



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 28, 2021
5:30 PM
Meeting Virtually

AMENDED AGENDA

SPECIAL PROCEDURES FOR VIRTUAL ATTENDANCE AND PUBLIC COMMENT:

In response to the State's declaration of a Public Health Emergency, the Mayor's Proclamation of Emergency, and the ban on public gatherings in excess of those permitted in the current Public Health Order, and the need to incorporate technology and practices to re-institute in-person meetings consistent with the limitations established by the Order, the Historic Districts Review Board meeting will be conducted virtually.

Viewing: Members of the public may stream the meeting live on the City of Santa Fe's YouTube channel

at <https://www.youtube.com/channel/UCuW5Fb7iWuKpTdsWYNDurgA>. The YouTube live stream can be accessed at this address from most smartphones, tablets, or computers.

Attending on Zoom: Members of the public may attend the Zoom meeting on a computer, mobile device, or phone. The video conference link and teleconference number will be posted at <https://santafe.primegov.com/public/portal> at least seventy-two (72) hours before the meeting.. The direct Zoom link is: [https://us02web.zoom.us/j/83191941803?](https://us02web.zoom.us/j/83191941803?pwd=NWplL0Q1ai9sSjY1aFhFNWdHdXdlQT09)

[pwd=NWplL0Q1ai9sSjY1aFhFNWdHdXdlQT09](https://us02web.zoom.us/j/83191941803?pwd=NWplL0Q1ai9sSjY1aFhFNWdHdXdlQT09)

Password: 348336

Attending Zoom by Phone: Members of the public can attend the Zoom meeting by phone by dialing:

US: 1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 or +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592

Webinar ID: **831 9194 1803**.

Public Comment:

• By video: A person attending the Zoom meeting by video conference (using a computer, mobile device, or smart phone) may provide public comment during the



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 28, 2021
5:30 PM
Meeting Virtually

meeting. Attendees should use the “Raise Hand” function to be recognized by the chair to speak at the appropriate time.

- By phone: A person attending the Zoom meeting by phone may provide public comment during the meeting. Phone attendees should press *9 to use the “Raise Hand” function to be recognized at the appropriate time.

- In writing: A person may submit written public comments by 5pm the Monday prior to the meeting via the virtual comment “button” at <https://santafe.primegov.com/public/portal>.

A. ROLL CALL

B. APPROVAL OF AGENDA

C. APPROVAL OF MINUTES:

1. September 14, 2021

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. [2021-004118-HDRB. 638 E. Palace Ave. \(Primary Elevations\)](#)
2. [2021-004120-HDRB. 555 Agua Fria St.](#)
3. [2021-004122-HDRB. 128 Grant Ave.](#)
4. [2021-004124-HDRB. 854 Camino Ranchitos.](#)
5. [2021-004123-HDRB. 123 Grant Ave.](#)

E. MATTERS FROM THE PUBLIC

F. STAFF COMMUNICATIONS

G. OLD BUSINESS

H. NEW BUSINESS



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 28, 2021
5:30 PM
Meeting Virtually

1. 2021-004162-HDRB. 344 Camino Cerrito. Downtown and Eastside Historic District. Paul and Mariana Padilla, owners and agents, propose to construct a 2000 sq.ft. single-family residential structure on a vacant lot. (Daniel Schwab, dnschwab@santafenm.gov)
2. 2021-004181-HDRB. 118 & 120 W. Berger St. Don Gaspar Area Historic District. Tom Lechner, agent for John and Mary Pound, requests historic status review and primary facade(s) designation as applicable for a noncontributing building. (Angela Schackel Bordegaray, asbordegaray@santafenm.gov)
3. 2021-004178-HDRB. 213 Delgado Street. Trey Jordan, applicant for owner Jerry Meyer, proposes to construct two buildings, 2,530 sq. ft. and 280 sq. ft. to a height of 13'-6" where the maximum allowable height is 13'-10". (Angela Schackel Bordegaray)
4. 2021-004175-HDRB. 641 #1 W San Francisco St. Westside-Guadalupe Historic District. Ken Dimon, owner, requests to add a 182 sq. ft. portal to a non-contributing building. (Angela Schackel Bordegaray)
5. 2021-004177-HDRB. 642 Camino de la Luz. Downtown and Eastside Historic District. Victor Johnson, agent for Betinna Milligan, proposes to add a 410 sq. ft. portal to a non-contributing building. (Angela Schackel Bordegaray)
6. 2021-04179-HDRB. 119 Kearny Street. Downtown and Eastside Historic District. Hoopes Architects, agent for owners C. David Snead and Charles P. Butler, *proposes to add 2,131 sq. ft. to a contributing building, construct new yard wall and gate, add courtyard walls, repair historic window, and replace entry steps. The applicant requests an exception to Section 14-5.2(D)(2)(d), to exceed 50% of the historic footprint.* (Angela Schackel Bordegaray)

I. DISCUSSION ITEMS

J. MATTERS FROM THE BOARD



AGENDA

HISTORIC DISTRICTS
REVIEW BOARD
SEPTEMBER 28, 2021
5:30 PM
Meeting Virtually

K. **NEXT MEETING: Tuesday, October 12, 2021**

L. **ADJOURN**

Persons with disabilities in need of accommodations, contact the City Clerk's office at 955-6521, five (5) working days prior to meeting date.

SUMMARY INDEX
HISTORIC DISTRICTS REVIEW BOARD
September 14, 2021

ITEM	ACTION TAKEN	PAGE(S)
Call to Order	5:37 pm	1
Roll Call	Quorum Present	1
Approval of Agenda	Approved, as amended	3
Approval of Minutes August 10, 2021 and August 10, 2021 verbatim And August 24, 2021	Approved as amended Approved as presented Approved as presented	3 3 3
Approval of Findings & Conclusions	None	3
Matters from the Public	Comments	3-4
Staff Communications	Comments	4
Old Business	None	
New Business		
1. 2021-004118-HDRB. 638 East Palace Avenue	Designation	5-7
2. 2021-004119-HDRB. 638 East Palace Avenue	Postponed Construction	7-8
3. 2021-004120-HDRB. 555 Agua Fria Street.	Approved	8-10
4. 2021-004121-HDRB. 1023 E. Alameda	Postponed	10-20
5. 2021-004122-HDRB. 128 Grant Avenue	Approved	20-22
6. 2021-004124-HDRB.	Approved	22-25

854 Camino Ranchitos

7. 2021-004123-HDRB. 123 Grant Avenue	Approved Demolition	25-26
Discussion Items	None	26
Matters from the Board	Comments	26-29
Next Meeting	September 28, 2021	29
Adjournment	8:43 pm	29

**MINUTES OF THE CITY OF SANTA FE
HISTORIC DISTRICTS REVIEW BOARD
September 14, 2021
VIRTUAL HEARING**

CALL TO ORDER

A regular meeting of the City of Santa Fe Historic Districts Review Board was called to order by Cecilia Rios, Chair, on the above date at approximately 5:40 p.m. at a virtual meeting held at <https://www.youtube.com/watch?v=kvK4ajmVoQo>.

A. ROLL CALL

Roll Call indicated the presence of a quorum as follows:

MEMBERS PRESENT:

Ms. Cecilia Rios, Chairwoman
Mr. Frank Katz, Vice Chair
Mr. John Bienvenu
Mr. Anthony Guida
Ms. Flynn G. Larson
Mr. Buddy Roybal

MEMBERS ABSENT:

Ms. Jennifer Biedscheid

OTHERS PRESENT:

Ms. Nicole Ramirez Thomas
Ms. Carly Piccarello
Mr. Mike Prinz, Assistant City Attorney
Mr. Frank Ruybalid, Assistant City Attorney
Mr. Daniel Schwab, Senior Planner
Ms. Angela Bordegaray, Senior Planner
Ms. Melissa Byers, Stenographer

NOTE: All items in the Committee packet for all agenda items are incorporated herewith by reference. The original Committee packet is on file in the Historic Preservation Office and available on the City of Santa Fe Website.

B. APPROVAL OF AGENDA

MOTION: Vice Chair Katz moved, seconded by Member Guida to approve the agenda as presented.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

C. APPROVAL OF MINUTES:

1. August 10, 2021

Member Bienvenu asked on page 28, the paragraph under MOTION, third sentence, the colon be changed to a comma.

2. August 10, 2021, Verbatim Transcript

3. August 24, 2021

MOTION: Vice Chair Katz moved, seconded by Member Roybal to approve the minutes of August 10, 2021, as amended, and the August 10, 2021, verbatim and minutes of August 24, 2021, as presented.

VOTE: The motion passed by majority (4-0) roll call vote with Members Bienvenu, Katz, Larson and Roybal voting in favor, none voting against, and Member Guida abstaining.

D. APPROVAL OF FINDINGS OF FACT AND CONCLUSIONS OF LAW

None

E. MATTERS FROM THE PUBLIC

Rick Martinez said he has worked for Bandstand for some time. He thought the lighting on the Delgado building takes the building's character and significance away. He asked if that was done administratively, or the Board had voted on that. He thought it a disservice to the Board and the ordinance.

Ms. Piccarello said that was not done through staff. She offered to send an inspector out.

Scarlett Breeding said she is the applicant for 638 Palace. She asked if the case would be postponed.

Chair Rios confirmed with staff there were no changes to the agenda and that case would be heard.

Dale Zinn addressed Mr. Martinez's comment on the Delgado building. He indicated the Historic Santa Fe Foundation no longer owns the building and no longer has responsibility. He asked that the Board look into the lighting.

Chair Rios noted Ms. Piccarello will be looking into that.

Stefanie Beninato said she hoped to hear from Ms. Ramirez Thomas on 128 West Berger, with the opening in the wall. She pointed out that a lot of buildings have neon signs and laser lights and are intrusive. The New Mexico County building on Galisteo stays on all night and another is across from City Hall. She also wanted to say because this is a public meeting, all the Board members should be visible. She found it disconcerting that Mr. Roybal is rarely visible. She feels it important that the public knows that Board members are paying attention.

F. STAFF COMMUNICATIONS

None

G. OLD BUSINESS

None

H. NEW BUSINESS

1. **2021-004118-HDRB. 638 East Palace Avenue.** Downtown and Eastside Historic District. Scarlett Breeding, owner and agent, requests a primary facade designation for a contributing structure. (Daniel Schwab)

STAFF REPORT

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. The applicant requests designation of primary facades.

The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The north façade is

(façades 1, 2 and 3) thus publicly visible, containing an integrated entry portal, while the east and south facades are not. The west wall is attached to the neighboring unit.

There have been no additions made to the property and the 6-over-1 windows and lintels on the north (1-3) and east (4) façades are original. In the opinion of staff, the portal and original windows on facades 1-3 comprise the character-defining features of the structure. The doors on the south façade (#5) are non-historic, as is a new window to its left.

STAFF RECOMMENDATION

Staff recommended the north façade (façades 1, 2 and 3) and east façade (façade 4) be designated primary, per 14-5.2(C) Designation of Significant and Contributing Structures per the definition of primary façade in Definitions in 14-12.

QUESTIONS FOR STAFF

Chair Rios confirmed with Mr. Schwab that the building attached was a different address and had nothing to do with the request.

Member Guida said he was confused by the façade diagram. It is clearer in the elevation.

Mr. Schwab agreed. He said he didn't know what happened. He displayed the facades.

Member Guida asked if the attached duplex was also contributing and there was a record of its primary façades.

Mr. Schwab said it is contributing and they were designated as one and there is no record for the primary façades. The duplex is special only because it has the original windows. The character defining features are the windows and the design of the front with the center window, and portal, and slightly dipped form of the parapet.

PUBLIC HEARING

John Eddy, 227 East Palace Ave., was sworn. He said he supports staff's recommendation and thought the characteristics staff pointed out are character defining.

Stefanie Beninato, PO Box 1601, Santa Fe. She also agreed with staff's recommendation on the primary façades, including façade number 4. A primary façade is not insignificant just because a window or door was replaced. Also, she wouldn't discount it because it is in the back and the window was replaced. It still has integrity. She asked if the wall was historic.

Mr. Schwab said he didn't know about the wall. The HCPI was only a skeleton report, but he thought the wall was a piece of the house.

BOARD DISCUSSION

MOTION: In Case 2021-004118-HDRB, 638 East Palace Avenue, Vice Chair Katz moved to accept staff's recommendations and designate façades #s 1, 2, 3 and 4 as primary. Member Bienvenu seconded the motion.

Member Bienvenu asked to clarify the Applicant had been called on for comment.

Chair Rios stated the Applicant did have an opportunity to speak.

VOTE: The motion passed by majority (4-1) roll call vote with Members Bienvenu, Katz, Larson and Roybal voting in favor and Member Guida voting against.

2. **2021-004119-HDRB. 638 East Palace Avenue.** Downtown and Eastside Historic District. Scarlett Breeding, owner and agent, proposes to construct a 1,000 sq. ft. portal, install skylights and make other small alterations on a contributing structure. (Daniel Schwab)

Mr. Schwab said the case would need to be postponed until October 12, 2021 for two reasons. One is the PZR is required to be in the packet and it was not. Second, the designation of primary façade #4, requires an exception to build within 10 feet of a primary façade.

Scarlett Breeding, 24 Whispering Spirits Dr., Cerrillos, the Applicant, was sworn. She said she is an architect and worked for the last 30 years in the historic district of Annapolis Maryland. She is familiar and respectful of historic properties. Santa Fe's guidelines stated the zoning report must be submitted within 5 days of making application. Her first visit was to the zoning office where she met with Lee Logston to review the case. She said she has met the obligation within five days. She wondered why the need to postpone, all the information is included int the Board's documents.

Chair Rios asked Mr. Schwab to restate the reasons for the postponement.

Mr. Schwab explained that the packet available to the public and the Board did not include a zoning review, through an error. The second reason was because an exception is required now because of a setback from the primary façade. He said he will contact Ms. Breeding regarding application for the exception.

Ms. Ramirez Thomas added there is always risk of postponement based on the outcome, when hearing a status review in the same hearing as the remodel.

Chair Rios apologized for the need to postpone the case.

Ms. Breeding stated there is no work whatsoever planned on elevation four.

Chair Rios explained the Board designation as primary for façade #4, requires an exception. The work planned must be 10 feet away from that primary façade.

MOTION: In Case 2021-004119-HDRB, 638 East Palace Avenue, Vice Chair Katz moved to postpone to October 12, 2021. The motion was seconded by Member Roybal.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

3. **2021-004120-HDRB. 555 Agua Fria Street.** Westside-Guadalupe Historic District. Dale Zinn, agent for Randi Lowenthal, owner, proposes to construct 2,000 sq. ft. of additions to and remodel a non-contributing structure. (Daniel Schwab)

STAFF REPORT

555 Agua Fria is a 1,109 square foot small pitched-roofed structure constructed in 1975. Due to its age, its protection status is “non-contributing”. It is located in the Westside-Guadalupe District, off the street, behind a structure addressed at 553 Agua Fria. It is visible from the street via the driveway.

This structure may have been originally constructed as a horse barn. It has a shallow, pitched roof and a shed roof with metal posts extending over the front. The openings have all been shuttered and the building is currently considered unsafe for habitation.

The applicant now proposes the following:

1. Remodel and expand the existing structure. This will include 1,232 square feet of additions and the removal of circa 150 square feet of the original structure. Portals will account for an additional 330 square feet. A separate garage and storage will account for another 643 square feet.
2. The proposed design incorporates some pitched roof elements that are encountered in the original but strives to maintain a wall dominated design as required by code. A gable roof will be terminated at adobe stucco end walls to emphasize the wall dominated theme of the design.
3. The building will extend to the maximum allowable height of the 16 feet five inches.
4. All of the structures are to be constructed of adobe and finished with a full three coat cement stucco with El Rey “Adobe” color to match the existing contributing house at 553 Agua Fria.

5. The roofing of the pitched roofs is to be corrugated unfinished metal that matches the pitched roof at 553 Agua Fria.
6. Windows will be wood windows with exterior off-white cladding that are deep set into the adobe walls approximately 6 inches.
7. Exposed wood trim will be stained a medium walnut brown color at exposed lintels, gates garage doors and rafter tails.
8. Exterior lighting will be strictly limited to sconce down lights at the storage room and yard gates and portals.
9. No roof-top mechanical equipment is scheduled for the project. A single ground mounted compressor for mini splits will be mounted in the east side yard to accommodate zoning set back rules.
10. Yard walls and fences are limited to a front entry 6-foot high privacy wall.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) and 14-5.2(I) Westside-Guadalupe Design Standards.

QUESTIONS FOR STAFF

Vice Chair Katz noted Chair Rios seemed to have been disconnected.

Member Guida referred to the site plan and clarified that the house is surrounded by additions on the north and south, and less so on the east and west.

Vice Chair Katz confirmed Chair Rios was not connected. He asked the Applicant to explain their project.

APPLICANT'S PRESENTATION

Dale Zinn, PO Box 756, Santa Fe, was sworn in. He said the project was driven by several things beyond his control. A zero lot line on the west was signed prior to ownership and the east side has an eight foot fence. He and his client were involved in restoring the front property and wanted the same pitch and Pueblo Revival style. He noted very little of this is visible and they want this to read as a compound. The other driving force was they had planned to demolish the little building. They were told by the fire department due to limited access, if the building was not retained, they may not be able to build back there.

Member Guida asked to look at the south elevation and clarified that the true south elevation was the garage attached by a portal.

Mr. Zinn said staff asked him to provide the other elevation in case someone was curious what was happening behind the wall. He noted they would see the garage, but a very small amount of the yard wall.

PUBLIC HEARING

Ms. Beninato, previously sworn, said it works well with everything else.

BOARD DISCUSSION

MOTION: In Case 2021-004120-HDRB, 555 Agua Fria Street, Member Guida moved to approve as submitted and as recommended by staff. Member Roybal seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

4. **2021-004121-HDRB. 1023 E. Alameda. Downtown and Eastside Historic District.** Praxis Architects, Inc, agent for Frank Schneider and Robin Oringer, proposes to construct a 4,050 sq. ft. new building, yard walls, and a vehicular gate. The proposed height is 16 ft. where the maximum allowable height is 15 ft. 1 in. The applicant requests approval of additional height per 14-5.2(D)(9)(c)(ii)(F). (Angela Schackel Bordegaray)

STAFF REPORT

1023 E. Alameda is a 21,118-sf vacant lot that fronts East Alameda across from Patrick Smith Park in the Downtown and Eastside Historic District. The applicant proposes to construct a new 2,971 sf residence that combines elements of Territorial and Spanish Pueblo Revival styles.

The proposed residence's height ranges from 13'-5" to 16', where the maximum allowable height is 15'- 1". The site slopes 4' along the proposed building's footprint, and the applicant requests an additional 11".

The applicant proposes a building that is predominantly Territorial Revival style with angular massing, and flat roofs topped with brick masonry coping. Its stepped massing and deep-set bull-nosed window and door openings borrow from Spanish-Pueblo style. The massing is stepped at various levels to accommodate the site's slope, which descends to the north toward the arroyo. The proposed plans include the materials and accents that are not traditional in the Downtown and Eastside Historic District. The house's front (west) elevation features a large, deep entry and garage. The applicant has

proposed steel coping and columns instead of wood. Windows under the portal and on the garage are aluminum finished in an oil-rubbed bronze matte paint finish.

Other windows will be wood and stained in a medium brown hue. All publicly visible windows will be divided lite. All doors will be wood. The new building will feature low buttresses at its corners and two portals with fireplaces. The portals will have wooden posts, beams, and exposed vigas, stained medium brown.

Stucco will be Sto's "Sahara". Brick coping will be dark grey.

The applicant also proposes alterations to the non-contributing existing stone yard wall. The existing opening will be shifted to the west for a vehicular opening and gate. The replacement segment will be the same style and height, using the existing stone material. The applicant will add a short steel wall that will rust over time. The gates will look like a single gate. The gates will be made of ipe that greys over time. Additional yard walls will divide the driveway area from an interior courtyard. New walls will match existing stone walls. The yard wall along the west will be stuccoed to match the house. The existing brick sidewalk will be removed and reset to accommodate the new driveway alignment. All new concrete will be colored tan, Davis Color Sandstone.

Eight low profile skylights, solar panels, and rooftop appurtenances will be screened by rooftop parapets.

Exterior walls and portals will be finished in El Rey "Adobe" cementitious stucco.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that it complies with Section 14-5.2(D) General Design Standards for all Historic Districts and 14-5.2(E) Downtown and Eastside Design Standards. Staff defers to the Board whether to grant an additional 11" in height per Section 14-5.2(D)(9)(c)(ii)(F) regarding slope.

QUESTIONS FOR STAFF

Chair Rios said this was characterized as part Territorial and part Pueblo Revival. She asked if appropriate to add modernistic as well.

Ms. Bordegaray thought it a blend of both Territorial and Spanish Pueblo Revival styles. She said it does have modernist elements in the portal, the metal/steel posts and the brick coping.

Chair Rios asked how the Ordinance addressed steel used in this manner.

Ms. Bordegaray said the recent Santa Fe Style intends to harmonize with historic buildings by retaining similar details, but that implies it is an existing building retaining

those. She believed the dominating effect of the structure will be as if it were of adobe construction.

Member Guida asked to clarify whether the 11 inches of height requested is due to grade and that it does not require an exception at the discretion of the Board.

Ms. Bordegaray said that is correct.

APPLICANT'S PRESENTATION

Gabriel Brown, 1012 Marquez Place, 310-B, Santa Fe, was sworn in.

Chair Rios asked what Mr. Brown wanted to add.

Mr. Brown said he wanted to present the 3D model he prepared. He pointed out the property and the setback limitations. This is very visible to West Alameda and the property does have constraints. He explained the design philosophy and pointed out the fundamental things about the design they wanted to respect. He said the clients are modern art collectors and while they honor the traditions of Santa Fe, they are also interested in finding a way to include their modern art. He read that the ordinance defines a recent Santa Fe style as, "*A development from and an elaboration from old Santa Fe style with different materials.*" He thought Code recommends that the forms and overall feeling of a home should be specific to Santa Fe styles but gives some leeway to creating those forms in new and modern materials. That is something they want to explore. The property is largely stucco on most of the structure with traditional brick coping, except for the portal in steel.

He pointed out the cornice detailing on the home is a traditional territorial style of brick coping, but they wanted clear column space for the portal. They will use aluminum divided light windows intended to simulate steel sash windows. Under the portal facing west is a glass façade. It is not visible from Alameda and Code allows, as seen in downtown Santa Fe. He pointed out the building had been designed within the height limitations. However, the engineer recommended raising the house, if possible, because of possible flooding from the nearby Santa Fe River. For that reason, they requested the 11 inches of additional height. The Board is allowed to grant up to two feet. There is also a curved yard wall built by the previous owners that needs to be removed. They propose using stone from the demolished yard wall to remake a stone wall in the same style to the right of the existing opening. The goal is to have a continuous stone wall. Because of zoning setbacks, they want to take the wooden gate element and do a section of fence that separates the new from the old.

Mr. Brown stood for questions.

Chair Rios commented that the model made things clearer. She asked about the brick coping.

Mr. Brown said they will use brick coping except above the portal and keep the same stepped detail.

Chair Rios asked about the treatment on the ground under the portal.

Mr. Brown said they will match the stone elements as much as possible at the front. The two supports for the column will be stone bases. Stepping into the portal area, it will be a combination of concrete and planting. That hasn't been fully developed but the intent is to have an outdoor patio and living space.

Chair Rios asked if he planned to do something to the sidewalk on the wall closest to the street.

Mr. Brown explained the existing entry is through the wall and there is a brick sidewalk. They will take the brick from one side to reuse on the other side, create a new apron and curb cut and an entry onto the property. That will be in sandstone colored concrete where visible.

Chair Rios asked if solar panels are proposed, and if the skylights proposed will be hidden behind the parapet and not visible.

Mr. Brown said they haven't made a final decision on solar, but the parapet is high enough to hide solar. The skylights will be hidden by the parapets. He said they are aware that roof top appurtenances must be hidden.

Member Larson said she appreciated the nod to midcentury modern Santa Fe as they are some of her favorite buildings. She thought this a very respectful creative design.

Member Guida said this is an exceptionally skillful project in the use of a small site and creating as big an open space as possible. And this checks the boxes of a relatively stringent Code. He said he is glad to see a house with such a strong concept and form. He believes this is a contemporary take on Territorial style that fits the definition. It is a great project and fantastic to see. He appreciated the sensitivity along the street wall and the gate is nice. Rebuilding the wall to not be in line with the existing wall is a way to deal with material that may not exactly match.

Vice Chair Katz said he was not clear on the material on the gate.

Mr. Brown described it as a natural Brazilian imported hardwood. It will start out dark brown and turn gray with the sun. There will be a steel frame behind that will not be visible.

Vice Chair Katz asked about the garage door.

Mr. Brown said it is an aluminum door from a kit. It will have frosted glass and closely match the aluminum window products in color.

Chair Rios asked about the public visibility of the expanse of glass on the portal.

Mr. Brown noted the model is aligned with the adjoining property and has large, beautiful trees. He said you cannot see much because of the tree cover, and it does meet all Code requirements.

Ms. Bordegaray agreed with the Applicant. She noted even without the trees, it wasn't very visible.

Member Bienvenu said he found it an unfortunate interpretation of requirements because he didn't believe it meets the strict standards of the area. He thought this was an effort to put a contemporary spin on Old Santa Fe Style. He said this is an historic district with very specific requirements. He did not find it meets any of the styles: Old Santa Fe style, Pueblo, or Territorial, or Recent Santa Fe style. He said it appears to be misinterpreted as something, as of today. The Ordinance is specific, meaning recent 1957.

He said this house could be built many places, and the Applicant would get a better product without trying to fit within the limitations. He said allowing a house like this on such an important corridor on the east side, would set an unfortunate precedent. He said the easiest way to see that is to imagine if there were 10 or 15 of these houses anywhere on the corridor, or the east side. It would no longer be the east side, just a section of beautiful homes. He said the Board's obligation is to interpret the Ordinance, which in his view does not permit architecture of this type in this area.

Member Roybal said he appreciated the presentation and especially the 3D drawings. He found those clarified a lot that the Board needed to know. He thanked them and said the presentation was well done.

Member Guida said he challenged Member Bienvenu's comments that this does not meet any of the standards of the district. He asked Member Bienvenu which standards he thought were not met.

Member Bienvenu said specifically the steel column that is prohibited by the Ordinance. Even under Recent Santa Fe Style the portals need to conform to Old Santa Fe Style which states that the columns be wooden. He said also, the steel elements and large expanses of glass on the garage door and under the portal *may* meet the strict requirements of Recent Santa Fe style, but certainly not the *spirit* of the intent. The sharp corners are not permitted because they are not adobe-like in appearance. The dark gray coping is not harmonious with the traditional Territorial style of architecture.

Member Bienvenu continued, there is then a conglomeration of three distinct styles in one building. Those styles are not to be combined. He believes those are elements not permitted under the Ordinance. Particularly with the lack of harmony with the historic streetscape.

Member Guida said he disagreed. He found that a personal interpretation, and as far as the letter of the law, this project meets that. The Board has approved details such as brick copings in nontraditional colors and steel posts for portals, in the district. He advised caution. The Board has allowed for a lot of contemporary expressions of Santa Fe style in the district. He thought very few of them were as good as what they had seen tonight. He said he prefers the Board not let personal preference interfere with approving a design that is not only compliant, but exceptionally good and is a benefit to the district.

Member Bienvenu asked for a point of order. He said this discussion is not appropriate in the hearing. This is a personal disagreement on opinion, and he would ask that type of dialogue not be permitted. This is a personal interpretation.

Chair Rios said Board members are allowed and encouraged to make their suggestions, and expressions known. She said indicating that another Board member should not express himself in a certain way is out of the question. She said we all have the opportunity to express ourselves.

Member Guida said he was asking for clarification. He apologized to Member Bienvenu if it was interpreted as a personal attack.

Vice Chair Katz thanked the architect for the wonderful graphics. He said what was exhibited was a conflict in the interpretation of the Ordinance. He shares Member Bienvenu's view. He said the phrase that comes up again and again is that the harmony of the streetscape and the buildings have the same design. He said some say that is old fashioned and want something new. This design has elements that are new and exciting, but he did not think it appropriate. And he didn't think that Santa Fe style is sort of looking like that style without clashing. The Ordinance is very restrictive on style and that is what keeps that part of the city, less than 20%, looking like Santa Fe.

He said he did not have any problems other than the garage door, the portal roof, and the windows behind the garage door. He acknowledged they are not "very visible", but they are, and they clash with traditional adobe style. He said he would shudder at what would happen to the Eastside District if the Board allowed houses that have something reminiscent of Santa Fe style. He had no problems other than those three elements. It looks Territorial. He was curious if the corners are sharp, or not.

Member Guida said as an architect he is challenged by the argument that something like this will destroy the character of the district. This is a contemporary

building. The building the Board approved in the previous case was contemporary. One is in a faux historic style that the Board perceived as being compliant with Code. It is not an adobe building and is made of contemporary products.

Member Guida said this project is slightly different, but he felt, is a more honest contemporary building. It has been done far more skillfully in terms of massing and wall dominating. He said in terms of compliance with Code, he did not see any argument to deny that the building is harmonious to the streetscape. It matches the character of the district. He said he would have approved a much more contemporary building.

Vice Chair Katz said Member Guida used the phrase “faux historic style.” That is what the ordinance is about; to maintain that style. He didn’t know of any buildings with portals like that, particularly residential. He said the Board’s job is to maintain the harmony of the streetscape and have houses that kind of look alike.

Member Larson said even though this is a contemporary building, they don’t see the imprint that modernism has made in Santa Fe in the past 50 plus years. Without the adoption of the more modern and contemporary elements, Santa Fe does not move into the future. She said it is not a radical style and it is in keeping with what they have seen in the neighborhood. But it is being done today in the contemporary. She said there is nothing that says this is a drastic departure from Santa Fe style of what has been approved by the Board.

She said if they were to do a tour of Santa Fe, they would see some of these elements present throughout the Eastside and Downtown District. The Board should except those as part of the history and Santa Fe’s fabric. She said she strongly argues that approving something like this is realistic. It allows the Board to accept modern interpretations that are in line with the Ordinance and the Code. This has been sensitively defined and there is nothing further to critique.

Member Roybal said he agrees with Member Guida. His only problem was with the garage door and having frosted glass. That seems to stand out too much and feels out of character. Otherwise, he has no problem.

PUBLIC HEARING

Suby Bowden, 333 Montezuma Avenue, was sworn in. She said she lived three doors away the last few years, east of this site. She drives by the property 4-6 times each day and walks by the site each week. She said as an architect, the siting of the building is very creative. The Board could have received a plan that required a large setback from the stone wall. That would mean the garage door would have to face the street. She appreciated that the Applicant instead worked with the Zoning Department to turn the front door to the west, turning the garage door away from the street. In addition, there

are very large trees on the property to the west and along Alameda on to the park. In her experience driving by, she doesn't have time to be looking at the building, for safety reasons. This is on a curved section of the road that is mainly seen from the park or by people walking by. She thought the real discussion is the materials of the garage door and the Board could work with staff on those. She said, again, as a neighbor, she greatly appreciates the siting and the massing and commends the architects for their work.

Stefanie Beninato agreed with Members Katz and Bienvenu that this does not meet the Code for Santa Fe Style. This house would look great on the southeast side of Santa Fe but is not harmonious with this section of Alameda. She said there was a comment that this is allowed downtown, but this is not a commercial building. This is residential. She thought the entrance on the west side is out of scale and wondered why anyone wanted so many windows to the west. This is about what can be seen from the street and when walking by, and the garage doors stick out. She said if you can see a contemporary building on either side of Alameda, she would like to know about it. She added that if the sconces have cut-outs, the light can be disturbing to the neighbors.

John Eddy, previously sworn, said he appreciated how the members are communicating amongst themselves when they oppose. This is a very modernistic design, and the streetscape has nothing like this. He said he has an aversion that the garage dominates the street and architecture of the house. This could be said to give Territorial brick coping a nod, or they could say it is a token. Most disturbing to him is the use of steel. He interprets Code for "new material" for Santa Fe style is to allow the fact that new materials were coming of age. He thought the aim was to continue to encourage harmony in building by melding the styles, so new materials that last longer could replace older materials. The use of this material does nothing but call attention to itself and is apathetic to the spirit of the Code. He said the posts that protrude through the roof are the undoing. This is not harmonious on Alameda.

BOARD DISCUSSION

Chair Rios said she agrees with Members Katz and Bienvenu. The project is beautiful but not in this district. She felt it was not harmonious with the neighborhood and that it is in opposition to the intent of the Ordinance.

MOTION: In Case 2021-004121-HDRB, 1023 E. Alameda, Member Guida moved to approve the project as submitted, finding that the project complies with district standards, and recommends the Applicant return to staff with a revised design for the garage door with less glass, possibly solid. Member Roybal seconded the motion.

Member Roybal requested a friendly amendment to approve the additional 11 inches for height.

Member Guida accepted the friendly amendment.

VOTE: The motion failed by (3-3) roll call vote with Members, Guida, Larson and Roybal voting in favor and Members Bienvenu and Katz voting against. Chair Rios after discussion also voted against and the motion failed.

Board Discussion prior to Chair Rios' vote:

Vice Chair Katz said Chair Rios' vote is significant because she could tie the vote.

Member Roybal did not think that would be appropriate.

Attorney Prinz offered to consult Robert's Rules of Order.

Member Guida said he agreed with Member Roybal. This is highly unusual and the Board has never done that during his time on the Board.

Attorney Ruybalid said if the Chair's vote would render the motion a tie, the Chair can vote, but she does not have to vote. He read three examples of how the chair could legally participate in a close vote with the resulting impact. He indicated he was not certain if this source cited Robert's Rules. He asked if he should continue researching.

Chair Rios said he should because Vice Chair Katz said she had voted in this situation in the past. She said even though she opposes the motion, in all her years on the Board she has voted in case of a tie, or if quorum had to be established.

Vice Chair Katz said the rule is clear and accurately stated by the attorney; the Chair can vote to break or make a tie. If the Chair feels the results should be different than the tie, it is appropriate for the Chair to vote. The consequence of the Chair making a tie is that this is put over until the full Board is present to vote. He said it is Chair Rios's choice.

Attorney Ruybalid asked for another moment while researching.

Member Roybal pointed out Chair Rios had just commented that in her 26 years on the Board this has never happened. She is creating a precedence and currently it is not a tie. Member Roybal said she should consider carefully whether to vote.

Chair Rios said that could be true, but she is being told she could create a tie if she votes. She could abstain or create a tie.

Member Roybal said he agrees with that but disagrees because of what she has done in her history on the Board. She would be going against something she has never done in all those years.

Vice Chair Katz said Roberts Rules is explicit that if there is one more vote in the affirmative than the negative without the Chair's vote, that the Chair can vote in the negative, and thus cause a tie and the motion be rejected. He said the City has adopted Robert's Rules and we go by those rules. Just because she has never done it doesn't mean she doesn't follow the rules.

Chair Rios addressed Member Roybal and said perhaps she has never done it, but if it is a possibility under Robert's Rules, then it can be done.

Member Guida said he agrees with Member Roybal. He added that he had never witnessed the level of personal campaigning before. He agrees with Member Roybal, the Chair may have the opportunity to vote if she felt strongly but would be setting a precedent.

Vice Chair Katz said he has only been telling Chair Rios what the rule is, and he was very explicit it is her choice. The rule allows her to vote to break or make a tie.

Member Roybal said if Chair Rios opens that door, it works both ways.

Chair Rios asked Attorney Ruybalid if he agreed she could vote to make a tie, per Robert's Rules.

Member Guida said the Board recently had a conversation about timeliness and equity and fairness to the public and Board members, etc. He wants to voice concerns because there are quite a few more cases to go.

Attorney Ruybalid noted on the language regarding a chair being allowed to vote on page 196 in Robert's Rules of Order. He read, "The chair may vote with the minority to create a tie vote, causing it to fail." The chair is allowed to vote if a vote would change the outcome of the election; the chair can vote to create a tie, or to decide the outcome.

Chair Rios confirmed that was the final answer.

Chair Rios voted against, therefore creating a tie. The motion failed.

MOTION: In Case 2021-004121-HDRB, 1023 E. Alameda, Vice Chair Katz moved to postpone.

Member Bienvenu asked the attorneys if the Board did not postpone, and no motion was carried, what then happens.

Ms. Ramirez Thomas said staff would recommend postponement. Staff could take the Board's comments as feedback and work with the Applicant. Staff didn't feel denial was necessary.

Member Guida asked if no motion passes if that is deemed a denial, or is a motion needed to deny the application.

Attorney Ruybalid said the effect of the vote was to create a denial and it was not approved. A majority was needed for approval.

Member Bienvenu seconded the motion to postpone the case.

VOTE: The motion to postpone passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

Mr. Brown thanked the Board for their honest and difficult feedback. He appreciated it, but felt he wasn't given good guidance. Three Board members feel this is a good design and three do not. He wasn't sure, other than the garage door, how to make this more appealing.

Ms. Piccarello said staff has sufficient direction and could help him with that.

5. **2021-004122-HDRB. 128 Grant Avenue.** Downtown and Eastside Historic District. Sybille Mueller, agent for Georgia Place, LLC, owner, proposes to change window and door openings on a non-historic structure. (Daniel Schwab)

STAFF REPORT

128 Grant Avenue is a structure constructed in a territorial revival style in 1982-1983. Given its non-historic construction date, it has a status of "non-contributing". Located behind 130 Grant Avenue, it is mostly hidden from public view. It is a mixed-use structure, containing offices on the lower two floors and a residence on the third.

The applicant now proposes the following changes, which will take place on the second floor:

North Façade underneath Covered Balcony – Proposed Changes:

1. Existing Double Hung Window:
 - a. Remove single double hung window and wood casing. Widen opening to install new double door and wood casing. Reuse double door and match casing from removed door E-2
2. Existing Exit Door:
 - a. Remove existing door and wood casing.
3. Existing Door with Sidelights:
 - a. Remove existing door system and wood casing. In-fill opening and finish with stucco to match existing;
 - b. Salvage door E-1 and reuse
4. Existing Double Door:
 - a. Remove existing double door and wood casing. Frame-in exterior wall to fit salvage single door E-1;
 - b. Salvage existing double door E-2 and casing to be reused
5. Third Post on Balcony:
 - a. Full height stucco wall centered on post (see FIG 04). The proposed wall will be framed full height;
6. Replace 6 10-inch square surface mounted ceiling lights with 6 11-inch square surface mounted LED lights;
7. Stucco colors will be El Rey 125 La Luz and El Rey 100 Colonial White to match the existing.

STAFF RECOMMENDATION

Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D)(9) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Design Standards.

APPLICANT’S PRESENTATION

Sibylle Mueller, 130 Candelaria St., was sworn. She wanted to add that the remodeled lights are not visible from the parking lot. The proposed light will be slightly larger to cover the holes of the light that will be removed. The doors will be reused and door #3 will have a new frame built and used in door #4. If not possible they will rebuild the casing as the same as it is currently.

Vice Chair Katz asked if the purpose of the wall is to prohibit someone walking from the right to the left side of the balcony.

Ms. Mueller said yes. Currently the second floor is offices, and they propose two residential units with a stuccoed wall to divide the two balconies.

Vice Chair Katz said he planned to suggest wrought iron fencing, but the thought is probably to provide privacy for the two balconies.

PUBLIC HEARING

John Eddy, previously sworn, was not able to be heard.

Stefanie Beninato, previously sworn, said she appreciated the owner recycling the doors. She said the building is massive and the changes are relatively minor. She appreciated the comments on separating the two balconies but wondered if a wooden wall would not be as noticeable.

Chair Rios recognized John Eddy again, but he did not respond.

BOARD DISCUSSION

MOTION: In Case 2021-004122-HDRB, 128 Grant Avenue, Member Guida moved to approve the project as submitted, per staff recommendations. The motion was seconded by Vice Chair Katz.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

6. **2021-004124-HDRB. 854 Camino Ranchitos.** Downtown and Eastside Historic District. Spears Horn Architects, agent for Sharon and Stewart Prentiss, proposes to construct a 653 sq. ft. freestanding carport and a 720 sq. ft. free-standing garage on non-contributing property, add a coyote fence, and make gate alterations (Angela Schackel Bordegaray).

STAFF REPORT

854 Camino Ranchitos is a 5,793 sf building non-contributing to the Downtown and Eastside Historic District. Originally built in the 1930s in the Spanish-Pueblo style, it has been substantially altered. A non-contributing 889 sf guesthouse sits on the southeast corner of the property.

The applicant proposes to add a 653 sf double carport and 720 sf double bay garage to two different areas of the property. The carport will be located east of the existing house with street-facing exposure. The carport will be styled the same as the house and casita of wood frame construction. The wooden posts and beams will be carved with an adze to

smooth the wood beams, vigas, and corbels to match existing guesthouse. Its height is 12', which is within the maximum height in this streetscape, 16'- 6".

The proposed 14' garage is to be located in the rear (west) portion of the lot, also within the maximum allowable height. The lot also fronts Garcia Street on its western edge but will not be publicly visible. The proposed garage also will be Spanish-Pueblo Revival style with wood frame construction. Its door will be metal clad wood to match the existing residence, Benjamin Moore's "Dragon Breath 1547." The garage will have two windows on its north and south elevation. Windows will be metal clad wood with lintels and trim will match the existing house. The existing coyote fencing and gate on the Garcia Street side is 8' tall. The applicant proposes to reduce its height to 6'.

The applicant proposes to raze an existing non-contributing shed located west of the main house to make room for the new garage. The applicant states that the shed was built after 1997, as the footprint does not show on a 1997 survey. A low concrete wall will be erected to protect the garage from a draining easement. It will be topped with a new 6' coyote fence with irregular tops to replicate existing coyote fencing. The garage driveway access from Garcia Street will be "Santa Fe Brown" base course and pea gravel.

STAFF RECOMMENDATION

Staff recommended approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).

QUESTIONS FOR STAFF

Chair Rios asked for a description of the public visibility of the project.

Ms. Bordegaray described the visibility on the plan.

APPLICANT'S PRESENTATION

James Horn, 1334 Pacheco Street, was sworn. He said he is working closely with Sharon and Stewart *Prentice*, he noted the correct spelling of their name. They have a house with no garage, carport, or storage and they want to provide that. The carport is in the back-up space. The garage has a coyote fence, a shed and a concrete wall they will lower to get the garage. New foundations will be built, thereby lowering the coyote fence to 6 feet. The gate is not visible and will be 6 feet high. All finishes will match, dark brown wood, the windows and stucco. They will recycle as much of the coyote fence as possible.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said she wondered why someone needs both a carport and a garage. She doesn't like carports next to the house but understands this is noncontributing. She also wanted to be sure the cross bracing would be on the inside of the fence.

Elaine Brown, 855 El Caminito, was sworn. She said the property is immediately adjacent to her property. She indicated she has submitted a comment online but wanted to address issues with the property. The property has not been occupied by these owners or the previous owners for quite a few years. There has been work on the property since May 2020. Because the house was not occupied, numerous times she had to ask workers to lower the music or wait until 8 a.m. before starting work. Both proposed structures sit as close to the property line as allowed and are visible from her home. The garage may not be visible from Garcia, but possibly it will be from the back of her property. She enjoys and uses that to entertain. In her online comments she requested the use of height poles to show neighbors the height of the structures. She also wanted to address the carport which calls for a metal roof. It is her experience when a dark metal, the roof can catch the sun. She could not imagine why the Board would allow that. This is a big property and the home's height, and mass really dominates the landscape. She said the neighbors deserve to see the height of the built structures.

BOARD DISCUSSION

Vice Chair Katz said he has concerns. In the walk-through, the Board was aware of the size of the property. This may be appropriate to postpone to place story poles for an idea of the height and to get answers to the roofing questions.

MOTION: In Case 2021-004124-HDRB, 854 Camino Ranchitos, Vice Chair Katz moved to postpone for story poles to be placed for the garage and car port.

The motion died for lack of the second.

Mr. Horn explained that both roofs are modified, pitched roofs. The roofs are shown on the drawing and within the allowable heights. The carport is 12' 3" and the garage is 16' 6". He indicated he was not asked to do story poles.

