is 11', lower than the house's highest point at 13'.

STAFF RECOMMENDATION

Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Westside-Guadalupe Historic District per Section 14-5.2(I).

QUESTIONS FOR STAFF

Chair Rios confirmed the portal would not be attached to the house.

APPLICANT'S PRESENTATION

Kenneth W. Dimon, 641 W. San Francisco St. #1, was sworn in. He said he had nothing further to add to the Report. They are looking for some shade and tried to keep it similar to the roof pitch of the house. The elevation over the front door was to maintain the same pitch as the roof.

QUESTIONS FOR APPLICANT

Chair Rios asked about the roofing material and color.

Mr. Dimon described the material was spruce or fir, painted white to match the trim. The roof will be a dull galvanized steel matching the gutters, which is what the surrounding houses have. The gutter system comes across the front and drops into a flowerbed with a French drain.

PUBLIC HEARING

No one from the public spoke.

BOARD DISCUSSION

MOTION: In Case 2021-004175-HDRB, 641 #1 W. San Francisco St., Member Larson moved to approve the application per staff's recommendation. The motion was seconded by Member Guida.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

5. **2021-004177-HDRB. 642 Camino de la Luz.** Downtown and Eastside Historic District. Victor Johnson, agent for Betinna Milligan, proposes to add a 410 sq. ft. portal to a non-contributing building. (Angela Schackel Bordegaray)

STAFF REPORT

642 Camino de la Luz is a 4,177 sf building Non-Contributing to the Downtown and Eastside Historic District. Built in 2000, the house was added onto in 2010.

The applicant proposes to add a 410 sf portal to cover an existing patio at the northwest end of the house. An exterior fireplace also is proposed for the patio. The portal columns'

structure and fireplace are masonry construction. The roof structure is wood beams, vigas, and deck with a tan-granule modified bitumen cap sheet. The proposed roof height is 9'- 6" to 10', lower than the house roofline. New masonry elements will be stuccoed El Rey cementitious "Adobe". The wood elements will be sealed in a natural finish, and exposed roof material will be a bronze tone.

No other changes are proposed at this time.

STAFF RECOMMENDATION

Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).

QUESTIONS FOR STAFF

Chair Rios said it was difficult to see this home from the public way. She asked Ms. Bordegaray if the porch/portal could be seen from a public way.

Ms. Bordegaray confirmed that it could not.

APPLICANT'S PRESENTATION

Victor Johnson, PO Box 1866, Santa Fe, was sworn. He said he had nothing to add and would just stand for questions.

PUBLIC HEARING

No one from the public spoke.

BOARD DISCUSSION

MOTION: In Case 2021-004177-HDRB, 642 Camino de la Luz, Member Guida moved to approve the project per staff's recommendation, as submitted. The motion was seconded by Member Biedscheid.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

6. **2021-04179-HDRB. 119 Kearny Street.** Downtown and Eastside Historic District. Hoopes Architects, agent for owners C. David Snead and Charles P. Butler, proposes to add 2,131 sq. ft. to a contributing building, construct new yard wall and gate, add courtyard walls, repair historic window, and replace entry steps. The applicant requests an exception to Section 14-

5.2(D)(2)(d), to exceed 50% of the historic footprint. (Angela Schackel Bordegaray)

STAFF REPORT

119 Kearny Road is a 1,297 sf building contributing to the Downtown and Eastside Historic District. The house is Spanish-Pueblo Revival style, built in the 1950s, and added onto sometime in the 1970s-1980s. The board reviewed its historic status earlier this year and found it contributing, designating the east, south and west facades primaries. It is two story with an *historic footprint* of 879 sf. An enclosed 146 sf porch and a 272 sf deck were added in the 1980s, bringing the house's existing total square footage to 1,297. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The board included the yard wall in its designation of contributing. The applicant proposes the following:

1. To add 1,296 sf onto the north façade. This will increase the footprint from 1,297 sf (which includes both historic footprint and 1980s addition) to a total of 2,593 sf. Its height will not exceed the original house. The upper floor addition includes a deck and coyote fence guardrail. The two additions are offset from each other to break up the massing of the house. The addition is set back from the original home and the new entry via a "plaza" between the original house and the addition. The addition is 6" shorter than the existing structure's height. The style is Spanish-Pueblo Revival. The windows will be metal clad wood simulated divided lite, trim color "Blue Danube." The roof will be blue corrugated metal. Entire structure will be re-stuccoed in cementitious El Rey "Sahara." The applicant requests an exception to add more than 50% of the house's historic footprint.
2. Add new masonry stucco-faced wall 4'-8" tall on the south façade on and an 8' – 8" gate with sconce. The new yard wall will connect to the east primary façade less than 10' from its south edge. The applicant requests an exception to adding onto a primary façade less than 10' from its corner.
3. Paint under existing portal white Sto "Marble White."
4. Add a new low garden wall in the rear of the house on the north elevation.
5. Repair window on the east façade to refit the glass and refurbish the sash.
6. Rebuild non-historic front entry steps to bring up to code.

STAFF RECOMMENDATION

Staff does not find that the exception criteria have been met, but the Board may find they are met upon further testimony from the applicant; otherwise, Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.

Ms. Bordegaray said the Staff Report was later amended to say that an exception was not required.

QUESTIONS FOR STAFF

Chair Rios asked Ms. Bordegaray to describe the topography of the project, starting with the elevation of the entrance to the house.

Ms. Bordegaray showed the front of the house and noted the driveway slopes down to the rear to the backlot.

Chair Rios said she just wanted to make the point that the land slopes down. She said the portal is 146 square feet and the deck is 272 square feet. She asked if the heated space is only 879 square feet.

Ms. Bordegaray said the historic footprint is 879 square feet.

Member Bienvenu asked to confirm Ms. Bordegaray interpreted the 50% limitation in the footprint was the historic footprint, opposed to Code, which is 50% of the *current* footprint.

Ms. Bordegaray told him that was correct.

Member Bienvenu asked what the thinking was there.

Ms. Bordegaray explained in the historic district, historic buildings have original footprints. If they are two-story, the historic footprint is just the footprint and not the total square feet. If you put an addition on that, that is not considered the original footprint. That is how they distinguish the old from the new.

Member Bienvenu said the Code 50% does refer to the existing footprint, not historic. To him, that implies what is there now, or at the least what was designated as contributing.

Ms. Bordegaray said staff interprets in the historic districts, the original footprint. The thinking behind that is like in this case, houses have been added onto with non-historic footprints. If that is 50% more than the existing footprint, then it becomes larger than the original footprint. That keeps the historic scale of the structure and is how historic is interpreted in the historic districts.

Member Bienvenu asked what would be permitted under that interpretation or under the interpretation that the existing is current, and how big could the addition be.

Attorney Ruybalid said this had been discussed from a legal perspective. If interpreting Code to carry out specific objectives of maintaining the historic ambience of the districts, allowing endless 49% expansions without requiring an exception, the original square feet added to 49% and then another 49% addition, would mean that could be a monstrosity of a house. And an exception would never have to be obtained from the Board, which defeats the purpose of Code.

The City Attorney's office believed that the interpretation of Code means the historic footprint of the house is the correct interpretation.

Member Bienvenu said he agreed with that rationale. But another interpretation that would accomplish that could be to refer to "existing" meaning at the time it was designated as contributing or significant. Opposed to what we are calling the historic footprint. Because at that moment there was a decision made that the entire building was significant in that form with the footprint it had at that moment. That may not have been the same as the original historic footprint.

He asked what would be permitted under that interpretation; how large of an addition.

Ms. Bordegaray displayed the south elevation of the original historic footprint of 879 square feet. She said with a non-historic addition it would be more than 50 percent of the original footprint.

Member Bienvenu confirmed that the owner could add on 50% of 879 square feet.

Ms. Bordegaray said that was correct.

Member Bienvenu asked to clarify whether the addition and the original historic house were separate.

Ms. Bordegaray said the house does connect to the existing building.

Member Bienvenu asked if this is one house or two.

Ms. Bordegaray said the applicant would have to speak to that, but she did not think it was a separate unit.

Member Biedscheid asked to clarify what should be considered by the Board for exceptions. She asked if the short yard wall would no longer be connected to the new gated entrance of the existing house.

Ms. Bordegaray explained that cannot be connected without an exception and in the proposal it is not connected.

Member Biedscheid asked on the east façade if the grade would be changed so the lower window is buried.

Ms. Bordegaray said there is a window, and the proposal creates a planter.

Member Biedscheid said the west façade is primary and appears the addition will connect to the end of that in the same plane. She asked if that would not be considered an addition to a primary façade.

Ms. Bordegaray said the designation of primary façade #6 excluded a portion of the existing second-story.

Member Biedscheid asked if that is 10 feet and how the Board should consider the addition that connects to that in terms of the primary impact on the west façade.

Ms. Piccarello responded that the existing shed roof structure will be maintained. She noted there is 10 or 12 feet that steps back into a hallway structure creating the passage that allows the setback. So, it is not within 10 feet and the area with the interior countertops is not part of the primary.

Member Biedscheid asked where the blue roof appears.

Ms. Bordegaray said it is only a portion, not the entire addition and she would let the owner describe that.

Vice Chair Katz said his concern was in the lower plan. He said the west façade of the original is primary and you can see an entryway in the lower part that is built within 10 feet of the primary façade.

Member Guida said that is a recessed area.

Vice Chair Katz said he agreed but it is within 10 feet of the primary façade. The west façade is primary, and the northwest corner is less than 10 feet. That is the concern, being within 10 feet of the primary façade.

Ms. Bordegaray thought it was not less than 10 feet. She suggested asking the applicant.

Chair Rios asked Ms. Bordegaray in reference to the 50% limitation, what the responses were that she did not agree with.

Ms. Bordegaray said there are three criteria, and it was the second criteria stating that the exception request is required to prevent a hardship to the applicant, or injury to the public welfare. Staff agrees with the applicant that there are unique conditions to the

site for development, but does not believe they constitute a hardship. There are other design alternatives that could achieve the same thing.

Chair Rios asked the applicant's response to the hardship.

Ms. Bordegaray said the lot size and slope and the nature of being small and narrow made it a more challenging site to develop. The applicant's argument is in order to have reasonable use, an exception is required and that is a hardship.

APPLICANT'S PRESENTATION

Craig Hoops, 333 Montezuma Ave., was sworn. He said this is a complex structure. They have tried to meet all the conditions to honor the status the Board gave this at the last meeting. In addition, they have tried to make it a structure that steps from one side to the other to maintain the sunlight in the neighbor's yard.

Mr. Hoops said currently this is a two-unit house, and the owners want to make this a single family home again. They have both a historic entry and a lower level entry and the lower level is hidden from the street and cannot be seen. The upper level addition is mainly tucked behind the historic façade, and held away by a courtyard between the existing house and the new addition. The only connection is the upper window to the left of the non-historic addition which is where it will intersect with the existing house. It is all one house. A question was asked about the window on the east façade, lower level. That is being preserved and will remain a window. The blue roof is only on the addition. No one surrounding them could look down on that roof and it is invisible from the street.

Mr. Hoops referred to the plan on slide 73 . He noted the setback of the addition from the east façade is approximately 10 feet; from the west façade it is 12 feet. He referred to slide 74 and explained they will add a couple of bedrooms on the lower level. The west bedroom is pulled away from the historic building by 10 feet to create separation between the historic building and the new addition. Over the west bedroom is a deck and the building steps down to allow sunlight in the neighbor's yard. They wanted to be sensitive in how that fits into the existing neighborhood. He said from the front there is only a couple of feet of the living room that can be seen from the street.

QUESTIONS FOR APPLICANT

Vice Chair Katz said his questions were about the exception to the footprint, particularly the hardship.

Mr. Hoops said Karl Sommer would address the exceptions.

Karl Sommer, 125 Lincoln Ave., Suite 221, Santa Fe, was sworn in. Mr. Sommer said he was present with David Snead and Charles Butler who own the property and will

live in the house. It will not be a rental. He thought that was what Mr. Hoops was alluding to, as currently the house is divided into two rental units, separately occupied.

Member Biedscheid said additional testimony is needed for the Board to evaluate design criteria #3 and the goal of the project.

Mr. Hoops explained they are trying to maintain the existing vegetation on the side and ensure parking behind the house. Those elements come into play in terms of the entire site plan. They looked at ways to break up the building facades to keep the sense of belonging in this neighborhood. At the same time, they want to preserve the elements of the site; the trees, the parking behind the house. The Board saw the difficulty in parking. There is parking on the upper level for two cars and two cars on the lower level. Preserving that aspect of the site, preserves the front facades and keeps them free of clutter and the small street attitude.

Mr. Sommer added that the property and home was owned by David's Snead's mother and father who are longtime Santa Feans. David, his sister and his father own the property to the east. Part of the family's use entails their ability to get to and from the houses in the back. They discussed moving the living space, but it doesn't allow access to preserve the back area and moving the extra living space away from the house would interfere with the connectivity of the two homes that will be used by the family. He noted this is part of long time family owned property. They did look at alternatives and this best preserves the ability to use that area and the connection between the properties.

Member Biedscheid said that information helps. She asked if a smaller addition had ever been considered.

Mr. Hoops indicated there are certain programmatic needs for the house. They need a bedroom for a daughter and a study for each of them, because they work from home. The closets and the bathrooms are very tight. He said this is not an expansive luxury Las Campanas house. They have tried to make the house as tight as possible.

Chair Rios asked Mr. Hoops to describe public visibility from Kearny of the addition and any impact it may have on the historic house.

Mr. Hoops said the living room addition at street level is set back 10 feet behind the existing house and they could see a small piece of the living room. He felt, however, there is no impact on the historic structure. He referenced the elevations showing the Kearny Street façade and noted it is not connected to the house. It is separated by a 10-foot courtyard and doesn't read as part of the historic house.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she thought the exception criteria to add the addition had been met. She said even though it is not attached, it still overwhelms the historic house in terms of mass. This is “reasonable use” of the property, although it is not everything the owner might want. Also, the staircase dominates the façade and wasn’t in harmony with the streetscape.

BOARD DISCUSSION

Member Guida said this is a well-designed project that met all of the challenging requirements of a difficult site. He did not agree that the exception criteria have not been met. He thought it conceivable a 400 square-foot addition would be adequate without curtailing the owner’s development opportunity. The design meets all of the requirements in Code for setbacks and primary façades for stepping down 6 inches below the historic building. And it does that skillfully. It is articulated at the back of the house as a mass that is in scale with the original structure. He said the gap, the courtyard on the east façade and recesses on the west façade, satisfy that requirement for him. He thought the addition is not excessively sized and it is in scale with the existing house. He offered to make a motion.

Vice Chair Katz added in support of a motion, that the hardship exception is a tough one. He thought the intent was for someone who grew up in the house and found they needed to enlarge it as circumstances change. A different situation where an owner wants to change it to sell the house at a higher price, is not what was anticipated. He supported the project because the owners plan met the intent of the exception.

Member Bienvenu said he also wanted to speak in favor of the project. He had some concerns given the restrictions of the 50% rule. He thought the rule may be over restrictive in most cases, particularly in this case where hidden from view. This does not impact the streetscape or the historic district in a negative way and is an elegant solution to their design problems. The only exception criteria that give pause is hardship. As indicated, it is not a hardship to need more room, it is a hardship when people cannot continue to live in a family home because of that rule. He agreed, for those reasons and the circumstances of this property that it is a well-designed project and meets the exception criteria.

Chair Rios said she also supports this project. She explained the reason she put a lot of emphasis on the topography is because that is where the challenges come in. She said the historic part of the house is high and then drops way down to a driveway, and the addition will be in the back of the house. She thought the applicant did a good job articulating what they wanted to do. She said she is a champion of long time Santa

Feans who want to continue to live where they grew up and remain on properties that have been in their family. That is important to her because you do not see that often.

MOTION: In Case 2021-04179-HDRB, 119 Kearny Street, Member Guida moved to approve the project as submitted and finds the exception criteria have been met and would ask the applicant to update the drawing for the fence on the south façade to show the small separation and present that to staff. The motion was seconded by Member Bienvenu.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz and Larson voting in favor and none voting against.

I. DISCUSSION ITEMS

No items.

J. MATTERS FROM THE BOARD

Member Guida commented on the time issue the Board had talked about before. He said he knew that staff has an enormous job with the review of details of all of the cases every week in addition to those they are looking at that don't come to the Board. He suggested if they get to the applicant's presentation sooner it would benefit the applicant, the Board's information and the public. As a designer, he knows he could present his design the best. Applicants should be allowed to get to their presentation as soon as possible. Staff could flesh everything out in their Staff Report and highlight the main issues and there might be far fewer questions and less back-and-forth and need for explanation.

Member Bienvenu wanted to follow up on the discussion on windows and the corners of the façade. He didn't think it made a difference in the outcome to the case. He said the discussion indicated that the corner was being interpreted as an external corner, but he wasn't sure that was correct. The ordinance states that no door/window in a publicly visible façade shall be located nearer than 3 feet of the corner of the façade. But *façade* is defined as an exterior face or elevation of a structure, grade, etc. It continues to say that an individual façade is defined *as including at least an 8 foot width offset from an adjacent plane by at least 4 feet*. He said the language is confusing but to him implies that that includes internal corners to be at least those dimensions. They were not in the case before them. He said he wasn't saying that is the correct interpretation, but it should be an open question. He found that E-2(b) reference to the 3 foot rule in recent Santa Fe Style, and the definition of façade is in the Land Development Code.

Vice Chair Katz thought that was correct and thought the Board made the right decision in the case. He said the entryway structure is very narrow and doesn't meet the rule as just read, but he found it was helpful.

Chair Rios said there are certain portions of the Ordinance she thought the Board would want to spend time discussing, but she wasn't sure when. There are a lot of things they do need to discuss.

K. NEXT MEETING: Tuesday, October 12, 2021

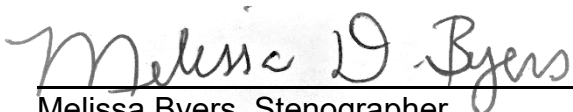
L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 7:47 pm.,

Approved by:

Cecilia Rios, Chair

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2021-004181-HDRB

Address – 118 and 120 W. Berger Street

Agent's Name – Thomas Lechner

Owner/Applicant's Name – John Pound

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 28, 2021.

BACKGROUND

118-120 West Berger Street is a combined two-duplex nominal Pueblo Revival structure in the Don Gaspar Historic District. There are four apartments arranged in the two duplexes constructed 30 years apart. The original portion was built in the 1950s; the second duplex was added in the 1980s. The joined buildings form roughly an “L,” with the older section situated at the rear (south) of the lot facing the street.

The applicant requested a historic status review and primary façade(s) designation as applicable. The front (north) façade of the original structure has a parapet roof, and a centered portal with vigas. The portal has double posts and is capped with a Zapata corbel at its center. The portal shows strict symmetry, reflecting its duplex design. Each unit has a combination of steel windows. Some windows on this north elevation have semi-permanent storm units that in some instances work as the primary glazing. The 1980s duplex is an unremarkable stuccoed structure with aluminum windows. The 1980s duplex has an existing low stucco yard wall and gate that are not historic and extends only across the western end of the property’s front (north-facing).

Although the original 1950s duplex maintains unique architectural design, features and materials characteristic of its era, the 1980s duplex does not match its style and engulfs it. The addition’s location in front of the original duplex further obscures it. Based on the complete reconfiguration of the original lot and the large addition, the combined four-apartment complex has lost its historic integrity.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended that the Board designate the building non-contributing, per SFCC Section 14-12.1.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.

4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The property is located in the Don Gaspar Area Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(H).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board found that the north elevation of the rear southern portion of the building meets the definition of a “contributing structure,” and designated its north elevation primary.
11. The Board found that the north façade of the rear 1950s duplex is primary with defining architectural details and historical material characteristic of 1950s architecture.
12. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board designates the northern 1980s portion of the building non-contributing and the 1950s southern portion of the building contributing status.
4. The Board designated the following elevations of the structure as the primary façade: the north elevation of the southern portion of the building.

IT IS SO ORDERED ON THIS 28th DAY of September, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004178-HDRB

Address – 213 Delgado Street

Agent’s Name – Trey Jordan

Owner/Applicant’s Name – Jerry Meyer

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 28, 2021.

BACKGROUND

The applicant proposed to construct a 2,530 sf residence with a detached 280 sf office. The house’s design is Recent Santa Fe Style and incorporates elements of Spanish-Pueblo Revival Style through its massing, materials, colors, and wall-dominated facades. It will be built of adobe.

Maximum allowable height is 13’- 10”; the proposed building height will be 13’ – 6”. The building is predominantly finished in stucco with some painted steel and wood detailing. Doors and windows will be aluminum-clad and have a “Dark Brown” powder-coated finish. South and east elevation windows will have divided light. The north and east facades are not publicly visible. Windows closer than 3’ of a corner are not publicly visible. Canales will be stained “Blackjack.” The lot where the new buildings are proposed is set back from Delgado Street about 200 feet, and has minimal public visibility.

Stucco will be El Rey “Buckskin.” No new yard walls are proposed.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E) Downtown and Eastside Historic District, Section 14-5.2(E)
6. The Applicant proposes to construct two new buildings in close proximity on one lot.
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves all items as set forth in the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 12th DAY of October, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-004175-HDRB

Address – 641 #1 W. San Francisco

Owner/Applicant’s Name – Ken Dimon

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 28, 2021.

BACKGROUND

461 #1 West San Francisco is a 3,500 sf building non-contributing to the Westside-Guadalupe Historic District. It is a simple vernacular Spanish-Pueblo Revival style with a shed roof and territorial pediments painted white. Its shed roof slopes east to west. Its windows are double 3-over-4 divided light, painted white territorial pediments.

The applicant proposed to add a 182 sf free-standing portal at its entry on the west elevation. The portal’s shed roof will match the existing house’s pitch, 2’ height change over 12’ span. The proposed portal has post and beam construction and will be painted to match the white trim of the house. It will have four vertical posts, and roof decking will be tongue and groove. The portal roof and gutters will be galvanized steel dulled to match surrounding homes. The portal’s height is 11’, lower than the house’s highest point at 13’.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Westside-Guadalupe Historic District per Section 14-5.2(I).

3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Westside-Guadalupe Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(I).

5. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
6. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as submitted and recommended by Staff

IT IS SO ORDERED ON THIS 12th DAY of October, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004177-HDRB

Address – 642 Camino de la Luz

Agent’s Name – Victor Johnson, AIA

Owner/Applicant’s Name – Bettina Milliken

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 28, 2021.

BACKGROUND

642 Camino de la Luz is a 4,177 sf building Non-Contributing to the Downtown and Eastside Historic District. Built in 2000, the house was added onto in 2010. The applicant proposed to add a 410 sf portal to cover an existing patio at the northwest end of the house. An exterior fireplace also is proposed for the patio. The portal columns’ structure and fireplace are masonry construction. The roof structure is wood beams, vigas, and deck with a tan-granule modified bitumen cap sheet. The proposed roof height is 9’- 6” to 10’, lower than the house roofline. New masonry elements will be stuccoed El Rey cementitious “Adobe”. The wood elements will be sealed in a natural finish, and exposed roof material will be a bronze tone.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District, Section 14-5.2(E) District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant proposes to construct a portal on the north elevation patio.

7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as submitted and as recommended by Staff

IT IS SO ORDERED ON THIS 12th DAY of October, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004119--HDRB

Project Description:

Project Location(s): 638 E PALACE AVE
Santa Fe, NM 87501

Contacts:

Property Owner: Scarlett Breeding

breedingscarlett@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004119-HDRB

Address: 638 East Palace Ave.
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: exception criteria responses

STAFF RECOMMENDATION:

Staff recommends that the criteria for an exception to Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade have been met and recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. In Case # 2020-004118-HDRB, heard on September 14, 2021, the east and north façades were designated as primary facades.

The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The west wall is attached to the neighboring unit.

On September 14, 2021, the HDRB was scheduled to hear this case, however it was postponed for the applicant to apply for an exception.

The applicant now requests the following items:

1. Construct a new 180 square foot patio and portal on the south side within the walled, rear courtyard. The patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. The portal shall be supported by four 8 by 8 inch wood columns and 3 by 10 inch wood beam, with exposed rafters and flat roof (sloped to drain). It will be set back from the east property line shall be 5 feet, one inch, and from the west property line shall be 1 foot 10 inches (to centerline of common yardwall). The portal depth shall be ten feet from the south face of building and shall be stained to match the exposed lintels of existing structure.
The portal shall extend to within 2 feet of the east primary façade. An exception is requested to section Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade.
2. As requested by the Fire Marshal, the existing east common yardwall shall be, for the depth of the portal, extended upward to the height of the portal roof, or 8 feet, which is the maximum allowable height. The extension of the common yardwall shall be finished with stucco colored El Rey "La Luz" to match the existing condition. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal.
3. Replace the existing windows and doors on the south elevation with two sets of 5 foot wide Anderson patio doors with simulated divided lights.
4. Install two, flat, curbed 3 by 5 foot skylights to the existing roof. These shall not be visible from E. Palace Ave.
5. Install a mini-split HVAC unit with condenser unit on the roof above the bathroom, surrounded by a 22 inch screen-curb painted to match grey color of the roof.
6. Replace the concrete walkway in the front courtyard with existing brick to match remainder of front courtyard.
7. Repair, caulk, and repaint existing windows.

EXCEPTION CRITERIA RESPONSES:

Exception to Section 14-5.2 (D) (2) (d) to construct within 10 feet of a primary façade:

1. (i) Do not damage the character of the district.

Applicant response:

- a. There is no impact on status and character of the defining features of the primary facades. The designated primary facades are not altered in any way.
- b. No component of the proposed portal or fenestration replacement is visible in conjunction with the primary facades.
- c. From every public view, there will be no visible modification to the building whatsoever.

(See diagram and photo below.)

Staff Response:

Staff agrees with the applicant. The portal will not impact the primary façade because it will be set back and clearly differentiated.

2. (ii) Are required to prevent a hardship to the applicant.

Applicant response

Specifically:

- a. The hardship of excessive solar heat gain from an unshaded south façade.
- b. The hardship imposed by the necessity to keep interior blinds of south windows closed during the day (to mitigate the excessive solar gain)—a condition which exacerbates Scarlett’s serious, doctor-treated claustrophobia.
- c. The hardship imposed by significant exposure to solar radiation in private courtyard garden.
- d. The hardship imposed by the denial of John and Scarlett’s visual enjoyment of their private courtyard garden due.

Staff Response:

Staff agrees with the applicant. The portal must be extended to cover the window in order to provide shading on the south side.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant response

- a. The proposed portal is the most architecturally appropriate means of meeting the applicants' needs for shade-cooling and visual connection with private courtyard-garden--conditions which enhance the livability of their home and which is a feature commonly enjoyed by surrounding homes in the historic district.
- b. As illustrated in photos below, the portal is a common solution to the necessity for sun-shading in the heterogeneous character of the historic districts.

Staff response:

Staff agrees with the applicant. This measure will allow the residents to meaningfully inhabit the south-facing spaces. There are no other places that a portal can be placed to provide shade in this location.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted: <u>8.6.2021</u>	<u>638 E PALACE, SANTA FE</u>
Property Owner of Record: <u>JOHN ALT + SCARLETT BREEDING</u>	Proposed Construction Description:
Applicant/Agent Name:	<u>REMODEL REAR</u>
Contact Person Phone Number: <u>(910) 562-5308</u>	TOTAL ROOF AREA:
Zoning District: <u>R21</u>	Lot Coverage: <u>51</u> % <input type="checkbox"/> Open Space Required: <u>45</u>
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: <u>10'-9"</u> Minimum: <u>7'</u> 2 nd Front? _____ Proposed Rear: <u>40</u> Minimum: <u>5'</u> Proposed Sides: <u>15'-R 5</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>10'-6"</u> Maximum Height: <u>14</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input checked="" type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: <u>(EXISTING)</u> Proposed <u>1</u> Accessible _____ Minimum: _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes <u>NONE</u>	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

SCARLETT BREEDING PRINT NAME OWNER APPLICANT AGENT
hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Scarlett Breeding SIGNATURE 8.6.2021 DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>RECORDS AFFIDAVIT WILL BE REQUIRED AT TIME OF PERMIT</u>	
REVIEWER: <u>[Signature]</u>	DATE: <u>8/9/21</u>
<small>Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.</small>	

Revised 9/15/21

8-13-21

TO: Santa Fe Historic District Review Board

FM: Scarlett Breeding and John Alt

RE: Proposal Letter for Improvements to 638 E. Palace Ave., Santa Fe, NM

The existing 836 SF one-story, stucco residence was constructed in 1946 as unit #5 of the six unit "Palmeda" condominium complex. The unit #5 lot size is 2,125 SF, including front and rear walled courtyards. Plumbers doing repair work discovered that an addition was made to the South Facade in the mid 80's the same time the rear door and window were installed to accommodate plumbing for a washer and dryer. The addition is comprised of wood studs abutting into the adobe south wall.

Proposed improvements are as follows:

1. Construct a new patio and portal on the south side within the walled, rear courtyard. Patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. Portal shall be supported by four 8"X8" wood columns and 3"X10" wood beam, with exposed rafters and flat roof (sloped to drain). Portal setback from the east property line shall be 7 feet, and from the west property line shall be 2.5 feet (to centerline of common yardwall). Portal depth shall be 7'-0" from the southern most face of the South wall. Portal shall be stained to match the exposed window color.

As requested by Fire Marshal, the existing east common yard wall shall be, for the depth of the portal, extended upward to the height of the portal roof. The extension of the common yardwall shall be finished with stucco to match the existing condition. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal to comply with zoning setback.

2. Replace existing exterior door and windows on south elevation with two 4.5 feet wide Anderson patio doors with simulated divided lights. The revised window from the bedroom will fit into the existing masonry wall and will preserved the existing wood lintel. The proposed doors from the sleeping space are required to meet Life Safety Code for egress.

3. Install two, flat, curbed 22 inches x 22 inches' skylights to the existing roof. Skylights shall not be visible from E. Palace Ave. or from adjacent properties.
4. Install a mini-split HVAC unit with condenser unit on roof, surrounded by a screen-curb painted to match roof color.
5. Repair, caulk, and repaint existing windows.
6. Repair miscellaneous non-structural cracks in existing stucco finish.
7. Replace exist. kitchen cabinets and appliances, existing laundry cabinets and appliances, and existing bathroom fixtures.

NOTE: Palmeda Condominium HOA, consisting of 5 adjacent homeowners, unanimously, granted their approval for these proposed improvements. (See attached letter)

A handwritten signature in black ink, appearing to read "A. Reddy". The signature is written in a cursive, flowing style with a large initial letter.

Proposal Letter for Improvements to 638 E. Palace Ave., Santa Fe, NM

Attachment

APPROVAL LETTER FROM HOA

From: Yvette Debarr <ydebarr@yahoo.com>

Date: June 20, 2021 at 12:59:16 PM MDT

To: liz@lizsheffield.com

Cc: patrick donley <podonley53@gmail.com>, John Dubendorff <dubendorff@hotmail.com>, Debbie Daniel <danieldebra@hotmail.com>

Subject: Palmeda Condo Assoc Architectural Review Board(ARB)

Liz,

An emergency meeting was held of the ARB to discuss installation/construction of a portal and/or pergola at 638 E. Palace Ave.

The ARB consists of 3 members:

Pat Donley - owner of 635 1/5 E. Alameda & HOA President

John Dubendorff - owner of 635 E. Alameda

Judith Welch - owner of 638 E. Palace Ave

It was decided that Judith would be exempt from voting due to a conflict of interest as the proposal involves the sale of her property.

The vote to allow the above was approved by both members, Pat Donley & John Dubendorff. As they hold a 66% share of the vote and thus constitute a quorum, the proposal passed on the basis that the aforementioned structures do not abut a shared HOA member's property/wall as this would constitute a "limited common" element and require further discussion with the appropriate homeowner(s).

I have included our HOA Secretary, Debbie Daniel, so the information is on record and included as an addendum or in the minutes of the next HOA meeting.

Please let me know if I can be of further assistance.

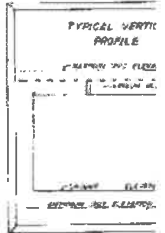
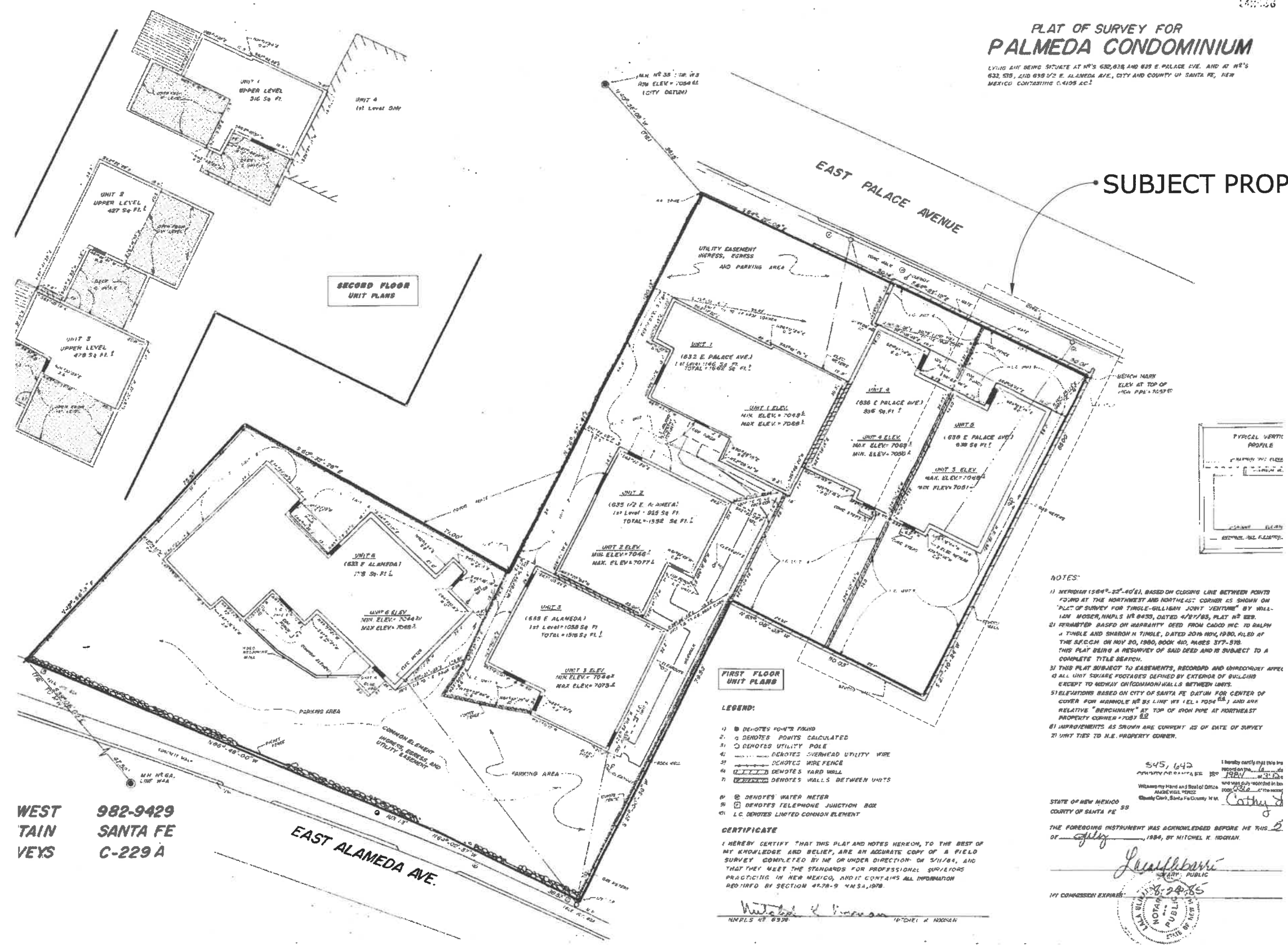
Yvette De Barr

636 E. Palace Ave

PLAT OF SURVEY FOR PALMEDA CONDOMINIUM

LYING AND BEING SITUATE AT N^{OS} 632, 634 AND 636 E. PALACE AVE. AND AT N^{OS} 632, 634, AND 636 1/2 E. ALAMEDA AVE., CITY AND COUNTY OF SANTA FE, NEW MEXICO CONTAINING 0.4195 AC.

SUBJECT PROPERTY



- NOTES:**
- 1) BENCHMARK (584°-22'-40"), BASED ON CLOSING LINE BETWEEN POINTS FOUND AT THE NORTHWEST AND NORTHEAST CORNER AS SHOWN ON "PLAT OF SURVEY FOR TINGLE-GILLMAN JOINT VENTURE" BY WILLIAM MOSE, N.M.P.S. NO. 8435, DATED 4/27/83, PLAT NO. 888.
 - 2) PERMITS BASED ON WARRANTY DEED FROM CADO INC. TO RALPH J. TINGLE AND SHARON H. TINGLE, DATED 20th NOV, 1980, FILED AT THE REC. ON NOV 20, 1980, BOOK 40, PAGES 377-378. THIS PLAT BEING A RESURVEY OF SAID DEED AND IS SUBJECT TO A COMPLETE TITLE SEARCH.
 - 3) THIS PLAT SUBJECT TO EASEMENTS, RECORDS AND ENCROACHMENT APPEAL
 - 4) ALL UNIT SQUARE FOOTAGES DEFINED BY EXTERIOR OF BUILDING EXCEPT TO MIDWAY ON COMMON WALLS BETWEEN UNITS.
 - 5) ELEVATIONS BASED ON CITY OF SANTA FE DATUM FOR CENTER OF COVER FOR MANHOLE NO. 85 LINE 1 E L. 7054 (63) AND ARE RELATIVE "BENCHMARK" AT TOP OF IRON PIPE AT NORTHEAST PROPERTY CORNER (7057) 82.
 - 6) IMPROVEMENTS AS SHOWN ARE CURRENT AS OF DATE OF SURVEY
 - 7) UNIT TIES TO N.E. PROPERTY CORNER.

- LEGEND:**
- 1) DENOTES IRON PIPE
 - 2) DENOTES POINTS CALCULATED
 - 3) DENOTES UTILITY POLE
 - 4) DENOTES OVERHEAD UTILITY WIRE
 - 5) DENOTES WIRE FENCE
 - 6) DENOTES YARD WALL
 - 7) DENOTES WALLS BETWEEN UNITS
 - 8) DENOTES WATER METER
 - 9) DENOTES TELEPHONE JUNCTION BOX
 - 10) L.C. DENOTES LIMITED COMMON ELEMENT

CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF, ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER DIRECTION ON 5/11/84, AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO, AND IT CONTAINS ALL INFORMATION REQUIRED BY SECTION 47-2-9 N.M.S.A., 1978.

545, 642 I hereby certify that this is a true and correct copy of the original as recorded in the public records of Santa Fe County, New Mexico.

STATE OF NEW MEXICO
COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 2nd OF July, 1984, BY MITCHELL K. HODMAN.

