



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 14, 2021
5:30 PM
Meeting Virtually

AMENDED AGENDA

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings in excess of those permitted in the current Public Health Order, the Finance Committee meeting will be conducted virtually.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link is: <https://us02web.zoom.us/j/86766220699?pwd=UnJoemxXbUIvTDIzSXM5TzByZUR1QT09>
Passcode: 263172

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:
US: **(253) 215-8782** or **(346) 248-7799** or **(929) 205-6099**
Webinar ID: 867 6622 0699.

Public Comment:

- **By video:** A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the "Raise Hand" function to be recognized by the chair to speak at the appropriate time.



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 14, 2021
5:30 PM
Meeting Virtually

• By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

• In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at

<https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. August 10, 2021.
2. *August 10, 2021 Verbatim Transcript.*
3. August 24, 2021.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS

1. 2021-004118-HDRB. 638 East Palace Avenue. Downtown and Eastside Historic District. Scarlett Breeding, owner and agent, requests a primary facade designation for a contributing structure. (Daniel Schwab, 955-6660, dnschwab@santafenm.gov)
2. 2021-004119-HDRB. 638 East Palace Avenue. Downtown and Eastside Historic District. Scarlett Breeding, owner and agent, proposes to construct a 1,000 sq. ft. portal, install skylights and make other small alterations on a contributing structure. (Daniel Schwab)



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 14, 2021
5:30 PM
Meeting Virtually

3. 2021-004120-HDRB. 555 Agua Fria Street. Westside-Guadalupe Historic District. Dale Zinn, agent for Randi Lowenthal, owner, proposes to construct 2,000 sq. ft. of additions to and remodel a non-contributing structure. (Daniel Schwab)
4. 2021-004121-HDRB. 1023 E. Alameda. Downtown and Eastside Historic District. Praxis Architects, Inc, agent for Frank Schneider and Robin Oringer, proposes to construct a 4,050 sq. ft. new building, yard walls, and a vehicular gate. The proposed height is 16 ft. where the maximum allowable height is 15 ft. 1 in. The applicant request approval of additional height per 14-5.2(D)(9)(c)(ii)(F). (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)
5. 2021-004122-HDRB. 128 Grant Avenue. Downtown and Eastside Historic District. Sybille Mueller, agent for Georgia Place, LLC, owner, proposes to change window and door openings on a non-historic structure. (Daniel Schwab)
6. 2021-004124-HDRB. 854 Camino Ranchitos. Downtown and Eastside Historic District. Spears Horn Architects, agent for Sharon and Stewart Prentiss, proposes to construct a 653 sq. ft. freestanding carport and a 720 sq.ft. free-standing garage on non-contributing property, add a coyote fence, and make gate alterations (Angela Schackel Bordegaray).
7. 2021-004123-HDRB. 123 Grant Avenue. Downtown and Eastside Historic District. Lorn Tryk, agent for 123-125 Grant, LLC, owner, proposes to demolish a non-contributing structure. (Daniel Schwab)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, September 28, 2021

L. ADJOURN



City of Santa Fe

AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 14, 2021
5:30 PM
Meeting Virtually

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
August 10, 2021

ITEM	ACTION TAKEN	PAGE(S)
Call to Order	5:30 pm	1
A. Roll Call	Quorum Present	2
B. Approval of Agenda	Approved as amended	3
C. Approval of Minutes July 27, 2021	Approved as amended	3
D. Approval Findings / Conclusions	Approved	3-4
E. Matters from the Public	Comments	4
F. Staff Communications Preliminary Design, Georgia O’Keeffe Museum	Presentation	4-7
G. New Business		
1. Case 2021-3910-HDRB 259 Montoya Circle #2	Approved	7-10
H. Old Business		
1. Case 2021-003644-HDRB 1160 Camino de Cruz Blanca Telecommunications Facility	Approved	10-31
I. Discussion Items	None	32
J. Matters from the Board	None	32
K. Next Meeting	Tuesday, September 14, 2021	32
L. Adjourn	9:30 p.m.	32

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
August 10, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Frank Katz, Vice Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v= mBnWEARthU>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Mr. Frank Katz, Vice Chair
Mr. John Bienvenu
Mr. Anthony Guida (left at 6:32 p.m.)
Ms. Flynn G. Larson
Mr. Buddy Roybal

MEMBERS EXCUSED:

Ms. Cecilia Rios, Chairwoman
Ms. Jennifer Biedscheid

OTHERS PRESENT:

Ms. Carly Piccarello, Historic Preservation Division Manager
Mr. Daniel Schwab, Senior Planner
Ms. Angela Bordegaray, Senior Planner
Mr. Daniel Esquibel, Senior Planner
Ms. Sally Paez, Assistant City Attorney
Mr. Mike Prinz, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello asked that the agenda be amended so that New Business, that will take less time, be heard before Old Business.

MOTION: Member Bienvenu moved, seconded by Member Larson to approve the agenda, as amended.

VOTE: The motion passed by unanimous (4-0) roll call vote with Members Bienvenu, Guida, Larson and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. July 27, 2021

Member Bienvenu indicated on page 25 the motion should be corrected to reflect the vote passed by a *majority* 3-1 vote and he voted against, not in favor; on page 30, all comments identified as Member Guida's are actually Member Bienvenu's comments; page 41 on the first motion to add to the first sentence after "the" the word *application*.

MOTION: Member Guida moved, seconded by Member Bienvenu to approve the HDRB Hearing Minutes of July 27, 2021, as amended.

VOTE: The motion passed by majority (3-0) roll call vote with Members Bienvenu, Guida, and Roybal voting in favor, none voting against and Member Larson abstaining.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2021-003670-HDRB. 844 Don Cubero.
2. 2021-003826-HDRB. 206 McKenzie.
3. 2021-003831-HDRB. 608 ½ Camino de la Luz.
4. 2021-003832-HDRB. 844 Don Cubero.
5. 2021-003834-HDRB. 905 Camino Don Miguel.
6. 2021-003828-HDRB.701 East Alameda Unit 3.

7. 2021-003835-HDRB. 905 Camino Don Miguel.
8. 2021-003845-HDRB. 848 Don Cubero.
9. 2021-003846-HDRB. 335 Camino Cerrito.
10. 2021-003900-HDRB. 847 Old Santa Fe Trail.
11. 2021-003901-HDRB. 918 H Acequia Madre.
12. 2021-003907-HDRB. 1243 Canyon Road.
13. 2021-003908-HDRB. 214 Old Santa Fe Trail.
14. 2021-003911-HDRB. 462 Arroyo Tenorio.
15. 2021-003847-HDRB. 620 Garcia Street.

Ms. Piccarello noted that the address on #5 as listed on Prime.Gov was listed wrong and should be 2021-003834-HDRB. It is not incorrect on the Findings of Fact and Conclusions of Law.

MOTION: Member Guida moved, seconded by Member Bienvenu to approve the Findings of Fact and Conclusions of Law, as amended.

VOTE: The motion passed by majority (3-0) roll call vote with Members Bienvenu, Guida, and Roybal voting in favor, none voting against and Member Larson abstaining.

E. MATTERS FROM THE PUBLIC

Stefanie Beninato pointed out it is the anniversary of the Pueblo Revolt of 1680.

F. STAFF COMMUNICATIONS

1. Preliminary Design Presentation for the Proposed Georgia O'Keeffe Museum at 123-135 Grant Avenue.

STAFF REPORT

Mr. Schwab said the presentation concerns two structures: A. M. Bergère House at 135 Grant Street has a historic designation of "Significant". It dates back to the 1870s and is constructed in a Territorial and Spanish Pueblo Revival Styles. It currently houses the Museum's Research Center, Library and Archives.

The adjacent former Safeway building at 123 Grant Avenue has a historic designation of “Non-contributing” as confirmed by the HDRB in case 2021-003830-HDRB. It was constructed in the 1960s and has seen heavy alterations. Both are located in the Downtown and Eastside Historic District. These properties are in possession of the Georgia O’Keefe Museum.

The Georgia O’Keefe Museum plans to develop this combined site including constructing a new building at 123 Grant Avenue and making landscape improvements at both 123 Grant Avenue and 135 Grant Avenue. The new building approximately 54,000 square feet and will be 33 feet 8 inches in height. The maximum allowable height is 34 feet 8 inches.

An Early Neighborhood Notification Meeting took place on June 10, followed by a Status Review for the Safeway building by the HDRB on July 13.

Mr. Schwab said the Museum is presenting its preliminary design to the HDRB with a request for feedback. The Museum plans to present the development plan to the Planning Commission and apply for demolition of the Safeway Building in September. A final design will be submitted for HDRB approval in February, 2022.

GEORGIA O’KEEFE PRESENTATION

Cody Harley the Director of the Georgia O’Keefe Museum introduced himself and those with him. He said the objective of a new facility is to meet the needs of the community and visitors. The museum opened in 1997 and is continually filled to capacity and lacks amenities and storage space. The goal is to consolidate the building on Grant Avenue and construct a new building adjacent to the new research center in the historic Bergère House. The proposed museum will expand opportunities to provide cultural and educational experiences and programs, and be a destination and resource for tourists and scholars. The museum will contribute to the historic fabric and livability of the Downtown Plaza District. The design is an example of local architecture and response to the context and history of Santa Fe, and celebrates the art and life of Georgia O’Keefe.

Lorn Tryk, architect consultant for the museum, presented the design. The new 32,000 square-foot museum and 20,000 foot basement will be in the location of the Safeway building. No work is proposed for the Bergère House inside or out. The improvements to the landscape will be native plant materials. The public entrances will be on the west and on the north sides and the south side is the service entrance/loading dock. The loading dock will have a roof similar to those proposed for the north and west entries. There is a central lobby and a series of galleries around an enclosed courtyard, and classroom space. The roof will have three mechanical equipment spaces, one on the south, one centered in the massing of the building and a small one on the west. A

series of skylights are indicated. The three dimensional drawings and the views from each direction were described. In addition to native plants in the landscaping the City's trees will be preserved. The setback of the museum allows room for wider sidewalks and room for to the Sheridan Bus Center improvements, if approved.

Mr. Tryk explained the museum support is by charitable contributions and a grant from the National Endowment for Humanities. They are required to meet the terms of the National Historic Preservation Act and meet with the State, the Tribal Community, HDRB, and other interested parties.

Mr. Harley stated that Robert White is available to answer questions.

QUESTIONS FOR THE APPLICANT

Member Bienvenu said the project is beautiful. He asked where the parking would be for the facility.

Mr. Tryk said they plan to lease a lot and own a second lot and those will provide a total of around 135 spaces within two blocks.

Member Bienvenu asked about the radius for rounded corners and to get more information on the sustainable design features.

Mr. Tryk said there is a medium amount of rounding on the corners that he wasn't sure if 2 or 3 inches. There will be a cistern in the courtyard to water the landscape and one is being considered for the roof. The building envelope is extremely energy efficient. He invited Mr. White to comment.

Mr. Robert White stated the building will be built to extremely tight standards with the air and mechanical systems highly efficient. The building will be serviced completely by electricity without the use of fossil fuels.

Member Bienvenu asked to clarify whether an exception would be needed for the glazing on the windows, or if it conforms to the ordinance dimensions.

Mr. Tryk said glazing under the portals conforms but a variance will be needed for a section on the front of the building. Also, one window exceeds the 30 inch diagonal, and will need an exception.

Member Larson said she appreciated the thoughtfulness of the design and their effort to incorporate community space. That is needed downtown, and she hoped that becomes a positive move forward in Santa Fe design.

Member Guida said he gives major applause to the entire design team for the clear and well-presented project and the drawings. The project comes across as a beautiful addition to the City. And the building is really handsome and classic in massing and has great scale. The gift of the open space is a fantastic gesture, and he was thrilled by the sustainability measures. He was happy there is no parking on site, and people will be encouraged to use mass transit and connect to other parts of the City.

Vice Chair Katz thanked them for the presentation. He asked that Attorney Paez introduce the new director.

Attorney Paez introduced Carly Piccarello, the Historic Preservation Division Manager. She also introduced the Assistant City Attorney Mike Prinz, who will fill in temporarily until September when two new attorneys are anticipated to be hired.

G. NEW BUSINESS (Revised Agenda Order)

Vice Chair Katz reminded applicants if they disagreed with the Board's decisions, they have 15 days from the approval of Findings of Fact and Conclusions of Law to appeal.

1. **2021-003910-HDRB. 259 Montoya Circle #2.** Downtown and Eastside Historic District. Ju Tan, agent for Richard Babb and Philip Neely, owners, proposes to construct a railing and deck, and repair stucco on a noncontributing structure (Daniel Schwab)

STAFF REPORT

259 Montoya Circle, Unit 2, is a non-historic 1500 square-foot residential structure in the Downtown and Eastside Historic District.

The applicant proposes the following items:

1. Construct a new deck area over an existing publicly visible portal roof.
2. Construct new wrought iron railings around the deck area. Their color will match the red of other existing railings on the property. This will not extend above the height of the existing structure.
3. Stucco repair/patching as necessary. The stucco will match existing in color and texture.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Member Guida confirmed a roof deck already exists and will just be extended, but not at the same level. He asked if correct that the rail proposed would be completely proud of the parapet.

Mr. Schwab said he wasn't sure about the construction and how much it would extend.

APPLICANT'S PRESENTATION

Richard Babb, 259 Montoya Circle, Unit #2 was sworn in. He confirmed there is an existing deck along the master bedroom. They will knock down part of the stucco and continue the deck. The railing ironwork will match the front of the house design. And they want every other baluster to be squared and twisted. They want this to look nice and have invested a lot of money in the house.

PUBLIC HEARING

There were no public comments.

BOARD DISCUSSION

Member Guida said he was uncomfortable with the design and thought the detail with the railing would look like a security fence. He couldn't see the necessity to attach the railing to the outside face of the parapet with a Juliet balcony that isn't even centered. He didn't think it a good design and would advise that the project not be approved.

Member Larson said she didn't have an issue with the design, and agreed with there being a patio or balcony. Her suggestion was a baluster railing might be more appropriate.

Mr. Schwab pointed out to Member Guida that it was unlikely anyone could see the doors below because of the height of the wall and the doors wouldn't be publicly visible.

Member Guida responded this is the Design Review Board.

Vice Chair Katz said he thought the concern was that the railing could be seen from the other side of the street.

Mr. Babb explained they worked with the architect on the railing. They wanted it to attach to the exterior wall to provide more room on the deck. He said it wouldn't have to go in the exterior, he could mount the railing in the middle of where the existing stucco comes up. If standing at street level, you are far below the property. It can't be seen coming down the street unless you turn into the small driveway behind the property and look up. That is quite a distance

Vice Chair Katz referred to a photograph and asked if that was from Google Earth.

Mr. Babb said the architect took the picture.

Mr. Schwab offered to show the aerial perspective on Google.

Vice Chair Katz thought the photograph when taken gave a sense that the person was standing on the ground. He thought the view was probably accurate of what could be seen when walking up the street.

Mr. Babb said it is a steep, private driveway running beside their property. They want a metal railing because it is custom and looks expensive, and not something you could buy at Home Depot.

Vice Chair Katz asked Member Guida what he thought if the railing were centered at the top.

Member Guida said it would be an improvement, but the issue is not the amount being spent by the applicant. This is about the publicly visible alteration and also the curved Tuscan detailing and notch and impact to the parapet wall. He thought none of that was an improvement or necessary.

Vice Chair Katz asked if they would see the notch where the old parapet is at all.

Member Guida indicated it was visible in the photograph.

Mr. Babb clarified there is a long narrow deck they can't do much with and the property is very steep. All of the houses in front of them have a beautiful view of downtown and they want a better view for themselves upstairs. They have planted aspen trees and are trying to create a better view.

Member Bienvenu said he appreciated the other Board members comments. Previously he has objected to railings around the perimeter of a roof. This is on a portal, and does conform to the Ordinance. He did think it would be improved if set back on the parapet, as suggested, but that is the applicant's decision.

MOTION: In 2021-003910-HDRB. 259 Montoya Circle #2, Member Bienvenu moved to approve the application as presented. Member Roybal seconded the motion.

VOTE: The motion passed by majority (3-2) roll call vote with Members Bienvenu, Roybal and Vice Chair Katz voting in favor and Members Guida and Larson voting against.

H. OLD BUSINESS

1. **2021-3844-HDRB. 1160 Camino De Cruz Blanca Telecommunications Facility.** Historic Review District. Gravity Pad Partners, LLC, Agent for AT&T/FirstNet NML0255, Applicant, proposes to install new telecommunications facilities at the St. John's College campus, located within the Historic Review District. The proposal includes a sixty-five foot (65') monopole tower and associated ground equipment. The Applicant seeks approval under Sections 14-5.2 and 14-6.2(E) and requests a waiver to exceed the maximum allowable height, per Section 14-6.2(E)(8)(c). (Nicole Ramirez Thomas)

Member Guida recused himself from the case and left at 6:32 pm for the rest of the meeting.

Ms. Piccarello presented the staff report.

STAFF REPORT

Gravity Pad Partners, LLC proposes to construct a telecommunications facility on the St. John's College campus in an effort to improve services to the college and its students, as well as the surrounding roads and neighborhoods. The facility is proposed to be a 65-foot-tall monopole with open antennas and associated ground equipment. The location of the pole is proposed to be 72 feet south of Camino de Cruz Blanca. The proposed facility would provide emergency services through the AT&T/FirstNet network for first responders and would accommodate the collocation of other FCC wireless carriers in the future.

The Applicant submitted a previous application that was denied by the HDRB in August 2020. The Applicant submitted this new application on September 16, 2021. In the new

application, the Applicant initially proposed to construct a new telecommunications tower on the campus to a height of 75 feet, designed to look like a single pine tree, or “monopine,” with the antennas hidden by “foliage.” The proposed telecommunications facility would also include an equipment enclosure at ground level, with dimensions of 72” by 102”.

Because St. John’s College is listed on the National Register of Historic Places, the Applicant has been working with State Historic Preservation Office (SHPO) of the New Mexico Department of Cultural Affairs to complete the process required by Section 106 of the National Historic Preservation Act. On December 7, 2020, the City sent a letter to the Applicant, requesting to participate in the Section 106 process as a consulting party; and on February 25, 2021, the Applicant sent a letter to the City, granting the City’s request to participate as a consulting party.

Based on initial input from SHPO, the Applicant reduced the proposed tower height to 65 feet, changed the design of the tower from a monopine to a monopole with visible antennas and ground equipment, and provided photo simulations showing what the proposed tower would look like from a variety of vantage points. On February 11, 2021, after reviewing the photo simulations, the SHPO formally concurred with the Applicant that the proposed telecommunications facility would have an adverse effect on the federally listed property due to the tower’s inconsistent design with the property’s setting, including the architecture and landscape design.

The SHPO found that the industrial design and height of the tower would have an overwhelming presence and would detract from the campus’s historic setting. The SHPO recommended that the Applicant either (1) change the design or location to remove the adverse effect on the registered property, or (2) develop a Memorandum of Agreement (MOA) with the FCC, SHPO, and City to resolve the adverse effect, as contemplated by the FCC’s Nationwide Programmatic Agreement, Section VII.

The Applicant has decided to seek zoning approval from the City before developing an MOA with the FCC, SHPO, and City. On March 19, 2021, the Applicant submitted revised plans, reflecting the reduced 65’ height and revised monopole design. On July 1, 2021, the City Planning Commission approved the application and adopted written Findings of Fact and Conclusions of Law.

STAFF RECOMMENDATION

Staff deferred to the Board as to whether all the criteria for a waiver of the maximum allowable height have been met, per Section 14-6.2(E)(8)(c), but otherwise recommends approval of the application for its compliance with 14-5.2(D) General Design Standards for all H Districts, and 14-5.2(F) Historic Review District.

Ms. Piccarello said earlier in the day they met on a publicly noticed field trip. The Board viewed a total of five locations the applicant confirmed as suitable for a 65 foot pole. Four different designs were considered; a monopine, a monopole, a clock tower and a bell tower.

QUESTIONS FOR STAFF

Vice Chair Katz asked to confirm that the record includes the previous three hearings and all material submitted from those hearings held last year, as well as the hearing this year in July and the hearing tonight.

Attorney Paez said a previous application had three nights of hearings in August 2020 and was ultimately denied by the Board. Written findings were submitted in early September confirming that decision and the decision was not appealed. The proposal was mostly for St. John's College campus with alternative sites and design options presented. That information from the previous case is relative because of the Board's decision on whether alternate design options and sites were considered, and if this is the least obtrusive of those sites and designs. This case includes all previous materials, all of which has been posted on PrimeGov and are part of the record that could be considered for the present application. This will take judicial notice and incorporated as part of the record.

Vice Chair Katz asked to clarify that GravityPad is representing themselves, not AT&T, or St. John's College.

Attorney Paez deferred to the senior planner, Mr. Esquibel.

Mr. Esquibel explained telecommunications is a unique application process. Unless the Corporation owns the property, there are a variety of owners. They combine the owners, the tower owner, property owner, equipment owner, and sometimes frequency owners, in one application. That makes it easy to address the maintenance and other needs having one person to contact. The key applicant here is GravityPad, and they will be responsible for maintenance. They will ensure all rules and regulations and tower components will be adhered to.

Vice Chair Katz said he understood GravityPad plans to lease the site from the College, the owner, and GravityPad will lease space to other carriers. GravityPad is really the applicant, but the others have an interest.

Mr. Esquibel explained GravityPad is not going to own the equipment on the ground or the panels on the tower, which is all part of this. The ownership is fractionized for telecommunications and has to be combined to bind them all.

Vice Chair Katz said Mr. Esquibel mentioned various co-locators. He asked if correct that the Board was shown a design that does not show all of the antennas of the co-locators.

Mr. Esquibel said that was true and is the reason stealth is one of the most important aspects of the telecom process. If the tower was left open as SHPO (State Historic Preservation Office) recommended, bigger panels will be added for other carriers as it grows in capacity. The Land Use Department requires the panels to be stealth. FCC has regulations governing the effectiveness of visual impact and the stealth requirement means the applicant would have to go back through the process for any alteration. Otherwise, they have to abide by what the FCC regulations consider a visual impact.

Vice Chair Katz asked what he meant by “stealth”.

Mr. Esquibel explained stealth is the technology to hide the panels and ugliness of the cell tower. He noted the Gonzales tower on Cerrillos Road, as an example of not requiring stealth to hide the components. Stealth allows the City to control the impact of every carrier on the tower and keeps it compact. And stealth allows them to control and package that into a manageable visual component.

Vice Chair Katz said having something like the stealth installation at St. John’s Methodist Church would be a plus to GravityPad and would allow for additional antennas. He asked if that is the type of stealth he was referring to.

Mr. Esquibel pointed out examples of stealth towers at Savers on Cerrillos Road and the Rodeo Grounds with an 80 foot clock tower. He said he would try to find photographs.

Vice Chair Katz confirmed the proposal is for a monopole with a series of circles of antennas. Shown were the materials on the top layer but there would be other circles with the co-locators.

Mr. Esquibel said they could expect there to be co-location for most of the networks.

Ms. Piccarello displayed aerial options from the field trip.

Vice Chair Katz added they also looked at the roofs of buildings at St. John’s.

Ms. Piccarello said that was discussed and she would let the applicant address that.

Member Larson asked to see images and the stealth examples on Cerrillos and at Savers and if the Board could suggest a color.

Vice Chair Katz asked for examples. He said he assumed the district had a design criteria that the Board should follow, but there was no discussion about that. They did talk about the height criteria.

Mr. Esquibel displayed a photograph of the clock tower at the Rodeo Grounds.

Ms. Piccarello clarified that a Code exception for a height waiver would typically be required. They will also apply 5.2 and 6.2(E).

Vice Chair Katz asked if the district style restrictions would apply.

Ms. Piccarello said this an area where exceptions apply because the historic district does not allow telecommunications towers readily.

Attorney Paez noted that staff had looked at the Historic Ordinance 14-5.2 and District Design standards paragraph (F) that should be applied to the extent applicable. The design standards are compliance with exterior features on structures to be altered or demolished and exterior wall materials. Characterizing a cell tower as a building is difficult. Solar requirements are not relevant and requirements for roof equipment doesn't apply. Many of the district standards do not characterize a cell tower similar to a light pole or stop sign, etc. Cell towers are not buildings, walls or fences which is what most design standards apply to. She indicated many of the standards do not transfer to this.

APPLICANT'S PRESENTATION

Sean Milks, 205 Tierra de Corrales, Corrales, New Mexico was sworn in. He said he was asked for the distances for some of the options. Option 2, closest to the parking lot is approximately 187 feet from the Camino de La Cruz Blanca property, and Option 3, is 174 feet from the site.

Mr. Milks said the stealth design, which was discussed earlier, covers antennas with fiberglass stealth shields. The monopole stealth design makes it uniform, and all the same color and it would be hidden. Antennas as they come up, are put below with the idea that in 3-5 years the antennae would not be visible. The antennas can be changed out and are as small as possible.

He said a clock tower is a three legged self-supported tower with the same design, but an enormous triangle structure. The faces of those are 10-12 feet wide and similar in massing to the monopine than the slimline stealth design.

Mr. Milks said the design at St. John's Church is not co-locatable and the chimney is about 8-10 feet above the roofline. AT&T has about 95% of that area and that would have to be torn down and rebuilt twice as tall if other carriers wanted to co-locate. That is the reason choosing one of the options discussed earlier today doesn't matter. It is in the same vicinity and at the same elevation.

QUESTIONS FOR APPLICANT

Vice Chair Katz asked if there was a graphic of what the monopole looks like after all the carriers were added. He explained the Board is here to look at the design and determine if it fits.

Mr. Milks said he would try to locate one. He had pictures of others he has done. He asked if Mr. Esquibel had any pictures of a stealth monopole.

Mr. Esquibel offered to look through his emails.

Member Larson said it had been helpful to see this in person. She said they had asked the exact measurements from proposal 1 and proposal 2a.

Mr. Milks said the measurements for the latest site was a 65 foot monopile with a circumference of 6'6" including the stealth sheath. There were a couple that were larger that allows two antennae per sector (a total of six) closely mounted to the pole with the stealth around it. It is manufactured locally, and carriers would be added underneath.

Vice Chair Katz said they have seen the design with one ring of antennas and expect there would be others. He noted that Mr. Milks indicated a concern of the carriers is with use of more devices more frequently, they will need to add additional antennas. He was concerned there wouldn't be a way to add capacity to that and it might be better to have something wider that they could add more capacity.

Mr. Milks said we don't know what technology will be in the future, but this pole is flexible. If there were additional requests for more antennas, a worst case would be that the diameter would have to increase possibly to 7 feet. That cannot be done without the consent of the Planning Commission and this Board. They can also handle capacity with hidden radios behind the antennas which can act as another antenna, and they have means to shrink antennas. It depends on usage and the tower feedback to the RF team regarding performance.

Mr. Milks said the sites he built in 2009 have the same stealth canisters, and one near his house has a 65 foot pole with a canister. He shared drawings of a site built of similar design to the one proposed at St. John's College.

Vice Chair Katz lost connection and rejoined the meeting about 7:20 pm.

Attorney Paez explained the Board had paused until he could rejoin.

Member Bienvenu thanked Mr. Milks for all of the presentations and good faith efforts to resolve concerns. He confirmed that Mr. Milks, and St. John's, as a co-applicant, were prepared to accept either of the earlier designs presented in August 2020; the bell tower and the clock tower. The dimensions were not indicated, and he wanted to know the minimum width of either tower.

Mr. Milks clarified he wanted to know the smallest width of a clock tower that could be built. He said he didn't know that off the top of his head and would have to look at previous drawings.

Member Bienvenu said he wondered why the tower would need to be larger if a sheath could be done under 7 feet in diameter.

Mr. Milks explained there are three poles that go up vertically and antennas are stubbed off of that. The antenna for each carrier has to be uniform with flexibility to move to ensure there is no blockage. With a circular design it doesn't matter, the antennas can be at any azimuth, and it will be behind the shield. He noted he has never seen a circular clock tower.

Member Bienvenu asked if the sides on a clock tower need to be made of transparent material.

Mr. Milks explained the sides are stainless steel, and there are three poles instead of one and antennas are covered with fiberglass. The fiberglass can be painted any color and the poles can be seen beneath the shield and a little on the sides. If the shield were all the way to the ground it could cause a wind load issue. The fiberglass would act like a wind sail and put tremendous pressure on the poles themselves.

Member Bienvenu confirmed Mr. Milks had indicated location options 1, 2 and 3 and anywhere in the general vicinity comparable to those elevations, were all acceptable.

He said in reading the record, there has been ambiguity or conflict in what has been presented to the Board. They have heard that other locations on campus, specifically the dormitories, were rejected because they were technically not feasible. It was also represented that people at the College rejected those. One map shows the dormitory location was rejected by the student body. He asked for clarification if it is possible a building on the main campus could be used for a tower design, and if that is technically infeasible or not practical because someone on campus did not want it.

Mr. Milks explained in 2009, the original design was a 40 foot monopine behind the dorms, it was prior to building St. John's Church. At that time, it was denied by the student body and the College. He visited the site again in 2019 and it did not meet the coverage objective for his client, AT&T. The other potential buildings were not possible from a leasing standpoint. Also, technically the RF engineers ran studies on the buildings and water tank and rejected all of those sites.

Member Bienvenu asked if also true it was technically infeasible to put the antennae on the parking light structures.

Mr. Milks explained a height of 65 feet was not high enough, even if there are a series of connections.

Member Bienvenu asked the status of the MOA (Memorandum of Agreement) with the State Historic Preservation Division.

Mr. Milks said they are waiting for the Board's decision and then SHPO will take the ball and he will start the surveys, designs and drawings. Simultaneously he will start work with the FAA, the SCC, NEPA soils reports, etc. Then Environmental will work on the MOA with SHPO.

Member Bienvenu asked if his understanding was that SHPO would enter into the MOA if he received Board approval.

Mr. Milks said he couldn't speak for SHPO, and they could potentially add their own conditions. His hope was the location would be approved by the Board tonight and he could start getting everything SHPO needs to finalize the MOA.

Member Bienvenu wondered if the order could be different, and the Board could approve several sites and designs and leave the decision to the MOA process. SHPO, St. John's College and the City could determine which of the sites they felt has the least adverse effect on the campus and streetscape.

Mr. Milks thought that SHPO views the entire 250 acres as historic and no matter where they choose, they will have to review and go from there. He thought the entities look to the HDRB for the decision and will work within the confines of that.

Member Roybal said visiting the site made a big difference for the Board and the neighbors. He thought it came down to the two things they have; site location and design. He thought Sites 2 and 3 made a big difference regarding the location, and most agreed

site 3 is better. But he was troubled by the design and because he doesn't know what that will look like.

Member Roybal said there is tremendous opposition against this, but everyone agrees there is a need. Technicality plays a big part, but they also need to understand what the pole will look like and options for color. Having renderings was important. He said he was glad the pole has been lowered to 65 feet and it seems it will be less intrusive with the stealth sheath. But it will be hard for him to know how this will look on any site without a rendering.

Mr. Milks clarified site 3 was further down and parallel to Camino de Cruz Blanca and appeared to be further from the neighborhood. But in actuality option 2 is further from the street. He shared a picture of a site in Albuquerque of what the project would look like.

Mr. Esquibel said he also found a picture of the site at Savers. He displayed pictures with the antennas before and after the stealth shield was added. The alternative is just seeing antennas. A variety of stealth technologies, some that look like a building were shown.

Vice Chair Katz asked why the Board had not been shown those.

Mr. Esquibel said those towers are images that are not in Santa Fe and an issue here is that New Mexico SHPO did not want the stealth.

Mr. Milks said they were given direction for the least obtrusive site with the smallest structure possible. He said as a condition they could say the smallest structure with stealth that would make every carrier added to the tower uniform.

Mr. Esquibel showed a web page containing different types of stealth towers. He said these designs are expensive and most companies go with the least expensive. He added that the Board, as a design board, could say the architecture needs to blend with the campus and the environment. He thought the designs shown could be used in the area and would blend in.

Vice Chair Katz asked Mr. Milks the diameter of the three poles in the clock tower at the Rodeo Grounds.

Mr. Milks said he didn't build that, but thought it about 10-12 feet in circumference between the three poles.

Member Bienvenu followed up on Mr. Esquibel's comments, that the obvious design solution would be to build a tower consistent with the campus architecture. He thought St. John's would want that, as the proponent and owner of the property. That would meet everyone's concerns on the impact on the historic campus. He asked Mr. Milks why that wouldn't be a possible solution, other than cost.

Mr. Milks said they would need to look at cost, design and the time it would take. He added having a clock tower or monument near buildings made sense, but when placed in the middle of nowhere, it would stand out. A clock tower would be 2 to 3 times larger than what he had proposed and doesn't seem to be a solution to what the College wants. And over time he has seen that is not a good solution. Some of the golf courses in Albuquerque with them look fine in pictures but the sun beats them up. The structure has to be massive and that is not the least obtrusive way to do a tower.

Vice Chair Katz asked if someone from St. John's College was present.

Christine Guevara, 26 Camino de Verda was sworn in and said she represents the College.

Vice Chair Katz asked her, after seeing the photographs and hearing the discussion on the stealth tower, what she thought the College would want to keep this from looking like an ugly cell tower.

Ms. Guevara responded they would prefer for the appearance to be as pleasing as possible, but she agreed with Mr. Milks. She thought it awkward to have a clock tower in the locations that were visited today and something more organic would fit better. But the College is absolutely open to a stealth design and would love for that to happen.

Vice Chair Katz asked if the College would consider putting a tower like the one at St. John's Church, on the roof.

Ms. Guevara said they did consider that. The College was open to that, but it was presented as an option that wasn't feasible.

Vice Chair Katz said Mr. Milks told the College that because it would not talk with St. John's Church. Now, he seems to have backed off that and they were told the analysis by AT&T showed that wouldn't reach as many customers. However, the Board has not seen that analysis of the number of fewer customers it would reach. And today they were told that the problem is a capacity issue. Because there is more usage, more antennas would be needed. To him the chimney would have the room for all of the antennas that would be needed.

Vice Chair Katz said he doesn't know whether a propagation study on the roof was done and for him that remains a possibility, until he sees evidence. He said he could understand Mr. Milks doesn't want to spend money to do something a little more difficult. But he was talking with friends who had no idea that St. John's Church was a cell tower. To him that was ideal, having something you didn't know is a cell tower.

He asked aside from Mr. Milks' suggestion, if the College would be happy to have a cell tower no one could tell is there.

Ms. Guevara said if he was asking if the College would be happy with something that is disguised and unrecognizable as a cell tower, absolutely.

Member Roybal thought what Vice Chair Katz was talking about may be feasible. Again, the Board hasn't received information on whether this could just be something that only benefits the College and the neighborhood. He asked if it is a possible option to scale down the tower and get something less inclusive. It could still provide service to the College, who definitely needs it, and the neighborhood. He asked if possible to get information on the range of a smaller version for the College.

Mr. Milks said neither he nor GravityPad would be involved in that because there are no co-location possibilities. Similar to his design for St. John's Church and the Santa Fe Hotel, which is not owned by him. It was 10 years ago when he worked directly for AT&T. He explained you can't design a site on a roof top with multiple carriers unless you shield an entire building with stealth. He didn't know how to answer that question. But he could tell them that when they looked at the College buildings, water tank, existing bell towers, etc. it did not meet the client's coverage objectives.

Vice Chair Katz said the Board has the proposed study done for the proposed site that shows it substantially increased the coverage in that area. They have not received a study that would show there would be the same increase from a tower on a building at St. John's. That would be nice to see and essentially shows how many customers they could serve with this tower. If the study shows it isn't that much difference in the number of people that would be served than before, that seems to be a different story. The Board does not have that information and he wanted to know if they could get that.

Mr. Milks said he could ask, but would not be part of that discussion. A tower cannot be built on top of a building because it is not co-locatable. That means going back to the drawing board and he believed, coverage might never happen. He said he had asked AT&T if that would work, and was told it would not work.

Vice Chair Katz said that is not evidence the Board can rely on. The Board needs to see information other than what Mr. Milks tells them can be done. He thought the Board was not getting other possibilities.

Ms. Guevara asked to add that there were other pieces of information that were important when they College made their decision. The College was told it would not be co-locatable, meaning other providers could not take advantage of the tower to provide service. She said that doesn't fulfill the needs of the community or the College since only a portion uses AT&T. The College hopes this cell tower will draw a wide variety of other providers who can provide service to their students that come from around the world. They want additional providers, and without that it wouldn't be a reasonable option for the College to offer their buildings as a potential site. Also, Mr. Milks mentioned during the site visit, the location directly underneath the tower does not provide cell service. That would be an issue with the tower being on top of a building to have limited coverage.

Ms. Guevara said she understood that Vice Chair Katz might have heard about issues anecdotally, but those are variables that were taken seriously by the College. That is the reason they wanted to consider the location in the trailside area.

Vice Chair Katz said he agreed a tower that is not co-locatable would not be useful. He suggested another possibility could be a tower in back of the upper dorms; a 40 foot tower that would have room for all four rings of antennas. He thought this was not impossible if they could find a way to work it out with St. John's College. He asked if the College would consider that.

Ms. Guevara said she was told at that height; the technical requirements could not be met.

PUBLIC HEARING

Attorney Paez explained this is a continuation of the July 13th hearing and speakers should observe the two-minute time limit. She asked anyone who spoke at the last hearing, not to repeat what they said, as that is already on the record.

Cesar Cervantes, 1160 Camino de Cruz Blanca, was sworn. He said he is the Director of Student Life at St. John's College. He said the case for this has been heard and it is still true that there is a need for the service as a safety measure. He implored the Board to see that due diligence was done and this is a solution. He reiterated that revenue from the tower would be put into student scholarships. He implored the Board to approve this.

Oshana Spring, 3 Montecito, was sworn. She concurred that cell phone towers are ugly and seem to be a ubiquitous, invasive species. She said she hikes at St. John's, and no one has ever complained about the phone reception. She has concerns on the stealth aspect and what she would be dealing with, because cell phone towers are like a rabid dog, and she wants to avoid them. She said she could tell a lot of money will probably be made by the companies and St. John's, but this will downgrade the neighborhood. She would like to see an analysis showing whether people in the neighborhood actually require more bandwidth, to see if there is a cause for concern, or this is a moneymaking enterprise.

Jane Snow, 754 Calle del Resplendor, was sworn. She referenced her letter dated August 9th. She said she is a board member of Los Miradores Neighborhood Association. She was invited to a meeting at St. John's with a small group of current and former board members. The College disclosed they are exploring alternate cell phone technologies that could be provided without a 65 foot tower. They were submitting RFPs to various vendors. They made it clear they did not want to be out of pocket for the cell service. A cell tower would give them a guaranteed income stream for a lot of years. Also clear from the meeting is that the College has been aware for a while of less obtrusive locations for a tower. That includes incorporating it into the bell tower, which they said they ruled out because of cost. She said they would encourage the Board to ask for a waiver and at the least, to postpone a final decision until the College receives responses to their RFPs.

Attorney Paez noted the Board could read the names of those who submitted written comments into record.

Stephen Flance, 2228 Wilderness View was sworn in. He said he was sorry he missed the field trip. He sent a letter emphasizing two things; first is that they are in the historic district. He said how do you transition from the core historic district to the rural areas, particularly this with preserved trails. He knows people who graze sheep. They are historic elements of the City that are character defining. Some of the trails are part of the series of trails that are included in the Old Santa Fe Trail. These are historic areas protected by lot size, wilderness, character and their respect for the trails. He doesn't understand how they could define what he just described as anything but an anomaly. Secondly, he couldn't understand why the project is being considered of this magnitude and the reluctance to look at alternatives, and screening of the tower and height limitations should be considered without an exception. He asked that staff who had recommended approval answer his questions.

Madeleine Carey, 1674 Camino de Cruz Blanca was sworn in. Her house will not get service from this project nor the previously proposed project. Which is to say this is not the last cell tower that will be built in one of the city's historic districts. They have

heard about the gap in Code directing the applicant's, neighbors and the Board on how to manage this. She cautioned the Board about making a decision in the absence of clear guidance of Code. She said it is clear that parts of the Code are in direct conflict with community values and should evolve. She said that has become very clear.

Vice Chair Katz thanked her for her comments and said the Board knows better than anyone that the Code is not for everyone. But it is what they have and what they try to operate under.

Rebecca Wurzbarger, 1614 Camino de Cruz Blanca was sworn. She said she was a City Councilor for over 12 years. She is aware that the Board's primary responsibility has been to protect our historic districts and they have done a great job. An ultimate measure of that work has been preserving the character of the streetscape. She thought it important to characterize what a streetscape is; *the visual character of a street as defined by cognitive pattern and structure of the space structure, setbacks, street and architectural designs, highest widths, proportion of structures, fixtures and graphics*. She said there has never been a case before the H-board that is opposite to saving and protecting our streets, as this case. There has been no new information provided throughout the last two meetings to change the decision in August to deny. What is new is that there are options, but not ones discovered from the builder. It is clear that the proposed 65 foot monopole and antennae is not remotely compatible with historic streetscape. She said this is not just for our neighborhood, this is for those during the pandemic who brought their families here to hike, and relied on this for recreation. She urged the Board to follow SHPO, who has rejected the proposal twice. They should find that the tower irretrievably damages the streetscape and deny the application.

Brian Cannon, 181 Loma del Oro Corrales, was sworn in. He asked that the Board refer to his letter for details on his background and support of his testimony. He highlighted key points of his letter. He said there are 6 alternative viable locations on the College campus, shown as red triangles in his letter. Three sites are on top of buildings, two are on the west and one is centrally located. The remaining are in the natural terrain, south and southwest of the main campus buildings. A clear line of sight is possible due to the placement of the telecommunications equipment in the St. John's Church, and projected elevation of a stealth tower atop any of the three campus buildings. In addition, a 30 foot tower placed on any of the three remaining sites would also provide a clear line of sight to the church tower and enhance campus coverage. The site on top of the gymnasium was studied but was not viable. His letter contains an elevation profile from each site that shows no obstruction. Also, the placement of a tower on an existing building or south of the campus, would not interfere with the aesthetics of the neighboring community. He added that sites #3 and #4 are currently on elevations on natural ground above 34 feet and 84 feet respectively then the proposed tower. Utilizing the natural landscaping provides an ideal location to receive information to and from the church.

Stefanie Beninato, PO Box 1601, Santa Fe was sworn. She said if there are alternative sites they should be strongly considered and sites closer to St. John's would be best. She suggested a watch tower in one of the other locations, to go with the historic landscape.

David Rasch, 21 Altura Road, Santa Fe was sworn in. He assumed the Board has seen his letter and his concerns. He was the Historic Preservation Division Director for 11 years for the City. He couldn't understand how the city attorney had allowed the applicant to testify at the site visit. He has not seen minutes from the site visit and this application is for one monopole in one location. There is nothing about stealth etc., so he doesn't understand what happened at the site visit. He said that was not a public hearing. There has been no discussion on how the height criteria has been met and the board is required to find that the applicant met each waived criteria. There are numerous and different designs and locations for cell service, but this application provides only one. Roof mounted systems can be stealth. He thought it was mentioned that the Methodist Church has co-location in it. Also, there are sites that are not on buildings, and additionally now there are cellular sites that are satellite. Towers are outdated and is not the technology of the future. There can also be a distributed antenna site on campus and at least 12 light poles this can be placed in. That can be tied to a land line, another antennae or many other design criteria. That is part of the waiver exception the Board must find has been met. He pointed out that *Penn Central vs. New York* made it clear that the highest and best use in an historic structure is not a guarantee. The cost for reasonable accommodation may be higher because this is listed in an historic district or on an historic building. The reason for that is it supports a higher and public good, not just the good of St. John's.

Leslie Markman-Stern, 25 Wilderness View, was sworn. She said she wrote a letter. She is in the design community and she and her husband bought their property because of the hiking trails and the views. They both feel what is done with the cell tower has to be form and function, and should integrate within the landscape. Some of the solutions that were presented do not do that. Mr. Milks and the College may have to spend money so this will conform to the College's architecture and landscape. This will be more costly, but it is a long-term solution. The landscape should not be obliterated with what was described today.

Steven Durkovich, 1607 Camino Cruz Blanca was sworn. He said his presentation is a summary of his letter presented August 9th. They are sympathetic for the need for improved cell service but object to the means and location. Mr. Cannon gave six different locations and provided proof they are line of sight, viable sites. That is important because the Board was not given that information in the presentation. Different types of facilities and alternatives are available throughout town. The two we specify are St. John's Church

and Hotel Santa Fe, which Mr. Milks said will not work. Paul Margetson, managing director of Hotel Santa Fe, stated in a letter that Sean Milks did not build the facility. He said AT&T built it and designed the stealth structure at their own expense, and AT&T leases it back. Mr. Milks mentioned in the New Mexican that he was AT&T's agent; AT&T responded in the New Mexican that they have no part in this project. Mr. Milks' testimony about what has been done by AT&T's engineers is just *his* testimony.

Richard Groenendyke, 1128 W. Ridge Rd., was sworn. He said he has not written a letter but did attend the site visit. He came away hoping they could find a compromise. The Board is pulled in many directions. The need for the cell tower service has been established but he thought the board is getting a lot of "would be expert advice" of people weighing in as if they are telecommunications experts. What the Board has is the Planning Commission, who voted unanimously to approve the proposal. Staff for the Planning Commission and the Board's own staff approved this proposal. He thought that Sean Milks had tried to be candid. He said he drives this road every day and those in Los Miradores go out on the other side. He will see the cell tower every day and understands aesthetics, but this is also coming into the 20th Century for students and First Responders. He said to some extent Federal law makes the Board's job difficult. He asked them to find a compromise and not to take this down the road because this is not going to get any better. He said the Board members seems to have a lot of common sense and he would ask that they have the courage it will take to make a decision.

Vice Chair Katz closed the public hearing.

BOARD DISCUSSION

Member Roybal said listening to the testimonies, he was not convinced that everything Mr. Milks proposed was enough for the Board to make a decision. He thought it should be postponed for more information and alternative sites. There should be more information from AT&T and other carriers on other possibilities. He didn't feel he could make a decision at this point.

Member Larson said she felt the use of cell towers is inevitable in historic districts and this will continue to be a challenge. She thanked the community for their feedback. She felt the Board had not received all of the options. She said cell towers are happening in national parks and in her opinion, they have not significantly altered the landscape. However, in a neighborhood setting, there should be more engagement of the neighborhoods' needs and that of St. John's College. After the feedback from the field trip and public comment, she thought the Board should continue to consider and explore this. In addition, SHPO stated this would significantly affect the National Register listing of St. John's College in its architecture and landscape. She found it jarring that the only

options the Board was given is in the middle of, or on, the trail head, and potentially could require trails to be rerouted. She said there is not enough information to make a decision.

Member Bienvenu agreed in general with the two members that they have a lot of options that are difficult or impossible to choose. The Board is subject to their Historic Ordinance, Federal Law and Telecommunications Act requirements. The Act imposes that a decision be made a certain number of days from filing of the application. He thought because of that, postponement was not an option. He said he shares the concerns but would like to reach a decision to comply with Federal law.

He proposed the Board approve the application with conditions requiring various options to be evaluated through the process and the MOA. The agreement involves the State Preservation Division, the City, and St. John's, as well as GravityPad and possibly AT&T. That process could reach a determination, giving the Board the benefit of having made a decision and keeping the options open, and the outcome could be a requirement for the least adverse impact on both the street view and the campus. He offered to put that in a motion.

Vice Chair Katz said he shared the frustration of others that they did not receive the information. He said this has not been closely examined and is particularly disturbing that the applicant did not meet the requirements to come before the Historic Board. Code requires the Federal Law be resolved first; the violation of the National Historic Preservation Act that says the stature of the buildings at St. John's would be impaired. The Board has to decide if this is consistent with historic style standards, and this doesn't let us do that. He thought the only way to work around that is to approve with conditions requiring the tower be in a specific location and look a certain way. That would satisfy the City Ordinance and the MOA process will allow the State, City, St. John's College and the Federal Government to determine what location and design is least impactful.

He thought location #3 seemed to be furthest away and the least visible without seeing the study and knowing the number of homes that would be served with the tower. The builder's concern is about customers and putting the tower where antennas could be added, but that doesn't mean it has to look like a cell tower.

MOTION: In Case #2021-3844-HDRB, 1160 Camino De Cruz Blanca Telecommunications Facility, Member Bienvenu moved to approve the application on the following conditions:

- (1) All conditions imposed by the Santa Fe Planning Commission be incorporated into this approval.

(2) The tower and antenna, be concealed within a bell clock or similar tower, or other stealth design compatible with the architecture of existing buildings at St. John's College, not to exceed 65 feet in height.

(3) The tower location be as determined by SHPO, St. John's College and the City agreed to in the Memorandum of Agreement process, to provide the needed coverage that has the least adverse impact on the historic College campus and applicable streetscape, 1) on, or adjacent to, an existing building on the main campus, or 2) in the general vicinity of sight options 1, 2, and 3 presented by the applicant.

(4) And further that the same parties approve the final design of the tower with the least adverse effect, or the applicant certifies in writing that the proposed facility is necessary to close the defined insignificant gap in service coverage, based on actual signal strength data for the area where the gap is claimed and the type of gap claimed, and that the proposed facility is the least intrusive method to do so.

The motion is based on and incorporates Findings of Fact and Conclusions of Law stating that with these conditions, all applicable exception requirements for height and design are satisfied and the applicant has demonstrated all alternatives have been explored and there is no other less intrusive means or alternatives practicable.

Vice Chair Katz seconded the motion.

Member Larson said she appreciated Member Bienvenu's thoughtful motion. She said she was strongly opposed to a clock tower and would encourage approval of a colored monopole with stealth as proposed, with a tinted concrete foundation. That is based on the options that were presented in natural spaces, including national parks.

Member Roybal said he was concerned with all of the conditions and thought it would be difficult to meet every one of them. He said he appreciated the wording and the effort.

VOTE: The motion failed because of a tie (2-2) roll call vote with Members Bienvenu and Vice Chair Katz voting in favor and Members Larson and Roybal voting against.

Member Larson asked a friendly amendment and proposed an earthen colored stealth monopole, such as weathered steel, with a tinted concrete foundation instead of what was proposed.

Vice Chair Katz asked if she was suggesting a circular chimney. He said that would look like a circular earth tone colored chimney.

Member Larson said it would be specifically like the monopole on Cerrillos but in an earth color and a tinted foundation that harmonizes with the street and landscape. It would be one that doesn't stand out as vividly as a white structure that is cylindrical with the circumference as proposed.

Vice Chair Katz asked member Bienvenu if he accepted the friendly amendment as a possibility for tower design, with a 65 foot maximum height and all of the antennas concealed, like a large straw of dirt color.

Member Bienvenu said certainly. His intent is to provide all possible concealed design options and he was trying to avoid handcuffing the stakeholders. He said he was satisfied with Member Larson's solution.

Vice Chair Katz asked if Member Larson would then be more amenable to the motion.

Member Larson said she would. She noted examples had been provided.

Member Roybal suggested the Board members look at the white tower at Savers before voting. It is just plain ugly and intrusive. Encapsulating everything within the cylinder would be ugly, no matter what color.

Vice Chair Katz asked Member Bienvenu if he wanted to restate his motion.

Member Bienvenu restated the motion:

MOTION: In Case #2021-3844-HDRB, 1160 Camino De Cruz Blanca Telecommunications Facility, considering the forgoing findings and conclusions, Member Bienvenu moved to grant the Application, subject to the following conditions of approval:

1. All conditions imposed by the City of Santa Fe Planning Commission are incorporated into this approval.
2. The tower and antennae must be concealed within a stealth design that is compatible with the architecture of the existing buildings on the St. John's College campus, such as a bell, clock, or similar tower; or a cylindrical monopole in an earthen color, such as weathered steel, with a tinted concrete foundation.
3. The tower, antennas, and encompassing stealth design shall not exceed sixty-five feet (65') in height.

4. The tower shall be sited at whichever of the following locations the State Historic Preservation Office of the Department of Cultural Affairs, St. John's College, and the City of Santa Fe agree in the Memorandum of Agreement process would provide the needed coverage with the least adverse impact on the historic St. John's College campus and the applicable streetscape: (1) on or adjacent to one of the existing buildings on the main campus; or (2) in the general vicinity of site options 1, 2 and 3 as presented by the Applicant in Case #2020-2194-HDRB; and further that the same parties approve the final design of the tower as having the least adverse effect on the historic campus and the streetscape.
5. Prior to seeking building permits, the Applicant shall certify in writing that the proposed facility is necessary to close a defined and significant gap in service coverage based on actual signal strength data for the area where the gap is claimed and for the type of gap claimed, and that the proposed facility is the least intrusive method to do so.

Attorney Paez noted that this was considered a new motion.

Attorney Paez clarified that the waiver criteria set forth in the telecommunications is from the exception criteria in the City's Historic Districts Ordinance.

Member Larson indicated one modification that instead of steel base, the base is concrete.

Vice Chair Katz seconded the motion. He asked if the maker of the motion accepted a friendly amendment for the tower to be near the main campus, or optional site 3 and eliminate sites 1 and 2. He said that would limit somewhat, but the Board's job is to specify what they would like.

Member Bienvenu said he preferred keeping the options open. He agreed it would appear the lower tower is the better, but that might depend on the exact design and whether a tower determined by the parties thought it would be better suited at one of the other locations. He thought it best to keep all the options on the table for consideration to determine the least impact.

Member Larson said she wanted on record that she reminded them that site 3 is the most intrusive to the trail portion of the landscape. She agreed with Member Bienvenu, it would be limiting and possibly more appropriate to use site 2a or site 1.

Member Bienvenu added that the motion will allow anything in between those sites at about the same elevation.

VOTE: The motion passed by majority (3-1) roll call vote with Members Bienvenu, Larson and Vice Chair Katz [with comment] voting in favor and Member Roybal voting against.

Vice Chair Katz explained his vote. He said he was not happy but believed there were no other options because of the way this had been handled by the City.

Attorney Paez proposed there be an option to adopt the Findings of Fact and Conclusions of Law tonight and Member Bienvenu's motion finds that all the criteria was met. She asked if the Board was comfortable adopting tonight to get this passed within the timeframe. The next meeting was not until September 14, 2021.

Member Bienvenu clarified the Findings were addressed by saying the application was approved with those conditions, and that the conditions satisfied all applicable exception criteria.

Attorney Paez said she wasn't clear that had been his intent. She requested a motion to approve the Findings of Fact and Conclusions of Law as indicated in the previous motion, and the additional conditions, as stated.

Vice Chair Katz said this is a complicated case and motion. He preferred seeing the Findings and Conclusions. He asked if there could be a special meeting just to approve those.

Attorney Paez thought that would be possible.

Member Bienvenu said his motion was intended to incorporate all of the Findings set forth in the proposal. He offered to read them into the record if necessary.

Vice Chair Katz said that wasn't his concern.

Member Bienvenu asked for clarification from Attorney Paez whether anything was missing.

Attorney Paez said unless the Board is comfortable with them it is not okay. She noted a draft was included in the packet with a number of Findings of alternatives with a check box that the Board could add to, or change.

Vice Chair Katz said he would hope this could be resolved within a week.

Member Bienvenu said he wanted Attorney Paez's concerns addressed, but again, his motion was intended to adopt all of the Findings necessary to find all applicable exception criteria have been met with the conditions imposed.

Vice Chair Katz said it felt as though they were making a Finding "anything goes, do what you want." He said we are not specifying much of anything. When making a Finding, you sift through the facts to find which you are comfortable with and which facts you don't find true.

Member Bienvenu said he was comfortable with the motion as stated.

Attorney Paez said she was also comfortable with what she said if that was the rule of the Board.

Vice Chair Katz said the motion was approved and this is about how they deal with the Findings and Conclusions.

Member Roybal said that is absolutely true that unless they get specific, it sounds like they are saying anything goes. He was concerned they were not specifying all of the conditions. Also, he couldn't see how that could be done in one week.

Member Bienvenu said to be clear, the motion does not permit "anything goes" because it specifically limits the design and the location to designs and locations specified in the motion and approved by the parties to the MOA process as the least adverse impact on the streetscape and historic district.

Attorney Paez added that includes about 15 conditions that were imposed by the Planning Commission, and the maximum allowable height of 65 feet. She thought that the conditions were clearly stated, and she could rewrite those. She can select the Findings that indicate criteria have been met on the conditions if all of the conditions are imposed.

She said if the Board wants to draft more specific factual findings based on the packet, the evidence, the testimony and send her those, she will incorporate them. That is beyond the scope of what they could do tonight. She would if that's the case, request that be done in a day or two. She will then schedule a special meeting as soon as possible for the Board to consider them.