MOTION: In Case 2021-004124-HDRB, 854 Camino Ranchitos, Member Guida moved to approve as submitted, recognizing that the project meets the design standards per staff recommendations. Member Roybal seconded.

VOTE: The motion passed by majority (4-1) roll call vote with Members Bienvenu, Guida, Larson and Roybal voting in favor and Vice Chair Katz voting against.

Member Bienvenu commented that story poles can be very helpful but in this case, he thought story poles would not make any difference. The application is within the height and setback limitations. The only question is if the project abides by the design standards. Cases such as the monopole at St. John's, it is difficult to make decisions about height exceptions without a story pole or a way to visualize the height. He would ask in those cases, that a story pole always be required.

Chair Rios asked Ms. Ramirez Thomas when story poles are required.

Ms. Ramirez Thomas said until recently story poles were common for new structures. She didn't recall requiring them for carports, but definitely for large additions. She agreed with Member Bienvenu's logic when evaluating the height on a new build that has nothing there. This has an existing home and is well under the height requirement. They could discuss this.

7. **2021-004123-HDRB. 123 Grant Avenue.** Downtown and Eastside Historic District. Lorn Tryk, agent for 123-125 Grant, LLC, owner, proposes to demolish a non-contributing structure. (Daniel Schwab)

STAFF REPORT

123 Grant Avenue is a 19,000 square foot non-residential structure constructed originally in 1966 as a downtown Safeway supermarket facing onto a 21,000 square foot asphalt parking lot. It currently has a non-contributing status. It was originally designed with a "generalized Pueblo Revival appearance" including a portal with wooden posts and corbels, although the actual storefront was a standard modern form, with large plate-glass windows and sliding doors. The building has seen extensive changes over the years, including the enclosing of the west-facing portal in 1983 and its reinstatement with a different design in 1993. In that year, the doors and windows were also changed in size and location. The landscaping and smaller structures also date from around 1993. The building's use as a supermarket ended in 1993, when it was converted into offices.

A more extensive history of the structure is given in the HCPI from June 2021.

In Case # 2021-003830-HDRB, heard on July 13, 2021, the HDRB reviewed the historic status of the structure and retained its status as "non-contributing".

The applicant requests approval to demolish the structure.

STAFF RECOMMENDATION

Per Section 14-5.2(C)(2)(a), Regulation of Significant and Contributing Structures, the structure is non-contributing. Per 14-3.14(G), the Demolition standards have been fulfilled. Staff recommended demolition of the structure.

Chair Rios said this building has gone through many changes.

APPLICANT'S PRESENTATION

Lorn Tryk, 436 W. San Francisco St., was sworn in. He said a preliminary design was presented in August. They will be presenting the development plan to the Planning Commission on November 4, 2021, and return to this Board in the Spring. The archeology tests will be done in the next couple of weeks. There will be continuous monitoring during demolition, if approved, and the excavation.

PUBLIC HEARING

Stefanie Beninato, previously sworn, said this needs to be demolished to build the new Museum, but Mr. Schwab said the building is in good condition. That seems contradictory. She said she appreciates the O'Keeffe Museum involving the community with listening sessions and an opportunity for comment.

BOARD DISCUSSION

MOTION: In Case 2021-004123-HDRB, 123 Grant Avenue, Member Bienvenu moved to approve, per staff's recommendation, for the reasons that the Board has considered the factors supporting 14-3.14(G) and finds that this structure is not of historical importance; not an essential part of a unique street section; and criteria has established that demolition is appropriate, despite the building being in good condition. Member Roybal seconded the motion.

VOTE: The motion passed by unanimous (5-0) roll call vote with Members Bienvenu, Guida, Katz, Larson and Roybal voting in favor and none voting against.

I. DISCUSSION ITEMS

None

J. MATTERS FROM THE BOARD

Member Roybal asked the status of the replacement in kind of the park benches on the Plaza.

Ms. Piccarello asked Member Roybal to describe the difference in material of the wrought iron versus the cast aluminum.

Member Roybal explained the style is identical and made by the same company, but the wrought iron rusts and the new material does not. There is also a slight difference in the color. The green has been painted over and over and does not go with anything. The new benches are green with a black wash making them appear more historical. This request is through Parks and Recreation with Melissa McDonald.

Ms. Ramirez Thomas asked the consensus of the Board. She said the application seems fine and that it can be cast in the same mold is great, with just a little difference in material.

Chair Rios asked the Board if they had comments on the benches. She asked if the benches will be the same color but in a slightly different material.

Member Roybal said the bench is identical as far as looks and will be replaced in kind. The color is green with a black highlight, which is a little different, but it will give the park a nice update.

Chair Rios thought it sounded good.

Member Roybal said he has worked on this for eight months and would like to move this forward with approval.

Chair Rios asked if this was done administratively in the past.

Member Roybal said he didn't know the procedure. He thought it best for the recommendation to come from the Board.

Chair Rios asked if he has to submit a formal application and if that will come before the Board.

Ms. Ramirez Thomas confirmed an application had been submitted.

Member Roybal explained Melissa McDonald made the application. He said we have worked on this for so long and it would be a shame not to get this done quickly. Everything moves so slowly at City Hall.

Vice Chair Katz said he was sure it looked fine but his concern was the tactile. The feel of aluminum, which can feel lightweight, versus wrought iron.

Member Roybal explained the new benches still have the wooden slats and have an extra brace that make them as strong as the cast iron.

Vice Chair Katz said he was not talking about strength. He is curious how it will feel.

Member Roybal said there will be no difference. He said he is tired of repainting the benches and it is time to get new benches approved.

Chair Rios said staff mentioned an application was started and she was just trying to establish the proper procedure.

Member Roybal said the concern is this is an historical Plaza. This should go before the Historic Board, unless staff feels they can make the recommendation.

Chair Rios said she was comfortable having both staff and Member Roybal say that this will come back before the Board. She agreed it would be good if it could move quickly.

Chair Rios said she also wanted to thank Board members and recognize that they are obviously a diverse thinking group. She appreciates their diversity and thought that is good, so they are not just rubberstamping things. She said of utmost importance is for the Board to keep in mind to always respect each other on the Board, as well as those in the public.

Member Guida said he appreciated that she introduced the topic of diversity and agrees. He said his thoughts on tonight's disagreement were moving toward the issue of personal preference. He is acutely aware that the Board is in charge of interpreting an exclusionary zoning ordinance, and for good reasons. To preserve the character of the district, and valuable cultural assets in Santa Fe. But they also know that the exclusionary zoning ordinance has created a great deal of other exclusions, including economic diversity, and displacement of families who can no longer participate in the process. The Board is also excluding diversity in terms of expression.

He said he respects the two attorneys on this Board and their expertise in the law and its interpretation. He does not have a strict personal preference in his role on the Board, like many of the architects who come before them. He is capable of seeing the merits of different styles and different types of architecture. He was struck by the Board's approval of a carport in front of a low wall, just two cases after the case in which they disagreed. That made a point about all buildings being contemporary buildings. There is no historic style for carports in Santa Fe that he is aware of.

Member Guida said he was only saying that he tries to be as objective as possible. His hope is that the Board can be as open-minded as possible, in light of the current diversity, equity, inclusion issues they face in society, and particularly in Santa Fe, around this Ordinance.

Chair Rios said she appreciates the field trips and believed COVID cases are down in Santa Fe. She asked if they could all go in the van if everyone wears a mask.

Ms. Piccarello said that topic will continue to be discussed, but at this point they cannot.

K. NEXT MEETING: Tuesday, September 28, 2021

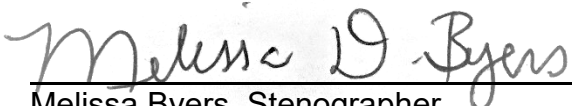
L. ADJOURNMENT

Chair Rios adjourned the meeting at approximately 8:43 pm.

Approved by:

Cecilia Rios, Chair

Submitted by:



Melissa Byers, Stenographer
For Byers Organizational Support Services

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004118-HDRB

Address – 638 East Palace Avenue

Agent’s Name – Scarlett Breeding

Owner/Applicant’s Name – Scarlett Breeding

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 14, 2021.

BACKGROUND

638 East Palace Avenue is single-family residential structure with contributing status to the Downtown and Eastside Historic District. The applicant requests designation of primary façades. The structure was constructed in 1946 in a Spanish Pueblo Revival style. It is one unit of a rectangular semi-detached house facing north onto palace. The north elevation (façades 1, 2 and 3), containing an integrated entry portal, and the east façade are thus publicly visible, while the south facade is not. The west wall is attached to the neighboring unit.

There have been no additions made to the property and the 6-over-1 windows and lintels on the north (1 -3) and east (4) façades are original. In the opinion of staff, the portal and original windows on facades 1 – 3 comprise the character-defining features of the structure. The doors on the south façade (#5) are non-historic, as is a new window to its left.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division City staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (Staff Report), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Staff recommends the north façade (façades 1, 2 and 3) and east façade (façade 4) be designated primary, per 14-5.2(C) Designation of Significant and Contributing Structures per the definition of primary façade in Definitions in 14-12.
3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).

6. Under SFCC Section 14-12.1, the definition of a “contributing structure” is “a structure, located in a historic district, approximately fifty years old or older that helps to establish and maintain the character of that historic district. Although a contributing structure is not unique in itself, it adds to the historic associations or historic architectural design qualities that are significant for a district. The contributing structure may have had minor alterations, but its integrity remains.”
7. Under SFCC Section 14-2.1, the definition of a “primary façade” is one or more principal faces or elevations of a building with features that define the character of the building's architecture.
8. Under SFCC Section 14-12.1, the definition of a “noncontributing structure” is a “structure, located in an H district, that is less than fifty years old or that does not exhibit sufficient historic integrity to establish and maintain the character of the H District.”
9. SFCC Section 14-5.2(C)(2)(a-c) gives the Board authority to review and approve “significant,” “contributing,” or “noncontributing” status designations and to designate primary façades of contributing structures.
10. The Board finds that the façades 1, 2, 3 and 4 are the primary elevations of the structure with the features that define the character of the structure’s architecture.
11. The information contained in the Application and provided in testimony and evidence establishes that all applicable requirements for Board review have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board grants the Applicant’s request to designate primary facades.
3. The Board designates the following elevations as the primary façades: 1, 2, 3, 4.

IT IS SO ORDERED ON THIS 28th DAY of SEPTEMBER, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004120-HDRB

Address – 555 Agua Fria Street

Agent’s Name – Dale Zinn

Owner/Applicant’s Name – Randi Lowenthal

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 14, 2021.

BACKGROUND

555 Agua Fria is a 1,109 square foot small pitched-roofed structure constructed in 1975. Due to its age, its protection status is “non-contributing”. It is located in the Westside-Guadalupe District, off the street, behind a structure addressed at 553 Agua Fria. It is visible from the street via the driveway.

This structure may have been originally constructed as a horse barn. It has a shallow, pitched roof and a shed roof with metal posts extending over the front. The openings have all been shuttered and the building is currently considered unsafe for habitation.

The applicant now proposes the following:

1. Remodel and expand the existing structure. This will include 1,232 square feet of additions and the removal of circa 150 square feet of the original structure. Portals will account for an additional 330 square feet. A separate garage and storage will account for another 643 square feet.
2. The proposed design incorporates some pitched-roof elements that are encountered in the original, but strives to maintain a wall-dominated design as required by code. A gable roof will be terminated at adobe stucco end walls to emphasize the wall-dominated theme of the design.
3. The building will extend to the maximum allowable height of 16 feet five inches.
4. All of the structures are to be constructed of adobe and finished with a full three-coat cement stucco with El Rey “Adobe” color to match the existing contributing house at 553 Agua Fria.
5. The roofing of the pitched roofs is to be corrugated unfinished metal that matches the pitched roof at 553 Agua Fria.
6. Windows will be wood windows with exterior off-white cladding that are deep set into the adobe walls approximately 6 inches.
7. Exposed wood trim will be stained a medium walnut brown color at exposed lintels, gates, garage doors and rafter tails.
8. Exterior lighting will be strictly limited to sconce down lights at the storage room and yard gates and portals.

9. No roof-top mechanical equipment is scheduled for the project. A single ground mounted compressor for mini splits will be mounted in the east side yard to accommodate zoning set back rules.
10. Yard walls and fences are limited to a front entry 6-foot-high privacy wall.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the proposed project and found that the application complies with Section 14-5.2(D) and 14-5.2(I) Westside-Guadalupe Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Westside-Guadalupe Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(I).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS ___ DAY of _____, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case # 2021-004122-HDRB

Address – 128 Grant Avenue

Agent’s Name – Sibylle Mueller

Owner/Applicant’s Name – Georgia Place, LLC

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 14, 2021.

BACKGROUND

128 Grant Avenue is a structure constructed in a territorial revival style in 1982-1983. Given its non-historic construction date, it has a status of “non-contributing”. Located behind 130 Grant Avenue, it is mostly hidden from public view. It is a mixed-use structure, containing offices on the lower two floors and a residence on the third.

The applicant now proposes the following changes, which will take place on the second floor:

North Façade underneath Covered Balcony – Proposed Changes:

1. Existing Double Hung Window:
 - a. Remove single double hung window and wood casing. Widen opening to install new double door and wood casing. Reuse double door and match casing from removed door E-2
2. Existing Exit Door:
 - a. Remove existing door and wood casing.
3. Existing Door with Sidelights:
 - a. Remove existing door system and wood casing. In-fill opening and finish with stucco to match existing;
 - b. Salvage door E-1 and reuse
4. Existing Double Door:
 - a. Remove existing double door and wood casing. Frame-in exterior wall to fit salvage single door E-1;
 - b. Salvage existing double door E-2 and casing to be reused
5. Third Post on Balcony:
 - a. Full height stucco wall centered on post (see FIG 04). The proposed wall will be framed full height;
6. Replace 6 10-inch square surface mounted ceiling lights with 6 11-inch square surface mounted LED lights;
7. Stucco colors will be El Rey 125 La Luz and El Rey 100 Colonial White to match the existing.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D)(9) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Design Standards.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
6. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
7. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
8. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
10. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application, as recommended by Staff.

IT IS SO ORDERED ON THIS 28TH DAY of SEPTEMBER, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-4124-HDRB

Address – 954 Camino Ranchitos

Agent’s Name – Spears Horn Architects

Owner/Applicant’s Name – Sharon and Stewart Prentice

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 14, 2021.

BACKGROUND

854 Camino Ranchitos is a 5,793 sf building non-contributing to the Downtown and Eastside Historic District. Originally built in the 1930s in the Spanish-Pueblo style, it has been substantially altered. A non-contributing 889 sf guesthouse sits on the southeast corner of the property.

The applicant proposed to add a 653 sf double carport and 720 sf double bay garage to two different areas of the property. The carport will be located east of the existing house with street-facing exposure. The carport will be styled the same as the house and casita of wood frame construction. The wooden posts and beams will be carved with an adze to smooth the wood beams, vigas, and corbels to match existing guesthouse. Its height is 12’, which is within the maximum height in this streetscape, 16’ - 6”.

The proposed 14’ garage is to be located in the rear (west) portion of the lot, also within the maximum allowable height. The lot also fronts Garcia Street on its western edge but will not be publicly visible. The proposed garage also will be Spanish-Pueblo Revival style with wood frame construction. Its door will be metal clad wood to match the existing residence, Benjamin Moore’s “Dragon Breath 1547.” The garage will have two windows on its north and south elevation. Windows will be metal clad wood with lintels and trim will match the existing house. The existing coyote fencing and gate on the Garcia Street side is 8’ tall. The applicant proposes to reduce its height to 6’.

The applicant proposes to raze an existing non-contributing shed located west of the main house to make room for the new garage. The applicant states that the shed was built after 1997, as the footprint does not show on a 1997 survey. A low concrete wall will be erected to protect the garage from a draining easement. It will be topped with a new 6’ coyote fence with irregular tops to replicate existing coyote fencing. The garage driveway access from Garcia Street will be “Santa Fe Brown” base course and pea gravel.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Land Use Department Staff conducted a preliminary zoning review (“PZR”) and determined that the Application appears to meet the underlying zoning standards set forth in the Santa Fe City Code (“SFCC”).
2. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable SFCC requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
3. Historic Preservation Division Staff Recommendation: Staff recommended approval of the application as submitted: add a carport; add a garage; alter fencing; and demolishing the shed.
4. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(B)-(C), 14-5.2(A)(1), 14-5.2(C)(3)(a-b), 14-5.2(C)(4), and 14-5.2(D), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant’s proposed design to assure overall compliance with applicable design standards.
7. Under SFCC Section 14-5.2(C)(3)(b), the Board has the authority to approve an application for alteration or new construction on the condition that changes relating to exterior appearance recommended by the Board be made in the proposed work, and no permit is to issue until new drawings or documentation, satisfactory to the Board, have been submitted.
8. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable requirements for Board review as herein described have been met.
9. The information contained in the Staff Report and exhibits, and the testimony and evidence submitted at the hearing, establishes that all applicable design criteria have been met.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board granted approval of the proposal as submitted.

IT IS SO ORDERED ON THIS 28th of SEPTEMBER, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Kristine Bustos-Mihelcic

Date

Finding of Fact and Conclusions of Law – Remodel or New Construction

Case #2021-004124-HDRB

City Clerk

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date

**City of Santa Fe
Historic Districts Review Board
Findings of Fact and Conclusions of Law**

Case #2021-004123-HDRB

Address – 123 Grant Avenue

Agent’s Name – Lorn Tryk

Owner/Applicant’s Name – 123-125 Grant, LLC

THIS MATTER came before the Historic Districts Review Board (“Board”) for hearing on September 14, 2021.

BACKGROUND

123 Grant Avenue is a 19,000 square foot non-residential structure constructed originally in 1966 as a downtown Safeway supermarket facing onto a 21,000 square foot asphalt parking lot. It currently has a non-contributing status. It was originally designed with a “generalized Pueblo Revival appearance” including a portal with wooden posts and corbels, although the actual storefront was a standard modern form, with large plate-glass windows and sliding doors. The building has seen extensive changes over the years, including the enclosing of the west-facing portal in 1983 and its reinstatement with a different design in 1993. In that year, the doors and windows were also changed in size and location. The landscaping and smaller structures also date from around 1993. The building’s use as a supermarket ended in 1993, when it was converted into offices.

A more extensive history of the structure is given in the HCPI from June 2021.

In Case # 2021-003830-HDRB, heard on July 13, 2021, the HDRB reviewed the historic status of the structure and retained its status as “non-contributing”.

The applicant requests approval to demolish the structure.

FINDINGS OF FACT

After conducting a public hearing and having heard from the Applicant and all interested persons, the Board hereby FINDS, as follows:

1. Historic Preservation Division Staff reviewed the Application and related materials and information submitted by the Applicant for conformity with applicable Santa Fe City Code (“SFCC”) requirements and provided the Board with a written report of its findings (“Staff Report”), which evaluates the factors relevant to the Application.
2. Historic Preservation Division Staff Recommendation: Per Section 14-5.2(C)(2)(a), Regulation of Significant and Contributing Structures, the structure is non-contributing. Per 14-3.14(G), the Demolition standards have been fulfilled. Staff recommends demolition of the structure.

3. The project is subject to the requirements and general design standards set forth in SFCC Section 14-5.2(D), General Design Standards.
4. The project is subject to SFCC Section 14-5.2(C), Regulation of Significant and Contributing Structures.
5. The property is located in the Downtown and Eastside Historic District and is subject to the district design standards set forth in SFCC Section 14-5.2(E).
6. Under SFCC Sections 14-2.6(C), 14-3.14, and 14-5.2(C)(3)(a), the Board has authority to review and approve or deny all applications for new construction and exterior alteration and demolition of structures in the historic districts in accordance with the standards set forth in SFCC Chapter 14.
7. Staff provided to the Board information on a structure under consideration for demolition, pursuant to SFCC Section 14-3.14(C).
8. Under SFCC Section 14-3.14(G)(1), in determining whether to approve a request for demolition in a historic district, the Board must consider whether the structure is of historical importance, whether the structure is an essential part of a unique street section/block front, whether the street section/block front will be reestablished by a proposed new structure, and the state of repair and structural stability of the structure.
9. Pursuant to SFCC Section 14-3.14(G)(1)(a), the Board finds that the structure is not of historical significance.
10. Pursuant to SFCC Section 14-3.14(G)(1)(b), the Board finds that the structure is not an essential part of a unique street section or block front.
11. Pursuant to SFCC Section 14-3.1(G)(1)(c), the Board finds that the structure under consideration is in a good state of repair and structural stability.
12. Under SFCC Sections 14-2.6(C)(1) and 14-5.2(A)(1), the Board has authority to review, approve, with or without conditions, or deny, all or some of the Applicant's proposed demolition in a historic district in accordance with the standards and procedures set out in SFCC Sections 14-3.14 and 14-5.2.
13. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that all applicable requirements for Board review have been met.
14. Based on the Staff Report and exhibits, and the information and evidence presented at the hearing, the Board finds that the application for demolition is in conformity with the standards established in SFCC Section 14-3.14 and demolition is appropriate under those standards.

CONCLUSIONS OF LAW

Under the circumstances and given the evidence and testimony submitted during the hearing, the Board acted upon the Application as follows:

1. The Board has the authority to review and approve the Application.
2. The Board approves the Application for demolition of the non-contributing structure.

IT IS SO ORDERED ON THIS 28th DAY of SEPTEMBER, 2021, BY THE HISTORIC DISTRICTS REVIEW BOARD OF THE CITY OF SANTA FE.

Chair

Date

FILED:

Yolanda Y. Vigil
City Clerk

Date

APPROVED AS TO FORM:

Frank E. Ruybalid
Assistant City Attorney

Date



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004162--HDRB

Project Description:

Project Location(s): 344 CAMINO CERRITO
Santa Fe, NM 87505

Contacts:

Applicant: Paul & Mariana Padilla

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: No

Historic District Inventory Number:

Year of Construction:

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Daniel Schwab, Senior Planner, Historic Preservation Division

Case 2021-004162-HDRB

Address: 344 Camino Cerrito
Historic Status: Non-contributing
Historic District: Downtown and Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence standards.
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

344 Camino Cerrito is currently an unbuilt lot in the Downtown and Eastside Historic District. The applicant proposes to construct a new single-family residential structure.

1. The structure will be 1,891 square feet heated and 205 square feet unheated.
2. The maximum height of the house measured as the vertical distance measured between the highest part of the structure and the existing grade, at the midpoint of the street facing (east) facade is 16 feet 3 inches, which exceeds the maximum allowable height of 15 feet by 1 foot 3 inches. The structure will be constructed on a sloping site with 3 feet of grade change. The applicant requests that the board increase the allowable height for the proposed buildings per Section 14-5.2(D)(9)(c)(ii)(F).
3. It will be constructed in a Spanish Pueblo Revival Style.
4. A synthetic stucco will be used, colored "Dry River".
5. Exterior wood beams and latillas will have minwax Provincial color stain in satin finish.
6. Windows will contain simulated divided light and will be inset with lintel beams above.
7. The front (east) facing portals will be constructed of wood beams and latillas.
8. HVAC units and sky lights located on the roof will be architecturally screened by parapets
9. Stairs from lower level to the front porch will be constructed of concrete and brick with rock façade matching the retaining wall with a simple black wrought iron hand rail.
10. Exterior lighting located at front door will be black and glass, and will be located under a portal (Figure 11).
11. Perimeter walls will be block and stucco in "Dry River" color. Wall height on the east along Camino Cerrito will be 4 feet. Wall height on the south and north will be 6 feet tapering down towards Camino Cerrito on the east.
12. Along the north elevation, retaining walls will be constructed of concrete with a river-rock façade.

RELEVANT CODE CITATIONS:

14-5.2(D)(9)(c)(ii)(F): The board may increase the allowable height for proposed buildings and additions located on a sloping site where the difference in the natural grade along the structure's foundation exceeds two (2) feet. In no case shall the height of a façade exceed four (4) feet above the allowable height of the applicable streetscape measured from natural or finished grade, whichever is more restrictive. This increase in height shall be constructed only in the form of building setbacks from the street.

(iii) In historic districts, height shall be the vertical distance measured between the highest part of a structure and the existing grade or finished grade, whichever is more restrictive, at the midpoint of the street facing facade, excluding rooftop appurtenances, the increased height of walls or fences over pedestrian and vehicular openings, and gates (either in opened or closed position).

Historic Review Board – Proposal Letter
344 Camino Cerrito Santa Fe, NM 87505

Dwelling location and Description

The project includes constructing a new single-family home on an empty lot located in a residential area at 344 Camino Cerrito Santa Fe, NM 87505. The dwelling will be a single story, 1,891 square feet heated and 205 square feet unheated. The dwelling will be constructed with flat roof and wood frame structure. Exterior wall material will be cementitious stucco in El Rey Sahara color (Figure 1) in flat sand finish. Exterior wood beams and latillas will have minwax provincial color stain in satin finish (Figure 2). The maximum height of the house is 12 ft.10 inches. Windows will contain real divided light and will be inset with lintel beams above (Figure 3). The window color will be white and will be aluminum clad constructed (Figure 3).

Portals and Roof

The front exterior door will be wood and stained using Minwax Provincial (Figures 2 and 4). The front (east) facing portals will be constructed of wood beams and latillas on the ceiling (Figure 4). The west facing portal on the back of the home will also be constructed of wood beams and latillas (Figure 5). Canales will be installed on the roof (Figure 5). The HVAC unit will be located on the roof at the lowest elevation (9 ft ceilings on the southern end of the home). It will be architecturally screened by parapets and latillas (Figure 6). The HVAC unit height will be between 3 and 4 feet, the latilla screening will not exceed the height of the HVAC unit.

Exterior Features

The property is multi-level (Figure 7). The upper level will be extended out 8 feet to the north (Figure 7) and 7 feet to the west (Figure 8) to extend the building pad for the dwelling. Retaining walls will be constructed of concrete, rebar and other required materials. Retaining walls will include a (round river rock) rock façade throughout (Figure 9). Stairs from lower level to the front porch will be constructed of concrete and brick with rock façade matching the retaining wall with a simple black wrought iron hand rail. (Figures 9 & 10). Exterior lighting located at front door will be black and glass (Figure 11).

Perimeter walls will be block and stucco in Dry River color. Wall height on the east along Camino Cerrito will be 4 feet. Wall height on the south and north will be 6 feet tapering down towards Camino Cerrito on the east (Figure 12). Wall height on the west will be 6 feet consistent with the existing cinder block located on the adjacent property. Gates will be constructed with wood and wrought iron material (Figure 13). The property layout will allow a minimum of two off street parking spots on the north side of the property (Figure 14).



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

Date Submitted:	Site Address: 344 Camino L. Cerrito Santa Fe N.M. 87505
Property Owner of Record: Paul & Mariana Padilla	Proposed Construction Description:
Applicant/Agent Name: Paul Padilla	Standard One Single family New Construction
Contact Person Phone Number: (505) - 235-9691	TOTAL ROOF AREA: 2,149 sq ft
Zoning District: Historic East Side	Lot Coverage: 35 % <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone _____ <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: 7' Minimum: _____ 2 nd Front? _____ Proposed Rear: 15' Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____
Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input type="checkbox"/> Elevations	Height: Proposed 12' 10" Maximum Height: 14' _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed 2 Accessible _____ Minimum: 2 _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking : Proposed: 0 Minimum: 0 _____
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

Paul Padilla Mariana Padilla Paul Padilla [OWNER] [APPLICANT] [AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE _____

DATE _____

Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____	Date: ___/___/___
<input type="checkbox"/> Flood Plain Approval by _____	Date: ___/___/___
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: ___/___/___
Notes: _____	
Zoning Approval:	
<input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	

REVIEWER: _____	DATE: ___/___/___
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

FOR
MARIANA D. PADILLA
 &
PAUL A. PADILLA

TRACT 2 OF PLAT OF SURVEY FOR EUSTAQUIO PADILLA,
 CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO.



INSURUMENT No. **1898602**
 COUNTY OF SANTA FE
 STATE OF NEW MEXICO
 I, County Clerk, do hereby certify that the within and foregoing plat of survey was duly recorded in the office of the County Clerk of Santa Fe County, New Mexico, on the 15th day of July, 1926, at 11:55 A.M. and the records of Santa Fe County.

Witness my hand and Seal of Office
 at Santa Fe, New Mexico, this 15th day of July, 1926.

[Signature]

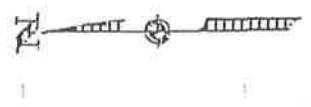
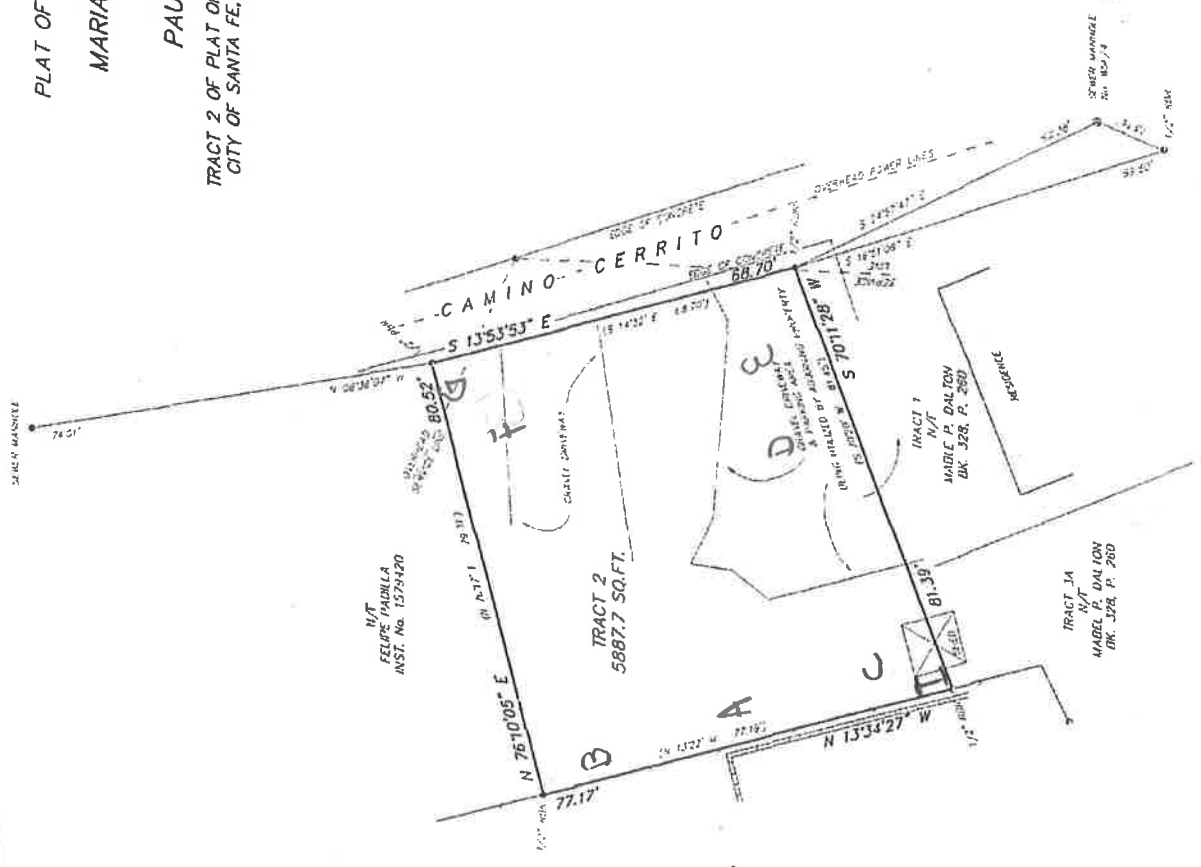
PUBLIC NOTICE
 CITY OF SANTA FE STAFF HAS NOT RECEIVED THIS DOCUMENT PRIOR TO RECORDATION. CITY OF SANTA FE STAFF HAS NOT RECEIVED THIS DOCUMENT PRIOR TO RECORDATION. THIS DOCUMENT IS NOT VALID UNLESS IT IS SUBMITTED WITH AN APPLICATION FOR RECORDATION AND WITH ACCURATE ADDITIONAL DOCUMENTATION TO PROVE LEGAL LOT OF RECORD. VERIFICATION OF LEGAL LOT OF RECORD IS THE SOLE RESPONSIBILITY OF THE PURCHASER/OWNER.

INDEXING INFORMATION FOR COUNTY CLERK
 BOUNDARY SURVEY
 OWNER: ALONSO D. CAMERON
 LOCATION: 144 CAMINO CERRITO, SANTA FE
 SECT. 30, T. 17 N., R. 10 E., N.M.P.M.
 PROJECTED INTO THE SANTA FE GRANT

SANTA FE COUNTY, NM
 UPC No. 1-055-088-306-369

DEL RIO SURVEYS, INC.

PLAT No. 20223, SANTA FE, NEW MEXICO. P.M. 202-460-0500
 PROJECT No. 180105/25 Day Job
 Date: 7/23/26 REV. 2



- LEGEND**
- Sewer manhole
 - Points found and used as noted
 - 1/2" capped iron pin set this survey
 - Power poles
 - Fence
 - Holes
 - Concrete
 - Iron pin
- NOTES**
1. BASE OF BEARINGS: GPS OBSERVATION OF FOUND MONUMENTS ON THE NORTH BOUNDARY OF SUBJECT TRACT; (N 76°10'05" E, NAD 83, NW STATE PLANE, CENTRAL ZONE, GRID).
 2. THIS SURVEY IS BASED ON A PLAT OF SURVEY FOR EUSTAQUIO PADILLA, RECORDED IN PLAT BK. 73 AT PAGE 1. RECORDS OF SANTA FE COUNTY, NEW MEXICO AND DISTANCES IN () ARE FROM SAID PLAT.
 3. REFERENCE DEED INST. No. 160234.
 4. SAID PLAT DOES NOT REPRESENT LEGAL LOT OF RECORD FOR THIS TRACT.

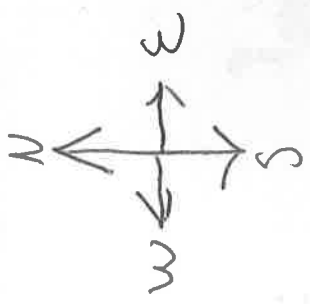
CERTIFICATE

I, Philip B. Weygal, a duly registered Professional Surveyor in the State of New Mexico hereby certify that I conducted and am responsible for this survey, that this survey and plat represent an actual survey made in the field by me or under my direction, that it meets the Minimum Standards for Surveys in New Mexico and that the information contained herein is true and correct to the best of my knowledge, information and belief.

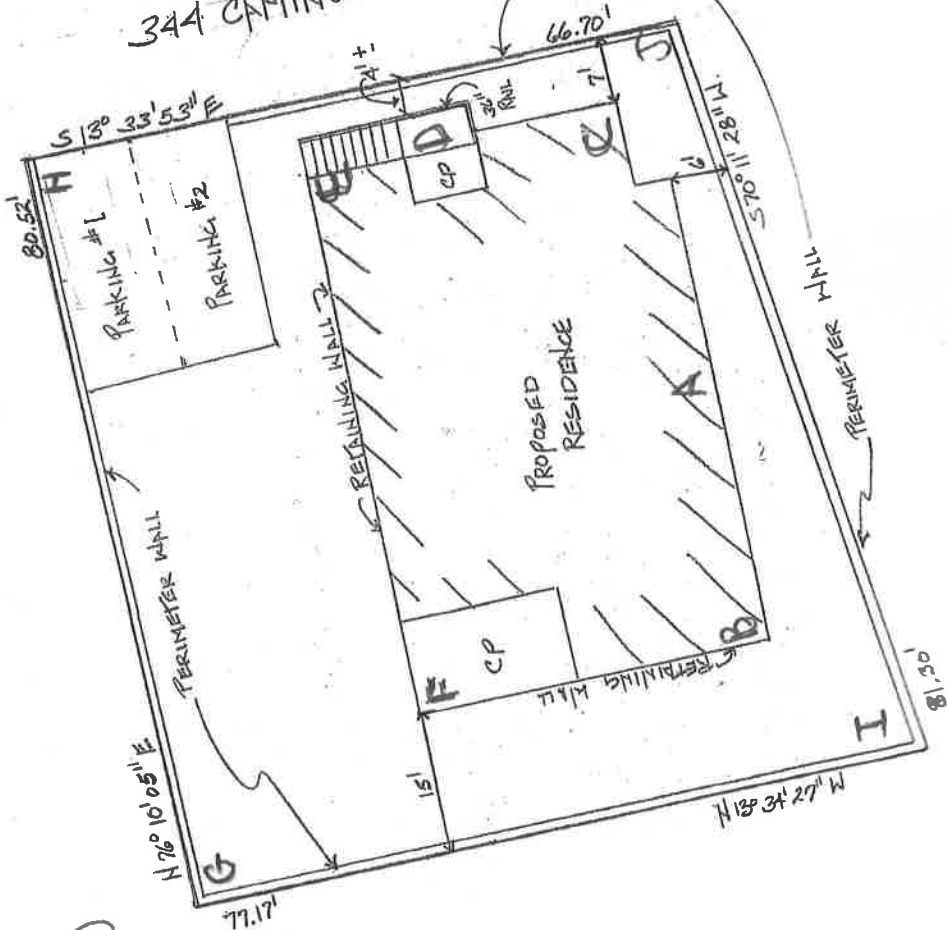
I further certify that this survey is not a land division or subdivision as defined in the New Mexico Subdivision Act and that this is a boundary survey plat of an existing tract or tracts.

DATE OF FIELD WORK: 15 July 2026
 DATE OF RECORD: 15 July 2026
 P.M. 202-460-0500
 Santa Fe, NM



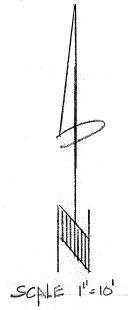
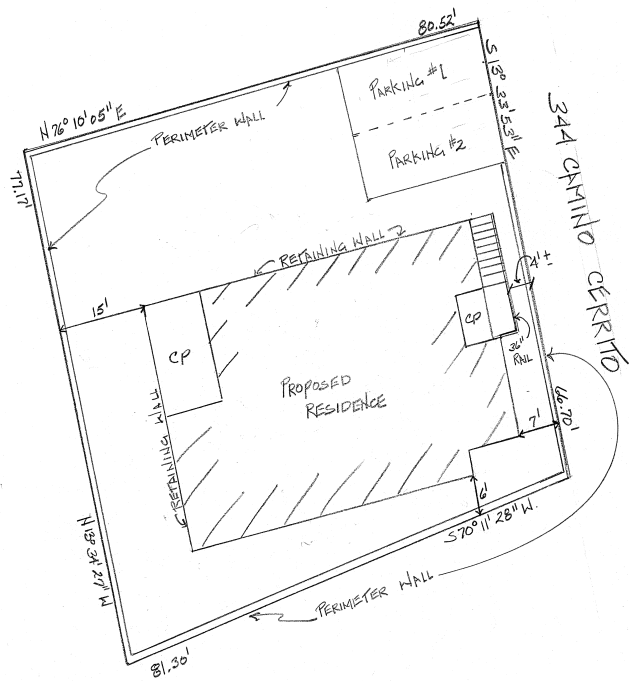


344 CAMINO CERRITO



LEGAL DESCRIPTION
SECTION 30 T17N,
R10E, NMPM

- (A) Elevation of Reference (0)
- (B) SW Corner of proposed Residence (-2', 2")
- (C) SE Corner of Home (-2")
- (D) East Center of Home (0)
- (E) N.E. Corner of Home (-5' 4")
- (F) N.W. Corner of Home (-4' 7")
- (G) N.W. Corner of Lot (-6' - 10")
- (H) N.W. Corner of Lot (-9')
- (I) N.E. Corner of Lot (-4')
- (J) S.W. Corner of Lot (-3")



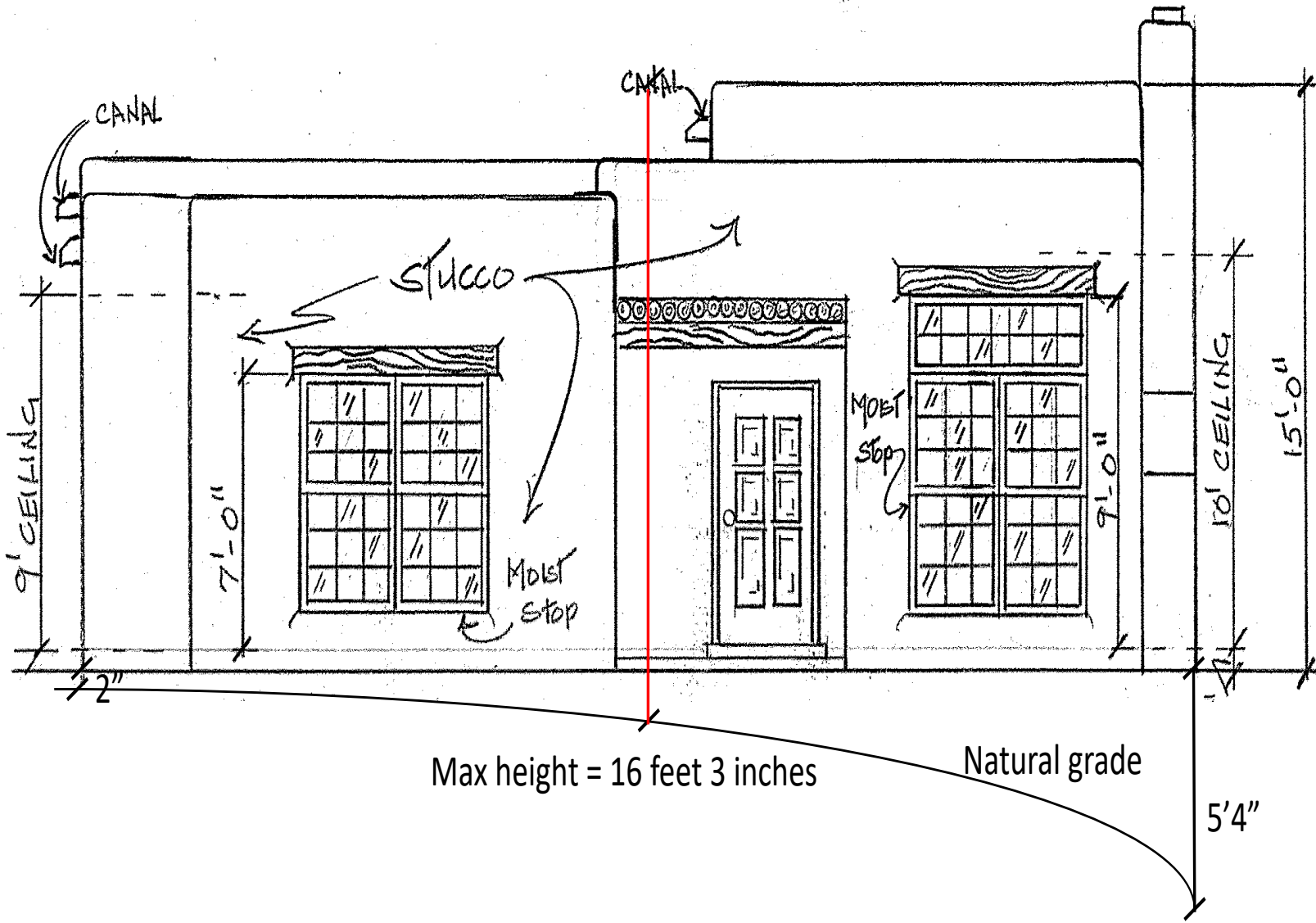
LEGAL DESCRIPTION
 SECTION 30 T17N,
 R. 10 E, NMPM

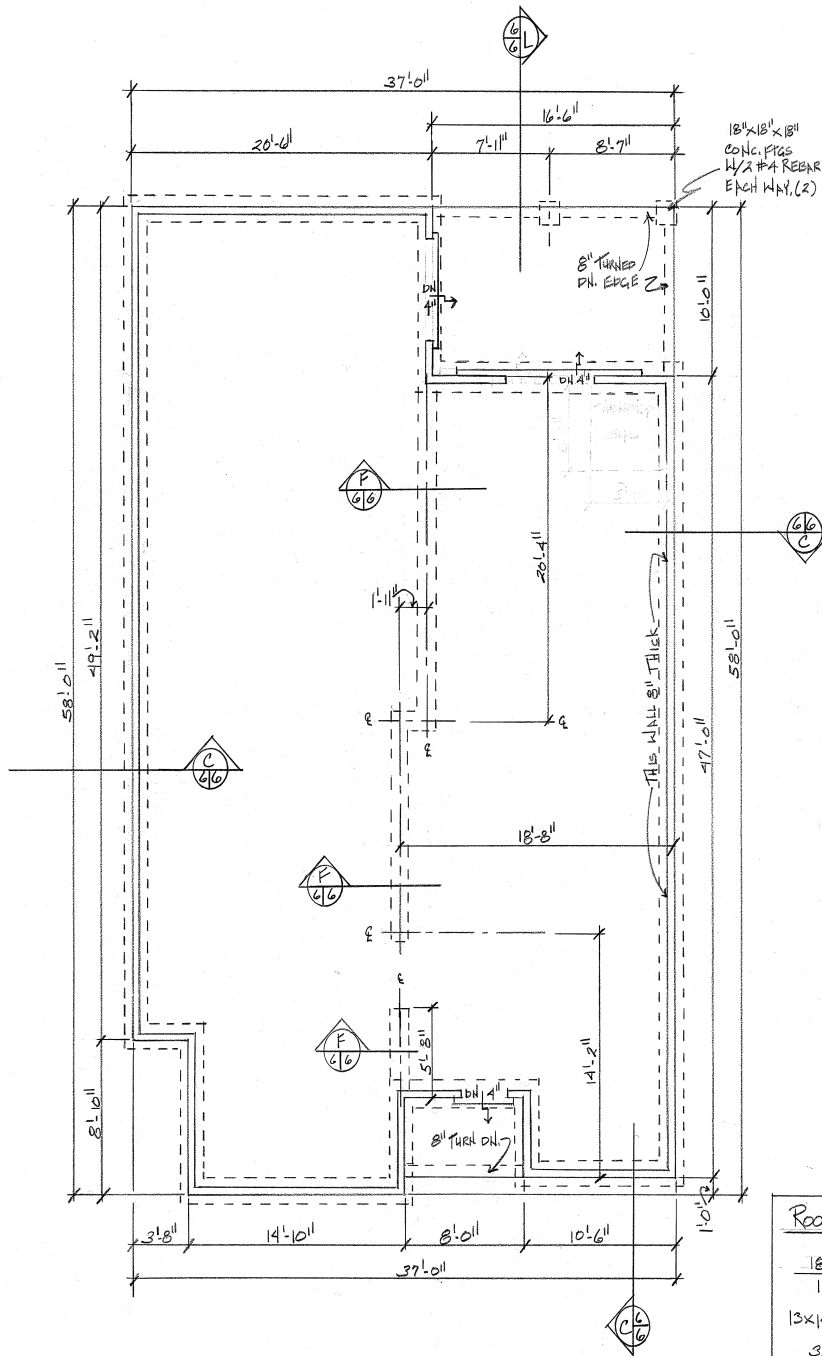
NOTES:

- Do not scale drawings, dimensions take precedence over scale.
- These drawings and specifications have been developed for obtaining permits and may not reflect changes to the final construction work or requirements made after completion of drawings, on site changes by the owner, user or contractor will not be shown herein.
- These drawings were done to the best of the designers ability, the designer, is not responsible for errors or omissions. The owner/contractor shall be responsible for complying with the requirements of the current Uniform Building Code.
- Any additional cost for an engineering stamp that may be required after review by the planning dept. is the responsibility of the owner/contractor.

