



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
OCTOBER 26, 2021
5:30 PM
Meeting Virtually

AMENDED AGENDA

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings in excess of those permitted in the current Public Health Order, and the need to incorporate technology and practices to re-institute in-person meetings consistent with the limitations established by the Order, the Historic Districts Review Board meeting will be conducted virtually.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link

is: [https://us02web.zoom.us/j/83191941803?](https://us02web.zoom.us/j/83191941803?pwd=NWpIL0Q1ai9sSjY1aFhFNWdHdXdLQT09)

[pwd=NWpIL0Q1ai9sSjY1aFhFNWdHdXdLQT09](https://us02web.zoom.us/j/83191941803?pwd=NWpIL0Q1ai9sSjY1aFhFNWdHdXdLQT09)

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Webinar ID: **831 9194 1803**.

Public Comment:



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- By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.
- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.
- In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at <https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. October 12, 2021.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2021-004121-HDRB. 1023 E. Alameda St.
2. 2021-04179-HDRB. 119 Kearny St.
3. 2021-004259-HDRB. 1299 Canyon Rd.
4. 2021-004256-HDRB. 809 Abeyta St.
5. 2021-004254-HDRB. 107 Victoria St. Status.
6. 2021-004254-HDRB. 107 Victoria St.
7. 2021-004119-HDRB. 638 East Palace Ave.

E. MATTERS FROM THE PUBLIC



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F. STAFF COMMUNICATIONS

1. 100 E. San Francisco St. Rik Blyth, agent for La Fonda on the Plaza, requests administrative approval for the recommendation of the design for banners commemorating the 100 year anniversary of La Fonda Hotel. (Carly Piccarello, cpiccarello@santafenm.gov)

G. OLD BUSINESS

1. 2021-004162-HDRB. 344 Camino Cerrito. Downtown and Eastside Historic District. Paul and Mariana Padilla, owners and agents, propose to construct a 2000 sq.ft. residence on a vacant lot and requests an exception to 14-5.2(D)(9) to build to a height of 18'-9" where the maximum allowable is 15'-3". (Daniel Schwab, dnschwab@santafenm.gov)

H. NEW BUSINESS

1. 2021-004296-HDRB. 638 Gomez Rd. Don Gaspar Area Historic District. Architectural Alliance, agent for Laura L. Hamilton Revocable Trust, owner, requests designation of primary facades to a contributing structure. (Daniel Schwab)
2. 2021-004294-HDRB. 1126 ½ Camino Delora. Downtown and Eastside Historic District. Marc Naktin, agent for James Ortega, owner, proposes to construct a yard wall to the maximum height of 5'-0" at a non-contributing structure. (Daniel Schwab)
3. 2021-004295-HDRB. 540 Garcia St. Downtown and Eastside Historic District. Jay Shapiro, applicant for Star Vista, LLC, owner, proposes to construct 700 sq. ft. of addition on a non-contributing structure. (Daniel Schwab)
4. 2021-004297-HDRB. 631 Camino De La Luz. Downtown and Eastside Historic District. Ju Tan, agent for Jean Hinlicky and Larry Raifman, owners, propose to construct 600 sq. ft. of additions and a portal, replace windows and doors, re-roof and re-stucco a non-contributing structure. (Daniel Schwab)



City of Santa Fe

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5. 2021-004292-HDRB. 620 Garcia St. Downtown and Eastside Historic District. Tamara Schiltz, owner, proposes window, door, and yard wall alterations on a non-contributing building. (Angela Schackel Bordegaray, asbordegaray@santafem.gov)

I. **DISCUSSION ITEMS**

J. **MATTERS FROM THE BOARD**

K. **NEXT MEETING: Tuesday, November 9, 2021**

L. **ADJOURN**

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

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HISTORIC DISTRICTS REVIEW BOARD
October 12, 2021

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Approval of Findings & Conclusions	Approved, as amended	4-5
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Old Business		
1. 2021-004119-HDRB. 638 East Palace Ave.	Approved	5-7
2. 2021-004121-HDRB. 1023 E. Alameda	Approved to rescind previous motion	7-9
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1. 2021-004254-HDRB. 107 Victoria St	Status approved	17-20
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3. 2021-004256-HDRB. 809 Abeyta St.	Approved	21-25

4. 2021-004259-HDRB. 1299 Canyon Rd.	Approved	25-26
5. 2021-004260-HDRB. 1224 ½ Cerro Gordo Road	Postponed	26
Discussion Items	None	26
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Adjournment	7:45 pm	26

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
October 12, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:30 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v=kvK4ajmVoQo>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Ms. Jennifer Biedscheid
Mr. John Bienvenu
Mr. Anthony Guida
Ms. Flynn G. Larson
Mr. Buddy Roybal

MEMBERS ABSENT:

OTHERS PRESENT:

Ms. Carly Piccarello, Historic Preservation Division Director
Ms. Frank Ruybalid, Assistant City Attorney
Mr. Daniel Schwab, Planner Senior
Mr. Carl Boaz for Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

Ms. Piccarello asked to strike lines 5 and 6 under Findings of Fact and Conclusions of Law. One is a duplicate and one is for next week; and to strike line number 5 under

New Business for Case #2021-004260-HDRB, 1224 ½ Cerro Gordo. The applicant asked to postpone for redesign.

MOTION: Vice Chair Katz moved, seconded by Member Guida to approve the agenda as amended.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. September 28, 2021

Member Bienvenu: On page 12, second line, after comma and home at 211, should have, “the entry will have battered parapets,”

Member Biedscheid: On page 23, 6th paragraph should read, “*Member Biedscheid asked if that is 10 feet and how the Board should consider the addition that connects to that in terms ‘of the impact on the primary west façade.’*” Also, on Page 25, second paragraph should read, “*Member Biedscheid said additional testimony is needed for the Board to evaluate ‘exception criteria #3 and the design options considered’ in the goal of the project.*”

Member Guida: On page 22, second paragraph, third sentence, “He thought it ~~conceivable~~ inconceivable a 400 square-foot addition would be adequate”.

MOTION: Member Biedscheid moved, seconded by Vice Chair Katz to approve the minutes of September 28, 2021 as amended.

VOTE: The motion passed by majority (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, and Larson voting in favor and none voting against. Member Roybal abstained.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. 2021-004181-HDRB. 118 & 120 W. Berger St.
2. 2021-004178-HDRB. 213 Delgado Street.
3. 2021-004175-HDRB. 641 #1 W San Francisco St.

4. 2021-004177-HDRB. 642 Camino de la Luz.

MOTION: Vice Chair Katz moved, seconded by Member Biedscheid to approve Findings of Fact and Conclusions of Law as submitted.

VOTE: The motion passed by majority (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, and Larson voting in favor and none voting against. Member Roybal abstained.

E. MATTERS FROM THE PUBLIC

None.

F. STAFF COMMUNICATIONS

Ms. Piccarello indicated code enforcement for signs in the historic district has been slow over the past year. She wanted to announce publicly that code enforcement will be increasing enforcement.

G. OLD BUSINESS

1. **2021-004119-HDRB. 638 East Palace Ave. Downtown and Eastside Historic District.** Scarlett Breeding, owner and agent, proposes to construct a portal and make other minor changes to a contributing structure. An exception to Section 14-5.2(D)(2)(d) is requested to construct within 10 feet of a primary facade (Daniel Schwab)

STAFF REPORT

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. In Case # 2020-004118-HDRB, heard on September 14, 2021, the east and north façades were designated as primary facades.

The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The west wall is attached to the neighboring unit.

On September 14, 2021, the HDRB was scheduled to hear this case, however it was postponed for the applicant to apply for an exception.

The applicant now requests the following items:

1. Construct a new 180 square foot patio and portal on the south side within the walled, rear courtyard. The patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. The portal shall be supported by four 8 by

8 inch wood columns and 3 by 10 inch wood beam, with exposed rafters and flat roof (sloped to drain). It will be set back from the east property line shall be 5 feet, one inch, and from the west property line shall be 1 foot 10 inches (to centerline of common yardwall). The portal depth shall be ten feet from the south face of building and shall be stained to match the exposed lintels of existing structure. The portal shall extend to within 2 feet of the east primary façade. An exception is requested to Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade.

2. As requested by the Fire Marshal, the existing east common yardwall shall be, for the depth of the portal, extended upward to the height of the portal roof, or 8 feet, which is the maximum allowable height. The extension of the common yardwall shall be finished with stucco colored El Rey "La Luz" to match the existing condition. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal.
3. Replace the existing windows and doors on the south elevation with two sets of 5 foot wide Anderson patio doors with simulated divided lights.
4. Install two, flat, curbed 3 by 5 foot skylights to the existing roof. These shall not be visible from E. Palace Ave.
5. Install a mini-split HVAC unit with condenser unit on the roof above the bathroom, surrounded by a 22 inch screen-curb painted to match grey color of the roof.
6. Replace the concrete walkway in the front courtyard with existing brick to match remainder of front courtyard.

STAFF RECOMMENDATION

Staff recommended that the criteria for an exception to Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade have been met and recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked Mr. Schwab if the porch would be publicly visible.

Mr. Schwab replied it cannot be seen.

APPLICANT'S PRESENTATION

Scarlett Breeding, 638 E. Palace Ave., was sworn in. She said Mr. Schwab did a good job, but she wanted to add some additional modifications. They reduced the size of the French doors proposed in the back south elevation to 4.6 instead of 5 feet. They feel the doors should remain within the existing opening of the windows themselves.

Second, they discovered the bedroom windows do not meet section R-310 for egress, and the laundry room section added in the 80s, is not historic.

QUESTIONS FOR APPLICANT

None.

BOARD DISCUSSION

MOTION: In Case #2021-004119-HDRB, 638 East Palace Ave., Member Bienvenu moved to approve as submitted, finding that all required exceptions have been met based on staff's report and pursuant to staff recommendations. Member Roybal seconded the motion.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

2. **2021-004121-HDRB. 1023 E. Alameda. Downtown and Eastside Historic District.** Praxis Architects, Inc, agent for Frank Schneider and Robin Oringer, proposes to construct a 4,050 sq. ft. new building, yard walls, and a vehicular gate. The proposed height is 16 ft. where the maximum allowable height is 15 ft. 1 in. The applicant requests approval of additional height per 14-5.2(D)(9)(c)(ii)(F). (Angela Schackel Bordegaray)

STAFF REPORT

1023 E. Alameda is a 21,118 sf vacant lot that fronts East Alameda across from Patrick Smith Park in the Downtown and Eastside Historic District. The applicant proposes to construct a new 2,971 sf residence that combines elements of Territorial and Spanish Pueblo Revival styles.

The applicant returns to the Historic Districts Review Board with revisions based on board input at its September 14, 2021 hearing.

The proposed residence's height ranges from 13'-5" to 16', where the maximum allowable height is 15'- 1". The site changes grade 4' along the proposed building's footprint, and the applicant requests an additional 11". The building's design is mix of Spanish-Pueblo Revival and Territorial Revival styles, as well as elements of "Recent Santa Fe Style" with respect to its simulation of traditional materials, color, and proportion. The Spanish-Pueblo Revival style elements include single-story wall-dominant stepped massing with gently rounded corners and deep-set bull-nosed punched openings, flat roof with parapets, and earth tone color. Its Territorial styling includes brick coping and a deep-set portal with columns; yet, the portal columns are steel rather than wood, the portal's large

“plate glass” window under the portal will be aluminum, and the brick coping will be dark grey versus dark red. The applicant believes that these details speak to the “Recent Santa Fe Style” design standards within the Downtown and Eastside Historic District ordinance (Chapter 14-5.2(E) Downtown and Eastside Design Standards, Section 2. The massing is stepped at various levels to accommodate the site’s slope, which descends north toward the arroyo or Acequia de la Muralla.

The board suggested the applicant change the garage door from glass and aluminum steel to one of a more traditional material and appearance. In response, the proposed garage door is steel painted in a dark brown to match the dark brown exterior color of windows throughout the house.

Other windows and doors will be aluminum with matching oil rubbed bronze matte paint finish. All publicly visible windows will be divided lite.

The board also had concerns about two thin steel columns at the entry portal that penetrated the roof, one of which was not plumb. The applicant has subsequently altered this configuration by substituting a pair of 8”X 8” columns paired as is typical in some territorial style portales.

Stucco will be Sto’s “Sahara”. Brick coping will be dark grey.

The applicant also proposes alterations to the non-contributing existing stone yard wall. The existing opening will shift west for the vehicular opening and new gate. The replacement segment will be the same style and height, using the existing stone material to the extent possible. The gates will look like a single gate. The gates and a short section of wall between the existing portion of the wall to remain and the newly built wall will be made of Ipe, a Brazilian hardwood, which greys over time. Additional yard walls will divide the driveway area from an interior courtyard. These additional yard walls will be a mix of stone, which will match the existing site walls, and stucco covered masonry walls with a stucco color to match the house. The existing brick sidewalk will be removed and reset to accommodate the new driveway alignment. All new concrete at the drive apron will be colored tan, Davis Color Sandstone.

Skylights, solar panels, and rooftop appurtenances will be screened by rooftop parapets.

STAFF RECOMMENDATION

Staff recommends approval of the proposed project and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards. Staff defers to the board whether to grant an additional 11” in height per Section 14-5.2(D)(9)(c)(ii)(F) regarding slope.

Ms. Piccarello read a recommendation from staff:

“Staff recommends a vote to rescind the vote taken on this case at the September 14, 2021, HDRB Hearing: ‘To approve the project as submitted, finding that the project complies with all district standards, and recommends the Applicant return to staff with a revised design for the garage doors with less glass, possibly solid, with an amendment to approve the additional 11 inches for height.’”

She explained the reason was to clean up the administrative record and follow standard procedures.

Chair Rios asked if the motion on September 14, would need to be rescinded now.

Ms. Piccarello said it should be done before proceeding.

MOTION: In Case #2021-004121-HDRB, 1023 E. Alameda, Vice Chair Katz moved to rescind action taken on the motion at the September 14, 2021 meeting. Member Bienvenu seconded the motion.

VOTE: The motion passed by majority (5-0) roll call vote with Members, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against. Member Biedscheid abstained.

QUESTIONS FOR STAFF

Member Bienvenu said a question in the last meeting was which façades with respect to windows, the 3-foot rule applies to; if only the external corners or including internal corners. His interpretation of the definition of façade is that it does include internal facades, including at least an 8 foot width offset from an adjacent plane by at least 4 feet. He said if correct, then it would seem to apply to the internal corners of the glass in the portal.

Ms. Bordegaray said the 3-foot rule is enforced when corners for interior window and door openings are publicly visible. That is not the case here.

Member Bienvenu confirmed that the west elevation is publicly visible. He asked if that didn't mean that the glass had to be set back 3 feet under the entryway inside the portal, instead of the glass extending to the wall on the north and south.

Ms. Bordegaray said that is where the application of glass under the portal can be larger than the 30" in any direction, and the windows under a portal can extend to the inside corners.

Chair Rios confirmed that Ms. Bordegaray had indicated that under a portal it does not need to be 3 feet from the inside corners.

Ms. Piccarello said she researched this and discussed with Ms. Ramirez Thomas. The rule has been interpreted historically to allow on interior corners. The windows can be within 3 feet on an interior corner, even under portals.

Attorney Ruybalid read Code, 14-5.2 E(2)(b), "*The combined door and window area in any publicly visible façade shall not exceed 40% of the total area of the façade, except doors or windows under a portal. No door or window under a publicly visible façade shall be located nearer than 3 feet from the corner of the façade.*" He said that leaves open whether the corner of the façade means the outside or the inside. He thought it up to the Board to determine what is publicly visible.

Member Bienvenu said he interprets that the 3-foot rule applies to the internal corners in this instance, because by definition these are façades. He thought the exception for larger glass under portals in Code was not referring to the 3-foot rule, but referred to the 30 inch rule, which is a separate subsection. That is more consistent with Ms. Piccarello's reference to what has been done in the past.

Vice Chair Katz agreed that the application may be to the 30-inch rule and not the 3-foot rule. He did not believe the south end of the portal is publicly visible. The north end façade is publicly visible and the reason it is set back, to comply with the rule.

Member Bienvenu asked if the window on the west elevation north of the entry, is 40% or less of that facade.

Ms. Bordegaray replied it is 40%, or less.

Member Bienvenu asked if the 40% rule applies to the three receding facades in the back or if they are façades.

Ms. Bordegaray suggested having the applicant clarify, but believed they meet the rule. The house can be seen from the south and from the west side and under the portal is not publicly visible.

Member Bienvenu clarified that none of the entryway under the portal is publicly visible.

Ms. Bordegaray pointed out areas from Alameda that are visible.

Member Bienvenu thought because the majority is visible it would still be defined as a publicly visible façade.

Chair Rios asked if any of the steel posts remain.

Ms. Bordegaray indicated on the revised drawing where there are two steel columns. She suggested asking the applicant for detail of the portal.

APPLICANT'S PRESENTATION

Gabriel Browne, 7604 Old Santa Fe Trail, was sworn in. He asked to present a presentation he prepared and then answer questions. He noted the project had been presented to the Board and the applicant has made changes. He introduced Dr. and Ms. Schneider, the owners, who were present.

He explained the site plan. He said they turned the garage door opening away from Alameda because it was appropriate. He described the locations of the Master Suite on the north and the guest suite behind the garage. He said it was important the Board understand that this part of Alameda is busy and has fast moving traffic. The speed limit is 25 and the street curves and you move past the house quickly. Alameda is the biggest street in the neighborhood. They plan to dismantle and reassemble a section of the existing stone wall. They changed the divided light glass door the Board did not like, to a simple dark brown garage door matching the window trim. A steel portal faces west and can only be seen in profile from the south side of the property. Coping is a Territorial style brick and has deep-set openings. They plan three-quarter inch bullnosed corners as well as around the windows and doors. The south elevation has the garage door and the guest suite door and the steel portal. The portal column detail is a simpler form in more traditional Territorial style. He displayed the view from the east noting they contacted Mr. Anaya, the neighbor at 117 E. Alameda. Mr. Anaya is a former planning commission member and has submitted a letter in favor. Mr. Anaya's grandparents and parents have lived there since the 1800's. He read the letter into record that said, "Please be informed we are very much in favor of the building of a residential house. We see nothing that would differ from the existing area and consider this an improvement to the neighborhood."

Mr. Browne asked to address a question on the 40% rule on what was called the "receding facades." He said he did not believe they meet the 40% rule, but they are not visible. All of the other façades do meet the rule except as Code permits on the portal.

Vice Chair Katz said many of us walk or drive by this house, frolic in the park, and look across at the property. He did not think it fair to dismiss because it is only seen momentarily when passing by. Secondly, he has an issue with the steel on the portal. Code states, "*Portals of publicly visible portions shall be one of the Old Santa Fe Styles.*" This portal does not look like that. He said he would appreciate Mr. Browne's comments.

Mr. Browne said in form it is respectful of the Territorial style. If painted white, the portal would look as good as any Territorial styles built of alternative materials, foam, plastic, including steel, which are often painted white. The applicant is asking consideration not to paint the steel because it becomes a maintenance issue. He thought the detailing and style were respectful.

Vice Chair Katz said he wasn't aware of other portals that have steel beams and columns in the Downtown District. He said that is a problem.

Mr. Browne said he could show them examples that have been painted making them look less like steel. There are some in the historic district.

Vice Chair Katz said because someone violates the rule did not mean that the rule changed. He said he is not convinced there are a number of steel columns. Without evidence he couldn't justify violation of a specific provision of Code.

Mr. Browne responded he did not prepare other examples. He noted there is foam plastic on the new County Courthouse building. The columns are not wood and are strangely proportioned. The new building on the corner of Paseo de Peralta and Canyon Road has very skinny steel columns. He said there are multiple examples. He wasn't suggesting because someone did that, it established precedent or changes the style.

Member Guida said didn't know of anything in Code prohibiting the use of steel in the district in Recent Santa Fe style. He said to apply the Old Santa Fe Style rules as articulated to anything not built of adobe is ridiculous. He understands what the applicant is saying, they see new buildings using materials that are not authentic to Old Santa Fe Style. And those projects were approved.

He said Recent Santa Fe Style acknowledges and creates room for building homes that don't fit Old Santa Fe Style. There are no two-car garages in Old Santa Fe style, or 2x4s and 2x6s, or fiberglass insulation, or a whole manner of materials that are not true to that style. That is why Recent Santa Fe Style acknowledges ongoing evolution of those elements when respectful, but of a different material.

Member Biedscheid asked staff or Vice Chair Katz to clarify whether there is a requirement the Board should follow that new construction be Old Santa Fe style, specifically regarding portals.

Vice Chair Katz indicated it is found in the definition of Recent Santa Fe Style, subsection E, which says, "*Portals shall be of one of the Old Santa Fe styles.*"

Ms. Bordegaray asked to review the Code that was pulled from. She read Downtown and Eastside District Standards opening paragraph, "*The Governing Body recognizes the style of architecture has evolved in the city from the year 1600 to the present, characterized by construction with adobe, hereafter called Old Santa Fe style and that another style has evolved. Hereafter called Recent Santa Fe style, which is a development from, and an elaboration of Old Santa Fe style, with different materials and frequently with added decorations.*"

She continued that Old Santa Fe style is characterized by construction with adobe as defined as the Pueblos, Pueblo Spanish, or Spanish Indian Territorial styles, and it describes those styles. It then goes on to Recent Santa Fe style within District standards and says, *“Intends to achieve harmony with historic buildings by retention of a similarity of materials, color, proportion, and general detail. The dominating effect is to be that of adobe construction.”* Then descriptions are listed for openings, massing, public visibility, etc.

Ms. Bordegaray said therein lies the work of staff and the Board of how to interpret all of this for new proposals. She said staff interprets the portal as Old Santa Fe Style using different materials provided for in Recent Santa Fe Style.

Member Biedscheid said she could see the logic, but has trouble defining style in terms of design materials, color, and placement. She sees under Old Santa Fe Style the presence of inset portals or exterior portals. There is no specific direction on material or other elements. She thought critiquing the project problematic, based on its use of steel because they do see a lot of steel in this district. Steel is in vehicle gates and even the metal coping over the brick coping at the nearby school.

She said it is nice that the design reflects the design style of the brick coping being mimicked by the form of the steel on the portal and post and matches Territorial style. She is less concerned about the use of steel over the portal. The garage is another area of discussion and as mentioned, there is no precedent in this district. It is difficult to determine the appropriate placement and materials for use in a garage. She agreed turning the garage sideways was a step in the right direction. She said all of this says that Code is very descriptive in some areas, and this seems to meet those terms.

Member Biedscheid said Code is super subjective in other areas and that is where the Board has to make hard decisions. In that case she turns to the streetscape. She indicated the stretch along Alameda is largely landscaped on the west side of the project. The Anaya's live in a modern building in the back and there are houses on the curve of Alameda she thought more contemporary. Both have steel vehicular gates. She said in terms of harmonizing with the streetscape, this project does that. She would suggest, however, that the garage door would be improved with a nod to the wood in the vehicle and pedestrian gates. A wood element is more appealing, and the aluminum doors seem out of character even though that can be seen going east on Alameda. She asked that the applicant consider a material for the garage door more related to the vehicle and pedestrian gate.

Member Bienvenu said regarding the steel columns, there is a provision addressing material for portals. He thought the Board should apply Code as written but may be ambiguous. He pointed out under Recent Santa Fe Style, subsection E(2), states that *“windows, doors and portals shall be one of Old Santa Fe Style.”* In turn, under Old

Santa Fe style, E(1), subsection A says, “*roofs are never carried out beyond the line of walls, except to enclose a portal and then the outer edge of the roof is supported by wooden columns.*” He said that clearly states portals are supported by wood columns and one of the few times material is called out. That may not apply here because it is not an extension of the roof, but he thought that implied that those drafting the Ordinance intended for portals to be supported by wooden columns.

Member Guida said their job is not to narrowly interpret Code. Staff can interpret and apply Code as written. He was concerned about the absurdly narrow, legalistic interpretation of Code. It doesn't promote diversity in the district or protect homeowners and tourists and property values; doesn't promote economic cultural or general welfare of the people. He said he would include design culture in that. Discussions of what a façade is and where the 3-foot rule applies seemed to be aimed at sinking a particular project, not at assessing the project overall, and its placement within the historic district. He added that the Downtown and Eastside Historic District is the only district that specifies specific styles. They are primarily differentiated by materials and means of construction.

He said to go back to the argument of the columns being of steel or wood, he agreed with Ms. Bordegaray's interpretation. And, Member Biedscheid's interpretation is following the silhouette, proportions and aspects but evolving and moving them forward. He said it would be as ridiculous to require a project in Recent Santa Fe Style to make these things out of wood, as it would be to require the windows that are visible to the public be of materials and glazing of a time 200 years ago.

Vice Chair Katz said the Code expresses the will of the City to retain the historic districts to maintain a certain style, particularly the Eastside District. That style is specific, and their job is to approve projects conforming to that and deny those that do not. He said several times it was mentioned that Recent Santa Fe style allows materials other than wood, glass, adobe, and mud. There is nothing wrong with the use of steel in a Recent Santa Fe Style building, but not where it is publicly visible. He said steel is hardly harmonious with the style of buildings when thinking of Santa Fe Style. He said it is particularly significant that this portal needs to be the Old Santa Fe Style, because that is what New Santa Fe Style expressly says. Vice Chair Katz said he could not agree they can or should, just ignore that.

Member Bienvenu said he respects all of the Board members' comments and that the intent is what is best for the city. He thought the Board shares much of the same values and desires to see the ordinances and City address change, and yet preserve the past. That is not the question, it is how we interpret the ordinance. It is legalistic and may seem that way because of the limited power delegated to the Board. He said, “We are not policymakers. We all have ideas about how the ordinance could better be written and changed, and how it hinders rather than advances things.” But we are not policymakers

and were not elected or asked to make decisions other than quasi-judicial interpretation of the ordinance as written by the Governing Body.

He noted the Ordinance was written in the 50s and it has been amended a number of times since. The Governing Body could amend the ordinance at any time. He said when the text is unambiguous and specific, such as being adobe or harmonious materials like the wooden columns, it is the Board's duty to apply as written, not as they prefer it written. He said he returns to the text over and over because that is the only fair and legitimate and lawful way to proceed. Exercising greater expression could result in a court striking that down.

Member Larson said she appreciates the thoughtfulness and perspective of the Board. She liked Member Biedscheid's point about the surrounding neighborhood and that several of the buildings moved forward with Recent Santa Fe Style, in the way this does. She said it is unfortunate that the Board changed the design. The previous design was more personal and in keeping with elements historically seen architecturally. She thought this a symptom of having the Old Santa Fe Style in place. She said that is for a good reason, but we cannot ignore that there are other ways to interpret this style more personally.

Member Roybal said the Board has its own legal opinions as well as individual opinions of how to interpret Code, but they shouldn't get stuck. They should move forward with a vote instead of discussing how they interpret Code. The Code needs to be revised. He said there should be a time limit with respect to an opinion on interpreting Code, then they should move forward with a vote.

Chair Rios said many members feel it important to move quickly on applications and that is also important to her. But more important is for them to be thorough on every application. She thanked the members for their individual interpretations and their interpretation of the ordinance that substantiates their interpretations. She said they are not present to make policy, but they do have guidance in the Ordinance and should rely on that in making their decisions.

QUESTIONS FOR APPLICANT

Chair Rios asked if the applicant wanted to respond to Member Biedscheid's comment with regard to using wood instead of steel for the garage.

Mr. Browne said he discussed using wood with his client to cover the garage door. The garage door faces west, and wood presents a significant maintenance issue. If a condition of approval, they would accept that, but prefer to avoid it.

PUBLIC COMMENT

Suby Bowden, officed on Guadalupe and residing at the Anaya's lot, was sworn. She thanked the Board for their thorough analysis of Code. She said she lives nearby and has walked and driven by daily the last three years. She has seen the property from all directions. She appreciated the significant and worthwhile change to turn the garage door away from the building. She is aware of the brief glimpse when walking or driving and that the glass under the portal is not publicly visible. She said the Board should address when there is specificity in Code, but should not overly address when there is none. She noted almost all of the new windows in the district are now clad with steel, and the same is true of garage doors and often true of portals. She said maintenance in New Mexico is high and the Anaya's spend a great deal of time painting their windows, portals etc. She therefore encourages in subsection E(2) of Recent Santa Fe style, "similarity of old Santa Fe style" and doesn't believe that defines the material of the portal roof. She advised that portals be allowed to be made of steel stylistically as well as for maintenance, as long as they look like an older portal.

John Eddy, 227 E Palace Ave., Suite D., was sworn in. He said these issues are important to address. At the last meeting he made the point that steel can be incorporated into buildings as they age, and in new buildings, but the material should not call attention to itself. He thought the scale of the portal may have been overlooked because it overwhelms the garage. He wondered if the architect would consider decreasing the height of the portal, to make it less dominant.

Mr. Browne responded to the questions on the garage door. He said a lot of the property fronts a busy street and is the reason there is one façade where the house opens to the exterior. They have a close neighbor to the east and a two-story neighbor to the north. The property has one aspect of privacy which is to the east. The applicant feels it necessary to have high ceilings in the Great Room and have the portals match that. They designed a tall stone base on the portal to make the columns appear less tall but prefer leaving the overall height. He and the applicant had discussed design alternatives, and this was chosen.

Chair Rios asked the height to the top of the portal.

Mr. Browne responded the top is 13 feet, 10 inches and the bottom is 11 feet. He explained the overall height of the house and the Great Room is at 16 feet. They are allowed 15 feet 1inch and asked for a foot of additional height. He explained the design height was 15 feet and their civil engineer recommended raising that a by a foot to be above the flood zone, instead of digging down.

BOARD DISCUSSION

MOTION: In Case 2021-004121-HDRB, 1023 E. Alameda, Member Guida moved to approve the project as submitted per staff's recommendations and finds that the 11 inches of additional height should be approved. Member Roybal seconded the motion.

VOTE: The motion passed by majority (4-2) roll call vote with Members Larson, Roybal, Guida and Biedscheid voting in favor and Members Katz and Bienvenu voting against.

H. NEW BUSINESS

Chair Rios explained the appeal process for those who do not agree with the Board's decision.

1. **2021-004254-HDRB. 107 Victoria St. Downtown and Eastside Historic District.** Will McDonald, agent for Tamar Hurwitz, owner, requests a status review and designation of primary facades, if applicable on two non-contributing structures. (Daniel Schwab)

STAFF REPORT

107 Victoria Street is a non-contributing property consisting of two structures: a main house and an accessory structure (garage). The original house was constructed in around 1953 and was added onto in the early 1960s. The garage was constructed also around this time.

The main house is constructed in a simplified Spanish Pueblo Revival style. It originally had a patio on the southwest corner that was enclosed in the mid-1980s. The evolution of the structure can be clearly read on the west façade. The windows on the west, east, and north facades are historic.

The garage, possibly originally a horse stable, is constructed in a similar style. In the mid-2000s, remodeling began: the garage door was changed to a pedestrian door, the ceiling was raised, and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

STAFF RECOMMENDATION

Staff recommended the historic status of the main structure be designated contributing, per 14-5.2(C) Designation of Significant and Contributing Structures, with the west façade as primary. Staff recommended the historic status of the accessory structure (garage) be maintained as non-contributing.

Mr. Schwab said there is an accessory structure built in early sixties, probably as a garage, which was changed in the 2000's with nonhistoric openings. A red-tag was issued for the change made in the opening. Both are historic structures with the main house having more general integrity. Staff feels that the west facing façade has the character defining features. Staff recommends that the main house be designated contributing and the other as noncontributing.

QUESTIONS FOR STAFF

None.

APPLICANT'S PRESENTATION

Will McDonald, 488 Arroyo Tenorio, was sworn. He said he did not agree with staff's recommendation even though parts of the building are more than 50 years old. The corner was filled in, in the 80's. The building was described as a simplified Spanish Pueblo Revival but was built by hand in a traditional Santa Fe Style of adobe by the people who lived there. The building met the needs of a large family and has non-historic windows. At that time, people built homes with the materials available, but this is not a particular style. There is hardly any form and has no portals or indentions, or corbels. It is an expression of that time. But to preserve it does not fit the goal of Code that is primarily to promote harmonious, orderly growth and development while preserving qualities that attract tourists and residents.

He said he hoped the Board could see that the building would be best served if noncontributing. Any changes will come to the Board in the future for review. He said he talked with the Rodriguez brothers, Pat and Johnny, who lived in the house. The older brother was born in 1954 and helped construct parts of the building. He pointed out a drawing with the dates of construction. The north part and garage were built in 1962. The Rodriguez brothers told him about participating in building the house and filling in the southwest corner.

Chair Rios asked if the west façade openings had changed.

Mr. McDonald did not know, but didn't think they had.

Chair Rios asked if he agreed the garage should be noncontributing.

Mr. McDonald agreed. He said when the garage door was removed, the height was also increased an additional two to three feet.

He noted the letters written by several neighbors to staff and the online comments. The neighbor to the north, and neighbors at 105 and 111 Victoria Street all requested the Board keep the building noncontributing. They thought any changes would benefit the neighborhood.

The comments are included as part of the on-line record.

QUESTIONS FOR APPLICANT

None.

PUBLIC HEARING

There were no comments.

BOARD DISCUSSION

MOTION: In Case 2021-004254-HDRB, 107 Victoria St., Member Guida moved to maintain the main house and accessory unit status as noncontributing. Member Bienvenu seconded the motion.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

2. **2021-004255-HDRB. 107 Victoria St. Downtown and Eastside Historic District.** Will McDonald, agent for Tamar Hurwitz, owner, proposes to replace windows and doors and change openings on a historic structure. (Daniel Schwab)

STAFF REPORT

107 Victoria Street is a property consisting of two structures: a main house and an accessory structure (garage) to the north.

The garage was constructed in approximately 1962. It was potentially originally a horse stable, is constructed in a similar style to the main house. In the mid-2000s, a remodel was permitted: the garage door was changed to a pedestrian door, the ceiling was raised, and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

The applicant now proposes the following:

1. Replace existing door on west (street facing) elevation;
2. Install new aluminum clad windows with simulated divided lights on west elevation;
3. Replace the window with a on south elevation;
4. Install new aluminum clad window with simulated divided lights in the door opening on east elevation;
5. Re-stucco.

The windows will be aluminum clad colored “Caribbean Blue.” The existing stucco is elastomeric and consequently the applicant proposes to use elastomeric stucco. The color will be Sto “Mocha Cream” (comparable to El Rey Buckskin) which is part of the Sto Classic Color Collection.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Chair Rios asked about a color that appeared grayish.

Mr. Schwab explained it had some brown in it.

APPLICANT’S PRESENTATION

Mr. McDonald, previously sworn, pointed out that Mr. Schwab made a mistake and there are two south elevations; one is actually north and there was no change. He said the west elevation is more symmetrical than he prefers but is a result of working within the 3-foot rule. He noted the window on the south is the same size and opening, and the east window and door opening are not publicly visible.

QUESTIONS FOR APPLICANT

None.

PUBLIC HEARING

There were no comments.

BOARD DISCUSSION

MOTION: In Case 2021-004255-HDRB, 107 Victoria St., Member Guida moved to approve the project as submitted. Member Roybal seconded the motion.

VOTE: The motion passed by unanimous (6-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

3. **2021-004256-HDRB. 809 Abeyta St. Downtown and Eastside Historic District.** Jay Shapiro, owner and agent, proposes to raise a roof and construct additions on a non-contributing structure. An exception is requested to change the roof style per 14-5.2(D)(6). (Daniel Schwab)

STAFF REPORT

809 Abeyta is a single-family residential structure constructed in the 1970s. It is located at 90-degree curve on Abeyta Street in the Downtown and Eastside Historic District. It is a rectangular form measuring 20 x 40 feet with a pitched roof with pre-fab trusses. The walls are constructed of wood frame and stuccoed on the exterior with single-pane aluminum slider windows. It has a height of 15 feet.

The maximum allowable height is 15 feet 5 inches, and the maximum wall height is 5 feet 6 inches.

The applicant proposes the following remodel and addition:

1. The current pitched roof will be converted to a flat torch-down roof with raised parapets. The roof will be raised to a height of 14 feet at the center of the street-facing elevation (south). An exception is requested to change the roof style from pitched to flat per 14-5.2(D)(6).
2. The street-facing façade (east) has a small concrete deck and pergola with wood posts and shed roof with asphalt shingle and 9-inch round wood posts with a “mission” stain. This would be replaced with a wood deck flat-roofed portal with a latilla ceiling. The height will be 13 feet from the natural grade.
3. The front door will remain in the same location. A transom will be added above. The new door will be wood.
4. The center bedroom window will be replaced with sliding French doors with a “mission” reddish brown wood stain. The doors will be wood, the windows will be aluminum clad with simulated divided lights with white trim. The western-most window will have changed dimensions to fit a vertical orientation.
5. Construct a pergola on the west elevation, attached to the house with 9 inch round posts and 6 by 6 inch horizontal beams.
6. Construct a circa 200 square foot addition on the west side of the structure.
7. Construct a freestanding fireplace on the north elevation, stuccoed.
8. Re-stucco the house. The stucco color will be “buckskin”.
9. The south façade currently has no openings. Insert new window openings.
10. Construct a 6 x 14 foot brick patio of red-brown bricks.
11. Raise existing perimeter wall running along the southern and eastern street frontage to 5 feet 6 inches, which is the maximum allowable height.
12. Exterior lights will be hammered copper downlights.

STAFF RECOMMENDATION

Staff recommended that the exception criteria to Section 14-5.2(D)(6) have been met and that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

Member Larson asked if Mr. Schwab knew where the date circa 1970's came from since the HCPI date is circa 1954.

Mr. Schwab said he also noticed that and on the form, it says the original structure was 1954 and was reduced to low walls, and the building was constructed after that. He said his interpretation was the 1954 date references the original structure, and only the yard walls remain.

Chair Rios said she can remember seeing the house for many years that seems like it was back to the 50s, but she wasn't positive. She asked what evidence shows it was a prefabricated home.

Mr. Schwab said the applicant could address that better but has to do with the material of the structure and what he thought were prefabricated roof trusses.

APPLICANT'S PRESENTATION

Jay Shapiro, 90 Leaping Powder Road, was sworn in. He said he has been before the Board many times and is trying to enhance the neighborhood. He wanted to remain copacetic with the historic criteria and improve the look of the house. The house has deteriorated. It has aluminum windows, 2x4's and roof trusses and couldn't have been more economically built if it were a prefab. He said he hopes the Board considers that he is doing his best to improve the neighborhood. That is evidenced by the house he did two doors down, that was in worse condition.

QUESTIONS FOR APPLICANT

Member Biedscheid said the project is great and the house needs the attention. She noticed that the stucco is a brocade pattern, which is not usually seen. She asked if he intended to keep that pattern when he restuccos.

Mr. Shapiro said he didn't feel the brocade significant and would prefer the traditional smooth stucco and rounded corners in the same color. He did not know whether the brocade pattern was original.

PUBLIC HEARING

There were no comments.

BOARD DISCUSSION

Member Larson said she was sympathetic to the project, but her concern was to be thorough. She asked if the house was older than what was presented, if that will affect

the Board making a decision. She said she was not clear whether the home is fully prefabricated, or only has elements of that. She felt they lacked information.

Mr. Schwab explained he had only the information that was made available to the Board. The HCPI is ambiguous and states the building is from the 1950's and was torn down to the walls. He thought a 1970's date was probable. The Board could make an educated guess based on the materials. He asked if Mr. Shapiro or Member Guida could comment based on the materials. He said the building is not prefabricated in that it was not assembled on site, according to the applicant, but it does include prefabricated elements such as the roof trusses.

Member Larson said she was asking if this is over 50 years old, if that would affect the Board's ability to make a decision tonight. Based on her knowledge of material evidence, this could be post World War II up to the 1970s. She said she is trying to be thoughtful.

Mr. Schwab said he tried to answer her question. The current status of the building is noncontributing. The Board has the authority to postpone for a status review and research for more evidence. Otherwise, the Board could accept the current noncontributing status and approve, or deny, the application.

Member Guida said he appreciated Member Larson's comments. He thought apart from the prefabricated elements of factory made windows and roof trusses, which are in many buildings in Santa Fe, he would not characterize this as a prefabricated building. Member Guida said it may look like a double wide trailer but doesn't have the proportions of manufactured housing. He thought it most likely a site built, midcentury ranch-type. He said it may be important to discuss the date of origin, but he was interested in that more philosophically.

Member Guida said if looking strictly at code, they could approve the project and make it look like everything else in the district. The form of the building in its current status with condition issues aside, contributes to the heterogeneous qualities of the district. The building is unique, and he likes a mix of building styles. He said he isn't sure he feels that strongly in this particular house. He said this comes up if the Board only follows the rules, but we may lose qualities of our heritage and diversity in the district. He would hold that up as an example. He supports Member Larson flagging this and her concerns about the date.

Chair Rios said it wouldn't be difficult to find out how long the house has existed in the neighborhood. A few of the neighbors are familiar with the house and could say if it is prefabricated and how long it has been there.

Member Larson said the Board would be considering changing the roof pitch on the house, among other significant criteria. She thought, as Member Guida said, this style warrants consideration because the vernacular history of Santa Fe is often discussed in many of their cases in buildings with even less elements than this. She encouraged postponing the case for a status review to give full consideration to the different periods and style elements of that time.

MOTION: In Case 2021-004256-HDRB, 809 Abeyta St., Member Roybal moved to approve per staff recommendations and finds that all criteria for exceptions have been met. Member Katz seconded the motion.

VOTE: The motion passed by majority (4-2) roll call vote with Members Biedscheid, Bienvenu, Katz and Roybal voting in favor and Members Guida and Larson voting against.

Attorney Ruybalid confirmed that the motion was approved by the board and that all exception criteria have been met.

4. **2021-004259-HDRB. 1299 Canyon Rd. Downtown and Eastside Historic District.** Sandra Donner, Agent for Julia and Randall Burt, owners, proposes to install a wooden vehicular gate at a non-contributing property. (Daniel Schwab)

Vice Chair Katz recused himself from this case and left the meeting.

STAFF REPORT

1299 Canyon Road is a single-family residential structure with non-contributing historic status to the Downtown and Eastside Historic District. The property currently has a coyote fence directly along the street.

On March 9th, 2021, the applicant brought an application to the HDRB proposing to construct a garage and a wall in place of the coyote fence, to install a new vehicular gate along eastern shared driveway, of oxidized steel as well as a garage and wall.

The decision of the Board was to approve the proposal with the condition that the west (pedestrian) gate be constructed of wood and the eastern (vehicular) gate be not steel, but of coyote fence construction.

The applicant now returns to the Board with a revised proposal to construct new vehicular and pedestrian gates, to be oxidized steel frame with wood inserts with a natural wood color stain.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

QUESTIONS FOR STAFF

None.

APPLICANT'S PRESENTATION

Sandra Donner, 1611 Paseo de Peralta, was sworn in. She said Mr. Schwab summed it up well. She was before the Board a few months ago and wanted to present her proposal for a steel frame gate for both gates. The steel frame allows a more sustainable gate with more stability but still has a wooden look.

PUBLIC HEARING

There were no comments.

QUESTIONS FOR APPLICANT

None.

BOARD DISCUSSION

MOTION: In 2021-004259-HDRB, 1299 Canyon Rd., Member Guida moved to approve the project as submitted, per staff recommendations. Member Roybal seconded the motion .

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Biedscheid, Bienvenu, Guida, Larson and Roybal voting in favor and none voting against.

5. **2021-004260-HDRB. 1224 ½ Cerro Gordo Rd. Downtown and Eastside Historic District.** Jesse Roach, owner and agent, proposes to construct a freestanding garage on a contributing property. (Daniel Schwab)

Postponed at the request of the applicant.

I. DISCUSSION ITEMS

None.

J. MATTERS FROM THE BOARD

None.

K. NEXT MEETING: Tuesday, October 26, 2021

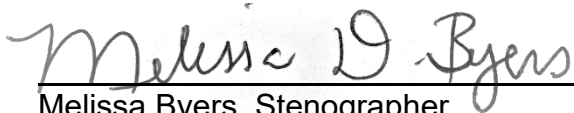
L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 7:45 pm,

Approved by:

Cecilia Rios, Chair

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-004121-HDRB

Address – 1023 E. Alameda

Agent's Name – Gabriel Browne

Owner/Applicant's Name – Frank Schneider and Robin Oringer

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021.

BACKGROUND

1023 E. Alameda is a 21,118 sf vacant lot that fronts East Alameda across from Patrick Smith Park in the Downtown and Eastside Historic District. The applicant proposed to construct a new 4,050 sf residence that combines elements of Territorial and Spanish Pueblo Revival styles.

The applicant returned to the Historic Districts Review Board with revisions based on board input at its September 14, 2021, meeting.

The proposed residence’s height ranges from 13’-5” to 16’, where the maximum allowable height is 15’-1”. The site changes grade 4’ along the proposed building’s footprint, and the applicant requests an exception for an additional 11”. The building’s design is a mix of Spanish-Pueblo Revival and Territorial Revival styles, as well as elements of “Recent Santa Fe Style” with respect to its simulation of traditional materials, color, and proportion. The Spanish-Pueblo Revival style elements include single-story wall-dominant stepped massing with gently rounded corners and deep-set bull-nosed punched openings, a flat roof with parapets, and earth-tone color. Its Territorial styling includes brick coping and a deep-set portal with columns; the portal columns and supporting beam are steel rather than wood, the portal’s large plate-glass window under the portal will be aluminum, and the brick coping will be dark grey instead of dark red. The massing is stepped at various levels to accommodate the site’s slope, which descends north toward the Acequia de Muralla.

On Sept. 14, 2021, the board suggested the applicant change the garage door from glass and aluminum to one of more traditional materials and appearance. In response, the proposed garage door is steel painted in a dark brown to match the dark brown exterior color of windows throughout the house. The board also had concerns about two thin steel columns at the entry portal that penetrated the roof, one of which was not plumb. The applicant has subsequently altered this configuration by substituting a pair of 8” by 8” steel columns, paired as is typical in some territorial-style portals.

Other windows and doors will be aluminum with matching oil-rubbed bronze matte paint finish. All publicly visible windows will be divided light. Stucco will be Sto’s “Sahara.” Brick

copied will be dark grey. Skylights, solar panels, and rooftop appurtenances will be screened by rooftop parapets.

The applicant also proposed alterations to the non-contributing existing stone yard wall. The existing opening will shift west for the vehicular opening and new gate. The replacement segment will be the same style and height, using the existing stone material to the extent possible. The gates will look like a single gate. The gates and a short section of wall between the existing portion of the wall will remain, and the newly built wall will be made of ipe, a Brazilian hardwood, which greys over time. Additional yard walls will divide the driveway area from an interior courtyard. These additional yard walls will be a mix of stone, which will match the existing site walls, and stucco-covered masonry walls with a stucco color to match the house. The existing brick sidewalk will be removed and reset to accommodate the new driveway alignment. All new concrete at the drive apron will be colored tan, Davis Color Sandstone.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the project and found that the application complies with SFCC Sections 14-5.2(D), General Design Standards for all Historic Districts; and 14-5.2(E), Downtown and Eastside Historic District standards. Staff deferred to the board to determine whether to grant an additional 11” for site slope per Section 14-5.2(D)(9)(c)(ii)(F).
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the Downtown and Eastside Historic District design standards set forth in SFCC Section 14-5.2(E).
6. The Applicant proposed to construct a 4,050 square feet single-story Spanish-Pueblo and Territorial Revival Style single-family residence with “Recent Santa Fe Style” elements.
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(C)(5), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.

9. The Board finds the proposal to comply with all applicable general design standards set forth in SFCC Section 14-5.2(D), as well as the specific design standards set forth in SFCC Section 14-5.2(E), Downtown and Eastside Design Standards.
10. The Board finds the proposed building in harmony with the character of the Downtown and Eastside Historic district and compatible with the streetscape.
11. The Board finds the lot at 1023 E. Alameda St. to be a sloping site where the difference in the natural grade along the structure’s foundation exceeds two feet, and the height of the façade for which an exception is sought does not exceed four feet above the allowable height of the applicable streetscape, as permitted in SFCC Section 14-5.2(D)(9)(c)(ii)(F).
12. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The board approved the project as proposed and recommended by staff.
3. The board approved the 11-inch additional height allowance sought by the applicant.

IT IS SO ORDERED ON THIS 26th DAY OF OCTOBER, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004179-HDRB

Address – 119 Kearny Road

Agent's Name – Craig Hoopes

Owner/Applicant's Name – William Snead and Charles P. Butler

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 28, 2021.

BACKGROUND

119 Kearny Road is a 1,297 sf building contributing to the Downtown and Eastside Historic District. The house is Spanish-Pueblo Revival style, built in the 1950s, and added onto sometime in the 1970s-1980s. The board reviewed its historic status earlier this year and found it contributing, designating the east, south and west façades to be primary (see Case # 2020-002852-HDRB). It is two stories with a historic footprint of 879 sf. An enclosed 146 sf porch and a 272 sf deck were added in the 1980s, bringing the house’s existing total square footage to 1,297. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The board included the yard wall in its designation of contributing. The applicant proposed the following:

1. To add 1,296 sf onto the north façade. This will increase the footprint from 1,297 sf (which includes both historic footprint and 1980s addition) to a total of 2,593 sf. Its height will not exceed the original house. The upper floor addition includes a deck and coyote fence guardrail. The two additions are offset from each other to break up the massing of the house. The addition is set back from the original home and the new entry via a “plaza” between the original house and the addition. The addition is 6” shorter than the existing structure’s height. The style is Spanish-Pueblo Revival. The windows will be metal clad wood simulated divided lite, trim color “Blue Danube.” The roof will be blue corrugated metal. Entire structure will be re-stuccoed in cementitious El Rey “Sahara.” The applicant requests an exception to add more than 50% of the house’s historic footprint.
2. Add new masonry stucco-faced wall 4’-8” tall next to the south primary façade and an 8’ – 8” gate with sconce.
3. Paint under existing portal white Sto “Marble White.”
4. Add a new low garden wall in the rear of the house on the north elevation.
5. Repair window on the east façade to refit the glass and refurbish the sash.
6. Rebuild non-historic front entry steps to bring up to code.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff did not find that the exception criteria have been met, but the Board found that they are met upon further testimony from the applicant; otherwise, Staff recommended approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Section 14-5.2(D)(2)(d), the applicant requests an exception to exceed 50% of the historic footprint. The applicant requests to add 2,331 sf to a historically contributing historic footprint of 879 sf.
8. Staff determined that an exception to SFCC Section 14-5.2(D)(2)(d) would be required for approval of the Application, and the Applicant requested an exception.
9. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
10. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board did not agree with Staff’s finding that the Applicant has not conclusively demonstrated that all exception criteria have been met.
11. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because the addition is proposed for the rear of the contributing building, will be set on a downslope below the historic façade, and will not be plainly visible from Kearny Road.
12. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant because an addition of more than 50 percent of the historic footprint is necessary for the applicant and two other family members to reside in the home and create space to allow them to work remotely from their job sites.
13. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts, and the applicant is a long-standing and multigenerational resident of this historic district.

14. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
15. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
16. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
17. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
18. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the exception requested in the Application.
3. The Board approves the project as submitted and found the applicant met the exception criteria, with the following additional condition:
 - Applicant shall submit revised plans showing the separation of the new yard wall from the south primary façade, to be approved by the City Planning staff.