Vice Chair Katz said he agreed with Member Roybal that he wasn't ready to vote on the Findings and Conclusions tonight. He hoped the City Attorney could provide them with a draft of the Findings and they could turn those around as quickly as possible.

Attorney Paez agreed to circulate those and schedule a special meeting.

I. DISCUSSION ITEMS

There were none.

J. MATTERS FROM THE BOARD

There were none.

K. NEXT MEETING: September 14, 2021

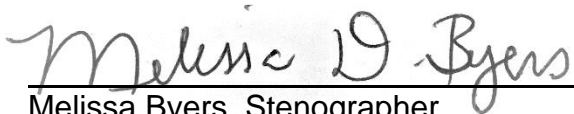
L. ADJOURNMENT

Vice Chair Katz adjourned the meeting at approximately 9:30 pm,

Approved by:

Frank Katz, Vice Chair

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

**INDEX OF VERBATIM TRANSCRIPT
CASE 2021-3844-HDRB
1160 CAMINO DE CRUZ BLANCA TELECOMMUNICATIONS FACILITY
BEFORE THE HISTORIC DISTRICTS REVIEW BOARD
August 10, 2021**

<u>Item</u>	<u>Page</u>
Board Members Present	2
Staff Present	2
Staff Reports	3 – 10
Applicant's Presentation	10 – 23
St. John's College Representative	23 – 29
Public Hearing	29 – 41
Board Discussion	41 – 43
Motion to Approve with Conditions -- Failed	44 – 45
Board Discussion on Another Motion	45 – 47
Motion to Approve with Conditions – Passed	47 – 50
Board Discussion on Findings and Conclusions	50 – 54

**VERBATIM TRANSCRIPT OF
CASE 2021-3844-HDRB
1160 CAMINO DE CRUZ BLANCA TELECOMMUNICATIONS FACILITY
BEFORE THE HISTORIC DISTRICTS REVIEW BOARD
August 10, 2021**

2021-3844-HDRB. 1160 Camino De Cruz Blanca Telecommunications Facility.

Historic Review District. Gravity Pad Partners, LLC, Agent for AT&T/FirstNet NML0255, Applicant, proposes to install new telecommunications facilities at the St. John's College campus, located within the Historic Review District. The proposal includes a sixty-five foot (65') monopole tower and associated ground equipment. The Applicant seeks approval under Sections 14-5.2 and 14-6.2(E) and requests a waiver to exceed the maximum allowable height, per Section 14-6.2(E)(8)(c).

BOARD MEMBERS PRESENT

Mr. Frank Katz, Vice Chair
Mr. John Bienvenu
Mr. Anthony Guida (Recused himself at 6:32 p.m.)
Ms. Flynn G. Larson
Mr. Buddy Roybal

STAFF PRESENT

Ms. Carly Piccarello, Historic Preservation Division Manager
Mr. Daniel Esquibel, Senior Planner
Ms. Sally Paez, Assistant City Attorney
Mr. Mike Prinz, Assistant City Attorney
Ms. Melissa Byers, Stenographer

[BEGIN VERBATIM TRANSCRIPT]

VICE CHAIR FRANK KATZ ("Chair Katz"):

We have Case Number 2021-3844-HDRB, 1160 Camino De Cruz Blanca a Telecommunications Facility.

MEMBER ANTHONY GUIDA ("Member Guida"):

Vice Chair Katz, I am recusing from this case, I'll be dropping off.

Chair Katz:

OK, thank you for your participation and have a nice rest of your evening.

Member Guida:

Thank you.

Chair Katz:

OK, might we have a staff report.

[STAFF REPORTS]

CARLY PICCARELLO, HISTORIC PRESERVATION DIVISION MANAGER (“Ms. Piccarello”)

Chair Katz, thank you. This is a continuation of the telecom telecommunications tower on 1160 Camino de Cruz Blanca, Case No. 2021-3844-HDRB. It is an application for height waiver. Staff has recommended for approval. Staff defers to the Board as to whether all criteria for a waiver of the maximum allowable height has been met, per Section 14-6.2(E), but otherwise recommends approval of the application for its compliance with 14-5.2(D), general design standards for all H districts and 14-5.2(F), historic review district.

Today, share my screen. Today, we met as part of a publicly notice field trip for the Board to conduct a site observation and observation. They received the current site proposal and the proposed sites in August of 2020. This was one of the site maps that was handed out. This is the current proposal. A total of five locations were viewed today. And I'll bring you over to the other one just a moment. The current application presents a 65-foot monopole design. The applicant confirmed that many of the locations viewed today, would be suitable for a 50, 65-foot pole. To date, four different designs have been considered: a monopole, a clocktower, a monopine and a belltower. And that concludes the report from staff.

Chair Katz:

Okay, I would like to confirm that our record for this case includes the three hearings that we had last year and the earlier hearing in July, as well as the hearing tonight and all of those materials that were submitted for those hearings. Is that correct?

SALLY PAEZ, ASSISTANT CITY ATTORNEY (“Attorney Paez”):

Sure, Chair Katz, members of the board. There was a previous application that went through, I believe, three nights of hearings last summer in 2020 that was ultimately denied by the Board in August with written findings, I believe, in early September confirming that decision. And that was not appealed. But it was a similar proposal at St. John's College campus. And there were the alternative site and design options presented in that case. So, because the Board's decision in this matter, does depend on the Board being able to make findings regarding whether alternative sites and designs were considered, whether this is the least obtrusive site and design. The information that came forward in the previous case is relevant to your evaluation of the factors in our ordinance and in the present case. So, at the request of the Board, we have included in the record for this new case, the previous materials from last summer. Those have all been posted on PrimeGov. So, they are part of the record that you can consider as applicable in applying the ordinance to the present application. And as I think I mentioned to you earlier today, we would call that sort of taking judicial notice. The prior materials, they're out there, you've seen them before, and we're incorporating those as part of the record tonight.

Chair Katz:

Okay and can I clarify please that the applicant here is Gravity Pad and that they are representing themselves. They're not representing St. John's College or AT&T or anyone else, is that correct?

Attorney Paez:

I defer to senior planner, Dan Esquibel. He's our sort of resident expert on telecommunications. He's the one who in took this application form. My understanding on the documentation, I understand, is that that Gravity Pad is an agent for AT&T and has been presented in our agenda caption.

Chair Katz:

Daniel.

DANIEL ESQUIBEL, SENIOR PLANNER ("Mr. Esquibel")

Mr. Chair, members of the Board, telecommunications is kind of a unique application process. It's not, unless they actually own the property, you have the owner that has the property. Now, telecommunication towers are usually owned by a variety of corporations. You've got the property owner, you have the tower owner. You have the equipment owner. And in some cases, you'll also have the frequency owner. All of whom come together to make an application so we try to bind them all together, to address all of those components. Otherwise, when it comes to maintenance, it becomes a nightmare. If a panel comes loose and you're dealing with some because nobody wants to take responsibility for the maintenance. So we combine all of them in order to address those needs so that we have a single person to contact for any kind of maintenance at the tower level. And we bind them to that applicant. In this case, the key applicant, together with the balance of those applicants, is going to be Gravity Pad. So, Gravity Pad will be, if we go with a stealth option, Gravity Pad will be responsible for maintaining that site, for making sure that it can be any component of the telecom tower is adhered to. So we get collocations. They will have to abide by whatever we decide at this level. And Gravity Pad will be forced to enforce those rules and regulations on to any collator, and that goes on the tower as well as AT&T and anybody else. So for practical purposes, Gravity Pad is the applicant. But he's a co-applicant with the balance of them. He's the one that we're dealing with.

Chair Katz:

So my understanding is that Gravity Pad, would lease the site from the college, who owns it.

Mr. Esquibel:

That is true.

Chair Katz:

And Gravity Pad would lease space on the tower to various carriers.

Mr. Esquibel:

That is true.

Chair Katz:

So it's really Gravity Pad who's the applicant. But these other people, of course, have an interest.

Mr. Esquibel:

Kind of Gravity Pad, he's not going to hold the cabinets on the ground. Gravity Pad is not going to hold the panels that are being placed on the power pole. So, and they all have to be part of this review. Otherwise, we're going to miss many of the components within Chapter 14 that we have to abide by. But because the ownership is so fractionized for telecom, we have to combine them all in order to bind them all.

Chair Katz:

Okay, that helps. You do talk about various co-locators. And of course, that's the preferred way of dealing with stuff, with these towers. The design that we have been shown doesn't show the co-location, it would look very different if you showed all of the antennas that co-locators would put on, is that not correct?

Mr. Esquibel:

That is very true and that's one of the reasons why stealth is one of the most important aspects of the telecom process. If you leave the tower open as recommended by SHPO, then as it grows in capacity for other carriers that are gonna to service the area, you're gonna to have more panels, bigger panels. Those panels are between 8 feet to 10 feet tall and about a foot, foot and a half wide. So, they get really big and you're going to end up with something that you hadn't anticipated. So, in order to accommodate these needs, the Land Use Department, on the other side, we require them to be stealth because under the FCC rules and regulations, they would have, we have control over that stealth technology. So, they would have to go back through a process if they're going to alter that stealth in any way, shape or form. But because the FCC has rules and regulations that govern how the effectiveness of visual impacts, we're sort of left with their definition of visual impacts if those antennas are left as is, just floating on the tower.

Chair Katz:

When you when you stealth, what do you mean by stealth?

Mr. Esquibel:

Stealth technology is a way of hiding the panels and hiding the ugliness of what a cell tower is. So, if you look at, if you look around the city, you have these really big towers. A good example of what would happen is if you look at the Gonzalez tower along Cerrillos Road, that blue tower, the original one before we really had a lot of rules and regulations and understood what's going on. That's a monopole. And they lease to various corporations, various telecom, I think Verizon, AT&T and I think Sprint was on there. And that's a good that's a good idea of what this monopole could become if we don't wrap it around with stealth. We don't say, hey, we want this to be a clock tower, hey we want this to be a flagpole. Hey, we want this whatever it is that hides the necessary components, then we lose that control and we have to abide by the FCC rules and regulations for what is an impact to visual impacts. And that means that they can't exceed three feet from the side of the center of the pole. The I forget all of them, it's a really lenient. But if we wrap it, we put it in this better package, then the FCC says we have control of that package. And that means that all of the carriers have to fit within that package if they're going to co-locate. We control the impacts to the surrounding environment just by keeping it compacted within that stealth technology. And if they if they if they can't meet that stealth technology, because there has been times where they've gone through a frequency

type that required a bigger antenna and they couldn't get around it, so they had to expand it out a little bit for those things, depending on how that works, they have to go back to the planning commission or they have to go back to the airport in order to address that design. So if you want back control and you want the ability to have the service but keep it organized and packaged into a manageable visual component, then you need the stealth.

Chair Katz:

As an example of a stealth installation would be the St. Johns Methodist Church. They have a chimney that looks like it has a lot of space inside. I don't know whether you have been in there, have inspected it, but it looks to me that something of that sort would be a boon to Gravity Pad and leaving them the ability to not have the antennas so close to oh, and to be able to add additional antennas as business becomes more intense and more intense. Would that be the kind of stealth thing that you're talking about?

Mr. Esquibel:

I guess so. I'm not quite sure I followed your conversation. A good example would be, have you traveled down Cerrillos Road, and you look at Savers, there's a there's a pilaster that's in their parking lot. It's white.

Chair Katz:

No.

Mr. Esquibel:

Oh, it looks like a silo, that's a stealth power. So it's on that tower. They have to fit inside that silo. They cannot do anything to expand it. If they do anything, they have to go back through a process. Another example would be the Rodeo grounds. There's a different type of art form. It's a clock tower and they have to fit inside that clock tower. So, some of the other ones

Chair Katz:

How tall is that clock tower, as an example?

Mr. Esquibel:

That one is an eighty-foot tower.

Chair Katz:

Do you have a photo of that that we could look at.

Mr. Esquibel:

I don't.

Chair Katz:

If you do at some point, that would be helpful.

Mr. Esquibel:

I don't, that would be the office and I don't think I have a copy of that.

Chair Katz:

OK, thank you.

Mr. Esquibel:

I'll look through my emails to see if I have any pictures of that and I can pull it. If I find it, I'll pull it up during the meeting to let you know I found it.

Chair Katz:

So the proposal that is before us, although I think that the applicant is willing to consider mitigating, is basically a monopole that we would see that we'd have a series of circles of antennas and we were only shown the one that's shown in the materials only shows the top layer, but there would be three or four other circles of antennas that would be co-locating, would there not, in all likelihood? We hope so, for the applicant, we want him to make money. We don't want to begrudge that.

Mr. Esquibel:

Well, yeah, they're coming with it's not a matter of if they are coming. This is an area, as a whole, for most of the networks.

Chair Katz:

Yeah, so we can expect that there will be colocation. We encourage that actually.

Mr. Esquibel:

Yeah we, that's what the Code wants.

Chair Katz:

Okay, is there anything further from staff, at this point? Are there any questions for staff from Board members? I'm sorry Carly, I see your hand now.

Ms. Piccarello:

Thank you, Chair. I have the aerial from today, if you'd like me to show it. I can pull that up just as a review.

Chair Katz:

Sure, that would be helpful.

Ms. Piccarello:

Option 3 that was looked at and then there was another one right here that didn't really get a name. I've just been calling it 2A, that we stopped at. So, we looked at that one, option 1 and 2.

Chair Katz:

Okay, we also looked at the roofs of the buildings at St. Johns, did we not?

Ms. Piccarello:

There was discussion, yes. Not particular ones.

Chair Katz:

Not particular what?

Ms. Piccarello:

I oh, I don't believe we pointed out particular ones, but I would let the applicant speak to that.

Chair Katz:

Thank you. I think that Member Larson had her hand up, is that right?

MEMBER FLYNN LARSON (“Member Larson”)

Yes, yes, I did, I was wondering if it would be possible for us to see any imagery of what was described. Also, thank you so much for describing the cell poles. I think that's something that we are all kind of curious about today, just what the overall appearance would be. So, would it be possible to see the example of the one on Cerrillos, next to Savers? My question would be what the regulations with regards to color are, is there a regulation for that or is it a purview of the Board to suggest a color?

Chair Katz:

Thank you, I would ask staff, if possible, to pull up these other examples of stealth towers for us. And I know you can't do that immediately, but hopefully we will have some time to do that. I assume this is a question for staff that the design rules for the historic district, the east side, is this the east side or is this the review district?

Attorney Paez:

Review district, Chair Katz.

Chair Katz:

Well, you know, there are design criteria and that we would be following those design criteria and a sixty-five foot monopole, I doubt fulfills that, we would have to, if we are going to do stealth, we'll talk about stealth. But I was a little curious that there was not some discussion about, well this doesn't meet the design criteria. It's also a height criteria and we've talked about that, but not the design. Okay, Mr. Esquibel, you have your hand up.

Mr. Esquibel:

I do, so, I did find some working documents that we used. The Rodeo grounds, and that's a clocktower it's a little industrial looking, but I can pull that up so you can take a look at how that look

Chair Katz:

That would have been very helpful. We appreciate that.

Mr. Esquibel:

So I believe, does everybody see that?

Chair Katz:

I don't see a tower, but that's OK.

Mr. Esquibel:

I will get to that. The location is at that back, so this is sort of that's what it what it looks like from the road. So it's located, you can see it, I'm kind of toggling it. Can you see?

Chair Katz:

Yeah.

Mr. Esquibel:

So that's the clock tower. It was meant to be a little bit more for the Rodeo Grounds, again it was a pretty high tower. And that was how we sort of made that look, the clock is facing the rodeo and I can give you a wider frame to that, let's see, this one, this was the stealth, so we're looking at how they designed it. Inside those, so that you hide the antennas, you hide everything inside. There was room for growth inside those panels. It allowed it to be a structure that sort of blended in with what the rodeo was all about and that's what's there now?

Chair Katz:

Okay, thank you. That's very helpful, I appreciate that. Okay, if there are no other questions of staff. It looks like Manager Piccarello has her hand up.

Ms. Piccarello:

Thank you, Chair. I just wanted to clarify as to the question of comment for the Code. So it's so, in the memo that was included in the packet there's some applicable Code sections. This would typically require an exception, but we are in Chapter 14-6. So that is the height waiver. And then see both the screens, sorry. And then there's a, so the relevant Code section, Chapter 14-6.2(E)(4). So this addresses this is a tower antenna that is not otherwise permitted or administratively approved, "shall be reviewed and approved by the Planning Commission". So we are in that in that zone. And then we are also applying 5.2 and 6.2(E). But I'll direct you to that memo and I can pull that up and share screen if you like.

Chair Katz:

Well, you could perhaps just, does the style restrictions in our districts not apply to antennas. Is there something that says that you can ignore the style, but you have to get a height waiver? Why are we ignoring style?

Ms. Piccarello:

So this is an area where the historic districts don't address, don't really allow for a telecommunications tower very readily. And this is where this is, I'm sorry, this is where the exceptions would apply. Do you want to speak?

Attorney Paez:

Sure, I don't mind chiming in. I just want to note, you know having reviewed this a couple of times, we have looked at the Historic Ordinance, 14-5.2 and Paragraph F is the district design standards for the Historic Review District, which is where we're located for this particular proposal. And I think what sort of jumped out at us before when we looked through this is that the standards, we want to apply them to the extent they are applicable, and we have requirements that this blend in with the general design historic district. The streetscape, things of that nature that are more general, absolutely we want to apply. But when you kind of go into the nitty gritty of

the district design standards, they speak to first, the following standards shall be complied with whenever their exterior features of, buildings or structures that are erected, altered or demolished, and then it speaks to slump black stucco or stone for exterior walls. Well, we don't exactly have exterior wall materials. We have the requirement that buildings be well dominated. But it's a little difficult to characterize the cell tower as a building unless we construct it to look like a volcano. First, we have requirements that encourage the use of solar and energy collecting strategies. Not exactly relevant requirement that roof mounted mechanical equipment be architecturally screened. As proposed, this is not roof mounted. So, I guess my point being that many of these district standards just really don't contemplate something like a cell tower in the same way that they don't really contemplate light poles and stop signs. Things that our Code would characterize as a structure, but they're not really buildings, walls or fences, which is really, for the most part, what most of the design standards are speaking to. So, I would apply anything that's applicable. It's just that a lot of it is a little hard to transfer to this application.

Chair Katz:

Appreciate that. Okay, any other questions of staff? If not, we will move on to the presentation by the applicant, if we could. Melissa, could you swear in the applicant?

[APPLICANT PRESENTATION]

MELISSA BYERS, BOARD STENOGRAPHER (“Stenographer”):

Yes. And is that Mr. Milks?

Chair Katz:

I believe so.

Stenographer:

Thank you. Do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

SEAN MILKS, APPLICANT (“Mr. Milks”)

I do.

Stenographer:

Thank you. Please state your name and address for the record,

Mr. Milks:

Sean Milks, 205 Tierra de Corrales, Corrales, New Mexico, 87048.

Stenographer:

Thank you.

Mr. Milks:

Thank you, everyone. Thank you for meeting us on the site and looking at the different options. Of course, we I was asked to give some distances from the couple of the options that we looked at before. Option 2, which was the one that is closer to the parking lot came in at about, this is approximate, because you know we're using

Google Earth, 187 feet from the Camino de la Cruz Blanca property line. Option 3 was an approximate distance of 174 from the Camino de la Cruz Blanca site. In talking with the designs of stuff, you know, there's several sites and Dan brought them up earlier to where we kind of talked about them on site today, where we kind of cover the antennas with a fiberglass stealth shield and it kind of hides it. As and I don't know if you can see me or not, maybe I don't know if that's on my end. And I don't. All right. It was me. So, given my Italian hand gestures, if you guys can actually see me.

So with the monopole, with the stealth design as the second, third and hopefully fourth carriers, including any of the police or the fire, it basically makes it uniform. So it it's all the same color, it's all hidden. And as one comes up, you know, we put another one below and then eventually the thought process is, you know, three, five years from now, we have a culture that is a stealth design where you don't see that, you don't see any of the antennas. The antennas can be changed out and it is as small as a structure as possible. And you cannot see anything in them. And when you start going and building clock towers, which I have a clock tower in the tunnel, which is the west side of Albuquerque, it's enormous. It's a three- legged self-support tower that has the same stealth design as what I'm talking about. Except it's triangular. It's a triangle looking structure and it is huge. The faces of them are probably 10 to 12 feet and wide and it is similar to the monopole or the monopine in that the overall mass of it is a lot larger than the slimline stealth monopole design.

Going back to the design that I had at the St. John's Church. That one is not co-locatable. Just so everybody is clear. Same with, you know, the chimney sticks up and I'd have to look back at my notes. It's about 8 or 10 feet above the roofline. Well, AT&T is taking up 95% of that area. So, if Verizon, Dish, T-Mobile came by and tried to want to co-locate, they couldn't. It's not possible. They'd have to tear the whole thing down and then make it twice as tall. That's why, you know, it's been up for, I think, eight or nine years at this point. Never been a colocation on it. So going back to what we discussed today, picking one of the options, picking Option 2, Option 3 or Option 2A, which is somewhere in between. You know, we kind of discussed it had to be it doesn't really matter as long as it's in that general vicinity and it's on the same type of elevation, give or take 10 feet. And so with that, I'm here to answer any additional questions that maybe you thought of after the field trip earlier today.

Chair Katz:

Let me ask you a question Mr. Milks. Do you have a graphic of what you hope your monopole would look like when all of the carriers have climbed on?

Mr. Milks:

Are you asking me, do I have a picture of what it would look like?

Chair Katz:

Yeah. I mean, we're here to sort of see if the design fits in and it really helps if we have a picture of what we have in mind.

Mr. Milks:

Yeah, I think if during the discussion I could try and locate one, I'm sure I have some picture of a couple of ones that we've done in Rio Rancho or Corrales. Absolutely.

Chair Katz:

Okay.

Mr. Milks:

Dan, do you have any **stealth** monopole, like the one at the Saver's that we did or the one at the gas station off of Airport and 599? Okay, well, I'll take that as a no. I'll look here as we're discussing, OK.

Commented [MB1]:

Mr. Esquibel:

I'll look through my emails to see whether or not I have that or not. I was able to find one, but whether or not I have any more, I don't know.

Chair Katz:

Thank you, Dan. Member Larson, you have your hand up. Do you have a question for the applicant?

Member Larson:

Yes, I just wanted to say it was really helpful to see this in person today. It was really nice to be able to get out there and see all of you from HBoard and the community. So, my only question was, we had asked earlier about the exact measurement from the proposed location, I think it was location proposal 1, as well as 2A. If we are able to get that information today, could you let us know what the measurements would be, approximately.

Mr. Milks:

So, yes. So that was brought up earlier. It's a great question. Measurements for the latest site that we found was actually a sixty-five foot monopole with the stealth canister that would surround it is in a circumference of six feet, six inches. So it's and then we have a couple that were larger that would of course accommodate additional antennas. But that essentially allows for two antennas per sector, a total of six poles mounted to the monopole with the stealth designed around it. And then from there, you know, we manufacture it here locally in Albuquerque. And the other carriers would just kind of go under it and it would be completely uniform. So that would be the diameter.

Chair Katz:

Let me ask you, if I might, a question about what sort of the ramifications of what you're telling us is we have seen the design with one ring of antennas, but we would expect there would be other rings. And today you indicated that one of the concerns of the carriers is that, as we all use more devices and use them more frequently, they need to add additional antennas. And I worry that we would build this monopole with a circle of antennas for AT&T and a circle of antennas for Verizon and a circle of antennas for T-Mobile and the others. And there wouldn't be any way of adding capacity to that. Is that a problem? I mean, would it be better to have something that was maybe a little wider a little bigger structure so that more capacity could be added.

Mr. Milks:

So we never know what the technology is going to be in the future. But this pole has the ability to be flexible in the fact, let's just say that AT&T builds two antennas, so does T-Mobile, so just dish. So we've got four carriers with all of them with two antennas per sector on each one and AT&T and Verizon say come to us and say, you know what, we need to add three antennas per sector. The worst case scenario would be that the six foot six inch diameter stealth design would have to be increased to probably a little bit over seven feet in diameter, but no one would be allowed. And Dan can attest to this. You just couldn't just go and do it without, you know, the consent of the board, without the consent of the planning department. And so there's also different ways of handling capacity with, they call it balinese, they're radios that are behind the antennas and you don't see them, but they act as almost like a different or another antenna and it can handle more of the capacity. There's also ways of instead of having the standard eight-foot antennas, shrinking down and putting maybe three six foot antennas. And so it just depends on what the usage is. What is the tower feedback giving the RF team as to how is it how is it performing? Is it is it handling all of the calls and the texts? How do we, you know, you know, use the technology to, you know, change that? I can tell you that I have built sites in Rio Rancho in the early, I'd say, 2000 to 2009 that have the same stealth cannisters around it. The one that we're building that's under construction. It's right next to my house. And Corrales, is the sixty-five foot monopole that has a canister. And I'll send this over to Dan and I, and maybe he can show you some pictures of it.

Attorney Paez:

Mr. Milks, you can share your screen too if you have that capability on your end. As a panelist you should have screen share.

Mr. Milks:

Okay, great. Let's see, would everyone like to, it's a drawing, it's not a picture because it's not built yet, but I can definitely show it to.

Chair Katz:

Okay.

Mr. Milks:

Let's see if I can figure out how to do this. Share screen, here we go.

Attorney Paez:

Usually you want to open up your desktop and you'll hit share screen, and then you'll select the item you have open on your desktop and then that should be popping up with like a little green rectangle around it and that's how you know what's being shown.

Mr. Milks:

Alright, let's try the share screen. Go on desktop, you said. Alright, can you guys see that?

Attorney Paez:

Yeah, there's a guy with a tower.

Mr. Milks:

Okay, so this right here is a site right next to my house in Corrales that we built. This is very similar to what we're looking at, at the St. John's College. So, this if you could see my mouse, this is the stealth canister that covers the antennas. And so, in in, the second carrier would go below them and the same diameter canister would bud up against the other one, and it would just go to the second one, to the third one, then to the fourth one, to where you have a slimline design. And it's all basically looks like we think it looks like a PNM pole.

Chair Katz:

Over a chimney.

Mr. Milks:

I'm trying to see if I have any pictures. I don't, but I'll continue to look as we are discussing this, that I

Chair Katz:

That's been very helpful. Thank you.

Mr. Milks:

So that would be a very similar design that we would institute over there as well.

Attorney Paez:

Member Katz you appear to be a little frozen. Let's see. So, I'm going to go ahead and take down the share screen. I'm hoping our fearless Chair returns momentarily. I suspect that he will. I'm a little bit inclined to give him a moment to rejoin before we continue questions from the Board just because I want him to sort of be a part of that discussion. Oh boy. I'm just going to try calling him real quick, if we could just take like a 30 second pause.

So, Member Katz, we do have you visible to us. I think you're seeing at least some of us. He lost internet at his house, and is calling us using his cellular connection, ironically, on his phone. So, we do have our Chair back for the moment, back to our quorum. So, if possible, it would be great to proceed with the hearing. I don't think we did anything while you were gone, Chair Katz. I think, as soon as I kind of noticed you freezing, we put a pause and we've got a couple of the hands raised from Board members so if you're able to hear us and we can hear you when you try to proceed. And I think Member Bienvenu had his hand raised and then Member Roybal.

BOARD MEMBER JOHN BIENVENU ("Member Bienvenu"):

Thank you, Chair Katz.

Chair Katz:

Yes. Why don't you go on, Member Bienvenu?

Member Bienvenu:

Okay, thank you. Thank you. Mr. Milks, appreciate your presentation tonight and all the previous meetings, as well as today and your willingness to keep coming back to us with good faith efforts to try to resolve the many concerns. So just a couple of follow up questions from today. First on design, one of the things that was mentioned

in today's meeting was that you as the applicant, as well as St. John's, who I understand to be a co-applicant in this case, is the owner of the property. That's the way the documents read that I've been, that I've received. That you are both prepared, continue to be prepared to accept either of the two earlier design options that were presented to the Board in August 2020, which was the belltower and the clock tower, is that correct?

Mr. Milks:

Yes.

Member Bienvenu:

Okay, and what was not indicated on those drawings, which were admittedly wrong, but I think you were just trying to present conceptual ideas for the Board's consideration at the time. But what was not indicated was, were the dimensions and you earlier tonight testified that the one of the clock towers you built was quite large, I assume in width. So, what's the minimum width that either one of those towers could be if that was the direction we went?

Mr. Milks:

Let me see if I understand the question you're asking me, what's the smallest width of the clock tower that we could build?

Member Bienvenu:

Right, whether it's a four-sided or three-sided.

Mr. Milks:

I probably have to look at some previous drawings, but it's been quite some time since we've built one of those. Off the top of my head. I don't know.

Member Bienvenu:

Okay, well, the reason I'm asking is I was just wondering why there would be a difference. If you can do a sheet that would be under seven feet in diameter, why would a four-sided or three-sided tower need to be any larger than that?

Mr. Milks:

I guess, because you have three poles that kind of go up vertically and the antennas basically are stepped off of that. Now, the issue with having that versus a circular design is each carrier doesn't use a 0, 120, 240 as much. So let's say I build the site for AT&T and we use the antennas of 0, 120, 240. The front of the design would be perfect, but the second carrier is not going to be 0, 120, 240 because they have sites in different locations at different frequencies. So, they would have to be, you know, 60, 160, 220. And so, therefore, the triangulation is off and then it looks it looks kind of skewed. So, if it is uniform, they have to have they have to be able to move the antennas a certain way and then make sure there's no blockage. When you have a circular design, which is what I'm proposing. It doesn't matter. You can put the antennas at any azimuth you want, and it'll be behind the stealth shield.

Member Bienvenu:

Okay, I suppose a clock tower, a watchtower or a cell tower goes circular, right?

Mr. Milks:

Yeah, we couldn't, I've never seen a circular clock tower before.

Mr. Bienvenu:

What, when you do a tower, do the sides need to be made of some kind of transparent material or can they be solid?

Mr. Milks:

The sides are stainless steel, which is instead of having one pole, you're gonna have three poles. So instead of the one pole, you're adding two more to the design. And then what covers the antennas are fiberglass. Because the RF emission can go through fiberglass.

Member Bienvenu:

So, from the exterior perspective, the fiberglass would look like a solid material, could be built with some sort of

Mr. Milks:

It could be painted. It can be any color you would like.

Member Bienvenu:

And the poles themselves could be don't need to be exposed, right?

Mr. Milks:

You will see them below the stealth shield and then typically a little bit on the sides because the stealth material does not hold up against each other. So, there's a little bit where you'll see three poles.

Member Bienvenu:

OK. Couldn't the material be carried all the way down to the ground level, the fiberglass? Just to look like a solid tower as well.

Mr. Milks:

I've never seen one and that would cause a wind loading issue with, because we can only make the towers so strong and so it almost when you're dealing with that, it's acting as like a wind sail. And so it puts a tremendous amount of pressure on the poles itself when you have these stealth screens.

Member Bienvenu:

Thank you for that. Now, as far as location goes, you're it's you represented and I think you just indicated again today that the options on the map, I guess, what's called the map of proposed locations, I'm not sure how it's referenced in our packet. But options 1, 2 and 3 had anywhere in the general vicinity as the comparable elevation as all such sites are acceptable to you. Is that correct?

Mr. Milks:

Yes, that is correct. Yes.

Member Bienvenu:

Okay. And the only other question I have, I guess, well, two other questions. One is about on locations, about the buildings that we looked at. And my reading of the record has always been that there's been some ambiguity or perhaps even some conflicts in what's been presented to us. Sometimes we've heard that other locations on the campus, specifically with respect to the two dormitories, areas were rejected because they were technically not feasible. And other times it has been represented that persons associated with the college rejected them specifically. One of your maps shows that the dorm locations were rejected by the student body. So could you clarify for us whether or not there's still a possibility of utilizing the building location on the main campus or some kind of a tower design and whether that's actually technically infeasible or just not practical because someone on the campus didn't want it.

Mr. Milks:

So, in 2009, when the original design was for a 40-foot monopole or monopine, rather, behind the dorms. This was before we built site as 246, which is the same job. And at that time, it was denied by the student body and the college. When I revisited the site and looked at it again in 2019, it didn't meet, it did not meet the coverage objective for our client, AT&T at that time. And then as far as the other potential buildings, it just wasn't a possibility from a leasing standpoint. And furthermore, from a technical standpoint, the radio frequency, RF, engineers that ran propagation studies, both on the buildings and the water tank rejected all of those all of those sites.

Member Bienvenu:

Okay, is it also true for what's been proposed by certain people as a possibility of locating a series of antennas, for example, at the, where the parking lights, parking lot lights are, is that also infeasible, technically?

Mr. Milks:

Parking lights?

Member Bienvenu:

The light structures that are already probably 20 feet off the ground in the parking area.

Mr. Milks:

In the parking area where we parked today at the field trip?

Member Bienvenu:

Right.

Mr. Milks:

Well, from a height standpoint, it wouldn't work because of the tree line. So, no it would need to be significantly higher to a sixty-five-foot level.

Member Bienvenu:

Okay, even if they're somehow connected in series or through any technical processes such as that. Is that correct?

Mr. Milks:

That's correct.

Member Bienvenu:

All right and could you tell us where you all stand in the MOA process with the State Historic Preservation Division?

Mr. Milks:

So, we're essentially waiting for you guys to make a decision and then from there, SHPO will take the ball and run with it and we will start moving towards getting a memorandum of understanding after that. So, if you say we looked at it, we like Option 2, with the stealth monopole. It's going to take several months to get it surveyed, designed, drawings, everything. At the same time, we have to start the FAA, the FCC, the SHPO, the NEPA, soils reports, and everything has to start from scratch. And we will have our SHPO, our, excuse me, our environmental, Richard, who you may or may not met today, start working on a memorandum of understanding with SHPO.

Member Bienvenu:

Is it your understanding that SHPO is prepared to enter into that memorandum of understanding, provided that you receive Board approval here, or will they have their own

Mr. Milks:

They could potentially add their own conditions. I can't speak for them. I would hope that tonight the Board approves of a location and a site type and then we'll be off and running to try to get them everything that they need in order to finalize a memorandum of understanding.

Member Bienvenu:

I'm wondering if that can be done in a different order where we approve several sites and designs and leave it up to the MOA process to determine which of those in the opinion of the State Historic Preservation Division, St. John's College and the City have the least adverse impact on the campus and streetscape most.

Mr. Milks:

I think they view it as the entire 250 acres is a historic district. And so, no matter where we go, no matter what we choose, they're going to have to review it and go from there. And so, I don't know if they're at liberty to pick and choose. I think they're probably looking forward towards this Board to make a decision and then try and work in the confines of your decision.

Member Bienvenu:

Okay, appreciate that. Thanks.

Chair Katz:

Thank you, John. I think that Buddy Roybal has his hand up.

BOARD MEMBER BUDDY ROYBAL ("Member Roybal")

Yeah, thank you. Now in going to the actual location today made a big difference. I think, for us and even for the neighbors. Of the two things, of course, that we have is the site location and the design. That's basically what it comes down to. I was glad to know that we had to concentrate on this location, Number 1, which is only 75 feet from the road. But Site 2 and Site 3, I think, in my opinion, made a big, big difference as far as the site location. Now on the design, I'm having trouble with this design because I don't really know what this is going to look like on this site. It would be interesting to actually have some kind of rendering that would place this tower on the site, possibly Site 2 or 3, which I think was the further down and seemed to be less intrusive. Still, without that, I don't know how we could really make the decision. I could possibly make a decision as far as this site. I think most of us in agreement that Site Number 3 is definitely a better location than Site 1 and even Site 2. So, I'm a little concerned about the neighborhood. And of course, the opposition is just tremendous against this. But there are definitely there is a need for this. And I think everybody's in agreement that the need is there. So the technical part isn't that important to me at this point, because the need is there. The technical part has played a big part on the presentation and we're not engineers that we really understand it. What we understand is this pole sticking up in the air and how these antennas are going to fit on it. And the color options that could be made, whether it's green or, definitely not white. Because the one by Savers is white and it really sticks out. The blue might stick out too much. So, even a brown one might be better. So, I think that's going to be really important to have renderings of this. Normally, we have story polls. Again, sixty-five feet is a big story pole. I am particularly glad that it's come from 80 feet to 65 and understand the diameter now is six feet six inches. So, it doesn't seem quite as intrusive, but without actually having something on site with a pole sticking up with the landscape, it's going to be very hard for me to determine. Thank you. And again, thank you for meeting with us today on the site. I think it made a big difference, at least for me on the site. But, I'm having a hard time with the design of what this thing is really going to look like on any particular site here.

Mr. Milks:

And I appreciate you coming out there. And just for clarification, and you and I were talking about Site 3 versus Site 2. Site 3 was when we walked further down parallel to Camino de Cruz Blanca. And it appeared that that one was further away from Camino de Cruz Blanca. But in actuality, Option 2 was further away from the street, which was closer to the campus, which was the location that we adjourned the meeting at, just to be, just to clarify. The second thing, Member Roybal, is I have a picture of a site in Albuquerque. And Dan, you might have, it looks like your hand is up. You might have some others as well. Could I share my screen again to show you kind of, give you a better understanding of what we're looking at.

Chair Katz:

Yeah.

Mr. Milks:

You could see, I can do this. This pole, right here, can everyone see this?

Attorney Paez:

Yes. All right, so this is basically a 50 foot pole and this is the canister that is holding, that's the stealth canister that would be holding or, you know, stealthing that the antennas, essentially, we would be every 10 feet, there would be one of these to where it would be kind of uniform from 40 feet and 10 foot increments. And that's essentially what it would look like. Dan, do you have any ones that are in Santa Fe that we could show everyone?

Mr. Esquibel:

Yeah, I just found something on Google, it took me a while to find it. This is the one at Saver's. I can show you what it started out like and what it ended up as.

Chair Katz:

That would be helpful. Thank you very much Dan.

Mr. Esquibel:

But these ones are much bigger antennas and it's AT&T and Verizon that is looking at this. So, we're expecting both of them. So this is what it originally was looking like. You know, we joke around and identify that as more of a potato masher, but, can everybody see that? I believe it's an 80-foot tower. Those are large antennas in there. And when Verizon went out there, we were getting a lot of complaints of that. So we decided to bring the canister stealth down and now it looks more like a silo. You know, we still get a lot of complaints about it, but the alternative is what you would see with just the pole and antennas. I can pull up, I can definitely pull up a picture of that one, to show you how that would look.

Chair Katz:

This is very helpful. Well, we know that would look less good. It gives us a feeling of what a well camouflaged monopole would look like. Are there other Board members who have questions of Sean? I can't see. So, it's no on that.

Mr. Esquibel:

Mr. Chair, there are more of a variety of types of stealth technology to the extent where they can make it look like a building so that it can blend in with the architecture.

Chair Katz:

Why aren't we seeing those? We heard how upset they are. Why aren't we?

Mr. Esquibel:

I don't have those types of towers in Santa Fe. Those are those are images that we've see over time. The issue here is that the New Mexico SHPO, they didn't want the stealth. So, Sean brought it back without it to appease the state's historic preservation.

Mr. Milks:

Going back, the least obtrusive site or the smallest structure possible is what the direction we were given and that's what was presented, basically. So I think if we can jostle between the two to the smallest possible structure with the stealthing that hides the antennas that are uniform, that would go all the way down for every carrier so that when the second, third, fourth carrier added to the pole, we know that it's not

100 percent certain that they will, but if they do, they would have to match it exactly. And that would be a condition that the planning department and the Historic Board could put together.

Mr. Esquibel:

These are different types of stealth towers that you can find across the Internet. So you, they do the very best to try and accommodate a blending in of their technology with the architecture around them. Most cellular companies will go the easiest route possible because these are quite expensive to deal with. But as a design board, you could address the issue of architecture to blend in with the environment, with the campus so that it is not just a cell tower or just a silo or just the flagpole. These are these are types of structures. Yes, they're expensive. And some of the telecommunication, they don't, like, to put this much effort into it because it is costly, very expensive. But given the area that it's in the importance of the service, these are types of designs that could be deployed in the area that could allow for a good way to blend in, not necessarily a tree. Nobody likes trees. I like trees, but nobody else likes trees. But there's a lot.

Chair Katz:

Thank you very much, Dan. I appreciate that, I've looked at some of those photos and I realize there's a plethora of various designs that can be chosen. I have a question for Sean, which is if, on that clocktower you showed us with that modern looking clock tower, but that's okay. If you drew a circle around the three poles, what would the diameter of that circle be?

Mr. Milks:

So let me understand the question. If the design of a three carrier stealth structure, you're asking whether or not the

Chair Katz:

The clocktower [*inaudible*]

Mr. Milks:

You're breaking up. Say that again.

Attorney Paez:

Chair, your audio's a little slow and breaking up, unfortunately, and I hate to suggest turning off your video, but sometimes that will really improve the transmission of the audio. I know you're working on your cell connection; I believe what Chair Katz is requesting Sean, is the diameter of that clock tower, the sort of modern one at the Rodeo Grounds. What would the diameter be around the clock tower at the Rodeo that you were showing earlier, I think?

Mr. Milks:

Oh, I didn't build it. I don't know. I can tell you that if you give me a second, I think I can find one of the other ones that we built years ago, it's probably that the diameter between the three poles it and this is me, given my best estimate is probably in the neighborhood of about 10 to 12 feet in circumference.

Chair Katz:

Okay, thank you, that's helpful. Is my audio better now?

Attorney Paez:

It is better.

Chair Katz:

It is good because I'm on speaker, but now I can't hear you guys.

Mr. Milks:

Oh, boy. Well, we'll get you some 5G here, as soon as we possibly can and this won't be an issue for you.

Attorney Paez:

Chair Katz, I see a hand from Member Bienvenu.

Member Bienvenu:

Thank you Chair. I just I just wanted to follow up on that last comment

Chair Katz:

Because obviously everybody needs the service, OK?

Member Bienvenu:

Not sure if your voice was speaking.

Attorney Paez:

Chair Katz, I heard you say everyone needs the service, but we really are still having some issues with your audio. It continues to speed up and slow down.

Mr. Milks:

And I want everyone to understand I'm not doing this, I swear.

Member Bienvenu:

I was just going to follow up on Mr. Esquibel's comments because that's what I've been hovering around without directly saying and which is what you know, to me, the obvious solution here is that a nice tower be built that's consistent with the architecture of the campus, not just some poles with, you know, with a clock on the top of that, but something that's actually architecturally sound along the lines of some of the examples that were just shown and then look more architectural as opposed to just some sheathing around some poles to hide, to hide the antenna. And in my mind, St. John's, as the owner of the property and the proponent of this project has every reason to want that solution because it makes, it could actually not only not create an adverse impact on their campus, it could actually add to their campus. Clock towers and bell towers are extremely traditional on college campuses. So that strikes me as the simple design solution or the obvious design solution in this particular case that would satisfy not only the college, but also the H Board's concerns, as well as state Historic Preservation Division's concerns about the impact on this historic campus. So, is there any reason Mr. Milks, in your mind that's not the possible solution here? Other than cost.

Mr. Milks:

Yeah, we'd have to look at the cost. We'd have to look at the design and the time it's going to take. And as I stated before, you know, having a clock tower or some monument near some buildings makes sense. Putting it in the middle of nowhere, where there's trails, where there's no buildings is going to, in my opinion, divert your eyes to it. And we're talking about, you know, two or three times the size of what I'm proposing. It just it just doesn't seem from my standpoint, like a solution that I think that the college would want. And I just I've seen them before. And, you know, over time, it just it's just not a good solution. If you look at some of the ones that have been built at some of the golf courses in and around Albuquerque, they just don't look right. You know, they look fine when you see them, a picture on Google and it's nice and shiny. But after the New Mexico sun has beat down the stealth design and as I stated before, it has to be so massive because of the azimuths that we discussed earlier. It's one hundred percent not the least obtrusive way to do this. That's just my opinion.

Member Bienvenu:

Okay, thanks. That's all I have for now.

Chair Katz:

Okay, is my audio any better yet.

Attorney Paez:

Yeah, you sound way better with your video off, Chair Katz. As much as we like to see your face, that might be the best way to continue being able to hear everyone, unfortunately. Feel free to try other options.

Chair Katz:

I have a question.

Attorney Paez:

Please carry on.

Chair Katz:

From whom?

Attorney Paez:

Member Roybal has a hand raised but I know you've been trying to chime in as well, so. I'm just trying to help out.

Chair Katz:

I appreciate that. My question was whether we have someone from the college who is the owner of the land who we could talk to as one of the proponents.

Attorney Paez:

I do have a Christine Guevara. We would need her to be sworn in, but I will go ahead and bring her to the panel so she can speak on behalf of the college. I think we've heard from her in a previous hearing. Christine appears to be over here, so she can be sworn in please.

[ST. JOHN'S COLLEGE REPRESENTATIVE]

Stenographer:

OK, Christine, do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

CHRISTINE GUEVARA, ST. JOHN'S COLLEGE REPRESENTATIVE ("Ms. Guevara")

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Ms. Guevara:

Christine Guevarra, my address is 26 Camino de Verda, Santa Fe, New Mexico 87508.

Stenographer:

Thank you.

Chair Katz:

Ms. Guevara, you've heard our discussion about stealth and screening and all of that sort of stuff, and you've also probably seen the photos that are in the packet that show what the proposed tower looks like with only one ring of antennas on it. Imagine it with all of the rings of antennas on it. From college, and I was wondering what the college's view is of trying to do something to not make it look like an ugly cell tower.

Ms. Guevara:

I would say that it would be our preference that it not be horrible to the eyes. We would love it to be as pleasing as possible. But I do really agree with Sean, with the assessment that it would feel a bit awkward to have a clock tower or some sort of a structure like that in the location that works that we've discussed in that 1, 2 or 3 areas, the proposed locations that we visited today. Something that's a little bit more organic seems to be what I think would fit better in the landscape, something that looks like a silo. And this is just my personal opinion. I certainly haven't discussed this as a college, but I don't think a clock tower necessarily. Are we eager to see it disguised in some way and are we open to the stealth design? Absolutely, I would love to see that happen.

Chair Katz:

Would you consider putting it on the roof of a building at St. John's, a chimney of the sort that's on the St. John's Methodist Church?

Ms. Guevara:

If we did consider that and because of technical requirements, it was not an option that was that was presented to us as something that was feasible.

Chair Katz:

Okay, but from your perspective, would it be from the college's perspective?

Ms. Guevara:

Were we open to that? Absolutely, we were. But we've been told that that's not a viable option.

Chair Katz:

Okay, and we were told that by Mr. Milks. Because, oh, it wouldn't [*inaudible*] with the St. John's Methodist Church. And he seems to have backed off that now. We're told, because AT&T did a propagation analysis that showed you wouldn't reach as many customers. But we haven't seen that propagation analysis to see how many fewer customers it would reach. We were told today, I believe, that one of the problems is, well, there's a capacity issue also. As more people use the devices, they need more antennas. And it seemed to me that a fake chimney on top of the roof could have enough room to have all of the antennas that would be needed. So, until I see the evidence, rather than just someone telling me something, that someone did something. And I don't know that they whether they did a propagation study on that roof, we haven't seen it. It seems to me that it does remain a possibility. Now, I've been quite clear that Mr. Milks doesn't want to spend the money to do anything a little more difficult. And I can understand that, but, I suppose what I am coming to is from my perspective, I was talking with friends about this case that, you know, we have this case and mentioned that there was some connection to the St. John's Methodist Church and they said that's a cell tower. I've passed it a thousand times. I didn't know it was a cell tower. That to me was where it would be really nice to be, whether it's Mr. Milks' idea of a series of circular shielded things that would look like a silo or a chimney or a water tower or a clock tower or any of these other things. To not know that it's a cell tower, that there is a cell tower, there would be the ideal. And I guess my question for you is, putting aside Mr. Milks' suggestion that nothing but what he wants is feasible. I'm exaggerating, of course, and I apologize to Mr. Milks. But would the college be happy to have something that you can't tell there's a cell tower there? And you can't tell, there's not a chimney either that goes up 60, 65 feet.

Ms. Guevara:

If you're asking us if we would be happy with something that's disguised and unrecognizable as an antenna or as a cell tower. Absolutely.

Chair Katz:

Okay. Thank you, I appreciate your answers. I think Buddy had his hand up.

Member Roybal:

Yeah, thank you.

Chair Katz:

Is that so?

Member Roybal:

Yes, thank you very much. What we're talking about is the college perspective of all this. And when we think about the need that's out there, maybe they can't fulfill all the needs. But what you talk about Frank, is probably feasible. And again, we had not gotten that information that if it's, maybe it can just be something that benefits the college and benefits a few of the neighbors and doesn't benefit everyone. Right now,

they don't have any of it. So maybe they need to settle for something less. It's going to be less intrusive that people can recognize and still gain something from them. Is that possible Sean, that this could be scaled down? I know the cost is a big factor, but if it still provides something, maybe not to the degree that we want with a 65-foot tower. But something else. Would that be an option for you? I know the college definitely does need it, any time you're in that area, I don't know how far. Again, we're not technical, how far a smaller version of this on the college campus, would, what kind of needs that would fulfill. Is it possible we could get information like that, also?

UNIDENTIFIED SPEAKER:

The light's back on.

Chair Katz:

Sean.

Mr. Milks:

Well, sorry, there we go. I was on mute, so it's a hard question to be about. I wouldn't be involved in it and Gravity Pad would not be involved in it because there's no colocation possibility similar to, you know, the design that I put for the St. John's Church. That's not owned by me. I designed it. I also designed the Santa Fe Hotel. But that is when I was working, you know, 10 years ago directly for AT&T. And so, you know, you similar to what I talked about before, you can't design a site on a rooftop that's going to accommodate multiple carriers unless you, you know, stealth, maybe the entire building with some sort of stealth, shield fiberglass. And so I don't really know how to answer that because I personally wouldn't be involved in that.

Chair Katz:

Okay, thank you.

Mr. Milks:

I can tell you that when we when we looked at it before, when we looked at the water tanks, when we looked at all the buildings, when we looked at the existing bell towers; it was not it did not meet the coverage objective for our client. And essentially, they were not interested in anything like that.

Chair Katz:

So let me ask you a question about that.

Mr. Milks:

Yes.

Chair Katz:

I mean, we have in our files the propagation study I think they did for the proposed site, and it shows it substantially increasing the coverage all over that area. We haven't seen a propagation study that would show that same increase from a tower on top of one of the buildings at St. John's. And it would be nice to see that. But what that essentially shows is how many people, how many customers are we going to be able to serve with this tower? And if it's not very many, I can imagine that AT&T isn't really excited about it. If it's not that many fewer than what the propagations that for

the site you proposed, initially. That seems to be a different story and we seem not to have that information. Is there a way of getting that information?

Mr. Milks:

As I stated earlier, I could ask them. But then again, I would recruit, you know, I would not be a part of the discussion because you can't you can't build a tower on top of a building. And so it wouldn't be co-locatable and there would be no need really for Gravity Pad and our services. And so it would it would basically go back to the drawing board and in my opinion, would never happen or at least wouldn't happen for quite some time.

Chair Katz:

But you won't get us the information?

Mr. Milks:

I don't have the information, the information

Chair Katz:

I assume you can get it from AT&T, can't you?

Mr. Milks:

I asked him if it worked and it was a yes or no answer, it did not work.

Chair Katz:

That's not evidence that we can rely on.

Mr. Milks:

Okay.

Ms. Guevara:

Can I?

Chair Katz:

We're going to have to see some backup for this statement of doing a tower or some sort of structure, not on top of a buildings, but nearby a building over there that I feel we are just not looking at because we're getting what you're telling us. Can't do it. You told the college, can't do it. So they said, okay, can't do it. And I think we're not getting the possibilities that we're supposed to be looking at. So, thank you.

Sally, I can't see, are there other Board members who wish to inquire of the applicant or the college?

Attorney Paez:

There's no Board members at this time Chair Katz, but I believe Ms. Guevara might like to respond from St. John's and then it might be time to go to other members of the public.

Chair Katz;

That's what I was thinking of. Okay, Ms. Guevara.

Ms. Guevara:

Thank you. I did just want to say that other pieces of information that I think are important when we weighed this decision is the idea that it's not, and Sean correct my language here, co-locatable, is that correct?

Mr. Milks:

Right.

Ms. Guevara:

And that means that other providers would not be able to take advantage of the tower and provide service. Is that accurate?

Mr. Milks:

Yeah that's accurate.

Ms. Guevara:

So that that really doesn't fulfill the needs of the community. It doesn't fulfill the needs of St. John's. It doesn't fulfill the needs of community because there's only a portion of our community that has AT&T. And we're all very hopeful that additional providers will take an interest in the cell tower in order to expand that coverage to the wide variety of students that come from across the world, quite frankly, to our campus. And they get their cell service once they arrive to St. John's. They select their carriers from outside of the state. So, we are hopeful that that cell tower would invite additional providers. And so if indeed what we're being told is that that's not an option, if it's on top of a building, than that doesn't seem like a reasonable option for St. Johns to want to consider offering our buildings as a potential site. And the other thing that Sean mentioned earlier during the site visit was that the location directly underneath a tower does not provide the cell service. And so there's an issue with the service really being useful on the campus if it were on top of a particular building, it would still have limited coverage. And I understand, Vice Chair Katz, that there that maybe just still information you're hearing anecdotally, but those are variables that we took seriously, which is why we wanted to consider the location in that trailhead area.

Chair Katz:

I totally agree that a non-co-locatable tower isn't [inaudible]. We definitely [inaudible] I don't use AT&T. So, I want to be able to use it. The other possibility would be perhaps up on a rooftop like St. John's Methodist Church, would, is not co-locatable, but would be a tower, but in back of the upper dorms, just in back of them. That would be, I mean, you don't have to have it really tall to get the shot at St. John's Methodist Church there. And it would be you know, it could be like a 40 foot tower that would have your room for all four rings of antennas. So, I don't think it's impossible if there were a way of working it out near St. John's, more on the campus property. Would St. John's. Consider that?

Mr. Milks:

Well, the pole

Chair Katz:

I was asking, I was asking Ms. Guevara, please.

Ms. Guevara:

Yeah I have been informed that the height of the pole and the technical requirements would not be met in that location.

Chair Katz:

Thank you. Okay, let's open it up to comments from the public and I cannot see so you'll bring those forward, Sally?

Attorney Paez:

Sure, Chair Katz, I'm happy to do that. We do have some hands raised. I just want to start by noting that this is a continuation of our July 13th hearing. So, I would recommend that we stick with the two-minute time limit that I believe we followed on July 13th. I would also respectfully request that members of the public not repeat what they may have already said on the record at the last hearing. If you have new comments to make based on the additional information that's been added to the record about other sites, other designs, if you were on the site visit today, if you want to weigh in on that, you did not have a chance to speak previously. than certainly we do want to hear from you. And with that our first speaker, Chair Katz, is Cesar Cervantes. Mr. Cervantes you'll need to be sworn in and state your name and address for the record before you speak.

[PUBLIC HEARING]

Stenographer:

Do you swear, under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Cesar Cervantes:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Cervantes:

Cesar Cervantes, 1160 Camino de Cruz Blanca. I just wanted to say again, it sounds like, I'm the director of student life at St. John's College, and it sounds like the case has been heard for this as a safety measure and the true need for that as a safety measure. And numerous examples have been given. And so I appreciate that folks have heard that that is still the case. That is still true. And I just really would like to implore you to approve and to see this as a solution that's in front of us now and the due diligence that has been brought forth and the site visit today. You know, I just I just want to implore you. I also want to reiterate that, you know, any revenue that would be coming from the tower would be put back into student scholarships. And so, again, as we think of the urgency, the timing, the safety, the benefit of the community and our students again, please, I implore you to approve. Thank you.

Attorney Paez:

Thank you, Mr. Cervantes. Our next speaker comes up on my end as Oshana. Oshana, if you could please be sworn in.

Stenographer:

Do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Oshana Spring:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Ms. Spring:

Oshana Spring, 3 Montecito, 87506.

Stenographer:

Thank you.

Ms. Spring:

I would like to concur, yes, cell phone towers are definitely ugly, and they seem to be one of the most ubiquitous foreign invasive species. And I hike often at St. John's and none of my friends have ever complained about lack of phone reception there. But I don't know, you know, maybe those that live there, I don't know. And I'm concerned about the stealth aspect. I would actually like to know what I'm dealing with because too me cell phone towers are like a rabid dog, and I would like to avoid them. Also, I can tell that a lot of money will probably be made by the companies involved and by St. John's and thanks for giving money to needy students, but I feel like it's definitely going to be a downgrade to the neighborhood. And I would like some sort of analysis to see if the people in the neighborhood, if the people at St. John's actually do require added band width if that is a cause for concern or is this just a money making enterprise. Thanks.

Chair Katz:

Thank you.