NOTES:

1. EXACT LOCATION OF STRUCTURE TO BE LOCATED IN THE FIELD FORTHERING TO SET BACK RESTRICTIONS.
2. PERIMETER WALL TO BE 6' HIGH BUT WILL STEP DN. TO 3' CLOSER TO THE FRONT & ALONG THE FRONT EAST SIDE.
3. NUMBER OF STEPS TO BE DETERMINED BY GRADIE.
4. PARKING SPOTS APPROXIMATELY 10' X 25'





FOUNDATION PLAN
1/4" = 1'0"

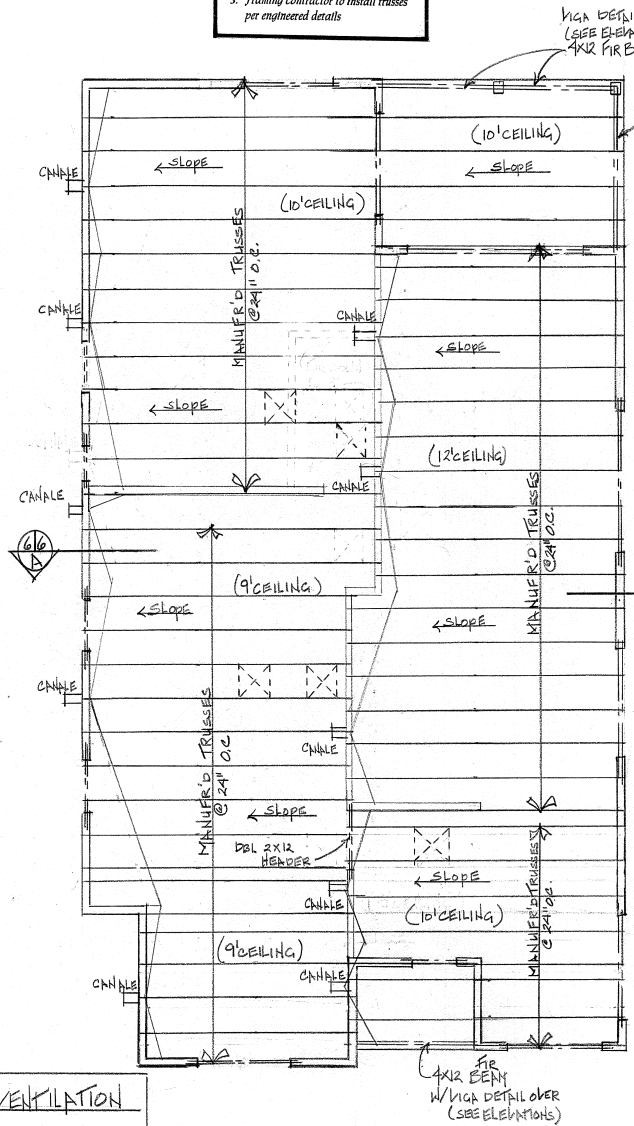
ROOF VENTILATION

$$\frac{1891}{150} = 13 \text{ SQ. FT.}$$

$$\frac{13 \times 144}{2} = 936 \text{ SQ. IN.}$$

33 8"x6" MOULD VENTS

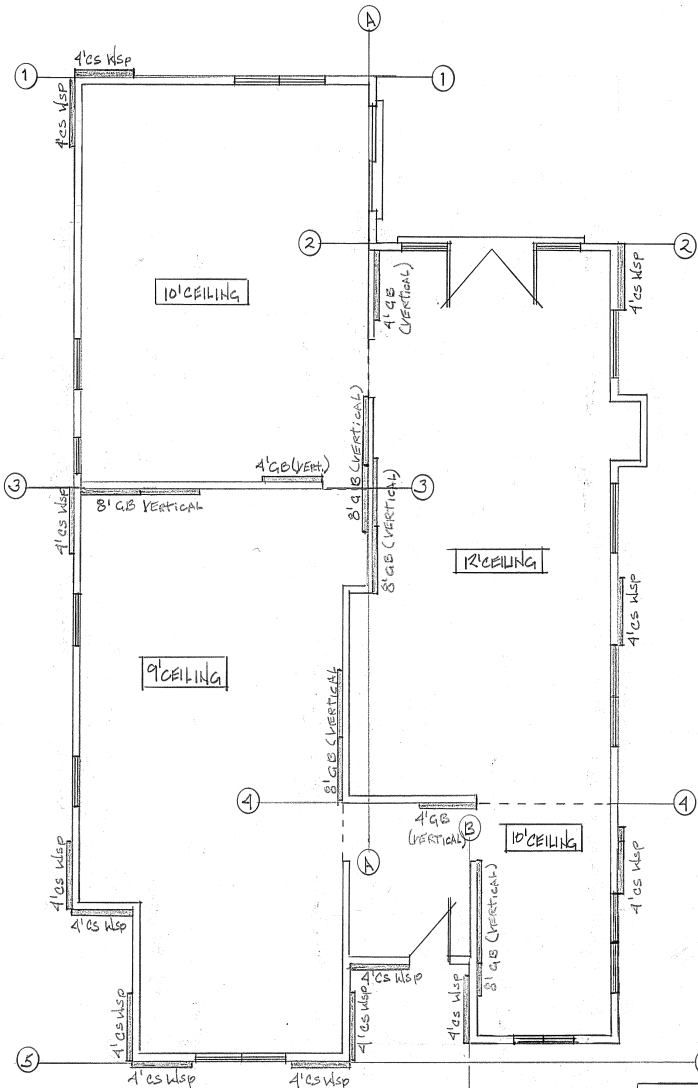
- General Notes**
1. Dimensions take precedence over scale
 2. Truss manufacturer to review NPAC chase in trusses with contractor before building trusses & providing engineered details
 3. Framing contractor to install trusses per engineered details



ROOF FRAMING PLAN
1/4" = 1'0"

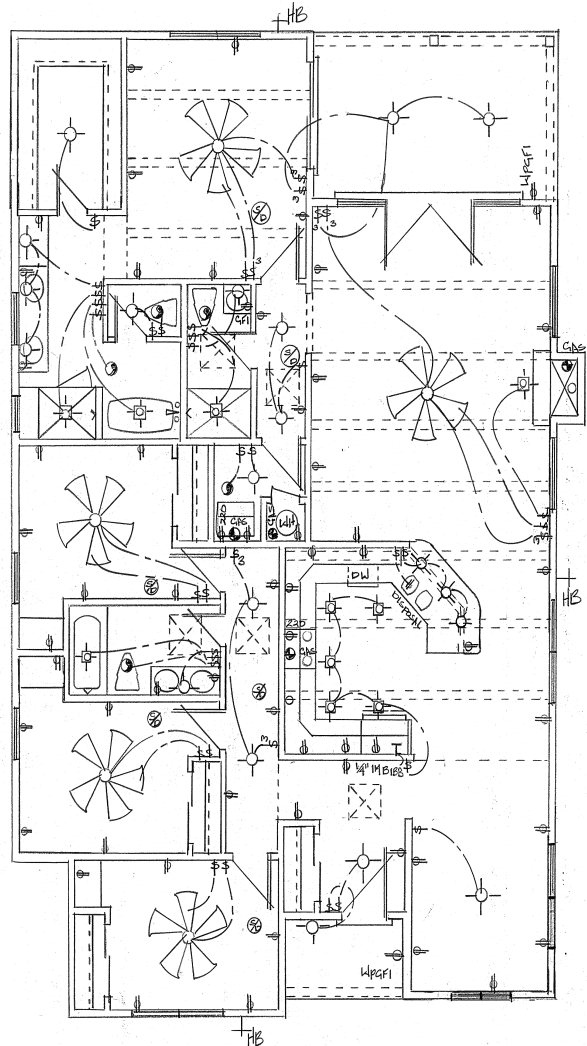
- Foundation Notes**
1. All concrete to have an ultimate compressive strength of 5000 PSI. 28 days
 2. All stem walls fully grouted
 3. All wood columns to have approved connectors & be 1" from top of slab
 4. Anchoring 1/2"x10" min. bolts 6" OC max. & within 12" from end of plate, run set @ 24" OC. Exterior bearing. Ram setting not allowed over CMU stem walls.
 5. Foundation insulation to be 2"x24" R10 min. at exterior perimeter of heated space & at garage/house wall. Wood floors require a min. of R19 insulation. Insulation shall extend from top of slab 24" down or continue horizontally under slab for a total of 24".
 6. All exterior footings below frost line 18" min. unless specified where climate is colder 22" deep.
 7. All rafter shall have minimum 20" lap splices.
 8. CMU walls width, bond beams, girder pockets, joint reinforcement 20x16" OC. Vertical reinforcement 20x8" OC max.
 9. Fibers with gravel space clearance to be 18" to wood joists, 12" to wood girder, min. access to be 18"x24", min. venting 1 sq. ft. per 150 sq. feet of under floor area.
 10. Bottom of footing trenches to be undisturbed or compacted to 95% of max. density.
 11. Concrete contractor is responsible for ensuring that all under-slab systems are in place prior to pour.
 12. Anchor bolts to be 1/2"x10" long and installed 6" on center max. of 12" from corners. Min. 2 bolts per plate unless otherwise specified.

- Roof Framing Notes**
1. Trusses to be engineered by truss manufacturer & keyed to roof framing plan.
 2. 1/2" plywood or wafer wood decking w/ clips @ 24" OC top. Unless noted
 3. All trusses shall be securely braced during setting and after permanent installation in accordance with (BWT-76) as published by the truss plate institute
 4. Lateral bracing to be installed in accordance with TP14/FBI standards
 5. Provide Simpson H2.5 hurricane ties at all truss or joint to Top Plate connections.
 6. Install all Simpson Strong-Tie Connectors per mfr. Specifications or as specified by engineer.
 7. Fire blocking shall conform to the IRC 2015 Section 702.2B
 8. Plywood/wafer wood roof and wall sheathing shall be structural and manufactured with exterior glue.
 9. Squash blocks to be added to both sides of TJ's at a distance of 1/4" longer than TJ's (210 DF series and above only)
 10. Verify with Truss Mfr. Exact quantity of plp of each girder truss prior to construction of roof frame
 11. All T-joints to be brass joint engineered wood products or equal unless otherwise noted
 12. Builder shall confirm that adequate transfer of loads is provided for all beams, headers and girders. Loads shall transfer down directly to foundation below and all areas shall be blocked and supported as required.



BRACING PLAN
1/4" = 1'-0"

- Bracing Notes**
1. CB panels. Fasten every 7" on edges, including top and bottom and 7" in field with Cp nails.
 2. CS WSP panels. Fasten every 6" on edges and 12" in field. With Cp nails.
 3. Wall bracing at corners and 20' max between panels.
 4. Walls less than 6' do not require braced panels.
 5. Interior braced panels to be vertical and have bracing every 4' top to bottom.



ELECTRICAL PLAN
1/4" = 1'-0"

- Electrical Notes**
1. Provide ground fault protection to all kitchen, bathroom, garage and exterior (except refrigerator and freezer outlets).
 2. 1/2" hole complete under meter for disconnect, garbage disposal, and trash compactor.
 3. All smoke detectors shall sound an alarm in all sleeping areas & have a battery backup. Smoke alarms shall not be installed less than 5' from the door or opening of a bathroom (R314.3).
 4. Transfer switches greater than 12" x 24" and all equipment shall have at least one receptacle outlet.
 5. All lights over tubs and showers to be waterproof and GFI protected.
 6. Arc Fault Interruption protection to all habitable rooms per NEC 2017.
 7. Fluorescent or compact fluorescent luminaires in laundry rooms, closets and garages (attached or detached) per NEC 2017.
 8. Recessed lighting rated to location, contact and altitude.
 9. Weather resistant type 15 and 20 amp receptacles in damp and wet areas per NEC 2017.
 10. One third of outdoor lighting to be on a sensor or timer to comply with the night sky protection act.
 11. Provide 1/4" non-ferrous electrical runways to roof for photo-voltaic wiring.
 12. Tamper resistant receptacles per NEC 2017.
 13. The minimum clearance between luminaires installed in clothes closets and the nearest point of a closet storage space shall be as follows:
 - A) 12" for surface mounted fluorescent or LED luminaires with a completely enclosed light source installed on the wall above the door or on the ceiling.
 - B) 6" for surface mounted fluorescent luminaires installed on the wall above the door or on the ceiling.
 - C) 6" for recessed fluorescent or LED luminaires with a completely enclosed light source installed in the wall or the ceiling.
 14. Final Electrical plan to be determined between the electrician, contractor and the homeowner.

- NOTES:**
1. SMOKE DETECTORS TO BE ONEEN MONOXIDE COMBO
 2. COMBO UNIT TO BE PLACED ON ROOF W/SCREENING TO HIDE VIEW FROM STREET.



View Point A. Point of Reference (highest elevation point)



View Point B.



View Point C.



View Point D.



View Point E.



View Point F.



Looking toward Point G which is staked and flagged in the northwest corner of the property



View Point H.

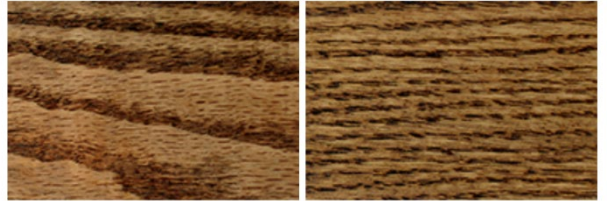


Full layout view



Sahara
135 (35)

Figure 1. Stucco Color – Sahara



Early American 230

Provincial 211



Aged Barrel 283



Red Oak 215

Figure 2. Minwax Stain Color - Provincial



Figure 3. Window with divided light, inset and lintel beam





Figure 4. Beam, latillas, brick stairs & hand rail



Figure 5. Canales



Figure 6. HVAC Screening w/ parapet and coyote fence



Figure 7. Upper and lower level looking SW from road



Figure 8. Location of west retaining wall looking north



Figure 9. Rock retaining wall and eastside of brick stairs.



Figure 10. Stairs from parking area w/ rock façade.
We will construct brick steps

Quoizel Breittling 18-in H Matte Black Medium Base (E-26)
Outdoor Wall Light

Item #1479171 Model #LWS3747B



Figure 11. Exterior lighting



Figure 12. Perimeter wall with step down towards street

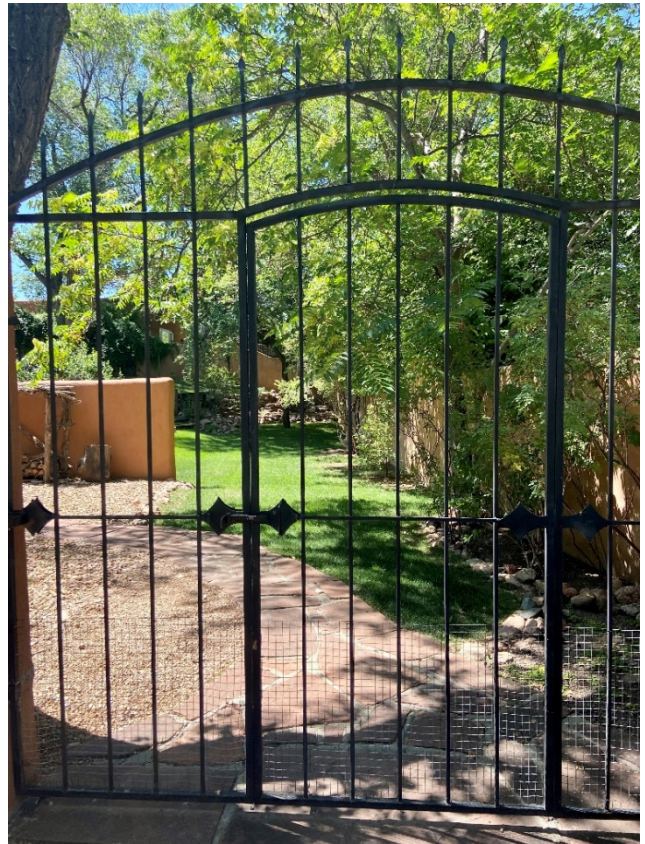


Figure 13. Wrought iron gate



Figure 14. Location of parking spots



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004181--HDRB

Project Description:

Project Location(s): 120 W BERGER ST A
Santa Fe, NM 87505

Contacts:

Property Owner: John Pound
118 & 120 Berger ST ALL
Santa Fe, NM 87505

Applicant: Thomas Lechner
24 Vista De Luna Dr. 24 Vista De Luna Dr.
SANTA FE, NM 87508

telechner24@gmail.com

Historic District: HD: Don Gaspar Area

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory Number: H558

Year of Construction: 1951

Project Type: Historic Status Review

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2020-004181-HDRB

Address: 118-120 W. Berger Street
Historic Status: Non-Contributing
Historic District: Don Gaspar Historic District

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Façade diagram
 New Historic Cultural
Inventory Survey Form
 Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff recommends designating the house Non-Contributing per 14-5.2 (C) Regulation of Significant and Contributing Structures in the Historic Districts in Historic Districts.


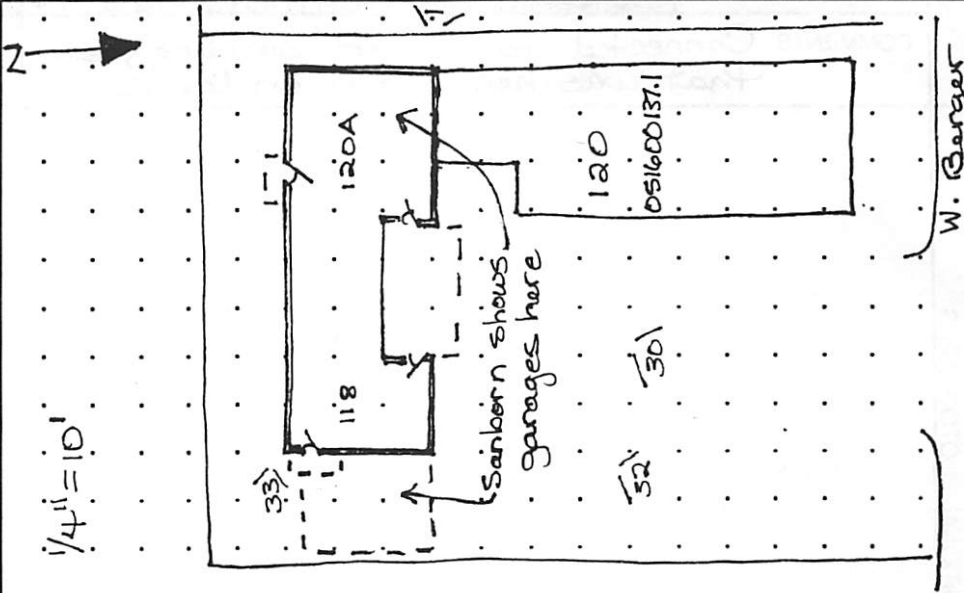
BACKGROUND & SUMMARY:

118-120 West Berger Street is a combined two-duplex nominal Pueblo Revival structure in the Don Gaspar Historic District. There are four apartments arranged in the two duplexes constructed 30 years apart. The original portion was built in the 1950s; the second duplex was added in the 1980s. The joined buildings form roughly an “L,” with the older section situated at the rear (south) of the lot facing the street.

The front (north) façade of the original structure has a parapet roof and a centered portal with vigas. The portal has double posts and is capped with a *zapato* corbel at its center. The portal shows strict symmetry, reflecting its duplex design. Each unit has a combination of steel windows. The front of the original duplex has two semi-permanent storm windows. The 1980s duplex is an unremarkable stuccoed structure with aluminum windows. The 1980s duplex has an existing low stucco yard wall and gate that are not historic and extends only across the western end of the property’s front (north-facing).

Although the original 1950s duplex (north elevation) facing the street maintains its historic portal, windows and doors, characteristic of the 1950s era, the 1980s duplex does not match its style. The addition’s location in front of the original duplex further subjugates and obscures it. Based on the complete reconfiguration of the original lot and the large addition, the combined four apartment complex has lost its historic integrity.

NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1994

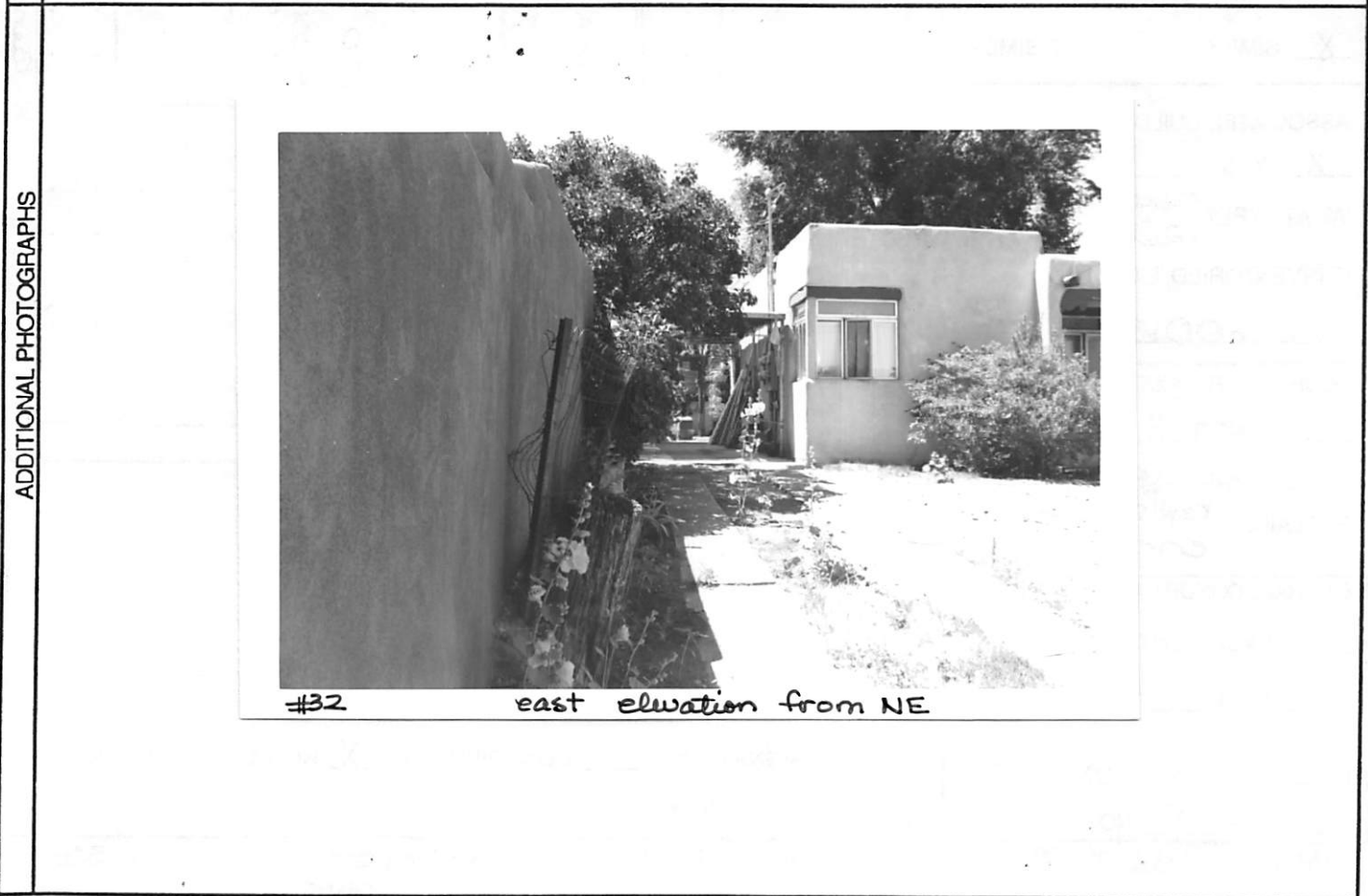
IDENTIFICATION	ADDRESS: <u>118-120A W. Berger</u>	ID NUMBER: <u>0516 00137</u>	
	UTM REFERENCE EASTING NORTHING ZONE <u>12 13</u>	LEGAL DESCRIPTION: TNSP <u>17</u> (N) S RANGE <u>9</u> (E) W SEC <u>25</u> NW 1/4 SE 1/4	BUILDING NAME: SANTA FE ID NUMBER: <u>4558</u>
	FIELD MAP <u>Santa Fe Historic Structures Survey, 1983-85/1992</u>	DATE OF CONSTRUCTION: ____ ESTIMATE <u>1951</u> ^{by} ACTUAL SOURCE(S) <u>city directory</u>	
BUILDING DATA	ARCHITECTURAL STYLE: <u>Spanish Pueblo Rev.</u>	PHOTO	
	USE: HISTORIC: <u>residential</u> OTHER <u>N/A</u> PRESENT: (<u>residential</u>) OTHER _____		
	SURROUNDINGS: <u>residential</u>		
	RELATIONSHIP TO HISTORIC SURROUNDINGS: <input checked="" type="checkbox"/> SIMILAR <input type="checkbox"/> NOT SIMILAR		
	ASSOCIATED BUILDINGS ON SITE: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT TYPE? <u>apartments</u> <u>120 W. Berger</u> IF INVENTORIED, LIST ID NUMBER(S) <u>051600137.1</u>		
SIGNIFICANCE	DEGREE OF REMODELING: ____ MINOR <input checked="" type="checkbox"/> MODERATE ____ MAJOR <u>garages replaced, enclosed</u> EXPLAIN: <u>replaced, enclosed</u>	SITE PLAN	
	OVERALL CONDITION: ____ EXCELLENT <input checked="" type="checkbox"/> GOOD ____ FAIR <input type="checkbox"/> DETERIORATED BUILDING THREATENED? ____ YES <input checked="" type="checkbox"/> NO		

SURVEYED 7/94 BY DB

NEGATIVES WITH NMHPD ROLL # DB14 NEG # 30 TO 33

DB15 # 1

ARCHITECTURAL FEATURES: STYLE, MATERIALS, AND CONDITION	ROOFS & DRAINS	flat with plain parapet
	BUILDING WALLS	brown stucco over cinder block
	FOUNDATIONS	not visible
	DOORS	wood panel with small upper light \boxplus , wood lintel, wood screen wood panel with upper light, wood screen
	WINDOWS	aluminum and steel casements, wood lintels
	PORCHES OR PORTALES	N center - inset portal with stucco parapet, wood beam & corbels, pair of round posts at center, projecting shaped vigas; wood awnings w/ brackets
	BALCONIES	
	COURTYARDS	
	FENCES/WALLS	
	ARCH. DETAILS	symmetrical plan
OTHER	wood carport, E, with pipe posts - garages shown on Sanborn on each end - one replaced by carport	
COMMENTS	Connected to newer building, 120, on W end - garage that was here, now enclosed	



NEW MEXICO HISTORIC BUILDING INVENTORY - SANTA FE RESURVEY 1994 (concluded)

IDENTIFICATION

ADDRESS

118-120A W. Berger

ID NUMBER: 0516 00137

SANTA FE ID NUMBER: 4558

SURVEYED/RESEARCHED

DATE 7/94 BY DB



#33 south elevation from SE



#1 west elevation

W. BERGER

118-120A W. Berger
1968 Sanborn

W. BERGER

W. HOUGHTON

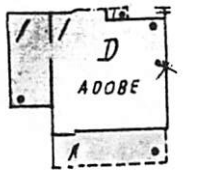
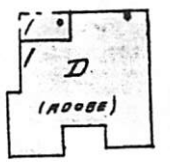
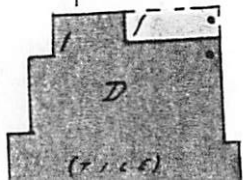
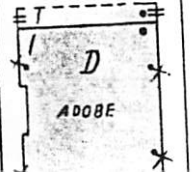
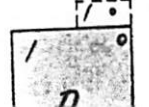
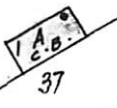
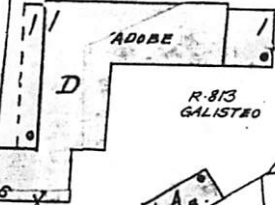
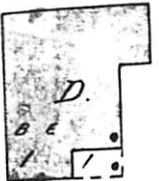
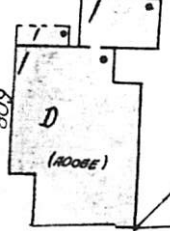
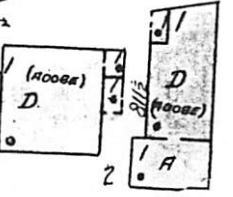
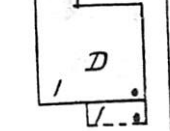
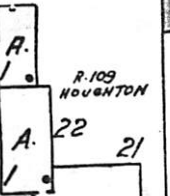
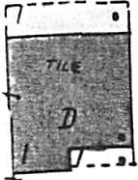
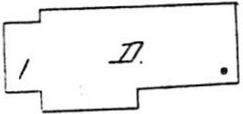
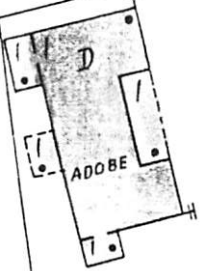
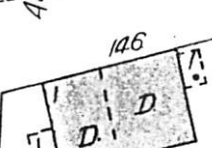
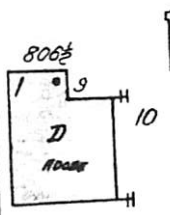
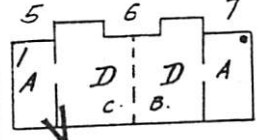
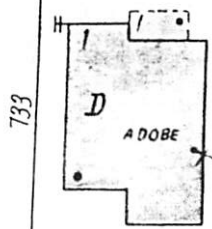
21

S

UNPAVED

E

U



36'

733

161

146

142

140

136

134

803

144

805

38

101

DH

809

809

33

32

31

30

813

151

131

34

129

HOUGHTON

127

125

W. HOUGHTON

111

109

109

50'

134

132

124

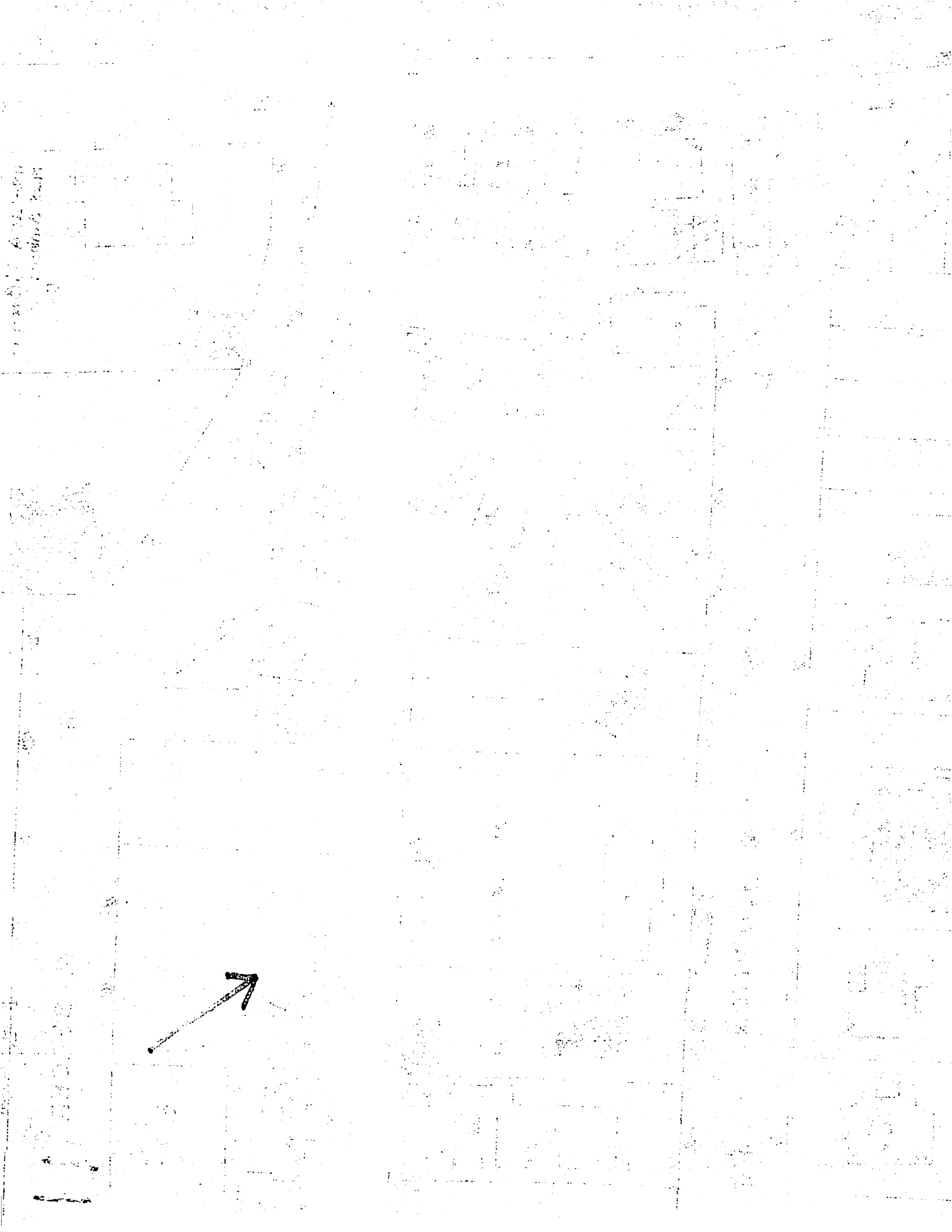
116

110

GAS REGULATOR NO.

(TILE)

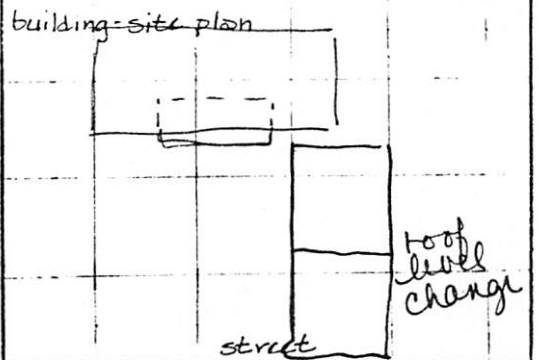
ADOBE



building threatened? yes	surveyed date 7-82 by E.T.	county Santa Fe	ID no. 051600
field map Don Gaspar Neighborhood	number 137	UTM reference zone 12 13	easting 414770 northing 3417000
location description 118-120 W Berger		city/town Santa Fe	
		land grant/reservation	

building name	legal description tnsp N S range E W sec
---------------	---

film roll by E.T. no. 5	negative nos. 26	loc. of neg. City of Santa Fe
----------------------------	---------------------	----------------------------------



date of construction
1955 ^{near} estimate _____ actual

source
1980-front

use
present residential
other _____
historic residential
other _____

condition
____ excellent X good
____ fair _____ deteriorating

degree of remodeling
____ minor X moderate ____ major

describe:
add'n to front

surroundings
X yes

relationship to surroundings
X similar ____ not similar

district potential
X yes ____ no

significance
____ significant ____ contributing

X supporting ____ intrusive

associated buildings? ____ yes
what type?

if inventoried, list ID nos.

see back? ____ yes


style Pueblo Revival	foundation material N/A
	wall material/surface stucco/block

architectural features
near bldg -
inset portal
extending vigas
parapet, lintels
metal casements w/ transoms
front - contemp sliding alum

comments
near house on 1965 update

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D		
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A 4. County: Santa Fe Parcel # 12180096
5. Property Type: <input checked="" type="checkbox"/> Buildings: Duplex <input checked="" type="checkbox"/> Structures: Wall <input type="checkbox"/> Site <input type="checkbox"/> Object		
6. Date of Survey: July 1, 2021		
7. Previous Survey Date(s): <input type="checkbox"/> Yes: <input type="checkbox"/> No:		
8. Name of Project: HDRB status review		
9. Lat/Long: 35.6769649,-105.9430452		
10. Photo Information: John W. Murphey, photographer. View of front, north elevation, facing southwest.		
11. Brief Description of the Property: Situated on the south side of West Berger Street are four apartments arranged in two duplexes constructed 30 years apart. In plan, the joined buildings form roughly an "L," with the older section situated at the rear of the lot. The lot slopes modestly north, with the east side of the lot surfaced with gravel and used for parking (Photo 1). Before 1983, the front was landscaped with lawn, divided into panels by a horseshoe driveway. <i>Continued on Page 5.</i>		
12. Who uses the property? Residence		
13. Construction Date: Unknown Date: 1950 and 1983. Santa Fe County Assessor date: <input checked="" type="checkbox"/> Known <input checked="" type="checkbox"/> Estimated Source: city directories and aerial photographs		
14. Setting: <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural <input type="checkbox"/> Village <input type="checkbox"/> Urban If Urban: <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Public		
15. Relationship to Surroundings: <input checked="" type="checkbox"/> Similar <input type="checkbox"/> Dissimilar Comments: N/A		

HCPI Base Form (FORM 1)

(Continued from other side)

16. Additional Perspective: (Photos, drawing, footprint, etc., indicate north arrow when possible)



17. Surveyor:
(your name, address, telephone number, and any group affiliation)

John W. Murphey
Architectural Historian
Architectural History Services
505-577-7593/707-583-7819
John@archhistoryservices.com

For: John B. and Mary A. Pound

18. Owner (if known) and other knowledgeable people:

Owner: John B. and Mary A. Pound



Source: Office of the Santa Fe County Assessor

19. Is Property Endangered? Unknown No Yes How?

20. Significance to Current Community: Unknown None Low Moderate High
Describe: Unknown

21. Other Significance or Information of Interest: (such as historical, legendary, structural, former ownership, etc.)
See Historical Overview.

22. National or State Register:

Is this property individually listed on a historic register? Unknown No Yes
If yes: State National
If 'no' or unknown, do you think this property is eligible for listing? No Yes
Why? See Evaluation of Historical Status.

23. National or State Historic District: City of Santa Fe

Is this property in a historic district? Unknown No Yes
If yes: Significant Contributing: House and Garage
 Non-contributing: House No Status: Per City of Santa Fe official designation map.

If 'yes', what is the name of the district? State National City of Santa Fe:
Don Gaspar Historic District

Recommended Noncontributing Structure status to Don Gaspar Historic District, 07/28/2021

24. Supplemental Forms:
 None HCPI Detail Form (FORM 2) Continuation Sheets, # pages: _____

16. Primary Architectural Style Not Applicable

- | | | | | |
|--|---|--|---|--|
| <input type="checkbox"/> Art Deco/Streamline Moderne | <input type="checkbox"/> Gothic Revival | <input type="checkbox"/> Mission Revival | <input type="checkbox"/> Pueblo | <input checked="" type="checkbox"/> Spanish-Pueblo Revival |
| <input type="checkbox"/> Bungalow/Craftsman | <input type="checkbox"/> International | <input type="checkbox"/> Neo-Classical | <input type="checkbox"/> Queen Anne | <input type="checkbox"/> Territorial |
| <input type="checkbox"/> Colonial Revival | <input type="checkbox"/> Italianate | <input type="checkbox"/> Northern NM | <input type="checkbox"/> Ranch | <input type="checkbox"/> Territorial Revival |
| <input type="checkbox"/> Folk Victorian | <input type="checkbox"/> Mediterranean | <input type="checkbox"/> Prairie | <input type="checkbox"/> Spanish-Colonial | <input type="checkbox"/> Tudor Revival |

Notes:

Other:

17. Documents Available and Their Locations

New Mexico Historic Preservation Division
407 Galisteo Street, Suite 236
Santa Fe, NM 87501
(505) 827-6320

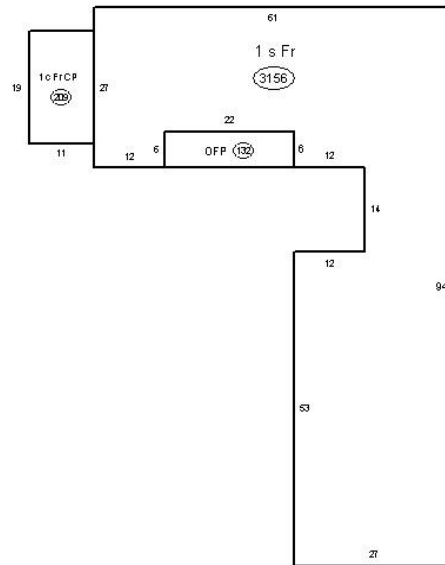
Historic Preservation Division
Land Use Department
City of Santa Fe
200 Lincoln Avenue
Santa Fe, NM 87504
(505) 955-6605

SITE:

18. Attached or Associated Properties

Are associated properties eligible for listing: N/A

19. Site Plan: No survey or plat available. Santa Fe County Assessor sketch map.



Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No.	District No.	NRHP	SRCP	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Architectural Description Continued

1980s Duplex

The portion closest to the street was constructed in 1983, and holds two apartments. Arranged on a north-south axis, its stucco-on-frame box is arranged in three steps (Photo 2). The apartments are entered on the north and south elevations through wood-panel doors. Facing the parking lot, the long east elevation is divided awkwardly into openings bringing light into the apartments' bedrooms and living rooms (Photo 2). The fenestration is functional, consisting of standard aluminum sliding windows. Similar though smaller units penetrate the west elevation (Photo 3). The rear apartment includes a courtyard. Here, a small volume holding a master bedroom attaches to the older duplex's garage. A sliding glass door opens onto the courtyard from the master bedroom (Photo 4).