IT IS SO ORDERED ON THIS 12th DAY of October, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law

Case # 2021-004259-HDRB

Address – 1299 Canyon Road

Agent’s Name – Sandra Donner

Owner/Applicant’s Name – Julia and Randall Burt

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021.

BACKGROUND

1299 Canyon Road is a single-family residential structure with non-contributing historic status to the Downtown and Eastside Historic District. The property currently has a coyote fence directly along the street.

On March 9th, 2021, the applicant brought an application to the HDRB proposing to construct a garage and a yard wall in place of the coyote fence, to install a new vehicular gate of oxidized steel along an eastern shared driveway, and to raise the height of an existing stucco yard wall.

The decision of the Board was to approve the proposal with the condition that the west (pedestrian) gate be constructed of wood and the eastern (vehicular) gate be coyote fence construction, not steel. The applicant now returns to the Board with a revised proposal to construct new vehicular and pedestrian gates, to be oxidized steel frame with wood inserts. These would have a natural wood color stain.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the specific district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application
2. As recommended by the Staff, the Board approves the Application with respect to the revised proposal for vehicular and pedestrian gates.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-004256-HDRB

Address – 809 Abeyta

Agent's Name – Jay Shapiro

Owner/Applicant's Name – Jay Shapiro

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021.

BACKGROUND

809 Abeyta is a non-contributing, single-family residential structure constructed in the 1970s. It is located at a 90-degree curve on Abeyta Street in the Downtown and Eastside Historic District. It is a rectangular form measuring 20 x 40 feet with a pitched roof with pre-fab trusses. The walls are constructed of wood frame and stuccoed on the exterior, with single-pane aluminum slider windows. It has a height of 15 feet at the ridge of a gabled roof. In this area the maximum allowable building height is 15 feet 5 inches, and the maximum allowable yard wall height is 5 feet 6 inches.

The applicant proposes the following remodel and addition:

1. The current pitched roof will be converted to a flat torch-down roof with raised parapets. The new roof will be set at a height of 14 feet, measured at the center of the street-facing elevation (south). An exception is requested to change the roof style from pitched to flat per SFCC Section 14-5.2(D)(6).
2. The street-facing façade (east) has a small concrete deck and pergola with wood posts and shed roof with asphalt shingle. This would be replaced with a wood deck, flat-roofed portal with a latilla ceiling. The height will be 13 feet from the natural grade.
3. The front door will remain in the same location. A transom will be added above. The new door will be wood.
4. The center bedroom window will be replaced with sliding French doors with a “mission” reddish brown wood stain. The doors will be wood, the windows will be aluminum clad with simulated divided lights with white trim. The western-most window will have changed dimensions to fit a vertical orientation.
5. A pergola will be constructed on the west elevation, attached to the house with 9 inch round posts and 6 by 6 inch horizontal beams.
6. A circa 200 square foot addition will be constructed on the west side of the structure.
7. A freestanding stucco fireplace will be built on the north elevation, stuccoed.
8. Re-stucco the house. The stucco color will be “buckskin.”
9. Insert new window openings in the south façade, which presently has no openings.
10. Construct a 6 x 14 foot brick patio of red-brown bricks.
11. Raise existing perimeter wall running along the southern and eastern street frontage to 5 feet 6 inches, which is the maximum allowable height.
12. Exterior lights will be hammered copper downlights.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends that the exception criteria to SFCC Section 14-5.2(D)(6) have been met, and that the application complies with Section 14-5.2(D), General Design Standards for all Historic Districts, and 14-5.2(E), Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-5.2(D)(6), the existing roof style must be maintained.
7. Staff determined that an exception to SFCC Section 14-5.2(D)(6), would be required for approval of the Application, and the Applicant requested an exception.
8. To obtain an exception, the Applicant was required to conclusively demonstrate the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b).
9. Pursuant to SFCC Section 14-5.2(C)(5)(b)(i), the Board finds that granting the exception would not damage the character of the district because the proposed change in the style of roof will make the house consistent with the design of other houses in the area.
10. Pursuant to SFCC Section 14-5.2(C)(5)(b)(ii), the Board finds that the exception is required to prevent a hardship to the Applicant because the existing roof design requires very low ceilings and prevents the applicant from setting ceilings at the maximum allowable height (10 feet).
11. Pursuant to SFCC Section 14-5.2(C)(5)(b)(iii), the Board finds that granting the exception would strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts.
12. The Board finds that the Applicant has conclusively demonstrated that all of the exception criteria have been met.
13. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(C)(5), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
15. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.
3. The Board grants the exception requested in the Application with respect to the change from a pitched roof to a flat roof.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-4254-HDRB

Address – 107 Victoria Street

Agent’s Name – Will McDonald

Owner/Applicant’s Name - Tamar Hurwitz

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021.

BACKGROUND

107 Victoria Street is a non-contributing property consisting of two structures: a main house and an accessory structure (garage). The original house was constructed in around 1953 and was added onto in the early 1960s. The garage was constructed also around this time. The main house is constructed in a simplified Spanish Pueblo Revival style. It originally had a patio on the southwest corner that was enclosed in the mid-1980s. The evolution of the structure can be clearly read on the west façade. The windows on the west, east, and north facades are historic. The garage, possibly originally a horse stable, is constructed in a similar style. In the mid-2000s, remodeling began: the garage door was changed to a pedestrian door, the ceiling was raised and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommended the historic status of the main structure be designated contributing, per SFCC Section 14-5.2(C), Designation of Significant and Contributing Structures, with the west façade as primary. Staff recommended the historic status of the accessory structure (garage) be maintained as non-contributing.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish

and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”

7. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
10. Based on the information set forth in the Staff Report and exhibits and the testimony and evidence presented at the hearing, the Board finds that the main structure and the accessory structure meet the definition of a “non-contributing structure.”

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to review historic status.
3. The Board retains the **main** structure’s status as **non-contributing**.
4. The Board retains the **accessory** structure’s status as **non-contributing**.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-004255-HDRB

Address – 107 Victoria Street

Agent’s Name – Will McDonald

Owner/Applicant’s Name – Tamar Hurwitz

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021

BACKGROUND

107 Victoria Street is a property consisting of two structures: a main house and an accessory structure (garage) to the north. The garage was constructed in approximately 1962. It was potentially originally a horse stable, is constructed in a similar style to the main house. In the mid-2000s, a remodel was permitted: the garage door was changed to a pedestrian door, the ceiling was raised and a fireplace was installed. More recently, the window on the west façade appears to have been altered.

The applicant now proposes the following changes to the accessory structure only:

1. Replace existing door on west (street facing) elevation;
2. Install new aluminum-clad windows with simulated divided light on west elevation;
3. Replace the window on the south elevation with a divided-light window;
4. Replace the door opening on the east elevation with new aluminum-clad, simulated divided-light window; and
5. Re-stucco.

The windows will be aluminum clad colored “Caribbean Blue.” The existing stucco is elastomeric and consequently the applicant proposes to use elastomeric stucco. The color will be Sto “Mocha Cream” (comparable to El Rey Buckskin) which is part of the Sto Classic Color Collection.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.

3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and finds that the application complies with SFCC Section 14-5.2(D) General Design Standards for all Historic Districts, and SFCC Section 14-5.2(E) Downtown and Eastside Design Standards. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
5. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), and 14-5.2(C)(4), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
6. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
7. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004119-HDRB

Address – 638 East Palace Avenue

Agent’s Name – Scarlett Breeding

Owner/Applicant’s Name – Scarlett Breeding

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on October 12, 2021

BACKGROUND

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. In Case # 2020-004118-HDRB, heard on September 14, 2021, the east and north façades were designated as primary facades.

The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The west wall is attached to the neighboring unit.

On September 14, 2021, the HDRB was scheduled to hear this case, however it was postponed for the applicant to apply for an exception.

The applicant now requests the following items:

1. Construct a new 180 square foot patio and portal on the south side within the walled, rear courtyard. The patio shall be surfaced with the existing stone currently in the courtyard, 6 inches above grade. The portal shall be supported by four 8 by 8 inch wood columns and 3 by 10 inch wood beam, with exposed rafters and flat roof (sloped to drain). It will be set back from the east property line 5 feet, 1 inch, and from the west property line 1 foot 10 inches (to the centerline of the common yard wall). The portal depth shall be 10 feet from the south face of building and shall be stained to match the exposed lintels of existing structure.
2. The portal shall extend to within 2 feet of the east primary façade. An exception is requested to Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade.
3. As requested by the Fire Marshal, the existing east common yard wall shall be, for the depth of the portal, extended upward to the height of the portal roof, or 8 feet, which is the maximum allowable height. The extension of the common yard wall shall be finished with stucco colored El Rey “La Luz” to match the existing wall. The adjacent neighbor shall sign a commitment not to construct any combustible structure within an aggregate distance of 5 feet from the proposed portal.
4. Replace the existing windows and doors on the south elevation with two sets of 5 foot wide Anderson patio doors with simulated divided lights.

5. Install two, flat, curbed 3 by 5 foot skylights to the existing roof. These shall not be visible from E. Palace Ave.
6. Install a mini-split HVAC unit with condenser unit on the roof above the bathroom, surrounded by a 22 inch screen-curb painted to match grey color of the roof.
7. Replace the concrete walkway in the front courtyard with existing brick to match remainder of front courtyard.
8. Repair, caulk, and repaint existing windows.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended that the criteria for an exception to Section 14-5.2(D)(2)(d) to construct within 10 feet of a primary façade have been met and recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Section 14-5.2(D)(2)(d), additions must be set back 10 feet from a primary façade.
8. The Applicant proposes to construct an addition within 10 feet of a primary façade.
9. Staff determined that an exception to SFCC Section 14-5.2(D)(2)(d) would be required for approval of the Application, and the Applicant requested an exception.
10. To obtain an exception, the Applicant was required to conclusively demonstrate that the three exception criteria set forth in SFCC Section 14-5.2(C)(5)(b) have been met.
11. Based on the information set forth in the Staff Report and exhibits, and the evidence and testimony presented at the hearing, the Board agrees with Staff’s finding that the Applicant has conclusively demonstrated that all exception criteria have been met.
12. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(2)(a-d & f), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), 14-5.2(C)(5), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.

13. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
14. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the exception requested in the Application.
 - The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Cecilia Rios
Chair

Date

FILED:

Kristine Bustos-Mihelcic
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

City of Santa Fe, New Mexico

memo

DATE: October 26, 2020
TO: Historic Districts Review Board Members
FROM: Carly Piccarello, HPD Manager, Historic Preservation Division

Address: 100 E. San Francisco Street
Historic Status: Contributing
Historic District: Downtown and Eastside

ITEM AND ISSUE:

Staff is granting administrative approval for the La Fonda banner design with the condition that the city seal be added in order for staff to recommend approval to the governing body.

Prior to the Governing Body's consideration of a resolution for the La Fonda Centennial banners, the Historic Districts Review Board is being given an informational presentation of the banner proposal to the streetscape. In evaluating suitability and harmony, staff has considered the general purpose of the historic district regulations (14-5.2(A)(1)) and the purpose of the historic sign regulations (14-8.10(H)(1)) and will be providing administrative approval as a recommendation to the governing body for their consideration per (14-8.10(A)(1)).

BACKGROUND & SUMMARY:

La Fonda on the Plaza is a significant structure located in the Downtown and Eastside Historic District. It once served as a Harvey House and is significant due to its relationship to the Fred Harvey Company and the Atchison, Topeka and Santa Fe Railroad and tourism in Santa Fe. In order to celebrate the 100 years anniversary of the hotel, the applicant seeks permission to display banners with the signature Centennial mark and the La Fonda logo. This event commemorates not only a significant milestone for the historic structure, the hotel, but also its role in the city's development. The La Fonda contributes to the sense of place anchoring the downtown's built environment and as a gathering space for the community.

The banners are proposed to hang from banner posts which will be located on light posts owned by the City. Additionally, the banners will hang over the public right-of-way. In order for the banners to be permitted by the City the applicant must seek a resolution to 14-8.10 that allows the banners for specific dates, location, number, design approval, installation, and maintenance (following City of Santa Fe New Mexico Ordinance No. 2009-29) to allow the legal obstruction of a public way per SFCC section 23-1.4. Nine banners are proposed; five will be located on the west side of La Fonda along Old Santa Fe Trail and four are proposed on the north side of La Fonda along San Francisco Street. The event will span the duration of the centennial year and are proposed to be in place from January 1, 2022 to January 4, 2023.

Relevant Code Citation

14-8.10(A)(1) SIGNS – Purpose; Applicability
(2) Applicability

iii. After a proposed banner's design and installation are approved administratively, the governing body may permit a banner's use by adopting a resolution.



Honoring 100 Years of Hospitality in the Heart of Santa Fe





La Fonda on the Plaza is the oldest hotel in the oldest capital city in the United States. Situated on the Plaza – a vantage point that has allowed a grand view of the tumult and spectacle of the settling of the West. Today La Fonda remains witness to, and a part of, the ever unfolding story of Santa Fe.





La Fonda, as a Harvey House, had a front-row seat on the development of Southwest tourism “invented” by the partnership of the Fred Harvey Company and the Atchison, Topeka and Santa Fe Railroad. Over time, La Fonda has been witness to an isolated region becoming more connected – through its arts, cultures, and evolving technology – to the country and the world.



La Fonda is a Santa Fe landmark.

To celebrate 100 years offering first-class lodging and hospitality at the gateway to one of the most fascinating cities in the world, the hotel seeks permission to display the signature Centennial mark and the La Fonda logo on the city's light posts that surround the property.

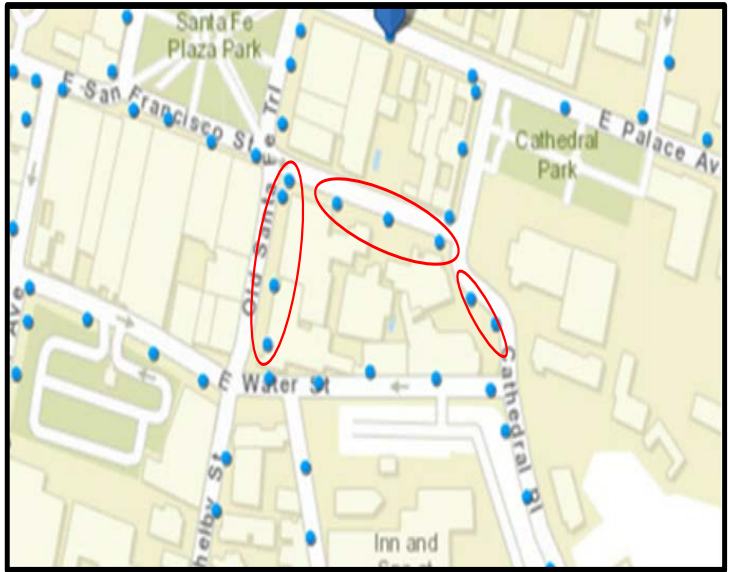
Locations:

- 3 light post displays on San Francisco Street
- 4 light post displays on Old Santa Fe Trail
- 2 light post displays on Cathedral Pl.

Hardware:

- BannerSaver Kit | BannerSaver Light Pole Banner Brackets
(Per Jose N. Lerma III, Traffic Operations)





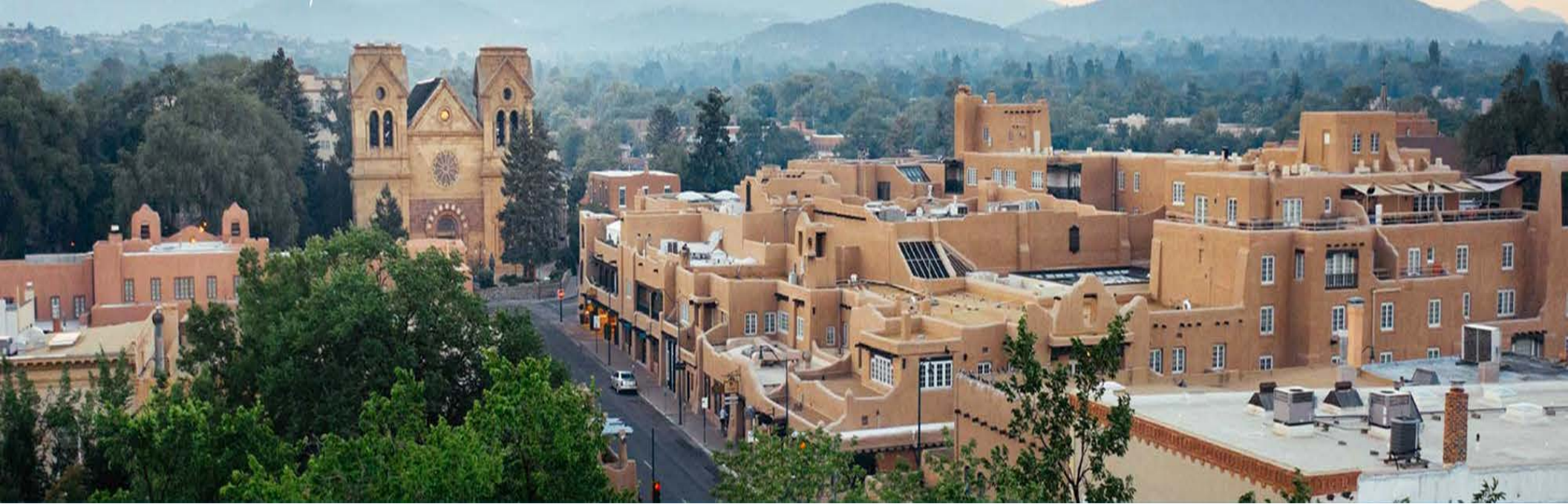
Banners to be displayed on Old Santa Fe Trail, San Francisco Street and Cathedral Pl.





EXAMPLE OF THE STREETScape





INSTALLATION PLAN:

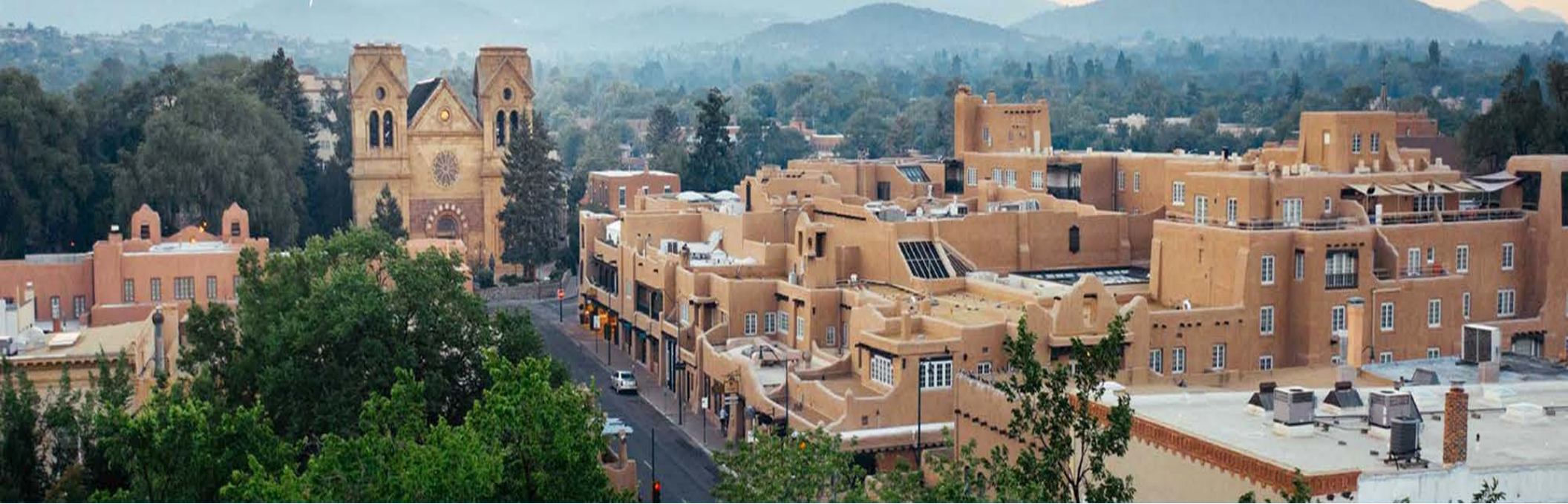
La Fonda will hire professional sign installers to conduct the mounting of the city-approved brackets and the final art work.

La Fonda will follow all City rules and regulations regarding the installation of the banners.

MAINTENANCE PLAN:

La Fonda's Management will monitor the displays on a monthly basis and will replace any faulty displays or weather faded banners.





REMOVAL PLAN:

La Fonda will hire professional sign installers to conduct the removal of the Centennial Banners.

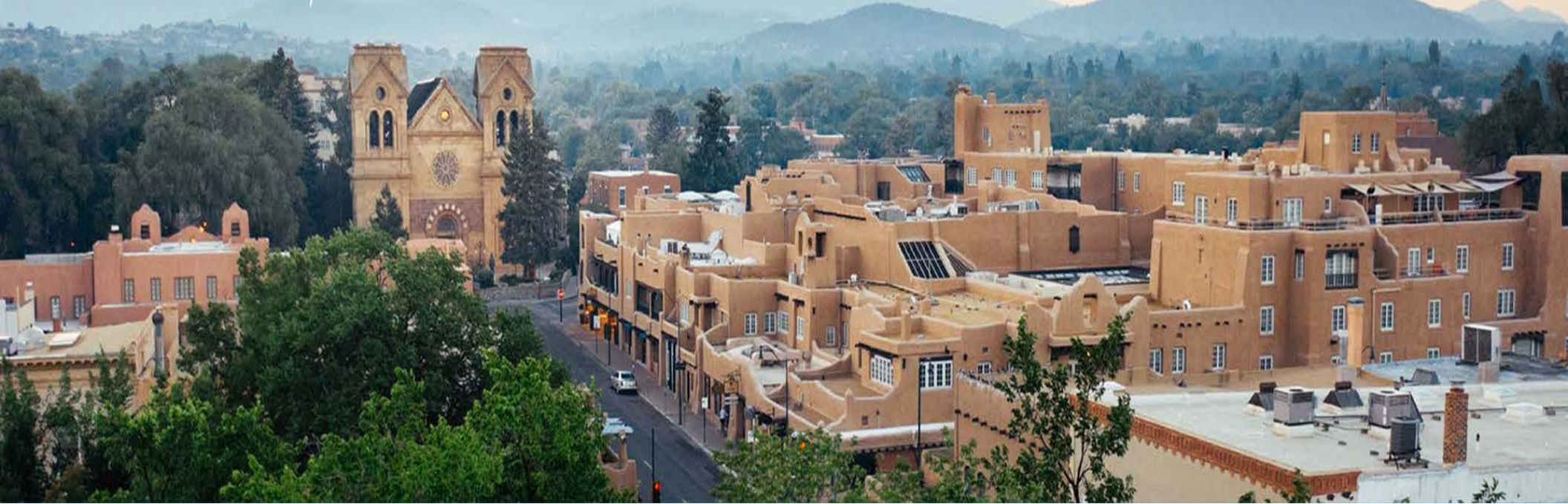
La Fonda will follow all City rules and regulations regarding the removal of the banners.

INSURANCE:

La Fonda's Management has secured the insurance necessary to display and maintain the banners for the duration of 2022. La Fonda will provide a Certificate of Liability Insurance.



LA FONDA WILL BEAR ALL COSTS ASSOCIATED WITH THIS PROJECT.



THANK YOU





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004162--HDRB

Project Description:

Project Location(s): 344 CAMINO CERRITO
Santa Fe, NM 87505

Contacts:

Applicant: Paul & Mariana Padilla

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 26, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case 2021-004162-HDRB

Address: 344 Camino Cerrito
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends that the exception criteria have been met and recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

344 Camino Cerrito is currently an unbuilt lot in the Downtown and Eastside Historic District. The applicant proposes to construct a new single-family residential structure.

1. The structure will be 1,891 square feet heated and 205 square feet unheated.
2. The maximum allowable height is 15 feet 3 inches. An exception is requested to construct to a height of 18 feet 9 inches, which exceeds the maximum allowable by 3 feet 9 inches. The relevant code citation and exception responses are provided below.
3. It will be constructed in a Spanish Pueblo Revival Style.
4. A synthetic stucco will be used, colored "Dry River".
5. The front (east) facing portals will be constructed of wood beams and latillas.
6. HVAC units and sky lights located on the roof will be architecturally screened by parapets.
7. Stairs from lower level to the front porch will be constructed of concrete and brick with rock façade matching the retaining wall with a simple black wrought iron hand rail.
8. Exterior lighting located at front door will be black and glass, and will be located under a portal (Figure 11).
9. Perimeter walls will be block and stucco in "Dry River" color. Wall height on the east along Camino Cerrito will be 4 feet. Wall height on the south and north will be 6 feet tapering down towards Camino Cerrito on the east.
10. Along the north elevation, retaining walls will be constructed of concrete with a river-rock façade.
11. Exterior wood beams and latillas will have minwax Provincial color stain in satin finish.
12. Windows will contain simulated divided light and will be inset with lintel beams above.

RELEVANT CODE CITATIONS:

14-5.2(D)(9)(c)(iii): In historic districts, height shall be the vertical distance measured between the highest part of a structure and the existing grade or finished grade , whichever is more restrictive, at the midpoint of the street facing facade, excluding rooftop appurtenances , the increased height of walls or fences over pedestrian and vehicular openings, and gates (either in opened or closed position). For structures which do not have street frontage, height shall be determined by the facade which contains the tallest vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive. The height of walls and fences is measured from the street -facing side of the wall or fence. (Ord. No. 2002-37 § 27)

EXCEPTION CRITERIA AND RESPONSES:

- (i) Do not damage the character of the [streetscape](#);

Applicant response:

The proposed Padilla family home will not damage the character of the streetscape. Camino Cerrito is a narrow residential road located on a hill that slopes up from north to south. The property follows the grade of the road and is located near the top of the hill at the steepest end. The proposed design is consistent with the existing houses on Camino Cerrito and the surrounding area. The home will be single story, 2,096 sq ft (including portals) and will include off street parking and open space on the downhill side of the lot. The home will be located at the south end of the lot to provide maximum distance to the neighbor on the downhill side.

Staff response:

Staff agrees with the applicant. The storypoles indicate that the proposed structure is of a similar height to that already existing to the west.

(ii) Prevent a hardship to the [applicant](#) or an injury to the public welfare;

Applicant response:

The Padilla Family lives, works and attends school in the Santa Fe community. Since purchasing the property two years ago, the family has been working to build their home. The Padilla family is leading their own design, permitting, and construction process to keep costs down and make the project financially feasible. The Padilla's have worked to ensure that all aspects of the home design are in accordance with the City of Santa Fe's design and code requirements. In addition, the home as it is currently designed is consistent with all other area homes in height, size, and design. Due to the sloping of the road and properties that align the road, it is extremely difficult for the height to be calculated accurately. The height of the house as it is currently designed is 12' 10" which is under the 15' 3" height allowed. The height calculation according to the city code is 18' 9" which adds an additional 5' 11' due to the slope of the property. It is cost prohibitive for the Padilla's to redesign the house or make significant changes to the grade of the property.

Staff response:

Staff agrees with the applicant. Due to the direction of the slope and the grading completed by previous owners, it is not feasible that the structure be lowered by almost 6 feet.

- (iii) Strengthen the unique heterogeneous character of the [city](#) by providing a full range of design options to ensure that residents can continue to reside within the historic districts;

Applicant response:

Design Option One: Grade the upper level of the property to flatten and reduce the height on the downhill side by approximately one foot. It would be financially feasible to do minimal grading to lower the height calculation. Doing major soil grading or removal would be cost prohibitive to the owners.

Design Option Two: The height of the parapets can be reduced by six inches.

Design Option Three: The height of windows on the downhill side (north facing) can be decreased to minimize the tall appearance of the home. This is a design change that can be made.

Design Option Four: The 12 ft ceilings can be reduced to 11 ft.

Design Option Five: Reduce the footprint of the house.

Design Option Five: It is not feasible to reduce the footprint of the home. The current design is the minimal size required to meet the needs of the Padilla family which includes two adults and three school age children. The current house design and size is consistent with other homes in the area.

Staff response:

Staff agrees with the applicant. Some lowering through re-grading is possible, however this will not reduce the height by the needed amount. Lowering parapets is possible to a certain degree, but lowering too much may expose rooftop appurtenances.

- (iv) Are due to special conditions and circumstances which are peculiar to the land or [structure](#) involved and which are not applicable to other lands or [structures](#) in the related [streetscape](#);

Applicant response:

The height calculations as per the city code adds an additional 5'11" to the height due to the slope of the hill/terrain. This methodology does not properly reflect the actual design height and is at no fault to the Padillas. Existing houses on Camino Cerrito are not multilevel following the slope, they are built on a single level of the property created by retaining walls (see photos). The design of the Padilla home would be consistent with this layout.

Staff response:

- (v) Staff has used the strict interpretation of the code, but finds that it has a unique/perculiar grading due to the drainage that surrounds the site and the grading done by previous owners to create a flat parking area.
- (vi) Are due to special conditions and circumstances which are not a result of the actions of the applicant

Applicant response:

The code presumes a slope that is perpendicular to lot, the Padilla property is sloped parallel to Camino Cerrito. As a result, the height calculations following the code adds an additional 5'11" to the height. This methodology does not properly reflect the actual design height and is at no fault to the Padillas.

Staff response:

Staff agrees with the applicant. According to City calculation, the height is 3 feet 6 inches in excess of the maximum.

- (vii) Provide the least negative impact with respect to the purpose of this section as set forth in Subsection 14-5.2(A)(1).

Applicant response:

The current design of the Padilla home is the least impactful design for the area. The home is single story, 2,096 sq feet (including portals) and is in alignment with all design elements required by the city. The home is situated on the south side of the lot to minimize the impact to the home located downhill of the property. The owners designed the home to meet the 15'3" height requirement. The code requirements for height calculations are biased due to the sloping terrain and is the reason why the calculation exceeds the allowable height.

Staff response:

Staff agrees with the applicant.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

Date Submitted:	Site Address: <u>344 Camino Cerrito</u> <u>Santa Fe N.M. 87505</u>
Property Owner of Record: <u>Paul & Mariana Padilla</u>	Proposed Construction Description:
Applicant/Agent Name: <u>Paul Padilla</u>	<u>Stand alone single family New construction</u>
Contact Person Phone Number: <u>(505) - 235-9691</u>	TOTAL ROOF AREA: <u>2,149 sq ft</u>
Zoning District: <u>Historic East side</u>	Lot Coverage: <u>35 %</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone _____ <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: <u>7'</u> Minimum: _____ 2 nd Front? _____ Proposed Rear: <u>15'</u> Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>12' 10"</u> Maximum Height: <u>14'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u>
Access and Visibility: <input type="checkbox"/> Arterial or Collector <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking : Proposed: <u>0</u> Minimum: <u>0</u>
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Paul Padilla Mariana Padilla Paul Padilla [OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

DATE

Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____	Date: ___/___/___
<input type="checkbox"/> Flood Plain Approval by _____	Date: ___/___/___
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: ___/___/___
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>None</u>	
REVIEWER: <u>Lee Logston</u>	DATE: <u>8,18,21</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

Historic Review Board – Proposal Letter
344 Camino Cerrito Santa Fe, NM 87505

Dwelling location and Description

The project includes constructing a new single-family home on an empty lot located in a residential area at 344 Camino Cerrito Santa Fe, NM 87505. The dwelling will be a single story, 1,891 square feet heated and 205 square feet unheated. The dwelling will be constructed with flat roof and wood frame structure. Exterior wall material will be cementitious stucco in El Rey Sahara color (Figure 1) in flat sand finish. Exterior wood beams and latillas will have minwax provincial color stain in satin finish (Figure 2). The maximum height of the house is 12 ft.10 inches. Windows will contain real divided light and will be inset with lintel beams above (Figure 3). The window color will be white and will be aluminum clad constructed (Figure 3).

Portals and Roof

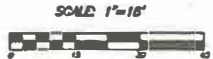
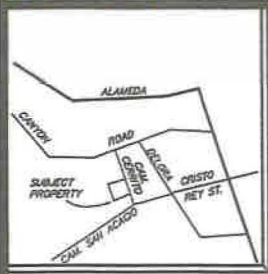
The front exterior door will be wood and stained using Minwax Provincial (Figures 2 and 4). The front (east) facing portals will be constructed of wood beams and latillas on the ceiling (Figure 4). The west facing portal on the back of the home will also be constructed of wood beams and latillas (Figure 5). Canales will be installed on the roof (Figure 5). The HVAC unit will be located on the roof at the lowest elevation (9 ft ceilings on the southern end of the home). It will be architecturally screened by parapets and latillas (Figure 6). The HVAC unit height will be between 3 and 4 feet, the latilla screening will not exceed the height of the HVAC unit.

Exterior Features

The property is multi-level (Figure 7). The upper level will be extended out 8 feet to the north (Figure 7) and 7 feet to the west (Figure 8) to extend the building pad for the dwelling. Retaining walls will be constructed of concrete, rebar and other required materials. Retaining walls will include a (round river rock) rock façade throughout (Figure 9). Stairs from lower level to the front porch will be constructed of concrete and brick with rock façade matching the retaining wall with a simple black wrought iron hand rail. (Figures 9 & 10). Exterior lighting located at front door will be black and glass (Figure 11).

Perimeter walls will be block and stucco in Dry River color. Wall height on the east along Camino Cerrito will be 4 feet. Wall height on the south and north will be 6 feet tapering down towards Camino Cerrito on the east (Figure 12). Wall height on the west will be 6 feet consistent with the existing cinder block located on the adjacent property. Gates will be constructed with wood and wrought iron material (Figure 13). The property layout will allow a minimum of two off street parking spots on the north side of the property (Figure 14).

191119 / AG
 O K
 7/16/19



- LEGEND**
- Survey control
 - Points found and used as noted.
 - 1/2" Capped iron pin not this survey.
 - Power poles.
 - Fences.
 - Walls.
 - ▭ Concrete.
 - ▭ Utility box.

- NOTES**
1. BASE OF BEARINGS: GPS OBSERVATION OF FOUND BEARINGS ON THE NORTH BOUNDARY OF SUBJECT TRACT (N 70°10'00" E, NAD 83, NAD STATE PLANE, CENTRAL ZONE, GDA).
 2. THIS SURVEY IS BASED ON A PLAT OF SURVEY FOR EUSTACIO PADILLA, RECORDED IN PLAT BK. 73 AT PAGE 3.
 3. RECORDS OF SANTA FE COUNTY: NAD BEARINGS AND DISTANCES IN () ARE FROM 2010 PLAT REFERENCE DATA, INSTR. NO. 1867204.

CERTIFICATE

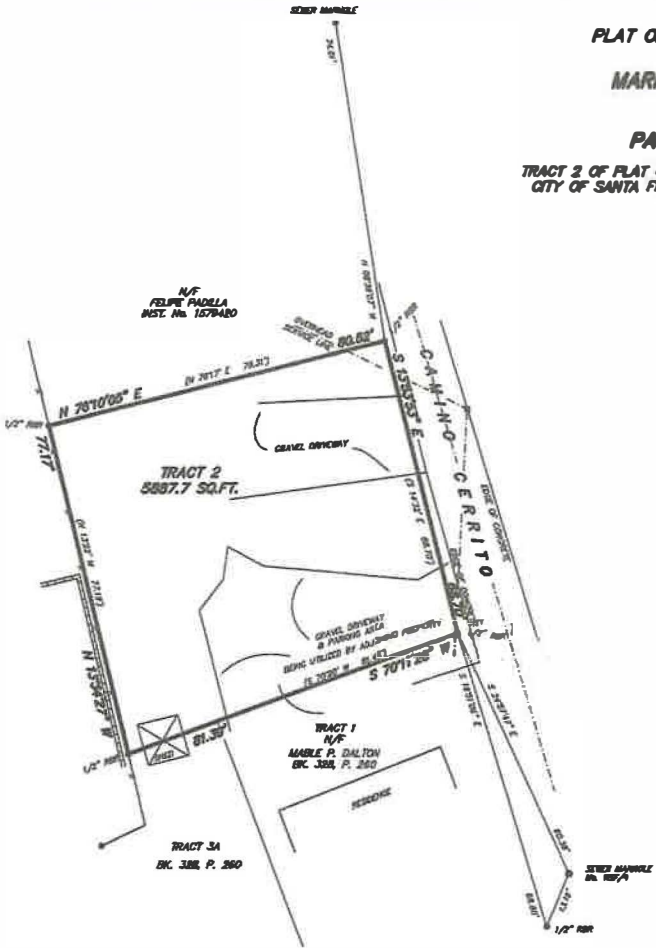
I, Philip B. Wiggel, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it complies with the Minimum Standards for Surveyors in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey is not a land claim or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

FOR REVIEW

Philip B. Wiggel
 P.O. Box 12273
 Santa Fe, NM 87502

P.S. No. 8789
 Santa Fe, NM



**PLAT OF BOUNDARY SURVEY
 FOR
 MARIANA D. PADILLA
 &
 PAUL A. PADILLA**

TRACT 2 OF PLAT OF SURVEY FOR EUSTACIO PADILLA,
 CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.

INSTRUMENT NO. _____

COUNTY OF SANTA FE
 STATE OF NEW MEXICO

I hereby certify that this instrument was filed for record on this _____ day of _____, 2019, at _____ o'clock _____ of the day.

Notary Public for Santa Fe County, New Mexico

Witness my Hand and Seal of Office
 SCARLETT MALINA
 County Clerk, Santa Fe County, New Mexico

PUBLIC NOTICE

CITY OF SANTA FE COUNTY HAS NOW RECEIVED THIS DOCUMENT FROM THE RECORDING CITY OF SANTA FE. CLERK MUST APPROVE ALL DOCUMENTS SUBMITTED WITH AN APPLICATION FOR RECORD. POINTS AND MAY REQUIRE ADDITIONAL DOCUMENTATION TO PROVE LEGAL USE OF RECORD. VERIFICATION OF LEGAL USE OF RECORD IS THE SOLE RESPONSIBILITY OF THE FORWARDER/OWNER.

INDEXING INFORMATION FOR COUNTY CLERK
 BOUNDARY SURVEY

OWNER: ALFONSO D. CARLOS
 LOCATION: 344 CANTON CERRITO, SANTA FE
 SECT. 30, T 17 N, R 10 E, N.M.P.M.
 PROJECTED INTO THE SANTA FE GRANT

SANTA FE COUNTY, NM
 UPC No.: 1-025-085-305-305

DEL RIO SURVEYS, INC.

P.O. BOX 22773, SANTA FE, NM 87502 P.C. 820-820-0200
 PROJECT No. 19070573 Date: 7/16/19

FOR
MARIANA D. PADILLA
&
PAUL A. PADILLA

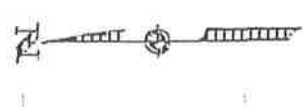
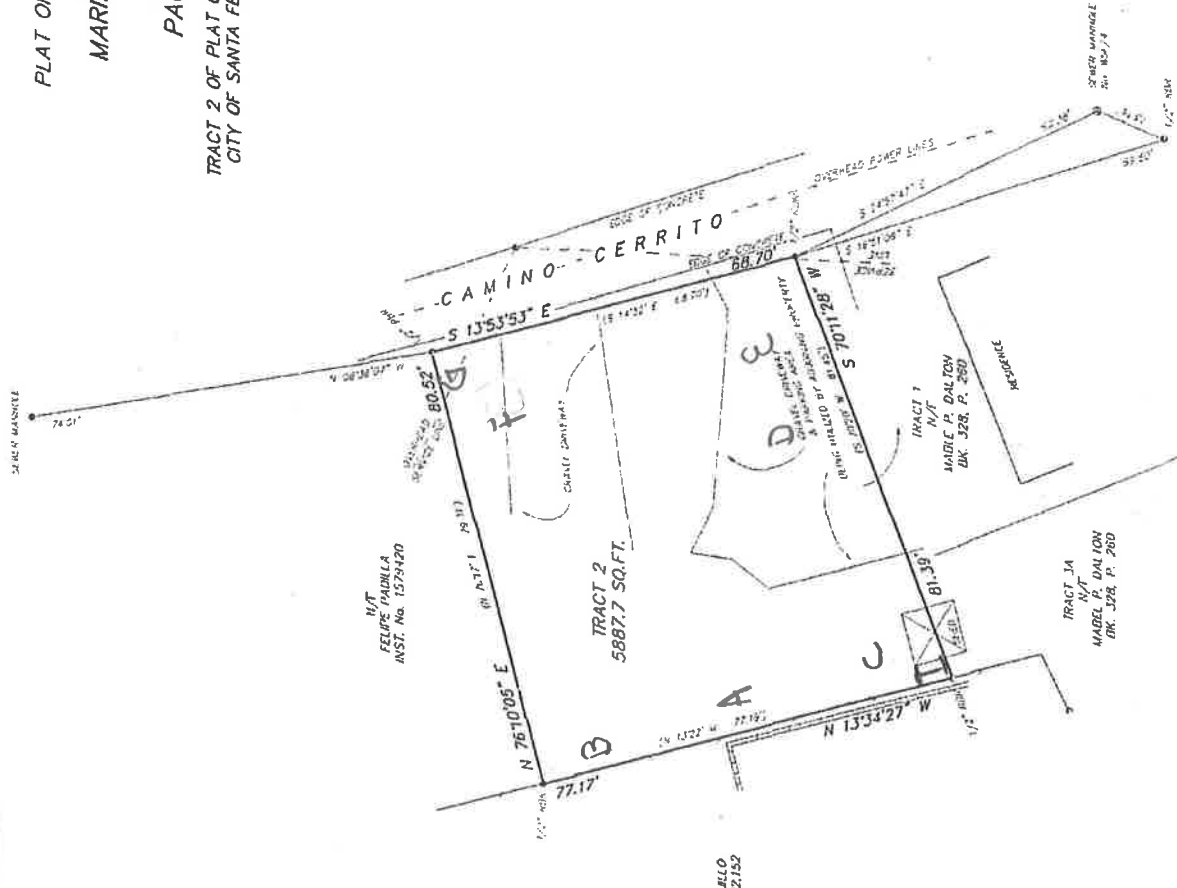
TRACT 2 OF PLAT OF SURVEY FOR EUSTAQUIO PADILLA,
CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.



INSURUMENT No. 1898602
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I, Felipe Padilla, County Clerk, do hereby certify that the within and foregoing plat was duly recorded in the public records of Santa Fe County, New Mexico, on this 15th day of July, 2019, at 11:55 AM, and that the same is a true and correct copy of the original as recorded in the public records of Santa Fe County, New Mexico.
Witness my hand and Seal of Office at Santa Fe, New Mexico, this 15th day of July, 2019.
Felipe Padilla
County Clerk

PUBLIC NOTICE
CITY OF SANTA FE STAFF HAS NOT REVIEWED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE DOES NOT WARRANT THE ACCURACY OF THIS SURVEY. ANY APPLICANT FOR BUILDING PERMITS AND ANY RECORD ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD IDENTIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.

INDEXING INFORMATION FOR COUNTY CLERK
BOUNDARY SURVEY
OWNER: ALANSON D. CAMERON
LOCATION: 144 CAMINO CERRITO, SANTA FE
SECT. 30, 17 N. R. 10 E., N.M.P.M.
PROJECTED INTO THE SANTA FE GRANT
SANTA FE COUNTY, NM
UPC: No. 1-055-088-306-369
DEL RIO SURVEYS, INC.
DATE: 07/15/2019
FILE: 20190715



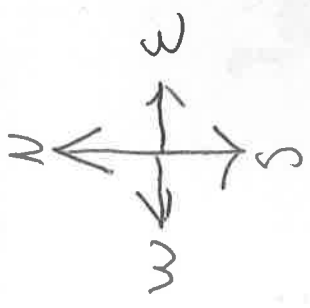
- LEGEND**
- Sweet manhole
 - Points found and used as noted
 - 1/2" capped iron pin set this survey
 - Power poles
 - Fences
 - Highway
 - Concrete
 - Utility box
- NOTES**
- BASE OF BENCHMARK: GPS OBSERVATION OF FOUND MONUMENTS ON THE NORTH BOUNDARY OF SUBJECT TRACT; (N 7670 00' E, 114.83, 100 BIRNIE PLANE, CENTRAL ZONE, GRID).
 - THIS SURVEY IS BASED ON A PLAT OF SURVEY FOR EUSTAQUIO PADILLA, RECORDED IN PLAT BK. 73 AT PAGE 1. RECORDS OF SANTA FE COUNTY, NEW MEXICO AND DISTANCES IN () ARE FROM SAID PLAT. REFERENCE DEED INST. NO. 160234. SAID PLAT DOES NOT REPRESENT LEGAL LOT OF RECORD FOR THIS TRACT.

N/T
EDDIE & SANDRA TRUJILLO
PLAT BK. INST. No. 392152

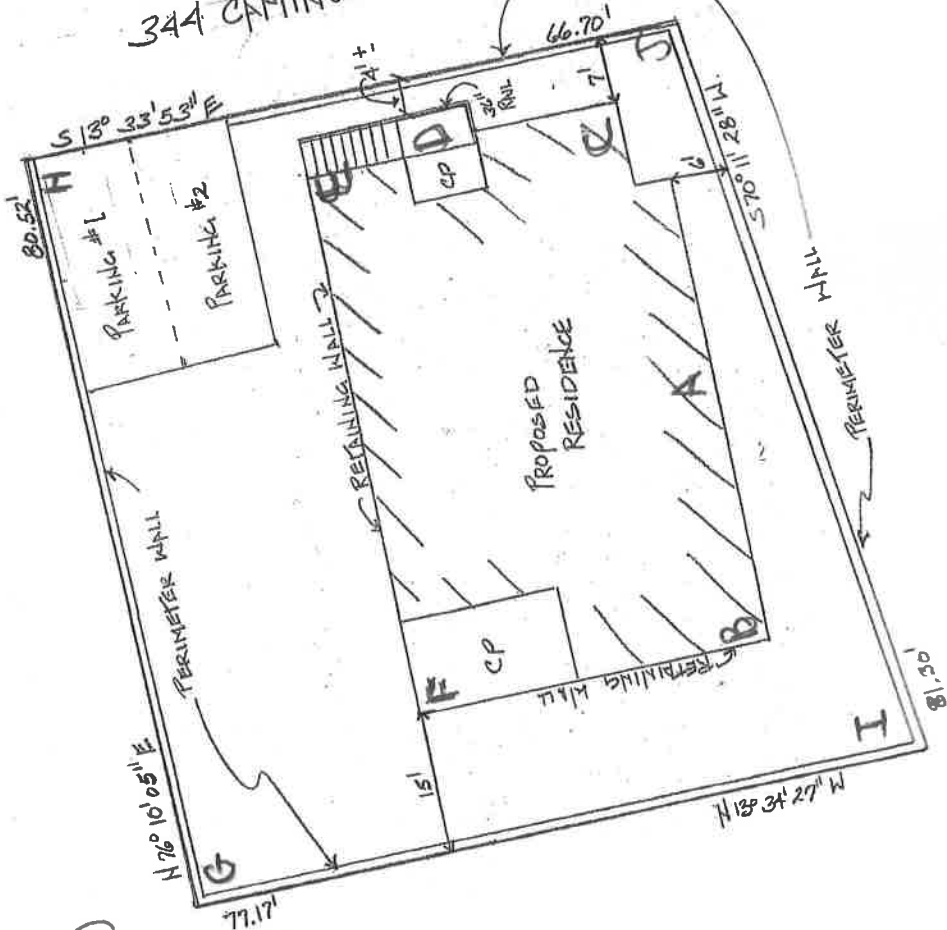
N/T
FELIPE PADILLA
INST. No. 1379420

CERTIFICATE
I, Felipe B. Weygal, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.
I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.
DATE OF FIELD WORK: 07/15/2019
FILED BY: Felipe B. Weygal
P.O. Box 27723
Santa Fe, NM 87508



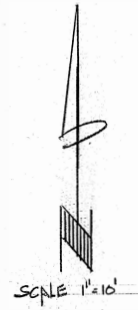
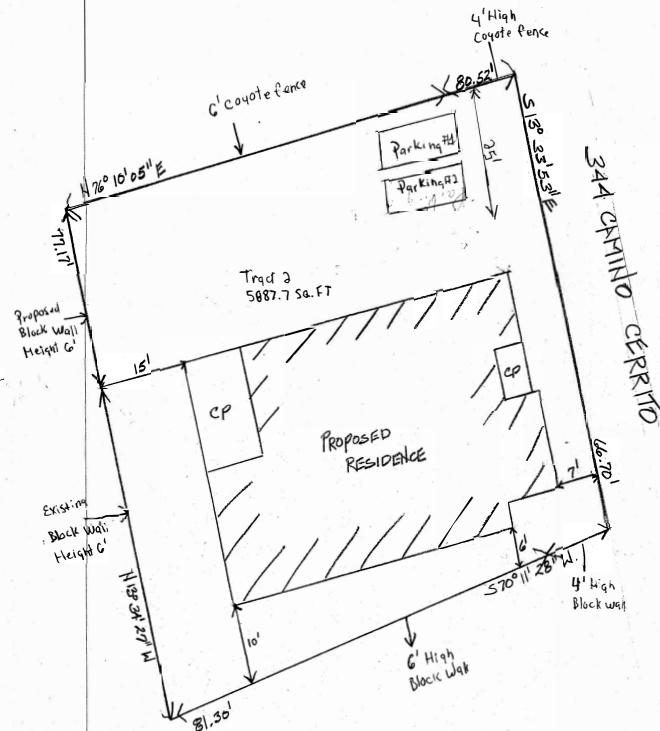


344 CAMINO CERRITO



LEGAL DESCRIPTION
SECTION 30 T17N,
R10E, NMPM

- (A) Elevation of Reference (0)
- (B) SW Corner of proposed Residence (-2', 2")
- (C) SE Corner of Home (-2")
- (D) East Center of Home (0)
- (E) N.E. Corner of Home (-5' 4")
- (F) N.W. Corner of Home (-4' 7")
- (G) N.W. Corner of Lot (-6' - 10")
- (H) N.W. Corner of Lot (-9')
- (I) N.E. Corner of Lot (-4')
- (J) S.W. Corner of Lot (-3")

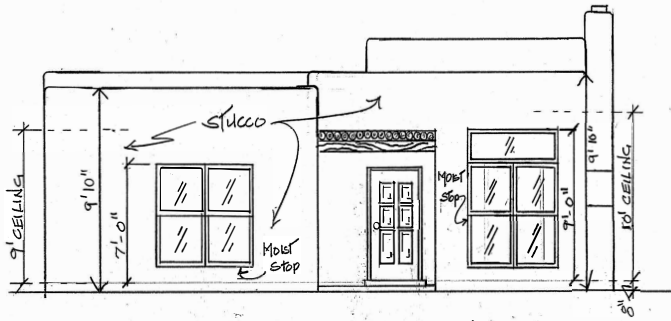


LEGAL DESCRIPTION
 SECTION 30 T17N,
 R10E, NMPM

- NOTES**
- Do not scale drawings, dimensions take precedence over scale.
 - These drawings and specifications have been developed for obtaining permits and may not reflect changes to the final construction work or requirements made after completion of drawings, on site changes by the owner, user or contractor will not be shown herein.
 - These drawings were done to the best of the designers ability, the designer, is not responsible for errors or omissions. The owner/contractor shall be responsible for complying with the requirements of the current Uniform Building Code.
 - Any additional cost for an engineering stamp that may be required after review by the planning dept. is the responsibility of the owner/contractor.