Attorney Paez:

All right. Our next speaker is Jane Snow.

Stenographer:

Do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Jane Snow:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Ms. Snow:

My name is Jane Snow. My address is 754 Calle del Resplendor, Santa Fe, New Mexico.

Stenographer:

Thank you.

Ms. Snow:

Please refer to my letter dated August 9th when I testified for the detailed information that supports my statements. But I will highlight the key points in my letter here. I'm a board member of the Los Miradores Neighborhood Association. And after last month's Historic District Review Board meeting, an administrator from St. John's invited a small group of current and former board members to a meeting that I attended. During that meeting, they disclosed that they were beginning to explore alternate cell phone technologies that will potentially give the college its own dedicated and enhanced system without the need for sixty-five-foot tower. They shared that they were submitting an RFP to various vendors, soliciting ideas for alternative technology, but they made it clear that any solution would have to be fiscally neutral to the college. In other words, I didn't want to have to come out of pocket to pay for it. The cell tower, on the other hand, would not cost them anything and would give them a guaranteed income stream for a lot of years. It also became clear at that meeting that St. John's has been aware for some time that there are alternate locations on the campus for a less obtrusive tower, including incorporating it into the bell tower in their main administrative building. But they told us it was ruled out because of the cost of the project, which the developer is not willing to absorb. In closing, we encourage you to once again deny the application for a waiver. And at the very least, we ask you to postpone a final decision until St. John's has received responses to the RFPs and evaluated the feasibility of utilizing alternate technology to meet its needs for better cell phone coverage on campus. Thank you.

Chair Katz:

Thank you, next.

Attorney Paez:

Thank you, Jane. And I can also, while I'm unmuting the next person, I just want to note, I can note how many written comments were received and I can read the names of those folks into the record, if that's helpful. We do have quite a lot of public comments submitted in writing, I meant to mention that at the beginning. Our next speaker is Stephen Flance and Stephen you'll just need to be sworn in before speaking, please.

Stenographer:

Do you swear, under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Stephen Flance:

Yes.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Flance:

Stephen Flance, 2228 Wilderness View, Santa Fe, 87501.

Stenographer:

Thank you.

Attorney Paez:

Thank you, Mr. Flance.

Mr. Flance:

Can I go ahead?

Attorney Paez:

Yes, please proceed.

Mr. Flance:

Yes, I've been listening to the discussion here, I'm sorry I missed the field work, I'm out of town, but I'm sure some of my colleagues, that are neighbors have a lot more to say. I sent a letter and the two things that I was trying to emphasize, one is we are in the historic district, in the semirural areas of Santa Fe, make a statement about the transition from the core historic district to, you know, the rural areas, particularly this one that's preserved trails that are used informally for probably, you know, certainly decades, maybe beyond that. I know people who grazed sheep up on Atalaya and El Picacho. These are historic elements of the city that are character defining of a city that is a relatively compact, historic district moving out into a semirural area. And, in this case, an area that entertains trails, one of which goes through our property. And some of these trails, for example, the Arroyo Chamiso Trail was part of the series of trails that are included in the Old Santa Fe Trail. People would go to La Barbria, stop there, get cleaned up before they came in town, and then come up the hill and down through the Arroyo Chamiso into Santa Fe. So these are historic areas that are protected by the size of lots and the Wilderness Gate and the respect for the trails, that we have.

Attorney Paez:

Mr. Flance, I apologize, you are at your two minutes, so if you could, please, briefly, conclude, that'd be great.

Mr. Flance:

Sorry, I was trying to give some context, but let me just say two things. One, I don't know how and I'm going to ask the staff, how do you square what is being proposed, the streetscape that is defined or in the context that I just tried to describe? I don't understand that it is anything but an anomaly. And, secondly, in my letter, I don't understand why if the project is being considered of this magnitude and the reluctance to look at alternatives for the screening of the tower within St. John's campus, why an exception to the height limitations should be considered by this board? So those are my two questions, and I'd like somebody on the staff who recommended approval of this to answer those two questions.

Attorney Paez:

Thank you, Mr. Flance.

Chair Katz:

We will get to that after we have finished our public comment.

Mr. Flance:

Thank you.

Chair Katz:

Thank you. Can we have the next one?

Attorney Paez:

I'm going to pass this over to Manager Carly, because she's going to be driving the Zoom in the near future and wants to work on muting and unmuting.

Ms. Piccarello:

Thank you Sally. And Madeleine Carey, I believe you are able to speak now.

Stenographer:

I'm going to swear you in, do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Ms. Carey:

Yes.

Stenographer:

Thank you. Please state your name and address for the record.

Ms. Carey:

I'm Madeleine Carey, I live at 1674 Camino de Cruz Blanca. And I have two things to add based on the field trip and this dialog, one of which is starts with I live in the neighborhood. My house does not get service from this project, it wouldn't have gotten service from the previously proposed project, which is to say this is not the last cell tower that's going to be built in one of the city's historic districts. And I think we heard really articulately from Ms. Paez, about the lack of clarity and gaps in the city code in terms of directing applicants and neighbors and the board and how to manage this. And so, I caution the board in making any decision that would send us down a particular path in absence of clear guidance in the code. And I've been involved in a host of issues across the city this past year on Zoom and it's clear that there are parts of our code that are in direct conflict with community values and needs to evolve and existing or existing values. And so, I just offer that comment in observation it's become really clear during this process and that this is not

Chair Katz:

Thank you very much for your for your contribution. And, you know, we have a code and we know better than anyone that it's not perfect, but it's what we have and what we have to operate under. So, we'll try our best to do that. Thank you. Next.

Ms. Piccarello:

Rebecca Wurzbarger, I have, you should be able to speak now.

Stenographer:

Do you swear, under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Rebecca Wurzburger:

I do. Can you hear me?

Stenographer:

Yes, thank you.

Ms. Wurzburger:

Please, please don't count that. I'm going to try and get in the timeframe here. I'll try to be fast. All right. Thank you for all of your time, all of you. I'm Rebecca Wurzburger, I live at 1614 Camino Cruz Blanca. As a city councilor for District 2, over 12 years, it's, I have been aware that the HBoard's primary responsibility, as well as our city escarpment ordinance has been to protect our historic districts. And they've done a great job at this. One of the ultimate measures of the work that they've done is what used to drive me crazy, having to look at the issue of streetscape, which appeared to be amorphous, however, preserving the character of the streetscape, was always a guiding principle of countless HBoard decisions through the 12 years that I sat on the Council and even into the present as well as the past. I think it's very important to characterize exactly what is the streetscape: The visual character of a street or section of a street as defined by topography; the pattern of structures and open space; building and wall setbacks; street design; architectural design; heights, widths and proportions of structures, fixtures and graphics. If there has ever been a case that has been before the HBoard that is absolutely opposite to saving and protecting our streetscapes, it is this case. There has been no new information provided throughout the last two meetings in which I was able to participate that would change your August decision to deny the special exception. What is newest evidence that's been referenced earlier that there are options. They are not options that we have discovered from the person who's wanting to build this. Viewed in the context, it's clear to me that the proposed 65-foot monopole with multiple antennas is not remotely compatible with the historic streetscape. And I want to share one story right quickly.

Ms. Piccarello:

Chair, we are at two minutes.

Ms. Wurzburger:

Okay, living here, being a hiker, this is not just for our neighborhood. This is all for the families who during the pandemic brought their children up here and hiked and rely on this for not only recreation, but a spiritual connection to the beauty that we need to maintain. So, I encourage you, follow suit of SHPO, which has rejected this proposal twice and that you should find that the proposed tower irretrievably damages the character of the streetscape and please deny this application. Thank you.

Chair Katz:

Thank you.

Ms. Piccarello:

Does anybody else from the public wish to speak? I don't see any hands. Wait a minute. I have Brian Cannon and you should be able to speak and get sworn in.

Stenographer:

Do you swear, under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Brian Cannon:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Cannon:

Brian Cannon, 181 Loma del Oro, Corrales.

Stenographer:

Thank you.

Mr. Cannon:

Good evening. I would like to thank the board for this opportunity to speak today. Please refer to my letter previously forwarded for detail information with respect to my background and in support of my testimony here. Now I shall provide highlights of the key points utilizing information from the City of Santa Fe's Planning and Zoning Department's. Tax Personal Viewer, the City's GIS Department for Elevation Data and Google Earth probe for viewshed coverage and topographic profiles. Six alternative viable locations have been found on the grounds of St. John's College campus. These locations are shown as red triangles on page two of my letter. Three sites are located atop buildings, two on the western periphery and one centrally located. The remaining three sites are found on the natural terrain south and southwest of the main campus buildings. Due to the placement of the telecommunication equipment located in the tower at St.. John's United Methodist Church, estimated to be forty-five feet above ground and the projected elevation of a stealth tower estimated at an additional twelve feet atop any one of the three buildings, a clear line of sight to the tower can be achieved. Additionally, placing a 33-foot tower on any of the three remaining sites on natural terrain would also accomplish a similar goal of a clear line of sight to the church tower and enhance coverage of the campus itself. One additional site located atop the gym was studied, but due to its lower elevation, proved not to be a feasible for a clear line of sight to the church tower. As seen in my letter, which contains an elevational profile from each alternative site, no natural obstructions are encountered. Also, the placement of these towers, either on an existing building or south of the main campus, would not interfere with the local aesthetics of the neighboring community. There are two points I'd like to add, if I may, listening to Mr. Milks.

Ms. Piccarello:

You are at two minutes.

Mr. Cannon:

I have to keep in mind, may I mention one thing? Sites number 3 and number 4 are on elevation's on the natural ground above 34-feet and 84-feet respectively, then the proposed tower right now. So utilizing the natural landscaping provides an ideal location to receive an information back and forth from the church.

Chair Katz:

Thank you very much, that's been very helpful, appreciate it.

Mr. Cannon:

Thank you very much.

Chair Katz:

Is there anyone else we have?

Ms. Piccarello:

We have Stefanie Beninato and Stefanie you should be able to speak and get sworn in.

Stefanie Beninato:

Okay, thank you, can you hear me?

Stenographer:

Yes. Do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Ms. Beninato:

Yes, of course.

Stenographer:

Thank you. Go ahead and state, your name and address for the record,

Ms. Beninato:

Stefanie Beninato, PO Box 1601, Santa Fe, New Mexico. I think if there are alternative sites, they should be considered strongly. I particularly think that ones sort of closer to St. John's where the need is in a sense, the one that is most important, according to the college, to be met and still can serve the community without being seen so obviously by the community would be a good alternatives. So, I'm supporting some of the things that the speaker before me just said. If it has to be over in one of the other locations, I would suggest actually a real structure as some of you have and maybe at the Villa Torreon watch tower which would kind of fit in also, with a sort of historic landscape. So, that's my suggestion, thank you.

Chair Katz:

Thank you, Stephanie, is that all?

Ms. Piccarello:

We have Ricia White. I'm sorry if I'm mispronouncing that. You should be able to speak.

Stenographer:

Do you swear, under the penalty of perjury, that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

David Rasch:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Rasch:

My name is David Rasch. I'm here with Ricia, at her computer. My address is 21 Altura Road, Santa Fe, New Mexico.

Stenographer:

Thank you.

Mr. Rasch:

Mr. Chair, I'm assuming the board has seen my letter.

Chair Katz:

I have certainly read it, yes.

Mr. Rasch:

I have a few concerns. I was the historic preservation division director for 11 years of the 15 years I worked for the city of Santa Fe in the Land Use Department. I don't understand how the city attorney allowed the applicant to make testimony at the site visit. I was not there. I have not seen minutes from the site visit. I don't know the two other sites. This application is a monopole at one location, nothing about stealth, nothing about other sites. So, I don't understand what happened at the site visit. That was not a public hearing. I haven't heard any discussion of how these waivers have been met. I think if you find that the applicant meets each one of the waiver criteria [inaudible]

Stenographer:

Mr. Rasch, you're breaking up. I can't really hear you.

Mr. Rasch:

Sorry, in terms of different designs or locations for cell service, there are numerous ones. This application just provides one. So, there are roof mounted systems that can be stealth. I thought I heard the applicant or Dan Esquibel mention that the Methodist Church does have colocation in it. There are also sites that are not on buildings. But in addition to that, there are now cellular sites that are satellite, not even towers. Towers are now outdated. That is not the technology of the future. You could also do a distributed antenna site on campus. You have at least 12 light poles that these could be placed on. And that's in my map on the letter I wrote. And those could be tied in to a land line. They could be tied into another antenna seeking the Methodist church. There are many other design criteria and that's part of the waiver exception board must find if the applicant has met. But I point out that *Penn Central vs. New York City*, 1978 made it very clear that the highest and best use on a historic property or a historic structure is not a guarantee. You have to come up with other design options so that you can give reasonable accommodation to this need.

So in conclusion, what I want to say is the cost of reasonable accommodation may be higher because this is listed in a historic district or on a historic building. That is because it supports a higher good, a public good, not just the good of St. John's. Thank you.

Chair Katz:

Thank you, David. Are there other?

Ms. Piccarello:

Yes, we do, Leslie Markman-Stern. Leslie you should be able to speak and get sworn in.

Leslie Markman-Stern:

Thank you. Do you swear

Ms. Markman-Stern:

Hello.

Stenographer:

Hi, I'm going to swear you in. Do you swear under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Ms. Markman-Stern:

I do.

Stenographer:

Thank you. Please state your name and address for the record,

Ms. Markman-Stern:

Leslie Markman-Stern, 25 Wilderness View, Santa Fe, NM 87505.

Stenographer:

Thank you.

Ms. Markman-Stern:

I did write a letter and I felt after this conversation that my thoughts are that I am in the design community and my husband and I bought this land and built a house because of our views and because of the hiking trails. And I do feel strongly that whatever we do with a cell tower, it has to be form and function. It has to function because we I think we do need better cell service, but it has to integrate within the landscape. And I don't think some of these solutions that Sean brought up do and I think that him and the university have to spend some money so that it does conform to the university's architecture landscape. And I think this is going to be more costly than what they thought. But this is going to be a long term solution. And I do not think we should obliterate our landscape with something where we see the actual cables and the things that he described today. I think it should be housed within an architectural unit that comports with the architecture of St. John's College. Those are my thoughts.

Chair Katz:

Thank you very much.

Ms. Markman-Stern:

Thank you for the opportunity to speak.

Ms. Piccarello:

Next, we have Karen Durkovich. Karen, you should be able to speak and get sworn in.

Karen Durkovich:

This is my computer, but Steven Durkovich will be speaking.

Stenographer:

Thank you. Mr. Durkovich, do you swear under penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Steven Durkovich:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Durkovich:

All right. My name is Steven Durkovich. I live at 1607 Camino Cruz Blanca.

Stenographer:

Thank you. Go ahead.

Mr. Durkovich:

Members of the board, thank you for allowing me to appear. This presentation is in summary of what I presented in a letter which I would like you to read. On August 9th, it was presented to the board. And basically, the thrust of our position is, is we're sympathetic with the need for improved cell service, but we object to the means and the location in which it's proposed to be located. Okay, Mr. Cannon, who just testified, has given six different locations and he's provided proof by virtue of line of sight measurements between each of these locations and the tower that, again, viable that each a viable site. And it's important that the board pay attention to that, because you were not shown that on your view. You didn't get an opportunity to see that. So, your only opportunity to understand, you know, where those can be located is by looking at his presentation. As to the different types of facilities and alternatives that are available, they exist throughout town. And the two that we specify are the ones at the St. John's Methodist Church, which has been referred to and the ones at the Hotel Santa Fe. Mr. Milks said none of those would work, I designed them, I built them.

There is also a letter to the HDRB that you should read, it's from Paul Margetson who's the managing director of the Hotel Santa Fe, and what he said is Sean Milks did not design. He did not build it. AT&T built it and AT&T designed the stealth structure, the very structure that we think should be incorporated at St. John's. Okay,

and importantly, what he said is AT&T bid it, AT&T did it at AT&T's expense. Okay, that's OK.

Ms. Piccarello:

You're at two minutes.

Mr. Durkovich:

And AT&T leases it back. So that is available. And the final thing and I will finish up right here is there were expressions about what AT&T was doing on this project. AT&T has nothing to do with this project. Mr. Milks said yesterday to the New Mexican that he was AT&T's agent. AT&T responded in the New Mexican that they had no part of this project. And so that's that. And so all the testimony about what AT&T's engineers have done, they haven't done a thing. It's all Mr. Milks' testimony. Thank you.

Chair Katz:

Thank you, Mr. Durkovich.

Ms. Piccarello:

And do we have anyone else from the public that wants to speak?

Chair Katz:

If not, we'll bring it back to the board.

Ms. Piccarello:

Okay, well, let's see, I've got one hand that popped up, but then they are Richard.

Attorney Paez:

I do just want to announce one more time for our phone in attendee, you should be able to press star nine to raise your hand and speak via your phone connection on Zoom, so one more call for that as well. So, Mr. Groenendyke if you do want to speak, go ahead and re-raise your hand. Okay, we do have Mr. Groenendyke.

Ms. Piccarello:

Okay Richard, you should be able to speak.

Stenographer:

Do you swear, under the penalty of perjury that the testimony you're about to give is the truth, the whole truth and nothing but the truth?

Richard Groenendyke:

I do.

Stenographer:

Thank you. Please state your name and address for the record.

Mr. Groenendyke:

I'm Richard Groenendyke, okay, my wife and I live at 1128 West Ridge Road in the [inaudible] development one-mile up Camino de Cruz Blanca, from the proposed site. I haven't written you guys a letter, but I did attend the site visit today and I came

away hoping that you would be able to find a compromise because you're being pulled on so many different directions. I think the need for the cell tower service has been established, but it seems to me from listening to the claims made, you get in an awful lot of what would be expert advice, people weighing in as though they're telecommunication experts. What you do have, it would seem to me is, you have a planning commission that voted unanimously to approve the proposal. You have a staff for the planning commission and then your own staff that approved the proposal. And I guess you have to trust somebody sometime, but this Sean Milks guy seems to me to be someone who's tried to be candid. And I would urge you to go back to what I sensed today. I go down this road every day. Those guys in Las Miradores, they go out the other side, they won't to see the cell tower. I'll see it every day. And I understand aesthetics, but it's also the cost of coming into the 20th century for students, first responders and the Federal law is to a certain extent, makes your job very difficult. And so, I would urge you to try to find a compromise. Don't kick it down the road. It's not going to get any better and go ahead and side with your discretion. All you guys seem to have lots of common sense. Try if you can to have the courage it'll take to make a decision? Thank you very much.

Chair Katz:

Thank you, sir. Is there anyone else?

Ms. Piccarello:

I think that concludes, is there anyone else who, can you raise your hand if you still wish to speak? And I'm not seeing any hands.

[BOARD DISCUSSION]

Chair Katz:

Okay, well, then this closes the public hearing portion of the meeting, and we will bring it back to the board for discussion among the board members. And Buddy Roybal has his hand up, Buddy.

Member Roybal:

Thank you, Vice Chair. After listening to all the testimonies. I'm not convinced that everything that's been proposed by Sean Milks, that we can make a decision. I think we're probably going to have to postpone it to get some more information on alternative sites. Also, I don't think we have enough information from AT&T and other carriers of other possibilities. So, I'm hesitant to make any decision on this. I would like to postpone it and not deny it so that we can keep working on this. And, I know, we've listened to a lot of testimonies, a lot of people, and we've been going with this for quite a while. At this point. I don't, I personally don't feel that I can make the decision and approve this, and therefore, I would like to get it postponed. Thank you.

Chair Katz:

Thank you. Member Larson.

Member Larson:

Thank you. So, from my understanding of the situation, I personally feel that the use of cell towers is an inevitable face of historic districts, and it is something that we will continue to be challenged by in Santa Fe in the years to come. However, I thank the

community for providing all of this feedback. I think the consensus is here, that we have not been given the full amount of options at the moment. While we see cell towers come up in significant landscapes and national parks, often the same cell towers that are being proposed today. An example is at Grand Teton National Park at several trailheads, these towers with the stealth enclosures have been installed. And, it is, in my opinion, that these not significantly altered the landscape. However, in a neighborhood setting, I do believe there is more of a need to engage what the community needs and what St. John's needs. And after hearing everyone's feedback today during the field trip and during tonight's hearing, and I really appreciate being able to interact with you all, I think there is still an avenue that we should consider and explore. And I also base this decision off of the State Historic Preservation Office's feedback, which highly suggested that this would adversely affect the National Register listed St. John's College, not only for its architecture, but its landscape. And it is very jarring to me that some of the only options we were given are literally right in the middle of the trailhead and also on the trail. So this would require potential rerouting of trails. I just don't think at the moment we have enough information to make a thoughtful or informed decision, unfortunately. And I really appreciate, again, everybody's feedback and I look forward to discussing this more with the board. Thank you.

Chair Katz:

Thank you very much. Member Bienvenu.

Member Bienvenu:

Thank you, Chair Katz. While, I agree with the other two members in general that we have a lot of options still in front of us that are very and actually not just difficult to choose from, but impossible to choose from, in my opinion, given the state of the current record. On the other hand, as I mentioned at the last meeting, we're subject not only to our ordinance requirements, but federal law, specifically the Federal Telecommunications Act, which imposes its own requirements on us and to some extent preempt our historical ordinance, both in substance and procedure. And one of the things that it imposes on us is the so-called shot clock, which requires a decision to be made within a certain number of days from the time the application was filed, which in my mind and Attorney Paez can weigh in on this, but I believe that a postponement is not an option at this stage.

So given that I share the same concerns, but on the other hand, wish to reach some decision today pursuant to federal law requirements, I would propose an option that would provide approval of the application with conditions which would require the various options that have been presented to be evaluated through the process that's already in place, which is the so-called memorandum of agreement process with the State Historic Preservation Division, which will involve both the State division as well as the City as well as St. John's and presumably Gravity Pad, as well and possibly AT&T and utilize that process to reach a final determination of the best design and location of the options that have been presented to us, which would, in my mind, give us the benefit of both having a decision made, yet keep the options open to further discussion amongst those key parties in this case, with the outcome being required to be the least adverse impact on both the streetscape as well as the campus. So that would be my proposed solution. And I would be happy to try to frame that in the form of a motion to see if there is a second.

Chair Katz:

Okay, thank you. I, my view is that I share the frustration of the other three board members that we have simply not been given the information. Oh, so-and-so said that it won't work there. And that leaves me suspicious because there are things that we were told wouldn't work that we're now told, well, actually, that's not a problem. And there has been no close examination of this. It's enormously frustrating. And I would love to say let's postpone. I would love to say no. What's particularly disturbing to me is that the applicant hasn't met the requirements to have this before us. Yet the code requires that the federal law be dealt with first. In other words, the violation of the National Historic Preservation Act and the fact that this significantly impairs their statused buildings at St. John's. That's supposed to get resolved, first. The Feds have privacy, if they resolve something and say, yes, this doesn't impair the historic buildings there, then we know that. And then we can resolve it. But the whole way that this has been presented to us as, well just to prove it. And then they will decide it. The one thing that our job is, is to decide whether it is consistent with our historic styles standards. And they don't let us do that. And the only way that I have figured out that we can work around that, I think is sort of down the line that Member Bienvenu was talking, which is we can approve it with conditions that it be here and look like that and satisfy the city's ordinance and then have the MOA process give a chance for SHPO and the college and the city and the feds to talk about, okay, what would be the least impactful place to put this and in the least impactful design? And then if they can work it out, that's great. But I would not want to just carte blanche approve, oh you could put in any of these places. I think I mean, my preference, as you can obviously tell, is to completely camouflage it so that no one knows there's a cell tower there. And if we do a, I also think that location 3 is at least, seems the furthest away. It's certainly the furthest away from being dead set in front of the college. I would think they would care about that, but I can't quite figure that out. And I think it's the least visible. And then the question is what would we want the design to look like? And it seems to me that we've been presented a number of options. One is basically ugly tiers of antennas up and down the pole, which would make it as essentially, a six-foot in diameter chimney that goes up, that it could be any color that we specified in previous [*inaudible*]. It could be some sort of a tower, that the neighbors would be able to tell time, and that would be a little bigger, that I'm not sure that bigger makes that much difference at this point that might be a whole bunch more attractive. It could be in the shielding where there is no air to go through, which might help just about having to have it certain strength, a clockface facing Wilderness Gate, facing Las Miradores, facing the road as you're going up and facing the college could be an asset and it's not ideal, but without us being able to continue and saying we want to see that propagation study for sites at the campus, we want to know how many fewer homes would be served with a tower there than these other places. This is the crucial information. I mean, I think we know that any of these places work with the St. Johns Methodist Church connection, but obviously the builder is concerned about customers. I would like him to make a lot of money, that doesn't offend me. And putting it someplace where you can have all these layers of multiple antennas where you have space to increase the number of antennas seems to me, like the smartest thing to do. It would make Sean the most money, and I don't object to that, but it might not look as, so obviously a cell tower. So those are my thoughts. And John, why don't you get a try at a motion, if you would.

[MOTION TO APPROVE WITH CONDITIONS – FAILED]

Member Bienvenu:

Okay, I will. Thank you, Chair Katz. In Case Number 2021-3844-HDRB at 1116 Camino de Cruz Blanca, I move as follows, that the application be approved on the following conditions:

First, that all conditions imposed by the City of Santa Fe Planning Commission be incorporated into this approval.

Second, that the tower and antennae be concealed within a bell clock or similar tower or other stealth design that is compatible with the architecture of the existing buildings on the St. John's College campus, not to exceed sixty-five feet in height.

Third, that the tower be located at whichever of the following locations, the state's historic preservation division, St. John's College, and the city of Santa Fe, agree in the Memorandum of agreement process would provide the needed coverage with the least adverse impact on the historic St. John's College campus and the applicable streetscape. One, on or adjacent to one of the existing buildings on the main campus, or two in the general vicinity of site options 1, 2 and 3, as presented by the applicant. And further, that the same parties approve the final design of the tower as having the least adverse effect.

Fourth, that the applicant certify, in writing, that the proposed facility is necessary to close the defined insignificant gap in service coverage based on actual signal strength data for the area where the gap is claimed and with the type of gap claimed and that the proposed facility is the least intrusive method to do so.

I'll just add that the motion is based on and incorporates findings of fact and conclusions of law that state that with these conditions, all applicable exception requirements for height and design are satisfied and the applicant has demonstrated that it has explored all alternatives and that no other less intrusive means or alternatives are practicable.

Chair Katz:

Thank you. Member Larson.

Member Larson:

Yes.

Chair Katz:

We need a second here, if we're going to discuss that. Is there a second? I would second. Member Larson, discussion.

Member Larson:

Yes, discussion. I appreciate Member Bienvenu's thoughtful motion. It is really well articulated. My only issue is I do think that what I've gained from our discussion with the applicant tonight is that the volume of the monopole or the proposed stealth as a clock tower sort of interpretation, or design would add significant weight to the not only the landscape, but to add extra volume to the structure itself. And I would

strongly oppose the creation of a clock tower structure and I would strongly encourage a earthen colored monopole with a stealth as proposed with a tinted concrete foundation if we were to move forward. And that is based on different options that have been presented and natural spaces, including national park service spaces.

Chair Katz:

Thank you. Member Roybal.

Member Roybal:

I'm a little concerned of all the conditions we have put on the that. I can appreciate all the wording, but it just seems, I don't know how they can meet all those conditions where we're all going to be satisfied, everybody's going to be satisfied. So, I do appreciate all the effort on that, but I guess we need to call it for a vote. Thank you.

Chair Katz:

Thank you, Member Roybal. Let's have a roll call vote.

Stenographer:

Member Bienvenu?

Member Bienvenu:

Yes.

Stenographer:

Member Larson?

Member Larson:

No.

Stenographer:

Member Roybal?

Member Roybal:

No.

Stenographer:

Vice Chair Katz?

Vice Chair Katz:

Yes.

Stenographer:

Mr. Chair, you have a tie.

[BOARD DISCUSSION ON ANOTHER MOTION]

Chair Katz:

Guess what? We have a tie, and we have no way of breaking the tie. Do we have another motion?

Member Larson:

I don't know if this will solve anything, but is it possible to add a friendly amendment, to the motion, to John's previous motion?

Chair Katz:

Sure.

Member Larson:

Okay, my friendly amendment

Chair Katz:

Well, the motion has failed, but why don't you say what it is that you think would maybe break the deadlock.

Member Larson:

So, this ties into what I had said previously, strongly opposing the addition of a clock tower style stealth. I would instead propose a stealth that is a earthen color such as a weathered steel and a tinted concrete foundation to the proposed monopole and that would be my only amendment to the motion that was made.

Chair Katz:

Were you basically suggesting a what would be like a circular chimney that would look for all the world like it's just a circular chimney that's earth tone colored?

Member Larson:

It would be as the monopoles that we discussed in today's hearing, early on when you saw the examples of specifically the monopole on Cerrillos. However, I would suggest that it would be an earthen tone, such as a brown color with a tinted concrete foundation to be more harmonious with the streetscape and landscape, not standing out as vividly as a white round structure would. And yes, this will be a cylindrical type that's well above the minimum circumference as proposed.

Chair Katz:

Okay, so Member Bienvenu, would you be willing to add that as one of the possible designs of a tower with 65 feet maximum height, where all of the antennas are concealed within basically a large straw of dirt color.

Member Bienvenu:

Well, certainly that was the intention was to provide all possible design options that are that are concealed to that process for determination. I just don't want, I'm trying to avoid handcuffing the stakeholders who are most appropriately charged with determining which is the least intrusive structure that would have the least adverse effect. I personally would probably be very satisfied with Member Larson's actual solution. I just don't necessarily want to hamstring the process. So, I'm more than happy to specifically add that as one of the options.

Chair Katz:

Member Larson, does that make you more favorable towards Member Bienvenu's motion?

Member Larson:

Yes, and thank you Member Bienvenu for being clear and understanding about that and also recognizing the desires and needs of the stakeholders. And I would note that, there are several examples that I would be happy to provide, thank you.

Chair Katz:

Member Roybal.

Member Roybal:

Before we go, you really need to go by Savers and look at that white, what you're talking about. I don't care how color you make it, it is really intrusive. It's just plain ugly. So, encapsulating everything within that cylinder you're talking about, it's just going to be ugly, no matter what color you put on it. So, before you make that motion, you really need to go by Saver's and look at that white tower that's out there. It's pretty bad. Thank you.

[MOTION TO APPROVE WITH CONDITIONS – PASSED]

Chair Katz:

Thank you. So, what's the pleasure of the board? Do you want to restate your motion, Member Bienvenu?

Member Bienvenu:

I'd be happy to read it again since I wrote it down, but I could, I know that Attorney Paez takes excellent notes and we could just say I'm restating the motion with the specific added language that within the design options to be permitted, would be the stealth design of a, perhaps Member Larson could describe specifically what she had in mind.

Member Larson:

Yes, to specify the stealth design would be as presented earlier in this hearing, a very simple cylindrical structure with the minimum height and minimum circumference and earthen colors such as an oxidized or weathered steal with a tinted concrete foundation instead of a raw concrete foundation to blend better with the landscape.

Commented [MB2]:

Member Bienvenu:

Okay, so just to be clear, that would be an additionally specified design option that would be permitted by these conditions.

Member Larson:

Yes, I believe, it would because it would be monopole with a enclosing stealth cylinder.

Attorney Paez:

I would be happy to repeat the motion, as I understand it, if that would be helpful for the record,

Chair Katz:

That would be very helpful.

Member Bienvenu:

That would be very helpful.

Attorney Paez:

Okay, and we would be considering this a new motion, so I'll ask the maker and the second to affirm this. But what I have is motion to approve the application with the following conditions:

One, all conditions imposed by the Planning Commission shall be incorporated.

Two, the tower and antennas shall be concealed in a stealth design, for example, a bell clock or other tower or watch tower or a stealth cylinder in an earthen color, with a tinted steal base, perhaps constructed of oxidized steel. I'll have to, I'm going to watch this recording too. A condition regarding the design shall be compatible with the architecture of on campus. So, stealth design within that range of options is compatible with the architecture on campus, with a maximum allowable height not to exceed sixty-five feet in height. And I would just note that that is a condition included within the Planning Commission's approval. But I think it's helpful to reiterate that; and

Located in whichever of the following locations that the parties to the MOA, including the consulting party of the city can agree has the least adverse impact on the streetscape and the campus, and that would include adjacent to existing building or site options, 1, 2 or 3, as provided in the previous application on the case that was denied in 2020; and

The applicant shall certify in writing that the proposed facility is necessary to close a gap in coverage and is the least intrusive method to do so and with a finding that the motion is based on and incorporates findings and conclusions stating that all applicable exception criteria for height and design have been met and that the applicant has explored alternatives and that there are no less intrusive means.

And that last stuff, I think is based on the draft findings of fact and conclusions of law that were in fact included in the packet, as sort of a worksheet with checkboxes. So, you know, checking the findings with regard to least intrusive means and all the waiver criteria have been met that I think was the intent of those sort of special findings. Does that adequately capture it?

Member Bienvenu:

Yes. Yes, I mean I could read each individual exception, but I think that you can just say that with these conditions, all of them are met.

Attorney Paez:

The waiver criteria as set forth in the telecommunications ordinance, many of which actually come from our exception criteria in our historic districts ordinance.

Member Bienvenu:
Right.

Attorney Paez:
I'm satisfied that I understand it, if that made sense to Member Bienvenu.

Member Bienvenu:
Yes,

Chair Katz:
Member Larson.

Member Larson:
Yes. Thank you Sally, for summarizing all that. There's only one modification and that is just instead of a steel base, just change that to concrete than I think that's good. Thank you.

Chair Katz:
Okay, thank you. I would second that motion, and I would ask the maker whether he would accept an amendment that specifies that it could be near the main campus or their optional site, 3, eliminating sites 1 and 2, which I think are much more visible from the road area. That limits somewhat but I think a bit of our job is to specify what we would like to see.

Member Bienvenu:
Well, yes, I mean, I do prefer to keep the options open. I would again, once again agree that it seems that the lower it is, the better. But that might depend on what the exact design is. And if it's a tower, for example, it may be determined by those parties that it would be better suited at one of the other locations. So, it just seems to me that keeping all the options on the table for them to consider to come up with the best possible solution, that has the least intrusive impact is the better way to go.

Chair Katz:
Thank you. Member Larson your hand was up and then it came down, now it's up again. What you got?

Member Larson:
Okay, I just wanted to get into the record that I would remind everyone that Site 3 was the site that was most intrusive to the trail portion of the landscape and that would likely be considered, in the MOA that would be discussed with SHPO and to just keep that in mind. But I agree with Member Bienvenu that it would be quite limiting to suggest Site 3. When it may, in fact, be more appropriate to use Site 2A or Site 1. Thank you.

Chair Katz:
Thank you.

Member Bienvenu:
And I would also add that the motion allows anything in between those sites as well that are roughly the same elevation.

Chair Katz:

Yes, thank you, Melissa, may we have a roll call?

Stenographer:

Yes, Member Bienvenu?

Member Bienvenu:

Yes.

Stenographer:

Member Larson?

Member Larson:

Yes.

Stenographer:

Member Roybal?

Member Roybal.

No.

Stenographer:

Vice Chair Katz?

Chair Katz:

Now I know why Cecilia is always so upset when she's called on to vote in these. I am not at all happy, but I don't think we have options because of the way this has been handled by the city. And I will vote yes

Stenographer:

Thank you, the motion has been approved.

Chair Katz:

Okay, somewhere I have an agenda that says what we were supposed to do next.

[BOARD DISCUSSION ON FINDINGS AND CONCLUSIONS]

Attorney Paez:

I apologize before we move on Chair Katz. I didn't give the option of potentially adopting findings and conclusions tonight. There was a draft that was included in the packet. I understand that Member Bienvenu's motion, indicated that he would find that all of the criteria had been met. I have the kind of checkboxes; all the criteria had been met if all of the conditions were imposed. I would just like to ask if the Board's comfortable adopting a written decision tonight, a written decision, going back to our concern that we do have a federal obligation to process the application within a certain time period and our next meeting is not scheduled until September 14. So just before we move on I want to open that up to another motion, if anyone's comfortable making one tonight,

Member Bienvenu:

Can I get clarification? I wasn't clear. I thought that we did address that by saying that the application is approved with conditions and that those conditions satisfy the, all applicable exception criteria.

Attorney Paez: That's great if that was your intent. And I was going to and I just I wasn't a hundred percent clear on that. So, I might respectfully request just a motion to approve the draft findings of fact and conclusions of law with the findings as indicated in the previous motion and the additional conditions stated on the record, if you're willing to do that just so we have a definite adoption of a written decision tonight, would be a good ideal, in my view.

Chair Katz:

I think that this is a complicated case and the motion was fairly complicated. I would be a lot happier to see the findings and conclusions and hopefully we could do it very promptly and have a special meeting, which would only be to approve the findings and conclusions so we can get that wrapped up, I hope, within a week. Is that possible, Sally?

Attorney Paez:

I think so. My last day is in two days, of course. But we have Mr. Prinz here, and I'm sure he can help bring that across the finish line in coordination with Historic Preservation Division staff. So, if that is the preference of the Board, we will work to schedule something as soon as possible. Of course, we're going to want, at a minimum, probably just the four members of the board here tonight would need to come to a special meeting. We can do shorter notice requirements, then when we do public hearings, because it won't be a public hearing, it will be an approval of the draft findings and conclusions. So totally amenable to that. I just wanted to make sure we had a plan on that one way or another.

Chair Katz:

Okay, Member Bienvenu.

Member Bienvenu:

Yeah. To me, the motion was intended to incorporate all of those findings that are set forth in the proposal. If you want me to read them into the record, I could, but I was attempting to just short circuit the necessity of stating each one individually by saying we find that they are all met and they could be specified in the written findings.

Chair Katz:

That's not so much what I was worried about. It's like all of the conditions and such. But whatever is the pleasure of the, someone can make a motion to approve some findings and conclusions of an uncertain nature.

Member Bienvenu:

Well, I'm still looking for some clarification from Attorney Paez, what she thinks is missing because I intended the motion to be based on and specifically find that all of the exception criteria are met with those conditions.

Attorney Paez:

I understand the intent. If the Board's not comfortable with it, then I don't think that's okay. But if the board is comfortable with that, I do think it's okay. There was a draft in the packet. There was a number of findings that were presented in the alternative with the checkbox because I thought we were going to be doing this in a person at City Hall and I wanted to at least have the option of marking the yes, we find the things that we have to find to grant an application. So in that application, there was a series of those and then there's conditions. But if we want to add more or change things.

Chair Katz:

I don't think we have a motion, so I don't think we're going to go further on this. Unless there is. My hope is that if we don't have it resolved, that we can have it resolved within a week and that would be really good. Member Bienvenu, your hand is still up, I'm not sure whether you want to talk again or hadn't taken it down.

Member Bienvenu:

Well, I'm still hesitating because I want to make sure that Attorney Paez's concerns are addressed. But again, the motion was intended to adopt all of the findings that are necessary to find that all applicable, exception criteria have been met with those conditions being imposed.

Chair Katz:

I guess that makes sense.

Member Bienvenu:

I'm not sure what the disconnect is.

Chair Katz:

The disconnect is that, it almost feels as though the motion is that we're making a finding that anything goes, do what you want. We're not specifying much of anything. And, I thought when you made findings, you're supposed to actually sift through the facts and make a finding as to which facts you are comfortable with and which you don't find to be true or whatever. And we certainly aren't doing any of that. That said, you know, I'm just one of the members.

Member Bienvenu:

I'm personally comfortable with the motion as stated. If there needs to be anything additional in Attorney Paez's opinion than we should have it.

Attorney Paez:

I'm likewise comfortable with the motion as stated but only if that is the will of the Board.

Chair Katz:

The motion was passed, we're talking about how we deal with findings and conclusions and Member Roybal has his hand up.

Member Roybal:

Vice Chair Katz, what you just said is absolutely true, it sounds like it lays on the findings and conclusion that we can really get specific. It's like anything goes and that really, really bothers me, that anything goes. We don't really come down to actually, the specifications of everything, all the conditions and I don't see how that can be done in a week. I don't see how that can be done, so, so much for that.

Chair Katz:

Thank you. So where do we stand? Do we have any motions, or should we move on?

Member Bienvenu:

Just to be clear, the motion does not permit anything to go because it specifically limits the design and the location to those designs and locations that were specified in the motion and that are ultimately approved by the parties to the memorandum of agreement process as being, as having the least adverse impact on the streetscape and the historic campus.

Attorney Paez:

In addition to the conditions imposed by the Planning Commission, of which there is about 15 enumerated at a maximum allowable height of 65 feet. I mean to the extent there's a desire to adjust the draft findings before adoption, I mean, I think the conditions are clearly stated and I can rewrite those and I can select the findings to indicate things have been met on the condition that all of the conditions are imposed. But, if the Board wants to, for example, draft more specific factual findings based on the packet, the evidence, the testimony, and you want to send me additional factual findings that you like to see incorporated, that's beyond the scope of what I think we can really do tonight. So, if that's your desire, that you want to write out more specific factual findings to put in the written draft decision, I think in that case, I would request that you turn those around within a day or two and we'll schedule a meeting as soon as possible and put a draft out there for your consideration at a subsequent special meeting for that purpose.

Chair Katz:

Flynn you had your hand up.

Member Larson:

I'm good.

Chair Katz:

Okay, I agree with Buddy, I'm not ready to vote on findings and conclusions tonight. I would hope that, as is normally the case, the City Attorney's Office would provide us with a draft of the findings and conclusions and that we could comment on it. And hopefully we'll get that turned around as quickly as you all can do it.

Attorney Paez:

Okay, yeah, I'll take out the checkboxes and whittle it down to the appropriate findings, insert the conditions and circulate it for your editing pleasure and schedule a special meeting through staff.

Chair Katz:

Thank you, I mean, I would like to accommodate everybody by getting this done as promptly as possible.

[END VERBATIM TRANSCRIPT]

Approved by:

Frank Katz, Vice Chair

Submitted by:

Melissa D. Byers
Melissa Byers, Stenographer
For Byers Organizational Support Services

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
August 24, 2021

<u>ITEM</u>	<u>ACTION TAKEN</u>	<u>PAGE(S)</u>
Call to Order	5:37 pm	1
Roll Call	Quorum Present	1
Approval of Agenda	Approved, as amended	2-3
Approval of Minutes	Postponed to September 14, 2021	3
Approval of Findings & Conclusions	Approved, as amended	3
Matters from the Public	Comments	3-4
Staff Communications	Comments	4
Matters from the Board	Comments	4
Next Meeting	September 14, 2021	4
Adjournment	5:52 pm	4

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
August 24, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:40 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v=kvK4ajmVoQo>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Mr. John Bienvenu
Mr. Buddy Roybal

MEMBERS ABSENT:

Ms. Jennifer Biedscheid
Mr. Anthony Guida
Ms. Flynn G. Larson

OTHERS PRESENT:

Ms. Nicole Ramirez Thomas
Ms. Mike Prinz, Assistant City Attorney
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Ramirez Thomas said the August 10, 2021 minutes would not be considered evening but would be on the agenda for the September 14, 2021 meeting.

MOTION: Member Katz moved, seconded by Member Roybal to approve the agenda, as amended.

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Bienvenu, Katz, and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. August 10, 2021

Postponed to September 14, 2021.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2021-003910-HDRB. 259 Montoya Circle #2.

2. 2021-003844-HDRB. 1160 Camino de Cruz Blanca.

Member Bienvenu requested a change to Case 2021-003844, 1160 Camino de Cruz Blanca, He said on page 6, Conclusion Number 2, there is a remnant from a revision, and he wanted to make sure that after the word "tower" there should be a " , " not a " ; " .

MOTION: Member Bienvenu moved to approve the Findings of Fact and Conclusions of Law, as amended. The motion was seconded by Vice Chair Katz.

VOTE: The motion passed by unanimous (3-0) roll call vote with Members Bienvenu, Katz, and Roybal voting in favor and none voting against.

E. MATTERS FROM THE PUBLIC

Stefanie Beninato said it was distressing to see the agenda and see that there's no business listed all. She said she was concerned the City doesn't have representation at St. John's by somebody who understands what happened.

She also brought up bring up 128 West Burger which is owned by Mr. Smith. He came in about the wall and how he had to open the wall up to develop a shed on that property. Now there's a permit that is hidden by a bush, but they are making the shed into a guest unit and it's under permit 21-136 which was issued in April 2021 by

Eli Isaacson. She didn't remember seeing a yellow sign up there for an H-Board meeting.

Chair Rios said no one else from the public asked to speak.

F. STAFF COMMUNICATIONS

Ms. Ramirez Thomas said she's going to wait until next week to talk about the H-Board field trips which she hoped to do for the September 14, 2021, meeting. She's concerned that the City has moved back to the virtual meetings and the field trips may not be possible.

Chair Rios said that it important to see the properties.

G. OLD BUSINESS

H. NEW BUSINESS

I. DISCUSSION ITEMS

Mike Prinz, Assistant City Attorney, said the City has hired a new attorney who will be handling the H-Board matters and he will be at the September 14th meeting.

J. MATTERS FROM THE BOARD

K. NEXT MEETING: Tuesday, September 14, 2021

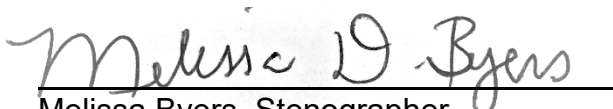
L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 5:52 pm,

Approved by:

Cecilia Rios, Chair

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004118--HDRB

Project Description:

Project Location(s): 638 E PALACE AVE
Santa Fe, NM 87501

Contacts:

Property Owner: Scarlett Breeding

breedingscarlett@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: 1985

Year of Construction: 1946

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004118-HDRB

Address: 638 East Palace Avenue
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends the north façade (façades 1, 2 and 3) and east façade (façade 4) be designated primary, per 14-5.2(C) Designation of Significant and Contributing Structures per the definition of primary façade in Definitions in 14-12.

BACKGROUND & SUMMARY:

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. The applicant requests designation of primary facades. The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The north façade is (façades 1, 2 and 3) thus publicly visible, containing an integrated entry portal, while the east and south facades are not. The west wall is attached to the neighboring unit.

There have been no additions made to the property and the 6-over-1 windows and lintels on the north (1 -3) and east (4) façades are original. In the opinion of staff, the portal and original windows on facades 1 – 3 comprise the character-defining features of the structure. The doors on the south façade (#5) are non-historic, as is a new window to its left.

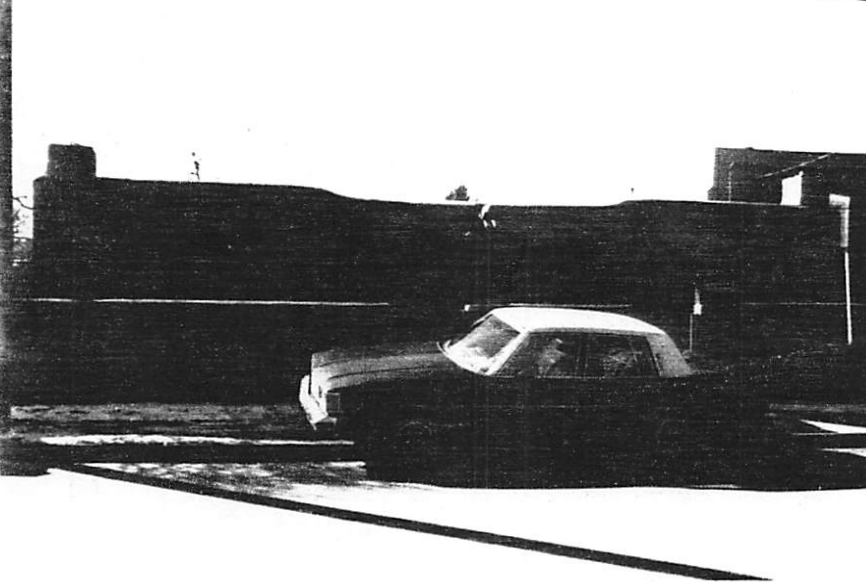
CODE CITATIONS:

Article 14-12 Definitions

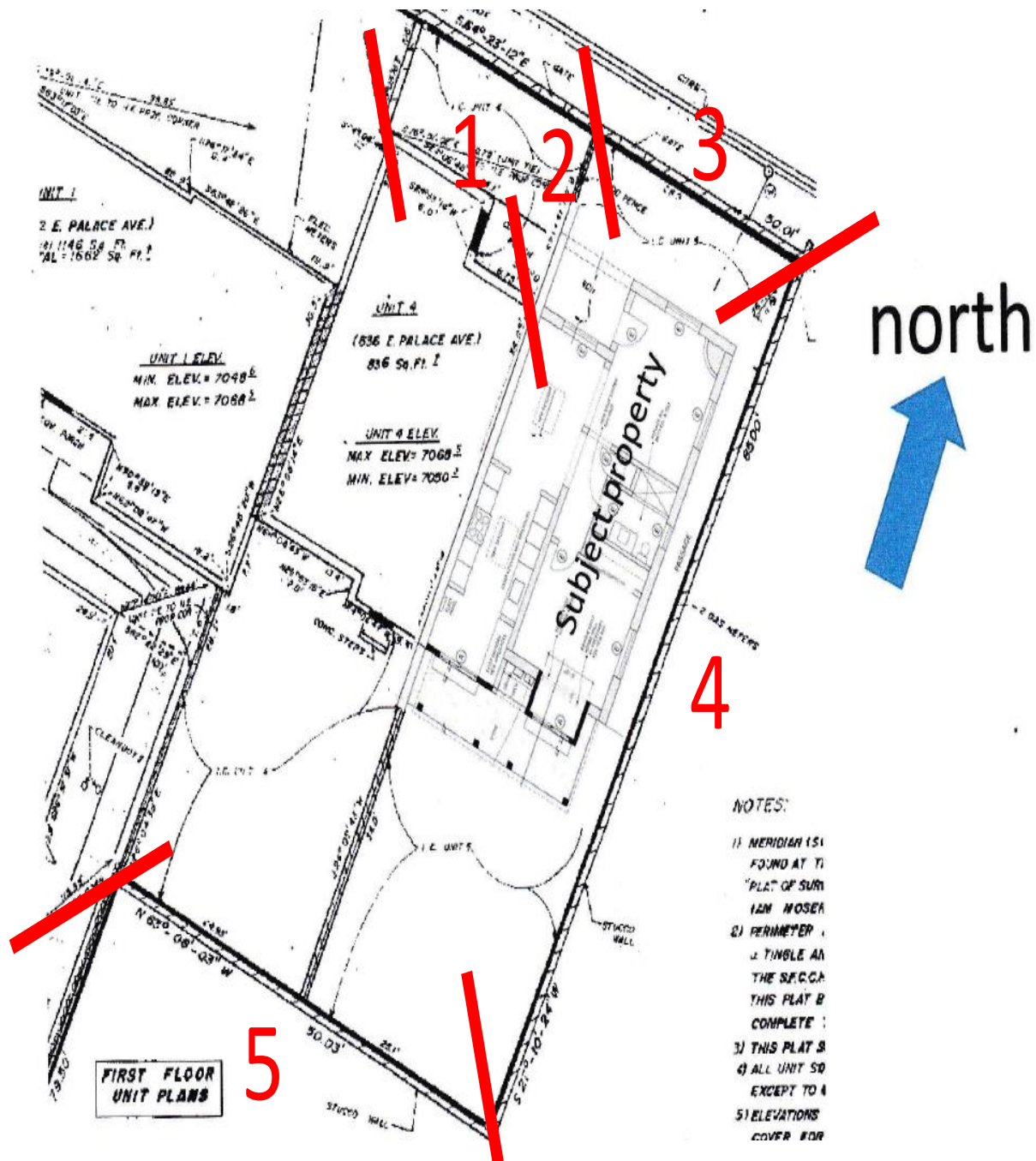
FAÇADE: One whole exterior face or elevation of a structure from grade up to and including the top of the parapet. An individual façade is defined as including at least an eight-foot width that is offset from an adjacent plane by at least four feet.

NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H 2851

building threatened? yes	surveyed date 3/85 by SL	county SANTA FE	ID no. 051612285
field map SFHD # 5	number 2285	UTM reference zone 12 13	easting northing
location description 636, 638 ^E PALACE AVE.		city/town SANTA FE	
building name		legal description tensp N S range E W sec $\frac{1}{4}$ $\frac{1}{4}$	
film roll by SL no. 34	negative nos. 33	loc. of neg. HPB	plan shape w/ canales 632 attached
		date of construction '34-'44 estimate _____ actual	
		source directory	
SPR		wall material/surface conc. adobe?/stucco	
architectural features flat rounded parapet (step down at porch) concealing shed which drains via canales on S.		condition excellent _____ good <input checked="" type="checkbox"/> fair _____ deteriorating _____	
windows: 3/1 wtd dbh tandem ^{+single} w/ cypos'd wd lintel		degree of remodeling minor _____ moderate _____ major _____	
doors: solid w/ 3 sm lits w/ expos'd wd lintel		describe:	
comments		surroundings residential	
		relationship to surroundings <input checked="" type="checkbox"/> similar _____ not similar	
		district potential <input checked="" type="checkbox"/> yes _____ no	
		significance eligible _____ of <input checked="" type="checkbox"/> _____ none	
		if eligible, interest why? contrib.	
		associated buildings? _____ yes what type?	
		if inventoried, list ID nos.	
		see back? _____ yes	

638 East Palace Façade Diagram



Date: July 16, 2021

TO: Santa Fe Historic Commission

FM: John Alt and Scarlett Breeding

RE: Primary Façade Designation for 638 E. Palace Ave, Santa Fe, NM

The subject property was owned by the same family for over 30 years who carefully maintained but did not modify the existing structure.

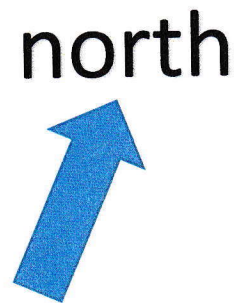
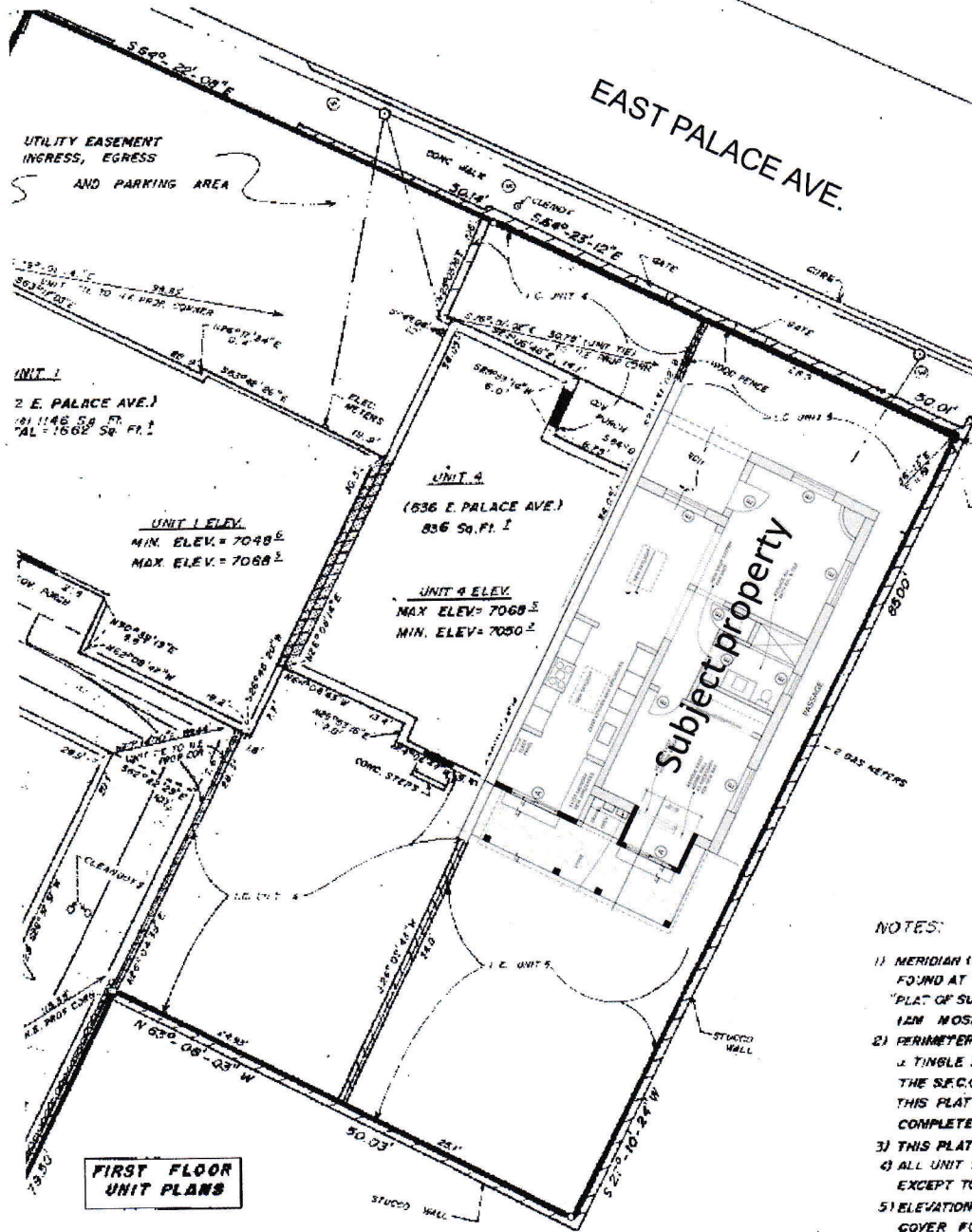
As the attached photos indicate, the North facing façade, seen prominatly from Palace Avenue, is the only visible elevation seen from a public way. Original wood header exists over the front portal as a defining feature. Original single pane double hung windows remain. The East façade is perpendicular to Palace Ave and facing a narrow passage, approx. three feet in width, connecting the front courtyard with the rear courtyard. This elevation is not visible from Palace Ave and is difficult to see walking from front to back due to the narrow passage and severe perspective angle. Original windows remain on this elevation. There is no West façade because it is a common wall with the adjacent dwelling unit. The south façade faces into a private rear courtyard fully enclosed with six foot high yardwalls, none of facades except the North facing is visible from a public way.