Finished with cementitious stucco, and edged with rounded parapets, the building is nominally Pueblo Revival in design.

1950s Duplex

Forming the foot of the "L" is an older building constructed in 1950. The east-west oriented rectangle is set above grade and rests over a basement. Likely constructed of hollow clay structural tile, it is finished with two types of cementitious stucco. In design, it consists of two small blocks bracketing a recessed portal.

North (Front) Façade

The façade is distinguished only by its centered portal. The structure has parapet roof, ornamented with a line of short, wood vigas (Photo 5). Double posts, capped with a *zapato* corbel, stand at its center. Situated 25" above grade, the 132-square-foot space has a poured, colored concrete floor etched into squares.

The portal shows strict symmetry, reflecting its duplex design. Each unit has a steel combination window, topped with an integral transom (Photo 6). The windows on this elevation are covered with semi-permanent storm units, that in some instances work as the primary glazing. The apartments are entered at the sidewalls through stock raised

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

panel wood doors (Photo 7). These 15-panel units have a four-light center unit and are crowned with a rounded lintel.

The west side of the elevation holds a large combination window and attaches to the 1980s building (Photo 8). Historically this section included a one-car garage. Non-conforming corner casement window marks the east side (Photo 9). The lintels of these units have been covered with metal sheathing, painted brown. This treatment was likely done to prevent wood rot.

East

A carport made of plumbing pipe shades the east elevation (Photo 10). Based on its parts and wear, the 210-square-foot structure is probably original. The elevation is penetrated by the aforementioned corner window and a ½-glass-and-panel door approached by two concrete steps (Photo 11).

South

The rough, south elevation faces onto a narrow yard outlined by a low stuccoed wall (Photo 12). This side of the duplex shows its original textured stucco, which has failed in several areas. The elevation is cut with a line of small windows (Photos 12 & 13). These bring light to the bathrooms and kitchens of the apartments. The windows are standard “crank-out” steel casements with putty glazed panes. They are topped with painted flashing, presumably protecting a wood lintel behind it.

A set of stairs near the center of the elevation leads down to the basement. The west apartment has an opening with a wood door to the kitchen. A lower volume, once containing the garage, terminates the elevation (Photo 13). It has a single, faux plank door, topped with an exposed wood lintel. The elevation’s parapet is cut by four slots holding non-historic wood trough canals.

West

The west elevation is blank wall without openings (Photo 14).

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Walls and Landscaping

Except on the north, the property is enclosed by stuccoed CMU walls. With no available survey, it is unclear which property they are associated with. The walls inside the property are non-historic. Erected during the 1983 construction, they are 46' high, and create small courtyards at the north and south ends of the recent duplex (Photo 15).

Before the 1980s duplex, the front yard was divided into grass panels by a center axial path and U-shaped drive. Judging from aerial photographs, the grounds included mature street and interior shade trees. Aside from a fragment of the brick path at the front of the older unit, all landscape elements were removed with the new construction.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Historical Overview

Historic Context: South Side Suburbanization (1887-1932)

Buena Vista Addition

Following the railroad additions of the early 1880s, development in Santa Fe shifted to the southeast after the construction of the new capitol. While the capitol building would burn down in May 1892, its short presence stirred development.

In 1887, the Santa Fe New Mexican claimed that the fact that there were over \$800,000 in real estate transactions in the area “amply attests the home faith which exists in New Mexico’s capital city, while the unsolicited investment of more than \$100,000 of eastern capital sufficiently indicates the confidence which outsiders have in Santa Fe’s future.”¹ Eastern investors were mainly large stockholders in the Atchison, Topeka and Santa Railway, including George W. Morse, of New York, and William S. Houghton, of Boston. They would finance subdivisions in the South Capitol area, and Houghton’s name is still part of the landscape.

Born in 1816, in Boxboro, Massachusetts, William Stevens Houghton came from a prominent family and made his own fortune in the wholesale boot and shoe business.² Later, he invested in railroads, including the Santa Railway. He purchased land along the railroad corridor in Kansas and other locations. In Santa Fe, he acquired several lots that would be used to expand Fairview Cemetery.³

Buena Vista Addition

Throughout the 1880s, Houghton worked with local agents — principally attorney William M. Berger — to buy land in the Buena Vista Hill area which would form Buena Vista Addition. It would become one of the largest subdivisions in the new capitol neighborhood. Berger and fellow Boston investor Joseph L. Tyler jointly owned the addition.

¹ “Highland Addition Sale,” *Santa Fe Daily New Mexican*, October 22, 1887, 4

² New England Historical Society, *Memorial Biographies of the New England Historic Genealogical Society*, Volume IX (Boston 1908: The Society, 1908),171.

³ Corinne P. Sze, “Fairview Cemetery,” National Register of Historic Places nomination, 2004, Section 8, page 21.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Laid out by Philadelphia native William White, the Buena Vista Addition consisted of an urban rectilinear grid of narrow residential lots. These were arranged over the sloping topography as either square or rectangular blocks. In many ways the design resembled the Philadelphia’s urban grid.

The subject lot sits on these rectilinear blocks, which had a traditional pattern of 25x125 interior lots on the long sides, bookended by reverse corner lots on the short sides. The square blocks had only interior lots, with undevelopable strips at their center. At the west, the grid abruptly stopped when it met the curving line of the Acequia Madre lateral. This resulted in the oddly-shaped lots just west of the subject property, where Berger Street swings to the southwest.

William S. Houghton died in 1894. His interest in the Buena Vista Addition, along with his many other Santa Fe holdings, went to his son. The addition came up for auction several times subsequently. Like many boom-type subdivisions, it did not flourish, and most of its secondary streets were lined with vacant lots. At the time of a 1921 auction, all the lots on the south side of the 100 block of West Berger, except two, were undeveloped.

Finally, in 1926, Nathan Stern — heir to a New York jewelry fortune — bought Buena Vista Addition’s remaining lots as well as several other subdivisions in the area. Forming the Santa Fe Holding Company, Stern and fellow investors actively worked to sell off the remaining land, giving a young architect named John Meem his first work overseeing home designs.

Still, growth was sluggish. As an unrestricted subdivision, the Buena Vista Addition’s lots could be filled with any manner of building. This is evident on the 1930 Sanborn map, the first to cover the area. Lot 23, north of the subject property, contained only an automobile garage, sitting prominently at streetside (Figure 2). On the same map, the subject property, consisting of the Lots 5, 6, and 7, remained vacant. The lots were then under separate ownership, limiting their use for home construction.

The awkwardness of the lots in the Addition resulted in several small, narrow houses and a set of apartments to the north. The former Richard Apartments, consisting of two multi-unit adobe buildings facing a driveway, are one of the earliest apartment complexes in Santa Fe.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Riviera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A		
			4. County: Santa Fe		
			5. Date of Survey: July 1, 2021		

Casados-Rivera Ownership

As revealed on a 1948 Sanborn map, Lots 5, 6, and 7 remained undeveloped in the immediate postwar era (Figure 3). They were likely assembled by Don Casados, who built a house 123 West Berger in the late 1920s. Casados, the chairman of the State Corporation Commission, raised a small family in the home, including daughter Caroline. In 1946, Caroline married Gavino Rivera. Born in Santa Fe, Rivera served in the 200th Coast Artillery during World War, and was a survivor of the Bataan Death March. The couple originally lived with Caroline’s parents at 123 West Berger. It is assumed that Don Casados gave the subject property as a wedding present.

Rivera Duplex

City directories indicate that the original duplex was likely constructed in 1950. It is identified with the address 120 West Berger, representing the west unit of the rear block.

The east unit, 118, became available a few years later. It was first rented by John H. Bell, Jr., and his wife, Elizabeth. Bell, a University of California scientist attached to the Los Alamos Scientific Laboratory, worked on experiments to improve explosive handling equipment. The couple lived in 118 for only a short time.

A 1954 advertisement for the vacant unit described it as a one-bedroom, unfurnished apartment — with living room, bedroom, kitchen, and tiled bathroom with tub and shower.⁴ Lizzie Bitz, a North Dakota native, moved into the apartment after the Bells. A widow, Bitz worked as seamstress at Southwest Arts & Crafts, a wholesale curio manufacturer on West Palace Avenue.

Gavino and Caroline Rivera continued to live in 120 over the decades. Gavino was employed for many years by the United States Postal Service, working as a clerk at the downtown office. Active in veterans’ and civic volunteer groups, he was a member of La Union Protectiva, Veterans of Foreign Wars, American Ex-Prisoners of War, and the Santa Fe Elks Lodge. The couple had no children. Caroline died in 1977. Gavino remarried, and lived for another 28 years. He remained at the West Berger property until the late 1970s.

⁴ “Furnished Apartments,” *Santa Fe New Mexican*, July 16, 1954, 12.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

In the early 1980s, the property went under redevelopment. The architectural and planning firm Blaine Young-Jack Gaffney, designers of the Plaza Mercado mall, worked on a scheme to expand it into four apartments. Dubbed “Placita Don Gaspar” (a name that never stuck), the project built the basic frame unit at the front, giving the property two more apartments. In doing so, it sacrificed the landscaped front yard and created six parking spots.

The combined buildings, now recognized by Santa Fe County as 120 West Berger Street, continues to function as a small apartment complex.

Evaluation of Historical Status

The 1980s duplex altered the design, setting, feeling, and association of the older building and its landscape. The new duplex took over the lot, both in mass and visual presence. It attached directly to the older duplex, removing part of its original façade. From the public right-of-way, the 1950s building no longer communicates its historic design.

Conclusion

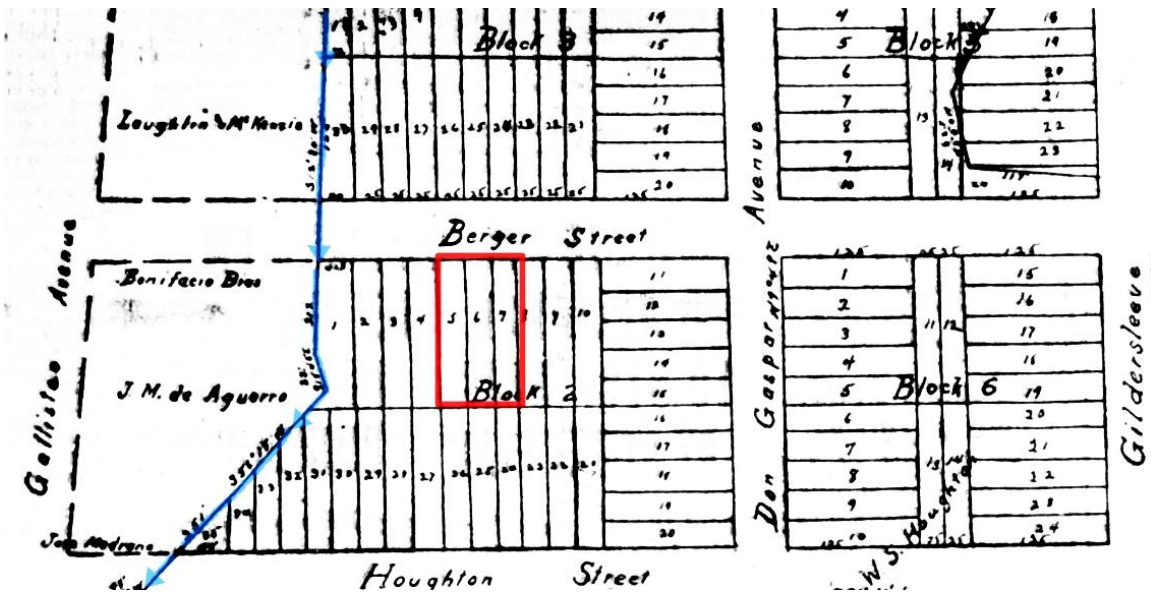
For these reasons, the recommendation is to maintain Noncontributing Structure status for the combined buildings.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria	A B C D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) Don Gaspar Historic District	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Illustrations



**Figure 1: Portion of "Plat of Buena Vista Addition to the City of Santa Fe."
Outline of subject property and acequia indicated.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) Don Gaspar Historic District	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

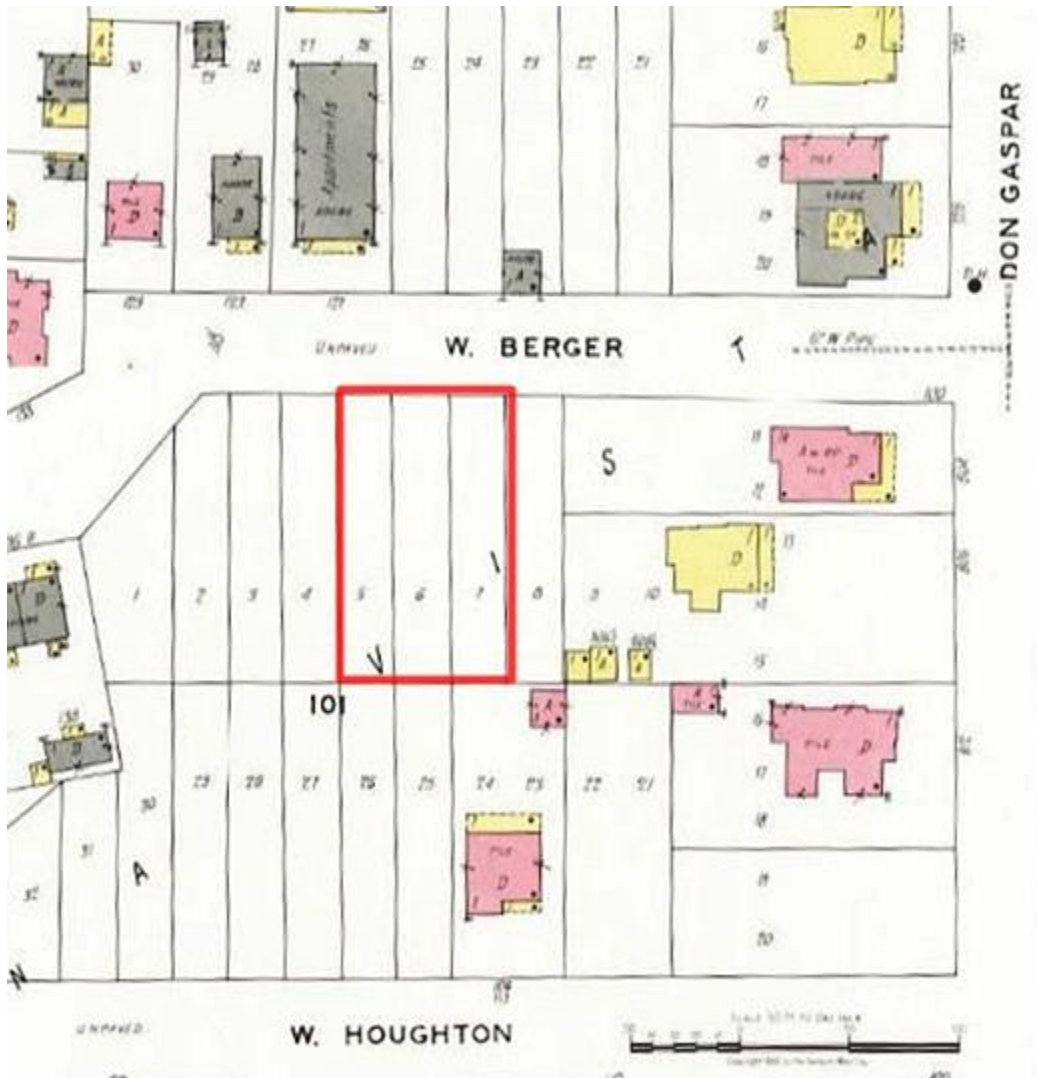


Figure 2: 1930 Sanborn Fire Insurance Map, Sheet 20.
Outline of subject property indicated.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2			
		NRHP	SRCP	Criteria A B C D	
1. Name of property:	2. Location:	3. Local Reference Number:			
Rivera Duplex	118-120 West Berger Street (120 West Berger Street: A-D) Don Gaspar Historic District	Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

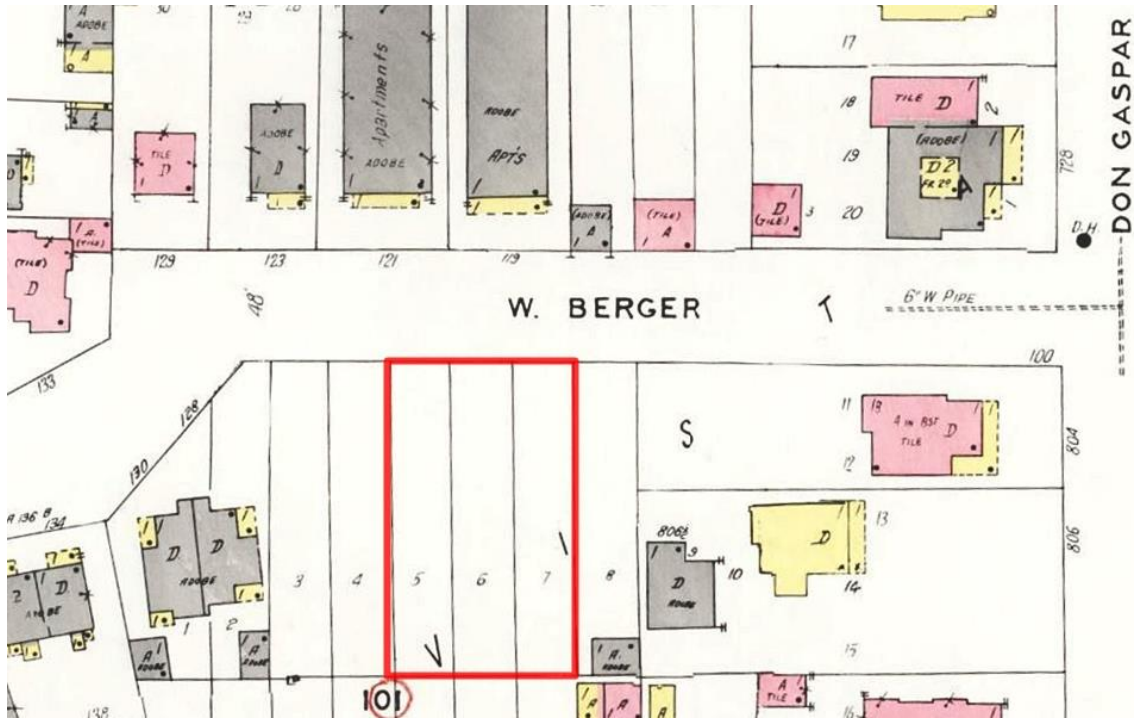


Figure 3: 1930/1948 Sanborn Fire Insurance Map, Sheet 20.
Note how subject property remains undeveloped
and how garages fill individual lots to the north.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	
		4. County: Santa Fe	
		5. Date of Survey: July 1, 2021	



Figure 4: November 10, 1958, aerial photograph.
Note current older duplex and development of formal landscaping.
Courtesy New Mexico Department of Transportation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	
		4. County: Santa Fe	
		5. Date of Survey: July 1, 2021	



Figure 5: May 11, 1973, aerial photograph.
Note maturing of formal landscape.
Courtesy New Mexico Department of Transportation.

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A		
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Figure 6: April 19, 1975, aerial photograph.
Note presence of single duplex.
Courtesy City of Santa Fe, GIS.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		Please complete HCPI FORM 1 before completing FORM 2			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria	A B C D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			

Survey Photographs

(All images taken by John W. Murphey on July 1, 2021, unless otherwise noted)



**Photo 1: Apartment complex from street centerline.
1980s duplex sits at front of lot.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 2: 1980s duplex, east elevation.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A		4. County: Santa Fe	
		5. Date of Survey: July 1, 2021			



**Photo 3: 1980s duplex, west elevation.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>		NRHP _____ SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe		
		5. Date of Survey: July 1, 2021			



**Photo 4: 1980s duplex, south elevation
Master bedroom at left.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 5: 1950s duplex, north elevation.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>							
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D						
1. Name of property: Rivera Duplex	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px; vertical-align: top;">2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i></td> <td style="padding: 5px; vertical-align: top;">3. Local Reference Number: Santa Fe ID #: N/A</td> </tr> <tr> <td colspan="2" style="padding: 5px; vertical-align: top;">4. County: Santa Fe</td> </tr> <tr> <td colspan="2" style="padding: 5px; vertical-align: top;">5. Date of Survey: July 1, 2021</td> </tr> </table>	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe		5. Date of Survey: July 1, 2021	
2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A						
4. County: Santa Fe							
5. Date of Survey: July 1, 2021							



**Photo 6: 1950s duplex, portal windows.
Camera facing south.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: <i>Please complete HCPI FORM 1 before completing FORM 2</i>						
HCPI No. _____	District No. _____ NRHP _____ SRCP _____ Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D					
1. Name of property: Rivera Duplex	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 5px; vertical-align: top;">2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i></td> <td style="padding: 5px; vertical-align: top;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID #: N/A</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: July 1, 2021</td> </tr> </table> </td> </tr> </table>	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID #: N/A</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: July 1, 2021</td> </tr> </table>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe	5. Date of Survey: July 1, 2021
2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 5px;">3. Local Reference Number: Santa Fe ID #: N/A</td> </tr> <tr> <td style="padding: 5px;">4. County: Santa Fe</td> </tr> <tr> <td style="padding: 5px;">5. Date of Survey: July 1, 2021</td> </tr> </table>	3. Local Reference Number: Santa Fe ID #: N/A	4. County: Santa Fe	5. Date of Survey: July 1, 2021		
3. Local Reference Number: Santa Fe ID #: N/A						
4. County: Santa Fe						
5. Date of Survey: July 1, 2021						



**Photo 7: 1950s duplex, entry door.
Camera facing west.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 8: 1950s duplex, west end (left) and attachment to master bedroom of 1980s duplex.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 9: 1950s duplex, east end.
Camera facing southwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 10: 1950s duplex, carport.
Camera facing south.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No.	District No.	NRHP	SRCP	Criteria	A B C D
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>		3. Local Reference Number: Santa Fe ID #: N/A		
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 11: 1950s duplex, east elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 12: 1950s duplex, south elevation.
Camera facing northwest.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
		NRHP _____	SRCP _____	Criteria A B C D	
1. Name of property:	2. Location:	3. Local Reference Number:			
Rivera Duplex	118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 13: 1950s duplex, south elevation.
Former garage at left.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only: HCPI No. _____ District No. _____		Please complete HCPI FORM 1 before completing FORM 2 NRHP _____ SRCP _____ Criteria A B C D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A	
		4. County: Santa Fe	
		5. Date of Survey: July 1, 2021	



**Photo 14: 1950sduplex, west elevation.
Camera facing northeast.**

Historic Cultural Properties Inventory (HCPI) Detail Form (FORM 2)

Historic Preservation Division, New Mexico Department of Cultural Affairs

For HPD Office use only:		<i>Please complete HCPI FORM 1 before completing FORM 2</i>			
HCPI No. _____	District No. _____	NRHP _____	SRCP _____	Criteria <u> </u> A <u> </u> B <u> </u> C <u> </u> D	
1. Name of property: Rivera Duplex	2. Location: 118-120 West Berger Street (120 West Berger Street: A-D) <i>Don Gaspar Historic District</i>	3. Local Reference Number: Santa Fe ID #: N/A			
		4. County: Santa Fe			
		5. Date of Survey: July 1, 2021			



**Photo 15: 1980s duplex, yard walls.
Camera facing southwest.**



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted: <u>7-28-2021</u>	<u>118 & 120 WEST BERGER</u>
Property Owner of Record: <u>JOHN & MARY ANN POUND</u>	Proposed Construction Description:
Applicant/Agent Name: <u>THOMAS E LECHNER</u>	<u>HISTORICAL STATUS</u>
Contact Person Phone Number: <u>(505) 660-9100</u>	TOTAL ROOF AREA: <u>3363 SQ FT.</u>
Zoning District: <u>R3 RMI</u>	Lot Coverage: <u>36 %</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____	Setbacks: Proposed Front: _____ Minimum: _____ 2 nd Front? _____ Proposed Rear: _____ Minimum: _____ Proposed Sides: L _____ R _____ Minimum: _____
Submittals Reviewed with PZR: <input type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed _____ Maximum Height: <u>16'-6"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed _____ Accessible _____ Minimum: _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ <small>** Commercial Requirement</small>
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	

* Requires an additional review conducted by Technical Review Division.
** Requires an additional review conducted by the Traffic Engineering Division.

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

THOMAS E LECHNER
PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

[Signature]
SIGNATURE

7-28-2021
DATE

To Be Completed By City Staff:

Additional Agency Review if Applicable:

Escarpment Approval by _____ Date: ___/___/___

Flood Plain Approval by _____ Date: ___/___/___

Traffic Engineering Approval by _____ Date: ___/___/___

Notes: _____

Zoning Approval:

Preliminary Approval with conditions Rejected

Comments/Conditions: _____

REVIEWER: _____ DATE: ___/___/___

Original color form must be submitted with Historic Districts Review Board (HDRB) application package. Revised March 2021

Thomas E. Lechner – Designer
24 Vista De Luna Dr.
Santa Fe, New Mexico
87508

July 28, 2021

Historical Design Review Board
City of Santa Fe

Reference:
118 & 120 West Berger St.
Status Request of Structures

Dear HDRB,

As representative of John and Mary Ann Pound, the owners of the above referenced property, I am requesting the City of Santa Fe for the Historical Status for this property.

Attached please find a report from John Murphey Architectural Historian.
Also attached please find drawings of the existing structures.

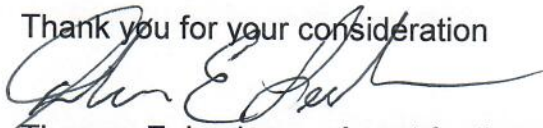
The existing structures were built in 1950 and in 1983.

The back building built in 1950 is addressed as a Duplex numbered as 118 and 120A West Berger St. The existing condition of this unrestored or remodeled building will need to be totally reconstructed to meet today's codes. The building was constructed from pen tile in the walls, wood frame roof and floor construction. All utilities, finishes, and insulation will need to be replaced and brought up to code and stable condition. The windows are steel frame single pane glass that were modified at a later date by the addition of aluminum storm windows screwed to the steel frame.

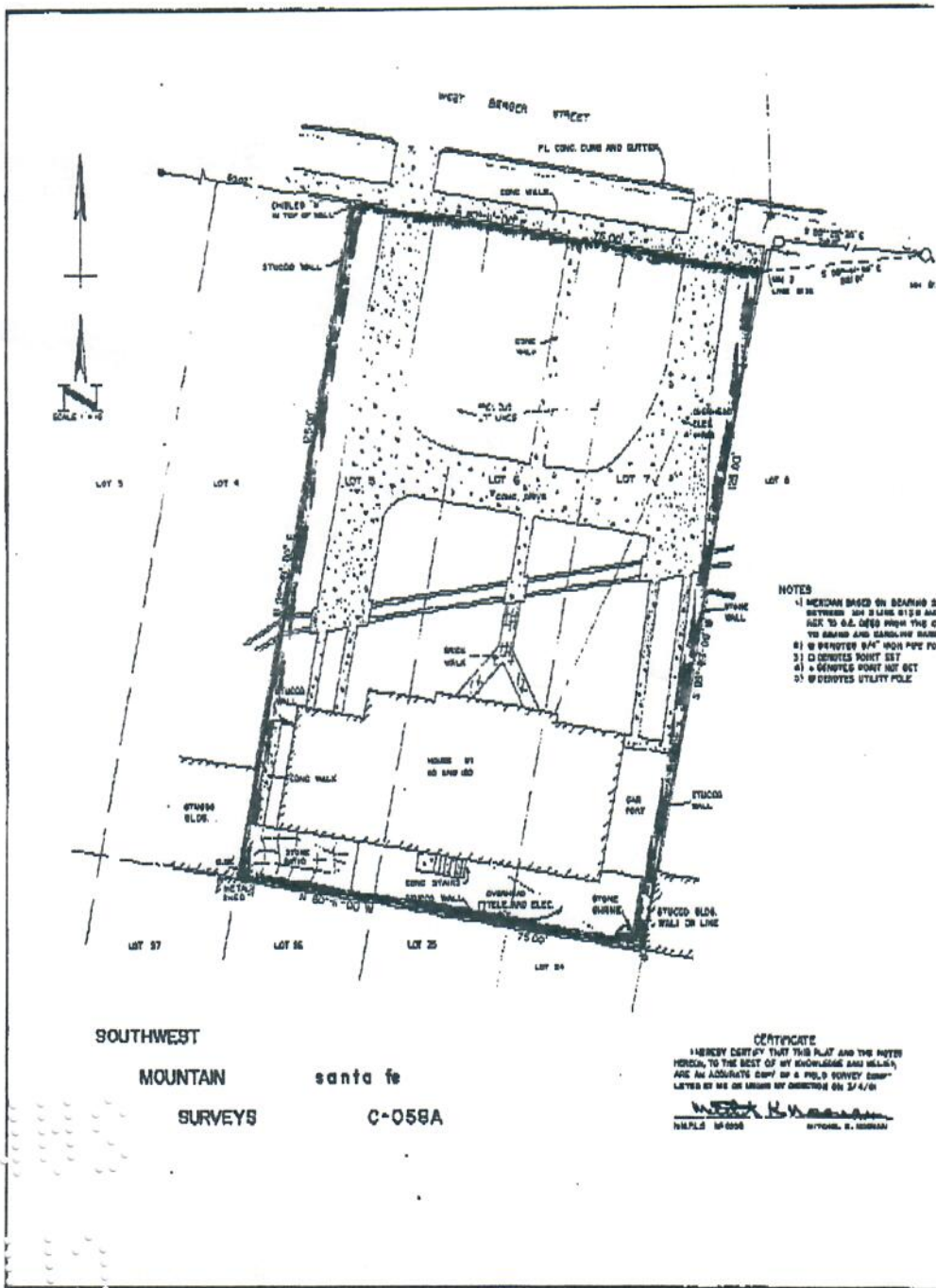
The front building was built and added onto the back building in 1983 and is addressed as 120B and 120C West Berger St. This building is built of frame stucco construction with aluminum windows. This building will need to be remodeled and refurbished to be brought up to current codes and energy conservation.

We agree with Mr. Murphey's assessment that it should be Noncontributing. It is in disrepair and has been altered.

Thank you for your consideration



Thomas E. Lechner – Agent for the owner

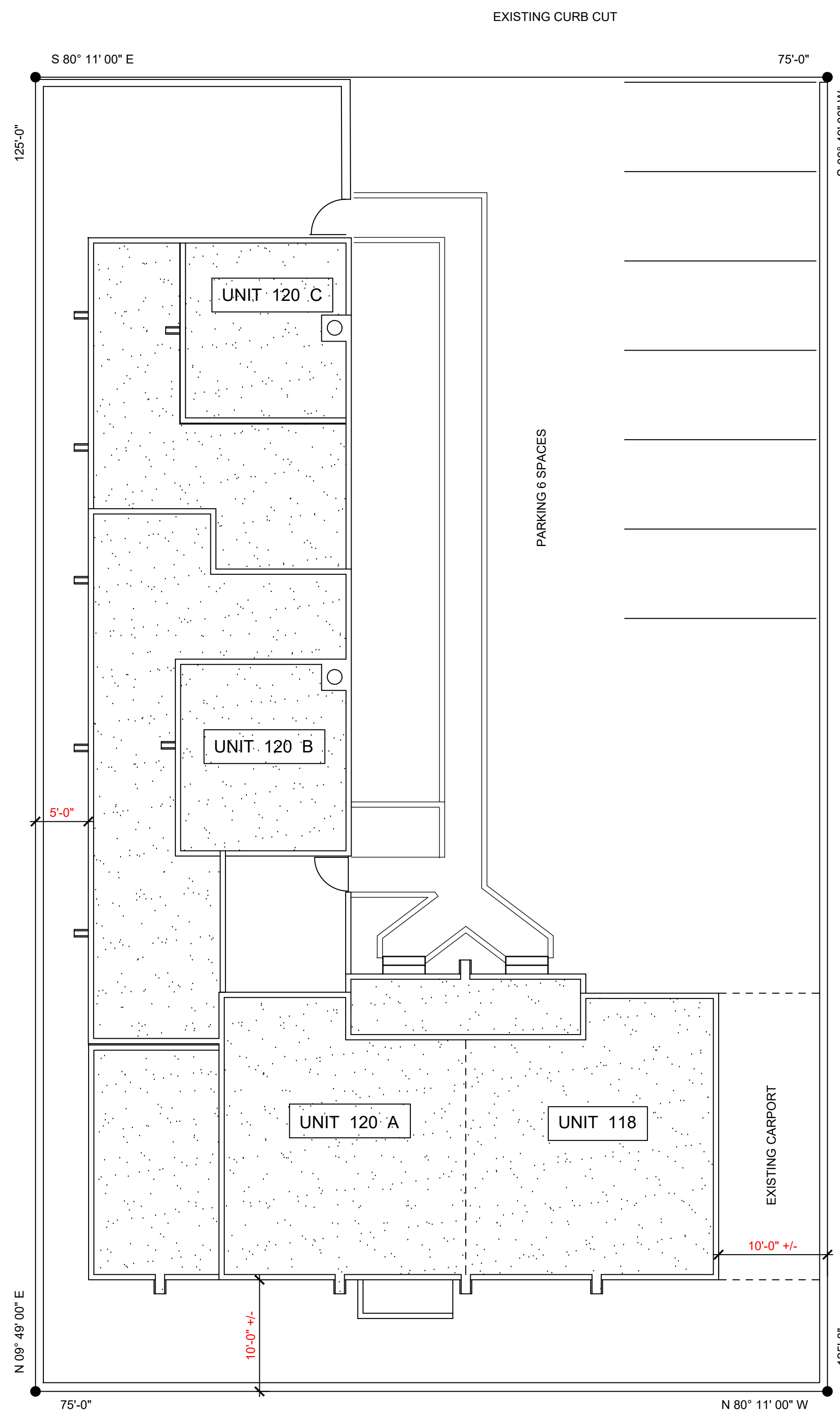


NOTES
 1) BEARING BASED ON BEARING 2 BETWEEN THE 2 LINES 5150 AND 5160 TO O.E. DEED FROM THE C TO BRIDGE AND SANDHOLE ROAD
 2) 0 DENOTES 0.0" IRON PIPE PO
 3) 1 DENOTES POINT SET
 4) 2 DENOTES POINT NOT SET
 5) 3 DENOTES UTILITY POLE

CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES HEREON, TO THE BEST OF MY KNOWLEDGE AND BELIEF, ARE AN ACCURATE COPY OF A FIELD SURVEY CONDUCTED BY ME OR UNDER MY DIRECTION ON 3/4/01
 W. J. H. [Signature]
 SURVEYOR, N. MEXICO

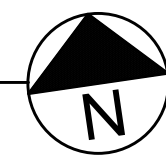
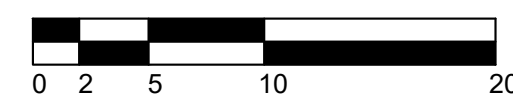
SOUTHWEST
 MOUNTAIN
 SURVEYS
 santa fe
 C-058A

WEST BERGER STREET

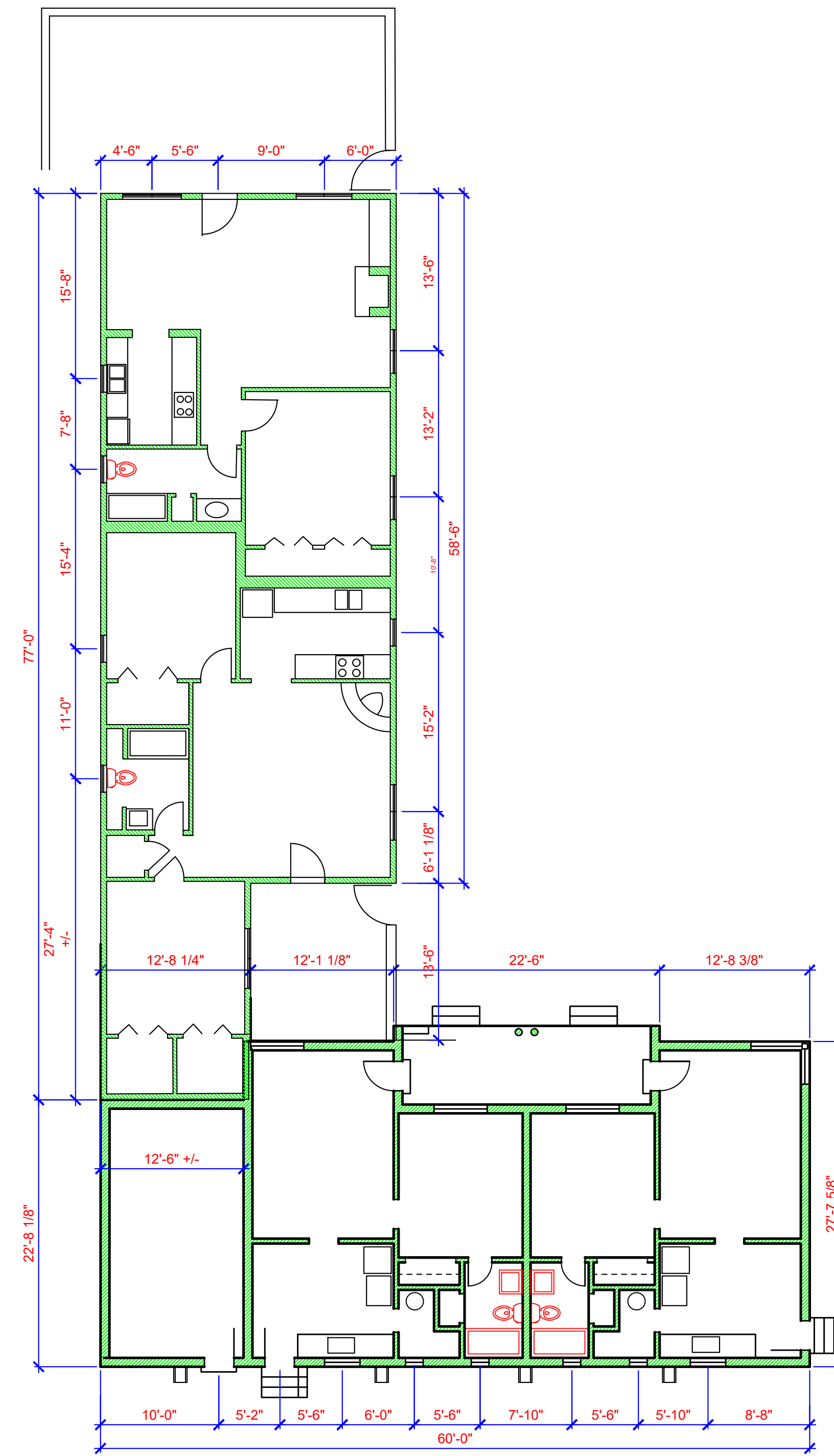


EXISTING SITE PLAN

SCALE 1/8" = 1' - 0"

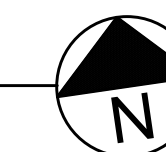
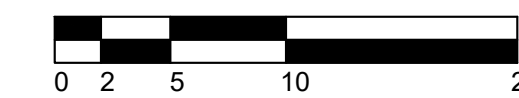


1702 SQ. FT. Duplex 120 B & 120 C
 1211 SQ. FT. Duplex 120 A & 118
 284 SQ. FT. Storage
 143 SQ. FT. Portal



EXISTING FLOOR PLAN

SCALE 1/8" = 1' - 0"



1702 SQ. FT. Duplex C & D
 1211 SQ. FT. Duplex A & B
 284 SQ. FT. Storage
 143 SQ. FT. Portal

THOMAS E. LECHNER - DESIGNER

24 VISTA DE LUNA DR.
 SANTA FE, NEW MEXICO 87508
 telechner24@gmail.com

JOB #

JOB NAME

DATE

DRAWN BY

BY

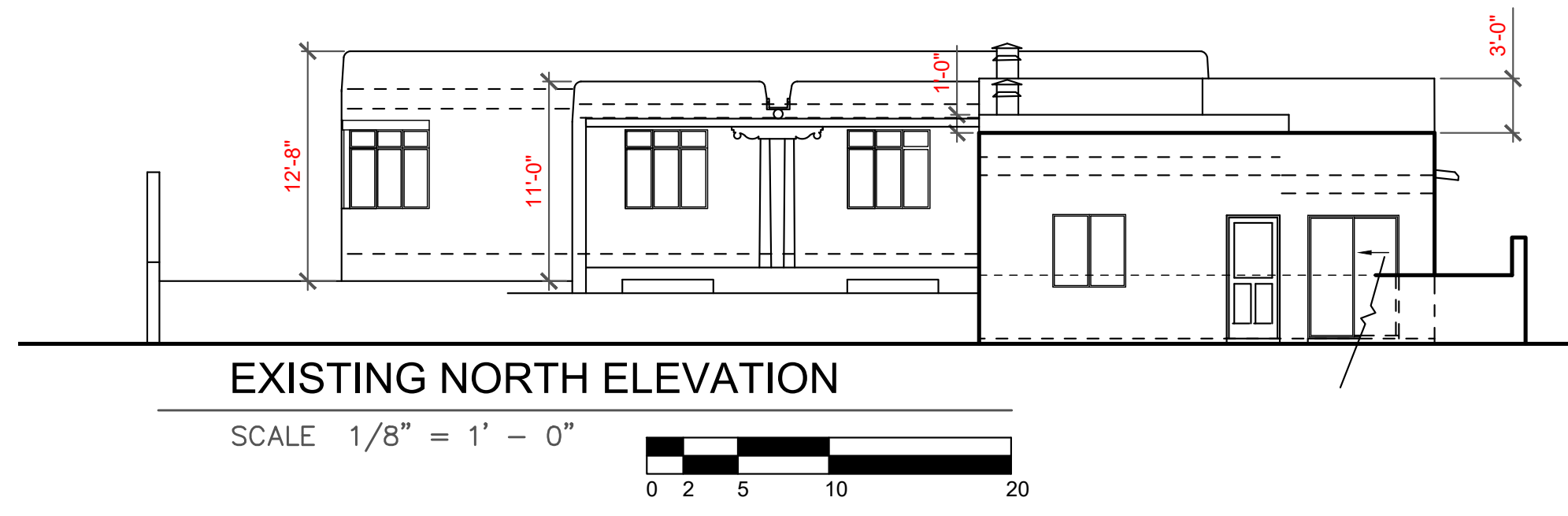
DATE

REVISION

Pound Property

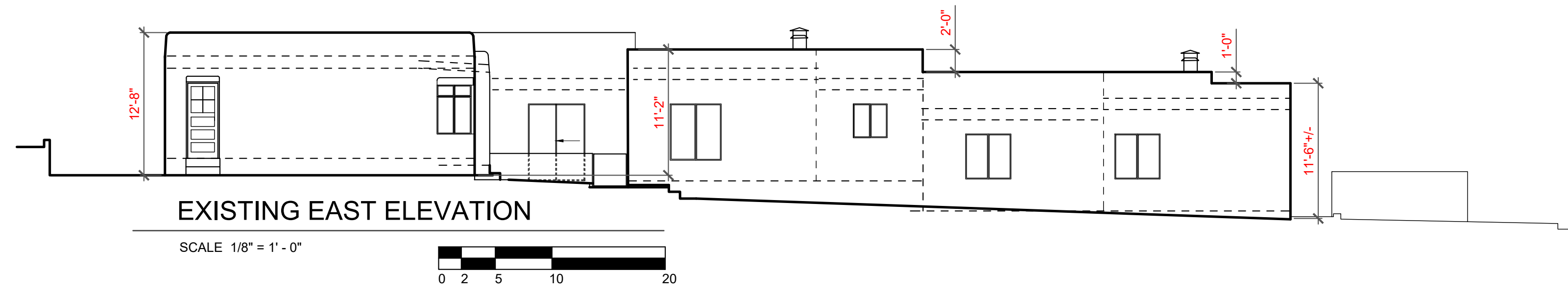
118 & 120 West Berger Street
 SANTA FE, NEW MEXICO

A1



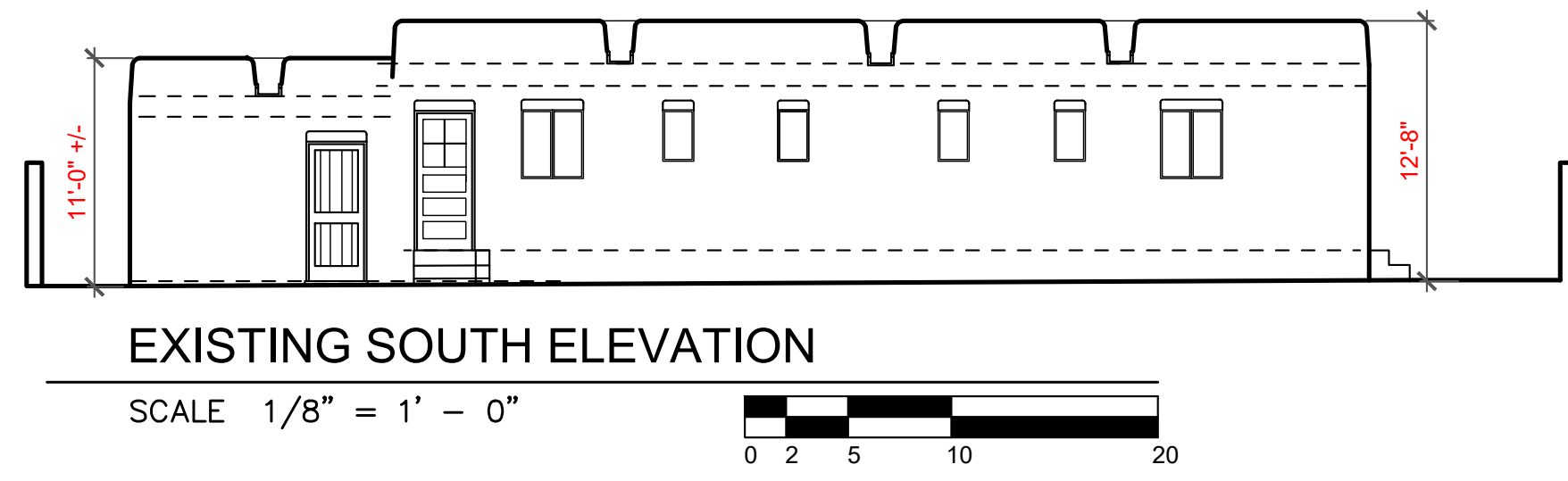
EXISTING NORTH ELEVATION

SCALE 1/8" = 1' - 0"



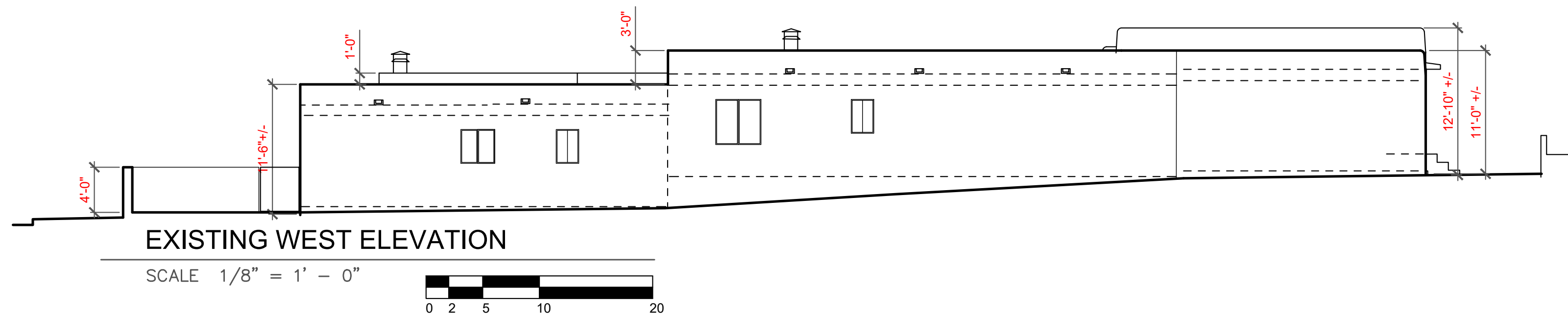
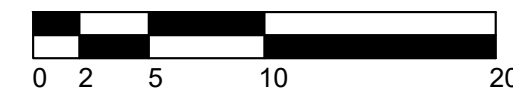
EXISTING EAST ELEVATION

SCALE 1/8" = 1' - 0"



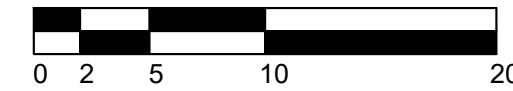
EXISTING SOUTH ELEVATION

SCALE 1/8" = 1' - 0"



EXISTING WEST ELEVATION

SCALE 1/8" = 1' - 0"



THOMAS E. LECHNER - DESIGNER

24 VISTA DE LUNA DR.
SANTA FE, NEW MEXICO 87508
telechner24@gmail.com

JOB #

Pound Property
118 & 120 West Berger Street
SANTA FE, NEW MEXICO

JOB NAME

DATE

DRAWN BY

BY

DATE

REVISIONS

A2



City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004178--HDRB

Project Description:

Project Location(s): 213 DELGADO ST
Santa Fe, NM 87501

Contacts:

Applicant: Trey Jordan
213 Delgado

trey@treyjordan.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: Yes

Publicly Visible Facade-South: No

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: New Construction

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Schackel Bordegaray, Senior Planner,
Historic Preservation Division

Case # 2020-004178-HDRB

Address: 213 Delgado Street
Historic Status: Non-Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

- District Standards & yard wall
& fence
- Historic Inventory Form
- Zoning Review Sheet
- Other:

APPLICANT SUBMITTALS

- Proposal Letter
- Site Plan/Floor Plan
- Elevations
- Photographs
- Other:

STAFF RECOMMENDATION:

Staff recommends approval of the proposed project and finds that the application complies with Section 14-5.2(D) General Design Standards for all Historic Districts, and 14-5.2(E) Downtown and Eastside Design Standards.