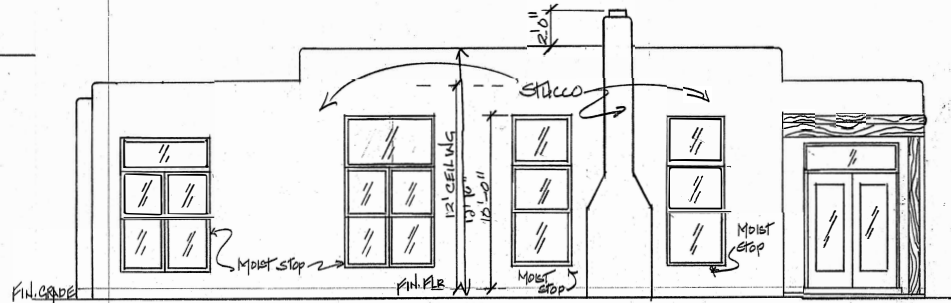
NOTE
 EXACT LOCATION OF
 STRUCTURE TO BE
 LOCATED IN THE FIELD
 POWERING TO GET BACK
 RESTRICTIONS.

Lee Logston
 8/18/2021



EAST ELEVATION

1/4" = 1'0"



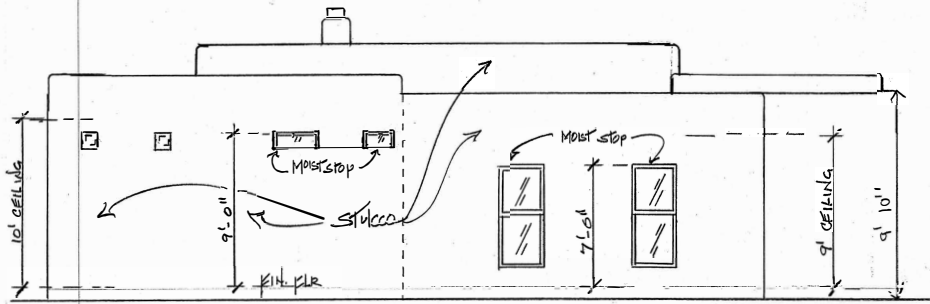
NORTH ELEVATION

1/4" = 1'0"



WEST ELEVATION

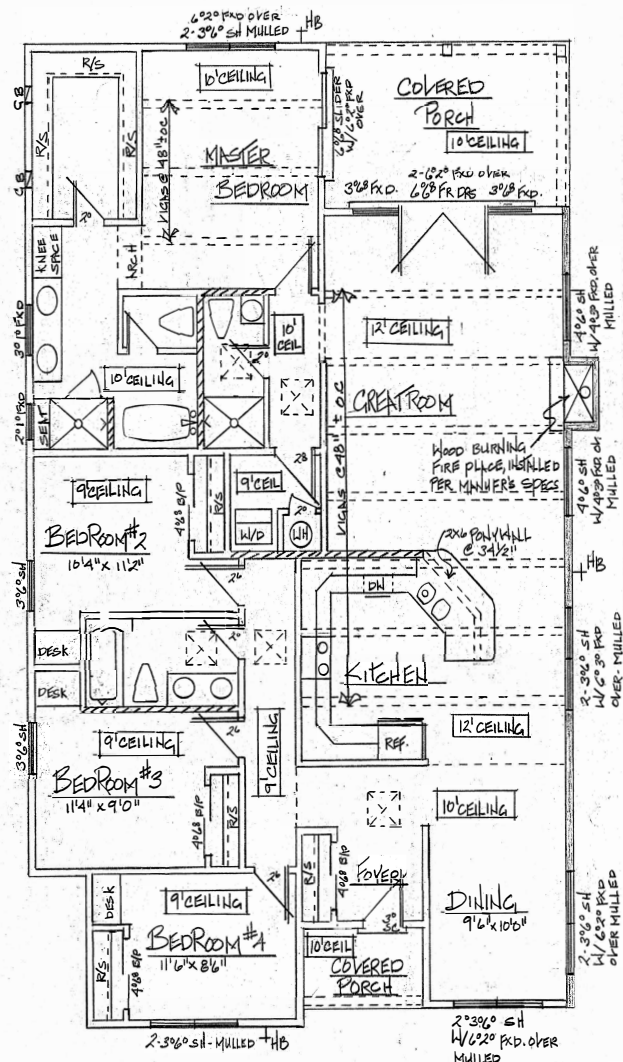
1/4" = 1'0"



SOUTH ELEVATION

1/4" = 1'0"

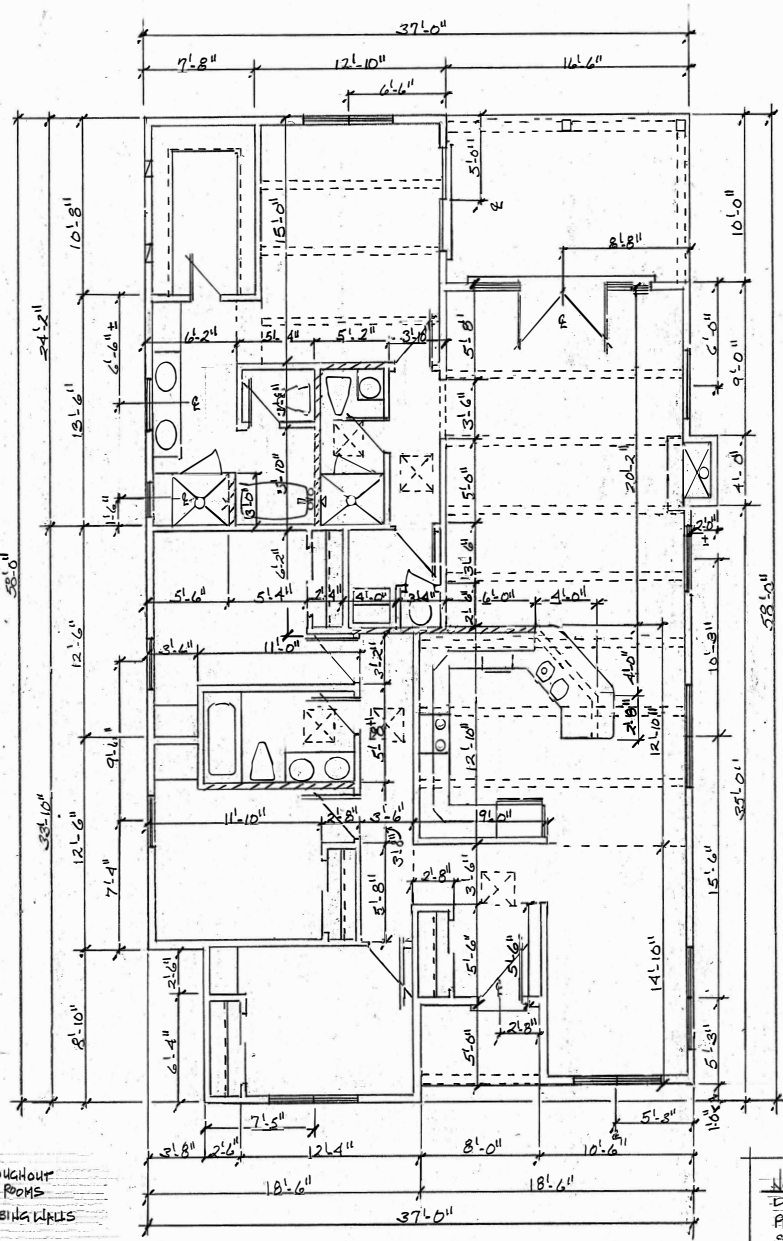
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8/18/2021



FLOOR PLAN
1/4" = 10"

AREA	
HEATED	1891 SQ.FT.
PORCHES	205 SQ.FT.
TOTAL	2096 SQ.FT.

- NOTES:**
1. WOOD FLOORING THROUGHOUT EXCEPT TILE IN BATH ROOMS & UTILITY ROOM.
 2. 6" PLUMBING WALLS
 3. 8" WALL

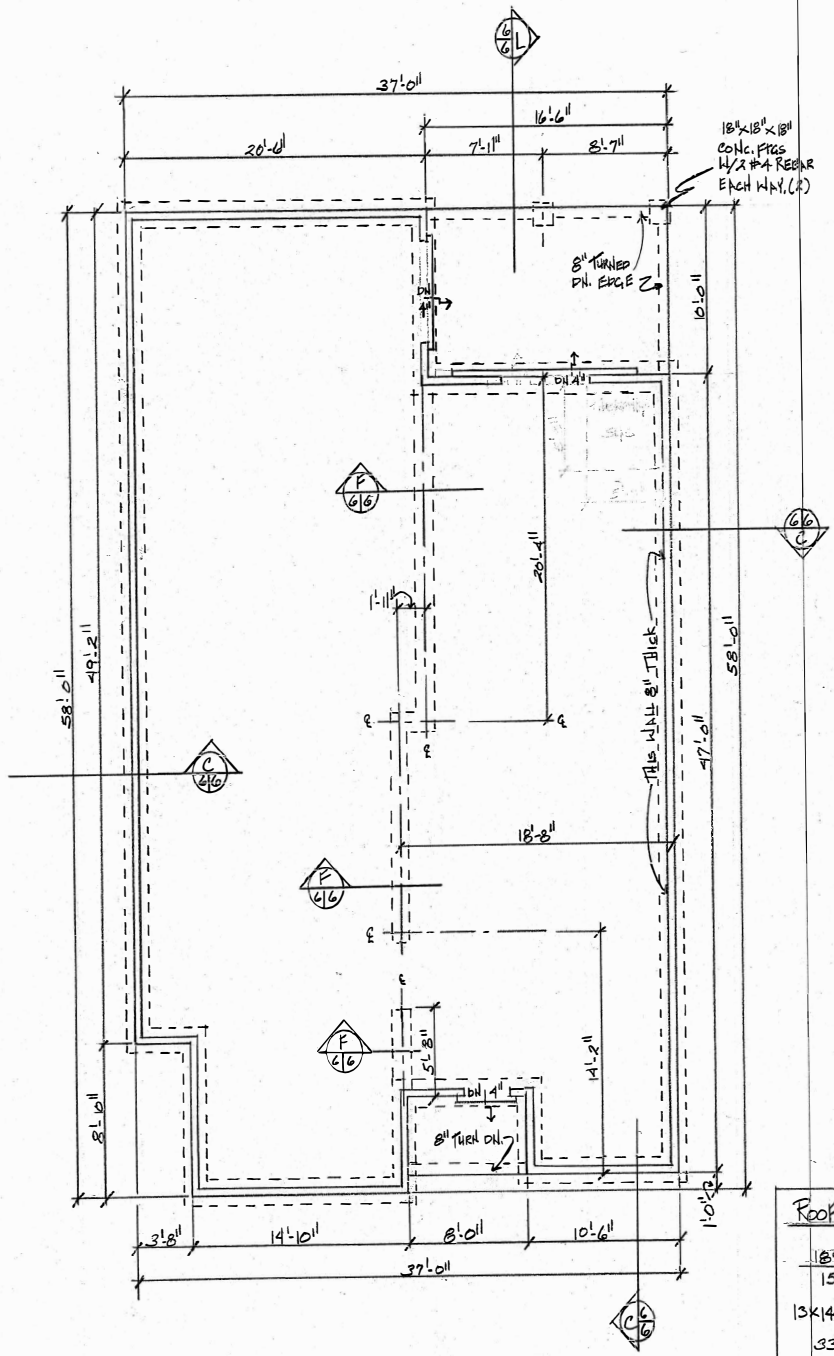


DIMENSION PLAN
1/4" = 10"

- General Framing Notes**
1. Exterior walls to be 2x8 studs @ 16" OC unless noted otherwise.
 2. Exterior walls to be 2x4 studs @ 24" OC except load bearing walls to be 2x4 studs @ 16" OC and sheathing walls 2x4 studs @ 24" OC.
 3. Wall to house/garage separation to be 2x6 studs @ 16" OC.
 4. 5/8" gap, Type 'Y' at all 1 in. rated walls, ceilings and mechanical rooms.
 5. Moisture resistant drywall @ exterior walls/interior top, unless noted.
 6. Two coats of equivalent sheetrock to be used in top and stairer surrounds.
 7. Entire exterior of structure to be finished with 1/2" CDX sheathing with 5/8" studs @ 16" OC edges and 12" OC field, (unless otherwise noted).
 8. All headers in exterior walls to be at least 2x12's as well as interior bearing walls, (unless otherwise specified).
 9. Headers over 6" open to have at least 2x10's on both ends.
 10. Trim installation location at all openings, exterior doors, and interior all joints with caulk.
 11. All wall holes other than DVU require fire blocking at top and all soffits.
 12. Anchor bottom plates at all 4" deep and all load bearing walls to concrete slab with 3/8" diameter anchor bolts or approved walls @ 32" OC max.
 13. Exterior wood posts or columns to be a min. of 4" diam. anchors.
 14. Framing contractor is responsible to ensure that all work meets or exceeds all applicable building codes.

NOTE:
DIMENSIONS TAKE PRECEDENCE OVER SCALE.

Lee Logston
8/18/2021



FOUNDATION PLAN
1/4" = 1'-0"

ROOF VENTILATION

$$\frac{1891}{150} = 13 \text{ SQ. FT.}$$

$$13 \times 144 = 1872 = 936 \text{ SQ. IN.}$$

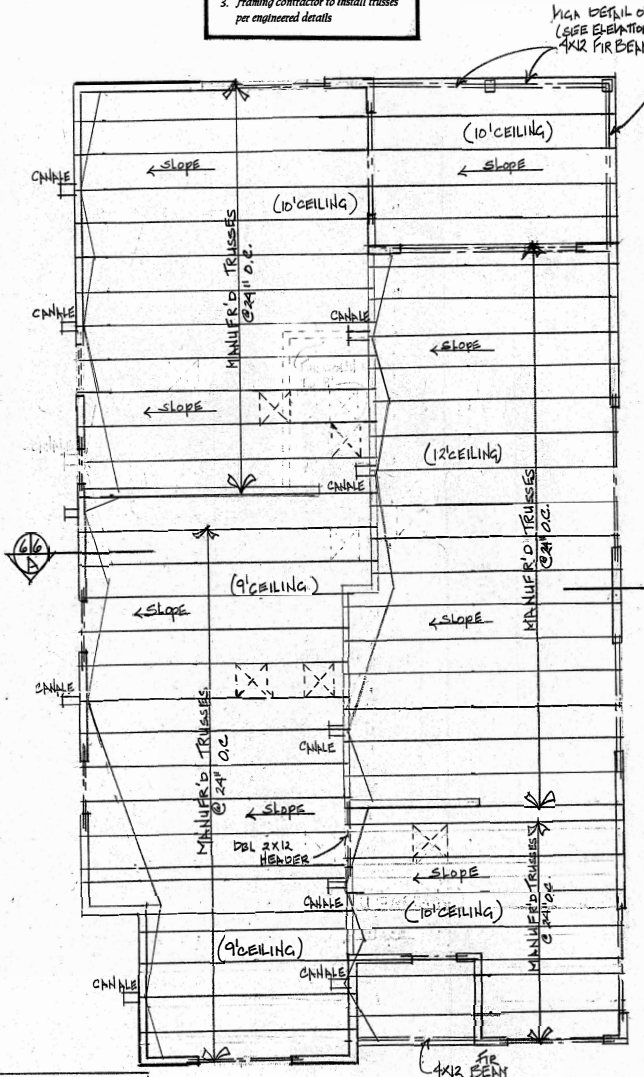
33 8"x6" MONO VENTS

General Notes

1. Dimensions take precedence over scale
2. Truss manufacturer to review JTDAC class in trusses with contractor before building trusses & providing engineered details
3. Framing contractor to install trusses per engineered details

Foundation Notes

1. All concrete to have an ultimate compressive strength of 3000 P.S.I. @ 28 days
2. All stem walls fully grouted
3. All wood columns to have approved connectors & be 1" from top of slab.
4. Anchoring 1/2"x10" min. bolts 6" OC max. & within 12" from end of plate, run set @ 24" OC exterior bearing. Ram setting not allowed over CMU stem walls.
5. Foundation insulation to be 2"x24" R10 min. at exterior perimeter of heated space & at garage/porch wall. Wood floors require a min. of R19 insulation. Insulation shall extend from top of slab 24" down or continue horizontally under slab for a total of 24".
6. All exterior footings below frost line 18" min. unless specified where climate is colder @ 22" deep.
7. All rebar shall have minimum 20' lap splices.
8. CMU walls width, bond beams, girder pockets, joint reinforcement @ 16" OC. Vertical reinforcement @ 40" OC max.
9. Floors with crawl space clearance to be 18" to wood joists, 12" to wood girder, min. access to be 18"x24", min. venting 1 sq. ft. per 150 sq. feet of under floor area.
10. Bottom of footing transfers to be undisturbed or compacted to 95% of max. density.
11. Concrete contractor is responsible for ensuring that all under-slab systems are in place prior to pour.
12. Anchor bolts to be 1/2"x10" long and installed 6" on center max. of 12" from corners. Min. 2 bolts per plate unless otherwise specified.

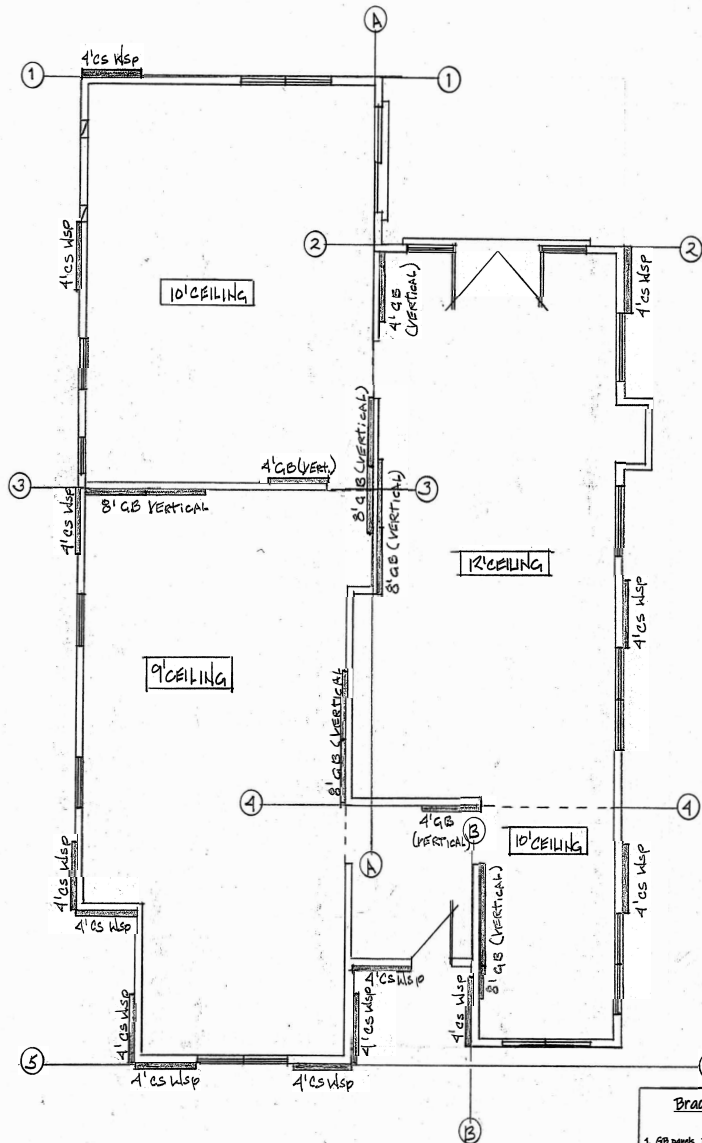


ROOF FRAMING PLAN
1/4" = 1'-0"

Roof Framing Notes

1. Trusses to be engineered by truss manufacturer & taped to roof framing plan.
2. 1/2" plywood or water wood decking w/ lips @ 24" OC top. Unless noted
3. All trusses shall be securely braced during setting and after permanent installation in accordance with (BWT-76) as published by the truss plate institute
4. Lateral bracing to be installed in accordance with TPI/HBI standards
5. Provide Simpson HZ-5 hurricane ties at all truss or joint to Top Plate connections.
6. Install all Simpson Strong Tie Connectors per mfr. Specifications or as specified by engineer.
7. Fire blocking shall conform to the IRC 2015 Section R602.5
8. Plywood/water wood roof and wall sheathing shall be structural and manufactured with exterior glue.
9. Squash blocks to be added to both sides of TJI's at a distance of 1/4" longer than TJI's (210 DP series and above. Only)
10. Verify with Truss Mfr. Exact quantity of purlins of each girder truss prior to construction of roof frame
11. All I-joints to be truss joint engineered wood products or equal unless otherwise noted
12. Builder shall confirm that adequate transfer of loads is provided for all beams, headers and girders. Loads shall transfer down directly to foundation below and all areas shall be blocked and supported as required.

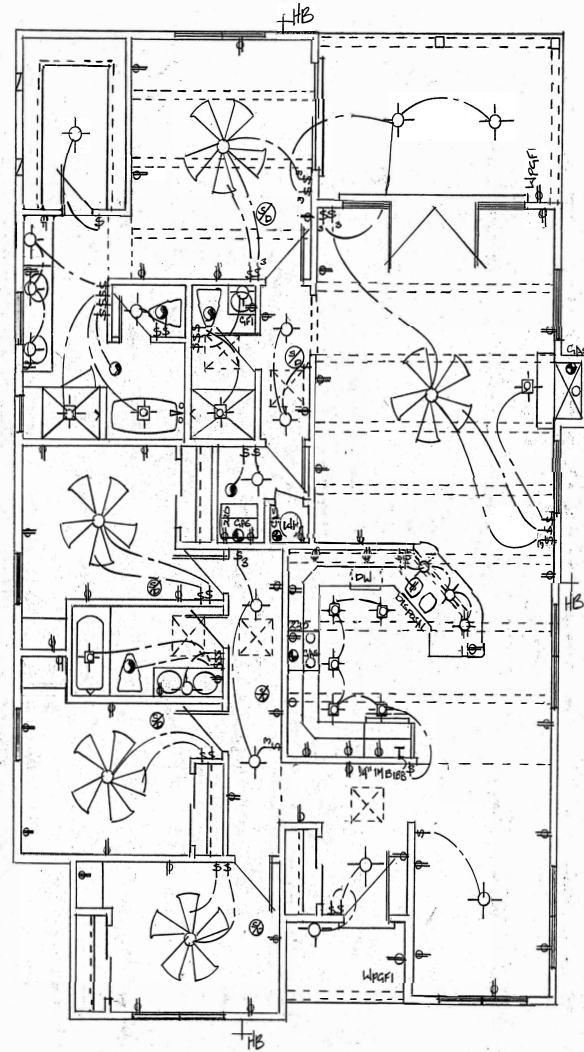
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8/18/2021



BRACING PLAN

1/4" = 1'0"

- Bracing Notes**
- 6x6 panels. Fasten every 7" on edges, including top and bottom and 7" in field with Ep nuts.
 - CS-WSP panels, fasten every 6" on edges and 12" in field. With Ep nuts.
 - Wall bracing at corners and 20' max between panels.
 - Walls less than 8' do not require braced panels.
 - Interior braced panels to be vertical and have bracing every 4' top to bottom.



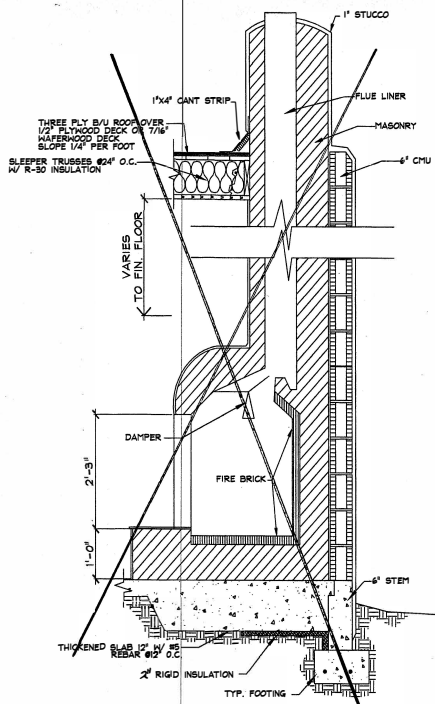
ELECTRICAL PLAN

1/4" = 1'0"

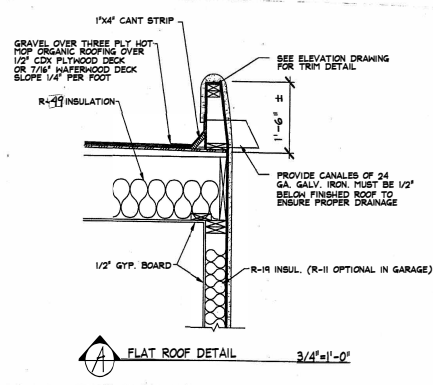
- Electrical Notes**
- Provide ground fault protection to all kitchen, bathroom, garage and exterior (except refrigerator and freezer outlets).
 - 120V double receptacle under counter for dishwasher, garbage disposal, and trash compactor.
 - All smoke detectors shall sound an alarm in all sleeping areas in both a battery backup. Smoke alarms shall not be installed less than 5' from the door or opening of a bedroom (2014.5.3).
 - Smokeless fans greater than 12" x 24" and all pressure washers to have at least one resettable outlet.
 - All lights over tubs and showers to be waterproof and GFI protected.
 - Any GFI interruption protection to all habitable rooms per NEC 220.17.
 - Fluorescent or compact fluorescent luminaires in laundry rooms, closets and garages (integrated or detached) per NEC 520.1.
 - Tasked lighting rated 10' insulation contact and dirtlight.
 - Weather resistant type 15 and 20 amp receptacles in damp and wet areas per NEC 220.17.
 - One third of outdoor lighting to be in a sensor or timer to comply with the Higher Code The better part.
 - Provide 1 1/4" non-fluorescent fluorescent luminaires to suit for photo voltaic wiring.
 - Tamper resistant receptacles per NEC 220.17.
 - The minimum clearance between luminaires installed in clothes closets and the nearest point of a clear entrance shall be as follows:
 a) 12" for surface mounted luminaires with a completely enclosed light source installed on the wall above the door or on the ceiling.
 b) 6" for surface mounted fluorescent luminaires less than 4' on the wall above the door or on the ceiling.
 c) 6" for recessed beam, incandescent or LED luminaires with a completely enclosed light source installed in the wall or the ceiling.
 - Final Electrical plan to be determined between the electrician/contractor and the homeowner.

- NOTES:**
- SMOKE DETECTORS TO BE CHEERFUL MONOXIDE COMBO
 - COMBO UNIT TO BE PLACED ON ROOF W/ SCREWING TO HIDE VIEW FROM STREET.

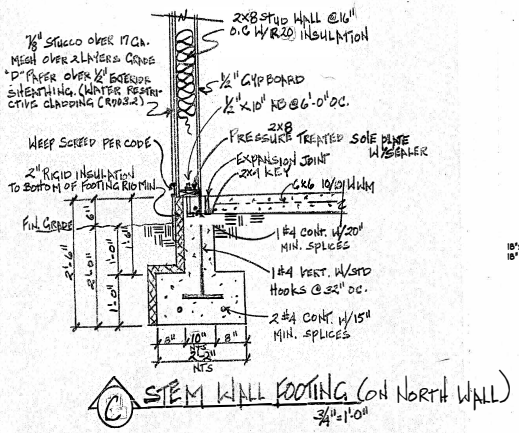
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8/18/2021



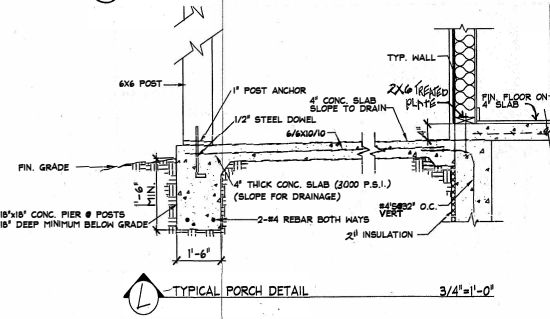
K TYPICAL SILL DETAIL



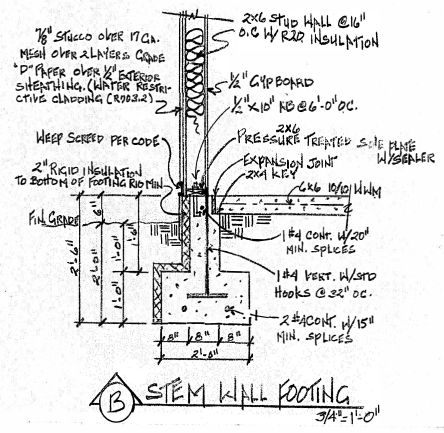
A FLAT ROOF DETAIL 3/4" = 1'-0"



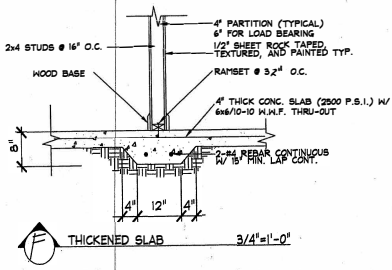
C STEM WALL FOOTING (CON NORTH WALL) 3/4" = 1'-0"



L TYPICAL PORCH DETAIL 3/4" = 1'-0"



B STEM WALL FOOTING 3/4" = 1'-0"



F THICKENED SLAB 3/4" = 1'-0"

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8/18/2021



View Point A. Point of Reference (highest elevation point)



View Point B.



View Point C.



View Point D.



View Point E.



View Point F.



Looking toward Point G which is steaked and flagged in the northwest corner of the property



View Point H.

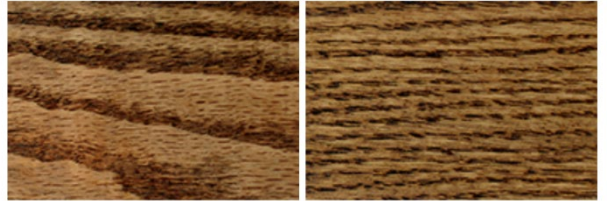


Full layout view



Sahara
135 (35)

Figure 1. Stucco Color – Sahara



Early American 230

Provincial 211



Aged Barrel 283



Red Oak 215

Figure 2. Minwax Stain Color - Provincial



Figure 3. Window with divided light, inset and lintel beam





Figure 4. Beam, latillas, brick stairs & hand rail



Figure 5. Canales



Figure 6. HVAC Screening w/ parapet and coyote fence



Figure 7. Upper and lower level looking SW from road



Figure 8. Location of west retaining wall looking north



Figure 9. Rock retaining wall and eastside of brick stairs.



Figure 10. Stairs from parking area w/ rock façade.
We will construct brick steps

Quoizel Breittling 18-in H Matte Black Medium Base (E-26)
Outdoor Wall Light
Item #1479171 Model #LWS3747B



Figure 11. Exterior lighting



Figure 12. Perimeter wall with step down towards street

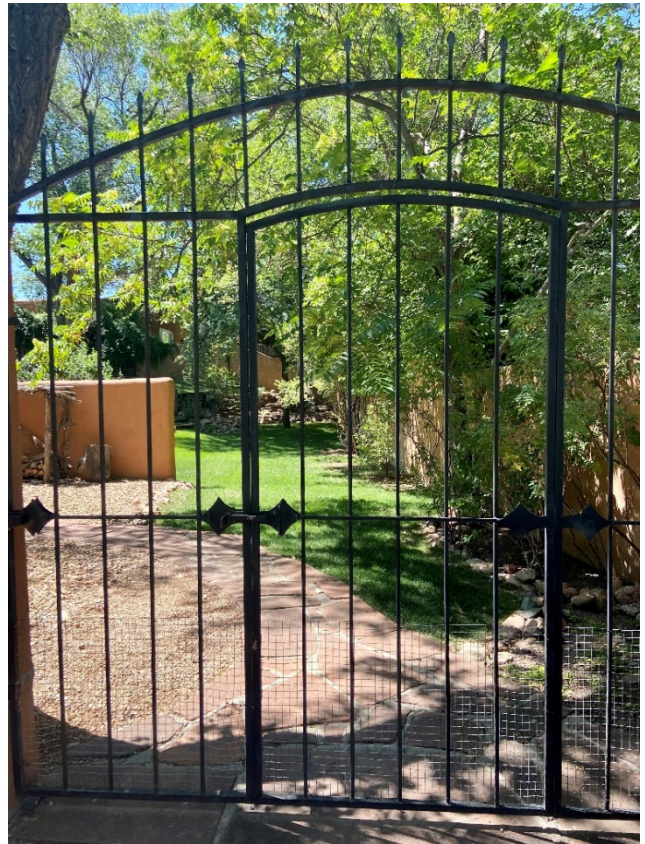


Figure 13. Wrought iron gate



Figure 14. Location of parking spots

To whom it may concern:

This letter is in reference to the proposed construction of a home at **344 Camino Cerrito**.

My name is Edward A. Trujillo and my property is adjacent the west boundary of both Padilla properties (Paul Padilla and Felipe Padilla).

My main concern is the height of the north footing. It's apparent that their plan is to build the house at the same elevation as the south side of the property.

Please note that all adjacent properties were terraced and were historically farmed. An acequia bordered the upper south side of the property and water was diverted to irrigate the two terraces of the proposed construction site.

Before the property was sold to Mr. Paul Padilla, Mr. Felipe Padilla back filled the upper terrace to improve parking.

Also, please note that all the houses on Camino Cerrito confirm to the natural terrain and sloped elevation.

I am hoping and proposing that the back fill material be removed and graded as close as possible to the initial terraces.

If you view my property to the west, the terraces still exist. The construction methodology should follow the historic type construction method as the homes on Camino Cerrito.

I am hoping the Historic Preservation board and the City's Landuse Dept. apply the building code that addresses type of sloping terrace lands.

Due to the building site being 5,700 \pm sq. ft., a grading and drainage plan should be provided and be explained to all adjacent property owners.

Sincerely,


Edward A. Trujillo

Edward A. Trujillo
1067 1/2 Camino San Acacio
Santa Fe, N.M. 87505

EAT/

G. OLD BUSINESS

1. 2021-004162-HDRB. 344 Camino Cerrito. Downtown and Eastside Historic District. Paul and Mariana Padilla, owners and agents, propose to construct a 2000 sq.ft. residence on a vacant lot and requests an exception to 14-5.2(D)(9) to build to a height of 18'-9" where the maximum allowable is 15'-3". (Daniel Schwab, dnschwab@santafenm.gov)

Name: Carter Beckworth

Comment - 10/25/2021 03:29 PM: (Against)

This comment is submitted by legal counsel on behalf of Felipe Padilla, who is the owner of 348 Camino Cerrito, which adjoins 344 Camino Cerrito, to provide Mr. Padilla's objections to the proposed construction plans pertaining to this matter.

Over fifty (50) years ago, members of Mr. Padilla's family created the parking area along the boundary between 344 Camino Cerrito and 348 Camino Cerrito by filling in the area with dirt to level the grade. Because this area has been continuously and openly used for parking for over 50 years, Mr. Padilla claims a prescriptive right to such use. Mr. Padilla therefore requests that the south side of the perimeter wall be relocated to the area that is five (5) feet to the north of the property line.

Mr. Padilla further requests that the proposed plans for the construction be revised to require excavation of the portion of the lot where the grade has been altered to ensure that construction of the proposed structure's southern facade is to begin at the level of the natural grade.

Mr. Padilla also respectfully requests that the Board require the plans for the proposed construction to be revised to reflect that the proposed structure shall be built as a multi-level building in conformity with the streetscape, as characterized by the topography of Camino Cerrito and the terraced design of the surrounding homes.

Finally, Mr. Padilla requests construction fence be erected between Tract 2 and Tract 3 prior to the commencement of any construction.

Sincerely,

Carter Beckworth
Associate Attorney
Hays & Friedman, P.A.
530-B Harkle Road
Santa Fe, NM 87505
P: (505) 989-1434



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004296--HDRB

Project Description:

Project Location(s): 638 GOMEZ RD
Santa Fe, NM 87505

Contacts:

Applicant: Daniel Lujan
612 Old Santa Fe Trail
Santa Fe, NM

daniel@archallinc.com

Property Owner: Laura Hamilton

laurahamilton638@gmail.com

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number: 1995

Year of Construction:

Project Type: Primary Elevation Designation

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 26, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004296-HDRB

Address: 638 Gomez Street
Historic Status: Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other: window documentation

STAFF RECOMMENDATION:

Staff recommends designating the east façade as primary.

BACKGROUND & SUMMARY:

638 Gomez Street is a single-family residential structure with contributing status to the Don Gaspar Area Historic District. The applicant requests designation of primary facades.

It was constructed between 1940 and 1942 in a Spanish Pueblo Revival Style. A garage was added after 1968 on the north side and re-stuccoed in 1991. The structure faces East onto Gomez with a yardwall lining the street.

The windows are all historic except for numbers 7 and 8, which are located at the west, rear of the house.

In the view of staff, the massing, portales and windows of the east façade are character defining. The chimney massing on the south elevation is also a character defining feature and is recommended by staff to be preserved as an individual element.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995

IDENTIFICATION	ADDRESS: <u>638 Gomez</u>	ID NUMBER: 0516 00561	
	UTM REFERENCE EASTING NORTHING	LEGAL DESCRIPTION:	BUILDING NAME:
	ZONE 12 13	TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>25</u> NW 1/4 NW 1/4	SANTA FE ID NUMBER: <u>H2207</u>
BUILDING DATA	FIELD MAP Santa Fe Historic Structures Survey, 1983-85/1992		
	DATE OF CONSTRUCTION: ESTIMATE ^{by} <u>1942</u> ACTUAL		
	SOURCE(S) <u>city directory</u>		
	ARCHITECTURAL STYLE: <u>Spanish Pueblo Revival</u>		
BUILDING DATA	USE:		
	HISTORIC: <u>residential</u>		
	OTHER _____		
	PRESENT: <u>residential</u>		
OTHER _____			
SURROUNDINGS: <u>residential</u>	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR	<p>#26 east</p> <p>addition</p> <p>Gomez R7</p> <p>covered patio</p> <p>29'</p> <p>28'</p> <p>130'</p> <p>Anita (unpaved) 25'</p> <p>1/4" = 10' N</p>	
ASSOCIATED BUILDINGS ON SITE: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
WHAT TYPE?			
IF INVENTORIED, LIST ID NUMBER(S)			
DEGREE OF REMODELING: <input type="checkbox"/> MINOR <input checked="" type="checkbox"/> MODERATE <input type="checkbox"/> MAJOR <u>garage & room added</u>	EXPLAIN: <u>some windows replaced</u>	<p>LISTED ON NATIONAL REGISTER OF HISTORIC PLACES?</p> <p><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE</p> <p><input type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LISTED ON STATE REGISTER OF CULTURAL PROPERTIES?</p> <p><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> ELIGIBLE</p> <p>LOCAL DESIGNATION: <u>Don Gaspar</u> HISTORIC DISTRICT</p> <p><input type="checkbox"/> SIGNIFICANT <input checked="" type="checkbox"/> CONTRIBUTING <input type="checkbox"/> NON-CONTRIBUTING</p> <p>LOCAL LANDMARK <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</p>	
OVERALL CONDITION: <input checked="" type="checkbox"/> EXCELLENT <input type="checkbox"/> GOOD <input type="checkbox"/> FAIR <input type="checkbox"/> DETERIORATED			
BUILDING THREATENED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			

SURVEYED 6/95 BY DB

NEGATIVES WITH NMHPD ROLL # DB5 NEG # 25 TO 30

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION

ROOFS & DRAINS	flat with rounded parapet, stepped down for porch & garage, metal canales; shed roof on utility room, SW
BUILDING WALLS	tan stucco over adobe
FOUNDATIONS	not visible - hardwood floors
DOORS	wood plank with small upper light, wood grille wood panel with 4 upper lights wood plank
WINDOWS	6/6 wood DHWs, metal storm windows 6/9 wood DHWs, 4/4 wood DHWs, steel casements replacement 1/1 clad DHWs, w on addition
PORCHES OR PORTALES	center E - portal with wood beams & corbels, stucco parapet, metal canale W - awning with wood fascia, round post
BALCONIES ↓	covered patio, N - stucco wall rear, wood posts & beams
COURTYARDS	
FENCES/WALLS	6' stucco wall around yard with wood door/gate, E (new); coyote fence around yard, W
ARCH. DETAILS	wood lintels, stucco chimney
OTHER	garage attached NE - flat roof, wood door with wood lintel, wood panel entry door with 4 small upper lights.
COMMENTS	Garage and room behind added after 1968. Privacy wall obscures house from street. Some replacement windows on W.

ADDITIONAL PHOTOGRAPHS



#27 northeast

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION	ADDRESS	ID NUMBER: 0516 00561
	638 Gomez	SANTA FE ID NUMBER: H2207
		SURVEYED/RESEARCHED DATE 6/95 BY DB



28 west, N end



29 west, S end

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1995 (concluded)

IDENTIFICATION

ADDRESS

638 Gomez

ID NUMBER: 051600561

SANTA FE ID NUMBER: H2207

SURVEYED/RESEARCHED

DATE 6/95 BY DB



#25 south elevation



#3 east center

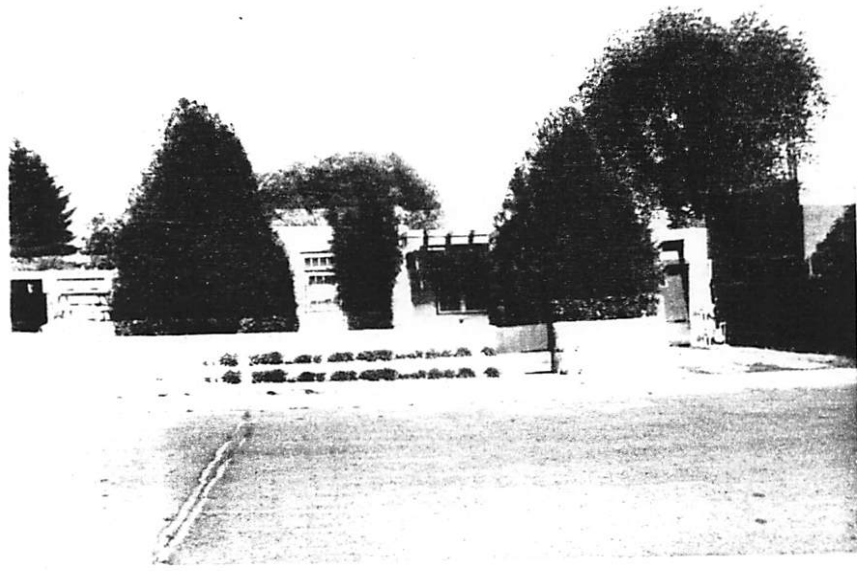
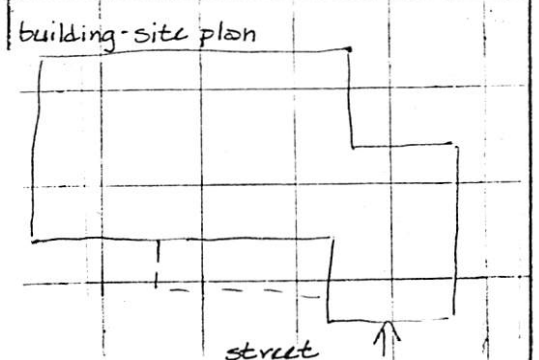
NEW MEXICO HISTORIC BUILDING INVENTORY FORM

H2207

building threatened? yes	surveyed date 8-52 by E.T.	county Santa Fe	ID no. 051600
field map number Don Gaspar Neighborhood 561	UTM reference zone 12 13	easting 444400	northing 277500
location description 638 Gomez		city/town Santa Fe	
		land grant/reservation	

building name	legal description t n s p N S range E W sec $\frac{1}{2}$ $\frac{1}{2}$
---------------	--

film roll by E.T. no. 18	negative nos. 21	loc. of neg. City of Santa Fe
--------------------------	------------------	-------------------------------



date of construction 1940	estimate	actual
source		

use present residential
other
historic residential
other

condition excellent	good
fair	deteriorating

degree of remodeling X minor	moderate	major
describe:		

style Pueblo Revival	foundation material n/a
	wall material/surface stucco/adobe

architectural features parapet canals porch w/ gas corbels attached garage wd d/h 6-6

surroundings N/S

relationship to surroundings X similar	not similar
---	-------------

district potential X yes	no
-----------------------------	----

significance significant	contributing
X supporting	intrusive

comments 3' stucco wall large trimmed junipers
--

associated buildings? yes	what type?
---------------------------	------------

if inventoried, list ID nos.

1968 Don Gaspar Neighborhood

see back? yes



September 28, 2021

VIA HAND DELIVERY

City of Santa Fe
Historic District Review Board
200 Lincoln
Santa Fe, NM 87501
Attn: To whom it may concern

RE: To determine historic primary facades on 638 Gomez Rd

Dear Board Members:

Attached are the documents needed for the board to review and determine primary facades. We are providing photos and the following list of changes on the house.

List of changes in chronological order:

- Date of construction of original house: Between 1940-1942
- Addition and garage added after 1968
- Most windows changed on west elevation, refer to photos.
- Restuccoed in 1991

Thank you for your time and review. Please contact us if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Eric Enfield".

Eric Enfield, AIA
ARCHITECTURAL ALLIANCE, INC.

Cc: Laura Hamilton

File

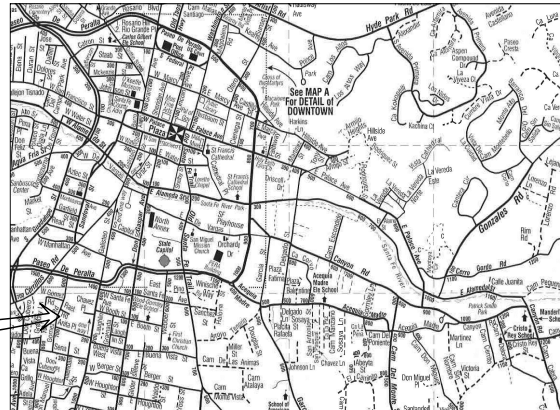
REMODEL TO EXISTING RESIDENCE

638 Gomez Road
Santa Fe NM, 87505

Building Code Information

2015 IRC-SINGLE FAMILY HOME

OWNER: Laura Hamilton
 ZONING: R-21
 CONSTRUCTION TYPE: Type V-A
 HISTORIC DISTRICT: DON GASPAR AREA
 SETBACKS: FRONT= 7'-0" (20'-0" @ GARAGE FACING STREET)
 SIDE= SINGLE STORY= 5'-0"
 REAR= 15'-0"
 PARKING REQUIREMENTS: (2) PER RESIDENCE, (2 PROVIDED)
 ALLOWABLE BUILDING HEIGHT: 24'-0"



SITE

Drawing Index

- C-0 COVER SHEET
- C-1 SITE PLAN
- A-1 EXISTING FLOOR PLAN
- A-2 EXISTING ELEVATIONS

Vicinity Map



612 OLD SANTA FE TRAIL
 SANTA FE, NEW MEXICO 87501
 Telephone: 505-988-5269
 FAX: 505-986-1270

WEBSITE: www.archallinc.com

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 CONTRACTOR TO VERIFY
 ALL EXISTING CONDITIONS AND
 DIMENSIONS. NOTIFY ARCHITECT
 OF ANY DISCREPANCIES PRIOR
 TO BEGINNING CONSTRUCTION

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HISTORIC REVIEW SET DRAWINGS
 DRAWINGS DATED: SEPTEMBER 28, 2021
 ARCHITECT'S PROJECT NUMBER 21-08

638 GOMEZ ROAD

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NO.	REVISIONS/SUBMISSIONS	DATE

STAMP

PROJECT TITLE
GOMEZ ROAD REMODEL

638 GOMEZ ROAD
SANTA FE, NM 87505

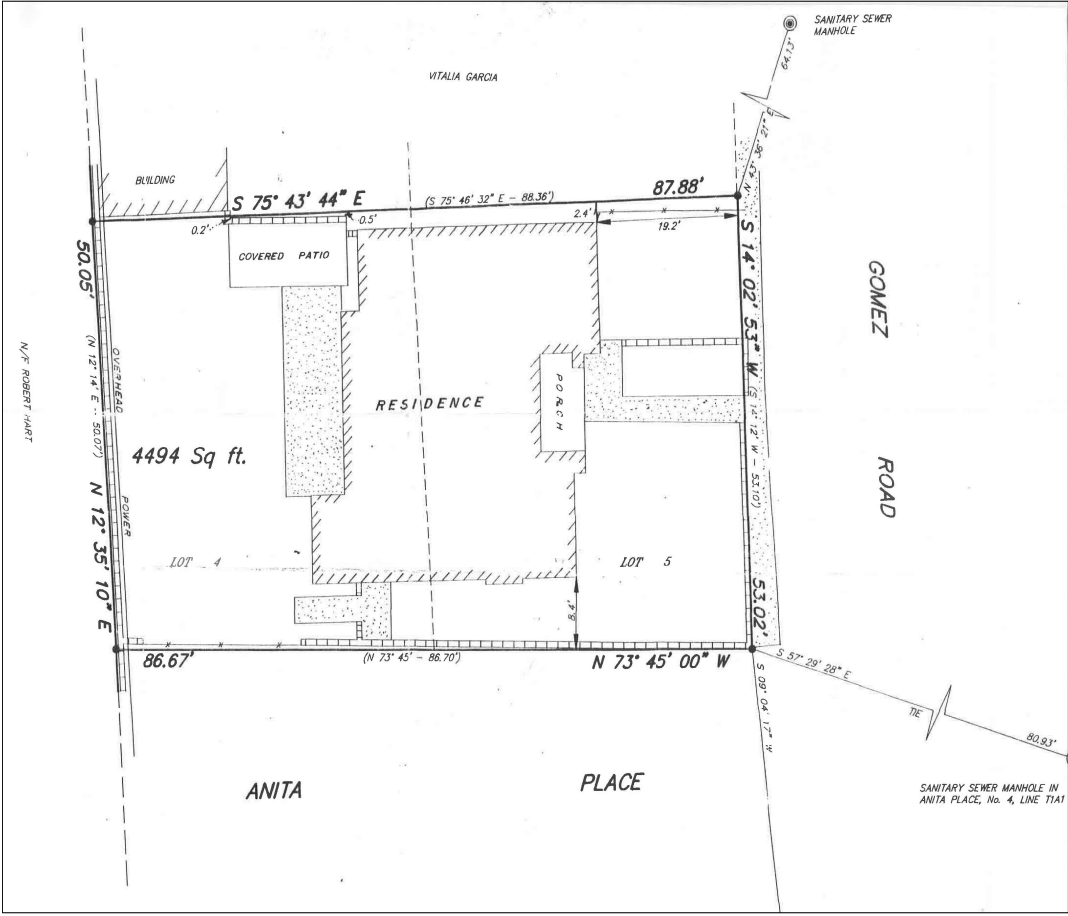
PROJECT NO. 21-08

CHECKED BY EE DATE 06/30/21

DRAWN BY JH DATE 06/30/21

SHEET TITLE
SITE PLAN

SHEET NO.
C-1



SITE PLAN

SCALE: 1/8" = 1'-0"



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NO.	REVISIONS/SUBMISSIONS	DATE

STAMP

PROJECT TITLE

GOMEZ ROAD REMODEL

638 GOMEZ ROAD
SANTA FE, NM 87505

PROJECT NO. **21-08**

CHECKED BY: EE DATE: 06/01/21

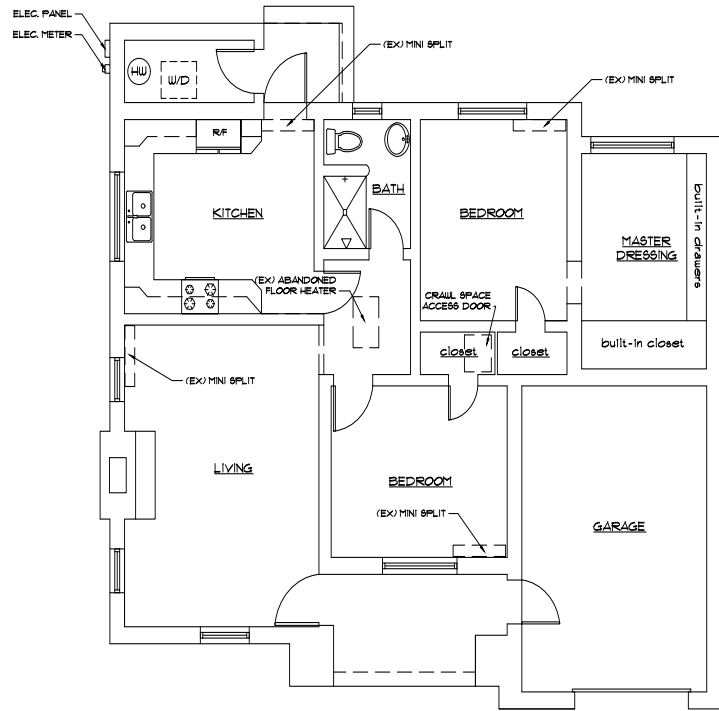
DRAWN BY: JH DATE: 06/01/21

SHEET TITLE

EXISTING FLOOR PLAN

SHEET NO.