The subject building was constructed in 1946 according to public records. The existing double hung windows, three over one, with $\frac{3}{4}$ muntins, wood lintels and stucco color are all original. There are no discernable or known alterations to any of the facades except the south facing façade: The exterior door in the south façade, now damaged, has been replaced. The small window left of same door with no mutins was added. Judging from the appearance and composition of the door and hardware, this replacement was made in the 1980's. The door muntins are $1\frac{1}{4}$ inches and do not match the original windows. The small window appears to be of the same time.

Please see photos attached.

We appreciate your attention to this matter.

Scarlett Breeding and John Alt



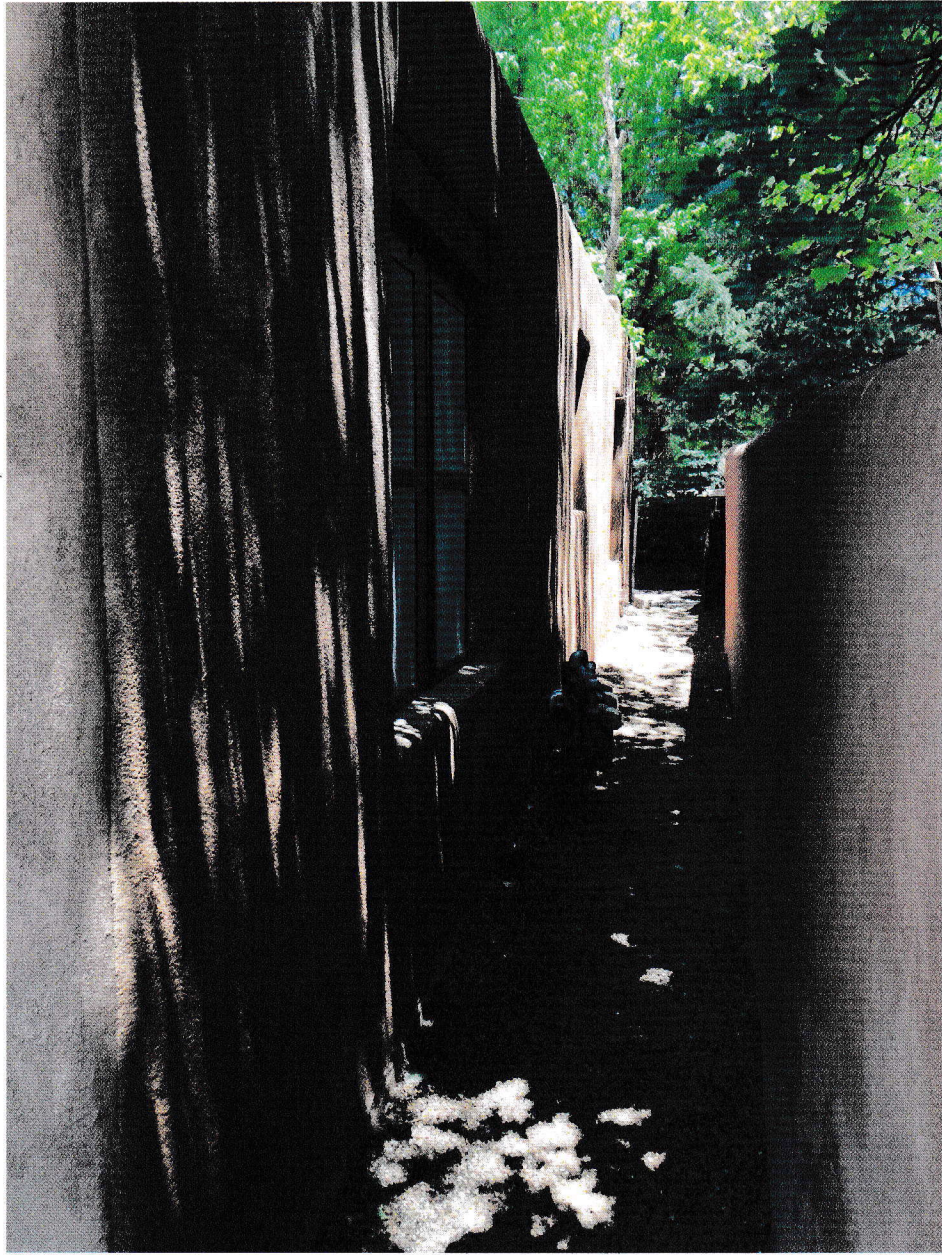
SOUTH FAÇADE—VIEWED FROM THE PRIVATE REAR COURTYARD

NOTE: This façade is not visible from a public way and is completely enclosed in 6 ft. high yardwalls.



NORTH FAÇADE AS SEEN FROM E. PALACE AVE.

NOTE: This is the only façade visible from a public way.



EAST FAÇADE—LOOKING OUT TOWARD E. PALACE AVE.



SOUTH FAÇADE—VIEWED FROM THE PRIVATE REAR COURTYARD

NOTE: This façade is not visible from a public way and is completely enclosed in 6 ft. high yardwalls.



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004118--HDRB

Project Description:

Project Location(s): 638 E PALACE AVE
Santa Fe, NM 87501

Contacts:

Property Owner: Scarlett Breeding

breedingscarlett@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: 1985

Year of Construction: 1946

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004119-HDRB

Address: 638 East Palace Avenue
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. In Case # 2020-004118-HDRB, heard on September 14, 2021, primary facades were designated.

The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The north façade is thus publicly visible, containing an integrated entry portal, while the east and south facades are not. The west wall is attached to the neighboring unit.

The applicant now requests the following items:

1. Construct a new ca 180 square foot patio and portal on the south side within the walled, rear courtyard. The patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. The portal shall be supported by four 8 by 8 inch wood columns and 3 by 10 inch wood beam, with exposed rafters and flat roof (sloped to drain). It will be set back from the east property line shall be 5 feet, one inch, and from the west property line shall be 1 foot 10 inches (to centerline of common yardwall). The portal depth shall be ten feet from the south face of building and shall be stained to match the exposed lintels of existing structure.
 2. As requested by the Fire Marshal, the existing east common yardwall shall be, for the depth of the portal, extended upward to the height of the portal roof, or 8 feet, which is the maximum allowable height. The extension of the common yardwall shall be finished with stucco colored El Rey “La Luz” to match the existing condition. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal.
 3. Replace the existing windows and doors on the south elevation with two sets of 5 foot wide Anderson patio doors with simulated divided lights.
 4. Install two, flat, curbed 3 by 5 foot skylights to the existing roof. These shall not be visible from E. Palace Ave. or from adjacent properties.
 5. Install a mini-split HVAC unit with condenser unit on roof, surrounded by a screen-curb painted to match roof color.
 6. Replace the concrete walkway in the front courtyard with existing brick to match remainder of front courtyard.
 7. Repair, caulk, and repaint existing windows.
-

8-13-21

TO: Santa Fe Historic District Review Board

FM: Scarlett Breeding and John Alt

RE: Proposal Letter for Improvements to 638 E. Palace Ave., Santa Fe, NM

The existing 836 SF one-story, stucco residence was constructed in 1946 as unit #5 of the six unit "Palmeda" condominium complex. The unit #5 lot size is 2,125 SF, including front and rear walled courtyards. No known alterations have been made to the residence since its construction.

Proposed improvements are as follows:

1. Construct a new patio and portal on the south side within the walled, rear courtyard. Patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. Portal shall be supported by four 8"X8" wood columns and 3"X10" wood beam, with exposed rafters and flat roof (sloped to drain). Portal setback from the east property line shall be 5'-1", and from the west property line shall be 1'-10" (to centerline of common yardwall). Portal depth shall be 10'-0" from the south face of building. Portal shall be stained to match the exposed lintels of existing structure.

As requested by Fire Marshal, the existing east common yardwall shall be, for the depth of the portal, extended upward to the height of the portal roof. The extension of the common yardwall shall be finished with stucco to match the existing condition. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal.

2. Replace existing exterior door and windows on south elevation with two 5' wide Anderson patio doors with simulated divided lights.
3. Install two, flat, curbed 3'X5' skylights to the existing roof. Skylights shall not be visible from E. Palace Ave. or from adjacent properties.
4. Install a mini-split HVAC unit with condenser unit on roof, surrounded by a screen-curb painted to match roof color.

5. Replace concrete walkway in front courtyard with existing brick to match remainder of front courtyard.
6. Repair, caulk, and repaint existing windows.
7. Repair miscellaneous non-structural cracks in existing stucco finish.
8. Replace exist. kitchen cabinets and appliances, existing laundry cabinets and appliances, and existing bathroom fixtures.

NOTE: Palmeda Condominium HOA has granted their approval for these proposed improvements. (See attached.)

Proposal Letter for Improvements to 638 E. Palace Ave., Santa Fe, NM

Attachment

From: Yvette Debarr <ydebarr@yahoo.com>

Date: June 20, 2021 at 12:59:16 PM MDT

To: liz@lizsheffield.com

Cc: patrick donley <podonley53@gmail.com>, John Dubendorff <dubendorff@hotmail.com>, Debbie Daniel <danieldebra@hotmail.com>

Subject: Palmeda Condo Assoc Architectural Review Board(ARB)

Liz,

An emergency meeting was held of the ARB to discuss installation/construction of a portal and/or pergola at 638 E. Palace Ave.

The ARB consists of 3 members:

Pat Donley - owner of 635 1/5 E. Alameda & HOA President

John Dubendorff - owner of 635 E. Alameda

Judith Welch - owner of 638 E. Palace Ave

It was decided that Judith would be exempt from voting due to a conflict of interest as the proposal involves the sale of her property.

The vote to allow the above was approved by both members, Pat Donley & John Dubendorff. As they hold a 66% share of the vote and thus constitute a quorum, the proposal passed on the basis that the aforementioned structures do not abut a shared HOA member's property/wall as this would constitute a "limited common" element and require further discussion with the appropriate homeowner(s).

I have included our HOA Secretary, Debbie Daniel, so the information is on record and included as an addendum or in the minutes of the next HOA meeting.

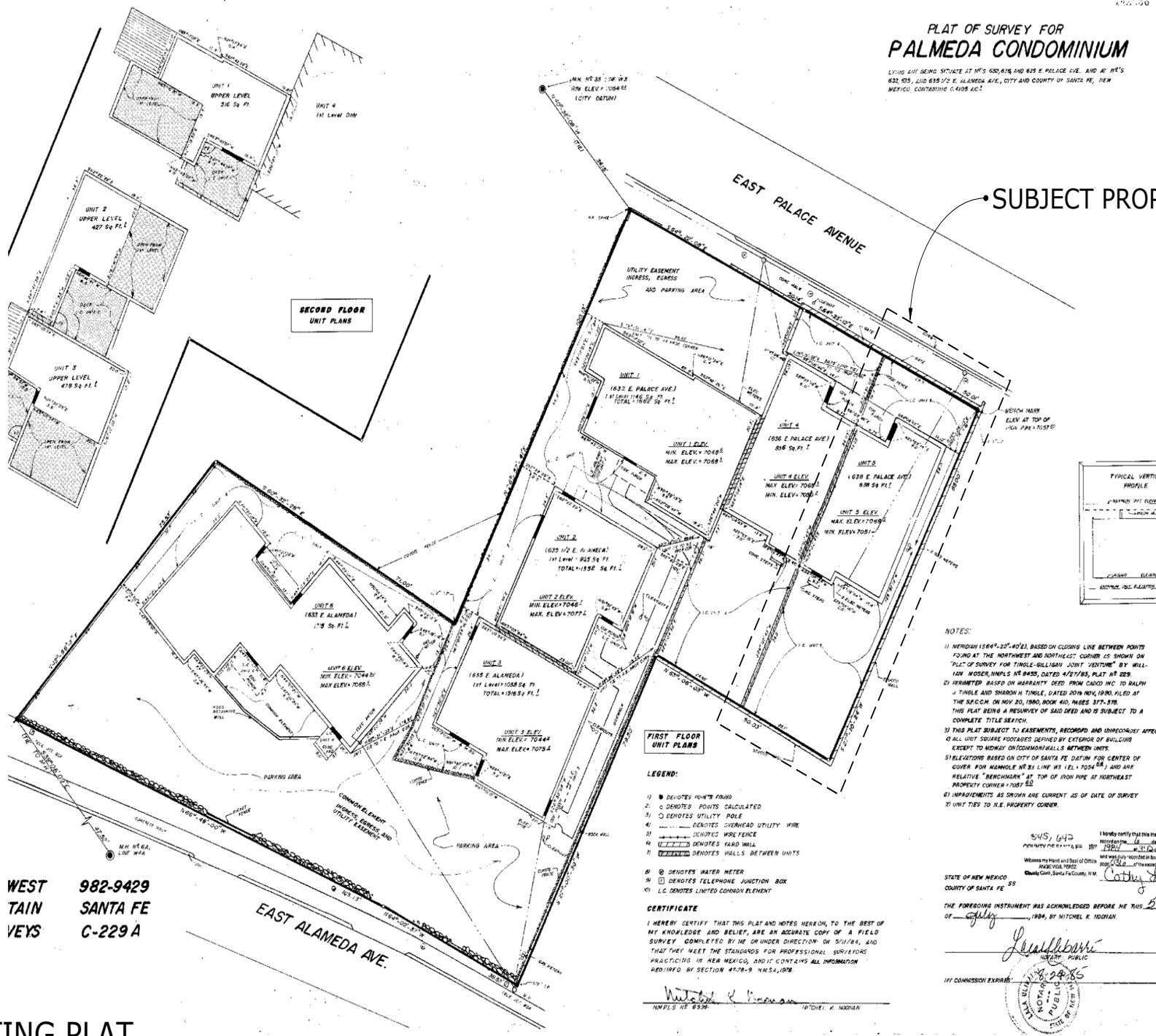
Please let me know if I can be of further assistance.

Yvette De Barr

636 E. Palace Ave

PLAT OF SURVEY FOR PALMEDA CONDOMINIUM

LYING AND BEING SITUATE AT N¹S 630.816 AND 629 E PALACE AVE. AND AT N¹S 632.025, EUD 635 1/2 E. ALAMEDA AVE, CITY AND COUNTY OF SANTA FE, NEW MEXICO, CONTAINING 0.408 AC.



SUBJECT PROPERTY

- NOTES:**
- 1) MERIDIAN 156°-32'-40" E L. BASED ON CLOSURE LINE BETWEEN POINTS FOUND AT THE NORTHWEST AND NORTHEAST CORNER AS SHOWN ON "PLAT OF SURVEY FOR TINGLE-GILLIGAN JOINT VENTURE" BY WILLIAM MOSEB, INPLS. N¹S 8450, DATED 4/27/85, PLAT #2 229.
 - 2) BENCHMARK BASED ON BENCHMARK "DEED FROM CAROL MCGEE TO RALPH J. TINGLE AND SHARON M. TINGLE, DATED 20th NOV, 1985, FILED AT THE S.F.C.C.M. ON NOV 20, 1980, BOOK 410, PAGES 377-378. THIS PLAT BEING A RESURVEY OF SAID DEED AND IS SUBJECT TO A COMPLETE TITLE SEARCH.
 - 3) THIS PLAT SUBJECT TO EASEMENTS, RECORDS AND INSTRUMENTS APPLICABLE TO ALL UNIT SQUARE FOOTAGES DEFINED BY EXTERIOR OF BUILDING EXCEPT TO HIGHWAY OR COMMON WALLS BETWEEN UNITS.
 - 4) ELEVATIONS BASED ON CITY OF SANTA FE DATUM FOR CENTER OF GOWER FOR MONUMENT NO 83 LINE W3 (E.L. 7054.88) AND AVE RELATIVE "BENCHMARK" AT TOP OF IRON PIPE AT NORTHEAST PROPERTY CORNER + 7057.82.
 - 5) IMPROVEMENTS AS SHOWN ARE CURRENT AS OF DATE OF SURVEY.
 - 6) UNIT TIES TO N.E. PROPERTY CORNER.

STATE OF NEW MEXICO
 COUNTY OF SANTA FE

THE FOREGOING INSTRUMENT HAS ACKNOWLEDGED BEFORE ME THIS 2nd DAY OF July, 1984, BY MITCHELL K. NOGGIN.

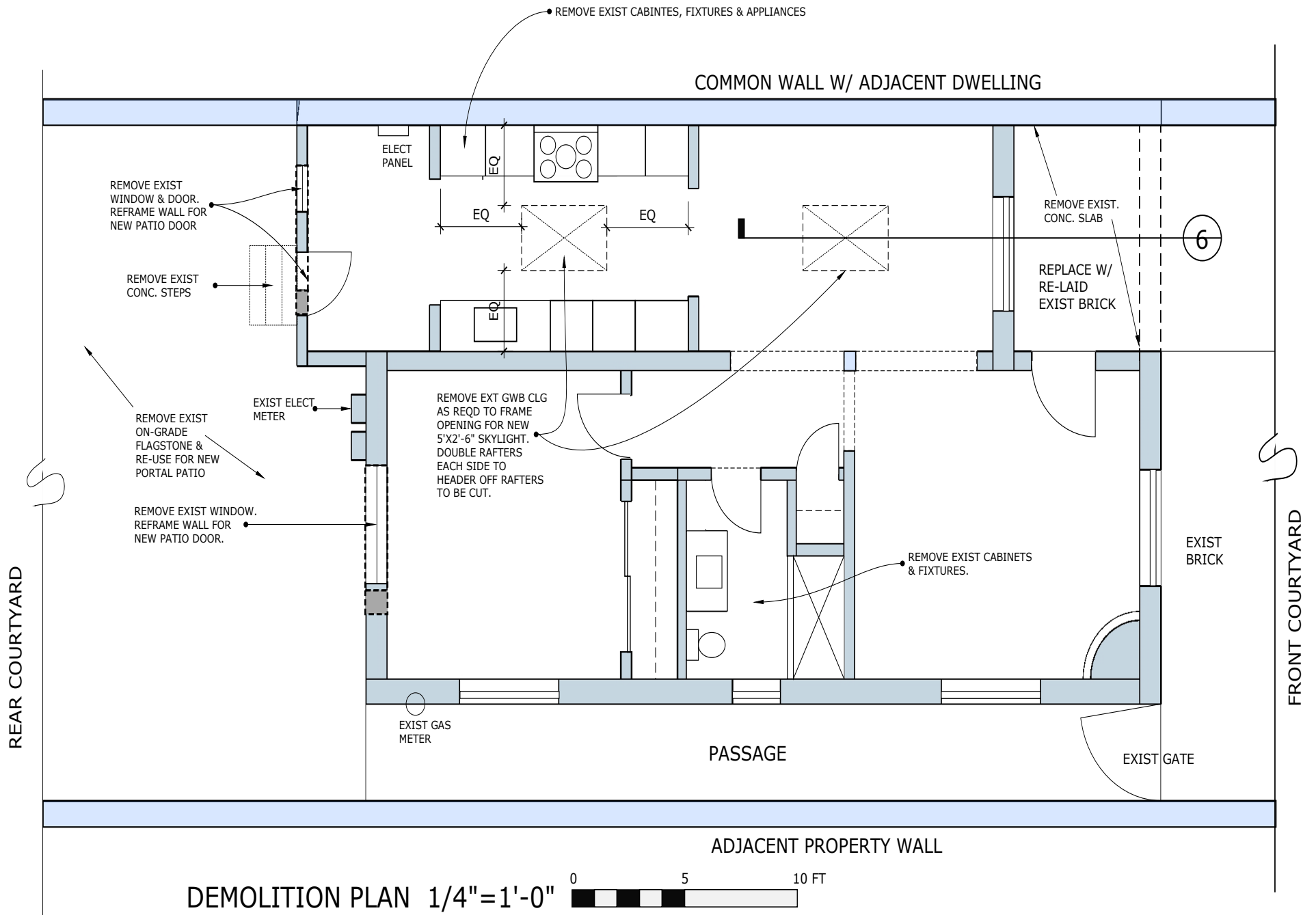
Michael K. Noggin
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: 8-24-85

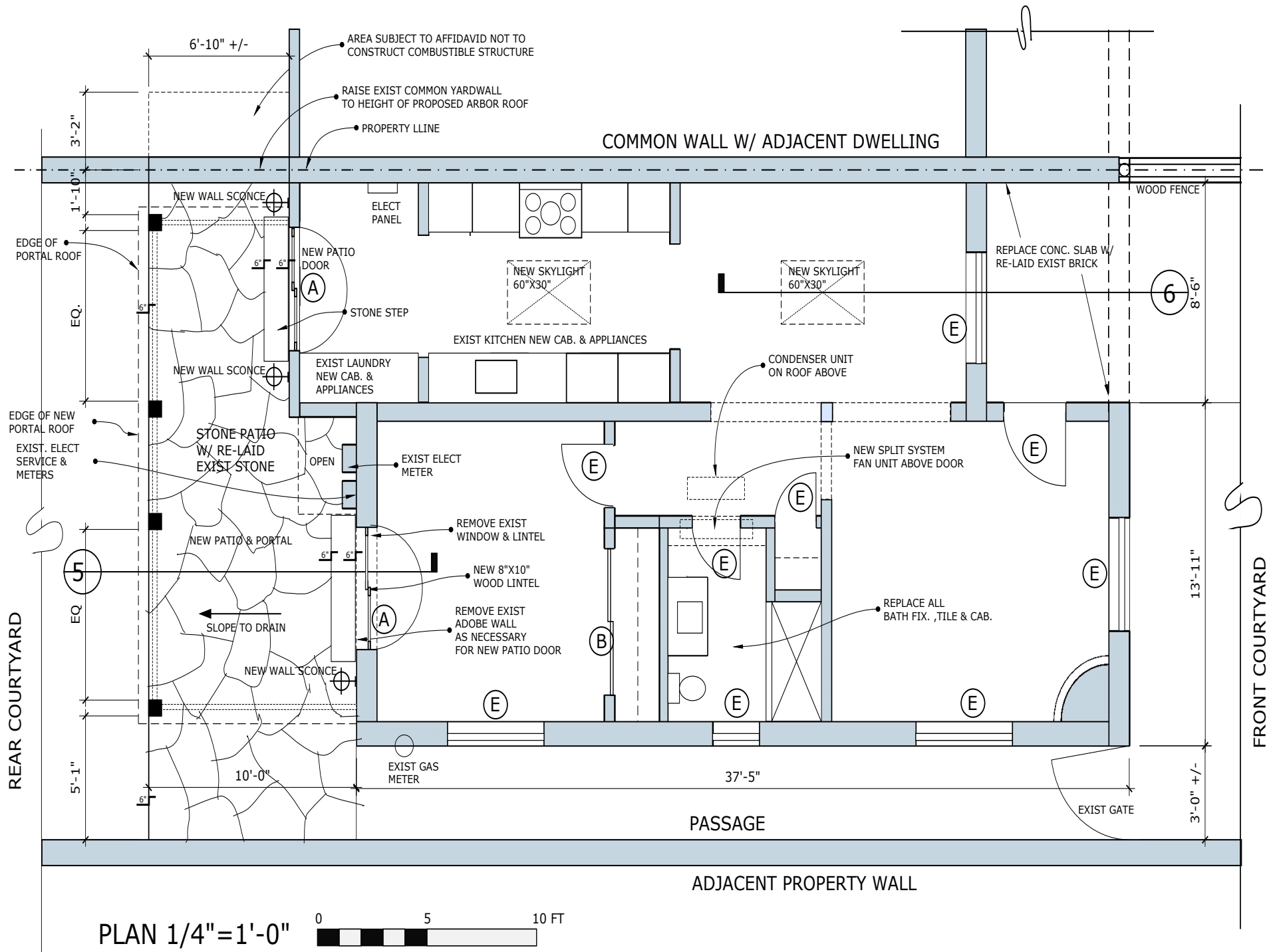
WEST TAIN VEYS 982-9429
 SANTA FE C-229 A

EXISTING PLAT
PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

8-10-21

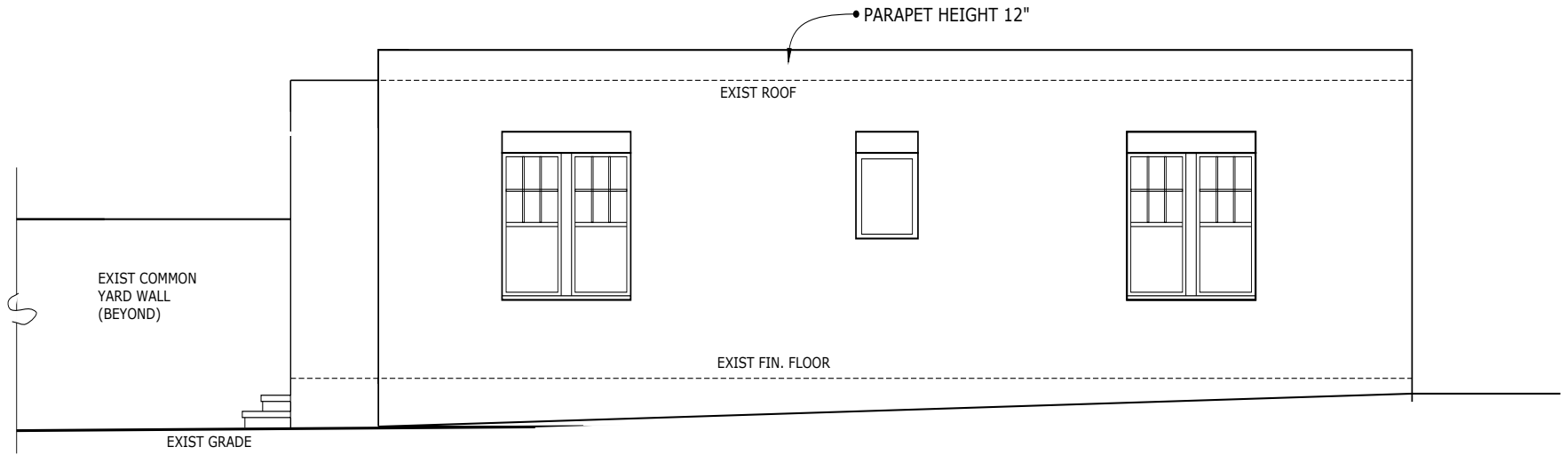
PL



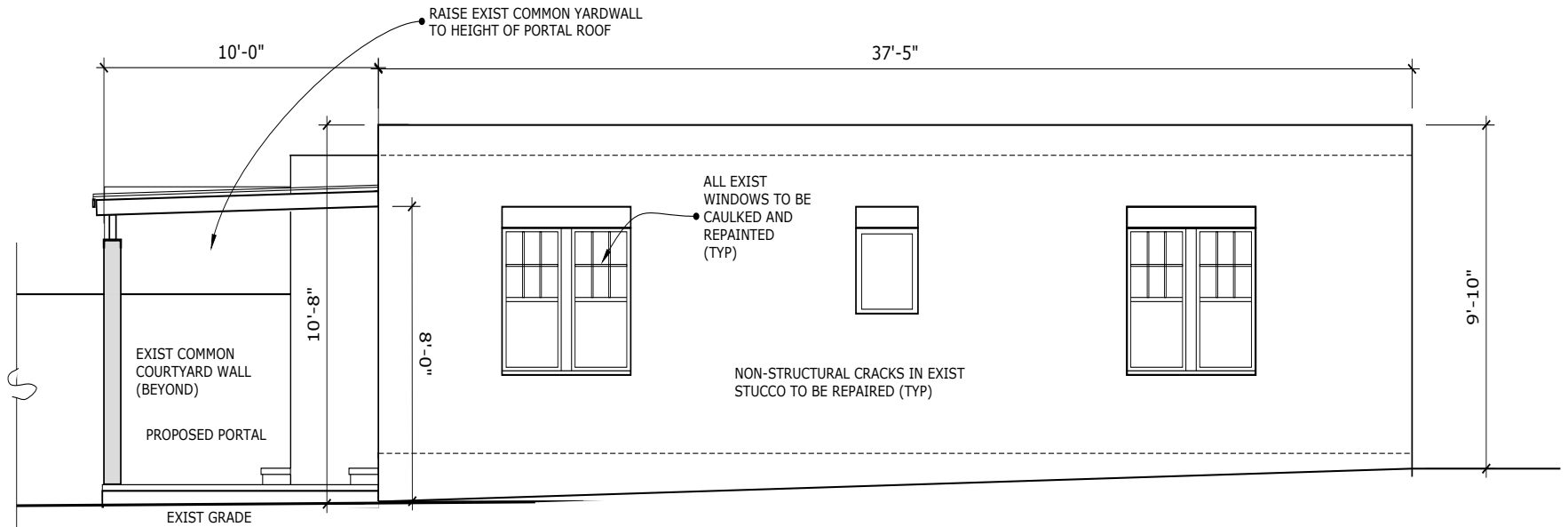


PROPOSED IMPROVEMENTS TO 638 EAST PALACE AVE. SANTA FE NM
 Owners: Scarlett Breeding & John Alt 410-562-5308

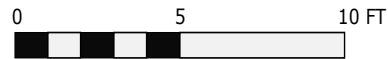
8-10-21

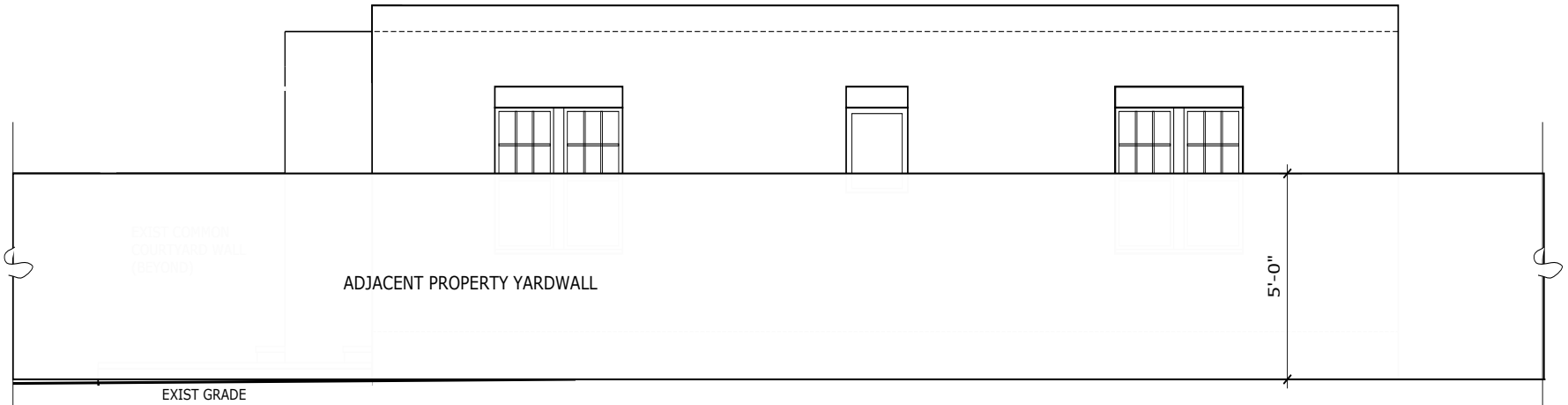


EXISTING EAST ELEVATION 1/4" = 1'-0"

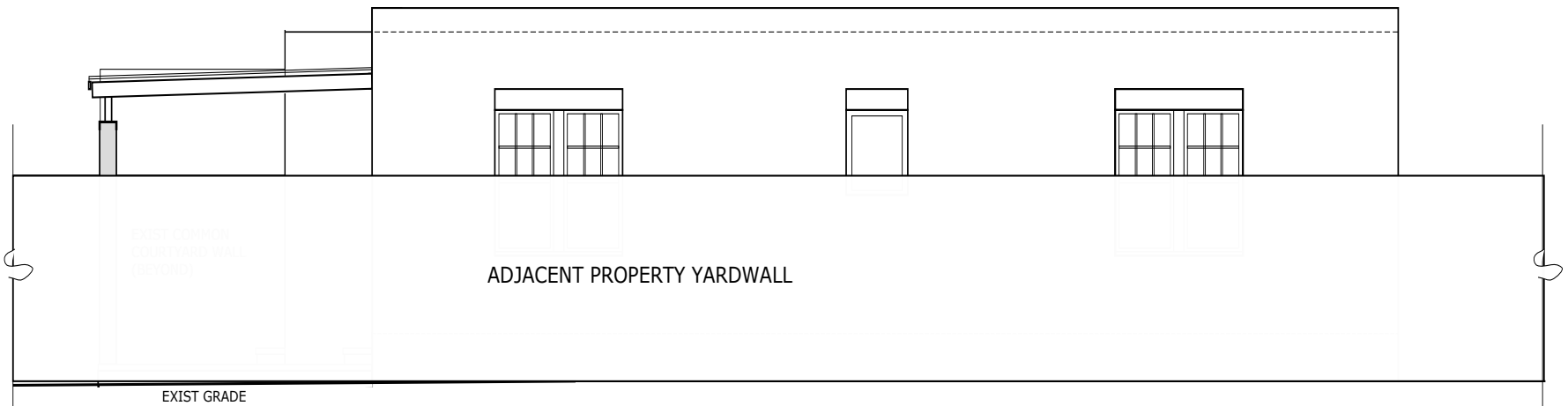


PROPOSED EAST ELEVATION 1/4" = 1'-0"

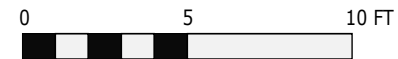


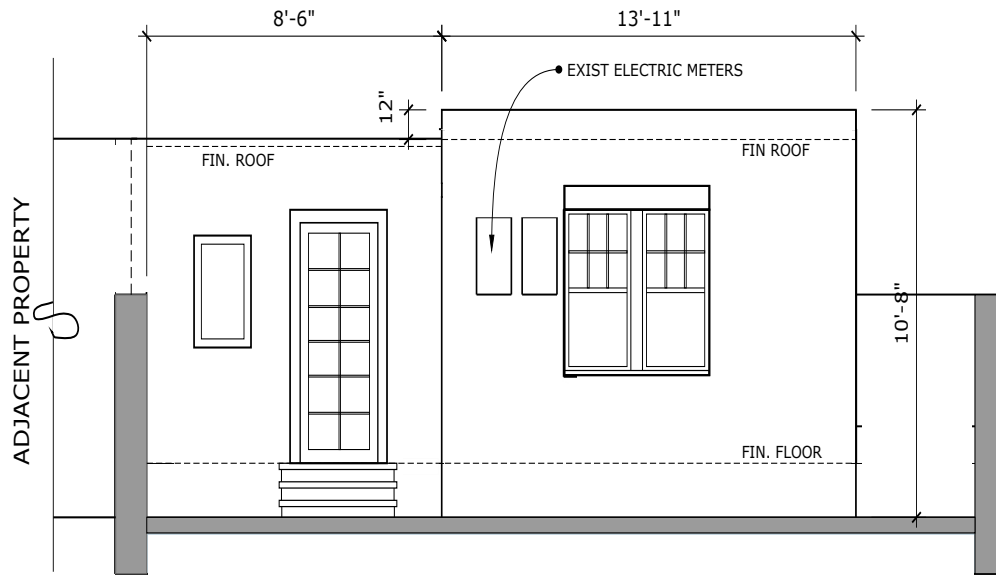


EXISTING EAST ELEVATION 1/4" = 1'-0" (WITH ADJACENT PROPERTY YARDWALL)

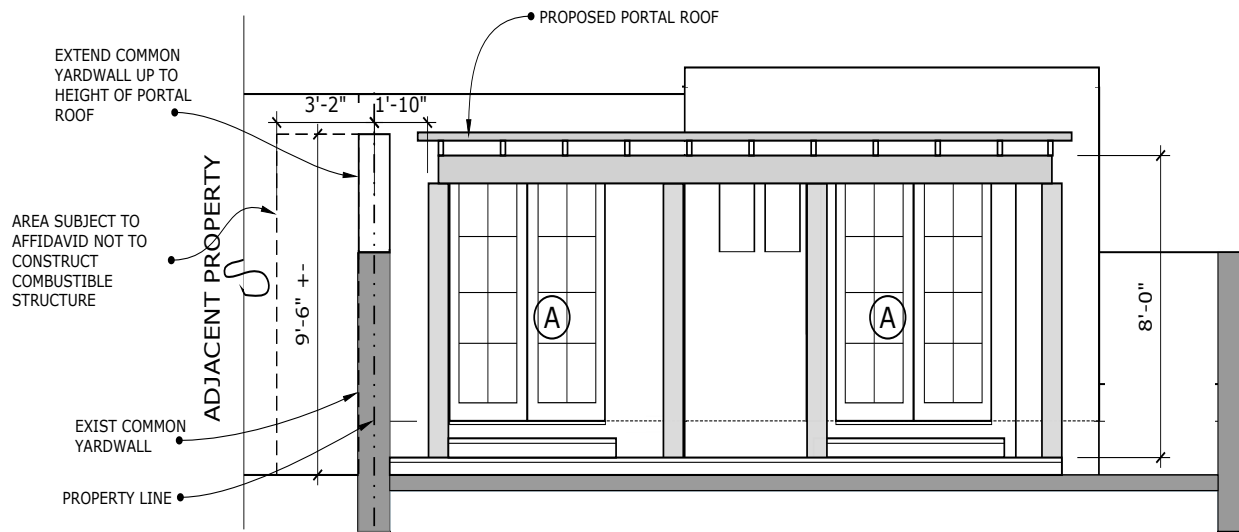


PROPOSED EAST ELEVATION 1/4" = 1'-0" (WITH ADJACENT PROPERTY YARDWALL)

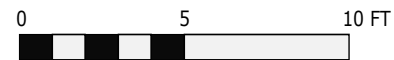




EXISTING SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"

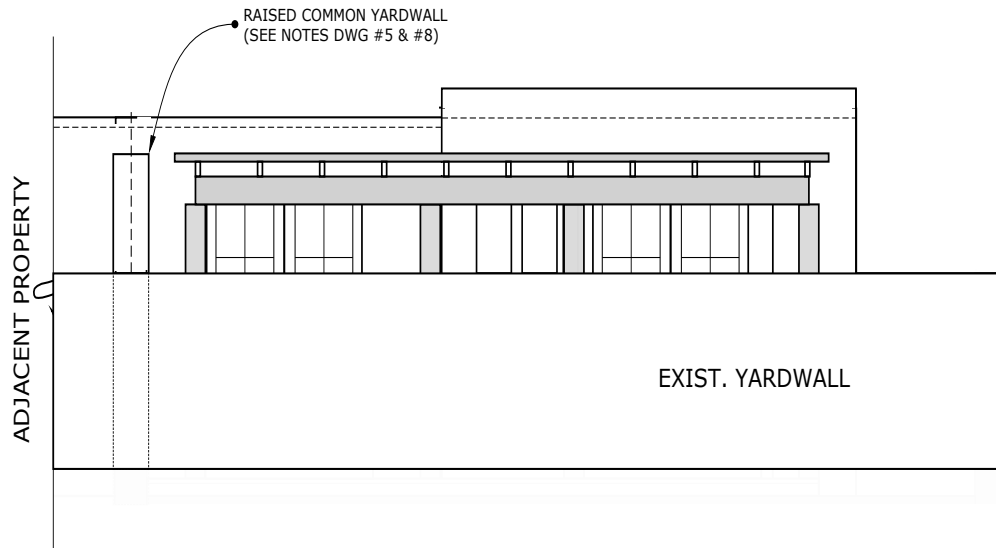


PROPOSED SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"



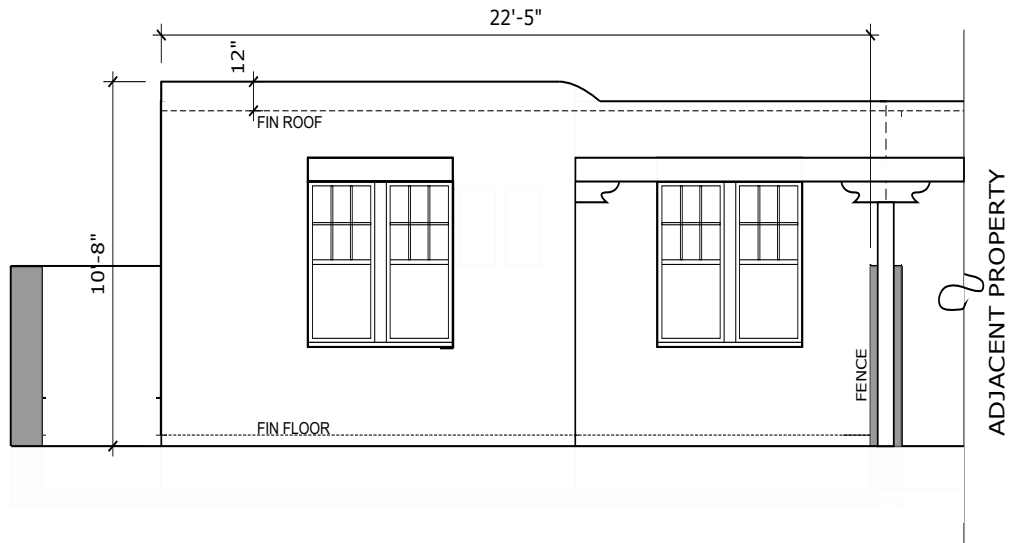


EXISTING SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"
 (WITH EXISTING YARDWALL)

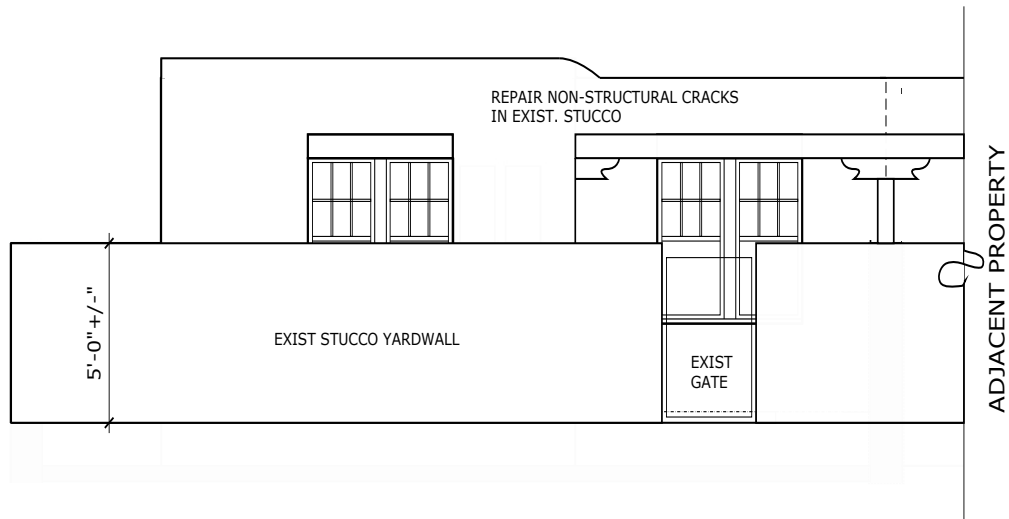


PROPOSED SOUTH ELEVATION (LOOKING FROM REAR COURTYARD) 1/4" = 1'-0"
 (WITH EXISTING YARDWALL)



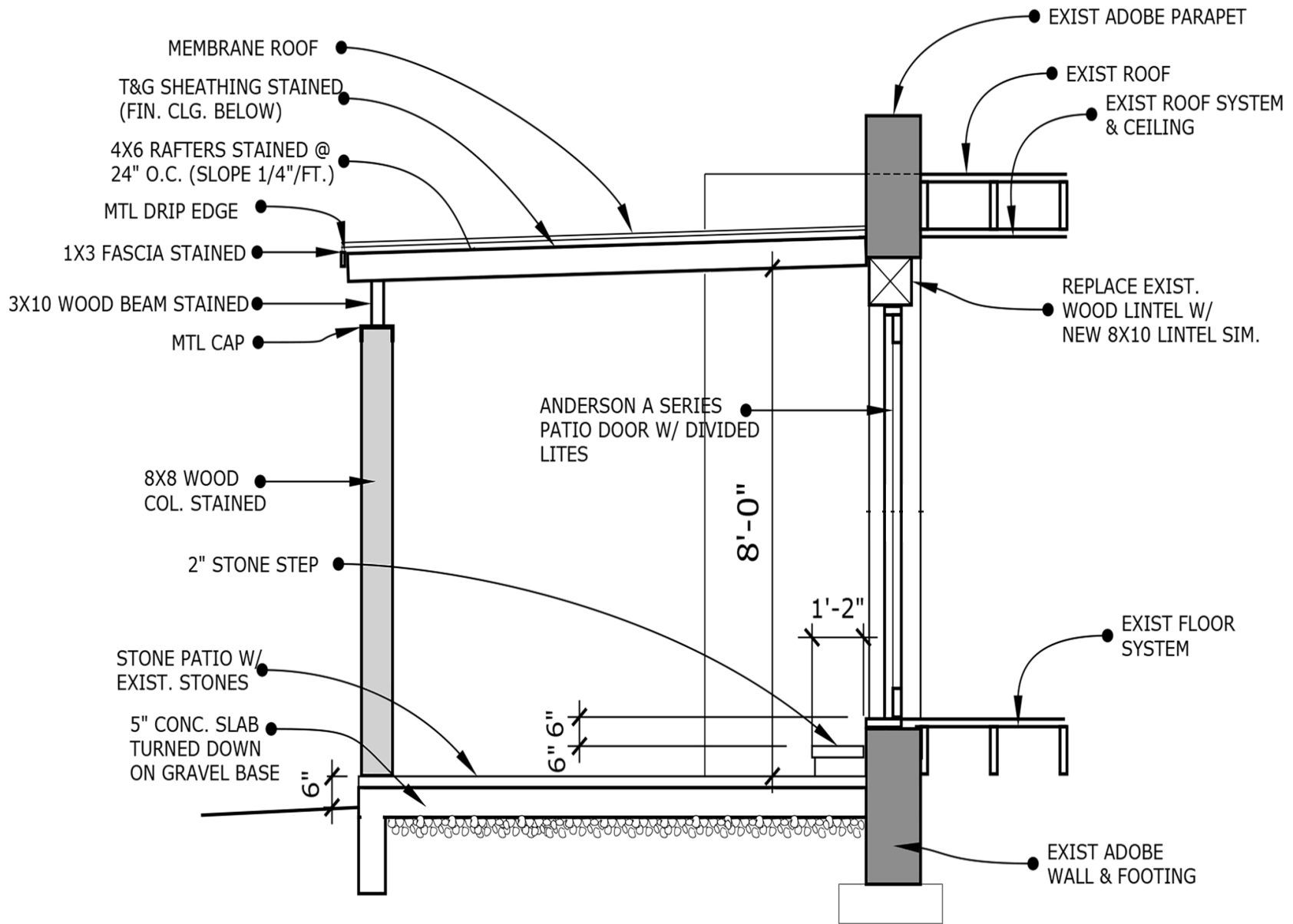


EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"

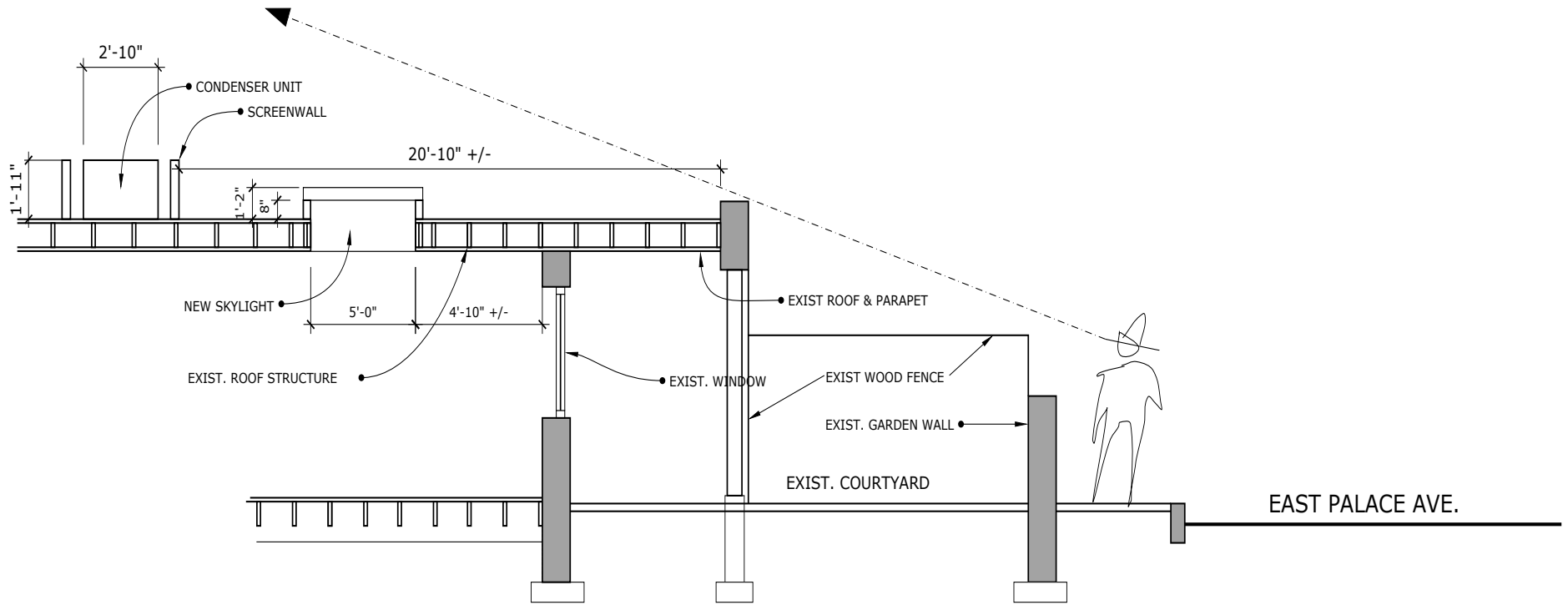


EXISTING NORTH ELEVATION (LOOKING FROM E. PALACE AVE.) 1/4" = 1'-0"
(WITH EXISTING YARDWALL)





SECTION @ PROPOSED NW PORTAL 1/2"=1'-0"

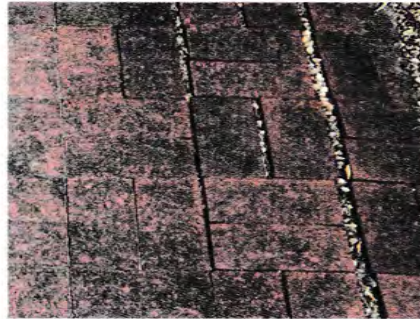


SECTION / SITE-LINE @ PROPOSED NEW SKYLIGHT & CONDENSER UNIT
 1/4" = 1'-0"



125 LA LUZ 20

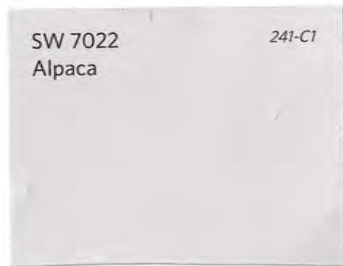
EXIST STUCCO
EL REY 125 LA LUZ



EXIST BRICK PAVERS



EXIST STONE PAVERS



PAINT EXTERIOR WINDOWS
SHERWIN WILLIAMS
SW 7022 ALPACA



STAIN EXTERIOR PORTAL COLUMNS & STRUCTURE
CABOTS SEMI-SOLID
PEPPERWOOD

MATERIALS & FINISHES

638 E. PALACE AVE., SANTA FE, NM

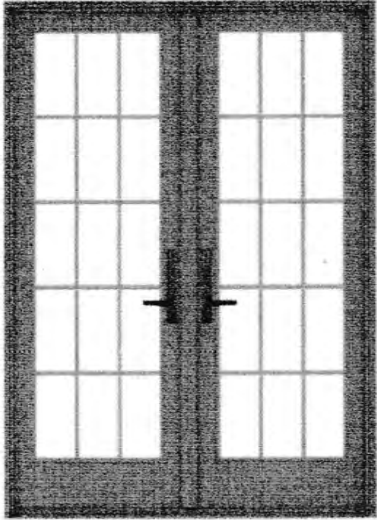
New Tab x anderson a series patio door - x Design Tool | Andersen Windo x +

← → 🔒 <https://www.andersenwindows.com/ideas-and-materials/design-tool/#%22col%3D%25445d4-Best%22%7E6369> ☆

SIZING INTERIOR HARDWARE GRILLES EXTERIOR TRIM GLASS SUMMARY

A-Series Hinged Patio Door

Clear My Choices



Product ID# FVHID50611

Unit Width 59 1/4"

Unit Height 82 3/8"

Interior Color Pine

Interior Stain Unfinished Oak

Glass Low-E4® Glass

Hardware Anvers®, Satin Nickel

Grille Pattern Colonial

Grille Width 3/4"

Exterior Door Color Sandstone

Exterior Trim Profile None

Exterior Trim Color Sandstone

INTERIOR EXTERIOR

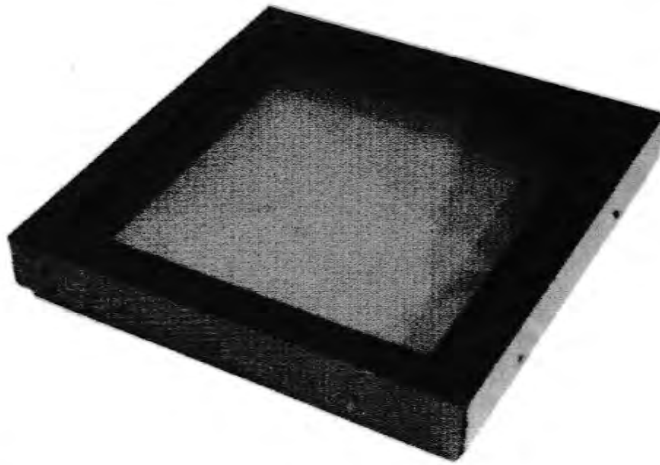
Feedback

Type here to search

9:11 AM 8/22/2017

PATIO DOOR (2)

MATERIALS & FINISHES
638 E. PALACE AVE., SANTA FE, NM



+ Standard Size

+ Glazing Optio

+ Frame Types

+ Performance

+ Spec Sheet

+ Measurement

(http://)

CUSTOM SKYLIGHTS (2) 60"X30"



Insulite Custom Skylights

Transform your daylight applications to friendly energy efficient c

Insulite Custom Skylights

3819 Thomas Rd, Santa Fe, NM 87507 (<https://goo.gl/maps/N>)

(505) 438-0040 (tel:505-438-0040)

[Contact Us \(/contact\)](#)

MATERIALS & FINISHES
638 E. PALACE AVE., SANTA FE, NM

circa LIGHTING



VISUAL COMFORT

Fresno Framed Long Sconce

DESIGNER: CHAPMAN & MYERS

\$439.00

Item: CHD2935

SPECIFICATIONS

Height: 21.75"

Width: 6"

Extension: 9"

Backplate: 4.25" X 12" Rectangle

Socket: E26 Keyless

Wattage: 60 T

F

[Additional Specifications](#)

OPTIONS



FINISH

Choose an Option...

SHADE

Choose an Option...