BACKGROUND & SUMMARY:

213 Delgado is a vacant lot located at the east end of a lane off Delgado Street.

The applicant proposes to construct a 2,530 sf residence with a detached 280 sf office. The house's design is Recent Santa Fe Style and incorporates elements of Spanish-Pueblo Revival Style through its massing, materials, colors, and wall-dominated facades. It will be built of adobe.

Maximum allowable height is 13'- 10"; the proposed building height will be 13' – 6". The building is predominantly finished in stucco with some painted steel and wood detailing. Doors and windows will be aluminum-clad and have a "Dark Brown" powder-coated finish. South and east elevation windows will have divided lites. The north and east facades are not publicly visible. Windows closer than 3' of a corner are not publicly visible. Canales will be stained "Blackjack." The new buildings will have minimal public visibility.

Stucco will be El Rey "Buckskin". No new yard walls are proposed.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

<p>To Be Completed By Applicant:</p> <p>Date Submitted: <u>16 AUG 21</u></p> <p>Property Owner of Record: <u>NINA ZINGALE & JERRY MEYER</u></p> <p>Applicant/Agent Name: <u>TREY JORDAN</u></p> <p>Contact Person Phone Number: <u>(505) 670-9403</u></p> <p>Zoning District: <u>RC8 AC</u></p> <p>Overlay: <input type="checkbox"/> Escarpment <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>HISTORIC</u></p> <p>Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations</p> <p>Supplemental Zoning Submittals Required for Building Permit: <input checked="" type="checkbox"/> Zero Lot Line Affidavit</p> <p>Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required</p> <p>Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____</p> <p>Terrain: <input type="checkbox"/> 30% slopes _____</p> <p><small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.</small></p>	<p>Site Address: <u>213 DELGADO ST.</u></p> <p>Proposed Construction Description: <u>NEW SINGLE-FAMILY RESIDENCE</u></p> <p>TOTAL ROOF AREA: _____</p> <p>Lot Coverage: <u>50</u> % <input checked="" type="checkbox"/> Open Space Required: _____</p> <p>Setbacks: Proposed Front: <u>10'</u> Minimum: <u>10'</u> 2nd Front? _____ Proposed Rear: <u>5'</u> Minimum: <u>5'</u> Proposed Sides: L <u>0'</u> R <u>5'</u> Minimum: <u>5'</u></p> <p>Height: Proposed <u>13'-6"</u> Maximum Height: <u>13'-10"</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District</p> <p>Parking Spaces: Proposed <u>2</u> Accessible _____ Minimum: <u>2</u></p> <p>Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement</p>
---	--

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

TREY JORDAN [OWNER APPLICANT AGENT]
PRINT NAME

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

AUG 28, 2021
DATE

<p>To Be Completed By City Staff:</p> <p>Additional Agency Review if Applicable:</p> <p><input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___</p> <p><input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___</p> <p>Notes: _____</p> <p>Zoning Approval: <input type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected</p> <p>Comments/Conditions: _____</p> <p>REVIEWER: _____ DATE: ___/___/___</p> <p>Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.</p>	<p>APPROVED PER LEE LOGSTON (VIA EMAIL)</p>
--	--



TREY JORDAN ARCHITECTURE

227 EAST PALACE AVE. SANTA FE NM 87501
TEL (505) 983-5624 FAX (505) 982-3280

31 August 2021

Historic Preservation Division, City of Santa Fe
Lincoln Avenue
Santa Fe, NM 87501

Re: Proposed new residence at 213 Delgado Street

Dear Staff and Board Members,

The proposed project is located on a vacant lot just off Delgado Street (in the Downtown-Eastside district) and includes a new 2530 sq ft residence with a detached 280 sq ft office. The proposed design complies with the standards listed under "Recent Santa Fe Style" and incorporates elements of Pueblo Revival style through massing, materials, colors, and wall-dominated facades.

The new residence, at the end of a private lane and mostly sited behind other houses, will have little or no public visibility. The allowable height calculation for this property is 13'-10". The proposed design has a maximum parapet height of approximately 13'-6". The building is predominately finished in cementitious stucco with some painted steel and wood detailing. The stucco color is to be El Rey "Buckskin". Canales will be stained "Blackjack". Doors and windows will be "Dark Bronze" colored metal cladding. (Please see exterior finish samples provided.)

Please feel free to contact me at the number below if I can answer any questions or provide additional information regarding this submittal. Thanks for your help in this matter.

Sincerely,

Trey Jordan
Trey Jordan Architecture
(505) 670-9403

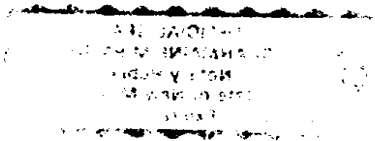
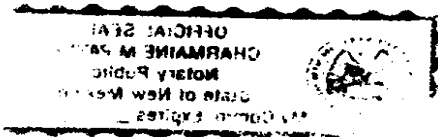


COUNTY OF SANTA FE)
STATE OF NEW MEXICO) ss

AFFIDAVIT
PAGES: 2

I Hereby Certify That This Instrument Was Filed for
Record On The 7TH Day Of September, 2017 at 12:45:33 PM
And Was Duly Recorded as Instrument # 1835611
Of The Records Of Santa Fe County

Witness My Hand And Seal Of Office
Geraldine Salazar
Deputy *[Signature]* County Clerk, Santa Fe, NM





City of Santa Fe
Land Use Department
Building Setback Affidavit

Form J

I/We, the undersigned Owner/s of the property located at 213 Delgado in the City of Santa Fe (City), New Mexico (Adjoining Property) understand that this Building Setback Affidavit is made to ensure compliance with the building setback and building separation requirements of City Code Article 14-7.1, Dimensional Standards and Measurements, and City Code Article 7-1, Building Code, General Provisions (SFCC 1987), and may result in increased setbacks for future construction on the property of the owner granting such permission.

I/We specifically consent to the construction of the proposed building on the Applicant's Property at 213 1/2 Delgado to be located zero (0) feet from our shared property line, as shown on the attached site plan, and understand that as a result any building constructed on my/our property must be set back at least ten (10) feet from that property line in order to meet the combined setback requirement of ten (10) feet and in order to create a non-buildable minimum fire separation distance of at least six (6) feet.

This Building Setback Affidavit will be binding on my/our heirs, successors and assigns, and may not be modified except in accordance with applicable City requirements.

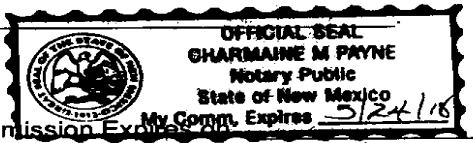
Adjoining Property Address: 213 Delgado
Applicant's Property Address: 213 1/2 Delgado

ADJOINING PROPERTY OWNER/S:

Print Name/s: Nextwave Ventures
Telephone: 505-577-5012
Signature/s: [Signature]

SUBSCRIBED AND SWORN to before me this 7th day of Sept, 2017 by

Nextwave Ventures and [Signature]
Notary Public



Print Name: Charmaine M. Payne My Commission Expires: 5/24/18

APPLICANT/S PROPERTY OWNER/S:

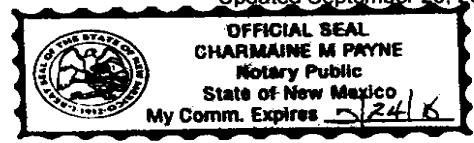
Print Name/s: Nextwave Ventures
Telephone:
Signature/s: [Signature]

SUBSCRIBED AND SWORN to before me this 7th day of Sept, 2017 by

Nextwave Ventures and [Signature]
Notary Public

Print Name: Charmaine M. Payne My Commission Expires on: 5/24/18

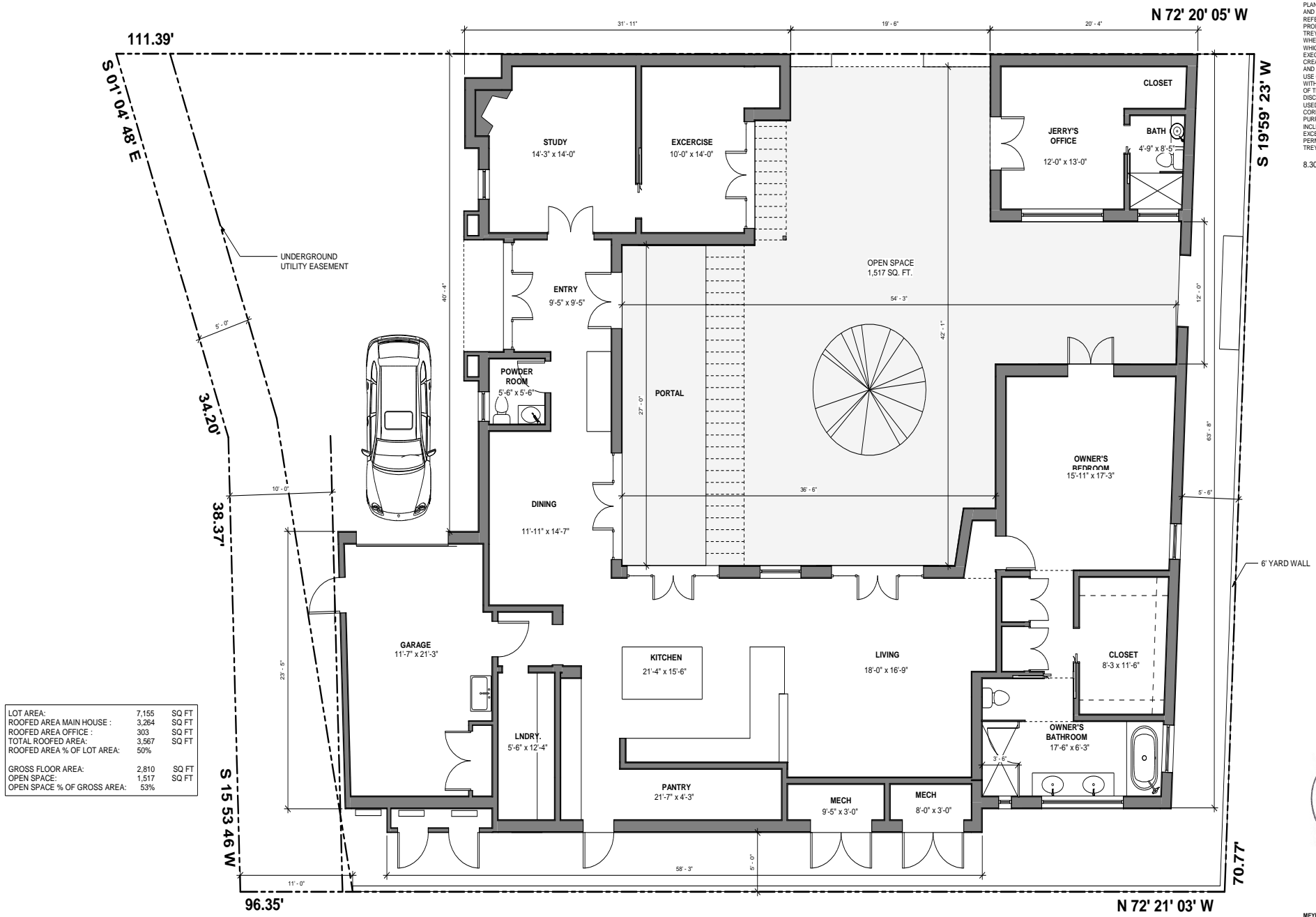
Updated September 20, 2010



RECORDED 09/07/2017

ALL DRAWINGS, SPECIFICATIONS, PLANS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY TREY JORDAN ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT, EXCEPT UPON WRITTEN PERMISSION AND DIRECTION OF TREY JORDAN ARCHITECTURE.

8.30.21



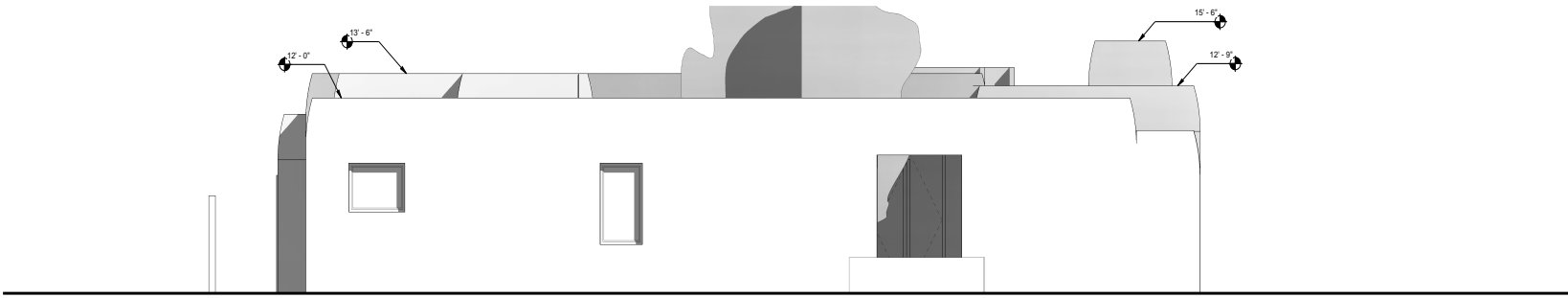
LOT AREA:	7,155	SQ FT
ROOFED AREA MAIN HOUSE :	3,264	SQ FT
ROOFED AREA OFFICE :	303	SQ FT
TOTAL ROOFED AREA:	3,567	SQ FT
ROOFED AREA % OF LOT AREA:	50%	
GROSS FLOOR AREA:	2,810	SQ FT
OPEN SPACE:	1,517	SQ FT
OPEN SPACE % OF GROSS AREA:	53%	

1 FLOOR PLAN
1/4" = 1'-0"

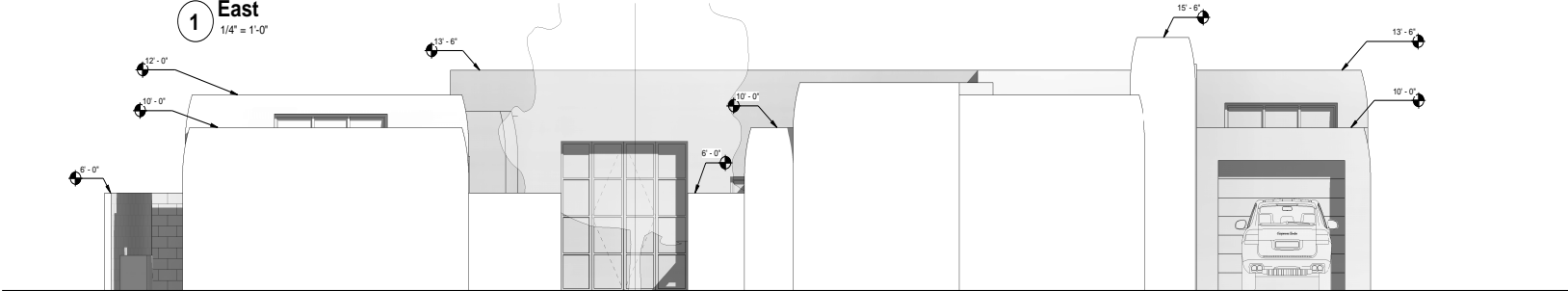


ALL DRAWINGS, SPECIFICATIONS, PLANS, IDEAS, ARRANGEMENTS AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY TREY JORDAN ARCHITECTURE WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY USE OR PURPOSE WHATSOEVER INCLUDING ANY OTHER PROJECT, EXCEPT UPON WRITTEN PERMISSION AND DIRECTION OF TREY JORDAN ARCHITECTURE.

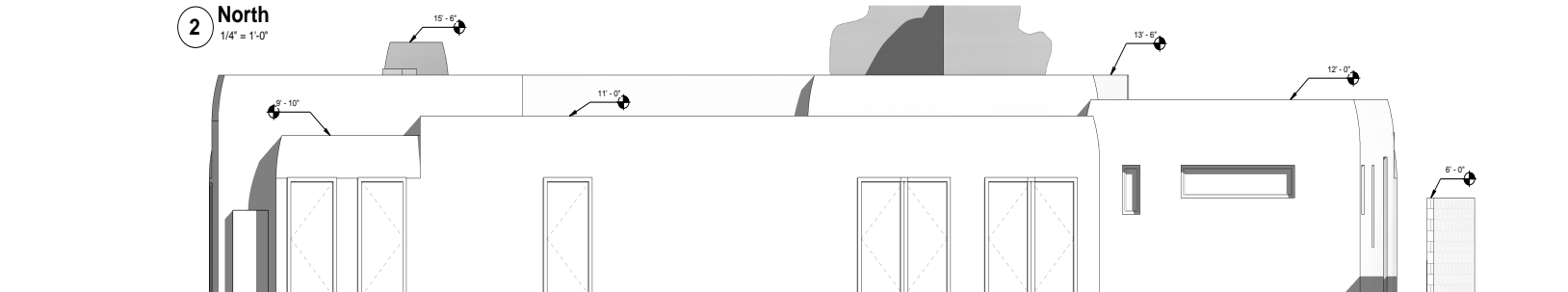
8.30.21



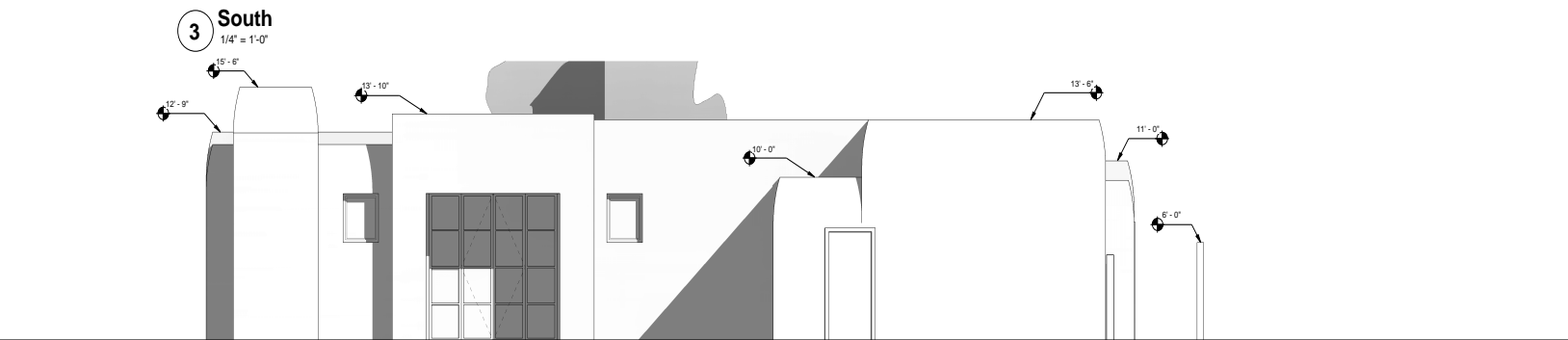
1 East
1/4" = 1'-0"



2 North
1/4" = 1'-0"



3 South
1/4" = 1'-0"



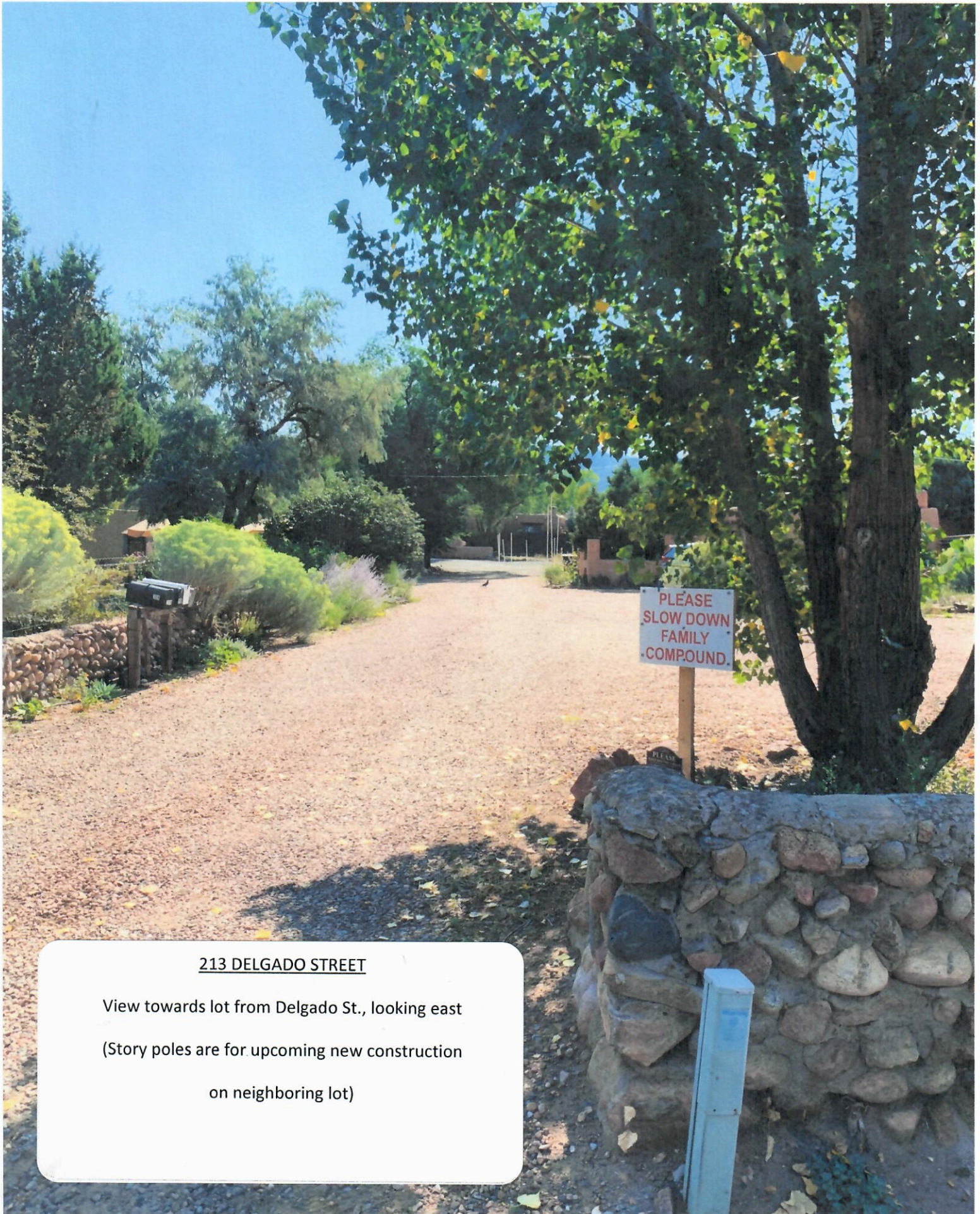
4 West
1/4" = 1'-0"





NOTICE
CROSS-CUTION

PLEASE
SLOW DOWN
FAMILY
COMPOUND.



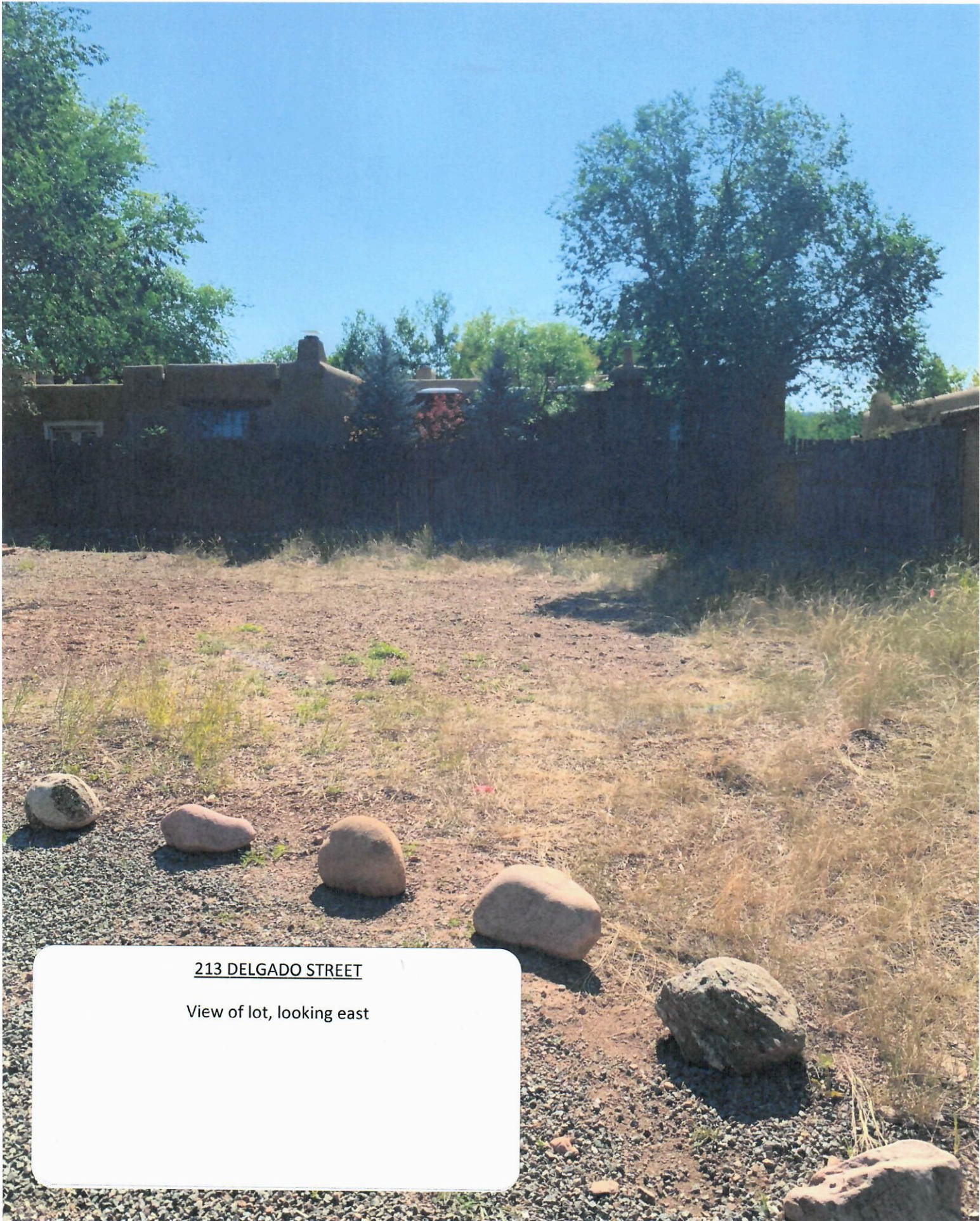
213 DELGADO STREET

View towards lot from Delgado St., looking east
(Story poles are for upcoming new construction
on neighboring lot)



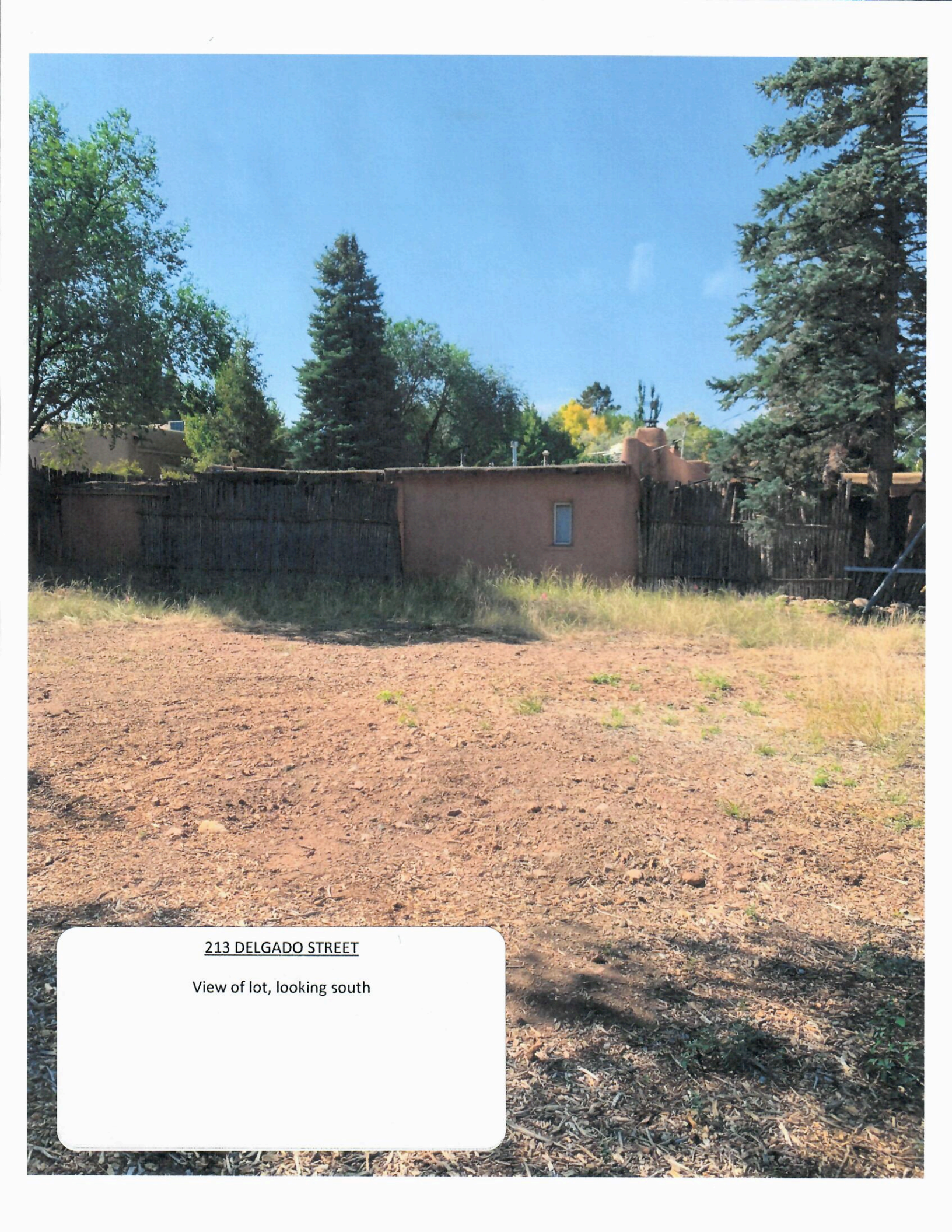
213 DELGADO STREET

View of lot and property at 211, looking east
(Story poles are for upcoming new construction
on neighboring lot)



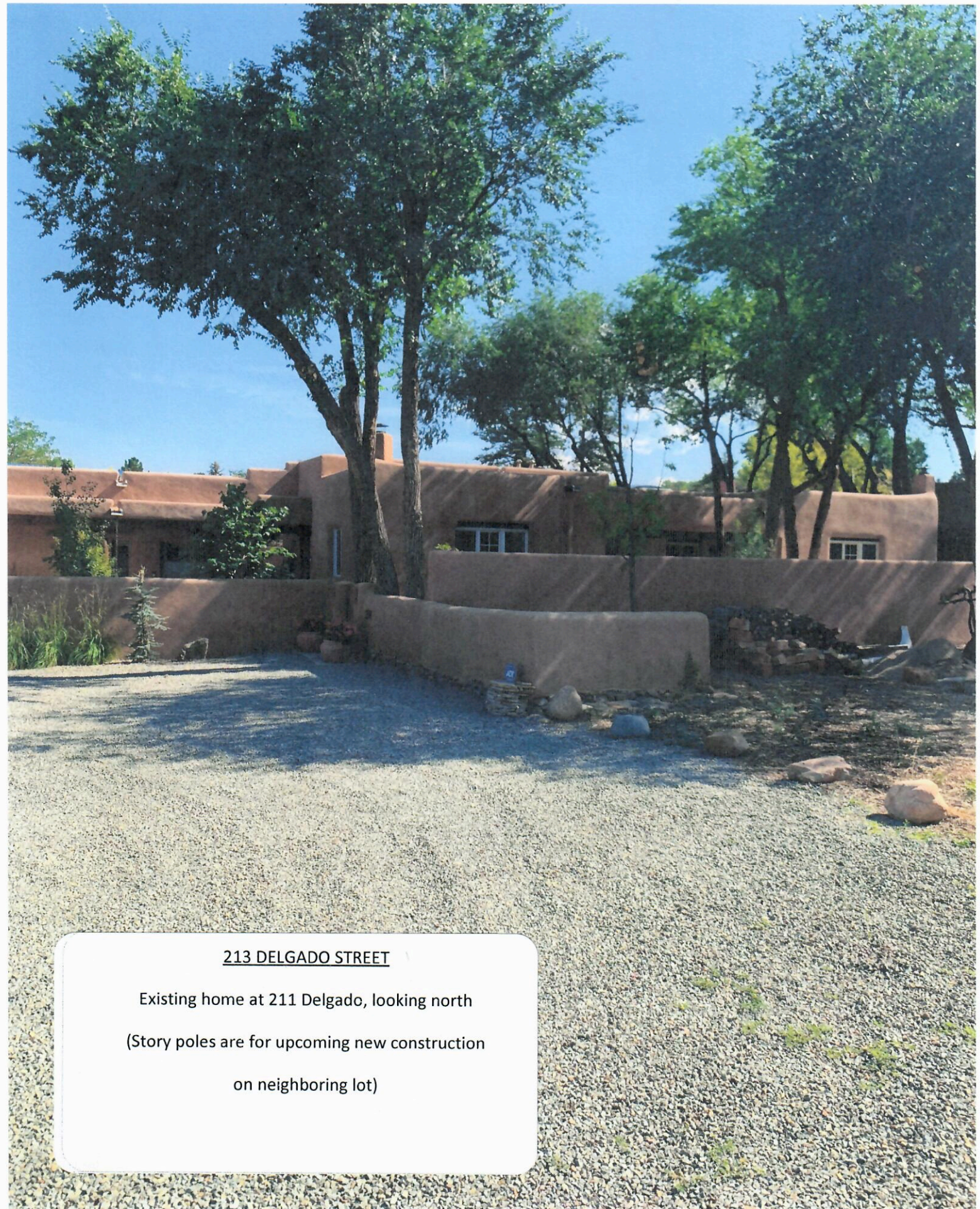
213 DELGADO STREET

View of lot, looking east

A photograph showing a dirt lot in the foreground, a wooden fence, and a tan building with a window in the background. The sky is clear blue, and there are trees on either side. The ground is reddish-brown dirt with some sparse grass and weeds.

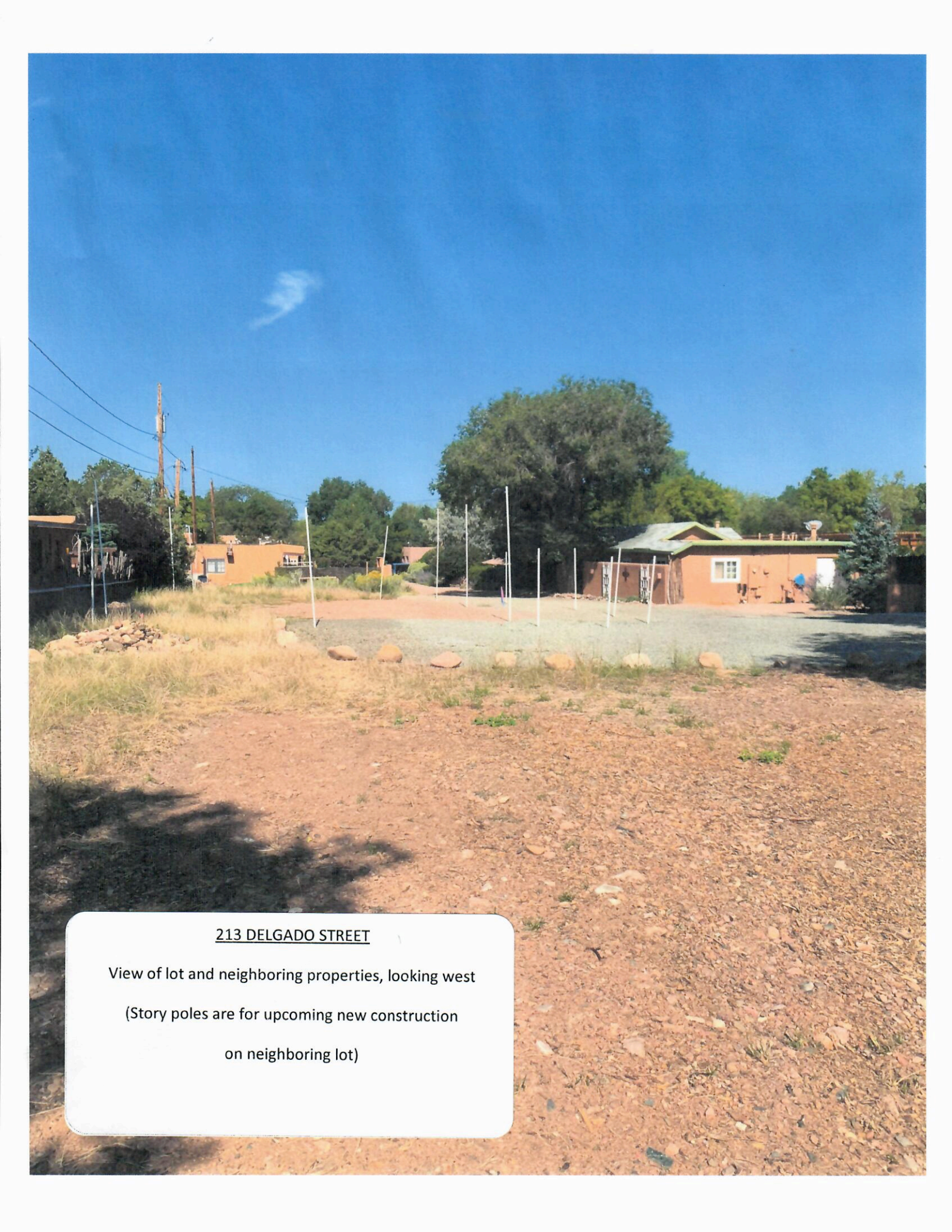
213 DELGADO STREET

View of lot, looking south



213 DELGADO STREET

Existing home at 211 Delgado, looking north
(Story poles are for upcoming new construction
on neighboring lot)



213 DELGADO STREET

View of lot and neighboring properties, looking west

(Story poles are for upcoming new construction
on neighboring lot)







213 DELGADO STREET

Stucco: "Buckskin" (El Rey #106)



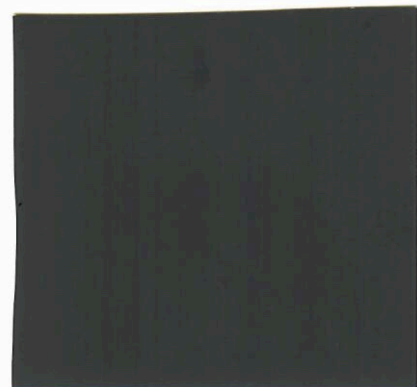
213 DELGADO STREET

Doors/windows: "Dark Bronze" powder coated finish



213 DELGADO STREET

Canale stain: "Blackjack" (DE 6371)





City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004175--HDRB

Project Description:

Project Location(s): 641 W SAN FRANCISCO ST 1
Santa Fe, NM 87501

Contacts:

Applicant: Kenneth Dimon
641 W San Francisco ST 1
Santa Fe, NM 87501

Historic District: HD: Westside-Guadalupe

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: False Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: No

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021-004175 -HDRB

Address: 641 #1 West San Francisco
Historic Status: Non-Contributing
Historic District: Westside-Guadalupe

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
 Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff recommends approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Westside-Guadalupe Historic District per Section 14-5.2(I).