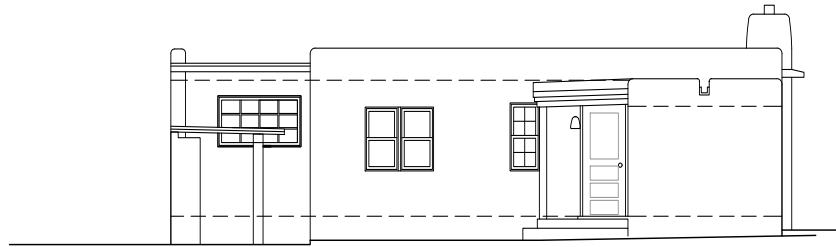
A-1



EXISTING FLOOR PLAN

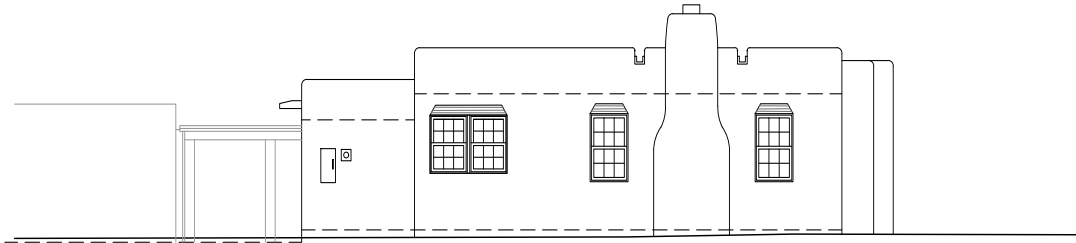
SCALE: 1/4" = 1'-0"





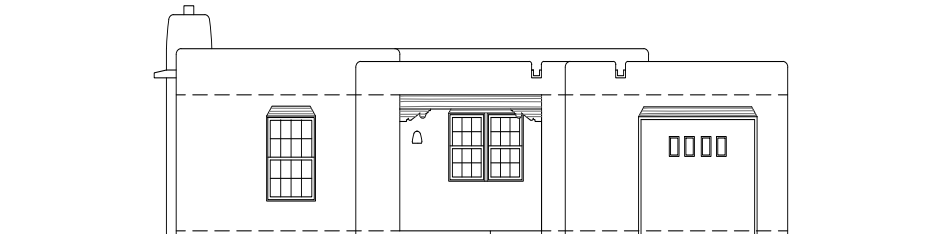
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



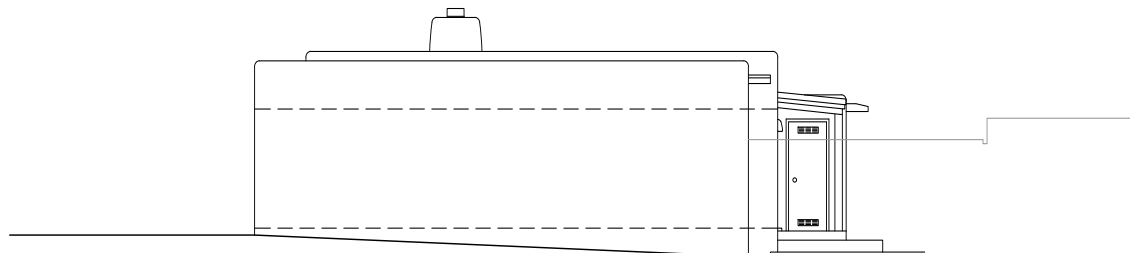
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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NO.	REVISIONS/SUBMISSIONS	DATE

STAMP

PROJECT TITLE
GOMEZ ROAD REMODEL

638 GOMEZ ROAD
SANTA FE, NM 87505

PROJECT NO. **21-08**

CHECKED BY **EE** DATE **06/01/21**

DRAWN BY **JH** DATE **06/01/21**

SHEET TITLE
EXISTING ELEVATIONS

SHEET NO.
A-2



Partial East Elevation



612 OLD SANTA FE TRAIL
SANTA FE NEW MEXICO 87505
Telephone 505-988-5269
FAX 505-986-1270
WEBSITE www.archallinc.com

638 Gomez Road

Historic Design Review Board Photographs



Partial east and south elevations

638 Gomez Road
Historic Design Review Board Photographs



Partial east elevation

638 Gomez Road
Historic Design Review Board Photographs



Partial east elevation

638 Gomez Road

Historic Design Review Board Photographs



Partial south elevation

638 Gomez Road

Historic Design Review Board Photographs



Partial west elevation

638 Gomez Road

Historic Design Review Board Photographs

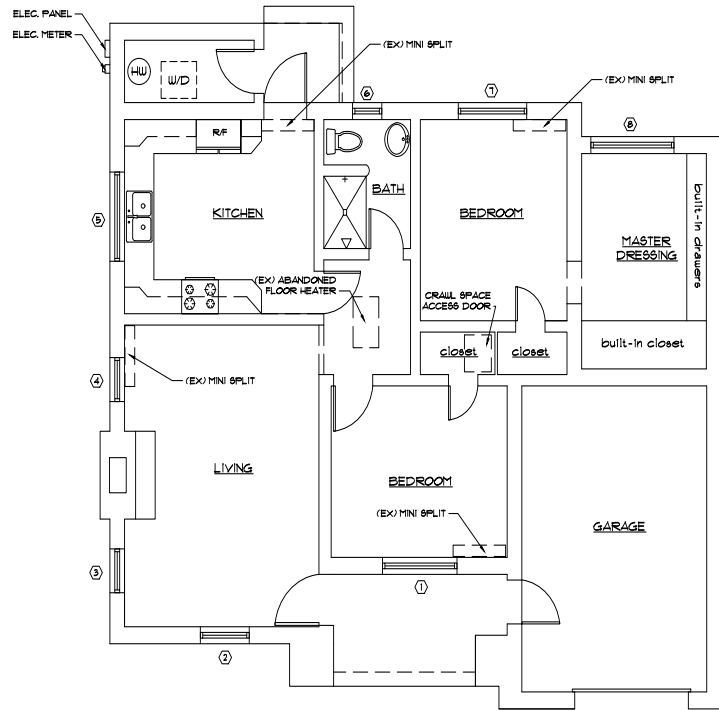


Partial west elevation

638 Gomez Road
Historic Design Review Board Photographs



North elevation



EXISTING FLOOR PLAN W/ WINDOW TAGS

SCALE: 1/4" = 1'-0"



DO NOT SCALE DRAWINGS
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ALL EXISTING CONDITIONS AND
DIMENSIONS - NOTIFY ARCHITECT
OF ANY DISCREPANCIES PRIOR
TO BEGINNING CONSTRUCTION

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NO.	REVISIONS/SUBMISSIONS	DATE

STAMP

PROJECT TITLE
**GOMEZ ROAD
REMODEL**

638 GOMEZ ROAD
SANTA FE, NM 87505

PROJECT NO.
21-08

CHECKED BY	EE	DATE	10/04/21
DRAWN BY	JH	DATE	10/04/21

SHEET TITLE
**EXISTING
FLOOR PLAN W/
WINDOW TAGS**

SHEET NO.
A-1

638 Gomez Road

Historic Design Review Board Photographs



East elevation w/
windows #1 and #2

638 Gomez Road
Historic Design Review Board Photographs



East elevation from 1995

638 Gomez Road

Historic Design Review Board Photographs



South elevation

638 Gomez Road
Historic Design Review Board Photographs



South elevation 1995

638 Gomez Road
Historic Design Review Board Photographs



Partial east elevation w/ windows
#1 and #2

638 Gomez Road
Historic Design Review Board Photographs



Partial east elevation from 1995
w/ windows #1 and #2

638 Gomez Road

Historic Design Review Board Photographs



Partial west elevation w/ windows #6,
#7 and #8

638 Gomez Road
Historic Design Review Board Photographs



Partial west elevation from 1995 w/
windows #6, #7 and #8

638 Gomez Road
Historic Design Review Board Photographs



Partial east elevation w/ windows #6 and #7

638 Gomez Road

Historic Design Review Board Photographs



Partial west elevation from 1995 w/
windows #6 and #7

638 Gomez Road

Historic Design Review Board Photographs



window #1

638 Gomez Road
Historic Design Review Board Photographs



Window #2

638 Gomez Road
Historic Design Review Board Photographs



Window #3

638 Gomez Road
Historic Design Review Board Photographs



Window #4

638 Gomez Road

Historic Design Review Board Photographs



Window #5

638 Gomez Road
Historic Design Review Board Photographs



Window #6

638 Gomez Road
Historic Design Review Board Photographs



Window #7

638 Gomez Road
Historic Design Review Board Photographs



Window #8

638 Gomez Road

Historic Design Review Board Photographs



Garage door condition

638 Gomez Road
Historic Design Review Board Photographs



Garage door condition

638 Gomez Road

Historic Design Review Board Photographs



Garage door condition



NOTICE
PROPERTY OF [illegible]
[illegible]





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004294--HDRB

Project Description:

Project Location(s): 1126 CAMINO DELORA 1/2
Santa Fe, NM 87505

Contacts:

Applicant: Marc Naktin
1305 Lujan Street
Santa Fe, NM 87505

MARCNACTIN@GMAIL.CO

Property Owner: James Ortega

ortega007@roadrunner.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number: N/A

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 26, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004294-HDRB

Address: 1126 ½ Camino Delora
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

1126 ½ Camino Delora is a non-contributing property in the Downtown and Eastside Historic District. The lot slopes up from the road and currently there exists a wire fence set about 3 feet back from the road.

The applicant now proposes to construct two walls, one behind the other running parallel to the road. The lower wall will be constructed to a height of five feet, which is the maximum allowable height, and the second to a height of three feet. The second wall will sit four feet behind the first. They will be finished with cementitious stucco, colored El Rey “Desert Rose” to match similar walls constructed closer to the residential structure.

Proposed new YARD WALL – 1126 ½ Camino Delora

The owner proposes to build a yard wall on the property line along Camino Delora.

The intention is to beautify the street elevation, stabilize the existing erosion which is barely being contained by the wire fence which is falling down.

The wall will be tiered due to the steepness of the slope it will support.

This will match the existing yard wall around the existing residence.

The lower tier along Camino Delora will not exceed the 5'-0" limit, however, it will vary between 4 and 5 feet as it steps to follow the natural slope down the street.

The upper tier, which will be behind it by four feet, will not exceed 3'-0" and also follow the natural slope.

Construction will be core filled concrete block with stucco built to prevent the block courses from transmitting through the stucco.



INSPECTION WORKSHEET (VISIT-046683-2021) FOR CITY OF SANTA FE

Case Number:	2021-003784--PAR	Case Module:	Plan
Inspection Date:		Inspection Status:	Requested
Inspector:	Daniel Schwab	Inspection Type:	Site Visit, Drive-By or On-Site Evaluation
Job Address:	1126 Camino Delora 1/2 Santa Fe, NM 87505	Parcel Number:	99309583

Contact Type	Company Name	Name
Applicant	Octane Architecture	Marc Naktin

Checklist Item	Results	Comments
General Comments - Checklist item used to track general comments, not specific to any other checklist item	Pass	DTES -HD. no walls on street at this property. Sloping site, upward away from street. Not in escarpment overlay.
General Comments - Checklist item used to track general comments, not specific to any other checklist item	Pass	Proposed: Yardwall at street.
General Comments - Checklist item used to track general comments, not specific to any other checklist item	Pass	Max allowable height: 5 ft 2 inches. Board application required.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:	
Date Submitted: <u>9/13/21</u>		<u>1126 1/2 CAMINO DELORA</u>	
Property Owner of Record: <u>JAMES ORTEGA</u>		Proposed Construction Description:	
Applicant/Agent Name: <u>MARC NAKTIN</u>		<u>YARD WALL</u>	
Contact Person Phone Number: () <u>5054901863</u>		TOTAL ROOF AREA:	
Zoning District: <u>HISTORIC EAST SIDE</u>		Lot Coverage: <u>21</u> %	
Overlay: <input type="checkbox"/> Escarpment <u> </u> <input type="checkbox"/> Flood Zone* <u> </u> <input type="checkbox"/> Other: <u> </u>		<input type="checkbox"/> Open Space Required: <u> </u>	
Submittals Reviewed with PZR:		Setbacks:	
<input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Proposed Front: <u>ON LOT LINE</u> Minimum: <u> </u> 2 nd Front? <u> </u>	
Supplemental Zoning Submittals Required for Building Permit:		Proposed Rear: <u> </u> Minimum: <u> </u> Proposed Sides: L <u> </u> R <u> </u> Minimum: <u> </u>	
<input type="checkbox"/> Zero Lot Line Affidavit		Height: Proposed <u>5'-0" @ STREET</u> Maximum Height: <u>5'-0"</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Parking Spaces: Proposed <u>NA</u> Accessible <u>NA</u> Minimum: <u>NA</u>	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: <u> </u>		Bicycle Parking**: Proposed: <u>NA</u> Minimum: <u>NA</u>	
Terrain: <input type="checkbox"/> 30% slopes <u>NA</u>		** Commercial Requirement	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

MARC NAKTIN _____ [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____ DATE 9/13/21

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: / /

Flood Plain Approval by _____ Date: / /

Traffic Engineering Approval by _____ Date: / /

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: Donna Wynant DATE: 9/13/21

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.



HISTORIC DISTRICTS REVIEW BOARD APPLICATION

PROJECT LOCATION: 1126 1/2 CAMINO DE LOPE

HISTORIC DISTRICT: Downtown & Eastside Don Gaspar Area [] Westside-Guadalupe []
(from attached map) Historic Transition [] Historic Review [] Landmark (outside of historic districts) []

PROJECT PROPOSAL: NEW YARD WALL

CONSTRUCTION COST: \$ 20,000

BASE FEE: \$ _____ + EXCEPTION: \$ _____ + POSTER: \$ _____ = TOTAL: \$ _____

(base fee = 1/2 of 1% of construction cost, not to exceed \$2,000 and not less than \$250)

(each exception has an additional fee of \$350) (\$25 per poster with one (1) poster per street frontage)

OWNER: JAMES ORTEGA PHONE #: 626 429 2616

OWNER MAILING ADDRESS: 1126 1/2 CAMINO DE LOPE

CITY, STATE, ZIP CODE: SANTA FE, NM, 87501

EMAIL: ortega007@roadrunner.com

AGENT: MARC NAKTIN PHONE #: 505 490 1863

MAILING ADDRESS: 1523 TAOS STREET

CITY, STATE, ZIP CODE: SANTA FE, NM, 87505

EMAIL: marcnaktin@gmail.com

PREAPPLICATION MEETING: Date: 7/2/21 Case Planner: DANIEL SCHWAB

AFFIDAVIT TO AUTHORIZE SOLE AGENT

I am/We are the owner(s) and record title holder(s) of the property located at: 1126 1/2 CAMINO DE LOPE

I/We authorize MARC NAKTIN to act as my/our agent to execute this application.

Signed: [Signature] Date: 9/13/11

Printed Name: JAMES ORTEGA

I/We shall act as my/our own agent to execute this application.

Signed: _____ Date: _____

Printed Name: _____

AFFIDAVIT TO AUTHORIZE SOLE AGENT must be signed to be accepted.
Original form must be submitted with Historic Districts Review Board Application packet.
All documents submitted to the Historic Preservation Division are public record. HPD does not return documents.



DRIVEWAY ENTRANCE (PROPOSED CURVED /STEPPED WALLS)



DRIVEWAY ENTRANCE (PROPOSED CURVED /STEPPED WALLS)



MID PROPERTY LINE - EXISTING WIRE FENCE / EROSION



FULL PROPERTY LENGTH UP TO POWER POLE



EXISTING GARAGE

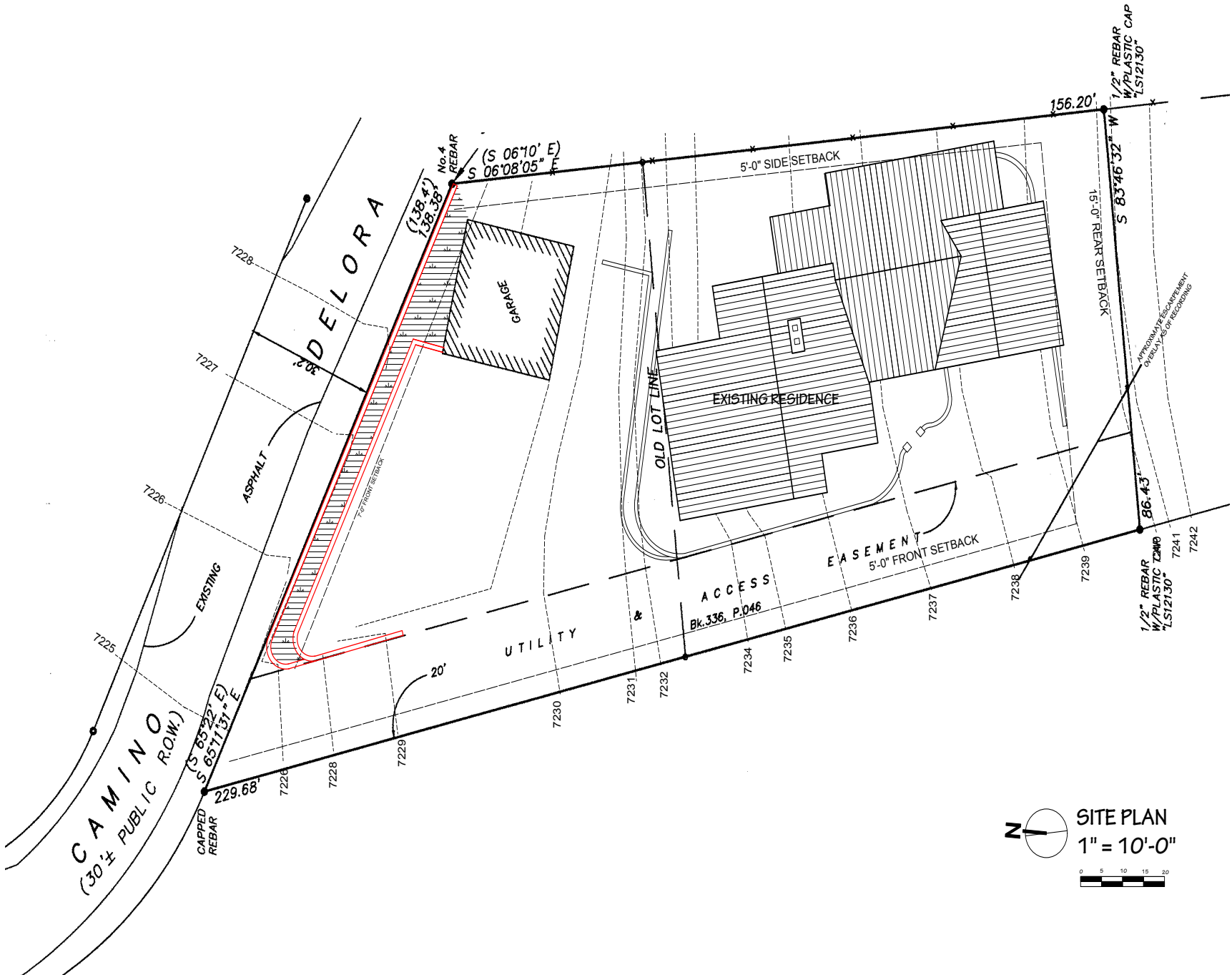


EXISTING WIRE FENCE SUPPORTING DIRT





"DESERT ROSE" STUCCO TO MATCH EXISTING
RESIDENCE AND YARD WALLS
PHOTO MAY VARY SLIGHTLY FROM ACTUAL

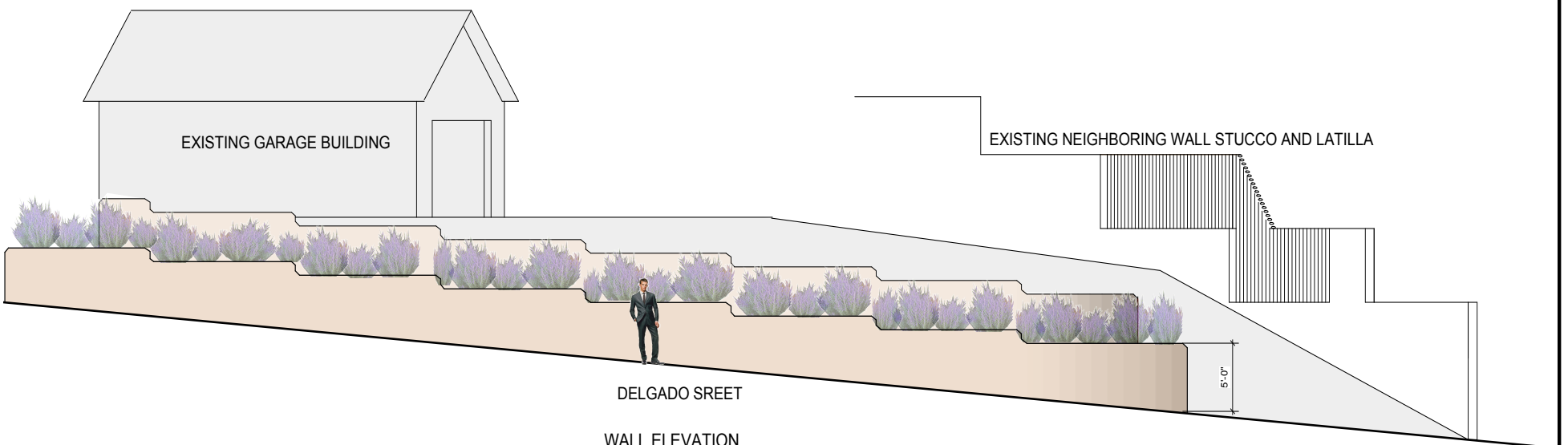


SITE PLAN
 1" = 10'-0"
 0 5 10 15 20

REVISION	DATE

Ortega Property Yard Wall
 1126 1/2 Camino Delora
 Santa Fe, NM

REVISION	DATE



EXISTING GARAGE BUILDING

EXISTING NEIGHBORING WALL STUCCO AND LATILLA

DELGADO SREET

5'-0"

WALL ELEVATION
1/4" = 1'-0"

VARIES WITH
TERRAIN

5'-0" MAX

3'-0"

4'-0"

STREET



SECTION THROUGH TIERED WALL
3/4" = 1'-0"

Ortega Property Yard Wall
1126 1/2 Camino Delora
Santa Fe, NM

A2



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004295--HDRB

Project Description:

Project Location(s): 540 GARCIA ST
Santa Fe, NM 87505

Contacts:

Applicant: Jay Jay Shapiro
90 LEAPING POWDER RD
SANTA FE, NM 87508

shapiro434@gmail.com

Property Owner: STAR VISTA LLC
29 STAR VISTA
SANTA FE, NM 87505

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: No

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 26, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004295-HDRB

Address: 540 Garcia Street
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall & fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other: previous HDRB case materials

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

540 Garcia Street is a single family residential structure of 476 square feet with non-contributing status to the Downtown and Eastside Historic District. The status was retained in case 2020-001332-HDRB on January 14th, 2020.

The applicant proposes the following:

1. "Addition A": Construct an addition of 91 square feet to the north of the existing structure and to the same height of the existing structure, 11 feet 6 inches.
2. "Addition B": Construct an addition of 613 square feet to the east of the existing structure. The height of the structure will be 14 feet 1 inch, which is the maximum allowable height. This will form a "c"-shaped structure with a north-facing courtyard in the middle.
3. A garden wall will be constructed to a height of six feet, which is the maximum allowable height, enclosing a courtyard facing north.
4. Cementitious stucco will be El Rey "Buckskin".
5. Windows will be Pella aluminum clad windows in "Forest Green" with simulated divided lights and will be set more than 3 feet from the corners.
6. Exterior lighting will be hammered copper downlights to the sides of 3 windows on the west elevation and one on each side of the courtyard entry gate and three on the south elevation.
7. The gate leading to the courtyard will be wood with a natural wood stain.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: <u>540 GARCIA STREET</u> <u>Santa Fe, NM 87501</u>
Date Submitted: <u>9/29/21</u>	Property Owner of Record: <u>STAR VISTA LLC</u>	Proposed Construction Description: <u>Remodel + ADDITION NEW CONSTRUCTION</u>
Applicant/Agent Name: <u>Jay Jay Shapiro</u>	Contact Person Phone Number: <u>505 699-6161</u>	TOTAL ROOF AREA:
Zoning District: <u>EAST SIDE DOWNTOWN</u>	Lot Coverage: <u>240%</u> <input type="checkbox"/> Open Space Required: _____	Setbacks: Proposed Front: <u>11</u> Minimum: <u>6</u> 2 nd Front? _____ Proposed Rear: <u>7</u> Minimum: <u>5</u> Proposed Sides: L _____ R _____ Minimum: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Height: Proposed <u>16'</u> Maximum Height: <u>16'</u> or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>1</u>
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Terrain: <input type="checkbox"/> 30% slopes <u>N/A</u>	Bicycle Parking**: Proposed: <u>2</u> Minimum: <u>1</u> ** Commercial Requirement

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Jay Jay Shapiro
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Jay Jay Shapiro

9/29/21
DATE

SIGNATURE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: _____ DATE: ___/___/___

da Silva Architecture
931 Shoofly St.
Studio H
Santa Fe, NM 87505
660 8012

17 December 2019

To: Historic Design Review Board
 City of Santa Fe
 Re: Proposed Building Remodel and Addition
 540 Garcia St., Santa Fe, NM, 87501

Property Background

Warranty Deed recorded on October 26, 1962 in the Office of the Santa Fe County Clerk as Instrument Number 260,383.

Plat of survey entitled "*Celine Garcia Living Trust Tract No. 3 Saturate at 521 Douglas Street and Gabriel and Caroline Garcia A Tract of Land Situate at 540 Garcia Street*" recorded in Book 850, Page 049 as Instrument Number 1889531, and approval of Certificate of Compliance as Legal Lot of Record as signed on 14 November 2019 by Noah Berke, Planner Manager for the City of Santa Fe, and recorded in the Office of the Santa Fe County Clerk on 15 November, 2019.

The property referenced above is in the Downtown and Eastside Historic District. There is one permanent structure on the property as well as a free standing metal storage shed. The date of construction is unknown for both structures. The permanent structure (existing single-family residence) is 500 square feet roofed. 405 square feet of adobe construction at a height of 10 ft. 2 in., with 95 square feet of wood frame construction previously added to the south side of the adobe structure at a height of 8 ft 6 in. There are concrete landings at both exterior doors (east and south elevations) measuring 12 square feet each. The building as a whole is in various stages of incompleteness and disrepair as follows: unfinished stucco grey coat, exposed rigid insulation, removed wood floors, and rotting wood floors and ceilings (at canales). The existing wood framed addition does not have a foundation (just a concrete slab) and there is evidence of mold on the walls. There is a partial basement, probably hand dug, below the southern end of the adobe structure. The roof was resurfaced circa 2010. The windows are wood casement and double hung in the adobe structure, and aluminum sliders in the wood frame addition. For more information regarding the existing structure and previous additions and alterations, please refer to the "History of 540 Garcia Street as per long time owner's family" attached herein.

The site perimeter conditions are as follows:

West property line - existing structure encroaching into the site and measuring 7 ft. 0 in. tall; existing masonry wall measuring 5 ft. 0 in. tall (no stucco).

South property line - existing masonry wall measuring 7 ft. 0 in. tall (no stucco) with 1 ft. 6 in. coyote fence above.

East property line - existing wood coyote fence.

Please note the wood and chain link fences within the interior of the site.

Proposal

This application proposes to A) remodel the existing 405 sq. ft. adobe structure, B) demolish the existing 95 sq. ft. wood framed portion on the south end of the existing adobe structure and replace with new construction, C) construct a 672 sq. ft. addition to the existing structure, and D) stucco the existing walls on the west and south property lines.

- A) The proposed remodel of the existing 405 sq. ft. adobe structure would include new electrical, probably new plumbing, new stucco color coat, removal of the existing interior wood frame walls (bathroom and closet) and construction of new interior wood frame walls (bathroom and closet), repair wood subfloor in preparation of new wood floor, removal of northern most window on the west elevation, removal of entry door on East elevation and addition of small window in its place, new interior plaster or paint, and refurbishment of interior vigas, wood ceiling and wood double hung and casement windows. The existing height of the adobe structure would remain unchanged at 10 ft 2 in.
- B) The proposed demolition of the existing 95 sq. ft. wood framed addition will be required due to its lack of a foundation. In its place we propose a new 95 sq. ft. structure (with foundation), with stucco to match the adobe remodel (although we are open to changing the color), a clad wood double hung window and a wood door on the south elevation, and a new wood canale on the west elevation. We propose that the height would increase from 8 ft. 6 in. to 12 ft. 0 in.
- C) The proposed 672 sq. ft. addition would have stucco to match the adobe remodel (although we are open to changing the color), clad wood windows, wood entry door, wood canales on the east elevation, and a fireplace on the south elevation. We propose that the height of this addition be 13 ft. 0 in.
- D) The proposed stucco of the walls on the west and south property lines would match the color of the adobe remodel (although we are open to changing the color). The existing heights of these walls would remain unchanged at 7 ft. 0 in. and 5 ft. 0 in. on the west side and 8 ft. 6 in. on the south side (7 ft. 0 in. masonry plus 1 ft. 6 in. coyote fence above).

Thank you for your consideration,

Miguel da Silva

History of 540 Garcia street as per long time owner's family

1. Our family's first record of this small apartment is that Arthur Garcia and his newly wed Mrs. Garcia rented this apartment in 1955 for a few months as there first apartment as a married couple. The owner was Floriano Garcia at that time, he was the landlord.

2. In 1962 Mr. and Mrs. Arthur Garcia purchased the 540 Garcia St. apartment From the widow of Floriano Garcia
3. Arthur Garcia began making changes as he saw fit to make the apartment Rentable. He added a kiva fire place that he built himself. He changed the water source to be shared with 521 Douglas street where he lived. (he was able to force a pipe from one basement to another. Arthur was also able to move the sewer line to connect with a different neighbor which was 519 Douglas his brothers house. He was able to fence, replace 3 widows, doors, paint clean as he wanted with out any permission. He rented this apartment from 1962 until 1979 to various tenants. Each year changes were made as he needed. The rear porch was enclosed and used as a wash room, bed room, storage. This porch does NOT have a foundation just a slab 4" thick +/-
4. In 1979 Arthur rented the apartment to his eldest son.
5. Some time between 1979 and 1989 Phillip Garcia (Arthur Garcia's son) added pumice to the roof and tried to plaster the home never finishing. He changed it from it's original color to grey scratch coat. Phillip also began adding very high privacy fencing (known as odios/ tree bark from local mill) and blocking access to 521 Douglas Carport. This was done without permission.
6. In 1997 Mr. Arthur Garcia Deeded this apartment to Phillip Garcia his eldest son.
7. In 1998/99 Phillip replaced 3 windows in the main living area. He at that time started to add foam known as bead board insulation and started to plaster yet again. This time with a synthetic system.
8. Some time around 2010 a professional roofing company replaced the roof, hired by Phillip Garcia.
9. During the time frame of 1998 and 2015 no improvements other than the roof were ever completed. The property continued to decay. The city of Santa Fe was called by neighbors and Phillip was forced to clean it up somewhat. Phillip continued to fence the property as to block neighbors from seeing the property and protecting him from any future city ordinance enforcement.
10. In 2015 Phillip Garcia died. The property was deeded to Gabriel A. Garcia upon death.
11. The property was cleaned.
12. The water line was replaced with a proper meter and necessary easements. The sewer line was also replaced.
13. In 2018 The property was deeded to an LLC.
14. In 2019 a boundary survey was done and the property was listed for sale.
15. Summary is that the property has been changed, and neglected for decades, any historical value was changed and destroyed whenever the owners wanted, without permission. The neighborhood will benefit from this property undergoing a complete transformation. I have disclosed this private information as I feel that it is my responsibility to Mr. and Mrs. Arthur Garcia to do the best for what they worked so hard for. Emotionally this property is a burden and painful for the family. We ask that the property maintain the status of non contributing Currently it is obvious to anyone that sees it, that all it is contributing is abandonment, and disgrace. All listed dates above are estimated and should be researched and proven by proper title search.

History of 540 Garcia street as per long time owner's family

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Gabriel Garcia, Owner



540 Garcia Street
 Santa Fe, NM
 87501



DATE: 12/18/2019

VICINITY MAP



VICINITY MAP

PLAT OF BOUNDARY SURVEY FOR

CELINE GARCIA LIVING TRUST

TRACT No. 3
SITUATE AT 521 DOUGLAS STREET 850 49

GABRIEL & CAROLINE GARCIA
A TRACT OF LAND SITUATE AT 540
GARCIA STREET, CITY OF SANTA FE,
SANTA FE COUNTY, NEW MEXICO.



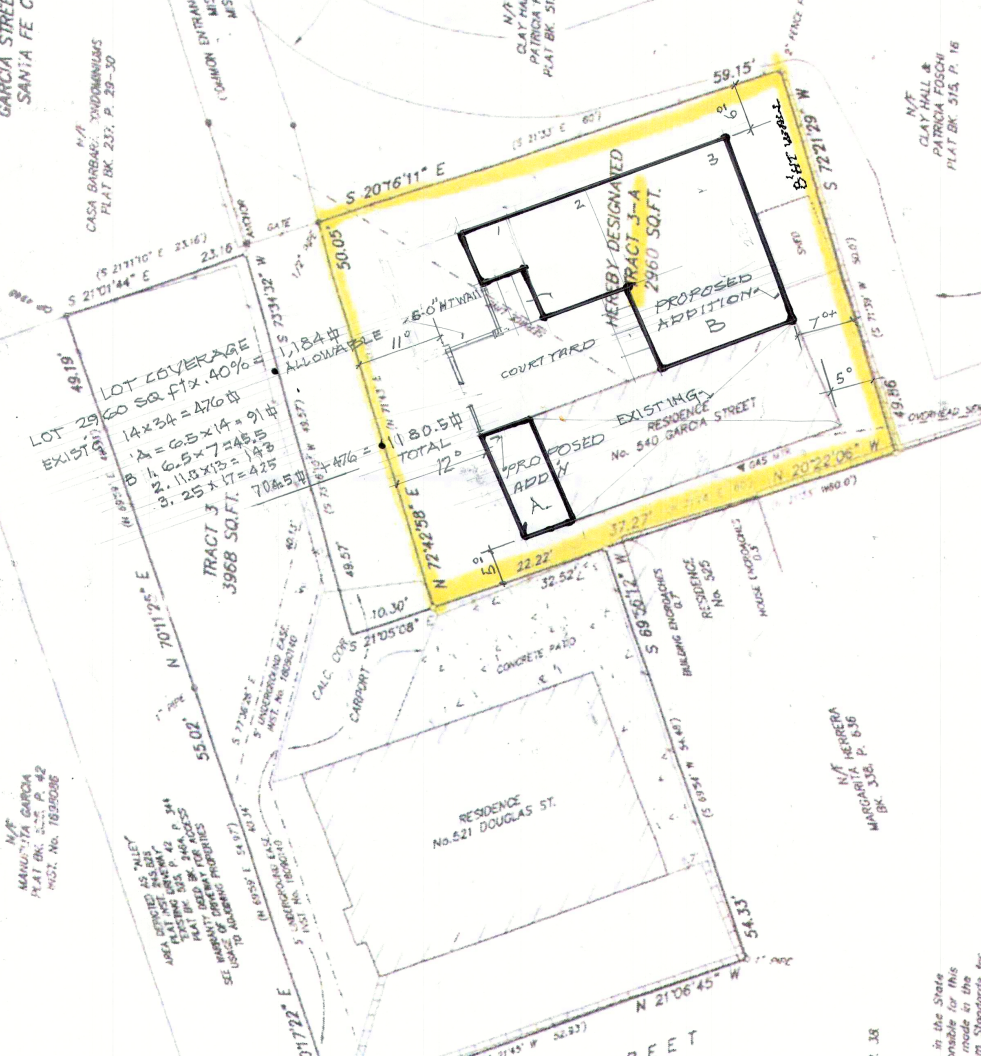
INSTRUMENT No. 18875-51

CITY OF SANTA FE
STATE OF NEW MEXICO
I hereby certify that the instrument was filed for
recording on the 21st day of October, A.D.
2019, at 1:30 o'clock, P.M., and was duly
recorded in Book 283, Page 14 of the
records of Santa Fe County.

Witness my hand and Seal of Office
CLERK OF SANTA FE COUNTY
DANIELA S. GARCIA
Santa Fe, New Mexico
October 21, 2019

PUBLIC NOTICE
CITY OF SANTA FE STAFF HAS NOT REVIEWED
THIS DOCUMENT PRIOR TO RECORDATION. CITY OF
SANTA FE STAFF MUST APPROVE ALL DOCUMENTS
SUBMITTED AND MAY REQUIRE ADDITIONAL
DOCUMENTATION TO PROVE LEGAL LOT OF RECORD.
THE RESPONSIBILITY OF THE PURCHASER/OWNER

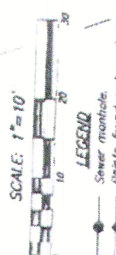
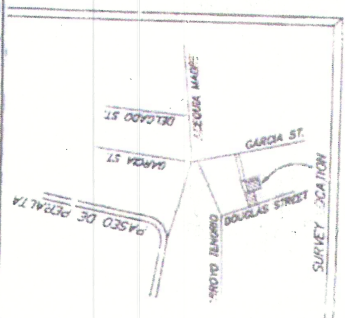
INDEXING INFORMATION FOR COUNTY CLERK
BOUNDARY SURVEY
OWNER: CELINE GARCIA LIVING TRUST
OWNER: STAR WALKER TRUST
LOCATION: 540 GARCIA STREET
SECT. 25, T. 17 N., R. 9 E., N.M.P.M.
PROJECTED INTO THE SANTA FE GRANT
527 DOUGLAS ST. UPC No. 1-054-088-250-256
540 GARCIA ST. UPC No. 1-054-088-869-289
SANTA FE COUNTY, NM
DEL RIO SURVEYS, INC.
P.O. Box 22723 Santa Fe, NM 87502 PH: 505-820-0200
PROJECT No. 190700316 Date: 10/21/19 BY: J



AMENDMENT
THIS SURVEY AMENDED TO ADD NAME TO
TITLE AND INCLUDE 5' UNDERGROUND UTILITY
EASEMENT.
Phil B. Wiegand
2019



Phil B. Wiegand
2019
P.O. Box 22723



- LEGEND**
- Sewer manhole
 - Points found and used as noted
 - 1/2" Copied iron pin set this survey
 - Power poles
 - Fences
 - Rails
 - Concrete
 - Utility box

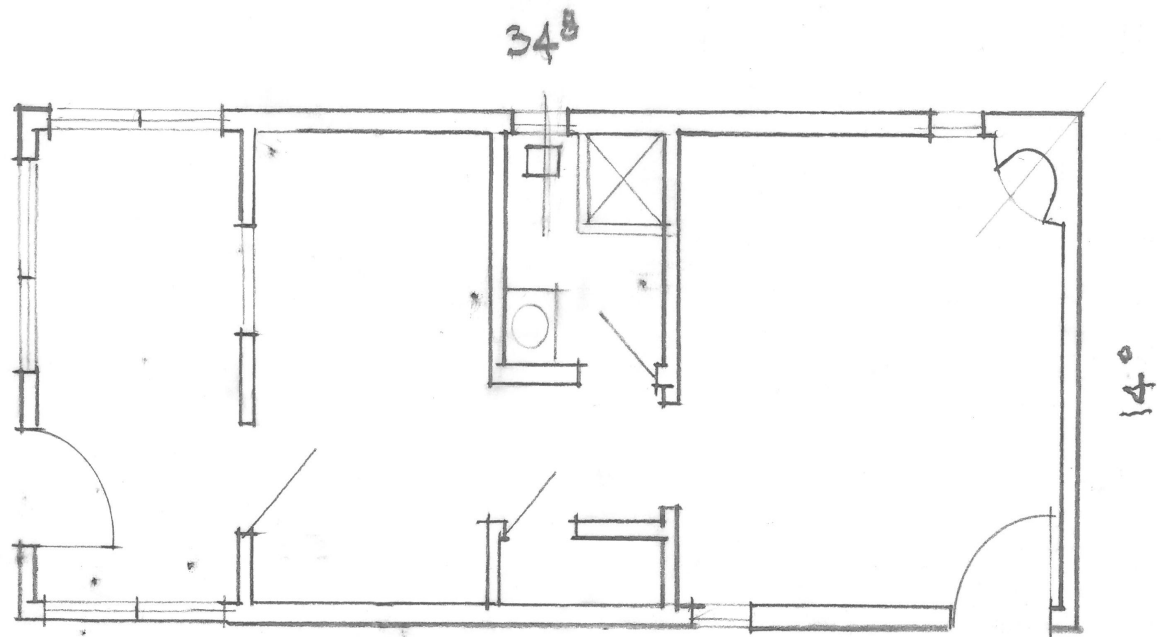
NOTES

1. BASE OF BEARINGS, GPS OBSERVATION OF FOUND MONUMENTS ON THE NORTHERLY BOUNDARY OF TRACT 3, IN 7017'22" E, NAD 83, NM STATE PLANE, CENTRAL ZONE, GRID.
2. TRACT 3 IS BASED ON A REPRESENTATIVE OF SURVEY AND CONSENT TO RESUBDIVISION OF PLATED TRACTS-RECORDED IN MSC: BK 307, P. 648, RECORDS OF SANTA FE COUNTY, NM.
3. TRACT 4 IS BASED ON A LEGAL DESCRIPTION FROM W.O. WILHELM, ET AL., MADE DECEMBER 2, 1980, BY GEORGE RIBENS, PS 3148, SCANLON DRAWING No. 2099-01-1-E-1-31.
4. THIS SURVEY PREVIOUSLY RECORDED IN PLAT BK 848, P. 38.

CERTIFICATE

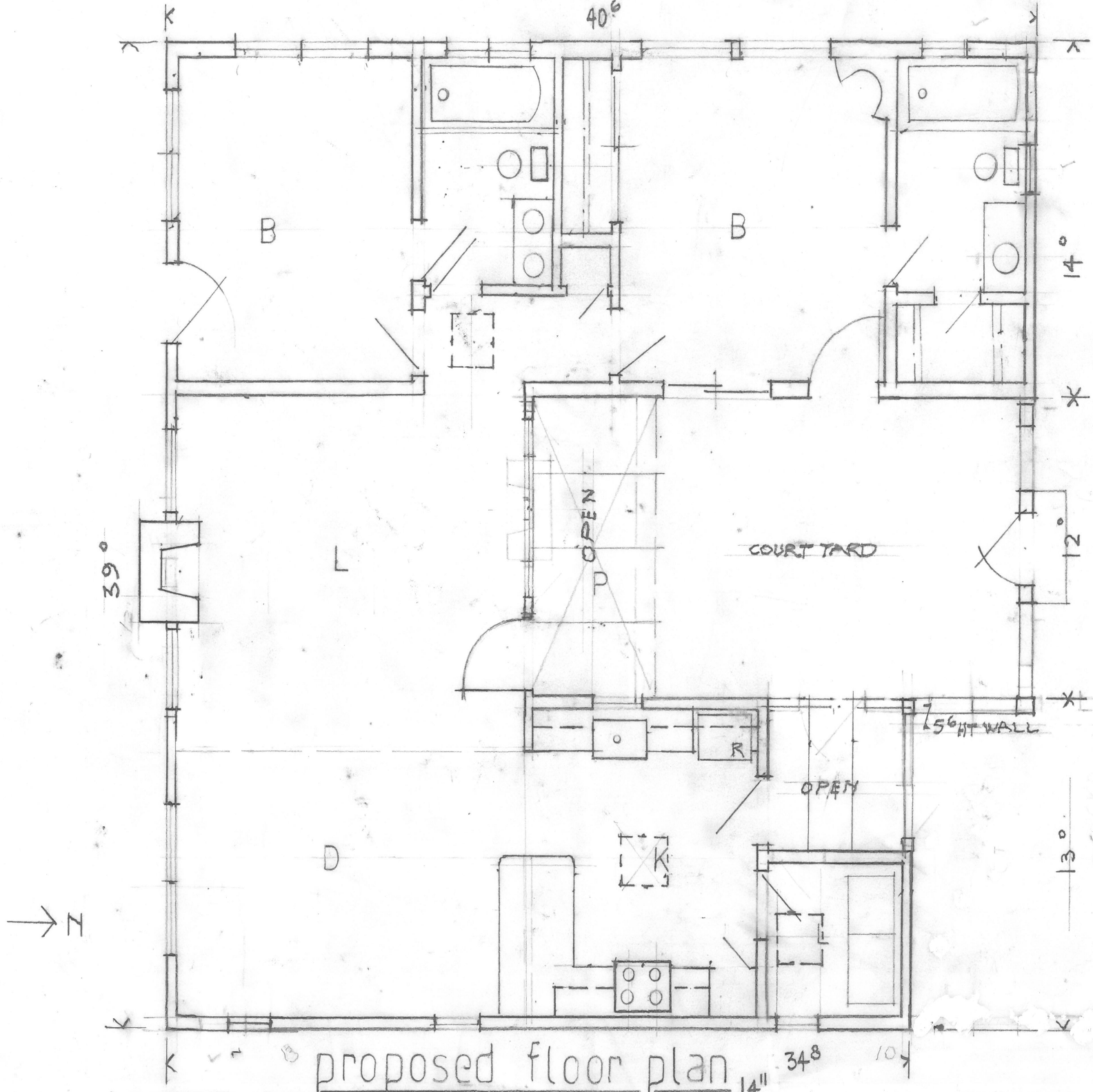
I, Phil B. Wiegand, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey and that this survey and plat represent an actual survey made in the State of New Mexico and that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

I further certify that this survey was not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.
Phil B. Wiegand
DATE OF FIELD WORK
10/21/19
Santa Fe, NM



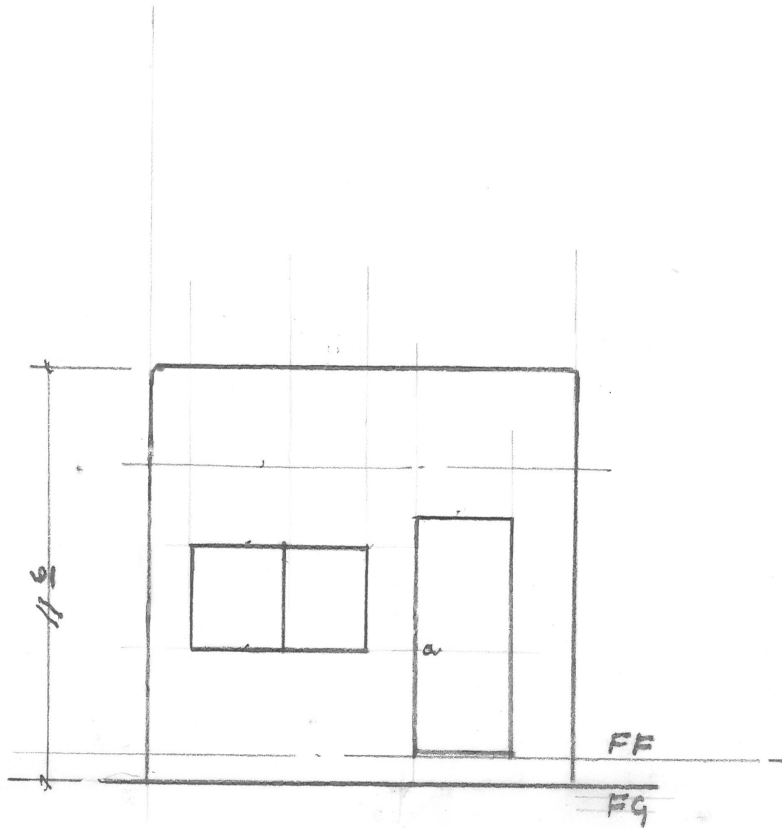
existing floor plan

14'