EXTERIOR LIGHT FIXTURES @ NEW PORTAL

SPECIFICATIONS

HEIGHT 21.75"


WIDTH 6"


Files

[Specification Sheet](#)

[Installation Guide](#)

MATERIALS & FINISHES
638 E. PALACE AVE., SANTA FE, NM

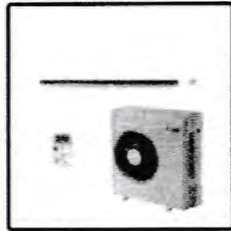
 [Shop By Category](#)

 [Deliver to 87301](#) [Change Location](#)

[Home](#) / [Shop by Brand](#) / [Mitsubishi](#) / [MZ-HM18NA](#)



Hover to zoom

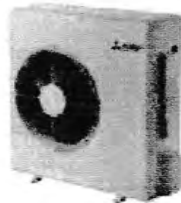


Mitsubishi - 18k BTU Cooling + Heating - HM- Series Wall Mounted Air Conditioning System - 18.0 SEER

Model: MZ-HM18NA



[Write a Review](#)



MATERIALS & FINISHES
638 E. PALACE AVE., SANTA FE, NM



NORTH ELEVATION (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



SOUTH ELEVATION (@ REAR COURTYARD)

638 PALACE AVE. SANTA FE, NM



NOTE: WEST ELEVATION
IS PARTY WALL WITH
ADJACENT DUPLEX UNIT

EAST ELEVATION (@ SIDE PASSAGE)

638 PALACE AVE. SANTA FE, NM



CONTEXT TO WEST (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



CONTEXT TO EAST (@ E. PALACE AVE.)

638 PALACE AVE. SANTA FE, NM



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004120--HDRB

Project Description:

Project Location(s): 555 AGUA FRIA ST
Santa Fe, NM 87501

Contacts:

Property Owner: RANDI LOWENTHAL

Historic District: HD: Westside-Guadalupe

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number: n/a

Year of Construction: 1970s

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004120-HDRB

Address: 555 Agua Fria Street
Historic Status: Non-Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) and 14-5.2(I) Westside-Guadalupe Design Standards.

BACKGROUND & SUMMARY:

555 Agua Fria is a 1,109 square foot small pitched-roofed structure constructed in 1975. Due to its age, its protection status is “non-contributing”. It is located in the Westside-Guadalupe District, off the street, behind a structure addressed at 553 Agua Fria. It is visible from the street via the driveway.

This structure may have been originally constructed as a horse barn. It has a shallow, pitched roof and a shed roof with metal posts extending over the front. The openings have all been shuttered and the building is currently considered unsafe for habitation.

The applicant now proposes the following:

1. Remodel and expand the existing structure. This will include 1,232 square feet of additions and the removal of circa 150 square feet of the original structure. Portals will account for an additional 330 square feet. A separate garage and storage will account for another 643 square feet.
 2. The proposed design incorporates some pitched roof elements that are encountered in the original but strives to maintain a wall dominated design as required by code. A gable roof will be terminated at adobe stucco end walls to emphasize the wall dominated theme of the design.
 3. The building will extend to the maximum allowable height of the 16 feet five inches.
 4. All of the structures are to be constructed of adobe and finished with a full three coat cement stucco with El Rey “Adobe” color to match the existing contributing house at 553 Agua Fria.
 5. The roofing of the pitched roofs is to be corrugated unfinished metal that matches the pitched roof at 553 Agua Fria.
 6. Windows will be wood windows with exterior off-white cladding that are deep set into the adobe walls approximately 6 inches.
 7. Exposed wood trim will be stained a medium walnut brown color at exposed lintels, gates garage doors and rafter tails.
 8. Exterior lighting will be strictly limited to sconce down lights at the storage room and yard gates and portals.
 9. No roof-top mechanical equipment is scheduled for the project. A single ground mounted compressor for mini splits will be mounted in the east side yard to accommodate zoning set back rules.
 10. Yard walls and fences are limited to a front entry 6-foot high privacy wall.
-



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

(FORMER 553 1/2)

To Be Completed By Applicant:		Site Address:	
Date Submitted: 6.25.2021		555 AGUA FRIA	
Property Owner of Record: RANDI LOWENTHAL		Proposed Construction Description:	
Applicant/Agent Name: DALE F. ZINN		REMODEL & ADD TO EXISTING HOUSE	
Contact Person Phone Number: 505 - 920-5573		TOTAL ROOF AREA: 3,251	
Zoning District: R-21		Lot Coverage: 42.8%	
Overlay: <input type="checkbox"/> Escarpment		<input checked="" type="checkbox"/> Open Space Required: 1000	
<input type="checkbox"/> Flood Zone*		PROVIDED 1800	
<input checked="" type="checkbox"/> Other: HISTORIC		Setbacks:	
Submittals Reviewed with PZR:		Proposed Front: 9 1/2 Minimum: 7 1/2	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans		2nd Front? _____	
<input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Proposed Rear: 15 Minimum: 15	
Supplemental Zoning Submittals Required for Building Permit:		Proposed Sides: 5/10 R6 Minimum: 5	
<input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed 16'-5"	
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		Maximum Height: 16'-5" or	
<input type="checkbox"/> Visibility Triangle Required		<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance	
Use of Structure: <input checked="" type="checkbox"/> Residential		<input type="checkbox"/> Regulated by Escarpment District	
<input type="checkbox"/> Commercial Type of Use: N.A.		Parking Spaces:	
Terrain: <input type="checkbox"/> 30% slopes _____		Proposed 3 Accessible 1	
* Requires an additional review conducted by Technical Review Division.		Minimum: 2	
** Requires an additional review conducted by the Traffic Engineering Division.		Bicycle Parking**:	
		Proposed: _____ Minimum: _____	
		** Commercial Requirement	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

DALE F. ZINN, ARCHITECT [] OWNER [X] APPLICANT [] AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

6.25.2021

DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____	Date: ___/___/___
<input type="checkbox"/> Flood Plain Approval by _____	Date: ___/___/___
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: ___/___/___
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: Lee Logston	DATE: 6/25/2021

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

Revised 1-14-13

July 2,2021

**Daniel Schwab, Senior Historic Planner
City of Santa Fe
Building Historic Preservation Division**

**200 Lincoln Ave
Santa Fe, Nm 87501**

Re: Proposed Remodel and Additions to existing noncontributing house plus a detached garage and storage structure at 555 Agua Fria. (Formerly 553 ½ Agua Fria)

Dear Daniel.

My firm has been retained to represent Ms. Randi Lowenthal of Santa Fe, in matters pertaining to the design and construction that will be proposed for property at 555 Agua Fria Street. This application pertains solely to the noncontributing structure on the interior lot behind 553 Agua Fria.

The existing small residence is a free-standing noncontributing residence from mid-1970's. The building is a quite simple pueblo revival design with metal awning front portal and pitched roof with storefront type parapet end wall. The structure has aluminum windows and no real discernible design features. The proposed additions will incorporate over 60 percent of the existing structure.

The proposed design is intended to incorporate the eclectic and mixed design styles of the neighborhood by blending a vocabulary of materials and roof forms to be sympathetic with the contributing structure on the front lot. That structure has been remodeled in the recent past and retains much of its historic features and character.

The proposed work to be accomplished includes the following projects:

- 1. The proposed design incorporates some pitched roof elements but strives to maintain a wall dominated design. Gable roof will be terminated at adobe stucco end walls to emphasis the wall dominated theme of pueblo revival architecture. No portion is above the 16-5" established by staff in previous on-site meetings.**
- 2. All walls of the House additions; the Garage-Storage building and yards are to be constructed of adobe to reinforce the use of locally sourced materials. All walls will be stucco finished with a full three coat 7/8" thickness cement stucco with El Rey adobe color to match the existing contributing house at 553 Agua Fria.**
- 3. Roofing at pitched roofs is to be corrugated metal natural finish that matches the pitched roof at 553 Agua Fria.**
- 4. Windows will be wood windows with exterior off white cladding that are deep set into the adobe walls approximately 6" .**

5. Exposed wood trim will be stained a medium walnut brown color at exposed lintels, gates, garage doors and rafter tails.
6. Exterior lighting will be strictly limited to sconce down lights at storage room and yard gates and portals.
7. No roof top mechanical equipment is scheduled for the project. A single ground mounted compressor for mini splits will be mounted in the east side yard where there is sufficient room based on zoning set back rules.
8. Yard walls and fences are limited to front entry 6-0" high privacy wall. No new yard walls are proposed. Please note: The entire East property line has an 8-0" cedar post fencing treatment that completely screens the lower portions of the proposed structure. The Western property line is lined with non stuccoed CMU wall and approximately 100 feet of existing zero lot line structure. Care has been taken not to purposely block any existing windows that are improperly placed on property lines. Non stuccoed elements will be finished to match the house.

Sincerely Yours

Dale F Zinn

Dale F Zinn and Associates Architects

For

Randi Lowenthal, Building Owner.

Timeline Historic Design Review Board

Subject Property: 555 Agua Fria Non-Contributing Residential Structure

The property is located near the corner of Closson Street and Agua Fria with the address 553 and 553 ½ Agua Fria. There is an associated noncontributing structure on the site labeled as 553 ½ Agua Fria. That property is the subject of this current application and is no re-addressed as 555 Agua Fria.

A brief timeline of the Building History is provided herein:

1908- Sanborn map

Front structure on separate property boundary now shows as existing.
no structure at the back of the property now Tract B exists.

1912- King's map lot 29 block 59 of king's map system indicates basic form 4 room block with an extension on the east side in the front lot A. No construction on lot B.

1930's Sanborn Map indicates that the form of the building on A lot A has filled out to a rectangle shape which proportionately with the lot . No construction shown on Lot B.

1948 and 1964 San Born Maps are consistent with the form of the Lot A structure as it stood in the 1930's

A small structure is shown directly on the east property line and approximately 80 feet behind the Contributing structure .

It was not considered a habitable structure and through some oral history may have been a horse barn. This building does not conform to the configuration of the current non-conforming structure on Lot B.

1975 Estimated construction date of Current small residence on lot B.

1985 City of Santa Fe Surveys was completed that indicate that the lot A house is complete and there is a "dwelling or shed" on the back part of the lot.

City of Santa Fe 1986 Survey with 1997 comments reconfirm the finding from previous surveys and determines the Status of the Structure at 553 Agua Fria to be contributing and the back structure to be non-contributing.

The property was split into two separate lots in 2010 as approved by the city and recorded with the Santa Fe County. An adjustment to that lot split is currently in process and has been used for the approved Preliminary Zoning Review.

555 Agua Fria Historic Design Review Board Submittal Document



SOUTH ELEVATION
w/o GARAGE/STORAGE

$\frac{1}{4}'' = 1'-0''$

**555 Agua Fria Street
Project and Neighborhood
Context Photos**

555 Agua Fria Street View

9/2/2021





555 Agua Fria West side view

555 Agua Fria Current View of South View

555 Agua Street

Owner Randi Lowenthal



555 Agua Fria View from North



Neighboring Bungalow



Neighboring Dudrow House Bungalow



Neighbor to East Vigil House

Northern New Mexico Vernacular Pitched Roof



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004120--HDRB

Project Description: New Construction

Project Location(s): 1023 E. Alameda
Santa Fe, NM 87505

Applicant: Praxis Architects

Property Owner: Frank Schneider and Robin Oringer

Historic District: HD: Downtown and Eastside

Historic Building Status: NA

Non-Statused: NA Non-Contributing: NA Contributing: NA Significant/Landmark: NA

Primary Elevations: NA

Publicly Visible Facade-East:

Publicly Visible Facade-North:

Publicly Visible Facade-South:

Publicly Visible Facade-West:

Historic District Inventory Number: NA

Year of Construction: NA

Project Type: New Construction

Historic Building Name: NA

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Angela S. Bordegaray, Senior Planner, Historic Preservation Division

Case 2021-004120-HDRB

Address: 1023 East Alameda
Historic Status: NA
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Stucco, Colors, Finishes Samples

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards. Staff defers to the board whether to grant an additional 11" in height per Section 14-5.2(D)(9)(c)(ii)(F) regarding slope.

BACKGROUND & SUMMARY:

1023 E. Alameda is a 21,118 sf vacant lot that fronts East Alameda across from Patrick Smith Park in the Downtown and Eastside Historic District. The applicant proposes to construct a new 2,971 sf residence that combines elements of Territorial and Spanish Pueblo Revival styles.

The proposed residence's height ranges from 13'-5" to 16', where the maximum allowable height is 15'- 1". The site slopes 4' along the proposed building's footprint, and the applicant requests an additional 11".

The applicant proposes a building that is predominantly Territorial Revival style with angular massing, and flat roofs topped with brick masonry coping. Its stepped massing and deep-set bull-nosed window and door openings borrow from Spanish-Pueblo style. The massing is stepped at various levels to accommodate the site's slope, which descends to the north toward the arroyo. The proposed plans include the materials and accents that are not traditional in the Downtown and Eastside Historic District. The house's front (west) elevation features a large, deep entry and garage. The applicant has proposed steel coping and columns instead of wood. Windows under the portal and on the garage are steel finished in an oil-rubbed bronze matte paint finish.

Other windows will be wood and stained in a medium brown hue. All publicly visible windows will be divided lite. All doors will be wood. The new building will feature low buttresses at its corners and two portals with fireplaces. The portals will have wooden posts, beams, and exposed vigas, stained medium brown.

Stucco will be Sto's "Sahara". Brick coping will be dark grey.

The applicant also proposes alterations to the non-contributing existing stone yard wall. The existing opening will be shifted to the east for a vehicular opening and gate. The replacement segment will be the same style and height, using the existing stone material. The applicant will add a short steel wall that will rust over time. The gates will look like a single gate. The gates will be made of ipe that greys over time. Additional yard walls will divide the driveway area from an interior courtyard. New walls will match existing stone walls. The yard wall along the west will be stuccoed to match the house. The existing brick sidewalk will be removed and reset to accommodate the new driveway alignment. All new concrete will be colored tan, Davis Color Sandstone.

Eight low profile skylights, solar panels, and rooftop appurtenances will be screened by rooftop parapets.

Exterior walls and portals will be finished in El Rey "Adobe" cementitious stucco.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 05/26/21		1023 E. ALAMEDA ST
Property Owner of Record: FRANK SCHNEIDER		Proposed Construction Description:
Applicant/Agent Name: BILL OLIVENT		NEW SINGLE FAMILY RESIDENCE ON EMPTY LOT
Contact Person Phone Number: () - (505) 743-7766		TOTAL ROOF AREA: 4061.5 SF
Zoning District: RC-5		Lot Coverage : 46 %
Overlay: <input type="checkbox"/> Escarpment		<input checked="" type="checkbox"/> Open Space Required: 1344 SF
<input type="checkbox"/> Flood Zone*		Setbacks:
<input checked="" type="checkbox"/> Other: HISTORIC		Proposed Front: 7' Minimum: 7'
Submittals Reviewed with PZR:		2 nd Front? _____
<input checked="" type="checkbox"/> Legal Lot of Record	<input checked="" type="checkbox"/> Development Plan	<input checked="" type="checkbox"/> Building Plans
<input checked="" type="checkbox"/> Existing Site Plan	<input checked="" type="checkbox"/> Proposed Site Plan	<input checked="" type="checkbox"/> Elevations
Supplemental Zoning Submittals Required for Building Permit:		Proposed Rear: 8'-10 1/4" Minimum: 5'
<input type="checkbox"/> Zero Lot Line Affidavit		Proposed Sides: 19'-11" R 5'-2" Minimum: 5'
Access and Visibility: <input type="checkbox"/> Arterial or Collector**		Height: Proposed 15'-0"
<input checked="" type="checkbox"/> Visibility Triangle Required		Maximum Height: 15'-1" or
Use of Structure: <input checked="" type="checkbox"/> Residential		<input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance
<input type="checkbox"/> Commercial Type of Use: _____		<input type="checkbox"/> Regulated by Escarpment District
Terrain: <input type="checkbox"/> 30% slopes _____		Parking Spaces:
		Proposed 2 Accessible _____
		Minimum: 2
		Bicycle Parking**:
		Proposed: _____ Minimum: _____
		** Commercial Requirement

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

BILL OLIVENT

[OWNER APPLICANT AGENT]

PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

05/26/21

SIGNATURE

DATE

To Be Completed By City Staff:
Additional Agency Review if Applicable:
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___
<input checked="" type="checkbox"/> Flood Plain Approval by <i>DB</i> Date: 07 / 27 / 21
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___
Notes: _____
Zoning Approval:
<input checked="" type="checkbox"/> Preliminary Approval <input checked="" type="checkbox"/> with conditions <input type="checkbox"/> Rejected
Comments/Conditions: Subject to approval by Dee Beingessner regarding flood plain.
REVIEWER: <u>Donna Wynant</u> DATE: <u>7 / 27 / 21</u>

City of Santa Fe Historic Preservation Division
Angela S. Bordegaray
200 Lincoln Ave.
Santa Fe, NM 87501

Gabriel Browne
1012 Marquez Pl 310B
Santa Fe, NM 87505

8/23/2021



Dear Mrs. Bordegaray

Attached to this letter, please find design drawings for a new home proposed for 1023 E. Alameda St. This property is in the Downtown and Eastside Historic District. This lot does not currently have a home on it. There is a low stone site wall in the middle of the property which will need to be removed in order for the house to be built. There is a roughly 4' high stone wall along Alameda Street.

The design for the home we have proposed has a mix of elements of the Pueblo style, such as earth tone color, flat roofs, stepped massing and deep-set bull nosed punched openings. It has elements of the Territorial style like the brick coping, and elements of the Recent Santa Fe style such as the "plate glass" area under the deep Western portal. This same portal is in the spirit of the Recent Santa Fe Style, as it takes the elements of a classic territorial style portal, the coping and matching columns and renders them in steel instead of the classic wood.

You determined that the allowable height would be allowed to be 15'-1" and the allowable wall/fence height is 5'-7". Section 14-5.2 (D) (9) (c) (ii) F says:

"The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet... This increase in height shall be constructed only in the form of building setbacks from the street."

This property is sloping about four (4) feet within the home's footprint. Because 15'-1" is short and because this property is so close to the flood plain we are asking for eleven additional inches of height so that we can add about 1' of fill below the house to raise the finished floor a bit higher above the flood plain. The design, as proposed, rises to this higher maximum height at the living room mass, stepped back from the street façade. If the additional height is allowed, the house will still be less than 15'-1" tall, but from a raised, proposed finished grade instead of the lower existing grade.

The stucco will be the color "Sahara" by Sto, a historic approved color. The copings are proposed be a dark grey.

The windows will be a dark bronze color. The windows will be a simulated divided light with muntins on the interior, exterior and between the panes. Except under the portal, the light divisions have been designed so that no pane of glass on a publicly visible portion of the building measures more than 30" diagonally. Under the portal, as allowed by subsection (E) (2) (e) the light divisions are larger and have been designed to evoke a plate glass historic steel storefront with thin divisions.

In order to access the property, we must reconfigure the stone walls which front Alameda Street. We have proposed to keep as much of the existing stone wall as possible. We have proposed a new section of stone wall built roughly where the existing opening is which would be built reusing the existing stone material to the greatest extent possible. Because of the boundary of the FEMA Flood Plain, we are required to jog the replacement wall just behind the plane of the new wall. We felt this gave us a unique opportunity to separate the new from the old and propose to highlight that difference with a short section of steel wall. This wall will be built from mild steel and will eventually rust. We propose a new pedestrian and a new vehicle gate at the Western end of the street frontage. These gates will look like a single gate with a construction joint and are proposed to be made of ipe on the street facing side and a steel frame hidden from view behind. The ipe will grey over time. There are several yard wall components which divide the motor court from the courtyard. The taller elements will be built to match the new stone walls on the property and the longer wall to the West will be finished with stucco to match the house.

In order to accommodate the new driveway location, a new curb ramp will be built. All new concrete in this area will be colored a tan, Davis Color Sandstone. The existing brick sidewalk will be taken up and reset to accommodate the new driveway alignment.

There are several rooftop appurtenances which will be hidden behind rooftop parapets. There are several skylights proposed on the structure, but the elevation of the top of these skylights will be lower than the parapets which surround them. The house will be equipped with one or more exterior condensers for air conditioning. We have created an area above the garage roof which is behind a parapet for this equipment. We propose to provide for solar panels on the roof of the garage. The highest elevation of the solar equipment on the roof will be lower than the parapets which surround that roof.

Thanks very much for your time and consideration.

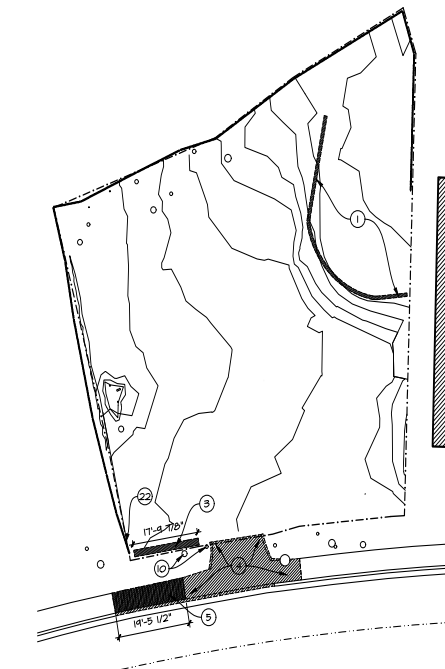
Sincerely,



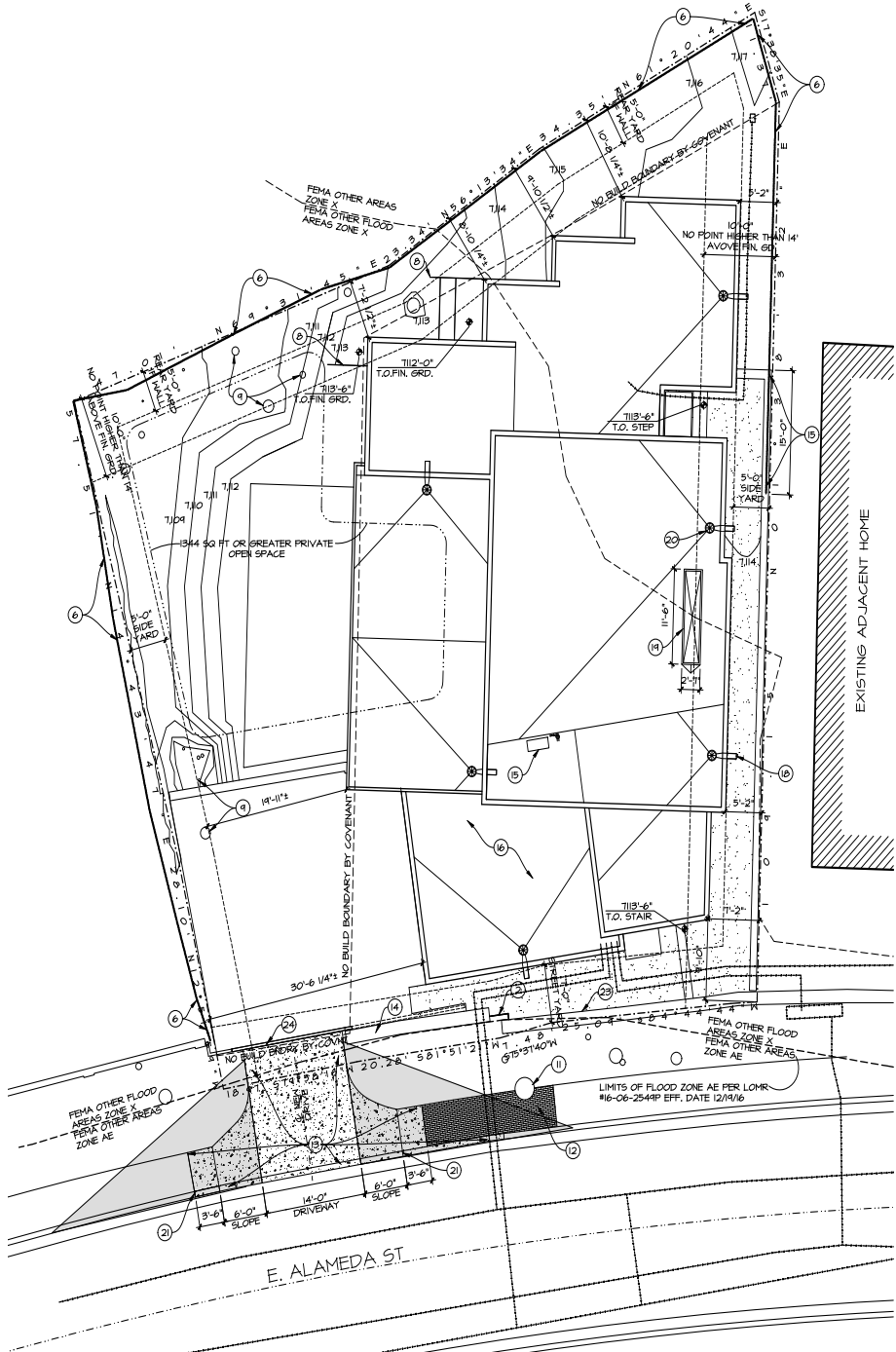
Gabriel Browne
Managing Member for Praxis Ltd. Co.
General Contractor, Lic #61478

SITE PLAN KEYED NOTES

1. DEMO EXISTING YARDWALL SALVAGE STONE MATERIALS AS PRACTICAL FOR REUSE.
2. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN RAW AND UNFINISHED.
3. DEMO EXISTING STREET WALL TO ACCOMMODATE NEW DRIVEWAY LOCATION. PRESERVE EXIST. STONE FOR RE-USE.
4. DEMO EXISTING DRIVEWAY APRON.
5. REMOVE BRICK SIDEWALK, SALVAGE MATERIAL AND REPLACE ON THE OTHER SIDE OF THE DRIVEWAY APRON.
6. EXISTING COYOTE FENCE TO REMAIN.
7. NEW COYOTE FENCE BUILT ON TOP OF NEW ICF OR BLOCK WALL COVERED WITH STUCCO TO MATCH THE HOUSE REUSE OLD PICKETS - MIN 6" TALL FROM GRADE ON HIGH SIDE.
8. STEEL PLATE RETAINING WALL / PLANTER, FINISH TO BE LEFT RAW TO HEATHER.
9. EXISTING TREES TO REMAIN.
10. REMOVE EXISTING TREE STRIPS.
11. EXISTING TELEPHONE COMPANY MANHOLE TO REMAIN.
12. BRICK RE-SET FROM OTHER SIDE OF DRIVEWAY APRON, BRICK SLOPE TO BE MAX. 8.33% GROSS SLOPE TO MATCH EXIST, MAX. 28".
13. NEW CONCRETE APRON AND CURB - COLOR TO BE TAN - DAVIS COLOR SANDSTONE, 5% SLOPE TO BE MAX 8.33%. SW GROSS SLOPE TO MATCH EXIST, MAX. 28".
14. NEW STONE WALL, WALL THICKNESS AND HEIGHT TO MATCH EXISTING. REUSE EXISTING STONE FROM DEMO'D STONE WALL.
15. MULTI-ZONE INVERTER DRIVEN HEAT PUMP PER SREG.
16. TORCH DOWN MODIFIED BIT. ROOFING SYSTEM.
17. BRICK PARAPET.
18. CUSTOM STEEL CANALE TO BE USED FOR WATER OVERFLOW. FINISH TO BE LEFT RAW TO HEATHER.
19. CUSTOM TRIPLE GLAZED "GREY TINTED" SKYLIGHT.
20. ROOF DRAIN, TOP OF DRAIN SET 2" BELOW CANALE.
21. NEW CURB CUT.
22. EXISTING COYOTE FENCE TO BE REMOVED.
23. EXISTING HALL TO REMAIN.
24. NEW WOOD / STEEL FRAME ROLLING GATE.



EXISTING/DEMOLITION SITE PLAN
SCALE 1/16" = 1'-0"
NORTH



SITE PLAN
SCALE 1/8" = 1'-0"
NORTH

PROJECT INFORMATION

PROJECT DESCRIPTION:
NEW SINGLE FAMILY HOME ON AN EMPTY LOT

OWNER: FRANK SCHNEIDER AND ROBIN SCHNEIDER
282 CALLE JUANITA
SANTA FE, NM 87505
PHONE: (505) 660-5220

BUILDER: PRAXIS LTD. CO.
CONTACT: GABRIEL BROWNE
PHONE: (505) 478-7166
1012 MARQUEZ FL 4910B
SANTA FE, NM 87505

ARCHITECT:
PRAXIS ARCHITECTS INC.
CONTACT: GABRIEL BROWNE
PHONE: (505) 478-7166
1012 MARQUEZ FL 4910B
SANTA FE, NM 87505

PROJECT AREAS:
HEATED 2,670.0 SQ.FT. UNHEATED 7,141.0 SQ.FT. PORTALES UNDER ROOF 660.1 SQ.FT. 4,050.4 SQ.FT.

ZONING ANALYSIS

ZONING: Residential Compound 5 (RC 5)

LOT SIZE: .2025 ACRES (8,821.8 SQ.FT.)

MINIMUM LOT SIZE: 4,000 SQ.FT.
DENSITY CALCULATION: 8,821.8/43,560 * 5 = 1 DWELLING UNITS

MAXIMUM HEIGHT OF STRUCTURES BY ZONING: 24' WITHIN 10' OF A SIDE OR REAR PROPERTY LINE, NO POINT ON A STRUCTURE SHALL BE HIGHER THAN 14' ABOVE THE FINISHED GRADE AT THE CLOSEST POINT ON THE PERIMETER OF THE STRUCTURE.

MAXIMUM HEIGHT OF STRUCTURES BY HISTORIC CALCULATION: 15'-11" 14.5.2 (4) (C) (II) MEASURED BETWEEN THE HIGHEST PART OF THE STRUCTURE AND THE EXISTING GRADE OR FINISHED GRADE, WHICHEVER IS MORE RESTRICTIVE, AT THE MIDPOINT OF THE STREET FACING FACADE. THE BOARD MAY INCREASE THE ALLOWABLE HEIGHT FOR PROPOSED BUILDINGS AND ADDITIONS LOCATED ON A SLOPING SITE WHERE THE DIFFERENCE IN THE NATURAL GRADE ALONG THE STRUCTURE'S FOUNDATION EXCEEDS TWO (2) FEET.

MINIMUM YARD REQUIREMENTS:
STREET: T, NONE IF A YARD WALL BETWEEN 6' AND 8' SIDE: 5'
REAR: 5', 5' IF WALL BETWEEN 6' AND 8' IS BUILT. NO PORTION OF ANY STORY ABOVE GROUND LEVEL STORY SHALL BE CLOSER THAN 15 FEET FROM PROPERTY LINE.

MAXIMUM LOT COVERAGE:
40% MAY INCREASE TO 55% IF PRIVATE OPEN SPACE IS PROVIDED. SEE SECTION 14-15(G).
4,062 SQ.FT. (ROOFED) / 8,821.8 SQ.FT. (LOT SIZE) = 46%
*46% OF LOT IS COVERED.
PRIVATE OPEN SPACE IS REQUIRED.

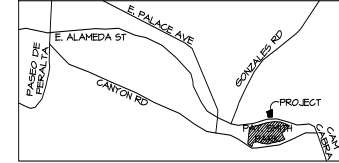
MINIMUM REQUIRED PRIVATE OPEN SPACE:
NOT LESS THAN 50% OF TOTAL GROSS FLOOR AREA OF DWELLING UNIT, PER SECTION 14-15(A).
2,681 (GROSS HEATED) * 0.5 = 1,344 SQ.FT. OF PRIVATE OPEN SPACE REQUIRED.
*MORE THAN 1,344 SQ.FT. OF PRIVATE OPEN SPACE PROVIDED.

SHEET INDEX

- AO-1 SITE PLAN
- AH-1 FLOOR PLAN
- A2-1 BUILDING ELEVATIONS
- A2-2 BUILDING ELEVATIONS
- A2-3 BUILDING ELEVATIONS
- A2-4 BUILDING ELEVATIONS

MAP & DIRECTIONS

DRIVE EAST ON ALAMEDA PAST GONZALES RD TO 1023 E. ALAMEDA ACROSS FROM MON. PATRICK SMITH PARK.



PRAXIS ARCHITECTS INC.

SCHNEIDER II RESIDENCE
1023 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2742

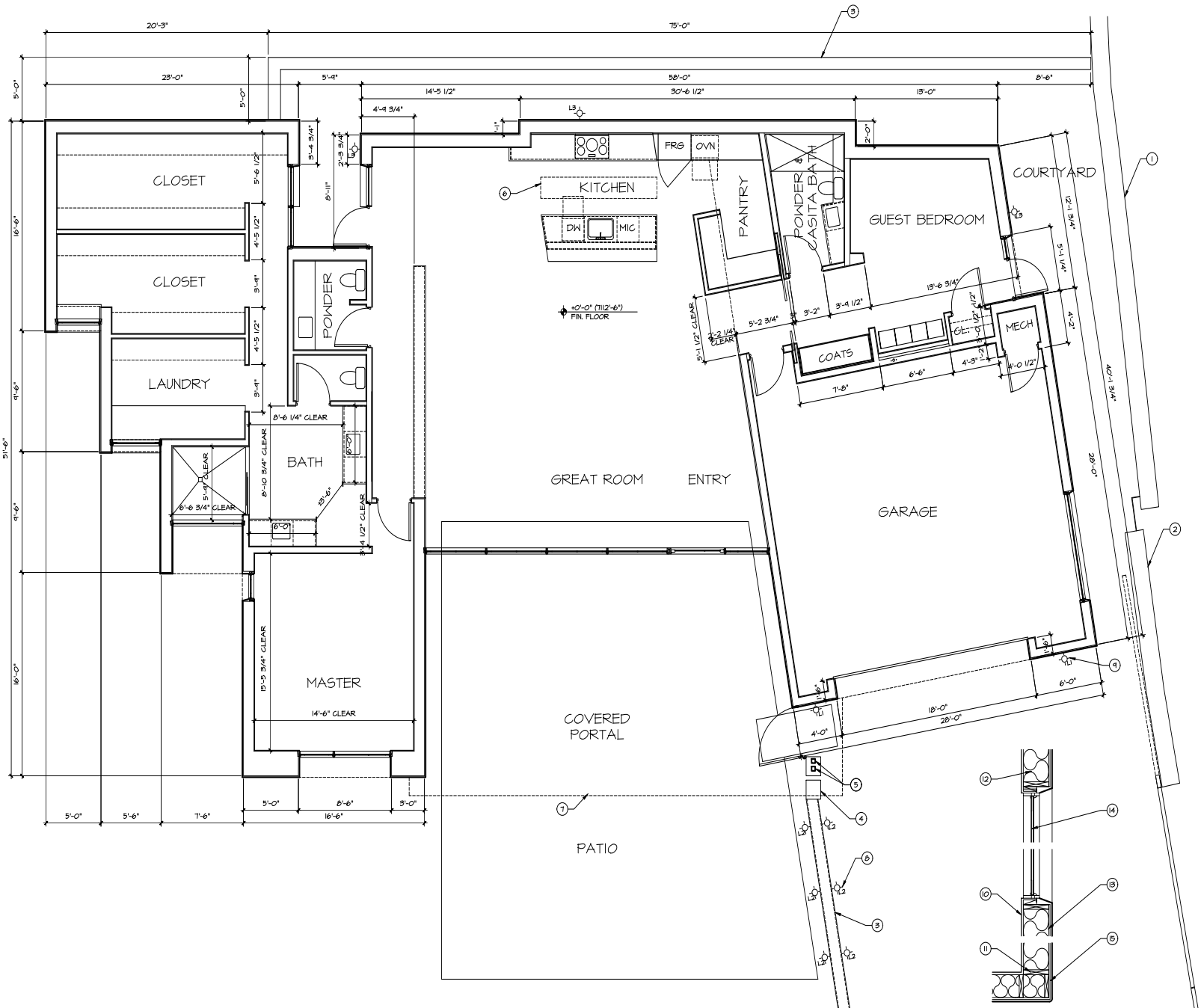
SITE PLAN

DRAWN BY: SB / SO FILE NAME: SC2-A0-1.DWG
COPYRIGHTS RESERVED
REVISION: SD-6 DATE: 07/21/2021

AO-1

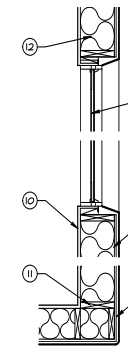


1
AO-1



KEYED NOTES

1. EXISTING STONE WALL TO REMAIN.
2. NEW STONE WALL TO MATCH EXIST.
3. ICF WALL W/ STICCO FINISH TO MATCH EXIST. FRONT WALL.
4. STONE PLASTER, STONE TO MATCH EXIST.
5. STEEL POSTS, SEE ELEV.
6. SKYLIGHT ABOVE.
7. PORTAL ABOVE, SEE ELEV.
8. STEP LIGHT PER SPEC.
9. WALL SCOOPE PER SPEC.
10. DRYHALL AND PAINT FINISH.
11. WOOD FRAMING.
12. EXIST. INSULATION.
13. 1/2" SHEATHING AND VAPOR BARRIER.
14. ALUMINUM HINGED.
15. STICCO SYSTEM WITH ROUNDED CORNERS - COLOR, SAHARA, FROM STC CORP.



ENLARGED PLAN DETAIL
SCALE 3/4" = 1'-0"

PRAXIS
ARCHITECTS INC

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2712

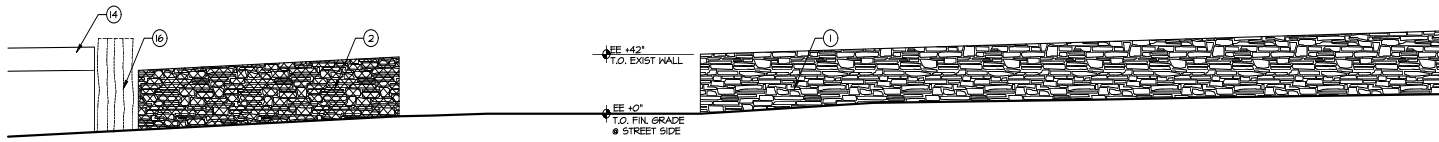
FLOOR
PLAN

DRAWN BY: BO	FILE NAME: SC2-A1-DWG
REVISION: SD-6	DATE: 07/21/2021

A1-1

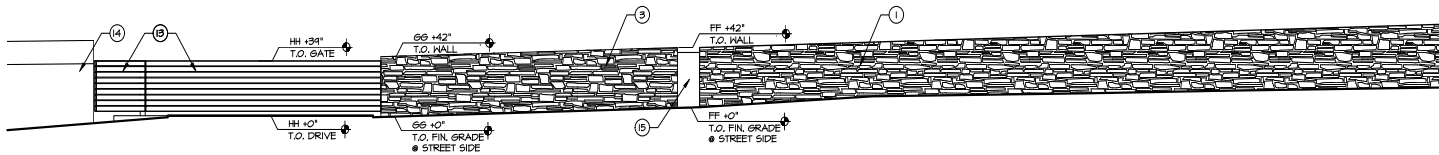
KEYED NOTES

1. EXISTING STONE MALL TO REMAIN
2. EXIST. WALL TO BE REMOVED, EXIST. STONE TO BE SALVAGED FOR RE-USE
3. NEW STONE WALL TO MATCH EXIST. RE-USE SALVAGE STONE FROM DEMO'D WALL.
4. ICF WALL WITH STUCCO FINISH TO MATCH HOUSE.
5. STUCCO SYSTEM - COLOR: SAHARA, FROM STO CORP.
6. ALUMINUM / GLASS HINDOH
7. ALUMINUM / GLASS GARAGE DOOR
8. STEEL POST AND BEAM PORTAL, FINISH TO BE LEFT RAW TO WEATHER.
9. BRICK MASONRY PARAPET CAP
10. STONE PLASTER, STONE TO MATCH EXIST. FRONT WALL
11. EXIST. / PROPOSED STONE MALL IN FOREGROUND, SEE (UA2) & A21
12. ICF WALL W/ STUCCO FINISH IN FOREGROUND
13. NEW HOOD AND STEEL FRAME AUTO GATE AND SHING GATE
14. EXIST. STUCCO WALL W/ COYOTE FENCE CAP
15. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN RAW AND UNFINISHED
16. HORIZ. BRICK COURSING
17. VERTICAL STAGGERED BRICK COURSING
18. MORTAR JOINTS
19. CUSTOM STEEL PLATE CANALE, FINISH TO BE LEFT RAW TO WEATHER.
20. EXT. WALL SCOSCE PER SPEC., DARK SKY COMPLIANT



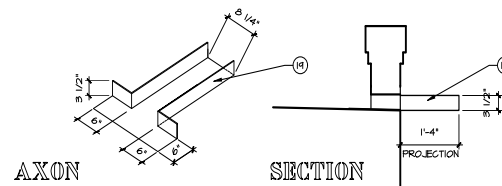
SOUTH ELEVATION - EXIST. YARD WALL
SCALE: 1/4"=1'-0"

5
A2-1

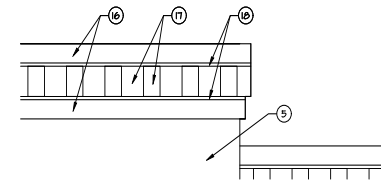


SOUTH ELEVATION - PROPOSED YARD WALL
SCALE: 1/4"=1'-0"

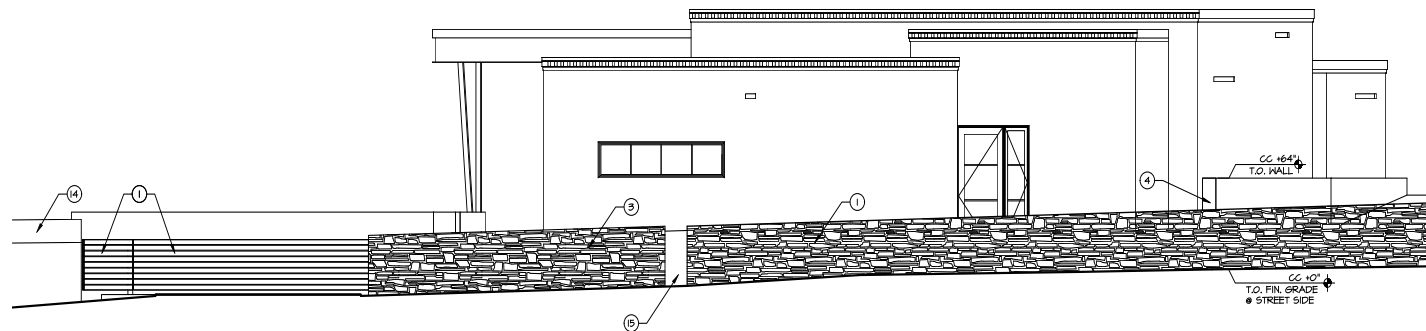
2
A2-1



CANALE DETAILS
SCALE 3/4" = 1'-0"



ENLARGED BRICK PARAPET DETAIL
SCALE 3/4" = 1'-0"



SOUTH ELEVATION - STREET VIEW
SCALE: 1/4"=1'-0"

1
A2-1

PRAXIS INC
ARCHITECTS

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2712

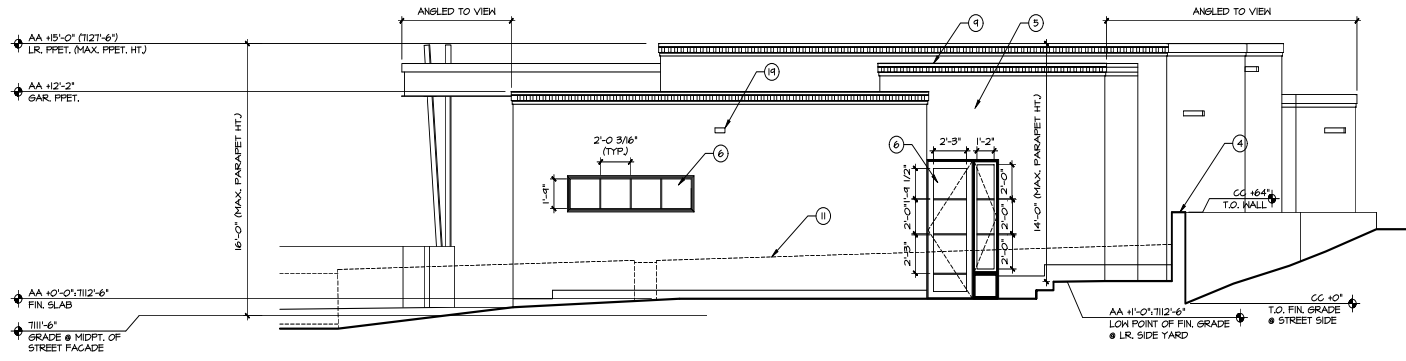
BUILDING
ELEVATIONS

DRAWN BY: BO FILE NAME: 522-A2-1.DWG
© COPYRIGHTS RESERVED
REVISION: SD-6 DATE: 07/2/2021

A2-1

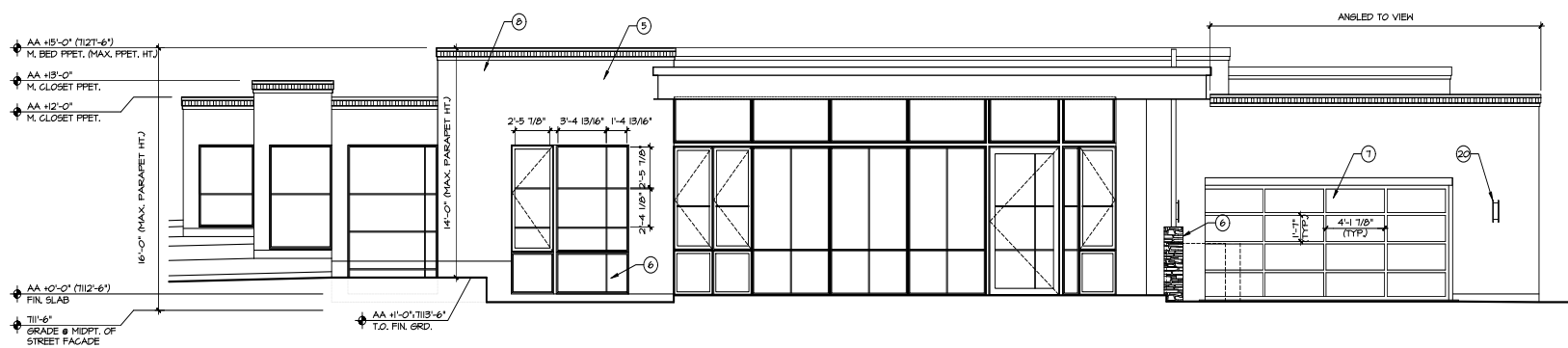
KEYED NOTES

1. EXISTING STONE HALL TO REMAIN
2. EXIST. WALL TO BE REMOVED, EXIST. STONE TO BE SALVAGED FOR RE-USE
3. NEW STONE WALL TO MATCH EXIST., RE-USE SALVAGE STONE FROM DEMO'D WALL
4. ICF HALL WITH STUCCO FINISH TO MATCH HOUSE.
5. STUCCO SYSTEM - COLOR: SAHARA, FROM STO CORP.
6. ALUMINUM / GLASS WINDOW
7. ALUMINUM / GLASS GARAGE DOOR
8. STEEL POST AND BEAM PORTAL, FINISH TO BE LEFT RAW TO WEATHER.
9. BRICK MASONRY PARAPET CAP
10. STONE PILASTER, STONE TO MATCH EXIST. FRONT WALL
11. EXIST. / PROPOSED STONE WALL IN FOREGROUND, SEE 1(A2) & A2J
12. ICF HALL W/ STUCCO FINISH IN FOREGROUND
13. NEW WOOD AND STEEL FRAME AUTO GATE AND SWING GATE
14. EXIST. STUCCO WALL W/ COYOTE FENCE CAP
15. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN RAW AND UNFINISHED
16. HORIZ BRICK COURSING
17. VERTICAL STAGGERED BRICK COURSING
18. MORTAR JOINTS
19. CUSTOM STEEL PLATE CANALE, FINISH TO BE LEFT RAW TO WEATHER.
20. EXT. WALL SCENCE PER SPEC., DARK SKY COMPLIANT



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

A2-19



WEST ELEVATION
SCALE: 1/4"=1'-0"

PRAXIS ARCHITECTS INC

SCHNEIDER II RESIDENCE
1025 E. ALAMEDA SANTA FE, NM
JOB NUMBER: 2742

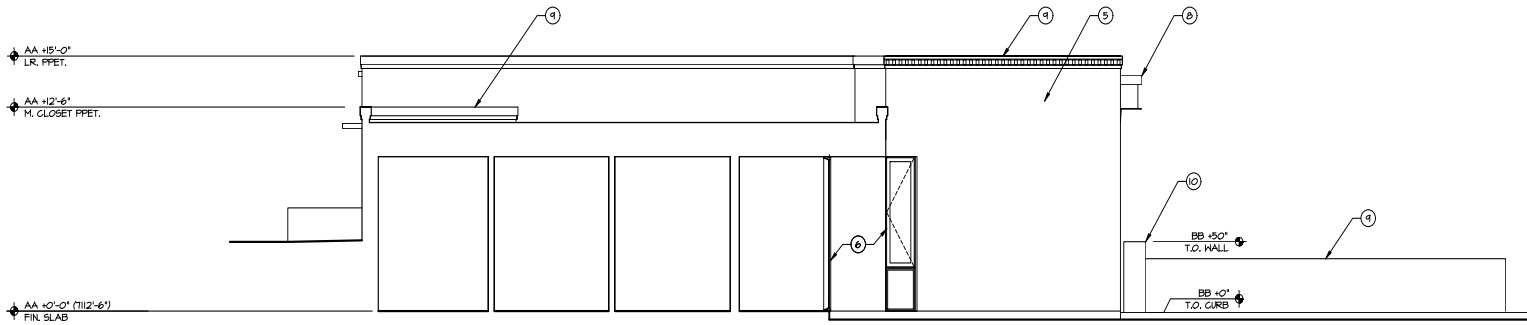
BUILDING ELEVATIONS

DRAWN BY: SD	FILE NAME: SC2-A2-19WG
REVISION: SD-8	DATE: 07/21/2021

A2-2

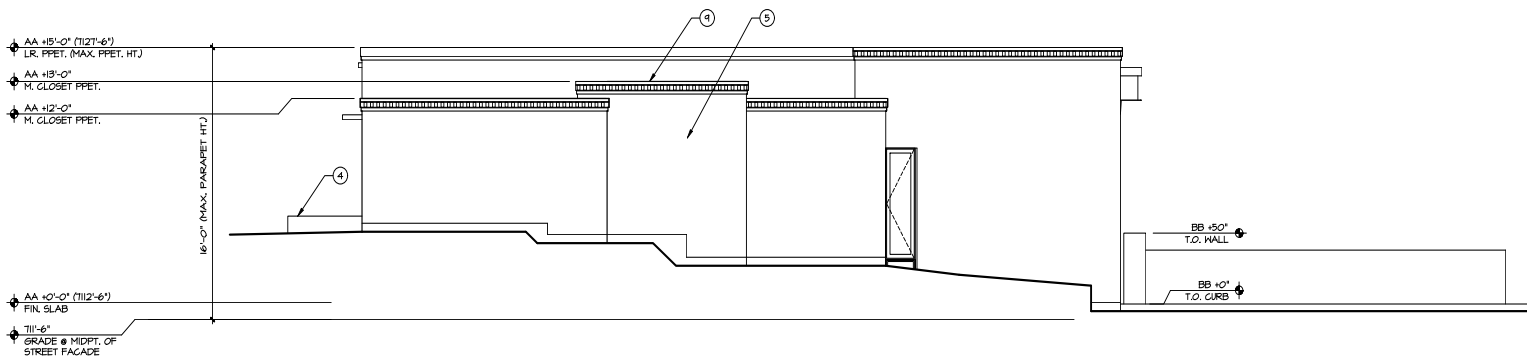
KEYED NOTES

1. EXISTING STONE WALL TO REMAIN
2. EXIST. WALL TO BE REMOVED, EXIST. STONE TO BE SALVAGED FOR RE-USE
3. NEW STONE WALL TO MATCH EXIST. RE-USE SALVAGE STONE FROM DEMO'D WALL.
4. ICF WALL WITH STUCCO FINISH TO MATCH HOUSE.
5. STUCCO SYSTEM - COLOR: SAHARA, FROM STO CORP.
6. ALUMINUM / GLASS HINDOH
7. ALUMINUM / GLASS GARAGE DOOR
8. STEEL POST AND BEAM PORTAL, FINISH TO BE LEFT RAW TO WEATHER.
9. BRICK MASONRY PARAPET CAP
10. STONE PLASTER, STONE TO MATCH EXIST. FRONT WALL
11. EXIST. / PROPOSED STONE HALL IN FOREGROUND, SEE U/A2J 4 A2J
12. ICF WALL W/ STUCCO FINISH IN FOREGROUND
13. NEW HOOD AND STEEL FRAME AUTO GATE AND SWING GATE
14. EXIST. STUCCO WALL W/ COYOTE FENCE CAP
15. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN, RAW AND UNFINISHED
16. HORIZ. BRICK COURSING
17. VERTICAL STAGGERED BRICK COURSING
18. MORTAR JOINTS
19. CUSTOM STEEL PLATE CANALE, FINISH TO BE LEFT RAW TO WEATHER.
20. EXT. WALL SCOSCE PER SPEC., DARK SKY COMPLIANT



NORTH ELEVATION
SCALE: 1/4"=1'-0"

A2-3



NORTH ELEVATION
SCALE: 1/4"=1'-0"

A2-3

PRAXIS
ARCHITECTS

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2142

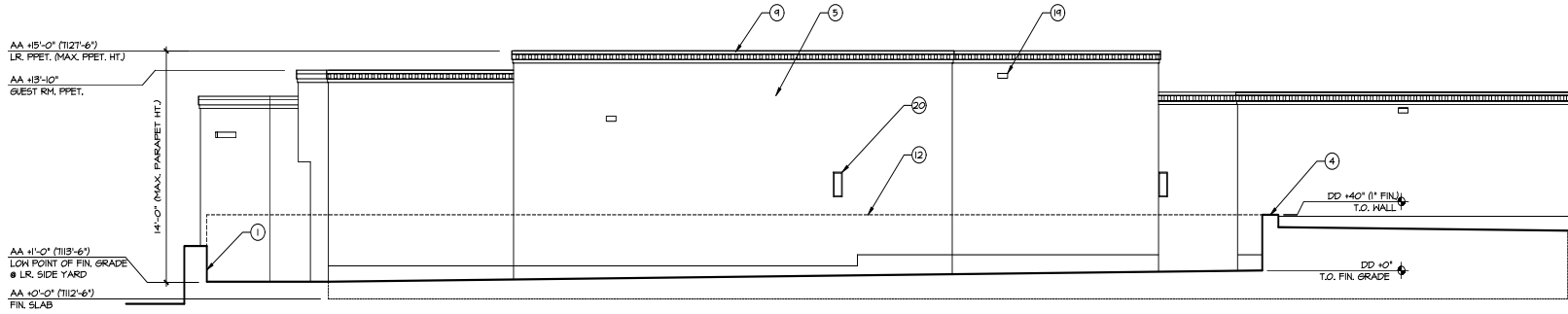
BUILDING ELEVATIONS

DRAWN BY:	BO	FILE NAME:	5C2-A2-1.DWG
REVISION:	SD-6	DATE:	07/21/2021

A2-3

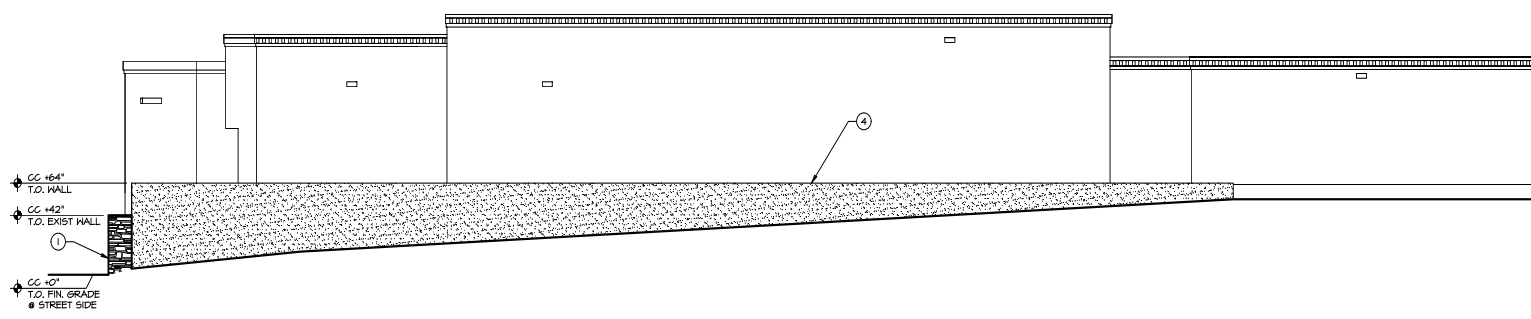
KEYED NOTES

1. EXISTING STONE WALL TO REMAIN
2. EXIST. WALL TO BE REMOVED, EXIST. STONE TO BE SALVAGED FOR RE-USE
3. NEW STONE WALL TO MATCH EXIST. RE-USE SALVAGE STONE FROM DEMO'D WALL.
4. ICF WALL WITH STUCCO FINISH TO MATCH HOUSE.
5. STUCCO SYSTEM - COLOR: SAHARA, FROM STO CORP.
6. ALUMINUM / GLASS WINDOW
7. ALUMINUM / GLASS GARAGE DOOR
8. STEEL POST AND BEAM PORTAL, FINISH TO BE LEFT RAW TO WEATHER.
9. BRICK MASONRY PARAPET CAP
10. STONE PLASTER, STONE TO MATCH EXIST. FRONT WALL EXIST. / PROPOSED STONE WALL IN FOREGROUND, SEE (A2) 4 A2)
11. ICF WALL W/ STUCCO FINISH IN FOREGROUND
12. NEW HOOD AND STEEL FRAME AUTO GATE AND SHIMS @ GATE
13. EXIST. STUCCO WALL W/ COYOTE FENCE CAP
14. NEW STEEL PLATE BETWEEN PROPOSED AND EXIST. YARD WALLS, FINISH TO REMAIN, RAW AND UNFINISHED
15. HORIZ. BRICK COURSING
16. VERTICAL STAGGERED BRICK COURSING
17. MORTAR JOINTS
18. CUSTOM STEEL PLATE CANALE, FINISH TO BE LEFT RAW TO WEATHER.
20. EXT. WALL SCONCE PER SPEC., DARK SKY COMPLIANT



EAST ELEVATION
SCALE: 1/4"=1'-0"

A2-4



EAST ELEVATION
SCALE: 1/4"=1'-0"

A2-4

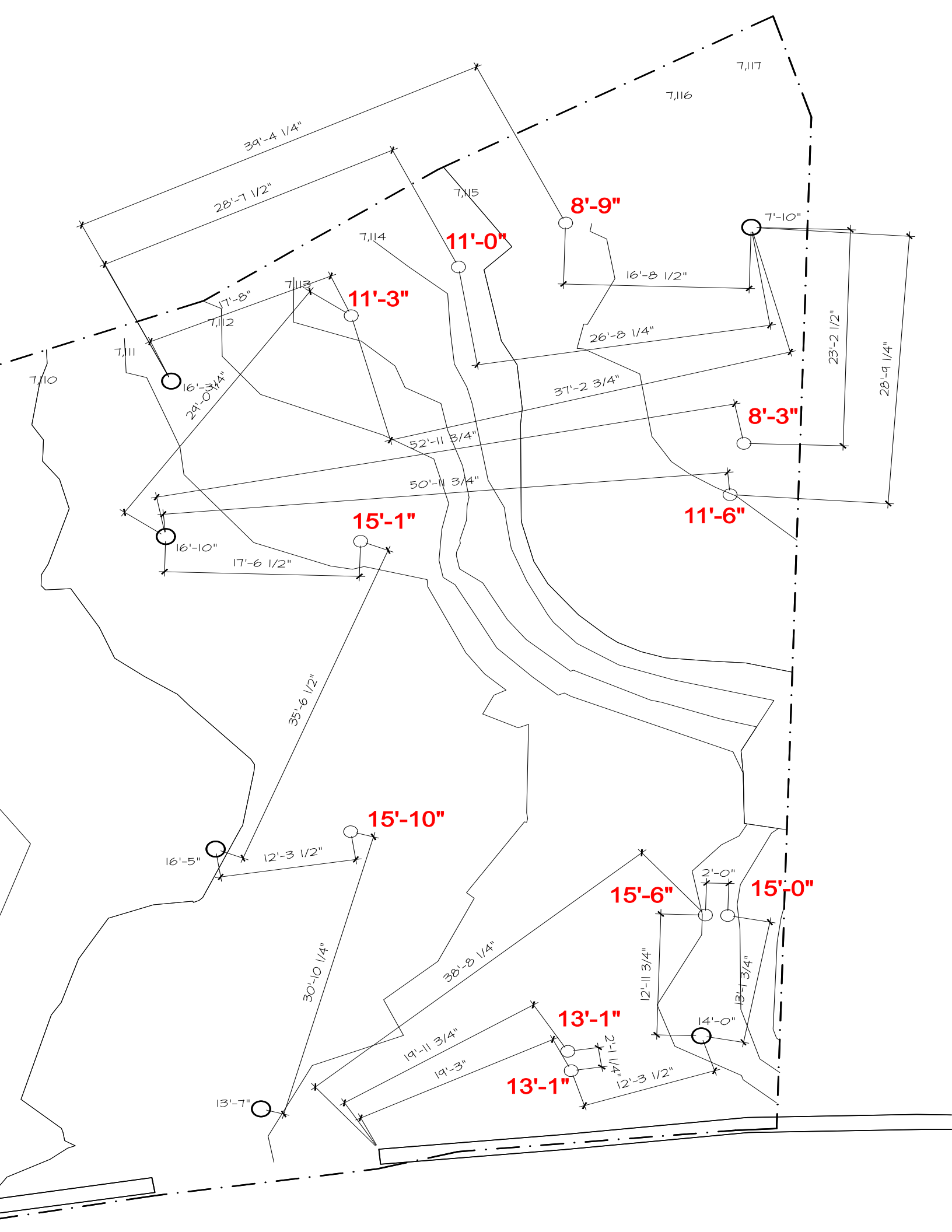
PRAXIS
ARCHITECTS

SCHNEIDER II
RESIDENCE
1025 E. ALAMEDA
SANTA FE, NM
JOB NUMBER: 2142

BUILDING ELEVATIONS

DRAWN BY: BO	FILE NAME: 5C2-A2-1.DWG
REVISION: SD-6	DATE: 07/2/2021

A2-4



Project: Schneider II
Address: 1023 East Alameda Street, Santa Fe NM 87501
Architect: Praxis Architects



Picture from the across the street, looking north to the site.