BACKGROUND & SUMMARY:

461 #1 West San Francisco is a 3,500 sf building non-contributing to the Westside-Guadalupe Historic District. It is a simple vernacular Spanish-Pueblo Revival style with a shed roof and territorial pediments painted white. Its shed roof slopes east to west. Its windows are double 3-over-4 divided lite painted white territorial pediments.

The applicant proposes to add a 182 sf freestanding portal at its entry on the west elevation. The portal's shed roof will match the existing house's pitch, 2' height change over 12" span. The proposed portal has post and beam construction and will be painted to match the white trim of the house. It will have four vertical posts, and roof decking will be tongue and groove. The portal roof and gutters will be galvanized steel dulled to match surrounding homes. The portal's height is 11', lower than the house's highest point at 13'.

I Kenneth W Dimon am proposing building a free-standing portal on the front of my house at 641 W San Francisco St #1.

Free standing Portal 14'x 13' (182 sq `) with 4-8"x 8" vertical support posts, 2 at 8' & 2 at 9'6" to cover existing outdoor paver patio in front of house, the horizontal support beams between vertical posts will be 2-8"x 8"x 14' and the rafters will be 7-6"x 4" x 13' the roof decking will be 3/4"x6" tounge and groove. The portal will be painted white to match the existing trim on the house. All framing material will be clear spruce.

The new roof pitch will match the existing house's roof pitch 12/2. The roof will be galvanized steel dulled to match surrounding homes. The gutter will also be galvanized steel dulled to match existing gutters on house.

From: [ken dimon](#)
To: [BORDEGARAY, ANGELA S.](#)
Subject: Fwd: New detached portal
Date: Friday, August 27, 2021 1:48:12 PM
Attachments: [KEN DIMON PORTAL1.pdf](#)
[Preliminary Meeting Application Form.doc](#)
[KEN DIMON PORTAL 8 27 21.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Angela

It was nice to meet you today and I love your ride!!!
Please find attached revised plans & pictures. I am currently working on application and will send along in a separate email.
Please let me know if there is any further information you need.

Be Well
Ken

Begin forwarded message:

From: ken dimon <dimonk12@gmail.com>
Subject: Re: New detached portal
Date: August 5, 2021 at 2:33:41 PM MDT
To: mgsargent@santafenm.gov

Marisa

I neglected to attach photos of proposed portal location. I have included them here.
Thank you in advance for your review.

Be Well
Ken

On Aug 1, 2021, at 9:05 PM, ken dimon <dimonk12@gmail.com> wrote:

Marisa

Please find attached my preliminary meeting application and site plans for your review.
Please feel free to contact me at any time with questions or concerns with my application.

Be Well
Ken

Kenneth W Dimon

641 W San Francisco St #1, Santa Fe, NM 87501
315-247-0772
dimonk12@gmail.com







VICINITY MAP
641 W. SAN FRANCISCO
SANTA FE, NEW MEXICO 87501

A NEW PORTAL FOR
KEN AND MARITA DIMON
641 W. SAN FRANCISCO
SANTA FE, NEW MEXICO 87501

GENERAL NOTES

- PERMITS:
1. OWNER CONTRACTOR RESPONSIBLE FOR ALL STATE AND LOCAL PERMITS
2. ALL MATERIALS SHALL BE NEW AND AS SPECIFIED
3. NEW MEXICO 2015 RESIDENCE BUILDING CODE
4. ALL WORK MUST COMPLY WITH THE NMC TITLE 14 CHAPTER 7 PART 3.

- SCOPE OF WORK:
1. ADDITIONS - NEW 152 SQ. FT. DETACHED COVERED PORTAL OVER ENTRY DOOR. PORTAL TO HAVE FOUR 6x8 WOOD POSTS PAINTED WHITE COLOR TO MATCH RESIDENCE SET ON BRICK OR STONE DRYPACK. ALL NEW CONSTRUCTION TO BE OVER EXISTING INTERIOR FLAGSTONE SURFACE.
2. ALL NEW EXPOSED WOOD TO BE PAINTED WHITE COLOR TO MATCH EXISTING RESIDENCE FACIA AND TRIM.

- LOADS:
WIND LOADS TO MPH. SNOW LOAD 25 #/SQ.FT. TOTAL LOAD 45 #/SQ.FT.
FOOTING DEPTH 24" BELOW FINISHED GRADE MINIMUM.

- OPTIONS AND MODIFICATIONS:
THIS SET OF DRAWINGS HAVE BEEN DEVELOPED FOR NEW MEXICO STATE BUILDING CODES.
ANY MODIFICATIONS AND CHANGES SHOULD BE REVIEWED BY THE OWNER.
DIRECT NEW ROOFED AREA RUNOFF TO PLANTER AND LANDSCAPED AREAS.
ALTERNATE: ROOF RUNOFF CAN BE COLLECTED IF RUNOFF IS DIRECTED TO 300 GALLON CISTERN.

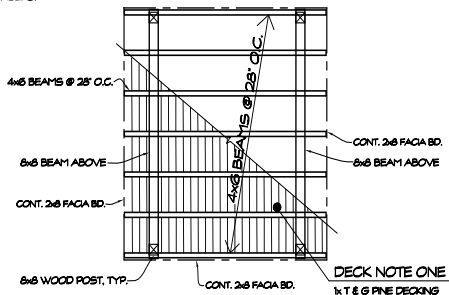
- SITE:
CONSTRUCTION SHALL BE DEFINED IN DISTURBED AREA LOCATION. THIS AREA IS TO BE MARKED ON SITE AND ALL CONSTRUCTION PARKING, LOADING, STORAGE OF MATERIALS IS TO HAPPEN IN THIS AREA ONLY AND NO DISRUPTION OF THE SITE IS TO OCCUR BEYOND THIS BOUNDARY.
SITE TO BE KEPT CLEAN AND SAFE AT ALL TIMES. TRASH IS TO BE CONTAINED AND Hauled OFF WEEKLY.
AN AREA FOR RECYCLING IS TO BE ESTABLISHED. RECYCLE AS MUCH SCRAP AND PACKAGING AS POSSIBLE.
SITE TO BE GRADED TO ENHANCE MOISTURE TO RETAIN AND DISPOSE ON SITE.
NO DIGGING TO BEGIN UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED AND ALL BLUE STAKING COMPLETED.

- ROOF AND CEILING FRAMING:
(BLOCKING) RAFTERS MORE THAN 8 INCHES IN DEPTH SHALL BE SUPPORTED LATERALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING NOT LESS THAN 2 INCHES IN THICKNESS AND THE FULL DEPTH OF THE RAFTER UNLESS Nailed TO A HEADER, BAND OR RM1 JOIST OR TO AN ADJOINING STUD.

- ROOF SHEATHING:
DECK NOTE ONE
1. 1x6 PINE WITH STARTER BOARD AT ALL EXPOSED EDGES (CREASIN FACE DOWN) SHALL BE STANDARD, 3 COMMON, NO. 2 OR CONSTRUCTION GRADES.

- GENERAL ROOFING NOTES:
1. ALL BEAMS TO BE ROUGH FILLED, DOUG FIR, OR SPRUCE LIGHTLY SANDED, NO LARGE CHECKS, KNOTS, OR BARK TO BE ACCEPTED.
2. ALL PLYWOOD TO BE EXTERIOR GRADE.
3. ROOF DECK TO BE 1x6 PINE T & G STAIN GRADE.
4. PROVIDE ALL FLASHING, VENT CAPS AND ALL OTHER PARTS TO COMPLETE A FINISHED AND WATERPROOF SURFACE. ALL INSTALLATION SHALL COMPLY WITH MANUFACTURERS INSTRUCTIONS.

- DECK NOTE ONE:
1. TONGUE AND GROOVE PINE DECKING OVER VIGAS OR BEAMS. FASTEN WITH (2)x4 NAILS AT EACH CROSSING OF STRUCTURAL MEMBERS.



2 AI 1/4" = 1'-0" ROOF FRAMING PLAN

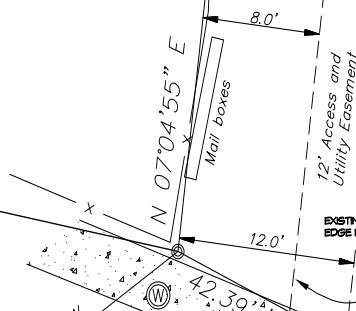
n/f Albert Gonzales
MB 987/583

New Mexico D.O.T.
Control Monument
3402-11

1 AI 1/4" = 1'-0" SITE & PORTAL FLOOR PLAN



- CONCRETE:
1. FOOTINGS: 4000PSI CONCRETE AT 28 DAYS. SHALL COMPLY WITH ASTM C94 AND ACI 308 (CURRENT EDITION)
2. ALL FOOTERS ON UNDISTURBED EARTH OR ENGINEERED FILL
3. PLACE ALL EXTERIOR FOOTERS A MINIMUM OF 24" BELOW FINISH GRADE.
4. DIMENSIONS ARE FROM FACE OF BLOCK TO FACE OF BLOCK.
5. NO CLEANING OF TRUCKS OR TOOLS ALLOWED IN STREET.
6. 4000 PSI CONCRETE FERS @ EXTERIOR W-4 - 14' VERT. @ 48" TIES @ 12" O.C.
7. PROVIDE ANCHOR BOLTS AS REQUIRED FOR FRAMING.

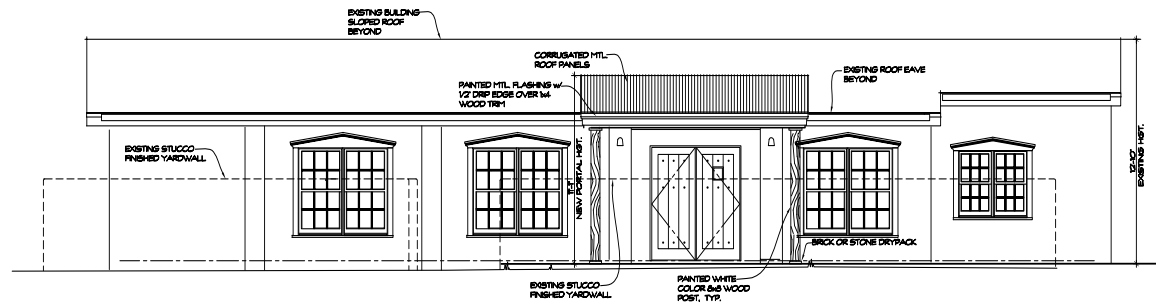


A NEW PORTAL FOR
KENNETH AND MARITA DIMON
641 W. SAN FRANCISCO
SANTA FE, NEW MEXICO 87501

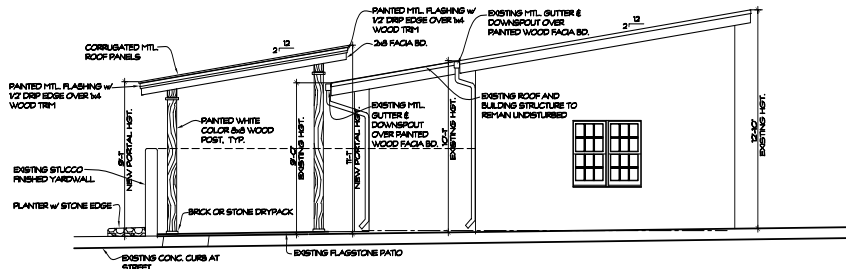
NEW FLOOR PLAN
NEW PORTAL ROOF FRAMING PLAN

DATED: MAR 18, 2021
REVISED: MAR 22, 2021
DRAWN: MARIO SANCHEZ
SHEET No. A1
1 OF 2

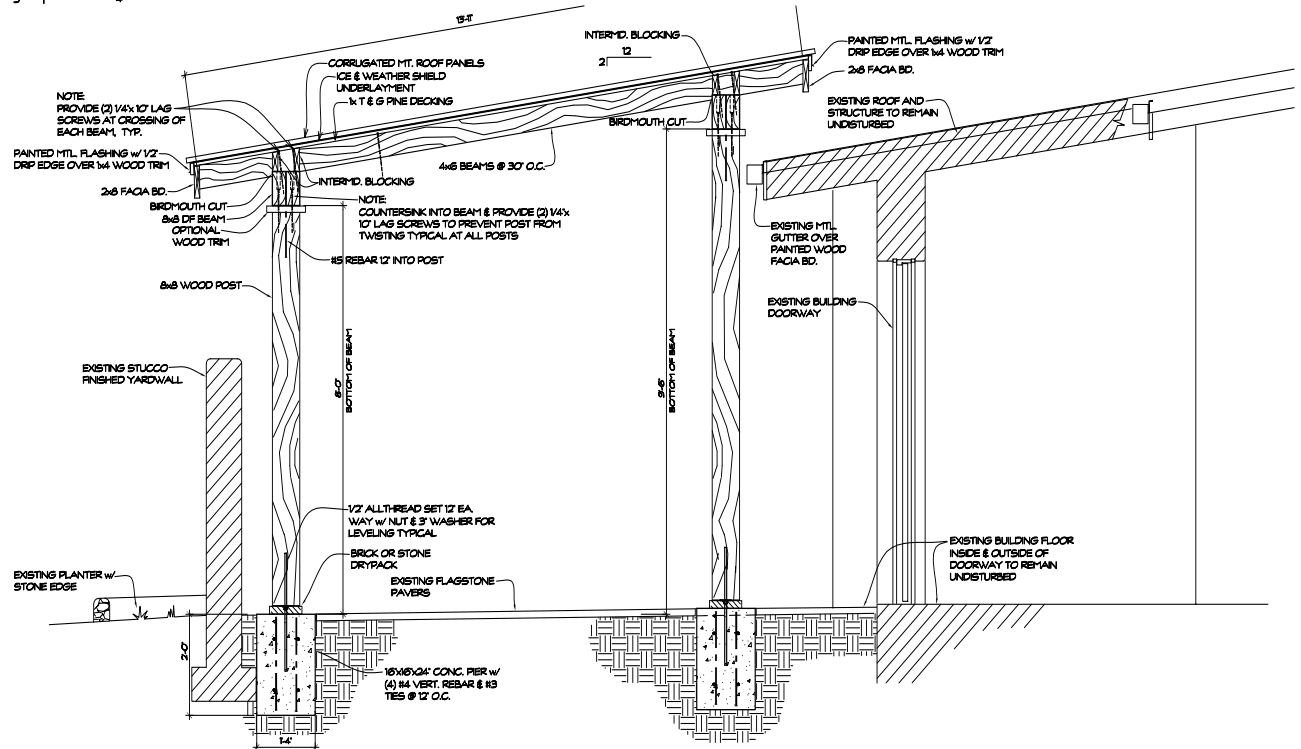
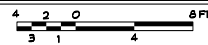
This drawing is the property of Sanchez Design Services, Inc. and is not to be reproduced without the written consent of Sanchez Design Services, Inc. All rights reserved. © 2021



2 WEST ELEVATION
 A2 1/4" = 1'-0"



3 SOUTH ELEVATION- NORTH ELEVATION SIMILAR
 A2 1/4" = 1'-0"



1 BUILDING SECTION
 A2 3/4" = 1'-0"



CITY OF SANTA FE, NEW MEXICO

PROJECT DESCRIPTION: Remodel; add portal

Case number: **2021-004177-HDRB**
Project Type: HDRB

PROJECT LOCATION (S): 642 Camino de la Luz

PROJECT NAMES:

OW – Bettina Millican
AP – Victor Johnson, AIA

PROJECT DATA:

HISTORIC DISTRICT

Don Gaspar Area Downtown and Eastside Historic Review Transition Westside-Guadalupe

HISTORIC BUILDING STATUS

Non-Statused Non-Contributing Contributing Significant Landmark N/A

PRIMARY ELEVATIONS: North South West East N/A

PUBLICLY VISIBLE FACADE-EAST Yes No

PUBLICLY VISIBLE FACADE-NORTH Yes No

PUBLICLY VISIBLE FACADE-SOUTH Yes No

PUBLICLY VISIBLE FACADE-WEST Yes No

HISTORIC DISTRICT INVENTORY NUMBER

YEAR OF CONSTRUCTION 2000

PROJECT TYPE

Status Primary Elevations Remodel Demolition New Other _____

USE, EXISTING Residential Non-Residential Vacant

USE, PROPOSED Residential Non-Residential

HISTORIC BUILDING NAME

-

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021-004177-HDRB

Address: 642 Camino de la Luz
Historic Status: Non-Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
 Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff recommends approval of the proposal as it complies with General Design Standards for all Historic Districts 14-5.2(D) and the design standards of the Downtown and Eastside Historic District per Section 14-5.2(E).

BACKGROUND & SUMMARY:

642 Camino de la Luz is a 4,177 sf building Non-Contributing to the Downtown and Eastside Historic District. Built in 2000, the house was added onto in 2010.

The applicant proposes to add a 410 sf portal to cover an existing patio at the northwest end of the house. An exterior fireplace also is proposed for the patio. The portal columns' structure and fireplace are masonry construction. The roof structure is wood beams, vigas, and deck with a tan-granule modified bitumen cap sheet. The proposed roof height is 9'- 6" to 10', lower than the house roofline. New masonry elements will be stuccoed El Rey cementitious "Adobe". The wood elements will be sealed in a natural finish, and exposed roof material will be a bronze tone.

No other changes are proposed at this time.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:		Site Address:	
Date Submitted: <u>8/18/21</u>		<u>642 CAMINO DE LA LUZ</u>	
Property Owner of Record: <u>MILLIKEN</u>		Proposed Construction Description:	
Applicant/Agent Name: <u>VICTOR JOHNSON</u>		<u>NEW PORTAL ROOF OVER EXG PATIO</u>	
Contact Person Phone Number: <u>505-927-5497</u>		TOTAL ROOF AREA: <u>410 SF NEW</u>	
Zoning District: <u>R-1</u>		Lot Coverage: <u>3.5 %</u>	
Overlay: <input checked="" type="checkbox"/> Escarpment <u>HILLSIDE</u> <input type="checkbox"/> Flood Zone* <input type="checkbox"/> Other: _____		<input type="checkbox"/> Open Space Required: _____ Setbacks: Proposed Front: <u>55'</u> Minimum: <u>7'</u> 2 nd Front? <u>5'</u> Proposed Rear: <u>57'</u> Minimum: <u>15'</u> Proposed Sides: <u>2nd R 10'</u> Minimum: <u>5'</u> Height: Proposed <u>9 1/2 to 10 FEET</u> Maximum Height: <u>24'</u> or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input checked="" type="checkbox"/> Regulated by Escarpment District	
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations		Parking Spaces: Proposed <u>4</u> Accessible _____ Minimum: <u>2</u> Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement	
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit			
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required			
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____			
Terrain: <input type="checkbox"/> 30% slopes _____			
<small>* Requires an additional review conducted by Technical Review Division. ** Requires an additional review conducted by the Traffic Engineering Division.</small>			

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

VICTOR JOHNSON

PRINT NAME

OWNER APPLICANT AGENT

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

SIGNATURE

8/24/21
DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____	Date: <u> / / </u>
<input type="checkbox"/> Flood Plain Approval by _____	Date: <u> / / </u>
<input type="checkbox"/> Traffic Engineering Approval by _____	Date: <u> / / </u>
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: _____	
REVIEWER: <u>[Signature]</u>	DATE: <u>8/27/21</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

Victor Johnson Architect LLC
PO Box 1866
Santa Fe, NM 87504

City of Santa Fe
Historic Design Review Board
P.O. Box 909 / 200 Lincoln Avenue
Santa Fe, NM 87504
attn: Angela Schackel Bordegaray
Case Manager

August 24, 2021
Arch #2106
Address: 642 Cmo de la Luz

Dear Ms. Schackel Bordegaray and Members of the Board:

This submittal presents a request by the property owner, Bettina Milliken, for the Board to consider approval of construction of a portal roof above an existing patio. The property is located at 642 Camino de la Luz in the Downtown & Eastside Historic District.

The residence was built in 2000, approved by the HDRB on 01/11/2000 as project H-00-06. The addition to the south end was approved 03/09/2010 as project H-10-017.

The proposed project is a new portal roof (approximately 410 sq ft) to cover an existing patio at the NW end of the house including construction of an exterior fireplace for the patio. The portal columns' structure and fireplace are masonry construction. The roof structure is wood beams, vigas, and deck with a tan-granule modified bitumen cap sheet. The proposed roof height is 9'-6" to 10-feet.

No alterations to the existing residence are proposed, other than touch-up of the ElRey cementitious "Adobe" color stucco where the new portal ties to the house and where the yard walls may be damaged during construction. The existing yard walls remain as they are. The existing ground plane is flagstone and will be the same after construction of the portal.

There are no skylights, parapet modifications (other than the chimney tie to the existing), no door or window installations, no exterior lighting additions or modifications, and no HVAC / solar / canal additions or modifications as part of this project. No exceptions are requested.

The new masonry elements (columns and fireplace) will be ElRey cementitious "Adobe", the wood elements sealed in a natural finish, and exposed roof metal will be a bronze tone.

Thank you.

I will attend your board meeting to answer questions you may have.



Victor Johnson, AIA

Attachments (digital PDF): HDRB application, existing and proposed site plans, existing and proposed floor plans, existing and proposed exterior elevations, context photos, PZR worksheet - signed (Note: color swatches for stucco finish, wood finish, and exposed roof metal will be delivered with paper plots when poster is picked up).

Project Data

Lot Size - 1.518 Acres

Proposed Portal Roofed Area - 410 sq ft

Type of Construction V

Zoning Data

Zoned - R1/ Historic District - Eastside

Allowable Lot Coverage 40%

Existing lot coverage 3%

Proposed Lot Coverage with portal 3.5%

Allowable Height 24'

Milliken Portal Addition

642 Camino De La Luz

Santa Fe, New Mexico 87505

Drawing List

AS 100 - SITE PLAN PROPOSED

AS 101 - SURVEYOR'S SITE PLAN

AS 102 - SURVEYOR'S SLOPE ANALYSIS AND PARTIAL SITE PLAN

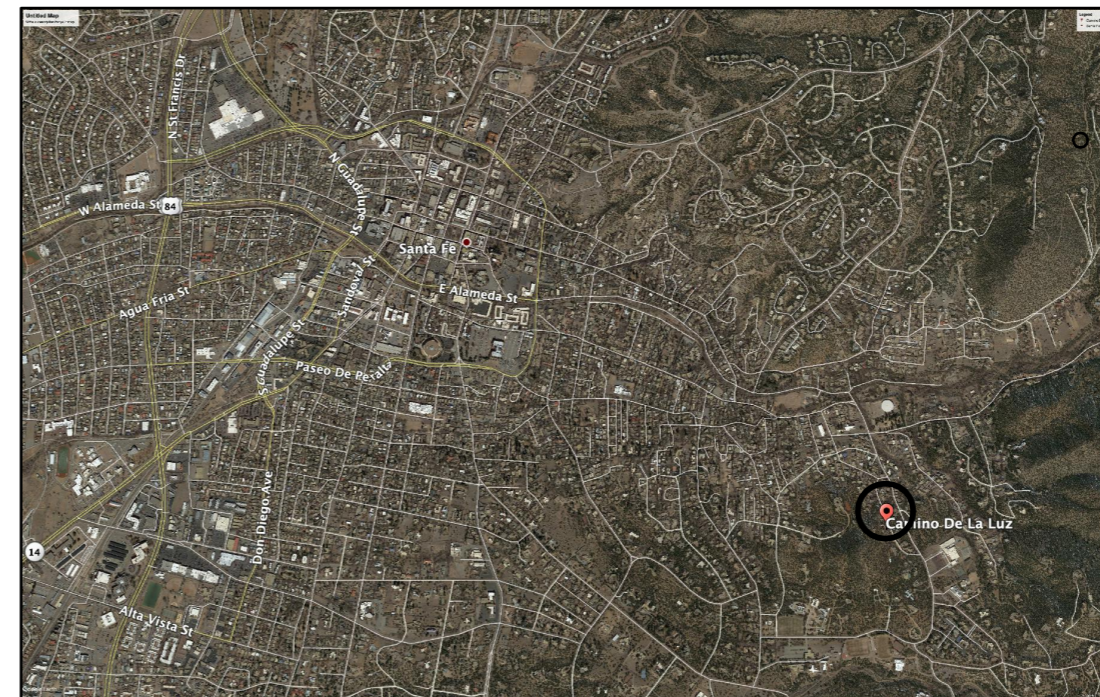
A 101 - Plan and Details

A 102 - EXTERIOR ELEVATIONS

A 103 - PORTAL SECTIONS & ROOF PLAN



Street Map



Vicinity Map

VICTOR JOHNSON ARCHITECT LLC
POST OFFICE BOX 1866
SANTA FE, NM 87504
PHONE 505-927-9497

Milliken Portal Addition
642 Camino De La Luz
Santa Fe, New Mexico 87505

DATES:
08-10-21 R 08-10-21 P

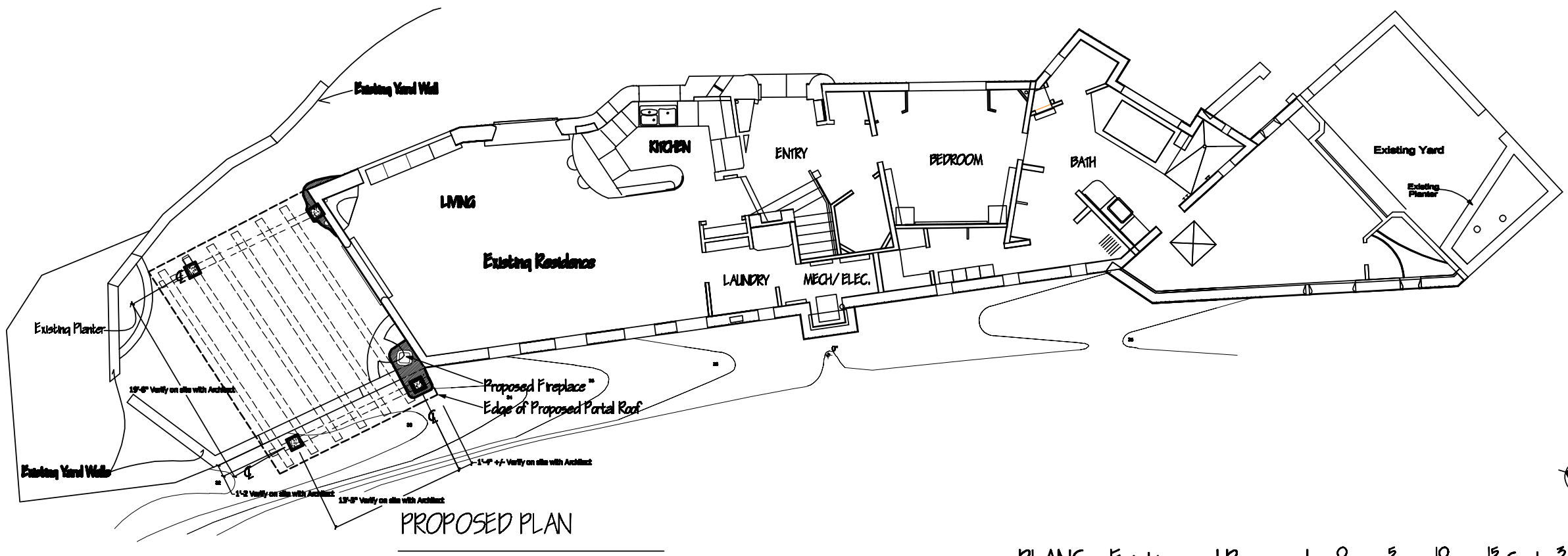
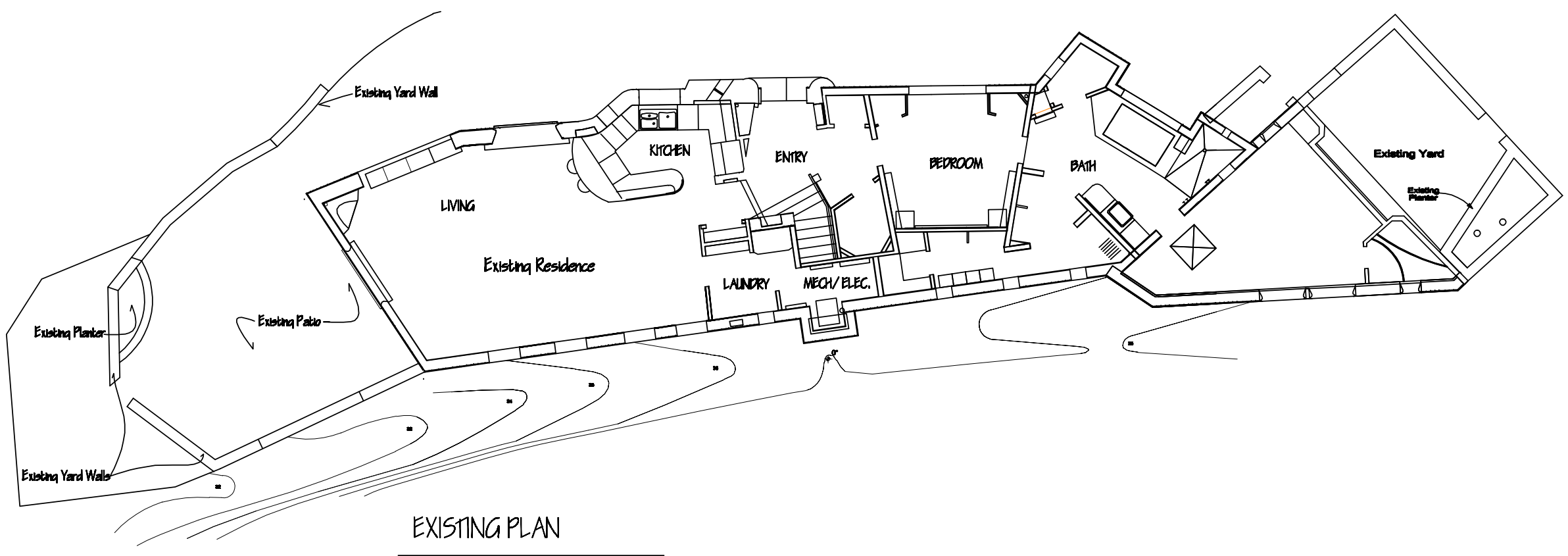
© 2021

Victor Johnson Architect

The designs and information contained in the drawings are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used solely for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
Cover

ARCH 2106



PLANS - Existing and Proposed 0 5 10 15 Scale $\frac{3}{16}'' = 1'$



VICTOR JOHNSON ARCHITECT LLC
 POST OFFICE BOX 1866
 SANTA FE, NM 87504
 PHONE 505-927-5497

Milliken Portal Addition
 642 Camino De La Luz
 Santa Fe, New Mexico 87505

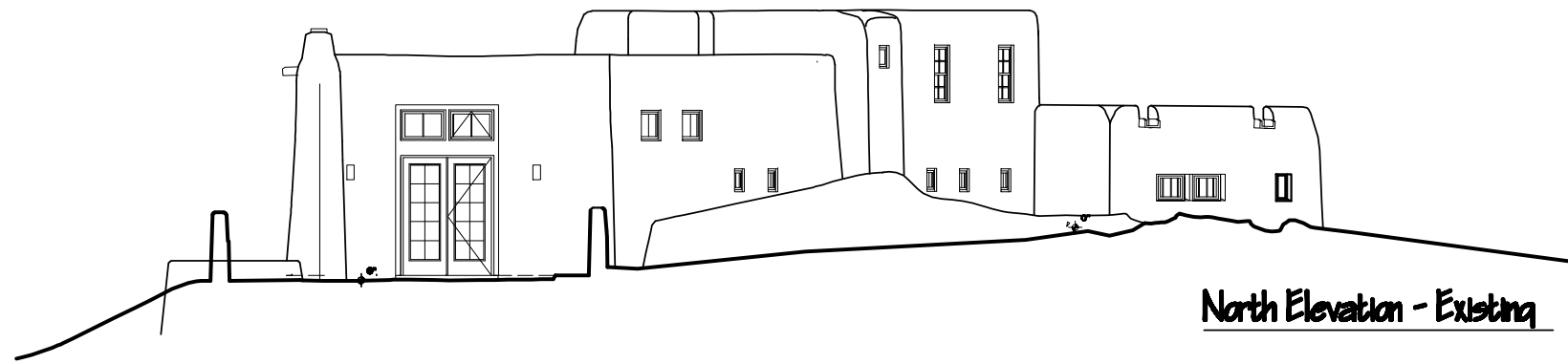
DATE: 08-21-21 R 08-21-21 P

©2021
 Victor Johnson Architect

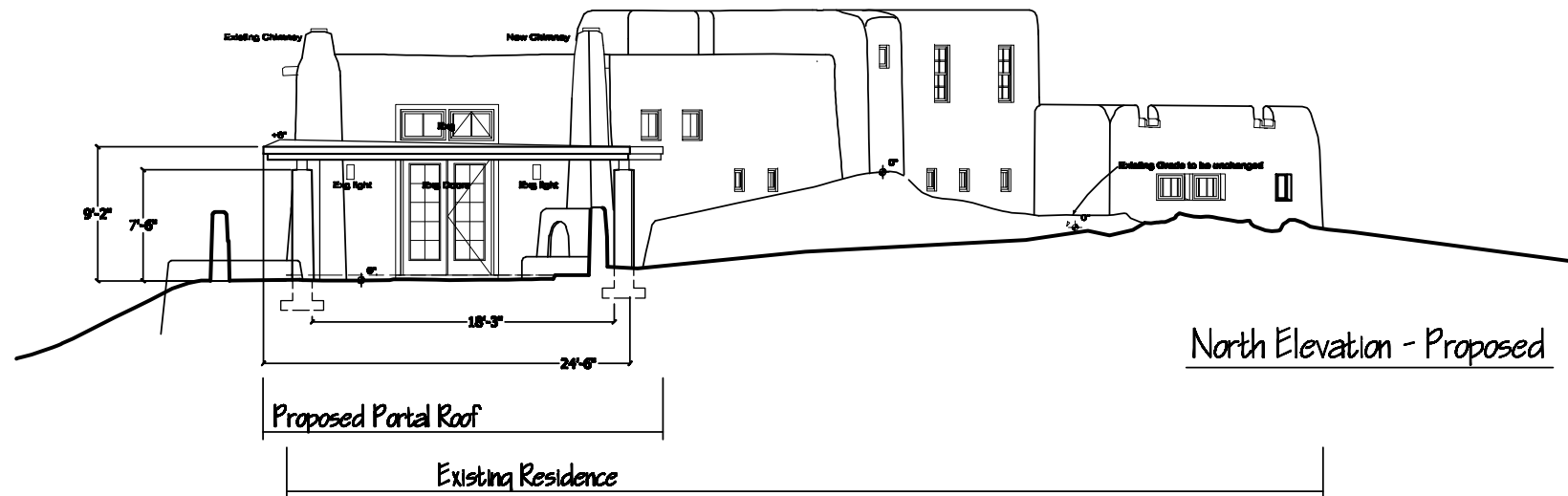
The designs and information contained in the drawings are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used solely for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
 A101

MCH 2106



North Elevation - Existing



North Elevation - Proposed

EXTERIOR ELEVATIONS NORTH - Existing and Proposed

0 5 10 15 Scale $\frac{3}{16}'' = 1'$

VICTOR JOHNSON ARCHITECT LLC
 POST OFFICE BOX 1866
 SANTA FE, NM 87504
 PHONE 505-927-5497

Milliken Portal Addition
 642 Camino De La Luz
 Santa Fe, New Mexico 87505

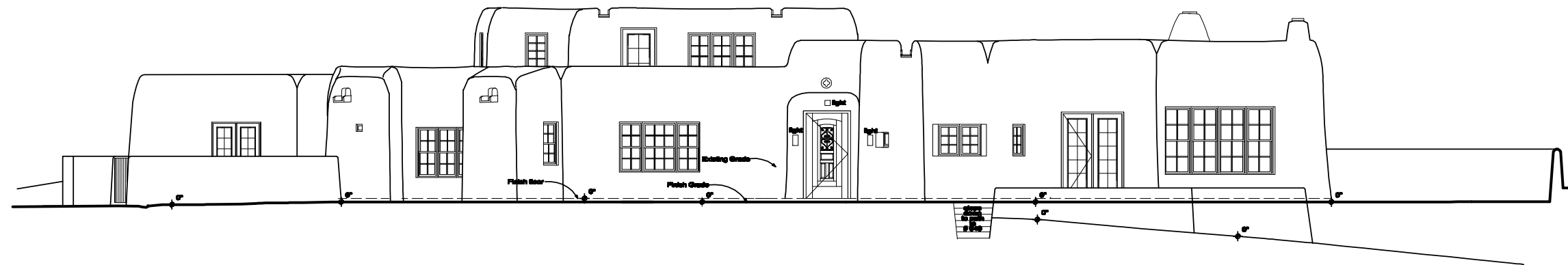
DATE:
 08-31-21 R 08-31-21 P

©2021
 Victor Johnson Architect

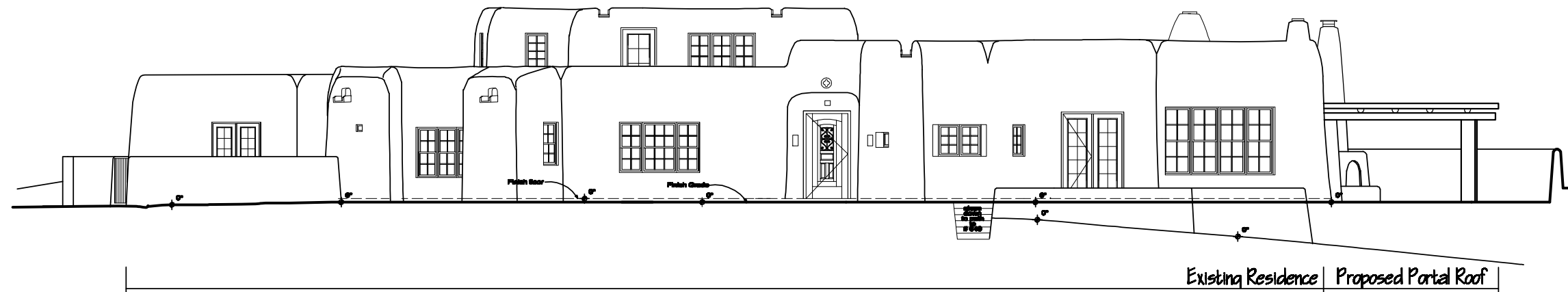
The designs and information contained in the drawings are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used solely for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
 A103

ARCH 2006



East Elevation - Existing



East Elevation - Proposed

EXTERIOR ELEVATIONS EAST - Existing and Proposed

0 5 10 15 Scale $\frac{3}{16}'' = 1'$

VICTOR JOHNSON ARCHITECT LLC
 POST OFFICE BOX 1866
 SANTA FE, NM 87504
 PHONE 505-927-5497

Milliken Portal Addition
 642 Camino De La Luz
 Santa Fe, New Mexico 87505

DATE:
 08-31-21 R 08-31-21 P

©2021
 Victor Johnson Architect

The drawings and information contained in the drawings are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used solely for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
 A104

ARCH 2106



South Elevation - Existing



Existing Residence | Proposed Portal Roof

South Elevation - Proposed

EXTERIOR ELEVATIONS SOUTH - Existing and Proposed

0 5 10 15 Scale $\frac{3}{16}'' = 1'$

VICTOR JOHNSON ARCHITECT LLC
 POST OFFICE BOX 1866
 SANTA FE, NM 87504
 PHONE 505-927-5497

Milliken Portal Addition
 642 Camino De La Luz
 Santa Fe, New Mexico 87505

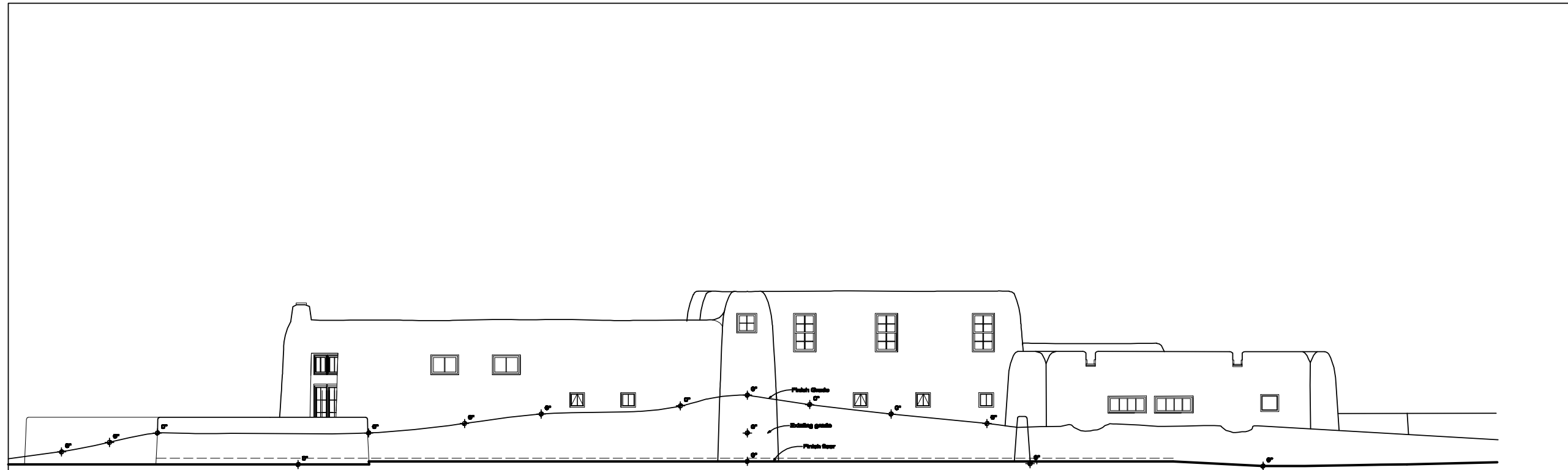
DATE: 08-31-21 R 08-31-21 P

©2021
 Victor Johnson Architect

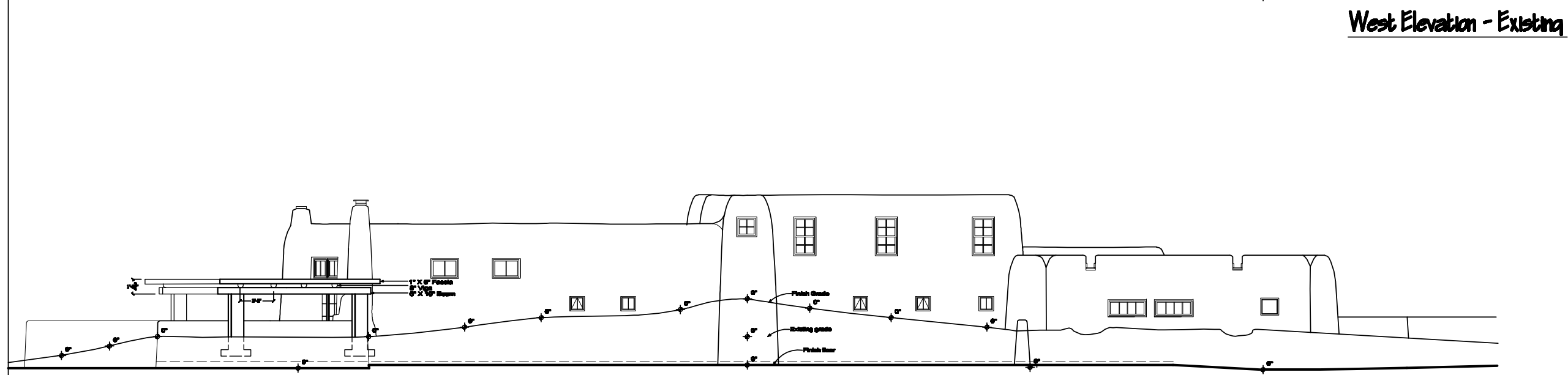
The designs and information contained in the drawings are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used solely for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
 A105

ARCH 206



West Elevation - Existing



Proposed Portal Roof

Existing Residence

West Elevation - Proposed

EXTERIOR ELEVATIONS WEST - Existing and Proposed

0 5 10 15 Scale $\frac{3}{16}'' = 1'$

VICTOR JOHNSON ARCHITECT LLC
 POST OFFICE BOX 1866
 SANTA FE, NM 87504
 PHONE 505-927-5497

Milliken Portal Addition
 642 Camino De La Luz
 Santa Fe, New Mexico 87505

DATE: 08-31-21 R 08-31-21 P

©2021
 Victor Johnson Architect

The design and information contained in this drawing are the property of the Architect and are copyright protected. They are provided to the owner as instruments of service to be used only for building permit application and construction. They are not to be used for any other project or purpose without express written consent of the Architect.