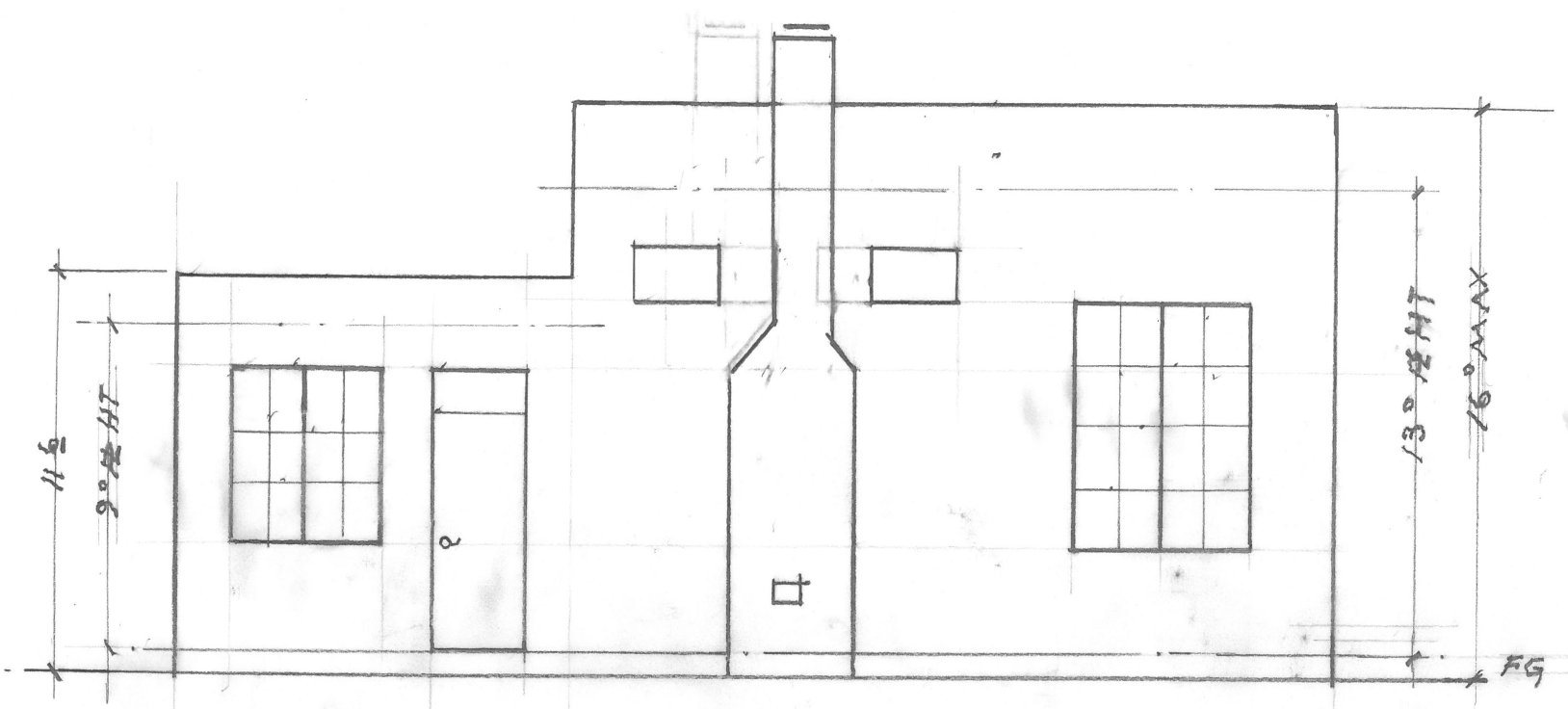
proposed floor plan

14" 34⁸ 10"



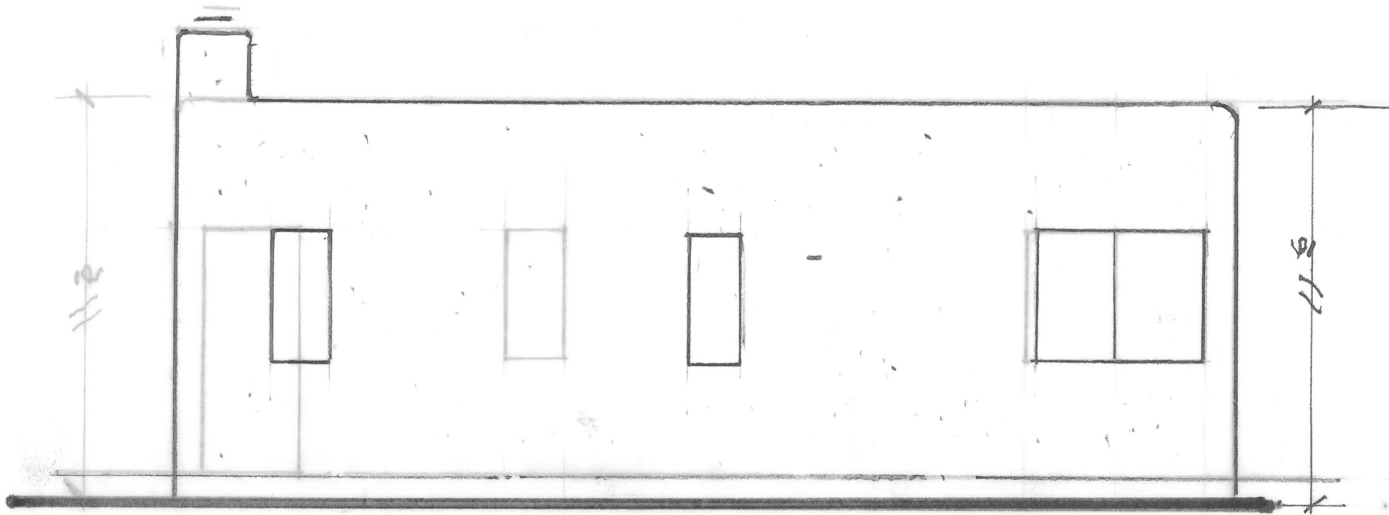
existing south elevation

14"



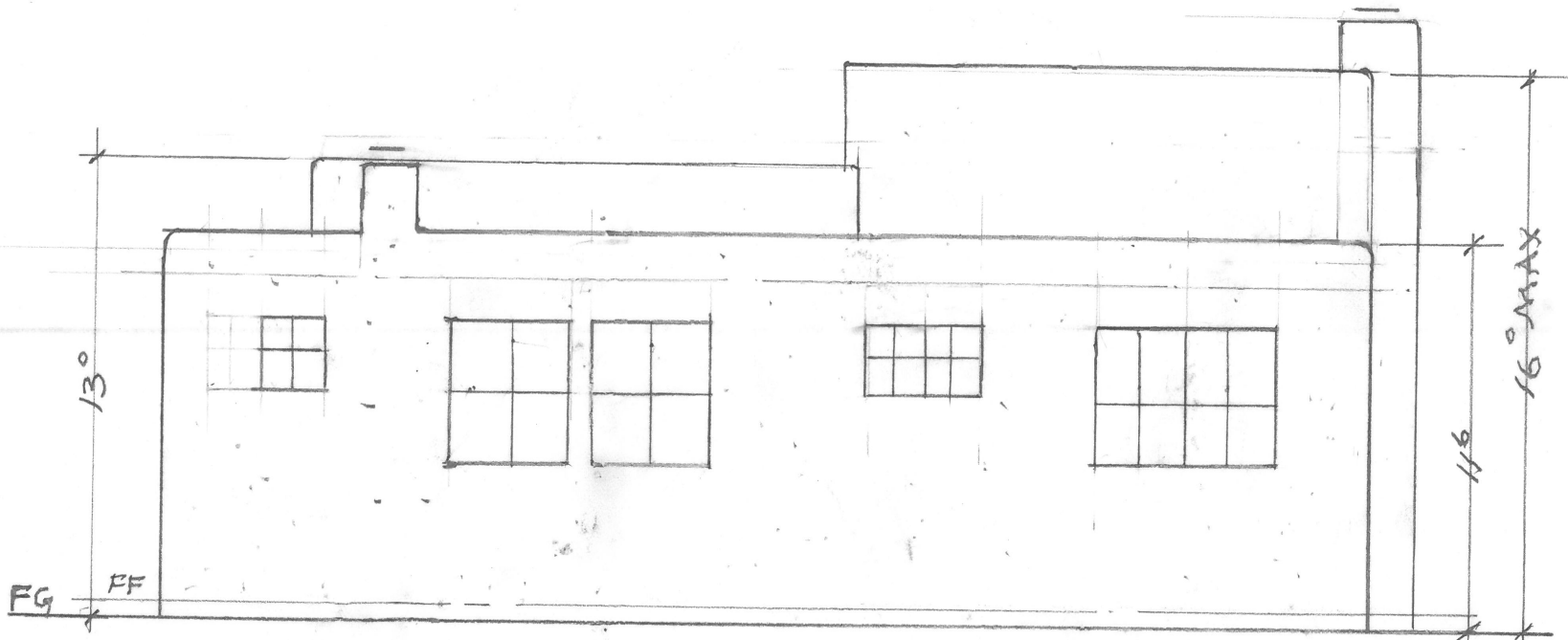
proposed south elevation

1/4"



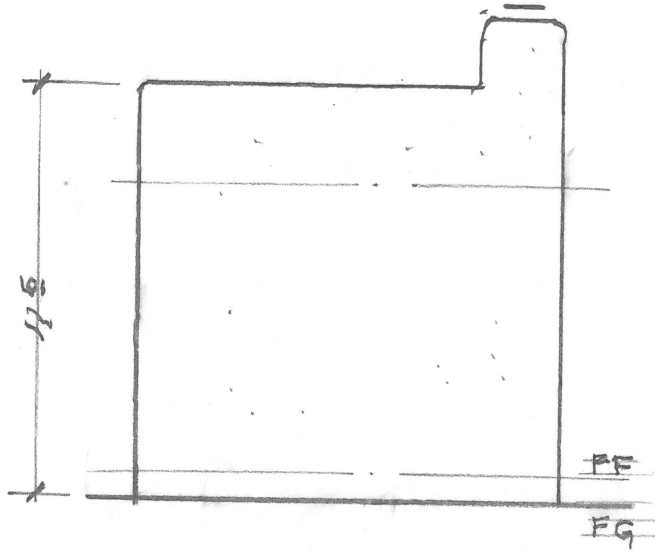
existing west elevation





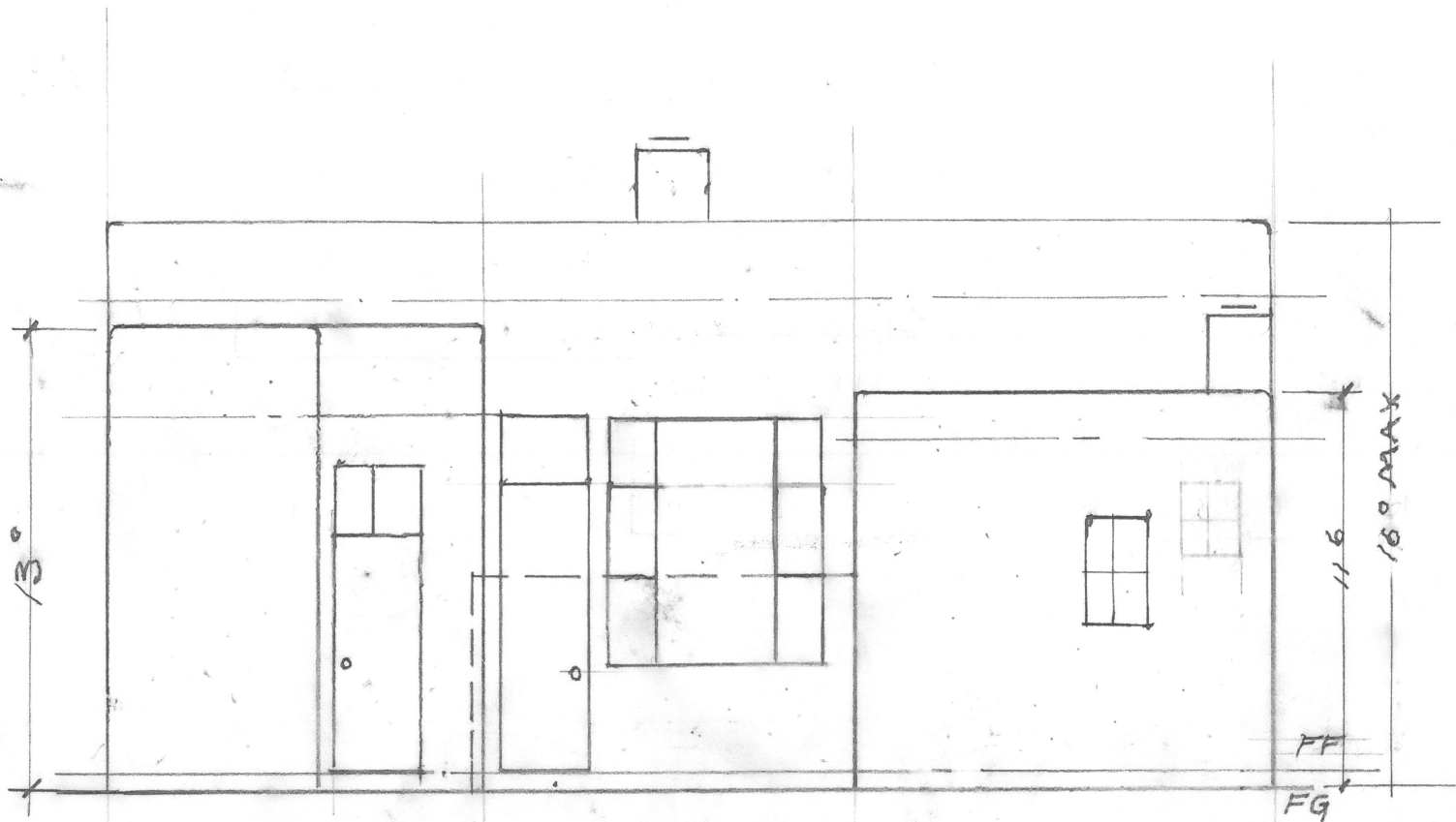
proposed west elevation

1/4"



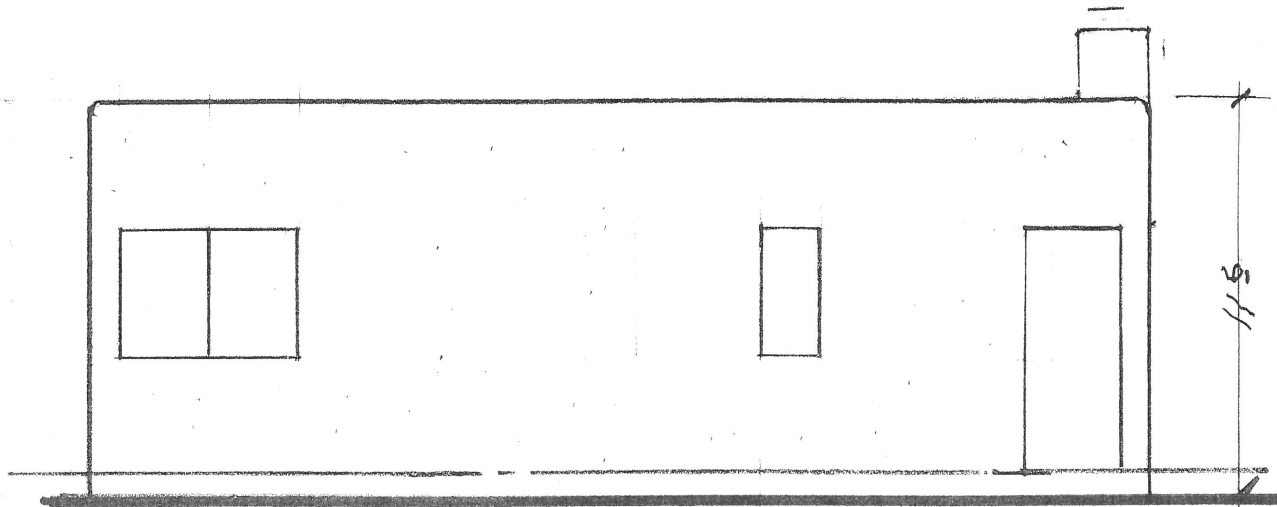
existing north elevation

4''



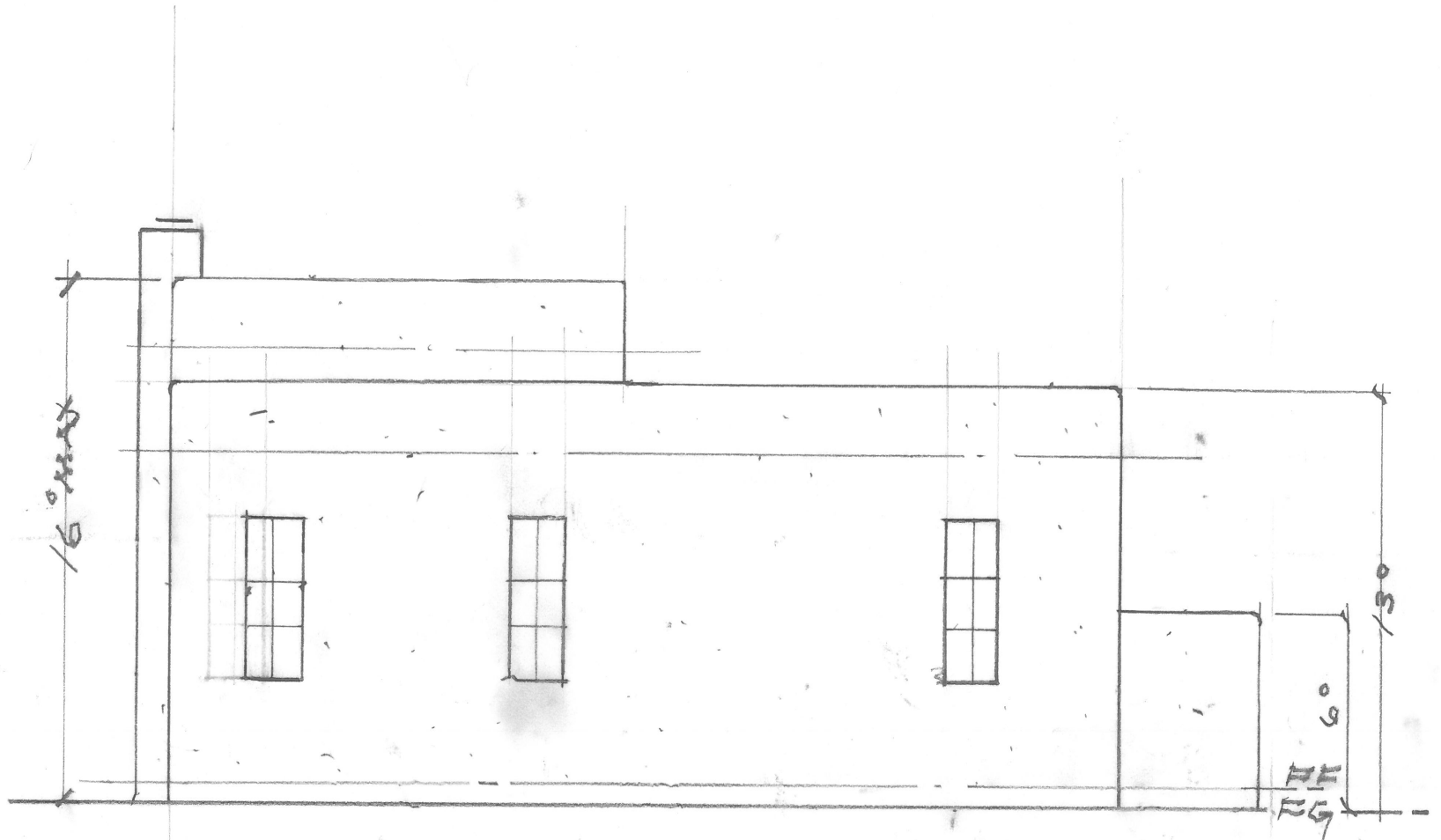
proposed north elevation

1/4"



existing east elevation

14"



proposed east elevation

14"

Jay Shapiro

540 Garcia Street

540 Garcia Street is a non-contributing structure in the Downtown and Eastside historic district of 476 square feet.

The applicant proposes the following:

1. "Addition A": Construct an addition of 91 square feet to the north of the existing structure and to the same height of the existing structure, 11 feet 6 inches.
2. "Addition B": Construct an addition of 613 square feet to the east of the existing structure. The height of the structure will be 14 feet 1 inch, which is the maximum allowable height. This will form a "c"-shaped structure with a north-facing courtyard in the middle.
3. A Garden wall will be constructed to a height of six feet enclosing a courtyard facing north.
4. Stucco will be El Rey "Buckskin"
5. Windows will be Pella aluminum clad windows in "Forest Green" with simulated divided lights.
6. Exterior lighting will be hammered copper downlights to the sides of 3 windows on the west elevation and one on each side of the courtyard entry gate and three on the south elevation.
7. The gate leading to the courtyard will be wood with a natural wood stain.



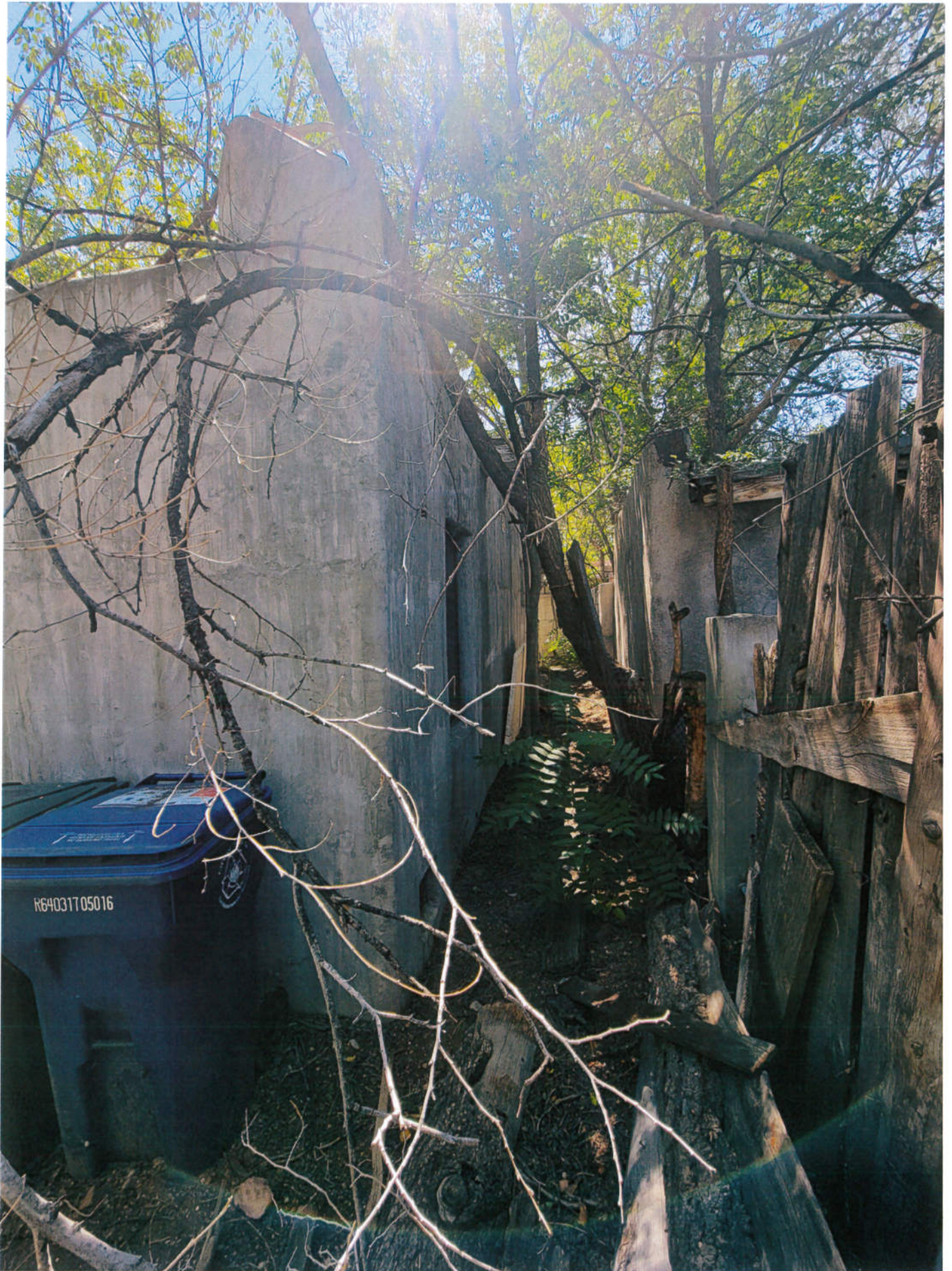
540 GARCA NORTH ELEV



540 GARCIA SOUTH ELEY



543 GARCIA EAST ELEV



540 GARCIA WEST ELEV



WOOD GATE WITH WALL
540 GARCIA



FOREST GREEN CLAFS

90 CANDLELIGHT 76



106 BUCKSKIN 35

EL REY



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004297--HDRB

Project Description:

Project Location(s): 631 CAMINO DE LA LUZ
Santa Fe, NM 87505

Contacts:

Applicant: JUICEKITCHEN DESIGN WORKSHOP LLC ju@juicekitchendesignworkshc
1219 CERRO GORDO RD
SANTA FE , NM 87501

Property Owner: Jean & Larry Hinlicky & Raifman jean.hinlicky@gmail.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: October 26, 2020
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case # 2020-004297-HDRB

Address: 631 Camino de la Luz
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

District Standards & yard wall
& fence standards.

Historic Inventory Form

Zoning Review Sheet

Other:

APPLICANT SUBMITTALS

Proposal Letter

Site Plan/Floor Plan

Elevations

Photographs

Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

631 Camino de la Luz is a 1921 square foot single-family residential structure with non-contributing status constructed in the 1980s in the Downtown and Eastside Historic District.

The applicant now proposes the following alterations:

1. New entry portal on the south elevation with partial public visibility. Wood posts will have a natural wood stain to match existing portals on the house;
2. Additions on the west, street-facing side of the structure amounting to 448 square feet;
 - a. The maximum height will be 13 feet 2 inches, where the maximum allowable height is 15 feet 11 inches. This will include
 - b. an extension of existing bedroom with a raised parapet area.
 - c. a new bathroom to replace an existing bathroom.
3. Installation of new exterior windows and doors. These will be aluminum clad of a “dark bronze” color with simulated divided lights;
4. New TPO roofing with a tan cover over the entire house.
5. All new synthetic stucco will match the existing synthetic stucco finish.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:
Date Submitted: 9/27/2021	Property Owner of Record: Jean Hinlicky & Larry Raifman	631 Camino de la Luz, Santa Fe, NM 87505
Applicant/Agent Name: Ju M Tan	Contact Person Phone Number: (505) 920-9128	Proposed Construction Description: Additions & Alterations
Zoning District: R-5	Lot Coverage: 31% %	<input type="checkbox"/> Open Space Required: No
Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: 24'-3" Minimum: 7'-0" 2 nd Front? _____	Proposed Rear: N.A. Minimum: _____
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Proposed Sides: L _____ R _____ Minimum: 5'-0"	Proposed Height: Varies, 13'-10" max. Maximum Height: 15'-11" or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	Terrain: <input type="checkbox"/> 30% slopes N.A.	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Ju M Tan

PRINT NAME

[OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

9/27/2021

SIGNATURE

DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: Donna Wynant DATE: 9/27/21

Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.

GENERAL PROJECT DATA

LOT SIZE - 1139 SF
 EXISTING ROOFED AREA - APPROX. 1921 SF
 PROPOSED NEW ROOFED (IMPERVIOUS) AREA - 448 SF.
 NEW TOTAL ROOFED AREA - 2375 SF

EXISTING HEATED AREA - APPROX. 1385 SF
 PROPOSED ADDITIONAL HEATED AREA - 586 SF
 TOTAL HEATED AREA - 1971 SF

EXISTING LOT COVERAGE - 25%

PROPOSED LOT COVERAGE - 31% (MAX 40% - OK)

ZONING DISTRICT - R-5

CODES: INCLUDING BUT NOT LIMITED TO THE 2009 IBC, 2009 IRC, 2009 UPC, 2009 IMC, 2011 NEC

MAXIMUM ALLOWABLE HT. OF STRUCTURE - 24' (PER SLDL TABLE 8-9)

MAXIMUM ALLOWABLE HEIGHT PER HISTORIC REQUIREMENTS - 15'-11"

MAX. HEIGHT OF PROPOSED RESIDENCE - 13'-2" (OK)

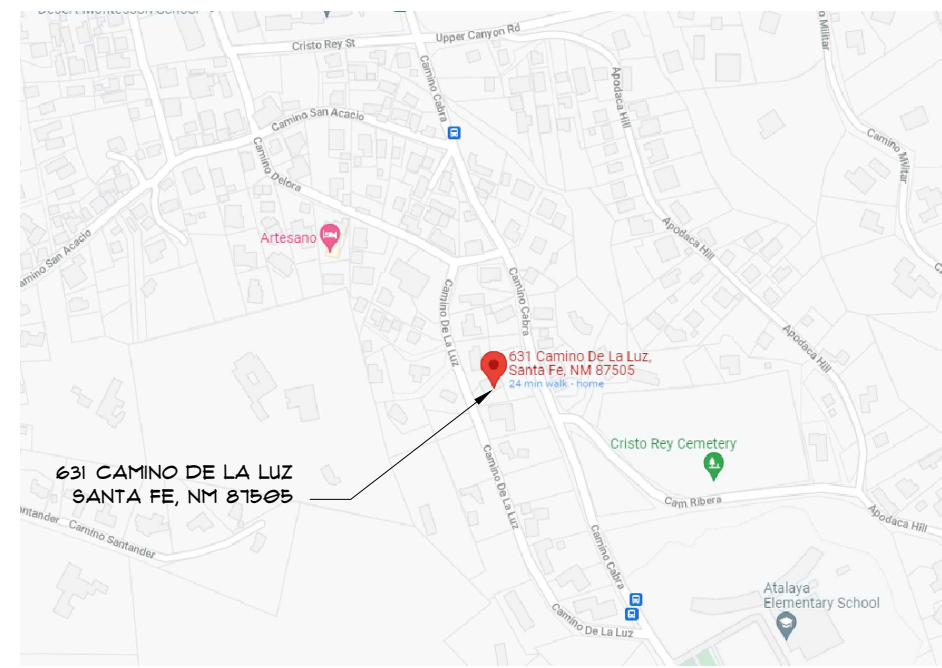
SETBACKS: PER SLDL TABLE 7-A: SETBACK TABLE
 FRONT - 7'-0"
 SIDE/REAR - 5'-0"/15'-0"

RAINWATER DETENTION REQUIREMENTS:

0.16 x 420 (ADDITIONAL ROOFED AREA) = 67 C.F. OR 500 GALLONS PROVIDED IN RETENTION PONDS AND TREE WELLS

TREE WELL #1 - 30 C.F.
 TREE WELL #2 - 50 C.F.

TOTAL RETENTION VOL. - 80 C.F.



I

LOCATION MAP

**ADDITIONS AND ALTERATIONS
 TO THE
 HINLICKY/RAIFMAN RESIDENCE
 631 CAMINO DE LA LUZ
 SANTA FE, NM 87505**

PERMIT PROGRESS SET

9/26/2021

I

PROJECT DATA

GENERAL SCOPE OF WORKS

- ADDITION OF APPROX 586 SF OF INTERIOR HEATED SPACE TO EXPAND BEDROOM, ENTRY AND DINING AREAS.
- NEW BATHROOM AND LAUNDRY ROOM TO REPLACE EXISTING BATHROOM AND LAUNDRY CLOSET.
- NEW ENTRY PORTAL
- NEW TPO ROOF SYSTEM OVER ENTIRE HOUSE EXCEPT AT PITCHED ROOFS AREAS.
- MODIFICATIONS TO EXISTING BASEBOARD HEATERS.
- NEW ELECTRICAL AS SHOWN IN DRAWINGS.

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF JUICEKITCHEN DESIGN WORKSHOP LLC (JKDW) AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF JKDW.
- ALL CONSTRUCTION SHALL CONFORM TO ALL RELEVANT CODES REFERENCED BY SANTA FE COUNTRY, NM, INCLUDING BUT NOT LIMITED TO IBC 2015, IRC 2015.
- IF THERE ARE ANY CONFLICTS WITH THE CODES REFLECTED IN THE DRAWINGS, THE CONTRACTOR IS TO INFORM THE JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. THE CONTRACTOR/SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS IN THE FIELD. IF THERE ARE ANY DISCREPANCIES, THEY ARE TO BE REPORTED TO JKDW IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
- CONTRACTORS SHALL MAINTAIN A SAFE AND ORGANIZED WORKING ENVIRONMENT ON THE SITE. DAILY CLEANING, ORGANIZATION AND PROTECTION OF MATERIALS SHALL BE PERFORMED AS NECESSARY. CONTRACTORS SHALL BE RESPONSIBLE FOR MAINTAINING JOB RELATED SAFETY STANDARDS
- ALL EXISTING STRUCTURAL ELEMENTS OF EXISTING BUILDINGS SHALL NOT BE MODIFIED BEYOND THE SCOPE OF THIS PROJECT WITHOUT THE CONSENT OF THE OWNER, JKDW AND A QUALIFIED STRUCTURAL ENGINEER (IF NEEDED).
- THE CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION MEETINGS WITH ALL SUB CONTRACTORS AS NECESSARY TO CLARIFY THE WORK SCOPE AND EXPECTATIONS PRIOR TO COMMENCEMENT OF ANY WORK.
- REGULAR CONSTRUCTION MEETINGS SHALL BE SCHEDULED (AS NECESSARY) WITH ALL RELEVANT PARTIES INCLUDING BUT NOT LIMITED TO RELEVANT SUB CONTRACTORS.
- A CONSTRUCTION SCHEDULE SHALL BE FURNISHED AND ADHERED TO BY THE CONTRACTOR. ANY PROPOSED CHANGES SHALL BE APPROVED BY THE OWNER AND JKDW.
- FINAL PUNCHLIST - AT SUBSTANTIAL COMPLETION, A FINAL PUNCHLIST SHALL BE MADE UP BY JKDW OR THE OWNER. ALL ITEMS ON THE PUNCHLIST SHALL BE PERFORMED BY THE CONTRACTOR WITHIN AN AGREED PERIOD OF TIME BEFORE HANDOVER TO THE OWNERS.
- FINAL GRADING - ENSURE THAT ALL GRADE SURROUNDING THE NEW ADDITION SLOPES AWAY FROM THE BUILDING A MINIMUM OF 1/4" / FT FOR A MINIMUM OF 48".
- FINAL CLEANING - THE CONTRACTOR SHALL PERFORM FINAL CLEANING TO ALL AFFECTED AREAS TO "MOVE IN" CONDITION BEFORE HANDING OVER TO THE OWNERS.
- MAKE ARRANGEMENTS WITH THE OWNERS REGARDING USE OF TOILET OR PROVIDE A PORTABLE TOILET ON SITE.
- WARRANTY - THE CONTRACTOR SHALL WARRANT ALL WORK FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.

NUMBER	DESCRIPTION	SCALE
CVR	COVER SHEET/SITE PLAN	AS NOTED
X100	EXISTING FLOOR PLAN	1/4" = 1'-0"
X200	EXISTING EXTERIOR ELEVATIONS	1/4" = 1'-0"
X201	EXISTING EXTERIOR ELEVATIONS	1/4" = 1'-0"
D100	SELECTIVE DEMOLITION PLAN	1/4" = 1'-0"
A100	FOUNDATION PLAN	1/4" = 1'-0"
A101	PROPOSED FLOOR PLAN	1/4" = 1'-0"
A102	REFLECTED CEILING PLAN	1/4" = 1'-0"
A103	ROOF FRAMING PLAN	1/4" = 1'-0"
A104	ROOF PLAN	1/4" = 1'-0"
A200	EXTERIOR ELEVATIONS	1/4" = 1'-0"
A201	EXTERIOR ELEVATIONS	1/4" = 1'-0"
A300	BUILDING SECTIONS	1/4" = 1'-0"
A400	WALL SECTIONS & DETAILS	3/4" = 1'-0"
A401	WALL SECTION	3/4" = 1'-0"
A500	WINDOW & DOOR SCHEDULES	1/4" = 1'-0"
E100	ELEC. POWER & LIGHTING PLAN	1/4" = 1'-0"
MPI00	MECHANICAL/PLUMBING PLAN	1/4" = 1'-0"

I

DRAWING LIST

COMMON ABBREVIATIONS

- A.F.F. - ABOVE FINISHED FLOOR
- B.O. - BOTTOM OF
- T.O. - TOP OF
- B.O.W. - BOTTOM OF WALL
- T.O.W. - TOP OF WALL
- T.O.P. - TOP OF PARAPET
- V.I.F. - VERIFY IN FIELD
- S.F. - SQUARE FEET
- C.F. - CUBIC FEET
- GAL. - GALLONS
- PSF. - PER SQUARE FEET
- EL. - ELEVATION
- EQ. - EQUAL (USED IN EQUALLY SPACED DIMENSIONS)
- W, H (HT.) - WIDTH, HEIGHT
- O.C. - CENTER TO CENTER DIMENSIONS
- DIMS. - DIMENSIONS
- C.L. - CENTERLINE
- P.L. - PROPERTY LINE
- L.O. - LINE OF
- MAX. - MAXIMUM

- MIN. - MINIMUM
- TYP. - TYPICAL
- OPNG. - OPENING
- R.O. - ROUGH OPENING
- FIN. FLR. - FINISHED FLOOR
- N.T.S. - NOT TO SCALE
- GWB. - GYPSUM WALL BOARD
- GCB. - GYPSUM CEILING BOARD
- G.D. - WOOD GRAIN DIRECTION
- R.S. - ROUGH SAWN WOOD
- D.S. - DOWNSPOUT
- C.B. - CATCH BASIN
- T.O.C. - TOP OF CONCRETE
- T.O.G. - TOP OF GRADE

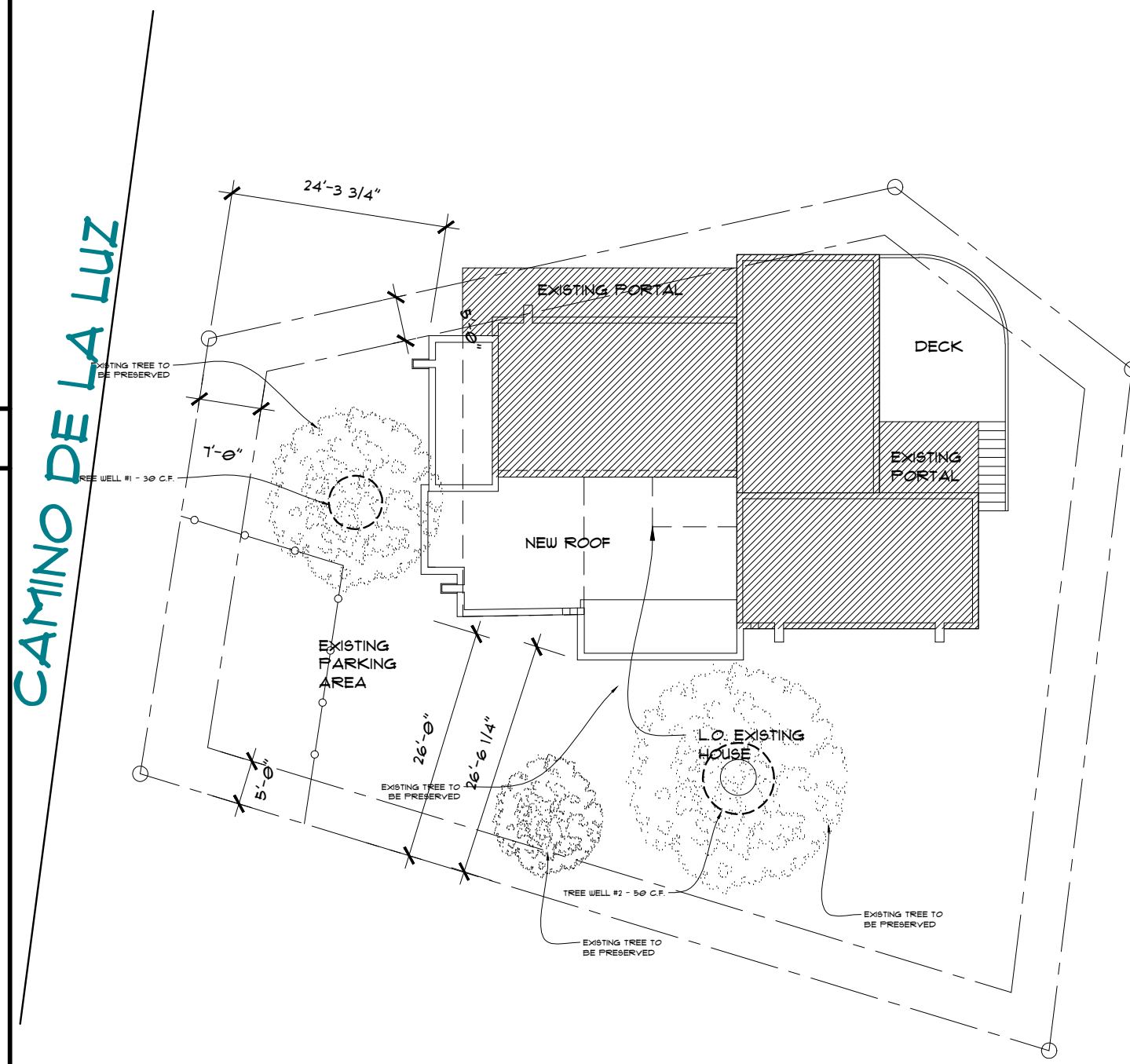
MATERIAL ABBREVIATIONS

- TL. - TILE
- WD. - WOOD
- DF. - DOUGLAS FIR
- PL. - PLASTER
- PTD. - PAINTED
- ST. - STAINED

I

EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



I

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

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REVISION -



SCALE - AS NOTED

DATE - 9/26/2021

SITE PLAN

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ
 SANTA FE, NM 87505

CVR

I

GENERAL NOTES

I

ABBREVIATIONS

I

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

REVISION -



SCALE - 1/4" = 1'-0"

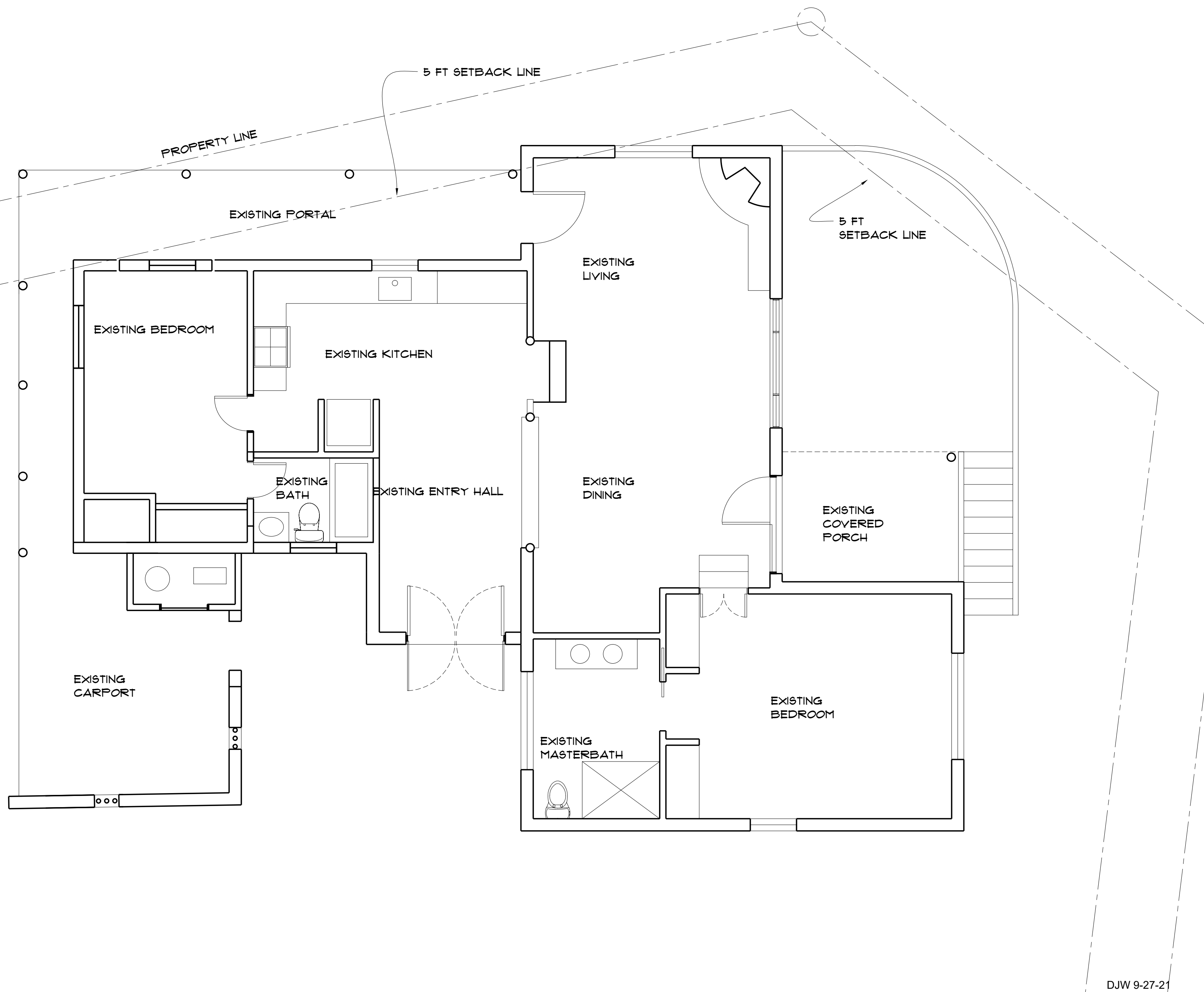
DATE - 9/26/2021

EXISTING FLOOR PLAN

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

X100



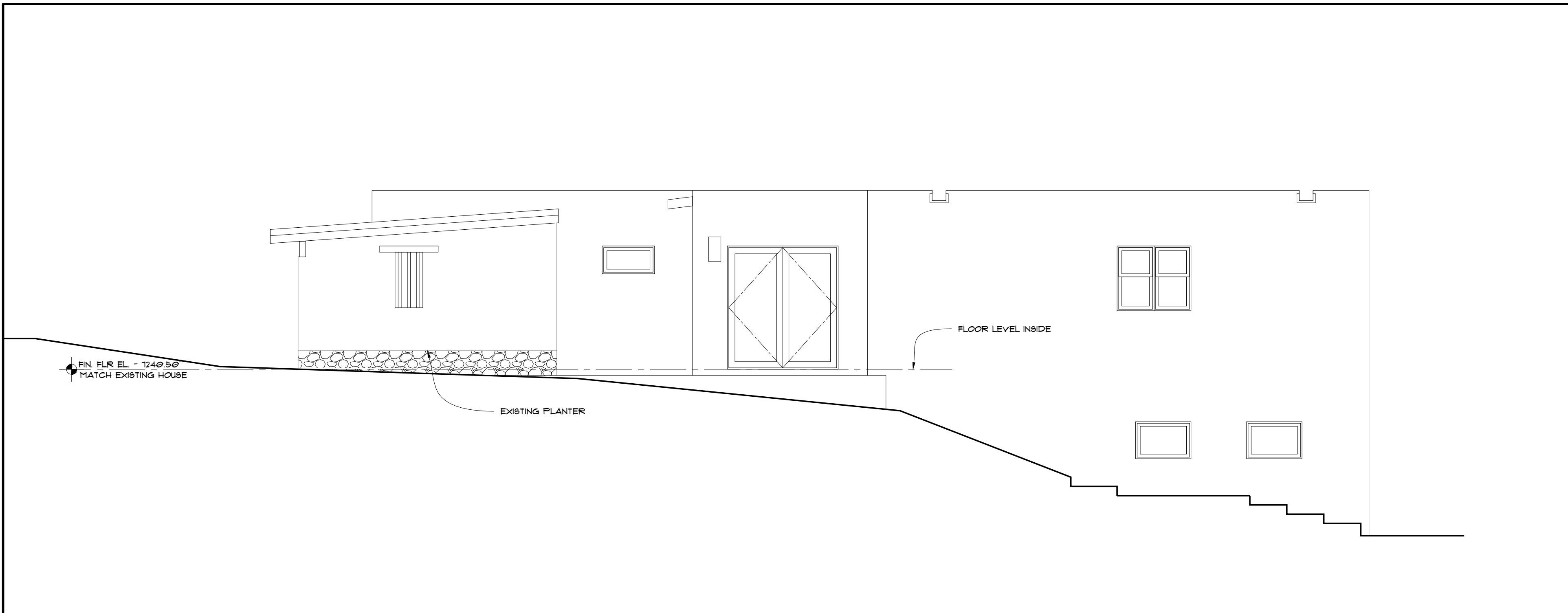
REVISION -

SCALE - AS NOTED
DATE - 9/26/2021

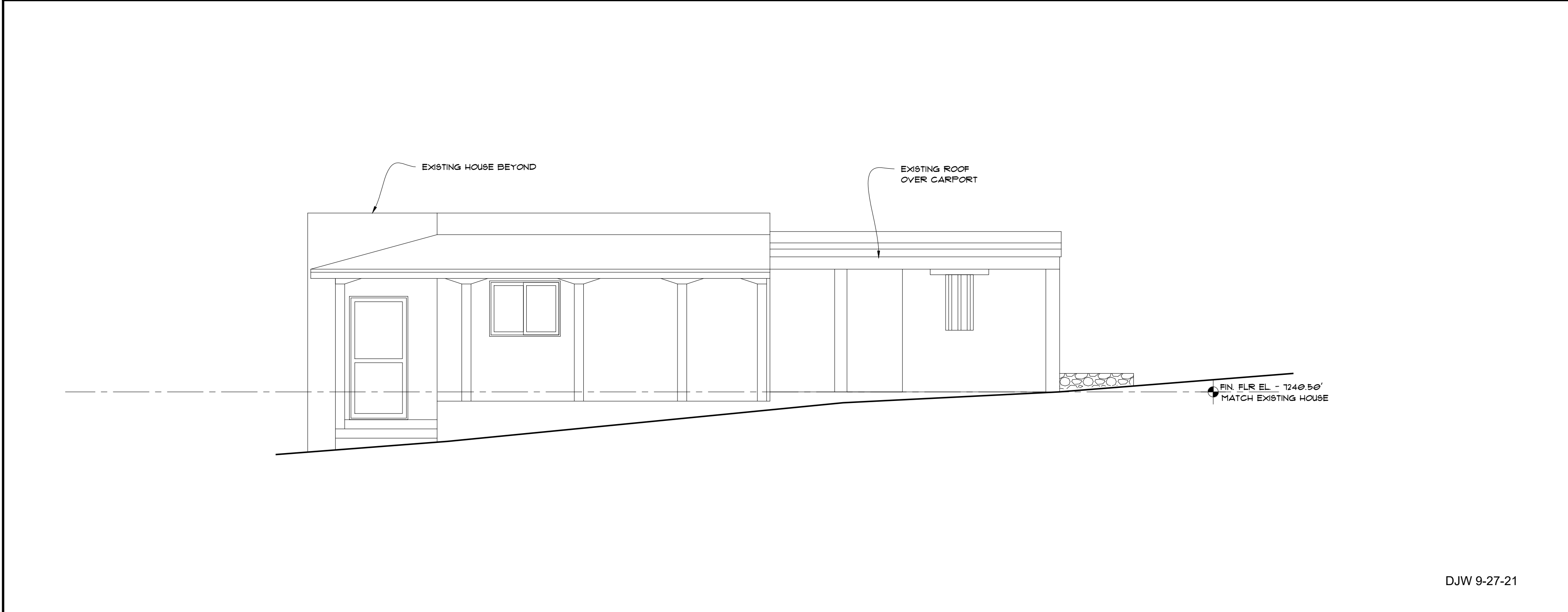
EXISTING EXTERIOR ELEVATIONS

HINLICKY/RAIFMAN RESIDENCE
631 CAMINO DE LA LUZ, SANTA FE, NM 87505

X200



1 EXISTING SOUTH ELEVATION SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION SCALE: 1/4" = 1'-0"

DJW 9-27-21

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SCALE - AS NOTED

DATE - 9/26/2021

EXISTING EXTERIOR ELEVATIONS

HINLICKY/RAIFMAN RESIDENCE

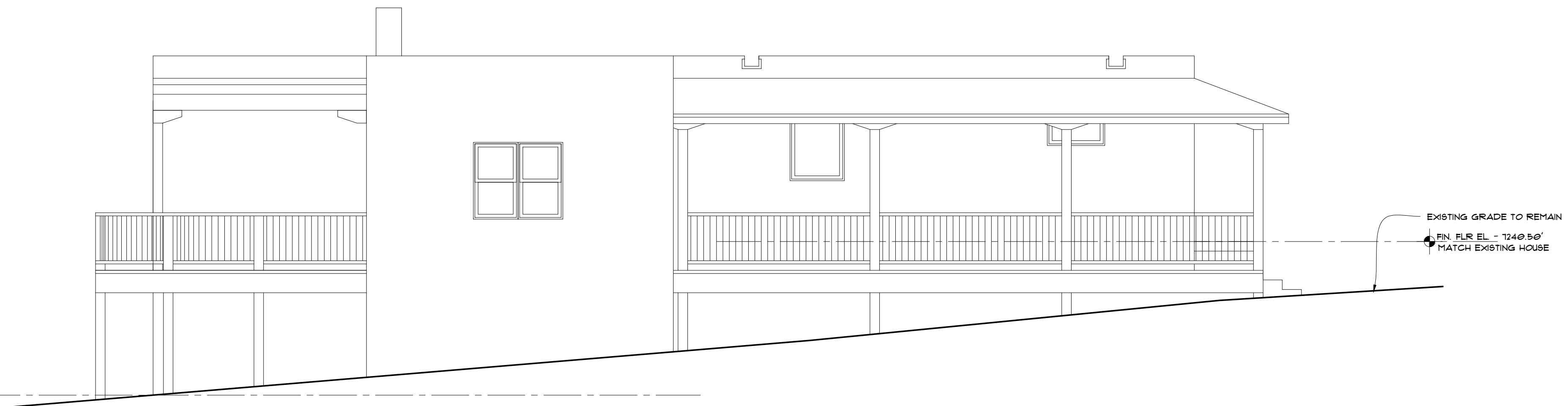
631 CAMINO DE LA LUZ, SANTA FE, NM 87505