Mitchell K. Hodman
NOTARY PUBLIC

MY COMMISSION EXPIRES: 10-24-85

WEST TAIN VEYS 982-9429
SANTA FE C-229 A

PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
Owners: Scarlett Breeding & John Alt 410-562-5308

8-10-21

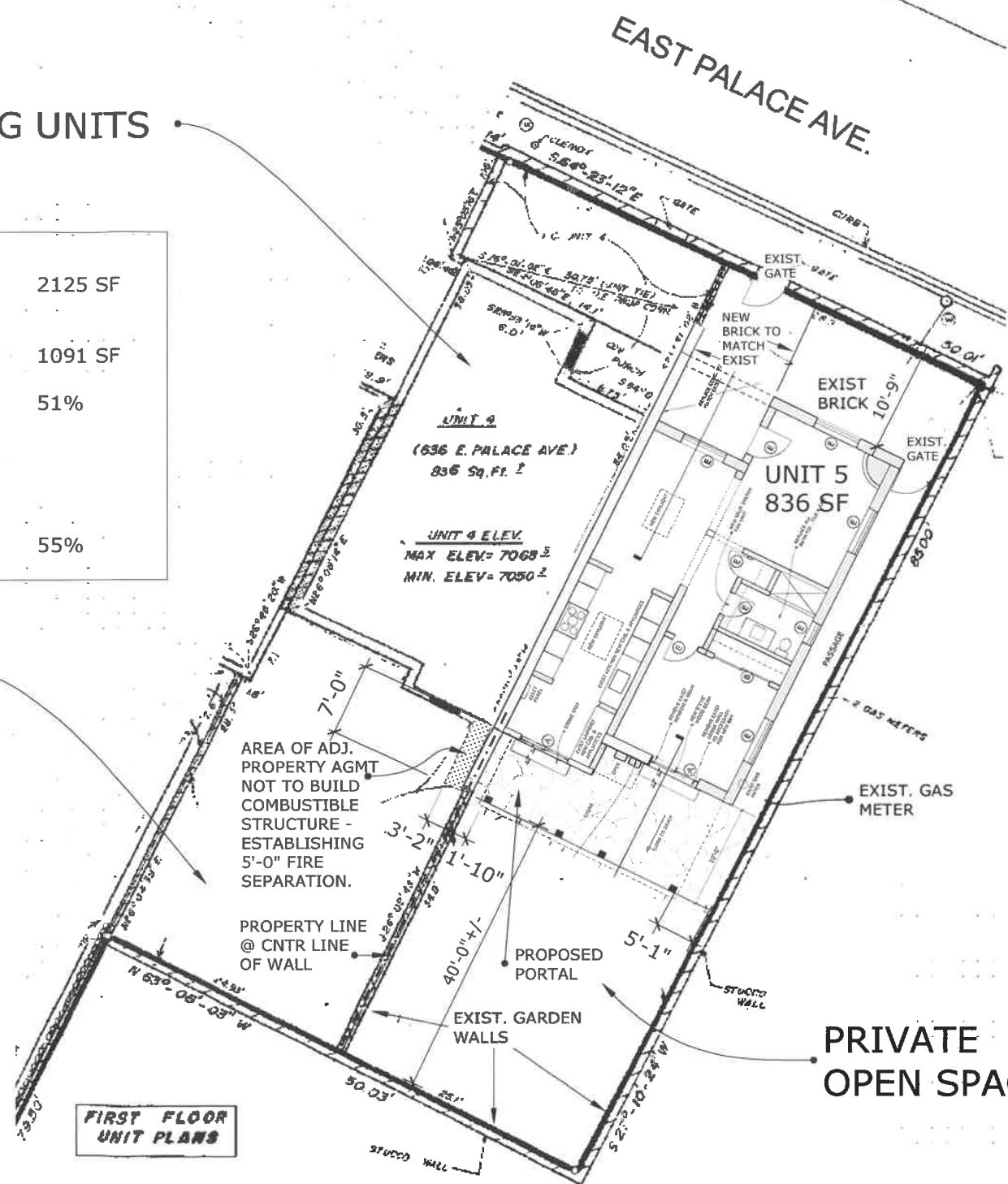
PL

TWO DWELLING UNITS

ZONING R-21

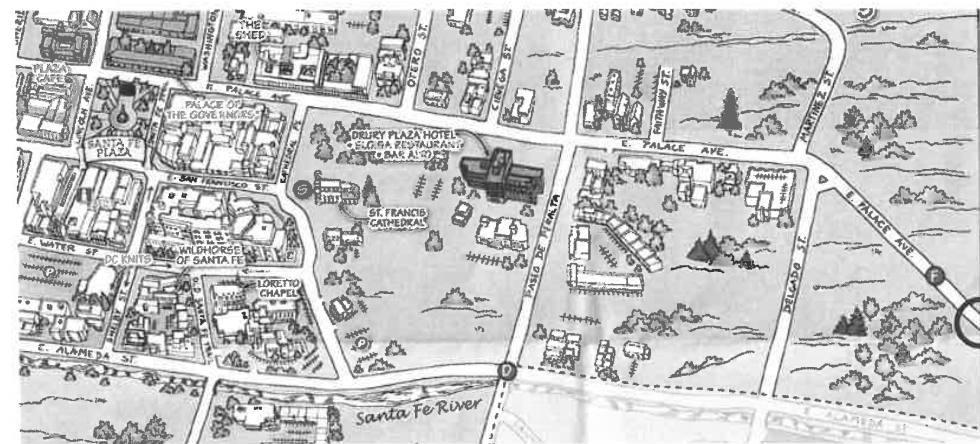
LOT AREA UNIT #5	2125 SF
PROPOSED ROOF AREA (INCLUDING NEW PORTAL)	1091 SF
PROPOSED LOT COVERAGE	51%
LOT COVERAGE ALLOWED PER R-21 ZONING MULTI- FAMILY W/ LESS THAN 6 UNITS & PRIVATE OPEN SPACE PER SECTION 14-7.5	55%

PRIVATE OPEN SPACE



FIRST FLOOR
UNIT PLANS

SITE PLAN 1" = 20'



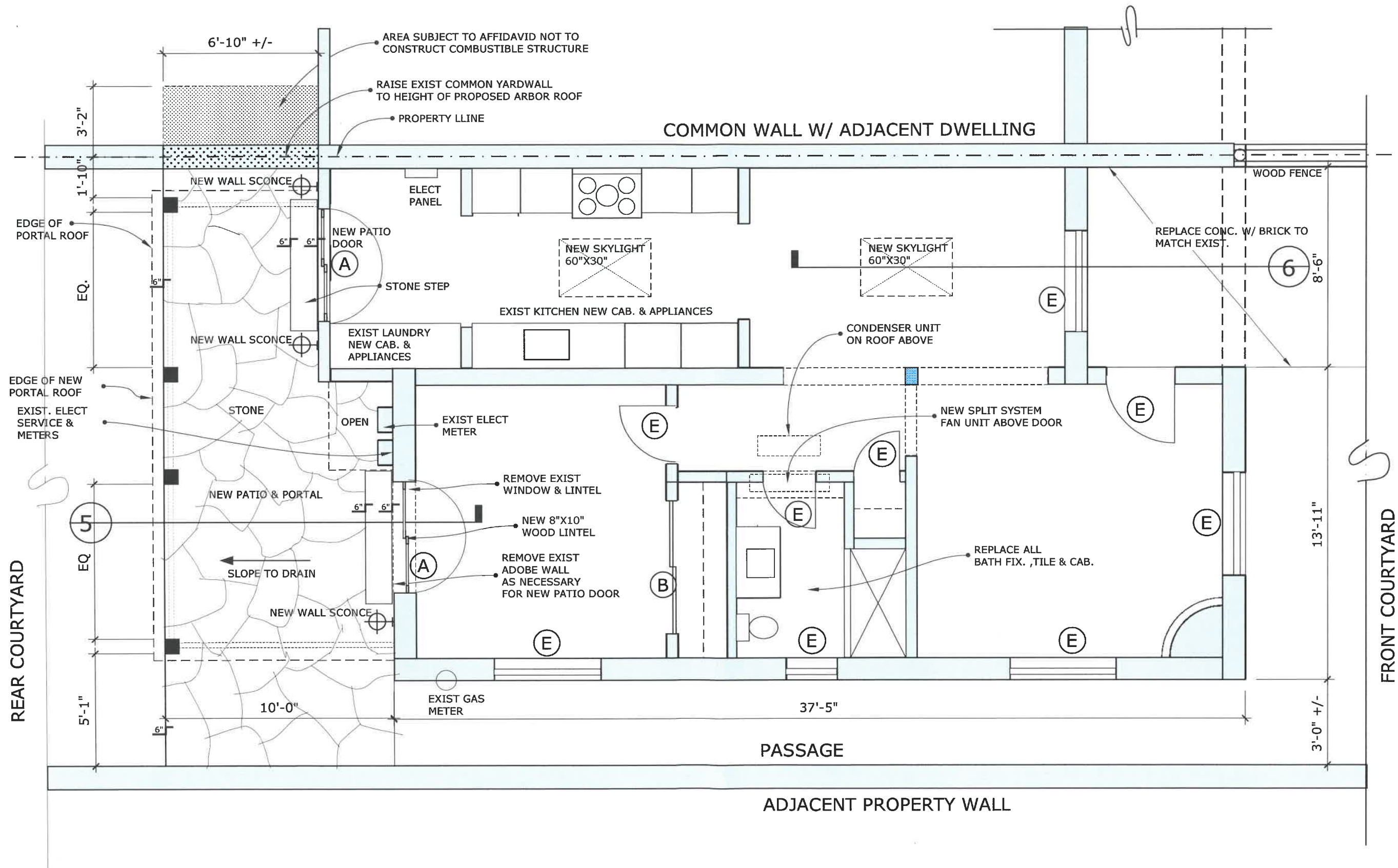
VICINITY MAP

PROPERTY

PRIVATE OPEN SPACE

PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

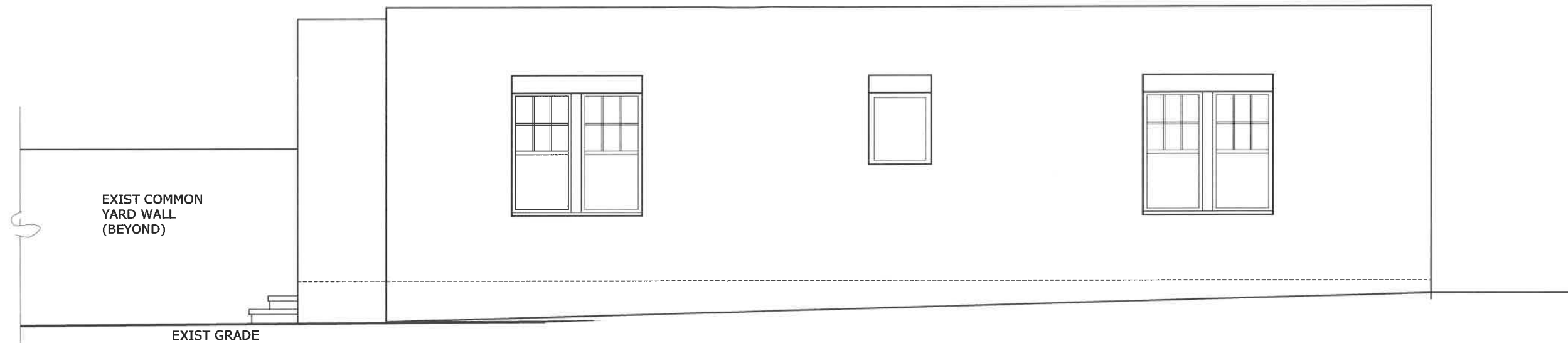
8-10-21



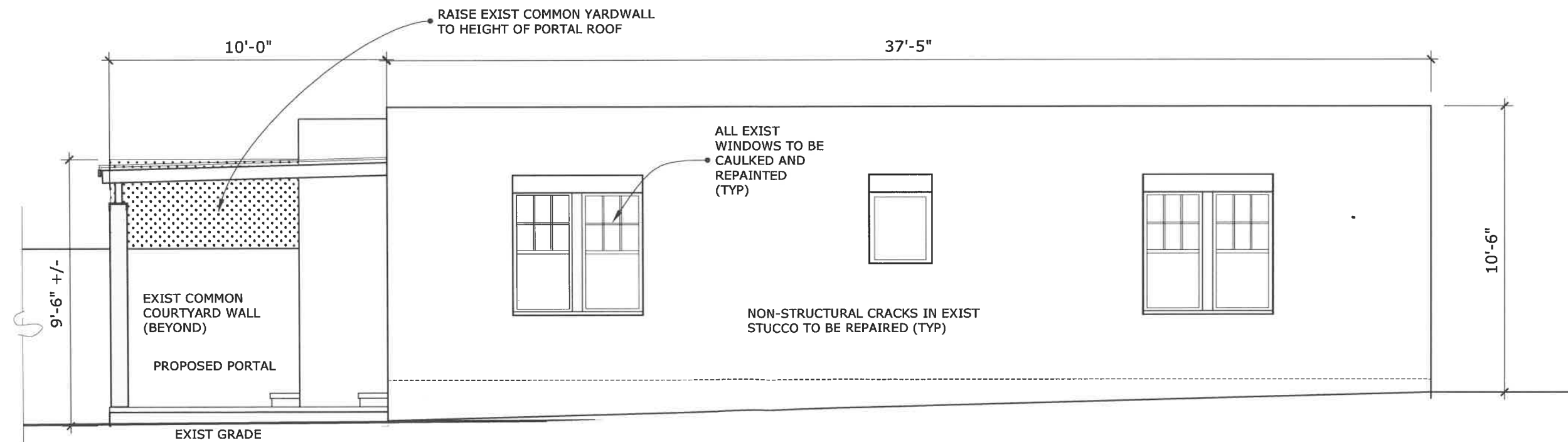
PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

8-10-21

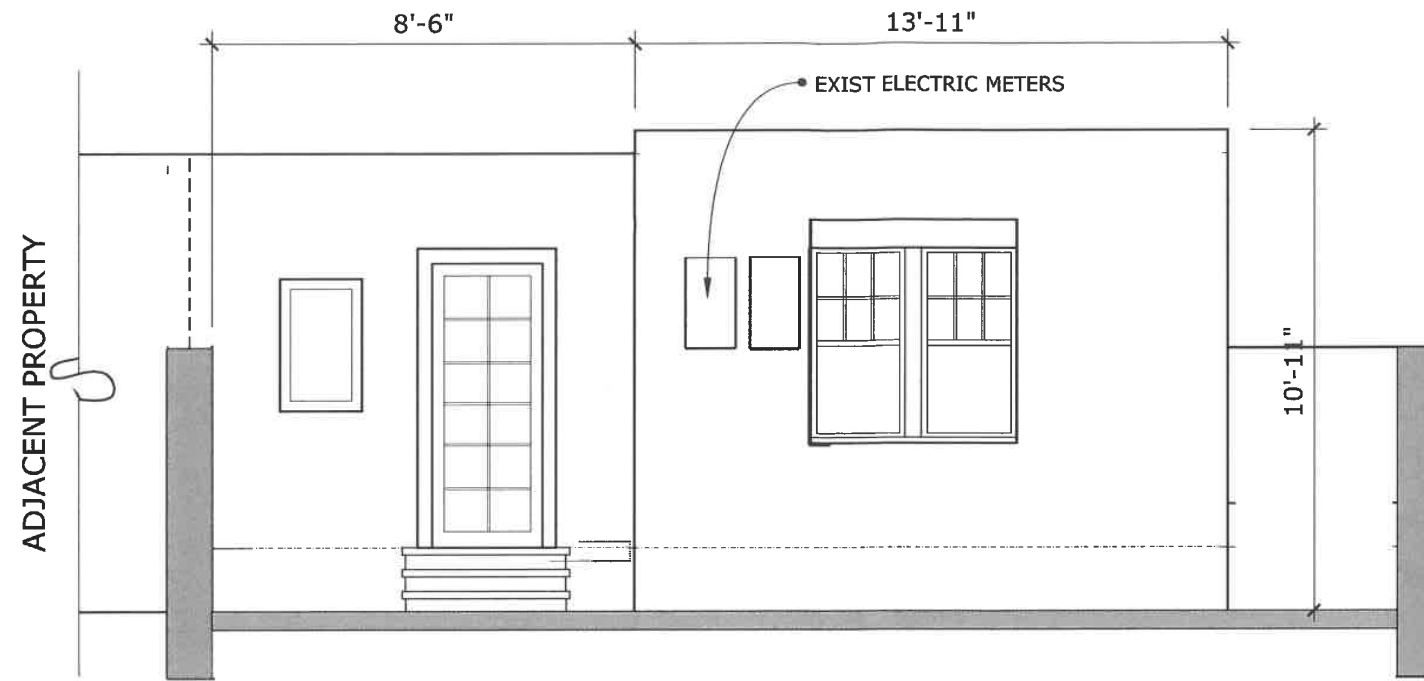
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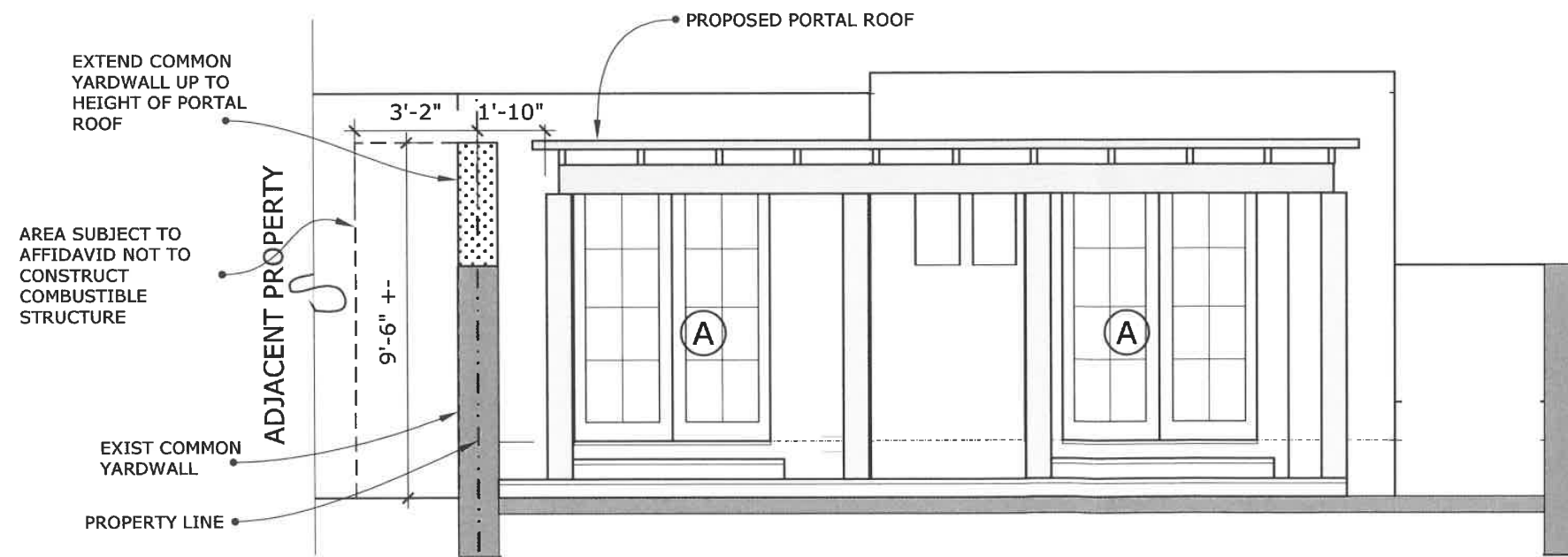
EXISTING EAST ELEVATION 1/4" = 1'-0"



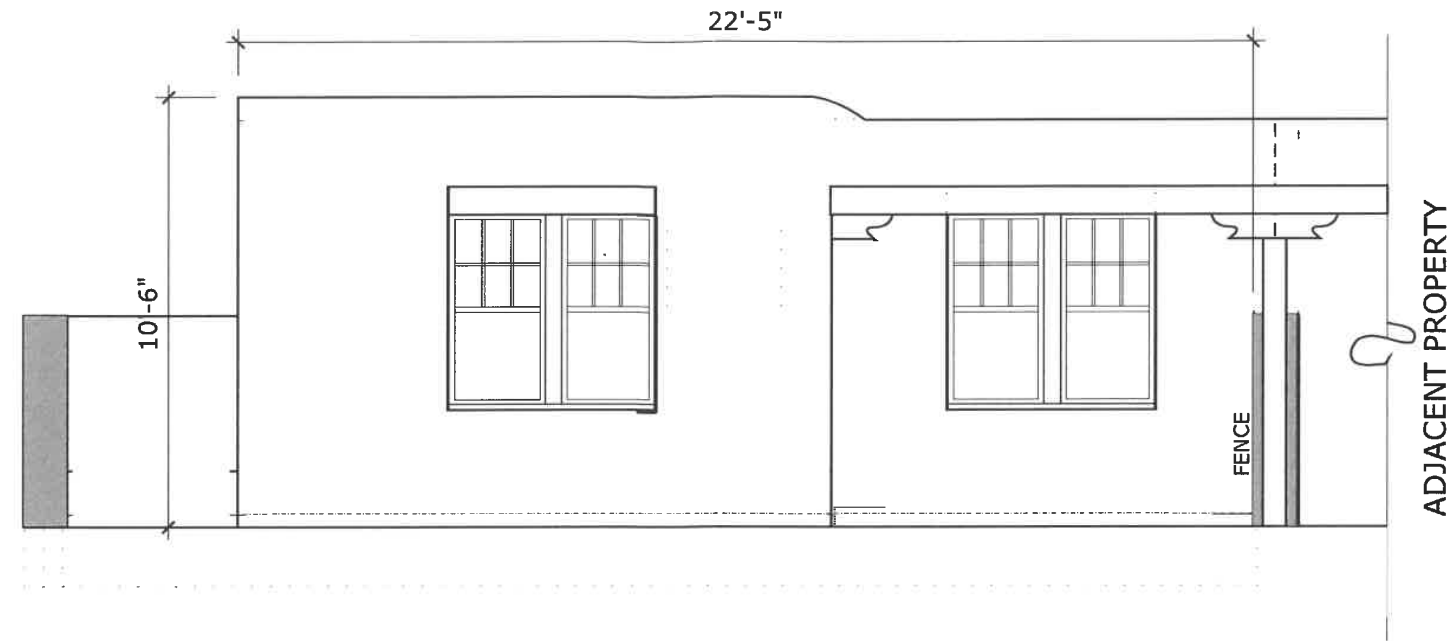
PROPOSED EAST ELEVATION 1/4" = 1'-0"



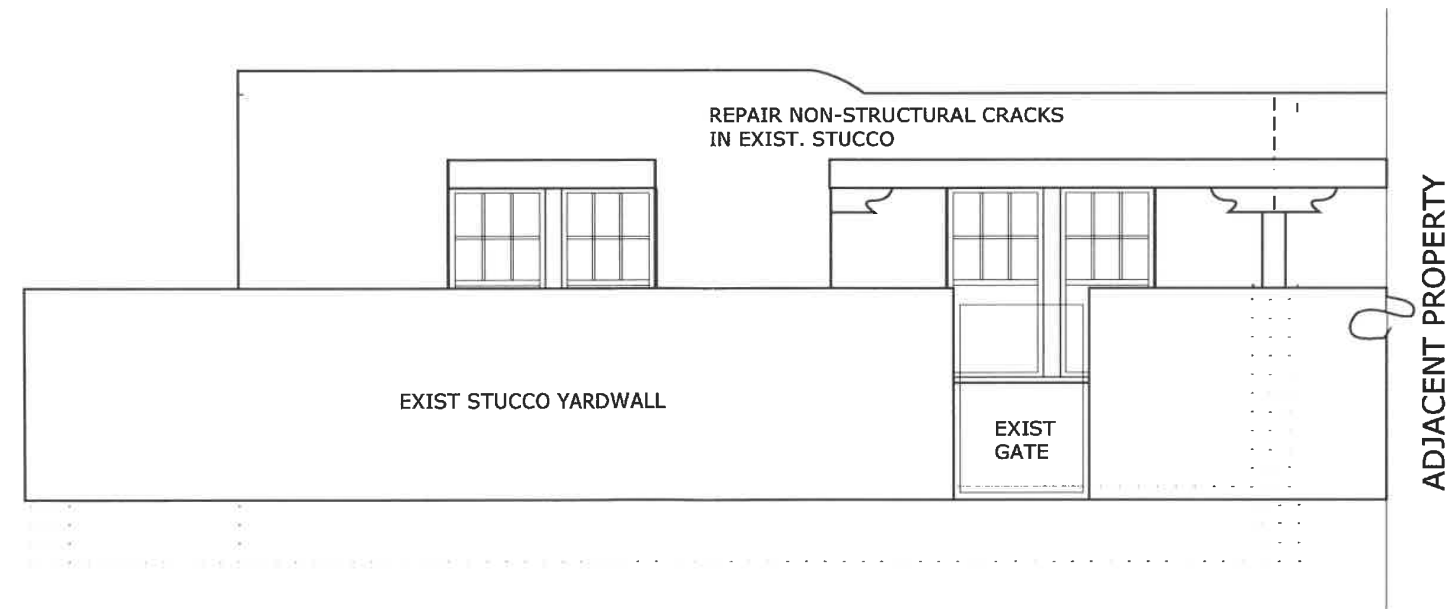
EXISTING SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"



EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"

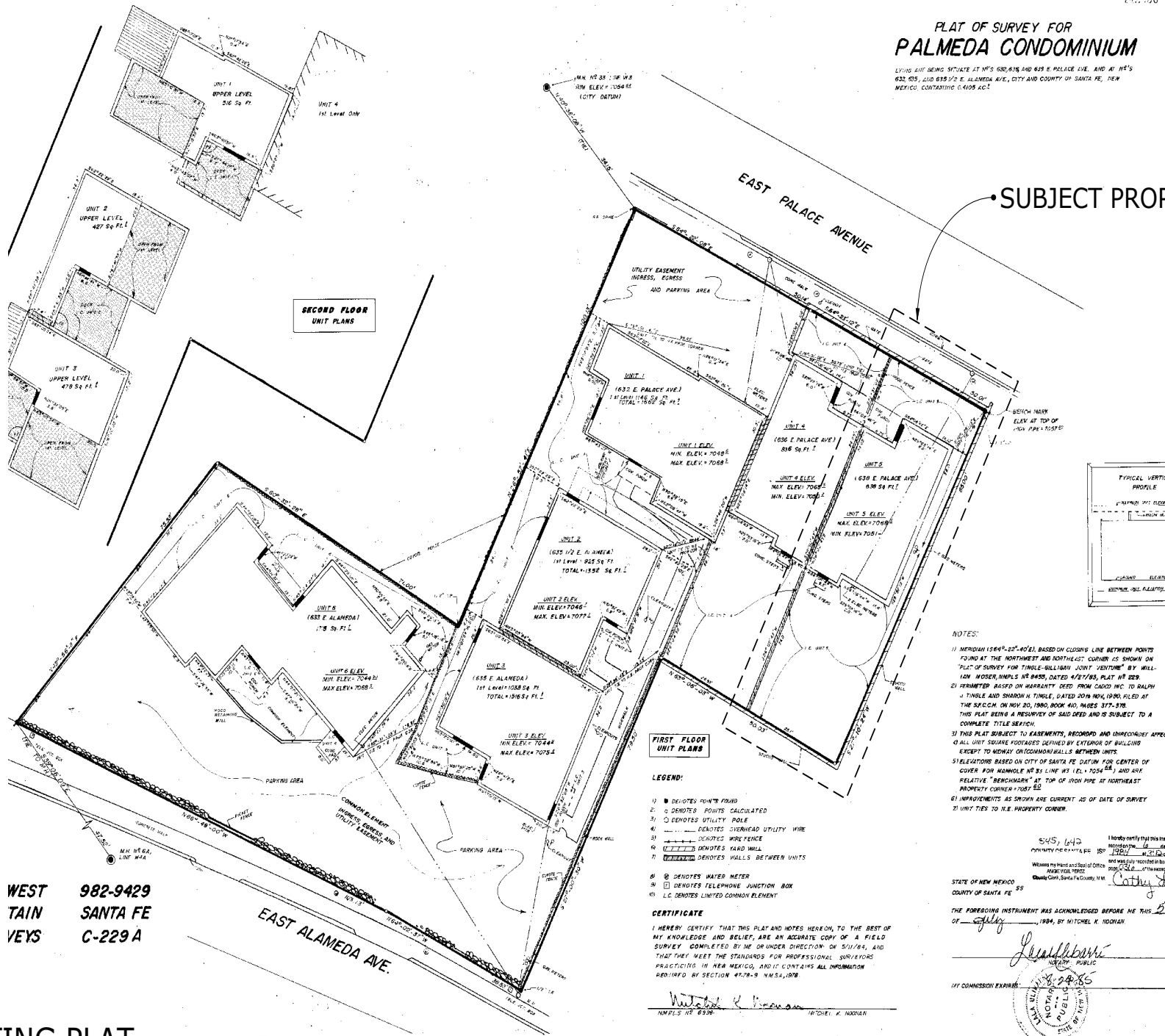


EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"
(WITH EXISTING YARDWALL)

PLAT OF SURVEY FOR PALMEDA CONDOMINIUM

LYING AND BEING SITUATE AT N^o 630, 634 AND 638 E. PALACE AVE. AND AT N^o 632, 636, 638 1/2 E. ALAMEDA AVE., CITY AND COUNTY OF SANTA FE, NEW MEXICO, CONTAINING 0.408 AC.

SUBJECT PROPERTY



WEST TAIN VEYS 982-9429 SANTA FE C-229 A

- NOTES:**
- 1) MERIDIAN 156°-23'-40" E. BASED ON CLOSING LINE BETWEEN POINTS FOUND AT THE NORTHWEST AND NORTHEAST CORNER AS SHOWN ON "PL" OF SURVEY FOR TINGLE-GILLIGAN JOINT VENTURE BY WILLIAM MOSEB, MAPS N^o 8450, DATED 4/27/85, PLAT N^o 229.
 - 2) BOUNDARY BASED ON WARRANTY DEED FROM SAUD INC. TO RALPH J. TINGLE AND SHARON A. TINGLE, DATED 20th NOV, 1984, FILED AT THE SEC. CL. ON NOV. 20, 1980, BOOK 410, PAGES 377-378. THIS PLAT BEING A RESURVEY OF SAID DEED AND IS SUBJECT TO A COMPLETE TITLE SEARCH.
 - 3) THIS PLAT SUBJECT TO EASEMENTS, RECORDS AND INSTRUMENTS APPLICABLE TO THE SUBJECT PROPERTY.
 - 4) ALL UNIT SQUARE FOOTAGES DEFINED BY EXTERIOR OF BUILDING EXCEPT TO MIDWAY ON COMMON WALLS BETWEEN UNITS.
 - 5) ELEVATIONS BASED ON CITY OF SANTA FE DATUM FOR CENTER OF GOWER FOR MONUMENT N^o 81 LINE W3 (E.L. 7054.88) AND ARE RELATIVE "BENCHMARK" AT TOP OF IRON PIPE AT NORTHEAST CORNER OF CORNER 7057.82.
 - 6) IMPROVEMENTS AS SHOWN ARE CURRENT AS OF DATE OF SURVEY.
 - 7) UNIT TIES TO N.E. PROPERTY CORNER.

- LEGEND:**
- 1) (Symbol) DENOTES POINT FOUND
 - 2) (Symbol) DENOTES POINTS CALCULATED
 - 3) (Symbol) DENOTES UTILITY POLE
 - 4) (Symbol) DENOTES OVERHEAD UTILITY WIRE
 - 5) (Symbol) DENOTES WIRE FENCE
 - 6) (Symbol) DENOTES YARD WALL
 - 7) (Symbol) DENOTES WALLS BETWEEN UNITS
 - 8) (Symbol) DENOTES WATER METER
 - 9) (Symbol) DENOTES TELEPHONE JUNCTION BOX
 - 10) (Symbol) DENOTES LIMITED COMMON ELEMENT

CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF, ARE AN ACCURATE COPY OF A FIELD SURVEY COMPLETED BY ME OR UNDER DIRECTION ON 5/11/84, AND THAT THEY MEET THE STANDARDS FOR PROFESSIONAL SURVEYORS PRACTICING IN NEW MEXICO, AND I CONTAIN ALL INFORMATION REQUIRED BY SECTION 477A-9 N.M.S.A., 1978.

Michael K. Norman
MICHAEL K. NORMAN

STATE OF NEW MEXICO
COUNTY OF SANTA FE

NOTARY PUBLIC
MICHAEL K. NORMAN
505, 642

I HEREBY CERTIFY THAT THIS INSTRUMENT IS A TRUE AND CORRECT COPY OF THE ORIGINAL INSTRUMENT FILED IN THE PUBLIC RECORDS OF THE COUNTY OF SANTA FE, NEW MEXICO, ON 5/11/84, BY MICHAEL K. NORMAN.

THE FOREGOING INSTRUMENT HAS BEEN ACKNOWLEDGED BEFORE ME THIS 5th OF 5/11/84, BY MICHAEL K. NORMAN.

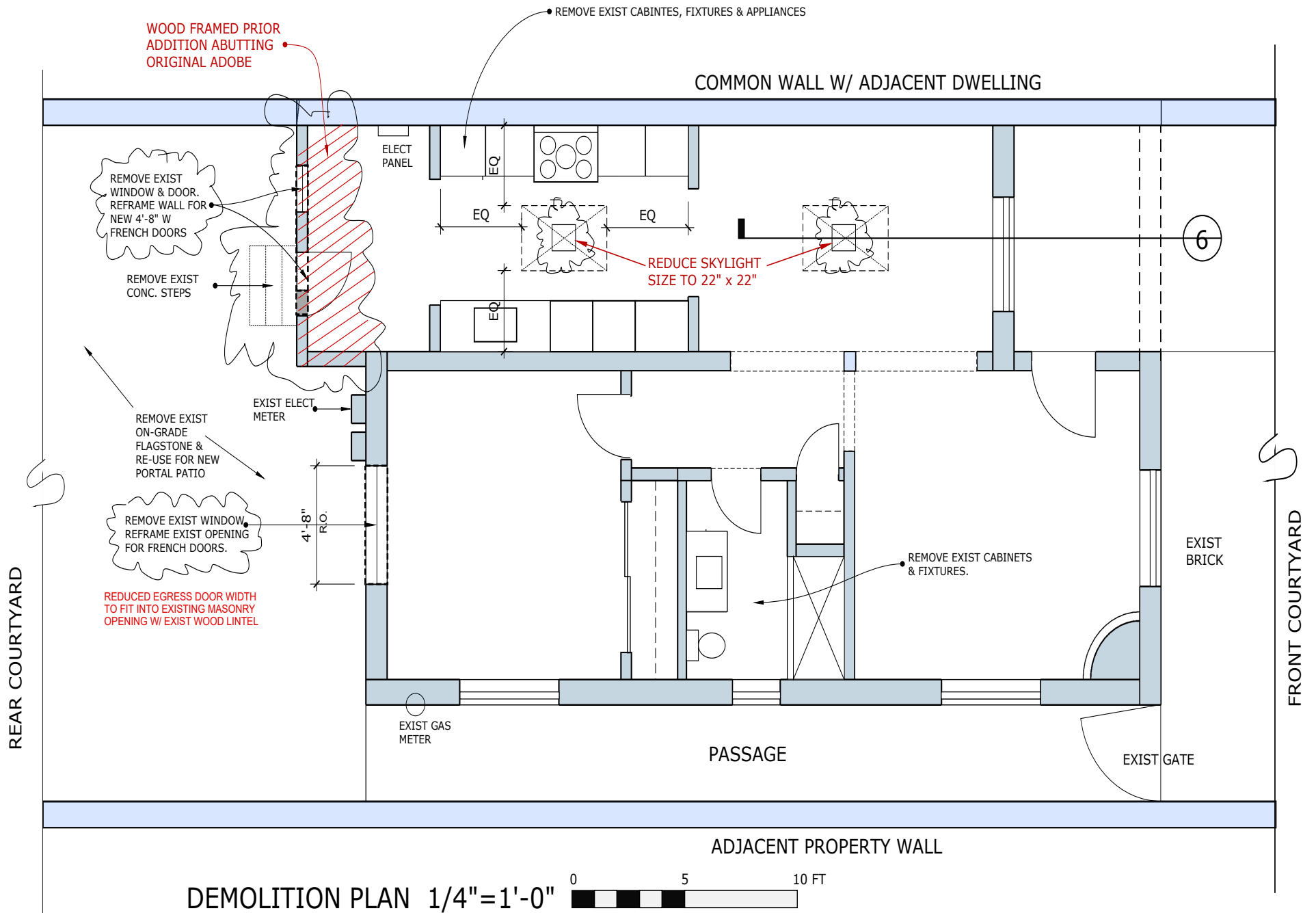
NOTARY PUBLIC
MICHAEL K. NORMAN
505, 642