Sheet #
 A106

ARCH 2106







City of Santa Fe

Land Use Department | Historic Preservation Division

Plan Number: 2021-004179--HDRB

Project Description:

Project Location(s): 119 KEARNY RD
Santa Fe, NM 87501

Contacts:

Property Owner: William Snead
119 Kearny RD
Santa Fe, NM 87501

Applicant: Craig Hoopes Hoopes
333 Montezuma
Santa Fe, NM 87501

doug@hoopesarchitects.com

Historic District: HD: Downtown And Eastside

Historic Building Status:

Non-Statused: False Non-Contributing: False Contributing: True Significant/Landmark: False

Primary Elevations:

Publicly Visible Facade-East: Yes

Publicly Visible Facade-North: No

Publicly Visible Facade-South: Yes

Publicly Visible Facade-West: Yes

Historic District Inventory Number:

Year of Construction:

Project Type: Remodel

Historic Building Name:

City of Santa Fe, New Mexico

memo

DATE: September 28, 2021
TO: Historic Districts Review Board Members
FROM: Angela Bordegaray, Senior Planner, Historic Preservation Division

Case # 2021-004179-HDRB

Address: 119 Kearny Street
Historic Status: Contributing
Historic District: Downtown & Eastside

REFERENCE ATTACHMENTS (Sequentially):

CITY SUBMITTALS

Historic Inventory
 Preliminary Zoning Review Sheet

APPLICANT SUBMITTALS

Proposal Letter
 Site Plan/Floor Plan
 Elevations
 Photographs
 Other

RECOMMENDATION:

Staff does not find that the exception criteria have been met, but the Board may find they are met upon further testimony from the applicant; otherwise, Staff recommends approval of the application as it complies with 14-5.2(D) General Design Standards for all H Districts and 14-5.2(E) Downtown and Eastside Historic District.

BACKGROUND & SUMMARY:

119 Kearny Street is a 1,297 sf building contributing to the Downtown and Eastside Historic District. The house is Spanish-Pueblo Revival style, built in the 1950s, and added onto sometime in the 1970s-1980s. The board reviewed its historic status earlier this year and found it contributing, designating the east, south and west facades primaries. It is two story with an *historic footprint* of 879 sf. An enclosed 146 sf porch and a 272 sf deck were added in the 1980s, bringing the house's existing total square footage to 1,297. It has a low yard wall, characteristic of yard walls and fences in this streetscape. The board included the yard wall in its designation of contributing. The applicant proposes the following:

1. To add 1,296 sf onto the north façade. This will increase the footprint from 1,297 sf (which includes both historic footprint and 1980s addition) to a total of 2,593 sf. Its height will not exceed the original house. The upper floor addition includes a deck and coyote fence guardrail. The two additions are offset from each other to break up the massing of the house. The addition is set back from the original home and the new entry via a "plaza" between the original house and the addition. The addition is 6" shorter than the existing structure's height. The style is Spanish-Pueblo Revival. The windows will be metal clad wood simulated divided lite, trim color "Blue Danube." The roof will be blue corrugated metal. Entire structure will be re-stuccoed in cementitious El Rey "Sahara." The applicant requests an exception to add more than 50% of the house's historic footprint.
2. Add new masonry stucco-faced wall 4'-8" tall on the south façade on and an 8' – 8" gate with sconce. The new yard wall will connect to the east primary façade less than 10' from its south edge. The applicant requests an exception to adding onto a primary façade less than 10' from its corner.
3. Paint under existing portal white Sto "Marble White."
4. Add a new low garden wall in the rear of the house on the north elevation.
5. Repair window on the east façade to refit the glass and refurbish the sash.
6. Rebuild non-historic front entry steps to bring up to code.

Exception to 14-5.2(D)(2)(d) to increase the historic footprint of the house by more than 50%.

RELEVANT CODE CITATION

14-5.2(D) General Design Standards for All H Districts

(2) Additions

(d) Additions are not permitted to the side of the existing footprint unless the addition is set back a minimum of ten (10) feet from the primary facade. The addition shall not exceed fifty percent of the square footage of the existing footprint, and shall not exceed fifty percent of the existing dimension of the primary facade. To the extent architecturally practicable, new additions shall be attached to any existing noncontributing portion of structures instead of attaching them to the significant or contributing portion.

Criteria and Responses:

i. “Do not damage the character of the district”:

Applicant Response: The home on the property is a “contributing” structure is located in the in the Downtown Eastside Historic District (the “Eastside District”). The elements that are important to this property being designated “contributing” is the manner in which this structure (and its Primary Façade) sit and contribute to the streetscape. The additions will not be visible and will have no effect on the character of the district, much less do any damage to the district or the streetscape.

Staff response: Staff agrees with the intent of the response. The contributing elements of the house are still significantly present and that the proposed design is in keeping with the district. The location of the proposed addition at the back of the house is sensitive to the existing home.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the nature, size, and slope of the lot. The hardship is created by these factors – the lot is small, it is narrow and it is sloped. These make additions and changes to the structure difficult under the Historic Ordinance. In order to allow the applicant to make reasonable use of this unique property, the exception will avoid the hardship created by the nature of the lot.

Staff response: Staff disagrees with the applicant’s response. The challenging nature of the property is acknowledged; however, it is unclear as to why an increase in the square footage of the house will prevent a hardship to the applicant. The Board may find that the criteria is met with further testimony from the applicant.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated, and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property. The existing house footprint is 879 sf. On the main floor we are proposing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6" shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

Staff response: Staff does not agree with this response. The applicant has presented reasons for the design they chose to present to the Board, but they did not present any other designs that were considered in the design process. The Board may find that the criterion is met with further testimony from the applicant.



Preliminary Zoning Review Worksheet

City of Santa Fe Land Use Department

To Be Completed By Applicant:	Site Address:
Date Submitted: <u>6-7-21</u>	<u>119 KEARNY</u>
Property Owner of Record: <u>DAVID SNEAD + CHAS. BUTLER</u>	Proposed Construction Description:
Applicant/Agent Name: <u>CRAIG HOOPES</u>	<u>ADDITION</u>
Contact Person Phone Number: () -	TOTAL ROOF AREA: <u>2318</u>
Zoning District: _____	Lot Coverage: <u>39.5%</u> <input type="checkbox"/> Open Space Required: _____
Overlay: <input type="checkbox"/> Escarpment _____ <input type="checkbox"/> Flood Zone* <input checked="" type="checkbox"/> Other: <u>HISTORIC DOWNTOWN EASTSIDE</u>	Setbacks: Proposed Front: <u>17'-6"</u> Minimum: <u>7'-2"</u> 2 nd Front? Proposed Rear: <u>25'</u> Minimum: <u>15'</u> Proposed Sides: L <u>5R</u> Minimum: <u>5'</u>
Submittals Reviewed with PZR: <input checked="" type="checkbox"/> Legal Lot of Record <input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Building Plans <input checked="" type="checkbox"/> Existing Site Plan <input checked="" type="checkbox"/> Proposed Site Plan <input checked="" type="checkbox"/> Elevations	Height: Proposed <u>11'-3"</u> Maximum Height: _____ or <input checked="" type="checkbox"/> Regulated by Historic Districts Ordinance <input type="checkbox"/> Regulated by Escarpment District
Supplemental Zoning Submittals Required for Building Permit: <input type="checkbox"/> Zero Lot Line Affidavit	Parking Spaces: Proposed <u>2</u> Accessible <u>2</u> Minimum: _____
Access and Visibility: <input type="checkbox"/> Arterial or Collector** <input type="checkbox"/> Visibility Triangle Required	Bicycle Parking**: Proposed: _____ Minimum: _____ ** Commercial Requirement
Use of Structure: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial Type of Use: _____	
Terrain: <input type="checkbox"/> 30% slopes _____	
* Requires an additional review conducted by Technical Review Division ** Requires an additional review conducted by the Traffic Engineering Division	

THIS REVIEW DOES NOT GRANT ZONING APPROVAL FOR BUILDING PERMIT. FINAL ZONING REVIEW WILL BE PERFORMED AT THE TIME OF BUILDING PERMIT APPLICATION.

CRAIG HOOPES (PRINT NAME) [OWNER APPLICANT AGENT]

hereby certifies that the information provided for preliminary zoning review is accurate and will not be modified without consulting Land Use Department staff prior to submittal for Historic Districts Review Board review.

Craig Hoopes SIGNATURE 6-7-21 DATE

To Be Completed By City Staff:	
Additional Agency Review if Applicable:	
<input type="checkbox"/> Escarpment Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Flood Plain Approval by _____ Date: ___/___/___	
<input type="checkbox"/> Traffic Engineering Approval by _____ Date: ___/___/___	
Notes: _____	
Zoning Approval:	
<input checked="" type="checkbox"/> Preliminary Approval <input type="checkbox"/> with conditions <input type="checkbox"/> Rejected	
Comments/Conditions: <u>None</u>	
REVIEWER: <u>Lee Logston</u>	DATE: <u>6/7/2021</u>
Original color form must be submitted with Historic Districts Review Board (HDRB) application packet.	

DEDICATION OF KEARNY ADDITION TO THE CITY OF SANTA FE

STATE OF NEW MEXICO }
COUNTY OF SANTA FE } 55

KNOW ALL MEN BY THESE PRESENTS, that the undersigned have made a subdivision according to this plat, of the following described lands situated within the City and County of Santa Fe, State of New Mexico, to-wit: Beginning at the southeast corner of this tract, whence the northeast intersection of Washington and Kearny Avenues bears S 22° 52' W 550' distant, thence N 22° 52' E 30', thence N 45° 17' E 72.0', thence S 60° 35' E 85.8', thence S 75° NE 64.75', thence S 60° 35' E 80.95', thence S 24° 30' E 144.15', thence N 21° 37' E 15.45', thence S 47° 30' E 108.1', thence S 38° 23' W 142.4', thence N 60° 35' W 17.5', thence N 02° 13' W 225.4', thence N 18° 45' W 23.2', thence N 4° 49' E 125.0', thence N 67° 19' W 45.36', thence N 21° 22' E 45.0', thence N 61° 35' W 100.0' to the place and point of beginning; And that the above and foregoing subdivision, as the same appears on this plat, is with the free consent and in accordance with the desire of the undersigned owners and proprietors.

Given under our hands and seals this 5th day of February, A.D. 1940.

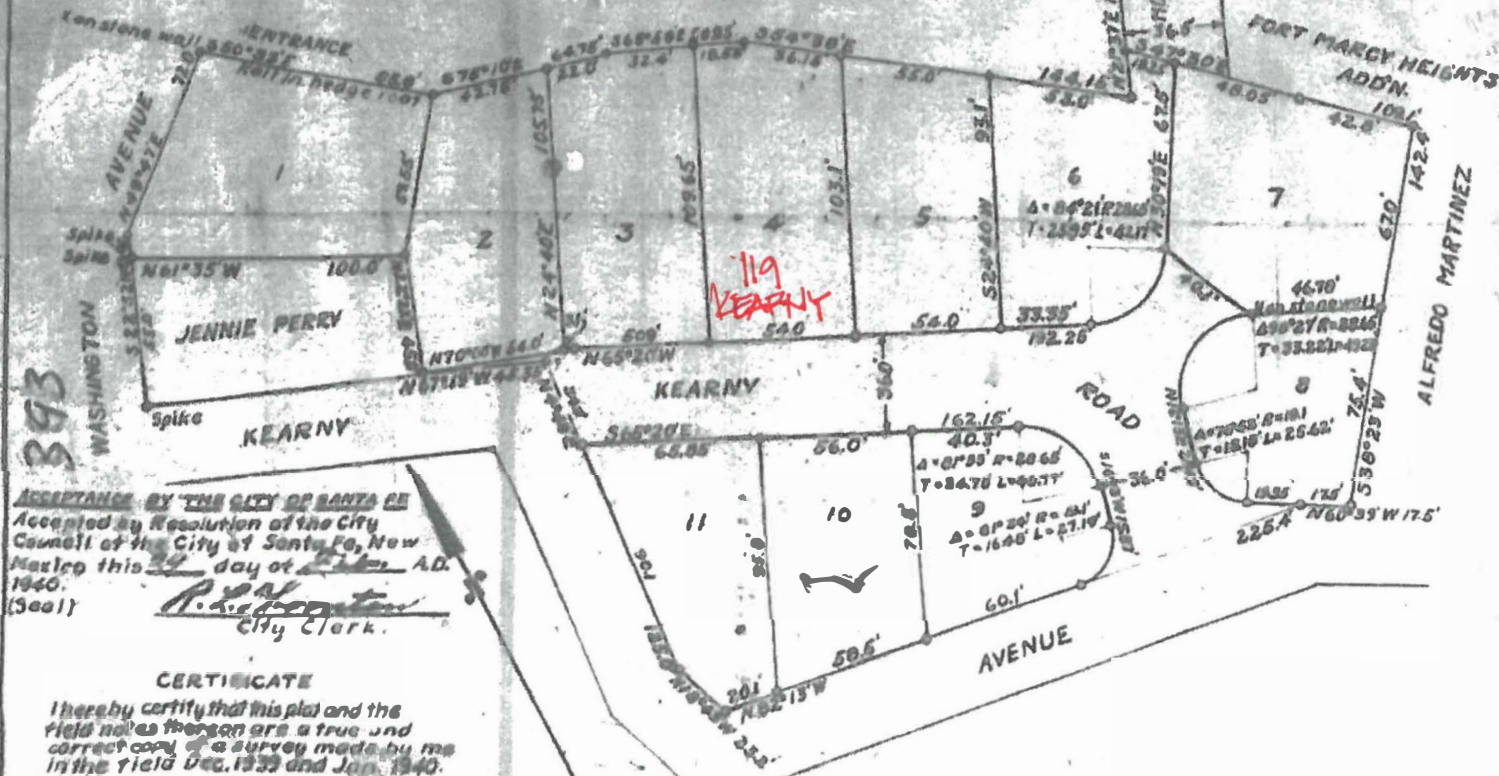
James M. Wilson Rufus R. Smith
Una Wilson Paulina E. Smith

STATE OF NEW MEXICO }
COUNTY OF SANTA FE } 55

On this 5th day of February, A.D. 1940 before me personally appeared James M. Wilson and Una Wilson, his wife, and Rufus R. Smith and Paulina E. Smith, his wife, to me known to be the persons described in and who executed the foregoing instrument of writing, and acknowledged that they executed the same as their free act and deed.

Witness my hand and official seal the day and year in this certificate last above written.

Ruth H. Jackson
Notary Public
My commission expires:
9-31-40



ACCEPTANCE BY THE CITY OF SANTA FE
Accepted by Resolution of the City
Council of the City of Santa Fe, New
Mexico this 14th day of Feb. A.D.
1940.
R. A. [Signature]
City Clerk.

CERTIFICATE
I hereby certify that this plat and the
field notes thereon are a true and
correct copy of a survey made by me
in the field Dec. 1939 and Jan. 1940.
Jas. C. Murray

PLAT OF
KEARNY ADDITION
TO THE CITY OF SANTA FE
PRECINCT 18 Scale 1"=40'

•• Denotes iron pipe unless otherwise noted.

119 Kearny

Historic Cultural Properties Inventory (HCPI) Base Form (FORM 1)

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. NRHP SRCP Criteria: A B C D

NAME OF PROPERTY:
LOCATION OF PROPERTY: 119 Kearny Road
CITY OR TOWN: Santa Fe
COUNTY: Santa Fe

LOCAL REFERENCE NUMBER: 40810
UTM ZONE: 13
UTM EASTING: 415145
UTM NORTHING: 3949635

DATE OF SURVEY:
4/25/2006

PREVIOUS SURVEY?
No

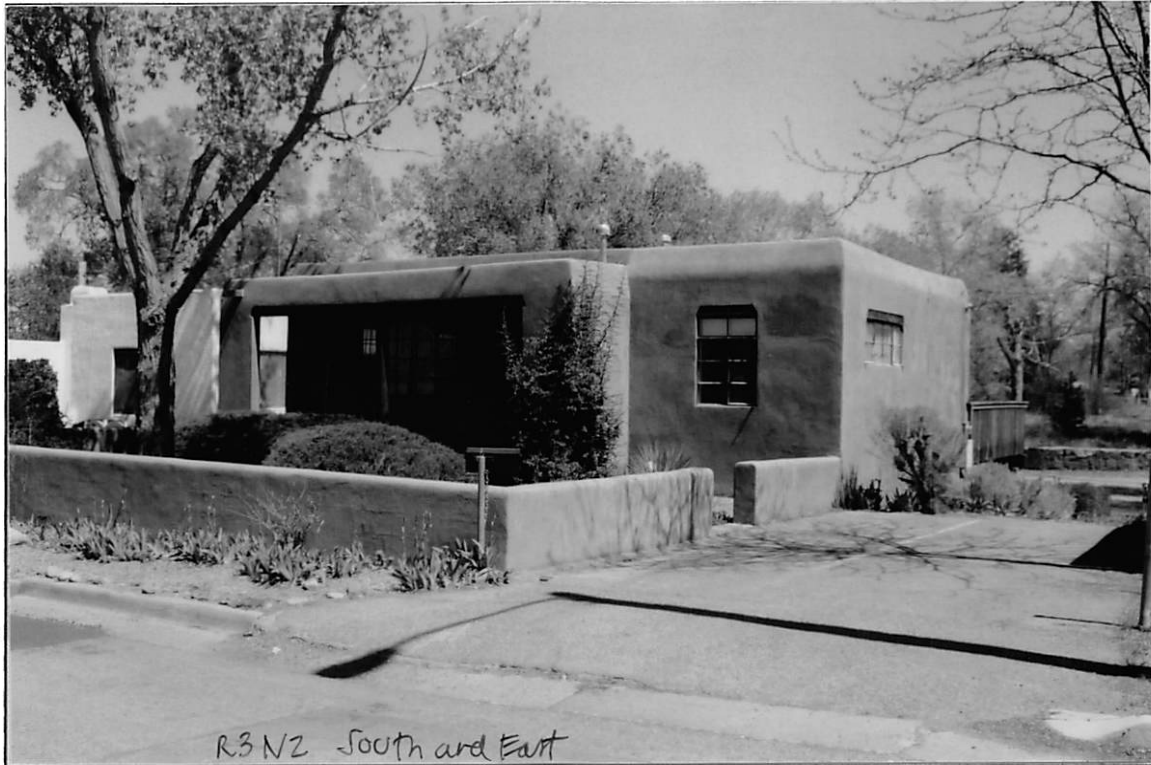
PREVIOUS SURVEY DATE:

NAME OF PROJECT:
Kearny Sunset Resurvey

PHOTOGRAPH:
ROLL NUMBER
3

FRAME NUMBER:
2

NEGATIVE LOCATION:
NM HISTORIC PRESERVATION DIVISION



PHOTOGRAPH VIEW: south and east elevations

PROPERTY TYPE: Building
DESCRIPTION OF PROPERTY:

119 Kearny Road is a bi-level Spanish Pueblo Revival style residential building with medium stucco and a battered parapet. The building appears as a single story residence on the south/street side and is two stories in height on the north elevation. The upper level of the north elevation has a shed roof with exposed roof beams at the overhanging eaves. Windows are metal multi-lite casement units on all elevations. On the north elevation there is a single 8-lite casement and 4-lite casement on the upper level. Additional upper level units are paired and triplicate metal sliders in the shed roofed area. Lower level windows on this elevation are 12-lite slider units. Windows on the south elevation include two sets of metal casements; one is a pair of 8-lite units and the other is a 12-lite fixed picture unit with 4-lite casement sidelights. There are two sets of 8-lite fixed metal units on the west elevation. The east elevation has an 8-lite casement unit. All windows have exposed lintels. Entry to the structure is through a single-leaf multi-panel wooden door on the south. Secondary entrances include a pair of wooden sliding glass doors on the lower level of the north elevation, an 8-lite French door on the east that provides access to the north deck, and a single-leaf unit with a sidelight on the west. There is a partial-width portal on the south elevation. It is detailed with stuccoed corner piers, corbels, and exposed lintel. There is a roof-less deck on the upper level of the north elevation with a utilitarian wooden railing. A low block/stucco yard wall encloses the property on the south and the yard on the east. There is a chain link fence across the north, east, and west side of the property. The site slopes toward the north with a steep driveway on the east side of the building.

WHO USES THE PROPERTY?: (Current and historic users and uses made of property.)

Single Family Residential

CONSTRUCTION DATE KNOWN? Yes
DATE OF CONSTRUCTION: 1967-1968
SOURCE FOR CONSTRUCTION DATE: City Directory

SIGNIFICANT MODIFICATIONS?
window replacements [north elevation], shed-roofed addition on north [former porch?], north elevation deck.

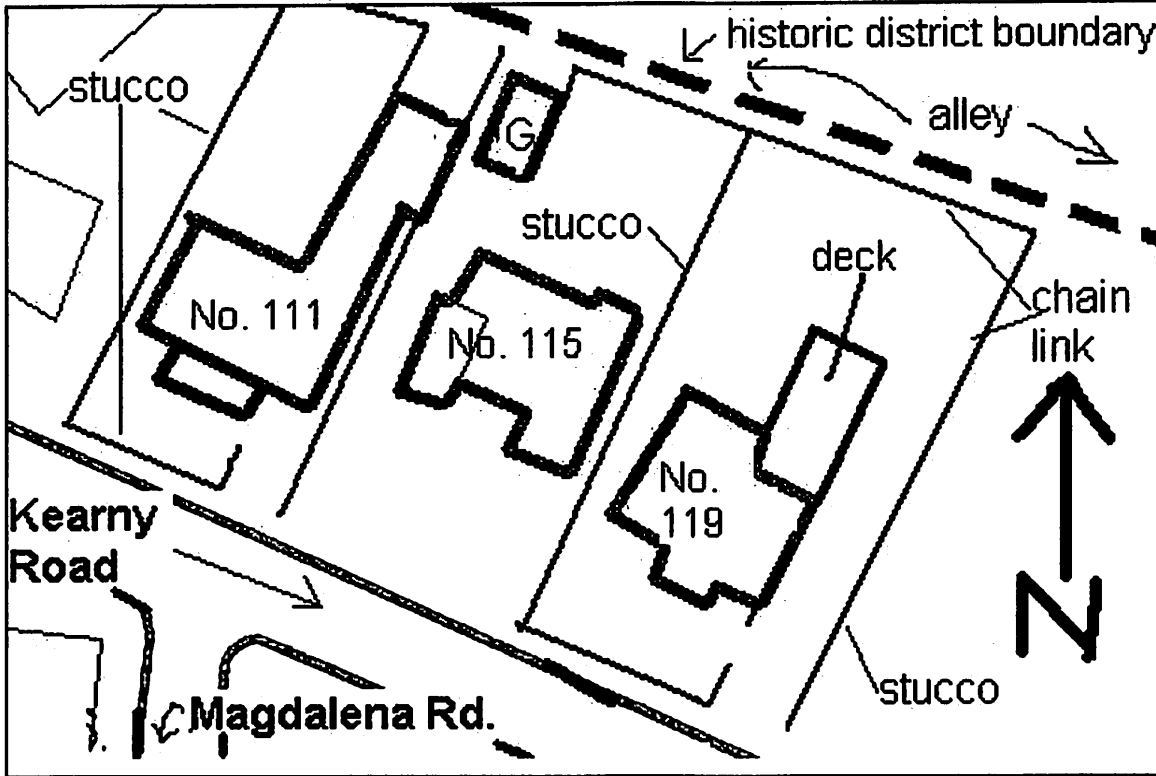
SETTING: Urban

RELATIONSHIP TO SURROUNDINGS: Similar

IF URBAN SETTING, NATURE OF IT: Residential

COMMENTS ON SURROUNDINGS:
compact single story residential area

ADDITIONAL PERSPECTIVE: (Photo, drawing, footprint, etc.; indicate north arrow when possible)



NOTES ON ADDITIONAL PERSPECTIVE: (If photo, include photo info, as in #10)
Site. Santa Fe GIS base map. NTS.

SURVEYOR BUSINESS NAME: Ragins Research and Planning
SURVEYOR FIRST NAME: Mary
SURVEYOR LAST NAME: Ragins
SURVEYOR STREET ADDRESS: 9 Stone Ridge Road
SURVEYOR CITY: Santa Fe
SURVEYOR ZIP CODE: 87505
SURVEYOR TELEPHONE: 5059950852
SURVEYOR EMAIL: rrp@intergate.com

OWNER OR OTHER KNOWLEDGEABLE PEOPLE:

[Redacted box]

IS THE PROPERTY ENDANGERED?: No

HOW IS THE PROPERTY ENDANGERED?:

[Redacted box]

SIGNIFICANCE TO CURRENT COMMUNITY: Low

DESCRIPTION OF COMMUNITY SIGNIFICANCE:
non-historic structure, eligible for designation 2018

OTHER INFORMATION OF INTEREST: (Such as historical, legendary, structural, former ownership, character-defining features, etc.)

7-6-95 NM DOT aerial photo shows shed roof on north elevation in place. Deck on north elevation is not shown on this aerial.

According to the Santa Fe County Property Record Card, the building stands on lot 4 of the Kearny Addition.

IS PROPERTY INDIVIDUALLY LISTED ON A REGISTER?: No
INDIVIDUALLY LISTED ON SRCP?: No
INDIVIDUALLY LISTED ON NRHP?: No
IF NOT LISTED, IS IT ELIGIBLE?: No
IF ELIGIBLE, WHY?

[Redacted box]

ARE CONTINUATON SHEETS ATTACHED?

CONTINUATION SHEET PAGE NUMBERS: 1

IS PROPERTY IN A REGISTERED DISTRICT?: Yes
DISTRICT DESIGNATION: Non-contributing
DISTRICT NAME:
Downtown and Eastside Historic District
DISTRICT IS ON THE SRCP?: Yes
DISTRICT IS ON THE NRHP?: Yes
IS HCPI FORM 2 ATTACHED?:

Historic Cultural Properties Inventory (HCPI) Continuation Sheet 1

Historic Preservation Division, New Mexico Office of Cultural Affairs

For HPD Office use only: HCPI No. District No. LOCAL REFERENCE NUMBER: 40810

NAME OF PROPERTY:

LOCATION OF PROPERTY: 119 Kearny Road

COUNTY: Santa Fe

CITY OR TOWN: Santa Fe

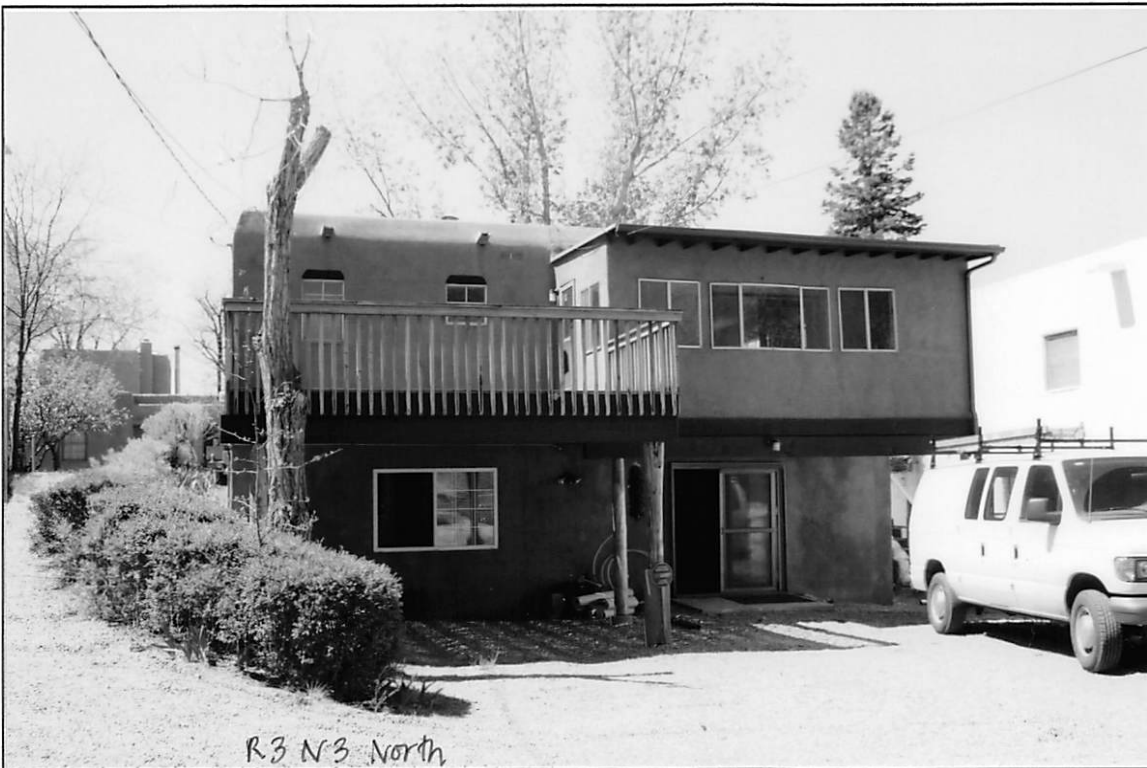
DATE OF SURVEY: 4/25/2006



Additional Photo #1:

Photo #1 Notes:

roll 3, negative 7, west and south elevations



Additional Photo #2:

Photo #2 Notes:

roll 3, negative 3, north elevation



August 28, 2021

Historic Preservation Division
Land Use Department
201 Lincoln Ave.
Santa Fe, NM 87501

Re: 119 Kearny Street

Dear HPD,

Please find attached our application to the Historic Styles Review Board for an addition to 119 Kearny Street. This house's status was reviewed in 2020 at which time the east, south and west facades were determined to be primary. No substantive changes are requested on any of the primary facades. We request removing the original window sash in order to refit the glass and refurbish the sash. The original sash will then be re-installed. We also request in Exception 3 the rebuilding of the front entry steps. We also request bringing the front steps up to code. Please see our request for Exception 3 below.

The existing footprint of the historic house is 879 sf. To this was added an enclosed porch of 146 sf and a deck of 272 sf. Thereby the existing footprint of the house is 1297 sf. The historic portion of the house is 2 story. The deck is to be removed. The addition is located behind the existing home. As the addition represents a greater than 50% increase in the size of the home based on the existing footprint we are requesting an exception to exceed the 50% limitation. The addition is set back from the original home and the new entry is via a 'plaza' between the original house and the addition. On the main upper entry level we propose an 835 sf addition. This addition will be mainly blocked from view by the historic home from the street. On the lower level we propose an addition of 1296 sf. This lower level addition will not be seen from the street.

Colors. The house will be cementitious El Rey Sahara stucco with the front portal being Sto Marble White. All existing and new windows and wood trim will be painted Benjamin Moore Blue Danube. Windows will be Hurd simulated divided lites. All new windows are metal clad and meet the required division with lites being less than 30" on the diagonal. The new corrugated metal roofing will be blue but is not visible from the street or any of the surrounding structures.

Hoopes + Associates, Architects Ltd. Co.
PO Box 9427
Santa Fe, NM 87504
505.986.1010

Area Exception No. 1:

The structure is located on a narrow lot that slopes away from the street. The rear of the lot is not visible from the front of the lot. Staff has taken the position that the area calculation limitation found in the Historic Ordinance 14-5.2(D)(2)(d) is the “historic” footprint of the contributing structure, rather than existing foot print of the Section. The existing house footprint is 879 sf. On the main floor we are proposing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6” shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

The applicant disagrees with this interpretation, but has submitted this request for an exception because it is still justified notwithstanding the disagreement with Staff, as demonstrated below:

Criteria and Responses:

i. “Do not damage the character of the district”:

The home on the property is a “contributing” structure is located in the in the Downtown Eastside Historic District (the “Eastside District”). The elements that are important to this property being designated “contributing” is the manner in which this structure (and its Primary Façade) sit and contribute to the streetscape. The additions will not be visible and will have no effect on the character of the district, much less do any damage to the district or the streetscape.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the nature, size and slope of the lot. The hardship is created by these factors – the lot is small, it is narrow and it is sloped. These make additions and changes to the structure difficult under the Historic Ordinance. In order to allow the applicant to make reasonable use of this unique property, the exception will avoid the hardship created by the nature of the lot.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property. The existing house footprint is 879 sf. On the main floor we are pro-

posing an 835 sf addition. On the lower floor there is a 1296 sf addition. The lower level is not visible from Kearny. The two additions are offset from each other in order to break up the massing of the house. The addition is 6" shorter in height than the existing structure and separated from the primary facades. The addition is not visible from the street except at its far east side.

Setback Exception No. 2: We are requesting an exception to build an entrance wall feature within 10 feet of the existing front and side (south and east) elevations. This is not enclosed space but will help signify the desire for arriving guests to not enter through the original front door. This preserves the front of the original structure.

The structure is located on a narrow lot that slopes away from the street. The rear of the lot is not visible from the front of the lot. Staff has taken the position that the area calculation limitation found in the Historic Ordinance 14-5.2(D)(2)(d) is the "historic" footprint of the contributing structure, rather than existing foot print of the Section. The applicant disagrees with this interpretation, but has submitted this request for an exception because it is still justified notwithstanding the disagreement with Staff, as demonstrated below:

Criteria and Responses:

i. "Do not damage the character of the district":

The wall proposed is closer than ten feet because of the existing configuration of the home, and there is no other place further away to accomplish the goal stated above with respect to designating an entrance for guests. The wall will not damage the district and will have no adverse effect on the manner in which the structure sits on the streetscape.

ii. "Are required to prevent a hardship to the applicant or an injury to the public welfare":

The hardship here is created by the existing configuration of the home. It is not possible to create an entrance in any other location.

iii. "Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts".

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property.

Primary Façade Exception No. 3: We are requesting an exception to rework the front entry steps. At the moment they do not meet code and as such are unsafe for guests who may enter

through the original front door. The screen door cannot open without guest backing down the steps and potentially tripping. These steps are not original to the house.

Criteria and Responses:

i. “Do not damage the character of the district”:

The changes to the step will not alter the manner in which the Primary Façade fits in the streetscape and will not damage the character the district, because the character will remain unchanged.

ii. “Are required to prevent a hardship to the applicant or an injury to the public welfare”:

The hardship here is created by the existing condition of the step – they do not meet current code requirements and are unsafe.

iii. “Strengthen the unique heterogeneous character of the City by providing a full range of design options to ensure that residents can continue to reside within the historic districts”.

The exception will strengthen the unique heterogeneous character of the City by allowing this property to be remodeled, updated and brought into conformity to current building standards. It will allow the applicant to continue to reside in the district and allow for a reasonable design option for the property.

Sincerely,

Craig Hoopes, AIA

SNEAD BUTLER RESIDENCE REMODEL

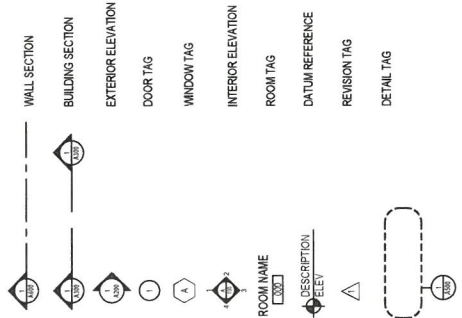
119 KEARNY RD
SANTA FE, NM, 87501

IN PROGRESS NOT FOR CONSTRUCTION

GENERAL NOTES

- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE DIMENSIONS SHOWN ON THE DRAWINGS. DIMENSIONS IN PARENTHESES ARE TO FACE OF STUD AND DIMENSIONS IN CONJECTIVE DIMENSIONS ARE TO FACE OF STUD AND CONCRETE WALLS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS MARKED AS 'X' OR 'Y' SHALL BE VERIFIED IN THE FIELD.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES PRIOR TO THE BEGINNING OF CONSTRUCTION TO ENSURE THE PROPER AND EFFICIENT SEQUENCING AND EXECUTION OF THE WORK.
- ALL WORK, INCLUDING PLUMBING, ELECTRICAL, AND MECHANICAL, SHALL COMPLY WITH ALL PERTINENT LOCAL AND NATIONAL CODES.
- PROTECT ALL ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING LOCATIONS OF STRUCTURAL MEMBERS, MECHANICAL, AND ELECTRICAL SYSTEMS, AND MISCELLANEOUS EQUIPMENT TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR MATERIALS AND ACTIVITIES SHALL NOT BLOCK ACCESS OR EGRESS FROM ANY BUILDING WHILE THE BUILDING IS OCCUPIED. THIS INCLUDES DEMOLITION WORK AND ALSO APPLIES TO NEIGHBORING BUILDINGS.
- ALL SUPPLEMENTAL DRAWINGS ISSUED BY THE ARCHITECT SHALL ALSO BECOME PART OF THE CONTRACT SET.
- ALL PLUMBING AND ELECTRICAL WORK TO BE CONCEALED, UNLESS OTHERWISE NOTED.

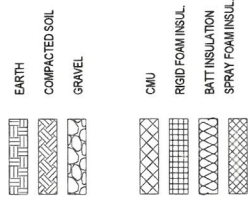
REFERENCE SYMBOLS



ABBREVIATIONS

- A.F.F. ABOVE FINISH FLOOR
- T.O.S. TOP OF SLAB
- T.O.B. TOP OF BEARING
- T.O.P. TOP OF PARAPET
- T.O.R. TOP OF FINISH ROOF
- UNO UNLESS OTHERWISE NOTED
- TYP. TYPICAL
- ROUGH OPENING
- R.O. ROUGH OPENING

ARCH. SYMBOLS



PROJECT OVERVIEW

SCOPE OF WORK:
PARTIALLY DEMOLISH INTERIOR OF EXISTING HOME
NEW WORK INCLUDES ADDITIONAL SQUARE FOOTAGE TO PREVIOUS FOOTPRINT AND INTERIOR RECONSTRUCTION, NEW WINDOWS AND DOORS THROUGHOUT WITH THE EXCEPTION OF CONTRIBUTING FACADES, BUILD NEW YARD WALLS, RECONSTRUCT RETAINING WALL ON EAST SIDE WITH STAIR ACCESS, STUCCO NEW ADDITION TO MATCH EXISTING STRUCTURE.

OWNER:
SNEAD, WILLIAM D & CHARLES P BUTLER
119 KEARNY RD.
SANTA FE, NM 87501

REGULATORY AGENCY:

JURISDICTION:
CITY OF SANTA FE
CONTACT INFORMATION:
SANTA FE LAND USE DEPARTMENT
SANTA FE CITY HALL, 200 LINCOLN AVE.
1ST FLOOR, SANTA FE, NEW MEXICO 87501
MAIN PHONE: (505) 958-6883

CODE SUMMARY

- APPLICABLE CODES:**
- 2015 RESIDENTIAL BUILDING CODE (2015 IRC)
 - 2015 NEW MEXICO MECHANICAL CODE
 - 2017 NEW MEXICO ELECTRICAL CODE
 - 2016 NEW MEXICO ENERGY CONSERVATION CODE
 - 2015 INTERNATIONAL FIRE CODE
 - NEW MEXICO NIGHT SKY PROTECTION ACT

CITY LAND USE SUMMARY:

ZONING CLASSIFICATION: R21
HEIGHT LIMIT REQUIRED PER ZONING: = 24 FT. (ACTUAL HT. = 20'-10")
HEIGHT LIMIT PER HISTORICAL REVIEW: = 3'-2" LESS THAN HIGH-EST. (ACTUAL HT. = 20'-10")
SETBACKS PER ZONING:
5 FT. IN EACH SIDE
7 FT. FRONT,
15 FT. REAR
LOT AREA: .134 ACRES (9308.95 SQ.FT.)