X201



1 EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"

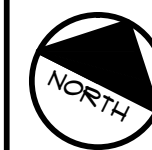


2 EXISTING NORTH ELEVATION

DJW 9-27-21

SCALE: 1/4" = 1'-0"

REVISION -



SCALE - 1/4" = 1'-0"

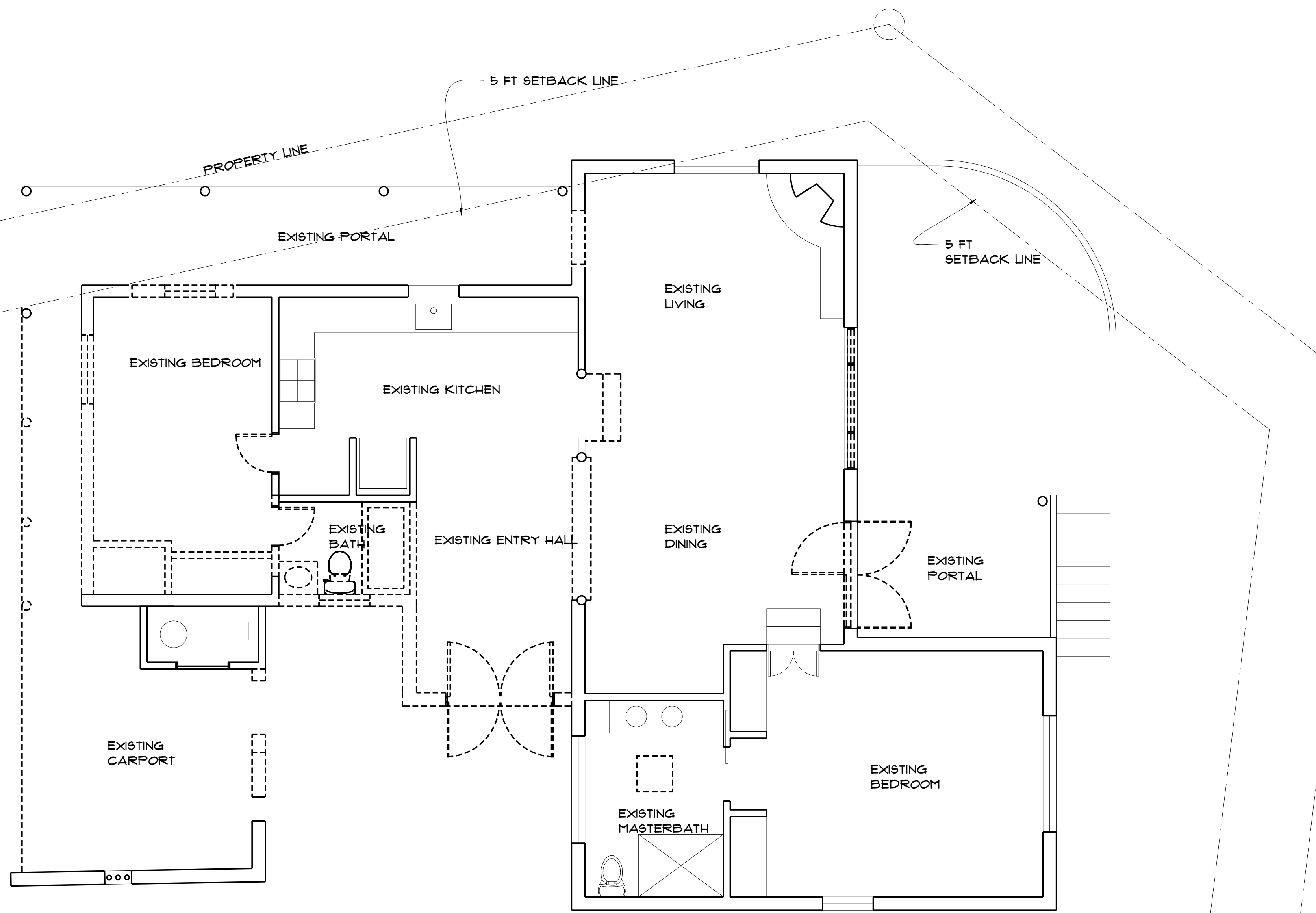
DATE - 9/26/2021

SELECTIVE DEMOLITION PLAN

HINLICKY/RAIFMAN RESIDENCE

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D100



DJW 9-27-21

REVISION -



SCALE - 1/4" = 1'-0"

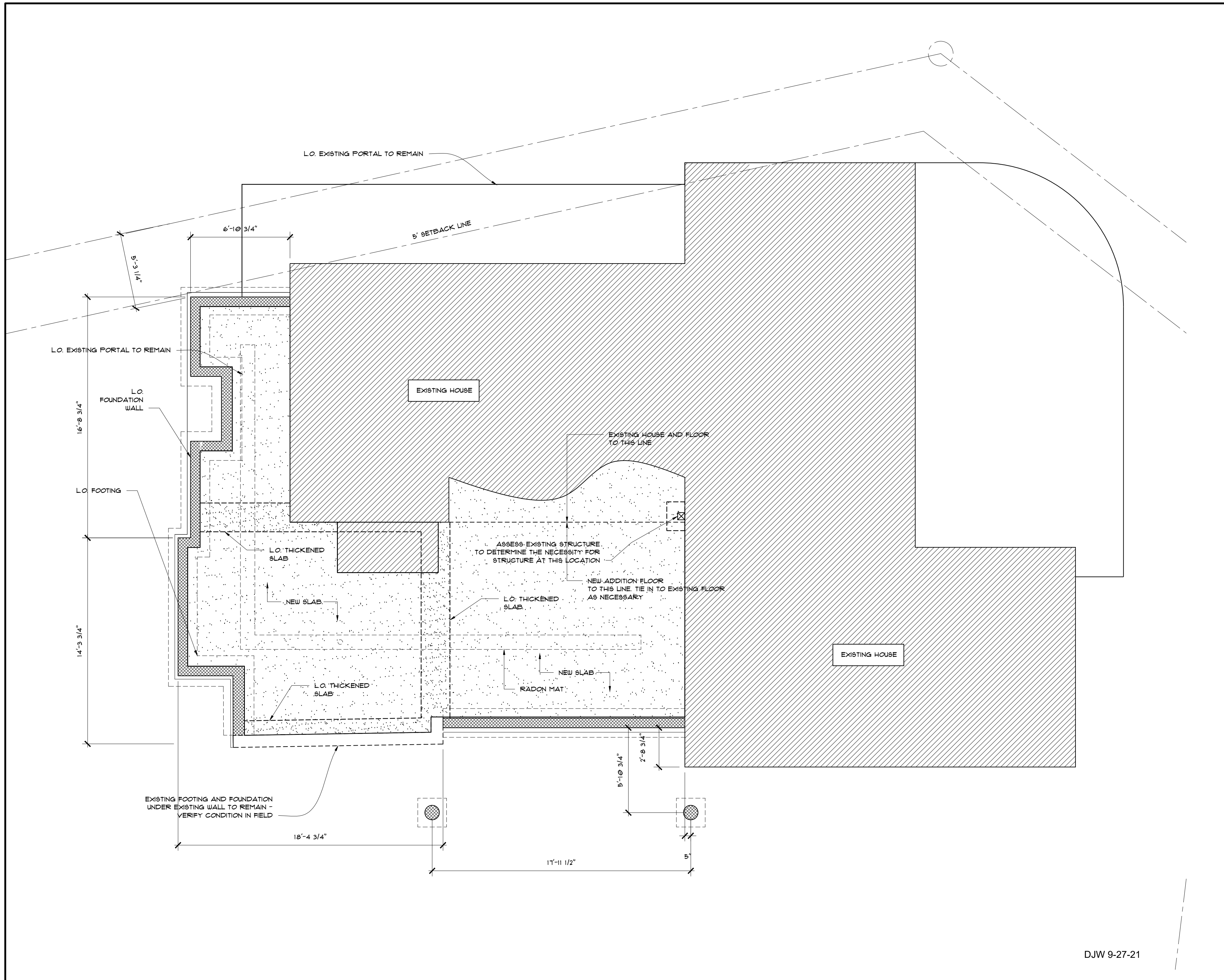
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FOUNDATION PLAN

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A100



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SCALE - 1/4" = 1'-0"

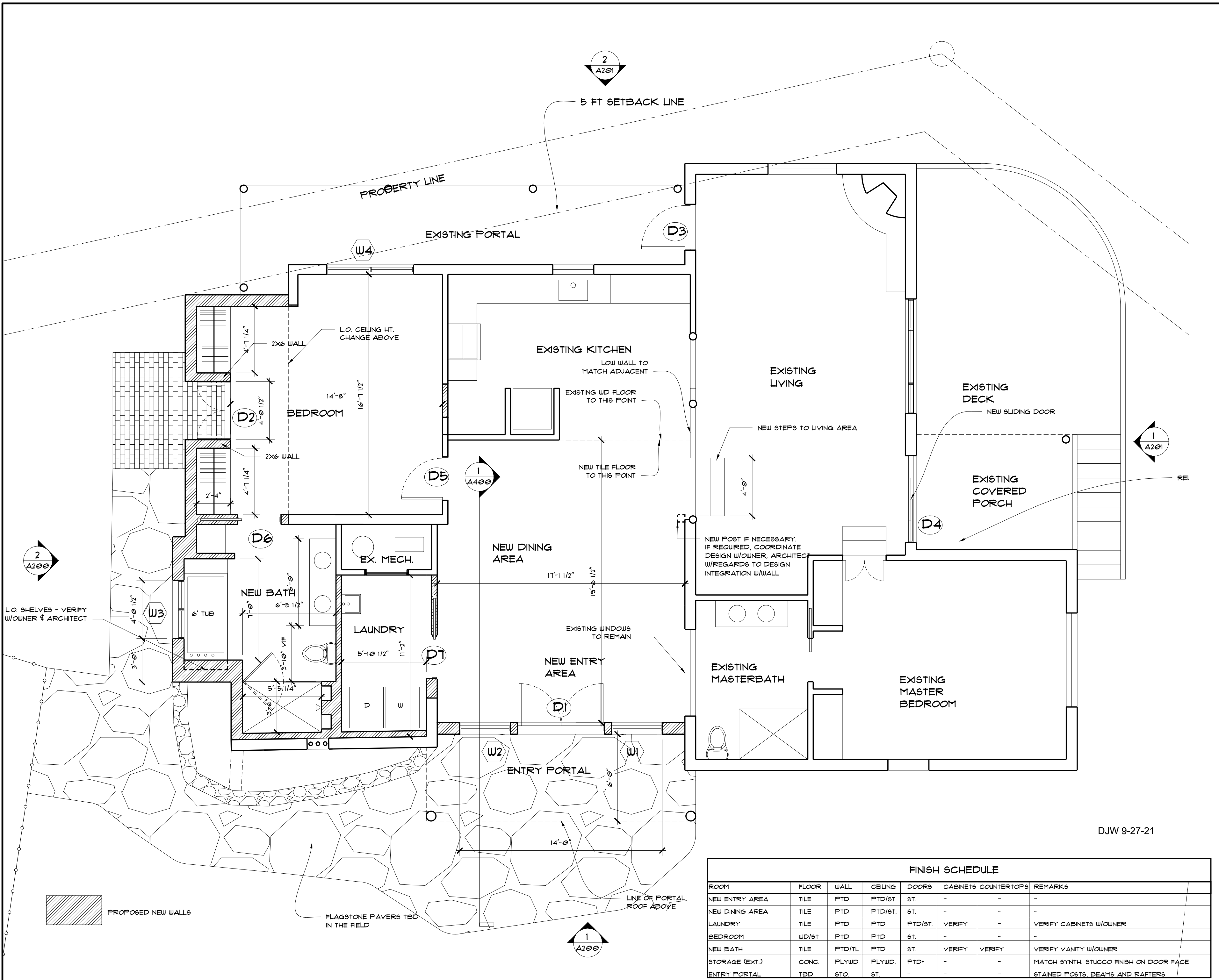
DATE - 9/26/2021

PROPOSED FLOOR PLAN

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

A101



DJW 9-27-21

FINISH SCHEDULE							
ROOM	FLOOR	WALL	CEILING	DOORS	CABINETS	COUNTERTOPS	REMARKS
NEW ENTRY AREA	TILE	PTD	PTD/ST	ST.	-	-	-
NEW DINING AREA	TILE	PTD	PTD/ST.	ST.	-	-	-
LAUNDRY	TILE	PTD	PTD/ST.	VERIFY	-	-	VERIFY CABINETS W/OWNER
BEDROOM	WD/ST	PTD	PTD	ST.	-	-	-
NEW BATH	TILE	PTD/TL	PTD	ST.	VERIFY	VERIFY	VERIFY VANTY W/OWNER
STORAGE (EXT.)	CONC.	PLYWD	PLYWD.	PTD*	-	-	MATCH SYNTH. STUCCO FINISH ON DOOR FACE
ENTRY PORTAL	TBD	STC.	ST.	-	-	-	STAINED POSTS, BEAMS AND RAFTERS

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SCALE - 1/4" = 1'-0"

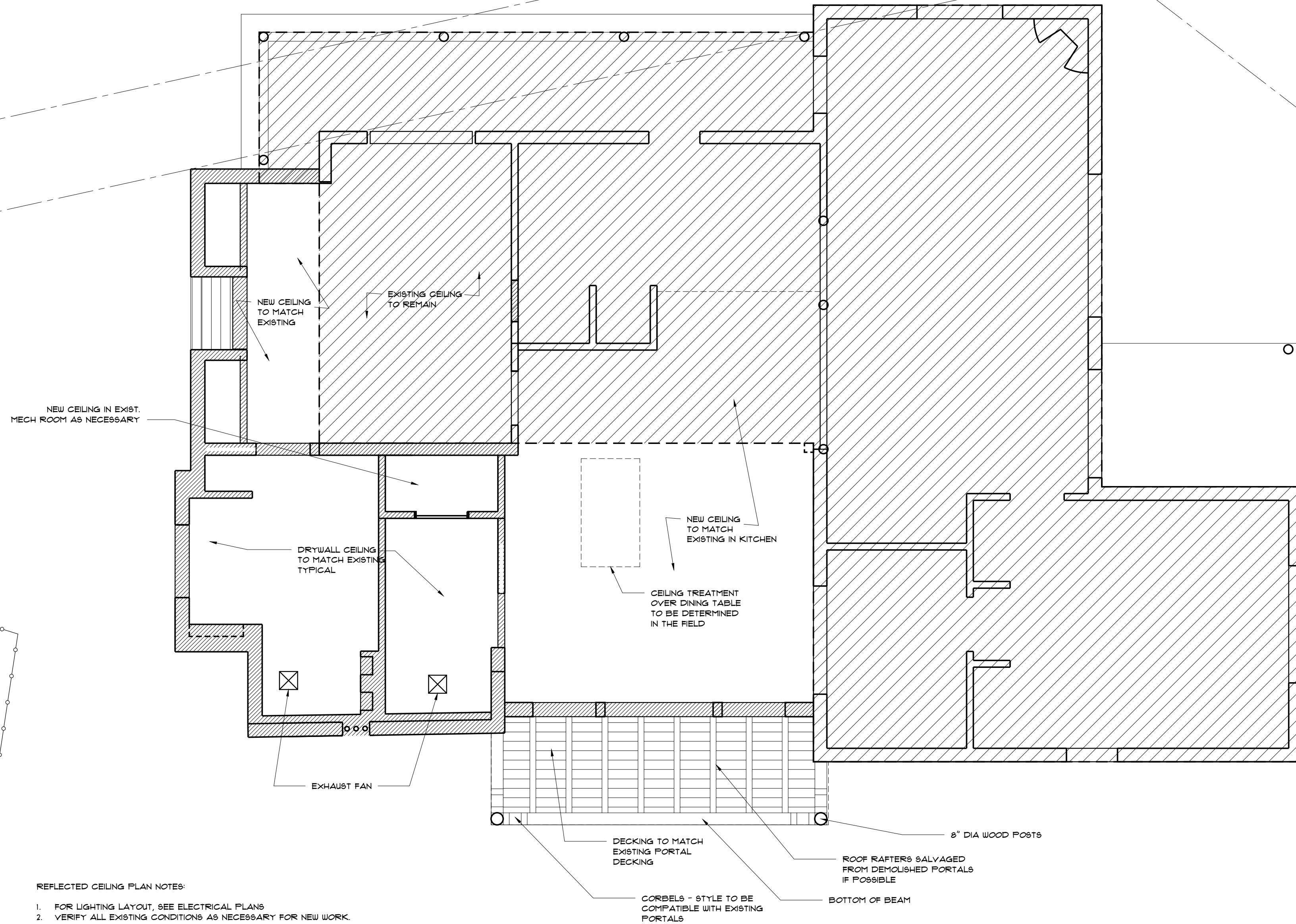
DATE - 9/26/2021

REFLECTED CEILING PLAN

HINLICKY/RAIFMAN RESIDENCE

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A102



REFLECTED CEILING PLAN NOTES:

1. FOR LIGHTING LAYOUT, SEE ELECTRICAL PLANS
2. VERIFY ALL EXISTING CONDITIONS AS NECESSARY FOR NEW WORK.
3. ALL CEILING FINISHES TO MATCH EXISTING UNLESS OTHERWISE NOTED.

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SCALE - 1/4" = 1'-0"

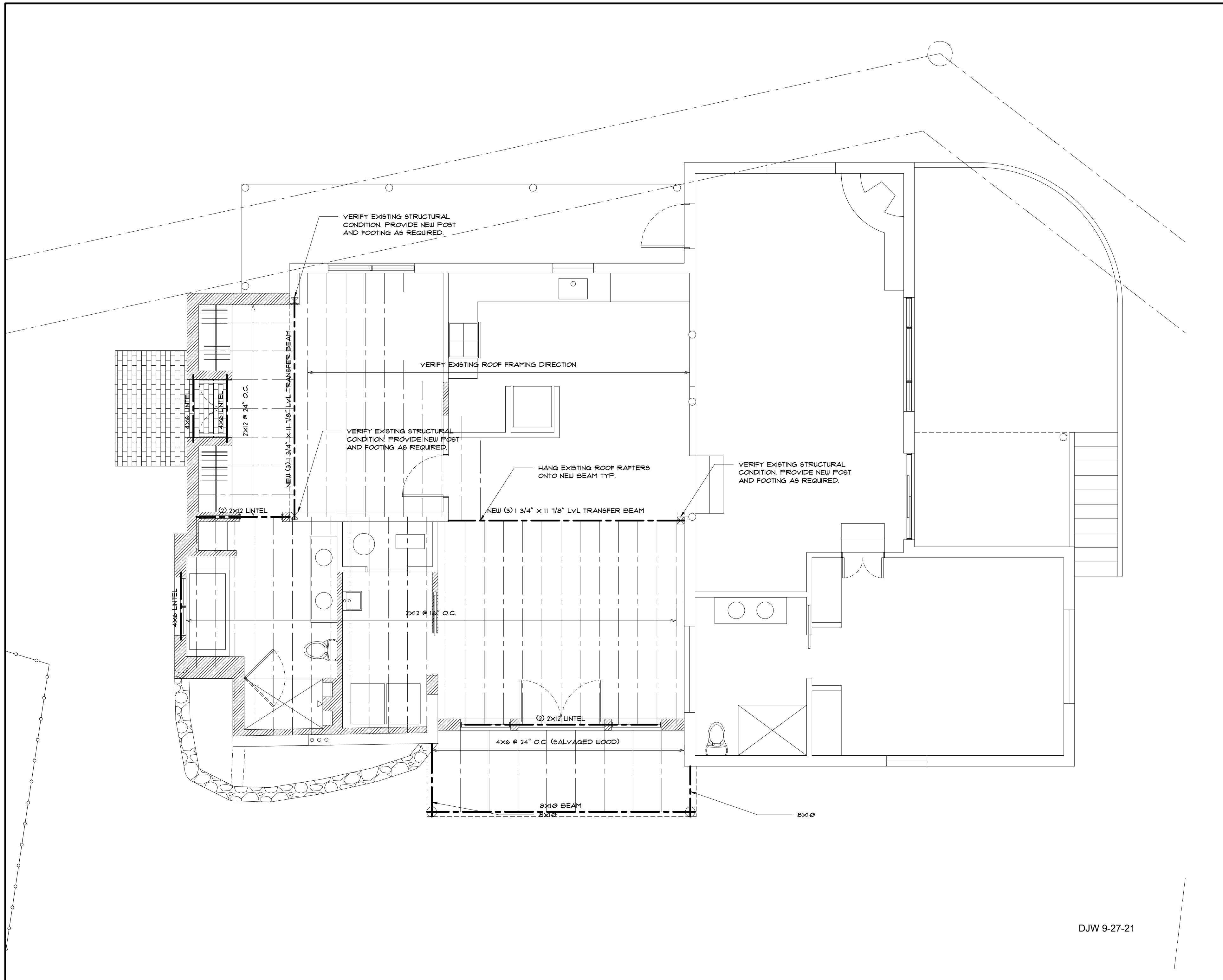
DATE - 9/26/2021

ROOF FRAMING PLAN

HINLICKY/RAIFMAN RESIDENCE

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A103

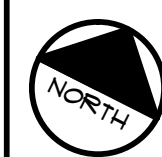


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SCALE - 1/4" = 1'-0"

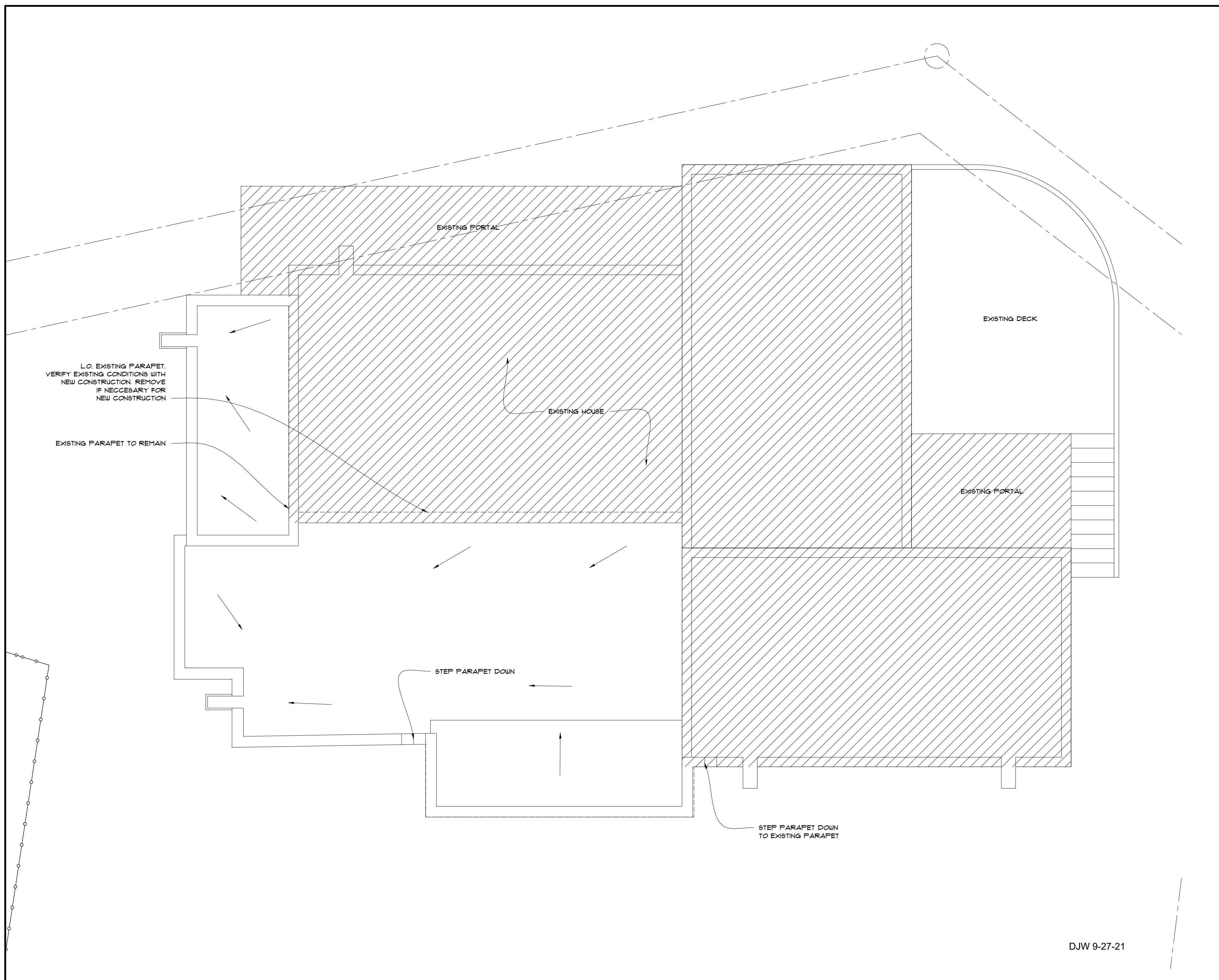
DATE - 9/26/2021

ROOF PLAN

HINLICKY/RAIFMAN RESIDENCE

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A104



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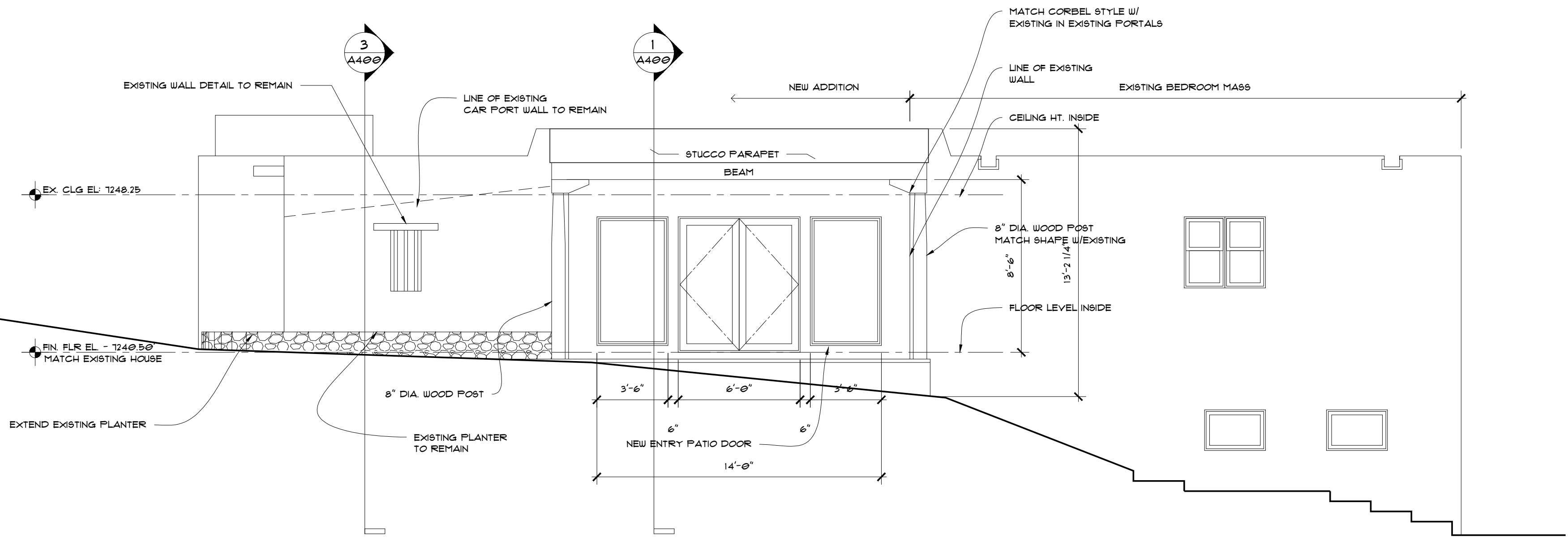
REVISION -

SCALE - AS NOTED
DATE - 9/26/2021

EXTERIOR ELEVATIONS

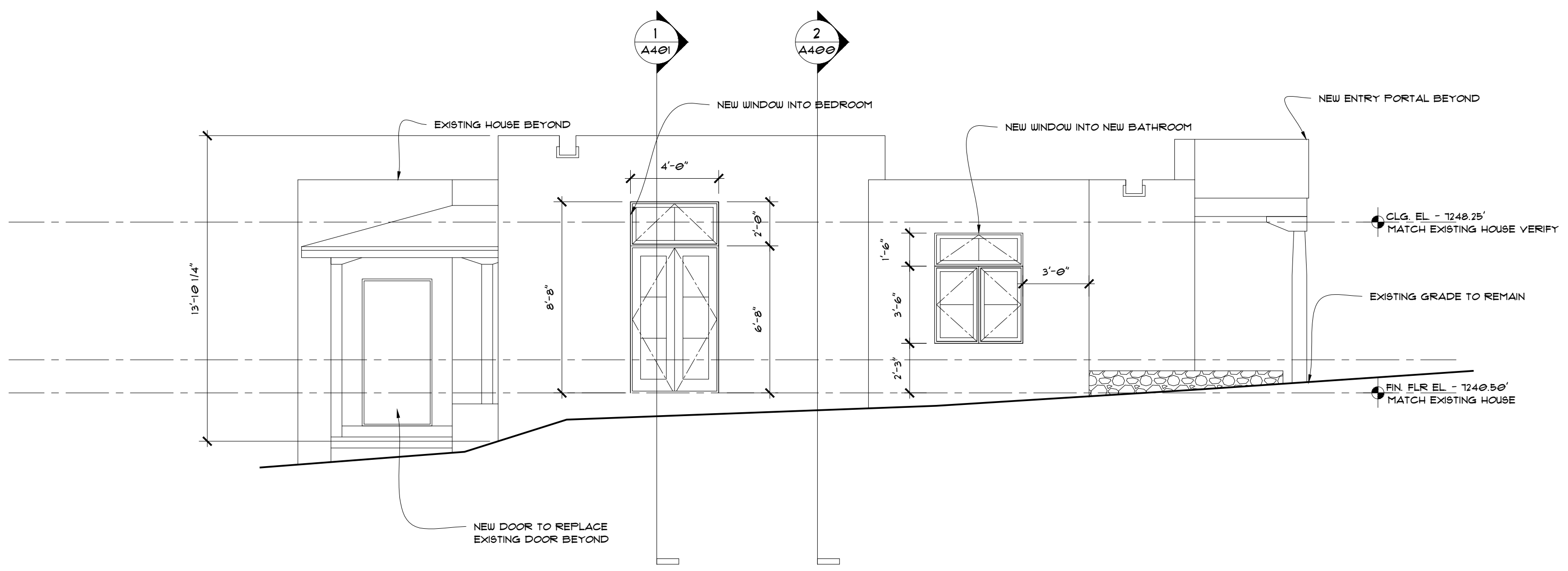
HINLICKY/RAIFMAN RESIDENCE
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A200



1 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION

DJW 9-27-21

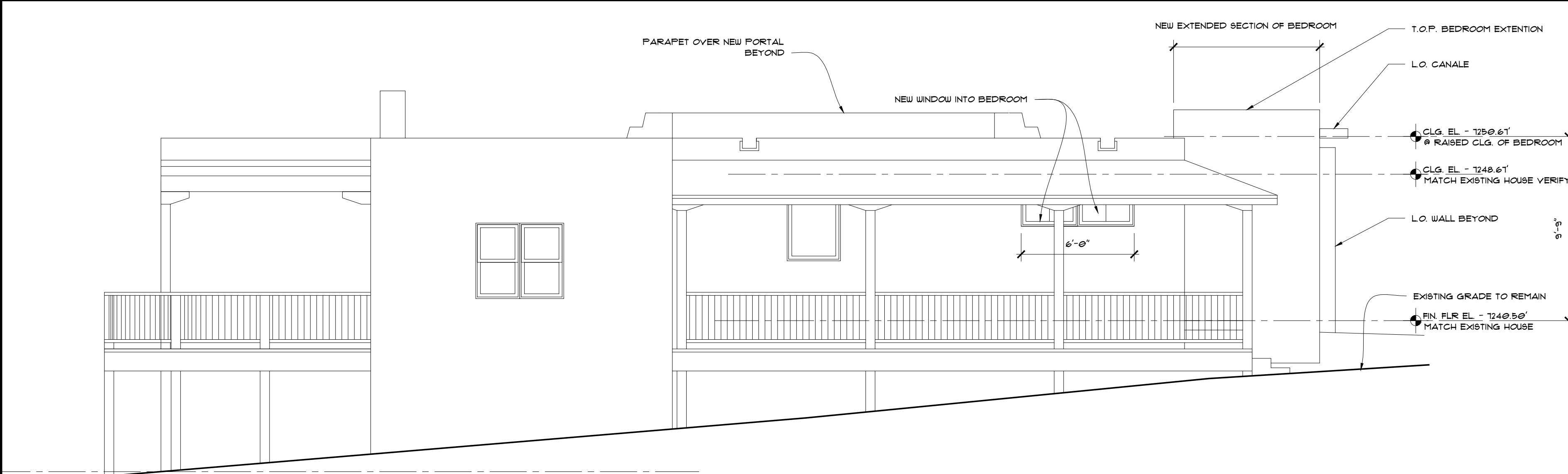
SCALE: 1/4" = 1'-0"

NOTE: ALL SHOWN IS EXISTIG UNLESS OTHERWISE INDICATED.



1 PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



NOTE: ALL SHOWN IS EXISTIG UNLESS OTHERWISE INDICATED.

DJW 9-27-21

2 PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

SCALE - AS NOTED

DATE - 9/26/2021

REVISION -

A201

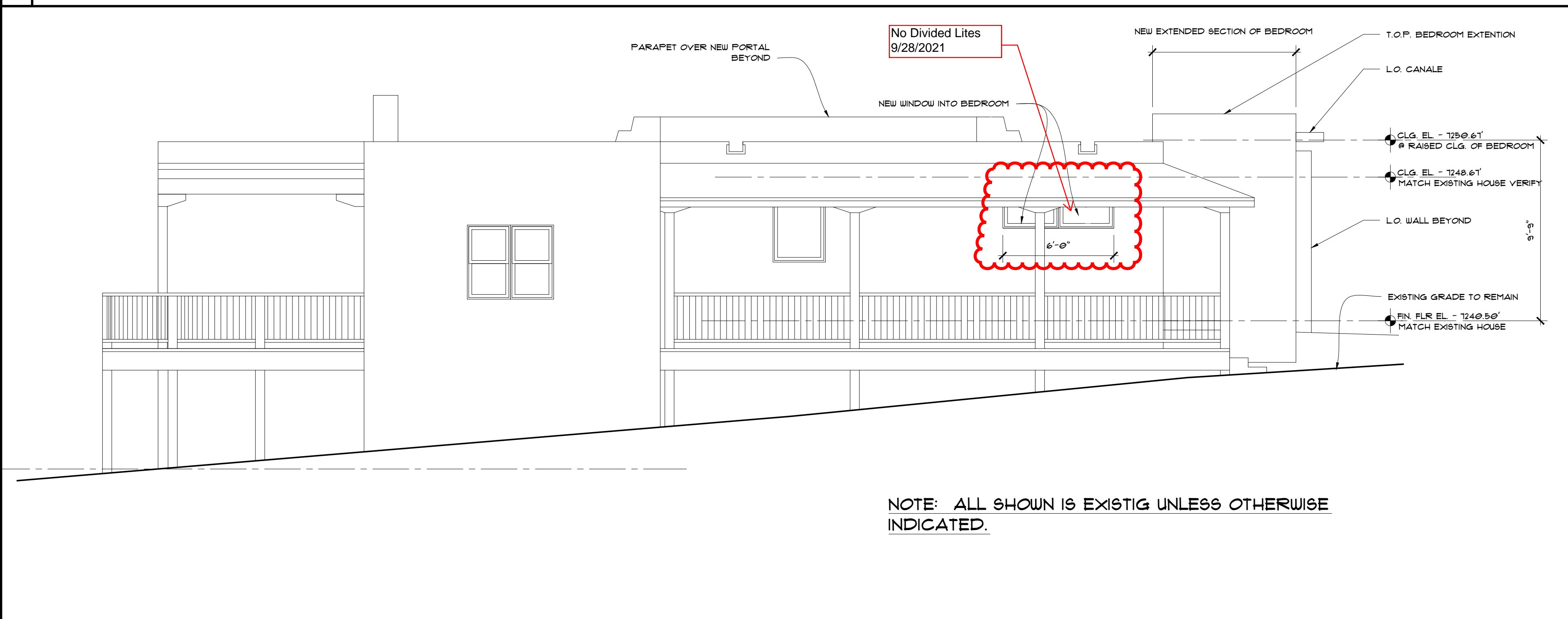
NOTE: ALL SHOWN IS EXISTIG UNLESS OTHERWISE INDICATED.



1

PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



NOTE: ALL SHOWN IS EXISTIG UNLESS OTHERWISE INDICATED.

2

PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

HINLICKY/RAIFMAN RESIDENCE

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SCALE - AS NOTED

DATE - 9/26/2021

REVISION -

A201

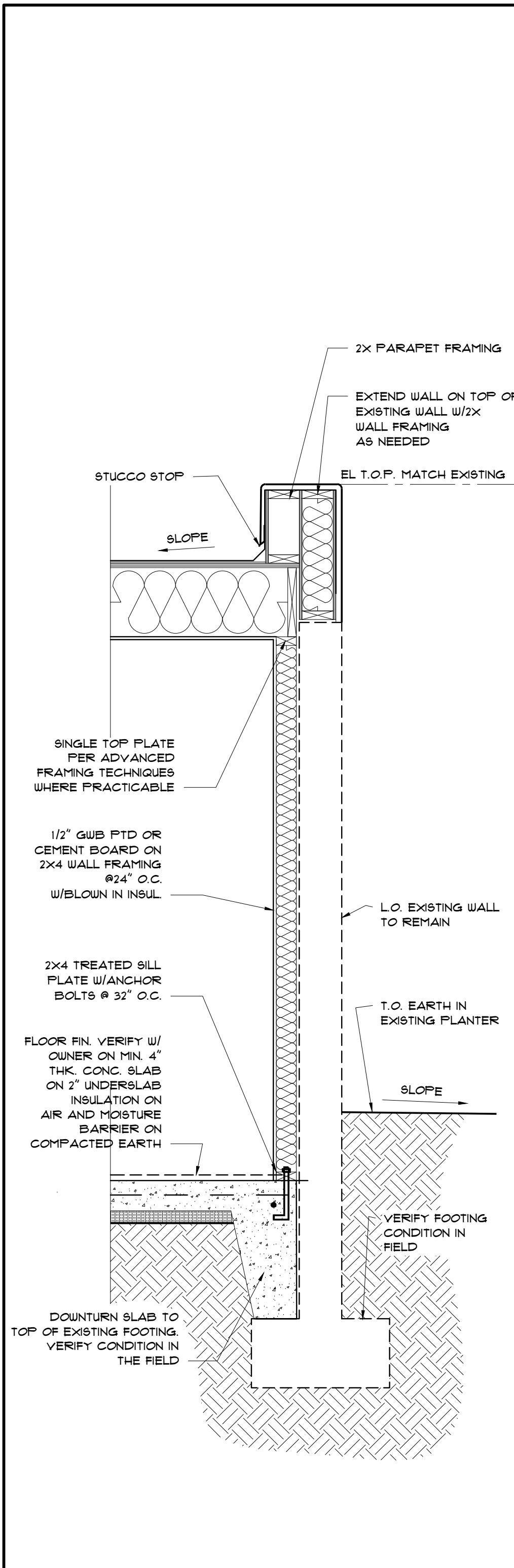
REVISION -

SCALE - AS NOTED
DATE - 9/26/2021

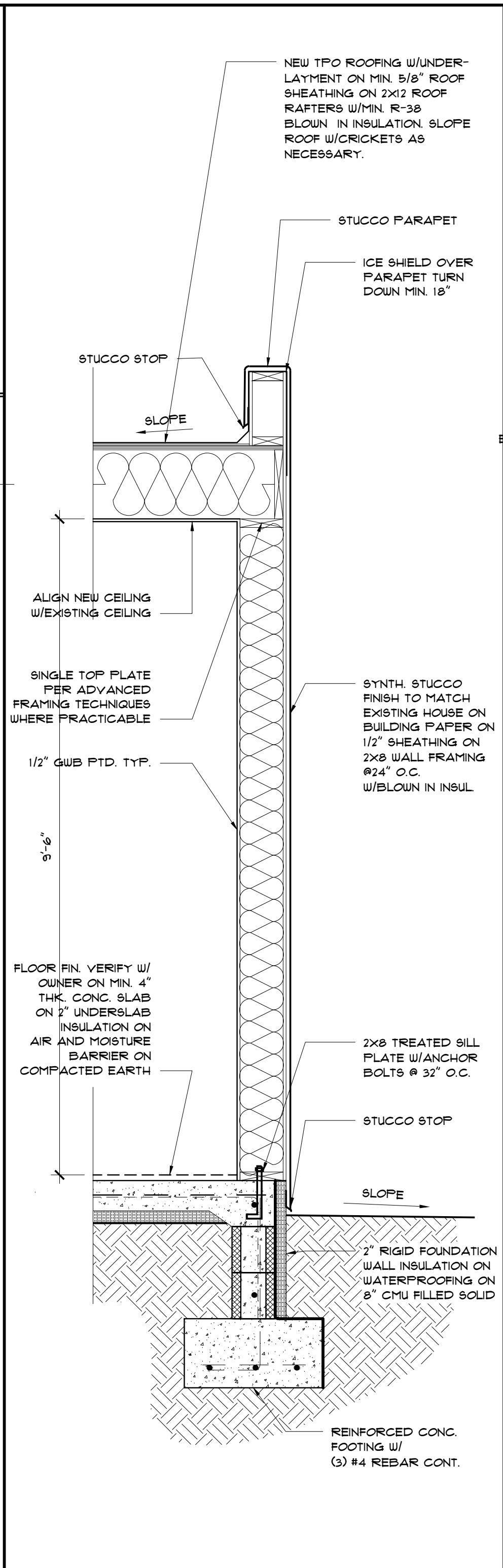
WALL SECTIONS & DETAILS

HINLICKY/RAIFMAN RESIDENCE
631 CAMINO DE LA LUZ, SANTA FE, NM 87505

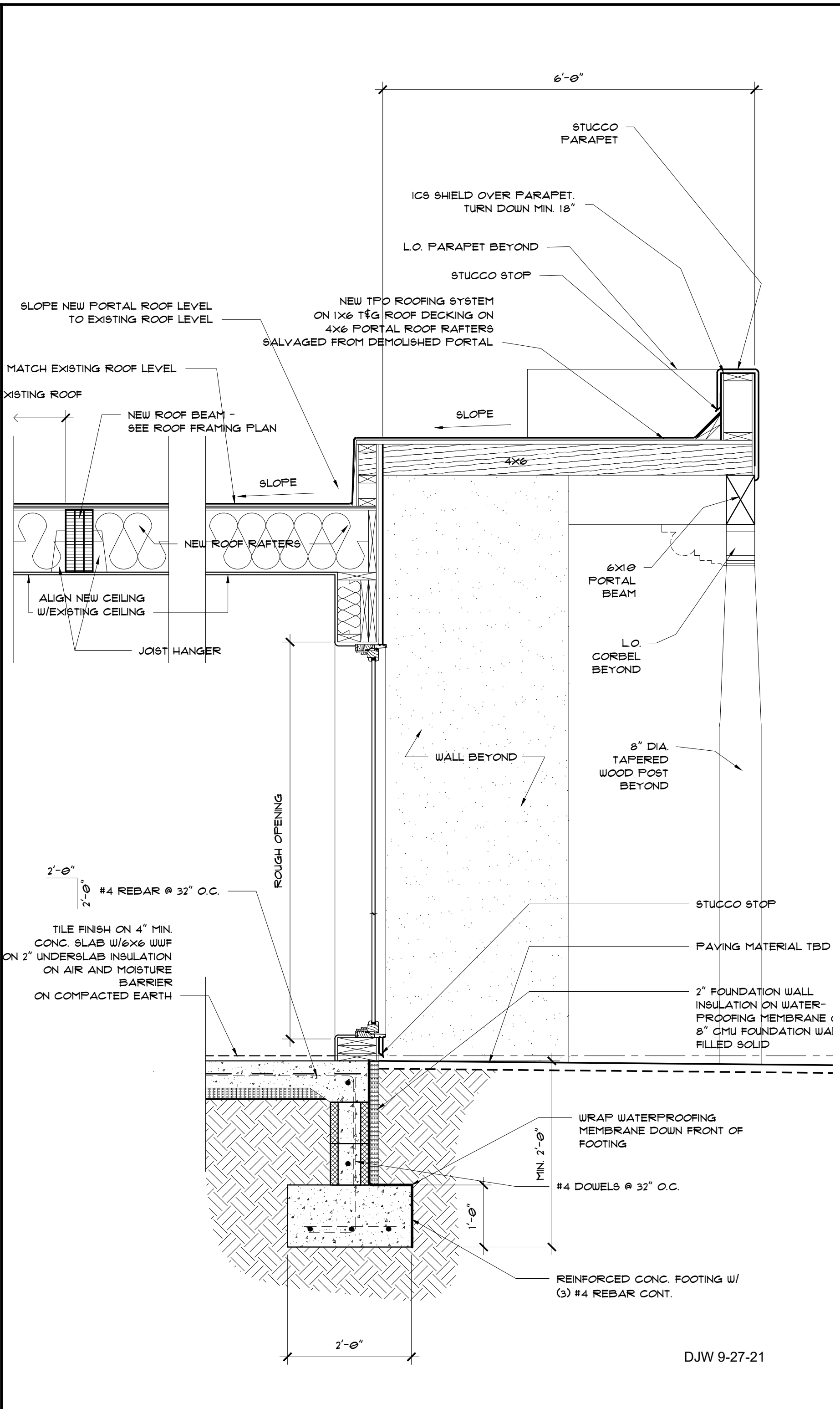
A400



3 WALL SECTION @ EXISTING WALL



3 TYPICAL WALL SECTION



1 WALL SECTION @ ENTRY PORTAL
DJW 9-27-21
SCALE: 3/4" = 1'-0"

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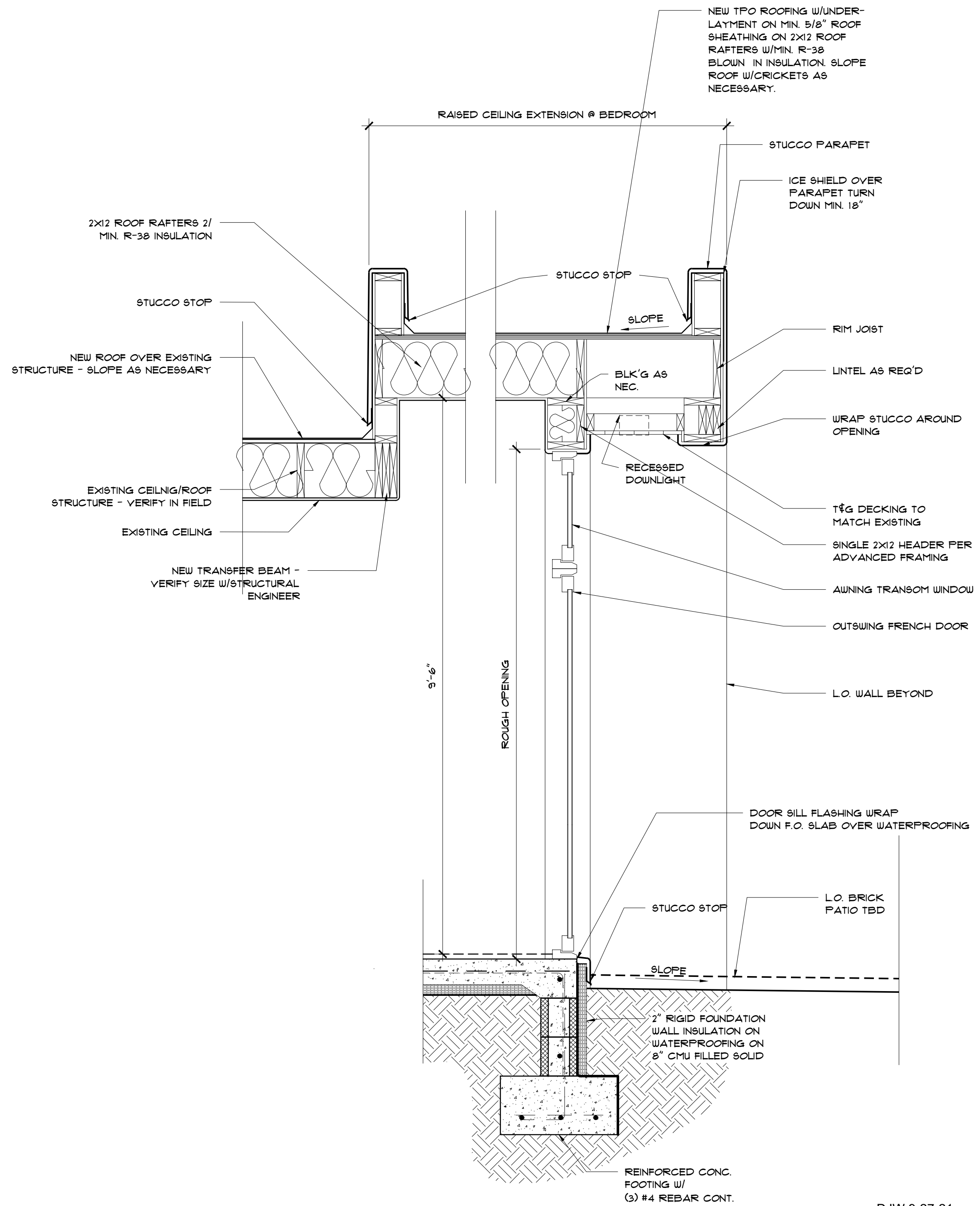
SCALE - AS NOTED