MY COMMISSION EXPIRES: 5-11-2005

EXISTING PLAT
PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

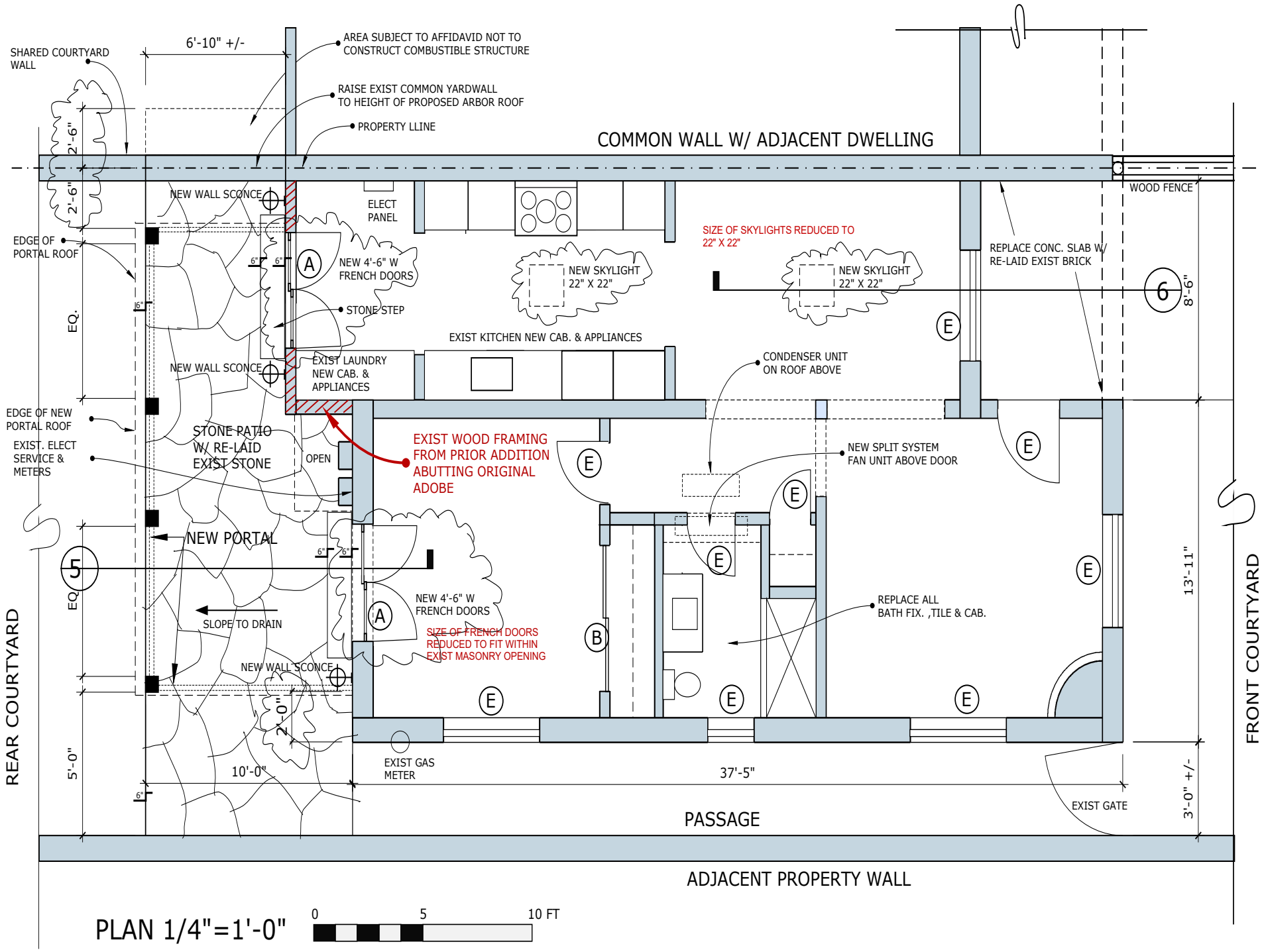
REV. 9/15/21

PL

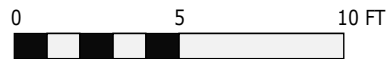


PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

REV
 9/15/21

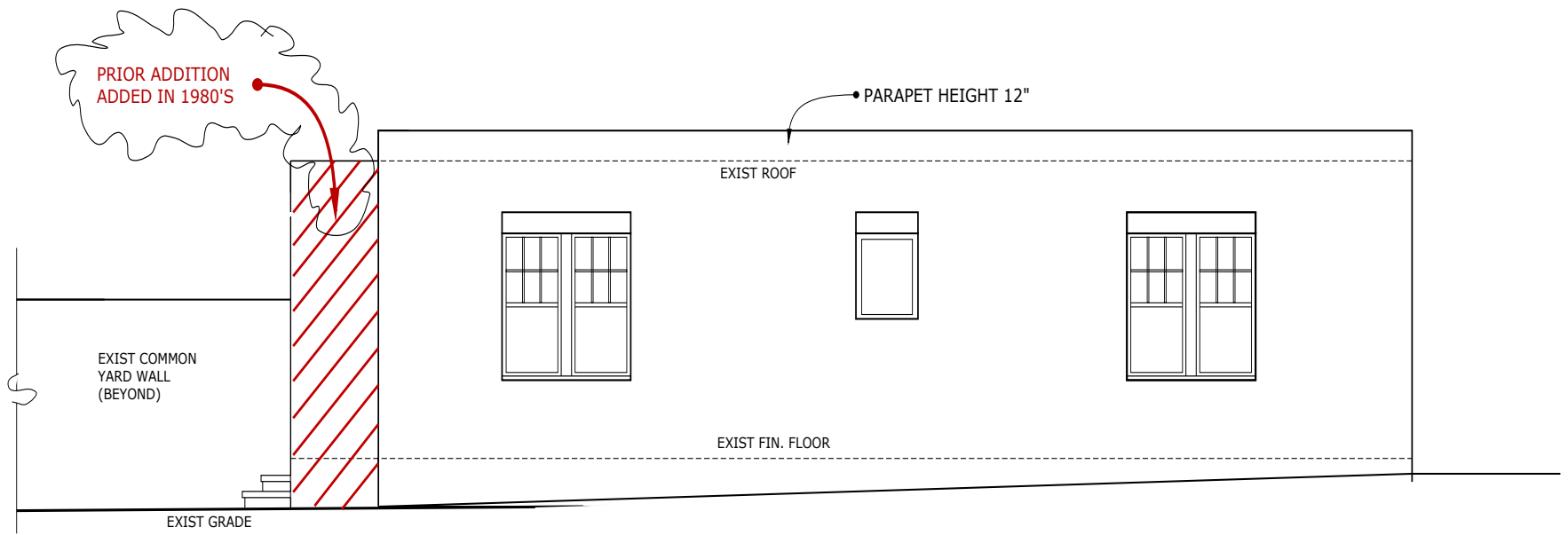


PLAN 1/4" = 1'-0"

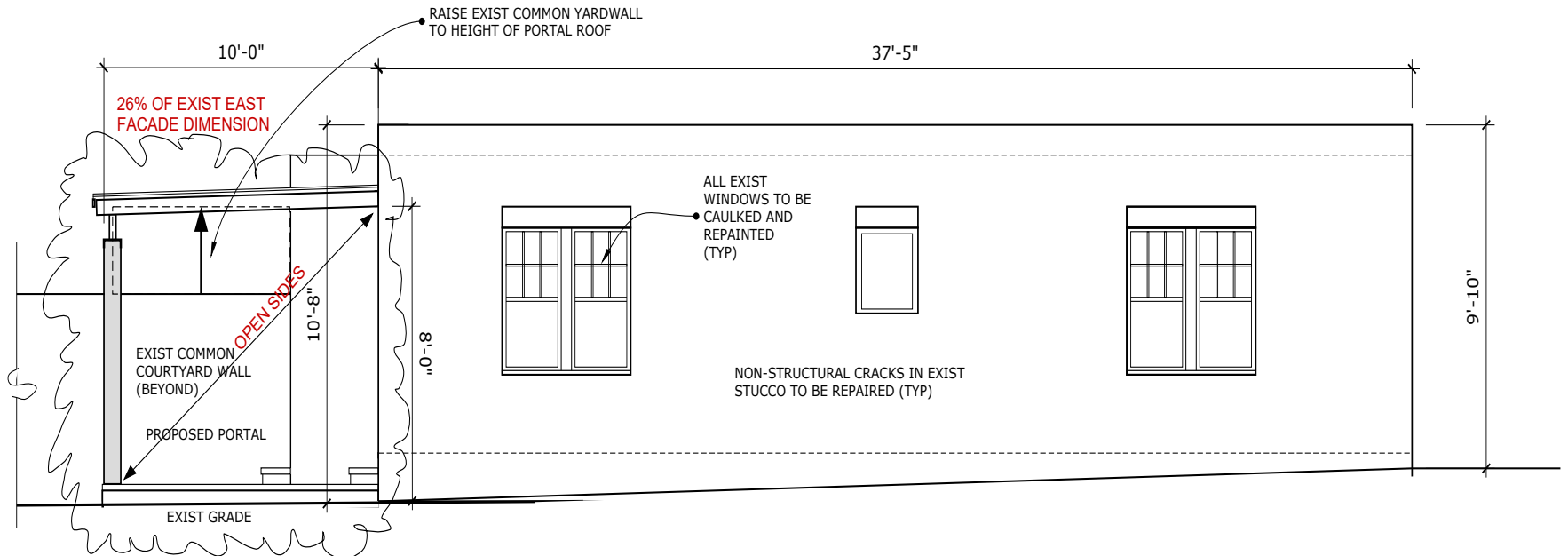


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REV
 9/15/21

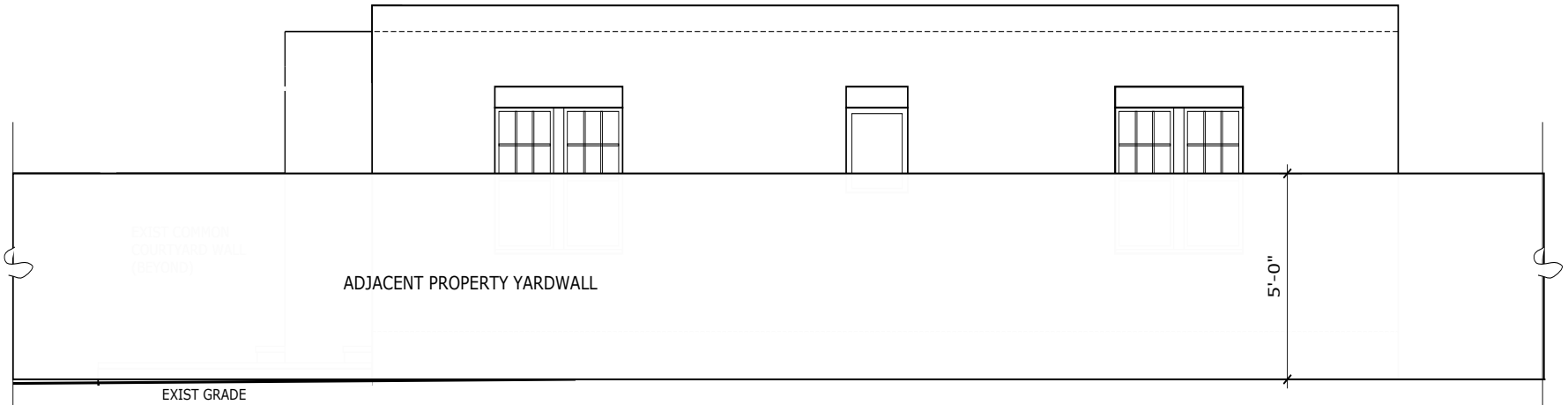


EXISTING EAST ELEVATION 1/4" = 1'-0"

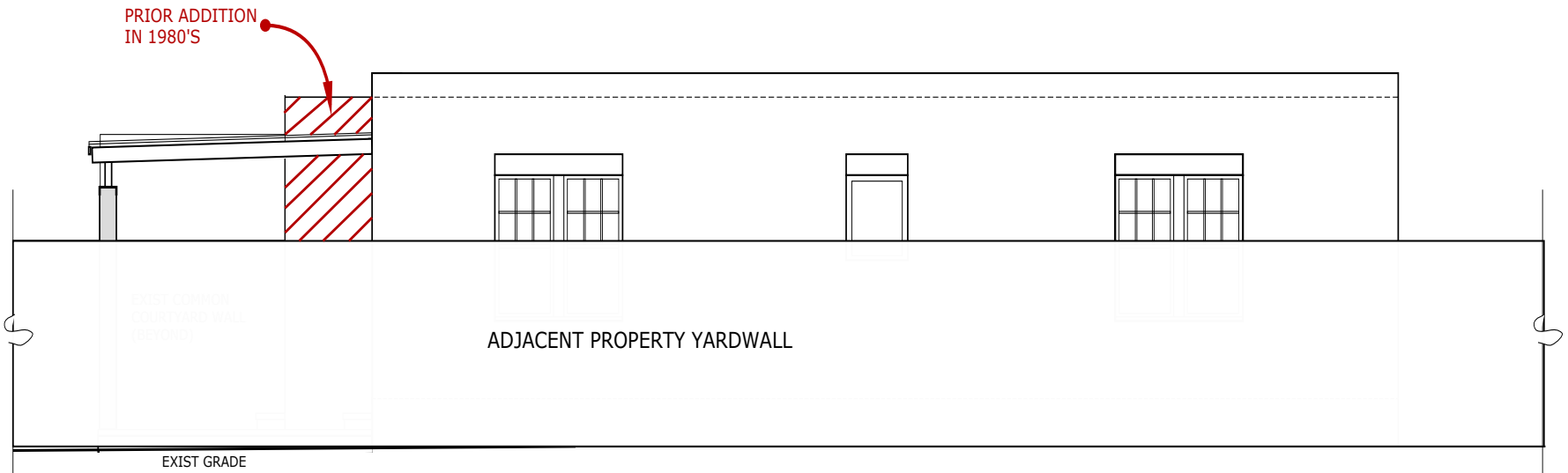


PROPOSED EAST ELEVATION 1/4" = 1'-0"

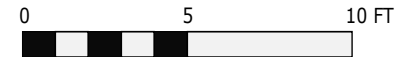




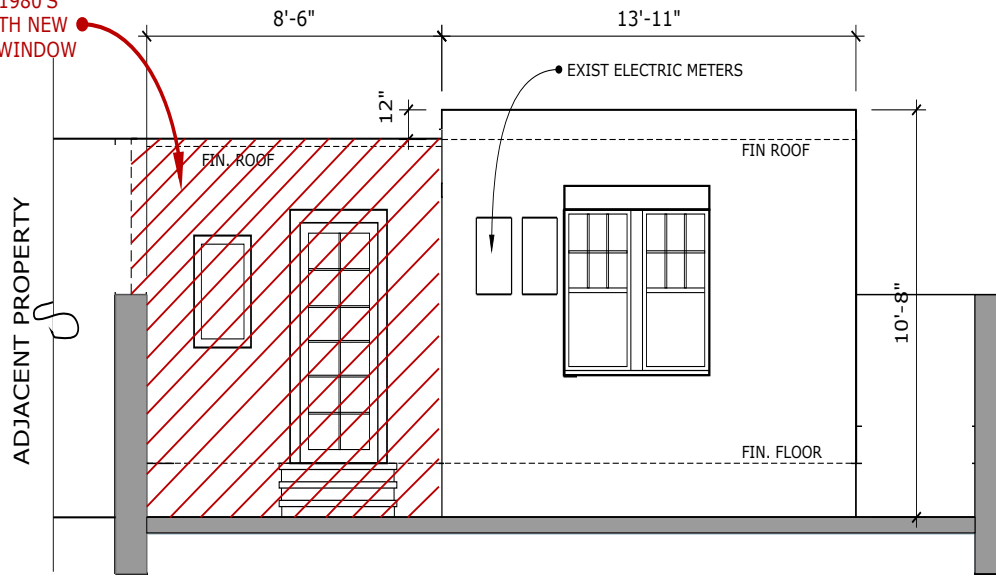
EXISTING EAST ELEVATION 1/4" = 1'-0" (WITH ADJACENT PROPERTY YARDWALL)



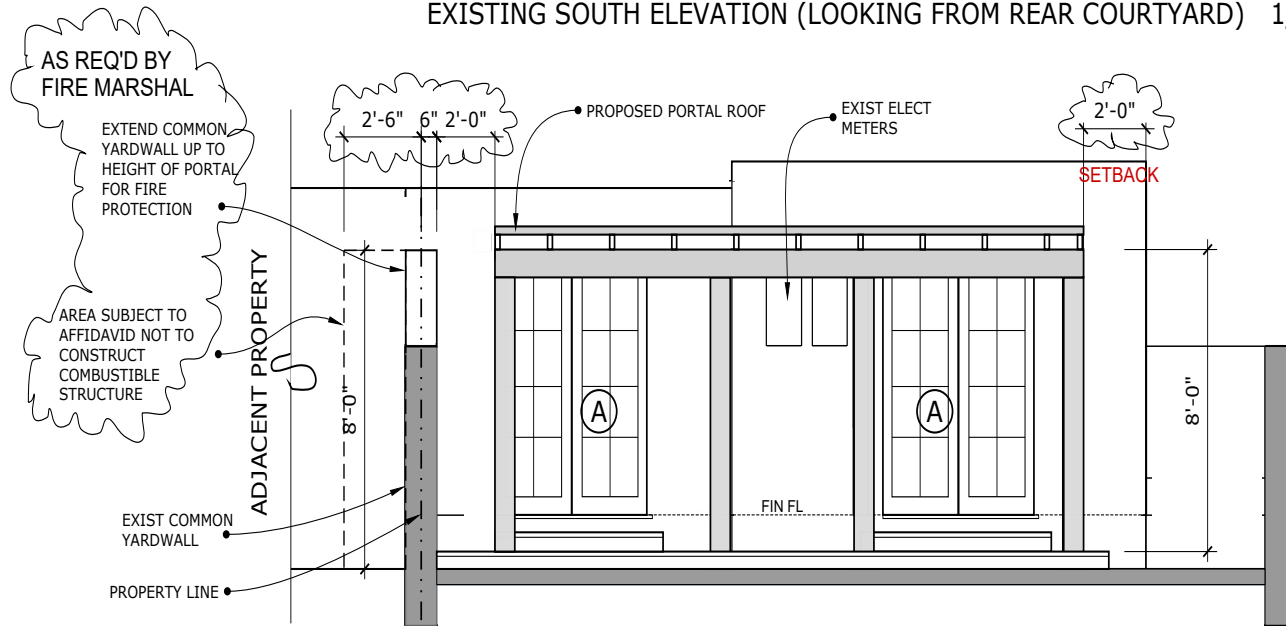
PROPOSED EAST ELEVATION 1/4" = 1'-0" (WITH ADJACENT PROPERTY YARDWALL)



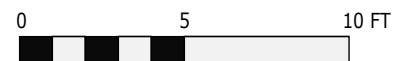
PRIOR ADDITION 1980'S
FRAMED WALL WITH NEW
REAR DOOR AND WINDOW



EXISTING SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"

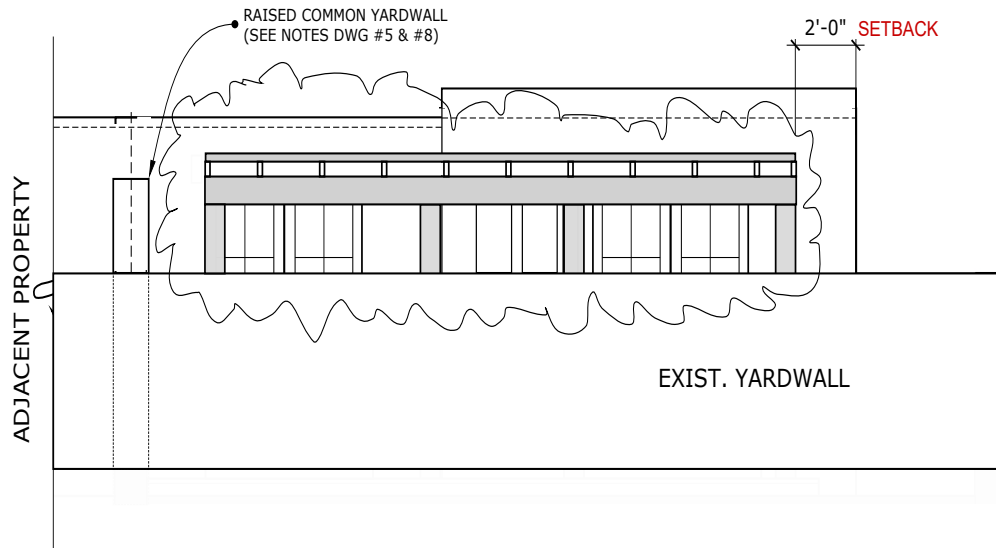


PROPOSED SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"



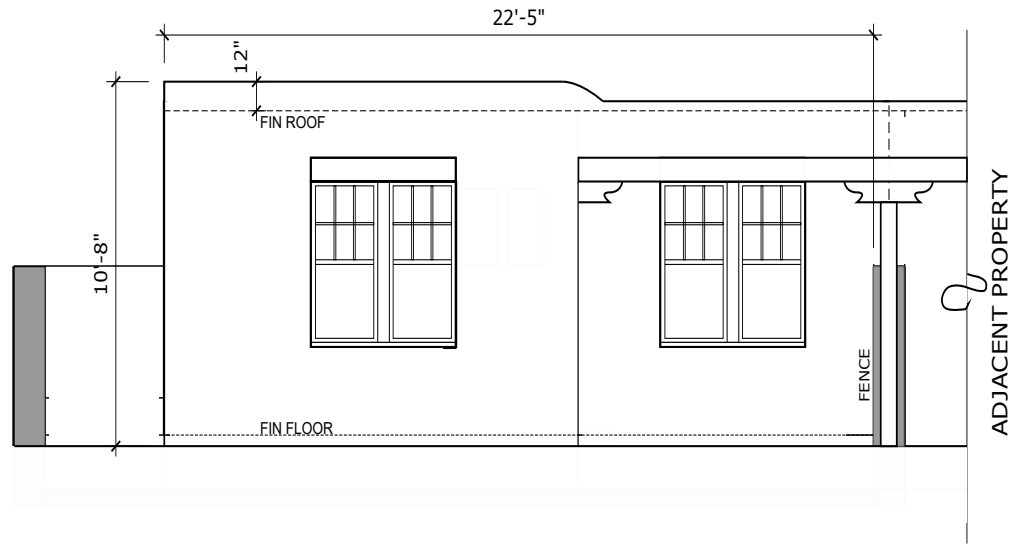


EXISTING SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"
 (WITH EXISTING YARDWALL)

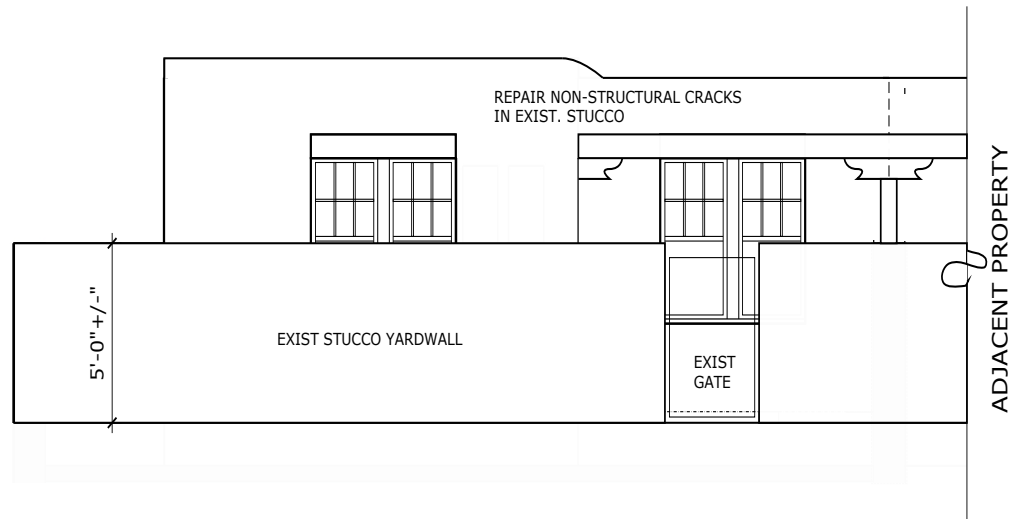


PROPOSED SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"
 (WITH EXISTING YARDWALL)



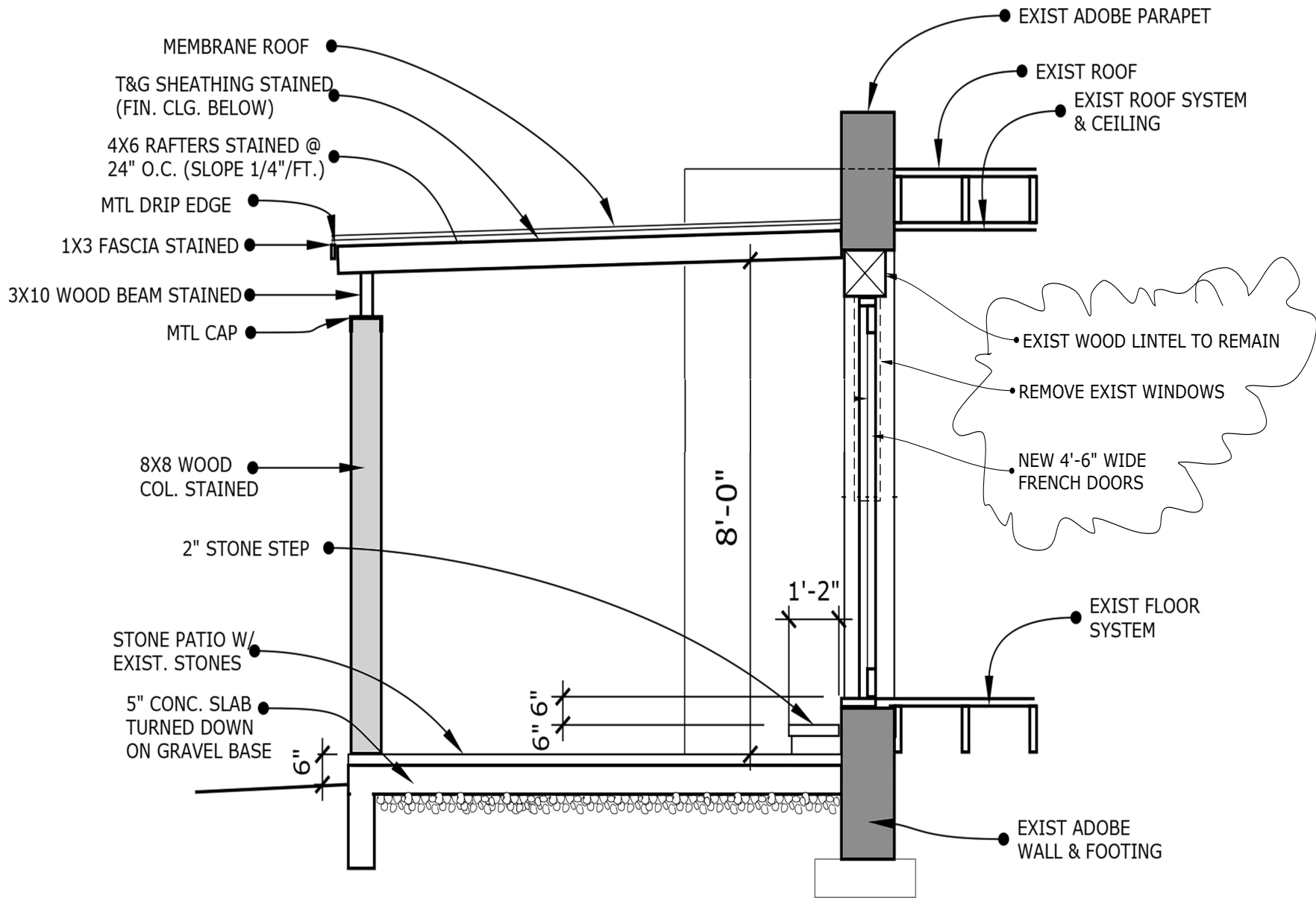


EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"

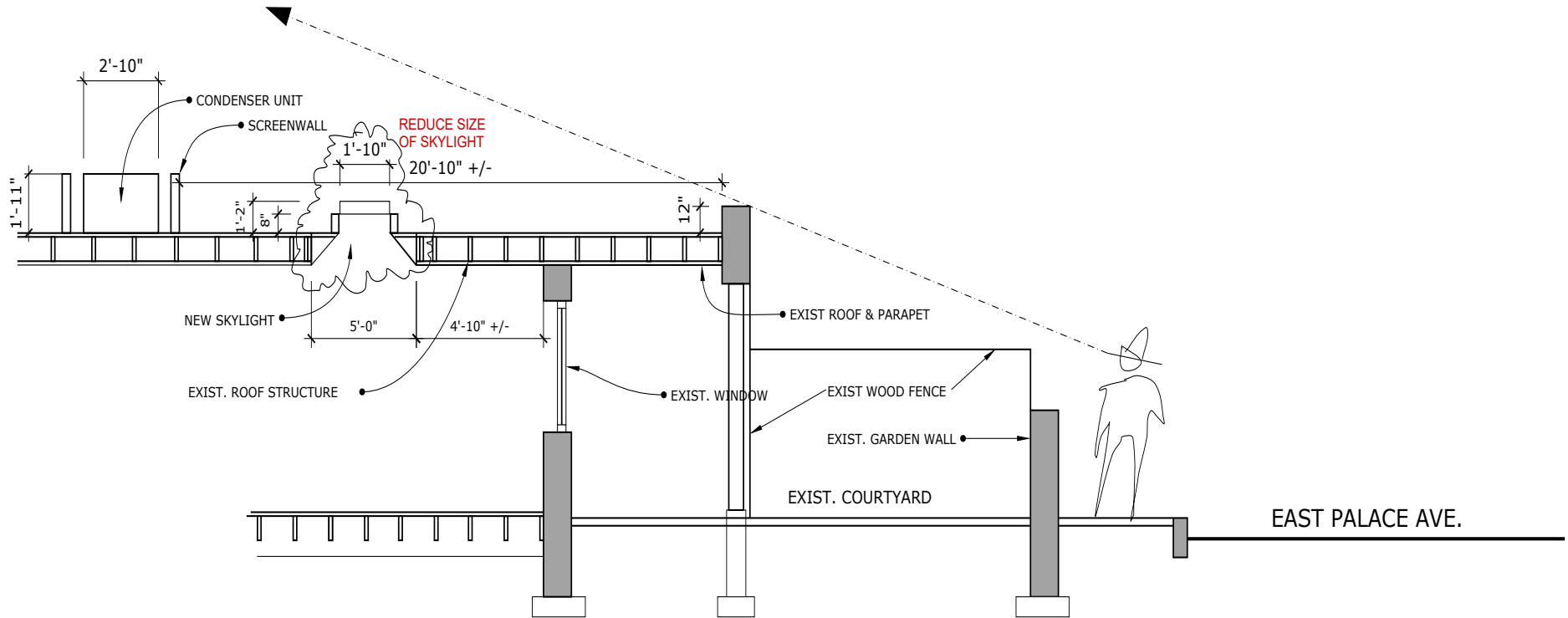


EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"
(WITH EXISTING YARDWALL)





SECTION @ PROPOSED NW PORTAL 1/2"=1'-0"



SECTION / SITE-LINE @ PROPOSED NEW SKYLIGHT & CONDENSER UNIT
 1/4" = 1'-0"

REQUEST FOR DESIGN STANDARDS EXCEPTION
638 E. PALACE AVE

PROPOSAL LETTER 9-15-2021

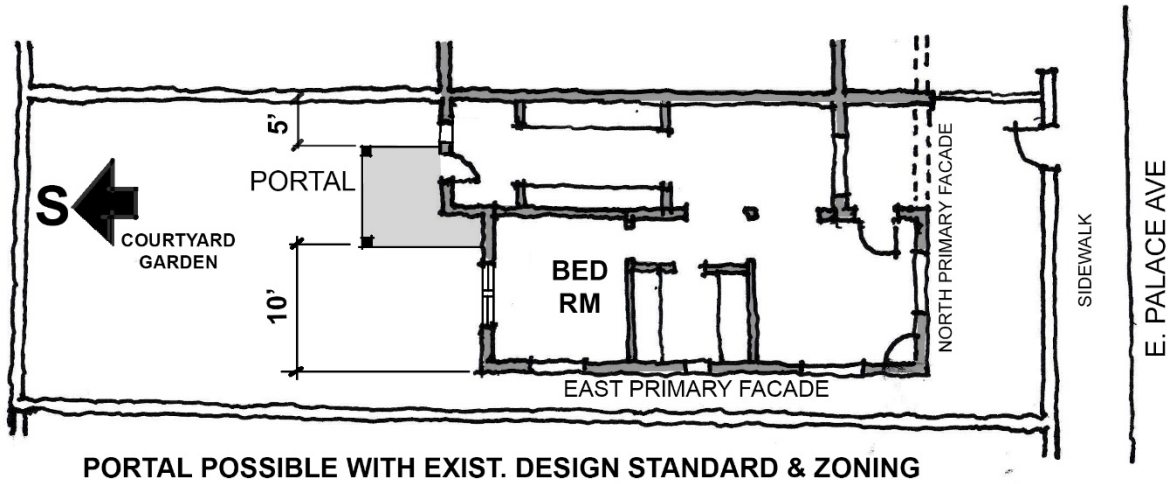
BACKGROUND

The applicants, Scarlett Breeding and John Alt, retired architects, are proposing to build a traditional portal shade-structure on the south side of their 1 bedroom, 750 S.F. dwelling at 638 E. Palace Ave. The applicants have significant need for this shade structure for the following reasons:

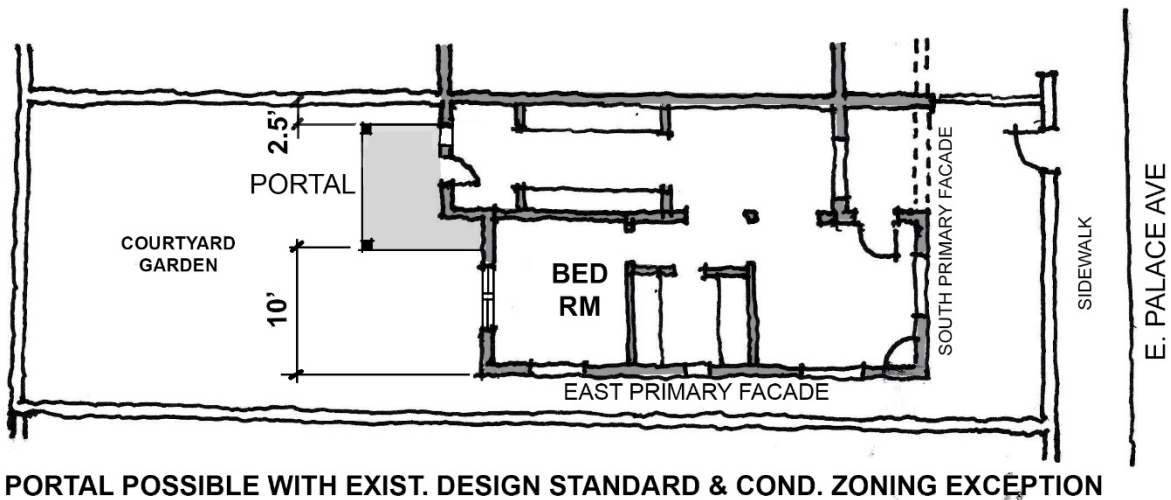
1. The existing south façade (facing into a fully enclosed, private courtyard) currently has no shade structure at all, imposing a significant solar heat-gain on the dwelling interior.
2. Both Scarlett and John are in their mid-seventies and have health issues that are impacted by their dwelling conditions.
3. Mitigating this excessive heat gain on the south façade requires keeping interior shutters on the south side fully closed during the day.
4. The necessity of keeping the interior shutters closed during the day exacerbates Scarlett's severe, doctor-treated, claustrophobia. Scarlett requires a significant visual connection with the outdoors for any space she spends time in.
5. The portal shade-structure will also enable John, who has already had one fascial skin-cancer removed, to safely spend more time in their private, outdoor courtyard.
6. The necessity of keeping the interior shutters closed during the day substantially denies both John and Scarlett the visual enjoyment of the private outdoor courtyard garden—a feature enjoyed by many occupants of the surrounding historic buildings.

To functionally shade the south façade, the portal is proposed to be offset 2'-0" from the corner with the east façade, and 2'-0" from the west courtyard wall shared with the adjacent dwelling unit.

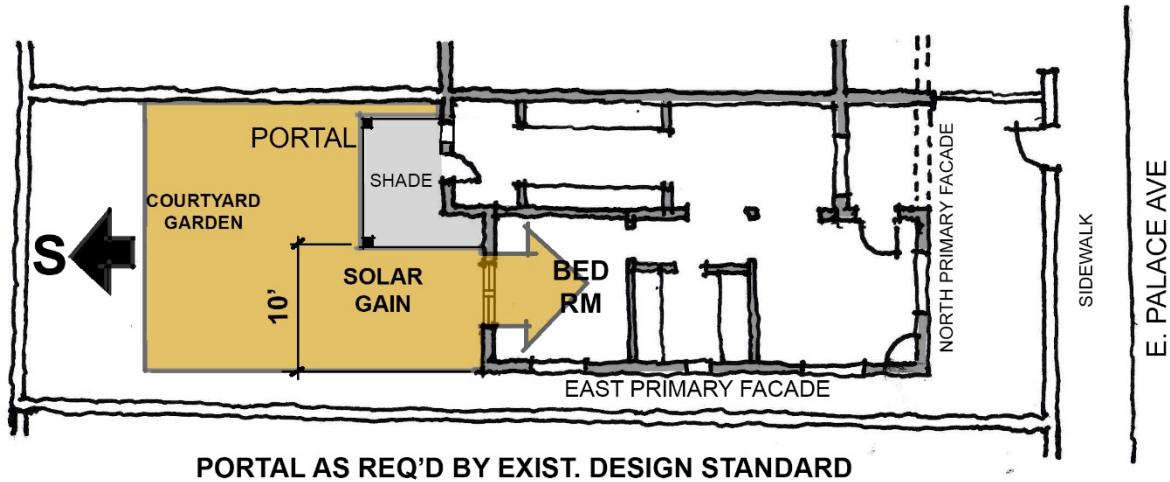
The east façade has been designated a primary façade (façade #4 in the designation). Design Standards established by Section 14-5.2(D)(2)(d) Municipal Code require any additions to have a 10 foot separation from a primary façade. As illustrated in the diagrams below, if the portal is placed 10 feet from the corner with the east façade, it will not provide the needed shade to the bedroom window.



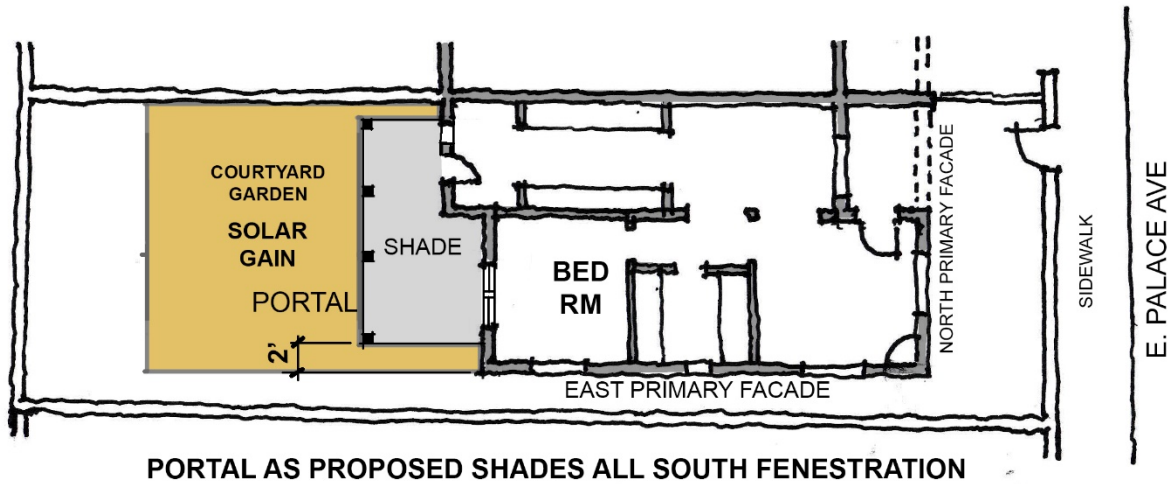
The applicants have a conditional zoning approval enabling them to move the proposed portal 2'-6" from the shared lot-line with the adjacent dwelling to the west.



As shown in diagram below, the 10' setback requirement of the existing Design Standards imposes a hardship on the applicants because it makes it impossible to provide shade for over 50% of the existing south façade—including, most critically, the south window into the bedroom.