Picture from the across the street, looking north to the site and east neighbor.



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



Picture from the sidewalk, east, where the neighbor's property starts.



Picture from the across the street, looking north-west to the site with a wider view.



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION INCLUDING EXISTING
ADJACENT HOME TO THE EAST, WITH
STORY POLES STUDY



1023 E. ALAMEDA
SOUTH ELEVATION WITH A WIDER VIEW FROM THE
WEST, WITH STORY POLES STUDY

1023 ALAMEDA
SOUTH ELEVATION WITH
STORY POLES STUDY



PRAXIS

DESIGN - BUILD

1023 E. ALAMEDA ST.
SANTA FE, NM 87507

MATERIAL SELECTION BOARD

GARAGE DOOR
DARK BRONZE ANNO.



WINDOW CLAD
DARK BRONZE ANNO.



STUCCO COLOR
SAHARA



WOOD GATE
IPE



BRICK



SIDEWALK
SANDSTONE



EXPOSED STEEL



ROOFING



Fabricated in concrete, the Sana collection by Tech Lighting adds an industrial texture to contemporary urban spaces. With an unembellished cylindrical design, the Sana wall sconce reflects the columnar features of open plan environments.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

**PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.**

LIGHT "L1"

SPECIFICATIONS

DELIVERED LUMENS	121.5
WATTS	5
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV, TRIAC
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
CCT	3000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum / Concrete
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	6 lbs.



SANA 16 WALL
shown in black

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

7000WSAN	CRI/CCT	LENGTH	FINISH	VOLTAGE	DISTRIBUTION
930	90 CRI, 3000K	16 16"	B BLACK	UNV 120V-277V	S SYMMETRIC



BRAND

Modern Forms

DESCRIPTION

The Dorne Wall Sconce's beautiful ambient light warms over the Antiqued Brass finished feature to indirectly illuminate entryways subtly for a soft and comforting glow. This durable indoor/outdoor wall sconce offers advanced LED technology discreetly hidden in its robust housing. Place the Dorne on the side of the garage or next to the front door to fill up your exterior with a brilliant light. Available in two sizes. Wet location rated. ETL, Title 24 and Dark Sky listed.



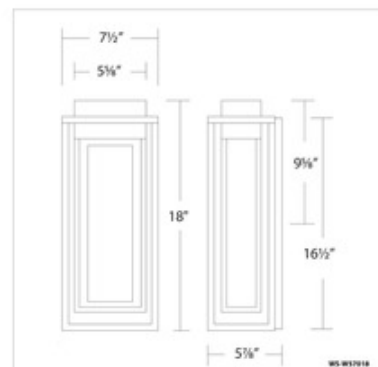
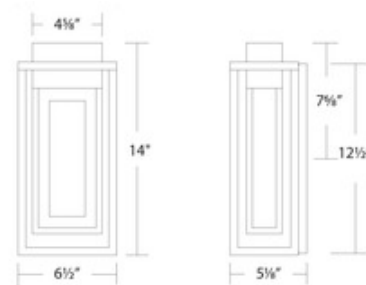
Shown in: Black Aged Brass

SHADE COLOR	N/A
BODY FINISH	Black Aged Brass
WATTAGE	8W
DIMMER	Low Voltage Electronic
DIMENSIONS	7.5"W x 18"H x 5.88"D
LAMP	1 x LED/8W/120V LED

Technical Information

LUMINOUS FLUX	600 lumens
LUMENS/WATT	75.00
LAMP COLOR	3000 K
COLOR RENDERING	90 CRI

ITEM NUMBER MFR907707



COMPANY

PROJECT

FIXTURE TYPE

APPROVED BY

DATE

Newport Rectangular LED Outdoor Step Light

By Kuzco Lighting

Newport Rectangular LED Outdoor Step Light
By Kuzco Lighting

PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.

LIGHT: "L2"

Product Options

Finish: Black , Grey
Size: Small , Large

Details

- Housing available separately
- Material: Die-cast aluminum
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100%-10%
- ETL Listed
- Warranty: 2 year finish, 5 year electrical
- Made In China



Dimensions

Small Option Fixture: Width 9.75", Height 3.66", Depth 2.25"
Large Option Fixture: Width 19.25", Height 3.66", Depth 2.25"

Lighting

- Small Option: 9 Watt (600 Lumens) 120 Volt Integrated LED: Color Temp: 3000K Lifespan: 50000 hours
- Large Option: 15 Watt (1200 Lumens) 120 Volt Integrated LED: Color Temp: 3000K Lifespan: 50000 hours

Notes:

Additional Details

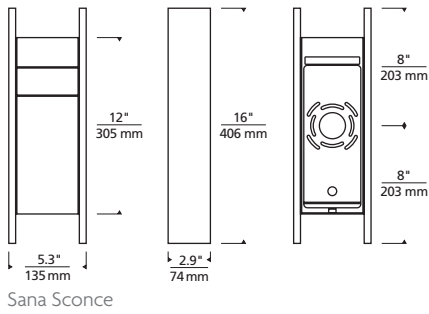
Product URL:
<https://www.lumens.com/newport-rectangular-led-outdoor-step-light-by-kuzco-lighting-KUZP308646.html>
Rating: ETL Listed

Product ID: KUZP308646

Prepared by:

Prepared for:
Project:
Room:
Placement:
Approval:



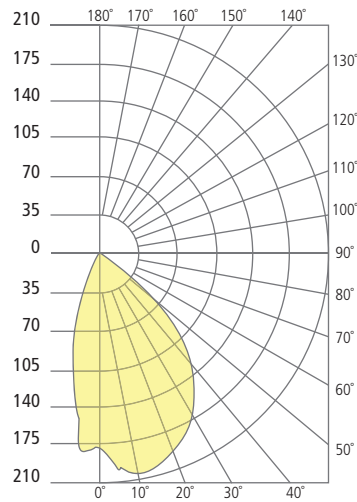


PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

SANA WALL

Total Lumen Output: 121.5
 Total Power: 5
 Luminaire Efficacy: 24
 Color Temp: 3000K
 CRI: 90
 BUG Rating: B0-U0-G0



PRAXIS ARCHITECTS
PROJECT: 1023 E. ALAMEDA ST.
LIGHT "L1"

PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



© 2020 Tech Lighting, L.L.C. All rights reserved. The "Tech Lighting" graphic is a registered trademark. Tech Lighting reserves the right to change specifications for product improvements without notification.

TECH LIGHTING

VISUAL COMFORT & Co.

7400 Linder Avenue, Skokie, Illinois 60077

T 847.410.4400 F 847.410.4500



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004122--HDRB

Project Description:

Project Location(s): 128 GRANT AVE
Santa Fe, NM 87501

Contacts:

Property Owner: Georgia Place LLC

pat@santafenm.gov

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: N/A

Year of Construction: 1980s

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004122-HDRB

Address: 128 Grant Avenue
Historic Status: Non-Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D)(9) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

128 Grant Avenue is a structure constructed in a territorial revival style in 1982-1983. Given its non-historic construction date, it has a status of “non-contributing”. Located behind 130 Grant Avenue, it is mostly hidden from public view. It is a mixed-use structure, containing offices on the lower two floors and a residence on the third.

The applicant now proposes the following changes, which will take place on the second floor:

North Façade underneath Covered Balcony – Proposed Changes:

1. Existing Double Hung Window:
 - a. Remove single double hung window and wood casing. Widen opening to install new double door and wood casing. Reuse double door and match casing from removed door E-2
 2. Existing Exit Door:
 - a. Remove existing door and wood casing.
 3. Existing Door with Sidelights:
 - a. Remove existing door system and wood casing. In-fill opening and finish with stucco to match existing;
 - b. Salvage door E-1 and reuse
 4. Existing Double Door:
 - a. Remove existing double door and wood casing. Frame-in exterior wall to fit salvage single door E-1;
 - b. Salvage existing double door E-2 and casing to be reused
 5. Third Post on Balcony:
 - a. Full height stucco wall centered on post (see FIG 04). The proposed wall will be framed full height;
 6. Replace 6 10-inch square surface mounted ceiling lights with 6 11-inch square surface mounted LED lights;
 7. Stucco colors will be El Rey 125 La Luz and El Rey 100 Colonial White to match the existing.
-



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department


To Be Completed By Applicant:		Site Address: 128 Grant Avenue	
Date Submitted: July 29, 2021 revision 08-11-21		Proposed Construction Description: Change of Use on 2nd floor from B to R2	
Property Owner of Record: Georgia Place, LLC		128 Grant Ave: 4,864 sf	
Applicant/Agent Name: Sibylle Mueller, AIA		TOTAL ROOF AREA: 130 Grant Ave: 2,063 sf	
Contact Person Phone Number: (505) 570.7261		Lot Coverage : 46 %	
Zoning District: BCD Marcy		<input checked="" type="checkbox"/> Open Space Required: None	
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		Setbacks: N/A	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Proposed Front: _____ Minimum: _____ 2 nd Front? _____	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Height: Proposed N/A Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Use of Structure: <input checked="" type="checkbox"/> Residential R3 <input checked="" type="checkbox"/> Commercial Type of Use: B		Parking Spaces: Existing Spaces Proposed 18 Accessible 1 Minimum: 14	
Terrain: <input type="checkbox"/> 30% slopes _____		Bicycle Parking**: Proposed: 6 Minimum: 6 ** Commercial Requirement	

* Requires an additional review conducted by Technical Review Division.
 ** Requires an additional review conducted by the Traffic Engineering Division.

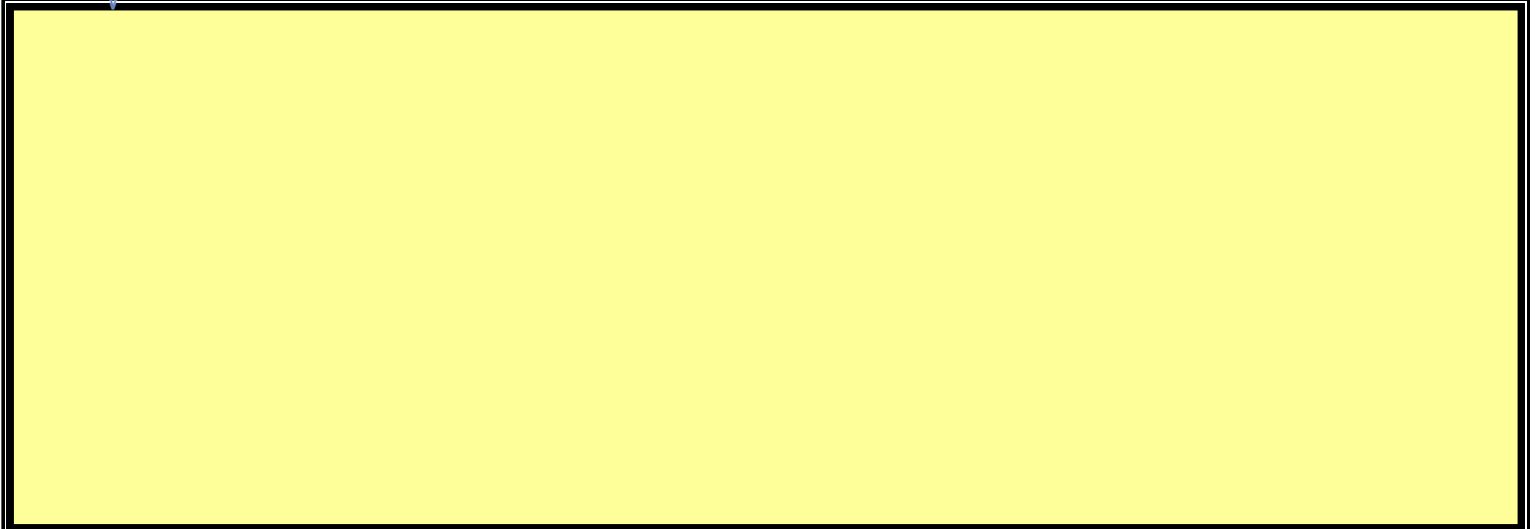
THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Sibylle Mueller, AIA _____ [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.


 SIGNATURE

08-11-21
 DATE



Mr. Daniel Schwab, Historic Preservation Division
City of Santa Fe
PO Box 909
200 Lincoln Ave.
Santa Fe, NM 87504-0909

July 26, 2021
REV August 11, 2021

H I S T O R I C D I V I S I O N - P R O P O S A L L E T T E R

RE: Request for a Change of Use on the 2nd floor of 128 Grant Avenue

Dear Mr. Schwab:

We are proposing a Change of Use from offices to two residential units on the 2nd floor at 128 Grant Avenue. The building is an existing three-story building in the Downtown and East Side Historic District. The lot has two existing buildings: 128 Grant Avenue, a non-contributing building and 130 Grant Avenue, a significant building.

The proposed changes pertain to the exterior North façade at 128 Grant Avenue only. The purpose for the proposed changes reflects the functionality for the residential units and code related upgrades. The intent for each unit is to have a private outdoor area. The proposed changes include windows, doors, lighting, and a wall dividing the balcony into two spaces. The balcony and the proposed changes are visible from the sidewalk on Griffin Street. The existing guardrail hides a large portion of the visible proposed changes.

EXISTING CONDITIONS:

Age and History:

1. 128 Grant Avenue on Lot 5 was built in 1982/83 and is next to 130 Grant Avenue.
2. The building is located West of 130 Grant Avenue and mostly hidden from street view. Existing windows and doors on the 2nd floor are behind a continuous guardrail and underneath the covered balcony.
3. The building's historic status is non-contributing and non-historic.
4. The architectural style is territorial with following features:
 - a. Exposed brick cladding façade attached to a steel construction.
 - b. Brick coping at parapet.
 - c. White painted territorial type window casings.
 - d. Double hung wood windows.
 - e. Roofed balcony with white painted wooden guardrail, pitch of roof 3:12 with ceiling mounted lights and portal underneath balcony.
 - f. Brown colored stucco (from finish floor to +40") with white colored stucco above at North façade underneath covered balcony and portal only.
 - g. Black steel guardrail on third floor for roof terrace that was approved by HDRB.
5. The building has three stories with offices on the first two floors, and a residence on the third floor.
6. The building has two stairwells and an elevator. One stairwell on the North side exits onto the covered balcony to access the second floor and terminates onto the parking lot.
7. The window and door layout underneath the covered balcony on the 2nd floor and portal on the 1st floor are not aligned with each other.

PROPOSED CHANGES:

General Proposed Changes:

1. The proposed work is on the 2nd floor only where existing offices are replaced with two residential units.
2. Existing stairwell door serving the second floor is currently accessed from the balcony. The building code requires an access to a stairwell from an *exit access*. In our case, the common lobby is the *exit access* and the door to the stairwell cannot lead through the balcony. Therefore, the new door to the stairwell must be accessed from the common lobby and the existing stairwell door from the balcony must be omitted.
3. The existing building height and existing building area will remain unchanged.
4. Changes to the exterior facades occur on the North façade on the 2nd floor underneath the balcony only. Existing East-, South-, West- and a portion of the North façade remain unchanged.
5. Existing roof mounted HVAC systems and roof penetrations will remain. There will be no additional proposed roof mounted units and skylights.

North Façade Underneath Covered Balcony – Proposed Changes:

1. Existing Double Hung Window:
 - a. Remove single double hung window and wood casing. Widen opening to install new double door and wood casing. Reuse double door and match casing from removed door E-2 (see item 4 below and FIG 02)
2. Existing Exit Door:
 - a. Remove existing door and wood casing. In-fill opening and finish with stucco to match existing two-tone color as follows: (see FIG 02 or FIG 04)
 - i. Stucco color from finish floor +40": *El Rey 125 La Luz (matching brown stucco color – see FIG 09)*.
 - ii. Stucco color from +40" to ceiling: *El Rey 100 Colonial White (matching white stucco – see FIG 10)*.
3. Existing Door with Sidelights:
 - a. Remove existing door system and wood casing. In-fill opening and finish with stucco to match existing two-tone color as follows: (see FIG 02 or 04)
 - i. Stucco color from finish floor +40": *El Rey 125 La Luz (matching brown stucco color – see FIG 09)*.
 - ii. Stucco color from +40" to ceiling: *El Rey 100 Colonial White (matching white stucco – see FIG 10)*.
 - b. Salvage door E-1 and reuse – see item 4 below
4. Existing Double Door:
 - a. Remove existing double door and wood casing. Frame-in exterior wall to fit salvage single door E-1. (see FIG 02)
 - b. Salvage existing double door E-2 and casing to be reused – see item 1 above.
5. Third Post on Balcony:
 - a. Full height stucco wall centered on post (see FIG 04). The proposed wall will be framed full height (balcony floor to roof decking)
 - b. Stucco color from finish floor +40": *El Rey 125 La Luz (matching brown stucco color – see FIG 09)*.
 - c. Stucco color from +40" to ceiling: *El Rey 100 Colonial White (matching white stucco color – see FIG 10)*.
6. Replace (6) 10" square surface mounted ceiling lights with (6) 11" square surface mounted LED lights. Specifications: WAC Lighting FM-11SQ9303020W1650 WT, color white, 20W LED 3000K dimmable. See attached specifications.

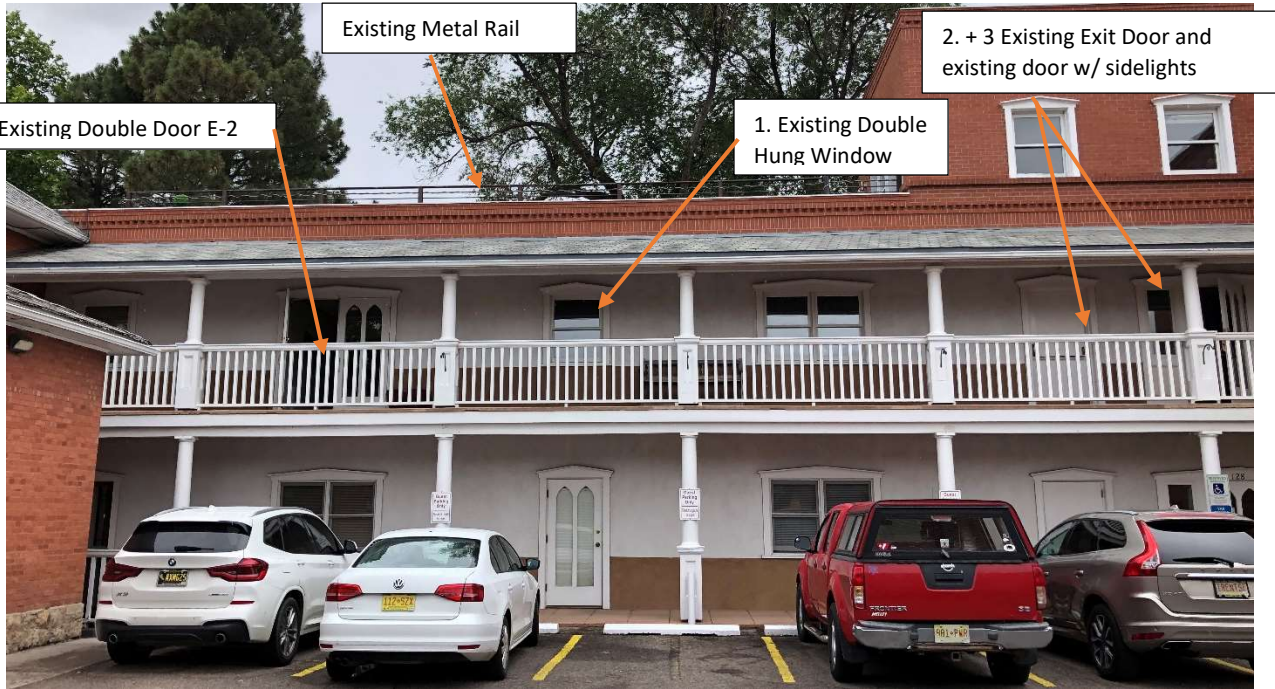


FIG 01 - EXISTING FAÇADE

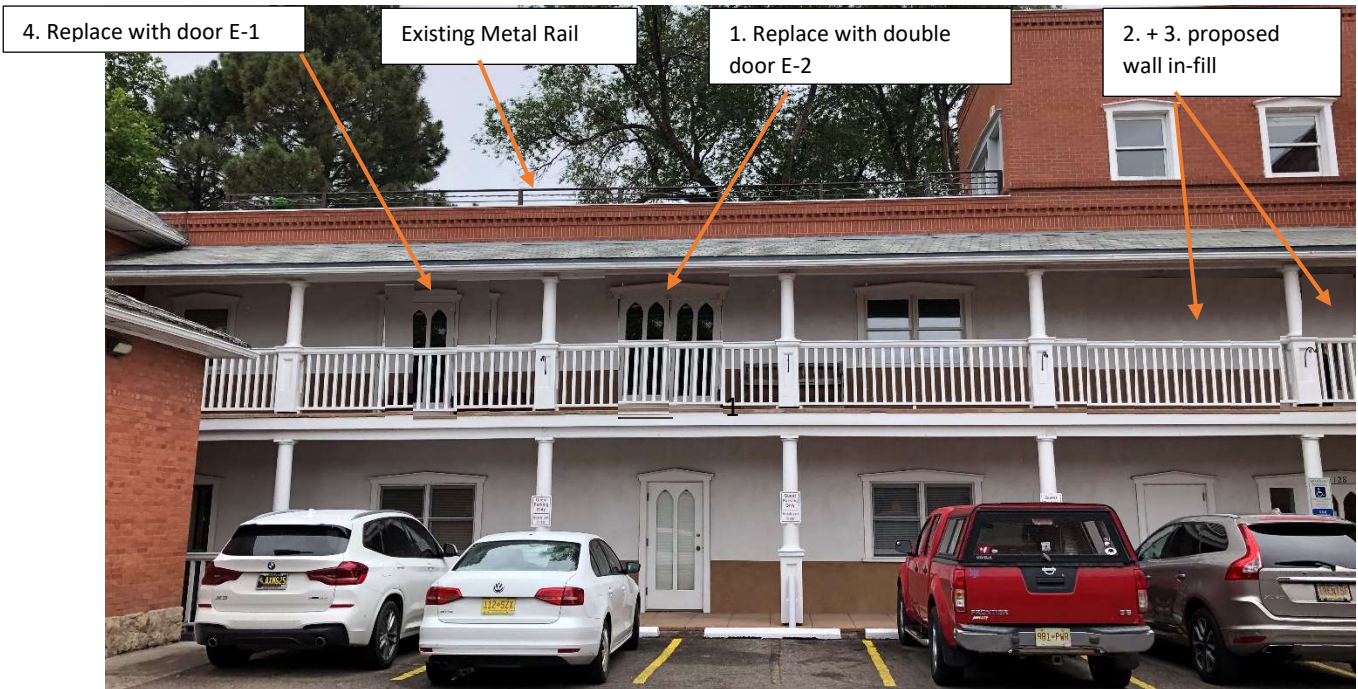


FIG 02 - PROPOSED FAÇADE



FIG 03 - EXISTING FAÇADE

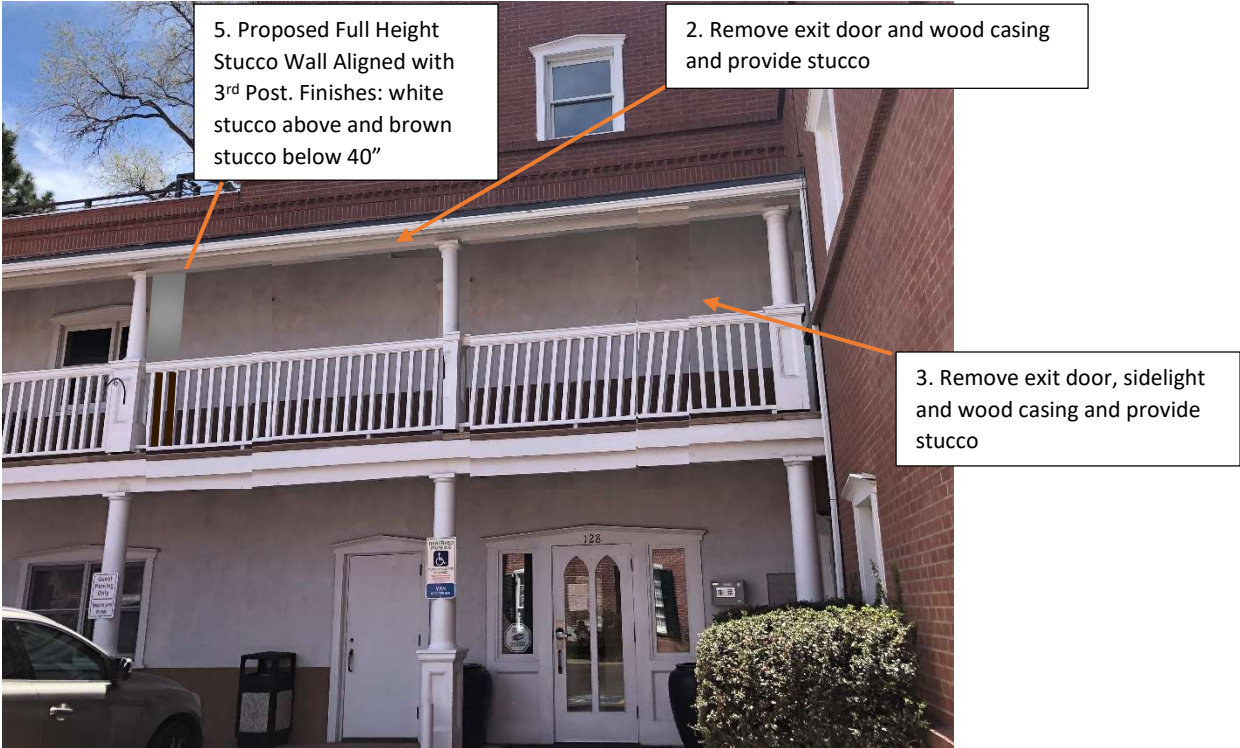


FIG 04 - PROPOSED FAÇADE

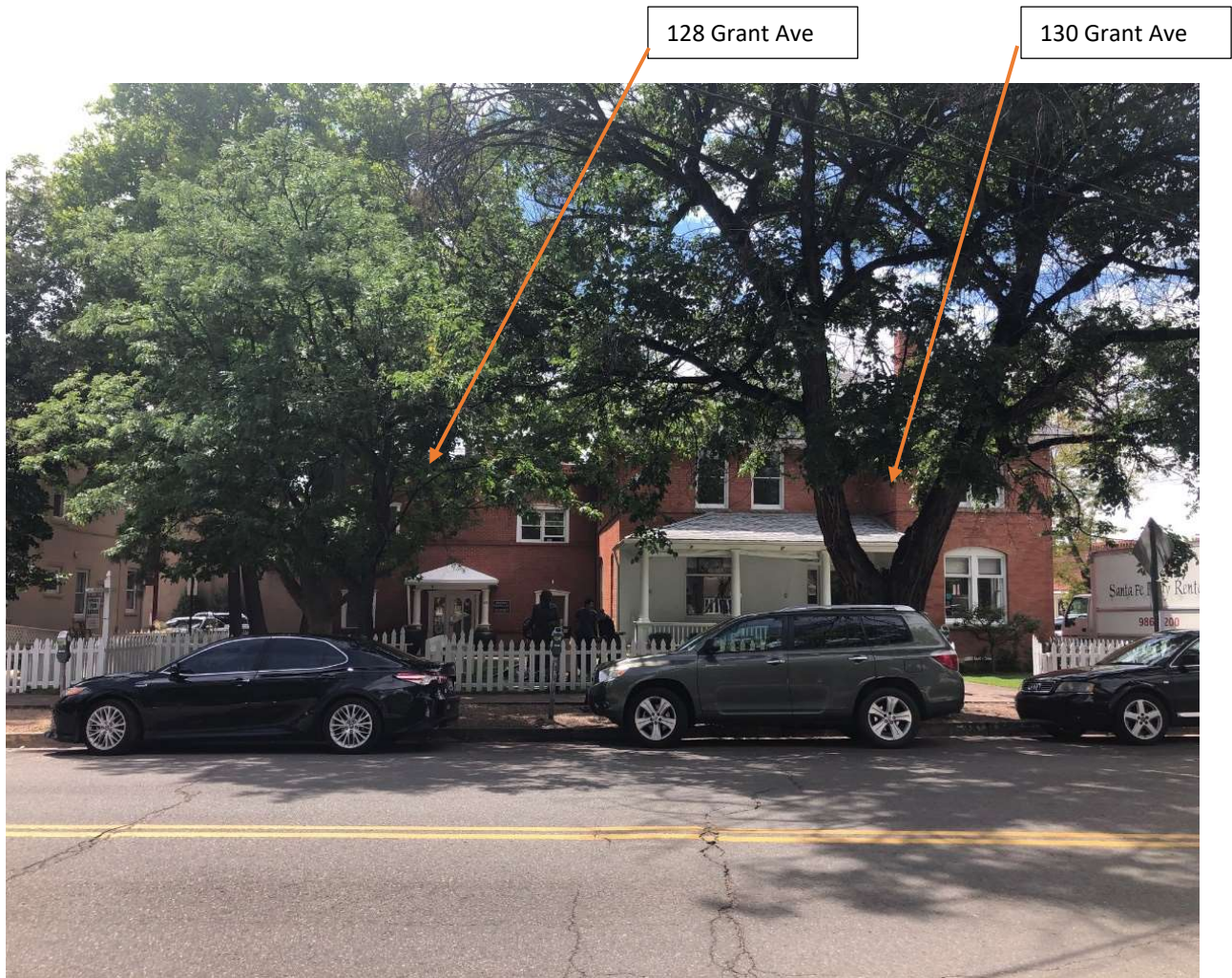


FIG 05 - GRANT AVENUE STREET VIEW SHOWING PREDOMINATELY 130 GRANT AVENUE



FIG 06 - GRIFFIN ST. STREET VIEW SHOWING LOCATION OF PROPOSED CHANGES AT BALCONY



FIG 07 - PARKING LOT WITH 128 GRANT AVE SHOWING BALCONY ON 2ND FLOOR



FIG 09 – STUCCO COLOR EL REY 125 LA LUZ

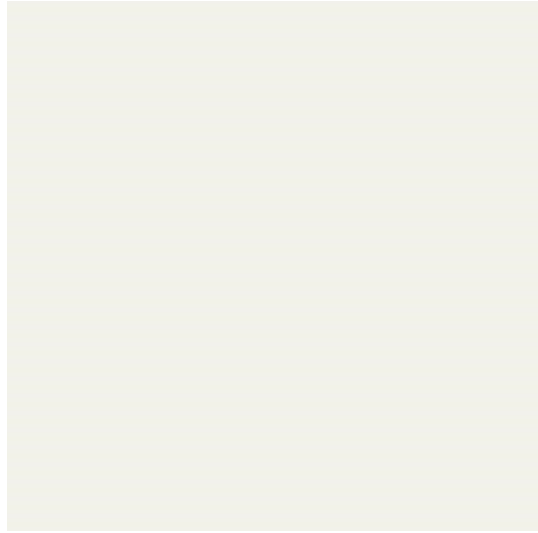


FIG 10 – STUCCO COLOR EL REY 100 COLONIAL WHITE

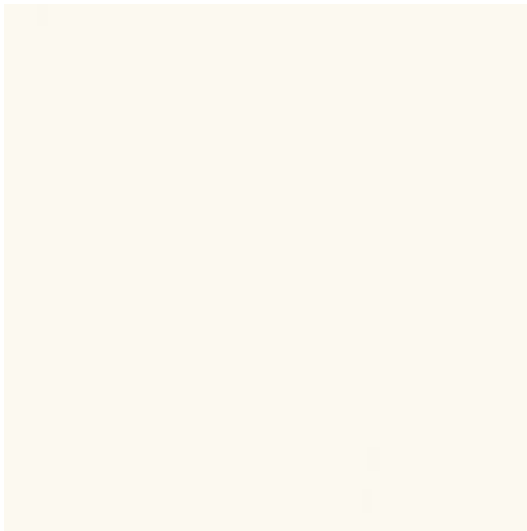


FIG 11 – PAINT COLOR DUNN EDWARDS DEW340 WHISPER

Warm Regards,

Sibylle Mueller, Architect AIA

Attachments:

- Cut Sheets for lighting
- Drawing Sheets HD-001, HD-101, HD-201

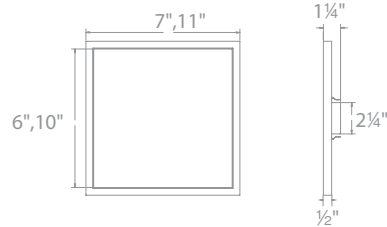
SQUARE

LED Functional Ceiling Or Wall Luminaire

FM-07SQ, FM-11SQ

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Replacement lights for balcony

Catalog Number:

Project: Residences at Georgia Place

Location: 128 Grant Avenue, Santa Fe, NM 87501

PRODUCT DESCRIPTION

Ultra slim flush mount that uses edge lit technology and a translucent diffuser for uniform illumination without shadows or hotspots.

FEATURES

- Energy Star® rated
- Damp Location Listed
- CEC Title 24 Compliant
- UL & cUL listed
- ADA compliant
- Installs over a 3", 4" or 3/0-4/0 hybrid junction box
- Multiple LED array for uniform illumination
- 120VAC - no driver needed
- 50,000 hour rated life
- 5 year warranty

SPECIFICATIONS

Construction: Aluminum with translucent diffuser

Input: 120VAC

ELV Dimming: 100% - 10% Electronic Low Voltage, 100%-5% Triac

Operating Temperature: -20°C (-4°F) to 40°C (104°F)

ORDERING NUMBER

	Watt	Mounting	Max Lumens	Color Temp	CRI	Finish
FM-07SQ	15W	Installs over a 3", 4" or 3/0-4/0 hybrid junction box	1100	930 3000K 90		BN Brushed Nickel BZ Bronze WT White
FM-11SQ	20W	Installs over a 3", 4" or 3/0-4/0 hybrid junction box	1650	935 3500K 90		

FM-__SQ-__-__

Example: **FM-11SQ-930-BZ**

wacighting.com

Phone (800) 526.2588

Fax (800) 526.2585

Headquarters/Eastern Distribution Center

44 Harbor Park Drive

Port Washington, NY 11050

Central Distribution Center

1600 Distribution Ct

Lithia Springs, GA 30122

Western Distribution Center

1750 Archibald Avenue

Ontario, CA 91760



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Double Carport and Double Garage Additions

Case number: **2021-004124-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 854 Camino Ranchitos

PROJECT NAMES:

OW – Sharon Prentice

AP – Spears Horn Architects

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes

PUBLICLY VISIBLE FACADE-WEST Yes

HISTORIC DISTRICT INVENTORY NUMBER None; NC on City Map

YEAR OF CONSTRUCTION 1930s

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME: None known

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021- 004124-HDRB

Address: 854 Camino Ranchitos
Historic Status: Non-Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
 Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff recommends approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).

BACKGROUND & SUMMARY:

854 Camino Ranchitos is a 5,793 sf building non-contributing to the Downtown and Eastside Historic District. Originally built in the 1930s in the Spanish-Pueblo style, it has been substantially altered. A non-contributing 889 sf guesthouse sits on the southeast corner of the property.

The applicant proposes to add a 653 sf double carport and 720 sf double bay garage to two different areas of the property. The carport will be located east of the existing house with street-facing exposure. The carport will be styled the same as the house and casita of wood frame construction. The wooden posts and beams will be carved with an adze to smooth the wood beams, vigas, and corbels to match existing guesthouse. Its height is 12', which is within the maximum height in this streetscape, 16' - 6".

The proposed 14' garage is to be located in the rear (west) portion of the lot, also within the maximum allowable height. The lot also fronts Garcia Street on its western edge but will not be publicly visible. The proposed garage also will be Spanish-Pueblo Revival style with wood frame construction. Its door will be metal clad wood to match the existing residence, Benjamin Moore's "Dragon Breath 1547." The garage will have two windows on its north and south elevation. Windows will be metal clad wood with lintels and trim will match the existing house. The existing coyote fencing and gate on the Garcia Street side is 8' tall. The applicant proposes to reduce its height to 6'.

The applicant proposes to raze an existing non-contributing shed located west of the main house to make room for the new garage. The applicant states that the shed was built after 1997, as the footprint does not show on a 1997 survey. A low concrete wall will be erected to protect the garage from a draining easement. It will be topped with a new 6' coyote fence with irregular tops to replicate existing coyote fencing. The garage driveway access from Garcia Street will be "Santa Fe Brown" base course and pea gravel.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 854 CAMINO RANCHITOS, SANTA FE, NM, 87505
Date Submitted: AUGUST 4, 2021	Proposed Construction Description: NEW GARAGE + CARPORT - ± 1416 SF	
Property Owner of Record: SHARON + STEWART PRENTICE	Applicant/Agent Name: JAMES HORN / SPEARS HORN ARCHITECTS	
Contact Person Phone Number: () 505-577-3252	TOTAL ROOF AREA: ± 1,416 SF	
Zoning District: R-3	Lot Coverage: 12.8% <input type="checkbox"/> Open Space Required: NA	
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: HISTORIC DISTRICT: DOWNTOWN + EASTSIDE	Setbacks: Proposed Front: _____ Minimum: _____ 2 nd Front? _____ Proposed Rear: 5' Minimum: 5' Proposed Sides: L 5' R _____ Minimum: 5'	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: ±16'-6" @ Garage / ±12'-2" @ Carport Maximum Height: ±16'-6" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: 2EA - existing Proposed 4 Accessible _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Terrain: <input type="checkbox"/> 30% slopes NA	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

JAMES HORN / SPEARS HORN ARCHITECTS

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

4 AUGUST 2021

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: *Accessory structure allowed on contiguous lot in same ownership per 14-6.3(B)(2)(b)(ii)*

REVIEWER: *Lee Logston* DATE: *8/5/21*

2nd AMENDMENT REVIEWED BY OWNER OF LOTS 1 & 2

CURVE	R	Δ	L	CHORD	BEARING	DIST
A	29.23	61°27'	25.85	N. 82°20'30"	29.75	
B	68.71	61°27'	68.88	S. 82°20'30"	65.82	
C	5.0	58°57'	5.66	N. 84°43'5"	5.36	
D	19.0	60°57'	20.93	S. 84°43'5"	20.26	
E	5.0	32°21'	5.86	N. 57°59'5"	7.21	

The foregoing instrument was acknowledged before me on this 7th day of JAN. 1985
 My Commission expires 12 April 1989
 James H. Labal
 Notary Public

This plat was amended 18 August 1985 to correct calculations affecting Lots 1 & 2. Jack G. Horne
 City Engineer
 1986 City Planner

2nd AMENDMENT REVIEWED BY OWNER OF LOTS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 James R. Salyer
 Notary Public

The foregoing instrument was acknowledged before me on this 30th day of June, 1986

My Commission expires September 12, 1989
 All Mills
 Notary Public



CITY OF SANTA FE

APPROVED by William B. Jones 1983
 City Engineer

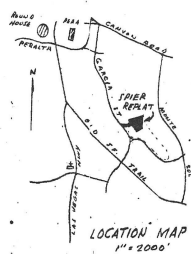
by John M. ... 1983
 City Planner

by the Planning Commission dated July 10, 1980

Chairman Roman Mesa Secretary Janet Boyd

GENERAL CONDITIONS:

- All private road improvements by developer
- Grading plan for each individual site shall be submitted to engineering & planning departments prior to issuance of building permit. Future owners of lots will be notified of this requirement.
- Private road improvements shall be maintained & repaired as required by homeowners association.



Mountain Bell E.R. Franey - 1-25-80 F.P.F. C-2-80
 Public Service Co of N.M. Shannon Engstrom - 1-25-80 M. 12-6330
 GAS SERVICE CO WATER Frank P. ... - 1-25-80 235 4-2-80
 Gas. Co of N.M. James D. ... - 1-25-80

I certify that this survey & plat was made by me and it is true and correct to the best of my knowledge and belief
Jack G. Horne
 Jack G. Horne
 P.E. & L.S. # 889
 4 Dec. 1979
 11 Apr. 1980 - Reduced from 5 to 4 lots
 2 Amendment - July 1986

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That Thomas & Hendricka A. Spier have made a replat of their property, Tract B, Rayne Subd'n. It shall be called

SPIER REPLAT
 OF TRACT B, RAYNE SUBDIVISION, GARCIA ST.

All as shown hereon. Easements are granted, as shown, with free access and trimming rights.

Thomas Spier - Hendricka A. Spier
 Thomas Spier Hendricka A. Spier

AFFIDAVIT

STATE OF NEW MEXICO
 COUNTY OF SANTA FE

This proposed replat lies within the planning or plotting jurisdiction of the City of Santa Fe.

Thomas Spier - Hendricka A. Spier
 Thomas Spier Hendricka A. Spier

STATE OF NEW MEXICO
 COUNTY OF SANTA FE

The above instruments were acknowledged before me on this 20th day of January, 1979

My Commission expires March 25, 1982
Kathleen ...
 Notary Public

AMENDED SPIER REPLAT
 TRACT B RAYNE SUBDIVISION, GARCIA STREET
 SANTA FE NEW MEXICO
 1" = 40'

597,555
 COUNTY OF SANTA FE, N.M.
 STATE OF NEW MEXICO
 I hereby certify that this instrument was filed for record on the 12th day of December, 1983, and that it is a correct and true copy of the original as recorded in the County Clerk's Office of Santa Fe County, New Mexico, at Santa Fe, New Mexico, on the 12th day of December, 1983.
 County Clerk, Santa Fe County, N.M.
Christina ...
 County Clerk

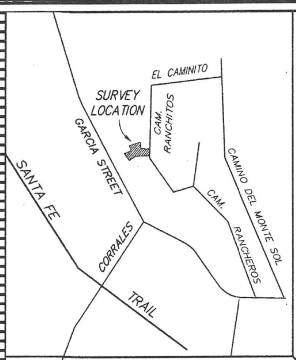


PLAT OF BOUNDARY SURVEY
FOR
ALEXANDER STEWART PRENTICE
&
SHARON PRENTICE

868 047

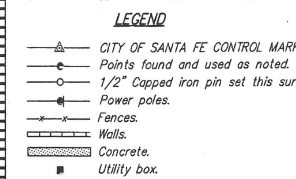
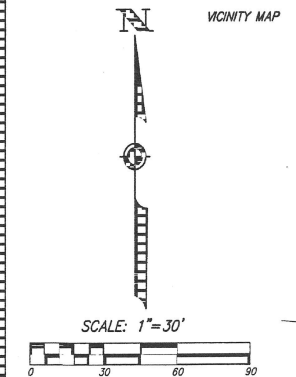
"TRACT A" AND LOT 3 AND LOT 4 OF
"THE AMENDED SPIER RE-PLAT, TRACT B,
RAYNE SUBDIVISION, CITY OF SANTA FE,
SANTA FE COUNTY, NEW MEXICO.

CITY OF SANTA FE
CONTROL MARK No. 1036
ALUM. CAP



LINE TABLE

LINE	DIRECTION	DISTANCE	RECORD BEARING	REC. DIST.
L1	S 70°44'10" W	34.77'	(N 71°14'42" E)	(39.68')
L2	N 16°30'38" W	22.19'	(S 13°59'51" E)	(21.92')
L3	S 75°48'11" W	32.44'	(N 75°59'31" E)	(32.44')
L4	N 71°29'14" W	19.75'	(S 71°17'58" E)	(13.76')
L5	S 01°13'32" W	24.18'	(N 88°03'04" E)	(41.57')
L6	S 15°28'45" E	19.04'	(S 15°17'29" E)	(19.04')



- LEGEND**
- △ CITY OF SANTA FE CONTROL MARK
 - Points found and used as noted.
 - 1/2" Coppard iron pin set this survey.
 - Power poles.
 - Fences.
 - Walls.
 - Concrete.
 - Utility box.
- NOTES**
1. BASE OF BEARINGS: GPS OBSERVATION OF FOUND MONUMENTS ON THE NORTH BOUNDARY OF LOT 4, (N 67°51'54" E), NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID.
 2. THIS SURVEY IS BASED ON A PLAT OF BOUNDARY SURVEY FOR JANAS INVESTMENT CO., INC., RECORDED IN PLAT BK. 376, P. 035, RECORDS OF SANTA FE COUNTY, NEW MEXICO. BEARINGS AND DISTANCES IN () ARE FROM SAID PLAT.
- REFERENCE DEED: BK. 1435, P. 982.

CERTIFICATE

I, Philip B. Wiegel, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

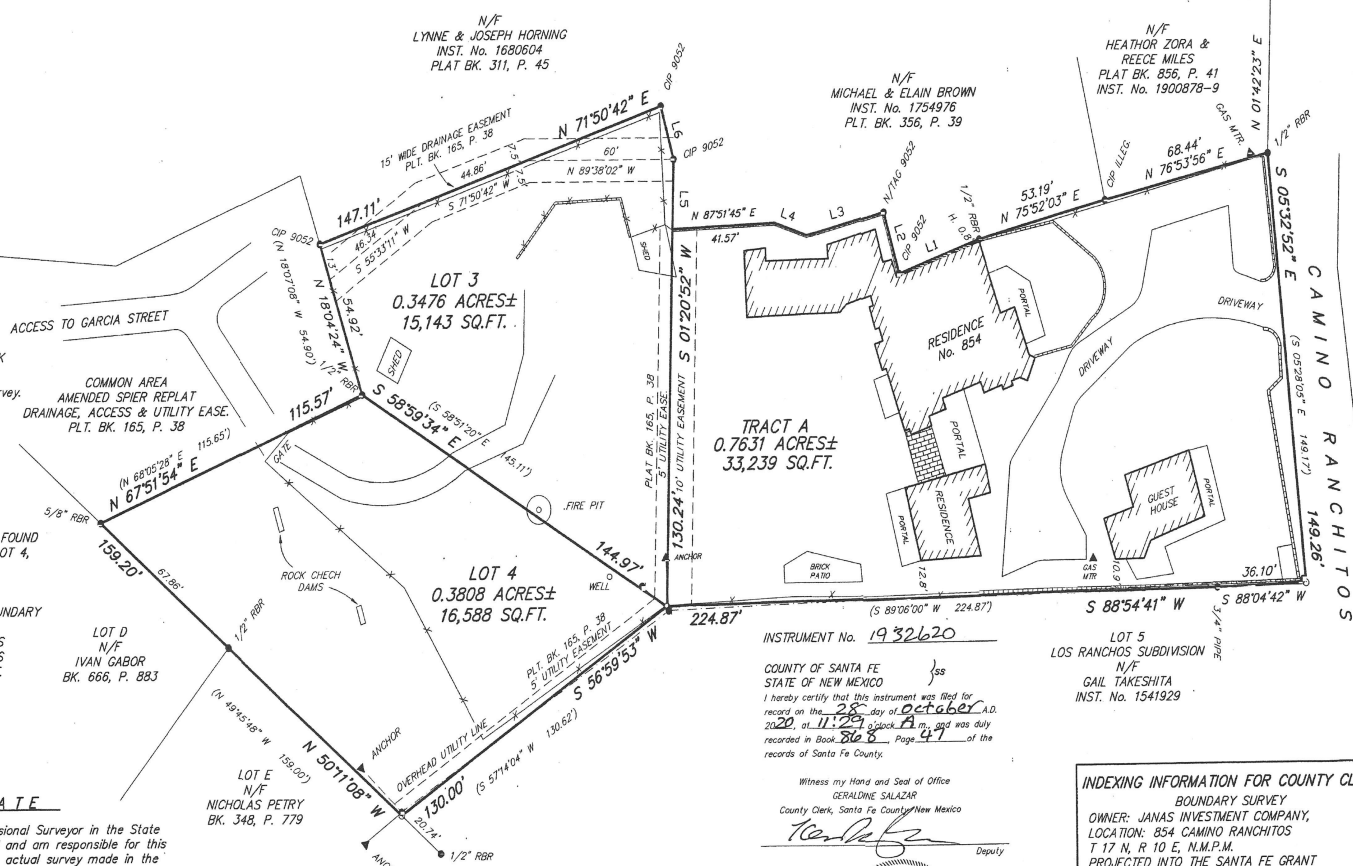
I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

DATE OF FIELD WORK
Philip B. Wiegel 23 September, 2020
Philip B. Wiegel P.S. No. 9758
P.O. Box 22773 Santa Fe, NM.



PUBLIC NOTICE

CITY OF SANTA FE STAFF HAS NOT REVIEWED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE STAFF MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR BUILDING PERMIT AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD. VERIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.



INSTRUMENT No. 1932620

COUNTY OF SANTA FE } ss
STATE OF NEW MEXICO }
I hereby certify that this instrument was filed for record on the 25th day of October, A.D. 2020, at 11:29 o'clock A.M., and was duly recorded in Book 868, Page 47 of the records of Santa Fe County.

Witness my Hand and Seal of Office
GERALDINE SALAZAR
County Clerk, Santa Fe County, New Mexico

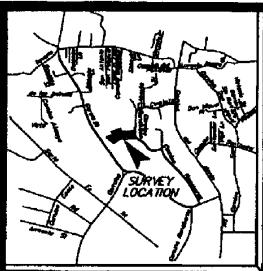


INDEXING INFORMATION FOR COUNTY CLERK

BOUNDARY SURVEY
OWNER: JANAS INVESTMENT COMPANY,
LOCATION: 854 CAMINO RANCHITOS
T 17 N, R 10 E, N.M.P.M.
PROJECTED INTO THE SANTA FE GRANT
SUBDIVISION: AMENDED SPIER REPLAT
SANTA FE COUNTY, NM.
UPC No.: TRACT A 1-055-098-026-290
UPC No.: LOT 3 1-055-098-009-287
UPC No.: LOT 4 1-055-098-003-279

DEL RIO SURVEYS, INC.