DATE - 9/26/2021

WALL SECTIONS & DETAILS

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

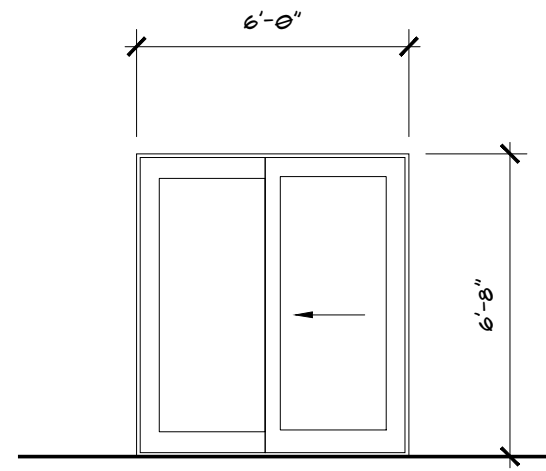


DJW 9-27-21

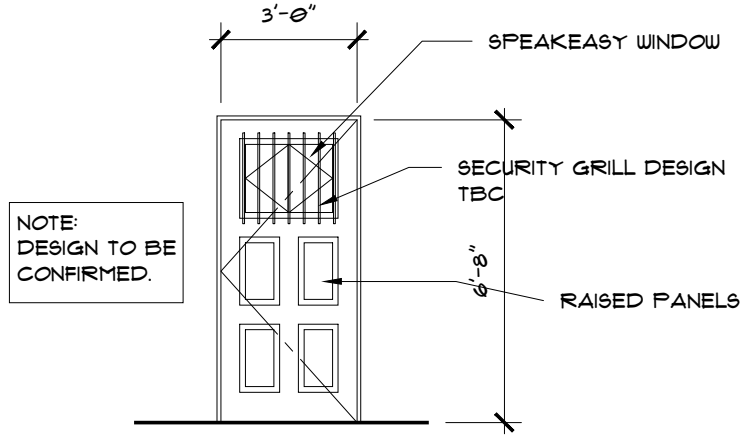
I WALL SECTION @ ENTRY PORTAL

SCALE: 3/4" = 1'-0"

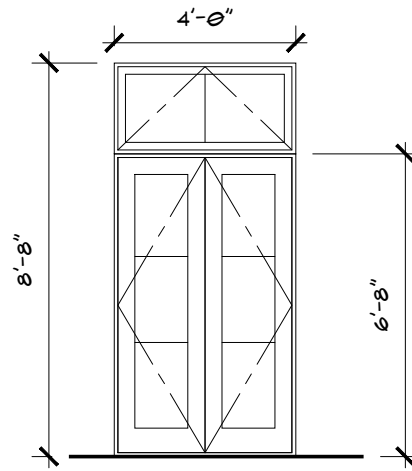
A401



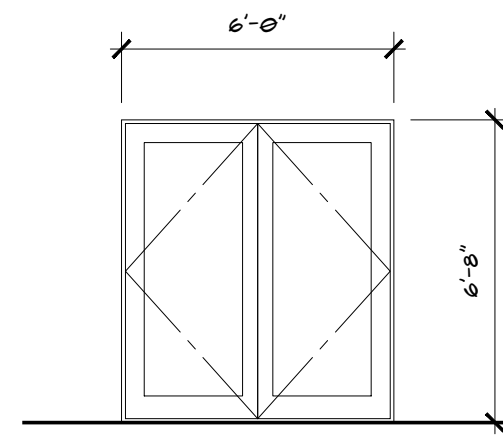
MARK: D4
SIZE: 6'-0" x 6'-8" H (VERIFY)
TYPE: SLIDING
MATERIAL: WOOD CLAD
FINISH: MATCH EXISTING
LOCATION: LIVING
HARDWARE: VERIFY W/MANUF.
SCREENS: YES (VERIFY W/OWNER)



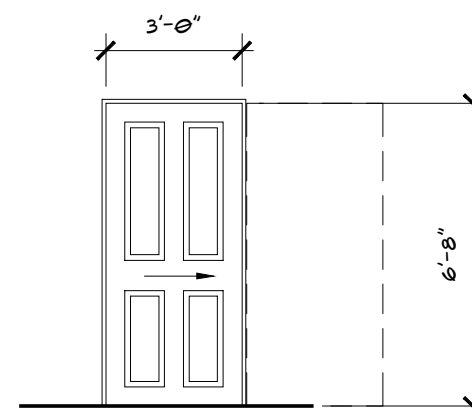
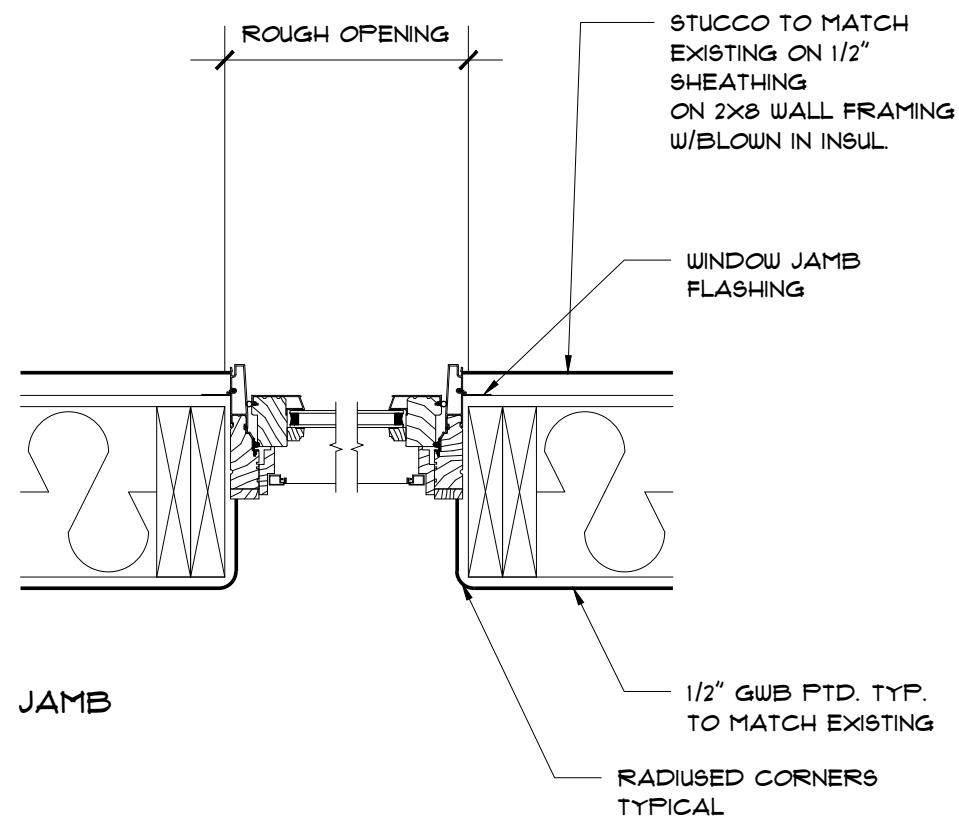
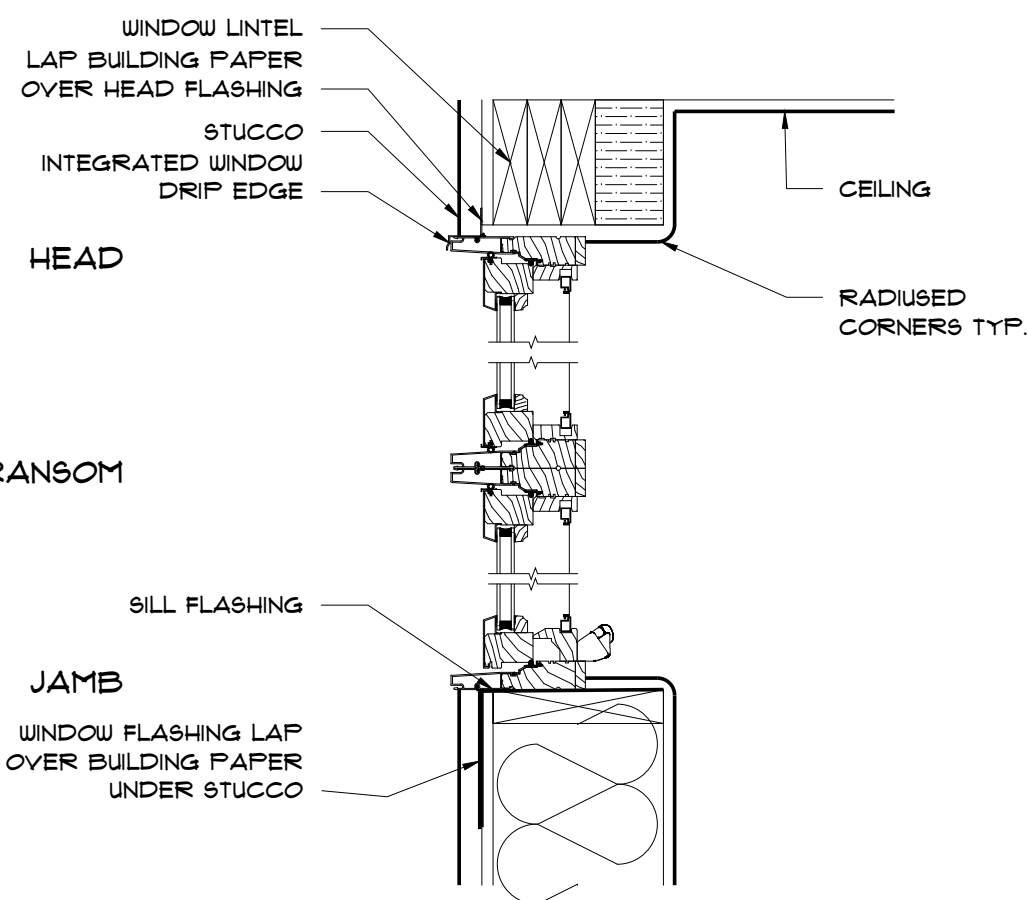
NOTE: DESIGN TO BE CONFIRMED.
MARK: D3
SIZE: 3'-0" x 6'-8" H (VERIFY)
TYPE: INSWING W/SPEAKEASY
MATERIAL: SOLID WOOD
FINISH: MATCH EXIST.
LOCATION: LIVING RM.
HARDWARE: TBD
SCREENS: YES



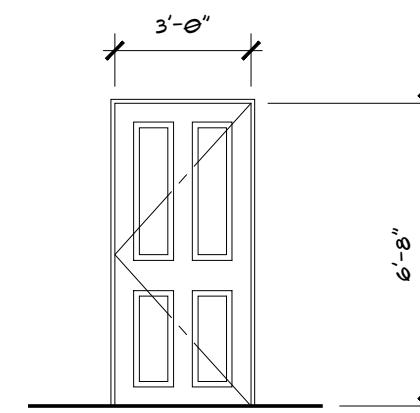
MARK: D2
SIZE: 4'-0" x 8'-2" H
TYPE: OUTSWING/AWNING
MATERIAL: WOOD CLAD
FINISH: MATCH EXIST.
LOCATION: BEDROOM
HARDWARE: TBD
SCREENS: NO



MARK: D1
SIZE: 6'-0" x 6'-8" H (VERIFY)
TYPE: INSWING FRENCH DOOR
MATERIAL: WOOD CLAD
FINISH: MATCH EXISTING
LOCATION: ENTRY
HARDWARE: VERIFY W/MANUF.
SCREENS: NO



MARK: D6 & D7
SIZE: 3'-0" x 6'-8" H
THICKNESS: 1 3/8"
TYPE: POCKET DOOR
MATCH EXISTING STYLE
MATERIAL: SOLID WD/PANEL
FINISH: STAINED (MATCH EXISTING)
LOCATION: BEDROOM TO BATH
DINING TO LAUNDRY
HARDWARE: TBD



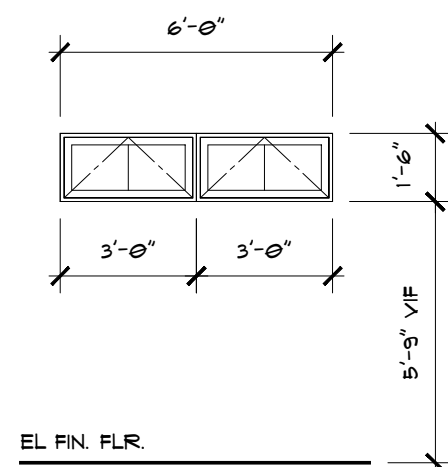
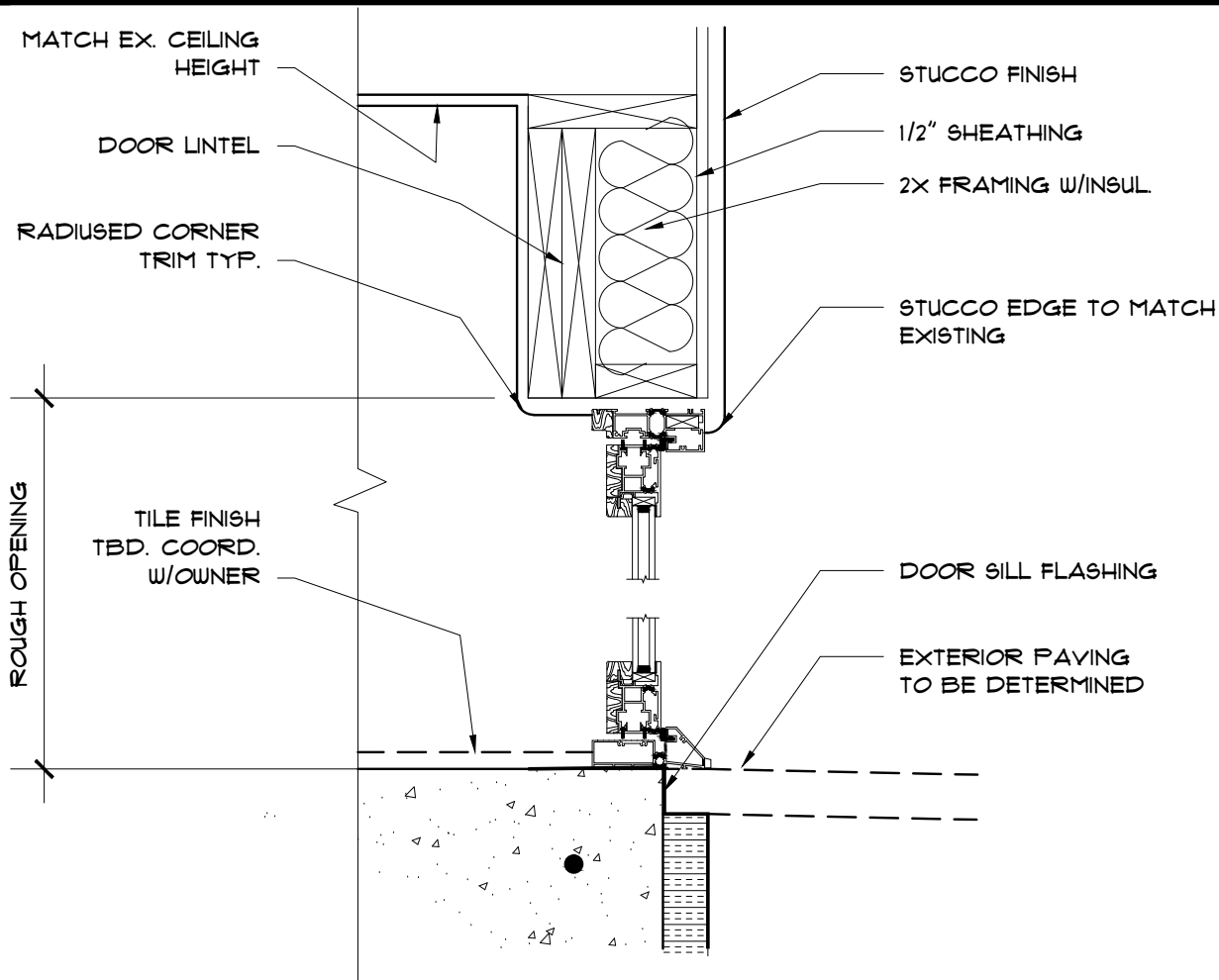
MARK: D5
SIZE: 3'-0" x 6'-8" H
THICKNESS: 1 3/8"
TYPE: SWING/4-PANEL
MATCH EXISTING STYLE
MATERIAL: SOLID WD/PANEL
FINISH: STAINED (MATCH EXISTING)
LOCATION: DINING TO BEDROOM
HARDWARE: TBD

1 WINDOW DETAIL

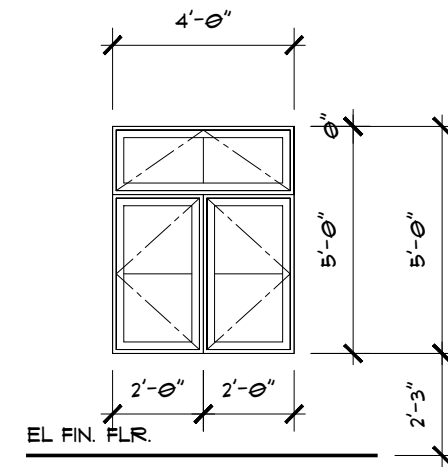
SCALE: 1 1/2" = 1'-0"

1 DOOR SCHEDULE

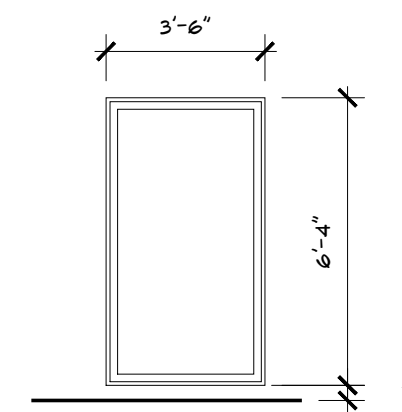
SCALE: 1/4" = 1'-0"



MARK: W5
O/A UNIT SIZE: 6'-0" W x 1'-6" H
TYPE: AWNING
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: NO
LOCATION: BEDROOM
SCREENS: YES



MARK: W3 & W4
O/A UNIT SIZE: 4'-0" W x 5'-0" H
TYPE: AWNING OVER CASEMENT
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: YES
LOCATION: BATH & BEDROOM
SCREENS: YES



MARK: W1 & W2
UNIT SIZE: 4'-2" W x 6'-4" H
TYPE: FIXED
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: YES
LOCATION: ENTRY HALL
SCREENS: NA

3 ENTRY DOOR DETAIL

SCALE: 1 1/2" = 1'-0"

2 WINDOW SCHEDULE

DJW 9-27-21

SCALE: 1/4" = 1'-0"

DOOR AND WINDOW SCHEDULES

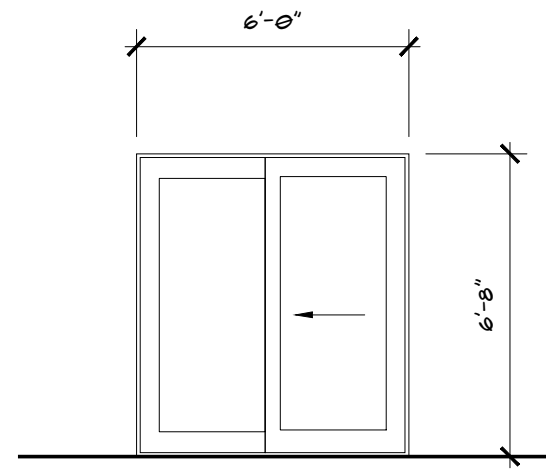
HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

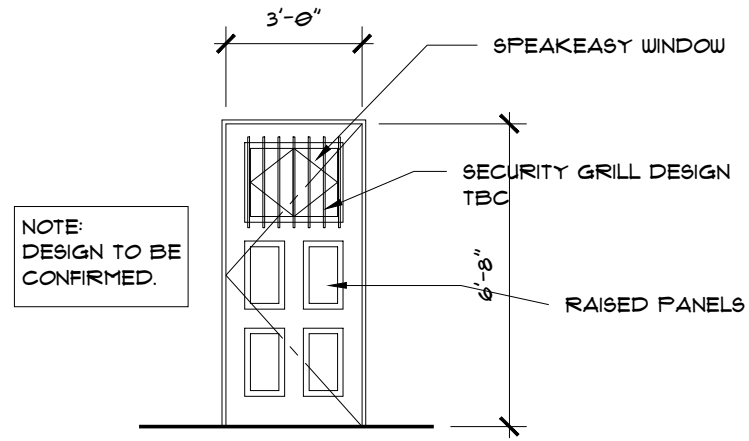
SCALE - AS NOTED

DATE - 9/26/2021

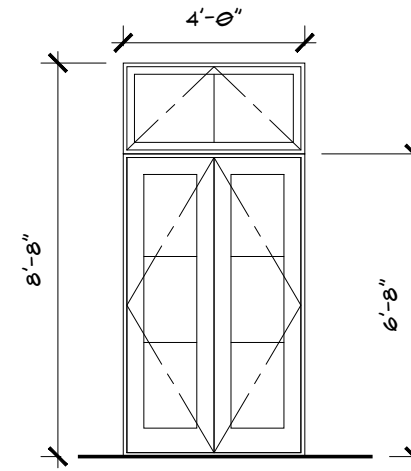
A500



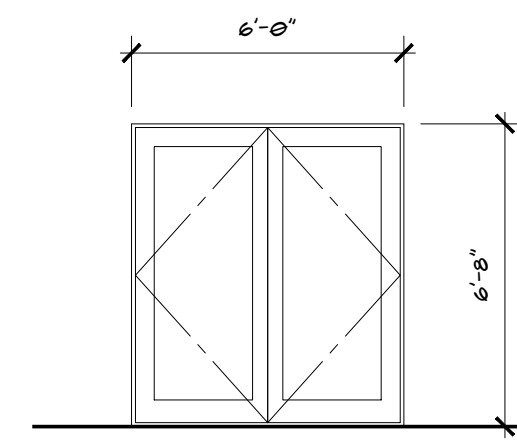
MARK: D4
SIZE: 6'-0" x 6'-8" H (VERIFY)
TYPE: SLIDING
MATERIAL: WOOD CLAD
FINISH: MATCH EXISTING
LOCATION: LIVING
HARDWARE: VERIFY W/MANUF.
SCREENS: YES (VERIFY W/OWNER)



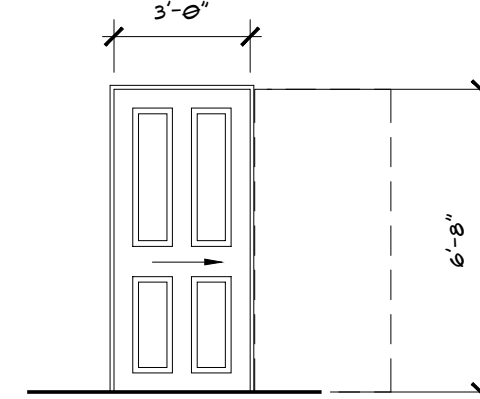
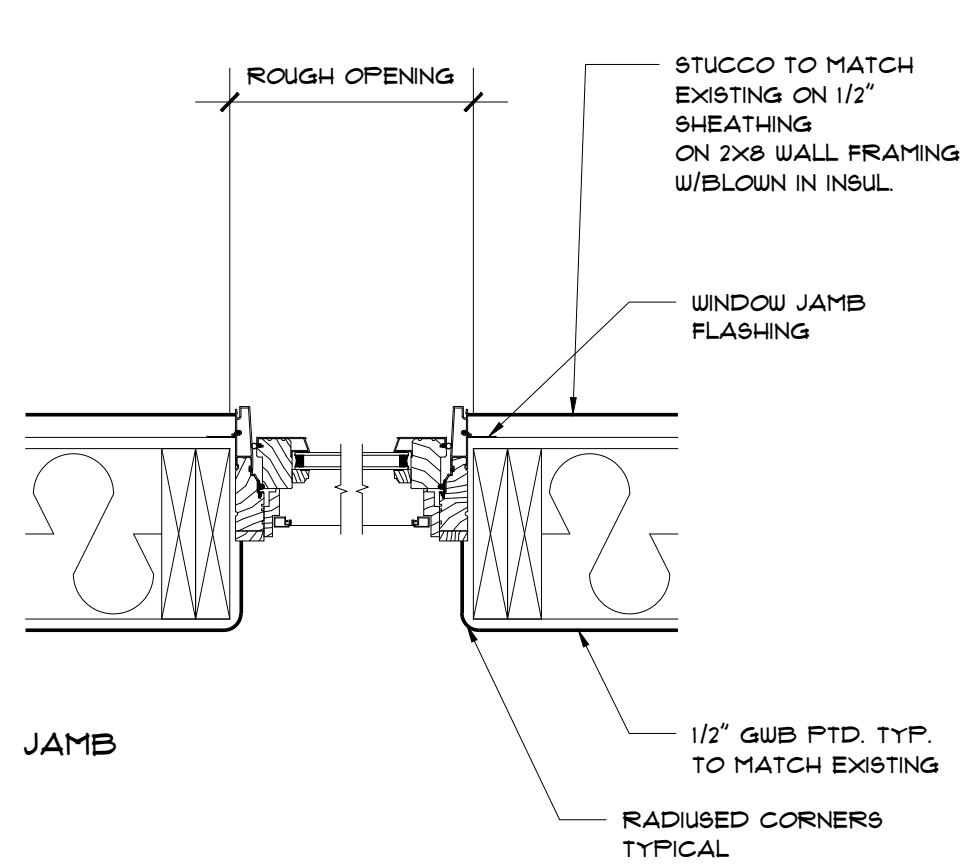
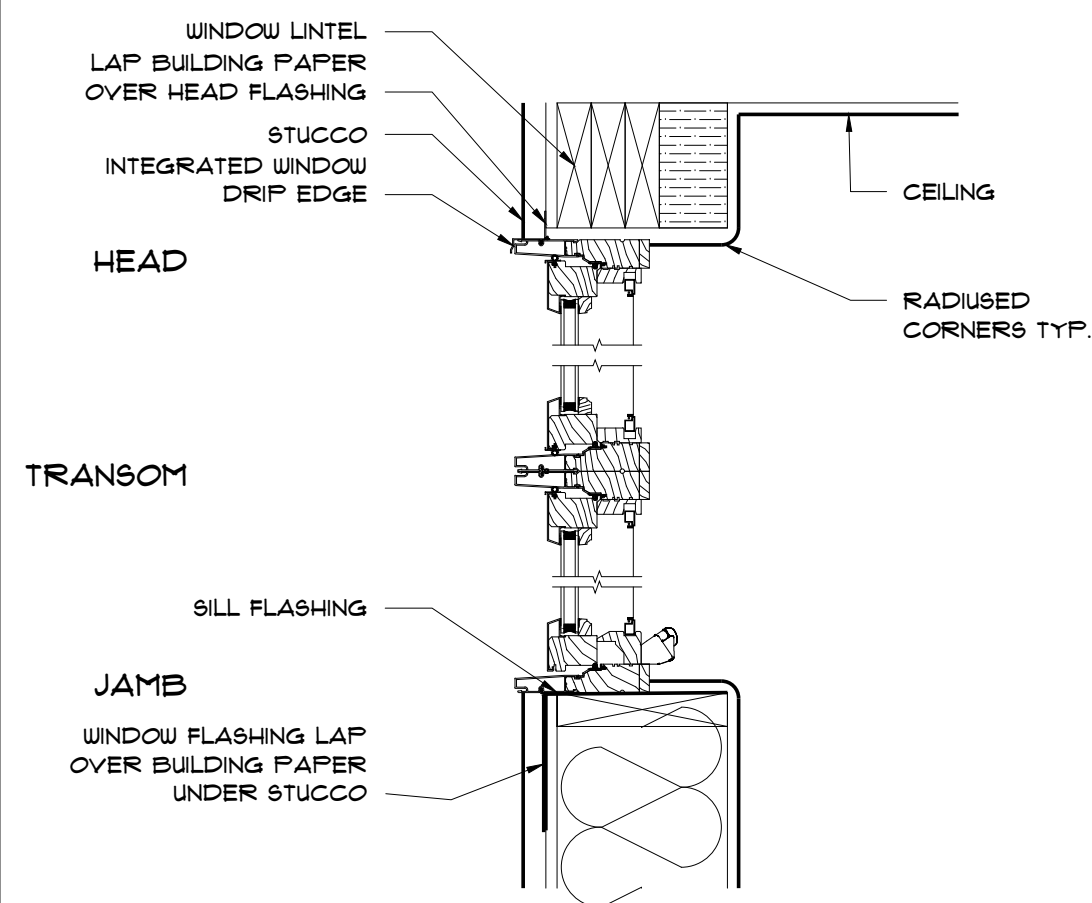
MARK: D3
SIZE: 3'-0" x 6'-8" H (VERIFY)
TYPE: INSWING W/SPEAKEASY
MATERIAL: SOLID WOOD
FINISH: MATCH EXIST.
LOCATION: LIVING RM.
HARDWARE: TBD
SCREENS: YES



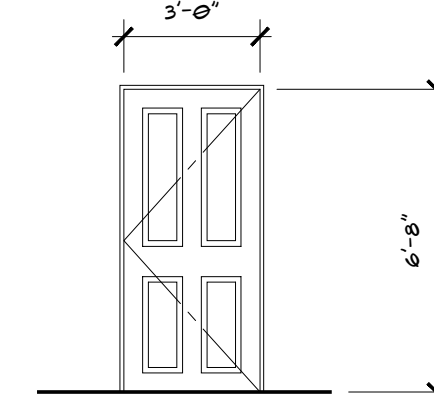
MARK: D2
SIZE: 4'-0" x 6'-8" H
TYPE: OUTSWING/AWNING
MATERIAL: WOOD CLAD
FINISH: MATCH EXIST.
LOCATION: BEDROOM
HARDWARE: TBD
SCREENS: NO



MARK: D1
SIZE: 6'-0" x 6'-8" H (VERIFY)
TYPE: INSWING FRENCH DOOR
MATERIAL: WOOD CLAD
FINISH: MATCH EXISTING
LOCATION: ENTRY
HARDWARE: VERIFY W/MANUF.
SCREENS: NO



MARK: D6 & D7
SIZE: 3'-0" x 6'-8" H
THICKNESS: 1 3/8"
TYPE: POCKET DOOR
MATCH EXISTING STYLE
MATERIAL: SOLID WD/PANEL
FINISH: STAINED (MATCH EXISTING)
LOCATION: BEDROOM TO BATH
DINING TO LAUNDRY
HARDWARE: TBD



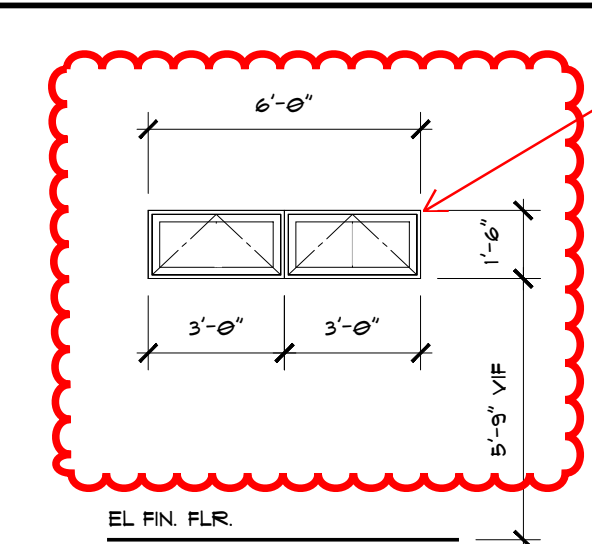
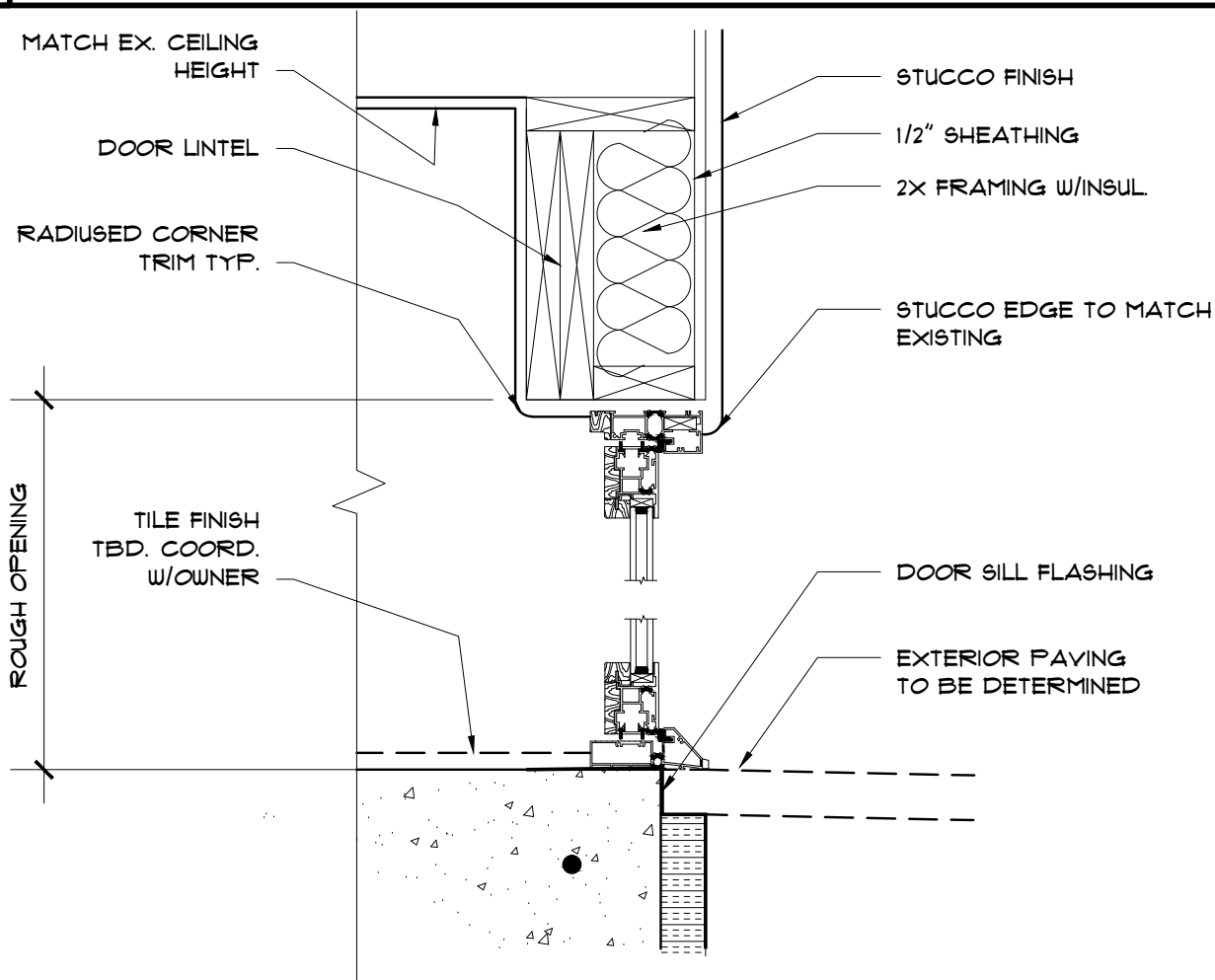
MARK: D5
SIZE: 3'-0" x 6'-8" H
THICKNESS: 1 3/8"
TYPE: SWING/4-PANEL
MATCH EXISTING STYLE
MATERIAL: SOLID WD/PANEL
FINISH: STAINED (MATCH EXISTING)
LOCATION: DINING TO BEDROOM
HARDWARE: TBD

1 WINDOW DETAIL

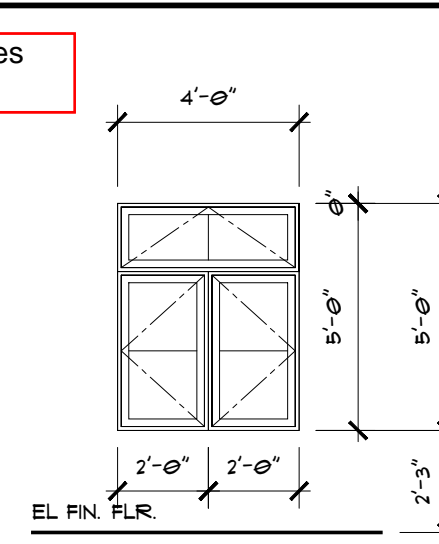
SCALE: 1 1/2" = 1'-0"

1 DOOR SCHEDULE

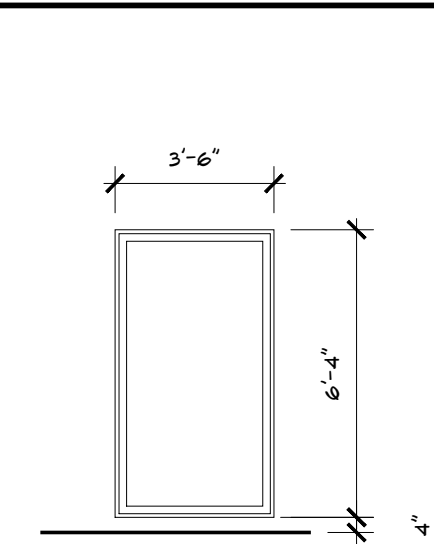
SCALE: 1/4" = 1'-0"



MARK: W5
O/A UNIT SIZE: 6'-0" W x 1'-6" H
TYPE: AWNING
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: NO
LOCATION: BEDROOM
SCREENS: YES



MARK: W3 & W4
O/A UNIT SIZE: 4'-0" W x 5'-0" H
TYPE: AWNING OVER CASEMENT
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: YES
LOCATION: BATH & BEDROOM
SCREENS: YES



MARK: W1 & W2
UNIT SIZE: 4'-2" W x 6'-4" H
TYPE: FIXED
MATERIAL: WD. CLAD
COLOR: MATCH EXISTING
INTERIOR FINISH: STAINED TO MATCH
TEMPERED: YES
LOCATION: ENTRY HALL
SCREENS: NA

3 ENTRY DOOR DETAIL

SCALE: 1 1/2" = 1'-0"

2 WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

DOOR AND WINDOW SCHEDULES

SCALE - AS NOTED

DATE - 9/26/2021

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

A500

**JUICEKITCHEN
DESIGN
WORKSHOP**

1219 CERRO GORDO RD.
SANTA FE, NM 87501
505.920.9128
JU@JUICEKITCHENDESIGNWORKSHOP.COM

REVISION -



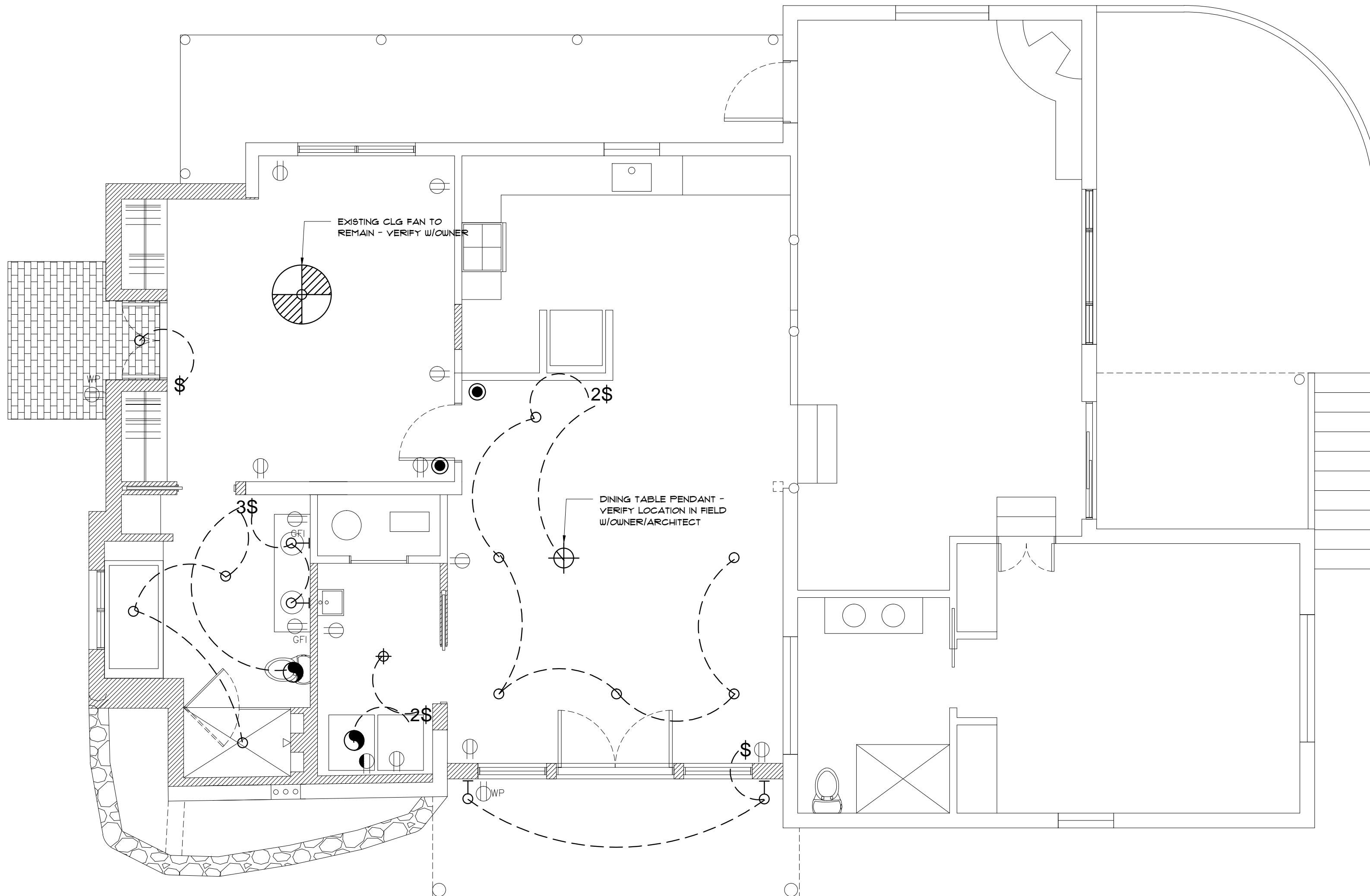
SCALE - 1/4" = 1'-0"

DATE - 9/26/2021

POWER AND LIGHTING PLANS

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505



- LEGEND**
- PENDANT LIGHT
 - WALL SCONCE
 - SURFACE MOUNTED CEILING LIGHT
 - LIGHTING TRACK
 - MECHANICAL VENT FAN
 - LED RECESSED DOWNLIGHT
 - FLOURESCENT TUBE FIXTURE (LENGTH IN FT.)
 - CEILING FAN
 - 1-GANG WALL SWITCH - DECORATOR
ROCKER STYLE
 - 2-GANG WALL SWITCH
 - 3-GANG WALL SWITCH
 - 4-GANG WALL SWITCH
 - 3-WAY SWITCH
 - WALL SWITCH WITH DIMMER
 - SMOKE & CO DETECTOR

- LEGEND**
- DISTRIBUTION PANEL
 - 15A DUPLEX OUTLET
 - 15A QUAD OUTLET
 - 30A/240V SINGLE OUTLET (DRYER)
 - EXTERIOR WATERPROOF OUTLET
 - GFI OUTLET
 - GFI OUTLET @ ABOVE COUNTER HEIGHT
(VERIFY REQUIREMENTS)
 - CABLE TV OUTLET
 - THERMOSTAT
 - DIRECT BURIAL LOW VOLTAGE
TRANSFORMER (300VA)

DJW 9-27-21

**JUICEKITCHEN
DESIGN
WORKSHOP**

1219 CERRO GORDO RD.
SANTA FE, NM 87501
505.920.9128
JU@JUICEKITCHENDESIGNWORKSHOP.COM

REVISION -



SCALE - 1/4" = 1'-0"

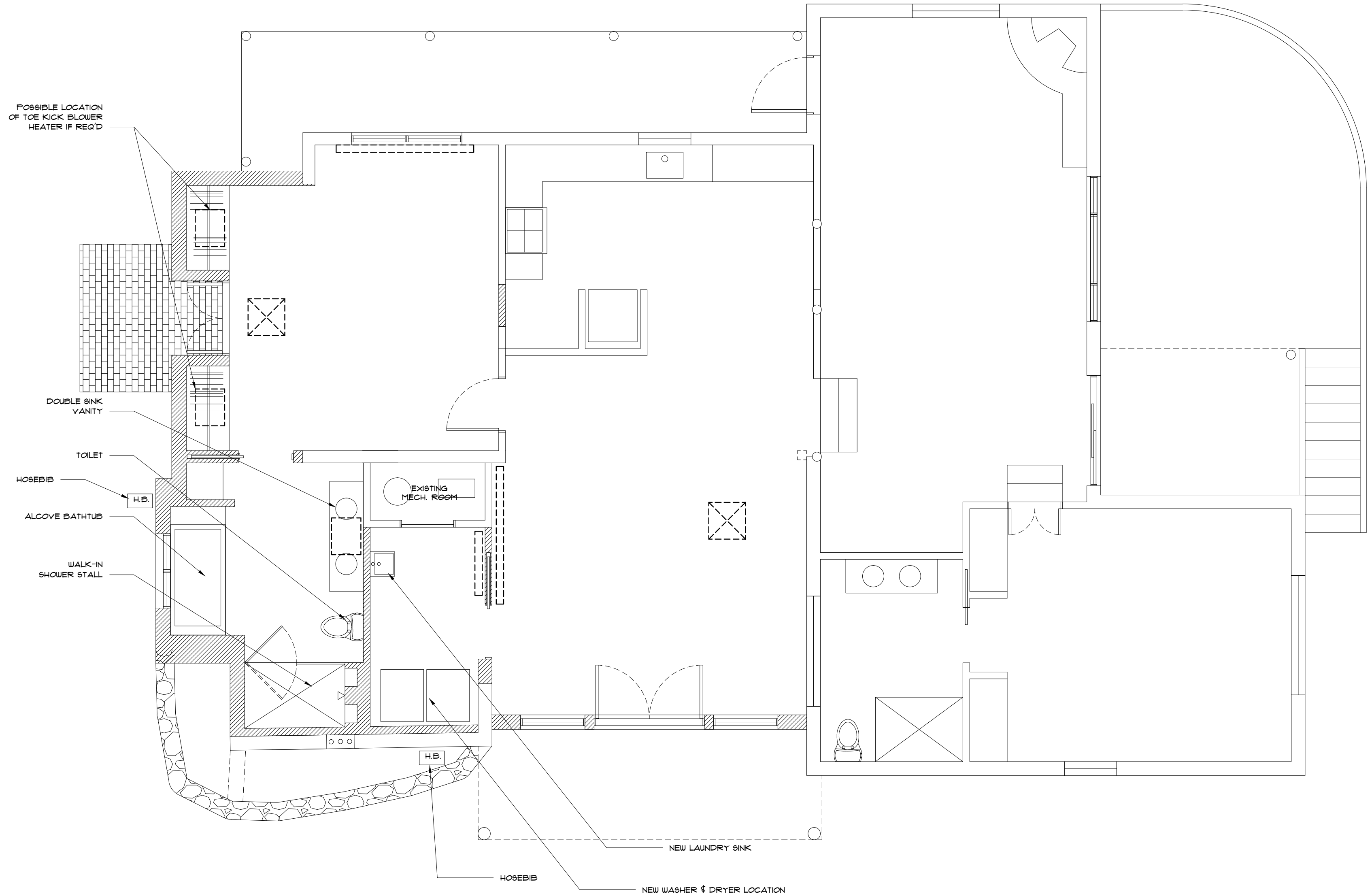
DATE - 9/26/2021

HEATING AND PLUMBING DIAGRAM

HINLICKY/RAIFMAN RESIDENCE

631 CAMINO DE LA LUZ, SANTA FE, NM 87505

MP100



LEGEND

[-----] FLAT PROFILE (RUNTAL) PANEL RADIATOR

[X] 24X24 CEILING UNIT

[---] KICKSPACE HYDRONIC BLOWER

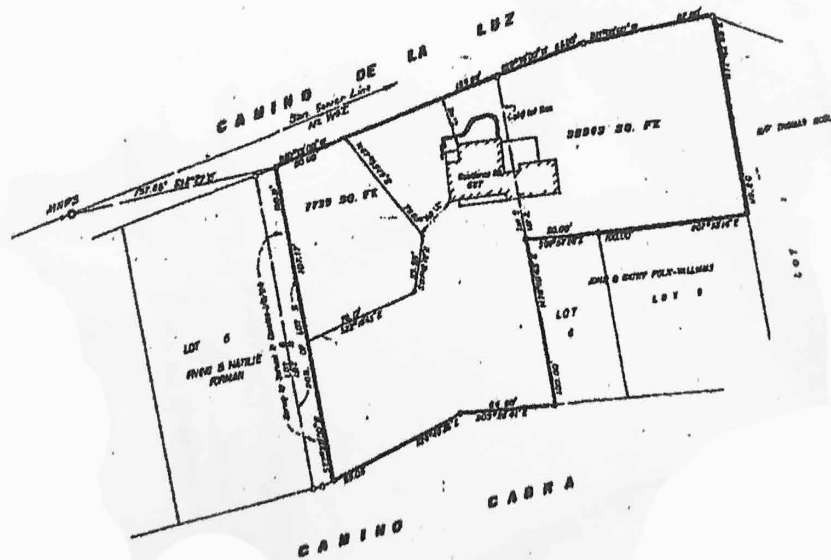
NOTES:

1. ALL LOCATIONS SHOWN ARE LOCATION OPTIONS ONLY. NOT ALL LOCATIONS NEED TO BE USED. CONTRACTOR TO DETERMINE HEATING AND COOLING LOADS AND PROPOSE UNIT SIZES AND LOCATIONS FOR APPROVAL.
2. PLUMBER TO PROPOSE THE POSSIBILITY AND IMPLICATIONS OF A RADIANT HEAT SYSTEM FOR THE BATHROOM AND ENTRY HALL.
3. VERIFY ALL BASEBOARD HEATER LOCATIONS W/OWNER AND ARCHITECT.

DJW 9-27-21



VIGILANCE MAP
NOT TO SCALE



LEGEND

- Disputed points found as indicated
 - Disputed alleged 1/2" color
- NOTE: Not returned by Victor G. Purdy about July 15, 1968 with
lands added for Beatriz Vigil & Leroy Manuel & by Survey
P. Ordaz dated January 5, 1968 for Thomas A. Green.

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT IS AN ACCURATE DELINEATION OF NOTES OF FIELD SURVEYS, COMPLETED BY ME OR UNDER MY DIRECTION ON OCTOBER 2, 1968 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS PLAT MEETS THE MINIMUM REQUIREMENTS SET BY THE STATE OF NEW MEXICO FOR LAND SURVEYS.

Cipriano Martinez
CIPRIANO MARTINEZ
N.M.L.S. NO. 3993
310 AVENUE N, SANTA FE, N.M.