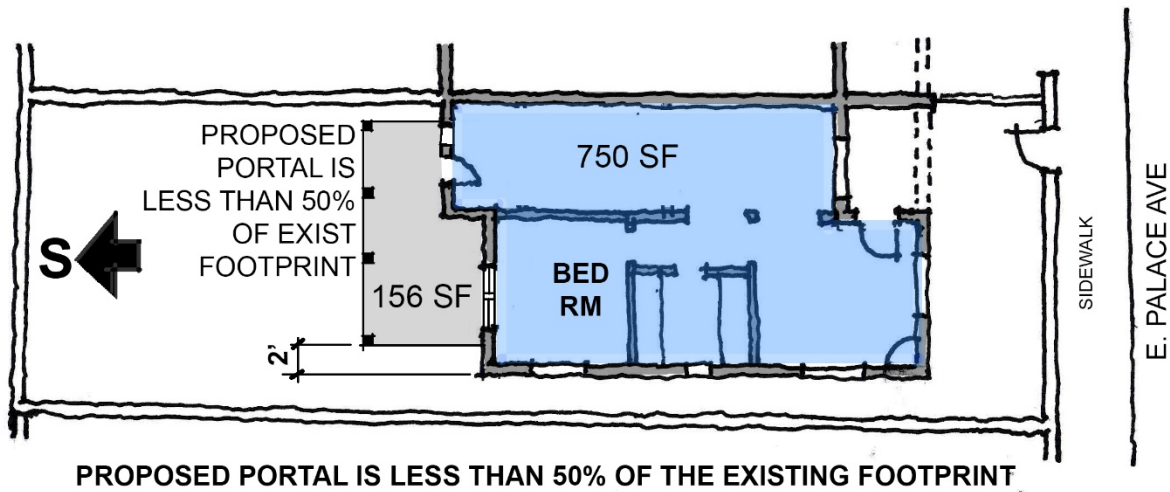


The applicants, therefore, are requesting an exception to this setback requirement, allowing the portal to be constructed with the proposed a 2 foot setback from the corner with the east façade. (See diagram below, and Exhibit A.)

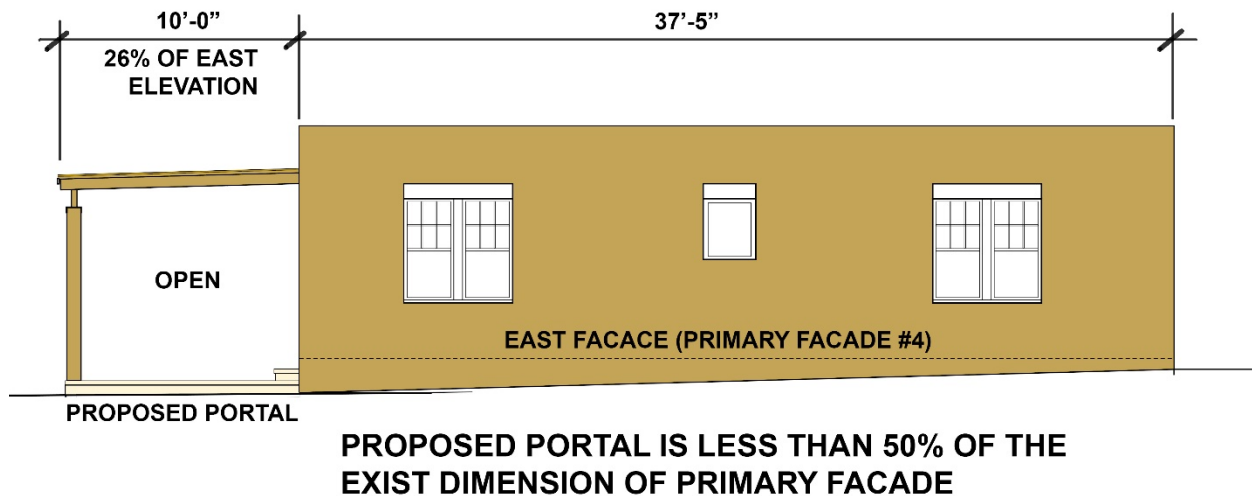


The proposed portal meets all other requirements of the Design Standards:

1. The proposed portal is less that 50% of the existing footprint (shaded blue in the diagram below.)

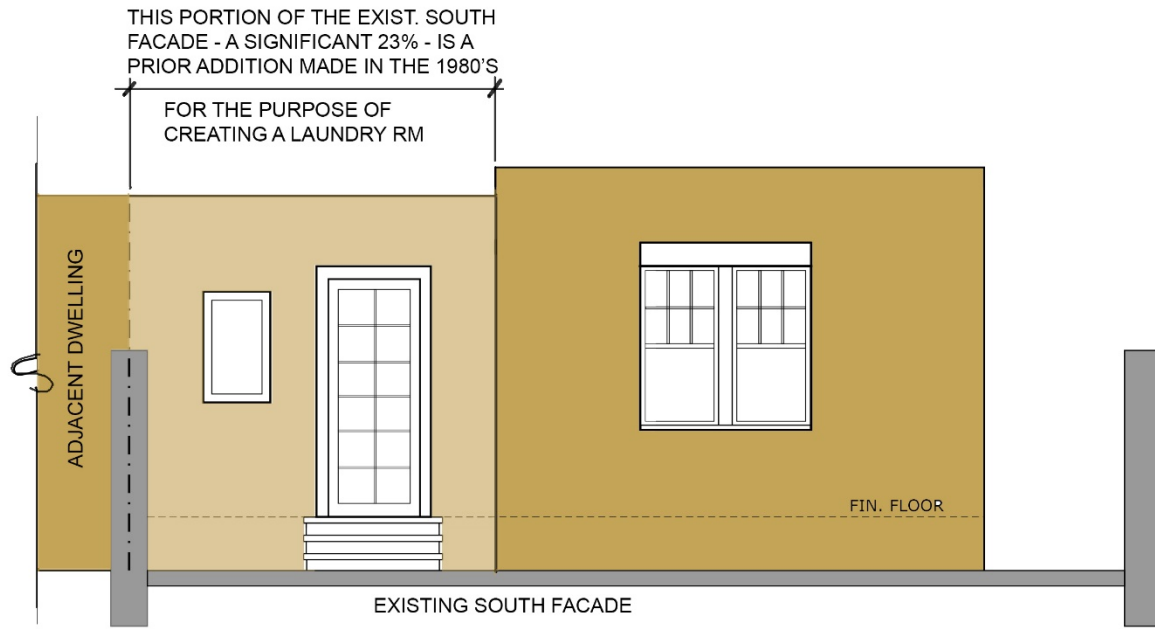


- The proposed portal does not exceed 50% of the existing dimension of the primary façade (east façade) if the two are viewed in conjunction.

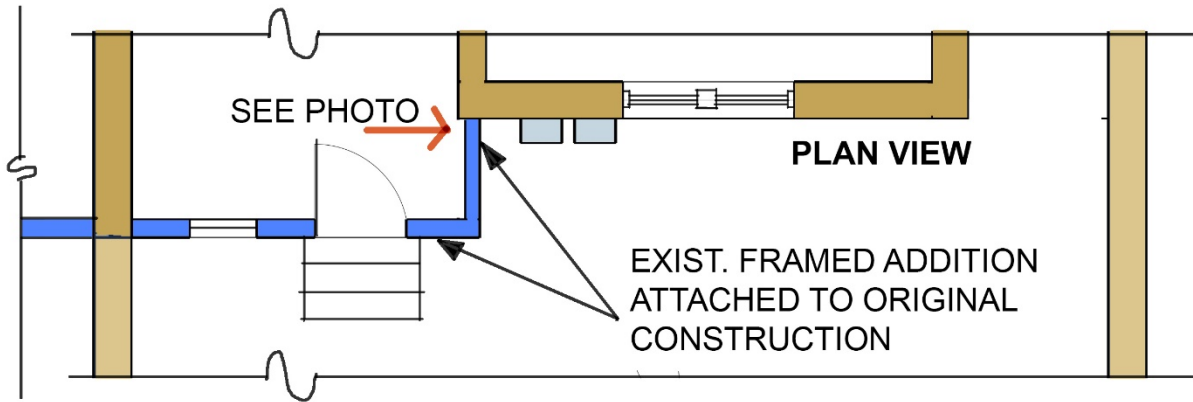


The existing south façade is not original but includes a prior addition which has been attached to it.

The applicants are aware of the general concern regarding additions to original facades—even if they are not designated primary facades. In this case, as illustrated below, the existing south façade includes a prior addition that was made in 1980's to create a laundry room. The existing south façade, therefore, is not original.



EXISTING SOUTH FACADE HAS A PRIOR ADDITION





WOOD FRAME ADDITION
ATTACHED TO ORIGINAL
WALL TO CREATE
ENCLOSURE FOR
LAUNDRY PLUMBING.

ORIGINAL ADOBE WALL

The existing bedroom window on the south façade does not meet International Building Code for egress from a bedroom.

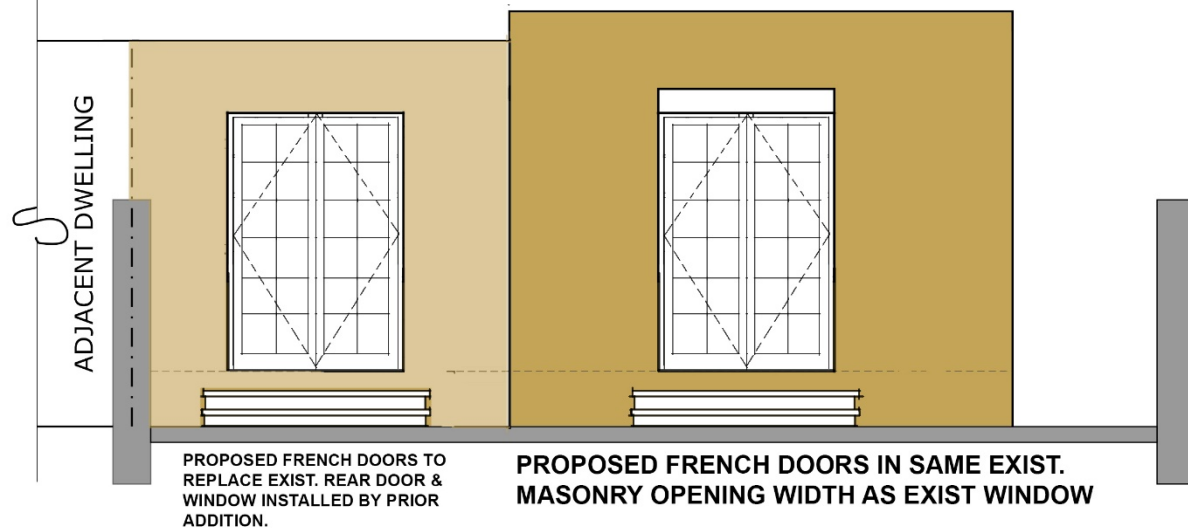
The applicants are proposing to replace the existing bedroom window on the south façade with a French door of the same width as the existing window. The applicants have a significant need for this modification for the following reason:

7. The existing bedroom windows do not meet the International Building Code for egress from a bedroom. The existing windows are double hung with an operable sash creating a clear opening 20" H. The Code requires a minimum clear opening 24" in height.
8. In the event of a fire outside their bedroom door, the existing non-code-compliant window openings could present a life-threatening condition for the applicants.



EXIST. BEDRM EGRESS WINDOW DOES NOT MEET CODE

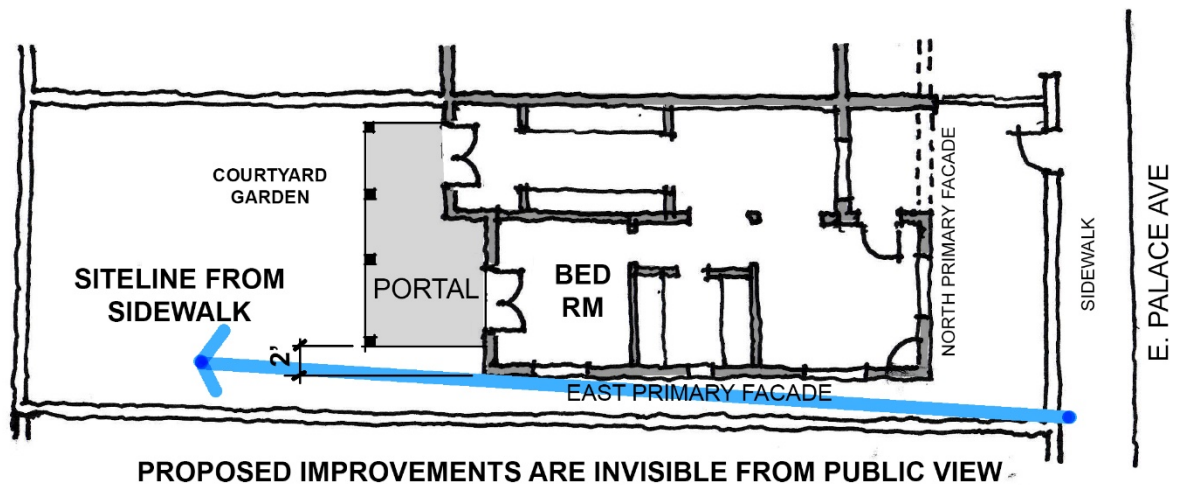
TO PROVIDE SAFE EMERGENCY EGRESS APPLICANTS PROPOSE TO REPLACE EXIST WINDOW ON SOUTH FACADE WITH DOUBLE FRENCH DOORS



CRITERIA FOR DESIGN STANDARD EXCEPTIONS

The applicants believe their request for the above exceptions meet the criteria set forth in Section 14-5.2 (D) (2) (d), as follows:

1. The proposed portal and fenestration replacement **“does not damage the character of the district.”**
 - a. There is no impact on status and character of the defining features of the primary facades. The designated primary facades are not altered in any way.
 - b. No component of the proposed portal or fenestration replacement is visible in conjunction with the primary facades.
 - c. From every public view, there will be no visible modification to the building whatsoever.
(See diagram and photo below.)

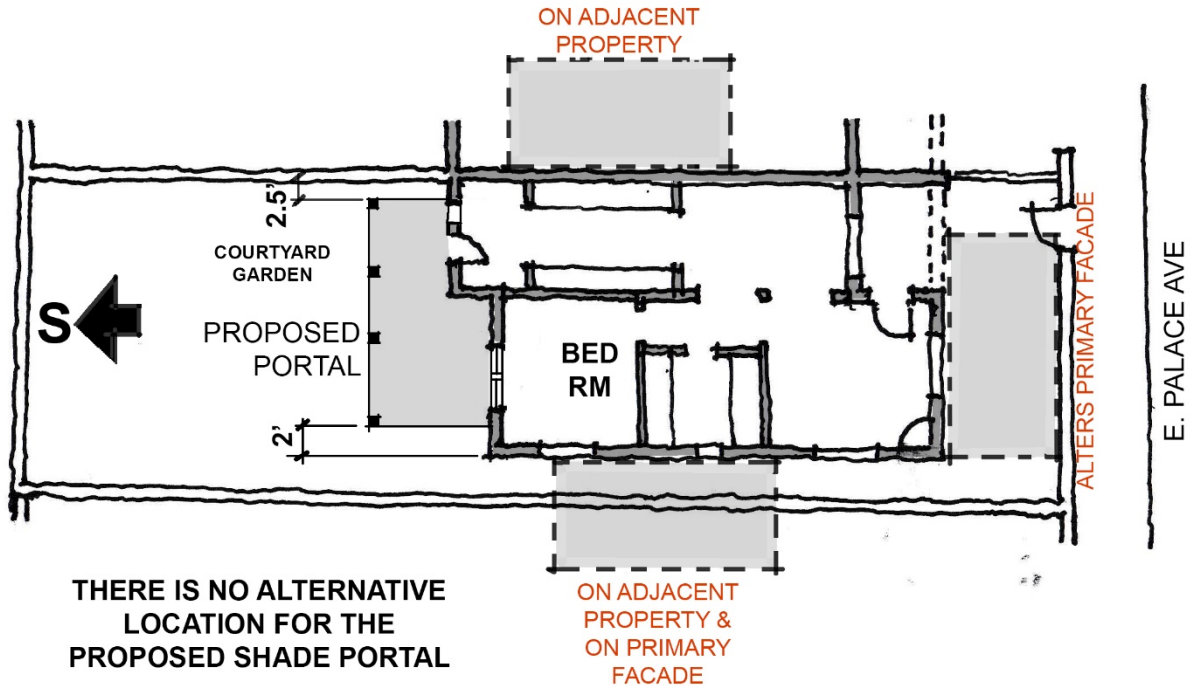




VIEW OF EAST FAÇADE FROM PUBLIC WAY (SIDEWALK E. PALACE AVE.)

2. The proposed portal and replacement fenestration **“are required to prevent a hardship to the applicant.”** Specifically:
 - a. The hardship of excessive solar heat gain from an unshaded south façade.
 - b. The hardship imposed by the necessity to keep interior blinds of south windows closed during the day (to mitigate the excessive solar gain)—a condition which exacerbates Scarlett’s serious, doctor-treated claustrophobia.
 - c. The hardship imposed by significant exposure to solar radiation in private courtyard garden.
 - d. The hardship imposed by the denial of John and Scarlett’s visual enjoyment of their private courtyard garden due to the necessity of keeping interior shutters closed during the day.

There is no other alternative location for a functional shade structure on the applicant's property.



3. The proposed portal and fenestration replacement “**strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.**”
 - a. The proposed portal is the most architecturally appropriate means of meeting the applicants’ needs for shade-cooling and visual connection with private courtyard-garden--conditions which enhance the livability of their home and which is a feature commonly enjoyed by surrounding homes in the historic district.
 - b. As illustrated in photos below, the portal is a common solution to the necessity for sun-shading in the heterogeneous character of the historic districts.





NORTH ELEVATION (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



SOUTH ELEVATION (@ REAR COURTYARD)

638 PALACE AVE. SANTA FE, NM



NOTE: WEST ELEVATION
IS PARTY WALL WITH
ADJACENT DUPLEX UNIT

EAST ELEVATION (@ SIDE PASSAGE)

638 PALACE AVE. SANTA FE, NM



CONTEXT TO WEST (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



CONTEXT TO EAST (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004120--HDRB

Project Description: New Construction

Project Location(s): 1023 E. Alameda
Santa Fe, NM 87505

Applicant: Praxis Architects

Property Owner: Frank Schneider and Robin Oringer

Historic District: HD: Downtown and Eastside

Historic Building Status: NA

Non-Statused: NA Non-Contributing: NA Contributing: NA Significant/Landmark: NA

Primary Elevations: NA

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: NA

Year of Construction: NA

Project Type: New Construction

Historic Building Name: NA

City of Santa Fe, New Mexico

memo

DATE: October 12, 2021
TO: Historic Districts Review Board Members
FROM: Angela S. Bordegaray, Senior Planner, Historic Preservation Division

Case 2021-004120-HDRB

Address: 1023 East Alameda
Historic Status: New Construction
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- N/A Historic Inventory Form
- Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Stucco, Colors, Finishes Samples

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards. Staff defers to the board whether to grant an additional 11" in height per Section 14-5.2(D)(9)(c)(ii)(F) regarding slope.

BACKGROUND & SUMMARY:

1023 E. Alameda is a 21,118 sf vacant lot that fronts East Alameda across from Patrick Smith Park in the Downtown and Eastside Historic District. The applicant proposes to construct a new 2,971 sf residence that combines elements of Territorial and Spanish Pueblo Revival styles.

The applicant returns to the Historic Districts Review Board with revisions based on board input at its September 14, 2021 hearing.

The proposed residence's height ranges from 13'-5" to 16', where the maximum allowable height is 15'- 1". The site changes grade 4' along the proposed building's footprint, and the applicant requests an additional 11". The building's design is mix of Spanish-Pueblo Revival and Territorial Revival styles, as well as elements of "Recent Santa Fe Style" with respect to its simulation of traditional materials, color, and proportion. The Spanish-Pueblo Revival style elements include single-story wall-dominant stepped massing with gently rounded corners and deep-set bull-nosed punched openings, flat roof with parapets, and earth tone color. Its Territorial styling includes brick coping and a deep-set portal with columns; yet, the portal columns are steel rather than wood, the portal's large "plate glass" window under the portal will be aluminum, and the brick coping will be dark grey versus dark red. The applicant believes that these details speak to the "Recent Santa Fe Style" design standards within the Downtown and Eastside Historic District ordinance (*Chapter 14-5.2(E) Downtown and Eastside Design Standards, Section 2*). The massing is stepped at various levels to accommodate the site's slope, which descends north toward the arroyo or Acequia de la Muralla.

The board suggested the applicant change the garage door from glass and aluminum steel to one of a more traditional material and appearance. In response, the proposed garage door is steel painted in a dark brown to match the dark brown exterior color of windows throughout the house.

Other windows and doors will be aluminum with matching oil rubbed bronze matte paint finish. All publicly visible windows will be divided lite.

The board also had concerns about two thin steel columns at the entry portal that penetrated the roof, one of which was not plumb. The applicant has subsequently altered this configuration by substituting a pair of 8"X 8" columns paired as is typical in some territorial style portales.

Stucco will be Sto's "Sahara". Brick coping will be dark grey.

The applicant also proposes alterations to the non-contributing existing stone yard wall. The existing opening will shift west for the vehicular opening and new gate. The replacement segment will be the same style and height, using the existing stone material to the extent

possible. The gates will look like a single gate. The gates and a short section of wall between the existing portion of the wall to remain and the newly built wall will be made of ipe, a Brazilian hardwood, which greys over time. Additional yard walls will divide the driveway area from an interior courtyard. These additional yard walls will be a mix of stone, which will match the existing site walls, and stucco covered masonry walls with a stucco color to match the house. The existing brick sidewalk will be removed and reset to accommodate the new driveway alignment. All new concrete at the drive apron will be colored tan, Davis Color Sandstone.

Skylights, solar panels, and rooftop appurtenances will be screened by rooftop parapets.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 05/26/21	Property Owner of Record: FRANK SCHNEIDER	1023 E. ALAMEDA ST
Applicant/Agent Name: BILL OLIVENT	Contact Person Phone Number: () - (505) 743-7766	Proposed Construction Description: NEW SINGLE FAMILY RESIDENCE ON EMPTY LOT
Zoning District: RC-5		TOTAL ROOF AREA: 4061.5 SF
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: HISTORIC		Lot Coverage : 46 % <input checked="" type="checkbox"/> Open Space Required: 1344 SF
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input checked="" type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Setbacks: Proposed Front: 7' Minimum: 7' 2 nd Front? _____ Proposed Rear: 8'-10 1/4" Minimum: 5' Proposed Sides: 19'-11" R 5'-2" Minimum: 5'
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed 15'-0" Maximum Height: 15'-1" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input checked="" type="checkbox"/> Visibility Triangle Required		Parking Spaces: Proposed 2 Accessible _____ Minimum: 2
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Terrain: <input type="checkbox"/> 30% slopes _____		

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

BILL OLIVENT

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

05/26/21

SIGNATURE

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by DB Date: 07/27/21

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: Subject to approval by Dee Beingessner regarding flood plain.

REVIEWER: Donna Wynant DATE: 7/27/21



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



Picture from the sidewalk, east, where the neighbor's property starts.



Picture from the across the street, looking north-west to the site with a wider view.



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION INCLUDING EXISTING
ADJACENT HOME TO THE EAST, WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION WITH A WIDER VIEW FROM THE
WEST, WITH STORY POLES STUDY

1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



City of Santa Fe Historic Preservation Division
Angela S. Bordegaray
200 Lincoln Ave.
Santa Fe, NM 87501

Gabriel Browne
1012 Marquez Pl 310B
Santa Fe, NM 87505

9/29/2021

Dear Mrs. Bordegaray

Attached to this letter, please find revised design drawings for a new home proposed for 1023 E. Alameda St. This property is in the Downtown and Eastside Historic District. This lot does not currently have a home on it. There is a low stone site wall in the middle of the property which will need to be removed in order for the house to be built. There is a roughly 4' high stone wall along Alameda Street.

The design for the home we have proposed has a mix of elements of the Pueblo style, such as earth tone color, flat roofs, stepped room-massing and deep-set bull nosed punched openings and gently rounded corners. It has elements of the Territorial style like the brick coping, and elements of the Recent Santa Fe style such as the "plate glass" area under the deep Western portal. This same portal is in the spirit of the Recent Santa Fe Style, as it takes the elements of a classic territorial style portal, the coping and matching columns and renders them in steel instead of the classic wood.

At the previous Design Review Board meeting it was expressed that the garage door needed to change. We have proposed a typical flush painted steel door painted in a dark brown which is a close match to the exterior window color.

The brick coping detail is a Territorial style detail. We are not interested in Territorial style window trims. We prefer the design with the brick coping, but if the board will approve the design without the brick coping, we would accept that compromise.

The design considered at the 9/14/2021 meeting had two thin columns which penetrated the roof, one of which was not plumb. We felt this column configuration was not typical of the style, instead we have proposed a pair of 8"X8" columns paired as is typical in some territorial style portales.

You determined that the allowable height would be allowed to be 15'-1" and the allowable wall/fence height is 5'-7". Section 14-5.2 (D) (9) (c) (ii) F says:

"The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet... This increase in height shall be constructed only in the form of building setbacks from the street."

This property is sloping about four (4) feet within the home's footprint. Because 15'-1" is short and because this property is so close to the flood plain we are asking for eleven additional inches of height so that we can add about 1' of fill below the house to raise the finished floor a bit higher above the flood plain. The design, as proposed, rises to this higher maximum height at the living room mass, stepped back from the street façade. If the additional height is allowed, the

house will still be less than 15'-1" tall, but from a raised, proposed finished grade instead of the lower existing grade.

The stucco will be the color "Sahara" by Sto, a historic approved color. The copings are proposed be a dark grey.

The windows will be a dark bronze color. The windows will be a simulated divided light with muntins on the interior, exterior and between the panes. Except under the portal, the light divisions have been designed so that no pane of glass on a publicly visible portion of the building measures more than 30" diagonally. Under the portal, as allowed by subsection 14-5.2 (E) (2) (e) the light divisions are larger and have been designed to evoke a plate glass historic steel storefront with thin divisions.


In order to access the property, we must reconfigure the stone walls which front Alameda Street. We have proposed to keep as much of the existing stone wall as possible. We have proposed a new section of stone wall built roughly where the existing opening is which would be built reusing the existing stone material to the greatest extent possible. Because of the boundary of the FEMA Flood Plain, we are required to jog the replacement wall just behind the plane of the new wall. We felt this gave us a unique opportunity to separate the new from the old and propose to highlight that difference with a short section of steel wall. This wall will be built from mild steel and will eventually rust. We propose a new pedestrian and a new vehicle gate at the Western end of the street frontage. These gates will look like a single gate with a construction joint and are proposed to be made of ipe on the street facing side and a steel frame hidden from view behind. The ipe will grey over time. There are several yard wall components which divide the motor court from the courtyard. The taller elements will be built to match the new stone walls on the property and the longer wall to the West will be finished with stucco to match the house.

In order to accommodate the new driveway location, a new curb ramp will be built. All new concrete in this area will be colored a tan, Davis Color Sandstone. The existing brick sidewalk will be taken up and reset to accommodate the new driveway alignment.

There are several rooftop appurtenances which will be hidden behind rooftop parapets. There are several skylights proposed on the structure, but the elevation of the top of these skylights will be lower than the parapets which surround them. The house will be equipped with one or more exterior condensers for air conditioning. We have created an area above the garage roof which is behind a parapet for this equipment. We propose to provide for solar panels on the roof of the garage. The highest elevation of the solar equipment on the roof will be lower than the parapets which surround that roof.

Thanks very much for your time and consideration.

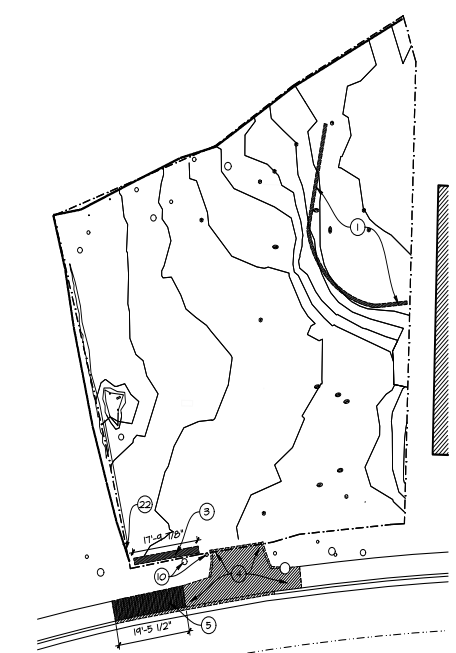
Sincerely,



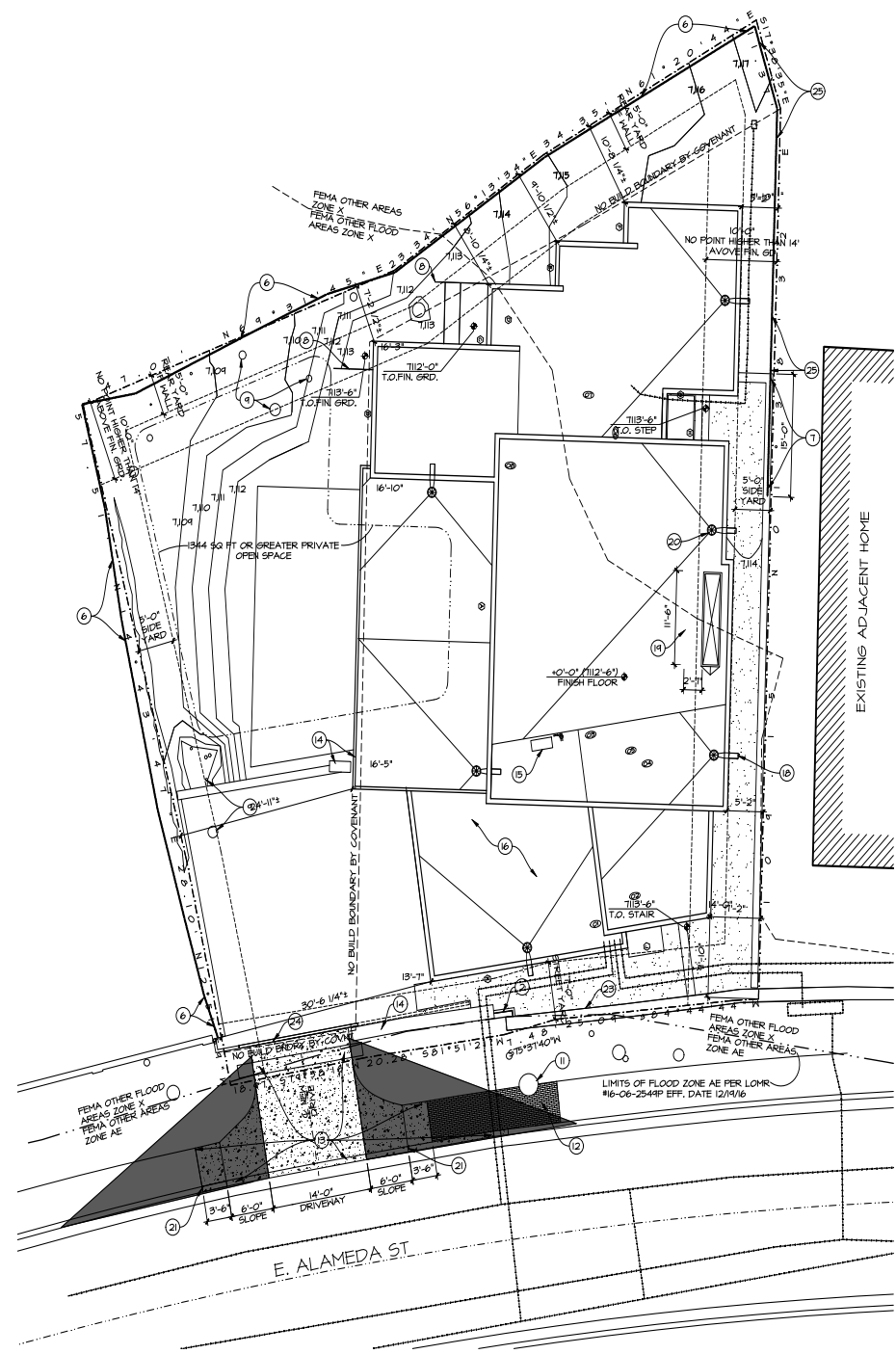
Gabriel Browne
as President of Praxis Architects Inc

SITE PLAN KEYED NOTES

1. DEMO EXISTING YARDWALL SALVAGE STONE MATERIALS AS PRACTICAL FOR REUSE.
2. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN RAIN AND UNFINISHED.
3. DEMO EXISTING STREET WALL TO ACCOMMODATE NEW DRIVEWAY LOCATION. PRESERVE EXIST. STONE FOR RE-USE.
4. DEMO EXISTING DRIVEWAY APRON.
5. REMOVE BRICK SIDEWALK, SALVAGE MATERIAL AND REPLACE ON THE OTHER SIDE OF THE DRIVEWAY APRON.
6. EXISTING COYOTE FENCE TO REMAIN.
1. NEW COYOTE FENCE BUILT ON TOP OF NEW ICF OR BLOCK WALL COVERED WITH STUCCO TO MATCH THE HOUSE REUSE OLD PICKETS - MIN 6" TALL FROM GRADE ON HIGH SIDE.
8. STEEL PLATE RETAINING WALL / PLANTER, FINISH TO BE LEFT RAM TO HEATHER.
9. EXISTING TREES TO REMAIN.
10. REMOVE EXISTING TREE STUMPS.
11. EXISTING TELEPHONE COMPANY MANHOLE TO REMAIN.
12. BRICK RE-SET FROM OTHER SIDE OF DRIVEWAY APRON, BRICK SLOPE TO BE MAX. 8.33% GROSS SLOPE TO MATCH EXIST, MAX. 28.
13. NEW CONCRETE APRON AND CURB - COLOR TO BE TAN - DAVIS COLOR SANDSTONE, 5% SLOPE TO BE MAX 8.33%. SW GROSS SLOPE TO MATCH EXIST, MAX. 28.
14. NEW STONE WALL, THICKNESS AND HEIGHT TO MATCH EXISTING. REUSE EXISTING STONE FROM DEMO'D STONE WALL.
15. MULTI-ZONE INVERTER DRIVEN HEAT PUMP PER SREG.
16. TORCH DOWN MODIFIED BIT. ROOFING SYSTEM.
17. BRICK PARAPET.
19. CUSTOM STEEL CANALE TO BE USED FOR WATER OVERFLOW. FINISH TO BE LEFT RAM TO HEATHER.
19. CUSTOM TRIPLE GLAZED "GREY TINTED" SKYLIGHT.
20. ROOF DRAIN, TOP OF DRAIN SET 2" BELOW CANALE.
21. NEW CURB CUT.
22. EXISTING COYOTE FENCE TO BE REMOVED.
23. EXISTING HALL TO REMAIN.
24. NEW WOOD / STEEL FRAME ROLLING GATE.
25. NEW COYOTE FENCE WITH STEEL POSTS SET IN CONCRETE AND STEEL RAILS.



EXISTING/DEMOLITION SITE PLAN
SCALE 1/16" = 1'-0"
A0-1



SITE PLAN
SCALE 1/8" = 1'-0"
A0-1

PROJECT INFORMATION

PROJECT DESCRIPTION:
NEW SINGLE FAMILY HOME ON AN EMPTY LOT

OWNER: FRANK SCHNEIDER AND ROBIN SCHNEIDER
282 CALLE JUANITA
SANTA FE, NM 87505
PHONE: (505) 860-5228

BUILDER: PRAXIS LTD. CO.
CONTACT: GABRIEL BROWNE
PHONE: (505) 478-7166
1012 MARQUEZ FL 4910B
SANTA FE, NM 87505

ARCHITECT:
PRAXIS ARCHITECTS INC.
CONTACT: GABRIEL BROWNE
PHONE: (505) 478-7166
1012 MARQUEZ FL 4910B
SANTA FE, NM 87505

PROJECT AREAS:
HEATED 2,870.0 SQ.FT. UNHEATED 7141.5 SQ.FT. PORTALES UNDER ROOF 6601.5 SQ.FT. 4,050.4 SQ.FT.

ZONING ANALYSIS

ZONING: Residential Compound 5 (RC 5)

LOT SIZE: 2025 ACRES (821.8 SQ.FT.)

MINIMUM LOT SIZE: 4000 SQ.FT.
DENSITY CALCULATION: 821.8/43560 * 5 = 1 DWELLING UNITS

MAXIMUM HEIGHT OF STRUCTURES BY ZONING: 24'
WITHIN 10' OF A SIDE OR REAR PROPERTY LINE, NO POINT ON A STRUCTURE SHALL BE HIGHER THAN 14' ABOVE THE FINISHED GRADE AT THE CLOSEST POINT ON THE PERIMETER OF THE STRUCTURE.

MAXIMUM HEIGHT OF STRUCTURES BY HISTORIC CALCULATION: 15'-11" 14.5.2 (4) (I) MEASURED BETWEEN THE HIGHEST PART OF THE STRUCTURE AND THE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, AT THE MIDPOINT OF THE STREET FACING FACADE.
THE BOARD MAY INCREASE THE ALLOWABLE HEIGHT FOR PROPOSED BUILDINGS AND ADDITIONS LOCATED ON A SLOPING SITE WHERE THE DIFFERENCE IN THE NATURAL GRADE ALONG THE STRUCTURE'S FOUNDATION EXCEEDS TWO (2) FEET.

MINIMUM YARD REQUIREMENTS:
STREET: T, NONE IF A YARD WALL BETWEEN 6' AND 8' SIDE: 5'
REAR: 15', 5' IF WALL BETWEEN 6' AND 8' IS BUILT
NO PORTION OF ANY STORY ABOVE GROUND LEVEL STORY SHALL BE CLOSER THAN 15 FEET FROM PROPERTY LINE.

MAXIMUM LOT COVERAGE:
40% MAY INCREASE TO 55% IF PRIVATE OPEN SPACE IS PROVIDED. SEE SECTION 14-15(G).
4,062 SQ.FT. (ROOFED) / 8021.8 SQ.FT. (LOT SIZE) = 46%
*46% OF LOT IS COVERED
PRIVATE OPEN SPACE IS REQUIRED

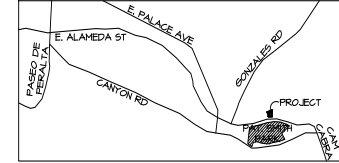
MINIMUM REQUIRED PRIVATE OPEN SPACE:
NOT LESS THAN 50% OF TOTAL GROSS FLOOR AREA OF DWELLING UNIT, PER SECTION 14-15(A).
2,871 (GROSS HEATED) * 0.5 = 1,344 SQ.FT. OF PRIVATE OPEN SPACE REQUIRED.
*MORE THAN 1,344 SQ.FT. OF PRIVATE OPEN SPACE PROVIDED.

SHEET INDEX

- A0-1 SITE PLAN
- A1-1 FLOOR PLAN
- A2-1 BUILDING ELEVATIONS
- A2-2 BUILDING ELEVATIONS
- A2-3 BUILDING ELEVATIONS
- A2-4 BUILDING ELEVATIONS

MAP & DIRECTIONS

DRIVE EAST ON ALAMEDA PAST GONZALES RD TO 1023 E. ALAMEDA ACROSS FROM MON. PATRICK SMITH PARK.