GREEN CODE: REMODEL CATEGORY ONLY CHAPTER 11 CHECKLIST REQUIRED

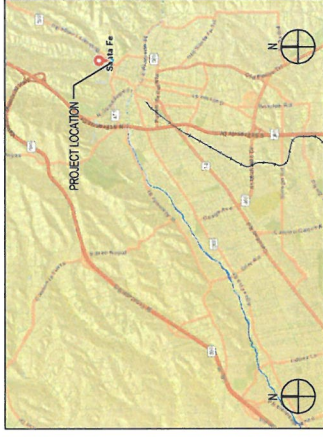
BUILDING CODE SUMMARY:

OCCUPANCY GROUP: SINGLE FAMILY HOME
CONSTRUCTION TYPE: V-B
NUMBER OF STORIES: 2
FIRE PROTECTION: SPRINKLERS NOT REQUIRED

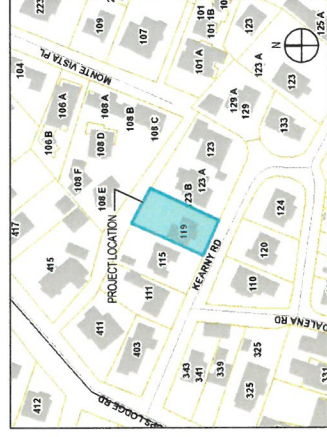
SHEET INDEX

GENERAL	COVER SHEET
A-201	EXIST. & PROPOSED SOUTH EXT. ELEV.
A-202	EXIST. & PROPOSED EAST EXT. ELEV.
A-203	EXIST. & PROPOSED NORTH EXT. ELEV.
A-204	EXIST. & PROPOSED WEST EXT. ELEV.
SURVEY	TOPOGRAPHIC SURVEY
0001	TOPOGRAPHIC SURVEY
ARCHITECTURAL SITE	ARCHITECTURAL SITE PLAN
AS-101	ARCHITECTURAL SITE PLAN
ARCHITECTURAL	
A-101	DEMO & PROPOSED PLANS - UPPER FLOOR
A-102	DEMO & PROPOSED PLANS - LOWER FLOOR

VICINITY MAP



LOCATION MAP



H+A
DESIGN ARCHITECTS
333 AVENUE N, SUITE 200
SANTA FE, NM 87501
P: 505.958.6883
W: www.hplusa.com

**SNEAD-BUTLER
RESIDENCE
REMODEL**
PROJECT #201
119 KEARNY RD
SANTA FE, NM 87501
ISSUE DATE: 08/17/2021

I-BID APPROVAL SET
COVER SHEET

A-000

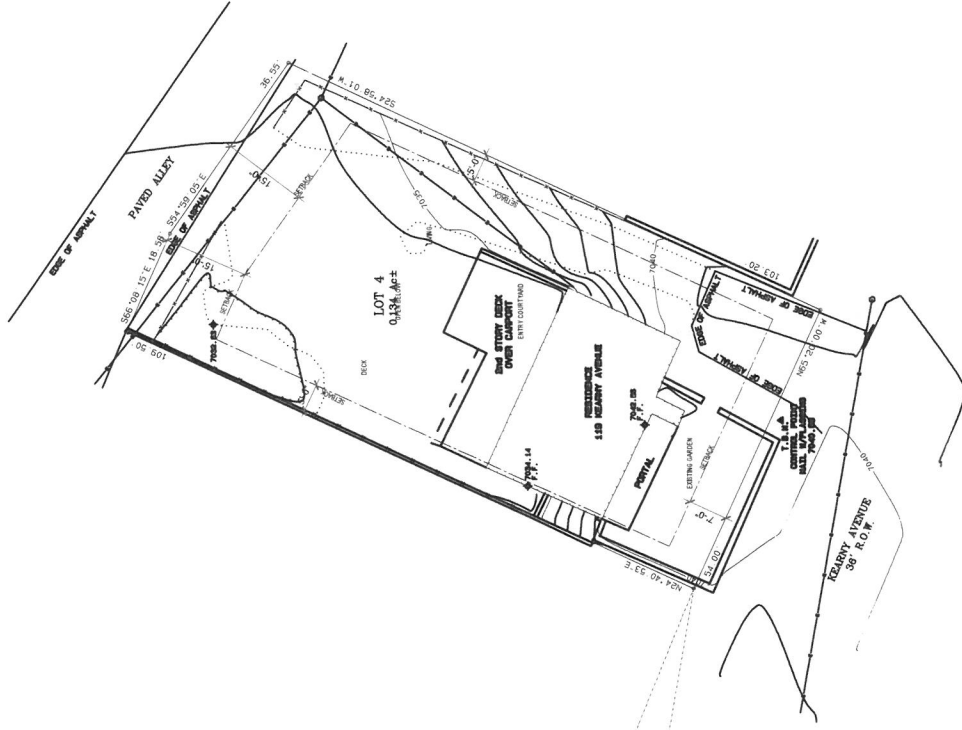
TOPOGRAPHIC SURVEY OF LOT 4, KEARNY ADDITION

LYING AND BEING SITUATE WITHIN PROJECTED SECTION 24, T. 17 N., R. 9 E., N.M.P.M., CITY OF SANTA FE, SANTA FE COUNTY, NEW MEXICO



Graphic Scale 1" = 10'

- LEGEND:
- FOUND MONUMENT AS NOTED
 - CALCULATED POINT, NOT SET
 - TELEPHONE JUNCTION BOX
 - WATER METER
 - GAS METER
 - CABLE TV
 - SANITARY SEWER MANHOLE
 - METAL POST
 - UTILITY POLE WITH ELECTRIC LINE
 - COYOTE FENCE
 - CHAINLINK FENCE
 - MALL
 - EDGE OF GRAVEL DRIVEWAY
 - CURB AND GUTTER



- NOTES:
1. THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPROPRIATE PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN HEREON ARE DERIVED FROM RECORD SURVEY DATA. THIS SURVEY IS CONDUCTED FOR THE ESTABLISHMENT OF PROPERTY LINES. PLEASE REFER TO THE PLAT IN NOTE 2 FOR BOUNDARY INFORMATION.
 2. BASIS OF BEARING IS TAKEN DIRECTLY FROM PLAT ENTITLED "PLAT OF BOUNDARY SURVEY FOR RALPH WILLIAM HEBER, PREPARED BY PHILIP B. WIESEL, L.M.P.L.S., AND S. GREG GIBBS, RECORDED IN BOOK 354, PAGE 6 ON AUGUST 31, 1988 AT THE SANTA FE COUNTY CLERK'S OFFICE."
 3. THIS SURVEY WAS CONDUCTED USING THE LATEST EDITION OF THE NATIONAL EARTH TIDE AND SURFACE CHANGE FLOODLINE, ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP 30080C0498E, DATED DECEMBER 4, 2012.
 4. ELEVATIONS ARE BASED ON AUTONOMOUS GPS OBSERVATIONS OF MEAN SEA LEVEL, AND ARE RELATIVE TO A BENCH MARK (BM) AS SHOWN HEREON.
 5. THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO BE ACCURATE AND RELIABLE. THE SURVEY WAS CONDUCTED USING THE LATEST EDITION OF A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=10' WITH A CONTOUR INTERVAL OF ONE FOOT.



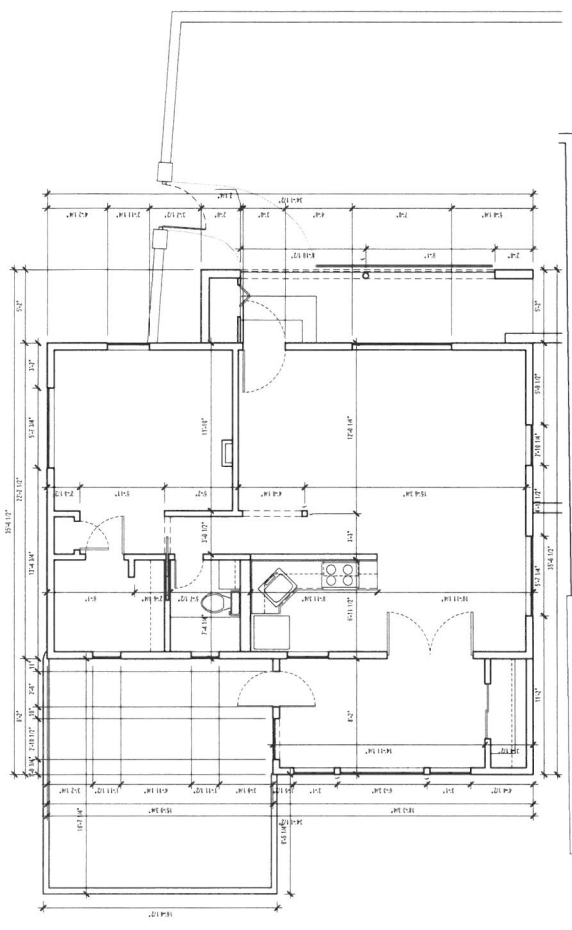
SURVEYOR'S CERTIFICATE

I, SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF NEW MEXICO AND NATIONAL BOARD OF SURVEYING AND MAPPING, AND THAT THE SURVEY WAS CONDUCTED BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF NEW MEXICO AND NATIONAL BOARD OF SURVEYING AND MAPPING.

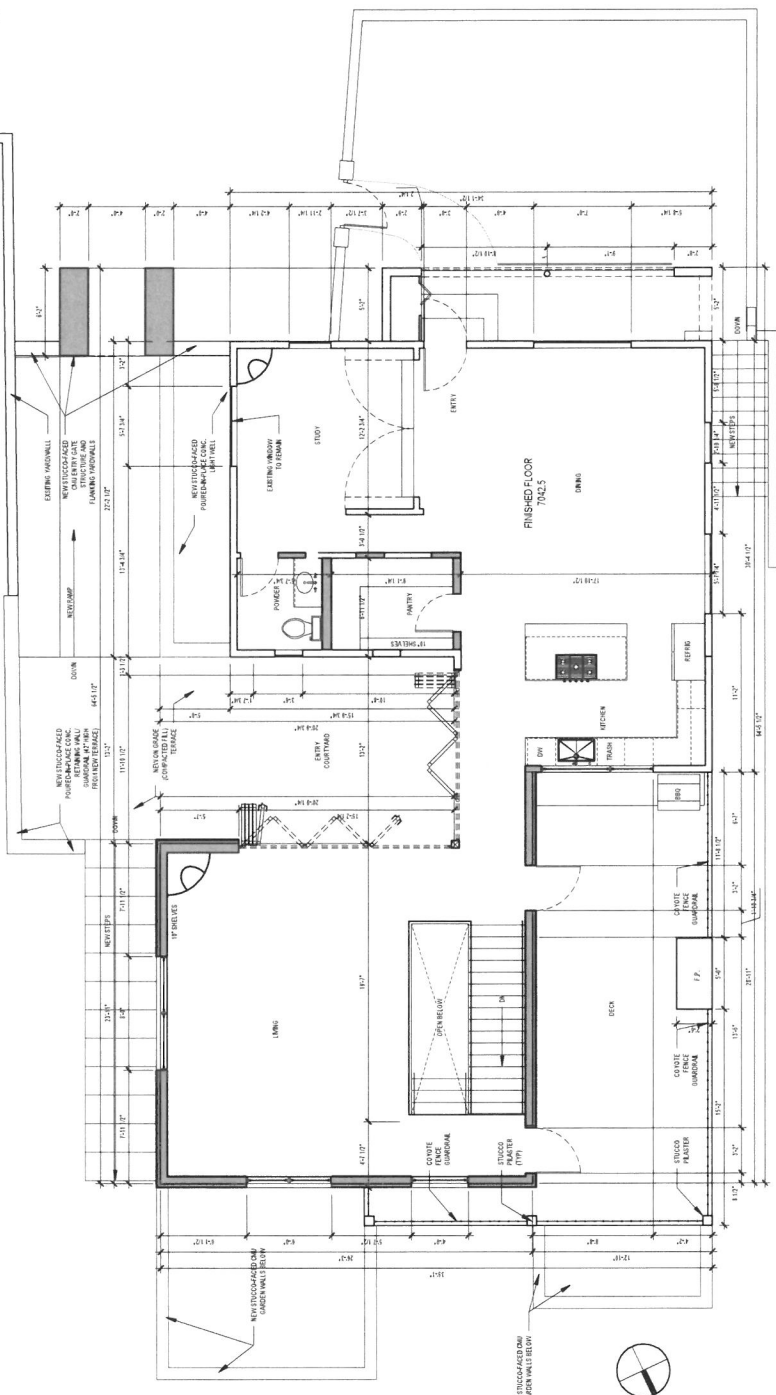


PHILIP B. WIESEL
L.M.P.L.S., No. 10127

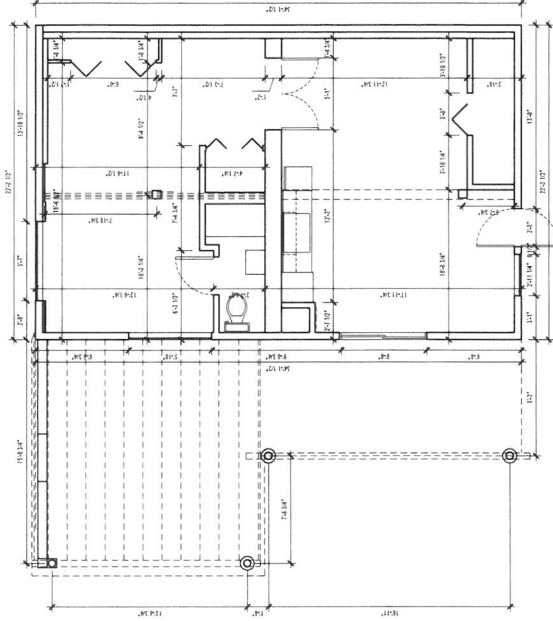
SOUTHWEST MOUNTAIN SURVEYS
 1114 HICKOK ST., SANTA FE, N.M. 87501
 PHONE 988-3429 FAX 988-3413
 EMAIL SWMSURV@SWMSURV.COM PROJECT No. C-3152
 DATE 3/23/21 Dwg.



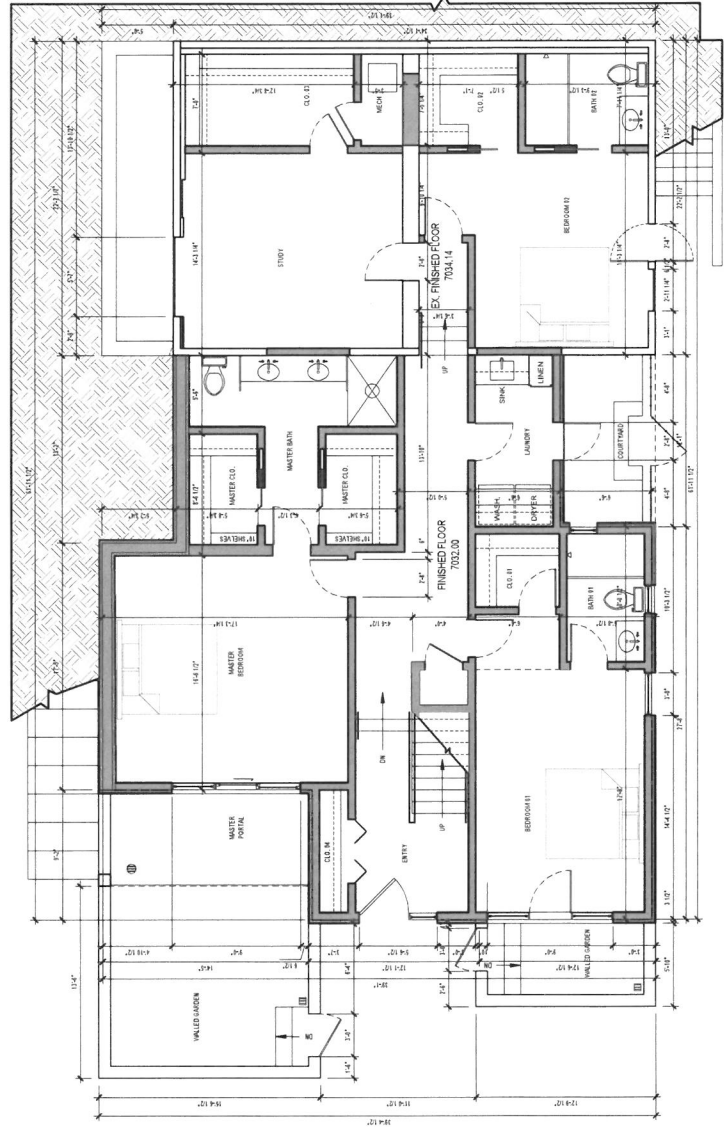
02 EXISTING UPPER PLAN
 scale: 1/4" = 1'-0"



01 PROPOSED UPPER PLAN
 scale: 1/4" = 1'-0"

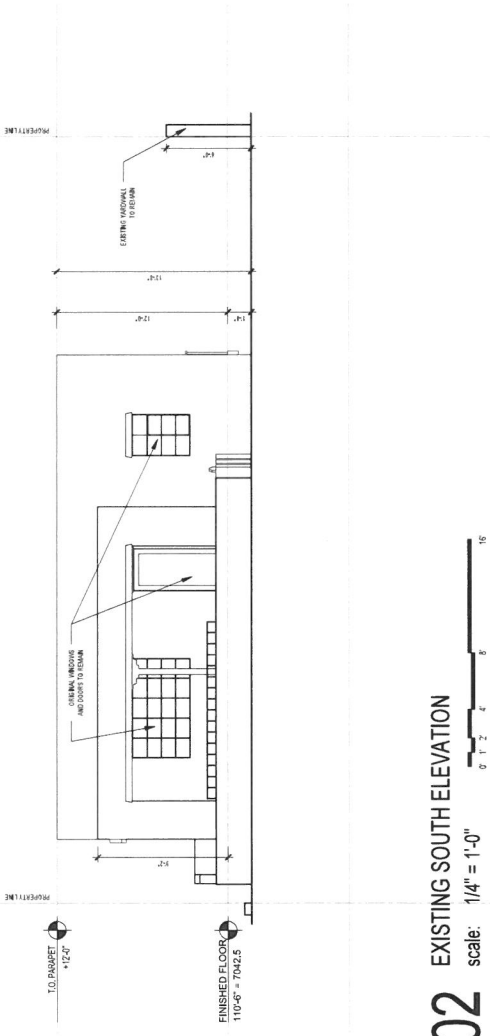


02 EXISTING LOWER PLAN
 scale: 1/4" = 1'-0"

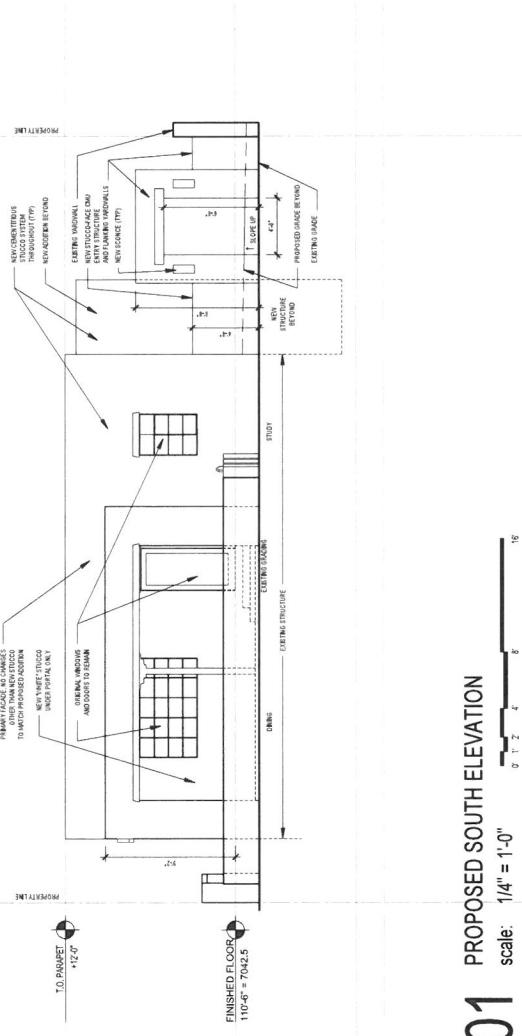


01 PROPOSED LOWER PLAN
 scale: 1/4" = 1'-0"

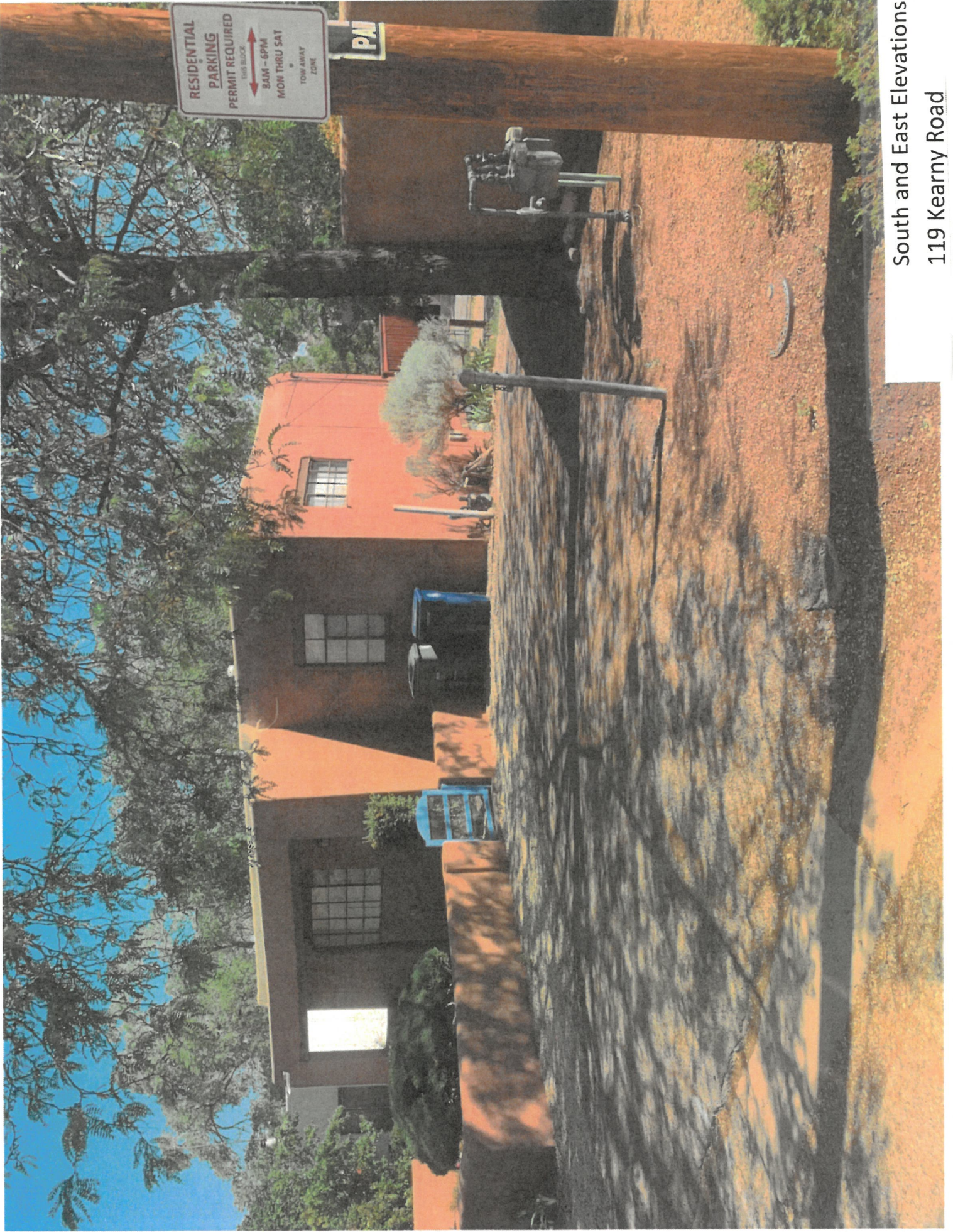




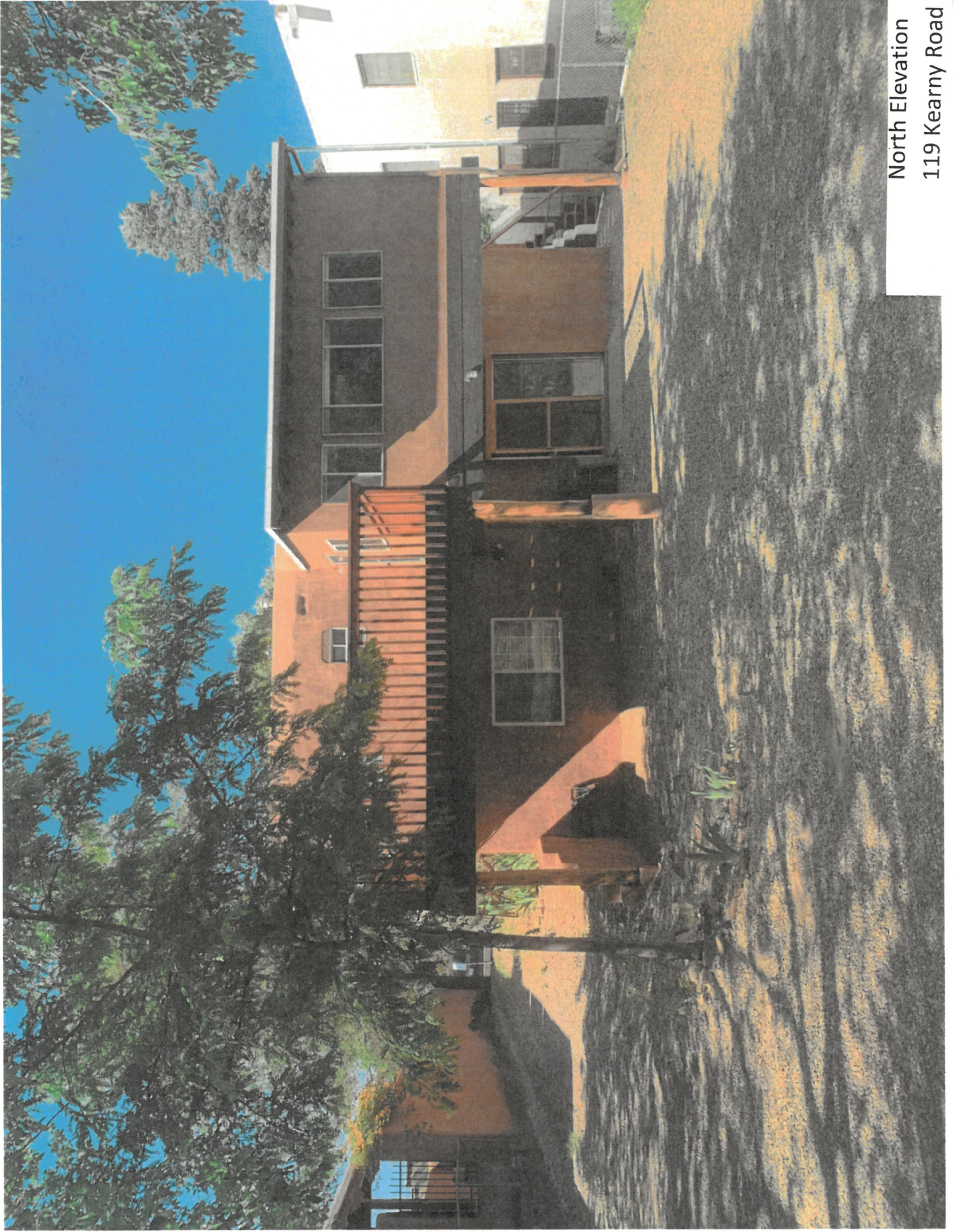
02 EXISTING SOUTH ELEVATION
 scale: 1/4" = 1'-0"



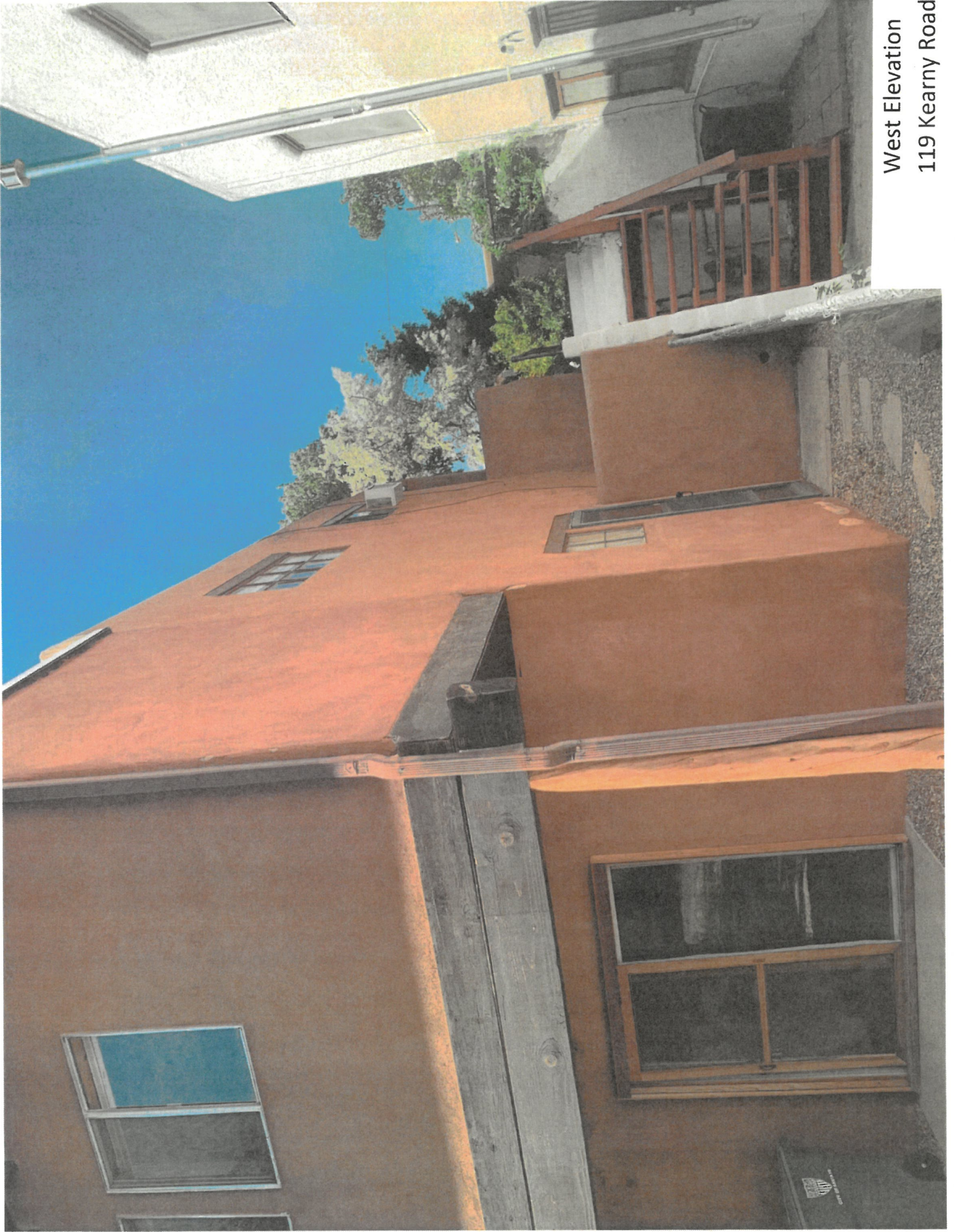
01 PROPOSED SOUTH ELEVATION
 scale: 1/4" = 1'-0"



South and East Elevations
119 Kearny Road



North Elevation
119 Kearny Road



West Elevation
119 Kearny Road



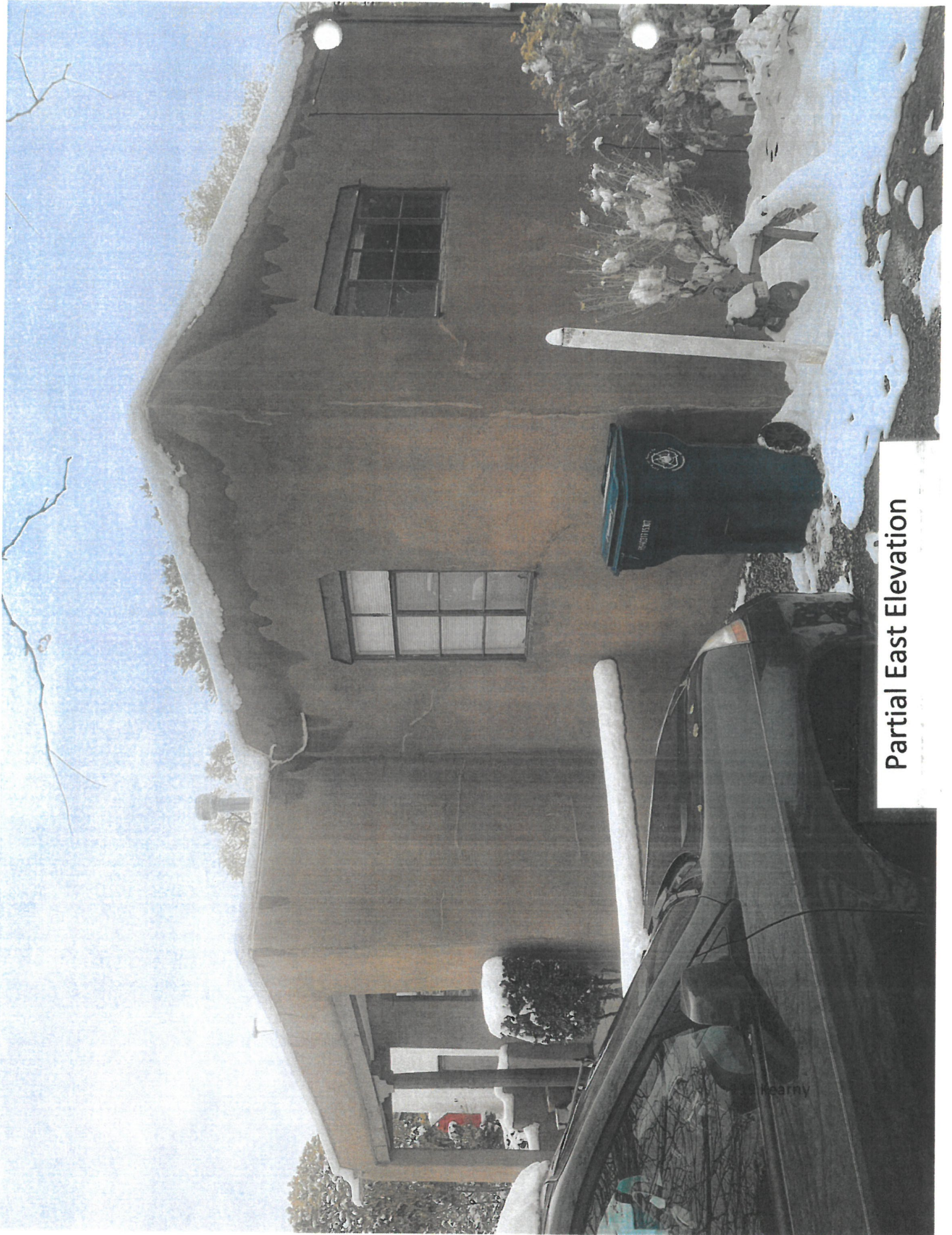
Front Steps
119 Kearny Road



135 SAHARA

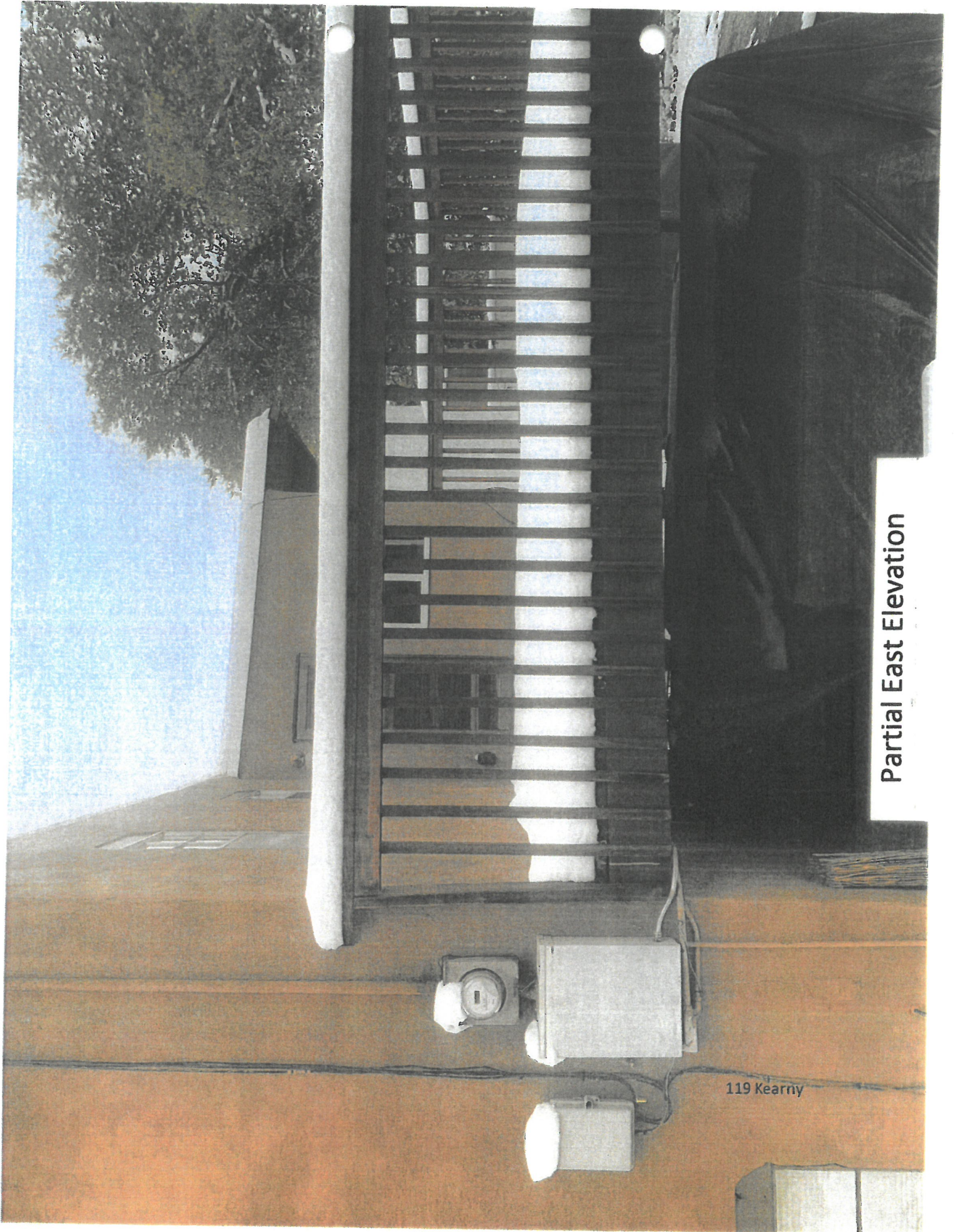


Colors
119 Kearny Road



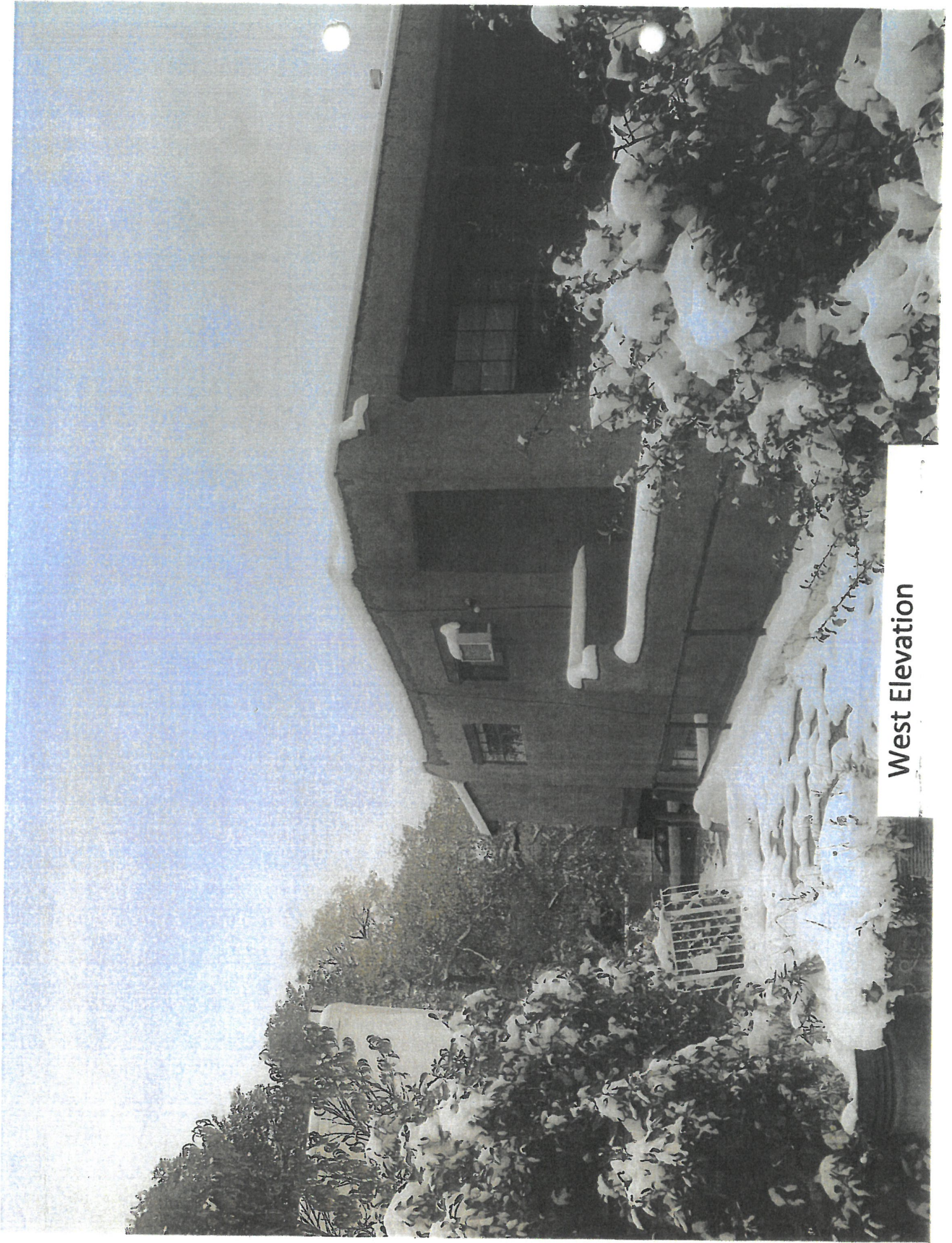
Partial East Elevation

Kearny

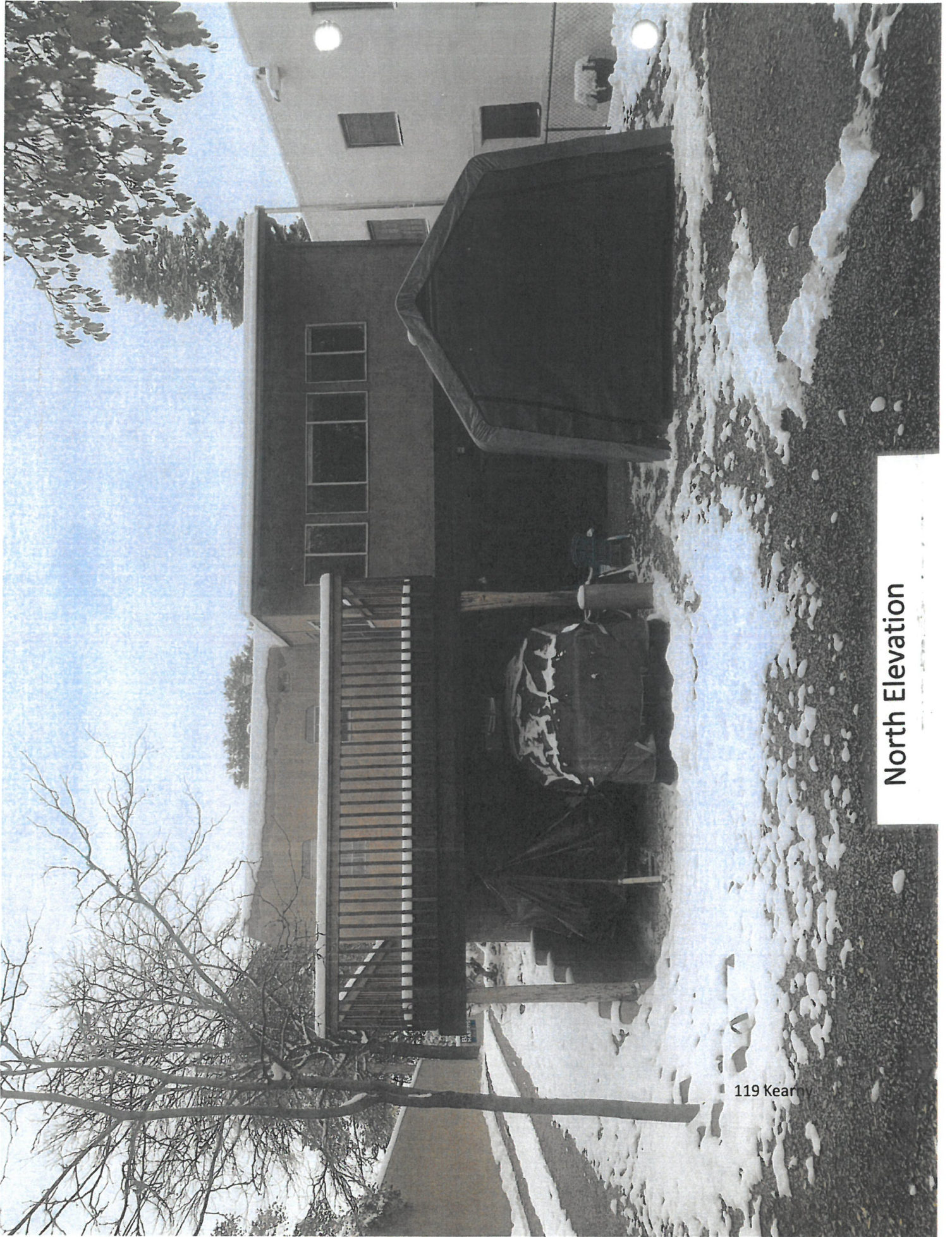


Partial East Elevation

119 Kearny



West Elevation



North Elevation

119 Kearny