662-146
COUNTY CLERK
STATE OF NEW MEXICO
I hereby certify that this instrument was filed for record on this date and that the same has been duly recorded in book 111, page 111 of the records of Santa Fe County, New Mexico.
Witness my hand and Seal of Office
June 21, 1968
County Clerk, Santa Fe County, N.M.
Virginia Prater

**LOT LINE ADJUSTMENT
FOR MARGARET SCHOONOVER
PORTION OF LOT 5 AND LOT 2
LANDS SUBDIVIDED FOR BEATRIZ VIGIL AND
LEROY MANUEL
627 CAMINO DE LA LUZ
SANTA FE, NEW MEXICO**

HOW COME CIPRIANO MARTINEZ, A LICENSED LAND SURVEYOR IN THE STATE OF NEW MEXICO, AND IN ACCORDANCE WITH MARGARET SCHOONOVER'S WISHES AND DESIRES CERTIFIED THAT THE PLAT SET FORTH WITH THE LEGAL DESCRIPTION OF TWO TRACTS RESULTS FROM A RECONSTRUCTION PURSUANT TO THE SANTA FE, NEW MEXICO CITY PLANNING DEPARTMENT LAND SUBDIVISION REGULATIONS, SECTION 1-10-4, N.M.S.A. 1953. THIS ADMINISTRATIVELY MOVES THE BOUNDARY LINE BETWEEN LOT TWO (2) AND LOT FIVE (5) TO THE LINE AS SHOWN ON THIS PLAT ENTITLED "LOT LINE ADJUSTMENT FOR MARGARET SCHOONOVER, PORTION OF LOT 5 AND LOT 2, LANDS SUBDIVIDED FOR BEATRIZ VIGIL AND LEROY MANUEL, 627 CAMINO DE LA LUZ, SANTA FE, NEW MEXICO. THERE IS NO CONDEMNATION OF LAND FOR PUBLIC USE OR FOR USE BY THE OFFICES OF LOTS FRONTING OR ADJACENT TO THIS LAND, WHICH HAS NOT BEEN PLATTED AND ACCEPTED.

Cipriano Martinez
CIPRIANO MARTINEZ N.M.L.S. NO. 3993 191040

STATE OF NEW MEXICO)
COUNTY OF SANTA FE)

THE FOREGOING INSTRUMENT WAS KNOWLEDGED BEFORE ME THIS 11th DAY OF October 1968 BY Margaret Schoonover BY COMMISSION EXPIRES 11/1/90
NOTARY PUBLIC

I CONSENT TO THIS CERTIFICATE.

Margaret Schoonover
MARGARET SCHOONOVER

STATE OF NEW MEXICO)
COUNTY OF SANTA FE)

SUBSCRIBED AND SHOWN TO BEFORE ME THIS 11th DAY OF October, 1968.

MY COMMISSION EXPIRES 11/1/90

Concha Ortiz
NOTARY PUBLIC

CITY OF SANTA FE

APPROVED BY CITY ENGINEER
[Signature] DATE 10/19/68

APPROVED BY CITY PLANNER
[Signature] DATE 10/19/68



Existing car port

VIEW FROM SOUTHWEST







VIEW FROM NORTHWEST





Existing window to be replaced

Existing door to be replaced

VIEW DOWN EXISTING NORTH PORTAL

Existing car port
wall to remain

Detail to remain

Existing Front Entry

VIEW TOWARDS EXISTING ENTRY







Existing Front Entry





EAST ELEVATION - NO WORK



Door to be replaced

EAST ELEVATION









SOUTH ELEVATION - NO WORK





CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Historic Status Downgrade Request

Case number: **2021-004292-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 620 Garcia Street

PROJECT NAMES:

OW/APP – David and Tamara Schiltz

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER NONE

YEAR OF CONSTRUCTION Not known

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME **Not Known**

City of Santa Fe, New Mexico

memo

DATE: October 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021-003847-HDRB

Address: 620 Garcia Street
Historic Status: Non-Contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
Form
 Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs

RECOMMENDATION:

Staff recommends approval of the proposed project and finds that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

620 Garcia is an approximately 1,500 sf Spanish-Pueblo vernacular building in the Downtown and Eastside Historic District that was downgraded to non-contributing status at the July 13, 2021 Historic Districts Review Board meeting because of extensive alterations.

It is single-story, low-slung with rounded parapets and exposed vigas. It has undergone extensive alterations; multiple additions and all windows have been replaced. The front (east) elevation at the street features an irregular array of windows of type, style and material. Window openings have been increased. It has a rooftop solar structure atop a bank of clerestory windows.

The applicant returns to the board with a remodel project to repair and replace windows and doors to better comply with Downtown and Eastside District Standards.

The applicant's proposal includes replacing the eclectic variety of non-historic doors and windows installed at different times. Original window and door openings were altered. The proposal includes the following:

1. Windows and Doors

The applicant proposes to alter opening and replace windows and doors on the south, east, and northern elevations:

Replace the front door on the east façade.

Reduce opening of large undivided paned window on center east face and replace with smaller casement divide lite window.

Replace the door and bay window on north end east façade with a pair of divided lite glass doors.

Window opening on northern north façade will decrease in size. New window will be centered on wall, filling in the north and south existing openings.

2. Remove door and window - Replace with one window to be centered on the wall and filling in the existing east and west openings. New windows will be simulated divided lite, wood aluminum clad bronze.

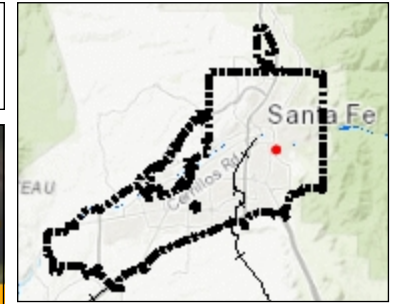
3. Add exposed lintels about windows.

4. Repairs

- a. Replace the front steps to the gate with flagstone.

- b. Repair the corner and bottom of the front wall with stone.

5. Remove south segment of low adobe 3' yard wall to update electrical service, per PNM's requirement to upgrade service. They require removing obstruction in front of the meter at a minimum of 36".



Legend

- City Limits
- Address Points
- Roads
- Major Roads
- Santa Fe County Parcels
- Santa Fe River
- + Rail Road
- Historic Buildings Status
 - Landmark
 - Significant
 - Contributing
 - Non-Contributing
 - Not Resurveyed

1: 564



94.0 0 47.02 94.0 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Brian and Tami Schiltz Window replacement May 2021



NO
PARKING
ANY
TIME

NOTICE

East facing Garcia St. Portal
added in the 80's







Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address: 620 GARCIA ST	
Date Submitted:		Proposed Construction Description:	
Property Owner of Record: SF LOGOS, LLC			
Applicant/Agent Name: TAMARA SCHILTZ			
Contact Person Phone Number: 963 343 7562		TOTAL ROOF AREA: 1560 SQ FT.	
Zoning District: _____		Lot Coverage: _____ % <input type="checkbox"/> Open Space Required: _____	
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		Setbacks: Proposed Front: _____ Minimum: _____ 2 nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Height: Proposed _____ Maximum Height: _____ or <input type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit		Parking Spaces: Proposed _____ Accessible _____ Minimum: _____	
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required		Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____			
Terrain: <input type="checkbox"/> 30% slopes _____			

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Tamara L. Schiltz

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

11/28/2021

DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>No change to setbacks, lot coverage or any other zoning consideration</u>	
REVIEWER: Lee Logston	DATE: 9/29/2021
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	



620 Garcia Street

September 21, 2021

Angela Schackel Bordegary
Historic Planning Division
200 Lincoln Avenue
City of Santa Fe

Dear Angela,

We are submitting for your review the following request. Included in this packet are the window specifics and a drawing of the proposed repairs and changes as seen from Garcia St. with the hope that it will be accepted.

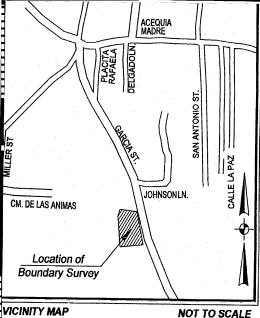
- Windows - We are looking to replace all the windows with the appropriate requirements for the Historic District in bronze color and we would like to expose the lintels above the windows to give it a historic appeal. (A) Master Bedroom - remove door and window - Replace with one window centered on the wall. Filling in the north and south existing openings. (D) Second bedroom window is to be slightly reduced in size moving in from the fireplace. (87" x 48") - Centered on the wall and filling in the existing east and west openings.
- Courtyard Door - replacing with 60" x 48". (DR1) Replacing bay window and door with 118' x 82" door. Door will be set to the north jam of the window and fill in the south. See attached "proposed".
- Update electrical service. After meeting with the PNM to assess updating the service. They require all obstruction be removed in front of the meter at a minimum of 36". We are asking to remove the short wall in front of the window.

- New Stucco was administratively approved on 3/16/21 Case Number: 2021-003316–Admin (color El Ray La Luz)
- Replace the front steps to the gate with flagstone.
- Repair the corner and bottom of the front wall with stone.

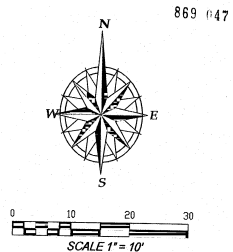
Thank you for reviewing.

Sincerely yours,

Tamara Schiltz



AMENDED - NOVEMBER 12, 2020
Boundary Survey Plat
prepared for
SF LOGOS, LLC
Lying and being situate at 620 Garcia Street, Portion of Lot 7, Block 85B, of the 1924 King's Official Map to the City of Santa Fe,
within Section 25, Township 17 North, Range 9 East N.M.P.M., County of Santa Fe, State of New Mexico.
Portion Lot 7 = 0.071 Acres ±



LEGEND

Bearings are based on the two hour static session, and reduced by OPUS. Applying grid to ground New Mexico State Plane Central Zone NAD 83 Coordinates Geodetic local position using GPS RTK Topcon Hiper + (N 02°53'32" W)

- ⊙ Monument found as noted.
- Monuments set, no. 4 rebar with 10988 cap or mag nail with 10988 shiner set in concrete
- ⊕ NGS Monument found and used as noted.
- ▨ Concrete drive, slab, or as noted, as noted.
- ▩ Brick pad or patio.
- ⊕ Sanitary Sewer Manhole
- ⊕ Covered Porch
- wm Water Meter
- co Clean out plug
- em Electric Meter
- ohp— Overhead Power Line

LINE	BEARING	DISTANCE
L1	N 20°51'03" E	14.01'
L2	S 12°01'04" E	15.99'

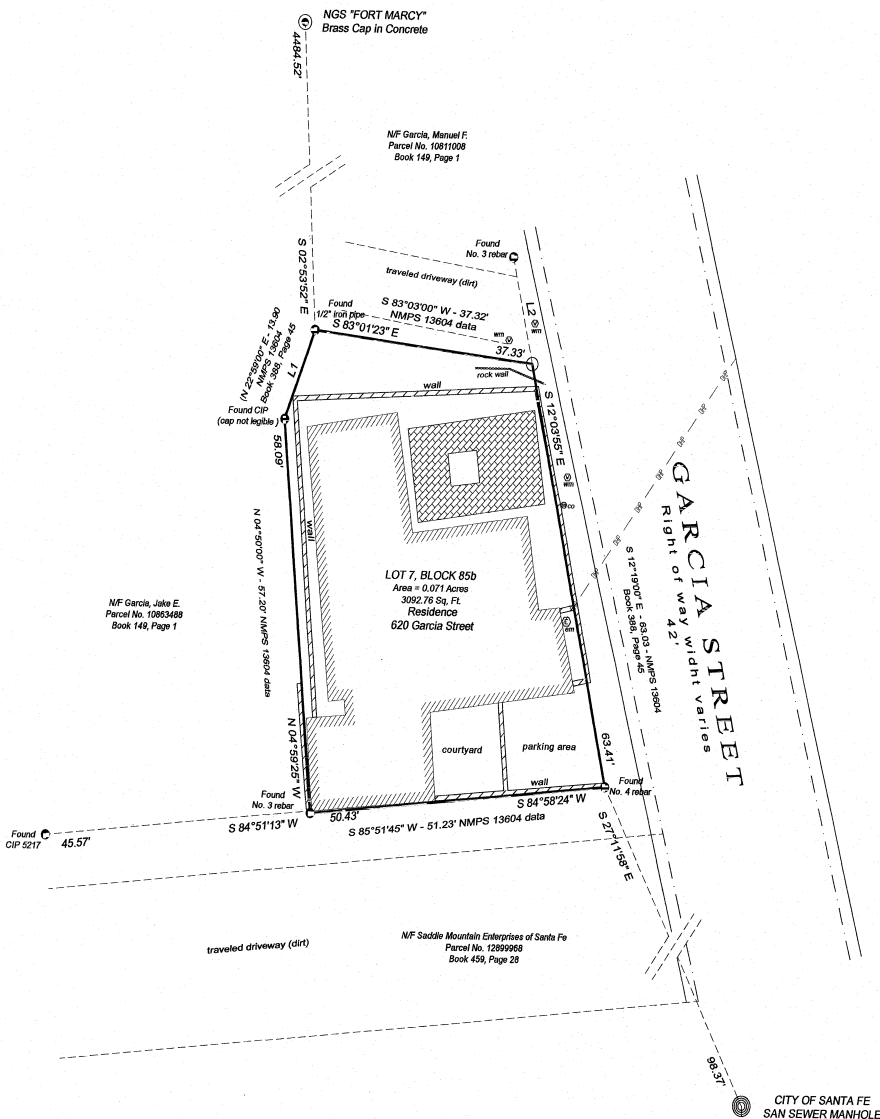


STATE OF NEW MEXICO }
SANTA FE COUNTY } SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED
FOR RECORD ON THIS 12 DAY OF November
A.D., 2020 AT 11:50 O'CLOCK A.M., RECORDED
IN BOOK 869 PAGE 47 AS
DOCUMENT No. 1934149 IN THE OFFICE
OF THE COUNTY CLERK OF SANTA FE COUNTY,
STATE OF NEW MEXICO.

WITNESS MY HAND AND SEAL OF COUNTY OFFICE
SANTA FE COUNTY
GERALDINE SALAZAR

Salvador I. Vigil
DEPUTY CLERK



SURVEYORS NOTES

Every document of record reviewed and considered as part of this survey is noted hereon. Only those documents noted hereon were supplied to the surveyor or as researched by Land Surveying Company, LLC.

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or other facts that an accurate and current abstract may disclose.

FEMA INFORMATION

As per FIRM Map 35049C 0416E this area is designated as Zone "X" an area determined to be outside the 0.2% annual chance floodplain. Map dated December 04, 2012.

DOCUMENTS REFERENCED

PLAT: Plat of Survey Prepared for Marjorie A. Rutherford Carr & Diane B. Dowd. Filed and recorded in Book 388, Page 45 in the Office of the Santa Fe County Clerk on August 19, 1998.

WARRANTY DEED: Marjorie A. Rutherford Carr, a single person, for consideration paid, grants to Diane B. Dowd, an unmarried woman. Filed and recorded in Book 1511, Page 214 in the Office of the Santa Fe County Clerk on July 1, 1998.

PLAT: Lot Line Adjustment Plat for Russell Platt and Jill Platt on a certain parcel of land lying and being situate at 634 Garcia Street, City and County of Santa Fe, New Mexico. Filed and recorded in Book 459, Page 28 in the Office of the Santa Fe County Clerk on November 8, 2000.

LEGAL LOT OF RECORD: Established within the King's Official Map recorded Plat Book 3, Page 389. As dated November 12, 1924.

CITY OF SANTA FE PUBLIC NOTICE

This plat of survey as depicted is based only on recorded documents as referenced hereon. The City of Santa Fe Staff must approve all documents submitted with and application for a building permit and may require additional documents or reference material to prove legal lot of record.

SURVEYORS AMENDMENT CERTIFICATE

The purpose of this amendment is to correct the acreage of the parcel depicted hereon from 0.71 Acres to 0.071 Acres. This amended survey plat supersedes plat recorded in Book 869, Page 025, as Instrument No. 1933790. Dated November 9, 2020.

Salvador I. Vigil 11/12/2020
Salvador I. Vigil, NMFS 10988 Date

SURVEYORS CERTIFICATE

I, Salvador I. Vigil, a Registered New Mexico Professional Surveyor do hereby certify that this Boundary Survey plat was prepared from an actual field survey performed by me or under my direct supervision on November 1, 2020. This survey and the boundaries on the plat depicted hereon were established using found monuments, and documents of record. This survey is not a Land Division or Subdivision as per the New Mexico Subdivision Act. This survey meets the minimum standards for surveys set forth by the New Mexico Board of licensure for Professional Surveyors and Engineers.

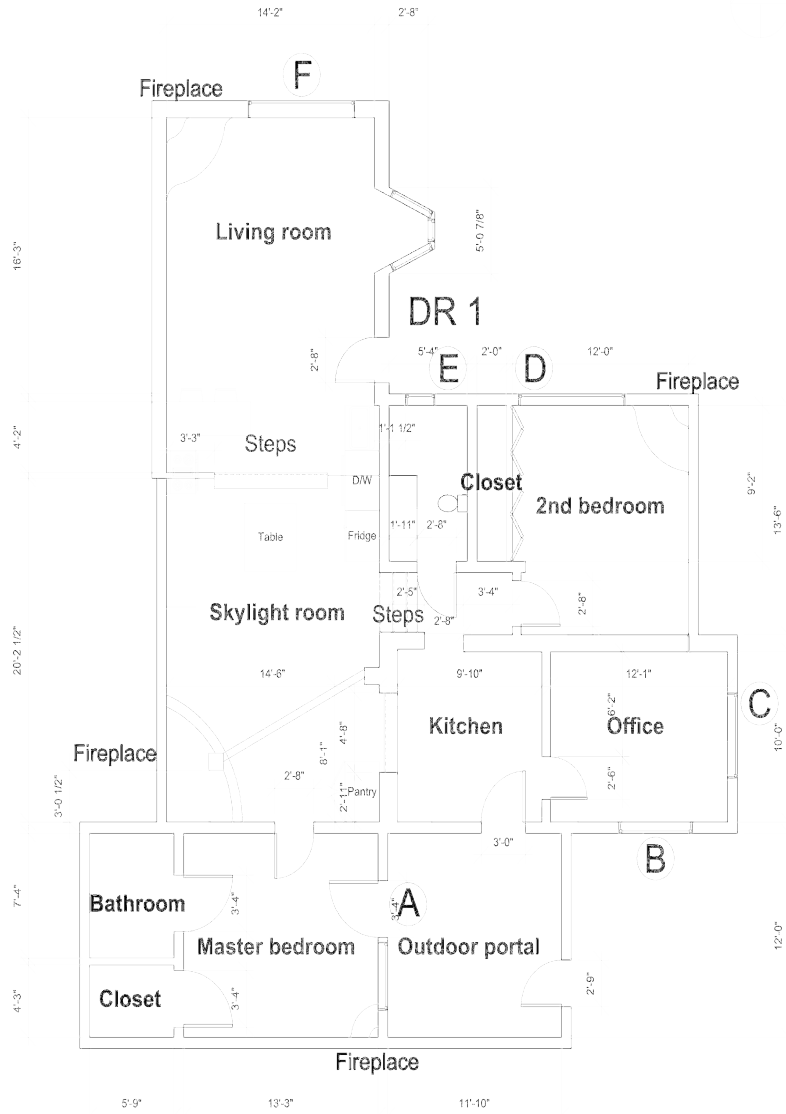
Salvador I. Vigil 11/9/2020
Salvador I. Vigil, NMFS 10988 Date



LSC SURVEYS, LLC	
SALVADOR I. VIGIL, NMFS 10988 P.O. BOX 4384 SANTA FE, NEW MEXICO 87505-4384	
PREPARED BY	S.I. Vigil, NMFS SANTA FE COUNTY CLERK/INDEX INFORMATION
DATE	November, 1, 2020 SF LOGOS, LLC
PROJECT No.	L-4276/PLAT 620 GARCIA STREET
CHECKED	Donald Yelton, SECTION 25, T. 17 N, R. 9 E, N.M.P.M.
UP.C. 1-594-098-458-343 PARCEL ID 10741060	CITY OF SANTA FE, COUNTY OF SANTA FE STATE OF NEW MEXICO

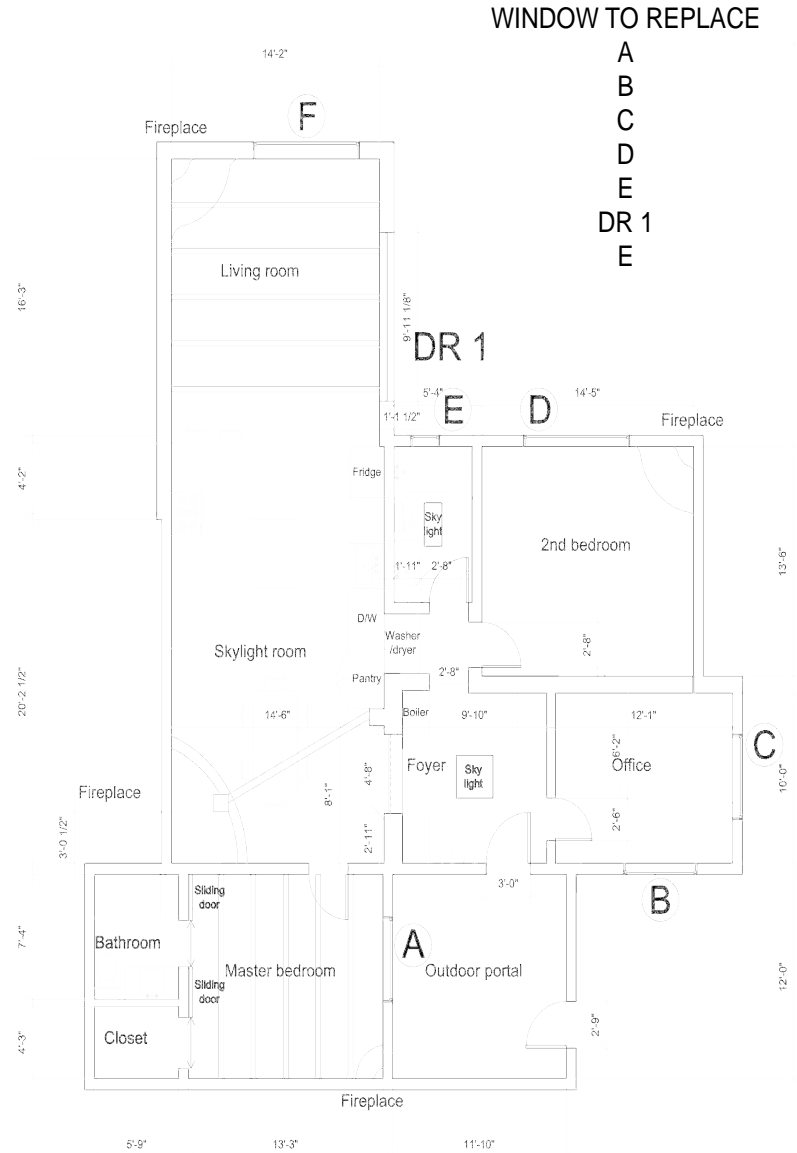


SF LOGOS - 620 GARCIA STREET
SANTA FE, NM



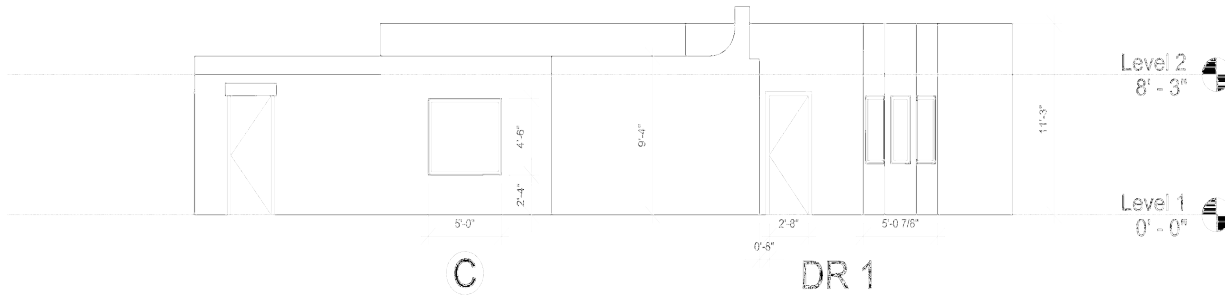
EXISTING FLOOR PLAN

1/4"=1'-0"

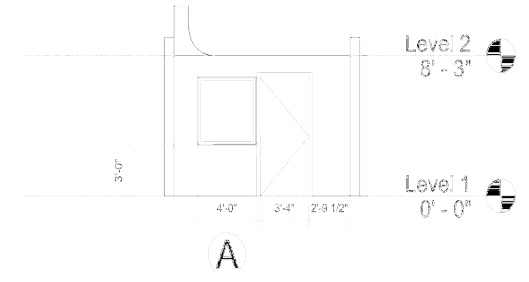


PROPOSED FLOOR PLAN WITH WINDOWS

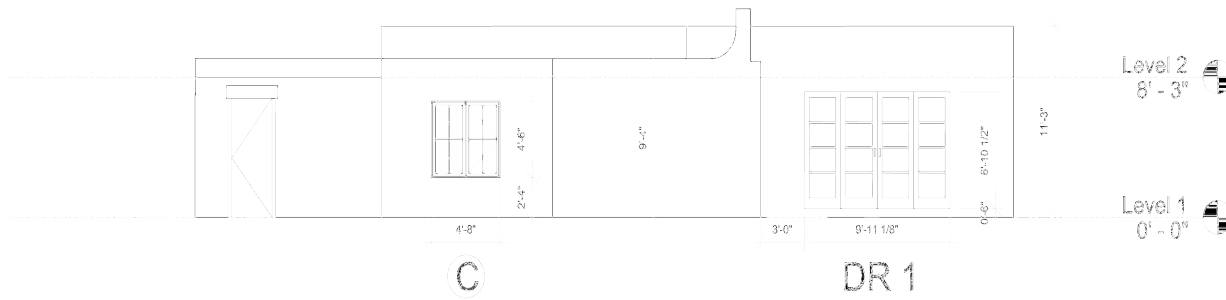
SF LOGOS - 620 GARCIA STREET
SANTA FE, NM



Existing East Elevation (Wall Not Shown)

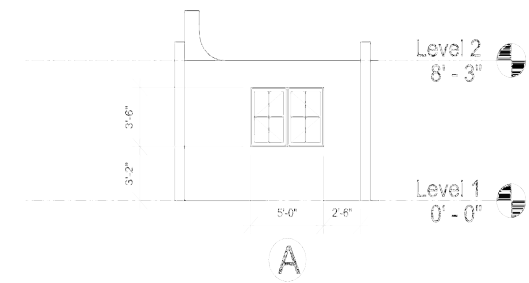


EXISTING WINDOW/DOOR BEHIND
PORTAL MASTER BEDROOM



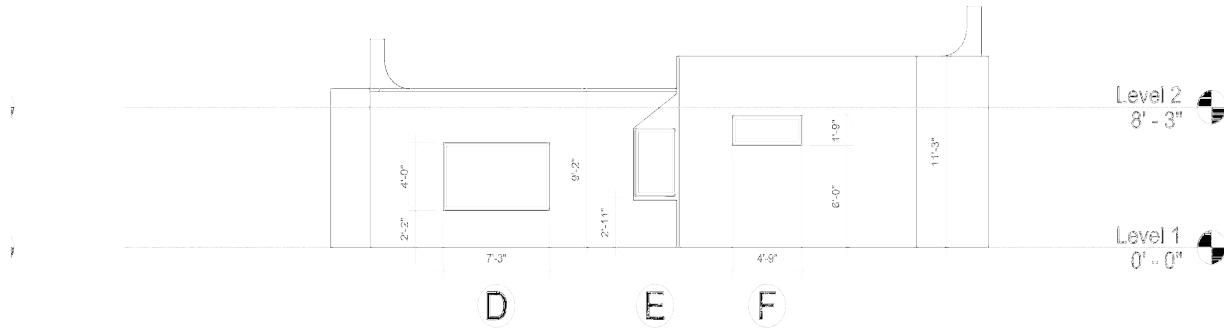
Proposed East Facing Elevation (Walls Not Shown)

1/4" = 1'0" Scale

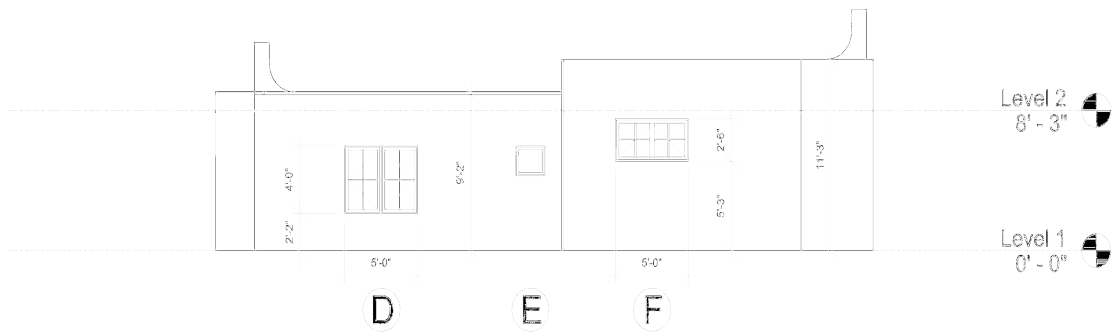


PROPOSED WINDOW
MASTER BEDROOM

SF LOGOS-620 GARCIA STREET
SANTA FE, NM



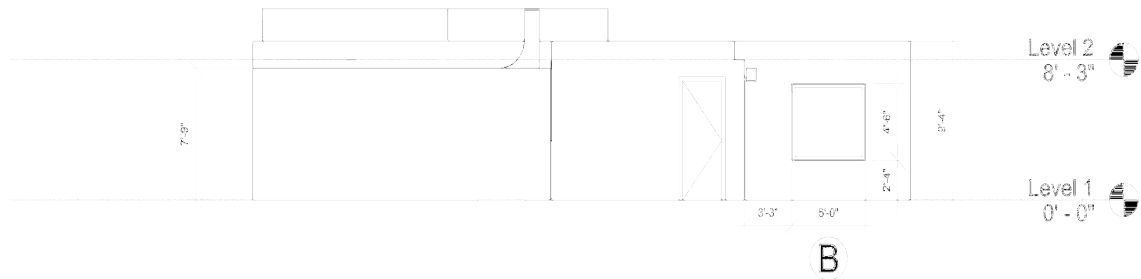
EXISTING NORTH ELEVATION



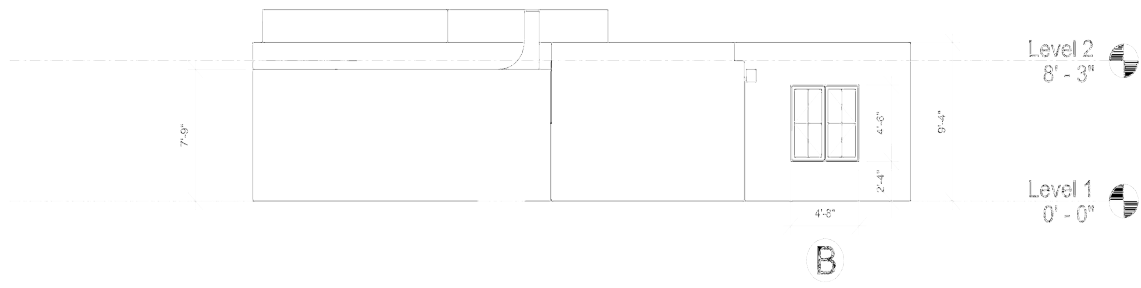
PROPOSED NORTH FACING ELEVATION

1/4"=1'-0" SCALE

SF LOGOS-620 GARCIA STREET
SANTA FE, NM



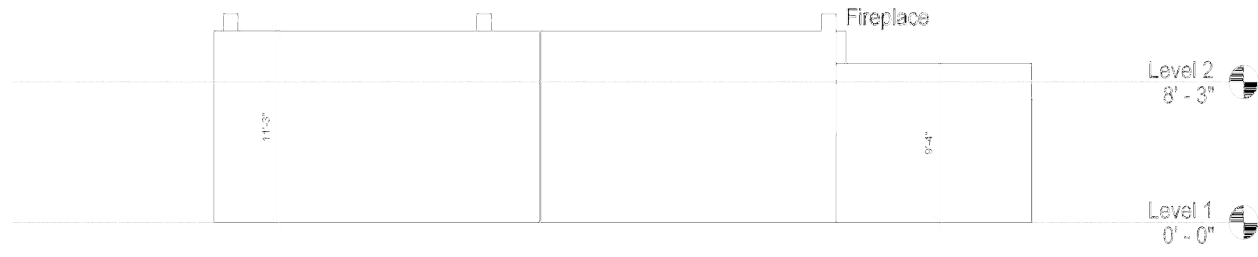
EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

1/4"=1'-0" SCALE

SF LOGOS-620 GARCIA STREET
SANTA FE, NM

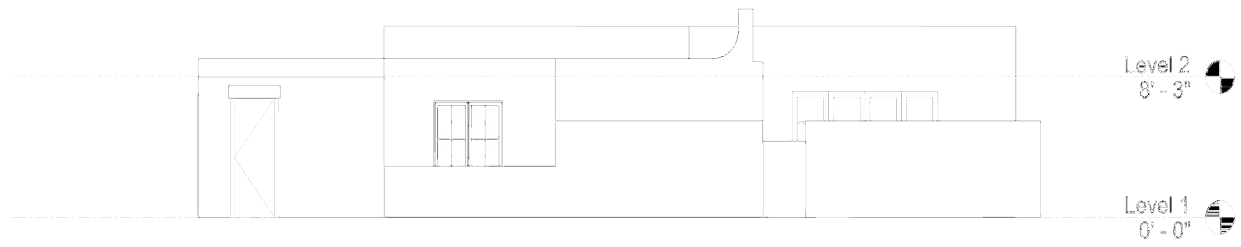


EXISTING WEST ELEVATION NO CHANGES

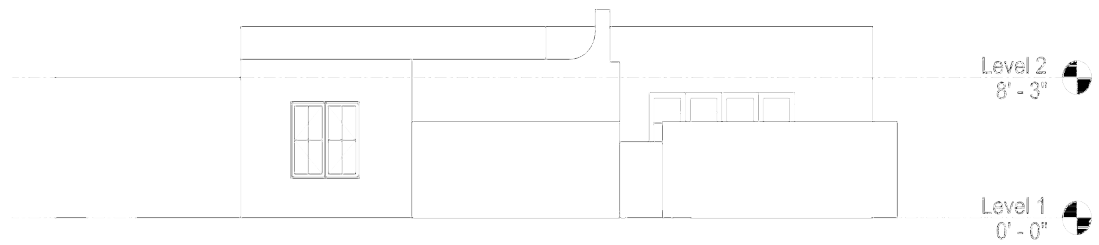


NO CHANGES

SF LOGOS-620 GARCIA STREET
SANTA FE, NM



EXISTING EAST WALLS



PROPOSED EAST WALL
REMOVING SHORT WALL FOR
PNM

1/4"=1'-0"
SCALE



1254 Calle De Comercio
Santa Fe, NM 87507
Ph. 505-438-7199

Email ra@sunwestconstructionspecialties.com

April 5, 2021

David & Tami Schiltz

Historic window & door assessment
620 Garcia
Santa Fe, NM 87501

Regarding my site visit on March 16th, 2021 after reviewing the windows and doors noted on the pictures attached.

Window A- Is not historic and is a 1980's manufactured wood window.

Window B & C- Were originally double hung windows and are now just plate glass windows.

Window D- Is a 1990 vinyl clad casement window.

Window E- Is an all-vinyl window which is of the 2000 era.

Window F- Is a fixed plate glass window, the original window is missing.

Door 1- Consist of a wood door installed upside down and is non-historic with an all-vinyl clad bay window from the late 1980's/ early 1990's. This house has a hodge podge of windows & doors that are all non-historic.

It would be of my opinion that the windows be replaced with something more typical of the era, and that the new windows/doors be at least of a clad/wood type and meet the historical divided light requirements.

If you have any questions, please feel free to contact me.

Thank you,

A handwritten signature in blue ink that reads "Ra N Patterson".

Ra Patterson

On Behalf Of: Sunwest Construction Spec

Address: 1254 Calle De Comercio

Santa Fe, NM 87507

Phone: 505-438-7199

Fax: 5054746108

Contact: Ra Patterson

Email: ra@sunwestconstructionspecialties.com

Phone: 505-379-7900

Fax: 505-474-6108



We're for the visionaries.™

**Quote 981615L: Tami & David Schiltz
Project: 620 Garcia
Printed: 4/2/2021 1:44:57 PM**



Printed By: Ra Patterson

Created: 1/18/2021

2021 Pricing

For warranty information please click this link or visit <https://www.kolbewindows.com/resources/warranties>

Line	Label	UOM	Quantity	Cubic Feet
------	-------	-----	----------	------------

001	BD #1 	EA	(2)	14.85
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*** Unit ***
KUL246 (Assy 1)

Ultra Rectangle Casement

*** Unit ***

Unit 1.1: EXTRD SASH, CRANK OUT, LT HINGING, STEPPED STOP

Unit 1.2: EXTRD SASH, CRANK OUT, RT HINGING, STEPPED STOP

*** Glass ***

Unit 1.1, 1.2: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., GLS PRESRV W/O NT+ CTG, BVLD BD

Unit 1.1, 1.2: CLEAR GLS

*** Lite Divisions ***

Unit 1.1: PDL, COLONIAL, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

Unit 1.2: PDL, COLONIAL, ALGN HORZ BARS, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***

Unit 1.1, 1.2: STD WIN HRDW, E-GARD PLUS LOCKING HRDW, CLY (RUSTIC) HRDW, E-GARD PLUS OPERATING HRDW, BETTERVUE FG SCRNS, SCREEN(S) LOOSE

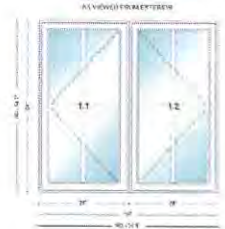
*** Species-Finish-Color ***

Unit 1.1, 1.2: PINE SPECIES, 70% FLR POLYMER EXT SASH, 70% FLR POLYMER EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME, RST SCRNS

*** Casing-Jambs-Trim ***

Unit 1.1, 1.2: NO CASING, 6-5/16" CLIPS INSTL CLIPS, NO SILL NSG, N/Fin, 4-9/16" JAMBS, JAMBS APPLIED

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
56 1/2" X 54 1/2"

Frame Size:
56" X 54"

Unit Dimension:
56" X 54"



002 BD #2 **D** EA (1) 14.15

*** Unit ***

KUX24 (Assy 1)

Ultra Rectangle Casement

*** Unit ***

Unit 1.1: EXTRD SASH, CRANK OUT, LT HINGING, STEPPED STOP

Unit 1.2: EXTRD SASH, CRANK OUT, RT HINGING, STEPPED STOP

*** Glass ***

Unit 1.1, 1.2: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., GLS PRESRV W/O NT+ CTG, BVLD BD

Unit 1.1, 1.2: CLEAR GLS

*** Lite Divisions ***

Unit 1.1: PDL, COLONIAL, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

Unit 1.2: PDL, COLONIAL, ALGN HORZ BARS, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***

Unit 1.1, 1.2: STD WIN HRDW, E-GARD PLUS LOCKING HRDW, CLY (RUSTIC) HRDW, E-GARD PLUS OPERATING HRDW, BETTERTVUE FG SCRNS, SCREEN(S) LOOSE

*** Species-Finish-Color ***

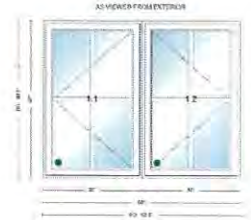
Unit 1.1, 1.2: PINE SPECIES, 70% FLR POLYMR EXT SASH, 70% FLR POLYMR EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME, RST SCRNS

*** Casing-Jambs-Trim ***

Unit 1.1, 1.2: NO CASING, 6-5/16" CLIPS INSTL CLIPS, NO SILL NSG, N/Fin, 4-9/16" JAMBS, JAMBS APPLIED

Opening(s) designated by a circled 'E' meet most national building codes for emergency escape and rescue requirements. Check local codes for product compliance for desired application.

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
60 1/2" X 48 1/2"

Frame Size:
60" X 48"

Unit Dimension:
60" X 48"



003 LR/DR/KIT **F** EA (1) 8.84

*** Unit ***

UAW (Assy 1)

Ultra Rectangle Awning

*** Unit ***

Unit 1.1: EXTRD SASH, CRANK OUT, VENT HINGING, STEPPED STOP

*** Glass ***

Unit 1.1: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., GLS PRESRV W/O NT+ CTG, BVLD BD

Unit 1.1: CLEAR GLS

*** Lite Divisions ***

Unit 1.1: PDL, COLONIAL, 4W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***

Unit 1.1: STD W/ EURO HNGS WIN HRDW, MULTI-PT LCK, E-GARD PLUS LOCKING HRDW, CLY (RUSTIC) HRDW, E-GARD PLUS OPERATING HRDW, BETTERTVUE FG SCRNS, SCREEN(S) LOOSE

*** Species-Finish-Color ***

Unit 1.1: PINE SPECIES, 70% FLR POLYMR EXT SASH, 70% FLR POLYMR EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME, RST SCRNS

*** Casing-Jambs-Trim ***

Unit 1.1: NO CASING, 6-5/16" CLIPS INSTL CLIPS, NO SILL NSG, N/Fin, 4-9/16" JAMBS, JAMBS APPLIED

Sash operation will be less than 90 degrees when using Standard Hardware w/ Euro Hinges.
Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
60 1/2" X 30 1/2"

Frame Size:
60" X 30"

Unit Dimension:
60" X 30"



004 LR/DR/KIT **DR #1** EA (1) 36.14

*** Unit ***

GAU4-10068 (Assy 1)

Ultra Rectangle Sliding Door

*** Stiles & Rails ***

Unit 1.1: Wide Stiles

*** Unit ***

Unit 1.1: #220 VTG, EXTRD SASH, FRM SETUP, GARDEN-AIRE, FXD - ACT - ACT - FXD : PRMY LT HINGING, FULL LITE PNL STYLE, 1 3/4" PNL, 1 3/4" FRM

*** Glass ***

Unit 1.1: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., GLS PRESRV W/O NT+ CTG, BVLD BD

Unit 1.1 Glass 1, 1.1 Glass 2, 1.1 Glass 3, 1.1 Glass 4: CLEAR GLS, TEMP GLS

*** Lite Divisions ***

Unit 1.1 Glass 1: PDL, COLONIAL, 1W4H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

Unit 1.1 Glass 2, 1.1 Glass 3, 1.1 Glass 4: PDL, COLONIAL, ALGN HORZ BARS, 1W4H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***

Unit 1.1: DL PT FLUSH PULL LCK W/O KEYED CYL, RST UMBER HRDW, 1 RST (INCLUDED AT NO CHARGE) SEC LCK, Standard Lock Height, BETTERTVUE FG SLDNG SCR, SCREEN(S) LOOSE, SCRNTCK

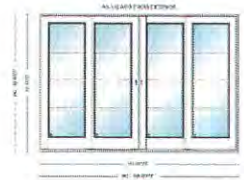
*** Species-Finish-Color ***

Unit 1.1: PINE SPECIES, 70% FLRPOLYMR EXT SASH, 70% FLRPOLYMR EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME

*** Casing-Jambs-Trim ***

Unit 1.1: NO CASING, 6-5/16" CLIPS INSTL CLIPS, N/Fin, 4-9/16" JAMBS

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
119 3/32" X 82 15/16"

Frame Size:
118 19/32" X 82 7/16"

Unit Dimension:
118 19/32" X 82 7/16"



005 MASTER **A** EA (1) 12.38

*** Unit ***
KUX236 (Assy 1)

Ultra Rectangle Casement

*** Unit ***
Unit 1.1: EXTRD SASH, CRANK OUT, LT HINGING, STEPPED STOP

Unit 1.2: EXTRD SASH, CRANK OUT, RT HINGING, STEPPED STOP

*** Glass ***
Unit 1.1, 1.2: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., GLS PRESRV W/O NT+ CTG, BVLD BD

Unit 1.1, 1.2: CLEAR GLS

*** Lite Divisions ***
Unit 1.1: PDL, COLONIAL, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

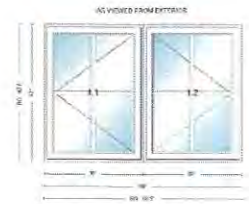
Unit 1.2: PDL, COLONIAL, ALGN HORZ BARS, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***
Unit 1.1, 1.2: STD WIN HRDW, E-GARD PLUS LOCKING HRDW, RST UMBER HRDW, E-GARD PLUS OPERATING HRDW, BETTERTVUE FG SCRNS, SCREEN(S) LOOSE

*** Species-Finish-Color ***
Unit 1.1, 1.2: PINE SPECIES, 70% FLR POLYMR EXT SASH, 70% FLR POLYMR EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME, RST SCRNS

*** Casing-Jambs-Trim ***
Unit 1.1, 1.2: NO CASING, 6-5/16" CLIPS INSTL CLIPS, NO SILL NSG, N/Fin, 4-9/16" JAMBS, JAMBS APPLIED

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



Scaled to Fit

Rough Opening:
60 1/2" X 42 1/2"

Frame Size:
60" X 42"

Unit Dimension:
60" X 42"



006 BATH - **E** EA (1) 2.95

*** Unit ***

UAW (Assy 1)

Ultra Rectangle Awning

*** Unit ***

Unit 1.1: EXTRD SASH, CRANK OUT, VENT HINGING, STEPPED STOP

*** Glass ***

Unit 1.1: DL GLZD, SOLAR LOW-E GLASS, MILL FNSH SPACER, H.A., BVLD BD

Unit 1.1: 1/8" FRSTD MATTE GLS, PATT (OBSCURE), CLEAR GLS, TEMP GLS

*** Lite Divisions ***

Unit 1.1: PDL, COLONIAL, 2W2H, 1 1/8" Bars, CHAMPGN INTRNL SPCRS, BVLD BARS - EXTERIOR, BVLD BARS - INTERIOR

*** Hardware-Accessories ***

Unit 1.1: STD W/ EURO HNGS WIN HRDW, MULTI-PT LCK, E-GARD PLUS LOCKING HRDW, CLY (RUSTIC) HRDW, E-GARD PLUS OPERATING HRDW, BETTERTVUE FG SCRNS, SCREEN(S) LOOSE

*** Species-Finish-Color ***

Unit 1.1: PINE SPECIES, 70% FLR POLYMER EXT SASH, 70% FLR POLYMER EXT FRAME, Match All Ext Colors, BRNZ EXT, UNFINISHED INT SASH, UNFINISHED INT FRAME, RST SCRNS

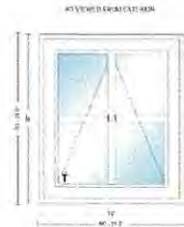
*** Casing-Jambs-Trim ***

Unit 1.1: NO CASING, 6-5/16" CLIPS INSTL CLIPS, NO SILL NSG, N/Fin, 4-9/16" JAMBS, JAMBS APPLIED

Calculated Design Pressure values of individual units will be verified upon order to Kolbe. Overall Performance Grade of mulls/assemblies may/will be less than computed values of individual units and will also be determined upon order to Kolbe.

Sash operation will be less than 90 degrees when using Standard Hardware w/ Euro Hinges.

Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.



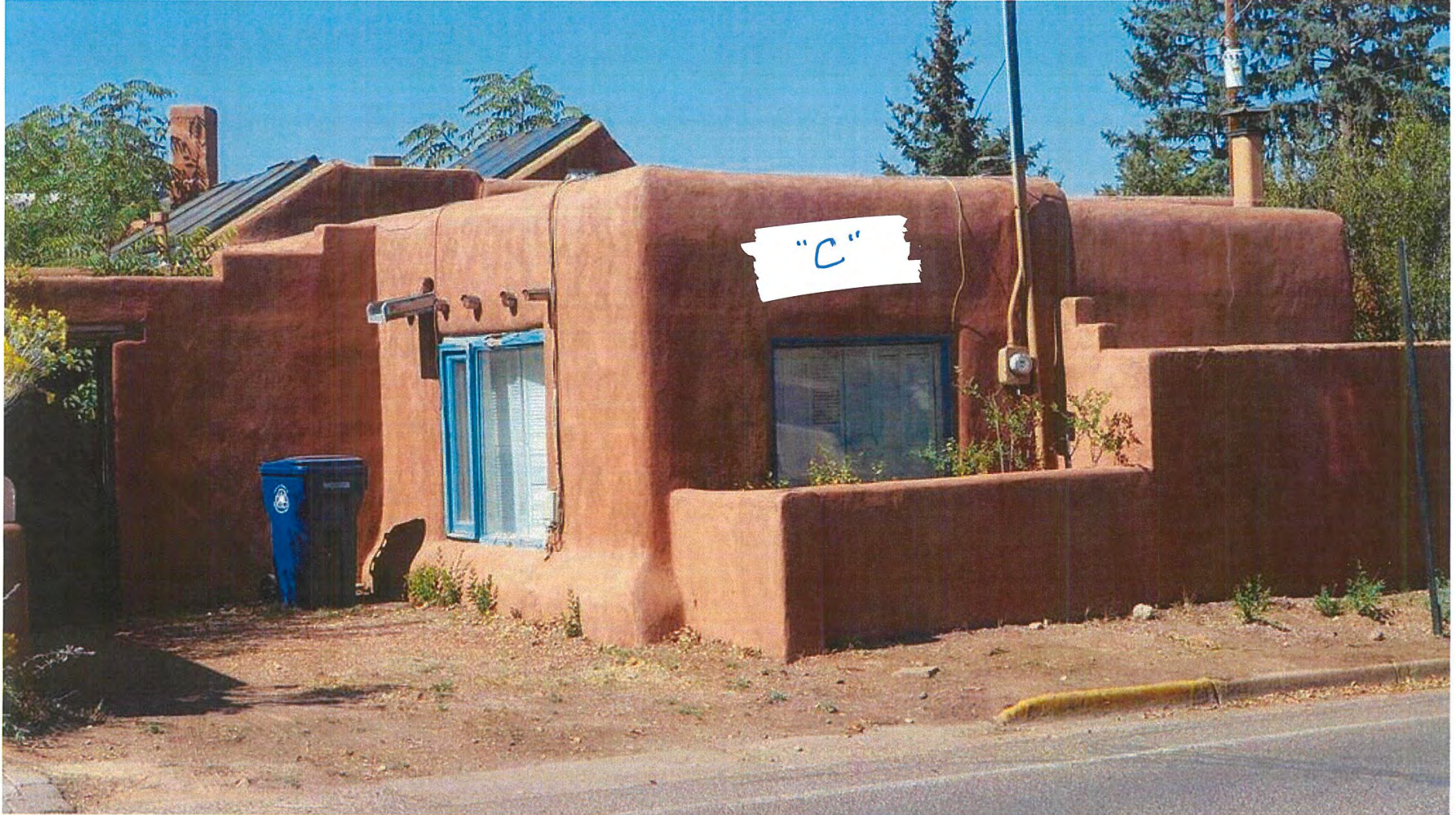
Scaled to Fit

Rough Opening:
24 1/2" X 28 1/2"

Frame Size:
24" X 28"

Unit Dimension:
24" X 28"







'A'





DR 1

DR 1



East facing Garcia St.
Wall height was 3' added
height to 6' in one of the last
renovations. 1980s



East facing inside the
courtyard.



"B"





North side of the outside wall.



Solar Clear Story



East facing bedroom that use to be the garage inside the portal.

North facing side of the house. I believe this is the original house.





West facing wall bordering with Jake Garcia
gutters added 2000?and wall added in the 80's