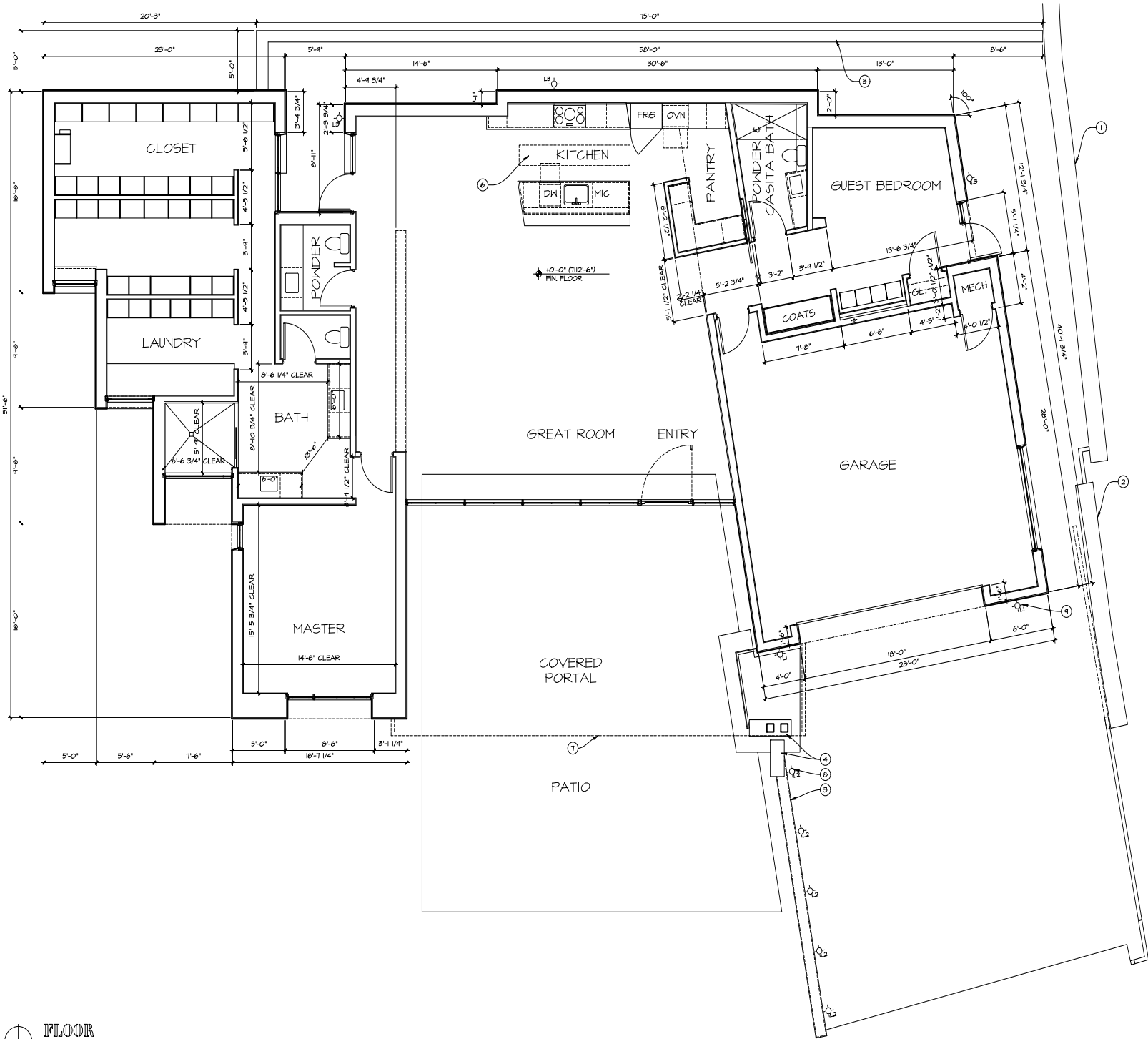
PRAXIS ARCHITECTS

SCHNEIDER II RESIDENCE
1023 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2742

SITE PLAN

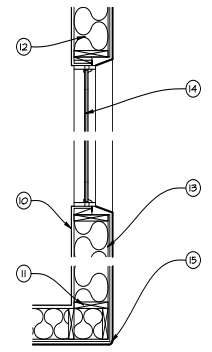
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REVISION: 50-8 DATE: 01/24/2021

A0-1



KEYED NOTES

1. EXISTING STONE WALL TO REMAIN.
2. NEW STONE WALL TO MATCH EXIST.
3. ICF WALL W/ STUCCO FINISH TO MATCH HOUSE
4. STONE COLUMN, STONE TO MATCH EXIST. FRONT WALL
5. NOT USED
6. SKYLIGHT ABOVE
7. PORTAL ABOVE. SEE ELEV.
8. STEP LIGHT PER SPEC.
9. WALL SCOOPS PER SPEC.
10. DRYMALL AND PAINT FINISH
11. WOOD FRAMING
12. EXIST. INSULATION
13. 1/2" SHEATHING AND VAPOR BARRIER
14. ALUMINUM HINDON
15. STUCCO SYSTEM WITH 3/4" BULLNOSE CORNERS - COLOR: SAHARA, FROM STO CORP.



ENLARGED PLAN DETAIL
 0' 6" = 1" 2" SCALE 3/4" = 1'-0"

PRAXIS
 ARCHITECTS INC

SCHNEIDER II
 RESIDENCE
 1025 E. ALAMEDA
 SANTA FE, NM
 JOB NUMBER: 2742

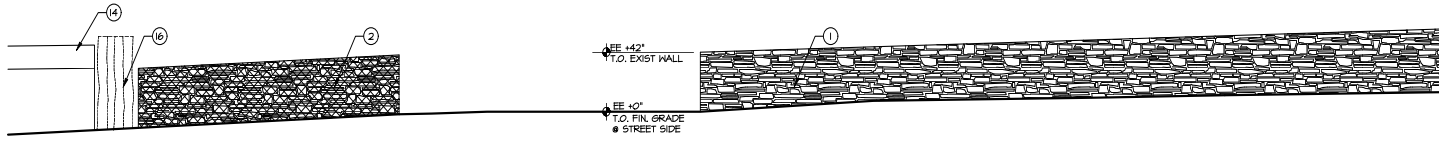
FLOOR PLAN

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REVISION: SD-B	DATE: 04/24/2021

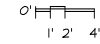
A1-1

KEYED NOTES

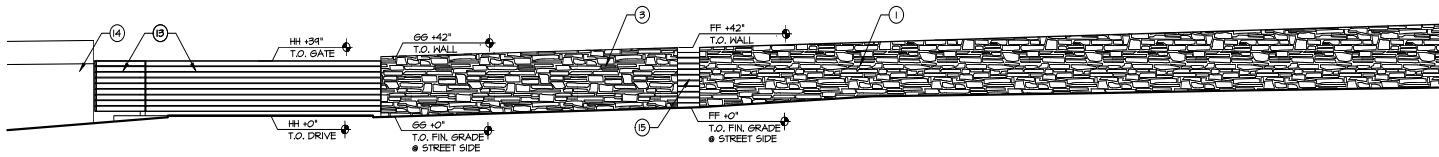
1. EXISTING STONE WALL TO REMAIN.
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6. ALUMINUM / GLASS WINDOW.
7. STEEL, BLACK FROST COLOR, GARAGE DOOR.
8. STEEL BEAM PORTAL, FINISH TO BE LEFT RAW TO HEATHER.
9. BRICK MASONRY PARAPET CAP.
10. STONE PLASTER, STONE TO MATCH EXIST. FRONT WALL IF POSSIBLE.
11. EXIST. / PROPOSED STONE WALL IN FOREGROUND, SEE 1/A2.1 & A2.1
12. ICF WALL W/ STUCCO FINISH IN FOREGROUND.
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17. VERTICAL STAGGERED BRICK COURSING.
18. MORTAR JOINTS.
19. CUSTOM STEEL PLATE CANALE, FINISH TO BE LEFT RAW TO HEATHER.
20. EXT. WALL SCANCE PER SPEC., DARK SKY COMPLIANT.
21. EXISTING COYOTE FENCE.
22. NEW COYOTE FENCE, TO MATCH THE HEIGHT OF EXISTING COYOTE FENCE.
23. STEEL COLUMNS, FINISH TO BE LEFT RAW TO HEATHER.



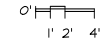
SOUTH ELEVATION - EXIST. YARD WALL (FACES THE STREET)
SCALE: 1/4"=1'-0"



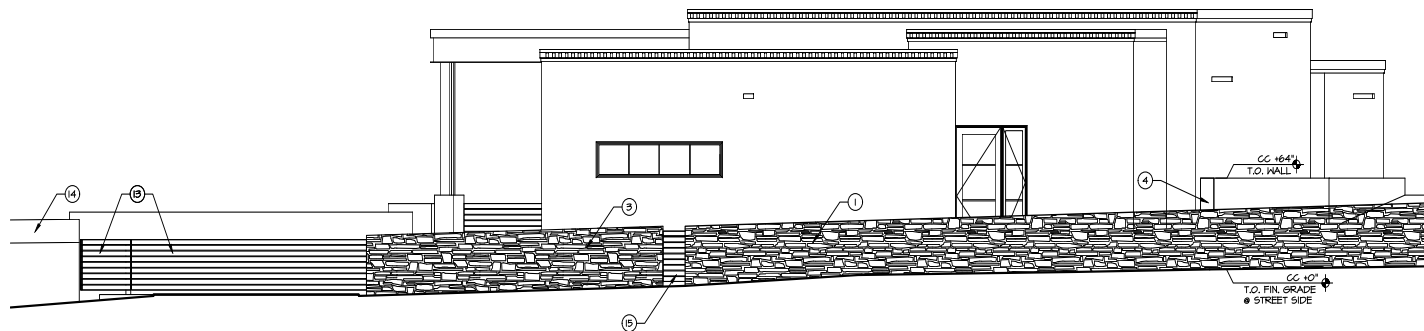
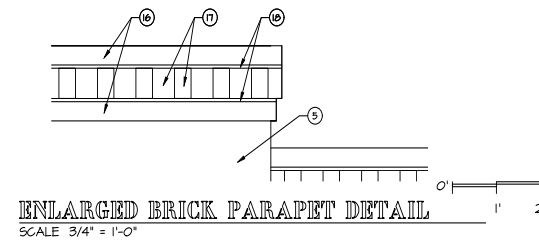
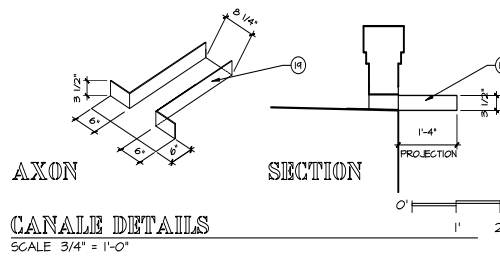
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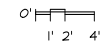
SOUTH ELEVATION - PROPOSED YARD WALL (FACES THE STREET)
SCALE: 1/4"=1'-0"



A2-1



SOUTH ELEVATION (FACES THE STREET) - STREET VIEW
SCALE: 1/4"=1'-0"



A2-1

PRAXIS ARCHITECTS INC

SCHNEIDER II RESIDENCE
1025 E. ALAMEDA SANTA FE, NM
JOB NUMBER: 2182

BUILDING ELEVATIONS

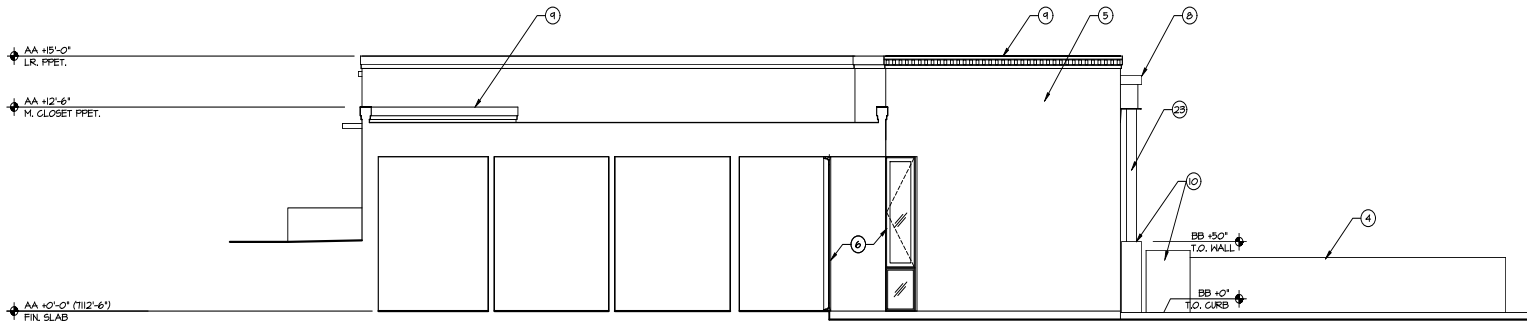
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REVISION: SD-B

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DATE: 09/24/2021

A2-1

KEYED NOTES

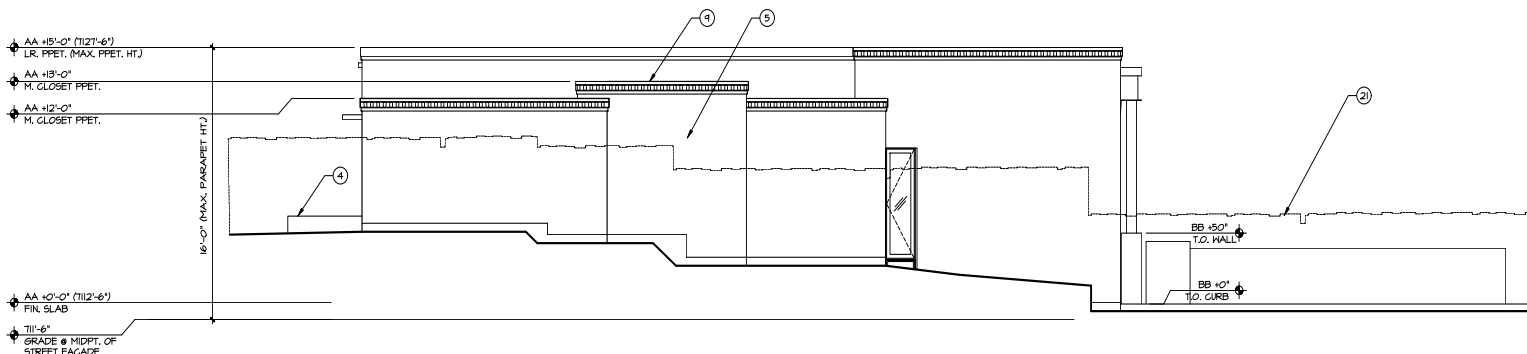
1. EXISTING STONE WALL TO REMAIN
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BUILDING SECTION
SCALE: 1/4"=1'-0"

THIS WAS MIS-LABELLED

0' 1' 2' 4'
A2-3



NORTH ELEVATION
SCALE: 1/4"=1'-0"

0' 1' 2' 4'
A2-3

PRAXIS
ARCHITECTS

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2142

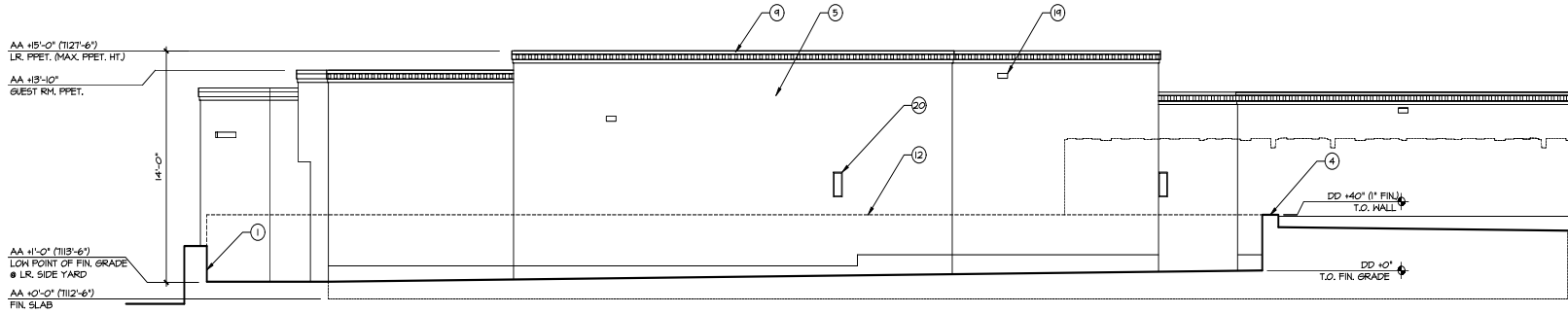
BUILDING ELEVATIONS

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DATE: 09/24/2021

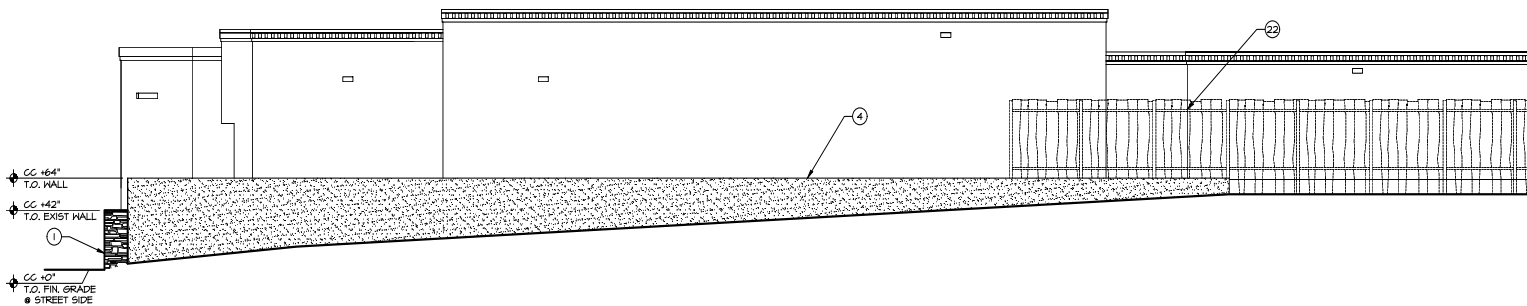
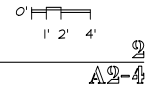
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KEYED NOTES

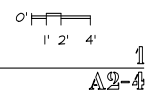
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**EAST
ELEVATION**
SCALE: 1/4"=1'-0"



**EAST
ELEVATION**
SCALE: 1/4"=1'-0"

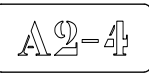


PRAXIS
ARCHITECTS

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2112

**BUILDING
ELEVATIONS**

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REVISION: SD-8	DATE: 09/24/2021



WINDOW CLAD
DARK BRONZE ANNO



STUCCO COLOR
SAHARA



EXPOSED STEEL



WOOD GATE
IPIE



SIDEWALK
SANDSTONE



BRICK



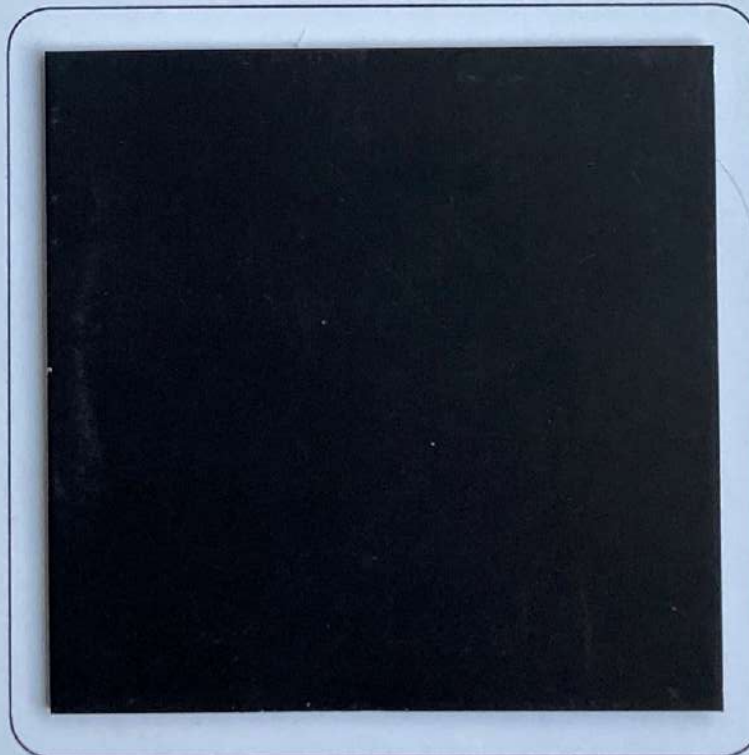
ROOFING



GARAGE DOOR
BLACK FROST



WINDOW CLAD
DARK BRONZE ANNO



Fabricated in concrete, the Sana collection by Tech Lighting adds an industrial texture to contemporary urban spaces. With an unembellished cylindrical design, the Sana wall sconce reflects the columnar features of open plan environments.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.

LIGHT "L1"

SPECIFICATIONS

DELIVERED LUMENS	121.5
WATTS	5
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV, TRIAC
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
CCT	3000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum / Concrete
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	6 lbs.

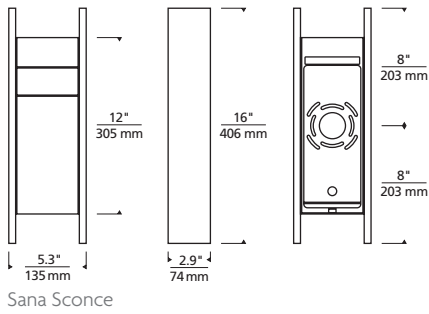


SANA 16 WALL
shown in black

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

7000WSAN	CRI/CCT	LENGTH	FINISH	VOLTAGE	DISTRIBUTION
930	90 CRI, 3000K	16 16"	B BLACK	UNV 120V-277V	S SYMMETRIC

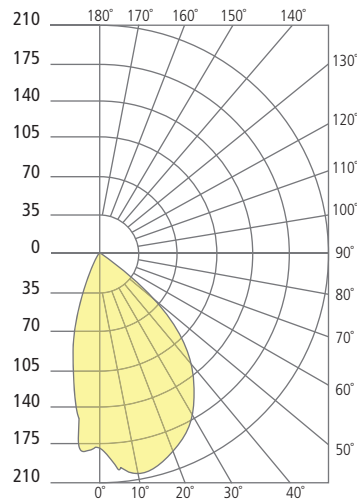


PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

SANA WALL

Total Lumen Output: 121.5
 Total Power: 5
 Luminaire Efficacy: 24
 Color Temp: 3000K
 CRI: 90
 BUG Rating: B0-U0-G0



PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.
LIGHT "L1"

PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



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TECH LIGHTING

VISUAL COMFORT & Co.

7400 Linder Avenue, Skokie, Illinois 60077

T 847.410.4400 F 847.410.4500

Newport Rectangular LED Outdoor Step Light

By Kuzco Lighting

Newport Rectangular LED Outdoor Step Light
By Kuzco Lighting

PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.

LIGHT: "L2"

Product Options

Finish: Black , Grey
Size: Small , Large

Details

- Housing available separately
- Material: Die-cast aluminum
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100%-10%
- ETL Listed
- Warranty: 2 year finish, 5 year electrical
- Made In China



Dimensions

Small Option Fixture: Width 9.75", Height 3.66", Depth 2.25"
Large Option Fixture: Width 19.25", Height 3.66", Depth 2.25"

Lighting

- Small Option: 9 Watt (600 Lumens) 120 Volt Integrated LED: Color Temp: 3000K Lifespan: 50000 hours
- Large Option: 15 Watt (1200 Lumens) 120 Volt Integrated LED: Color Temp: 3000K Lifespan: 50000 hours

Notes:

Additional Details

Product URL:
<https://www.lumens.com/newport-rectangular-led-outdoor-step-light-by-kuzco-lighting-KUZP308646.html>
Rating: ETL Listed

Product ID: KUZP308646

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:





BRAND

Modern Forms

DESCRIPTION

The Dorne Wall Sconce's beautiful ambient light warms over the Antiqued Brass finished feature to indirectly illuminate entryways subtly for a soft and comforting glow. This durable indoor/outdoor wall sconce offers advanced LED technology discreetly hidden in its robust housing. Place the Dorne on the side of the garage or next to the front door to fill up your exterior with a brilliant light. Available in two sizes. Wet location rated. ETL, Title 24 and Dark Sky listed.



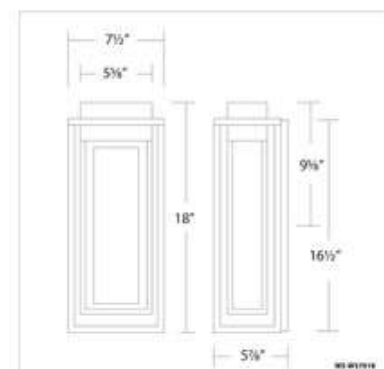
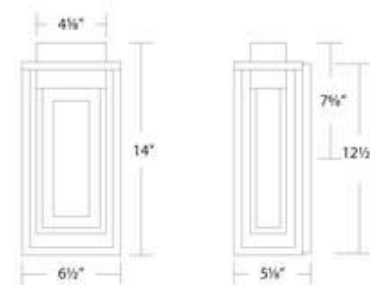
Shown in: Black Aged Brass

SHADE COLOR	N/A
BODY FINISH	Black Aged Brass
WATTAGE	8W
DIMMER	Low Voltage Electronic
DIMENSIONS	7.5"W x 18"H x 5.88"D
LAMP	1 x LED/8W/120V LED

Technical Information

LUMINOUS FLUX	600 lumens
LUMENS/WATT	75.00
LAMP COLOR	3000 K
COLOR RENDERING	90 CRI

ITEM NUMBER MFR907707



COMPANY

PROJECT

FIXTURE TYPE

APPROVED BY

DATE



1023 E. Alameda
3D model update 09/29/2021



1023 E. Alameda
3D model update 09/29/2021



1023 E. Alameda
3D model update 09/29/2021



1023 E. Alameda
3D model update 09/29/2021



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004254--HDRB

Project Description:

Project Location(s): 107 VICTORIA ST
Santa Fe, NM 87505

Contacts:

Property Owner: Tamar Huewitz
107

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number: 1984

Year of Construction: early 1960s

Project Type: Primary Elevation Designation

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2021-004254-HDRB

Address: 107 Victoria Street
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends the historic status of the main structure be designated contributing, per 14-5.2(C) Designation of Significant and Contributing Structures, with the west façade as primary.

Staff recommends the historic status of the accessory structure (garage) be maintained as non-contributing.

BACKGROUND & SUMMARY:

107 Victoria Street is a non-contributing property consisting of two structures: a main house and an accessory structure (garage). The original house was constructed in around 1953 and was added onto in the early 1960s. The garage was constructed also around this time.


The main house is constructed in a simplified Spanish Pueblo Revival style. It originally had a patio on the southwest corner that was enclosed in the mid-1980s. The evolution of the structure can be clearly read on the west façade. The windows on the west, east, and north facades are historic.

The garage, possibly originally a horse stable, is constructed in a similar style. In the mid-2000s, remodeling began: the garage door was changed to a pedestrian door, the ceiling was raised and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

RELEVANT DEFINITIONS:

14-12 Contributing Structure: A structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.

14-12 Noncontributing Structure: A structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.

building threatened? yes	surveyed date <u>29-X-84</u> by <u>mb</u>	county <u>Santa Fe</u>	ID no. <u>051611580</u>	<u>H3521</u>
field map <u>SFHD-6-1580</u>	number	land reference zone <u>12 13</u>	easting	northing
location description <u>107 Victoria</u>			city/town <u>Santa Fe</u>	
building name			land grant/reservation	
legal description twp <u>N S</u> range <u>E W</u> sec <u> </u> <u> </u> <u> </u>		plan shape		
file roll by <u>mb</u> no. <u>20</u>	negative nos. <u>34</u>	loc. or neg. <input checked="" type="checkbox"/>	date of construction <u>P</u> estimate <u> </u> actual <u> </u>	
		source		
		use present <u> </u> residential <u> </u> other <u> </u>		
		historic <u> </u> residential <u> </u> other <u> </u>		
		condition <u> </u> excellent <u> </u> good <u> </u> <u> </u> fair <u> </u> deteriorating <u> </u>		
style	foundation material	degree of remodeling <u> </u> minor <u> </u> moderate <u> </u> major		
	wall material/surface	describe:		
architectural features		surroundings <u>Ros</u>		
		relationship to surroundings <input checked="" type="checkbox"/> similar <u> </u> not similar		
		district potential <u> </u> yes <u> </u> no		
		significance <u> </u> eligible <u> </u> of <u> </u> <input checked="" type="checkbox"/> none		
		if eligible, interest		
		if inventoried, list ID nos.		
		see back? <u> </u> yes		



August 31, 2021

Daniel Schwab
Historic Review
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504

RE:107 Victoria Street
Status Review
ADU renovation

505 930-1149
will.wfd@gmail.com
488c Arroyo Tenorio
Santa Fe New Mexico
87505

Dear Daniel,

Please accept the attached documents for review by the Historic Design Review Board on Tuesday, September 28. We request that the HDRB perform a status review of this property at 107 Victoria Street. If it is feasible, we would also like the board to review modifications to the existing accessory dwelling unit at this same meeting. In addition we ask the board for approval to remove the yard wall and masonry grill (shown on site plan) which was built in the 1980's.

For the status review a number of documents are attached describing the property history. These include 1966 Department of Transportation aerial photos, floor plans notated with dates of original construction and additions and a narrative history based on conversations with the previous owners, Pat and Johnny Rodriguez.

The modifications proposed for the accessory dwelling unit are as follows:

- Replace existing door on west (street facing) elevation
- New windows on west elevation
- Replace window on south elevation
- New window in door opening on east elevation
- Re-stucco

Windows and door are to be Anderson aluminum clad. Cladding color will be "Caribbean Blue".

The existing stucco is elastomeric and consequently we propose to use elastomeric stucco on a new color coat. The color will be Sto "Mocha Cream" (comparable to El Rey Buckskin) which is part of the Sto Classic Color Collection.

Please feel free to call or email me with any questions or comments about this application. I will be representing the project at the HDRB on behalf of the owner.

Sincerely,

A handwritten signature in blue ink, appearing to read "Will McDonald", is written over a faint, larger signature.

Will McDonald

107 Victoria Street Property History

Pat (aka Jose) and Johnny Rodriguez, former owners of 107 Victoria Street provided this history of the property and buildings.

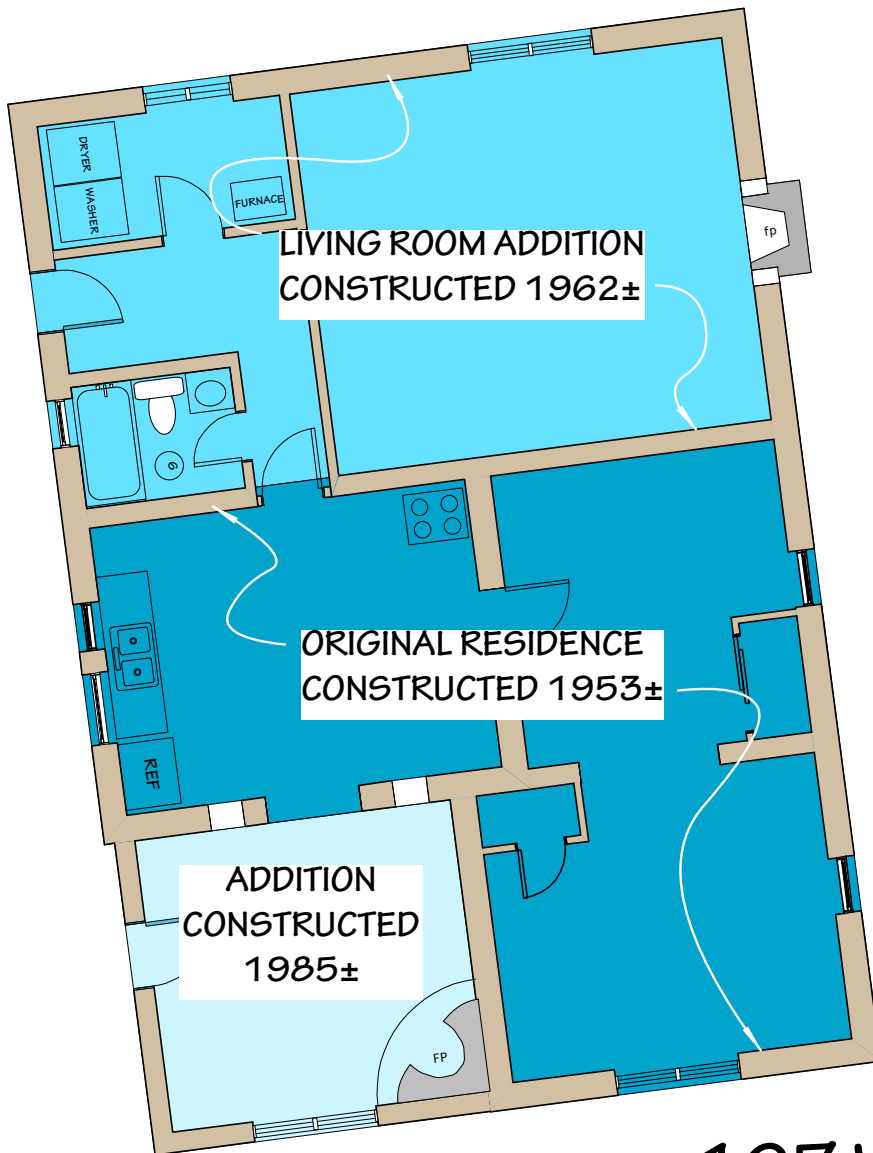
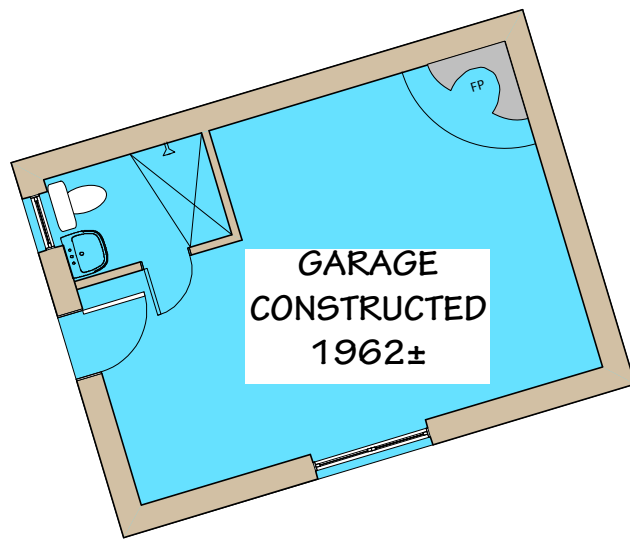
Pat, born in 1954, was the second of the seven children of Frederico Rodriguez. The residence at 107 Victoria was built a year or two before he was born. Johnny was younger. Pat remembers that as a child he helped in the construction of the living room addition particularly making the adobes. This was about 1962. The garage was built about this same time or a little later. The garage was used as a stable for horses for a while.

The patio in the southwest corner of the residence was enclosed as an addition by Pat and Johnny in the mid-1980's. The yard wall and masonry grill was built in the front yard in the 80's as well as Johnny and Pat developed their masonry skills that served this as fireplace builders. In the mid 2000's the older brother, Fred, began transforming the garage to a guest house. He replaced the garage door with a pedestrian door, built the fireplace and raised the roof about 30". During construction he got sick and died and nothing more happened.

An 1966 aerial photo from the NM Department of Transportation shows the residence and garage as this history suggests it would be at that time. The patio on the southwest of the residence is evident.

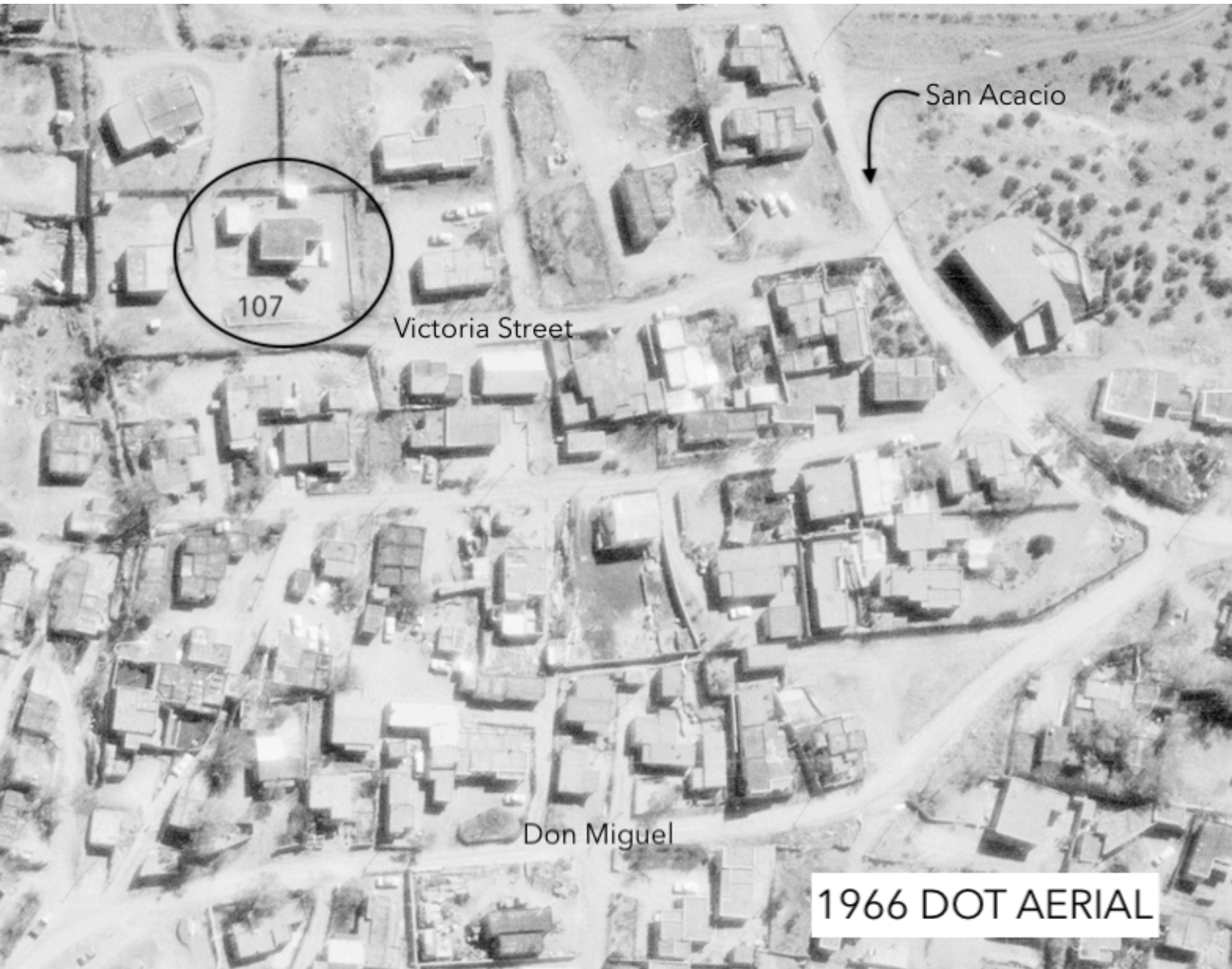
The property was purchased from Johnny Rodriguez by the present owners in May of 2021.