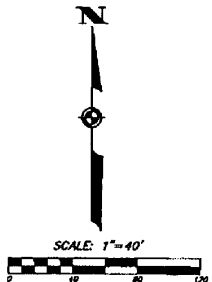
P.O. BOX 22773, SANTA FE, NM. 87502 PH: 505-820-9200
PROJECT No. 20100769 Dwg. PW Ckd. DV
Date: 9/23/20 REV: 1



**BOUNDARY SURVEY PLAT
FOR
JANAS INVESTMENT CO., INC.,
A TEXAS CORPORATION,**

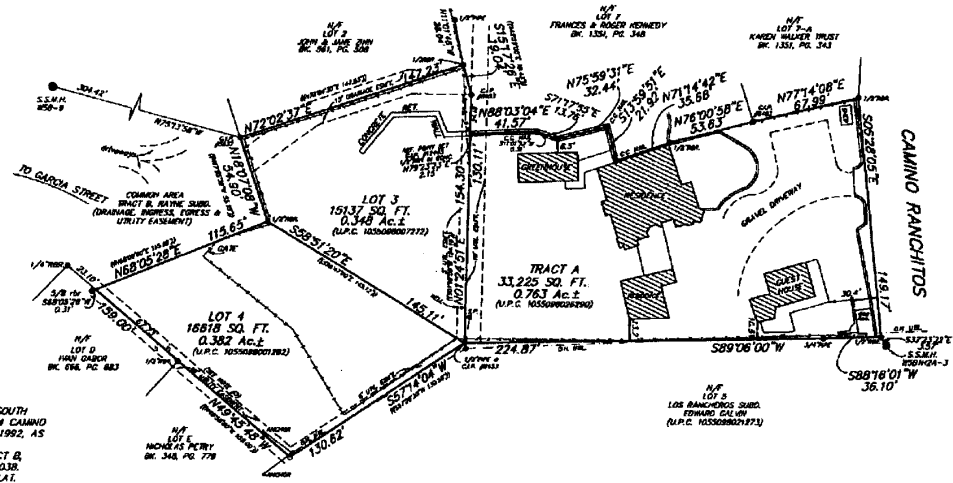
0376095

ON A TRACT OF LAND HEREON DESIGNATED AS TRACT "A", LOCATED
AT 854 CAMINO RANCHITOS, CITY OF SANTA FE, AND ALSO LOTS 3 AND 4,
OF THE AMENDED SPIER RE-PLAT, TRACT B, RAYNE SUBDIVISION, GARCIA STREET,
SANTA FE, NEW MEXICO.



- LEGEND**
- Monholes found and used.
 - Points found and used as noted.
 - 1/2" Capped iron pin set this survey.
 - Power poles.
 - Fences.
 - Holes.
 - Concrete.

- NOTES**
- 1.) BASIS OF BEARING FOR THIS SURVEY IS FROM THE SOUTH LINE AS SHOWN ON BOUNDARY SURVEY PLAT OF 854 CAMINO RANCHITOS BY RICHARD E. SMITH, DATED APRIL 2, 1992, AS PROJECT NO. 3103.
 - 2.) REFERENCE SURVEY'S AMENDED SPIER RE-PLAT, TRACT B, RAYNE SUBDIVISION, RECORDED IN BOOK 165, PAGE 038. BEARINGS AND DISTANCE IN () ARE FROM THIS PLAT. LOT LINE ADJUSTMENT OF LOTS 7 AND 7-A BLOCK 1, GALT COMPOUND AND 854 CAMINO RANCHITOS, RECORDED IN BOOK 336, PAGE 039.
 - 3.) THESE TRACTS ARE SUBJECT TO ROAD MAINTENANCE AGREEMENT RECORDED IN BOOK 358, PAGES 735-737.
 - 4.) F.I.R.M. PANEL No. 350070-00089, ZONE "C".



1005 059
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for
record on the 23 day of Dec A.D.
19 97, at 2:29 o'clock P.M., and was duly
recorded in Book 376, Page 035 of the
records of Santa Fe County.

Witness my Hand and Seal of Office
REBECCA BUSTAMANTE
County Clerk, Santa Fe County, New Mexico
Deputy

CERTIFICATE

I, Allan C. Grace, a duly registered Professional Surveyor in the State of New Mexico hereby certify that this plat represents an actual survey made in the field by me or under my direction, that it meets the minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.
I further certify that this survey is not a final division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract.

Allan C. Grace NOVEMBER 1, 1997

Allan C. Grace P.S. No. 12443
331 MILLERS ST. Santa Fe, NM.



SANTA FE COUNTY PUBLIC NOTICE

THE SANTA FE COUNTY LAND USE ADMINISTRATOR HAS NOT REVIEWED THIS PLAT OF SURVEY BEFORE ITS FILING IN THE OFFICE OF THE COUNTY CLERK. THIS PLAT IS NOT BEING FILED FOR THE PURPOSE OF CREATING A SUBDIVISION OR NEW LOTS, ALTERING THE BOUNDARIES OF ANY EXISTING LOTS OR FOR THE PURPOSE OF DETERMINING AS DEFINED IN THE SANTA FE COUNTY LAND DEVELOPMENT CODE, EXTRA-TERRITORIAL ZONING ORDINANCE OR EXTRA-TERRITORIAL SUBDIVISION REGULATIONS. THIS STATEMENT DOES NOT IN ANYWAY REPRESENT OFFICIAL COUNTY APPROVAL OF THIS PLAT.

SILVERA LAND SURVEYING		
RR APACHE RIDGE	SANTA FE, NM	983-5932
Project No. C-043187	City of Santa Fe	12-23-97
INFORMED INFORMATION FOR COUNTY CLERK		
NAME	LOCATION	SUBDIVISION
BODINNEY	330 TWIN RIVER	RAYNE SURVEY

1.493 ACRES TOTAL

Land Records Corp. SFTC ALB10657 SF 1005059.001

SPECIAL WARRANTY DEED

Alexander Stewart Prentice and Sharon Prentice, husband and wife as joint tenants, grant to **Alexander Stewart Prentice and Sharon Prentice**, as Co-Trustees of the Prentice Revocable Trust under Trust Agreement dated October 18, 2007, whose address is 3706 Hooks Road, Manvel, Texas 77578, the following described real property in Santa Fe County, New Mexico:

Tract A and Lots 3 and 4, as shown on "Plat of Boundary Survey for Alexander Stewart Prentice & Sharon Prentice", located at 854 Camino Ranchitos, recorded in the office of the County Clerk, Santa Fe County, New Mexico on October 28, 2020 in Book 868, Page 047, as Instrument No. 1932620.

Subject to encumbrances, reservations, restrictions and easements of record.

With special warranty covenants.

In witness whereof, we have executed this Special Warranty Deed this 17th day of December 2020.

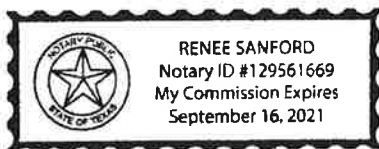
Alexander Stewart Prentice
Alexander Stewart Prentice

Sharon Prentice
Sharon Prentice

ACKNOWLEDGEMENT

STATE OF Texas)
) ss.
COUNTY OF Harris)

This foregoing instrument was acknowledged before me on this 17th day of December 2020, by **Alexander Stewart Prentice and Sharon Prentice**.



Renee Sanford
Notary Public
My Commission Expires: 9/16/2021

SFC CLERK RECORDED 12/24/2020

COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss

SPECIAL WARRANTY DEED
PAGES: 2

I Hereby Certify That This Instrument Was Filed for
Record On The 24TH Day Of December, 2020 at 08:56 23 AM
And Was Duly Recorded as Instrument # **1938516**
Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Geraldine Salazar

Deputy Dorothy Romero County Clerk, Santa Fe, NM



August 17, 2021

Angela Schackel Bordegaray

Historic Preservation - City of Santa Fe
200 West Marcy
Santa Fe, NM 87501

Dear Angela Schackel Bordegaray,

Spears Horn Architects is proposing to build a new ±653 SF **Carport** and a new ±720 SF **Garage** at 854 Camino Ranchitos - located within the Downtown-Eastside Historic District of Santa Fe NM. The Carport is located on the North Eastern portion of the plot, next to Camino Ranchitos, and the Garage is located on the North Western portion of the plot. The North Western portion of the plot has access to Garcia Street and a private Coyote Fence Gate. The proposed new Garage is ± 143 feet back from the private Gate and is not visible from the street. The Gate has 8' High Coyote Fence currently at street – the proposed work is to include lowering Coyote Gate at to 6' High. The existing ± 5,793 square foot residence was originally built during the 1930's with substantial renovations.

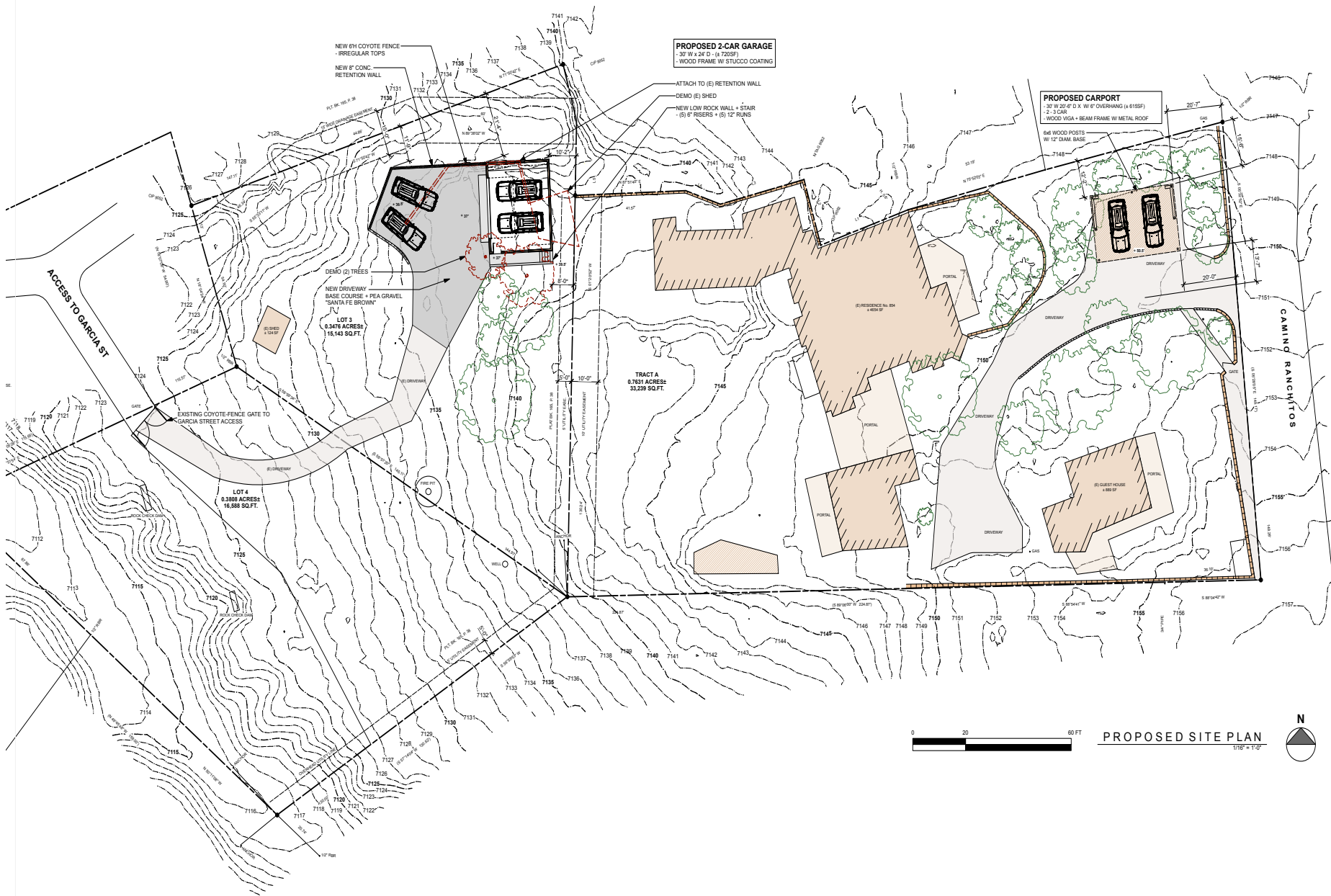
Adhering to local residential zoning the new Carport and Garage are not to exceed 24' in height. Both will use wood frame construction, and the Garage will have a stucco finish: cementitious "Buckskin" by El Rey / Parex Stucco to match existing Spanish Revival / Pueblo style residence. Windows located on North and South facing walls of the new Garage will be metal clad wood and are to match the existing residence. Both windows will have wood lintels to match existing residence. The Benjamin Moore color "Dragon's Breath 1547" will be used for both windows and door trim to match existing residence. The new Carport will be of "adzed" post and beam construction with vigas and corbels to match guest house opposite the new Carport. The new Garage and Carport are designed to create a homogenous relationship to the existing property and its surroundings. Leveling of the existing grade proposed for the site of the new Garage and minor landscaping proposed for the front drive to increase ease of vehicle access. In the site for the new Garage a low concrete wall to protect from backing into drainage easement is proposed. The concrete wall will be topped with new 6' H coyote fence with irregular tops to replicate existing coyote fence. The leveled pull out behind the new Garage will be "Santa Fe Brown" Base Coarse and Pea gravel.

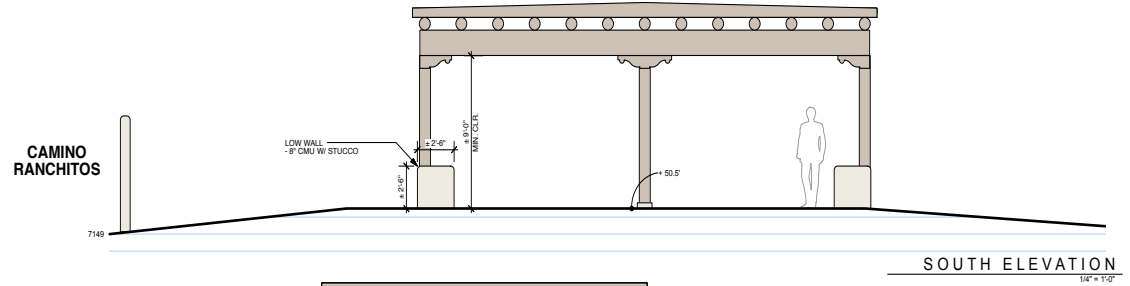
Thank you for your considered review of this proposal.

Sincerely yours,

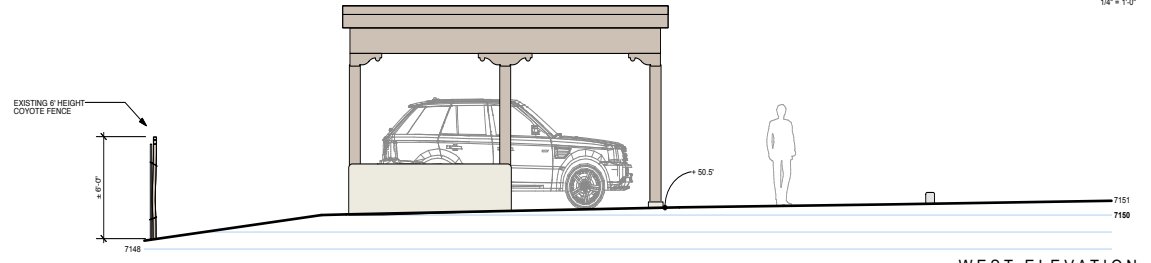


James Horn, AIA, NCARB
Principal Architect

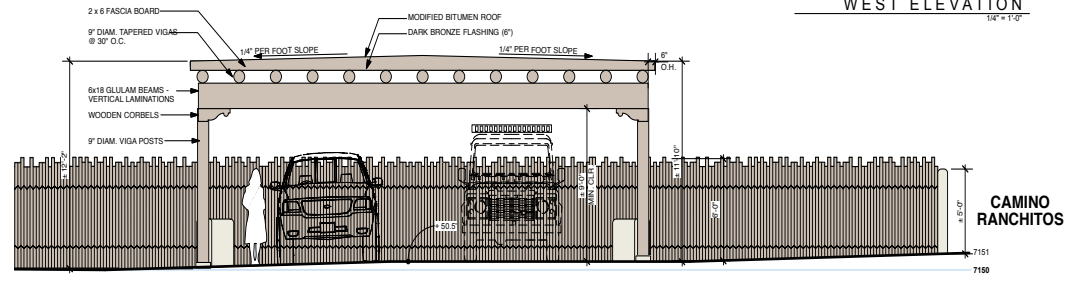




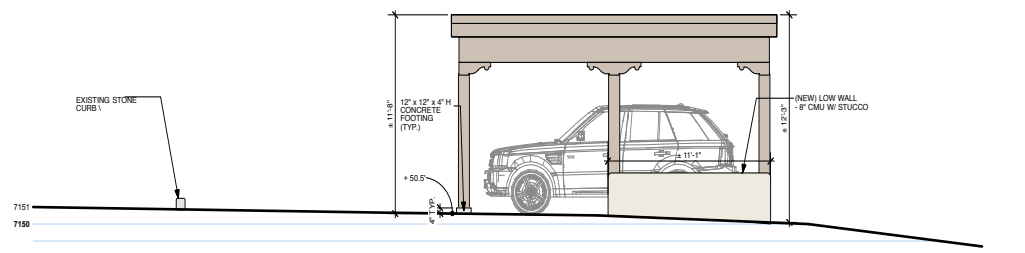
SOUTH ELEVATION
 1/4" = 1'-0"



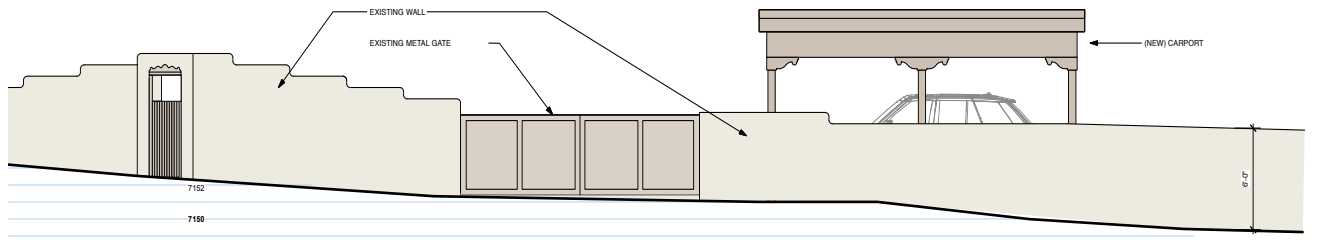
WEST ELEVATION
 1/4" = 1'-0"



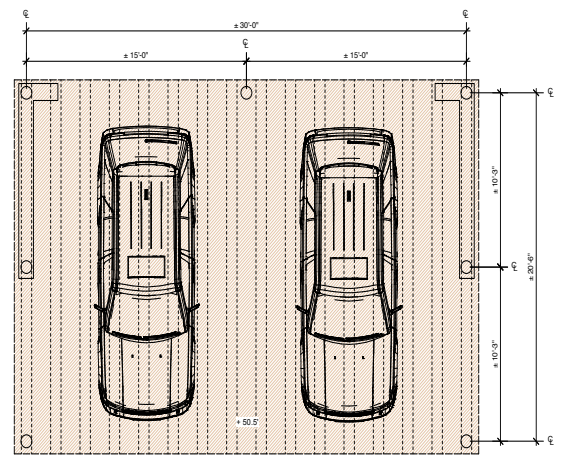
NORTH ELEVATION
 1/4" = 1'-0"



EAST ELEVATION
 1/4" = 1'-0"

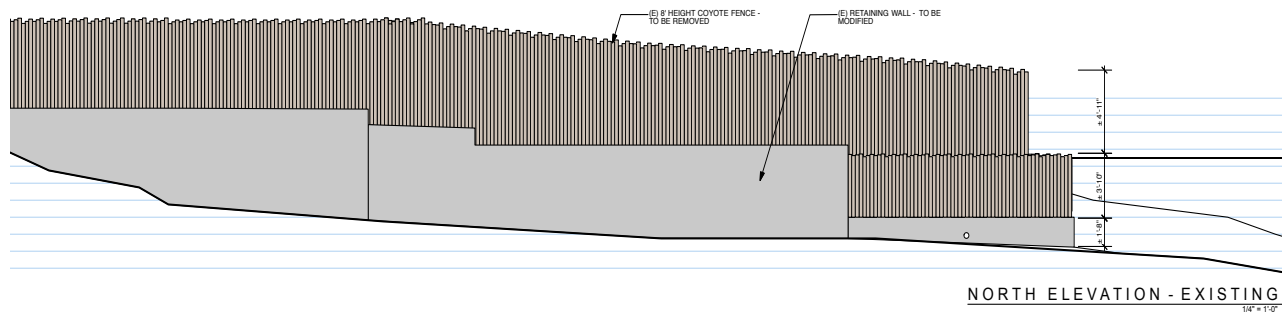


EAST ELEVATION - STREETFRONT
 1/4" = 1'-0"

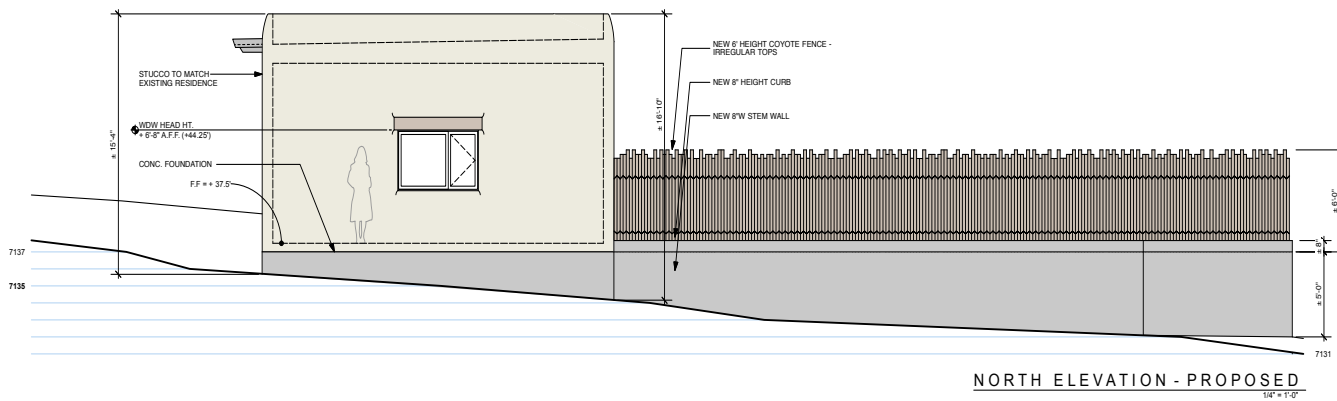


CARPORT FLOOR PLAN
 1/4" = 1'-0"

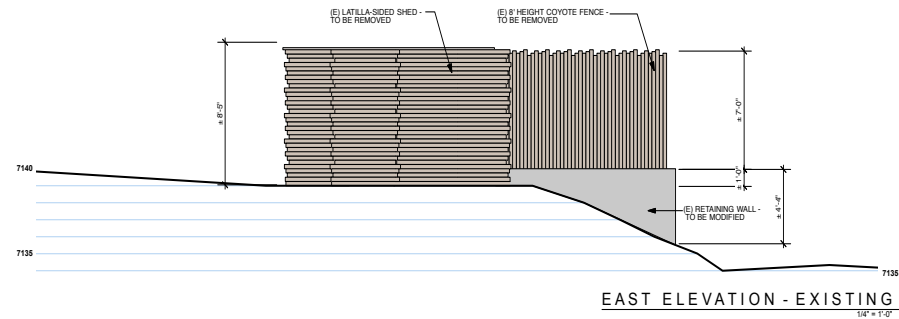




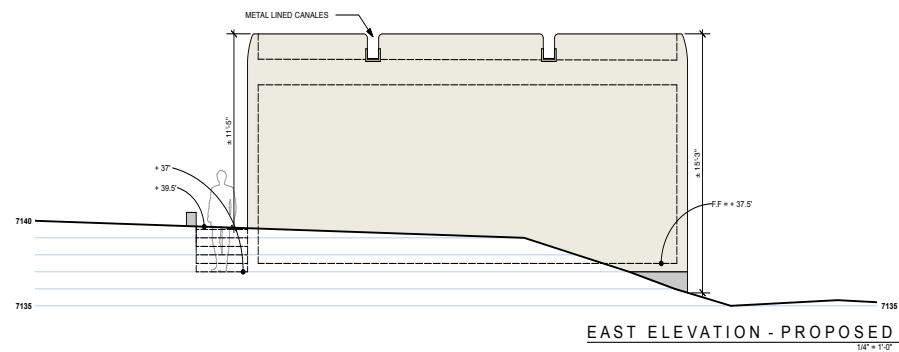
NORTH ELEVATION - EXISTING
1/4" = 1'-0"



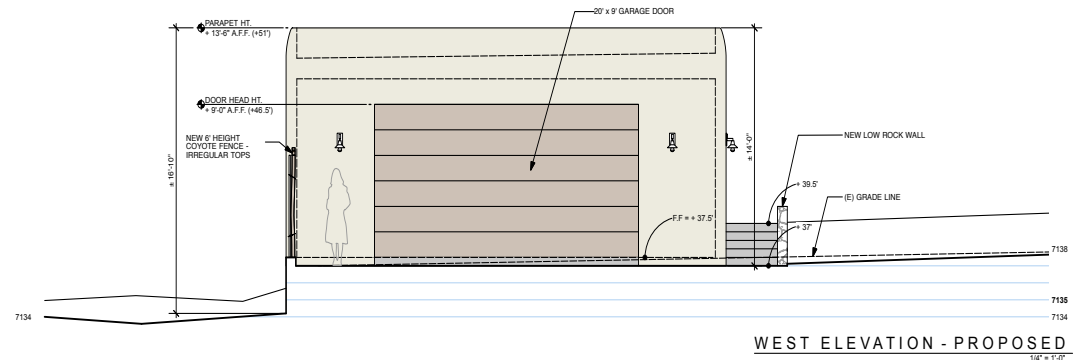
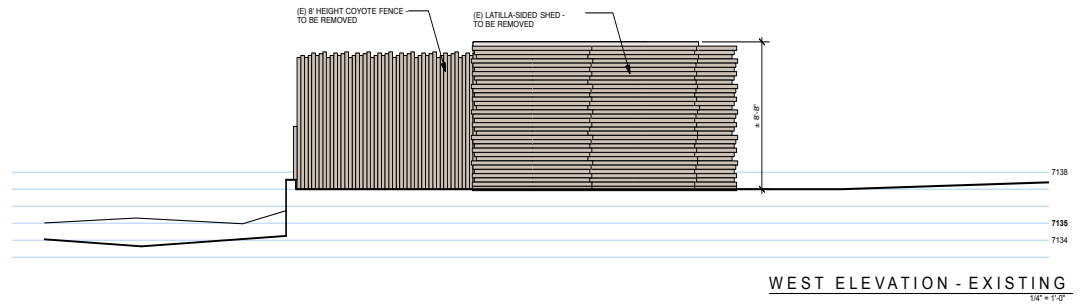
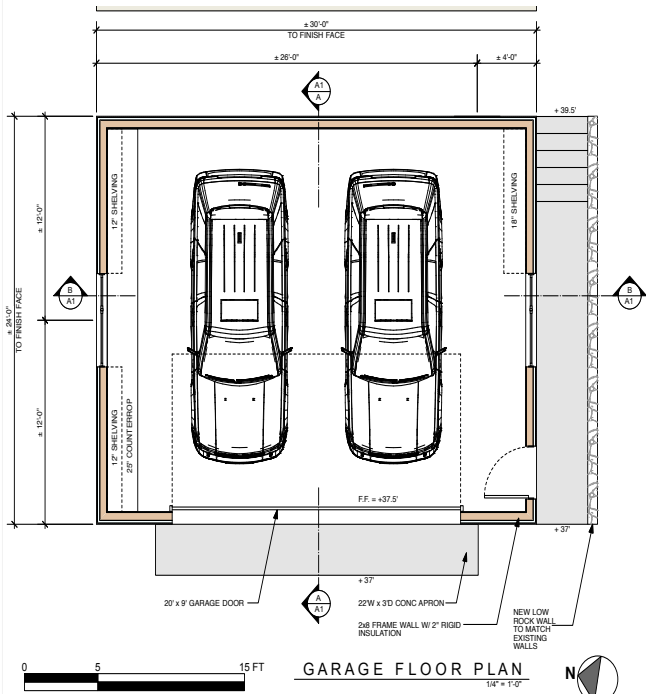
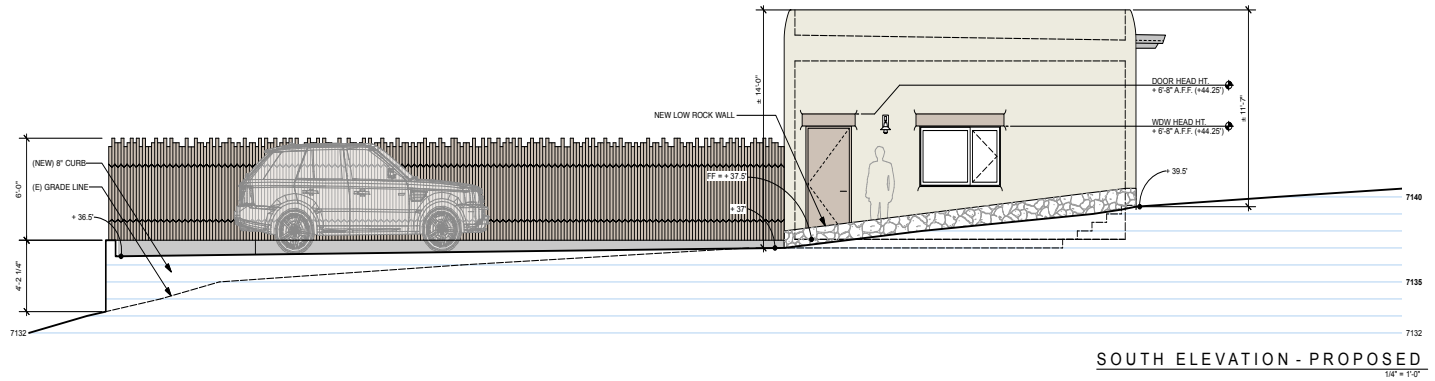
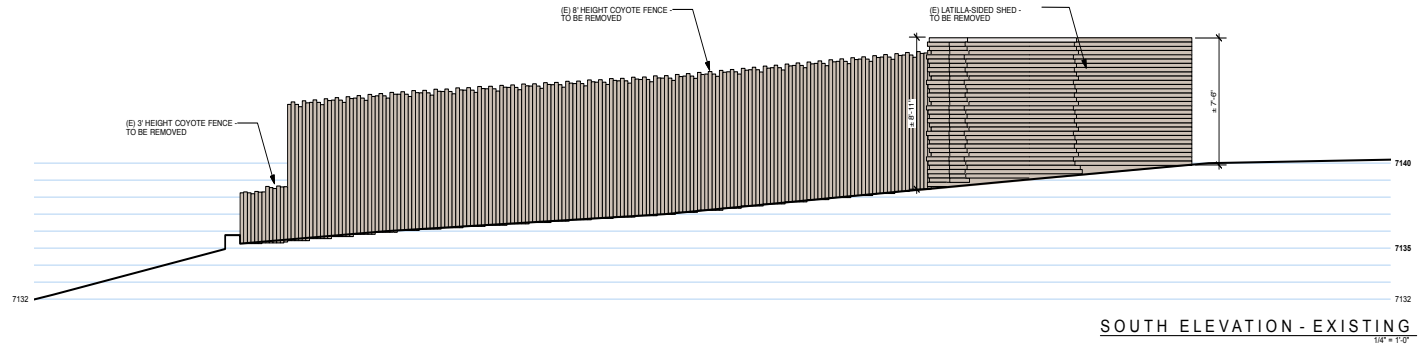
NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



EAST ELEVATION - EXISTING
1/4" = 1'-0"



EAST ELEVATION - PROPOSED
1/4" = 1'-0"





MATERIAL STUDY – Benjamin Moore “Dragon’s Breath 1547” compared to existing column paint.



MATERIAL STUDY – Benjamin Moore “Dragon’s Breath 1547” compared to existing window color.



MATERIAL STUDY – Cementitious Stucco Color: “Buckskin” by El Rey / Parex Stucco



GARAGE DOOR – Metal Clad Garage Door, Color to match “Dragons Breath” / existing Windows, Doors, Wood, Long Panel Style.



EAST FACING STREET FRONT – From northern perspective



EAST FACING STREET FRONT – From southern perspective



EAST FACING FACADE — Existing Residence - “Primary Facade”



BACK GATE ENTRANCE — Existing Coyote Fence and Metal Gate
- Lower Gate Coyote to 6' at Street View



BACK GATE ENTRANCE — From Arrival Perspective
(This back road is accessed by Garcia St. but is not a public road)



BACK GATE ENTRANCE — From Neighboring Driveway
(This back road is accessed by Garcia St. but is not a public road)



BACK GATE ENTRANCE — From Existing Property Perspective, left turn leads to Garcia St.
(This back road is accessed by Garcia St. but is not a public road)



CONCRETE WALL / COYOTE FENCE — Will build on top of existing concrete wall, demo higher portion, remove 8' coyote fence, replace with 6' coyote fence



SHED — Removal of existing shed



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004123--HDRB

Project Description:

Project Location(s): 123 GRANT AVE
Santa Fe, NM 87501

Contacts:

Property Owner: 123-135 Grant LLC

chartley@okeeffemuseum.org

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number: 2021

Year of Construction:

Project Type: Demolition

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 14, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004123-HDRB

Address: 638 East Palace Avenue
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:** Letter from Building inspector
regarding demolition.

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:**

STAFF RECOMMENDATION:

Per Section 14-5.2(C)(2)(a), Regulation of Significant and Contributing Structures, the structure is non-contributing. Per 14-3.14(G), the Demolition standards have been fulfilled. Staff recommends demolition of the structure.

BACKGROUND & SUMMARY:

123 Grant Avenue is a 19,000 square foot non-residential structure constructed originally in 1966 as a downtown Safeway supermarket facing onto a 21,000 square foot asphalt parking lot. It currently has a non-contributing status. It was originally designed with a “generalized Pueblo Revival appearance” including a portal with wooden posts and corbels, although the actual storefront was a standard modern form, with large plate-glass windows and sliding doors. The building has seen extensive changes over the years, including the enclosing of the west-facing portal in 1983 and its reinstatement with a different design in 1993. In that year, the doors and windows were also changed in size and location. The landscaping and smaller structures also date from around 1993. The building’s use as a supermarket ended in 1993, when it was converted into offices.

A more extensive history of the structure is given in the HCPI from June 2021.

In Case # 2021-003830-HDRB, heard on July 13, 2021, the HDRB reviewed the historic status of the structure and retained its status as “non-contributing”.

The applicant requests approval to demolish the structure.

DEMOLITION STANDARDS:

14-3.14(G)(1) In determining whether a request for demolition in a historic district should be approved or denied, the HDRB shall consider the following:

(a) Whether the structure is of historical importance;

Staff Response: On the Basis of the 2021 HCPI, the HDRB retained the historic status of the structure as “non-contributing” to the Downtown and Eastside Historic District.

(b) Whether the structure for which demolition is requested is an essential part of a unique street section or block front and whether this street section or block front will be reestablished by a proposed structure

Staff Response: This structure does not represent an essential part of a unique street section or block front. This section of street has seen significant changes since its original construction and up into the non-historic period, as demonstrated by the HCPI.

(c) The state of repair and structural stability of the structure under consideration.

Staff Response: The structure is in good repair.

City of Santa Fe, New Mexico

memo

Historic Inspection Report

DATE: September 7, 2021

TO: Nicole A. Ramirez Thomas
Acting, Division Manager
Historic Preservation

FROM: Bobby Padilla, *B.P.*
Building Official, Division Manger
Inspections

ITEM & ISSUE
123 Grant Avenue, Santa Fe NM

BACKGROUND & SUMMARY

An inspection was performed on August 24th, 2021, 2021 at the above mentioned address regarding the condition of the structure. The type of construction is masonry walls with structural steel roof framing. The foundation is of concrete/masonry construction. No code violations noted at this time. Building has been properly maintained.

The overall condition of the structure is in fair condition.

Should you have any questions pertaining to this matter, please feel free to contact me at 955-6503.

Thank you,

Georgia O'Keeffe Museum

August 17, 2021

Mr. Daniel Schwab, Senior Planner
200 Lincoln Avenue
Land Use Department
Historic Preservation Division
City of Santa Fe
Santa Fe, NM 87501

RE: Demolition Request – Old Safeway Building, 123 Grant Avenue, Case# 2021-003830

Dear Mr. Schwab:

The Georgia O'Keeffe Museum is requesting a review to demolish the former Safeway Building.

The Historic Districts Review Board designated this building a Non-Contributing Structure to the Downtown and Eastside Historic District at their July 13, 2021 hearing.

Following the procedures of 14-3.14 (B), we are submitting the HCPI form prepared by John Murphey with this letter. A structural stability report from the City Building Inspector will follow shortly.

Thank you.

Sincerely,


A handwritten signature in black ink that reads "Cody Hartley". The signature is written in a cursive, flowing style.

Cody Hartley

Attachments: HCPI form and Application

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Safeway No. 921 Georgia O'Keeffe Museum Education Annex	2. Location: 123 Grant Avenue, Santa Fe Downtown and Eastside Historic District	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe Parcel # 12365440
5. Property Type: <input checked="" type="checkbox"/> Buildings: Two <input checked="" type="checkbox"/> Structures: Walls <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: September 3, 2020; June 13, 2021		
7. Previous Survey Date(s): <input checked="" type="checkbox"/> Yes: October 4, 1984 <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6889797,-105.9401476		
10. Photo Information Lorn Tryk, photographer. September 3, 2020 View west and south elevations, facing northeast.		
11. Brief Description of the Property: <p>Opened in 1966, the former Safeway No. 921 is a roughly 19,000-square-foot rectangular box ornamented with mid-1990s Pueblo Revival trim. The one-story, free-standing building sits at the back of its lot on Grant Avenue, with its south wall shadowing Sheridan Street. At the front, it faces west onto a roughly 21,500-square-foot asphalt parking lot. Converted into office space in 1993, the building holds the Georgia O'Keeffe Museum Education Annex and a title company.</p> <p><i>Continued on Page 5.</i></p>		
12. Who uses the property? Office Space		
13. Construction Date: Unknown Date: 1966; altered c.1982-83, 1993, 1994 <input checked="" type="checkbox"/> Known <input type="checkbox"/> Estimated Source: newspaper accounts and other published documents		
14. Setting: <input type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input checked="" type="checkbox"/> Urban If Urban: <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



Santa Fe County, NM, Pi



Source: Office of the Santa Fe County Assessor, 2021.

17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com

For: Georgia O'Keeffe Museum

18. Owner (if known) and other knowledgeable people:

Owner: 123-135 Grant Avenue LLC

19. Is Property Endangered? Unknown No Yes How? Proposed for demolition

20. Significance to Current Community: Unknown None Low Moderate High

Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes

If yes: State National

If 'no' or unknown, do you think this property is eligible for listing? No Yes

Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes

If yes: Significant Contributing Non-contributing: Building No Status:
Walls and Parking Attendant Booth; Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa:
Downtown and Eastside Historic District

Non-Contributing:
Building (Safeway), Parking Attendant Booth, and all Structures and Landscape Improvements, June 16, 2021.

24. Supplemental Forms:

None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2																									
		NRHP _____ SRCP _____	Criteria <u> A </u> <u> B </u> <u> C </u> <u> D </u>																								
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021																								
ARCHITECTURAL AND CONSTRUCTION DETAILS:																											
6. Visible Construction Material: <input type="checkbox"/> Adobe <input checked="" type="checkbox"/> Brick <input type="checkbox"/> Composition <input type="checkbox"/> Concrete: Block (CMU) <input type="checkbox"/> Concrete: Cast Stone <input checked="" type="checkbox"/> Concrete: Poured <input type="checkbox"/> Earth Plaster <input type="checkbox"/> Masonry: Simulated <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Structural Siding <input type="checkbox"/> Metal: V-Crimp <input type="checkbox"/> Stone: Random Ashlar <input type="checkbox"/> Stone: Random Coursed <input type="checkbox"/> Stone: River Rock <input type="checkbox"/> Stone: Rusticated <input type="checkbox"/> Stone: Tabular <input checked="" type="checkbox"/> Stucco: <input type="checkbox"/> Tile: Clay <input type="checkbox"/> Vinyl Siding <input type="checkbox"/> Wood: Board and Batten <input type="checkbox"/> Wood: Horizontal Siding <input type="checkbox"/> Wood: Jacal <input type="checkbox"/> Wood: Log <input type="checkbox"/> Wood: Shingle <input type="checkbox"/> Wood: Tongue and Groove <input type="checkbox"/> Other: Frame		7. Number of Stories: <input type="checkbox"/> N/A Number: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 1 1/2 <input type="checkbox"/> 2 <input type="checkbox"/> 2 1/2 Other: _____ 8. Foundation: <input type="checkbox"/> N/A <input checked="" type="checkbox"/> Not visible <input type="checkbox"/> None <input type="checkbox"/> At Grade <input type="checkbox"/> Raised Materials: <input checked="" type="checkbox"/> Concrete: poured in place <input type="checkbox"/> Other: Notes 9. Roof: <input type="checkbox"/> N/A Shape: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Gabled <input type="checkbox"/> Hipped <input type="checkbox"/> Pyramidal <input type="checkbox"/> Shed Other: Pitch: <input checked="" type="checkbox"/> None <input type="checkbox"/> Low <input type="checkbox"/> Medium <input type="checkbox"/> Steep Features: <input type="checkbox"/> Eave: <input type="checkbox"/> Parapets Materials: <input checked="" type="checkbox"/> Asphalt <input type="checkbox"/> Earth <input type="checkbox"/> Composition shingle <input type="checkbox"/> Metal: Pressed <input type="checkbox"/> Composition Roll <input type="checkbox"/> Metal: Corrugated <input type="checkbox"/> Metal: Standing Seam <input type="checkbox"/> Metal: V- Crimp <input type="checkbox"/> Tile: Terra Cotta <input type="checkbox"/> Wood: Shingle Other:																									
10. Windows <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Operation</th> <th style="width: 15%;">Material</th> <th style="width: 15%;">Glazing</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Single-Hung</td> <td>Aluminum-clad</td> <td>8/8</td> <td>17</td> </tr> <tr> <td>Fixed</td> <td>Wood</td> <td>12</td> <td>1</td> </tr> </tbody> </table>		Operation	Material	Glazing	Number	Single-Hung	Aluminum-clad	8/8	17	Fixed	Wood	12	1	11. Doors <input type="checkbox"/> N/A <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Type</th> <th style="width: 20%;">Style</th> <th style="width: 20%;">Material</th> <th style="width: 15%;">Number</th> </tr> </thead> <tbody> <tr> <td>Double</td> <td>1/2-Glass, Pane</td> <td>Wood</td> <td>4</td> </tr> <tr> <td>Single-Leaf</td> <td>Solid [security grate] [?]</td> <td></td> <td>1</td> </tr> </tbody> </table>		Type	Style	Material	Number	Double	1/2-Glass, Pane	Wood	4	Single-Leaf	Solid [security grate] [?]		1
Operation	Material	Glazing	Number																								
Single-Hung	Aluminum-clad	8/8	17																								
Fixed	Wood	12	1																								
Type	Style	Material	Number																								
Double	1/2-Glass, Pane	Wood	4																								
Single-Leaf	Solid [security grate] [?]		1																								
12. Chimneys N/A		13. Porches <input type="checkbox"/> N/A Type: <input type="checkbox"/> Entry <input checked="" type="checkbox"/> 2 Partial-Width - Portal <input type="checkbox"/> Full-Width <input type="checkbox"/> Wrap																									
14. Other Significant Features N/A																											
15. Modifications: <input checked="" type="checkbox"/> <input type="checkbox"/> No known modifications <u>#1 1982-83; enclosure of <i>portal</i> and re-orientation of west elevation entries and expansion of loading dock area; drawings and photographs</u> <u>#2 1993; major renovation project affecting all but north elevation, including two new <i>portales</i>, new and repositioned windows and doors; removal of loading dock; change of color and stucco, etc. HDRB case files, drawings, photographs and visual evidence.</u> <u>#3 1994; additional changes to fenestration on west and east elevations; HDRB case files, drawings, photographs and visual evidence.</u>																											

HCPI Detail Form (FORM 2)

(Continued from other side)

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival - Modern Interpretation |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes: _____ Other: _____

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

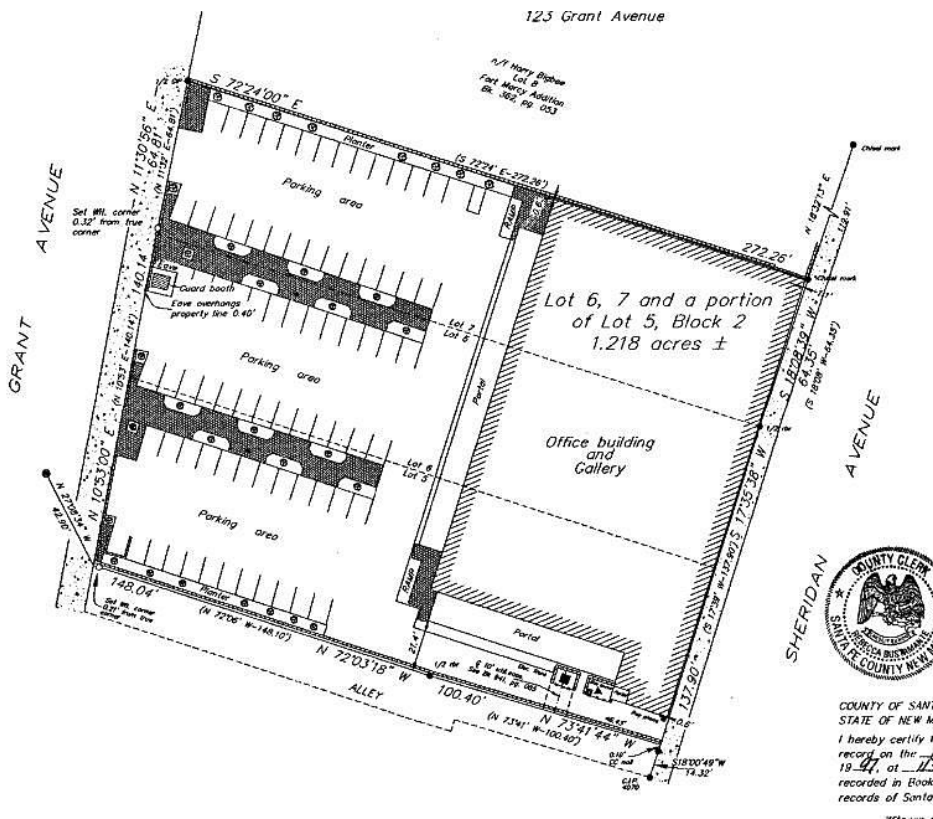
Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: Portion 1997 survey plat, courtesy Sierra Land Surveys.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

Architectural Description Continued

West Façade

A 136-foot-long, non-historic *portal* characterizes the west façade (Photos 1 & 2). It was erected in 1993 to replace an earlier portal that had been enclosed in 1982-83. Heavier in appearance than the original, the reconstructed portal projects across a brick-paved floor (Photo 3). Nine rustic posts, topped with stylized *zapatos* corbels, support the structure. The original portal was lower, with a thinner profile, and without a rounded parapet (Figures 15 & 16).

The current design is bulkier, representing the oversized aesthetic of its period. The original portal sheltered tall show windows bracketed by automatic doors (Figures 15 & 16). This fenestration was removed in 1982-83 when the original portal was closed (Figures 17 & 18).

During the 1993 renovation, the elevation was divided into three commercial offices. This introduced a completely different form of fenestration, consisting of oversized residential multi-light windows and half-glass-wood-panel doors (Photos 4 & 5). The windows are uniformly Pella aluminum-clad wood units in an eight-over-eight pattern of lights. Additional tenant improvements in 1994 altered a few of these openings and installed a large fixed wood window at the southwest corner (Photo 2).

South

The south elevation was historically the working side of the building, containing a ramp and a loading dock. The 1993 renovation dramatically changed the elevation. It created a 920-square-foot portal and punched a historically blank wall with new fenestration (Photos 6 & 7). Similar to the west façade, the portal is robust in proportion, amply covering an elevated brick walkway. A line of non-historic eight-over-eight windows breaks up the once-solid wall. The renovation removed the loading ramp and filled in the truck delivery door opening.

East

Aligned along Sheridan Street is the back side of the building (Photos 8 & 9). This elevation originally had only two openings, with grilles ventilating the supermarket’s

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

back room. The 1993 renovation introduced new fenestration, including several doors and six new windows. Like the other elevations, these hold eight-over-eight clad units. A further tenant improvement changed a door opening, filling it with stucco (Photo 10).

North

This elevation, abutting against part of an older lot line wall, has no fenestration and represents the only unaltered part of the building (Photo 11).

Landscaping/Site Improvements

The site was completely redeveloped in 1993. Work involved creating a three-aisle parking lot with planter islands, planter beds, and low concrete walls along Grant Avenue (Photo 12). Further work in 1995 introduced a stylized Pueblo Revival parking attendant booth (Photo 13) and a stuccoed dumpster enclosure. The east-west wall on the north is associated with 135 Grant Avenue and will be evaluated separately for that property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021

Historical Overview

This overview is an account of three adjacent lots in downtown Santa Fe and the changes that have occurred since the Spanish colonial period. It focuses on a modern Safeway supermarket erected on the site in 1965 that became unrecognizable after a major renovation in the early 1990s.

Synopsis of Safeway Building Evolution

Santa Fe Safeway No. 1	Erected	1941
Santa Fe Safeway No. 1	Demolished	1966
Safeway No. 921	Erected	1965
Safeway No. 921	Portal Enclosure	1982-83
Safeway No. 921	Major Renovation	1993-94

Presidio Period: c.1610-1846

The building sits in an area historically part of the *royal presidio*, a military fortification that protected Santa Fe. The site likely started as an informal encampment that was only officially organized into a presidio after Reconquest.¹

Joseph Ramón de Urrutia y de las Casas’s 1766 map of Santa Fe — the first graphic depiction of the villa — does not indicate a presidio; the area traditionally considered to be the presidio’s parade ground is instead shown as cornfields (Figure 1). Fray Francisco Atanasio Domínguez, in his 1776 missions report, does not mention a presidio, except in the context of satire. He instead describes a lone barrack used to hold prisoners west of the Palace of the Governors.²

¹ Elinore M. Barrett, *The Spanish Colonial Settlement Landscapes of New Mexico, 1598-1680* (Albuquerque: University of New Mexico Press, 2012), 84. There are differing opinions on the origin and extent of Santa Fe’s presidio. Based on a review of archival records, Barrett believes a formal presidio didn’t develop until 1693-94.

² Fray Francisco Atanasio Dominguez, *The Missions of New Mexico, 1776* (Albuquerque: University of New Mexico Press, 1956), 40.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

According to a drawing made by Governor Fernando de la Concha in 1787, the presidio had fleshed out by that time, expanding north to what is today Paseo de Peralta.³ This is indicated, along with the basic form of the fortification, in a 1793 map (Figure 2)

The presidio fell into disrepair during the Mexican period, and was described at that time as only a few adobe buildings holding a few soldiers. The deteriorated encampment was surrounded by an adobe wall which has been called *La Muralla*.⁴ It was later mined of bricks to raise revenue.

Fort Marcy Period: 1846-1895

Brigadier General Stephen Watts Kearny’s August 18, 1846 conquest of Villa de Santa Fe renewed the old presidio. His 1,600-man “Army of the West” likely used the site for an encampment and staging area. Accompanying Kearny, Lieutenants William H. Emory and Jeremy F. Gilmer of the Topographical Engineers Corps surveyed Santa Fe.

A reconnaissance map prepared by Emory and Gilmer showed the outline of the presidio — a long, north-south rectangle stretching from the Plaza to a point near present-day Paseo de Peralta (Figure 3). Its center — assumed to be its onetime parade ground — is marked as a cornfield. Small adobe barracks edge the field on its east, west, and north sides.

The U.S. Army reorganized the site, building new infrastructure and naming it Fort Marcy, after William Learned Marcy, a U.S. Senator, and at the time the Secretary of War. Work at the site included turning a meandering Colonial-era road along its western boundary into Grant Avenue, and creating the north-south Lincoln Avenue on the other side.

The fort saw use during the Civil War, as a small garrison. Federal troops were mustered from the site in 1862 to engage in battles at Valverde (February 20-21) and Glorieta Pass (March 26-28). The latter resulted in Confederate casualties, and the surviving soldiers were temporarily treated at Fort Marcy before returning to Texas.

³ Corinne P. Sze and Beverly Spears, *Santa Fe Historic Neighborhood Study* (Santa Fe: N. Mex.: City of Santa Fe, 1988), 45; Susan Hazen-Hammond, *A Short History of Santa Fe* (San Francisco: Lexicos, 1988), 67.

⁴ Janet LeCompte, “When Santa Fe Was a Mexican Town, 1821-1846, In *Santa Fe: History of an Ancient City*, ed. David Grant Noble (Santa Fe: School for Advanced Research Press, 1989), 81.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

After the Civil War, the fort was designated a military reservation — signaling its decreasing role in protecting Santa Fe. The site became the Fort Marcy Military Reservation by executive order on August 28, 1868. The move came as the Army focused on modernizing its military force, “as it abandoned its small temporary frontier posts and consolidated troops into larger regional installations.”⁵ The shift toward larger, more uniform posts required a greater degree of planning for military installations and the individual buildings and structures populating them.

Planning of posts in New Mexico came under the Army Quartermaster’s Office, led by General Montgomery C. Meigs. Responding to criticism of the condition of Western forts, Meigs, a trained engineer, called for the development of standard fort plans. First introduced in 1872, standard plans covered a host of installation structures, from hospitals to barracks to bakeries and laundries. These included a range of standard residential designs for commissioned and non-commissioned officers in either a bachelor or family arrangement.

Brigadier General Marshall I. Ludington, Chief Quartermaster of the District of New Mexico, oversaw the program to upgrade Fort Marcy and other posts in the region. The Quartermaster Division of Missouri was responsible for the engineering and architectural design.

Officers’ Quarters – the New American Style

Construction of the Officers’ Quarters (officially titled Officers’ Houses) began in 1870 with quarried stone foundations. Like the earlier fort structures, the quarters were made of adobe. Yet their form took a radical departure from previous Santa Fe architecture. Instead of placing rooms in a single file, they had a central hall plan with rooms on either side, arranged two rooms deep. Dating to the Georgian period, the central passage (as a double-pile plan) created a flow of separate rooms — often in a parlor, dining, chamber, and kitchen configuration. The quarters at Fort Marcy included additional rooms in an ell at the rear, and bedrooms in an upper story accessed by a straight run of stairs from the hall.

⁵ Paul Chattey, et al, U.S. Army Corps of Engineers, Seattle District, “Context Study of the United States Quartermaster General Standardized Plans, 1866-1942” (Prepared for the U.S. Army Environmental Center, Environmental Compliance Division, Aberdeen Proving Ground, Maryland, November 1997), 33.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

The appointment of the exterior moved in a thoroughly American direction. The front façade, with its five-bay arrangement, harkened to typical fenestration of the Federal or Adamesque period. The symmetrical pattern of tall multi-light sash windows topped with entablature type headers was equally reminiscent of the Federal manner. The centered entry, enframed with its small-pane transom and sidelights, further communicated an earlier American influence. The early American style continued with the use of louvered shutters and quoins at corners. One of the most important influences of the Officers’ Quarters was its shed-roof portico.

The officers’ houses were likely the first American-plan homes in Santa Fe. Yet, with all of their impressive display of earlier American architectural motifs and forward floor plan, the Officers’ Quarters had no significant influence on Santa Fe’s architecture. Instead, the fort’s barracks would influence what would come to be defined as the Territorial style.

Two parties of the Wheeler Expedition — an important survey of land west of the 100th Meridian — arrived in Santa Fe in June 1873. One of the members, a cartographer named Timothy H. O’Sullivan, photographed the completed Officers’ Quarters (Figure 5). The multi-year survey additionally mapped the military reservation, producing the most accurate post-Civil War picture of its layout (Figure 4). Various parties of the study used the parade grounds north of the officers’ housing over the years as an encampment.⁶

Closing the Fort

Change arrived again in the 1890s when the Army began making small improvements to the reservation. Working included installing pitched roofs over another set of officers’ quarters near the post hall.⁷ Marcy Street — a road first proposed by the city in 1881⁸ — was constructed, providing central east-west passage across the military reservation.

In 1895 the federal government announced that it would remove soldiers from the fort. As expressed by Lieutenant General John McAllister Schofield, “Santa Fe [had] always been a nice place for the soldiers, but [there were] not enough soldiers in the army to

⁶ *Daily New Mexican*, September 18, 1876, 1.

⁷ “Army Orders,” *Santa Fe New Mexican*, April 26, 1892, 4.