The land was originally owned by Johnny and Pat's great grandfather David Rodriguez who owned land in several locations in the neighborhood. Pat believed David donated land to the Cristo Rey Church as well as the Carmelite Convent on Camino Cruz Blanca. David's son, Juan Manuel, had the Rodriguez property along Victoria and San Acacio surveyed in 1962 with a plat recorded at that time. This property is described on that plat as Tract "C" with the name Fred Rodriguez, father to Pat and Johnny.



107 VICTORIA STREET

CONSTRUCTION HISTORY AND SEQUENCE



107

Victoria Street

San Acacio

Don Miguel

1966 DOT AERIAL



Garage

Residence

107 Victoria Street

1966 DOT AERIAL



107 VICTORIA STREET STREETScape FACING NORTH



107 VICTORIA STREET STREETSCAPE FACING SOUTH



107 VICTORIA STREET NORTH & WEST FAÇADES



107 VICTORIA STREET WEST FAÇADE (STREET FACING)



107 VICTORIA STREET SOUTH FAÇADE



107 VICTORIA STREET EAST FAÇADE



107 VICTORIA STREET EAST FAÇADE



107 VICTORIA STREET NORTH FAÇADE



107 VICTORIA STREET ADU WEST FAÇADE (STREET FACING)



107 VICTORIA STREET ADU SOUTH FAÇADE



107 VICTORIA STREET
ADU EAST FAÇADE



107 VICTORIA STREET ADU NORTH FAÇADE



107 VICTORIA STREET GRILL & YARDWALL, NORTH SIDE



107 VICTORIA STREET GRILL & YARDWALL, SOUTH SIDE

H. NEW BUSINESS

1. 2021-004254-HDRB. 107 Victoria St. Downtown and Eastside Historic District. Will McDonald, agent for Tamar Hurwitz, owner, requests a status review and designation of primary facades, if applicable on two non-contributing structures. (Daniel Schwab)

Name

Will McDonald

Comment - 10/11/2021 11:16 AM : (No Vote)

E-mails from neighbors previously sent to Daniel Schwab:

Begin forwarded message:

From: John Whysner <whysner@gmail.com>

Subject: 107 Victoria Street

Date: October 5, 2021 at 6:05:45 PM MDT

To: dnschwab@santafenm.gov

Cc: will mcdonald <will.wfd@gmail.com>

Dear Mr. Schwab

I will probably be unable to attend the meeting regarding this residence because I will be out of Santa Fe for meetings. I enjoyed having Mr. Rodriquez as a neighbor since I moved here ten years ago and look forward to the new owners making changes to the property. As they described their plans to me and my wife Amy, it seems that their enhancements of the look of the building would be welcome. Therefore, we encourage the Historic Board to maintain the non-contributing status of the buildings at 107 Victoria.

Regards,
John Whysner
109 Victoria Street

Begin forwarded message:

From: William Stine <bill@stinehouse.com>

Subject: H-Board satatus review

Date: October 8, 2021 at 12:58:36 PM MDT

To: dnschwab@santafenm.gov

Cc: will.wfd@gmail.com

Dear Historic Board,

We have lived on Victoria Street for many years and love the beauty and unique character of the street – as well as the neighborhood at large.

We understand that the house at 107 Victoria Street is currently deemed non-contributing, but that it is coming before you under a status review which could revoke that status and make it contributing. We are writing to voice our opinion about the property and request that it remain non-contributing.

There are many beautiful homes in our neighborhood that reflect the spirit of Santa Fe and all the craftsmanship and beauty that went into creating the buildings that make the Historic East Side so unique. Alas, this home at 107 Victoria Street does not mirror any of the architectural style that other historic homes do. It is a simple, small, rectangular building with no portal or other distinguishing features, and if we were flipping through a book on historic architecture of Santa Fe, this one would not make the pages.

We therefore believe it would greatly serve the quality of the streetscape and benefit the neighbors if the board would maintain the status of the buildings on this property as non-contributing. If so, then with further board approval, these buildings could be modified to be more in harmony with the neighboring houses.

We thank you for your consideration of our request to maintain the non-contributing status of 107 Victoria Street.

Sincerely,

Bill and Sharon Stine

Begin forwarded message:

From: Richard Lampert <richard@zaplinlampert.com>

Subject: 107 Victoria Street

Date: October 8, 2021 at 2:34:10 PM MDT

To: dnschwab@santafenm.gov

Cc: will.wfd@gmail.com

Dear Historic Board

We are writing with our support for our neighboring property at 107 Victoria Street remaining “non-contributing.” As longtime residents of Santa Fe and home owners on the historic East Side, we understand and appreciate the

work you do to ensure that our neighborhood retains its rich cultural heritage and architectural beauty.

We are aware that 107 Victoria was originally built in the 1950s. We also understand that there was a portal at that time, and that the house was intact and well-maintained. That has not been the case for the past 24-plus years, in our experience. So, we would welcome a tasteful renovation, including architectural elements such as a portal, which would be allowed were the property to remain “non-contributing.” The improvements that we are aware of would make 107 significantly more attractive, and would be positives for our street and for the neighborhood.

Thank you for considering our input.

Sincerely,

Mr. and Mrs. Richard Lampert
111 Victoria Street

Santa Fe, New Mexico 87505



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004255--HDRB

Project Description:

Project Location(s): 107 VICTORIA ST
Santa Fe, NM 87505

Contacts:

Property Owner: Tamar Huewitz
107

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction: 1960s

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004255-HDRB

Address: 107 Victoria Street
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

107 Victoria Street is a property consisting of two structures: a main house and an accessory structure (garage) to the north.

The garage was constructed in approximately 1962. It was potentially originally a horse stable, is constructed in a similar style to the main house. In the mid-2000s, a remodel was permitted: the garage door was changed to a pedestrian door, the ceiling was raised and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

The applicant now proposes the following:

1. Replace existing door on west (street facing) elevation;
2. Install new aluminum clad windows with simulated divided lights on west elevation;
3. Replace the window with a on south elevation;
4. Install new aluminum clad window with simulated divided lights in the door opening on east elevation;
5. Re-stucco.

The windows will be aluminum clad colored “Caribbean Blue.” The existing stucco is elastomeric and consequently the applicant proposes to use elastomeric stucco. The color will be Sto “Mocha Cream” (comparable to El Rey Buckskin) which is part of the Sto Classic Color Collection.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 8/30/21		107 Victoria Street
Property Owner of Record: Tamar Hurwitz	Proposed Construction Description:	
Applicant/Agent Name: Will McDonald	Existing ADU: New & replacement windows and doors	
Contact Person Phone Number: () (505)930-1149	TOTAL ROOF AREA: 1732 square feet	
Zoning District: <u>R-5</u>	Lot Coverage: <u>17.7 %</u>	
Overlay: <input type="checkbox"/> Escarpment	<input type="checkbox"/> Open Space Required: _____	
<input type="checkbox"/> Flood Zone*	Setbacks: <u>No Change</u>	
<input type="checkbox"/> Other: _____	Proposed Front: _____ Minimum: _____	
	2 nd Front? _____	
Submittals Reviewed with PZR:	Proposed Rear: _____ Minimum: _____	
<input checked="" type="checkbox"/> Legal Lot of Record	Proposed Sides: L _____ R _____ Minimum: _____	
<input type="checkbox"/> Development Plan	Height: Proposed <u>No Change</u>	
<input checked="" type="checkbox"/> Building Plans	Maximum Height: _____ or	
<input checked="" type="checkbox"/> Existing Site Plan	<input type="checkbox"/> Regulated by Historic Districts Ordinance	
<input checked="" type="checkbox"/> Proposed Site Plan	<input type="checkbox"/> Regulated by Escarpment District	
<input checked="" type="checkbox"/> Elevations	Parking Spaces:	
Supplemental Zoning Submittals Required for Building Permit:	Proposed <u>3</u> Accessible _____	
<input type="checkbox"/> Zero Lot Line Affidavit	Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**	Bicycle Parking**:	
<input type="checkbox"/> Visibility Triangle Required	Proposed: _____ Minimum: _____	
Use of Structure: <input checked="" type="checkbox"/> Residential	** Commercial Requirement	
<input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes _____		

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Will McDonald [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

8/30/21
 DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: None

REVIEWER: Lee Logston DATE: 8/30/21

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



August 31, 2021

Daniel Schwab
Historic Review
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504

RE:107 Victoria Street
Status Review
ADU renovation

505 930-1149
will.wfd@gmail.com
488c Arroyo Tenorio
Santa Fe New Mexico
87505

Dear Daniel,

Please accept the attached documents for review by the Historic Design Review Board on Tuesday, September 28. We request that the HDRB perform a status review of this property at 107 Victoria Street. If it is feasible, we would also like the board to review modifications to the existing accessory dwelling unit at this same meeting. In addition we ask the board for approval to remove the yard wall and masonry grill (shown on site plan) which was built in the 1980's.

For the status review a number of documents are attached describing the property history. These include 1966 Department of Transportation aerial photos, floor plans notated with dates of original construction and additions and a narrative history based on conversations with the previous owners, Pat and Johnny Rodriguez.

The modifications proposed for the accessory dwelling unit are as follows:

- Replace existing door on west (street facing) elevation
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Windows and door are to be Anderson aluminum clad. Cladding color will be "Caribbean Blue".

The existing stucco is elastomeric and consequently we propose to use elastomeric stucco on a new color coat. The color will be Sto "Mocha Cream" (comparable to El Rey Buckskin) which is part of the Sto Classic Color Collection.

Please feel free to call or email me with any questions or comments about this application. I will be representing the project at the HDRB on behalf of the owner.

Sincerely,

A handwritten signature in blue ink, appearing to read "Will McDonald", is written over a faint, larger signature.

Will McDonald

107 Victoria Street Property History

Pat (aka Jose) and Johnny Rodriguez, former owners of 107 Victoria Street provided this history of the property and buildings.

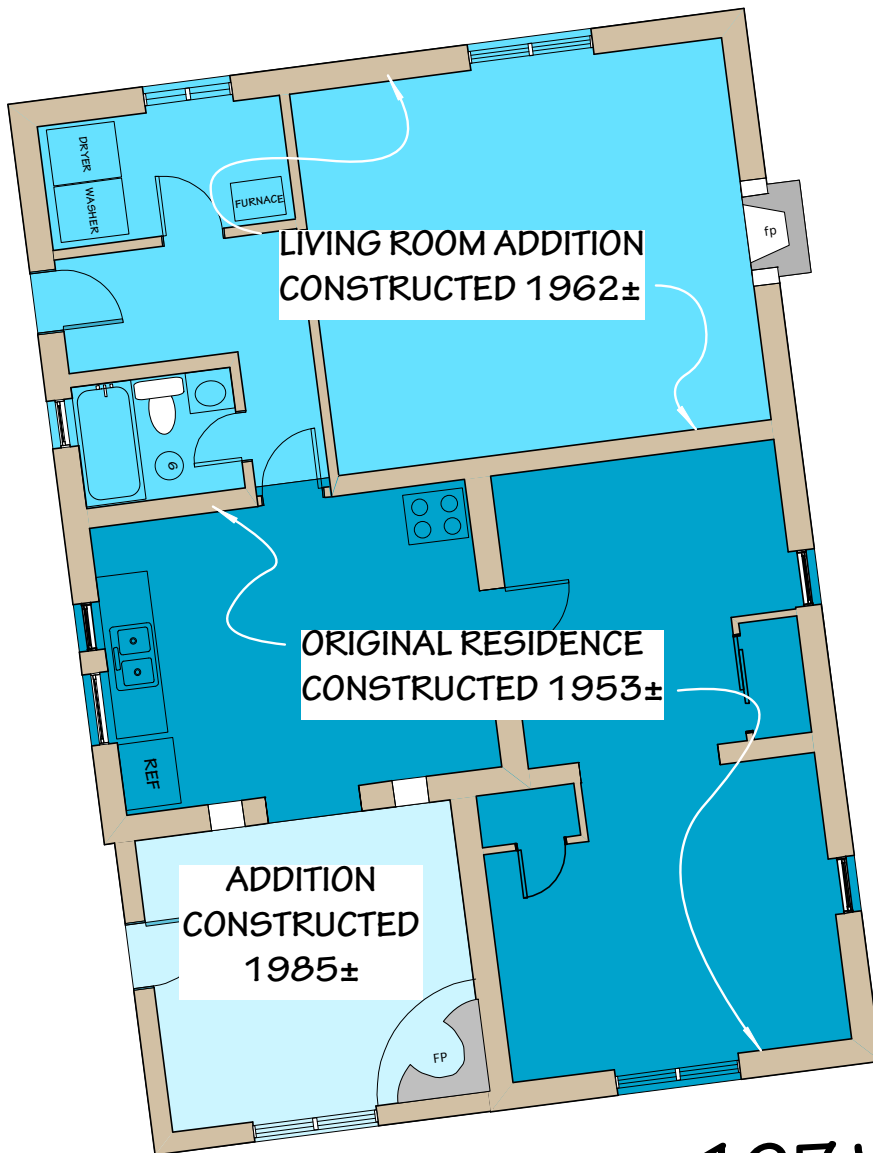
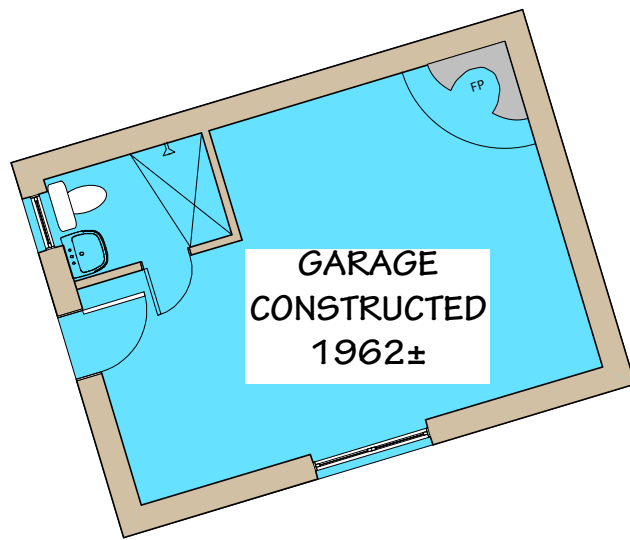
Pat, born in 1954, was the second of the seven children of Frederico Rodriguez. The residence at 107 Victoria was built a year or two before he was born. Johnny was younger. Pat remembers that as a child he helped in the construction of the living room addition particularly making the adobes. This was about 1962. The garage was built about this same time or a little later. The garage was used as a stable for horses for a while.

The patio in the southwest corner of the residence was enclosed as an addition by Pat and Johnny in the mid-1980's. The yard wall and masonry grill was built in the front yard in the 80's as well as Johnny and Pat developed their masonry skills that served this as fireplace builders. In the mid 2000's the older brother, Fred, began transforming the garage to a guest house. He replaced the garage door with a pedestrian door, built the fireplace and raised the roof about 30". During construction he got sick and died and nothing more happened.

An 1966 aerial photo from the NM Department of Transportation shows the residence and garage as this history suggests it would be at that time. The patio on the southwest of the residence is evident.

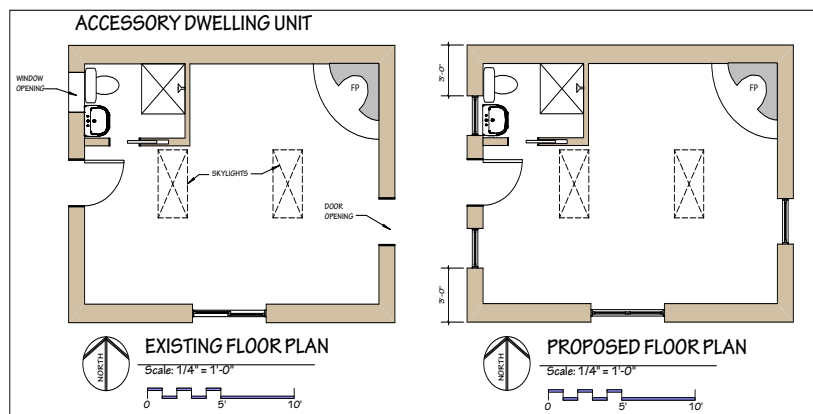
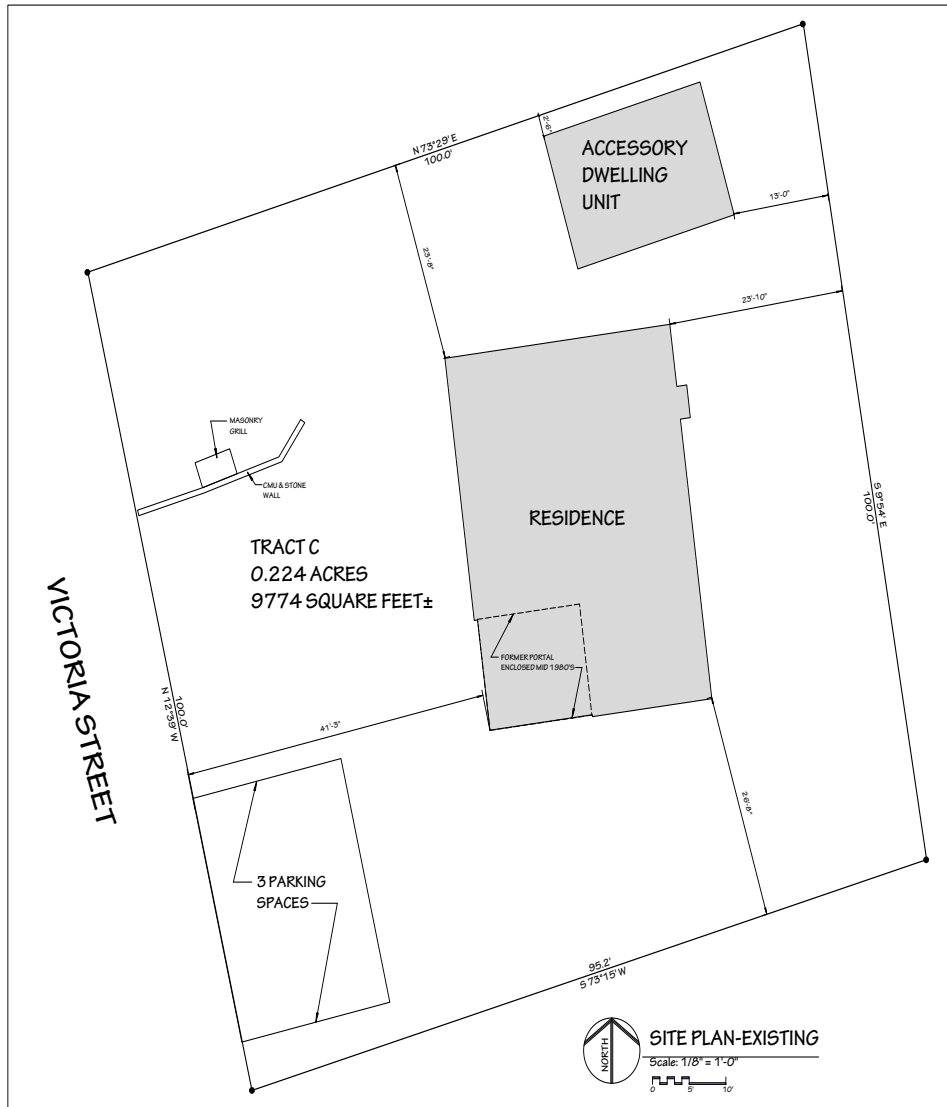
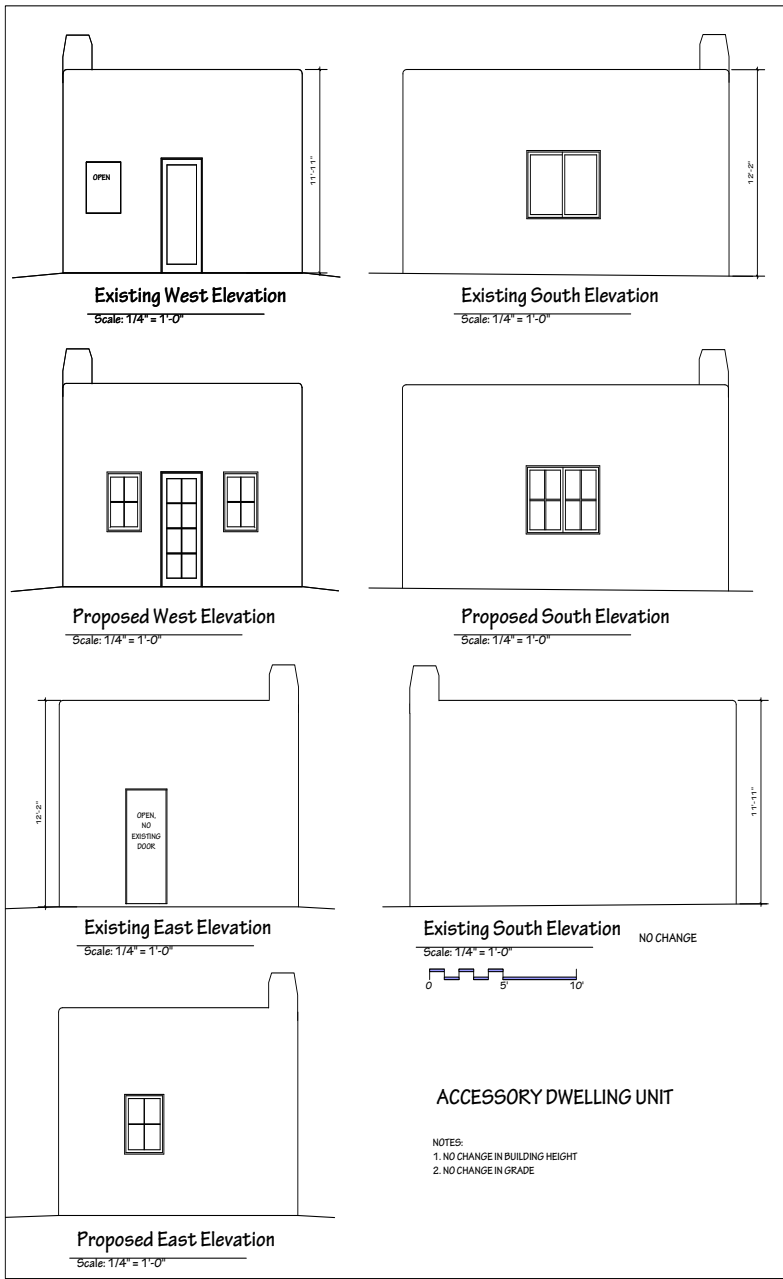
The property was purchased from Johnny Rodriguez by the present owners in May of 2021.

The land was originally owned by Johnny and Pat's great grandfather David Rodriguez who owned land in several locations in the neighborhood. Pat believed David donated land to the Cristo Rey Church as well as the Carmelite Convent on Camino Cruz Blanca. David's son, Juan Manuel, had the Rodriguez property along Victoria and San Acacio surveyed in 1962 with a plat recorded at that time. This property is described on that plat as Tract "C" with the name Fred Rodriguez, father to Pat and Johnny.



107 VICTORIA STREET

CONSTRUCTION HISTORY AND SEQUENCE



Lee Logston
8/30/21

HISTORIC REVIEW
ACCESSORY DWELLING UNIT



107 VICTORIA STREET
SANTA FE NEW MEXICO

DATE: 8/30/21

SHEET:

107 VICTORIA STREET EXTERIOR FINISHES



STUCCO-ELASTOMERIC
STO "MOCHA CREAM" #1015
HEX COLOR CODE: #B8A08C



DOOR AND WINDOW CLADDING COLOR
ANDERSON "CARIBBEAN BLUE"
HEX COLOR CODE: #5992A5

NO EXPOSED WOOD, STAIN OR PAINT
PROPOSED WITH THIS PROJECT



107 VICTORIA STREET ADU WEST FAÇADE (STREET FACING)



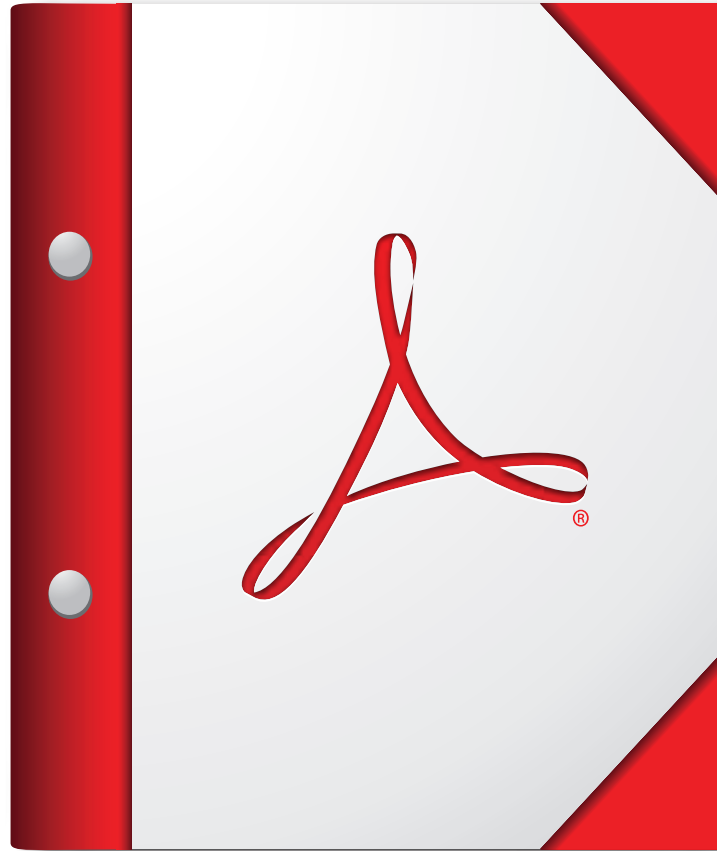
107 VICTORIA STREET ADU SOUTH FAÇADE



107 VICTORIA STREET
ADU EAST FAÇADE

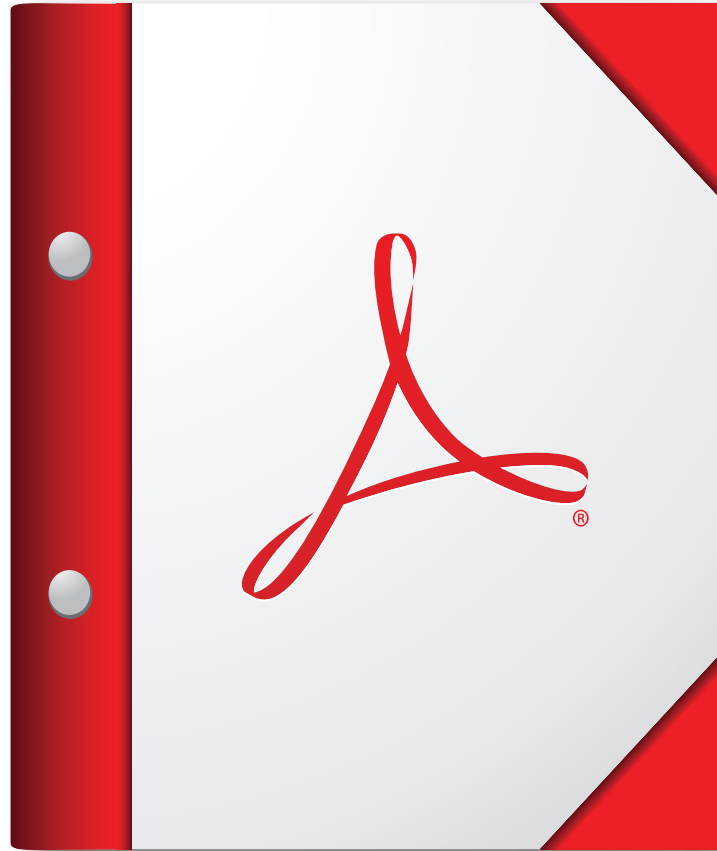


107 VICTORIA STREET ADU NORTH FAÇADE



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Acrobat X or Adobe Reader X, or later.**

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Acrobat X or Adobe Reader X, or later.**

Get Adobe Reader Now!



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004256--HDRB

Project Description:

Project Location(s): 809 ABEYTA ST
Santa Fe, NM 87505

Contacts:

Property Owner/Builder: Jay Jay Shapiro
90 LEAPING POWDER RD
SANTA FE, NM 87508

shapiro434@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction: 1970s

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004256-HDRB

Address: 809 Abeyta
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: exception criteria responses

STAFF RECOMMENDATION:

Staff recommends that recommends that the exception criteria to Section 14-5.2(D)(6) have been met and that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards. Staff.

BACKGROUND & SUMMARY:

809 Abeyta is a single-family residential structure constructed in the 1970s. It is located at 90-degree curve on Abeyta Street in the Downtown and Eastside Historic District. It is a rectangular form measuring 20 x 40 feet with a pitched roof with pre-fab trusses. The walls are constructed of wood frame and stuccoed on the exterior with single-pane aluminum slider windows. It has a height of 15 feet.

The maximum allowable height is 15 feet 5 inches and the maximum wall height is 5 feet 6 inches.

The applicant proposes the following remodel and addition:

1. The current pitched roof will be converted to a flat torch-down roof with raised parapets. The roof will be raised to a height of 14 feet at the center of the street-facing elevation (south). An exception is requested to change the roof style from pitched to flat per 14-5.2(D)(6).
2. The street-facing façade (east) has a small concrete deck and pergola with wood posts and shed roof with asphalt shingle and 9-inch round wood posts with a “mission” stain. This would be replaced with a wood deck flat-roofed portal with a latilla ceiling. The height will be 13 feet from the natural grade.
3. The front door will remain in the same location. A transom will be added above. The new door will be wood.
4. The center bedroom window will be replaced with sliding French doors with a “mission” reddish brown wood stain. The doors will be wood, the windows will be aluminum clad with simulated divided lights with white trim. The western-most window will have changed dimensions to fit a vertical orientation.
5. Construct a pergola on the west elevation, attached to the house with 9 inch round posts and 6 by 6 inch horizontal beams.
6. Construct a circa 200 square foot addition on the west side of the structure.
7. Construct a freestanding fireplace on the north elevation, stuccoed.
8. Re-stucco the house. The stucco color will buckskin”.
9. The south façade currently has no openings. Insert new window openings.
10. Construct a 6 x 14 foot brick patio of red-brown bricks.
11. Raise existing perimeter wall running along the southern and eastern street frontage to 5 feet 6 inches, which is the maximum allowable height.
12. Exterior lights will be hammered copper downlights.

EXCEPTION CRITERIA RESPONSES:

Exception to section 14-5.2(D)(6).

(i) Do not damage the character of the district.

Applicant response:

The house will match the district. The building has no importance historically.

Staff response:

Staff agrees with the applicant. This is a partially prefabricated structure with non-contributing status.

(ii) Are required to prevent a hardship to the applicant.

Applicant response:

Due to slope, the applicant is unable to construct 10-foot ceilings within the maximum allowable height. The pitch would make the height at the top of the roof too high. The current ceiling is 8 feet which is the minimum. The structure is very cramped at 800 square feet and with such low ceilings.

Staff response:

Staff agrees with the applicant.

(iii) Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.

Applicant response:

To raise the roof is the other option, but it would exceed the max allowable height. Keeping such a low ceiling makes for a low quality of life given the small rooms. It is not practicable to lower the structure to stay within the maximum allowable height.

Staff response:

Staff agrees with the applicant.

ADDRESS: 809 Abeyta Street
Camino del Monte Sol National Register Historic District

ID NUMBER: 051600200

BUILDING NAME:

IDENTIFICATION

UTM REFERENCE EASTING NORTHING
ZONE 12 13

LEGAL DESCRIPTION:
TNSP 17 N 8, RANGE 10 E 30 SEC 30 NW1/4 SW1/4

FIELD MAP Santa Fe Historic Structures Survey No. 2, 1983-85

DATE OF CONSTRUCTION:
ESTIMATE c. 1954 ACTUAL
SOURCE(S) current owner

ARCHITECTURAL STYLE:
no style - see "other" on reverse

USE:
HISTORIC: residential
OTHER _____
PRESENT: residential
OTHER _____

SURROUNDINGS:
residential
RELATIONSHIP TO HISTORIC SURROUNDINGS:
 SIMILAR NOT SIMILAR

ASSOCIATED BUILDINGS ON SITE:
 YES NO
WHAT TYPE?
IF INVENTORIED, LIST ID NUMBER(S)

DEGREE OF REMODELING:
 MINOR MODERATE
 MAJOR

EXPLAIN:

OVERALL CONDITION:
 EXCELLENT GOOD
 FAIR DETERIORATED

BUILDING THREATENED?
 YES NO

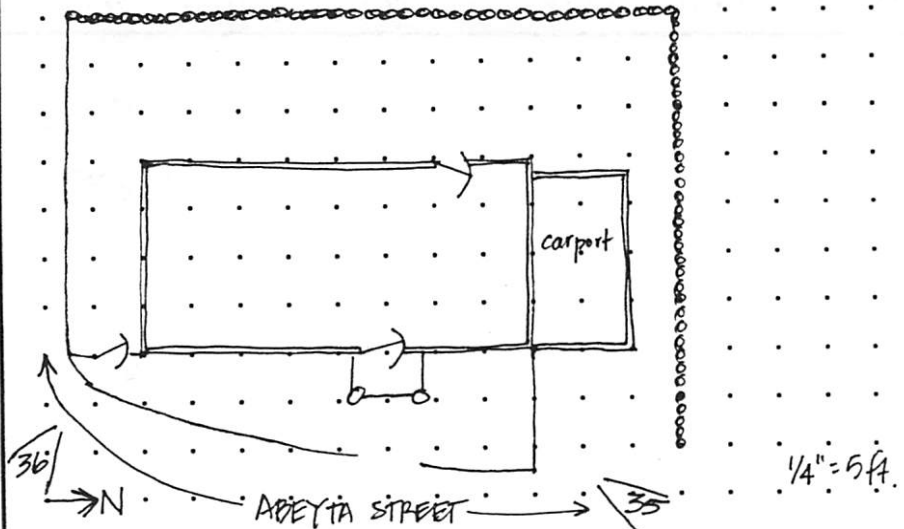
PHOTO



#35 E: N elevation

BUILDING DATA

SITE PLAN



SIGNIFICANCE

LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?
 YES NO ELIGIBLE
 CONTRIBUTING NON-CONTRIBUTING

LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?
 YES NO ELIGIBLE non contributing

LOCAL DESIGNATION: Core HISTORIC DISTRICT
 SIGNIFICANT CONTRIBUTING NON-CONTRIBUTING

LOCAL LANDMARK YES NO

FEATURE	MATERIALS/TYPE	CONDITION AND ALTERATIONS
BUILDING WALLS	frame home w/ stucco	relatively modern home in good condition.
FOUNDATIONS	concrete block	
DOORS	solid panel w/ screen door	
WINDOWS	aluminum double sliders	
PORTALES	NA	
CANALES	NA	
PORCHES	on E side w/ iron corner columns	
BALCONIES	NA	
ROOFS	gable w/ asphalt shingle slopes E-W, overhanging eaves	
COURTYARDS	NA - large yard to W.	
FENCES/WALLS	^{coyote to W, N.} 3-4 ft adobe w/ stucco on S, E sides of lot - stepped wall; perforated concrete bl. on N	
ARCH. DETAILS	car port, 2 metal phen	
OTHER	"no style" language taken from NR nomination, home has feeling of tract house with virtually no architectural embellishments.	
COMMENTS	according to owner, Mr. Apodaca, wall is what remains of original house, he tore down house and left 3-4 ft of wall of house - that is current wall on Abeyta St.	

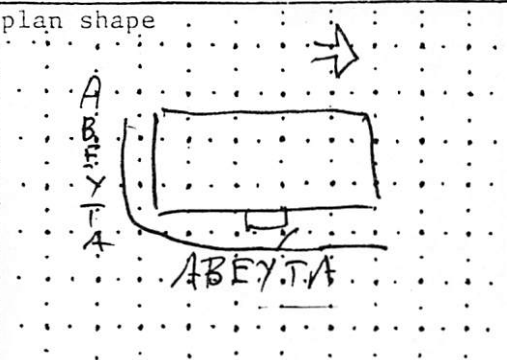
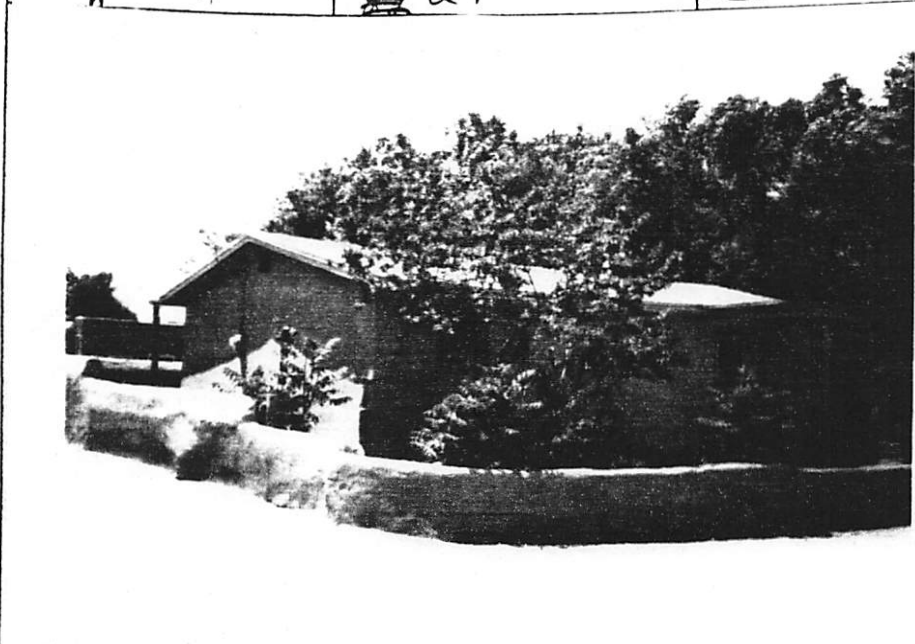
ARCHITECTURAL AND LANDSCAPE FEATURES

ADDITIONAL PHOTOGRAPHS



#36 SE corner

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

building threatened? yes	surveyed date 15-8-83 by <u>m</u>	county <u>Santa Fe</u>	ID no. <u>051600200</u>
field map <u>Santa Fe, New Mexico</u>	number <u>1</u>	UTM reference easting northing zone <u>12 13</u>	
location description <u>809 Abeyta</u>		city/town <u>Santa Fe</u>	land grant/reservation
building name	legal description tensp <u>17 N</u> range <u>10 E</u> sec <u>30 NW 1/2 SW 1/2</u>		
film roll by <u>m</u> no. <u>11</u>	negative nos. <u>24</u>	loc. of neg. <u>HPB</u>	plan shape 
		date of construction <u>Recent</u> estimate _____ actual _____ source <u>1982 Directory</u>	
style <u>Adobe Vernacular</u>		foundation material <u>Not vis</u>	use present <u>residential</u> other _____ historic <u>residential</u> other _____
wall material/surface <u>Stucco</u>		condition _____ excellent <input checked="" type="checkbox"/> good _____ fair _____ deteriorating	
architectural features <u>Windows - alum sliding</u> <u>Porch w iron supports</u> <u>2 metal flues</u>		degree of remodeling <input checked="" type="checkbox"/> minor _____ moderate _____ major _____ describe:	
comments <u>Wall</u> <u>hedge</u> <u>wire fence</u> <u>wood fence</u> <u>landscape</u> <u>street trees</u> <u>stone curb</u> <u>0 setback</u> <u>2 cecula</u>		surroundings <u>Residential</u> relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
Street scope		district potential _____ yes <input checked="" type="checkbox"/> no	
		significance _____ eligible _____ of _____ <input checked="" type="checkbox"/> none if eligible, interest why?	
		associated buildings? _____ yes what type?	
		if inventoried, list ID nos.	
		see back? _____ yes	

LOT COVERAGE CALC'S

$.0627 AC = 43,560 \times .0627 = 2,731.2 \text{ sq ft}$

$2,731.2 \text{ sq ft} \times 40\% = 1,092.48 \text{ sq ft ALLOWABLE}$

HOUSE = 800 sq ft	NEW	2 x 40	800 sq ft
FRONT PORCH	100 sq ft	KITCHEN + 2 x 10	190 sq ft
		DINING MASTER BED	

TOTAL LOT COVERAGE PROPOSED $990 \text{ sq ft} = 36\%$

PROPOSED

TOTAL ALLOWABLE $1,092.48 \text{ sq ft}$

EXTERIOR FINISHES

ALL WINDOWS SHALL BE WHITE CLAD
SIMULATED DIVIDED LITE BY PELLA
ALL EXTERIOR DOORS SHALL BE
WOOD OR FIBER DOORS, STAINED
OR PAINTED WHITE. THE STANDING
SEAM METAL ROOF SHALL BE NATURAL
GALVANIZED. THE STUCCO COLOR SHALL
BE ELREW "BUDSKIN". RAILINGS SHALL
BE IRON / FLAT BLACK. LIGHT FIXTURES
SHALL BE LANTERN STYLE PATINA COPPER,
8" HIGH DOWN LITE.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted:	<u>809 ABETA</u>
Property Owner of Record: <u>JAY SHAPIRO</u>	Proposed Construction Description:
Applicant/Agent Name: <u>JAY SHAPIRO</u>	<u>ADD .90 PUEBLO STYLE W/A</u> <u>MAX HT OF 15'-0"</u>
Contact Person Phone Number: <u>505 699-6661</u>	TOTAL ROOF AREA: <u>990</u>
Zoning District: <u>RC-8</u>	Lot Coverage: <u>38</u> % <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment <u>N/A</u> <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: <u>13</u> Minimum: <u>10</u> 2 nd Front? _____ Proposed Rear: <u>6</u> Minimum: <u>10</u> (10' WALL) Proposed Sides: <u>5.5R 5</u> Minimum: <u>5</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>15'</u> Maximum Height: <u>15'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes <u>N/A</u>	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JAY JAY SHAPIRO
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

JAY JAY SHAPIRO
SIGNATURE

8/20/21
DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: / /

Flood Plain Approval by _____ Date: / /

Traffic Engineering Approval by _____ Date: / /

Notes: _____

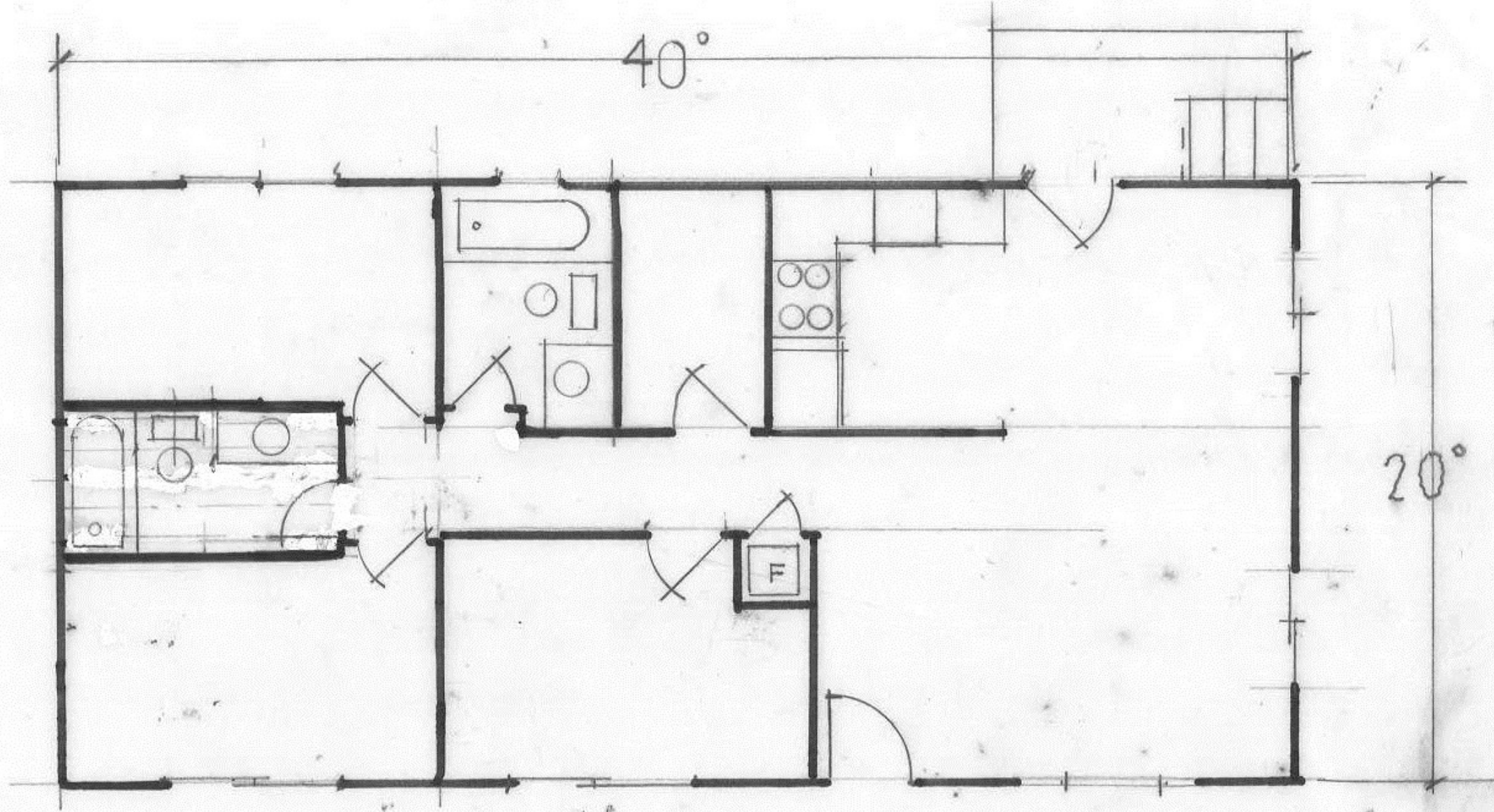
Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

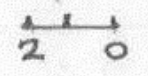
REVIEWER: Donna Wynant DATE: 9/15/21

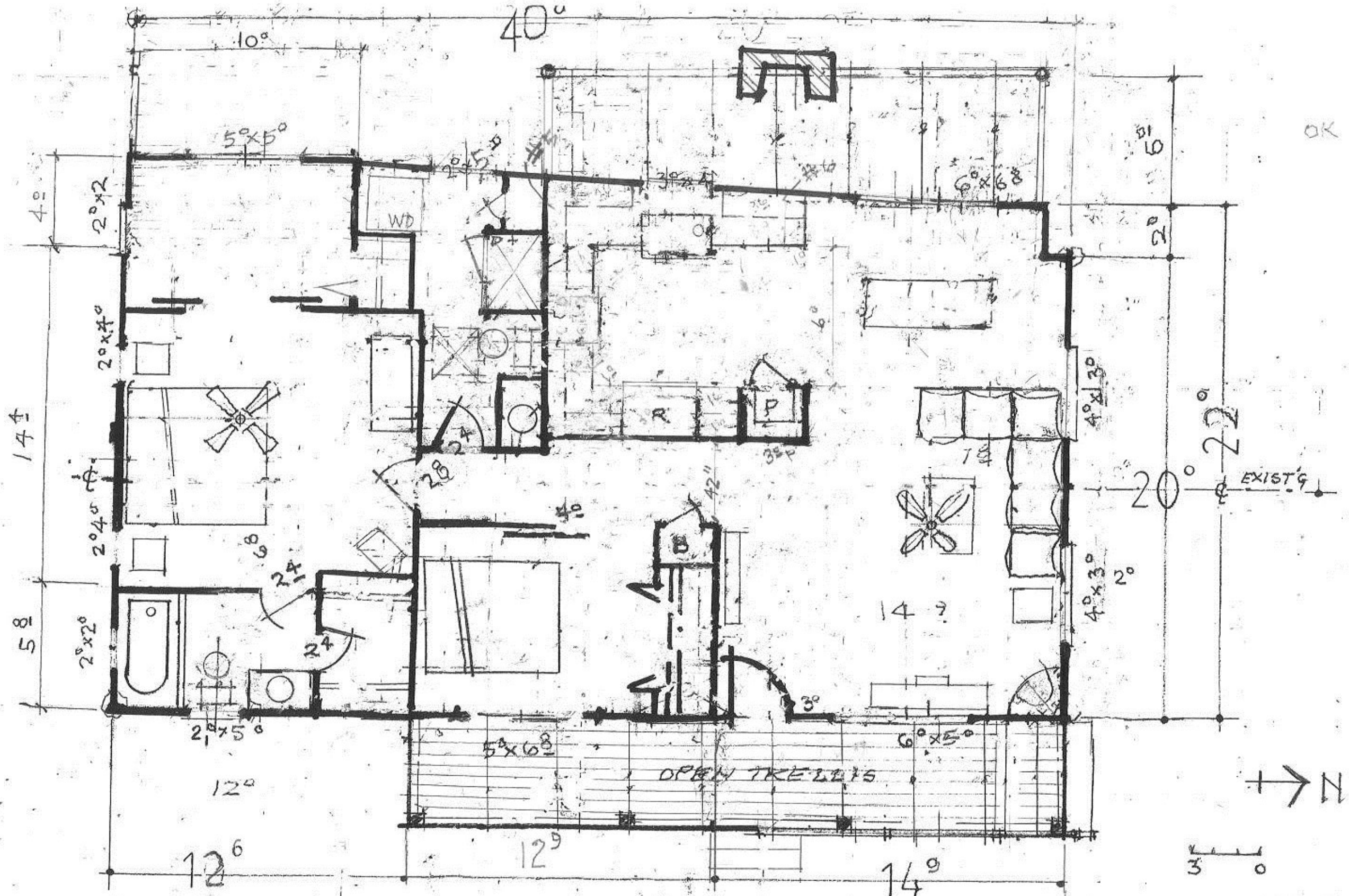
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



EXISTING FLOOR PLAN

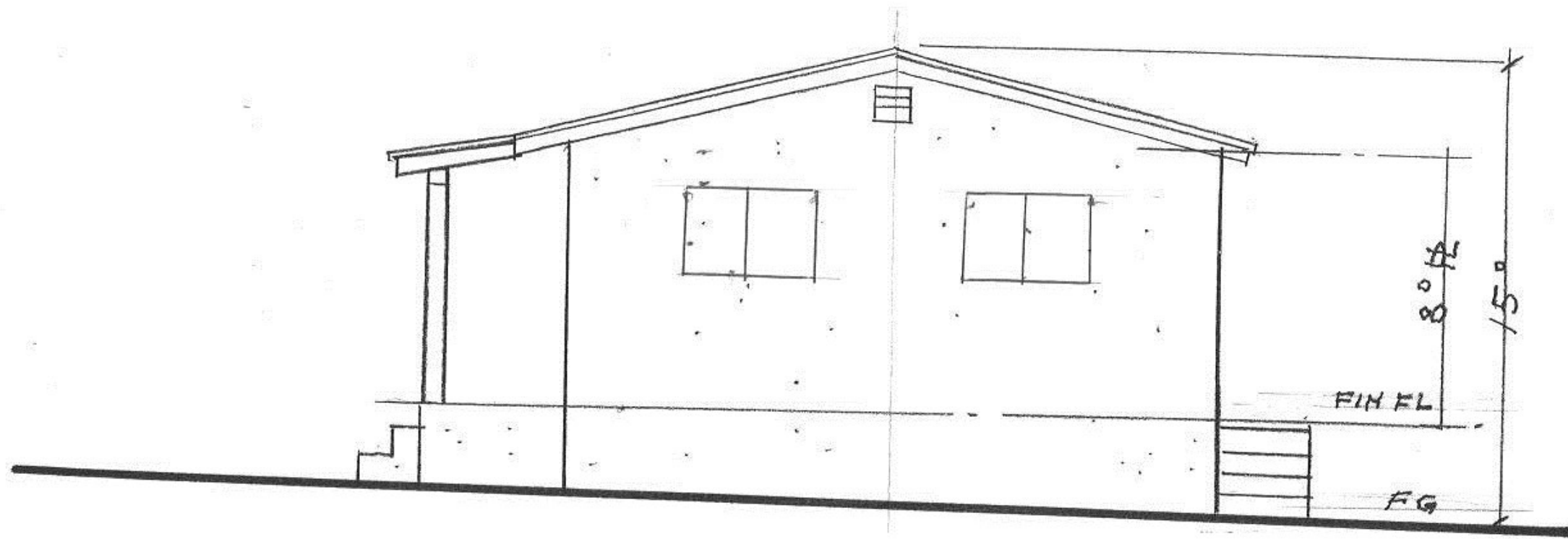
1/4"





PROPOSED FLOOR PLAN

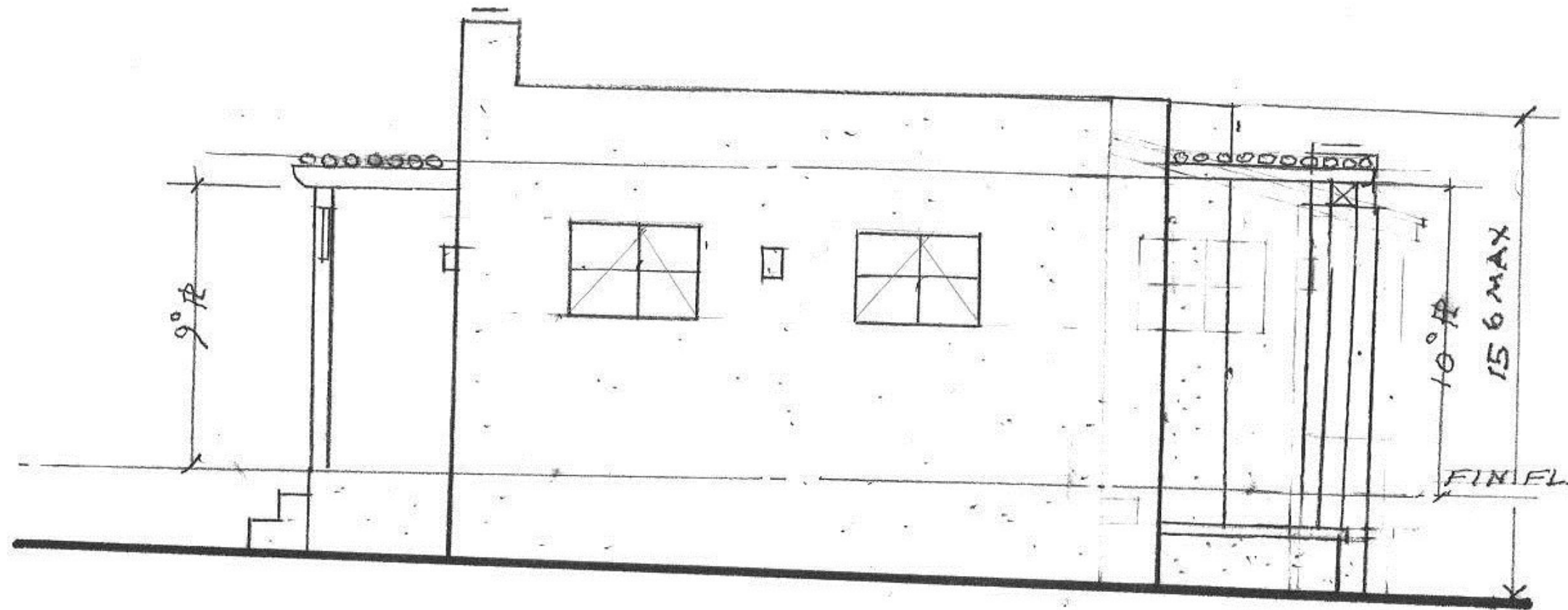
14"



EXISTING NORTH ELEVATION

1/4"

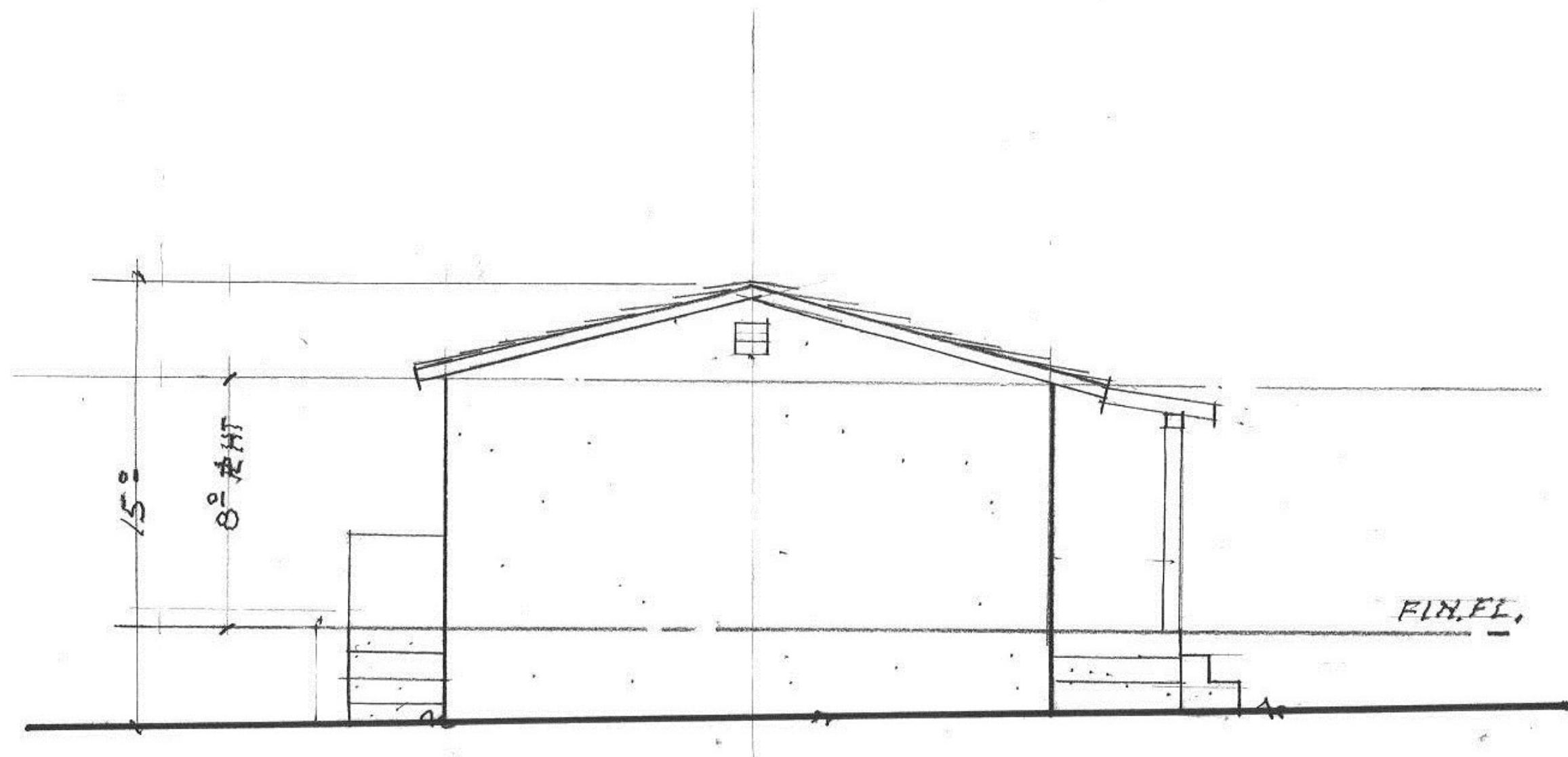
1 1/2"
2 0



PROPOSED NORTH ELEVATION

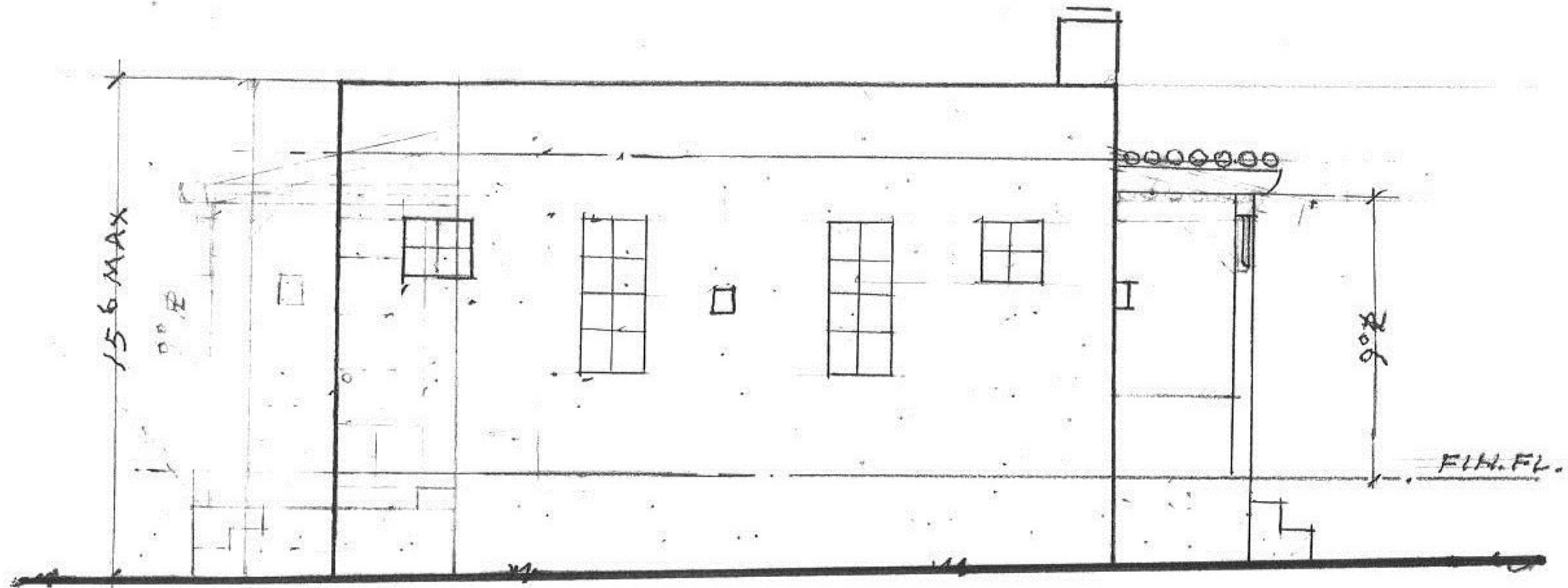
1/4"

1 1 1
2 0



EXISTING SOUTH ELEVATION

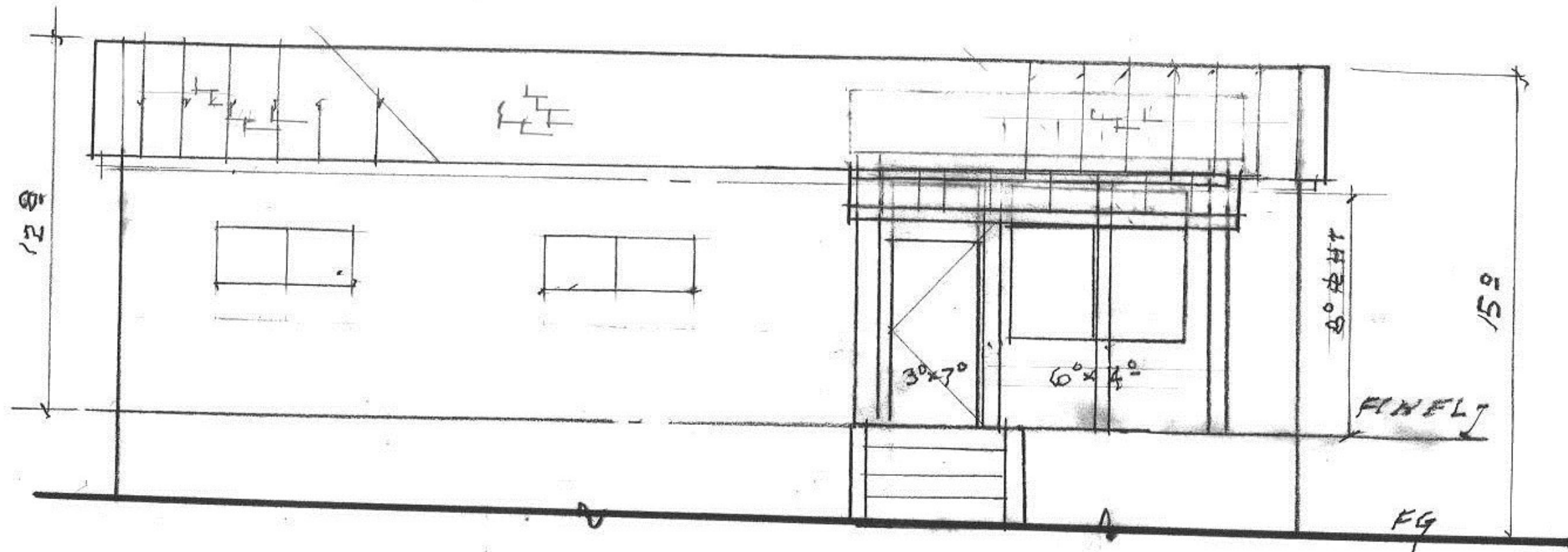
1/4"



PROPOSED SOUTH ELEVATION

1/4"

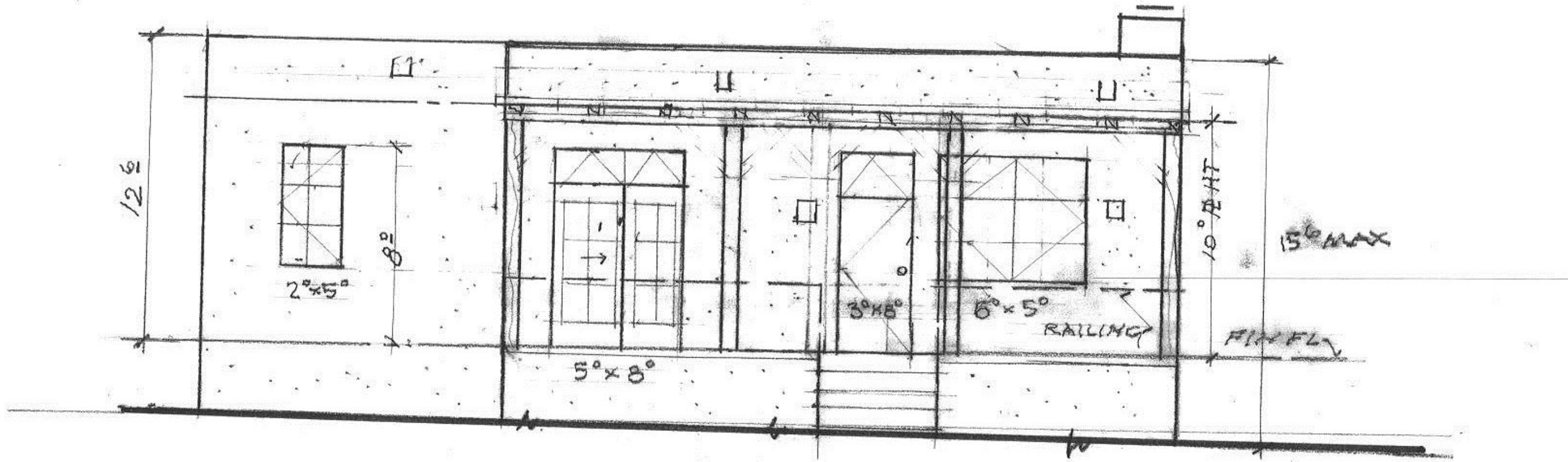
20



EXISTING FRONT ELEVATION

1/4"

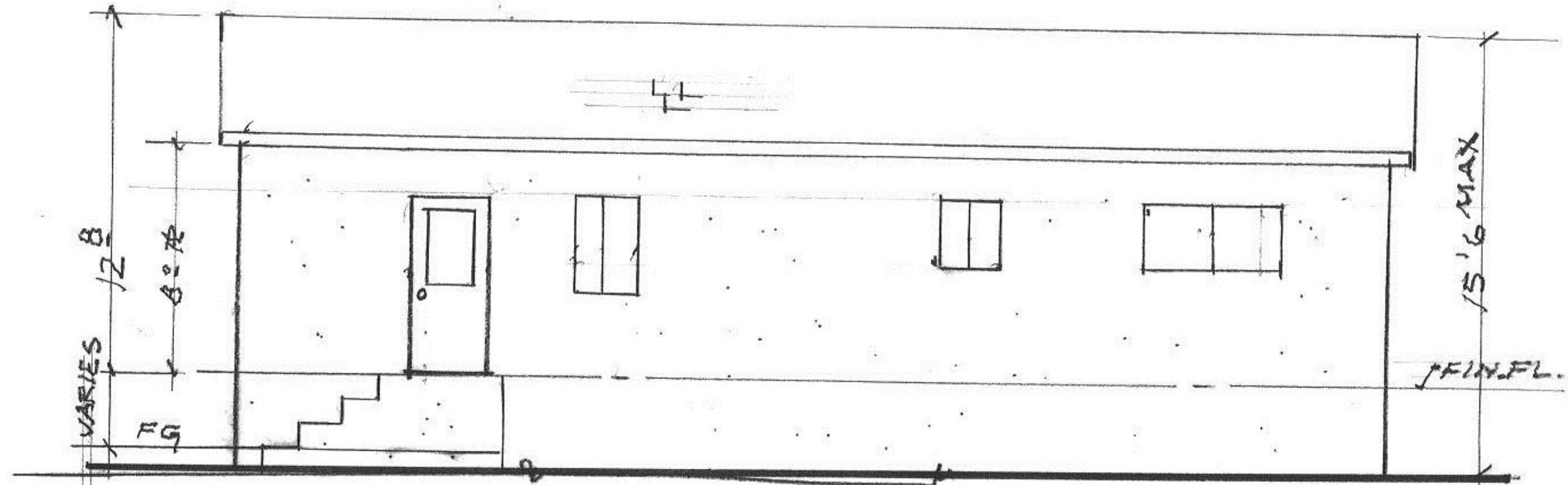
20



PROPOSED FRONT ELEVATION

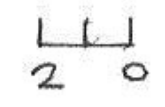
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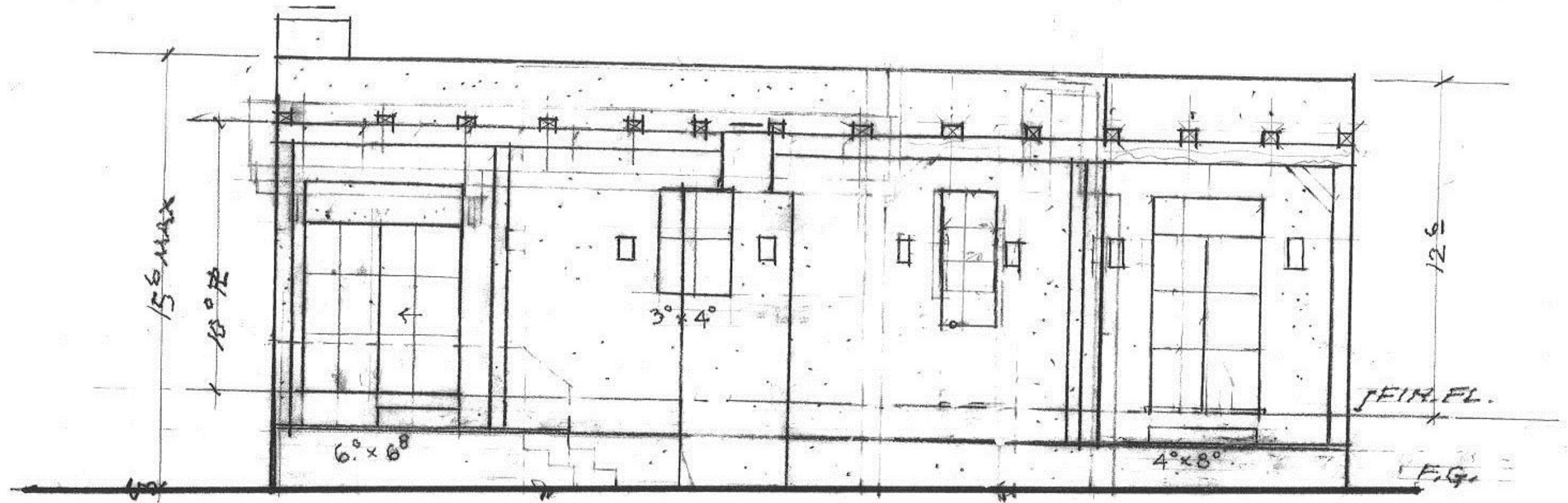
1/4"
2 0



EXISTING REAR ELEVATION

1/4"





PROPOSED REAR ELEVATION

111
20

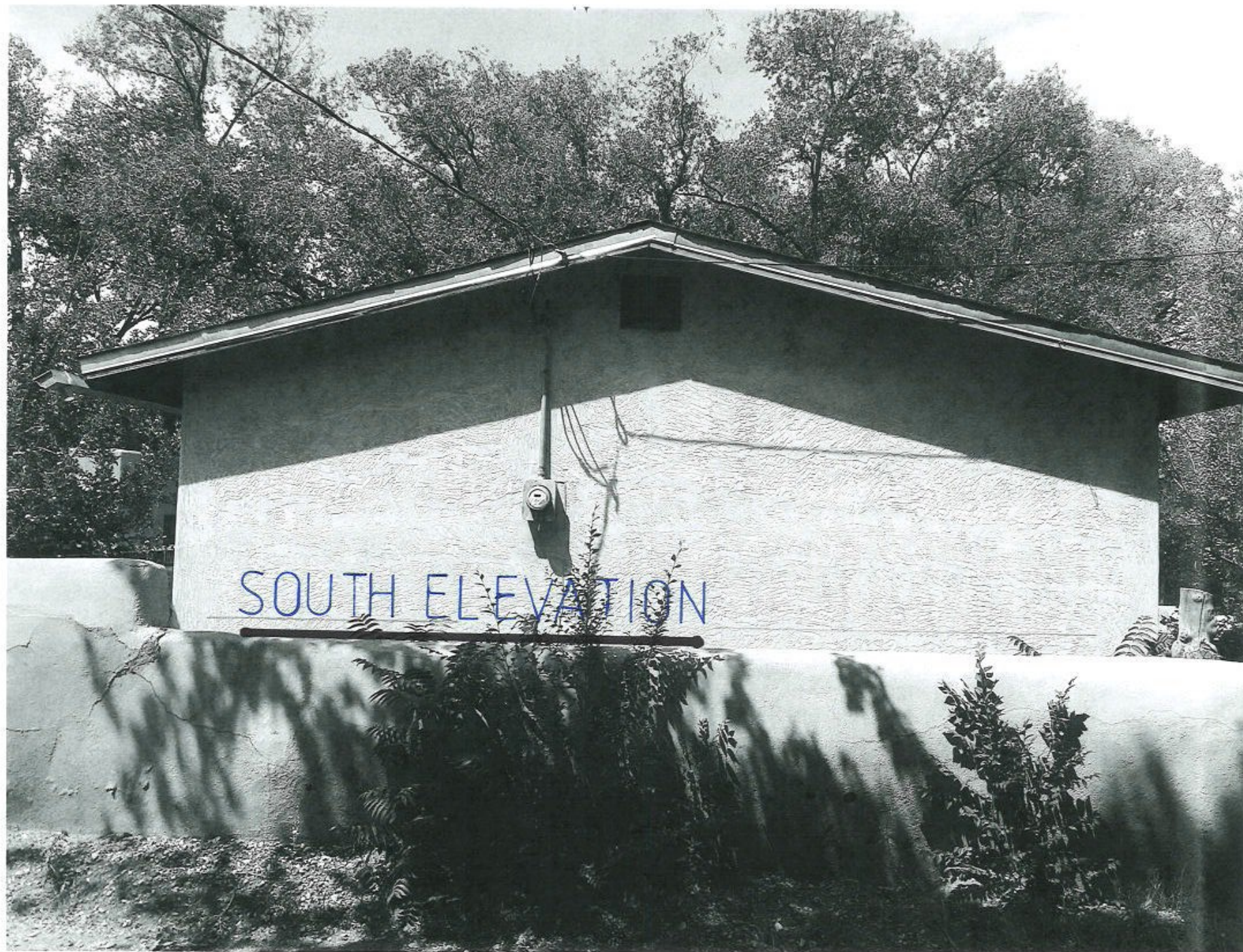


EAST ELEVATION





WEST ELEVATION



SOUTH ELEVATION



2700K

LED
RECESSED
RETRACT
DOWNLIGHT
ILLUMINACIÓN
HACIA ABAJO
EMPOTRADA DE

blo
Fusion

NETAD
RUI



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004259--HDRB

Project Description:

Project Location(s): 1299 CANYON RD
Santa Fe, NM 87501

Contacts:

Property Owner: Julia Burt
1299 Canyon
Santa Fe, NM 87501

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number: 1983

Year of Construction: 1973

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2021-004259-HDRB

Address: 1299 Canyon Road
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

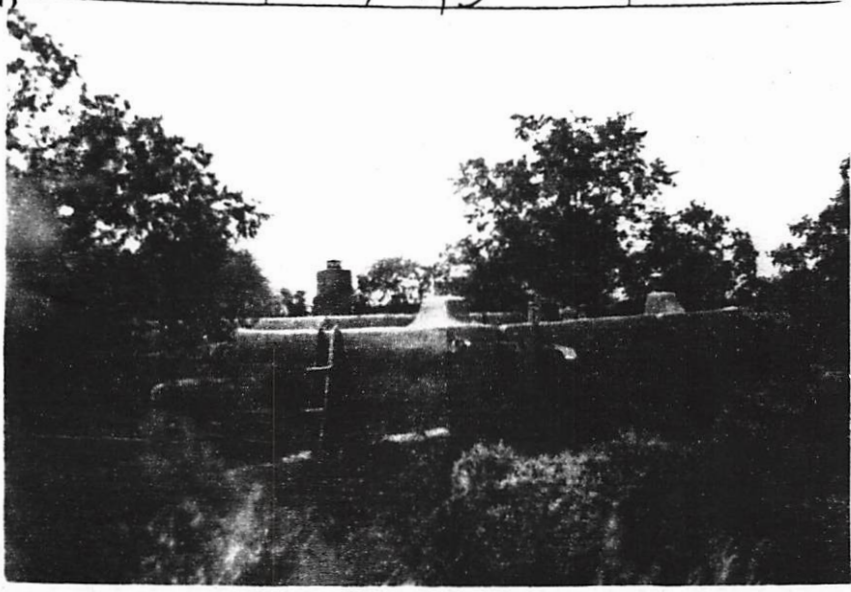
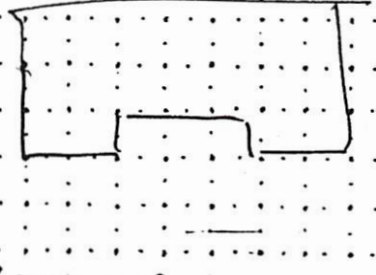
BACKGROUND & SUMMARY:

1299 Canyon Road is a single-family residential structure with non-contributing historic status to the Downtown and Eastside Historic District. The property currently has a coyote fence directly along the street.