⁸ Sze and Spears, *Santa Fe Historic Neighborhood Study*, 47-48.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

garrison other and more important posts – hence the removal of troops from Fort Marcy.”⁹

Santa Fe citizens protested the move, hoping the War Department would reactivate the fort. An editorial in the *Daily New Mexican* found it “unwelcome news” but admitted that it “is hardly to be expected that troops could be assigned to this post, out of repair and unfit, as any sensible man knows.”¹⁰ The paper hoped that the government would build a new fort south of town.

City officials, however, welcomed the news, claiming the military reservation was theirs, as it was within the original Santa Fe land grant. But with the grant unsettled, there was little expectation Washington would give the fort away. Despite several efforts by Governor William Taylor Thornton to alter the secretary of war’s decision, the reservation was turned over to the Department of Interior by executive order on June 15, 1895.

Proposed National Sanatorium Period: 1896-1904

In 1896, the American Invalid Aid Society of Boston, working with United States Senator Jacob Gallinger (R-New Hampshire), approached Congress with a bill to turn the old fort into a tuberculosis sanatorium of national scale. Introduced to Congress in April of that year, the bill established that the society would be given the property, with the provision that the sanatorium would be in operation within two years.¹¹

The *New Mexican* weighed in, stating it found the idea “noble,” and “one that appeals to the best that there is in man,” but concluded that the “prospect of a large colony of consumptives being planted here is not alluring, neither is it pleasant,” and worrying about the transmission of the disease to the local population.¹² Similarly, George W. Knaebel, representing the Santa Fe Board of Trade, questioned the bill, fearing that New England would send its worst paupers to Santa Fe.¹³ The board instead backed a

⁹ “Schofield Says No,” *Santa Fe Daily New Mexican*, June 1, 1895, 1.

¹⁰ “This Settles It,” *Santa Fe Daily New Mexican*, September 23, 1895, 4.

¹¹ “A Proposed National Sanatorium,” *Medical Record* (February 27, 1897), 307.

¹² “The Consumptive Sanitarium,” *Santa Fe Daily New Mexican*, October 14, 1897, 2.

¹³ “The Fort Marcy Reserve,” *Santa Fe Daily New Mexican*, April 27, 1896, 4.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

competing proposal by United States Senator M. Henry Teller (R-Colorado) to use the site as a school for Pueblo Indian children.¹⁴

Given the pushback, the American Invalid Aid Society modified its ambition, pursuing Fort Stanton in Lincoln County instead as a more appropriate site, as it was “removed from any center of population and all danger from infection.”¹⁵

With the debate of the national sanatorium over, Senator Thomas Catron, president of the Santa Fe Board of Education, angled to have the abandoned fort turned over to the city to fund a new school — a critical need for the growing community.¹⁶

City Ownership Period: 1904-1905

Following a January 5, 1904, presidential proclamation, the federal government divested the land, deeding the 17.7-acre tract and its roughly 20 structures to the City of Santa Fe.¹⁷ The next month, the city turned the area over to the board of education.

Under the agreement, the board would use some of the land to build a school, selling excess property to raise money for its construction. The same year, the board began selling off parcels, starting with Blocks 5 and 6 — a wide swath between Palace Avenue and Federal Place, and Lincoln and Washington avenues. At the same time, work began to clear off Block 4 (the current location of City Hall) to build a school.

Alfred M. Bergere, the first judicial district court clerk who had purchased one of the officers’ quarters (now the Georgia O’Keeffe Research Center), complained about the demolition, saying that the adobes thrown onto Marcy Street had made it “absolutely impassable.”¹⁸

¹⁴ “Wanted for the Indians,” *Santa Fe Daily New Mexican*, April 25, 1891, 1.

¹⁵ *Santa Fe Daily New Mexican*, December 27, 1897, 2.

¹⁶ Henry J. Tobias and Charles E. Woodhouse, *Santa Fe: A Modern History, 1880-1990* (Albuquerque: University of New Mexico Press, 2001), 46.

¹⁷ Joint Committee on Printing, *A Compilation of the Messages and Papers of the Presidents, Volume XV* (New York: Bureau of National Literature, Inc., c.1904), 6948.

¹⁸ Bergere’s comment paraphrased in “Delgado Appointed,” *Santa Fe New Mexican*, September 7, 1904, 1.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

The remaining acreage was sold and platted the same year as the Fort Marcy Addition.¹⁹ The subject property was included within lots 5, 6, and, 7 of the new addition (Figure 7).

Private Residences Period: 1904-c.1948

The 1902 Sanborn Fire Insurance map showed the subject parcel contained two 1870s Officers’ Quarters (Figure 8). The house to the south had expanded with several frame additions and small brick-built attachment at the rear. Both surviving military-era homes included large wood-frame stables.

Between 1902 and 1908, a new residence was erected on the open lot between the two Fort Marcy period houses. The compact, one-story brick house had a gabled plan with a centered porch front entry (Figure 9). The three houses evolved during the 1910s, with the older military residences simplifying in footprint. By 1921, two of the three homes had automobile garages at the rear (Figure 10). They would all be removed by the 1950s (Figure 11).

Capsule Property Histories

115 Grant Avenue

The southernmost house, historically addressed as 115 Grant Avenue (Lot 5), came under the ownership of Dr. James A. and Laura H. Miller. The couple arrived in Santa Fe in 1908, establishing themselves in the former Officers’ Quarters. Miller, a doctor with a degree from Cincinnati Medical College (now University of Cincinnati) established a practice in Santa Fe and became an elder of the First Presbyterian Church. Doctor Miller died on his front porch on the night of June 26, 1912.²⁰

¹⁹ “Notice,” *Santa Fe New Mexican*, August 4, 1904, 8.

²⁰ “Dr. James A. Miller Falls Dead at His Home,” *Santa Fe New Mexican*, June 27, 1912, 6.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

Laura continued to live in the house with her daughter Mary, and son-in-law, Charles Freeman, until the late 1920s. Laura Miller died in her home shortly before midnight on June 15, 1929.

A year later, the federal census documents Mary as the owner of the property, then worth \$10,000. In the early 1930s, the house converted into apartments, and before its demolition in 1940, was rented by William B. Hall, a roofer, and his wife Mary.

119 Grant Avenue

The newer, middle house (Lot 6), worked as a rental for most of its lifespan. Hyman and Sarah Galanter lived in the residence in the mid-1920s. Hyman, a native of Lithuania, arrived in the United States in 1906, settling in Santa Fe in 1924. He ran a dry goods business, and later operated a scrapyard on Pino Street. The 1930 census notes the couple’s main language was Yiddish. City directory entries indicate a high turnover of tenants in the 1930s, with the residence indicated several times as vacant. Just before demolition, Alex and Ethel Kalanges (Kalangis) rented the property. Of Greek ancestry, Kalanges arrived in Santa Fe to co-manage Faith Café, a popular West San Francisco Street eatery in the building now occupied by Evangelo’s Cocktail Lounge.

125 Grant Avenue

Julian A. Martinez owned the northernmost house (Lot 7) — one of the original Officers’ Quarters — for four decades. Born in 1851 in Arroyo Hondo, Martinez was a descendant of a grantee of the Tierra Amarilla Grant.²¹ Martinez resettled his family in Santa Fe in 1903. The 1910 federal census documents Martinez at the house with his wife, Marina, and three children, including daughter, May.²² Julian died in 1941 at the age of 91 and the property went to his children. Starting in 1942, it was the home and practice of Dr. Yacki R. Raizizun, a naturopath, author, and widely traveled lecturer.

Born in 1893, in Bombay, India, Yacki Radix Raizizun arrived in San Francisco in 1915, during the Panama-Pacific International Exposition.²³ Raizizun first settled in Chicago, where he married fellow spiritualist Ruth Ezra Holden. In the mid-1920s, Raizizun began

²¹ “Don Julian Martinez Dies,” *Santa Fe New Mexican*, November 16, 1941, 2.

²² United States federal census, 1920, Census Place: Santa Fe, Santa Fe, New Mexico; Roll: T625_1080; Page: 4A; Enumeration District: 130.

²³ “Raizizun Rites Set Thursday,” *El Paso Times*, August 4, 1966, 8-

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

to lecture for the Chicago chapter of the First Society Spiritualists, a sect of American Spiritualism that believed in communicating with the dead. By the 1920s, Raizun had expanded his lecture circuit to neighboring states, presenting nighttime talks mixing psychology and occultism.

By mid-decade, his circuit had grown to the eastern seaboard, where he delivered week-long series of lectures that promised “Astounding Revelations in the Secrets of Esoteric Psychology.”²⁴ Raizun authored numerous books, from the cultic *Manual of Occult Development*, to yogic instruction in *The Science of Proper Breathing*, to the emerging trend of vegetarianism in *Meat and Its Effects*; and to reach the Babbitt-types in *The Psychology of Success*. In Santa Fe, Raizun married May Martinez, Julian and Marina Martinez’s daughter and a school teacher who would become a noted children’s book author.

The Raizuns were in good spiritualist company, being neighbors to Edna Ballard — co-founder of the “I AM” movement — who had relocated from Los Angeles in 1941 to an old adobe residence a block away. The Raizuns lived in the Grant Avenue house until 1952, renting part of it to Ben Martinez, May’s brother. They later moved to El Paso, where Dr. Raizun died in 1953, with May following in 1976.

After the Raizuns left Santa Fe, the old Officers’ Quarters converted to commercial use, last holding the Dependable Cab Company before being demolished.

Grocery Store Period: 1941-1992

The houses on the lower two lots were demolished in 1941 to make way for a new Safeway store. Safeway first entered Santa Fe in 1928, opening a store on Palace Avenue. At the time, the grocery scene in Santa Fe included dozens of small grocers, most mom-and-pop stores serving Hispanic majority neighborhoods. Safeway followed Piggly Wiggly, a national retail chain that built a store on Don Gaspar Avenue in 1922.

Established in 1915 in American Falls, Idaho, and incorporated in Maryland in 1926 as Safeway Stores, Inc., the growing grocery retail company saw promise in New Mexico. Big stores, like Safeway, could offer customers lower prices and a wide array of items by purchasing in volume from wholesalers. Like the big-box stores of this age, these chain

²⁴ Advertisement, *Brooklyn Daily Eagle*, October 17, 1925, 12-A.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

groceries — with their wholesale discounting, low prices, and relentless advertising — soon squeezed out smaller and independent grocers.

The Palace Avenue unit (the sixth Safeway in New Mexico) was financed by the Blatt family and opened on April 21, 1928, as Santa Fe Safeway Store No. 1. It joined 1,200 Safeway units stretching from Florida to California. Typical of its period, it was furnished with wood shelving and display boxes, with pyramids of canned goods along its walls. Five years later, Santa Fe received its second Safeway, opening in the new Dendahl Building on Galisteo Street (now Seret & Sons).

Both of these early stores were limited by their floor space and parking. In the late 1930s, Safeway began to look for a site to build a modern store — including onsite parking — following its standard plan. The lots on Grant Avenue were acquired with both former residences, including one of the original Officers’ Quarters, demolished in January 1941.

Santa Fe Store No. 1

Architect Gordon F. Street, a former principal in John Gaw Meem’s firm, drew up plans for the new store, following one of Safeway’s standard designs. By then, Safeway had established a uniform façade and floor plan that reflected its format of mixed self-service and counter assistance for customers arriving principally by automobile.

Self-service, first introduced by Piggly Wiggly, allowed the shopper to move about freely, picking items from open shelves and paying for them at the front of the store in a check-out lane.²⁵ Before self-service, shoppers had to request items individually from clerks behind a counter. Typical of the emerging self-service supermarket, Santa Fe Store No. 1 was fashioned as a long rectangle, with its short side facing the street (Figure 11). Constructed with a concrete frame and a tile curtain wall, it was considered fireproof.

The west façade, facing Grant Avenue, was organized as an enframed window wall. As with other Safeways across the country, it had a pattern of bays holding tall display windows on low bulkheads, interrupted by a set of double wood entry doors topped with a large ventilating transom. Differing from the standard, the Santa Fe design

²⁵ Kathleen Drowne and Patrick Huber, *The 1920s* (Westport, Ct.: Greenwood Press, 2004), 128.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

received a sloping Spanish tile roof (Figure 12). The \$21,000 building was erected by the Albuquerque contractor, Kilbourne L. House.

Strictly Modern

The new Safeway opened on June 5, 1941 (Figure 13). The interior featured “new and strictly modern equipment” and was finished with chrome fixtures and indirect and fluorescent lighting in what Safeway called the Streamline style. It had a dedicated concrete parking lot along its south elevation, representing, according to the *New Mexican*, the “largest parking lot in the city.”²⁶ Including equipment, the final cost of construction was \$75,000. With its completion, Safeway shuttered the Palace Avenue unit, which was only half the size of the new building.

The new Safeway came at time when war preparations began to affect construction, both locally and nationally. Safeway discontinued its acquisition of new properties, and closed several warehouse and plant operations. Yet, it finished 1941 with a 19% increase in sales, netting \$475,124,885 nationally.²⁷

Remodeling and New Designs

In 1961, Santa Fe Store No. 1 received extensive interior remodeling, but its floor space was already deficient. The same year, the company built one of its new standard models on St. Francis Drive (now Natural Grocers) that offered far more floor space and parking. Based on San Francisco Bay Area prototypes developed by architectural firm Wurster, Bernardi & Emmons in 1959²⁸, the new Safeway models used a barrel-vaulted roof, allowing a floor-to-ceiling glass façade. Like many cost-conscious versions, the St. Francis Safeway had a gable roof form; still, with its glue-laminated curved beams, it satisfied Safeway’s goal of light and spaciousness.

²⁶ “Safeway No. 1 Will Move to New Location,” *Santa Fe New Mexican*, May 27, 1941, 10.

²⁷ Safeway Stores Incorporated, *Annual Report of Safeway Stores Incorporated, Year Ended December 31st 1941* (no publisher, 1941), no page.

²⁸ “Safeway Stores Announce Large Construction,” *Architect and Engineer* (April 1959), 31.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

Safeway No. 921

Safeway reconsidered the Grant Avenue site, realizing the building's position could be changed to gain more parking and floor space. Santa Fe Store No. 1 was still an attractive location, serving families living in east and north sides of town.

In 1965, Safeway hired the Albuquerque firm of Neuner and Cabaniss, Architect and Engineers, to design a new supermarket-style store. Formed in 1951 by architect August A. Neuner and engineer Jack Knisley Cabaniss, the architect-engineering firm worked mostly under government contracts, designing test structures for Kirtland and Holloman Airforce bases and Los Alamos National Laboratory. Neuner and Cabaniss additionally worked in the commercial sector, creating designs for New Mexico Safeway stores.²⁹

To maximize the site, Safeway acquired the northern lot. With the lot cleared, Neuner and Cabaniss could create a larger building arranged on a north-axis. The repositioning increased the floor space, boosting it to 19,000 square feet. Moving the building to the back of the lot permitted more parking, particularly in front, which reflected the norm of the drive-up supermarket.

Constructed by Ballard & Sons, of Carlsbad, the concrete building took on a generalized Pueblo Revival appearance. As with most supermarkets, Neuner directed his attention to the façade, which came under review by the Historic Styles Committee.³⁰ The flat façade came decorated with long a *portal*, with wood posts topped with *zapata*-type corbels. Behind the portal was a thoroughly modern storefront, with a uniform line of large plate-glass show windows flanked by double automatic doors. The south elevation — the working side of the building — had no fenestration. A separate volume at the southeast corner enclosed a loading area entered through a steel roll-up door.

Opened to the public on February 8, 1966, Store No. 921 was modern inside. The \$186,000 building boasted a separate meat cutting room with a window so that customers could watch the butchers prepare meat delivered by a conveyor belt. It featured 60’ of fresh meat cases, 24’ of frozen meat, 62’ of dairy products, and 30’ of ice cream display.³¹ The various areas of the store were marked in pastel colors (a soft

²⁹ Information on Neuner and Cabaniss was derived from contemporary newspaper accounts, public records, and AIA directory entries.

³⁰ “Safeway Plans New Store Here,” *Santa Fe New Mexican*, March 25, 1965, 1.

³¹ “New Safeway Store to Open on Grant Street Tuesday,” *Santa Fe New Mexican*, February 7, 1966, 9.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

yellow signaled produce), lending to a “relaxing atmosphere in which customers may shop at leisure.”³² The building was air-conditioned, and bright. Important to Santa Feans, Safeway Stores announced that it would hire locals for both manager and service positions (Figure 14).

Safeway Stores’ 1966 annual report highlighted the new Santa Fe store as one of a handful of the 158 units built that year that responded to local conditions:

While our aim in store design is toward a basic style for familiar identification and saving in construction costs, exceptions are not uncommon. Architectural style is sometimes altered for such reasons as zoning laws, special local motif, unique terrain.³³

The accompanying images included a Foster Hyatt watercolor rendering of the Santa Fe store (Figure 15), and a photograph of a unit in Santa Rosa, California, that incorporated a 100-year-old redwood into its façade.

Soon after opening, the 1941 Safeway building was demolished, creating a 63-car parking lot landscaped by Santa Fe Nursery.

Alterations and Changes

Perhaps due to its exposure, the portal was enclosed in the early 1980s. The design, created by Foster, Henry, Henry & Thorpe, an industrial architecture firm based in El Paso, added stucco between the portal posts to hold 16 slit-like windows (Figures 17 & 18). New entry doors were installed at the north and south ends of the portal. The project additionally extended the loading dock area.

The odd-looking façade came about during a time of change for the grocery chain. In 1986, a New York holding company purchased Safeway to avoid a hostile takeover. Two years later, the company sold off its 59-unit El Paso Safeway Division — which included New Mexico — to Furr’s, a lower-end grocery retailer headquartered in Lubbock, Texas. Furr’s, which already had two markets and a cafeteria in Santa Fe, continued to run the

³² Ibid.

³³ Safeway Stores Incorporated, *1966 Annual Report* (Oakland, Calif.: Safeway Stores Incorporated, 1966), 11.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070		4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021			

Grant Avenue store and three other Santa Fe locations under the Safeway name. In 1991, Furr’s Supermarkets, a separate company, took over the Santa Fe Safeway units, rebranding them as Furr’s Supermarket.

The former Store No. 921 held on for another year, before closing for good at 8 p.m. on Saturday, September 12, 1992.

Commercial Office Period: 1993-Present

In addition to its 31 employees, the store’s closure was lamented by its regular customers, as it was the last major grocery market in downtown Santa Fe. People feared that the building would become a gallery or hotel.³⁴ Its new owners, a pool of investors using the name Poobah Corporation, hired the local firm of Terraplen, Architects, Planners, Landscape Architects to remodel the grocery into commercial office space.

Terraplen came before the Historic Design Review Board in 1993 with a scheme to create additional square footage by building a partial second story (H-93-111). Originally proposed as a Pueblo Revival design, it included new portals along the west, east, and south elevations and new fenestration along all but the north side (Figure 20). A second iteration modified the design to the Territorial Revival style. Another revision returned to the Pueblo Revival manner at a one-story height. The proposed east portal was removed from consideration, as it did not meet BCD standards.

Work began on the \$450,000 renovation project in the fall of 1993. It included building new portales along the west and south elevations. The west structure presented a heavier appearance than the 1965 design, which had a lighter parapet and stylized battered ends. The new design over-emphasized Pueblo elements and added an elevated brick floor. With this improvement, the former open storefront was closed and divided into offices with separate entries. The same scheme was applied to the south. Both of these principal façades received oversized residential windows with a divided light sash. Similar, but smaller windows were introduced to the east (Sheridan Street) elevation.

The first tenant, a title company, moved into the building soon after. The following year, an art gallery expressed interest in the renovated building, resulting in a change of the

³⁴ Bob Quick, “Shoppers Lament Closure,” *Santa Fe New Mexican*, August 27, 1992, B4.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

front façade fenestration which altered a design that had been approved by the board (H-94-45). The final design, representing what is in place today, was completed in late 1994, with the Betts and Riva Yares galleries taking over the space. Tenant improvements installed a large fixed window to the south end of the front façade (H-94-143)(Figure 21).

Additional improvements involved the construction of a Pueblo Revival-style parking attendant's booth and a stucco application to a dumpster enclosure (H-95-1).

Burnett Foundation Ownership

The Poobah Corporation sold the property to the Burnett Foundation in 1997. A Fort Worth-based arts and culture foundation overseen by Anne Windfohr Marion and her husband John L. Marion, the foundation purchased the adjacent Bergere House the same year.

In 1998, the Marions founded the Georgia O'Keeffe Museum and Study Center, representing the artist's first permanent collection. As part of its operations, the museum used the old Safeway building as a learning center and annex to the main collection. In May 2021, the parcel holding the Safeway building was transferred to the Georgia O'Keeffe Museum.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

Evaluation of Historical Status

Erected in 1965 as a design to satisfy the needs of a modern supermarket while respecting the style of the historic district, Safeway No. 921 was first altered in 1982-83, with the enclosure of its façade. In 1993, this portal was re-instated, but at a different size, proportion, and design. The major renovation also added numerous new window openings to all but the north elevation and created a large portal across the south elevation.

In summary, the 1993-94 project changed the original window and door locations and added new units where none existed before. It altered original character-defining features such as the loading ramp, and introduced new conjectural elements. As a result, all but the north elevation has been significantly altered.

The smaller structures, site work, and landscaping are non-historic, all dating to the 1993-95 period.

Conclusion

Given the cumulative impact of these alterations (all made after the historic period), the Safeway No. 921 building does not retain sufficient historic integrity to communicate its original design and historical period and associations.

For these reasons, the Safeway building and all structures and landscape improvements are recommended Noncontributing to the City of Santa Fe Downtown and Eastside Historic District.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070	4. County: Santa Fe	
		5. Date of Survey: September 3, 2020; June 13, 2021		

Illustrations



Figure 1: Portion of “Plano de la villa de Santa Fé, Capital del Reino de Nuevo Mexico,” 1766. Creator: Joseph Ramón de Urrutia y de las Casas. Red rectangle indicates approximate location of subject property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2		NRHP _____ SRCP _____	Criteria A B C D
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070	4. County: Santa Fe		
		5. Date of Survey: September 3, 2020; June 13, 2021			

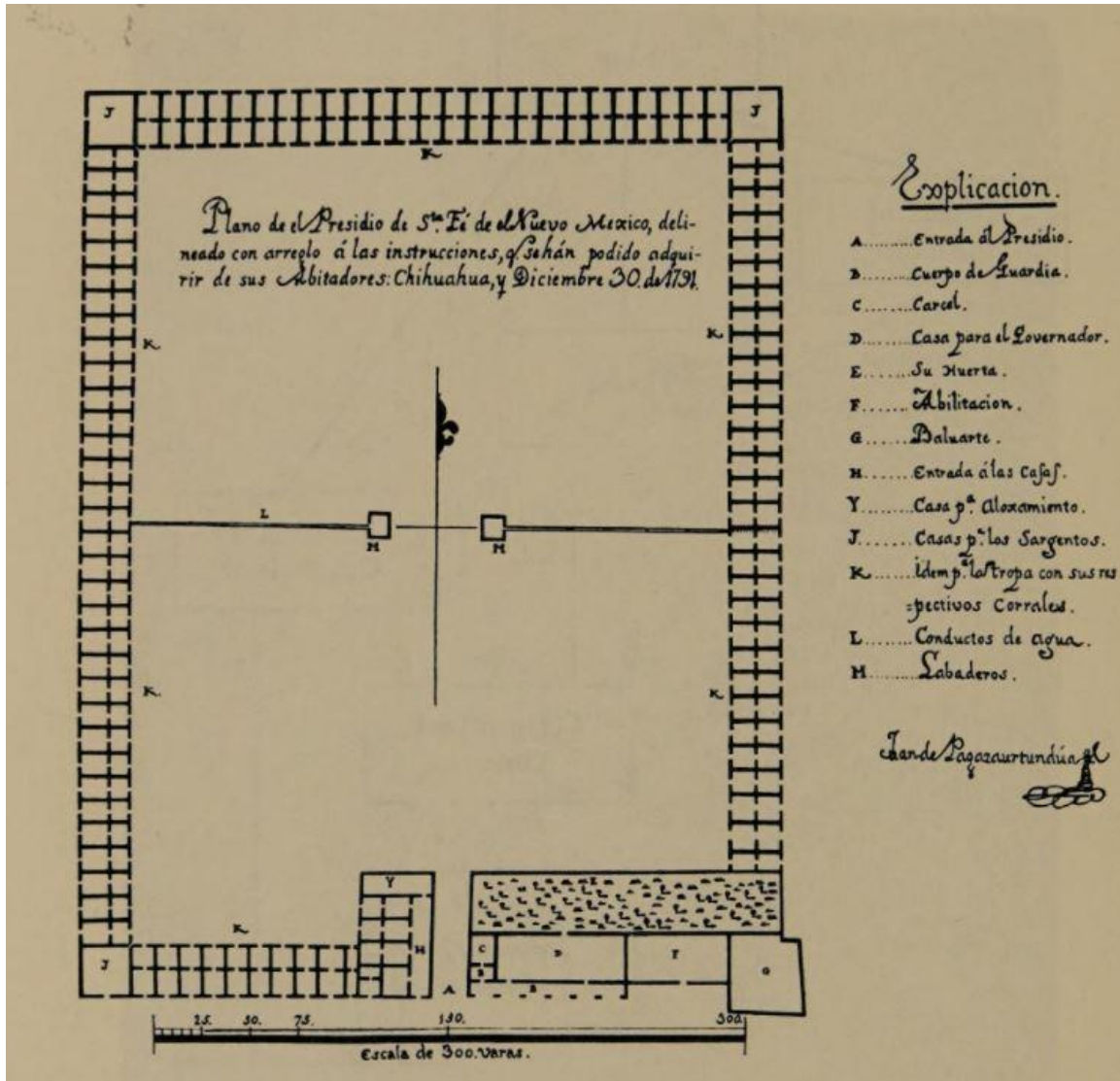


Figure 2: "Plano de El Presidio de Sta. Fe de El Nuevo Mexico," 1791.
 Creator: Unknown.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP SRCP Criteria A B C D
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>
	3. Local Reference Number: Santa Fe ID #: 051610070
	4. County: Santa Fe
5. Date of Survey: September 3, 2020; June 13, 2021	

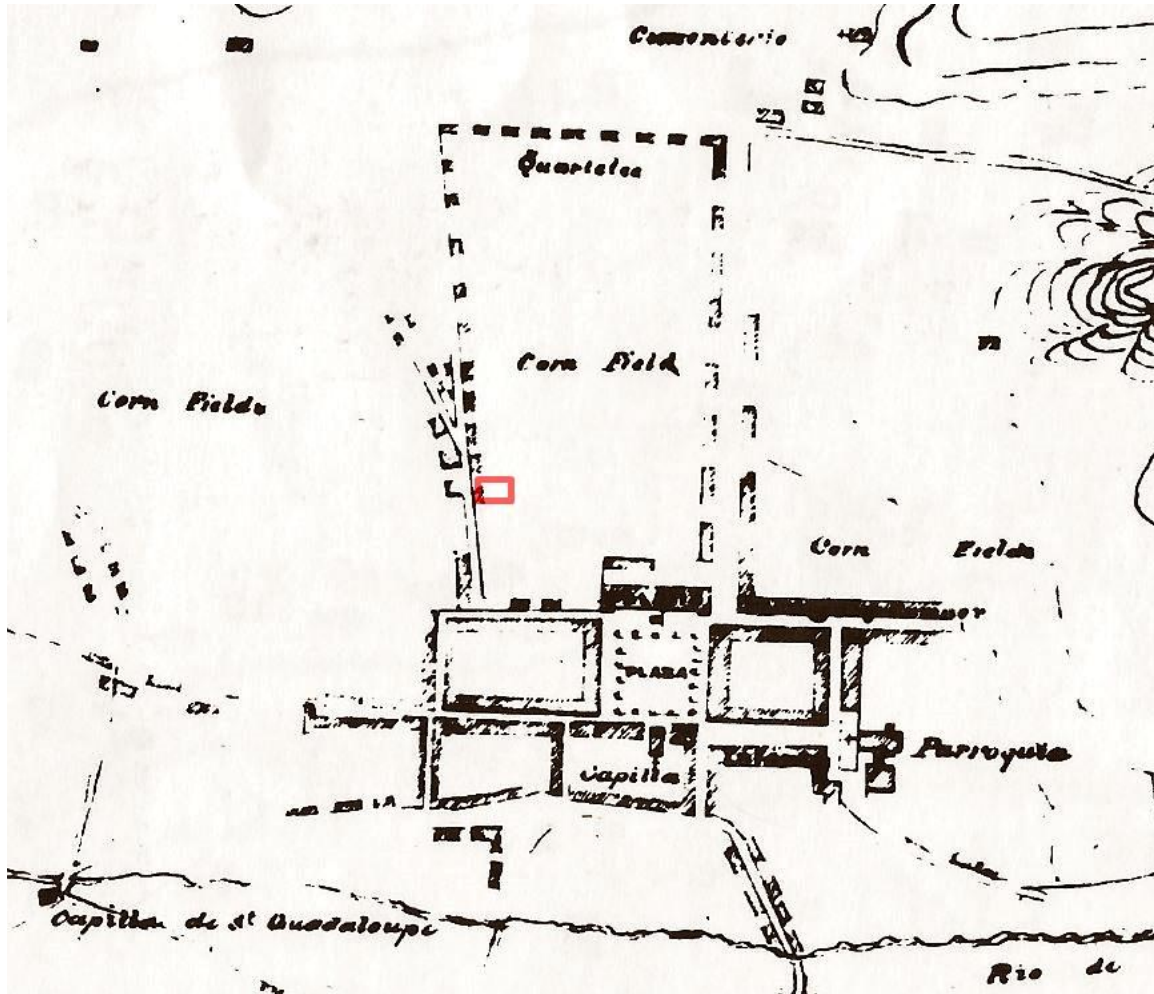


Figure 3: Portion of "Reconnaissance (sic) of Santa Fé and the Environs," 1846.
 Creator: William H. Emory and Jeremy F. Gilmer.
 Red rectangle indicates approximate location of subject property.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

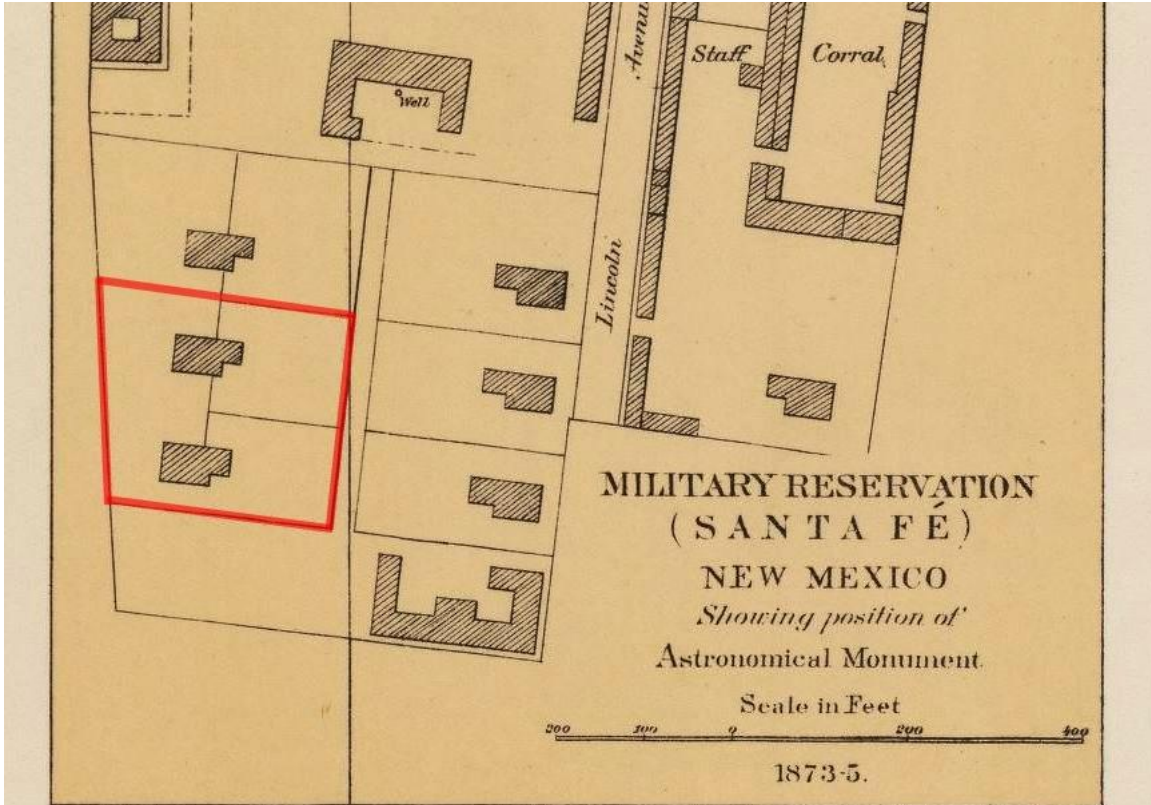


Figure 4: Portion of “Military Reservation (Santa Fé) New Mexico, Showing Position of Astronomical Monument,” 1873-75.

Creator: George M. Wheeler, Corps of Engineers, U.S. Army.

Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			



Figure 5: Portion of 1873 photograph showing the two Officers’ Quarters within the subject parcel. Creator: Timothy H. O’Sullivan. Courtesy National Archives, College Park, Maryland.

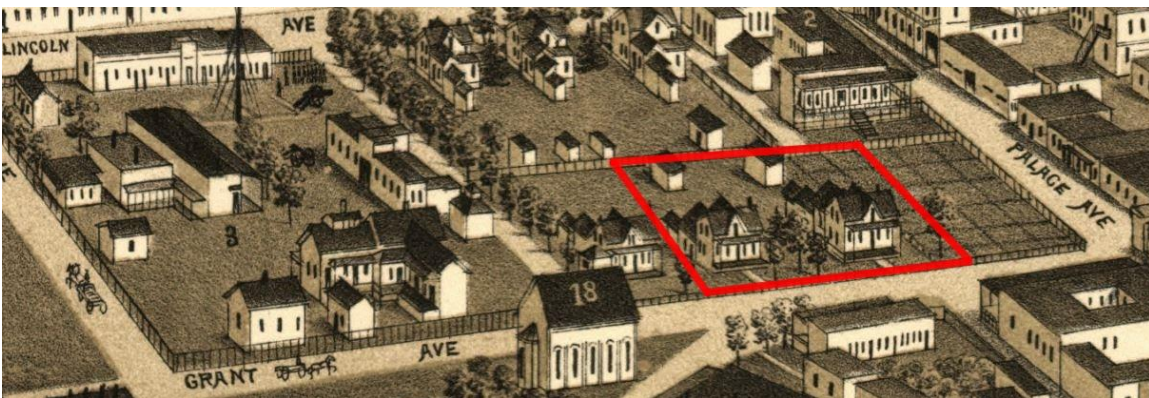


Figure 6: Portion of “Bird’s Eye View of the City of Santa Fé, N.M. 1882.” Creator: J. J. Stoner. Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> A </u> <u> B </u> <u> C </u> <u> D </u>	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

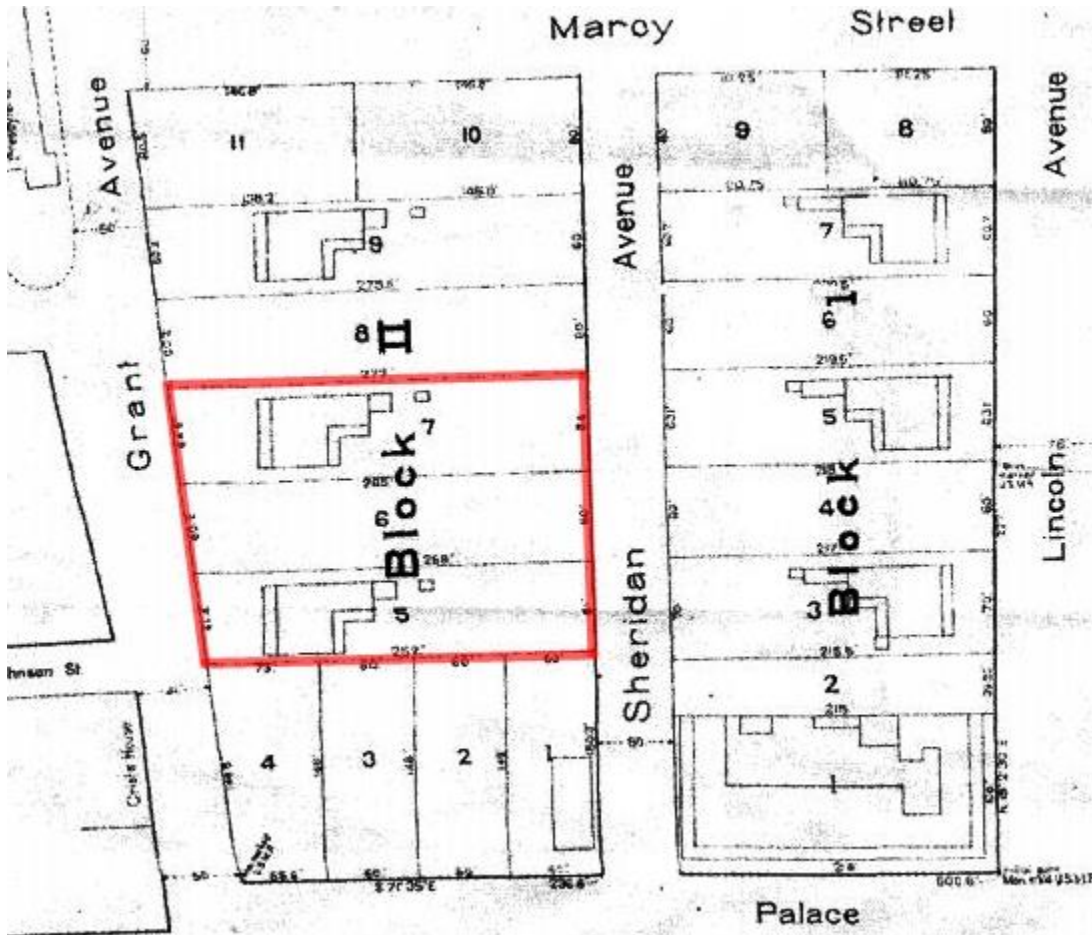


Figure 7: Portion of "Amended Plat, Fort Marcy Addition, 1904."
 Creator: Unknown.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

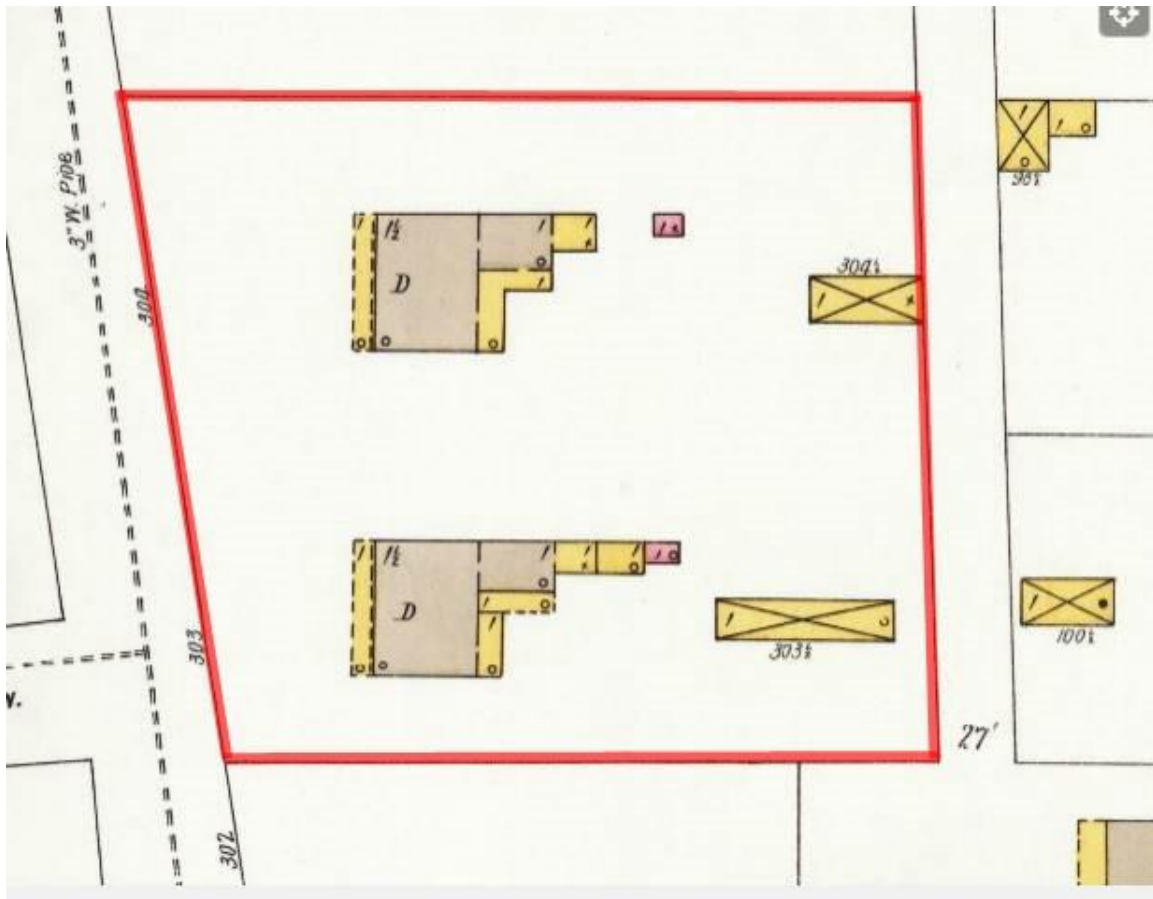


Figure 8: Portion of 1902 Sanborn Fire Insurance of Santa Fe.
 Creator: Sanborn Fire Insurance Company.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

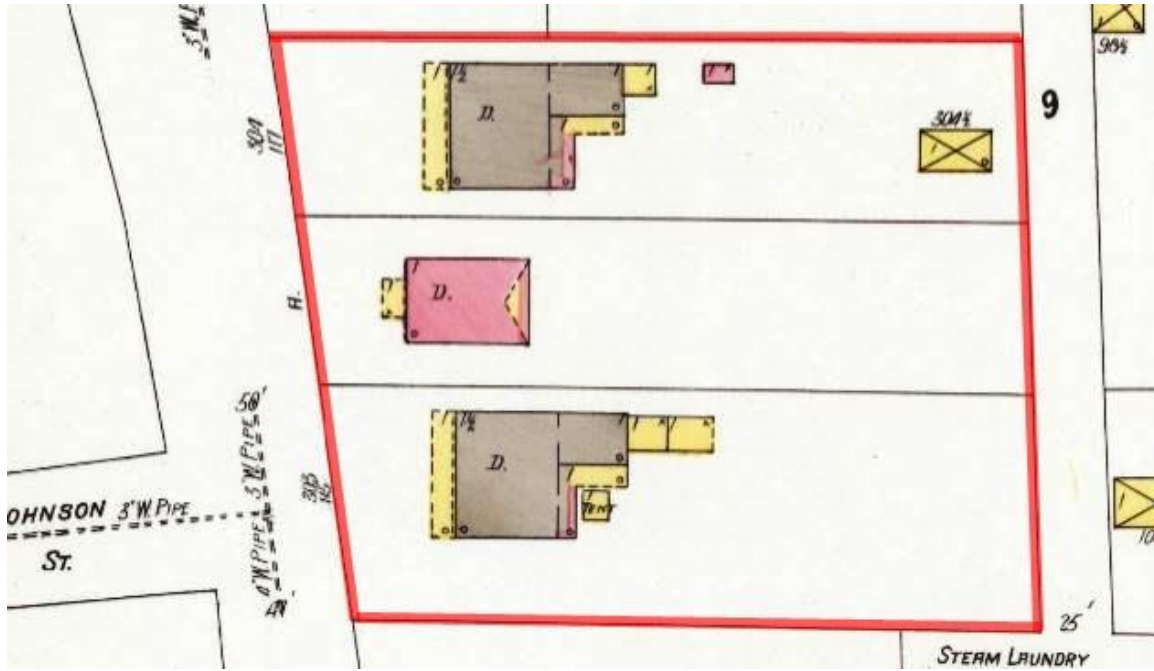


Figure 9: Portion of 1908 Sanborn Fire Insurance of Santa Fe.
 Creator: Sanborn Fire Insurance Company.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

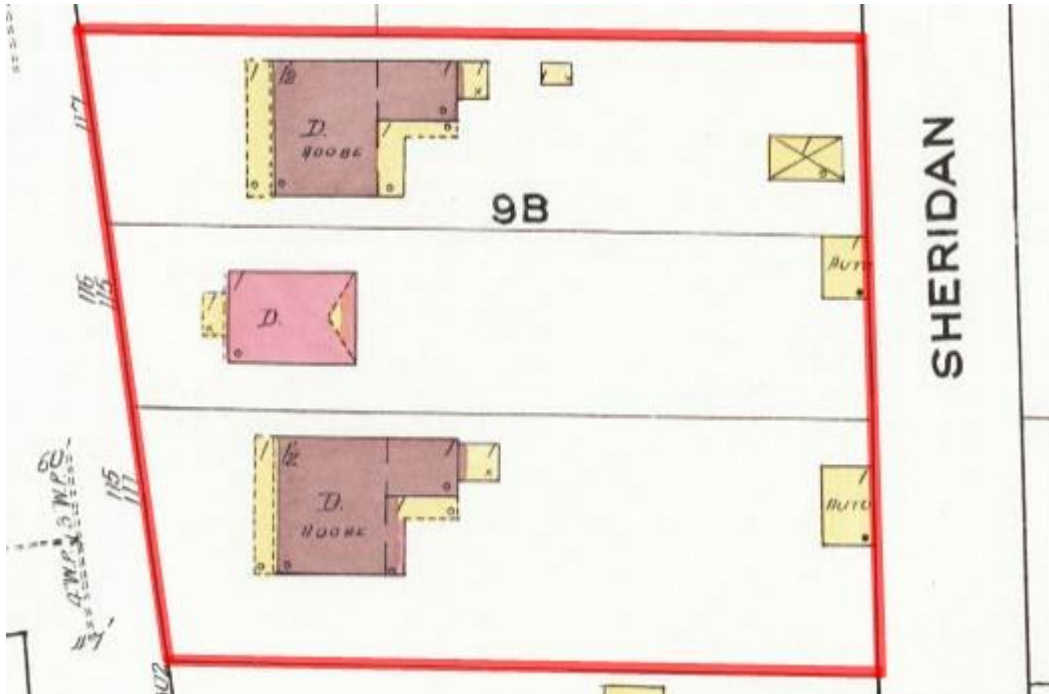


Figure 10: Portion of 1921 Sanborn Fire Insurance of Santa Fe.
 Creator: Sanborn Fire Insurance Company.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021

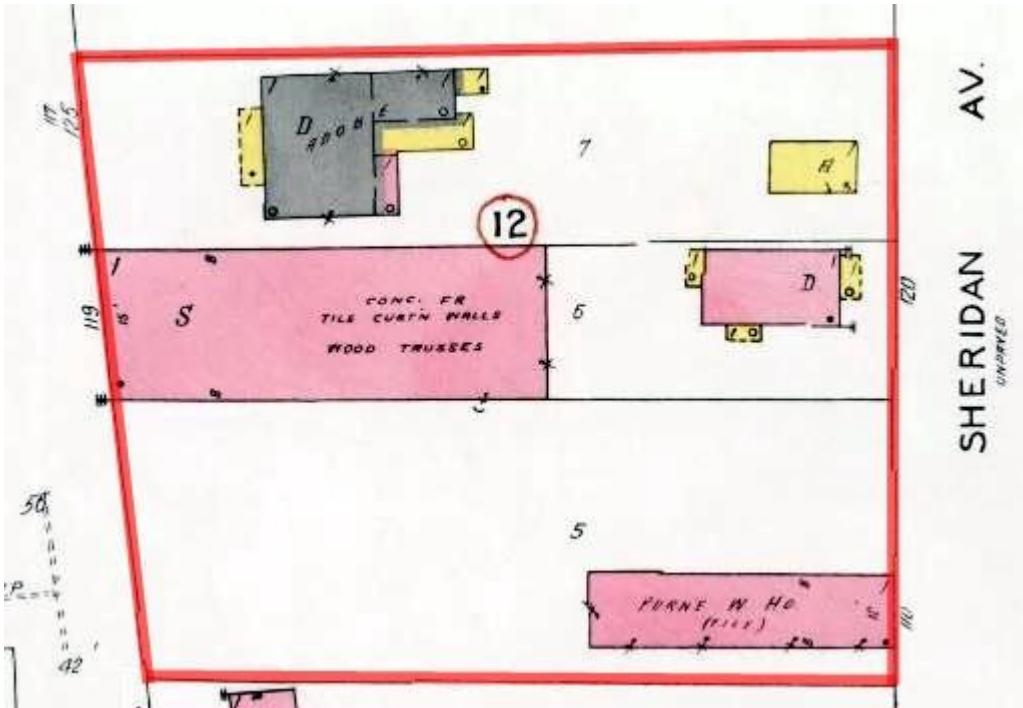


Figure 11: Portion of 1948 Sanborn Fire Insurance of Santa Fe.
 Creator: Sanborn Fire Insurance Company.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



**Figure 12: Santa Fe Safeway No. 1, 1941.
Demolished in 1966.
Courtesy Santa Fe New Mexican.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)
Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>	
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u>A</u> <u>B</u> <u>C</u> <u>D</u>
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>
	3. Local Reference Number: Santa Fe ID #: 051610070
	4. County: Santa Fe
	5. Date of Survey: September 3, 2020; June 13, 2021



Figure 13: June 1941 opening day advertisements for Santa Fe Safeway No. 1.
 Courtesy Santa Fe New Mexican.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			



Figure 14: Roster of Safeway No. 921 managers.
 Courtesy Santa Fe New Mexican.



Figure 15: c.1965 watercolor rendering of Safeway No. 921.
 Creator: Foster Hyatt.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021



Figure 16 c. 1977 photograph of Safeway No. 921.

Creator: Arthur Taylor.

Courtesy Palace of the Governors Photo Archives, New Mexico History Museum.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Figure 17: 1984 photograph of altered Safeway No. 921.
 Creator: Harry Weiss. Courtesy New Mexico Historic Preservation Division.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Figure 18: Portion of 1984 photograph of altered Safeway No. 921.
 Creator: Harry Weiss.
 Courtesy New Mexico Historic Preservation Division.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Safeway No. 921 Georgia O'Keeffe Museum Education Annex		2. Location: 123 Grant Avenue, Santa Fe Downtown and Eastside Historic District		3. Local Reference Number: Santa Fe ID #: 051610070	
				4. County: Santa Fe	
				5. Date of Survey: September 3, 2020; June 13, 2021	

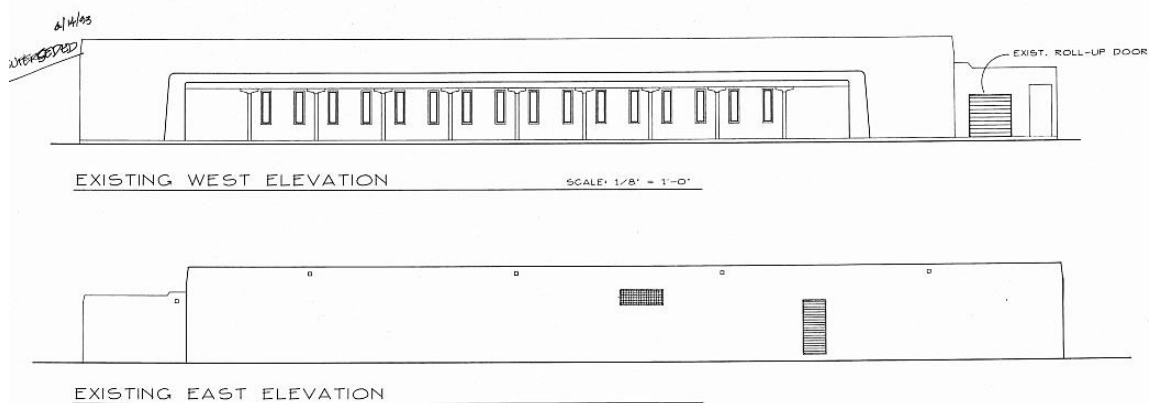


Figure 19: Existing elevation drawings of west and east elevations, c.1993. Case H-93-111. Creator: Terraplen Architects, Planners, Landscape Architects. Courtesy Terraplen and City of Santa Fe Historic Preservation Division

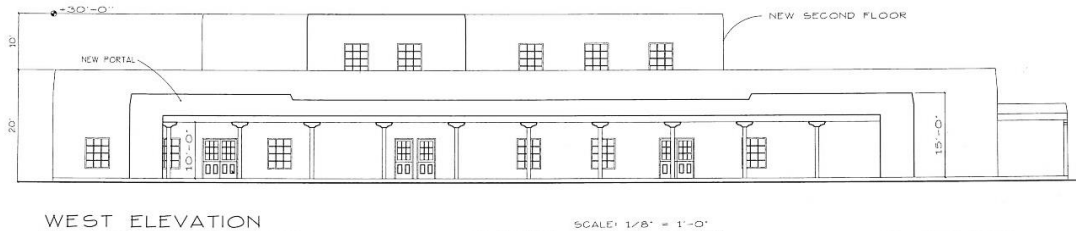


Figure 20: Proposed Pueblo Revival scheme, 1993. Case H-93-111. Creator: Terraplen Architects, Planners, Landscape Architects. Courtesy Terraplen and City of Santa Fe Historic Preservation Division.

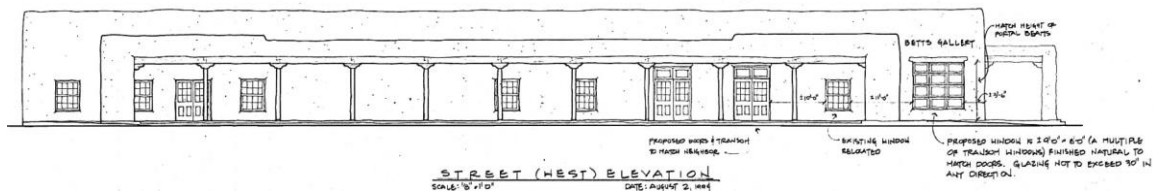


Figure 21: Final scheme of west elevation showing tenant improvements, 1994. H-94-143. Creator: Terraplen Architects, Planners, Landscape Architects. Courtesy Terraplen and City of Santa Fe Historic Preservation Division

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021



Figure 22: 1958 aerial photograph showing Santa Fe Safeway No. 1. Note demolition of middle Officers’ Quarters. Courtesy New Mexico Department of Transportation. Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			



Figure 23: 1978 aerial photograph showing Safeway No. 921
 Note existence of south elevation loading ramp.
 Courtesy New Mexico Department of Transportation.
 Red outline indicates approximate boundary of subject parcel.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070	4. County: Santa Fe		
		5. Date of Survey: September 3, 2020; June 13, 2021			



Figure 24: Composite image showing c.1977 and 2020 photographs of front (west) façade.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			

Survey Photographs



Photo 1: West (front) elevation composite shot.
 Camera facing east.
 Lorn Tryk: September 3, 2020.



Photo 2: West façade.
 Camera facing northeast.
 Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: Please complete HCPI FORM 1 before completing FORM 2		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070
		4. County: Santa Fe
		5. Date of Survey: September 3, 2020; June 13, 2021



Photo 3: West façade portal.
Camera facing south.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 4: West façade, south end.
Camera facing east.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 5: West façade.
 Typical clad window found throughout building.
 Camera facing east.
 Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



**Photo 6: West and south elevations, panoramic shot.
 Camera facing northeast.
 Lorn Tryk: September 3, 2020.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 7: South elevation *portal*.
Camera facing west.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 8: South and east elevations.
Camera facing northwest.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 9: East elevation, composite shot.
Camera facing northeast.
Lorn Tryk: September 3, 2020.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 10: East elevation, north end.
Red indicates opening modifications.
Camera facing west.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 11: North elevation.
Camera facing southwest.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>		
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O’Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070 4. County: Santa Fe 5. Date of Survey: September 3, 2020; June 13, 2021



Photo 12: Low walls along Washington Avenue.
Camera facing southeast.
Robyn Powell: June 13, 2021.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: <u>Safeway No. 921</u> <u>Georgia O'Keeffe Museum Education Annex</u>	2. Location: 123 Grant Avenue, Santa Fe <i>Downtown and Eastside Historic District</i>	3. Local Reference Number: Santa Fe ID #: 051610070			
		4. County: Santa Fe			
		5. Date of Survey: September 3, 2020; June 13, 2021			



Photo 13: Parking Attendant Booth at Washington Avenue.
Camera facing northeast.
Robyn Powell: June 13, 2021.