On March 9th, 2021, the applicant brought an application to the HDRB proposing to construct a garage and a wall in place of the coyote fence, to install a new vehicular gate along eastern shared driveway, of oxidized steel as well as a garage and wall.

The decision of the Board was to approve the proposal with the condition that the west (pedestrian) gate be constructed of wood and the eastern (vehicular) gate be not steel, but of coyote fence construction.

The applicant now returns to the Board with a revised proposal to construct new vehicular and pedestrian gates, to be oxidized steel frame with wood inserts. These would have a natural wood color stain.

building threatened? yes	surveyed date 28-6-83 by mb	county Santa Fe	ID no. 051600464
field map Santa Fe, New Mexico	number 1	UTM reference easting zone 12 13	northing
location description 1299? Canyon		city/town Santa Fe	land grant/reservation
building name	legal description TNSP 17 N R range 10 E sec 29 NW 1/2 NW 1/2		
film roll by 7 no. 21	negative nos. 1, 2, 3	loc. of neg. HPB	plan shape ↑
			
		Canyon date of construction 1968 estimate early 1970s actual 1973* source * Property owner DR	
style Pueblo Revival		foundation material Not vis	condition <input type="checkbox"/> excellent <input checked="" type="checkbox"/> good <input type="checkbox"/> fair <input type="checkbox"/> deteriorating
architectural features Most of frame not visible (v. street) Windows - 4 wood double hung, lintel exposed 5 masonry chimneys - one extended w masonry cap canopy = wood		wall material/surface Stucco	degree of remodeling <input checked="" type="checkbox"/> minor <input type="checkbox"/> moderate <input type="checkbox"/> major describe:
built by owners - Lynette & George Woolivers		surroundings Residential	relationship to surroundings <input checked="" type="checkbox"/> similar <input type="checkbox"/> not similar
comments wall - adobe		district potential <input type="checkbox"/> yes <input type="checkbox"/> no ?	significance <input type="checkbox"/> eligible <input type="checkbox"/> of <input type="checkbox"/> none if eligible, interest
comments hedge wire fence street trees stone curb set back regular		associated buildings? <input type="checkbox"/> yes <input type="checkbox"/> no what type?	if inventoried, list ID nos.
* published in Virginia Gray, 1976 Mud, Space, and Spirit: Handmade Adobes		see back? <input type="checkbox"/> yes	

12 May 2021

To: Mr. Daniel Schwab
Historic Districts Review Board
From: Sandra Donner
Re: 1299 Upper Canyon Road - Proposal Letter (Gates Only)

Julia and Randall Burt, owners of 1299 Canyon Road, a non contributing residence, are requesting a review and approval of the following proposed changes to their gate proposal from 10 February 2021.

1. New vehicular and pedestrian gates, to be oxidized steel frame with wood inserts.

Exhibits:
Proposed Materials
Plans and Elevations

DESIGN DEVELOPMENT DOCUMENTS

REVISIONS:	
NO.	DATE / NOTE

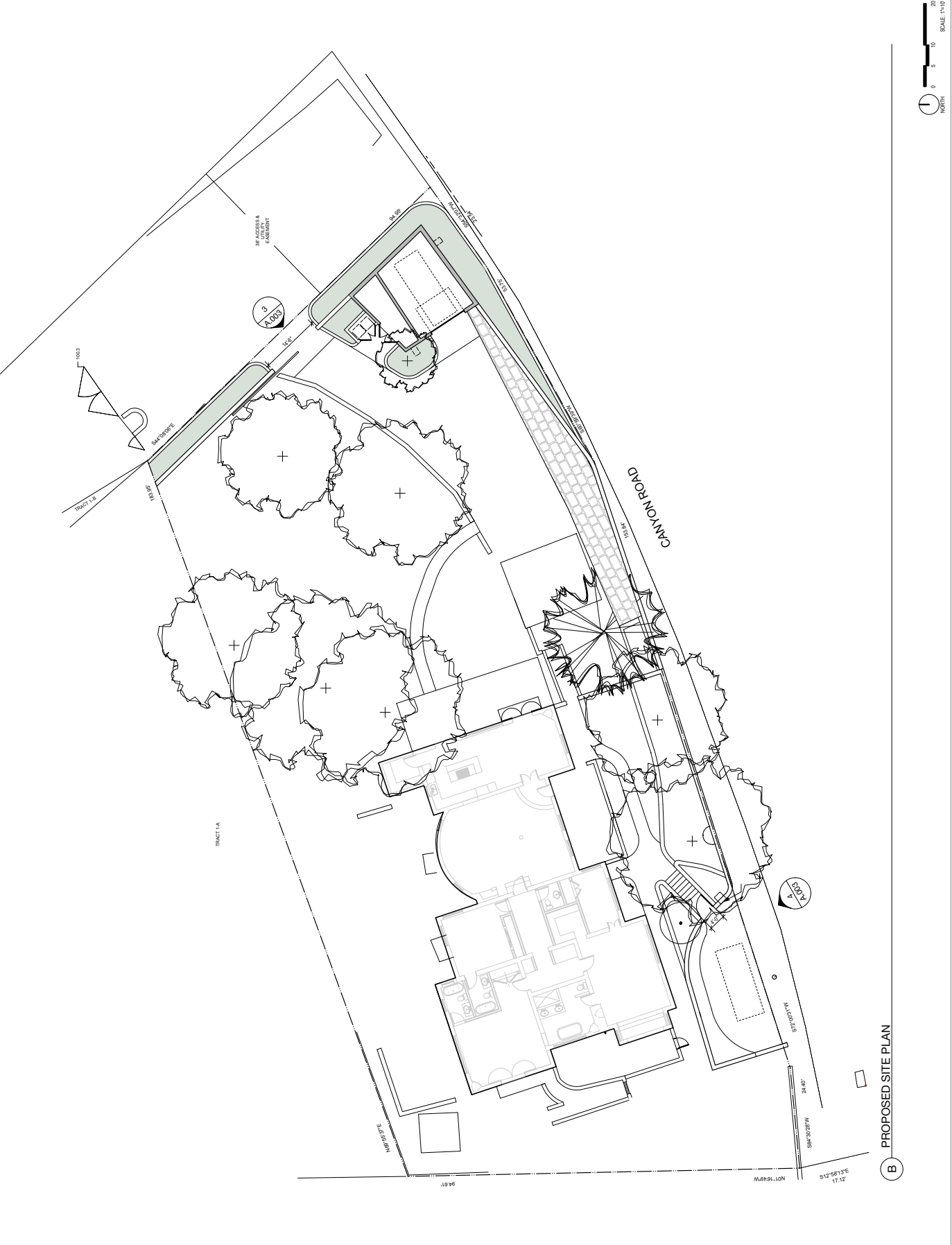
NOT FOR CONSTRUCTION

Qualifiers are responsible for any errors or omissions in this document. The user of this document is advised that the user is not a professional and that the user is not a licensed professional and that the user is not a licensed professional and that the user is not a licensed professional.

BURT RESIDENCE
 1299 UPPER CANYON RD
 SANTA FE, NM 87501

SCALE: 1/8"=1'-0"
 DATE: 01 MARCH 2021
 PROJECT: 1458
 DRAWN BY: SD

PROPOSED PLAN
A.002



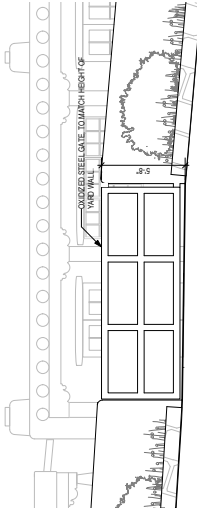
B PROPOSED SITE PLAN

DESIGN DEVELOPMENT DOCUMENTS

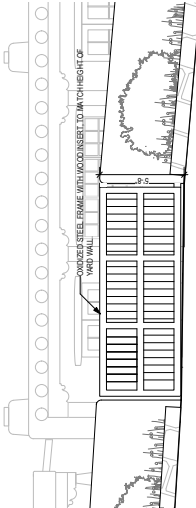
REVISIONS:	
NO.	DATE / NOTE

NOT FOR CONSTRUCTION

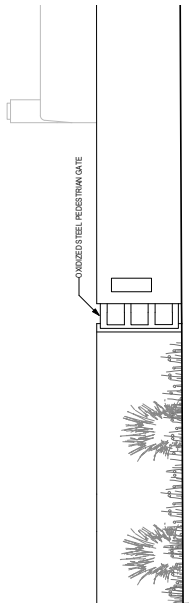
Disclaimer: It is the responsibility of the client to ensure that the information provided in this document is accurate and complete. The firm is not responsible for any errors or omissions in this document. The firm is not responsible for any construction or other work that may be required to implement the information provided in this document. The firm is not responsible for any construction or other work that may be required to implement the information provided in this document.



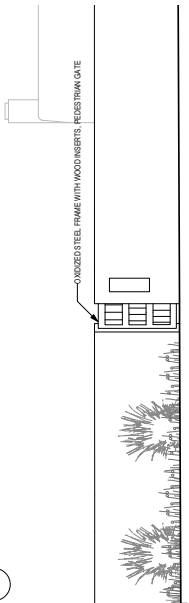
1 PREVIOUSLY PROPOSED VEHICULAR GATE



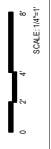
2 CURRENTLY PROPOSED VEHICULAR GATE



3 PREVIOUSLY PROPOSED PEDESTRIAN GATE



4 CURRENTLY PROPOSED PEDESTRIAN GATE





RUSTED (OXIDIZED) STEEL FRAME



VERTICAL WOOD INSERTS

PROPOSED MATERIALS



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004260--HDRB

Project Description:

Project Location(s): 1224 CERRO GORDO RD 1/2
Santa Fe, NM 87501

Contacts:

Property Owner/Builder: Jesse Roach
1224 1/2 Cerro Gordo
Santa fe, NM 87507

jesse roach@yahoo.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 1983

Year of Construction: ca 1945

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 12, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2021-004260-HDRB

Address: 1224 ½ Cerro Gordo Road
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: example photo of proposed railing

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1224 ½ Cerro Gordo Road is a single-family residential property with Contributing status constructed around the time of the Second World War.

The applicant proposes to:

1. Construct a 529 square foot, free-standing garage on the southeast portion of the lot. It will have a roof deck with railing and will be 9 feet 8 inches in height to the top of parapet and 11 feet 8 inches to the top of a proposed railing on the roof. The maximum allowable height is 14 feet.
2. Include a 24 inch high deck railing of metal and cable to minimize visual disruption. The applicant requests a solution and materials that are as visually unobtrusive as possible, while being harmonious with district. The submitted drawing is only indicative and the applicant intends to submit updated drawings according to the approval of the Board. The applicant has submitted an illustration of a similar deck railing on a neighboring home. The garage roof will drain to a canale on the east side of the garage.
3. Stucco will be cementitious El Rey “Adobe” to match the existing home.
4. Include three metal clad wood windows, simulated divided light, teal in color in the south wall will match the style, size, and color of three windows on the existing house.
5. The garage door will be brown stained wood clad. Trim will be teal to match existing home trim and proposed south windows. A pedestrian door on the north side will be painted wood, teal.
6. An east side window will be the stained glass divided light window shown in Figure 4. Exterior light fixtures will match those on the existing house.

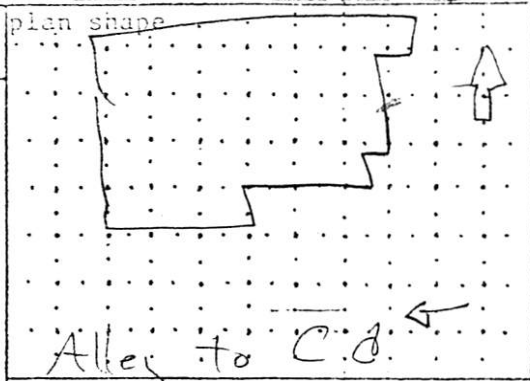
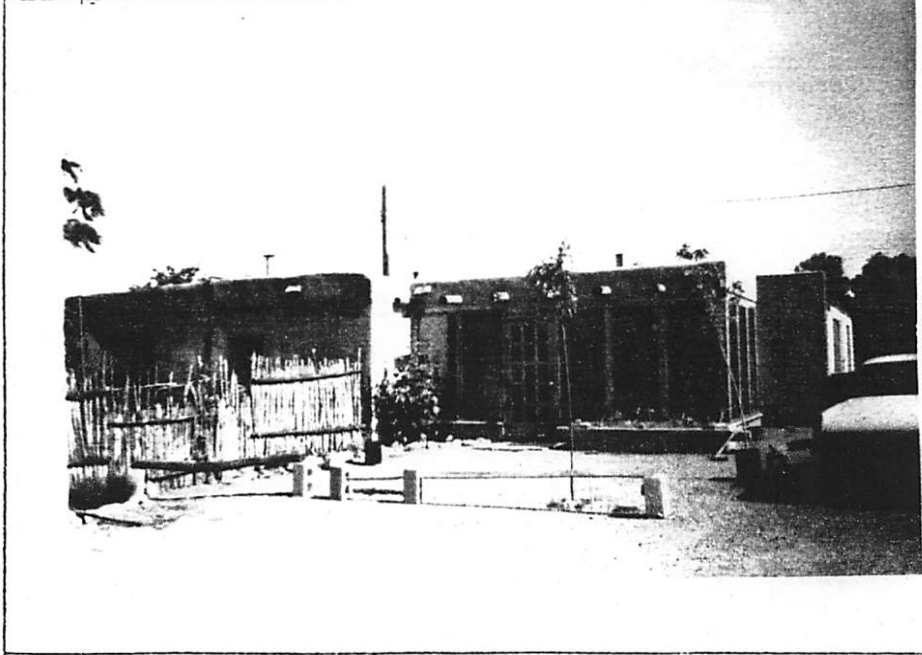
building threatened? yes	surveyed date 7-7-83 mb	county Santa Fe	ID no. 0516 00630
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field map Santa Fe, New Mexico	number 1	UTM reference easting zone 12 13	northing
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location description 122 1/2 Cerro Bernaldo	city/town Santa Fe
	land grant/reservation

building name	legal description TNSP 17 N E range 10 E W sec 30 NE 1/4 NE 1/4
---------------	--

film roll by M no. 28	negative nos. 16	loc. of neg. HPD	plan shape
--------------------------	---------------------	---------------------	------------



date of construction
x Old - present or ?
estimate _____ actual

source
Show postcard in directory

use
present residential
other _____
historic residential
other _____

condition
_____ excellent x good
_____ fair _____ deteriorating

style Sp. pueblo vern	foundation material Not vis	degree of remodeling _____ minor _____ moderate <u>x</u> major
	wall material/surface Stucco	describe: Addn of wing to E

architectural features Older 4 lite wood casement w/ sldg alum Newer - fixed large slider 6 metal plus/wents 1 blue tile Cavalier metal	surroundings R or
---	----------------------

	relationship to surroundings <u>x</u> similar _____ not similar
--	--

	district potential _____ yes _____ no <u>x</u>
--	---

	significance _____ eligible _____ of _____ none <u>x</u> if eligible, interest
--	--

comments wall hedge wire fence cayote	why?
---	------

	associated buildings? _____ yes what type?
--	---

	if inventoried, list ID nos.
--	------------------------------

	see back? _____ yes <u>x</u>
--	------------------------------

Direct scope



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: <u>8-27-2021</u>		<u>1224 1/2 Carro Gordo</u>
Property Owner of Record: <u>JESSE ROACH</u>		Proposed Construction Description:
Applicant/Agent Name:		<u>529 # FREE STANDING GARAGE</u>
Contact Person Phone Number: <u>(505) 428-9761</u>		TOTAL ROOF AREA: <u>3371 # EXISTING 3900 proposed</u>
Zoning District: <u>R-5</u>		Lot Coverage: <u>35</u> % <u>proposed</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		Setbacks: Proposed Front: <u>10</u> Minimum: <u>7</u> 2 nd Front? _____ Proposed Rear: <u>>15</u> Minimum: <u>15</u> Proposed Sides: L <u>>5R >5</u> Minimum: <u>5</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed _____ Maximum Height: <u>13'8"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____		
Terrain: <input type="checkbox"/> 30% slopes _____		

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JESSE ROACH

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE

8-27-2021

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: Sewer easement access encroachment agreement for retaining wall needed at time of building permit

REVIEWER: Lee Logston DATE: 9/1/21

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

To whom it may concern,

August 31, 2021

I would like to build a 529 square foot, free-standing garage on the southeast portion of my lot. The proposed side-loading garage will sit 10 feet from the front (south) lot line and 12 feet from the side (east) lot line. The garage will have a roof deck with railing and will be 7 feet 8 inches tall to top of parapet from house grade (uphill), and 9 feet 8 inches tall from road grade (downhill). I would like the 24 inch high deck railing to be metal and cable to minimize visual disruption, similar to the deck railing on a neighboring home shown in Figure 1. The garage roof will drain to a canale on the east side of the garage.

Figure 1: Metal & cable deck rail on nearby home.



The garage will be stuccoed in cementitious El Rey “Adobe” to match existing home. Three metal clad wood windows, simulated divided light, teal in color in the south wall will match the style, size, and color of three windows on existing house visible from the garage site and shown in Figure 2. The garage door will be brown stained wood clad similar to the garage door shown in Figure 3. Trim will be teal to match existing home trim and proposed south windows. A pedestrian door on the north side will be painted wood, teal color to match trim and existing home, and an east side window will be the stained glass window shown in Figure 4. Exterior light fixtures will match those on the existing non-contributing home.

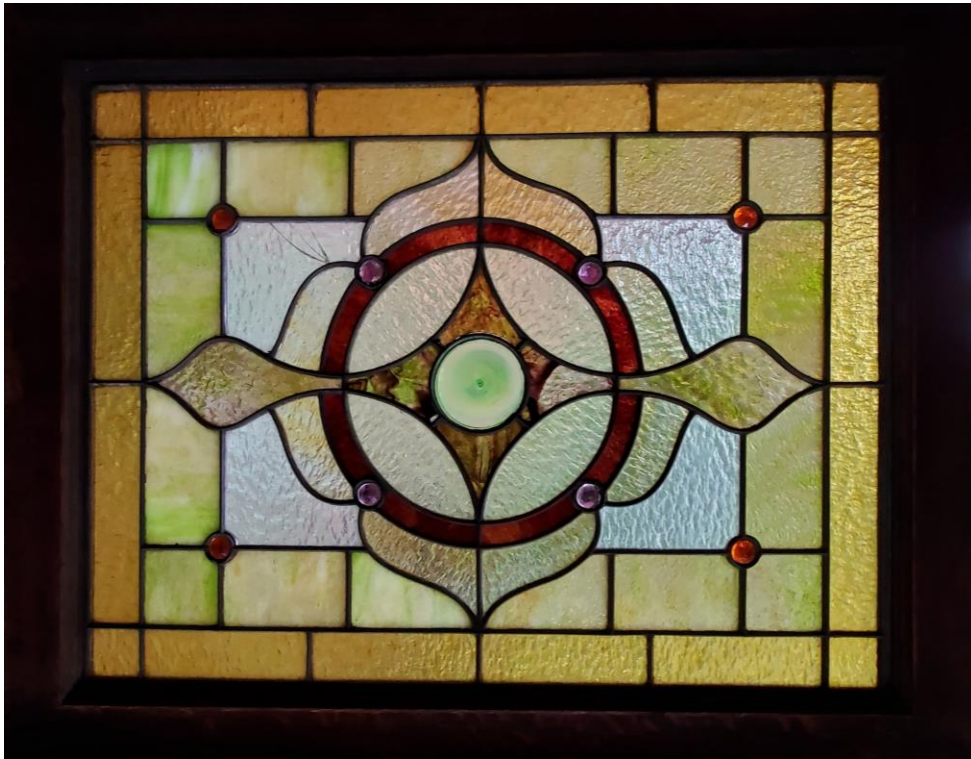
Figure 2: Windows on existing home



Figure 3: Wood clad garage door.



Figure 4: Stained glass window to be used in east wall of garage.



Thank you for your consideration,

A handwritten signature in blue ink, appearing to read 'JR' followed by a stylized flourish.

Jesse Roach

1224 ½ Cerro Gordo Road

NEW GARAGE TO EXISTING RESIDENCE

1224 1/2 Cerro Gordo Rd.
Santa Fe NM, 87501

Building Criteria

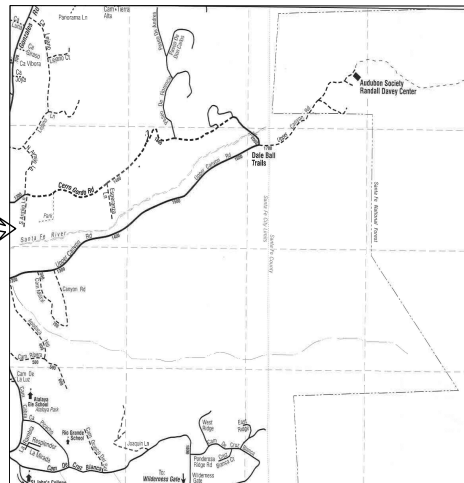
OWNER: Jesse Roach
 SITE: 1224 1/2 Cerro Gordo Rd.,
 Santa Fe, New Mexico 87501
 CONSTRUCTION STYLE: Contemporary pueblo style, flat roofs
 UTILITIES: Sewer: City Sewer / Water: City Water / Gas: Natural Gas Service PNM

Building Code Information

2015 IRC-SINGLE FAMILY HOME

ZONING: R-1
 CONSTRUCTION TYPE: Type V-A
 HISTORIC DISTRICT: HISTORIC REVIEW DISTRICT
 LOT SIZE: 93,324 SQ.FT.
 SETBACKS: FRONT= 7'-0" (20'-0" @ GARAGE FACING STREET)
 SIDE= SINGLE STORY= 5'-0"
 REAR= 15'-0"
 PARKING REQUIREMENTS: (2) PER RESIDENCE, (2 PROVIDED)
 ALLOWABLE BUILDING HEIGHT: 24'-0" OR AS DETERMINED BY HISTORIC

SITE



Drawing Index

- C-0 COVER SHEET
- C-1 EXISTING SITE PLAN
- C-2 PROPOSED SITE PLAN
- A-1 PROPOSED FLOOR PLAN
- A-2 PROPOSED ELEVATIONS

Existing Residence Area

EXISTING HEATED 2768 SQ FT
 EXISTING ROOFED 3371 SQ FT

Proposed Building Area

PROPOSED GARAGE 528 SQ FT

TOTAL EXISTING AND PROPOSED HEATED: 2768 SQ FT
 TOTAL EXISTING AND PROPOSED ROOFED: 3900 SQ FT

Vicinity Map



NORTH
N.T.S.



612 OLD SANTA FE TRAIL
 SANTA FE NEW MEXICO 87501
 Telephone: 505-988-5269
 FAX: 505-986-1270

WEBSITE: www.archallinc.com

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HISTORIC REVIEW DRAWINGS
 DRAWINGS DATED: SEPTEMBER 21, 2021

1224 1/2 CERRO GORDO RD.

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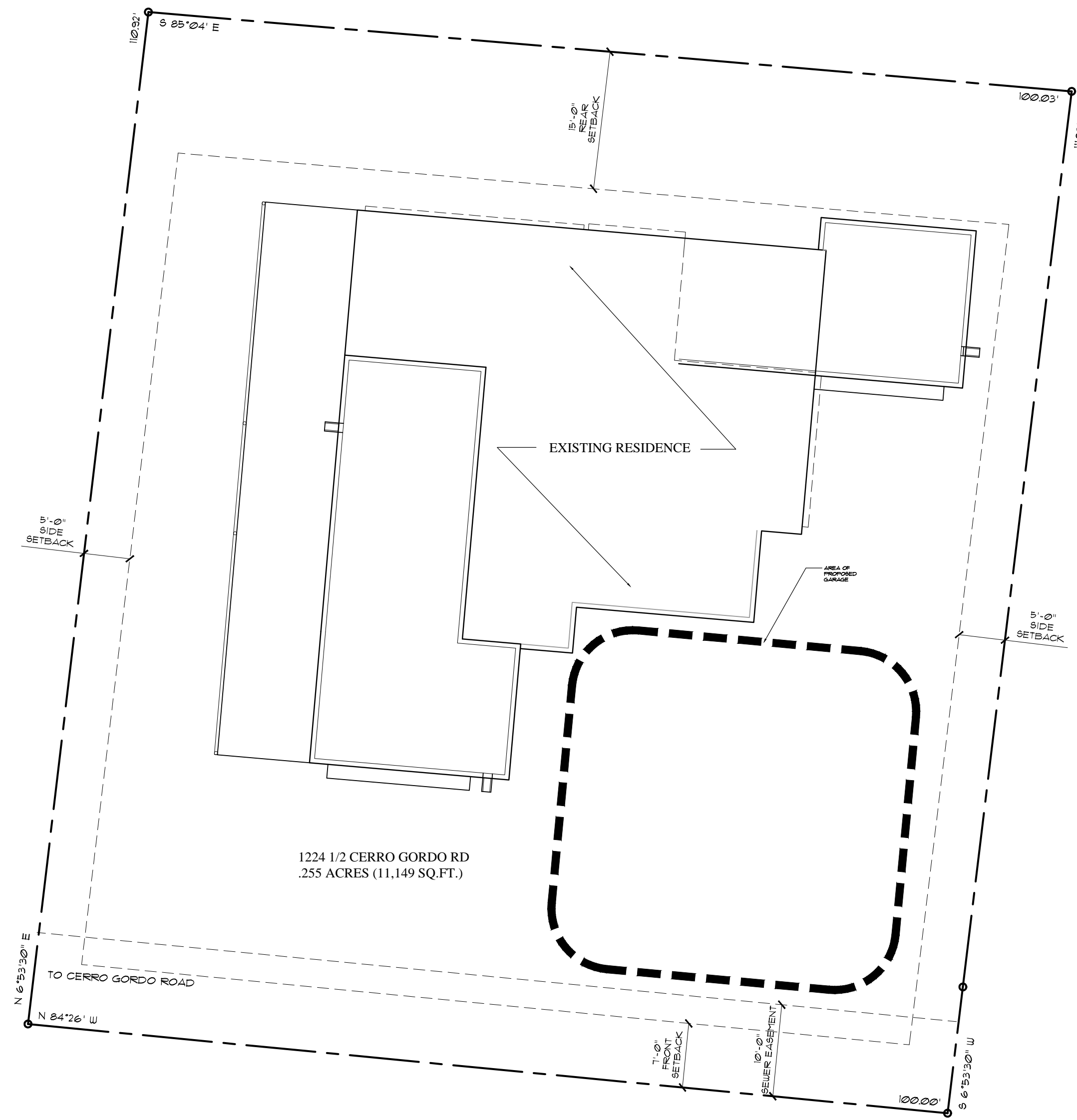
PROJECT TITLE
**JESSE ROACH
GARAGE**

PROJECT NO.

CHECKED BY	JH	DATE	6/26/20
DRAWN BY	EE	DATE	6/26/20

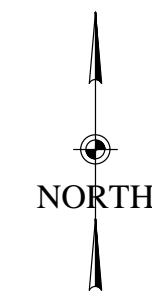
SHEET TITLE
**EXISTING SITE
PLAN**

SHEET NO.
C-1



EXISTING SITE PLAN

SCALE: 1" = 10'-0"



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**JESSE ROACH
GARAGE**

PROJECT NO.

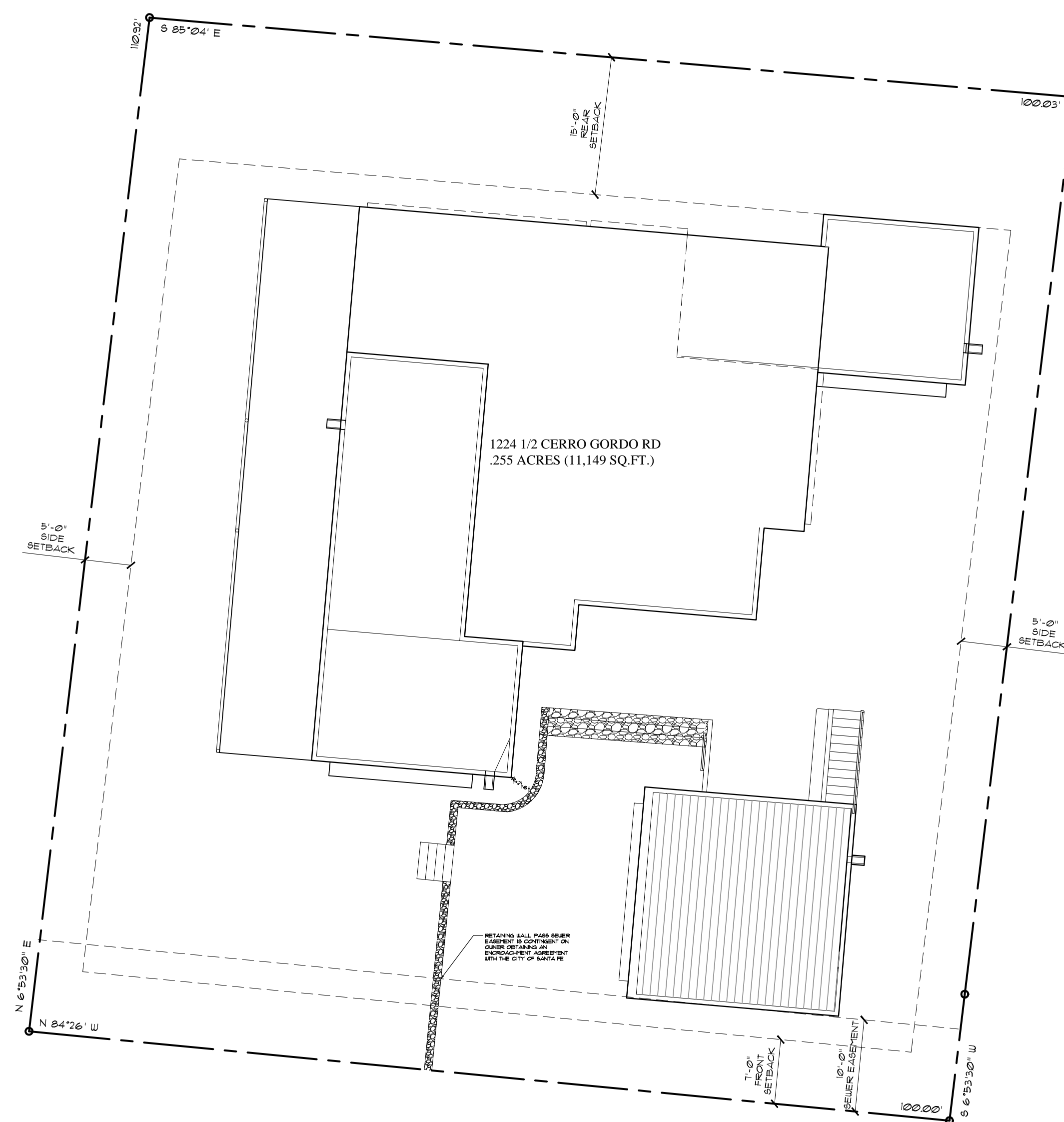
CHECKED BY	JH	DATE	6/26/20
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DRAWN BY	EE	DATE	6/26/20
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SHEET TITLE
**PROPOSED SITE
PLAN**

SHEET NO.

C-2



PROPOSED SITE PLAN

SCALE: 1"=10'-0"



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JESSE ROACH GARAGE

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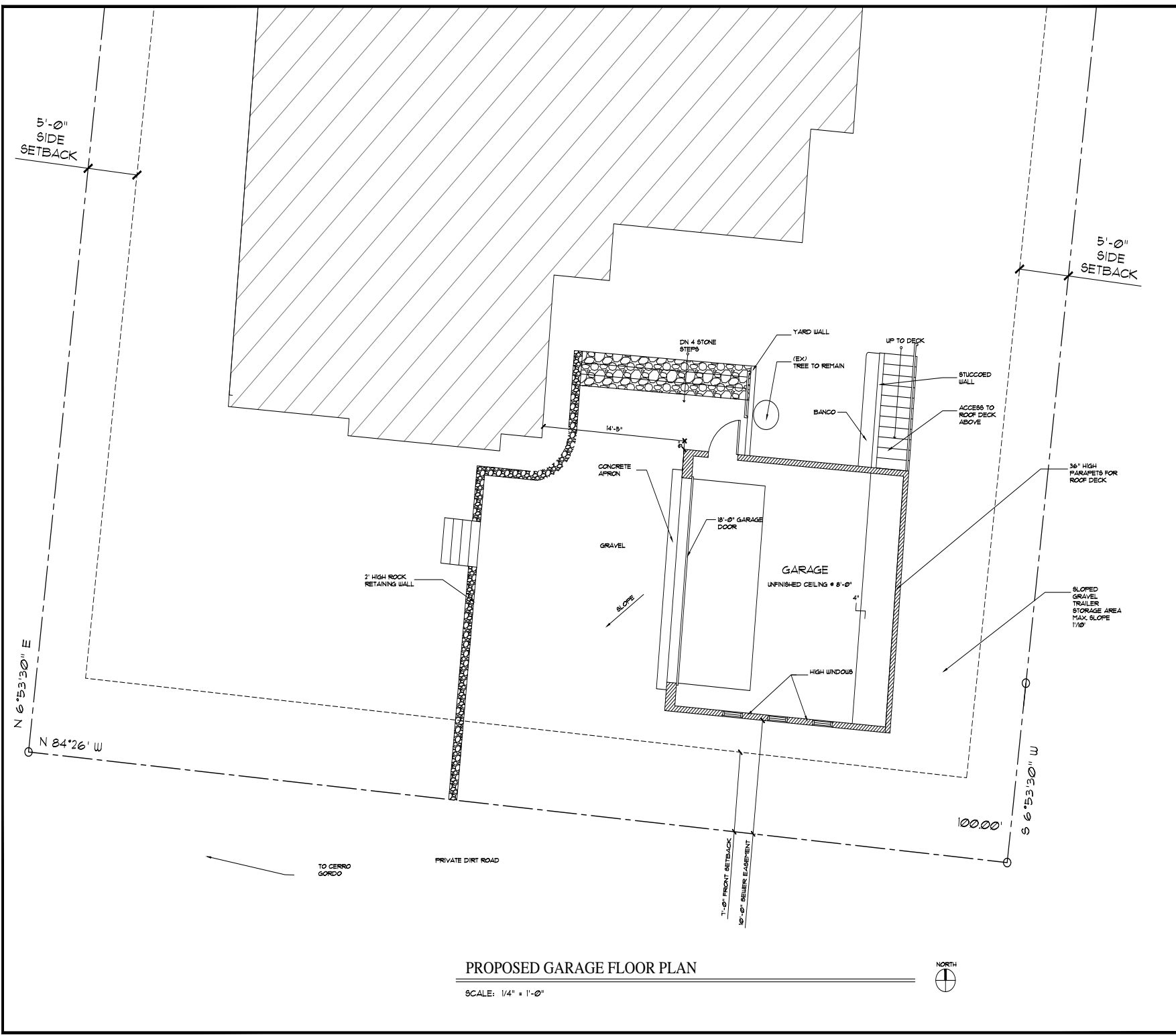
DRAWN BY JH DATE 06/17/21

SHEET TITLE

PROPOSED GARAGE FLOOR PLAN

SHEET NO.

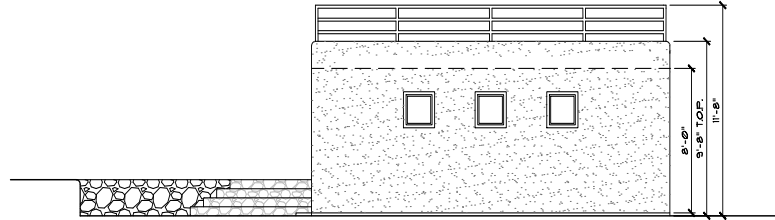
A-1



PROPOSED GARAGE FLOOR PLAN

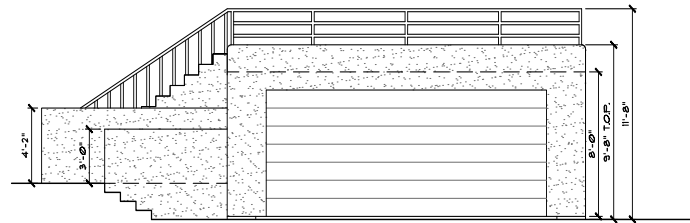
SCALE: 1/4" = 1'-0"





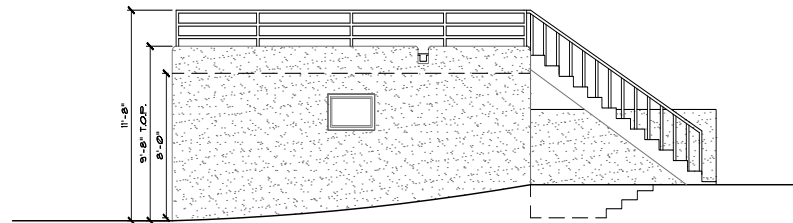
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



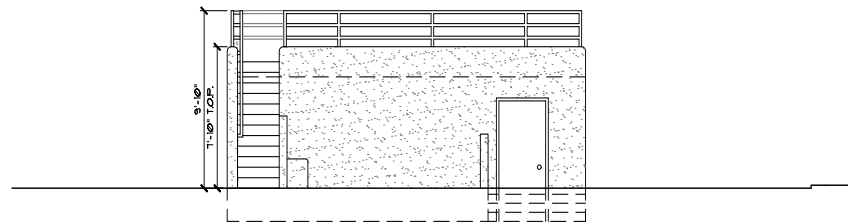
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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GARAGE**

PROJECT NO.

CHECKED BY: EE DATE: 06/17/21

DRAWN BY: JH DATE: 06/17/21

SHEET TITLE

**PROPOSED
ELEVATIONS**

SHEET NO.

A-2

1224 ½ Cerro Gordo Exterior Finishes

Stucco: El Rey "Adobe". Metal Clad windows Sierra Pacific "Slate Blue 008", wood trim color matched to window cladding.



Garage door wood cladding. Various wood types stained with Minwax Stain "Ipswich Pine 221"





Example of proposed railing, 110 Calle la Pena, Downtown and Eastside Historic District